



ACT
Government

Chief Minister, Treasury and
Economic Development

Freedom of Information Publication Coversheet

The following information is provided pursuant to section 28 of the *Freedom of Information Act 2016*.

FOI Reference: CMTEDDFOI 2020-143

Information to be published	Status
1. Access application	Published
2. Decision notice	Published
3. Documents and schedule	Published
4. Additional information identified	No
5. Fees	Waived
6. Processing time (in working days)	20
7. Decision made by Ombudsman	N/A
8. Additional information identified by Ombudsman	N/A
9. Decision made by ACAT	N/A
10. Additional information identified by ACAT	N/A

[Redacted]

20 July 2020

ACT Planning and Land Authority
GPO Box 158
Canberra ACT 2601

ATTENTION: Freedom of Information Officer

By email only: EPSDFOI@act.gov.au

Dear Sir/Madam

RE: [Redacted]

We act for the abovenamed.

[Redacted] 36 Dulcie Holland Crescent, Moncrieff (Section 16, Block 1) on 16 June 2020.

We request the following documents pursuant to the provisions of the *Freedom of Information Act*:

[Redacted]

2. The building file;

[Redacted]

If this request should be made to, or relevant material may be held by another agency, please provide your assistance under s14(4) of the Act.

We undertake to make any payment necessary pursuant to the Act.

We **enclose** our client's authority.

Yours faithfully

[Redacted]

Encl.

[Redacted]



ACT
Government

Chief Minister, Treasury and
Economic Development

Our ref: CMTEDDFOI 2020-143

[REDACTED]

via email: [REDACTED]

Dear [REDACTED]

FREEDOM OF INFORMATION REQUEST

I refer to your application under section 30 of the *Freedom of Information Act 2016* (the Act), received by the Chief Minister, Treasury and Economic Development Directorate (CMTEDD) on 27 July 2020, in which you sought access to:

- The building file relating to Section 16, Block 1 MONCRIEFF (36 Dulcie Holland Crescent MONCRIEFF)

Authority

I am an Information Officer appointed by the Director-General under section 18 of the Act to deal with access applications made under Part 5 of the Act.

Timeframes

In accordance with section 40 of the Act, CMTEDD is required to provide a decision on your access application by 24 August 2020.

Decision on access

On 29 July 2020 you refined the scope to just the common areas following a telephone conversation with this office. The scope was further refined on 13 August 2020 to ground level and the undercroft parking area.

Searches were completed for relevant documents and 18 documents were identified that fall within the refined scope of your request.

I have included as **Attachment A** to this decision the schedule of relevant documents. This provides a description of each document that falls within the scope of your request and the access decision for each of those documents.

I have decided to grant access in full to eight documents and partial access to the remaining ten documents relevant to your request as they contain information that would, on balance, be contrary to the public interest to disclose under the test set out in section 17 of the Act.

My access decisions are detailed further in the following statement of reasons and the documents released to you are provided as **Attachment B** to this letter.

In accordance with section 54(2) of the Act a statement of reasons outlining my decisions is below.

Statement of Reasons

In reaching my access decisions, I have taken the following into account:

- the Act;
- the content of the documents that fall within the scope of your request;
- the *Human Rights Act 2004*.

Exemption claimed

My reasons for deciding not to grant access to the identified documents and components of these documents are as follows:

Information that would, on balance, be contrary to the public interest to disclose under the test set out in section 17 of the Act

Public Interest

The Act has a presumption in favour of disclosure. As a decision maker I am required to decide where, on balance, public interests lies. As part of this process I must consider factors favouring disclosure and non-disclosure.

In *Hogan v Hinch* (2011) 243 CLR 506, [31] French CJ stated that when ‘used in a statute, the term [public interest] derives its content from “the subject matter and the scope and purpose” of the enactment in which it appears’. Section 17(1) of the Act sets out the test, to be applied to determine whether disclosure of information would be contrary to the public interest. These factors are found in subsection 17(2) and Schedule 2 of the Act.

Taking into consideration the information contained in the documents found to be within the scope of your request, I have identified that the following public interest factors are relevant to determine if release of the information contained within these documents is within the ‘public interest’.

Factors favouring disclosure in the public interest:

(a) *disclosure of the information could reasonably be expected to do any of the following:*

(xiii) contribute to the administration of justice generally, including procedural fairness.

Having considered the factors identified as relevant in this matter, I consider that release of information contained in these documents may contribute to the procedural fairness by allowing you to have a complete record of the documents associated with your case centring on Section 16, Block 1 MONCRIEFF.

Factors favouring nondisclosure in the public interest:

(a) *disclosure of the information could reasonably be expected to do any of the following:*

(ii) *prejudice the protection of an individual's right to privacy or any other right under the Human Rights Act 2004;*

(xi) *prejudice trade secrets, business affairs or research of an agency or person.*

However, when considering this finding against the factors favouring non-disclosure, I am satisfied that the protection of an individual's right to privacy, especially in the course of their employment, is a significant factor as the parties involved have provided their personal information for the purposes of complying with relevant legislation which, in my opinion, outweighs the benefit which may be derived from releasing the personal information of the individual's involved in this matter. These individuals are entitled to expect that the personal information they have supplied as part of this process will be dealt with in a manner that protects their privacy.

I have also considered the impact of disclosing information which relates to business affairs. In the case of *Re Mangan and The Treasury* [2005] AATA 898 the term 'business affairs' was interpreted as meaning 'the totality of the money-making affairs of an organisation or undertaking as distinct from its private or internal affairs'. Schedule 2 section 2.2(a)(xi) allows for government information to be withheld from release if disclosure of the information could reasonably be expected to prejudice the trade secrets, business affairs or research of an agency or person.

Having applied the test outlined in section 17 of the Act and deciding that release of personal information contained in the documents is not in the public interest to release, I have chosen to redact this specific information in accordance with section 50(2). Noting the pro-disclosure intent of the Act, I am satisfied that redacting only the information that I believe is not in the public interest to release will ensure that the intent of the Act is met and will provide you with access to the majority of the information held by CMTEDD within the scope of your request.

Charges

Pursuant to *Freedom of Information (Fees) Determination 2018* processing charges are applicable for this request because the total number of pages to be released to you exceeds the charging threshold of 50 pages. However, the charges have been waived in accordance with section 107(2)(b) of the Act.

Online publishing – Disclosure Log

Under section 28 of the Act, CMTEDD maintains an online record of access applications called a disclosure log. Your original access application, my decision and documents released to you in response to your access application will be published in the CMTEDD disclosure log after 28 August 2020. Your personal contact details will not be published.

You may view CMTEDD disclosure log at

<https://www.cmtedd.act.gov.au/functions/foi/disclosure-log>.

Ombudsman Review

My decision on your access request is a reviewable decision as identified in Schedule 3 of the Act. You have the right to seek Ombudsman review of this outcome under section 73 of the Act within 20 working days from the day that my decision is published in CMTEDD disclosure log, or a longer period allowed by the Ombudsman.

We recommend using this form [Applying for an Ombudsman Review](#) to ensure you provide all of the required information. Alternatively, you may write to the Ombudsman at:

The ACT Ombudsman
GPO Box 442
CANBERRA ACT 2601

Via email: actfoi@ombudsman.gov.au

ACT Civil and Administrative Tribunal (ACAT) Review

Under section 84 of the Act, if a decision is made under section 82(1) on an Ombudsman review, you may apply to the ACAT for review of the Ombudsman decision. Further information may be obtained from the ACAT at:

ACT Civil and Administrative Tribunal
Level 4, 1 Moore St
GPO Box 370
Canberra City ACT 2601
Telephone: (02) 6207 1740
<http://www.acat.act.gov.au/>

Should you have any queries in relation to your request please contact me by telephone on 6207 7754 or email CMTEDDFOI@act.gov.au.

Yours sincerely,



Philip Dachs
Information Officer
Information Access Team
Chief Minister, Treasury and Economic Development Directorate

24 August 2020



ACT
Government

Chief Minister, Treasury and
Economic Development

FREEDOM OF INFORMATION REQUEST SCHEDULE

WHAT ARE THE PARAMETERS OF THE REQUEST	Reference NO.
The building file relating to Section 16, Block 1 MONCRIEFF (36 Dulcie Holland Crescent MONCRIEFF)	CMTEDDFOI 2020-143

Ref No	Page number	Description	Date	Status	Reason for Exemption	Online Release Status
1	1	Certificate of Occupancy and Use	Jul-2018	Full release	N/A	Yes
2	2	Certificate of Occupancy and Use	Feb-2018	Full release	N/A	Yes
3	3-4	Certification of Completion of Building Work	Feb-2018	Full release	N/A	Yes
4	5-8	Certification of Completion of Building Work	Feb-2018	Full release	N/A	Yes
5	9-10	Building Commencement Notice	Feb-2018	Partial release	Sch 2 s2.2 (a)(ii)	Yes
6	11	Inspection Report	Feb-2018	Partial release	Sch 2 s2.2 (a)(ii)	Yes
7	12-13	Application for Certificate of Occupancy and Use	Feb-2018	Partial release	Sch 2 s2.2 (a)(ii)	Yes
8	14-15	Building Commencement Notice	Jan-2018	Partial release	Sch 2 s2.2 (a)(ii)	Yes
9	16-17	Application for Certificate of Occupancy and Use	Nov-2017	Partial release	Sch 2 s2.2 (a)(ii)	Yes
10	18-19	Building Commencement Notice	Jan-2017	Partial release	Sch 2 s2.2 (a)(ii) Sch 2 s2.2 (a)(xi)	Yes
11	20	Building Approval Certificate	Sep-2016	Full release	N/A	Yes
12	21	Building Approval Certificate	Sep-2016	Full release	N/A	Yes
13	22-23	Application for Building Commencement Notice	Undated	Partial release	Sch 2 s2.2 (a)(ii) Sch 2 s2.2 (a)(xi)	Yes
14	24-25	Building Approval	Sep-2016	Partial release	Sch 2 s2.2 (a)(ii) Sch 2 s2.2 (a)(xi)	Yes

15	26-27	Appointment of Builder & Application for Commencement Notice	Undated	Partial release	Sch 2 s2.2 (a)(ii)	Yes
16	28-30	Application for Building Commencement Notice	Undated	Partial release	Sch 2 s2.2 (a)(ii) Sch 2 s2.2 (a)(xi)	Yes
17	31	Certifiers Declaration – Section 47	Undated	Full release	N/A	Yes
18	32-59	Plans and elevations	Multiple	Full release	N/A	Yes
Total No of Docs						
18						



Certificate of Occupancy and Use

Certificate No.: **B20172081C1**

Access Canberra Building Services

ABN 16 479 763 216
8 Darling Street Mitchell
GPO Box 158 ACT 2601
www.act.gov.au/accesscbr

This Certificate is issued in accordance with Section 69 (2) of the Building Act 2004.

The building work listed on this certificate has been completed substantially in accordance with the prescribed requirements and is considered fit for occupation and use.

Unit	Block	Section	Division (Suburb)	District	Jurisdiction
	3	16	MONCRIEFF	GUNGAHLIN	Australian Capital Territory

Plans
B20172081/A
B20172081/B

Building Works

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Const.	Unit	BCN ID	Builder
1a(II)	Other	SEE DESCRIPTION	27 Townhouse dwellings	NA		B20172081N1	DI IULIO BUILDING & CONSTRUCTION PTY LTD
2	Other	SEE DESCRIPTION	12 Apartment dwellings	A		B20172081N1	DI IULIO BUILDING & CONSTRUCTION PTY LTD
10a	New	GARAGE	27 Garages	NA		B20172081N1	DI IULIO BUILDING & CONSTRUCTION PTY LTD
10a	New	CARPORT	12 Carports	NA		B20172081N1	DI IULIO BUILDING & CONSTRUCTION PTY LTD
10a	Other	SEE DESCRIPTION	23 Balconies	NA		B20172081N1	DI IULIO BUILDING & CONSTRUCTION PTY LTD

Comments

Important Note:

1. Statutory warranties and statutory warranty insurance or a statutory warranty fidelity certificate apply in relation to some or all of the building work.

2. The issue of this certificate in respect of a building or a portion of a building does not affect the liability of a person or other entity to comply with the provisions of an ACT law, including the Building Act 2004, relating to the building or portion of the building.

Issued by: Douglas Farr

Issued on: 06/07/2018



Certificate of Occupancy and Use

Certificate No.: **B20164294C1**

Access Canberra Building Services

ABN 16 479 763 216
8 Darling Street Mitchell
GPO Box 158 ACT 2601
www.act.gov.au/accesscbr

This Certificate is issued in accordance with Section 69 (2) of the Building Act 2004.

The building work listed on this certificate has been completed substantially in accordance with the prescribed requirements and is considered fit for occupation and use.

Unit	Block	Section	Division (Suburb)	District	Jurisdiction
	1	16	MONCRIEFF	GUNGAHLIN	Australian Capital Territory

Plans
B20164294/A
B20164294/B

Building Works

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Const.	Unit	BCN ID	Builder
1a(II)	New	TOWNHOUSE		NA	1 to 44 and 67 to 86	B20164294N1	LIFESTYLE HOMES (ACT) PTY LTD
2	New Medium Density	FLAT/UNIT/APARTMENT		A	45 to 66	B20164294N1	LIFESTYLE HOMES (ACT) PTY LTD
7a	New	CAR PARK		A		B20164294N1	LIFESTYLE HOMES (ACT) PTY LTD
10a	New	GARAGE		NA		B20164294N1	LIFESTYLE HOMES (ACT) PTY LTD
10a	Other	SEE DESCRIPTION	Waste enclosures and BBQ hut	NA		B20164294N1	LIFESTYLE HOMES (ACT) PTY LTD

Comments

Important Note:

This building work incorporates an alternative solution to the Building Code of Australia (BCA). Refer to the approval documentation for further information.

1. Statutory warranties and statutory warranty insurance or a statutory warranty fidelity certificate apply in relation to some or all of the building work.
2. The issue of this certificate in respect of a building or a portion of a building does not affect the liability of a person or other entity to comply with the provisions of an ACT law, including the Building Act 2004, relating to the building or portion of the building.

Issued by: Jim Bobolas

Issued on: 26/02/2018



Building Act 2004, S151

Certification of Completion of Building Work

Project ID: B20164294/B

If this application is incomplete or documentation is inadequate this application may not be accepted for lodgement and the Certificate of Occupancy and Use may not be issued.

PART A - PROJECT DETAILS

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
	1	16	GUNGAHLIN	MONCRIEFF	Australian Capital Territory

Plan Registration Number

B20164294/A

B20164294/B

Description of Works

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Unit	BCN ID	Builder
10b	New	SWIMMING POOL		NA		B20164294N2	CRAIG JOSEPH GENTER

The project involved electrical work

The project did not involve plumbing or sanitary drainage work

The project did not involve gas work

This building work is not subject to an alternative solution under BCA

PART B - CERTIFIERS DECLARATION

I am satisfied that the building work detailed in the application is complete. I hereby certify that:

- I have provided all the relevant documents required by subsection 48(2) of the Building Act 2004 with this application as uploaded;
- the documentation relating to the building approval has been marked in accordance with the requirements of the Building Act 2004;
- The building work has been completed in accordance with the requirements of the Building Act 2004 and substantially in accordance with the approved plans;
- The building or part of the building as erected or altered is structurally sufficient, sound and stable for the purposes for which it is intended to be occupied or used; and
- The Registrar can issue a Certificate of Occupancy and Use

Full Name	Address	License Number	Expiry Date
CERTIFIED BUILDING SOLUTIONS PTY LTD	PO Box 76 MITCHELL ACT 2911	200426203	2/09/2018

Date Issued: 23/02/2018 9:51:28 AM

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.



Building Act 2004, S151

**Certification of
Completion of Building Work**

Project ID: B20164294/B

If this application is incomplete or documentation is inadequate this application may not be accepted for lodgement and the Certificate of Occupancy and Use may not be issued.

PART A - PROJECT DETAILS

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
	1	16	GUNGAHLIN	MONCRIEFF	Australian Capital Territory

Plan Registration Number
B20164294/A
B20164294/B

Description of Works

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Unit	BCN ID	Builder
1a(II)	New	TOWNHOUSE		NA	1 to 44 and 67 to 86	B20164294N1	LIFESTYLE HOMES (ACT) PTY LTD
2	New Medium Density	FLAT/UNIT/APARTMENT		A	45 to 66	B20164294N1	LIFESTYLE HOMES (ACT) PTY LTD
7a	New	CAR PARK		A		B20164294N1	LIFESTYLE HOMES (ACT) PTY LTD
10a	New	GARAGE		NA		B20164294N1	LIFESTYLE HOMES (ACT) PTY LTD
10a	Other	SEE DESCRIPTION	Waste enclosures and BBQ hut	NA		B20164294N1	LIFESTYLE HOMES (ACT) PTY LTD

The project involved electrical work

The project involved plumbing and/or sanitary drainage work

The project involved gas work

This building work is subject to an alternative solution under BCA

PART B - CERTIFIERS DECLARATION

I am satisfied that the building work detailed in the application is complete. I hereby certify that:

- (a) I have provided all the relevant documents required by subsection 48(2) of the Building Act 2004 with this application as uploaded;
- (b) the documentation relating to the building approval has been marked in accordance with the requirements of the Building Act 2004;
- (c) The building work has been completed in accordance with the requirements of the Building Act 2004 and substantially in accordance with the approved plans;
- (d) The building or part of the building as erected or altered is structurally sufficient, sound and stable for the purposes for which it is intended to be occupied or used; and
- (e) The Registrar can issue a Certificate of Occupancy and Use

Full Name	Address	License Number	Expiry Date
CERTIFIED BUILDING SOLUTIONS PTY LTD	PO Box 76 MITCHELL ACT 2911	200426203	2/09/2018

Date Issued: 23/02/2018 9:55:54 AM

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.



APPLICATION FOR CERTIFICATE OF OCCUPANCY AND USE

Building Act 2004, S151

WARNING TO OWNERS
It is recommended that owners seek appropriate advice to determine whether the building work and other contract requirements have been completed satisfactorily before signing this form. This form should not be signed before the completion of building work.

PART A PROJECT DETAILS

Block/s Section Suburb Unit No.

Street Address

Describe each item of building work to which this application relates: If more than 6 items please attach further details

1. Townhouses.
 2. Apartments
 3. Carpark
 4. Garage
 5. Waste enclosure + BBQ Hot
- Name of Certifier:

PART B OWNER/LESSEE DETAILS

FULL NAME OF ALL OWNERS – All owners must be listed or application will not be processed
Please Print - Owner 1 will be considered the contact person in relation to this application

Company Details

Owner 1 Owner 2

Owner 3 Owner 4

Postal Address

Suburb State Postcode

Phone Number Business Hours Mobile

EMAIL ADDRESS

PART C **DECLARATION BY OWNER/S**

I am/we are: the owner(s) of the above described land

I am/we are satisfied that the building work and related requirements have been completed and hereby apply for a Certificate of Occupancy or Use in respect of the above described work to be issued and (select one option only):

- Email @ LIFESTYLE - HOMES. COM. AU
- send certificate by post to the owner(s) address held for collection from Building Services Shopfront - Mitchell
- Other _____

PART D **SIGNATURE/S OF OWNER/S**

This form should **not be** signed before the completion of building work.

1 st Owner's Signature	<input type="text" value="Schedule 2.2(a)(ii)"/>	Date	<input type="text" value="22/2/18"/>
2 nd Owner's Signature	<input type="text"/>	Date	<input type="text"/>
3 rd Owner's Signature	<input type="text"/>	Date	<input type="text"/>
4 th Owner's Signature	<input type="text"/>	Date	<input type="text"/>

NOTE: There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

Once this form has been completed you should give it to your certifier to lodge or hand deliver to:

**Access Canberra
Building Services Shopfront,
8 Darling Street
Mitchell ACT 2911**

Privacy Notice

The personal information on this form is provided to Access Canberra to enable the processing of your application. The collection of personal information is authorised by the *Building Act 2004*. If all or some of the personal information is not collected Access Canberra cannot process your application. The personal information you provide may be disclosed to Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be disclosed where authorised by law or court order, or where the Directorate reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. Access Canberra's information Privacy Policy contains information about how you may access or seek to correct your personal information held by Access Canberra, and how you may complain about an alleged breach of the Territory Privacy Principles. Access Canberra Information Privacy Policy can be found at www.act.gov.au/accessCBB

CONTACT INFORMATION

Email:
ACTPLAdevelopmentBA@act.gov.au

Post:
Access Canberra
Building Services
Shopfront Mitchell
GPO Box 158
Canberra, ACT 2601

In Person:
Please visit
www.act.gov.au/accessCBB
Or call **132281** to find an
Access Canberra Shopfront.

CERTIFIED BUILDING SOLUTIONS

INSPECTION REPORT

PO Box 76
Mitchell ACT 2911

TELEPHONE (02) 6253 9911
Fax (02) 6253 9922

Suburb <i>Moneroh</i>	Section <i>16</i>	Block <i>1</i>	Unit
Builder <i>Craig Carter</i>		Inspection Stage <i>Final</i>	

An inspection of the building work has been carried out:
As a result of that inspection I hereby certify that the building work complies with section 42 of the Building Act **2004**.
As a result of that inspection I have formed the opinion that the building work is not in compliance with section 42 of the Building Act **2004**. Please re-book this inspection stage when rectified.

The following matters require your attention:

Pool Complete

- Work may proceed to the next stage.
- Work completed and the registration of Occupancy under section *69(2)*

Schedule 2.2(a)(ii)

Certified by Signature *2112118*



APPLICATION FOR CERTIFICATE OF OCCUPANCY AND USE

Building Act 2004, S151

WARNING TO OWNERS
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PART A PROJECT DETAILS

Block/s Section Suburb Unit No.

Street Address

Describe each item of building work to which this application relates: If more than 6 items please attach further details

1.
2.
3.
4.

Name of Certifier:

PART B OWNER/LESSEE DETAILS

FULL NAME OF ALL OWNERS - All owners must be listed or application will not be processed
Please Print - Owner 1 will be considered the contact person in relation to this application

Company Details

Owner 1 Owner 2

Owner 3 Owner 4

Postal Address

Suburb State Postcode

Phone Number Business Hours Mobile

EMAIL ADDRESS

PART C DECLARATION BY OWNER/S

I am/we are: the owner(s) of the above described land

I am/we are satisfied that the building work and related requirements have been completed and hereby apply for a Certificate of Occupancy or Use in respect of the above described work to be issued and (select one option only):

- Email [REDACTED]@LIFESTYLE-HOMES.COM.AU
- send certificate by post to the owner(s) address held for collection from Building Services Shopfront - Mitchell
- Other _____

PART D SIGNATURE/S OF OWNER/S

This form should not be signed before the completion of building work.

1 st Owner's Signature	Schedule 2.2(a)(ii)	Date	21/2/18
2 nd Owner's Signature		Date	21/2/18
3 rd Owner's Signature		Date	
4 th Owner's Signature		Date	

NOTE: There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

Once this form has been completed you should give it to your certifier to lodge or hand deliver to:

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CONTACT INFORMATION

Email:
ACTPLAdevelopmentBA@act.gov.au

Post:
Access Canberra
Building Services
Shopfront Mitchell
GPO Box 158
Canberra, ACT 2601

In Person:
Please visit
www.act.gov.au/accessCBR
Or call 132281 to find an
Access Canberra Shopfront.



Building Act 2004, S151

Building Commencement Notice

Project ID: B20164294

PART A - PROJECT DETAILS

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
	1	16	GUNGAHLIN	MONCRIEFF	Australian Capital Territory

Certifier's Details

Full Name	Address	License Number	Expiry Date
CERTIFIED BUILDING SOLUTIONS PTY LTD	PO Box 76 MITCHELL ACT 2911	200426203	2/09/2018

Building approval issue date: 22/09/2016

Building Commencement Notice Required for:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Area (m2)	Cost of Works (\$)
10b	New	SWIMMING POOL		NA	0.00	Schedule 2.2(a)(ii)

PART B - BUILDERS DETAILS

License holder's name: CRAIG JOSEPH GENTER

License number: 2011849

License Expiry Date: 27/07/2018

Business Address: PO Box 450 CALWELL ACT 2905

Phone Number: [Schedule 2.2\(a\)\(ii\)](#)

If the builder is a company or partnership provide details of the nominee who will supervise the building work

Nominee's name: CRAIG JOSEPH GENTER

License number: 2011849

License Expiry Date: 27/07/2018

PART C - CERTIFIER'S DECLARATION

Issue date of commencement notice: 30/01/2018

Name of Certifier Issuing Notice: CERTIFIED BUILDING SOLUTIONS PTY LTD

Declaration:

This commencement notice is issued in accordance with the Building Act 2004, to the licensed builder stated above authorising the commencement of the stated building work. The issue of this commencement notice indicates that I am satisfied that the builders license authorises the work in the building approval. Where applicable for residential building work, I have been provided with a residential building insurance policy or fidelity certificate.

PLEASE NOTE:

A copy of the application for this commencement notice, this notice and where applicable the residential building insurance policy or fidelity certificate, must be given to the construction occupations registrar within one (1) week of the issue date.

This building commencement notice will end if-

- (a) for residential building work- the work is no longer insured; or
- (b) the building approval for the work ends

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.



APPLICATION FOR CERTIFICATE OF OCCUPANCY AND USE

Building Act 2004, S151

WARNING TO OWNERS

It is recommended that owners seek appropriate advice to determine whether the building work and other contract requirements have been completed satisfactorily before signing this form. This form should **not** be signed before the completion of building work.

PART A

PROJECT DETAILS

Block/s Section Suburb Unit No.

Street Address

Describe each item of building work to which this application relates: If more than 6 items please attach further details

1.
2.
3.
4.

Name of Certifier:

PART B

OWNER/LESSEE DETAILS

FULL NAME OF ALL OWNERS – All owners **must** be listed or application will not be processed
Please Print - Owner 1 will be considered the contact person in relation to this application

Company Details

Owner 1 Owner 2

Owner 3 Owner 4

Postal Address

Suburb State Postcode

Phone Number Business Hours Mobile

EMAIL ADDRESS

PART C APPOINTMENT OF BUILDER

I/we the owner/s have appointed the person whose details appear below as the builder in relation to the building works described in this form

Licence Holders Name as it appears on licence card CHRIS POSELL GPOFFH

Licence Number ROH 899 Class 0 Expiry Date 27-7-18

List any conditions or endorsements on licence

EMAIL ADDRESS CHRIS@POSELLPOOLSANDSPACOTMATH.COM

PART D NOMINEE'S DETAILS

If the builder is a company or partnership provide details of the Nominee who will supervise the building

Nominee's Name

Licence Number Class Expiry Date

Signature of Nominee Date

PART E OWNER SIGNATURE/S- all owners must sign this form

Owner 1 Gary Kelly Signature Schedule 2 2(a)(ii) DATE:

Owner 2 Jaime Farrelly Signature Schedule 2 2(a)(ii) DATE:

Owner 3 Signature DATE:

Owner 4 Signature DATE:

PART F BUILDER APPLICATION TO CERTIFIER FOR COMMENCEMENT NOTICE

I hereby apply to the building certifier listed above for a commencement notice for the works detailed in Part A of this form in accordance with the Building Act 2004.

- A site sign was not required to be displayed prior to making this application.
- A site sign was required to be displayed prior to making this application and I declare that a compliant sign was erected and displayed for the required period.

Signature of Builder Schedule 2 2(a)(ii) Date 10-11-17

NOTE: There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

PART G INSURANCE OR FIDELITY CERTIFICATE

For residential building work please provide details of insurance where applicable

Insurance Provider Policy No. Date Issued



Building Act 2004, S151

Building Commencement Notice

Project ID: B20164294

PART A - PROJECT DETAILS

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
	1	16	GUNGAHLIN	MONCRIEFF	Australian Capital Territory

Certifier's Details

Full Name	Address	License Number	Expiry Date
CERTIFIED BUILDING SOLUTIONS PTY LTD	PO Box 76 MITCHELL ACT 2911	200426203	1/09/2017

Building approval issue date: 22/09/2016

Building Commencement Notice Required for:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Area (m2)	Cost of Works (\$)
1a(II)	New	TOWNHOUSE		NA	6986.00	Schedule 2(a)(*)
2	New Medium Density	FLAT/UNIT/APARTMENT		A	2278.00	
7a	New	CAR PARK		A	1719.00	
10a	New	GARAGE		NA	1410.00	
10a	Other	SEE DESCRIPTION	Waste enclosures and BBQ hut	NA	83.00	

PART B - BUILDERS DETAILS

License holder's name: LIFESTYLE HOMES (ACT) PTY LTD

License number: 201275

License Expiry Date: 31/01/2018

Business Address: PO Box 4126 WESTON CREEK ACT 2611

Phone Number:

If the builder is a company or partnership provide details of the nominee who will supervise the building work

Nominee's name: JASON HARWOOD

License number: 2008498

License Expiry Date: 18/06/2019

PART C - CERTIFIER'S DECLARATION

Issue date of commencement notice: 12/01/2017

Name of Certifier Issuing Notice: CERTIFIED BUILDING SOLUTIONS PTY LTD

Declaration:

This commencement notice is issued in accordance with the Building Act 2004, to the licensed builder stated above authorising the commencement of the stated building work. The issue of this commencement notice indicates that I am satisfied that the builders license authorises the work in the building approval. Where applicable for residential building work, I have been provided with a residential building insurance policy or fidelity certificate.

PLEASE NOTE:

A copy of the application for this commencement notice, this notice and where applicable the residential building insurance policy or fidelity certificate, must be given to the construction occupations registrar within one (1) week of the issue date.

This building commencement notice will end if-

- (a) for residential building work- the work is no longer insured; or
- (b) the building approval for the work ends

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.

3 Property Group
PO Box 3464
Manuka ACT 2603



ABN 27 110 342 482
Unit 1, 25-35
Buckland Street
MITCHELL ACT 2911
PO Box 76
MITCHELL ACT 2911
Telephone 02 6253 9911
Fax 02 6253 9922

BUILDING APPROVAL CERTIFICATE

Location: Block 1 Section 16 Moncrieff.

Description of Building Work: Units 1 to 44 and 67 to 86, garages, waste enclosures, BBQ hut and pool.

BCA Occupancy Class: 1a(ii), 10a and 10b.

BCA Construction Type: N/A

Rise in Storeys: N/A

Building Approval.

Your application for building approval satisfies the Building Act 2004. Building approval is issued under s.28 of the Building Act 2004.

All work must comply with the:

1. Building Act 2004; and
2. National Construction Code 2016 Volume 2.

This approval expires three years from the date of this approval or at the expiry of the development approval, whichever occurs first.

Commencement

Building work may begin on the issue of the Building Commencement Notice.

Sincerely,

John Mihaljevic
Principal Building Surveyor
Certified Building Solutions Pty Ltd
COLA Lic No. 200426203

22/9/16

Reference No. 26993.

3 Property Group
PO Box 3464
Manuka ACT 2603



ABN 27 110 342 482
Unit 1, 25-35
Buckland Street
MITCHELL ACT 2911
PO Box 76
MITCHELL ACT 2911
Telephone 02 6253 9911
Fax 02 6253 9922

BUILDING APPROVAL CERTIFICATE

Location: Block 1 Section 16 Moncrieff.

Description of Building Work: Units 45 to 66 and basement car park.

BCA Occupancy Class: 2 and 7a.

BCA Construction Type: A

Rise in Storeys: 3.

Building Approval.

Your application for building approval satisfies the Building Act 2004. Building approval is issued under s.28 of the Building Act 2004.

All work must comply with the:

1. Building Act 2004; and
2. National Construction Code 2016 Volume 1.

This approval expires three years from the date of this approval or at the expiry of the development approval, whichever occurs first.

Commencement

Building work may begin on the issue of the Building Commencement Notice.

Sincerely,

John Mihaljevic
Principal Building Surveyor
Certified Building Solutions Pty Ltd
COLA Lic No. 200426203

22/9/16

Reference No. 26993.



Building Act 2004, S151

Application for Building Commencement Notice

Project ID: B20164294

Licensed builders must use this form to apply to the building certifier for a commencement notice in accordance with the Building Act 2004. An application can only be made if the building approval has been issued for the building work. A commencement notice must be issued by the building certifier before any building work can commence.

PART A - PROJECT DETAILS

Building approval issue date: 22/09/2016

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
	1	16	GUNGAHLIN	MONCRIEFF	Australian Capital Territory

Full Name	Address	License Number	Expiry Date
CERTIFIED BUILDING SOLUTIONS PTY LTD	PO Box 76 MITCHELL ACT 2911	200426203	2/09/2018

Description of work to which application for Commencement Notice relates:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
10b	New	SWIMMING POOL		NA	0	0.00	Schedule 2.2(a)(ii)

Insurance provider:

Policy number:

Issue date: 22/09/2016

PART B - BUILDERS DETAILS

License holder's name: CRAIG JOSEPH GENTER

License number: 2011849

License Expiry Date: 27/07/2018

Business Address: PO Box 450 CALWELL ACT 2905

Phone Number: Schedule 2.2(a)(ii)

Signature of builder:

/ /

(Individual, director for company or partner for partnership)

If the builder is a company or partnership provide details of the nominee who will supervise the building work

Nominee's name: CRAIG JOSEPH GENTER

License number: 2011849

License Expiry Date: 27/07/2018

Nominee's signature
(if different to above):

_____ / /

PART C - OWNER/LESSEE DETAILS

Name	Address
3 Property Group Pty Ltd	PO Box 3464, Manuka ACT 2603, AUSTRALIA

ADVISORY NOTE: Owners please ensure you have a written contract with the builder named in this application. For residential building work requiring home owner insurance ensure that the same builders name is shown on the insurance policy.

PART D - OWNER/S OR AGENT SIGNATURE/S

Name	Signature	Date
3 Property Group Pty Ltd		

NOTE: You may only make this application as an authorised agent on behalf of the owners of the property if you have appropriate written authorisation from ALL the owners and attach it to this application. This also applies if you are a part owner or joint owner making an application on behalf of the owners.

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.

PART E - BUILDER APPLICATION TO CERTIFIER FOR COMMENCEMENT NOTICE

I hereby apply to the building certifier listed above for a commencement notice for the works detailed in Part A of this form in accordance with the Building Act 2004.

- A site sign was NOT required to be displayed prior to making this application.
- A site sign WAS required to be displayed prior to making this application and I declare that a compliant sign was erected and displayed for the required period.

Signature of
Builder/Nominee:

_____ / /

NOTE: There are penalties for deliberately giving false and misleading information. Access Canberra or the Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.



Building Act 2004, S151
Building Approval

Project ID: B20164294

PART A - PROJECT DETAILS

Unit	Block	Section	Division (Suburb)	District	Jurisdiction
	1	16	MONCRIEFF	GUNGAHLIN	Australian Capital Territory

PART B - WORKS REQUIRING BUILDING APPROVAL

Item of building work to which this Building Approval relates:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
1a(II)	New	TOWNHOUSE		NA	0	6986.00	Schedule 2.2(a)(ii)
2	New Medium Density	FLAT/UNIT/APARTMENT		A	2	2278.00	
7a	New	CAR PARK		A	1	1719.00	
10a	New	GARAGE		NA	1	1410.00	
10a	Other	SEE DESCRIPTION	Waste enclosures and BBQ hut	NA	1	83.00	
10b	New	SWIMMING POOL		NA	0	0.00	

Work relates to the following Development Application(s):

Development Application ID	Description
201528807	Merit -
201528807	Merit -

PART C - CERTIFIERS DECLARATION

I declare that in issuing this building approval under section 28 of the Building Act 2004:

- I am satisfied on reasonable grounds that the plans meet each applicable approval requirement under section 29 and is not prevented from being issued under section 30 or section 30A
- I have supplied all documents as required under 3.3 Building Act 2004
- I have prepared a notice (building approval certificate) certifying what approval requirements apply to the application and why the building approval is not prevented from being issued; and
- I have given the building approval certificate to the applicant.

In performing services as a certifier in relation to the work detailed in this application I am not in breach of my entitlement to act as a certifier in accordance with the Building Act 2004.

Full Name	Address	License Number	Expiry Date
CERTIFIED BUILDING SOLUTIONS PTY LTD	PO Box 76 MITCHELL ACT 2911	200426203	1/09/2017

Date Issued : 22/09/2016

NOTES

Utilities

This application must also be accompanied by a Statement of Compliance from each relevant utility provider (for water, sewerage, electricity and stormwater) which confirms that the location and nature of earthworks, utility connections, proposed buildings, pavements and landscape features comply with utility standards, access provisions and asset clearance zones.

Note 1: If there is no stormwater easement or Territory owned stormwater pipes located within the property boundary, a "Statement of Compliance" for stormwater from TAMS (Asset Acceptance) is not required to be obtained.

Note 2: Where there is conflict between planning and utility requirements, the utility requirements take precedence over other codified or merit provisions.

Utilities – Demolition Only

This application must be accompanied by a Statement of Endorsement for utilities (including water, sewerage, electricity and stormwater) stating that:

- all network infrastructure on or immediately adjacent to the site has been identified on the plan
- all potentially hazardous substances and conditions (associated with or resulting from the demolition process) that may constitute a risk to utility services have been identified
- all required network disconnections have been identified and the disconnection works comply with utility requirements
- all works associated with the demolition comply with and are in accordance with utility asset access and protection requirements

Note: The documentation provided to the utility provider for endorsement must be consistent with the documentation that forms part of a development approval or the documentation verified as exempt from requiring development approval by a licensed certifier.

Asbestos Advice

If documents accompanying building approval do not include an asbestos assessment report as per the Building Act 2004, the building approval must have an Asbestos Advice attached as per the Act

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.



**APPOINTMENT OF BUILDER &
APPLICATION FOR
COMMENCEMENT NOTICE**
Building Act 2004, S151

In completing this form the owner is authorising the builder nominated below to apply to the appointed certifier to issue a Commencement Notice for the works detailed in this application form.

PART A PROJECT DETAILS			
Block	<input type="text" value="1"/>	Section	<input type="text" value="16"/>
Suburb	<input type="text" value="Moncrieff"/>		Unit No. <input type="text"/>
Street Address	<input type="text"/>		
Certifier Name	<input type="text"/>		

Description of Building Works relevant to this application - *if more than 6 items please attach further details*

1	Class 1a(ii) Units 1 to 44 and 67 to 86.
2	Class 2 Units 45 to 66
3.	Basement carpark
4	Garages, waste enclosures & BBQ hut.

PART B OWNER DETAILS - Please Print	
All owners must be listed	Owner 1 will be considered the contact person in relation to this application
Company Details	<input type="text" value="3 property group Pty Ltd"/>
Owner 1	<input type="text" value="Gary Kelly - Director"/>
Owner 2	<input type="text" value="Jaime Farrelly - Director"/>
Owner 3	<input type="text"/>
Owner 4	<input type="text"/>
Postal Address	<input type="text" value="PO Box 3464"/>
Suburb	<input type="text" value="Manuka"/>
State	<input type="text" value="ACT"/>
Postcode	<input type="text" value="2605"/>
Phone Number Business Hours	<input type="text"/>
Mobile	<input type="text" value="Schedule 2.2(a)(ii)"/>
EMAIL ADDRESS	<input type="text" value="Gary@3propertygroup.com.au"/>

Approved form AF2016-79 approved by David Middlemiss, Construction Occupations Deputy Registrar on 02 August 2016 under section 151 of the Building Act 2004. This form repeals AF2014-72

Authorised by the ACT Parliamentary Counsel - also accessible at www.legislation.act.gov.au

PART C APPOINTMENT OF BUILDER

I/we the owner/s have appointed the person whose details appear below as the builder in relation to the building works described in this form

Licence Holders Name as it appears on licence card Lifestyle Homes (ACT) Pty Ltd

Licence Number 2012 75 Class B Expiry Date 31/1/18

List any conditions or endorsements on licence Restricted to BCA classes 1, 2, 4, 7 and 10

EMAIL ADDRESS [Redacted]@lifestyle-homes.com.au

PART D NOMINEE'S DETAILS
If the builder is a company or partnership provide details of the Nominee who will supervise the building

Nominee's Name Jason Harwood

Licence Number 2008 498 Class B Expiry Date 18/6/19

Signature of Nominee [Redacted] Date [Redacted]

PART E OWNER SIGNATURE/S— all owners must sign this form

Owner 1 Signature [Redacted] DATE: [Redacted]
Owner 2 Signature [Redacted] DATE: [Redacted]
Owner 3 Signature [Redacted] DATE: [Redacted]
Owner 4 Signature [Redacted] DATE: [Redacted]

PART F BUILDER APPLICATION TO CERTIFIER FOR COMMENCEMENT NOTICE

I hereby apply to the building certifier listed above for a commencement notice for the works detailed in Part A of this form in accordance with the Building Act 2004.

- A site sign was not required to be displayed prior to making this application.
- A site sign was required to be displayed prior to making this application and I declare that a compliant sign was erected and displayed for the required period.

Signature of Builder [Redacted] Date [Redacted]

NOTE: There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

PART G INSURANCE OR FIDELITY CERTIFICATE

For residential building work please provide details of insurance where applicable

Insurance Provider QBE Policy No. 284-199 Date Issued 20/12/16



Building Act 2004, S151

Application for Building Commencement Notice

Project ID: B20164294

Licensed builders must use this form to apply to the building certifier for a commencement notice in accordance with the Building Act 2004. An application can only be made if the building approval has been issued for the building work. A commencement notice must be issued by the building certifier before any building work can commence.

PART A - PROJECT DETAILS

Building approval issue date: 22/09/2016

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
	1	16	GUNGAHLIN	MONCRIEFF	Australian Capital Territory

Full Name	Address	License Number	Expiry Date
CERTIFIED BUILDING SOLUTIONS PTY LTD	PO Box 76 MITCHELL ACT 2911	200426203	1/09/2017

Description of work to which application for Commencement Notice relates:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
1a(II)	New	TOWNHOUSE		NA	0	6986.00	Schedule 2.2(a)(ii)
2	New Medium Density	FLAT/UNIT/APARTMENT		A	2	2278.00	
7a	New	CAR PARK		A	1	1719.00	
10a	New	GARAGE		NA	1	1410.00	
10a	Other	SEE DESCRIPTION	Waste enclosures and BBQ hut	NA	1	83.00	

Insurance provider: QBE

Policy number: 199 to 284

Issue date: 22/09/2016

PART B - BUILDERS DETAILS

License holder's name: LIFESTYLE HOMES (ACT) PTY LTD

License number: 201275

License Expiry Date: 31/01/2018

Business Address: PO Box 4126 WESTON CREEK ACT 2611

Phone Number: Schedule 2.2(a)(i)

Signature of builder:

/ /

(Individual, director for company or partner for partnership)

If the builder is a company or partnership provide details of the nominee who will supervise the building work

Nominee's name: JASON HARWOOD

License number: 2008498

License Expiry Date: 18/06/2019

**Nominee's signature
(if different to above):**

/ /

PART C - OWNER/LESSEE DETAILS

Name	Address
3 Property Group Pty Ltd	PO Box 3464, Manuka ACT 2603, AUSTRALIA

ADVISORY NOTE: Owners please ensure you have a written contract with the builder named in this application. For residential building work requiring home owner insurance ensure that the same builders name is shown on the insurance policy.

PART D - OWNER/S OR AGENT SIGNATURE/S

Name	Signature	Date
3 Property Group Pty Ltd		

NOTE: You may only make this application as an authorised agent on behalf of the owners of the property if you have appropriate written authorisation from ALL the owners and attach it to this application. This also applies if you are a part owner or joint owner making an application on behalf of the owners.

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.

PART E - BUILDER APPLICATION TO CERTIFIER FOR COMMENCEMENT NOTICE

I hereby apply to the building certifier listed above for a commencement notice for the works detailed in Part A of this form in accordance with the Building Act 2004.

- A site sign was NOT required to be displayed prior to making this application.
- A site sign WAS required to be displayed prior to making this application and I declare that a compliant sign was erected and displayed for the required period.

**Signature of
Builder/Nominee:**

/ /

NOTE: There are penalties for deliberately giving false and misleading information. Access Canberra or the Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.



Unit 1, 25-35
Buckland Street
MITCHELL ACT 2911
PO Box 76
MITCHELL ACT 2911
Telephone 02 6253 9911
Fax 02 6253 9922

**Certifiers Declaration – Section 47 – No certificate under Section 47 required
Regarding Application for COU (Attached project)**

The building or part of the building as erected or altered is structurally sufficient, sound and stable for the purpose for which it is intended to be occupied or used and no certificate under Section 47 is required.

Principal Building Surveyor
Certified Building Solutions Pty Ltd
COLA Lic No. 200426203



LOCATION PLAN

NTS

AREA ANALYSIS:

Table with 2 columns: Category and Value. Includes Site Area (12603m²), Unit counts (7, 36, 43), Block areas (1995.91m², 3057.98m², 2278.22m², 3334.78m²), Total Unit GFA (10666.89m²), Undercroft Storage (63.14m³), Waste & Transfer Station (45.2m²), Total Unit Block GFA (10809.69m²), Undercroft Parking (1610.87m²), Plot Ratio (85.77%).

PARKING ANALYSIS:

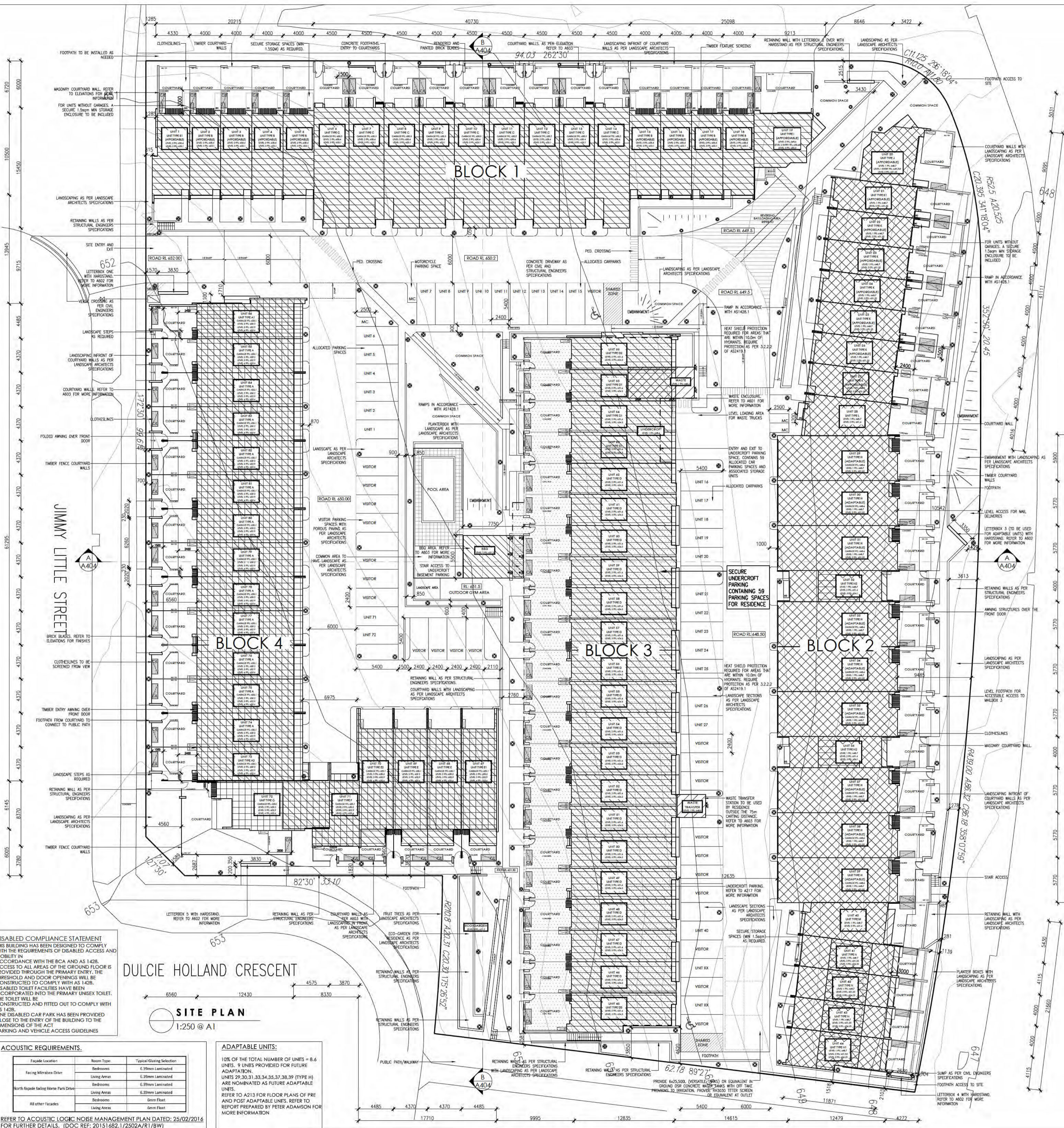
Table with 4 columns: Requirement, Undercroft, Street, Total. Includes one-bedroom units (7), two-bedroom units (36), three-bedroom units (43), total units (86), total allocated parking (147), total visitor parking (22), total parking (169).

SAFETY IN DESIGN STATEMENT: WE DO NOT BELIEVE THAT THERE ARE ANY DESIGN ELEMENTS ASSOCIATED WITH THIS PROJECT THAT WOULD POSE ANY UNUSUAL RISKS TO HEALTH AND SAFETY THAT WOULD BE CONSIDERED OUTSIDE OF THOSE NORMALLY EXPECTED FOR THIS BUILDING TYPE.

LUMINAIRE SCHEDULE - CARPARK LIGHTING (TO COMPLY WITH AS1158.3.1:2005). Table with 3 columns: Symbol, Description, Luminaire Output/Watts/Luminaire. Includes Bollard Light, 250W Down Light, 250W Down Light.

NOTE: LIGHTING TO COMPLY WITH A) AS1158 LIGHTING FOR ROADS AND PUBLIC SPACES... PART 3.1 PEDESTRIAN AREA (CATEGORY P) LIGHTING... PERFORMANCE AND DESIGN REQUIREMENTS.

GENERAL NOTES: THE DRAWING SHALL BE READ IN CONJUNCTION WITH THE ENGINEER'S DETAILS. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE B.C.A. ALL MATERIALS AND FINISHES SHALL BE APPROVED BY THE OWNERS. VARIATIONS TO PLAN AND SPECIFICATION SHALL NOT BE MADE WITHOUT THE CONSENT OF THE OWNERS.



ACOUSTIC REQUIREMENTS table with 3 columns: Facade Location, Room Type, Typical Glazing Selection. Includes Facing Mirrabai Drive, North facing Dulcie Holland Crescent Drive, and All other Facades.

ADAPTABLE UNITS: 10% OF THE TOTAL NUMBER OF UNITS = 8.4 UNITS. 9 UNITS ARE PROVIDED FOR FUTURE ADAPTATION. UNITS 29, 30, 31, 33, 34, 35, 37, 38, 39 (TYPE H) ARE DESIGNATED AS FUTURE ADAPTABLE UNITS.



GENERAL NOTES: THIS DRAWING IS THE PROPERTY OF dna architects and is not to be used for any other project without the written consent of dna architects. A professional seal is required for all construction documents. A registered engineer or architect is required to certify all construction documents.



AMENDMENTS table with 3 columns: REV, DESCRIPTION, DATE. Includes Rev 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.

BA SUBMISSION (FOR CONSTRUCTION)

Project information table with 2 columns: Field and Value. Includes Block (1), Section (16), Address (T.B.A.), Suburb (MONCRIEFF), State (ACT), Scale (1:250 @ A1), Drawing (SITE PLAN), Project (MULTI-UNIT DEVELOPMENT MONCRIEFF 2), Client (3 PROPERTY GROUP), Drawn (RN/MS/ED), Revision (), Revision Date (), Project No (1579), Print Date (08.09.2016), DWG No (A101).

GENERAL NOTES
A review of the plans with the Structural Engineers completed & all relevant details completed.
A confirmation of the plans for the proposed construction & all relevant details completed.
A confirmation of the plans for the proposed construction & all relevant details completed.
A confirmation of the plans for the proposed construction & all relevant details completed.
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A confirmation of the plans for the proposed construction & all relevant details completed.



AMENDMENTS:

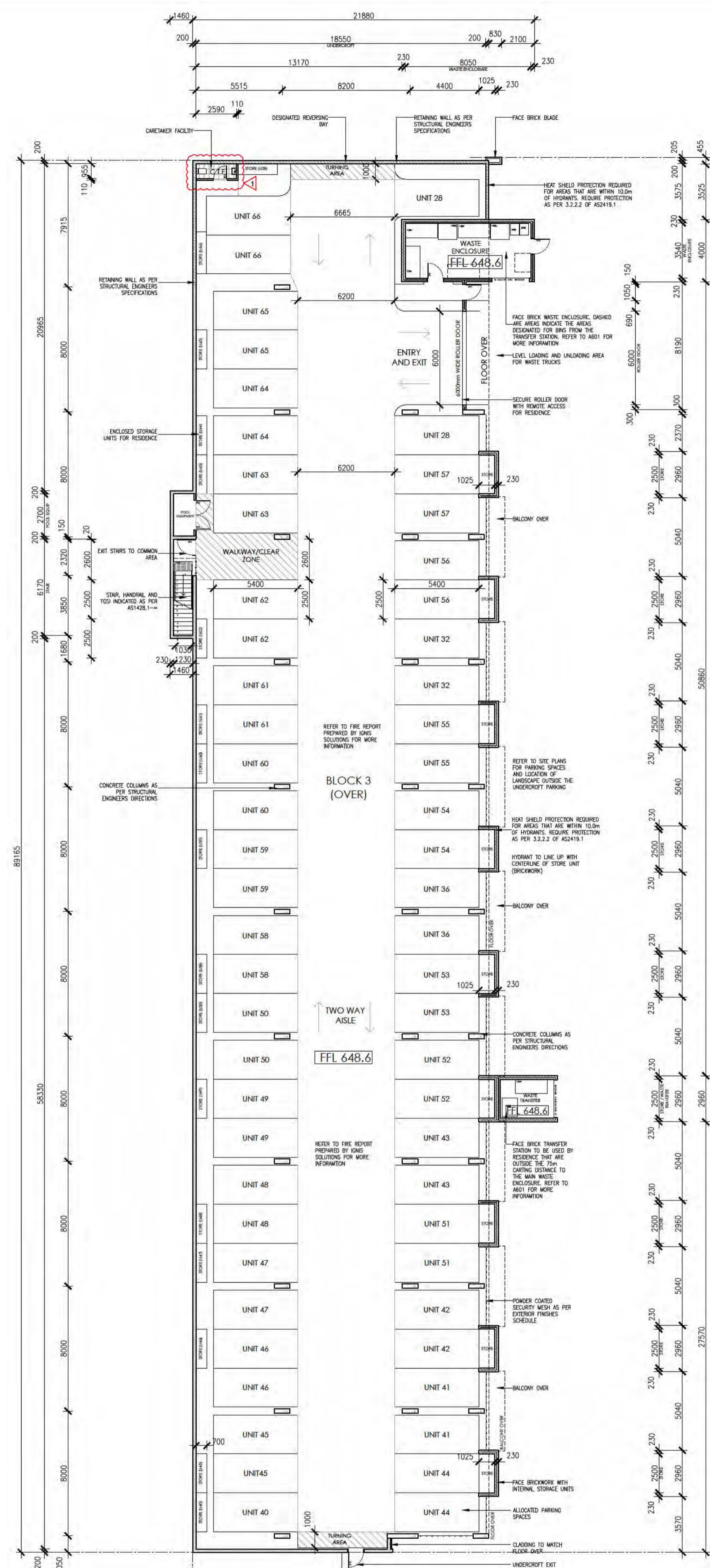
REV	DESCRIPTION	DATE
AMENDMENT A		15.09.2016

1: CARETAKER FACILITY ADDED TO UNDERCROFT

BA SUBMISSION (FOR CONSTRUCTION)

BLOCK	1
SECTION	16
ADDRESS	T.B.A.
SUBURB	MONCRIEFF
STATE	ACT
SCALE	1:200 @ A1
DRAWING	UNDERCROFT PARKING (BELOW BLOCK 3) MULTI-UNIT DEVELOPMENT MONCRIEFF 2
PROJECT	
CLIENT	3 PROPERTY GROUP

J:\2015\1579 - Family - Moncrieff 2 - ACT\CAD\1579 - Moncrieff 2 - Family - Plan - BA.dwg
DRAWN RN/MS/ED
REVISION A
REVISION DATE 22.09.2016
PROJECT No 1579
PRINT DATE 22.09.2016
DWG No A216



FIRST FLOOR PLAN 1:200 @ A1 - UNDERCROFT PARKING

AREA ANALYSIS UNDERCROFT PARKING (BELOW BLOCK 3):	
NUMBER OF CARPARKS	59
FLOOR AREA:	1610.87m ²
STORAGE (41 UNITS):	63.14m ²
WASTE ENCLOSURE:	34.04m ²
WASTE TRANSFER STATION:	11.16m ²
TOTAL AREA	1719.21m²

FOR ALL VARIATIONS PLEASE CHECK WITH VARIATION SCHEDULE. ALL VARIATIONS ARE SHOWN STARTING FROM PAGE A217-

Facade Location	Room Type	Typical Glazing Selection
Facing Mirrabilla Drive	Bedrooms	6.39mm Laminated
	Living Areas	6.39mm Laminated
North facade facing Horse Park Drive	Bedrooms	6.39mm Laminated
	Living Areas	6.39mm Laminated
All other Facades	Bedrooms	Glass Float
	Living Areas	Glass Float

REFER TO ACOUSTIC LOGIC NOISE MANAGEMENT PLAN DATED: 25/02/2016 FOR FURTHER DETAILS. (DOC REF: 20151682.1/2502A/R1/B/W)

- LEGEND:
- C/L: CLOTHESLINE
- BL: BOLLARD LIGHTS
- TV: TELEVISION
- F: FRIDGE
- PAN: PANTRY
- LN: LINEN STORE
- LT: LAUNDRY TUB
- WM: WASHING MACHINE
- WC: WATER CLOSET
- PDR: POWDER ROOM
- ENS: ENSUITE
- CSD: CAVITY SLIDING DOOR
- S/L: SKYLIGHT
- WC: MOTORCYCLE PARKING BAY
- CH: CHUTE
- K#: EXTERNAL CLADDING CHANGE TO UNIT TYPE K (SMOKE DETECTOR HARDWIRED) AND INTERCONNECTED WITHIN UNITS

NOTE 1 ALL BATHROOMS/ LAUNDRY & SANITARY COMPARTMENTS THAT DO NOT HAVE MECHANICAL VENTILATION MUST BE VENTILATED TO (I) THE OUTSIDE BY WAY OF DUCTS OR (II) INTO A ROOF SPACE THAT IS VENTILATED

NOTE 2 ALL UNITS TO ACHIEVE A MINIMUM 6.5 STAR ENERGY RATING

NOTE 3 MAINTAIN MINIMUM CLEARANCE OF 2000mm IN HEIGHT ABOVE ALL STAIRS, MEASURED FROM NOSING OF EACH TREAD TO THE CEILING ABOVE.

FOR ALL VARIATIONS PLEASE CHECK WITH VARIATION SCHEDULE. ALL VARIATIONS ARE SHOWN STARTING FROM PAGE A217-




SITE SECTION A
 1:200 @ A1




SITE SECTION B
 1:200 @ A1

AMENDMENTS:
 REV DESCRIPTION DATE

**BA SUBMISSION
 FOR
 CONSTRUCTION**

BLOCK 1
 SECTION 16
 ADDRESS T.B.A.
 SUBURB MONCRIEFF
 STATE ACT
 SCALE 1:200 @ A1
 DRAWING SITE SECTIONS
 PROJECT MULTI-UNIT DEVELOPMENT
 MONCRIEFF 2
 CLIENT 3 PROPERTY GROUP

ACOUSTIC REQUIREMENTS

Façade Location	Room Type	Typical Glazing Selection
Facing Mirabella Drive	Bedrooms	6.38mm Laminated
	Living Areas	6.38mm Laminated
North façade facing Horse Park Drive	Bedrooms	6.38mm Laminated
	Living Areas	6.38mm Laminated
All other Façades	Bedrooms	5mm Float
	Living Areas	5mm Float

REFER TO ACOUSTIC LOGIC NOISE MANAGEMENT PLAN DATED: 25/02/2016
 FOR FURTHER DETAILS. (DOC REF: 20151682.1/2502A/R1/BW)

1/2016/1579 - Family - Moncrieff 2 - ACT/CA01/1579 - Moncrieff 2 - Elevation - BA 04

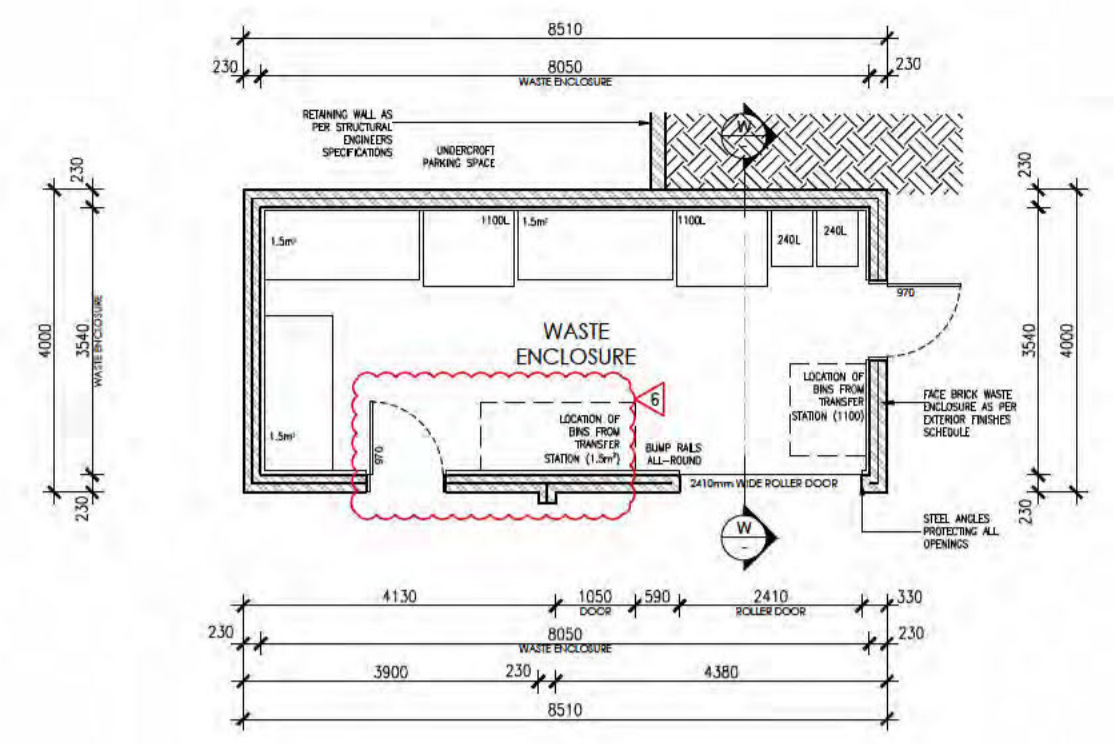
DRAWN RN/MS/ED
 REVISION
 REVISION DATE
 PROJECT No 1579
 PRINT DATE 08.09.2016
 DWG No A404

GENERAL NOTES
 1. All work to be in accordance with the Australian Standards, Codes of Practice and any other relevant standards.
 2. A contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities.
 3. The contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities.
 4. All work shall be in accordance with the Australian Standards, Codes of Practice and any other relevant standards.
 5. The contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities.

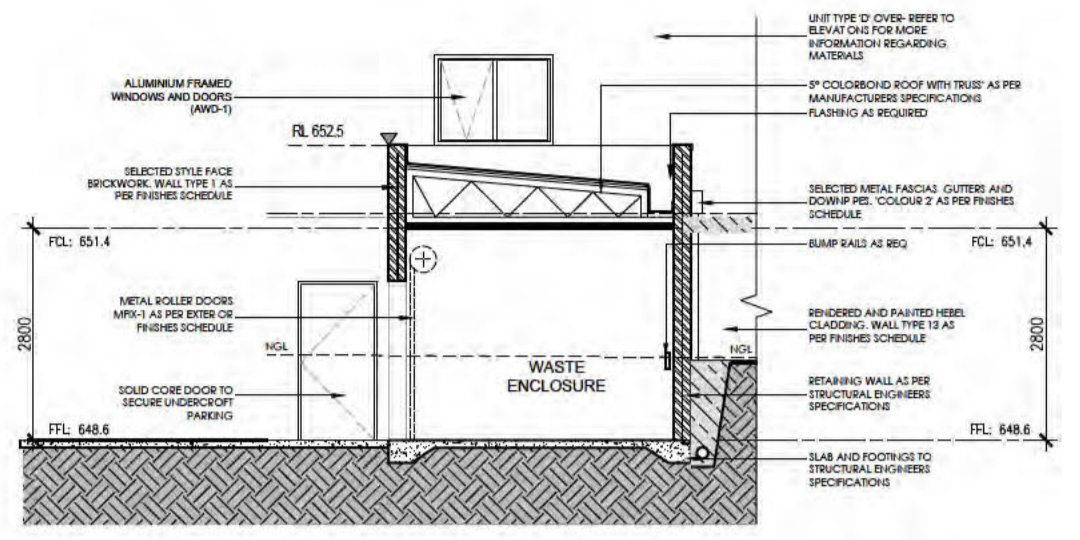


AMENDMENTS:

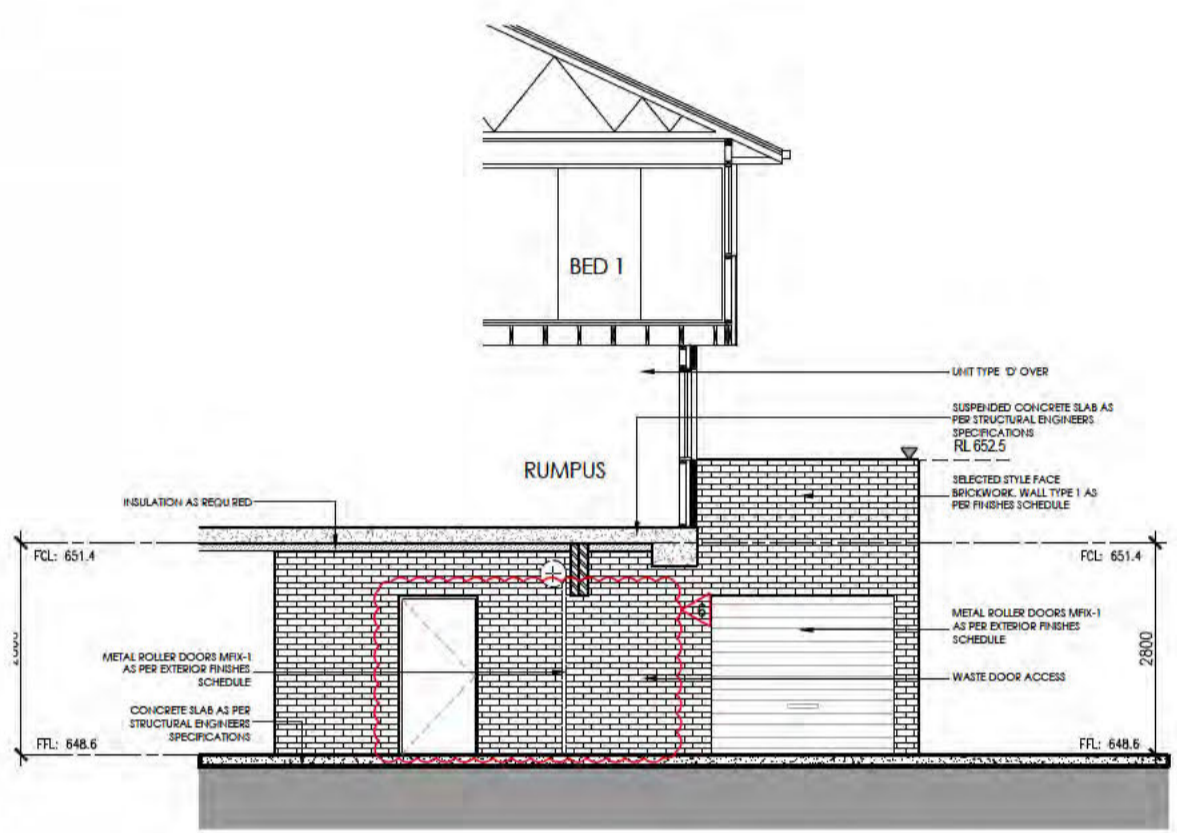
REV	DESCRIPTION	DATE
1	WASTE ENCLOSURE REVISED	25.01.2018



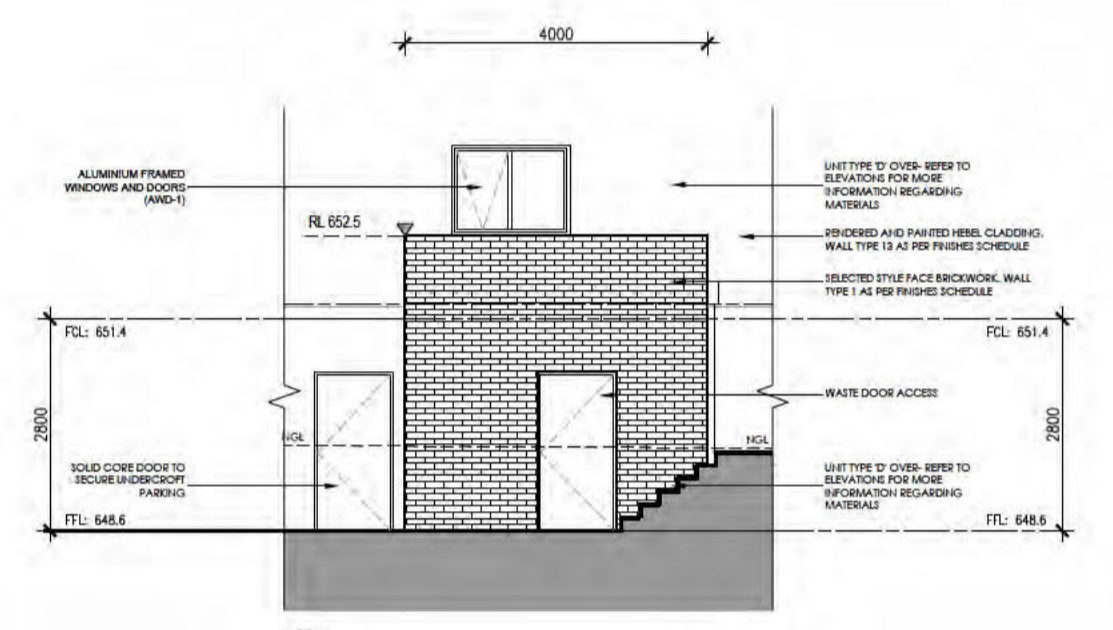
WASTE ENCLOSURE PLAN
1:100 @ A1



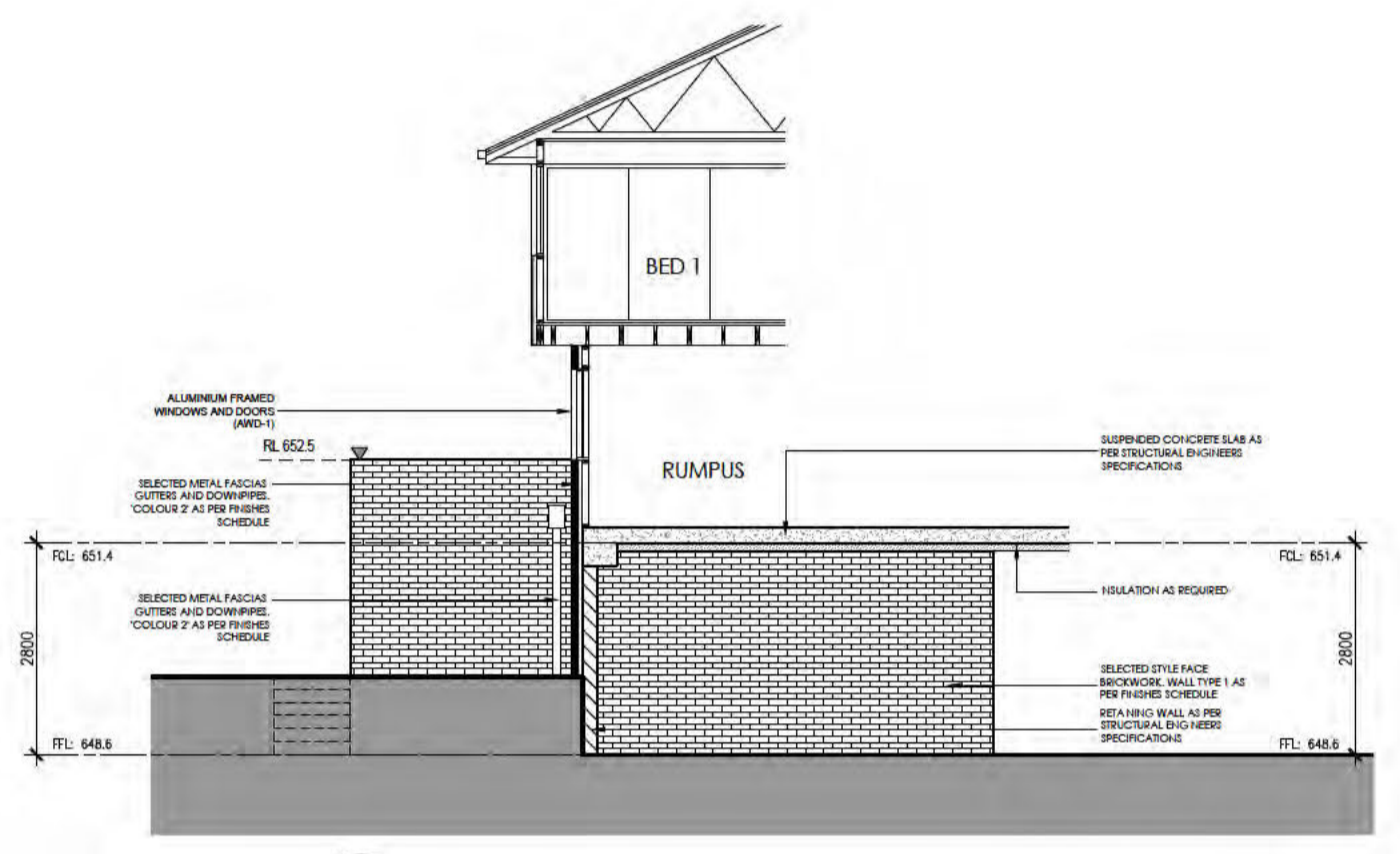
SECTION W-W
1:100 @ A1



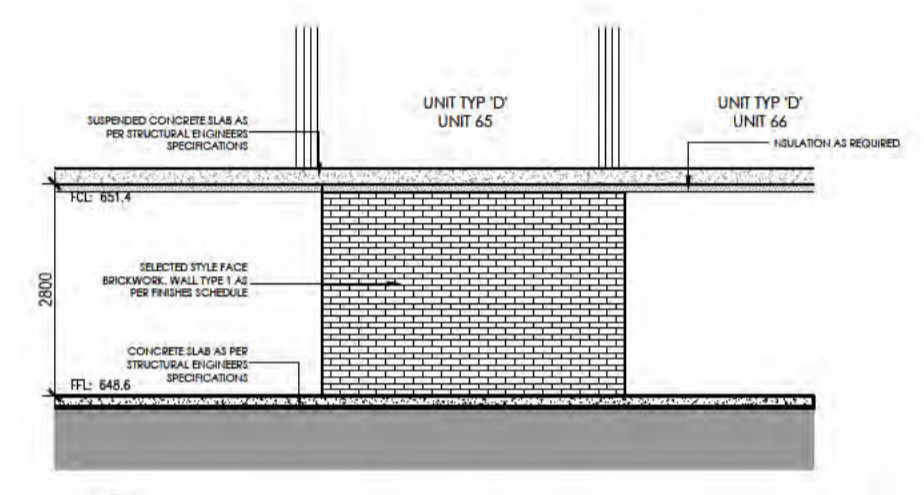
SOUTH ELEVATION
1:100 @ A1



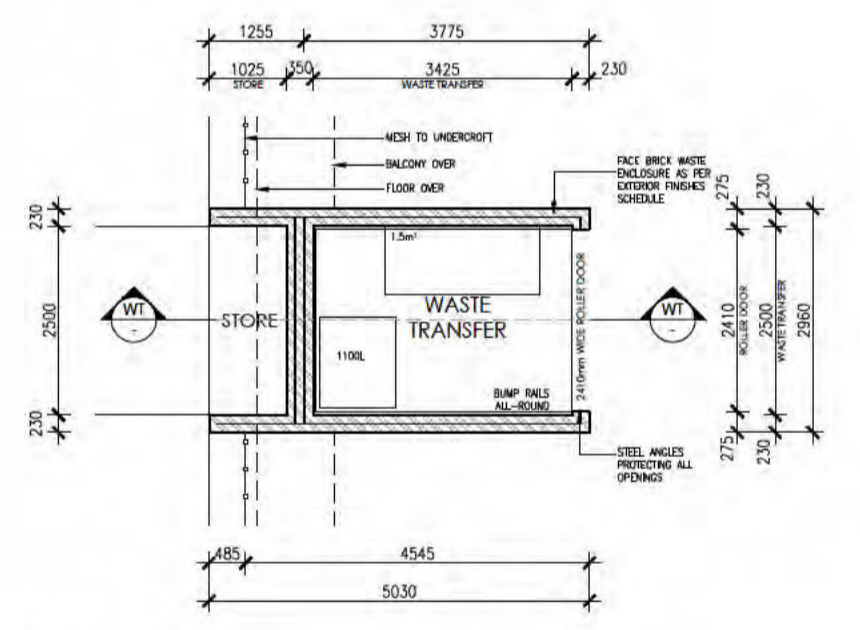
EAST ELEVATION
1:100 @ A1



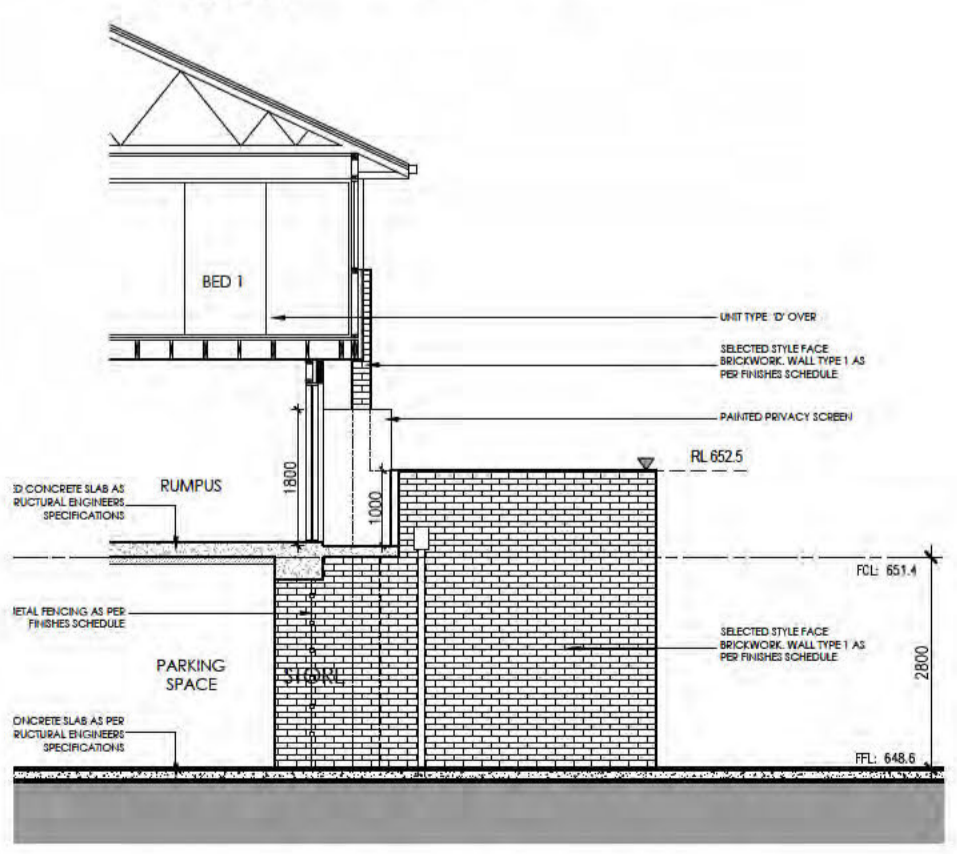
NORTH ELEVATION
1:100 @ A1



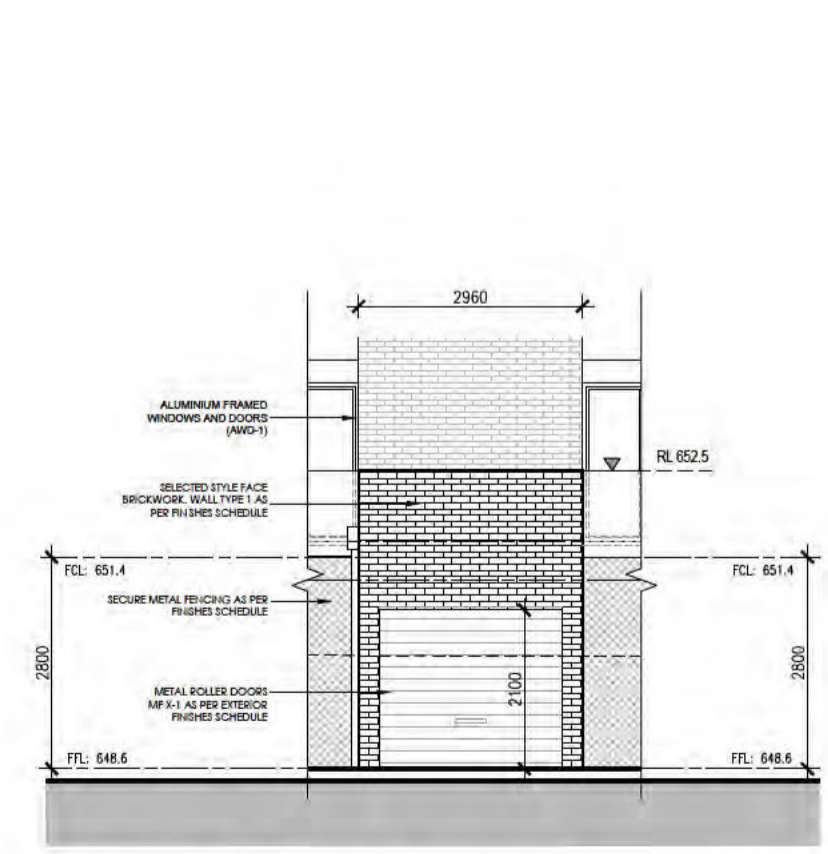
WEST ELEVATION
1:100 @ A1



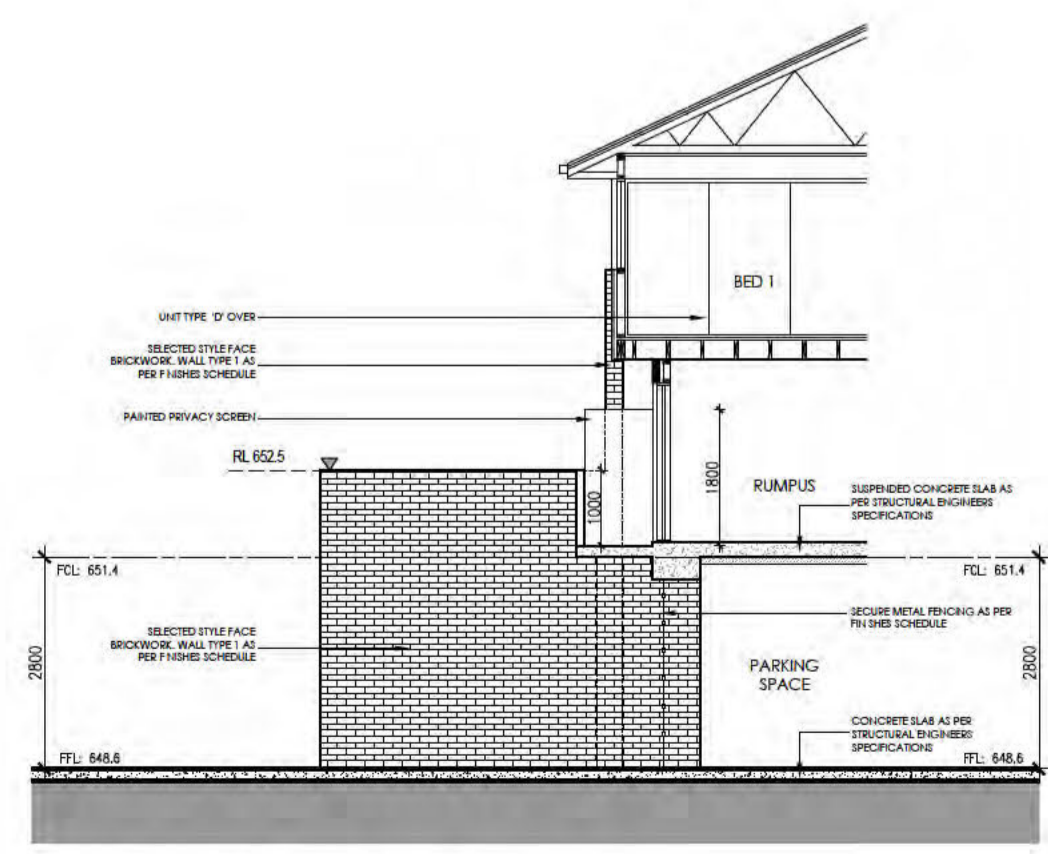
WASTE TRANSFER ENCLOSURE PLAN
1:100 @ A1



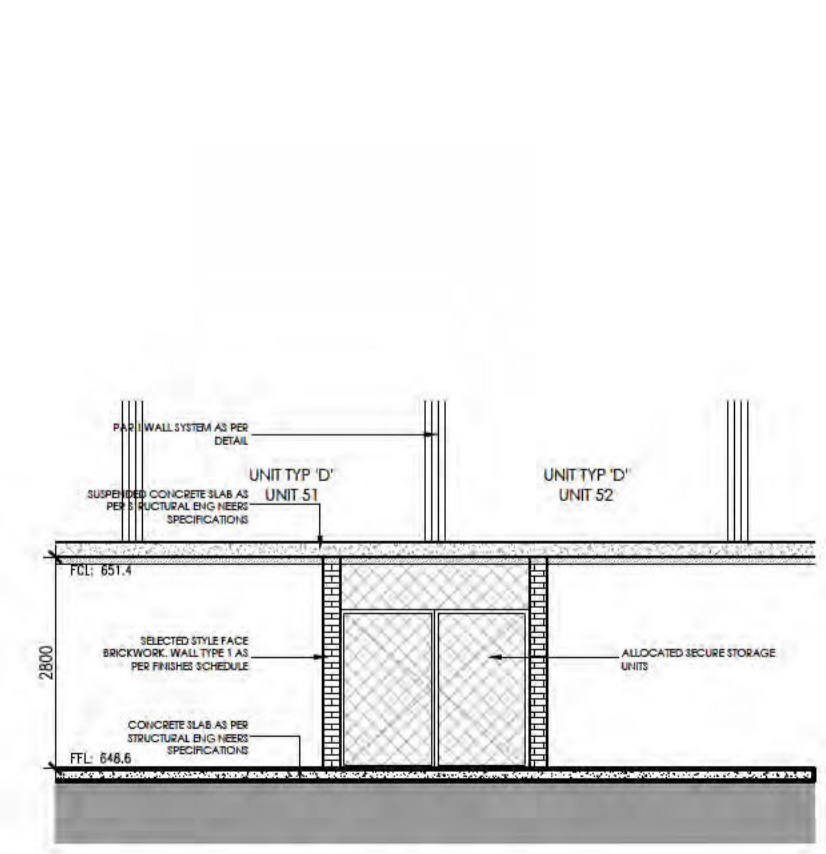
SOUTH ELEVATION
1:100 @ A1



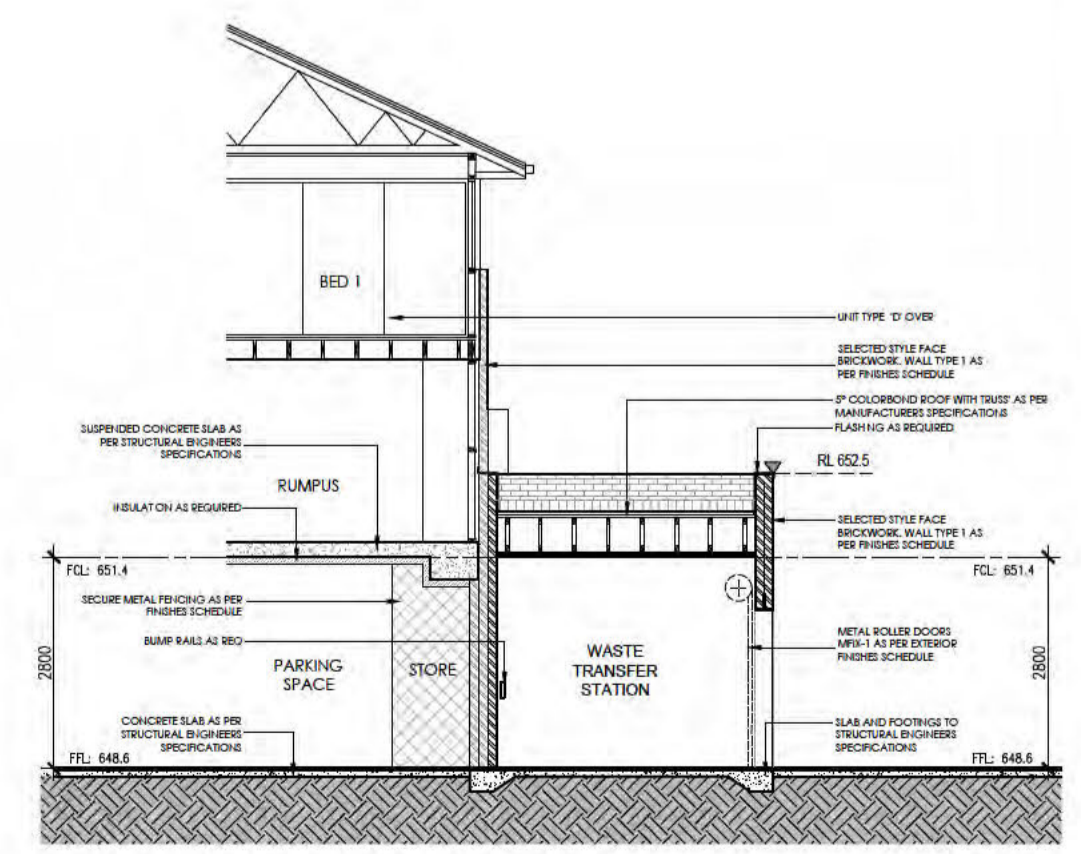
EAST ELEVATION
1:100 @ A1



NORTH ELEVATION
1:100 @ A1



WEST ELEVATION
1:100 @ A1

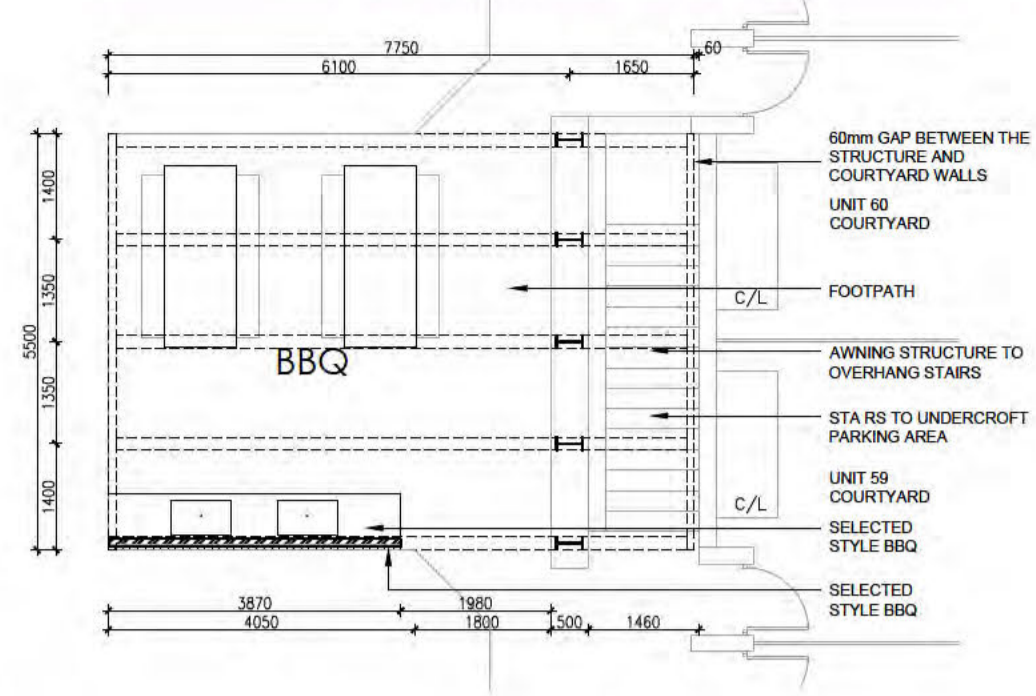


SECTION WT-WT
1:100 @ A1

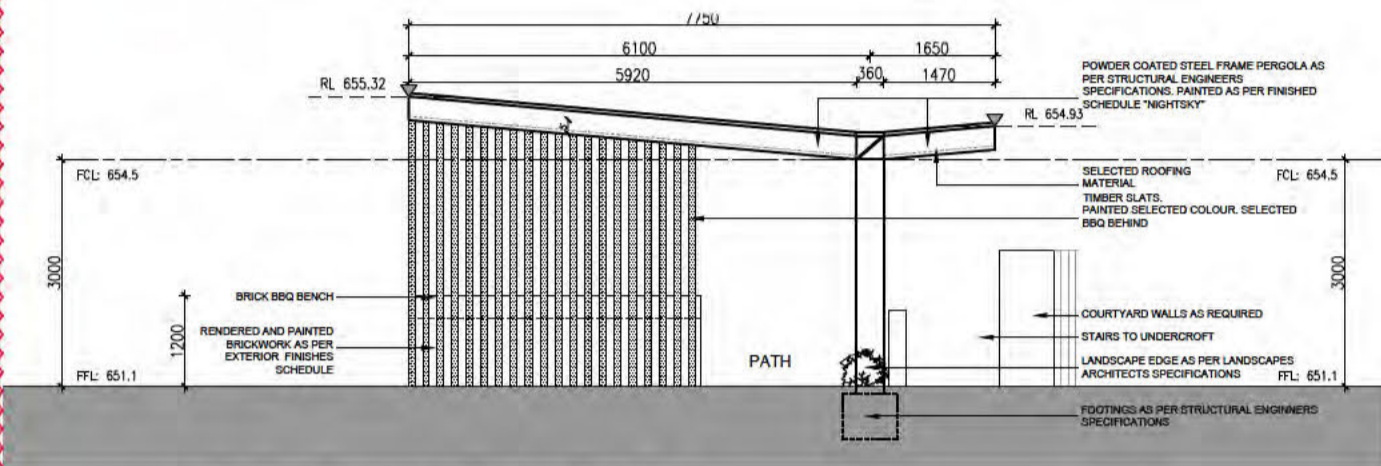
BA
SUBMISSION
(FOR CONSTRUCTION)

BLOCK	1
SECTION	16
ADDRESS	T.B.A.
SUBURB	MONCRIEFF
STATE	ACT
SCALE	
DRAWING	ANCILLARY
PROJECT	MULTI-UNIT DEVELOPMENT MONCRIEFF 2
CLIENT	3 PROPERTY GROUP

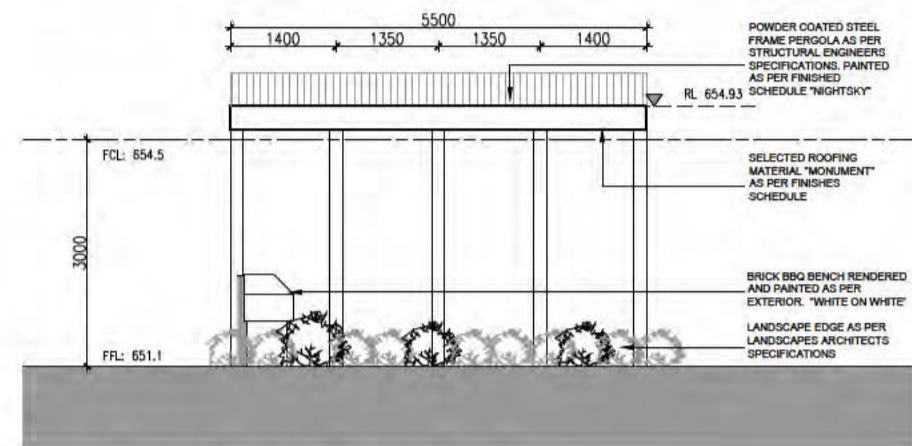
DRAWN	RN/MS/ED
REVISION	A
REVISION DATE	25.01.2018
PROJECT NO	1579
PRINT DATE	25.01.2018
DWG NO	A601



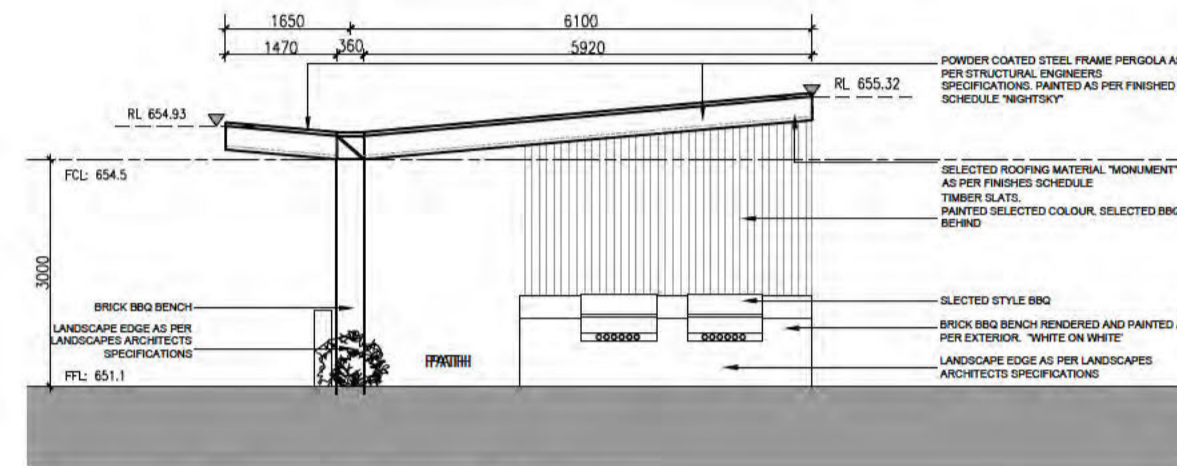
BBQ ENCLOSURE
1:100 @ A1



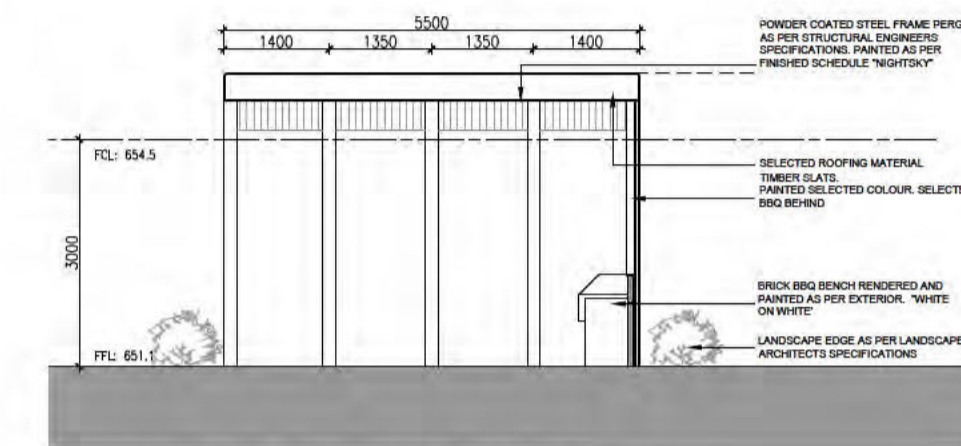
SOUTH ELEVATION
1:100 @ A1



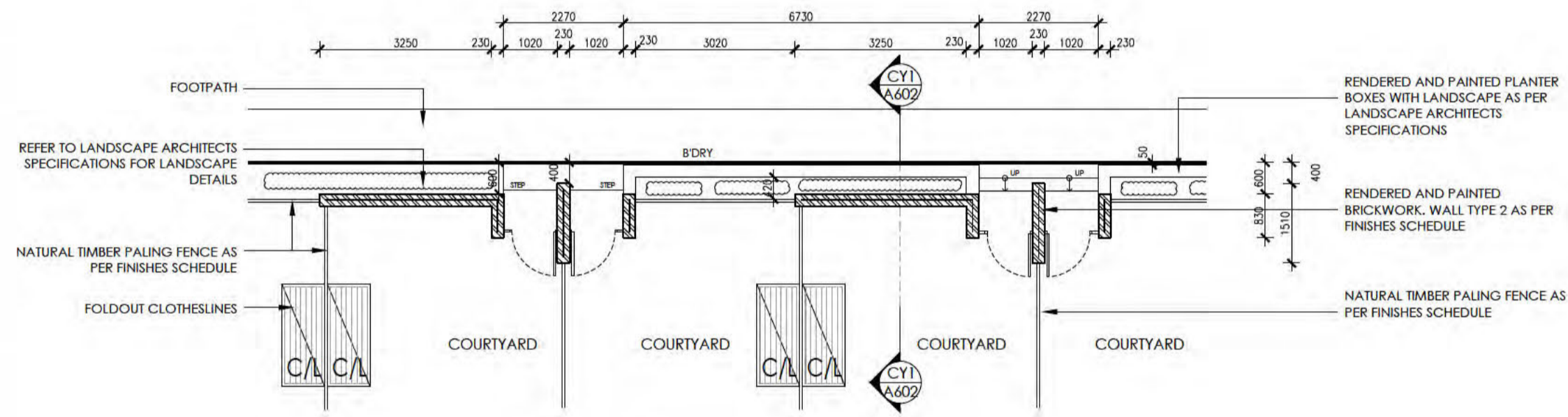
EAST ELEVATION
1:100 @ A1



NORTH ELEVATION
1:100 @ A1



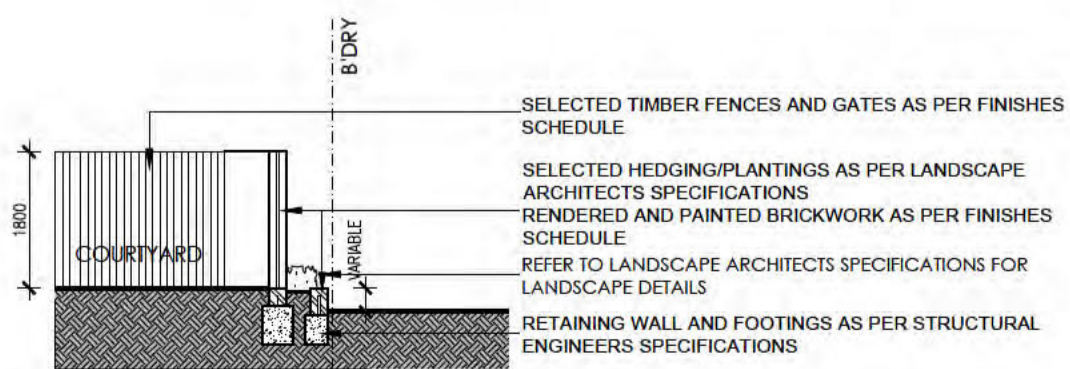
WEST ELEVATION
1:100 @ A1



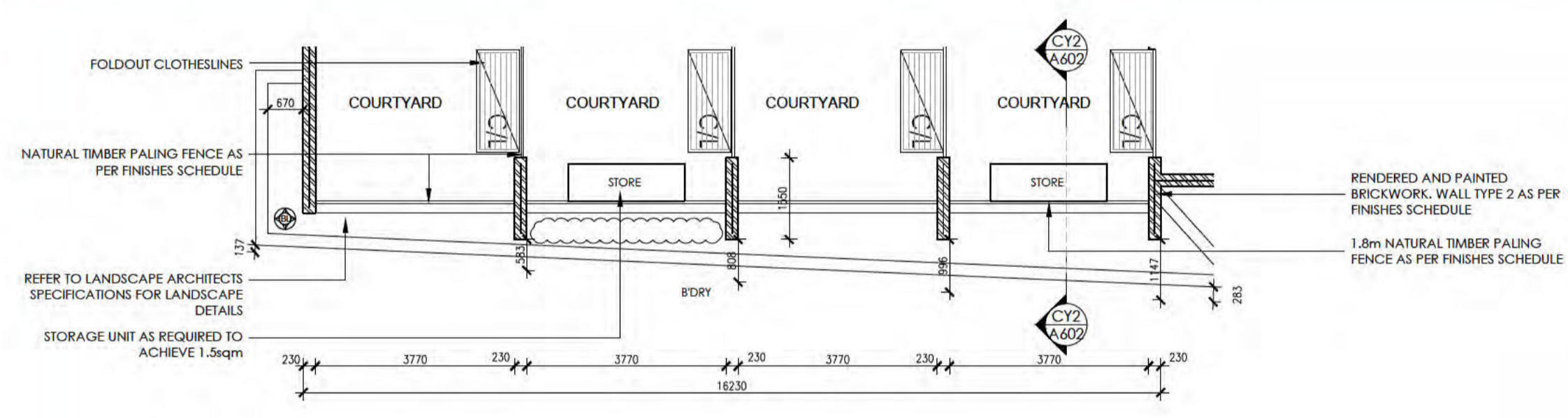
COURTYARD WALL DETAILS
1:100 @ A1



COURTYARD WALL ELEVATION
1:100 @ A1



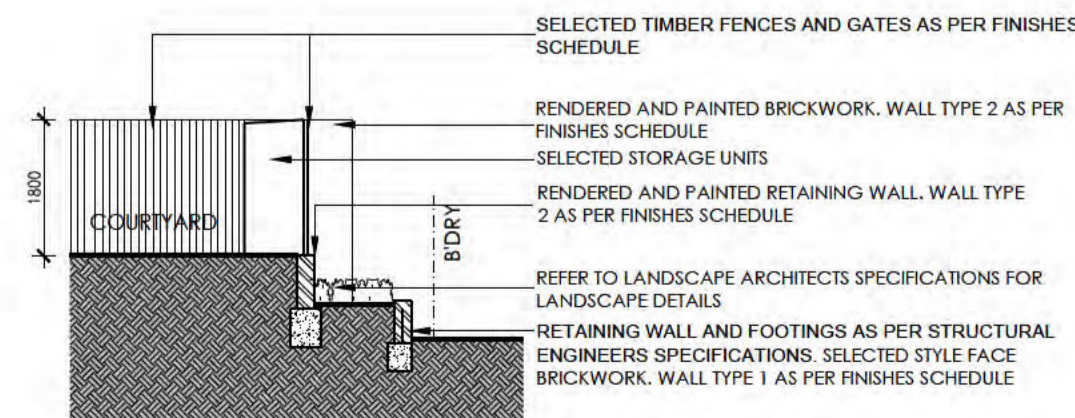
COURTYARD WALL SECTION (CY-CY)
1:100 @ A1



COURTYARD WALL DETAILS
1:100 @ A1



COURTYARD WALL ELEVATION
1:100 @ A1



COURTYARD WALL SECTION (CY-CY)
1:100 @ A1

AMENDMENTS:

REV	DESCRIPTION	DATE
AMENDMENT A		25.01.2018
7.	GENERAL SITE CHANGES	
13.	COURTYARD WALL RAISED TO SCREEN STORAGE UNITS/DETAILS ADDED TO A603	
15.	BBQ ENCLOSURE REVISED	

BA SUBMISSION
(FOR CONSTRUCTION)

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ADDRESS	T.B.A.
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SCALE	
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