



ACT
Government

Chief Minister, Treasury and
Economic Development

Freedom of Information Publication Coversheet

The following information is provided pursuant to section 28 of the *Freedom of Information Act 2016*.

FOI Reference: CMTEDDFOI 2018-0137

Information to be published	Status
1. Access application	Published
2. Decision notice	Published
3. Documents and schedule	Published
4. Additional information identified	Yes/No
5. Fees	N/A
6. Processing time (in working days)	7
7. Decision made by Ombudsman	N/A
8. Additional information identified by Ombudsman	N/A
9. Decision made by ACAT	N/A
10. Additional information identified by ACAT	N/A



From: [REDACTED]

Sent: Saturday, 2 June 2018 12:29 PM

To: EPSDFOI <EPSDFOI@act.gov.au>

Cc: [REDACTED] accesscanberra
<accesscanberra@act.gov.au>

Subject: Request for information under the Freedom of Information Act for plans and all approvals of 11 Bellbird Loop, Lawson, ACT-2617

Dear Sir, Madam,

We are making this request under the Freedom of Information Act.

Please be advised that we had requested this information from Access Canberra under Freedom of Information Act on 30 March 2018 and separately on 15 May 2018. Access Canberra have in the first instance not responded and in the second instance have asked to write to you for this information.

The information that we are asking for relates to the property, its construction work and proposed residential dwelling at 11 Bellbird Loop, Lawson, ACT-2617. Please note that [REDACTED] [REDACTED] Please provide the following information

1. The building plans of 11 Bellbird Loop, Lawson, ACT-2617,
2. All development and building approvals for this property including retaining walls, trenches, side cuts, fences, etc. and when these approvals were given, and
3. The details of persons signing off on all the approvals; this includes details of the respective staff at ACT Access Canberra, ACT WorkSafe, and ACT Environment, Planning and Sustainment Development Directorate.

Please note that we have been asking for this information since 30th of March 2018 and in the meanwhile [REDACTED] construction is proceeding. [REDACTED]
[REDACTED]

Therefore, we would appreciate the support of your office in obtaining the requested details on an urgent basis.

Thank you.

Regards,

[REDACTED]



ACT
Government

Chief Minister, Treasury and
Economic Development

Our ref: CMTEDDFOI 2018-0137



via email: 

Dear 

FREEDOM OF INFORMATION REQUEST

I refer to your application under section 30 of the *Freedom of Information Act 2016* (the Act), received by the Chief Minister, Treasury and Economic Development Directorate (CMTEDD) on 5 June 2018, in which you sought access to:

1. The building plans of 11 Bellbird Loop, Lawson, ACT-2617,
2. All building approvals for this property including retaining walls, trenches, side cuts, fences, etc. and when these approvals were given, and
3. The details of persons signing off on all the approvals; this includes details of the respective staff at ACT Access Canberra, ACT WorkSafe, and ACT Environment, Planning and Sustainment Development Directorate.

I note that documents in relation to the development aspect of point 2 of your request will be processed by the Environment, Planning and Sustainable Development Directorate (EPSDD) as they are the responsible Directorate for processing these types of approvals. A decision in relation to the release of these documents will be sent to you separately by EPSDD.

Authority

I am an Information Officer appointed by the Director-General of CMTEDD under section 18 of the Act to deal with access applications made under Part 5 of the Act.

Timeframes

In accordance with section 40 of the Act, CMTEDD is required to provide a decision on your access application by 4 July 2018.

Decision on access

Searches were completed for relevant documents and 8 documents were identified that fall within the scope of your request.

I have decided to grant full access to 2 documents and partial access to 6 documents. The information redacted in the documents I consider to be information that would, on

balance, be contrary to the public interest to disclose under the test set out in section 17 of the Act.

I have included as Attachment A to this decision the schedule of relevant documents. This provides a description of each document that falls within the scope of your request and the access decision for each of those documents.

My access decisions are detailed further in the following statement of reasons and the documents released to you are provided as Attachment B to this letter.

In accordance with section 54(2) of the Act a statement of reasons outlining my decision is below.

Statement of Reasons

In reaching my access decision, I have taken the following into account:

- the Act;
- the content of the documents that fall within the scope of your request; and
- the *Human Rights Act 2004*.

Exemption claimed

My reasons for deciding not to grant access to the identified documents and components of these documents are as follows:

Public Interest

The Act has a presumption in favour of disclosure. As a decision maker I am required to decide where, on balance, public interests lies. As part of this process I must consider factors favouring disclosure and non-disclosure.

In *Hogan v Hinch* (2011) 243 CLR 506, [31] French CJ stated that when 'used in a statute, the term [public interest] derives its content from "the subject matter and the scope and purpose" of the enactment in which it appears'. Section 17(1) of the Act sets out the test, to be applied to determine whether disclosure of information would be contrary to the public interest. These factors are found in subsection 17(2) and Schedule 2 of the Act.

Taking into consideration the information contained in the documents found to be within the scope of your request, I have identified that the following public interest factors are relevant to determine if release of the information contained within these documents is within the 'public interest'.

Factors favouring disclosure (Schedule 2.1)

- inform the community of the government's operations, including the policies, guidelines and codes of conduct followed by the government in its dealings with members of the community;
- contribute to the administration of justice generally, including procedural fairness.

Factors favouring non-disclosure (Schedule 2.2)

- Prejudice the protection of an individual's right to privacy or other right under the *Human Rights Act 2004*.

Having considered the factors identified as relevant in this matter, I consider that release of information contained in these documents may contribute to informing the community of the government's operations, including the policies, guidelines and codes of conduct followed by the government in its dealings with members of the community by allowing you to have a complete record of the interactions between the builder/certifier and the ACT Government and the steps taken by the builder/certifier to comply with these legislative requirements.

However, when considering this finding against the factor favouring non-disclosure, I am satisfied that the protection of an individual's right to privacy, especially in the course of seeking regulatory approval in accordance with relevant legislation is a significant factor as the parties involved have provided their personal information for the purposes of meeting these obligation which, in my opinion, outweighs the benefit which may be derived from releasing the personal information of the individual's involved in this matter. These individuals are entitled to expect that the personal information they have supplied as part of this process will be dealt with in a manner that protects their privacy. Considering the type of information to be withheld from release I am satisfied that the factors in favour of release can still be met while protecting the personal information of the individuals involved.

I therefore weight the factor for non-disclosure more highly than the factor in favour of release in this instance. As a result, I have decided that release of this information (names, email addresses, phone numbers costs of building works and internal floor plans of an individual's private residents) could prejudice their right to privacy under the *Human Rights Act 2004*.

Having applied the test outlined in section 17 of the Act and deciding that release of personal information contained in the documents is not in the public interest to release, I have chosen to redact this specific information in accordance with section 50(2). Noting the pro-disclosure intent of the Act, I am satisfied that redacting only the information that I believe is not in the public interest to release will ensure the intent of the Act is met and will provide you with access to the majority of the information held by CMTEDD within the scope of your request.

Folios 3-4, 7-20, 23-24, 26 and 28 of the identified documents contain information that I consider, on balance, to be contrary to the public interest to disclose under the test set out in section 17 of the Act.

Charges

Pursuant to *Freedom of Information (Fees) Determination 2017 (No 2)* processing charges are not applicable for this request because the total number folio's to be released to you is below the charging threshold of 50 pages.

Online publishing – Disclosure Log

Under section 28 of the Act, CMTEDD maintains an online record of access applications called a disclosure log. Your original access application, my decision and documents released to you in response to your access application will be published in the CMTEDD disclosure log after 20 June 2018. Your personal contact details will not be published.

You may view CMTEDD disclosure log at:

<https://www.cmtedd.act.gov.au/functions/foi/disclosure-log>.

Ombudsman Review

My decision on your access request is a reviewable decision as identified in Schedule 3 of the Act. You have the right to seek Ombudsman review of this outcome under section 73 of the Act within 20 working days from the day that my decision is published in CMTEDD disclosure log, or a longer period allowed by the Ombudsman.

If you wish to request a review of my decision you may write to the Ombudsman at:

The ACT Ombudsman

GPO Box 442

CANBERRA ACT 2601

Via email: ombudsman@ombudsman.gov.au

ACT Civil and Administrative Tribunal (ACAT) Review

Under section 84 of the Act, if a decision is made under section 82(1) on an Ombudsman review, you may apply to the ACAT for review of the Ombudsman decision. Further information may be obtained from the ACAT at:

ACT Civil and Administrative Tribunal

Level 4, 1 Moore St

GPO Box 370

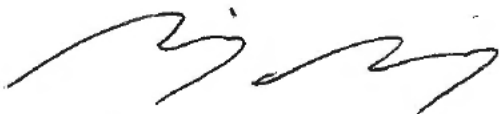
Canberra City ACT 2601

Telephone: (02) 6207 1740

<http://www.acat.act.gov.au/>

Should you have any queries in relation to your request please contact me by telephone on 6207 7754 or email CMTEDDFOI@act.gov.au

Yours sincerely,



Daniel Riley

Information Officer

Information Access Team

Chief Minister, Treasury and Economic Development Directorate

15 June 2018



ACT
Government

Chief Minister, Treasury and
Economic Development

FREEDOM OF INFORMATION REQUEST SCHEDULE

NAME	WHAT ARE THE PARAMETERS OF THE REQUEST	Reference NO.
	<p>1. The building plans of 11 Bellbird Loop, Lawson, ACT-2617,</p> <p>2. All building approvals for this property including retaining walls, trenches, side cuts, fences, etc. and when these approvals were given, and</p> <p>3. The details of persons signing off on all the approvals; this includes details of the respective staff at ACT Access Canberra, ACT WorkSafe, and ACT Environment, Planning and Sustainment Development Directorate.</p>	2018-0137

Ref No	Page number	Description	Date	Status	Reason for Exemption	Online Release Status
1	1	Contour & Detail Survey Plan	05-May-2017	Full release	N/A	Yes
2	2-5	Exempt Declaration Form N1	29-Aug-2017	Partial release	Sch 2 s2.2 (a)(ii)	Yes
3	6	Assessment of Proposal	06-Sep-2017	Full release	N/A	Yes
4	7-19	Plans as attachment to above proposal	06-Sep-2017	Partial release	Sch 2 s2.2 (a)(ii)	Yes
5	20-22	Single Dwelling Housing Assessment for Exempt Development	18-Jan-2018	Partial release	Sch 2 s2.2 (a)(ii)	Yes
6	23-25	Appointment of a Certifier – Application for for Building Approval	05-Feb-2018	Partial release	Sch 2 s2.2 (a)(ii)	Yes
7	26-27	Building Approval	07-Feb-2018	Partial release	Sch 2 s2.2 (a)(ii)	Yes
8	28-29	Building Commencement Notice	19-Feb-2018	Partial release	Sch 2 s2.2 (a)(ii)	Yes
Total No of Docs						
8						

DISCLAIMERS:
Tree canopies are shown as a circular
representation only and may not
reflect irregular canopies.

The symbols used in this plan and associated
digital data do not necessarily reflect the size
and orientation of the object they represent.

Boundary information is for the purpose of
this plan. Further survey and marking of
boundaries may be required.

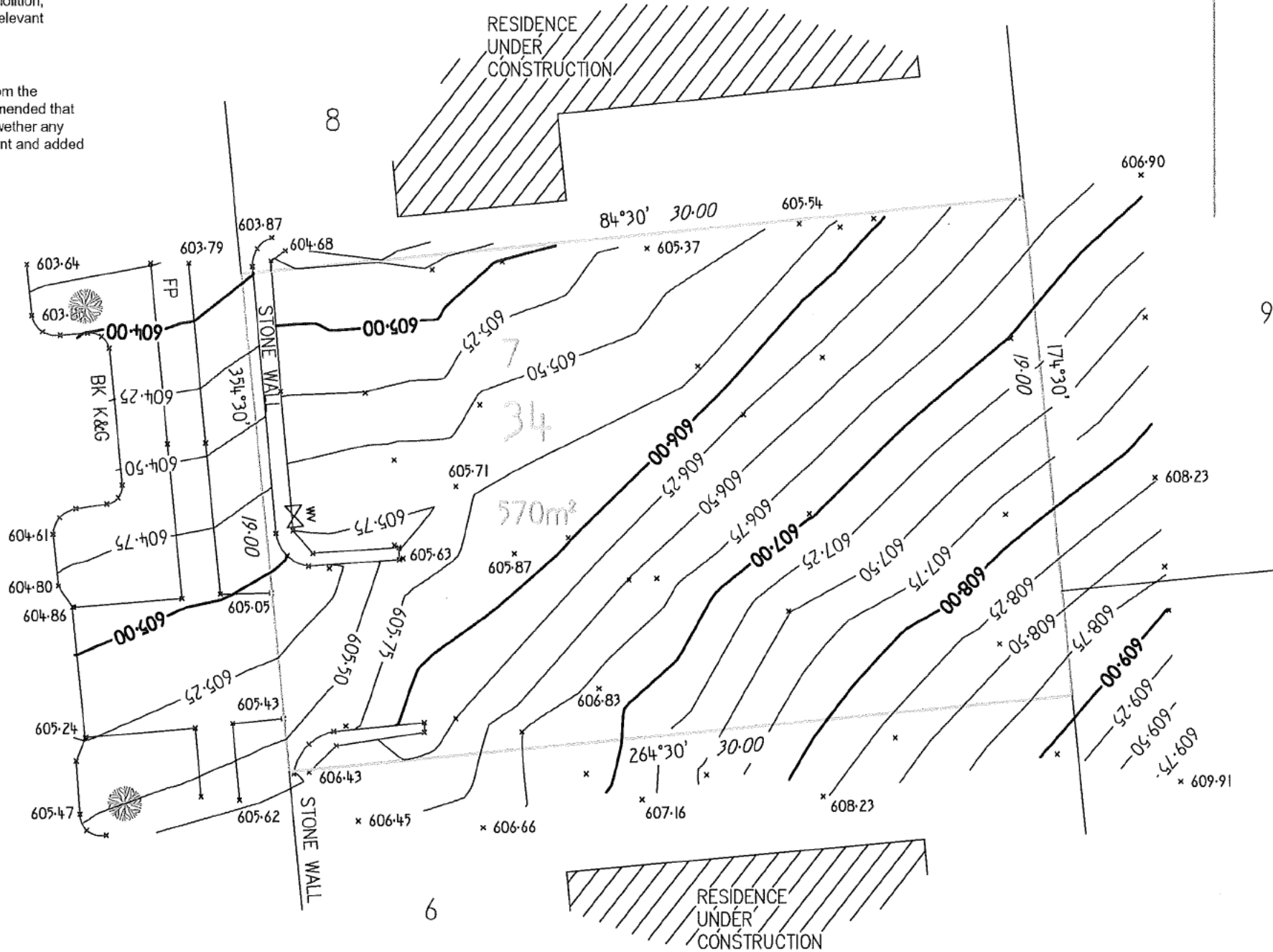
Services shown hereon have been determined
from visual evidence only. Prior to any demolition,
excavation or construction on the site the relevant
authority should be contacted to establish
detailed location and depth.

Easement information has been derived from the
Deposited Plan and ACTMAP1. It is recommended that
a title search be carried out to investigate whether
Easements have been created by instrument and added
to the title.

LEGEND

SYMBOL	DESCRIPTION
	WATER VALVE
	TREE

BELBIRD
LOOP



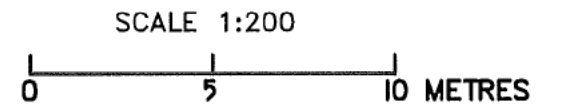
BRIAN MILBURN & ASSOCIATES



CONSULTANT SURVEYING.
 55 BIMBERI CRES PALMERSTON ACT 2913
 PHONE FAX 0262412543
 MOBILE [REDACTED]
 EMAIL [REDACTED]

REVISION	DATE

BLOCK 7 SECTION 34
 DIVISION LAWSON
 DATUM A.H.D. CI 0.25
 ORIGIN CRM14006 RL600.12 DP11268



PROJECT
 CONTOUR & DETAIL SURVEY PLAN.

CLIENT
 DNA

DETAIL SURVEY FOR DESIGN PURPOSES.
 NO UNDERGROUND SERVICES HAVE BEEN LOCATED.

ACTIVITY	NAME	DATE
SURVEYED	B Milburn	5/05/17
DRAWN	B Milburn	5/05/17
CHECKED	B Milburn	5/05/17

APPROVED
 Brian Milburn

Surveyor, Registered under the Surveyors Act 2007.

SHEET NO	JOB NO	DRAWING REFERENCE	REV	SIZE
1	2123	2123ZA	-	A3

Exempt Declaration Form 1N - Submission confirmation

Your submission has been successful. Please keep a copy of this receipt for your records.

Date and time	Reference code
29 Aug 2017 4:05:10 PM	4WYCBN

Environment, Planning and Sustainable
Development Directorate

GPO Box 158
Canberra City ACT 2601

Telephone: (02) 6207 1923

Lease/site details

Suburb/District *	Section *	Block *
LAWSON	34	7

If you require help with suburb/district, section or block details, visit ACTMAPI.

Address line 1 *

11 BELLBIRD LOOP

Address line 2

Suburb *	State	Postcode *
LAWSON	ACT	2617

Applicant/certifier details

Is the applicant a *

Company **Individual**

Company name *

DNA ARCHITECTS

Provide either an ABN or an ACN *

ABN	ACN
17600270522	

Contact details

Title	Given name *	Family name *
Mr		

Position held in company *

DIRECTOR

Please enter at least one phone number: *

Home phone number

Work phone number

Mobile number

62304688

Email address *

naa.com.au

Decision and Plans - Your decision and plans will be returned via email. Please ensure your email address provided is correct.

Lessee (Property owners) details

All lessees **must** be included in this form and **must** sign the Letter of Authority authorising the lodgement of this application. In doing so the lessee gives authority to the applicant to negotiate any dealings in relation to the application through to its determination.

Item Number 1

Same as applicant

Lessee

Is this lessee a *

Company

Individual

Contact details

Title

Given name *

Family name *

Sch 2 s2(a)(ii)

Sch 2 s2(a)(ii)

Sch 2 s2(a)(ii)

Please enter at least one phone number: *

Home phone number

Work phone number

Mobile number

Sch 2 s2(a)(ii)

Email address *

Sch 2 s2(a)(ii)

Please attach a letter of authority signed by all lessee's. *

File: 2017.8.28 Form for 1N Application Lawson-Sch 2 s2(a)(ii).pdf

Rule departure/s

This application seeks approval for the following minor departure/s from the Single Residential Housing Development Code.

Item Number 1

Rule number *

6

Description of departure *

NORTHERN FACADE ENCROACHMENT OF SOLAR BUILDING ENVELOPE (UPPER FLOOR/ROOF)

Item Number 2

Rule number *

7

Description of departure *

SOUTHERN FACADE ENCROACHMENT OF SOLAR BUILDING ENVELOPE (PARAPET ONLY)

Shadow diagrams indicating the extent of the departure will assist in assessing this rule and if not initially provided may be requested during the assessment, or a decision will be made based on the information provided.

Relevant plans and supporting documentation that clearly identify the rule departure/s must be uploaded as a single PDF. *

File: 1724_1724_Sch 2 s2(a)(ii)_LAWSON_1N APPLICATION 29.08.2017.pdf

Is the work detailed in this application currently under construction? *

Yes

No

Is this application for an existing structure? *

Yes

No

Is the application being considered subject to a current Building Approval? *

Yes

No

Is the application subject to a completed Building Approval? *

Yes

No

Is this application currently subject to compliance action? *

Yes

No

Applicant declaration

I, [REDACTED]

declare that all the information given on this form and its attachments is true and complete. *

declare that the attached plans clearly show the departure (for example, through using colour), and any other relevant information. *

I understand an assessment is only conducted once an application is lodged, and incorrect documentation may result in a refusal. *

**ASSESSMENT OF PROPOSAL
DETERMINATION UNDER SECTION 1.100A OF THE
PLANNING AND DEVELOPMENT REGULATION 2008**

Description of extended distance:

Rule 6 - Building envelope departure of a maximum 1200mm for a length of 7355mm

Rule 7 - Solar envelope departure of a maximum 515mm for a length of 3821mm

Assessment:

PASS

FAIL

Is the non-compliance minor?

Yes

No

Will building the dwelling other than in accordance with the relevant rules:

- Adversely affect someone other than the applicant?

No

Yes

- Increase the environmental impact of the dwelling more than minimally?

No

Yes

Plans provided adequately identify departures?

Yes

No

Comments:

Considered to be minor in context

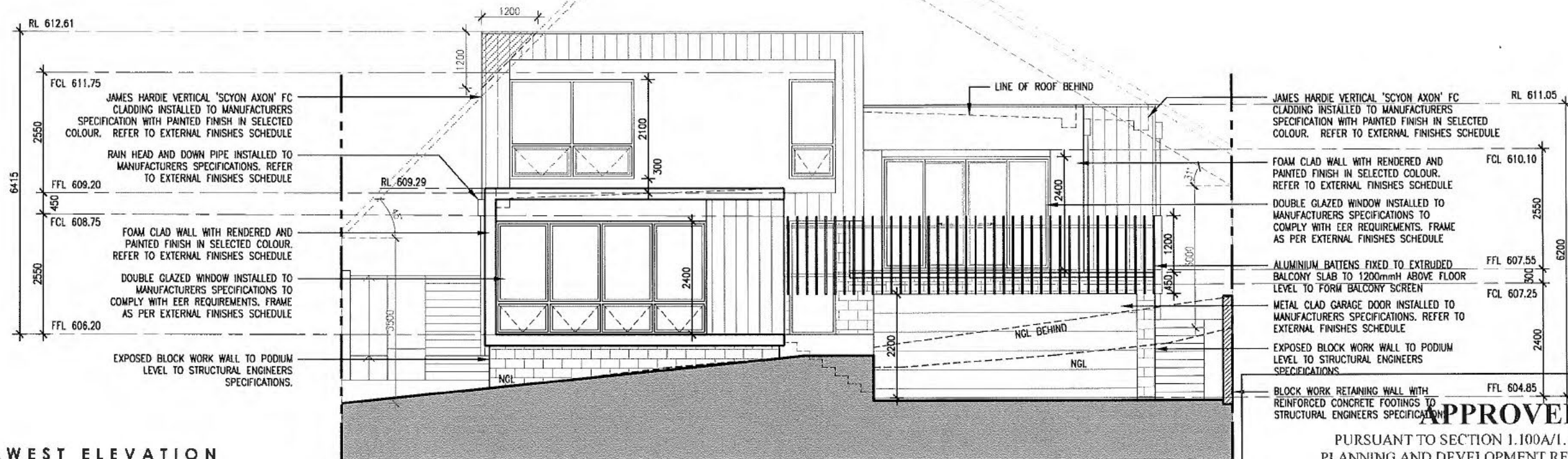
Plans stamped:

Approved

Refused

Delegate of

Environment, Planning and Sustainable Development Directorate: George Cilliers 06/09/17



WEST ELEVATION
Scale 1:100 @ A3

APPROVED

PURSUANT TO SECTION 1.100A/1.100AB OF THE
PLANNING AND DEVELOPMENT REGULATION 2008

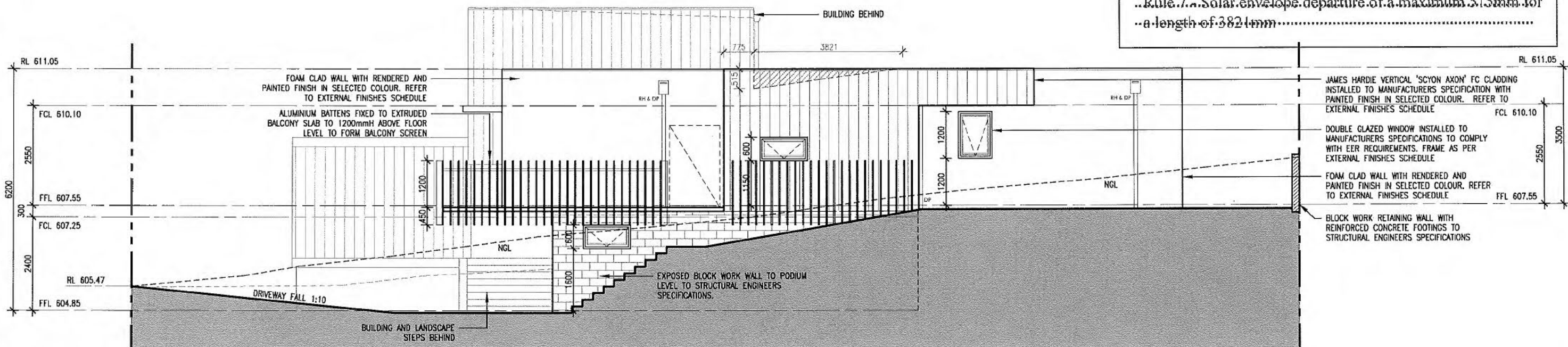
Delegate: GEORGE CILLIERS

Date 6/9/2017

DECLARATION OF EXTENDED DISTANCE

..Rule 6 - Building envelope departure of a maximum.....
..1200mm for a length of 7355mm.....

..Rule 7 - Solar envelope departure of a maximum 5.15mm for
..a length of 3821mm.....



SOUTH ELEVATION
Scale 1:100 @ A3



SUITE 10, 14 LONSDALE ST
BRADDON A.C.T
ABN: 17 606 270 622
T : 02 6230 4688
F : 02 6230 4699
www.dna.com.au

Registration 988
Principal Nominee Glen Dowse

GENERAL NOTES:
All works are to comply with the relevant Australian standards & all relevant authority requirements.
All dimensions dependent on existing site conditions shall be verified by the builder on site prior to the commencement of the works. DO NOT SCALE OFF DRAWING.
A registered surveyor to set out structure & confirm positions of all relevant building envelope setbacks & easements prior to the commencement of the works.
All timber framing & construction must comply with AS1684 'the national timber framing code'. Provide temporary & permanent bracing to all framing in accordance with the standard.
All concrete slabs & footings are subject to a soil classification & are to comply with engineers drawings or AS2870 'residential slabs & footings code' including all relevant region specific supplements.
All storm water drainage & sewerage to be connected to existing services in accordance with the BCA & all local authority requirements or selected rainwater tank or septic system.
All trunks, beams, & supports to be specified by a registered engineer or relevant Australian Standard.
Provide termite control to sub-floor in accordance with the BCA & all relevant local authority requirements or provide ant capping and termite barrier.
The structure shall be maintained in a stable condition at all times, & no element shall be over-stressed, during & after construction.
All wet area failures shall be to client's selection or inclusion list.
UNAUTHORISED USE OR REPRODUCTION IN WHOLE OR IN PART OF THESE DOCUMENTS WITHOUT WRITTEN PERMISSION MAY LEAD TO LEGAL ACTION.

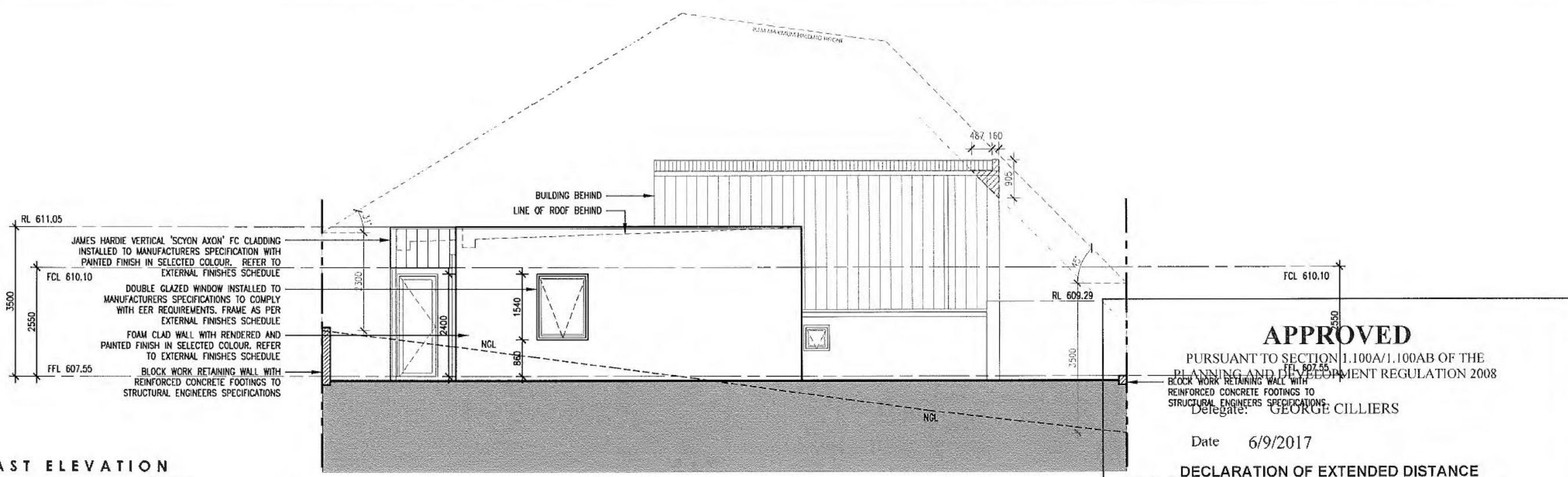
AMENDMENTS	DESCRIPTION	DATE
REVISION NO		

IN APPLICATION
DATE: 29.08.2017
NOT FOR CONSTRUCTION

BLOCK	7
SECTION	34
ADDRESS	11 BELLBIRD LOOP
SUBURB	LAWSON
STATE	ACT
SCALE	1:100 @ A3

DRAWING	ELEVATIONS 1
PROJECT	RESIDENTIAL
CLIENT	Sch 2 s2(a)(ii)
DATE	29.08.2017

DRAWN	AJ/ER
REVISION	
REVISION DATE	
PROJECT NO	1724
PRINT DATE	25.08.2017
DWG NO	A301



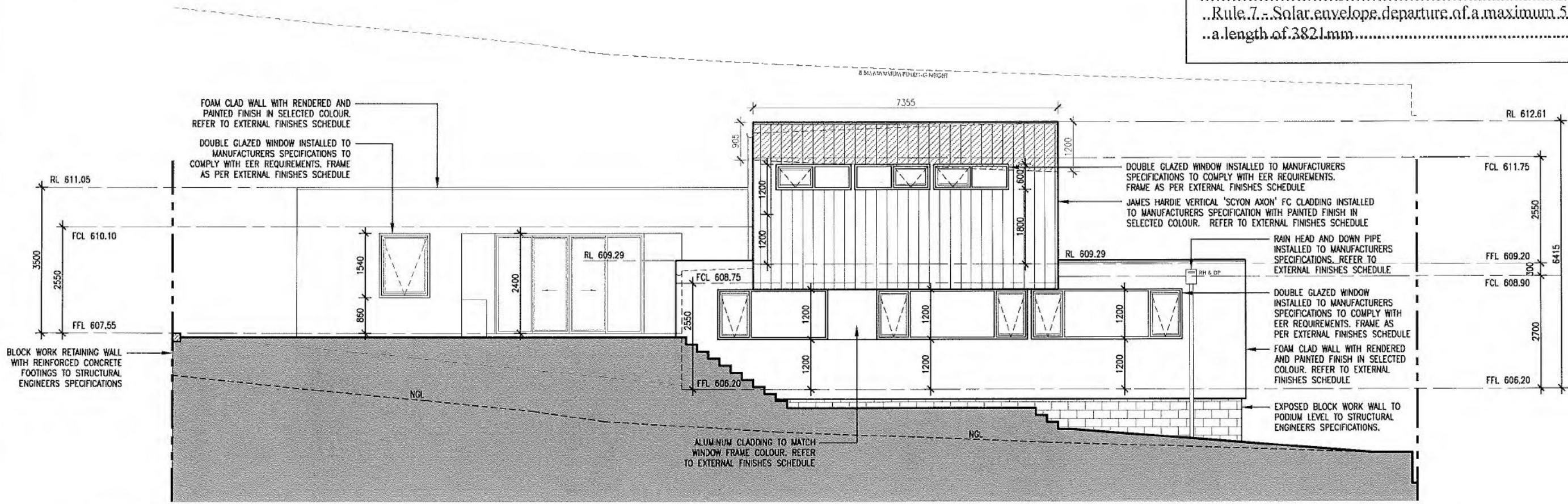
EAST ELEVATION
Scale 1:100 @ A3

APPROVED

PURSUANT TO SECTION 1.100A/1.100AB OF THE
PLANNING AND DEVELOPMENT REGULATION 2008
Delegate: **GEORGE CILLIERS**

Date **6/9/2017**

DECLARATION OF EXTENDED DISTANCE
Rule 6 - Building envelope departure of a maximum
1200mm for a length of 7355mm
Rule 7 - Solar envelope departure of a maximum 515mm for
a length of 3821mm



NORTH ELEVATION
Scale 1:100 @ A3



SUITE 10, 14 LONSDALE ST
BRADSDON A.C.T
ABN: 17 600 270 522
T : 02 8230 4888
F : 02 8230 4699
www.dnaa.com.au

Registration 986
Principal Nominee Glen Dewar

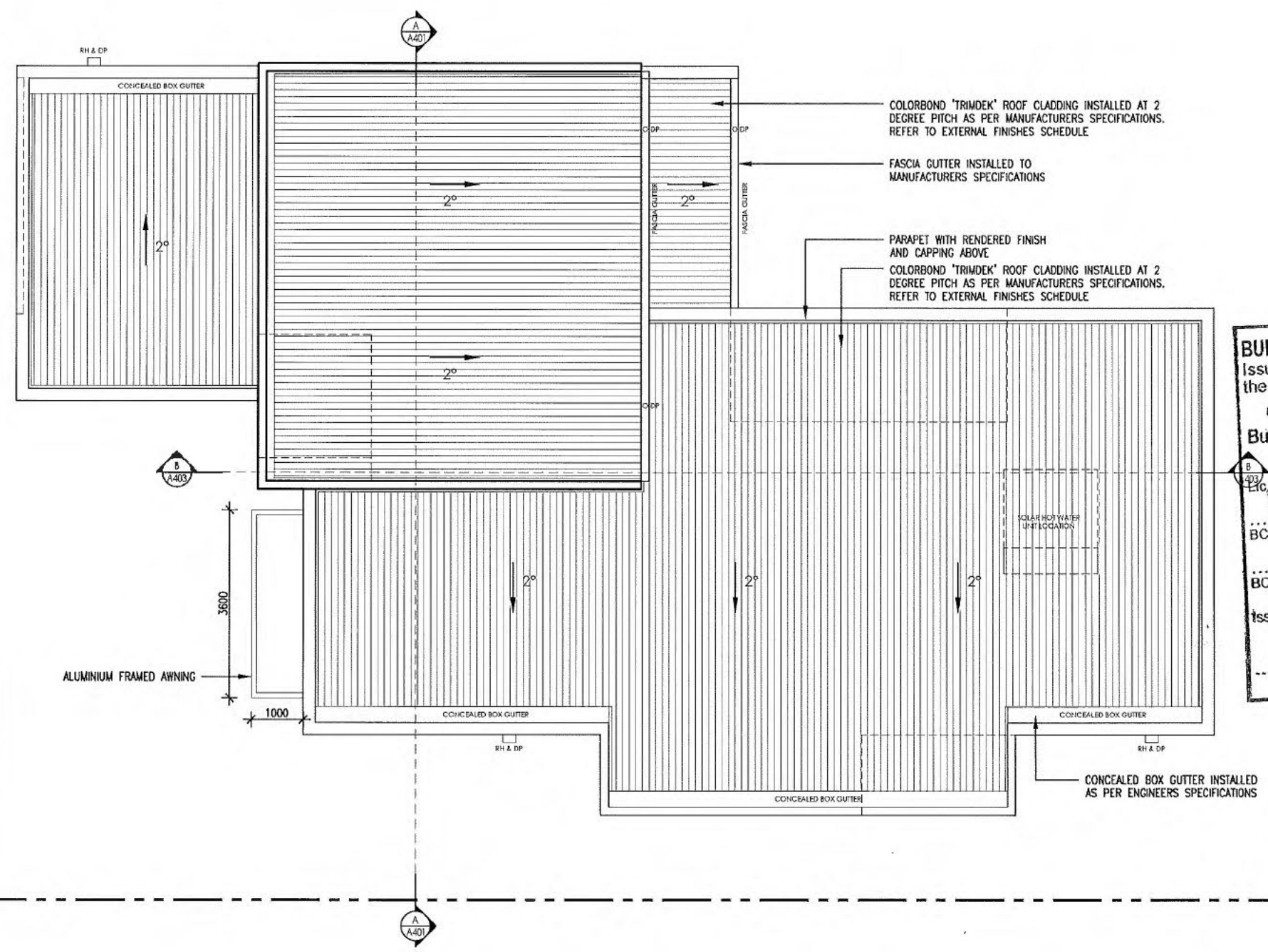
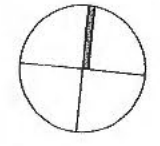
GENERAL NOTES:
All works are to comply with the relevant Australian standards & all relevant authority requirements.
All dimensions dependent on existing site conditions shall be verified by the builder on site prior to the commencement of the works. DO NOT SCALE OFF DRAWING.
A registered surveyor to set out structure & confirm positions of all relevant building envelope setbacks & easements prior to the commencement of the works.
All timber framing & construction must comply with AS1684 'the national timber framing code'. Provide temporary & permanent bracing to all framing in accordance with the standard.
All concrete slabs & footings are subject to a soil classification & are to comply with engineers drawings or AS2870 residential slabs & footings code including all relevant region specific supplements.
All storm water drainage & sewerage to be connected to existing services in accordance with the BCA & all local authority requirements or selected rainwater tank or septic system.
All inlets, beams, & supports to be specified by a registered engineer or relevant Australian Standard.
Provide termite control to sub-floor in accordance with the BCA & all relevant local authority requirements or provide ant capping and termite barrier.
The structure shall be maintained in a stable condition at all times, & no element shall be overstressed, during & after construction.
All wall area features shall be to client's selection or inclusions list.
COPYRIGHT:
UNAUTHORISED USE OR REPRODUCTION IN WHOLE OR IN PART OF THESE DOCUMENTS WITHOUT WRITTEN PERMISSION MAY LEAD TO LEGAL ACTION.

AMENDMENTS REVISION #	DESCRIPTION	DATE
1	IN APPLICATION	DATE: 29.08.2017
	NOT FOR CONSTRUCTION	

BLOCK **7**
SECTION **34**
ADDRESS **11 BELLBIRD LOOP**
SUBURB **LAWSON**
STATE **ACT**
SCALE **1:100 @ A3**

DRAWING **ELEVATIONS 2**
PROJECT **RESIDENTIAL**
CLIENT **Sch 2 s2(a)(ii)**
DATE: 29/08/2017
DRAWN BY: **Sch 2 s2(a)(ii)**

DRAWN **AJ/ER**
REVISION
REVISION DATE
PROJECT NO **1724**
PRINT DATE **25.08.2017**
DWG NO **A302**



BUILDING APPROVAL
 Issued under s.28 of
 the Building Act 2004.
Canberra Region
Building Certifiers P/L
 Certifier Name
 Etc. No. 2011278
 BCA Occupancy Class
 BCA Type of Construction
 Issue date: 2.11.18
 Certifier signature

ACT Government | **Suburban Land Agency** | **LAWSON**

The plans bearing this stamp have been assessed by the SLA and found to be compliant with Section 4 and 5 of the Lawson Stage 1 Housing Development Guidelines. The SLA's endorsement of the Buyers Plans as Compliant means only that they comply with these requirements. The SLA's endorsement does not constitute an approval for building or development. The SLA's endorsement does not mean that the plans comply with the Territory Plan or with any requirement of EPD or any relevant authority, or that any necessary development or building approval will be given (whether with or without amendment of the plans).

ENDORSED BY Stacey Quayle
 DATE 8 January 2018 SITE: Block 7 Section 34 Lawson (Ref 165)
 SIGNATURE [Signature]

An Energy Efficient Hot Water System must be installed in accordance with Section 4.16 of the Lawson Stage 1 Housing Development Guidelines. For a solar water heater, the collector panels must be installed in the location shown on these endorsed drawings.

The plans bearing this stamp have been assessed by the SLA and found to be compliant with Section 4 and 5 of the Lawson Stage 1 Housing Development Guidelines. The SLA's endorsement of the Buyers Plans Development Guidelines means only that they comply with these requirements. The SLA's endorsement does not constitute an approval for building or construction. The SLA's endorsement does not mean that the plans comply with the Territory Plan or with any requirement of EPD or any other authority, for any necessary development or building with or without amendment of the Territory Plan.

DATE: 8 January 2018
FCL 607.55
Block 7 Section 34 Lawson (Ref 165)
FCL 607.25
FCL 604.85



JAMES HARDIE VERTICAL 'SCYON AXON' FC CLADDING INSTALLED TO MANUFACTURERS SPECIFICATION WITH PAINTED FINISH IN SELECTED COLOUR. REFER TO EXTERNAL FINISHES SCHEDULE.

RAIN HEAD AND DOWN PIPE INSTALLED TO MANUFACTURERS SPECIFICATIONS. REFER TO EXTERNAL FINISHES SCHEDULE.

FOAM CLAD WALL WITH RENDERED AND PAINTED FINISH IN SELECTED COLOUR. REFER TO EXTERNAL FINISHES SCHEDULE.

DOUBLE GLAZED WINDOW INSTALLED TO MANUFACTURERS SPECIFICATIONS TO COMPLY WITH EER REQUIREMENTS. FRAME AS PER EXTERNAL FINISHES SCHEDULE.

EXPOSED BLOCK WORK WALL TO PODIUM LEVEL TO STRUCTURAL ENGINEERS SPECIFICATIONS.

ALUMINIUM BATTENS FIXED TO EXTRUDED BALCONY SLAB TO 1200mmH ABOVE FLOOR LEVEL TO FORM BALCONY SCREEN.

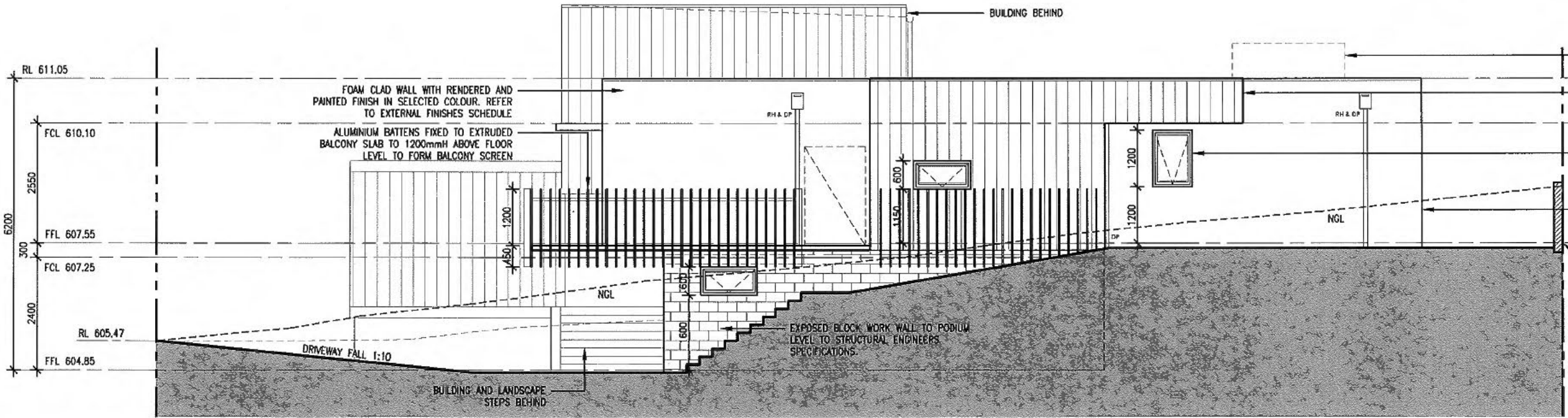
METAL CLAD GARAGE DOOR INSTALLED TO MANUFACTURERS SPECIFICATIONS. REFER TO EXTERNAL FINISHES SCHEDULE.

EXPOSED BLOCK WORK WALL TO PODIUM LEVEL TO STRUCTURAL ENGINEERS SPECIFICATIONS.

BLOCK WORK RETAINING WALL WITH REINFORCED CONCRETE FOOTINGS TO STRUCTURAL ENGINEERS SPECIFICATIONS.

WEST ELEVATION
Scale 1:100 @ A3

An Energy Efficient Hot Water System must be installed in accordance with Section 4.16 of the Lawson Stage 1 Housing Development Guidelines. For a solar water heater, the collector panels must be installed in the location shown on these endorsed drawings.



SOLAR HOT WATER UNIT AS PER LDA REQUIREMENTS

JAMES HARDIE VERTICAL 'SCYON AXON' FC CLADDING INSTALLED TO MANUFACTURERS SPECIFICATION WITH PAINTED FINISH IN SELECTED COLOUR. REFER TO EXTERNAL FINISHES SCHEDULE.

DOUBLE GLAZED WINDOW INSTALLED TO MANUFACTURERS SPECIFICATIONS TO COMPLY WITH EER REQUIREMENTS. FRAME AS PER EXTERNAL FINISHES SCHEDULE.

FOAM CLAD WALL WITH RENDERED AND PAINTED FINISH IN SELECTED COLOUR. REFER TO EXTERNAL FINISHES SCHEDULE.

BLOCK WORK RETAINING WALL WITH REINFORCED CONCRETE FOOTINGS TO STRUCTURAL ENGINEERS SPECIFICATIONS.

SOUTH ELEVATION
Scale 1:100 @ A3

BUILDING APPROVAL
Issued under s.28 of the Building Act 2004.
Canberra Region
Building Certifiers P/L
Certifier Name
Lic. No. 2011278
BCA Occupancy Class
BCA Type of Construction
Issue date: 22/11/18

dna architects
SUITE 10, 14 LONSDALE ST
BRADRON A.C.T.
ABN: 17 600 270 522
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www.dnaa.com.au
Registration 865
Principal Nominee Gian Dovo

GENERAL NOTES:
All works are to comply with the relevant Australian standards & all relevant authority requirements.
All dimensions dependent on existing site conditions shall be verified by the builder on site prior to the commencement of the works. DO NOT SCALE OFF DRAWING.
A registered surveyor to set out structure & confirm positions of all relevant building envelope setbacks & easements prior to the commencement of the works.
All timber framing & construction must comply with AS1684 the national timber framing code. Provide temporary & permanent bracing to all framing in accordance with the standard.
All concrete slabs & footings are subject to a soil classification & are to comply with engineers drawings or AS2870 residential slabs & footings code including all relevant region specific supplements.
All storm water drainage & sewerage to be connected to existing services in accordance with the BCA & all local authority requirements or selected rainwater tank or septic system.
All trunks, beams, & supports to be specified by a registered engineer or relevant Australian Standard.
Provide termite control to sub-floor in accordance with the BCA & all relevant local authority requirements or provide ant capping and termite barrier.
The structure shall be maintained in a stable condition at all times, & no element shall be overstressed during & after construction.
All wall areas finishes shall be to client's selection or inclusion list.
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AMENDMENTS	REVISION NO.	DESCRIPTION	DATE
BA APPLICATION DATE: 20.12.2017 FOR BA APPROVAL ONLY			

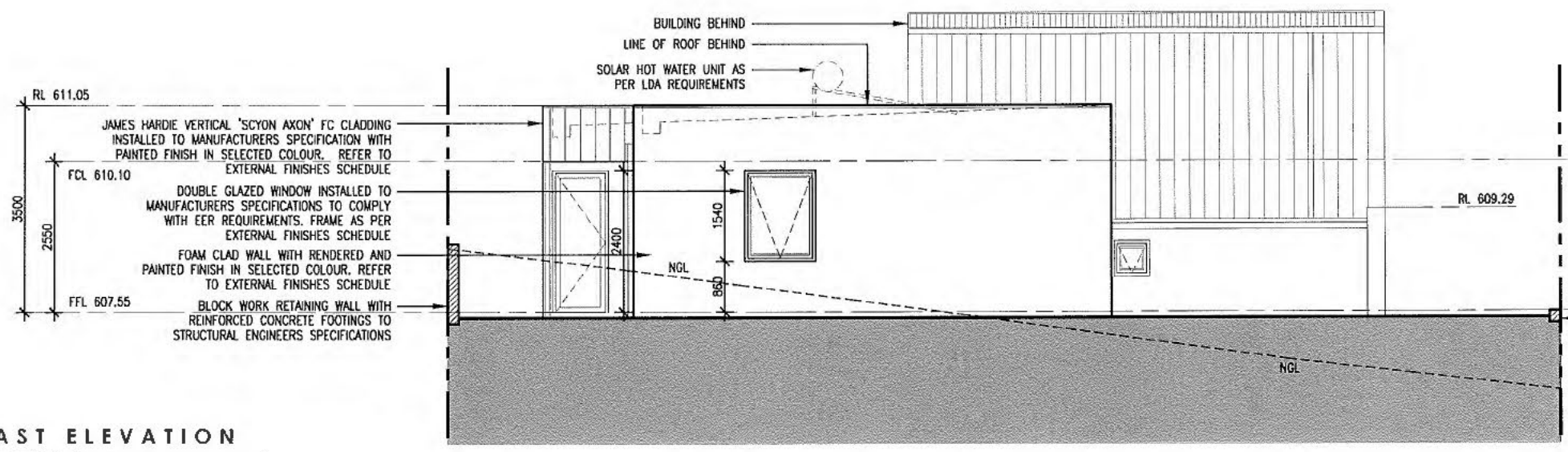
BLOCK	7
SECTION	34
ADDRESS	11 BELLBIRD LOOP
SUBURB	LAWSON
STATE	ACT
SCALE	1:100 @ A3

DRAWING	ELEVATIONS 1
PROJECT	RESIDENTIAL
CLIENT	Sch 2 s2(a)(ii)
J:\2017\1724_Chen - Lawson - ACT\CA0\1724_Sch 2 s2(a)(ii)_2017.dwg	

DRAWN	AJ/ER
REVISION	Certifier signature
PROJECT NO.	1724
PRINT DATE	24.11.2017
DWG NO.	A301

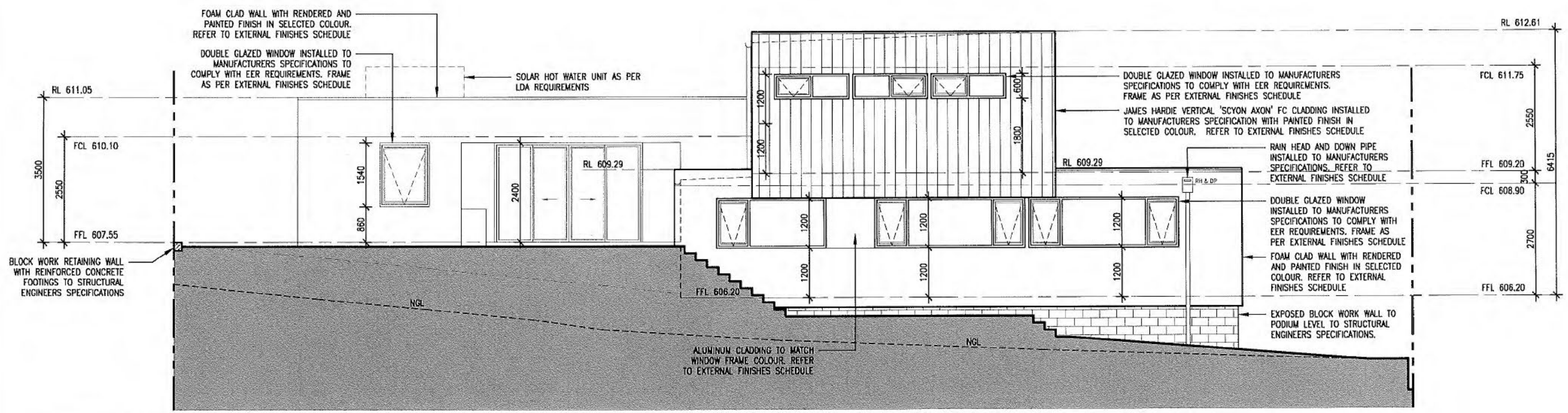
The plans bearing this stamp have been assessed by the SLA and found to be compliant with Section 4 and 5 of the Lawson Stage 1 Housing Development Guidelines. The SLA's endorsement of the Buyers Plans as Compliant means only that they comply with these requirements. The SLA's endorsement does not constitute an approval for building or development. The SLA's endorsement does not mean that the plans comply with the Territory Plan or with any requirement of EPD or any relevant authority, or that any necessary development or building approval will be given (whether with or without amendment of the plans).

ENDORSED BY Stacey Quayle
 DATE 8 January 2018 SITE: Block 7 Section 34 Lawson (Ref 165)
 SIGNATURE [Signature]



EAST ELEVATION
 Scale 1:100 @ A3

An Energy Efficient Hot Water System must be installed in accordance with Section 4.16 of the Lawson Stage 1 Housing Development Guidelines. For a solar water heater, the collector panels must be installed in the location shown on these endorsed drawings.



NORTH ELEVATION
 Scale 1:100 @ A3



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 BRADDOCK A.C.T.
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 F : 02 6230 4699
 www.dnaa.com.au
 Registration 986
 Principal Nominee Glen Dovey

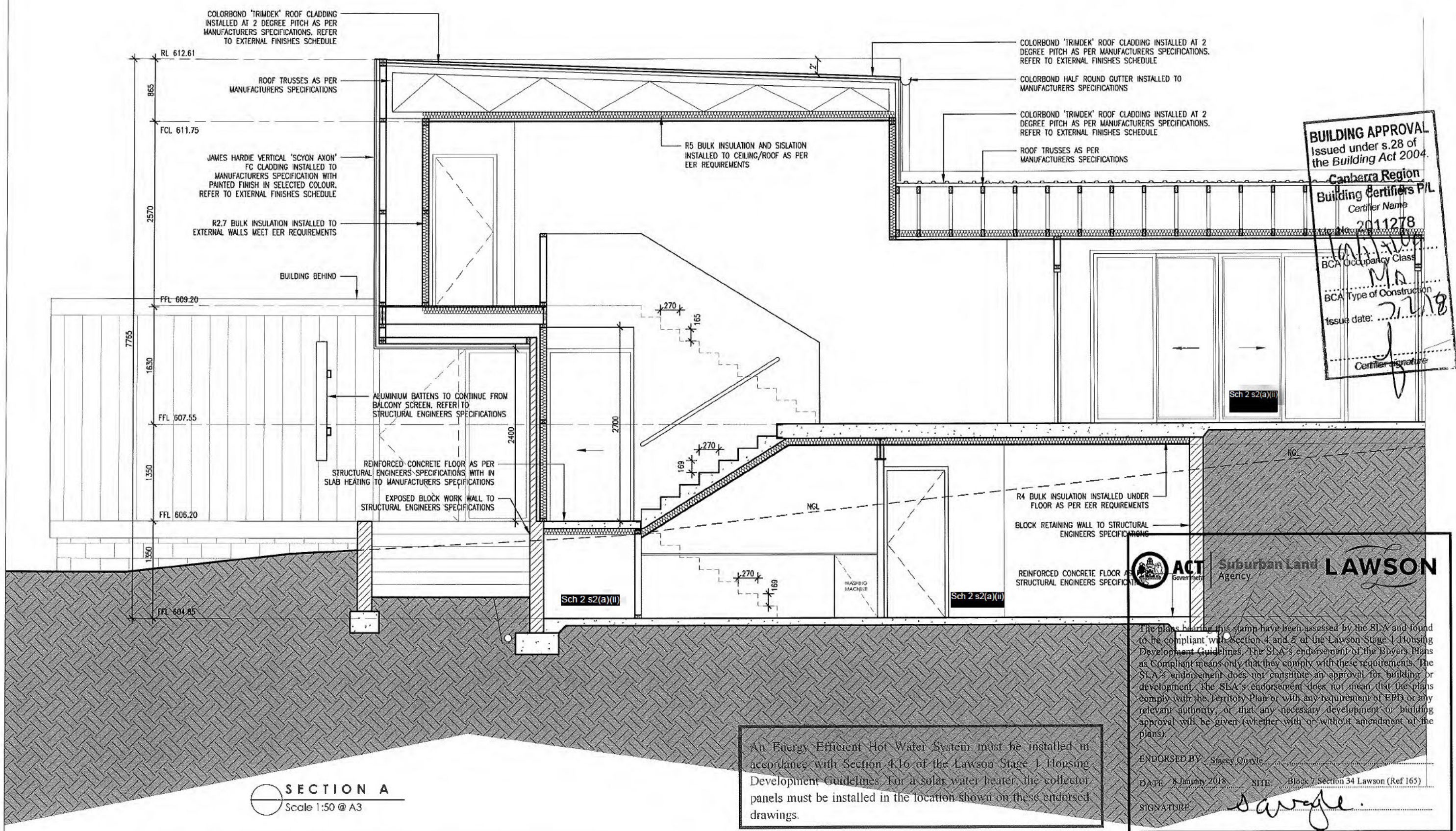
GENERAL NOTES:
 All works are to comply with the relevant Australian standards & all relevant authority requirements.
 All dimensions dependent on existing site conditions shall be verified by the builder on site prior to the commencement of the works. DO NOT SCALE OFF DRAWINGS.
 A registered surveyor to set out structure & confirm positions of all relevant building envelopes setbacks & easements prior to the commencement of the works.
 All timber framing & construction must comply with AS1584 'the national timber framing code'. Provide temporary & permanent bracing to all framing in accordance with the standard.
 All concrete slabs & footings are subject to a soil classification & are to comply with engineers drawings or AS2870 'residential slabs & footings code' including all relevant region specific supplements.
 All storm water drainage & sewerage to be connected to existing services in accordance with the BCA & all local authority requirements or selected rainwater tank or septic system.
 All Inlets, beams, & supports to be specified by a registered engineer or relevant Australian Standard.
 Provide termite control to sub-floor in accordance with the BCA & all relevant local authority requirements or provide ant capping and termite barrier.
 The structure shall be maintained in a stable condition at all times, & no element shall be overstressed, during & after construction.
 All wet area fixtures shall be to client's selection or inclusions list.
 COPYRIGHT:
 UNAUTHORISED USE OR REPRODUCTION IN WHOLE OR IN PART OF THESE DOCUMENTS WITHOUT WRITTEN PERMISSION MAY LEAD TO LEGAL ACTION.

AMENDMENTS
 REVISION NO DESCRIPTION DATE
BA APPLICATION
 DATE: 20.12.2017
 FOR BA APPROVAL ONLY

BLOCK **7**
 SECTION **34**
 ADDRESS **11 BELLBIRD LOOP**
 SUBURB **LAWSON**
 STATE **ACT**
 SCALE **1:100 @ A3**

DRAWING **ELEVATIONS 2**
 PROJECT **RESIDENTIAL**
 CLIENT **Sch 2 s2(a)(ii)**
 J:\2017\1724_Chen - Lawson - ACT\CAD\1724_Sch 2 s2(a)(ii)_1.00.2017.dwg

DRAWN **AJ/ER**
 REVISION
 REVISION DATE
 PROJECT NO **1724**
 PRINT DATE **24.11.2017**
 DWG NO **A302**



SECTION A
Scale 1:50 @ A3

The plans bearing this stamp have been assessed by the SLA and found to be compliant with Section 4 and 5 of the Lawson Stage 1 Housing Development Guidelines. The SLA's endorsement of the Bayers Plans as Compliant means only that they comply with these requirements. The SLA's endorsement does not constitute an approval for building or development. The SLA's endorsement does not mean that the plans comply with the Territory Plan or with any requirement of EPB or any relevant authority, or that any necessary development or building approval will be given (whether with or without amendment of the plans).

ENDORSED BY: Stacy Quyle
DATE: 8 January 2018 SITE: Block 7 Section 34 Lawson (Ref 165)
SIGNATURE: [Signature]

An Energy Efficient Hot Water System must be installed in accordance with Section 4.16 of the Lawson Stage 1 Housing Development Guidelines. For a solar water heater, the collector panels must be installed in the location shown on these endorsed drawings.



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Registration 906
Principal Nominee Clon Dove

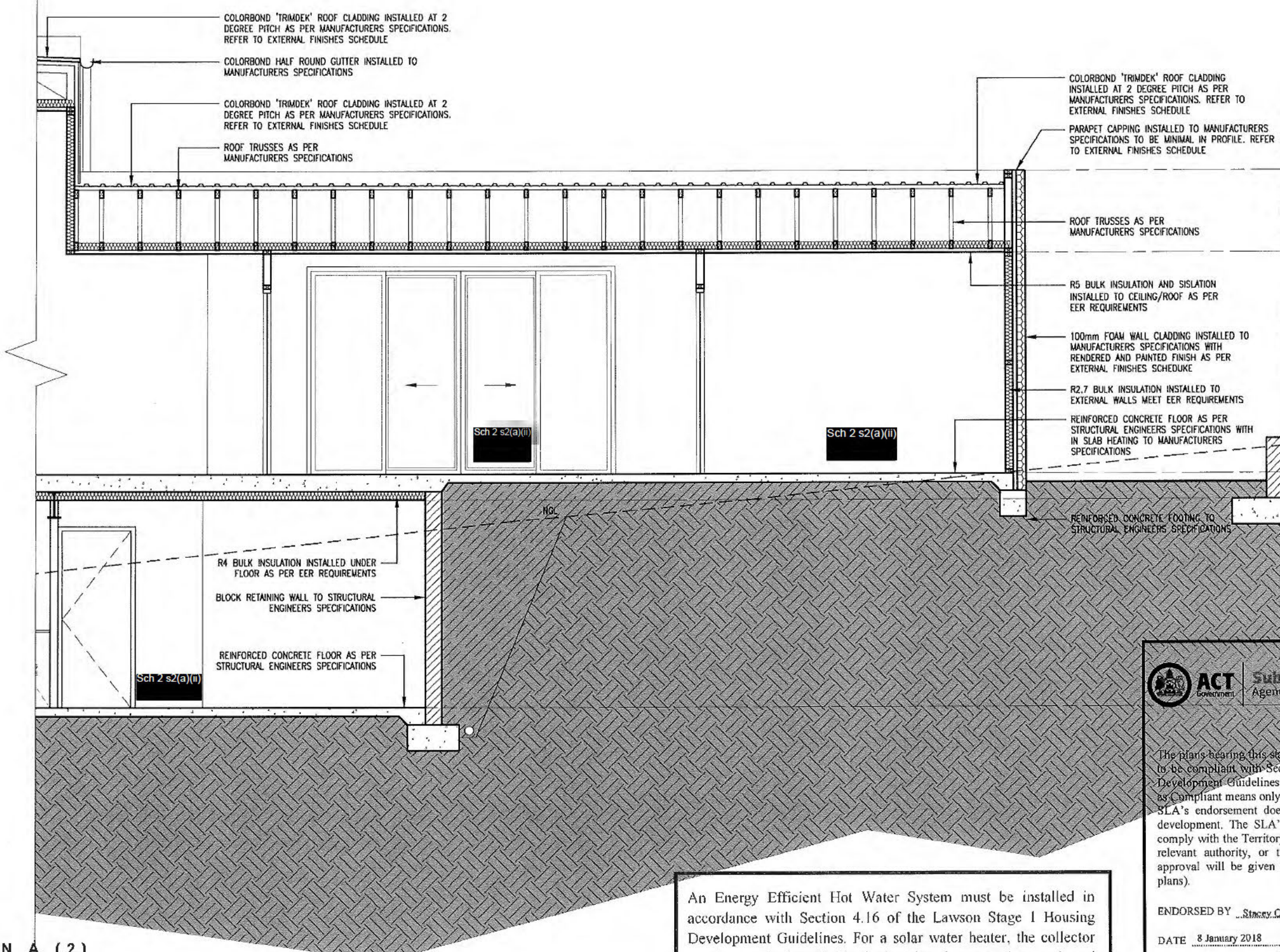
GENERAL NOTES:
All works are to comply with the relevant Australian standards & all relevant authority requirements.
All dimensions dependent on existing site conditions shall be verified by the builder on site prior to the commencement of the works. DO NOT SCALE OFF DRAWING.
A registered surveyor to set out structure & confirm positions of all relevant building envelope setbacks & easements prior to the commencement of the works.
All timber framing & construction must comply with AS1684 'the national timber framing code'. Provide temporary & permanent bracing to all framing in accordance with the standard.
All concrete slabs & footings are subject to a soil classification & are to comply with engineers drawings or AS2870 'residential slabs & footings code' including all relevant region specific supplements.
All storm water drainage & sewerage to be connected to existing services in accordance with the ECA & all local authority requirements or selected rainwater tank or septic system.
All trunks, beams, & supports to be specified by a registered engineer or relevant Australian Standard.
Provide termite control to sub-floor in accordance with the BCA & all relevant local authority requirements or provide ant cutting and termite barrier.
The structure shall be maintained in a stable condition at all times, & no element shall be overstressed, during & after construction.
All wet area fixtures shall be to client's selection or inclusions list.
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AMENDMENTS
REVISION NO DESCRIPTION DATE
BA APPLICATION
DATE: 24.11.2017
FOR BA APPROVAL ONLY

BLOCK 7
SECTION 34
ADDRESS 11 BELLBIRD LOOP
SUBURB LAWSON
STATE ACT
SCALE 1:50 @ A3

DRAWING SECTION A
PROJECT RESIDENTIAL
CLIENT Sch 2 s2(a)(ii)
A:\2017\1724_Chen - Lawson - ACT\CAD\1724 Sch 2 s2(a)(ii).dwg 20.11.2017.dwg

DRAWN AJ/ER
REVISION
REVISION DATE
PROJECT NO 1724
PRINT DATE 24.11.2017
DWG NO A401



BUILDING APPROVAL
 Issued under s.28 of the Building Act 2004.
 Canberra Region Building Certifiers P/L
 Certifier Name
 Lic. No. 2011278
 BCA Occupancy Class
 BCA Type of Construction
 Issue date: 7/2/18
 Certifier signature

ACT Government Suburban Land Agency FFL 604.85 **LAWSON**

The plans bearing this stamp have been assessed by the SLA and found to be compliant with Section 4 and 5 of the Lawson Stage 1 Housing Development Guidelines. The SLA's endorsement of the Buyers Plans as Compliant means only that they comply with these requirements. The SLA's endorsement does not constitute an approval for building or development. The SLA's endorsement does not mean that the plans comply with the Territory Plan or with any requirement of EPD or any relevant authority, or that any necessary development or building approval will be given (whether with or without amendment of the plans).

ENDORSED BY Stacey Quinlan
 DATE 8 January 2018 SITE: Block 7 Section 34 Lawson (Ref 165)
 SIGNATURE [Signature]

An Energy Efficient Hot Water System must be installed in accordance with Section 4.16 of the Lawson Stage 1 Housing Development Guidelines. For a solar water heater, the collector panels must be installed in the location shown on these endorsed drawings.

SECTION A (2)
 Scale 1:50 @ A3



SUITE 10, 14 LONSDALE ST
 BRADDON A.C.T.
 ABN: 17 500 270 522
 T : 02 6230 4888
 F : 02 6230 4899
 www.dnaa.com.au
 Registration 966
 Principal Homine Glen Dewes

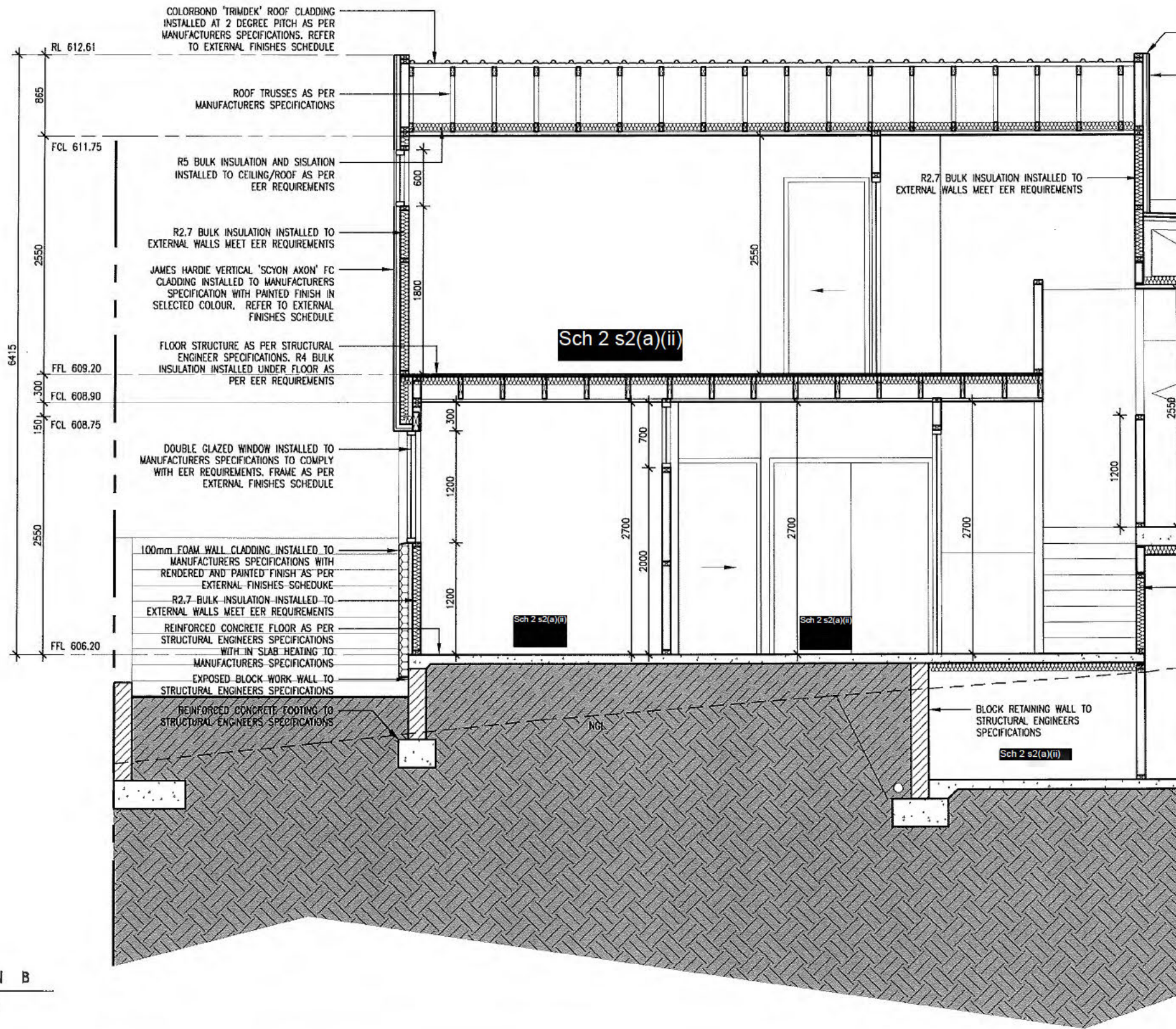
GENERAL NOTES:
 All works are to comply with the relevant Australian standards & all relevant authority requirements.
 All dimensions dependent on existing site conditions shall be verified by the builder on site prior to the commencement of the works. DO NOT SCALE OFF DRAWING.
 A registered surveyor to set out structure & confirm positions of all relevant building envelopes setbacks & easements prior to the commencement of the works.
 All timber framing & construction must comply with AS1684 'the national timber framing code'. Provide temporary & permanent bracing to all framing in accordance with the standard.
 All concrete slabs & footings are subject to soil classification & are to comply with engineers drawings or AS1870 'residential slabs & footings code' including all relevant region specific supplements.
 All storm water drainage & sewerage to be connected to existing services in accordance with the BCA & all local authority requirements or selected rainwater tank or septic system.
 All inlets, beams, & supports to be specified by a registered engineer or relevant Australian Standard.
 Provide kerb/curb control to sub-floor in accordance with the BCA & all relevant local authority requirements or provide art capping and kerb barrier.
 The structure shall be maintained in a stable condition at all times, & no element shall be overstressed, during & after construction.
 All wet area finishes shall be to client's selection or inclusions list.
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AMENDMENTS REVISION NO	DESCRIPTION	DATE
BA APPLICATION DATE: 24.11.2017 FOR BA APPROVAL ONLY		

BLOCK	7
SECTION	34
ADDRESS	11 BELLBIRD LOOP
SUBURB	LAWSON
STATE	ACT
SCALE	1:50 @ A3

DRAWING	SECTION A (2)
PROJECT	RESIDENTIAL
CLIENT	Sch 2 s2(a)(ii)
FILE	1:2017\1724_Cheer - lawson - ACT\CAD\1724_Sch 2 s2(a)(ii)_11.06.2017.dwg

DRAWN	AJ/ER
REVISION	
REVISION DATE	
PROJECT NO	1724
PRINT DATE	24.11.2017
DWG NO	A402



SECTION B
Scale 1:50 @ A3

BUILDING APPROVAL
Issued under s.28 of the Building Act 2004.
Canberra Region Building Certifiers P/L
Certifier Name
Lic. No. 2011278
BCA Occupancy Class
BCA Type of Construction
Issue date: 22/18
Certifier signature

An Energy Efficient Hot Water System must be installed in accordance with Section 4.16 of the Lawson Stage 1 Housing Development Guidelines. For a solar water heater, the collector panels must be installed in the location shown on these endorsed drawings.

ACT Government | **Suburban Land Agency** | **LAWSON**

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ENDORSED BY: Stacy Quayle
DATE: 8 January 2018 SITE: Block 7 Section 34 Lawson (Ref 165)
SIGNATURE: [Signature]



SUITE 10, 14 LONSDALE ST
BRADDON A.C.T
ABN: 17 600 270 522
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www.dnaa.com.au

Registration 966
Principal Nominee Glen Downes

GENERAL NOTES:
All works are to comply with the relevant Australian standards & all relevant authority requirements.
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All timbers, beams, & supports to be specified by a registered engineer or relevant Australian Standard.
Provide termite control to sub-floor in accordance with the BCA & all relevant local authority requirements or provide ant capping and termite barrier.
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At wet area fixtures shall be to client's selection or inclusion list.
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AMENDMENTS	REVISION NO	DESCRIPTION	DATE
BA APPLICATION DATE: 24.11.2017 FOR BA APPROVAL ONLY			

BLOCK	7
SECTION	34
ADDRESS	11 BELLBIRD LOOP
SUBURB	LAWSON
STATE	ACT
SCALE	1:50 @ A3

DRAWING	SECTION B
PROJECT	RESIDENTIAL
CLIENT	Sch 2 s2(a)(ii)
E:\2017\1724_Chan - Lawson - ACT\CAD\1724_Sch 2 s2(a)(ii)_18.01.2017.dwg	

DRAWN	AJ/ER
REVISION	
REVISION DATE	
PROJECT NO	1724
PRINT DATE	24.11.2017
DWG NO	A403

An Energy Efficient Hot Water System must be installed in accordance with Section 4.16 of the Lawson Stage 1 Housing Development Guidelines. For a solar water heater, the collector panels must be installed in the location shown on these endorsed drawings.

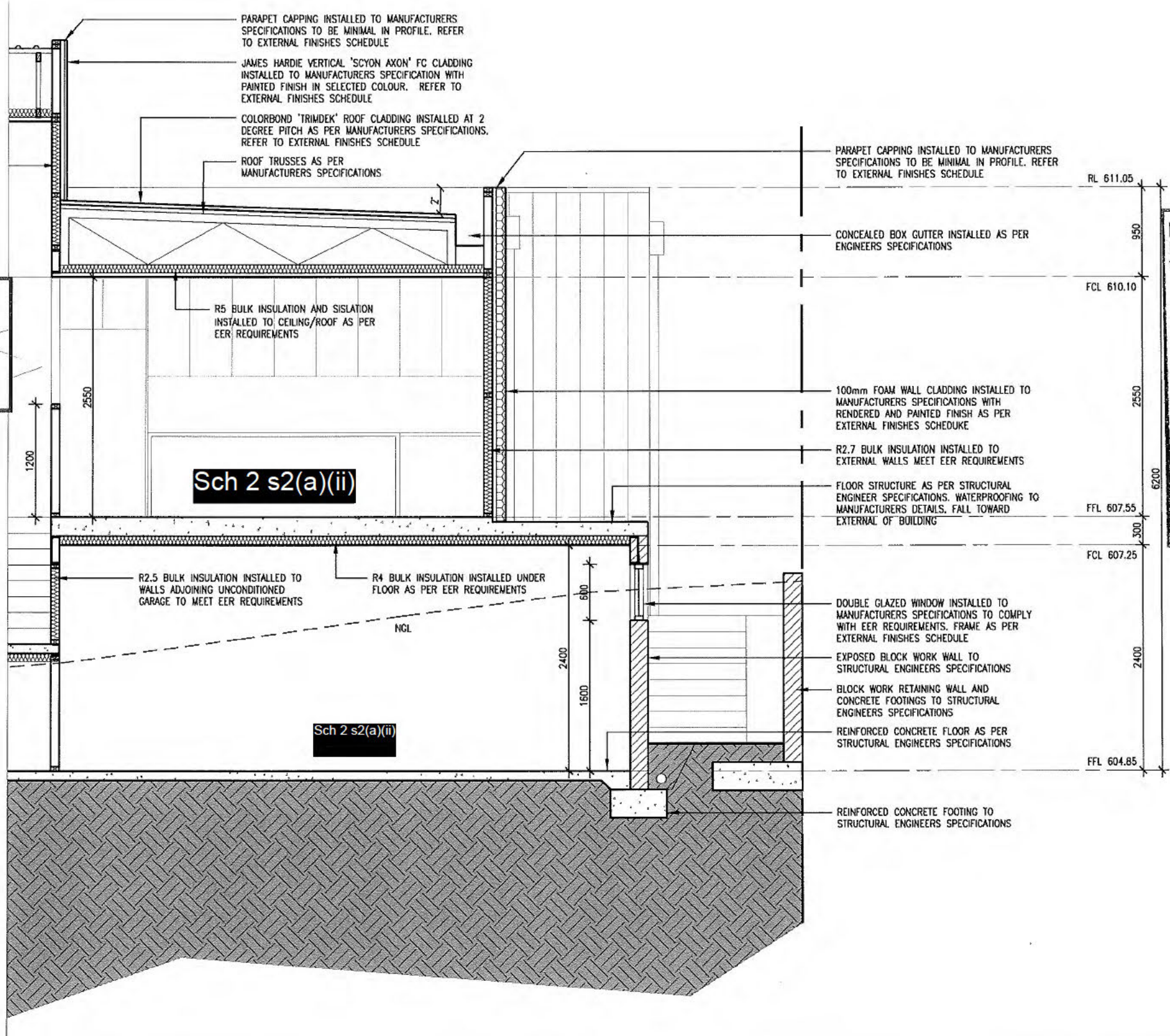
ACT Government | Suburban Land Agency | **LAWSON**

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ENDORSED BY Stacey Ousley

DATE 8 January 2018 SITE: Block 7 Section 34 Lawson (Ref 165)

SIGNATURE *Stacey Ousley*



BUILDING APPROVAL
 Issued under s.28 of the Building Act 2004.
Canberra Region Building Certifiers P/L
 Certifier Name
 Lic. No. **2011278**
 BCA Occupancy Class
 BCA Type of Construction
 Issue date: 20/1/18
 Certifier Signature

SECTION B (2)
 Scale 1:50 @ A3



SUITE 10, 14 LONSDALE ST
 BRADDON A.C.T
 ABN: 17 600 270 522
 T : 02 6230 4688
 F : 02 6230 4699
 www.dnaa.com.au

Registration 986
 Principal Nominee Glen Dorse

GENERAL NOTES:
 All works are to comply with the relevant Australian standards & all relevant authority requirements.
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 All concrete slabs & footings are subject to a soil classification & are to comply with engineers drawings or AS2870 'residential slabs & footings code' including all relevant region specific supplements.
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 All bricks, beams & supports to be specified by a registered engineer or relevant Australian Standard.
 provide termite control to sub-floor in accordance with the BCA & all relevant local authority requirements or provide ant capping and termite barrier.
 The structure shall be maintained in a stable condition at all times, & no element shall be over-stressed, during & after construction.
 All wet area fixtures shall be to client's selection or inclusion list.
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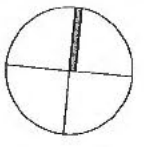
AMENDMENTS	DESCRIPTION	DATE
REVISION NO.		

BA APPLICATION
 DATE: 24.11.2017
 FOR BA APPROVAL ONLY

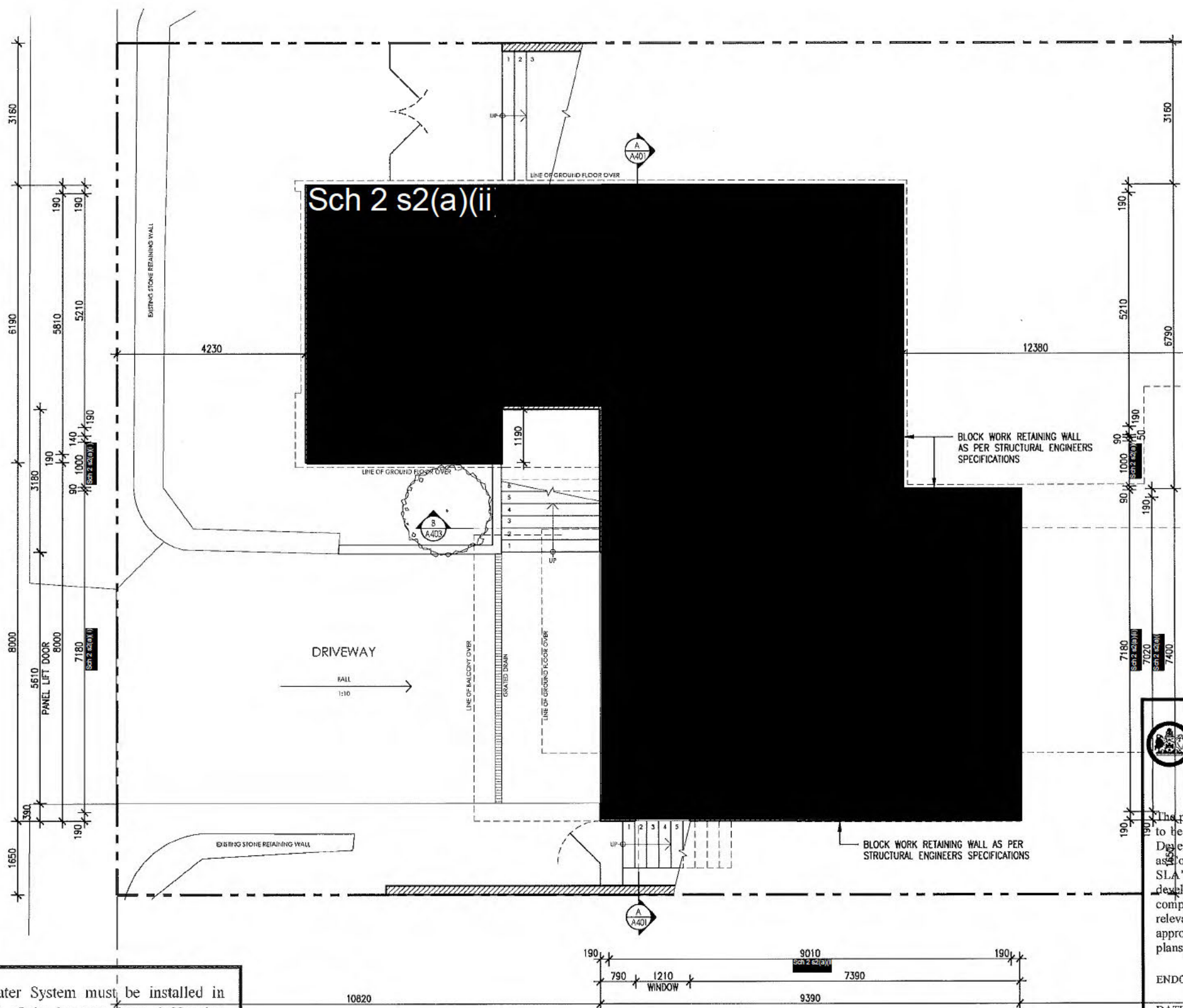
BLOCK **7**
 SECTION **34**
 ADDRESS **11 BELLBIRD LOOP**
 SUBURB **LAWSON**
 STATE **ACT**
 SCALE **1:50 @ A3**

DRAWING **SECTION B (2)**
 PROJECT **RESIDENTIAL**
 CLIENT **Sch 2 s2(a)(ii)**
 J:\2017\1724_Chen - Lawson - ACT\CAD\1724_Sch 2 s2(a)(ii)_03.2017.dwg

DRAWN **AJ/ER**
 REVISION
 REVISION DATE
 PROJECT NO **1724**
 PRINT DATE **24.11.2017**
 DWG NO **A404**



SHEET NO. 3 of 24



BUILDING APPROVAL
 Issued under s.28 of
 the *Building Act 2004*.

**Canberra Region
 Building Certifiers P/L**
 Certifier Name

Lic. No. 2011278
Ms. H. Ch...
 BCA Occupancy Class
 BCA Type of Construction
 Issue date: 24.11.18
 Certifier signature



The plans bearing this stamp have been assessed by the SLA and found to be compliant with Section 4 and 5 of the Lawson Stage 1 Housing Development Guidelines. The SLA's endorsement of the Buyers Plans as compliant means only that they comply with these requirements. The SLA's endorsement does not constitute an approval for building or development. The SLA's endorsement does not mean that the plans comply with the Territory Plan or with any requirement of EPD or any relevant authority, or that any necessary development or building approval will be given (whether with or without amendment of the plans).

ENDORSED BY *Stacey Quayle*
 DATE 8 January 2018 SITE: Block 7 Section 34 Lawson (Ref 165)
 SIGNATURE *Savage*

An Energy Efficient Hot Water System must be installed in accordance with Section 4.16 of the Lawson Stage 1 Housing Development Guidelines. For a solar water heater, the collector panels must be installed in the location shown on these endorsed drawings.



SUITE 10, 14 LONSDALE ST
 BRADDON A.C.T.
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Registration 956
 Principal Nominee Glen Dorset

GENERAL NOTES:
 All works are to comply with the relevant Australian standards & all relevant authority requirements.
 All dimensions dependent on existing site conditions shall be verified by the builder on site prior to the commencement of the works. DO NOT SCALE OFF DRAWING.
 A registered surveyor to set out structure & confirm positions of all relevant building envelope setbacks & easements prior to the commencement of the works.
 All timber framing & construction must comply with AS1684 the national timber framing code. Provide temporary & permanent bracing to all framing in accordance with the standard.
 All concrete slabs & footings are subject to a soil classification & are to comply with engineers drawings or AS2870 residential slabs & footings code including all relevant region specific supplements.
 All storm water drainage & sewerage to be connected to existing services in accordance with the BCA & all local authority requirements or selected rainwater tank or septic system.
 All joists, beams, & supports to be specified by a registered engineer or relevant Australian Standard.
 Provide barrier cordons sub-floor in accordance with the BCA & all relevant local authority requirements or provide anti-capping and termite barrier.
 The structure shall be maintained in a stable condition at all times, & no element shall be overstressed, during & after construction.
 All wet area fixtures shall be to client's selection or inclusions list.
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AMENDMENTS REVISION NO	DESCRIPTION	DATE
BA APPLICATION DATE: 24.11.2017 FOR BA APPROVAL ONLY		

BLOCK 7
 SECTION 34
 ADDRESS 11 BELLBIRD LOOP
 SUBURB LAWSON
 STATE ACT
 SCALE 1:100 @ A3

DRAWING LOWER FLOOR PLAN
 PROJECT RESIDENTIAL
 CLIENT Sch 2 s2(a)(ii)
 DATE: 2017/11/24_Chen - Lawson - ACT/CA011724_Sch 2 s2(a)(ii)_18.11.2017.dwg

DRAWN AJ/ER
 REVISION
 REVISION DATE
 PROJECT NO 1724
 PRINT DATE 24.11.2017
 DWG NO A201

An Energy Efficient Hot Water System must be installed in accordance with Section 4.16 of the Lawson Stage 1 Housing Development Guidelines. For a solar water heater, the collector panels must be installed in the location shown on these endorsed drawings.

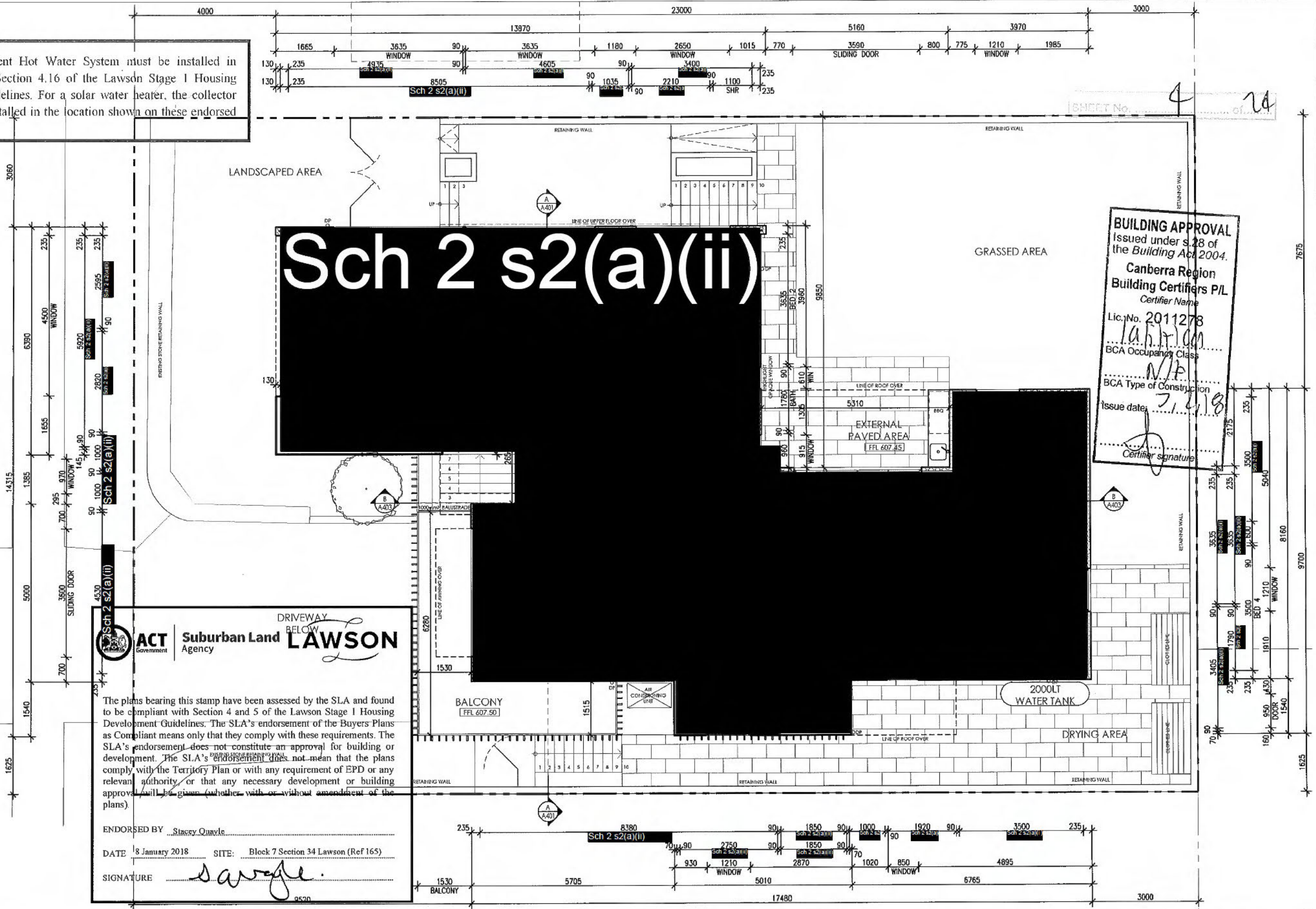
Sch 2 s2(a)(ii)

BUILDING APPROVAL
 Issued under s.28 of the Building Act 2004.
Canberra Region Building Certifiers P/L
 Certifier Name
 Lic. No. 2011278
 BCA Occupancy Class
 BCA Type of Construction
 Issue date: 7.11.18
 Certifier signature

ACT Government | Suburban Land Agency | **LAWSON**

The plans bearing this stamp have been assessed by the SLA and found to be compliant with Section 4 and 5 of the Lawson Stage 1 Housing Development Guidelines. The SLA's endorsement of the Buyers Plans as Compliant means only that they comply with these requirements. The SLA's endorsement does not constitute an approval for building or development. The SLA's endorsement does not mean that the plans comply with the Territory Plan or with any requirement of EPD or any relevant authority or that any necessary development or building approval will be given (whether with or without amendment of the plans).

ENDORSED BY: Stacey Quirk
 DATE: 8 January 2018 SITE: Block 7 Section 34 Lawson (Ref 165)
 SIGNATURE: [Signature]



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 www.dnaa.com.au

Registration 986
 Principal Nominee Glen Dorse

GENERAL NOTES:
 All works are to comply with the relevant Australian standards & all relevant authority requirements.
 All dimensions dependent on existing site conditions shall be verified by the builder on site prior to the commencement of the works. DO NOT SCALE OFF DRAWING.
 A registered surveyor to set out showings & confirm positions of all relevant building envelopes setbacks & easements prior to the commencement of the works.
 All timber framing & construction must comply with AS1554 the national timber framing code, Florida temporary & permanent bracing to all framing in accordance with the standard.
 All concrete slabs & footings are subject to a soil classification & are to comply with engineers drawings or AS2870 residential slabs & footings code/ including all relevant region specific supplements.
 All storm water drainage & sewerage to be connected to existing services in accordance with the BCA & all local authority requirements or selected rainwater tank or septic system.
 All inlets, beams, & supports to be specified by a registered engineer or relevant Australian Standard.
 Provide termite control in sub-floor in accordance with the BCA & all relevant local authority requirements or provide ant seeping and termite barriers.
 The structure shall be maintained in a stable condition at all times, & no element shall be over-stressed, during & after construction.
 All wet area failures shall be to client's selection or inclusions list.
 COPYRIGHT:
 UNAUTHORISED USE OR REPRODUCTION IN WHOLE OR IN PART OF THESE DOCUMENTS WITHOUT WRITTEN PERMISSION MAY LEAD TO LEGAL ACTION.

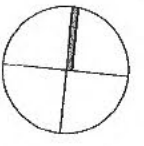
AMENDMENTS REVISION NO	DESCRIPTION	DATE
BA APPLICATION DATE: 24.11.2017 FOR BA APPROVAL ONLY		

BLOCK	7
SECTION	34
ADDRESS	11 BELLBIRD LOOP LAWSON
SUBURB	ACT
SCALE	1:100 @ A3

DRAWING	GROUND FLOOR PLAN
PROJECT	RESIDENTIAL
CLIENT	Sch 2 s2(a)(ii)

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DRAWN	AJ/ER
REVISION	
REVISION DATE	
PROJECT NO	1724
PRINT DATE	24.11.2017
DWG NO	A202



ACT Government
Suburban Land Agency

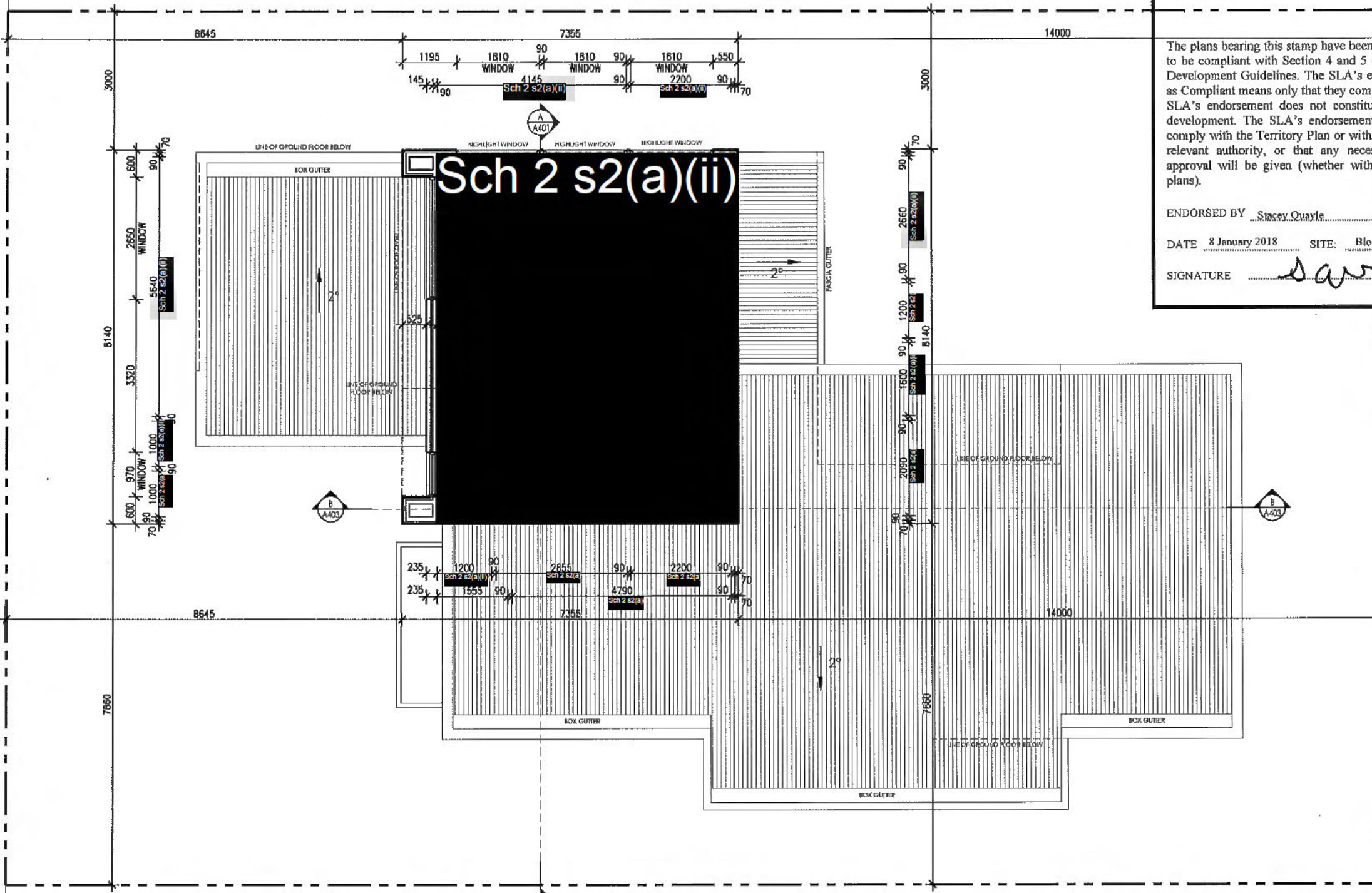
LAWSON

The plans bearing this stamp have been assessed by the SLA and found to be compliant with Section 4 and 5 of the Lawson Stage 1 Housing Development Guidelines. The SLA's endorsement of the Buyers Plans as Compliant means only that they comply with these requirements. The SLA's endorsement does not constitute an approval for building or development. The SLA's endorsement does not mean that the plans comply with the Territory Plan or with any requirement of EPD or any relevant authority, or that any necessary development or building approval will be given (whether with or without amendment of the plans).

ENDORSED BY Stacey Quayle

DATE 8 January 2018 SITE: Block 7 Section 34 Lawson (Ref 165)

SIGNATURE [Signature]



BUILDING APPROVAL
 Issued under s.28 of the Building Act 2004.

Canberra Region
 Building Certifiers P/L
 Certifier Name
 Lic. No. 2011278
 [Signature]
 BCA Occupancy Class
 [Signature]
 BCA Type of Construction
 Issue date: 7/2/18
 [Signature]
 Certifier signature

An Energy Efficient Hot Water System must be installed in accordance with Section 4.16, of the Lawson Stage 1 Housing Development Guidelines. For a solar water heater, the collector panels must be installed in the location shown on these endorsed drawings.



SUITE 10, 14 LONSDALE ST
 BRADDON A.C.T
 ABN: 17 600 270 522
 T : 02 6230 4688
 F : 02 6230 4699
 www.dnaa.com.au

Registration 988
 Principal Nominee Glen Dovey

GENERAL NOTES:
 All works are to comply with the relevant Australian standards & all relevant authority requirements.
 All dimensions dependent on existing site conditions shall be verified by the builder on site prior to the commencement of the works. DO NOT SCALE OFF DRAWING.
 A registered surveyor to set out structure & confirm positions of all relevant building envelope setbacks & easements prior to the commencement of the works.
 All timber framing & construction must comply with AS1681 'the national timber framing code'. Provide temporary & permanent bracing to all framing in accordance with the standard.
 All concrete slabs & footings are subject to a soil classification & are to comply with engineers drawings or AS2870 'residential slabs & footings code' including all relevant region specific supplements.
 All storm water drainage & sewerage to be connected to existing services in accordance with the BCA & all local authority requirements or selected rainwater tank or septic system.
 All timbers, beams & supports to be specified by a registered engineer or relevant Australian Standard.
 Provide termite control to sub-floor in accordance with the BCA & all relevant local authority requirements or provide ant capping and termite barrier.
 The structure shall be maintained in a stable condition at all times, & no element shall be over-stressed, during & after construction.
 All wet area fixtures shall be to client's selection or inclusion list.
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 UNAUTHORISED USE OR REPRODUCTION IN WHOLE OR IN PART OF THESE DOCUMENTS WITHOUT WRITTEN PERMISSION MAY LEAD TO LEGAL ACTION.

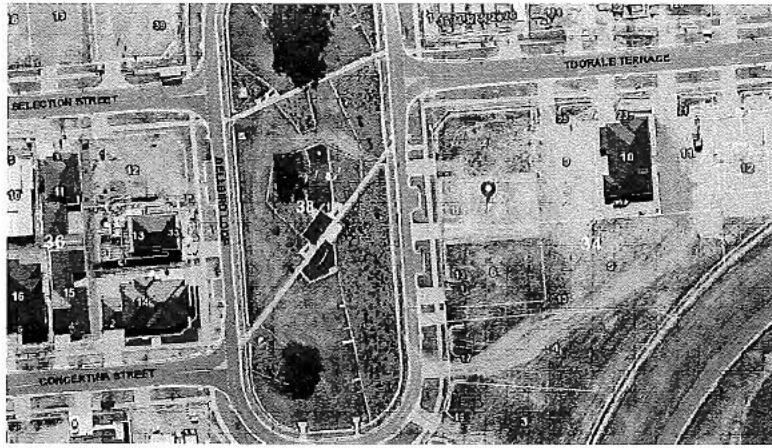
AMENDMENTS	DESCRIPTION	DATE
REVISION NO		

BA APPLICATION
 DATE: 24.11.2017
 FOR BA APPROVAL ONLY

BLOCK **7**
 SECTION **34**
 ADDRESS **11 BELLBIRD LOOP**
 SUBURB **LAWSON**
 STATE **ACT**
 SCALE **1:100 @ A3**

DRAWING **UPPER FLOOR PLAN**
 PROJECT **RESIDENTIAL**
 CLIENT **Sch 2 s2(a)(ii)**

DRAWN **AJ/ER**
 REVISION
 REVISION DATE
 PROJECT NO **1724**
 PRINT DATE **24.11.2017**
 DWG NO **A203**



LOCATION PLAN
NTS

SAFETY IN DESIGN STATEMENT:
WE DO NOT BELIEVE THAT THERE ARE ANY DESIGN ELEMENTS ASSOCIATED WITH THIS PROJECT THAT WOULD POSE ANY UNUSUAL RISKS TO HEALTH AND SAFETY THAT WOULD BE CONSIDERED OUTSIDE OF THOSE NORMALLY EXPECTED FOR THIS BUILDING TYPE.
IF ANY PERSONS CONNECTED WITH THIS PROJECT CAN IDENTIFY ANY UNUSUAL RISKS THAT NEED TO BE ADDRESSED PLEASE CONSULT THE DESIGNER

- NOTE:**
- LIGHTING TO COMPLY WITH CLAUSE 3.12.5.5 OF THE BCA
 - WATER HEATER IN HOT WATER SUPPLY SYSTEM TO COMPLY WITH CLAUSE 3.12.5.6

AREA ANALYSIS:

SITE AREA	570.00m ²
BASEMENT AREA	72.70m ²
LOWER FLOOR CONDITIONED AREA	4.90m ²
GROUND FLOOR AREA	205.07m ²
UPPER FLOOR AREA	45.89m ²
TOTAL AREA	255.86m²
PLOT RATIO	44.88%

HATCHING LEGEND:

- LOWER FLOOR
- GROUND FLOOR
- UPPER FLOOR

Glazing & Window Frames
Ensure that window glazing & window frames conform to that required by the **Energy Rating Report** (or Glazing Calculator if applicable).
The window provider is to certify that the **U-Value & SHGC** of new windows provided conform to that required by the **Energy Rating Report** (or Glazing Calculator)

DA-EXEMPT BUILDING WORK
Complies with Section 1.100AA of Schedule 1 of the Planning & Development Regulation 2008 (Compliant Single Dwellings - New Residential land)

The following inspections are required on this project:

Footings	<input checked="" type="checkbox"/>	Slab/s	<input checked="" type="checkbox"/>	Floor Frame	<input type="checkbox"/>
Wall Frame	<input type="checkbox"/>	Roof Frame	<input checked="" type="checkbox"/>	S/W	<input checked="" type="checkbox"/>
Pre-sheer	<input checked="" type="checkbox"/>	Final	<input checked="" type="checkbox"/>	Other	<input type="checkbox"/>

Please provide adequate notice when booking inspections

ACT Government | **Suburban Land Agency** | **LAWSON**

The plans bearing this stamp have been assessed by the SLA and found to be compliant with Section 4 and 5 of the Lawson Stage 1 Housing Development Guidelines. The SLA's endorsement of the Buyers Plans as Compliant means only that they comply with these requirements. The SLA's endorsement does not constitute an approval for building or development. The SLA's endorsement does not mean that the plans comply with the Territory Plan or with any requirement of EPD or any relevant authority, or that any necessary development or building approval will be given (whether with or without amendment of the plans).

ENDORSED BY Stacey Quavle

DATE 8 January 2018 SITE: Block 7 Section 34 Lawson (Ref 165)

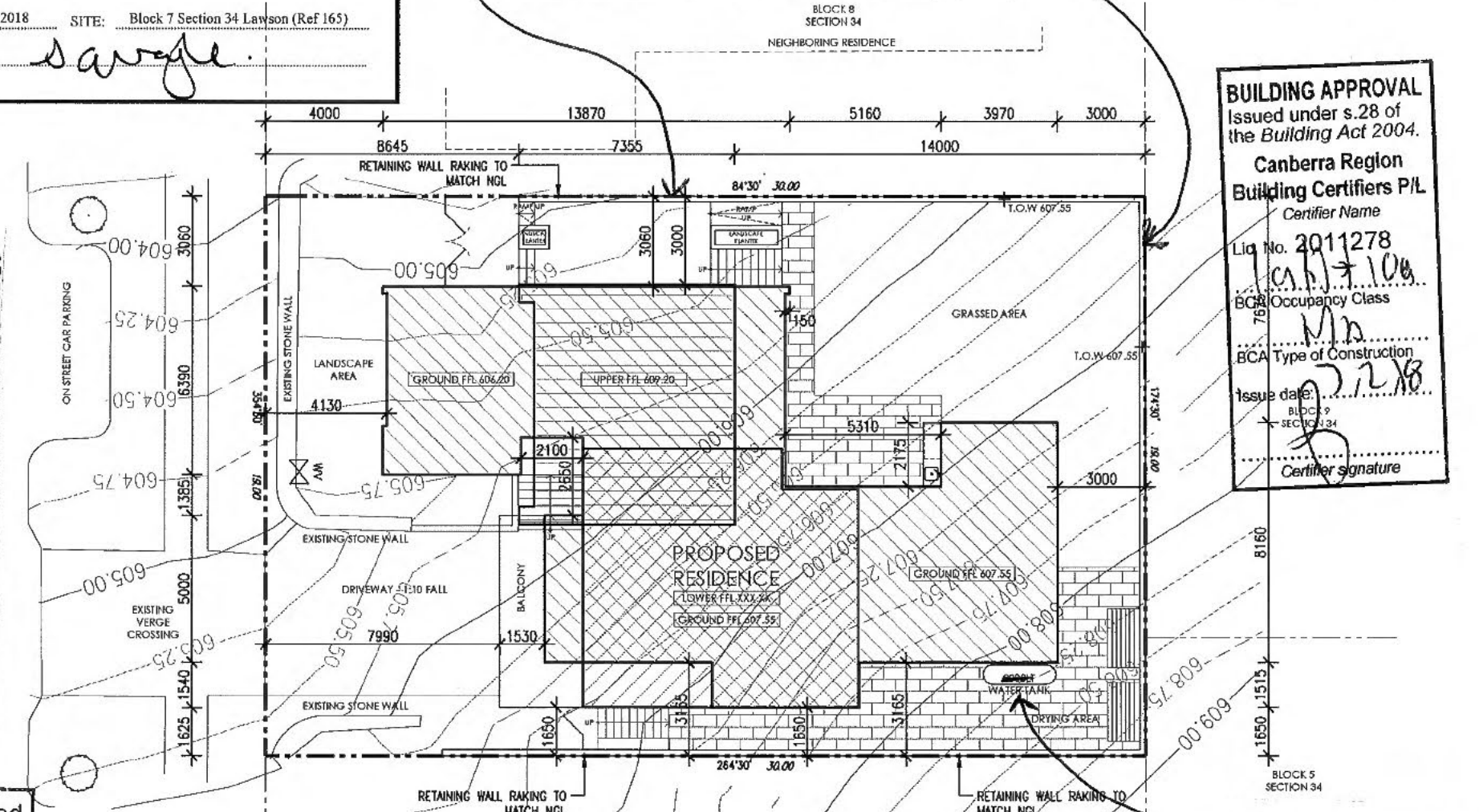
SIGNATURE [Signature]

An Energy Efficient Hot Water System must be installed in accordance with Section 4.16 of the Lawson Stage 1 Housing Development Guidelines. For a solar water heater, the collector panels must be installed in the location shown on these endorsed drawings.

Survey Certificate Required
Provide housing siting to the Certifier at bearer & Jolt or slab level before proceeding in accordance with Section 43(2)(a)(i) of the Building Act

1.8M HIGH STANDARD PALING FENCE. ALL FENCING TO COMPLY WITH LEASE & DEVELOPMENT CONDITIONS.

BELBIRD LOOP
CAR PARKING IS NOT PERMITTED ON VERGES



BUILDING APPROVAL
Issued under s.28 of the Building Act 2004.
Canberra Region Building Certifiers P/L
Certifier Name
Lic No. 2011278
Occupancy Class
Type of Construction
Issue date: 2.12.18
Certifier signature

A Clearance Certificate from a suitably qualified person will be required for each of the following components prior to the issue of Certificate of Occupancy and Use:

Structural	<input type="checkbox"/>	Survey	<input checked="" type="checkbox"/>	Roof Trusses	<input checked="" type="checkbox"/>
Wet Area Flashing	<input checked="" type="checkbox"/>	Glazing	<input checked="" type="checkbox"/>	Termite Protection	<input checked="" type="checkbox"/>
Other	<input type="checkbox"/>				

SITE PLAN
Scale 1:200 @ A3

AMENDMENTS REVISION NO	DESCRIPTION	DATE
7	BA APPLICATION	DATE: 24.11.2017
34	FOR BA APPROVAL ONLY	

BLOCK 7
SECTION 34
ADDRESS 11 BELLBIRD LOOP
SUBURB LAWSON
STATE ACT
SCALE 1:200 @ A3

DRAWING SITE PLAN
PROJECT RESIDENTIAL
CLIENT Sch 2 s2(a)(i)

DRAWN AJ/ER
REVISION
REVISION DATE
PROJECT NO 1724
PRINT DATE 24.11.2017
DWG NO A101



SUITE 10, 14 LONSDALE ST
BRADDON A.C.T
ABN: 17 809 270 522
T: 02 6230 4688
F: 02 6230 4699
www.dnaa.com.au
Registration 986
Principal Nominee Glen Dove

GENERAL NOTES:
All works are to comply with the relevant Australian standards & all relevant authority requirements.
All dimensions dependent on existing site conditions shall be verified by the builder on site prior to the commencement of the works. DO NOT SCALE OFF DRAWING.
A registered surveyor to set out structure & confirm positions of all relevant building envelope setbacks & easements prior to the commencement of the works.
All timber framing & construction must comply with AS1684 'the national timber framing code'. Provide temporary & permanent bracing to all framing in accordance with the standard.
All concrete slabs & footings are subject to a soil classification & are to comply with engineers drawings or AS2870 'residential slabs & footings code' including all relevant region specific supplements.
All storm water drainage & sewerage to be connected to existing services in accordance with the BCA & all local authority requirements or selected rainwater tank or septic system.
All lintels, beams, & supports to be specified by a registered engineer or relevant Australian Standard.
Provide termite control to sub-floor in accordance with the BCA & all relevant local authority requirements or provide ant capping and termite barrier.
The structure shall be maintained in a stable condition at all times, & no element shall be over-stressed, during & after construction.
All wet area fixtures shall be to client's selection or inclusions list.
COPYRIGHT:
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AMENDMENTS REVISION NO | **DESCRIPTION** | **DATE**

BLOCK 7
SECTION 34
ADDRESS 11 BELLBIRD LOOP
SUBURB LAWSON
STATE ACT
SCALE 1:200 @ A3

DRAWING SITE PLAN
PROJECT RESIDENTIAL
CLIENT Sch 2 s2(a)(i)

DRAWN AJ/ER
REVISION
REVISION DATE
PROJECT NO 1724
PRINT DATE 24.11.2017
DWG NO A101

Single Dwelling Housing Assessment for Exempt Development

Block: 7 Section: 34 Suburb: LAWSON

Date:	18/1/18
Client/Lessee:	Sch 2 s2(a)(ii)
Description of works:	New Residence and Garage
Certifiers Name:	Canberra Region Building Certifiers Pty Ltd
License Number:	2011278

Element 1: Building and site controls

Rule	Prompt	Complies with Rule Yes/No/NR	Certifier's Assessment Comment
R1	Plot ratio – single dwelling blocks	Yes	43.94%
R2	Number of storeys	Yes	Two storey
R3	Attics – single dwelling blocks – RZ1	NR	None shown on plans
R4	Basement car parking – single dwelling blocks – RZ1	Yes	Single storey above..
R5	Height of buildings	Yes	6.415 m.
R6	Building envelope	Yes	Within envelope. Encroachment approved.
R7	Sun angle	NR	Block approved after July 2013.
R7A	Sun angle	NR	Encroachment approved
R8	Building envelope – mid-sized blocks	NR	Large block
R9	Building envelope – mid-sized and compact blocks	NR	Large block
R10	Bushfire	NR	Not identified in precinct code, (18/12/2015)
R11	Front boundary setbacks	Yes	LFL; 4.13. Garage 9.97 m. UFL; 8.44 m.
R12	Side and rear setbacks – all blocks	Yes	LFL: PBZ; 3.00 m & 1.65 m. RZ; 3.00 m & 1.65. UFL: PBZ; 3.00 m & 8.165 m. RZ 14.60 m & 6.450 m. No rear 2 fronts.
R13	Setbacks less than 900mm	NR	Garage at 1.00 m.
R14	Garage walls on or near side and rear boundaries – large blocks	Yes	Garage wall at 1.00 m wall length 6.50 m no windows, all within PBZ.
R15	Walls on or near side and rear boundaries – mid-sized blocks	NR	Large block
R16	Allowable encroachments – side and rear setbacks	Yes	Clothesline & water tank on western side of dwelling.

R17	Allowable encroachments – front setbacks	NR	
R18	Allowable encroachments – building envelope	NR	
R19	Surveillance blocks	NR	Not identified in Precinct Code (21/6/16)
R20	Cut and fill	Yes	Cuts not 1.50 m within 1.50 m of boundary.
R21	Blocks between 500m ² and 550m ²	NR	Block over 500m ²

Element 2: Lease and development conditions

Rule	Prompt	Complies with Rule Yes/No/NR	Certifier's Assessment Comment
R22	Approved lease and development conditions	NR	No L & Ds

Element 3: Building design

R23	Materials and finishes	Yes	Mandatory solar panels facing N at the rear of the dwelling.
R24	Fencing – large blocks & midsized blocks	Yes	1.8 m high paling fence. Fence to western boundary must comply with rule 2.5 of Residential Boundary Fences General Code.
R25	Courtyard walls – large blocks	NR	Not on plans.
R26	Courtyard walls – midsized blocks	NR	Large block
R27	Front fences and courtyard walls – compact blocks	NR	Large block
R28	Front fences and side fences forward of building line – compact blocks	NR	Large block

Element 4: Parking and site access

Rule	Prompt	Complies with Rule Yes/No/NR	Certifier's Assessment Comment
R29	Pedestrian access	NR	No rear lane access
R30	Vehicle access	Yes	Developer supplied verge crossing
R31	Parking – minimum number of spaces	Yes	4 on-site spaces provided
R32	Parking – Dimensions	Yes	6.00 m x 5.50 m
R33	Parking – location and design	Yes	2 covered car spaces
R34	Parking ramps – RZ1 & RZ2	NR	No basement parking
R35	Parking – verges	Yes	Note on site plan re no parking
R36	Parking – frontage	Yes	5.00 m wide 32.68% of frontage.

Element 5: Amenity

Rule	Prompt	Complies with Rule Yes/No/NR	Certifier's Assessment Comment
R37	Solar access	NR	Block approved after July 2013.
R37A	Solar access	Yes	Dining room window facing N, glazing greater than 4.00 m ² .

R38	Private open space – large blocks	Yes	Area met note on plan re planting.
R39	Private open space – mid-sized blocks	NR	Large block
R40	Private open space – compact blocks	NR	Large block
R41	Principal private open space	Yes	36m ² achieved off Family room.
R42	Noise attenuation – external sources	NR	Not identified in precinct code (21/6/2016)

Element 6: Environment

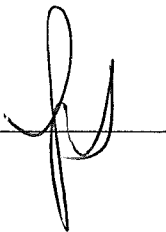
Rule	Prompt	Complies with Rule Yes/No/NR	Certifier's Assessment Comment
R43	Water sensitive urban design	Yes	4000 ltr rainwater tank to west
R44	Heritage	NR	Block not listed on heritage register
R45	Tree protection	NR	No trees on block
R46	Erosion and sediment control – sites less than 3,000m ²	Yes	Notes on plan
R47	Erosion and sediment control – sites 3,000m ² or larger	NR	Block under 3,000m ²

Element 7: Services

Rule	Prompt	Complies with Rule Yes/No/NR	Certifier's Assessment Comment
R48	Construction waste management – all zones	NR	New dwelling in new estate
R49	Utilities – all zones	NR	No encroachments – all entity approvals received

I certify that the single dwelling referred to in this *Assessment for Exempt Development*, meets each applicable approval requirement under Section 29 of the *Building Act 2004* and building approval is not prevented from being issued under Section 30 or Section 30A of the *Building Act 2004*.

Signature: _____



Licence No.: 2011278

Date: 18 / 1 / 2018



**APPOINTMENT OF A CERTIFIER
APPLICATION FOR BUILDING APPROVAL**
Building Act 2004, S151

This form is to be completed by the Owner/s of the land to which the building work relates.

PART A PROJECT DETAILS					
Block	7	Section	34	Suburb	LAWSON
Unit No.		-			
Street Address		11 BELLBIRD LOOP			

Description of Building Works relevant to this application - If more than 4 items please attach further details

Describe each item of building work in this building approval	BCA Occupancy Class	BCA Construction Type	Area (m ²)	Number of Storeys	Cost of Works (refer to building cost)
1 PROPOSED RESIDENCE	1a/1j	M/B	255.86	2	Sch 2 s2(a)(ii)
2 PROPOSED GARAGE	10/4	M/A	77.70	1	
3 PROPOSED PORCH & AVENUE	10/4	N/A	10.00	1	
4					

Applicable approved requirements and reasons why building approval is not prevented from being issued

Is all work exempt from development approval?

- YES Attach assessment for exempt development checklist (if applicable)
- NO Provide reason/s or description of work: _____

Description of Attachments compliant with Division 3.3 Building Act 2004
Please attach any additional documentation not listed below

- Building Approval Plans
- Referrals, consultations & consents outcomes
- Asbestos Advice - If documents accompanying building approval do not include an asbestos assessment report as per the Building Act 2004, the building approval must have an AA attached as per the Act

PART B OWNER'S DETAILS - Please Print

All owners must be listed

Owner 1 will be considered the contact person in relation to this application

Company Details

ACN/ABN Number

Owner 1 Sch 2 s2(a)(ii) Owner 2 _____

Owner 3 _____ Owner 4 _____

Approved form AF2016-85 approved by David Middlemiss, Construction Occupations Deputy Registrar on 10 August 2016 under section 151 of the Building Act 2004 and revokes AF2014-68 and AF2016-80.

PART B continued **OWNER/S DETAILS – Please Print**

Postal Address [Redacted]

Suburb [Redacted] State [Redacted] Postcode [Redacted]

Phone Number Business Hours [Redacted] Mobile [Sch 2 s2(a)(ii)]

EMAIL ADDRESS [Sch 2 s2(a)(ii)]

PART C **APPOINTMENT OF CERTIFIER**

As required under the Building ACT 2004 I/we hereby advise that I/we the owner/s have appointed the person whose details appear below as the certifier in relation to the building works described in this form

Company Details [CANBERRA REGION BUILDING CERTIFIERS PTY LTD]

Name of Certifier [Joseph Fekete] ABN/ACN [36 138 270 103]

Postal Address [PO Box 357]

Suburb [MITCHELL] State [ACT] Postcode [2911]

Phone Number Business Hours [6242 7738] Mobile [Sch 2 s2(a)(ii)]

EMAIL ADDRESS [mail.crbc@bigpond.com]

PART D **APPLICATION FOR BUILDING APPROVAL**

I/we the Owner/s of the abovementioned property hereby apply under Section 26 of the Building Act 2004 to the certifier named above to issue a building approval for the building work described in this form. I/we have provided the certifier with information and documentation required to issue a building approval as specified in the Building (General) Regulation 2008.

PART E **AUTHORITY TO ACCESS BUILDING FILE**

I/we hereby authorise the certifier to access the building file for the property which is the subject of this application for the purposes of obtaining information relevant to the issuing of a building approval and associated processes.

PART F **OWNER/S SIGNATURE/S**

1 st Owner's Signature	[Sch 2 s2(a)(ii)]	Date	[5/2/2018]
2 nd Owner's Signature	[Redacted]	Date	[Redacted]
3 rd Owner's Signature	[Redacted]	Date	[Redacted]
4 th Owner's Signature	[Redacted]	Date	[Redacted]

NOTE: There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

Approved form AF2016-85 approved by David Middlemiss, Construction Occupations Deputy Registrar on 10 August 2016 under section 151 of the Building Act 2004 and revokes AF2014-68 and AF2016-80.

Where relevant the following information MUST be included in either the application or the plans accompanying the application for building approval:

General Requirements

- ▶ Estimated Cost of Works -as per *Building (General) (Cost of Building Work) Determination 2015*
- ▶ if the proposed building work to be carried out at or near a street or place that is open to or used by the public the application must contain details of the precautions proposed to be taken to protect the safety of people using the street or place while the building work is carried out
- ▶ the area of the parcel of land to which this application relates
- ▶ the class of the building according to the intended use of the building as proposed to be erected or altered;
- ▶ if applicable what fire-resisting construction type (under the building code) the building as proposed to be erected or altered will be
Note: Fire-resisting construction type may not be applicable if an alternative solution under the building code is used
- ▶ for an application relating to the erection of a class 1 building the site classification of the parcel of land
- ▶ for an application relating to the alteration of a class 1 building if the alteration will increase the building load carried by foundation material beyond the building load carried by the foundation before the alteration
- ▶ the site classification of the parcel of land
- ▶ for an application relating to the alteration of a building the class and type of fire-resisting construction of the existing building classified under the building code and the materials used in the existing building
Note Fire-resisting construction type may not be applicable if an alternative solution under the building code is used
- ▶ the number of storey's of the building as proposed to be erected or altered;
- ▶ the number of new dwellings (if any) created by the proposed building work;
- ▶ the floor area of the proposed building or proposed new part of the building;
- ▶ the materials to be used in the frame, floor, walls and roof of the proposed building or proposed new part of the building
- ▶ if a performance requirement of the building code is to be complied with by use of an alternative solution under the code -
 - (i) the performance requirement; and
 - (ii) the alternative solution; and
 - (iii) each assessment method used to show that the alternative solution complies with the performance requirement;
- ▶ If the building code does not state a standard of work in relation to any part of the proposed building work and it is intended to carry out that part of the proposed building work in accordance with a standard of work stated in another document -
 - (i) the nature of the proposed building work; and
 - (ii) the title of the document; and
 - (iii) each assessment method used to show that the proposed building work complies with the standard of work stated in the document.

Removal or demolition of building/s

- ▶ Details of the methods to be used in carrying out the proposed building work, including a work plan stated or set out in AS 2601 (Demolition of structures), as in force from time to time;
- ▶ the number of dwellings (if any) to be demolished.

Asbestos

- ▶ The application must include a description of the method proposed to be used to remove the bonded asbestos sheeting from the building
- ▶ the application must include the following information:
 - (i) the method proposed to be used to remove the asbestos;
 - (ii) the approximate amount and kind of asbestos to be removed;
 - (iii) the equipment proposed to be used to remove the asbestos, including any personal protective equipment;
 - (iv) details of a program, prepared in accordance with the asbestos removal code, for monitoring airborne asbestos to be followed during the removal.

Privacy Notice

The personal information on this form is provided to Access Canberra to enable the processing of your application. The collection of personal information is authorised by the *Building Act 2004*. If all or some of the personal information is not collected Access Canberra cannot process your application. The personal information you provide may be disclosed to Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be disclosed where authorised by law or court order, or where the Directorate reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. Access Canberra's Information Privacy Policy contains information about how you may access or seek to correct your personal information held by Access Canberra, and how you may complain about an alleged breach of the Territory Privacy Principles. Access Canberra Information Privacy Policy can be found at www.act.gov.au/accessCBR

CONTACT INFORMATION

Email:

ACTPLAdevelopmentBA@act.gov.au

Post:

Access Canberra
Building Services
Shopfront Mitchell
GPO Box 158
Canberra, ACT 2601

In Person:

Please visit
www.act.gov.au/accessCBR
Or call **132281** to find an
Access Canberra Shopfront.



Building Act 2004, S151
Building Approval

Project ID: B2018316

PART A - PROJECT DETAILS

Unit	Block	Section	Division (Suburb)	District	Jurisdiction
	7	34	LAWSON	BELCONNEN	Australian Capital Territory

PART B - WORKS REQUIRING BUILDING APPROVAL

Item of building work to which this Building Approval relates:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
1a(l)	New	DA EXEMPT-RESIDENCE		NA	2	255.86	Sch 2 s2(a)(ii)
10a	New	DA EXEMPT-GARAGE		NA	1	72.70	
10a	Other	DA EXEMPT-SEE DESCRIPTION	Proposed Porch & Alfresco	NA	1	10.00	

The following work is exempt from development approval:

- A single house in a new housing estate
- Decks, patios and terraces
- Garages, sheds, and gazebos

PART C - CERTIFIERS DECLARATION

I declare that in issuing this building approval under section 28 of the Building Act 2004:

- I am satisfied on reasonable grounds that the plans meet each applicable approval requirement under section 29 and is not prevented from being issued under section 30 or section 30A
- I have supplied all documents as required under 3.3 Building Act 2004
- I have prepared a notice (building approval certificate) certifying what approval requirements apply to the application and why the building approval is not prevented from being issued; and
- I have given the building approval certificate to the applicant.

In performing services as a certifier in relation to the work detailed in this application I am not in breach of my entitlement to act as a certifier in accordance with the Building Act 2004.

Full Name	Address	License Number	Expiry Date
CANBERRA REGION BUILDING CERTIFIERS PTY LTD	PO Box 357 MITCHELL ACT 2911	2011278	27/09/2018

Date Issued : 7/02/2018

NOTES

Utilities

This application must also be accompanied by a Statement of Compliance from each relevant utility provider (for water, sewerage, electricity and stormwater) which confirms that the location and nature of earthworks, utility connections, proposed buildings, pavements and landscape features comply with utility standards, access provisions and asset clearance zones.

Note 1: If there is no stormwater easement or Territory owned stormwater pipes located within the property boundary, a "Statement of Compliance" for stormwater from TAMS (Asset Acceptance) is not required to be obtained.

Note 2: Where there is conflict between planning and utility requirements, the utility requirements take precedence over other codified or merit provisions.

Utilities – Demolition Only

This application must be accompanied by a Statement of Endorsement for utilities (including water, sewerage, electricity and stormwater) stating that:

- all network infrastructure on or immediately adjacent to the site has been identified on the plan
- all potentially hazardous substances and conditions (associated with or resulting from the demolition process) that may constitute a risk to utility services have been identified
- all required network disconnections have been identified and the disconnection works comply with utility requirements
- all works associated with the demolition comply with and are in accordance with utility asset access and protection requirements

Note: The documentation provided to the utility provider for endorsement must be consistent with the documentation that forms part of a development approval or the documentation verified as exempt from requiring development approval by a licensed certifier.

Asbestos Advice

If documents accompanying building approval do not include an asbestos assessment report as per the Building Act 2004, the building approval must have an Asbestos Advice attached as per the Act

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.



Building Act 2004, S151

Building Commencement Notice

Project ID: B2018316

PART A - PROJECT DETAILS

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
	7	34	BELCONNEN	LAWSON	Australian Capital Territory

Certifier's Details

Full Name	Address	License Number	Expiry Date
CANBERRA REGION BUILDING CERTIFIERS PTY LTD	PO Box 357 MITCHELL ACT 2911	2011278	27/09/2018

Building approval issue date: 7/02/2018

Building Commencement Notice Required for:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Area (m2)	Cost of Works (\$)
1a(l)	New	DA EXEMPT-RESIDENCE		NA	255.86	Sch 2 s2(a)(ii)
10a	New	DA EXEMPT-GARAGE		NA	72.70	
10a	Other	DA EXEMPT-SEE DESCRIPTION	Proposed Porch & Alfresco	NA	10.00	

PART B - BUILDERS DETAILS

License holder's name: YIJUAN CHEN

License number: 2018137

License Expiry Date: 7/02/2021

Business Address: 4/11 FORBES STREET TURNER ACT 2612

Phone Number: Sch 2 s2(a)(ii)

If the builder is a company or partnership provide details of the nominee who will supervise the building work

Nominee's name: YIJUAN CHEN

License number: 2018137

License Expiry Date: 7/02/2021

PART C - CERTIFIER'S DECLARATION

Issue date of commencement notice: 19/02/2018

**Name of Certifier Issuing
Notice:**

CANBERRA REGION BUILDING CERTIFIERS PTY LTD

Declaration:

This commencement notice is issued in accordance with the Building Act 2004, to the licensed builder stated above authorising the commencement of the stated building work. The issue of this commencement notice indicates that I am satisfied that the builders license authorises the work in the building approval. Where applicable for residential building work, I have been provided with a residential building insurance policy or fidelity certificate.

PLEASE NOTE:

A copy of the application for this commencement notice, this notice and where applicable the residential building insurance policy or fidelity certificate, must be given to the construction occupations registrar within one (1) week of the issue date.

This building commencement notice will end if-

- (a) for residential building work- the work is no longer insured; or
- (b) the building approval for the work ends

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.