



ACT
Government

Chief Minister, Treasury and
Economic Development

Freedom of Information Publication Coversheet

The following information is provided pursuant to section 28 of the *Freedom of Information Act 2016*.

FOI Reference: CMTEDDFOI 2019-053

Information to be published	Status
1. Access application	Published
2. Decision notice	Published
3. Documents and schedule	Published
4. Additional information identified	No
5. Fees	Waived
6. Processing time (in working days)	1
7. Decision made by Ombudsman	N/A
8. Additional information identified by Ombudsman	N/A
9. Decision made by ACAT	N/A
10. Additional information identified by ACAT	N/A

From: [REDACTED]
To: [EPSDFOI](#)
Subject: FOI request - Development Approval of 3 Skipper Cl Weston
Date: Tuesday, 5 March 2019 6:10:01 PM

To the FOI - Information Management Team,

I have been in correspondence with the Access Canberra team in regards to the process that allowed a non compliant development on [REDACTED] Weston, (Block [REDACTED], Section [REDACTED]) to proceed with DA exemption. A stop work notice has been issued but I can have been advised that I can only view the documents provided to remove the notice by submitting a FOI.

Therefore I am requesting access to any documents regarding the building approval of [REDACTED] Weston, (Block [REDACTED], Section [REDACTED]) and any additional submissions and amendments to the approval.

In particular, any information regarding the site cut and retaining wall in the adjoining property, [REDACTED] [REDACTED] (Block [REDACTED], Section [REDACTED])

Regards

[REDACTED]



ACT
Government

Chief Minister, Treasury and
Economic Development

Our ref: CMTEDDFOI 2019-053

[REDACTED]

via email: [REDACTED]

Dear [REDACTED]

FREEDOM OF INFORMATION REQUEST

I refer to your application under section 30 of the *Freedom of Information Act 2016* (the Act), received by the Chief Minister, Treasury and Economic Development Directorate (CMTEDD) on 6 March 2019 in which you have requested access to any documents regarding the building approval of [REDACTED], (Block [REDACTED], Section [REDACTED]) and any additional submissions and amendments to the approval.

Authority

I am an Information Officer appointed by the Director-General under section 18 of the Act to deal with access applications made under Part 5 of the Act.

Timeframes

CMTEDD is required to provide a decision on your access application by 4 April 2019.

Decision on access

Searches were completed for relevant documents and 31 documents have been identified that fall within the scope of your request. I have decided to grant full access to 9 documents and partial access to the remaining 22 documents.

I have included as **Attachment A** to this decision the relevant document schedule. This provides a description of each document which falls within the scope of your request and the access decision for each document.

The documents released to you are provided as **Attachment B** to this letter.

In accordance with section 54(2) of the Act a statement of reasons outlining my decision is below.

Statement of Reasons

In reaching my access decision, I have taken the following into account:

- the Act;
- the content of the documents that fall within the scope of your request; and
- the *Human Rights Act 2004*.

Exemption claimed

Information Contrary to Public Interest

The Act has a presumption in favour of disclosure. As a decision maker I am required to decide where, on balance, public interest lies. As part of this process I must consider factors favouring disclosure and non-disclosure.

In *Hogan v Hinch* (2011) 243 CLR 506, [31] French CJ stated that when 'used in a statute, the term [public interest] derives its content from "the subject matter and the scope and purpose" of the enactment in which it appears'. Section 17(1) of the Act sets out the test, to be applied to determine whether disclosure of information would be contrary to the public interest. These factors are found in subsection 17(2) and Schedule 2 of the Act.

Taking into consideration the information contained in the documents found to be within the scope of your request, I have identified that the following public interest factors are relevant to determine if release of the information contained within these documents is within the 'public interest'.

Factors favouring disclosure (Schedule 2.1)

(a) *disclosure of the information could reasonably be expected to do any of the following:*

...

- (viii) *reveal the reason for a government decision and any background or contextual information that informed the decision.*

Factors favouring non-disclosure (Schedule 2 section 2.2)

(a) *disclosure of the information could reasonably be expected to do any of the following:*

...

- (ii) *prejudice the protection of an individual's right to privacy or any other right under the Human Rights Act 2004;*

...

- (xi) *prejudice trade secrets, business affairs or research of an agency or person.*

Having considered the factors identified as relevant in this matter, I consider that release of the information contained in these documents could provide background or provide context to a decision.

However, when considering this finding against the factors favouring non-disclosure, I am satisfied that the protection of an individual's right to privacy, especially the personal information of the homeowner and the information of non ACT Government employees

in my opinion, outweighs the benefit which may be derived from releasing the personal information of the individual's involved in this matter. These individuals are entitled to expect that the personal information they have supplied as part of this process will be dealt with in a manner that protects their privacy.

I also considered the business affairs of the builder contained within the documents. I consider it unreasonable to disclose the costs of the building works as this information could be expected to prejudice the business affairs of the builder.

Having applied the test outlined in section 17 of the Act and deciding that the release of personal and business information contained in the documents is not in the public interest to release, I have chosen to redact this specific information in accordance with section 50(2). Noting the pro-disclosure intent of the Act, I am satisfied that redacting only the information that I believe is not in the public interest to release will ensure the intent of the Act is met and will provide you with access to the majority of the information held by CMTEDD within the scope of your request.

Charges

Pursuant to *Freedom of Information (Fees) Determination 2017 (No 2)* processing charges are applicable for this request because the total number of pages to be released to you exceeds the charging threshold of 50 pages. However, the charges have been waived in accordance with section 107(2)(b) of the Act.

Online publishing – Disclosure Log

Under section 28 of the Act, CMTEDD maintains an online record of access applications called a disclosure log. Your original access application, my decision and documents released to you in response to your access application will be published in the CMTEDD disclosure log three days after the date of my decision. Your personal contact details will not be published.

Ombudsman Review

My decision on your access request is a reviewable decision as identified in Schedule 3 of the Act. You have the right to seek Ombudsman review of this outcome under section 73 of the Act within 20 working days from the day that my decision is published in the CMTEDD disclosure log, or a longer period allowed by the Ombudsman.

If you wish to request a review of my decision you may write to the Ombudsman at:

The ACT Ombudsman
GPO Box 442
CANBERRA ACT 2601
Via email: ombudsman@ombudsman.gov.au

ACT Civil and Administrative Tribunal (ACAT) Review

Under section 84 of the Act, if a decision is made under section 82(1) on an Ombudsman review, you may apply to the ACAT for review of the Ombudsman decision. Further information may be obtained from the ACAT at:

ACT Civil and Administrative Tribunal
Level 4, 1 Moore St
GPO Box 370
Canberra City ACT 2601
Telephone: (02) 6207 1740
<http://www.acat.act.gov.au/>

Should you have any queries in relation to your request please contact me by telephone on (02) 6207 7754 or email CMTEDDFOI@act.gov.au.

Yours sincerely,

A handwritten signature in black ink, appearing to read 'Sarah McBurney', written in a cursive style.

Sarah McBurney
Information Officer
Information Access
Chief Minister, Treasury and Economic Development Directorate

7 March 2019



ACT
Government

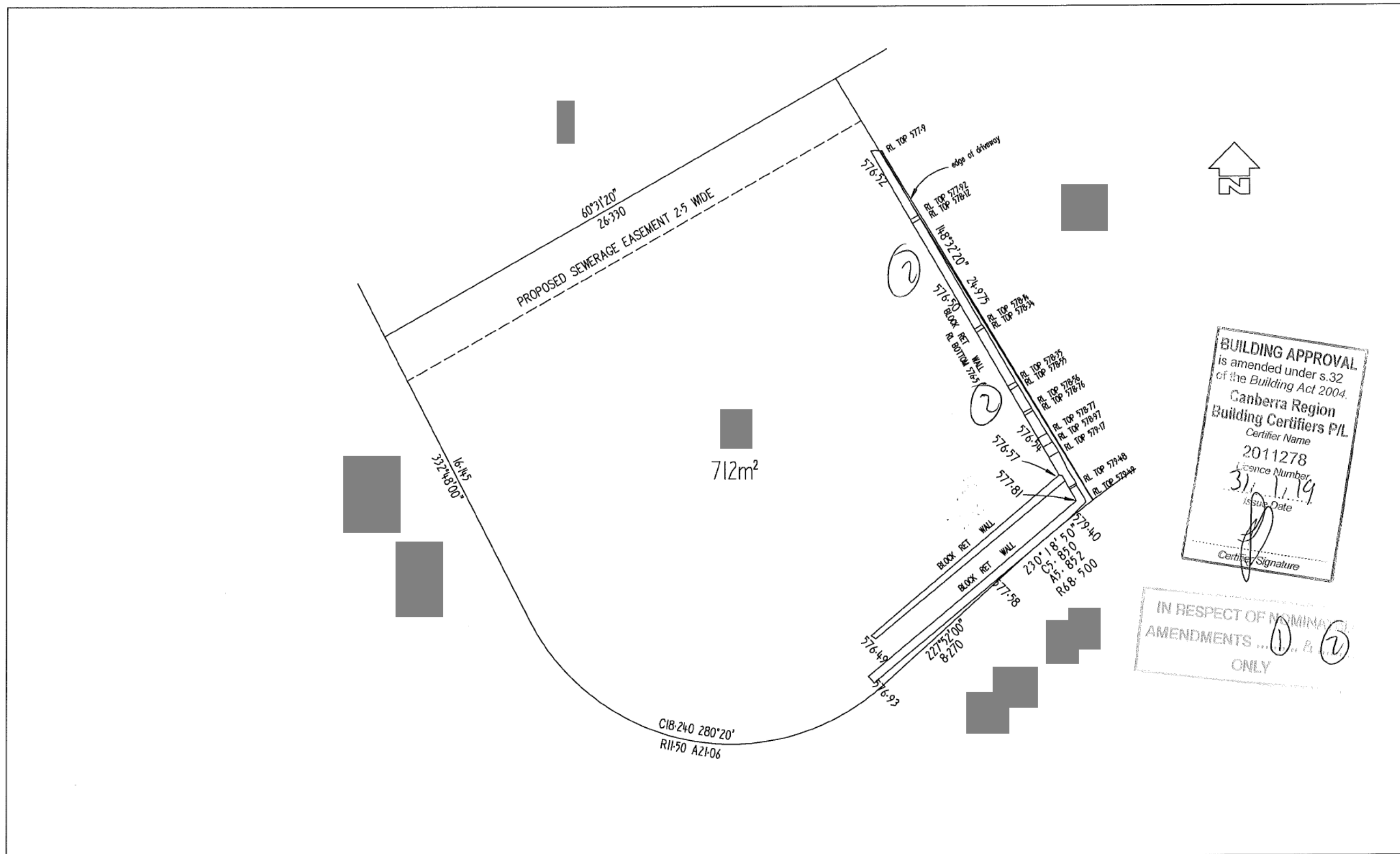
Chief Minister, Treasury and
Economic Development

FREEDOM OF INFORMATION REQUEST SCHEDULE

NAME	WHAT ARE THE PARAMETERS OF THE REQUEST	Reference NO.
[REDACTED]	Access to any documents regarding the building approval of [REDACTED] Weston, (Block [REDACTED], Section [REDACTED]) and any additional submissions and amendments to the approval	CMTEDDFOI2019-053

Ref No	Page number	Description	Status	Reason for Exemption	Online Release Status
1	1-3	B20181262-Approved Plan-Amendment-01	Partial release	Sch 2 s2.2 (a)(ii)	Yes
2	4-9	B20181262-Approved Plan-Amendment-02	Partial release	Sch 2 s2.2 (a)(ii)	Yes
3	10	B20181262-Approved Plan-Basement plan-01	Partial release	Sch 2 s2.2 (a)(ii)	Yes
4	11	B20181262-Approved Plans - Drainage-01	Partial release	Sch 2 s2.2 (a)(ii)	Yes
5	12-14	B20181262-Approved Plans - Elevations and Sections-01	Partial release	Sch 2 s2.2 (a)(ii)	Yes
6	15-16	B20181262-Approved Plans - Floor-01	Partial release	Sch 2 s2.2 (a)(ii)	Yes
7	17	B20181262-Approved Plans - Floor-01	Partial release	Sch 2 s2.2 (a)(ii)	Yes
8	18	B20181262-Approved Plans - Structural-Bondek slab-01	Full release	N/A	Yes
9	19	B20181262-Approved Plans - Structural-First Fl Timber Marking-01	Full release	N/A	Yes
10	20-21	B20181262-Approved Plans - Structural-First Fl Timber Marking-01	Full release	N/A	Yes
11	22	B20181262-Approved Plans - Structural-General Notes-01	Full release	N/A	Yes
12	23	B20181262-Approved Plans - Structural-Upper floor waffle-01	Full release	N/A	Yes
13	24	B20181262-Approved Plans - Structural-Waffle pod slab-01	Full release	N/A	Yes
14	25-27	B20181262-Assessment for Exempt Development-01	Partial release	Sch 2 s2.2 (a)(ii)	Yes

15	28-29	B20181262-Building Approval-BuildingApproval_B2018126-01	Partial release	Sch 2 s2.2 (a)(ii), Sch 2 s 2.2 (a)(xi)	Yes
16	30-37	B20181262-Building Approval-Min documents checklist-01	Full release	N/A	Yes
17	38-39	B20181262-Building Approval-Site work notice-01	Partial release	Sch 2 s2.2 (a)(ii)	Yes
18	40-44	B20181262-Building Commencement Notice Application-01	Partial release	Sch 2 s2.2 (a)(ii), Sch 2 s 2.2 (a)(xi)	Yes
19	45-47	B20181262-Building Commencement Notice Application-Building Commencement Not-01	Partial release	Sch 2 s2.2 (a)(ii), Sch 2 s 2.2 (a)(xi)	Yes
20	48-50	B20181262-Building Commencement Notice Application-Building Commencement Not-02	Partial release	Sch 2 s2.2 (a)(ii), Sch 2 s 2.2 (a)(xi)	Yes
21	51-52	B20181262-Building Commencement Notice -Building Commencement Not-01	Partial release	Sch 2 s2.2 (a)(ii), Sch 2 s 2.2 (a)(xi)	Yes
22	53-55	B20181262-Certifier Appointment-01	Partial release	Sch 2 s2.2 (a)(ii), Sch 2 s 2.2 (a)(xi)	Yes
23	56-58	B20181262-Certifier Appointment-Appointment_of_Certifier_-01	Partial release	Sch 2 s2.2 (a)(ii), Sch 2 s 2.2 (a)(xi)	Yes
24	59-66	B20181262-Energy Rating-01	Partial release	Sch 2 s2.2 (a)(ii)	Yes
25	67-70	B20181262-Site Classification-01	Partial release	Sch 2 s2.2 (a)(ii)	Yes
26	71-73	B20181262-Statement of Compliance - Electricity-01	Partial release	Sch 2 s2.2 (a)(ii)	Yes
27	74-75	B20181262-Statement of Compliance - Electricity-01	Partial release	Sch 2 s2.2 (a)(ii)	Yes
28	76-78	B20181262-Statement of Compliance - Water and Sewerage-01	Partial release	Sch 2 s2.2 (a)(ii)	Yes
29	79	B20181262-Survey Plan-01	Full release	N/A	Yes
30	80-82	Building Approval Residential Lodgement ChecklistV4	Full release	N/A	Yes
31	83-85	WESTON-106-10-SOWN-B20181262-6Y7FL4-20180430	Partial release	Sch 2 s2.2 (a)(ii)	Yes
Total No of Docs					
31					



BUILDING APPROVAL
 is amended under s.32
 of the Building Act 2004.
Canberra Region
Building Certifiers P/L
 Certifier Name
 2011278
 Licence Number
 31/1/14
 Issue Date
 Certifier Signature

IN RESPECT OF NOMINAL
 AMENDMENTS ... ① ... ②
 ONLY

SURVEYOR MM	LEVEL DATUM AHD
DRAWN BY MM	CONTOUR INTERVAL n/a
REGISTERED SURVEYOR	
/ /	

M & M SURVEYS
 UNIT 1 68 DACRE STREET
 MITCHELL ACT 2911
 PO Box 851
 Ph 62410012 Fax 62410013
 admin@mmsurveys.com.au

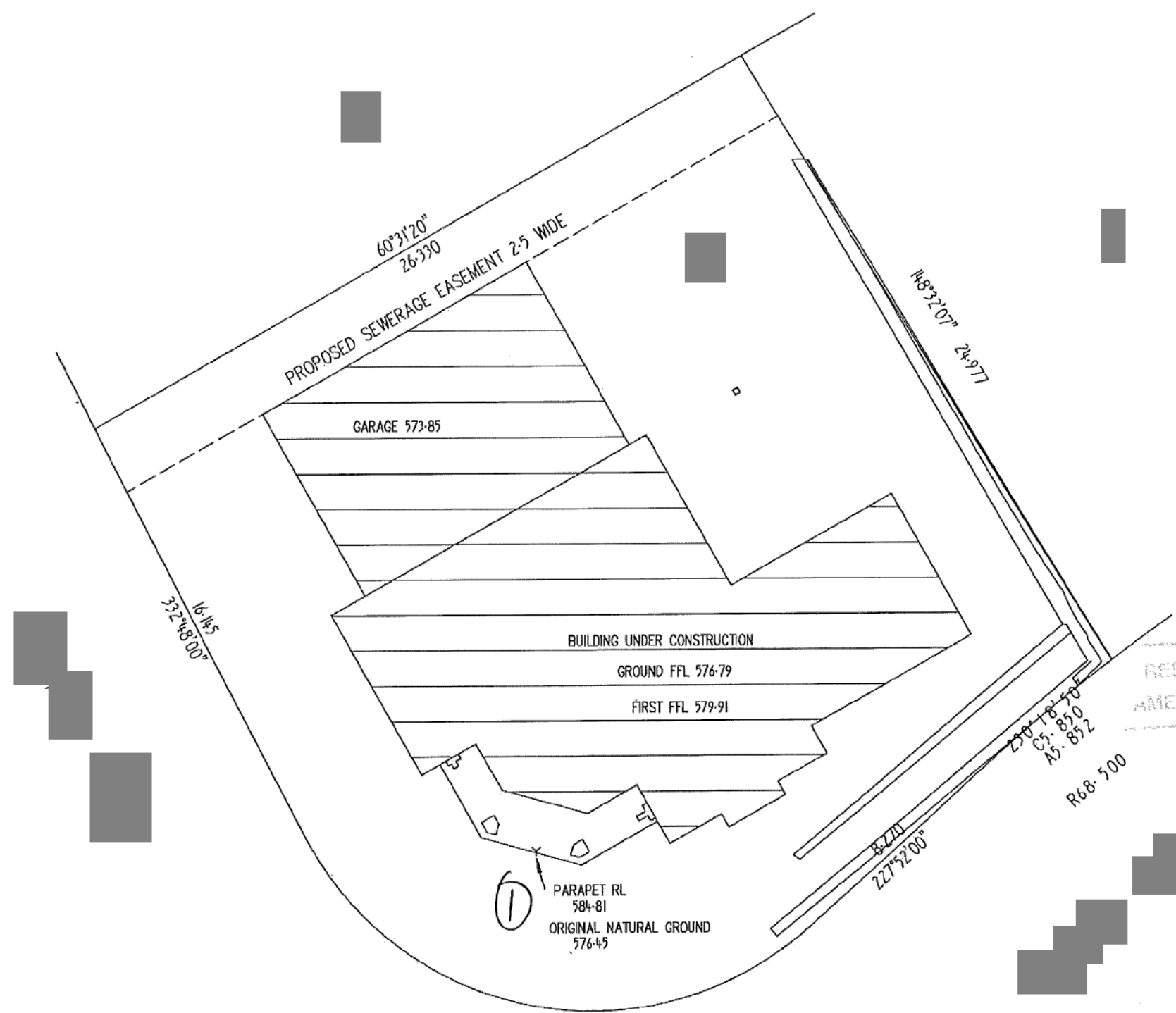
**RETAINING WALL
 SURVEY**
 BLOCK ■ SECTION ■
 WESTON

4467302-DWG	DP 10915	30-1-19	1:200	A3
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SHEET No. 1 of 6



BUILDING APPROVAL
 is amended under s.32
 of the Building Act 2004.
Canberra Region
Building Certifiers P/L
 Certifier Name
 2011278
 Licence Number
 20.2.19
 Issue Date
 Certifier Signature



RESPECT OF NOMINATED
 AMENDMENT 1 ONLY

Amendment
 1. Amended plans showing Original Natural Ground level at 576.45 to top of Parapet level 584.81 from Surveyors Certificate.

SURVEYOR MM	LEVEL DATUM AHD
DRAWN BY MM	CONTOUR INTERVAL n/a
REGISTERED SURVEYOR 2.2(a)(ii)	
12 / 2 / 19	

M & M SURVEYS
 UNIT 1 68 DACRE STREET
 MITCHELL ACT 2911
 PO Box 851
 Ph 62410012 Fax 62410013
 admin@mmsurveys.com.au

WORK AS EXECUTED SURVEY				
BLOCK		SECTION		
WESTON				
4467302-DWG	DP 10915	12-2-19	1:200	A3

SHEET No. 2 of 6



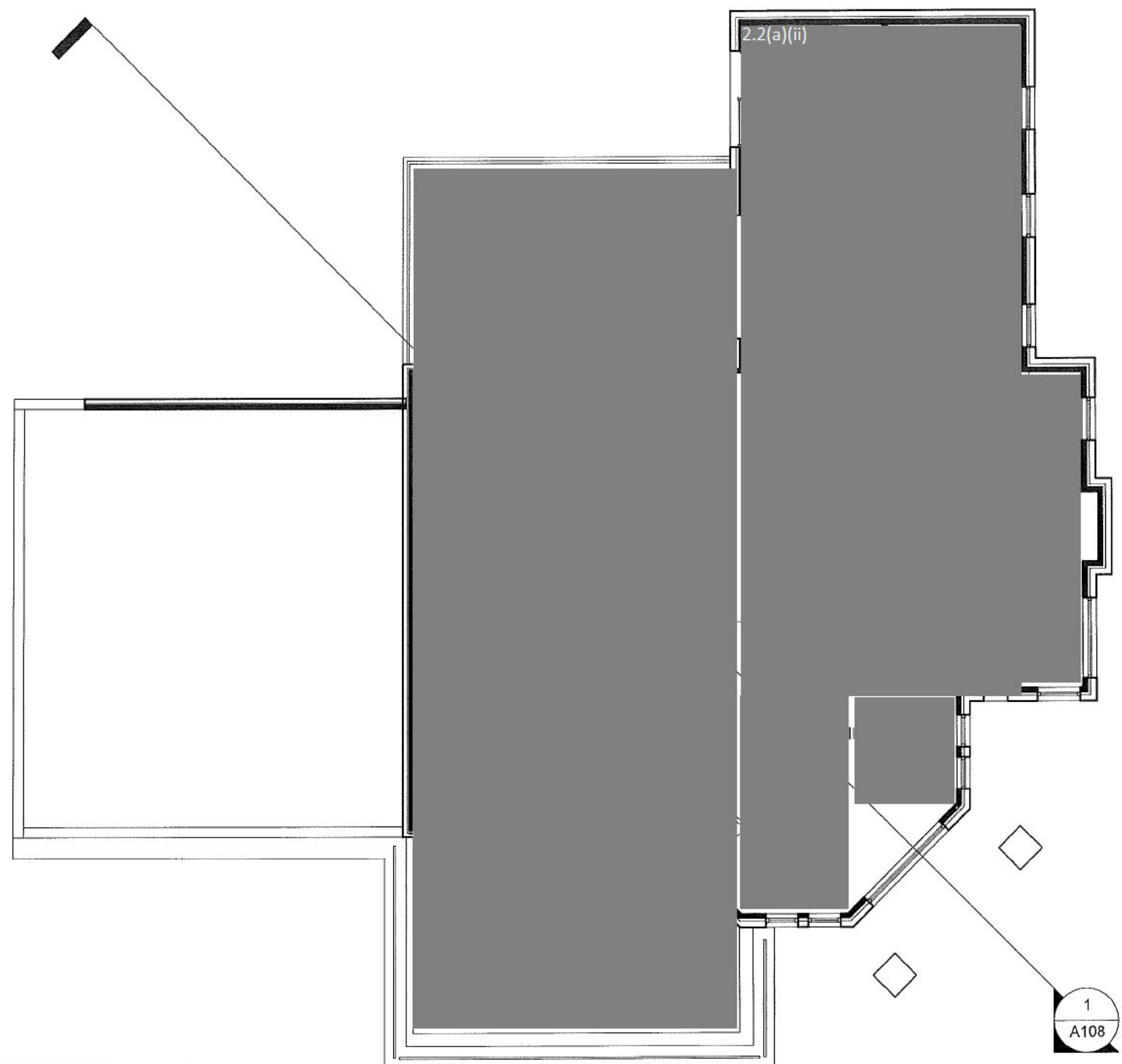
1 Ground Floor
1 : 100

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No	Description			Date	MZ Design Studio	New Residence Block [] of Section [] Weston	GROUND FLOOR
				Drawn by	Client	Scale	Date
				MZ Design Studio	2.2(a)(ii)	1 : 100@ A3	20/02/2019 1:26:42 PM
						Project Number	Revision
						1904	A

SHEET No. 3 of 6

17110
3840
190
3060
90
1064
90
1065
90
3000
190

13305
6155
5740
1110
300
250
2620
90
2530
250
190
4640
90
5140
90
2605
250



250
2200
2010
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10112
3660
1800
90
2152
2242
90
3328
90
1440
90
1460
250

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is amended under s.32
of the Building Act 2004.
**Canberra Region
Building Certifiers P/L**
Certifier Name
2011273
Licence Number
2017/19
Issue Date
Certifier Signature

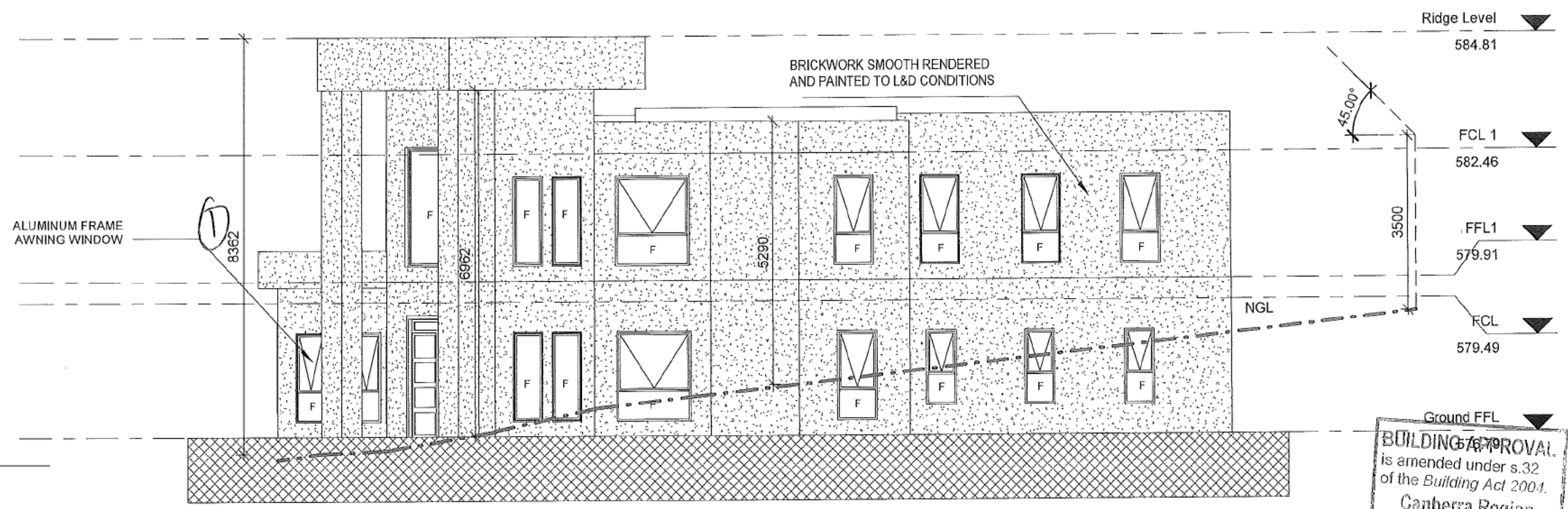
SUBJECT OF ADMINISTRATION
AMENDMENT ONLY

1 First Floor
1 : 100

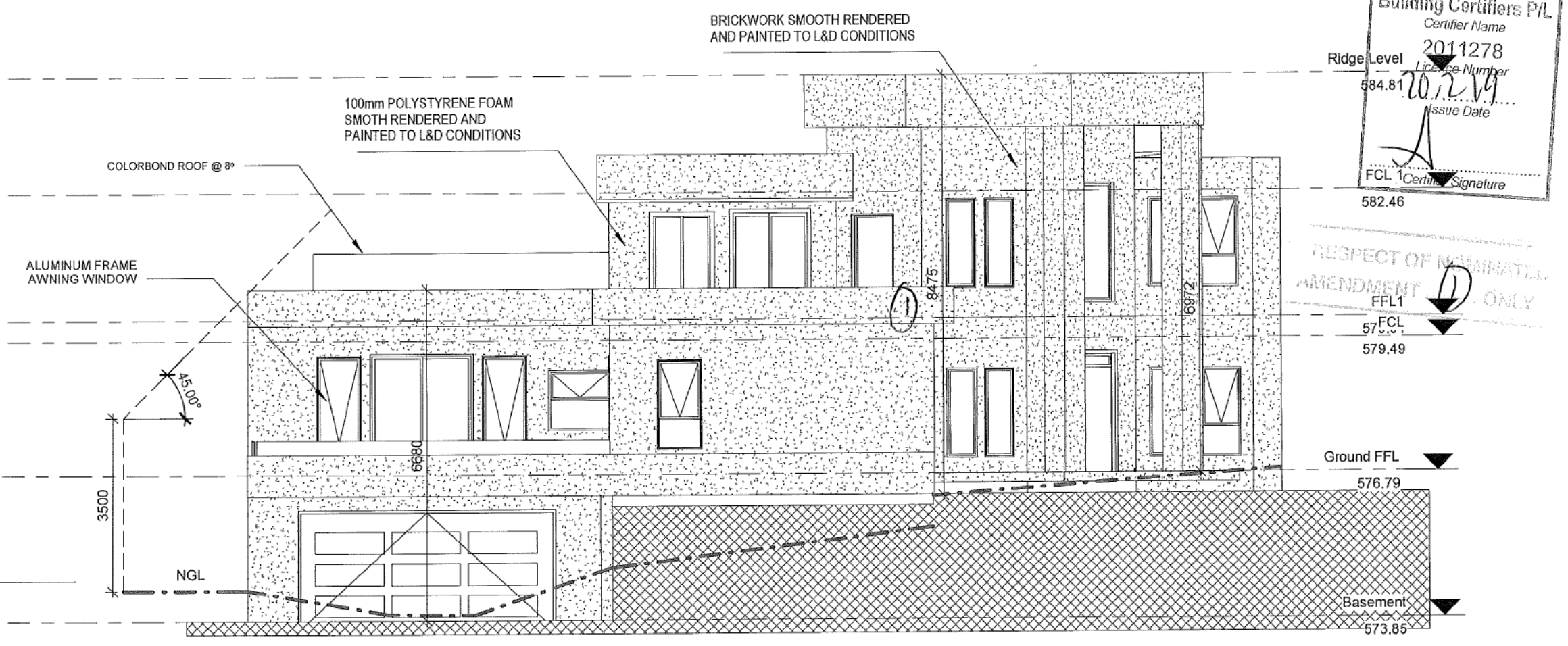
190 2960 90 6820 90 2905 250
190 2960 90 9525 250
190 4640 90 5465 250 2380 290
10635
13305

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No	Description			Date	Designer	New Residence Block [] of Section [] Weston	FIRST FLOOR	
				Author	Client	Scale 1 : 100 @ A3	Date 20/02/2019 1:26:42 PM	Revision A
					2.2(a)(ii)	Project Number 1904	Dwg No. A104	

1 South East Elevation
1 : 100



2 South West Elevation
1 : 100



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is amended under s.32
of the Building Act 2004.
Canberra Region
Building Certifiers P/L
Certifier Name
2011278
Licence Number
20/12/19
Issue Date
FCL 1
Signature

RESPECT OF NOMINATED
AMENDMENT ONLY

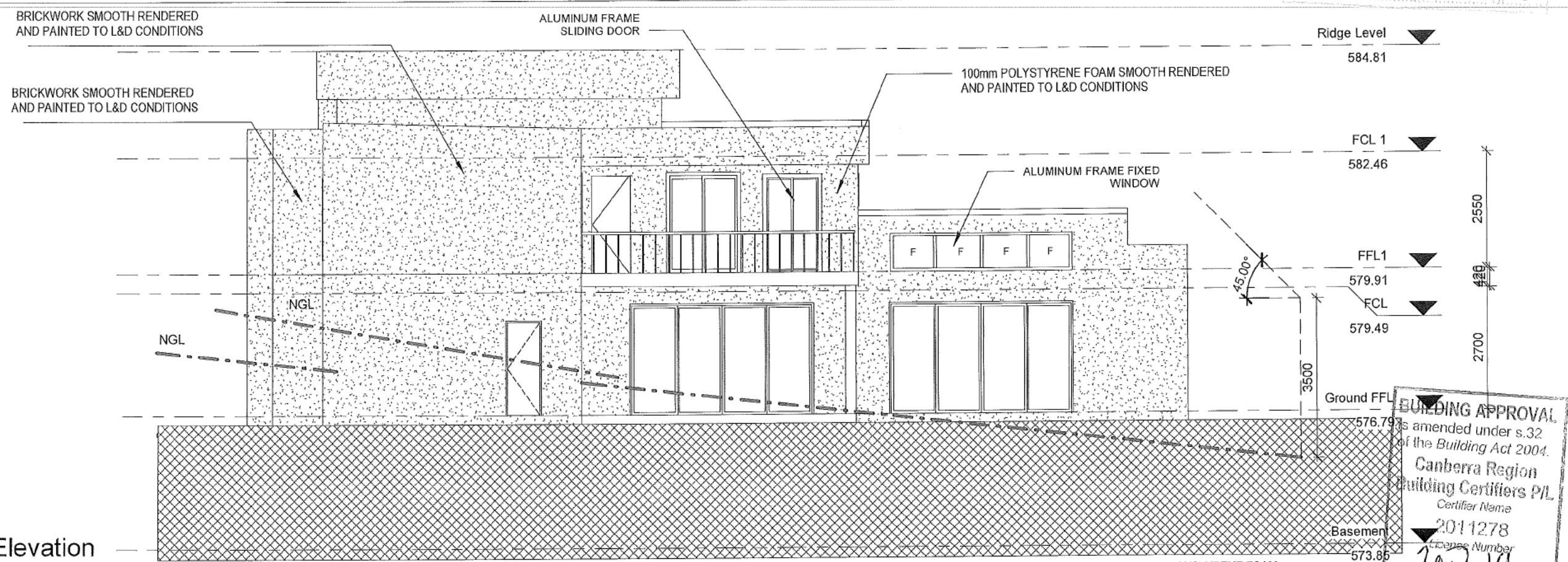
Amendments	
No	Description

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Coombs, ACT 2611
PH (02) 5100 7591
info@mzconstructions.com.au

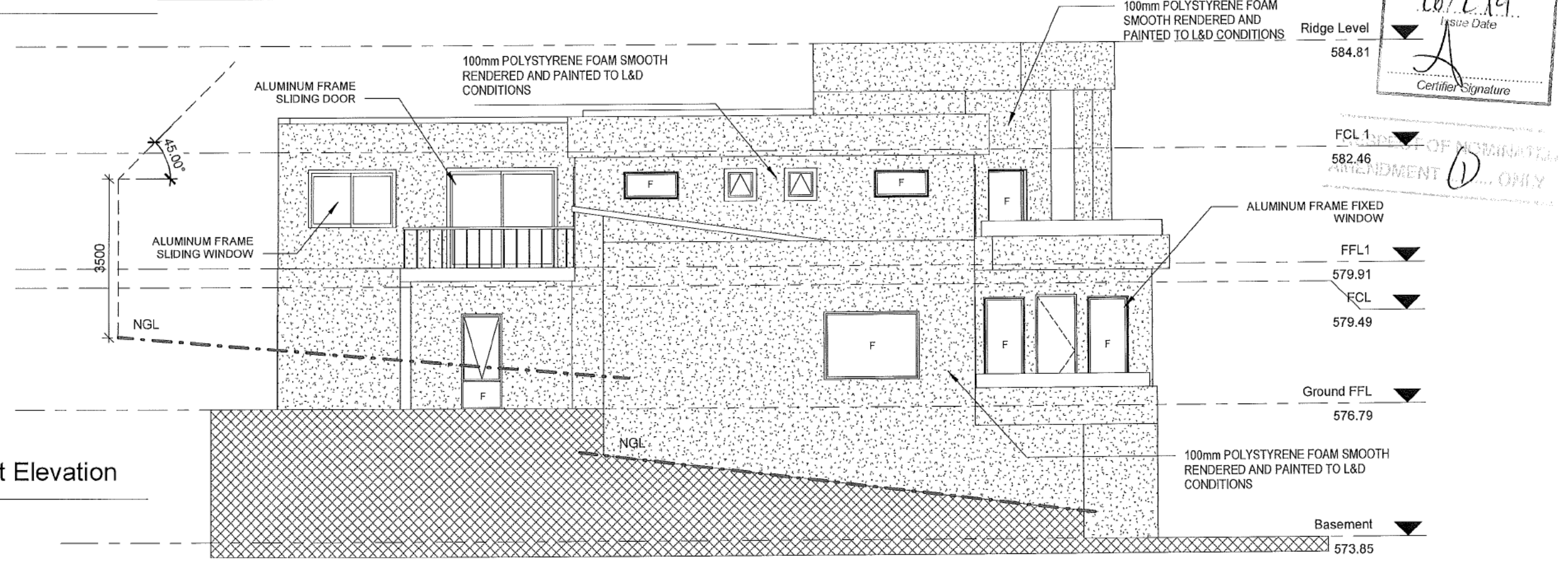
Designed by MZ Design Studio	Project New Residence Block of Section Weston
Drawn by MZ Design Studio	Client 2.2(a)(ii)

Drawing Title ELEVATIONS-01	
Scale 1 : 100@ A3	Date 20/02/2019 1:26:43 PM
Project Number 1904	Dwg No. A105
Revision A	



BUILDING APPROVAL
 as amended under s.32
 of the Building Act 2004.
Canberra Region
Building Certifiers P/L
 Certifier Name
 2011278
 License Number
 20/2/19
 Issue Date
 Certifier Signature

1 North East Elevation
1 : 100



2 North West Elevation
1 : 100

Amendments	
No	Description

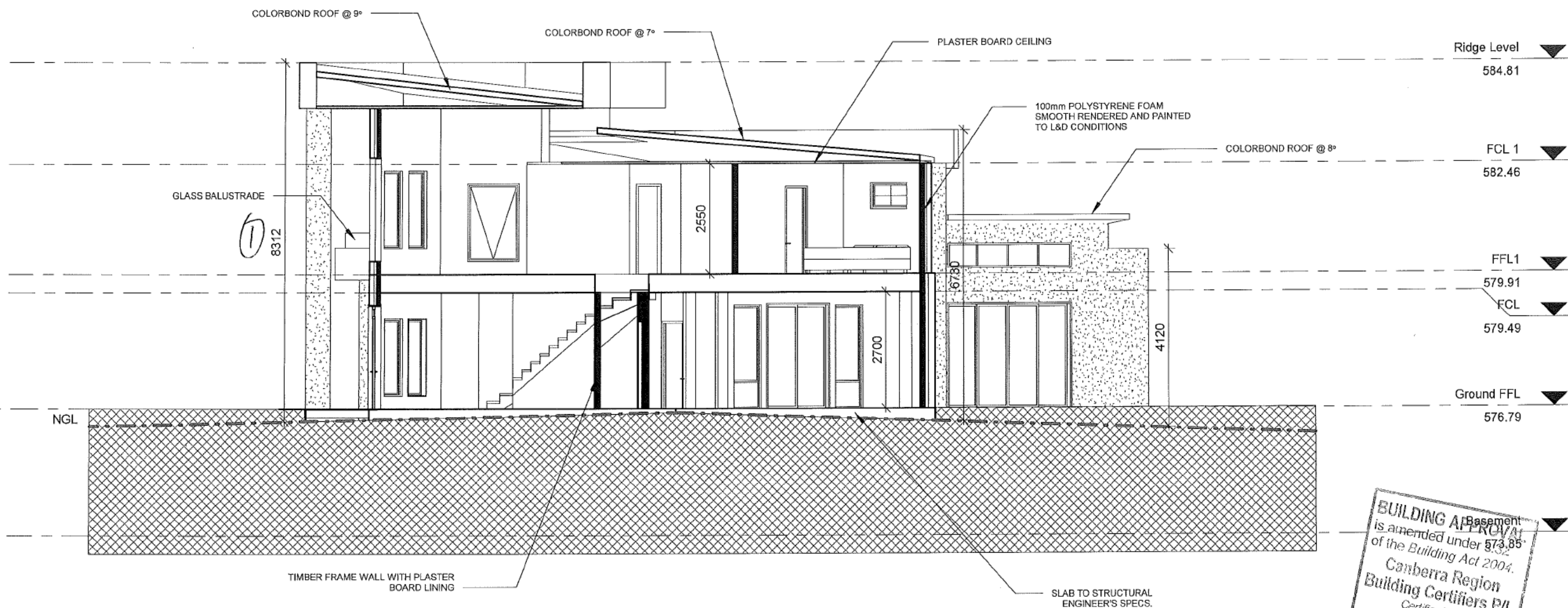
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MZ Design & Construction Group
 L1,35 Cornelius St
 Coombs, ACT 2611
 PH (02) 5100 7591
 info@mzconstructions.com.au

Designed by
 MZ Design Studio
 Project
 New Residence
 Block [] of Section [] Weston
 Drawn by
 MZ Design Studio
 Client
 2.2(a)(ii)

Drawing Title
ELEVATIONS-02
 Scale 1 : 100@ A3
 Project Number 1904
 Date 20/02/2019 1:26:44 PM
 Dwg No. A107
 Revision A

Sheet No. 6 of 6

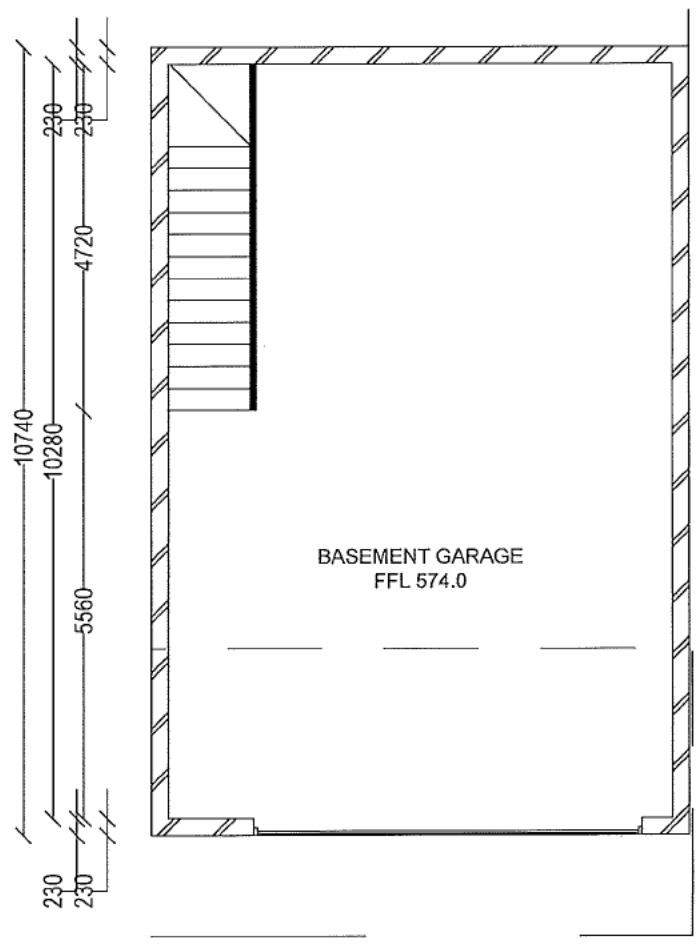
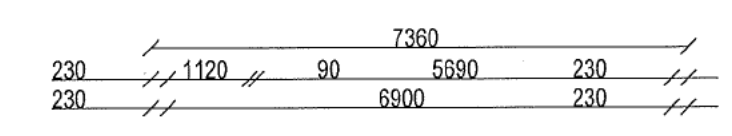


BUILDING APPROVAL
 is amended under 873.85
 of the Building Act 2004.
 Canberra Region
 Building Certifiers P/L
 Certifier Name
 2011278
 License Number
 20/219
 Issue Date
 Certifier Signature

RESPECT OF COMPATIBLE
 AMENDMENT ONLY

1 Section 01
 1 : 100

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No	Description			Date	MZ Design Studio	New Residence Block [redacted] of Section [redacted] Weston	SECTION			
				Drawn by MZ Design Studio	Client 2.2(a)(ii)	Scale 1 : 100@ A3	Date 20/02/2019 1:28:45 PM	Project Number 1904	Dwg No. A108	Revision A



2 1A

BUILDING APPROVAL
 Issued under s.28 of
 the Building Act 2004.
 Canberra Region
 Building Certifiers P/L
 Certifier Name
 Lic. No. 2011278
 BCA Occupancy Class
 BCA Type of Construction
 Issue date: 19/4/18
 Certifier signature:

Amendments		
No	Description	Date

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MZ Design & Construction Pty Ltd
 CANBERRA
 35 CORNELIUS ST,
 COOMBS, 2611
 Mob 0450 299216
 Email: info@mzconstructions.com.au

Consultants

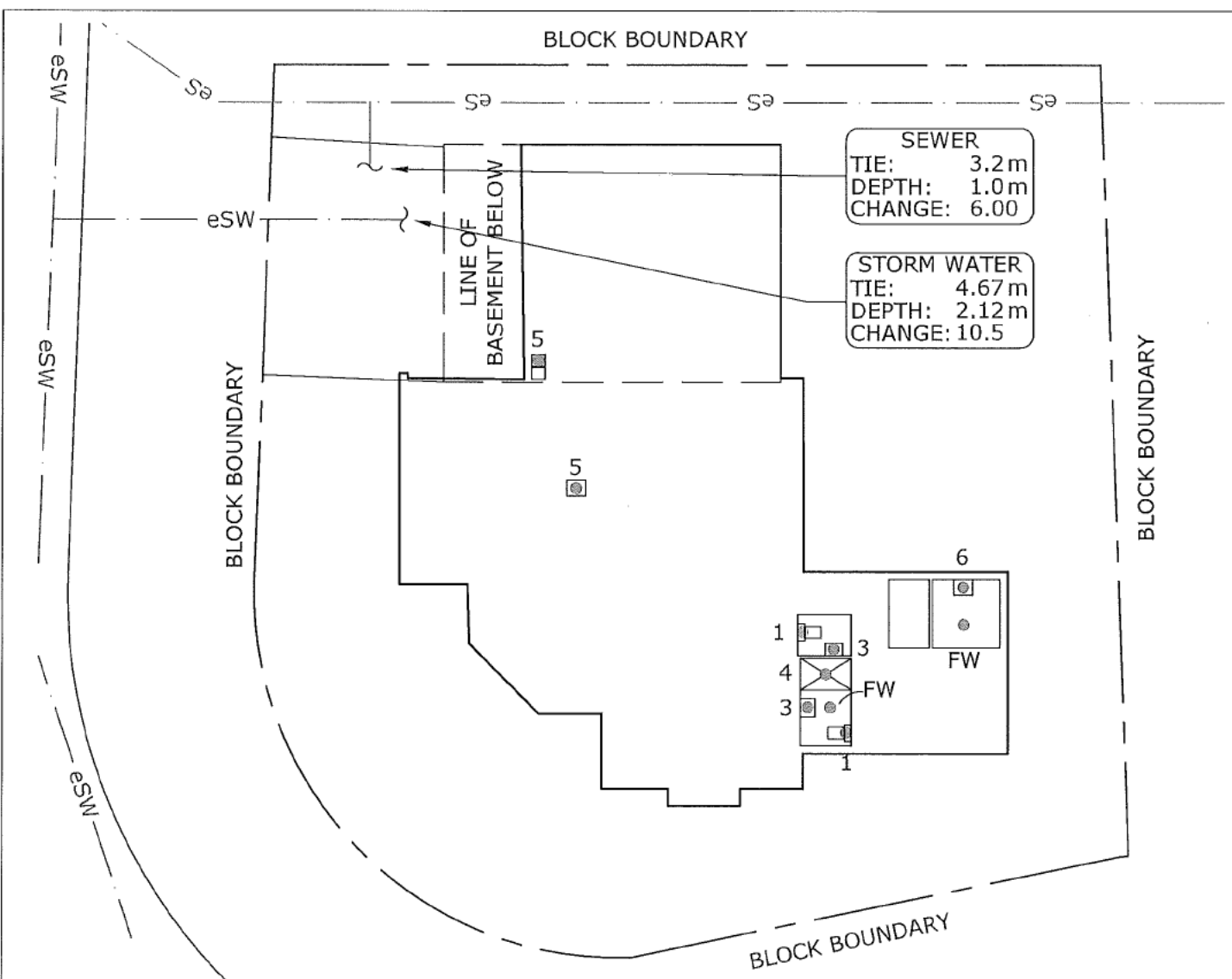
Client
 2.2(a)(ii)

Project Name
PROPOSED NEW RESIDENCE
 BLOCK SECTION
 WESTON

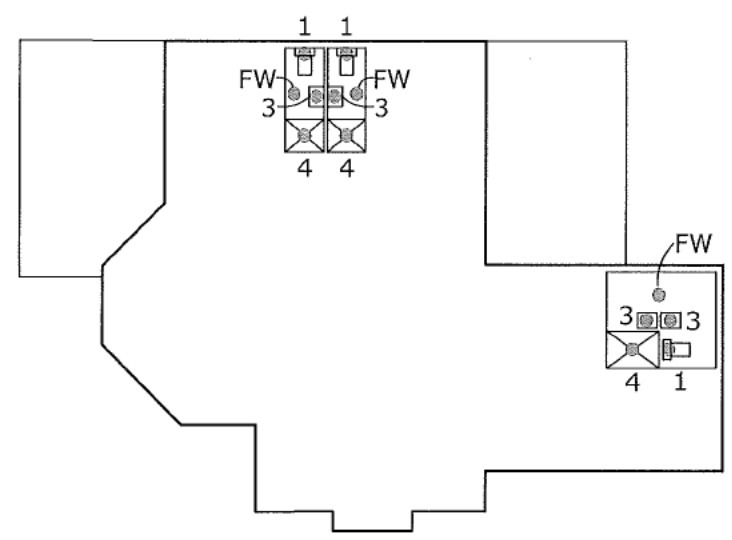
Figured dimensions to be used in preference to scaled dimensions.
 Contractor must verify all dimensions on site.

Designed by: ZB Drawn by: ZB
 Checked by: ME Authorised by:
 Drawing Title:
BASEMENT
 Scale: 1:100 @ A3 Date: 10.4.2017
 Project No: 1719
 Drawing No.: A-102 Revision: A

Plot Date: 15/04/2017



GROUND FLOOR PLAN



UPPER FLOOR PLAN

NOTES:

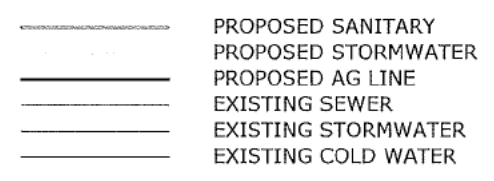
1. DRAINS TO BE LAID SHOWN IN BLUE LINES
2. EXISTING DRAINS SHOWN IN GREEN LINES
3. EXISTING DRAINS X'ED IN RED TO BE ABOLISHED TO APPROVAL
4. DRAINS TO BE SUPPORTED ON OR FROM SOLID GROUND
5. COPPER PIPES TO BE IN ACCORDANCE WITH AS.1432-1973 TABLE 2 TYPE B TUBES
6. UNPLASTICISED POLYVINYL CHLORIDE PIPE DRAIN (U.P.V.C) INCLUDING STACKS, TO BE CONSTRUCTED IN ACCORDANCE WITH AS.2032-997, AS.23500 AND CANBERRA CODE OF PRACTICE.
7. DRAINS UNDER BUILDING MUST BE RETESTED, IF TEST FAILED THEN OLD DRAIN MUST BE REPLACED USING EITHER RRJVC OR UPVC PIPE MATERIAL.
8. SEWER BRANCH TO BE LOCATED ON SITE BEFORE ANY WORK IS COMMENCED
9. THIS PLAN IS TO BE READ IN CONJUNCTION WITH APPROVED ARCHITECTURAL PLANS AND SPECIFICATION.
10. ORG LEVELS TO BE READ IN CONJUNCTION WITH AS.3500.2 CLAUSE 4.6.6.6 AND 4.6.6.7

FIXTURES:

- | | | |
|----|--------------|-----|
| 1. | WATER CLOSET | (5) |
| 2. | BATH | (-) |
| 3. | BASIN | (6) |
| 4. | SHOWER | (4) |
| 5. | SINK | (2) |
| 6. | LAUNDRY TUB | (1) |

REFERENCE

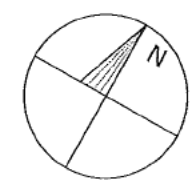
- | | |
|------|------------------------|
| D.T. | - DISCONNECTOR TRAP |
| E.J. | -EXPANSION JOINT |
| E.V. | -EDUCT VENT |
| F.W. | -FLOOR WASTE |
| G.T. | -GULLY TRAP |
| E.C. | -INSPECTION CHAMBER |
| I.O. | -INSPECTION OPENING |
| I.S. | -INSPECTION SHAFT |
| J.U. | -JUMP UP |
| M.H. | -MAN HOLE |
| ORG | -OVERFLOW RELIEF GULLY |
| SVP | -SOIL VENT PIPE |



ALL WORK MUST BE CARRIED OUT IN CONFORMITY WITH THE WATER AND SEWERAGE ACT 2000, WATER AND SEWERAGE REGULATIONS 2001 AND AS. 2300.

CHECKED: EZYFLOW DRAINAGE 08.03.2018

GENERAL NOTES:
 All works are to comply with the relevant Australian standards & all relevant authority requirements.
 All dimensions are approximate unless otherwise stated and shall be verified by the builder on site prior to the commencement of works. **DO NOT SCALE OFF DRAWING.** Any discrepancies shall be resolved prior to commencement of works and ordering and placing of materials.
 A registered surveyor to set out structure & confirm positions of all relevant building envelope setbacks & easements prior to the commencement of the works.



AMENDMENTS		
NO.	REVISION	DATE
01	INTERIM PLAN	08.03.2018

BLOCK	
SECTION	
ADDRESS	
SUBURB	WESTON
STATE	A.C.T
SCALE	1:200

OWNER	2.2(a)(ii)
DESIGNED	N. LENARDUZZI

DRAWN	NL
JOB REF	
DWG NO	H01

Amendments *S*

No	Description	Date

BUILDING APPROVAL
 Issued under s.28 of
 the Building Act 2004.

**Canberra Region
 Building Certifiers P/L**
 Certifier Name
 Lic. No. 2011278
 BCA Occupancy Class
 BGA Type of Construction
 Issue date: 10/4/2017
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 Email: info@mzconstructions.com.au

Consultants

Client
 2.2(a)(ii)

Project Name
 PROPOSED NEW RESIDENCE
 BLOCK SECTION
 WESTON

Figured dimensions to be used in preference to scaled dimensions.
 Contractor must verify all dimensions on site.

Designed by: ZB Drawn by: ZB

Checked by: NE Authorised by:

Drawing Title:
 NORTH ELEVATION
 SOUTH ELEVATION

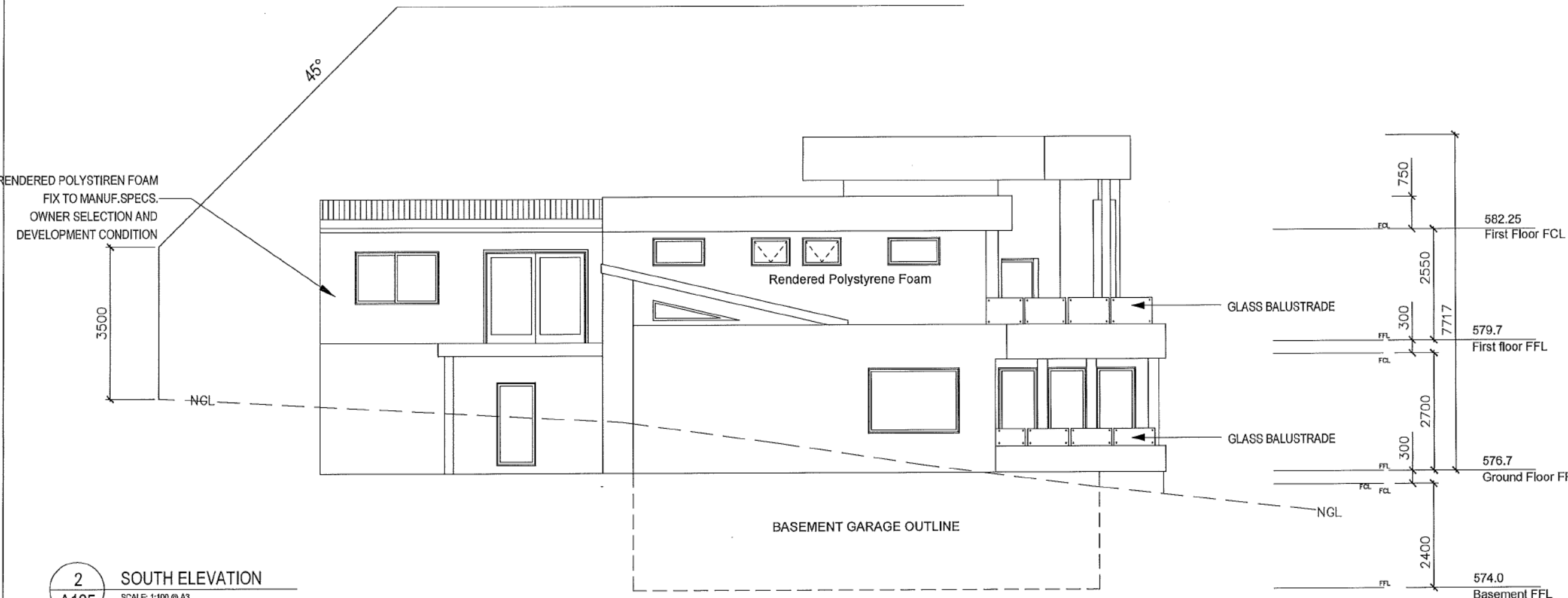
Scale: 1:100 @ A3 Date: 10.4.2017

Project No: 1719

Drawing No.: A-105 Revision: A



1 NORTH ELEVATION
 SCALE: 1:100 @ A3



2 SOUTH ELEVATION
 SCALE: 1:100 @ A3

Amendments

No	Description	Date
----	-------------	------

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Client
 2.2(a)(ii)
 Project Name
PROPOSED NEW RESIDENCE
 BLOCK SECTION
 WESTON

Figural dimensions to be
 used in preference to
 scaled dimensions.
 Contractor must verify all
 dimensions on site.

Designed by: ZB Drawn by: ZB

Checked by: ME Authorised by:

Drawing Title:
EAST ELEVATION
WEST ELEVATION

Scale: 1:100 @ A3 Date: 10.4.2017

Project No: 1719

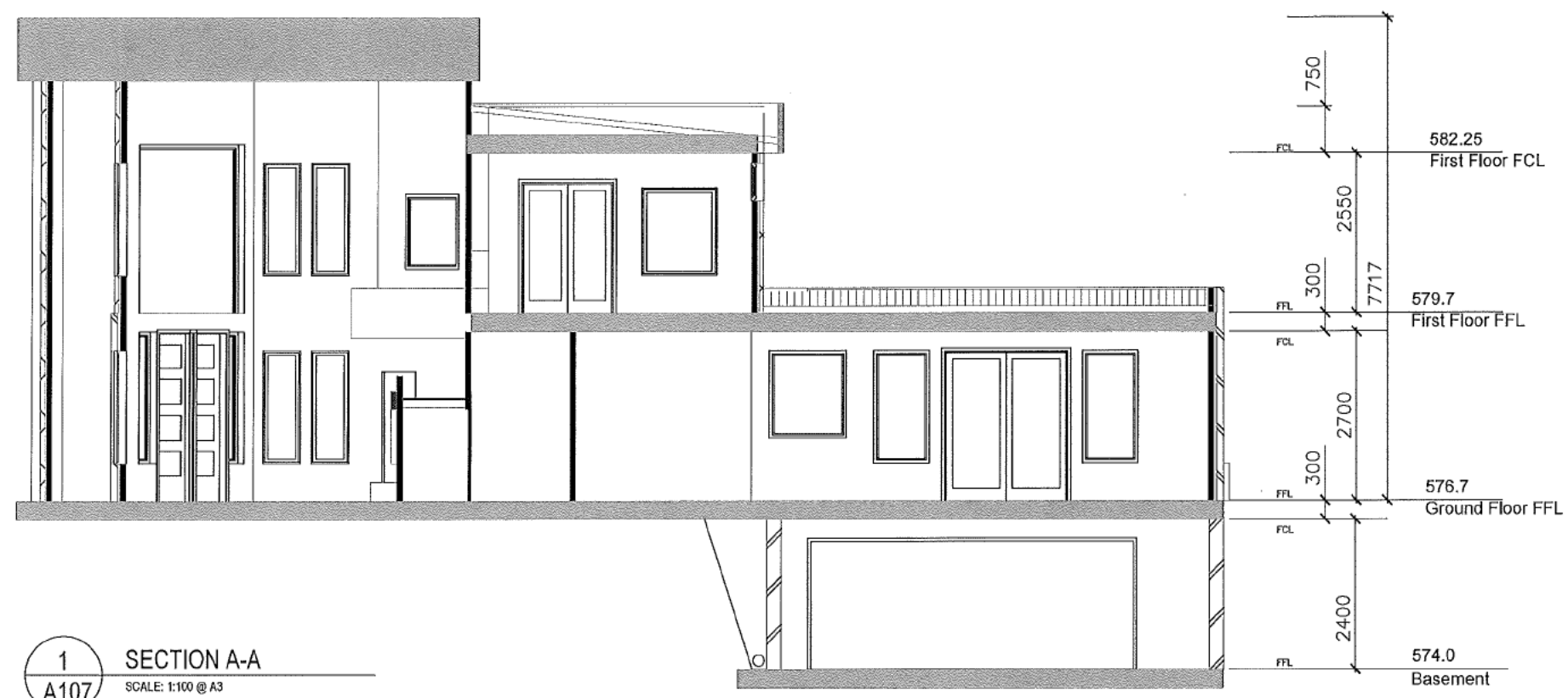
Drawing No.: A-106 Revision: A

Plot Date: 15/04/2017

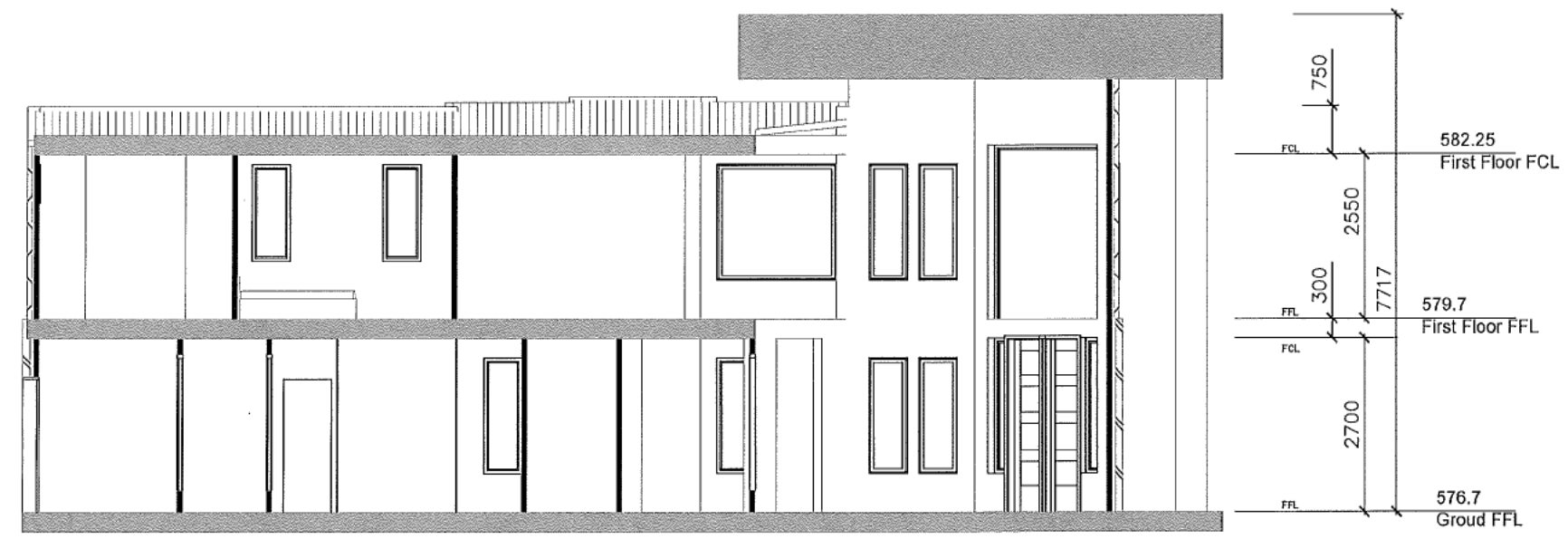


Amendments

No Description Date



1 SECTION A-A
A107 SCALE: 1:100 @ A3



2 SECTION B-B
A107 SCALE: 1:100 @ A3

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Certifier Name

Lic. No. 2011278
[Signature]

BCA Occupancy Class
[Signature]

BCA Type of Construction
[Signature]

Issue date: 9/9/18

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Client
2.2(a)(ii)

Project Name
PROPOSED NEW RESIDENCE
BLOCK SECTION
WESTON

Figured dimensions to be used in preference to scaled dimensions. Contractor must verify all dimensions on site.

Designed by: *z8* Drawn by: *z8*

Checked by: *ME* Authorised by:

Drawing Title:
SECTIONS

Scale: 1:100 @ A3 Date: 10.4.2017

Project No: 1719

Drawing No.: A-107 Revision: A

Amendments 14

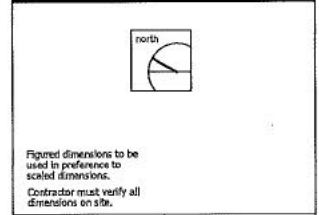
No	Description	Date

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Client
2.2(a)(ii)
 Project Name
PROPOSED NEW RESIDENCE
 BLOCK SECTION
 WESTON



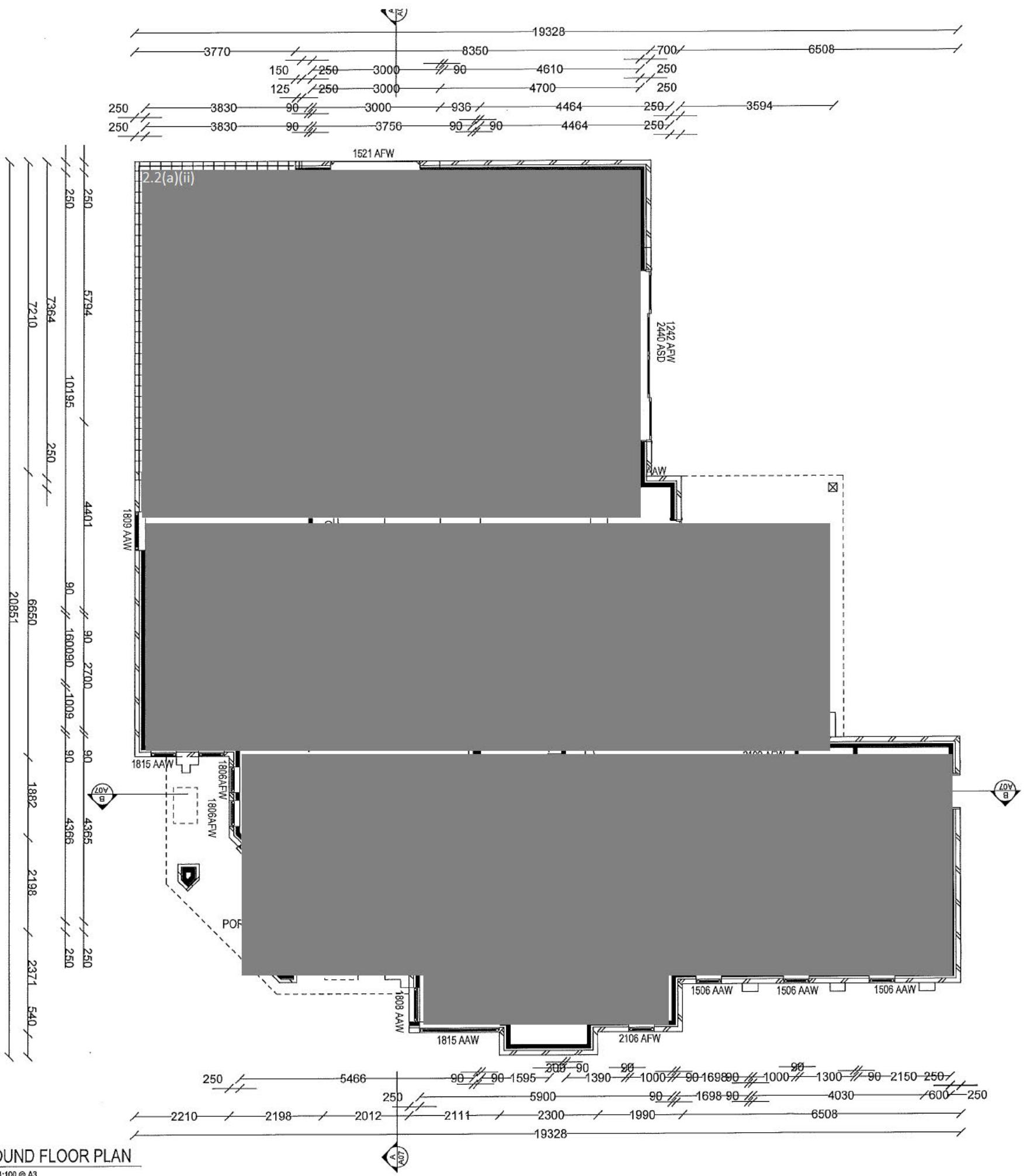
Designed by: ZB Drawn by: ZB
 Checked by: ME Authorised by:

Drawing Title:
GROUND FLOOR PLAN

Scale: 1:100 @ A3 Date: 10.4.2017

Project No.: 1719

Drawing No.: A-103 Revision: A



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Canberra Region Building Certifiers P/L
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 BCA Occupancy Class
 BCA Type of Construction
 Issue date: 10.4.2017
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1
A102
GROUND FLOOR PLAN
 SCALE: 1:100 @ A3

AREA SCHEDULE	
BLOCK AREA	712m ²
BASEMENT GARAGE	79.05m ²
GROUND FLOOR	224.17m ²
FIRST FLOOR	123.29m ²
TOTAL GFA	347.46m ²
ALFRESCO	23.00m ²
PORCH	13.36m ²
TOTAL BALCONY	75.30m ²
PLOT RATIO	48.80%

The following inspections are required on this project:

Footings Slabs Floor Frame
 Wall Frame Roof Frame S/W
 Pre-sheet Final Other

Please provide adequate notice when booking inspections.

Provide vertical articulation joints to brick walls in accordance with Part 3.31 B of BCA Vol 2 unless - slab/footings comply with Part 3.2.5.1(a)-(ii) of BCA Vol 2.

1.8 M HIGH STANDARD PALING FENCE. ALL FENCING TO COMPLY WITH LEASE & DEVELOPMENT CONDITIONS.

SLIMLINE 4000L WATER TANK TO BE FILLED AT LEAST BY 50% OF ROOF AND CONNECTED IRRIGATION SYSTEM, LAUNDRY COLD WATER, TOILET FLUSHING AND ALL EXTERNAL TAPS. OVERFLOW FROM WATER TANKS IS TO BE CONNECTED INTO THE EXISTING TIE PROVIDED USING 90mm DIA. U.P.V.C STORMWATER LINE, IN ACCORDANCE WITH AS3500.3

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 Canberra Region Building Certifiers P/L
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 Lic. No. 2011278
 BCA Occupancy Class
 BCA Type of Construction
 Issue date
 Certifier signature

Amendments		
No	Description	Date
1	01	

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Consultants

Client
 2.2(a)(ii)

Project Name
 PROPOSED NEW RESIDENCE
 BLOCK SECTION
 WESTON

Designed by: ZB Drawn by: ZB
 Checked by: ME Authorised by:
 Drawing Title:
 Site Plan
 Scale: 1:200 @ A3 Date: 10.4.2017
 Project No: 1719
 Drawing No.: A-101 Revision: A
 Plot Date: 15/04/2017

CONCRETE:

TOTAL AREA OF CONCRETE AND PAVEMENT NOT EXCEED 50% OF TOTAL AREA OF POS.

RETAINING WALL:

RESIDENCE GROUND FLOOR:

RESIDENCE FIRST FLOOR:

BASEMENT GARAGE:

WATER TANK:

CLOTHES LINE:

A Clearance Certificate from a suitably qualified person will be required for each of the following components prior to the issue of Certificate of Occupancy and Use:

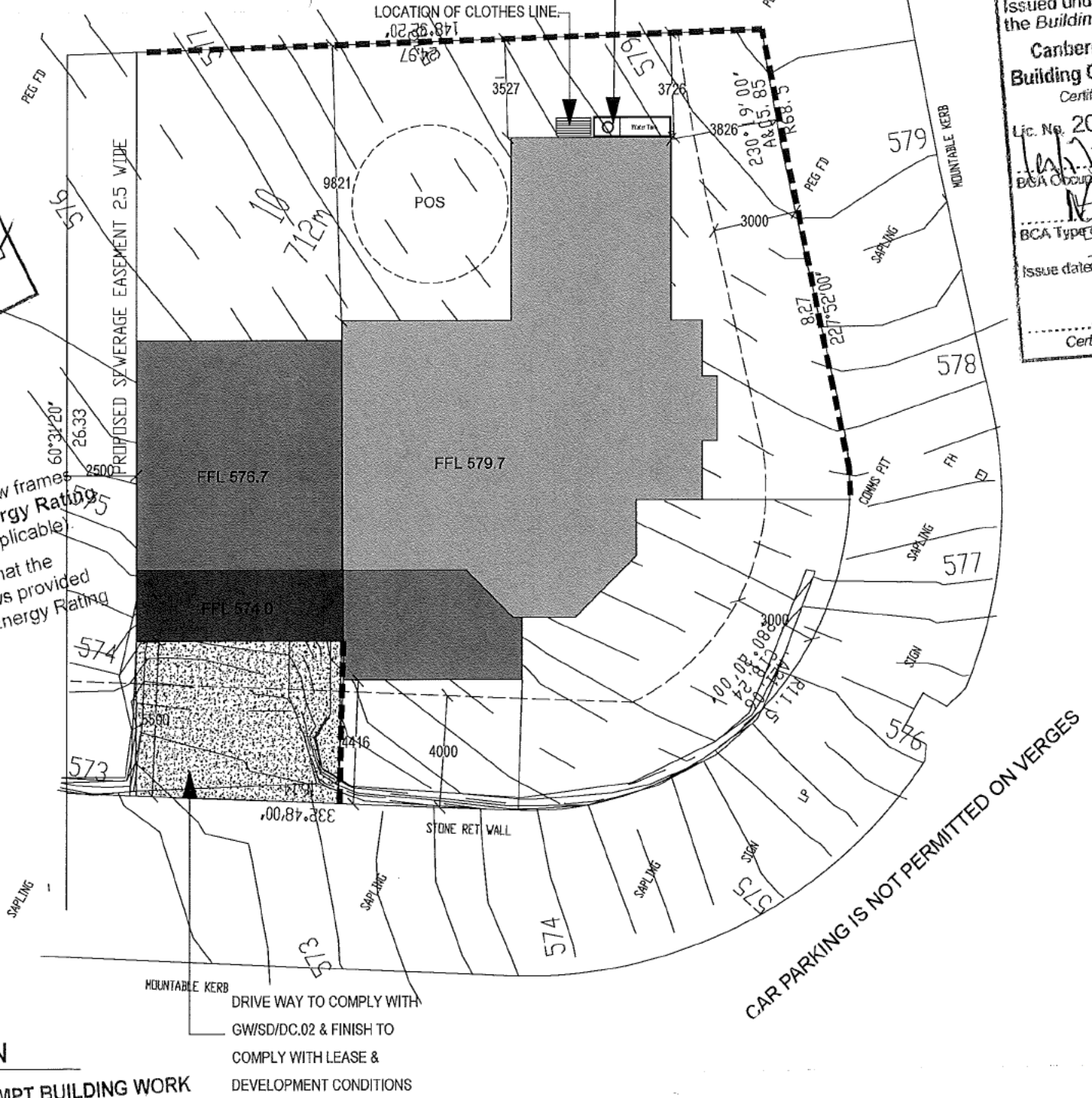
Structural Survey Roof Trusses
 Wet Area Flashing Termite Protection
 Glazing Other

Glazing & Window Frames
 Ensure that window glazing & window frames conform to that required by the Energy Rating Report (or Glazing Calculator if applicable). The window provider is to certify that the U-Value & SHGC of new windows provided conform to that required by the Energy Rating Report (or Glazing Calculator)

- DO NOT SCALE OF PLAN
- WRITTEN DIMENSIONS WILL TAKE PRECEDENCE
- ANY DISCREPANCIES MUST BE DISCUSSED WITH THE DRAFTSPERSON
- THE DRAFTSPERSON TAKES NO RESPONSIBILITY FOR MISINTERPRETED DRAWINGS OR CONSTRUCTION ERRORS.
- THE BUILDING TO BE SITED BY A SURVEYOR. ALL DIMENSIONS, LEVELS AND SETBACKS NOTED ON PLAN MUST BE CHECKED ON SITE BY SURVEYOR & BUILDER PRIOR TO ANY CONSTRUCTION

Survey Certificate Required
 Provide housing siting to the Certifier at bearer & Joist or slab level before proceeding in accordance with Section 43(2)(a)(i) of the Building Act

SITE PLAN
 Scale 1:200
DA-EXEMPT BUILDING WORK
 Complies with Section 1.100AA of Schedule 1 of the Planning & Development Regulation 2008 (Compliant Single Dwellings - New Residential land)

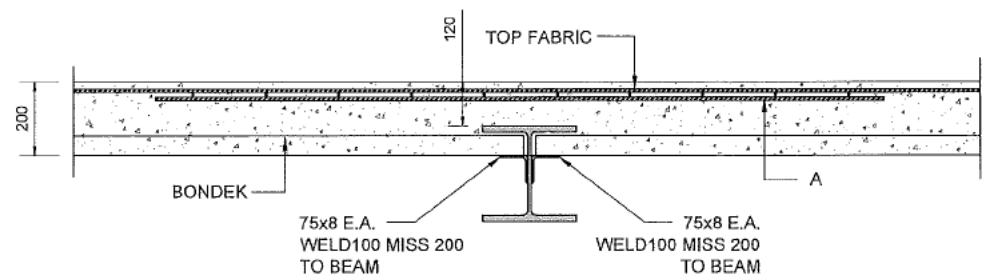


CAR PARKING IS NOT PERMITTED ON VERGES

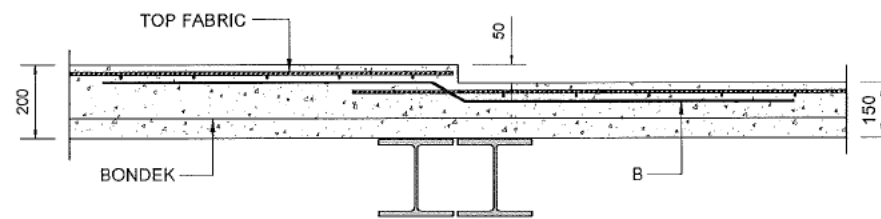
SKIPPER CLOSE

Construction must comply with 5.4 Noise Attenuation - external sources i), R42 b) and C42 b).

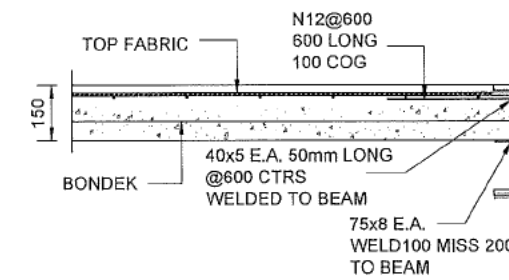
14 14



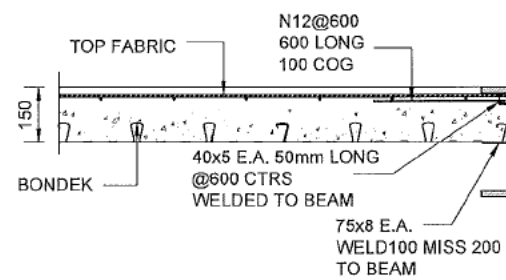
SECTION 1
1:20 S101



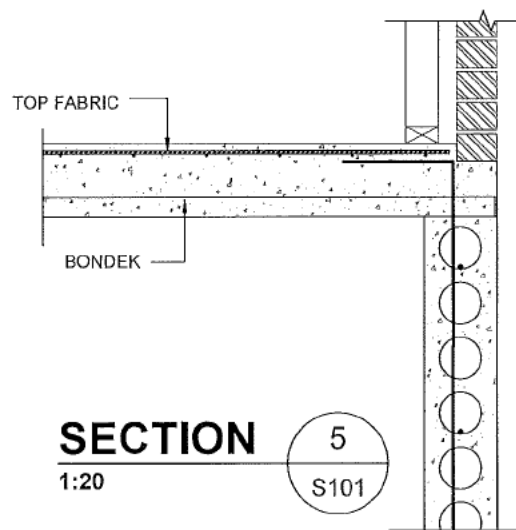
SECTION 2
1:20 S101



SECTION 3
1:10 S101



SECTION 4
1:20 S101



SECTION 5
1:20 S101

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Canberra Region Building Certifiers P/L
Certifier Name
Lic. No. 2011278
BCA Occupancy Class
BCA Type of Construction
Issue date: 21.9.18
Certifier signature

NOTE: DO NOT SCALE OFF DRAWINGS. REFER TO ARCHITECTURAL PLANS. VERIFY DIMENSIONS ON SITE

REV	DATE	DESCRIPTION	BY
A	26.02.18	ISSUED FOR BA	A.N.H.

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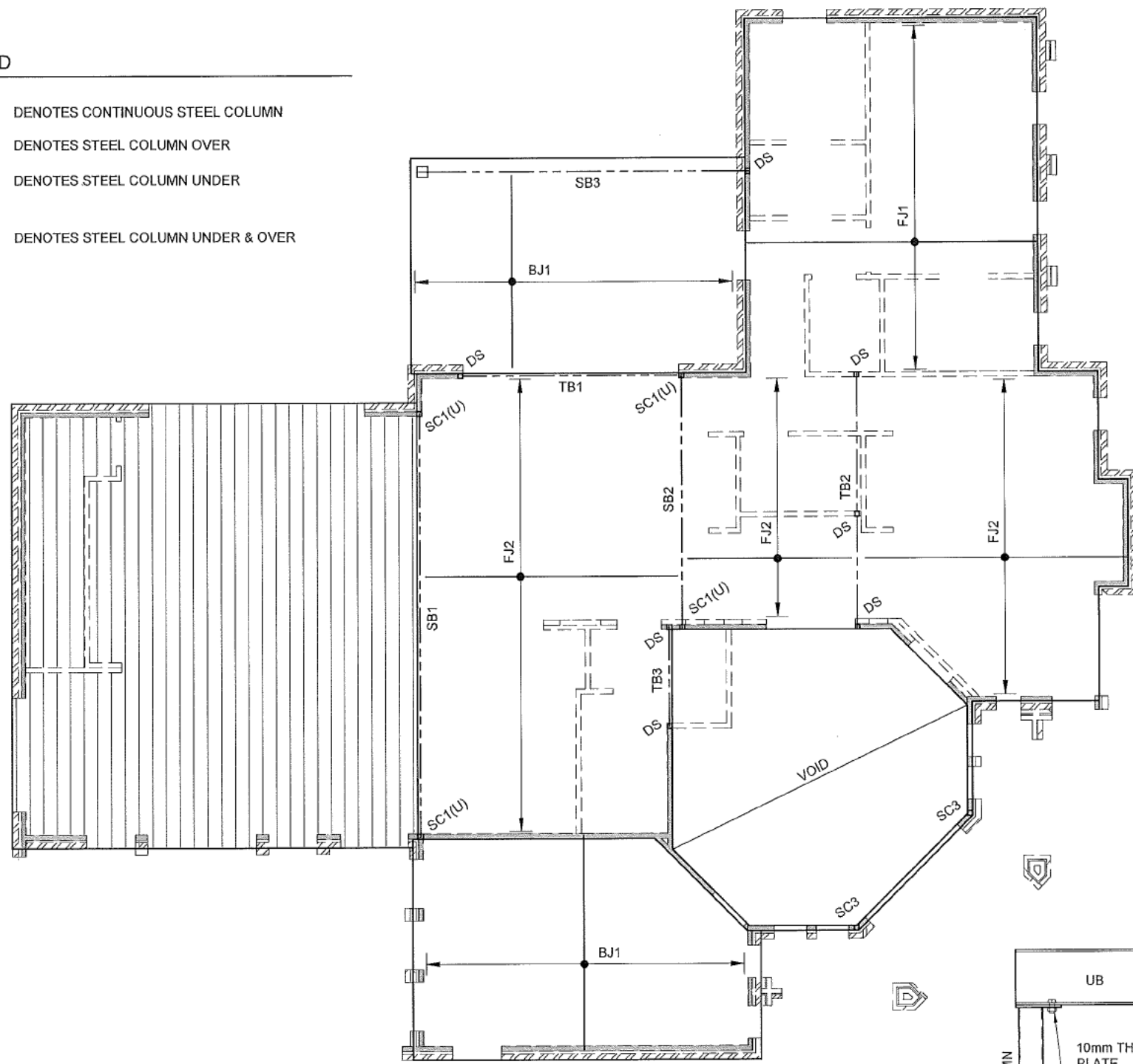


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E. info@anh.net.au www.anh.net.au

NEW RESIDENCE BLOCK: SECTION WESTON FOR MZ CONSTRUCTIONS		JOB NUMBER: 18-066	DWG NUMBER: S202	ORIGINAL SIZE: A3
DESIGNED BY: A.N.H.	DATE: 25.02.2018			
DRAWN BY: A.Z.	SCALE: 1:20			

LEGEND

- SC1 DENOTES CONTINUOUS STEEL COLUMN
- SC1(O) DENOTES STEEL COLUMN OVER
- SC1(U) DENOTES STEEL COLUMN UNDER
- SC1(O) DENOTES STEEL COLUMN UNDER & OVER



FIRST FLOOR TIMBER MARKING PLAN

1:100

NOTE:
ALL LVL BEAMS ARE ASSUMED WEATHER PROTECTED.
ADVISE OUR OFFICE OTHERWISE

NOTE: DO NOT SCALE OFF DRAWINGS. REFER TO ARCHITECTURAL PLANS. VERIFY DIMENSIONS ON SITE

STEEL & TIMBER MEMBER SCHEDULE

MARK	DESCRIPTION	SIZE	COMMENTS
SC1	STEEL COLUMN	89 x 89 x 3.5 SHS	
SC3	STEEL COLUMN	100 x 100 x 9 SHS	WALL STIFFENERS
DS	DOUBLE STUD	2/90 x 45 MGP10	
TB1	TIMBER BEAM	2/360 x 45 LVL	
TB2	TIMBER BEAM	2/300 x 45 LVL	
TB3	TIMBER BEAM	2/300 x 45 LVL	
SB1	STEEL BEAM	310UC119	
SB2	STEEL BEAM	310UB32	
SB3	STEEL BEAM	300 PFC	
FJ1	FLOOR JOIST	HJ30090 @ 450 Ctrs	
FJ2	FLOOR JOIST	HJ30063 @ 450 Ctrs	
BJ1	BALCONY JOIST	240 x 45 LVL @ 450 Ctrs	

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Canberra Region Building Certifiers P/L
Certifier Name
Lic. No. 2011278
Issue date: 11/1/18
Certifier signature

NOTE:

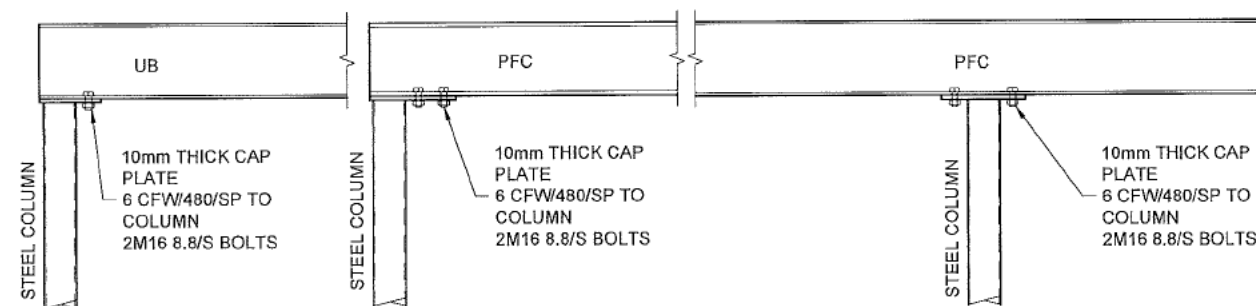
TRUSS LAYOUT TO BE FORWARDED TO ANH CONSULTING ENGINEERS BEFORE COMMENCEMENT OF WORK ON SITE

DO NOT LOAD INTERNAL WALLS WITHOUT PERMISSION OF A STRUCTURAL ENGINEER

TIMBER TRUSSES, ROOF BRACING, WALL FRAMING, LINTELS WALL BRACING AND EXISTING ROOF SUPPORT TRUSSES BY FRAMING COMPANY.

NOTE:

ARCHITECT/ BUILDER TO CHECK THE CLEARANCE, LEVELS AND LAYOUT OF STRUCTURAL STEEL MEMBERS BEFORE COMMENCEMENT ON SITE



TYPICAL COLUMN CAP DETAILS

1:20

BEAMS TO BE LOCATED CENTRALLY OVER COLUMN TYPICAL ALTERNATIVELY SITE WELD USING 6 CFW/480/SP ALL ROUND

REV	DATE	DESCRIPTION	BY
A	26.02.18	ISSUED FOR BA	A.H.H

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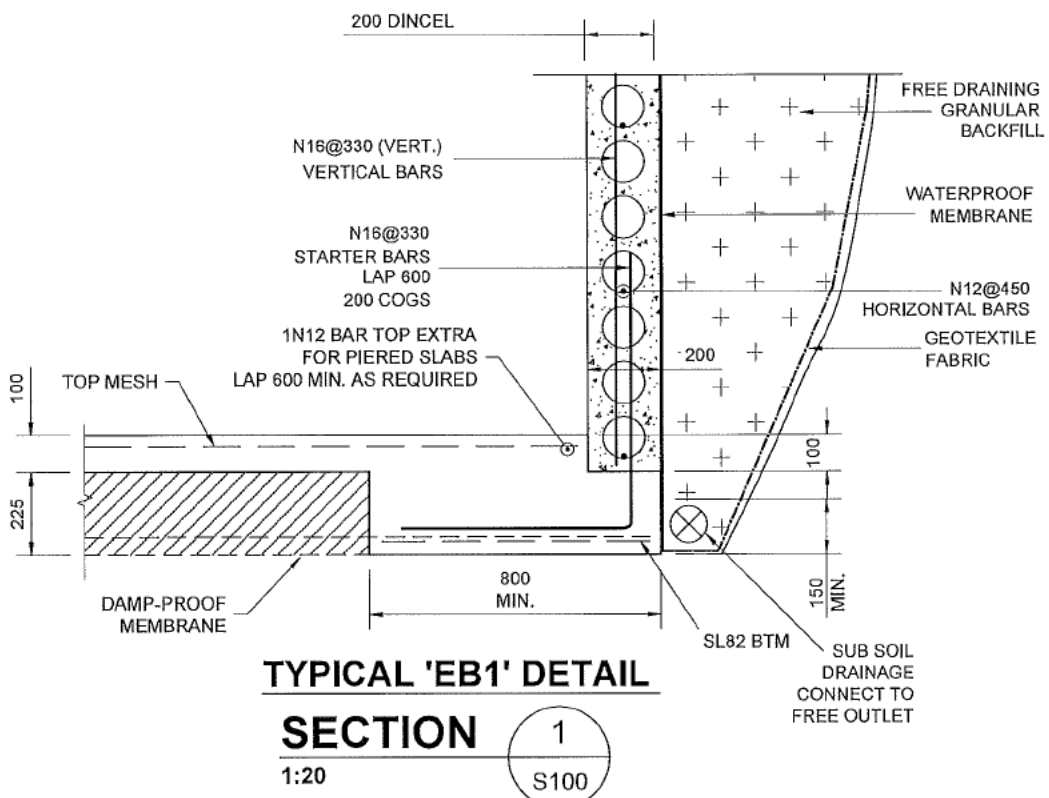


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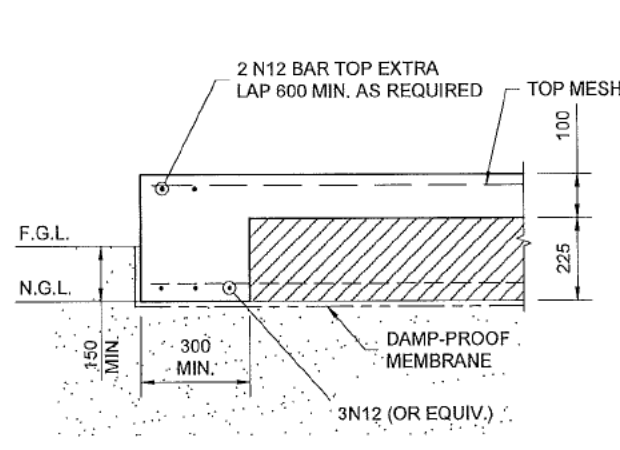
NEW RESIDENCE
BLOCK: SECTION WESTON
FOR MZ CONSTRUCTIONS

FIRST FLOOR TIMBER MARKING PLAN

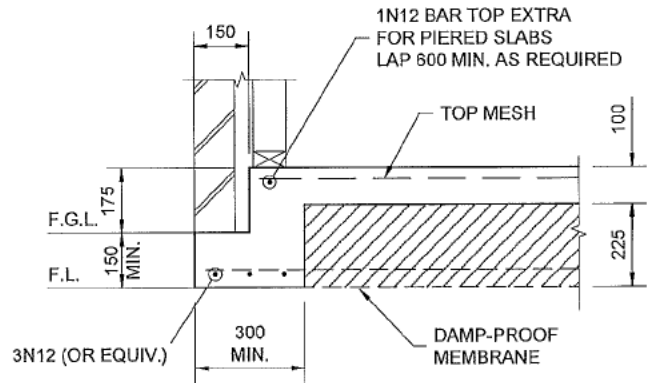
JOB NUMBER:	DWG NUMBER:	ORIGINAL SIZE:
18-066	S102	A3
DESIGNED BY:	DATE:	
A.N.H	26.02.2018	
DRAWN BY:	SCALE:	
A.Z	1:100	



TYPICAL 'EB1' DETAIL
SECTION 1
1:20



TYPICAL 'EB2' DETAIL
SECTION 2
1:20

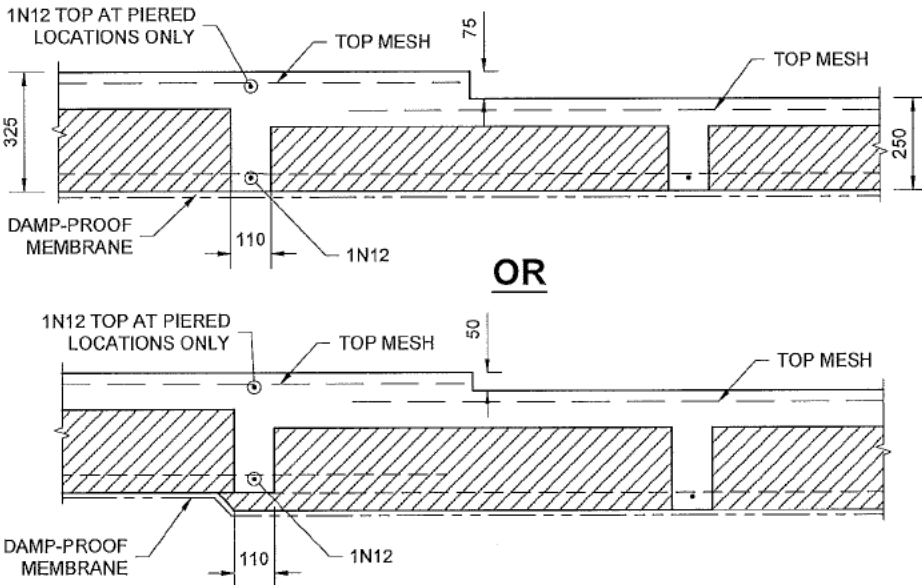


TYPICAL 'EB3' DETAIL
SECTION 2
1:20

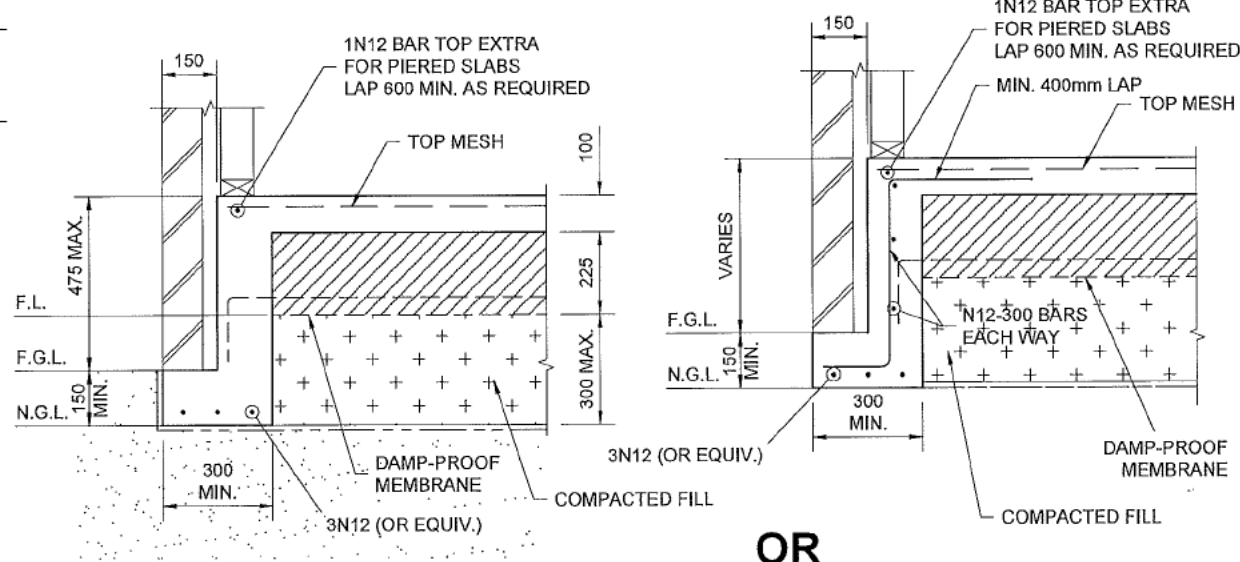
LEGEND

- F.G.L. FINISHED GROUND LEVEL
- N.G.L. NATURAL GROUND LEVEL
- F.L. FILL LINE

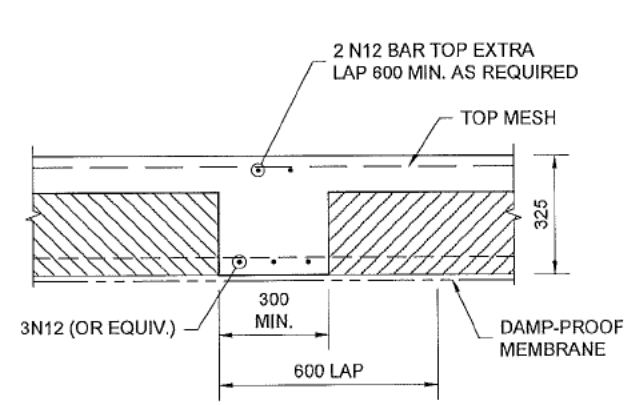
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Lic. No. 2011278
BCA Occupancy Class
BCA Type of Construction
Issue date: 26/02/2018
Certifier signature



TYPICAL SET DOWN DETAIL IF REQUIRED
1:20



TYPICAL 'DEB3' DETAIL
SECTION 4
1:20



TYPICAL INTERNAL BEAM - 'IB1'
SECTION 5
1:20

NOTE: DO NOT SCALE OFF DRAWINGS. REFER TO ARCHITECTURAL PLANS. VERIFY DIMENSIONS ON SITE

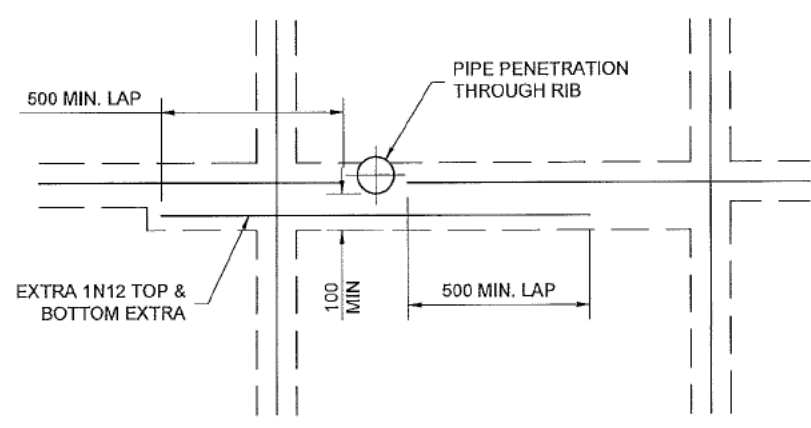
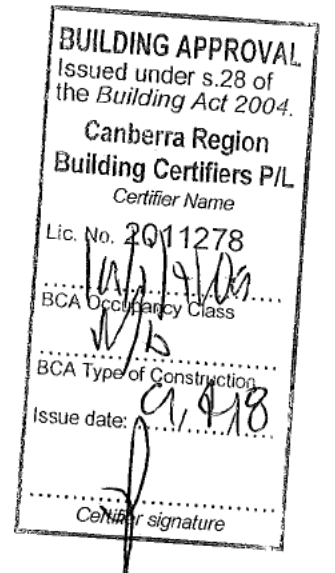
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A	26.02.18	ISSUED FOR BA	A.N.H.

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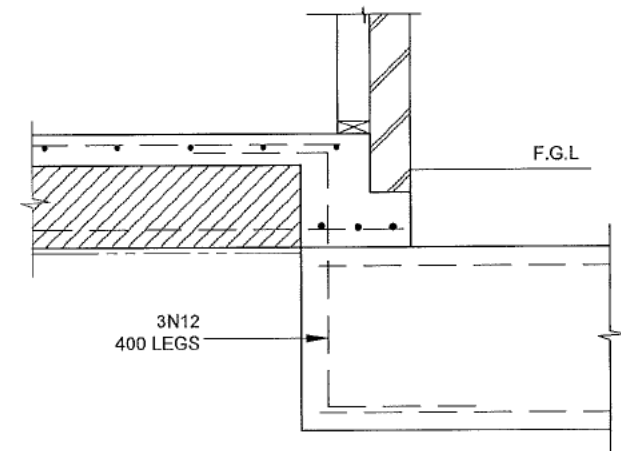
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NEW RESIDENCE
BLOCK: SECTION WESTON
FOR MZ CONSTRUCTIONS
FOOTING SLAB DETAILS
SHEET #1

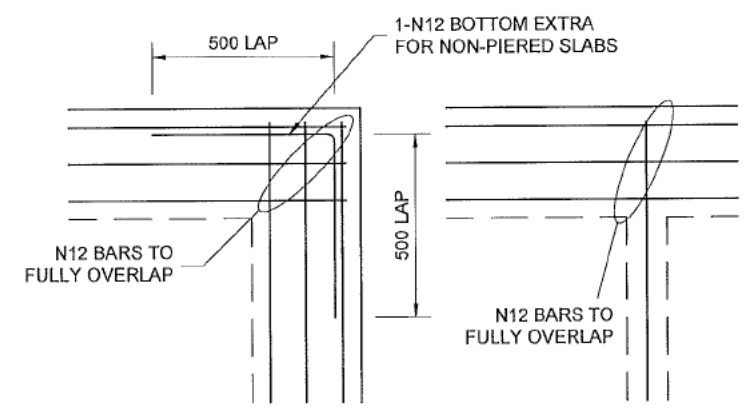
JOB NUMBER:	DWG NUMBER:	ORIGINAL SIZE:
18-066	S200	A3
DESIGNED BY:	DATE:	
A.N.H.	26.02.2018	
DRAWN BY:	SCALE:	
A.Z.	1:20	



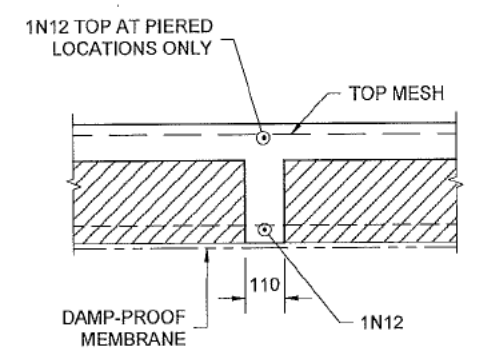
WAFFLE POD DETAILS AT PENETRATION
1:20



SF1 & TB TO EB DETAIL
1:20



WAFFLE POD LAP DETAILS
1:20



TYPICAL STIFFENING RIB
1:20

NOTE: DO NOT SCALE OFF DRAWINGS. REFER TO ARCHITECTURAL PLANS. VERIFY DIMENSIONS ON SITE

REV	DATE	DESCRIPTION	BY
A	26.02.18	ISSUED FOR BA	A.N.H

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NEW RESIDENCE
BLOCK: SECTION WESTON
FOR MZ CONSTRUCTIONS
FOOTING SLAB DETAILS
SHEET #2

JOB NUMBER: 18-066	DWG NUMBER: S201	ORIGINAL SIZE: A3
DESIGNED BY: A.N.H	DATE: 26.02.2018	
DRAWN BY: A.Z	SCALE: 1:20	

BLOCK: SECTION WESTON

GENERAL NOTES

- G1 These drawings shall be read in conjunction with other consultants' drawings and specifications and with other such written instructions as may be issued during the course of the Contract. Any discrepancy shall be referred to the Engineer before proceeding with the work.
- G2 All dimensions are in millimetres, U.N.O. (unless noted otherwise).
- G3 No dimension shall be obtained by scaling the drawings.
- G4 All levels and setting out dimensions shown on the drawings shall be checked on site prior to the commencement of the work.
- G5 During construction the structure shall be maintained in a stable condition and no part shall be overstressed.
- G6 Damp-proofing & sealing details shall be in accordance with Architect's details. All joints in concrete elements shall be suitably sealed or damp-proofed.

FOUNDATIONS

- F1 Refer Slab Design Criteria for classification of site.
- F2 Footings have been designed for an allowable bearing pressure of 150 kPa U.N.O. All foundations must be stable and uniform throughout.
- F3 Foundation material shall be inspected and approved for the above site classification and allowable bearing pressure by a Geotechnical Engineer before placing footing reinforcement.
- F4 Footings shall be placed centrally under walls and columns, U.N.O.

LOADING

- L1 Superimposed floor loads are generally in accordance with AS 1170.1 or as noted in Table L4.
- L2 Wind loads are in accordance with AS/NZS 1170.2 as follows:
Region : A Terrain category 3 wind classification N2
- L3 Earthquake loads are in accordance with AS 1170.4 as follows:
a = 0.08 S = 1.0 I = 1.0, U.N.O.
- L4 Live loads & additional dead loads: (to AS/NZS 1170.1)

Area subject to loading	Live Load		Add. Dead Load
	Uniform	Point	
Floors - Internal	1.50 kPa	1.80 kN	0.50 kPa
Floors - External & Garage	3.00 kPa	1.80 kN	1.00 kPa
Roof Areas	0.25 kPa	1.40 kN	0.15 kPa

MASONRY

- M1 All workmanship and materials shall be in accordance with AS 3700.
- M2 Characteristic compressive strength of masonry (f_{uc}) = 24 MPa

Durability Requirements			
Mortar	Salt Attack Resistance Grade	Built In Component	Min. Cover to Reinforcement & Tendons in Grouted Cavities
M2	Protected	R1 (Galv'd 300 g/m ² each side)	5
M3	General Purpose	R3 (Galv'd 470 g/m ² each side)	15
M4	Exposure	R4 (Stainless)	30

- M3 All masonry walls supporting slabs and beams shall have a pre-greased two layer galvanised steel slip joint between concrete and masonry.
- M4 All masonry walls supporting or supported by concrete floors shall be provided with vertical joints to match any control joints in the concrete.
- M5 Non load bearing walls shall be separated from concrete above by 12 mm thick closed cell polyethylene strip.
- M6 Provide vertical control joints at 8 metres maximum centres, and 4 metres maximum from corners in masonry walls, and between new & existing brickwork.
- M7 Masonry retaining walls are to be backfilled with either of the following material:
 - Coarse grained soil with low silt content
 - Residual soil containing stones
 - Fine silty sand
 - Granular materials with low clay content

REINFORCED CONCRETE

- C1 All workmanship and materials shall be in accordance with AS 3600 current edition, except where varied by the contract documents.
- C2 Concrete quality shall be as follows (subject to note C4 being satisfied):

Element	Slump mm	Max. Agg. Size mm	Cement Type	f _c at 28 Days MPa
Footings	80	20	Normal	20
Slabs on Ground	80	20	Portland	25
Suspended Floors	80	20	Type A	32

- C3 Engineer to approve any admixtures used in concrete mix.
- C4 Cover to reinforcement shall be obtained by the use of approved bar chairs. All chairs to be placed at 750 maximum centres.
- C5 Minimum clear concrete cover to reinforcement including ties and stirrups (other than residential slabs on ground or footings) shall be as follows uno.

Exposure Classification	Minimum Cover (mm)				
	Concrete Strength (f _c)				
	20 MPa	25 MPa	32 MPa	40 MPa	>50 MPa
A1	20	20	20	20	20
A2	(50)	30	25	20	20
B1	-	(60)	40	30	25
B2	-	-	(65)	45	35
C	-	-	-	(70)	50

For bracketed figures refer to AS 3600 current edition table 4.10.3.2

- C6 Residential slab on ground and footings cover requirements: (Minimum concrete grade N20)
 - Unprotected ground: 40 mm
 - External exposure: 40 mm
 - Membrane in contact with ground: 30 mm
 - Internal surface: 20 mm
 - Strip & pad footing: 40 mm
- C7 All concrete shall be mechanically vibrated. Vibrators shall not be used to spread concrete.
- C8 Sizes of concrete elements do not include thickness of applied finishes.
- C9 No holes or chases other than those shown on the structural drawings shall be made in concrete members without the prior approval of the Engineer.
- C10 Construction joints where not shown shall be located to the approval of the Engineer.
- C11 Curing of all concrete is to be achieved by keeping surfaces continuously wet for a period of 3 days, and prevention of loss of moisture for a total of 7 days followed by gradual drying out. Approved sprayed on compounds may be used where no floor finishes are proposed. Polythene sheeting or wet hessian may be used if protected from wind and traffic.
- C12 Construction support propping is to be left in place where needed to avoid over stressing the structure due to construction loading. No masonry or partition walls are to be constructed on suspended levels until all propping is removed and the slab has absorbed its dead load deflection.
- C13 Conduits, pipes, etc. shall only be placed in the middle one third of slab depth and spread at not less than 3 diameters.
- C14 Reinforcement symbols :
 - N - Denotes deformed grade 500 normal ductility reinforcing bars to AS/NZS 4671.
 - R - Denotes plain round grade 250 normal ductility reinforcing bars to AS/NZS 4671.
 - SL - Denotes deformed grade 500 low ductility reinforcing mesh to AS/NZS 4671.
 - RL - Denotes deformed grade 500 low ductility reinforcing mesh to AS/NZS 4671.
 - L-TM - Denotes deformed grade 500 low ductility trench mesh to AS/NZS 4671.

- C15 Reinforcement is represented diagrammatically; it is not necessarily shown in true projection.
- C16 Splices in reinforcement shall be made only in positions shown or otherwise approved by the Engineer.
- C17 Fabric reinforcement shall have splices made so that the overlap, measured between the outermost transverse wires of each sheet of fabric, is not less than the spacing of those wires plus 25 mm.
- C18 Welding of reinforcement shall not be permitted unless shown on the structural drawings or approved by the Engineer.

STRUCTURAL STEEL

- S1 All workmanship and materials shall be in accordance with AS 4100, AS 1163, AS 1554.1 and AS/NZS 4600.
- S2 The structural design has been based on the following steel grades, U.N.O.:
Hot rolled universal beams, columns, channels & angles: 300PLUS
Circular, square & rectangular hollow sections: C350/C450L
Cold formed open DuraGal profiles: C400/C450L
Cold formed lipped Cee & Zed purlins: G550/G500/G450
- S3 The structural design has been based on MBPMA nominal size Cee & Zed lipped purlins. All purlin profiles shall be in accordance with the MBPMA specifications. Qualifications of welding procedures and personnel shall conform to Section 4 of AS 1554.1. Non destructive testing of welds shall include 100% visual inspection and additional testing as shown on the drawings.
All welds shall be 6 mm continuous fillet type SP, U.N.O. All butt welds shall be complete penetration in accordance with AS 1554.1, U.N.O.
Commercial bolts to AS 1111, snug tightened
High strength structural bolts to AS 1562, snug tightened
High strength structural bolts to AS 1562, fully tensioned bearing joint to AS 1511
High strength structural bolts to AS 1562, fully tensioned friction joint to AS 1511
- S4 All bolts shall be M16 8.8/S, with a minimum of 2 bolts per connection, U.N.O.
- S7 High strength TF & TB bolts shall be installed using approved load indicator washers, or in accordance with the part turn method nominated in AS 4100.
- S8 Gusset plates shall be 10 mm thick, grade 300PLUS steel, U.N.O.
- S9 Concrete encased steelwork shall be wrapped with SL41 fabric and shall have a minimum of 50 mm cover, U.N.O.
- S10 Steelwork not encased shall have the following surface treatment :

Exposure Classification	Steelwork Protection Required
A1 / A2	Power tool clean to AS1627 Class 1 1 Coat Alkyd Primer (Zinc Phosphate)
B1	Abrasive blast to AS1627 Class 2.5 1 Coat Inorganic Zinc Silicate
B2	Hot Dipped Galvanised to AS4680

- S11 Where sealed tube members are hot dip galvanised, the fabricator shall provide drill holes as necessary.
- S12 All transport and erection damage, site welds etc., shall be reinstated to an equivalent finish to adjacent steelwork

SITE PREPARATION FOR SLABS ON GROUND

- P1 Strip topsoil containing organic matter. Proof roll fill sub grade and remove any soft zones.
- P2 Where additional fill is required to the underside of slabs on ground, non cohesive materials such as sand and gravel dust shall be placed by "controlled" compaction in horizontal layers of 200 mm (loose) maximum depth. This fill shall be compacted to at least 95% of Standard Maximum Dry Density (SMDD).
- P3 For slabs on ground, sand 50 mm approximate thickness is to be spread as a levelling layer and well watered down.
- P4 Damp-proofing membrane unpunctured and taped at laps, is to be placed over the sand, sufficient membrane being provided at edges to return under brickwork. Where no brickwork, tape membrane to side of footing below ground.

FOUNDATION MAINTENANCE

FOUNDATION SOILS : All soils are affected by water. Silts are weakened by water and some sands can settle if heavily watered, but most problems arise on clay foundations. Clays swell and shrink due to changes in moisture content and the potential amount of the movement is implied in the site classification in Australian Standard AS2870, which is specified as follows:

- A Stable (Non-reactive).
- S Slightly Reactive.
- M Moderately Reactive.
- H Highly Reactive.
- E Extremely Reactive.

CLASS A & S SITES : Sands, silts and clays shall be protected from becoming extremely wet by adequate attention to site drainage and prompt repair of plumbing leaks.

CLASS M, H & E SITES : Sites classified as M, H, or E shall be maintained at essentially stable moisture conditions and extremes of wetting and drying prevented. This will require attention to the following :

Drainage of the site : The site shall be graded or drained so that water cannot pond against or near the house. The ground immediately adjacent to the house shall be graded to a uniform fall of 50 mm minimum away from the house over the first metre. The sub floor space for houses with suspended floors shall be graded or drained to prevent ponding where this may affect the performance of the footing system. The site drainage requirements shall be maintained for the economic life of the building.

Limitations on gardens : The development of the gardens shall not interfere with the drainage requirements or the sub floor ventilation and weep hole drainage systems. Garden beds adjacent to the house should be avoided. Care should be taken to avoid over watering of gardens close to the house footings.

Restrictions on trees and shrubs : Planting of trees should be avoided near the foundation of a house or neighbouring house on reactive sites as they can cause damage due to drying of the clay at substantial distances. To reduce, but not eliminate, the possibility of damage, tree planting should be restricted to a distance from the house of :

- 1.50 x mature height for Class E sites
- 1.00 x mature height for Class H sites
- 0.75 x mature height for Class M sites

Where rows or groups of trees are involved, the distance from the building should be increased. Removal of trees from the site can also cause similar problems.
Repair of leaks : Leaks in plumbing, including storm water and sewerage drainage should be repaired promptly.

The level to which these measures are implemented depends on the reactivity of the site. The measures apply mainly to masonry houses and masonry veneer houses. For frame houses clad with timber or sheeting, lesser precautions may be appropriate.

BONDEK/CONDECK FORMWORK

- B1 U.N.O. BONDEK/CONDECK PANELS SHALL BE 1.00mm BMT
- B2 PANELS ARE TO BE SECURELY FIXED OR HELD DOWN TO PREVENT DISPLACEMENT DUE TO CONSTRUCTION LOADING OR WIND UPLIFT PRIOR TO CONCRETING
- B3 FIX PANELS TO STEELWORK BY PUDDLE WELDING DRIVE PINS OR OTHER SUITABLE METHODS. SLIP JOINTS SHALL BE LOCATED AS SHOWN
- B4 FIXING TO MASONRY IS NOT NECESSARY PROVIDED CONCRETE IS PLACED IMMEDIATELY AFTER PANELS ARE LAID. TOP COURSE OF BRICKWORK IS TO BE STRAIGHT AND LEVEL. IF REQUIRED, PROVIDE LAYER OF SMOOTH HARD MORTAR SLIP JOINTS SHALL BE PROVIDED AT ALL MASONRY U.N.O.

- B5 BEFORE CONCRETE IS PLACED, ANY ACCUMULATED DEBRIS, GREASE OR ANY OTHER SUBSTANCE WILL NEED TO BE REMOVED TO ENSURE CLEAN BONDING SURFACE. ANY PONDED RAINWATER SHOULD BE REMOVED BY BLOWING OR SWEEPING
- B6 FASTENING OF SIDE LAP JOINTS SHALL BE IN ACCORDANCE WITH LYSAGHT PUBLICATIONS, AND GENERALLY ONE No. 10-24x16mm SELF-DRILLING TAPPING SCREW IS REQUIRED MID-SPAN FOR SUPPORT SPACING OF 2750mm OR GREATER. FOR POINT LOADS RATINGS OR EXPOSED SOFFITS ADDITIONAL FIXING MAY BE REQUIRED
- B7 U.N.O PROPPING SHALL BE IN ACCORDANCE WITH LYSAGHT PUBLICATIONS
- B8 PROPS SHALL NOT BE REMOVED UNTIL CONCRETE HAS REACHED SUFFICIENT STRENGTH

LEGEND

- DENOTES LOAD BEARING BRICK WALL OVER
- DENOTES CORE FILLED BLOCK WALL OVER
- DENOTES NON LOAD BEARING WALL OVER
- DENOTES NON LOAD BEARING WALL UNDER
- DENOTES LOAD BEARING MASONRY UNDER
- DENOTES LOAD BEARING STUD WALL OVER
- DENOTES LOAD BEARING STUD WALL UNDER
- DENOTES SLAB PENETRATION
- DENOTES SLAB STEP DOWN
- DENOTES MINIMUM SLAB DEPTH CLASS
- DENOTES SLAB DATUM
- SB1(-150) DENOTES STEEL BEAM 150mm BELOW SLAB DATUM
- S.J DENOTES SAWN JOINT. REFER TO DETAILS.
- K.J DENOTES KEY JOINT. REFER TO DETAILS.
- DENOTES DOUBLE STUD
- DENOTES TRIPLE STUD
- PS DENOTES F11x4.5 THICK PLYWOOD SHEET STRUCTURAL BRACING. REFER TO TIMBER FRAMING CODE FOR FIXING.
- MSX DENOTES 30x0.8 METAL STRAP CROSS BRACING. REFER TO TIMBER FRAMING CODE AS1684 FOR FIXING
- SC1 DENOTES CONTINUOUS STEEL COLUMN
- SC1(O) DENOTES STEEL COLUMN OVER
- SC1(U) DENOTES STEEL COLUMN UNDER
- SC1(O) DENOTES STEEL COLUMN UNDER & OVER
- SC1(U)

BUILDING APPROVAL
Issued under s.28 of Building Act 2004
Professional Engineer
Building Certifiers Pty Ltd
Certificate No. 2011278
J.A. Alls
BCS Class
26/02/2018

NOTE: DO NOT SCALE OFF DRAWINGS. REFER TO ARCHITECTURAL PLANS. VERIFY DIMENSIONS ON SITE

REV	DATE	DESCRIPTION	BY
A	26.02.18	ISSUED FOR BA	A.N.H

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NEW RESIDENCE
BLOCK: SECTION WESTON
FOR MZ CONSTRUCTIONS

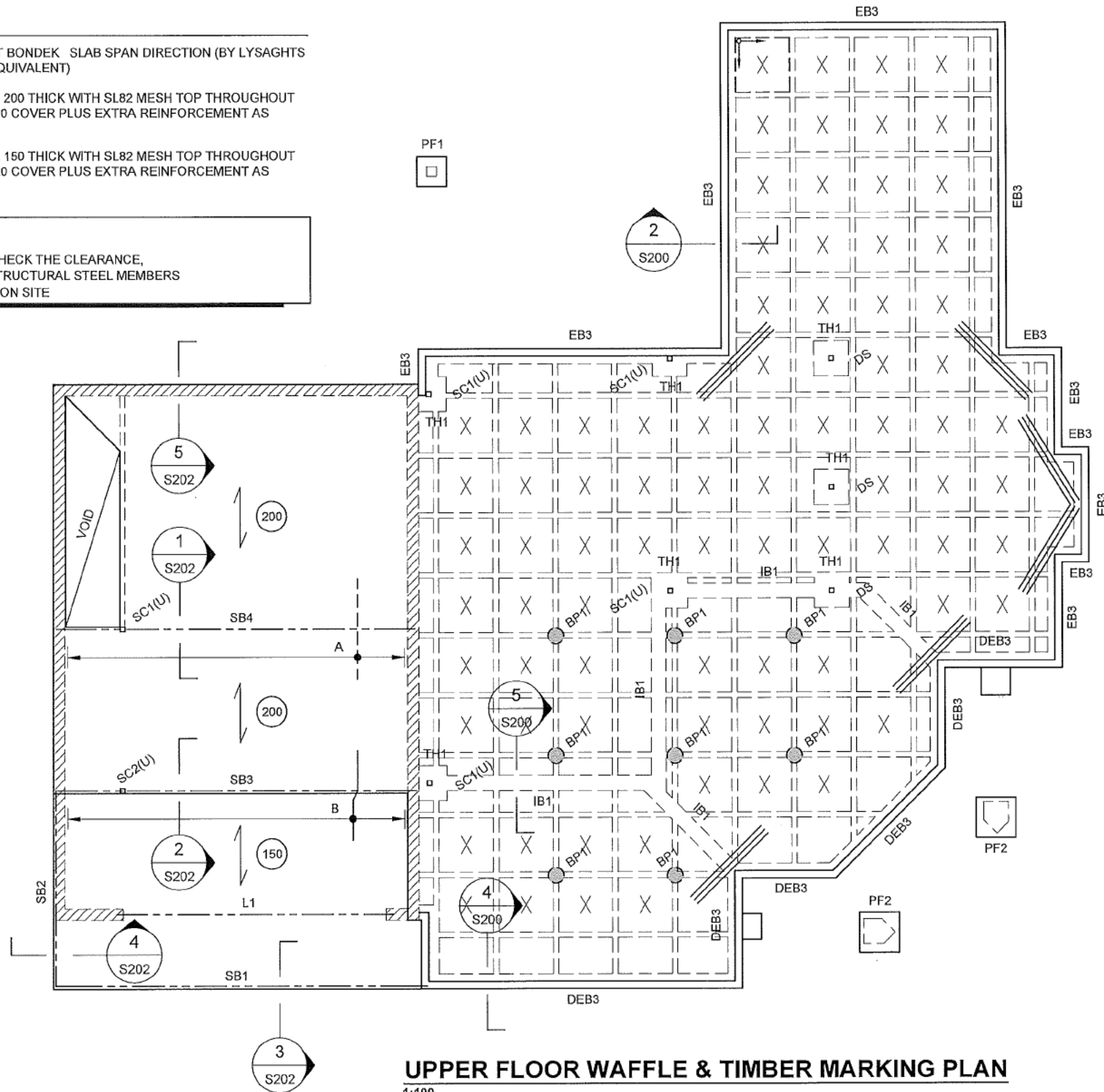
JOB NUMBER:	DWG NUMBER:	ORIGINAL SIZE:
18-066	S000	A3
DESIGNED BY:	DATE:	
A.N.H	26.02.2018	
DRAWN BY:	SCALE:	
A.Z	1:100	

GENERAL NOTES

BONDEK NOTES

- ← DENOTES 0.9 BMT BONDEK SLAB SPAN DIRECTION (BY LYSAGHTS OR APPROVED EQUIVALENT)
- 200 ALL SLABS TO BE 200 THICK WITH SL82 MESH TOP THROUGHOUT LAID LAST WITH 20 COVER PLUS EXTRA REINFORCEMENT AS NOTED ON PLAN
- 150 ALL SLABS TO BE 150 THICK WITH SL82 MESH TOP THROUGHOUT LAID LAST WITH 20 COVER PLUS EXTRA REINFORCEMENT AS NOTED ON PLAN

NOTE:
ARCHITECT/ BUILDER TO CHECK THE CLEARANCE, LEVELS AND LAYOUT OF STRUCTURAL STEEL MEMBERS BEFORE COMMENCEMENT ON SITE



UPPER FLOOR WAFFLE & TIMBER MARKING PLAN
1:100

NOTE:
ALL LVL BEAMS ARE ASSUMED WEATHER PROTECTED. ADVISE OUR OFFICE OTHERWISE

STEEL & TIMBER MEMBER SCHEDULE

MARK	DESCRIPTION	SIZE	COMMENTS
SC1	STEEL COLUMN	89 x 89 x 3.5 SHS	
SC2	STEEL COLUMN	200 x 5 SHS	
SB1	STEEL BEAM	300 PFC	
SB2	STEEL BEAM	300 PFC	
SB3	STEEL BEAM	2/200UC60	
SB4	STEEL BEAM	250UC89	
L1	STEEL LINTEL	300 PFC	
A	N12-200 TOP EXTRA, TIED UNDER TOP MESH, 2000 LONG		
B	N12-200 TOP EXTRA, TIED UNDER TOP MESH, 1800 LONG		

NOTE:
TRUSS LAYOUT TO BE FORWARDED TO ANH CONSULTING ENGINEERS BEFORE COMMENCEMENT OF WORK ON SITE
DO NOT LOAD INTERNAL WALLS WITHOUT PERMISSION OF A STRUCTURAL ENGINEER
TIMBER TRUSSES, ROOF BRACING, WALL FRAMING, LINTELS
WALL BRACING AND EXISTING ROOF SUPPORT TRUSSES BY FRAMING COMPANY

BUILDING APPROVAL
Issued under s.28 of the Building Act 2004.
Canberra Region Building Certifiers P/L
Certifier Name: [Signature]
Lic. No. 2011278
BCA Occupancy Class: [Blank]
BCA Type of Construction: [Blank]

ELEMENT	STRENGTH f _c	MAX SIZE AGG. mm	SLUMP mm	CEMENT TYPE	AD MIXTURE
CONCRETE QUALITY					
FOOTING	20	20	80	GP	
PIERS	20	20	80	GP	
WAFFLE POD SLAB	25	20	80	GP	

REFER TO GENERAL NOTES FOR REINFORCEMENT COVER

FOOTING SCHEDULE

MARK	DESCRIPTION	SIZE	COMMENTS
TH1	THICKENING	350 D x 700 x 700 W	MASS CONCRETE
PF1	PAD FOOTING	400 D x 600 x 600 W	MASS CONCRETE
PF2	PAD FOOTING	400 D x 800 x 800 W	MASS CONCRETE
EB3	EDGE BEAM	REFER DETAIL	REFER DETAIL
DEB3	DEEP EDGE BEAM	REFER DETAIL	REFER DETAIL
IB1	INTERNAL BEAM	REFER DETAIL	REFER DETAIL
BP1	Ø300 MASS CONCRETE	500mm INTO NATURAL GROUND	

NOTE: DO NOT SCALE OFF DRAWINGS. REFER TO ARCHITECTURAL PLANS. VERIFY DIMENSIONS ON SITE




REV	DATE	DESCRIPTION	BY
A	26.02.18	ISSUED FOR BA	ANH

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NEW RESIDENCE
BLOCK: SECTION WESTON
FOR MZ CONSTRUCTIONS
UPPER FLOOR WAFFLE & TIMBER MARKING PLAN

JOB NUMBER:	DWG NUMBER:	ORIGINAL SIZE:
18-066	S101	A3
DESIGNED BY: ANH	DATE: 26.02.2018	
DRAWN BY: A.Z	SCALE: 1:100	

LEGEND

-  DENOTES LOCATION OF FULL 225 DEEP PODS. POD SIZE: 1090 x 1090 (CUT PODS AS REQUIRED)
-  DENOTES LOCATION OF MODIFIED 225 DEEP PODS. POD SIZE: 1090 x 1090 (CUT PODS AS REQUIRED)
-  POD LAYOUT STARTING POINT

ELEMENT	STRENGTH Fc	MAX SIZE AGG. mm	SLUMP mm	CEMENT TYPE	ADMIXTURE
CONCRETE QUALITY					
FOOTING	20	20	80	GP	-
WAFFLE POD SLAB	25	20	80	GP	-

REFER TO GENERAL NOTES FOR REINFORCEMENT COVER

FOOTING SCHEDULE

MARK	DESCRIPTION	SIZE	COMMENTS
TH1	THICKENING	350D x 1000 x 1000 W	MASS CONCRETE
EB1	EDGE BEAM	REFER DETAIL	REFER DETAIL
EB2	EDGE BEAM	REFER DETAIL	REFER DETAIL

NOTE:

SITE CLASSIFICATION REPDOUGLAS PAORT SUMMARY AC
ENGINEERS, REF No: SH/C8799
SITE CLASSIFICATION: CLASS 'A' (STABLE)

BUILDING APPROVAL
Issued under s.28 of the Building Act 2004.

Geotechnical Building Certifier P/L
Certifier Name
Lic. No. 2011278
Date of Issue 11/9/18
Issue Date 11/9/18

PIERING REQUIREMENT

- o IF EDGE BEAM DOES NOT BEAR ON NATURAL GROUND PROVIDE Ø300 MASS CONCRETE PIER AS PER BORED PIER NOTE ON THIS PAGE.
- o IF INTERNAL SLAB BEAR ON MORE THAN 300mm FILL PROVIDE PIERS @ 2M CTRS, 1M INTO NATURAL GROUND

NOTE

- o THIS DESIGN IS BASED ON NO FILL PAST BUILDING FACADE. ADVISE OUR OFFICE OTHERWISE BEFORE COMMENCEMENT OF WORK.

WAFFLE SLAB NOTES

100 THICK SLAB REINFORCED WITH SL82 MESH TOP CONTINUOUS THROUGHOUT INCLUDING ANY EXTRAS AS NOTED ON PLAN OR IN DETAILS.

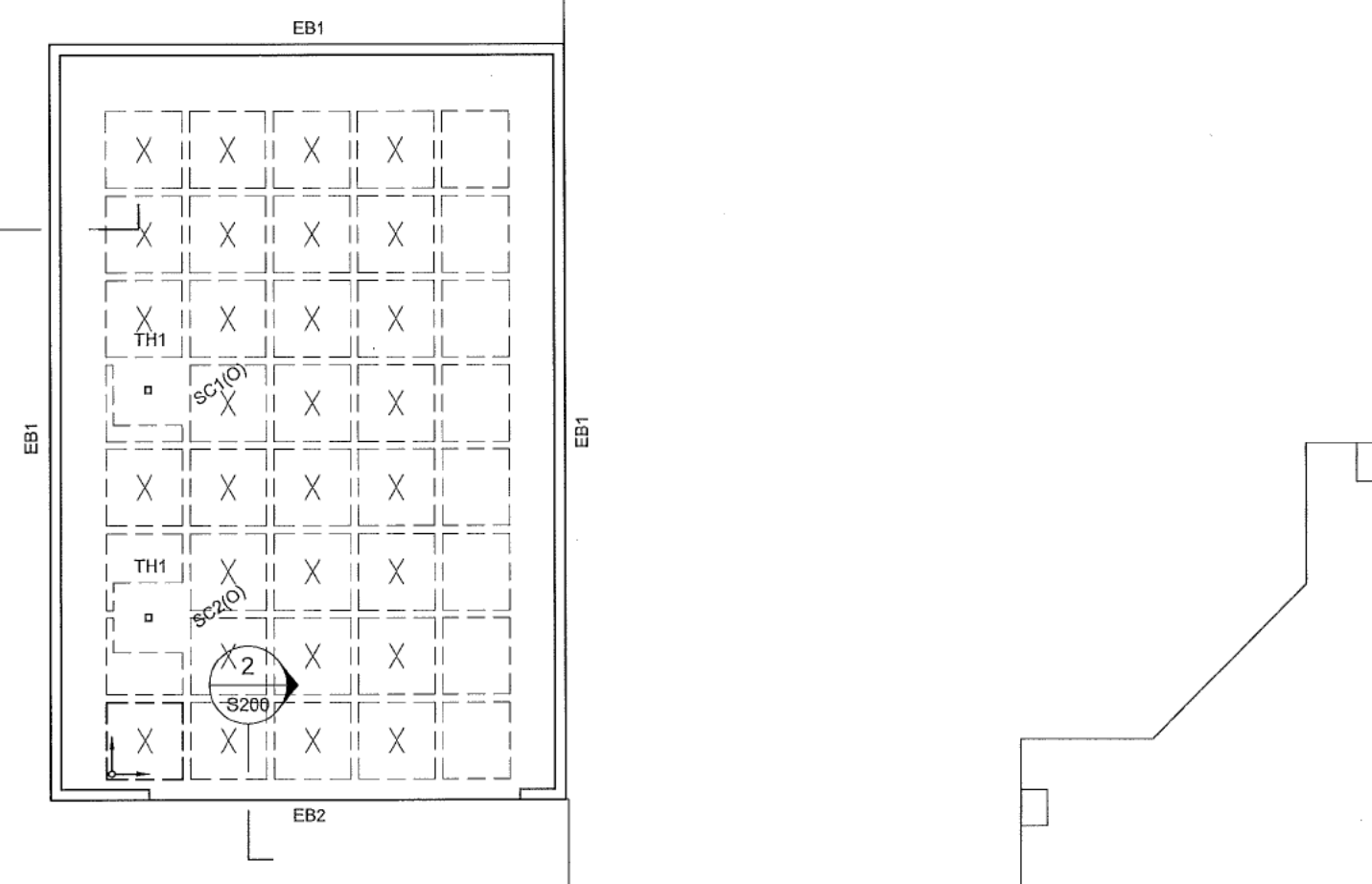
SITE PREPARATION SHALL BE CARRIED OUT IN ACCORDANCE WITH THE GENERAL NOTES & CURRENT EDITION OF AS2870 - RESIDENTIAL SLABS & FOOTING CODE.

REFER TO GENERAL NOTES FOR CONCRETE COVERS

EB1 TO BEAR ON NATURAL GROUND OR BORED PIERS AT ALL TIMES.

BORED PIER NOTE

- BORED PIERS SHALL BE USED IN ACCORDANCE WITH THE FOLLOWING:
- o SET OUT AS PER THE ADJACENT PLAN.
 - o FOUNDED OFF VERY STIFF CLAY THAT IS UNIFORM & STABLE THROUGHOUT.
 - o CONC. PIERS TO BE FOUNDED TO A MINIMUM OF 750 kPa BEARING CAPACITY. GEOTECH TO VERIFY ON SITE.
 - o WHERE ROCK IS ENCOUNTERED, ALL PIER TO BE FOUNDED OFF ROCK THAT IS UNIFORM & STABLE WITH A MINIMUM OF 700 kPa BEARING CAPACITY



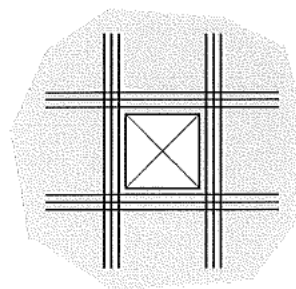
WAFFLE POD SLAB PLAN

1:100

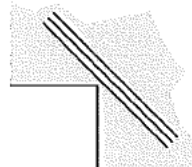
NOTES:

1. REFER TO DRAWING S200 FOR FOOTING & SLAB DETAILS
2. ALL FOOTINGS TO BEAR ON SAME STRATA & ON NATURAL SOLID GROUND
3. ALL EXTERNAL SLABS TO BE 100 THICK WITH SL82 FABRIC IN TOP, 30 COVER
4. PROVIDE CONTINUOUS VAPOR BARRIER OR DAMP-PROOFING MEMBRANE OVER 50mm SAND UNDER ALL SLABS ACCORDING TO THE BCA FIG 3.2.2.3
5. ARTICULATE ALL BRICKWORK & DRAINAGE TO BCA
6. BUILDER TO REPORT SITE CONDITION TO STRUCTURAL ENGINEER AFTER THE SITE CUT & FILL IS COMPLETE
7. IF CONTROLLED FILL CANNOT BE ACHIEVED UNDER THE SLAB PROVIDE Ø300 MASS CONCRETE PIERS 1000mm BELOW NATURAL GROUND LEVEL. PIERS TO BE PLACED UNDER ALL BEAMS AT THE INTERSECTION OF EVERY SECOND POD & ADD 1N12 BAR ON TOP EXTRA OVER PIERS

TYPICAL SLAB TRIMMER DETAILS



PROVIDE 3 N12 BARS TOP EXTEND 600 MIN. PAST EACH EDGE OF THE PENETRATION. APPLY TO LARGER THAN 150 x 150 PENETRATION.



3 N12-2000 LONG (75 SPACING) TRIMMERS BARS AT ALL RE-ENTRANT CORNERS, TIED TO UNDERSIDE OF TOP REINFORCEMENT.

SLAB PENETRATION TRIMMER

SLAB RE-ENTRANT CORNER TRIMMER

NOTE: DO NOT SCALE OFF DRAWINGS. REFER TO ARCHITECTURAL PLANS. VERIFY DIMENSIONS ON SITE

REV	DATE	DESCRIPTION	BY
A	26.02.18	ISSUED FOR BA	A.N.H.


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NEW RESIDENCE
BLOCK: SECTION WESTON
FOR MZ CONSTRUCTIONS

WAFFLE POD SLAB PLAN

JOB NUMBER:	DWG NUMBER:	ORIGINAL SIZE:
18-066	S100	A3
DESIGNED BY: A.N.H.	DATE: 26.02.2018	
DRAWN BY: A.Z.	SCALE: 1:100	



Single Dwelling Housing Assessment for Exempt Development

Block: [REDACTED] Section: [REDACTED] Suburb: WESTON

Date:	12/11/17
Client/Lessee:	MZ Design & Construction
Description of works:	New Residence and Garage
Certifiers Name:	Canberra Region Building Certifiers Pty Ltd
License Number:	2011278

Element 1: Building and site controls

Rule	Prompt	Complies with Rule Yes/No/NR	Certifier's Assessment Comment
R1	Plot ratio – single dwelling blocks	Yes	48.80%
R2	Number of storeys	Yes	Two storey
R3	Attics – single dwelling blocks – RZ1	NR	None shown on plans
R4	Basement car parking – single dwelling blocks – RZ1	Yes	Single storey above, FFL 300 mm above NGL.
R5	Height of buildings	Yes	7.717 m
R6	Building envelope	Yes	Within envelope
R7	Sun angle	NR	Southern boundary of block is street.
R7A	Sun angle	NR	Block approved prior to July 2013.
R8	Building envelope – mid-sized blocks	NR	Large block
R9	Building envelope – mid-sized and compact blocks	NR	Large block
R10	Bushfire	Yes	BAL 12.5. notes on plans.
R11	Front boundary setbacks	Yes	LFL; 4.00 m & 3.826 m, UFL; 6.00 m & 3.826 m. Garage 5.50 m.
R12	Side and rear setbacks – all blocks	Yes	LFL: PBZ; 3.726 & 2.50 m. RZ; 9.821 & 9.70 m. UFL: PBZ; 3.527 m & 9.08 m. RZ; 9.821m & 9.70 m. Corner Block.
R13	Setbacks less than 900mm	NR	All setbacks over 900mm.
R14	Garage walls on or near side and rear boundaries – large blocks	NR	
R15	Walls on or near side and rear boundaries – mid-sized blocks	NR	Large block
R16	Allowable encroachments – side and rear setbacks	NR	Facia & gutters flush with building.

R17	Allowable encroachments – front setbacks	NR	Facia & gutters flush with building.
R18	Allowable encroachments – building envelope	NR	Not shown on plans
R19	Surveillance blocks	NR	Not identified in Precinct Code (20/6/2014)
R20	Cut and fill	Yes	Cuts not 1.50 m within 1.50 m of boundary.
R21	Blocks between 500m ² and 550m ²	NR	Block over 500m ²

Element 2: Lease and development conditions

Rule	Prompt	Complies with Rule Yes/No/NR	Certifier's Assessment Comment
R22	Approved lease and development conditions	NR	No L & Ds

Element 3: Building design

R23	Materials and finishes	NR	
R24	Fencing – large blocks & midsized blocks	Yes	1.8 m high paling fence
R25	Courtyard walls – large blocks	NR	
R26	Courtyard walls – midsized blocks	NR	Large block
R27	Front fences and courtyard walls – compact blocks	NR	Large block
R28	Front fences and side fences forward of building line – compact blocks	NR	Large block

Element 4: Parking and site access

Rule	Prompt	Complies with Rule Yes/No/NR	Certifier's Assessment Comment
R29	Pedestrian access	NR	No rear lane access
R30	Vehicle access	Yes	Developer supplied verge crossing
R31	Parking – minimum number of spaces	Yes	4 on-site spaces provided
R32	Parking – Dimensions	Yes	6.90 m x 10.28 m
R33	Parking – location and design	Yes	2 covered car spaces
R34	Parking ramps – RZ1 & RZ2	Yes	Ramps behind building line and comply with standards.
R35	Parking – verges	Yes	Note on site plan re no parking
R36	Parking – frontage	Yes	4.80 m wide 35.90% of frontage.

Element 5: Amenity

Rule	Prompt	Complies with Rule Yes/No/NR	Certifier's Assessment Comment
R37	Solar access	Yes	Living & Lounge/Dining area.
R37A	Solar access	NR	Block approved prior to July 2013.
R38	Private open space – large blocks	Yes	Dimension met note on plan re planting
R39	Private open space – mid-sized blocks	NR	Large block
R40	Private open space – compact blocks	NR	Large block
R41	Principal private open space	Yes	36m ² achieved off Living area
R42	Noise attenuation – external sources	Yes	Noise Attenuation notes placed on plans.

Element 6: Environment

Rule	Prompt	Complies with Rule Yes/No/NR	Certifier's Assessment Comment
R43	Water sensitive urban design	Yes	4000 ltr rainwater tank to west
R44	Heritage	NR	Block not listed on heritage register
R45	Tree protection	NR	No trees on block
R46	Erosion and sediment control – sites less than 3,000m ²	Yes	Notes on plan
R47	Erosion and sediment control – sites 3,000m ² or larger	NR	Block under 3,000m ²

Element 7: Services

Rule	Prompt	Complies with Rule Yes/No/NR	Certifier's Assessment Comment
R48	Construction waste management – all zones	NR	New dwelling in new estate
R49	Utilities – all zones	NR	No encroachments – all entity approvals received

I certify that the single dwelling referred to in this *Assessment for Exempt Development*, meets each applicable approval requirement under Section 29 of the *Building Act 2004* and building approval is not prevented from being issued under Section 30 or Section 30A of the *Building Act 2004*.

2.2(a)(ii)

Signature: _____

Licence No.: 2011278

Date: *11/10* /2017



Building Act 2004, S151
Building Approval

Project ID: B20181262

PART A - PROJECT DETAILS

Unit	Block	Section	Division (Suburb)	District	Jurisdiction
			WESTON	WESTON CREEK	Australian Capital Territory

PART B - WORKS REQUIRING BUILDING APPROVAL

Item of building work to which this Building Approval relates:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
1a(l)	New	DA EXEMPT-RESIDENCE		NA	1	347.46	2.2(a)(xi)
10a	New	DA EXEMPT-GARAGE		NA	1	79.05	
10a	Other	DA EXEMPT-SEE DESCRIPTION	Proposed Porch & Alfresco	NA	2	111.66	

The following work is exempt from development approval:

- A single house in a new housing estate
- Decks, patios and terraces
- Garages, sheds, and gazebos

PART C - CERTIFIERS DECLARATION

I declare that in issuing this building approval under section 28 of the Building Act 2004:

- I am satisfied on reasonable grounds that the plans meet each applicable approval requirement under section 29 and is not prevented from being issued under section 30 or section 30A
- I have supplied all documents as required under 3.3 Building Act 2004
- I have prepared a notice (building approval certificate) certifying what approval requirements apply to the application and why the building approval is not prevented from being issued; and
- I have given the building approval certificate to the applicant.

In performing services as a certifier in relation to the work detailed in this application I am not in breach of my entitlement to act as a certifier in accordance with the Building Act 2004.

Full Name	Address	License Number	Expiry Date
CANBERRA REGION BUILDING CERTIFIERS PTY LTD	PO Box 357 MITCHELL ACT 2911	2011278	27/09/2018

Date Issued : 9/04/2018

NOTES

Utilities

This application must also be accompanied by a Statement of Compliance from each relevant utility provider (for water, sewerage, electricity and stormwater) which confirms that the location and nature of earthworks, utility connections, proposed buildings, pavements and landscape features comply with utility standards, access provisions and asset clearance zones.

Note 1: If there is no stormwater easement or Territory owned stormwater pipes located within the property boundary, a "Statement of Compliance" for stormwater from TAMS (Asset Acceptance) is not required to be obtained.

Note 2: Where there is conflict between planning and utility requirements, the utility requirements take precedence over other codified or merit provisions.

Utilities – Demolition Only

This application must be accompanied by a Statement of Endorsement for utilities (including water, sewerage, electricity and stormwater) stating that:

- all network infrastructure on or immediately adjacent to the site has been identified on the plan
- all potentially hazardous substances and conditions (associated with or resulting from the demolition process) that may constitute a risk to utility services have been identified
- all required network disconnections have been identified and the disconnection works comply with utility requirements
- all works associated with the demolition comply with and are in accordance with utility asset access and protection requirements

Note: The documentation provided to the utility provider for endorsement must be consistent with the documentation that forms part of a development approval or the documentation verified as exempt from requiring development approval by a licensed certifier.

Asbestos Advice

If documents accompanying building approval do not include an asbestos assessment report as per the Building Act 2004, the building approval must have an Asbestos Advice attached as per the Act

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.

**MINIMUM DOCUMENTATION REQUIREMENTS FOR
BUILDING APPROVAL LODGEMENT
CLASS 1 AND 10 – RESIDENTIAL CONSTRUCTION**

This document outlines the minimum documents the Construction Occupations Registrar (Registrar) expects to receive as part of the lodgement of building approval documents under section 28A of the *Building Act 2004* (the Act). This document also outlines the minimum content of those documents and the naming conventions that must be used to be in an acceptable form for lodgement.

This is not an exhaustive list. Plans, drawings and specifications should not be limited to the items listed below. This does not replace the legislative requirement for plans to comply with Australian Standard (AS) 1100 nor does it replace the requirement to comply with section 26 of the Act and division 3.2 of the *Building (General) Regulation 2008* and all other relevant legislative provisions.

If the building proposal does not require a 'required document' listed below, the building certifier must indicate that on the checklist contained in this document. The checklist must be lodged with the building approval documents.

Where a required detail does not form a stand-alone document the building certifier must indicate on the checklist the document that the detail is contained in. For example if the footing and slab details are on the site plan, the certifier must note on the checklist 'site plan' in the appropriate column.

Failure to submit the required documents will result in a failure of the completeness check with associated fees being charged. These fees are charged to the building certifier who lodges the documents with the Registrar.

Document Naming Conventions

Similar to the Development Approval process for administrative purposes, and to ensure compliance with the Territory Records Act, the building certifier must ensure that the documents are named using the file naming conventions identified in the table below.

The certifier must save each of the plans as separate .pdf documents and where details are provided as a standalone document, rather than on a plan, the conventions as identified in the documents list relating to details must also be utilised.

Please note that this is for administrative purposes only and does not negate the need to name the document, rather than the file, with the appropriate name in accordance with relevant provisions of the Building Act, Building Code and AS1100.

Documents and Details required on plans	File Naming Convention	Classification of Building or Structure			
		New Class 1	New Class 10	Additions & Alterations to existing Class 1	Additions & Alterations to existing Class 10
✓ Required					
◆ Required if relevant to the proposed building work					
Form – Minimum Documentation Requirements for Building Approval Lodgement Checklist	Details – Minimum Documents Checklist	✓	✓	✓	✓
Form – Appointment of Certifier	Appointment of Certifier	✓	✓	✓	✓
Asbestos Removal Control Plan	Asbestos Removal Control Plan	◆	◆	◆	◆
Development Approval (including amendments)	Approved Plans – Development Approval	◆	◆	◆	◆
Estimate of the Cost of the Building Work	Details – Cost of Building Work	✓	✓	✓	✓
Alternative Solutions	Details – Alternative Solutions	◆	◆	◆	◆
Site Plan	Approved Plans – Site	✓	✓	✓	✓
Floor Plan	Approved Plans – Floor	✓	✓	✓	✓
Elevation Plan	Approved Plans – Elevation	✓	✓	✓	✓
Section Details – Wall, Floor Ceiling & Roof	Approved Plans – Sections Wall Approved Plans – Sections Floor Approved Plans – Sections Ceiling Approved Plans – Sections Roof	✓	◆	✓	◆
Demolition Plan	Approved Plans – Demolition	◆	◆	◆	◆
Footings and Concrete Slab Details	Details – Footings Concrete Slab	◆	◆	◆	◆
Retaining Wall Details	Details – Retaining Walls	◆	◆	◆	◆
Masonry Construction Details	Details – Masonry Construction	✓	◆	✓	◆
Framing (including trusses) and Construction Details	Details – Framing	✓	◆	✓	◆
Roof Cladding Details	Details – Roof Cladding	✓	◆	✓	◆
Exterior Cladding & Material Details	Details – Exterior Cladding & Materials	✓	◆	✓	◆
Wet area details	Details – Wet Area	✓	◆	✓	◆
Windows and Glazing Details	Details – Windows Glazing	✓	◆	◆	◆
Fire Safety Details	Details – Fire Safety	✓	◆	◆	◆
Safe Movement and access (including stairs and ramps) Details	Details – Movement Access	◆	◆	◆	◆
Swimming Pools and Spas Details (including fencing/barriers)	Details – Pools Spas	◆	◆	◆	◆
Energy Efficiency Details	Details – Energy Efficiency	✓	◆	◆	◆
Water Supply and Drainage Plan	Details – Water Drainage	✓	◆	◆	◆
Services Plan	Details – Services	✓	◆	◆	◆

Minimum Documentation Requirements Definitions and Checklist

The preferred format of documents and plans is in portable document format (.pdf).

The preferred electronic size of plans is A3 and other documents A4.

Required 'plans' are to be fully dimensioned and to the scales as identified below and must contain a drawing title block which includes the site details, revision number, designers name and correct plan name in accordance with AS1100.

Required 'details' can be included in plans and/or specifications.

Submission Requirement	Required Information	Checklist
<u>Form – Minimum Documentation Requirements for Building Approval Lodgement Checklist</u>	Fully completed form: Minimum Documentation Requirements Definitions and Checklist. (This form)	<input checked="" type="checkbox"/> Supplied as stand alone or in document <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
<u>Form – Appointment of Certifier</u>	Fully completed form: Appointment of a certifier application for building approval.	<input checked="" type="checkbox"/> Supplied as stand alone or in document <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
<u>Asbestos Removal Control Plan</u>	Prepared in accordance with Code of practice for the safe removal of Asbestos National Occupational Health and Safety Commission 2 nd Edition (NOHSC: 2002(2005))	<input type="checkbox"/> Supplied as stand alone or in document <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use
<u>Development Approval</u>	Each Plan, Drawing and document, including the notice of decision, which formed part of the development approval.	<input type="checkbox"/> Supplied as stand alone or in document <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use
<u>Estimate of the Cost of the Building Work</u>	As calculated in accordance with Building (General) (Cost of Building Work) Determination.	<input checked="" type="checkbox"/> Supplied as stand alone or in document <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
<u>Alternative Solutions</u>	All calculations, reports, certificates and manufacturer's information together with a written proposition to support a building solution which is not in accordance with the Deemed-to-Satisfy provisions of the National Construction Code.	<input type="checkbox"/> Supplied as stand alone or in document <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use

<p>Site Plan</p>	<ul style="list-style-type: none"> • Scale not less than 1:200 • the title boundaries, dimensions and directions including the north point, of the land • the position and dimensions of any easement or services on the land • the position and dimensions of the proposed building or structure (retaining walls, swimming pools, garages, etc.) or building work on the land • Driveways and parking areas and crossovers • Finished floor levels relative to site datum • Finished site levels relative to the Australian height datum • The relationship of the proposed building or building work to the boundaries of the land • The position of any buildings on adjoining properties within 3m of the boundary of the land • Detailed contours of the land at 0.25m intervals over the building site referenced to a project site datum • Earthworks (excavations or fill levels relative to the Australian Height datum, and compaction details) and associated soil and water management strategies • The position of any existing building, structure or trees on the land and the purpose for which the building or structure is used • All utility connection points including electrical, stormwater, sewerage, water and telecommunication/data 	<p><input checked="" type="checkbox"/> Supplied as stand alone or in document</p> <hr/> <p><input type="checkbox"/> Not required</p> <p><input type="checkbox"/> Office Use</p>
<p>Floor Plan</p>	<ul style="list-style-type: none"> • Scale not less than 1:100 • A plan for each floor including any trafficable subfloor areas • Dimensions • Key to sections cross referenced to relevant drawing and sheet number • Finished floor levels related to Australian Height Datum • Identification of the existing building • Identification of all rooms (existing and proposed) 	<p><input checked="" type="checkbox"/> Supplied as stand alone or in document</p> <hr/> <p><input type="checkbox"/> Not required</p> <p><input type="checkbox"/> Office Use</p>

<u>Elevation Plan</u>	<ul style="list-style-type: none"> • Scale of not less than 1:100 • Dimensioned heights including overall heights • Proposed external materials referenced to a materials schedule • Finished floor levels and ceiling levels • Natural and finished ground levels related to Australian Height Datum • Floor to ceiling heights 	<input checked="" type="checkbox"/> Supplied as stand alone or in document <hr/> <input type="checkbox"/> Not required <input type="checkbox"/> <i>Office Use</i>
<u>Section Details – Wall, Floor Ceiling & Roof</u>	<ul style="list-style-type: none"> • Scale of not less than 1:100 • Finished floor levels and ceiling levels • Natural and finished ground levels related to Australian Height Datum • Floor to ceiling heights • Long section of any proposed basement ramp showing gradients • Section of any sub floor areas 	<input checked="" type="checkbox"/> Supplied as stand alone or in document <hr/> <input type="checkbox"/> Not required <input type="checkbox"/> <i>Office Use</i>
<u>Demolition Plan</u>	<ul style="list-style-type: none"> • Scale not less than 1:200 • the title boundaries, dimensions and directions including the north point, of the land • the position and dimensions of any easement or utility tie or service points on the land • the position and dimensions of the proposed buildings or structures to be demolished • The relationship of the proposed demolition to the boundaries of the land • The position of any buildings on adjoining properties within 3m of the boundary of the land • The position of any existing building, structure or trees and the purpose for which the building or structure is used • Identification of erosion and sediment control measures 	<input type="checkbox"/> Supplied as stand alone or in document <hr/> <input checked="" type="checkbox"/> Not required <input type="checkbox"/> <i>Office Use</i>

<p><u>Footings and Concrete Slab Details</u></p>	<ul style="list-style-type: none"> • Section of any sub floor areas • Dimensioned plan and construction details of footings including penetrations, step down details and placement of reinforcement including cover • Nominated founding depth and description of founding material • Dimensioned plan and construction details of slabs including levels, falls or gradients • Construction details of penetrations, step downs in beams, set downs in slabs and placement details of reinforcement including cover • Slab preparation including materials, thicknesses, compaction requirements, vapour barrier specifications and installation details • Concrete strength, slump, finishing and curing requirements • Specifications and installation details of proprietary and other systems 	<p><input checked="" type="checkbox"/> Supplied as stand alone or in document</p> <hr/> <p><input type="checkbox"/> Not required</p> <p><input type="checkbox"/> <i>Office Use</i></p>
<p><u>Retaining Wall Details</u></p>	<ul style="list-style-type: none"> • Dimensioned plan showing position of retaining wall, drainage, founding levels and heights • Dimensioned construction details • Drainage, tanking and protection details • Backfill specifications • Concrete mix, slump, reinforcement placement Washout requirements • Specifications and installation details of proprietary and other systems 	<p><input checked="" type="checkbox"/> Supplied as stand alone or in document</p> <hr/> <p><input type="checkbox"/> Not required</p> <p><input type="checkbox"/> <i>Office Use</i></p>
<p><u>Masonry Construction Details</u></p>	<ul style="list-style-type: none"> • Show unreinforced, reinforced or earthwall construction • Identify structural and non-structural walls • Specify dimensions of engaged and isolated piers • Reinforcing specified for reinforced walls • Identify fire rating requirement • Masonry unit sizes and bond patterns and tooling of joints • Specification of brick ties and anchorages • Mortar specification • Cavity dimension and clean out specification • Knockout blocks for washout • Control joint location and detail • Sub floor vents. Location and Size per metre • Specify lintels and bond beams • Sub floor bracing (masonry shear walls) • Weatherproofing and waterproofing details • Flashings, damp proof course and weep holes • Weephole guards (insects, bushfire prone areas) 	<p><input checked="" type="checkbox"/> Supplied as stand alone or in document</p> <hr/> <p><input type="checkbox"/> Not required</p> <p><input type="checkbox"/> <i>Office Use</i></p>

Framing (including trusses) and Construction Details	<ul style="list-style-type: none"> • Framing drawings or schedules to indicate each structural member, dimensions, orientation, material, grade and size, spacing and span • Joint, support and bearing details • Show minimum clearances to ground level of flooring system members • Fire rating construction details • Bracing, tie downs and fixings • Roof pitch, eave / overhang details • Show location of roof mounted solar panels, hot water service or air conditioners 	<input checked="" type="checkbox"/> Supplied as stand alone or in document <hr/> <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
Roof Cladding Details	<ul style="list-style-type: none"> • Sheeting or tile specification including: <ul style="list-style-type: none"> ○ Roof pitch ○ Batten spacing ○ Fixing requirements ○ Flashing details ○ Roof drainage ○ Bushfire sealing requirements • Roof lights • Roof ventilators 	<input checked="" type="checkbox"/> Supplied as stand alone or in document <hr/> <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
Exterior Cladding and Material Details	<ul style="list-style-type: none"> • Cladding system description, manufacturer, material, pattern and colour, cavity detailing • Fixings, flashings and other details • Sub floor ventilation • Bushfire protection requirements 	<input checked="" type="checkbox"/> Supplied as stand alone or in document <hr/> <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
Wet area details	<ul style="list-style-type: none"> • Specify material and system • Wet areas specification (extent and system e.g. -membrane, manufacturer and type) • Location and design of wet areas 	<input checked="" type="checkbox"/> Supplied as stand alone or in document <hr/> <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use
Windows and Glazing Details	<ul style="list-style-type: none"> • Window system description, manufacturer, frame material and energy rating • Glazing specification • Bushfire-prone areas requirements • Opening size for ventilation calculation • Other glazing <ul style="list-style-type: none"> ○ Internal glazing specifications including wet area glazing, shower screens, doors ○ Balustrade system specification (glass and fixings) ○ Overhead glazing, roof lights 	<input checked="" type="checkbox"/> Supplied as stand alone or in document <hr/> <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
Fire Safety Details	<ul style="list-style-type: none"> • Smoke alarms location and type • Bushfire-prone areas specifications • Fire separation details • Penetration sealing specifications (building perimeter) 	<input checked="" type="checkbox"/> Supplied as stand alone or in document <hr/> <input type="checkbox"/> Not required <input type="checkbox"/> Office Use

<p><u>Safe Movement and access (including stairs and ramps) Details</u></p>	<ul style="list-style-type: none"> • Construction – type, material and proprietary system • Balustrade construction, spacing and handrails • Clearance height above stair nosings • Winders detail • Dimensions of landings, risers and goings • Section through the stairs • Method of construction, including aperture size, non-slip requirements • Ramp slope and surface finish 	<input checked="" type="checkbox"/> Supplied as stand alone or in document <hr/> <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
<p><u>Swimming Pools and Spas Details (including fencing/barriers)</u></p>	<ul style="list-style-type: none"> • Construction details, waterproofing, drainage, pool water recirculation and filtration systems • Pool safety barrier details and height • Openings, gates and latches 	<input type="checkbox"/> Supplied as stand alone or in document <hr/> <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use
<p><u>Energy Efficiency Details</u></p>	<ul style="list-style-type: none"> • Building fabric thermal efficiency specification <ul style="list-style-type: none"> ○ walls, ceiling, floors and roof ○ Insulation location and R value ○ Sarking vapour permeability • Window energy specification • Energy rating documentation • Building sealing • Air movement control strategies • Pipe and services insulation • Glazing calculator to be supplied if a Deemed-To-Satisfy solution • Under slab or slab edge insulation 	<input checked="" type="checkbox"/> Supplied as stand alone or in document <hr/> <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
<p><u>Water Supply and Drainage Plan</u></p>	<ul style="list-style-type: none"> • An interim sanitary drainage plan • A plan that identifies the location of all relevant water supply and drainage points to the building • Surface and sub-surface site drainage including location of on-site waste water management systems including land application area • Levels of overflow relief gully (ORG) rim relative to the lowest sanitary plumbing fixture outlet and the surrounding finished surface level • Levels of inverts to existing and proposed drainage services at point of connection to approved disposal system 	<input checked="" type="checkbox"/> Supplied as stand alone or in document <hr/> <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
<p><u>Services Plan</u></p>	<ul style="list-style-type: none"> • A plan that identifies the location of all relevant internal and external electrical points in or on the building, lighting, plant and mechanical, for example air-conditioning, evaporative cooling, exhaust fans, water heaters, fixed appliances and water tanks (including connection) 	<input type="checkbox"/> Supplied as stand alone or in document <hr/> <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use
<p>Building Certifier: <u>JOSEPH BURKE</u> Date: <u>9/4/18</u></p>		<p>ESDD Customer Service Officer: _____ Date: _____</p>



SITE WORK NOTICE⁰³⁸

Building Act 2004, s151

For section 28 (1A) of the Building Act 2004

To be completed by the appointed Building Certifier and submitted to the Construction Occupations Registrar within 7 days of issue

Lease/Site Details

Block		Section		Suburb	Weston	Division	Weston Creek
Unit No	1	Street Address					

Building Approval Application and Site Work Details

This notice is issued in relation to the site work shown in the plans submitted as part of the application for a building approval dated made by the following applicants:

[Redacted] Theodore on: *date* 9/01/18

This notice applies to all site work in that application for which there is there is no—

- (a) exemption assessment D notice stating that the site work is exempt development issued for the work not more than 3 months before the day the application was made;
- (b) exemption declaration under the *Planning and Development Regulation 2008*, schedule 1, section 1.100A (1) (b) or section 1.100AB (1) (b) made by the planning and land authority; or
- (c) current development approval issued in relation to the site work.

NOTE: Site work is development that is—

- (a) building work; and
- (b) work other than building work that—
 - (i) physically affects the place (the building site) where the building work is being carried out; and
 - (ii) if not carried out at the building site, is carried out near, and connected with, the building site.

Examples: putting up temporary fencing, installing measures for erosion control, building a house, damaging or removing a significant tree, laying paving for driveways and parking areas, installing landscaping, site clearing and excavation, erecting site signage, erecting a pergola

Building Certifier Details *Please Print*

Surname	Fekete	First Name	Joseph
Company Name	Canberra Region Building Certifiers		
Licence Number	2011278	Contact Number	02 6242 7738
Postal Address	PO Box 357		
Suburb	Mitchell	State	ACT
		Postcode	2911

Building Certifier Statement

I state that:

Approved form AF2016-76 approved by David Middlemiss, Construction Occupations Deputy Registrar on 02 August 2016 under section 151 the Building Act 2004 and revokes AF2015-3

- the plans for the building work to which the application for building approval relates show all the information necessary to establish that the site work is exempt development under the *Planning and Development Act 2007*, section 133; and
- the site work is exempt development; and
- I have assessed that the site work is exempt development for the following reasons and in accordance with the following provisions of the *Planning and Development Regulation 2008* and Territory Plan Codes:

Please include all relevant regulations and codes relied on for your assessment and an outline of your reasoning, such as the assessment you undertook, advice from referral entities, compliance with lease and development conditions etc. You can attach additional information if needed and supporting documents including checklists or your own assessment documents. You do not need to attach a copy of the plans or building approval application.

Entities:
 Electric
 Water/Sewerage
 Gas
 Territory Plan
 Weston Precinct Code.

2.2(a)(ii)

Building Certifier Signature (or nominee)		Date of Issue	9/8/18
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Giving false or misleading information is a serious offence

Privacy Notice
 The personal information on this form is provided to the Environment and Planning Directorate (EPD). The collection of personal information is authorised by the *Building Act 2004*. If all or some of the required personal information is not collected this notice is not considered complete. The personal information provided may be disclosed to Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be disclosed where authorised by law or court order, or where the EPD reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. EPD's Information Privacy Policy contains information about how you may access or seek to correct your personal information held by EPD, and how you may complain about an alleged breach of the Territory Privacy Principles. The EPD Information Privacy Policy can be found at www.act.gov.au/accessCBR.

CONTACT INFORMATION		
Email: ACTPLAdevelopmentBA@act.gov.au	Post: Access Canberra Building Services Shopfront Mitchell GPO Box 158 Canberra, ACT 2601	In Person: Please visit www.act.gov.au/accessCBR Or call 132281 to find an Access Canberra Shopfront.



APPOINTMENT OF BUILDER & APPLICATION FOR COMMENCEMENT NOTICE

Building Act 2004, S151

In completing this form the owner is authorising the builder nominated below to apply to the appointed certifier to issue a Commencement Notice for the works detailed in this application form.

PART A PROJECT DETAILS

Block [redacted] Section [redacted] Suburb Wesley Unit No. 1

Street Address [redacted]

Certifier Name CANBERRA REGION BUILDING CERTIFIERS PTY LTD

Description of Building Works relevant to this application - If more than 6 items please attach further details

- 1. PROPOSED RESIDENCE
- 2. PROPOSED GARAGE
- 3. PROPOSED POOL & DECKING
- 4. [redacted]

PART B OWNER DETAILS - Please Print

All owners must be listed Owner 1 will be considered the contact person in relation to this application

Company Details [redacted]

Owner 1 2.2(a)(ii) [redacted]

Owner 3 _____ Owner 4 _____

Postal Address 2.2(a)(ii) [redacted]

Suburb [redacted]

Phone Number Business Hours [redacted]

EMAIL ADDRESS [redacted]

PART C APPOINTMENT OF BUILDER

I/we the owner/s have appointed the person whose details appear below as the builder in relation to the building works described in this form

Licence Holders Name as it appears on licence card

MZ Design and Construction Pty Ltd

Licence Number

2011796

Class

A

Expiry Date

29/06/2018

List any conditions or endorsements on licence

NIL

EMAIL ADDRESS

2.2(a)(ii)@mzconstructions.com.au

PART D NOMINEE'S DETAILS

If the builder is a company or partnership provide details of the Nominee who will supervise the building

Nominee's Name

Mazdak Ebrahimi

Licence Number

2010311

Class

A

Expiry Date

03/02/2019

Signature of Nominee

2.2(a)(ii)

Date

14/03/18

PART E

OWNER SIGNATURE/S - all owners must sign this form

Owner 1

DATE: 19/1/18

Owner 2

DATE: 19/1/18

Owner 3

DATE:

Owner 4

Signature

DATE:

PART F BUILDER APPLICATION TO CERTIFIER FOR COMMENCEMENT NOTICE

I hereby apply to the building certifier listed above for a commencement notice for the works detailed in Part A of this form in accordance with the Building Act 2004.

- A site sign was not required to be displayed prior to making this application.
- A site sign was required to be displayed prior to making this application and I declare that a compliant sign was erected and displayed for the required period.

Signature of Builder

2.2(a)(ii)

Date

14/03/2018

NOTE: There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

PART G INSURANCE OR FIDELITY CERTIFICATE

For residential building work please provide details of insurance where applicable

Insurance Provider

QBE Insurance

Policy No.

3000700011
BWI-3

Date Issued

22.2.18

PLEASE NOTE:

- ▶ A copy of this notice and where applicable the residential building insurance policy or fidelity certificate must be given to the Construction Occupations Registrar within one (1) week of the issue date.
- ▶ A copy of the Commencement Notice must also be provided to the owner/s.

Privacy Notice

The personal information on this form is provided to Access Canberra to enable the processing of your application. The collection of personal information is authorised by the *Building Act 2004*. If all or some of the personal information is not collected Access Canberra cannot process your application. The personal information you provide may be disclosed to Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be disclosed where authorised by law or court order, or where the Directorate reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. Access Canberra's Information Privacy Policy contains information about how you may access or seek to correct your personal information held by Access Canberra, and how you may complain about an alleged breach of the Territory Privacy Principles. Access Canberra Information Privacy Policy can be found at www.act.gov.au/accessCBR

CONTACT INFORMATION**Email:**

ACTPLAdevelopmentBA@act.gov.au

Post:

Access Canberra
 Building Services
 Shopfront Mitchell
 GPO Box 158
 Canberra, ACT 2601

In Person:

Please visit
www.act.gov.au/accessCBR
 Or call 132281 to find an
 Access Canberra Shopfront.



PART A PROJECT DETAILS

Block [redacted] Section [redacted] Suburb WESTON Unit No. [redacted]

Street Address [redacted]

Date Building Approval Issued 9/4/18

Description of work to which this Commencement Notice relates:

Describe each item of building work in this building approval	BCA Occupancy Class	BCA Construction Type	Area (m ²)	Number of Storeys	Cost of Works (refer to building cost guide)
1 PROPOSED RESIDENCE	1(a)(i)	M/D	347.96	2	2.2(a)(xi)
2 PROPOSED GARAGE	10ca	M/D	79.05	1	
3 PROPOSED POOL & SUNSHED	10ca	M/D	111.68	2	
4					
5					
6					

ENERGY EFFICIENCY REQUIREMENTS

Is an Energy Efficiency Rating required for any of the work listed above? YES NO

If YES please specify item number/s [redacted]

PART B BUILDER DETAILS

Licence Holders Name as it appears on Licence Card: MR WESTON AND CONSTRUCTION PTY LTD

Licence Number 2017016 Class A Expiry Date 29/6/18

If the builder is a company or partnership provide details of the nominee who will supervise the building work

Nominee M AZDAR EBRAHIMI

Licence Number 2010311 Class A Expiry Date 3/2/19

PART C INSURANCE

For residential building work please provide details of insurance where applicable

Insurance Provider Policy No. Date Issued
 BW1-3

PLEASE NOTE:

- ▶ A copy of the Commencement Notice application, this notice and where applicable the residential building insurance policy or fidelity certificate must be given to the Construction Occupations Registrar within one (1) week of the issue date.
- ▶ A copy of the Commencement Notice must also be provided to the builder and the owner/s.

PART D CERTIFIER DECLARATION

Name of Certifier Issuing Notice: Licence No:
 Issue Date of Commencement Notice

This Commencement Notice is issued in accordance with the *Building Act 2004*, to the licensed builder stated above and authorises the commencement of the stated building work. The issue of this Commencement Notice indicates that I am satisfied that the builder's license authorises the work in the building approval. Where applicable, for residential building work I have been provided with a residential building insurance policy or fidelity certificate.

This building commencement notice will end if:

- (a) for residential building work – the work is no longer insured; or
- (b) the building approval for the work expires 2.2(a)(ii)

Certifier Signature Date

NOTE: There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

Privacy Notice
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CONTACT INFORMATION

Email: ACTPLAdevelopmentBA@act.gov.au

Post: Access Canberra
 Building Services
 Shopfront Mitchell
 GPO Box 158
 Canberra, ACT 2601

In Person: Please visit www.act.gov.au/accessCBR
 Or call **132281** to find an Access Canberra Shopfront.



Building Act 2004, S151

Application for Building Commencement Notice

Project ID: B20181262

Licensed builders must use this form to apply to the building certifier for a commencement notice in accordance with the Building Act 2004. An application can only be made if the building approval has been issued for the building work. A commencement notice must be issued by the building certifier before any building work can commence.

PART A - PROJECT DETAILS

Building approval issue date: 9/04/2018

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
			WESTON CREEK	WESTON	Australian Capital Territory

Full Name	Address	License Number	Expiry Date
CANBERRA REGION BUILDING CERTIFIERS PTY LTD	PO Box 357 MITCHELL ACT 2911	2011278	27/09/2018

Description of work to which application for Commencement Notice relates:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
1a(l)	New	DA EXEMPT-RESIDENCE		NA	1	347.46	2.2(a)(ii)
10a	New	DA EXEMPT-GARAGE		NA	1	79.05	
10a	Other	DA EXEMPT-SEE DESCRIPTION	Proposed Porch & Alfresco	NA	2	111.66	

Insurance provider: QBE Insurance

Policy number: 300070001BWI-3

Issue date: 9/04/2018

PART B - BUILDERS DETAILS

License holder's name: MZ DESIGN & CONSTRUCTION PTY LTD

License number: 2011796

License Expiry Date: 29/06/2018

Business Address: PO Box 656 WODEN ACT 2606

Phone Number: 62427121

Signature of builder:

_____/_____/_____
(Individual, director for company or partner for partnership)

If the builder is a company or partnership provide details of the nominee who will supervise the building work

Nominee's name: MAZDAK EBRAHIMI TAKALLOO

License number: 2010311

License Expiry Date: 3/02/2019

**Nominee's signature
(if different to above):**

_____ / / _____

PART C - OWNER/LESSEE DETAILS

Name	Address
2.2(a)(ii)	

ADVISORY NOTE: Owners please ensure you have a written contract with the builder named in this application. For residential building work requiring home owner insurance ensure that the same builders name is shown on the insurance policy.

PART D - OWNER/S OR AGENT SIGNATURE/S

Name	Signature	Date
2.2(a)(ii)		

NOTE: You may only make this application as an authorised agent on behalf of the owners of the property if you have appropriate written authorisation from ALL the owners and attach it to this application. This also applies if you are a part owner or joint owner making an application on behalf of the owners.

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.

PART E - BUILDER APPLICATION TO CERTIFIER FOR COMMENCEMENT NOTICE

I hereby apply to the building certifier listed above for a commencement notice for the works detailed in Part A of this form in accordance with the Building Act 2004.

- A site sign was NOT required to be displayed prior to making this application.
- A site sign WAS required to be displayed prior to making this application and I declare that a compliant sign was erected and displayed for the required period.

**Signature of
Builder/Nominee:**

_____ / / _____

NOTE: There are penalties for deliberately giving false and misleading information. Access Canberra or the Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.



Building Act 2004, S151

Application for Building Commencement Notice

Project ID: B20181262

Licensed builders must use this form to apply to the building certifier for a commencement notice in accordance with the Building Act 2004. An application can only be made if the building approval has been issued for the building work. A commencement notice must be issued by the building certifier before any building work can commence.

PART A - PROJECT DETAILS

Building approval issue date: 9/04/2018

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
			WESTON CREEK	WESTON	Australian Capital Territory

Full Name	Address	License Number	Expiry Date
CANBERRA REGION BUILDING CERTIFIERS PTY LTD	PO Box 357 MITCHELL ACT 2911	2011278	27/09/2018

Description of work to which application for Commencement Notice relates:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
1a(l)	New	DA EXEMPT-RESIDENCE		NA	1	347.46	2.2(a)(ii)
10a	New	DA EXEMPT-GARAGE		NA	1	79.05	
10a	Other	DA EXEMPT-SEE DESCRIPTION	Proposed Porch & Alfresco	NA	2	111.66	

Insurance provider: QBE Insurance

Policy number: 300070001BWI-3

Issue date: 9/04/2018

PART B - BUILDERS DETAILS

License holder's name: MZ DESIGN & CONSTRUCTION PTY LTD

License number: 2011796

License Expiry Date: 29/06/2018

Business Address: PO Box 656 WODEN ACT 2606

Phone Number: 62427121

Signature of builder:

_____/_____
(Individual, director for company or partner for partnership)

If the builder is a company or partnership provide details of the nominee who will supervise the building work

Nominee's name: MAZDAK EBRAHIMI TAKALLOO

License number: 2010311

License Expiry Date: 3/02/2019

**Nominee's signature
(if different to above):**

_____ / / _____

PART C - OWNER/LESSEE DETAILS

Name	Address
2.2(a)(ii)	

ADVISORY NOTE: Owners please ensure you have a written contract with the builder named in this application. For residential building work requiring home owner insurance ensure that the same builders name is shown on the insurance policy.

PART D - OWNER/S OR AGENT SIGNATURE/S

Name	Signature	Date
2.2(a)(ii)		

NOTE: You may only make this application as an authorised agent on behalf of the owners of the property if you have appropriate written authorisation from ALL the owners and attach it to this application. This also applies if you are a part owner or joint owner making an application on behalf of the owners.

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.

PART E - BUILDER APPLICATION TO CERTIFIER FOR COMMENCEMENT NOTICE

I hereby apply to the building certifier listed above for a commencement notice for the works detailed in Part A of this form in accordance with the Building Act 2004.

- A site sign was NOT required to be displayed prior to making this application.
- A site sign WAS required to be displayed prior to making this application and I declare that a compliant sign was erected and displayed for the required period.

**Signature of
Builder/Nominee:**

_____ / / _____

NOTE: There are penalties for deliberately giving false and misleading information. Access Canberra or the Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.



Building Act 2004, S151

Building Commencement Notice

Project ID: B20181262

PART A - PROJECT DETAILS

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
			WESTON CREEK	WESTON	Australian Capital Territory

Certifier's Details

Full Name	Address	License Number	Expiry Date
CANBERRA REGION BUILDING CERTIFIERS PTY LTD	PO Box 357 MITCHELL ACT 2911	2011278	27/09/2018

Building approval issue date: 9/04/2018

Building Commencement Notice Required for:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Area (m2)	Cost of Works (\$)
1a(l)	New	DA EXEMPT-RESIDENCE		NA	347.46	2.2(a)(ii)
10a	New	DA EXEMPT-GARAGE		NA	79.05	
10a	Other	DA EXEMPT-SEE DESCRIPTION	Proposed Porch & Alfresco	NA	111.66	

PART B - BUILDERS DETAILS

License holder's name: MZ DESIGN & CONSTRUCTION PTY LTD

License number: 2011796

License Expiry Date: 29/06/2018

Business Address: PO Box 656 WODEN ACT 2606

Phone Number: 62427121

If the builder is a company or partnership provide details of the nominee who will supervise the building work

Nominee's name: MAZDAK EBRAHIMI TAKALLOO

License number: 2010311

License Expiry Date: 3/02/2019

PART C - CERTIFIER'S DECLARATION

Issue date of commencement notice: 09/04/2018

Name of Certifier Issuing Notice: CANBERRA REGION BUILDING CERTIFIERS PTY LTD

Declaration:

This commencement notice is issued in accordance with the Building Act 2004, to the licensed builder stated above authorising the commencement of the stated building work. The issue of this commencement notice indicates that I am satisfied that the builders license authorises the work in the building approval. Where applicable for residential building work, I have been provided with a residential building insurance policy or fidelity certificate.

PLEASE NOTE:

A copy of the application for this commencement notice, this notice and where applicable the residential building insurance policy or fidelity certificate, must be given to the construction occupations registrar within one (1) week of the issue date.

This building commencement notice will end if-

- (a) for residential building work- the work is no longer insured; or
- (b) the building approval for the work ends

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.



**APPOINTMENT OF A CERTIFIER
APPLICATION FOR BUILDING APPROVAL**
Building Act 2004, S151

This form is to be completed by the Owner/s of the land to which the building work relates.

PART A PROJECT DETAILS

Block Section Suburb Unit No.

Street Address

Description of Building Works relevant to this application - *if more than 4 items please attach further details*

Describe each item of building work in this building approval	BCA Occupancy Class	BCA Construction Type	Area (m ²)	Number of Storeys	Cost of Works (refer to building cost 2.2(a)(ii))
1 PROPOSED RESIDENCE	1(a)(i)	M/A	347.96	2	<input type="text"/>
2 PROPOSED GARAGE	10(a)	M/A	79.05	1	
3 PROPOSED PORCH & DECKING	10(a)	M/A	117.66	2	
4					

Applicable approved requirements and reasons why building approval is not prevented from being issued

Is all work exempt from development approval?

- YES Attach assessment for exempt development checklist (if applicable)
- NO Provide reason/s or description of work: _____

Description of Attachments compliant with Division 3.3 Building Act 2004
Please attach any additional documentation not listed below

- Building Approval Plans
- Referrals, consultations & consents outcomes
- Asbestos Advice - If documents accompanying building approval do not include an asbestos assessment report as per the Building Act 2004, the building approval must have an AA attached as per the Act

PART B OWNER'S DETAILS - Please Print

All owners must be listed Owner 1 will be considered the contact person in relation to this application

Company Details

ACN/ABN Number

Owner 1

Owner 3 Owner 4

Approved form AF2016-85 approved by David Middlemiss, Construction Occupations Deputy Registrar on 10 August 2016 under section 151 of the Building Act 2004 and revokes AF2014-68 and AF2016-80.

PART B continued **OWNER/S DETAILS – Please Print**

Postal Address 2.2(a)(ii)

Suburb

Phone Number Business Hours

EMAIL ADDRESS

PART C **APPOINTMENT OF CERTIFIER**

As required under the Building Act 2004 I/we herby advise that I/we the owner/s have apponted the person whose details appear below as the certifier in relation to the building works described in this form

Company Details **CANBERRA REGION BUILDING CERTIFIERS PTY LTD**

Name of Certifier **Joseph Fekete** ABN/ACN **36 138 270 103**

Postal Address **PO Box 357**

Suburb **MITCHELL** State **ACT** Postcode **2911**

Phone Number Business Hours **6242 7738** Mobile **2.2(a)(ii)**

EMAIL ADDRESS **mail.crbc@bigpond.com**

PART D **APPLICATION FOR BUILDING APPROVAL**

I/we the Owner/s of the abovementioned property hereby apply under Section 26 of the *Building Act 2004* to the certifier named above to issue a building approval for the building work described in this form. I/we have provided the certifier with information and documentation required to issue a building approval as specified in the *Building (General) Regulation 2008*.

PART E **AUTHORITY TO ACCESS BUILDING FILE**

I/we hereby authorise the certifier to access the building file for the property which is the subject of this application for the purposes of obtaining information relevant to the issuing of a building approval and associated processes.

PART F **OWNER/S SIGNATURE/S**

1st Owner's Signature 2.2(a)(ii) Date **19/1/18**

2nd Owner's Signature Date **19/1/18**

3rd Owner's Signature Date

4th Owner's Signature Date

NOTE: There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

Approved form AF2016-85 approved by David Middlemiss, Construction Occupations Deputy Registrar on 10 August 2016 under section 151 of the *Building Act 2004* and revokes AF2014-68 and AF2016-80.

APPLICATION FOR BUILDING APPROVAL REQUIREMENTS – Building (General) Regulations 2008

Where relevant the following information **MUST** be included in either the application or the plans accompanying the application for building approval:

General Requirements

- ▶ Estimated Cost of Works –as per *Building (General) (Cost of Building Work) Determination 2015*
- ▶ if the proposed building work to be carried out at or near a street or place that is open to or used by the public the application must contain details of the precautions proposed to be taken to protect the safety of people using the street or place while the building work is carried out
- ▶ the area of the parcel of land to which this application relates
- ▶ the class of the building according to the intended use of the building as proposed to be erected or altered;
- ▶ if applicable what fire-resisting construction type (under the building code) the building as proposed to be erected or altered will be
Note: Fire-resisting construction type may not be applicable if an alternative solution under the building code is used
- ▶ for an application relating to the erection of a class 1 building the site classification of the parcel of land
- ▶ for an application relating to the alteration of a class 1 building if the alteration will increase the building load carried by foundation material beyond the building load carried by the foundation before the alteration
- ▶ the site classification of the parcel of land
- ▶ for an application relating to the alteration of a building the class and type of fire-resisting construction of the existing building classified under the building code and the materials used in the existing building
Note Fire-resisting construction type may not be applicable if an alternative solution under the building code is used
- ▶ the number of storey's of the building as proposed to be erected or altered;
- ▶ the number of new dwellings (if any) created by the proposed building work;
- ▶ the floor area of the proposed building or proposed new part of the building;
- ▶ the materials to be used in the frame, floor, walls and roof of the proposed building or proposed new part of the building
- ▶ if a performance requirement of the building code is to be complied with by use of an alternative solution under the code -
 - (i) the performance requirement; and
 - (ii) the alternative solution; and
 - (iii) each assessment method used to show that the alternative solution complies with the performance requirement;
- ▶ if the building code does not state a standard of work in relation to any part of the proposed building work and it is intended to carry out that part of the proposed building work in accordance with a standard of work stated in another document -
 - (i) the nature of the proposed building work; and
 - (ii) the title of the document; and
 - (iii) each assessment method used to show that the proposed building work complies with the standard of work stated in the document.

Removal or demolition of building/s

- ▶ Details of the methods to be used in carrying out the proposed building work, including a work plan stated or set out in AS 2601 (Demolition of structures), as in force from time to time;
- ▶ the number of dwellings (if any) to be demolished.

Asbestos

- ▶ The application must include a description of the method proposed to be used to remove the bonded asbestos sheeting from the building
- ▶ the application must include the following information:
 - (i) the method proposed to be used to remove the asbestos;
 - (ii) the approximate amount and kind of asbestos to be removed;
 - (iii) the equipment proposed to be used to remove the asbestos, including any personal protective equipment;
 - (iv) details of a program, prepared in accordance with the asbestos removal code, for monitoring airborne asbestos to be followed during the removal.

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Building Act 2004, S151

**Appointment of a Certifier and
Application for Building Approval**

Project ID: B20181262

This form is to be completed by the Owner/s of the land to which the building work relates

PART A - PROJECT DETAILS

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
			WESTON CREEK	WESTON	Australian Capital Territory

PART B - OWNER DETAILS

Name	Address	Email Address
2.2(a)(ii)		

PART C - APPOINTMENT OF CERTIFIER

As required under the Building ACT 2004 I/we hereby advise that I/we the owner/s have appointed the person whose details appear below as the certifier in relation to the building works described in this form

Full Name	Address	License Number	Expiry Date
CANBERRA REGION BUILDING CERTIFIERS PTY LTD	PO Box 357 MITCHELL ACT 2911	2011278	27/09/2018

PART D - APPLICATION FOR BUILDING APPROVAL

I/we the owners of the abovementioned property hereby apply to the certifier named above to issue a building approval under Section 26 of the Building Act 2004 for the building works detailed in the following table

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
1a(l)	New	DA EXEMPT-RESIDENCE		NA	1	347.46	2.2(a)(ii)
10a	New	DA EXEMPT-GARAGE		NA	1	79.05	
10a	Other	DA EXEMPT-SEE DESCRIPTION	Proposed Porch & Alfresco	NA	2	111.66	

I/we have provided the certifier with the information and documentation required to issue a building approval as specified in the Building (General) Regulation 2008.

PART E - AUTHORITY TO ACCESS BUILDING FILE

I/we hereby authorise the certifier to access the building file held by Access Canberra for the property which is the subject of this application for the purposes of obtaining information relevant to the issuing of a building approval and associated processes.

PART F - OWNER/S SIGNATURE/S

Name	Signature	Date
2.2(a)(ii)		

APPLICATION FOR BUILDING APPROVAL REQUIREMENTS
Building (General) Regulations 2008

Where relevant the following information **MUST** be included in either the application or the plans accompanying the application for building approval:

General Requirements

- Estimated Cost of Works -as per Building (General) (Cost of Building Work) Determination 2011
- if the proposed building work to be carried out at or near a street or place that is open to or used by the public the application must contain details of the precautions proposed to be taken to protect the safety of people using the street or place while the building work is carried out
- the area of the parcel of land to which this application relates
- the class of the building according to the intended use of the building as proposed to be erected or altered;
- if applicable what fire-resisting construction type (under the building code) the building as proposed to be erected or altered will be.

Note: Fire-resisting construction type may not be applicable if an alternative solution under the building code is used.

- for an application relating to the erection of a class 1 building the site classification of the parcel of land
 - for an application relating to the alteration of a class 1 building if the alteration will increase the building load carried by foundation material beyond the building load carried by the foundation before the alteration.
 - the site classification of the parcel of land
 - for an application relating to the alteration of a building the class and type of fire-resisting construction of the existing building classified under the building code and the materials used in the existing building
- Note Fire-resisting construction type may not be applicable if an alternative solution under the building code is used.
- the number of storeys of the building as proposed to be erected or altered;
 - the number of new dwellings (if any) created by the proposed building work;
 - the floor area of the proposed building or proposed new part of the building;
 - the materials to be used in the frame, floor, walls and roof of the proposed building or proposed new part of the building
 - if a performance requirement of the building code is to be complied with by use of an alternative solution under the code -
 - (i) the performance requirement; and
 - (ii) the alternative solution; and
 - (iii) each assessment method used to show that the alternative solution complies with the performance requirement;
 - if the building code does not state a standard of work in relation to any part of the proposed building work and it is intended to carry out that part of the proposed building work in accordance with a standard of work stated in another document -
 - (i) the nature of the proposed building work; and
 - (ii) the title of the document; and
 - (iii) each assessment method used to show that the proposed building work complies with the standard of work stated in the document.

Removal or demolition of building/s

- Details of the methods to be used in carrying out the proposed building work, including a work plan stated or set out in AS 2601 (Demolition of structures), as in force from time to time;
- the number of dwellings (if any) to be demolished.

Asbestos

- The application must include a description of the method proposed to be used to remove the bonded asbestos sheeting from the building.
- the application must include the following information:
 - (i) the method proposed to be used to remove the asbestos;
 - (ii) the approximate amount and kind of asbestos to be removed;
 - (iii) the equipment proposed to be used to remove the asbestos, including any personal protective equipment;
 - (iv) details of a program, prepared in accordance with the asbestos removal code, for monitoring airborne asbestos to be followed during the removal. be followed during the removal.

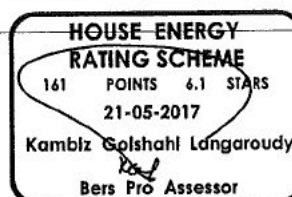
House Energy Rating — NON-ACCREDITED*

Rating document number: 0001499532 Certificate Date: 21 May 2017 Star rating: 6.1

BERS Pro v4.3.0.0 (3.13) cannot be used to model 'roof windows'. Roof windows are 'openable or fixed windows in a roof' and do not have a shaft, as distinct from skylights which incorporate a built-in shaft and are not ventilated. BERS Pro v4.3 can only model skylights. If a roof window is present on the floor plan then this certificate is not valid.

Completed by

Name: Kambiz Golshahi Langaroudy
 Organisation: KD Building Construction services
 Email: Sch 2.2(a)(ii)
 Phone: 2.2(a)(ii)
 Declaration of interest: None
 Software used: BERS Pro v4.3.0.2 (3.13)

**Overview****Dwelling details**

Street: [REDACTED]
 Suburb: WESTON Postcode: 2611
 State: ACT NCC Class: 1A
 Type: New Dwelling NatHERS climate zone: 24
 Lot/DP number: S 106/B 10 Exposure: Suburban

Key construction and insulation materials

(see following pages for details)

Construction: Brick Veneer
 Corrugated Iron
 Waffle pod slab 225 mm
 Insulation: R2.0 wall insulation
 R5.0 ceiling insulation
 No floor insulation
 Glazing: AWS-008-03 A 616 AJ Antising Window DG 4/10A/4ET

Ceiling penetrations

(see following pages for details)

Sealed: 43
 Unsealed: 6
 TOTAL:** 49

**NOTE: This total is the maximum number of ceiling penetrations allowed to a ceiling (under a roof) for this certificate. If this number is exceeded in construction then this certificate IS NOT VALID and a new certificate is required. Loss of ceiling insulation for the penetrations listed has been taken into account with the rating.

Principle downlight type: LED

Net floor area (m²)

Conditioned: 297
 Unconditioned: 44
 Garage: 0
 TOTAL: 342

Annual thermal performance loads (MJ/m²)

Heating: 126
 Cooling: 35
 TOTAL: 161

Window selection – default windows only

Note on allowable window values: Only a 5% tolerance to the nominated SHGC window values shown on page 2 can be used with this rating.

Note: Only a +/- 5% SHGC tolerance is allowed with this rating

NS: This tolerance ONLY applies to SHGC, the U-value can always be lower but not higher than the values stated on page 2.

If any of windows selected are outside the 5% tolerance then this certificate is no longer valid and the dwelling will need to be rerated to confirm compliance.

Scan to access this rating document online and confirm this is valid.

**Plan documents**

Plan ref/date: A101-102-103-104-105-106-107
 Prepared by: MZ design and construction

* This rating has been completed by a non-accredited rater. For more details see the Australian Government Nationwide House Energy Rating Scheme (NatHERS) website www.nathers.gov.au.

House Energy Rating - NON-ACCREDITED*

Rating document number: 0001499532 Certificate Date: 21 May 2017 Star rating: 6.1

Building features

Window type and performance value

Window ID	Window type	U value	SHGC
AWS-008-03 A	AWS-008-03 A 516 Al Awining Window DG 4/10A/4ET	0.52	
AWS-003-03 A	AWS-003-03 A 502/504 Al Sliding Window DG 4/10A/4ET	0.55	
AWS-013-03 A	AWS-013-03 A 541/542 Al Sliding Door DG 4/10A/4ET	0.57	

HOUSE ENERGY RATING SCHEME
POINTS 3.20 STARS
21-05-2017

Kambiz Goshahi Langaroudy
Bers Pro Assessor

Window schedule

Location	Window ID	Window no.	Height (mm)	Width (mm)	Orientation	Outdoor shade
Kitchen/Living	AWS-008-03 A	n/a	2400	4000	NE	No Shading
Kitchen/Living	AWS-008-03 A	n/a	1200	4000	NE	No Shading
Kitchen/Living	AWS-003-03 A	n/a	2400	4000	NE	No Shading
Kitchen/Living	AWS-008-03 A	n/a	1800	1500	SE	No Shading
Kitchen/Living	AWS-008-03 A	n/a	2100	600	SE	No Shading
Kitchen/Living	AWS-008-03 A	n/a	1800	800	SW	No Shading
Kitchen/Living	AWS-008-03 A	n/a	1800	450	SW	No Shading
Kitchen/Living	AWS-013-03 A	n/a	2400	2000	SW	No Shading
Kitchen/Living	AWS-008-03 A	n/a	2400	900	SW	No Shading
Kitchen/Living	AWS-008-03 A	n/a	2400	900	SW	No Shading
Kitchen/Living	AWS-003-03 A	n/a	1200	1200	SW	No Shading
Kitchen/Living	AWS-008-03 A	n/a	1500	2100	NW	No Shading
Day Time 1	AWS-008-03 A	n/a	1800	600	SE	No Shading
Day Time 1	AWS-008-03 A	n/a	1800	600	SE	No Shading
Day Time 1	AWS-008-03 A	n/a	1800	900	SW	No Shading
Day Time 1	AWS-013-03 A	n/a	2400	900	NW	No Shading
Day Time 1	AWS-008-03 A	n/a	2400	900	NW	No Shading
Day Time 1	AWS-008-03 A	n/a	2400	900	NW	No Shading
Unconditioned 1	AWS-008-03 A	n/a	1800	600	SE	No Shading
Unconditioned 1	AWS-008-03 A	n/a	1800	600	SE	No Shading
Unconditioned 1	AWS-008-03 A	n/a	1800	600	SW	No Shading
Unconditioned 1	AWS-008-03 A	n/a	1800	600	SW	No Shading
Unconditioned 2	AWS-008-03 A	n/a	2100	900	NW	No Shading
Unconditioned 4	AWS-003-03 A	n/a	1200	1800	NW	No Shading
Bedroom 1	AWS-008-03 A	n/a	1500	600	SE	No Shading
Bedroom 1	AWS-008-03 A	n/a	1500	600	SE	No Shading
Night Time 1	AWS-008-03 A	n/a	1500	600	SE	No Shading
Bedroom 2	AWS-003-03 A	n/a	600	1200	NW	No Shading
Bedroom 2	AWS-008-03 A	n/a	2100	1200	SW	No Shading
Bedroom 2	AWS-013-03 A	n/a	2100	1500	SW	No Shading
Night Time 2	AWS-008-03 A	n/a	600	600	NW	No Shading
Night Time 3	AWS-008-03 A	n/a	600	600	NW	No Shading
Bedroom 3	AWS-008-03 A	n/a	600	1200	NW	No Shading
Bedroom 3	AWS-003-03 A	n/a	2100	1200	NE	No Shading
Bedroom 3	AWS-013-03 A	n/a	2100	1500	NE	No Shading
	AWS-008-03 A	n/a	2100	900	NE	No Shading
	AWS-008-03 A	n/a	1800	1800	SE	No Shading
	AWS-008-03 A	n/a	1800	800	SW	No Shading
	AWS-008-03 A	n/a	1800	450	SW	No Shading
Unconditioned 5	AWS-008-03 A	n/a	1800	600	SE	No Shading
Unconditioned 5	AWS-008-03 A	n/a	1800	600	SE	No Shading

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House Energy Rating - NON-ACCREDITED*

Rating document number: 0001499532 Certificate Date: 21 May 2017 Star rating: 6.1

Building features continued

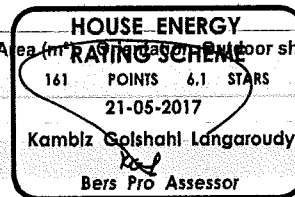
Unconditioned 5	AWS-008-03 A	n/a	2400	2000	S	No Shading
Unconditioned 5	AWS-008-03 A	n/a	1800	600	SW	No Shading
Unconditioned 5	AWS-008-03 A	n/a	1800	600	SW	No Shading
Unconditioned 5	AWS-008-03 A	n/a	1800	1500	W	No Shading
Bedroom 4	AWS-013-03 A	n/a	2100	2300	NW	No Shading
Bedroom 4	AWS-008-03 A	n/a	1500	600	SE	No Shading
Bedroom 4	AWS-008-03 A	n/a	1500	600	SE	No Shading
Bedroom 4	AWS-008-03 A	n/a	1500	600	SE	No Shading
Night Time 4	AWS-008-03 A	n/a	2100	600	SE	No Shading
Night Time 5	AWS-003-03 A	n/a	1200	1800	NW	No Shading

Roof window and skylight type and performance value

ID	Window type	U-value	SHGC
None Present			

Roof window and skylight schedule

Location	ID	Roof window/skylight no.	Area (m ²)	Orientation	Outdoor shade	Indoor shade/diffuser
None Present						

**External wall type**

ID	Wall type	Insulation	Wall wrap or foil
EW-1	Brick Veneer	Anti-glare foil with bulk no gap R2	Yes
EW-2	Extruded Poly Cavity Panel Direct Fix	Anti-glare foil with bulk no gap R2	Yes

External wall schedule

Location	ID	Width (mm)	Height (mm)	Orientation	Fixed Shade	Eaves (mm)
Kitchen/Living	EW-1	7400	4500	NE	No	200
Kitchen/Living	EW-1	800	2700	NW	No	200
Kitchen/Living	EW-1	6100	2700	NE	No	3900
Kitchen/Living	EW-1	1100	2700	NE	No	200
Kitchen/Living	EW-1	6200	2700	SE	No	100
Kitchen/Living	EW-1	2295	2700	SW	No	200
Kitchen/Living	EW-1	7600	2700	SW	No	750
Kitchen/Living	EW-1	8000	2700	NW	No	200
Day Time 1	EW-1	2395	2700	SE	No	200
Day Time 1	EW-1	6200	2700	SW	No	100
Day Time 1	EW-1	3895	2700	NW	No	200
Unconditioned 1	EW-1	2495	2700	SE	No	100
Unconditioned 1	EW-1	2408	2700	S	No	224
Unconditioned 1	EW-1	2395	2700	SW	No	200
Unconditioned 2	EW-1	2690	2700	NW	No	6300
Unconditioned 4	EW-1	3895	2700	NW	No	200
Unconditioned 4	EW-1	2495	2700	NE	No	200

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House Energy Rating - NON-ACCREDITED*

Rating document number: 0001499532 Certificate Date: 21 May 2017 Star rating: 6.1

Building features continued

Bedroom 1	EW-1	3195	2700	NE	No	200
Bedroom 1	EW-1	4895	2700	SE	No	100
Night Time 1	EW-1	1690	2700	SE	No	100
Bedroom 2	EW-2	3295	2550	NW	No	200
Bedroom 2	EW-2	4595	2550	SW	No	100
Night Time 2	EW-2	990	2550	NW	No	200
Night Time 3	EW-2	1090	2550	NW	No	200
Bedroom 3	EW-2	3195	2550	NW	No	200
Bedroom 3	EW-2	4595	2550	NE	No	200
	EW-2	995	2550	NE	No	200
	EW-2	3595	2550	SE	No	100
	EW-2	2195	2550	SW	No	3267
Unconditioned 5	EW-1	2295	2550	SE	No	1400
Unconditioned 5	EW-1	2408	2550	S	No	1452
Unconditioned 5	EW-1	2102	2550	SW	No	1452
Unconditioned 5	EW-1	2193	2550	W	No	212
Bedroom 4	EW-2	3590	2550	NW	No	200
Bedroom 4	EW-2	3195	2550	NE	No	100
Bedroom 4	EW-2	6295	2550	SE	No	100
Night Time 4	EW-2	1000	2550	NE	No	100
Night Time 4	EW-2	2595	2550	SE	No	100
Night Time 5	EW-1	2695	2550	NW	No	200
Night Time 5	EW-1	2395	2550	NE	No	100

HOUSE ENERGY RATING SCHEME161 POINTS 6.1 STARS
21-05-2017Kambiz Golshahi Langaroudy
Bers Pro Assessor**Internal wall type**

Wall type	Area (m ²)	Insulation	Wall wrap or foil
IW-1 - Cavity wall, direct fix plasterboard, single gap	215	No insulation	No

Floors

Location	Construction	Area (m ²)	Sub floor ventilation	Added insulation	Covering
Kitchen/Living	Waffle pod slab 225 mm	87.4	None	Waffle Pod 225mm	Ceramic Tiles 8mm
Kitchen/Living	Suspended Timber Floor	56.0	Totally Open	Bulk Insulation in Contact with Floor	Ceramic Tiles 8mm
Day Time 1	Waffle pod slab 225 mm	22.8	None	Waffle Pod 225mm	Ceramic Tiles 8mm
Unconditioned 1	Waffle pod slab 225 mm	27.7	None	Waffle Pod 225mm	Ceramic Tiles 8mm
Unconditioned 2	Waffle pod slab 225 mm	4.2	None	Waffle Pod 225mm	Ceramic Tiles 8mm
Unconditioned 3	Waffle pod slab 225 mm	1.9	None	Waffle Pod 225mm	Ceramic Tiles 8mm
Unconditioned 4	Waffle pod slab 225 mm	9.5	None	Waffle Pod 225mm	Ceramic Tiles 8mm

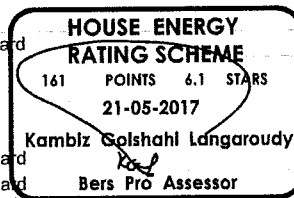
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House Energy Rating - NON-ACCREDITED*Rating document number: **0001499532** Certificate Date: **21 May 2017** Star rating: **6.1****Building features continued**

Bedroom 1	Waffle pod slab 225 mm	15.3	None	Waffle Pod 225mm	Ceramic Tiles 8mm
Night Time 1	Waffle pod slab 225 mm	5.1	None	Waffle Pod 225mm	Ceramic Tiles 8mm
Bedroom 2/Kitchen/Living	Timber Above Plasterboard	14.2		No Insulation	Carpet 10mm
Bedroom 2/Unconditioned 1	Timber Above Plasterboard	0.6		No Insulation	Carpet 10mm
Night Time 2/Kitchen/Living	Timber Above Plasterboard	2.6		No Insulation	Ceramic Tiles 8mm
Night Time 3/Kitchen/Living	Timber Above Plasterboard	2.9		No Insulation	Ceramic Tiles 8mm
Bedroom 3/Kitchen/Living	Timber Above Plasterboard	14.4		No Insulation	Carpet 10mm
/Kitchen/Living	Timber Above Plasterboard	34.3		No Insulation	Ceramic Tiles 8mm
/Unconditioned 1	Timber Above Plasterboard	0.6		No Insulation	Ceramic Tiles 8mm
Unconditioned 5/Unconditioned 1	Timber Above Plasterboard	25.8		No Insulation	Carpet 10mm
Bedroom 4/Kitchen/Living	Timber Above Plasterboard	0.6		No Insulation	Carpet 10mm
Bedroom 4/Unconditioned 2	Timber Above Plasterboard	4.2		No Insulation	Carpet 10mm
Bedroom 4/Unconditioned 3	Timber Above Plasterboard	2.2		No Insulation	Carpet 10mm
Bedroom 4/Unconditioned 4	Timber Above Plasterboard	1.9		No Insulation	Carpet 10mm
Bedroom 4/Bedroom 1	Timber Above Plasterboard	14.2		No Insulation	Carpet 10mm
Bedroom 4/Night Time 1	Timber Above Plasterboard	5.3		No Insulation	Carpet 10mm
Night Time 4/Kitchen/Living	Timber Above Plasterboard	6.5		No Insulation	Ceramic Tiles 8mm
Night Time 5/Unconditioned 4	Timber Above Plasterboard	6.2		No Insulation	Ceramic Tiles 8mm

Ceiling type

Location	Construction	Added insulation	Roof space above
Kitchen/Living	Plasterboard	Bulk Insulation R5	Yes
Kitchen/Living	Timber Above Plasterboard	No Insulation	No
Day Time 1	Plasterboard	Bulk Insulation R5	Yes
Unconditioned 1	Plasterboard	Bulk Insulation R5	Yes
Unconditioned 1	Timber Above Plasterboard	No Insulation	No
Unconditioned 2	Timber Above Plasterboard	No Insulation	No
Unconditioned 3	Timber Above Plasterboard	No Insulation	No
Unconditioned 4	Plasterboard	Bulk Insulation R5	Yes
Unconditioned 4	Timber Above Plasterboard	No Insulation	No
Bedroom 1	Plasterboard		Yes



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House Energy Rating - NON-ACCREDITED*

Rating document number: 0001499532 Certificate Date: 21 May 2017 Star rating: 6.1

Building features continued

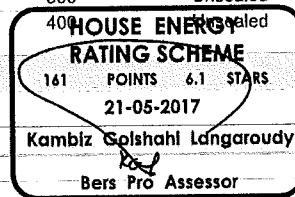
Location	Material	Bulk Insulation R5	Sealed/unsealed
Bedroom 1	Timber Above Plasterboard	No Insulation	No
Night Time 1	Timber Above Plasterboard	No Insulation	No
Bedroom 2	Plasterboard	Bulk Insulation R5	Yes
Night Time 2	Plasterboard	Bulk Insulation R5	Yes
Night Time 3	Plasterboard	Bulk Insulation R5	Yes
Bedroom 3	Plasterboard	Bulk Insulation R5	Yes
	Plasterboard	Bulk Insulation R5	Yes
Unconditioned 5	Plasterboard	Bulk Insulation R5	Yes
Bedroom 4	Plasterboard	Bulk Insulation R5	Yes
Night Time 4	Plasterboard	Bulk Insulation R5	Yes
Night Time 5	Plasterboard	Bulk Insulation R5	Yes

Ceiling penetrations

Location	Number	Type	Diameter (mm)	Sealed/unsealed
Kitchen/Living	18	Downlights - LED	190	Sealed
Day Time 1	6	Downlights - LED	190	Sealed
Unconditioned 2	1	Downlights - LED	190	Sealed
Unconditioned 3	1	Downlights - LED	190	Sealed
Unconditioned 4	1	Downlights - LED	190	Sealed
Bedroom 1	2	Downlights - LED	190	Unsealed
Bedroom 2	2	Downlights - LED	190	Sealed
Night Time 2	1	Exhaust Fans	300	Unsealed
Night Time 3	1	Exhaust Fans	300	Unsealed
Bedroom 3	2	Downlights - LED	190	Sealed
	6	Downlights - LED	190	Sealed
Bedroom 4	6	Downlights - LED	190	Sealed
Night Time 4	1	Exhaust Fans	300	Unsealed
Night Time 5	1	Exhaust Fans	300	Unsealed

Ceiling fans

Location	Number	Diameter (mm)
None Present		

**Roof type**

Construction	Added insulation	Roof colour

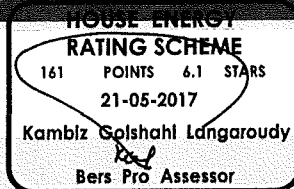
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House Energy Rating - NON-ACCREDITED*

Rating document number: 0001499532 Certificate Date: 21 May 2017 Star rating: 6.1

Building features continued

Corrugated Iron



Bulk, Reflective Medium
Side Down, Anti-
glare Up R1.2

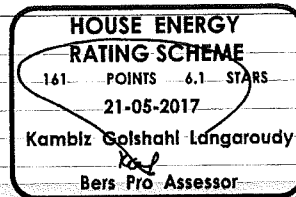
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House Energy Rating — NON-ACCREDITED*

Rating document number: 0001499532

Date of rating: 21 May 2017

Star rating: 6.1

Additional information**Explanatory notes****About this report**

Residential energy ratings address the quality of the building fabric i.e. walls, windows, floors and roof/ceilings. Ratings do not cover the energy or water efficiency of appliances including heating and cooling, hot water, dishwashers, ovens, fridges, TVs etc. or solar panel or water tank requirements. The efficiency or specification of these items is generally covered by other regulations, standards or guidelines.

General Information

A House Energy Rating is a comprehensive, dynamic computer modelling evaluation of the floorplans, elevations and specifications to predict an energy load of a home. Not all of us use our homes in the same way, so ratings are generated using standard assumptions. This means homes can be compared across the country.

The actual energy consumption of your home may vary significantly from the predicted energy load figures in this report depending on issues such as the size of your household and your personal preferences, e.g. in terms of heating or cooling.

While the figures are an indicative guide to energy use, they are a reliable guide for comparative purposes between different house designs and for demonstrating that the design meets the required regulatory compliance.

Homes that are energy efficient use less energy, are warmer in winter, cooler in summer, and cost less to run. The higher the star rating the more energy efficient.

This House Energy Rating report was prepared using an underlying engine developed by the Australian Commonwealth Scientific and Industrial Research Organisation (CSIRO).

All information relating to energy loads presented in this report is based on a range of standard assumptions in order to allow for comparisons with reports prepared for other homes and to demonstrate minimum regulatory compliance. The standard assumptions include figures for occupancy, indoor air temperature and are based on a unique climate file for your region.

Raters/Assessors

Non-accredited assessors may not have completed a recognised software training course, do not undertake quality assurance processes, do not have any on-going training requirements and are not supported or recognised under the NatHERS scheme.

If you have any questions or concerns about this report, please direct them to your rater in the first instance.

If your rater is unable to address your questions or concerns, please contact your state or territory building code authority.

Disclaimer

The energy values quoted are for comparison purposes only; they are not a prediction of actual energy use. This rating only applies to the floor plan, construction details, orientation and climate as submitted and included in the attached drawing set that bears a stamp with the same number as this document. Changes to any of these details could affect the rating.

For more information on energy efficient design and insulation visit www.yourhome.gov.au

* This rating has been completed by a non-accredited rater. For more details see the Australian Government Nationwide House Energy Rating Scheme (NatHERS) website www.nathers.gov.au.

ACT Geotechnical Engineers Pty Ltd

ACN 063 673 530

5/9 Beaconsfield St, Fyshwick, ACT, 2600

PO Box 9225, Deakin, ACT, 2609

Ph: (02) 6285 1547

20 July 2017

Our ref: SH/C8799

MZ Design and Construction

2.2(a)(ii)

**PROPOSED RESIDENCE
BLOCK [REDACTED] SECTION [REDACTED] WESTON, ACT
SITE CLASSIFICATION REPORT**

1 Introduction

At the request of MZ Design and Construction, ACT Geotechnical Engineers Pty. Ltd. carried out a site classification to AS2870 - 2011 "Residential Slabs & Footings", of residential Block [REDACTED] Section [REDACTED] Weston, ACT.

The block is located at [REDACTED] in Weston. The block is currently unoccupied but will be the site for a new residence. The irregular-shaped block is 712m² in size.

To establish the subsurface conditions, a push tube drill was used to drill a single hole, designated 1A on the block on 19 July, 2017. Figure 1 is an aerial photograph that shows the location of the investigation auger hole. The subsurface profile was logged in terms of the Unified Soil Classification System (USCS) and the log is attached to this report.

2 Subsurface Conditions & Geology

The 1:100,000 Canberra & Environs Geology Map documents the area to be underlain by Silurian age Deakin Volcanics bedrock which includes, Rhyodacitic ignimbrite, minor volcanoclastic and argillaceous sediments.

Investigation auger hole 1A found a subsurface profile, comprising:

Geological Profile	Depth Interval	Description
RESIDUAL	0m to 0.1m	SANDY CLAY/CLAYEY SAND; fine to coarse sand, medium plasticity clay, red-brown, dry, dense, stiff.
WEATHERED BEDROCK	0.1m to 0.2m	DACITE; fine to coarse grained, red, brown, dry to moist, extremely weathered (EW), extremely weak rock.

Groundwater was not encountered and the soils were mostly dry to moist. However, temporary, perched seepages could be encountered following rainfall within the more pervious soils.

4 Site Classification

The upper (medium plasticity) soils at Block [REDACTED] Section [REDACTED] Weston are slightly reactive in terms of potential shrink-swell movements that may occur due to seasonal ground moisture changes. The characteristic ground surface movement " y_s ", as defined by AS2870 for the range of extreme dry to extreme wet ground moisture conditions is estimated to be below 20mm. The site is therefore a Class "S" (slightly reactive). If all slabs and footings are founded on cut, in-situ bedrock, a Class "A" (stable) site would apply.

5 House Footings & Slabs

AS2870 provides "deemed-to-comply" footing/slab designs, which for a Class "S" site includes stiffened rafts, stiffened footing slabs, waffle rafts, and strip and/or pad footings with above ground floors. Footings and slabs should be designed in accordance with the principles of AS2870.

Footings including thickened sections of slabs can be taken in the dense and stiff residual soil or into the extremely weathered bedrock. A footing depth of up to 0.1m depth below existing surface levels may be required.

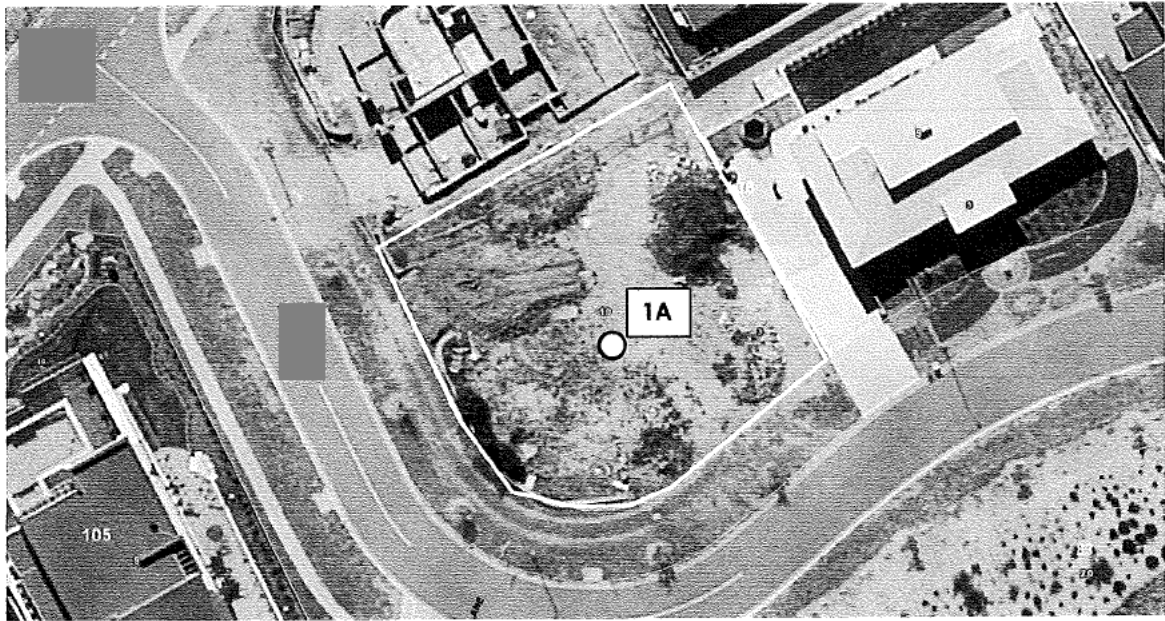
Should you require any further information regarding this report, please do not hesitate to contact our office.

Yours faithfully
ACT Geotechnical Engineers Pty Ltd

2.2(a)(ii)
[REDACTED]

Jeremy Murray
Director
Senior Geotechnical Engineer

Attachments: - Figure 1 & Log 1A



LEGEND

○ - Location of Auger Hole

**MZ DESIGN AND CONSTRUCTION
BLOCK [REDACTED] SECTION [REDACTED] WESTON
AERIAL PHOTOGRAPH OF SITE AND LOCATION OF AUGER HOLE**

ACT Geotechnical Engineers Pty Ltd

C8799

FIGURE 1



Borehole Log

Borehole No.	1A
Sheet	1 of 1
Job No.	C8799
Location :	SEE REPORT
Collar Level :	Not Known
Angle From Vertical :	0°
Bearing :	N.A.

CLIENT: MZ DESIGN AND CONSTRUCTION

PROJECT PROPOSED RESIDENCE
BLOCK [REDACTED] SECTION [REDACTED] WESTON

Equipment Type : PUSH TUBE DRILL
Hole Diameter : 50mm

Samples	Water	Casing	Depth Metres	Graphic Log	U.S.C.S.	Material Description, Structure <small>Soil Type: Plasticity or Particle Characteristics, Colour, Secondary and Minor Components, Moisture, Structure</small>	Consistency or Relative Density	Field Test Results	Geological Profile
			0.1		CL-CH	SANDY CLAY/CLAYEY SAND; fine to coarse sand, medium plasticity clay, red-brown, dry.	DENSE/STIFF		RESIDUAL
	None Encountered		0.2			EW DACITE; fine to coarse grained, red-brown, dry to moist.	EXTREMELY WEAK ROCK		WEATHERED BEDROCK
			0.4			BOREHOLE TERMINATED AT 0.2m REFUSAL ON HW BEDROCK			

Logged By : SH

Date : 19/7/17

Checked By :

Date :



Electricity Networks

STATEMENT OF

CONDITIONAL COMPLIANCE

Application No: 168183 **Suburb:** Weston

Block/Section [REDACTED]

Applcn Type: Single residential/New Construction Inclusions : Garage

Attached Plans

20180322091803249.pdf

[REDACTED] Weston POE and Meterbox location.pdf

This application is approved subject to compliance with the following conditions:

Conditions

A Minimum of 1.0M clearance is required within the block boundary for the proposed or existing Meter Box.

Installation of electrical conduits (on or off block) will be the responsibility of the proponent.

See attached site plan indicating mandatory service marking and meter box location.

The location of the proposed or existing Point of Entry/ Meter Box is to comply with ActewAGL's Service and Installation rules.

Please Note

- **WARNING** Evoenergy underground assets may be in or adjacent to this block. It is your responsibility to ascertain the location of such assets.
- Development and Building Applications will need to include any proposed Evoenergy works.
- If Evoenergy approval conditions are not met, a breach of the law may result.
- Separate applications are required for water & sewerage and communication network services.
- Construction of unapproved works may result in action being taken to require the property owner to remove non-compliant structures and/or the property owner to fund rectification works on Evoenergy's electricity network.
- Any attached reticulation or servicing plan is preliminary only. Contact Evoenergy for final plans prior to the commencement of any construction activity.
- A failure of this application to show accurately located electricity assets may result in damage and costs for which the proponent will be liable. Damage to network assets must be reported to Evoenergy.

Please refer to Info Sheets

Underground service conduit requirements 8912-02.pdf

Comments:

Signed Paul Maguire

Date 05 Apr 2018

For further information please phone Evoenergy Electricity Networks: 6293 5770

Application Number
158183

BLOCK AREA	7.2m ²
BASEMENT GARAGE	71.05m ²
GROUND FLOOR	214.17m ²
FIRST FLOOR	123.29m ²
TOTAL GFA	347.46m ²
ALFRESCO	23.00m ²
PORCH	13.36m ²
TOTAL BALCONY	75.30m ²
PLOT RATIO	48.80%

- CONCRETE:
TOTAL AREA OF CONCRETE AND PAVEMENT NOT EXCEED 50% OF TOTAL AREA OF POS.
- RETAINING WALL
- RESIDENCE GROUND FLOOR
- RESIDENCE FIRST FLOOR
- BASEMENT GARAGE:
- WATER TANK:
- CLOTHES LINE:

evoenergy

CONDITIONALLY COMPLIES

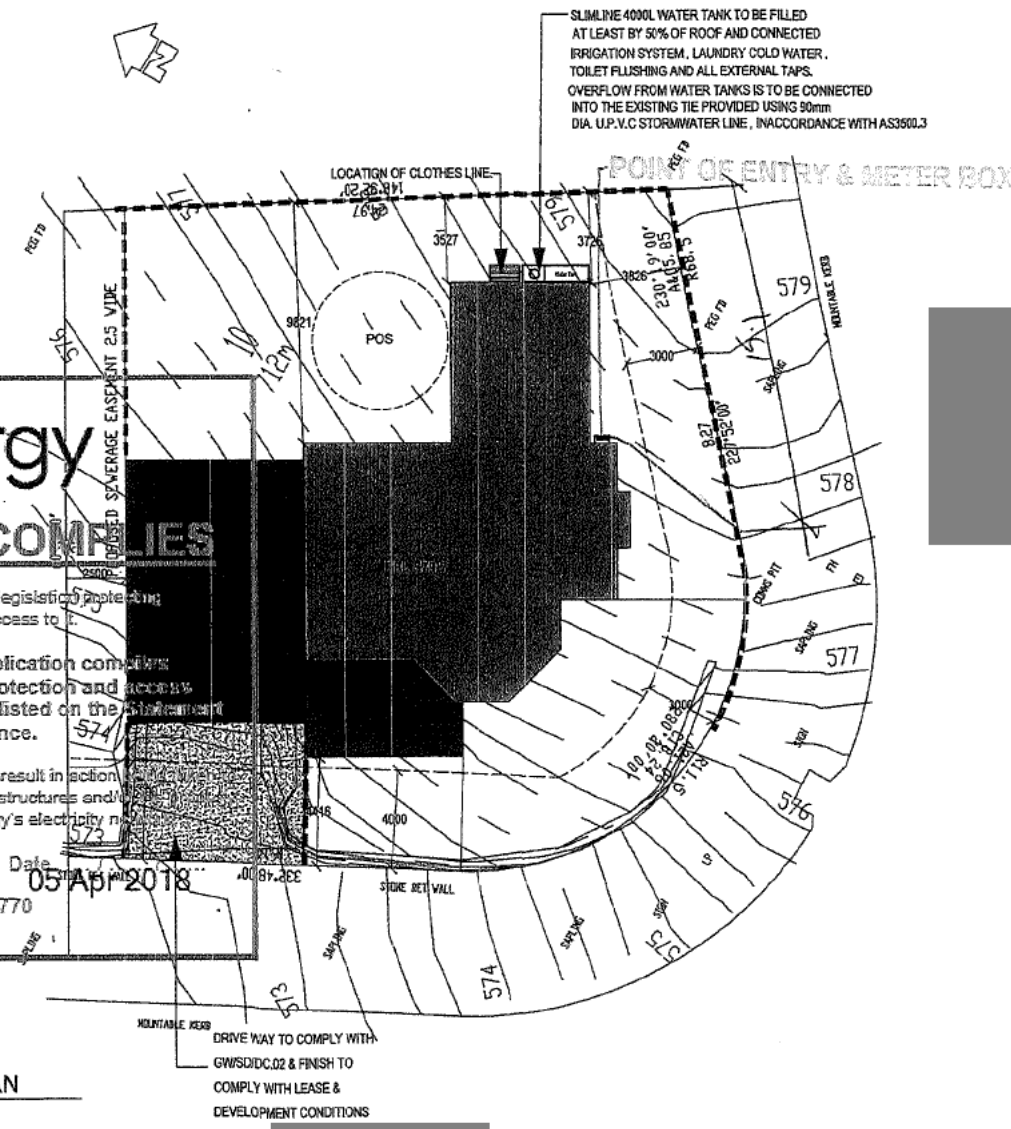
This document has been assessed against legislation relating to Evoenergy's infrastructure and access to it.

The information contained in this application complies with Evoenergy's electricity network protection and requirements subject to the conditions as listed on the of Conditional Compliance.

- DO NOT SCALE OF PLAN
- WRITTEN DIMENSIONS WILL TAKE PRECEDENCE
- ANY DISCREPANCIES MUST BE DISCUSSED WITH THE DRAFTSPERSON
- THE DRAFTSPERSON TAKES NO RESPONSIBILITY FOR MISINTERPRETED DRAWINGS OR CONSTRUCTION ERRORS.
- THE BUILDING TO BE SITED BY A SURVEYOR. ALL DIMENSIONS, LEVELS AND SETBACKS NOTED ON PLAN MUST BE CHECKED ON SITE BY SURVEYOR & BUILDER PRIOR TO ANY CONSTRUCTION

Signed: **Paul Maguire** Date: **05 Apr 2018**
 Contact phone: 6293 5770

SITE PLAN
Scale 1:200



SLIMLINE 4000L WATER TANK TO BE FILLED AT LEAST BY 50% OF ROOF AND CONNECTED IRRIGATION SYSTEM, LAUNDRY COLD WATER, TOILET FLUSHING AND ALL EXTERNAL TAPS. OVERFLOW FROM WATER TANKS IS TO BE CONNECTED INTO THE EXISTING TIE PROVIDED USING 90mm DIA. U.P.V.C STORMWATER LINE, IN ACCORDANCE WITH AS3500.3

Amendments		
No	Description	Date

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Consultants

Client

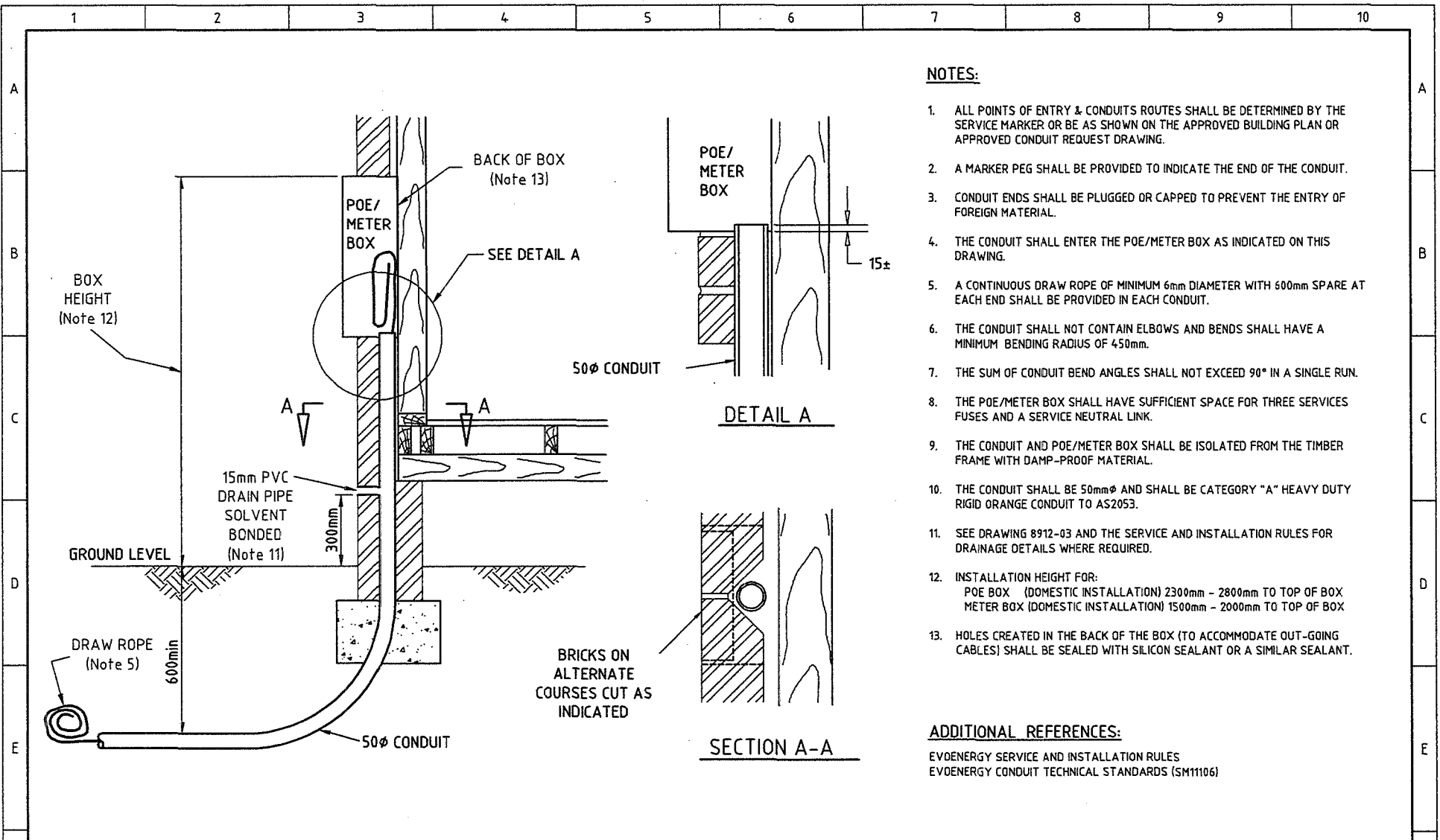
Project Name
PROPOSED NEW RESIDENCE
BLOCK SECTION
WESTON

Approved to be used in accordance with the conditions of the contract. Conditions must comply with the contract documents.

Designed by: az	Drawn by: az
Checked by: az	Authorised by:

Drawing Title:
Site Plan

Scale: 1:200 @ A2	Date: 16/4/2017
Project No: 1719	
Drawing No.: A-101	Revision: A



NOTES:

1. ALL POINTS OF ENTRY & CONDUITS ROUTES SHALL BE DETERMINED BY THE SERVICE MARKER OR BE AS SHOWN ON THE APPROVED BUILDING PLAN OR APPROVED CONDUIT REQUEST DRAWING.
2. A MARKER PEG SHALL BE PROVIDED TO INDICATE THE END OF THE CONDUIT.
3. CONDUIT ENDS SHALL BE PLUGGED OR CAPPED TO PREVENT THE ENTRY OF FOREIGN MATERIAL.
4. THE CONDUIT SHALL ENTER THE POE/METER BOX AS INDICATED ON THIS DRAWING.
5. A CONTINUOUS DRAW ROPE OF MINIMUM 6mm DIAMETER WITH 600mm SPARE AT EACH END SHALL BE PROVIDED IN EACH CONDUIT.
6. THE CONDUIT SHALL NOT CONTAIN ELBOWS AND BENDS SHALL HAVE A MINIMUM BENDING RADIUS OF 450mm.
7. THE SUM OF CONDUIT BEND ANGLES SHALL NOT EXCEED 90° IN A SINGLE RUN.
8. THE POE/METER BOX SHALL HAVE SUFFICIENT SPACE FOR THREE SERVICES FUSES AND A SERVICE NEUTRAL LINK.
9. THE CONDUIT AND POE/METER BOX SHALL BE ISOLATED FROM THE TIMBER FRAME WITH DAMP-PROOF MATERIAL.
10. THE CONDUIT SHALL BE 50mm ϕ AND SHALL BE CATEGORY "A" HEAVY DUTY RIGID ORANGE CONDUIT TO AS2053.
11. SEE DRAWING 8912-03 AND THE SERVICE AND INSTALLATION RULES FOR DRAINAGE DETAILS WHERE REQUIRED.
12. INSTALLATION HEIGHT FOR:
POE BOX (DOMESTIC INSTALLATION) 2300mm - 2800mm TO TOP OF BOX
METER BOX (DOMESTIC INSTALLATION) 1500mm - 2000mm TO TOP OF BOX
13. HOLES CREATED IN THE BACK OF THE BOX (TO ACCOMMODATE OUT-GOING CABLES) SHALL BE SEALED WITH SILICON SEALANT OR A SIMILAR SEALANT.

ADDITIONAL REFERENCES:

EVDENERGY SERVICE AND INSTALLATION RULES
EVDENERGY CONDUIT TECHNICAL STANDARDS (SM11106)

M	UPDATED FOR POWER OF CHOICE REFORMS	2/11/2017	C. Desai	W. Ibrahim	Drawn:	Designed: A-NNR	<p>UNDERGROUND SERVICE CONDUIT REQUIREMENTS</p>	Scale:	Date: 16/03/1999	Sheet No:
L	NOTE 13 ADDED	23/10/2013	RS	BS	Checked:			Work Pack No:	File:	
K	DRAIN PIPE DETAILS AMENDED	10/04/2013	EA	BS	Approved: A-NNR			Status:	Current	
N	LOGO AND REFERENCES UPDATED TO EVOENERGY	8/01/2018	C. Desai	W. Ibrahim	Project No:			A3	8912-02	Rev N
No	Revision	Date	Checked	Approved	ACT Cadestral Information supplied by the ACT Environment & Sustainable Development Directorate. © ACT Gov. 2017.					



Gas Networks

STATEMENT OF

CONDITIONAL COMPLIANCE

For Residential except High Rise

Application No: 168183

Drawings in set: 4

Block: [REDACTED]

Section: [REDACTED]

Suburb: Weston

This application has been assessed against legislation protecting Evoenergy's gas infrastructure and access to it.

This application is approved subject to compliance with the following conditions:

- The location and area allocated for gas regulating and metering equipment is to comply with Evoenergy Gas Service and Installation Rules.
- Development is to comply with minimum separation requirements to underground assets
 - 300mm minimum clearance from major plastic and steel gas mains and steel gas services
 - 150mm minimum clearance from other plastic gas mains and services
- A metering equipment upgrade may be required. A licensed gas fitter should verify loads and metering equipment capacities.
- If a meter relocation or service pipe relocation is required in order to comply with Evoenergy standards, please contact your gas retailer and book a meter relocation. Only people accredited by Evoenergy can carry out this work.

Other:

Please note:

- WARNING:** Evoenergy underground gas pipes may be in or adjacent to this block. Evoenergy Asset Location Advice may be required. Call 1100.
- Development and Building Applications will need to include any proposed Evoenergy works
- If Evoenergy approval conditions are not met, a breach of the law may result. Separate applications are required for water & sewerage, electricity and communication network services.
- Construction of unapproved works may result in action being taken to require the property owner to remove non-compliant structures and/or the property owner to fund rectification works on Evoenergy's gas network
- Any attached reticulation or servicing plan is preliminary only. Contact Evoenergy for final plans prior to the commencement of any construction activity

For further information please phone 2.2(a)(ii) [REDACTED]

Application Number
15885

Area	Area (m ²)
BLOCK AREA	71.2m ²
BASEMENT GARAGE	79.05m ²
GROUND FLOOR	214.17m ²
FIRST FLOOR	123.29m ²
TOTAL GFA	347.46m ²
ALFRESCO	23.00m ²
PORCH	13.36m ²
TOTAL BALCONY	75.30m ²
PLOT RATIO	48.80%

CONCRETE:

TOTAL AREA OF CONCRETE AND PAVEMENT NOT EXCEED 50% OF TOTAL AREA OF POS.

RETAINING WALL

RESIDENCE GROUND FLOOR:

RESIDENCE FIRST FLOOR:

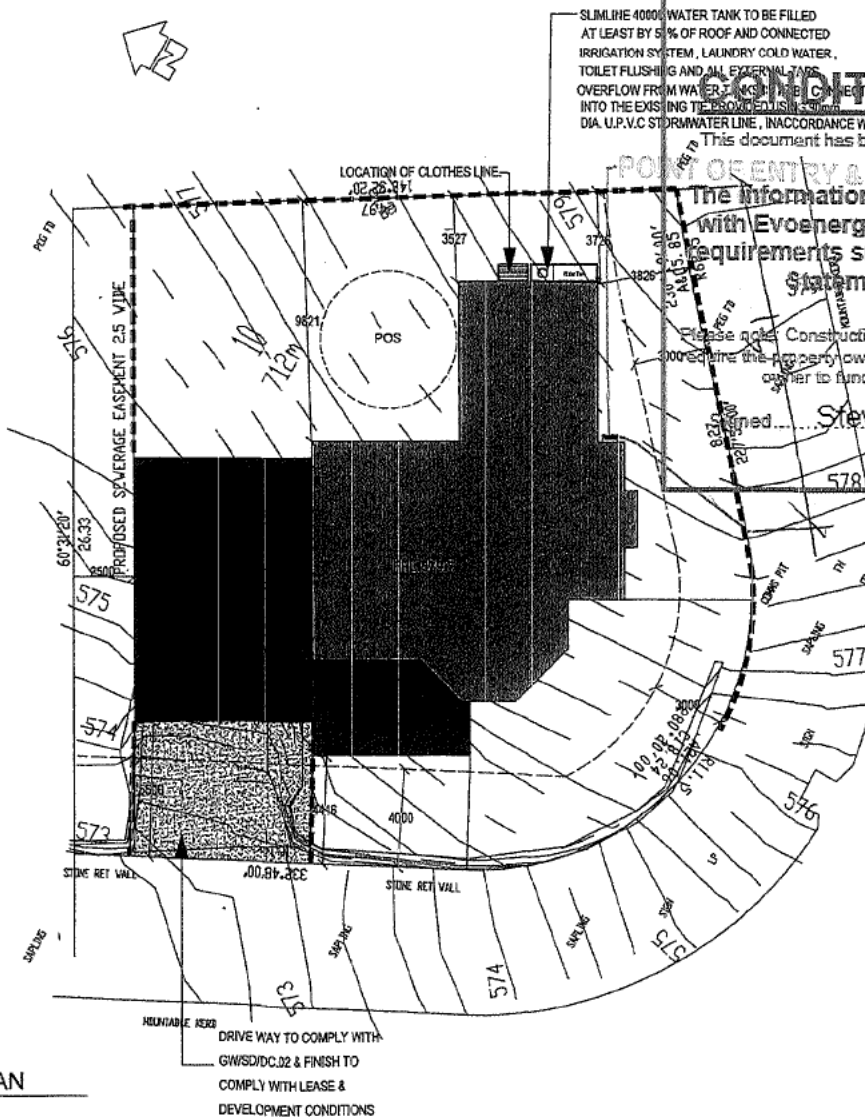
BASEMENT GARAGE:

WATER TANK:

CLOTHES LINE:

- DO NOT SCALE OF PLAN
- WRITTEN DIMENSIONS WILL TAKE PRECEDENCE
- ANY DISCREPANCIES MUST BE DISCUSSED WITH THE DRAFTSPERSON
- THE DRAFTSPERSON TAKES NO RESPONSIBILITY FOR MISINTERPRETED DRAWINGS OR CONSTRUCTION ERRORS.
- THE BUILDING TO BE SITED BY A SURVEYOR. ALL DIMENSIONS, LEVELS AND SETBACKS NOTED ON PLAN MUST BE CHECKED ON SITE BY SURVEYOR & BUILDER PRIOR TO ANY CONSTRUCTION

SITE PLAN
Scale 1:200



SLIMLINE 4000L WATER TANK TO BE FILLED AT LEAST BY 5% OF ROOF AND CONNECTED IRRIGATION SYSTEM, LAUNDRY COLD WATER, TOILET FLUSHING AND ALL EXTERNAL TANKS OVERFLOW FROM WATER TANKS TO BE CONNECTED INTO THE EXISTING TYPICAL DRAINAGE SYSTEM VIA U.P.V.C. STORMWATER LINE, IN ACCORDANCE WITH AS3500.3

Gas Networks

CONDITIONALLY COMPLIES

This document has been assessed against legislation protecting Evoenergy's infrastructure and access to it. The information contained in this application complies with Evoenergy's gas network protection and access requirements subject to the conditions as listed on the Statement of Conditional Compliance.

Please note: Construction of unaudited works on the property of the applicant requires the approval of the relevant authority. The applicant is responsible for ensuring that the works are carried out in accordance with the relevant legislation and/or the property owner to fund rectification of any damage to the gas network.

Steve Doran

05 Apr 2018

90 6270 - ANSERRA

35 CORNELIUS ST, SYDNEY NSW 1587

Pub 0450 299215

Email: info@anserra.com.au

Consultants

Client
2.2(a)(ii)

Project Name
PROPOSED NEW RESIDENCE
BLOCK 1, SECTION 1
WESTON



Plotted dimensions to be used in preference to written dimensions. Contractor must verify all dimensions on site.

Designed by: zz Drawn by: az

Checked by: ae Authenticated by:

Drawing Title:
Site Plan

Scale: 1:200 @ A3 Date: 11.12.17

Project No: 1719

Drawing No.: A-101 Revision: A

File No: 1502817



STATEMENT OF CONDITIONAL ACCEPTANCE

Application No: 168411 Suburb: Weston

Block/Section [REDACTED]

Appcn Type: Single residential/New Construction Inclusions : Garage, Retaining walls/fencing, Water Tank

Attached Plans

20180329111124920.pdf

Email 29-03-18.pdf

Conditions of Acceptance

As per Criterion 1 - Easement and other access Clearances of the Planning and Development Regulation 2008. No structures are to be built over Icon Water easements, pipe protection envelopes or access passages without Icon's written approval. In accordance with this provision, access is to be maintained across land in these areas

Icon Water assets shall be protected for the duration of the construction works from short term load shedding from construction machinery or vibration and groundwater ingress or infiltration. Any damage to Icon assets resulting from the construction works shall be repaired by Icon Water at the contractors expense. Access to Icon's assets including sewer structures, manholes, hydrants and valves is to be maintained for the duration of the construction works.

Location of the water meter is to be clear of driveways and footpaths with a 1m radius unhindered access maintained. If required, relocation of the water service is to be undertaken by Icon Water at the lessee's cost. Relocations further than 1.5m laterally require a Hydraulic plan to be approved by Icon prior to applying for the relocation. Evidence of this being performed and constructed is to be forwarded to Icon Water before the certificate of occupation is issued.

Note: No cuts/fill, retaining walls or permanent structures to impede minimum 2200mm wide x 2800mm high Icon Water access route from the street to easement and sewer tie location.
access, minimum 2.2m Wide x 2.8m High, to be maintained from road, through to the easement.

Please Note:

- ❖ Separate applications are required for ActewAGL electricity and gas networks.
- ❖ Any failure to accurately show existing or proposed structures may result in damage and costs for which the property owner will be liable. Damage to network assets must be reported to Icon Water.
- ❖ Utility conditions may also apply to minor structures and landscaping works that may not have been depicted in this document. Consultation with Icon Water is advised if such structures and landscaping are planned.
- ❖ Icon Water recommends setbacks provided for equipment access to water or sewerage network assets are kept free of obstruction by the property owner.
- ❖ Construction of works without the approval of Icon Water may result in connection to Icon Water's water and sewerage networks being denied and /or action being taken to require the property owner to remove non-compliant services (e.g. sanitary drains) or structures.

WARNING

Failure to comply with these conditions is likely to result in interference with an Icon Water sewer or water asset. Part 5 of the Utilities (Technical Regulation) Act 2014 applies, which indicates a person who interferes with a utility asset may be subject to prosecution. The current maximum penalty is 200 penalty units, imprisonment for two years, or both. In addition the land-holder can be ordered at their expense to stop the interference, which may involve removal of the building work or that part of the building work that is causing, or is likely to cause interference.

Comments:**Signed**

2.2(a)(ii)

Date

05 Apr 2018

For further information please phone Icon Water 6248 3111.


Application Number

158411


Sheet


1 of 7


AREA SCHEDULE	
BLOCK AREA	712m ²
BASEMENT GARAGE	79.05m ²
GROUND FLOOR	224.17m ²
FIRST FLOOR	123.29m ²
TOTAL GFA	347.46m ²
ALFRESCO	23.00m ²
PORCH	13.36m ²
TOTAL BALCONY	75.30m ²
PLOT RATIO	48.80%


CONCRETE: 


TOTAL AREA OF CONCRETE AND PAVEMENT NOT EXCEED 50% OF TOTAL AREA OF POS.


RETAINING WALL: 

RESIDENCE GROUND FLOOR: 

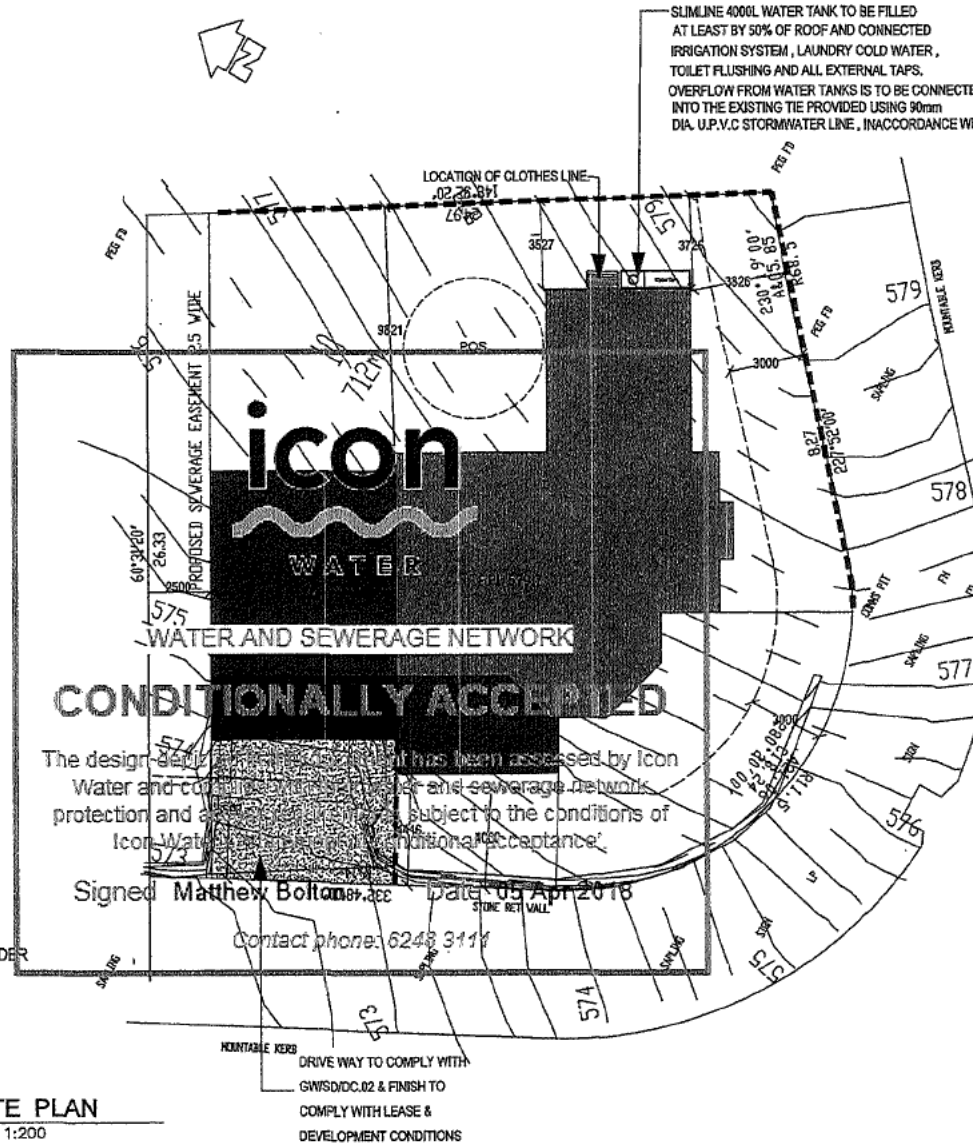
RESIDENCE FIRST FLOOR: 

BASEMENT GARAGE: 

WATER TANK: 

CLOTHES LINE: 

- DO NOT SCALE OF PLAN
- WRITTEN DIMENSIONS WILL TAKE PRECEDENCE
- ANY DISCREPANCIES MUST BE DISCUSSED WITH THE DRAFTSPERSON
- THE DRAFTSPERSON TAKES NO RESPONSIBILITY FOR MISINTERPRETED DRAWINGS OR CONSTRUCTION ERRORS.
- THE BUILDING TO BE SITED BY A SURVEYOR. ALL DIMENSIONS, LEVELS AND SETBACKS NOTED ON PLAN MUST BE CHECKED ON SITE BY SURVEYOR & BUILDER PRIOR TO ANY CONSTRUCTION



SITE PLAN
Scale 1:200

Amendments		
No	Description	Date

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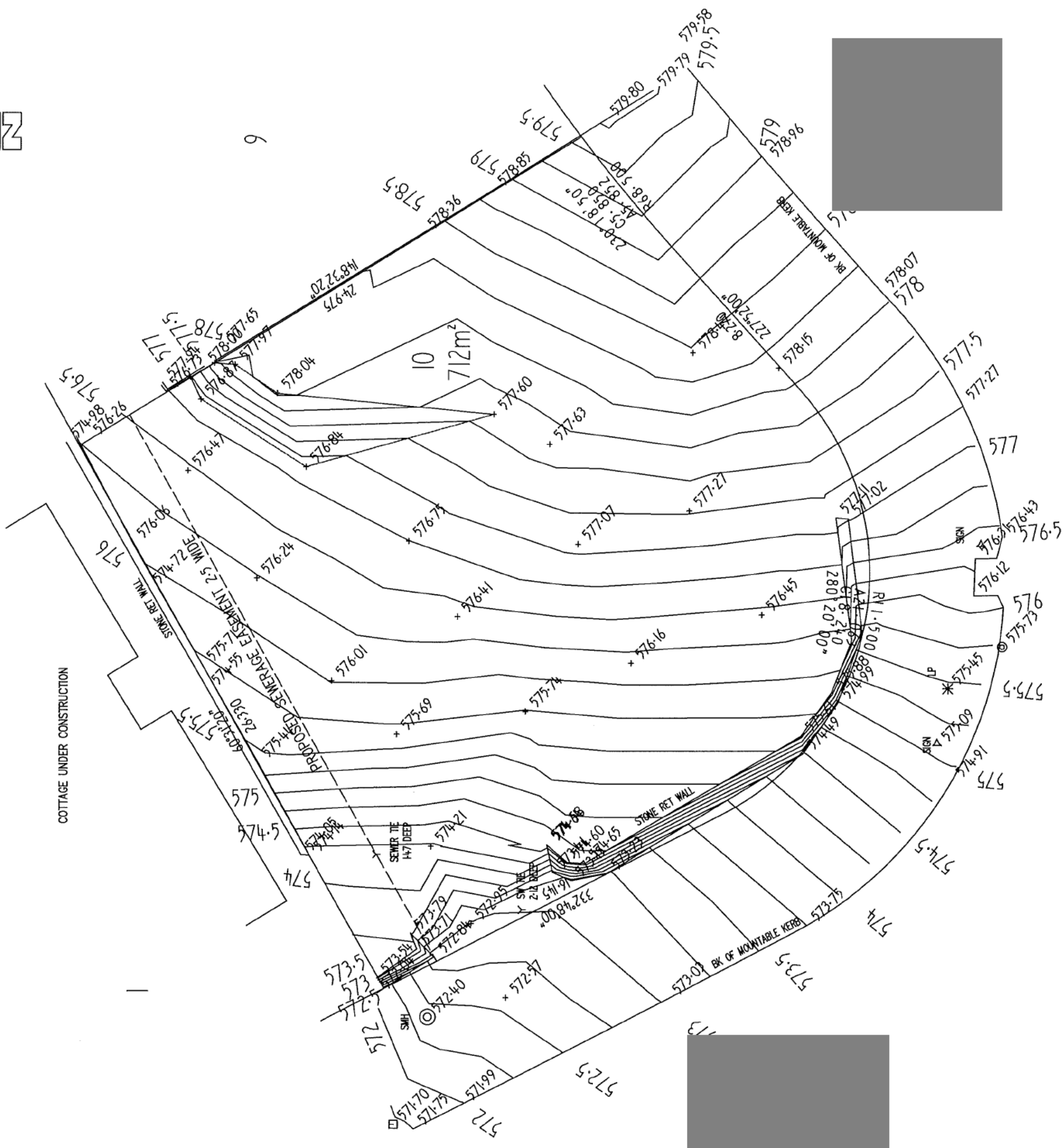
M2 Design & Construction Pty Ltd
CANBERRA
35 CONNELLUS ST,
COOMBS, 2611
Mob 0450 299215
Email: info@m2construction.com.au

Consultants

Client
2.2(a)(ii)

Project Name
PROPOSED NEW RESIDENCE
BLOCK SECTION
WESTON

Designed by: **MB** Drawn by: **MB**
Checked by: **MB** Authorised by:
Drawing Title:
Site Plan
Scale: 1:200 (A1) Date: 10.4.2017
Project No: 1719
Drawing No.: A-101 Revision: A
P13/01/15



NOTE: SEWER & SW TIE INFORMATION WAS NOT SURVEYED
 INFORMATION OBTAINED FROM ACTPLA

M & M SURVEYS
 UNIT 1/ 68 DACRE STREET
 MITCHELL ACT 2911
 PO Box 851
 Ph 62410012 Fax 62410013
 admin@mmsurveys.com.au

DETAIL & CONTOUR SURVEY
BLOCK SECTION WESTON

SURVEYOR	CONTOUR INTERVAL
JN	0.25m
DRAWN BY	LEVEL DATUM
MM	AHD
REGISTERED SURVEYOR	

8-2-2018

**BUILDING APPROVAL COMPLETENESS CHECKLIST
RESIDENTIAL BCA CLASS 1 and 10**

080

Block: [REDACTED] **Section:** [REDACTED] **Suburb:** Weston **Unit No:** [REDACTED]
Project Number: B20181262 **Building Certifier:** Canberra Region Certifiers
Customer Services Officer Name: Dobb K **Date of completeness check:** 17/04/2018

Part 1 Administrative Check				
Requirements	Pass	Fail	N/A	Comments
* Has the Building Approval been submitted within 7 days from the date of approval?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
* Have all relevant plans been stamped and dated by the building certifier?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Does the date stamp on the plans match the approval date on eDevelopment?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
* Building approval stamp and application form text legible?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
* If the Building Approval has a Development Approval is the Development Approval still valid?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
* Have all lessee's signed the relevant forms?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
* Are all relevant documents uploaded & named correctly?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has an insurance certificate been provided if the cost of building work exceeds \$12,000?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Correct cost of building work provided in E-Development – Refer to Government Cost Guide (Class 1-10).	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Have statements of compliance from each relevant utility been provided where relevant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/> GAS <input checked="" type="checkbox"/> WATER <input checked="" type="checkbox"/> ELECTRICITY
If the BA is for existing work, has the invoice been amended to include the relevant existing work fee?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
If BCN has been issued, is the licensee authorised to undertake the work as described? ie: Swimming Pool or Demolition endorsement on licence.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has the lessee's email address been provided? If yes, please email BA notice to lessee.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Requirements for DA Exempt Works	Pass	Fail	N/A	Comments
Have forms 7A and 7B been provided for building or alterations or full or part demolition of a single dwelling?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
If there is no exemption D notice or exemption declaration has a site work notice been provided?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
COMPLETENESS CHECK FAILURE – from 1/9/13 * - Failure incurs a fee. – See page 15 of fees & charges	COMPLETENESS CHECK FAILURE NOTICE SENT: Click here to enter a date. COMPLETENESS CHECK FAILURE FEES PAID: Click here to enter a date.			
Part 2 Completeness Check Failure Reasons				
After completing parts 1 & 3 of this checklist list the failure reasons below. For example: Failed to supply Elevation Plan or Incorrect lessee details and on resubmission select whether it has been supplied or not.				
	Select One		Select One	Select One

Checklist review date 08/09/2016

**BUILDING APPROVAL COMPLETENESS CHECKLIST
RESIDENTIAL BCA CLASS 1 and 10**

081

	Select One		Select One		Select One
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Part 3 Documentation Check				
Document	Document Name	Pass	Fail	N/A
Form – Minimum Documentation Requirements for Building Approval Lodgment Checklist	Details – Minimum Documents Checklist	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Asbestos Removal Control Plan	Asbestos Removal Control Plan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Development Approval (including amendments)	Approved Plans – Development Approval	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Site Plan	Approved Plans – Site	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Floor Plan	Approved Plans – Floor	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Elevation Plan	Approved Plans – Elevation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Section Details – Wall, Floor Ceiling & Roof	Approved Plans – Sections Wall Approved Plans – Sections Floor Approved Plans – Sections Ceiling Approved Plans – Sections Roof	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Demolition Plan	Approved Plans – Demolition	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Swimming Pools and Spas Details (including fencing/barriers)	Details – Pools Spas	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Energy Efficiency Details	Details – Energy Efficiency	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Creating Building Files	
Only complete this section if for a new block where a building file does not exist. Select Y (yes) or N (no) below.	
Is this a new residence on a new block?	<input type="checkbox"/>
Has a new building approval been created in Objective and I Drive?	<input type="checkbox"/>

Part 4 Audit Team Checklist				
Document	Document Name	Pass	Fail	N/A
Footings and Concrete Slab Details	Details – Footings Concrete Slab	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Retaining Wall Details	Details – Retaining Walls	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Masonry Construction Details	Details – Masonry Construction	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Framing (including trusses) and Construction Details	Details – Framing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Roof Cladding Details	Details – Roof Cladding	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Exterior Cladding & Material Details	Details – Exterior Cladding & Materials	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Wet area details	Details – Wet Area	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Windows and Glazing Details	Details – Windows Glazing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Estimate of the Cost of the Building Work	Details – Cost of Building Work	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Alternative Solutions	Details – Alternative Solutions	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Checklist review date 08/09/2016

Hydraulic Start of Work Notice - Submission confirmation

Your submission has been successful. Please keep a copy of this receipt for your records.

Date and time

30 Apr 2018 8:49:27 AM

Reference code

6Y7FL4

Access Canberra
ABN 16 479 763 216

GPO Box 158
Canberra ACT 2601

Phone: 13 22 81



Licensee's Certificate of Compliance

Block	Section	Suburb	Building project number	Permit number
		WESTON	B20181262	9509452

Street address

Owner details

Full name/organisation	Phone number
<input type="text"/>	<input type="text"/>

Builder details

Full name	Phone number
<input type="text"/>	<input type="text"/>

Organisation

Licensee details

Full name/organisation	Phone number	Email
Steven rattenbury	2.2(a)(ii)	@gmail.com
Licence number	Expiry date	
2015879	28-11-2018	

Work of sanitary plumbing/drainage/irrigation/water

Description of work

Plumbing/water/drainage inspection fee

Plumbing	Drainage	Irrigation	Extra fixtures	Total fixtures	Total amount	Date	Authorising officer
<input type="text"/>	<input type="text"/>	<input type="text"/>	0	<input type="text"/>	<input type="text"/>	30 Apr 2018	<input type="text"/>

OFFICE USE ONLY – Inspection Details

Name of Plan Certifier	Plan certified
<input type="text"/>	<input type="text"/>

The work shown on 'drainage plan' No..... inspected on/....../..... has been installed and complies with the ACT Water and Sewerage Act 2000 and Water and Sewerage Regulation 2001

Drainage plan received
 Plumbing Certification received
 Drainage Certification received
 Other Certification

I certify that all required Plumbing and Drainage Certification has been received and completed.

Signed	Date
<input type="text"/>	<input type="text"/>



Licensee's Certificate of Compliance

Block	Section	Suburb	Building project number	Permit number
<input type="text"/>	<input type="text"/>	<input type="text" value="WESTON"/>	<input type="text" value="B20181262"/>	<input type="text" value="9509452"/>

Street address

Owner details

Full name/organisation	Phone number
<input type="text"/>	<input type="text"/>

Builder details

Full name	Phone number
<input type="text"/>	<input type="text"/>
Organisation	
<input type="text" value="Mz constructions"/>	

Licensee details

Full name/organisation	Phone number
<input type="text" value="Steven rattenbury"/>	<input type="text" value="Sch 2.2(a)(ii)"/>
Email	
<input type="text"/>	
Licence number	Expiry date
<input type="text" value="2015879"/>	<input type="text" value="28-11-2018"/>

Work of sanitary plumbing/drainage/irrigation/water

Description of work

Plumbing/water/drainage inspection fee

Plumbing	Drainage	Irrigation	Extra fixtures	Total fixtures	Total amount
<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>
Meter size	Meter number	Date of plan recorded	Name of the authorising		
<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>		

1. In respect of authorised work carried out by me at the above mentioned property, I certify that:

- (a) The work has been completed in accordance with the permit issued by Access Canberra;
- (b) The completed work has been tested as required by Access Canberra;
- (c) The work complies with the relevant codes, standards and regulations under the ACT Water and Sewerage Act 2000 as determined by Access Canberra.

2. If any defect is found in the work carried out by me within the period of twelve (12) months from the date of completion, and the inspector for plumbing and drainage certifies that the defect is due to non-compliance with the codes and standards as determined by Access Canberra then I undertake to rectify such work at my sole expense if so directed by Access Canberra.

Signature of licensee	<input type="text"/>	Date	<input type="text"/>
-----------------------	----------------------	------	----------------------