



ACT
Government

Chief Minister, Treasury and
Economic Development

Freedom of Information Publication Coversheet

The following information is provided pursuant to section 28 of the *Freedom of Information Act 2016*.

FOI Reference: CMTEDDFOI 2021-285

Information to be published	Status
1. Access application	Published
2. Decision notice	Published
3. Documents and schedule	Published
4. Additional information identified	No
5. Fees	N/A
6. Processing time (in working days)	15
7. Decision made by Ombudsman	N/A
8. Additional information identified by Ombudsman	N/A
9. Decision made by ACAT	N/A
10. Additional information identified by ACAT	N/A

From: [EPSDFOI](#)
To: [CMTEDD FOI](#)
Subject: Freedom of Information - Building Plans [REDACTED]
Date: Wednesday, 27 October 2021 5:01:08 PM

OFFICIAL

Good afternoon team

Please see the below application and advise if transfer of point 2 of the application is accepted.

2. Building Approval plans submitted to Access Canberra for the 2021 building works (knockdown rebuild)

Thank you

Kind Regards

Angelina Aloisi | Information Governance Officer

Information Governance

Environment, Planning and Sustainable Development Directorate | ACT Government

Phone: 02 6207 7912 | Email: Angelina.Aloisi@act.gov.au

Level 5, 480 Northbourne Avenue, Dickson | GPO Box 158 Canberra ACT 2601 |

www.environment.act.gov.au | www.planning.act.gov.au

Please consider the environment before printing this email

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From: [REDACTED] >
Sent: Wednesday, 27 October 2021 4:37 PM
To: EPSDFOI <EPSDFOI@act.gov.au>
Subject: Re: Freedom of Information - Building Plans [REDACTED]
[REDACTED]

CAUTION: This email originated from outside of the ACT Government. Do not click links or open attachments unless you recognise the sender and know the content is safe.

Hi Angelina

Thanks, yes.

Thanks
[REDACTED]

From: EPSDFOI <EPSDFOI@act.gov.au>

Sent: Wednesday, 27 October 2021 4:23 PM

To: [REDACTED] >

Subject: RE: Freedom of Information - Building Plans [REDACTED]
[REDACTED]

OFFICIAL

[REDACTED]

Thank you for your time today to discuss your application today. Confirming as discussed the scope of your application will be for the following documents in relation to Block 14 Section 152 Palmerston:

1. EPSDD Approved plans relating to three Exemption Declaration Applications
2. Building Approval plans submitted to Access Canberra for the 2021 building works (knockdown rebuild)

Point 2 of your application will be transferred to Chief Minister, Treasury and Economic Development Directorate (CMTEDD).

Please confirm by email response that this is correct and we will proceed with your application.

Kind Regards

Angelina Aloisi | Information Governance Officer

Information Governance

Environment, Planning and Sustainable Development Directorate | ACT Government

Phone: 02 6207 7912 | Email: Angelina.Aloisi@act.gov.au

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From: [REDACTED] >

Sent: Tuesday, 26 October 2021 11:34 PM

To: EPSDFOI <EPSDFOI@act.gov.au>

Subject: Freedom of Information - Building Plans [REDACTED]
[REDACTED]

CAUTION: This email originated from outside of the ACT Government. Do not click links or open attachments unless you recognise the sender and know the content is safe.

FOI – Information Management Team

Requesting copy of the approved on Record for the DA process (approvals around April - May 2021)

- Building Plans - [REDACTED]
- Copy - of the 3 building plans exemptions approved 1 [REDACTED]
[REDACTED] (relating to that building plans)

[REDACTED]

[REDACTED]

[REDACTED]

ou may submit an access application by email to epsdfoi@act.gov.au or by mail to:

FOI – Information Management Team
Environment, Planning and Sustainable Development Directorate
GPO Box 158
CANBERRA ACT 2601

This email, and any attachments, may be confidential and also privileged. If you are not

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ACT
Government

Chief Minister, Treasury and
Economic Development

Our ref: CMTEDDFOI 2021-285



FREEDOM OF INFORMATION: NOTICE OF DECISION

Thank you for providing your views on the public access to the information outlined in my e-mail to you of 2 November 2021 in response to an access application submitted to the Chief Minister, Treasury and Economic Development Directorate (CMTEDD), under section 30 of the *Freedom of Information Act 2016* (the Act).

Details of the access application

Date received: 29 October 2021

Information requested: *"Copy of the building approval plans submitted for the new construction on [REDACTED]."*

Authority

As an appointed Information Officer under section 18 of the Act, I am authorised to make a decision on access or amendment to government information in the possession or control of CMTEDD.

Conclusion of Consultation

You were identified as a relevant third party as information considered for public release may reasonably be expected to be of a concern to you. I am satisfied that a reasonable consultation process has been undertaken and my obligations under section 38 of the Act have been met.

I have considered your views on the release of the identified information, as provided in your email of 2 November 2021, when deliberating on granting public access under the Act.

I note you have objected to the internal floor plans of your residence being released.

Decision on access

I have applied the public interest test under section 17 of the Act, and it is my determination that disclosure of the internal floor plans of your residence is contrary to public interest to release. The remainder of the information will be released in full. A copy

of the redacted version of the plans being released to the access applicant is attached at Attachment A.

Third Party Review

My decision is reviewable as identified in Schedule 3 of the Act however noting your acceptance on release of information, I have decided to make the requested information available to the applicant immediately.

Privacy

Personal information is protected and managed by CMTEDD in accordance with the *Information Privacy Act 2014*. Your identity and views will not be disclosed without your prior consent.

CMTEDD is required to maintain a disclosure log that must be made publicly available under section 23 of the Act, and which contains information released to an applicant - excluding access applications for personal information. The disclosure log is available online at <https://www.cmtedd.act.gov.au/functions/foi/disclosure-log>.

The Act is accessible at <http://www.legislation.act.gov.au/a/2016-55/>

Contact

To discuss this matter further or raise any questions, please contact the Freedom of Information Coordinator on 6207 7754 or send an email to CMTEDDFOI@act.gov.au with the subject heading CMTEDDFOI2021-285.

Yours sincerely,



Katharine Stuart
Information Officer
Information Access Team
Chief Minister, Treasury and Economic Development Directorate

19 November 2021

NOTE: TO BE USED FOR
SINGLE RESIDENTIAL
DWELLING PURPOSES ONLY

AREA ENCROACHING FRONT
SETBACK ON FIRST FLOOR (RULE 11)

BOXING AROUND WINDOWS

FIRST FL CEILING RL 619.900

100mm POLYSTYRENE
CLADDING

AREA ENCROACHING SIDE
SETBACK (RULE 12)

FIRST FLOOR RL 617.200

LOWER FL CEILING RL 616.800

SLATTED TIMBER FENCE
& GATE

LOWER FLOOR RL 614.050

100mm POLYSTYRENE
CLADDING

BOUNDARY

SLATTED TIMBER FENCE
& GATE

FRONT BOUNDARY

APPROVED

PURSUANT TO SECTION 1.100A/1.100AB OF THE
PLANNING AND DEVELOPMENT REGULATION 2008

Delegate: Matt Davis

Date 22/2/2021

DECLARATION OF EXTENDED DISTANCE

Rule 11 - Front boundary setback departure of a maximum
400mm for a length of 4430mm

Rule 12 - Side boundary setback departure of a maximum 630mm
for a length of 6500mm

Note: to be used for single dwelling purposes only

VERIFICATION OF EXEMPT
DEVELOPMENT STATUS
Under s. 135 of the Planning &
Development Act 2007 and
s. 20, schedule 1 of the
Planning & Development
Regulation 2008

Paul Thomas
Certifier Name

Lic. No. 2011390

Thomas 17/5/2021
Certifier signature Date

This work still requires building
approval under the Building Act
2004 and the Building
(General) Regulation 2008

BUILDING APPROVAL
Issued under s. 28 of the
Building Act 2004

Paul Thomas
Certifier Name

Lic. No. 2011390

1a(i) & 10a
BCA Occupancy Class
N/A
BCA Type of Construction

Issue date: 17/5/2021
Thomas
Certifier signature

WEST ELEVATION

SCALE: 1 : 100

GLAZING & WINDOW FRAMES

Ensure that window glazing & window frames conform
to that required by the Energy Rating Report (or
Glazing Calculator if applicable)

The window provider is to certify that the U-Value &
SHGC of new windows provided conform to that
required by the Energy Rating Report (or Glazing Calculator)

POWDERCOATED (PC) ALUMINIUM
BOXING AROUND WINDOWS (250 DEEP)

AREA ENCROACHING FRONT
SETBACK ON FIRST FLOOR (RULE 11)

AREA ENCROACHING SIDE
SETBACK (RULE 12)

BRICK VENEER WALL
(BRICK TYPE 1)

NORTH ELEVATION

SCALE: 1 : 100

REVISIONS

REVISION DESCRIPTION

#	REVISION DESCRIPTION
1	ISSUE FOR COSTING
2	ISSUED FOR APPROVAL
3	UPDATED FOR APPROVAL

atelier 11

Sch 2.2(a)(ii)

Sch 2.2(a)(ii)

NOTE: TO BE USED FOR
SINGLE RESIDENTIAL
DWELLING PURPOSES ONLY

AREA ENCROACHING FRONT
SETBACK ON FIRST FLOOR (RULE 11)

BOXING AROUND WINDOWS

FIRST FL CEILING RL 619.900

100mm POLYSTYRENE
CLADDING

AREA ENCROACHING SIDE
SETBACK (RULE 12)

FIRST FLOOR RL 617.200

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SLATTED TIMBER FENCE
& GATE

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100mm POLYSTYRENE
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FRONT BOUNDARY

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Certifier Name

Lic. No. **2011390**

1a(i) & 10a
BCA Occupancy Class
N/A
BCA Type of Construction

Issue date: 17/5/2021
Thomas
Certifier signature

WEST ELEVATION

SCALE: 1 : 100

GLAZING & WINDOW FRAMES

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to that required by the **Energy Rating Report** (or
Glazing Calculator if applicable)

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SHGC** of new windows provided conform to that
required by the **Energy Rating Report** (or Glazing Calculator)

APPROVED

PURSUANT TO SECTION 1.100A/1.100AB OF THE
PLANNING AND DEVELOPMENT REGULATION 2008

Delegate: **Matt Davis**

Date **22/2/2021**

DECLARATION OF EXTENDED DISTANCE

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for a length of 6500mm

Note: to be used for single dwelling purposes only

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BOXING AROUND WINDOWS (250 DEEP)

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SETBACK ON FIRST FLOOR (RULE 11)

AREA ENCROACHING SIDE
SETBACK (RULE 12)

BRICK VENEER WALL
(BRICK TYPE 1)

NORTH ELEVATION

SCALE: 1 : 100

REVISIONS

REVISION DESCRIPTION

#	REVISION DESCRIPTION
1	ISSUE FOR COSTING
2	ISSUED FOR APPROVAL
3	UPDATED FOR APPROVAL

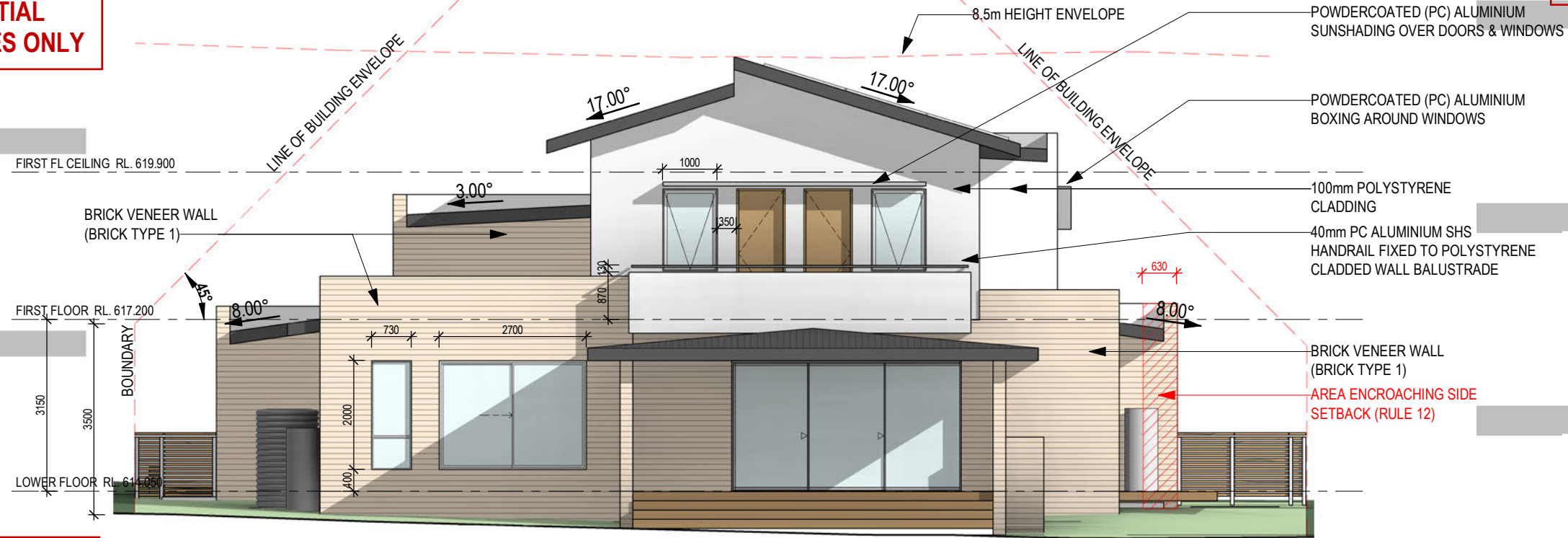
atelier 11

Sch 2.2(a)(ii)

Sch 2.2(a)(ii)

NOTE: TO BE USED FOR
SINGLE RESIDENTIAL
DWELLING PURPOSES ONLY

SHEET No. ...9... OF ...16...



GLAZING & WINDOW FRAMES

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EAST ELEVATION

SCALE: 1 : 100

AREA ENCROACHING FRONT
SETBACK ON FIRST FLOOR (RULE 11)

100mm POLYSTYRENE
CLADDING

FIRST FLOOR RL. 617.200

BRICK VENEER WALL
(BRICK TYPE 1)

LOWER FLOOR RL. 614.050

SOUTH ELEVATION

SCALE: 1 : 100

100mm POLYSTYRENE
CLADDING

4000L RAINWATER TANK

**VERIFICATION OF EXEMPT
DEVELOPMENT STATUS**
Under s. 135 of the *Planning &
Development Act 2007* and
s. 20, schedule 1 of the
*Planning & Development
Regulation 2008*

Paul Thomas
Certifier Name

Lic. No. **2011390**

Thomas 17/5/2021
Certifier signature Date

This work still requires building
approval under the *Building Act*
2004 and the *Building*
(General) Regulation 2008

BUILDING APPROVAL
Issued under s. 28 of the
Building Act 2004

Paul Thomas
Certifier Name

Lic. No. **2011390**

1a(i) & 10a
BCA Occupancy Class

N/A
BCA Type of Construction

Issue date: 17/5/2021
Thomas
Certifier signature

REVISIONS

#	REVISION DESCRIPTION	DATE
1	ISSUE FOR COSTING	10/10/2020
2	ISSUED FOR APPROVAL	24/01/2021
3	UPDATED FOR APPROVAL	15/02/2021

atelier 11
Sch 2.2(a)(ii)

Client:

Sch 2.2(a)(ii)

Street:

S

Local Government Area:

ACT

Scale:

1 : 100

@ A3

Drawn:

JA

Checked:

FB

Sheet Issue Date:

10/10/20

Printing Date:

05/07/2021 10:15:30 PM

Project:

NEW TWO STOREY HOUSE AT

Stage:

FOR APPROVAL

Drawing Title:

ELEVATIONS 2

Job No.

2005

Dwg No.

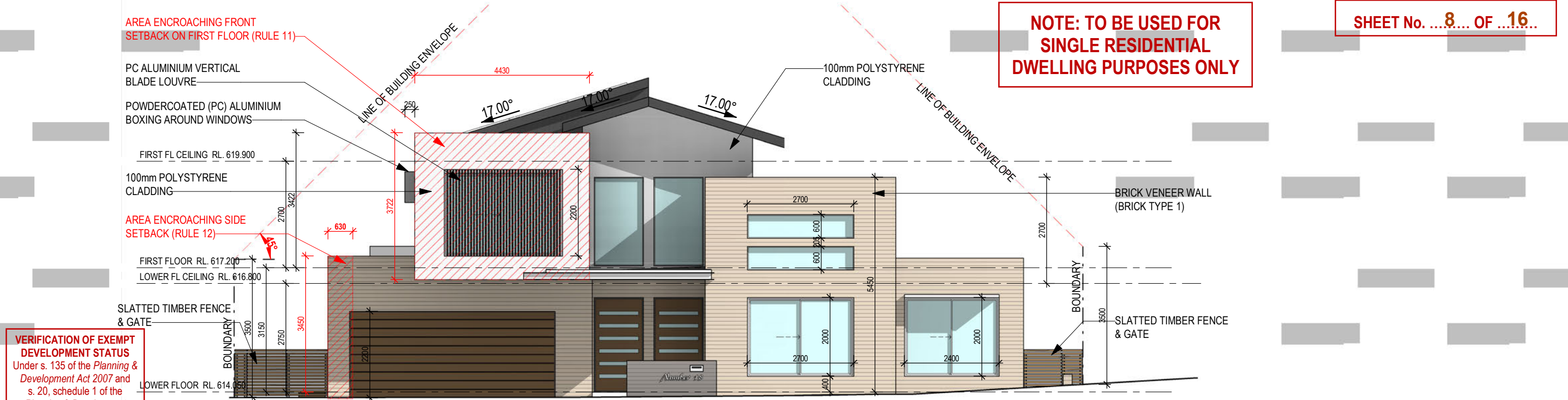
A - 201

3

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VERIFICATION OF EXEMPT DEVELOPMENT STATUS
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Paul Thomas
Certifier Name

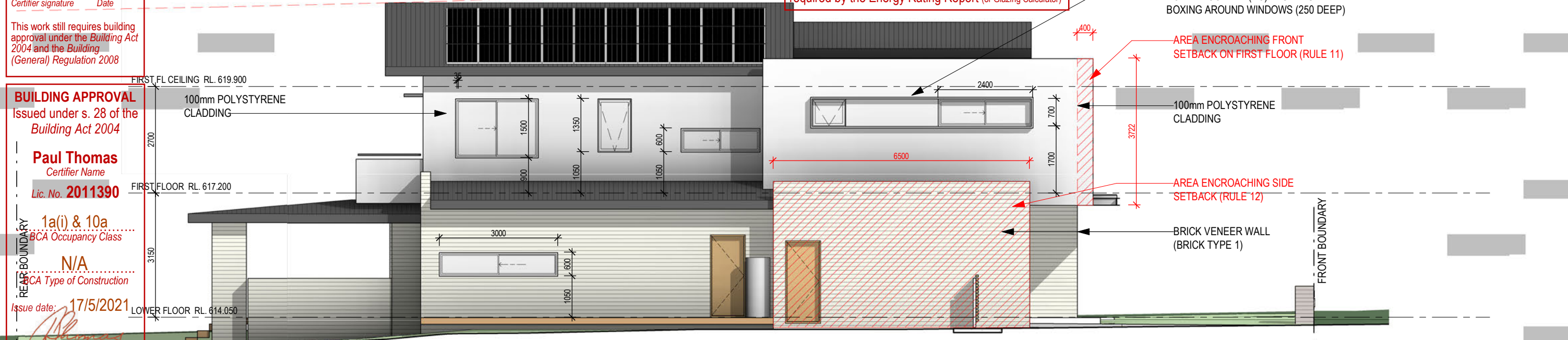
Lic. No. **2011390**

1a(i) & 10a
BCA Occupancy Class
N/A
BCA Type of Construction

Issue date: 17/5/2021
Thomas
Certifier signature

NORTH ELEVATION
SCALE: 1 : 100

GLAZING & WINDOW FRAMES
Ensure that window glazing & window frames conform to that required by the **Energy Rating Report** (or Glazing Calculator if applicable)
The window provider is to certify that the **U-Value & SHGC** of new windows provided conform to that required by the **Energy Rating Report** (or Glazing Calculator)



EAST ELEVATION
SCALE: 1 : 100

ENVIRONMENTAL ENGINEERING PROJECTS Pty Ltd, Section 152, Palmerston - Paul Butler 14, Section 152, Palmerston - Paul Butler 2020/04, nt

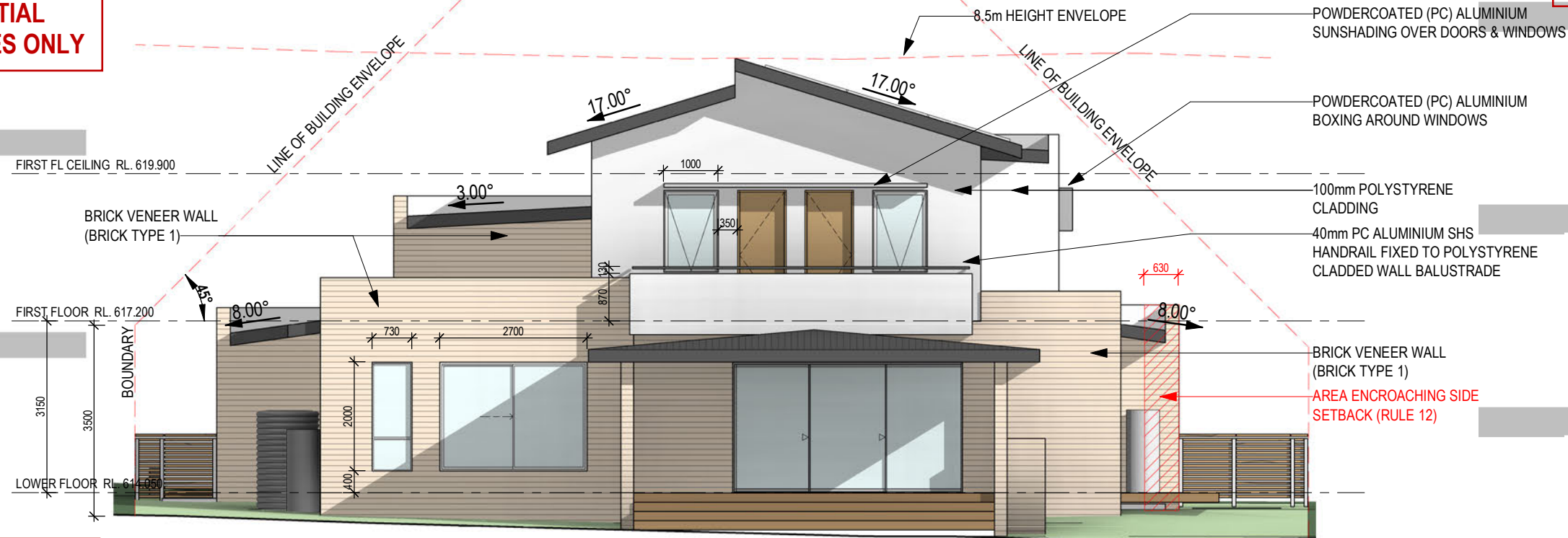
REVISIONS		
#	REVISION DESCRIPTION	DATE
1	ISSUE FOR COSTING	10/10/2020
2	ISSUED FOR APPROVAL	24/01/2021
3	UPDATED FOR APPROVAL	15/02/2021

atelier 11
Sch 2.2(a)(ii)

Client: Sch 2.2(a)(ii)	Scale: 1 : 100 @ A3	Project: NEW TWO STOREY HOUSE AT
Street: S	Drawn: JA	Stage: FOR APPROVAL
BLOCK NO: SECTION:	Checked: FB	Drawing Title: ELEVATIONS 1
Local Government Area: ACT	Sheet Issue Date: 10/10/20	Job No. 2005
	Printing Date: 06/07/2021 8:01:34 PM	Dwg No. A - 200
		3

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SHEET No. ...9... OF ...16...



SOUTH ELEVATION

SCALE: 1 : 100

GLAZING & WINDOW FRAMES

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The window provider is to certify that the **U-Value & SHGC** of new windows provided conform to that required by the Energy Rating Report (or Glazing Calculator)

AREA ENCROACHING FRONT
SETBACK ON FIRST FLOOR (RULE 11)

100mm POLYSTYRENE
CLADDING

FIRST FLOOR RL. 617.200

BRICK VENEER WALL
(BRICK TYPE 1)

LOWER FLOOR RL. 614.050

WEST ELEVATION

SCALE: 1 : 100

100mm POLYSTYRENE
CLADDING

4000L RAINWATER TANK

**VERIFICATION OF EXEMPT
DEVELOPMENT STATUS**
Under s. 135 of the *Planning &
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Paul Thomas
Certifier Name

Lic. No. **2011390**

Paul Thomas 17/5/2021
Certifier signature Date

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Paul Thomas
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Lic. No. **2011390**

1a(i) & 10a
BCA Occupancy Class

N/A
BCA Type of Construction

Issue date: 17/5/2021
Paul Thomas
Certifier signature

REVISIONS

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1	ISSUE FOR COSTING	10/10/2020
2	ISSUED FOR APPROVAL	24/01/2021
3	UPDATED FOR APPROVAL	15/02/2021

atelier 11
Sch 2.2(a)(ii)

Client:

Sch 2.2(a)(ii)

Street:

S

Local Government Area:

ACT

Scale:

1 : 100 @ A3

Drawn:

JA

Sheet Issue Date:

10/10/20

Printing Date:

06/07/2021 8:01:44 PM

Project:

NEW TWO STOREY HOUSE AT

Stage:

FOR APPROVAL

Drawing Title:

ELEVATIONS 2

Job No.

2005

Dwg No.

A - 201

3

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AREA ENCROACHING FRONT
SETBACK ON FIRST FLOOR (RULE 11)

BOXING AROUND WINDOWS

FIRST FL CEILING RL 619.900

100mm POLYSTYRENE
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FIRST FLOOR RL 617.200

LOWER FL CEILING RL 616.800

SLATTED TIMBER FENCE
& GATE

LOWER FLOOR RL 614.050

100mm POLYSTYRENE
CLADDING

WEST ELEVATION

SCALE: 1 : 100

VERIFICATION OF EXEMPT DEVELOPMENT STATUS

Under s. 135 of the *Planning & Development Act 2007* and s. 20, schedule 1 of the *Planning & Development Regulation 2008*

Paul Thomas

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N/A

BCA Type of Construction

Issue date: 17/5/2021

Thomas
Certifier signature

GLAZING & WINDOW FRAMES

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APPROVED

PURSUANT TO SECTION 1.100A/1.100AB OF THE
PLANNING AND DEVELOPMENT REGULATION 2008

Delegate: **Matt Davis**

Date **22/2/2021**

DECLARATION OF EXTENDED DISTANCE

Rule 11 - Front boundary setback departure of a maximum 400mm for a length of 4430mm

Rule 12 - Side boundary setback departure of a maximum 630mm for a length of 6500mm

Note: to be used for single dwelling purposes only

POWDERCOATED (PC) ALUMINIUM
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AREA ENCROACHING SIDE
SETBACK (RULE 12)

BRICK VENEER WALL
(BRICK TYPE 1)

NORTH ELEVATION

SCALE: 1 : 100

REVISIONS

REVISION DESCRIPTION

#	REVISION DESCRIPTION
1	ISSUE FOR COSTING
2	ISSUED FOR APPROVAL
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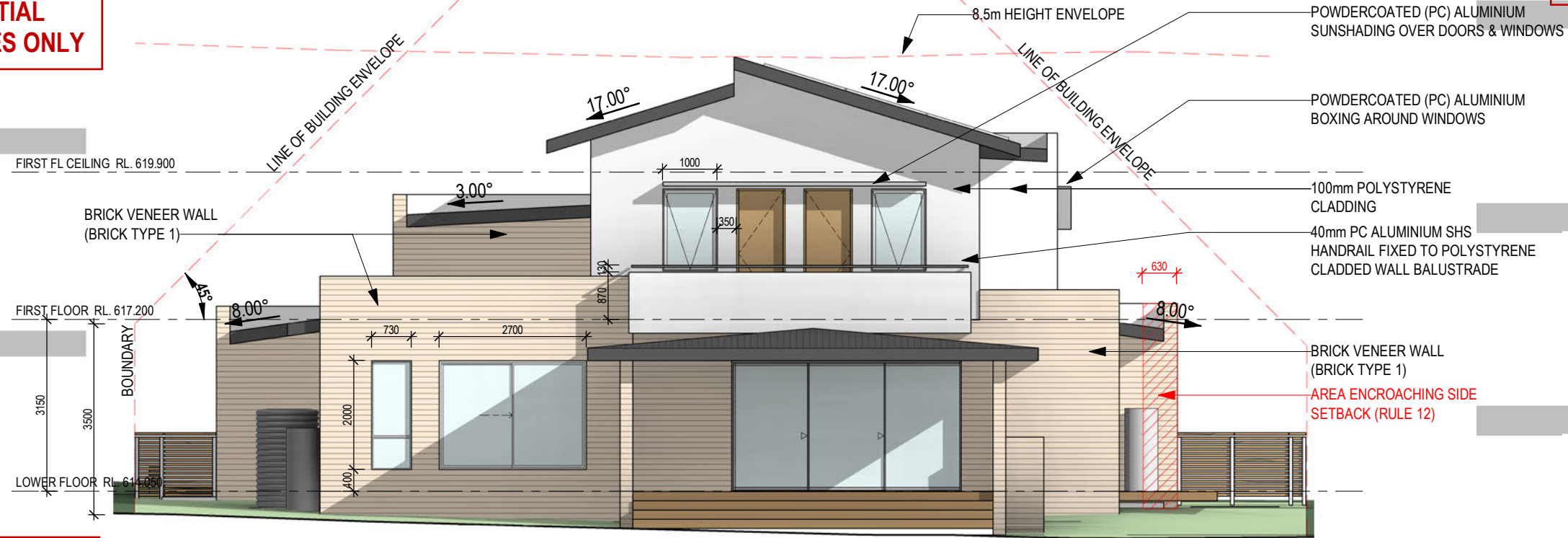
atelier 11

Sch 2.2(a)(ii)

Sch 2.2(a)(ii)

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SHEET No. ...9... OF ...16...



GLAZING & WINDOW FRAMES

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EAST ELEVATION

SCALE: 1 : 100

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100mm POLYSTYRENE
CLADDING

FIRST FLOOR RL. 617.200

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(BRICK TYPE 1)

LOWER FLOOR RL. 614.050

SOUTH ELEVATION

SCALE: 1 : 100

100mm POLYSTYRENE
CLADDING

4000L RAINWATER TANK

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1a(i) & 10a
BCA Occupancy Class

N/A
BCA Type of Construction

Issue date: 17/5/2021
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REVISIONS

#	REVISION DESCRIPTION	DATE
1	ISSUE FOR COSTING	10/10/2020
2	ISSUED FOR APPROVAL	24/01/2021
3	UPDATED FOR APPROVAL	15/02/2021

atelier 11
Sch 2.2(a)(ii)

Client:

Sch 2.2(a)(ii)

Street:

S

Local Government Area:

ACT

Scale:

1 : 100

@ A3

Drawn:

JA

Checked:

FB

Sheet Issue Date:

10/10/20

Printing Date:

05/07/2021 10:15:30 PM

Project:

NEW TWO STOREY HOUSE AT

Stage:

FOR APPROVAL

Drawing Title:

ELEVATIONS 2

Job No.

2005

Dwg No.

A - 201

3

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DO NOT SCALE OFF DRAWINGS. VERIFY ALL DIMENSIONS ON SITE. NOT TO BE USED OR COPIED WITHOUT PERMISSION

ENVY DRAWINGS/AMBERARA PROJECT/Block 14, Section 152, Palmerston - Fazio Building 14, Section 152, Palmerston - Fazio Building 2020/04, nt

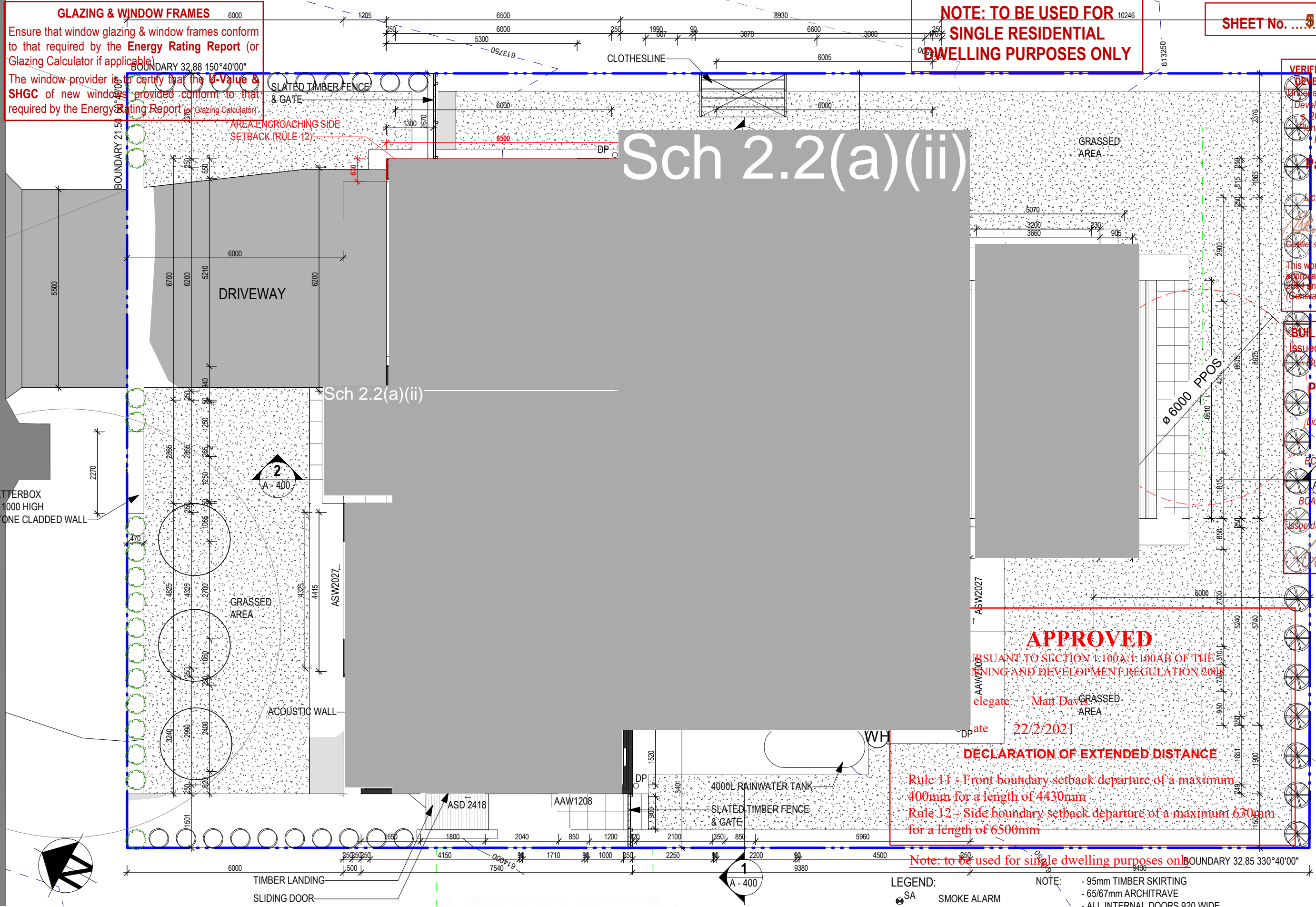
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SHEET No. OF

VERIFICATION OF EXEMPT DEVELOPMENT STATUS
Under s. 135 of the Planning & Development Act 2007 and s. 20, schedule 1 of the Planning & Development Regulation 2008
Paul Thomas
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Paul Thomas 17/5/2021
Certifier signature Date
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1a(i) & 10a
BCA Occupancy Class
2
BCA Type of Construction
Issue date: 17/5/2021
Paul Thomas
Certifier signature



APPROVED
PURSUANT TO SECTION 1100A/1100AB OF THE PLANNING AND DEVELOPMENT REGULATION 2008
Delegate: **Matt Davis**
Date: 22/2/2021
DECLARATION OF EXTENDED DISTANCE
Rule 11 - Front boundary setback departure of a maximum 400mm for a length of 4430mm
Rule 12 - Side boundary setback departure of a maximum 630mm for a length of 6500mm
Note: to be used for single dwelling purposes only

REVISIONS		
#	REVISION DESCRIPTION	DATE
1	ISSUE FOR COSTING	10/10/2020
2	ISSUED FOR APPROVAL	24/01/2021
3	UPDATED FOR APPROVAL	15/02/2021

atelier 11
Sch 2.2(a)(ii)

Client: Sch 2.2(a)(ii)		Scale: 1 : 100 @ A3	Project: NEW TWO STOREY HOUSE AT	
Street:		Drawn: JA	Checked: FB	Stage: FOR APPROVAL
S		Sheet Issue Date: 10/10/20	Drawing Title: LOWER FLOOR PLAN	
Block No: SECTION:		Printing Date: 15/02/2021 10:14:13 PM	Job No. 2005	Dwg No. A - 100
Local Government Area: ACT				3

GLAZING & WINDOW FRAMES

Ensure that window glazing & window frames conform to that required by the **Energy Rating Report** (or Glazing Calculator if applicable)

The window provider is to certify that the **U-Value & SHGC** of new windows provided conform to that required by the Energy Rating Report (or Glazing Calculator)

**NOTE: TO BE USED FOR
SINGLE RESIDENTIAL
DWELLING PURPOSES ONLY**

SHEET No.6.... OF ...16....

Sch 2.2(a)(ii)

WINDOW ARTICULATION
ENCROACH FRONT SETBACK

PC ALUMINIUM VERTICAL
BLADE LOUVRE

180PFC FRAMING WITH
WELDED STEEL FLAT
BAR TO DETAILS

**VERIFICATION OF EXEMPT
DEVELOPMENT STATUS**
Under s. 135 of the *Planning &
Development Act 2007* and
s. 20, schedule 1 of the
*Planning & Development
Regulation 2008*

Paul Thomas
Certifier Name

Lic. No. **2011390**

Thomas 17/5/2021
Certifier signature Date

This work still requires building
approval under the *Building Act
2004* and the *Building
(General) Regulation 2008*

BUILDING APPROVAL
Issued under s. 28 of the
Building Act 2004

Paul Thomas
Certifier Name

Lic. No. **2011390**

1a(i) & 10a
BCA Occupancy Class

N/A
BCA Type of Construction

Issue date: **17/5/2021**

Thomas
Certifier signature

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atelier 11
Sch 2.2(a)(ii)

Client:
Sch 2.2(a)(ii)
Street:
S
BLOCK NO: SECTION:
Local Government Area:
ACT

Scale:
1 : 100 @ A3
Drawn:
JA
Checked:
FB
Sheet Issue Date:
10/10/20
Printing Date:
15/02/2021 10:14:14 PM

Project:
NEW TWO STOREY HOUSE AT
Stage:
FOR APPROVAL
Drawing Title:
FIRST FLOOR PLAN
Job No.
2005

Dwg No.
A - 101

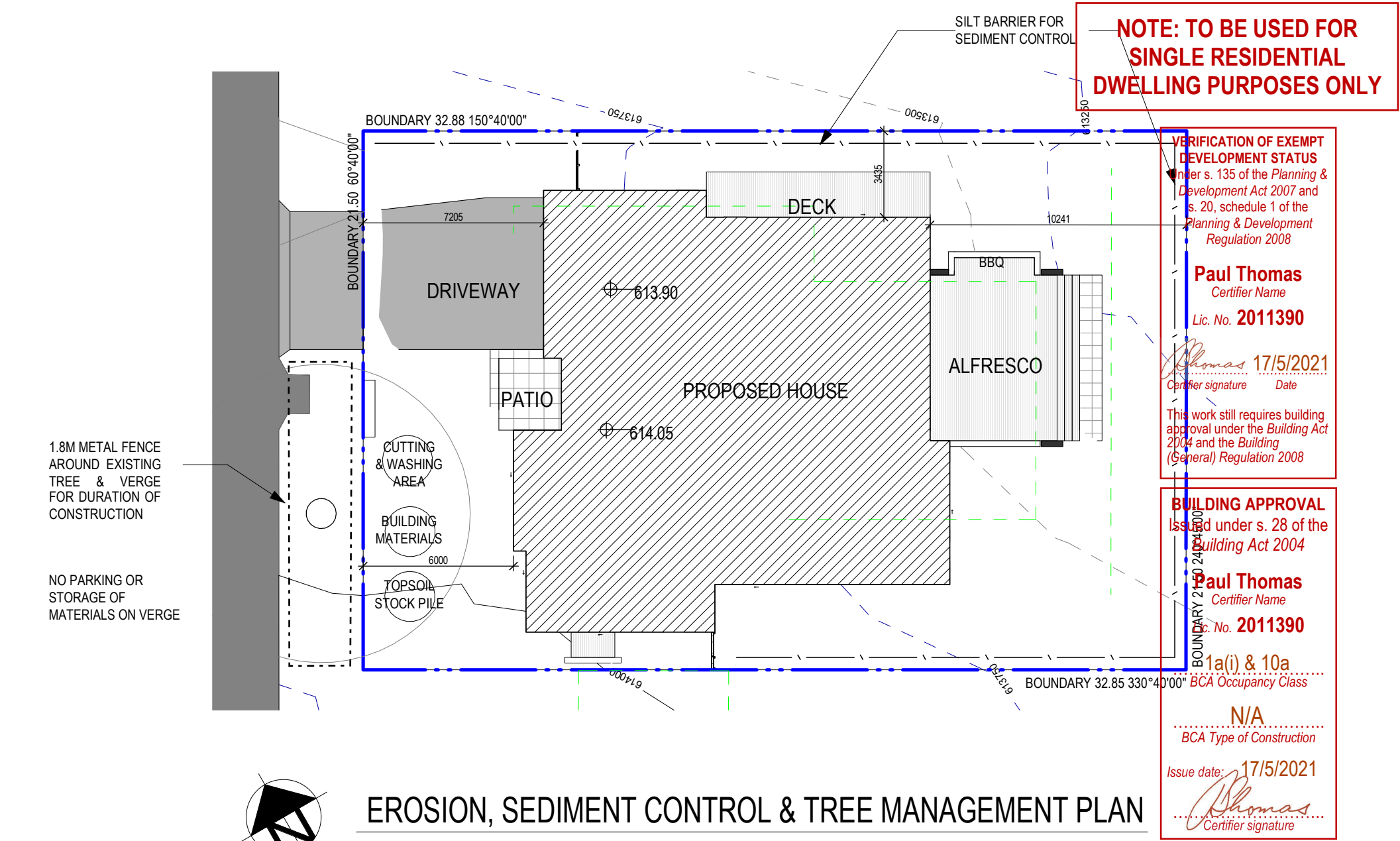
3

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ENVY DRAWINGS/INTERIOR PROJECT/Block 14, Section 102, Palmerston - Paul Baird/Block 14, Section 102, Palmerston - Paul Baird/2020/04/10

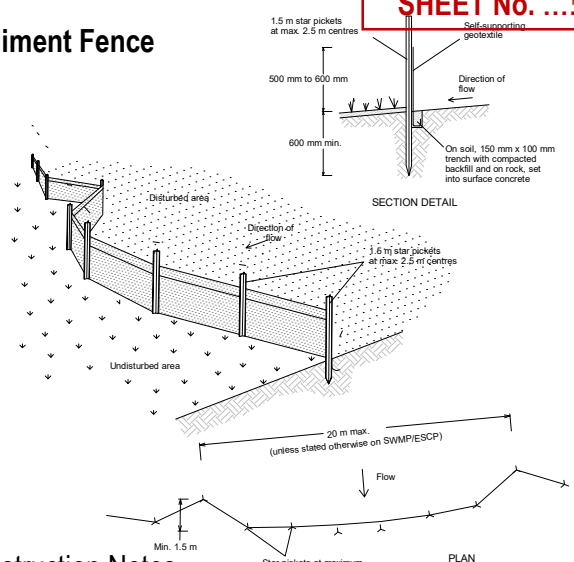
DO NOT SCALE OFF DRAWINGS. USE FIGURED DIMENSIONS. VERIFY ALL DIMENSIONS ON SITE. NOT TO BE USED OR COPIED WITHOUT PERMISSION

ENVY DRAWINGS/INBERRA PROJECT/Block 14, Section 152, Palmerston - Final BuildBook 14, Section 152, Palmerston - Final Build 2020/04, nt



EROSION, SEDIMENT CONTROL & TREE MANAGEMENT PLAN

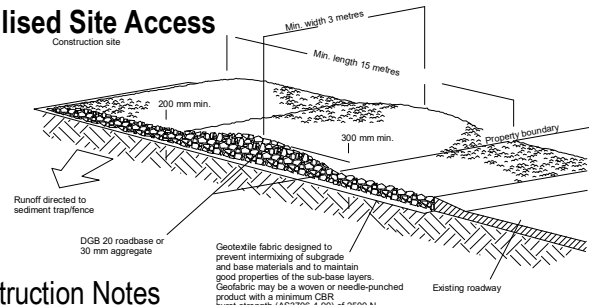
Sediment Fence



Construction Notes

1. Construct sediment fences as close as possible to being parallel to the contours of the site, but with small returns as shown in the drawing to limit the catchment area of any one section. The catchment area should be small enough to limit water flow if concentrated at one point to 50 litres per second in the design storm event, usually the 10-year event.
2. Cut a 150-mm deep trench along the upslope line of the fence for the bottom of the fabric to be entrenched.
3. Drive 1.5 metre long star pickets into ground at 2.5 metre intervals (max) at the downslope edge of the trench. Ensure any star pickets are fitted with safety caps.
4. Fix self-supporting geotextile to the upslope side of the posts ensuring it goes to the base of the trench. Fix the geotextile with wire ties or as recommended by the manufacturer. Only use geotextile specifically produced for sediment fencing. The use of shade cloth for this purpose is not satisfactory.
5. Join sections of fabric at a support post with a 150-mm overlap.
6. Backfill the trench over the base of the fabric and compact it thoroughly over the geotextile.

Stabilised Site Access



Construction Notes

1. Strip the topsoil, level the site and compact the subgrade.
2. Cover the area with needle-punched geotextile.
3. Construct a 200 mm thick pad over the geotextile using road base or 30 mm aggregate.
4. Ensure the structure is at least 15 metres long or to building alignment and at least 3 metres wide.
5. Where a sediment fence joins onto the stabilised access, construct a hump in the stabilised access to divert water to the sediment fence

NOTE:

THE WORK IS TO COMPLY WITH ACT BEST PRACTICE GUIDELINES PREVENT POLLUTION FROM RESIDENTIAL BUILDING SITES, MARCH 2006 THE DEVELOPMENT WILL COMPLY WITH THE ACT ENVIRONMENT PROTECTION AUTHORITY, ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE ACT, AUGUST 2007, PARTICULARLY BUT NOT EXCLUSIVELY IN RELATION TO NOISE AND POLLUTION CONTROL. ALL BUILDING WASTE IS TO BE STORED ON THE SITE IN SUITABLE RECEPTACLES AND COLLECTED REGULARLY THE LESSEE IS TO TAKE ALL REASONABLE STEPS TO ENSURE THAT WASTE, PARTICULARLY WIND BORNE LITTER, DOES NOT AFFECT ADJOINING OR ADJACENT PROPERTIES.

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atelier 11
Sch 2.2(a)(ii)

Client: Sch 2.2(a)(ii)
Street: [Redacted]
S [Redacted] BLOCK NO: [Redacted] SECTION: [Redacted]
Local Government Area: ACT

Scale: 1 : 200 @ A3
Drawn: JA
Checked: FB
Sheet Issue Date: 10/10/20
Printing Date: 15/02/2021 10:14:12 PM

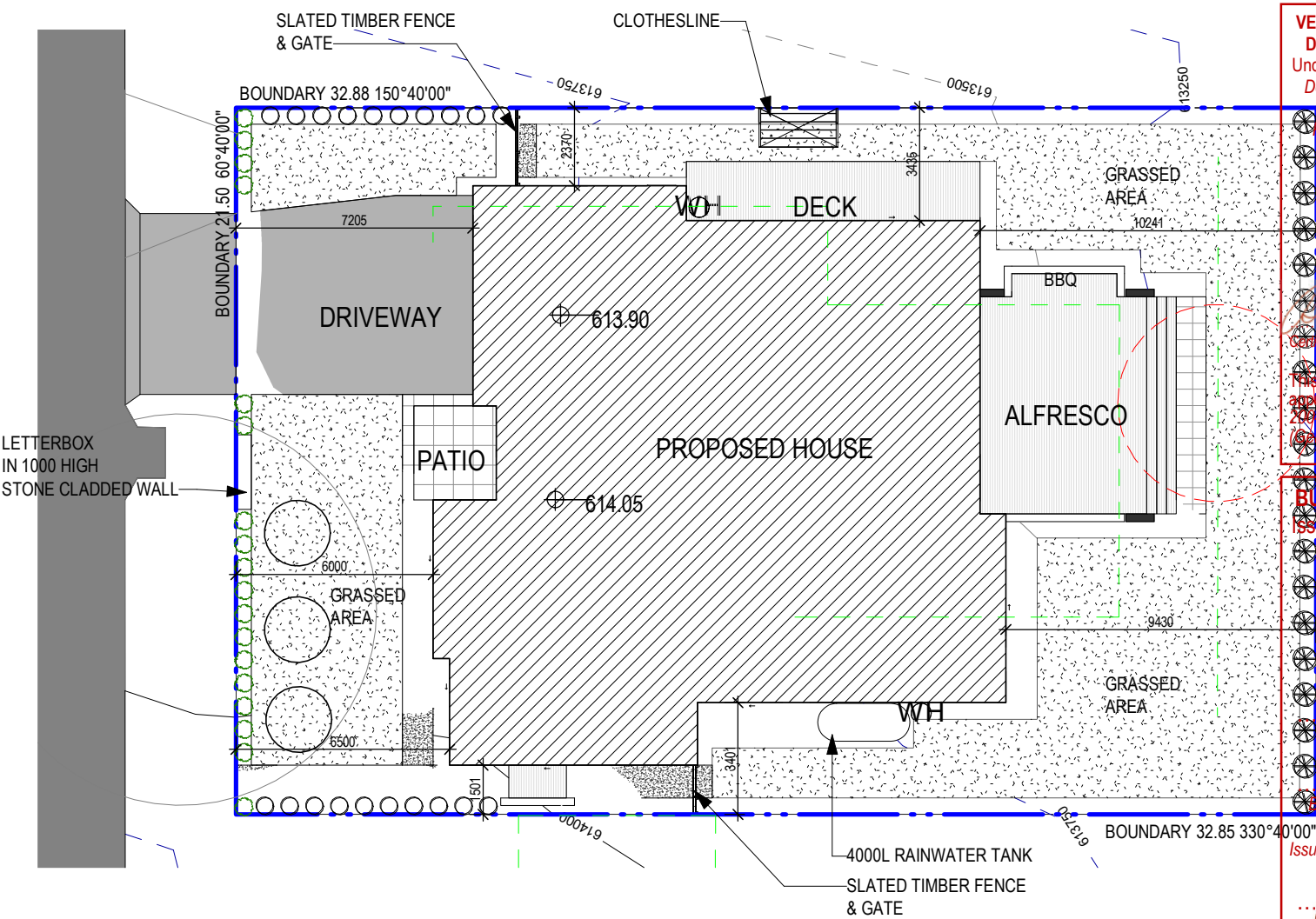
Project: NEW TWO STOREY HOUSE AT [Redacted]
Stage: FOR APPROVAL
Drawing Title: EROSION & SEDIMENT CONTROL PLAN
Job No. 2005
Dwg No. A - 030
3

NOTE: TO BE USED FOR
SINGLE RESIDENTIAL
DWELLING PURPOSES ONLY

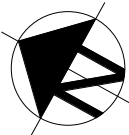
LANDSCAPE LEGEND

- Concrete pavers
- Grassed area
- Driveway
- Paved area
- New tree planting 500mm Pot
- Callistemon Citrinus (Bottlebrush) 200mm Pot
- Osteospermum (African Daisy - Red) 200mm Pot
- Photinia Robusta 200mm Pot

AT LEAST 50% OF MINIMUM PRIVATE OPEN
SPACE IS TO BE RESERVED FOR PLANTING AREA



VERIFICATION OF EXEMPT
DEVELOPMENT STATUS
Under s. 135 of the Planning &
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s. 20, schedule 1 of the
Planning & Development
Regulation 2008
Paul Thomas
Certifier Name
Lic. No. **2011390**
17/5/2021
Date
The work still requires building
approval under the Building Act
2004 and the Building
(General) Regulation 2008
BUILDING APPROVAL
Issued under s. 28 of the
Building Act 2004
Paul Thomas
Certifier Name
Lic. No. **2011390**
1a(i) & 10a
BCA Occupancy Class
N/A
Type of Construction
Issue date: 17/5/2021
Certifier signature



LANDSCAPE PLAN

ENVY DRAWINGS/INTERIOR PROJECTS/Block 14, Section 152, Palmerston - Final BuildBook 14, Section 152, Palmerston - Final Build 2020/04, nt

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atelier 11

Sch 2.2(a)(ii)

Client: Sch 2.2(a)(ii)
Street:
S
BLOCK NO:
SECTION:
Local Government Area: ACT

Scale: 1 : 200 @ A3
Drawn: JA
Checked: FB
Sheet Issue Date: 10/10/20
Printing Date: 15/02/2021 10:14:11 PM

Project: NEW TWO STOREY HOUSE AT
Stage: FOR APPROVAL
Drawing Title: LANDSCAPE PLAN
Job No. 2005
Dwg No. A - 020
3

NOTE: TO BE USED FOR
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SHEET No.7.... OF16....

VERIFICATION OF EXEMPT
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Paul Thomas
Certifier Name
Lic. No. 2011390

Thomas 17/5/2021
Certifier signature Date

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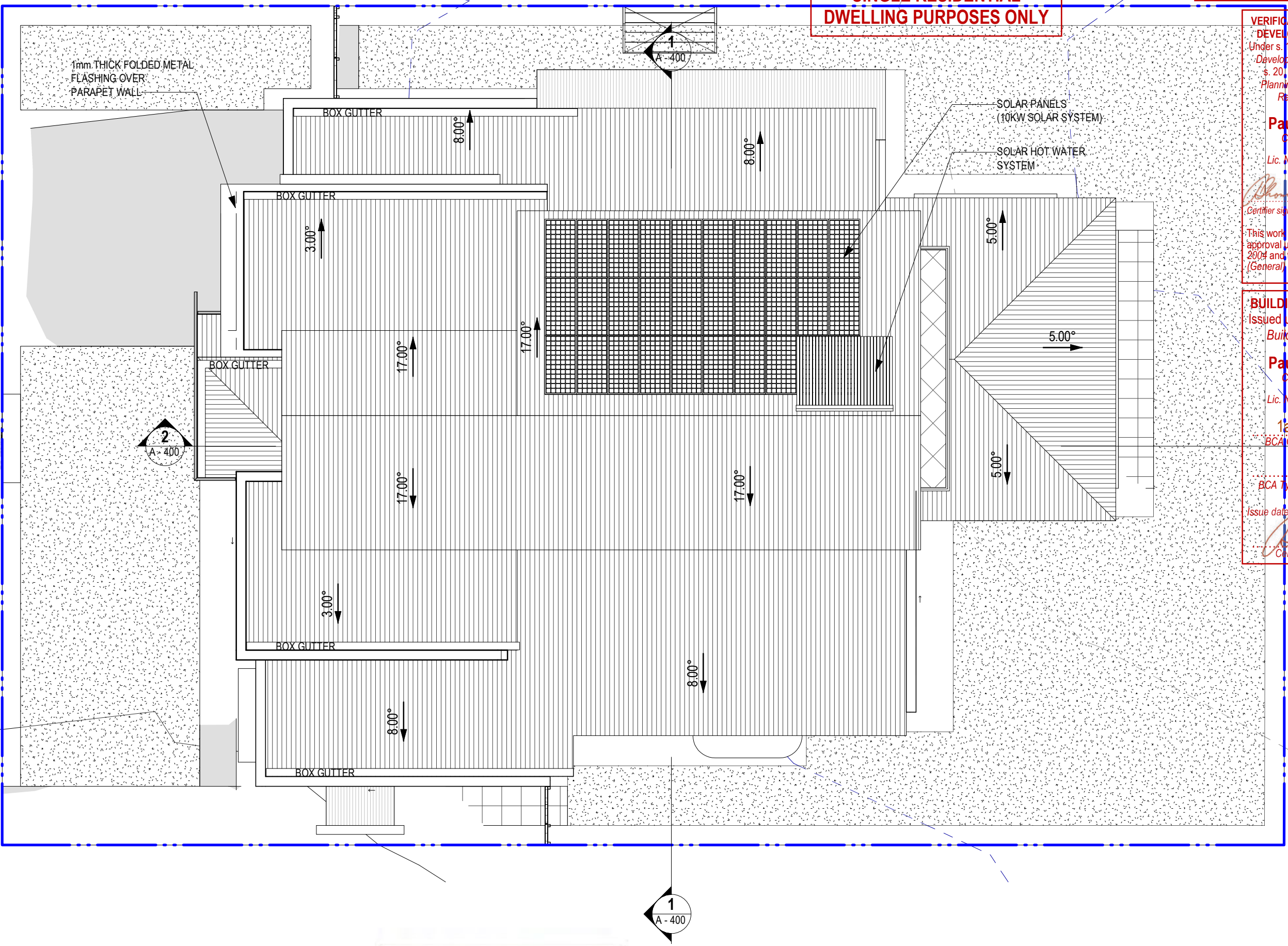
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Paul Thomas
Certifier Name
Lic. No. 2011390

1a(i) & 10a
BCA Occupancy Class

N/A
BCA Type of Construction

Issue date: 17/5/2021
Thomas
Certifier signature



EWY DRAWINGS CANBERRA PROJECTS Book 14, Section 102, Planimeter - Paul Barlow 14, Section 102, Planimeter - Paul Barlow 2009/04, nt

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atelier 11

Sch 2.2(a)(ii)

Client: Sch 2.2(a)(ii)

Street: [REDACTED]

S [REDACTED] BLOCK NO: [REDACTED] SECTION: [REDACTED]

Local Government Area: ACT

Scale: 1 : 100 @ A3

Drawn: JA Checked: FB

Sheet Issue Date: 10/10/20

Printing Date: 15/02/2021 10:14:15 PM

Project: NEW TWO STOREY HOUSE AT [REDACTED]

Stage: FOR APPROVAL

Drawing Title: ROOF PLAN

Job No. 2005

Dwg No. A - 102

3

GLAZING & WINDOW FRAMES

Ensure that window glazing & window frames conform to that required by the **Energy Rating Report** (or Glazing Calculator if applicable)

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SHEET No. **10** OF **16**

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Paul Thomas
Certifier Name

Lic. No. **2011390**

Thomas 17/5/2021
Certifier signature Date

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Building Act 2004

Paul Thomas
Certifier Name

Lic. No. **2011390**

1a(i) & 10a
BCA Occupancy Class

N/A
BCA Type of Construction

Issue date: **17/5/2021**

Thomas
Certifier signature

FIRST FL CEILING RL. 619.900

LINE OF BUILDING
ENVELOPE

FIRST FLOOR RL. 617.300

LOWER FLOOR RL. 614.050

SECTION AA

SCALE: 1 : 100

FIRST FL CEILING RL. 619.900

COLORBOND TRIMDEK
ROOF SHEET FOR
CANOPY OVER PATIO

FIRST FLOOR RL. 617.200

LOWER FL CEILING RL. 616.800

LOWER FLOOR RL. 614.050

SECTION BB

SCALE: 1 : 100

8.5m HEIGHT ENVELOPE

COLORBOND TRIMDEK
ROOF SHEET FOR
CANOPY OVER ALFRESCO

ENVY DRAWINGS/ENGINEERING PROJECTS/Block 14, Section 102, Palmerston - Paul Bird/Block 14, Section 102, Palmerston - Paul Bird 2020/04, nt

REVISIONS

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atelier 11
Sch 2.2(a)(ii)

Client:

Sch 2.2(a)(ii)

Street:

S

BLOCK NO. SECTION:

Local Government Area:

ACT

Scale:

1 : 100 @ A3

Drawn:

JA

Checked:

FB

Sheet Issue Date:

10/10/20

Printing Date:

15/02/2021 10:14:36 PM

Project:

NEW TWO STOREY HOUSE AT

Stage:

FOR APPROVAL

Drawing Title:

SECTIONS

Job No.

2005

Dwg No.

A - 400

3

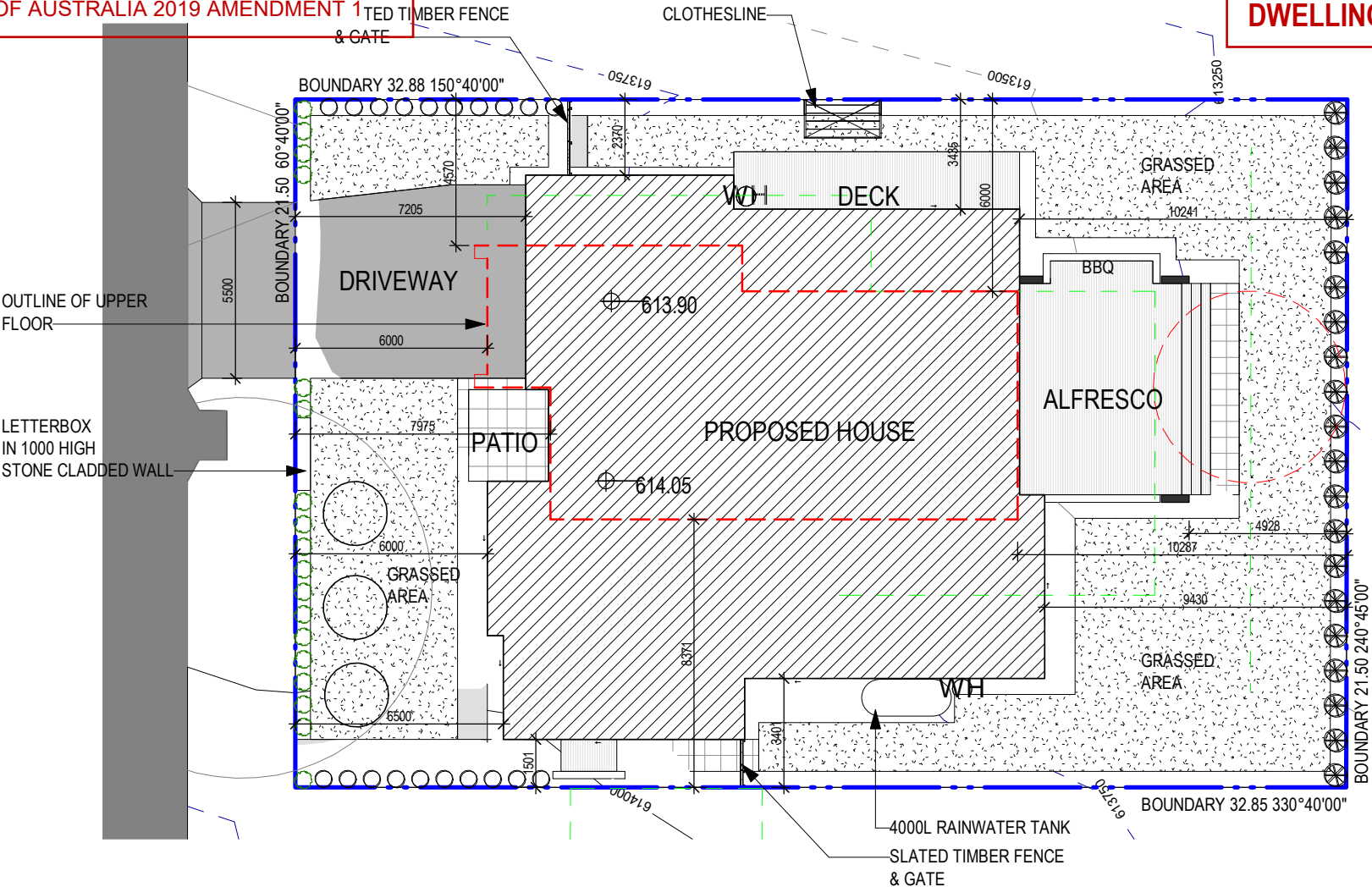
DO NOT SCALE OFF DRAWINGS. USE FIGURED DIMENSIONS. VERIFY ALL DIMENSIONS ON SITE. NOT TO BE USED OR COPIED WITHOUT PERMISSION

DO NOT SCALE OFF DRAWINGS. USE FIGURED DIMENSIONS. VERIFY ALL DIMENSIONS ON SITE. NOT TO BE USED OR COPIED WITHOUT PERMISSION

BUILDING CODE OF AUSTRALIA
BUILDING TO BE CONSTRUCTED IN
ACCORDANCE WITH THE BUILDING CODE
OF AUSTRALIA 2019 AMENDMENT 1

**NOTE: TO BE USED FOR
SINGLE RESIDENTIAL
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SHEET No.1.... OF16....



**VERIFICATION OF EXEMPT
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Under s. 135 of the *Planning &
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Regulation 2008*

Paul Thomas
Certifier Name
Lic. No. **2011390**

Thomas 17/5/2021
Certifier signature Date

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Paul Thomas
Certifier Name
Lic. No. **2011390**

1a(i) & 10a
BCA Occupancy Class

N/A
BCA Type of Construction

Issue date: 17/5/2021
Thomas
Certifier signature



SITE PLAN

INSPECTIONS

The following inspections are required on this project:

Footings	<input type="checkbox"/>	Slab/s	<input checked="" type="checkbox"/>	Floor frame	<input type="checkbox"/>
Wall frame	<input type="checkbox"/>	Roof frame	<input type="checkbox"/>	Stormwater	<input checked="" type="checkbox"/>
Pre-sheet	<input checked="" type="checkbox"/>	Final	<input checked="" type="checkbox"/>		<input type="checkbox"/>

Please provide adequate notice when booking inspections

CERTIFICATES

A Clearance Certificate from a suitably qualified person
will be required for each of the following components prior
to the issue of the Certificate of Occupancy and Use:

Structural	<input type="checkbox"/>	Survey	<input checked="" type="checkbox"/>	Termite protection	<input checked="" type="checkbox"/>
Insulation	<input checked="" type="checkbox"/>	Glazing	<input checked="" type="checkbox"/>	Wet area sealing	<input checked="" type="checkbox"/>
Truss/Framing	<input checked="" type="checkbox"/>				<input type="checkbox"/>

SURVEY CERTIFICATE REQUIRED

Provide housing siting to the Certifier at bearer &
joists or slab level before proceeding in accordance
with s. 34 of the *Building (General) Regulation 2008*

AREA SCHEDULE:

SITE AREA	706.00m ²
GROUND FLOOR : (Incl. GARAGE)	256.75m ²
FIRST FLOOR :	95.85m ²
TOTAL:	352.60m ²
ALFRESCO	39.00m ²
PATIO	7.20m ²

GLAZING & WINDOW FRAMES

Ensure that window glazing & window frames conform
to that required by the **Energy Rating Report** (or
Glazing Calculator if applicable)

The window provider is to certify that the **U-Value &
SHGC** of new windows provided conform to that
required by the **Energy Rating Report** (or Glazing Calculator)

GENERAL NOTES

- CARRY OUT ALL WORK IN COMPLIANCE WITH THE RELEVANT SAA CODES OF PRACTICE
IN THE BEST TRADESMAN-LIKE MANNER TO THE APPROVAL OF THE SUPERINTENDENT
AND AUTHORITIES HAVING JURISDICTION OVER THE WORKS INCLUDING BUT NOT
RESTRICTED TO :
 - A) ACT GOVERNMENT
 - B) BUILDING CODE OF AUSTRALIA AND THE ACT APPENDIX
 - C) ACT ELECTRICITY AND WATER
 - D) AS1684 TIMBER FRAMING CODE AND AS FURTHER SPECIFIED
- ALL DIMENSIONS MUST BE VERIFIED ON SITE BEFORE COMMENCING ANY WORK OR
MAKING ANY SHOP DRAWINGS.
- USE FIGURED DIMENSIONS ONLY. DO NOT SCALE OFF THE DRAWING.
- SURVEYOR TO CONFIRM EASEMENT LOCATIONS PRIOR TO COMMENCEMENT OF ANY
WORKS.

SUPPLEMENTARY NOTES

- 1800mm HIGH FENCING TO THE REAR AND SIDE BOUNDARIES UNLESS SHOWN
OTHERWISE ON THE DRAWINGS. FENCING ALONG THE SIDE BOUNDARIES NOT TO
EXTEND BEYOND THE FRONT BUILDING LINE.
- ALL LEVELS, SITE CUTS, GROUND LEVELS, FFLs TO BE CONFIRMED ON SITE PRIOR TO
THE COMMENCEMENT OF ANY WORKS (INCLUDING DRIVEWAY LEVELS).
- ANY DISCREPANCIES TO BE DIRECTED TO BUILDER IMMEDIATELY.
- CLOTHES DRYING AREA TO BE SCREENED FROM PUBLIC VIEW AND CONFIRMED BY
CLIENT.
- STORMWATER, WATER AND SEWER CONNECTION DETAILS TO BE CONFIRMED WHEN THE
INFORMATION IS AVAILABLE.
- INCLUSION LIST TO TAKE PRECEDENCE OVER DRAWINGS.

ENERGY RATING NOTES

- ALL ROOF/CEILINGS TO BE SARKED WITH R 1.5 RATED WOOL BLANKET AND INSULATED
WITH R 5.0 RATED INSULATION BATTS.
- ALL EXTERNAL WALLS TO BE INSULATED WITH R2.0 RATED INSULATION BATTS AND
SISALATION.
- INTERNAL WALLS BETWEEN THE GARAGE AND THE HOUSE TO BE INSULATED WITH R2.0
RATED INSULATION BATTS.
- ALL EXTERNAL TIMBER DOORS AND GAPS & CRACKS IN BUILDING TO BE SEALED.
- ALL ALUMINIUM WINDOWS & SLIDING DOORS ARE TO BE SINGLE GLAZED UNLESS
SPECIFIED AS DOUBLE GLAZED (DG) IN ENERGY ASSESSMENT REPORT PREPARED FOR
THE DEVELOPMENT TO ACHIEVE 6 STAR RATING.
- NO UNSEALED VENTED DOWNLIGHTS TO BE USED.
- SELF CLOSING DAMPERS TO ALL EXHAUST FANS.
- FLOOR SLAB TO BE WAFFLE SLAB TO STRUCTURAL ENGINEER'S DETAILS

FINISHED FLOOR LEVEL

FINISHED FLOOR LEVEL WILL BE MINIMUM 300MM ABOVE THE LOWEST POINT ON THE BLOCK.

EROSION & SEDIMENT CONTROL

EROSION AND SEDIMENT CONTROL MEASURES TO BE UNDERTAKEN IN COMPLIANCE WITH EPA
REQUIREMENTS.

BUILDING MATERIALS

ALL EXTERNAL BUILDING MATERIALS, FINISHES AND COLOURS TO BE IN ACCORDANCE WITH THE
PROVISIONS OF THE TERRITORY PLAN.

RAIN WATER TANK

A 4000 LITRES CAPACITY RAIN WATER TANK IS TO BE INSTALLED AND CONNECTED TO TOILET
FLUSHING SYSTEM & ALL EXTERNAL TAPS. 50% OR 100m² OF ROOF PLAN AREA, WHICHEVER IS
LESSER, IS TO BE CONNECTED TO THE TANK.

BUSHFIRE PROTECTION MEASURES

A BUSHFIRE ATTACK LEVEL (BAL) OF 12.5 APPLIES TO ANY DEVELOPMENT PROPOSED ON THE SITE.
ALL CONSTRUCTION MUST BE IN ACCORDANCE WITH AS3959-2009 AND THE CORRESPONDING BAL
CONSTRUCTION STANDARDS.

CUT AND FILL

THE SUM OF MAXIMUM CUT AND MAXIMUM FILL ASSOCIATED WITH BULK EARTHWORKS SHALL NOT
EXCEED 1.5 METRES TO COMPLY WITH RELEVANT HOUSING DEVELOPMENT GUIDELINES

BOUNDARY FENCE

ALL EXISTING BOUNDARY FENCE TO REMAIN IN PLACE. ALL NEW FENCE TO COMPLY WITH R24 OF THE
TERRITORY PLAN - SINGLE DWELLING HOUSING DEVELOPMENT CODE. ALL NEW FENCE TO MATCH
EXISTING AND NOT FORWARD OF BUILDING LINE

ENVY DRAWINGS/ENGINEERING PROJECT/Block 14, Section 152, Palmerston - Final Build/Block 14, Section 152, Palmerston - Final Build 2020/04, v1

REVISIONS		
#	REVISION DESCRIPTION	DATE
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Client:	Sch 2.2(a)(ii)
Street:	
S	BLOCK NO: SECTION:
Local Government Area:	ACT

Scale:	1 : 200 @ A3
Drawn:	JA
Checked:	FB
Sheet Issue Date:	10/10/20
Printing Date:	15/02/2021 10:14:10 PM

Project:	NEW TWO STOREY HOUSE AT
Stage:	FOR APPROVAL
Drawing Title:	SITE PLAN
Job No.	2005
Dwg No.	A - 010
	3

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BLOCK: 14 SECTION 152, PALMERSTON

SHEET No. ...11... OF ...16...

GENERAL NOTES

- G1 These drawings shall be read in conjunction with other consultants' drawings and specifications and with other such written instructions as may be issued during the course of the Contract. Any discrepancy shall be referred to the Engineer before proceeding with the work.
- G2 All dimensions are in millimetres, U.N.O. (unless noted otherwise).
- G3 No dimension shall be obtained by scaling the drawings.
- G4 All levels and setting out dimensions shown on the drawings shall be checked on site prior to the commencement of the work.
- G5 During construction the structure shall be maintained in a stable condition and no part shall be overstressed.
- G6 Damp-proofing & sealing details shall be in accordance with Architect's details. All joints in concrete elements shall be suitably sealed or damp-proofed.

FOUNDATIONS

- F1 Refer Slab Design Criteria for classification of site.
- F2 All foundations must be stable and uniform throughout.
- F3 Footings shall be placed centrally under walls and columns, U.N.O.

LOADING

- L1 Superimposed floor loads are generally in accordance with AS 1170.1 or as noted in Table L4.
- L2 Wind loads are in accordance with AS/NZS 1170.2 as follows:
Region : A Terrain category 3 wind classification N2
- L3 Earthquake loads are in accordance with AS 1170.4 as follows:
a = 0.08 S = 1.0 I = 1.0, U.N.O.
- L4 Live loads & additional dead loads: (to AS/NZS 1170.1)

Area subject to loading	Live Load		Add. Dead Load
	Uniform	Point	
Floors - Internal	1.50 kPa	1.80 kN	0.50 kPa
Floors - External & Garage	3.00 kPa	1.80 kN	1.00 kPa
Roof Areas	0.25 kPa	1.40 kN	0.15 kPa

MASONRY

- M1 All workmanship and materials shall be in accordance with AS 3700.
- M2 Characteristic compressive strength of masonry (f_{uc}) = 24 MPa

Durability Requirements			
Mortar	Salt Attack Resistance Grade	Built In Component	Min. Cover to Reinforcement & Tendons in Grouted Cavities
M2	Protected	R1 (Galv'd 300 g/m² each side)	5
M3	General Purpose	R3 (Galv'd 470 g/m² each side)	15
M4	Exposure	R4 (Stainless)	30

- M3 All masonry walls supporting slabs and beams shall have a pre-greased two layer galvanised steel slip joint between concrete and masonry.
- M4 All masonry walls supporting or supported by concrete floors shall be provided with vertical joints to match any control joints in the concrete.
- M5 Non load bearing walls shall be separated from concrete above by 12 mm thick closed cell polyethylene strip.
- M6 Provide vertical control joints at 8 metres maximum centres, and 4 metres maximum from corners in masonry walls, and between new & existing brickwork.
- M7 Masonry retaining walls are to be backfilled with either of the following material:
- Coarse grained soil with low silt content
- Residual soil containing stones
- Fine silty sand
- Granular materials with low clay content

REINFORCED CONCRETE

- C1 All workmanship and materials shall be in accordance with AS 3600 current edition, except where varied by the contract documents.
- C2 Concrete quality shall be as follows (subject to note C4 being satisfied):

Element	Slump mm	Max. Agg. Size mm	Cement Type	f'c at 28 Days MPa
Footings	80	20	Normal	20
Slabs on Ground	80	20	Portland	25
Suspended Floors	80	20	Type A	32

- C3 Engineer to approve any admixtures used in concrete mix.
- C4 Cover to reinforcement shall be obtained by the use of approved bar chairs. All chairs to be placed at 750 maximum centres.
- C5 Minimum clear concrete cover to reinforcement including ties and stirrups (other than residential slabs on ground or footings) shall be as follows uno.

Exposure Classification	Minimum Cover (mm)				
	Concrete Strength (f'c)				
	20 MPa	25 MPa	32 MPa	40 MPa	>50 MPa
A1	20	20	20	20	20
A2	(50)	30	25	20	20
B1	-	(60)	40	30	25
B2	-	-	(65)	45	35
C	-	-	-	(70)	50

For bracketed figures refer to AS 3600 current edition table 4.10.3.2

- C6 Residential slab on ground and footings cover requirements: (Minimum concrete grade N20)
- Unprotected ground: 40 mm
- External exposure: 40 mm
- Membrane in contact with ground: 30 mm
- Internal surface: 20 mm
- Strip & pad footing: 40 mm
- C7 All concrete shall be mechanically vibrated. Vibrators shall not be used to spread concrete.
- C8 Sizes of concrete elements do not include thickness of applied finishes.
- C9 No holes or chases other than those shown on the structural drawings shall be made in concrete members without the prior approval of the Engineer.
- C10 Construction joints where not shown shall be located to the approval of the Engineer.
- C11 Curing of all concrete is to be achieved by keeping surfaces continuously wet for a period of 3 days, and prevention of loss of moisture for a total of 7 days followed by gradual drying out. Approved sprayed on compounds may be used where no floor finishes are proposed. Polythene sheeting or wet hessian may be used if protected from wind and traffic.
- C12 Construction support propping is to be left in place where needed to avoid over stressing the structure due to construction loading. No masonry or partition walls are to be constructed on suspended levels until all propping is removed and the slab has absorbed its dead load deflection.
- C13 Conduits, pipes, etc. shall only be placed in the middle one third of slab depth and spread at not less than 3 diameters.
- C14 Reinforcement symbols :
N - Denotes deformed grade 500 normal ductility reinforcing bars to AS/NZS 4671.
R - Denotes plain round grade 250 normal ductility reinforcing bars to AS/NZS 4671.
SL - Denotes deformed grade 500 low ductility reinforcing mesh to AS/NZS 4671.
RL - Denotes deformed grade 500 low ductility reinforcing mesh to AS/NZS 4671.
L-TM - Denotes deformed grade 500 low ductility trench mesh to AS/NZS 4671.
- C15 Reinforcement is represented diagrammatically; it is not necessarily shown in true projection.
- C16 Splices in reinforcement shall be made only in positions shown or otherwise approved by the Engineer.
- C17 Fabric reinforcement shall have splices made so that the overlap, measured between the outermost transverse wires of each sheet of fabric, is not less than the spacing of those wires plus 25 mm.
- C18 Welding of reinforcement shall not be permitted unless shown on the structural drawings or approved by the Engineer.

STRUCTURAL STEEL

- S1 All workmanship and materials shall be in accordance with AS 4100, AS 1163, AS 1554.1 and AS/NZS 4600.
- S2 The structural design has been based on the following steel grades, U.N.O:
Hot rolled universal beams, columns, channels & angles:300PLUS
Circular, square & rectangular hollow sections: C350/C450LO
Cold formed open DuraGal profiles: C400/C450LO
Cold formed lipped Cee & Zed purlins: G550/G500/G450
- S3 The structural design has been based on MBPMA nominal size Cee & Zed lipped purlins. All purlin profiles shall be in accordance with the MBPMA specifications.
- S4 Qualifications of welding procedures and personnel shall conform to Section 4 of AS 1554.1. Non destructive testing of welds shall include 100% visual inspection and additional testing as shown on the drawings.
All welds shall be 6 mm continuous fillet type SP, U.N.O. All butt welds shall be complete penetration in accordance with AS 1554.1, U.N.O.
Commercial bolts to AS 1111, snug tightened
High strength structural bolts to AS 1562, snug tightened
High strength structural bolts to AS 1562, fully tensioned bearing joint to AS 1511
High strength structural bolts to AS 1562, fully tensioned friction joint to AS 1511
All bolts shall be M16 8.8/S, with a minimum of 2 bolts per connection, U.N.O.
- S7 High strength TF & TB bolts shall be installed using approved load indicator washers, or in accordance with the part turn method nominated in AS 4100.
- S8 Gusset plates shall be 10 mm thick, grade 300PLUS steel, U.N.O.
- S9 Concrete encased steelwork shall be wrapped with SL41 fabric and shall have a minimum of 50 mm cover, U.N.O.
- S10 Steelwork not encased shall have the following surface treatment :

Exposure Classification	Steelwork Protection Required
A1 / A2	Power tool clean to AS1627 Class 1 1 Coat Alkyd Primer (Zinc Phosphate)
B1	Abrasive blast to AS1627 Class 2.5 1 Coat Inorganic Zinc Silicate
B2	Hot Dipped Galvanised to AS4680

- S11 Where sealed tube members are hot dip galvanised, the fabricator shall provide drill holes as necessary.
- S12 All transport and erection damage, site welds etc., shall be reinstated to an equivalent finish to adjacent steelwork

SITE PREPARATION FOR SLABS ON GROUND

- P1 Strip topsoil containing organic matter. Proof roll fill sub grade and remove any soft zones.
- P2 Where additional fill is required to the underside of slabs on ground, non cohesive materials such as sand and gravel dust shall be placed by "controlled" compaction in horizontal layers of 200 mm (loose) maximum depth. This fill shall be compacted to at least 95% of Standard Maximum Dry Density (SMDD).
- P3 For slabs on ground, sand 50 mm approximate thickness is to be spread as a levelling layer and well watered down.
- P4 Damp-proofing membrane unpunctured and taped at laps, is to be placed over the sand, sufficient membrane being provided at edges to return under brickwork. Where no brickwork, tape membrane to side of footing below ground.

FOUNDATION MAINTENANCE

FOUNDATION SOILS : All soils are affected by water. Silts are weakened by water and some sands can settle if heavily watered, but most problems arise on clay foundations. Clays swell and shrink due to changes in moisture content and the potential amount of the movement is implied in the site classification in Australian Standard AS2870, which is specified as follows:

- A Stable (Non-reactive).
S Slightly Reactive.
M Moderately Reactive.
H Highly Reactive.
E Extremely Reactive.

CLASS A & S SITES : Sands, silts and clays shall be protected from becoming extremely wet by adequate attention to site drainage and prompt repair of plumbing leaks.

CLASS M, H & E SITES : Sites classified as M, H, or E shall be maintained at essentially stable moisture conditions and extremes of wetting and drying prevented. This will require attention to the following :

Drainage of the site : The site shall be graded or drained so that water cannot pond against or near the house. The ground immediately adjacent to the house shall be graded to a uniform fall of 50 mm minimum away from the house over the first metre. The sub floor space for houses with suspended floors shall be graded or drained to prevent ponding where this may affect the performance of the footing system. The site drainage requirements shall be maintained for the economic life of the building.

Limitations on gardens : The development of the gardens shall not interfere with the drainage requirements or the sub floor ventilation and weep hole drainage systems. Garden beds adjacent to the house should be avoided. Care should be taken to avoid over watering of gardens close to the house footings.

Restrictions on trees and shrubs : Planting of trees should be avoided near the foundation of a house or neighbouring house on reactive sites as they can cause damage due to drying of the clay at substantial distances. To reduce, but not eliminate, the possibility of damage, tree planting should be restricted to a distance from the house of :

- 1.50 x mature height for Class E sites
1.00 x mature height for Class H sites
0.75 x mature height for Class M sites

Where rows or groups of trees are involved, the distance from the building should be increased. Removal of trees from the site can also cause similar problems.

Repair of leaks : Leaks in plumbing, including storm water and sewerage drainage should be repaired promptly.

The level to which these measures are implemented depends on the reactivity of the site. The measures apply mainly to masonry houses and masonry veneer houses. For frame houses clad with timber or sheeting, lesser precautions may be appropriate.

BONDEK/CONDECK FORMWORK

- B1 U.N.O. BONDEK/CONDECK PANELS SHALL BE 1.00Mmm BMT
- B2 PANELS ARE TO BE SECURELY FIXED OR HELD DOWN TO PREVENT DISPLACEMENT DUE TO CONSTRUCTION LOADING OR WIND UPLIFT PRIOR TO CONCRETING
- B3 FIX PANELS TO STEELWORK BY PUDDLE WELDING DRIVE PINS OR OTHER SUITABLE METHODS. SLIP JOINTS SHALL BE LOCATED AS SHOWN
- B4 FIXING TO MASONRY IS NOT NECESSARY PROVIDED CONCRETE IS PLACED IMMEDIATELY AFTER PANELS ARE LAID. TOP COURSE OF BRICKWORK IS TO BE STRAIGHT AND LEVEL. IF REQUIRED, PROVIDE LAYER OF SMOOTH HARD MORTAR SLIP JOINTS SHALL BE PROVIDED AT ALL MASONRY U.N.O.

- B5 BEFORE CONCRETE IS PLACED, ANY ACCUMULATED DEBRIS, GREASE OR ANY OTHER SUBSTANCE WILL NEED TO BE REMOVED TO ENSURE CLEAN BONDING SURFACE. ANY PONDED RAINWATER SHOULD BE REMOVED BY BLOWING OR SWEEPING
- B6 FASTENING OF SIDE LAP JOINTS SHALL BE IN ACCORDANCE WITH LYSAGHT PUBLICATIONS, AND GENERALLY ONE No. 10-24x16mm SELF-DRILLING TAPPING SCREW IS REQUIRED MID-SPAN FOR SUPPORT SPACING OF 2750mm OR GREATER. FOR POINT LOADS RATINGS OR EXPOSED SOFFITS ADDITIONAL FIXING MAY BE REQUIRED
- B7 U.N.O PROPPING SHALL BE IN ACCORDANCE WITH LYSAGHT PUBLICATIONS
- B8 PROPS SHALL NOT BE REMOVED UNTIL CONCRETE HAS REACHED SUFFICIENT STRENGTH

LEGEND

	DENOTES LOAD BEARING BRICK WALL OVER
	DENOTES CORE FILLED BLOCK WALL OVER
	DENOTES NON LOAD BEARING WALL OVER
	DENOTES NON LOAD BEARING WALL UNDER
	DENOTES LOAD BEARING MASONRY WALL UNDER
	DENOTES LOAD BEARING 190 DINCEL WALL
	DENOTES LOAD BEARING STUD WALL OVER
	DENOTES SLAB PENETRATION
	DENOTES SLAB STEP DEPTH
	DENOTES MINIMUM SLAB DEPTH
	DENOTES SLAB DATUM
SB1(-150)	DENOTES STEEL BEAM 150mm BELOW SLAB DATUM
	DENOTES SAWN JOINT. REFER TO DETAILS.
	DENOTES KEY JOINT. REFER TO DETAILS.
	DENOTES DOUBLE STUD
	DENOTES TRIPLE STUD
	DENOTES F11x4.5 THICK PLYWOOD SHEETING
	STRUCTURAL BRACING. REFER TO TIMBER FRAMING CODE FOR FIXING.
	DENOTES 30x0.8 METAL STRAP REFER TO TIMBER FRAMING CODE AS1684 FOR FIXING
	DENOTES CONTINUOUS STEEL COLUMN OVER
	DENOTES STEEL COLUMN UNDER
	DENOTES STEEL COLUMN UNDER & OVER

VERIFICATION OF EXEMPT DEVELOPMENT STATUS

Under s. 135 of the Planning & Development Act 2007 and s. 20, schedule 1 of the Planning & Development Regulation 2008

Paul Thomas
Certifier Name
Lic. No. 2011390

Thomas 17/5/2021
Certifier signature Date

This work still requires building approval under the Building Act 2006 and the Building (General) Regulation 2008

BUILDING APPROVAL
Issued under s. 28 of the Building Act 2004

Paul Thomas
Certifier Name
Lic. No. 2011390

1a(i) & 10a
BCA Occupancy Class

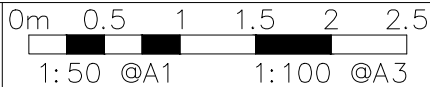
N/A
BCA Type of Construction

Issue date: 17/5/2021

Thomas
Certifier signature



UNIT 14 / 160 LYSAGHT STREET MITCHELL ACT 2911
WWW.ACTCE.COM.AU - OFFICE@ACTCE.COM.AU - 02 6103 0671



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REV	REVISION	DATE	DESIGNED	DRAWN	APPROVED
A	FOR CC	20.01.2021	A.N	U.H	XX

CLIENT:

AQ HOMES

PROJECT:

NEW RESIDENCE

SITE ADDRESS:

SCALE:

1:100

PROJECT No.: 21-047

REVISION: X

DRAWING TITLE:

GENERAL NOTES

DWG No.:

S000

ELEMENT	STRENGTH f _c	MAX SIZE AGG. mm	SLUMP mm	CEMENT TYPE	ADMIXTURE
CONCRETE QUALITY					
FOOTINGS	20	20	80	GP	-
PIERS	20	20	80	GP	-
WAFFLE POD SLAB	25	20	80	GP	-

REFER TO GENERAL NOTES FOR REINFORCEMENT COVER

FOOTING SCHEDULE			
MARK	DESCRIPTION	SIZE	COMMENTS
TH1	THICKENING	325 D x 600 x 600 W	MASS CONCRETE
TH2	THICKENING	325 D x 600 x 1200 W	MASS CONCRETE
EB1	EDGE BEAM	REFER DETAIL	REFER DETAIL
EB2	EDGE BEAM	REFER DETAIL	REFER DETAIL
EB3	EDGE BEAM	REFER DETAIL	REFER DETAIL
DEB1	DEEP EDGE BEAM	REFER DETAIL	REFER DETAIL
DEB2	DEEP EDGE BEAM	REFER DETAIL	REFER DETAIL
DEB3	DEEP EDGE BEAM	REFER DETAIL	REFER DETAIL
IB1	INTERNAL BEAM	REFER DETAIL	REFER DETAIL
IB2	INTERNAL BEAM	REFER DETAIL	REFER DETAIL
IB3	INTERNAL BEAM	REFER DETAIL	REFER DETAIL
BP1	Ø450 MASS CONCRETE PIER TO 200 kPa END BEARING CAPACITY BEARING CAPACITY IS TO BE INSPECTED & APPROVED BY GEOTECH ENG.		

NOTE:
FOOTING DESIGNED FOR CLASS 'M'
BUILDER TO CONFIRM SITE CLASSIFICATION BEFORE COMMENCEMENT OF WORK

PIERING REQUIREMENT

- IF EDGE BEAM DOES NOT BEAR ON NATURAL GROUND
PROVIDE Ø300 MASS CONCRETE PIER AS PER BORED
PIER NOTE ON THIS PAGE.
- IF INTERNAL SLAB BEAR ON MORE THAN 300mm FILL
PROVIDE PIERS @ 2M CTRS, 1M INTO NATURAL GROUND

NOTE

- THIS DESIGN IS BASED ON NO FILL PAST BUILDING FACADE.
ADVISE OUR OFFICE OTHERWISE BEFORE
COMMENCEMENT OF WORK.

BORED PIER NOTE

BORED PIERS SHALL BE USED IN ACCORDANCE WITH
THE FOLLOWING:
o SET OUT AS PER THE ADJACENT PLAN.
o FOUNDED OFF **VERY STIFF CLAY** THAT IS UNIFORM
& STABLE THROUGHOUT.

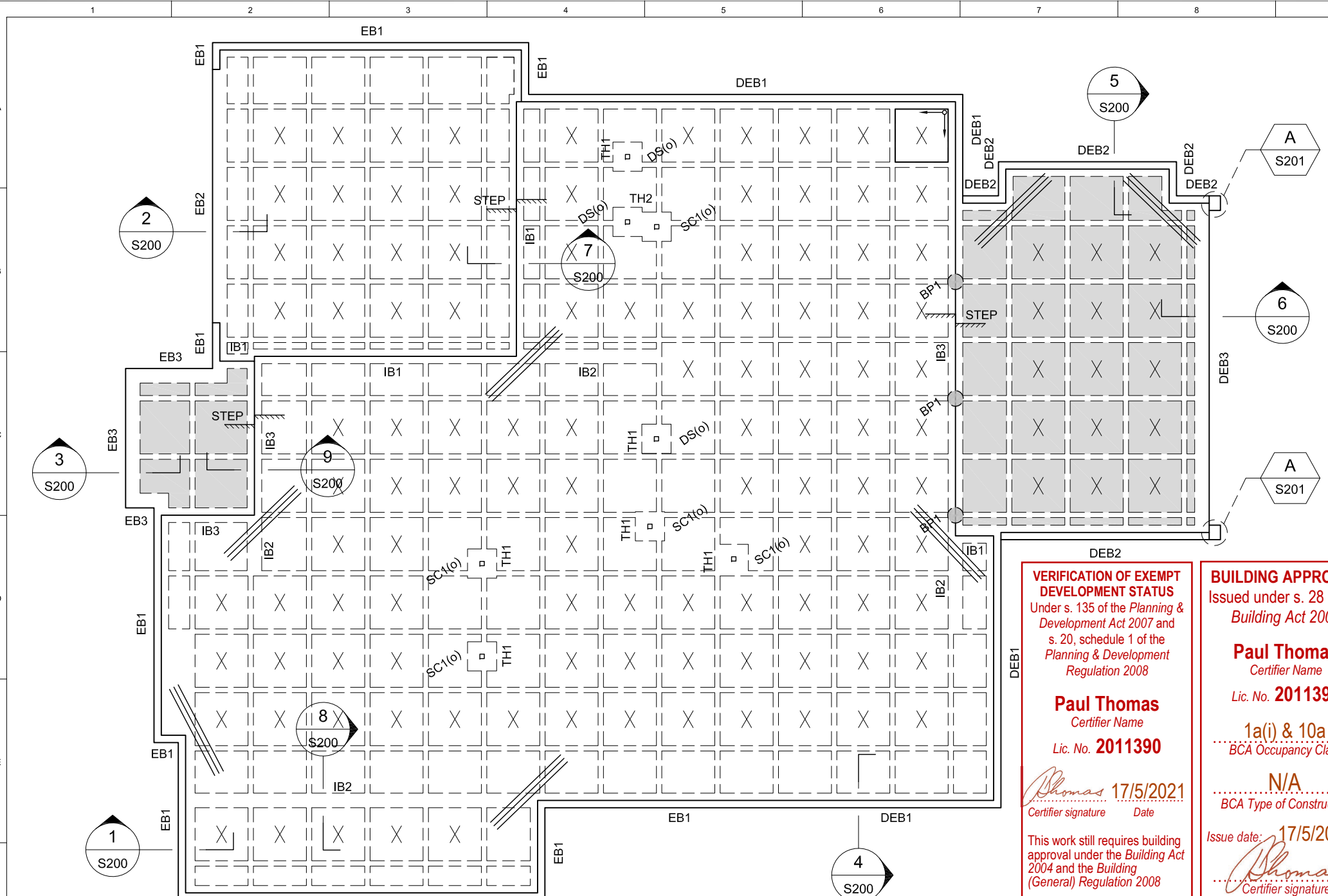
WAFFLE SLAB NOTES

100 THICK SLAB REINFORCED WITH **SL82 MESH TOP**
CONTINUOUS THROUGHOUT INCLUDING ANY EXTRAS
AS NOTED ON PLAN OR IN DETAILS.

SITE PREPARATION SHALL BE CARRIED OUT IN
ACCORDANCE WITH THE GENERAL NOTES &
CURRENT EDITION OF AS2870 - RESIDENTIAL SLABS &
FOOTING CODE.

REFER TO GENERAL NOTES FOR CONCRETE COVERS

EB1 TO BEAR ON NATURAL GROUND OR BORED
PIERS AT ALL TIMES.



WAFFLE POD SLAB PLAN

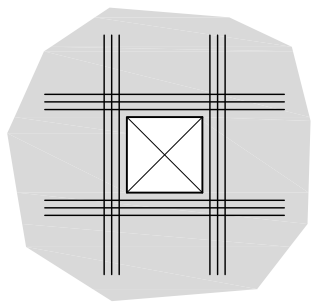
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NOTES:

- REFER TO DRAWING S200 FOR FOOTING & SLAB DETAILS
- ALL FOOTINGS TO BEAR ON SAME STRATA & ON NATURAL SOLID GROUND
- ALL EXTERNAL SLABS TO BE 100 THICK WITH SL82 FABRIC IN TOP, 30 COVER
- PROVIDE CONTINUOUS VAPOR BARRIER OR DAMP-PROOFING MEMBRANE
OVER 50mm SAND UNDER ALL SLABS ACCORDING TO THE BCA FIG 3.2.2.3
- ARTICULATE ALL BRICKWORK & DRAINAGE TO BCA
- BUILDER TO REPORT SITE CONDITION TO STRUCTURAL ENGINEER AFTER
THE SITE CUT & FILL IS COMPLETE
- WHERE ADDITIONAL FILL IS REQUIRED TO THE UNDERSIDE OF SLABS ON
GROUND, NON COHESIVE MATERIAL SUCH AS SAND AND GRAVEL DUST
SHALL BE PLACED BY "CONTROLLED" COMPACTION IN HORIZONTAL LAYERS
OF 200mm (loose) MAXIMUM DEPTH. THIS FILL SHALL BE COMPACTED TO AT
LEAST 95% OF STANDARD MAXIMUM DRY DENSITY (SMDD).

3 N12-2000 LONG (75 SPACING)
TRIMMERS BARS AT ALL RE-ENTRANT
CORNERS, TIED TO UNDERSIDE OF
TOP REINFORCEMENT.

TYPICAL SLAB TRIMMER DETAILS



PROVIDE 3 N12 BARS TOP
EXTEND 600 MIN. PAST EACH
EDGE OF THE PENETRATION.
APPLY TO LARGER THAN
150 x 150 PENETRATION.

SLAB PENETRATION TRIMMER

SLAB RE-ENTRANT CORNER TRIMMER

LEGEND

- DENOTES LOCATION OF FULL 225 DEEP PODS.
POD SIZE: 1090 x 1090 (CUT PODS AS REQUIRED)
- DENOTES LOCATION OF MODIFIED 225 DEEP PODS.
POD SIZE: 1090 x 1090 (CUT PODS AS REQUIRED)
- DENOTES LOCATION OF 150 DEEP PODS.
POD SIZE 1090 x 1090 (CUT PODS AS REQUIRED)
- DENOTES LOCATION OF MODIFIED 150 DEEP PODS.
POD SIZE: 1090 x 1090 (CUT PODS AS REQUIRED)
- POD LAYOUT STARTING POINT

STEEL & TIMBER MEMBER SCHEDULE

MARK	DESCRIPTION	SIZE	COMMENTS
DS	DOUBLE STUD	2/90 x 45 MGP10	
SC1	STEEL COLUMN	89 x 89 x 3.5 SHS	
WSC	WALL STIFFENER COLUMN	200 x 100 x 6 SHS	
TB1	TIMBER BEAM	300 x 45 LVL	
TB2	TIMBER BEAM	300 x 45 LVL	
TB3	TIMBER BEAM	2/300 x 45 LVL	
TB4	TIMBER BEAM	300 x 63 LVL	
TB5	TIMBER BEAM	2/360 x 45 LVL	
TB6	TIMBER BEAM	300 x 45 LVL	
TB7	TIMBER BEAM	2/300 x 45 LVL	
TB8	TIMBER BEAM	200 x 45 LVL	M12 @ 600 IN BRICKWORK
TB9	TIMBER BEAM	200 x 45 LVL	
TB10	TIMBER BEAM	300 x 45 LVL	
SB1	STEEL BEAM	310UB46	
SB2	STEEL BEAM	310UB46	
SB3	STEEL BEAM	300 PFC	
SB4	STEEL BEAM	250 PFC	
SB5	STEEL BEAM	250 PFC	
SB6	STEEL BEAM	200 PFC	
SB7	STEEL BEAM	310UC96	
SB8	STEEL BEAM	150UB14 2000 LONG	
L1	STEEL LINTEL	380 PFC + 200 x 10 FLAT	350mm MIN. BEARING
BJ1	BALCONY JOIST BY FRAMING COMPANY		
FJ1	FLOOR JOIST BY FRAMING COMPANY		

NOTE:

TRUSS LAYOUT TO BE FORWARDED TO ACT CONSULTING ENGINEERS BEFORE COMMENCEMENT OF WORK ON SITE

DO NOT LOAD INTERNAL WALLS WITHOUT PERMISSION OF A STRUCTURAL ENGINEER

TIMBER TRUSSES, ROOF BRACING, WALL FRAMING, LINTELS
WALL BRACING AND EXISTING ROOF SUPPORT TRUSSES BY FRAMING COMPANY.

NOTE:

ARCHITECT/ BUILDER TO CHECK THE CLEARANCE, LEVELS AND LAYOUT OF STRUCTURAL STEEL MEMBERS BEFORE COMMENCEMENT ON SITE

Sch 2.2(a)(ii)

VERIFICATION OF EXEMPT DEVELOPMENT STATUS

Under s. 135 of the Planning & Development Act 2007 and s. 20, schedule 1 of the Planning & Development Regulation 2008

Paul Thomas

Certifier Name

Lic. No. 2011390

Thomas 17/5/2021
Certifier signature Date

This work still requires building approval under the Building Act 2004 and the Building (General) Regulation 2008

BUILDING APPROVAL

Issued under s. 28 of the Building Act 2004

Paul Thomas

Certifier Name

Lic. No. 2011390

1a(i) & 10a

BCA Occupancy Class

N/A

BCA Type of Construction

Issue date: 17/5/2021

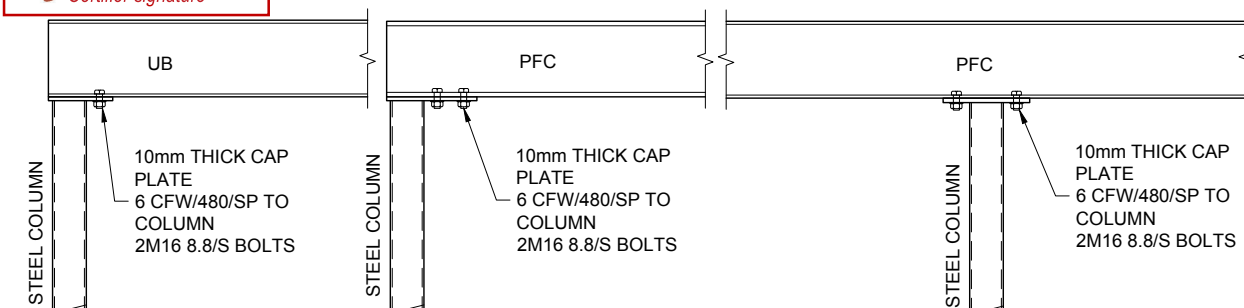
Thomas
Certifier signature

UPPER FLOOR TIMBER MARKING PLAN

1:100

NOTE:

ALL LVL TIMBER MEMBERS MUST BE WEATHER PROTECTED.
ADVISE OUR OFFICE OTHERWISE



TYPICAL COLUMN CAP DETAILS

1:20

BEAMS TO BE LOCATED CENTRALLY OVER COLUMN TYPICAL
ALTERNATIVELY SITE WELD USING 6 CFW/480/SP ALL ROUND

CLIENT:

AQ HOMES

PROJECT:

NEW RESIDENCE

SITE ADDRESS:

SCALE:

1:100

PROJECT No.:

21-047

DATE:

20.01.2021

REVISION:

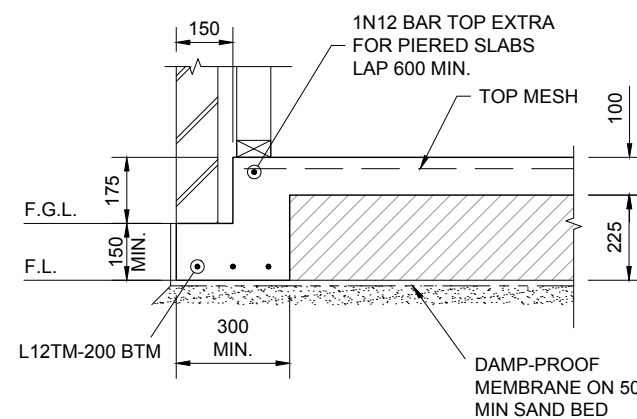
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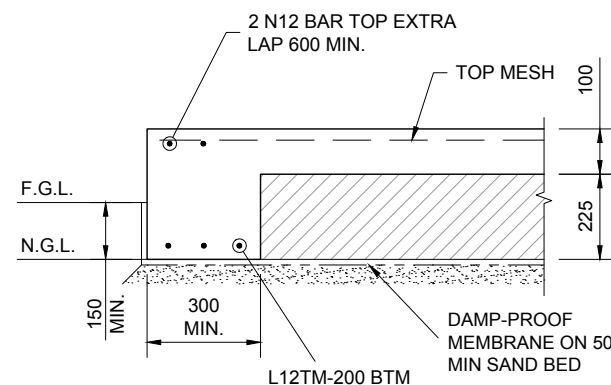
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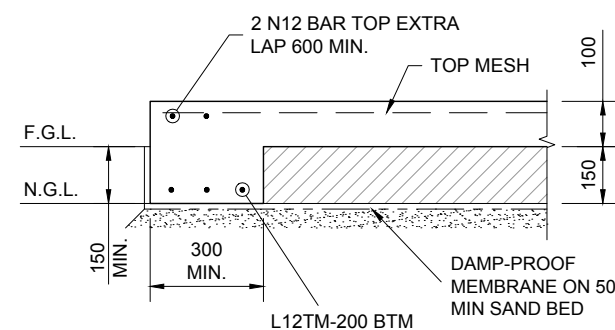
UPPER FLOOR
TIMBER MARKING PLAN



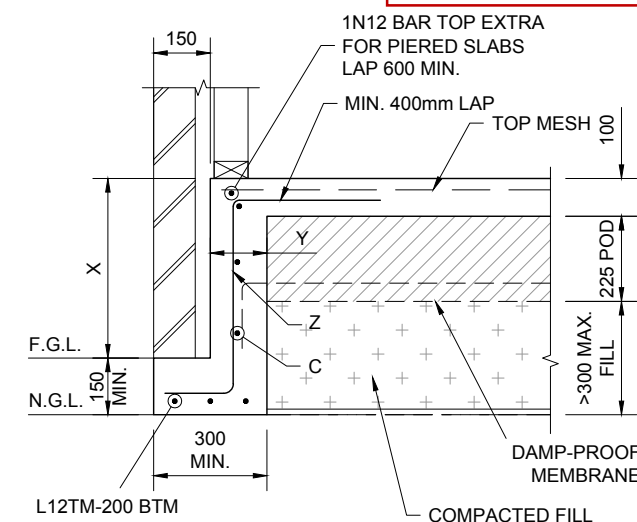
TYPICAL 'EB1' DETAIL
SECTION 1
1:20 S100



TYPICAL 'EB2' DETAIL
SECTION 2
1:20 S100



TYPICAL 'EB3' DETAIL
SECTION 3
1:20 S100



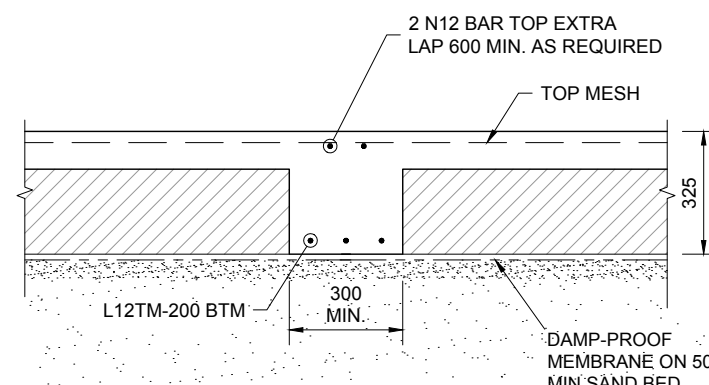
TYPICAL 'DEB1' DETAIL
SECTION 4
1:20 S100

LEGEND

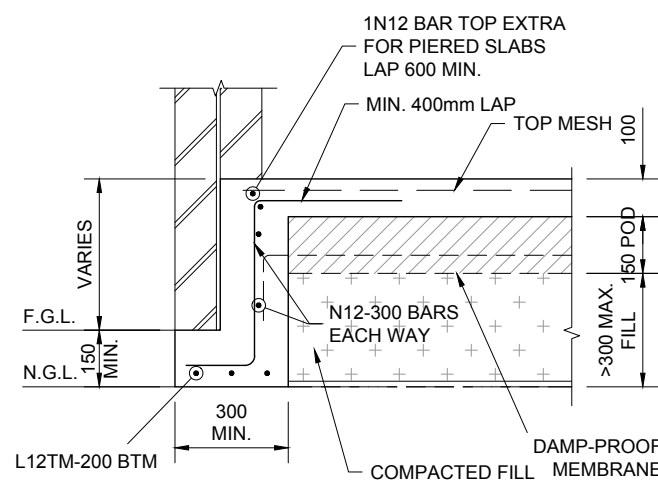
F.G.L. FINISHED GROUND LEVEL
N.G.L. NATURAL GROUND LEVEL
F.L. FILL LINE

STYRENE VOID FORMER

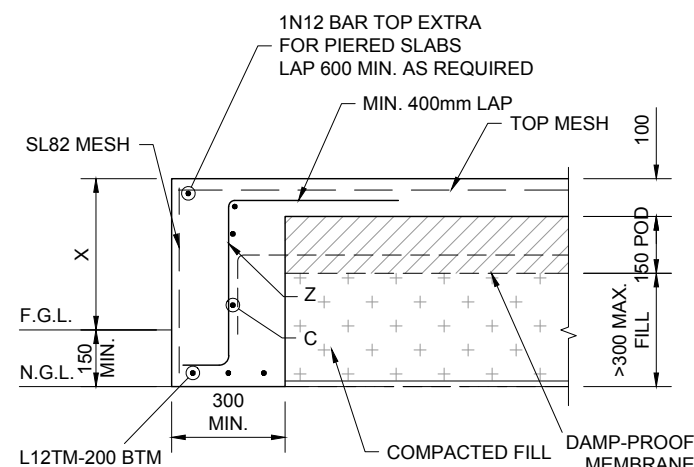
X	Y	Z	C
$X \leq 200$	150	NOT REQUIRED	NOT REQUIRED
$201 \leq X \leq 400$	200	NOT REQUIRED	NOT REQUIRED
$401 \leq X \leq 1200$	150	N12-300	N12-300
$1201 \leq X \leq 1800$	200	N12-200	N12-300



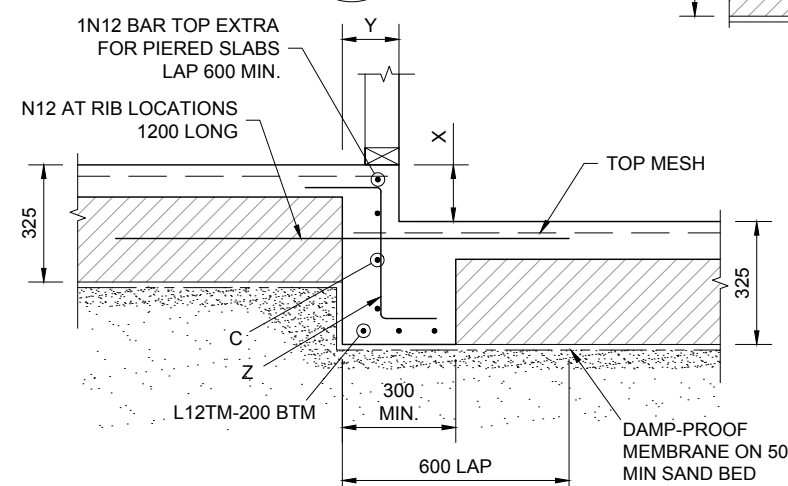
TYPICAL 'IB2' DETAIL
SECTION 8
1:20 S100



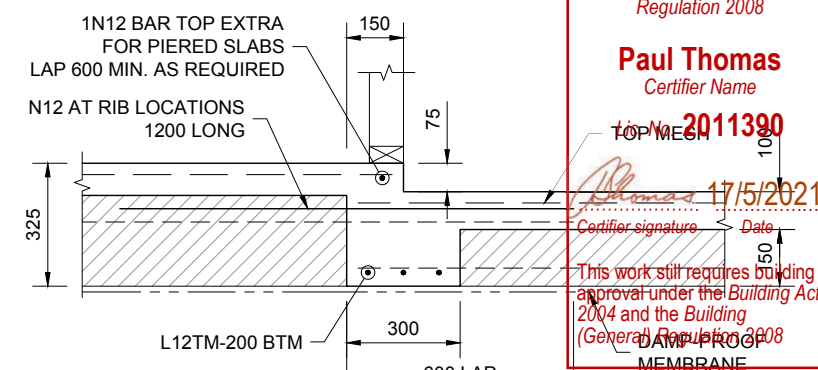
TYPICAL 'DEB2' DETAIL
SECTION 5
1:20 S100



TYPICAL 'DEB3' DETAIL
SECTION 6
1:20 S100



TYPICAL 'IB1' DETAIL
SECTION 7
1:20 S100



TYPICAL 'IB3' DETAIL
SECTION 9
1:20 S100

VERIFICATION OF EXEMPT DEVELOPMENT STATUS
Under s. 135 of the Planning & Development Act 2007 and s. 20, schedule 1 of the Planning & Development Regulation 2008

Paul Thomas
Certifier Name

Lic. No. 2011390

17/5/2021
Certifier signature Date

This work still requires building approval under the Building Act 2004 and the Building (General) Regulation 2008

BUILDING APPROVAL
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Paul Thomas
Certifier Name

Lic. No. 2011390

1a(i) & 10a
BCA Occupancy Class

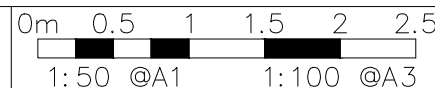
N/A
BCA Type of Construction

Issue date: 17/5/2021

17/5/2021
Certifier signature



UNIT 14 / 160 LYSAGHT STREET MITCHELL ACT 2811
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REV	REVISION	DATE	DESIGNED	DRAWN	APPROVED	CLIENT
A	FOR CC	03.03.2021	A.N	U.H	XX	AQ HOMES

AQ HOMES

NEW RESIDENCE

SITE ADDRESS:

SCALE:

1:100

PROJECT No.:

21-047

DRAWING TITLE:

WAFFLE POD SLAB DETAILS

DATE:

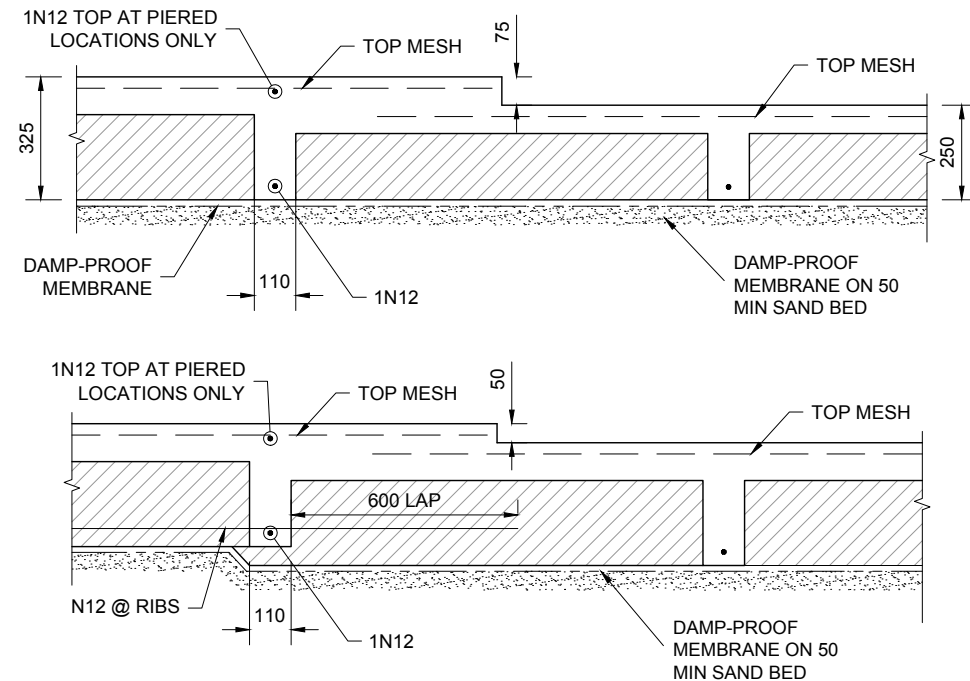
03.03.2021

REVISION:

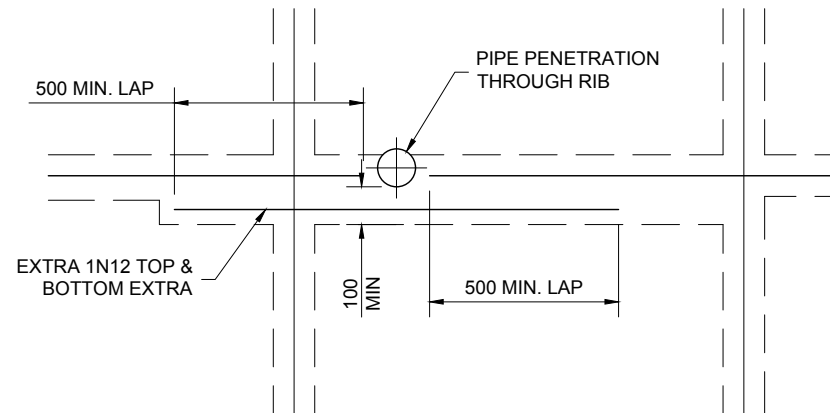
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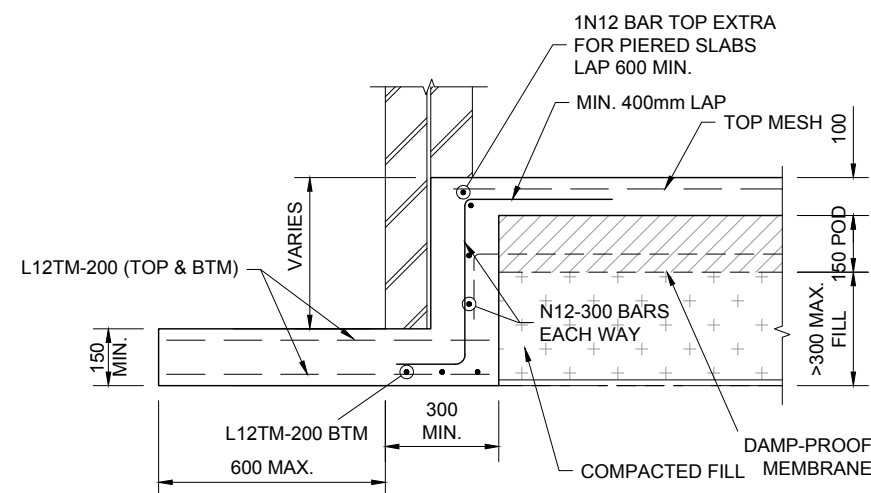
S200

**TYPICAL SET DOWN DETAIL IF REQUIRED**

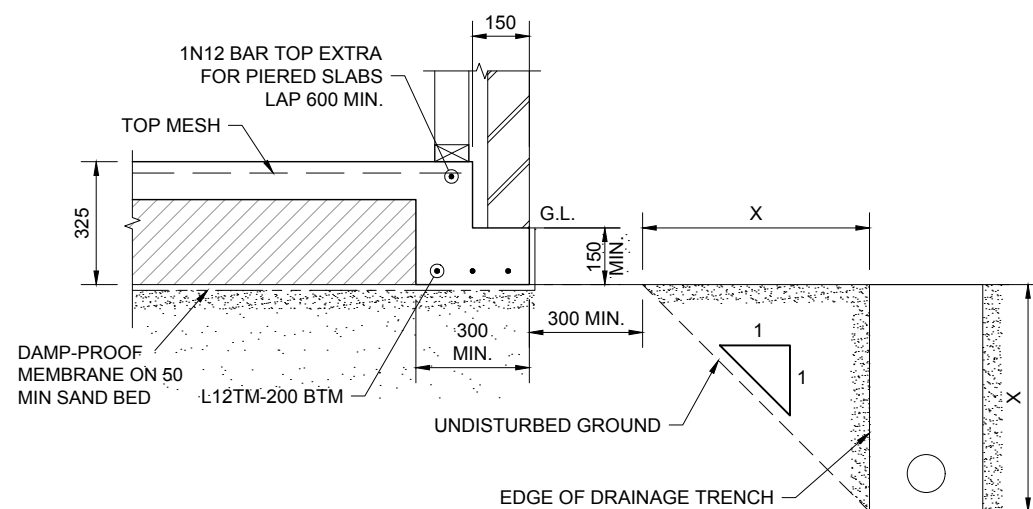
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**WAFFLE POD DETAILS AT PENETRATION**

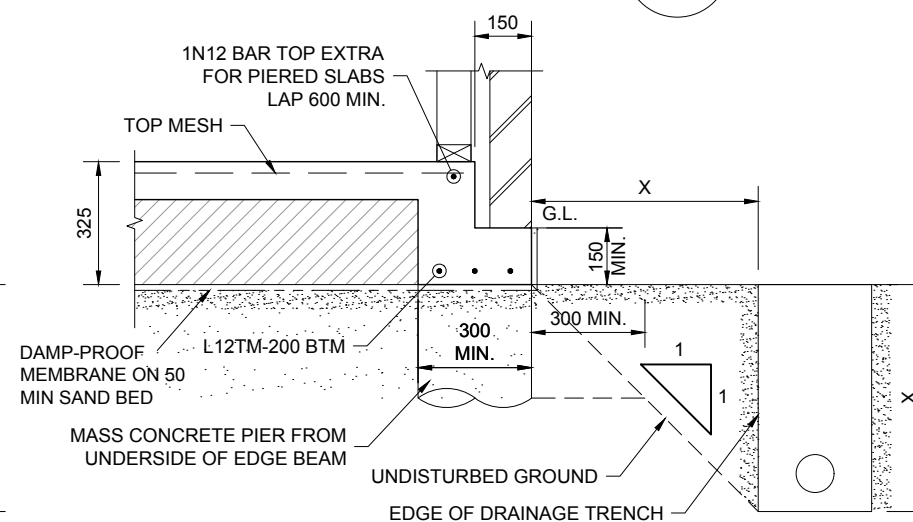
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**DETAIL**

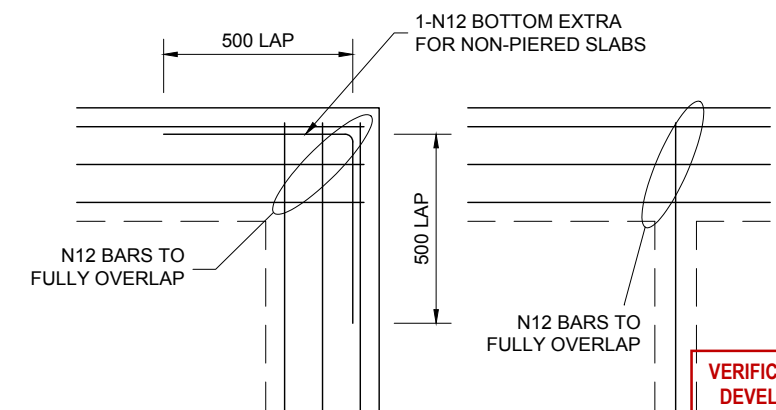
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A
S100**PREMISSIBLE DRAINAGE ZONE**

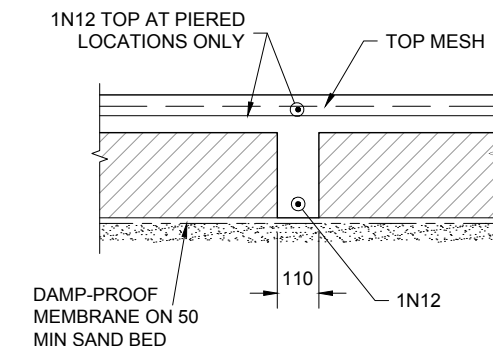
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**ALTERNATE DRAINAGE ZONE**

1:20

**WAFFLE POD LAP DETAILS**

1:20

**TYPICAL STIFFENING RIB**

1:20

225 THICK POD FIXED WITH STAR PICKET AT 2400 CTRS DRIVEN MIN. 300 FIRM GROUND

TYPICAL DEEP EDGE FORMWORK

1:20

VERIFICATION OF EXEMPT DEVELOPMENT STATUS
Under s. 135 of the *Planning & Development Act 2007* and s. 20, schedule 1 of the *Planning & Development Regulation 2008*

Paul Thomas
Certifier Name

Lic. No. **2011390**

Thomas 17/5/2021
Certifier signature Date

This work still requires building approval under the *Building Act 2004* and the *Building (General) Regulation 2008*

BUILDING APPROVAL
Issued under s. 28 of the *Building Act 2004*

Paul Thomas
Certifier Name

Lic. No. **2011390**

1a(i) & 10a
BCA Occupancy Class

N/A
BCA Type of Construction

Issue date: 17/5/2021

Thomas
Certifier signature

F.G.L.

VERIFICATION OF EXEMPT
DEVELOPMENT STATUS
Under s. 135 of the *Planning &
Development Act 2007* and
s. 20, schedule 1 of the
*Planning & Development
Regulation 2008*

Paul Thomas
Certifier Name

Lic. No. **2011390**

Thomas 17/5/2021
Certifier signature Date

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approval under the *Building Act
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(General) Regulation 2008*

BUILDING APPROVAL
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Building Act 2004

Paul Thomas
Certifier Name

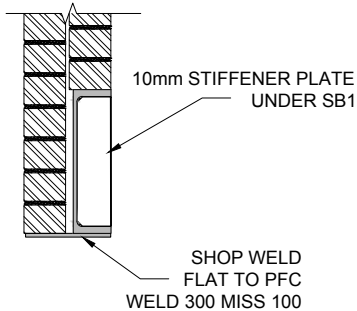
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1a(i) & 10a
BCA Occupancy Class

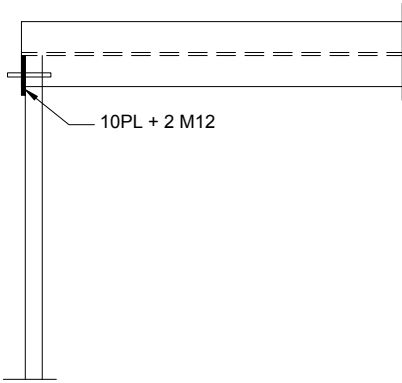
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BCA Type of Construction

Issue date: 17/5/2021

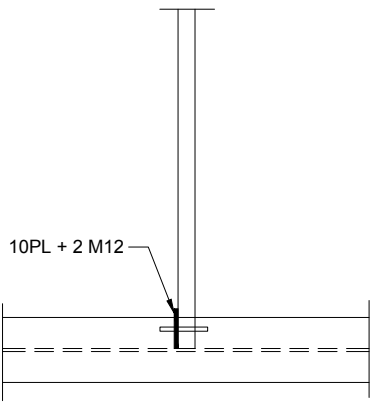
Thomas
Certifier signature



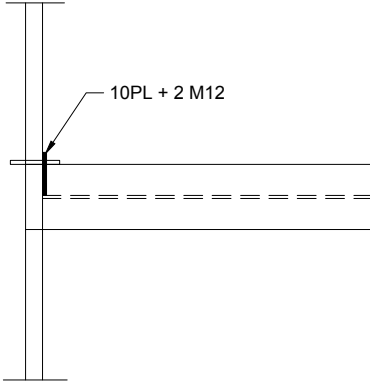
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S101



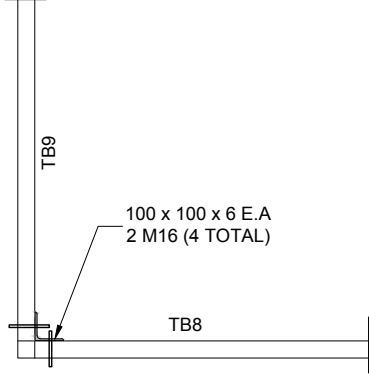
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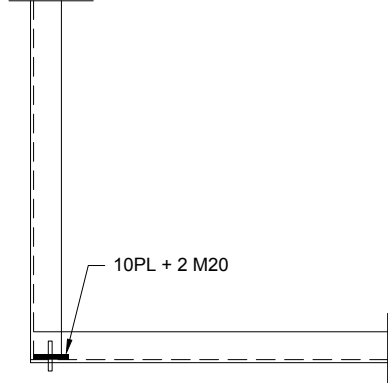
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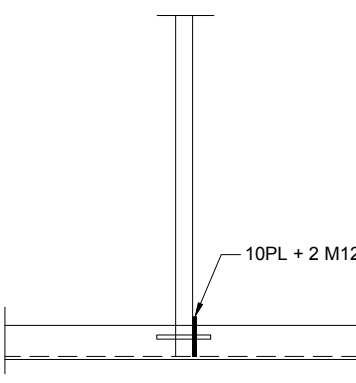
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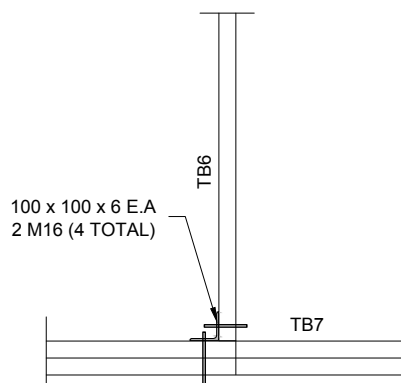
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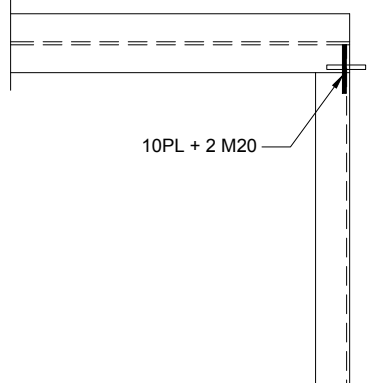
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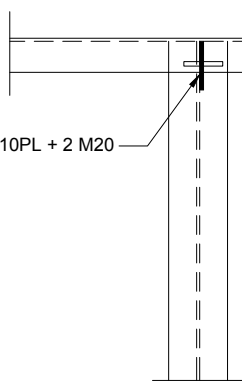
DETAIL
1:20
F
S101



DETAIL
1:20
G
S101



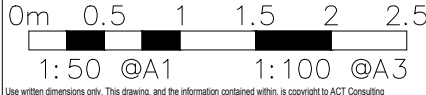
DETAIL
1:20
H
S101



DETAIL
1:20
I
S101



UNIT 14 / 160 LYSAGHT STREET MITCHELL ACT 2911
WWW.ACTCE.COM.AU - OFFICE@ACTCE.COM.AU - 02 6103 0671



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REV	REVISION	DATE	DESIGNED	DRAWN	APPROVED
A	FOR CC	20.01.2021	A.N	U.H	XX

CLIENT:

AQ HOMES

PROJECT:

NEW RESIDENCE

SITE ADDRESS:

[Redacted Address]

SCALE:

1:100

PROJECT No.: 21-047

DATE:

20.01.2021

REVISION: X

DWG No.:

S202

DRAWING TITLE:

DETAILS & SECTIONS

GENERAL NOTES

- 1. EXISTING SEWER LINES TO BE LOCATED ON SITE PRIOR TO COMMENCEMENT OF WORK.
- 2. ALL PLUMBING AND DRAINAGE TO BE INSTALLED IN ACCORDANCE WITH AS3500.
- 3. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE CANBERRA SEWERAGE AND WATER SUPPLY REGULATIONS.
- 4. THIS PLAN TO BE READ IN CONJUNCTION WITH APPROVED ARCHITECTURAL PLANS AND SPECIFICATIONS.
- 5. INSPECTION SHAFT AT PROPERTY BOUNDARY TO BE IN ACCORDANCE WITH PLUMBING NOTE No3.
- 6. ORG LEVELS TO BE IN ACCORDANCE WITH AS3500.2.2 CLAUSE 4.6.6.6 & 4.6.6.7 & PLUMBING NOTE 22.
- 7. UNPLASTICISED POLYVINAL CHLORIDE PIPE DRAINS (UPVC) TO BE CONSTRUCTED IN ACCORDANCE WITH AS2032 AND THE CANBERRA SEWERAGE AND WATER SUPPLY REGULATIONS.
- 8. TEMPERED HOT WATER REQUIRED AT ALL ABLUTION FIXTURES.
- 9. PLUMBING AND DRAINAGE TO CONFORM TO ACTPLA PLUMBING NOTES 22 AND 23.

DOWN PIPE NOTES

- 1. DOWNPIPES MUST BE SECURELY FIXED TO WALLS.
- 2. THE SPACING BETWEEN DOWNPIPES MUST NOT MORE THAN 12 M.
- 3. DOWNPIPES MUST BE FIXED AS CLOSE AS POSSIBLE TO VALLEY GITTERS AND,IF THE DOWNPIPE IS MORE THAN 1.2M FROM VALLEY,PROVISION FOR OVERFLOW MUST BE MADE.
- 4. WHERE HIGH-FRONTED GUTTERS ARE INSTALLED, PROVISION MUST BE MADE TO AVOID ANY OVERFLOW FROM FLOWING BACK INTO ROOF OR BUILDING STRUCTURE BY INSTALLING SLOTTED GUTTERS OR THE LIKE.
- 5. DOWNPIPES MUST-
 - A. BE COMPATIBLE WITH OTHER ROOFING MATERIALS USED IN THE ROOFING SYSTEM IN ACOORDANCE WITH 3.5.3(C) OF THE B.C.A
 - B. BE SELECTED IN ACCORDANCE WITH APPROPRIATE EAVES GUTTER SECTION AS SHOWN IN TABLE 3.5.2.2 OF THE B.C.A.

SANITARY FIXTURES

1	WC	5
2	BATH	0
3	BASIN	4
4	SHOWER	5
5	KITCHEN SINK	3
6	LAUNDRY TROUGH	2
7	URINAL	0
8	CLEANER'S SINK	0
9	BIDET	0

INTERIM PLAN

ISSUE	DESCRIPTION	DATE	CHECKED
G	IP	21.10.2020	
F	IP	19.10.2020	
E	IP	13.10.2020	
D	IP	30.3.2017	
C	IP	27.3.2017	
B	IP	24.3.2017	
A	IP	17.3.2017	

Sch 2.2(a)(ii)

PO BOX 4311
HAWKER ACT 2614

NEW WORKS

ACT

CLIENT Sch 2.2(a)(ii)

DESIGNED BY

DRAWN BY

AUTHORISED

DATE 7.3.2017

TITLE

HYDRAULIC SERVICES

SCALE

1:200@A3

JOB NO.

H01

DRAWING NO.

7217

DRAINAGE PLAN

NUMBER:

BLOCK 14 SECTION 152

PALMERSTON ACT

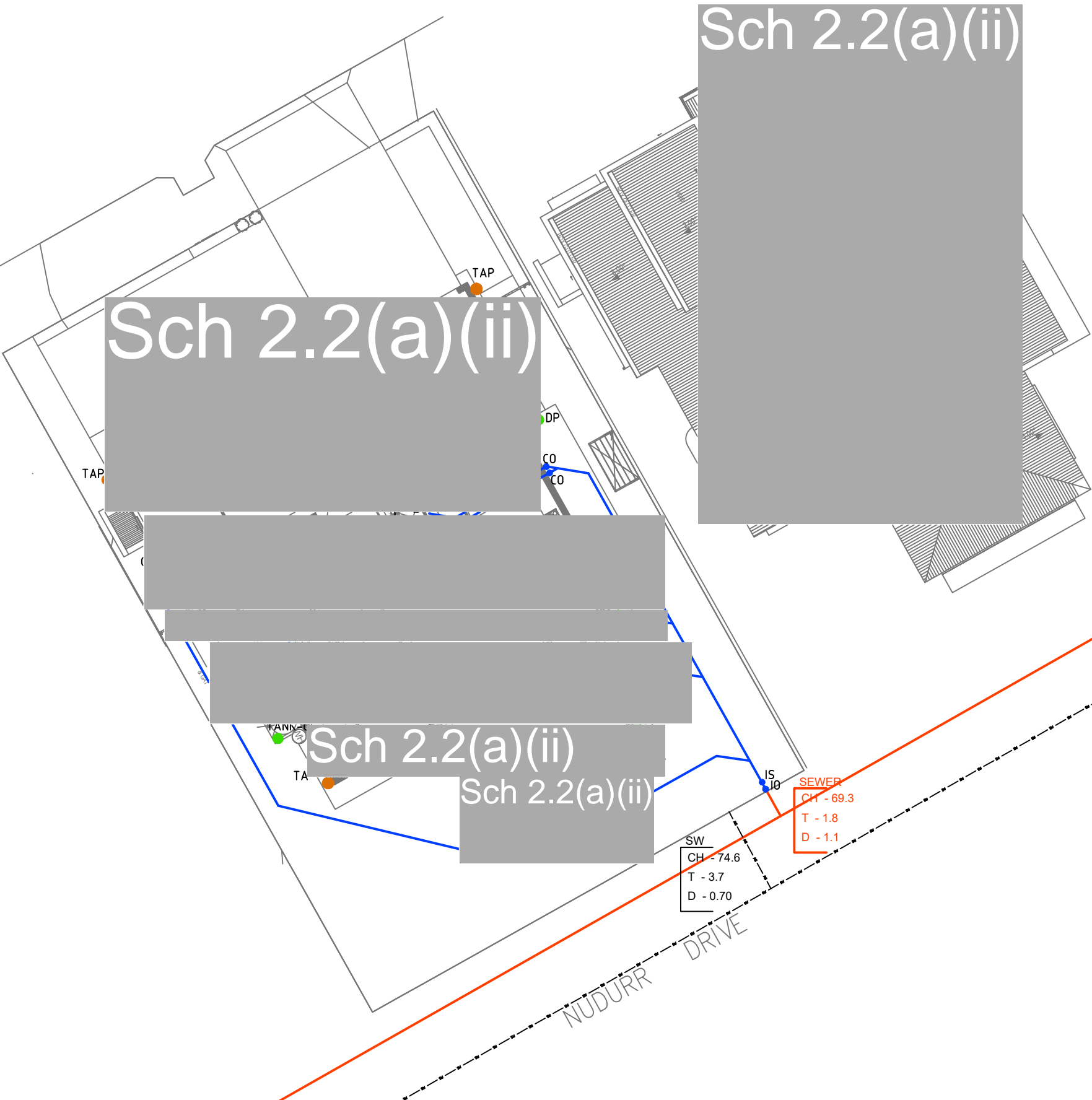
PLAN OF SANITARY DRAINAGE

DESIGNED TO AS3500



LEGEND

- S SEWER MAIN
- SW STORMWATER MAIN
- WATER MAIN
- X X ABANDOND LINES
- EXISTING SEWER LINES
- SW EXISTING STORMWATER LINES
- EXISTING DOMESTIC WATER
- FS EXISTING FIRE SERVICE
- SEWER LINES
- SEWER VENT
- SW STORMWATER LINES
- DOMESTIC WATER
- NON-POTABLE WATER SUPPLY
- HWF HOT WATER
- FS FIRE SERVICE
- TW TRADE WASTE
- BV BALANCING VALVE
- HWR REMOTE READOUT HOT WATER METER
- HWR DIRECTION OF FLOW
- FHR FHR WITH TESTABLE DOUBLE CHECK VALVE WITH LOCKING DEVICE
- DVC
- H STANDARD STREET HYDRANT
- SC STOP COCK
- WM WATER METER

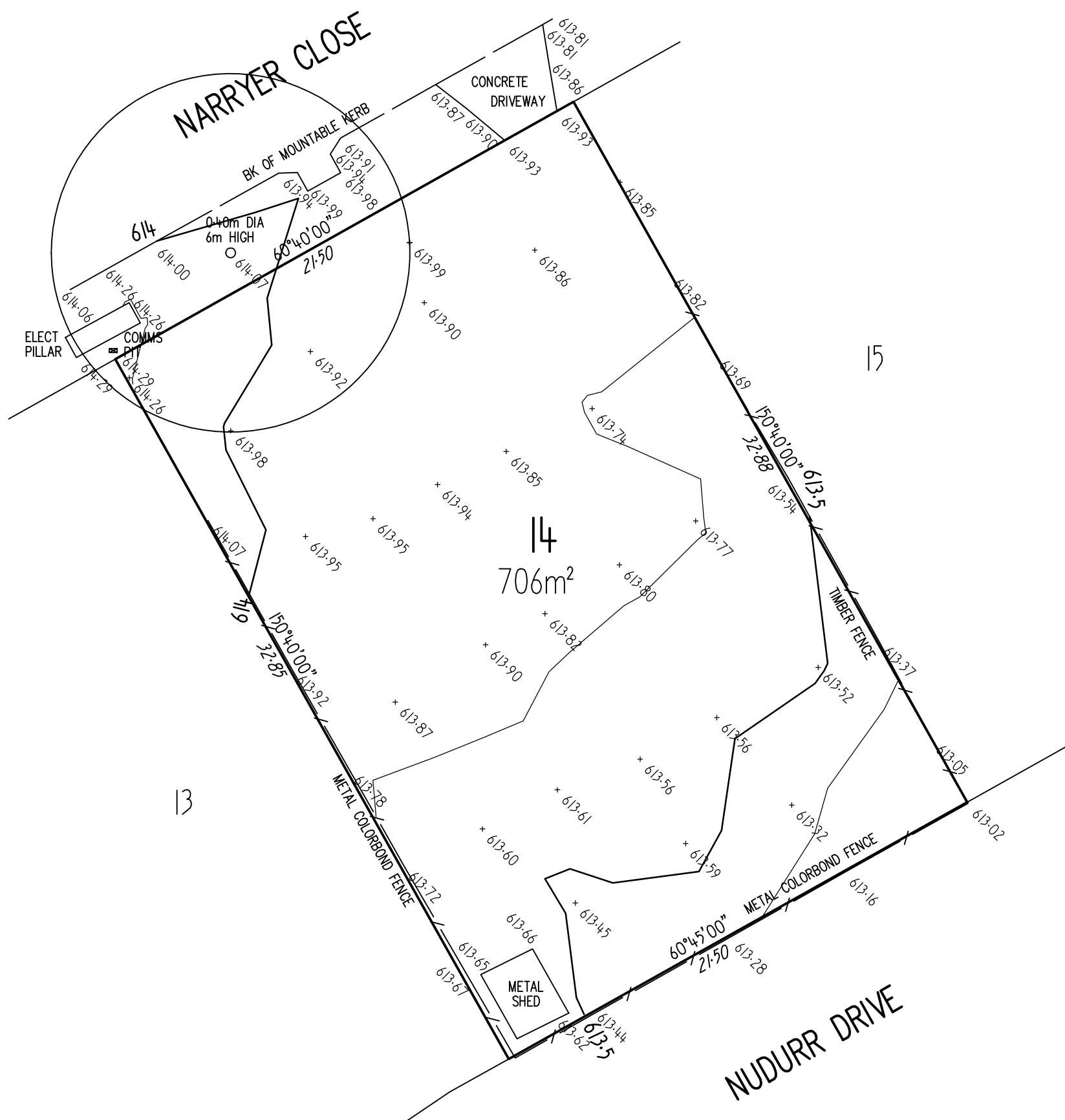


PLUMBING PLAN APPROVED

APPROVED BY

REG. NUMBER

DATE



SURVEYOR JN		LEVEL DATUM AHD		<p>M & M SURVEYS</p> <p>UNIT 1 68 DACRE STREET</p> <p>MITCHELL ACT 2911</p> <p>PO Box 851</p> <p>Ph 62410012 Fax 62410013</p> <p>admin@mmsurveys.com.au</p>		CONTOUR & DETAIL SURVEY				
DRAWN BY JN		CONTOUR INTERVAL 0.25m								
REGISTERED SURVEYOR										
<p>.....</p> <p>/ /</p>						4757310-DWG	DP8059	10-05-21	1:200	A3