



ACT
Government

Chief Minister, Treasury and
Economic Development

Freedom of Information Publication Coversheet

The following information is provided pursuant to section 28 of the *Freedom of Information Act 2016*.

FOI Reference: CMTEDDFOI 2020-074

Information to be published	Status
1. Access application	Published
2. Decision notice	Published
3. Documents and schedule	Published
4. Additional information identified	No
5. Fees	N/A
6. Processing time (in working days)	18
7. Decision made by Ombudsman	N/A
8. Additional information identified by Ombudsman	N/A
9. Decision made by ACAT	N/A
10. Additional information identified by ACAT	N/A

From: [REDACTED]
To: EPSDFOI
Subject: RE: FOI- Latest approved plan- [REDACTED] [SEC=UNOFFICIAL]
Date: Tuesday, 7 April 2020 4:18:02 PM

UNOFFICIAL

[REDACTED]

From: EPSDFOI <EPSDFOI@act.gov.au>
Sent: Tuesday, 7 April 2020 4:16 PM
To: [REDACTED] EPSDFOI <EPSDFOI@act.gov.au>
Subject: RE: FOI- Latest approved plan- [REDACTED] [SEC=UNOFFICIAL]

UNOFFICIAL

Hi [REDACTED]
Apologies if I was unclear. Are you submitting an application in a personal capacity or on behalf of [REDACTED] as it has been sent from a [REDACTED] account? Under the FOI Act, we must report on applicant categories.

Thank you

Genevra Donne | Director, Information and Knowledge Management
Environment, Planning and Sustainable Development Directorate | ACT Government
Phone: 02 620 54753 | Fax: 02 620 79313 | Email: genevra.donne@act.gov.au
Level 2, Dame Pattie Menzies House South Building | GPO Box 158 Canberra ACT 2601 |
www.environment.act.gov.au | www.planning.act.gov.au

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From: [REDACTED]
Sent: Tuesday, 7 April 2020 4:13 PM
To: EPSDFOI <EPSDFOI@act.gov.au>
Subject: RE: FOI- Latest approved plan- [REDACTED] [SEC=UNOFFICIAL]

UNOFFICIAL

Hi Genevra,
Not sure what information you are expecting from me.
Please direct the my request to the appropriate department please.
Thank you,
[REDACTED]

From: EPSDFOI <EPSDFOI@act.gov.au>
Sent: Tuesday, 7 April 2020 4:07 PM
To: [REDACTED]
Cc: EPSDFOI <EPSDFOI@act.gov.au>
Subject: RE: FOI- Latest approved plan- [REDACTED]

[SEC=UNOFFICIAL]

UNOFFICIAL

Hi [REDACTED]

Please advise if you are submitting your application under the ACT *Freedom of Information Act 2016* on behalf of the Department [REDACTED] to the ACT Environment, Planning and Sustainable Development Directorate.

The reference number you have provided is for an application managed by the Chief Minister, Treasury and Economic Development Directorate (CMTEDD). CMTEDD manages ACT Building Files.

Once we have received a response from you, we will redirect your application accordingly.

Thank you

Genevra Donne | Director, Information and Knowledge Management

Environment, Planning and Sustainable Development Directorate | ACT Government

Phone: 02 620 54753 | Fax: 02 620 79313 | Email: genevra.donne@act.gov.au

Level 2, Dame Pattie Menzies House South Building | GPO Box 158 Canberra ACT 2601 |

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From: [REDACTED]

Sent: Tuesday, 7 April 2020 2:42 PM

To: EPSDFOI <EPSDFOI@act.gov.au>

Subject: FW: FOI- Latest approved plan- [REDACTED]

[SEC=UNOFFICIAL]

UNOFFICIAL

Dear Sir/Madam,

The above property is under construction over 2 years adjoining our residence. The owner builder of the property has made numerous external structural changes which is not reflected in the copy of the plan that was sent to us by your department on 26 Feb 2018 (Ref: CMTEDDFOI 2018-0024).

Hence, we need a copy of the latest approved plan of the above property asap to raise our concerns with the Dept of Environment and planning. We do really appreciate your assistance in providing the following information at your earliest:

- 1.Site plan
- 2.Building envelope
- 3.Building heights and
4. Solar shadow diagram.

Kind regards,

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ACT
Government

Chief Minister, Treasury and
Economic Development

Our ref: CMTEDDFOI 2020-074

[REDACTED]
via email: [REDACTED]

Dear [REDACTED]

FREEDOM OF INFORMATION REQUEST

I refer to your application under section 30 of the *Freedom of Information Act 2016* (the Act), redirected by the Environment, Planning and Sustainability Development Directorate to the Chief Minister, Treasury and Economic Development Directorate (CMTEDD) on 7 April 2020, in which you sought access to building plans.

Specifically, you are seeking: Latest approved plans for [REDACTED] including:

- Site plan
- Building envelope
- Building heights
- Solar shadow diagram

Authority

As an appointed Information Officer under section 18 of the Act, I am authorised to make a decision on access or amendment to government information in the possession or control of CMTEDD.

Timeframes

In accordance with section 40 of the Act, CMTEDD is required to provide a decision on your access application by 11 May 2020.

Decision on access

Searches were completed for relevant documents and 12 documents were identified that fall within the scope of your request.

I have included as **Attachment A** to this decision the schedule of relevant documents. This provides a description of each document that falls within the scope of your request and the access decision for each of those documents.

I have decided to grant partial access to the documents relevant to your request.

My access decisions are detailed further in the following statement of reasons and the documents released to you are provided as **Attachment B** to this letter.

In accordance with section 54(2) of the Act a statement of reasons outlining my decisions is below.

Statement of Reasons

In reaching my access decisions, I have taken the following into account:

- the Act;
- the content of the documents that fall within the scope of your request;
- the *Human Rights Act 2004*.

Exemption claimed

My reasons for deciding not to grant access to components of the identified documents within the Building File are as follows:

Public Interest

The Act has a presumption in favour of disclosure. As a decision maker I am required to decide where, on balance, public interests lies. As part of this process I must consider factors favouring disclosure and non-disclosure.

In *Hogan v Hinch* (2011) 243 CLR 506, [31] French CJ stated that when ‘used in a statute, the term [public interest] derives its content from “the subject matter and the scope and purpose” of the enactment in which it appears’. Section 17(1) of the Act sets out the test, to be applied to determine whether disclosure of information would be contrary to the public interest. These factors are found in subsection 17(2) and Schedule 2 of the Act.

Taking into consideration the information contained in the documents found to be within the scope of your request, I have identified that the following public interest factors are relevant to determine if release of the information contained within these documents is within the ‘public interest’.

Factors favouring disclosure in the public interest:

- (a) *disclosure of the information could reasonably be expected to do any of the following:*
- (i) *promote open discussion of public affairs and enhance the government’s accountability.*

Having considered the factor identified above as relevant in this matter, I consider that the release of the requested information will promote an open discussion and enhance the ACT Government’s accountability regarding the building application for Block 14 Section 200 Gungahlin.

Factors favouring nondisclosure in the public interest:

- (a) *disclosure of the information could reasonably be expected to do any of the following:*
- (i) *prejudice the protection of an individual’s right to privacy or any other right under the Human Rights Act 2004.*

When considering the above finding against the factors favouring non-disclosure, I am satisfied that the protection of an individual’s right to privacy, especially in the process of complying with ACT Government regulations is a significant factor as the parties involved have provided personal information which includes the interior layout of the property, for the purposes of meeting obligations under relevant legislation. I consider that the layout

of an individual's home is a matter that the individual should have the right to choose to disclose or not. I am of the opinion that the release of this information may prejudice the protection of these individuals' right to privacy or any other right under the *Human Rights Act 2004*. I am satisfied in the above instance that this factor favouring non-disclosure should be afforded significant weight as it relates to the individuals' privacy.

Having applied the test outlined in section 17 of the Act and deciding that release of personal information contained in the documents is not in the public interest to release, I have chosen to redact this specific information in accordance with section 50(2). Noting the pro-disclosure intent of the Act, I am satisfied that redacting only the information that I believe is not in the public interest to release will ensure that the intent of the Act is met and will provide you with access to the majority of the information held by CMTEDD within the scope of your request.

Charges

Processing charges are not applicable for this request because the number of pages being released is below the charging threshold of 50.

Online publishing – Disclosure Log

Under section 28 of the Act, CMTEDD maintains an online record of access applications called a disclosure log. Your original access application, my decision and documents released to you in response to your access application will be published in the CMTEDD disclosure log after 3 days after date of decision. Your personal contact details will not be published.

You may view CMTEDD disclosure log at

<https://www.cmtedd.act.gov.au/functions/foi/disclosure-log-2020>.

Ombudsman Review

My decision on your access request is a reviewable decision as identified in Schedule 3 of the Act. You have the right to seek Ombudsman review of this outcome under section 73 of the Act within 20 working days from the day that my decision is published in CMTEDD disclosure log, or a longer period allowed by the Ombudsman.

We recommend using this form [Applying for an Ombudsman Review](#) to ensure you provide all of the required information. Alternatively, you may write to the Ombudsman at:

The ACT Ombudsman
GPO Box 442
CANBERRA ACT 2601

Via email: actfoi@ombudsman.gov.au

ACT Civil and Administrative Tribunal (ACAT) Review

Under section 84 of the Act, if a decision is made under section 82(1) on an Ombudsman review, you may apply to the ACAT for review of the Ombudsman decision. Further information may be obtained from the ACAT at:

ACT Civil and Administrative Tribunal
Level 4, 1 Moore St
GPO Box 370
Canberra City ACT 2601
Telephone: (02) 6207 1740
<http://www.acat.act.gov.au/>

Should you have any queries in relation to your request please contact me by telephone on 6207 7754 or email CMTEDDFOI@act.gov.au.

Yours sincerely



Philip Dachs
Information Officer
Information Access Team
Chief Minister, Treasury and Economic Development Directorate

7 May 2020



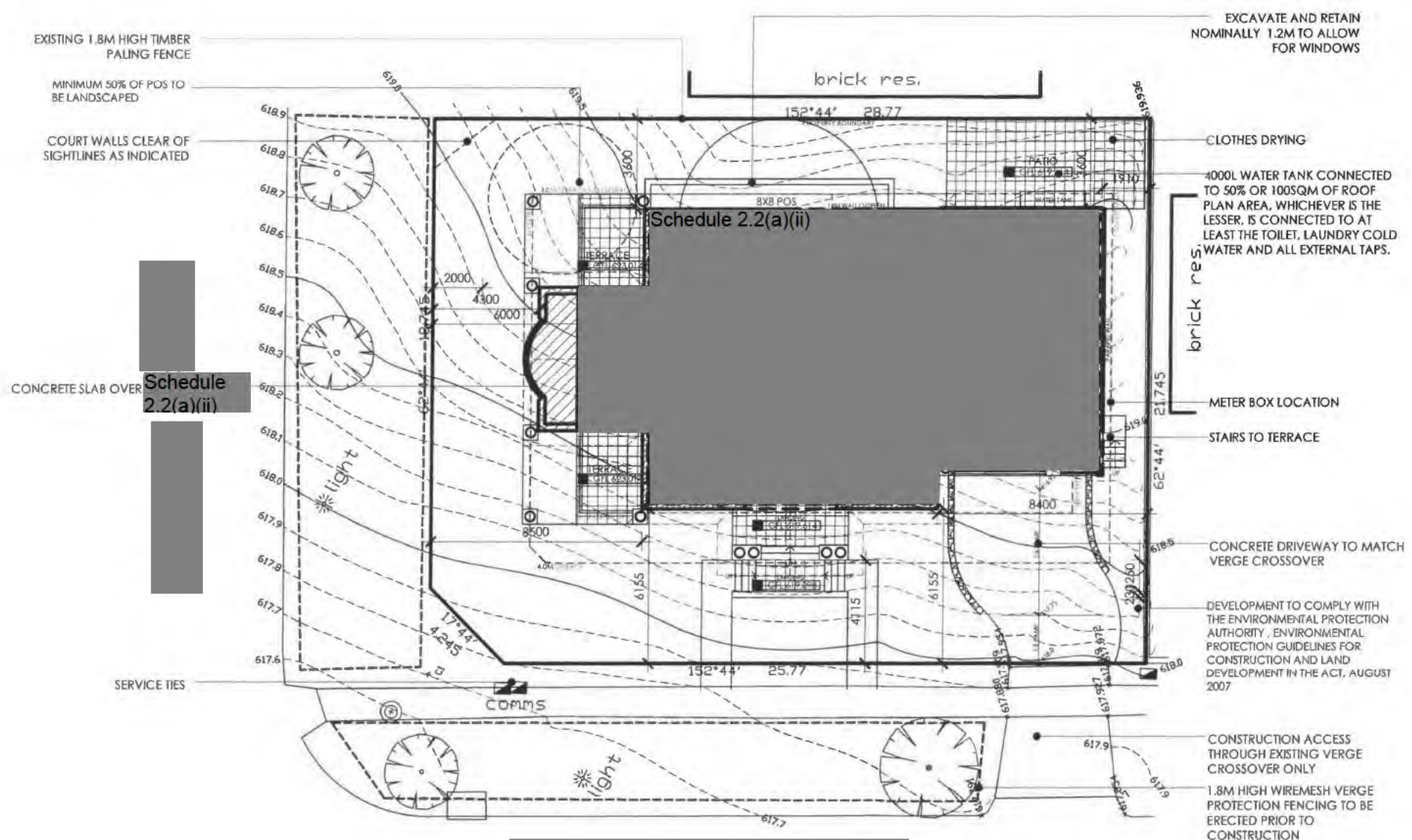
ACT
Government

Chief Minister, Treasury and
Economic Development

FREEDOM OF INFORMATION REQUEST SCHEDULE

WHAT ARE THE PARAMETERS OF THE REQUEST	Reference NO.
Latest approved plans for [REDACTED] including: Site plan, building envelope, building heights and solar shadow diagram.	CMTEDDFOI 2020-074

Ref No	Page number	Description	Date	Status	Reason for Exemption	Online Release Status
1	1	Plans - Site Plan – Site plan including sediment and erosion control plan, verge management plan.	29 Sep 2018	Partial	Sch 2 s2.2 (a)(ii)	Yes
2	2	Plans - Ground floor plan	29 Sep 2018	Partial	Sch 2 s2.2 (a)(ii)	Yes
3	3	Plans - First floor plan	29 Sep 2018	Partial	Sch 2 s2.2 (a)(ii)	Yes
4	4-5	Plans - Elevations	29 Sep 2018	Partial	Sch 2 s2.2 (a)(ii)	Yes
5	6	Plans - Section A-A and Section B-B	29 Sep 2018	Partial	Sch 2 s2.2 (a)(ii)	Yes
6	7-8	Building Plans – Elevations	28 Jan 2020	Partial	Sch 2 s2.2 (a)(ii)	Yes
7	9	Building Plans – Basement plan	28 Jan 2020	Partial	Sch 2 s2.2 (a)(ii)	Yes
8	10	Building Plans – Ground floor plan	28 Jan 2020	Partial	Sch 2 s2.2 (a)(ii)	Yes
9	11	Building Plan – First floor plan	28 Jan 2020	Partial	Sch 2 s2.2 (a)(ii)	Yes
10	12	Building Plan	28 Jan 2020	Partial	Sch 2 s2.2 (a)(ii)	Yes
11	13	Building Plan – Section A-A and Section B-B	28 Jan 2020	Partial	Sch 2 s2.2 (a)(ii)	Yes
12	14	Building Plan – Site Plan	28 Jan 2020	Partial	Sch 2 s2.2 (a)(ii)	Yes
Total No of Docs						
12						



SITE SUMMARY	
SITE AREA :	621 SQM
GROUND FLOOR :	202.6 SQM
FIRST FLOOR LIVING :	107.4 SQM
TOTAL GFA :	310.0 SQM
PLOT RATIO :	49.9 %
OPEN SPACE REQUIRED :	316.0 SQM
OPEN SPACE ACHIEVED :	413.2 SQM
BASEMENT GARAGE :	200.0 SQM
TERRACES :	072.0 SQM
ENTRY PORTICO :	013.0 SQM
ALFRESCO :	034.0 SQM

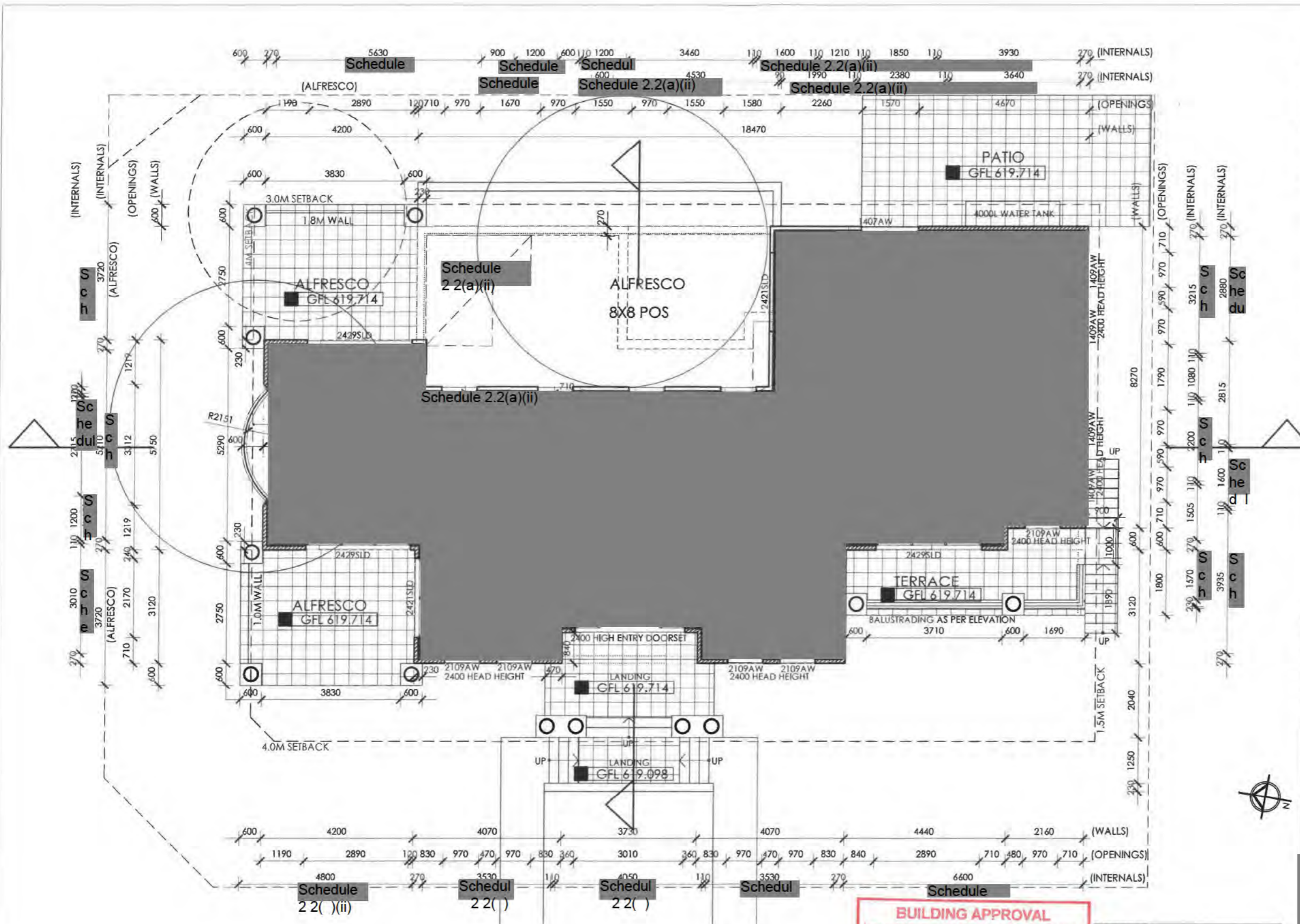
LEGEND	
BASEMENT AREA:	
GROUND AREA:	
FIRST AREA:	

DATE	REV	AMENDMENTS
-	A	DEVELOPMENT APPROVAL DRAWING
-	B	BUILDING APPROVAL DRAWING
-	C	REISSUED CONSTRUCTION DRAWING



PROJECT:	NEW RESIDENCE	
CLIENT / CONTRACTOR:	Schedule [redacted]	
BLOCK:	22()	SECTION: (ii)
DRAWING:	SITE PLAN SEDIMENT AND EROSION CONTROL PLAN, VERGE MANAGEMENT PLAN MATERIALS SCHEDULE	
SCALE:	DWG NO:	JOB NO:
1:200	A01	1514
DATE:	DRAWN:	
MAY.18	TM	C

BUILDING APPROVAL
 is amended under section 32 of the Building Act 2004
 Certified Building Solutions Pty Ltd
 29 SEP 2018
Retri Rajgopal Licence No: 200426203



GENERAL NOTES

ALL WORK TO BE DONE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS, BUILDING CODE OF AUSTRALIA AND LOCAL AUTHORITY REGULATIONS EXCEPT ALL WORK IN TRADESPERSON LIKE MANNER AND TO THE SATISFACTION OF THE SUPERINTENDANT. ALL MEASUREMENTS IN MILLIMETERS UNLESS OTHERWISE NOTED.

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- DRAWINGS NOTES - GROUND**
1. ALL INTERNAL DOORS 2400H
 2. GENERAL WINDOW HEAD HEIGHTS TO BE INSTALLED AT 2.4M ABOVE GFL AND 2.1M ABOVE FFL
 3. REFER TO WINDOW DIMENSIONS FOR WINDOW WIDTHS AS SCHEDULED- SILICON WINDOWS CONFIRM ON SITE PRIOR TO FABRICATION
 4. A/C LOCATION AND POSSIBLE BULKHEADS TO BE CONFIRMED WITH A/C CONTRACTOR
- ENERGY RATING NOTES:**
1. ALLOW FOR R4 CEILING INSULATION AND R1.2 SARKING
 2. WALLS WITH R2 INSULATION PLUS SARKING THROUGHOUT
 3. ALLOW FOR R1.2 INSULATION TO UNDERSIDE OF SUSPENDED SLAB
 4. ALL WINDOWS TO BE DOUBLE GLAZED
- PLAN NOTES**
1. WEATHERSEAL ALL EXTERNAL DOORS, WINDOWS AND EXHAUST FANS
 2. SEALED LED LIGHTING TO BE USED THROUGHOUT
 3. (SD) SMOKE DETECTORS
 4. DP DOWNPIPES
 5. P3 SLIP RESISTANCE TO INTERNAL STAIRS
 6. P4 SLIP RESISTANCE TO ANY EXTERNAL STEP

DATE	REV	AMENDMENTS
-	A	DEVELOPMENT APPROVAL DRAWING
-	B	BUILDING APPROVAL DRAWING
-	C	ISSUED CONSTRUCTION DRAWING



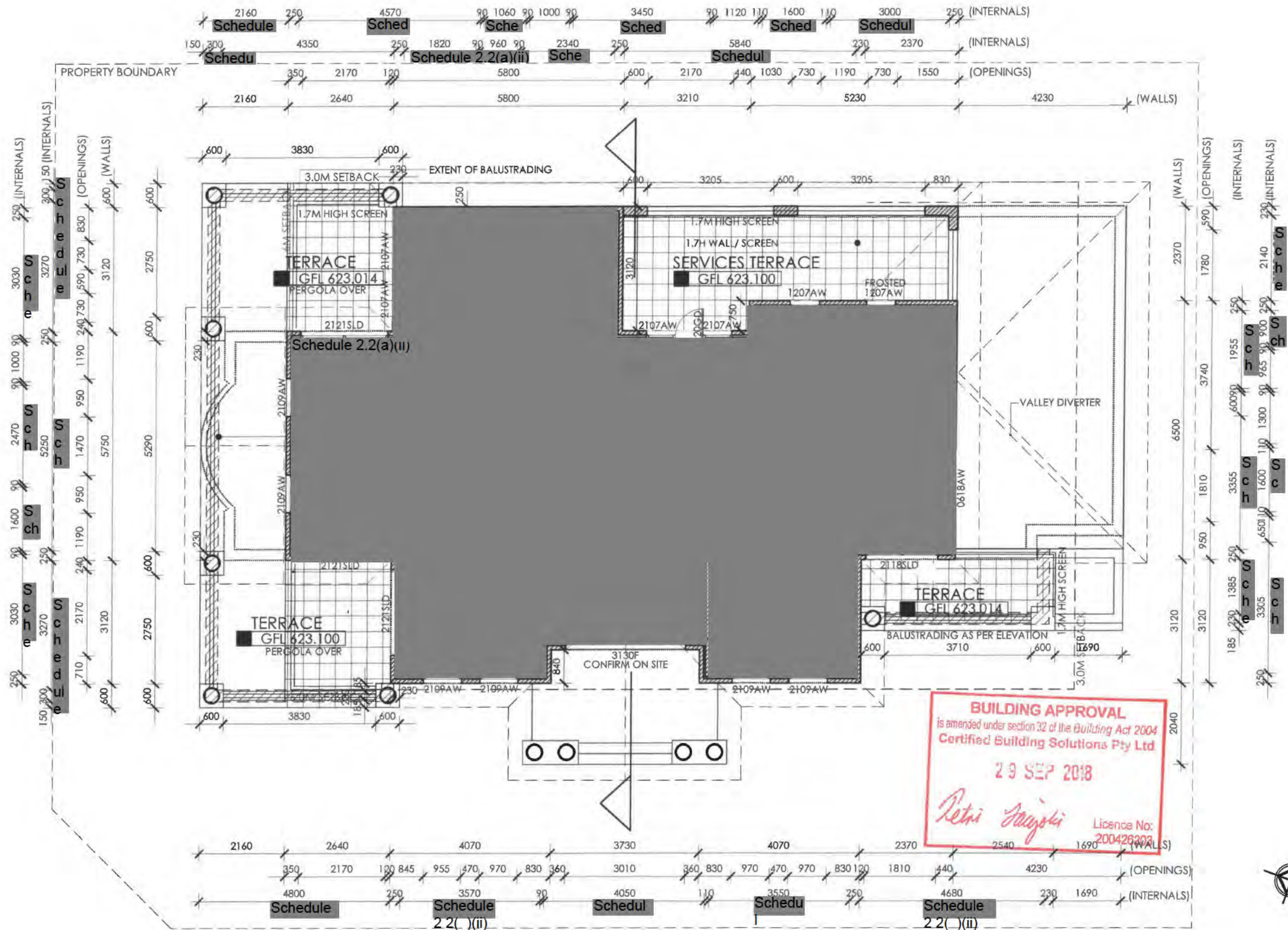
PROJECT: NEW RESIDENCE
 CLIENT / CONTRACTOR: Schedule 2.2(a)

SCALE: 1:100	DWG NO: A03	JOB NO: 1514
DATE: MAY.18	DRAWN: TM	C

BUILDING APPROVAL
 As amended under section 32 of the Building Act 2004
 Certified Building Solutions Pty Ltd
 23 SEP 2018
Petai Tazjari Licence No: 200426203

LEGEND

CONCRETE BEAM OVER	
DINCELL WALL UNDER	
STONE RETAINING WALL	
BRICKWORK WALLS	
UPPER FLOOR WALLS OVER	



GENERAL NOTES

ALL WORK TO BE DONE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS, BUILDING CODE OF AUSTRALIA AND LOCAL AUTHORITY REGULATIONS. EXECUTE ALL WORK IN TRADESMAN LIKE MANNER AND TO THE SATISFACTION OF THE SUPERINTENDANT. ALL MEASUREMENTS IN MILLIMETERS UNLESS OTHERWISE NOTED.

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- DRAWINGS NOTES - GROUND**
- ALL INTERNAL DOORS 2400H
 - GENERAL WINDOW HEAD HEIGHTS TO BE INSTALLED AT 2.4M ABOVE GFL AND 2.1M ABOVE FFL
 - REFER TO WINDOW DIMENSIONS FOR WINDOW WIDTHS AS SCHEDULED- SILICON WINDOWS CONFIRM ON SITE PRIOR TO FABRICATION
 - A/C LOCATION AND POSSIBLE BULKHEADS TO BE CONFIRMED WITH A/C CONTRACTOR
- ENERGY RATING NOTES:**
- ALLOW FOR R4 CEILING INSULATION AND R1.2 SARKING
 - WALLS WITH R2 INSULATION PLUS SARKING THROUGHOUT
 - ALLOW FOR R1.2 INSULATION TO UNDERSIDE OF SUSPENDED SLAB
 - ALL WINDOWS TO BE DOUBLE GLAZED
- PLAN NOTES**
- WEATHERSEAL ALL EXTERNAL DOORS, WINDOWS AND EXHAUST FANS
 - SEALED LED LIGHTING TO BE USED THROUGHOUT
 - ☉ SMOKE DETECTORS
 - DP DOWNPIPES
 - P3 SLIP RESISTANCE TO INTERNAL STAIRS
 - P4 SLIP RESISTANCE TO ANY EXTERNAL STEP

DATE	REV	AMENDMENTS
-	A	DEVELOPMENT APPROVAL DRAWING
-	B	BUILDING APPROVAL DRAWING
-	C	ISSUED CONSTRUCTION DRAWING



PROJECT: NEW RESIDENCE

CLIENT / CONTRACTOR: Schedule 2.2(a)

SCALE: 1:100	DWG NO: A04	JOB NO: 1514
DATE: MAY, 18	DRAWN: TM	C

LEGEND:

CONCRETE BEAM UNDER	
BRICK CAVITY WALL UNDER	
STONE RETAINING WALL	
BRICKWORK WALLS	
BEAM OVER	

GENERAL NOTES




ALL WORK TO BE DONE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS, BUILDING CODE OF AUSTRALIA AND LOCAL AUTHORITY REGULATIONS. EXECUTE ALL WORK IN TRADESPERSON LIKE MANNER AND TO THE SATISFACTION OF THE SUPERINTENDANT. ALL MEASUREMENTS IN MILLIMETERS UNLESS OTHERWISE NOTED.

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LEGEND:

-  RENDERED & PAINTED FINISH
-  ALUMINIUM DOUBLE GLAZED WINDOWS
-  CONCRETE/ TERRACOTTA ROOF TILES

230W BRICKWORK GABLE TO ACT AS PARAPET TO ROOF BEHIND. GABLE DECORATION TO CLINETS SPECIFICATION. CONFIRM DETAIL WITH CLIENT PRIOR TO FABRICATION TRUSSES

- PERGOLA ONLY OVER TERRACE
- BALUSTRADING TO CLIENTS SPECIFICATION AND TO COMPLY WITH RELEVANT STANDARDS
- BUILDING ENVELOPE AT BUILDING LINE AND AT SECTION LINE (BOTH COMPLY)
- CANTILEVERED CURVED SILICON WINDOW AS INDICATED
- ALFRESCO AREA AS PER PLAN



NORTH ELEVATION

230W BRICKWORK GABLE TO ACT AS PARAPET TO ROOF BEHIND. GABLE DECORATION TO CLINETS SPECIFICATION. CONFIRM DETAIL WITH CLIENT PRIOR TO FABRICATION TRUSSES



DATE	REV	AMENDMENTS
-	A	DEVELOPMENT APPROVAL DRAWING
-	B	BUILDING APPROVAL DRAWING
-	C	REISSUED CONSTRUCTION DRAWING



PROJECT: NEW RESIDENCE
CLIENT / CONTRACTOR: Schedule 2.2(a)(ii)

SCALE: 1:100	DWG NO: A05	JOB NO: 1514
DATE: MAY.18	DRAWN: TM	C

- FCL 625.650
- 2550
- FFL 623.100
- GCL 622.900
- 3200
- GFL 619.700
- BCL 619.500
- 2800
- BFL 616.700

WEST ELEVATION

- 1.7M SCREEN AS PER PLAN
- METAL BALUSTRADING TO COMPLY WITH RELEVANT STANDARDS
- BUILDING ENVELOPE
- Schedule 2.2(a)(ii)
- 600X600 COLUMN PLINTHS 600MM HIGH WITH COLUMN OVER
- RENDERED AND PAINTED EDGE BEAM AS ENGINEERS DRAWINGS
- STONE OR MASONRY RETAINING WALLS AS PER PLAN TO DRIVEWAY RAMP





SOUTH ELEVATION



EAST ELEVATION

GENERAL NOTES

ALL WORK TO BE DONE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS, BUILDING CODE OF AUSTRALIA AND LOCAL AUTHORITY REGULATIONS. EXECUTE ALL WORK IN TRADESMAN LIKE MANNER AND TO THE SATISFACTION OF THE SUPERINTENDANT. ALL MEASUREMENTS IN MILLIMETERS UNLESS OTHERWISE NOTED.

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LEGEND:

-  RENDERED & PAINTED FINISH
-  ALUMINIUM DOUBLE GLAZED WINDOWS
-  CONCRETE / TERRACOTTA ROOF TILES

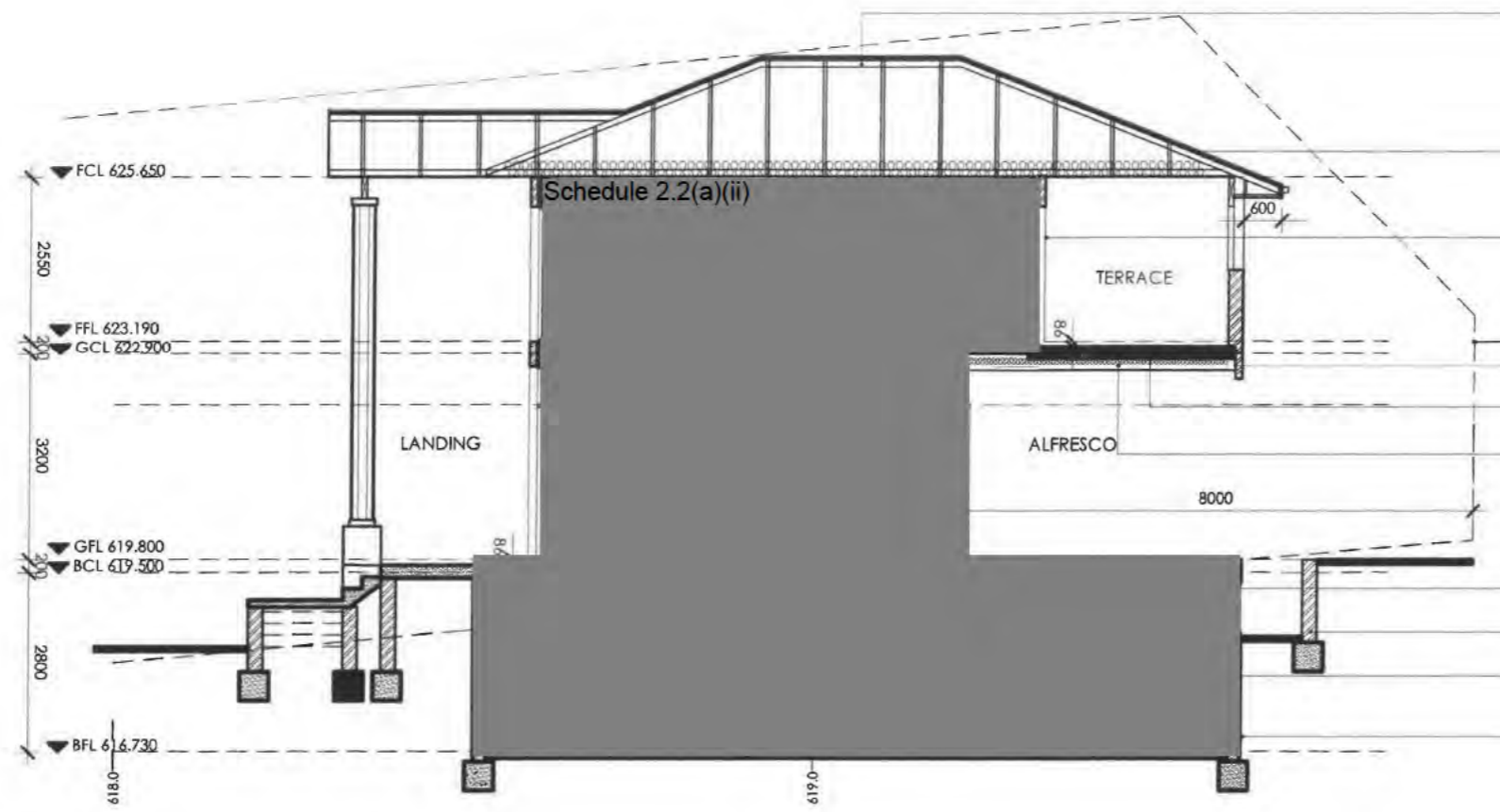
BUILDING APPROVAL
 is amended under section 32 of the Building Act 2004
Certified Building Solutions Pty Ltd
29 SEP 2018
Peter Jajopski Licence No: 200426203

DATE	REV	AMENDMENTS
-	A	DEVELOPMENT APPROVAL DRAWING
-	B	BUILDING APPROVAL DRAWING
-	C	ISSUED CONSTRUCTION DRAWING



PROJECT: NEW RESIDENCE
 CLIENT / CONTRACTOR: Schedule

SCALE: 1:100	DWG NO: A06	JOB NO: 1514
DATE: MAY.18	DRAWN: TM	C



- COLORBOND ROOF OVER TIMBER TRUSSES AT 3° PITCH TO KEEP BUILDING UNDER 8.5M HIGH. ALLOW FOR FLASHING ONTO TILED ROOF. DETAIL TO BE CONFIRMED BY TRUSS MANUFACTURER PRIOR TO FABRICATION
- CONCRETE TILED OR TERRACOTTA ROOFING OVER TIMBER TRUSSES AT 21.5° PITCH. ALLOW FOR SARKING AND R4 INSULATION.
- SARKING AND R2 INSULATION TO UPPER FLOOR BRICK VENEER WALLS
- BUILDING ENVELOPE
- BRICK CAVITY WALLS TO GROUND FLOOR
- SUSPENDED CONCRETE SLAB . ALLOW FOR R1.2 INSULATION
- SUSPENDED CEILING TO ALLOW FOR AC AND SERVICES
- SUSPENDED CONCRETE SLAB . ALLOW FOR R1.2 INSULATION
- BW RETAINING WALL TO ALLOW FOR VENTILATION DAYLIGHT TO BASEMENT FILLED DINELL OR EQUAL BASEMENT WALLS
- TANK AND DRAIN TO MANUFACTURER'S DETAIL

GENERAL NOTES

ALL WORK TO BE DONE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS, BUILDING CODE OF AUSTRALIA AND LOCAL AUTHORITY REGULATIONS. EXECUTE ALL WORK IN TRADESMAN LIKE MANNER AND TO THE SATISFACTION OF THE SUPERINTENDANT. ALL MEASUREMENTS IN MILLIMETERS UNLESS OTHERWISE NOTED.

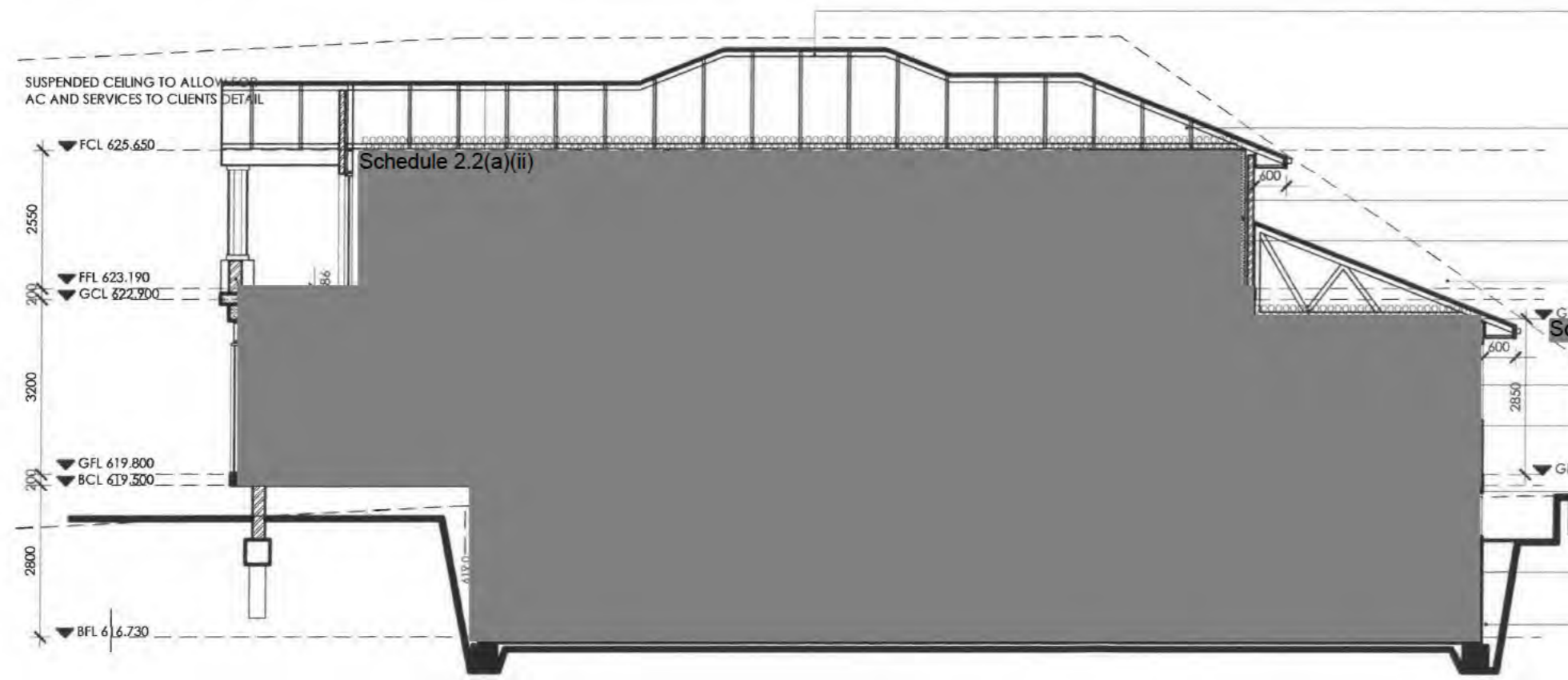
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SECTION A - A



- COLORBOND ROOF OVER TIMBER TRUSSES AT 3° PITCH TO KEEP BUILDING UNDER 8.5M HIGH. ALLOW FOR FLASHING ONTO TILED ROOF. DETAIL TO BE CONFIRMED BY TRUSS MANUFACTURER PRIOR TO FABRICATION
- CONCRETE TILED OR TERRACOTTA ROOFING OVER TIMBER TRUSSES AT 21.5° PITCH. ALLOW FOR SARKING AND R4 INSULATION.
- SARKING AND R2 INSULATION TO UPPER FLOOR BRICK VENEER WALLS
- SUSPENDED CONCRETE SLAB . ALLOW FOR R1.2 INSULATION
- BUILDING ENVELOPE
- WALLS AT 2850 TO STUDY AREA AS INDICATED AND NOTED ON PLANS
- BRICK CAVITY WALLS TO GROUND FLOOR
- SUSPENDED CONCRETE SLAB . ALLOW FOR R1.2 INSULATION
- BW OR STONE RETAINING WALL TO ALLOW FOR VENTILATION DAYLIGHT TO BASEMENT FILLED DINELL OR EQUAL BASEMENT WALLS
- TANK AND DRAIN TO MANUFACTURER'S DETAIL

DATE	REV	AMENDMENTS
-	A	DEVELOPMENT APPROVAL DRAWING
-	B	BUILDING APPROVAL DRAWING
-	C	ISSUED CONSTRUCTION DRAWING



PROJECT: NEW RESIDENCE
 CLIENT / CONTRACTOR: Schedule 2.2(a)(ii)



SCALE: 1:100	DWG NO: A07	JOB NO: 1514
DATE: MAY.18	DRAWN: TM	C

PLANNING AND DEVELOPMENT ACT 2007
APPROVAL GRANTED
 PURSUANT TO SECTION 165

Delegate name HAYDEN PINI

Date 20/12/2019

- PERGOLA ONLY OVER TERRACE
- BALUSTRADING TO CLIENTS SPECIFICATION AND TO COMPLY WITH RELEVANT STANDARDS
- BUILDING ENVELOPE AT BUILDING LINE AND AT SECTION LINE (BOTH COMPLY)
- CANTILEVERED CURVED SILICON WINDOW AS INDICATED
- ALFRESCO AREA AS PER PLAN



NORTH ELEVATION



WEST ELEVATION

GENERAL NOTES

ALL WORK TO BE DONE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS, BUILDING CODE OF AUSTRALIA AND LOCAL AUTHORITY REGULATIONS. EXECUTE ALL WORK IN TRADESPERSON LIKE MANNER AND TO THE SATISFACTION OF THE SUPERINTENDANT. ALL MEASUREMENTS IN MILLIMETERS UNLESS OTHERWISE NOTED.

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LEGEND:

- RENDERED & PAINTED FINISH
- ALUMINIUM DOUBLE GLAZED WINDOWS
- CONCRETE/ TERRACOTTA ROOF TILES

BUILDING APPROVAL
 is amended under section 32 of the Building Act 2004
 Certified Building Solutions Pty Ltd
 28 JAN 2020
Petri Jajoli Licence No: 200426203

DATE	REV	AMENDMENTS
-	A	DEVELOPMENT APPROVAL DRAWING
-	B	BUILDING APPROVAL DRAWING
-	C	REISSUED CONSTRUCTION DRAWING



PROJECT: ALTERATIONS AND ADDITIONS

CLIENT / CONTRACTOR: Schedule 2.2(a)



SCALE: 1:100	DWG NO: A05	JOB NO: 1514
DATE: MAY.18	DRAWN: TM	C

PLANNING AND DEVELOPMENT ACT 2007
APPROVAL GRANTED
 PURSUANT TO SECTION 165

Delegate name HAYDEN PINI

Date 20/12/2019



SOUTH ELEVATION



EAST ELEVATION

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Retri Jajopski Licence No: 200426203

DATE	REV	AMENDMENTS
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PROJECT: ALTERATIONS AND ADDITIONS
 CLIENT / CONTRACTOR: Schedule 2.2(a)



SCALE: 1:100	DWG NO: A06	JOB NO: 1514
DATE: MAY.18	DRAWN: TM	C

PLANNING AND DEVELOPMENT ACT 2007
APPROVAL GRANTED
 PURSUANT TO SECTION 165

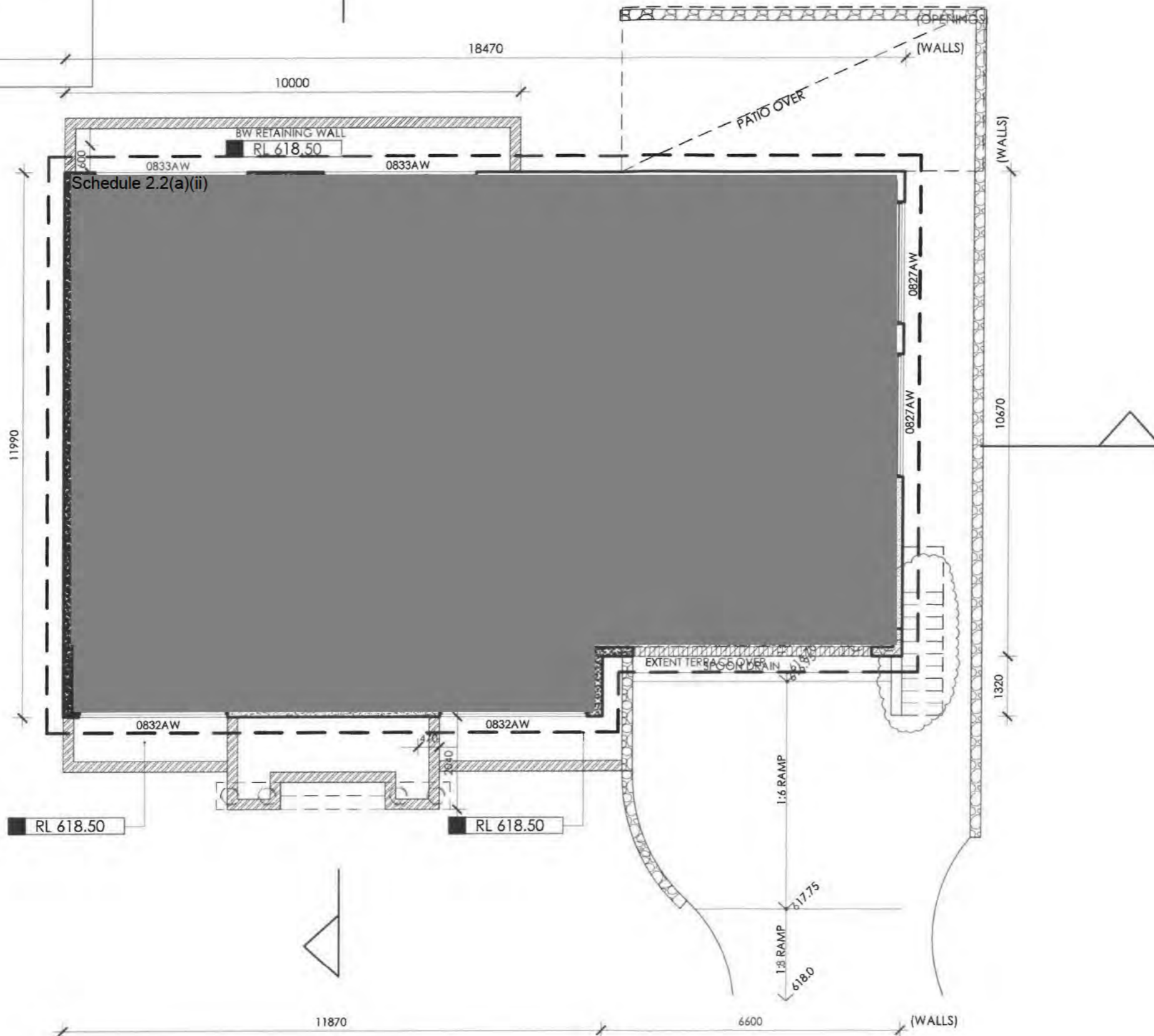
Delegate name HAYDEN PINI

Date 20/12/2019

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DATE	REV	AMENDMENTS
-	A	DEVELOPMENT APPROVAL DRAWING



PROJECT: ALTERATIONS AND ADDITIONS

CLIENT / CONTRACTOR: Schedule 2.2(a)(ii)



SCALE: 1:100	DWG NO: A02	JOB NO: 1514
DATE: FEB.16	DRAWN: TM	C

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APPROVAL GRANTED
 PURSUANT TO SECTION 165

Delegate name HAYDEN PINI
 Date 20/12/2019

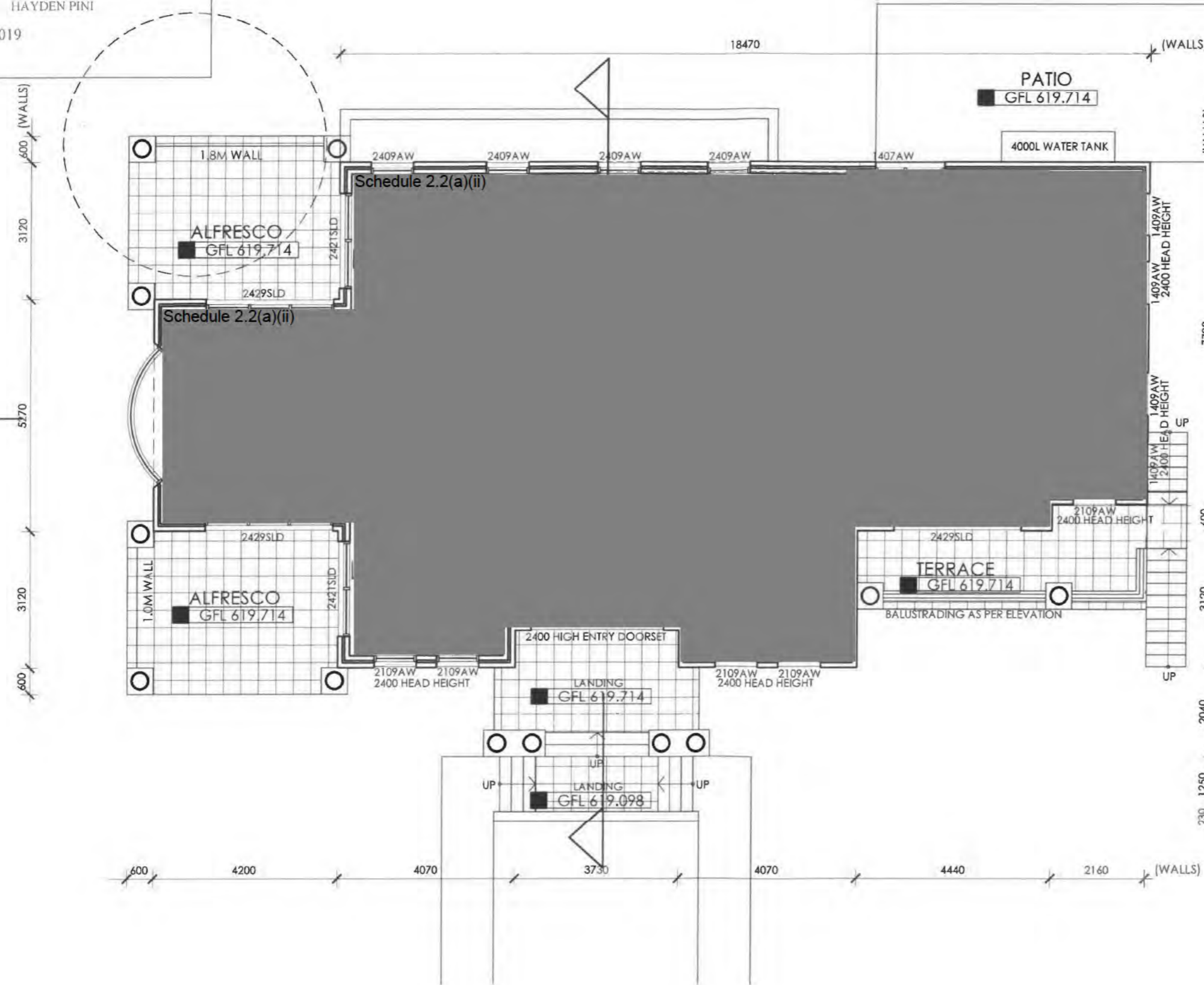
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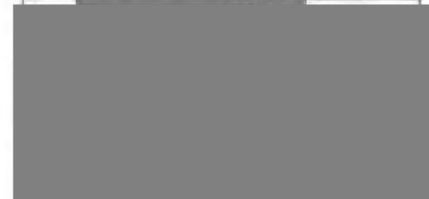


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Petri Majoki Licence No: 200426203

DATE	REV	AMENDMENTS
-	A	DEVELOPMENT APPROVAL DRAWING
-	B	BUILDING APPROVAL DRAWING
-	C	REISSUED CONSTRUCTION DRAWING



PROJECT:
 ALTERATIONS AND ADDITIONS
 CLIENT / CONTRACTOR:
 Schedule 2.2(a)(ii)



SCALE: 1:100	DWG NO: A03	JOB NO: 1514
DATE: MAY.18	DRAWN: TM	C

PLANNING AND DEVELOPMENT ACT 2007
APPROVAL GRANTED
 PURSUANT TO SECTION 165

Delegate name HAYDEN PINI

Date 20/12/2019

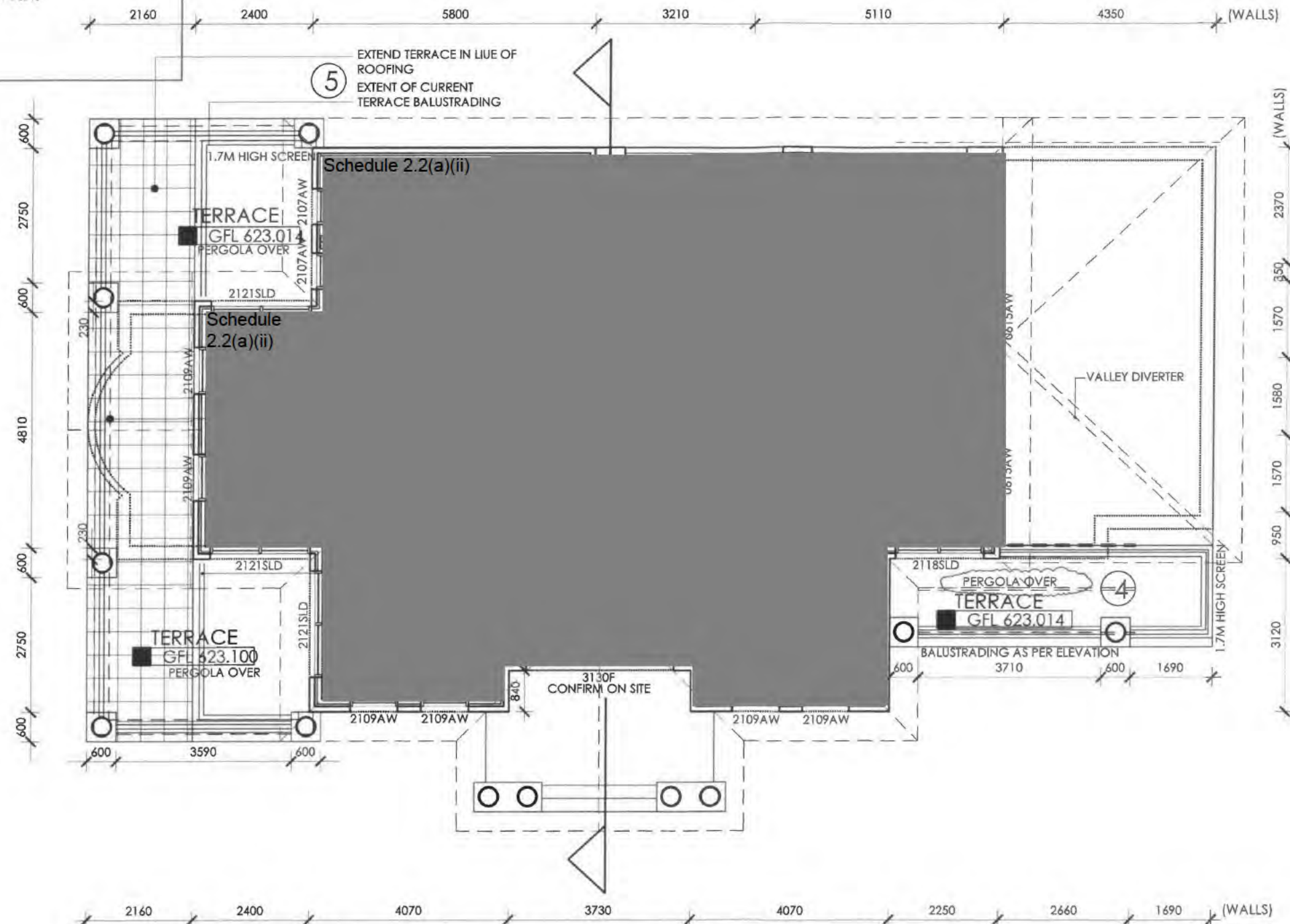
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DATE	REV	AMENDMENTS
-	A	DEVELOPMENT APPROVAL DRAWING
-	B	BUILDING APPROVAL DRAWING
-	C	ISSUED CONSTRUCTION DRAWING



PROJECT:
 ALTERATIONS AND ADDITIONS

CLIENT / CONTRACTOR:
 Schedule 2.2(a)(ii)



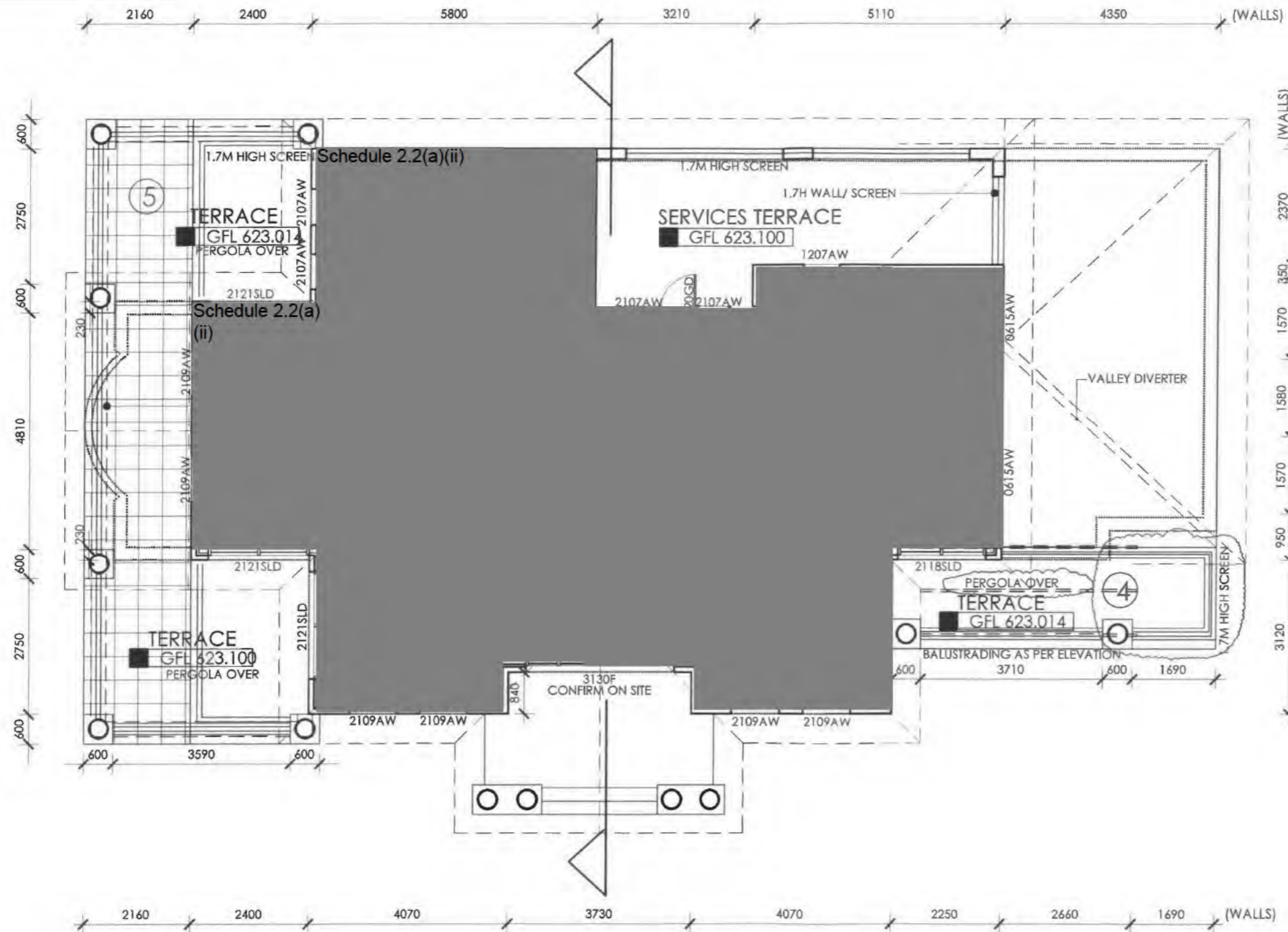
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DATE: MAY.18	DRAWN: TM	C



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 PURSUANT TO SECTION 165

Delegate name HAYDEN PINI
 Date 20/12/2019

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-	A	DEVELOPMENT APPROVAL DRAWING



PROJECT:
 ALTERATIONS AND ADDITIONS

CLIENT / CONTRACTOR:
 Schedule 2.2(a)

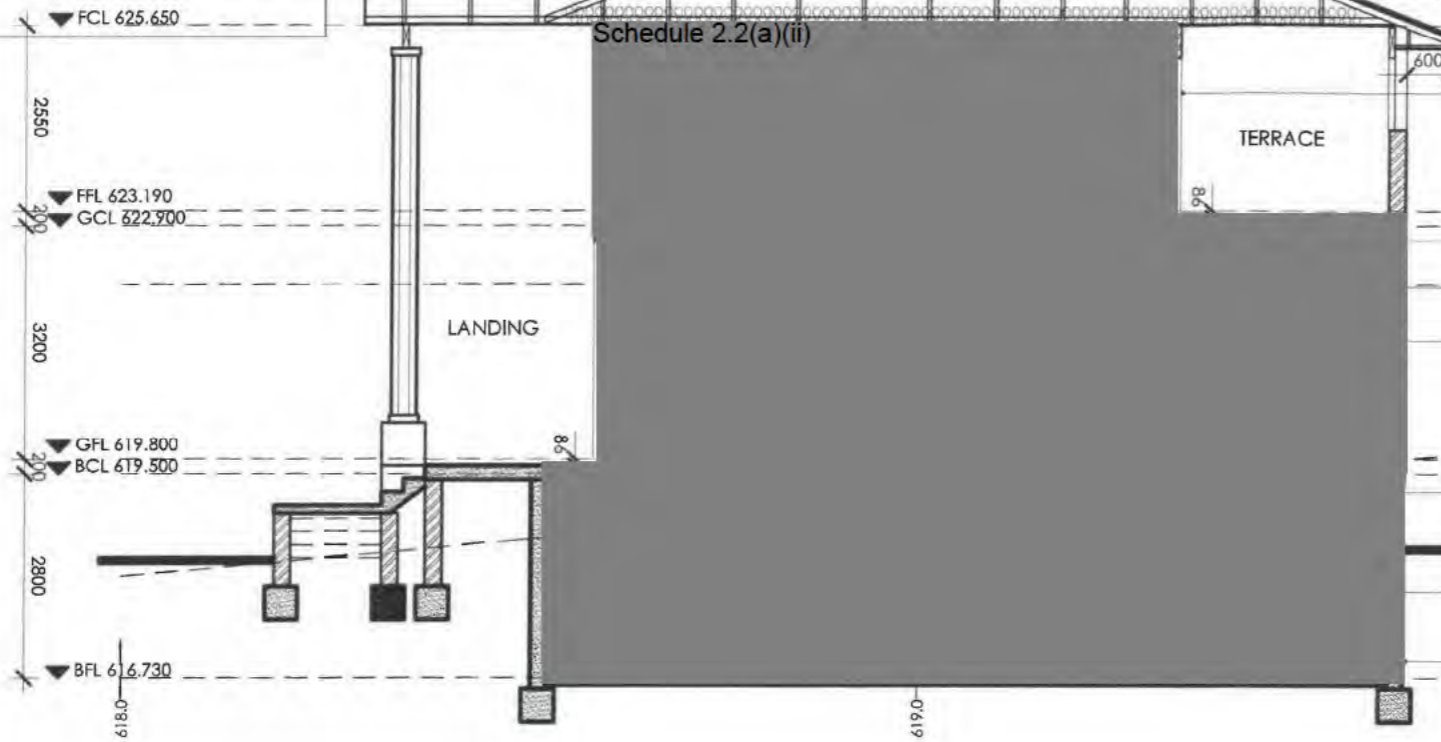


SCALE: 1:100	DWG NO: A04	JOB NO: 1514
DATE: FEB.16	DRAWN: TM	C

PLANNING AND DEVELOPMENT ACT 2007
APPROVAL GRANTED
 PURSUANT TO SECTION 165

Delegate name HAYDEN PINI

Date 20/12/2019



SECTION A - A

- COLORBOND ROOF OVER TIMBER TRUSSES AT 3° PITCH TO KEEP BUILDING UNDER 8.5M HIGH. ALLOW FOR FLASHING ONTO TILED ROOF. DETAIL TO BE CONFIRMED BY TRUSS MANUFACTURER PRIOR TO FABRICATION
- CONCRETE TILED OR TERRACOTTA ROOFING OVER TIMBER TRUSSES AT 21.5° PITCH. ALLOW FOR SARKING AND R4 INSULATION.
- SARKING AND R2 INSULATION TO UPPER FLOOR BRICK VENEER WALLS
- BUILDING ENVELOPE
- BRICK CAVITY WALLS TO GROUND FLOOR
- SUSPENDED CONCRETE SLAB . ALLOW FOR R1.2 INSULATION
- SUSPENDED CEILING TO ALLOW FOR AC AND SERVICES
- SUSPENDED CONCRETE SLAB . ALLOW FOR R1.2 INSULATION
- BW RETAINING WALL TO ALLOW FOR VENTILATION DAYLIGHT TO BASEMENT
- FILLED DINELL OR EQUAL BASEMENT WALLS
- TANK AND DRAIN TO MANUFACTURER'S DETAIL

GENERAL NOTES

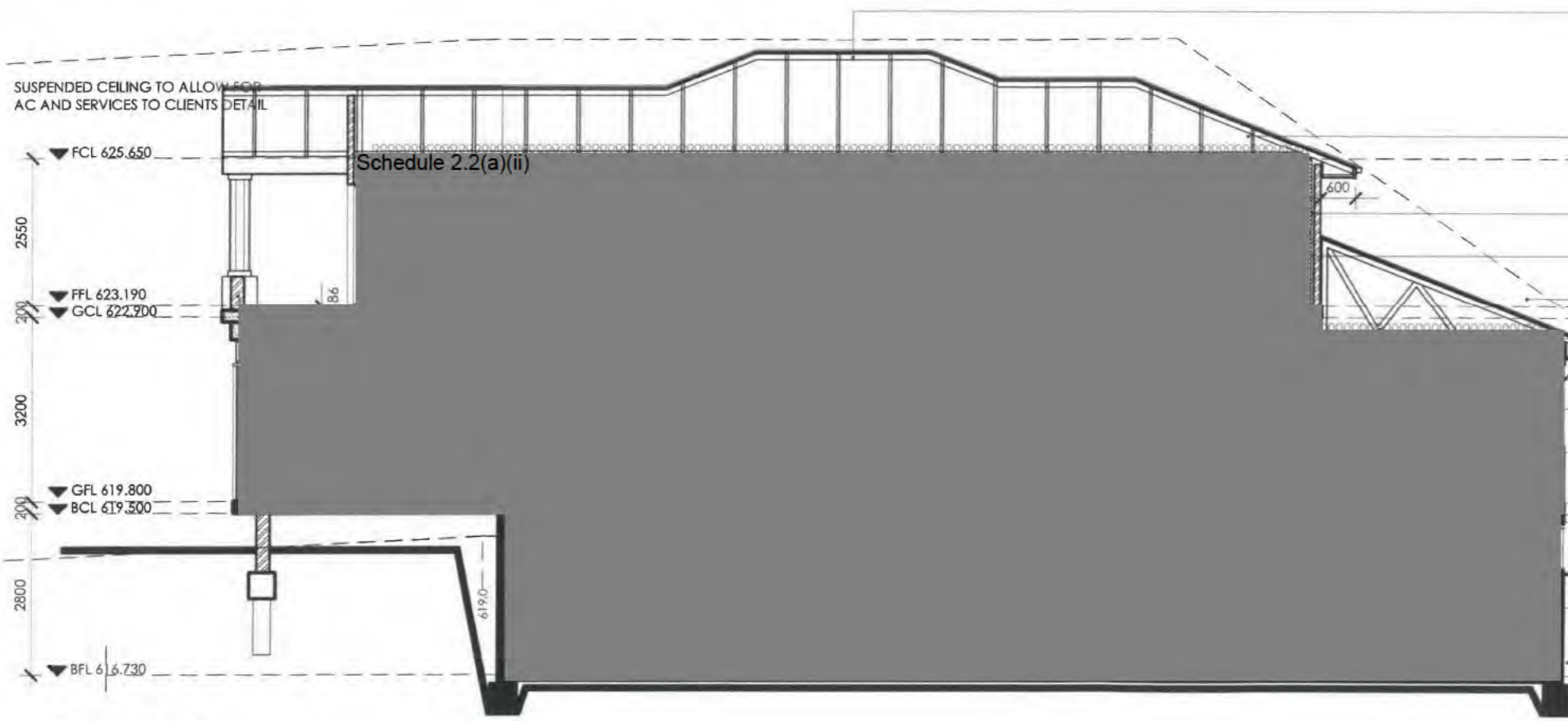
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Rishi Rajgopal Licence No: 200428203



SECTION B - B

- COLORBOND ROOF OVER TIMBER TRUSSES AT 3° PITCH TO KEEP BUILDING UNDER 8.5M HIGH. ALLOW FOR FLASHING ONTO TILED ROOF. DETAIL TO BE CONFIRMED BY TRUSS MANUFACTURER PRIOR TO FABRICATION
- CONCRETE TILED OR TERRACOTTA ROOFING OVER TIMBER TRUSSES AT 21.5° PITCH. ALLOW FOR SARKING AND R4 INSULATION.
- SARKING AND R2 INSULATION TO UPPER FLOOR BRICK VENEER WALLS
- SUSPENDED CONCRETE SLAB . ALLOW FOR R1.2 INSULATION
- BUILDING ENVELOPE
- WALLS AT 2850 TO STUDY AREA AS INDICATED AND NOTED ON PLANS
- BRICK CAVITY WALLS TO GROUND FLOOR
- SUSPENDED CONCRETE SLAB . ALLOW FOR R1.2 INSULATION
- BW OR STONE RETAINING WALL TO ALLOW FOR VENTILATION DAYLIGHT TO BASEMENT
- FILLED DINELL OR EQUAL BASEMENT WALLS
- TANK AND DRAIN TO MANUFACTURER'S DETAIL

DATE	REV	AMENDMENTS
-	A	DEVELOPMENT APPROVAL DRAWING
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PROJECT: ALTERATIONS AND ADDITIONS
 CLIENT / CONTRACTOR: Schedule 2.2(a)

SCALE: 1:100	DWG NO: A07	JOB NO: 1514
DATE: MAY.18	DRAWN: TM	C

PLANNING AND DEVELOPMENT ACT 2007
APPROVAL GRANTED
 PURSUANT TO SECTION 165

Delegate name HAYDEN PINI

Date 20/12/2019

EXISTING 1.8M HIGH TIMBER PALING FENCE

MINIMUM 50% OF POS TO BE LANDSCAPED

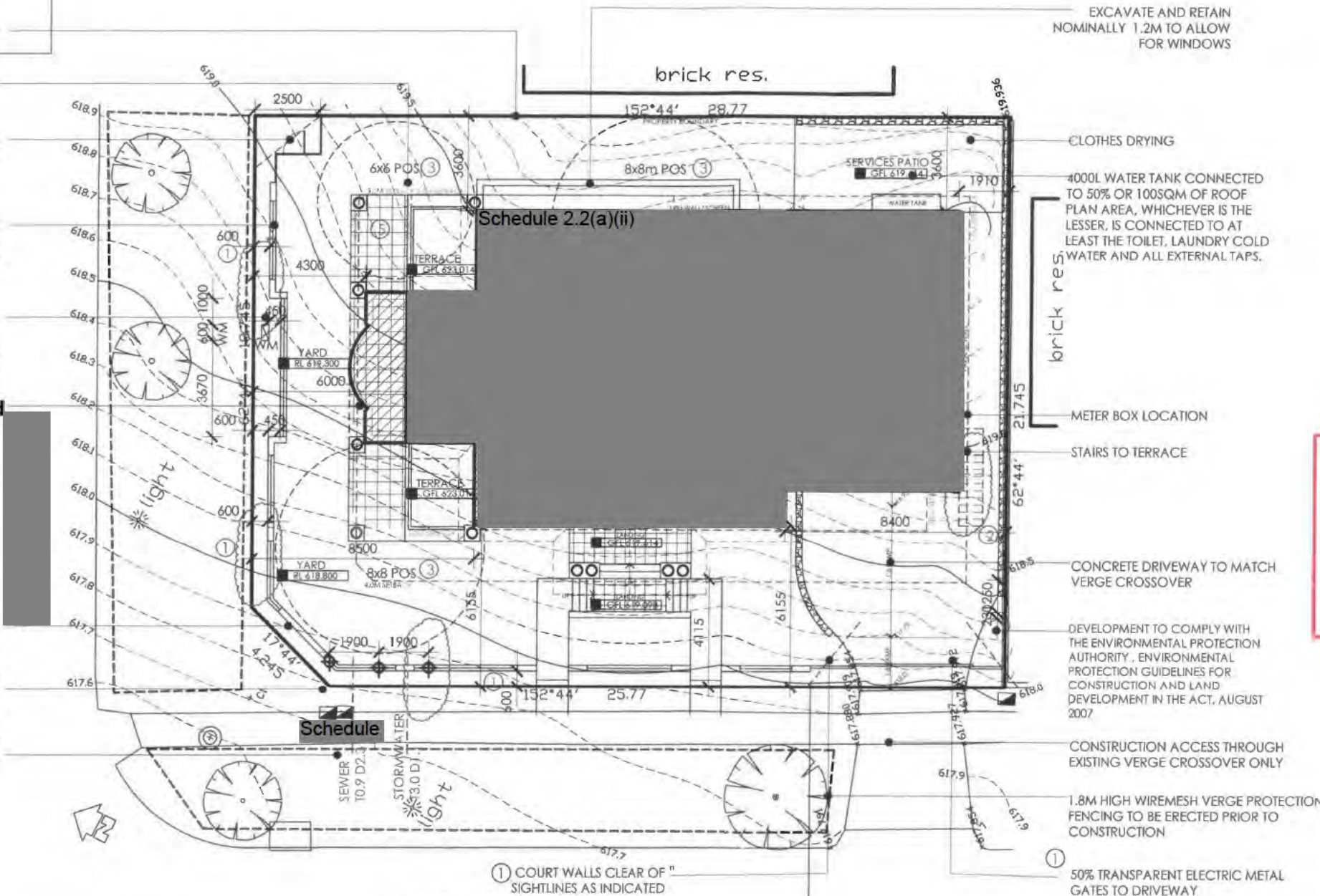
COURT WALLS CLEAR OF SIGHTLINES AS INDICATED

600H COURT WALL WITH PIERS AND SEMI TRANSPARENT (33%) INFILL PANELS. MANDATORY LANDSCAPING PROUD OF WALL

WATER METER 600 FROM BOUNDARY, 1M CLEAR OF COURT WALL ON 2 SIDES AND 450MM PROUD OF COURT WALL AS INDICATED AND DIMENSIONED

TERRACE EXTENDED OVER SCHED IN LIEU OF ROOF

1.8 M HIGH COURTYARD WALL TO MATCH DWELLING. MANDATORY LANDSCAPING PROUD OF WALLS DIA 400 PIERS 2.5M DEEP MASS CONCRETE PIERS UNDER FOOTING TO ALLOW FOR SERVICE TIES AS NOTED SERVICE TIES



EXCAVATE AND RETAIN NOMINALLY 1.2M TO ALLOW FOR WINDOWS

CLOTHES DRYING

4000L WATER TANK CONNECTED TO 50% OR 100SQM OF ROOF PLAN AREA, WHICHEVER IS THE LESSER, IS CONNECTED TO AT LEAST THE TOILET, LAUNDRY COLD WATER AND ALL EXTERNAL TAPS.

METER BOX LOCATION

STAIRS TO TERRACE

CONCRETE DRIVEWAY TO MATCH VERGE CROSSOVER

DEVELOPMENT TO COMPLY WITH THE ENVIRONMENTAL PROTECTION AUTHORITY, ENVIRONMENTAL PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE ACT, AUGUST 2007

CONSTRUCTION ACCESS THROUGH EXISTING VERGE CROSSOVER ONLY

1.8M HIGH WIREMESH VERGE PROTECTION FENCING TO BE ERECTED PRIOR TO CONSTRUCTION

50% TRANSPARENT ELECTRIC METAL GATES TO DRIVEWAY

1 COURT WALLS CLEAR OF SIGHTLINES AS INDICATED

SITE SUMMARY	
SITE AREA :	621 SQM
GROUND FLOOR :	202.6 SQM
FIRST FLOOR LIVING :	107.4 SQM
TOTAL GFA :	310.0 SQM
PLOT RATIO :	49.9 %
OPEN SPACE REQUIRED :	316.0 SQM
OPEN SPACE ACHIEVED :	413.2 SQM
BASEMENT GARAGE :	200.0 SQM
TERRACES :	072.0 SQM
ENTRY PORTICO :	013.0 SQM
ALFRESCO :	034.0 SQM

LEGEND	
BASEMENT AREA:	
GROUND AREA:	
FIRST AREA:	

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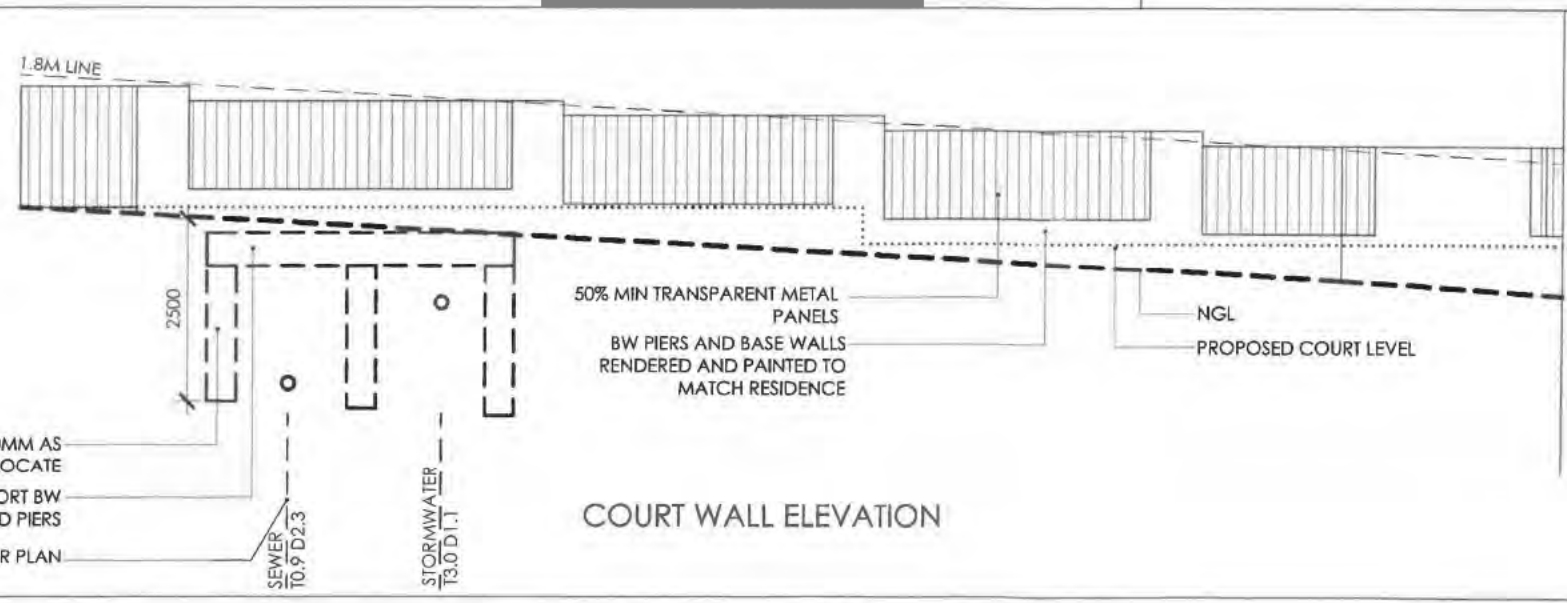


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PROJECT: ALTERATIONS AND ADDITION
 CLIENT / CONTRACTOR: Schedule 2.2(a)(ii)

SCALE: 1:200	DWG NO: A01	JOB NO: 1514
DATE: MAY.18	DRAWN: TM	C



COURT WALL ELEVATION

BORED PIERS DIA 400MM AS INDICATED- REFER PLAN TO LOCATE
 450H FOOTING TO SUPPORT BW BASE AND PIERS
 SERVICES INDICATED AS PER PLAN

50% MIN TRANSPARENT METAL PANELS
 BW PIERS AND BASE WALLS RENDERED AND PAINTED TO MATCH RESIDENCE

NGL
 PROPOSED COURT LEVEL