

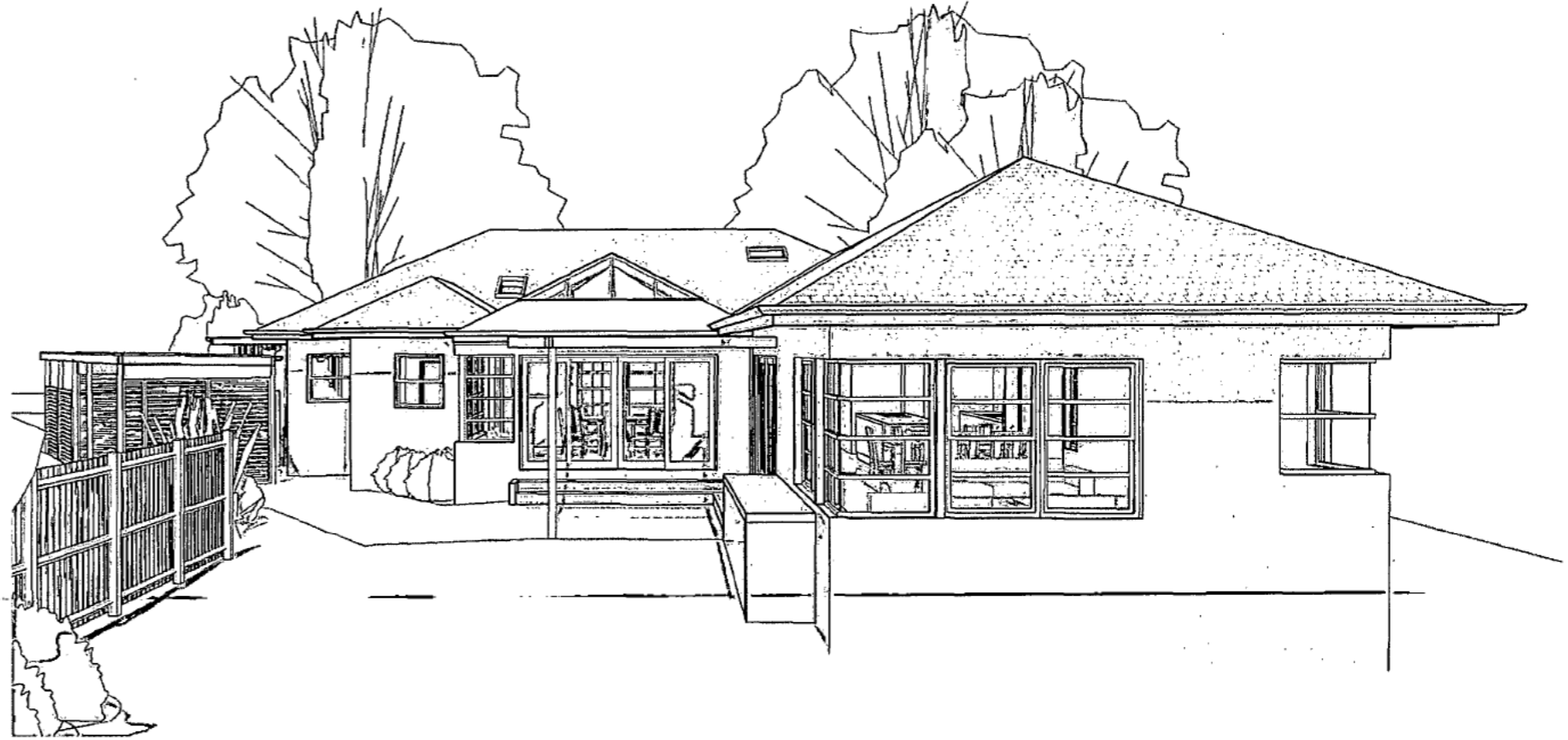
# Alterations & Additions for

Amended BA for the  
Added Carport 2

1

## GENERAL CONDITIONS

- \*COMPLETE THE WORKS WITHIN THE CONTRACT PERIOD IN ACCORDANCE WITH DRAWINGS.
- \*COMPLY WITH REGULATIONS AND BY-LAWS OF AUTHORITIES WITH JURISDICTION OVER THE WORKS AND INCLUDING THOSE RELATING TO WATER SUPPLY, GAS, SEWERAGE, HEALTH AND ELECTRICITY GIVE ALL NOTICES AND PAY ALL FEES REQUIRED BY THE AUTHORITIES.
- \*THE CONDITIONS OF THE DEVELOPMENT APPROVAL FROM ACT PLANNING ARE ADHERED TO.
- \*ALL WORK TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA AND RELEVANT AUSTRALIAN STANDARDS AND BUILDING REGULATIONS.
- \*WORK SHOWN OR DESCRIBED ON THE DRAWINGS OR VICE VERSA. THE REQUIREMENTS OF REGULATIONS TAKE PRECEDENCE OVER DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED. DETAIL DRAWINGS TAKE PRECEDENCE OVER GENERAL DRAWINGS.
- \*CHECK ALL DIMENSIONS ON SITE BEFORE COMMENCING CONSTRUCTION OR PRODUCING SHOP DRAWINGS OR FABRICATED COMPONENTS. TENDERS ARE TO VISIT THE SITE AND FAMILIARISE THEMSELVES WITH ALL EXISTING CONDITIONS WILL BE ADMISSIBLE.
- \*THE WINDOW SCHEDULE IS A REFERENCE DOCUMENT AND ALL WINDOWS ARE TO BE CHECKED ON SITE FOR SIZES, INSTALLATION REQUIREMENTS PRIOR TO MANUFACTURE BY THE WINDOW MANUFACTURER.
- \*GROUND LINES INDICATIVE AND SHOULD BE VERIFIED ON SITE.
- \*CONCRETE SLABS AND FOOTINGS TO AS 2870-1988 ENGINEERING OPTION ADOPTED. ALL FOOTINGS TO BE TAKEN DOWN TO SOLID GROUND.
- \*FRAMING TO AS 1684-1992 'NATIONAL TIMBER FRAMING CODE' AND SUPPLEMENTS. HARDWOOD TO AS 3000.
- \*LINTELS TO TRUSS MANUFACTURERS TABLES.
- \*BRICKWORK TO AS 3700 'Saa MASONRY CODE' AND AS 1640 'Saa BRICKWORK CODE'.
- \*STRUCTURAL STEEL TO AS 1170 AND AS 4100. AND TO THE STRUCTURAL ENGINEERS DRAWINGS.
- \*TERMITE CONTROL TO COMPLY WITH AS 1694 'PHYSICAL BARRIERS' AND AS 3660 'APPENDIX D' AND ACT BUILDING CONTROL NOTE NO.3 TERMI-MESH OR EQUAL.
- \*SMOKE ALARMS TO AS 3786.
- \*WET SEAL TO AS 3740



**TENDER DOCUMENTS**  
THESE DRAWINGS ARE FOR CONSTRUCTION.

### DRAWING LIST

WD00	TITLE
WD01A	3D IMAGES
WD02B	SITE PLAN
WD03	DEMOLITION SITE PLAN
WD04	DEMOLITION FLOOR PLAN
WD05B	FLOOR PLAN
WD06A	ELEVATIONS
WD07A	ELEVATIONS
WD08	SECTIONS
WD09	SECTIONS

### DRAWING LIST

WD10	DECK ROOF DETAILS
WD11A	CARPORT DETAILS
WD12	DETAILS
WD13	WINDOW SCHEDULE
WD14	WINDOW SCHEDULE
WD15	LIGHTING PLAN
WD16	ELECTRICAL PLAN
WD17	COLOUR SAMPLES

PROJECT NO: **1022** Alterations & Additions to Block 11 Section 36  
37 Anzac Park, Reid

AMENDMENTS			
Revised By	Date	Description	Code

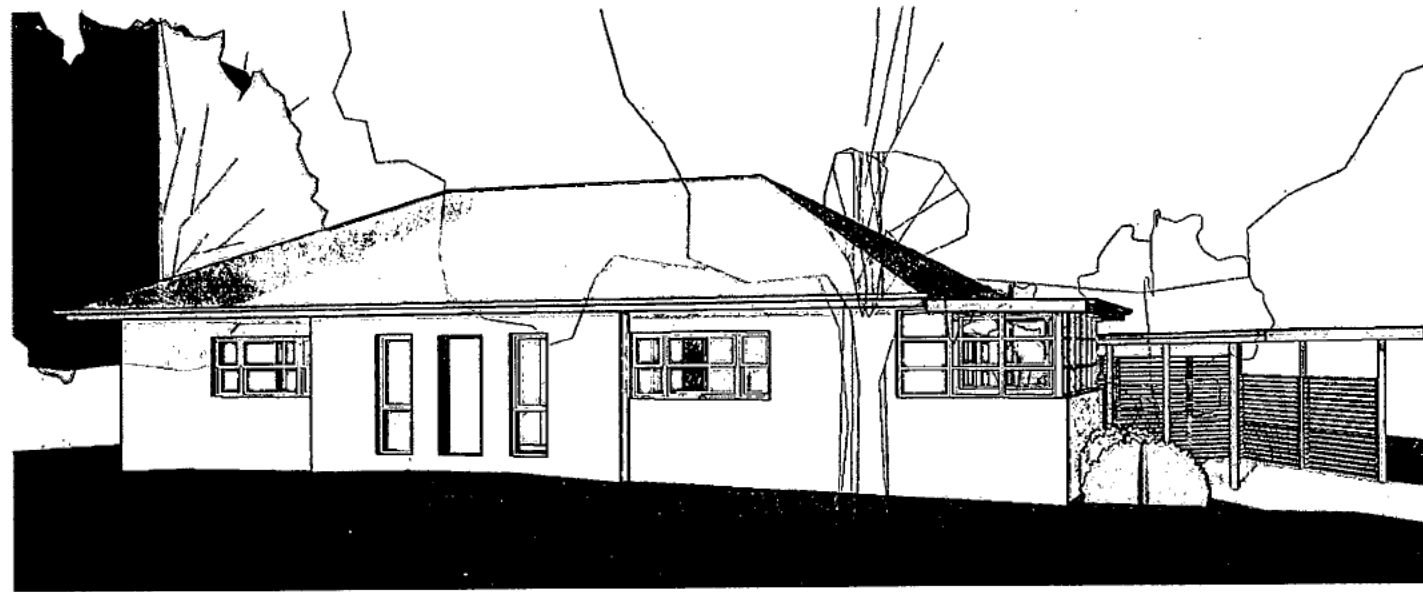
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Approved: Approver  
DATE  
22/11/12  
Reviewed:

DRAWN  
SCALE  
1:1  
REVISION

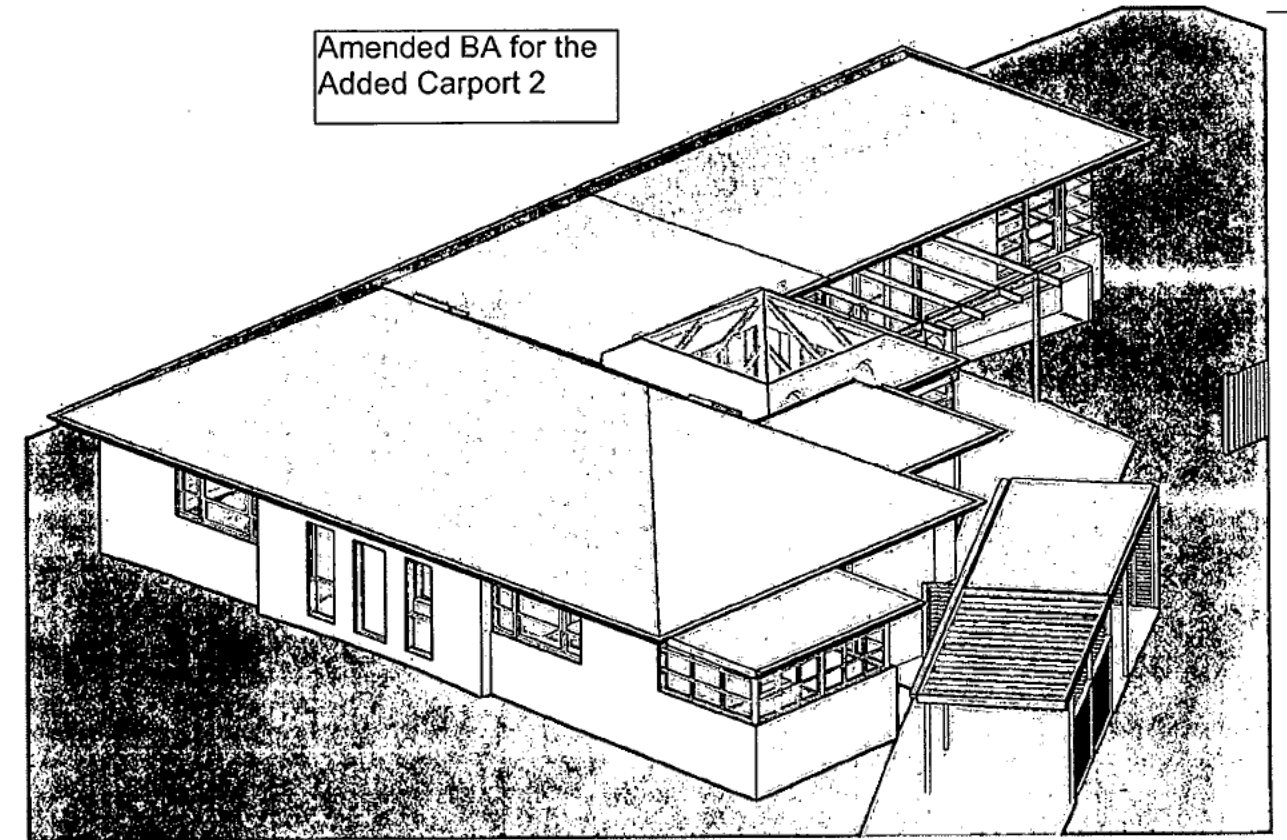
TITLE  
**WD00**

**T T ARCHITECTURE**  
35 KENNEDY STREET KINGSTON ACT  
Tel: 62326311 Fax: 62326312  
A.B.N. 72 087 549 835 A.C.N. 087 549 835





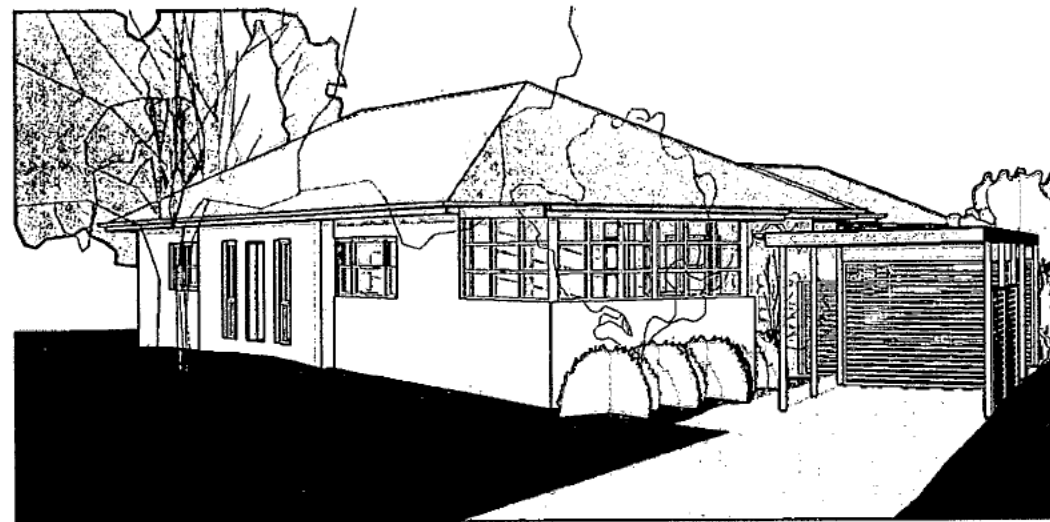
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SCALE:



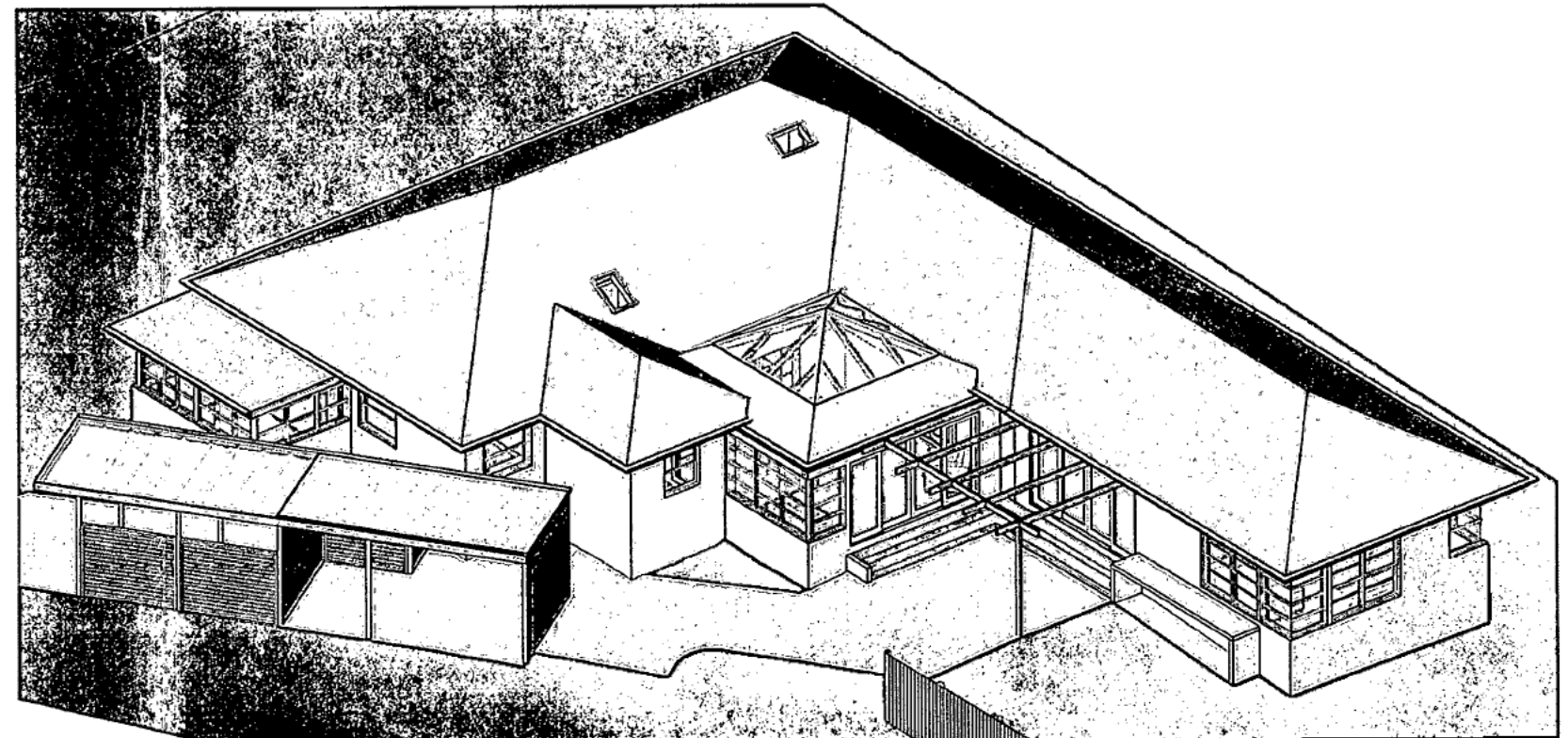
Amended BA for the  
Added Carport 2

**3D FRONT AERIAL**  
SCALE:

**TENDER DOCUMENTS**  
THESE DRAWINGS ARE FOR CONSTRUCTION.



**3D FRONT VIEW SIDE**  
SCALE:



**3D REAR AERIAL**  
SCALE:

PROJECT NO: Alterations & Additions to

**1022**

Block 11 Section 36  
37 Anzac Park, Reid

**AMENDMENTS**

Revised By	Date	Description	Code
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Checked: Checker  
ER  
Approved: Approver  
Reviewed: DATE 22/11/12

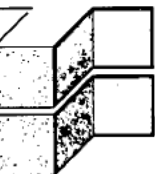
SCALE

REVISION  
**A**

3D IMAGES

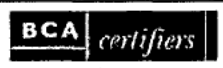
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**T T ARCHITECTURE**  
35 KENNEDY STREET KINGSTON ACT  
Tel: 62326311 Fax: 62326312  
A.B.N. 72 087 549 835 A.C.N. 087 549 835





Amended BA for the  
Added Carport 2



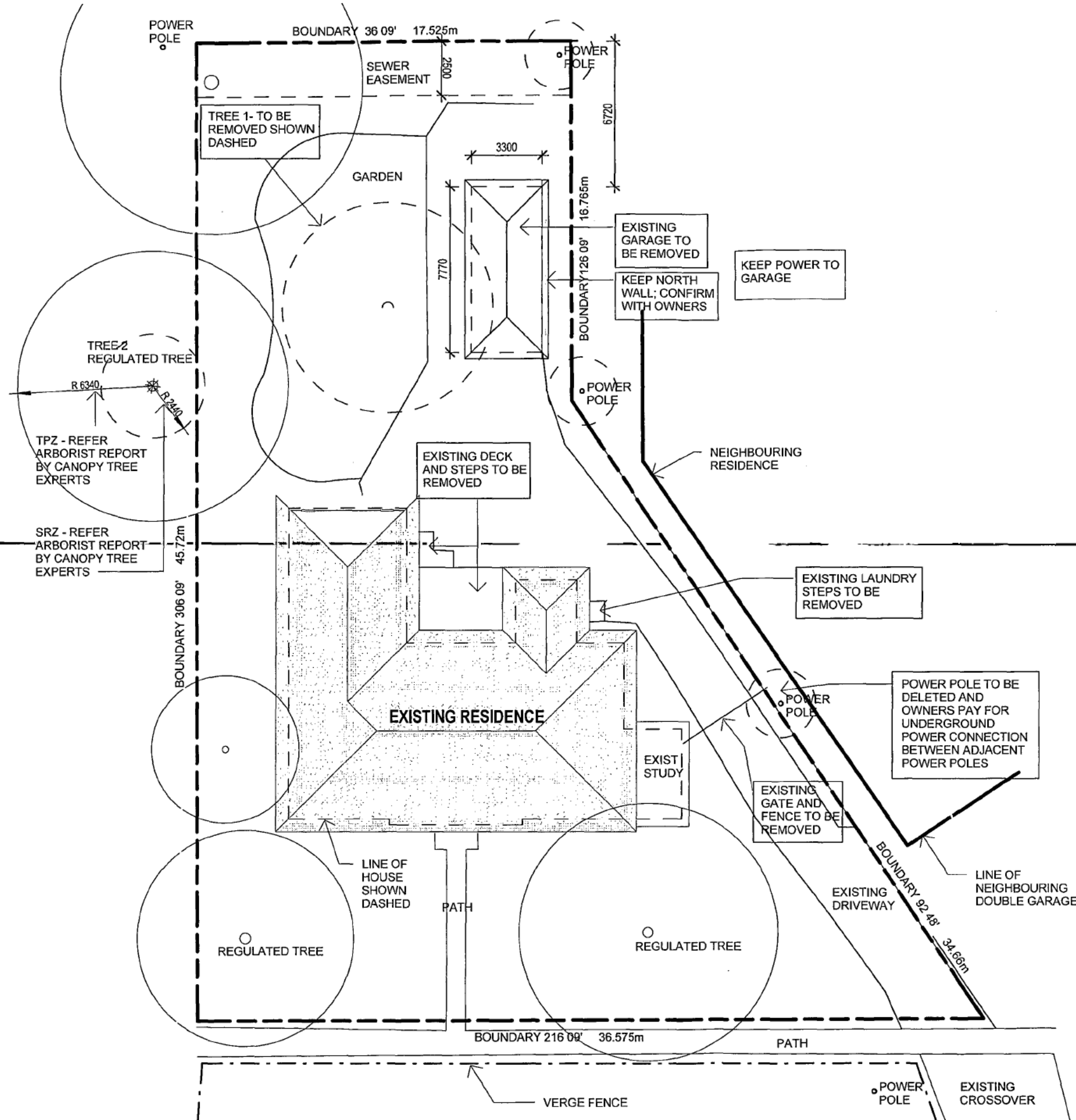
ABN: 58 119 755 734

29 November 2012  
Date Issued:

BUILDING APPROVAL  
is amended under  
s.32 of the  
Building Act 2004.  
BCA CERTIFIERS  
AUSTRALIA PTY LTD  
Lic. No: 200714

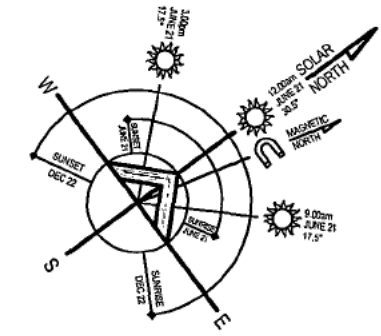
1a & 10a  
BCA Occupancy Class:  
N.A.  
BCA Type of Construction

TENDER DOCUMENTS  
THESE DRAWINGS ARE FOR CONSTRUCTION.



**EXISTING/DEMOLITION SITE PLAN**

SCALE: 1:200



PROJECT NO: Alterations & Additions to  
**1022** Block 11 Section 36  
37 Anzac Park, Reid

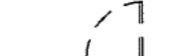
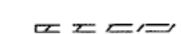

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Revised By	Date	Description	Code

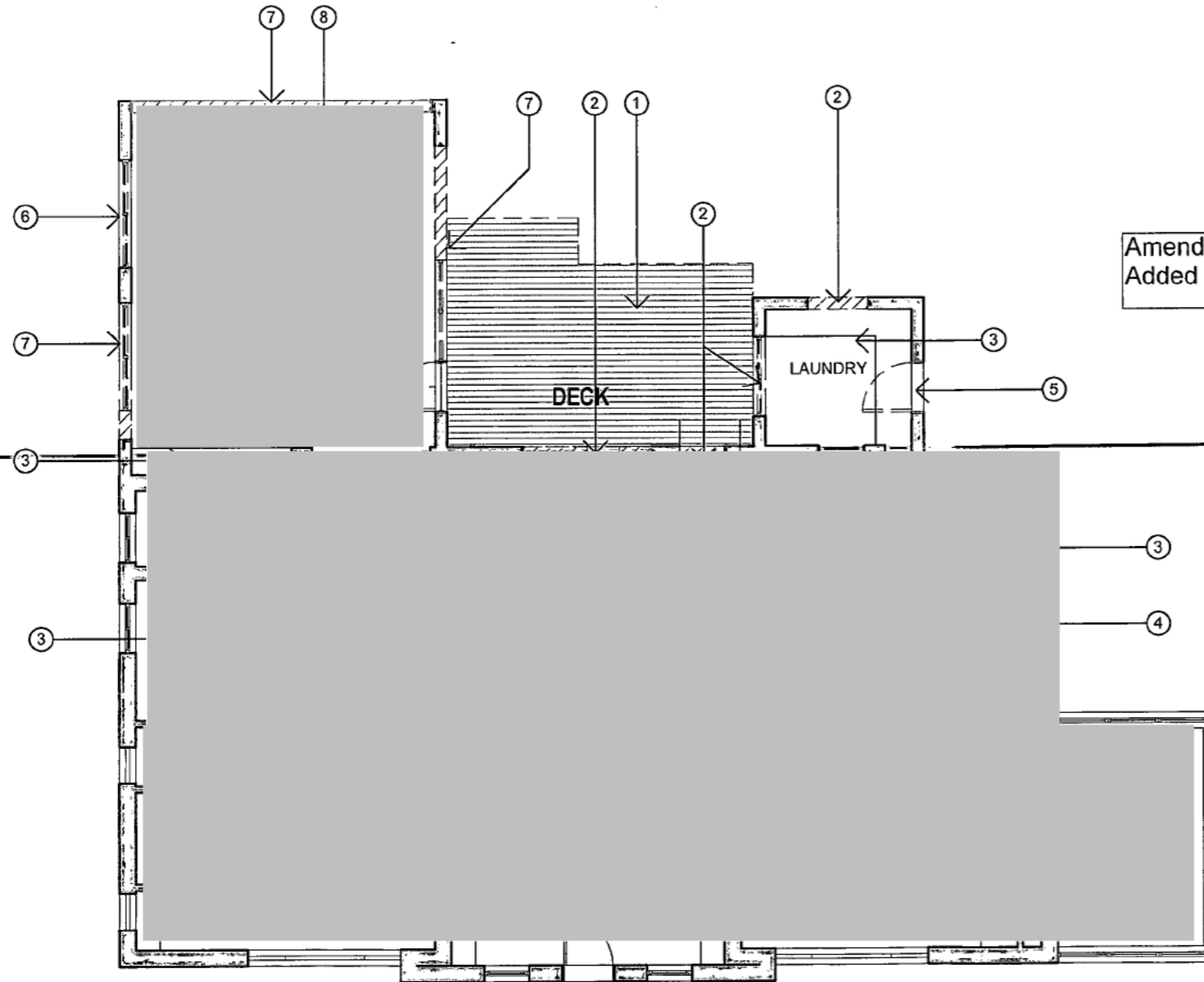
Checked: Checker  
Approved: Approver  
Reviewed: DATE  
DRAWN: ER  
SCALE: 1:200  
REVISION

DEMOLITION SITE  
PLAN  
**WD03**

**T T ARCHITECTURE**  
35 KENNEDY STREET KINGSTON ACT  
Tel: 62326311 Fax: 62326312  
A.B.N. 72 087 549 835 A.C.N. 087 549 835

**LEGEND**

-  DOORS TO BE REMOVED
-  EXISTING WALLS TO BE REMOVED
-  EXISTING WALLS TO REMAIN



EXISTING RESIDENCE SCOPE OF WORK	
No.	DESCRIPTION
1	DEMOLISH & REMOVE DECK & STEPS
2	REMOVE WINDOW IN PREPARATION FOR NEW WINDOWS
3	REMOVE EXIST JOINERY & FITOUT & MAKE GOOD
4	REMOVE WALLS & DOORS & MAKE GOOD.
5	REMOVE DOOR & MAKE GOOD
6	REMOVE WINDOW & MAKE GOOD
7	DEMOLISH & REMOVE WINDOWS & WALL & MAKE GOOD
8	DEMOLISH & REMOVE FIREPLACE & MAKE GOOD
9	REMOVE DOOR & MAKE GOOD
10	REMOVE SKYLIGHT & MAKE GOOD; KEEP SKYLIGHT FOR RE-USE IN BATHROOM
11	REMOVE WALL TO ADJACENT DOOR HEAD HEIGHTS & MAKE GOOD.
12	REMOVE WALL LIGHT & MAKE GOOD

Amended BA for the Added Carport 2

**NOTES**

- REFER SCOPE OF WORKS GR18 OWNERS SUPPLY ITEMS SCHEDULE FOR ITEMS TO BE RETAINED FOR RE-USE.
- REMOVE & MAKE GOOD ALL ELECTRICAL AND PLUMBING TO ACCOMMODATE NEW PLANS.



ABN: 58 119 755 734

29 November 2012  
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BUILDING APPROVAL is amended under s.32 of the Building Act 2004.  
BCA CERTIFIERS AUSTRALIA PTY LTD  
Lic. No: 200714

1a & 10a  
BCA Occupancy Class: N.A.  
BCA Type of Construction

**TENDER DOCUMENTS**  
THESE DRAWINGS ARE FOR CONSTRUCTION.

**EXISTING/DEMOLITION PLAN**

SCALE: 1:100

PROJECT NO: Alterations & Additions to [REDACTED]  
**1022** Block 11 Section 36  
37 Anzac Park, Reid

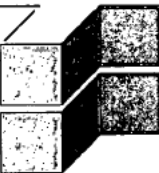
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Revised By	Date	Description	Code

Checked: Checker DRAWN ER  
Approved: Approver DATE  
Reviewed: 20/06/11

SCALE 1:100  
REVISION

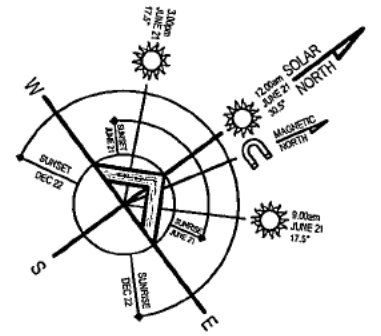
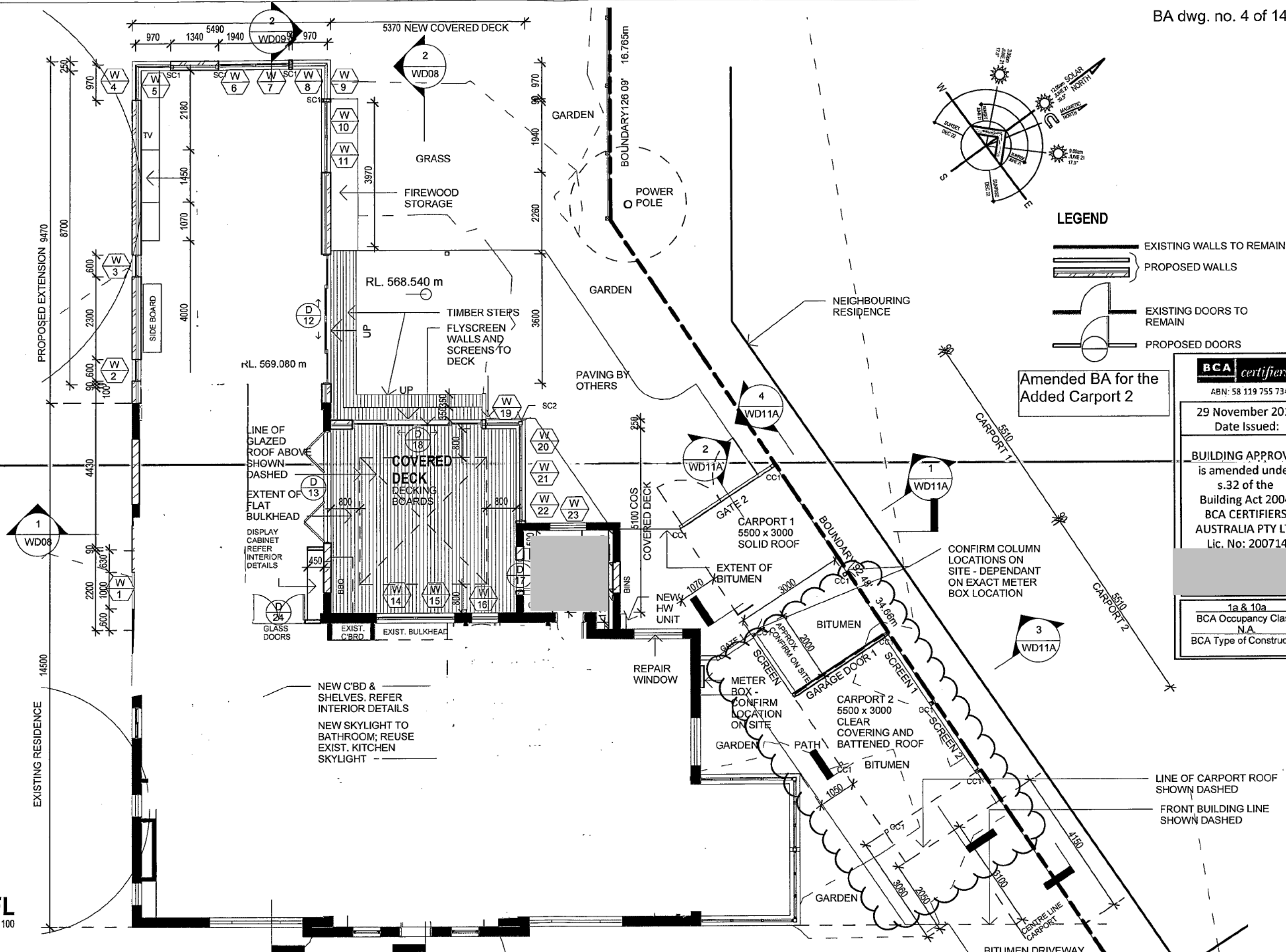
DEMOLITION FLOOR PLAN  
**WD04**

**T T ARCHITECTURE**  
35 KENNEDY STREET KINGSTON ACT  
Tel: 62328311 Fax: 62328312  
A.B.N. 72 087 549 835 A.C.N. 087 549 835



**TENDER DOCUMENTS**  
 THESE DRAWINGS ARE FOR CONSTRUCTION.

**GF FL**  
 SCALE: 1:100



**LEGEND**

- EXISTING WALLS TO REMAIN
- PROPOSED WALLS
- EXISTING DOORS TO REMAIN
- PROPOSED DOORS

**Amended BA for the Added Carport 2**

**BCA certifiers**  
 ABN: 58 119 755 734  
 29 November 2012  
 Date Issued:  
**BUILDING APPROVAL**  
 is amended under  
 s.32 of the  
 Building Act 2004.  
 BCA CERTIFIERS  
 AUSTRALIA PTY LTD  
 Lic. No: 200714  
 1a & 10a  
 BCA Occupancy Class:  
 N.A.  
 BCA Type of Construction

PROJECT NO: **1022** Alterations & Additions to Block 11 Section 36 37 Anzac Park, Reid

AMENDMENTS				
Revised By	Date	Description	Code	
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ER	22.11.12	CARPORT 2 ADDED FOR AMENDED BA	B	

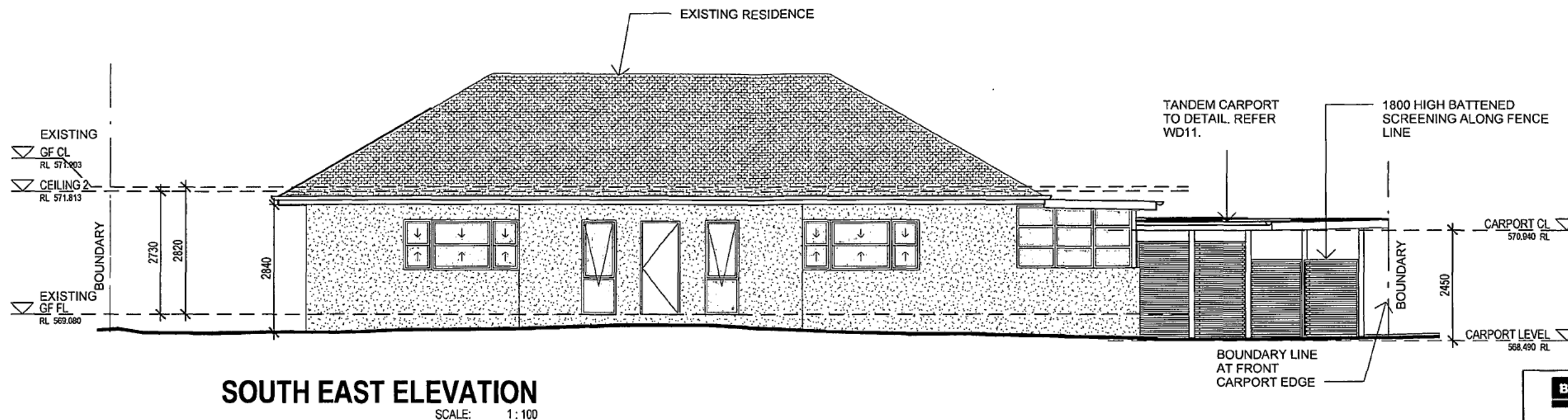
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 Approved: Approver  
 Reviewed: **DATE 22/11/12**

**DRAWN**  
 ER  
**SCALE**  
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**REVISION**  
**B**

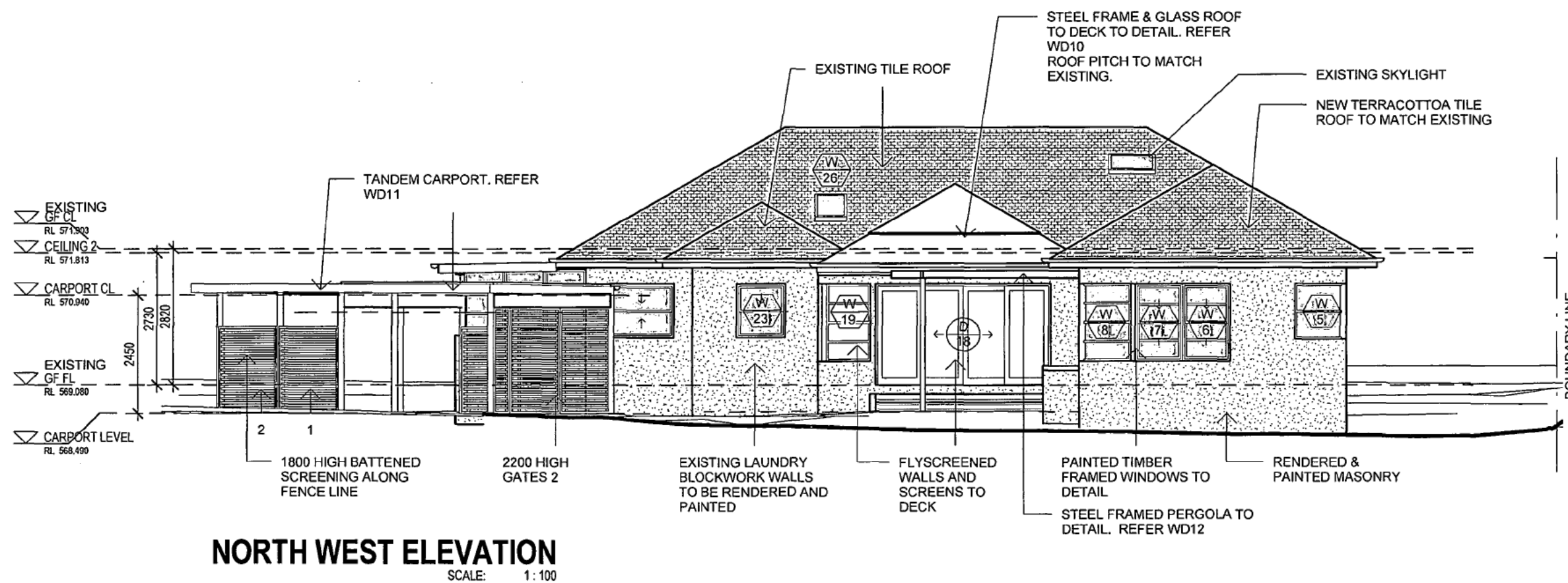
**FLOOR PLAN**  
**WD05B**

**T T ARCHITECTURE**  
 35 KENNEDY STREET KINGSTON ACT  
 Tel: 62326311 Fax: 62326312  
 A.B.N. 72 087 549 835 A.C.N. 087 549 835

Amended BA for the Added Carport 2



TENDER DOCUMENTS  
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**BCA certifiers**  
A&N: 58 119 755 734

29 November 2012  
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AUSTRALIA PTY LTD  
Lic. No: 200714

1a & 10a  
BCA Occupancy Class:  
N.A.  
BCA Type of Construction

PROJECT NO: Alterations & Additions to **1022**  
Block 11 Section 36  
37 Anzac Park, Reid

AMENDMENTS			
Revised By	Date	Description	Code
ER	22.11.12	CARPORT 2 ADDED FOR AMENDED BA	A

Checked: Checker  
Approved: Approver  
Reviewed:

DRAWN  
ER

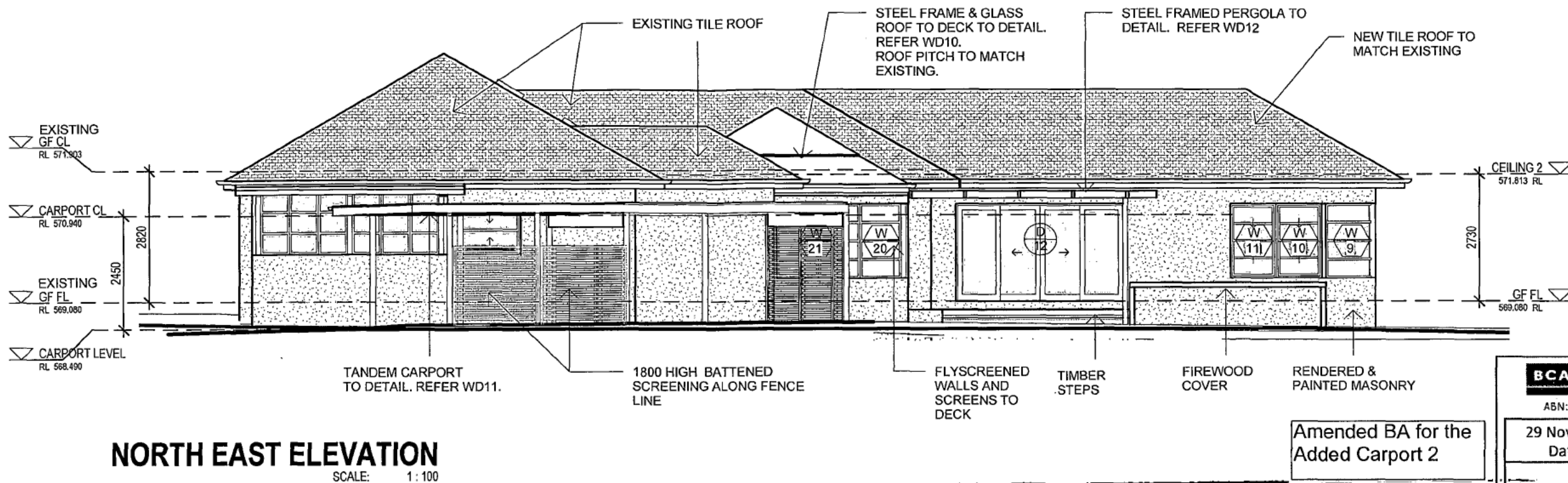
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DATE  
22/11/12

REVISION  
A

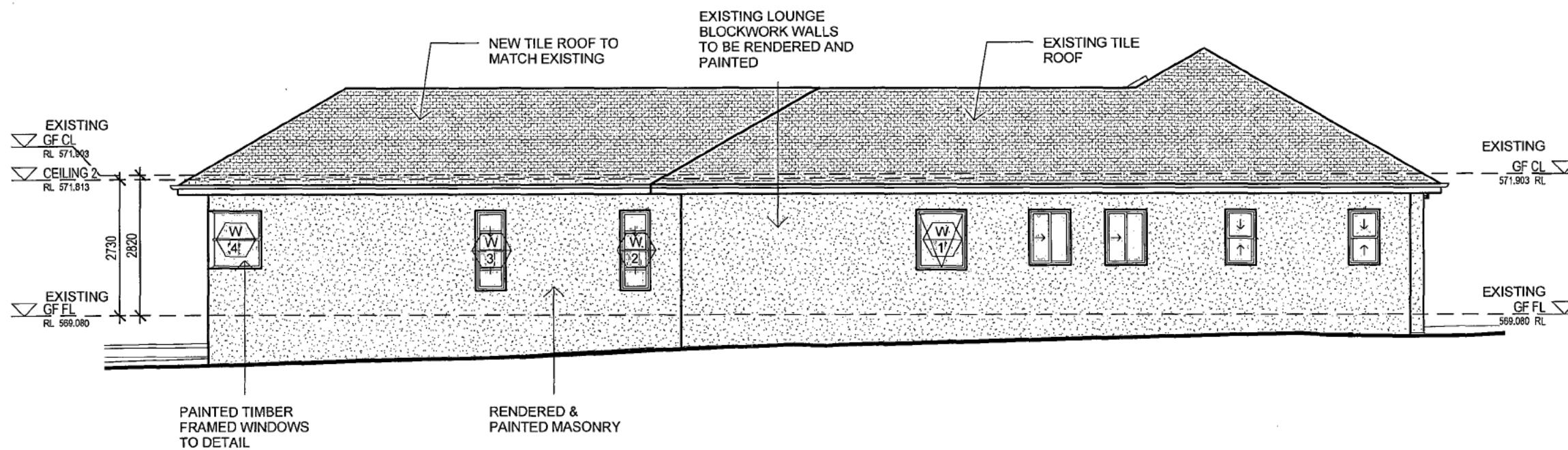
ELEVATIONS  
**WD06A**

**T T ARCHITECTURE**  
35 KENNEDY STREET KINGSTON ACT  
Tel: 62326311 Fax: 62326312  
A.B.N. 72 087 549 835 A.C.N. 087 549 835



**NORTH EAST ELEVATION**

SCALE: 1:100



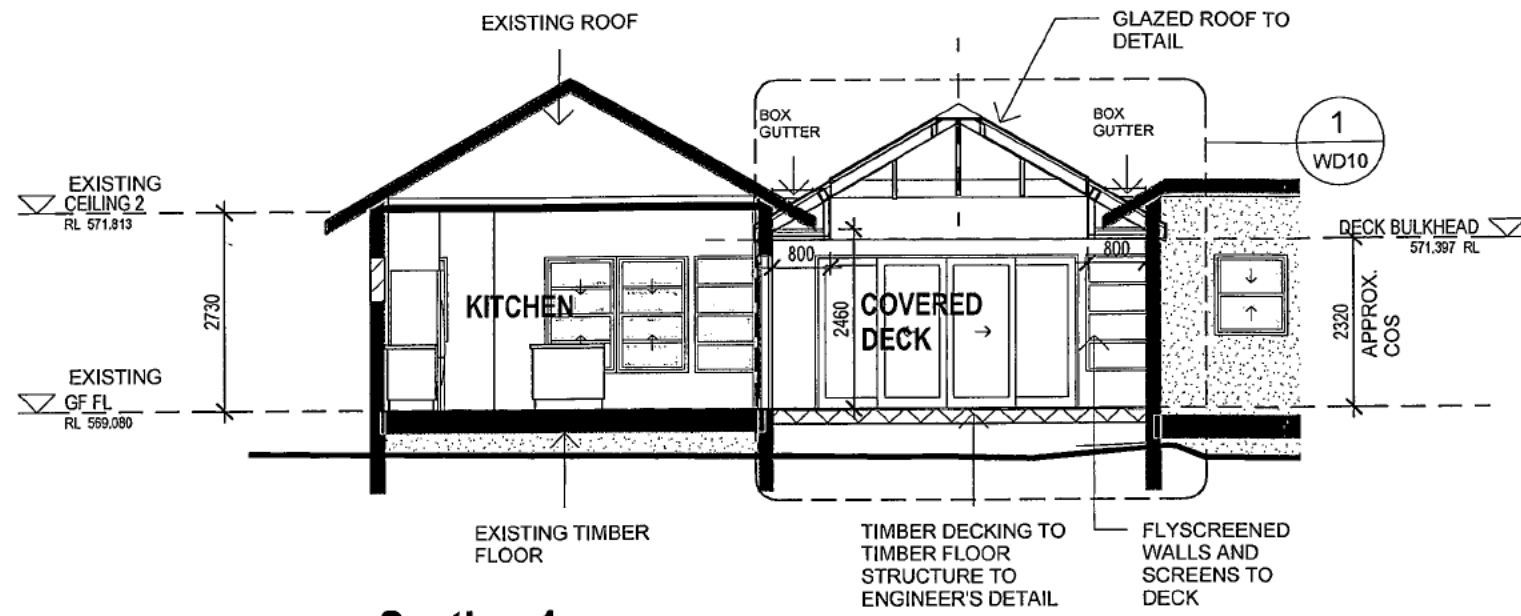
**SOUTH WEST ELEVATION**

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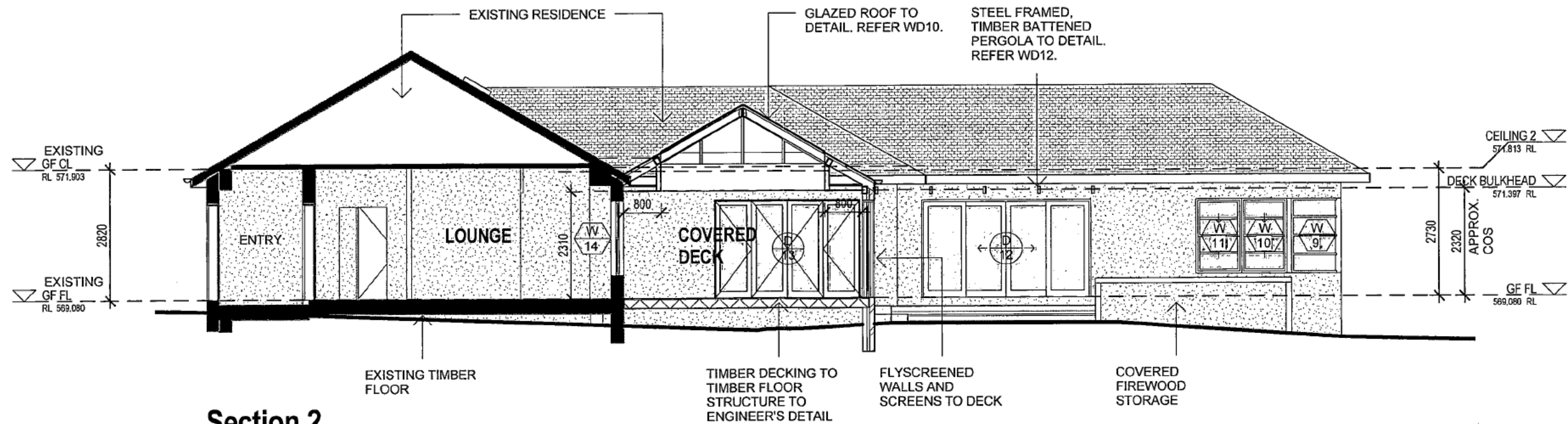
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 ABN: 58 119 755 734  
 29 November 2012  
 Date Issued:  
 BUILDING APPROVAL  
 is amended under  
 s.32 of the  
 Building Act 2004.  
 BCA CERTIFIERS  
 AUSTRALIA PTY LTD  
 Lic. No: 200714  
 1a & 10a  
 BCA Occupancy Class:  
 N.A.  
 BCA Type of Construction

**TENDER DOCUMENTS**  
 THESE DRAWINGS ARE FOR CONSTRUCTION.

PROJECT NO: <b>1022</b>	Alterations & Additions to Block 11 Section 36 37 Anzac Park, Reid	<table border="1"> <thead> <tr> <th colspan="4">AMENDMENTS</th> </tr> <tr> <th>Revised By</th> <th>Date</th> <th>Description</th> <th>Code</th> </tr> </thead> <tbody> <tr> <td>ER</td> <td>22.11.12</td> <td>CARPOT 2 ADDED FOR AMENDED BA</td> <td>A</td> </tr> </tbody> </table>	AMENDMENTS				Revised By	Date	Description	Code	ER	22.11.12	CARPOT 2 ADDED FOR AMENDED BA	A	Checked: Checker Approved: Approver Reviewed:	DRAWN Author DATE 22/11/12	SCALE 1:100 REVISION A	ELEVATIONS <b>WD07A</b>	<b>T T ARCHITECTURE</b> 35 KENNEDY STREET KINGSTON ACT Tel: 62328311 Fax: 62328312 A.B.N. 72 057 549 835 A.C.N. 057 549 835
AMENDMENTS																			
Revised By	Date	Description	Code																
ER	22.11.12	CARPOT 2 ADDED FOR AMENDED BA	A																



**Section 1**  
SCALE: 1:100



**Section 2**  
SCALE: 1:100

**TENDER DOCUMENTS**  
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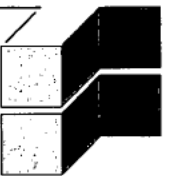
PROJECT NO: **1022** Alterations & Additions to Block 11 Section 36  
37 Anzac Park, Reid

AMENDMENTS			
Revised By	Date	Description	Code

Checked: Checker **DRAWN** **SCALE**  
ER 1:100  
Approved: Approver **DATE** **REVISION**  
Reviewed: 20/06/11

SECTIONS  
**WD08**

**T T ARCHITECTURE**  
35 KENNEDY STREET KINGSTON ACT  
Tel: 62326311 Fax: 62326312  
A.B.N. 72 087 549 835 A.C.N. 087 549 835





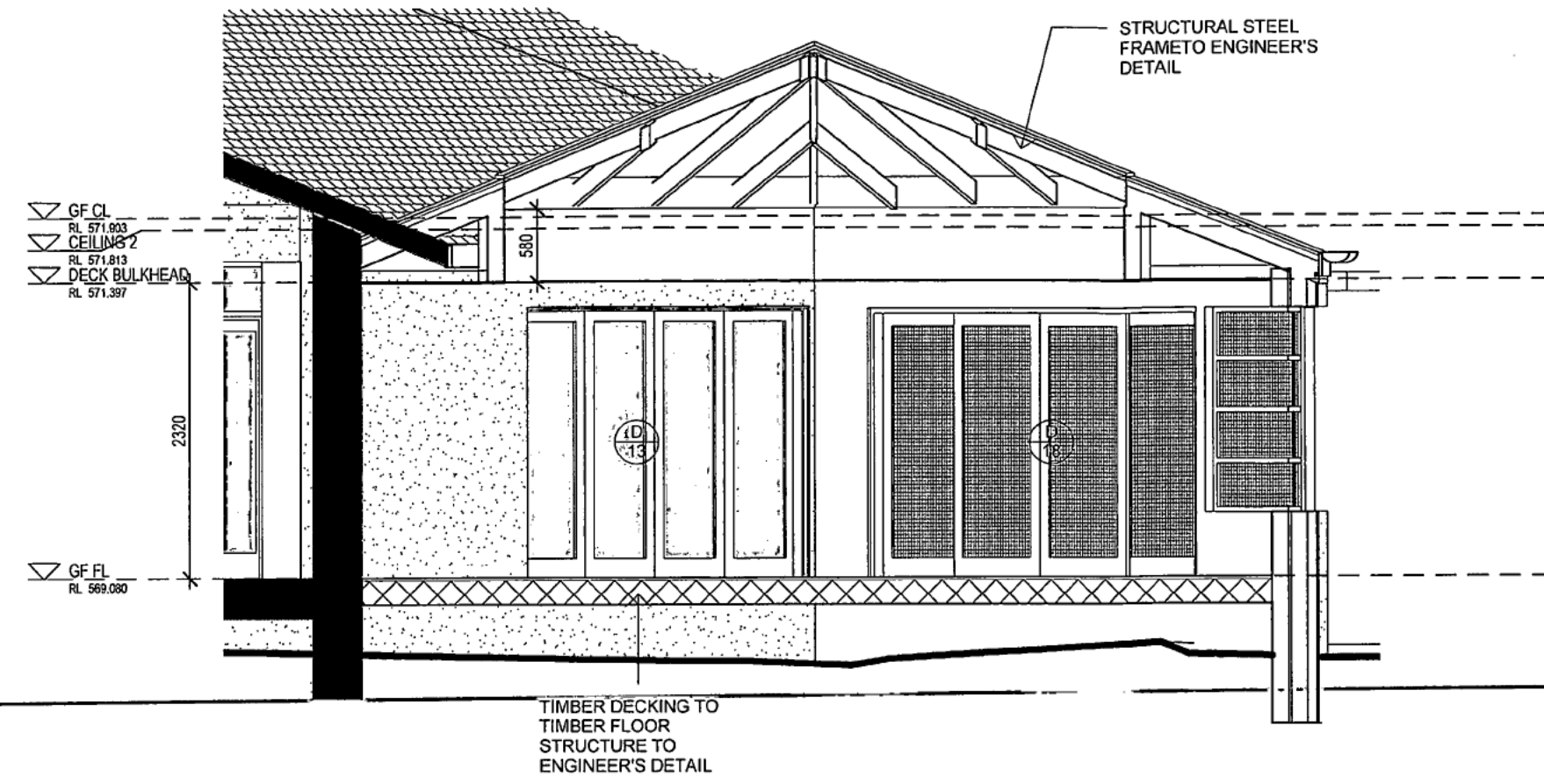
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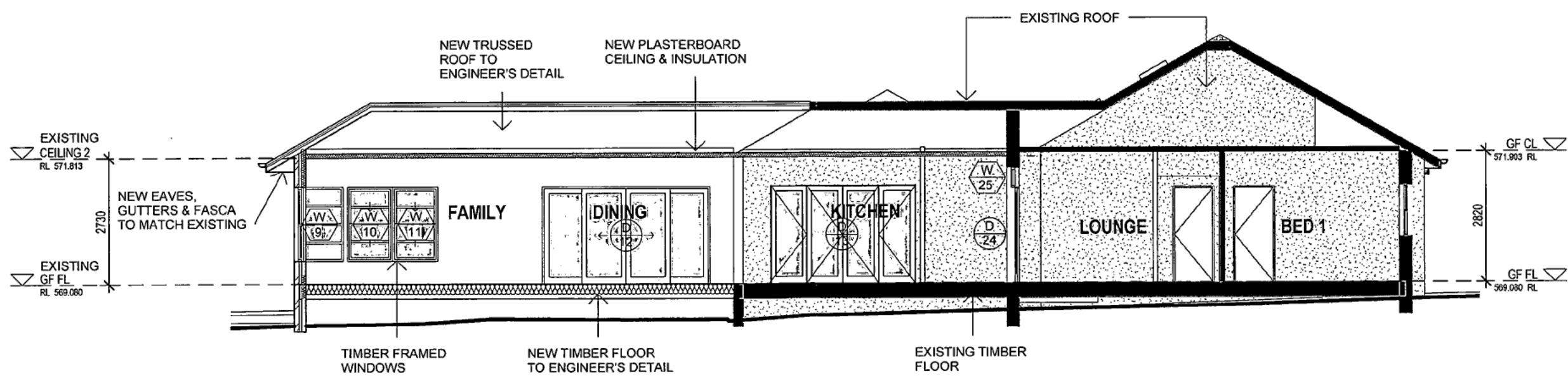
1a & 10a  
BCA Occupancy Class:  
N.A.  
BCA Type of Construction

Amended BA for the  
Added Carport 2



**Section 3**  
SCALE: 1:50

**TENDER DOCUMENTS**  
THESE DRAWINGS ARE FOR CONSTRUCTION.



**Section 4**  
SCALE: 1:100

PROJECT NO: **1022** Alterations & Additions to Block 11 Section 36  
37 Anzac Park, Reid

AMENDMENTS			
Revised By	Date	Description	Code

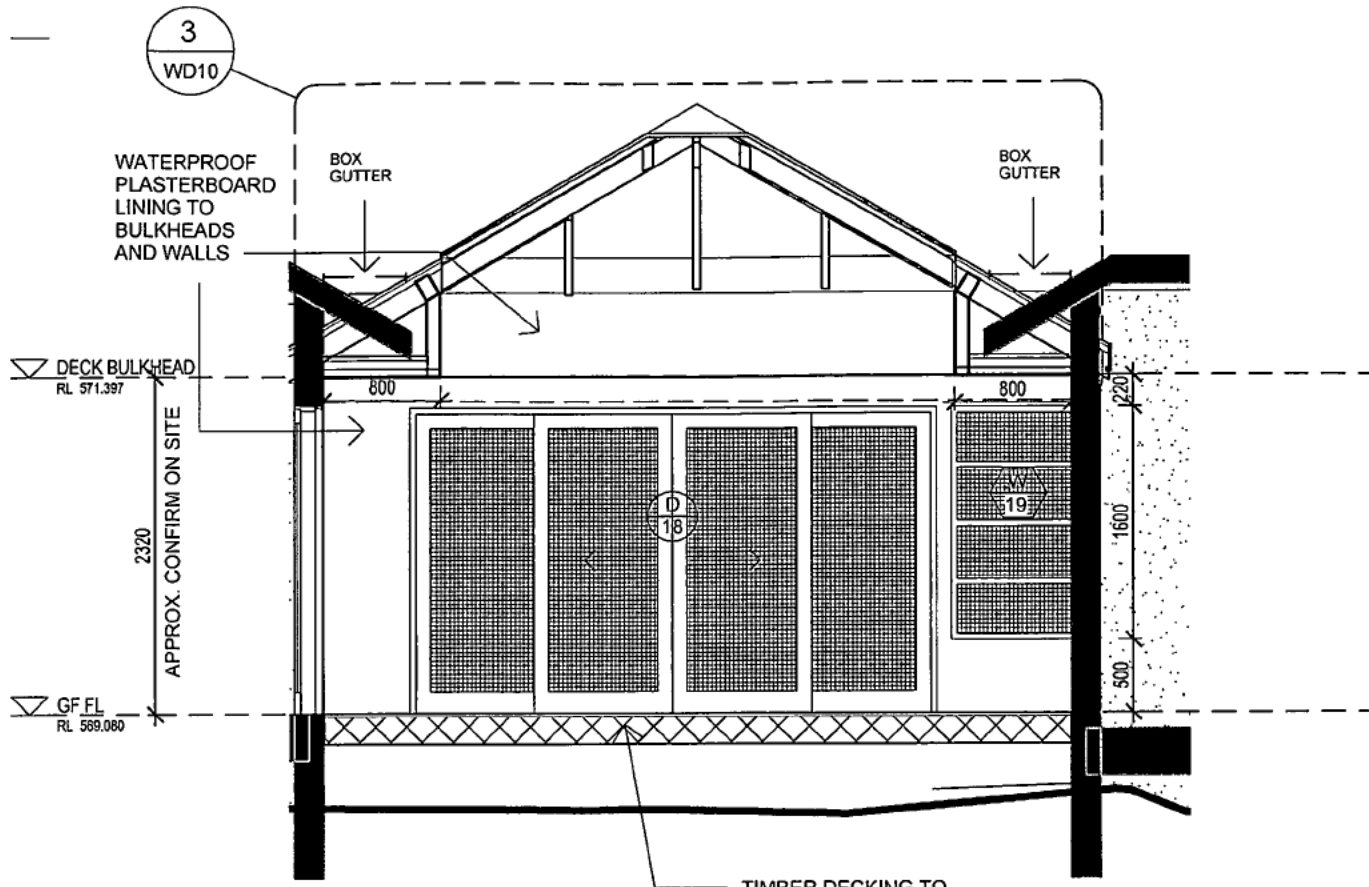
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Approved: Approver  
Reviewed: 20/06/11

DRAWN: ER  
DATE: 20/06/11

SCALE: As indicated  
REVISION:

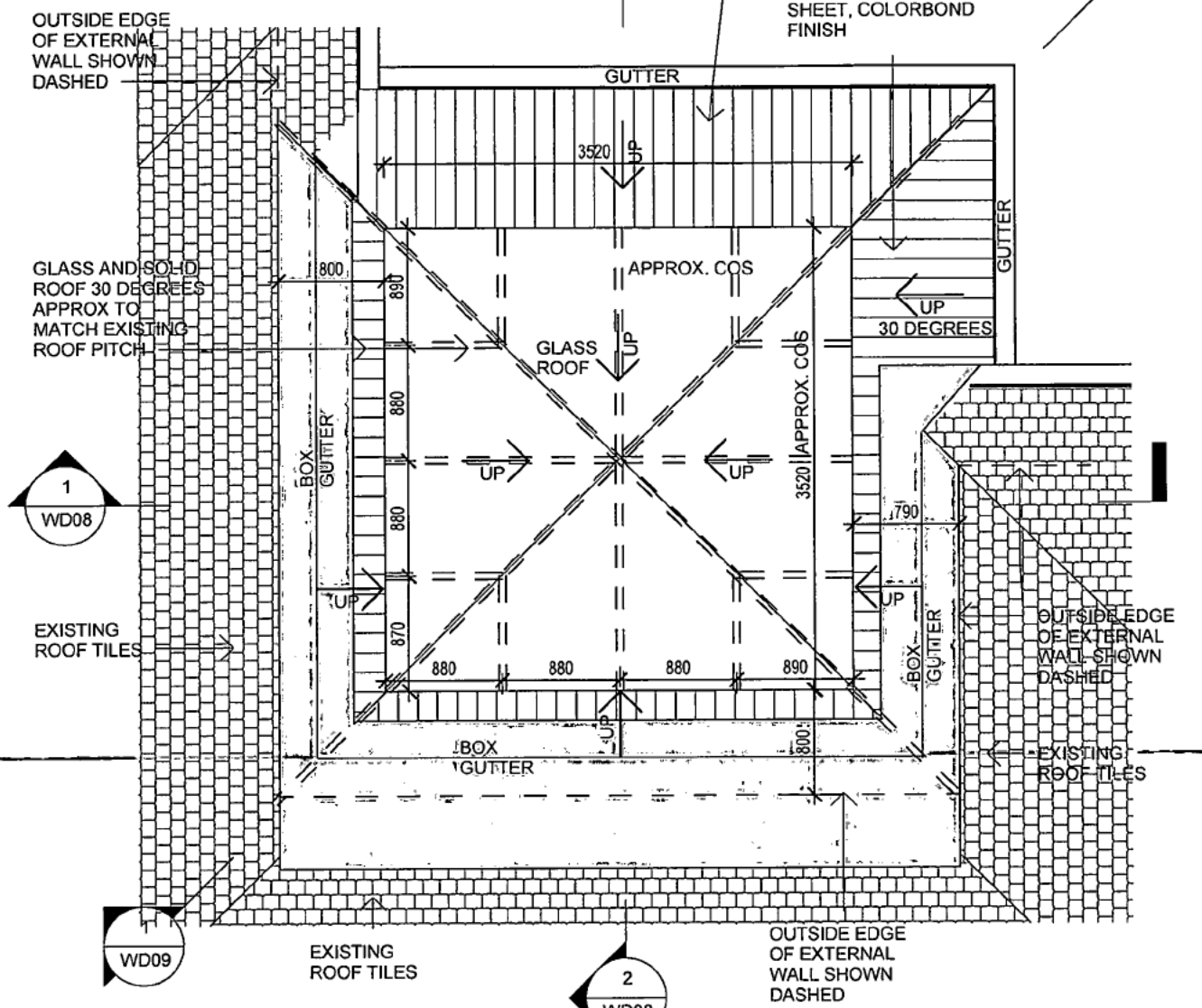
SECTIONS **WD09**

**T T ARCHITECTURE**  
35 KENNEDY STREET KINGSTON ACT  
Tel: 62326311 Fax: 62326312  
A.B.N. 72 087 549 835 A.C.N. 087 549 835

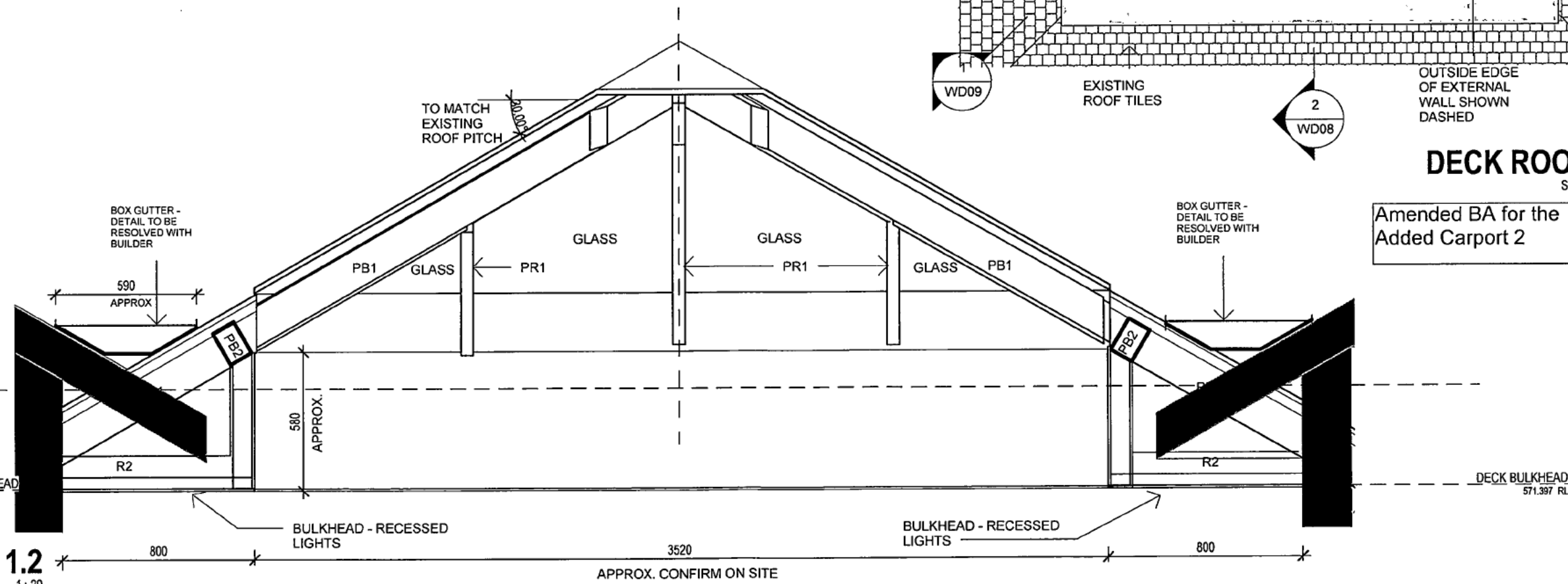


**Detail 1**  
SCALE: 1:50

TIMBER DECKING TO  
TIMBER FLOOR  
STRUCTURE TO  
ENGINEER'S DETAIL



**DECK ROOF PLAN**  
SCALE: 1:50



**Detail 1.2**  
SCALE: 1:20

APPROX. CONFIRM ON SITE

**TENDER DOCUMENTS**  
THESE DRAWINGS ARE FOR CONSTRUCTION.

Amended BA for the  
Added Carport 2



A8N: 58 119 755 734

29 November 2012  
Date Issued:

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BCA CERTIFIERS  
AUSTRALIA PTY LTD  
Lic. No: 200714

1a & 10a  
BCA Occupancy Class:  
N.A.  
BCA Type of Construction

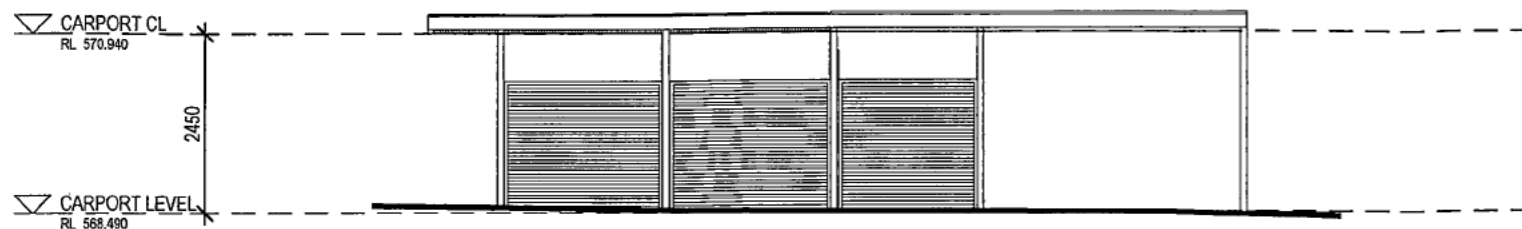
PROJECT NO: Alterations & Additions to  
**1022** Block 11 Section 36  
37 Anzac Park, Reid

AMENDMENTS			
Revised By	Date	Description	Code

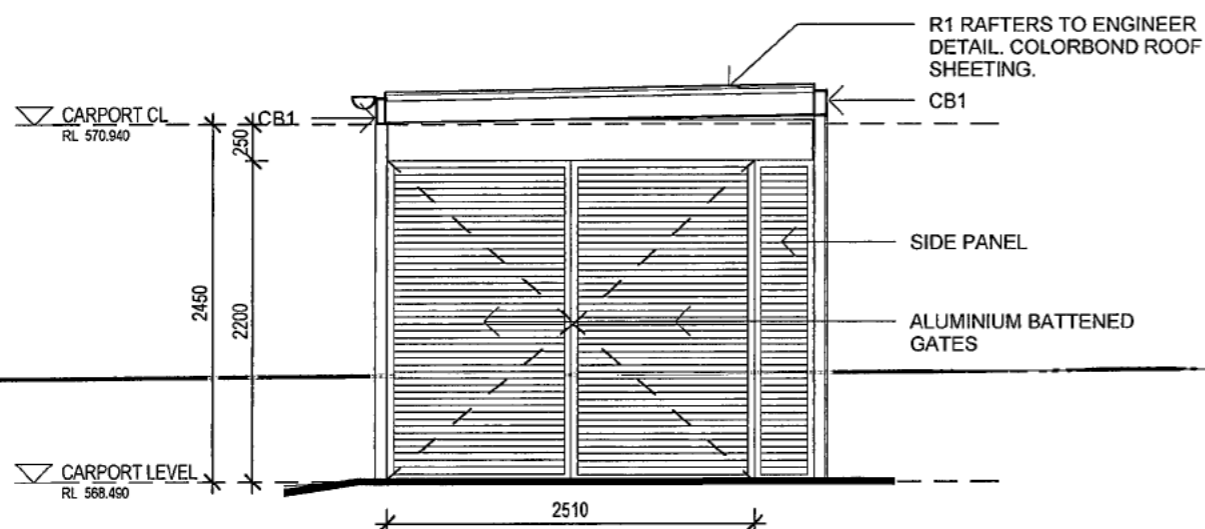
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Approved: Approver DATE  
Reviewed: 20/06/11 REVISION

DECK ROOF DETAILS  
**WD10**  
T T ARCHITECTURE  
35 KENNEDY STREET KINGSTON ACT  
Tel: 62326311 Fax: 62326312  
A.B.N. 72 087 549 835 A.C.N. 087 549 835

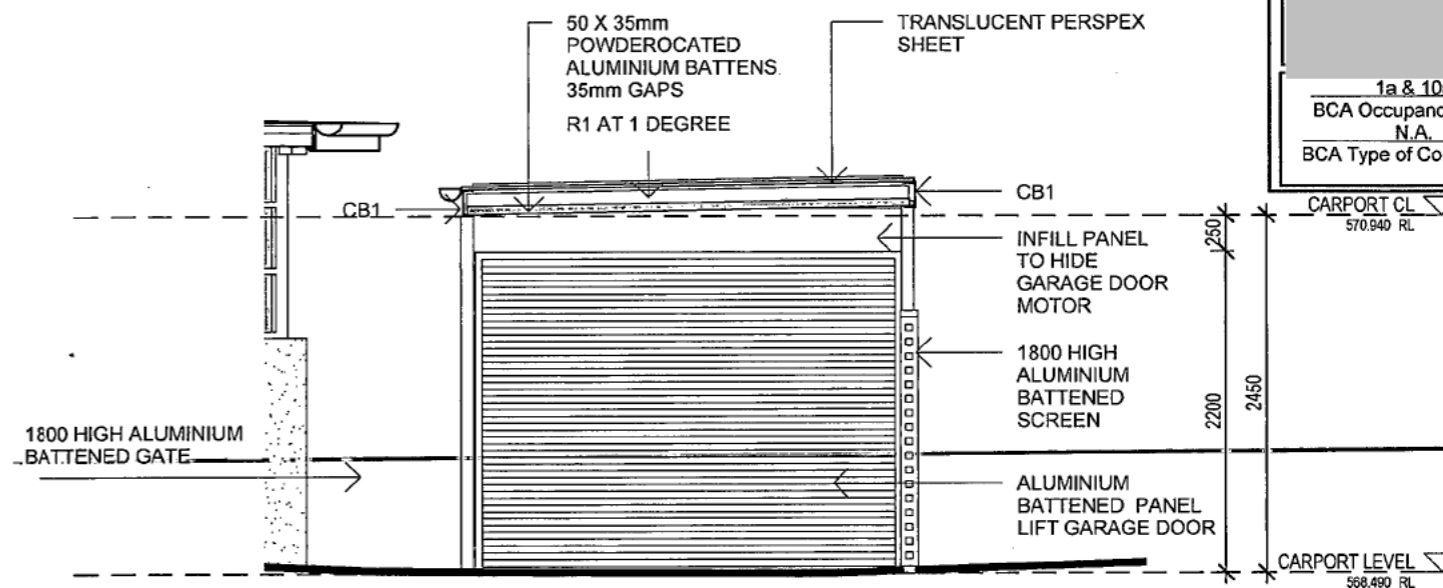




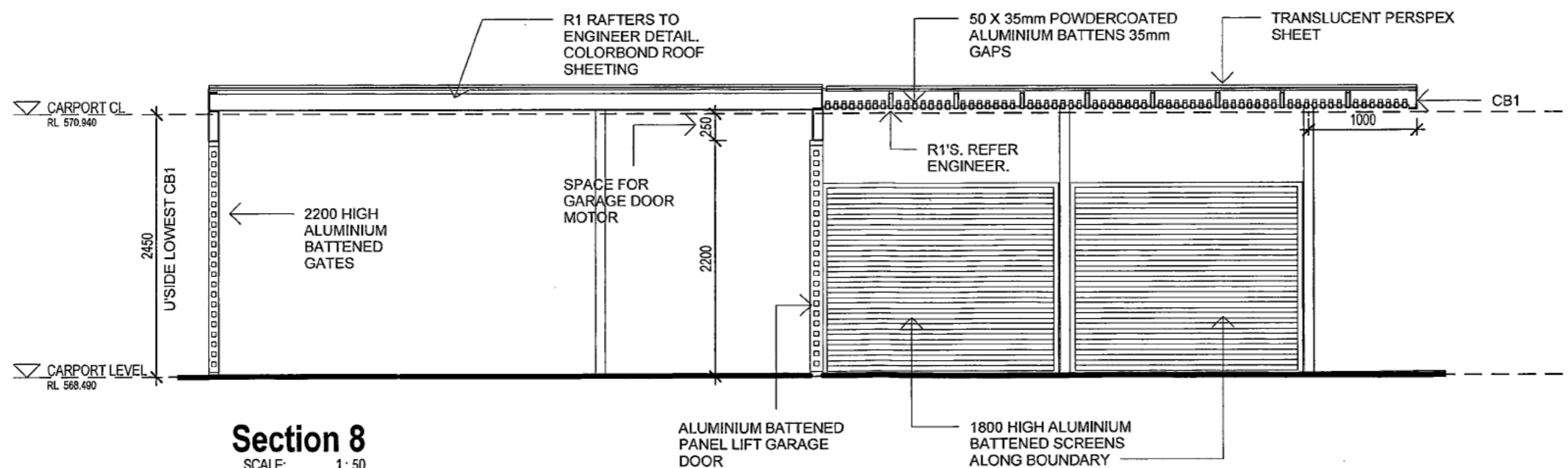
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SCALE: 1:100



**Section 6**  
SCALE: 1:50



**Section 7**  
SCALE: 1:50



**Section 8**  
SCALE: 1:50

Amended BA for the  
Added Carport 2

**TENDER DOCUMENTS**  
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PROJECT NO: Alterations & Additions to **1022**  
Block 11 Section 36  
37 Anzac Park, Reid

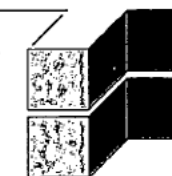
AMENDMENTS			
Revised By	Date	Description	Code
ER	22.11.12	CARPORT 2 ADDED FOR AMENDED BA	A

Checked: Checker DRAWN  
ER  
Approved: Approver  
DATE  
Reviewed: 22/11/12

SCALE  
As indicated  
REVISION  
A

CARPORT DETAILS  
**WD11A**

**T T ARCHITECTURE**  
35 KENNEDY STREET KINGSTON ACT  
Tel: 62326311 Fax: 62326312  
A.B.N. 72 087 549 835 A.C.N. 087 549 835



Amended BA for the  
Added Carport 2

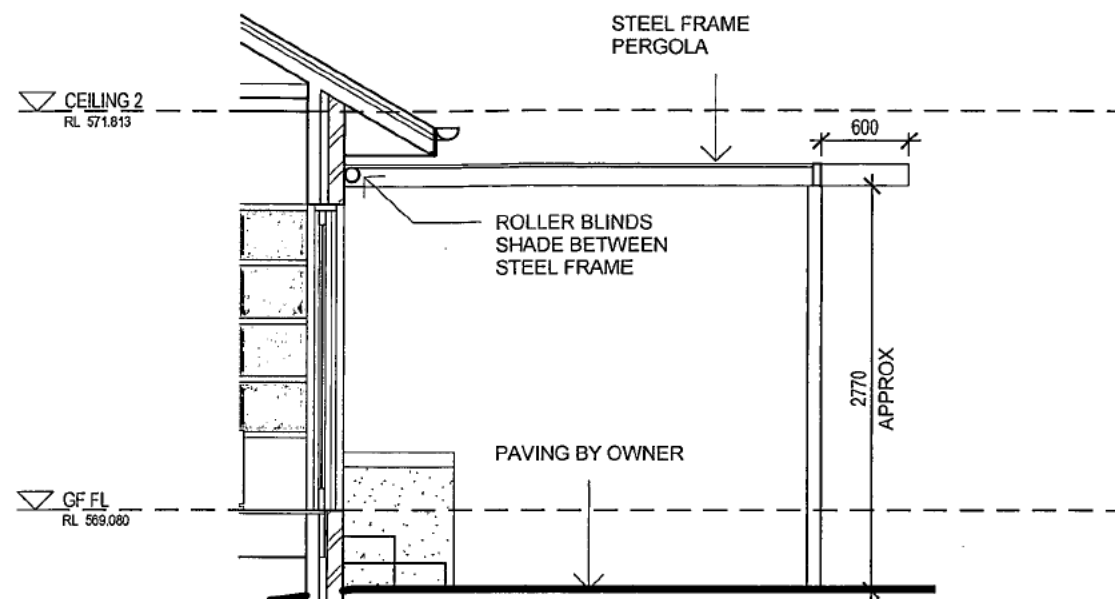


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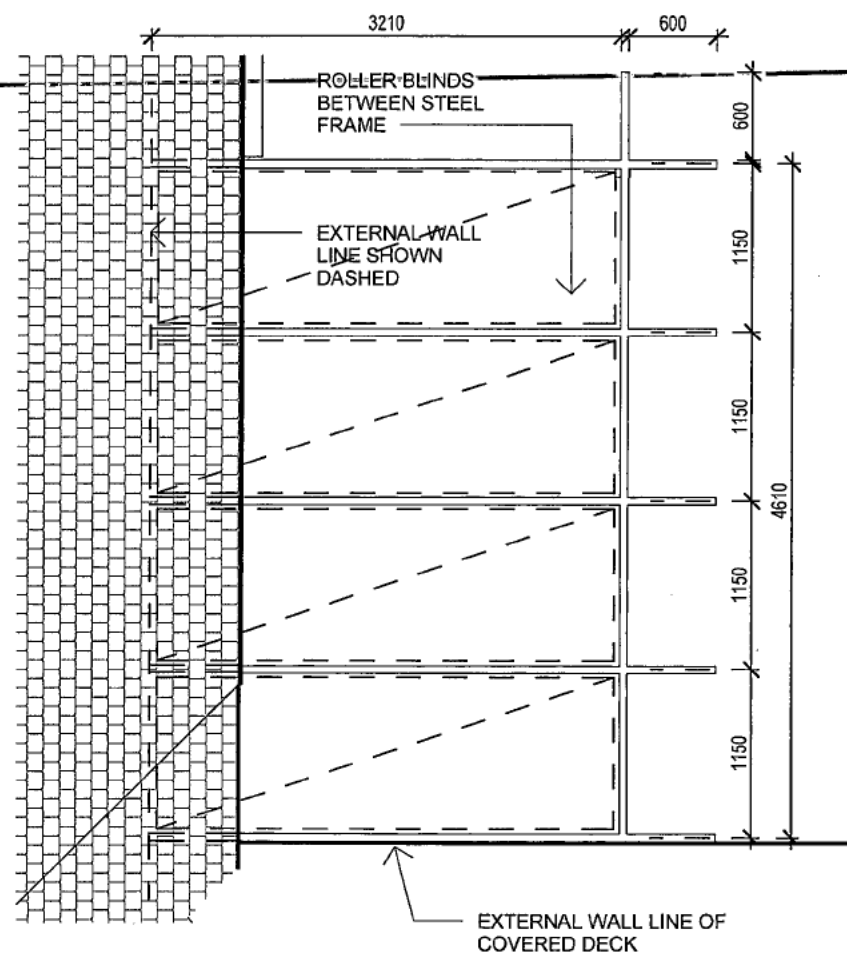
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BCA CERTIFIERS  
AUSTRALIA PTY LTD  
Lic. No: 200714

1a & 10a  
BCA Occupancy Class:  
N.A.  
BCA Type of Construction



**Section 9**  
SCALE: 1:50



**PERGOLA DETAILS**  
SCALE: 1:50

**TENDER DOCUMENTS**  
THESE DRAWINGS ARE FOR CONSTRUCTION.

PROJECT NO: Alterations & Additions to  
**1022** Block 11 Section 36  
37 Anzac Park, Reid

AMENDMENTS			
Revised By	Date	Description	Code

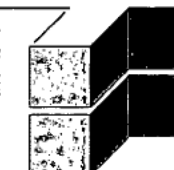
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Approved: Approver  
DATE  
Reviewed: 20/06/11

SCALE  
1:50  
REVISION

DETAILS

**WD12**

**T T ARCHITECTURE**  
35 KENNEDY STREET KINGSTON ACT  
Tel: 62326311 Fax: 9226312  
A.B.N. 72 087 549 835 A.C.N. 087 549 835



**TENDER DOCUMENTS**  
THESE DRAWINGS ARE FOR CONSTRUCTION.

**WINDOW SCHEDULE**

MARK	CODE	LOCATION	HEIGHT	WIDTH	WINDOW STYLE	GLAZING	FRAME MATERIAL	REMARKS
1	AA 1200x1000 2	PANTRY	1200	1000	AWNING	DG	PAINTED TIMBER	
2	ADH 1600x600 timber 3	DINING	1600	600	DOUBLE HUNG	DG	PAINTED TIMBER	
3	ADH 1600x600 timber 3	DINING	1600	600	DOUBLE HUNG	DG	PAINTED TIMBER	
4	AF 1150x970 CNR 7	FAMILY	1150	970	FIXED	SINGLE LOW E	PAINTED TIMBER	FRAMELESS CORNER
5	AF 1150x970 CNR 7	FAMILY	1150	970	FIXED	SINGLE LOW E	PAINTED TIMBER	FRAMELESS CORNER
6	ADH 1600 X 971	FAMILY	1600	970	DOUBLE HUNG	DG	PAINTED TIMBER	
7	ADH 1600 X 971	FAMILY	1600	970	DOUBLE HUNG	DG	PAINTED TIMBER	
8	AF 1600x970 CNR 5	FAMILY	1600	970	FIXED	SINGLE LOW E	PAINTED TIMBER	FRAMELESS CORNER
9	AF 1600x970 CNR 5	FAMILY	1600	970	FIXED	SINGLE LOW E	PAINTED TIMBER	FRAMELESS CORNER
10	ADH 1600 X 971	FAMILY	1600	970	DOUBLE HUNG	DG	PAINTED TIMBER	
11	ADH 1600 X 971	FAMILY	1600	970	DOUBLE HUNG	DG	PAINTED TIMBER	
14	ADH 1600 X 1077	LOUNGE	1600	1075	DOUBLE HUNG	DG	PAINTED TIMBER	
15	ADH 1600 X 1077	LOUNGE	1600	1075	DOUBLE HUNG	DG	PAINTED TIMBER	
16	AA1000x730 3	BATHROOM	1000	730	AWNING	DG	PAINTED TIMBER	OPAQUE GLASS
19	AF 1600 x 902	DECK	1600	900	FIXED	NO GLAZING	PAINTED TIMBER	FLYSCREENED ONLY
20	AF 1600 x 886.66 2 2	DECK	1600	887	FIXED	NO GLAZING	PAINTED TIMBER	FLYSCREENED ONLY
21	AF 1600 x 886.66 2 2	DECK	1600	887	FIXED	NO GLAZING	PAINTED TIMBER	FLYSCREENED ONLY
22	AF 1600 x 886.66 2 2	DECK	1600	887	FIXED	NO GLAZING	PAINTED TIMBER	FLYSCREENED ONLY
23	ADH 1114x1000 timber	LAUNDRY	1110	1000	AWNING	DG	PAINTED TIMBER	EXISTING OPENING
25	AF 430 X 1471	LOUNGE	430	1470	FIXED	SINGLE	PAINTED TIMBER	ABOVE D24
26	600x900 SKYLIGHT 2	BATHROOM	900	600	FIXED		PAINTED TIMBER	RE-USE KITCHEN SKYLIGHT

**DOOR SCHEDULE**

MARK	CODE	LOCATION	HEIGHT	WIDTH	FRAME MATERIAL	COMMENTS
12	ASD 2100x3600 6	DINING	2100	3600	PAINTED TIMBER	4 PANEL SLIDING -DG
13	4770 BI-FOLD	KITCHEN	2100	770	PAINTED TIMBER	BIFOLD DOOR - DG
17	820 Entry 2	LAUNDRY	2100	820	PAINTED TIMBER	DOUBLE GLAZED OPAQUE GLASS
18	ASD 2100x3600 5	DECK	2100	3600	PAINTED TIMBER	4 PANEL SLIDING FLYSCREEN ONLY
24	720 Entry 2	LOUNGE	2040	720	PAINTED TIMBER	SG; INTERNAL DOOR; W25 ABOVE

**INTERNAL DOORS**

MARK	CODE	LOCATION	HEIGHT	WIDTH	FRAME MATERIAL	COMMENTS
D101		BATHROOM			PAINTED TIMBER	RECLAIMED EXISTING DOOR
D102	SLIDING DOOR	PANTRY			PAINTED TIMBER	RECLAIMED EXISTING DOOR

PROJECT NO: **1022** Alterations & Additions to **Block 11 Section 36 37 Anzac Park, Reid**

**AMENDMENTS**

Revised By	Date	Description	Code

Checked: Checker **DRAWN**  
Author  
Approved: Approver **DATE**  
Reviewed: 20/06/11

SCALE  
  
REVISION

WINDOW SCHEDULE  
**WD13**

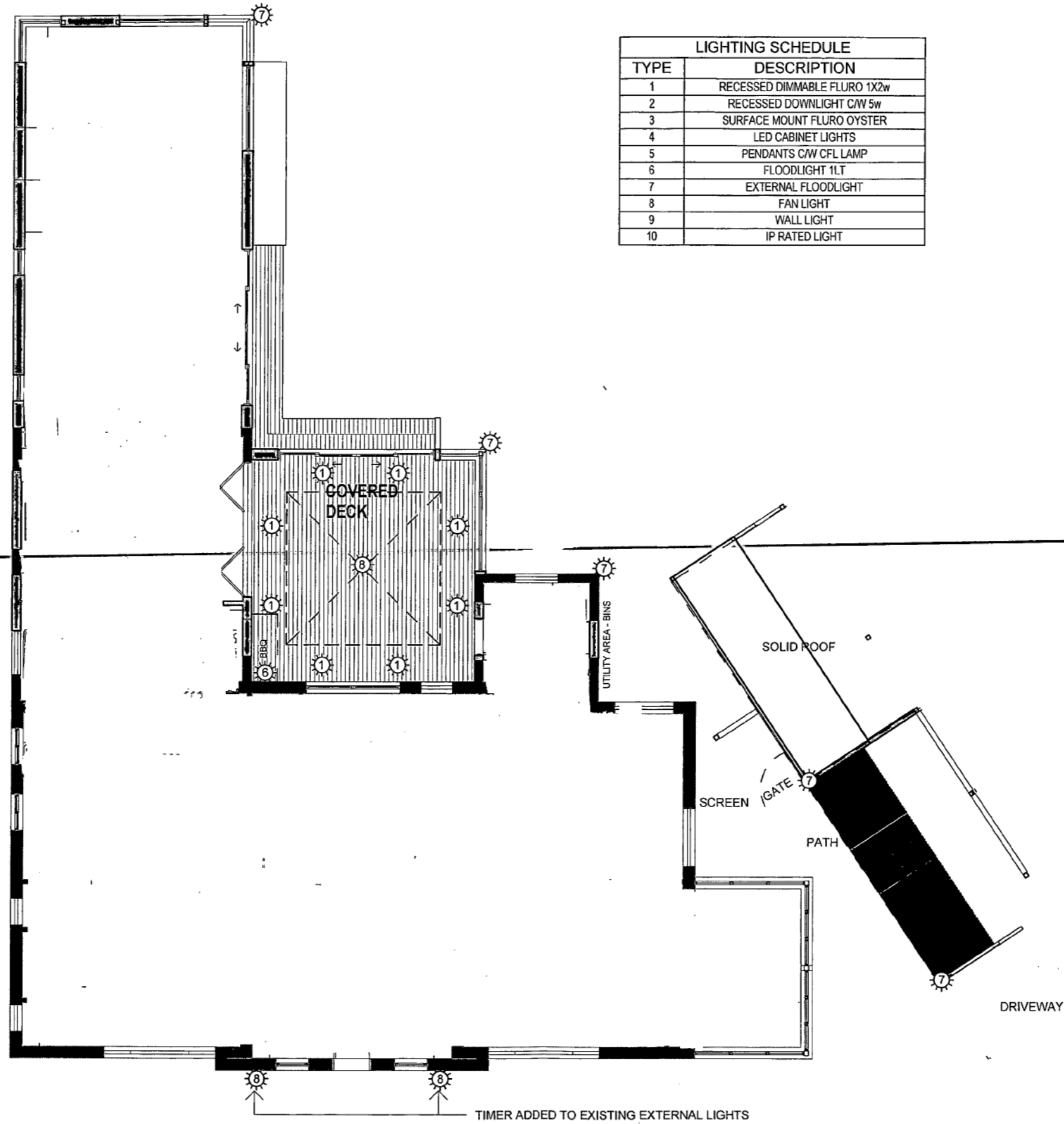
**T T ARCHITECTURE**  
35 KENNEDY STREET KINGSTON ACT  
Tel: 62326311 Fax: 62326312  
A.B.N. 72 087 549 835 A.C.N. 087 549 835





**TENDER DOCUMENTS**  
THESE DRAWINGS ARE FOR CONSTRUCTION.

**LIGHTING PLAN**  
SCALE: 1:100



LIGHTING SCHEDULE	
TYPE	DESCRIPTION
1	RECESSED DIMMABLE FLURO 1X2w
2	RECESSED DOWNLIGHT C/W 5w
3	SURFACE MOUNT FLURO OYSTER
4	LED CABINET LIGHTS
5	PENDANTS C/W CFL LAMP
6	FLOODLIGHT 1LT
7	EXTERNAL FLOODLIGHT
8	FAN LIGHT
9	WALL LIGHT
10	IP RATED LIGHT

**ELECTRICAL LEGEND**

- LIGHT & TYPE
- TV SOCKET
- TELEPHONE OUTLET
- DATA OUTLET
- DOUBLE GPO @ 300 ABOVE FFL. APPROX LEVEL
- DOUBLE GPO @ 800 ABOVE FFL. APPROX LEVEL JUST BELOW BENCH
- DOUBLE GPO @ 1100 ABOVE FFL. APPROX ABOVE BENCH
- LIGHT SWITCH SINGLE
- LIGHT SWITCH 2 WAY
- LIGHT SWITCH DIMMER

**NOTE**  
- READ PLANS IN CONJUNCTION WITH INTERIOR DOCUMENTATION  
- SMAOKE ALARMS AS REQUIRED BY BCA.

PROJECT NO: Alterations & Additions to  
**1022** Block 11 Section 36  
37 Anzac Park, Reid

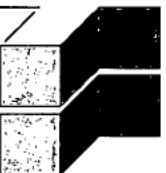
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Revised By	Date	Description	Code

Checked: Checker  
Approved: Approver  
Reviewed: DATE

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ER  
DATE  
20/06/11  
SCALE  
1:100  
REVISION

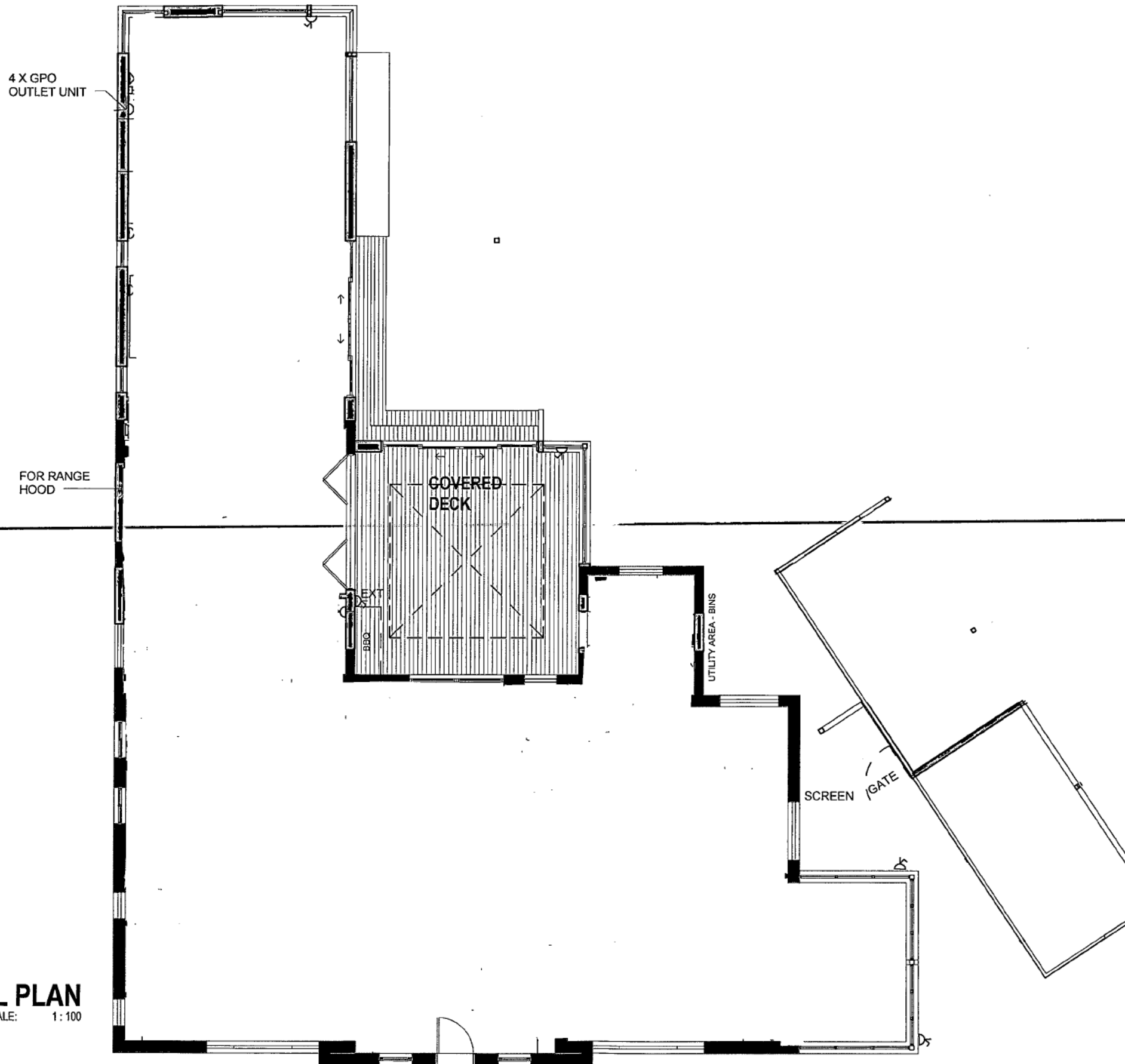
LIGHTING PLAN  
**WD15**

**T T ARCHITECTURE**  
35 KENNEDY STREET KINGSTON ACT  
Tel: 62326311 Fax: 62326312  
A.B.N. 72 087 549 835 A.C.N. 087 549 835



**TENDER DOCUMENTS**  
 THESE DRAWINGS ARE FOR CONSTRUCTION.

**ELECTRICAL PLAN**  
 SCALE: 1:100



**ELECTRICAL LEGEND**

- LIGHT & TYPE
- TV SOCKET
- TELEPHONE OUTLET
- DATA OUTLET
- DOUBLE GPO @ 300 ABOVE FFL. APPROX LEVEL
- DOUBLE GPO @ 800 ABOVE FFL. APPROX LEVEL JUST BELOW BENCH
- DOUBLE GPO @ 1100 ABOVE FFL. APPROX ABOVE BENCH
- LIGHT SWITCH SINGLE
- LIGHT SWITCH 2 WAY
- LIGHT SWITCH DIMMER

**NOTE**  
 - READ PLANS IN CONJUNCTION WITH INTERIOR DOCUMENTATION  
 - SMOKE ALARMS AS REQUIRED BY BCA.

PROJECT NO: 1022  
 Alterations & Additions to Block  
 Bubutiovaska/Collings 11 Section 36  
 37 Anzac Park, Reid

AMENDMENTS			
Revised By	Date	Description	Code

Checked: Checker ER  
 Approved: Approver  
 Reviewed: 20/06/11

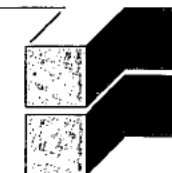
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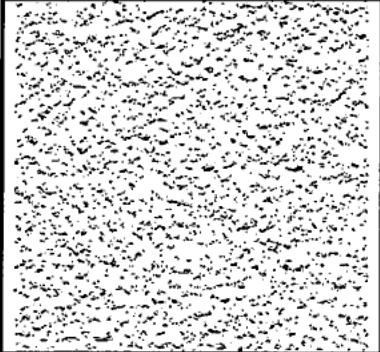

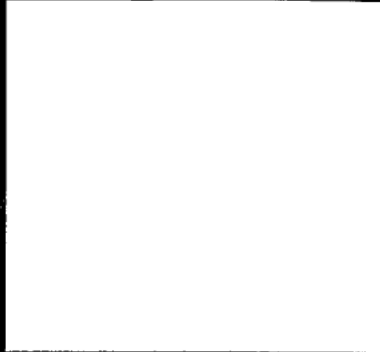
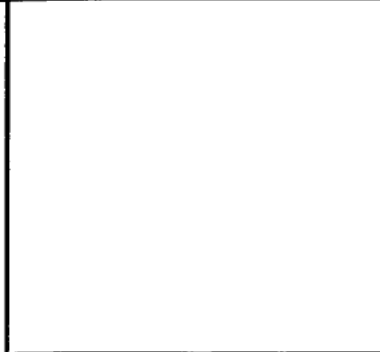
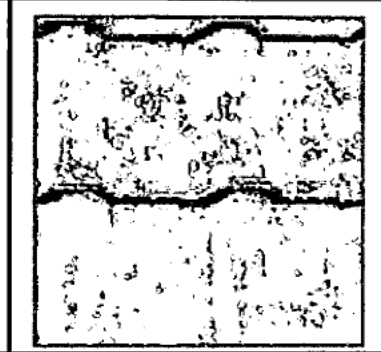
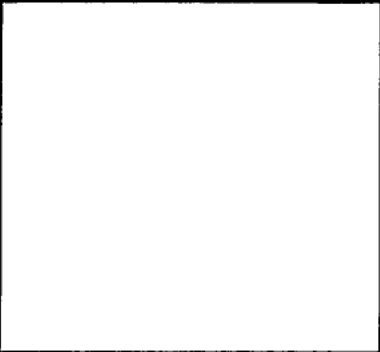


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REVISION

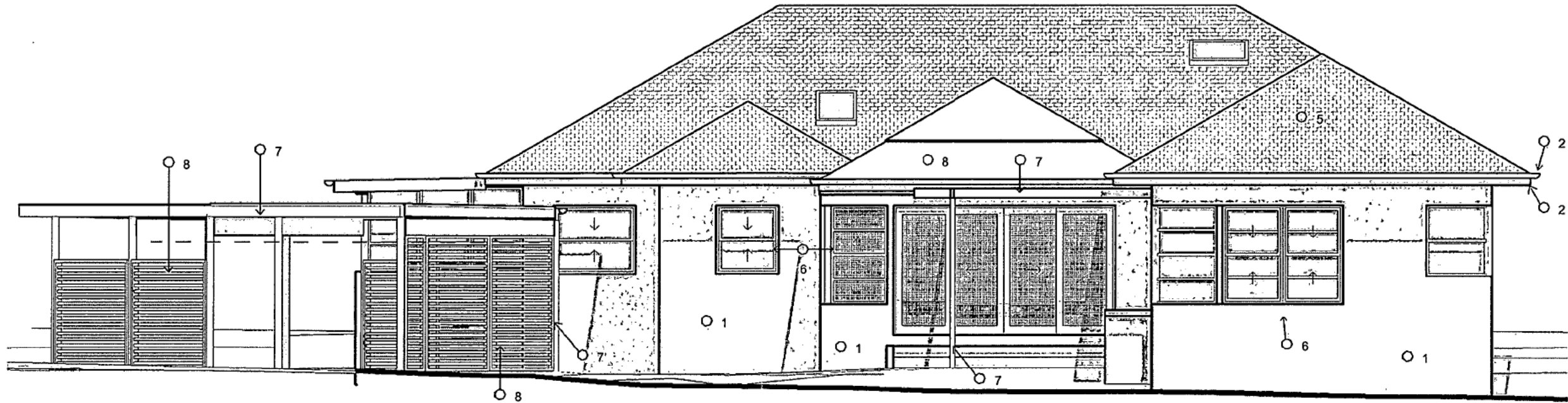
**ELECTRICAL PLAN**  
**WD16**

**T T ARCHITECTURE**  
 35 KENNEDY STREET KINGSTON ACT  
 Tel: 62326311 Fax: 62326312  
 A.B.N. 72 087 549 635 A.C.N. 087 549 635



				
<b>1</b> WALL RENDER: COLOUR TO MATCH EXISTING	<b>2</b> FASCIA, GUTTER: COLOUR TO MATCH EXISTING	<b>3</b> DOWNPIPES: COLOUR TO MATCH EXISTING WALL COLOUR	<b>4</b> EAVES LINING: OFF WHITE TO MATCH EXISTING	<b>5</b> ROOF TILES: TERRACOTTA TO MATCH EXISTING
				
<b>6</b> WINDOW FRAMES: PAINTED TIMBER TO MATCH EXISTING - OFF WHITE	<b>7</b> EXPOSED STEEL STRUCTURES: IRONSTONE	<b>8</b> ALUMINIUM BATTENS: POWDERCOAT - SHALE GREY		

**TENDER DOCUMENTS**  
THESE DRAWINGS ARE FOR CONSTRUCTION.



**COLOUR SAMPLES**  
SCALE: 1:75

PROJECT NO: **1022** Alterations & Additions to Block 11 Section 36  
37 Anzac Park, Reid

AMENDMENTS			
Revised By	Date	Description	Code

Checked: Checker DRAWN ER SCALE As indicated  
Approved: Approver DATE REVISION  
Reviewed: 20/06/11

COLOUR SAMPLES  
**WD17**

**T T ARCHITECTURE**  
35 KENNEDY STREET KINGSTON ACT  
Tel: 62326311 Fax: 62326312  
A.B.N. 72 087 549 835 A.C.N. 087 549 835



Amended BA for the Added Carport 2

Slab Schedule	
Mark	Comments
TF1	90 x 45 MGP10 joists-450crs supported by 90 x 90 LVL bearers at 1500 max crs supported by 230 brick piers at 1500 max crs on 400 x 400 x 200 deep mass concrete pads
TF2	90 x 45 MGP10 joists-450crs supported by 90 x 90 MGP10 TP at 1500 max crs supported by 230 brick piers at 1500 max crs on 400 x 400 x 200 deep mass concrete pads
SF1	500D x 300W strip footing, 3-L12TM top & bottom
SF2	400D x 300W strip footing, 3-L11TM top and bottom
P1	450Ø bored piers, 900 deep, 6N12 + R10-300 ties
ESF1	Assumed existing strip footing
*	4-N12 dowels top & btm., epoxy 300 long 150 into existing footing

**GENERAL NOTES**

- 1 Read drawings and notes in conjunction with specifications and other consultants' drawings.
- 2 Specification: NATSPEC Site & Structure UNO.
- 3 Refer discrepancies to the Architect before proceeding with work.
- 4 Do not scale drawings.
- 5 Ensure work quality, testing, materials and verifications are in accordance with the specifications and current applicable SAA codes.
- 6 Install proprietary items specified in accordance with the manufacture's written specification.

- 7 Install and maintain temporary bracing and support to ensure structure is stable at all times during construction.
- 8 All architectural fitments such as glazing, partitions, ceiling, etc. should allow for the short and long term movement of structural elements. Allow for movement of 20mm unless specified or agreed otherwise.

**DESIGN LOADS**

- 1 Wind classification N2
- 2 Floor live load 1.5kPa
- 3 Roof live load 0.25kPa

**FOOTINGS**

- 1 Allowable bearing capacity UNO
  - Pad footings 150kPa
  - Strip footings 100kPa
- 2 Site classification - M
- 3 Type of construction articulated masonry veneer
- 4 Obtain written approval of founding material before placing concrete.
- 5 Where necessary, step strip footings in accord with AS2870 Fig. 5.6.
- 6 Wrap pipes under footings in "Abelflex".
- 7 Provide mass concrete (10MPa) under footings to specified founding material if required. For footings near retaining walls, provide mass concrete under the footings so that the underside of the mass concrete is below the 45° influence line from the bottom of the retaining wall.
- 8 Ensure trenches are outside the 45° influence line from the base of adjacent footings. Backfill trenches with mass concrete or provide mass concrete under the footings if necessary.

**CONCRETE**

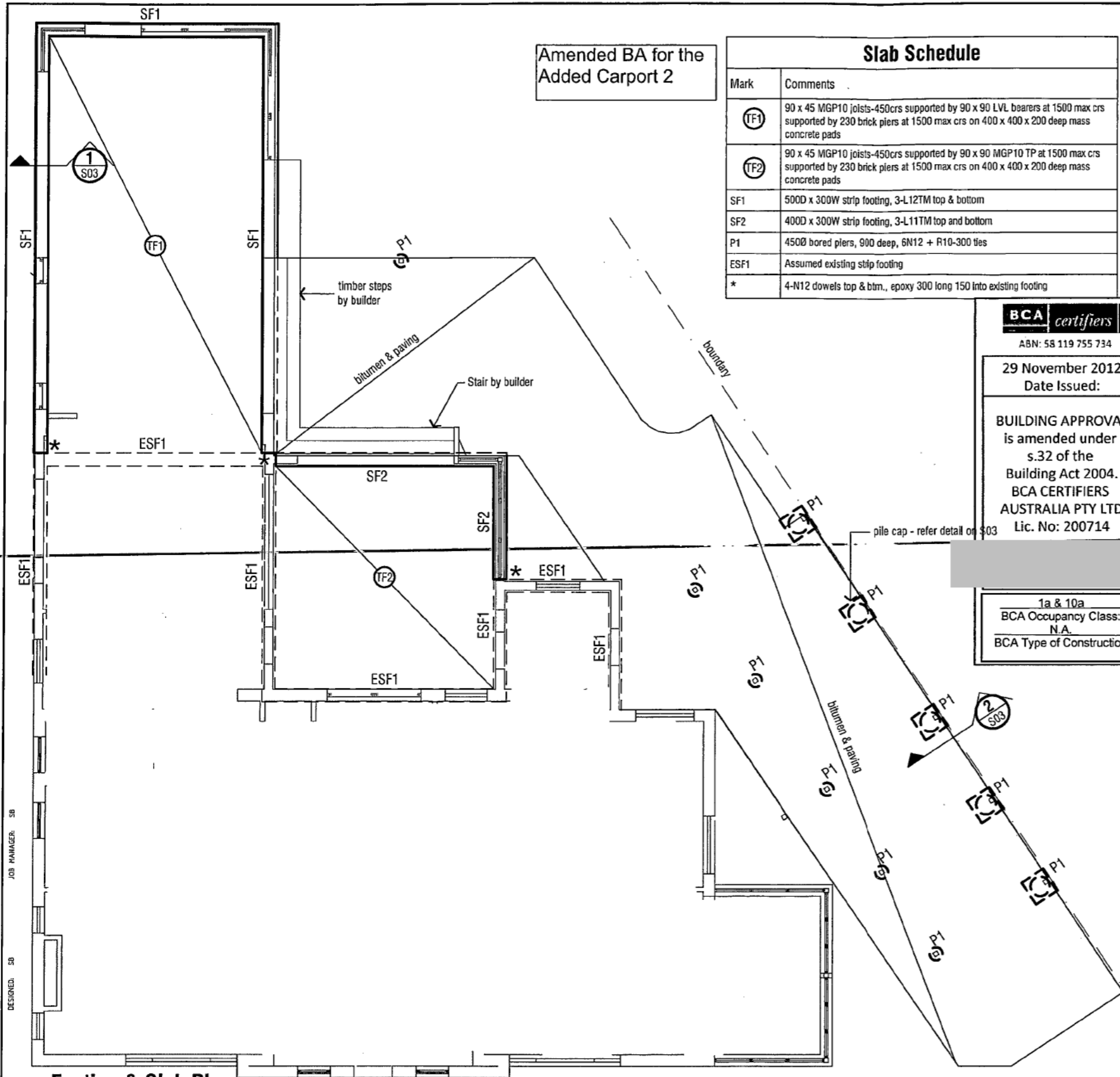
- 1 Carry out all work in accordance with AS3600 and NATSPEC Concrete.
- 2 Concrete properties UNO
  - Grade N25 footings, S25, 650um slabs
  - Max. aggregate size 20mm
  - Slump 80mm
- 3 Lap reinf. in accordance with AS3600 Section 13. Min laps UNO
  - bars 600
  - mesh one grid + 25mm
- 4 Concrete cover to reinf UNO
  - In contact with ground (unformed) 40mm
  - top cover for slabs 30mm
- 5 Formwork class (AS3510)
  - UNO 3
  - In ground footings 5
- 6 Consolidate concrete by vibration.
- 7 Surface Finishes
  - Floor slabs UNO fine steel trowel
- 8 Unless approved otherwise, cure finished concrete surfaces for at least 5 days by ponding or covering with plastic sheet.

**MASONRY**

- 1 Carry out masonry construction in accordance with AS3700.
- 2 Minimum characteristic unconfined compressive strength of the masonry units
  - Clay bricks 20MPa
  - Concrete blocks 15MPa
- 3 Bed units in freshly prepared uniformly mixed mortar-M3
- 4 Reinforced block work
  - Ensure starters are correctly located in footings
  - Use E shaped blocks in the bottom course to clean cores and tie reinforcement
  - Clean out cores after each day's laying
- 5 Grout
  - Compressive strength 20MPa
  - Maximum aggregate size 10mm
  - Slump 250mm
- 6 UNO on drawings use galvanised steel lintels
  - 10 thick flat bar for maximum span 900
  - 100 x 10 EA for maximum span 2100
  - 150 x 100 x 10 UA for maximum span 4000
- 7 Use medium duty masonry ties UNO.
- 8 Where masonry joins structural steel or passes a return wall on the inner skin, provide medium duty galvanised ties at 300 max centres. Shot fix or spot weld ties to steelwork. If shot fixed, ensure nails concealed.
- 9 Provide control joints at max 8m spacing generally and 4m from return walls or other restraints.
- 10 Top load bearing walls with:
  - For clay bricks and grout filled blocks, 2 layers of "Alcor" or similar over level render
  - For hollow blocks 6mm compressed fibre cement sheet and one layer of "Alcor"
- 11 Ensure retaining walls exposed to the elements to have an subsoil agricultural line at base of wall, surround in gravel and connect to stormwater line.

**MASONRY ANCHORS**

- 1 Masonry anchors
  - UNO galvanised Ramset truebolts with min 70mm embedment
  - In cored masonry galvanised epoxy set anchors with sleeve & min 70mm embedment



**BCA certifiers**  
 ABN: 58 119 755 734  
 29 November 2012  
 Date Issued:  
 BUILDING APPROVAL  
 is amended under  
 s.32 of the  
 Building Act 2004.  
 BCA CERTIFIERS  
 AUSTRALIA PTY LTD  
 Lic. No: 200714

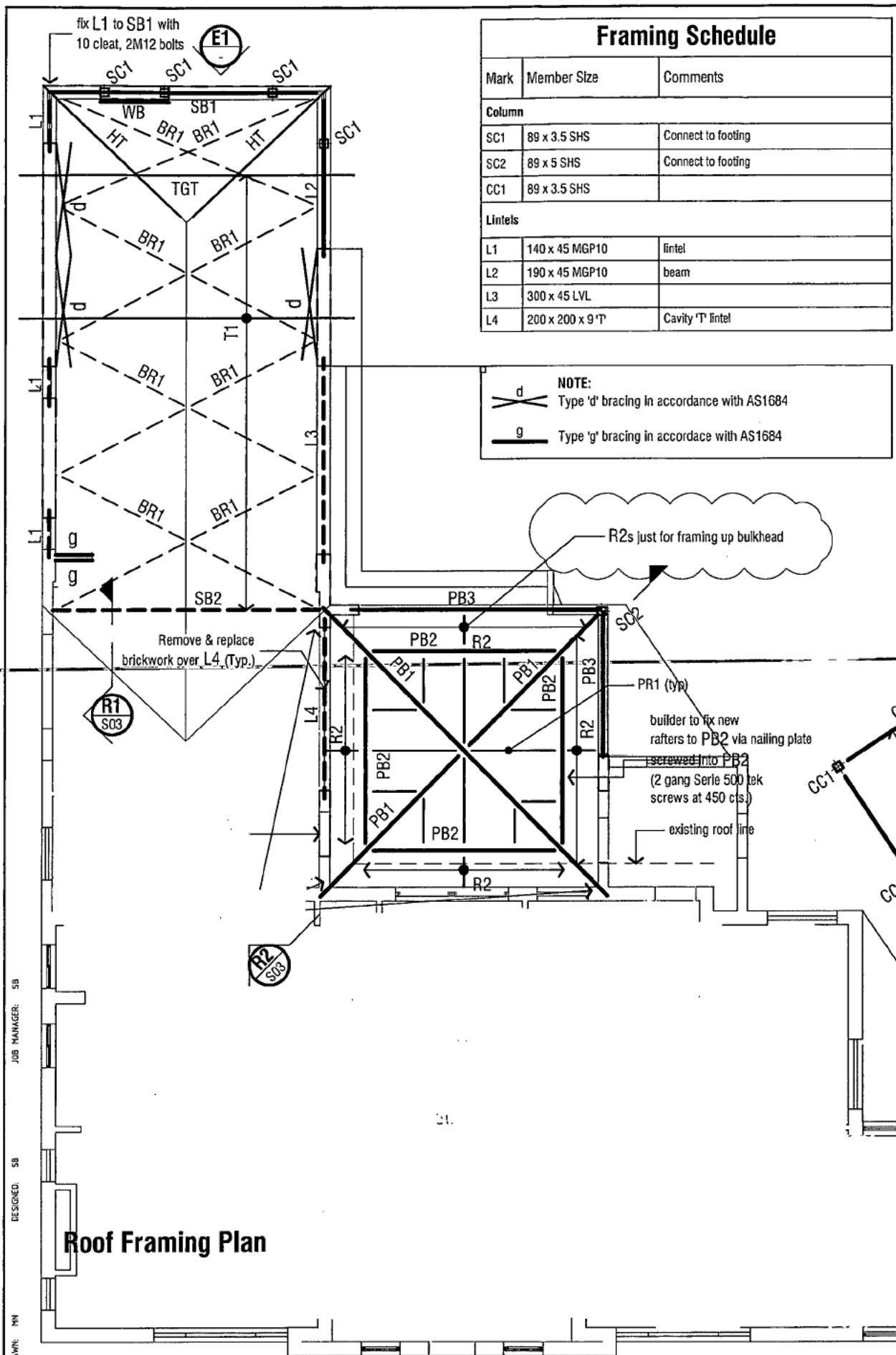
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1a & 10a  
 BCA Occupancy Class:  
 N.A.  
 BCA Type of Construction

**Footings & Slab Plan**

Note: Class 'M' site based on visual inspection in accordance with AS2870.  
 All footings to be founded 200mm into natural ground.

<table border="1"> <thead> <tr> <th>ISSUE</th> <th>AMENDMENT</th> <th>DRAWN</th> <th>VERD</th> <th>APP'D</th> <th>DATE</th> <th>CLIENT</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>PRELIMINARY</td> <td>BT</td> <td></td> <td>SD</td> <td>06.06.11</td> <td></td> </tr> <tr> <td>A</td> <td>BA &amp; CONSTRUCTION</td> <td>BT</td> <td></td> <td>SD</td> <td>24.06.11</td> <td></td> </tr> </tbody> </table>	ISSUE	AMENDMENT	DRAWN	VERD	APP'D	DATE	CLIENT	1	PRELIMINARY	BT		SD	06.06.11		A	BA & CONSTRUCTION	BT		SD	24.06.11		ARCHITECT <b>TT ARCHITECTURE</b>	<p><b>NORTHROP</b>                  Bringing people, ideas &amp; engineering together                  Canberra                  15 Albee Court, Phillip, ACT 2600                  Ph (02) 6285 1822                  Fax (02) 6285 1953                  Email canberra@northrop.com.au ABN 61 004 433 100</p>	PROJECT <b>BUBOTIOVSKA/COLLINS                  BLOCK 11 SECTION 38                  REID ACT 2812</b>	DRAWING TITLE <b>FOOTING, SLAB &amp;                  TIMBER DECKING PLAN</b>	JOB NUMBER <b>CR1100251</b> DRAWING NUMBER <b>S01</b> ISSUE <b>A</b> DRAWING SHEET SIZE = A3
ISSUE	AMENDMENT	DRAWN	VERD	APP'D	DATE	CLIENT																				
1	PRELIMINARY	BT		SD	06.06.11																					
A	BA & CONSTRUCTION	BT		SD	24.06.11																					

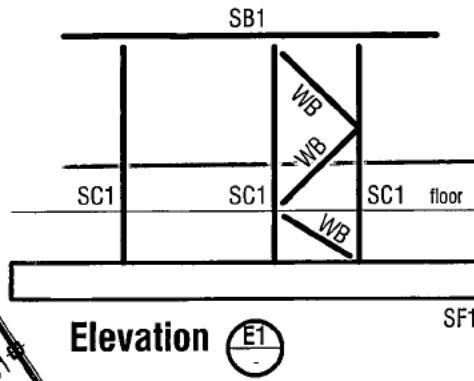


### Framing Schedule

Mark	Member Size	Comments
<b>Column</b>		
SC1	89 x 3.5 SHS	Connect to footing
SC2	89 x 5 SHS	Connect to footing
CC1	89 x 3.5 SHS	
<b>Lintels</b>		
L1	140 x 45 MGP10	lintel
L2	190 x 45 MGP10	beam
L3	300 x 45 LVL	
L4	200 x 200 x 9 'T'	Cavity 'T' lintel

**NOTE:**  
 Type 'd' bracing in accordance with AS1684  
 Type 'g' bracing in accordance with AS1684

Beam		
PB1	150 x 50 x 6 RHS	Site weld at apex
PB2	150 x 100 x 5 RHS	Site weld to PB2
PB3	150 x 100 x 5 RHS	
SB1	180 PFC	
SB2	180 PFC + 90 x 6 EA	to support existing roof framing - connect existing roof framing to new beam
CB1	180 PFC	Perimeter beam
TB1	300 x 63 LVL	New strutting beam installed within ceiling space, roof and ceiling to be reconnected to this beam
Truss & Rafters		
TGT	Truncated girder truss	
T1	New trusses by truss manufacturer	
HT	Hip truss	
PR1	100 x 50 x 4 RHS	Site weld to PB1/PB2
R1	140 x 35 MGP10	600 cts max.
R2	90 x 35 MGP10	600 cts max.
Bracing		
BL1	125 x 75 x 8 UA	Builder to determine safe method of installation
WB	89 x 3.5 SHS	Welded brace
BR1	Speed brace	



### STEELWORK

- Fabricate and erect structural steelwork in accordance with AS4100 and AS4600.
- Provide holes, cleats and fixing for timber framing, finishes, etc shown on architectural drawings.
- Unless approved otherwise, prepare shop drawings and submit for review before fabrication starts.
- UNO, use
  - 10mm plates.
  - M16 8.8/S galvanised bolts.
  - 6mm continuous fillet welds made with E48XX mild steel electrodes.
  - Category SP welds.
- Cold formed sections
  - Minimum yield stresses for purlins and girts - 450MPa
  - Surface treatment hot dipped zinc coating, at least 200g/m<sup>2</sup>.
  - Provide laps, bridging, brackets and purlin bolts in accordance with manufacturers' specifications.
- Surface treatment UNO
  - Protected from weather - Class 2 clean with 40 microns of zinc phosphate primer (ALK1 in AS2312).
  - Exposed to weather - Class 2½ clean with 75 microns of inorganic zinc silicate (ZS2 in AS2312) or galvanised.
  - Holding down bolts - galvanised.
- Buried steelwork encase in concrete, minimum cover 75mm.
- Typical steelwork connections UNO
  - Column base plates, 12 base plate, 2M16 chemset anchors to footing or slab
  - Beam to top of column, cap plate, 2 or 4 bolts or site weld
  - Beam to side of column, fin plate, 2 bolts
  - Beam to side of beam, end plate or fin plate, 2 bolts
  - Column to top of beam, base plate, 2 or 4 bolts or site weld
- Unless otherwise detailed provide C10015 trimmers with general purpose brackets to support edge of sheeting at all hips, valleys and penetrations. Around general wall & roof penetrations provide trimmers of equal size to girts & purlins.

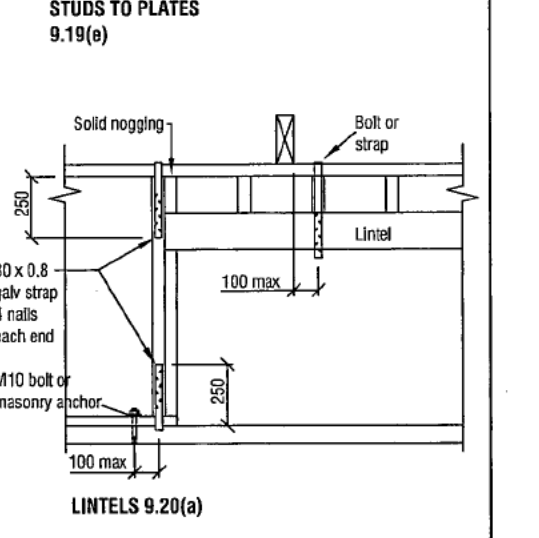
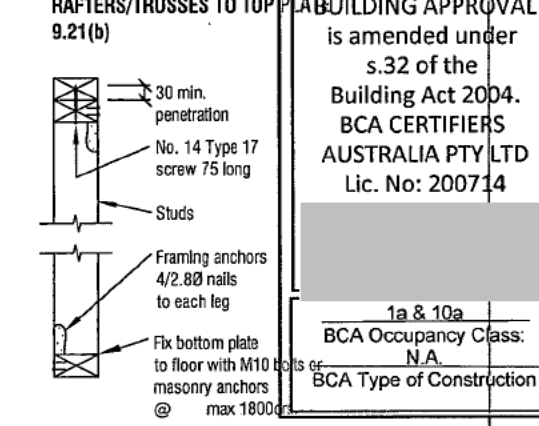
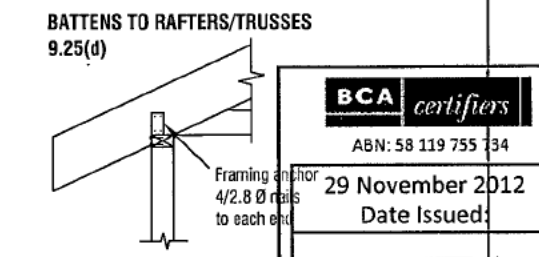
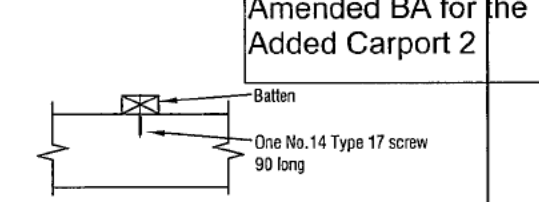
### TIMBER ROOF TRUSSES

- Roof trusses are proprietary elements and the design of roof trusses, bracing, anchorages and lateral restraint of trusses is the responsibility of the contractor.
- Design drawings, installation instructions and relevant manufacturer's data shall be kept on site to be used during erection.
- Design loads. Truss manufacturer is to assess weight of roof system and is to coordinate with services contractors to ensure trusses are designed for specific equipment loads. As a minimum allow for:
  - roof material steel roof sheeting
  - ceiling material plasterboard
  - duct and miscellaneous equipment allowance 20kg/m<sup>2</sup> applied as a uniform load to the bottom chord.
  - refer to general notes for wind loads
- Maximum differential deflection between similar positions on adjacent trusses is not to exceed 5mm.
- Truss layout and web arrangement will be to truss manufacturers design. Manufacturer is to liaise with services' contractors to coordinate access through trusses.
- Unless approved otherwise, submit drawings before fabrication begins. Drawings should clearly show evidence that the nominated design parameters have been used in the design.
- The truss manufacturer shall provide certification for the design of the truss system confirming that it is in accordance with relevant Australian standards. The certificate shall include verification of design loads, verification of software used, referenced drawings and referenced installation instructions.
- On completion, provide certification that trusses, bracing, anchorages and lateral restraint have been installed in accordance with the intent of the design documents and AS4440.

### HOLDING DOWN DETAILS

All holding down details to be in accordance with AS1684.2. Unless instructed or approved otherwise use:

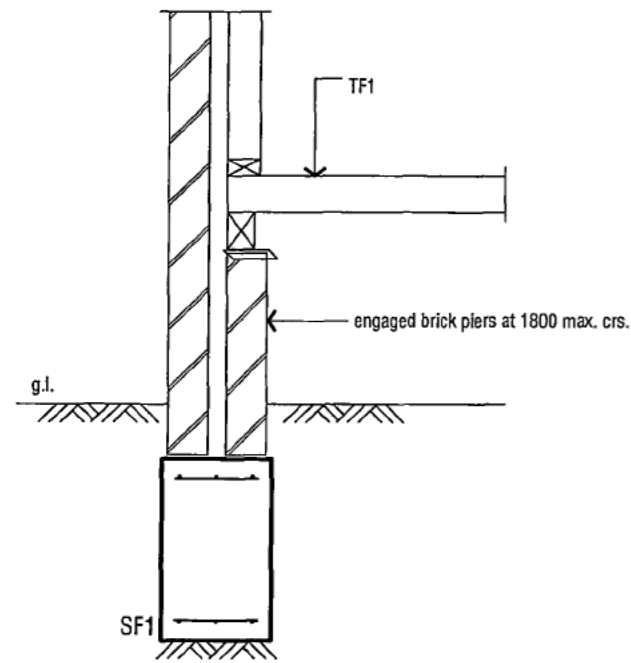
- Battens to rafters/trusses - one No 14 type 17 screw x 90 long 9.25(d)
- Rafters/trusses to top plate: one framing anchor 9.21(b)
- Studs to top & bottom plates: one framing anchor @ max 1800 centres 9.19(e)
- Lintels to wall framing: one looped strap at each end 9.20(a)
- Bottom plate to slab/floor framing: M10 masonry anchors or bolts beside lintels and @ maximum 1800 centres
- Alternatively top plate to slab/floor framing: M10 threaded rod beside lintels and @ maximum 1800 centres



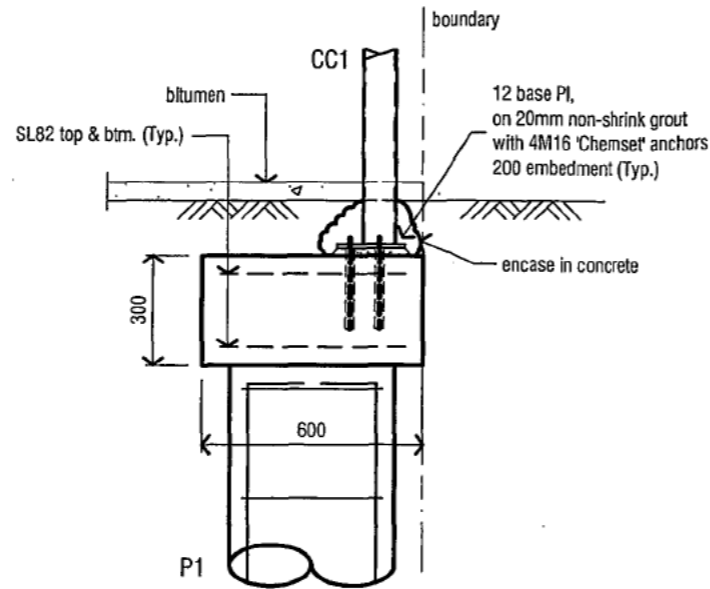
Amended BA for the Added Carport 2

**BCA certifiers**  
 ABN: 58 119 755 134  
 29 November 2012  
 Date Issued:  
**BUILDING APPROVAL**  
 is amended under s.32 of the Building Act 2004.  
 BCA CERTIFIERS AUSTRALIA PTY LTD  
 Lic. No: 200714  
 1a & 10a  
 BCA Occupancy Class: N.A.  
 BCA Type of Construction

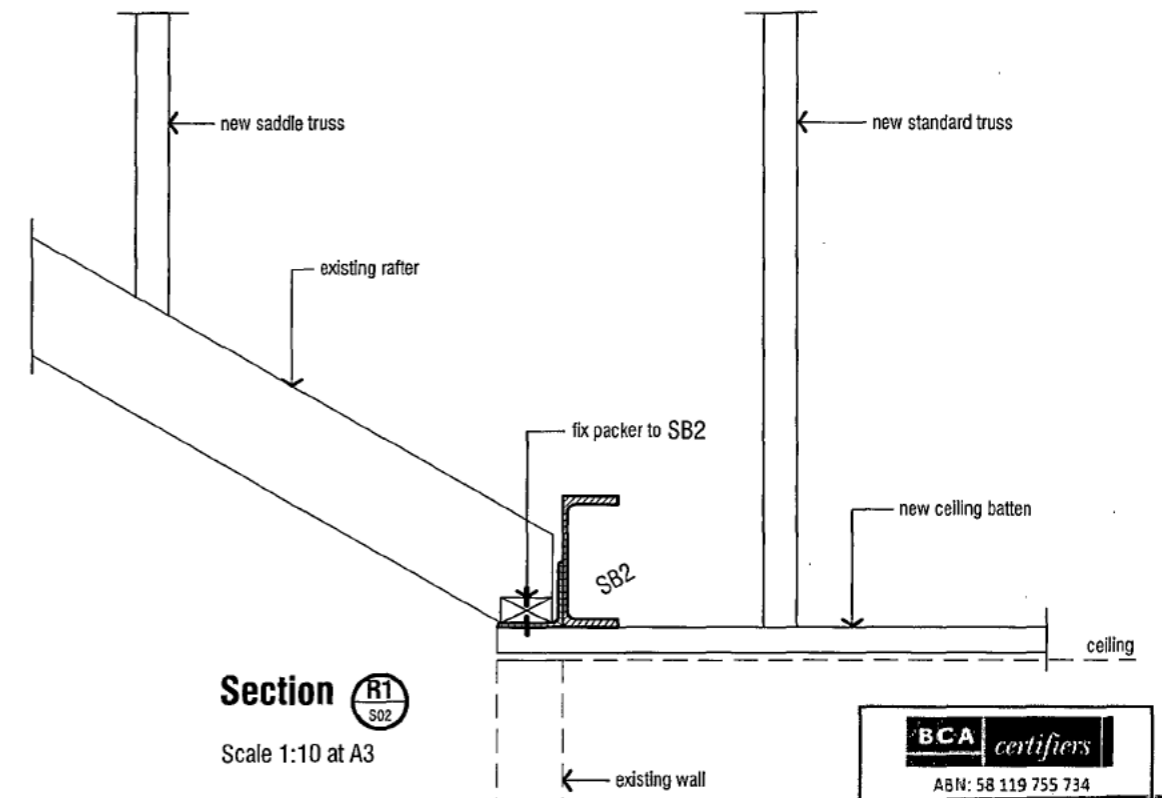
<table border="1"> <thead> <tr> <th>ISSUE</th> <th>AMENDMENT</th> <th>DRAWN</th> <th>VERO</th> <th>APPD</th> <th>DATE</th> <th>CLIENT</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>PRELIMINARY</td> <td>BT</td> <td>SB</td> <td>SB</td> <td>06.04.11</td> <td></td> </tr> <tr> <td>A</td> <td>BA &amp; CONSTRUCTION</td> <td>BT</td> <td>SB</td> <td>SB</td> <td>24.04.11</td> <td></td> </tr> <tr> <td>B</td> <td>REVISED AS CLOUDED</td> <td>BT</td> <td>SB</td> <td>SB</td> <td>28.04.11</td> <td></td> </tr> </tbody> </table>	ISSUE	AMENDMENT	DRAWN	VERO	APPD	DATE	CLIENT	1	PRELIMINARY	BT	SB	SB	06.04.11		A	BA & CONSTRUCTION	BT	SB	SB	24.04.11		B	REVISED AS CLOUDED	BT	SB	SB	28.04.11		ARCHITECT <b>TT ARCHITECTURE</b>	<p><b>NORTHROP</b>                  Bringing people, ideas &amp; engineering together                  Canberra                  15 Altree Court,                  Potts Pt, ACT 2600                  Ph (02) 6295 1822                  Fax (02) 6295 1863                  Email canberra@northrop.com.au ABN 61 094 433 100</p>	PROJECT <b>BUBOTIOVSKA/COLLINS                  BLOCK 11 SECTION 38                  REID ACT 2812</b>	DRAWING TITLE <b>ROOF FRAMING PLAN</b>	JOB NUMBER <b>CR1100251</b> DRAWING NUMBER <b>S02</b> ISSUE <b>B</b> DRAWING SHEET SIZE = A3
ISSUE	AMENDMENT	DRAWN	VERO	APPD	DATE	CLIENT																											
1	PRELIMINARY	BT	SB	SB	06.04.11																												
A	BA & CONSTRUCTION	BT	SB	SB	24.04.11																												
B	REVISED AS CLOUDED	BT	SB	SB	28.04.11																												



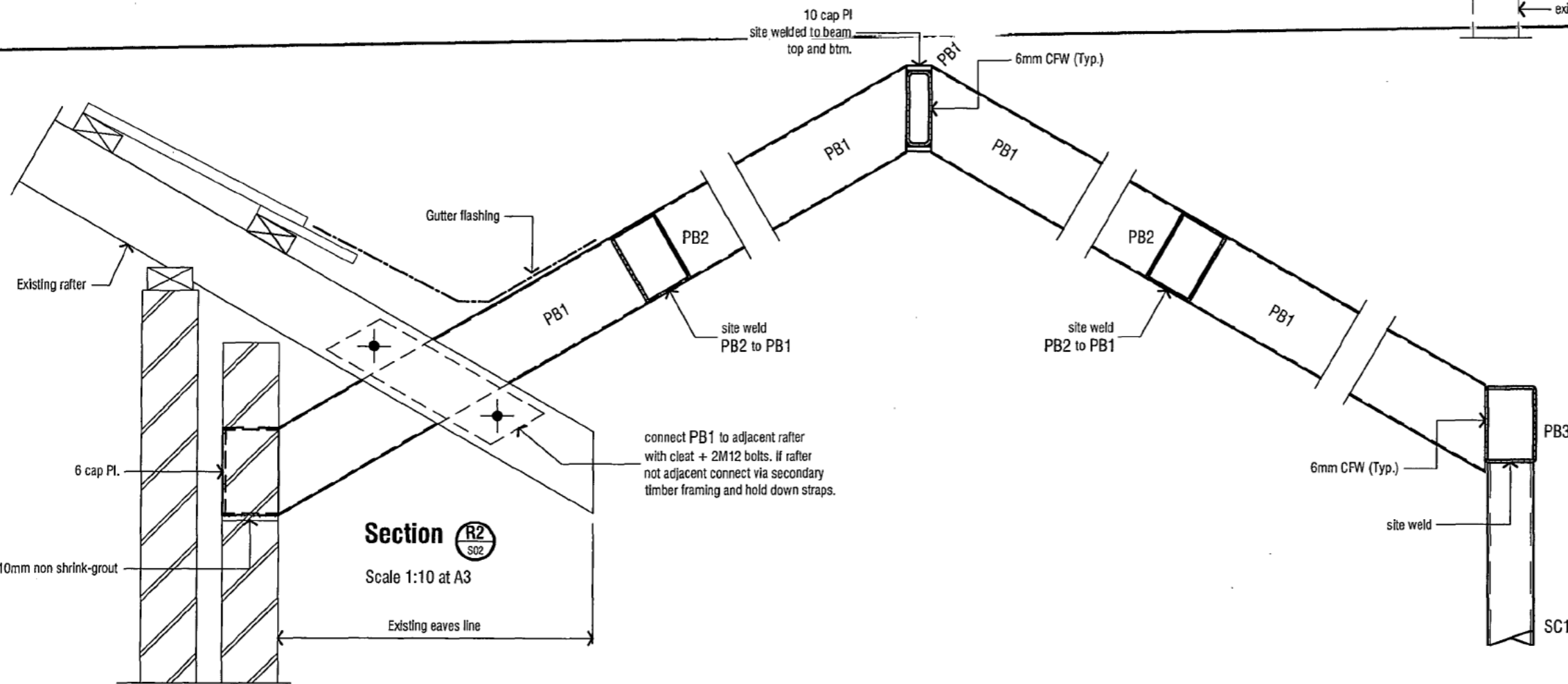
**Typical Strip Footing Detail** (1) S01  
Scale 1:20 at A3



**Typical Column to Pier Detail** (2) S01  
Scale 1:20 at A3



**Section** (R1) S02  
Scale 1:10 at A3



**Section** (R2) S02  
Scale 1:10 at A3

**BCA certifiers**  
ABN: 58 119 755 734

29 November 2012  
Date Issued:

BUILDING APPROVAL  
is amended under  
s.32 of the  
Building Act 2004.  
BCA CERTIFIERS  
AUSTRALIA PTY LTD  
Lic. No: 200714

1a & 10a  
BCA Occupancy Class:  
N.A.  
BCA Type of Construction

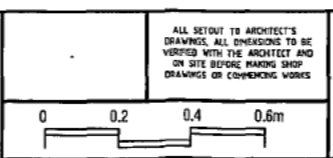
Amended BA for the  
Added Carport 2

JOB MANAGER: SB  
DESIGNED: SB  
DRAWN: NN

ISSUE	AMENDMENT	DRAWN	VER'D	APP'D	DATE	CLIENT
1	PRELIMINARY	BT	SB		06.06.11	
A	BA & CONSTRUCTION	BT	SB		24.06.11	

ARCHITECT  
**TT ARCHITECTURE**

ALL SETOUT TO ARCHITECT'S DRAWINGS. ALL DIMENSIONS TO BE VERIFIED WITH THE ARCHITECT AND ON SITE BEFORE MAKING SHOP DRAWINGS OR COMMENCING WORKS.



**NORTHROP**  
Bringing people, ideas & engineering together  
Canberra

15 Alhara Court  
Phillip, ACT 2606  
Email: canberra@northrop.com.au ABN 81 094 433 100

Ph: (02) 6285 1522  
Fax: (02) 6285 1953

PROJECT  
**BUBOTIOVSKA/COLLINS  
BLOCK 11 SECTION 36  
REID ACT 2612**

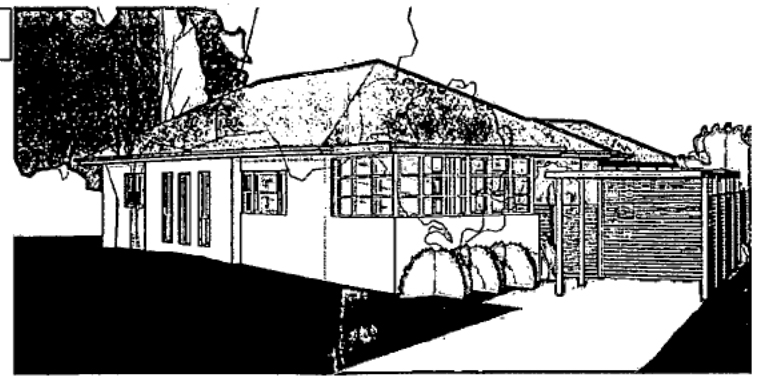
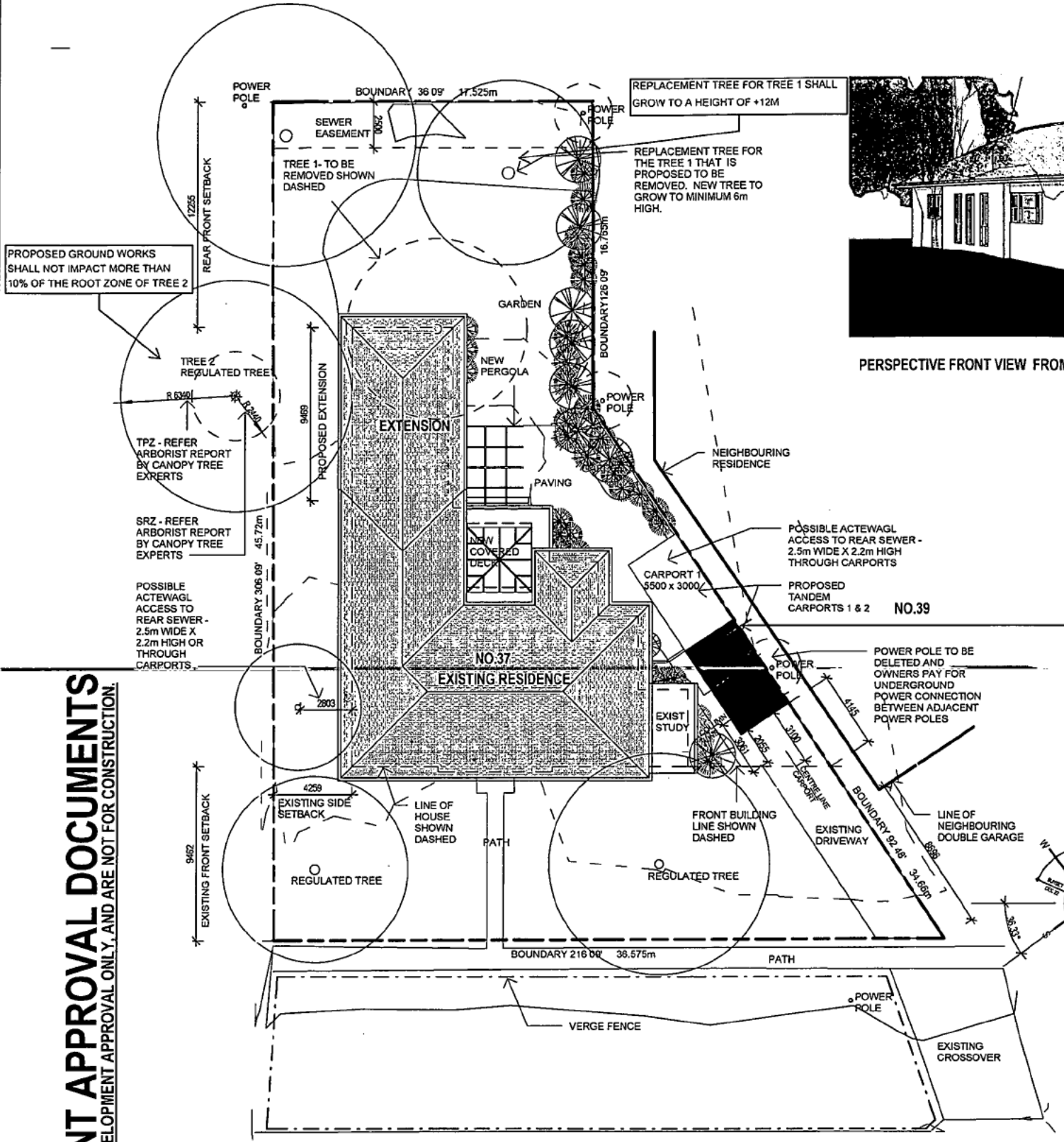
DRAWING TITLE  
**DETAIL SHEET**

JOB NUMBER  
**CR1100251**

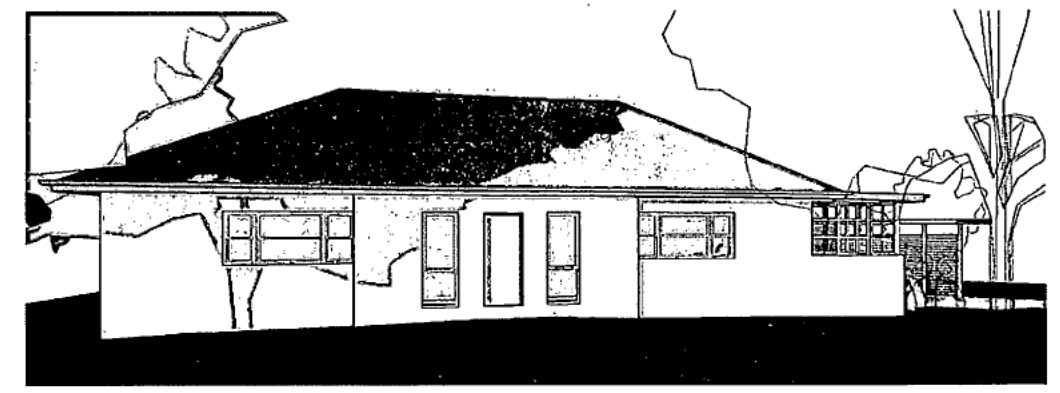
DRAWING NUMBER  
**S03**

ISSUE  
**A**

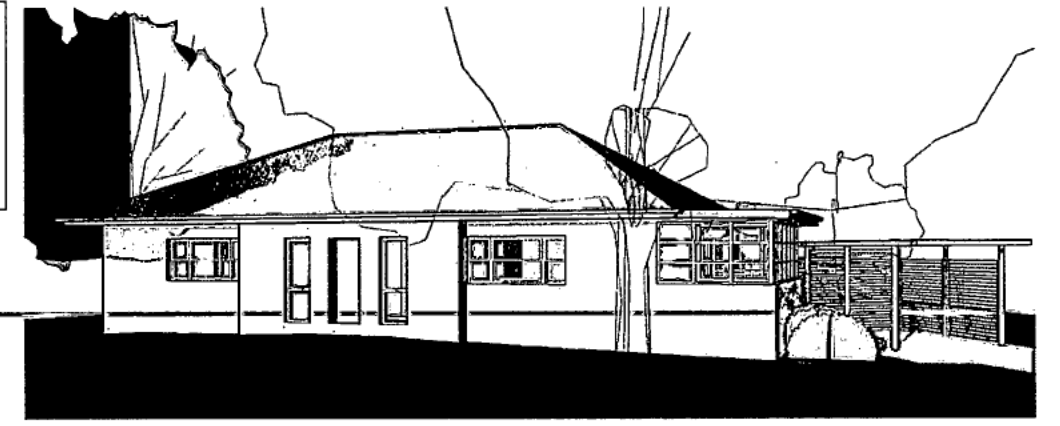
DRAWING SHEET SIZE = A3



PERSPECTIVE FRONT VIEW FROM NORTH EAST



PERSPECTIVE FRONT VIEW 2



PERSPECTIVE FRONT VIEW 1

PLANNING AND DEVELOPMENT ACT 2007  
**APPROVAL GRANTED**  
 SUBJECT TO THE CONDITIONS SET OUT IN THE NOTICE OF DECISION PURSUANT TO SECTION 162

Delegate name MANTASA KABIR  
 Date 30/3/2011

MAXIMUM HEIGHT OF THE BATTENED SCREEN SHALL BE 1.8M

DEVELOPMENT APPROVAL DOCUMENTS  
 THESE DRAWINGS ARE FOR DEVELOPMENT APPROVAL ONLY, AND ARE NOT FOR CONSTRUCTION

**VERGE MANAGEMENT**

--- VERGE FENCE

- INSTALL 1800MM TALL CONTINUOUS CHAIN WIRE FENCE SUPPORTED BY 2400MM TALL STAR STEEL POSTS.
- FENCING TO BE ERECTED PRIOR TO COMMENCEMENT OF SITE WORK AND REMOVED AT COMPLETION OF CONSTRUCTION AND COMMENCEMENT OF VERGE RESTORATION.
- THE BUILDER IS RESPONSIBLE FOR THE REINSTATEMENT OF ALL DAMAGES INCURRED TO LAND, VEGETATION, SERVICES, PATHS AND ROADS AS A RESULT OF THIS CONSTRUCTION WORK.
- VERGE AREAS MUST BE HANDED OVER TO CITY OPERATIONS WITH A HEALTHY EVEN GREEN GRASS COVER AT COMPLETION OF CONSTRUCTION WORKS.

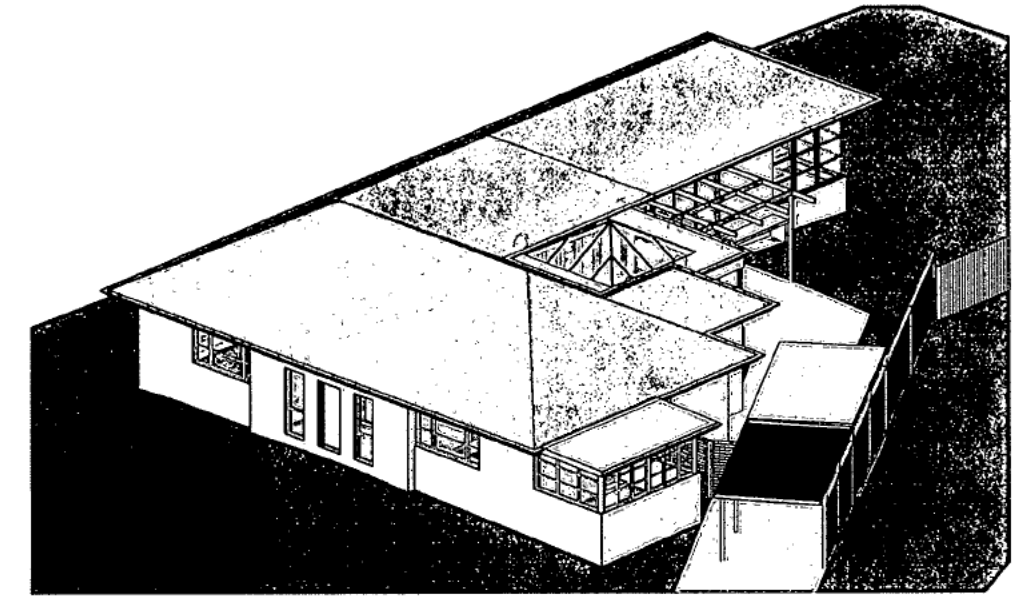
**GENERAL**

- THE PROPOSAL FOR DEVELOPMENT IS TO BE IN ACCORDANCE WITH THE FOLLOWING: TREE PROTECTION ACT 2005 (TREE PROTECTION MEASURES)
- IN ACCORDANCE WITH SECTION 148 OF THE PLANNING AND DEVELOPMENT ACT 2007, A STATEMENT OF ENDORSEMENT FOR UTILITIES TO BE OBTAINED BY REFERRAL FROM ACTPLA TO RELEVANT SERVICE PROVIDERS
- IN ACCORDANCE WITH THE HERITAGE ACT 2004, A STATEMENT OF ENDORSEMENT TO BE OBTAINED BY REFERRAL FROM ACTPLA TO THE HERITAGE COUNCIL IF NOT PROVIDED BY THE ARCHITECT

**EROSION & SEDIMENT CONTROL**

THE DEVELOPMENT WILL COMPLY WITH THE ACT ENVIRONMENT PROTECTION AUTHORITY, ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE ACT, AUGUST 2007

- DEVELOPMENT CONTROL CODE FOR BEST PRACTICE WASTE MANAGEMENT IN THE ACT 1999 AND THE DESIGN STANDARDS FOR URBAN INFRASTRUCTURE (WASTE MANAGEMENT MEASURES)
- AUSTRALIAN STANDARD AS2700 - COLOUR STANDARDS FOR GENERAL PURPOSES (MATERIALS AND FINISH)
- A2890.1 - THE AUSTRALIAN STANDARDS FOR OFF-STREET PARKING (OFF STREET PARKING)
- COMMON BOUNDARIES ACT 1981 (FENCES)



AERIAL FRONT VIEW

PROJECT NO:  
**1022**

Proposed Alterations & Additions to  
 Block 11 Section 36  
 37 Anzac Park, Reid

AMENDMENTS			
Revised By	Date	Description	Code

Checked: Checker  
 Approved: Approver  
 Reviewed: DATE 27/01/11

DRAWN ER  
 DATE 27/01/11  
 SCALE As Indicated  
 REVISION

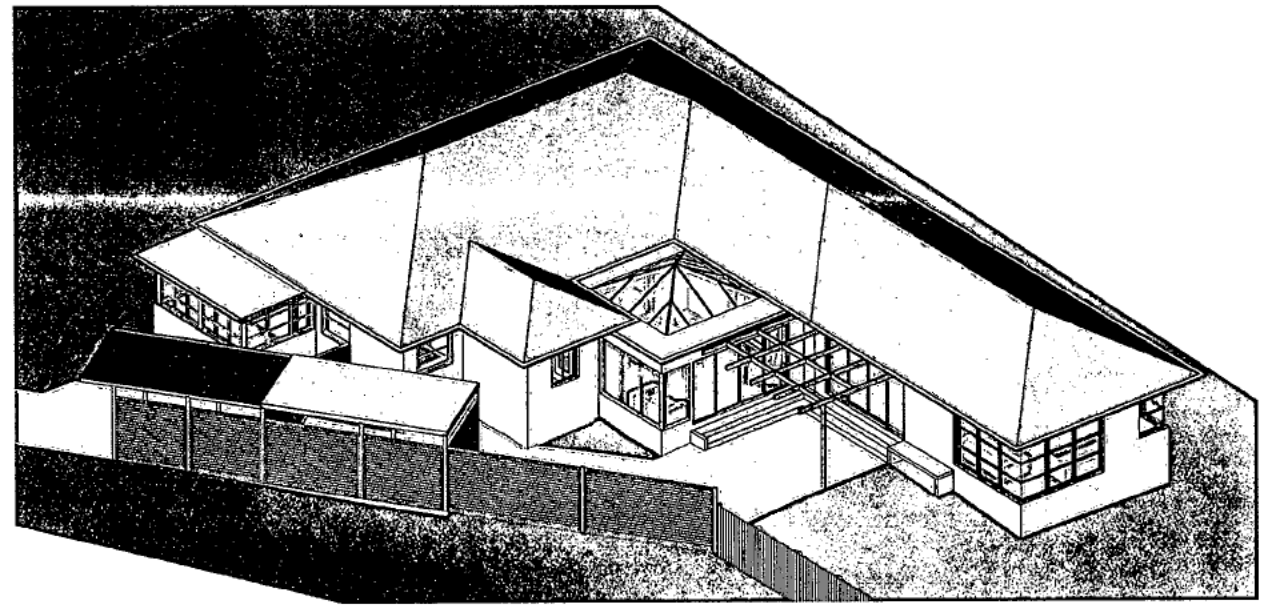
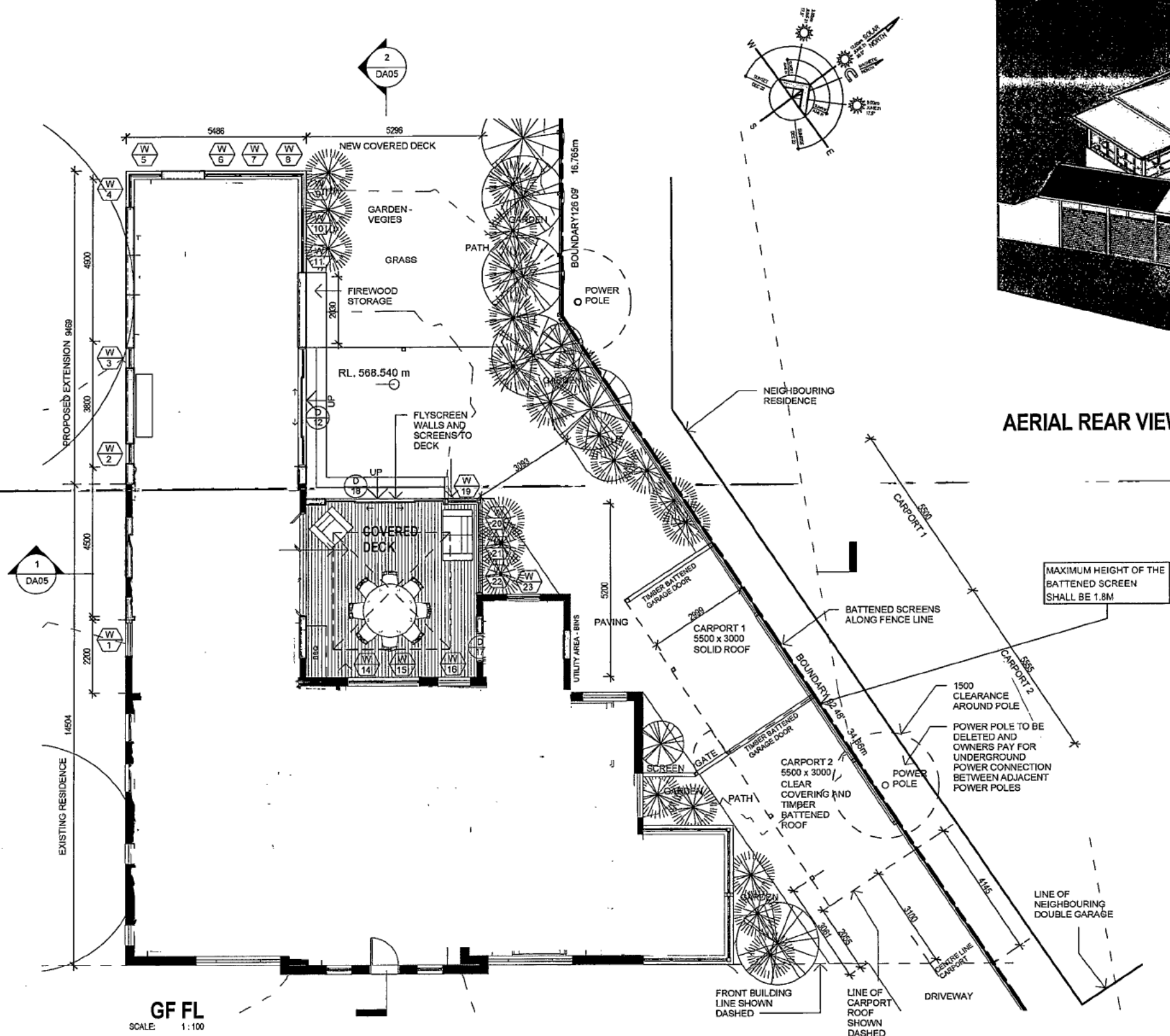
SITE PLAN

**DA01**

**T ARCHITECTURE**  
 35 KEENEY STREET  
 TEL 0228311  
 A.B.N 72 007 545 005

WINGSTON ACT  
 TEL 0228312  
 A.C.N 087 545 005

**DEVELOPMENT APPROVAL DOCUMENTS**  
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**AERIAL REAR VIEW**

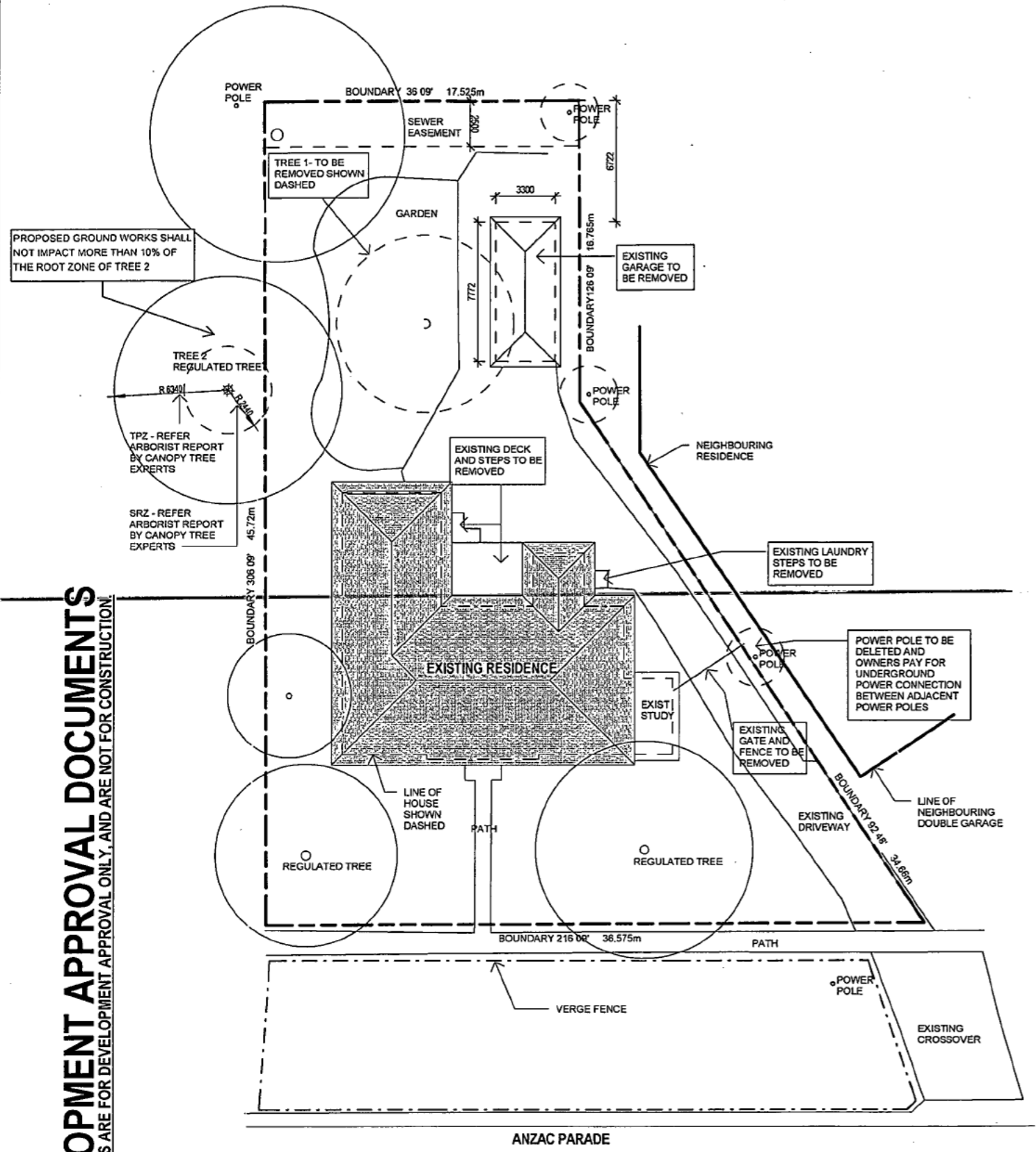
**LEGEND**

- EXISTING WALLS TO REMAIN
- PROPOSED WALLS
- EXISTING DOORS TO REMAIN
- PROPOSED DOORS

PLANNING AND DEVELOPMENT ACT 2007  
**APPROVAL GRANTED**  
 SUBJECT TO THE CONDITIONS SET OUT IN THE  
 NOTICE OF DECISION  
 PURSUANT TO SECTION 162  
 Delegate name MANTASA KABIR  
 Date 30/3/2011

PROJECT NO. <b>1022</b>	Proposed Alterations & Additions to Block 11 Section 36 37 Anzac Park, Reid	AMENDMENTS	Checked: Checker Approved: Approver Reviewed:	DRAWN ER DATE 27/01/11	SCALE 1:100 REVISION	FLOOR PLAN	<b>DA02</b>								
		<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Revised By</th> <th>Date</th> <th>Description</th> <th>Code</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	Revised By	Date	Description	Code									<b>T ARCHITECTURE</b> <small>35 KENNEDY STREET KINGSTON ACT        Tel: 62203111 Fax: 62203112        A.B.N. 72 087 549 635 ACAL 087 549 635</small>
Revised By	Date	Description	Code												

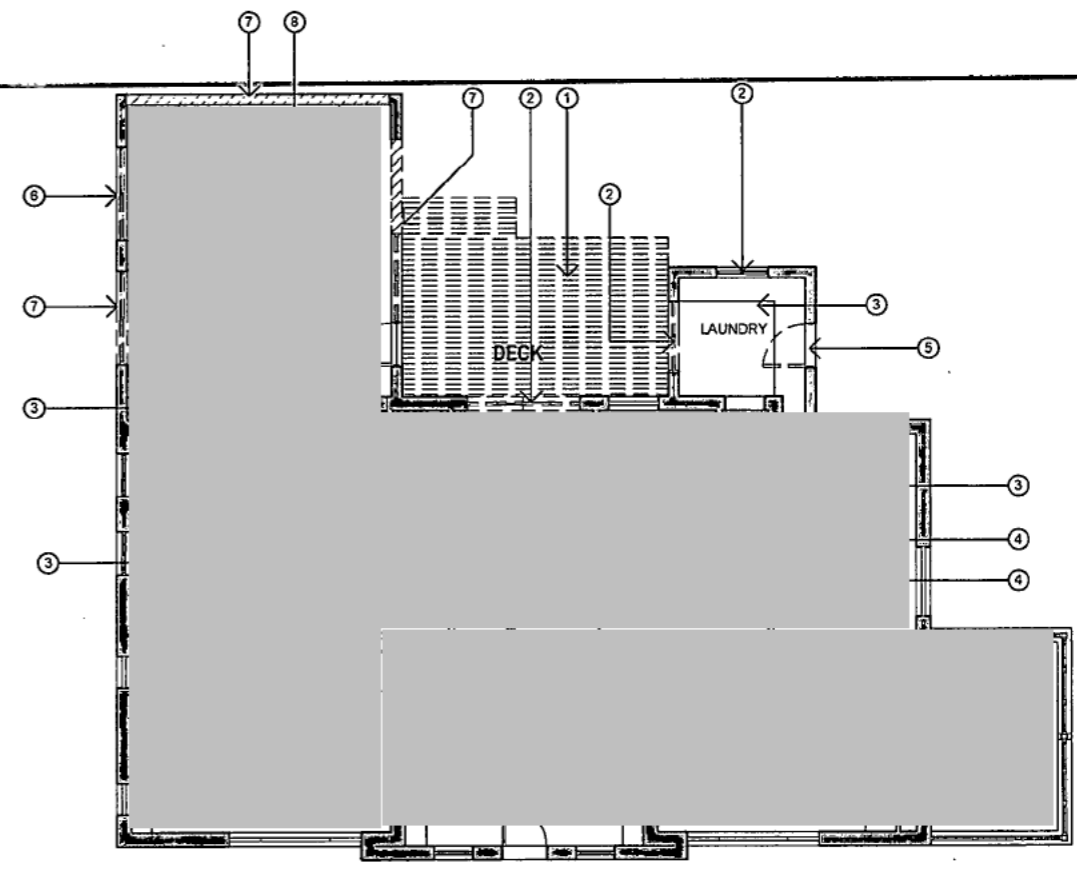
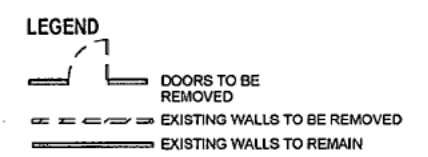
PROPOSED GROUND WORKS SHALL NOT IMPACT MORE THAN 10% OF THE ROOT ZONE OF TREE 2



**EXISTING/DEMOLITION SITE PLAN**  
SCALE: 1:200

PLANNING AND DEVELOPMENT ACT 2007  
**APPROVAL GRANTED**  
 SUBJECT TO THE CONDITIONS SET OUT IN THE NOTICE OF DECISION PURSUANT TO SECTION 162  
 Delegate name MANTASA KABIR  
 Date 30/3/2011

EXISTING RESIDENCE SCOPE OF WORK	
No.	DESCRIPTION
1	DEMOLISH & REMOVE DECK & STEPS
2	REMOVE WINDOW IN PREPARATION FOR NEW WINDOWS
3	REMOVE EXIST JOINERY & FITOUT & MAKE GOOD
4	REMOVE WALLS & DOORS & MAKE GOOD
5	REMOVE DOOR & MAKE GOOD
6	REMOVE WINDOW & MAKE GOOD
7	DEMOLISH & REMOVE WINDOWS & WALL & MAKE GOOD
8	DEMOLISH & REMOVE FIREPLACE & MAKE GOOD



**EXISTING/DEMOLITION PLAN**  
SCALE: 1:100

**DEVELOPMENT APPROVAL DOCUMENTS**  
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PROJECT NO:  
**1022**

Proposed Alterations & Additions to  
 Block 11 Section 36  
 37 Anzac Park, Reid

AMENDMENTS			
Revised By	Date	Description	Code

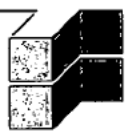
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 Approved: Approver  
 Reviewed:

DRAWN: ER  
 DATE: 27/01/11  
 SCALE: As indicated  
 REVISION:

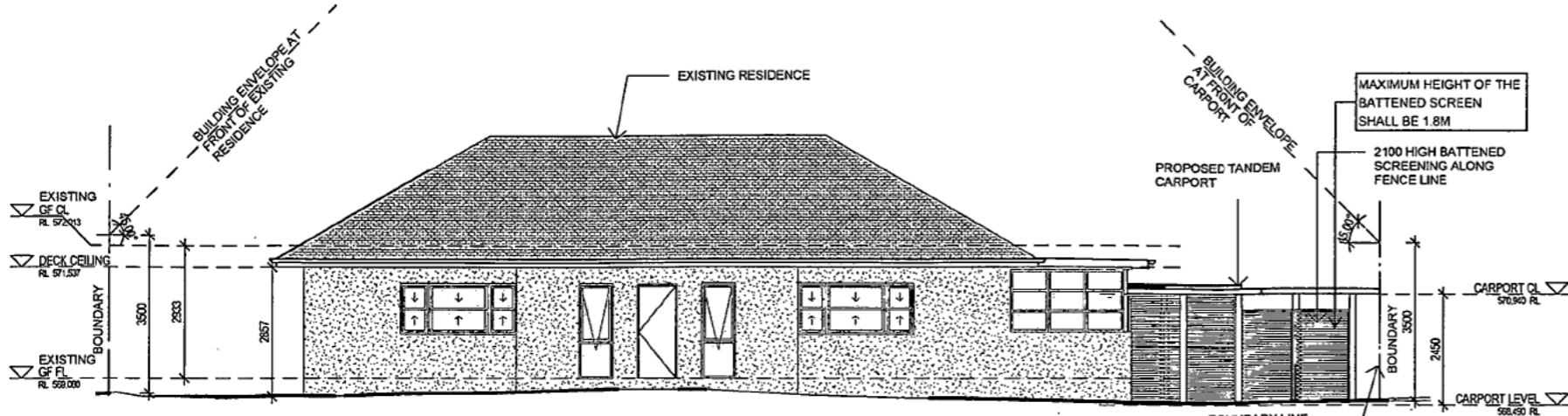
DEMOLITION PLANS

**DA03**

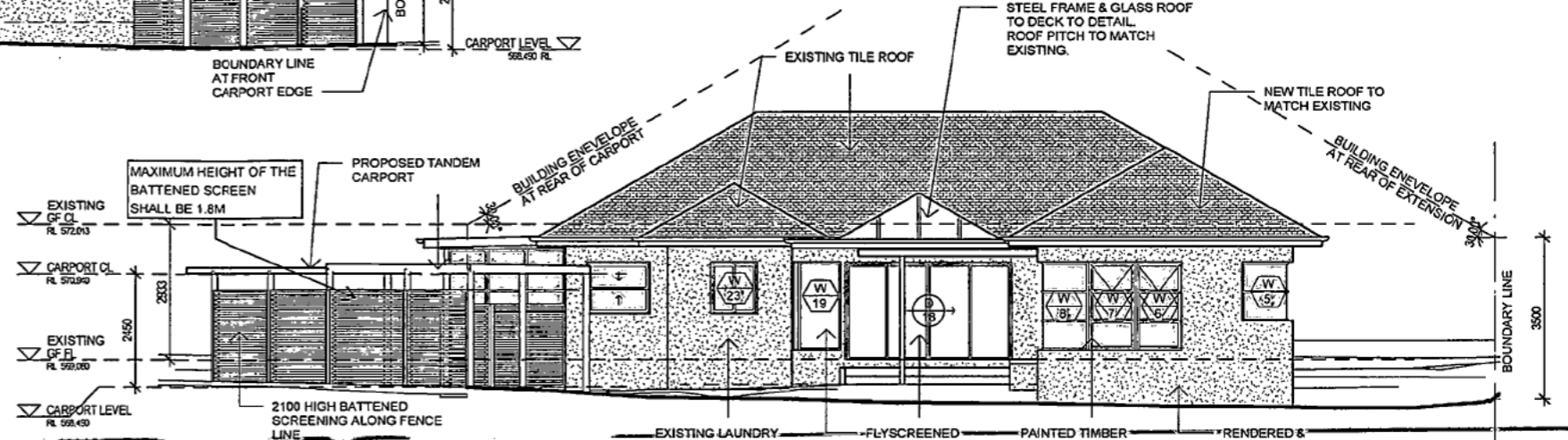
T ARCHITECTURE  
 30 RED HILL STREET  
 TEL: 02 9281 1111  
 A.B.N. 72 987 549 835



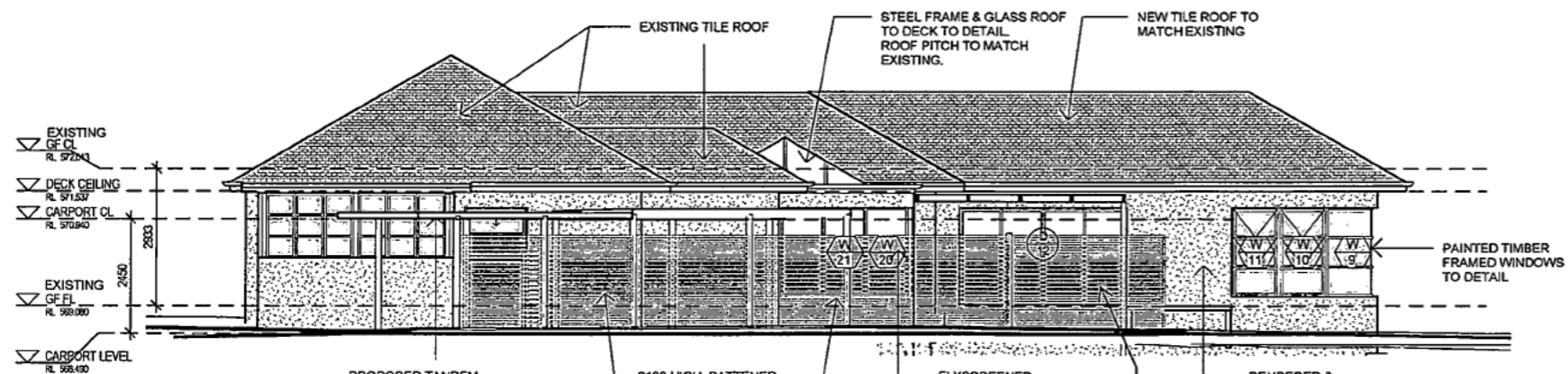
**DEVELOPMENT APPROVAL DOCUMENTS**  
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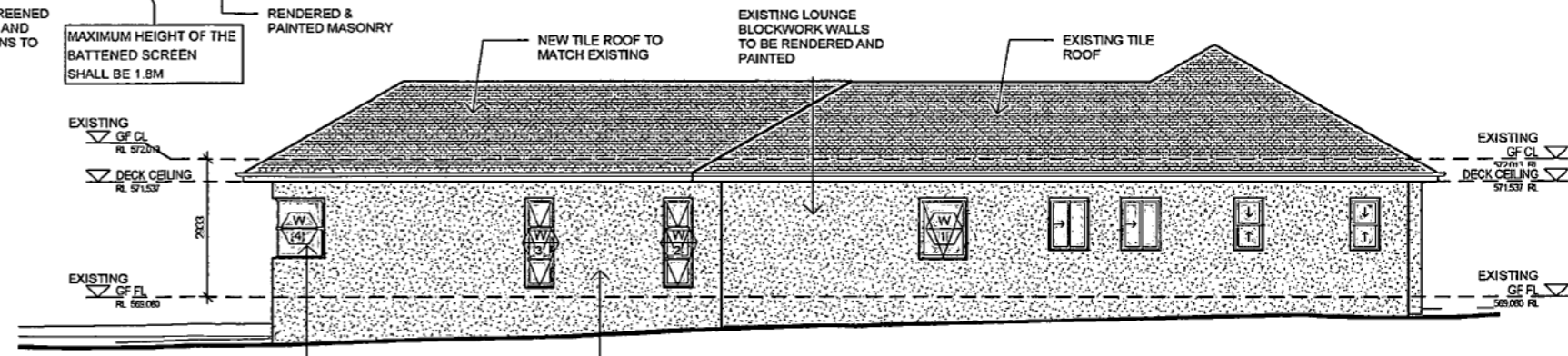
**SOUTH EAST ELEVATION**  
SCALE: 1:100



**NORTH WEST ELEVATION**  
SCALE: 1:100



**NORTH EAST ELEVATION**  
SCALE: 1:100



**SOUTH WEST ELEVATION**  
SCALE: 1:100

PLANNING AND DEVELOPMENT ACT 2007  
**APPROVAL GRANTED**  
 SUBJECT TO THE CONDITIONS SET OUT IN THE  
 NOTICE OF DECISION  
 PURSUANT TO SECTION 162  
 Delegate name MANTASA KABIR  
 Date 30/3/2011

PROJECT NO:  
**1022**

Proposed Alterations & Additions to  
 Block 11 Section 36  
 37 Anzac Park, Reid

AMENDMENTS			
Revised By	Date	Description	Code


Checked: Checker  
 Approved: Approver  
 Reviewed: 11/11/10

DRAWN: ER  
 DATE: 11/11/10  
 SCALE: 1:100  
 REVISION:

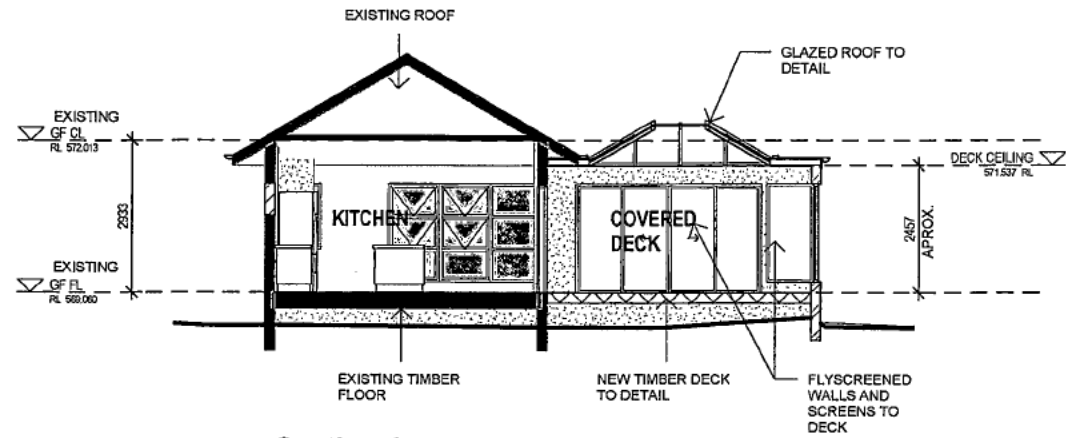
ELEVATIONS

**DA04**

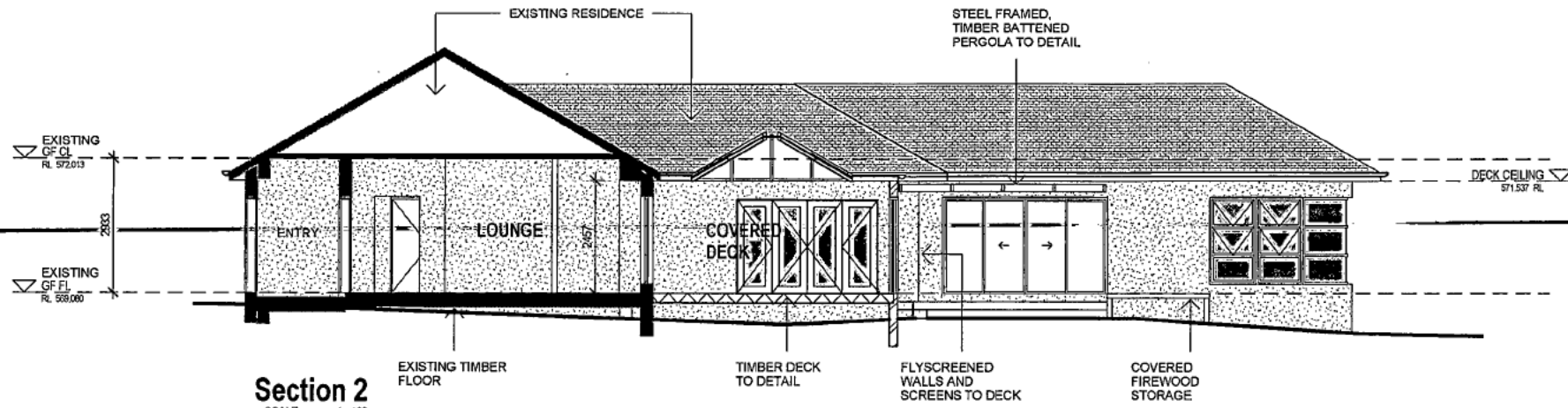
**T T ARCHITECTURE**  
 35 KENNEDY STREET  
 Tel: 62253111 Fax: 62253112  
 A.B.N. 72 087 549 825 A.C.N. 087 549 825



**DEVELOPMENT APPROVAL DOCUMENTS**  
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**Section 1**  
SCALE: 1:100



**Section 2**  
SCALE: 1:100

WINDOW SCHEDULE								
MARK	CODE	LOCATION	HEIGHT	WIDTH	WINDOW STYLE	GLAZING	FRAME MATERIAL	REMARKS
1	AA 1300x1000	PANTRY	1300	1000	AWNING	DG	PAINTED TIMBER	
2	AA 1900x600 2		1900	600	AWNING	DG	PAINTED TIMBER	
3	AA 1900x600 2		1900	600	AWNING	DG	PAINTED TIMBER	
4	AF 1266x1000 CNR 5	FAMILY	1266	1000	FIXED	SINGLE COMFORT +	PAINTED TIMBER	
5	AF 1266x1000 CNR 5	FAMILY	1266	1000	FIXED	SINGLE COMFORT +	PAINTED TIMBER	
6	AA 2100x1900	FAMILY	1900	1000	AWNING	DG	PAINTED TIMBER	
7	AA 2100x1900	FAMILY	1900	1000	AWNING	DG	PAINTED TIMBER	
8	AF 2100x1900CNR 5	FAMILY	1900	1000	FIXED	SINGLE COMFORT +	PAINTED TIMBER	
9	AF 2100x1900CNR 5	FAMILY	1900	1000	FIXED	SINGLE COMFORT +	PAINTED TIMBER	
10	AA 2100x1900	FAMILY	1900	1000	AWNING	DG	PAINTED TIMBER	
11	AA 2100x1900	FAMILY	1900	1000	AWNING	DG	PAINTED TIMBER	
14	AF 1900x1075 2	LOUNGE	1900	1075	AWNING	DG	PAINTED TIMBER	
15	AA 1900x1075 2	LOUNGE	1900	1075	AWNING	DG	PAINTED TIMBER	
16	AA 700x970	BATHROOM	700	970	AWNING	DG	PAINTED TIMBER	OPAQUE GLASS
19	AF 1900x900 3	DECK	1900	900	FIXED	NO GLAZING	PAINTED TIMBER	FLYSCREENED ONLY
20	AF 1900x900 3	DECK	1900	900	FIXED	NO GLAZING	PAINTED TIMBER	FLYSCREENED ONLY
21	AF 1900x900 3	DECK	1900	900	FIXED	NO GLAZING	PAINTED TIMBER	FLYSCREENED ONLY
22	AF 1900x900 3	DECK	1900	900	FIXED	NO GLAZING	PAINTED TIMBER	FLYSCREENED ONLY

DOOR SCHEDULE						
MARK	CODE	LOCATION	HEIGHT	WIDTH	FRAME MATERIAL	COMMENTS
12	ASD 2100x3600 5	DINING	2100	3600	PAINTED TIMBER	4 PANEL SLIDING
13	4/770 BI-FOLD	KITCHEN	2040	770	PAINTED TIMBER	BI-FOLD
17	820 Entry	LAUNDRY	2040	820	PAINTED TIMBER	DOUBLE GLAZED OPAQUE GLASS
18	ASD 2100x3600 5	DECK	2100	3600	PAINTED TIMBER	4 PANEL SLIDING FLYSCREEN ONLY

PLANNING AND DEVELOPMENT ACT 2007  
**APPROVAL GRANTED**  
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 NOTICE OF DECISION  
 PURSUANT TO SECTION 162  
 Delegate name MANTASA KABIR  
 Date 30/3/2011

**DRAFT**

PROJECT NO:  
**1022**

Proposed Alterations & Additions to  
 Block 11 Section 36  
 37 Anzac Park, Reid

AMENDMENTS			
Revised By	Date	Description	Code

Checked: Checker  
 Approved: Approver  
 Reviewed:

DRAWN  
 ER  
 DATE  
 27/01/10

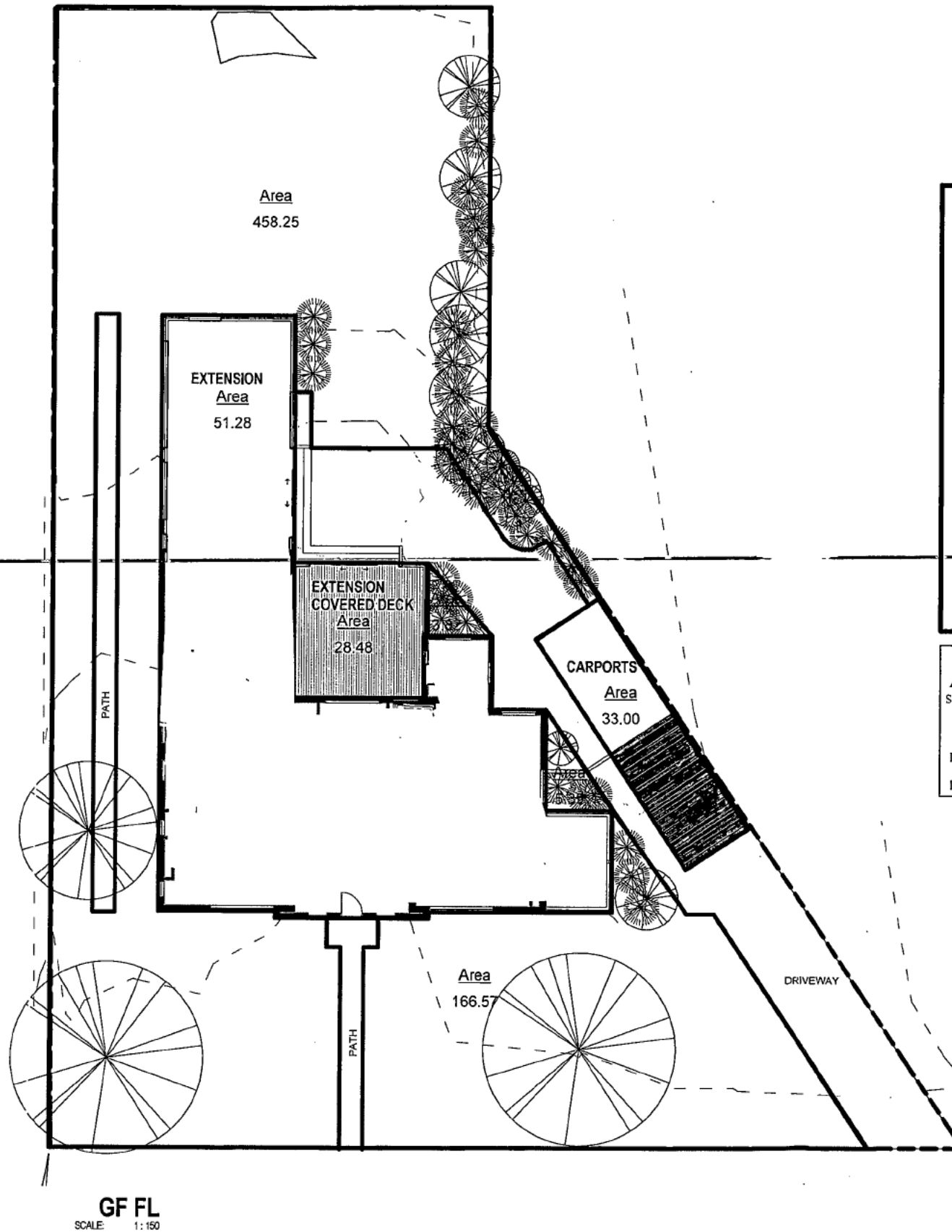
SCALE  
 1:100  
 REVISION

SECTIONS/SCHEDULES

**DA05**

**T T ARCHITECTURE**  
 35 KENNEDY STREET KINGSTON ACT  
 144 6292911 Fax 6292912  
 A.B.N. 72 087 549 835 A.C.N. 087 549 835

**DEVELOPMENT APPROVAL DOCUMENTS**  
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**SITE COVERAGE OF BUILT DEVELOPMENT**  
 SITE AREA - 1077m<sup>2</sup>  
 EXISTING HOUSE - 183.61  
 EXTENSION - 51.28  
 COVERED DECK - 28.48  
 CARPORTS - 33  
 TOTAL = 183.61 + 51.28 + 28.48 + 33 = 296.37m<sup>2</sup>

TOTAL SITE COVERAGE OF BUILT DEVELOPMENT -  
 296.37/1077m<sup>2</sup> = 27.5%  
 REQUIREMENT - 27.5%

**PLANTING AREA**  
 SITE AREA - 1077m<sup>2</sup>  
 PLANTING AREA - 458.25 + 166.57 + 3.82 + 5.39m<sup>2</sup> = 634m<sup>2</sup>  
 634/1077m<sup>2</sup> = 59%  
 REQUIREMENT - 40%

PLANNING AND DEVELOPMENT ACT 2007  
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 PURSUANT TO SECTION 162

Delegate name MANTASA KABIR  
 Date 30/3/2011

PROJECT NO:  
**1022**

Proposed Alterations & Additions to  
 Block Bubutiovaska/Collings  
 11 Section 36  
 37 Anzac Park, Reid

AMENDMENTS			
Revised By	Date	Description	Code

Checked: Checker  
 Approved: Approver  
 Reviewed: 27/01/11

DRAWN  
 ER  
 DATE  
 27/01/11

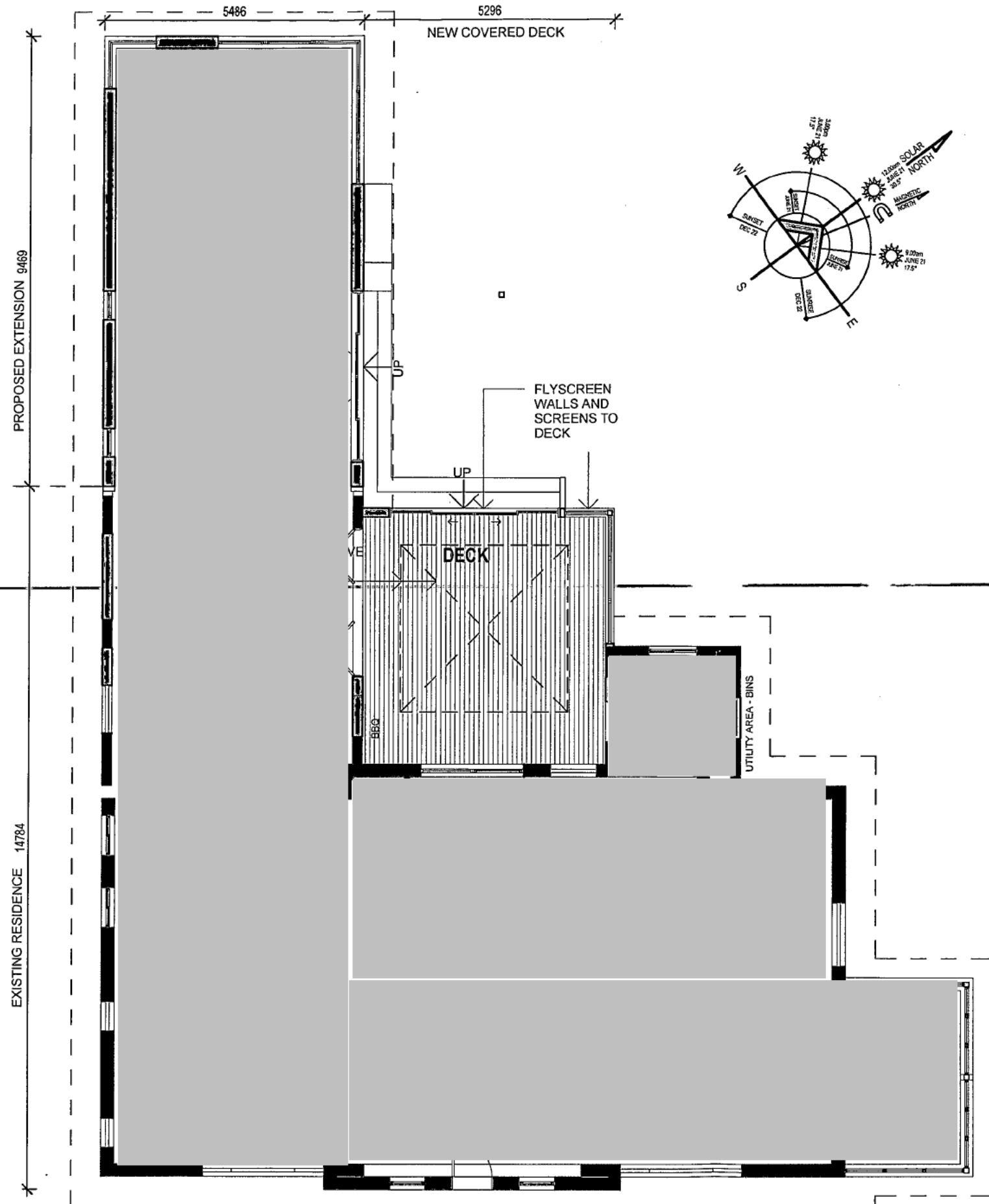
SCALE  
 1:150  
 REVISION

AREAS

**DA06**

**T ARCHITECTURE**  
 25 KENNEDY STREET KINGSTON ACT  
 Tel: 62263113 Fax: 62263112  
 A.B.N. 72 007 540 025 A.C.N. 007 540 025

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PLANNING AND DEVELOPMENT ACT 2007  
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 PURSUANT TO SECTION 162  
 Delegate name MANTASA KABIR  
 Date 30/3/2011

**PUBLIC REGISTER FLOOR PLAN**  
 SCALE: 1:100

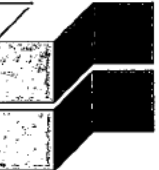
PROJECT NO. 1022  
 Proposed Alterations & Additions to Block 11 Section 36  
 37 Anzac Park, Reid

AMENDMENTS			
Revised By	Date	Description	Code

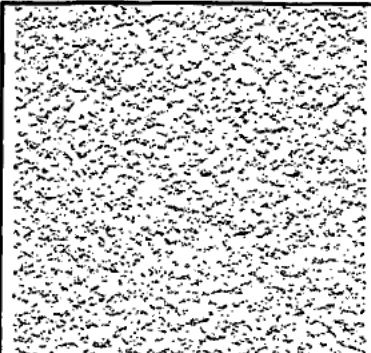
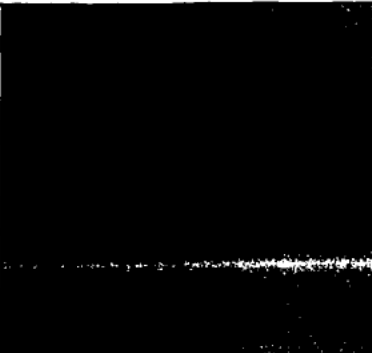
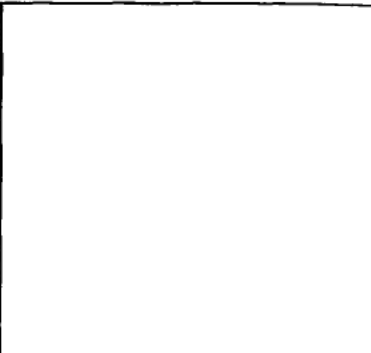

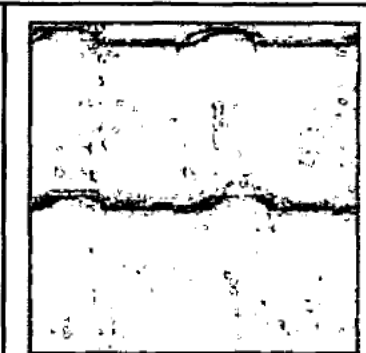
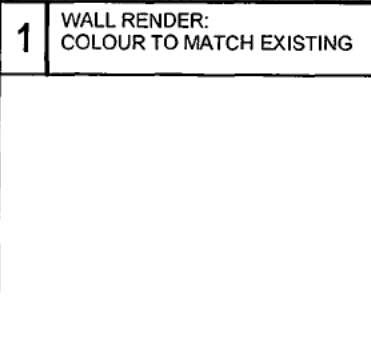

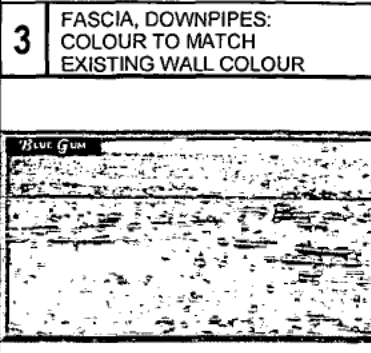
Checked: Checker ER  
 Approved: Approver  
 Reviewed: 27/01/11

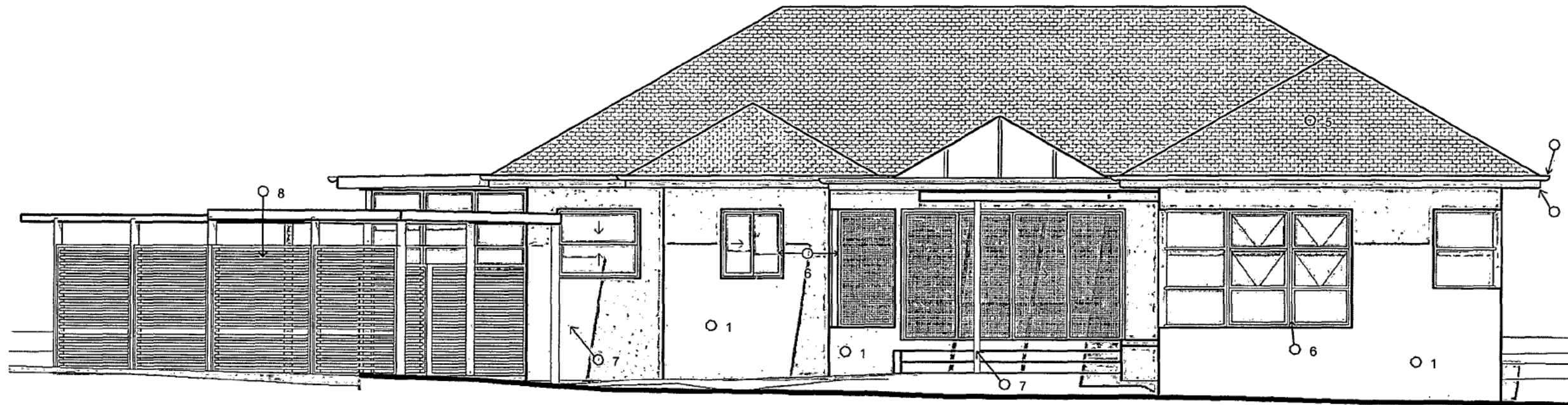
SCALE 1:100  
 REVISION

PUBLIC REG FLOOR PLAN (A3 SHEET)  
**DA07**  
**T T ARCHITECTURE**  
 35 KENNEDY STREET KINGSTON ACT  
 Tel: 62326311 Fax: 62326312  
 A.B.N. 72 087 549 835 A.C.N. 087 549 835



**DEVELOPMENT APPROVAL DOCUMENTS**  
 THESE DRAWINGS ARE FOR DEVELOPMENT APPROVAL ONLY, AND ARE NOT FOR CONSTRUCTION.

 <b>1</b> WALL RENDER: COLOUR TO MATCH EXISTING	 <b>2</b> GUTTER: COLOUR TO MATCH EXISTING	 <b>3</b> FASCIA, DOWNPIPES: COLOUR TO MATCH EXISTING WALL COLOUR	 <b>4</b> EAVES LINING: OFF WHITE TO MATCH EXISTING	 <b>5</b> ROOF TILES: TERRACOTTA TO MATCH EXISTING
 <b>6</b> WINDOW FRAMES: PAINTED TIMBER TO MATCH EXISTING - OFF WHITE	 <b>7</b> EXPOSED STEEL STRUCTURES: IRONSTONE	 <b>8</b> TIMBER BATTENS: TIMBER - HARDWOOD	<div style="border: 1px solid black; padding: 5px;"> <p>PLANNING AND DEVELOPMENT ACT 2007</p> <p><b>APPROVAL GRANTED</b></p> <p>SUBJECT TO THE CONDITIONS SET OUT IN THE NOTICE OF DECISION PURSUANT TO SECTION 162</p> <p>Delegate name MANTASA KABIR</p> <p>Date 30/3/2011</p> </div>	



**COLOUR SAMPLES**  
 SCALE: 1:75

DRAFT

PROJECT ID: Proposed Alterations & Additions to [REDACTED]  
**1022** Block 11 Section 36  
 37 Anzac Park, Reid

AMENDMENTS			
Revised By	Date	Description	Code

Checked: Checker DRAWN ER  
 Approved: Approver DATE 27/01/11  
 Reviewed: REVISION

COLOUR SAMPLES (A3 SHEET)  
**DA08**

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