



ACT
Government

Chief Minister, Treasury and
Economic Development

Freedom of Information Publication Coversheet

The following information is provided pursuant to section 28 of the *Freedom of Information Act 2016*.

FOI Reference: CMTEDDFOI 2019-125

Information to be published	Status
1. Access application	Published
2. Decision notice	Published
3. Documents and schedule	Published
4. Additional information identified	No
5. Fees	Waived
6. Processing time (in working days)	33
7. Decision made by Ombudsman	N/A
8. Additional information identified by Ombudsman	N/A
9. Decision made by ACAT	N/A
10. Additional information identified by ACAT	N/A

From: [REDACTED]
To: [EPSDFOI](#)
Subject: FOI/ Dockside Development, Kingston
Date: Monday, 10 June 2019 11:41:47 AM

Good morning

I request all documentation held by EPSD related to building certification for the Dockside development at 25-35 Eastlake Pde, Kingston.

The information should include, but not be restricted to, individual certifications by the structural engineer, waterproof joint sealant contractor, waterproof membrane installer and lift contractor, the Certificate of Completion, Certificate of Occupancy and Use and Certificate of Compliance.

With thanks, [REDACTED]
[REDACTED]



ACT
Government

Chief Minister, Treasury and
Economic Development

Our ref: CMTEDDFOI2019-125

[REDACTED]
via email [REDACTED]

Dear [REDACTED]

FREEDOM OF INFORMATION REQUEST

I refer to your revised application under section 30 of the *Freedom of Information Act 2016* (the Act), received by the Chief Minister, Treasury and Economic Development Directorate (CMTEDD) on 1 July 2019 in which you sought access to “...*the final certification statements for; waterproofing the basement walls; waterproofing the ground floor slab movement joints and those parts of the ground floor exposed to the weather; sewerage plumbing; stormwater plumbing; lift installation and; structural engineering. Provide the Certificate of Completion; Certificate of Occupancy and Use and; Certificate of Compliance.*”

Authority

I am an Information Officer appointed by the Director-General under section 18 of the Act to deal with access applications made under Part 5 of the Act.

Timeframes

In accordance with section 40 of the Act, CMTEDD is required to provide a decision on your access application by 19 August 2019.

Third Party Consultation

In making this decision, third party consultation was completed in accordance with section 38 of the Act. The views of the identified third parties were considered in making this decision.

Decision on access

Searches were completed for relevant documents and 13 documents were identified that fall within the scope of your request.

I have included as **Attachment A** to this decision the schedule of relevant documents. This provides a description of each document that falls within the scope of your request and the access decision for that document.

I have decided to grant full access to 11 documents and grant partial access to 2 documents as I consider them to contain information that would, on balance, be contrary to the public interest to disclose under the test set out in section 17 of the Act.

My access decisions are detailed further in the following statement of reasons and the documents released to you are provided as **Attachment B** to this letter.

In accordance with section 54(2) of the Act a statement of reasons outlining my decisions is below.

Statement of Reasons

In reaching my access decisions, I have taken the following into account:

- the Act;
- the content of the documents that fall within the scope of your request;
- the views of the relevant third parties; and
- the *Information Privacy Act 2014*.

Exemption claimed

My reasons for deciding not to grant full access to the identified documents are as follows:

Public Interest

The Act has a presumption in favour of disclosure. As a decision maker I am required to decide where, on balance, public interest lies. As part of this process I must consider factors favouring disclosure and factors favouring non-disclosure.

In *Hogan v Hinch* (2011) 243 CLR 506, [31] French CJ stated that when ‘used in a statute, the term [public interest] derives its content from “the subject matter and the scope and purpose” of the enactment in which it appears’. Section 17(1) of the Act sets out the test, to be applied to determine whether disclosure of information would be contrary to the public interest. These factors are found in subsection 17(2) and Schedule 2 of the Act.

Taking into consideration the information contained in the documents found to be within the scope of your request, I have identified that the following public interest factors are relevant to determine if release of the information contained within these documents is within the ‘public interest’.

Factor favouring disclosure in the public interest:

(a) *disclosure of the information could reasonably be expected to do any of the following:*

(ii) contribute to positive and informed debate on important issues or matters of public interest.

While assessing the documents found within the scope of your request, I was aware of the great public interest surrounding the building industry and building standards. Accordingly, I consider that the release of these documents to you could allow you to have a record of certifications allowing you to see what was signed off, when and by whom. The release of these document would contribute to positive and informed debate on important issues or matters of public interest.

Factor favouring nondisclosure in the public interest:

- (a) *disclosure of the information could reasonably be expected to do any of the following:*
- (ii) *prejudice the protection of an individual's right to privacy or any other right under the Human Rights Act 2004.*

When considering the documents and factor in favour of non-disclosure I consider that it is unreasonable to release certain information on the basis that it would prejudice the protection of an individual's right to privacy. The names of the nominated contact persons on behalf of Civium Strata and X.L. Plumbing Pty Ltd have been redacted along with the personal signature of the X.L. Plumbing Pty Ltd employee as these employees have not agreed to the release of their personal information and this information is not publicly available. I have also redacted the personal mobile number of an owner. I consider that the release of this information would prejudice these individuals' right to privacy.

Having applied the test outlined in section 17 of the Act and deciding that release of the personal information contained in the documents is not in the public interest to release, I have chosen to redact this specific information in accordance with section 50(2). Noting the pro-disclosure intent of the Act, I am satisfied that redacting only the information that I believe is not in the public interest to release will ensure that the intent of the Act is met and will provide you with access to the majority of the information held by CMTEDD within the scope of your request.

Charges

Pursuant to *Freedom of Information (Fees) Determination 2017 (No 2)* processing charges are applicable for this request because the total number of pages to be released to you exceeds the charging threshold of 50 pages. However, the charges have been waived in accordance with section 107(2)(b) of the Act.

Online publishing – Disclosure Log

Under section 28 of the Act, CMTEDD maintains an online record of access applications called a disclosure log. Your original access application, my decision and documents released to you in response to your access application will be published in the CMTEDD disclosure log three days after the date of my decision. Your personal contact details will not be published.

You may view the CMTEDD disclosure log at

<https://www.cmtedd.act.gov.au/functions/foi/disclosure-log>.

Ombudsman Review

My decision on your access request is a reviewable decision as identified in Schedule 3 of the Act. You have the right to seek a review by the Ombudsman of this outcome under

section 73 of the Act within 20 working days from the day that my decision is published in the CMTEDD disclosure log, or a longer period allowed by the Ombudsman.

If you wish to request a review of my decision you may write to the Ombudsman at:

The ACT Ombudsman

GPO Box 442

CANBERRA ACT 2601

Via email: actfoi@ombudsman.gov.au

ACT Civil and Administrative Tribunal (ACAT) Review

Under section 84 of the Act, if a decision is made by the Ombudsman under section 82(1), you may apply to the ACAT for a review of the Ombudsman decision. Further information may be obtained from the ACAT at:

ACT Civil and Administrative Tribunal

Level 4, 1 Moore St

GPO Box 370

Canberra City ACT 2601

Telephone: (02) 6207 1740

<http://www.acat.act.gov.au/>

Should you have any queries in relation to your request please contact me by telephone on 6207 7754 or by email at CMTEDDFOI@act.gov.au.

Yours sincerely,



Sarah McBurney

Information Officer

Information Access Team

Chief Minister, Treasury and Economic Development Directorate

15 August 2019



ACT
Government

Chief Minister, Treasury and
Economic Development

FREEDOM OF INFORMATION REQUEST SCHEDULE

NAME	WHAT ARE THE PARAMETERS OF THE REQUEST	Reference NO.
[REDACTED]	Provide the final certification statements for; waterproofing the basement walls; waterproofing the ground floor slab movement joints and those parts of the ground floor exposed to the weather; sewerage plumbing; stormwater plumbing; lift installation and; structural engineering. Provide the Certificate of Completion; Certificate of Occupancy and Use and; Certificate of Compliance.	CMTEDDFOI2019-125

Ref No	Page number	Description	Date	Status	Reason for Exemption	Online Release Status
1	1-2	Certification of Completion of Building Work	16 Jul 2013	Full release	N/A	Yes
2	3-9	Wet Seal Certificates	7 Jul 2013	Full release	N/A	Yes
3	10	Certificate of Occupancy and Use	17 Jul 2013	Full release	N/A	Yes
4	11-17	Drainage Plans	Various 2014, 2015	Full release	N/A	Yes
5	18-23	Backflow device report	14 Jun 2017	Partial release	Sch 2 s2.2 (a)(ii)	Yes
6	24-51	Certificates of Compliance	Various 2014, 2015, 2017	Partial release	Sch 2 s2.2 (a)(ii)	Yes
7	52	Certificate of Structural Sufficiency - Design	26 Jul 2011	Full release	N/A	Yes
8	53-54	Building Approval	23 Aug 2011	Full release	N/A	Yes
9	55-56	Building Approval	26 Oct 2012	Full release	N/A	Yes
10	57-58	Certification of Completion of Building Work	16 Jul 2013	Full release	N/A	Yes
11	59	Certificate of Occupancy and Use	17 Jul 2013	Full release	N/A	Yes
12	60-117	Building Approval Plan	23 Aug 2011	Full release	N/A	Yes
13	118	Certificate of Structural Sufficiency - Construction	7 Jun 2013	Full release	N/A	Yes
Total No of Docs						
13						



ACT
Government

Environment and
Sustainable Development

Building Act 2004, S151

Certification of Completion of Building Work

Project ID: B20118146/A

If this application is incomplete or documentation is inadequate this application may not be accepted for lodgement and the Certificate of Occupancy and Use may not be issued.

PART A - PROJECT DETAILS

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
	1	63	CANBERRA CENTRAL	KINGSTON	Australian Capital Territory

Plan Registration Number

B20118146/A

Description of Works

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Unit	BCN ID	Builder
2	New Medium Density	FLAT/UNIT/APARTMENT	Multi-residential development including 120 Residential units (Stage 1: Building Structure)	A		B20118146N1	ANDREW CLIFFORD REDWIN
7	New	PUBLIC CARPARK	Basement Carpark (Stage 1: Building Structure)	A		B20118146N1	ANDREW CLIFFORD REDWIN
5	New	OFFICE BUILDING	Office tennancies (Stage 1: Building Structure)	A		B20118146N1	ANDREW CLIFFORD REDWIN
6	New	SHOP/RETAIL BUILDING	Retail Tennancies (Stage 1: Building Structure)	A		B20118146N1	ANDREW CLIFFORD REDWIN

The project did not involve electrical work

The project did not involve plumbing or sanitary drainage work

This building work is not subject to an alternative solution under BCA

PART B - CERTIFIERS DECLARATION

I am satisfied that the building work detailed in the application is complete. I hereby certify that:

- (a) I have provided all the relevant documents required by subsection 48(2) of the Building Act 2004 with this application as uploaded;
- (b) the documentation relating to the building approval has been marked in accordance with the requirements of the Building Act 2004;
- (c) The building work has been completed in accordance with the requirements of the Building Act 2004 and substantially in accordance with the approved plans;
- (d) The building or part of the building as erected or altered is structurally sufficient, sound and stable for the purposes for which it is intended to be occupied or used; and
- (e) The Registrar can issue a Certificate of Occupancy and Use

Full Name	Address	License Number	Expiry Date
BCA CERTIFIERS AUSTRALIA PTY LTD	13A ALTREE COURT PHILLIP ACT 2606	200714	11/01/2014

Date Issued: 16/07/2013 10:36:10 AM

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.

WET SEAL CERTIFICATE

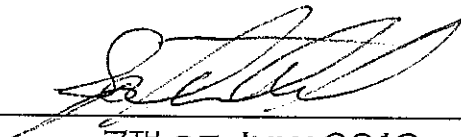
To: DOMA PROJECTS PTY LTD
18 NATIONAL CIRCUIT BARTON ACT 2600
ACN: 127 509 059

*Block 1, Section 63
25 – 35 Eastlake Parade, Kingston*

For all paint on membrane to unit wet rooms including but not limited to bathrooms, ensuites, laundry's & toilets where applicable, the system includes 2 coat perimeter flashings below screed and 2 coats roll on to full floors above the screed and 2 coats to structural slab below shower base screed, along with 2 coats to shower walls, all works completed using Parchem's Emerproof 695, WB Primer & PU45 Silicone and covers a 10year warranty,

**All Work's completed under manufacturers specifications and complies with
Australian/New Zealand Standard 4858
and complies with Australian Standard 3740
with the Building Code of Australia (BCA) as amended**

Milestone Tiling
42-44 Essington St
Mitchell ACT 2911
ACN: 113 039 080


7TH OF JULY 2013

Application Certificate
Sean Fitzgerald
Lic # 003247

WET SEAL CERTIFICATE

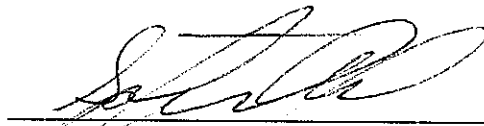
To: DOMA PROJECTS PTY LTD
18 NATIONAL CIRCUIT BARTON ACT 2600
ACN: 127 509 059

Block 1, Section 63
25 – 35 Eastlake Parade, Kingston

Including but not limited to all torch on membrane and pressure seal bandage installed to Level 4 podiums Level 1 podiums and ground floor common walk ways installed under areas finished in concrete, pavers and cobble stone product used was testudo mineral supplied by Parchem's and is a single layer system covering a 10year warranty,

**All Work's completed under manufacturers specifications and complies with
Australian/New Zealand Standard 4858
and complies with Australian Standard 3740
with the Building Code of Australia (BCA) as amended**

Milestone Tiling
42-44 Essington St
Mitchell ACT 2911
ACN: 113 039 080



7TH OF JULY 2013

Application Certificate
Sean Fitzgerald
Lic # 003247

WET SEAL CERTIFICATE

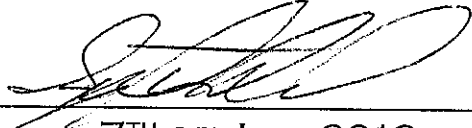
To: DOMA PROJECTS PTY LTD
18 NATIONAL CIRCUIT BARTON ACT 2600
ACN: 127 509 059

Block 1, Section 63
25 – 35 Eastlake Parade, Kingston

For all paint on membrane to Lightbox walls & floor and includes
2 coat perimeter flashings & 2 coats roll on to all walls and floors within the space
all works completed using Parchem's Emerproof 695, WB Primer & PU45 Silicone
and covers a 10year warranty,

**All Work's completed under manufacturers specifications and complies with
Australian/New Zealand Standard 4858
and complies with Australian Standard 3740
with the Building Code of Australia (BCA) as amended**

Milestone Tiling
42-44 Essington St
Mitchell ACT 2911
ACN: 113 039 080


7TH OF JULY 2013

Application Certificate
Sean Fitzgerald
Lic # 003247

WET SEAL CERTIFICATE

To: DOMA PROJECTS PTY LTD

18 NATIONAL CIRCUIT BARTON ACT 2600

ACN: 127 509 059

*Block 1, Section 63
25 – 35 Eastlake Parade, Kingston*

For all paint on/ torch on membrane to structural control joints on top of the structural slab to ground floor podiums + treatment of division angles between concrete and pavers.
4 coat system to Control joints using Backing rod, PU45, EJB Flexible Tape and Emerproof 695 then top coated on torch on phase with auto teem heat applied strip
Division angles (Installed by others) treated with plasti-seal silicone and Eco flex membrane (Where possible) and covers a 10year warranty,

**All Work's completed under manufacturers specifications and complies with
Australian/New Zealand Standard 4858
and complies with Australian Standard 3740
with the Building Code of Australia (BCA) as amended**

Milestone Tiling
42-44 Essington St
Mitchell ACT 2911
ACN: 113 039 080


7TH OF JULY 2013

Application Certificate
Sean Fitzgerald
Lic # 003247

WET SEAL CERTIFICATE

To: DOMA PROJECTS PTY LTD
18 NATIONAL CIRCUIT BARTON ACT 2600
ACN: 127 509 059

Block 1, Section 63
25 – 35 Eastlake Parade, Kingston

For all paint on membrane to typical unit balconies the system includes 2 coats to window sub sill's, 2 coat perimeter flashings below screed and 2 coats roll on to full floors above the screed
This also includes the installation of metal angles to balcony perimeters and under the window sub sill
all works completed using Parchem's Emerproof 695, WB Primer & PU45 Silicone
and covers a 10year warranty,

**All Work's completed under manufacturers specifications and complies with
Australian/New Zealand Standard 4858
and complies with Australian Standard 3740
with the Building Code of Australia (BCA) as amended**

Milestone Tiling
42-44 Essington St
Mitchell ACT 2911
ACN: 113 039 080


7TH OF JULY 2013

Application Certificate
Sean Fitzgerald
Lic # 003247

CONTENTS: BUILDING ELEMENTS

Note: Revision date is indicated against each individual item when updated.

1	Sitework / Ground Plane / Paving
2	Concrete / Masonry
3	Window Frames
4	Glass & Glazing
5	Roofing
6	Insulation: Acoustic
7	Insulation: Thermal
8	Wall & Ceiling Linings (Internal & External)
9	Handrails & Screens
10	Metalwork
11	Paint Systems: Interior
12	Paint Systems: Exterior
13	Waterproofing

Code	Item	Location	Product	Manufacturer / Supplier	Finish / Colour	Notes	Rev
						Provide allocation numbering as per DOMA instruction.	
	Exterior Metalwork	Generally	Paint	Dulux	Black PG1A9 (TBC)	Primer: 1 coat Dulux Quit Rust All Metal 1 st Coat: Dulux Rust Waterbased Gloss Enamel 2 nd Coat: Dulux Rust Waterbased Gloss Enamel	K
	Exterior Structural Steel	Generally	Paint	Dulux	Black PG1A9 (TBC)	Primer: 1 coat Dulux Quit Rust All Metal 1 st Coat: Dulux Rust Waterbased Gloss Enamel 2 nd Coat: Dulux Rust Waterbased Gloss Enamel	K
13. Water Proofing							
Type A	Water Proofing	Internal/External including: Residential/Commercial internal bathrooms, ensuites, laundries, etc. External tiled balconies (generally), external stone/concrete-topped areas (typically Ground Floor).	Emer-Proof 680	Parchem Construction Products 98 Barrier Street, Fyshwick ACT 2609 Ph 02 6228 1313		Tile over, typically. Concrete-top/stone paver over where indicated.	M
Type B	Water Proofing	To concrete roof system with raised deck or paving, including: Level 1 & 4 terrace, Level 1 light shaft courtyard.	Testudo / Testudo Mineral	Parchem Construction Products 98 Barrier Street, Fyshwick ACT 2609 Ph 02 6228 1313		Pavers on chairs over, typically. Where over pebbles, provide protection to waterproofing.	M
	Waterproofing	To exposed concrete areas including: Level 5, Bldg B plant area concrete floor.	Emer-Clad Waterproofing	Parchem Construction Products 98 Barrier Street, Fyshwick ACT 2609 Ph 02 6228 1313	Grey	Refer manufacturer's Technical Data Sheet.	



ACT
Government

Environment and
Sustainable Development

Certificate of Occupancy and Use

Certificate No.: **B20125276C2**

Planning and Land Authority

ABN 46 346 672 655
8 Darling Street Mitchell
GPO Box 1908 ACT 2601
www.actpla.act.gov.au

This Certificate is issued in accordance with Section 69 (2) of the Building Act 2004.

The building work listed on this certificate has been completed substantially in accordance with the prescribed requirements and is considered fit for occupation and use.

Unit	Block	Section	Division (Suburb)	District	Jurisdiction
	1	63	KINGSTON	CANBERRA CENTRAL	Australian Capital Territory

Plans
B20125276/A
B20125276/B

Building Works

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Const.	Unit	BCN ID	Builder
2	Other	SEE DESCRIPTION	Mixed use development incl. 120 residential units (stage2: Completion of work)	A		B20125276N1	ANDREW CLIFFORD REDWIN

Comments

Important Note:

also including BCA Occupancy Classes 5, 6 and 7a and associated site works This building work incorporates an alternative solution to the Building Code of Australia (BCA). Refer to the approval documentation for further information.

1. Residential building statutory warranties and residential insurance do not apply in relation to building work.
2. The issue, under this Part, of a certificate in respect of a building or portion of a building does not affect the liability of a person to comply with the provisions of a law of the territory (including this Act) relating to the building or portion of the building.

Issued by: Kassandra Keppell

Issued on: 17/07/2013

Delegate of the ACT Construction
Occupations Registrar.

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DRAINAGE PLAN NUMBER: 120689

OWNER 143075/A
BLOCK 1 SECTION 63
SUBURB KINGSTON A.C.T.

PLAN OF SANITARY DRAINAGE
DESIGNED TO AS3500

- LEGEND**
- SEWER MAIN
 - STORMWATER MAIN
 - WATER MAIN
 - SEWER LINES
 - VENT PIPE
 - STORMWATER LINES
 - AG LINES
 - DOMESTIC WATER
 - NON-POTABLE WATER
 - SV SERVICE VALVE
 - WM WATER METER

- AAV AIR ADMITTANCE VALVE
- CW COLD WATER
- CWR/D COLD WATER RISER/DROPPER
- GWD GREASE WASTE DRAINAGE
- FW FLOOR WASTE
- H/L HIGH LEVEL
- HDPE HIGH DENSITY POLYETHYLENE
- HW HOT WATER
- HWH HOT WATER HEATER
- IO INSPECTION OPENING
- IS INSPECTION SHAFT
- L/L LOW LEVEL
- ORG OVERFLOW RELIEF GULLY
- SMH SEWER MANHOLE
- ST SILT TRAP
- SV SERVICE VALVE
- SVP SOIL VENT PIPE
- TD TUNDISH
- TG TEST GATE
- TTD TRAPPED TUNDISH
- UPVC UNPLASTICISED POLYVINYL CHLORIDE
- VP VENT PIPE
- WW WARM WATER

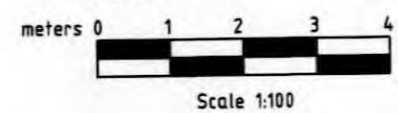


GENERAL NOTES

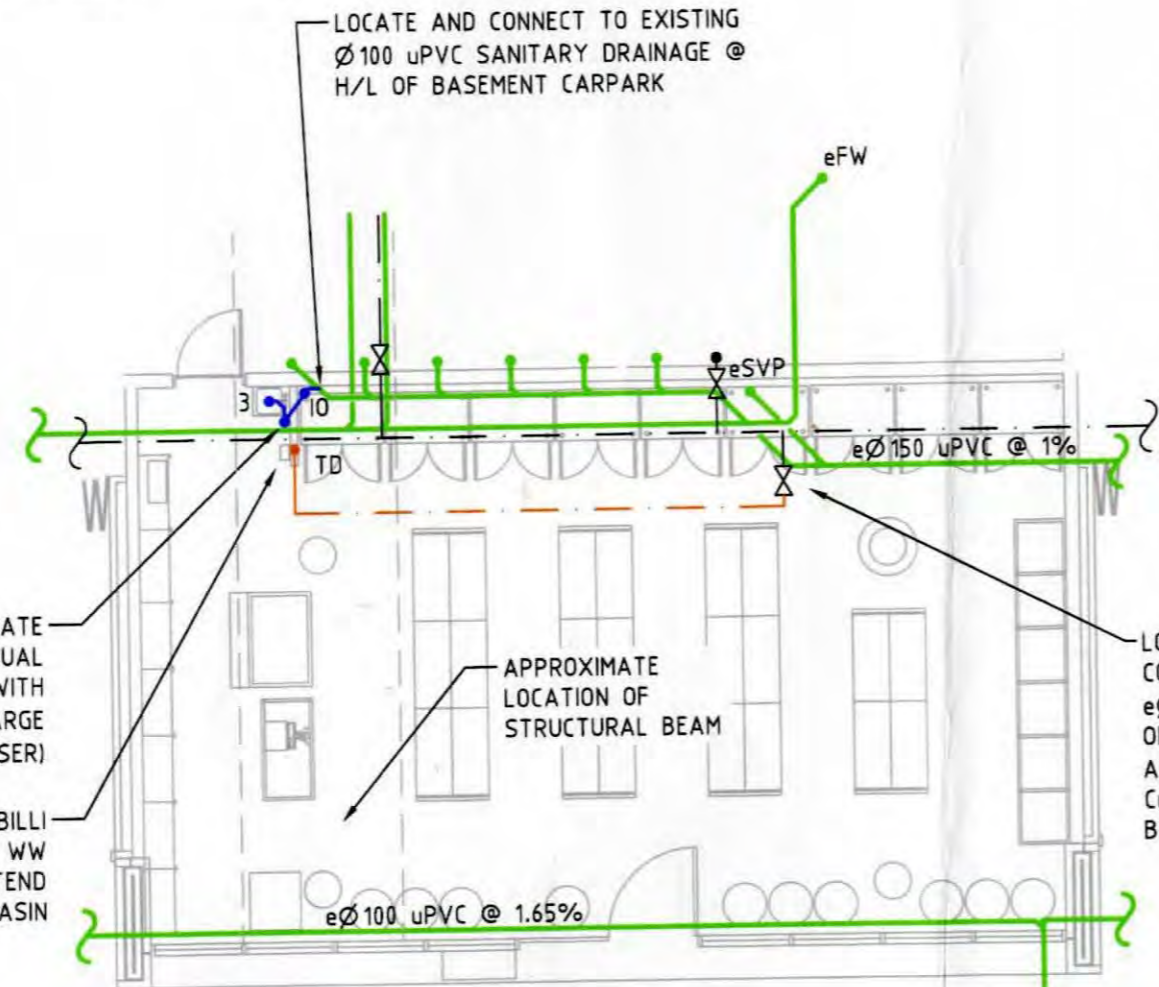
1. EXISTING SANITARY DRAINAGE LINES TO BE LOCATED ON SITE PRIOR TO COMMENCEMENT OF WORK.
2. ALL PLUMBING AND DRAINAGE TO BE INSTALLED IN ACCORDANCE WITH AS3500.
3. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE CANBERRA SEWERAGE AND WATER SUPPLY REGULATIONS.
4. THIS PLAN TO BE READ IN CONJUNCTION WITH APPROVED ARCHITECTURAL PLANS AND SPECIFICATIONS.
5. UNPLASTICISED POLYVINYL CHLORIDE PIPE DRAINS (UPVC) TO BE CONSTRUCTED IN ACCORDANCE WITH AS2032 AND THE CANBERRA SEWERAGE AND WATER SUPPLY REGULATIONS.
8. TEMPERED HOT WATER REQUIRED AT ALL ABLUTION FIXTURES.
9. PLUMBING AND DRAINAGE TO CONFORM TO ACTPLA PLUMBING NOTES 22 AND 23.
10. WORK AS EXECUTED DRAWINGS SHALL BE PROVIDED BY THE PLUMBING CONTRACTOR AT THEIR EXPENSE.

SANITARY FIXTURES

1	WC	-
2	BATH	-
3	BASIN	1
4	SHOWER	-
5	KITCHEN SINK	-
TOTAL		1



NOTE: LOCATE IN SLAB STEELWORK PRIOR TO ANY CORING THROUGH SLAB. DO NOT CUT ANY CABLING WITHOUT PRIOR APPROVAL FROM A STRUCTURAL ENGINEER.



TUNDISH FOR MECHANICAL CONDENSATE WITH SELF SEALING WASTE VALVE EQUAL TO HEPVO INSTALLED HORIZONTALLY WITH ADAPTOR (BASIN Ø40 FIXTURE DISCHARGE PIPE CONNECTS TO Ø40 TUNDISH RISER)

HWH @ L/L OF GF EQUAL TO BILLI KWIKWASH WITH SET WW TEMPERATURE OF 43.5°C. EXTEND WW SUPPLY TO BASIN

LOCATE AND CONNECT TO EXISTING Ø100 uPVC SANITARY DRAINAGE @ H/L OF BASEMENT CARPARK

LOCATE AND CONNECT TO eØ20 SV @ H/L OF BASEMENT AND EXTEND Ø20 Cu CW TO HWH & BASIN

TENANCY 125 - GROUND FLOOR

WORK AS EXECUTED

PLUMBING PLAN APPROVED
APPROVED BY John Chiera
REG. NUMBER 199615657
DATE 07/11/2014

ISSUE	AMEND	DESCRIPTION	DATE	DRAWN
E		BASIN ADDED - WAE	7.11.14	RS
D		FOR CERTIFICATION	11.08.14	RS
C		FOR TENDER	07.7.14	RS
B		REVISED FOR TENDER REVIEW	25.6.14	RS
A		FOR REVIEW	18.06.14	RS

sellick consultants
po box 5005 braddon act 2612
p: 02 6201 0200 f: 02 6247 2203
sellickconsultants.com.au

PROPOSED FITOUT
THE MARKET - TENANCY 125
35 EASTLAKE PARADE
CAPEZIO COPELAND

DESIGNED BY
RS
CHECKED BY
RS
AUTHORISED BY
DATE

DRAWING TITLE
HYDRAULIC SERVICES
GENERAL ARRANGEMENT
PROJECT LOCATION
BLOCK 1 SECTION 63 KINGSTON A.C.T.

SCALE
1:100 @ A3
JOB NO.
140484
DRAWING NO.
H100

DOCKSIDE - UNIT 138 FITOUT

HYDRAULIC SERVICES

DESIGNED BY
THCS

PLAN OF SANITARY DRAINAGE.

PLAN No.: 120689
APPROVED UNDER REGULATION 7 OF THE CANBERRA SEWERAGE & WATER SUPPLY REGULATIONS
Approved By: *Dean Anderson* Registration No: 199914659
Date: 16-7-2015

R: 144007



SPECIFICATION

GENERAL NOTES

1. THE CONTRACTOR MUST VISIT THE SITE OF WORKS BEFORE TENDERING AND MAKE ALLOWANCES ON HIS TENDER FOR ALL TOPOGRAPHIC CONSTRAINTS EFFECTING THE EXECUTION OF THE WORKS AND THE RESTORATION OF THE SITE.
2. THE INFORMATION SHOWN ON THIS DRAWING IS DIAGRAMMATIC ONLY. SHOULD MAJOR DISCREPANCIES BETWEEN SITE CONDITIONS AND THE DRAWING BECOME APPARENT THE SUPERINTENDENT SHALL BE NOTIFIED.
3. DO NOT SCALE FROM DRAWING.
4. THE CONTRACTOR, SUBCONTRACTOR, THEIR AGENT, OR WHOEVER IS RESPONSIBLE FOR THE WORKS WITHIN THESE DRAWINGS SHALL TAKE FULL RESPONSIBILITY FOR THE CONSTRUCTION OF THE WORKS. THE CONTRACTOR MUST SECURE ALL PERMITS, ARRANGE ALL CLEARANCES & PAY ALL FEES REQUIRED TO COMPLETE THE PROJECT BEFORE COMMENCING WORKS.
5. MARKED-UP PRINTS OF THE CONTRACT DRAWINGS SHALL BE AVAILABLE ON SITE AT ALL TIMES AND BE ACCURATE TO THE WORKS AS EXECUTED.
6. ALL WORKS TO BE CO-ORDINATED WITH THE BUILDER TO ENSURE THAT THE NORMAL OPERATION OF THE FACILITY ARE NOT UNDULY INTERRUPTED.
7. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH ACT PUBLIC WORKS SPECIFICATION AND ACTEWAGL WATER SUPPLY AND SEWERAGE STANDARDS.
8. WORKS UNDER THE CONTROL OF PLUMBING INSPECTORS TO BE CARRIED OUT TO CSWS REGULATIONS AND AS3500.
9. EXCESS EXCAVATED MATERIAL SHALL BE REMOVED FROM SITE AND DISPOSED OF AT AN APPROVED SPOIL AREA.

GENERAL STANDARDS

- ALL WORK IS TO BE IN ACCORDANCE WITH:
1. AS3500 (ALL PARTS AS APPLICABLE).
- THE REQUIREMENTS OF THE ABOVE STANDARDS AS APPLICABLE TO THIS PROJECT, FORM PART OF THIS SPECIFICATION.

CERTIFICATES OF COMPLIANCE

ON SATISFACTORY COMPLETION OF THE WORKS, DELIVER TO THE SUPERINTENDENT CERTIFICATES SHOWING SATISFACTORY COMPLIANCE WITH ALL STATUTORY AUTHORITIES HAVING JURISDICTION OVER THE WORKS.

LICENSING OF CONTRACTORS

ALL PERSONS RESPONSIBLE FOR THE INSTALLATION OF HYDRAULIC SERVICES SHALL HOLD A CURRENT LICENCE ISSUED UNDER THE SEWERAGE, DRAINAGE AND GAS AUTHORITY TO CARRY OUT SUCH WORK. A PERSON SO LICENSED SHALL BE ON SITE AT ALL TIMES SUCH WORK IS BEING PERFORMED.

LEVELS

DETERMINE EXISTING LEVELS AND ENSURE ALL REQUIRED GRADIENTS AND APPROPRIATE COVER CAN BE OBTAINED PRIOR TO LAYING OF DRAINAGE.

SANITARY PLUMBING & DRAINAGE

ALL NEW BELOW GROUND DRAINAGE IS TO BE CONSTRUCTED OF SEWER QUALITY UPVC (TO AS1260) PIPE AND FITTINGS, SOLVENT CEMENT JOINTED.

ALL ABOVE GROUND SANITARY PLUMBING IS TO BE CONSTRUCTED OF SOIL WASTE AND VENT QUALITY UPVC (TO AS1415) PIPE AND FITTINGS, SOLVENT CEMENT JOINTED.

SUPPLY AND INSTALL SANITARY FIXTURES, AND THE LIKE AS SPECIFIED AND AS NOMINATED ON THE FIXTURE SCHEDULE. SUPPLY AND FIX ACCESSORIES, INCLUDING BOLTS, BRACKETS, PUTTY, MASTIC, MORTAR, AND THE LIKE, NECESSARY FOR THE CORRECT INSTALLATION FOR THE FIXTURES.

WATER SUPPLY

ALTER AND EXTEND THE EXISTING HOT AND COLD WATER RETICULATION AS REQUIRED TO SERVE NEW FACILITIES IN ACCORDANCE WITH AS3500.

INSTALL A THERMOSTATIC MIXING VALVE 'ENWARE 1000 SERIES' OR EQUAL TO PROVIDE 45°C TEMPERED WATER TO ALL NEW BASINS.

ALL HOT AND COLD WATER PIPEWORK TO BE CONSTRUCTED OF TYPE 'B' COPPER TUBE & FITTINGS, SILVER SOLDER JOINTED

COMPLETION

ON COMPLETION OF THE WORKS PREPARE 'AS CONSTRUCTED' DRAWINGS AND OBTAIN 'CERTIFIER' & 'ACTPLA' APPROVAL. 3 COPIES OF THE APPROVED 'AS CONSTRUCTED' DRAWINGS ARE TO BE PROVIDED TO THE SUPERINTENDENT AS A CONDITION OF PRACTICAL COMPLETION.

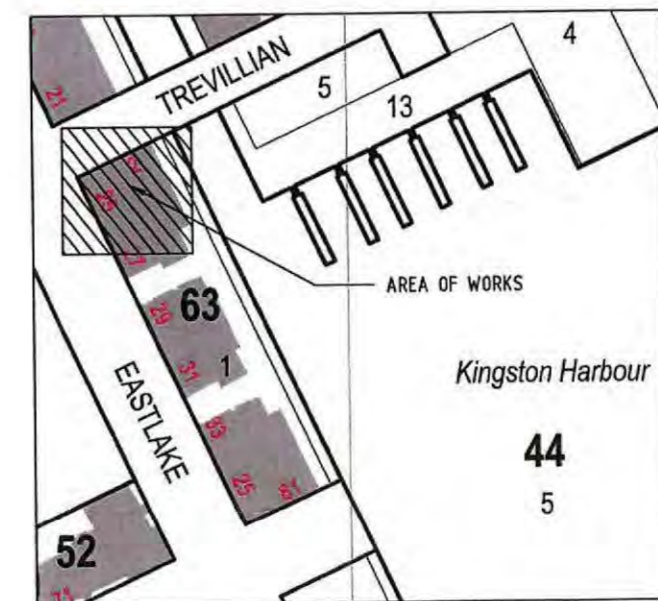
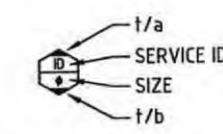
FIXTURES

1 WATER CLOSET	[1]	6 TROUGH	[1]
2 BATH	[]	7 URINAL	[]
3 BASIN	[2]	8 CL. SINK	[]
4 SHOWER	[1]	9 D/WASHER	[]
5 SINK	[1]	16 D/FOUNTAIN	[]

NUMBER INDICATED IN BRACKETS REPRESENT PROPOSED FIXTURES ADDED/INSTALLED WITHIN THIS CONTRACT.

LEGEND

- s- EXISTING SEWER DRAINS OR WASTES
- - - PROPOSED SEWER DRAINS
- - - PROPOSED WASTE LINE
- - - PROPOSED VENT LINE
- cw- EXISTING COLD WATER RETICULATION
- cw- PROPOSED COLD WATER RETICULATION
- hw- EXISTING HOT WATER RETICULATION
- hw- PROPOSED HOT WATER RETICULATION
- x -x- WATER MAIN
- x-x- EXISTING TO BE DEMOLISHED OR ABANDONED
- AAV AA V AIR ADMITTANCE VALVE
- O WATER SERVICE RISER
- C WATER SERVICE DROPPER
- + FIXTURE CONNECTION POINT
- IV ISOLATION VALVE
- SV ISOLATION VALVE BELOW GROUND



DRAWING LIST

- H001 COVER SHEET
- H100 DRAINAGE PLAN

THE ABOVE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE PROJECT SPECIFICATION, ARCHITECTURAL, STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL ENGINEERING AND KITCHEN DRAWINGS.

CONSTRUCTION ISSUE
APPROVED FOR CONSTRUCTION PURPOSES

No.	REVISION/ISSUE	DATE	BY	CHECKED
A	ISSUED FOR CONSTRUCTION	14.07.15	PM	DNT

THCS 46 COLBEE COURT
PHILLIP ACT, 2606
PH: (02) 6285 2599
FX: (02) 6285 3617
WEB: www.thcs.com.au
BUILDING HYDRAULIC SERVICES CONSULTANTS
THCS (ACT) PTY LTD (A.B.N. 32 124 972 390)

PROJECT **DOCKSIDE UNIT 138 FITOUT**
BLOCK: 1 SECTION: 63 SUBURB: KINGSTON

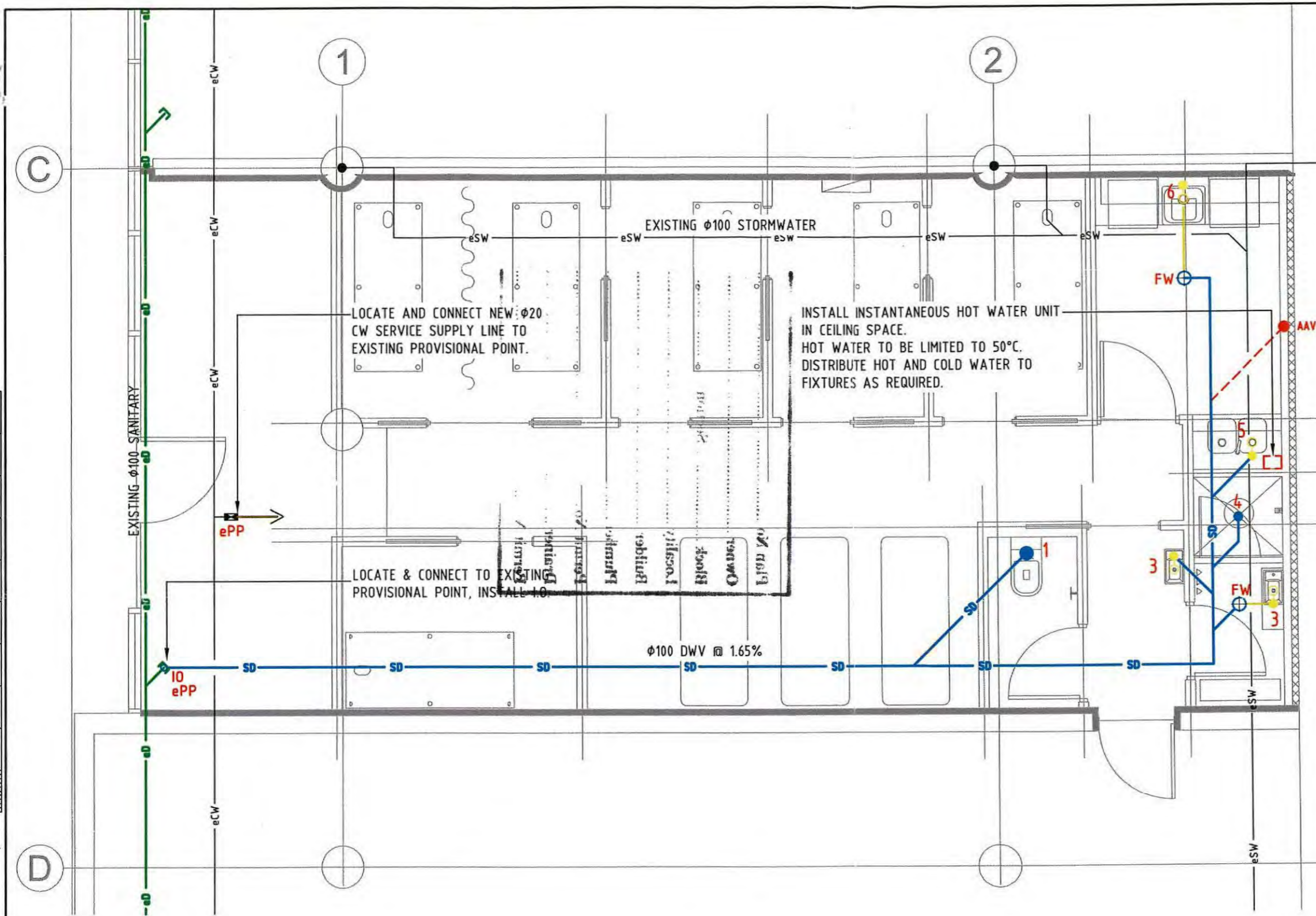
DRAWING **HYDRAULIC SERVICES COVER SHEET**

DRAWN PM	DESIGNED DNT	CHECKED	DATE JUN '15
File Name: 152966-H001.DWG Plot Date: 7/14/2015 3:38 PM			SCALE N.T.S
PROJECT 152966	DWG No. H001	REV A	STATUS CONSTRUCTION

PLAN OF SANITARY DRAINAGE.

PLAN No.: 120689
 APPROVED UNDER REGULATION 7 OF THE CANBERRA SEWERAGE & WATER SUPPLY REGULATIONS
 Approved By: Dean Anderson Registration No: 19924-659
 Date: 16-7-2015

R: 144007



PLAN
DRAINAGE - UNIT 138

1
1:50

CONSTRUCTION ISSUE
APPROVED FOR CONSTRUCTION PURPOSES

No.	REVISION/ISSUE	DATE	BY	CHECKED
A	ISSUED FOR CONSTRUCTION	14.07.15	PM	DNT
1	PRELIMINARY	10.07.15	PM	DNT

THCS
 BUILDING HYDRAULIC SERVICES CONSULTANTS
 THCS (ACT) PTY LTD (A.B.N. 32 124 972 390)
 46 COLBEE COURT
 PHILLIP ACT, 2606
 PH: (02) 6285 2599
 FX: (02) 6285 3617
 WEB: www.thcs.com.au

PROJECT **DOCKSIDE UNIT 138 FITOUT**
 BLOCK: **1** SECTION: **63** SUBURB: **KINGSTON**

DRAWING **HYDRAULIC SERVICES FIT-OUT WORKS**

DRAWN PM	DESIGNED DNT	CHECKED	DATE JUN '15
File Name: 152966-H100.DWG Plot Date: 7/16/2015 4:20 PM			SCALE 1:50 @ A3
PROJECT 152966	DWG No. H001	REV A	STATUS CONSTRUCTION

HYDRAULICS GENERAL NOTES.

GENERAL

EXISTING SERVICES HAVE BEEN PLOTTED FROM SUPPLIED DATA. THE MAIN CONTRACTORS REPRESENTATIVE DOES NOT GUARANTEE THE ACCURACY AND IT IS THE SUB-CONTRACTOR'S RESPONSIBILITY TO ESTABLISH THE LOCATION OF ALL EXISTING SERVICES PRIOR TO COMMENCING WORK. CLEARANCES SHALL BE OBTAINED FROM THE RELEVANT SERVICE AUTHORITY.

SUB-CONTRACTOR IS TO LOCATE AND CONFIRM LEVELS OF ALL EXISTING SERVICE CONNECTIONS PRIOR TO COMMENCING WORK. NOTIFY MAIN CONTRACTORS REPRESENTATIVE IMMEDIATELY IF ANY DIFFERENCES IN POSITION AND LEVEL ARE FOUND.

ALL WORK TO BE DONE IN ACCORDANCE WITH THE BCA, AS.3500, THE GAS COMPANY, ACT WATER & SEWER AND ACT FIRE BRIGADE REQUIREMENTS AND REGULATIONS.

ALL DRAWINGS THAT FORM PART OF THIS CONTRACT SHALL BE READ IN CONJUNCTION WITH THE ARCHITECTURAL, ELECTRICAL MECHANICAL AND SITEWORKS DRAWINGS AND THE SPECIFICATION.

THE SUB-CONTRACTOR, THEIR AGENT OR WHOEVER IS RESPONSIBLE FOR THE WORKS WITHIN THESE DRAWINGS SHALL TAKE FULL RESPONSIBILITY FOR AND CARRY OUT:

- THE PAYMENT OF ALL FEES TO ALL RELEVANT AUTHORITIES OR BODIES.
- THE RESTORATION OF SURFACE, PUBLIC OR OTHERWISE, TO THE SATISFACTION OF THE CONTROLLING BODY OR LESSEE.

ALL PIPES ARE TO BE IDENTIFIED AND LABELED. THE SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR THE PAINTING OF ALL PIPEWORK TO AUTHORITY REQUIREMENTS.

ALL PIPEWORK EXPOSED TO SIGHT WITHIN TENANTS AND PUBLIC AMENITY AREAS SHALL BE CHROME-PLATED AND SHALL INCLUDE CHROME PLATED WALL AND FLOOR FLANGES.

THE CONTRACTOR MUST VISIT THE SITE OF WORKS BEFORE TENDERING AND ALLOWANCES ON THEIR TENDER FOR ALL TOPOGRAPHICAL CONSTRAINTS AFFECTING THE EXECUTION OF THE WORKS AND THE RESTORATION OF THE SITE.

THE CONTRACTOR MUST SECURE ALL PERMITS, ARRANGE ALL CLEARANCES AND PAY ALL FEES REQUIRED TO COMPLETE THE PROJECT BEFORE COMMENCING WORK.

ANY NON-METALLIC IN-GROUND WATER SERVICE IS TO BE INSTALLED WITH TRACE WIRE AND TESTED.

SANITARY DRAINAGE/PLUMBING

UPVC PIPES TO AS1260 SHALL BE USED THROUGHOUT UNLESS OTHERWISE SPECIFIED. SOLVENT JOINTS SHALL BE USED.

ORG GRATE LEVEL SHALL BE IN ACCORDANCE WITH AS 3500.2 CLAUSE 4.6.6.6 AND 4.6.6.7.

NEW DRAINS TO BE CONSTRUCTED ARE SHOWN IN BLUE LINES. EXISTING DRAINS ARE SHOWN IN GREEN LINES. EXISTING AUTHORITY MAINS ARE SHOWN IN RED.

EXISTING DRAINS SHOWN "X"ed IN RED ARE TO BE EXHUMED OR ABANDONED (AS NOTED) AND ENDS TO BE EXHUMED OR ABANDONED (AS NOTED) AND ENDS

EXISTING DRAINS UNDER NEW BUILDINGS SHALL BE RE-TESTED.

DOMESTIC WATER SERVICES

SERVICE AND SHALL COMPLY WITH AS1432 - 1973 TYPE "B" TUBES.

PROVIDE 15mm MINIMUM CONNECTION TO EACH FIXTURE. WATER SERVICE LINE TO TWO FIXTURES SHALL BE A MINIMUM OF 20mm, OR AS SHOWN ON DRAWINGS.

ALL BENDS, T-JOINTS, ETC SHALL BE COPPER FITTINGS AND SHALL BE SILVER BRAZED JOINTED AND COMPLY WITH AS 1589.

NO CHASES ALLOWED UNLESS APPROVED IN WRITING BY SUPERINTENDENT.

PROVIDE ISOLATING VALVES AS SHOWN.

MATERIALS

COPPER PIPES AND FITTINGS SHALL COMPLY WITH AS.1432 AND BE TYPE-B.

U.P.V.C PIPES AND FITTINGS SHALL COMPLY WITH AS.1415 FOR SOIL, WASTE AND VENT PIPES, AS.1260 FOR SEWER APPLICATIONS AND AS.1254 FOR STORMWATER APPLICATIONS.

WORK AS EXECUTED DRAWINGS & OPERATIONAL MANUAL

THE SUB-CONTRACTOR SHALL PREPARE AND SUBMIT "WORK AS EXECUTED" DRAWINGS AND SUBMIT TO RELEVANT AUTHORITIES FOR APPROVAL AND PAY ALL FEES AS REQUIRED.

THE "WORK AS EXECUTED" DRAWING SHALL SHOW ALL CHANGES TO THE INSTALLATION AND AS INSTALLED WORK NOT SHOWN ON THE APPROVED DESIGN DRAWINGS.

SANITARY FIXTURES

- 1 WC
- 2 BATH
- 3 BASIN
- 4 SHOWER
- 5 KITCHEN SINK
- 6 LAUNDRY TROUGH
- 7 URINAL
- 8 CLEANER'S SINK
- 9 BIDET
- 11 DISHWASHER
- 12 WASHING MACHINE
- 13 GLASS WASHER

LEGEND

- S SEWER MAIN
- SW STORMWATER MAIN
- W WATER MAIN
- X ABANDONED LINES
- SW EXISTING SEWER LINES
- SW EXISTING STORMWATER LINES
- FS EXISTING FIRE SERVICE
- SEWER LINES
- SEWER VENT
- SW STORMWATER LINES
- DOMESTIC WATER
- NON-POTABLE WATER SUPPLY
- HW HOT WATER
- FS FIRE SERVICE
- TRADE WASTE
- EXISTING TRADE WASTE

REFERENCE

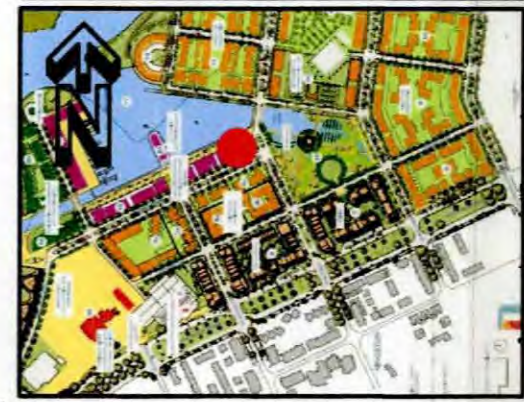
- AAV AIR ADMITTANCE VALVE
- BT BUCKET TRAP
- CO CLEAR OUT
- CWR/D COLD WATER RISER/DROPPER
- DCV DOUBLE CHECK VALVE
- DT DISCONNECTOR TRAP
- FH FIRE HYDRANT
- FHR FIRE HYDRANT RISER
- FHRR/D FIRE HOSE REEL RISER/DROPPER
- FOP FLUSH OUT POINT
- FW FLOOR WASTE
- HDPE HEAVY DUTY POLYETHYLENE
- IO INSPECTION OPENING
- IS INSPECTION SHAFT
- O/F OVERFLOW
- ORG OVERFLOW RELIEF GULLY
- SC STOP COCK
- SMH SEWER MANHOLE
- ST SILT TRAP
- SVP SOIL VENT PIPE
- TD TUNDISH
- TG TEST GATE
- TTD TRAPPED TUNDISH
- UPVC UNPLASTICISED POLYVINYL CHLORIDE
- VP VENT PIPE
- WM WATER METER
- WS WASTE STACK

Drainage Plan Number:

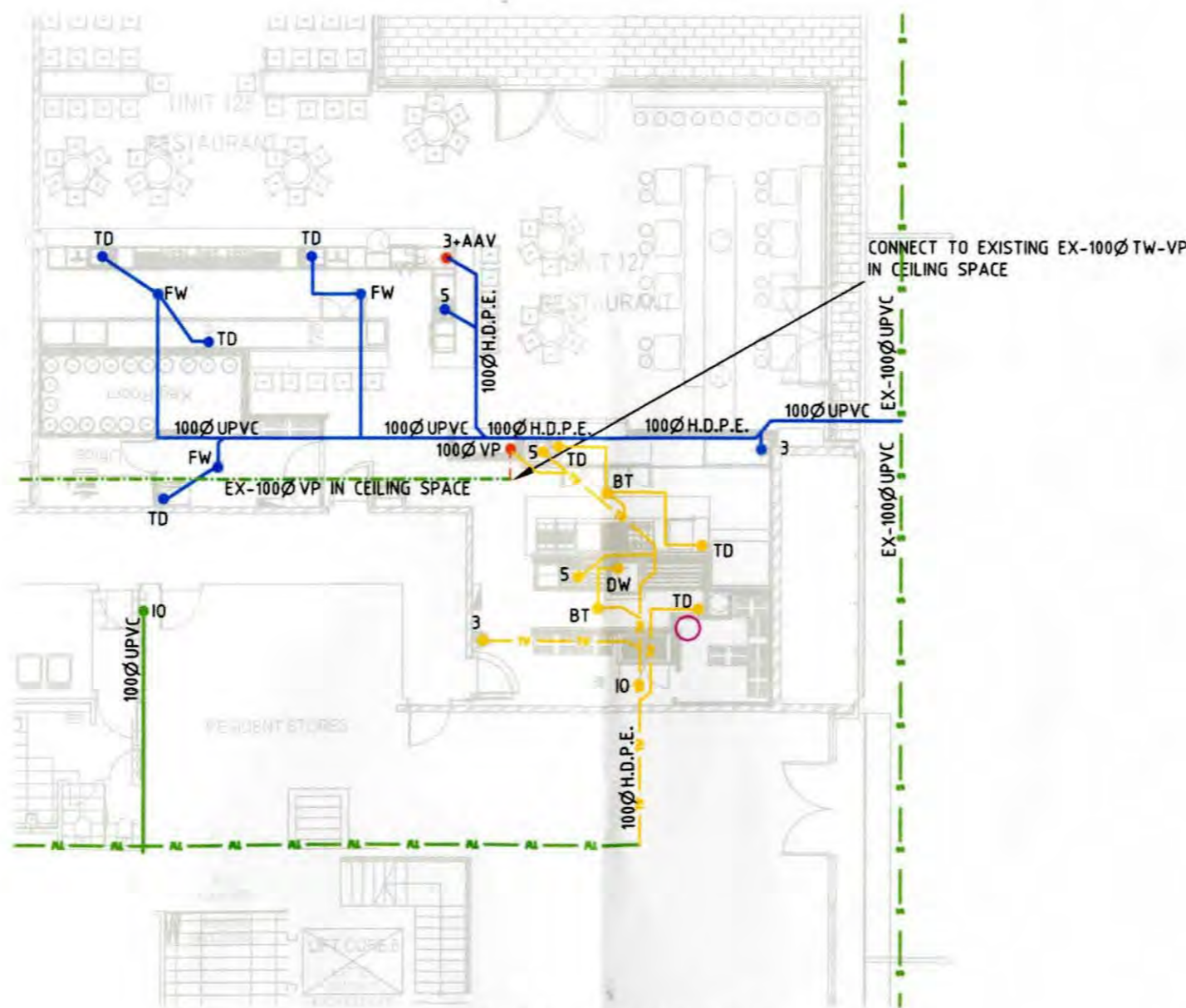
120689

DESIGNED TO AS3500

OWNER
BLOCK 1 SECTION 63
SUBURB KINGSTON ACT



LOCATION PLAN NOT TO SCALE



PART SITE & FLOOR PLAN SCALE:1:150

WORK AS EXECUTED

No.	Description	Date
A	FOR TW APPROVAL	22.8.14
B	UPDATED	1.9.14
C	FOR APPROVAL BY JA	4.9.14
D	WORK AS EXECUTED	24.11.14

A.WARD DESIGNS
A.WARD
PO BOX 4311 HAWKER
0409249974

PROJECT
THE DOCK
UNIT 127-128 @ THE DOCK SIDE
BLOCK 1 SECTION 63
KINGSTON ACT

CLIENT
R.B.D.

TITLE
PLUMBING PLAN

DATE	DESIGNED	DRAWN	CHECKED
22.8.14	AJW	AJW	
SCALE	JOB NUMBER	DRAWING NO.	
1:150@A3	22814	HO1	

PLUMBING PLAN APPROVED
John P 20 WAG
27.11.14

INCHES 1 2 3 4 5 6 7 8 9 10 1200 0 5m 4 6 8 10

Reg: 143189/A

DRAINAGE PLAN NUMBER: 120689

OWNER: MR FONG
BLOCK: 1 SECTION: 63
SUBURB: KINGSTON, ACT

PLAN OF SANITARY DRAINAGE
DESIGNED TO AS3500

HYDRAULICS GENERAL NOTES.

GENERAL
EXISTING SERVICES HAVE BEEN PLOTTED FROM SUPPLIED DATA. THE MAIN CONTRACTORS REPRESENTATIVE DOES NOT GUARANTEE THE ACCURACY AND IT IS THE SUB-CONTRACTOR'S RESPONSIBILITY TO ESTABLISH THE LOCATION OF ALL EXISTING SERVICES PRIOR TO COMMENCING WORK. CLEARANCES SHALL BE OBTAINED FROM THE RELEVANT SERVICE AUTHORITY.

SUB-CONTRACTOR IS TO LOCATE AND CONFIRM LEVELS OF ALL EXISTING SERVICE CONNECTIONS PRIOR TO COMMENCING WORK. NOTIFY MAIN CONTRACTORS REPRESENTATIVE IMMEDIATELY IF ANY DIFFERENCES IN POSITION AND LEVEL ARE FOUND.

ALL WORK TO BE DONE IN ACCORDANCE WITH THE BCA, AS3500, THE GAS COMPANY, ACT WATER & SEWER AND ACT FIRE BRIGADE REQUIREMENTS AND REGULATIONS.

ALL DRAWINGS THAT FORM PART OF THIS CONTRACT SHALL BE READ IN CONJUNCTION WITH THE ARCHITECTURAL, ELECTRICAL, MECHANICAL AND SITING DRAWINGS AND THE SPECIFICATION.

THE SUB-CONTRACTOR, THEIR AGENT OR WHOEVER IS RESPONSIBLE FOR THE WORKS WITHIN THESE DRAWINGS SHALL TAKE FULL RESPONSIBILITY FOR AND CARRY OUT:

- THE PAYMENT OF ALL FEES TO ALL RELEVANT AUTHORITIES OR BODIES.
- THE RESTORATION OF SURFACE, PUBLIC OR OTHERWISE, TO THE SATISFACTION OF THE CONTROLLING BODY OR LESSEE.

ALL PIPES ARE TO BE IDENTIFIED AND LABELED. THE SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR THE PAINTING OF ALL PIPEWORK TO AUTHORITY REQUIREMENTS.

ALL PIPEWORK EXPOSED TO SIGHT WITHIN TENANTS AND PUBLIC AMENITY AREAS SHALL BE CHROME-PLATED AND SHALL INCLUDE CHROME PLATED WALL AND FLOOR FLANGES.

THE CONTRACTOR MUST VISIT THE SITE OF WORKS BEFORE TENDERING AND ALLOWANCES ON THEIR TENDER FOR ALL TOPOGRAPHICAL CONSTRAINTS AFFECTING THE EXECUTION OF THE WORKS AND THE RESTORATION OF THE SITE.

THE CONTRACTOR MUST SECURE ALL PERMITS, ARRANGE ALL CLEARANCES AND PAY ALL FEES REQUIRED TO COMPLETE THE PROJECT BEFORE COMMENCING WORK.

ANY NON-METALLIC IN-GROUND WATER SERVICE IS TO BE INSTALLED WITH TRACE WIRE AND TESTED.

SANITARY DRAINAGE/PLUMBING

UPVC PIPES TO AS1260 SHALL BE USED THROUGHOUT UNLESS OTHERWISE SPECIFIED. SOLVENT JOINTS SHALL BE USED.

ORG GRATE LEVEL SHALL BE IN ACCORDANCE WITH AS 3500.2 CLAUSE 4.6.6.6 AND 4.6.6.7.

NEW DRAINS TO BE CONSTRUCTED ARE SHOWN IN BLUE LINES. EXISTING DRAINS ARE SHOWN IN GREEN LINES. EXISTING AUTHORITY MAINS ARE SHOWN IN RED.

EXISTING DRAINS SHOWN "X" IN RED ARE TO BE EXHUMED OR ABANDONED (AS NOTED) AND ENDS. EXISTING DRAINS UNDER NEW BUILDINGS SHALL BE RE-TESTED.

DOMESTIC WATER SERVICES

COPPER TUBES SHALL BE USED FOR DOMESTIC WATER AND FIRE SERVICE AND SHALL COMPLY WITH AS1432 - 1973 TYPE "B" TUBES.

PROVIDE 15mm MINIMUM CONNECTION TO EACH FIXTURE. WATER SERVICE LINE TO TWO FIXTURES SHALL BE A MINIMUM OF 20mm, OR AS SHOWN ON DRAWINGS.

ALL BENDS, T-JOINTS, ETC SHALL BE COPPER FITTINGS AND SHALL BE SILVER BRAZED JOINTED AND COMPLY WITH AS 1589.

NO CHASES ALLOWED UNLESS APPROVED IN WRITING BY SUPERINTENDENT.

PROVIDE ISOLATING VALVES AS SHOWN.

MATERIALS

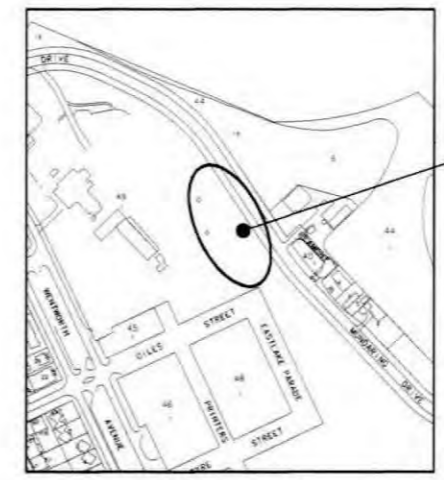
COPPER PIPES AND FITTINGS SHALL COMPLY WITH AS1432 AND BE TYPE-B.

U.P.V.C PIPES AND FITTINGS SHALL COMPLY WITH AS1415 FOR SOIL, WASTE AND VENT PIPES, AS1260 FOR SEWER APPLICATIONS AND AS1254 FOR STORMWATER APPLICATIONS.

WORK AS EXECUTED DRAWINGS

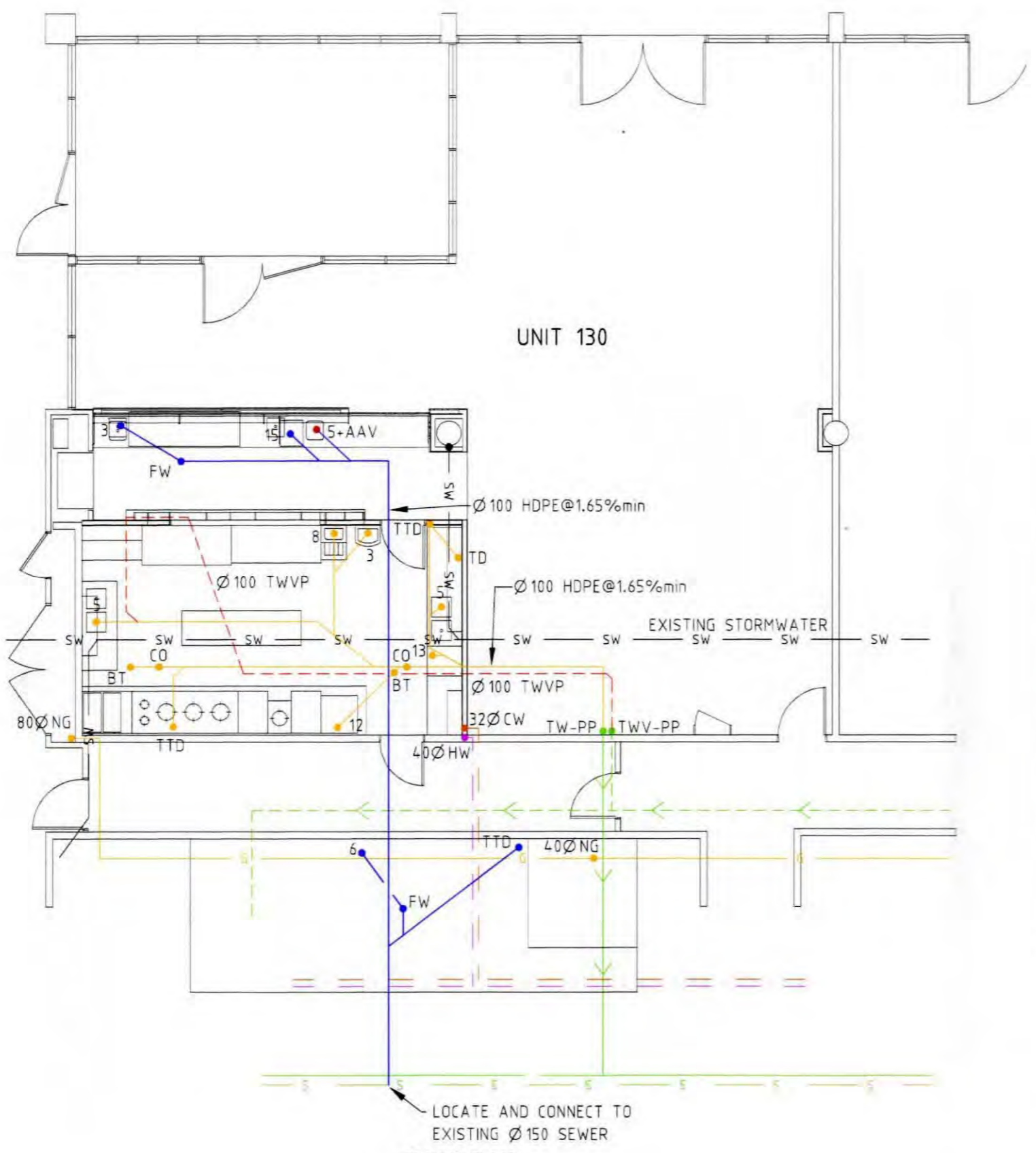
THE SUB-CONTRACTOR SHALL PREPARE AND SUBMIT "WORK AS EXECUTED" DRAWINGS AND SUBMIT TO RELEVANT AUTHORITIES FOR APPROVAL AND PAY ALL FEES AS REQUIRED.

THE "WORK AS EXECUTED" DRAWING SHALL SHOW ALL CHANGES TO THE INSTALLATION AND AS INSTALLED WORK NOT SHOWN ON THE APPROVED DESIGN DRAWINGS.



LOCATION PLAN NOT TO SCALE

SITE OF WORKS



GROUND FLOOR SCALE 1:100

WORK AS EXECUTED

LEGEND

- S SEWER MAIN
- SW STORMWATER MAIN
- W WATER MAIN
- SEWER LINES
- VENT PIPE
- EXISTING SEWER LINE
- EXISTING TRADE WASTE LINE
- EXISTING VENT LINE
- STORMWATER LINES
- DOMESTIC WATER
- HOT WATER
- NATURAL GAS
- 90° AG LINE WITH FILTER SOCK CONNECTION TO STORMWATER DRAINAGE
- CO 300X300 YARD SUMP. EXACT LOCATION TO BE DETERMINED ON SITE BY LANDSCAPE CONTRACTOR AND BUILDER
- H STANDARD STREET HYDRANT
- SC STOP COCK
- WM WATER METER
- DP DOWNPIPE
- SP SPREADER

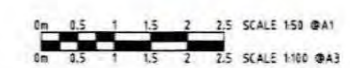
REFERENCE

- AAV AIR ADMITTANCE VALVE
- BT BUCKET TRAP
- CO CLEAR OUT
- CWR/D COLD WATER RISER/DROPPER
- DT DISCONNECTOR TRAP
- FW FLOOR WASTE
- HDPE HEAVY DUTY POLYETHYLENE
- IO INSPECTION OPENING
- IS INSPECTION SHAFT
- O/F OVERFLOW
- ORG OVERFLOW RELIEF GULLY
- SC STOP COCK
- SMH SEWER MANHOLE
- ST SILT TRAP
- SVP SOIL VENT PIPE
- TD TUNDISH
- TG TEST GATE
- TTD TRAPPED TUNDISH
- UPVC UNPLASTICISED POLYVINYL CHLORIDE
- VP VENT PIPE
- WM WATER METER
- WS WASTE STACK

EXISTING SANITARY FIXTURES

1	WC	-
2	BATH	-
3	BASIN	2
4	SHOWER	-
5	KITCHEN SINK	2
6	LAUNDRY TROUGH	1
7	URINAL	-
8	CLEANERS SINK	1
9	POT SINK	-
11	TILTING KETTLE	-
12	COMBI STEAMER	1
13	DISHWASHER	1
14	BAINE MAIRNE	-
15	GLASS WASHER	1
16	ICE MAKER	1
17	WASHING MACHINE	-
18	WOK BURNER	-
TOTAL		10

John Chiera



PLUMBING PLAN APPROVED
APPROVED BY **John Chiera**
REG. NUMBER **199615657**
DATE **12/02/2015**

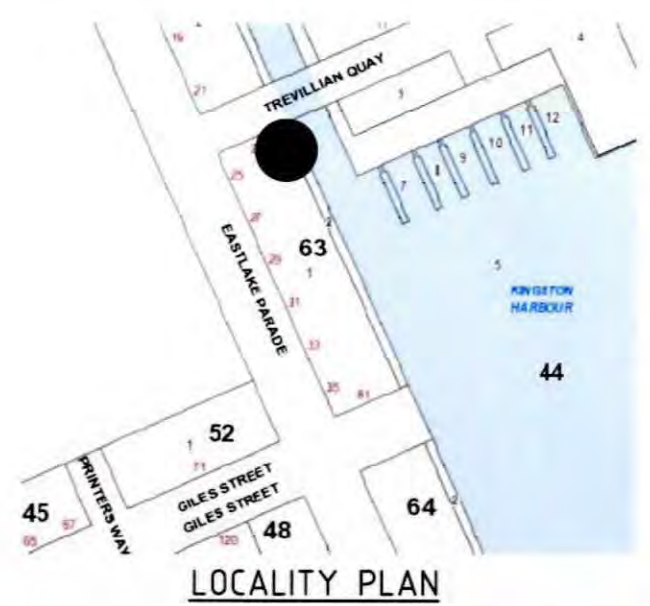
C WORK AS EXECUTED. B FOR APPROVAL. A FOR APPROVAL.	10.02.15			CLIENT	MR FONG	CONSULTANT	DOMINO CONSULTANTS	PROJECT	COMMERCIAL DEVELOPMENT UNIT 130 BLOCK 1, SECTION 63 KINGSTON, ACT	DESIGNED BY	KS	TITLE	HYDRAULIC SERVICES	SCALE	1:100 @ A3
	18.05.14			DATE		DATE		DRAWN BY	KS	AUTHORISED		JOB NO.	14FONG1	DRAWING NO.	H01
	24.08.14			DATE		DATE		DATE	FEB 15						

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1:200

DRAINAGE PLAN
NUMBER: 120689

OWNER Reg: 143188
BLOCK 1 SECTION 63
SUBURB KINGSTON A.C.T.

PLAN OF SANITARY DRAINAGE
DESIGNED TO AS3500



LEGEND

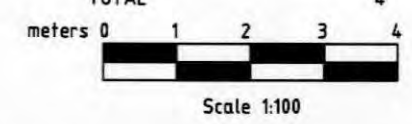
	SEWER MAIN
	STORMWATER MAIN
	WATER MAIN
	SEWER LINES
	VENT PIPE
	STORMWATER LINES
	AG LINES
	DOMESTIC WATER
	NON-POTABLE WATER
	SV SERVICE VALVE
	WM WATER METER

GENERAL NOTES

- EXISTING SANITARY DRAINAGE LINES TO BE LOCATED ON SITE PRIOR TO COMMENCEMENT OF WORK.
- ALL PLUMBING AND DRAINAGE TO BE INSTALLED IN ACCORDANCE WITH AS3500.
- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE CANBERRA SEWERAGE AND WATER SUPPLY REGULATIONS.
- THIS PLAN TO BE READ IN CONJUNCTION WITH APPROVED ARCHITECTURAL PLANS AND SPECIFICATIONS.
- UNPLASTICISED POLYVINYL CHLORIDE PIPE DRAINS (UPVC) TO BE CONSTRUCTED IN ACCORDANCE WITH AS2032 AND THE CANBERRA SEWERAGE AND WATER SUPPLY REGULATIONS.
- TEMPERED HOT WATER REQUIRED AT ALL ABLUTION FIXTURES.
- PLUMBING AND DRAINAGE TO CONFORM TO ACTPLA PLUMBING NOTES 22 AND 23.
- WORK AS EXECUTED DRAWINGS SHALL BE PROVIDED BY THE PLUMBING CONTRACTOR AT THEIR EXPENSE.

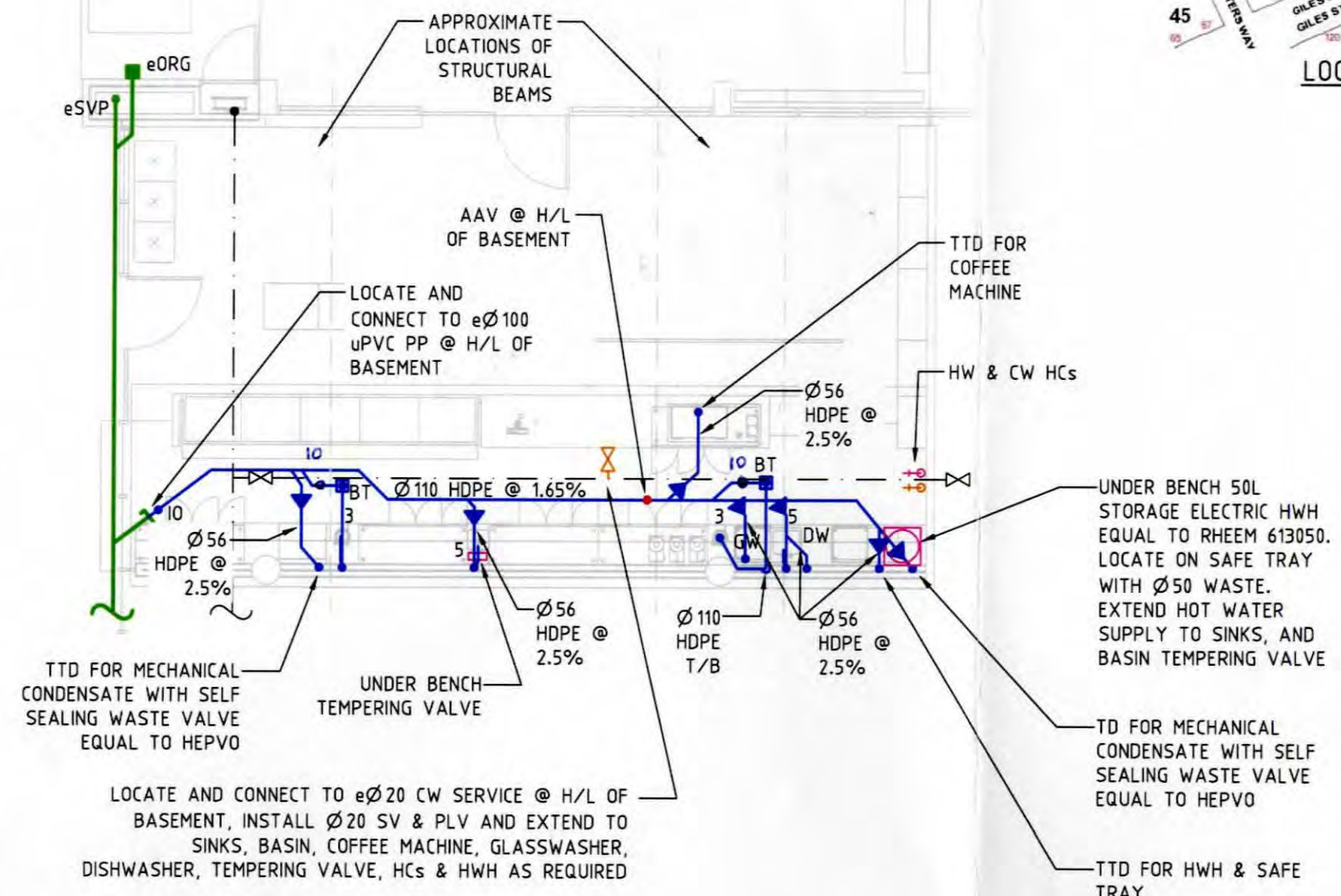
SANITARY FIXTURES

1	WC	-
2	BATH	-
3	BASIN	2
4	SHOWER	-
5	KITCHEN SINK	2
8	CLEANERS SINK	-
TOTAL		4



PLUMBING PLAN APPROVED
APPROVED BY G. Fleming
REG. NUMBER 199315133
DATE 16.9.14

NOTE: LOCATE IN SLAB STEELWORK PRIOR TO ANY CORING THROUGH SLAB. DO NOT CUT ANY CABLING WITHOUT PRIOR APPROVAL FROM A STRUCTURAL ENGINEER.



FOR CERTIFICATION

TENANCY 137 - GROUND FLOOR

C	FOR CERTIFICATION	15.09.14	RS	
B	FOR TENDER	07.7.14	RS	
A	FOR REVIEW	30.6.14	RS	
ISSUE	AMEND	DESCRIPTION	DATE	DRAWN

sellick consultants
po box 5005 braddon act 2612
p: 02 6201 0200 f: 02 6247 2203
sellickconsultants.com.au

PROPOSED FITOUT
THE MERCHANT - TENANCY 137
2 TREVILLIAN QUAY
CAPEZIO COPELAND

DESIGNED BY
RS
CHECKED BY
RS
AUTHORISED BY
DATE

DRAWING TITLE
HYDRAULIC SERVICES
GENERAL ARRANGEMENT
PROJECT LOCATION
BLOCK 1 SECTION 63 KINGSTON A.C.T.

SCALE
1:100 @ A3
JOB NO.
140485
DRAWING NO.
H100

REG: 143188

INCHES 1 2 3 4 5 6 7 8 9 10 1200

DRAINAGE PLAN NUMBER: 120 689 B

OWNER: 143074/A
 BLOCK 1 SECTION 63
 SUBURB KINGSTON A.C.T.

PLAN OF SANITARY DRAINAGE
 DESIGNED TO AS3500

LEGEND

- SEWER MAIN
- STORMWATER MAIN
- WATER MAIN
- SEWER LINES
- VENT PIPE
- STORMWATER LINES
- AG LINES
- DOMESTIC WATER
- NON-POTABLE WATER
- SERVICE VALVE
- WATER METER

- AAV AIR ADMITTANCE VALVE
- CW COLD WATER
- CWR/D COLD WATER RISER/DROPPER
- GWD GREASE WASTE DRAINAGE
- FW FLOOR WASTE
- H/L HIGH LEVEL
- HDPE HIGH DENSITY POLYETHYLENE
- HW HOT WATER
- HWH HOT WATER HEATER
- IO INSPECTION OPENING
- IS INSPECTION SHAFT
- L/L LOW LEVEL
- ORG OVERFLOW RELIEF GULLY
- SMH SEWER MANHOLE
- ST SILT TRAP
- SV SERVICE VALVE
- SVP SOIL VENT PIPE
- TD TUNDISH
- TG TEST GATE
- TTD TRAPPED TUNDISH
- UPVC UNPLASTICISED POLYVINYL CHLORIDE
- VP VENT PIPE
- WW WARM WATER



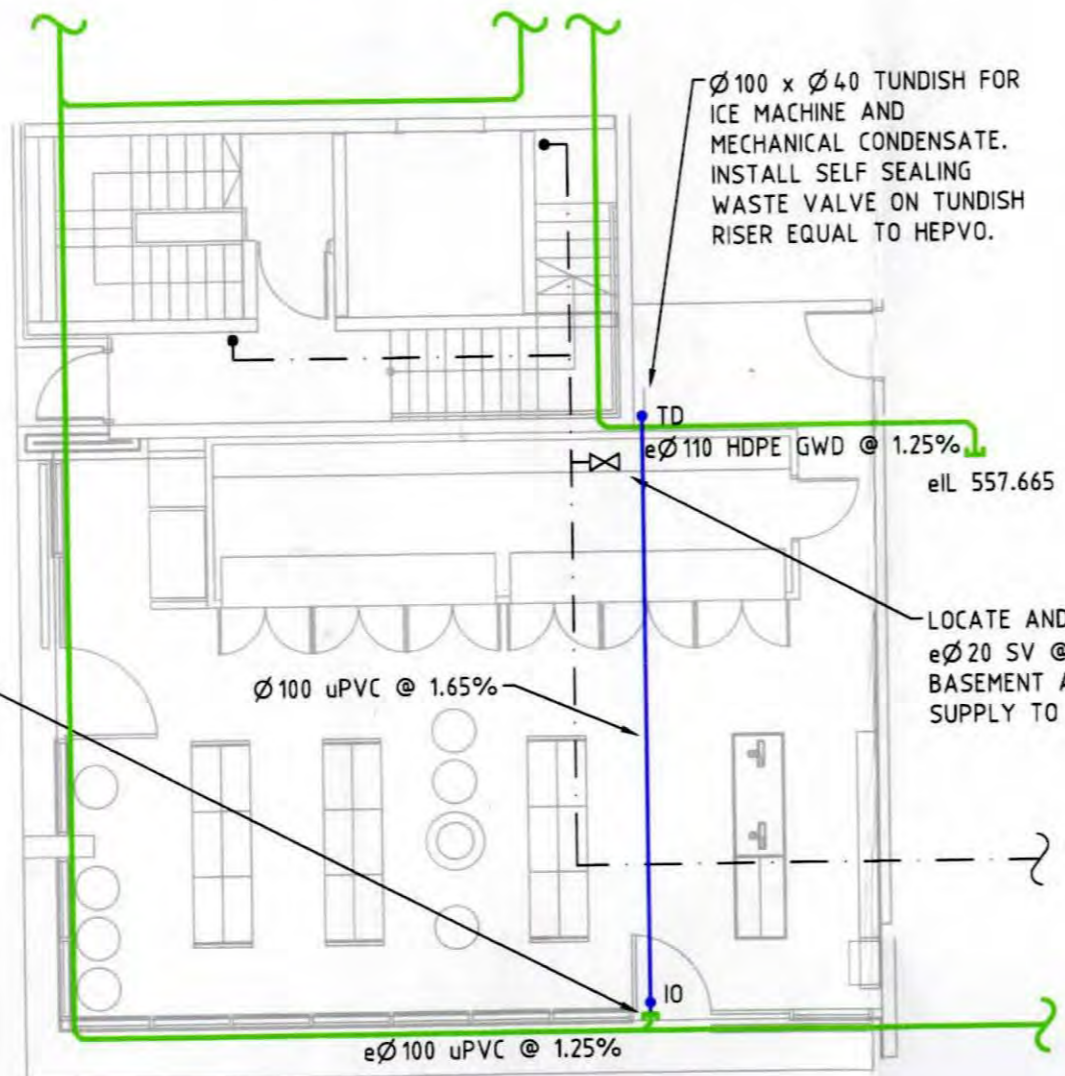
GENERAL NOTES

1. EXISTING SANITARY DRAINAGE LINES TO BE LOCATED ON SITE PRIOR TO COMMENCEMENT OF WORK.
2. ALL PLUMBING AND DRAINAGE TO BE INSTALLED IN ACCORDANCE WITH AS3500.
3. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE CANBERRA SEWERAGE AND WATER SUPPLY REGULATIONS.
4. THIS PLAN TO BE READ IN CONJUNCTION WITH APPROVED ARCHITECTURAL PLANS AND SPECIFICATIONS.
5. UNPLASTICISED POLYVINYL CHLORIDE PIPE DRAINS (UPVC) TO BE CONSTRUCTED IN ACCORDANCE WITH AS2032 AND THE CANBERRA SEWERAGE AND WATER SUPPLY REGULATIONS.
8. TEMPERED HOT WATER REQUIRED AT ALL ABLUTION FIXTURES.
9. PLUMBING AND DRAINAGE TO CONFORM TO ACTPLA PLUMBING NOTES 22 AND 23.
10. WORK AS EXECUTED DRAWINGS SHALL BE PROVIDED BY THE PLUMBING CONTRACTOR AT THEIR EXPENSE.

SANITARY FIXTURES

1 WC	-
2 BATH	-
3 BASIN	-
4 SHOWER	-
5 KITCHEN SINK	-
8 CLEANERS SINK	-
TOTAL	-

NOTE: LOCATE IN SLAB STEELWORK PRIOR TO ANY CORING THROUGH SLAB. DO NOT CUT ANY CABLING WITHOUT PRIOR APPROVAL FROM A STRUCTURAL ENGINEER.



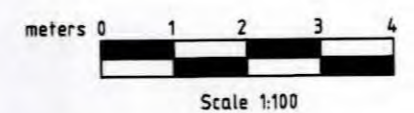
LOCATE AND CONNECT TO EXISTING Ø100 uPVC SANITARY DRAINAGE @ H/L OF BASEMENT CARPARK

Ø100 x Ø40 TUNDISH FOR ICE MACHINE AND MECHANICAL CONDENSATE. INSTALL SELF SEALING WASTE VALVE ON TUNDISH RISER EQUAL TO HEPVO.

LOCATE AND CONNECT TO eØ20 SV @ H/L OF BASEMENT AND EXTEND CW SUPPLY TO ICE MACHINE.

TENANCY 126 - GROUND FLOOR

WORK AS EXECUTED



PLUMBING PLAN APPROVED
 APPROVED BY: John Chiera
 REG. NUMBER: 199615657
 DATE: 07/11/2014

ISSUE	AMEND	DESCRIPTION	DATE	DRAWN
D		WORK AS EXECUTED FOR CERTIFICATION	07.11.14	RS
C		FOR TENDER	11.08.14	RS
B		FOR REVIEW	07.7.14	RS
A			18.06.14	RS

sellick consultants
 po box 5005 braddon act 2612
 p: 02 6201 0200 f: 02 6247 2203
 sellickconsultants.com.au

PROPOSED FITOUT - PROHIBITION THE BOTTLE SHOP - TENANCY 126
 35 EASTLAKE PARADE
 CAPEZIO COPELAND

DESIGNED BY: RS
 CHECKED BY: RS
 AUTHORISED BY:
 DATE:

DRAWING TITLE: HYDRAULIC SERVICES GENERAL ARRANGEMENT
 PROJECT LOCATION: BLOCK 1 SECTION 63 KINGSTON A.C.T.

SCALE: 1:100 @ A3
 JOB NO.: 140484
 DRAWING NO.: H100

Backflow device report - receipt

This transaction will appear on your credit card statement as ACCESS CANB INTERNET.

Date and time	Reference code	Payment receipt number	Total amount paid
14 Jun 2017 7:22:00 AM	P46WK9	1959873710	\$192.00

Access Canberra
ABN 31 432 729 493

GPO Box 158
Canberra ACT 2601

Telephone: 13 22 81

Device owner details

Device owner / nominated contact person

Organisation name *

Civium Strata

Title

Mr

Given name *

2.2(a)(ii)

Family name *

2.2(a)(ii)

Contact phone number *

1300724256

Contact email *

2.2(a)(ii)@civiumstrata.com.au

Postal address

Address *

Locked Bag 3008

Suburb *

Woden

State *

ACT

Postcode *

2606

Authorised tester details

Plumbers licence number *

201256

Title

Mr

Given name *

Peter Fredrick

Family name *

Hrstic

Contact phone number *

0418332727

Contact email *

raidersplumbing@bigpond.com

Are you a Journeyperson plumber? *

Yes

No

Property and device details

Property details

Suburb/District *

KINGSTON

Section *

63

Block *

1

If you require help with suburb/district, section or block details, visit ACTMAPi.

Device details

Test type *

Annual test

Protection zone *

Individual

Device type *

DCV

Make *

Conbraco

Model *

40105T1I

Serial number *

447392

Size *

25

mm

Details of water use *

FIRE HOSE REEL

Exact location of device *

BUILDING B GROUND FLOOR FUR CUPBOARD AT SIDE OF BUILDING

Date of test *

09 Jun 2017

Final test passed? *

Yes

Additional comments

Test type *

Annual test

Protection zone *

Individual

Device type *

DCV

Make *

Conbraco

Model *

40105T1I

Serial number *

444163

Size *

25

mm

Details of water use *

IRRIGATION

Exact location of device *

BUILDING A LEVEL 4 PLANTER BOX @ 25 EASTLAKE PARADE (EASTLAKE PARADE SIDE OF BUILDING)

Date of test *

09 Jun 2017

Final test passed? *

Yes

Additional comments

Test type *

Annual test

Protection zone *

Individual

Device type *

DCV

Make *

Conbraco

Model *

40105T1I

Serial number *

350122

Size *

25

mm

Details of water use *

IRRIGATION

Exact location of device *

BUILDING C LEVEL 4 PLANTER BOX @ 33 EASTLAKE PARADE (EASTLAKE PARADE SIDE OF BUILDING)

Date of test *

09 Jun 2017

Final test passed? *

Yes

Additional comments

Test type *

Annual test

Protection zone *

Individual

Device type *

DCV

Make *

Conbraco

Model *

40105T1I

Serial number *

444125

Size *

25

mm

Details of water use *

IRRIGATION

Exact location of device *

BUILDING B LEVEL 4 PLANTER BOX @ 29 EASTLAKE PARADE (EASTLAKE PARADE SIDE OF BUILDING)

Date of test *

09 Jun 2017

Final test passed? *

Yes

Additional comments

Test type *

Annual test

Protection zone *

Individual

Device type *

DCV

Make *

Conbraco

Model *

40105T1I

Serial number *

447374

Size *

25

mm

Details of water use *

FIRE HOSE REEL

Exact location of device *

BUILDING A ENTRANCE TO CARPARK RAMP RIGHT HAND SIDE

Date of test *

09 Jun 2017

Final test passed? *

Yes

Additional comments

Test type *

Annual test

Protection zone *

Individual

Device type *

DCV

Make *

Conbraco

Model *

40105T1I

Serial number *

447380

Size *

25

mm

Details of water use *

HIRE HOSE REEL

Exact location of device *

BUILDING C GROUND FLOOR FHR CUPBOARD AT REAR

Date of test *

09 Jun 2017

Final test passed? *

Yes

Additional comments

Test type *

Annual test

Protection zone *

Individual

Device type *

DCV

Make *

Conbraco

Model *

40105T1I

Serial number *

447378

Size *

25

mm

Details of water use *

FIRE HOSE REEL

Exact location of device *

BUILDING A GROUND FLOOR FUR CUPBOARD AT REAR

Date of test *

09 Jun 2017

Final test passed? *

Yes

Additional comments

Test type *

Annual test

Protection zone *

Individual

Device type *

DCV

Make *

Conbraco

Model *

40105T1I

Serial number *

447386

Size *

25

mm

Details of water use *

FIRE HOSE REEL

Exact location of device *

BUILDING C GROUND FLOOR FUR CUPBOARD AT SIDE

Date of test *

09 Jun 2017

Final test passed? *

Yes

Additional comments

Authorised tester declaration

By submitting this form I hereby declare that I have undertaken the work described in this Notification and that it has been done in compliance with the National Plumbing and Drainage Code AS3500 and the Water and Sewerage Act.

I certify that I have tested the device in accordance with the provisions of AS2845 *

Payment amount

\$192.00



ACT
Government

Environment and Sustainable Development

Commencement Notice for Plumbing and/or Drainage Work Licensee's Certificate of Compliance

Ap: 120689

The applicant must provide all relevant information in BLOCK LETTERS

Fig: 142617

Notice No. **103363**

Block 1	Section 63	Drainage Plan No
------------	---------------	------------------

Street Address	Suburb Kingston Foreshore	Postcode
----------------	------------------------------	----------

OWNER DETAILS	Surname	Title/First Name	Phone No
	Street Address	Suburb	Postcode

BUILDER	Surname	Title/First Name	Mobile Number	Phone No
	Naay			

LICENSEE DETAILS	Surname Dawson	Title/First Name Dean	Mobile Number	Phone No
	Street Address PO Box 7322	Suburb Kaleon	ENTERED	
	Licence Number 200015948	Expiry Date 15-8-16		

WORK OF SANITARY PLUMBING/DRAINAGE/IRRIGATION/WATER

Description of work Drainage & Plumbing	B320141236
--	------------

PLUMBING/WATER/DRAINAGE INSPECTION FEE

Plumbing 0-	Drainage 0-	Water	Extra Fixtures	Total Fixtures	Total Amount 0- <i>exempt</i>
Meter Size	Meter Number	Date of Plan Recorded	Name of Authorising Officer MM 24-3-14		

- In respect of authorised work carried out by me at the above mentioned property, I certify that:
 - The work has been completed in accordance with the permit issued by ESDD;
 - The completed work has been tested as required by ESDD;
 - The work complies with the relevant codes, standards and regulations under the ACT Water and Sewerage Act 2000 as determined by ESDD.
- If any defect is found in the work carried out by me within the period of twelve (12) months from the date of completion, and the inspector for plumbing and drainage certifies that the defect is due to non-compliance with the codes and standards as determined by ESDD, then I undertake to rectify such work at my sole expense if so directed by ESDD.

This copy is to be forwarded to the owner/agent within seven (7) working days of being completed.

Signature of Licensee <i>[Signature]</i>	Date 6-5-12
---	----------------

Environment and Sustainable Development Directorate

Ground Floor, Mitchell Business Centre, 8 Darling Street, MITCHELL
GPO Box 1908, Canberra ACT 2601. Telephone: (02) 6207 6907. Email: drainageplans@act.gov.au Web Site: www.actpla.act.gov.au



Certificate of Compliance

Receipt Information

Date and time

Form submission ID **34004420140922077257**

Payment receipt number

Total amount paid \$

Property Information

Suburb/District	Section	Block	Unit	Floor or Level	Applicant's Reference	
KINGSTON	63	1				
Address	35 Eastlake parade					
Suburb	KINGSTON					
State/Territory	ACT			Postcode	2604	

Certification

- In respect of authorised work carried out by me at the above mentioned property I certify:
 - The work has been completed in accordance with the Certificate of Compliance issued by EPD.
 - The completed work has been tested as required by EPD.
 - The work has been completed is in accordance with the relevant Act, Water and Sewerage Act 2000 GAS Safety Act 2000 and their regulations.
 - The hot water installation complies with the requirements of AS/NZS3500.
 - The gas installation complies with the requirements of AS5601.

2. If any defect is found in the work carried out by me within the period of twelve (12) months from the date of completion, and the Government inspector certifies that the defect is due to non compliance with the codes and standards as determined by EPD, then I undertake to rectify such work at my sole expense if so directed by EPD.

This Certificate of Compliance is to be forwarded to the owner/agent within seven (7) working days of being completed.

Licencee's name 2.2(a)(ii)

Licencee's signature

Date

Print three copies for distribution to:

1. EPD
2. Owner
3. Licencee



Certificate of Compliance

Receipt Information

Date and time

Form submission ID **34004420140922077254**

Payment receipt number

Total amount paid \$

Property Information

Suburb/District	Section	Block	Unit	Floor or Level	Applicant's Reference
KINGSTON	63	1			
Address	35 Eastlake Parade				
Suburb	KINGSTON				
State/Territory	ACT			Postcode	2604

Certification

1. In respect of authorised work carried out by me at the above mentioned property I certify:
 - (a) The work has been completed in accordance with the Certificate of Compliance issued by EPD.
 - (b) The completed work has been tested as required by EPD.
 - (c) The work has been completed is in accordance with the relevant Act, Water and Sewerage Act 2000 GAS Safety Act 2000 and their regulations.
 - (d) The hot water installation complies with the requirements of AS/NZS3500.
 - (e) The gas installation complies with the requirements of AS5601.
2. If any defect is found in the work carried out by me within the period of twelve (12) months from the date of completion, and the Government inspector certifies that the defect is due to non compliance with the codes and standards as determined by EPD, then I undertake to rectify such work at my sole expense if so directed by EPD.

This Certificate of Compliance is to be forwarded to the owner/agent within seven (7) working days of being completed.

Licencee's name 2.2(a)(i)

Licencee's signature 2.2(a)(ii)

Date

Print three copies for distribution to:

1. EPD
2. Owner
3. Licencee



Certificate of Compliance

Receipt Information

Date and time

Form submission ID **34004420140922077249**

Payment receipt number

Total amount paid \$

Property Information

Suburb/District	Section	Block	Unit	Floor or Level	Applicant's Reference
KINGSTON	63	1	137		
Address	2 Trevillion Quay				
Suburb	KINGSTON				
State/Territory	ACT			Postcode	2604

Certification

1. In respect of authorised work carried out by me at the above mentioned property I certify:
 - (a) The work has been completed in accordance with the Certificate of Compliance issued by EPD.
 - (b) The completed work has been tested as required by EPD.
 - (c) The work has been completed is in accordance with the relevant Act, Water and Sewerage Act 2000 GAS Safety Act 2000 and their regulations.
 - (d) The hot water installation complies with the requirements of AS/NZS3500.
 - (e) The gas installation complies with the requirements of AS5601.
2. If any defect is found in the work carried out by me within the period of twelve (12) months from the date of completion, and the Government inspector certifies that the defect is due to non compliance with the codes and standards as determined by EPD, then I undertake to rectify such work at my sole expense if so directed by EPD.

This Certificate of Compliance is to be forwarded to the owner/agent within seven (7) working days of being completed.

Licencee's name 2.2(a)(ii)

Licencee's signature

Date



ACT
Government

Environment and Planning

Commencement Notice for Plumbing and/or Drainage Work Licensee's Certificate of Compliance

The applicant must provide all relevant information in BLOCK LETTERS

Draining Plan No

170689

Notice No.

110101

reg: 143167

Block 1	Section 63	Building Approval No
------------	---------------	----------------------

Street Address THE ROCK.	Suburb Kingsston	Postcode
-----------------------------	---------------------	----------

OWNER DETAILS	Surname	Title/First Name	Phone No
	Street Address	Suburb	Postcode

BUILDER	Surname Blazeki	Title/First Name Robbie	Mobile Number	Phone No
---------	--------------------	----------------------------	---------------	----------

LICENSEE DETAILS	Surname Dawson	Title/First Name Dean	Phone No
	Street Address PO Box 7322	Suburb KATEEN	Postcode 2617
	Licence Number 200015948	Expiry Date	Signature of Licensee
			Date

WORK OF SANITARY PLUMBING/DRAINAGE/IRRIGATION/WATER

Description of work

Plumbing & Drainage

ENTERED

PLUMBING/WATER/DRAINAGE INSPECTION FEE

Plumbing 0-	Drainage 0-	Water	Extra Fixtures	Total Fixtures	Total Amount 0- exempt.
Meter Size	Meter Number	Date of Plan Recorded	Name of Authorising Officer m/n. 18-9-14		

- In respect of authorised work carried out by me at the above mentioned property, I certify that:
 - The work has been completed in accordance with the permit issued by EPD;
 - The completed work has been tested as required by EPD;
 - The work complies with the relevant codes, standards and regulations under the ACT Water and Sewerage Act 2000 as determined by EPD.
- If any defect is found in the work carried out by me within the period of twelve (12) months from the date of completion, and the inspector for plumbing and drainage certifies that the defect is due to non-compliance with the codes and standards as determined by EPD, then I undertake to rectify such work at my sole expense if so directed by EPD.

This copy is to be forwarded to the owner/agent within seven (7) working days of being completed.

Signature of Licensee		Date	24-11-14
-----------------------	--	------	----------

Environment and Planning Directorate

Ground Floor, Mitchell Business Centre, 8 Darling Street, MITCHELL
GPO Box 1908, Canberra ACT 2601. Telephone: (02) 6207 6907. Email: drainageplans@act.gov.au Web Site: www.actpla.act.gov.au

Print three copies for distribution to:

1. ESDD
2. Owner
3. Licencee



Certificate of Compliance

Receipt Information

Date and time

Form submission ID **34004420140325156821**

Payment receipt number

Total amount paid \$

ENTERED

Property Information

Suburb/District	Section	Block	Unit	Floor or Level	Applicant's Reference
KINGSTON	63	1			
Address	31 Eastlake pde				
	<input type="text"/>				
Suburb	KINGSTON				
State/Territory	ACT			Postcode	2604

Certification

1. In respect of authorised work carried out by me at the above mentioned property I certify:
 - (a) The work has been completed in accordance with the Certificate of Compliance issued by ESDD.
 - (b) The completed work has been tested as required by ESDD.
 - (c) The work has been completed is in accordance with the relevant Act, Water and Sewerage Act 2000 GAS Safety Act 2000 and their regulations.
 - (d) The hot water installation complies with the requirements of AS/NZS3500.
 - (e) The gas installation complies with the requirements of AS5601.

2. If any defect is found in the work carried out by me within the period of twelve (12) months from the date of completion, and the Government inspector certifies that the defect is due to non compliance with the codes and standards as determined by ESDD, then I undertake to rectify such work at my sole expense if so directed by ESDD.

This Certificate of Compliance is to be forwarded to the owner/agent within seven (7) working days of being completed.

Licencee's name

Licencee's signature

Date



ACT Planning and Land Authority
**Commencement Notice for
 Plumbing and/or Drainage Work
 Licensee's Certificate of Compliance**

14

The applicant must provide all relevant information in Block Letters

Notice No. **082624**

UNIT #122 Block Section #5702 Drainage Plan No.

Street Address Suburb Postcode

Owner Details
 Surname Title/First Name Phone Number

Street Address Suburb Postcode

Builder Details
 Surname Title/First Name Mobile Number Phone Number

Licensee Details
 Surname Title/First Name Phone Number

Street Address Suburb Postcode

Licence Number Expiry Date Signature of Licensee Date

ENTERED

Work of Sanitary Plumbing/Drainage/Irrigation/Water

Description of Work

PLUMBING WORKS TO NEW SUBSTATION (FAROK HAIR SALON)

Plumbing/Water/Drainage Inspection Fee

Plumbing	Drainage	Water	Extra Fixtures	Total Fixtures	Total Amount
\$ <input type="text"/>	\$ <input type="text"/>	\$ <input type="text"/>	\$ <input type="text"/>	\$ <input type="text"/>	\$ <input type="text"/>

Meter Size Meter Number Date of Plan Recorded Name of Authorising Officer

- In respect of authorised work carried out by me at the above mentioned property I certify that:
 - The work has been completed in accordance with the permit issued by ACTPLA.
 - The completed work has been tested as required by ACTPLA.
 - The work complies with the relevant codes, standards and regulations under the ACT Water and Sewerage Act 2000 as determined by ACTPLA.
 - The hot water installation complies with the requirements of AS/NZS3500.
- If any defect is found in the work carried out by me within the period of twelve (12) months from the date of completion, and the inspector for plumbing and drainage certifies that the defect is due to non compliance with the codes and standards as determined by ACTPLA, then I undertake to rectify such work at my sole expense if so directed by ACTPLA.

This copy is to be forwarded to the owner/agent within seven (7) working days of being completed.

Signature of Licensee Date



ACT
Government

Environment and Planning

Commencement Notice for Plumbing and/or Drainage Work Licensee's Certificate of Compliance

The applicant must provide all relevant information in BLOCK LETTERS

Draining Plan No

Notice No.

113964

Unit #5A

Block

Section

Building Approval No

Street Address

Suburb

Postcode

OWNER DETAILS

Surname Title/First Name Phone No

Street Address Suburb Postcode

BUILDER

Surname Title/First Name Mobile Number Phone No

LICENSEE DETAILS

Surname Title/First Name Phone No

Street Address Suburb Postcode

Licence Number Expiry Date Signature of Licensee Date

WORK OF SANITARY PLUMBING/DRAINAGE/IRRIGATION/WATER

Description of work

PLUMBING/WATER/DRAINAGE INSPECTION FEE

Plumbing	Drainage	Water	Extra Fixtures	Total Fixtures	Total Amount
<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>

Meter Size	Meter Number	Date of Plan Recorded	Name of Authorising Officer
<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>

- In respect of authorised work carried out by me at the above mentioned property, I certify that:
 - The work has been completed in accordance with the permit issued by EPD;
 - The completed work has been tested as required by EPD;
 - The work complies with the relevant codes, standards and regulations under the ACT Water and Sewerage Act 2000 as determined by EPD.
- If any defect is found in the work carried out by me within the period of twelve (12) months from the date of completion, and the inspector for plumbing and drainage certifies that the defect is due to non-compliance with the codes and standards as determined by EPD, then I undertake to rectify such work at my sole expense if so directed by EPD.

ENTERED

This copy is to be forwarded to the owner/agent within seven (7) working days of being completed.

Signature of Licensee

Date

Environment and Planning Directorate

Ground Floor, Mitchell Business Centre, 8 Darling Street, MITCHELL
GPO Box 1908, Canberra ACT 2601. Telephone: (02) 6207 6907. Email: drainageplans@act.gov.au Web Site: www.actpla.act.gov.au

Distribution: White - Office, Pink - Owner, Yellow - Office, Green - Licensee



Commencement Notice for Plumbing and/or Drainage Work Licensee's Certificate of Compliance

Environment and Planning

The applicant must provide all relevant information in BLOCK LETTERS

Draining Plan No
120689

Notice No.
112076

Block 1 Section B3 Building Approval No.

Street Address TREVILLIAN TCE. Suburb KINGSTON Postcode

OWNER DETAILS	Surname <u>TDC</u>	Title/First Name <u>TDC</u>	Phone No <u>-</u>
	Street Address <u>-</u>	Suburb <u>-</u>	Postcode <u>-</u>

BUILDER	Surname <u>WALTERS</u>	Title/First Name <u>DAVID</u>	Mobile Number <u>0412 212 112</u>	Phone No <u>016 624 128</u>
---------	------------------------	-------------------------------	-----------------------------------	-----------------------------

LICENSEE DETAILS	Surname <u>D-GRAVE</u>	Title/First Name <u>-</u>	Phone No <u>012 337 7</u>	
	Street Address <u>5 LINDALL ST.</u>	Suburb <u>SYDNEY</u>	Postcode <u>2009</u>	
	Licence Number <u>2005824</u>	Expiry Date <u>24/10/17</u>	Signature of Licensee <u>[Signature]</u>	Date <u>17/7/15</u>

WORK OF SANITARY PLUMBING/DRAINAGE/IRRIGATION/WATER

Description of work
INSTALL NEW PLUMBING WORKS TO UNIT 133 SITE AS PER PLAN.

PLUMBING/WATER/DRAINAGE INSPECTION FEE

Plumbing <input type="text"/>	Drainage <input type="text"/>	Water <input type="text"/>	Extra Fixtures <input type="text"/>	Total Fixtures <input type="text"/>	Total Amount <input type="text"/>
Meter Size <input type="text"/>	Meter Number <input type="text"/>	Date of Plan Recorded <input type="text"/>	Name of Authorising Officer <input type="text"/>		

- In respect of authorised work carried out by me at the above mentioned property, I certify that:
 - The work has been completed in accordance with the permit issued by EPD;
 - The completed work has been tested as required by EPD;
 - The work complies with the relevant codes, standards and regulations under the ACT Water and Sewerage Act 2000 as determined by EPD.
- If any defect is found in the work carried out by me within the period of twelve (12) months from the date of completion, and the inspector for plumbing and drainage certifies that the defect is due to non-compliance with the codes and standards as determined by EPD, then I undertake to rectify such work at my sole expense if so directed by EPD.

This copy is to be forwarded to the owner/agent within seven (7) working days of being completed.

Signature of Licensee [Signature] Date 17/7/15

Environment and Planning Directorate
 Ground Floor, Mitchell Business Centre, 8 Darling Street, MITCHELL
 GPO Box 1908, Canberra ACT 2601. Telephone: (02) 6207 6907. Email: drainageplans@act.gov.au Web Site: www.actpla.act.gov.au



ACT
Government

Licensee's Certificate of Compliance

Block 1	Section 63	Suburb KINGSTON	Building project number	Permit number 7492452
------------	---------------	--------------------	-------------------------	--------------------------

Street address
4/2 trevellian quay kingston forshore - 38 espresso

Owner details

Full name/organisation	Phone number

Builder details

Full name	Phone number
Organisation	

Licensee details

Full name/organisation Ross Ingham	Phone number 0450590030
Email	

Licence number 20111530	Expiry date 03-05-2019
----------------------------	---------------------------

Work of sanitary plumbing/drainage/irrigation/water

Description of work
H01 - 22813 - 22813 - Connect trade waste drainage for cafe to grease separator line in carpark below.

Plumbing/water/drainage inspection fee

Plumbing	Drainage	Irrigation	Extra fixtures	Total fixtures	Total amount
	\$232.00		0	\$0.00	\$232.00

Meter size	Meter number	Date of plan recorded	Name of the authorising

1. In respect of authorised work carried out by me at the above mentioned property, I certify that:
 (a) The work has been completed in accordance with the permit issued by Access Canberra;
 (b) The completed work has been tested as required by Access Canberra;
 (c) The work complies with the relevant codes, standards and regulations under the ACT Water and Sewerage Act 2000 as determined by Access Canberra.

2. If any defect is found in the work carried out by me within the period of twelve (12) months from the date of completion, and the inspector for plumbing and drainage certifies that the defect is due to non-compliance with the codes and standards as determined by Access Canberra then I undertake to rectify such work at my sole expense if so directed by Access Canberra.

Signature of licensee		Date	21-3-17
-----------------------	--	------	---------



ACT
Government

Environment and Sustainable Development

Commencement Notice for Plumbing and/or Drainage Work Licensee's Certificate of Compliance

The applicant must provide all relevant information in BLOCK LETTERS

Notice No.
97307

REGO #
142455

Block Section Drainage Plan No

Street Address Suburb Postcode

OWNER DETAILS

Surname Title/First Name Phone No

Street Address Suburb Postcode

BUILDER

Surname Title/First Name Mobile Number Phone No

LICENSEE DETAILS

Surname Title/First Name Phone No

Street Address Suburb Postcode

Licence Number Expiry Date Signature of Licensee Date

WORK OF SANITARY PLUMBING/DRAINAGE/IRRIGATION/WATER

Description of work

PLUMBING/WATER/DRAINAGE INSPECTION FEE

Plumbing	Drainage	Water	Extra Fixtures	Total Fixtures	Total Amount
<input type="text" value="0.00"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text" value="0.00"/>

Meter Size Meter Number Date of Plan Recorded Name of Authorising Officer

ENTERED

- In respect of authorised work carried out by me at the above mentioned property, I certify that:
 - The work has been completed in accordance with the permit issued by ESDD;
 - The completed work has been tested as required by ESDD;
 - The work complies with the relevant codes, standards and regulations under the ACT Water and Sewerage Act 2000 as determined by ESDD.
- If any defect is found in the work carried out by me within the period of twelve (12) months from the date of completion, and the inspector for plumbing and drainage certifies that the defect is due to non-compliance with the codes and standards as determined by ESDD, then I undertake to rectify such work at my sole expense if so directed by ESDD.

This copy is to be forwarded to the owner/agent within seven (7) working days of being completed.

Signature of Licensee Date

Environment and Sustainable Development Directorate

Ground Floor, Mitchell Business Centre, 8 Darling Street, MITCHELL
 GPO Box 1908, Canberra ACT 2601. Telephone: (02) 6207 6907. Email: drainageplans@act.gov.au Web Site: www.actpla.act.gov.au



ACT Planning and Land Authority
**Commencement Notice for
 Plumbing and/or Drainage Work
 Licensee's Certificate of Compliance**

120689
 120689
 Notice No.
094865
 14

• The applicant must provide all relevant information in Block Letters

Block	Section	Drainage Plan No.	
1	63		
Street Address		Suburb	Postcode
3/31 Eastlake Parade		Lakeview Ridge	3152
Owner Details		Phone Number	
Surname		Title/First Name	Phone Number
Stone		Helena	
Street Address		Suburb	Postcode
Builder Details			
Surname		Title/First Name	Mobile Number
Surname		Title/First Name	Phone Number
Bethke		Luke	0413 377774
Street Address		Suburb	Postcode
78 Overall Ave		Casey	
Licence Number	Expiry Date	Signature of Licensee	Date
2009627	31/3/15		25/9/14

Work of Sanitary Plumbing/Drainage/Irrigation/Water

Description of Work

Additional Sanitary point to existing stack.

Plumbing/Water/Drainage Inspection Fee

Plumbing	Drainage	Water	Extra Fixtures	Total Fixtures	Total Amount
\$	\$ 214	\$	\$	\$	\$ 214
Meter Size	Meter Number	Date of Plan Recorded	Name of Authorising Officer		
		1/1	PM 25/9/2014		

ENTERED

- In respect of authorised work carried out by me at the above mentioned property I certify that:
 - The work has been completed in accordance with the permit issued by ACTPLA.
 - The completed work has been tested as required by ACTPLA.
 - The work complies with the relevant codes, standards and regulations under the ACT Water and Sewerage Act 2000 as determined by ACTPLA.
 - The hot water installation complies with the requirements of AS/NZS3500.
 - If any defect is found in the work carried out by me within the period of twelve (12) months from the date of completion, and the inspector for plumbing and drainage certifies that the defect is due to non compliance with the codes and standards as determined by ACTPLA, then I undertake to rectify such work at my sole expense if so directed by ACTPLA.
- This copy is to be forwarded to the owner/agent within seven (7) working days of being completed.

Signature of Licensee

Date 25/9/14



ACT Planning and Land Authority
**Commencement Notice for
 Plumbing and/or Drainage Work**
Licensee's Certificate of Compliance

Notice No. **094867**

The applicant must provide all relevant information in Block Letters

Block Section Drainage Plan No.

Street Address Suburb Postcode

Owner Details

Surname Title/First Name Phone Number

Street Address Suburb Postcode

Builder Details

Surname Title/First Name Mobile Number Phone Number

Licensee Details

Surname Title/First Name Phone Number

Street Address Suburb Postcode

Licence Number Expiry Date Signature of Licensee Date

Work of Sanitary Plumbing/Drainage/Irrigation/Water

Description of Work

Plumbing/Water/Drainage Inspection Fee

Plumbing	Drainage	Water	Extra Fixtures	Total Fixtures	Total Amount
\$ <input type="text" value="214"/>	\$ <input type="text"/>	\$ <input type="text"/>	\$ <input type="text"/>	\$ <input type="text"/>	\$ <input type="text" value="214"/>

Meter Size Meter Number Date of Plan Recorded Name of Authorising Officer

- In respect of authorised work carried out by me at the above mentioned property I certify that:
 - The work has been completed in accordance with the permit issued by ACTPLA.
 - The completed work has been tested as required by ACTPLA.
 - The work complies with the relevant codes, standards and regulations under the ACT Water and Sewerage Act 2000 as determined by ACTPLA.
 - The hot water installation complies with the requirements of AS/NZS3500.
- If any defect is found in the work carried out by me within the period of twelve (12) months from the date of completion, and the inspector for plumbing and drainage certifies that the defect is due to non compliance with the codes and standards as determined by ACTPLA, then I undertake to rectify such work at my sole expense if so directed by ACTPLA.

This copy is to be forwarded to the owner/agent within seven (7) working days of being completed.

Signature of Licensee Date

Print three copies for distribution to:

1. ESDD
2. Owner
3. Licencee



Certificate of Compliance

Receipt Information

Date and time
Form submission ID
Payment receipt number
Total amount paid \$

Property Information

Suburb/District	Section	Block	Unit	Floor or Level	Applicant's Reference
<input type="text" value="KINGSTON"/>	<input type="text" value="63"/>	<input type="text" value="1"/>	<input type="text" value="121"/>	<input type="text"/>	<input type="text"/>
Address <input type="text" value="121 Trevillian Quay"/>					
<input type="text"/>					
Suburb <input type="text" value="KINGSTON"/>					
State/Territory <input type="text" value="ACT"/>			Postcode <input type="text" value="2604"/>		

Certification

1. In respect of authorised work carried out by me at the above mentioned property I certify:
 - (a) The work has been completed in accordance with the Certificate of Compliance Issued by ESDD.
 - (b) The completed work has been tested as required by ESDD.
 - (c) The work has been completed in accordance with the relevant Act, Water and Sewerage Act 2000 GAS Safety Act 2000 and their regulations.
 - (d) The hot water installation complies with the requirements of AS/NZS3500.
 - (e) The gas installation complies with the requirements of AS5601.

2. If any defect is found in the work carried out by me within the period of twelve (12) months from the date of completion, and the Government inspector certifies that the defect is due to non compliance with the codes and standards as determined by ESDD, then I undertake to rectify such work at my sole expense if so directed by ESDD.

This Certificate of Compliance is to be forwarded to the owner/agent within seven (7) working days of being completed.

Licencee's name
Licencee's signature
Date



ACT
Government

Environment and Sustainable Development

Commencement Notice for Plumbing and/or Drainage Work Licensee's Certificate of Compliance

The applicant must provide all relevant information in BLOCK LETTERS

Notice No.
97306

#M-1277

BA # 1520134235

UNIT 138

Block	Section	Drainage Plan No
1	3	

Street Address	Suburb	Postcode
	KINGSTON	

OWNER DETAILS

Surname	Title/First Name	Phone No
DEBILUEY	DEPUSTATE (ESDD)	
Street Address	Suburb	Postcode
-	-	

BUILDER

Surname	Title/First Name	Mobile Number	Phone No
N/A	N/A		

ENTERED

LICENSEE DETAILS

Surname	Title/First Name	Phone No	
D-Gibson			
Street Address	Suburb	Postcode	
5 LINDALL ST	STANWICK	2601	
Licence Number	Expiry Date	Signature of Licensee	Date
2005324	18/10/14		24/1/14

WORK OF SANITARY PLUMBING/DRAINAGE/IRRIGATION/WATER

Description of work

INSTALL NEW PLUMBING WORKS TO UNIT 138 DOXSIDE ST ON 03RD FLOOR PLANNING

PLUMBING/WATER/DRAINAGE INSPECTION FEE

Plumbing	Drainage	Water	Extra Fixtures	Total Fixtures	Total Amount
0.00					0.00
Meter Size	Meter Number	Date of Plan Recorded	Name of Authorising Officer		
			M 24/1/14		

Free exempt

- In respect of authorised work carried out by me at the above mentioned property, I certify that:
 - The work has been completed in accordance with the permit issued by ESDD;
 - The completed work has been tested as required by ESDD;
 - The work complies with the relevant codes, standards and regulations under the ACT Water and Sewerage Act 2000 as determined by ESDD.
- If any defect is found in the work carried out by me within the period of twelve (12) months from the date of completion, and the inspector for plumbing and drainage certifies that the defect is due to non-compliance with the codes and standards as determined by ESDD, then I undertake to rectify such work at my sole expense if so directed by ESDD.

This copy is to be forwarded to the owner/agent within seven (7) working days of being completed.

Signature of Licensee	Date
	24/1/14

Environment and Sustainable Development Directorate

Ground Floor, Mitchell Business Centre, 8 Darling Street, MITCHELL
GPO Box 1908, Canberra ACT 2601. Telephone: (02) 6207 6907. Email: drainageplans@act.gov.au Web Site: www.actpla.act.gov.au



ACT
Government

Environment and Planning

Commencement Notice for Plumbing and/or Drainage Work Licensee's Certificate of Compliance

The applicant must provide all relevant information in BLOCK LETTERS

Draining Plan No

120689

Notice No.

112076

Block	Section	Building Approval No
1	B3	
Street Address		Suburb
TREVILLIAN TCE		KINGSTON
		Postcode

OWNER DETAILS	Surname	Title/First Name	Phone No
	TOL	TDC	
	Street Address	Suburb	Postcode

BUILDER	Surname	Title/First Name	Mobile Number	Phone No
	FOLTON B DESIGN	B CONSTRUCTION	PL	61662928

LICENSEE DETAILS	Surname	Title/First Name	Phone No
	D-Grove		6123377
	Street Address	Suburb	Postcode
	5 LINDALL ST.	SYDNEY	2609
	Licence Number	Expiry Date	Signature of Licensee
2005824	24/10/17		17/7/15

WORK OF SANITARY PLUMBING/DRAINAGE/IRRIGATION/WATER

Description of work

INSTALL NEW PLUMBING WORKS TO UNIT 133 FROM AS PER PLAN.

PLUMBING/WATER/DRAINAGE INSPECTION FEE

Plumbing	Drainage	Water	Extra Fixtures	Total Fixtures	Total Amount
Meter Size	Meter Number	Date of Plan Recorded	Name of Authorising Officer		

OFFICE USE ONLY - Inspection Details

Name of Plan Certifier DEAN ANDERSON Plan Certified 16.7.15

The work shown on 'drainage plan' No inspected on/...../..... has been installed and complies with the ACT Water and Sewerage Act 2000 and Water and Sewerage Regulation 2001.

Drainage plan received Plumbing Certification received Drainage Certification received Other Certification or commissioning

I certify that all required Plumbing and Drainage Certification has been received and completed.

Signed by Compliance Auditor D.S. Ford Date 31.8.15

Environment and Planning Directorate

Ground Floor, Mitchell Business Centre, 8 Darling Street, MITCHELL
GPO Box 1908, Canberra ACT 2601. Telephone: (02) 6207 6907. Email: drainageplans@act.gov.au Web Site: www.actpla.act.gov.au

Distribution: White - Office, Pink - Owner, Yellow - Office, Green - Licensee



ACT
Government

Environment and Planning

Commencement Notice for Plumbing and/or Drainage Work Licensee's Certificate of Compliance

The applicant must provide all relevant information in BLOCK LETTERS

Draining Plan No

Notice No.

113964

Unit #5A

Block

Section

Building Approval No

Street Address

Suburb

Postcode

OWNER DETAILS

Surname Title/First Name

Phone No

Street Address

Suburb

Postcode

BUILDER

Surname Title/First Name

Mobile Number

Phone No

LICENSEE DETAILS

Surname Title/First Name

Phone No

Street Address

Suburb

Postcode

Licence Number

Expiry Date

Signature of Licensee

Date

WORK OF SANITARY PLUMBING/DRAINAGE/IRRIGATION/WATER

Description of work

INSTALL PLUMBING WORKS AS REQUIRED TO NEW SINK (AS PER PLAN)

PLUMBING/WATER/DRAINAGE INSPECTION FEE

Plumbing	Drainage	Water	Extra Fixtures	Total Fixtures	Total Amount
<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>
Meter Size	Meter Number	Date of Plan Recorded	Name of Authorising Officer		
<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>		

OFFICE USE ONLY - Inspection Details

Name of Plan Certifier Plan Certified

The work shown on 'drainage plan' No inspected on/...../..... has been installed and complies with the ACT Water and Sewerage Act 2000 and Water and Sewerage Regulation 2001.

Drainage plan received Plumbing Certification received Drainage Certification received Other Certification or commissioning

I certify that all required Plumbing and Drainage Certification has been received and completed.

Signed by Compliance Auditor

Date

Environment and Planning Directorate

Ground Floor, Mitchell Business Centre, 8 Darling Street, MITCHELL
GPO Box 1908, Canberra ACT 2601. Telephone: (02) 6207 6907. Email: drainageplans@act.gov.au Web Site: www.actpla.act.gov.au



ACT
Government

Environment and Planning

Commencement Notice for Plumbing and/or Drainage Work Licensee's Certificate of Compliance

Draining Plan No

Notice No.

113964

The applicant must provide all relevant information in BLOCK LETTERS

UNIT #5A

Block

Section

Building Approval No

Street Address

Suburb

Postcode

OWNER DETAILS

Surname

Title/First Name

Phone No

Street Address

Suburb

Postcode

BUILDER

Surname

Title/First Name

Mobile Number

Phone No

LICENSEE DETAILS

Surname

Title/First Name

Phone No

Street Address

Suburb

Postcode

Licence Number

Expiry Date

Signature of Licensee

Date

WORK OF SANITARY PLUMBING/DRAINAGE/IRRIGATION/WATER

Description of work

PLUMBING/WATER/DRAINAGE INSPECTION FEE

Plumbing

Drainage

Water

Extra Fixtures

Total Fixtures

Total Amount

Meter Size

Meter Number

Date of Plan Recorded

Name of Authorising Officer

1. In respect of authorised work carried out by me at the above mentioned property, I certify that:

- (a) The work has been completed in accordance with the permit issued by EPD;
- (b) The completed work has been tested as required by EPD;
- (c) The work complies with the relevant codes, standards and regulations under the ACT Water and Sewerage Act 2000 as determined by EPD.

2. If any defect is found in the work carried out by me within the period of twelve (12) months from the date of completion, and the inspector for plumbing and drainage certifies that the defect is due to non-compliance with the codes and standards as determined by EPD, then I undertake to rectify such work at my sole expense if so directed by EPD.

This copy is to be forwarded to the owner/agent within seven (7) working days of being completed.

Signature of Licensee

Date

Environment and Planning Directorate

Ground Floor, Mitchell Business Centre, 8 Darling Street, MITCHELL

GPO Box 1908, Canberra ACT 2601. Telephone: (02) 6207 6907. Email: drainageplans@act.gov.au Web Site: www.actpla.act.gov.au



ACT
Government

Environment and Planning

Commencement Notice for Plumbing and/or Drainage Work Licensee's Certificate of Compliance

The applicant must provide all relevant information in BLOCK LETTERS

Draining Plan No

Notice No.

112076

Block

Section

Building Approval No

Street Address

Suburb

Postcode

OWNER DETAILS

Surname

Title/First Name

Phone No

Street Address

Suburb

Postcode

BUILDER

Surname

Title/First Name

Mobile Number

Phone No

LICENSEE DETAILS

Surname

Title/First Name

Phone No

Street Address

Suburb

Postcode

Licence Number

Expiry Date

Signature of Licensee

Date

WORK OF SANITARY PLUMBING/DRAINAGE/IRRIGATION/WATER

Description of work

PLUMBING/WATER/DRAINAGE INSPECTION FEE

Plumbing	Drainage	Water	Extra Fixtures	Total Fixtures	Total Amount
<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>
Meter Size	Meter Number	Date of Plan Recorded	Name of Authorising Officer		
<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>		

OFFICE USE ONLY - Inspection Details

Name of Plan Certifier Plan Certified

The work shown on 'drainage plan' No inspected on/...../..... has been installed and complies with the ACT Water and Sewerage Act 2000 and Water and Sewerage Regulation 2001.

Drainage plan received Plumbing Certification received Drainage Certification received Other Certification or commissioning

I certify that all required Plumbing and Drainage Certification has been received and completed.

Signed by Compliance Auditor Date

Environment and Planning Directorate

Ground Floor, Mitchell Business Centre, 8 Darling Street, MITCHELL

GPO Box 1908, Canberra ACT 2601. Telephone: (02) 6207 6907. Email: drainageplans@act.gov.au Web Site: www.actpla.act.gov.au



ACT
Government

Environment and Planning

Commencement Notice for Plumbing and/or Drainage Work Licensee's Certificate of Compliance

The applicant must provide all relevant information in BLOCK LETTERS

Draining Plan No

Notice No.

112076

Block 7	Section B3	Building Approval No
------------	---------------	----------------------

Street Address TREVILLIAN TCE.	Suburb KINGSTON	Postcode
-----------------------------------	--------------------	----------

OWNER DETAILS	Surname TBC	Title/First Name TBC	Phone No
	Street Address	Suburb	Postcode

BUILDER	Surname BOLTWOOD	Title/First Name DAVID	Mobile Number 0412345678	Phone No 01602123
----------------	---------------------	---------------------------	-----------------------------	----------------------

LICENSEE DETAILS	Surname D-Green	Title/First Name	Phone No 0123377	
	Street Address 5 LARALLA ST.	Suburb SULLIVAN	Postcode 2601	
	Licence Number 2005824	Expiry Date 24/10/17	Signature of Licensee	Date 17/7/15

WORK OF SANITARY PLUMBING/DRAINAGE/IRRIGATION/WATER

Description of work

INSTALL NEW PLUMBING WORKS TO UNIT 133 FURNISH AS PER PLAN.

PLUMBING/WATER/DRAINAGE INSPECTION FEE

Plumbing	Drainage	Water	Extra Fixtures	Total Fixtures	Total Amount
Meter Size	Meter Number	Date of Plan Recorded	Name of Authorising Officer		

- In respect of authorised work carried out by me at the above mentioned property, I certify that:
 - The work has been completed in accordance with the permit issued by EPD;
 - The completed work has been tested as required by EPD;
 - The work complies with the relevant codes, standards and regulations under the ACT Water and Sewerage Act 2000 as determined by EPD.
- If any defect is found in the work carried out by me within the period of twelve (12) months from the date of completion, and the inspector for plumbing and drainage certifies that the defect is due to non-compliance with the codes and standards as determined by EPD, then I undertake to rectify such work at my sole expense if so directed by EPD.

This copy is to be forwarded to the owner/agent within seven (7) working days of being completed.

Signature of Licensee Date

Environment and Planning Directorate
 Ground Floor, Mitchell Business Centre, 8 Darling Street, MITCHELL
 GPO Box 1908, Canberra ACT 2601. Telephone: (02) 6207 6907. Email: drainageplans@act.gov.au Web Site: www.actpla.act.gov.au



ACT
Government

Licensee's Certificate of Compliance

Block	Section	Suburb	Building project number	Permit number
1	63	KINGSTON		7492452

Street address

4/2 trevellian quay kingston forshore - 38 espresso

Owner details

Full name/organisation	Phone number

Builder details

Full name	Phone number
Organisation	

Licensee details

Full name/organisation	Phone number
Ross Ingham	0450590030
Email	

Licence number	Expiry date
20111530	03-05-2019

Work of sanitary plumbing/drainage/irrigation/water

Description of work

H01 - 22813 - 22813 - Connect trade waste drainage for cafe to grease separator line in carpark below.

Plumbing/water/drainage inspection fee

Plumbing	Drainage	Irrigation	Extra fixtures	Total fixtures	Total amount
	\$232.00		0	\$0.00	\$232.00

Meter size	Meter number	Date of plan recorded	Name of the authorising

- In respect of authorised work carried out by me at the above mentioned property, I certify that:
 - The work has been completed in accordance with the permit issued by Access Canberra;
 - The completed work has been tested as required by Access Canberra;
 - The work complies with the relevant codes, standards and regulations under the ACT Water and Sewerage Act 2000 as determined by Access Canberra.
- If any defect is found in the work carried out by me within the period of twelve (12) months from the date of completion, and the inspector for plumbing and drainage certifies that the defect is due to non-compliance with the codes and standards as determined by Access Canberra then I undertake to rectify such work at my sole expense if so directed by Access Canberra.

Signature of licensee	Date

Print three copies for distribution to:

1. EPD
2. Owner
3. Licencee



Certificate of Compliance

Receipt Information

Date and time

Form submission ID **34004420140922077254**

Payment receipt number

Total amount paid \$

Property Information

Suburb/District	Section	Block	Unit	Floor or Level	Applicant's Reference
<input type="text" value="KINGSTON"/>	<input type="text" value="63"/>	<input type="text" value="1"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>
Address	<input type="text" value="35 Eastlake Parade"/>				
	<input type="text"/>				
Suburb	<input type="text" value="KINGSTON"/>				
State/Territory	<input type="text" value="ACT"/>				Postcode <input type="text" value="2604"/>

Certification

1. In respect of authorised work carried out by me at the above mentioned property I certify:

- (a) The work has been completed in accordance with the Certificate of Compliance issued by EPD.
- (b) The completed work has been tested as required by EPD.
- (c) The work has been completed is in accordance with the relevant Act, Water and Sewerage Act 2000 GAS Safety Act 2000 and their regulations.
- (d) The hot water installation complies with the requirements of AS/NZS3500.
- (e) The gas installation complies with the requirements of AS5601.

2. If any defect is found in the work carried out by me within the period of twelve (12) months from the date of completion, and the Government inspector certifies that the defect is due to non compliance with the codes and standards as determined by EPD, then I undertake to rectify such work at my sole expense if so directed by EPD.

This Certificate of Compliance is to be forwarded to the owner/agent within seven (7) working days of being completed.

Licencee's name 2.2(a)(ii)

Licencee's signature

Date

Print three copies for distribution to:

1. EPD
2. Owner
3. Licencee



Certificate of Compliance

Receipt Information

Date and time

Form submission ID **34004420140922077257**

Payment receipt number

Total amount paid \$

Property Information

Suburb/District	Section	Block	Unit	Floor or Level	Applicant's Reference
<input type="text" value="KINGSTON"/>	<input type="text" value="63"/>	<input type="text" value="1"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>
Address	<input type="text" value="35 Eastlake parade"/>				
	<input type="text"/>				
Suburb	<input type="text" value="KINGSTON"/>				
State/Territory	<input type="text" value="ACT"/>			Postcode	<input type="text" value="2604"/>

Certification

1. In respect of authorised work carried out by me at the above mentioned property I certify:

- (a) The work has been completed in accordance with the Certificate of Compliance issued by EPD.
- (b) The completed work has been tested as required by EPD.
- (c) The work has been completed is in accordance with the relevant Act, Water and Sewerage Act 2000 GAS Safety Act 2000 and their regulations.
- (d) The hot water installation complies with the requirements of AS/NZS3500.
- (e) The gas installation complies with the requirements of AS5601.

2. If any defect is found in the work carried out by me within the period of twelve (12) months from the date of completion, and the Government inspector certifies that the defect is due to non compliance with the codes and standards as determined by EPD, then I undertake to rectify such work at my sole expense if so directed by EPD.

This Certificate of Compliance is to be forwarded to the owner/agent within seven (7) working days of being completed.

Licencee's name 2.2(a)(ii)

Licencee's signature

Date

Print three copies for distribution to:

1. EPD
2. Owner
3. Licencee



Certificate of Compliance

Receipt Information

Date and time

Form submission ID **34004420140922077249**

Payment receipt number

Total amount paid \$

Property Information

Suburb/District	Section	Block	Unit	Floor or Level	Applicant's Reference
<input type="text" value="KINGSTON"/>	<input type="text" value="63"/>	<input type="text" value="1"/>	<input type="text" value="137"/>	<input type="text"/>	<input type="text"/>
Address	<input type="text" value="2 Trevillion Quay"/>				
	<input type="text"/>				
Suburb	<input type="text" value="KINGSTON"/>				
State/Territory	<input type="text" value="ACT"/>			Postcode	<input type="text" value="2604"/>

Certification

1. In respect of authorised work carried out by me at the above mentioned property I certify:

- (a) The work has been completed in accordance with the Certificate of Compliance issued by EPD.
- (b) The completed work has been tested as required by EPD.
- (c) The work has been completed is in accordance with the relevant Act, Water and Sewerage Act 2000 GAS Safety Act 2000 and their regulations.
- (d) The hot water installation complies with the requirements of AS/NZS3500.
- (e) The gas installation complies with the requirements of AS5601.

2. If any defect is found in the work carried out by me within the period of twelve (12) months from the date of completion, and the Government inspector certifies that the defect is due to non compliance with the codes and standards as determined by EPD, then I undertake to rectify such work at my sole expense if so directed by EPD.

This Certificate of Compliance is to be forwarded to the owner/agent within seven (7) working days of being completed.

Licencee's name ^{2.2(a)(ii)}

Licencee's signature

Date

Print three copies for distribution to:

1. EPD
2. Owner
3. Licencee



Certificate of Compliance

Receipt Information

Date and time

Form submission ID **34004420141027162279**

Payment receipt number

Total amount paid \$

Property Information

Suburb/District	Section	Block	Unit	Floor or Level	Applicant's Reference
<input type="text" value="KINGSTON"/>	<input type="text" value="63"/>	<input type="text" value="1"/>	<input type="text" value="130"/>	<input type="text"/>	<input type="text" value="Tang Dynasty"/>
Address	<input type="text" value="130/33 Eastlake Parade"/>				
	<input type="text"/>				
Suburb	<input type="text" value="KINGSTON"/>				
State/Territory	<input type="text" value="ACT"/>			Postcode	<input type="text" value="2604"/>

Certification

1. In respect of authorised work carried out by me at the above mentioned property I certify:

- (a) The work has been completed in accordance with the Certificate of Compliance issued by EPD.
- (b) The completed work has been tested as required by EPD.
- (c) The work has been completed is in accordance with the relevant Act, Water and Sewerage Act 2000 GAS Safety Act 2000 and their regulations.
- (d) The hot water installation complies with the requirements of AS/NZS3500.
- (e) The gas installation complies with the requirements of AS5601.

2. If any defect is found in the work carried out by me within the period of twelve (12) months from the date of completion, and the Government inspector certifies that the defect is due to non compliance with the codes and standards as determined by EPD, then I undertake to rectify such work at my sole expense if so directed by EPD.

This Certificate of Compliance is to be forwarded to the owner/agent within seven (7) working days of being completed.

Licencee's name

Licencee's signature

Date

Commencement Notice for Gasfitting Work

Licensee's ACT Gas Certificate of Compliance



ACT Planning & Land Authority

G012446

The applicant must provide all relevant information in BLOCK LETTERS (please tick boxes below)

<input checked="" type="checkbox"/> Gas Work Commercial	<input type="checkbox"/> New Residential Class 1 or 10a installation	<input type="checkbox"/> Existing Occupied Residential Home (new gas meter)
Gas Type:	<input checked="" type="checkbox"/> Natural Gas	<input type="checkbox"/> Liquid Petroleum
<input type="checkbox"/> Marine	HIN Number _____	<input type="checkbox"/> Mobile
		VIN Number _____

PART 1: Gas installation details

Block 1 Section 63 Suburb _____ Gas Indicator Number _____
 Street address Dockside Suburb Kingston Postcode _____

PART 2: Owner details

Surname _____ Title / First Name Noah Phone _____

PART 3: Builders details

Surname _____ Title / First Name _____ Mobile _____ Phone _____

PART 4: Licensee details

Surname Dawson Title / First Name _____ Mobile 040701330 Phone _____
 Street address 10 Box 7 Suburb Kaleen Postcode 2617
 COLA Licence No. 200015948 Expiry Date 15-3-16 Licensee Signature _____ Date 23

PART 5: Description of work - Commercial (see inside front cover for description of work)

Total energy loading in Megajoules 700mJ B2041236

(1) Megajoule loading commercial per meter	(2) (a) New Class 2 apartments or units (Please use separate form)	(2) (b) Additional main gas meter Class 2 megajoules loading rate	(3) & (4) Additional Gasfitting work to Class 2 buildings & Class 2-10	(5) Additional Type A appliance/s work without a flue Class 2-10	(6) Additional Type A appliance/s work with a flue Class 2-10	(7) Commercial kitchen or laundry (plus additional Type A appliances)
\$ <u>0-</u>	\$	\$	\$	\$	\$	\$

Receipt number and date _____ Name of Authorising Officer MM 24-3-14

PART 6: Description of work - Residential (see inside front cover for description of work)

New gas meter & installation to residential home (BCA class 1 and 10a) *Note: (Gas installer to book inspection with ACTPLA)* \$ 0
 New gas meter & installation to existing residential/occupied home *Note: (ACTPLA to arrange inspection with home owner)* \$ _____
 Receipt number and date _____ Name of Authorising Officer _____

PART 7: TYPE A appliances connected and number

Bayonet (external)	Decorative log fire	Ducted heater (external)	HWS Continuous (external)
Bayonet (internal)	Pool/Spa heater	Ducted heater (internal)	HWS Continuous (internal)
Cooker	Wall furnace	Space heater (flued)	HWS Storage (external)
Cook-top	Wall oven	Space heater (flueless)	HWS Storage (internal)
Hydronic Boiler			Type B appliance connection
Others (specify) <u>Deep Fryer, Grill & Burner, Oven 2: Outdoor Heaters</u>			

PART 8: Certification of gas work

I certify that the gasfitting work described in this certificate complies with the Gas Safety Act and,
 AS5601 AS1596 Others (specify) _____
 I have tested the gas installation. I have tested the above appliance/s for correct operation in accordance with manufactures instruction.
 The installation and appliance/s are safe to operate
 Signature of Licensee _____ Date 6-5-12

From: [John](#)
To: [DrainagePlans](#)
Cc: [Tony DeRow](#)
Subject: Lodgement of Plumbing permit for BL 1 Sect 63 Kingston
Date: Friday, 21 September 2012 1:12:04 PM
Attachments: [image001.jpg](#)
[20120921131930.pdf](#)

Please find attached D Group lodgment of the following Plumbing permit.

Kind Regards,

John Ciceran | **D-Group Commercial**
Hydraulics Project Manager

5 Whyalla St, Fyshwick, ACT 2609
T: 02 6162 3377 | F: 02 6162 3388 | M 0419 296 155
john@d-group.com.au
d-group.com.au

Description: Description: LOGO





ACT Planning and Land Authority
**Commencement Notice for
 Plumbing and/or Drainage Work
 Licensee's Certificate of Compliance**

14

• The applicant must provide all relevant information in Block Letters

Notice No.
082607

Block Section #360
 Drainage Plan No.

Street Address Suburb Postcode

Owner Details

Surname Title/First Name Phone Number

Street Address Suburb Postcode

Builder Details

Surname Title/First Name Mobile Number Phone Number

Licensee Details

Surname Title/First Name Phone Number

Street Address Suburb Postcode

Licence Number Expiry Date Signature of Licensee Date

Work of Sanitary Plumbing/Drainage/Irrigation/Water

Description of Work

Plumbing/Water/Drainage Inspection Fee

Plumbing	Drainage	Water	Extra Fixtures	Total Fixtures	Total Amount
\$ <input type="text"/>	\$ <input type="text"/>	\$ <input type="text"/>	\$ <input type="text"/>	\$ <input type="text"/>	\$ <input type="text"/>

Meter Size Meter Number Date of Plan Recorded Name of Authorising Officer

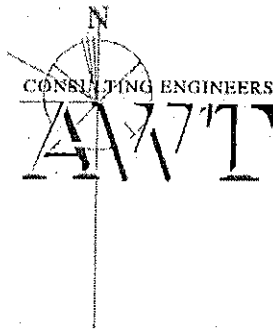
OFFICE USE ONLY - Inspection Details

Name of Plan Certifier Plan Certified

The work shown on 'drainage plan' No: inspected on/...../..... has been installed and complies with the ACT Water and Sewerage Act 2000 and Water and Sewerage Regulation 2001.

Drainage plan received Plumbing Certification received Drainage Certification received Other Certification or commissioning

I certify that all the required Plumbing and Drainage Certification has been received and completed Signed Date



AWT Consulting Engineers Pty Ltd

ABN 35 093 828 794

Suite 301, 100 Mount St
North Sydney NSW 2060
P: (02) 9922 2466
F: (02) 9922 3705
adam@awtce.net.au

GPO Box 436
Gungahlin ACT 2912
P: (02) 6257 2614
F: (02) 6257 1723
alan@awtce.net.au

CERTIFICATE OF STRUCTURAL SUFFICIENCY - DESIGN

BLOCK: 1 **SECTION:** 63 **SUBURB:** Kingston

Lessee or Permit Holder's Name: Doma Group
Contact: Gavin Edgar gavin@domagroup.com.au

AWT Job No: 109260
Title: Dockside Development Kingston

Description of Building Work:

New Work x **Additions** **Alterations** **Other**

I certify that:

1. I have checked the structural design computations for the building named above and/or the following components and of their supporting elements
Foundations, Retaining Walls, Loadbearing Precast Walls, Columns, Suspended Slabs, Roof Steelwork.
2. In checking the structural design, I have paid attention to the integrity of the building under normal conditions relevant for this type of structure. The strength requirements and serviceability requirements of the building and its structural elements comply with the Building Code of Australia and all relevant SAA Codes (including AS 1170 Part 4 Earthquake Code).
3. This certificate applies to the structural drawings prefixed 109260
4. The documents adequately convey the structural design intentions for the construction of this structure.

Declaration

I am a professional engineer as defined in Part A1 Clause A1.1 of the Building Code of Australia. This "Structural Engineers Certificate" is issued pursuant to Section 47 of the ACT Building Act 2004

Signature

Date: 26/07/11

Engineer: Alan Tingcombe
Qualifications: BE(Hons) F.I.E. Aust
Address: Unit 17 Level 2, 18 Brindabella Cct, Canberra Airport ACT 2609
Telephone: (02) 6257 2614
Fax: (02) 6257 1723
Email: alan@awtce.net.au

Design Solutions



PART A - PROJECT DETAILS

Unit	Block	Section	Division (Suburb)	District	Jurisdiction
	1	63	KINGSTON	CANBERRA CENTRAL	Australian Capital Territory

PART B - WORKS REQUIRING BUILDING APPROVAL

Item of building work to which this Building Approval relates:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
2	New Medium Density	FLAT/UNIT/APARTMENT	Multi-residential development including 120 Residential units (Stage 1: Building Structure)	A	6	2.2(a)(xi) 0	0.00
7	New	PUBLIC CARPARK	Basement Carpark (Stage 1: Building Structure)	A	1	2.2(a)(xi)	0.00
5	New	OFFICE BUILDING	Office tennacies (Stage 1: Building Structure)	A	1	2.2(a)(xi)	0.00
6	New	SHOP/RETAIL BUILDING	Retail Tennancies (Stage 1: Building Structure)	A	1	2.2(a)(xi)	0.00

Work relates to the following Development Application(s):

Development Application ID	Description
201018204	Merit -
201018204	Merit -

PART C - CERTIFIERS DECLARATION

I declare that in issuing this building approval under section 28 of the Building Act 2004:

- I am satisfied on reasonable grounds that the plans meet each applicable approval requirement under section 29 and is not prevented from being issued under section 30 or section 30A
- I have supplied all documents as required under 3.3 Building Act 2004
- I have prepared a notice (building approval certificate) certifying what approval requirements apply to the application and why the building approval is not prevented from being issued; and
- I have given the building approval certificate to the applicant.

In performing services as a certifier in relation to the work detailed in this application I am not in breach of my entitlement to act as a certifier in accordance with the Building Act 2004.

Full Name	Address	License Number	Expiry Date
BCA CERTIFIERS AUSTRALIA PTY LTD	13A ALTREE COURT PHILLIP ACT 2606	200714	11/01/2012

Date Issued : 23/08/2011

NOTES

Utilities

This application must also be accompanied by a Statement of Compliance from each relevant utility provider (for water, sewerage, electricity and stormwater) which confirms that the location and nature of earthworks, utility connections, proposed buildings, pavements and landscape features comply with utility standards, access provisions and asset clearance zones.

Note 1: If there is no stormwater easement or Territory owned stormwater pipes located within the property boundary, a "Statement of Compliance" for stormwater from TAMS (Asset Acceptance) is not required to be obtained.

Note 2: Where there is conflict between planning and utility requirements, the utility requirements take precedence over other codified or merit provisions.

Utilities – Demolition Only

This application must be accompanied by a Statement of Endorsement for utilities (including water, sewerage, electricity and stormwater) stating that:

- all network infrastructure on or immediately adjacent to the site has been identified on the plan
- all potentially hazardous substances and conditions (associated with or resulting from the demolition process) that may constitute a risk to utility services have been identified
- all required network disconnections have been identified and the disconnection works comply with utility requirements
- all works associated with the demolition comply with and are in accordance with utility asset access and protection requirements

Note: The documentation provided to the utility provider for endorsement must be consistent with the documentation that forms part of a development approval or the documentation verified as exempt from requiring development approval by a licensed certifier.

Asbestos Advice

If documents accompanying building approval do not include an asbestos assessment report as per the Building Act 2004, the building approval must have an Asbestos Advice attached as per the Act

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.



PART A - PROJECT DETAILS

Unit	Block	Section	Division (Suburb)	District	Jurisdiction
	1	63	KINGSTON	CANBERRA CENTRAL	Australian Capital Territory

PART B - WORKS REQUIRING BUILDING APPROVAL

Item of building work to which this Building Approval relates:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
2	Other	SEE DESCRIPTION	Mixed use development incl. 120 residential units (stage2: Completion of work)	A	6	2.2(a)(xi) 0	0.00

Work relates to the following Development Application(s):

Development Application ID	Description
201018204	Merit -
201018204	Merit -

PART C - CERTIFIERS DECLARATION

I declare that in issuing this building approval under section 28 of the Building Act 2004:

- I am satisfied on reasonable grounds that the plans meet each applicable approval requirement under section 29 and is not prevented from being issued under section 30 or section 30A
- I have supplied all documents as required under 3.3 Building Act 2004
- I have prepared a notice (building approval certificate) certifying what approval requirements apply to the application and why the building approval is not prevented from being issued; and
- I have given the building approval certificate to the applicant.

In performing services as a certifier in relation to the work detailed in this application I am not in breach of my entitlement to act as a certifier in accordance with the Building Act 2004.

Full Name	Address	License Number	Expiry Date
BCA CERTIFIERS AUSTRALIA PTY LTD	13A ALTREE COURT PHILLIP ACT 2606	200714	11/01/2013

Date Issued : 26/10/2012

NOTES

Utilities

This application must also be accompanied by a Statement of Compliance from each relevant utility provider (for water, sewerage, electricity and stormwater) which confirms that the location and nature of earthworks, utility connections, proposed buildings, pavements and landscape features comply with utility standards, access provisions and asset clearance zones.

Note 1: If there is no stormwater easement or Territory owned stormwater pipes located within the property boundary, a "Statement of Compliance" for stormwater from TAMS (Asset Acceptance) is not required to be obtained.

Note 2: Where there is conflict between planning and utility requirements, the utility requirements take precedence over other codified or merit provisions.

Utilities – Demolition Only

This application must be accompanied by a Statement of Endorsement for utilities (including water, sewerage, electricity and stormwater) stating that:

- all network infrastructure on or immediately adjacent to the site has been identified on the plan
- all potentially hazardous substances and conditions (associated with or resulting from the demolition process) that may constitute a risk to utility services have been identified
- all required network disconnections have been identified and the disconnection works comply with utility requirements
- all works associated with the demolition comply with and are in accordance with utility asset access and protection requirements

Note: The documentation provided to the utility provider for endorsement must be consistent with the documentation that forms part of a development approval or the documentation verified as exempt from requiring development approval by a licensed certifier.

Asbestos Advice

If documents accompanying building approval do not include an asbestos assessment report as per the Building Act 2004, the building approval must have an Asbestos Advice attached as per the Act

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**Certification of
Completion of Building Work**

Project ID: B20125276/B

If this application is incomplete or documentation is inadequate this application may not be accepted for lodgement and the Certificate of Occupancy and Use may not be issued.

PART A - PROJECT DETAILS

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
	1	63	CANBERRA CENTRAL	KINGSTON	Australian Capital Territory

Plan Registration Number

B20125276/A

B20125276/B

Description of Works

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Unit	BCN ID	Builder
2	Other	SEE DESCRIPTION	Mixed use development incl. 120 residential units (stage2: Completion of work)	A		B20125276N1	ANDREW CLIFFORD REDWIN

The project involved electrical work

The project involved plumbing and/or sanitary drainage work

This building work is subject to an alternative solution under BCA

PART B - CERTIFIERS DECLARATION

I am satisfied that the building work detailed in the application is complete. I hereby certify that:

- (a) I have provided all the relevant documents required by subsection 48(2) of the Building Act 2004 with this application as uploaded;
- (b) the documentation relating to the building approval has been marked in accordance with the requirements of the Building Act 2004;
- (c) The building work has been completed in accordance with the requirements of the Building Act 2004 and substantially in accordance with the approved plans;
- (d) The building or part of the building as erected or altered is structurally sufficient, sound and stable for the purposes for which it is intended to be occupied or used; and
- (e) The Registrar can issue a Certificate of Occupancy and Use

Full Name	Address	License Number	Expiry Date
BCA CERTIFIERS AUSTRALIA PTY LTD	13A ALTREE COURT PHILLIP ACT 2606	200714	11/01/2014

Date Issued: 16/07/2013 5:45:11 PM

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.



ACT
Government

Environment and
Sustainable Development

Certificate of Occupancy and Use

Certificate No.: **B20125276C2**

Planning and Land Authority

ABN 46 346 672 655
8 Darling Street Mitchell
GPO Box 1908 ACT 2601
www.actpla.act.gov.au

This Certificate is issued in accordance with Section 69 (2) of the Building Act 2004.

The building work listed on this certificate has been completed substantially in accordance with the prescribed requirements and is considered fit for occupation and use.

Unit	Block	Section	Division (Suburb)	District	Jurisdiction
	1	63	KINGSTON	CANBERRA CENTRAL	Australian Capital Territory

Plans
B20125276/A
B20125276/B

Building Works

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Const.	Unit	BCN ID	Builder
2	Other	SEE DESCRIPTION	Mixed use development incl. 120 residential units (stage2: Completion of work)	A		B20125276N1	ANDREW CLIFFORD REDWIN

Comments

Important Note:

also including BCA Occupancy Classes 5, 6 and 7a and associated site works This building work incorporates an alternative solution to the Building Code of Australia (BCA). Refer to the approval documentation for further information.

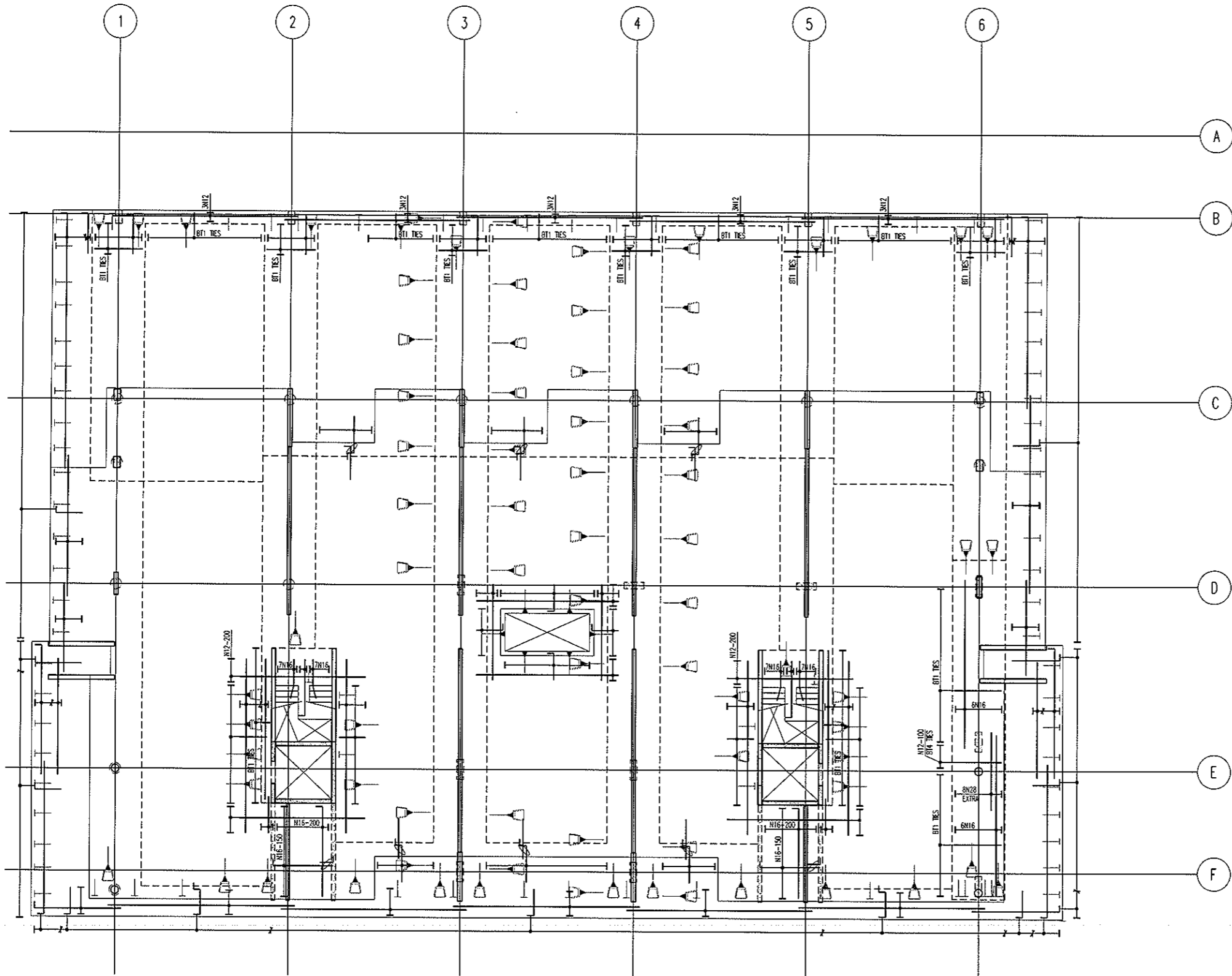
1. Residential building statutory warranties and residential insurance do not apply in relation to building work.
2. The issue, under this Part, of a certificate in respect of a building or portion of a building does not affect the liability of a person to comply with the provisions of a law of the territory (including this Act) relating to the building or portion of the building.

Issued by: Kassandra Keppell

Issued on: 17/07/2013

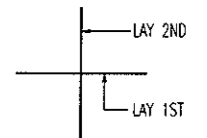
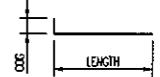
Delegate of the ACT Construction
Occupations Registrar.

ARCHITECTURAL BACKGROUNDS, SHOWN LIGHT, ARE FOR INFORMATION ONLY. REFER TO CURRENT ARCHITECTURAL DRAWINGS FOR EXACT SETOUT & DETAILS

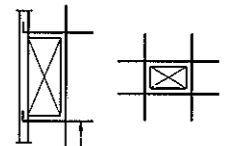


**LEVEL 1 NORTH
BOTTOM REINFORCEMENT PLAN**
SCALE: 1:100

- NOTES:
- REFER TO DRAWING No 5001 FOR CONSTRUCTION NOTES
 - REFER TO DRAWING No 5001 FOR ADDITIONAL NOTES
 - WHERE REINFORCEMENT SHOWN IN ONE DIRECTION ONLY PROVIDE N12-450 SUPPORT BARS TYPICAL UNO
 - ALL COGS TO BE 150mm



BAR LAYING SEQUENCE U.N.O.



2N16 EACH SIDE
EXTEND 900 PAST OPENING
COG 300 AT WALLS ETC.
TYPICAL TRIMMER DETAIL
PROVIDE TRIMMERS AT ALL PENETRATIONS, PITS, ETC

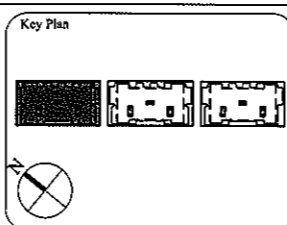
BCA certifiers
ABN: 58 119 755 734

NOTE: ALL REINFORCEMENT SHOWN IS N12-300 TYP. U.N.O. ON PLAN

23 AUG 2011
Date Issued 48
BUILDING APPROVAL
Issued under s.28 of the Building Act 2004
BCA CERTIFIERS AUSTRALIA PTY LTD
Lic. No: 200714

BAND TIE TYPE SCHEDULE	
MARK	TYPE
BT1	
BT2	
BT3	
BT4	

No	Revision	Date	No	Revision	Date	No	Revision	Date
1	ISSUE FOR INFORMATION	06.05.11						
A	ISSUE FOR CONSTRUCTION	19.07.11						



1:1 SCALE

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CANBERRA
UNIT 17, LEVEL 2
18 BRINDABELLA CIRCUIT
NORTH SYDNEY NSW 2060
Ph: (02) 6257 2614
Fax: (02) 6257 1723
Email: canberra@awtcc.net.au

SYDNEY
SUITE 301, 100 MOUNT ST
NORTH SYDNEY NSW 2060
Ph: (02) 9922 2466
Fax: (02) 9922 3705
Email: sydney@awtcc.net.au

Client
THE DOMA GROUP

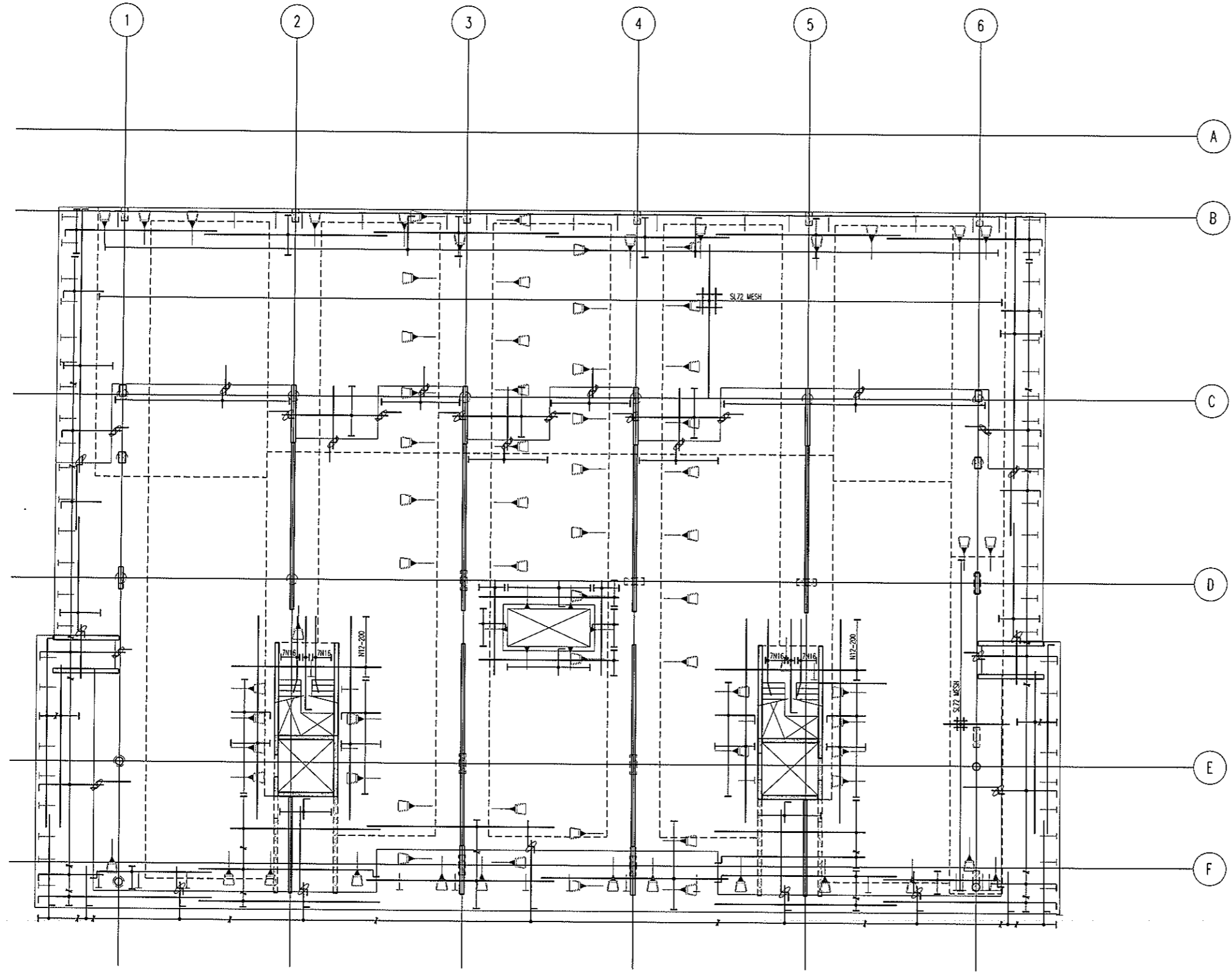
Project
DOCKSIDE APARTMENTS
BLOCK 1 SECTION 63
KINGSTON

Drawn: A.W.T. Engineer: A.Z. Scale: 1:100 @ A1, 1:200 @ A3

Drawing Title
**LEVEL 1 NORTH
BOTTOM REINFORCEMENT PLAN**

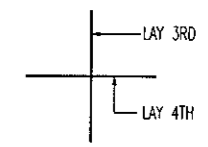
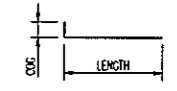
Job No: 109260 Drawing No: S432 Rev: A

ARCHITECTURAL BACKGROUNDS SHOWN LIGHT, ARE FOR INFORMATION ONLY. REFER TO CURRENT ARCHITECTURAL DRAWINGS FOR EXACT SETOUT & DETAILS

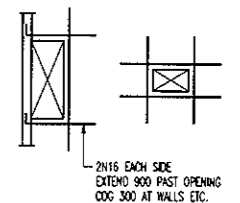


**LEVEL 1 NORTH
TOP REINFORCEMENT PLAN**
SCALE 1:100

- NOTES:
- REFER TO DRAWING No S001 FOR CONSTRUCTION NOTES
 - REFER TO DRAWING No S001 FOR ADDITIONAL NOTES
 - WHERE REINFORCEMENT SHOWN IN ONE DIRECTION ONLY PROVIDE N12-450 SUPPORT BARS TYPICAL UNO
 - ALL COGS TO BE 150mm



BAR LAYING SEQUENCE U.N.O.



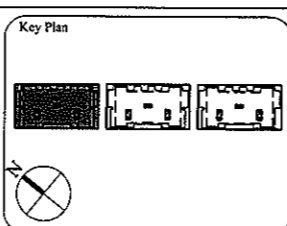
TYPICAL TRIMMER DETAIL
PROVIDE TRIMMERS AT ALL PENETRATIONS, PITS, ETC

NOTE: ALL REINFORCEMENT SHOWN IS N12-300 TYP. U.N.O. ON PLAN

BCA certifiers
ABN: 58 119 755 734

23 AUG 2011
Date Issued *49*
BUILDING APPROVAL
Issued under s.28 of the Building Act 2004
BCA CERTIFIERS AUSTRALIA PTY LTD
Lic. No: 200714

No	Revision	Date	No	Revision	Date	No	Revision	Date
1	ISSUE FOR INFORMATION	06.05.11						
A	ISSUE FOR CONSTRUCTION	19.07.11						



1:1 SCALE 0 1 2 3 4 5 6 7 8 9 10

AWT
CONSULTING ENGINEERS
CANTBERRA
UNIT 17, LEVEL 2
18 BRINDABELLA CIRCUIT
CANTBERRA AIRPORT 2609
Ph: (02) 6257 2614
Fax: (02) 6257 1723
Email: cantberra@awtce.net.au

AWT
SYDNEY
SUITE 301, 100 MOUNT ST
NORTH SYDNEY NSW 2060
Ph: (02) 9922 2466
Fax: (02) 9922 3705
Email: sydney@awtce.net.au

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Client
THE DOMA GROUP

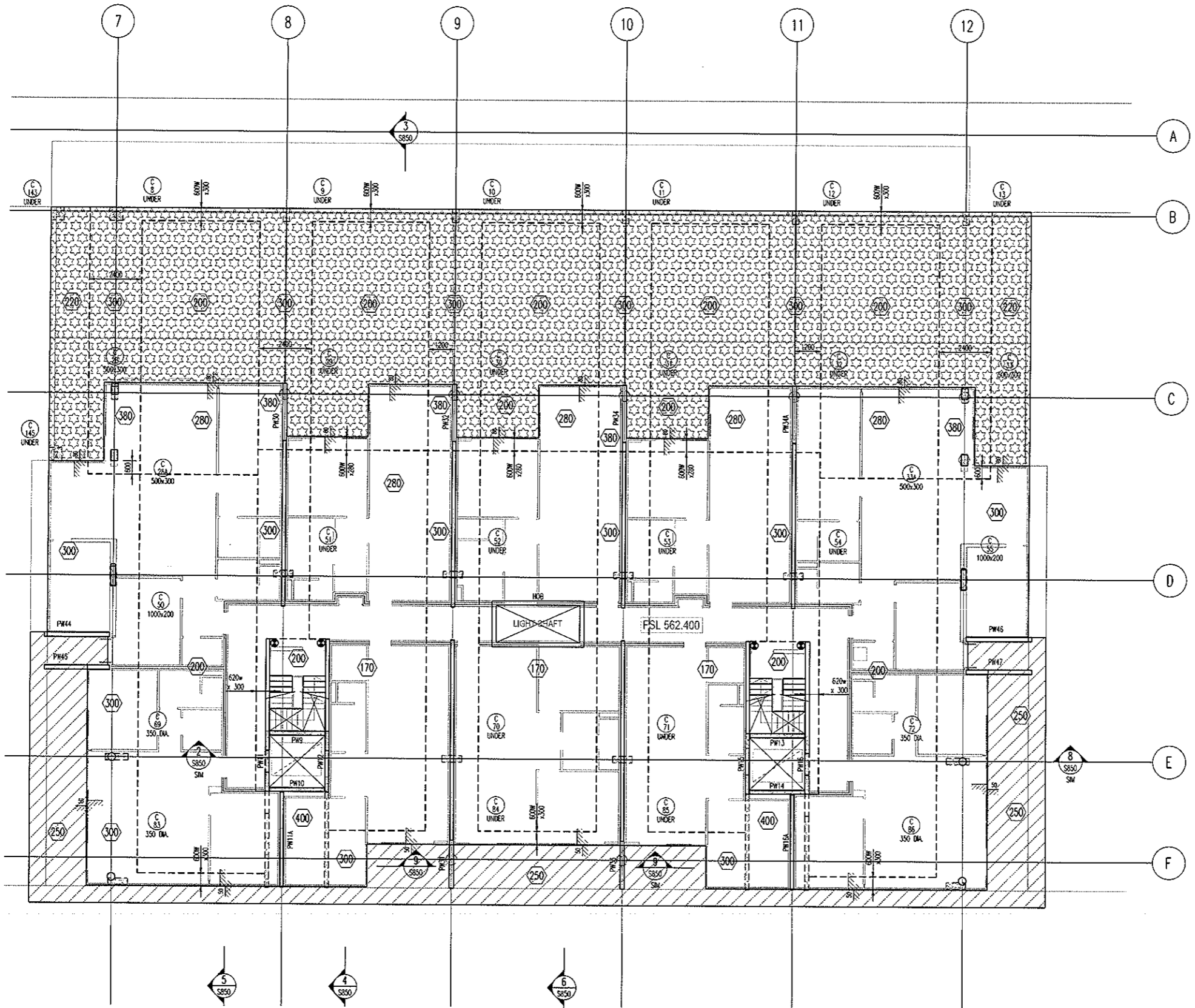
Project
DOCKSIDE APARTMENTS
BLOCK 1 SECTION 63
KINGSTON

Drawn: A.W.T
Engineer: A.Z
Scale: 1:100 @ A1
1:200 @ A3

Drawing Title
**LEVEL 1 NORTH
TOP REINFORCEMENT PLAN**

Job No: 109260
Drawing No: S433
Rev: A

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LEVEL 1 MID MARKING PLAN
SCALE 1:100

200 THICK SLAB, TYPICAL U.N.O. ON PLAN
2400Wx300 BANDS, TYPICAL U.N.O. ON PLAN

- NOTES:**
- REFER TO DRAWING No S201 FOR CONSTRUCTION NOTES
 - REFER TO DRAWING No S001 FOR CONCRETE STRENGTHS
 - REFER TO S010 SERIES DRAWINGS FOR DESIGN LOADS
 - ALL FALLS TO ARCHITECTS DETAILS
 - REFER TO ARCHITECTS DRAWINGS FOR ALL CHAMFERS, REBATES AND RECESSES
 - REFER TO PLAN AND SECTIONS FOR ADDITIONAL REINFORCEMENT
7. DENOTES ANCHOR LOCATION. REFER TO DRAWING No S411 FOR SETOUT
8. DENOTES COLUMN NUMBER (HATCHING IS FOR DESIGN PURPOSES ONLY)
 DENOTES COLUMN SIZE
9. DENOTES LOADBEARING WALL OR COLUMN OVER
10. DENOTES LOADBEARING WALL OR COLUMN UNDER

SETDOWN LEGEND

HATCH	DEPTH
	50mm
	70mm
	80mm
	100mm
	150mm

• DENOTES WALLS TO BE PROPPED UNTIL LEVEL 3 IS FINAL STRESSED

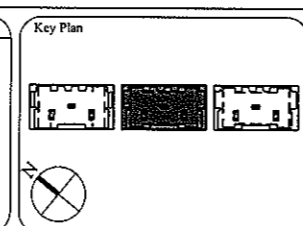
BCA certifiers
AEN: 58 119 755 734

23 AUG 2011
Date Issued 50

BUILDING APPROVAL
Issued under s.28 of the Building Act 2004

BCA CERTIFIERS AUSTRALIA PTY LTD
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No	Revision	Date	No	Revision	Date	No	Revision	Date
1	ISSUE FOR INFORMATION	06.05.11						
A	ISSUE FOR CONSTRUCTION	19.07.11						



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Project
DOCKSIDE APARTMENTS

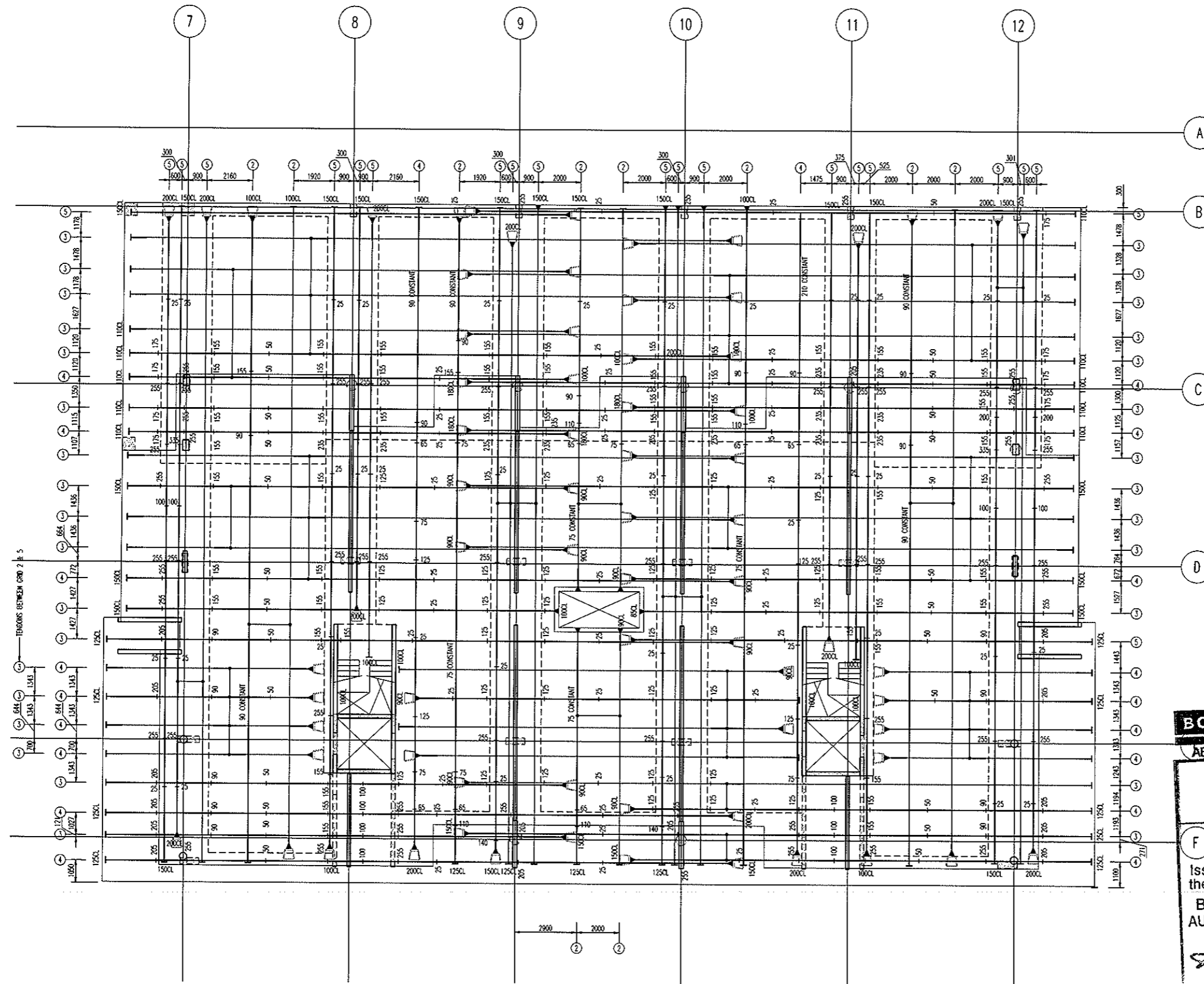
BLOCK 1 SECTION 63
KINGSTON

Drawn A.W.T	Engineer A.Z	Scale 1:100 @ A1 1:200 @ A3
----------------	-----------------	-----------------------------------

Drawing Title
LEVEL 1 MID MARKING PLAN

Job No 109260	Drawing No S435	Rev A
------------------	--------------------	----------

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ALL STRAND TO BE 12.7mm DIA.
7 WIRE SUPER GRADE LOW RELAXATION STRAIN TO AS1311

**LEVEL 1 MID
POST-TENSION PLAN**
SCALE 1:100

- NOTES:**
- Tendons shall be stressed to the following jacking forces unless noted otherwise:
12.7mm strand tendons = 156 kN (85% UTS) per strand.
15.2mm strand tendons = 212 kN (85% UTS) per strand.
 - Concrete test cylinders used for assessing strength for tensioning are to be site cured in similar conditions to the concrete element being stressed.
 - Stressing sequence (12.7 Strand)
Initial stress: After 24 hours minimum and at concrete strength = 7mPa.
Jack each strand to 25% of final stress.
Final stress: After 5 days minimum and at concrete strength = 22mPa.
Jack each strand to 85% UTS.
 - Stressing sequence (15.2 Strand)
Initial stress: After 24 hours minimum and at concrete strength = 9mPa.
Jack each strand to 25% of final stress.
Final stress: After 5 days minimum and at concrete strength = 25mPa.
Jack each strand to 85% UTS.
 - REFER TO DRAWING NO S001 FOR CONSTRUCTION NOTES
 - REFER TO DRAWING NO S001 FOR ADDITIONAL NOTES
 - ENSURE MINIMUM 100mm CLEAR COVER BETWEEN CABLES & PENETRATIONS
 - ENSURE HORIZONTAL BENDS IN CABLES OCCUR NO CLOSER THAN 500mm TO THE CORNER OF ANY PENETRATION
 - LOCALLY DISPLACE REINFORCEMENT TO ALLOW CORRECT DRAPE OF POST-TENSIONING CABLES
 - S & CHAIR HEIGHTS DENOTED THUS * ARE MEASURED FROM THE SOFFIT OF THE SLAB/BASE IN WHICH THE CABLE RUNS
 - ALL HEIGHTS MEASURED TO UNDERSIDE OF DUCTS
HEIGHTS MEASURED TO CENTRELINE OF ANCHORS NOTED ON PLAN

- LEGEND:**
- ON PLAN DENOTES LIVE END
 - ON PLAN DENOTES DEAD END
 - ON PLAN DENOTES COUPLER
 - ON PLAN DENOTES STRESSING PAN
 - ON PLAN DENOTES 1 No STRAND TO DROP OFF WHERE POSITIONED
 - 100 DENOTES TENSION NUMBER
 - 100 DENOTES NUMBER OF STRANDS IN DUCT
 - 100 DENOTES 4No STRANDS CONTINUE THRU TO DEAD END PLUS 1 No STRAND TO DROP OFF WHERE POSITIONED

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ABN: 58 119 755 734

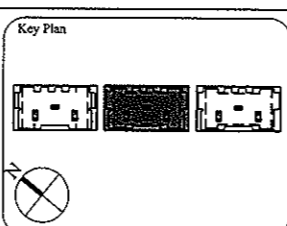
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MEASURED QUANTITIES	
STRESSING	5.1 TONNE
STRESSING TOTAL FLOOR ALLOWANCE	16.1 TONNE
STRESSING TENDER ALLOWANCE	15.0 TONNE

MEASURED FROM ANCHOR TO ANCHOR
NO ALLOWANCE FOR DRAPE OR WASTAGE.

FOR POST-TENSION ANCHORAGE DETAILS REFER TO DRAWING S800

No	Revision	Date	No	Revision	Date
A	ISSUE FOR TENDER	05.05.11			
B	ISSUE FOR CONSTRUCTION	19.07.11			



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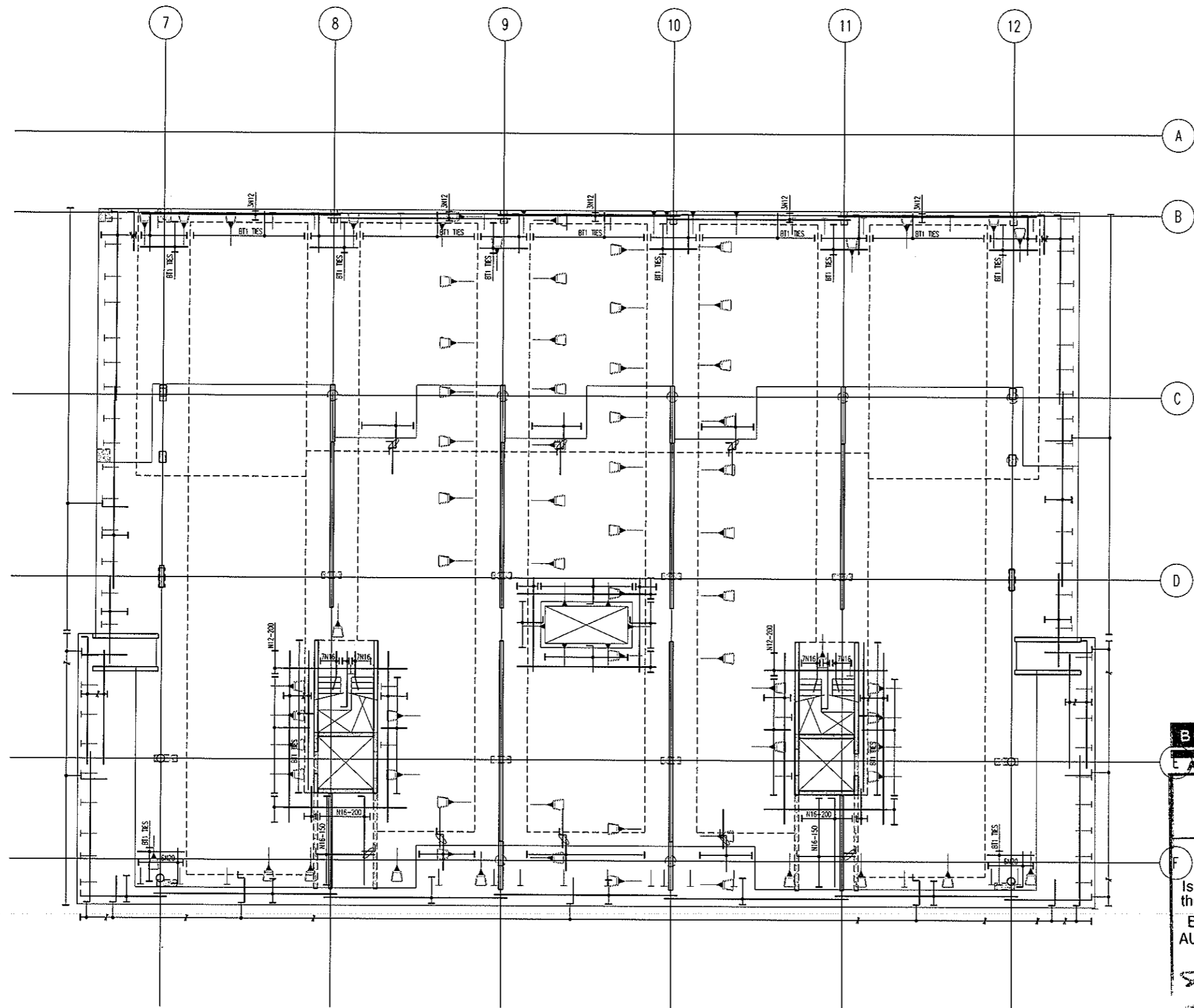
Project
DOCKSIDE APARTMENTS
BLOCK 1 SECTION 63
KINGSTON

Drawn: A.W.T
Engineer: A.Z
Scale: 1:100 @ A1
1:200 @ A3

Drawing Title
**LEVEL 1 MID
POST-TENSION PLAN**

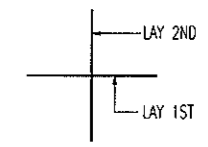
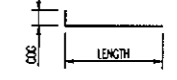
Job No: 109260
Drawing No: S436
Rev: B

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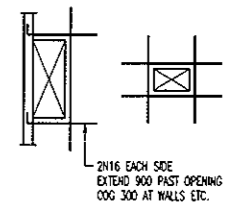


**LEVEL 1 MID
BOTTOM REINFORCEMENT PLAN**
SCALE 1:100

- NOTES:
- REFER TO DRAWING No S001 FOR CONSTRUCTION NOTES
 - REFER TO DRAWING No S001 FOR ADDITIONAL NOTES
 - WHERE REINFORCEMENT SHOWN IN ONE DIRECTION ONLY PROVIDE N12-450 SUPPORT BARS TYPICAL UNO
 - ALL COGS TO BE 150mm



BAR LAYING SEQUENCE U.N.O.



TYPICAL TRIMMER DETAIL
PROVIDE TRIMMERS AT ALL PENETRATIONS, PITS, ETC

NOTE: ALL REINFORCEMENT SHOWN IS N12-300 TYP. U.N.O. ON PLAN

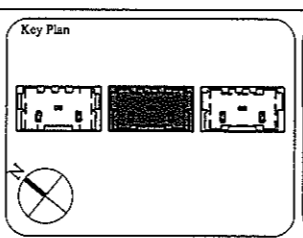
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BAND TIE TYPE SCHEDULE	
MARK	TYPE
B71	[Diagram]
B72	[Diagram]
B73	[Diagram]
B74	[Diagram]

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1	ISSUE FOR INFORMATION	04.07.11			
A	ISSUE FOR CONSTRUCTION	19.07.11			



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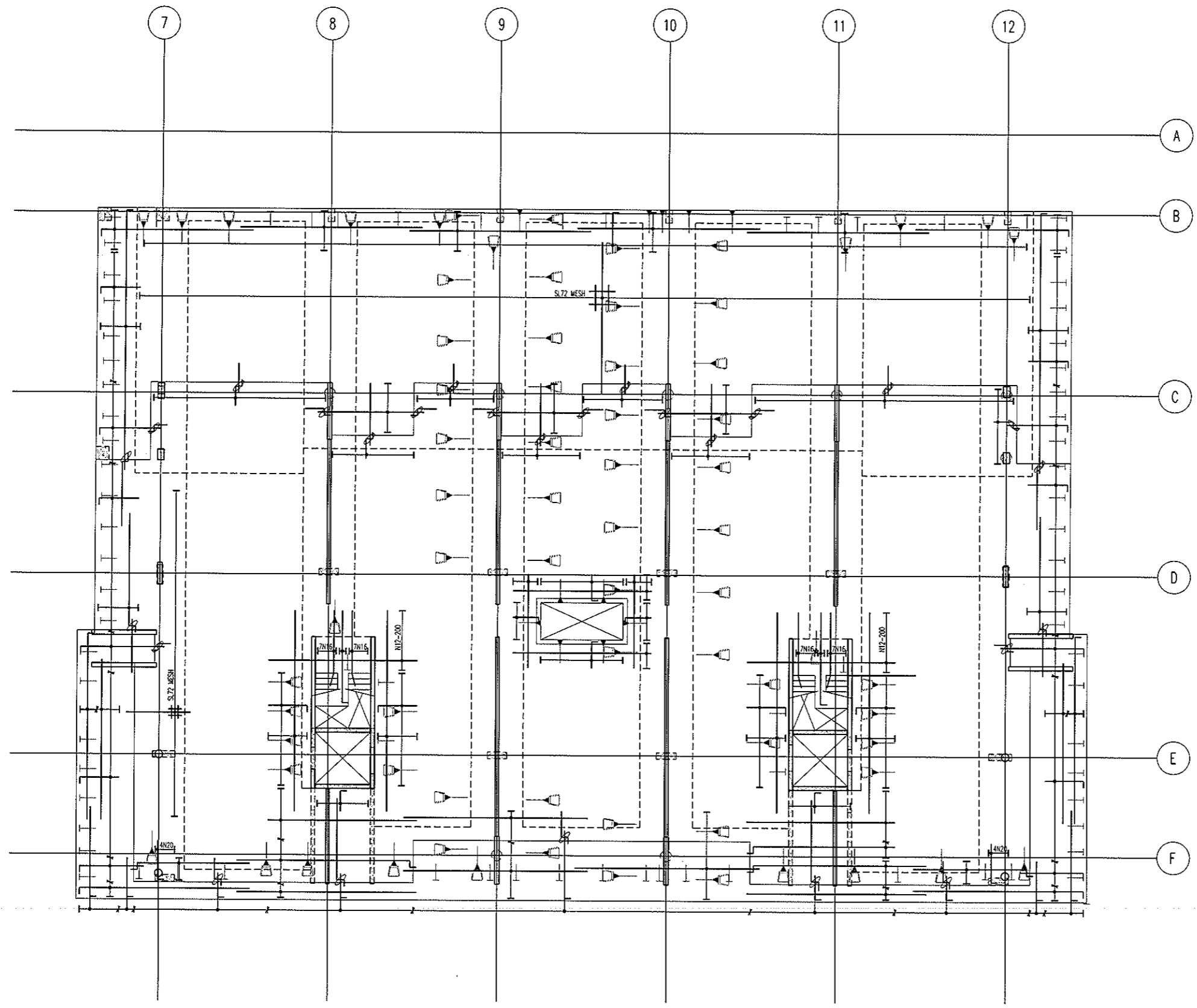
Project
DOCKSIDE APARTMENTS
BLOCK 1 SECTION 63
KINGSTON

Drawn: A.W.T. Engineer: A.Z. Scale: 1:100 @ A1, 1:200 @ A3

Drawing Title
**LEVEL 1 MID
BOTTOM REINFORCEMENT PLAN**

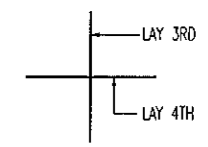
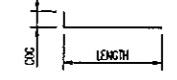
Job No: 109260 Drawing No: S437 Rev: A

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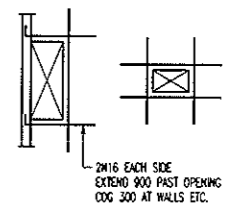


**LEVEL 1 MID
TOP REINFORCEMENT PLAN**
SCALE 1:100

- NOTES:
1. REFER TO DRAWING No S001 FOR CONSTRUCTION NOTES
 2. REFER TO DRAWING No S001 FOR ADDITIONAL NOTES
 3. WHERE REINFORCEMENT SHOWN IN ONE DIRECTION ONLY PROVIDE N12-450 SUPPORT BARS TYPICAL U.N.O.
 4. ALL COGS TO BE 150mm



BAR LAYING SEQUENCE U.N.O.



TYPICAL TRIMMER DETAIL
PROVIDE TRIMMERS AT ALL PENETRATIONS, PITS, ETC.

NOTE: ALL REINFORCEMENT SHOWN IS N12-300 TYP. U.N.O. ON PLAN

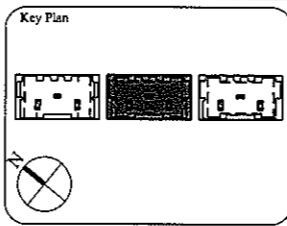
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ABN: 58 119 755 734

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1	ISSUE FOR INFORMATION	04.07.11						
A	ISSUE FOR CONSTRUCTION	19.07.11						



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Project
DOCKSIDE APARTMENTS

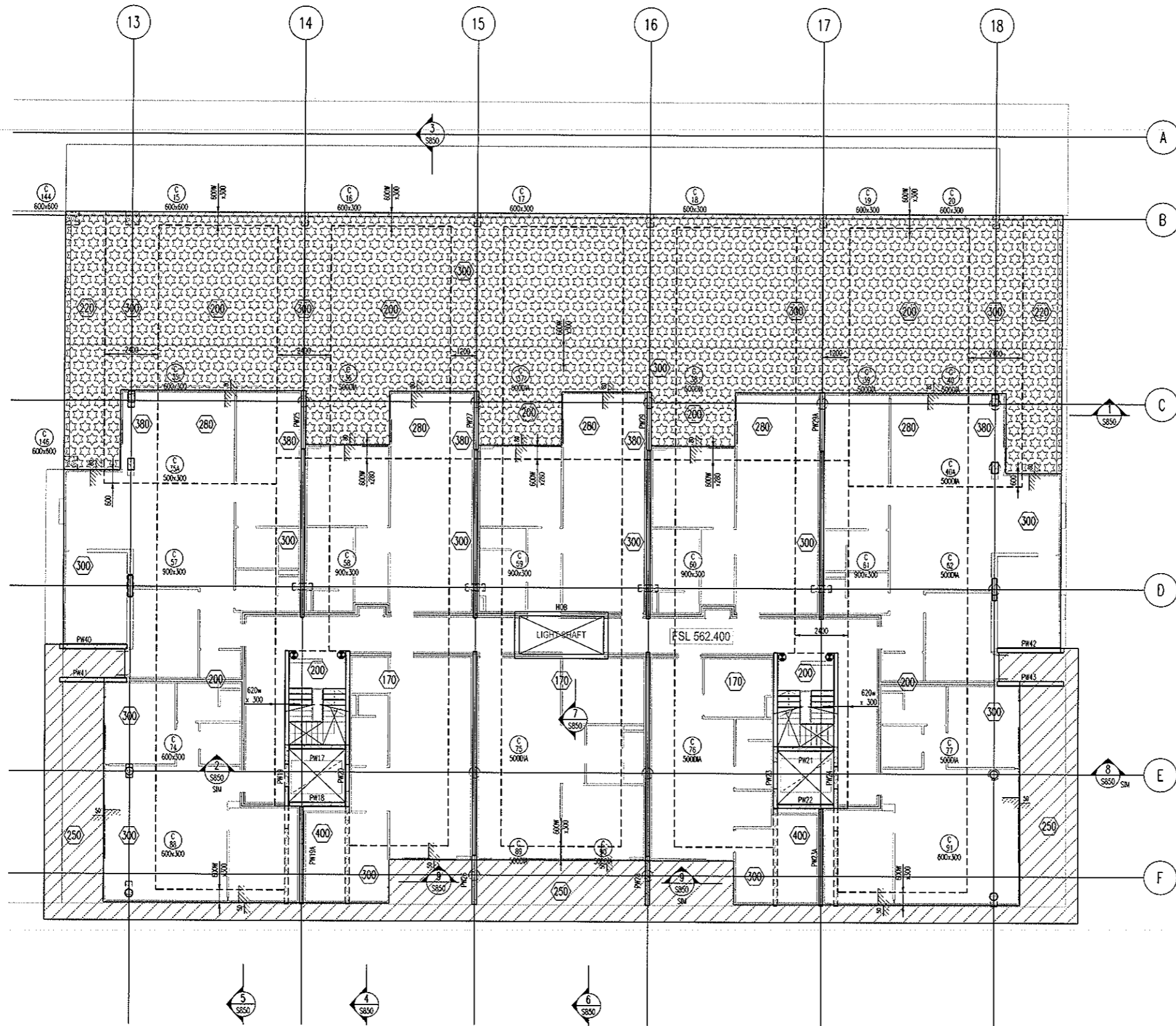
BLOCK 1 SECTION 63
KINGSTON

Drawn: A.W.T. Engineer: A.Z. Scale: 1:100 @ A1, 1:200 @ A3

Drawing Title
**LEVEL 1 MID
TOP REINFORCEMENT PLAN**

Job No: 109260 Drawing No: S438 Rev: A

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LEVEL 1 SOUTH MARKING PLAN
SCALE 1:100

200 THICK SLAB, TYPICAL U.N.O. ON PLAN
2400Wx300 BANDS, TYPICAL U.N.O. ON PLAN

- NOTES:
- REFER TO DRAWING No S001 FOR CONSTRUCTION NOTES
 - REFER TO DRAWING No S001 FOR CONCRETE STRENGTHS
 - REFER TO S010 SERIES DRAWINGS FOR DESIGN LOADS
 - ALL FALLS TO ARCHITECTS DETAILS
 - REFER TO ARCHITECTS DRAWINGS FOR ALL CHAMFERS, RESISTS AND RECESSES
 - REFER TO PLAN AND SECTIONS FOR ADDITIONAL REINFORCEMENT

- DENOTES ANCHOR LOCATION. REFER TO DRAWING No S411 FOR SETOUT
- DENOTES COLUMN NUMBER (MATCHING IS FOR DESIGN PURPOSES ONLY)
 DENOTES COLUMN SIZE
- DENOTES LOADBEARING WALL OR COLUMN OVER
- DENOTES LOADBEARING WALL OR COLUMN UNDER

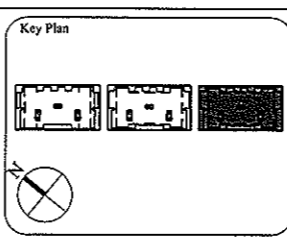
HATCH	DEPTH
	50mm
	70mm
	80mm
	100mm
	150mm

● DENOTES WALLS TO BE PROPPED UNTIL LEVEL 3 IS FINAL STRESSED

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1	ISSUE FOR INFORMATION	06.05.11			
A	ISSUE FOR CONSTRUCTION	19.07.11			



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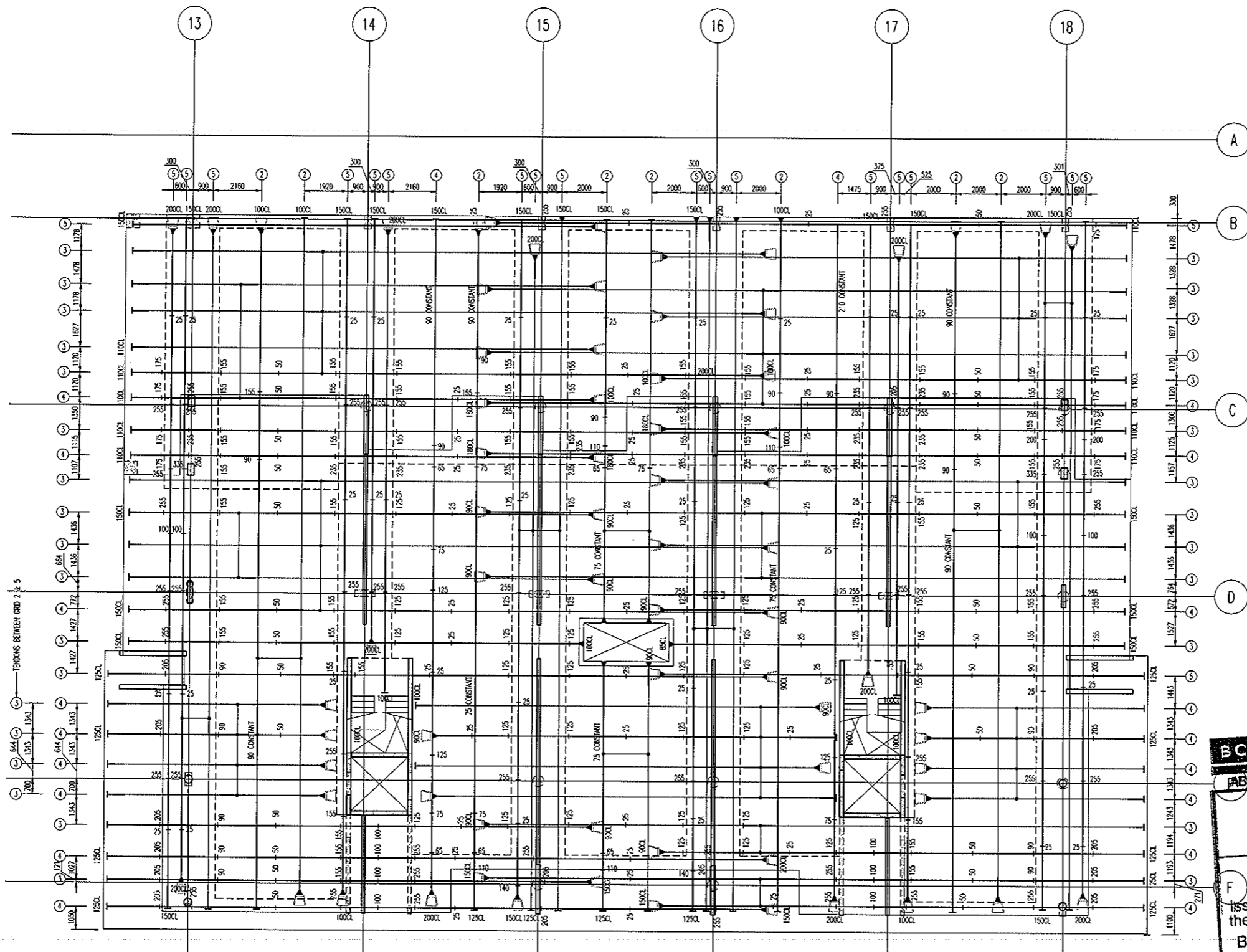
Project
DOCKSIDE APARTMENTS
BLOCK 1 SECTION 63
KINGSTON

Drawn: A.W.T. Engineer: A.Z. Scale: 1:100 @ A1, 1:200 @ A3

Drawing Title
LEVEL 1 SOUTH MARKING PLAN

Job No: 109260 Drawing No: S440 Rev: A

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ALL STRAND TO BE 12.7mm DIA.
7 WIRE SUPER GRADE LOW RELAXATION STRAIN TO AS1311

**LEVEL 1 SOUTH
POST-TENSION PLAN**
SCALE 1:100

- NOTES:**
- Tendons shall be stressed to the following jacking forces unless noted otherwise:
12.7mm strand tendons = 156 kN (85% UTS) per strand.
15.2mm strand tendons = 212 kN (85% UTS) per strand.
 - Concrete test cylinders used for assessing strength for tensioning are to be site cured in similar conditions to the concrete element being stressed.
 - Stressing sequence (12.7 Strand)
Initial stress: After 24 hours minimum and at concrete strength = 7mPa.
Jack each strand to 25% of final stress.
Final stress: After 5 days minimum and at concrete strength = 22mPa.
Jack each strand to 85% UTS.

Stressing sequence (15.2 Strand)
Initial stress: After 24 hours minimum and at concrete strength = 9mPa.
Jack each strand to 25% of final stress.
Final stress: After 5 days minimum and at concrete strength = 25mPa.
Jack each strand to 85% UTS.
 - REFER TO DRAWING No 5001 FOR CONSTRUCTION NOTES
 - REFER TO DRAWING No 5001 FOR ADDITIONAL NOTES
 - ENSURE MINIMUM 100mm CLEAR COVER BETWEEN CABLES & PENETRATIONS
 - ENSURE HORIZONTAL BENDS IN CABLES OCCUR NO CLOSER THAN 500mm TO THE CORNER OF ANY PENETRATION
 - LOCALLY DISPLACE REINFORCEMENT TO ALLOW CORRECT DRAPE OF POST-TENSIONING CABLES
 - C'S & CHAR HEIGHTS DENOTED THIS # ARE MEASURED FROM THE SOFFIT OF THE SLAB/BEAM IN WHICH THE CABLE RUNS
 - ALL HEIGHTS MEASURED TO UNDERSIDE OF DUCTS
HEIGHTS MEASURED TO CENTRELINE OF ANCHORS NOTED ON PLAN

- LEGEND:**
- ON PLAN DENOTES LIVE END
 - ON PLAN DENOTES DEAD END
 - ON PLAN DENOTES COUPLER
 - ON PLAN DENOTES STRESSING PAN
 - ON PLAN DENOTES 1 No STRAND TO DROP OFF WHERE POSITIONED
 - 100 DENOTES TENDON NUMBER
 - 100 DENOTES NUMBER OF STRANDS IN DUCT
 - 100 DENOTES 4No STRANDS CONTINUE THRU TO DEAD END PLUS 1 No STRAND TO DROP OFF WHERE POSITIONED

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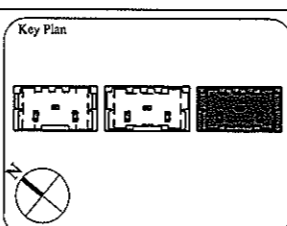
MEASURED QUANTITIES

STRESSING	5.1 TONNE
STRESSING TOTAL FLOOR	16.1 TONNE
STRESSING TENDER ALLOWANCE	15.0 TONNE

MEASURED FROM ANCHOR TO ANCHOR
NO ALLOWANCE FOR DRAPE OR WASTAGE.

FOR POST-TENSION ANCHORAGE DETAILS REFER TO DRAWING S800

No	Revision	Date	No	Revision	Date
A	ISSUE FOR TENDER	05.05.11			
B	ISSUE FOR CONSTRUCTION	19.07.11			



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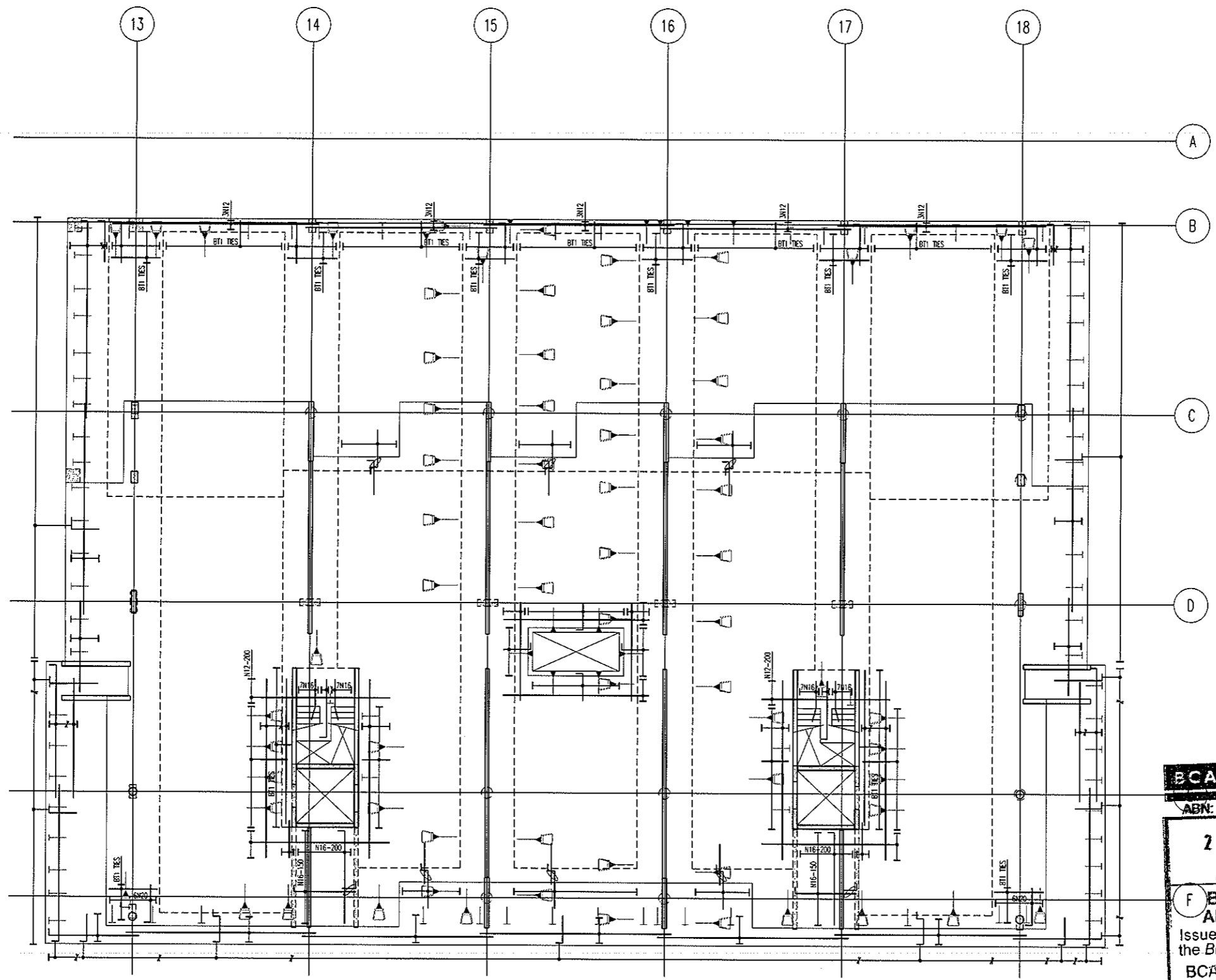
Project
DOCKSIDE APARTMENTS
BLOCK 1 SECTION 63
KINGSTON

Drawn: A.W.T
Engineer: AZ
Scale: 1:100 @ A1
1:200 @ A3

Drawing Title
**LEVEL 1 SOUTH
POST-TENSION PLAN**

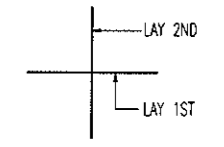
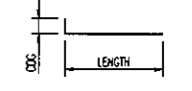
Job No: 109260
Drawing No: S441
Rev: B

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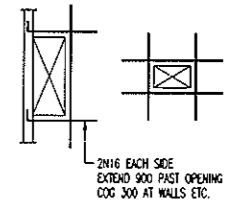


**LEVEL 1 SOUTH
BOTTOM REINFORCEMENT PLAN**
SCALE 1:100

- NOTES:
- REFER TO DRAWING No S001 FOR CONSTRUCTION NOTES
 - REFER TO DRAWING No S001 FOR ADDITIONAL NOTES
 - WHERE REINFORCEMENT SHOWN IN ONE DIRECTION ONLY PROVIDE N12-450 SUPPORT BARS TYPICAL UNO
 - ALL COCS TO BE 150mm



BAR LAYING SEQUENCE U.N.O.



TYPICAL TRIMMER DETAIL
PROVIDE TRIMMERS AT ALL PENETRATIONS, PITS, ETC

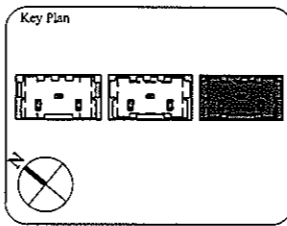
NOTE: ALL REINFORCEMENT SHOWN IS N12-300 TYP. U.N.O. ON PLAN

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BAND TIE TYPE SCHEDULE	
MARK	TYPE
BT1	
BT2	
BT3	
BT4	

No	Revision	Date	No	Revision	Date	No	Revision	Date
1	ISSUE FOR INFORMATION	04.07.11						
A	ISSUE FOR CONSTRUCTION	19.07.11						



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Client
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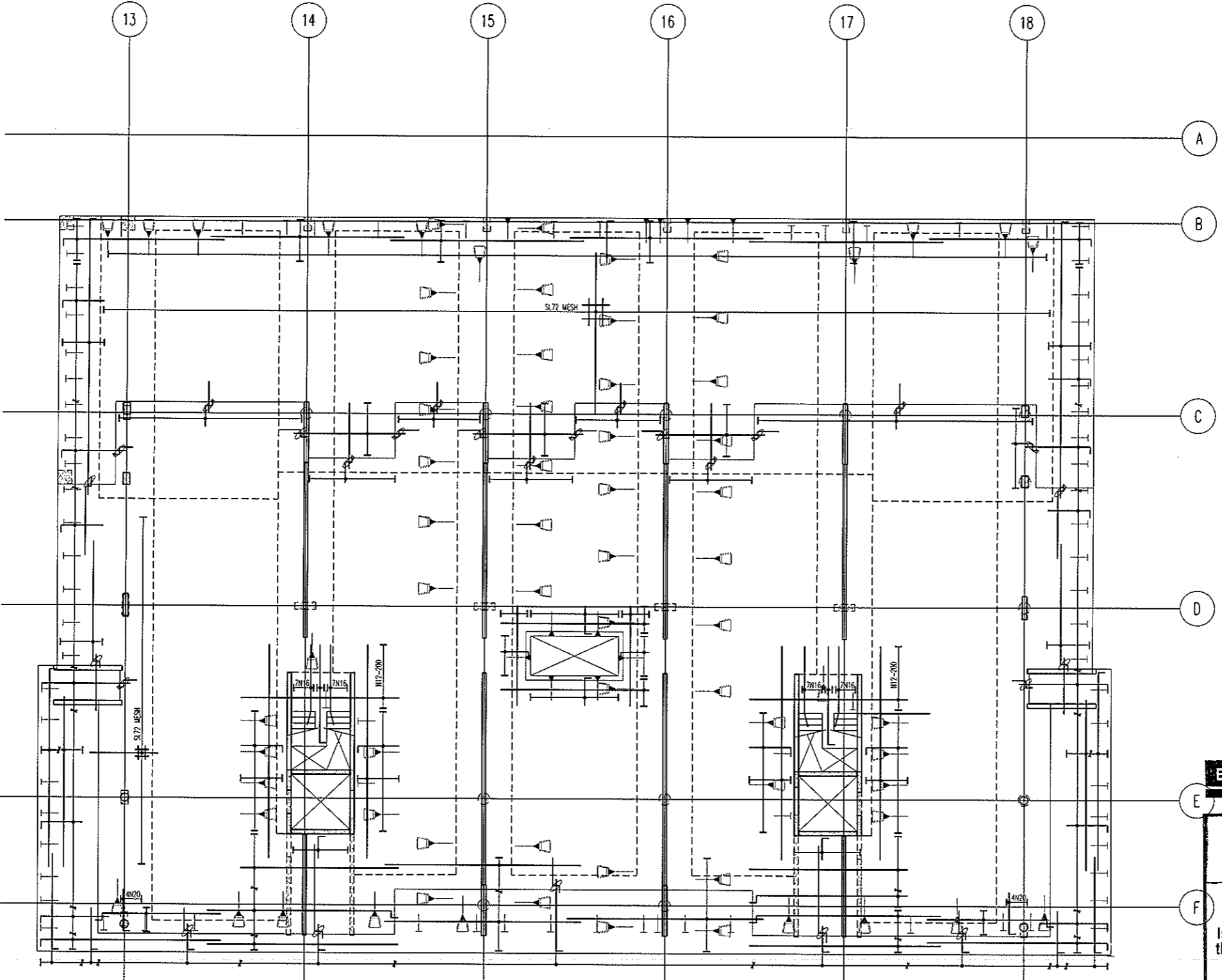
Project
DOCKSIDE APARTMENTS
BLOCK 1 SECTION 63
KINGSTON

Drawn: A.W.T
Engineer: A.Z
Scale: 1:100 @ A1
1:200 @ A3

Drawing Title
**LEVEL 1 SOUTH
BOTTOM REINFORCEMENT PLAN**

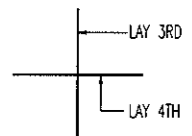
Job No: 109260
Drawing No: S442
Rev: A

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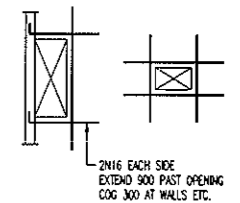


**LEVEL 1 SOUTH
TOP REINFORCEMENT PLAN**
SCALE 1:100

- NOTES:
- REFER TO DRAWING No S001 FOR CONSTRUCTION NOTES
 - REFER TO DRAWING No S001 FOR ADDITIONAL NOTES
 - WHERE REINFORCEMENT SHOWN IN ONE DIRECTION ONLY PROVIDE N12-450 SUPPORT BARS TYPICAL UNO
 - ALL COGS TO BE 150mm



BAR LAYING SEQUENCE U.N.O.



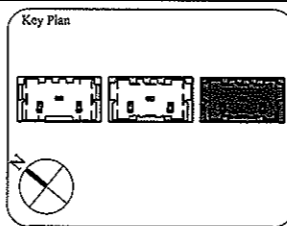
TYPICAL TRIMMER DETAIL
PROVIDE TRIMMERS AT ALL PENETRATIONS, PITS, ETC

NOTE: ALL REINFORCEMENT SHOWN 12-300 TYP. U.N.O. ON PLAN

BCA certifiers
ABN: 58 119 755 734

23 AUG 2011
Date Issued 57
BUILDING APPROVAL
Issued under s.28 of the Building Act 2004
BCA CERTIFIERS AUSTRALIA PTY LTD
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No	Revision	Date	No	Revision	Date	No	Revision	Date
1	ISSUE FOR INFORMATION	04.07.11						
A	ISSUE FOR CONSTRUCTION	19.07.11						



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Project
DOCKSIDE APARTMENTS
BLOCK 1 SECTION 63
KINGSTON

Drawn: A.W.T. Engineer: A.Z. Scale: 1:100 @ A1, 1:200 @ A3

Drawing Title
**LEVEL 1 SOUTH
TOP REINFORCEMENT PLAN**

Job No: 109260 Drawing No: S443 Rev: A

ARCHITECTURAL BACKGROUNDS, SHOWN LIGHT, ARE FOR INFORMATION ONLY. REFER TO CURRENT ARCHITECTURAL DRAWINGS FOR EXACT SETOUT & DETAILS.

LEVEL 2 NORTH MARKING PLAN
SCALE 1:100

200 THICK SLAB. TYPICAL U.N.O. ON PLAN

- NOTES:**
- REFER TO DRAWING No S001 FOR CONSTRUCTION NOTES
 - REFER TO DRAWING No S001 FOR CONCRETE STRENGTHS
 - REFER TO S010 SERIES DRAWINGS FOR DESIGN LOADS
 - ALL FALLS TO ARCHITECTS DETAILS
 - REFER TO ARCHITECTS DRAWINGS FOR ALL CHAMFERS, REBATES AND RECESSES
 - REFER TO PLAN AND SECTIONS FOR ADDITIONAL REINFORCEMENT
7. DENOTES ANCHOR LOCATION. REFER TO DRAWING No S446 FOR SETOUT
8. DENOTES COLUMN NUMBER (HATCHING IS FOR DESIGN PURPOSES ONLY)
 DENOTES COLUMN SIZE
9. DENOTES LOADBEARING WALL OR COLUMN OVER
10. DENOTES LOADBEARING WALL OR COLUMN UNDER

SETDOWN LEGEND

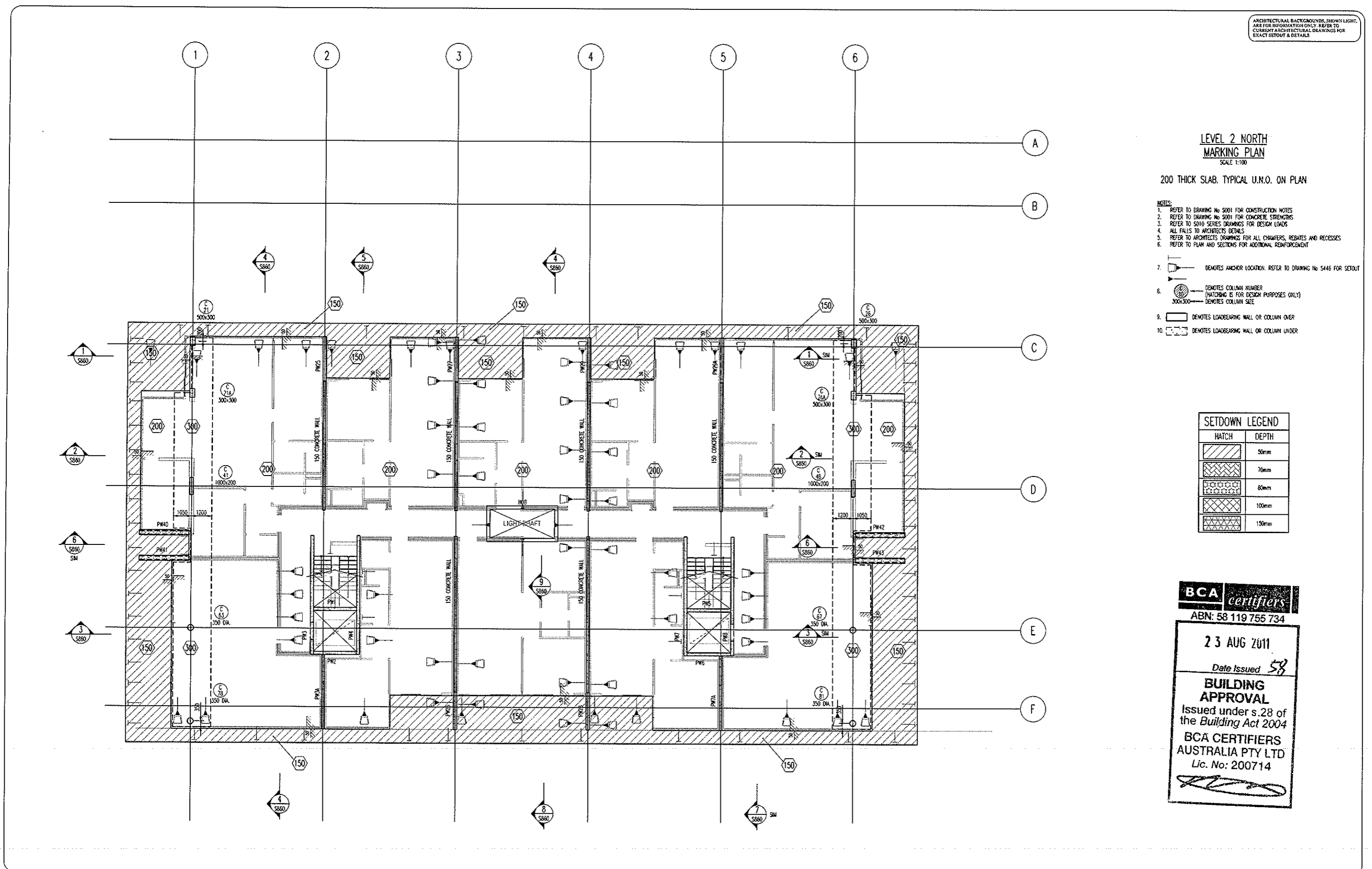
HATCH	DEPTH
	50mm
	70mm
	80mm
	100mm
	150mm

BCA certifiers
ABN: 58 119 755 734

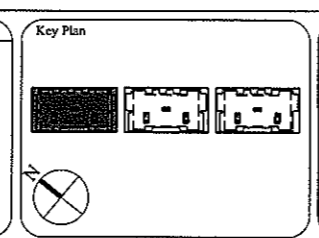
23 AUG 2011
Date Issued *58*

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No	Revision	Date	No	Revision	Date	No	Revision	Date
1	ISSUE FOR INFORMATION	06.05.11						
A	ISSUE FOR CONSTRUCTION	19.07.11						



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Project
DOCKSIDE APARTMENTS
BLOCK 1 SECTION 63
KINGSTON

Drawn: A.W.T. Engineer: A.Z. Scale: 1:100 @ A1, 1:200 @ A3

Drawing Title
LEVEL 2 NORTH MARKING PLAN

Job No: 109260 Drawing No: S445 Rev: A

ARCHITECTURAL BACKGROUNDS SHOWN LIGHT, ARE FOR INFORMATION ONLY. REFER TO CURRENT ARCHITECTURAL DRAWINGS FOR EXACT FITOUT & DETAILS.

ALL STRAND TO BE 12.7mm DIA.
7 WIRE SUPER GRADE LOW RELAXATION STRAIN TO AS1311

**LEVEL 2 NORTH
POST-TENSION PLAN**
SCALE 1:100

NOTES:

- Tendons shall be stressed to the following jacking forces unless noted otherwise:
12.7dia strand tendons - 156 kN (85% UTS) per strand.
15.2dia strand tendons - 212 kN (85% UTS) per strand.
- Concrete test cylinders used for assessing strength for tensioning are to be site cured in similar conditions to the concrete element being stressed.
- Stressing sequence (12.7 Strand)
Initial stress: After 24 hours minimum and at concrete strength = 7mPa.
Jack each strand to 75% of final stress.
Final stress: After 5 days minimum and at concrete strength = 22mPa.
JACK EACH STRAND TO 85% UTS
- Stressing sequence (15.2 Strand)
Initial stress: After 24 hours minimum and at concrete strength = 9mPa.
JACK EACH STRAND TO 25% OF FINAL STRESS
Final stress: After 5 days minimum and at concrete strength = 25mPa.
JACK EACH STRAND TO 85% UTS
- REFER TO DRAWING No 5001 FOR CONSTRUCTION NOTES
- REFER TO DRAWING No 5001 FOR ADDITIONAL NOTES
- ENSURE MINIMUM 100mm CLEAR COVER BETWEEN CABLES & PENETRATIONS
- ENSURE HORIZONTAL BENDS IN CABLES OCCUR NO CLOSER THAN 500mm TO THE CORNER OF ANY PENETRATION
- LOCALLY DISPLACE REINFORCEMENT TO ALLOW CORRECT DRAPE OF POST-TENSIONING CABLES
- C'S & CHAR HEIGHTS DENOTED THIS # ARE MEASURED FROM THE SOFFIT OF THE SLAB/BEAM IN WHICH THE CABLE RUNS
- ALL HEIGHTS MEASURED TO UNDERSIDE OF DUCTS
HEIGHTS MEASURED TO CENTRELINE OF ANCHORS NOTED ON PLAN

LEGEND:

- ON PLAN DENOTES LIVE END
- ON PLAN DENOTES DEAD END
- ON PLAN DENOTES COUPLER
- ON PLAN DENOTES STRESSING PAN
- ON PLAN DENOTES 1 NO STRAND TO DROP OFF WHERE POSITIONED
- 1000 DENOTES TENDON NUMBER
- 100 DENOTES NUMBER OF STRANDS IN DUCT
- 100+ DENOTES 4NO STRANDS CONTINUE THRU TO DEAD END PLUS 1 NO STRAND TO DROP OFF WHERE POSITIONED

BCA certifiers
ABN: 58 119 755 734

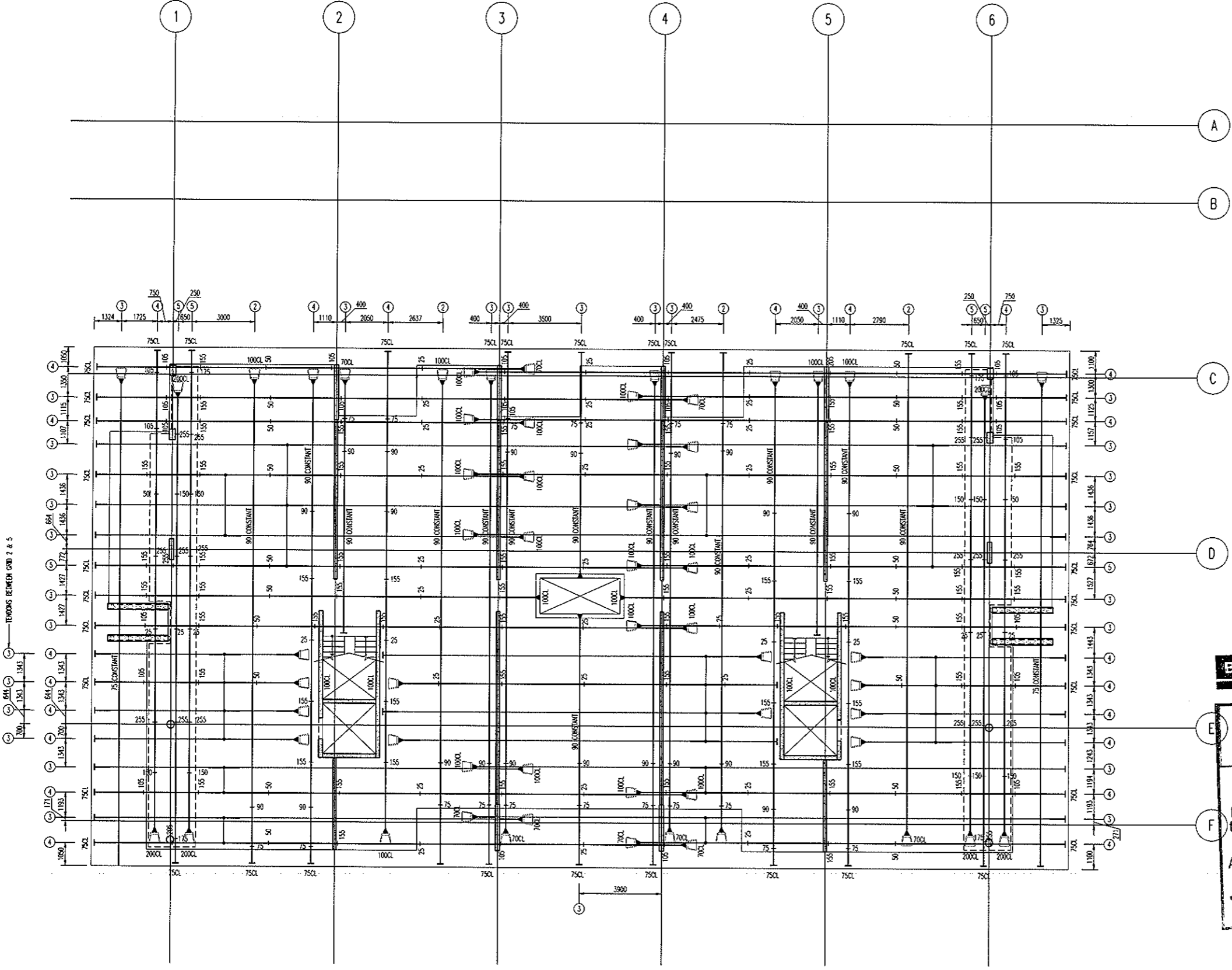
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MEASURED QUANTITIES	
STRESSING	3.6 TONNE
STRESSING TOTAL FLOOR	10.8 TONNE
STRESSING TENDER ALLOWANCE	11.0 TONNE

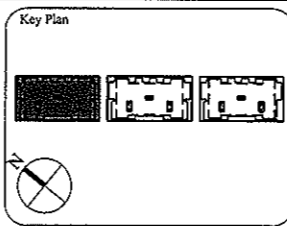
MEASURED FROM ANCHOR TO ANCHOR
NO ALLOWANCE FOR DRAPE OR WASTAGE.

FOR POST-TENSION ANCHORAGE
DETAILS REFER TO DRAWING S800

NOTE: ENSURE ALL PANS ARE NOT
PLACED WITHIN EXPOSED CONCRETE
LEDGE



No	Revision	Date	No	Revision	Date	No	Revision	Date
A	ISSUE FOR TENDER	05.05.11						
B	ISSUE FOR CONSTRUCTION	19.07.11						



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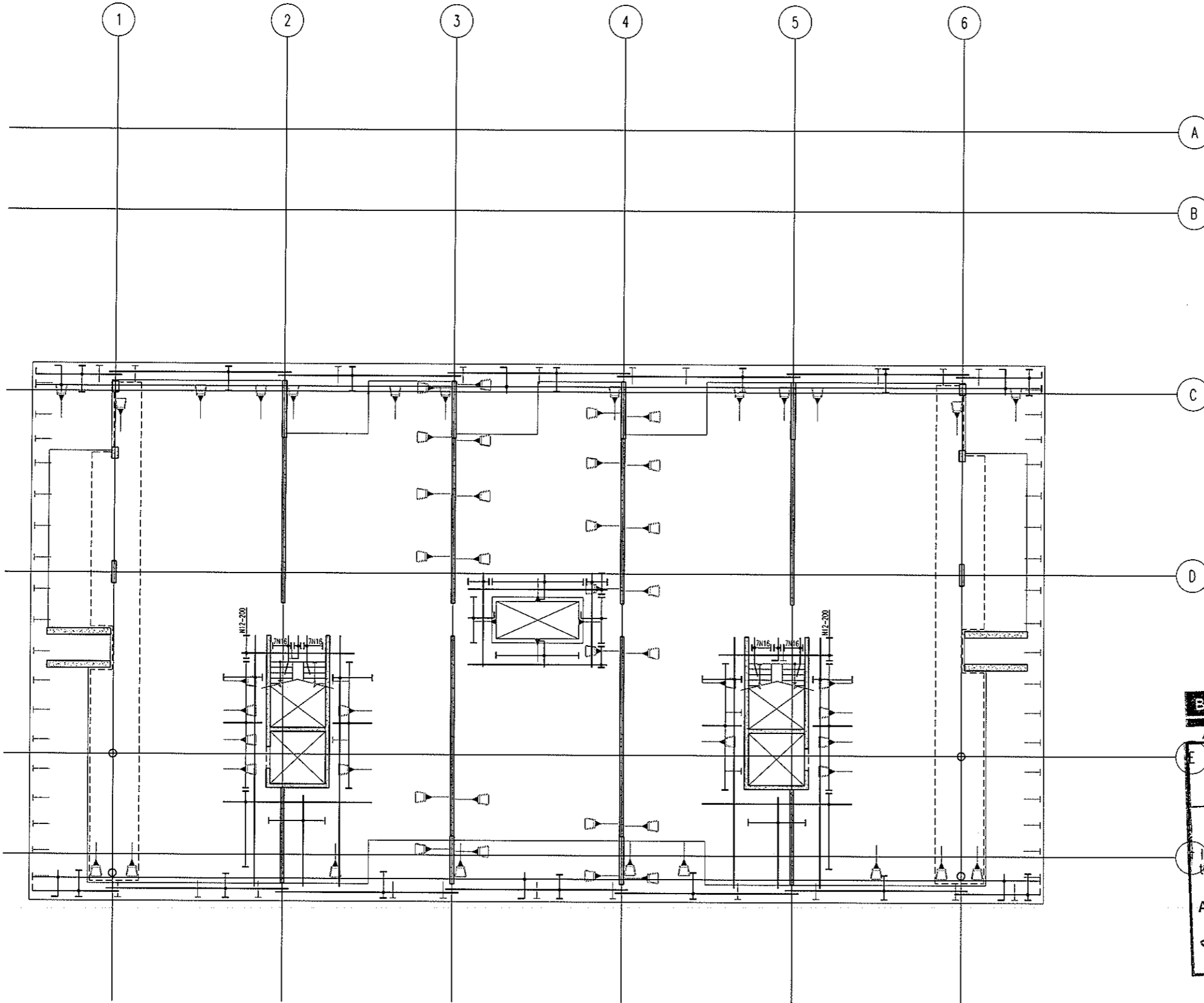
Project: **DOCKSIDE APARTMENTS**
BLOCK 1 SECTION 63
KINGSTON

Drawn: A.W.T
Engineer: A.Z
Scale: 1:100 @ A1
1:200 @ A3

Job No: 109260
Drawing No: S446
Rev: B

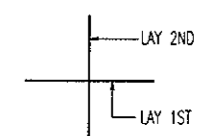
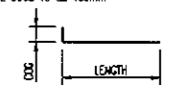
Drawing Title: **LEVEL 2 NORTH
POST-TENSION PLAN**

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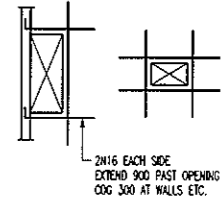


**LEVEL 2 NORTH
BOTTOM REINFORCEMENT PLAN**
SCALE 1:100

- NOTES:**
- REFER TO DRAWING No 5001 FOR CONSTRUCTION NOTES
 - REFER TO DRAWING No 5001 FOR ADDITIONAL NOTES
 - WHERE REINFORCEMENT SHOWN IN ONE DIRECTION ONLY PROVIDE N12-450 SUPPORT BARS TYPICAL U.N.O.
 - ALL COGS TO BE 150mm



BAR LAYING SEQUENCE U.N.O.



TYPICAL TRIMMER DETAIL
PROVIDE TRIMMERS AT ALL PENETRATIONS, PITS, REINTEGRANT CORNERS & POST TENSION PANS ETC.

BCA certifiers
AEN: 58 119 755 734

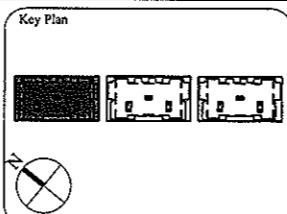
23 AUG 2011
Date Issued **60**

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NOTE: ALL REINFORCEMENT SHOWN IS N12-300 TYP. U.N.O. ON PLAN

BAND TIE TYPE SCHEDULE	
MARK	TYPE
B11	
B12	
B13	
B14	

No	Revision	Date	No	Revision	Date	No	Revision	Date
1	ISSUE FOR INFORMATION	06.05.11						
A	ISSUE FOR CONSTRUCTION	19.07.11						



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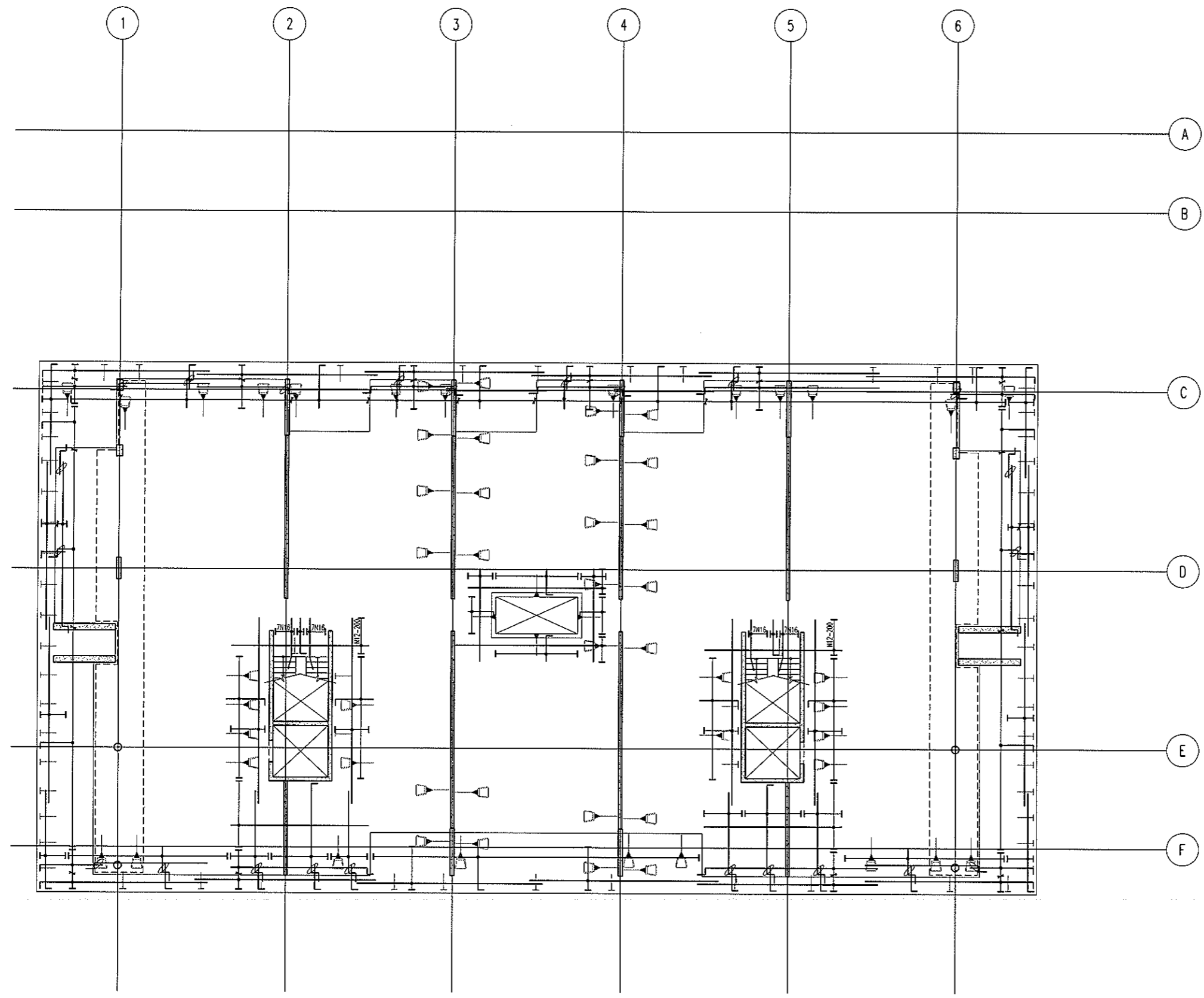
Project
DOCKSIDE APARTMENTS
BLOCK 1 SECTION 63
KINGSTON

Drawn: A.W.T. Engineer: A.Z. Scale: 1:100 @ A1, 1:200 @ A3

Drawing Title
**LEVEL 2 NORTH
BOTTOM REINFORCEMENT PLAN**

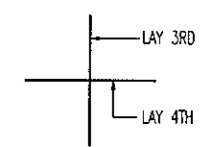
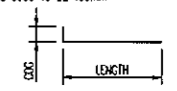
Job No: 109260 Drawing No: S447 Rev: A

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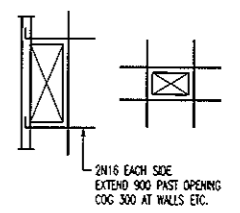


**LEVEL 2 NORTH
TOP REINFORCEMENT PLAN**
SCALE 1:100

- NOTES:**
- REFER TO DRAWING No S001 FOR CONSTRUCTION NOTES
 - REFER TO DRAWING No S001 FOR ADDITIONAL NOTES
 - WHERE REINFORCEMENT SHOWN IN ONE DIRECTION ONLY PROVIDE N12-450 SUPPORT BARS TYPICAL UNO
 - ALL COGS TO BE 150mm



BAR LAYING SEQUENCE U.N.O.



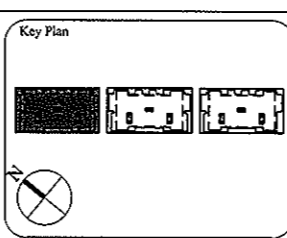
TYPICAL TRIMMER DETAIL
PROVIDE TRIMMERS AT ALL PENETRATIONS, PITS, REINFRANT CORNERS & POST TENSION PANS ETC.

BCA certifiers
ABN: 58 119 755 734

NOTE: ALL REINFORCEMENT SHOWN IS N12-300 TYP. U.N.O. ON PLAN

23 AUG 2011
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Lic. No: 200714

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1	ISSUE FOR INFORMATION	06.05.11						
A	ISSUE FOR CONSTRUCTION	19.07.11						



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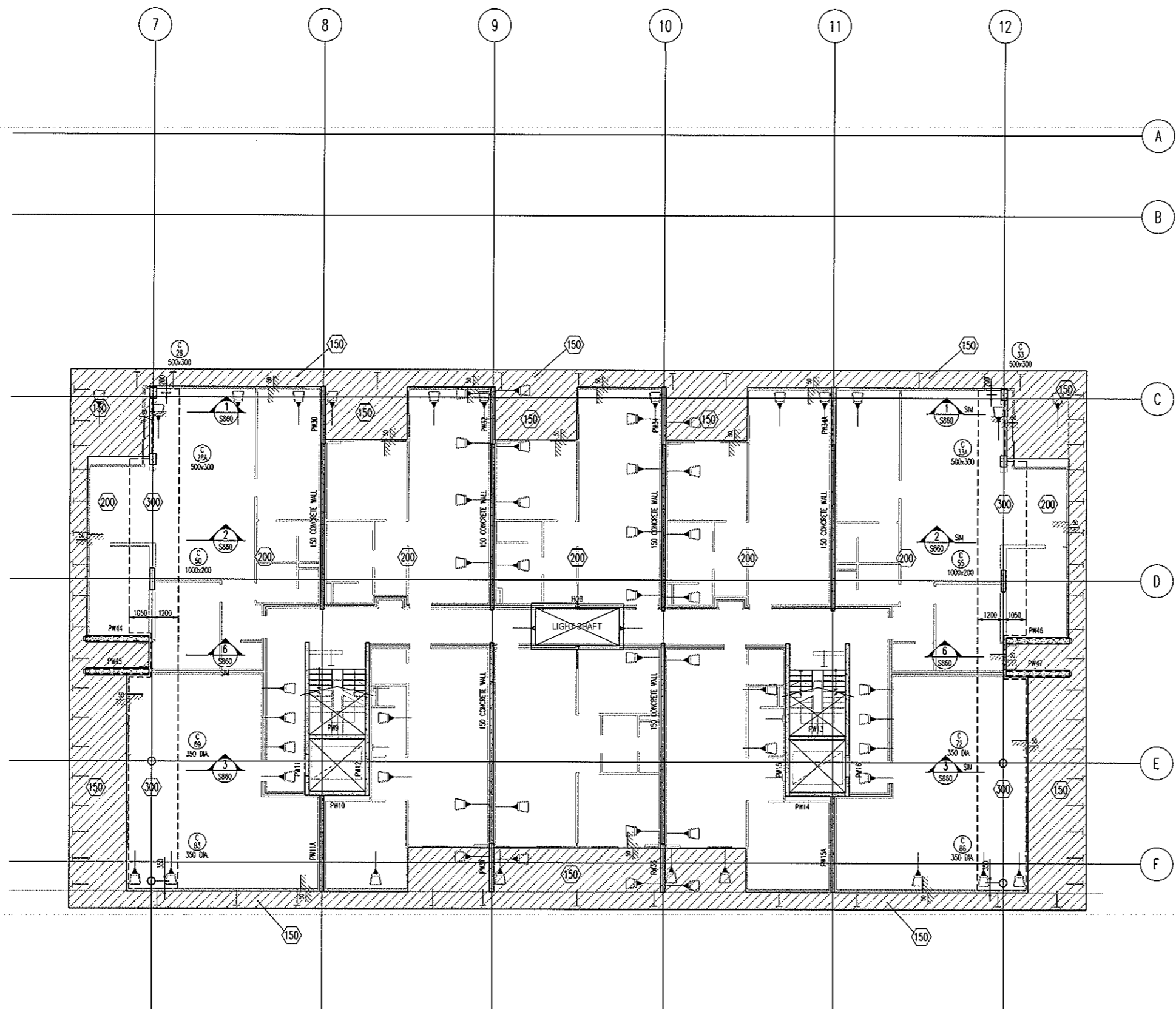
Project
DOCKSIDE APARTMENTS
BLOCK 1 SECTION 63
KINGSTON

Drawn: A.W.T. Engineer: A.Z. Scale: 1:100 @ A1, 1:200 @ A3

Drawing Title
**LEVEL 2 NORTH
TOP REINFORCEMENT PLAN**

Job No: 109260 Drawing No: S448 Rev: A

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LEVEL 2 MID MARKING PLAN
SCALE 1:100

200 THICK SLAB. TYPICAL U.N.O. ON PLAN

- NOTES**
- REFER TO DRAWING No S001 FOR CONSTRUCTION NOTES
 - REFER TO DRAWING No S001 FOR CONCRETE STRENGTHS
 - REFER TO S010 SERIES DRAWINGS FOR DESIGN LOADS
 - ALL FALLS TO ARCHITECTS DETAILS
 - REFER TO ARCHITECTS DRAWINGS FOR ALL CHAMFERS, REBATES AND RECESSES
 - REFER TO PLAN AND SECTIONS FOR ADDITIONAL REINFORCEMENT
7. DENOTES ANCHOR LOCATION REFER TO DRAWING No S451 FOR SETOUT
8. DENOTES COLUMN NUMBER (HATCHING IS FOR DESIGN PURPOSES ONLY)
 DENOTES COLUMN SIZE
9. DENOTES LOADBEARING WALL OR COLUMN OVER
10. DENOTES LOADBEARING WALL OR COLUMN UNDER

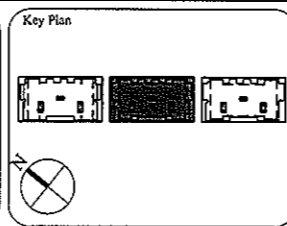
HATCH	DEPTH
	50mm
	70mm
	80mm
	100mm
	150mm

BCA certifiers
ABN: 58 119 755 734

23 AUG 2011
Date Issued *62*

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Issued under s.28 of the Building Act 2004
BCA CERTIFIERS AUSTRALIA PTY LTD
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No	Revision	Date	No	Revision	Date
1	ISSUE FOR INFORMATION	06.05.11			
A	ISSUE FOR CONSTRUCTION	19.07.11			



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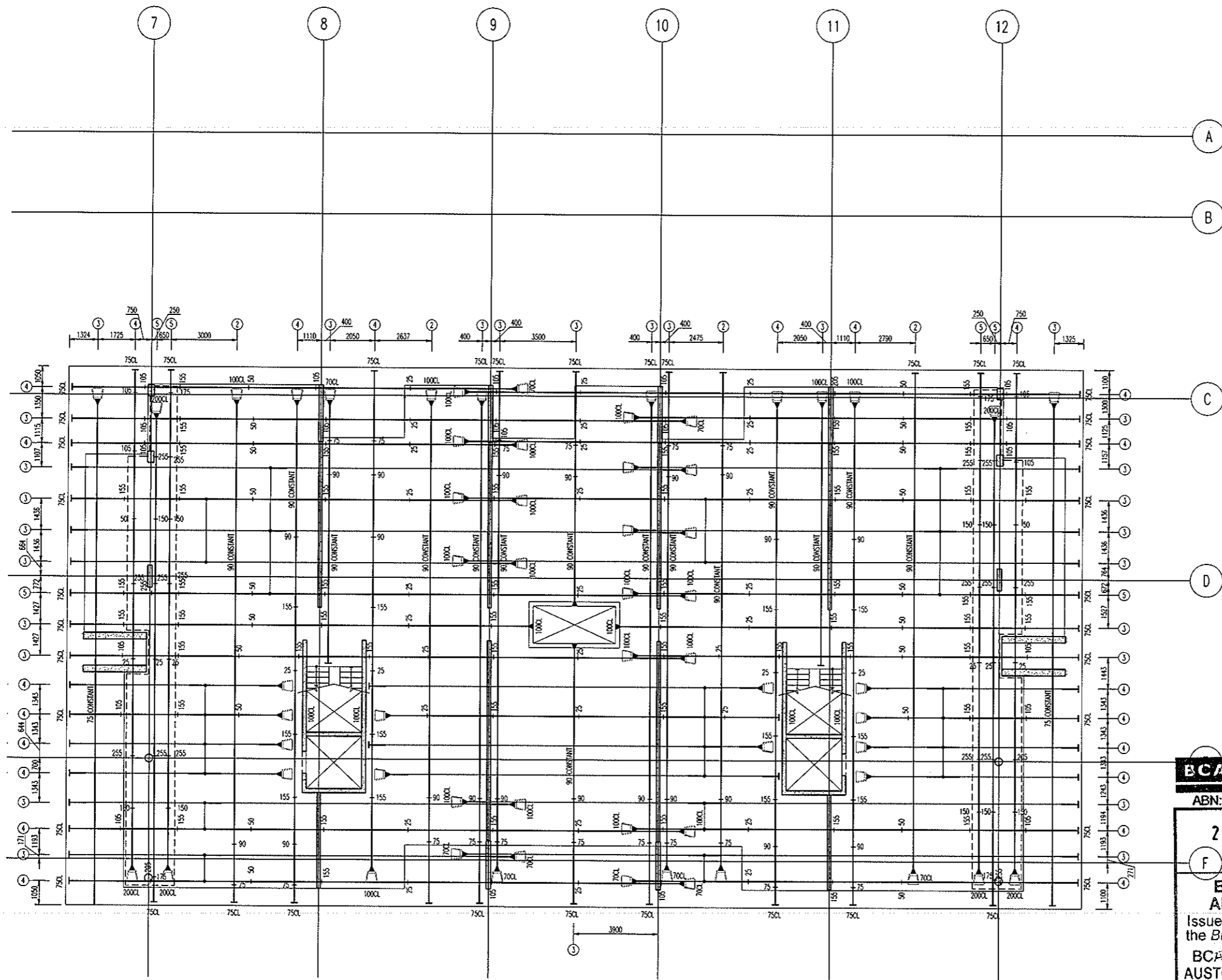
Project
DOCKSIDE APARTMENTS
BLOCK 1 SECTION 63
KINGSTON

Drawn: A.W.T.
Engineer: A.Z.
Scale: 1:100 @ A1
1:200 @ A3

Drawing Title
LEVEL 2 MID MARKING PLAN

Job No: 109260
Drawing No: S450
Rev: A

ARCHITECTURAL BACKGROUNDS SHOWN LIGHT, ARE FOR INFORMATION ONLY. REFER TO CURRENT ARCHITECTURAL DRAWINGS FOR EXACT SETOUT & DETAILS.



ALL STRAND TO BE 12.7mm DIA.
7 WIRE SUPER GRADE LOW RELAXATION STRAIN TO AS1311

**LEVEL 2 MID
POST-TENSION PLAN**
SCALE 1:100

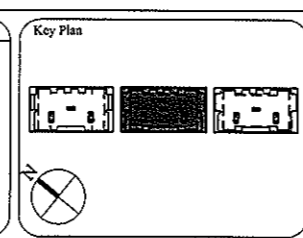
- NOTES:**
- Tenders shall be stressed to the following jacking forces unless noted otherwise:
12.7dia strand tendons - 156 kN (85% UTS) per strand.
15.2dia strand tendons - 212 kN (85% UTS) per strand.
 - Concrete test cylinders used for assessing strength for tensioning are to be site cured in similar conditions to the concrete element being stressed.
 - Stressing sequence (12.7 Strand)
Initial stress: After 24 hours minimum and at concrete strength = 7mPa.
Jock each strand to 25% of final stress.
Final stress: After 5 days minimum and at concrete strength = 22mPa.
Jock each strand to 85% UTS.
 - Stressing sequence (15.2 Strand)
Initial stress: After 24 hours minimum and at concrete strength = 9mPa.
Jock each strand to 25% of final stress.
Final stress: After 5 days minimum and at concrete strength = 25mPa.
Jock each strand to 85% UTS.

- REFER TO DRAWING No S001 FOR CONSTRUCTION NOTES
- REFER TO DRAWING No S001 FOR ADDITIONAL NOTES
- ENSURE MINIMUM 100mm CLEAR COVER BETWEEN CABLES & PENETRATIONS
- ENSURE HORIZONTAL BENDS IN CABLES OCCUR NO CLOSER THAN 500mm TO THE CORNER OF ANY PENETRATION
- LOCALLY DISPLACE REINFORCEMENT TO ALLOW CORRECT DRAPE OF POST-TENSIONING CABLES
- C'S & CHAR HEIGHTS DENOTED THIS # ARE MEASURED FROM THE SOFFIT OF THE SLAB/BEAM IN WHICH THE CABLE RUNS
- ALL HEIGHTS MEASURED TO UNDERSIDE OF DUCTS
- HEIGHTS MEASURED TO CENTRELINE OF ANCHORS NOTED ON PLAN

- LEGEND:**
- ON PLAN DENOTES LIVE END
 - ON PLAN DENOTES DEAD END
 - ON PLAN DENOTES COUPLER
 - ON PLAN DENOTES STRESSING PAN
 - ON PLAN DENOTES 1 No STRAND TO DROP OFF WHERE POSITIONED
 - 100CL DENOTES TENDON NUMBER
 - 100CL DENOTES NUMBER OF STRANDS IN DUCT
 - 100CL DENOTES 4No STRANDS CONTINUE THRU TO DEAD END PLUS 1 No STRAND TO DROP OFF WHERE POSITIONED

BCA certifiers ABN: 58 119 755 734 23 AUG 2011 Date Issued 63 BUILDING APPROVAL Issued under s.28 of the Building Act 2004 BCA CERTIFIERS AUSTRALIA PTY LTD Lic. No: 200714	MEASURED QUANTITIES STRESSING 3.6 TONNE STRESSING TOTAL FLOOR 10.8 TONNE STRESSING TENDER ALLOWANCE 11.0 TONNE
	MEASURED FROM ANCHOR TO ANCHOR NO ALLOWANCE FOR DRAPE OR WASTAGE. FOR POST-TENSION ANCHORAGE DETAILS REFER TO DRAWING S800

No	Revision	Date	No	Revision	Date	No	Revision	Date
A	ISSUE FOR TENDER	05.05.11						
B	ISSUE FOR CONSTRUCTION	19.07.11						



1:1 SCALE

0 1 2 3 4 5 6 7 8 9 10

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 NORTH SYDNEY NSW 2060
 Ph: (02) 9922 2466
 Fax: (02) 9922 3705
 Email: sydney@awtcc.net.au

Client

THE DOMA GROUP

Project

DOCKSIDE APARTMENTS

BLOCK 1 SECTION 63
KINGSTON

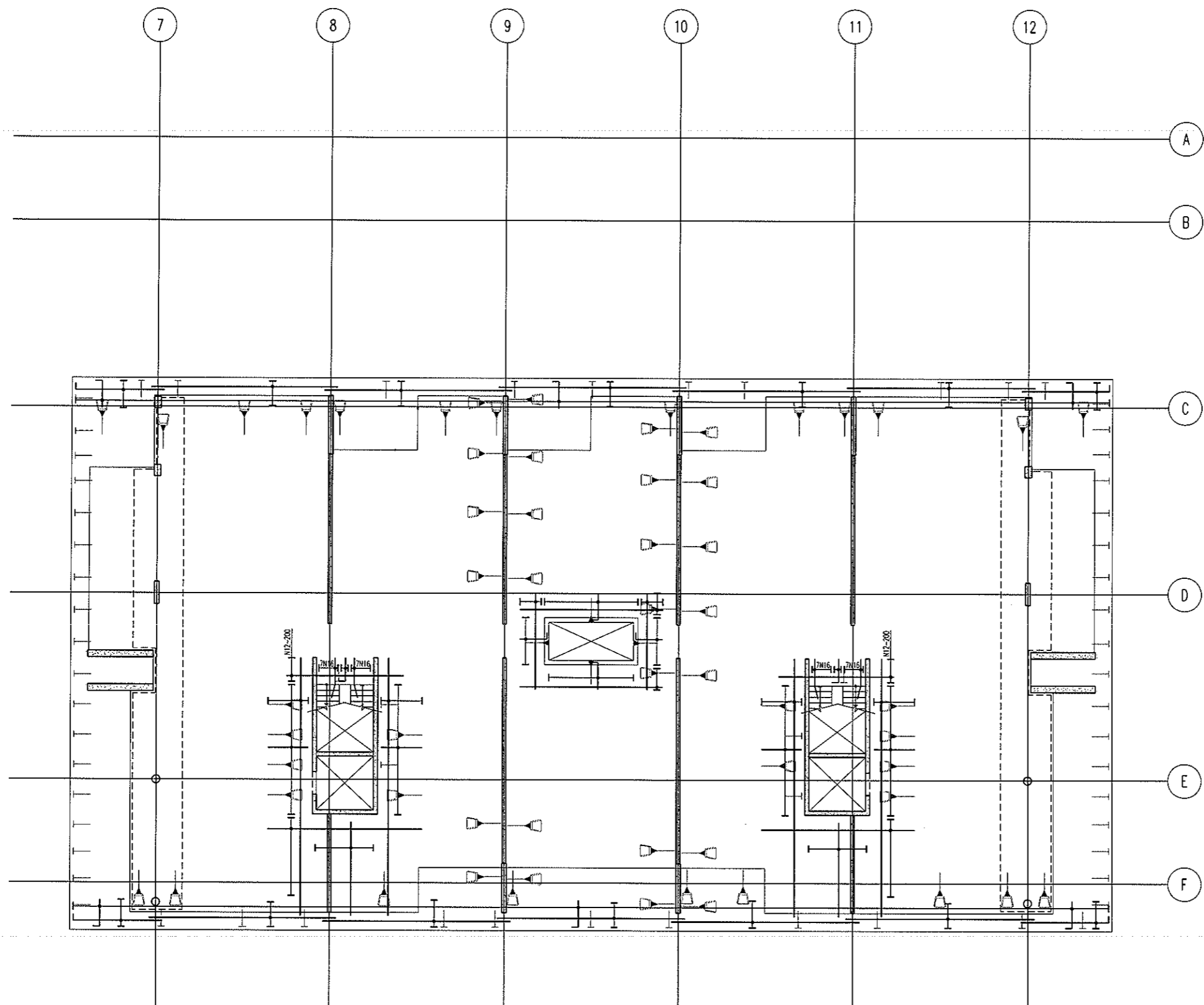
Drawn	Engineer	Scale
A.W.T	AZ	1:100 @ A1 1:200 @ A3

Drawing Title

**LEVEL 2 MID
POST-TENSION PLAN**

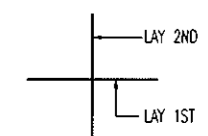
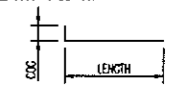
Job No	Drawing No	Rev
109260	S451	B

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**LEVEL 2 MID
BOTTOM REINFORCEMENT PLAN**
SCALE 1:100

- NOTES:**
- REFER TO DRAWING No S001 FOR CONSTRUCTION NOTES
 - REFER TO DRAWING No S001 FOR ADDITIONAL NOTES
 - WHERE REINFORCEMENT SHOWN IN ONE DIRECTION ONLY PROVIDE N12-450 SUPPORT BARS TYPICAL UNO
 - ALL COGS TO BE 150mm



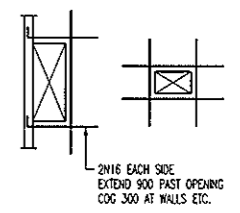
BCA certifiers
AEN: 58 119 755 734

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BAR LAYING SEQUENCE U.N.O.

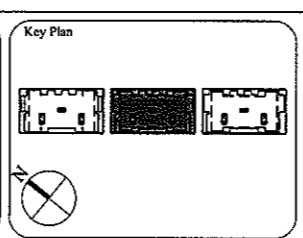


TYPICAL TRIMMER DETAIL
PROVIDE TRIMMERS AT ALL PENETRATIONS, PITS, ETC

NOTE: ALL REINFORCEMENT SHOWN IS N12-300 TYP. U.N.O. ON PLAN

BAND TIE TYPE SCHEDULE	
MARK	TYPE
BT1	
BT2	
BT3	
BT4	

No	Revision	Date	No	Revision	Date	No	Revision	Date
1	ISSUE FOR INFORMATION	06.05.11						
A	ISSUE FOR CONSTRUCTION	19.07.11						



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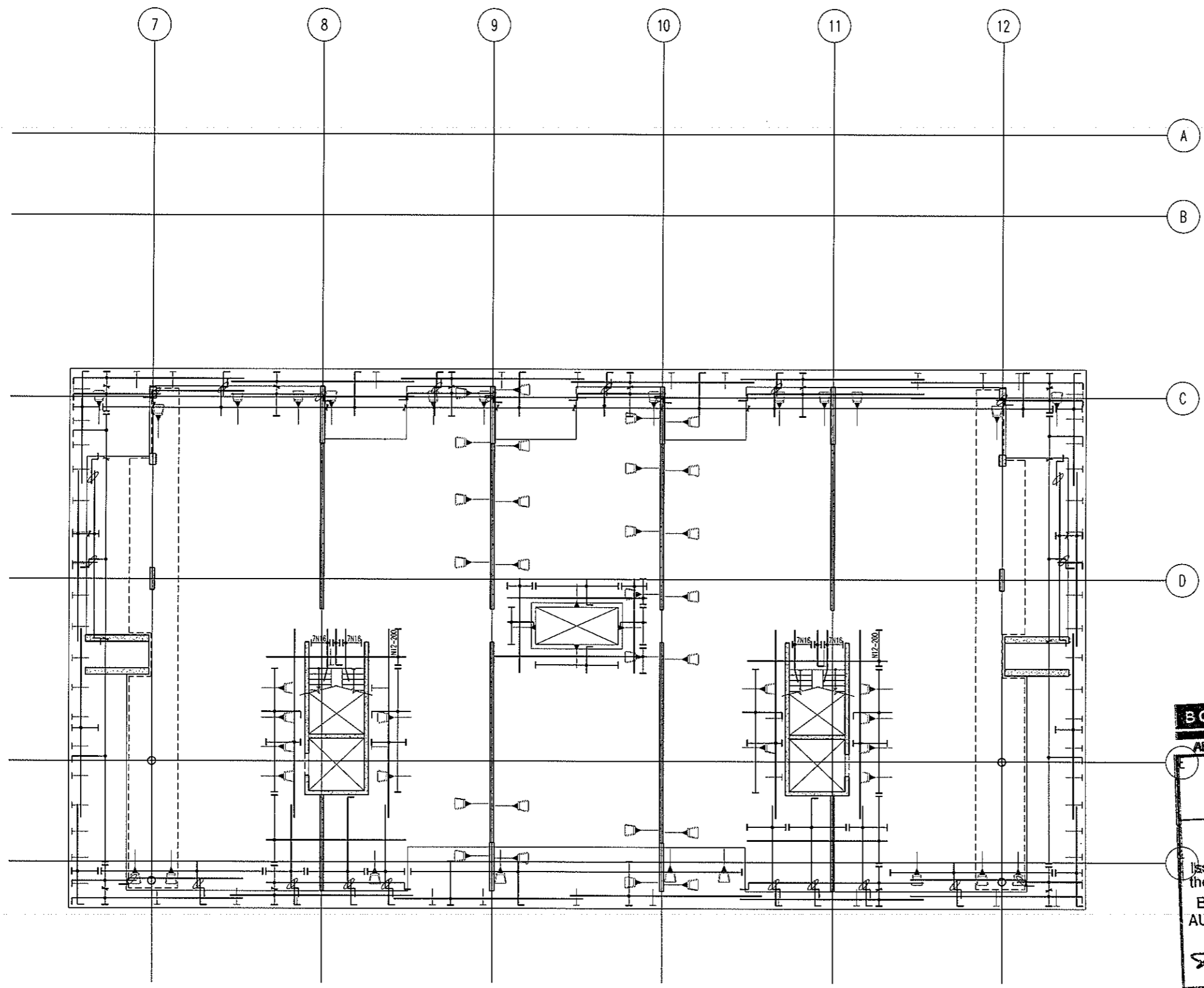
Project
DOCKSIDE APARTMENTS
BLOCK 1 SECTION 63
KINGSTON

Drawn: A.W.T. Engineer: A.Z. Scale: 1:100 @ A1, 1:200 @ A3

Drawing Title
**LEVEL 2 MID
BOTTOM REINFORCEMENT PLAN**

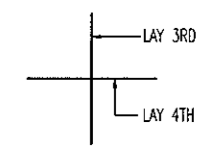
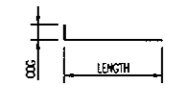
Job No: 109260 Drawing No: S452 Rev: A

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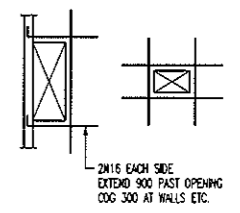


**LEVEL 2 MID
TOP REINFORCEMENT PLAN**
SCALE 1:100

- NOTES:**
1. REFER TO DRAWING No S001 FOR CONSTRUCTION NOTES
 2. REFER TO DRAWING No S001 FOR ADDITIONAL NOTES
 3. WHERE REINFORCEMENT SHOWN IN ONE DIRECTION ONLY PROVIDE N12-450 SUPPORT BARS TYPICAL UNO
 4. ALL COGS TO BE 150mm



BAR LAYING SEQUENCE U.N.O.



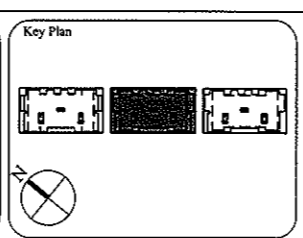
TYPICAL TRIMMER DETAIL
PROVIDE TRIMMERS AT ALL PENETRATIONS, FITS, ETC

BCA certifiers
ABN: 58 119 755 734

NOTE: ALL REINFORCEMENT SHOWN IS N12-300 TYP. U.N.O. ON PLAN

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1	ISSUE FOR INFORMATION	06.05.11						
A	ISSUE FOR CONSTRUCTION	19.07.11						



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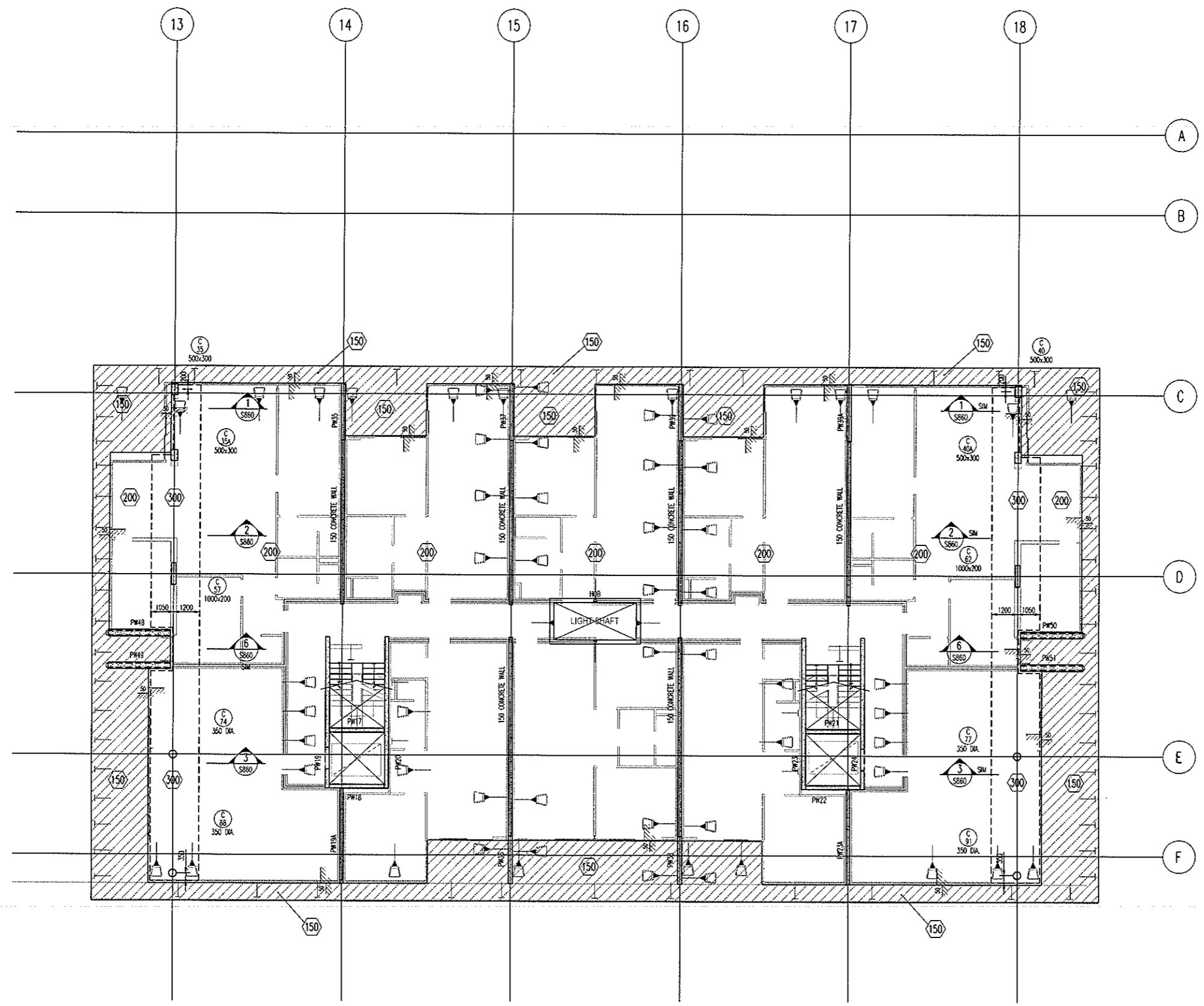
Project
DOCKSIDE APARTMENTS
BLOCK 1 SECTION 63
KINGSTON

Drawn A.W.T	Engineer A.Z	Scale 1:100 @ A1 1:200 @ A3
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Drawing Title
**LEVEL 2 MID
TOP REINFORCEMENT PLAN**

Job No 109260	Drawing No S453	Rev A
------------------	--------------------	----------

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LEVEL 2 SOUTH MARKING PLAN
SCALE 1:100

200 THICK SLAB. TYPICAL U.N.O. ON PLAN

- NOTES:**
- REFER TO DRAWING No S001 FOR CONSTRUCTION NOTES
 - REFER TO DRAWING No S001 FOR CONCRETE STRENGTHS
 - REFER TO S010 SERIES DRAWINGS FOR DESIGN LOADS
 - ALL FALLS TO ARCHITECTS DETAILS
 - REFER TO ARCHITECTS DRAWINGS FOR ALL CHAMFERS, REBATES AND RECESSES
 - REFER TO PLAN AND SECTIONS FOR ADDITIONAL REINFORCEMENT
7. DENOTES ANCHOR LOCATION. REFER TO DRAWING No S456 FOR SETOUT
8. DENOTES COLUMN NUMBER (HATCHING IS FOR DESIGN PURPOSES ONLY)
 DENOTES COLUMN SIZE
9. DENOTES LOADBEARING WALL OR COLUMN OVER
10. DENOTES LOADBEARING WALL OR COLUMN UNDER

SETDOWN LEGEND

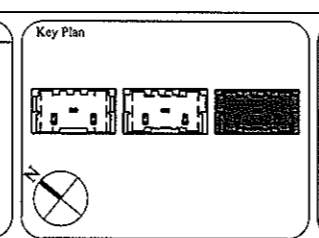
HATCH	DEPTH
	50mm
	70mm
	80mm
	100mm
	150mm

BCA certifiers
ABN: 58 119 755 734

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1	ISSUE FOR INFORMATION	06.05.11						
A	ISSUE FOR CONSTRUCTION	19.07.11						



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Project
DOCKSIDE APARTMENTS
BLOCK 1 SECTION 63
KINGSTON

Drawn: A.W.T
Engineer: A.Z
Scale: 1:100 @ A1
1:200 @ A3

Drawing Title
LEVEL 2 SOUTH MARKING PLAN

Job No: 109260
Drawing No: S455
Rev: A

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ALL STRAND TO BE 12.7mm DIA.
7 WIRE SUPER GRADE LOW RELAXATION STRAIN TO AS1311

**LEVEL 2 SOUTH
POST-TENSION PLAN**
SCALE 1:100

- NOTES:**
- Tendons shall be stressed to the following jacking forces unless noted otherwise:
12.7dia strand tendons - 156 kN (85% UTS) per strand.
15.2dia strand tendons - 212 kN (85% UTS) per strand.
 - Concrete test cylinders used for assessing strength for tensioning are to be site cured in similar conditions to the concrete element being stressed.
 - Stressing sequence (12.7 Strand)
Initial stress: After 24 hours minimum and at concrete strength = 7mPa.
Jack each strand to 25% of final stress.
Final stress: After 3 days minimum and at concrete strength = 20mPa.
JACK EACH STRAND TO 85% UTS
 - Stressing sequence (15.2 Strand)
Initial stress: After 24 hours minimum and at concrete strength = 9mPa.
JACK EACH STRAND TO 25% OF FINAL STRESS.
Final stress: After 3 days minimum and at concrete strength = 25mPa.
JACK EACH STRAND TO 85% UTS
 - REFER TO DRAWING No S001 FOR CONSTRUCTION NOTES
 - REFER TO DRAWING No S001 FOR ADDITIONAL NOTES
 - ENSURE MINIMUM 100mm CLEAR COVER BETWEEN CABLES & PENETRATIONS
 - ENSURE HORIZONTAL BENDS IN CABLES OCCUR NO CLOSER THAN 500mm TO THE CORNER OF ANY PENETRATION
 - LOCALLY DISPLACE REINFORCEMENT TO ALLOW CORRECT DRAPE OF POST-TENSIONING CABLES
 - C'S & CHAR HEIGHTS DENOTED THIS # ARE MEASURED FROM THE SOFFIT OF THE SLAB/BEAM IN WHICH THE CABLE RUNS
 - ALL HEIGHTS MEASURED TO UNDERSIDE OF DOCTS
HEIGHTS MEASURED TO CENTRELINE OF ANCHORS NOTED ON PLAN

- LEGEND:**
- ON PLAN DENOTES LIVE END
 - ON PLAN DENOTES DEAD END
 - ON PLAN DENOTES COUPLER
 - ON PLAN DENOTES STRESSING PAN
 - ON PLAN DENOTES 1 No STRAND TO DROP OFF WHERE POSITIONED
 - 100CL DENOTES TENDON NUMBER
 - 75CL DENOTES NUMBER OF STRANDS IN DOCT
 - 40CL DENOTES 40g STRANDS CONTINUE THRU TO DEAD END PLUS 1 No STRAND TO DROP OFF WHERE POSITIONED

BCA certifiers
ABN: 58 119 755 734

MEASURED QUANTITIES

STRESSING	3.6 TONNE
STRESSING TOTAL FLOOR	10.8 TONNE
STRESSING TENDER ALLOWANCE	11.0 TONNE

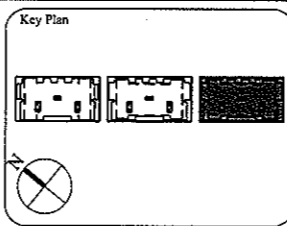
Date Issued 23 AUG 2011

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FOR POST-TENSION ANCHORAGE TAILS REFER TO DRAWING S800

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No	Revision	Date	No	Revision	Date
A	ISSUE FOR TENDER	05.05.11			
B	ISSUE FOR CONSTRUCTION	19.07.11			



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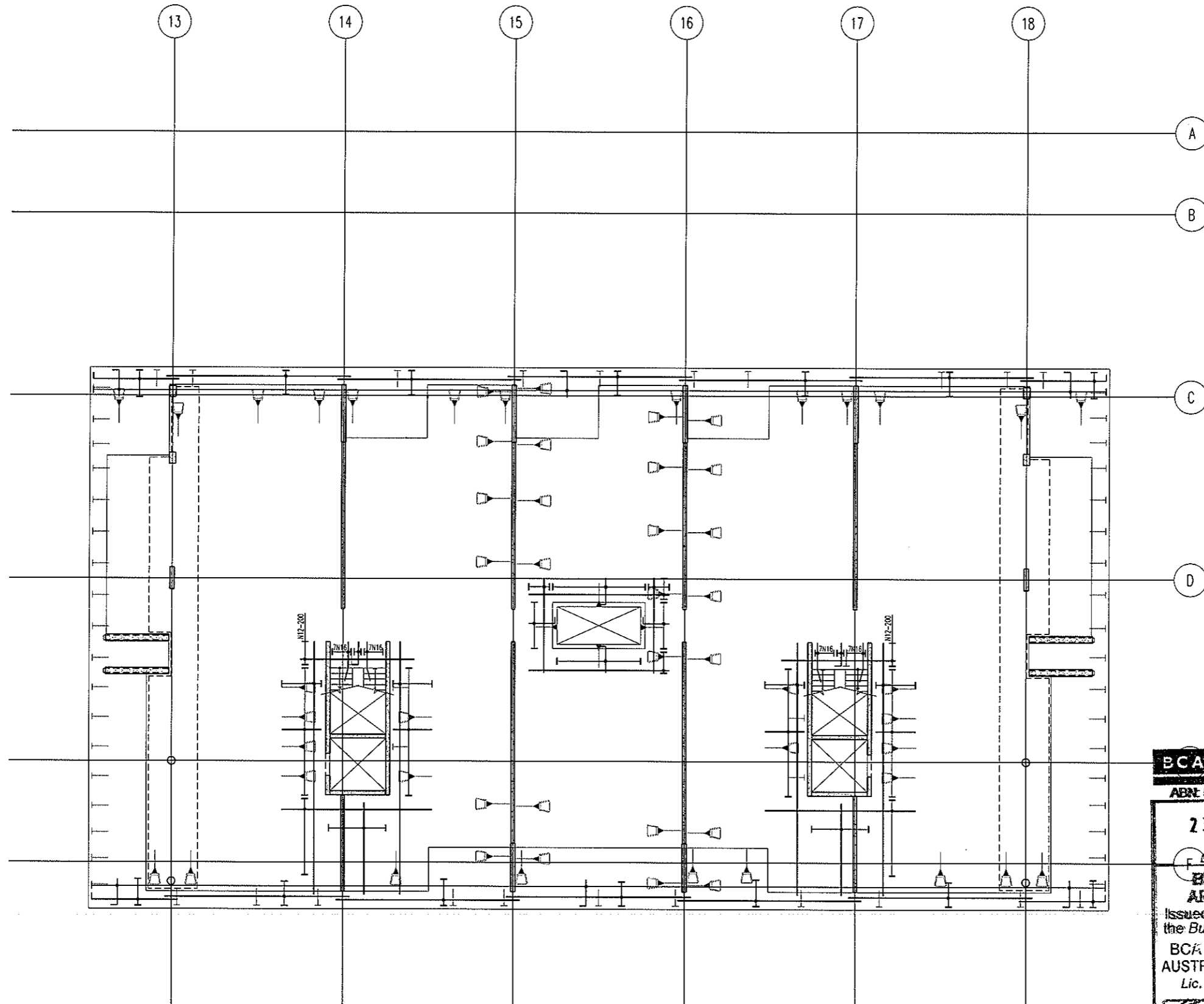
Project: **DOCKSIDE APARTMENTS**
BLOCK 1 SECTION 63 KINGSTON

Drawn: A.W.T. Engineer: A.Z. Scale: 1:100 @ A1, 1:200 @ A3

Drawing Title: **LEVEL 2 SOUTH POST-TENSION PLAN**

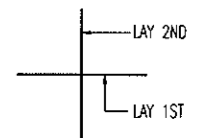
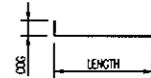
Job No: 109260 Drawing No: S456 Rev: B

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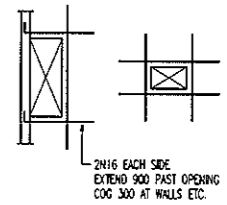


**LEVEL 2 SOUTH
BOTTOM REINFORCEMENT PLAN**
SCALE 1:100

- NOTES:
1. REFER TO DRAWING No S001 FOR CONSTRUCTION NOTES
 2. REFER TO DRAWING No S001 FOR ADDITIONAL NOTES
 3. WHERE REINFORCEMENT SHOWN IN ONE DIRECTION ONLY PROVIDE N12-450 SUPPORT BARS TYPICAL UNO
 4. ALL COGS TO BE 150mm



BAR LAYING SEQUENCE U.N.O.



TYPICAL TRIMMER DETAIL
PROVIDE TRIMMERS AT ALL PENETRATIONS, PITS, ETC

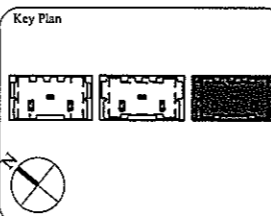
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BAND TIE TYPE SCHEDULE	
MARK	TYPE
B71	
B72	
B73	
B74	

No	Revision	Date	No	Revision	Date	No	Revision	Date
1	ISSUE FOR INFORMATION	05.05.11						
A	ISSUE FOR CONSTRUCTION	19.07.11						



1:1 SCALE 0 1 2 3 4 5 6 7 8 9 10

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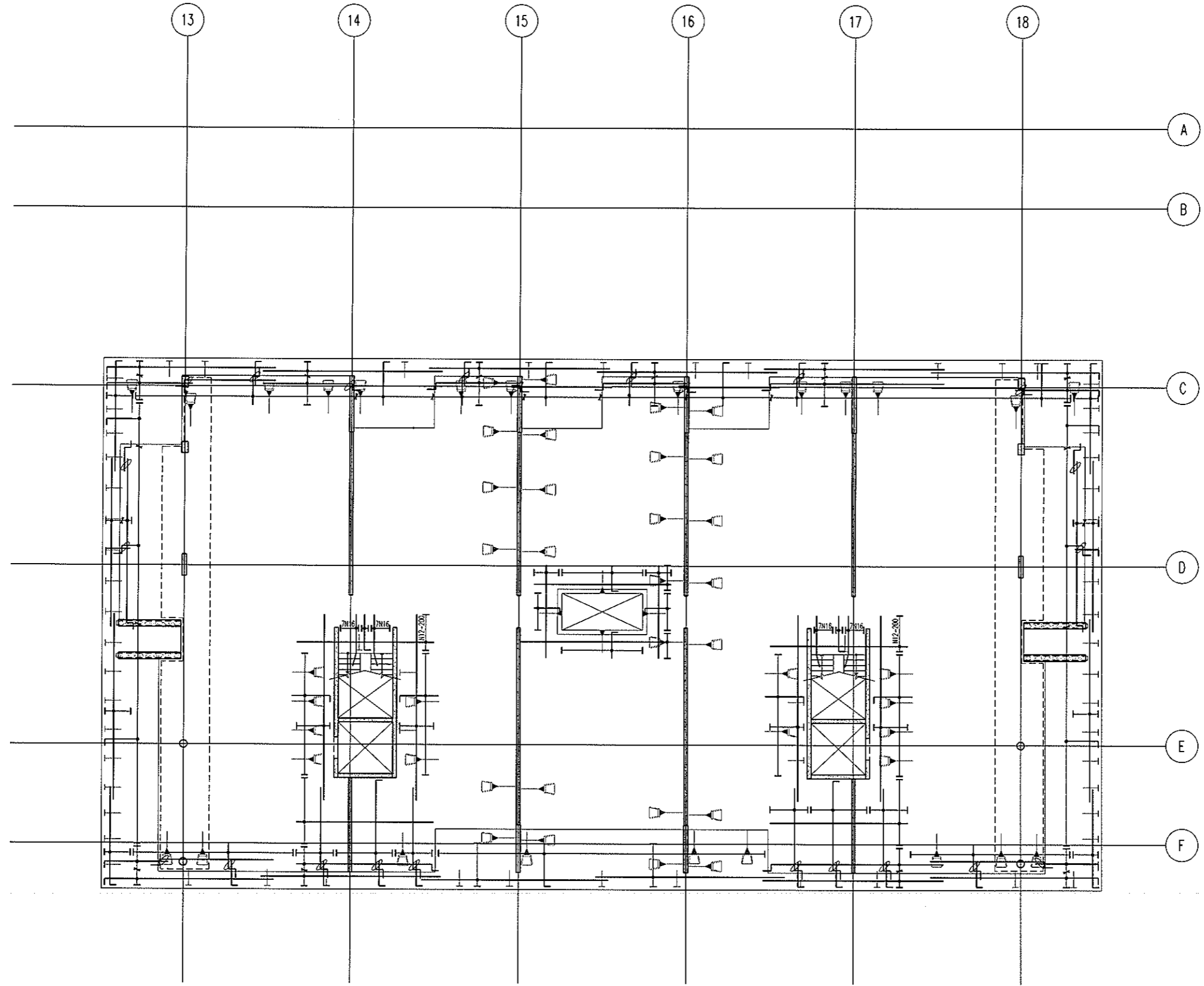
Project
DOCKSIDE APARTMENTS
BLOCK 1 SECTION 63
KINGSTON

Drawn A.W.T. Engineer A.Z. Scale 1:100 @ A1
1:200 @ A3

Drawing Title
**LEVEL 2 SOUTH
BOTTOM REINFORCEMENT PLAN**

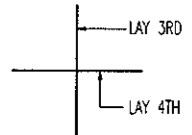
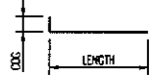
Job No 109260 Drawing No S457 Rev A

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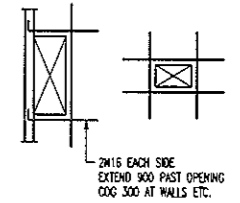


**LEVEL 2 SOUTH
TOP REINFORCEMENT PLAN**
SCALE 1:100

- NOTES:
1. REFER TO DRAWING No S001 FOR CONSTRUCTION NOTES
 2. REFER TO DRAWING No S001 FOR ADDITIONAL NOTES
 3. WHERE REINFORCEMENT SHOWN IN ONE DIRECTION ONLY PROVIDE N12-450 SUPPORT BARS TYPICAL UMO
 4. ALL COGS TO BE 150mm



BAR LAYING SEQUENCE U.N.O.



TYPICAL TRIMMER DETAIL
PROVIDE TRIMMERS AT ALL PENETRATIONS, PITS, ETC

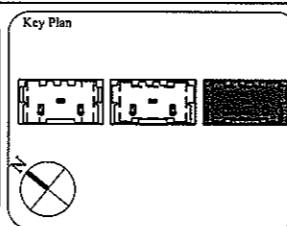
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Project
DOCKSIDE APARTMENTS
BLOCK 1 SECTION 63
KINGSTON

Drawn
A.W.T

Engineer
A.Z

Scale
1:100 @ A1
1:200 @ A3

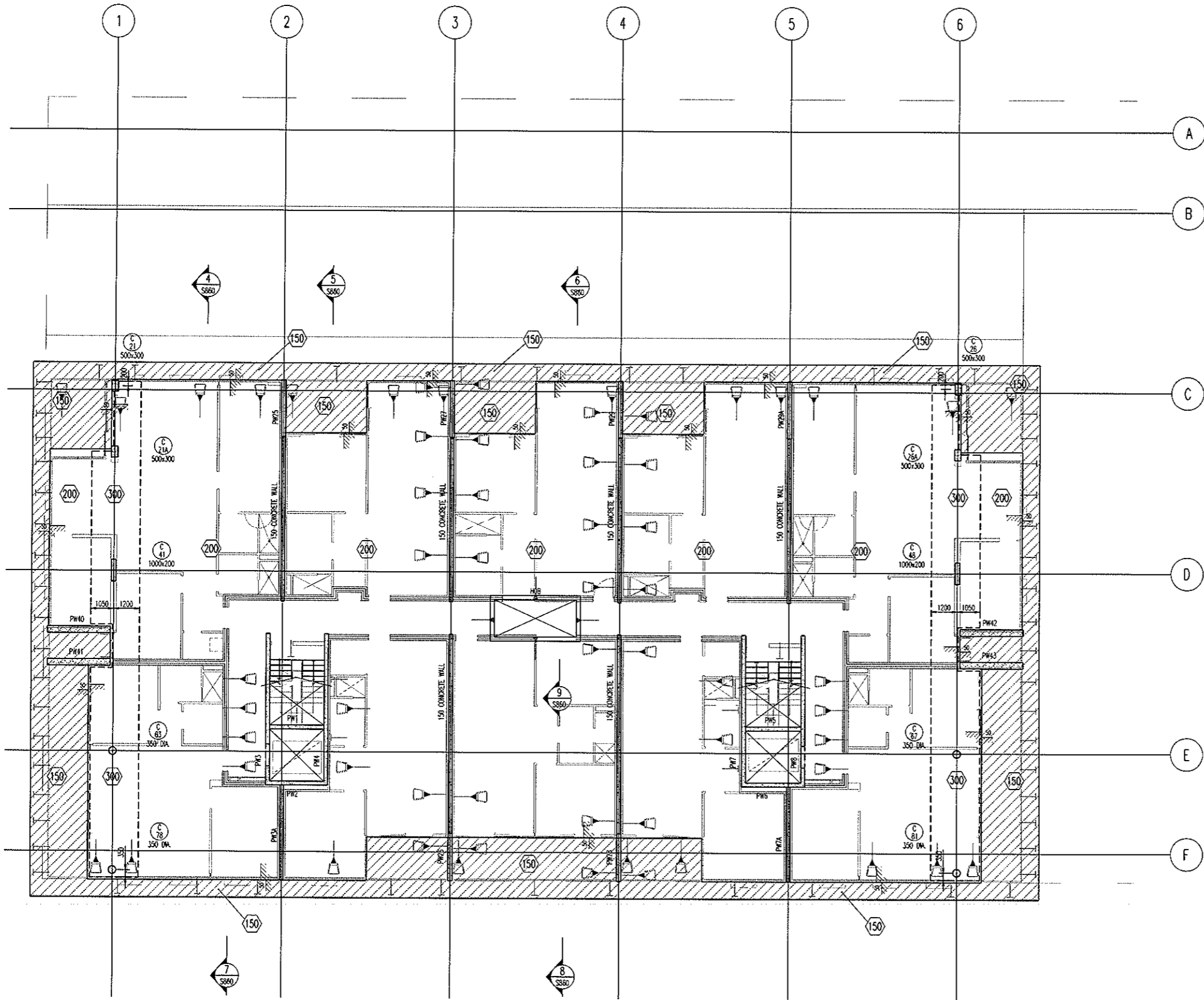
Drawing Title
**LEVEL 2 SOUTH
TOP REINFORCEMENT PLAN**

Job No
109260

Drawing No
S458

Rev
A

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**LEVEL 3 NORTH
MARKING PLAN**
SCALE 1:100

200 THICK SLAB. TYPICAL U.N.O. ON PLAN

- NOTES:**
- REFER TO DRAWING No S001 FOR CONSTRUCTION NOTES
 - REFER TO DRAWING No S001 FOR CONCRETE STRENGTHS
 - REFER TO S010 SERIES DRAWINGS FOR DESIGN LOADS
 - ALL FALLS TO ARCHITECTS DETAILS
 - REFER TO ARCHITECTS DRAWINGS FOR ALL CHAMFERS, REBATES AND RECESSES
 - REFER TO PLAN AND SECTIONS FOR ADDITIONAL REINFORCEMENT
7. DENOTES ANCHOR LOCATION. REFER TO DRAWING No S461 FOR SETOUT
8. DENOTES COLUMN NUMBER (HATCHING IS FOR DESIGN PURPOSES ONLY)
 DENOTES COLUMN SIZE
9. DENOTES LOADBEARING WALL OR COLUMN OVER
10. DENOTES LOADBEARING WALL OR COLUMN UNDER

SETDOWN LEGEND

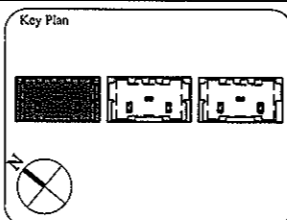
HATCH	DEPTH
	50mm
	70mm
	80mm
	100mm
	150mm

BCA certifiers
ABN: 58 119 755 734

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Project
DOCKSIDE APARTMENTS
BLOCK 1 SECTION 63
KINGSTON

Drawn: A.W.T. Engineer: A.Z. Scale: 1:100 @ A1, 1:200 @ A3

Drawing Title
LEVEL 3 NORTH MARKING PLAN

Job No: 109260 Drawing No: S460 Rev: A

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ALL STRAND TO BE 12.7mm DIA.
7 WIRE SUPER GRADE LOW RELAXATION STRAIN TO AS1311

**LEVEL 3 NORTH
POST-TENSION PLAN**
SCALE 1:100

NOTES:

- Tenders shall be stressed to the following jacking forces unless noted otherwise:
12.7dia strand tendons - 156 kN (85% UTS) per strand
15.2dia strand tendons - 212 kN (85% UTS) per strand
- Concrete test cylinders used for assessing strength for tensioning are to be site cured in similar conditions to the concrete element being stressed.
- Stressing sequence (12.7 Strand)
Initial stress: After 24 hours minimum and at concrete strength = 7mPa.
Jack each strand to 25% of final stress
Final stress: After 5 days minimum and at concrete strength = 22mPa.
Jack each strand to 85% UTS
- Stressing sequence (15.2 Strand)
Initial stress: After 24 hours minimum and at concrete strength = 9mPa.
Jack each strand to 25% of final stress
Final stress: After 5 days minimum and at concrete strength = 25mPa.
Jack each strand to 85% UTS
- REFER TO DRAWING No S001 FOR CONSTRUCTION NOTES
- REFER TO DRAWING No S001 FOR ADDITIONAL NOTES
- ENSURE MINIMUM 100mm CLEAR COVER BETWEEN CABLES & PENETRATIONS
- ENSURE HORIZONTAL BENDS IN CABLES OCCUR NO CLOSER THAN 500mm TO THE CORNER OF ANY PENETRATION
- LOCALLY DISPLACE REINFORCEMENT TO ALLOW CORRECT DRAPE OF POST-TENSIONING CABLES
- C'S & CHAR HEIGHTS DENOTED THUS * ARE MEASURED FROM THE SOFFIT OF THE SLAB/BEAM IN WHICH THE CABLE RUNS
- ALL HEIGHTS MEASURED TO UNDERSIDE OF DUCTS
- HEIGHTS MEASURED TO CENTRELINE OF ANCHORS NOTED ON PLAN

LEGEND:

- ON PLAN DENOTES LIVE END
- ON PLAN DENOTES DEAD END
- ON PLAN DENOTES COUPLER
- ON PLAN DENOTES STRESSING PAN
- ON PLAN DENOTES 1 NO STRAND TO DROP OFF WHERE POSITIONED
- 1000 DENOTES TENDON NUMBER
- 100 DENOTES NUMBER OF STRANDS IN DUCT
- 100 DENOTES 4NO STRANDS CONTINUE THRU TO DEAD END PLUS 1 NO STRAND TO DROP OFF WHERE POSITIONED

BCA certifiers
ABN: 58 119 755 734

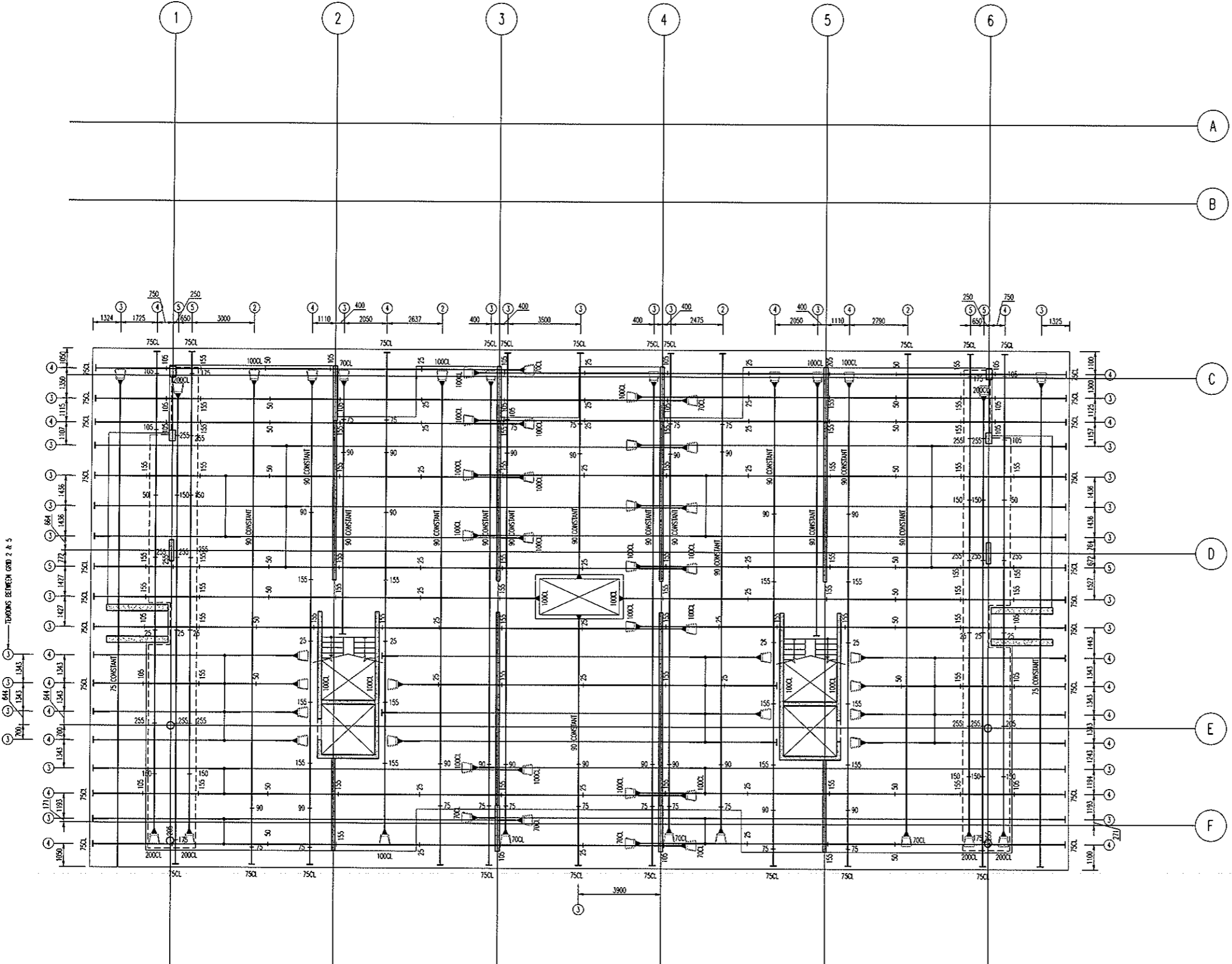
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Date Issued 71

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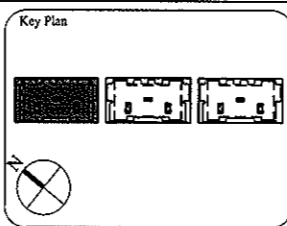
MEASURED QUANTITIES	
STRESSING	3.6 TONNE
STRESSING TOTAL FLOOR ALLOWANCE	10.8 TONNE
STRESSING TENDER ALLOWANCE	11.0 TONNE

MEASURED FROM ANCHOR TO ANCHOR
NO ALLOWANCE FOR DRAPE OR WASTAGE.

FOR POST-TENSION ANCHORAGE DETAILS REFER TO DRAWING S800



No	Revision	Date	No	Revision	Date
A	ISSUE FOR TENDER	05.05.11			
B	ISSUE FOR CONSTRUCTION	19.07.11			



1:1 SCALE

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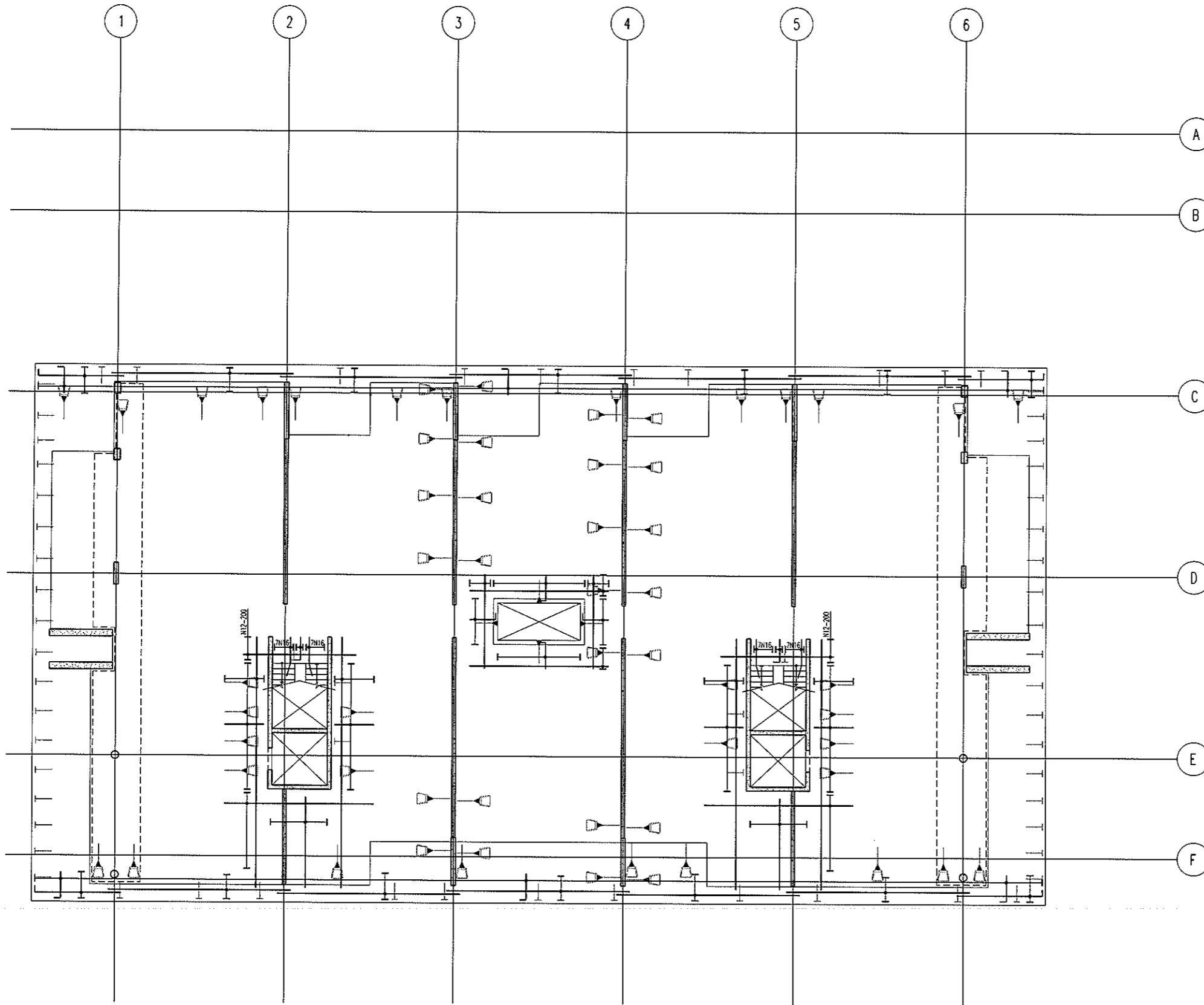
Project
DOCKSIDE APARTMENTS
BLOCK 1 SECTION 63
KINGSTON

Drawn: A.W.T
Engineer: A.Z
Scale: 1:100 @ A1
1:200 @ A3

Drawing Title
**LEVEL 3 NORTH
POST-TENSION PLAN**

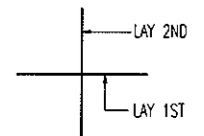
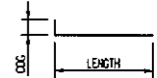
Job No: 109260
Drawing No: S461
Rev: B

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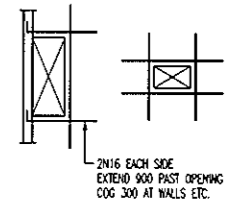


**LEVEL 3 NORTH
BOTTOM REINFORCEMENT PLAN**
SCALE 1:100

- NOTES:
- REFER TO DRAWING No S001 FOR CONSTRUCTION NOTES
 - REFER TO DRAWING No S001 FOR ADDITIONAL NOTES
 - WHERE REINFORCEMENT SHOWN IN ONE DIRECTION ONLY PROVIDE N12-450 SUPPORT BARS TYPICAL UNO
 - ALL COGS TO BE 150mm



BAR LAYING SEQUENCE U.N.O.



TYPICAL TRIMMER DETAIL
PROVIDE TRIMMERS AT ALL PENETRATIONS, PITS, ETC

BCA certifiers
ABN: 56 119 755 734

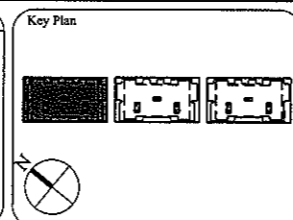
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Date Issued *7C*

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NOTE: ALL REINFORCEMENT SHOWN IS N12-300 TYP. U.N.O. ON PLAN

BAND TIE TYPE SCHEDULE	
MARK	TYPE
BT1	
BT2	
BT3	
BT4	

No	Revision	Date	No	Revision	Date	No	Revision	Date
1	ISSUE FOR INFORMATION	06.05.11						
A	ISSUE FOR CONSTRUCTION	19.07.11						



1:1 SCALE 0 1 2 3 4 5 6 7 8 9 10

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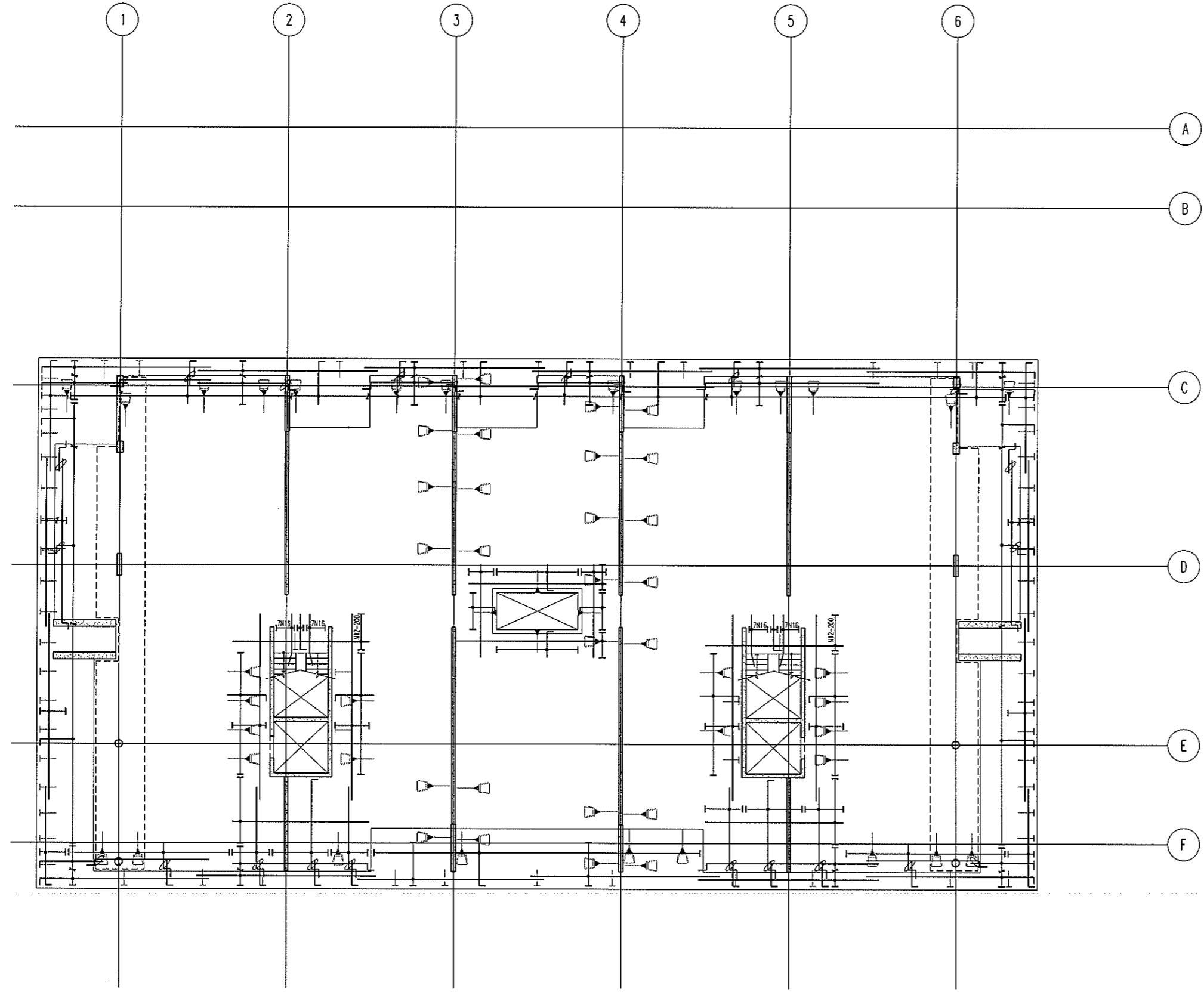
Project
DOCKSIDE APARTMENTS
BLOCK 1 SECTION 63
KINGSTON

Drawn: A.W.T. Engineer: A.Z. Scale: 1:100 @ A1, 1:200 @ A3

Drawing Title
**LEVEL 3 NORTH
BOTTOM REINFORCEMENT PLAN**

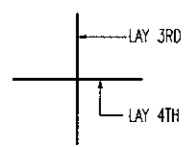
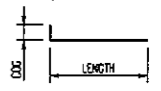
Job No: 109260 Drawing No: S462 Rev: A

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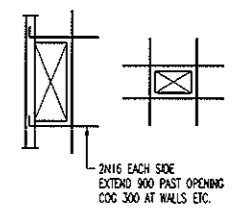


**LEVEL 3 NORTH
TOP REINFORCEMENT PLAN**
SCALE 1:100

- NOTES:
- REFER TO DRAWING No S001 FOR CONSTRUCTION NOTES
 - REFER TO DRAWING No S001 FOR ADDITIONAL NOTES
 - WHERE REINFORCEMENT SHOWN IN ONE DIRECTION ONLY PROVIDE N12-450 SUPPORT BARS TYPICAL UNO
 - ALL COGS TO BE 150mm



BAR LAYING SEQUENCE U.N.O.



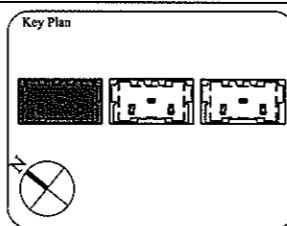
TYPICAL TRIMMER DETAIL
PROVIDE TRIMMERS AT ALL PENETRATIONS, PTS, ETC

NOTE: ALL REINFORCEMENT SHOWN IS N12-300 TYP. U.N.O. ON PLAN

BCA certifiers
AEN: 58 119 755 734

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1	ISSUE FOR INFORMATION	06.05.11						
A	ISSUE FOR CONSTRUCTION	19.07.11						



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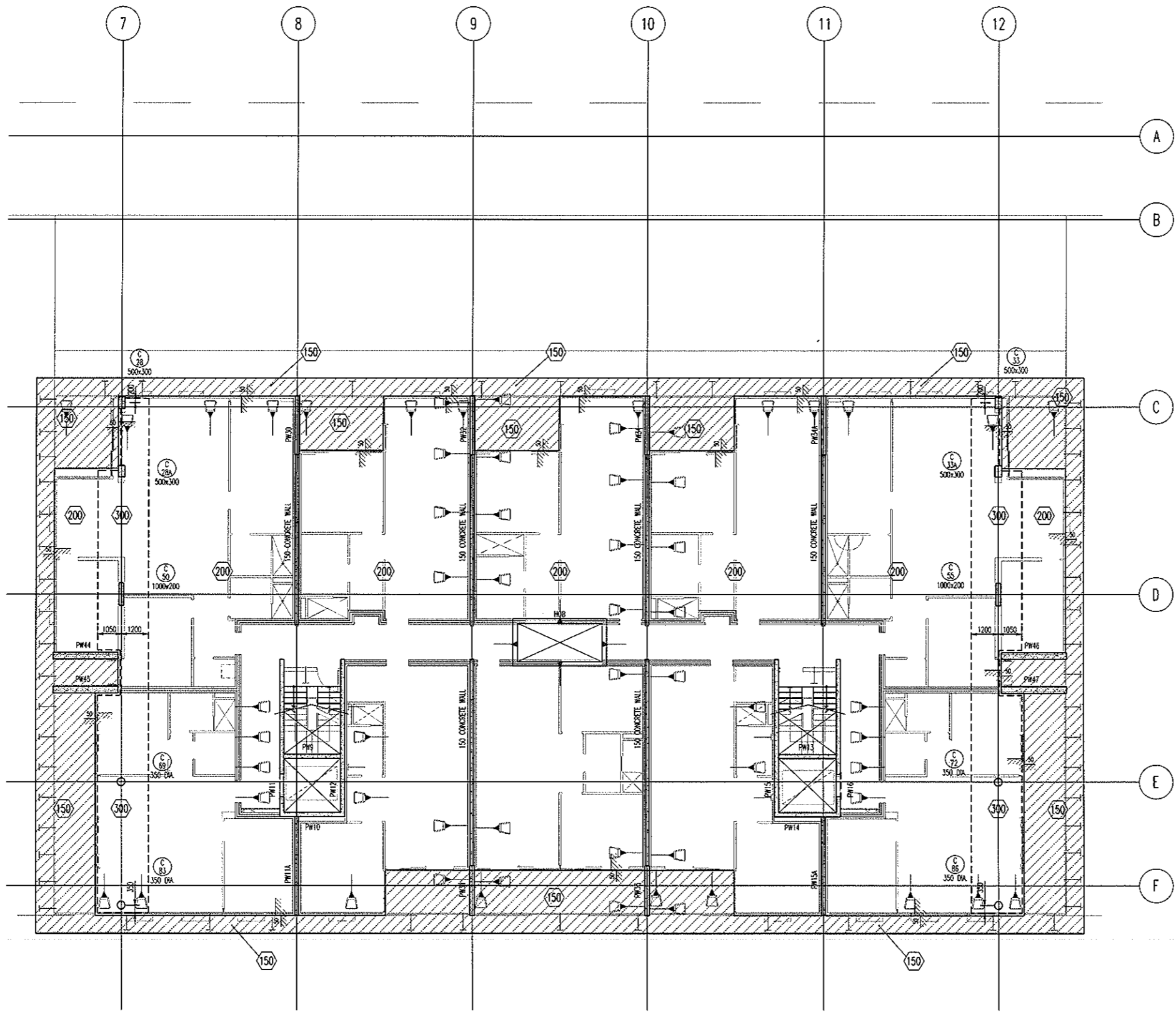
Project
DOCKSIDE APARTMENTS
BLOCK 1 SECTION 63
KINGSTON

Drawn: A.W.T. Engineer: A.Z. Scale: 1:100 @ A1, 1:200 @ A3

Drawing Title
**LEVEL 3 NORTH
TOP REINFORCEMENT PLAN**

Job No: 109260 Drawing No: S463 Rev: A

ARCHITECTURAL BACKGROUND, SHOWN LIGHT, ARE FOR INFORMATION ONLY. REFER TO CURRENT ARCHITECTURAL DRAWINGS FOR EXACT SETOUT & DETAILS



LEVEL 3 MID MARKING PLAN
SCALE 1:100

200 THICK SLAB. TYPICAL U.N.O. ON PLAN

- NOTES:
- REFER TO DRAWING No S001 FOR CONSTRUCTION NOTES
 - REFER TO DRAWING No S001 FOR CONCRETE STRENGTHS
 - REFER TO S010 SERIES DRAWINGS FOR DESIGN LOADS
 - ALL FALLS TO ARCHITECTS DETAILS
 - REFER TO ARCHITECTS DRAWINGS FOR ALL CHANGERS, REBATES AND RECESSES
 - REFER TO PLAN AND SECTIONS FOR ADDITIONAL REINFORCEMENT
7. DENOTES ANCHOR LOCATION. REFER TO DRAWING No S466 FOR SETOUT
8. DENOTES COLUMN NUMBER (HATCHING IS FOR DESIGN PURPOSES ONLY)
 DENOTES COLUMN SIZE
9. DENOTES LOADBEARING WALL OR COLUMN OVER
10. DENOTES LOADBEARING WALL OR COLUMN UNDER

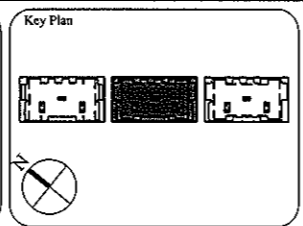
HATCH	DEPTH
	50mm
	70mm
	80mm
	100mm
	150mm

BCA certifiers
ABN: 58 119 755 734

23 AUG 2011
Date Issued **74**

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No	Revision	Date	No	Revision	Date	No	Revision	Date
1	ISSUE FOR INFORMATION	06.05.11						
A	ISSUE FOR CONSTRUCTION	19.07.11						



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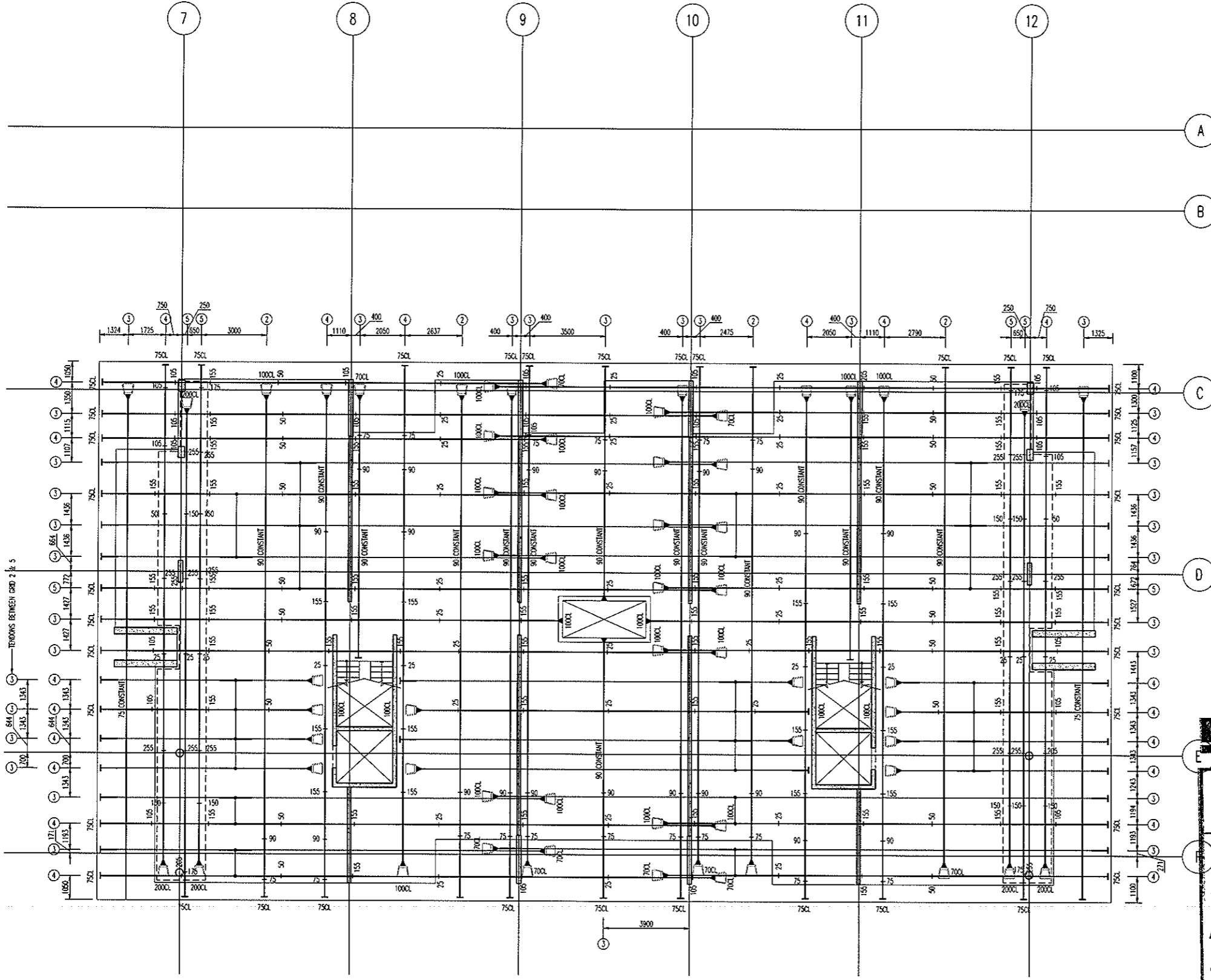
Project
DOCKSIDE APARTMENTS
BLOCK 1 SECTION 63
KINGSTON

Drawn: A.W.T. Engineer: A.Z. Scale: 1:100 @ A1, 1:200 @ A3

Drawing Title
LEVEL 3 MID MARKING PLAN

Job No: 109260 Drawing No: S465 Rev: A

ARCHITECTURAL BACKGROUNDS, SHOWN LIGHT, ARE FOR INFORMATION ONLY. REFER TO CURRENT ARCHITECTURAL DRAWINGS FOR EXACT SETOUT & DETAILS.



ALL STRAND TO BE 12.7mm DIA.
7 WIRE SUPER GRADE LOW RELAXATION STRAIN TO AS1311

**LEVEL 3 MID
POST-TENSION PLAN**
SCALE 1:100

- NOTES:**
- Tendons shall be stressed to the following jacking forces unless noted otherwise:
12.7dia strand tendons - 156 kN (85% UTS) per strand.
15.2dia strand tendons - 212 kN (85% UTS) per strand.
 - Concrete test cylinders used for assessing strength for tensioning are to be site cured in similar conditions to the concrete element being stressed.
 - Stressing sequence (12.7 Strand)
Initial stress: After 24 hours minimum and at concrete strength = 7mPa.
Jack each strand to 25% of final stress.
Final stress: After 5 days minimum and at concrete strength = 22mPa.
Jack each strand to 85% UTS.
 - Stressing sequence (15.2 Strand)
Initial stress: After 24 hours minimum and of concrete strength = 9mPa.
Jack each strand to 25% of final stress.
Final stress: After 5 days minimum and at concrete strength = 25mPa.
Jack each strand to 85% UTS.
 - REFER TO DRAWING No S001 FOR CONSTRUCTION NOTES
 - REFER TO DRAWING No S001 FOR ADDITIONAL NOTES
 - ENSURE MINIMUM 100mm CLEAR COVER BETWEEN CABLES & PENETRATIONS
 - ENSURE HORIZONTAL BENDS IN CABLES OCCUR NO CLOSER THAN 300mm TO THE CORNER OF ANY PENETRATION
 - LOCALLY DISPLACE REINFORCEMENT TO ALLOW CORRECT DRAPE OF POST-TENSIONING CABLES
 - C's & CHAR HEIGHTS DENOTED THIS * ARE MEASURED FROM THE SOFFIT OF THE SLAB/BEAM IN WHICH THE CABLE RUNS
 - ALL HEIGHTS MEASURED TO UNDERSIDE OF DUCTS
 - HEIGHTS MEASURED TO CENTRELINE OF ANCHORS NOTED ON PLAN

- LEGEND:**
- ON PLAN DENOTES LIVE END
 - ON PLAN DENOTES DEAD END
 - ON PLAN DENOTES COUPLER
 - ON PLAN DENOTES STRESSING PAN
 - ON PLAN DENOTES 1 No STRAND TO DROP OFF WHERE POSITIONED
 - 100CL DENOTES TENDON NUMBER
 - 90 DENOTES NUMBER OF STRANDS IN DUCT
 - 155 DENOTES 4 No STRANDS CONTINUE THRU TO DEAD END PLUS 1 No STRAND TO DROP OFF WHERE POSITIONED

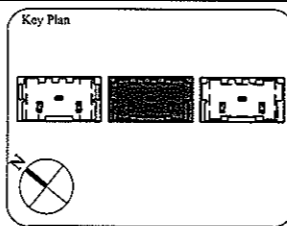
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ABN 58 119 755 734
23 AUG 2011
Date Issued 75
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MEASURED QUANTITIES	
STRESSING	3.6 TONNE
STRESSING TOTAL FLOOR ALLOWANCE	10.8 TONNE
STRESSING TENDER ALLOWANCE	11.0 TONNE

MEASURED FROM ANCHOR TO ANCHOR
NO ALLOWANCE FOR DRAPE OR WASTAGE.

FOR POST-TENSION ANCHORAGE DETAILS REFER TO DRAWING S800

No	Revision	Date	No	Revision	Date
A	ISSUE FOR TENDER	05.05.11			
B	ISSUE FOR CONSTRUCTION	19.07.11			



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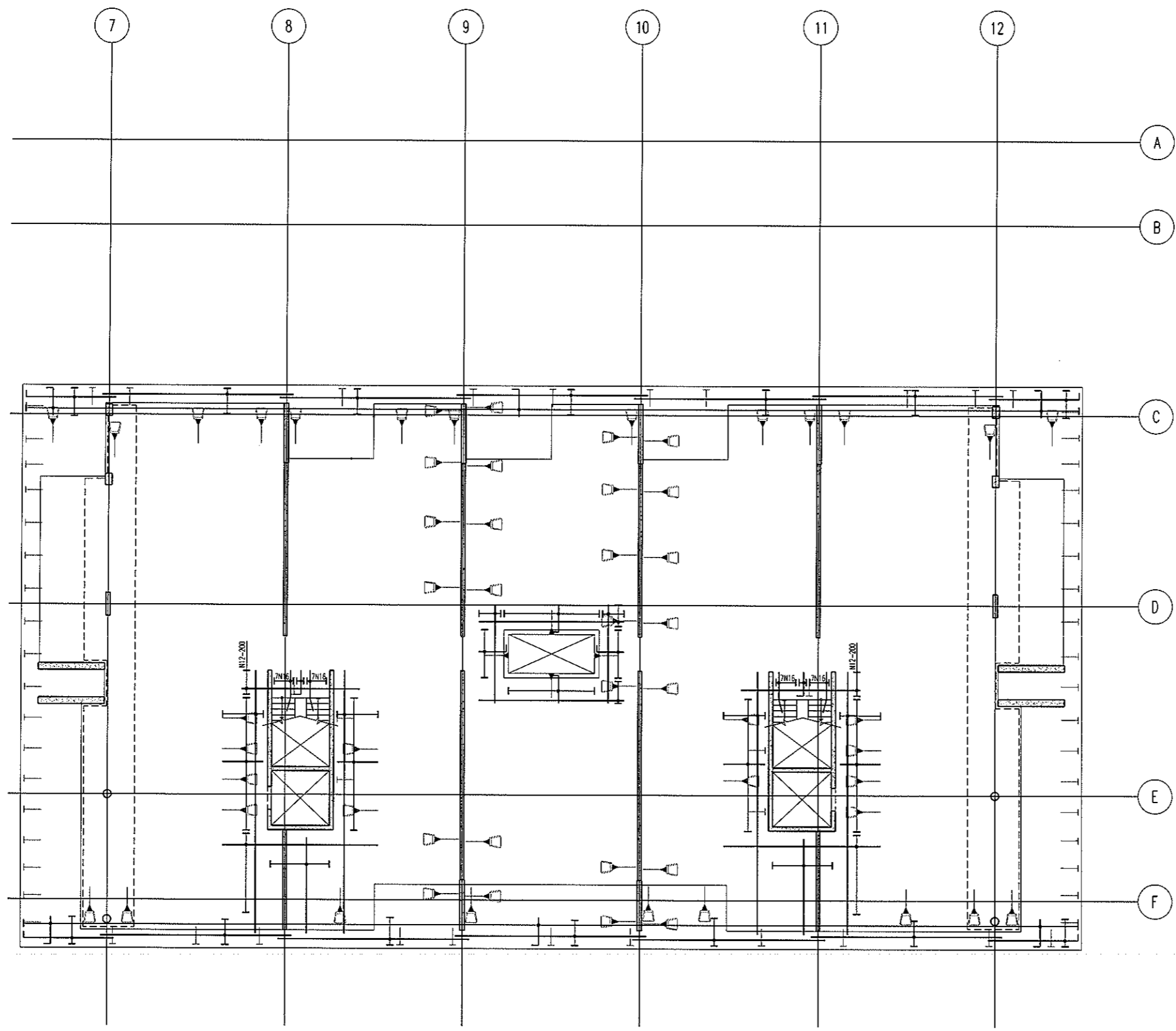
Project
DOCKSIDE APARTMENTS
BLOCK 1 SECTION 63
KINGSTON

Drawn A.W.T. Engineer A.Z. Scale 1:100 @ A1, 1:200 @ A3

Drawing Title
**LEVEL 3 MID
POST-TENSION PLAN**

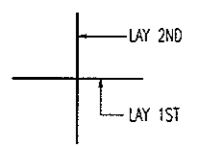
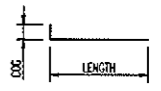
Job No 109260 Drawing No S466 Rev B

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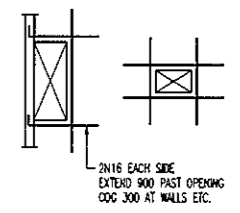


**LEVEL 3 MID
BOTTOM REINFORCEMENT PLAN**
SCALE 1:100

- NOTES:
- REFER TO DRAWING No 5001 FOR CONSTRUCTION NOTES
 - REFER TO DRAWING No 5001 FOR ADDITIONAL NOTES
 - WHERE REINFORCEMENT SHOWN IN ONE DIRECTION ONLY PROVIDE N12-450 SUPPORT BARS TYPICAL UNO
 - ALL COGS TO BE 150mm



BAR LAYING SEQUENCE U.N.O.



TYPICAL TRIMMER DETAIL
PROVIDE TRIMMERS AT ALL PENETRATIONS, PITS, ETC

NOTE: ALL REINFORCEMENT SHOWN IS N12-300 TYP. U.N.O. ON PLAN

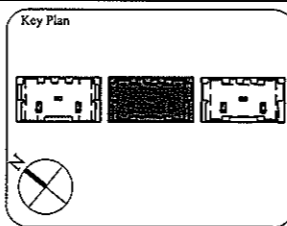
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BAND TIE TYPE SCHEDULE	
MARK	TYPE
B11	[Diagram]
B12	[Diagram]
B13	[Diagram]
B14	[Diagram]

No	Revision	Date	No	Revision	Date	No	Revision	Date
1	ISSUE FOR INFORMATION	06.05.11						
A	ISSUE FOR CONSTRUCTION	19.07.11						



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Project
DOCKSIDE APARTMENTS

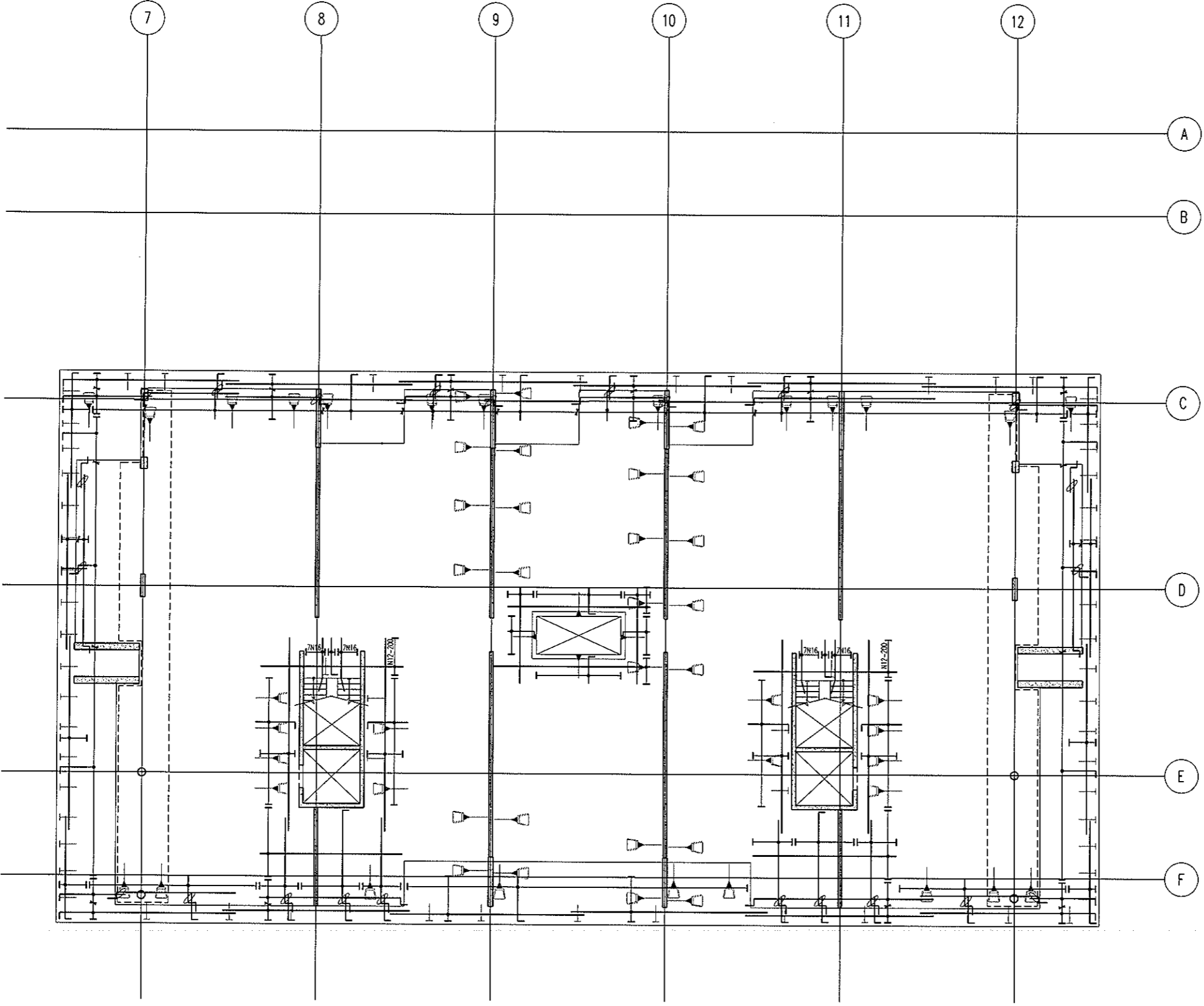
BLOCK 1 SECTION 63
KINGSTON

Drawn: A.W.T. Engineer: A.Z. Scale: 1:100 @ A1, 1:200 @ A3

Drawing Title
**LEVEL 3 MID
BOTTOM REINFORCEMENT PLAN**

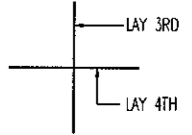
Job No: 109260 Drawing No: S467 Rev: A

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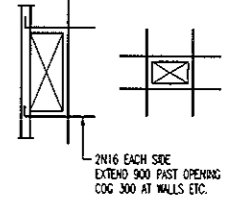


**LEVEL 3 MID
TOP REINFORCEMENT PLAN**
SCALE 1:100

- NOTES:
- REFER TO DRAWING No 5001 FOR CONSTRUCTION NOTES
 - REFER TO DRAWING No 5001 FOR ADDITIONAL NOTES
 - WHERE REINFORCEMENT SHOWN IN ONE DIRECTION ONLY PROVIDE N12-450 SUPPORT BARS TYPICAL UNO
 - ALL COGS TO BE 150mm



BAR LAYING SEQUENCE U.N.O.



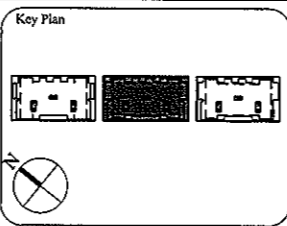
TYPICAL TRIMMER DETAIL
PROVIDE TRIMMERS AT ALL PENETRATIONS, PITS, ETC

NOTE: ALL REINFORCEMENT SHOWN IS N12-300 TYP. U.N.O. ON PLAN

BCA certifiers
ABN: 58 119 755 734

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1	ISSUE FOR INFORMATION	06.05.11						
A	ISSUE FOR CONSTRUCTION	19.07.11						



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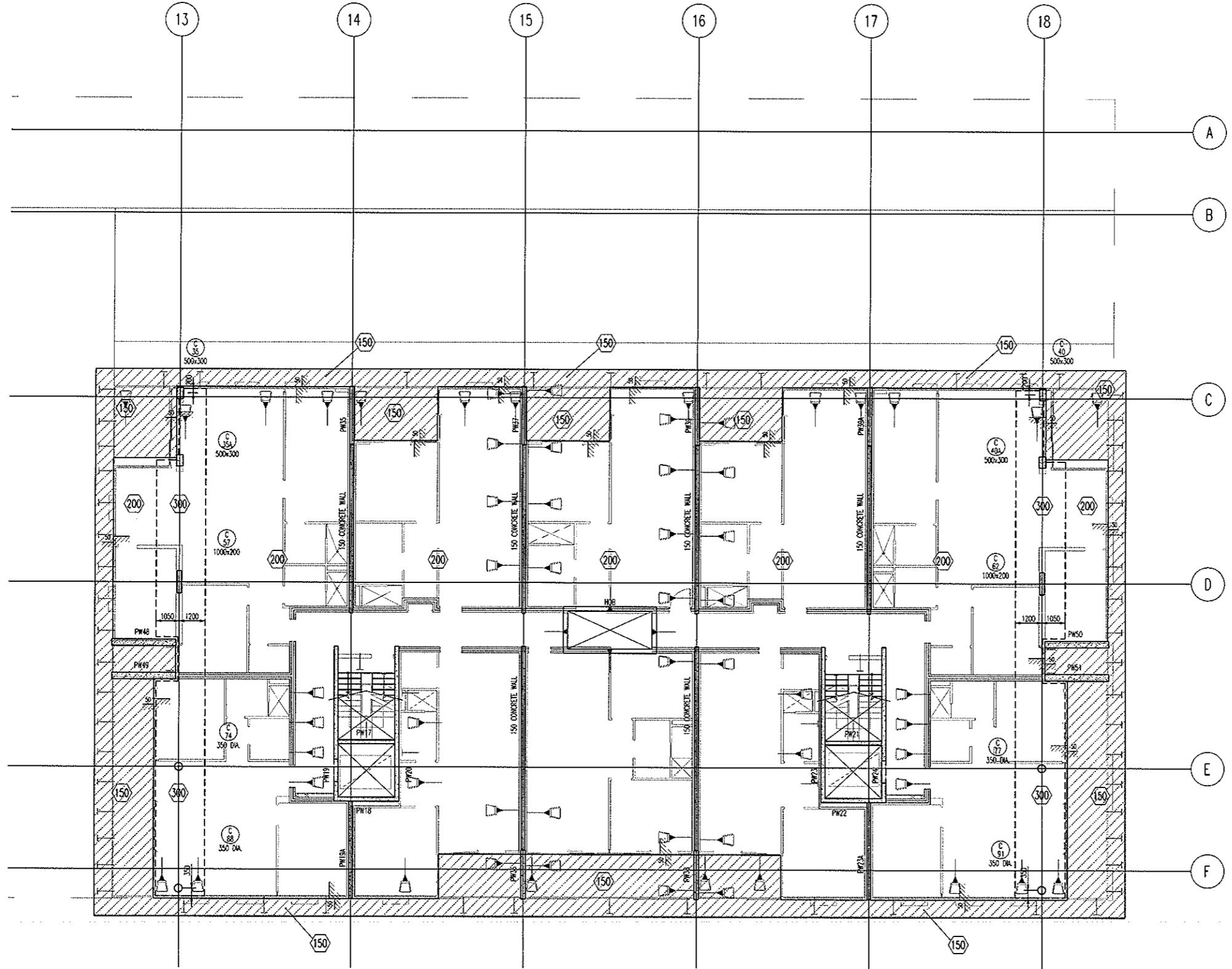
Project
DOCKSIDE APARTMENTS
BLOCK 1 SECTION 63
KINGSTON

Drawn: A.W.T. Engineer: A.Z. Scale: 1:100 @ A1, 1:200 @ A3

Drawing Title
**LEVEL 3 MID
TOP REINFORCEMENT PLAN**

Job No: 109260 Drawing No: S468 Rev: A

ARCHITECTURAL BACKGROUNDS SHOWN LIGHT, ARE FOR INFORMATION ONLY. REFER TO CURRENT ARCHITECTURAL DRAWINGS FOR EXACT SETOUT & DETAILS



**LEVEL 3 SOUTH
MARKING PLAN**
SCALE 1:100

200 THICK SLAB, TYPICAL U.N.O. ON PLAN

- NOTES:**
- REFER TO DRAWING No S001 FOR CONSTRUCTION NOTES
 - REFER TO DRAWING No S001 FOR CONCRETE STRENGTHS
 - REFER TO S010 SERIES DRAWINGS FOR DESIGN LOADS
 - ALL FALLS TO ARCHITECTS DETAILS
 - REFER TO ARCHITECTS DRAWINGS FOR ALL CHAMFERS, REBATES AND RECESSES
 - REFER TO PLAN AND SECTIONS FOR ADDITIONAL REINFORCEMENT
7. DENOTES ANCHOR LOCATION. REFER TO DRAWING No S471 FOR SETOUT
8. DENOTES COLUMN NUMBER (HATCHING IS FOR DESIGN PURPOSES ONLY)
 DENOTES COLUMN SIZE
9. DENOTES LOADBEARING WALL OR COLUMN OVER
10. DENOTES LOADBEARING WALL OR COLUMN UNDER

SETDOWN LEGEND

HATCH	DEPTH
	50mm
	70mm
	80mm
	100mm
	150mm

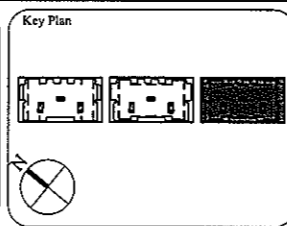
BCA certifiers
AEN: 50 119 755 734

23 AUG 2011
Date Issued *78*

BUILDING APPROVAL
Issued under s.28 of the Building Act 2004

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No	Revision	Date	No	Revision	Date	No	Revision	Date
1	ISSUE FOR INFORMATION	06.05.11						
A	ISSUE FOR CONSTRUCTION	19.07.11						



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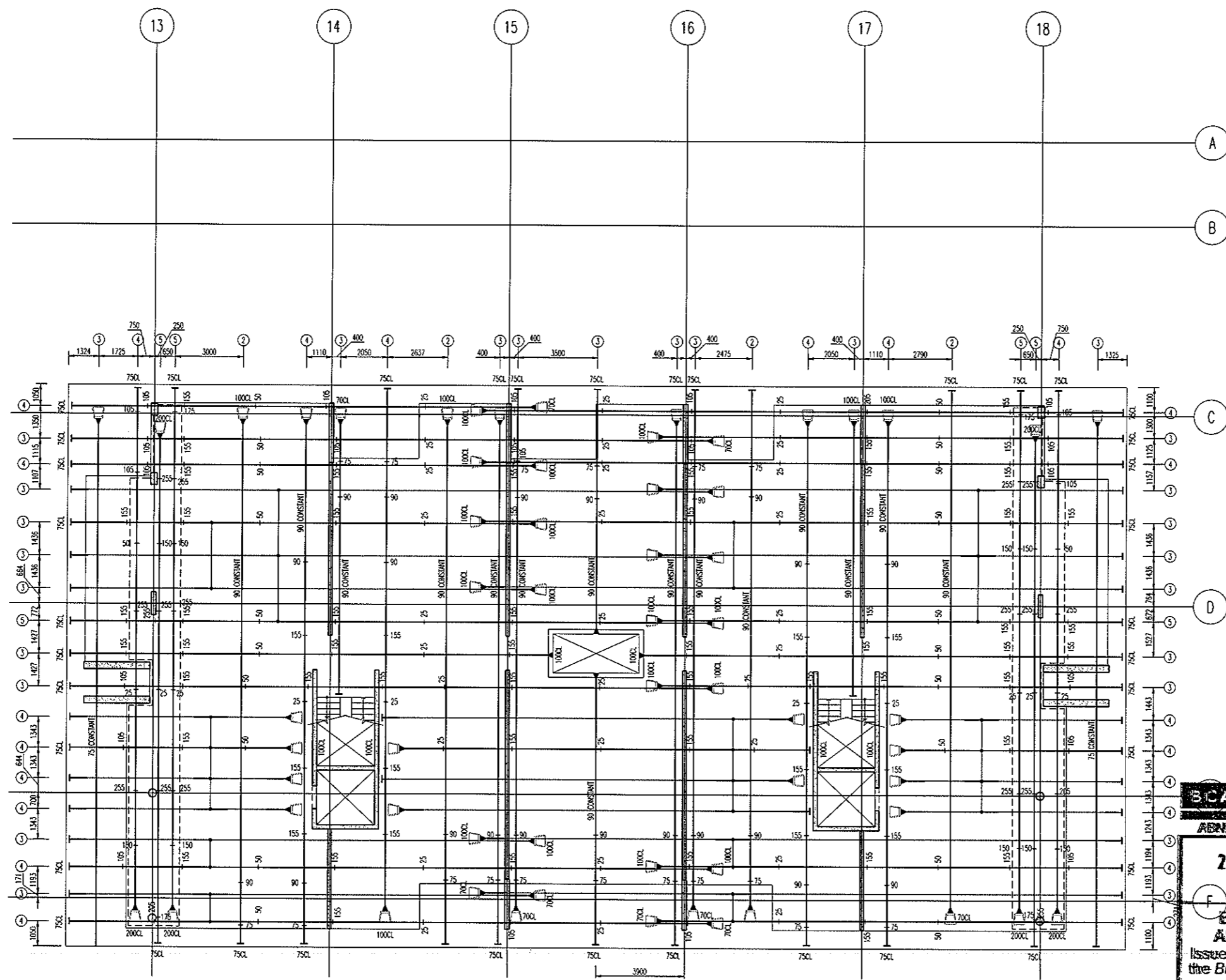
Project
DOCKSIDE APARTMENTS
BLOCK 1 SECTION 63
KINGSTON

Drawn: A.W.T. Engineer: A.Z. Scale: 1:100 @ A1, 1:200 @ A3

Drawing Title
LEVEL 3 SOUTH MARKING PLAN

Job No: 109260 Drawing No: S470 Rev: A

ARCHITECTURAL BACKGROUNDS, SHOWN LIGHT, ARE FOR INFORMATION ONLY. REFER TO CURRENT ARCHITECTURAL DRAWINGS FOR EXACT SETOUT & DETAILS.



ALL STRAND TO BE 12.7mm DIA.
7 WIRE SUPER GRADE LOW RELAXATION STRAIN TO AS1311

**LEVEL 3 SOUTH
POST-TENSION PLAN**
SCALE 1:100

- NOTES:**
- Tendons shall be stressed to the following jacking forces unless noted otherwise:
12.7mm strand tendons - 156 kN (85% UTS) per strand.
15.2mm strand tendons - 212 kN (85% UTS) per strand.
 - Concrete test cylinders used for assessing strength for tensioning are to be site cured in similar conditions to the concrete element being stressed.
 - Stressing sequence (12.7 Strand)
Initial stress: After 24 hours minimum and at concrete strength = 7mPa. Jack each strand to 25% of final stress.
Final stress: After 5 days minimum and at concrete strength = 22mPa. Jack each strand to 85% UTS.
 - Stressing sequence (15.2 Strand)
Initial stress: After 24 hours minimum and at concrete strength = 9mPa. Jack each strand to 25% of final stress.
Final stress: After 5 days minimum and at concrete strength = 25mPa. Jack each strand to 85% UTS.
 - REFER TO DRAWING No S001 FOR CONSTRUCTION NOTES
 - REFER TO DRAWING No S001 FOR ADDITIONAL NOTES
 - ENSURE MINIMUM 100mm CLEAR COVER BETWEEN CABLES & PENETRATIONS
 - ENSURE HORIZONTAL BENDS IN CABLES OCCUR NO CLOSER THAN 500mm TO THE CORNER OF ANY PENETRATION
 - LOCALLY DISPLACE REINFORCEMENT TO ALLOW CORRECT DRAPE OF POST-TENSIONING CABLES
 - C'S & CHAM HEIGHTS DENOTED THIS # ARE MEASURED FROM THE SOFFIT OF THE SLAB/BEAM IN WHICH THE CABLE RUNS
 - ALL HEIGHTS MEASURED TO UNDERSIDE OF DUCTS
 - HEIGHTS MEASURED TO CENTRELINE OF ANCHORS NOTED ON PLAN

- LEGEND:**
- ON PLAN DENOTES LIVE END
 - ON PLAN DENOTES DEAD END
 - ON PLAN DENOTES COUPLER
 - ON PLAN DENOTES STRESSING PAN
 - ON PLAN DENOTES 1 No STRAND TO DROP OFF WHERE POSITIONED
 - 1000 DENOTES TENDON NUMBER
 - 100 DENOTES NUMBER OF STRANDS IN DUCT
 - 4+100 DENOTES 4No STRANDS CONTINUE THRU TO DEAD END PLUS 1 No STRAND TO DROP OFF WHERE POSITIONED

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RENT: 58 119 755 734

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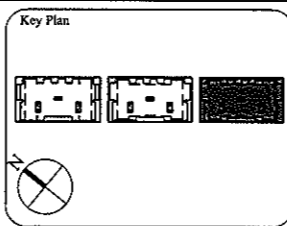
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MEASURED QUANTITIES	
STRESSING	3.6 TONNE
STRESSING TOTAL FLOOR ALLOWANCE	10.8 TONNE
STRESSING TENDER ALLOWANCE	11.0 TONNE

MEASURED FROM ANCHOR TO ANCHOR
NO ALLOWANCE FOR DRAPE OR WASTAGE.

FOR POST-TENSION ANCHORAGE DETAILS REFER TO DRAWING S800

No	Revision	Date	No	Revision	Date
A	ISSUE FOR TENDER	05.05.11			
B	ISSUE FOR CONSTRUCTION	19.07.11			



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Project
DOCKSIDE APARTMENTS
BLOCK 1 SECTION 63
KINGSTON

Drawn
A.W.T

Engineer
A.Z

Scale
1:100 @ A1
1:200 @ A3

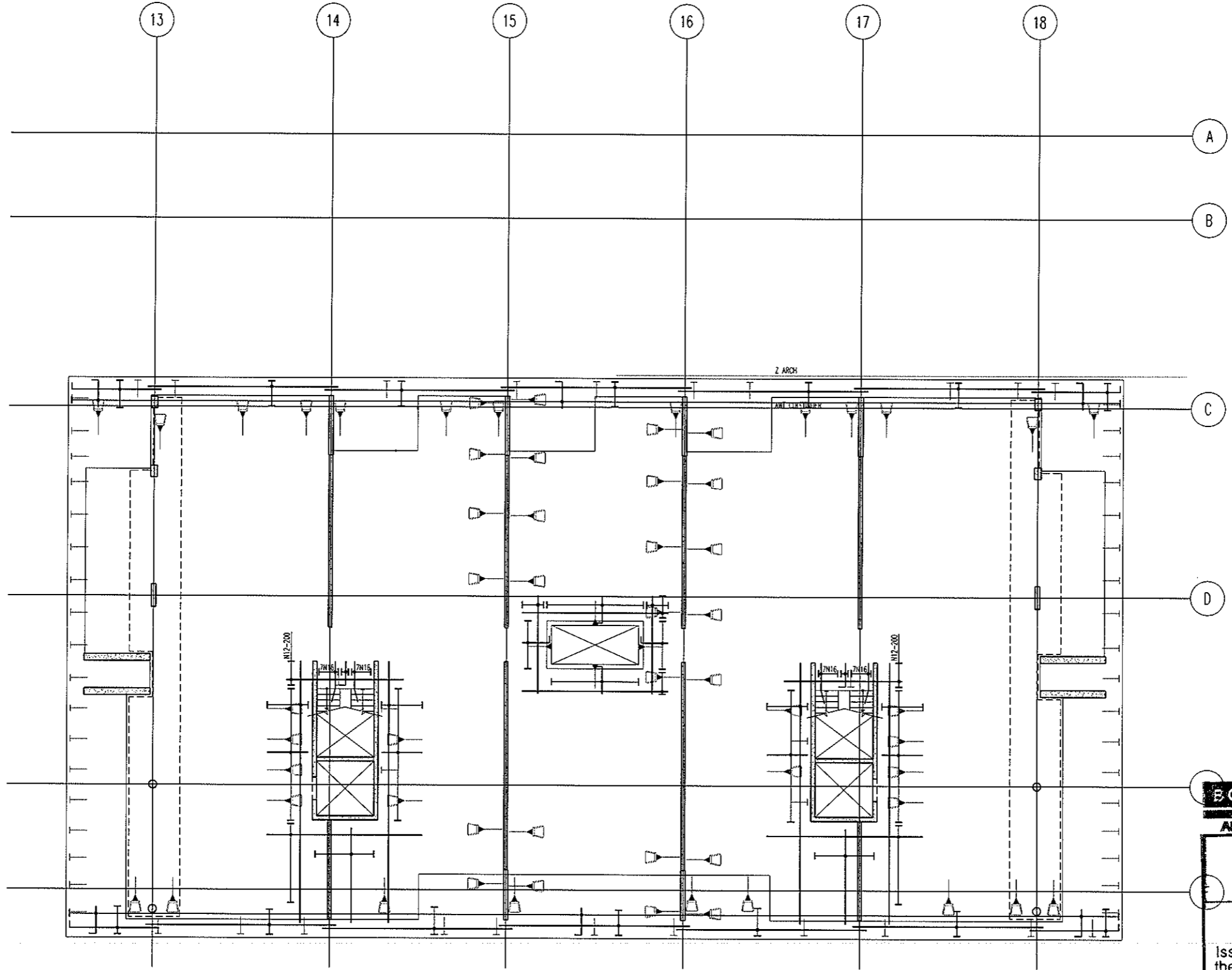
Drawing Title
**LEVEL 3 SOUTH
POST-TENSION PLAN**

Job No
109260

Drawing No
S471

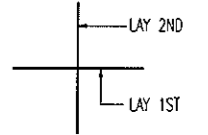
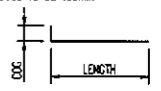
Rev
B

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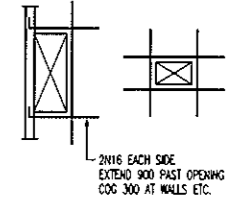


**LEVEL 3 SOUTH
BOTTOM REINFORCEMENT PLAN**
SCALE 1:100

- NOTES:
- REFER TO DRAWING No S001 FOR CONSTRUCTION NOTES
 - REFER TO DRAWING No S001 FOR ADDITIONAL NOTES
 - WHERE REINFORCEMENT SHOWN IN ONE DIRECTION ONLY PROVIDE N12-450 SUPPORT BARS TYPICAL UNO
 - ALL COGS TO BE 150mm



BAR LAYING SEQUENCE U.N.O.



TYPICAL TRIMMER DETAIL
PROVIDE TRIMMERS AT ALL PENETRATIONS, PITS, ETC

NOTE: ALL REINFORCEMENT SHOWN IS N12-300 TYP. U.N.O. ON PLAN

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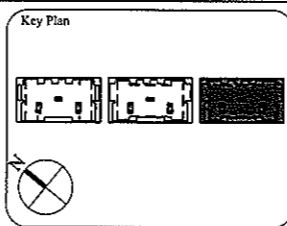
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BAND TIE TYPE SCHEDULE	
MARK	TYPE
BT1	
BT2	
BT3	
BT4	

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1	ISSUE FOR INFORMATION	06.05.11						
A	ISSUE FOR CONSTRUCTION	19.07.11						



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Project
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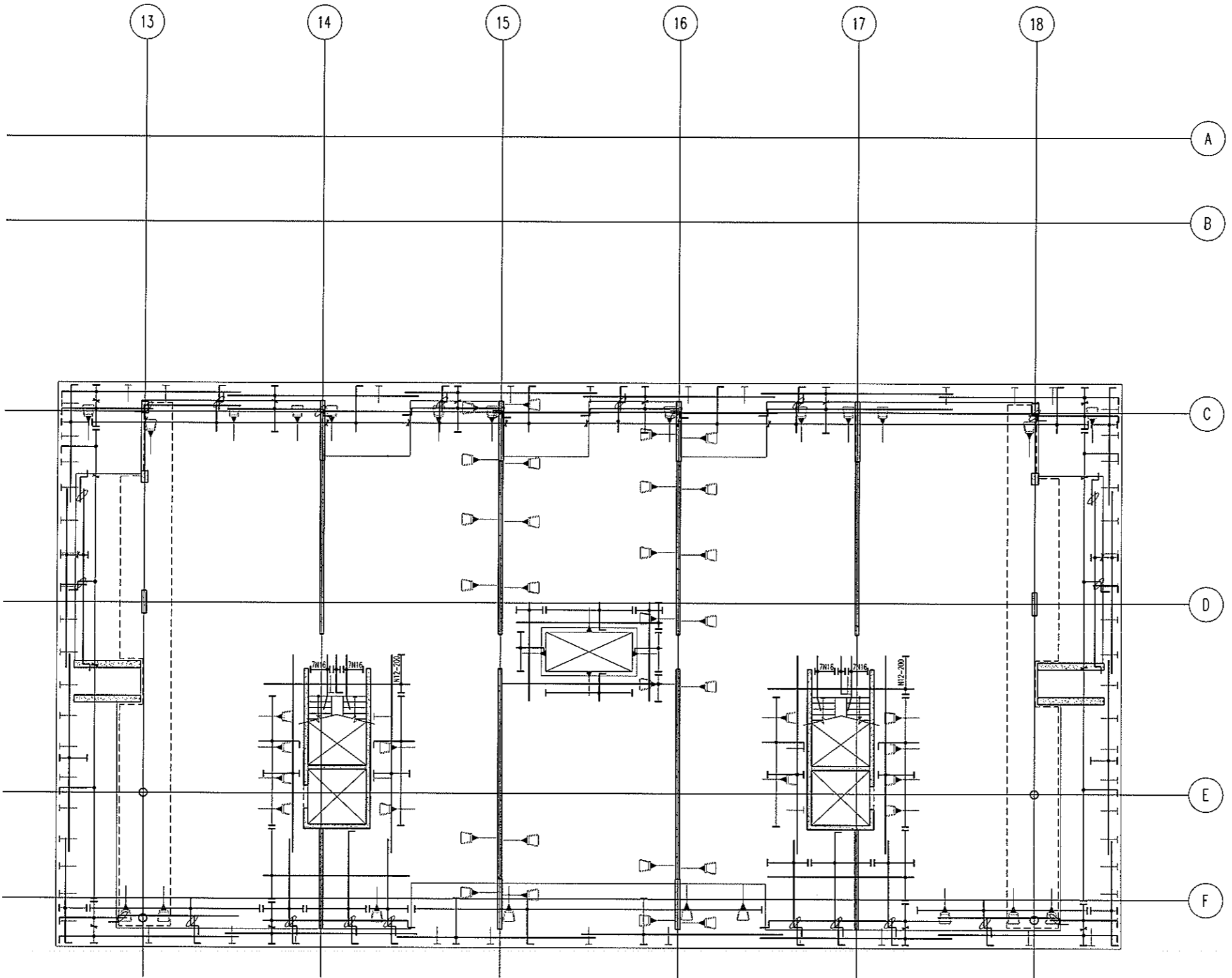
BLOCK 1 SECTION 63
KINGSTON

Drawn	Engineer	Scale
A.W.T	A.Z	1:100 @ A1 1:200 @ A3

Drawing Title
**LEVEL 3 SOUTH
BOTTOM REINFORCEMENT PLAN**

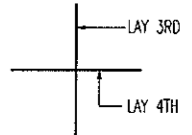
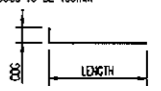
Job No	Drawing No	Rev
109260	S472	A

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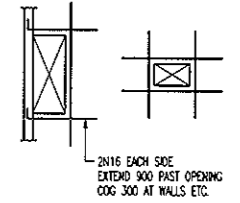


**LEVEL 3 SOUTH
TOP REINFORCEMENT PLAN**
SCALE 1:100

- NOTES:
1. REFER TO DRAWING No S001 FOR CONSTRUCTION NOTES
 2. REFER TO DRAWING No S001 FOR ADDITIONAL NOTES
 3. WHERE REINFORCEMENT SHOWN IN ONE DIRECTION ONLY PROVIDE N12-450 SUPPORT BARS TYPICAL UNO
 4. ALL COGS TO BE 150mm



BAR LAYING SEQUENCE U.N.O.



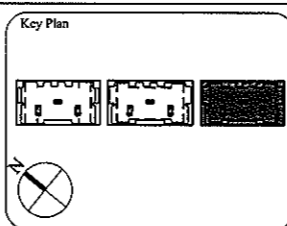
TYPICAL TRIMMER DETAIL
PROVIDE TRIMMERS AT ALL PENETRATIONS, PITS, ETC

NOTE: ALL REINFORCEMENT SHOWN IS N12-300 TYP. U.N.O. ON PLAN

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No	Revision	Date	No	Revision	Date
1	ISSUE FOR INFORMATION	06.05.11	.	.	.
A	ISSUE FOR CONSTRUCTION	19.07.11	.	.	.



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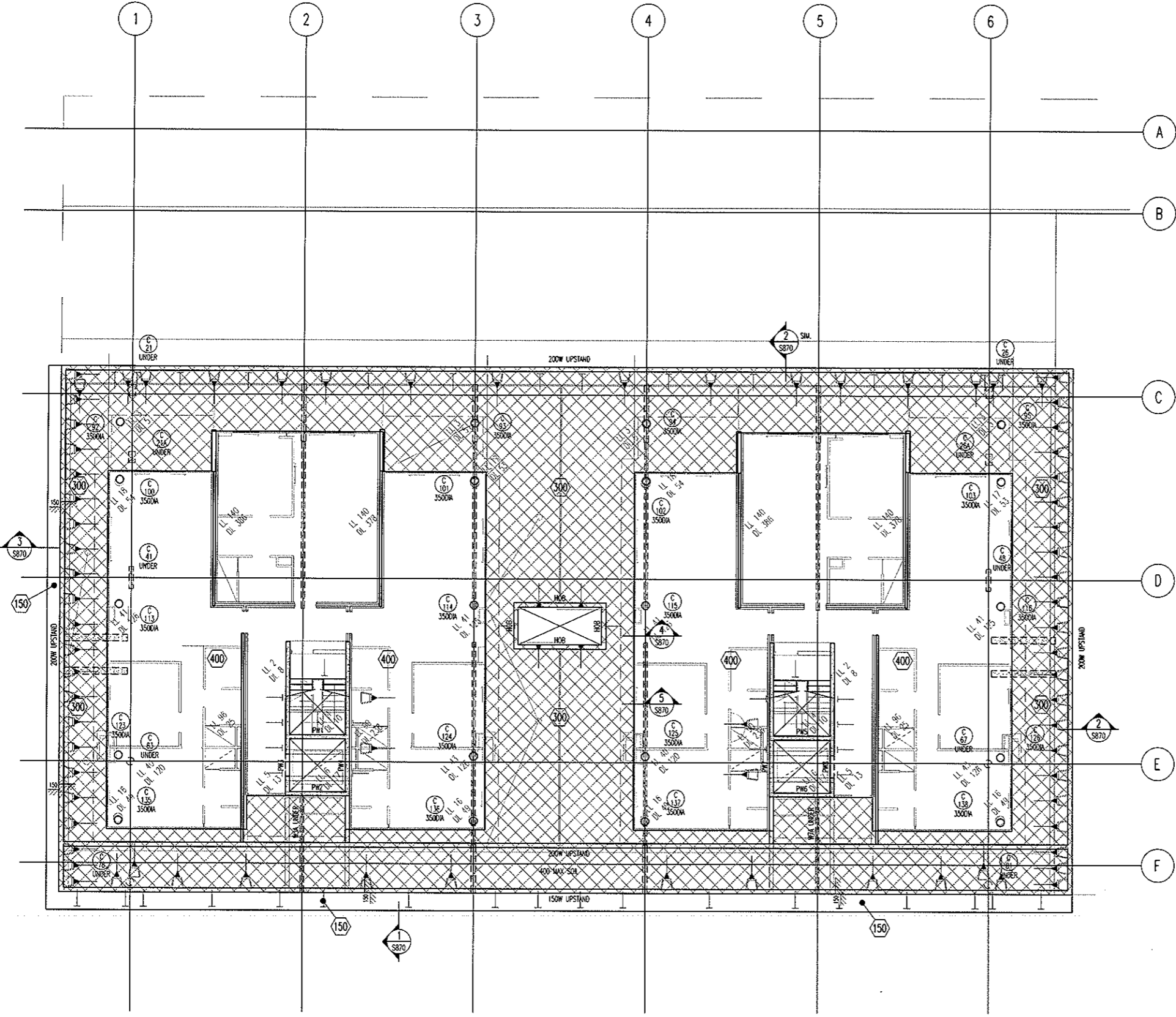
Project
DOCKSIDE APARTMENTS
BLOCK 1 SECTION 63
KINGSTON

Drwn A.W.T	Engineer A.Z	Scale 1:100 @ A1 1:200 @ A3
---------------	-----------------	-----------------------------------

Drawing Title
**LEVEL 3 SOUTH
TOP REINFORCEMENT PLAN**

Job No 109260	Drawing No S473	Rev A
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**LEVEL 4 NORTH
MARKING PLAN**
SCALE 1:100

300 THICK SLAB, TYPICAL U.N.O. ON PLAN

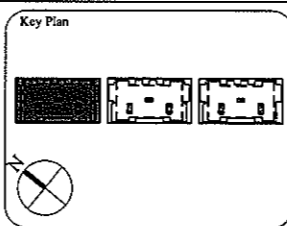
- NOTES:**
- REFER TO DRAWING No S001 FOR CONSTRUCTION NOTES
 - REFER TO DRAWING No S001 FOR CONCRETE STRENGTHS
 - REFER TO S010 SERIES DRAWINGS FOR DESIGN LOADS
 - ALL FALLS TO ARCHITECTS DETAILS
 - REFER TO ARCHITECTS DRAWINGS FOR ALL CHAMBERS, REBATES AND RECESSES
 - REFER TO PLAN AND SECTIONS FOR ADDITIONAL REINFORCEMENT
7. DENOTES ANCHOR LOCATION. REFER TO DRAWING No S476 FOR SETOUT
8. DENOTES COLUMN NUMBER (HATCHING IS FOR DESIGN PURPOSES ONLY)
 DENOTES COLUMN SIZE
9. DENOTES LOADBEARING WALL OR COLUMN OVER
10. DENOTES LOADBEARING WALL OR COLUMN UNDER

SETDOWN LEGEND	
HATCH	DEPTH
	50mm
	70mm
	80mm
	100mm
	150mm

BCA certifiers
ABN: 58 119 755 734

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1	ISSUE FOR INFORMATION	06.05.11						
A	ISSUE FOR BA	26.07.11						



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Project
DOCKSIDE APARTMENTS
BLOCK 1 SECTION 63
KINGSTON

Drawn: A.W.T. Engineer: A.Z. Scale: 1:100 @ A1, 1:200 @ A3

Drawing Title
LEVEL 4 NORTH MARKING PLAN

Job No: 109260 Drawing No: S475 Rev: A

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ALL STRAND TO BE 12.7mm DIA.
7 WIRE SUPER GRADE LOW RELAXATION STRAIN TO AS1311

**LEVEL 4 NORTH
POST-TENSION PLAN**
SCALE 1:100

- NOTES:**
- Tenders shall be stressed to the following jacking forces unless noted otherwise:
12.7dia strand tendons = 156 kN (85% UTS) per strand.
15.2dia strand tendons = 212 kN (85% UTS) per strand.
 - Concrete test cylinders used for assessing strength for tensioning are to be site cured in similar conditions to the concrete element being stressed.
 - Stressing sequence (12.7 Strand)
Initial stress: After 24 hours minimum and at concrete strength = 7mPa.
Jack each strand to 25% of final stress.
Final stress: After 5 days minimum and at concrete strength = 22mPa.
Jack each strand to 85% UTS.
 - Stressing sequence (15.2 Strand)
Initial stress: After 24 hours minimum and at concrete strength = 9mPa.
Jack each strand to 25% of final stress.
Final stress: After 5 days minimum and at concrete strength = 25mPa.
Jack each strand to 85% UTS.

- LEGEND:**
- ON PLAN DENOTES LIVE END
 - ON PLAN DENOTES DEAD END
 - ON PLAN DENOTES COUPLER
 - ON PLAN DENOTES STRESSING PAN
 - ON PLAN DENOTES 1 No STRAND TO DROP OFF WHERE POSITIONED
 - 100 DENOTES TENDON NUMBER
 - 100 DENOTES NUMBER OF STRANDS IN DUCT
 - 100 DENOTES 4No STRANDS CONTINUE THRU TO DEAD END PLUS 1 No STRAND TO DROP OFF WHERE POSITIONED

BCA certifiers
ABN: 58 119 755 734

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Date Issued *RS*

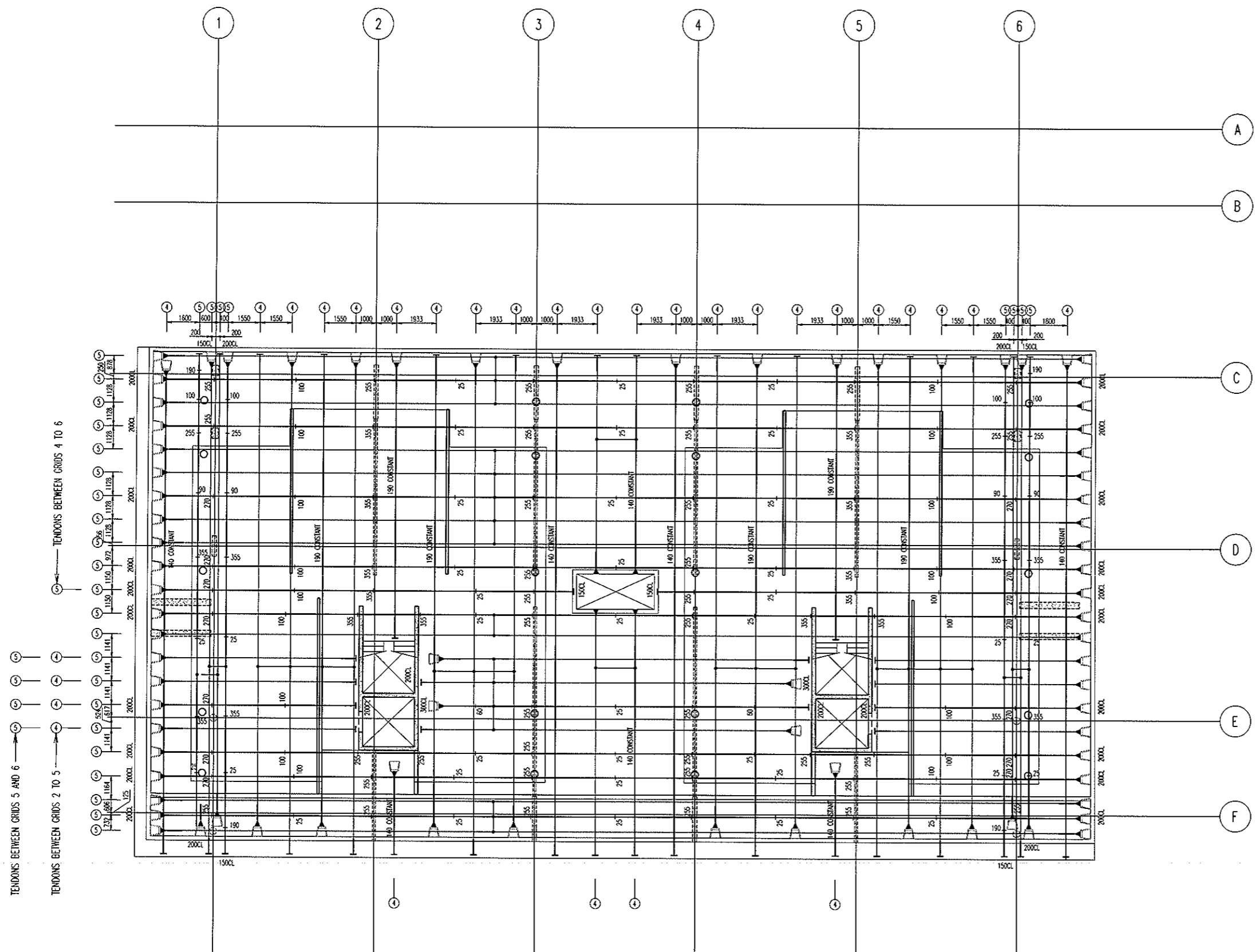
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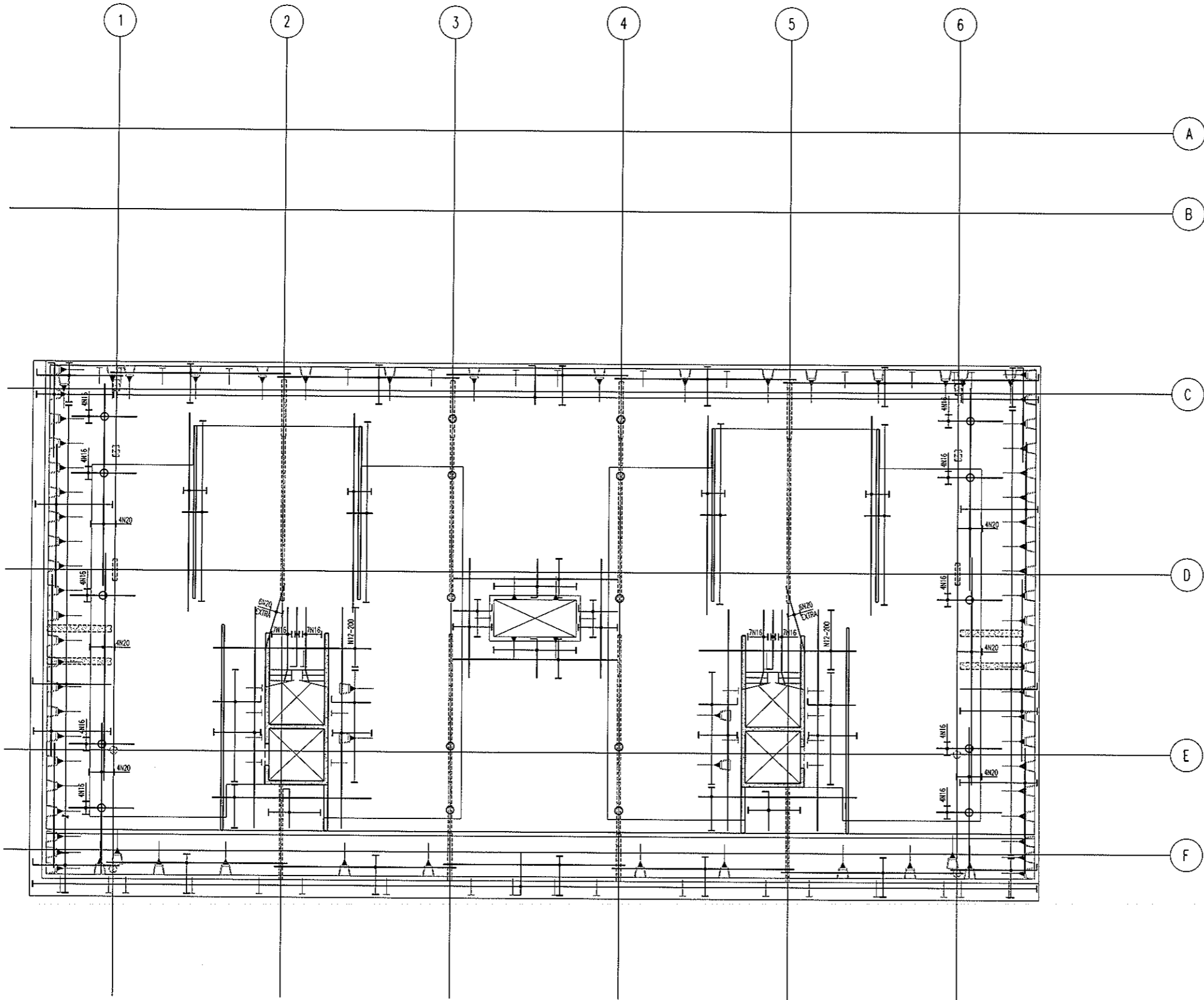
MEASURED QUANTITIES	
STRESSING	6.4 TONNE
STRESSING TOTAL FLOOR	19.8 TONNE
STRESSING TENDER ALLOWANCE	22.0 TONNE

MEASURED FROM ANCHOR TO ANCHOR
NO ALLOWANCE FOR DRAPE OR WASTAGE.

FOR POST-TENSION ANCHORAGE DETAILS REFER TO DRAWING S800

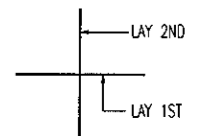


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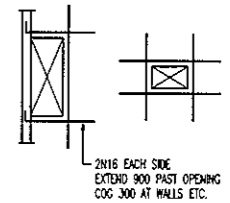


**LEVEL 4 NORTH
BOTTOM REINFORCEMENT PLAN**
SCALE 1:100

- NOTES:
- REFER TO DRAWING No S001 FOR CONSTRUCTION NOTES
 - REFER TO DRAWING No S001 FOR ADDITIONAL NOTES
 - WHERE REINFORCEMENT SHOWN IN ONE DIRECTION ONLY PROVIDE N12-450 SUPPORT BARS TYPICAL UNID
 - ALL COGS TO BE 150mm



BAR LAYING SEQUENCE U.N.O.



TYPICAL TRIMMER DETAIL
PROVIDE TRIMMERS AT ALL PENETRATIONS, FITS, ETC

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NOTE: ALL REINFORCEMENT SHOWN IS N12-300 TYP. U.N.O. ON PLAN

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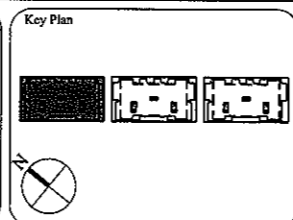
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BAND TIE TYPE SCHEDULE

MARK	TYPE
BT1	
BT2	
BT3	
BT4	

No	Revision	Date	No	Revision	Date	No	Revision	Date
1	ISSUE FOR INFORMATION	04.07.11						
A	ISSUE FOR CONSTRUCTION	19.07.11						



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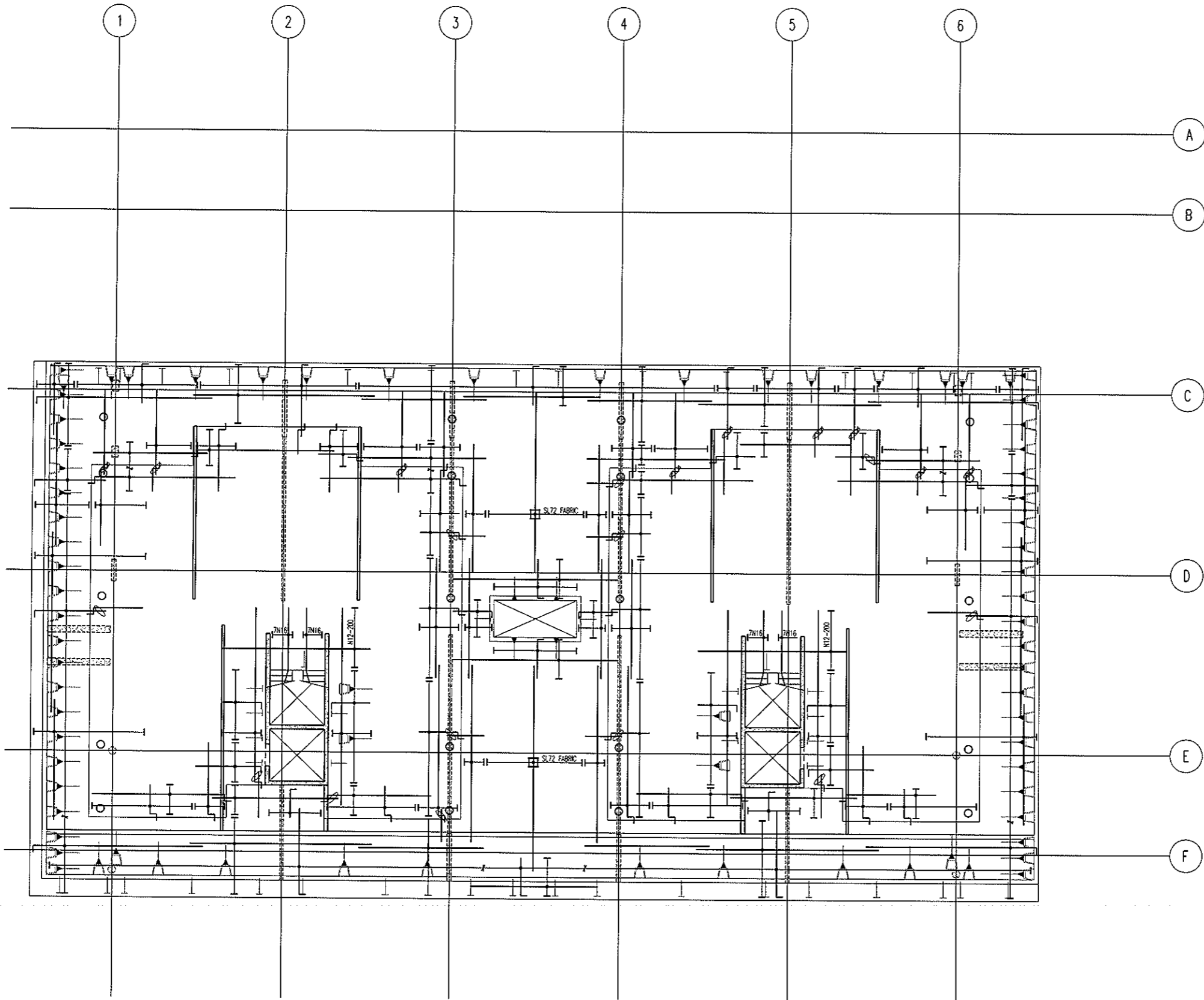
Project
DOCKSIDE APARTMENTS
BLOCK 1 SECTION 63
KINGSTON

Drawn: A.W.T
Engineer: A.Z
Scale: 1:100 @ A1
1:200 @ A3

Drawing Title
**LEVEL 4 NORTH
BOTTOM REINFORCEMENT PLAN**

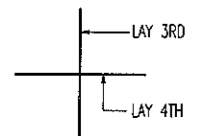
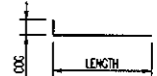
Job No: 109260
Drawing No: S477
Rev: A

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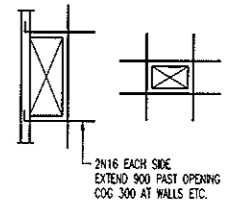


**LEVEL 4 NORTH
TOP REINFORCEMENT PLAN**
SCALE 1:100

- NOTES:**
- REFER TO DRAWING No S001 FOR CONSTRUCTION NOTES
 - REFER TO DRAWING No S001 FOR ADDITIONAL NOTES
 - WHERE REINFORCEMENT SHOWN IN ONE DIRECTION ONLY PROVIDE N12-450 SUPPORT BARS TYPICAL UNO
 - ALL COGS TO BE 150mm



BAR LAYING SEQUENCE U.N.O.



TYPICAL TRIMMER DETAIL
PROVIDE TRIMMERS AT ALL PENETRATIONS, PITS, ETC

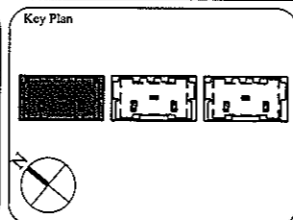
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A	ISSUE FOR CONSTRUCTION	19.07.11						



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Fax: (02) 9922 3705
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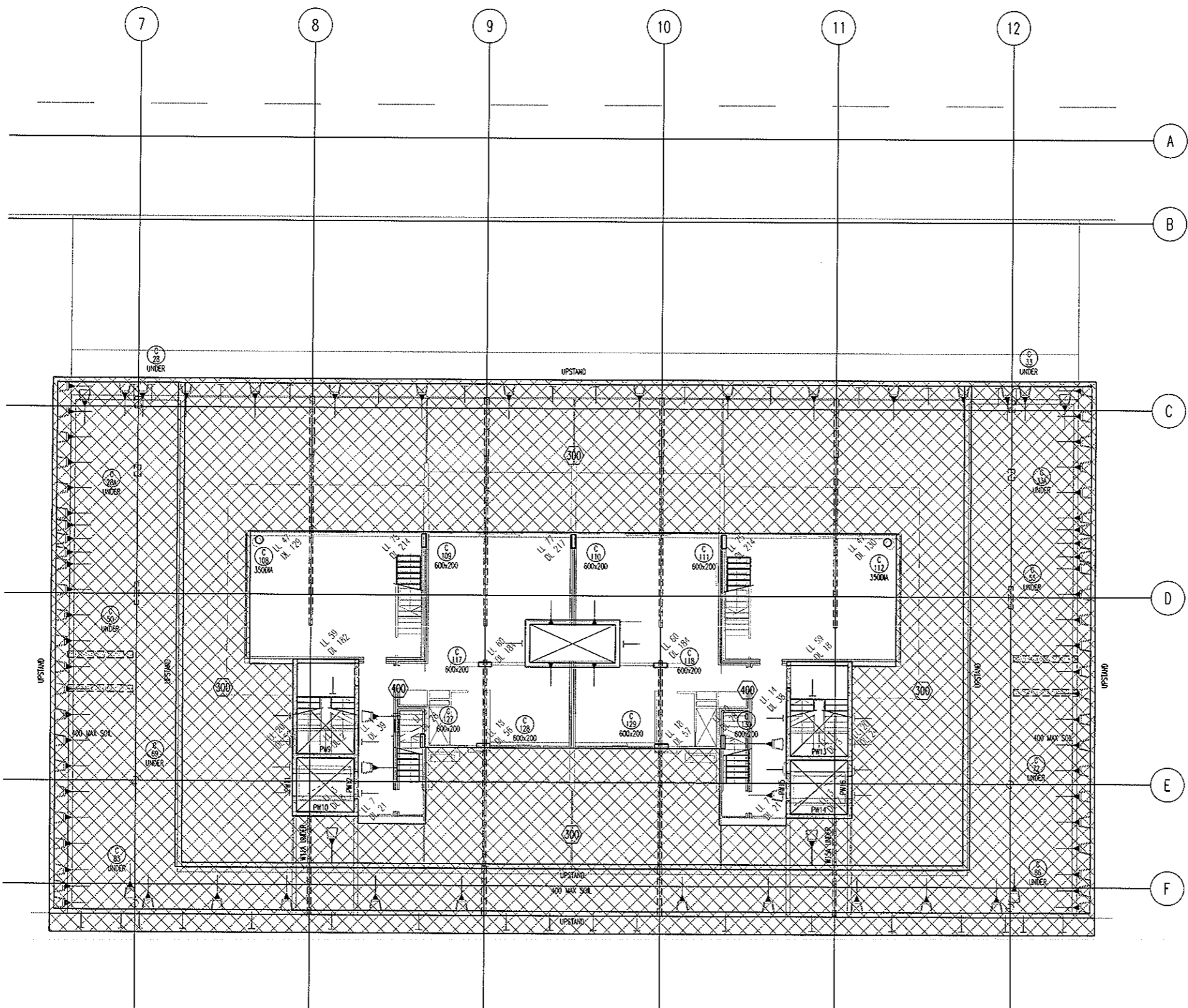
Project
DOCKSIDE APARTMENTS
BLOCK 1 SECTION 63
KINGSTON

Drawn: AWT
Engineer: AZ
Scale: 1:100 @ A1
1:200 @ A3

Drawing Title
**LEVEL 4 NORTH
TOP REINFORCEMENT PLAN**

Job No: 109260
Drawing No: S478
Rev: A

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LEVEL 4 MID MARKING PLAN
SCALE 1:100
300 THICK SLAB, TYPICAL U.N.O. ON PLAN

- NOTES:**
- REFER TO DRAWING No S001 FOR CONSTRUCTION NOTES
 - REFER TO DRAWING No S001 FOR CONCRETE STRENGTHS
 - REFER TO S010 SERIES DRAWINGS FOR DESIGN LOADS
 - ALL FALLS TO ARCHITECTS DETAILS
 - REFER TO ARCHITECTS DRAWINGS FOR ALL CHAMFERS, REBATES AND RECESSES
 - REFER TO PLAN AND SECTIONS FOR ADDITIONAL REINFORCEMENT
7. DENOTES ANCHOR LOCATION. REFER TO DRAWING No S481 FOR SETOUT
8. DENOTES COLUMN NUMBER (HATCHING IS FOR DESIGN PURPOSES ONLY)
 DENOTES COLUMN SIZE
9. DENOTES LOADBEARING WALL OR COLUMN OVER
10. DENOTES LOADBEARING WALL OR COLUMN UNDER

SETDOWN LEGEND	
HATCH	DEPTH
	50mm
	70mm
	80mm
	100mm
	150mm

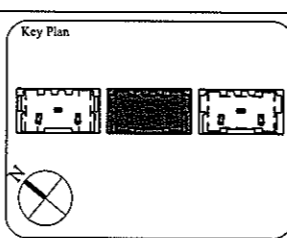
BCA certifiers
ABN: 58 119 755 734

23 AUG 2011
Date Issued *86*

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Issued under s.28 of the Building Act 2004

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No	Revision	Date	No	Revision	Date	No	Revision	Date
1	ISSUE FOR INFORMATION	06.05.11						
A	ISSUE FOR CONSTRUCTION	19.07.11						



1:1 SCALE

AWT CONSULTING ENGINEERS

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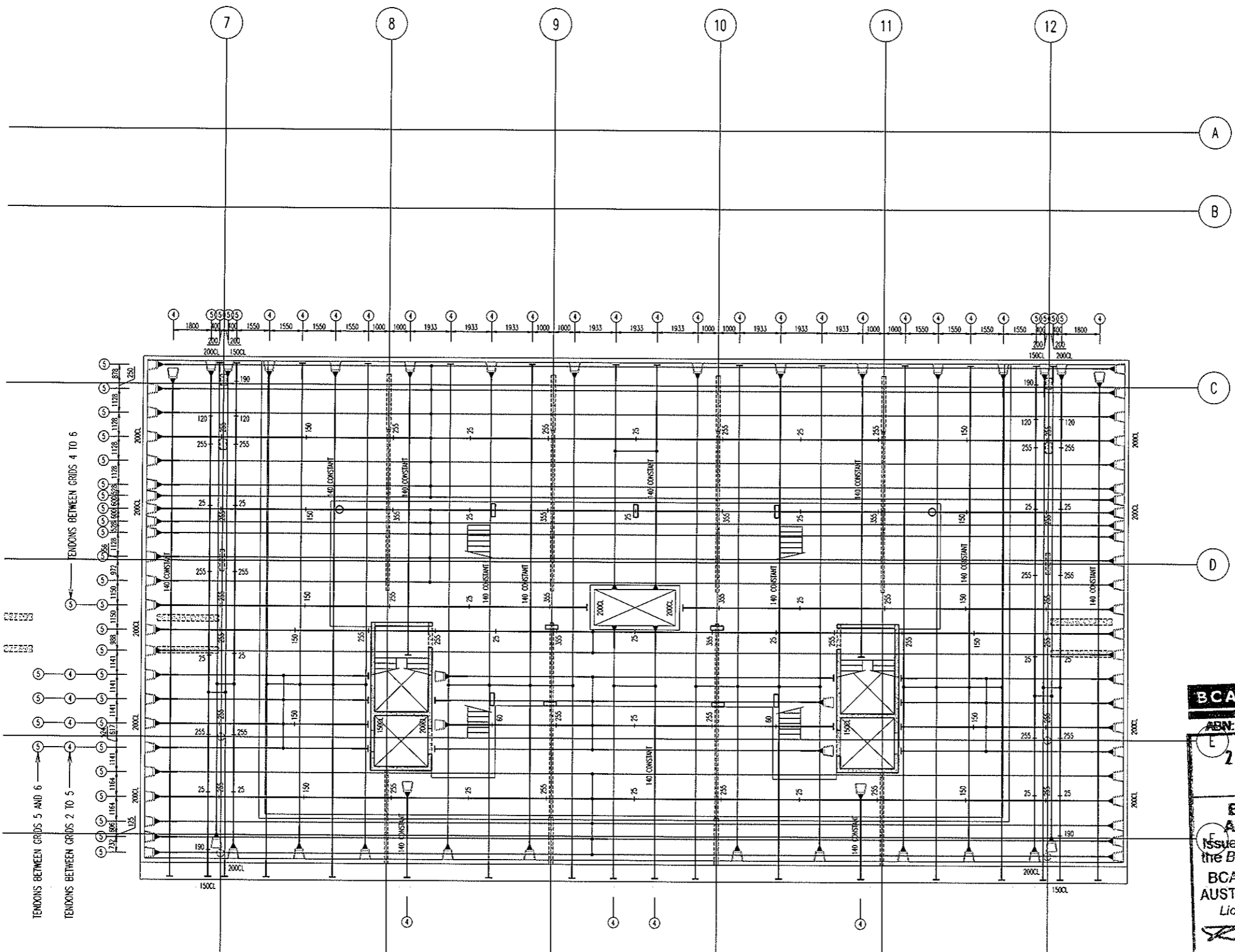
Project
DOCKSIDE APARTMENTS
BLOCK 1 SECTION 63
KINGSTON

Drawn: A.W.T. Engineer: A.Z. Scale: 1:100 @ A1, 1:200 @ A3

Drawing Title
LEVEL 4 MID MARKING PLAN

Job No: 109260 Drawing No: S480 Rev: A

ARCHITECTURAL BACKGROUNDS, SHOWN LIGHT, ARE FOR INFORMATION ONLY. REFER TO CURRENT ARCHITECTURAL DRAWINGS FOR EXACT SETOUT & DETAILS



ALL STRAND TO BE 12.7mm DIA.
7 WIRE SUPER GRADE LOW RELAXATION STRAIN TO AS1311

**LEVEL 4 MID
POST-TENSION PLAN**
SCALE 1:100

- NOTES:**
- Tendons shall be stressed to the following jacking forces unless noted otherwise:
12.7dia strand tendons - 156 kN (85% UTS) per strand.
15.2dia strand tendons - 212 kN (85% UTS) per strand.
 - Concrete test cylinders used for assessing strength for tensioning are to be site cured in similar conditions to the concrete element being stressed.
 - Stressing sequence (12.7 Strand)
Initial stress: After 24 hours minimum and at concrete strength = 7mPa.
Jack each strand to 25% of final stress.
Final stress: After 5 days minimum and at concrete strength = 22mPa.
Jack each strand to 85% UTS
 - Stressing sequence (15.2 Strand)
Initial stress: After 24 hours minimum and of concrete strength = 9mPa.
Jack each strand to 25% of final stress.
Final stress: After 5 days minimum and at concrete strength = 25mPa.
Jack each strand to 85% UTS
 - REFER TO DRAWING No S001 FOR CONSTRUCTION NOTES
 - REFER TO DRAWING No S001 FOR ADDITIONAL NOTES
 - ENSURE MINIMUM 100mm CLEAR COVER BETWEEN CABLES & PENETRATIONS
 - ENSURE HORIZONTAL BENDS IN CABLES OCCUR NO CLOSER THAN 500mm TO THE CORNER OF ANY PENETRATION
 - LOCALLY DISPLACE REINFORCEMENT TO ALLOW CORRECT DRAPE OF POST-TENSIONING CABLES
 - Ø's & CHAR HEIGHTS DENOTED THIS # ARE MEASURED FROM THE SOFFIT OF THE SLAB/BEAM IN WHICH THE CABLE RUNS
 - ALL HEIGHTS MEASURED TO UNDERSIDE OF DUCTS
 - HEIGHTS MEASURED TO CENTRELINE OF ANCHORS NOTED ON PLAN

- LEGEND:**
- ON PLAN DENOTES LIVE END
 - ON PLAN DENOTES DEAD END
 - ON PLAN DENOTES COUPLER
 - ON PLAN DENOTES STRESSING PAN
 - ON PLAN DENOTES 1 No STRAND TO DROP OFF WHERE POSITIONED
 - 100 DENOTES TENDON NUMBER
 - 100 DENOTES NUMBER OF STRANDS IN DUCT
 - 100 DENOTES 4No STRANDS CONTINUE THRU TO DEAD END PLUS 1 No STRAND TO DROP OFF WHERE POSITIONED

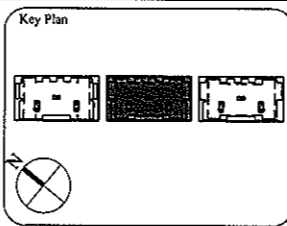
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MEASURED QUANTITIES	
STRESSING	6.7 TONNE
STRESSING TOTAL FLOOR	19.8 TONNE
STRESSING TENDER ALLOWANCE	22.0 TONNE

MEASURED FROM ANCHOR TO ANCHOR
NO ALLOWANCE FOR DRAPE OR WASTAGE.

FOR POST-TENSION ANCHORAGE
DETAILS REFER TO DRAWING S800

No	Revision	Date	No	Revision	Date	No	Revision	Date
A	ISSUE FOR TENDER	05.05.11						
B	ISSUE FOR CONSTRUCTION	19.07.11						



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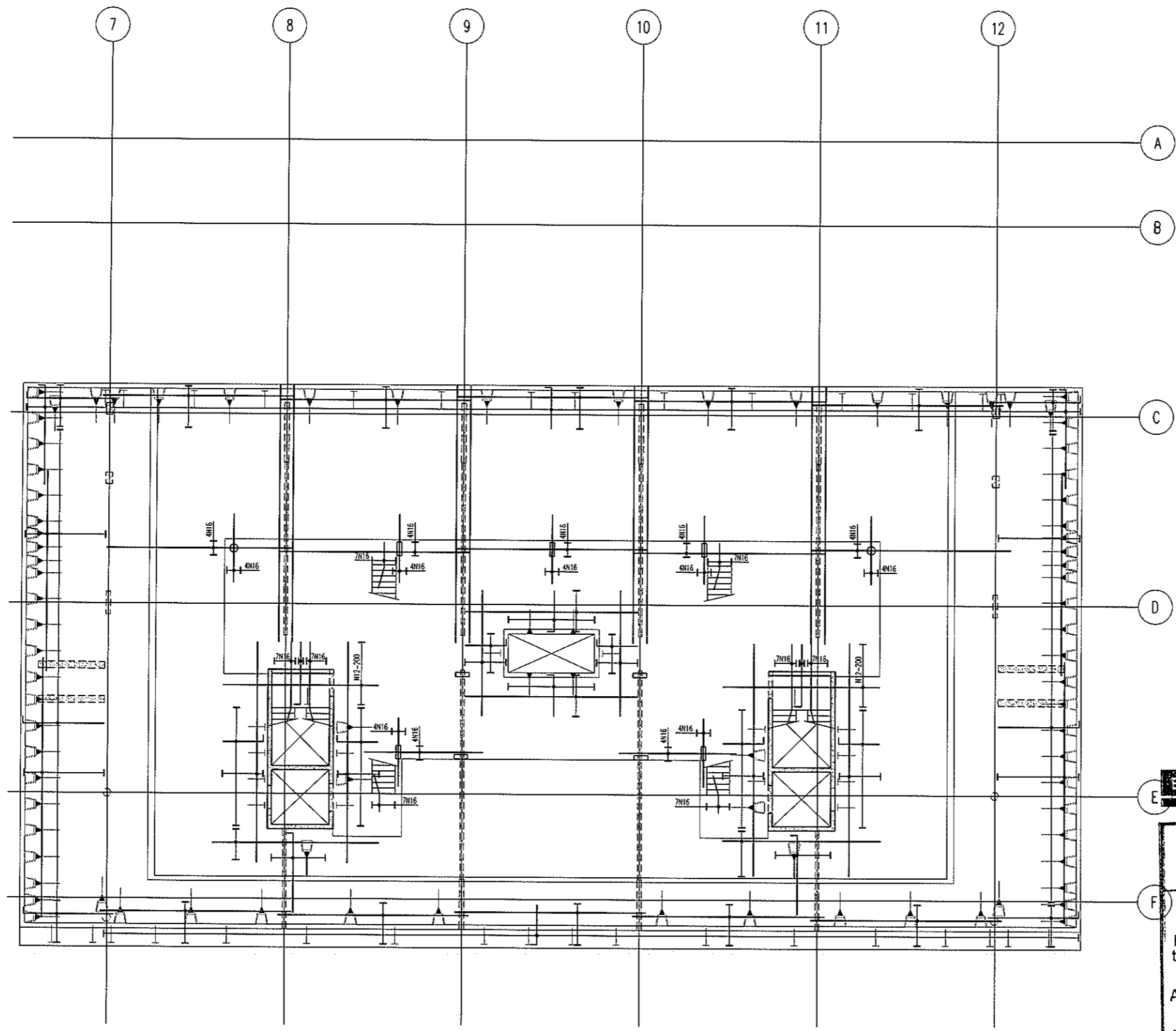
Project
DOCKSIDE APARTMENTS
BLOCK 1 SECTION 63
KINGSTON

Drawn: A.W.T. Engineer: A.Z. Scale: 1:100 @ A1, 1:200 @ A3

Drawing Title
**LEVEL 4 MID
POST-TENSION PLAN**

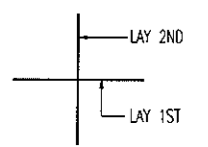
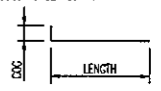
Job No: 109260 Drawing No: S481 Rev: B

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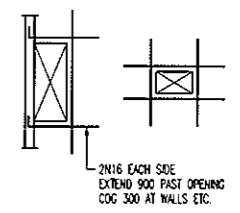


**LEVEL 4 MID
BOTTOM REINFORCEMENT PLAN**
SCALE 1:100

- NOTES:
- REFER TO DRAWING No S001 FOR CONSTRUCTION NOTES
 - REFER TO DRAWING No S001 FOR ADDITIONAL NOTES
 - WHERE REINFORCEMENT SHOWN IN ONE DIRECTION ONLY PROVIDE N12-450 SUPPORT BARS TYPICAL UNO
 - ALL COGS TO BE 150mm



BAR LAYING SEQUENCE U.N.O.



TYPICAL TRIMMER DETAIL
PROVIDE TRIMMERS AT ALL PENETRATIONS, PITS, ETC.

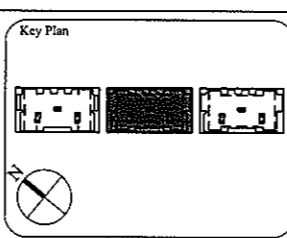
NOTE: ALL REINFORCEMENT SHOWN IS N12-300 TYP. U.N.O. ON PLAN

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BAND TIE TYPE SCHEDULE	
MARK	TYPE
B11	
B12	
B13	
B14	

No	Revision	Date	No	Revision	Date	No	Revision	Date
1	ISSUE FOR INFORMATION	04.07.11						
A	ISSUE FOR CONSTRUCTION	19.07.11						



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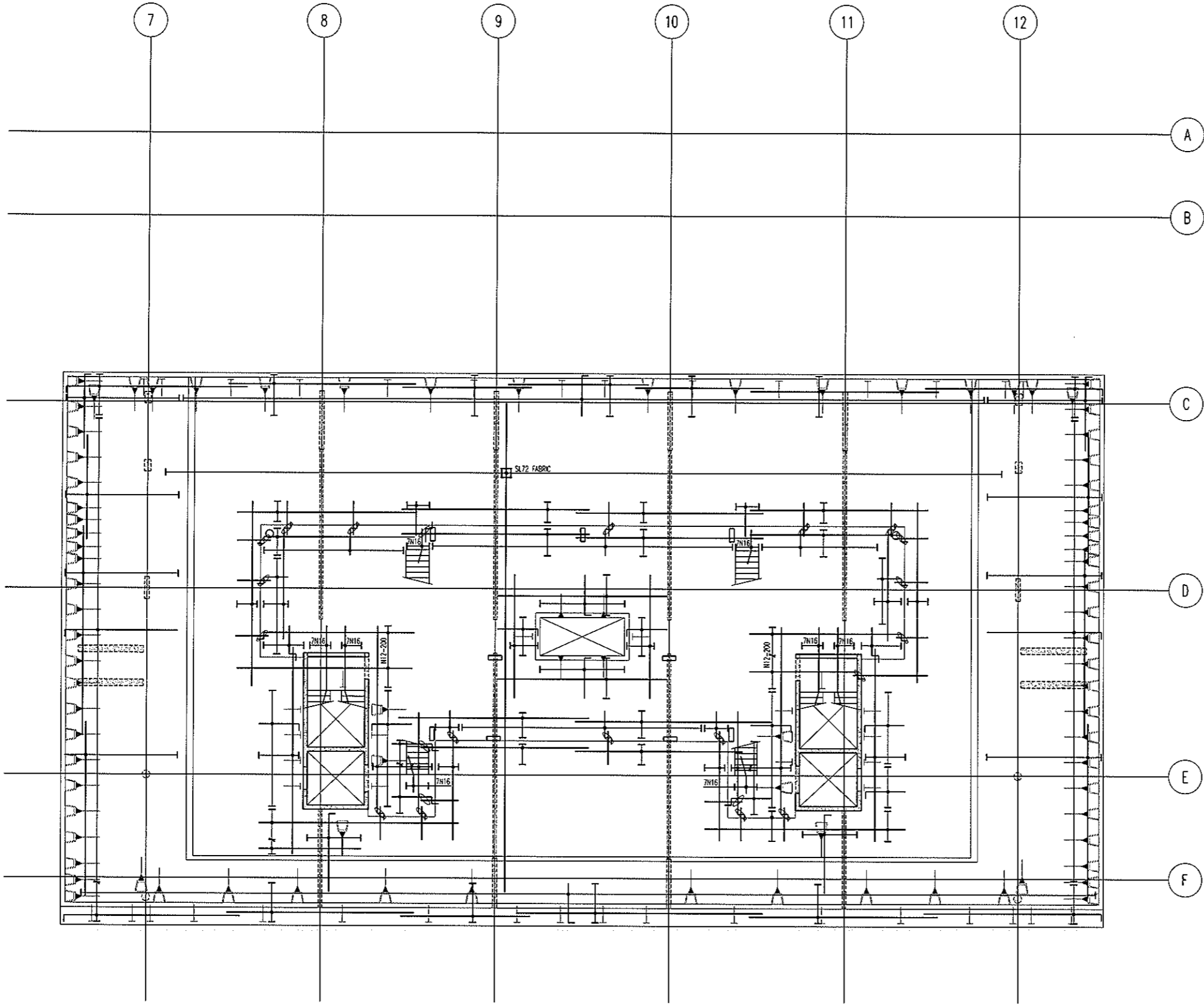
Project
DOCKSIDE APARTMENTS
BLOCK 1 SECTION 63
KINGSTON

Drawn: A.W.T
Engineer: A.Z
Scale: 1:100 @ A1
1:200 @ A3

Drawing Title
**LEVEL 4 MID
BOTTOM REINFORCEMENT PLAN**

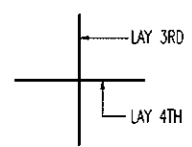
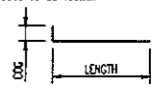
Job No: 109260
Drawing No: S482
Rev: A

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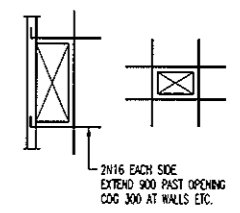


**LEVEL 4 MID
TOP REINFORCEMENT PLAN**
SCALE 1:100

- NOTES:
- REFER TO DRAWING No S001 FOR CONSTRUCTION NOTES
 - REFER TO DRAWING No S001 FOR ADDITIONAL NOTES
 - WHERE REINFORCEMENT SHOWN IN ONE DIRECTION ONLY PROVIDE N12-450 SUPPORT BARS TYPICAL UNO
 - ALL COGS TO BE 150mm



BAR LAYING SEQUENCE U.N.O.



TYPICAL TRIMMER DETAIL
PROVIDE TRIMMERS AT ALL PENETRATIONS, PITS, ETC

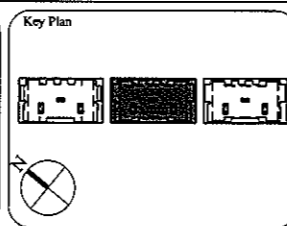
NOTE: ALL REINFORCEMENT SHOWN IS N12-300 TYP. U.N.O. ON PLAN

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No	Revision	Date	No	Revision	Date	No	Revision	Date
1	ISSUE FOR INFORMATION	04.07.11						
A	ISSUE FOR CONSTRUCTION	19.07.11						



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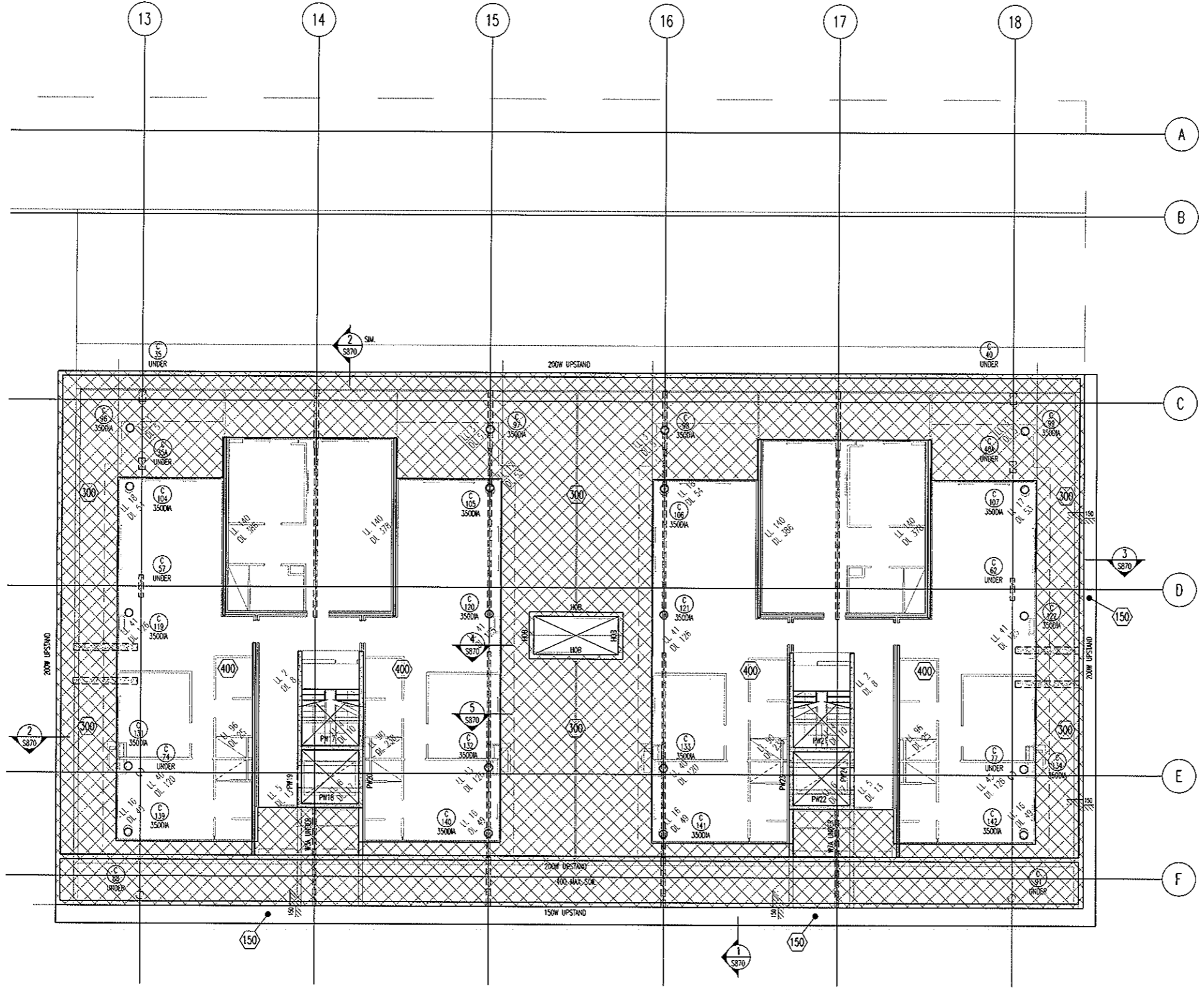
Project
DOCKSIDE APARTMENTS
BLOCK 1 SECTION 63
KINGSTON

Drawn A.W.T	Engineer A.Z	Scale 1:100 @ A1 1:200 @ A3
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Drawing Title
**LEVEL 4 MID
TOP REINFORCEMENT PLAN**

Job No 109260	Drawing No S483	Rev A
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**LEVEL 4 SOUTH
MARKING PLAN**
SCALE 1:100

300 THICK SLAB, TYPICAL U.N.O. ON PLAN

- NOTES:
- REFER TO DRAWING No S001 FOR CONSTRUCTION NOTES
 - REFER TO DRAWING No S001 FOR CONCRETE STRENGTHS
 - REFER TO S010 SERIES DRAWINGS FOR DESIGN LOADS
 - ALL FALLS TO ARCHITECTS DETAILS
 - REFER TO ARCHITECTS DRAWINGS FOR ALL CHAMFERS, REBATES AND RECESSES
 - REFER TO PLAN AND SECTIONS FOR ADDITIONAL REINFORCEMENT

- DENOTES ANCHOR LOCATION. REFER TO DRAWING No S486 FOR SETOUT
- DENOTES COLUMN NUMBER (WATCHING IS FOR DESIGN PURPOSES ONLY)
 DENOTES COLUMN SIZE
- DENOTES LOADBEARING WALL OR COLUMN OVER
- DENOTES LOADBEARING WALL OR COLUMN UNDER

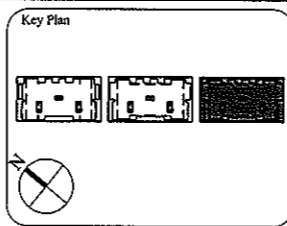
SETDOWN LEGEND	
HATCH	DEPTH
	50mm
	70mm
	80mm
	100mm
	150mm

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No	Revision	Date	No	Revision	Date	No	Revision	Date
1	ISSUE FOR INFORMATION	06.05.11						
A	ISSUE FOR BA	26.07.11						



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NORTH SYDNEY NSW 2060
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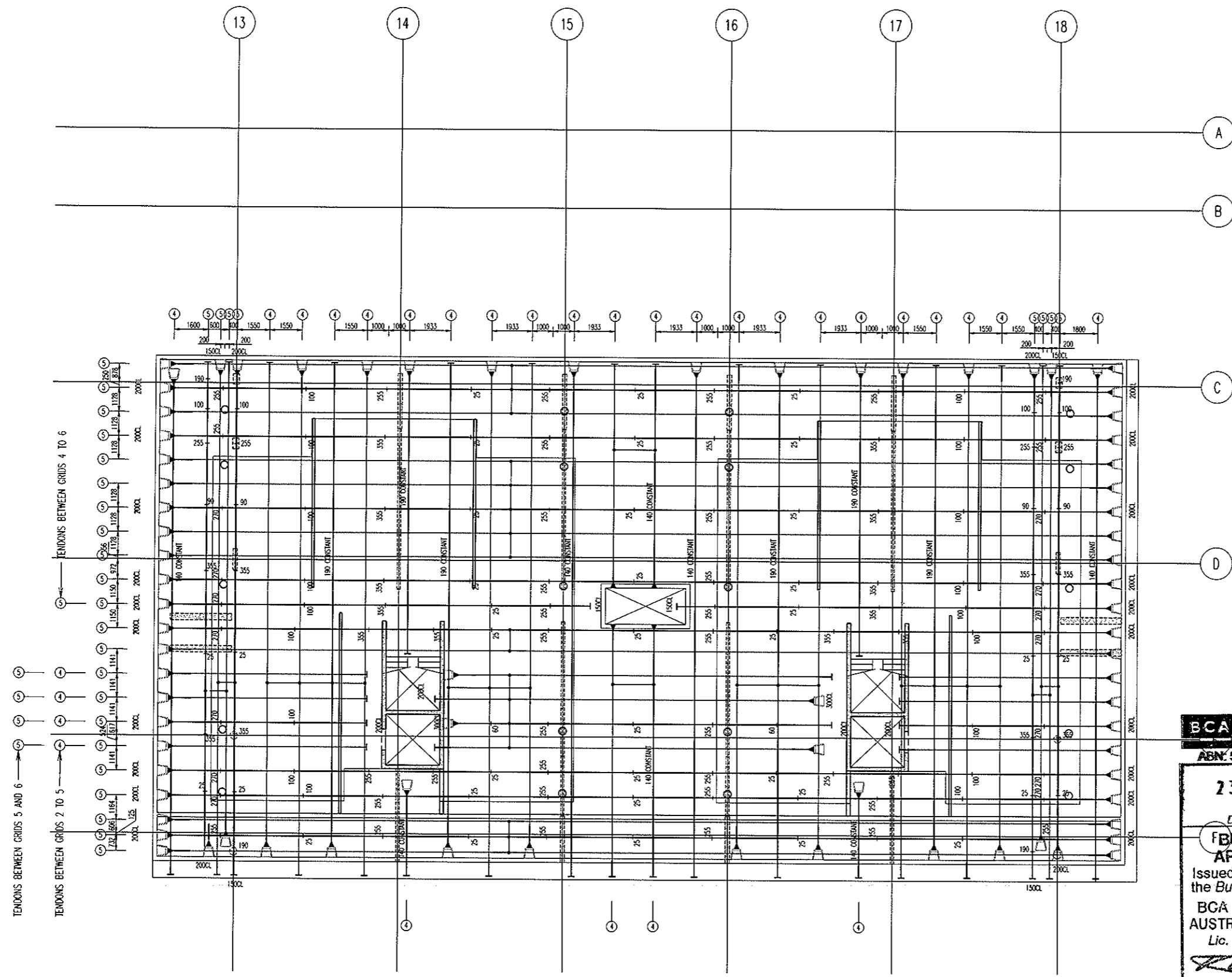
Project
DOCKSIDE APARTMENTS
BLOCK 1 SECTION 63
KINGSTON

Drawn: A.W.T.
Engineer: A.Z.
Scale: 1:100 @ A1
1:200 @ A3

Drawing Title
LEVEL 4 SOUTH MARKING PLAN

Job No: 109260
Drawing No: S485
Rev: A

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ALL STRAND TO BE 12.7mm DIA.
7 WIRE SUPER GRADE LOW RELAXATION STRAIN TO AS1311

**LEVEL 4 SOUTH
POST-TENSION PLAN**
SCALE 1:100

- NOTES:**
- Tendons shall be stressed to the following jacking forces unless noted otherwise:
12.7dia strand tendons - 156 kN (85% UTS) per strand.
15.2dia strand tendons - 212 kN (85% UTS) per strand.
 - Concrete test cylinders used for assessing strength for tensioning are to be site cured in similar conditions to the concrete element being stressed.
 - Stressing sequence (12.7 Strand)
Initial stress: After 24 hours minimum and at concrete strength = 2mPa.
Jack each strand to 25% of final stress.
Final stress: After 5 days minimum and at concrete strength = 22mPa.
Jack each strand to 85% UTS.

Stressing sequence (15.2 Strand)
Initial stress: After 24 hours minimum and at concrete strength = 9mPa.
Jack each strand to 25% of final stress.
Final stress: After 5 days minimum and at concrete strength = 25mPa.
Jack each strand to 85% UTS.
 - REFER TO DRAWING No S001 FOR CONSTRUCTION NOTES
 - REFER TO DRAWING No S001 FOR ADDITIONAL NOTES
 - ENSURE MINIMUM 100mm CLEAR COVER BETWEEN CABLES & PENETRATIONS
 - ENSURE HORIZONTAL BENDS IN CABLES OCCUR NO CLOSER THAN 500mm TO THE CORNER OF ANY PENETRATION
 - LOCALLY DISPLACE REINFORCEMENT TO ALLOW CORRECT DRAPE OF POST-TENSIONING CABLES
 - C'S & CHAR HEIGHTS DENOTED THUS # ARE MEASURED FROM THE SOFFIT OF THE SLAB/BEAM IN WHICH THE CABLE RUNS
 - ALL HEIGHTS MEASURED TO UNDERSIDE OF DUCTS
HEIGHTS MEASURED TO CENTRELINE OF ANCHORS NOTED ON PLAN

- LEGEND:**
- ON PLAN DENOTES LIVE END
 - ON PLAN DENOTES DEAD END
 - ON PLAN DENOTES COUPLER
 - ON PLAN DENOTES STRESSING PAN
 - ON PLAN DENOTES 1 No STRAND TO DROP OFF WHERE POSITIONED
 - DENOTES TENDON NUMBER
 - ④ DENOTES NUMBER OF STRANDS IN DUCT
 - ④+ DENOTES 4no STRANDS CONTINUE THRU TO DEAD END PLUS 1 No STRAND TO DROP OFF WHERE POSITIONED

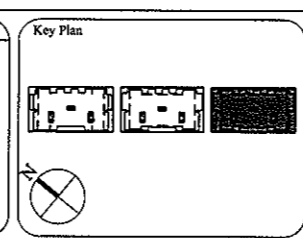
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MEASURED QUANTITIES	
STRESSING	6.7 TONNE
STRESSING TOTAL FLOOR	19.8 TONNE
STRESSING TENDER ALLOWANCE	22.2 TONNE
MEASURED FROM ANCHOR TO ANCHOR NO ALLOWANCE FOR DRAPE OR WASTAGE.	

FOR POST-TENSION ANCHORAGE
DETAILS REFER TO DRAWING S800

No	Revision	Date	No	Revision	Date
A	ISSUE FOR TENDER	05.05.11			
B	ISSUE FOR CONSTRUCTION	19.07.11			



1:1 SCALE

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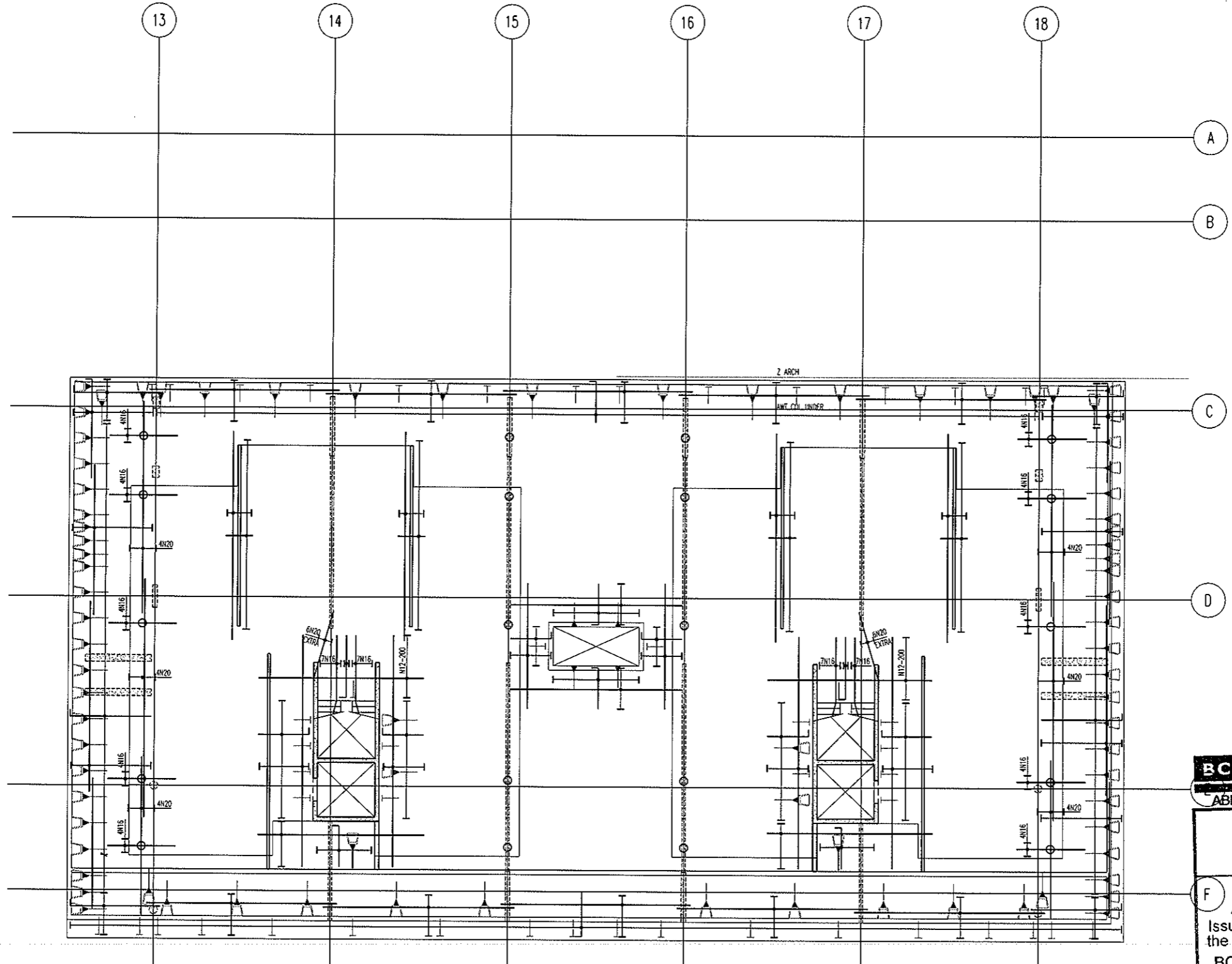
Project
DOCKSIDE APARTMENTS
BLOCK 1 SECTION 63
KINGSTON

Drawn: AWT
Engineer: AZ
Scale: 1:100 @ A1
1:200 @ A3

Drawing Title
**LEVEL 4 SOUTH
POST-TENSION PLAN**

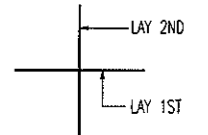
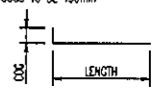
Job No: 109260
Drawing No: S486
Rev: B

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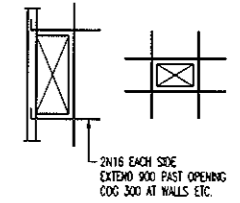


**LEVEL 4 SOUTH
BOTTOM REINFORCEMENT PLAN**
SCALE 1:100

- NOTES:**
- REFER TO DRAWING No S001 FOR CONSTRUCTION NOTES
 - REFER TO DRAWING No S001 FOR ADDITIONAL NOTES
 - WHERE REINFORCEMENT SHOWN IN ONE DIRECTION ONLY PROVIDE N12-450 SUPPORT BARS TYPICAL UNO
 - ALL COGS TO BE 150mm



BAR LAYING SEQUENCE U.N.O.



TYPICAL TRIMMER DETAIL
PROVIDE TRIMMERS AT ALL PENETRATIONS, PITS, ETC

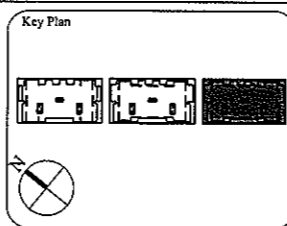
BCA certifiers
ABN: 58 119 755 734

NOTE: ALL REINFORCEMENT SHOWN \$ N12-300 TYP. U.N.O. ON PLAN

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BAND TIE TYPE SCHEDULE	
MARK	TYPE
BT1	
BT2	
BT3	
BT4	

No	Revision	Date	No	Revision	Date
1	ISSUE FOR INFORMATION	04.07.11			
A	ISSUE FOR CONSTRUCTION	19.07.11			



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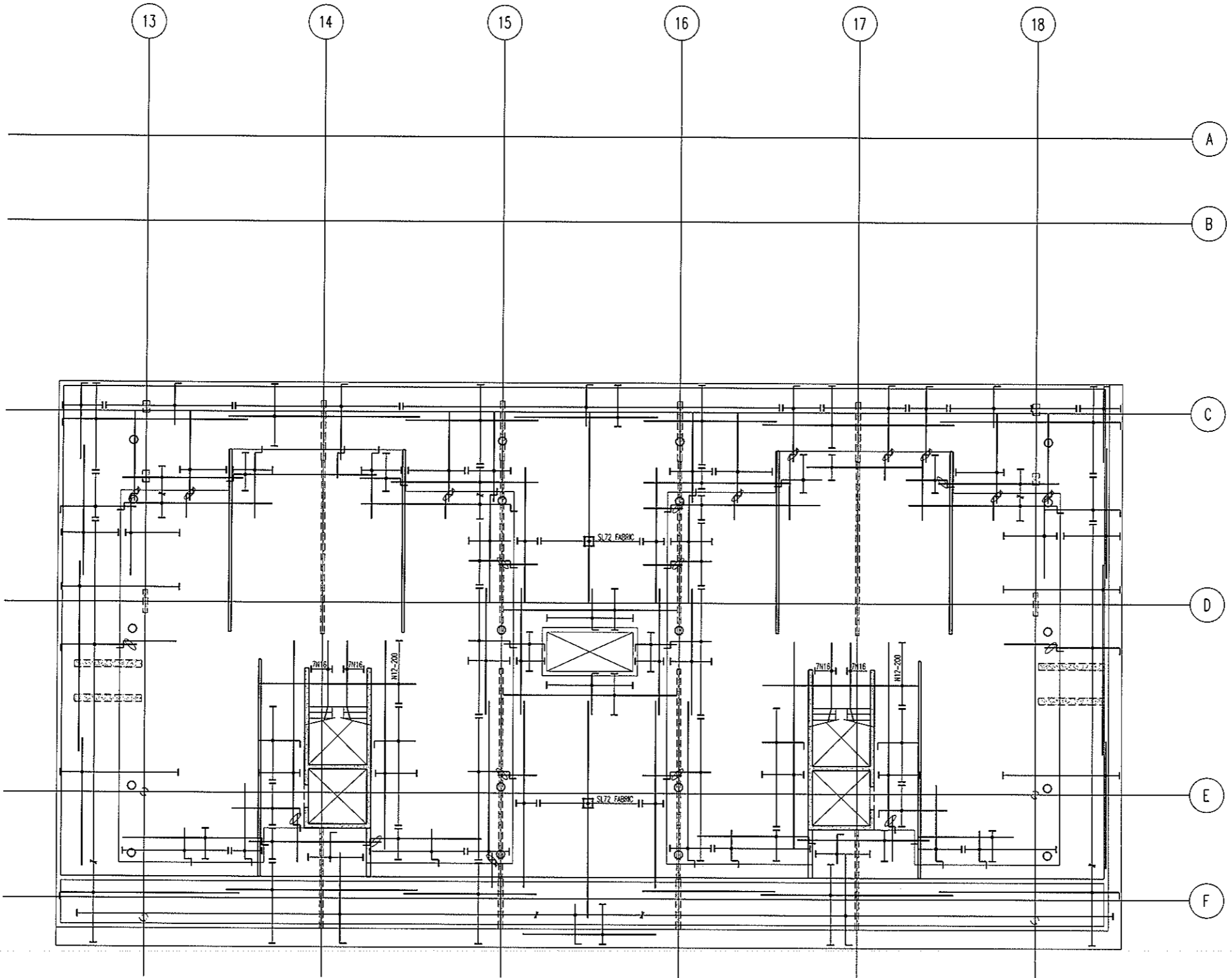
Project
DOCKSIDE APARTMENTS
BLOCK 1 SECTION 63
KINGSTON

Drawn: A.W.T. Engineer: A.Z. Scale: 1:100 @ A1, 1:200 @ A3

Drawing Title
**LEVEL 4 SOUTH
BOTTOM REINFORCEMENT PLAN**

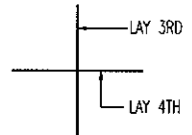
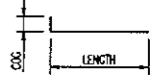
Job No: 109260 Drawing No: S487 Rev: A

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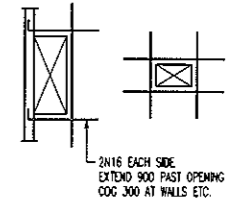


**LEVEL 4 SOUTH
TOP REINFORCEMENT PLAN**
SCALE 1:100

- NOTES:
- REFER TO DRAWING No S001 FOR CONSTRUCTION NOTES
 - REFER TO DRAWING No S001 FOR ADDITIONAL NOTES
 - WHERE REINFORCEMENT SHOWN IN ONE DIRECTION ONLY PROVIDE N12-450 SUPPORT BARS TYPICAL U.N.O.
 - ALL COGS TO BE 150mm



BAR LAYING SEQUENCE U.N.O.



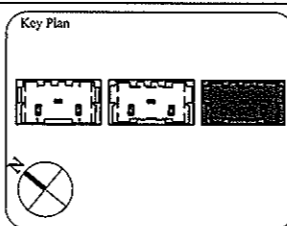
TYPICAL TRIMMER DETAIL
PROVIDE TRIMMERS AT ALL PENETRATIONS, PITS, ETC

NOTE: ALL REINFORCEMENT SHOWN IS N12-300 TYP. U.N.O. ON PLAN

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No	Revision	Date	No	Revision	Date
1	ISSUE FOR INFORMATION	04.07.11			
A	ISSUE FOR CONSTRUCTION	19.07.11			



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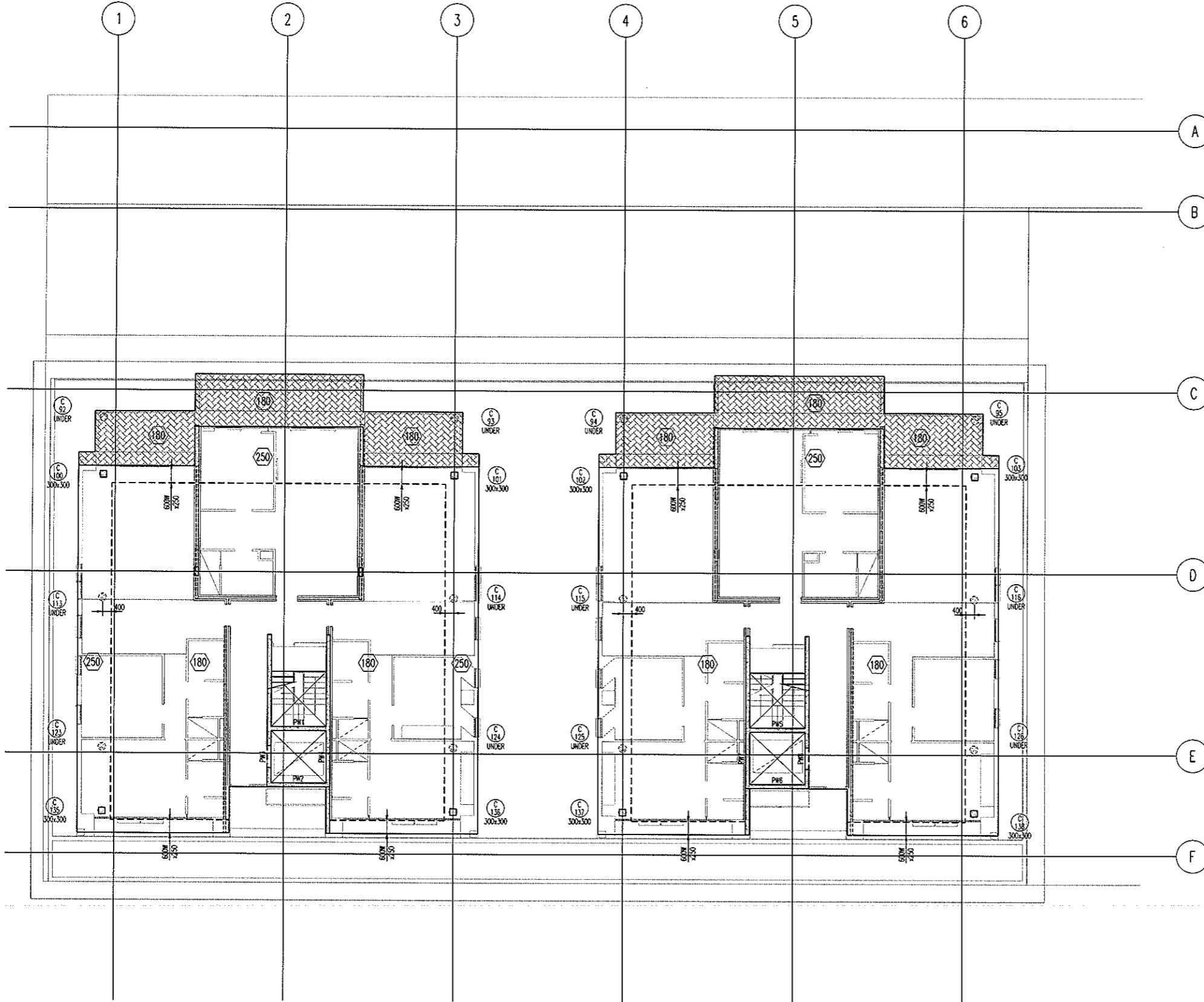
Project
DOCKSIDE APARTMENTS
BLOCK 1 SECTION 63
KINGSTON

Drwn A.W.T	Engineer A.Z	Scale 1:100 @ A1 1:200 @ A3
---------------	-----------------	-----------------------------------

Drawing Title
**LEVEL 4 SOUTH
TOP REINFORCEMENT PLAN**

Job No 109260	Drawing No S488	Rev A
------------------	--------------------	----------

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**LEVEL 5 NORTH
MARKING PLAN**
SCALE 1:100

180 THICK SLAB. TYPICAL U.N.O. ON PLAN

- NOTES:**
- REFER TO DRAWING No S001 FOR CONSTRUCTION NOTES
 - REFER TO DRAWING No S001 FOR CONCRETE STRENGTHS
 - REFER TO S010 SERIES DRAWINGS FOR DESIGN LOADS
 - ALL FALLS TO ARCHITECTS DETAILS
 - REFER TO ARCHITECTS DRAWINGS FOR ALL CHAMFERS, REBATES AND RECESSES
 - REFER TO PLAN AND SECTIONS FOR ADDITIONAL REINFORCEMENT

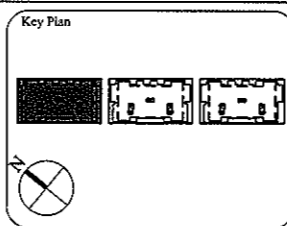
- DENOTES ANCHOR LOCATION. REFER TO DRAWING No S491 FOR SETOUT
- DENOTES COLUMN NUMBER (HATCHING IS FOR DESIGN PURPOSES ONLY)
 DENOTES COLUMN SIZE
- DENOTES LOADBEARING WALL OR COLUMN OVER
- DENOTES LOADBEARING WALL OR COLUMN UNDER

HATCH	DEPTH
	50mm
	70mm
	80mm
	100mm
	150mm

BCA certifiers
ABN: 58 119 755 734

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Lic. No: 200714

No	Revision	Date	No	Revision	Date	No	Revision	Date
1	ISSUE FOR INFORMATION	06.05.11						
A	ISSUE FOR BA	26.07.11						



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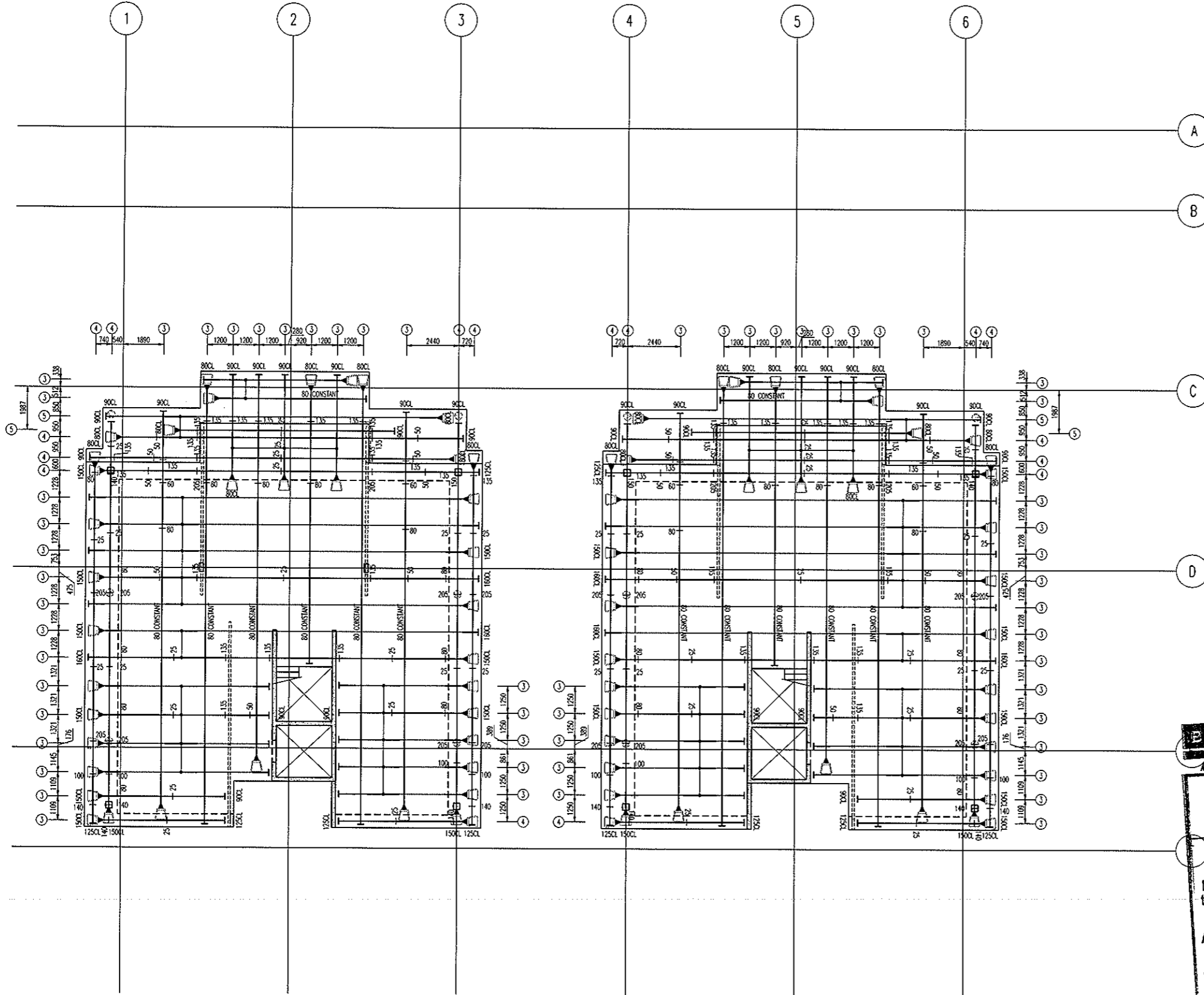
Project
DOCKSIDE APARTMENTS
BLOCK 1 SECTION 63
KINGSTON

Drawn A.W.T	Engineer A.Z	Scale 1:100 @ A1 1:200 @ A3
----------------	-----------------	-----------------------------------

Drawing Title
**LEVEL 5 NORTH
MARKING PLAN**

Job No 109260	Drawing No S490	Rev A
------------------	--------------------	----------

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ALL STRAND TO BE 12.7mm DIA.
7 WIRE SUPER GRADE LOW RELAXATION STRAIN TO AS1311

**LEVEL 5 NORTH
POST-TENSION PLAN**
SCALE 1:100

- NOTES:**
- Tendons shall be stressed to the following jacking forces unless noted otherwise:
12.7mm strand tendons - 156 kN (85% UTS) per strand.
15.2mm strand tendons - 212 kN (85% UTS) per strand.
 - Concrete test cylinders used for assessing strength for tensioning are to be site cured in similar conditions to the concrete element being stressed.
 - Stressing sequence (12.7 Strand)
Initial stress: After 24 hours minimum and at concrete strength = 7mPa.
Jack each strand to 25% of final stress.
Final stress: After 5 days minimum and at concrete strength = 22mPa.
Jack each strand to 85% UTS.
 - Stressing sequence (15.2 Strand)
Initial stress: After 24 hours minimum and at concrete strength = 9mPa.
Jack each strand to 25% of final stress.
Final stress: After 5 days minimum and at concrete strength = 25mPa.
Jack each strand to 85% UTS.
 - REFER TO DRAWING No S001 FOR CONSTRUCTION NOTES
 - REFER TO DRAWING No S001 FOR ADDITIONAL NOTES
 - ENSURE MINIMUM 100mm CLEAR COVER BETWEEN CABLES & PENETRATIONS
 - ENSURE HORIZONTAL BENDS IN CABLES OCCUR NO CLOSER THAN 500mm TO THE CORNER OF ANY PENETRATION
 - LOCALLY DISPLACE REINFORCEMENT TO ALLOW CORRECT DRAPE OF POST-TENSIONING CABLES
 - C's & CHAR HEIGHTS DENOTED THUS # ARE MEASURED FROM THE SOFFIT OF THE SLAB/BEAM IN WHICH THE CABLE RUNS
 - ALL HEIGHTS MEASURED TO UNDERSIDE OF DUCTS
 - HEIGHTS MEASURED TO CENTRELINE OF ANCHORS NOTED ON PLAN

- LEGEND:**
- ON PLAN DENOTES LIVE END
 - ON PLAN DENOTES DEAD END
 - ON PLAN DENOTES COMPLER
 - ON PLAN DENOTES STRESSING PAN
 - ON PLAN DENOTES 1 No STRAND TO DROP OFF WHERE POSITIONED
 - 100 DENOTES TENDON NUMBER
 - 100 DENOTES NUMBER OF STRANDS IN DUCT
 - 100 DENOTES 4No STRANDS CONTINUE THRU TO DEAD END PLUS 1 No STRAND TO DROP OFF WHERE POSITIONED

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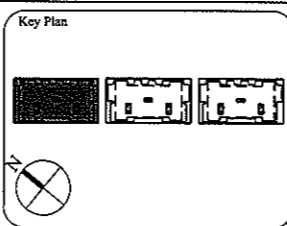
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MEASURED QUANTITIES	
STRESSING	2.6 TONNE
STRESSING TOTAL FLOOR	6.3 TONNE
STRESSING TENDER ALLOWANCE	6.5 TONNE

MEASURED FROM ANCHOR TO ANCHOR
NO ALLOWANCE FOR DRAPE OR WASTAGE.

FOR POST-TENSION ANCHORAGE
DETAILS REFER TO DRAWING S800

No	Revision	Date	No	Revision	Date
A	ISSUE FOR TENDER	05.05.11			
B	ISSUE FOR BA	26.07.11			



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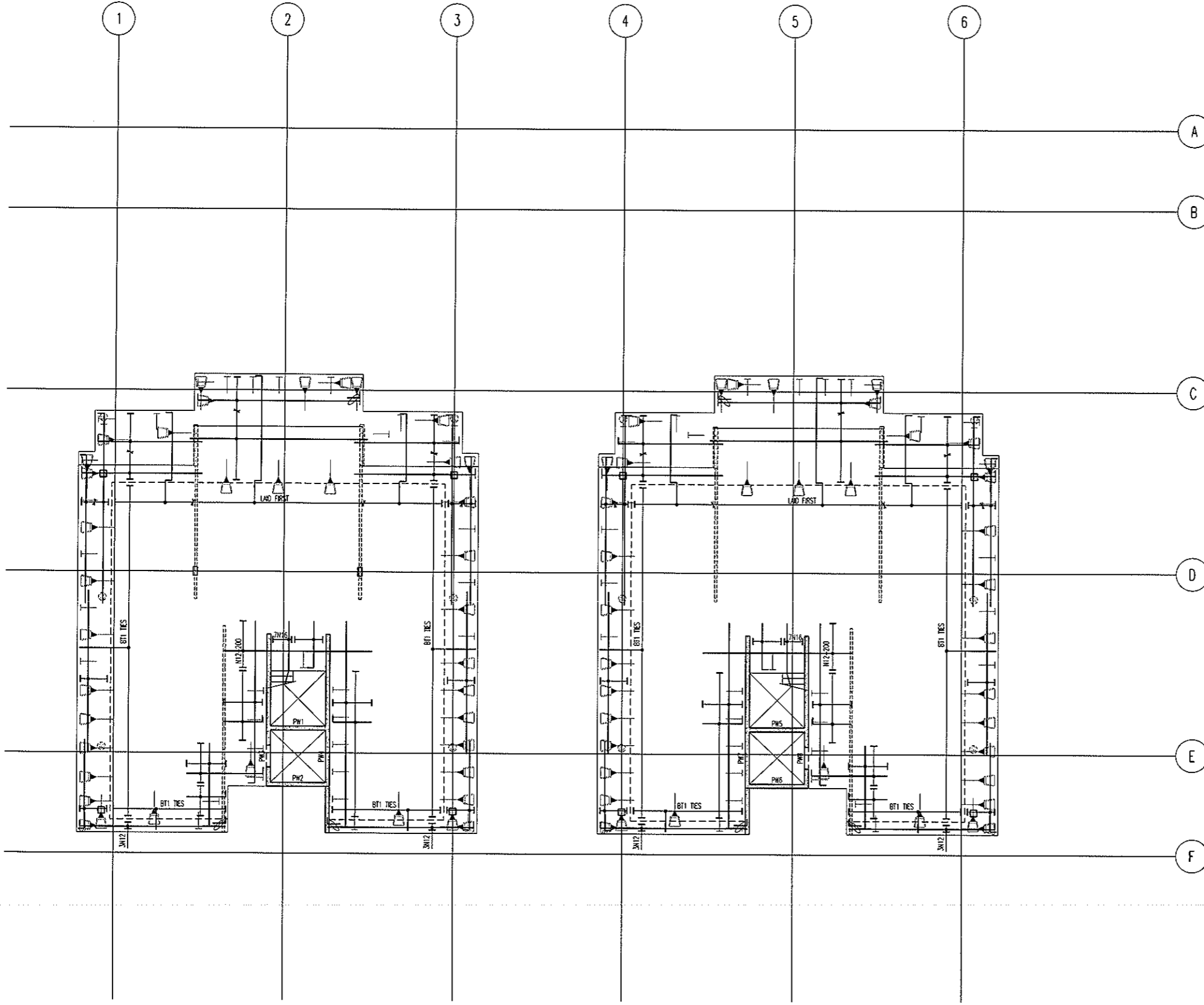
Project
DOCKSIDE APARTMENTS
BLOCK 1 SECTION 63
KINGSTON

Drawn: A.W.T
Engineer: A.Z
Scale: 1:100 @ A1
1:200 @ A3

Drawing Title
**LEVEL 5 NORTH
POST-TENSION PLAN**

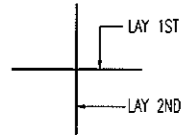
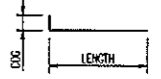
Job No: 109260
Drawing No: S491
Rev: B

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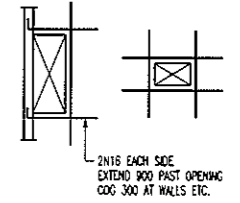


**LEVEL 5 NORTH
BOTTOM REINFORCEMENT PLAN**
SCALE 1:100

- NOTES:
- REFER TO DRAWING No S001 FOR CONSTRUCTION NOTES
 - REFER TO DRAWING No S001 FOR ADDITIONAL NOTES
 - WHERE REINFORCEMENT SHOWN IN ONE DIRECTION ONLY PROVIDE N12-450 SUPPORT BARS TYPICAL U.N.O.
 - ALL COGS TO BE 150mm



BAR LAYING SEQUENCE U.N.O.



TYPICAL TRIMMER DETAIL
PROVIDE TRIMMERS AT ALL PENETRATIONS, PITS, ETC

NOTE: ALL REINFORCEMENT SHOWN IS N12-300 TYP. U.N.O. ON PLAN

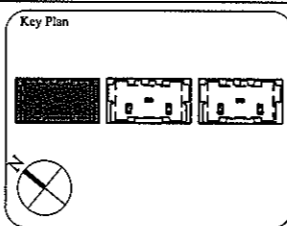
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BAND TIE TYPE SCHEDULE	
MARK	TYPE
B71	
B72	
B73	
B74	

No	Revision	Date	No	Revision	Date	No	Revision	Date
1	ISSUE FOR INFORMATION	06.05.11						
A	ISSUE FOR BA	26.07.11						



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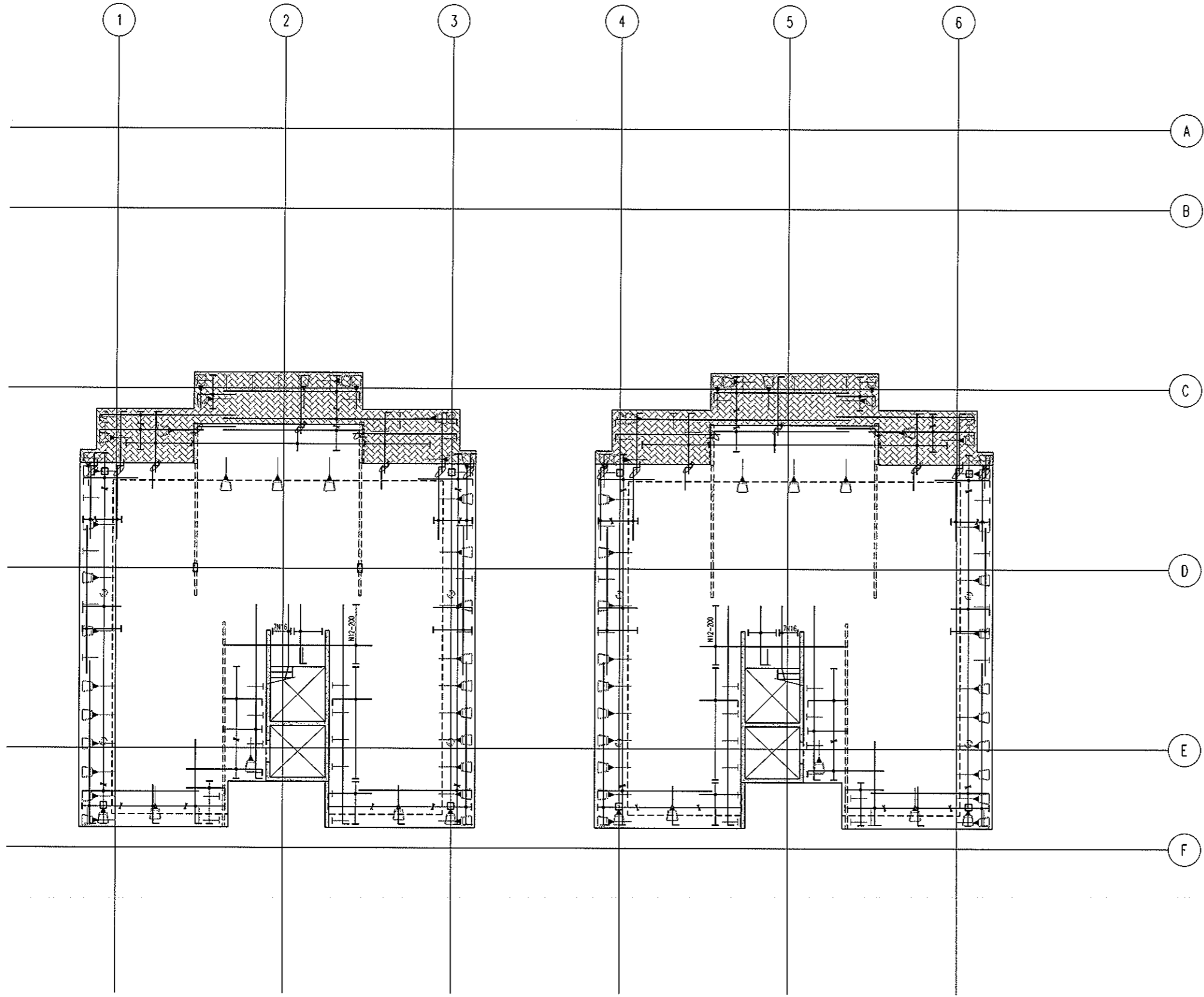
Project
DOCKSIDE APARTMENTS
BLOCK 1 SECTION 63
KINGSTON

Drawn: A.W.T
Engineer: A.Z
Scale: 1:100 @ A1
1:200 @ A3

Drawing Title
**LEVEL 5 NORTH
BOTTOM REINFORCEMENT PLAN**

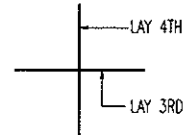
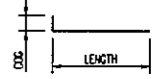
Job No: 109260
Drawing No: S492
Rev: A

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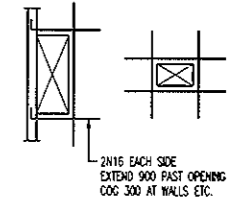


**LEVEL 5 NORTH
TOP REINFORCEMENT PLAN**
SCALE 1:100

- NOTES:
- REFER TO DRAWING No 5001 FOR CONSTRUCTION NOTES
 - REFER TO DRAWING No 5001 FOR ADDITIONAL NOTES
 - WHERE REINFORCEMENT SHOWN IN ONE DIRECTION ONLY PROVIDE N12-450 SUPPORT BARS TYPICAL UNO
 - ALL COGS TO BE 150mm



BAR LAYING SEQUENCE U.N.O.



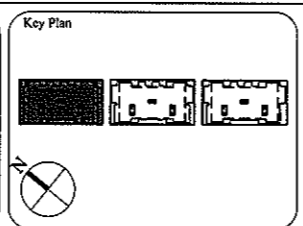
TYPICAL TRIMMER DETAIL
PROVIDE TRIMMERS AT ALL PENETRATIONS, PITS, ETC

BCA certifiers
ABN: 58 119 755 734

NOTE: ALL REINFORCEMENT SHOWN IS N12-300 TYP. U.N.O. ON PLAN

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1	ISSUE FOR INFORMATION	06.05.11						
A	ISSUE FOR BA	26.07.11						



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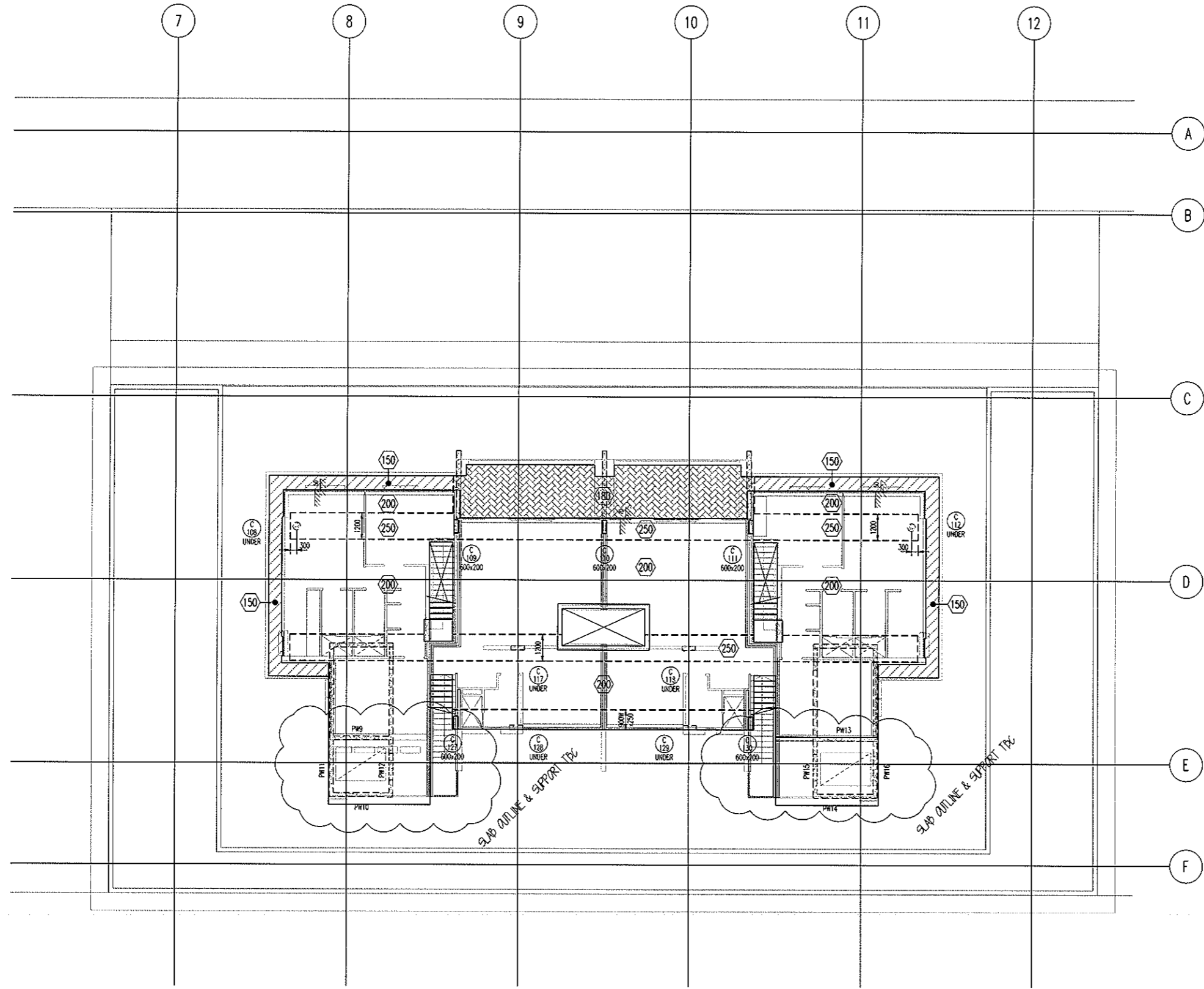
Project
DOCKSIDE APARTMENTS
BLOCK 1 SECTION 63
KINGSTON

Drawn A.W.T	Engineer A.Z	Scale 1:100 @ A1 1:200 @ A3
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Drawing Title
**LEVEL 5 NORTH
TOP REINFORCEMENT PLAN**

Job No 109260	Drawing No S493	Rev A
------------------	--------------------	----------

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LEVEL 5 MID MARKING PLAN
SCALE 1:100

200 THICK SLAB, TYPICAL U.N.O. ON PLAN
1200Wx250 BANDS, TYPICAL U.N.O. ON PLAN

- NOTES:**
- REFER TO DRAWING No S001 FOR CONSTRUCTION NOTES
 - REFER TO DRAWING No S001 FOR CONCRETE STRENGTHS
 - REFER TO S010 SERIES DRAWINGS FOR DESIGN LOADS
 - ALL FALLS TO ARCHITECTS DETAILS
 - REFER TO ARCHITECTS DRAWINGS FOR ALL CHAMFERS, REBATES AND RECESSES
 - REFER TO PLAN AND SECTIONS FOR ADDITIONAL REINFORCEMENT
7. DENOTES ANCHOR LOCATION. REFER TO DRAWING No S496 FOR SETOUT
8. DENOTES COLUMN NUMBER
(HATCHING IS FOR DESIGN PURPOSES ONLY)
 DENOTES COLUMN SIZE
9. DENOTES LOADBEARING WALL OR COLUMN OVER
10. DENOTES LOADBEARING WALL OR COLUMN UNDER

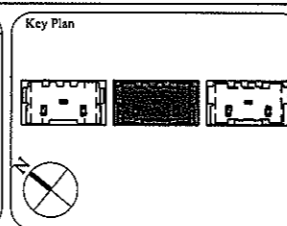
SETDOWN LEGEND	
HATCH	DEPTH
	50mm
	70mm
	80mm
	100mm
	150mm

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ABN: 58 119 755 734

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Date Issued 98
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No	Revision	Date	No	Revision	Date
1	ISSUE FOR INFORMATION	06.05.11			
A	ISSUE FOR BA	26.07.11			

No	Revision	Date	No	Revision	Date



1:1 SCALE

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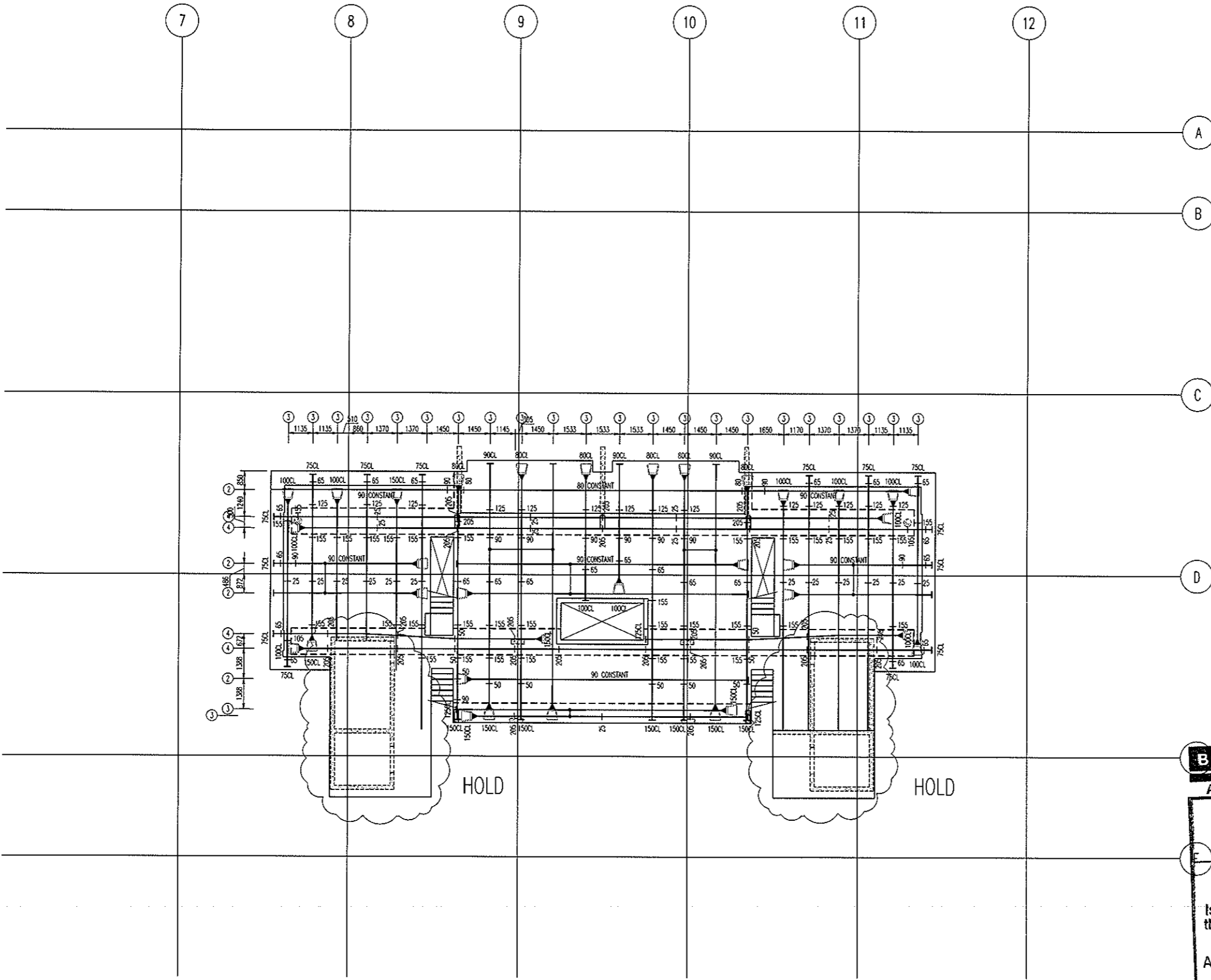
Project
DOCKSIDE APARTMENTS
BLOCK 1 SECTION 63
KINGSTON

Drawn A.W.T	Engineer A.Z	Scale 1:100 @ A1 1:200 @ A3
----------------	-----------------	-----------------------------------

Drawing Title
LEVEL 5 MID MARKING PLAN

Job No 109260	Drawing No S495	Rev A
------------------	--------------------	----------

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ALL STRAND TO BE 12.7mm DIA.
7 WIRE SUPER GRADE LOW RELAXATION STRAIN TO AS1311

**LEVEL 5 MID
POST-TENSION PLAN**
SCALE: 1:100

- NOTES:**
- Tendons shall be stressed to the following jacking forces unless noted otherwise:
12.7dia strand tendons = 156 kN (85% UTS) per strand.
15.2dia strand tendons = 212 kN (85% UTS) per strand.
 - Concrete test cylinders used for assessing strength for tensioning are to be site cured in similar conditions to the concrete element being stressed.
 - Stressing sequence (12.7 Strand)
Initial stress: After 24 hours minimum and at concrete strength = 7mPa. Jack each strand to 25% of final stress.
Final stress: After 5 days minimum and at concrete strength = 22mPa. Jack each strand to 85% UTS.
 - Stressing sequence (15.2 Strand)
Initial stress: After 24 hours minimum and at concrete strength = 9mPa. Jack each strand to 25% of final stress.
Final stress: After 5 days minimum and at concrete strength = 25mPa. Jack each strand to 85% UTS.
 - REFER TO DRAWING No S001 FOR CONSTRUCTION NOTES
 - REFER TO DRAWING No S001 FOR ADDITIONAL NOTES
 - ENSURE MINIMUM 100mm CLEAR COVER BETWEEN CABLES & PENETRATIONS
 - ENSURE HORIZONTAL BENDS IN CABLES OCCUR NO CLOSER THAN 500mm TO THE CORNER OF ANY PENETRATION
 - LOCALLY DISPLACE REINFORCEMENT TO ALLOW CORRECT DRAPE OF POST-TENSIONING CABLES
 - Ø's & CHAIR HEIGHTS DENOTED THIS # ARE MEASURED FROM THE SOFFIT OF THE SLAB/BEAM IN WHICH THE CABLE RUNS
 - ALL HEIGHTS MEASURED TO UNDERSIDE OF DUCTS
HEIGHTS MEASURED TO CENTRELINE OF ANCHORS NOTED ON PLAN

- LEGEND:**
- ON PLAN DENOTES LIVE END
 - ON PLAN DENOTES DEAD END
 - ON PLAN DENOTES COUPLER
 - ON PLAN DENOTES STRESSING P/W
 - ON PLAN DENOTES 1 No STRAND TO DROP OFF WHERE POSITIONED
 - 100 DENOTES TENDON NUMBER
 - 100 DENOTES NUMBER OF STRANDS IN DUCT
 - 100 DENOTES 4No STRANDS CONTINUE THRU TO DEAD END PLUS 1 No STRAND TO DROP OFF WHERE POSITIONED

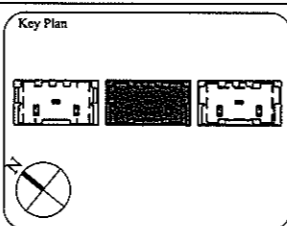
BCA certifiers
ABN: 58 119 755 734

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MEASURED QUANTITIES	
STRESSING	2.6 TONNE
STRESSING TOTAL FLOOR	6.3 TONNE
STRESSING TENDER ALLOWANCE	6.5 TONNE

MEASURED FROM ANCHOR TO ANCHOR
NO ALLOWANCE FOR DRAPE OR WASTAGE.
FOR POST-TENSION ANCHORAGE
DETAILS REFER TO DRAWING S800

No	Revision	Date	No	Revision	Date
A	ISSUE FOR TENDER	05.05.11			
B	ISSUE FOR BA	26.07.11			



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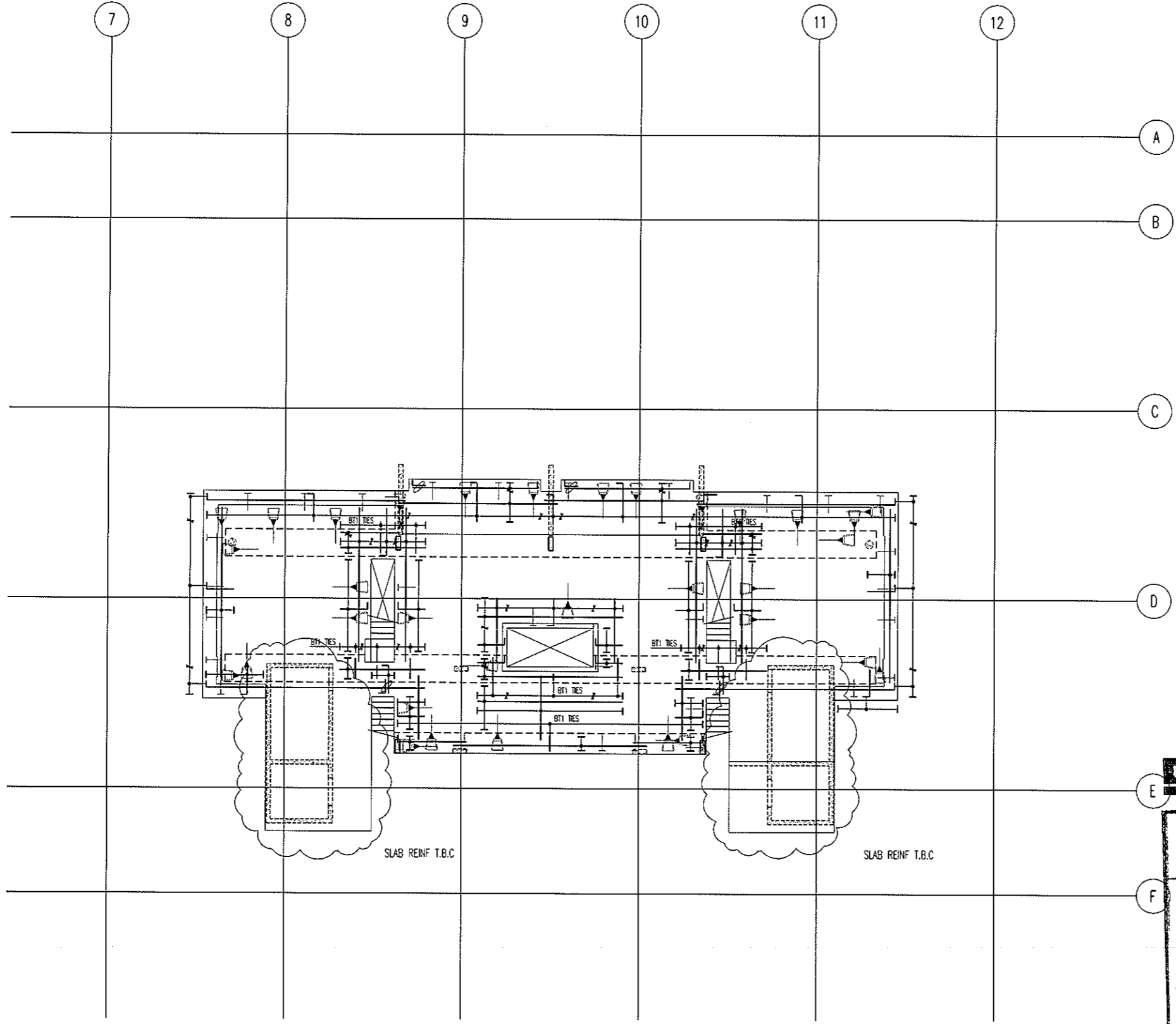
Project
DOCKSIDE APARTMENTS
BLOCK 1 SECTION 63
KINGSTON

Drawn: A.W.T. Engineer: A.Z. Scale: 1:100 @ A1, 1:200 @ A3

Drawing Title
**LEVEL 5 MID
POST-TENSION PLAN**

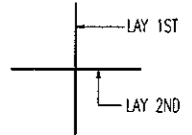
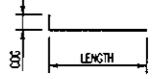
Job No: 109260 Drawing No: S496 Rev: B

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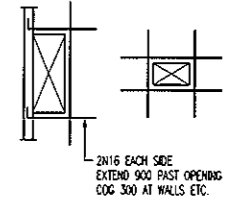


**LEVEL 5 MID
BOTTOM REINFORCEMENT PLAN**
SCALE 1:100

- NOTES:
1. REFER TO DRAWING No S001 FOR CONSTRUCTION NOTES
 2. REFER TO DRAWING No S001 FOR ADDITIONAL NOTES
 3. WHERE REINFORCEMENT SHOWN IN ONE DIRECTION ONLY PROVIDE N12-450 SUPPORT BARS TYPICAL UNO
 4. ALL COGS TO BE 150mm



BAR LAYING SEQUENCE U.N.O.



TYPICAL TRIMMER DETAIL
PROVIDE TRIMMERS AT ALL PENETRATIONS, PITS, ETC

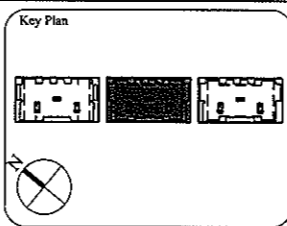
BCA certifiers
ABN: 58 119 755 734

NOTE: ALL REINFORCEMENT SHOWN IS N12-300 TYP. U.N.O. ON PLAN

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BAND TIE TYPE SCHEDULE	
MARK	TYPE
B71	[]
B72	[]
B73	[]
B74	[]

No	Revision	Date	No	Revision	Date	No	Revision	Date
1	ISSUE FOR INFORMATION	04.07.11						
A	ISSUE FOR BA	26.07.11						



1:1 SCALE 0 1 2 3 4 5 6 7 8 9 10

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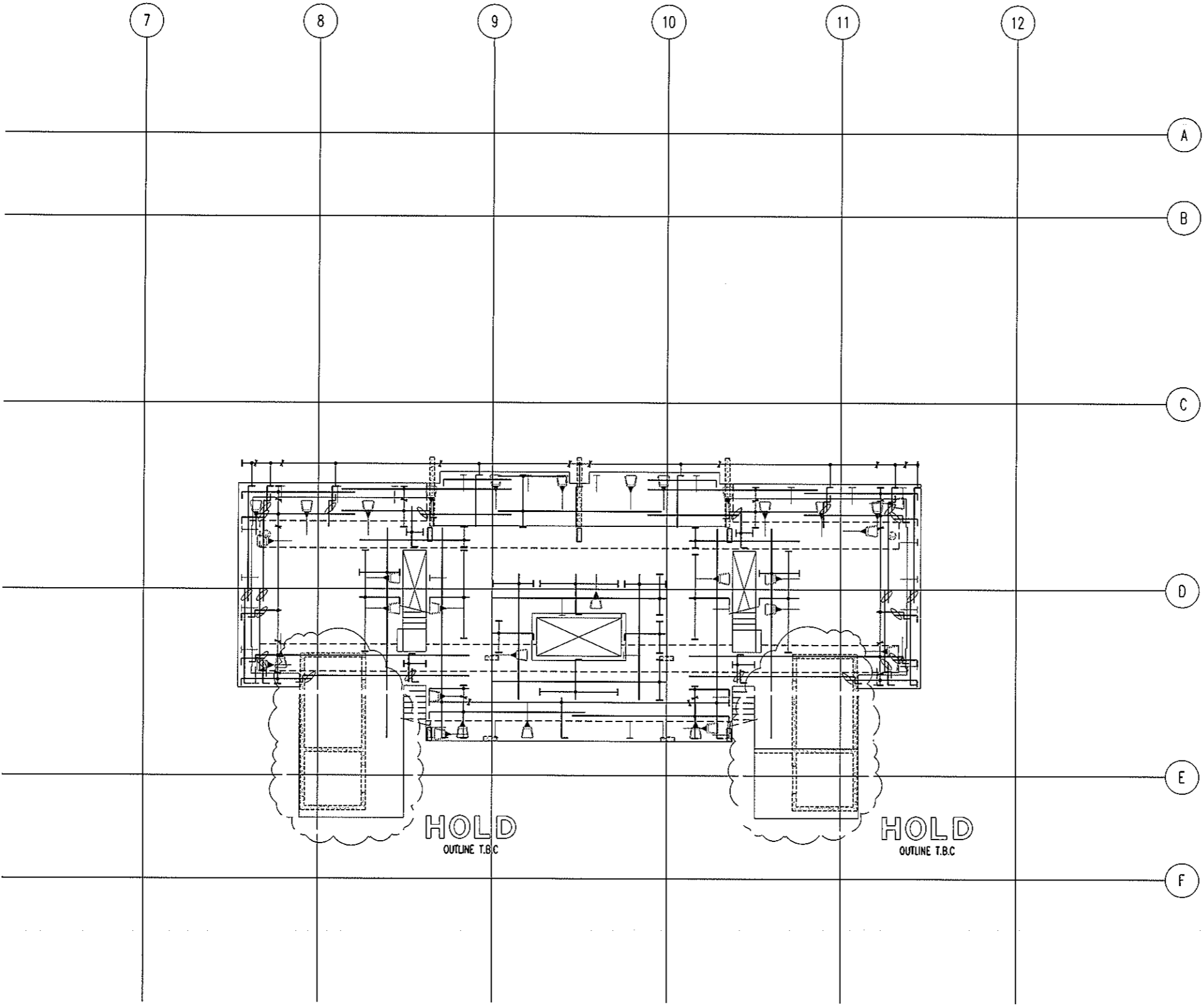
Project
DOCKSIDE APARTMENTS
BLOCK 1 SECTION 63
KINGSTON

Drawn A.W.T	Engineer A.Z	Scale 1:100 @ A1 1:200 @ A3
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Drawing Title
**LEVEL 5 MID
BOTTOM REINFORCEMENT PLAN**

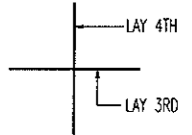
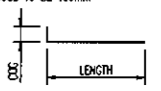
Job No 109260	Drawing No S497	Rev A
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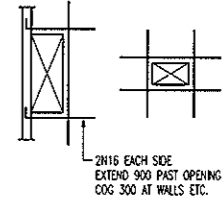


**LEVEL 5 MID
TOP REINFORCEMENT PLAN**
SCALE 1:100

- NOTES:
- REFER TO DRAWING No S001 FOR CONSTRUCTION NOTES
 - REFER TO DRAWING No S001 FOR ADDITIONAL NOTES
 - WHERE REINFORCEMENT SHOWN IN ONE DIRECTION ONLY PROVIDE N12-450 SUPPORT BARS TYPICAL UNO
 - ALL COGS TO BE 150mm



BAR LAYING SEQUENCE U.N.O.



TYPICAL TRIMMER DETAIL
PROVIDE TRIMMERS AT ALL PENETRATIONS, PITS, ETC

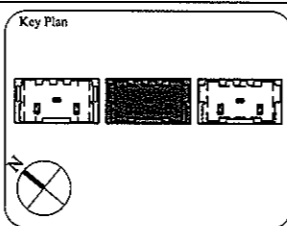
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No	Revision	Date	No	Revision	Date	No	Revision	Date
1	ISSUE FOR INFORMATION	06.05.11						
A	ISSUE FOR BA	26.07.11						



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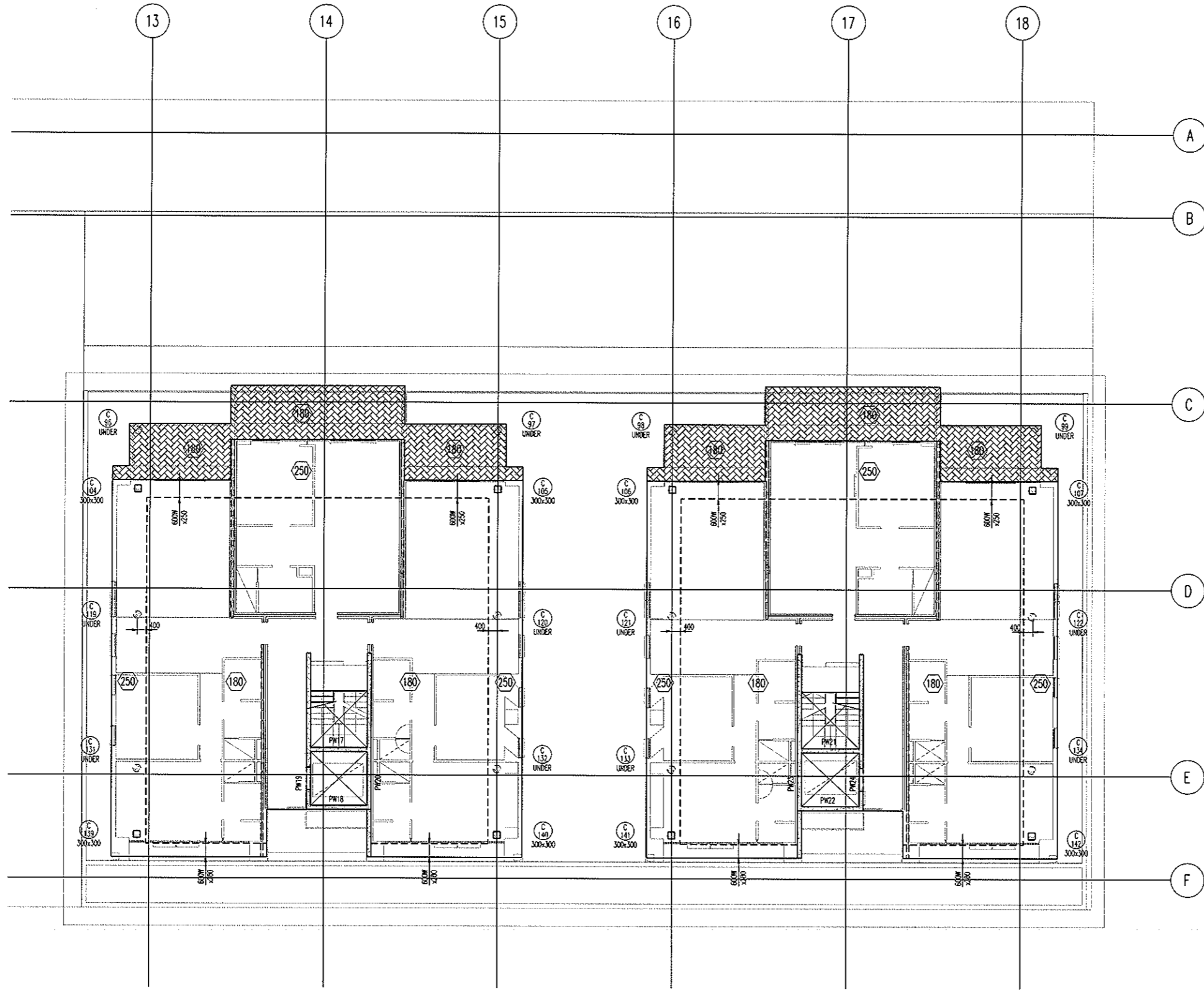
Project
DOCKSIDE APARTMENTS
BLOCK 1 SECTION 63
KINGSTON

Drawn A.W.T	Engineer A.Z	Scale 1:100 @ A1 1:200 @ A3
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Drawing Title
**LEVEL 5 MID
TOP REINFORCEMENT PLAN**

Job No 109260	Drawing No S498	Rev A
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LEVEL 5 SOUTH MARKING PLAN
SCALE 1:100

180 THICK SLAB, TYPICAL U.N.O. ON PLAN

- NOTES:**
- REFER TO DRAWING No. S001 FOR CONSTRUCTION NOTES
 - REFER TO DRAWING No. S001 FOR CONCRETE STRENGTHS
 - REFER TO S010 SERIES DRAWINGS FOR DESIGN LOADS
 - ALL FALLS TO ARCHITECTS DETAILS
 - REFER TO ARCHITECTS DRAWINGS FOR ALL CHAMFERS, REBATES AND RECESSES
 - REFER TO PLAN AND SECTIONS FOR ADDITIONAL REINFORCEMENT
7. DENOTES ANCHOR LOCATION. REFER TO DRAWING No. S501 FOR SETOUT
8. DENOTES COLUMN NUMBER (HATCHING IS FOR DESIGN PURPOSES ONLY)
 DENOTES COLUMN SIZE
9. DENOTES LOADBEARING WALL OR COLUMN OVER
10. DENOTES LOADBEARING WALL OR COLUMN UNDER

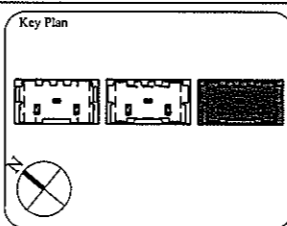
SETDOWN LEGEND	
HATCH	DEPTH
	50mm
	70mm
	80mm
	100mm
	150mm

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No	Revision	Date	No	Revision	Date
1	ISSUE FOR INFORMATION	06.05.11			
A	ISSUE FOR BA	26.07.11			



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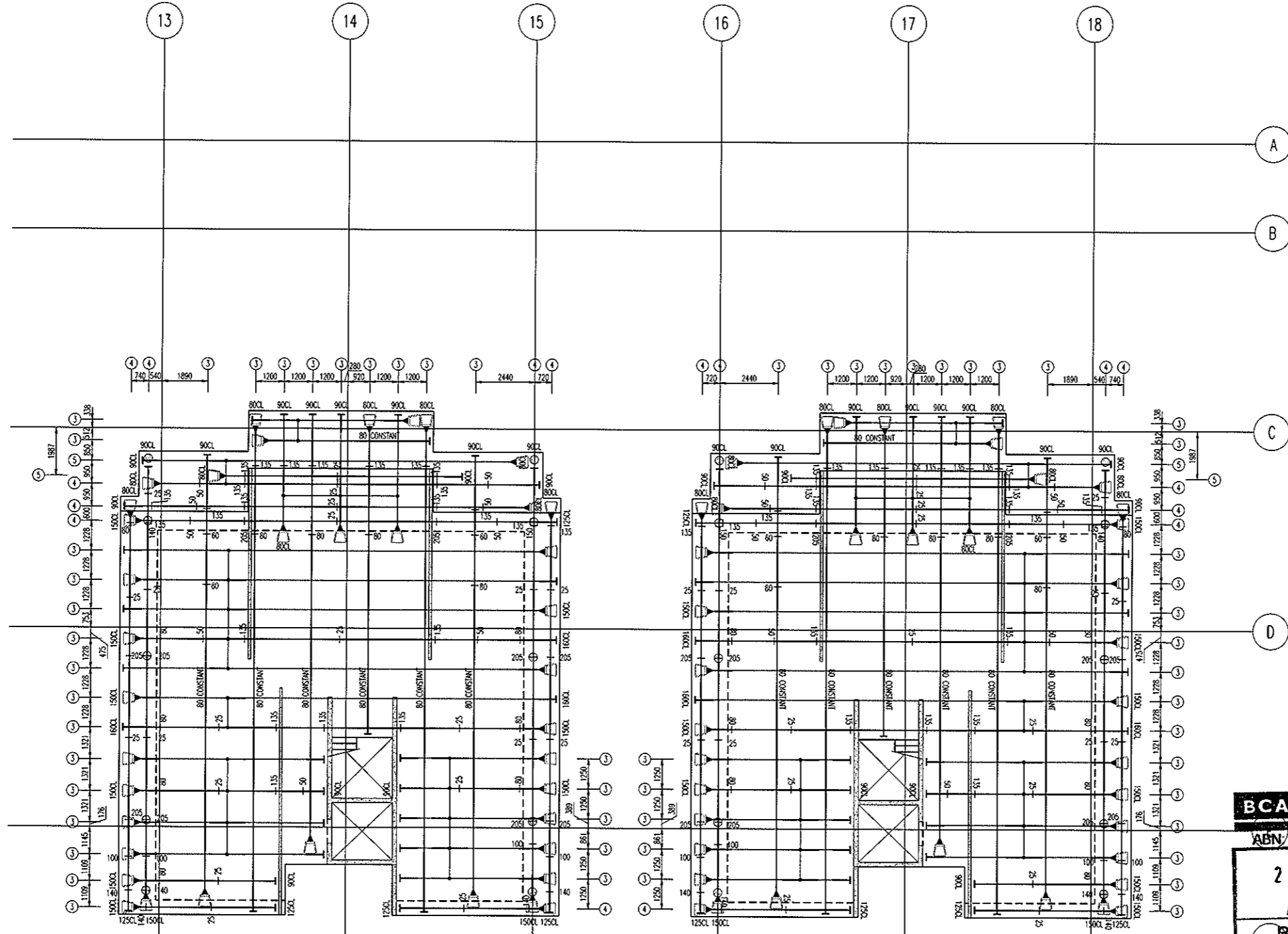
Project
DOCKSIDE APARTMENTS
BLOCK 1 SECTION 63 KINGSTON

Drawn A.W.T	Engineer A.Z	Scale 1:100 @ A1 1:200 @ A3
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Drawing Title
LEVEL 5 SOUTH MARKING PLAN

Job No 109260	Drawing No S500	Rev A
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ALL STRAND TO BE 12.7mm DIA.
7 WIRE SUPER GRADE LOW RELAXATION STRAIN TO AS1311

**LEVEL 5 SOUTH
POST-TENSION PLAN**
SCALE 1:100

- NOTES:**
- Tendons shall be stressed to the following jacking forces unless noted otherwise:
12.7dia strand tendons - 156 kN (85% UTS) per strand.
15.2dia strand tendons - 212 kN (85% UTS) per strand.
 - Concrete test cylinders used for assessing strength for prestressing are to be site cured in similar conditions to the concrete element being stressed.
 - Stressing sequence (12.7 Strand)
Initial stress: After 24 hours minimum and at concrete strength = 7mPa. Jack each strand to 25% of final stress.
Final stress: After 5 days minimum and at concrete strength = 22mPa. Jack each strand to 85% UTS.
 - Stressing sequence (15.2 Strand)
Initial stress: After 24 hours minimum and at concrete strength = 9mPa. Jack each strand to 25% of final stress.
Final stress: After 5 days minimum and at concrete strength = 25mPa. Jack each strand to 85% UTS.
 - REFER TO DRAWING No S001 FOR CONSTRUCTION NOTES
 - REFER TO DRAWING No S001 FOR ADDITIONAL NOTES
 - ENSURE MINIMUM 100mm CLEAR COVER BETWEEN CABLES & PENETRATIONS
 - ENSURE HORIZONTAL BENDS IN CABLES OCCUR NO CLOSER THAN 500mm TO THE CORNER OF ANY PENETRATION
 - LOCALLY DISPLACE REINFORCEMENT TO ALLOW CORRECT DRAPE OF POST-TENSIONING CABLES
 - CL & CHAR HEIGHTS DENOTED THUS # ARE MEASURED FROM THE SOFFIT OF THE SLAB/BEAM IN WHICH THE CABLE RUNS
 - ALL HEIGHTS MEASURED TO UNDERSIDE OF DUCTS
 - HEIGHTS MEASURED TO CENTRELINE OF ANCHORS NOTED ON PLAN

- LEGEND:**
- ON PLAN DENOTES LIVE END
 - ON PLAN DENOTES DEAD END
 - ON PLAN DENOTES COUPLER
 - ON PLAN DENOTES STRESSING PAN
 - ON PLAN DENOTES 1 No STRAND TO DROP OFF WHERE POSITIONED
 - 100 DENOTES TENDON NUMBER
 - 100 DENOTES NUMBER OF STRANDS IN DUCT
 - 100 DENOTES 4No STRANDS CONTINUE THRU TO DEAD END PLUS 1 No STRAND TO DROP OFF WHERE POSITIONED

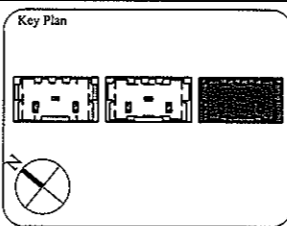
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MEASURED QUANTITIES	
STRESSING	2.6 TONNE
STRESSING TOTAL FLOOR ALLOWANCE	6.3 TONNE
STRESSING TENDER ALLOWANCE	6.5 TONNE

MEASURED FROM ANCHOR TO ANCHOR
NO ALLOWANCE FOR DRAPE OR WASTAGE.

FOR POST-TENSION ANCHORAGE DETAILS REFER TO DRAWING S800

No	Revision	Date	No	Revision	Date
A	ISSUE FOR TENDER	05.05.11			
B	ISSUE FOR BA	26.07.11			



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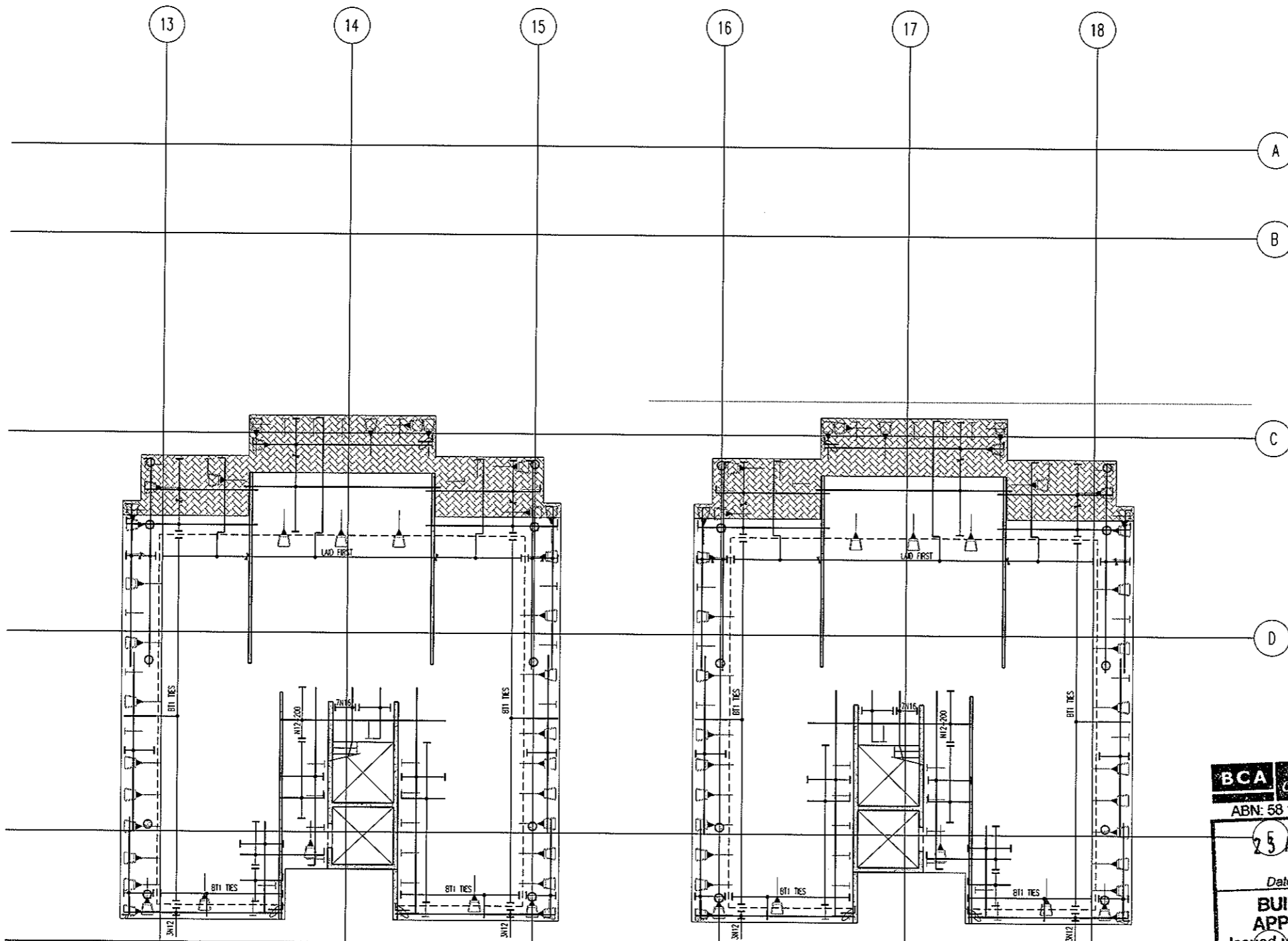
Project
DOCKSIDE APARTMENTS
BLOCK 1 SECTION 63
KINGSTON

Drawn: A.W.T. Engineer: A.Z. Scale: 1:100 @ A1, 1:200 @ A3

Drawing Title
**LEVEL 5 SOUTH
POST-TENSION PLAN**

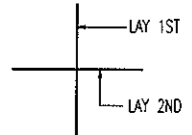
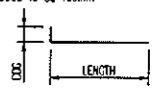
Job No: 109260 Drawing No: S501 Rev: B

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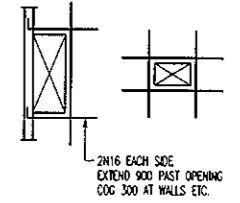


**LEVEL 5 SOUTH
BOTTOM REINFORCEMENT PLAN**
SCALE 1:100

- NOTES:
- REFER TO DRAWING No S001 FOR CONSTRUCTION NOTES
 - REFER TO DRAWING No S001 FOR ADDITIONAL NOTES
 - WHERE REINFORCEMENT SHOWN IN ONE DIRECTION ONLY PROVIDE N12-450 SUPPORT BARS TYPICAL U.N.O
 - ALL COGS TO BE 150mm



BAR LAYING SEQUENCE U.N.O.



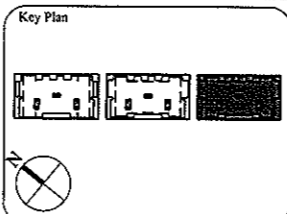
TYPICAL TRIMMER DETAIL
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BAND TIE TYPE SCHEDULE	
MARK	TYPE
B11	
B12	
B13	
B14	

No	Revision	Date	No	Revision	Date	No	Revision	Date
1	ISSUE FOR INFORMATION	06.05.11						
A	ISSUE FOR BA	26.07.11						



1:1 SCALE 0 1 2 3 4 5 6 7 8 9 10

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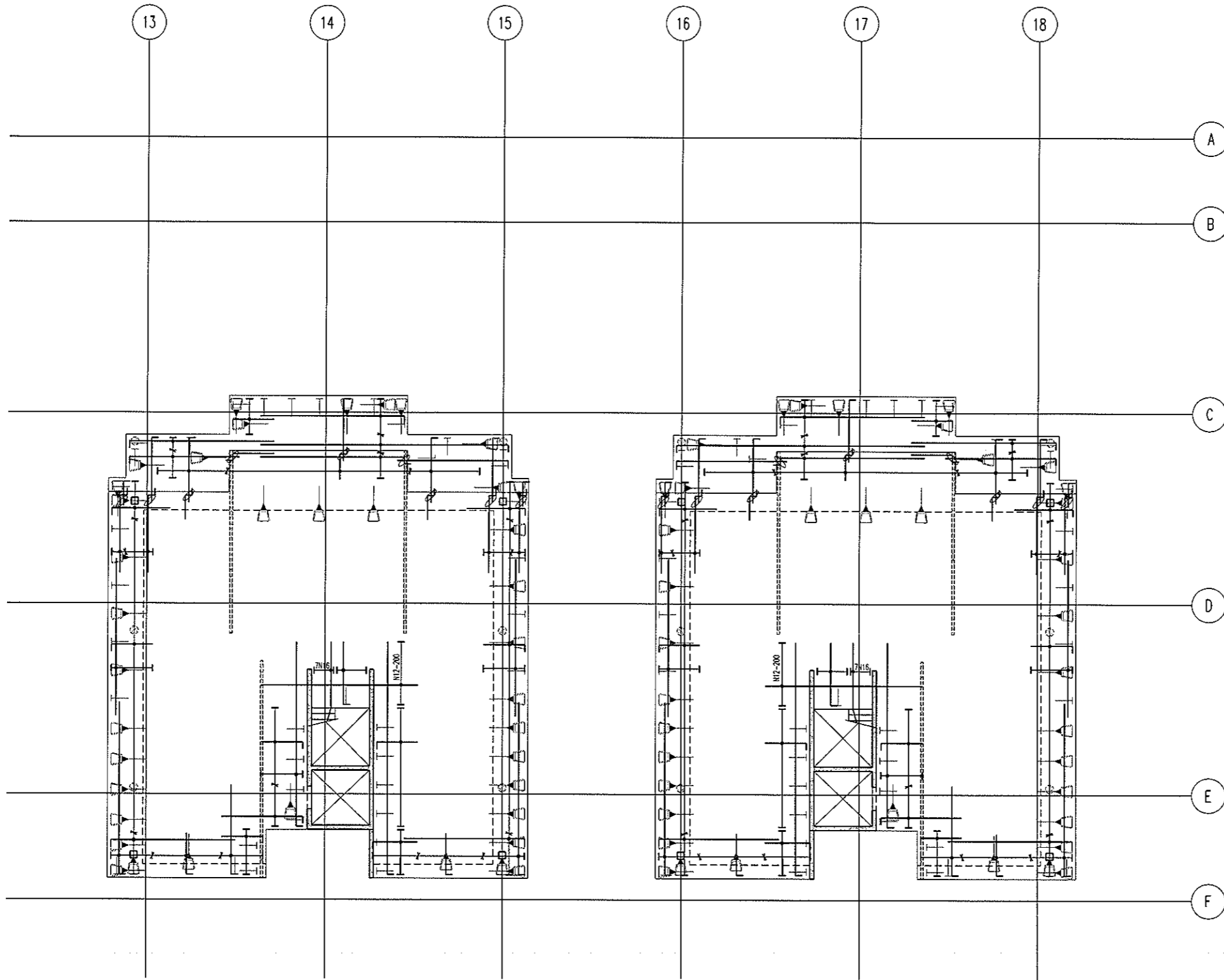
Project
DOCKSIDE APARTMENTS
BLOCK 1 SECTION 63
KINGSTON

Drawn A.W.T
Engineer A.Z
Scale 1:100 @ A1
1:200 @ A3

Drawing Title
**LEVEL 5 SOUTH
BOTTOM REINFORCEMENT PLAN**

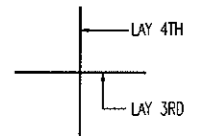
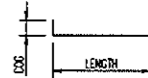
Job No 109260
Drawing No S502
Rev A

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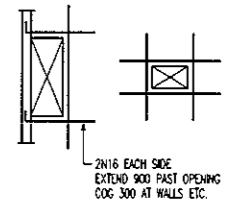


**LEVEL 5 SOUTH
TOP REINFORCEMENT PLAN**
SCALE 1:100

- NOTES:
- REFER TO DRAWING No S001 FOR CONSTRUCTION NOTES
 - REFER TO DRAWING No S001 FOR ADDITIONAL NOTES
 - WHERE REINFORCEMENT SHOWN IN ONE DIRECTION ONLY PROVIDE N12-450 SUPPORT BARS TYPICAL UNO
 - ALL COCS TO BE 150mm



BAR LAYING SEQUENCE U.N.O.



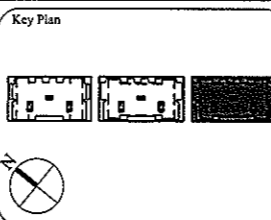
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1	ISSUE FOR INFORMATION	05.05.11						
A	ISSUE FOR BA	26.07.11						



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Project
DOCKSIDE APARTMENTS
BLOCK 1 SECTION 63
KINGSTON

Drawn A.W.T	Engineer A.Z	Scale 1:100 @ A1 1:200 @ A3
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Drawing Title
**LEVEL 5 SOUTH
TOP REINFORCEMENT PLAN**

Job No 109260	Drawing No S503	Rev A
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ABN 35 093 828 794

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Gungahlin ACT 2912
P: (02) 6257 2614
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alan@awtce.net.au

CERTIFICATE OF STRUCTURAL SUFFICIENCY - CONSTRUCTION

BLOCK: 1 **SECTION:** 63 **SUBURB:** Kingston

Lessee or Permit Holder's Name: Bloc Constructions
Contact: Damien Schmidt Damien.schmidt@bloc.com.au

AWT Job No: 109260
Title: Dockside Development Kingston

Description of Building Work:

New Work x **Additions** **Alterations** **Other**

I certify that:

1. AWT have inspected the above building and/or the following components and of their supporting elements
Raft Foundation Structure, Columns, Walls, Stairs, Suspended Slabs and Structural Steelwork and to the best of our knowledge the building is structurally sufficient, sound and stable for the purpose for which its to be occupied and used
2. This certificate applies to AWT structural drawings prefixed 109260.
3. To the best of our knowledge the building structural components complies to fire rating requirements of the BCA and NDY Fire Engineering Report rp110408c0012 dated 12th November 2012
4. In inspecting the building works, we have paid attention to the structural integrity of the building, the strength requirements and serviceability requirements of the building and its structural elements and to the best of our knowledge the building structure complies with the BCA and relevant SAA codes, listed below:
 - BCA - Part B Structures
 - AS/NZS 1170 Structural Design Actions - Parts 0 to 4 Incl.
 - AS/NZS 3600 Concrete Structures
 - AS/NZS 4100 Steel Structures

Declaration

I am a professional engineer as defined in Part A1 Clause A1.1 of the Building Code of Australia.
This "Structural Engineers Certificate" is issued pursuant to Section 47 of the ACT Building Act 2004

Signature

Date: 07/06/13

Engineer: Alan Tingcombe
Qualifications: BE(Hons) F.I.E. Aust
Address: 2 Brindabella Cct, Canberra Airport ACT 2609
Telephone: (02) 6257 2614
Fax: (02) 6257 1723
Email: alan@awtce.net.au