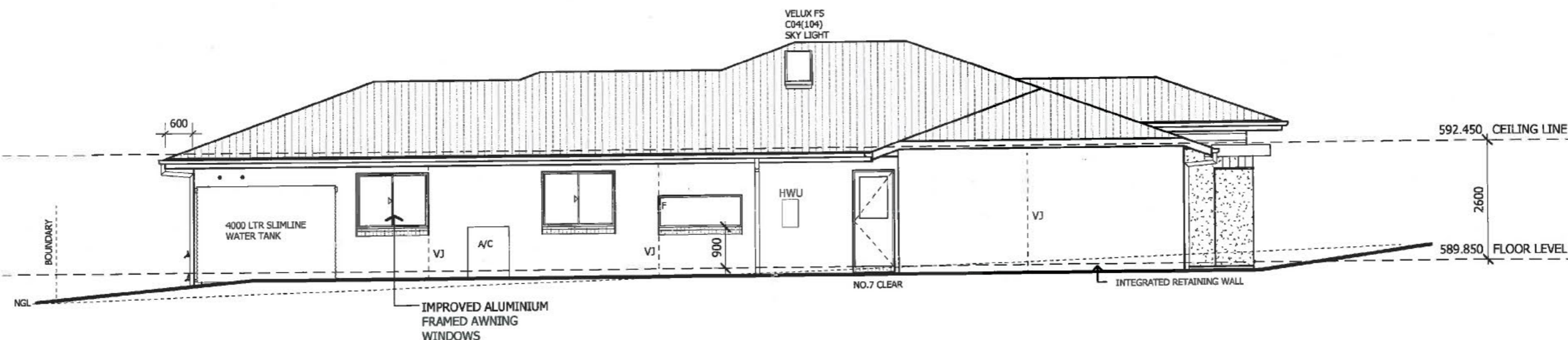


**ELEVATION 3**

**BUILDING APPROVAL**  
Issued under section 28 of the Building Act 2004  
Certified Building Solutions Pty Ltd  
**18 AUG 2014**  
*[Signature]*  
Licence No:  
200426203



**ELEVATION 4**

**NOTES:**

PLEASE NOTE: DETAILS SHOWN ON THESE PLANS ARE INTENDED TO BE ACCURATE - HOWEVER INFORMATION WRITTEN INTO PLANS INDIVIDUAL CONTRACTS WILL TAKE PRECEDENCE OVER PLANS

- \* ALL DIMENSIONS ARE IN MILLIMETRES
- \* DO NOT SCALE - USE WRITTEN DIMENSIONS

**RAWSON HOMES**

6A, LVL 1, 2 BRINDABELLA PARK Cct  
BRINDABELLA PARK, ACT 2609  
TELEPHONE 02 6225 8400  
FAX 02 6257 1982  
Builder's licence No. 33493C

CLIENT:  
Sch 2 2.2(a)(ii)

SITE ADDRESS:  
BLOCK 12, SECTION 80  
18 DIGBY CIRCUIT  
CRACE A.C.T.

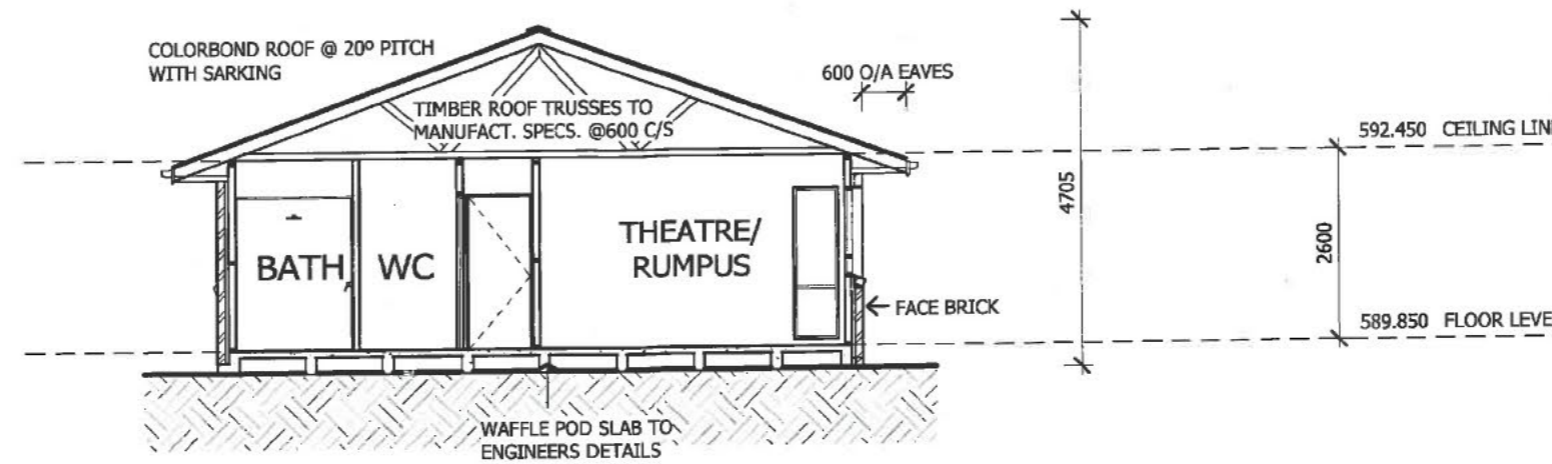
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MODEL: EDEN 27  
FACADE: MAJESTIC  
TYPE:  
SPECIFICATION: LUX

DRAWING TITLE:  
ELEVATIONS 3-4

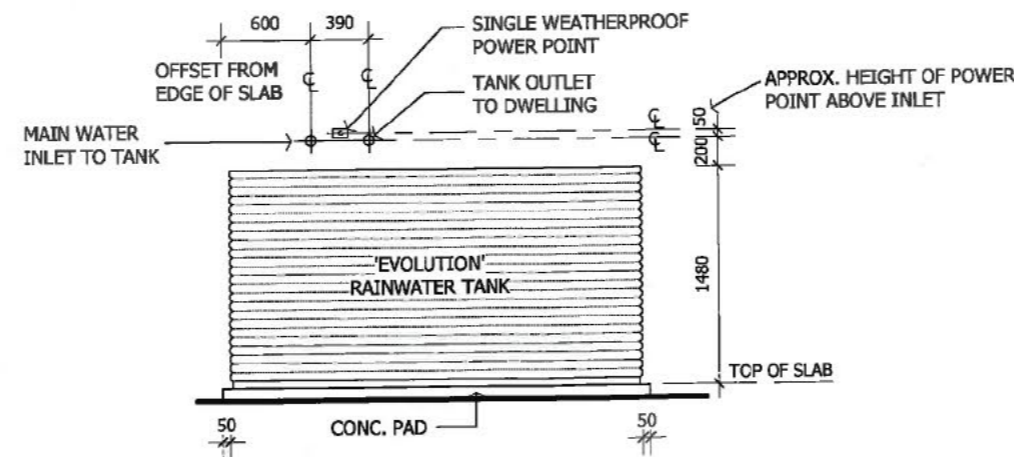
DRAWN BY: TLE	DATE DRAWN: 16.07.14	CHECKED BY: EK	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: ESDD		SCALE: 1 : 100	
JOB No: J003821	DRWG No: 5	ISSUE: C	

**INSULATION:**

- R5.0 TO CEILINGS (EXCLUDING CEILING OVER PORCH)
- R2.0 TO EXTERNAL & INTERNAL WALLS
- PROVIDE DAMPER SEALS TO ALL EXHAUST FANS
- REFLECTIVE FOIL SARKING UNDER ROOF & TO EXTERNAL WALLS



**SECTION A-A**  
1 : 100



**WATER TANK**  
1 : 50

NOTES:

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- \* DO NOT SCALE - USE WRITTEN DIMENSIONS

**RAWSON HOMES**

6A, LVL 1, 2 BRINDABELLA PARK Cct  
BRINDABELLA PARK, ACT 2609  
TELEPHONE 02 6225 8400  
FAX 02 6257 1982  
Builder's licence No. 33493C



CLIENT:  
Sch 2 2.2(a)(ii)

SITE ADDRESS:  
BLOCK 12, SECTION 80  
18 DIGBY CIRCUIT  
CRACE A.C.T.

HOUSE TYPE  
MODEL: EDEN 27  
FACADE: MAJESTIC  
TYPE:  
SPECIFICATION: LUX

DRAWING TITLE:  
**SECTIONS**

DRAWN BY: TLE	DATE DRAWN: 16.07.14	CHECKED BY: EK	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: ESDD		SCALE: As indicated	
JOB No: J003821	DRWG No: 6	ISSUE: C	

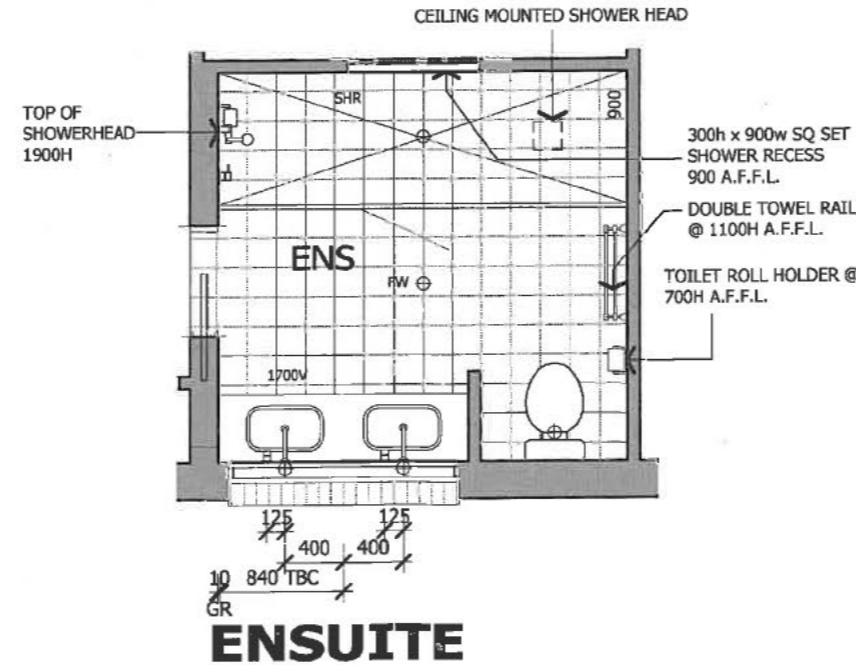
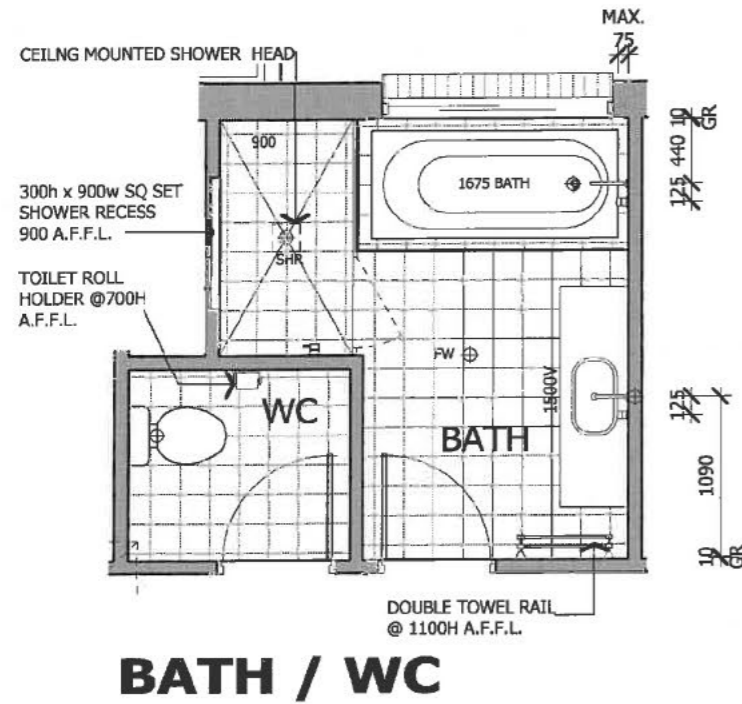
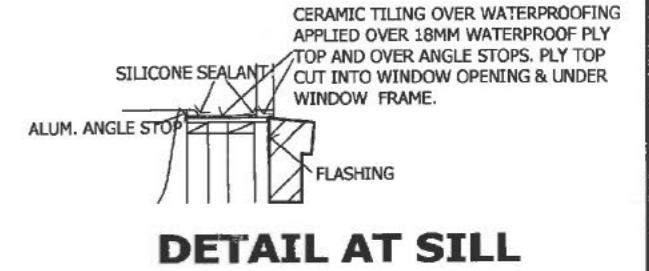
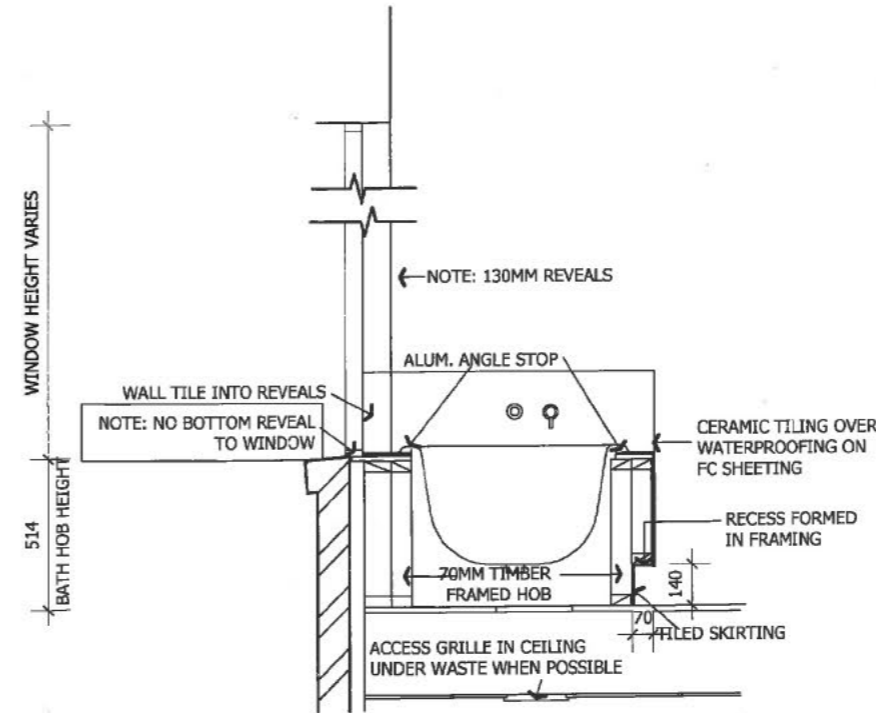
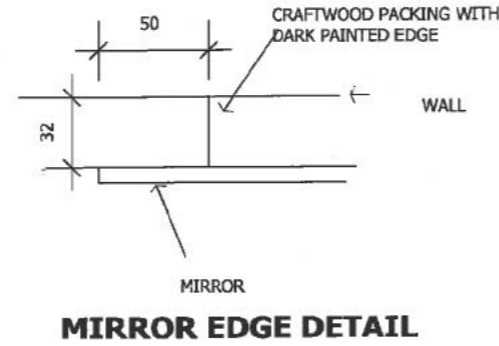


**LAUNDRY / WC**

- \* PROVIDE SKIRTING TILE TO PERIMETER WALLS OF LAUNDRY
- \* TILED SPLASHBACK OVER LAUNDRY TUB & BENCH @ 300MM HIGH

**BATHROOM / ENSUITE**

- \* PROVIDE FLOOR TO CORNICE TILING TO ENSUITE & BATHROOM WITH SKIRTING TILE TO PERIMETER WALL OF WC
- \* GRANGE SEMI FRAMELESS SHOWER SCREEN WITH PIVOT DOOR @ 2100 HIGH.
- \* PROVIDE KICKER TO BATH HOB 140H X 70W
- \* FLOATING VANITIES.
- \* WALL MOUNTED TAPS & SPOUT TO VANITIES & BATH



**NOTES:**  
PLEASE NOTE: DETAILS SHOWN ON THESE PLANS ARE INTENDED TO BE ACCURATE - HOWEVER INFORMATION WRITTEN INTO PLANS INDIVIDUAL CONTRACTS WILL TAKE PRECEDENCE OVER PLANS  
\* ALL DIMENSIONS ARE IN MILLIMETRES  
\* DO NOT SCALE - USE WRITTEN DIMENSIONS

**RAWSON HOMES**  
6A, LVL 1, 2 BRINDABELLA PARK Cct  
BRINDABELLA PARK, ACT 2609  
TELEPHONE 02 6225 8400  
FAX 02 6257 1982  
Builder's licence No. 33493C

CLIENT: Sch 2 2.2(a)(ii)  
SITE ADDRESS: BLOCK 12, SECTION 80  
18 DIGBY CIRCUIT  
CRACE A.C.T.

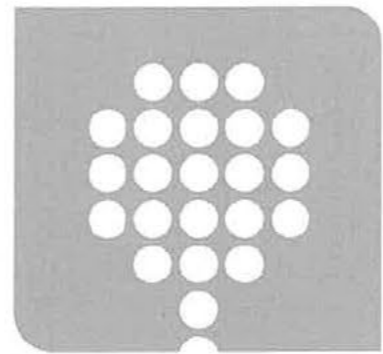
HOUSE TYPE: EDEN 27 MAJESTIC  
MODEL: EDEN 27 MAJESTIC  
FACADE: EDEN 27 MAJESTIC  
TYPE: LUX  
SPECIFICATION: LUX  
DRAWING TITLE: WET AREA DETAILS

DRAWN BY: TLE	DATE DRAWN: 16.07.14	CHECKED BY: EK	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: ESDD		SCALE: As indicated	
JOB No: J003821	DRWG No: 7	ISSUE: C	

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**NOTES:**

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- \* RAWSON HOMES PTY. LIMITED WILL TAKE NO RESPONSIBILITY FOR ANY VERBAL DISCUSSIONS OR INSTRUCTIONS. ALL CHANGES AND SPECIAL INCLUSIONS MUST BE DOCUMENTED IN WRITING.
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**RAWSON  
HOMES**  
- EST 1978 -

**SCHEDULE OF DRAWINGS:**

SHEET	CONTENTS
1	COVER SHEET
2	SITE PLAN
3	FLOOR PLAN
4	ELEVATIONS 1-2
5	ELEVATIONS 3-4
6	SECTIONS
7	WET AREA DETAILS

pre **AMENDMENTS**

ISS	DESCRIPTION	BY	DATE
A	APPLICATION PLAN VARI - 30	TLE	08.05.14
B	SUBMISSION PLAN VARI - 56	TLE	12.06.14
C	REVISED SUBMISSION PLANS. VARI-64	TLE	16.07.14

**SUBMISSION PLAN**

SIGNATURE:			
DRAWN BY: TLE	DATE DRAWN: 16.07.14	CHECKED BY: EK	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: ESDD		SCALE:	
JOB No: J003821	DRWG No: 1	ISSUE: C	

**NOTES:**  
PLEASE NOTE: DETAILS SHOWN ON THESE PLANS ARE INTENDED TO BE ACCURATE - HOWEVER INFORMATION WRITTEN INTO INDIVIDUAL CONTRACTS WILL TAKE PRECEDENCE OVER PLANS  
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\* DO NOT SCALE - USE WRITTEN DIMENSIONS  
\* ALL DIMENSIONS ARE TO STRUCTURAL FRAMES ONLY EXCLUDING FINISHED SURFACES

**RAWSON HOMES**  
6A, LVL 1, 2 BRINDABELLA PARK Cct  
BRINDABELLA PARK, ACT 2609  
TELEPHONE 02 6225 8400  
FAX 02 6257 1982  
ACT B/L #. 19936252 & NSW B/L #. 33493C

CLIENT:  
**Sch 2 2.2(a)(ii)**  
SITE ADDRESS:  
**BLOCK 12, SECTION 80  
18 DIGBY CIRCUIT  
CRACE A.C.T.**

HOUSE TYPE  
MODEL: **EDEN 27 MAJESTIC**  
FACADE:  
TYPE:  
SPECIFICATION: LUX  
DRAWING TITLE:  
**COVER SHEET**

S:\17\_DRAFTING\ACT\J003821 - Johnston\J003821 - Johnston - SP.rvt



**SITE NOTES:**

dp<sub>o</sub> INDICATES DOWNPIPE LOCATION

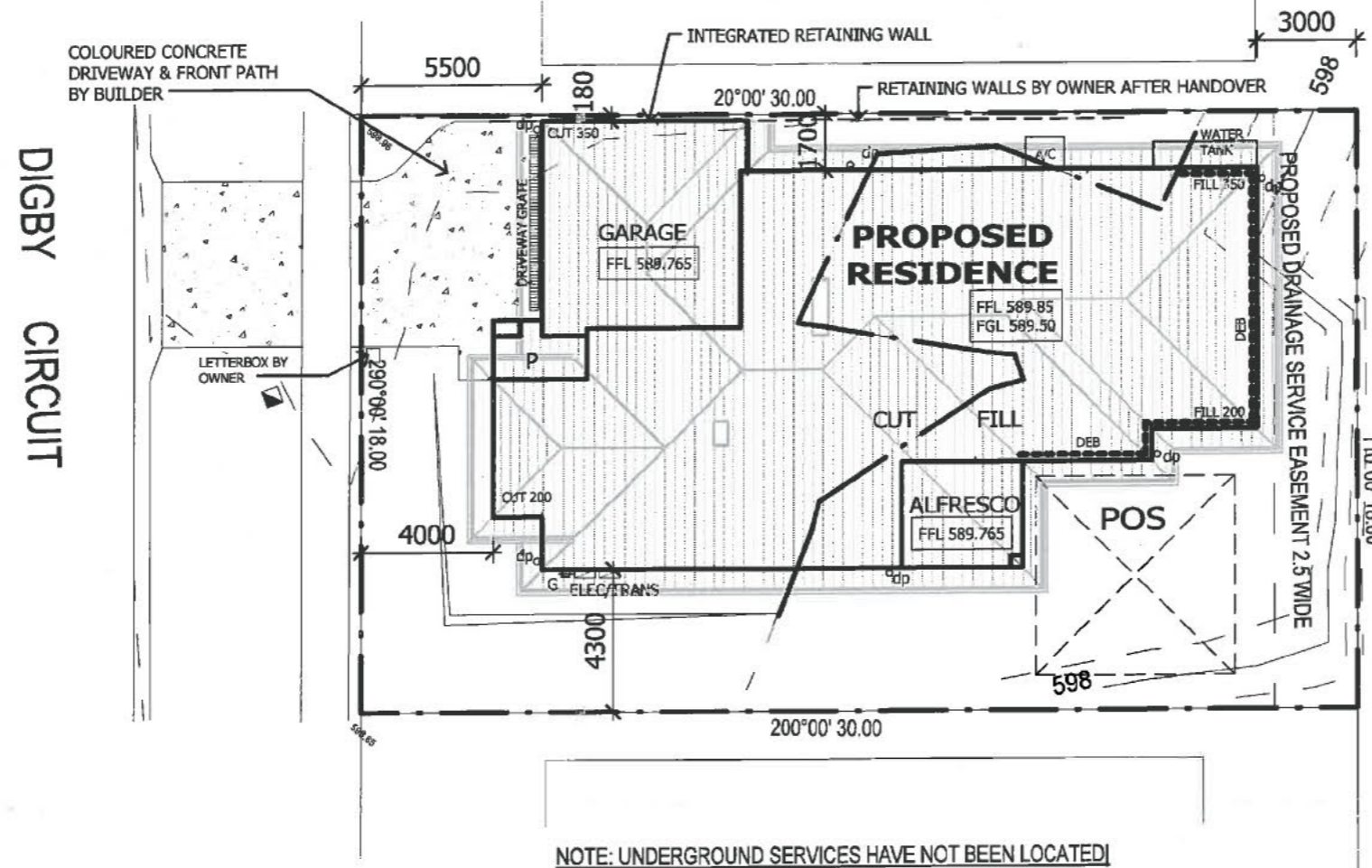
THE DEVELOPMENT WILL COMPLY WITH THE ACT ENVIRONMENT PROTECTION AUTHORITY, ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION & LAND DEVELOPMENT IN THE ACT, 2007.

THE DEVELOPMENT WILL COMPLY WITH RULE R50 OF SINGLE DWELLING BUILDING CODE & A MINIMUM OF 50% OF THE PRIVATE OPEN SPACE WILL BE RETAINED AS PLANTING AREA.

METAL ROOFING AND/OR METAL WALLING IS TO BE PAINTED OR PRE-COLOURED OTHER THAN IN WHITE OR OFF-WHITE.

THIS DEVELOPMENT ACHIEVES 54% REDUCTION IN MAINS WATER CONSUMPTION COMPARED TO AN EQUIVALENT DEVELOPMENT CONSTRUCTED IN 2003, USING THE ACTPLA ONLINE ASSESSMENT TOOL.

**BUILDING APPROVAL**  
 Issued under section 28 of the Building Act 2004  
 Certified Building Solutions Pty Ltd  
**18 AUG 2014**  
  
 Licence No: 200426203



NOTE: UNDERGROUND SERVICES HAVE NOT BEEN LOCATED

*R. Schneider*

RICHARD ULRICH SCHNEIDER  
 REGISTERED SURVEYOR  
 (NSW-SURVEYORS ACT 2002)  
 (ACT-SURVEYORS ACT 2007)

**FLOOR AREAS**

PORCH	4.43 m <sup>2</sup>
GARAGE	37.82 m <sup>2</sup>
LIVING	196.86 m <sup>2</sup>
ALFRESCO	11.50 m <sup>2</sup>
TOTAL	250.61 m <sup>2</sup>

**POS CALCULATIONS**

SITE AREA	540.00m <sup>2</sup>
BOS REQUIRED	274.00m <sup>2</sup>
BOS ACHIEVED	305.32m <sup>2</sup>
POS REQUIRED	54.00m <sup>2</sup>
POS ACHIEVED	105.00m <sup>2</sup>



The Essential First Step

NOTES:

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 \* DO NOT SCALE - USE WRITTEN DIMENSIONS  
 \* ALL DIMENSIONS ARE TO STRUCTURAL FRAMES ONLY EXCLUDING FINISHED SURFACES

**RAWSON HOMES**  
 1 HOMEBUSH BAY DRIVE, BLDG. F  
 LEVEL 2, SUITE 1  
 RHODES NSW 2138  
 TELEPHONE 02 8765 5500  
 FAX 02 8765 8099  
 Builder's licence No. 33493C

CLIENT:  
 Sch 2 2.2(a)(ii)

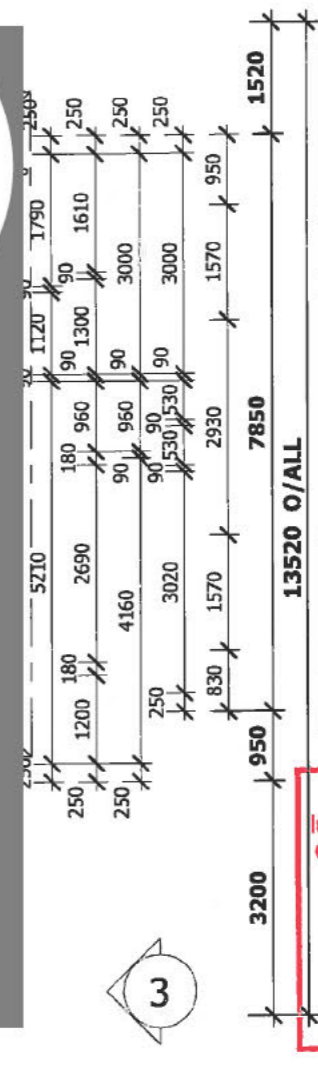
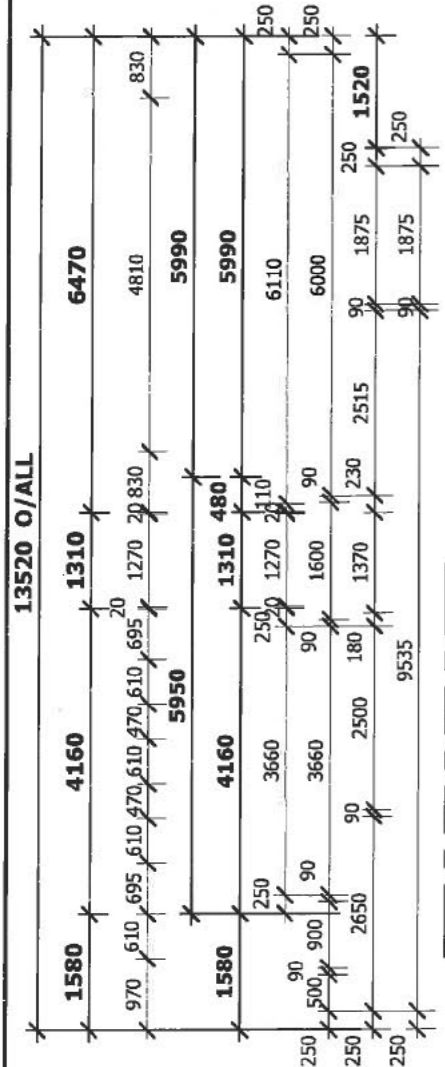
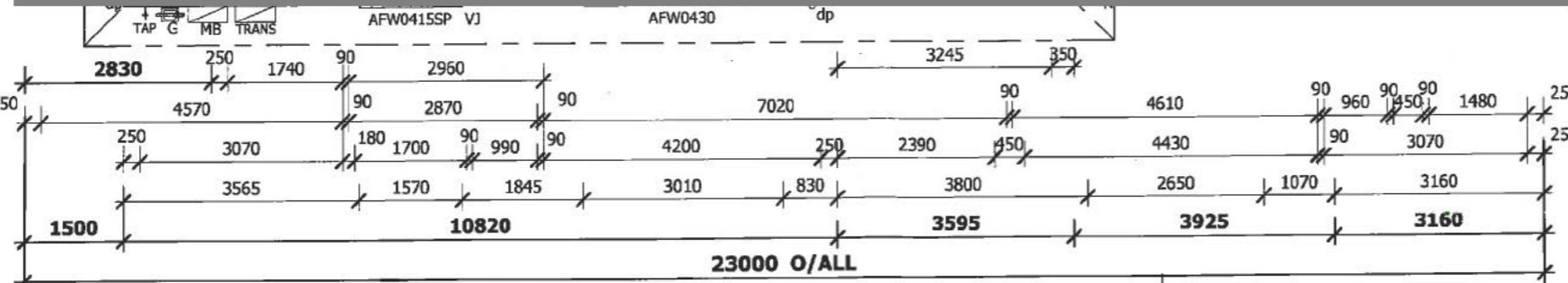
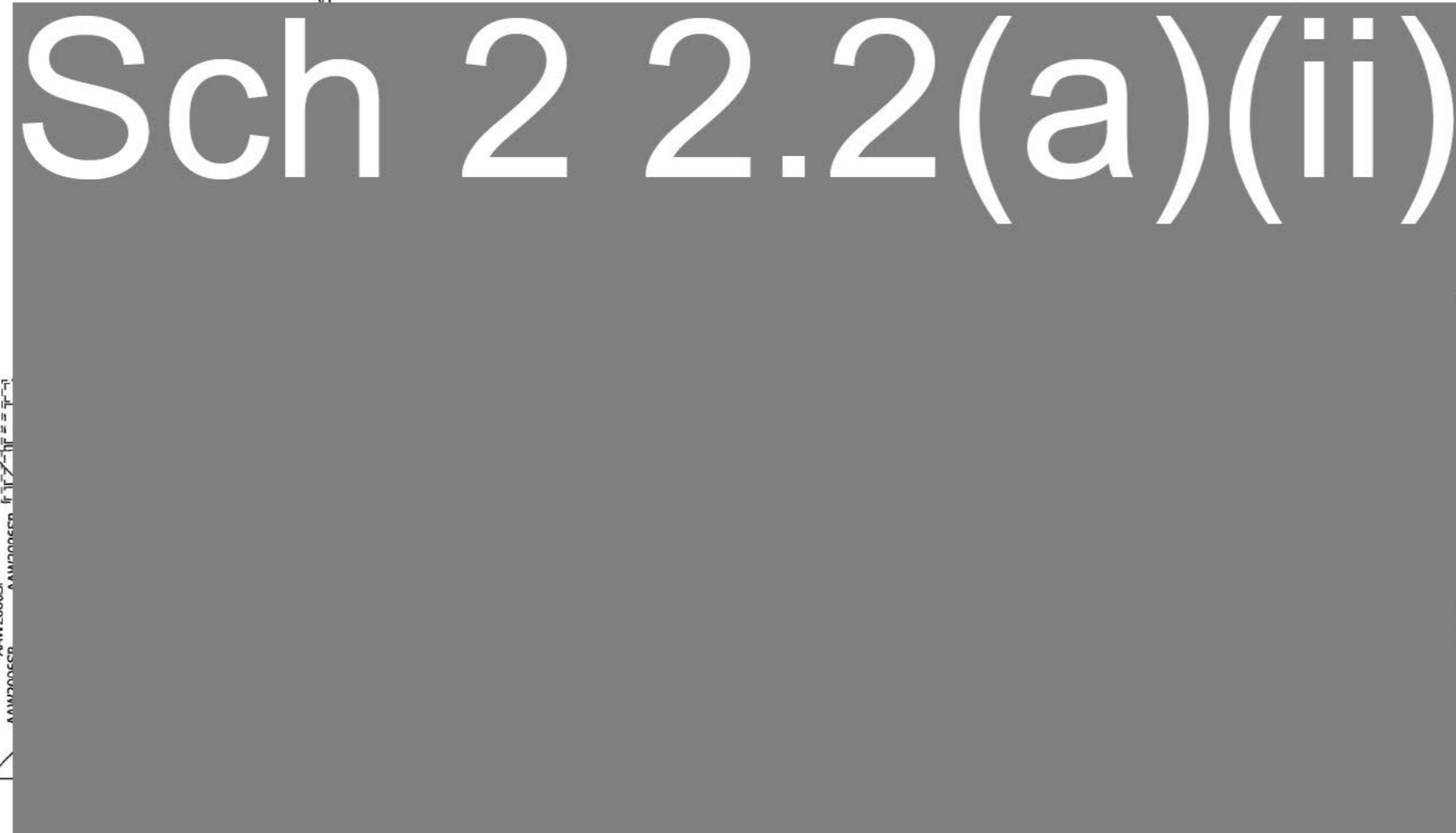
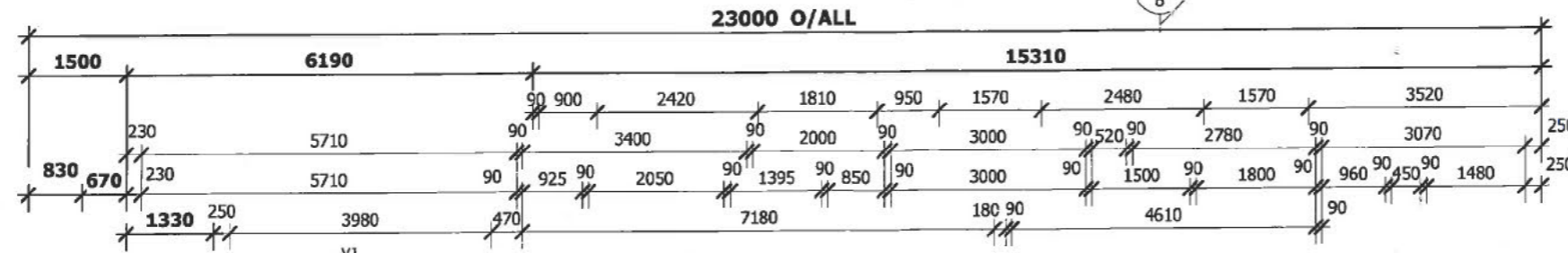
SITE ADDRESS:  
 BLOCK 12, SECTION 80  
 18 DIGBY CIRCUIT  
 CRACE A.C.T.

HOUSE TYPE  
 MODEL: EDEN 27  
 FACADE: MAJESTIC  
 TYPE:  
 SPECIFICATION: LUX

DRAWING TITLE:  
 SITE PLAN

DRAWN BY: TLE	DATE DRAWN: 16.07.14	CHECKED BY: EK	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: ESDD		SCALE: 1 : 200	
JOB No: J003821	DRWG No: 2	ISSUE: C	





**GENERAL NOTES:**

- ALL EXTERNAL DOORS TO BE FITTED WITH DRAFT EXCLUSION DEVICE
- WC DOORS TO BE FITTED WITH LIFT-OFF HINGES
- 2340h INTERNAL PASSAGE DOORS (EXCL. LIN/ROBES, PTRY & LDRY DOORS FROM KITCHEN)
- HEIGHT OF ALL SQ.SETS 2400mm FROM FFL UNLESS NOTED OTHERWISE
- WATER HEATER IN HOT WATER SUPPLY SYSTEM TO COMPLY WITH THE CLAUSE 3.12.5.6 OF THE BCA
- NO UNSEALED DOWNLIGHTS
- SARKING TO EXTERNAL WALLS
- MESH FLYSCREENS TO ALL OPENING WINDOWS & SLIDING DOORS
- A/C DUCTS INDICATIVE ONLY, FINAL SIZE & LOCATION DETERMINED ON SITE

**FRAME-MAKERS NOTE**

- WIND CLASS N2 RATING
- HYNÉ T2 BLUE TERMITE RESISTANT FRAMING
- WINDOW OPENING SIZES TO BE CHECKED BEFORE FRAMES ARE CONSTRUCTED
- FRAMES & TRUSSES TO SATISFY AS-1684 SAA TIMBER FRAMING CODE
- GARAGE DOOR HEIGHT: 2143mm ABOVE FFL
- WINDOWS TO BE POSITIONED AT HEAD HEIGHT DIRECTLY UNDER EAVES WHERE APPLICABLE FOR 2450mm HIGH CEILINGS, ALL OTHER CEILING HEIGHTS TO HAVE WINDOWS TO BE POSITIONED AT 2143mm ABOVE FFL

**BUILDING APPROVAL**  
 Issued under section 28 of the Building Act 2004  
 Certified Building Solutions Pty Ltd  
**18 AUG 2014**  
 Licence No: 200426203

FLOOR AREAS	
PORCH	4.43 m <sup>2</sup>
GARAGE	37.82 m <sup>2</sup>
LIVING	196.86 m <sup>2</sup>
ALFRESCO	11.50 m <sup>2</sup>
<b>TOTAL</b>	<b>250.61 m<sup>2</sup></b>

**FLOOR LAYOUT**

**NOTES:**

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**RAWSON HOMES**

6A, LVL 1, 2 BRINDABELLA PARK Cct  
 BRINDABELLA PARK, ACT 2609  
 TELEPHONE 02 6225 8400  
 FAX 02 6257 1982  
 Builder's licence No. 33493C

CLIENT:  
**Sch 2 2.2(a)(ii)**

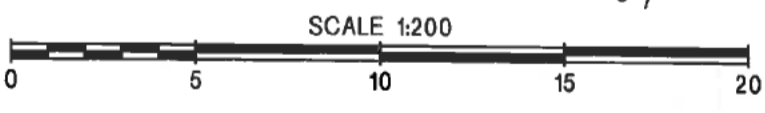
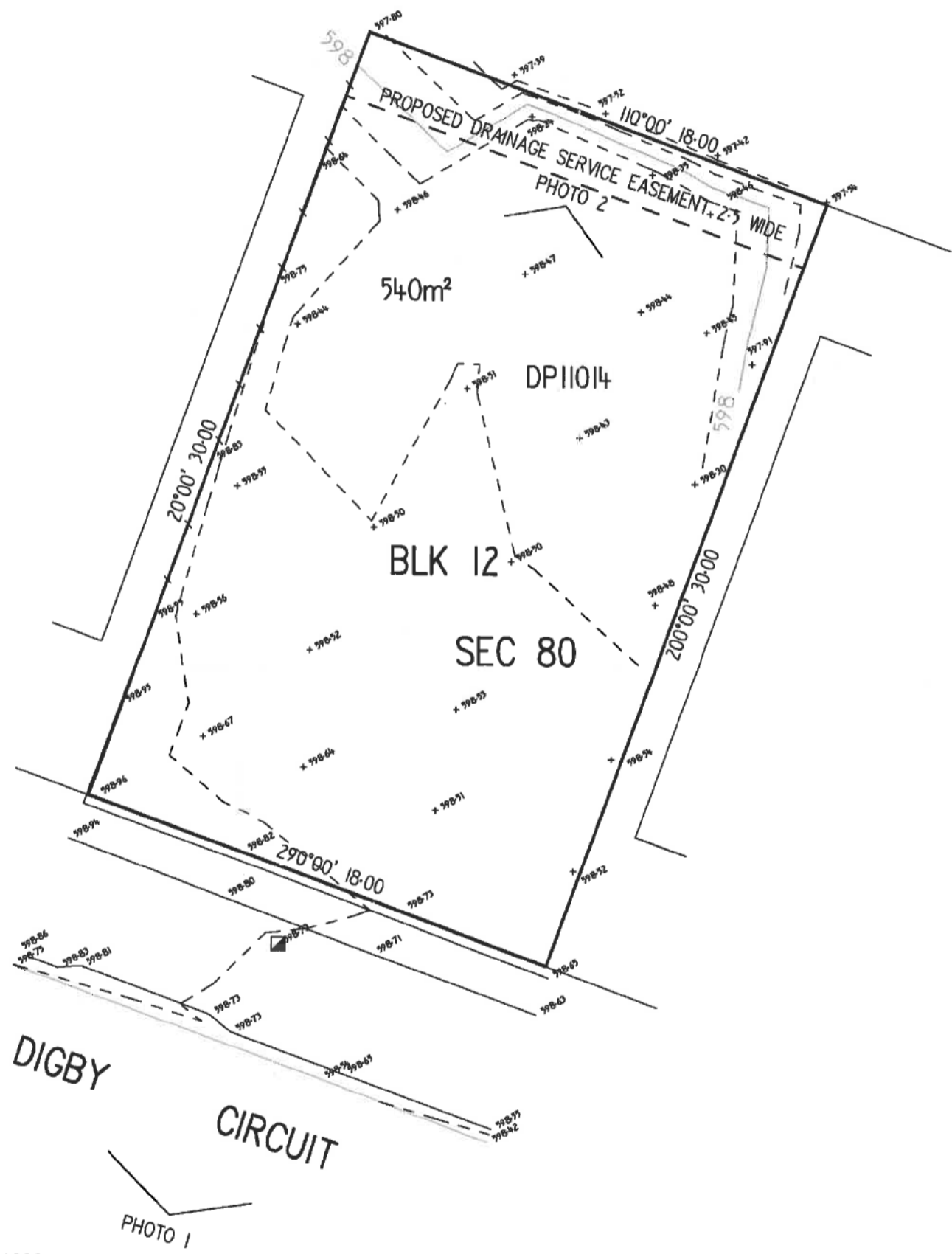
SITE ADDRESS:  
 BLOCK 12, SECTION 80  
 18 DIGBY CIRCUIT  
 CRACE A.C.T.

HOUSE TYPE  
 MODEL: EDEN 27  
 FACADE: MAJESTIC  
 TYPE:  
 SPECIFICATION: LUX

DRAWING TITLE:  
**FLOOR PLAN**

DRAWN BY: TLE	DATE DRAWN: 16.07.14	CHECKED BY: EK	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: ESDD		SCALE: 1 : 100	
JOB No: J003821	DRWG No: 3	ISSUE: C	





*Richard Ulrich Schneider*

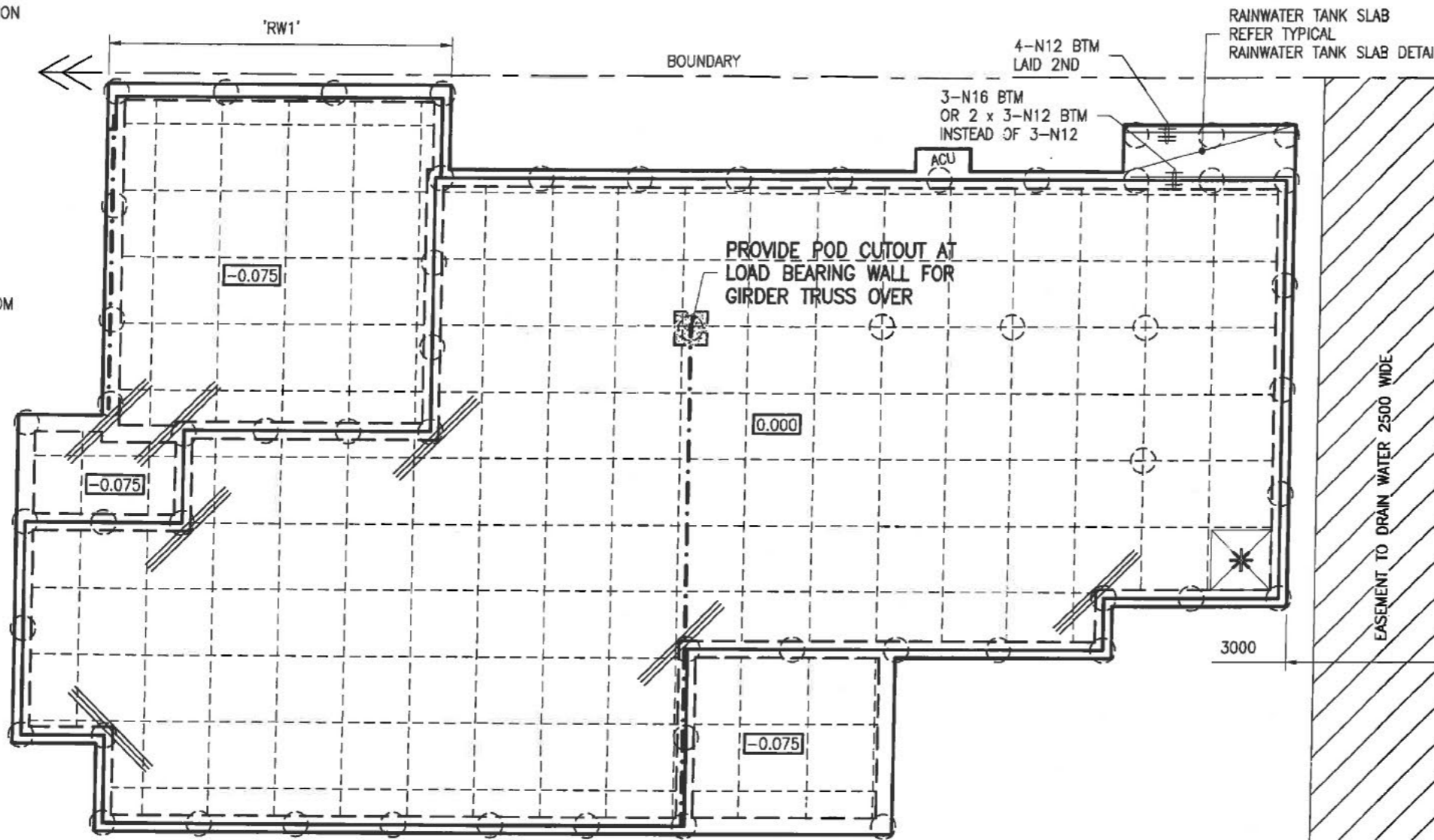
RICHARD ULRICH SCHNEIDER  
 REGISTERED SURVEYOR  
 (NSW-SURVEYORS ACT 2002)  
 (ACT-SURVEYORS ACT 2007)

NOTE: UNDERGROUND SERVICES HAVE NOT BEEN LOCATED.

SURVEYOR U.S. DATE 27/3/2014 LEVEL DATUM A.H.D. CONTOUR INTERVAL 0.25M		<b>CAPITAL SURVEYS</b> LAND & ENGINEERING SURVEYING PO BOX 7601, SUTTON NSW 2620 PHONE : (02) 6230 3577 MOBILE: 0418 697 180 capitalsurveys@bigpond.com		DRAWING TITLE <b>CONTOUR &amp; DETAIL SURVEY FOR DESIGN PURPOSES</b>		PROJECT <b>BLK 12 SEC 80          18 DIGBY CCT          CRACE ACT</b>	
				CLIENT <b>RAWSON HOMES</b>		JOB NO. <b>5611</b>	DRAWING REFERENCE <b>561101-DWG</b>

# LEGEND (NTS)

- MASS CONCRETE PIERS. REFER PIER SPECIFICATION
- \* START POD LOCATION
- ⊠ 1090 SQ STANDARD POD
- CENTRE LINE OF RIB
- ≡≡≡ 3-N12 TRIMMERS 2000 LONG
- 0.000 DENOTES TOP OF MAIN SLAB
- X.XXX DENOTES STEPDOWN FROM TOP OF MAIN SLAB
- STEEL/TIMBER BEAMS OVER



## WAFFLE RAFT SPECIFICATION

SLAB THICKNESS:	85
SLAB FABRIC:	SL82 U.N.O.
CONCRETE STRENGTH: (F <sub>c</sub> AT 28 DAYS)	N20 U.N.O.
SLUMP:	100
MAXIMUM SIZE AGGREGATE	20

THE OWNERS ATTENTION SHALL BE DRAWN TO APPENDIX 'A' 'PERFORMANCE REQUIREMENTS AND FOUNDATION MAINTENANCE' OF AS 2870 AND CSIRO PUBLICATION 'GUIDE TO HOME OWNERS ON FOUNDATION MAINTENANCE AND FOOTING PERFORMANCE'. CURRENT EDITIONS.

**ARTICULATION NOTE:**  
THIS SLAB IS DESIGNED FOR ARTICULATED MASONRY VENEER TYPE CONSTRUCTION AND ARTICULATION JOINTS ARE TO BE PROVIDED AS PER THE B.C.A. VOL.2 CURRENT EDITION

**TRUSSED ROOF NOTE:**  
SLAB HAS BEEN DESIGNED FOR ROOF LOADING TO BE SUPPORTED BY PROPRIETARY TRUSSES ONTO EXTERNAL WALLS ONLY.

## PIER SPECIFICATION

DIAMETER Ø	400
CONCRETE STRENGTH: (F <sub>c</sub> AT 28 DAYS)	N20 U.N.O.
SLUMP:	80
MAXIMUM SIZE AGGREGATE	20

EXPECTED CONCRETE PIERS/FOOTINGS REQUIRED TO UNIFORM BEARING. ENGINEER AND/OR CERTIFIER TO INSPECT GROUND BEARING OF PIERS/FOOTINGS PRIOR TO POURING OF CONCRETE.

ENGINEER TO BE NOTIFIED IF PIERS/FOOTINGS COLLAPSE IN CONSTRUCTION. BUCKET OR SCREW PIERS MAY NEED TO BE USED

SITE CLASSIFICATION	M
WIND CLASSIFICATION	N1
SITE LOCATION CLASSIFICATION	REFER SITE CLASSIFICATION NOTES FOR DETAILS SL3

THESE DETAILS HAVE BEEN PREPARED IN ACCORDANCE WITH ARCHITECTURAL

DESIGN NAME:	EDEN 27
PREPARED BY:	RAWSON HOMES
DRAWING/JOB No.	J003821
REVISION/ISSUE:	C
DATED:	16.07.14

IF IN DOUBT, CONTACT ENGINEER.

### PIERING NOTE:

DEPTH AND BEARING MATERIAL OF THE PIER HOLES SHALL COMPLY WITH THE GEOTECHNICAL ASSESSMENT OF THE SITE AS IN REPORT NOTED ON SHEET 2

BEARING MATERIAL:  
NATURAL SILTY GRAVELLY CLAY

AVERAGE BEARING DEPTH:  
0.9M + FILL

- BEARING MATERIAL AND DEPTH OF THE PROPOSED PIER HOLES SHALL BE CONFIRMED ON SITE AND BE IN ACCORDANCE WITH THE ABOVE RECOMMENDATIONS.
- CONTACT THE DESIGN ENGINEER IMMEDIATELY IF THE BEARING MATERIAL DIFFERS FROM THAT NOTED ABOVE. OTHERWISE CONTINUE PIERING THE RESIDENCE

### EASEMENT NOTE:

MASS CONCRETE PIERS FOUNDED IN ZONE OF INFLUENCE OF EXISTING EASEMENT SHALL BE FOUNDED AT LEAST 150 BELOW I.L. OF PIPE IN EXISTING EASEMENT. SIMILAR TO HOUSE SERVICES DETAIL

## WAFFLE RAFT DESIGN LAYOUT DRAWING

- REFER TO ARCHITECTURAL FOR:
- THE FULL EXTENT OF ANY DEEPEINED EDGE AND INTERNAL STEP BEAMS
  - LOCATION OF ANY SLAB RECESSES FOR DOORS, WINDOWS AND WET AREAS

**RESIDENTIAL ENGINEERING CONSULTING ENGINEERS**  
 NSW: BPB 0255 VIC: EC 24609 QLD: RPEQ 4109  
 1/19 Jonathan Street, Greystanes NSW 2145 T: 02 9896 5494 F: 02 9636 1064  
 3/256 Argyle Street, Moss Vale NSW 2577 T: 02 4869 5003 F: 02 4869 5008  
 www.residentialengineering.com.au enquiries@residentialengineering.com.au

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APPROVED BY: *A.W. McCarthy*  
 A.W. MCCARTHY  
 B.Sc.(Eng), M.I.E.Aust, N.P.E.R., C.P.Eng.

CLIENT REF: J003821  
 DATE: 24.07.14  
 DRAWN: TS  
 SCALE: 1:100

CLIENT: RAWSON HOMES  
 1 HONEBUSH BAY DRIVE  
 BUILDING F, LEVEL 2, SUITE 1  
 ROHDES, NSW, 2138  
 TELEPHONE: 02 8765 5500  
 FAX: 02 8765 8099  
 BUILDER'S LICENCE No. 33493C

FOR: Sch 2 2.2(a)(ii)  
 SITE ADDRESS:  
 BLOCK 12, SECTION 80 (18) DIGBY CIRCUIT  
 GRACE A.C.T.

DRAWN	DATE	AMENDMENT	REV	JOB No:	ISSUE:
				RW2007	
				SHEET No:	01 of 06



**GENERAL NOTES**

- G1. Engineers structural drawings are signed and issued on the understanding that the builder maintains in force, proper and adequate contract works insurance and public liability insurance during the full course of the construction, and/or any maintenance period. Claims of damage to any adjacent property or building is not the responsibility of the engineer.
- G2. These drawings shall be read in conjunction with all architectural and other consultants drawings and specifications and with such other written instructions as may be issued during the course of the contract. All discrepancies shall be referred to the architect for decision before proceeding with the work.
- G3. All workmanship and materials shall be in accordance with the requirements of the current editions of the sac codes and there-by laws and ordinances of the relevant building authority.
- G4. Dimensions shall not be obtained by scaling the structural drawings. Refer to architectural drawings for set out plan measurements. Any set out dimensions shown on this document shall be verified by the builder.
- G5. Any discrepancies/substitution in these documents shall be referred to the engineer for decision before proceeding with the work.
- G6. The sections/details on these drawings are intended to give the structural specifications only. Architectural sections/details on these drawings are illustrative only.
- G7. These documents are signed subject to certificate of inspection being issued by this firm. All piers, slab and footing reinforcement shall be inspected by the engineer prior to the pouring of concrete. Give 24hrs notice to the engineer.

**SITE CLASSIFICATION**

- C1. The site has been the subject of a geotechnical investigation requiring adherence to particular construction procedures and/or techniques. Therefore these documents have been prepared using the recommendations of the geotechnical engineer.

Site classification: 'M'  
 Classified by: IDEAL FOUNDATIONS  
 Report/Project no: 11124-RES  
 Dated: 27.03.14

- C2. The footing details shown are for the site classification stipulated. While every care has been taken to verify that the information shown is correct, Residential Engineering takes no responsibility for variations which may occur in site conditions subsequent to construction.

- C3. **SL1:** less than 1km from breaking surf or less than 100m from salt water not subject to breaking surf or within heavy industrial areas.

- C4. **SL2:** 1km or more but less than 10km from breaking surf or 100m or more but less than 1km from salt water not subject to breaking surf

- C5. **SL3:** 10km or more from breaking surf or 1km or more from salt water not subject to breaking surf.

- C6. Refer BCA class 1 and class 10 buildings housing provisions volume 2 for tables:  
 Protective Coatings For Steelwork (table 3.4.4.2)  
 Corrosion Protection Of Built-In Structural Steel Members (table 3.3.3.2)  
 Corrosion Protection For Wall Ties (table 3.3.3.1)

**FOUNDATION AND FILLING**

- F1. Strip topsoil or other organic matter to a depth of 100 mm and stockpiled.
- F2. Filling used for the support of a slab shall be controlled fill or rolled fill as follows:
  - (a) **CONTROLLED FILL:** Shall be placed, tested and certified by a qualified Geotechnical Engineer as defined in AS 3798. This is deemed to be adequate to support the footing system.
  - (b) **ROLLED FILL:** consists of material compacted in layers by repeated rolling with an excavator or similar equipment. The depth shall not exceed 0.6 m compacted in layers not more than 0.3 m thick for sand material or 0.3 m compacted in layers not more than .15m thick for other material.
- F3. Where fill consists of reactive clay, the fill shall be placed in a moist condition.
- F4. Any fill shall continue past the edge of the building by at least 1 m and shall be retained or battered beyond this point by a slope not steeper than 1:2.
- F5. Except for sites with aggressive soils, a blinding layer of sand is not required. Where used, the blinding layer of sand shall comply with rolled fill requirements.

**DRAINAGE DESIGN REQUIREMENTS**

- D1. Surface drainage shall be designed and constructed to avoid water ponding against or near the footing.
- D2. The ground in the immediate vicinity of the perimeter footing shall be graded to fall 50 mm min away from the footing over a distance of 1 m.
- D3. The min height of the slab above F.G.L., landscaping or paving shall be 150 mm. Where adjoining paved areas slope away from the building, this height may be reduced to 50 mm.
- D4. The base of trenches shall be sloped away from the building and backfilled in accordance with AS 2870
- D5. During construction, water run-off shall be collected and channeled away from the building.

**CONCRETE PIERS**

- P1. Pier diameter and locations are shown on plan.
- P2. u.n.o minimum pier depth is 600 mm below footings and wherever nominated should be socketed a minimum 300 mm into stiff clay.
- P3. All pier holes shall be cleaned and dewatered prior to the placement of concrete.
- P4. All piers shall be poured separate to footings.
- P5. It should be noted that if any of the footings encounter rock or shale, then all footings shall be pierced to rock or shale. If partially pierced to rock then articulation joints shall be provided at the rock/non-rock interface.
- P6. Concrete piers/footings are required to uniform bearing. Engineer or council shall inspect ground bearing of piers/footings prior to pouring of concrete.

**SAFE BEARING TABLE**

Strata	Stiff Clay	Rock and Shale	Natural Sand
Min Bearing Capacity 'kPa'	250	600	150

**DAMP PROOFING MEMBRANE**

- DP1. A 0.2 mm min polyethylene damp-proofing high impact resistant membrane shall be placed beneath the slab so that the bottom surface is entirely underlaid and terminate at ground level.
- DP2. The membrane shall be branded continuously 'AS 2870 concrete underlay, 0.2 mm high impact resistant', together with manufacturer or distributors name, trademark or code.
- DP3. Lapping shall be 200 mm at joints and taped or sealed at plumbing penetrations with continuous close fitting sleeve or made continuous with the vapour barrier by taping and be made waterproof.

**PLUMBING**

- PL1. Close cell polyethylene lagging shall be used around all stormwater and sanitary plumbing drain pipe penetrations through footings. The lagging shall be a minimum of 20 mm thick on H1 sites and 40 mm thick on Class H2 and Class E sites. Vertical penetrations do not require lagging. Additionally drains attached to or emerging from underneath the building including stormwater, sanitary and discharge pipes shall incorporate flexible joints immediately outside the footing and commencing within 1 m of the building perimeter to accommodate a total range of differential movement of the site (ys).

**REINFORCEMENT AND FIXING**

- R1. Minimum concrete cover as follows:  
 40 mm to unprotected ground  
 30 mm to a membrane in contact with the ground  
 40 mm to an external surface  
 20 mm to an internal surface
- R2. Slab fabric shall be supplied in flat sheets and be lapped one full square plus 25 mm at splices and placed on bar chairs at 1 m cts both ways.
- R3. Reinforcing bars shall have a lap length at splices not less than:  
 500 mm up to a bar  $\phi$  of 12 mm  
 700 mm up to a bar  $\phi$  of 16 mm  
 At T and L intersections the bars shall be continued across the full width of the intersection.
- R4. Service penetrations are permitted through the middle third of the depth of the edge beam and stiffening beams.
- R5. Reinforcement and void formers shall be fixed in position prior to concreting by means of proprietary spacers, bar chairs with bases, ligatures or other appropriate fixings to achieve the required reinforcement position and concrete cover.
- R6. Bar reinforcement shall be tied beneath the slab fabric if used or otherwise placed on bar chairs
- R7. Concrete shall be transported, placed, compacted and cured in accordance with good building practice.
- R8. Trenches, pier holes and beams shall be dewatered and cleaned prior to concrete placement such that no significant softened or loosened material remains.
- R9. Concrete in trenches and beams shall be mechanically vibrated.

**EXCAVATIONS**

- E1. Temporary excavations in the area of the footing shall be carried out only where adequate support for the footing system is maintained such as piercing beneath the expected excavation level or underpinning.
- E2. Permanent excavations of any vertical or near vertical structure within 2 m of the building and deeper than 0.6m in material other than rock shall be adequately retained or battered.
- E3. Excavations shall not extend below a line drawn at 30° for sand, 45° for clay to the horizontal from the bottom edge of the footing/pier without prior assessment.

**AGGRESSIVE SOILS**

- A1. Buildings with masonry or concrete exposed to saline soils or to acid sulfate soils shall be protected from the aggressive soil or groundwater.
- A2. Where a layer of bedding sand 100 mm deep is provided, it shall comply with the 'FOUNDATION AND FILLING' notes.
- A3. Protection requirements from Geotechnical & local authorities shall be adhered to and provided to this office before commencing detailing.

**SHRINKAGE CRACKING CONTROL**

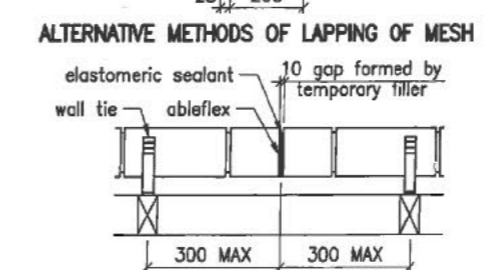
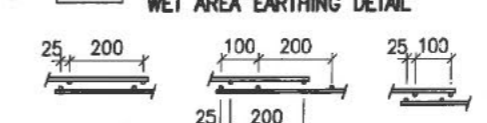
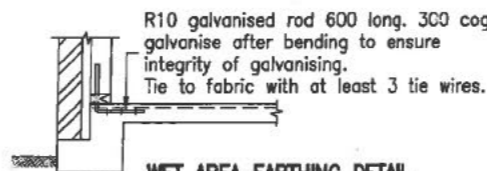
- S1. At re-entrant corners, one strip of 3-L11 or 3-N12 bar 2 m long shall be placed across the direction of potential cracking.
- S2. Where brittle floor coverings are to be used over an area greater than 16 m<sup>2</sup> the following applies:
  - (a) Slab reinforcement in part of the slab which brittle finishes are applied shall not be less than SL92 or equivalent.
  - (b) The bedding system for brittle coverings shall be selected on the basis of the expected slab movement
  - (c) The placement of floor coverings shall be delayed by a minimum period of 3 months.
- S3. Water shall not be added to the concrete on site so as to increase the slump above that specified.
- S4. Curing the concrete shall start immediately after finishing by continually wetting for 7 days min. Plastic or wax liquid sprays may be used in accordance with the manufacturers specifications. extra precaution such as the method of evaporative retardation (the use of aliphatic alcohols) is recommended during hot weather pours to help avoid thermal related slab cracking.

**SUB-TERRANEAN TERMITE PROTECTION AND MAINTENANCE**

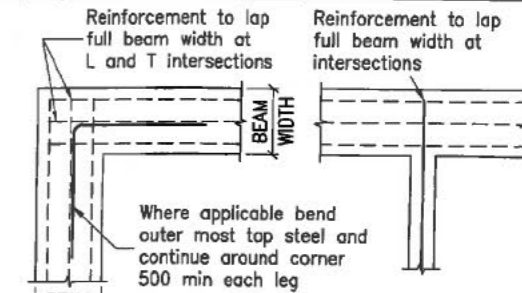
- T1. All works to be in accordance with AS 3680.1
- T2. Any future cracking occurring in the slab/footing system is to be assessed by a qualified pest expert and where directed be sealed by epoxy injection.
- T3. Inspections of the residence and immediate surrounds to be carried out by a qualified pest expert on an annual basis by the home owner.
- T4. Site maintenance is the responsibility of the owner. All recommendations outlined in the CSIRO pamphlet, Building Technology File 18, Foundation Maintenance and Footing performance: A Homeowners Guide, and its recommendations should be followed in full.

**MASONRY NOTES**

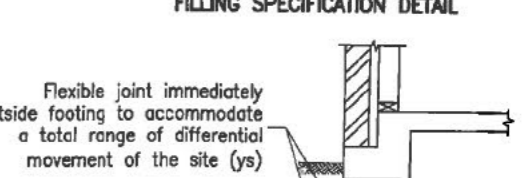
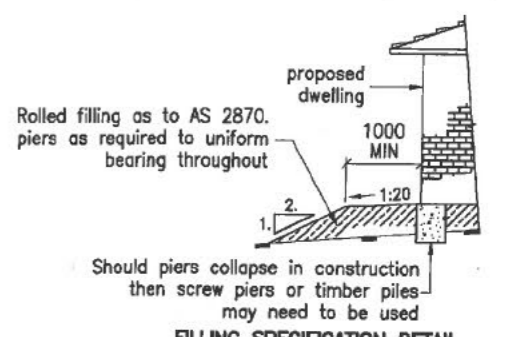
- M1. Load bearing masonry shall comply with AS 3700
- M2. Masonry, Mortar durability and Articulation shall comply with the B.C.A class 1 and 10 buildings volume 2, form TN61 articulated walling and AS 2870
- M3. Internal brickwork built off the slab shall be laid on two layers of 'alcor' or '3 ply malthoid' or equivalent material.



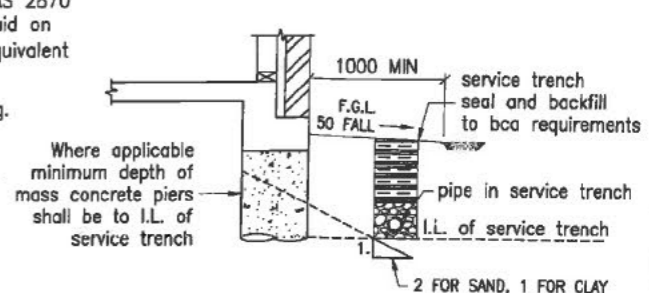
**ARTICULATION JOINT AND WALL TIE DETAIL**  
 All wall ties to be built in and fixed to frame progressively as construction proceeds spaced at each side of expansion joints and at each third course. The spacing of all other ties shall be as described in the b.c.a class 1 and 10 buildings housing provisions volume 2.



**REINFORCEMENT LAPPING DETAIL AT 'L' AND 'T' INTERSECTIONS (PLAN VIEW)**



**UNDER SLAB PLUMBING DETAIL FOR H1, H2, P & E SITES**



**HOUSE SERVICES DETAIL**  
 It is outside the control of the engineer to ensure the drainage contractor complies with this detail. The builder shall ensure that the drainage contractor complies with this detail in full

WIND/WALL TIE CLASSIFICATION			
WIND CLASS	WALL TIE (DUTY)	HORIZONTAL SPACING	VERTICAL SPACING
N1	W28N1	600mm	600mm
N2	W33N2	600mm	600mm
N3	W41N3	600mm	430mm (5 COURSES)

**NOTE:**  
 • wall tie spacings around openings 300cts ew  
 • polymer wall ties rated "light duty only" (w28n1)  
 • (vp = permissible stress method)

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 www.residentialengineering.com.au enquiries@residentialengineering.com.au

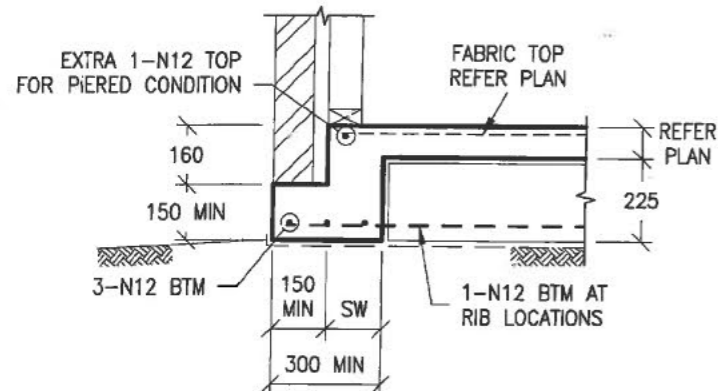
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**APPROVED BY:** *A.W. McCarthy*  
**CLIENT REF:** J003821  
**DATE:** 24.07.14  
**DRAWN:** TS  
**SCALE:**  
**A.W. MCCARTHY**  
 B.Sc.(Eng), M.I.E.Aust, N.P.E.R., C.P.Eng.

**CLIENT:** RAWSON HOMES  
 1 HOMEBUSH BAY DRIVE BUILDING F, LEVEL 2, SUITE 1 ROHDES, NSW, 2138  
 TELEPHONE: 02 8765 5500 FAX: 02 8765 8099  
**BUILDER'S LICENCE No.** 33483C

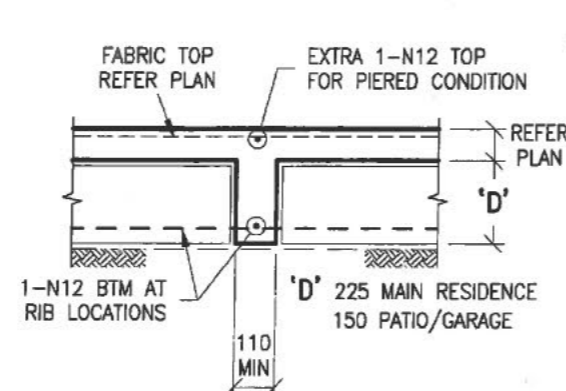
**FOR:** Sch 2 2.2(a)(ii)  
**SITE ADDRESS:** BLOCK 12, SECTION 80 (18) DIGBY CIRCUIT CRACE A.C.T.

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				RW2007	
				SHEET No:	02 of 06

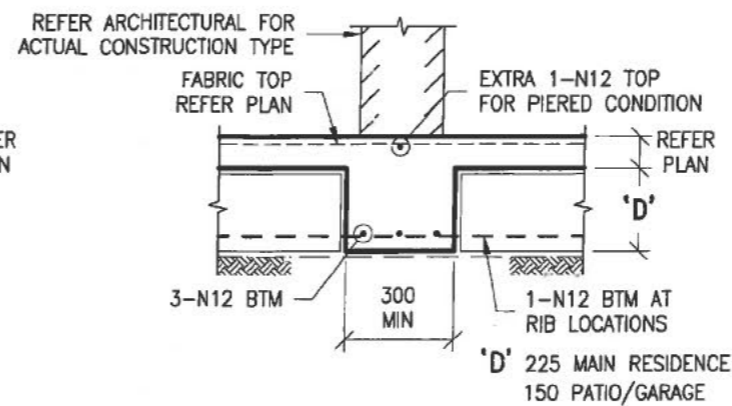




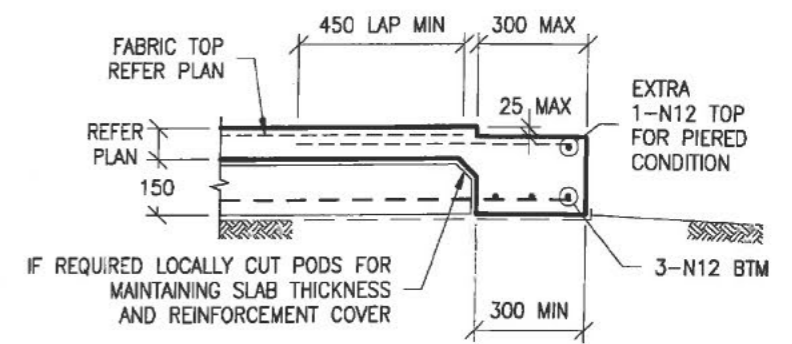
**TYPICAL EDGE BEAM DETAIL**



**TYPICAL RIB BEAM DETAIL**

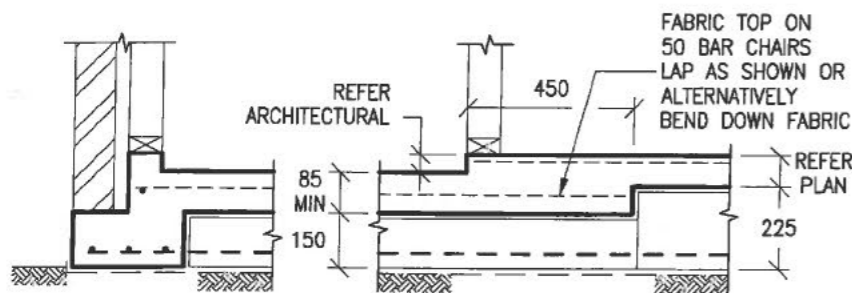


**TYPICAL INTERNAL BEAM DETAIL**

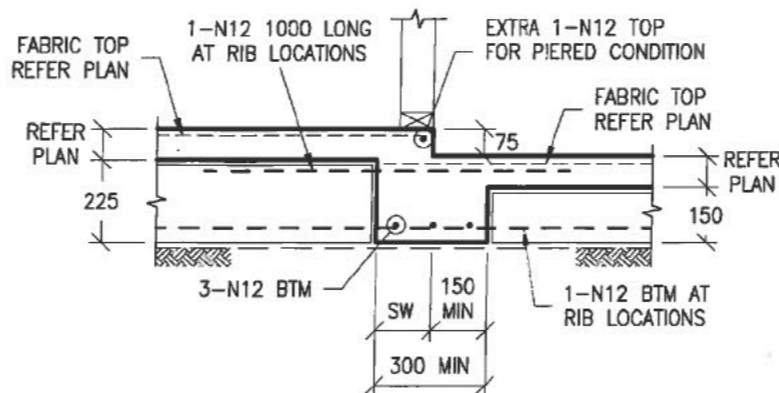


**TYPICAL GARAGE DOOR REBATE DETAIL**

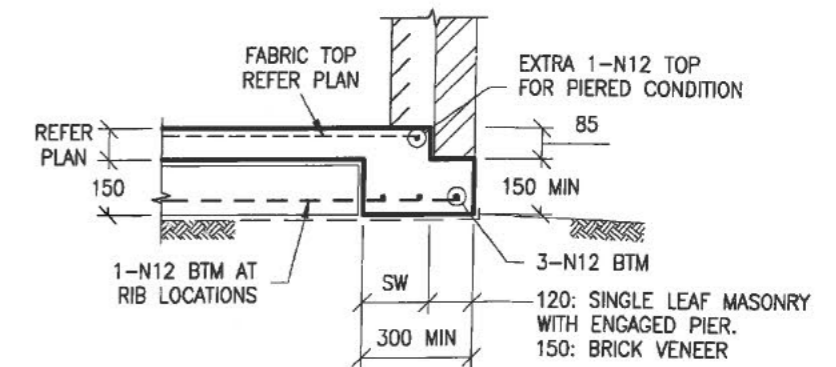
- GARAGE DOOR REBATE SHOWN IS DIAGRAMMATIC ONLY AND SHALL BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOR ACTUAL REBATE DEPTH x WIDTH.
- IF REQUIRED PROVIDE 10mm FALL FROM BACK OF GARAGE TO GARAGE DOOR OPENING



**TYPICAL WET AREA RECESS DETAIL**  
TO BE USED IN ACCORDANCE WITH THE ARCHITECTURAL

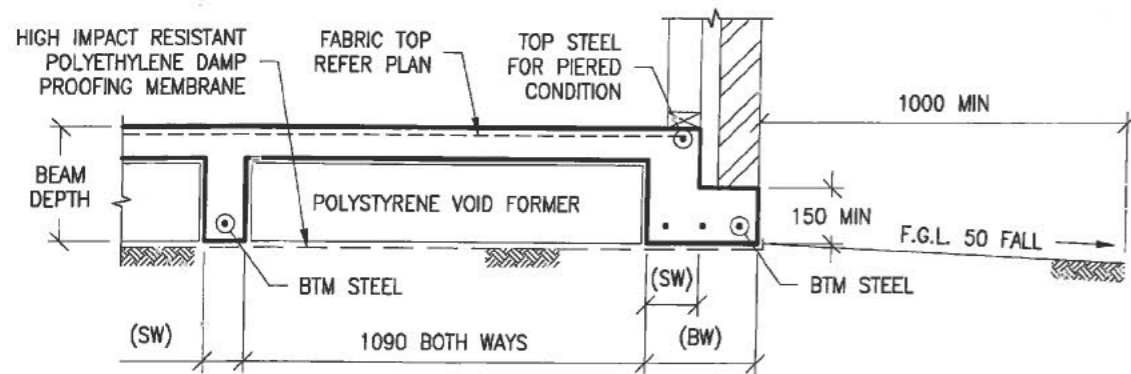


**TYPICAL GARAGE STEP BEAM DETAIL**



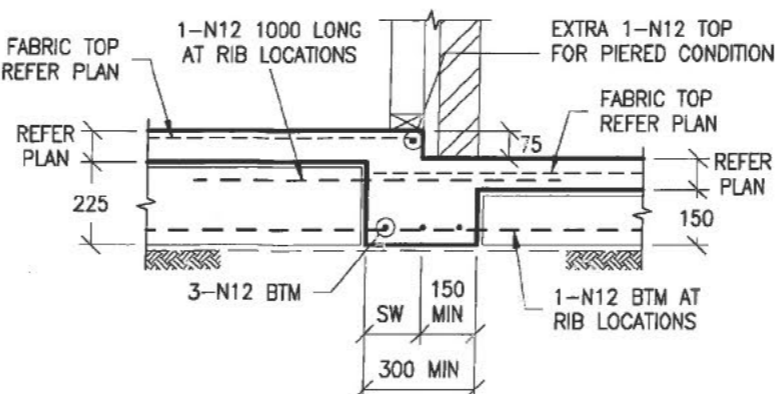
**TYPICAL GARAGE EDGE BEAM DETAIL**

STEM WIDTH (SW)	ADDITIONAL TOP STEEL IN ADDITION TO SLAB FABRIC	BEAM WIDTH (BW)	BTM STEEL
110 TO 150	NIL	110 TO 150	1-N12
151 TO 220	1-N12	151 TO 220	2-N12
221 TO 330	2-N12	221 TO 330	3-N12
331 TO 440	3-N12	331 TO 440	4-N12

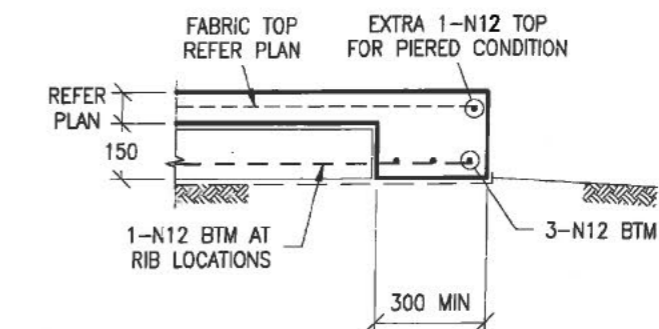


**TYPICAL WAFFLE RAFT DETAIL**

RW11(RIBBED WIRE GRADE 500RW) MAY BE USED IN LIEU OF N12'S



**TYPICAL PATIO STEP BEAM DETAIL**



**TYPICAL PATIO EDGE BEAM DETAIL**

IF IN DOUBT, CONTACT ENGINEER.

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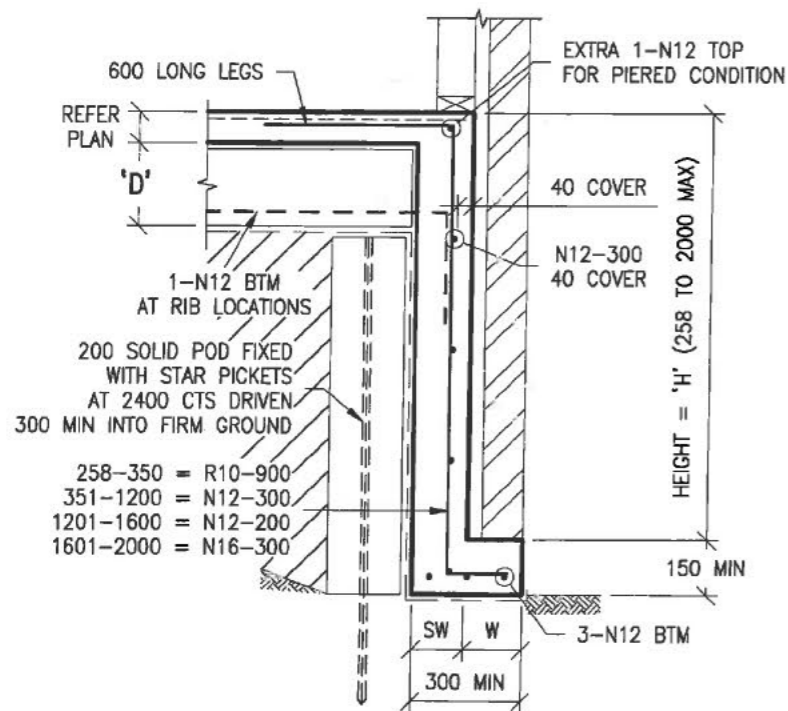
APPROVED BY: *A.W. McCarthy*  
 A.W. MCCARTHY  
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CLIENT REF: J003821  
 DATE: 24.07.14  
 DRAWN: TS  
 SCALE: 1:20  
 CLIENT: RAWSON HOMES  
 1 HOMERUSH BAY DRIVE  
 BUILDING F, LEVEL 2, SUITE 1  
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 TELEPHONE: 02 8765 5500  
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 BUILDER'S LICENCE No. 33483C

EDR: Sch 2 2.2(a)(ii)  
 SITE ADDRESS: BLOCK 12, SECTION 80 (18) DIGBY CIRCUIT CRACE A.C.T.

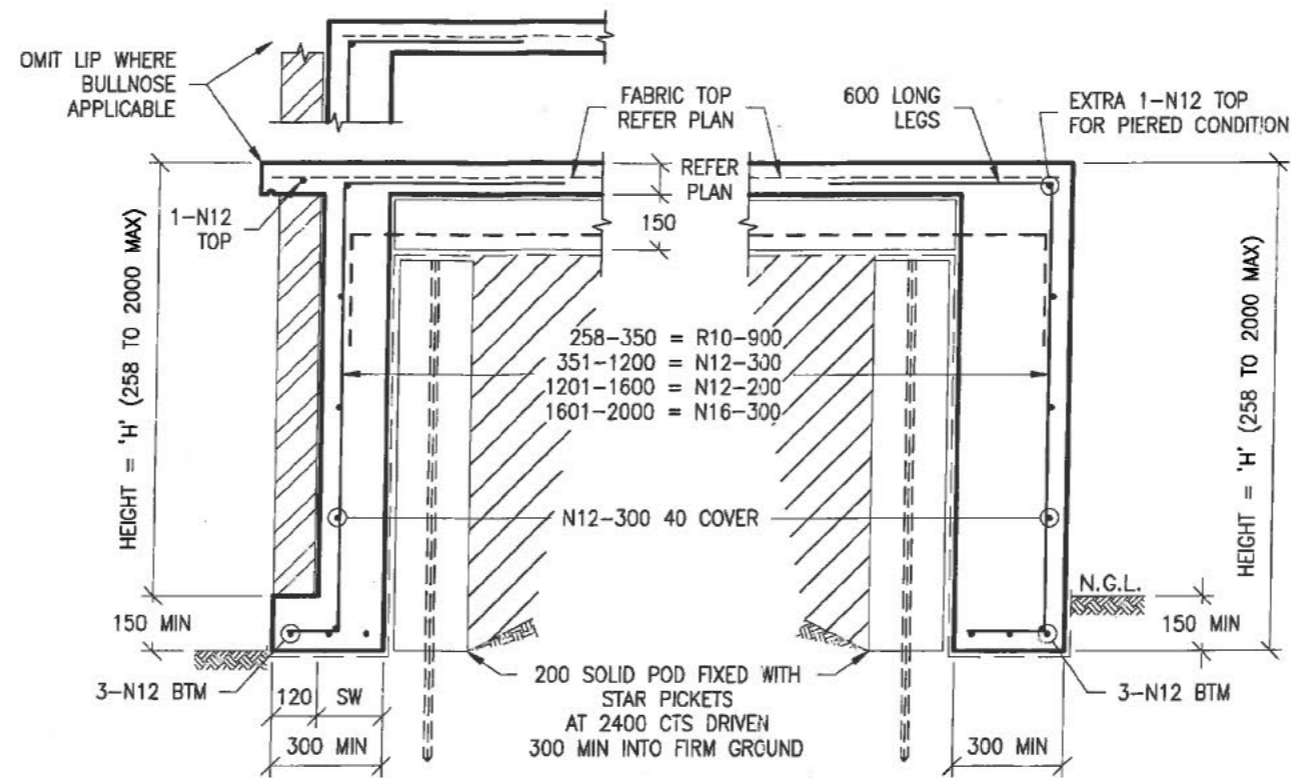
DRAWN	DATE	AMENDMENT	REV	JOB No:	ISSUE:
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				SHEET No:	03 of 06





**TYPICAL DEEPENED EDGE BEAM DETAIL**

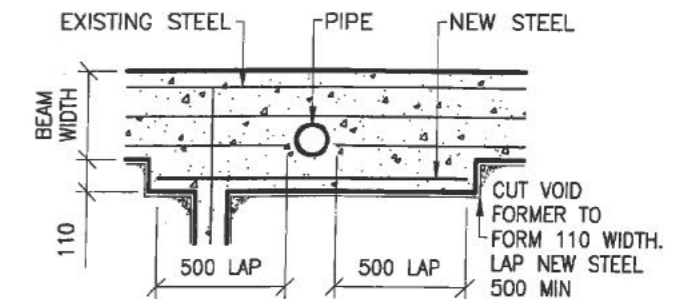
'D' = 225 MAIN RESIDENCE  
150 PATIO/GARAGE  
'W' = 120 MIN FOR SINGLE LEAF MASONRY WITH ENGAGED PIER.  
150 MIN FOR BRICK VENEER



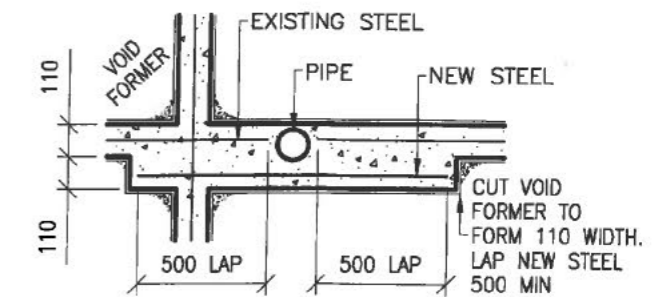
**TYPICAL ALTERNATE DEEPENED PATIO EDGE BEAM DETAILS**

**DEEPENED BEAM STEM WIDTH TABLE**

HEIGHT (H)	(SW) STEM WIDTH
UP TO 1200	150
1201 TO 1600	200
1601 TO 2000	250

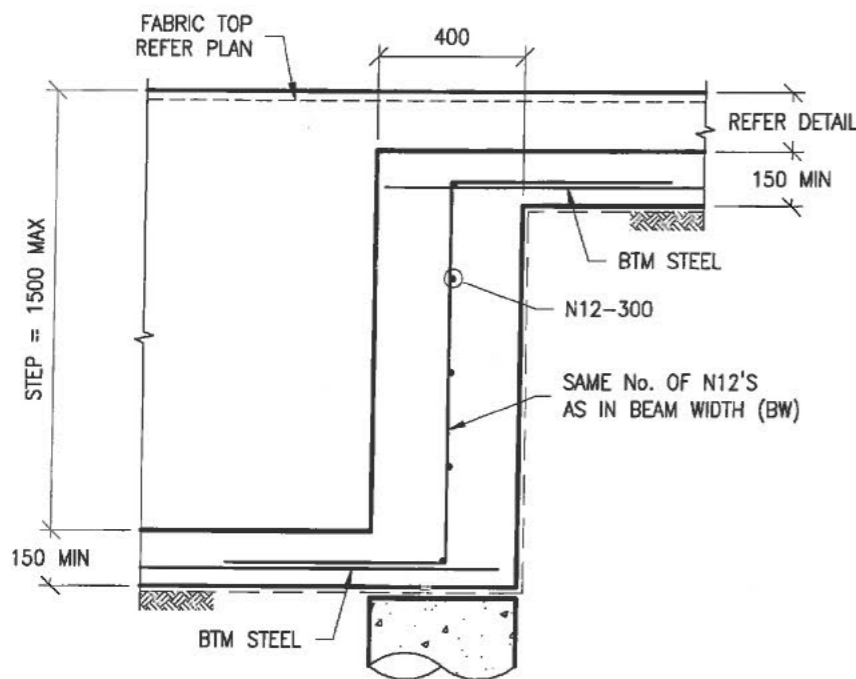


**THROUGH BEAMS**

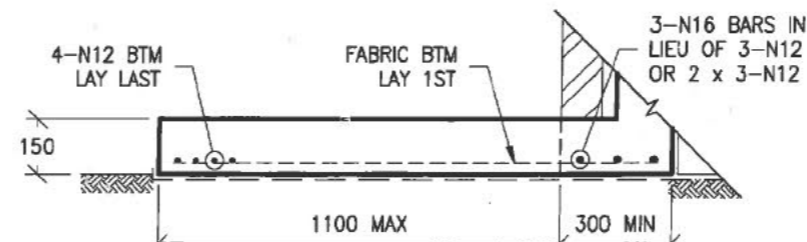


**THROUGH RIBS**

**PLAN ON PIPE PENETRATION**

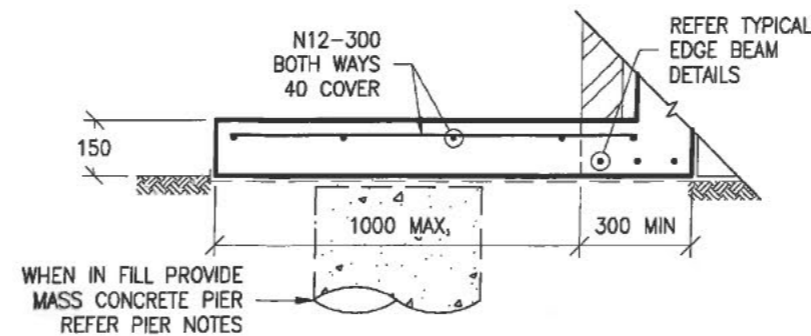


**TYPICAL DEEPENED EDGE BEAM TRANSITION DETAIL**



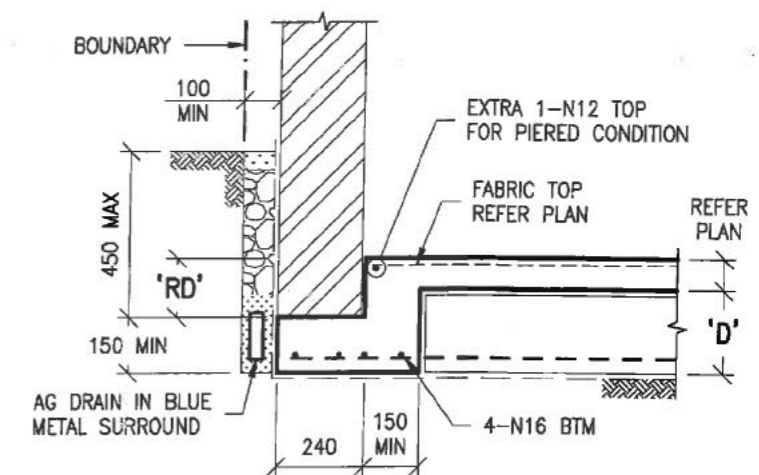
**TYPICAL RAINWATER TANK SLAB DETAIL**

THIS DETAIL IS APPLICABLE AT ALL TYPICAL EDGE BEAMS. CONSTRUCTION TYPE MAY VARY FROM SHOWN



**TYPICAL ACU/HWS SLAB DETAIL**

THIS DETAIL IS APPLICABLE AT ALL TYPICAL EDGE BEAMS. CONSTRUCTION TYPE MAY VARY FROM SHOWN



**EDGE BEAM DETAIL 'RW1'**

IF IN DOUBT, CONTACT ENGINEER.

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FDR: Sch 2 2.2(a)(ii)  
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				RW2007	
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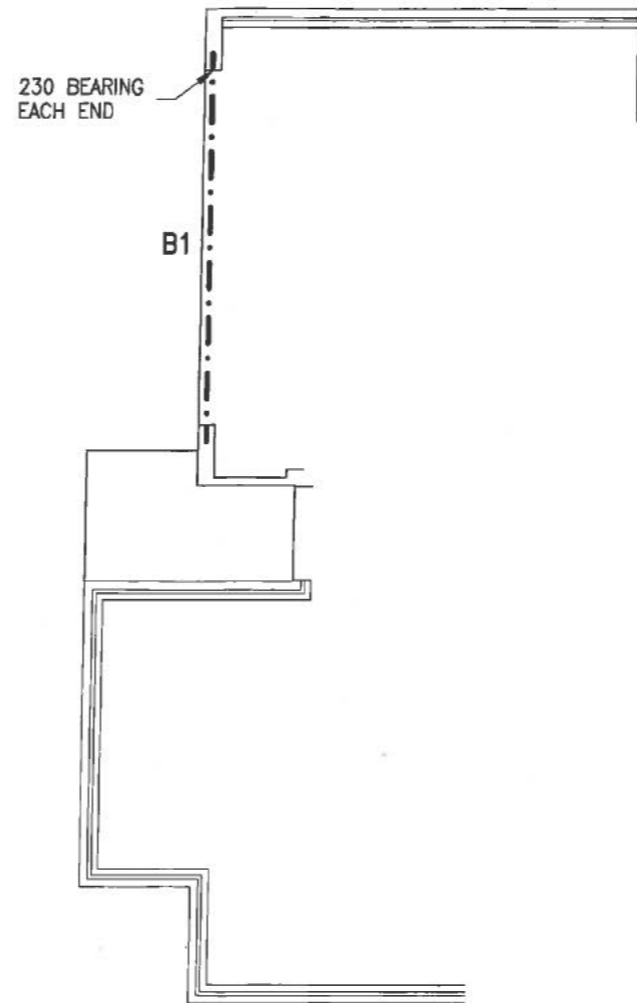
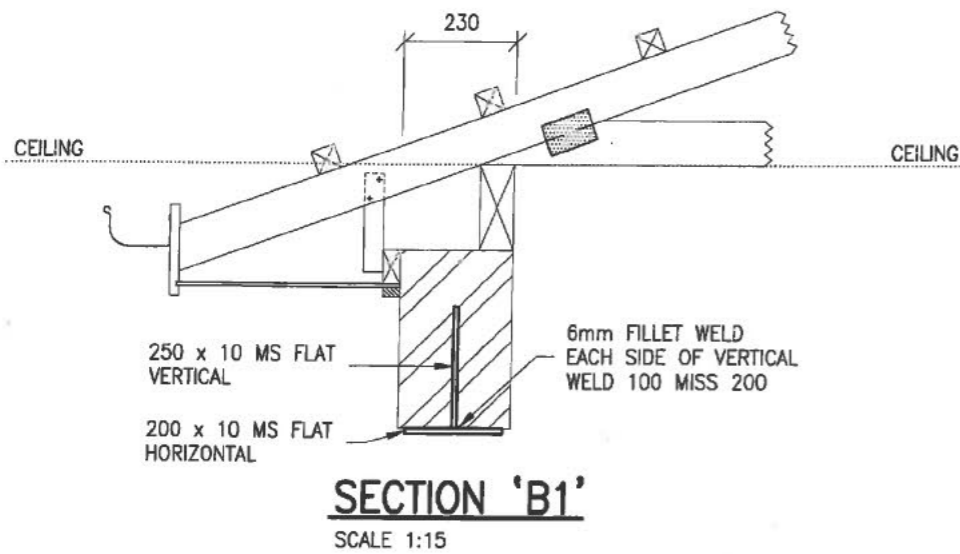


**ALL STEEL BEAM CROSS SECTIONS ARE DIAGRAMMATIC ONLY**

- REFER TO THE MANUFACTURERS SPECIFICATIONS FOR INSTALLATION DETAILS OF I-JOISTS, LVL'S AND ROOF TRUSSES WHERE APPLICABLE.
- SOLID TIMBER JOISTS SHALL NOT BE NOTCHED IN EXCESS OF THE RECOMMENDATIONS OF AS 1684.1. WHERE NECESSARY PROVIDE TIMBER PLATE OVER STEEL BEAM AND PROVIDE TOP MOUNT JOIST HANGERS. ALTERNATIVELY USE TIMBER BLOCKING BETWEEN FLANGES OF STEEL BEAM SUPPORTING JOISTS AND USE FACE MOUNTED JOIST HANGERS.

**STEEL BEAM PROFILE NOTE:**

THE BEAM(S) SPECIFIED ON THIS DRAWING DOES NOT REPRESENT THE ONLY POSSIBLE STRUCTURAL SOLUTION. PLEASE CONTACT RESIDENTIAL ENGINEERING IF AN ALTERNATIVE BEAM PROFILE WOULD BE PREFERRED FOR ARCHITECTURAL OR CONSTRUCTABILITY REASONS.



**STEELWORK DESIGN MARKING DRAWING**

SCALE 1:100

**STRUCTURAL STEEL NOTES**

- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 4100.
- STEELWORK DESIGNED IN ACCORDANCE WITH AS 4100 "STEEL STRUCTURES CODE" AND AS 1170.1/AS 1170.2 "DEAD AND LIVE LOADS AND WIND LOADS". STRUCTURAL STEEL TO BE GRADE (BHP 300 PLUS)
- SURFACE PREPARATION AND FINISH TO COMPLY WITH AS/NZS 2312 AND BUILDING CODE OF AUSTRALIA CLASS 1 AND 10 BUILDINGS VOLUME 2. THE BUILDER MUST CLARIFY HIS CONTRACTUAL OBLIGATIONS IN THIS REGARD.
- THE INSTALLATION OF GALINTELS AND 'T' BARS TO BE STRICTLY IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- THE STABILITY OF THE STRUCTURE DURING CONSTRUCTION IS THE BUILDERS RESPONSIBILITY. ADEQUATE TEMPORARY BRACING SHALL BE PROVIDED AS IS NECESSARY TO STABILISE THE STRUCTURE DURING CONSTRUCTION.
- WELDS:
  - ALL WELDS TO BE 6mm CONTINUOUS FILLET WELD U.N.O.
  - BUTT WELDS WHERE INDICATED IN THE DOCUMENTS TO BE COMPLETE PENETRATION BUTT WELDS AS DEFINED IN AS 1554.
  - ALL SHOP WELDS TO BE FULLY WELDED U.N.O.
  - USE E41XX ELECTRODES FOR ALL WELDING U.N.O.
- SITE WELDING OF HOT DIP GALVANISED STEEL IS PERMISSIBLE IF UPON COMPLETION THE WELDS ARE TREATED WITH THE APPROPRIATE COATING FOR SEVERE AS PER THE B.C.A AND AS/NZS 2312.
- BOLT DESIGNATION:
  - 4.6/S - COMMERCIAL BOLT OF GRADE 4.6 TO AS 1111 SNUG TIGHTENED
  - 8.8/S - HIGH STRENGTH STRUCTURAL BOLTS OF GRADE 8.8 TO AS 1252 SNUG TIGHTENED
  - BOLTS TO BE PROVIDED WITH THREADS CLEAR OF SHEAR PLANE.
- ALL BOLTS TO BE HIGH STRENGTH GRADE U.N.O. NO CONNECTION SHALL HAVE LESS THAN TWO BOLTS. ALL BOLTS AND WASHERS TO BE GALVANISED.
- BEAMS SUPPORTED ON BRICKWORK (BEARING NOTED ON PLAN) TO HAVE INCOMPRESSIBLE PACKING AS REQUIRED UNDER THE ENDS OF THE BEAM TO ENSURE EVEN BEARING ON THE BRICKWORK.
- THE BUILDER SHALL PROVIDE ALL CLEATS AND DRILL ALL HOLES NECESSARY FOR FIXING STEEL TO STEEL AND TIMBER TO STEEL, WHETHER OR NOT DETAILED IN THE DRAWINGS.
- ALL GUSSET PLATES TO BE 10mm THICK U.N.O.
- ALL COLUMNS AND BEAMS SHOWN ON THE DRAWINGS FOR TIMBER FRAMED BUILDINGS SHALL BE LATERALLY RESTRAINED BY THE BUILDING FRAME AT EACH SUPPORT LOCATION THROUGH POSITIVE SCREW FIXING OF WALL STUDS TO THE COLUMNS AND EITHER JOISTS OR NOGGINGS TO THE BEAMS. FOR ARTICULATED FULL MASONRY BUILDINGS, COLUMNS WILL BE LATERALLY RESTRAINED BY BRICKWORK AT EACH SUPPORT LOCATION THROUGH POSITIVE FIXING OF WALL TIES. WHERE A BEAM DIRECTLY SUPPORTS A CONCRETE SLAB NO ADDITIONAL RESTRAINT IS REQUIRED.
- THE BUILDER IS TO MAKE GOOD AND/OR REPAIR ALL DAMAGED SURFACES DURING PERFORMANCE OF THE WORK.

**MEMBER SCHEDULE**

ITEM	DESCRIPTION	LOCATION
B1	250 x 10 WEB X 200 x 10 FLANGE 'T' BAR	PC3

**PROTECTIVE COATINGS FOR STEELWORK:**

- PC1. INTERNAL STEELWORK NO PROTECTIVE COATINGS REQUIRED.
- PC2. EXTERNAL STEELWORK TO BE HOT DIPPED GALVANISED 300g/m<sup>2</sup>. OR COATED WITH 2 COATS OF ALKYD PRIMER.
- PC3. LINTELS IN MASONRY TO BE HOT DIPPED GALVANISED 600g/m<sup>2</sup>.

IF IN DOUBT, CONTACT ENGINEER.

<p>NSW: 8PB 0255 VIC: EC 24609 QLD: RPEQ 4109</p> <p>1/19 Jonathan Street, Greystanes NSW 2145 3/256 Argyle Street, Moss Vale NSW 2577</p> <p>T: 02 9896 5494 T: 02 4869 5003 F: 02 9636 1064 F: 02 4869 5008</p> <p>www.residentialengineering.com.au enquiries@residentialengineering.com.au</p>	<p>COPYRIGHT: THIS DRAWING REMAINS THE PROPERTY OF RESIDENTIAL ENGINEERING AND MAY NOT BE ALTERED IN ANY WAY WITHOUT RESIDENTIAL ENGINEERING WRITTEN CONSENT</p> <p>APPROVED BY: <i>A.W. McCarthy</i> A.W. McARTHUR B.Sc.(Eng), M.I.E.Aust., N.P.E.R., C.P.Eng.</p>	<p>CLIENT REF: J003821</p> <p>DATE: 24.07.14</p> <p>DRAWN: TS</p> <p>SCALE: AS SHOWN</p>	<p>CLIENT: RAWSON HOMES</p> <p>1 HOMEBUSH BAY DRIVE BUILDING F, LEVEL 2, SUITE 1 ROHDES, NSW, 2138</p> <p>TELEPHONE: 02 8785 5500 FAX: 02 8765 8099 BUILDER'S LICENCE No. 33483C</p>	<p>EDR: Sch 2 2.2(a)(ii)</p> <p>SITE ADDRESS: BLOCK 12, SECTION 80 (18) DIGBY CIRCUIT CRACE A.C.T.</p>	<table border="1"> <thead> <tr> <th>DRAWN</th> <th>DATE</th> <th>AMENDMENT</th> <th>REV</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	DRAWN	DATE	AMENDMENT	REV					<p>JOB No: RW2007</p> <p>SHEET No: 05 of 06</p>	<p>ISSUE:</p>
		DRAWN	DATE	AMENDMENT	REV										



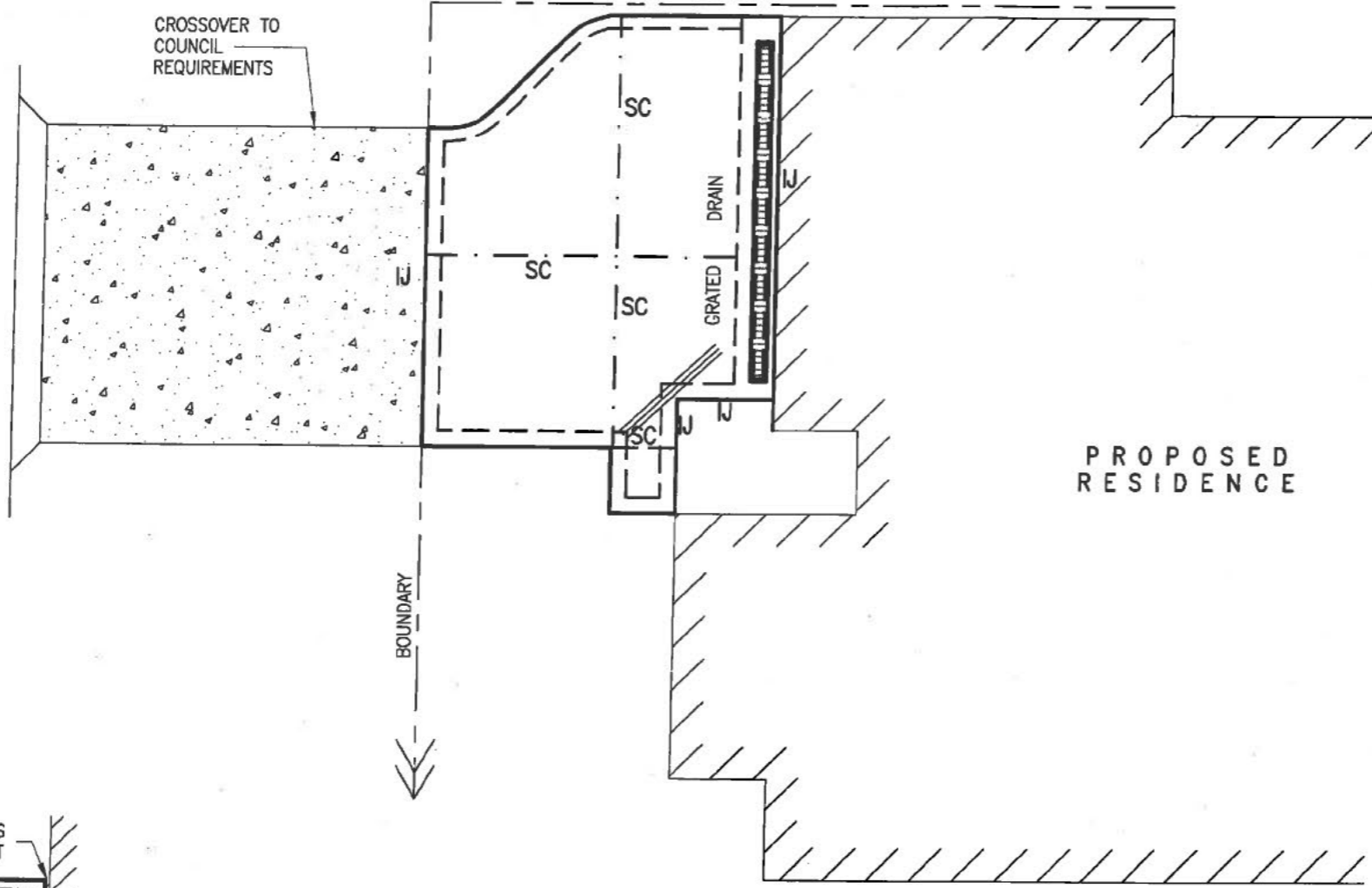
**LEGEND (NTS)**

3-N12 TRIMMERS  
2000 LONG

DIGBY  
CIRCUIT

CROSSOVER TO  
COUNCIL  
REQUIREMENTS

BOUNDARY



PROPOSED  
RESIDENCE

**DRIVEWAY SLAB DESIGN LAYOUT DRAWING  
LIGHT TRAFFIC ONLY**

SCALE 1:100

DRIVEWAY SLAB 100 THICK, SL72 FABRIC TOP 40 COVER  
25MPa CONCRETE, 100 SLUMP, 20 MAX AGGREGATE  
TO BEAR ON FIRM NATURAL GROUND

**PAVEMENT NOTES**

- PV1. THE CONSTRUCTION REQUIREMENTS OF AS 3600 SHALL BE APPLIED EXCEPT WHERE INDICATED OTHERWISE.
- PV2. TYPICAL SLAB THICKNESS, CONCRETE GRADE, JOINT SPACING & REINFORCEMENT SHALL BE IN ACCORDANCE WITH TABLE 1.

**SUB-GRADE NOTES**

- SG1. TOPSOIL CONTAINING GRASS ROOTS SHOULD BE REMOVED. THE FORMATION SHOULD BE TRIMMED TO WITHIN +0, -25 OF THE DESIGN LEVEL. SUB-GRADE SHOULD BE THOROUGHLY COMPACTED WITH A SMALL SMOOTH DRUM VIBRATING ROLLER OR WHACKER PACKER. LOCAL SOFT SPOTS SHOULD BE RECTIFIED TO ACHIEVE LEVELS OF STRENGTH AND STIFFNESS SIMILAR TO THE REMAINDER OF THE SUB-GRADE. CLAY FILL SHOULD BE MOIST TO ALLOW COMPACTION AND REDUCE SUBSEQUENT MOVEMENT. THE MOISTURE CONDITION OF THE CLAY SHOULD BE NEAR THE LONG TERM EQUILIBRIUM MOISTURE CONDITION. ALL FILL SUBGRADE SHOULD BE UNIFORMLY COMPACTED IN LAYERS OF 200 mm MINIMUM THICKNESS LAYERS.

**SUB-BASE NOTES**

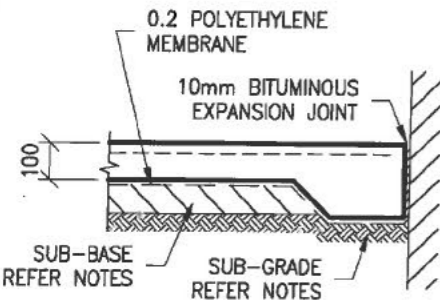
- SB1. SUB-BASE SHOULD COMPRISE OF 75 mm THICKNESS OF 20 mm GRADE ROAD BASE THOROUGHLY COMPACTED SIMILAR TO THE SUB-GRADE. REFER SG1.

**CROSS-FALL NOTES**

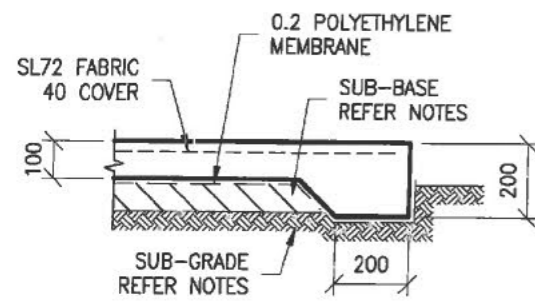
- CF1. THE MINIMUM AND MAXIMUM RECOMMENDED FINISHED PAVEMENT SURFACE CROSS-FALLS FOR EXPOSED PAVEMENTS ARE 1 PERCENT AND 10 PERCENT RESPECTIVELY. FURTHER DETAILS ON SURFACE GRADIENTS ARE GIVEN IN AS 2890.1

**REINFORCEMENT**

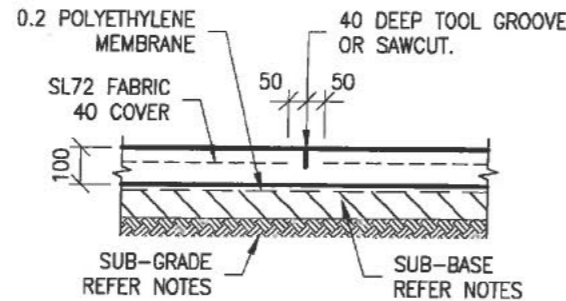
- R1. WHERE THE SLAB SURROUNDS ANOTHER STRUCTURE SUCH AS A DRAINAGE PIT OR HAS A RE-ENTRANT CORNER, TRIMMING REINFORCEMENT SHOULD BE USED UNLESS JOINTS ARE PROVIDED. TRIMMING REINFORCEMENT SHOULD NOT BE LESS THAN 1-N12 BAR ON MINIMUM LENGTH 600.
- R2. REINFORCEMENT SHOULD NOT BE CONTINUOUS THROUGH CONTROL JOINTS



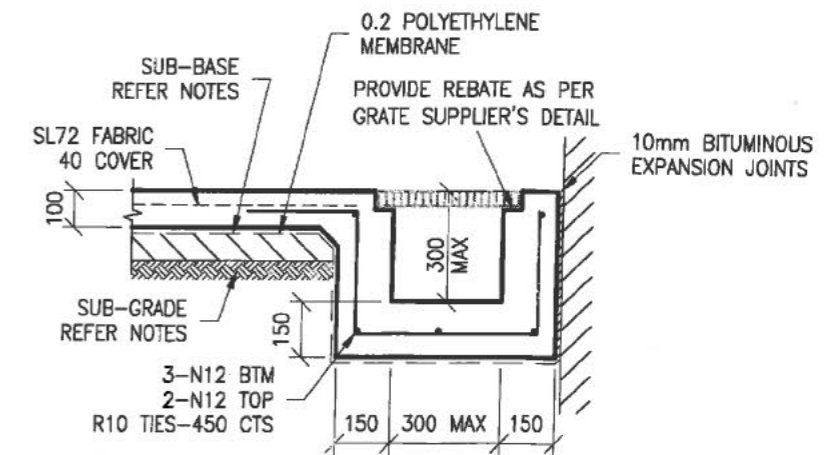
**ISOLATION JOINT DETAIL 'J'**  
SCALE 1:20



**TYPICAL EDGE THICKENING DETAIL**  
SCALE 1:20



**SAWCUT DETAIL 'SC'**  
SCALE 1:20



**TYPICAL GRATED DRAIN DETAIL**  
SIZE OF DRAIN TO HYDRAULIC ENGINEERS DETAIL  
SCALE 1:20

**RESIDENTIAL ENGINEERING CONSULTING ENGINEERS**  
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enquiries@residentialengineering.com.au

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APPROVED BY:  
*A.W. McCarthy*  
A.W. MCCARTHY  
B.Sc.(Eng), M.I.E.Aust, N.P.E.R., C.P.Eng.

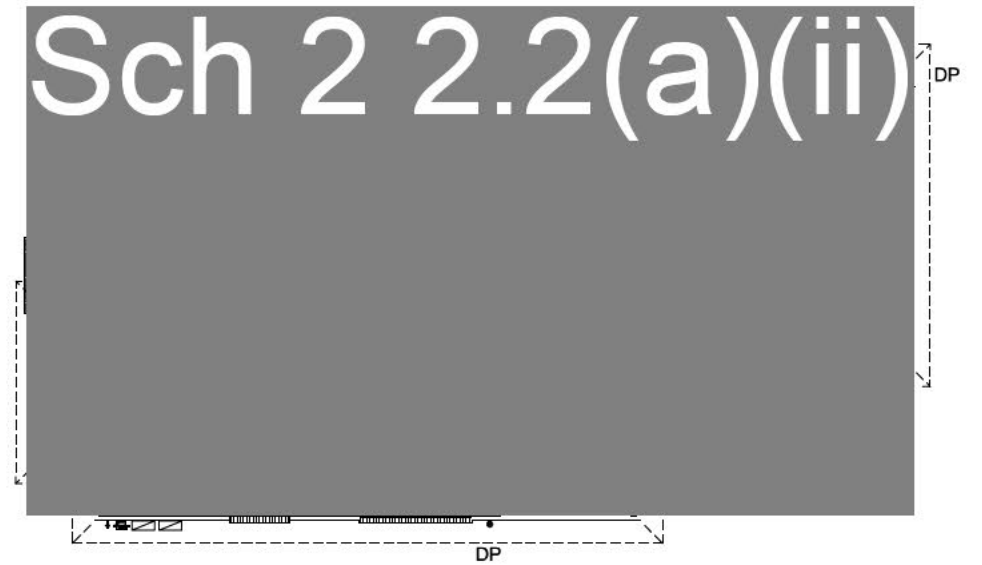
CLIENT REF:  
J003821  
DATE:  
24.07.14  
DRAWN:  
TS  
SCALE:  
AS SHOWN

CLIENT:  
RAWSON HOMES  
1 HOMEBUSH BAY DRIVE  
BUILDING F, LEVEL 2, SUITE 1  
ROHDES, NSW, 2138  
TELEPHONE: 02 8765 5500  
FAX: 02 8765 8099  
BUILDER'S LICENCE No. 33483C

FOR:  
Sch 2 2.2(a)(ii)  
SITE ADDRESS:  
BLOCK 12, SECTION 80 (18) DIGBY CIRCUIT  
GRACE A.C.T.

DRAWN	DATE	AMENDMENT	REV	JOB No:	ISSUE:
				RW2007	
				SHEET No:	06 of 06





ROOF & GROUND FLOOR LAYOUT  
SCALE 1:200/A3

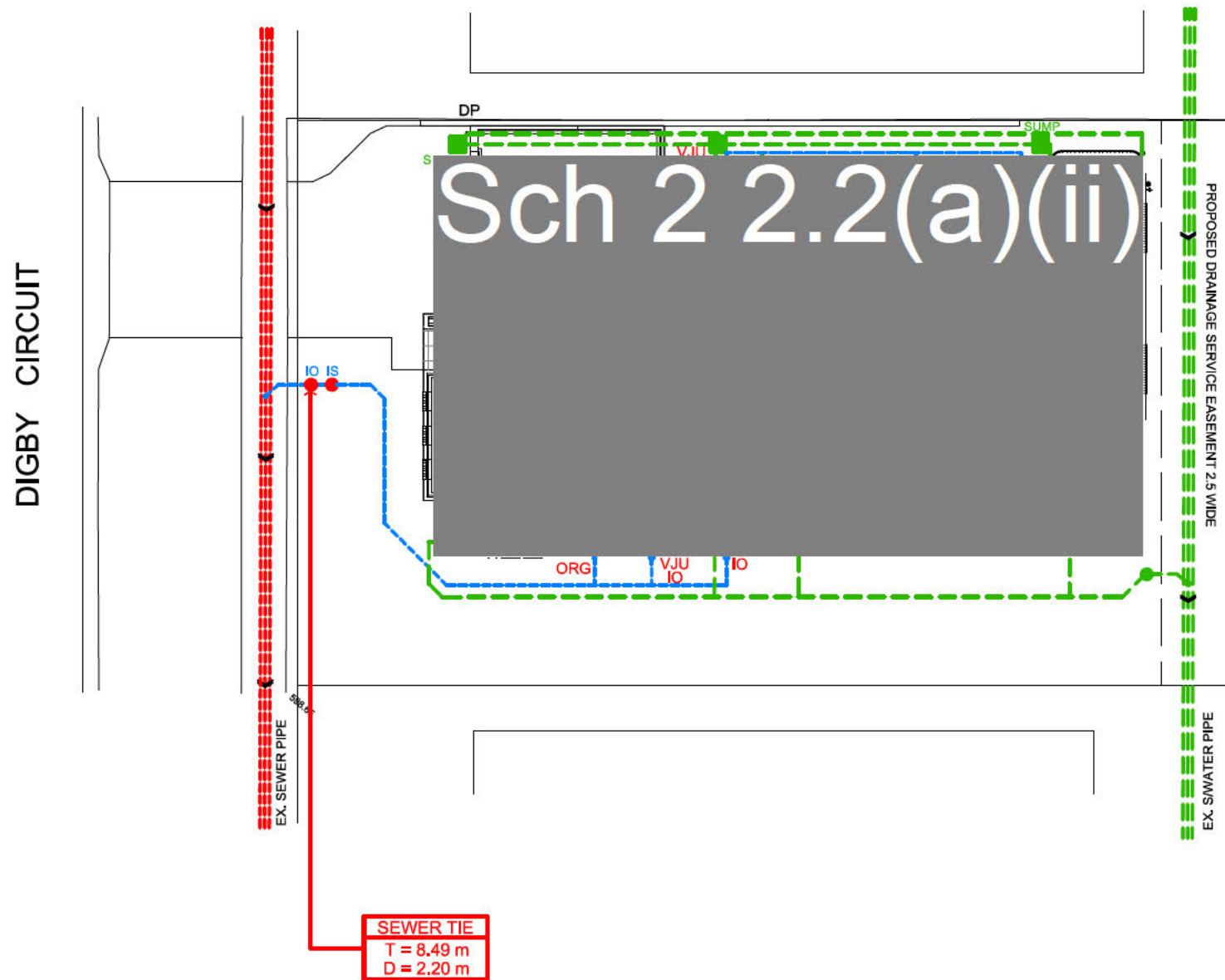
- SEWERAGE LAYOUT NOTES**
- EXISTING SEWER LINES & TIES TO BE LOCATED ON SITE PRIOR TO CONSTRUCTION.
  - ALL WORKS TO BE COMPLETED IN ACCORDANCE WITH AS3500.2.3 (2003)
  - ALL WORKS ARE TO BE CONDUCTED IN ACCORDANCE WITH THE CANBERRA SEWERAGE REGULATIONS.
  - THE INSPECTION SHAFT AT THE PROPERTY BOUNDARY TO BE IN ACCORDANCE WITH PLUMBING NOTE No.3.

**SANITARY FIXTURES**

(1) TOILETS	2
(2) BATHS	1
(3) BASINS	3
(4) SHOWERS	2
(5) KITCHEN SINKS	1
(6) LAUNDRY TROUGH	1



- ORG - OVERFLOW RELIEF GULLY  
VJU - VERTICAL JUMP UP  
VP - VENT PIPE  
SVP - SOIL VENT PIPE  
IO - INSPECTION OPENING



**SEWERAGE LAYOUT - WORK AS EXECUTED**  
SCALE 1:200/A3



- STORMWATER LAYOUT NOTES**
- PITS DEEPER THAN 600mm TO BE 600 X 900 W, ELSE 375 SQ U.N.O.
  - ALL PIPES TO HAVE 1% MIN. GRADE U.N.O.
  - ALL DOWNPIPES TO BE 100 X 50 BOX OR 90 Ø.
  - PIPES TO BE U.P.V.C. OR STORMWATER PIPE TO A.S.1254.
  - PITS TO BE STANDARD PRECAST CONCRETE PITS OR BRICK RENDERED WITH CONCRETE HEAVY DUTY GRATES SIZED AS PITS PER PLAN.
  - NO SEWER VENTS, GULLY PITS OR SIMILAR TO BE LOCATED BELOW THE MAXIMUM WATER SURFACE LEVEL IN DETENTION BASINS.
  - PERSONS UTILISING THIS PLAN FOR ANY PURPOSES SHALL VERIFY THE DATUM & RESPECTIVE LEVELS PRIOR TO COMMENCING ANY WORKS & NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
  - DRIVEWAY LEVELS PROVIDED FOR DRAINAGE DESIGN PURPOSES ONLY. LEVELS MAY BE ADJUSTED TO SUIT FINAL HOUSE CUT/FILL CONDITIONS BUT NEED TO MAINTAIN INTENT OF DRAINAGE SYSTEM. ENGINEER TO BE CONSULTED PRIOR TO CONSTRUCTION TO ENSURE INTENT MAINTAINED.
  - END OF EXISTING DRAINAGE LINE TO BE EXPOSED & LEVELS CONFIRMED BY BUILDER PRIOR TO COMMENCEMENT OF WORKS.
  - BUILDERS TO ENSURE SERVICES CONNECTIONS TO HOUSE DO NOT CONFLICT WITH DRAINAGE DESIGN REQUIREMENTS.
  - ALL WORKS TO BE CONSTRUCTED TO GOOD BUILDING PRACTICE & MATERIALS TO MEET ACCEPTED SPECIFICATIONS.

**LEGEND**

P1	PIT LABEL	G.F.L.	GARAGE FLOOR LEVEL
[Symbol]	SUMP PIT	• 0.00	EXISTING REDUCED LEVEL
[Symbol]	300x300 FLOOR GULLY	• R.L. 157.00	PROPOSED REDUCED LEVEL
[Symbol]	100/150 Ø GARDEN GULLY	[Symbol]	DOWNPIPE
[Symbol]	STORMWATER PIPE	[Symbol]	SPITTER/SPREADER
[Symbol]	AERIAL PIPE	[Symbol]	CLEANING EYE
S.L.	SURFACE LEVEL	+++++	SEDIMENT FENCE
I.L.	INVERT LEVEL	----	AG LINE
F.F.L.	FINISHED FLOOR LEVEL	[Symbol]	SEWERAGE PIPELINE 100 Ø PVC LAID AT 1.65% MIN

**alw design**  
CIVIL ENGINEERING CONSULTANTS

P: 02 8819 2565 F: 02 8819 2597 E: admin@alwdesign.com.au  
M: 0413 763 432 69A COWELLS LANE, ERMINGTON NSW 2115

PROJECT: PROPOSED RESIDENTIAL DWELLING AT BLOCK 12 / SECTION 80, 18 DIGBY CIRCUIT, CRACE ACT

DRAWING: STORMWATER & SEWERAGE LAYOUT

DESIGNED	DRAWN	CHECKED:	ANDREW L WAHBE - BE (CIVIL) MIEAUST PENG
A.W	M.W	DRAWINGS NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY DESIGNING ENGINEER	
C	ISSUED FOR WORK AS EXECUTED		16/12/14
ISSUE	REVISION DESCRIPTION	APPR. DATE	

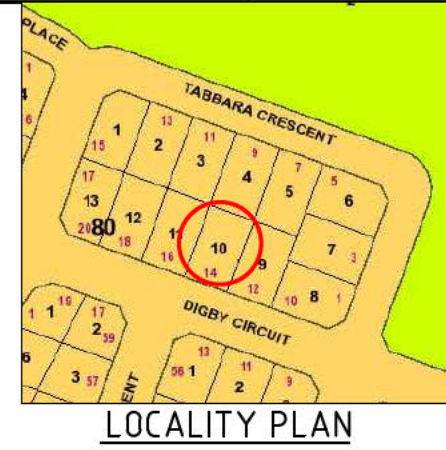
JOB NUMBER: SW14321  
DRAWING NUMBER: SW14321 - S1



**DRAINAGE PLAN**  
 NUMBER: \_\_\_\_\_

OWNER RENAISSANCE HOMES  
 BLOCK 10 SECTION 80  
 SUBURB CRACE

**PLAN OF SANITARY DRAINAGE**  
 DESIGNED TO AS3500



- GENERAL NOTES**
- EXISTING SEWER LINES TO BE LOCATED ON SITE PRIOR TO COMMENCEMENT OF WORK.
  - ALL PLUMBING AND DRAINAGE TO BE INSTALLED IN ACCORDANCE WITH AS3500.
  - ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE CANBERRA SEWERAGE AND WATER SUPPLY REGULATIONS.
  - THIS PLAN TO BE READ IN CONJUNCTION WITH APPROVED ARCHITECTURAL PLANS AND SPECIFICATIONS.
  - INSPECTION SHAFT AT PROPERTY BOUNDARY TO BE IN ACCORDANCE WITH PLUMBING NOTE No3.
  - ORG LEVELS TO BE IN ACCORDANCE WITH AS3500.2.2 CLAUSE 4.6.6.6 & 4.6.6.7 & PLUMBING NOTE 22.
  - UNPLASTICISED POLYVINYL CHLORIDE PIPE DRAINS (UPVC) TO BE CONSTRUCTED IN ACCORDANCE WITH AS2032 AND THE CANBERRA SEWERAGE AND WATER SUPPLY REGULATIONS.
  - TEMPERED HOT WATER REQUIRED AT ALL ABLUTION FIXTURES.
  - PLUMBING AND DRAINAGE TO CONFORM TO ACTPLA PLUMBING NOTES 22 AND 23.

**LEGEND**

	SEWER MAIN
	STORMWATER MAIN
	WATER MAIN
	SEWER LINES
	VENT PIPE
	STORMWATER LINES
	AG LINES
	DOMESTIC WATER
	NON-POTABLE WATER
	90Ø AG LINE WITH FILTER SOCK CONNECTION TO STORMWATER DRAINAGE
	FOP
	300X300 YARD SUMP. EXACT LOCATION TO BE DETERMINED ON SITE BY LANDSCAPE CONTRACTOR AND BUILDER
	STANDARD STREET HYDRANT
	STOP COCK
	WATER METER
AAV	AIR ADMITTANCE VALVE
CO	CLEAR OUT
CWR/D	COLD WATER RISER/DROPPER
DT	DISCONNECTOR TRAP
FW	FLOOR WASTE
HDPE	HEAVY DUTY POLYETHYLENE
IO	INSPECTION OPENING
IS	INSPECTION SHAFT
O/F	OVERFLOW
ORG	OVERFLOW RELIEF GULLY
SC	STOP COCK
SMH	SEWER MANHOLE
ST	SILT TRAP
SVP	SOIL VENT PIPE
TD	TUNDISH
TG	TEST GATE
TTD	TRAPPED TUNDISH
UPVC	UNPLASTICISED POLYVINYL CHLORIDE
VP	VENT PIPE
WS	WASTE STACK

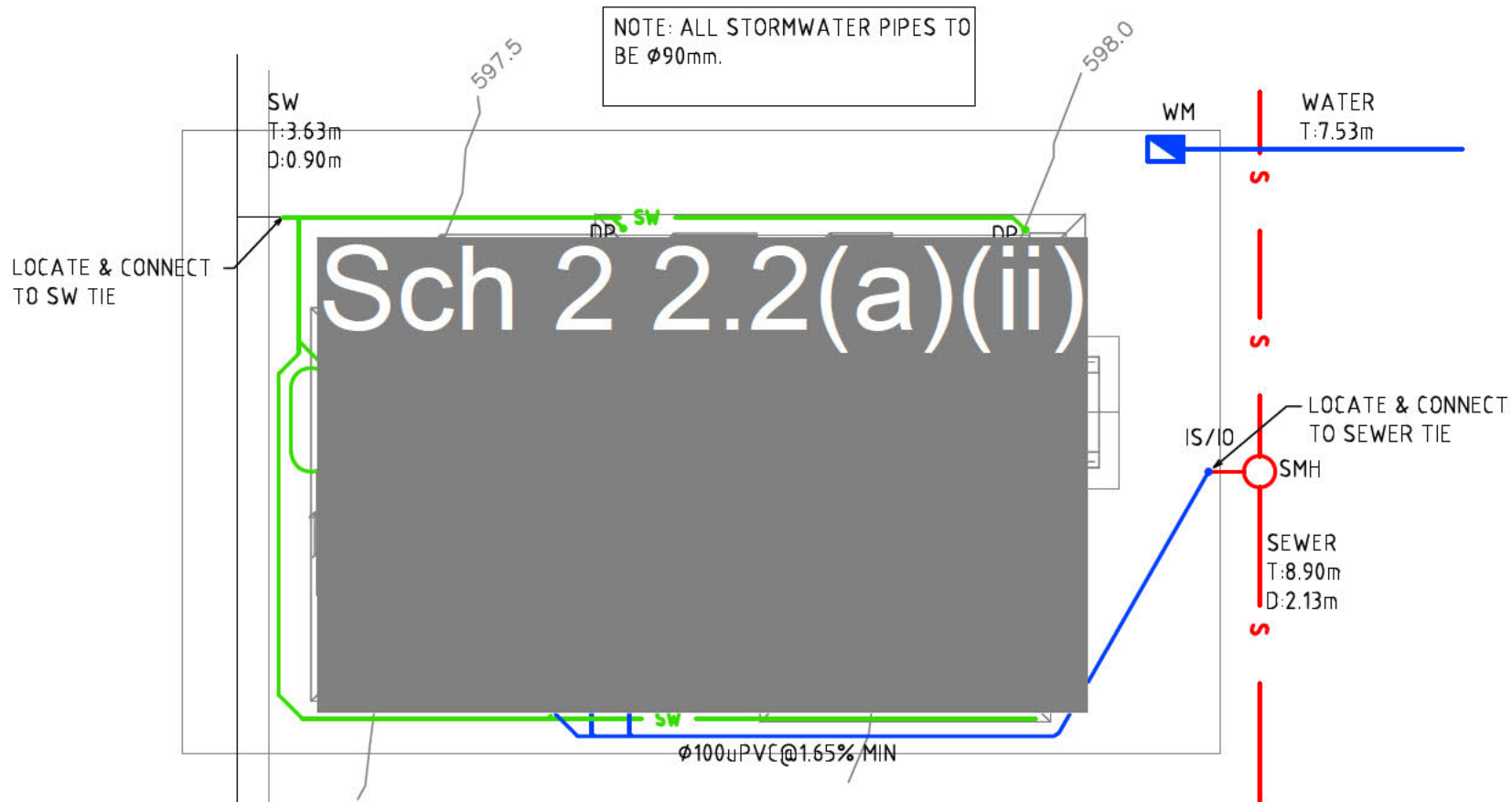
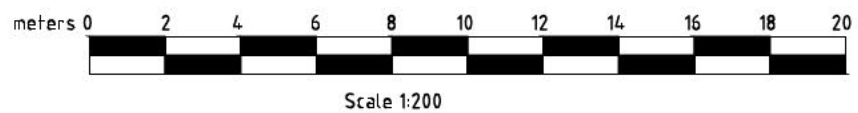
**SANITARY FIXTURES**

1 WC	2
2 BATH	1
3 BASIN	3
4 SHOWER	2
5 KITCHEN SINK	1
6 LAUNDRY TROUGH	1
<b>TOTAL</b>	<b>10</b>

**MINIMUM INTERNAL DIMENSIONS STORMWATER AND INLET PITS**

Depth to invert of outlet	Minimum internal dimensions		
	Rectangular		Circular
	Width	Length	Diameter
<math>-600</math>	450	450	600
<math>-600</math> - <math>-900</math>	600	600	900
<math>-900</math> - <math>-1200</math>	600	900	1000
<math>-1200</math>	900	900	1000

AS3500.3.2 Table 8.2



# INTERIM PLAN

**PLUMBING PLAN APPROVED**

APPROVED BY \_\_\_\_\_

REG. NUMBER \_\_\_\_\_

DATE \_\_\_\_\_

ISSUE / AMEND	DESCRIPTION	DATE	DRAWN
A	INTERIM PLAN	31.01.13	NP

**sellick consultants**  
 14 lonsdale st braddon act 2612  
 p: 02 6257 2706 f: 02 6247 2203  
 sellickconsultants.com.au

PROPOSED NEW RESIDENCE

RENAISSANCE HOMES

DESIGNED BY  
 NP  
 CHECKED BY  
 LH  
 AUTHORISED BY  
 DATE

DRAWING TITLE  
 HYDRAULIC SERVICES  
 GENERAL ARRANGEMENT

PROJECT LOCATION  
 BLOCK 10 SECTION 80 CRACE

SCALE  
 1:200@A3

JOB NO.  
 130019

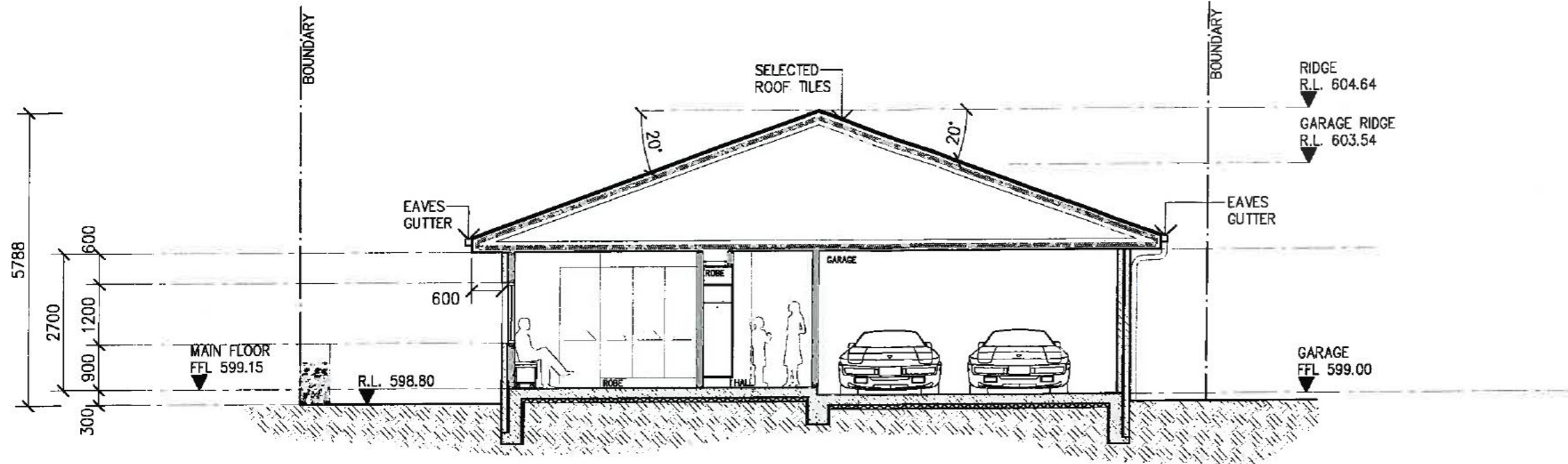
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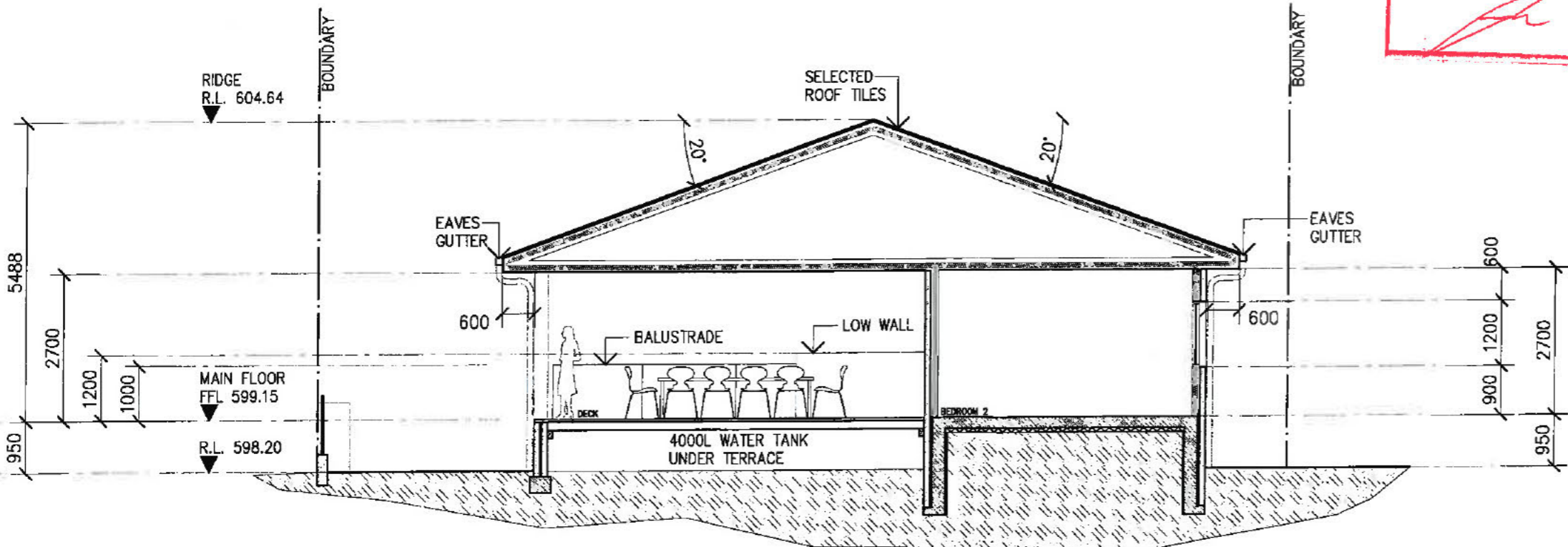


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**A**  
SECTION A-A  
A100 1:50 @ A1 / 1:100 @ A3

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**B**  
SECTION B-B  
A100 1:50 @ A1 / 1:100 @ A3

Issue Register		
Ref.	Date	Issue/Amendment
-	10/02/12	FOR INFORMATION
A	01/03/12	FOR INFORMATION
B	06/03/12	FOR INFORMATION
C	01/06/12	ROOF PITCH, WINDOW SIZES & WATER TANK AMENDED
D	10/07/12	ISSUE FOR CIC APPROVAL
E	24/07/12	AMENDMENTS REQUIRED BY CC INCORPORATED (FRONT LANDSCAPING, ALL EAVES MIN 600MM TO FASCIA, NOTE REGARDING DRIVEWAY CONNECTION TO CROSSOVER), ISSUE FOR CIC APPROVAL
F	13/09/12	AMENDMENT TO GARAGE AND WALL SIZES
G	14/09/12	AMENDMENT TO BATHROOM, ENSUITE AND WALL SIZE

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**Small Quinton Coleman Architects**  
ABN 6108193380 Hawker Professional Centre, Hawker ACT 2914  
Phone (02)6279 8500 Fax (02)6250 2921  
Primary numbers: M Coleman ACT 975, NSW 7574

Project Title:  
**Sch 2 2.2(a)(ii)**

Client:  
Sch 2 2.2(a)(ii)

Address:  
Corner Digby Cct & Tabbara Cres, CRACE, ACT 2911

Block Section Division  
13 80 CRACE

Drawing Title:  
**SECTIONS**

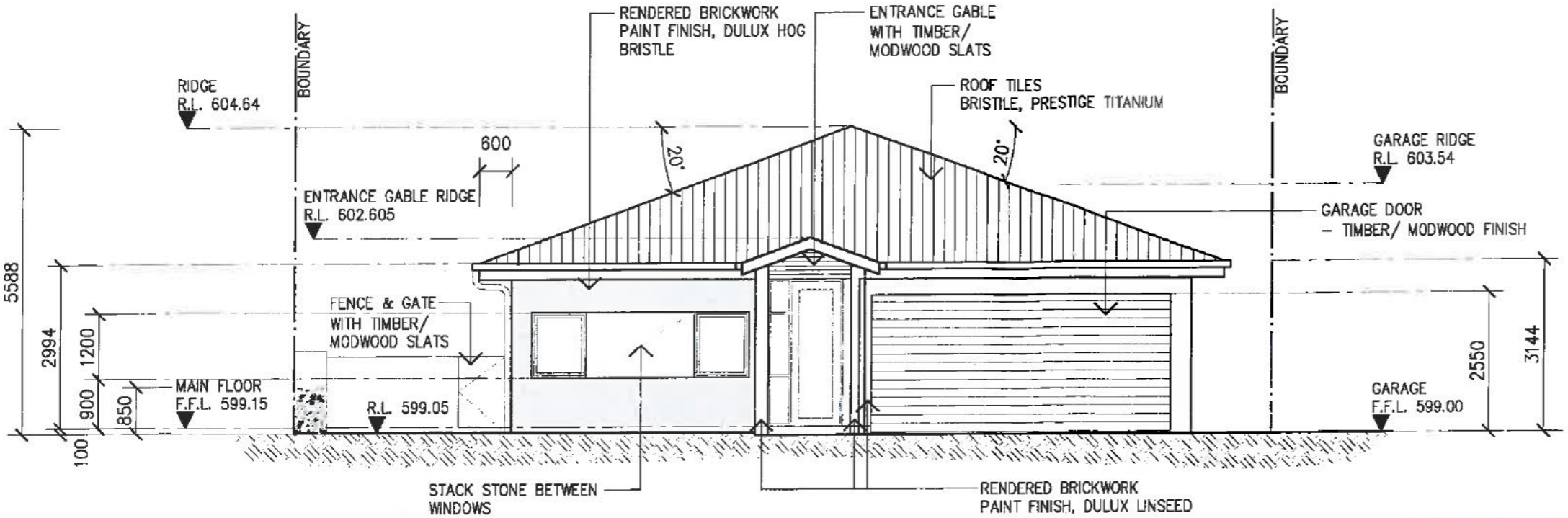
Drawn: AH  
Reviewer: FO  
Scale: 1:100 @ A3  
Project No.: P1100-PROJ-010101 SMALL QUINTON COLEMAN ARCHITECTS

Director: -  
Verifier: -  
Date: 26/05/11  
CAD Name:

Drawing No.: 1113-  
Sheet No.: A-200  
Amendment: G

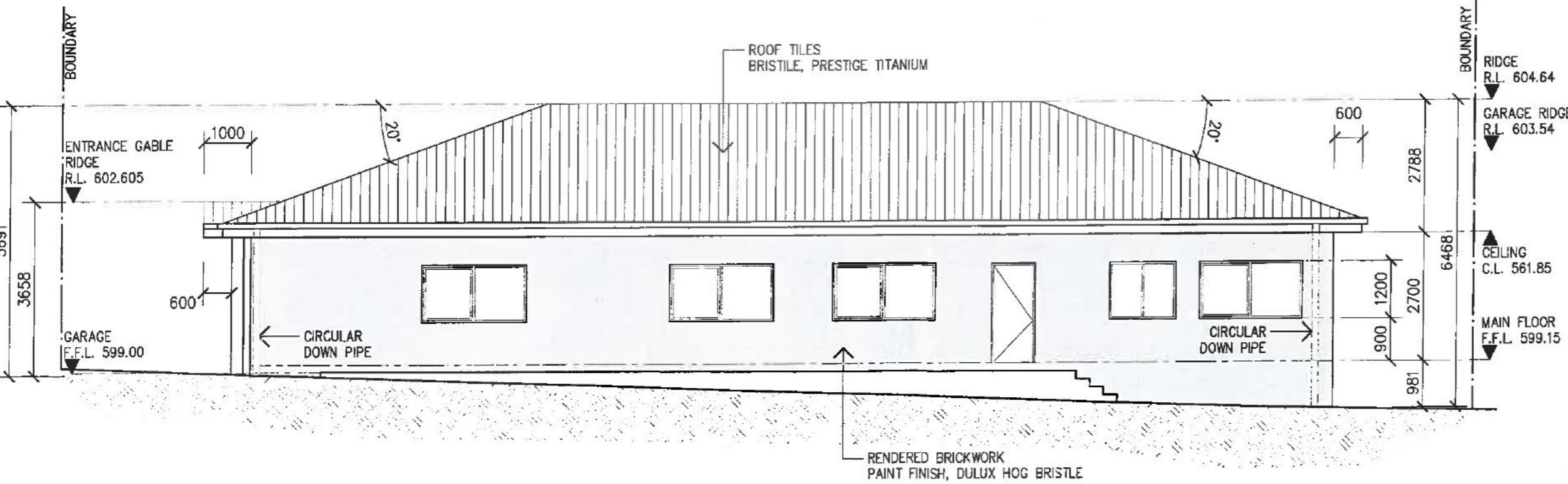
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1 SOUTH ELEVATION  
A100 1:50 @ A1 / 1:100 @ A3

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2 EAST ELEVATION  
A100 1:50 @ A1 / 1:100 @ A3

Issue Register		
Ref.	Date	Issue/Amendment
-	10/02/12	FOR INFORMATION
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B	06/03/12	FOR INFORMATION
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E	24/07/12	AMENDMENTS REQUIRED BY CIC INCORPORATED (FRONT LANDSCAPING, ALL EAVES MIN 600MM TO FASCIA, NOTE REGARDING DRIVEWAY CONNECTION TO CROSSOVER), ISSUE FOR CIC APPROVAL
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**Small Quinton Coleman Architects**  
ABN 81081693360 Hawker Professional Centre, Hawker ACT 2614  
Phone (02)6276 8500 Fax (02)6288 2921  
Primary numbers: M Coleman ACT 875, NSW 7574

Project Title:  
**Sch 2 2.2(a)(ii)**

Client:  
**Sch 2 2.2(a)(ii)**

Address:  
Corner Digby Cct & Tabbara Cres, CRACE, ACT 2911

Block Section Division  
13 80 CRACE

Drawing Title:  
**ELEVATIONS**

Drawn: AH  
Reviewer: FO  
Scale: 1:100 @ A3  
Project No.:  
Date: 26/05/11  
CAD Name:

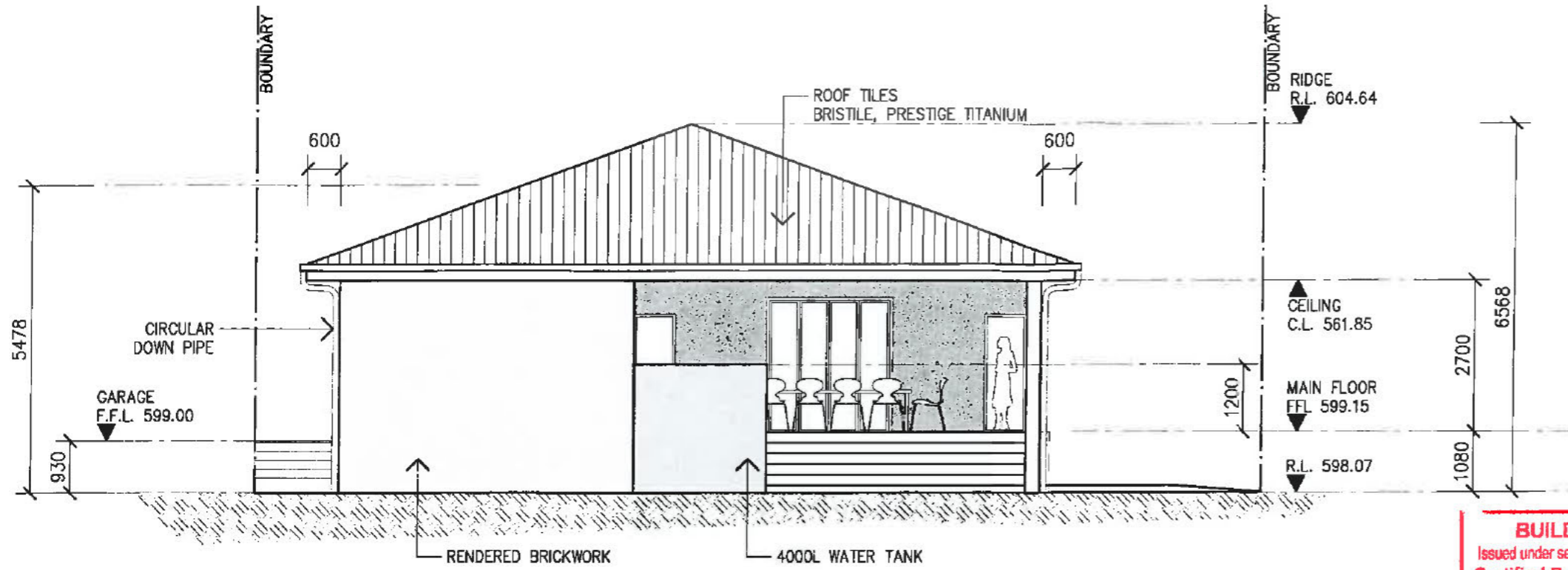
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Date:  
CAD Name:

Drawing No.: 1113-  
Sheet No.: A-300  
Amendment: G

21322



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**3 NORTH ELEVATION**  
 A100 1:50 @ A1 / 1:100 @ A3

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Issue Register		
Ref.	Date	Issue/Amendment
-	10/02/12	FOR INFORMATION
A	01/03/12	FOR INFORMATION
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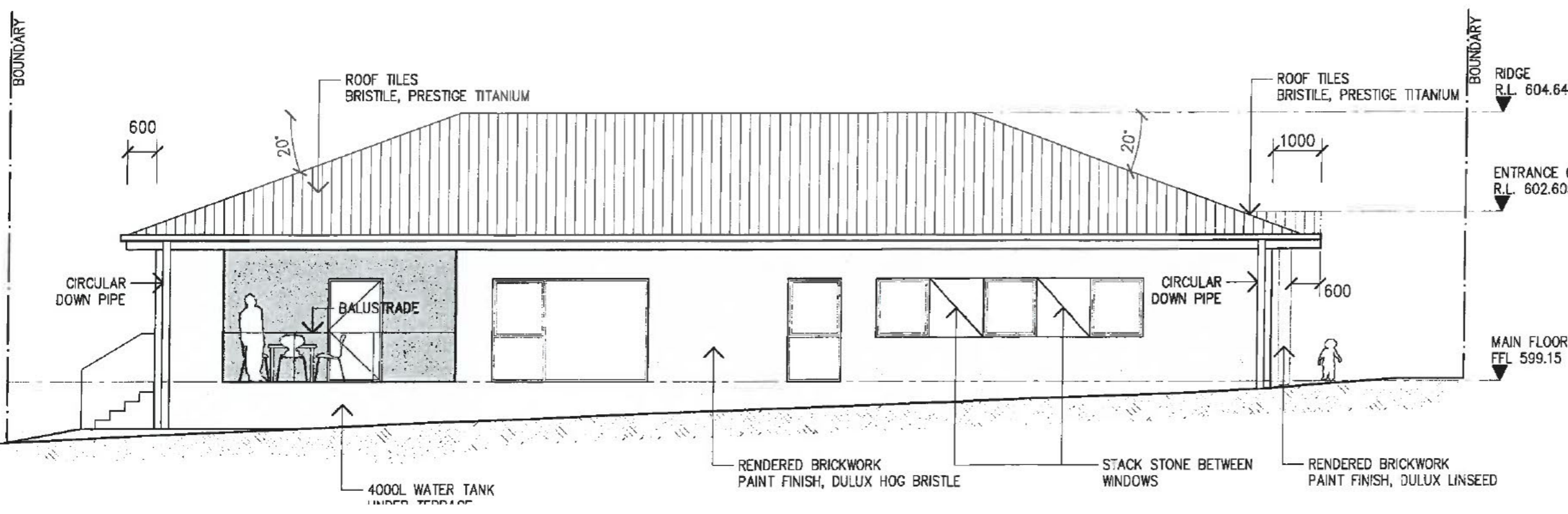
**Small Quinton Coleman Architects**  
 ABN 8109153350 Hawker Professional Centre, Hawker ACT 2814  
 Phone (02)6275 8500 Fax (02)6255 2921  
 Primary email: M.Coleman@ACT 875, NSW 7574

Project Title: **Sch 2 2.2(a)(ii)**  
 Client: **Sch 2 2.2(a)(ii)**  
 Address: **Corner Digby Cct & Tabbara Cres, CRACE, ACT 2911**  
 Block 13 Section 80 Division CRACE

Drawing Title: **ELEVATIONS**

Drawn: AH Director: -  
 Reviewer: FO Verifier: -  
 Scale: 1:100 @ A3 Date: 26/05/11  
 Project No.: CAD Name:

Drawing No.: 1113- Sheet No.: A-301 Amendment: G  
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**4 WEST ELEVATION**  
 A100 1:50 @ A1 / 1:100 @ A3

100

200

300mm for pdf scaling

21322







200mm for pdf scaling



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 is amended under section 32 of the Building Act 2004  
 Certified Building Solutions Pty Ltd  
 16 AUG 2013  
*[Signature]*  
 Licence No: 200426203

Issue Register		
Ref.	Date	Issue/Amendment
-	06/03/12	FOR INFORMATION
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B	10/07/12	ISSUE FOR CIC APPROVAL
C	24/07/12	AMENDMENTS REQUIRED BY CIC INCORPORATED (FRONT LANDSCAPING, ALL EAVES MIN 600MM TO FASCIA, NOTE REGARDING DRIVEWAY CONNECTION TO CROSSOVER), ISSUE FOR CIC APPROVAL
D	13/09/12	AMENDMENT TO GARAGE AND WALL SIZES
E	14/09/12	AMENDMENT TO BATHROOM, ENSUITE AND WALL SIZE
F	16/10/12	CAD BACKGROUND ISSUE
G	31/05/13	STAIRS & WALLS ADDED TO DECK, DOOR REPLACED WITH HIGH WINDOW AMENDMENT TO PORCH ROOF

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**FOR APPROVAL**

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**Small Quinton Coleman Architects**  
 ABN 81081683350 Hawker Professional Centre, Hawker ACT 2814  
 Phone (02)8276 8500 Fax (02)8255 2821  
 Primary nominees: M Coleman ACT 976, NSW 7574

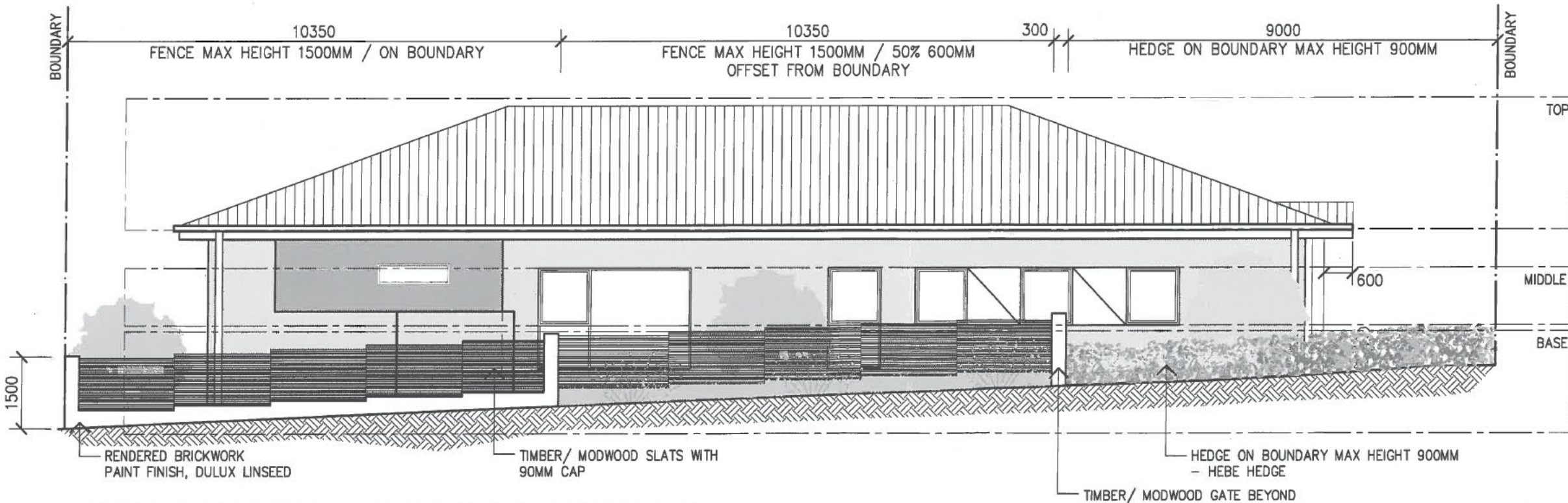
Project Title: **Sch 2 2.2(a)(ii)**  
 Client: **Sch 2 2.2(a)(ii)**  
 Address: **Corner Digby Cct & Tabbara Cres, CRACE, ACT 2911**  
 Block 13 Section 80 Division CRACE

Drawing Title: **STREET ELEVATIONS**

Drawn: AH Director: -  
 Reviewer: FO Verifier: -  
 Scale: 1:100 @ A3 Date: 28/05/11  
 Project No.: CAD Name:

Drawing No.: 1113- Sheet No.: A-302 Amendment: G  
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**1 SOUTH ELEVATION - PRIMARY FRONTAGE**  
 A100 1:50 @ A1 / 1:100 @ A3



**4 WEST ELEVATION - SECONDARY FRONTAGE**  
 A100 1:50 @ A1 / 1:100 @ A3

**#21322**

0

100

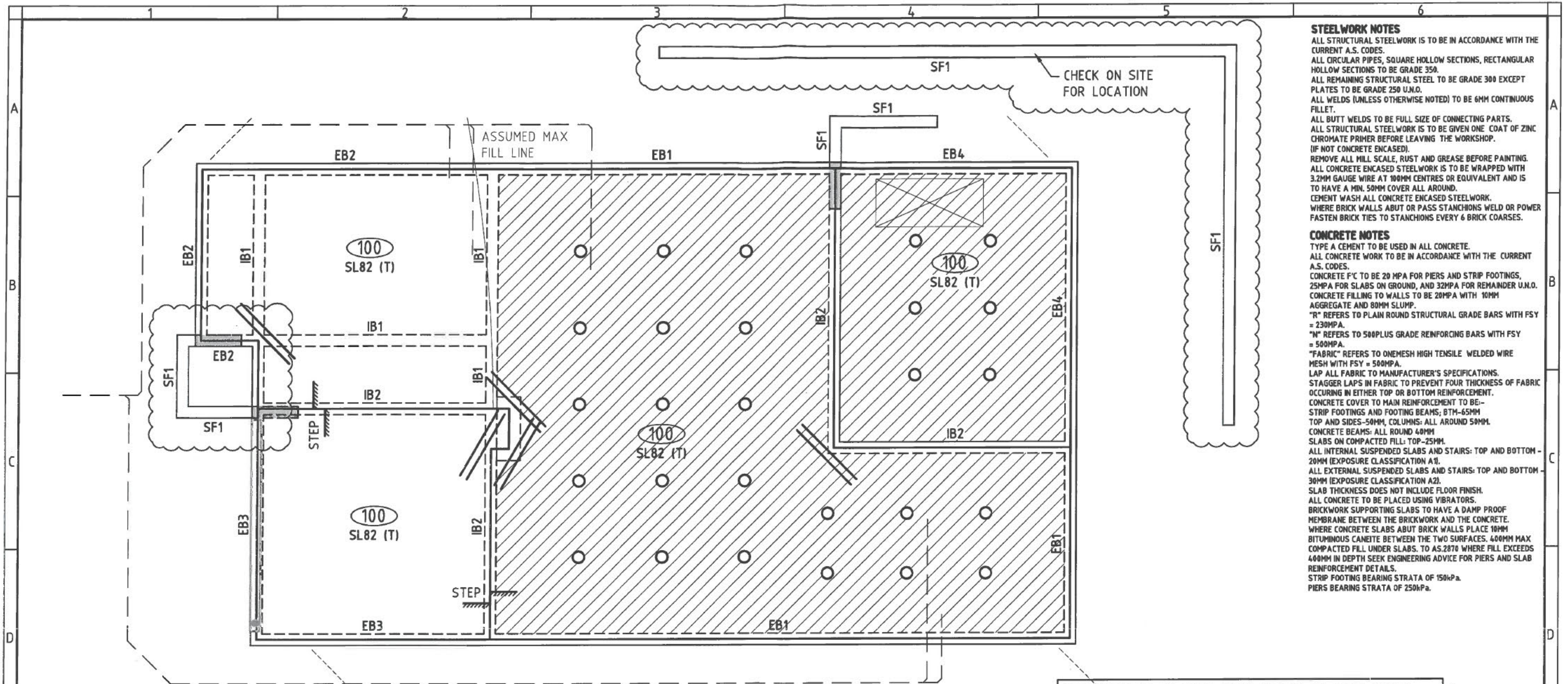
200

300mm for pdf scaling









**STEELWORK NOTES**  
 ALL STRUCTURAL STEELWORK IS TO BE IN ACCORDANCE WITH THE CURRENT A.S. CODES.  
 ALL CIRCULAR PIPES, SQUARE HOLLOW SECTIONS, RECTANGULAR HOLLOW SECTIONS TO BE GRADE 350.  
 ALL REMAINING STRUCTURAL STEEL TO BE GRADE 300 EXCEPT PLATES TO BE GRADE 250 U.N.O.  
 ALL WELDS (UNLESS OTHERWISE NOTED) TO BE 6MM CONTINUOUS FILLET.  
 ALL BUTT WELDS TO BE FULL SIZE OF CONNECTING PARTS.  
 ALL STRUCTURAL STEELWORK IS TO BE GIVEN ONE COAT OF ZINC CHROMATE PRIMER BEFORE LEAVING THE WORKSHOP. (IF NOT CONCRETE ENCASED).  
 REMOVE ALL MILL SCALE, RUST AND GREASE BEFORE PAINTING.  
 ALL CONCRETE ENCASED STEELWORK IS TO BE WRAPPED WITH 3.2MM GAUGE WIRE AT 100MM CENTRES OR EQUIVALENT AND IS TO HAVE A MIN. 50MM COVER ALL AROUND.  
 CEMENT WASH ALL CONCRETE ENCASED STEELWORK.  
 WHERE BRICK WALLS ABUT OR PASS STANCHIONS WELD OR POWER FASTEN BRICK TIES TO STANCHIONS EVERY 6 BRICK COARSE.

**CONCRETE NOTES**  
 TYPE A CEMENT TO BE USED IN ALL CONCRETE.  
 ALL CONCRETE WORK TO BE IN ACCORDANCE WITH THE CURRENT A.S. CODES.  
 CONCRETE F'C TO BE 20 MPA FOR PIERS AND STRIP FOOTINGS, 25MPA FOR SLABS ON GROUND, AND 32MPA FOR REMAINDER U.N.O.  
 CONCRETE FILLING TO WALLS TO BE 20MPA WITH 10MM AGGREGATE AND 80MM SLUMP.  
 "R" REFERS TO PLAIN ROUND STRUCTURAL GRADE BARS WITH FSY = 230MPA.  
 "N" REFERS TO 500PLUS GRADE REINFORCING BARS WITH FSY = 500MPA.  
 "FABRIC" REFERS TO ONEMESH HIGH TENSILE WELDED WIRE MESH WITH FSY = 500MPA.  
 LAP ALL FABRIC TO MANUFACTURER'S SPECIFICATIONS. STAGGER LAPS IN FABRIC TO PREVENT FOUR THICKNESS OF FABRIC OCCURRING IN EITHER TOP OR BOTTOM REINFORCEMENT.  
 CONCRETE COVER TO MAIN REINFORCEMENT TO BE:- STRIP FOOTINGS AND FOOTING BEAMS; 87M-65MM TOP AND SIDES-50MM, COLUMNS: ALL AROUND 50MM.  
 CONCRETE BEAMS: ALL AROUND 60MM.  
 SLABS ON COMPACTED FILL: TOP-25MM.  
 ALL INTERNAL SUSPENDED SLABS AND STAIRS: TOP AND BOTTOM - 20MM (EXPOSURE CLASSIFICATION A1).  
 ALL EXTERNAL SUSPENDED SLABS AND STAIRS: TOP AND BOTTOM - 30MM (EXPOSURE CLASSIFICATION A2).  
 SLAB THICKNESS DOES NOT INCLUDE FLOOR FINISH.  
 ALL CONCRETE TO BE PLACED USING VIBRATORS.  
 BRICKWORK SUPPORTING SLABS TO HAVE A DAMP PROOF MEMBRANE BETWEEN THE BRICKWORK AND THE CONCRETE.  
 WHERE CONCRETE SLABS ABUT BRICK WALLS PLACE 10MM BITUMINOUS CEMENT BETWEEN THE TWO SURFACES. 400MM MAX COMPACTED FILL UNDER SLABS. TO AS.2870 WHERE FILL EXCEEDS 400MM IN DEPTH SEEK ENGINEERING ADVICE FOR PIERS AND SLAB REINFORCEMENT DETAILS.  
 STRIP FOOTING BEARING STRATA OF 150kPa.  
 PIERS BEARING STRATA OF 250kPa.

# FOOTING/SLAB PLAN

SCALE 1:100  
 DESIGNED FOR CLASS 'M' CLASSIFICATION.

- LEGEND**
- 100 DENOTES 100mm SLAB DEPTH (OVERALL)
  - DENOTES STEP IN SLAB
  - DENOTES TYP. 2N12 TRIMMERS, 2000mm LONG AT ALL INTERNAL (RE-ENTRANT) SLAB CORNERS

○ DENOTES Ø300mm BORED PIERS TO A MIN BEARING CAPACITY OF 600kPa AT 1800cts IN RESIDENCE AND 1500cts IN GARAGE

DENOTES ADDITIONAL SL72 (BTM)

NOTE: IF MORE THAN 400mm FILL UNDER SLAB ADD SL72 BTM + PIERS AT 1800cts, FOR GARAGE 1500cts

NOTE: REMOVE ALL VEGETATION AND TOP SOIL WITHIN BUILDING ENVELOPE. BEARING STRATA TO BE UNIFORM THROUGHOUT BUILDING PLATFORM

NOTE: BUILDER TO ISSUE CSIRO REPORT TO HOME OWNER GUIDE TO HOMEOWNERS ON FOUNDATION MAINTENANCE AND FOOTING PERFORMANCE

NOTE: REMOVE ALL ORGANIC AND FOREIGN MATTER FROM SITE GRADE ROLL AND PREPARE TO AS3798

NOTE: ARTICULATE ALL BRICK WORK & DRAINAGE TO BCA

NOTE: FOOTING TO BE FOUNDED ON NATURAL GROUND

NOTE: COMPACTED FILL TO AS3798 & AS2870

No 21322

ISSUE/AMEND	DESCRIPTION	DATE	DRAWN
A.4	ADDITION OF STRIP FOOTINGS	02.08.13	KMc
A.3	EXTERNAL STRIP FOOTINGS AMENDED	04.12.12	KMc
A.2	ADDITION OF HYDRAULICS	31.10.12	KMc
A.1	ALFRESCO AMENDED TO SLAB FOR CONSTRUCTION	24.10.12	KMc
A		22.10.12	KMc

**sellick consultants**  
 po box 5005 braddon act 2612  
 p: 02 6201 0200 f: 02 6247 2203  
 sellickconsultants.com.au

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 VERIFY ALL DIMENSIONS ON SITE  
 BEFORE COMMENCING WORK.  
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PROJECT TITLE  
**PROPOSED RESIDENCE**

CLIENT  
**Sch 2 2.2(a)(ii)**

DESIGNED BY  
 DMc

CHECKED BY  
 DMc

AUTHORISED BY

DATE

DRAWING TITLE  
**FOOTING AND SLAB PLAN**

PROJECT LOCATION  
**BLOCK 13 SECTION 80 CRACE, ACT**

SCALE  
 AS SHOWN AT A3

JOB NO.  
**120781**

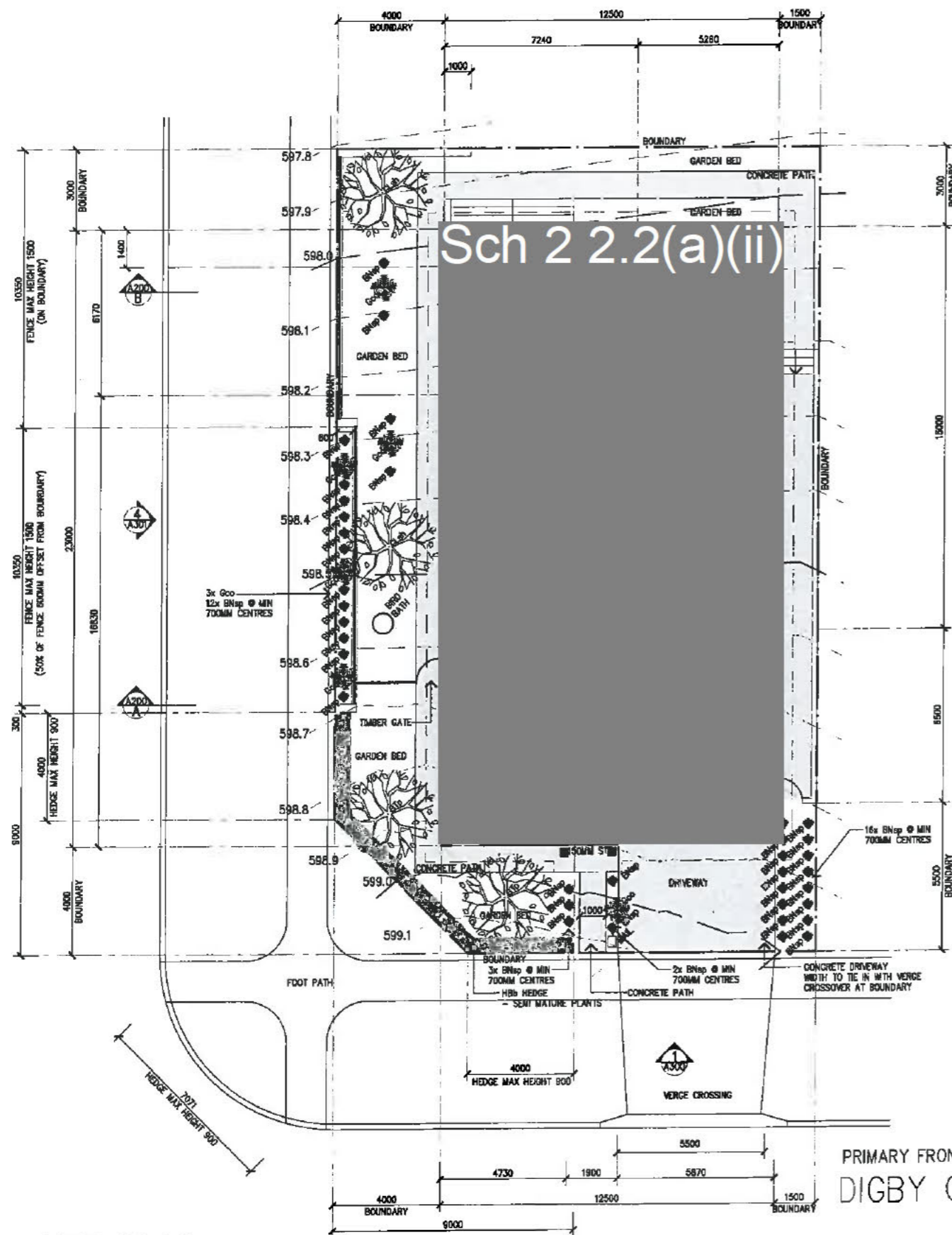
DRAWING NO.  
**S101**







TABBARA CRES  
SECONDARY FRONTAGE



**GENERAL NOTES:**

**EROSION AND SEDIMENT CONTROL:**  
1. THE DEVELOPMENT WILL COMPLY WITH THE BEST PRACTICE GUIDELINES - PREVENT POLLUTION FROM RESIDENTIAL BUILDING SITES, OCTOBER 2009.

**PRIVATE OPEN SPACE PLANTING:**  
2. MINIMUM 50% OF THE PRIVATE OPEN SPACE WILL BE RETAINED AS PLANTING AREA.

**WATER SENSITIVE URBAN DESIGN:**  
3. THE 4000L WATER TANK IS TO BE CONNECTED TO 50% OR 100M<sup>2</sup> OF THE ROOF AREA, WHICHEVER IS THE LESSER.  
4. THE TANK IS TO BE CONNECTED TO THE TOILET, LAUNDRY COLD WATER AND ALL EXTERNAL TAPS.

**BUILDING APPROVAL**  
Issued under section 28 of the Building Act 2004  
Certified Building Solutions Pty Ltd

**22 NOV 2012**

Licence No:  
200428203

**PLANT SELECTION**

**MEDIUM TREES**  
BTp Betula pendula  
GLah Gleditsia triacanthos

**LARGE SHRUBS**  
BNap Banksia spinulosa

**SMALL SHRUBS**  
Gco Grevilla confertifolia  
HEs Hebe "Blue Gem"



Issue Register		
Ref.	Date	Issue/Amendment
-	06/03/12	FOR INFORMATION
A	01/06/12	ROOF PITCH, WINDOW SIZES & WATER TANK AMENDED
B	10/07/12	ISSUE FOR CIC APPROVAL
C	24/07/12	AMENDMENTS REQUIRED BY CIC INCORPORATED (FRONT LANDSCAPING, ALL EAVES MIN 600MM TO FASCIA, NOTE REGARDING DRIVEWAY CONNECTION TO CROSSOVER), ISSUE FOR CIC APPROVAL
D	20/08/12	VERGE AND VERGE CROSSING SHOWN
E	22/08/12	GENERAL NOTES ADDED
F	13/09/12	AMENDMENT TO GARAGE AND WALL SIZES
G	14/09/12	AMENDMENT TO BATHROOM, ENSUITE AND WALL SIZE

**FOR APPROVAL**

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**Small Quinton Coleman Architects**

ASB 8108163350 Member Professional Centre, Member ACT 2614  
Phone (02)8278 8900 Fax (02)8256 2921  
Primary nominee: M Coleman ACT 875, NSW 7874

Project Title:  
**Sch 2 2.2(a)(ii)**

Client:  
**Sch 2 2.2(a)(ii)**

Address:  
Corner Digby Cct & Tabbara Cres, CRACE, ACT 2911  
Block Section Division  
13 80 CRACE

Drawing Title:  
**SITE PLAN**

Drawn: AH Director:  
Reviewed: FO Verifier:  
Scale: 1:200 @ A3 Date: 28/05/11  
Project No.: CAD Name:

Drawing No.: 1113- Sheet No.: A-001 Amendment: G  
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**SITE PLAN**  
1:100 @ A1 / 1:200 @ A3

PRIMARY FRONTAGE  
DIGBY CCT



200mm for pdf scaling

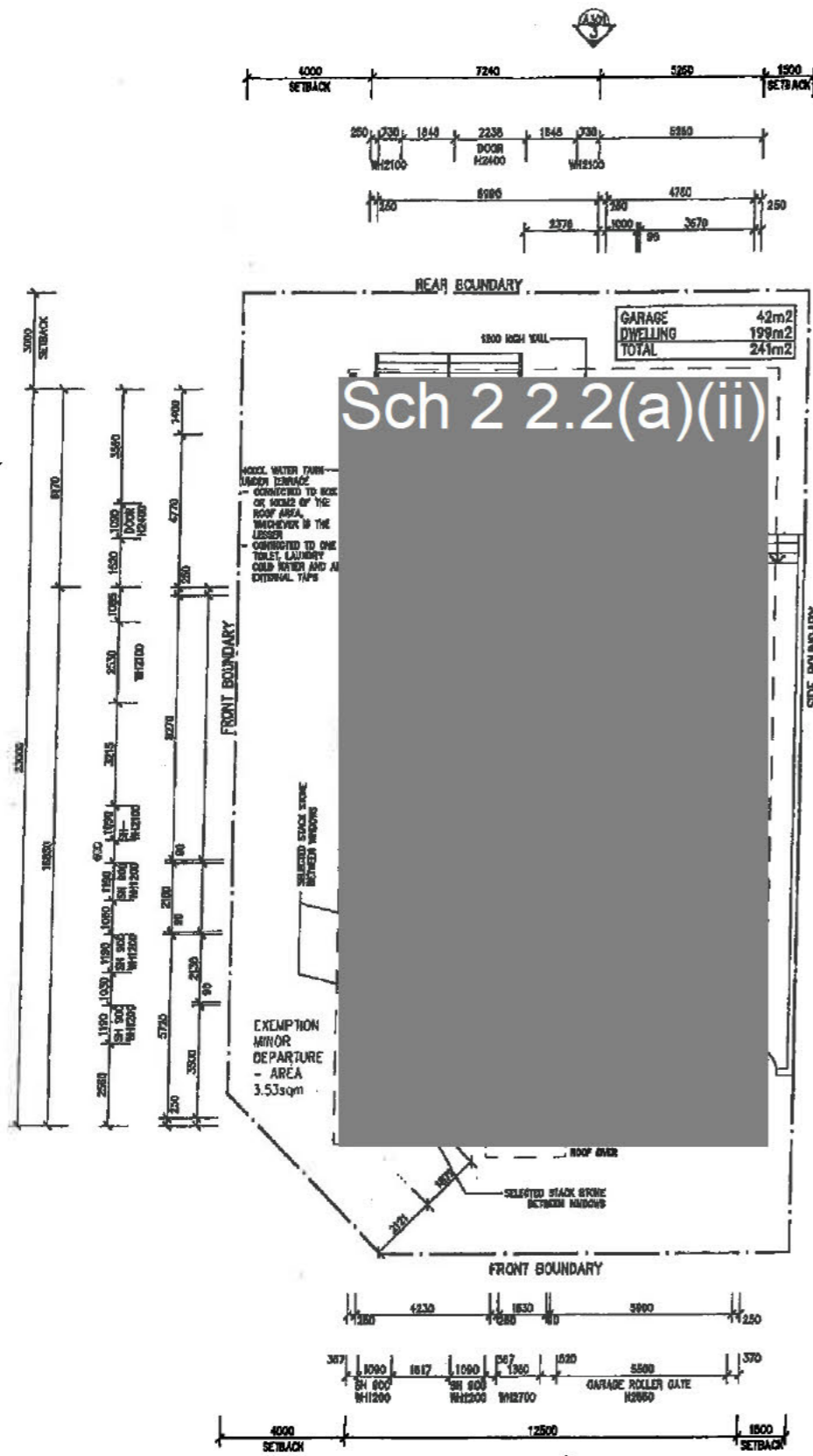
100

TABBARA CRES

DIGBY CCT

# GROUND FLOOR PLAN

1:100 @ A1 / 1:200 @ A3



**LEGEND:**  
 SH: SILL HEIGHT  
 WH: WINDOW HEIGHT

Planning & Development Regulation 2008  
 Section 1.100A  
**APPROVED**  
 Delegate of the ACT Planning and Land Authority  
 27.09.12

Planning & Development Regulation 2008  
 Section 1.100A(2)  
**DECLARATION**  
 of Extended Distance  
*(1879mm extension of Water  
 Bedroom corner into front  
 setback.*

**BUILDING APPROVAL**  
 Issued under section 28 of the Building Act 2004  
 Certified Building Solutions Pty Ltd  
**2 2 NOV 2012**  
 Licence No:  
 200426203



Ref.	Date	Issue/Amendment
-	22/02/12	FOR INFORMATION
A	24/02/12	CLIENT AMENDMENTS
B	06/03/12	FOR INFORMATION
C	01/06/12	ROOF PITCH, WINDOW SIZES & WATER TANK AMENDED
D	10/07/12	ISSUE FOR CIC APPROVAL
E	24/07/12	AMENDMENTS REQUIRED BY CIC INCORPORATED (FRONT LANDSCAPING, ALL EAVES MIN 500MM TO FASCIA, NOTE REGARDING DRIVEWAY CONNECTION TO CROSSOVER), ISSUE FOR CIC APPROVAL
F	22/08/12	GARAGE NOMINATED AS MINOR DEPARTURE, REQUIRING ACTPLA APPROVAL, WATER TANK NOTE ADDED
G	13/09/12	AMENDMENT TO GARAGE AND WALL SIZES
H	14/09/12	AMENDMENT TO BATHROOM, ENSUITE AND WALL SIZE.

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 Priority number 11 Colson ACT 078, NSW 7574

Project Title:  
**Sch 2 2.2(a)(ii)**  
 Client:  
 Sch 2 2.2(a)(ii)  
 Address:  
 Corner Digby Cct & Tabbara Cres, CRACE, ACT 2911  
 Block Section Division  
 13 80 CRACE

Drawing Title:  
**GROUND FLOOR PLAN**

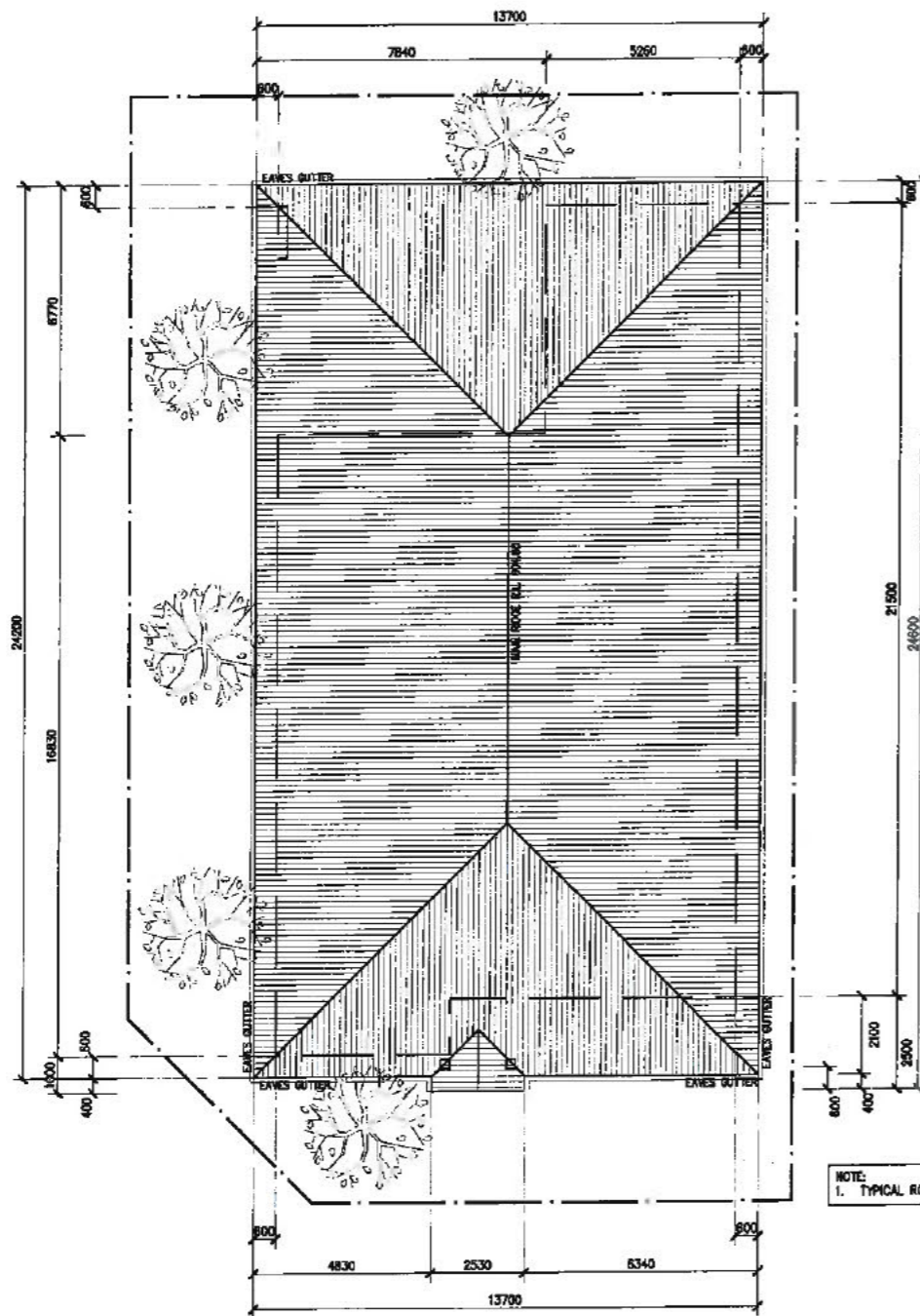
Drawn: Director:  
 FO -  
 Reviewer: Verifier:  
 FO -  
 Scale: Date:  
 1:200 @ A3 28/05/11  
 Project No.: CAD Name:

Drawing No.: Sheet No.: Amendment:  
 1113- A-100 H  
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21322



TABBARA CRES



DIGBY CCT

ROOF PLAN

1:100 @ A1 / 1:200 @ A3



Issue Register

Ref.	Date	Issue/Amendment
-	10/02/12	FOR INFORMATION
A	01/03/12	FOR INFORMATION
B	06/03/12	FOR INFORMATION
C	01/06/12	ROOF PITCH, WINDOW SIZES & WATER TANK AMENDED
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FOR APPROVAL

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Small Quinton Coleman Architects

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Phone (02)6278 8500 Fax (02)6255 2921  
Primary nominee M Coleman ACT 976, NSW 7574

Project Title:

Sch 2 2.2(a)(ii)

Client:

Sch 2 2.2(a)(ii)

Address:

Corner Digby Cct & Tabbara Cres, CRACE, ACT 2911

Block	Section	Division
13	80	CRACE

Drawing Title:

ROOF PLAN

Drawn:

AH

Reviewer:

FO

Scale:

1:200 @ A3

Project No.:

1113-

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Director:

-

Verifier:

-

Date:

26/05/11

CAD Name:

-

Drawing No.:

1113-

Sheet No.:

A-110

Amendment:

G

**BUILDING APPROVAL**  
Issued under section 28 of the Building Act 2004  
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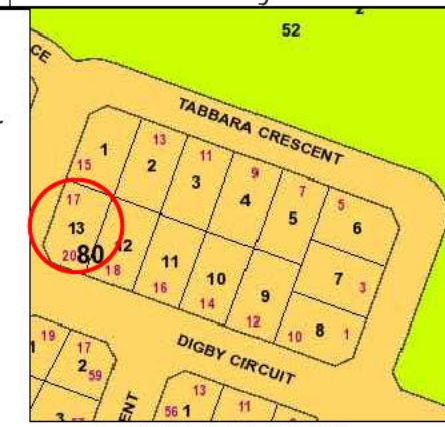
Licence No:  
200426203



DRAINAGE PLAN  
NUMBER: \_\_\_\_\_

OWNER **Sch 2 2.2(a)(ii)**  
BLOCK 13 SECTION 80  
SUBURB CRACE

**PLAN OF SANITARY DRAINAGE**  
DESIGNED TO AS3500



**LOCALITY PLAN**

**LEGEND**

- S — SEWER MAIN
- SW — STORMWATER MAIN
- W — WATER MAIN
- - - SEWER LINES
- - - VENT PIPE
- - - STORMWATER LINES
- - - AG LINES
- - - DOMESTIC WATER
- - - NON-POTABLE WATER
- 90Ø AG LINE WITH FILTER SOCK CONNECTION TO STORMWATER DRAINAGE
- FOP
- YS
- H
- STANDARD STREET HYDRANT
- X SC
- WM
- AAV AIR ADMITTANCE VALVE
- CO CLEAR OUT
- CWR/D COLD WATER RISER/DROPPER
- DT DISCONNECTOR TRAP
- FW FLOOR WASTE
- HDPE HEAVY DUTY POLYETHYLENE
- IO INSPECTION OPENING
- IS INSPECTION SHAFT
- O/F OVERFLOW
- ORG OVERFLOW RELIEF GULLY
- SC STOP COCK
- SMH SEWER MANHOLE
- ST SILT TRAP
- SVP SOIL VENT PIPE
- TD TUNDISH
- TG TEST GATE
- TTD TRAPPED TUNDISH
- UPVC UNPLASTICISED POLYVINYL CHLORIDE
- VP VENT PIPE
- WS WASTE STACK

**GENERAL NOTES**

- EXISTING SEWER LINES TO BE LOCATED ON SITE PRIOR TO COMMENCEMENT OF WORK.
- ALL PLUMBING AND DRAINAGE TO BE INSTALLED IN ACCORDANCE WITH AS3500.
- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE CANBERRA SEWERAGE AND WATER SUPPLY REGULATIONS.
- THIS PLAN TO BE READ IN CONJUNCTION WITH APPROVED ARCHITECTURAL PLANS AND SPECIFICATIONS.
- INSPECTION SHAFT AT PROPERTY BOUNDARY TO BE IN ACCORDANCE WITH PLUMBING NOTE No3.
- ORG LEVELS TO BE IN ACCORDANCE WITH AS3500.2.2 CLAUSE 4.6.6.6 & 4.6.6.7 & PLUMBING NOTE 22.
- UNPLASTICISED POLYVINYL CHLORIDE PIPE DRAINS (UPVC) TO BE CONSTRUCTED IN ACCORDANCE WITH AS2032 AND THE CANBERRA SEWERAGE AND WATER SUPPLY REGULATIONS.
- TEMPERED HOT WATER REQUIRED AT ALL ABLUTION FIXTURES.
- PLUMBING AND DRAINAGE TO CONFORM TO ACTPLA PLUMBING NOTES 22 AND 23.

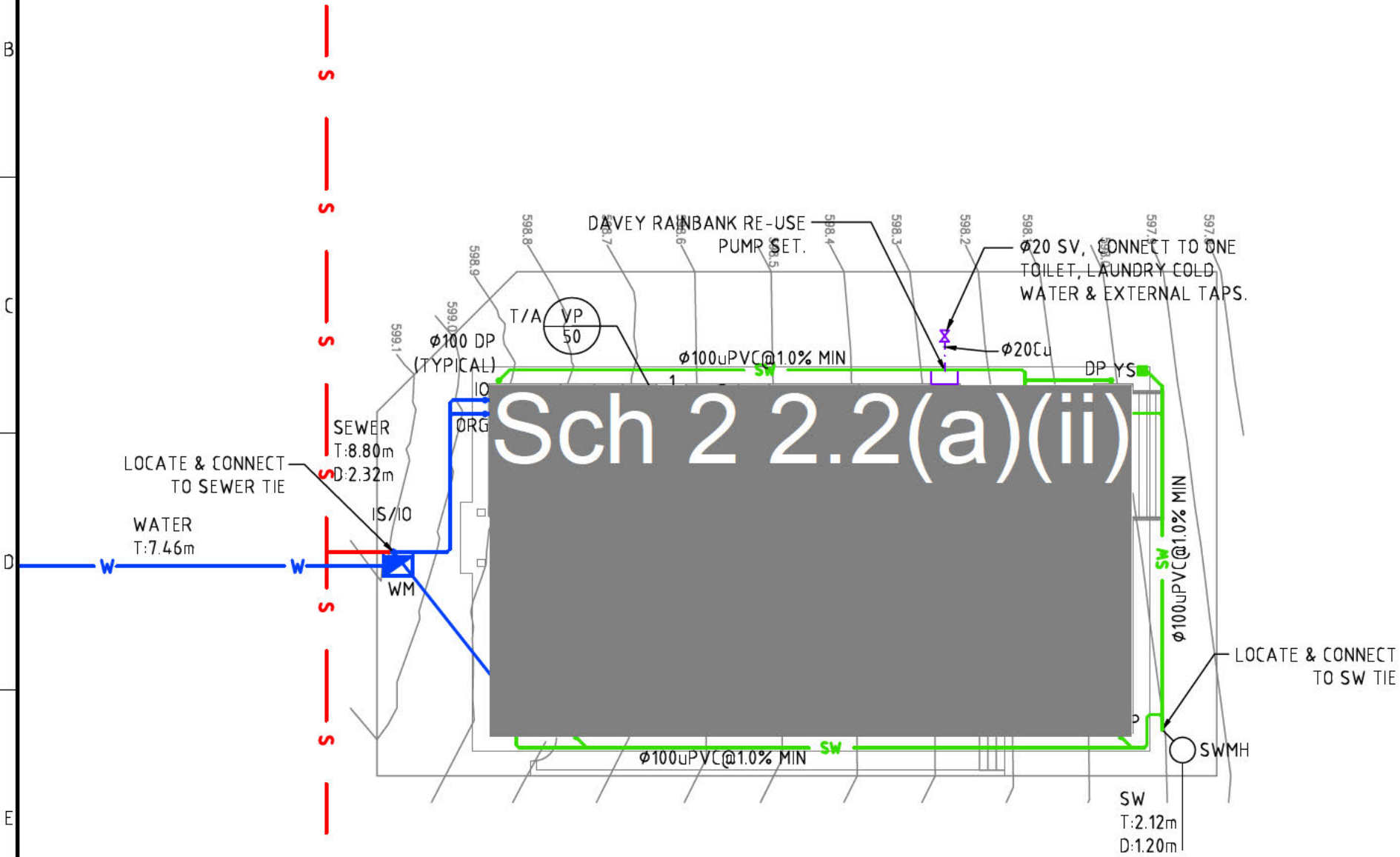
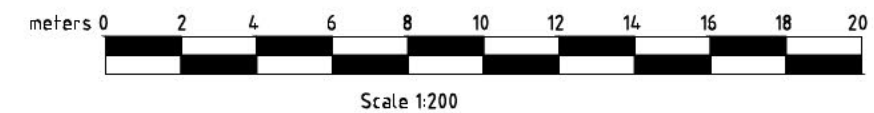
**SANITARY FIXTURES**

1 WC	2
2 BATH	1
3 BASIN	4
4 SHOWER	2
5 KITCHEN SINK	2
6 LAUNDRY TROUGH	1
<b>TOTAL</b>	<b>12</b>

**MINIMUM INTERNAL DIMENSIONS  
STORMWATER AND INLET PITS**

Depth to invert of outlet	Minimum internal dimensions		
	Rectangular Width	Rectangular Length	Circular Diameter
<math>-600</math>	450	450	600
<math>-600</math> -<math>-900</math>	600	600	900
<math>-900</math> -<math>-1200</math>	600	900	1000
<math>-1200</math>	900	900	1000

AS3500.3.2 Table 8.2



**WORK AS EXECUTED**

**PLUMBING PLAN APPROVED**  
APPROVED BY \_\_\_\_\_  
REG. NUMBER \_\_\_\_\_  
DATE \_\_\_\_\_

ISSUE / AMEND	DESCRIPTION	DATE	DRAWN
B 1	WORK AS EXECUTED	30.05.13	AM
A	SINK ADDED	01.11.12	NP
	INTERIM PLAN	31.10.12	NP

**sellick consultants**  
14 lonsdale st braddon act 2612  
p: 02 6257 2706 f: 02 6247 2203  
sellickconsultants.com.au

PROPOSED NEW RESIDENCE  
  
RAWSON HOMES

DESIGNED BY  
NP  
CHECKED BY  
LH  
AUTHORISED BY  
  
DATE

DRAWING TITLE  
**HYDRAULIC SERVICES  
GENERAL ARRANGEMENT**  
  
PROJECT LOCATION  
**BLOCK 13 SECTION 80 CRACE**

SCALE  
1:200@A3  
JOB NO.  
**120781**  
DRAWING NO.  
**H100**



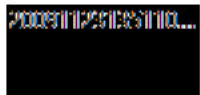
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**From:** Jeffrey, David  
**Sent:** Monday, 23 November 2009 4:45 PM  
**To:** Marriage, Sue  
**Cc:** Kelley, Rebecca; Rand, Rick  
**Subject:** Community Recreation Irrigated Park

**Importance:** High

Hi Sue,

As discussed, please find attached the current landscape plan for the proposed Neighbourhood Oval in Crace. Rick and I have another meeting with Canberra Investment Corporation (CIC) this Thursday (26 November) to ratify the design and use of this facility.



As you aware, the provision of Neighbourhood Ovals has proven to be a flawed model in the ACT. SRS has floated the idea with CIC that we would prefer to forego the Neighbourhood Oval in preference for the provision of a smaller informal recreation space, what we are calling a Community Recreation Irrigated Park (CRIP). This concept is contained in the *Future Provision of Sportsgrounds in the ACT* paper that we are currently working on. For the meeting with CIC on Thursday, it would be great if we could get in principle support from the Minister to redesign the facility at Crace to become a CRIP.

In suggesting that Neighbourhood Ovals should be removed from the sportsground provision model, SRS is not suggesting that green (irrigated) open space does not have intrinsic value from a community health and physical recreation perspective. SRS is suggesting that a Community Recreation Irrigated Park should be approximately 0.75 to 1.0 hectare in size. Ideally the facility would be co-located next to or near a pond or body of water that could be utilised, in full or partially, to irrigate a drought tolerant turf species (e.g. couch). The use of non potable water and drought tolerant grass will reduce the operational cost to maintain these facilities, therefore making the concept more viable.

There is much research to suggest that open space planning and key design principles can have a positive effect on the physical and mental state of local residents. Healthy Spaces and Places is a landmark project that was developed to demonstrate the importance of taking a national perspective to:

- managing our environments, particularly how the physical characteristics of where Australians live, work and play can influence their physical and mental health and wellbeing;
- investing in Australia's future health and wellbeing;
- reducing health costs by preventive measures;
- fostering collaborative partnerships; and
- supporting social connectiveness.

Healthy Spaces and Places is a unique collaboration between the Australian Local Government Association, the National Heart Foundation of Australia and the Planning Institute of Australia, with funding support provided by the Department of Health and Ageing (refer to - <http://www.healthyplaces.org.au/site/index.php>).

Aesthetics is a critical design component that needs to be addressed in the construction and maintenance of passive recreation spaces. The climatic conditions in Canberra require turf to be irrigated in order for it to remain alive and healthy. Parks that are not irrigated offer little or no value to the community in terms of providing an open space that encourages recreational use, especially during the summer period.

Further background information in relation to what a CRIP may look like is detailed below. For the purposes of this exercise, I have also included a very simple design concept.

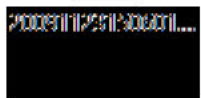
### **Community Recreation Irrigated Park (CRIP)**



In suburbs where there is no District Playing Field, District Park or School Oval, a Community Recreation Irrigated Park will be provided. Generally 0.75 to 1.0 hectare, this space will provide an irrigated low maintenance play space to support informal physical activity and recreation activities. Where possible, will be connected to a non potable water source for irrigation purposes and utilise a drought tolerant grass species (e.g. couch).

As a guide a Community Recreation Irrigated Park would generally include the provision of a toilet block, community barbeque and picnic shelter. Other facilities that could also be considered include the provision of a children's playground, basketball half court, tennis wall and cricket nets. A variety of low maintenance, drought tolerant tree species should also be provided from an aesthetic perspective and to provide shade.

It should be noted that the irrigated grass area does not need to be uniform in its shape or design, but it should be large enough to accommodate a range of informal recreation pursuits and activities.



Let me know if you require any further information.

Cheers

**David Jeffrey**  
Manager  
Strategic Projects and Planning  
Sport and Recreation Services  
Territory and Municipal Services  
P: (02) 6207 5815  
F: (02) 6207 2071  
M: 0417 499 634



**LANDSCAPE SKETCH DESIGN**

**LANDSCAPE PLAN**

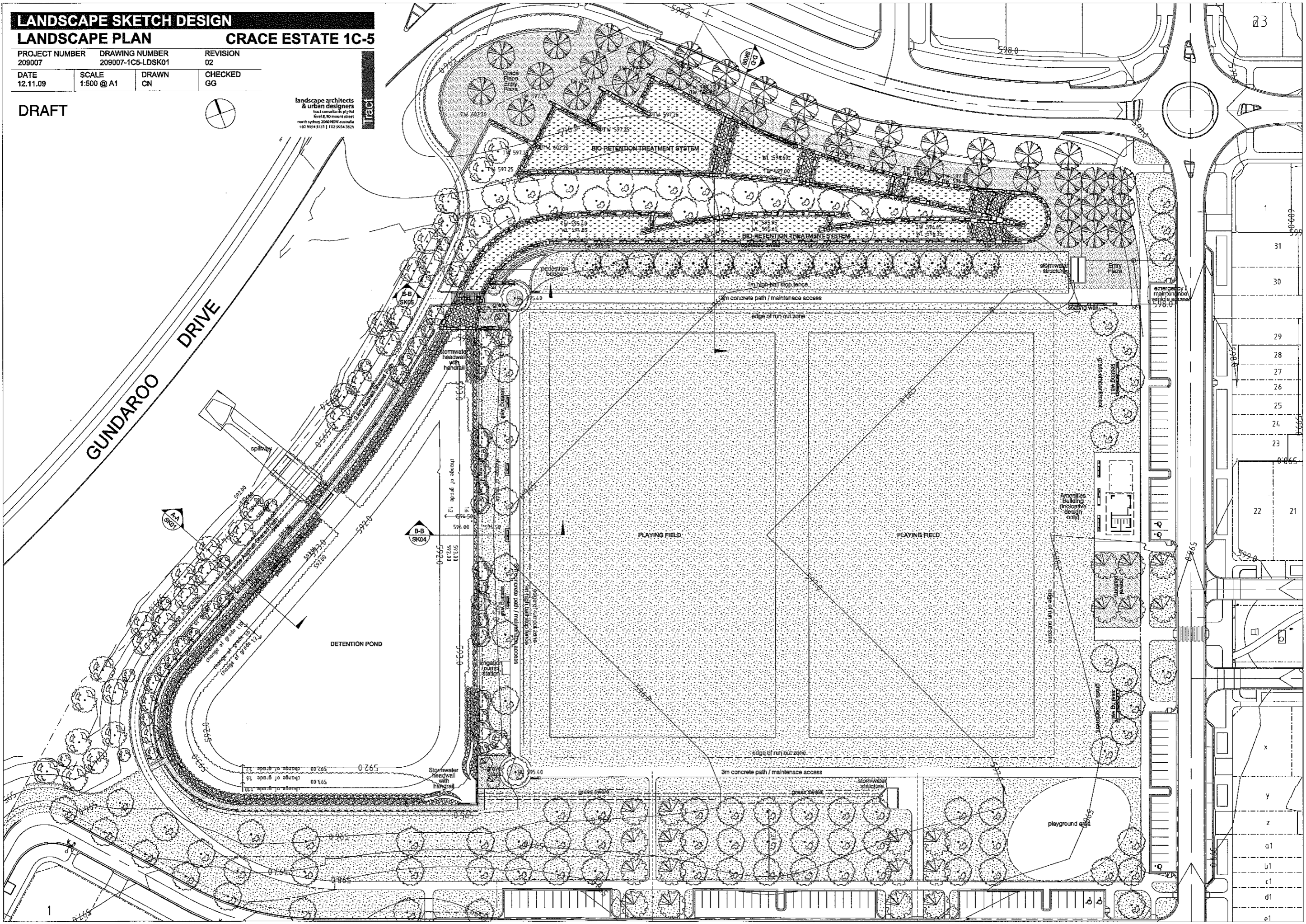
**CRACE ESTATE 1C-5**

PROJECT NUMBER 209007	DRAWING NUMBER 209007-1C5-LDSK01	REVISION 02
DATE 12.11.09	SCALE 1:500 @ A1	DRAWN CN
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DRAFT



landscape architects  
& urban designers  
tract consultants pty ltd  
level 8, 80 mount street  
north Sydney 2060 NSW Australia  
t 02 9554 9320 | f 02 9554 3825



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LANDSCAPE SKETCH DESIGN

LANDSCAPE PLAN

CRACE ESTATE 1C-5

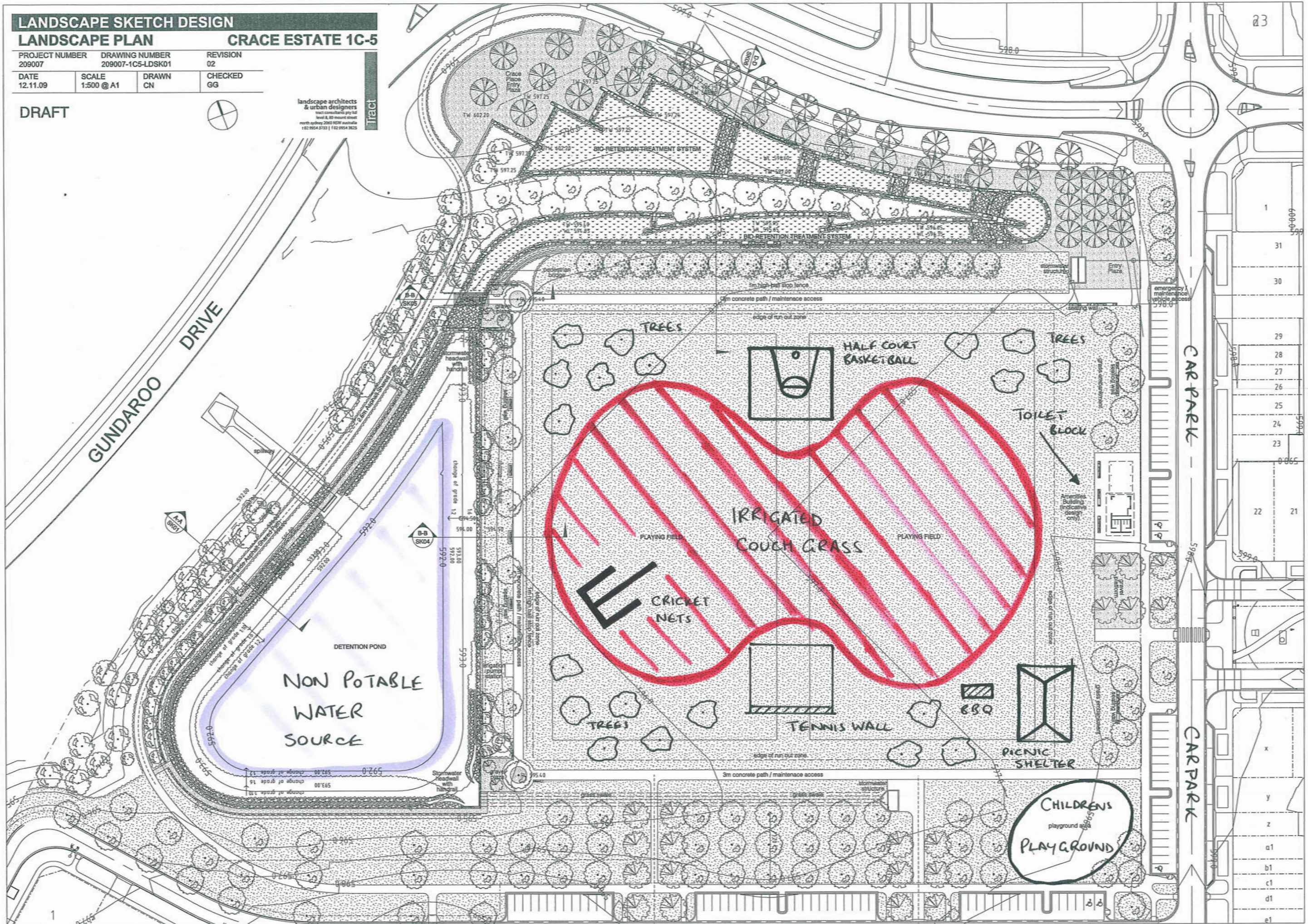
PROJECT NUMBER 209007	DRAWING NUMBER 209007-1C5-LDSK01	REVISION 02
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		CHECKED GG

DRAFT



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GUNDAROO DRIVE

CAR PARK

CAR PARK

NON POTABLE WATER SOURCE

IRRIGATED COUCH GRASS

CRICKET NETS

HALF COURT BASKETBALL

CHILDRENS PLAYGROUND

PICNIC SHELTER

TOILET BLOCK

TENNIS WALL

PLAYING FIELD

PLAYING FIELD

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**From:** Sch 2 2.2(a)(ii)  
**Sent:** Wednesday, 25 November 2009 10:07 AM  
**To:** Jeffrey, David  
**Cc:** Rand, Rick; Ian Dawkins  
**Subject:** Crace - Community Recreation Irrigated Park

David

Thank you for the information. We shall utilise this and do some brief sketches.

Given the timing we'd need to work with you to achieve a reasonably confident agreement that a CRIP concept could be undertaken in lieu of the current neighbourhood oval required under the Deed of Agreement with ACTPLA. This would have to be achieved prior to Christmas so detailed designs could commence immediately in the new year together with any EDP/DA amendments.

Our current program is to commence construction activities on the oval in March 2010 with grassing being undertaken in the spring of 2010. With the possible change to concept we could accept works to commence in June /July with grassing in the early autumn of 2011 if not slightly earlier. For this the detailed designs would need to commence very early in 2010 as noted above.

Regards

Sch 2 2.2(a)(ii)

Sch 2 2.2(a)(ii)

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**From:** Jeffrey, David [mailto:David.Jeffrey@act.gov.au]  
**Sent:** Friday, 20 November 2009 1:22 PM  
**To:** Sch 2 2.2(a)(ii)  
**Cc:** Rand, Rick  
**Subject:** Community Recreation Irrigated Park

Hi Mitch,

As briefly discussed today, please find the draft documentation that Sport and Recreation Services (SRS) has put together to date in relation to the Community Recreation Irrigated Park (CRIP) concept. Most of the sportsground and irrigation design standards would still be applicable for this concept.

<b>Community Recreation Irrigated Park (CRIP)</b>	In suburbs where there is no District Playing Field, District Park or School Oval, a Community Recreation Irrigated Park will be provided. Generally 0.75 to 1.0 hectare, this space will provide an irrigated low maintenance play space to support informal physical activity and recreation activities. Where possible, will be connected to a non
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	<p>potable water source for irrigation purposes and utilise a drought tolerant grass species (e.g. couch).</p> <p>As a guide a Community Recreation Irrigated Park would generally include the provision of a toilet block, community barbeque and picnic shelter. Other facilities that could also be considered include the provision of a children's playground, basketball half court, tennis wall and cricket nets. A variety of low maintenance, drought tolerant tree species should also be provided from an aesthetic perspective and to provide shade.</p> <p>It should be noted that the irrigated grass area does not need to be uniform in its shape or design, but it should be large enough to accommodate a range of informal recreation pursuits and activities.</p>
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It would great if you could let us know when you need a decision by regarding what type of facility is ultimately to be provided as part of the Crace EDP.

Let me know if you require any further information.

Kind regards,

**David Jeffrey**

Manager

Strategic Projects and Planning

Sport and Recreation Services

Territory and Municipal Services

P: (02) 6207 5815

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M: 0417 499 634

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This email, and any attachments, may be confidential and also privileged. If you are not the intended recipient, please notify the sender and delete all copies of this transmission along with any attachments immediately. You should not copy or use it for any purpose, nor disclose its contents to any other person.  
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**From:** Jeffrey, David  
**Sent:** Wednesday, 16 December 2009 9:54 AM  
**To:** McPhail, Sean  
**Cc:** Marriage, Sue; Kelley, Rebecca; Rand, Rick  
**Subject:** Crace Playing Field  
**Attachments:** 20091123150601783\_0001.pdf

Hi Sean,

SRS is supportive of the shift to provide a Community Recreation Irrigated Park (CRIP) as part of the CIC Limited development at Crace. I can confirm that SRS has had a couple of meetings with CIC Limited regarding the CRIP concept. The attached plan (better quality copy is attached) was provided to CIC Limited as a very basic starting point to commence the redesign process. It is also worth noting that the Minister for Sport (Andrew Barr) is supportive of the CRIP concept.

Please let me know if you require any further information.

Regards,

**David Jeffrey**  
Manager  
Strategic Projects and Planning  
Sport and Recreation Services  
Territory and Municipal Services  
P: (02) 6207 5815  
F: (02) 6207 2071  
M: 0417 499 634

---

**From:** McPhail, Sean  
**Sent:** Tuesday, 15 December 2009 3:33 PM  
**To:** Rand, Rick  
**Cc:** Gianakis, Steven; Brooker, Ron; Billing, Dale  
**Subject:** Crace Playing Field

Rick,

As discussed in our phone conversation, attached is the plan received detailing the change of direction for the Crace neighbourhood playing field.

ACTPLA is currently considering an amendment to the Crace Stage 1 Estate Development Plan to formalise the development of this site. The site has been identified as a neighbourhood playing field in accordance with the Crace Precinct Code and the executed Deed of Agreement. I understand that Sport and Recreation do not support the development of this site as a neighbourhood playing field due to its small size and the lack of a primary school within the suburb of Crace. It is understood that Sport and Recreation prefer the site to be developed as an irrigated community recreation park as detailed in the attached plan.

Can you please provide written confirmation from your branch to confirm support for this change to the Crace neighbourhood playing field. Can you also confirm whether the attached plan has been discussed with CIC Limited. ACTPLA will require written confirmation prior to discussing further with CIC Limited and requesting revisions to the plans lodged for the site.

Additionally, are you able to provide a better quality copy of the attached plan?

Regards

**Sean McPhail**  
Technical Coordinator



Estates Assessment Unit  
Development Services Branch  
ACT Planning and Land Authority

Ph. (02) 62052874  
[sean.mcphail@act.gov.au](mailto:sean.mcphail@act.gov.au)



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**From:** Jeffrey, David  
**Sent:** Wednesday, 10 March 2010 10:01 AM  
**To:** Rand, Rick; Ashcroft, Brian  
**Subject:** FW: CRIPS at Crace

<b>Tracking:</b>	<b>Recipient</b>	<b>Read</b>
	Rand, Rick	Read: 10/03/2010 10:11 AM
	Ashcroft, Brian	Read: 10/03/2010 10:59 AM

FYI

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**From:** Kelley, Rebecca  
**Sent:** Tuesday, 9 March 2010 11:07 AM  
**To:** Jeffrey, David  
**Subject:** FW: CRIPS at Crace

An answer.....!!

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**From:** Perram, Phillip  
**Sent:** Friday, 5 March 2010 6:19 PM  
**To:** Marriage, Sue  
**Cc:** Kelley, Rebecca; Corey, Janelle  
**Subject:** FW: CRIPS at Crace

Sue

Further to the CRIP for Crase

Please see Kelvin's comments below

Regards

Phillip

Phillip Perram  
Executive Director - Territory Services  
Territory and Municipal Services  
Telephone (02) 6207 2333  
Mobile 0435 659 263

---

**From:** Walsh, Kelvin  
**Sent:** Friday, 5 March 2010 5:14 PM  
**To:** Perram, Phillip  
**Cc:** Gianakis, Steven; Murray, Chris; McPhail, Sean; Ponton, Ben; Wilden, Karen  
**Subject:** CRIPS at Crace

Phillip,



Just to follow up on our conversation yesterday. We met with CIC on 09 Feb 2010 regarding the CRIP at Crace and ACTPLA's inability to approve an EDP that did not meet the Territory Plan requirements (ie demonstrate ability to deliver a Basic Sports Unit on the site).

We discussed:

- our understanding of Govt's move to the CRIPS model and desire to deliver at Crace
- that the Territory Plan, through the Structure Plan, requires the delivery of a Basic Sports Unit
- that due to the requirements in the TP ACTPLA would not be able to approve an EDP that didn't demonstrate ability to deliver a Basic Sports Unit.
- that ACTPLA, together with Sport and Rec, was happy to review this requirement in the Territory Plan and that the process would take 12 - 18 months

It was agreed at the meeting that:

- CIC would lodge a new EDP DA that demonstrated ability to deliver a Basic Sports Unit and may also show and enable delivery of the CRIP
- that ACTPLA would engage with Sport and Rec with the aim of reviewing the TP so that a Basic Sport Unit may not be required
- that if the TP is varied, CIC would come back to ACTPLA and seek to amend the EDP to deliver the alternate scheme presented (ie CRIP and housing)
- in lodging the new EDP DA CIC would also need to demonstrate that Sport and Rec are happy with the proposed configuration

Status

- CIC have not lodged the EDP DA in line with what was discussed at the meeting
- ACTPLA will shortly commence discussions with Sport and Rec regarding the TP review process in relation to this matter.

Happy to discuss further if anything requires clarification.

Kind regards  
Kelvin.

**Kelvin Walsh**

Director Planning Services  
ACT Planning and Land Authority  
telephone 02 6207 1950  
e-mail [kelvin.walsh@act.gov.au](mailto:kelvin.walsh@act.gov.au)

 Please respect the environment and think about the impact of printing this email.



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**From:** Jeffrey, David  
**Sent:** Tuesday, 16 March 2010 12:59 PM  
**To:** Kelley, Rebecca; Marriage, Sue  
**Subject:** FW: Crace - Community Park  
**Attachments:** FW: CRIPS at Crace

<b>Tracking:</b>	<b>Recipient</b>	<b>Read</b>
	Kelley, Rebecca	Read: 16/03/2010 2:48 PM
	Marriage, Sue	

Hi Sue/Bec,  
I need to respond to Jacqui Lavis (GHD) regarding this, can we please discuss when you have a chance. I have also attached Kelvin Walsh's email regarding Crace.  
Cheers  
DJ

---

**From:** Sch 2 2.2(a)(ii)  
**Sent:** Friday, 12 March 2010 1:01 PM  
**To:** Jeffrey, David  
**Cc:** Marriage, Sue  
**Subject:** Crace - Community Park

**Hi David,**

Thanks for meeting with me regarding the Crace Park .

The next step for CIC will be to submit a new development application for the area of the site that comprises the parkland and the new residential blocks

We would like to have Sport and Recreation support for the park concept before lodgement

Our understanding of the current issues to be addressed are as follows

### **The Territory Plan 2008**

#### **Territory Plan – Definitions**

**Playing field** means the use of land which is unrestricted to public access and which is used for the conduct of sports, athletics and games and includes facilities with such land for the enjoyment or convenience of the public such as kiosks, car parks, changing facilities, pavilions and the like.

#### **Gungahlin – Suburb of Crace Structure Plan**

A structure plan has been produced for the suburb of Crace. There is a specific policy in relation to playing fields:

*Provide playing fields (neighbourhood oval consisting of a Basic Sports Unit)*

There is no definition provided for “Basic Sports Unit”.

#### **Crace Concept Plan**

A concept plan has been produced for the suburb of Crace. The structure plan ‘playing field’ policy has been adapted into the concept plan:



## 6.5 Open Space Provision

*The Crace Concept Plan contains a hierarchy of open spaces totalling about 48Ha serving different purposes. The spaces are to be provided/ located generally in accordance with Important Planning Requirements and the Concept Plan.*

*A neighbourhood playing field (basic sports unit) is also to be provided within the suburb and form part of the open space network. The location of the playing fields is shown in the Important Planning Requirement plan.*

### **Design Standard for Urban Infrastructure**

These design standards are used by professionals involved in the planning, design and construction of Urban Infrastructure in the ACT.

#### **DS 24 Sportsground Design**

This design standard specifies requirements for sportsground within the ACT. The document provides the following relevant definitions:

##### **24.3.1 Playing Field**

The term playing field refers to the total area provided at any site or complex for organised sport. Playing fields usually comprise an irrigated playing surface and surrounds that may or may not be irrigated. Their size allows several options for field layout.

##### **Sports field**

The term sports field refers to the marked out area for one sport. A sportsfield can accommodate one game of Rugby, Soccer, Hockey, Australia Rules or Cricket depending on the marking.

##### **Neighbourhood Oval**

The term neighbourhood oval refers to playing field sporting facilities generally located adjacent to both a suburban primary school and the local shopping centre. Together the three land uses generate a focus of activity for the neighbourhood. Usage is predominantly, but not necessarily, by juniors for training and competition and by the primary school. Informal used by local residents is also significant.

Sporting clubs have adopted neighbourhood playing fields and pressures of use have resulted in the construction of toilet facilities in some cases. In order to accommodate future development, designs should identify a possible future toilet block site.

Training lights may be provided.

##### **District Playing Fields**

The term district playing field refers to sporting facilities that serve several suburbs and comprise a number of fields with at least one pavilion. They are often associated with a high school and have a total area of at least eight hectares. District playing fields area heavily used for senior and junior competition and training and commonly they become associated with one particular sporting code whereby several games can be played concurrently at the one venue, for ease of administration and organisation of voluntary officials.

These facilities are also heavily used for night time training under lights and appropriate lighting and other safety requirements are needed.

### **Conclusion**

We have concluded that since “District Playing Fields” are provided in the neighbouring suburb of Palmerston, that a “playing field” as per 24.3.1 will satisfy the current requirement of both the Territory Plan and Design Standard for Urban Infrastructure



I would be grateful if you could confirm that if CIC resubmit with a plan showing an irrigated playing field area that you will endorse this concept as a referral authority, in the context of any EDP circulation. I would also be grateful if you could confirm whether such plan should show an area capable of being marked out for specific sports

Sch 2 2.2(a)(ii)



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**From:** Gianakis, Steven  
**Sent:** Friday, 30 April 2010 2:39 PM  
**To:** Jeffrey, David  
**Cc:** Kelley, Rebecca; Ashcroft, Brian  
**Subject:** RE: Crace and playing field - CRIP

All

Thank you for your advice. I'm seeking a time with Kelvin to discuss ACTPLA's response to GHD's letter. I will advise of outcome prior to responding to GHD.

thanks again.

Steven

---

**From:** Jeffrey, David  
**Sent:** Friday, 30 April 2010 11:21 AM  
**To:** Gianakis, Steven  
**Cc:** Kelley, Rebecca; Ashcroft, Brian  
**Subject:** RE: Crace and playing field - CRIP

Hi Steven,

Thanks for your email. I would like to provide the following comments for your consideration from a Sport and Recreation Services (SRS) perspective:

- SRS is committed to the development of a pilot Community Recreation Irrigated Park (CRIP) in Crace that meets the informal sport and physical recreation needs of the local community.
- The proposed model (Attachment 1) does meet the long term expectations of SRS in respect to what a CRIP should provide. SRS would support the proposed model as a Stage 1 concept should CIC agree to undertake a range of further improvements (Stage 2) sometime in the future at a time agreed by all parties. In particular, SRS would suggest that a greater range of facilities need to be accommodated/provided (e.g. toilet block, shelter, barbeque, tennis wall, basketball half court, cricket nets, etc). The cost of these improvements would need to be met by the developer (CIC).
- It should be noted that the proposed size of the open space detailed in Attachment 1 (90 x 60 metres) is not large enough to support any formal sporting activity. This is in accordance with the CRIP concept as this facility will not be available for groups to formally hire. The cost to maintain this facility will be reduced due to its smaller size.
- The relevant Design Standards for Urban Infrastructure will need to be applied (DS21 - Irrigation, DS24 - Sportsground Design).

Please let me know if you require any further information.

Kind regards,

**David Jeffrey**

Manager

Strategic Projects and Planning

Sport and Recreation Services

Territory and Municipal Services

P: (02) 6207 5815

F: (02) 6207 2071

M: 0417 499 634

-----Original Message-----

From: Gianakis, Steven

Sent: Monday, 19 April 2010 1:59 PM

To: Jeffrey, David

Subject: Crace and playing field - CRIP

Hi David

FYI - please find attached a letter received on the above. In essence, GHD is arguing that what is proposed in Attachment 1 meets both TaMS and ACTPLA requirements. Thus no Variation is required and they can lodge an estate development plan (subdivision) DA for the revised open space and additional dwellings. We have yet to review, as I have been too busy and Kelvin is away.

Any comments on the letter or it's logic?

Steven



---

**From:** Gianakis, Steven  
**Sent:** Thursday, 6 May 2010 11:44 AM  
**To:** Jeffrey, David  
**Cc:** Kelley, Rebecca; Ashcroft, Brian  
**Subject:** RE: Crace and playing field - CRIP

All

In response to the letter from GHD and your advice, I wish to advise the following:

- ACTPLA from a planning policy perspective is now supportive of a CRIP in Crace, in the first instance;
- No Territory Plan variation will be required to incorporate the CRIP into Crace.
- the developer will incorporate the CRIP into the proposed estate development plan development application (EDP DA) for the remaining unapproved area within Stage 1 of the Crace estate.
- Obviously the outcome is subject to EDP DA.
- Stephan Docherty advised me on 4<sup>th</sup> May 2010 that it is the developer's intention to deliver and fund the CRIP, not merely a "neighbourhood playing field" as indicated in the letter from GHD.
- The developer will need to discuss and seek your (Sport and Recreation Services) agreement to the specific details and facilities to be accommodated within the proposed CRIP for the EDP DA.
- I understand the developer is seeking a pre-development application meeting with ACTPLA to go through the EDP. Once I have details, I will forward for your attendance, if possible.

I will provide a copy of ACTPLA's response to GHD, once signed.

As discussed to permit the CRIP to proceed, you will need to have all necessary agreements in place with other areas of TaMS (eg. maintenance) to ensure that there are no delays through the DA process.

Cheers.

Steven

---

**From:** Jeffrey, David  
**Sent:** Friday, 30 April 2010 11:21 AM  
**To:** Gianakis, Steven  
**Cc:** Kelley, Rebecca; Ashcroft, Brian  
**Subject:** RE: Crace and playing field - CRIP

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- The relevant Design Standards for Urban Infrastructure will need to be applied (DS21 - Irrigation, DS24 - Sportsground Design).

Please let me know if you require any further information.

Kind regards,

**David Jeffrey**

Manager  
Strategic Projects and Planning  
Sport and Recreation Services  
Territory and Municipal Services  
P: (02) 6207 5815  
F: (02) 6207 2071  
M: 0417 499 634

-----Original Message-----

From: Gianakis, Steven  
Sent: Monday, 19 April 2010 1:59 PM  
To: Jeffrey, David  
Subject: Crace and playing field - CRIP

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