



ACT
Government

Chief Minister, Treasury and
Economic Development

Freedom of Information Publication Coversheet

The following information is provided pursuant to section 28 of the *Freedom of Information Act 2016*.

FOI Reference: CMTEDDFOI 2019-092

| Information to be published | Status |
|---|-----------|
| 1. Access application | Published |
| 2. Decision notice | Published |
| 3. Documents and schedule | Published |
| 4. Additional information identified | No |
| 5. Fees | N/A |
| 6. Processing time (in working days) | 27 |
| 7. Decision made by Ombudsman | N/A |
| 8. Additional information identified by Ombudsman | N/A |
| 9. Decision made by ACAT | N/A |
| 10. Additional information identified by ACAT | N/A |

**FOI Request
re**

[REDACTED] Forrest

([REDACTED] . Forrest)

Email: epsdfoi@act.gov.au

There have been extensive renovations proceeding at no. [REDACTED], Forrest for the last few months. The home is part of the heritage listed Blandfordia 5 Precinct, and, as such, is subject to the mandatory requirements of the relevant entry on the ACT Heritage Register. Following a request for information regarding the development, I was informed that the proposed alterations and addition were submitted to the ACT Heritage Council in 2017. As a result, "*plans were endorsed with minor conditions to ensure compliance with heritage guidelines.*" (ACT Heritage email 18/3/19) The work was deemed DA exempt. Consequently, building construction and final approval was overseen and certified by a private certifier.

In order to view the approved plans and the process leading to approval, I have been advised to seek documentation through FOI.

I seek a copy of all the documentation pertaining to the following:

- Heritage Unit advice sought prior to the redevelopment
- The plans which were disclosed to the Heritage Unit
- Any amendments presented for scrutiny and comment
- Written Heritage Unit advice prior to construction
- Advice supplied by the Heritage Advisory Service
- ACTPLA documentation prior to and following the BA / DA approval

Accordingly, I request a copy of all documents held by ACTPLA, Heritage Council / Unit in relation to the building application (BA) for [REDACTED] Forrest whether created by EPSD, ACTPLA, other agencies, or other parties (including the Heritage Advisory Service). Documents will relate to pre-application, BA stages, final approval and certificate of occupancy. They will include proposals, minutes, reports, correspondence (letters / emails) and notes of associated discussions, meetings and conferences.

Yours faithfully,

[REDACTED]



ACT
Government

Chief Minister, Treasury and
Economic Development

Our ref: CMTEDDFOI 2019-092

[REDACTED]
via email: [REDACTED]

Dear [REDACTED]

FREEDOM OF INFORMATION REQUEST

I refer to your application under section 30 of the *Freedom of Information Act 2016* (the Act), which was partially transferred from the Environment, Planning and Sustainable Development Directorate (EPSDD) to the Chief Minister, Treasury and Economic Development Directorate (CMTEDD) on 12 April 2019.

Specifically, you are seeking

“... a copy of all the documentation pertaining to the following:

- Heritage Unit advice sought prior to the redevelopment
- The plans which were disclosed to the Heritage Unit
- Any amendments presented for scrutiny and comment
- Written Heritage Unit advice prior to construction
- Advice supplied by the Heritage Advisory Service
- ACTPLA documentation prior to and following the BA / DA approval”

Your request further states that you are requesting

“... a copy of all documents held by ACTPLA, Heritage Council / Unit in relation to the building application (BA) for [REDACTED] Forrest whether created by EPSD, ACTPLA, other agencies, or other parties (including the Heritage Advisory Service). Documents will relate to pre-application, BA stages, final approval and certificate of occupancy. They will include proposals, minutes, reports, correspondence (letters / emails) and notes of associated discussions, meetings and conferences.”

Authority

I am an Information Officer appointed by the Director-General under section 18 of the Act to deal with access applications made under Part 5 of the Act.

Timeframes

In accordance with section 40 of the Act, CMTEDD is required to provide a decision on your access application by 7 June 2019.

Searches

Searches were completed for relevant documents and one Building File was identified that falls within the scope of your request.

I have included as **Attachment A** to this decision the schedule outlining the Building File. This provides a description of the Building File and the access decision for it.

Third party consultation

In determining this access request, I identified that some of the information within the Building File may reasonably be expected to be of concern to a third party. In accordance with section 38 of the Act, I have undertaken third party consultation. The third party did not respond to our invitation for consultation.

Decision on access

I have decided to grant partial access to the identified Building File. I have decided to withhold certain information contained therein on the basis that it is information that would, on balance, be contrary to the public interest to disclose under the test set out in section 17 of the Act.

My access decisions are detailed further in the following statement of reasons and the information released to you is provided as **Attachment B** to this letter.

In accordance with section 54(2) of the Act a statement of reasons outlining my decisions is below.

Statement of Reasons

In reaching my access decisions, I have taken the following into account:

- the Act;
- the content of the documents that fall within the scope of your request;
- the *Human Rights Act 2004*.

Exemption claimed

My reasons for deciding not to grant access to components of the identified documents within the Building File are as follows:

Public Interest

The Act has a presumption in favour of disclosure. As a decision maker I am required to decide where, on balance, public interest lies. As part of this process I must consider factors favouring disclosure and factors favouring non-disclosure.

In *Hogan v Hinch* (2011) 243 CLR 506, [31] French CJ stated that when ‘used in a statute, the term [public interest] derives its content from “the subject matter and the scope and purpose” of the enactment in which it appears’. Section 17(1) of the Act sets out the test, to be applied to determine whether disclosure of information would be contrary to the public interest. These factors are found in subsection 17(2) and Schedule 2 of the Act.

Taking into consideration the information contained in the Building File, I have identified that the following public interest factors are relevant to determine if release of the information contained within these documents is within the ‘public interest’.

Factors favouring disclosure in the public interest:

- (a) *disclosure of the information could reasonably be expected to do any of the following:*
- (i) *promote open discussion of public affairs and enhance the government’s accountability.*

Having considered the factor identified above as relevant in this matter, I consider that the release of the requested information will promote an open discussion and enhance the ACT Government's accountability regarding the building application for ██████████ Forrest.

Factors favouring nondisclosure in the public interest:

(a) *disclosure of the information could reasonably be expected to do any of the following:*

...

- (i) *prejudice the protection of an individual's right to privacy or any other right under the Human Rights Act 2004;*

When considering the above finding against the factors favouring non-disclosure, I am satisfied that the protection of an individual's right to privacy, especially in the process of complying with ACT Government regulations is a significant factor as the parties involved have provided personal information which includes the interior layout of the property, for the purposes of meeting obligations under relevant legislation. I consider that the layout of an individual's home is a matter that the individual should have the right to choose to disclose or not. I am of the opinion that the release of this information may prejudice the protection of these individuals' right to privacy or any other right under the *Human Rights Act 2004*. Additionally, I consider that the release of the names of non-government persons would prejudice their right to privacy under the *Human Rights Act 2004*. These people have provided their personal information to the ACT Government to comply with certain obligations and have an expectation that their privacy will be maintained. I am satisfied in the above instances that this factor favouring non-disclosure should be afforded significant weight as it relates to the individuals' privacy.

- (xi) *prejudice trade secrets, business affairs or research of an agency or person.*

Some information identified in the Building File is the financial information of individuals and businesses. I consider that it is unreasonable to disclose the cost of works associated with the building plans as this information could be expected to prejudice the business affairs of the parties involved.

I therefore weight the factors for non-disclosure more highly than the factor in favour of release in the above instances.

Having applied the test outlined in section 17 of the Act and deciding that release of personal and business information contained in the documents is not in the public interest to release, I have chosen to redact this specific information in accordance with section 50(2) of the Act. Noting the pro-disclosure intent of the Act, I am satisfied that redacting only the information that I believe is not in the public interest to release will ensure that the intent of the Act is met and will provide you with access to the majority of the information held by CMTEDD within the scope of your request.

Charges

Pursuant to *Freedom of Information (Fees) Determination 2017 (No 2)* processing charges are applicable for this request because the total number of pages to be released to you exceeds the charging threshold of 50 pages. However, the charges have been waived in accordance with section 107(2)(b) of the Act.

Online publishing – Disclosure Log

Under section 28 of the Act, CMTEDD maintains an online record of access applications called a disclosure log. Your original access application, my decision and documents released to you in response to your access application will be published in the CMTEDD disclosure log three working days after the date of my decision. Your personal contact details will not be published.

You may view CMTEDD disclosure log at
<https://www.cmtedd.act.gov.au/functions/foi/disclosure-log>.

Ombudsman Review

My decision on your access request is a reviewable decision as identified in Schedule 3 of the Act. You have the right to seek a review by the Ombudsman of this outcome under section 73 of the Act within 20 working days from the day that my decision is published in the CMTEDD disclosure log, or a longer period allowed by the Ombudsman.

If you wish to request a review of my decision you may write to the Ombudsman at:

The ACT Ombudsman
GPO Box 442
CANBERRA ACT 2601
Via email: actfoi@ombudsman.gov.au

ACT Civil and Administrative Tribunal (ACAT) Review

Under section 84 of the Act, if a decision is made by the Ombudsman under section 82(1), you may apply to the ACAT for a review of the Ombudsman decision. Further information may be obtained from the ACAT at:

ACT Civil and Administrative Tribunal
Level 4, 1 Moore St
GPO Box 370
Canberra City ACT 2601
Telephone: (02) 6207 1740
<http://www.acat.act.gov.au/>

Should you have any queries in relation to your request please contact me by telephone on 6207 7754 or by email at CMTEDDFOI@act.gov.au.

Yours sincerely,



Sarah McBurney
Information Officer
Information Access Team
Chief Minister, Treasury and Economic Development Directorate

28 May 2019



ACT
Government

Chief Minister, Treasury and
Economic Development

FREEDOM OF INFORMATION REQUEST SCHEDULE

| NAME | WHAT ARE THE PARAMETERS OF THE REQUEST | Reference NO. |
|------|---|--------------------|
| | <ul style="list-style-type: none">Heritage Unit advice sought prior to the redevelopmentThe plans which were disclosed to the Heritage UnitAny amendments presented for scrutiny and commentWritten Heritage Unit advice prior to constructionAdvice supplied by the Heritage Advisory ServiceACTPLA documentation prior to and following the BA / DA approval | CMTEDDFOI 2019-092 |

| Ref No | Page number | Description | Date | Status | Reason for Exemption | Online Release Status |
|-------------------------|-------------|---------------|---------|-----------------|---|-----------------------|
| 1 | 1-387 | Building file | Various | Partial release | Schedule 2 2.2(a)(ii) Personal privacy Schedule 2 2.2(xi) Business affairs | Yes |
| Total No of Docs | | | | | | |
| 1 | | | | | | |



ACT
Government
Environment and Planning

**LOOSE ASBESTOS REMOVAL PROGRAM
SEARCH ONLY**

The loose-fill asbestos insulation ("Mr Fluffy") removal program was undertaken between 1988 and 1993. The program aimed to remove all *visible* and *accessible* asbestos insulation from properties – it did not remove *all* asbestos insulation or other forms of asbestos. Loose-fill asbestos insulation remains in affected properties and additional precautions and legal obligation apply. To find out if your property was part of this program please complete this form.

LEASE/SITE DETAILS (Please Print)

Block Section Suburb
 Unit No. Street Address

APPLICANT DETAILS

WRITTEN AUTHORISATION FROM LESSEE/S MUST ACCOMPANY THIS FORM IF APPLICANT IS NOT THE LESSEE, A FORMER OWNER OR TENANT OR A TRADESPERSON WHO CAN PROVIDE EVIDENCE THEY HAVE WORKED IN/ON THE ABOVEMENTIONED PROPERTY
 FORMER OWNERS OR TENANTS AND TRADESPERSONS MUST PROVIDE EVIDENCE OF OWNERSHIP/TENANCY OR A CONNECTION TO THE PROPERTY
 (Eg: a past utility bill, rental statement, invoice for work undertaken etc)

Applicant 1 Name Email address
 Signature Contact telephone
 Applicant 2 Name Email address
 Signature Contact telephone

- I/we declare that all the information given on this form is true and complete – please tick
- I am/we are the current lessee/s (Note: If applicant is lessee or lessee representative all lessees must sign or be represented)
- I am/we are a former lessee (s) or (part owner) – evidence attached
- I am a tradesperson who worked in/on the abovementioned property – evidence attached
- I am/we are a former tenant(s) – evidence attached I have authorisation from the Solicitor representing the lessee
- I have written authorisation from the lessee/s attached I am the solicitor acting on behalf of the lessee/s

OFFICE USE ONLY

The property subject of this application:

- was not part of the asbestos removal program* was part of loose-fill asbestos insulation removal program and loose-fill asbestos insulation is likely to remain in the property
- was part of the loose-fill asbestos insulation removal program, however the original property has since been demolished/replaced

* The ACT Government is not able to guarantee the accuracy of the information in this report. You should make your own enquiries and obtain reports (from a licensed Asbestos Assessor) in relation to the presence of loose-fill asbestos insulation (and other forms of asbestos) on the premises.

Advice provided to applicant (tick) In person Email DATE: 28/10/2014

Processed by: AM (CS Officer name)

CONVEYANCING PART 2

No information is provided in respect of electrical, drainage or sewer matters and or to the location of overhead power lines or underground cables in relation to the building.

- | | <u>Yes</u> | <u>No</u> |
|---|-------------------------------------|-------------------------------------|
| 1. (a) Is this a government or ex government house? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| (b) If yes, is there a building file with approvals on it? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 2. Is there any record of incomplete building work on the building file? If yes - file copies attached | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 3. Are there any records on the building file of current (within 5 years) housing Indemnity insurance policies for building work? If yes - file copies attached | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 4. Are there any records on the building file showing building applications still being processed? (Current within 3 years) If yes - file copies attached | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 5. Are there any records on the building file in relation to loose-fill asbestos insulation? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

If available, copies of the following documents are provided:

- | | | |
|--|-------------------------------------|-------------------------------------|
| • Certificate/s of Occupancy and Use | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| • Survey Certificates | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| • Approved Building Plans | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| • Ex- government Building Plans | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| • Certificate of Completion of Asbestos Removal work** | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

** If YES – this indicates that the property was part of the Loose Asbestos Insulation Program.
 For more information go to the Asbestos Awareness Website – www.asbestos.act.gov.au

If requested:

- | | | |
|--------------------|-------------------------------------|--------------------------|
| • Drainage Plan(s) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--------------------|-------------------------------------|--------------------------|

ASBESTOS

**The ACT Government is not able to guarantee the accuracy of the information in this report.

You should make your own enquiries and obtain reports (from a licensed Asbestos Assessor) in relation to the presence of loose fill asbestos insulation (and other forms of asbestos) on the premises. For more information go to the Asbestos Awareness Website – www.asbestos.act.gov.au

Please Note: Building approvals that have been generated via eDevelopment will be issued with a project number prefixed by the letter B. Initial building approval documentation will be identified with project number B20XXXXX only but will be referenced as B20XXXXX/A on the Certificate of Occupancy and Use. Any amendments to the original approval will be issued with the project number and an alphanumeric digit. The first amendment will be identified as B20XXXXX/B, the second amendment B20XXXXX/C etc.

Search officer comments (if any?)

Search officer initials: Tony

Cost of application: \$ 112.00

Date completed: 08/03/2016

Request type

Select a request type *

Residential conveyancing enquiry

What is the priority of this request? *

Standard

High

Contact details

Applicant details

Title

Sch 2 2.2

Given name *

Sch 2 2.2(a)(ii)

Family name *

Sch 2 2.2(a)(ii)

Email *

Sch 2 2.2(a)(ii)

Phone *

Sch 2 2.2(a)(ii)

Property information

Suburb/District *

FORREST

Section *

Block *

Unit

If you require help with suburb/district, section or block details, visit ACTMAPi.

Lessee *

Sch 2 2.2(a)(ii)

Applicant's reference

Address line 1 *

Address line 2

Suburb *

FORREST

State

ACT

Postcode

2603

Additional information

Is the property an ex Government residence? *

Yes

No

Unknown

If the residence is a former Government residence without alterations or additions, the building plans may not be available.

Do you want to include a Sanitary Drainage Plan (additional fees apply)? *

Yes

No

Applicant declaration

As the applicant lodging this request, you are declaring: *

- I am the lessee/owner.
- I have authorisation from the lessee/owner.
- I am the solicitor acting on behalf of the lessee/owner.
- I am/act for a mortgagee in possession.
- I have authorisation from the solicitor representing the lessee/owner.
- I have authorisation from the Trustee of the deceased estate.
- I have authorisation for power of attorney from the lessee/owner.

Please Note:

1. Documentation confirming that you have the lessee/owner's permission is required in all instances. You will be prompted to attach an electronic copy of the documentation in the next step.
2. The applicant must comply with one of the above declarations to protect any personal information relating to the lessee/owner of this lease under the provisions of the Information Privacy Act 2014.
3. Section 59A of the *ACT Building Act 1972* provides severe penalties for false or misleading statements.

Payment

Payment total

\$112.00

Please be aware that all completed packages will be sent to the email address provided by the applicant.

Building Conveyancing Enquiries and Energy Rating Package Application - Receipt

Your payment has been successful. Please keep a copy of this receipt for your records.

Date and time

03 Mar 2016 1:23:00 PM

Form submission ID

34003920160303130070

Payment receipt number

1687862186

Tracking code

JGGYT5

Total amount paid

\$112.00

To save a copy of the completed form and receipt, from the File menu select "Save a copy". To print a copy use the Print icon.

Access Canberra
ABN 68 367 113 536

GPO Box 1908
Canberra ACT 2601

Phone: (02) 6207 1923

CONVEYANCING PART 2

No information is provided in respect of electrical, drainage or sewer matters and or to the location of overhead power lines or underground cables in relation to the building.

- | | <u>Yes</u> | <u>No</u> |
|---|-------------------------------------|-------------------------------------|
| 1. (a) Is this a government or ex government house? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| (b) If yes, is there a building file with approvals on it? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 2. Is there any record of incomplete building work on the building file? If yes - file copies attached | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 3. Are there any records on the building file of current (within 5 years) housing Indemnity insurance policies for building work? If yes - file copies attached | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 4. Are there any records on the building file showing building applications still being processed? (Current within 3 years) If yes - file copies attached | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 5. Are there any records on the building file in relation to loose-fill asbestos insulation? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

If available, copies of the following documents are provided:

- | | | |
|--|-------------------------------------|-------------------------------------|
| • Certificate/s of Occupancy and Use | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| • Survey Certificates | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| • Approved Building Plans | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| • Ex- government Building Plans | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| • Certificate of Completion of Asbestos Removal work** | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

** If YES – this indicates that the property was part of the Loose Asbestos Insulation Program.
 For more information go to the Asbestos Awareness Website – www.asbestos.act.gov.au

If requested:

- | | | |
|--------------------|-------------------------------------|--------------------------|
| • Drainage Plan(s) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--------------------|-------------------------------------|--------------------------|

ASBESTOS

**The ACT Government is not able to guarantee the accuracy of the information in this report.

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Please Note: Building approvals that have been generated via eDevelopment will be issued with a project number prefixed by the letter B. Initial building approval documentation will be identified with project number B20XXXX only but will be referenced as B20XXXX/A on the Certificate of Occupancy and Use. Any amendments to the original approval will be issued with the project number and an alphanumeric digit. The first amendment will be identified as B20XXXX/B, the second amendment B20XXXX/C etc.

Search officer comments (if any?)

Search officer initials: Tony

Cost of application: \$ 112.00

Date completed: 08/03/2016

AUSTRALIAN CAPITAL TERRITORY.

CIVIC BRANCH.

DEPARTMENT OF THE INTERIOR

N^o 6093

Building and Services Ordinance 1924-1942.
Canberra Building Regulations.

CERTIFICATE OF COMPLETION.

THIS IS TO CERTIFY that a building has been completed by *F. Mouch.*

on Block *[redacted]* of Section *[redacted]* at *Forrest.*
for *brick Vases Additions to Garage for C. J. and D. Courtney.*

the Lessee of the said Block, in accordance with the plans and specifications approved therefor, and in accordance with the provisions of the Canberra Building Regulations made under the *Building and Services Ordinance 1924-1942.*

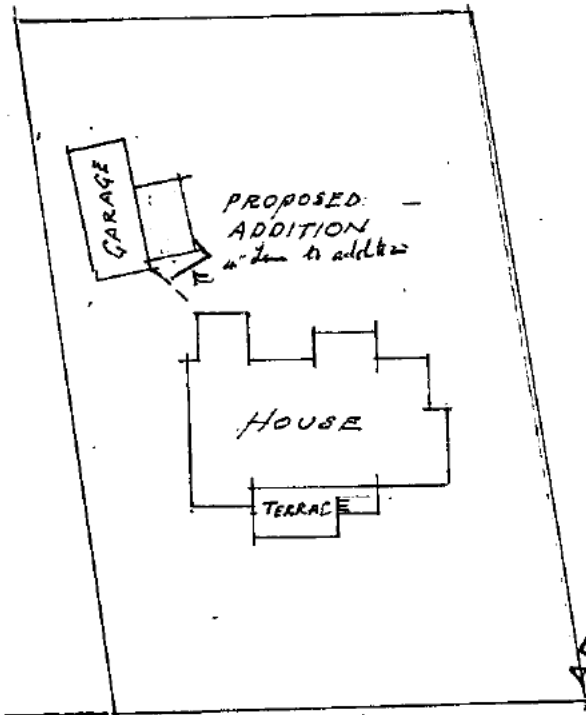
Plan No. *8043.*

Dated this *25th* day of *March* 19*64*

[Signature]
Proper Authority.

A.C.T. LANDS AND SURVEY BRANCH
CANBERRA BUILDING REGULATIONS
PLAN No. 8024

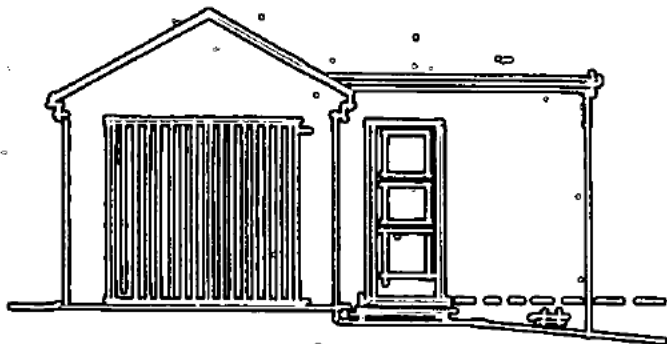
43



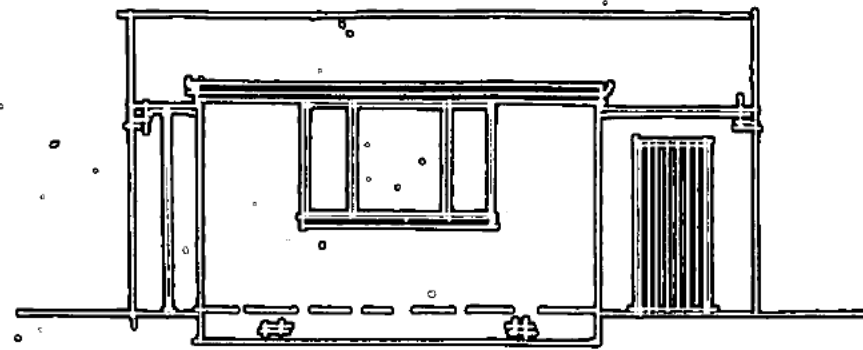
[Signature]
APPROVED
PHILIPPER AUTHORITY
UNDER CANBERRA BUILDING REGULATIONS
2 OCT 1963

FURNHEAUX ST
BLOCK PLAN 40' x 1"
ADDITIONS [REDACTED] FORREST
FOR C. J. AND L. COURTHEY

[Signature] 1/10/63

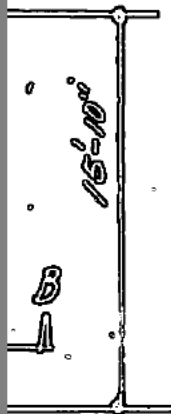


FRONT ELEVATION

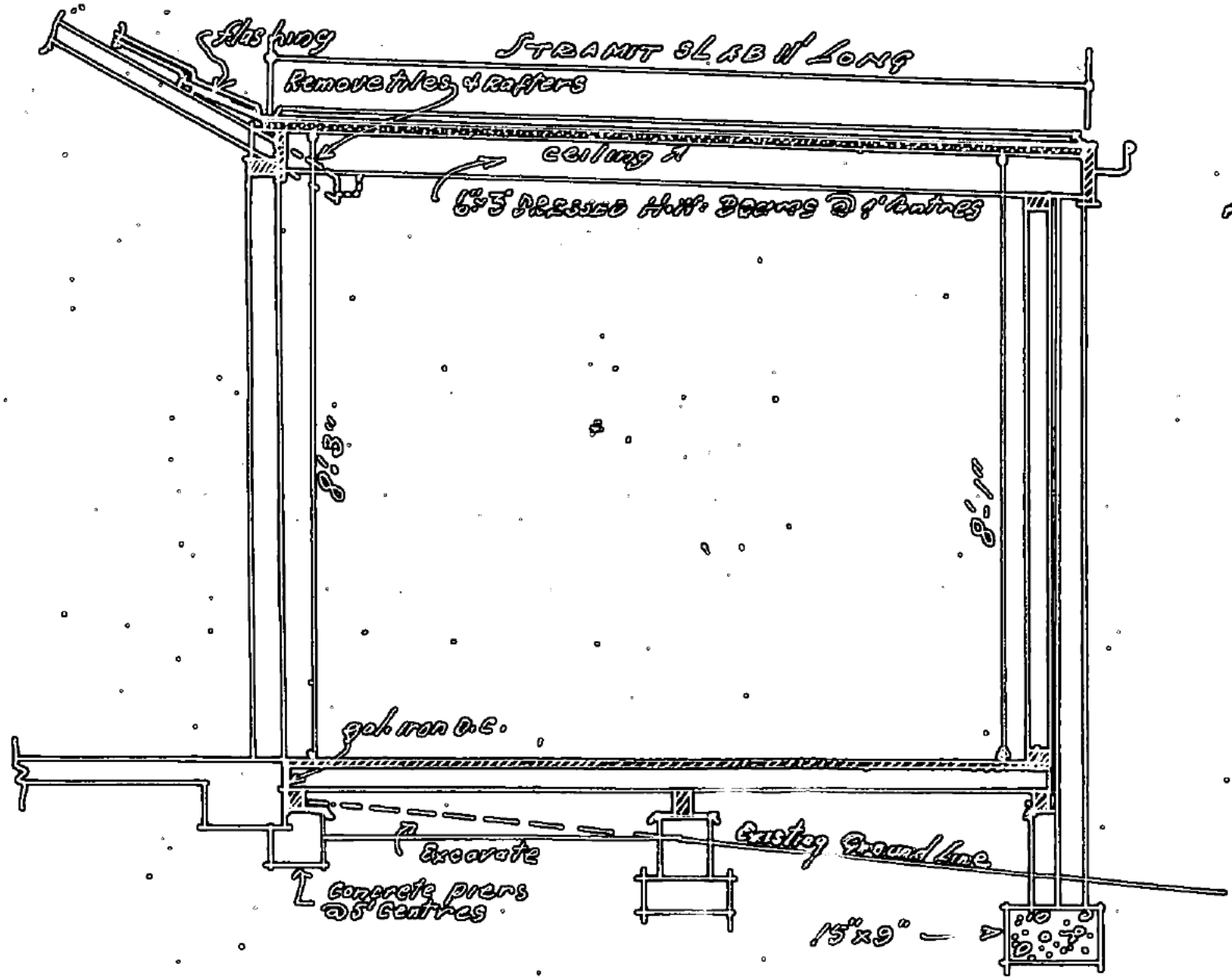


SIDE ELEVATION

Sch 2 2.2(a)(ii)



PLAN



SECTION A.B. SCALE 1/2" = 1 FT.

SCALE 1/8" = 1 FT.

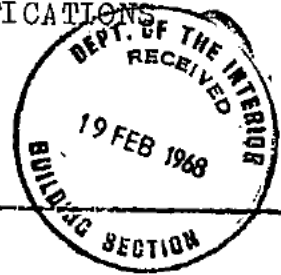
ADDITIONS TO RESIDENCE
FOR [REDACTED]

CAROL COURTNEY ARCHT. & A.
ARCHITECT
CANBERRA, 1963.

LB 1

(Est. 1966) APPLICATION FOR APPROVAL OF PLANS & SPECIFICATIONS

To: The Chief Architect,
 Lands Branch,
 Department of the Interior,
 CANBERRA. A.C.T.



| | |
|---|---|
| Name: Sch 2 2.2(a)(ii) | |
| Address: [Redacted] Forrest ACT | |
| Location on which building to be constructed - Block [Redacted] Section [Redacted] Division Forrest | |
| Type of Building (classified by occupancy as defined in the Building Manual) | Extension to Existing Residence |
| Name and Address of Lessee or Owner: [Redacted] Forrest ACT | |
| Contract or Estimated Price \$ 750.00 | Gross Floor Area of Proposed Building 50 square feet |
| I enclose the following fee payable in respect of this application under Reg. 14A(1) \$ | <i>[Signature]</i> Signature of Applicant 7/2/1968 |

OFFICE USE ONLY

| | | | |
|---|---------------|--|--------------------|
| Squarage for Fees | | Plans Numbered | 8043/A |
| Total Fees Payable under Reg. 14(1) | \$2.00 | Building Covenant | \$ addition |
| Fees now due under Reg. 14A(1) i.e. 25% | \$0.50 | Plans Approved / Not Approved | |
| Receipt No. | 214090 | APPROVED PROPERTY AUTHORITY UNDER CANBERRA BUILDING REGULATIONS 13 MAR 1968 | |

ACT Building, Electrical and Plumbing Control

GPO Box 1908, Canberra ACT 2601

Application Acknowledgement

| | |
|---|---|
| Applicant ROSS FELLER & ASSOCIATES ARCH 63 EUREE STREET REID ACT 2612 Tel: 62480775 Fax: 62480921 | Site for Project Address [REDACTED] Suburb Section Block FORREST [REDACTED] |
| Please quote this number for all enquiries Project Number : 986583 DARTS Application Number 986583 | Plan Plan Number 986583/A Plan Lodged 21 December 1998 |

This is an application for a new project consisting of **2** project items

| Nature of Work | Project Item Description | Unit | Other Description | Area/LM | Value |
|----------------|--------------------------|------|--|---------|-----------|
| ADDITIONS TO | RESIDENCE | | Additions and alterations to lower & upper floor | 202 | \$178,024 |
| ADDITIONS TO | GARAGE | | Including a paved terrace | 24 | \$13,120 |

Building Application Fee

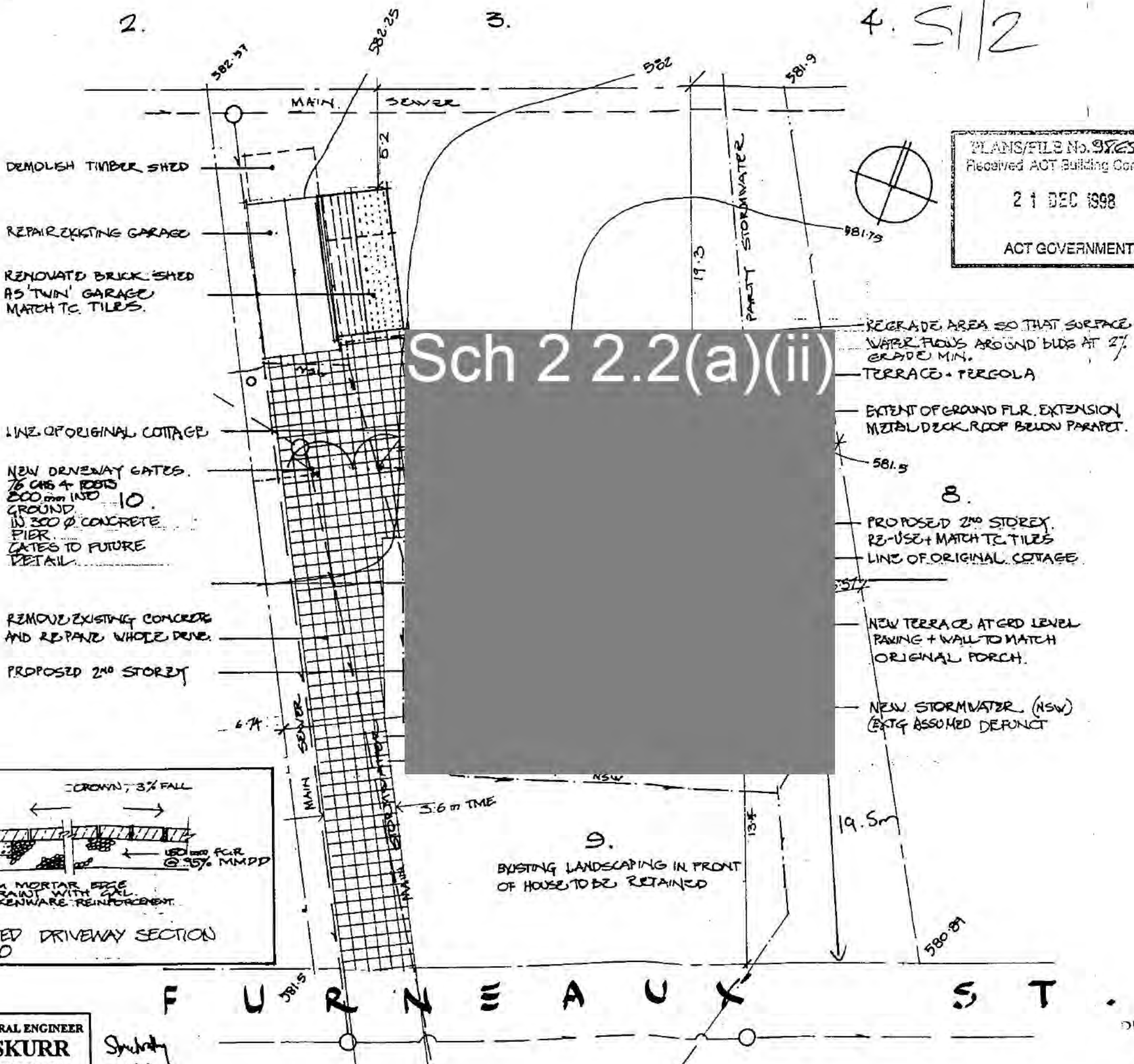
\$2,870.70 191/744

Your project plans are to be posted.

2.

3.

4. 5/1/2



NOTES

- All construction to: Building Code of Australia Vol 2
- All footings to AS2870 Class P
- Builder to allow base of footings min 900 below existing ground level.

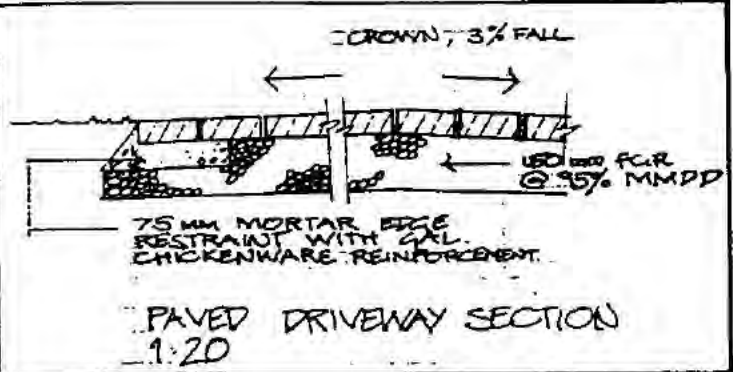
| SUMMARY AREAS | m ² |
|--------------------|----------------|
| Existing | |
| Residence | 155.4 |
| Garage + sheds | 48.5 |
| Demolition | |
| Residence | 33.8 |
| sheds | 22.8 |
| Proposed additions | |
| Residence GFL | 55.9 |
| Residence UFL | 146.4 |
| Garage | 23.4 |
| Paved terrace | 14.8 |

PLANS/FILE No. 986533
 Received ACT Building Control
 21 DEC 1998
 ACT GOVERNMENT

KEY to DRAWINGS

| ARCHITECTURAL | |
|----------------------------|----|
| SITE PLAN | 1 |
| GROUND PLAN | 2 |
| 1st FLOOR PLAN | 3 |
| ROOF PLAN | 4 |
| WEST + SOUTH ELEVATIONS | 5 |
| EAST + NORTH ELEVATIONS | 6 |
| SECTIONS A + B | 7 |
| GARAGE PLAN + ELEVATIONS | 8 |
| STRUCTURAL | |
| DEMOLITION + FOOTINGS | 9 |
| 1st FLOOR PLAN | 10 |
| ROOF PLAN | 11 |
| DETAILS | |
| FAMILY ROOM ROOF | 12 |
| BALCONY METALWORK | 13 |
| INTERNAL TO MATCH EXISTING | 14 |
| EXTERNAL TO MATCH EXISTING | 15 |

Sch 2 2.2(a)(ii)



CIVIL & STRUCTURAL ENGINEER
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Structural
 control
 1/12/98

DESIGN & SITING OFFICE
 11 JAN 1998
 BUILDING APPLICATION drawing no. 1

| DATE | AMENDMENTS |
|---|---|
| | Proposed Alteration + Addition Sch 2 2.2(a)(ii) RESIDENCE Block: Section: FORREST |
| SITE PLAN | |
| scale 1:200 | 15 Dec 1998 |
| ROSS FELLER ARCHITECT 63 EUREE ST REID ACT 2612 fx (02) 6248 0921 ph (02) 6248 0775 | |

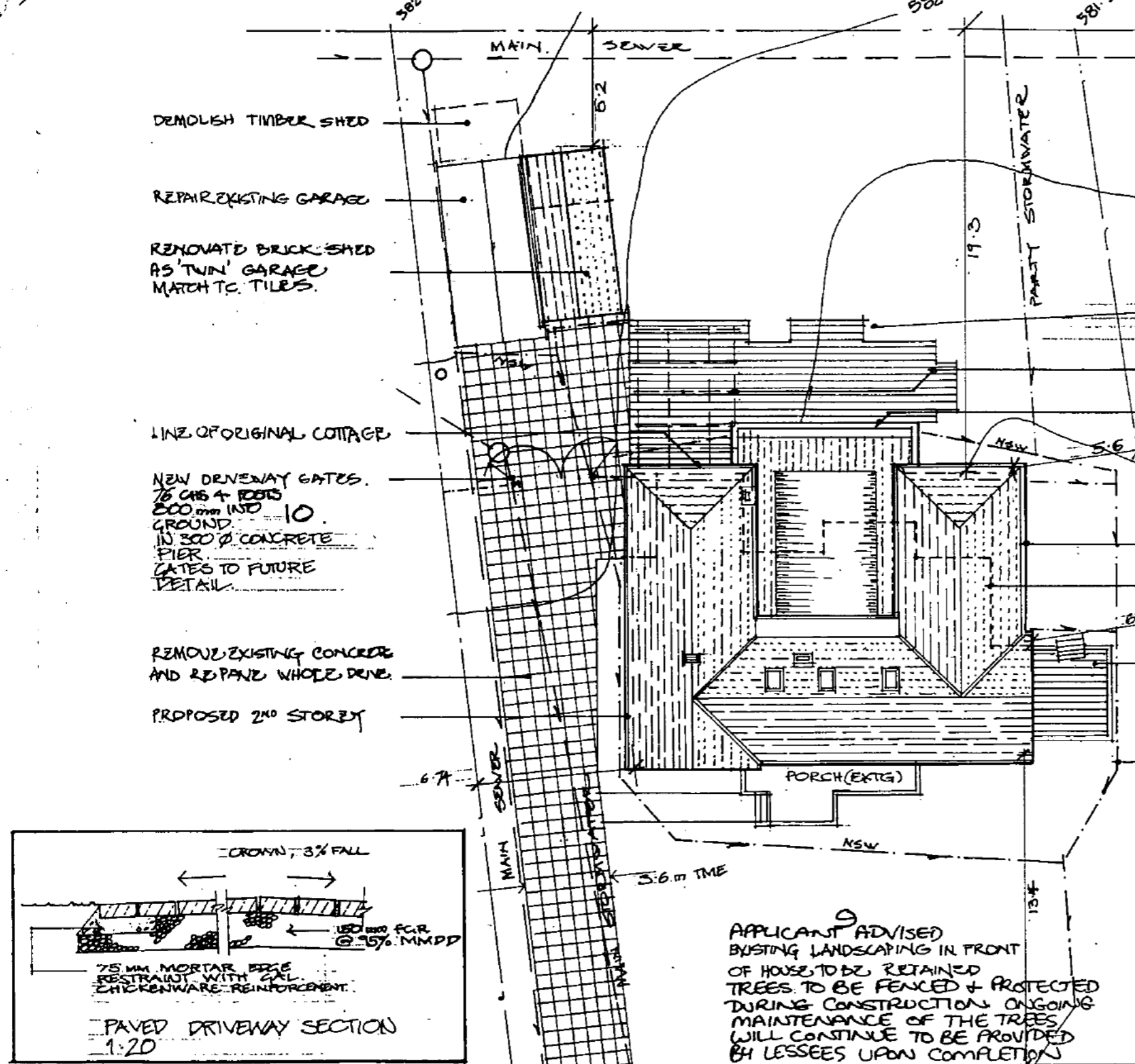
2. 3. 4. S1/2

NOTES

- All construction to: Building Code of Australia Vol 2
- All footings to AS2870 Class P
- Builder to allow base of footings min 900 below existing ground level.

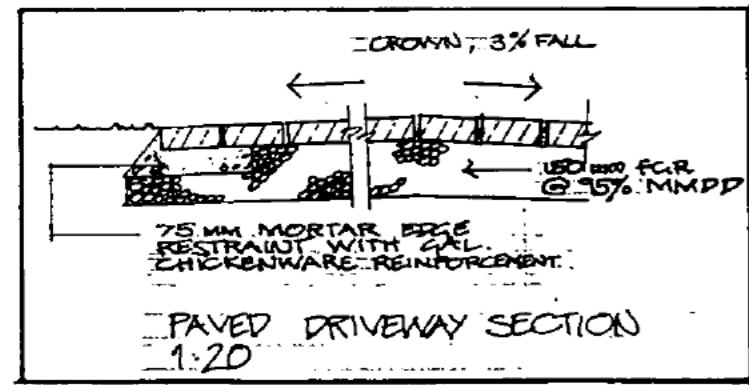
| SUMMARY AREAS | m ² |
|--------------------|----------------|
| Existing | |
| Residence | 155.4 |
| Garage + sheds | 48.5 |
| Demolition | |
| Residence | 33.8 |
| sheds | 22.8 |
| Proposed additions | |
| Residence GFL | 55.9 |
| Residence UFL | 146.4 |
| Garage | 23.4 |
| Paved terrace | 14.8 |

PLANS/FILE No. 98/25/23
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KEY to DRAWINGS

| ARCHITECTURAL | |
|----------------------------|----|
| SITE PLAN | 1 |
| GROUND PLAN | 2 |
| 1st FLOOR PLAN | 3 |
| ROOF PLAN | 4 |
| WEST + SOUTH ELEVATIONS | 5 |
| EAST + NORTH ELEVATIONS | 6 |
| SECTIONS A + B | 7 |
| GARAGE PLAN + ELEVATIONS | 8 |
| STRUCTURAL | |
| DEMOLITION + FOOTINGS | 9 |
| 1st FLOOR PLAN | 10 |
| ROOF PLAN | 11 |
| DETAILS | |
| FAMILY ROOM ROOF | 12 |
| BALCONY METALWORK | 13 |
| INTERNAL TO MATCH EXISTING | 14 |
| EXTERNAL TO MATCH EXISTING | 15 |



LAND (PLANNING AND ENVIRONMENT) ACT 1991
 APPROVAL GRANTED
 PURSUANT TO SECTION 230 OR 245
 25 MAR 1999
 Nicole Di-Campfle
 Delegate of the Minister

| DATE | AMENDMENTS |
|---|---|
| | Proposed Alteration + Addition Sch 2 2.2(a)(ii) RESIDENCE Block: Section: FORREST |
| SITE PLAN | |
| scale 1:200 15 Dec 1998 | |
| ROSS FELLER ARCHITECT 63 EUREE ST REID ACT 2612 fx (02) 6248 0921 ph (02) 6248 0775 | |
| 11 JAN 1998 | BUILDING APPLICATION drawing no. 1 |

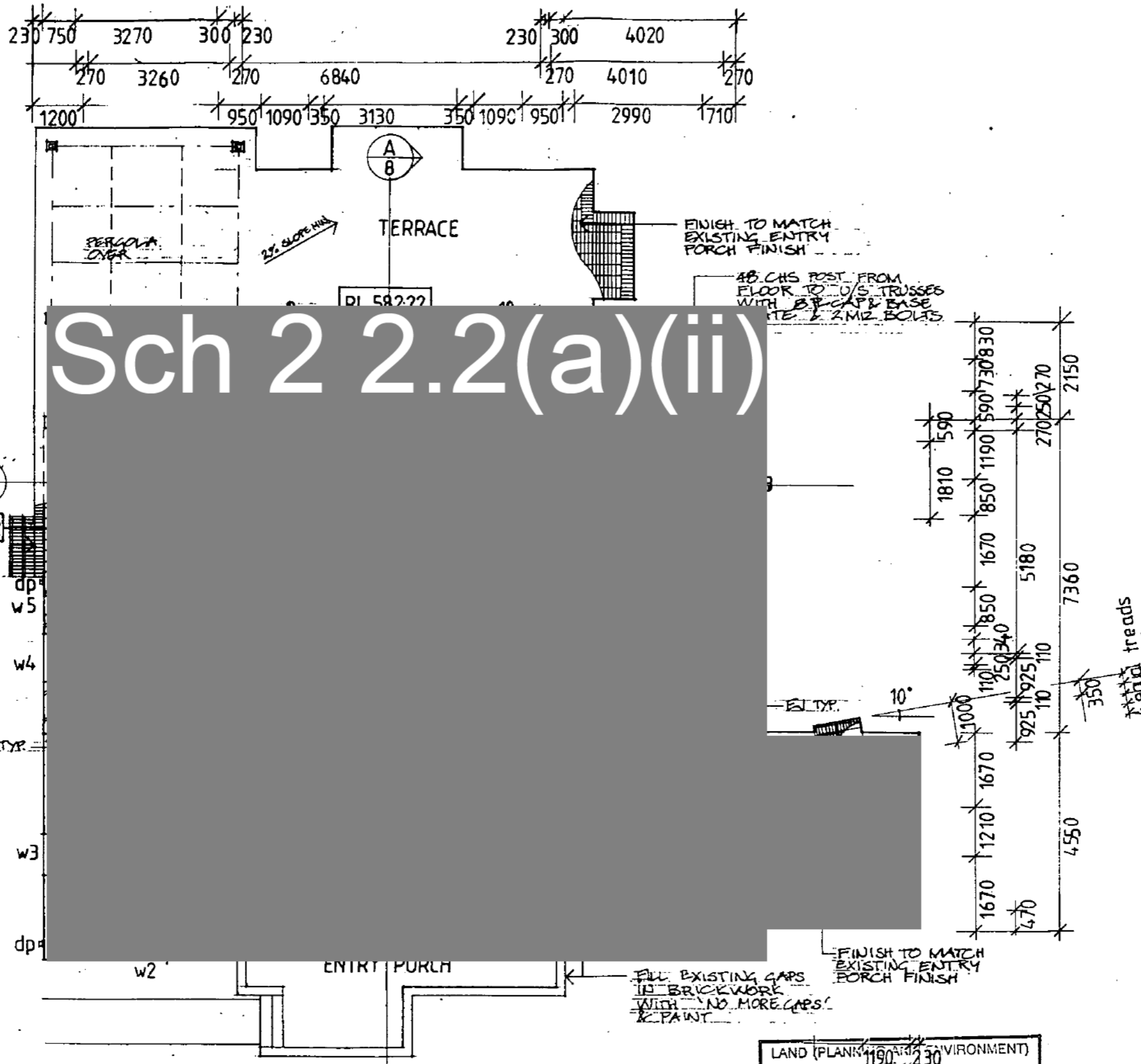
CIVIL & STRUCTURAL ENGINEER
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Structural
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 10-12-18

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11 JAN 1998

F U R N E A U X S T .



Sch 2 2.2(a)(ii)

NOTES

1. Cut level of ground to ensure a fall away from around the building of a min 2%.
2. All brickwork to AS 3700. 1:1:6 mortar, with brick for every 4th course and every 2nd course over and to 1m each side of door and window openings.
3. New walls around WC1 + Bathroom 1: 90mm studwork lined in plasterboard or villaboard in wet areas. Use sound proof board around WC.
4. All other new walls on ground level to be full brick and rendered.
5. Floor finishes in WC1 + Bathroom 1 and Laundry to be ceramic tiles.
6. Existing polished T+G flooring in front three rooms and hallway to remain.
7. All other areas including Kitchen and new Side Entry area to be select grade hardwood T+G polished flooring.
8. Select clear timber to stairs.
9. Waterblast to clean paint from face brickwork around W1. on Entry Porch
10. All lintels to be galvanised.

| SIZE | SPAN | BEARING |
|------------------|-------|---------|
| 100 x 100 flat | 0-1 m | 100 mm |
| 100 x 100 x 10 L | 1>2 m | 150 mm |
| 150 x 100 x 10 L | 2>3 m | 230 mm |

PLANS/FILE No. 38653
 Received ACT Building Control
 21 DEC 1998
 ACT GOVERNMENT

| DATE | AMENDMENTS |
|--|---|
| | Proposed Alteration + Addition Sch 2 2.2(a)(ii) RESIDENCE Block: Section: FORREST |
| GROUND PLAN | |
| scale 1:100 15 Dec 1998 | |
| CROSS FELLER ARCHITECT 63 EUREE ST REID ACT 2612 fx (02) 6248 0921 ph (02) 6248 0775 | |
| 9718 | BUILDING APPLICATION drawing no. 2 |

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LAND (PLANNING AND ENVIRONMENT)
 ACT 1997
 APPROVAL GRANTED
 PURSUANT TO SECTION 230 OR 2.5
 25 MAR 1999
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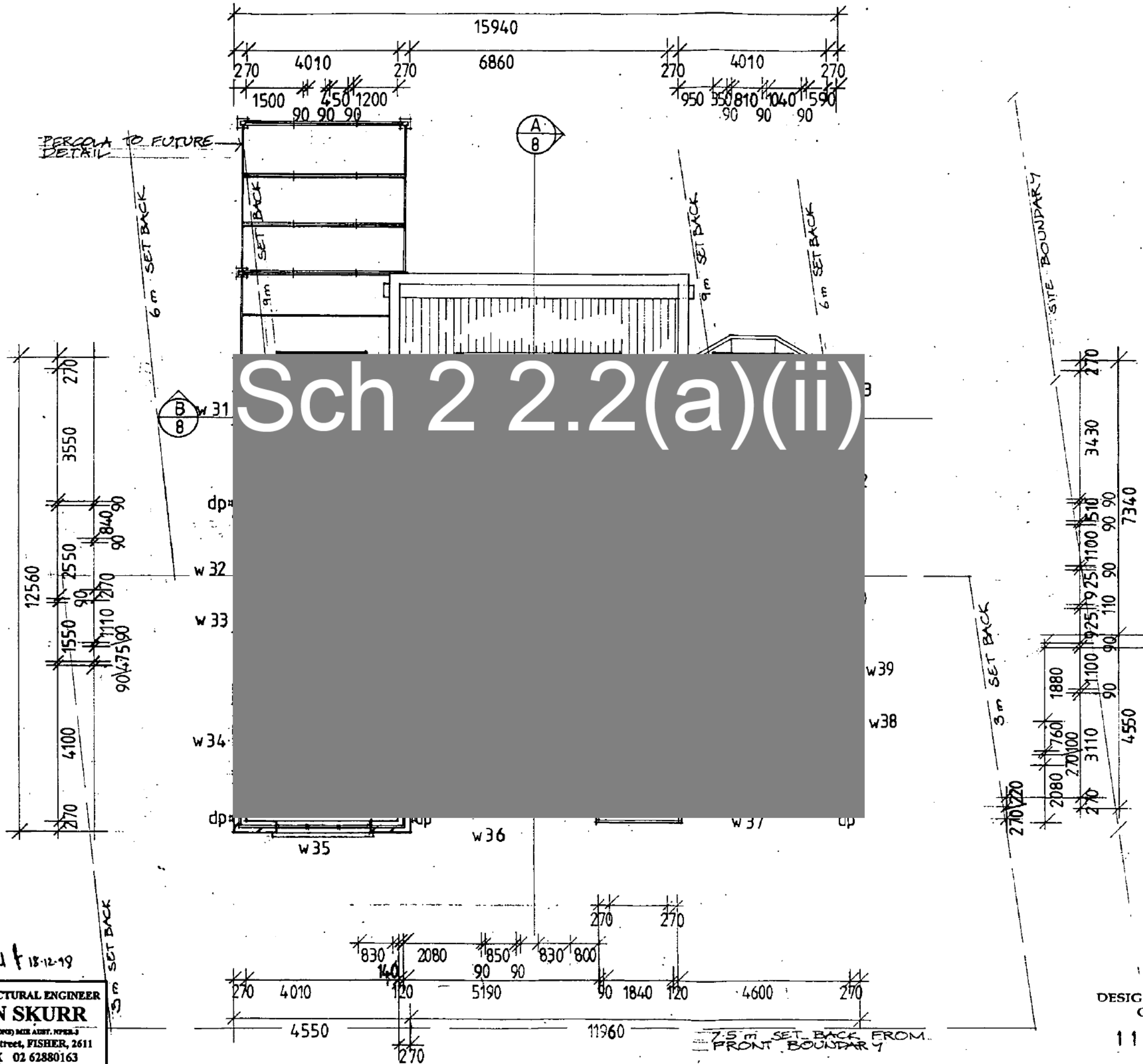
- NOTES
1. Ceramic tiles over FC to wet areas.
 2. Select grade polished T+G flooring throughout all other areas.
 3. All brickwork to AS 3700.
 4. Rendered brickwork use either recycled (dimensionally stable) bricks or concrete masonry units.
 5. For face brickwork outside Bed 1, match existing 50mm ht bricks.
 6. All windows to be WRC.

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|---|---|
| | Proposed Alteration + Addition Sch 2 2.2(a)(ii) RESIDENCE Block: Section: FORREST |
| 1st FLOOR PLAN | |
| scale 1:100 15 Dec 1998 | |
| ROSS FELLER ARCHITECT 63 EUREE ST REID ACT 2612 ph (02) 6248 0921 ph (02) 6248 0775 | |
| 11 JAN 1998 | BUILDING APPLICATION drawing no. 3 |

Sch 2 2.2(a)(ii)



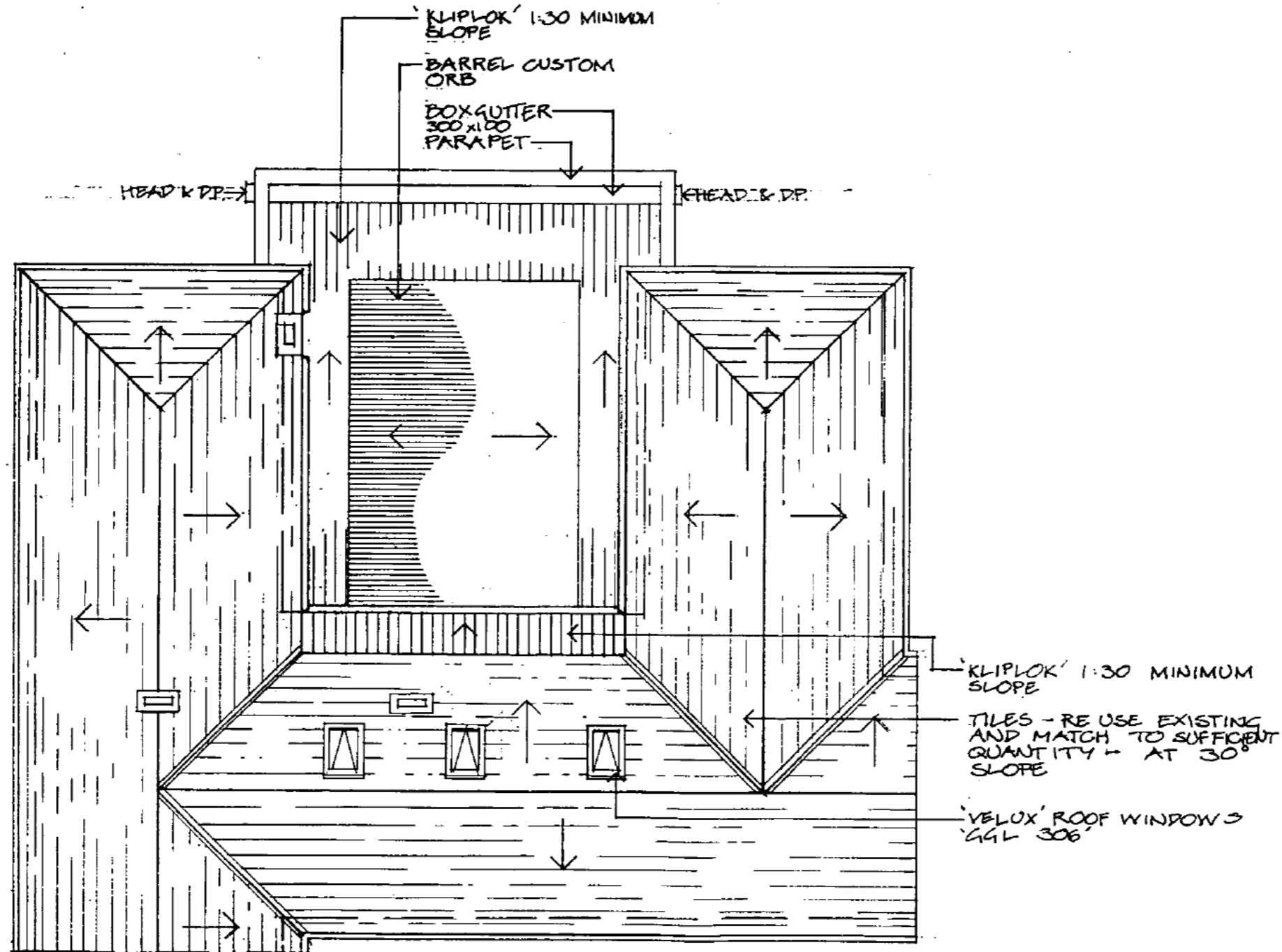
Stability of 18-12-99
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NOTES

- 1. ENSURE KLIPLOK FULLY TURNED UP AT HIGH END TO PREVENT BACKFLOW.



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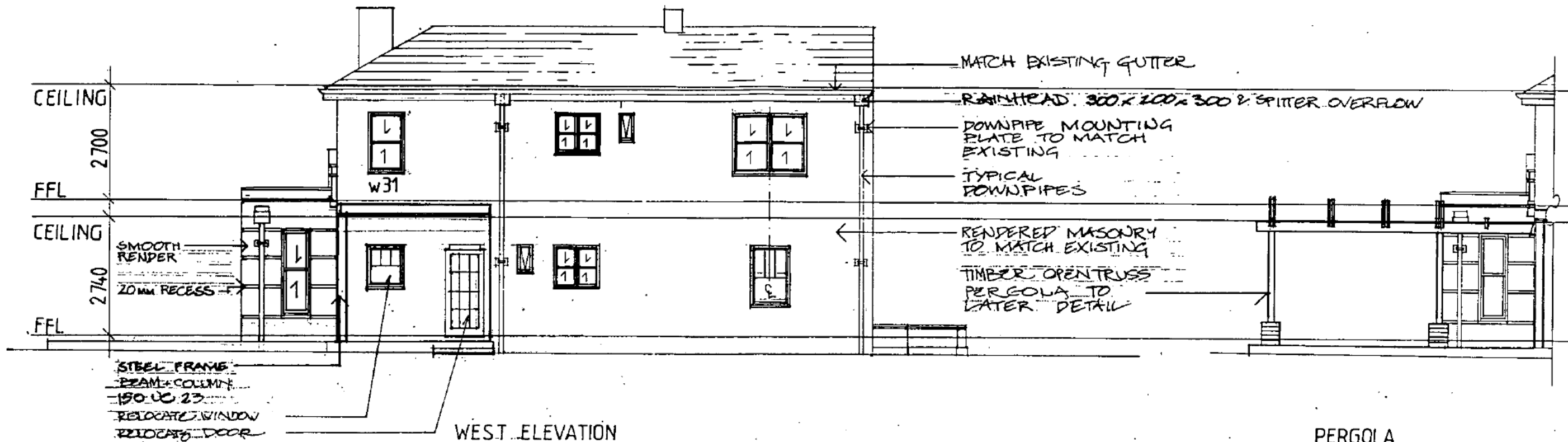
LAND (PLANNING AND ENVIRONMENT)
 ACT 1991
APPROVAL GRANTED
 PURSUANT TO SECTION 230 OR 245
 25 MAR 1999
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 Delegate of the Minister

| DATE | AMENDMENTS |
|---|--|
| | Proposed Alteration + Addition Sch 2.2.2(a)(ii) RESIDENCE Block: Section: FORREST |
| ROOF PLAN | |
| scale 1:100 | 15 Dec 1998 |
| ROSS FELLER ARCHITECT 63 EUREE ST REID ACT 2612 fx (02) 6248 0921 ph (02) 6248 0775 | |
| 9718 | BUILDING APPLICATION drawing no. 4 |

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 1/12/98*

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 11 JAN 1999



PERGOLA WEST ELEVATION

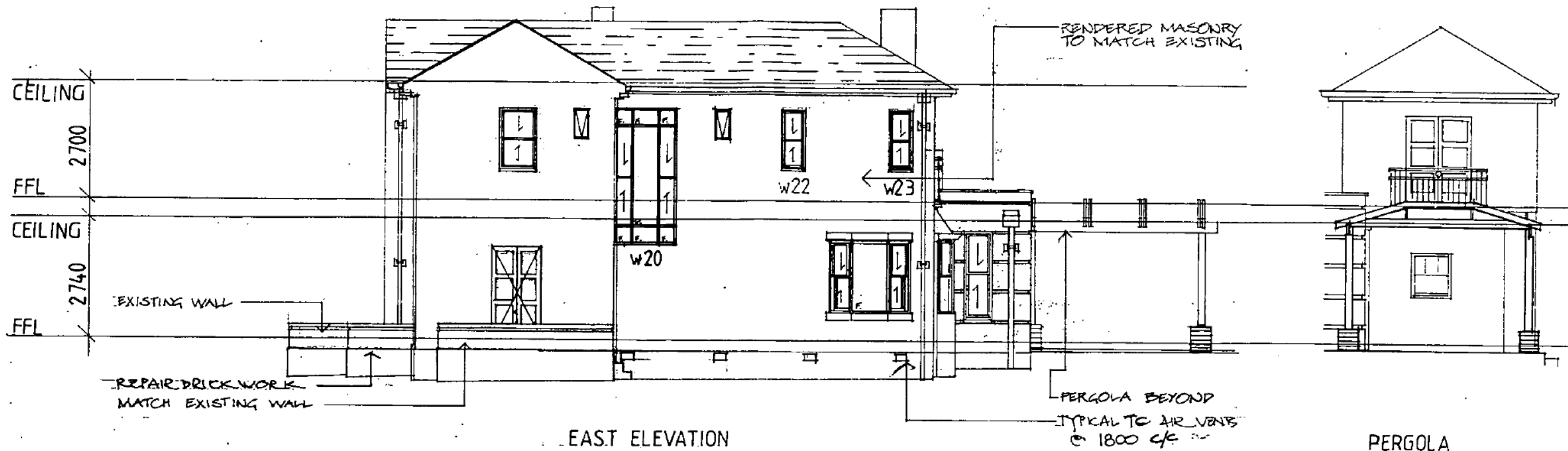
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 Received ACT Building Control
 21 DEC 1998
 ACT GOVERNMENT



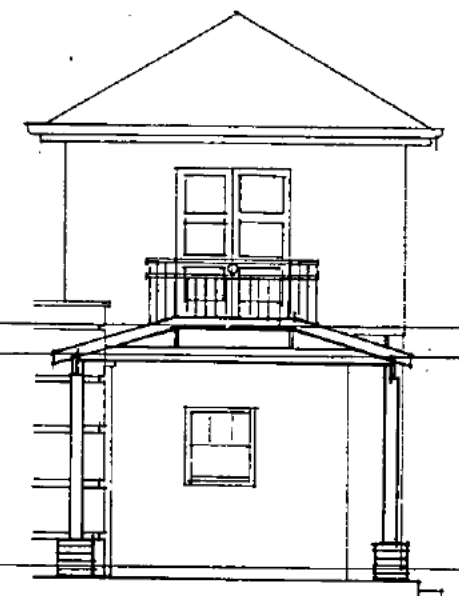
ENVIRONMENT
 ACT 1987
APPROVAL GRANTED
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 Delegate of the Minister

| DATE | AMENDMENTS |
|---|--|
| | Proposed Alteration + Addition Sch 2.2.2(a)(ii) RESIDENCE |
| | Block: Section: FORREST |
| WEST + SOUTH ELEVATIONS | |
| scale 1:100 | 15 Dec 1998 |
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| 9718 | BUILDING APPLICATION drawing no. 5 |

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EAST ELEVATION



PERGOLA NORTH ELEVATION



NORTH ELEVATION

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 Received ACT Building Control
 21 DEC 1998
 ACT GOVERNMENT

| DATE | AMENDMENTS |
|---|--|
| | Proposed Alteration + Addition Sch 2.2.2(a)(ii) RESIDENCE |
| | Block: Section: FORREST |
| EAST + NORTH ELEVATIONS | |
| scale 1:100 | 15 Dec 1998 |
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| 9718 | BUILDING APPLICATION drawing no. 6 |

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 25 MAR 1999
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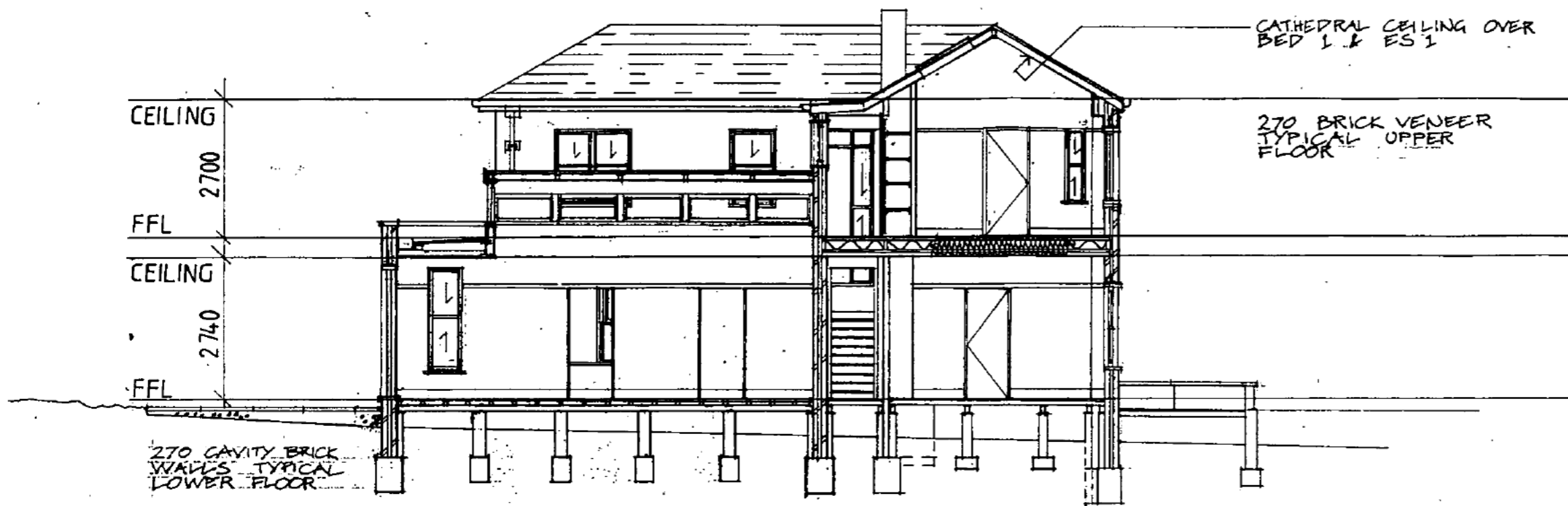
11 JAN 1999

Sketch added 1/19/99
 CIVIL & STRUCTURAL ENGINEER
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 BC CIVIL (BOND) MIE AUST. NPER-J
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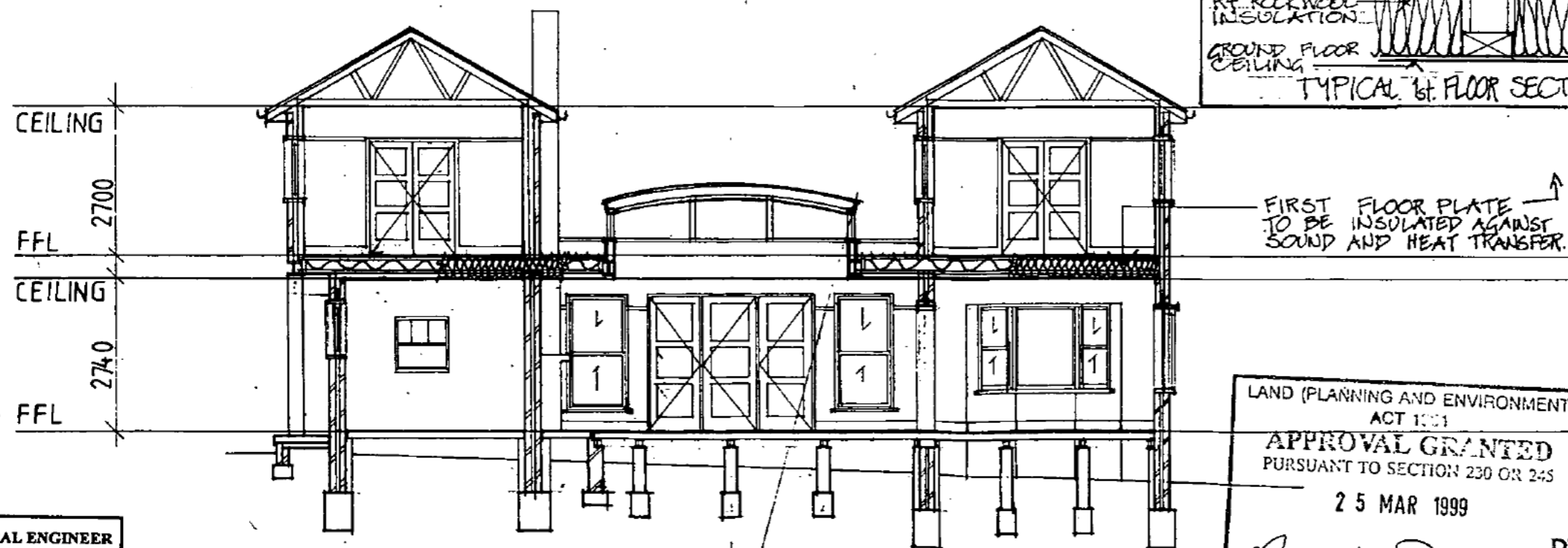
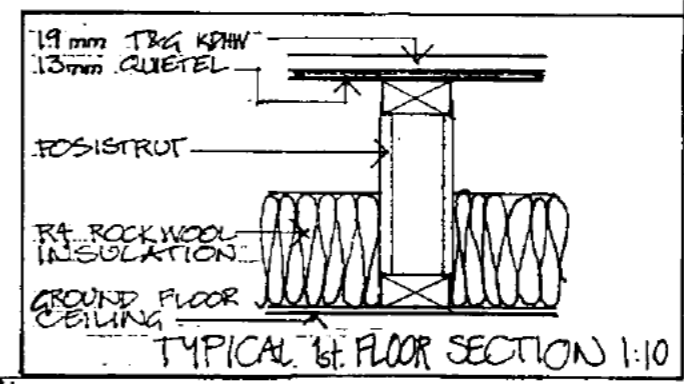
NOTES

1. All timberwork to AS 1684.
210x 45 F5 studs @450 c/c seasoned pine.
3. All new ground floor bearers:
4.2 x 100 x 50 F17 KDHW vertically laminated to make 100 x 100 frame member @ max 1800 c/cs.
5. All new ground floor joists:
100 x 50 F17 KDHW @ max 450 c/cs and 1800 spans.
6. Typical concrete strip footings 450 wide x 600 deep with 4-11 TM top and bottom, steel clips @ 900 c/cs.
7. Typical concrete pad footings 350 x 350 sq x 400 deep.

PLANS/FILE No. *222222* /A
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SECTION A



SECTION B

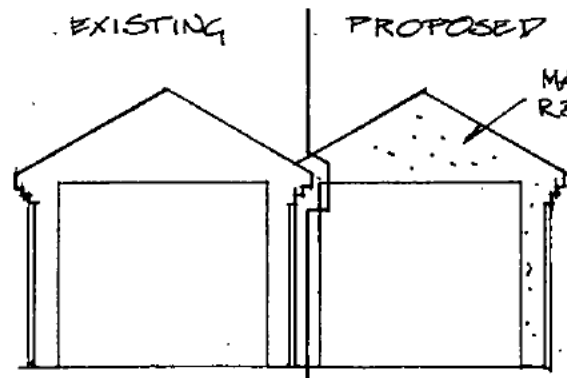
LAND (PLANNING AND ENVIRONMENT)
 ACT 1991
APPROVAL GRANTED
 PURSUANT TO SECTION 230 OR 245
 25 MAR 1999
Nicole Di-Campile
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DESIGN & SITE OFFICE
 11 JAN 1999
 9718 BUILDING APPLICATION drawing no. 7

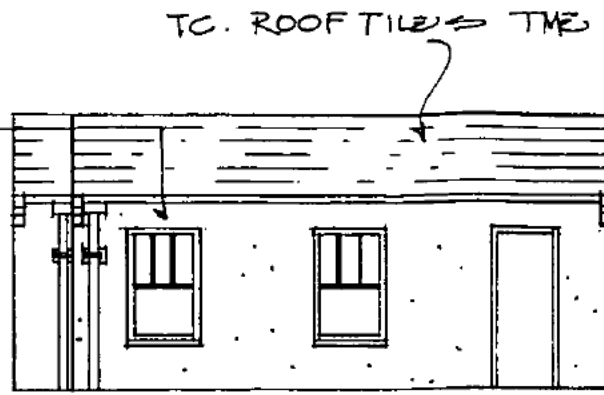
CIVIL & STRUCTURAL ENGINEER
JOHN SKURR
 BE CIVIL (HONS) MIE AUST. NPER-3
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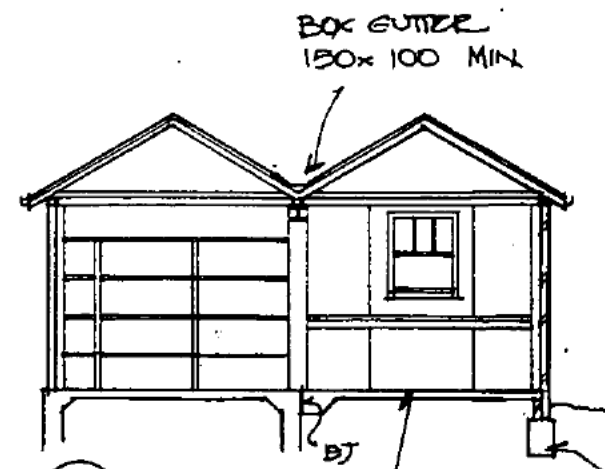
| DATE | AMENDMENTS |
|--|--|
| | Proposed Alteration + Addition <small>Sch 2 2.2(a)(ii)</small> RESIDENCE Block: Section: FORREST |
| SECTIONS A + B | |
| scale 1:100 | 15 Dec 1998 |
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| 9718 | BUILDING APPLICATION drawing no. 7 |



① ELEVATION



② ELEVATION

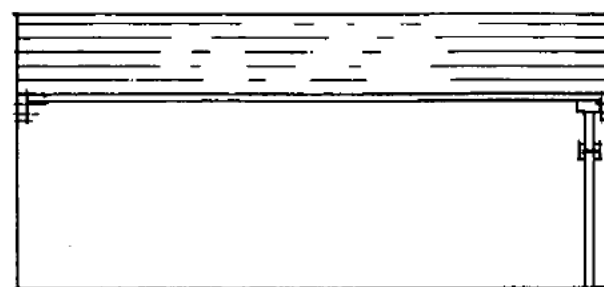


① A SECTION

- NOTES
1. Demolish existing lean-to shed and slab.
 2. New slab and footing to AS 2870
 3. Roof construction to AS 1684. Cut timbers to match existing
 4. Proposed 2nd garage to match existing external finishes (render, trims etc.).
 5. Re-use bricks from east wall of original garage.
 6. Salvage and re-use windows # 16, 17+18.
 7. Beam over: 250 UB 31 support on min 300 brickwork each end.



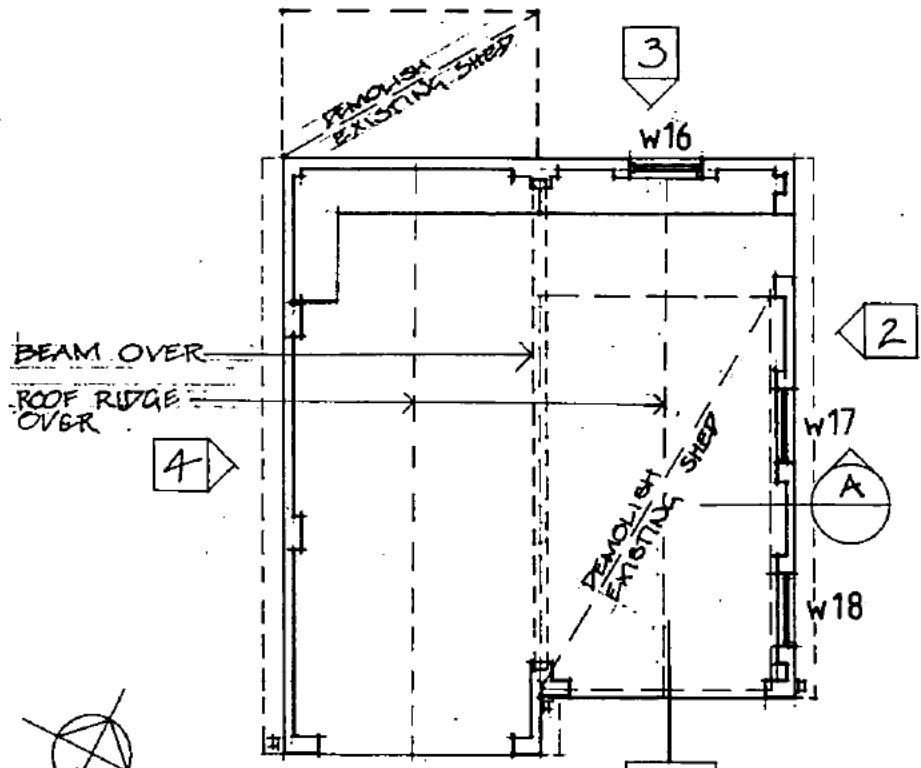
③ ELEVATION



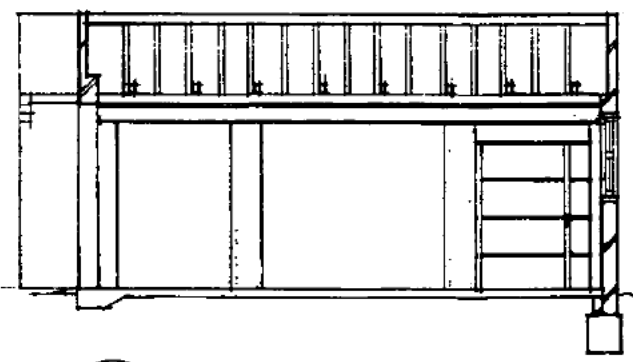
④ ELEVATION

- FOOTING 300 D 300 W
3-11 TM TOP+BOTTOM
4 STEEL CLIPS @ 900 c/c
8. BRICK TO EVERY 4TH COURSE
 9. FOR OTHER NOTES REFER DWGS 1+2.

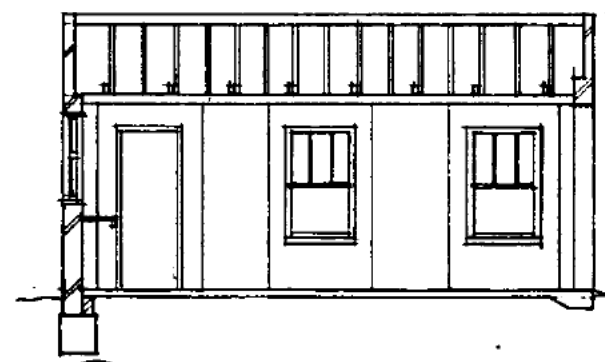
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① PLAN



② B SECTION



③ C SECTION

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18-12-98

LAND (PLANNING AND ENVIRONMENT)
ACT 1988
APPROVAL GRANTED
PURSUANT TO SECTION 230 OR 213
25 MAR 1999
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





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JAN 1999

| DATE | AMENDMENTS |
|---|---|
| | Proposed Alteration + Addition Sch 2 2.2(a)(iii) RESIDENCE Block: Section: FORREST |
| GARAGE PLAN + ELEVATIONS | |
| scale 1:100 15 Dec 1998 | |
| ROSS FELLER ARCHITECT 63 EUREE ST REID ACT 2612 fx (02) 6248 0921 ph (02) 6248 0775 | |
| 9718 | BUILDING APPLICATION drawing no. 8 |

REMOVE TO STORE ALL EXISTING ROOF TILES. REUSE EXISTING ROOF TILES IN NEW ROOF. PRESERVE RETAINED INTERIOR AGAINST THE WEATHER DURING CONSTRUCTION. DEMOLISH EXISTING ROOF FRAMING.

TYPICAL PADS 450 x 450 x 900 DEEP

Sch 2 2.2(a)(ii)

-  RETAINED EXISTING WALLS
-  DEMOLISHED EXISTING WALLS
-  BRICK UP OPENING TO EXTENT INDICATED
-  DEMOLISH AND REMOVE EXISTING FLOOR IN AREA INDICATED.
-  DEMOLISH AND REMOVE EXISTING CONCRETE FLOOR IN AREA INDICATED.
-  FOOTING FOR NEW MASONRY WALL

TYPICAL FOOTING 450 W 600 D (MIN) 4-12 TH TOP & BOTTOM & STEEL CLIPS @ 900 c/c BASE OF FOOTING 900mm BELOW EXISTING GROUND LEVEL.

NOTES

1. All Demolition to AS 2601
2. All demolition materials to be recycled as appropriate, according to the ACT Waste Reduction Strategy, or tie down
3. Provide temporary support for sections of existing building which are to be altered and which rely for support on work to be demolished.
4. While walls and roof are, open provide temporary covers to prevent water penetration.
5. While walls and roofs are open provide security against unauthorised entry.

ALL CONSTRUCTION TO BCA VOLUME 2.

PLANS/FILE No. 986083
 Received ACT Building Control
 21 DEC 1998
 ACT GOVERNMENT

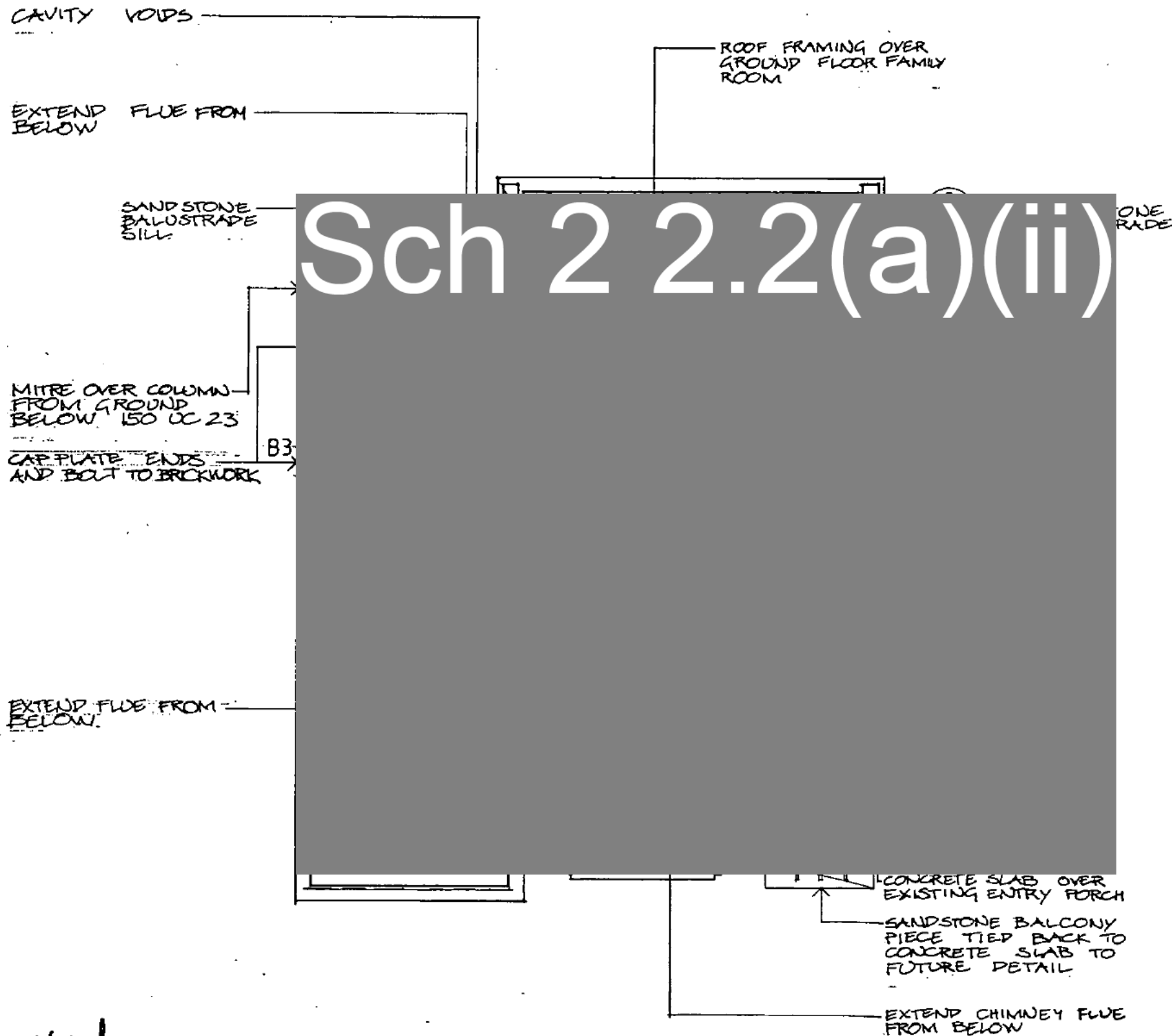
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 18/12/98

LAND (PLANNING AND ENVIRONMENT)
 ACT 1
APPROVAL GRANTED
 PURSUANT TO SECTION 2.3(1) & 2.3
 25 MAR 1999
Nicole Di-Campfi
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TROSS FELLER ARCHITECT
 63 EUREE ST REID ACT 2612
 fx (02) 6248 0921 ph (02) 6248 0775
 11 JAN 1999

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|------------------------------|---|
| | Proposed Alteration + Addition Sch 2 2.2(a)(ii) RESIDENCE Block Section: FORREST |
| DEMOLITION + FOOTINGS | |
| scale 1:100 | 15 Dec 1998 |
| 9718 | BUILDING APPLICATION drawing no. 9 |



Sch 2 2.2(a)(ii)

| LEGEND | |
|--------------|---|
| POSI-STRUTS | PS 30 45 x 90 F8 @ 450 c/cs |
| BEAMS | B1 + B2 250 UB 31 |
| | B3 150 UC 23 |
| ROLLED BEAMS | 150 x 100 x 5 RHS @ 1200 c/cs on 89 SHS x 3.5 jack columns AERIAL |
| RAFTERS | 150 x 50 F7 @ 600 c/cs |

- NOTES
1. ALL TIMBER FRAMING TO AS 1684.
 2. ALL STEELWORK TO AS 1100 ALL SECTIONS WELDED TO EACH OTHER 3mm CFW SITE WELD ALL STEELWORK PAINTED WITH 2 COATS OF RED OXIDE ZINC PHOSPHATE
 3. ALL ROOF PLANES BRACED EACH WAY WITH TECO SPEED BRACE.

PLANS/FILE No. 87658/A
 Received ACT Building Control
 21 DEC 1998
 ACT GOVERNMENT

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|------|---|
| | Proposed Alteration + Addition Sch 2 2.2(a)(ii) RESIDENCE Block: Section: FORREST |
| | STRUCTURAL 1st FLOOR PLAN |
| | scale 1:100 15 Dec 1998 |
| | DESIGN & SITING OFFICE ROSS FELLER ARCHITECT 63 EUREE ST REID ACT 2612 11 JAN 1999 fx (02) 6248 0921 ph (02) 6248 0775 |
| 9718 | BUILDING APPLICATION drawing no. 10 |

Structurally certified 15.12.98

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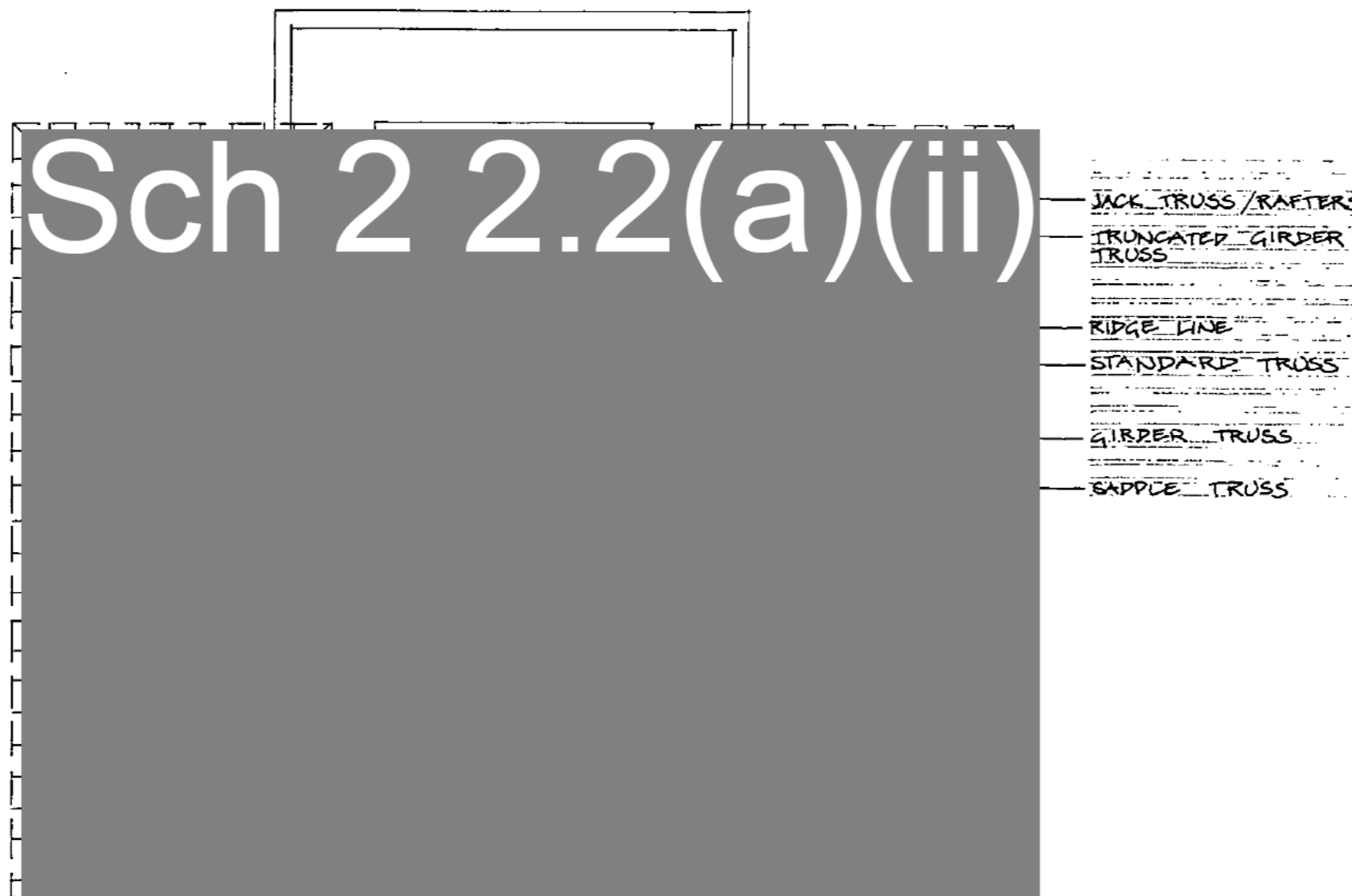
NOTES

- Cathedral ceiling over Bed 1 and ES 1 only
 RIDGE BEAM 180 UB 18
 RAFTERS 150 x 45 F16 Hyspan @ 600 c/cs

All other roof framing for level ceilings. Trusses to be sized by manufacturer, spaced at max 600 c/cs.

- FOR OTHER NOTES REFER TO DRAWING L & 2.
- ALL TIMBER FRAMING TO AS 1684

PLANS/FILE No. *S.P. 6583*
 Received ACT Building Control
 21 DEC 1998
 ACT GOVERNMENT



SUPPORT WALLS - 90x45 F5 STUDS AT 450 cc WITH DOUBLE STUDS UNDER BEAM SUPPORTS

150 x 45 F16 HYSpan RAFTERS @ 600 cc

180 UB 18 RIDGE BEAM APPROX. 7.4 m LONG

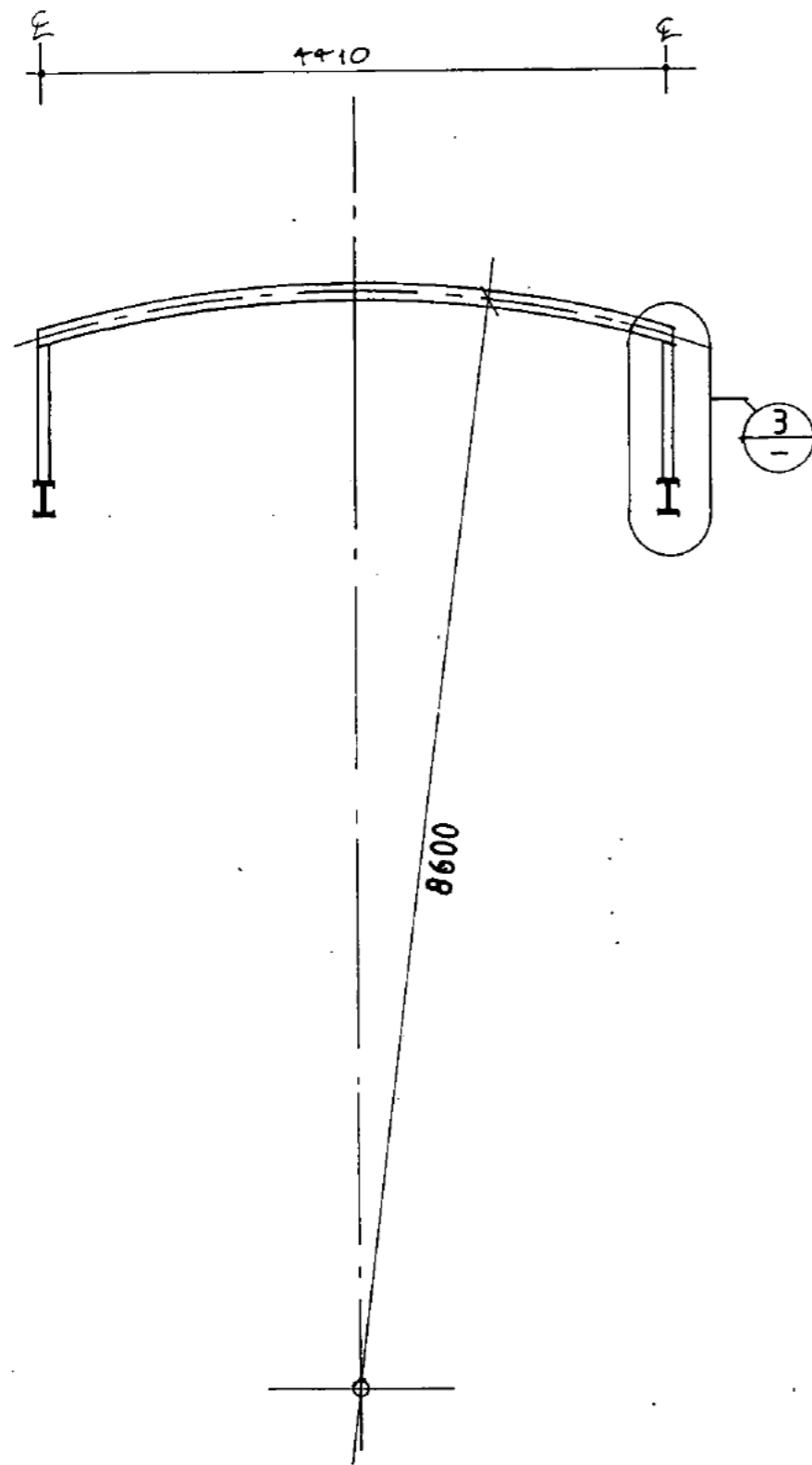
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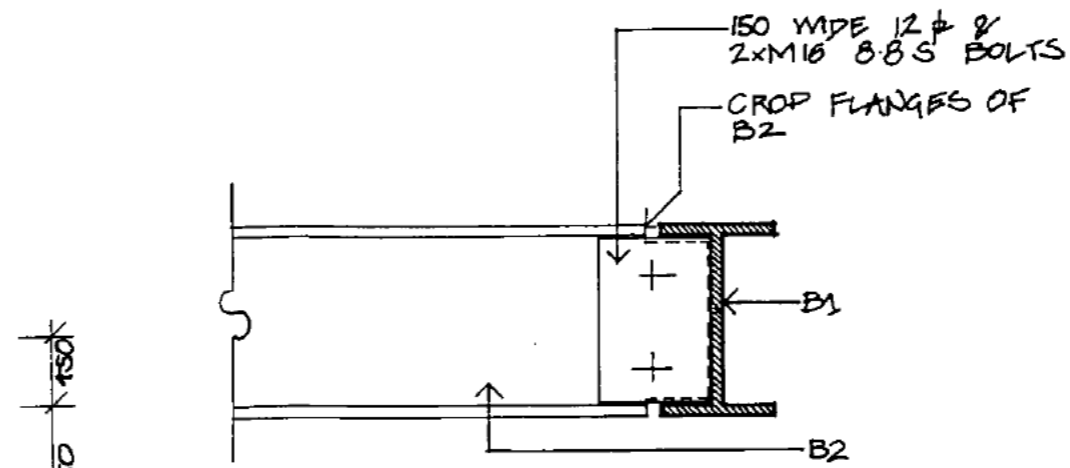
| DATE | AMENDMENTS |
|---|--|
| | Proposed Alteration + Addition Sch 2 2.2(a)(ii) RESIDENCE BLOCK: Section: FORREST |
| STRUCTURAL ROOF PLAN | |
| scale 1:100 | 15 Dec 1998 |
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| 9718 | BUILDING APPLICATION drawing no. 11 |

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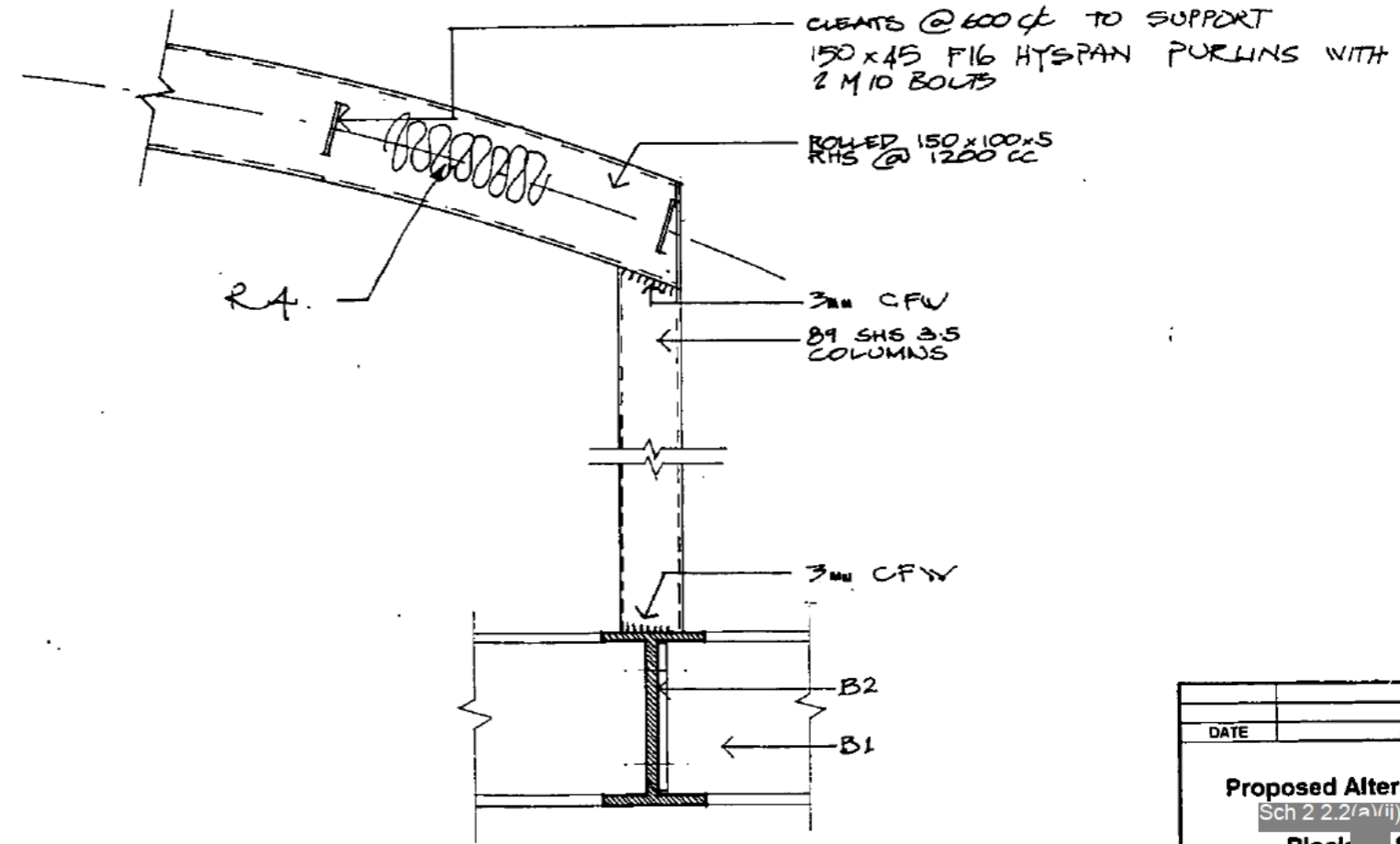
11 JAN 1999



① DETAIL SECTION 1:50



② DETAIL 1:10



③ DETAIL 1:10

FOR NOTES REFER DWG 11.

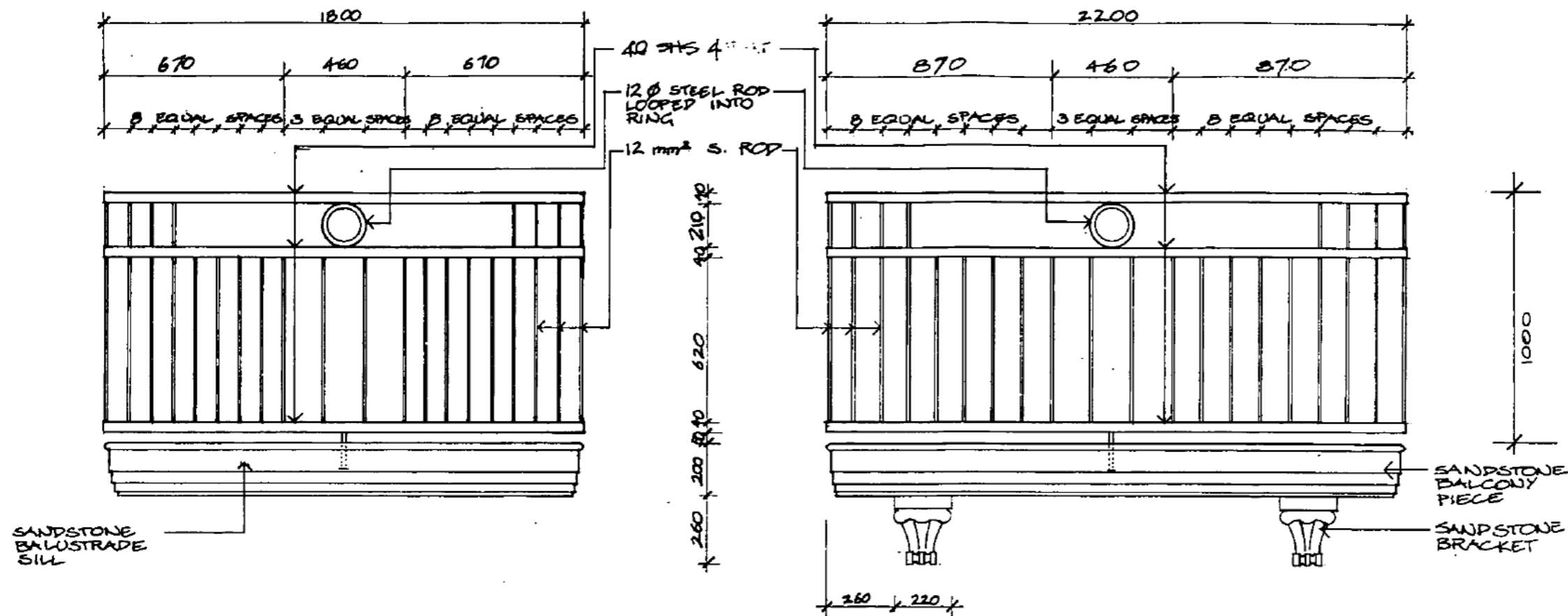
PLANS/FILE No. SES.13/A
 Received ACT Building Control
 21 DEC 1998
 ACT GOVERNMENT

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|---|---|
| | Proposed Alteration + Addition Sch 2 2.2(a)(ii) RESIDENCE Block Section: FORREST |
| SELECTED DETAILS FAMILY ROOM ROOF | |
| scale 1:100 | 15 Dec 1998 |
| ROSS FELLER ARCHITECT 63 EUREE ST REID ACT 2612 fx (02) 6248 0921 ph (02) 6248 0775 | |
| 9718 | BUILDING APPLICATION drawing no. 12 |



1 DETAIL ELEVATION 1:20
NORTH ELEVATION BALUSTRADE

2 DETAIL ELEVATION 1:20
SOUTH ELEVATION BALCONY

PLANS/FILE No. 986583/A
Received ACT Building Control
21 DEC 1998
ACT GOVERNMENT

Structural cert of 18.12.99

CIVIL & STRUCTURAL ENGINEER
JOHN SKURR
BE CIVIL (IONS) MIZ AUST. NPER.3
7 Eleanora Street, FISHER, 2611
TEL / FAX 02 62880163

DESIGN & SITING
OFFICE
11 JAN 1999

| DATE | AMENDMENTS |
|---|---|
| | Proposed Alteration + Addition Sch 2 2.2(a)(iii) RESIDENCE Block: Section: FORREST |
| SELECTED DETAILS BALCONY METALWORK | |
| scale 1:100 | 15 Dec 1998 |
| ROSS FELLER ARCHITECT 63 EUREE ST REID ACT 2612 fx (02) 6248 0921 ph (02) 6248 0775 | |
| 9718 | BUILDING APPLICATION drawing no. |
| | 13 |

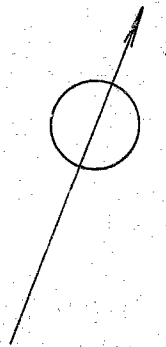
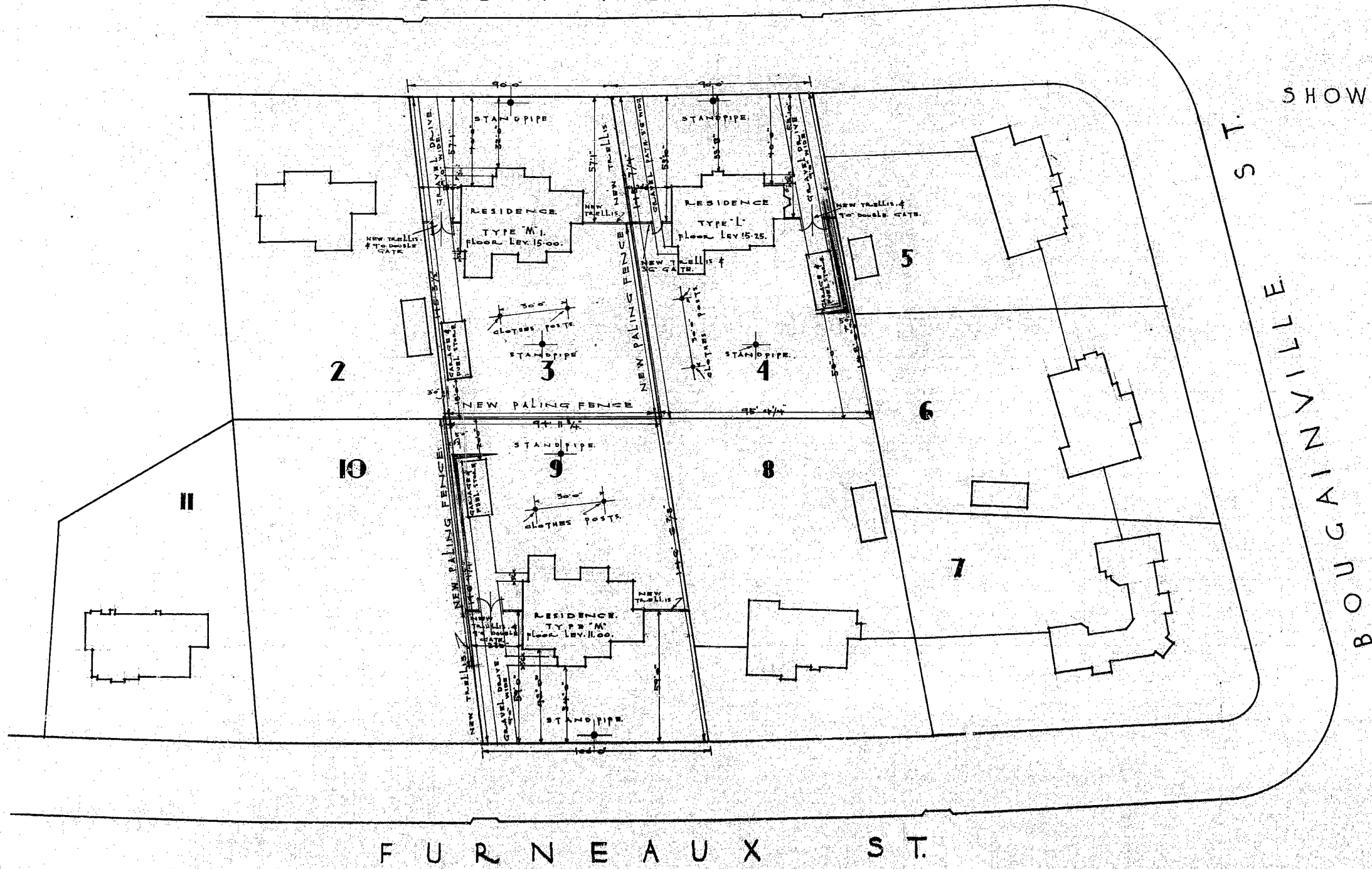
D U C A N E S T.

BLOCK PLAN
PART OF SEC 23.
SHOWING RESIDENCES ON
LOTS 3 4 & 9;
FORREST.

SCALE 40 FEET EQUALS 1 INCH

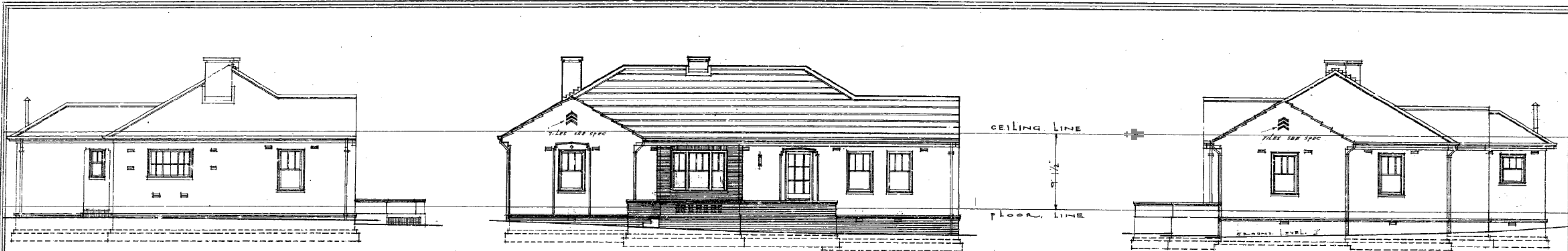


S. Henderson ASR
Principal Desg. Architect
SHEET NO. 9.2.1934 REG. NO. 4772.



F U R N E A U X S T.

MICRO-FICHE
1/11 2.2.34
63/3

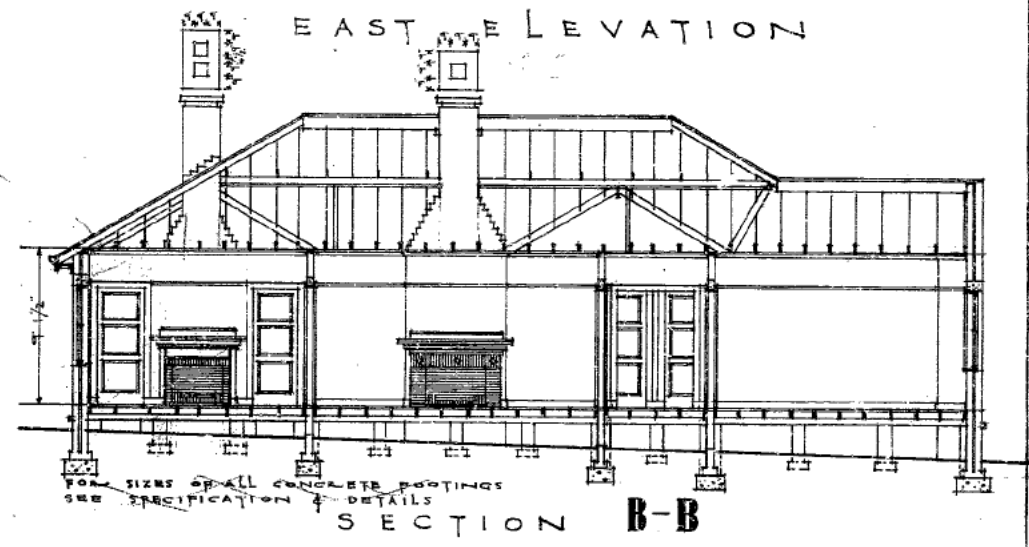


WEST ELEVATION

SOUTH ELEVATION

EAST ELEVATION

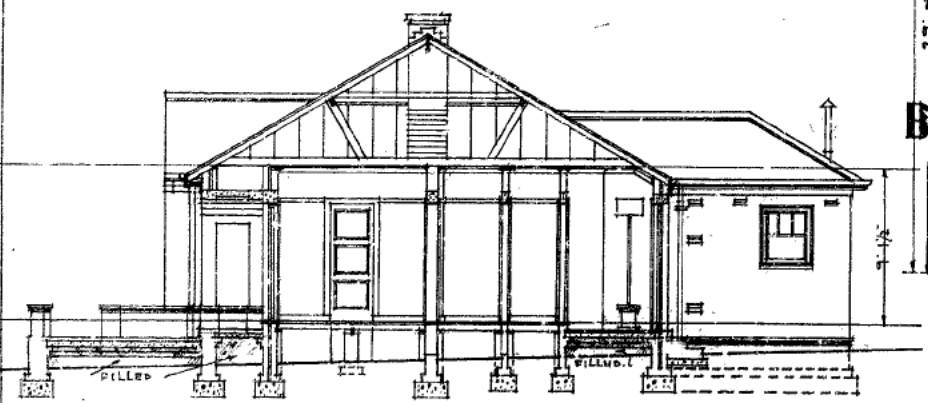
Sch 2 2.2(a)(ii)



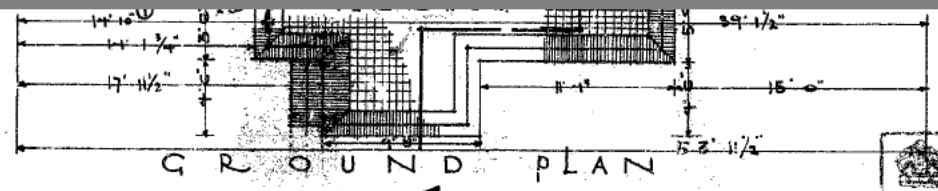
SECTION B-B

NOTE:
FIGURES IN CIRCLES &
LETTERS AT DOOR OPENINGS
DENOTE WINDOW & DOOR
TYPES RESPECTIVELY.
SEE ALSO SCHEDULES.

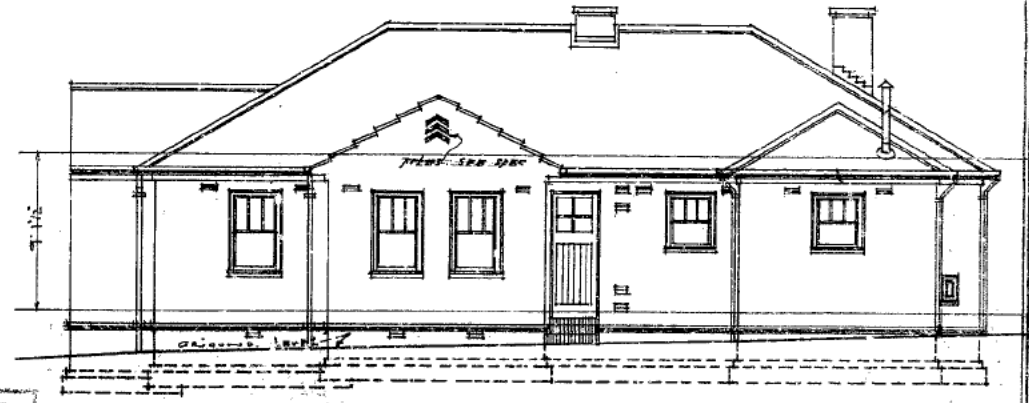
NOTE:
TERRA COTTA VENTS IN
FOUNDATIONS & TO W.C.
& PANTRY 9'x6"
REMAINDER 9'x3"
FOR THOSE ON INTERNAL
WALLS SEE HALF INCH DETAILS.



SECTION A-A



GROUND PLAN

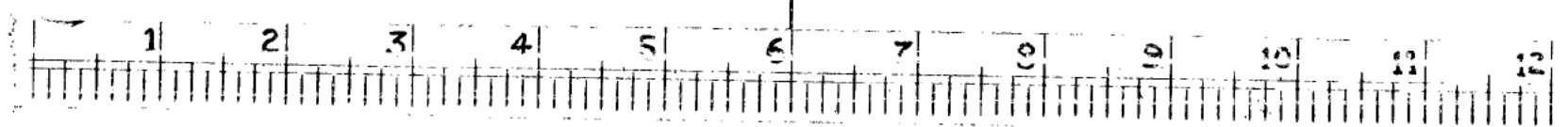


NORTH ELEVATION

COMMONWEALTH
OF AUSTRALIA
DEPT. OF THE INTERIOR
WORKS & MATERIALS BRANCH
CANBERRA

E. Henderson (ASR)
Principal Design Architect
Street No. 476
Date 2.2.1934

RESIDENCE TYPE "M."
LOT SEC
FORREST.
EIGHTH INCH SCALE



3 1/4 633

DEPARTMENT OF THE INTERIOR.

WORKS AND SERVICES BRANCH.

Detail Plan No. 486

Drainage Plan No. 644

PLAN OF DRAINAGE

FOR

M. Owner's The Commonwealth of Australia

DISTRICT Forrest Blocks 3, 4, 9 Section 23.

REFERENCE:

| | | |
|---------------------------------|-----------------------------------|---------------------------------|
| B.T. Boundary Trap. | S.T. Silt Trap. | E.V. Educt Vent. |
| G.T. Gully Trap. | C.I.P. Cast Iron Pipe. | I.V. Induct Vent. |
| D.T. Disconnecter Trap. | G.W.I.P. Galv. Wrought Iron Pipe. | S.I.V.P. Soil Induct Vent Pipe. |
| G.D.T. Gully Disconnecter Trap. | S.P.D. Stoneware Pipe Drain. | S.V.P. Soil Vent Pipe. |
| G.I.T. Grease Interceptor Trap. | I.C. Inspection Chamber. | V.P. Ventilating Pipe. |
| S.V. Stop Valve. | I.O. Inspection Opening. | T.I.T. Triple Interceptor Trap. |

Scale—40 feet to 1 inch.

(See Regulations.)

List of Fittings.

1, 2, 3 Closets. Internal

4, 5, 6 Baths

7, 8, 9 Lav. Basins

10, 11, 12 K. Sinks

13, 14, 15 Troughs

G. Tops to be enclosed in brick work, cement rendered & top & cement apron provided to each.

Storage Tanks for closet cisterns to be provided when ever ordered by the Engineer for Water.

Supply & Sewerage.

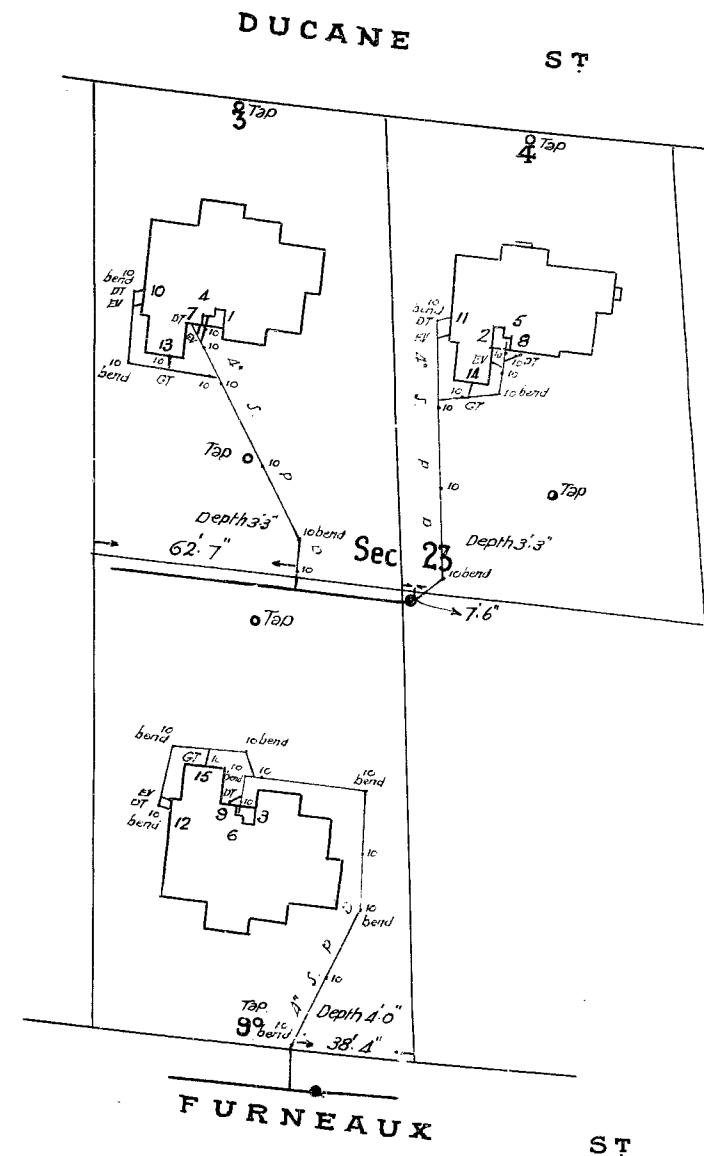
6" Tube Vents to be carried up through ceilings of lobby's outside closet apartments finishing with cowls.

Pipes under buildings to be surrounded with 6" of cement concrete & walls arched over drains.

Position of reticulation branches to be determined by measurements shown.

Drains to be laid shown in blue lines

Designed by
J. Lot
15. 2. 34



Examined, *A.C. Fleckner*
Engineer, *RF*
Canberra, 16. 2. 19. 34

Detail Plan No. 486

Drainage Plan No. 611

PLAN OF DRAINAGE (Storm Water)

FOR

Owners The Commonwealth of Australia

DISTRICT: Forrest Blocks 3, 4, 9 Section 23.

REFERENCE:

- | | | |
|---------------------------------|-----------------------------------|---------------------------------|
| B.T. Boundary Trap. | S.T. Silt Trap. | E.V. Educt Vent. |
| G.T. Gully Trap. | C.I.P. Cast Iron Pipe. | I.V. Induct Vent. |
| D.T. Disconnecter Trap. | C.W.I.P. Galv. Wrought Iron Pipe. | S.I.V.P. Soil Induct Vent Pipe. |
| G.D.T. Gully Disconnecter Trap. | S.P.D. Stoneware Pipe Drain. | S.V.P. Soil Vent Pipe. |
| G.I.T. Grease Interceptor Trap. | I.C. Inspection Chamber. | V.P. Ventilating Pipe. |
| S.V. Stop Valve. | I.O. Inspection Opening. | T.I.T. Triple Interceptor Trap. |

Scale—40 feet to 1 inch.

(See Regulations.)

Notes

Drains to be laid as shown in brown lines

at the best grade obtainable.

A minimum cover of 9" to be provided over top

of pipes at upper ends.

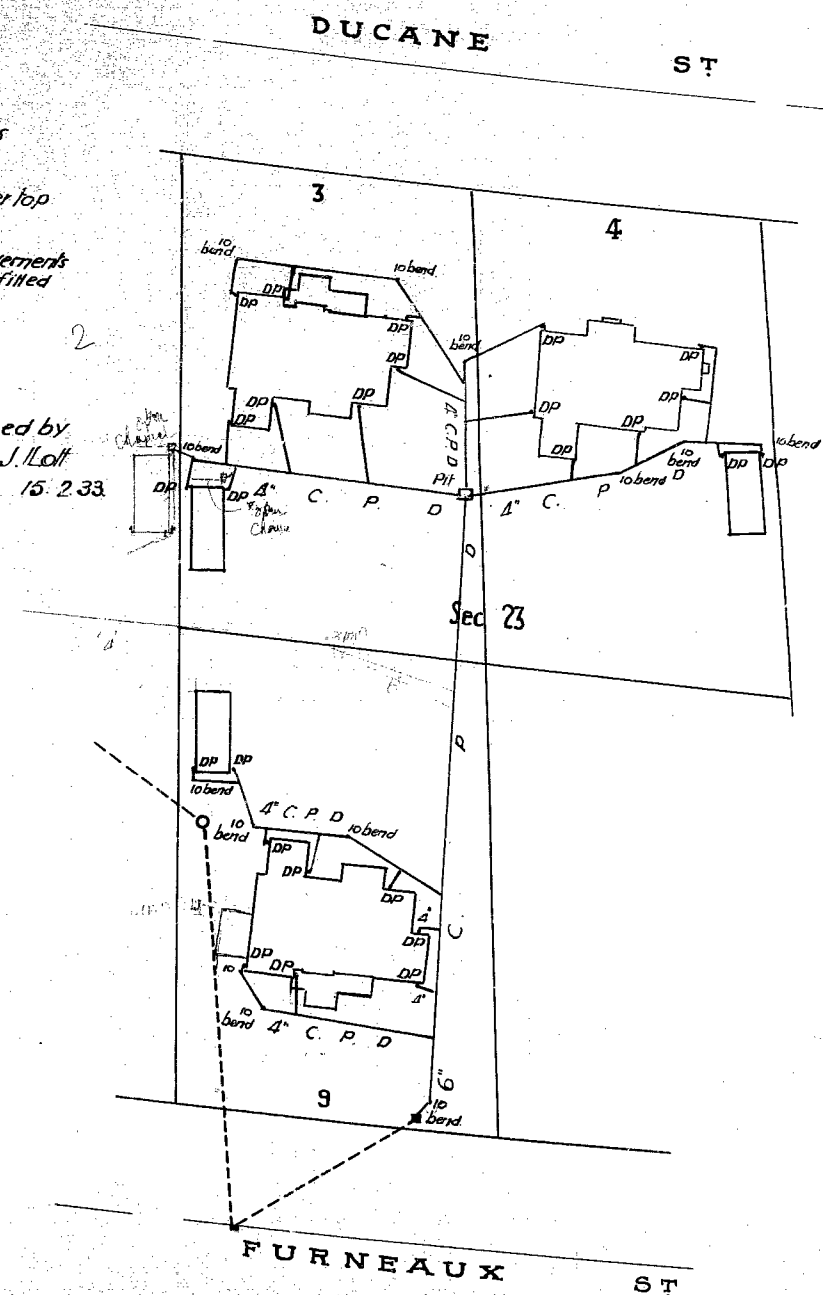
Pit where shown to be 2'x2' internal measurements

built in 9" brick work, cement rendered & filled

with re-inforced concrete cover 2" thick.

For further particulars see specification.

Designed by
J. Holt
15.2.33

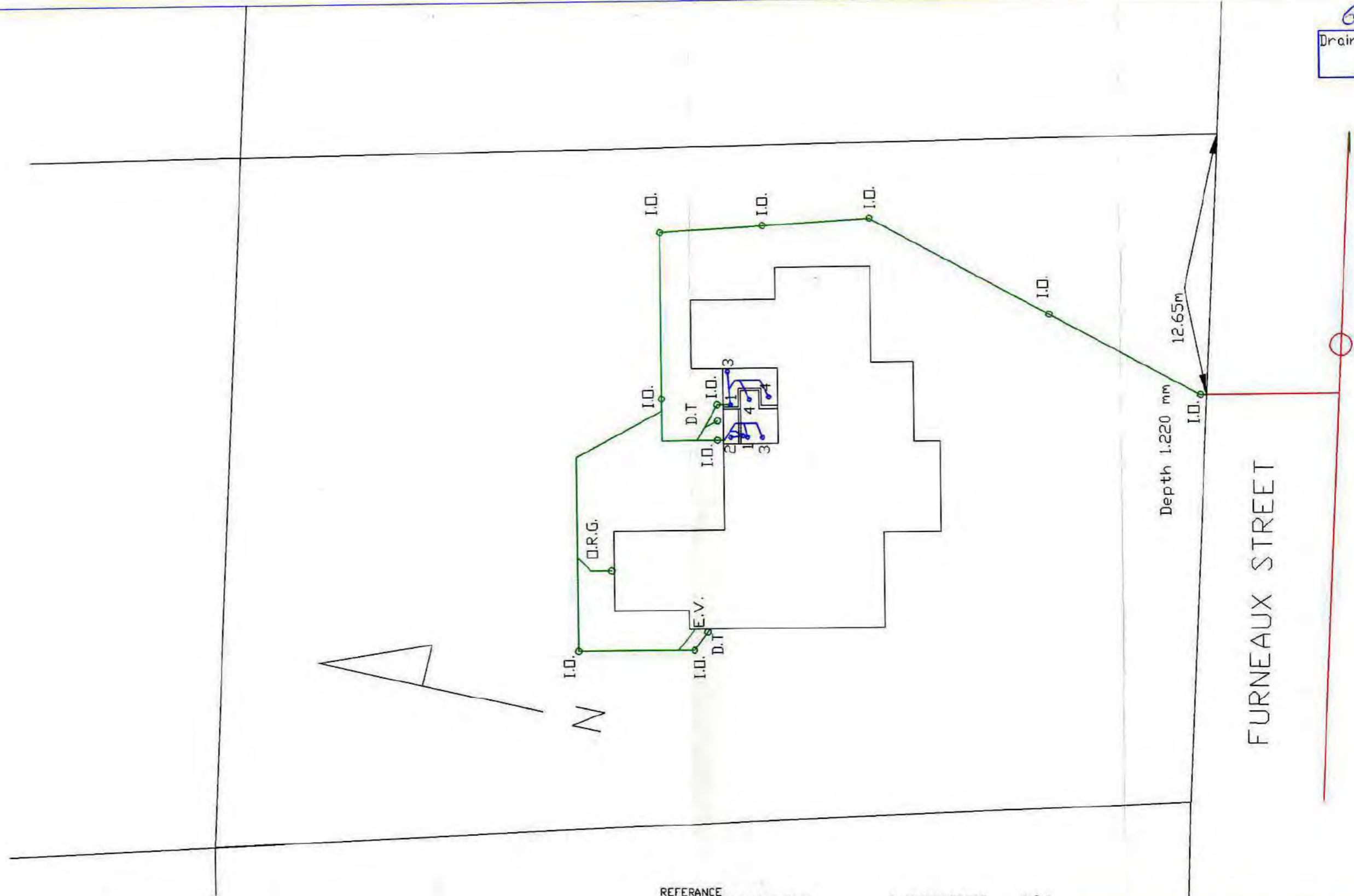


Examined,

A.C. Fleetwood
Engineer.

16.2.33

644 A
 Drainage plan No. ~~644~~



- NOTES:
1. Drains to be laid shown in blue lines
 2. Existing drains shown in green lines
 3. Existing drains 'X' in RED to be abolished to approval
 4. Drains to be supported on or from solid ground
 5. Copper pipes to be in accordance with AS 1432, Table 2 Type B
 6. UP.V.C. drains including stacks to be constructed as per AS 2032
 7. Drains under building must be retested. IF drain fails, must be replaced
 8. Connection to ACTEW mains by ACTEW at contractors expense
 9. Sewer tie to be located on site before commencing work
 10. This plan to be read in conjunction with approved architectural plans and specifications.
 11. O.R.G. levels to in accordance with AS3500.2 clause 4.6.6.6 & 4.6.6.7.
 12. I.O. at property boundary to be raised to ground level. See plumbing note 3.

REFERENCE

| | | | |
|--------|----------------------------------|---------------------|-------|
| D.T. | Disconnector Trap | 1. Water Closet | (2) |
| E.J. | Expansion Joint | 2. Bath | (1) |
| E.V. | Educt Vent | 3. Basin | (2) |
| F.W. | Floor Waste | 4. Shower | (2) |
| I.C. | Inspection Chamber | 5. Sink | (-) |
| I.O. | Inspection Opening | 6. Trough | (-) |
| J.U. | Jump Up | 7. Urinal | (-) |
| M.H. | Man Hole | 8. Cleaners Sink | (-) |
| O.R.G. | Overflow Relief Gully | 9. Bidet | (-) |
| SVP | Soil Vent Pipe | 11. Dishwasher | (-) |
| UPVC | Unplasticised Polyvinyl Chloride | 12. Washing Machine | (-) |
| VCP | Vitrified Clay Pipe | 13. Glass Washer | (-) |
| V.P. | Vent Pipe | | |

| | | |
|---|---------------------------|------------------|
| Designed by W. Harding | Owner | Sch 2 2.2(a)(ii) |
| Approved by - date | BLOCK | SECTION |
| <i>13-5-200</i> | | FORREST |
| Designed to AS 3500 | PLAN OF SANITARY DRAINAGE | |
| All work must be carried out in accordance with the AS 3500 and local governing Authorities | SCALE 1:200 | |



Building Compliance & Inspection Services

"Erindale Business Park Block D" 2 Lansell Cct Wanniasa

P.O. Box 495, Erindale Centre, ACT, 2903 ABN:48 743 840 305

Tel: (02) 6262 4000 Fax: (02) 6262 4111 Web: www.bcis.com.au

LETTER OF AUTHORITY

This letter of Authority permits BCIS to access and inspect the property below and to obtain the properties building file from Access Canberra to enable the preparation of reports. The vendor agrees to pay all fees and charges incurred from this date in relation to the preparation of the reports. On receipt of this confirmation a Building and Pest inspection agreement will be forwarded in line with current regulations if requested. If not requested BCIS will note your waiver and take it that you accept all our terms and conditions in the agreement. This agreement can also be viewed on our web site.

Inspection Address: [Redacted] FORREST

BLOCK: [Redacted]

SECTION: [Redacted]

SUBURB: Forrest

Vendors Name: [Redacted]

Tel/Mobile: [Redacted]

Email: [Redacted]

Person attending inspection: Kaylene

Tel/Mob: [Redacted]

Agent: [Redacted]

Email: [Redacted]

Solicitor: Priority Legal (CLINTON)

Email: [Redacted]

ACT Pre selling Packages

| | | |
|---|-----------|-------------------------------------|
| * Standard - payment in advance, includes \$200 discount (up to 200m ²) | \$860.00 | <input checked="" type="checkbox"/> |
| * Standard - with no Payment up front Option (up to 200m ²) | \$1060.00 | <input type="checkbox"/> |
| * 24 Hour Urgent - payment In advance, includes \$200 discount (up to 200m ²) | \$1100.00 | <input type="checkbox"/> |
| * 24 Hour Urgent - with no Payment up front Option (up to 200m ²) | \$1300.00 | <input type="checkbox"/> |
| Re-Inspect (paid up front) | \$550.00 | <input type="checkbox"/> |
| Energy Rating Report paid up front (EER) plus Floor plan if required | \$250.00 | <input type="checkbox"/> |
| Pre Purchased Pest Inspection (up to 200m ²) | \$380.00 | <input type="checkbox"/> |
| Pre Purchase Building Inspections (up to 200m ²) | \$440.00 | <input type="checkbox"/> |
| Combined Pre Purchase Building and Pest Inspection (up to 200m ²) | \$550.00 | <input type="checkbox"/> |

* Reports packages include Access Canberra Building File fee, GST and all reports required to sell your home. For houses over 200m² the extra cost is at \$1 / m²

PREFERRED METHOD OF PAYMENT: Cash Debit card Direct deposit

Commonwealth bank: BSB: 062-922

Account No: 1011 8207

Card Type: Visa / MasterCard No: [Redacted]

Exp Date: [Redacted]

Client Signature: [Redacted]

Dated: 1 March 2016

Request type

Select a request type *

Residential conveyancing enquiry

What is the priority of this request? *

Standard

High

Contact details

Applicant details

Title

Sch 2 2.2(a)

Given name *

Sch 2 2.2(a)(ii)

Family name *

Sch 2 2.2(a)(ii)

Email *

Sch 2 2.2(a)(ii)

Phone *

Sch 2 2.2(a)(ii)

Property information

Suburb/District *

FORREST

Section *

Block *

Unit

If you require help with suburb/district, section or block details, visit ACTMAPi.

Lessee *

Sch 2 2.2(a)(ii)

Applicant's reference

Address line 1 *

25 Furneaux Street

Address line 2

Suburb *

FORREST

State

ACT

Postcode

2603

Additional information

Is the property an ex Government residence? *

Yes

No

Unknown

If the residence is a former Government residence without alterations or additions, the building plans may not be available.

Do you want to include a Sanitary Drainage Plan (additional fees apply)? *

Yes

No

Applicant declaration

As the applicant lodging this request, you are declaring: *

- I am the lessee/owner.
- I have authorisation from the lessee/owner.
- I am the solicitor acting on behalf of the lessee/owner.
- I am/act for a mortgagee in possession.
- I have authorisation from the solicitor representing the lessee/owner.
- I have authorisation from the Trustee of the deceased estate.
- I have authorisation for power of attorney from the lessee/owner.

Please Note:

1. Documentation confirming that you have the lessee/owner's permission is required in all instances. You will be prompted to attach an electronic copy of the documentation in the next step.
2. The applicant must comply with one of the above declarations to protect any personal information relating to the lessee/owner of this lease under the provisions of the Information Privacy Act 2014.
3. Section 59A of the *ACT Building Act 1972* provides severe penalties for false or misleading statements.

Payment

Payment total

\$112.00

Please be aware that all completed packages will be sent to the email address provided by the applicant.

Building Conveyancing Enquiries and Energy Rating Package Application - Receipt

Your payment has been successful. Please keep a copy of this receipt for your records.

Date and time

03 Mar 2016 1:23:00 PM

Form submission ID

34003920160303130070

Payment receipt number

1687862186

Tracking code

JGGYT5

Total amount paid

\$112.00

To save a copy of the completed form and receipt, from the File menu select "Save a copy". To print a copy use the Print icon.

Access Canberra
ABN 68 367 113 536

GPO Box 1908
Canberra ACT 2601

Phone: (02) 6207 1923

FirstRate Report



YOUR HOUSE ENERGY RATING IS:
in Climate: 24

0 STARS
SCORE: -114 POINTS

Name: Sch 2 2.2(a)(ii)

Ref No: 201635

House Title: Block Section Forrest

Date: 09-03-2016

Address:

Forrest

2603

Reference: E:\BCIS_MAIN\DT ENT

This rating only applies to the floor plan, construction details, orientation and climate as submitted and included in the attached Rating Summary. Changes to any of these could affect the rating.

Appliance Ratings

Heating: Unknown Heater / Unknown Rating

Cooling: Unknown Cooling / Unknown Rating

HotWater: Unknown Hot Water System / Unknown Rating

NOTE: The appliance ratings above are based on information provided by the applicant and are included for information purposes only. They do not affect the House Energy Rating of the dwelling.

IMPROVING YOUR RATING

The table below shows the current rating of your house and its potential for improvement.

| Star Rating | POOR | | | AVERAGE | | | | GOOD | | | V. GOOD | |
|-------------|--------|-----|-----|---------|------|-------|--------|---------|----------|-----------|---------|----|
| | 0 Star | ★ | ★★ | ★★★ | ★★★★ | ★★★★★ | ★★★★★★ | ★★★★★★★ | ★★★★★★★★ | ★★★★★★★★★ | | |
| Point Score | -71 | -70 | -46 | -45 | -26 | -25 | -11 | -10 | 4 | 5 | 16 | 17 |

| | | |
|-----------|------|----------------------|
| Current | -114 | <input type="text"/> |
| Potential | -12 | <input type="text"/> |

Incorporating these design options will add the additional points required to achieve the potential rating shown in the table. Each point represents about a 1% change in energy efficiency. This list is only a guide to the range of options that could be used.

Design options

Additional points

| | | |
|--------------------------------|-------|----|
| Change ceiling insulation | R 3.5 | 21 |
| Change added floor insulation | R 1.5 | 9 |
| Change glass to Double Glazing | 100 % | 5 |
| Seal Chimney | | 58 |
| Seal Wall Vents | | 2 |
| Seal External Doors | | 2 |
| Seal Windows | | 1 |
| Seal Exhaust fans | | 2 |
| Seal Internal Doors | | 1 |

ORIENTATION

Orientation is one of the key factors which influences energy efficiency. This dwelling will achieve different scores and star ratings for different orientations.

| | | |
|-----------------------|-------------|-----------------|
| Current Rating | -112 | No Stars |
|-----------------------|-------------|-----------------|

Largest windows in the dwelling;

Direction : SSE

Area : 6 m²

The table below shows the total score for the dwelling when these windows face the direction indicated.

Note that obstructions overshadowing windows have been removed from all windows in these ratings to allow better comparisons to be made between orientations.

| ORIENTATION | POINT SCORE | STAR RATING |
|----------------------|--------------------|--------------------|
| 1. South East | -114 | No Stars |
| 2. South | -113 | No Stars |
| 3. South West | -114 | No Stars |
| 4. West | -113 | No Stars |
| 5. North West | -111 | No Stars |
| 6. North | -108 | No Stars |
| 7. North East | -111 | No Stars |
| 8. East | -111 | No Stars |

| |
|----------------|
| FirstRate Mode |
| Climate: 24 |

RATING SUMMARY for: Block Section Forrest, Forrest

Assessor's Name: Damian Tutty
 Net Conditioned Floor Area: 114.3 m²

| Feature | | Points | | | | |
|---|------|----------------------|--------------|-------------|-------------|-------|
| | | Winter | Summer | Total | | |
| CEILING | | -15 | -3 | -18 | | |
| Surface Area: | 0 | Insulation: | -18 | | | |
| WALL | | -41 | 4 | -37 | | |
| Surface Area: | -30 | Insulation: | -23 | Mass: 16 | | |
| FLOOR | | -1 | -1 | -1 | | |
| Surface Area: | 0 | Insulation: | -1 | Mass: 0 | | |
| AIR LEAKAGE (Percentage of score shown for each element) | | -64 | -1 | -65 | | |
| Fire Place | 77 % | Vented Skylights | 0 % | | | |
| Fixed Vents | 2 % | Windows | 6 % | | | |
| Exhaust Fans | 6 % | Doors | 5 % | | | |
| Down Lights | 0 % | Gaps (around frames) | 3 % | | | |
| DESIGN FEATURES | | 0 | 0 | 0 | | |
| Cross Ventilation | 0 | | | | | |
| ROOF GLAZING | | 0 | 0 | 0 | | |
| Winter Gain | 0 | Winter Loss | 0 | | | |
| WINDOWS | | 2 | -5 | -3 | | |
| Window Direction | Area | | Point Scores | | | |
| | m2 | %NCFA | Winter* Loss | Winter Gain | Summer Gain | Total |
| ENE | 3 | 2% | -3 | 6 | -1 | 0 |
| SSE | 6 | 6% | -9 | 5 | -2 | 0 |
| WSW | 3 | 3% | -6 | 4 | -1 | 0 |
| NNW | 5 | 4% | -5 | 11 | -2 | 0 |
| Total | 17 | 15% | -23 | 26 | -5 | -3 |

* Air movement over glazing can significantly increase winter heat losses. SEAV recommends heating/cooling duct outlets be positioned to avoid air movement across glass or use deflectors to direct air away from glass.

The contribution of heavyweight materials to the window score is 5 points

| | | Winter | Summer | Total |
|---------------|-----------------|-------------------|-----------|--------------|
| RATING | No Stars | SCORE -117 | -6 | -112* |

* includes 12 points from Area Adjustment

Detailed House Data

House Details

ClientName Sch 2 2.2(a)(ii)
 HouseTitle Block Section Forrest
 StreetAddress
 Suburb Forrest
 Postcode 2603
 MailSuburb Mitchell
 MailPostCode 2911
 AssessorName Damian Tutty
 FileCreated 09-03-2016

Climate Details

State
 Town Canberra
 Postcode 2600
 Zone 24

Floor Details

| ID | Construction | Sub Floor | Upper | Shared | Foil | Carpet | Ins RValue | Area |
|----|--------------|-----------|-------|--------|------|--------|------------|---------------------|
| 1 | Timber | Enclosed | No | No | No | Carp | R0.0 | 113.3m ² |
| 2 | Timber | Enclosed | No | No | No | No | R0.0 | 14.9m ² |

Wall Details

| ID | Construction | Shared | Ins RValue | Length | Height |
|----|--------------|--------|------------|--------|--------|
| 1 | Brick Cavity | No | R0.0 | 51.4m | 2.7m |

Ceiling Details

| ID | Construction | Shared | Foil | Ins RValue | Area |
|----|------------------|--------|------|------------|---------------------|
| 1 | Attic - Standard | No | No | R1.0 | 128.2m ² |

Window Details

| ID | Dir | Height | Width | Utility | Glass | Frame | Curtain | Blind | Fixed & Adj Eave | Fixed Eave | Head to Eave |
|----|-----|--------|-------|---------|-------|-------|---------|-------|------------------|------------|--------------|
| 1 | NNW | 1.0m | 0.9m | Yes | SG | TIMB | NC | No | 0.0m | 0.0m | 0.3m |
| 2 | NNW | 1.4m | 0.9m | No | SG | TIMB | HP | No | 0.0m | 0.0m | 1.4m |
| 3 | NNW | 1.4m | 0.9m | No | SG | TIMB | HP | No | 0.0m | 0.0m | 1.4m |
| 4 | NNW | 1.4m | 0.9m | No | SG | TIMB | HP | No | 0.3m | 0.3m | 0.3m |
| 5 | ENE | 1.4m | 0.9m | No | SG | TIMB | HP | No | 0.3m | 0.3m | 0.3m |
| 6 | ENE | 1.4m | 0.9m | No | SG | TIMB | HP | No | 0.0m | 0.0m | 1.9m |
| 7 | SSE | 1.4m | 0.9m | No | SG | TIMB | HP | No | 0.3m | 0.3m | 0.3m |
| 8 | SSE | 1.4m | 0.9m | No | SG | TIMB | HP | No | 0.3m | 0.3m | 0.3m |
| 9 | SSE | 1.4m | 1.9m | No | SG | TIMB | HD | No | 0.0m | 0.0m | 0.3m |
| 10 | SSE | 1.4m | 0.9m | No | SG | TIMB | HD | No | 0.0m | 0.0m | 1.9m |
| 11 | WSW | 1.4m | 0.9m | No | SG | TIMB | HD | No | 0.3m | 0.3m | 0.3m |
| 12 | WSW | 1.0m | 1.6m | No | SG | TIMB | NC | No | 0.3m | 0.3m | 0.3m |
| 13 | WSW | 1.0m | 0.6m | No | SG | TIMB | NC | No | 1.8m | 1.8m | 0.0m |

Window Shading Details

| ID | Dir | Height | Width | Obst Height | Obst Dist | Obst Width | Obst Offset | LShape Left Fin | LShape Left Off | LShape Right Fin | LShape Right Off |
|----|-----|--------|-------|-------------|-----------|------------|-------------|-----------------|-----------------|------------------|------------------|
| 1 | NNW | 1.0m | 0.9m | 0.0m | 0.0m | 0.0m | 0.0m | 3.3m | 0.4m | 1.3m | 2.2m |
| 2 | NNW | 1.4m | 0.9m | 0.0m | 0.0m | 0.0m | 0.0m | 2.0m | 4.1m | 0.0m | 0.0m |
| 3 | NNW | 1.4m | 0.9m | 0.0m | 0.0m | 0.0m | 0.0m | 2.0m | 5.7m | 0.0m | 0.0m |
| 4 | NNW | 1.4m | 0.9m | 0.0m | 0.0m | 0.0m | 0.0m | 1.5m | 0.8m | 0.0m | 0.0m |
| 5 | ENE | 1.4m | 0.9m | 0.0m | 0.0m | 0.0m | 0.0m | 0.0m | 0.0m | 1.5m | 1.1m |
| 13 | WSW | 1.0m | 0.6m | 0.0m | 0.0m | 0.0m | 0.0m | 2.2m | 0.3m | 1.5m | 0.3m |

Zoning Details

Is there Cross Flow Ventilation ? Average

Air Leakage Details

Location Suburban
Is there More than One Storey ? No
Is the Entry open to the Living Area ? No
Area of Heavyweight Mass 248.6m²
Area of Lightweight Mass 0m²

| | <u>Sealed</u> | <u>UnSealed</u> |
|----------------|---------------|-----------------|
| Chimneys | 1 | 1 |
| Vents | 0 | 1 |
| Fans | 2 | 1 |
| Downlights | 0 | 0 |
| Skylights | 0 | 0 |
| Utility Doors | 0 | 2 |
| External Doors | 0 | 3 |

Unflued Gas Heaters 0
Percentage of Windows Sealed 0%
Windows - Average Gap Small
External Doors - Average Gap Small
Gaps & Cracks Sealed Yes



Access Canberra.

APPLICATION FOR COPIES OF PLANS/DOCUMENTS

Our aim is to provide a 4-5 working day turnaround for standard services. Turnaround time starts from the receipt of the form at the Building Services Shopfront and does not include delivery time by mail or DX, weekends or public holidays.

Part 1: Applicant details

| | | | | | |
|----------------|------------------|-----|----------------|-----------|------------------|
| Title: | Mr | Mrs | Miss | Ms | Other: |
| Surname: | Sch 2 2.2(a)(ii) | | | | |
| Address: | Sch 2 2.2(a)(ii) | | | Postcode: | Sch 2 2.2(a)(ii) |
| Home number: | Sch 2 2.2(a)(ii) | | Mobile number: | | |
| Email address: | Sch 2 2.2(a)(ii) | | | | |

Part 2: Site details

| | | | | | |
|-----------------|---------|----------------|--|------------------------|------|
| Block: | | Section: | | *Unit (if applicable): | |
| Suburb: | FORREST | Street number: | | Postcode: | 2603 |
| Street address: | | | | | |

Part 3: Description of service

| | |
|--|---|
| <input type="checkbox"/> Copy of Sanitary Drainage Plan | <input type="checkbox"/> Copy of Building Plan |
| <input checked="" type="checkbox"/> Copy of Certificate of Occupancy and Use (COU) | <input type="checkbox"/> Copy of Survey Certificate |
| Specified documents/ Additional information: | Building Permit |
| Construction Cost | |
| Renovations (if any) | |
| Unit Entitlement (if any) | COU |

Part 4: Access authorisation

I declare that the particulars of this application for search and/or copies of plans/documents are true and correct in every detail and I am the person indicated by a tick in the relevant box below

| | |
|---|--|
| <input type="checkbox"/> I am the owner | <input type="checkbox"/> I am the solicitor acting on behalf of the owner |
| <input checked="" type="checkbox"/> I have authorisation (attached) from the owner | <input type="checkbox"/> I have authorisation (attached) from the Trustee of the Deceased Estate |
| <input type="checkbox"/> I have authorisation for Power of Attorney (attached from the owner) | <input type="checkbox"/> I have authorisation (attached) from the Solicitor representing the owner |
| <input type="checkbox"/> I act for a Mortgagee in possession | |

| | |
|------------------------|--------|
| Applicant's signature: | Date: |
| Sch 2 2.2(a)(ii) | 2/6/16 |

Note: 1. Applicants must comply with one of the above declarations to protect any personal information relating to the lessee/owner of this lease under the provisions of the Information Privacy Act 2014.
 2. Sections 59A of the ACT Building Act 2004 provides the severe penalties for false or misleading statements

OFFICE USE ONLY:

| | | |
|--|-------------------------------|------------------------|
| Trim Number: | Search officer's Initials: JB | Date completed: 3/6/16 |
| Fees: File Search: \$22.00 + B & W photocopies (each) A4 = \$0.40, A3 = \$0.70, larger than A3 = \$18.00 | TOTAL: \$ 24.80 | |

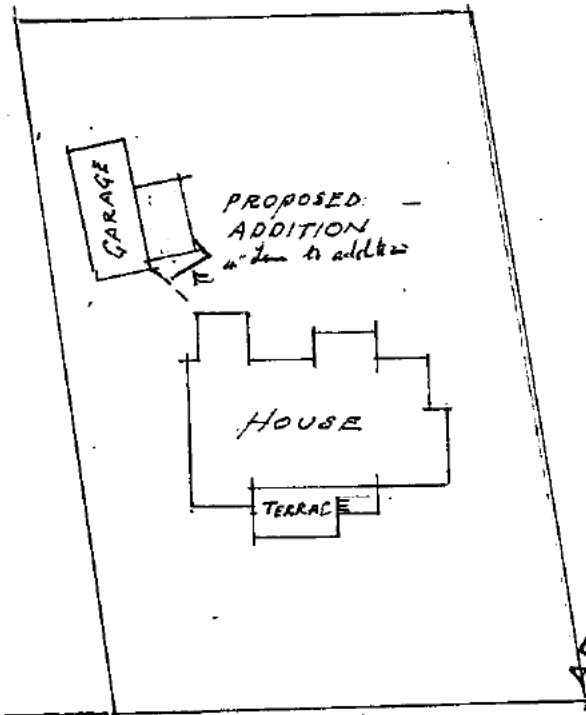
Write: Access Canberra, Building Services Shopfront, GPO Box 158, Canberra ACT 2601
 Email: ESDDBuildingCounter@act.gov.au
 Visit 8 Darling Street Mitchell
 If you have difficulty completing this form, please telephone (02) 6205 5353.



**NO
SURVEY
IN FILE**

A.C.T. LANDS AND SURVEY BRANCH
CANBERRA BUILDING REGULATIONS
PLAN No. 8074

43



[Signature]
APPROVED
PHILIPPER AUTHORITY
UNDER CANBERRA BUILDING REGULATIONS
2 OCT 1963

FURNIFEAUX ST
BLOCK PLAN 40' x 1"
ADDITIONS [REDACTED] FORREST
FOR [REDACTED]

[Signature] 1/10/63

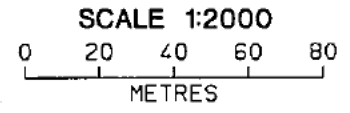


ACTMAP

FORREST
Block XXXX Section XXXX

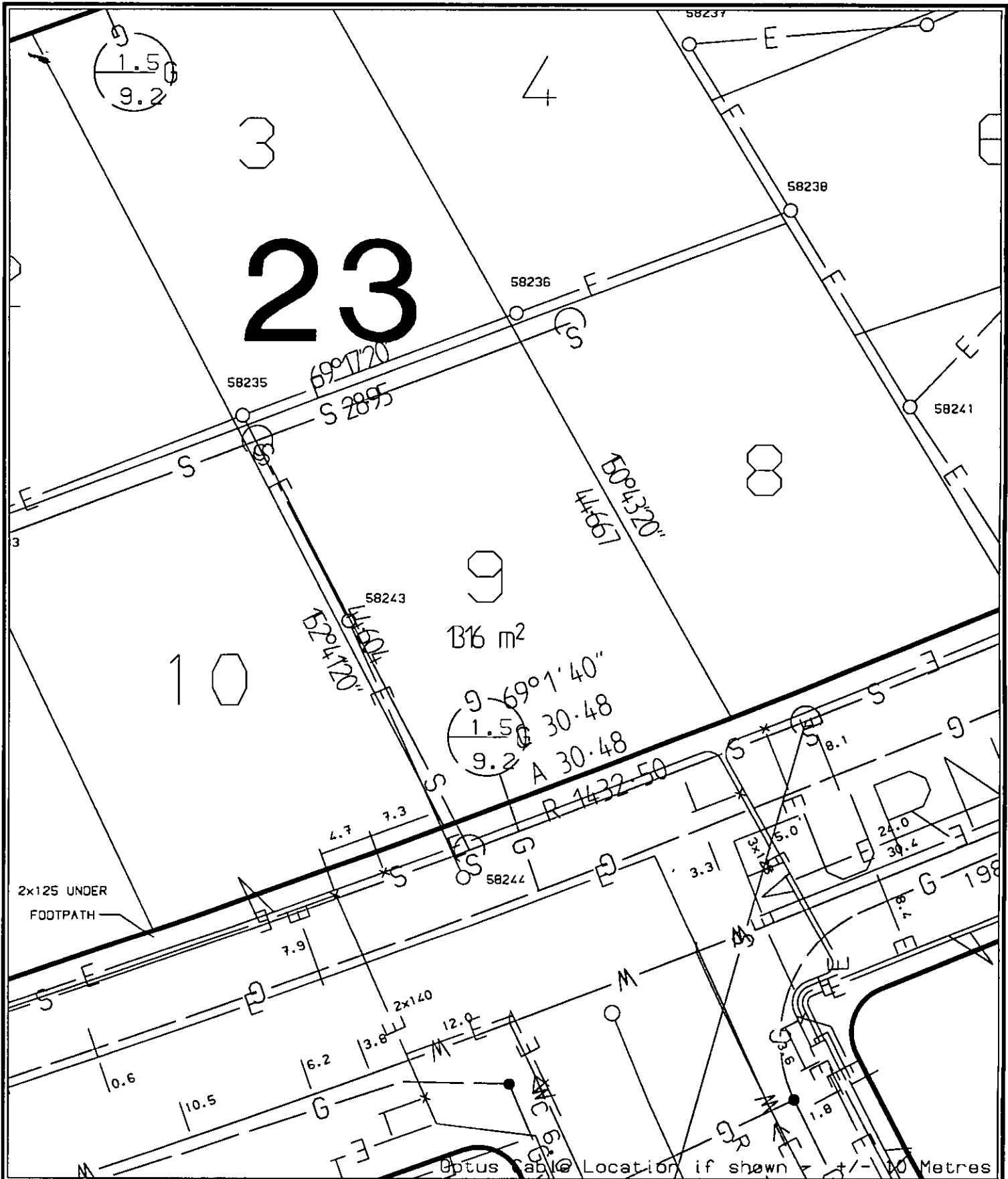
21 January 1999

Building Application
986583



ACT LAND INFORMATION CENTRE
18 CHALLIS STREET
DICKSON ACT 2602



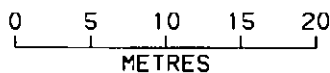


ACT LAND INFORMATION CENTRE
18 CHALLIS STREET
DICKSON ACT 2602

ACTMAP

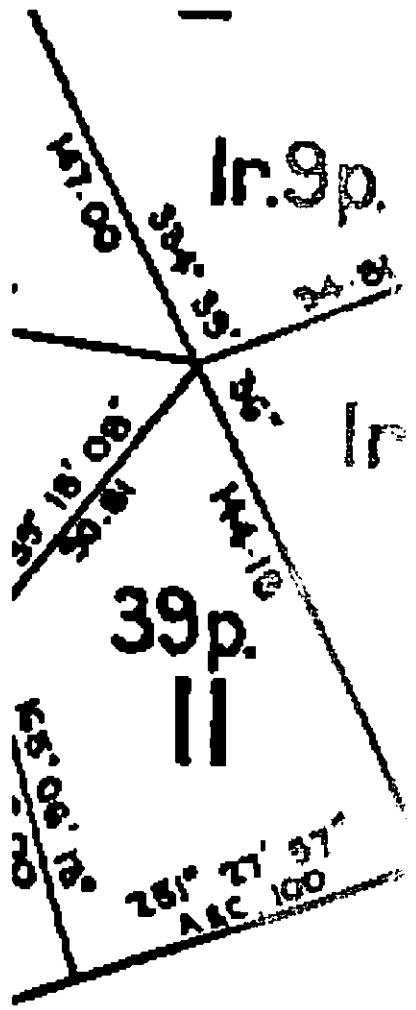


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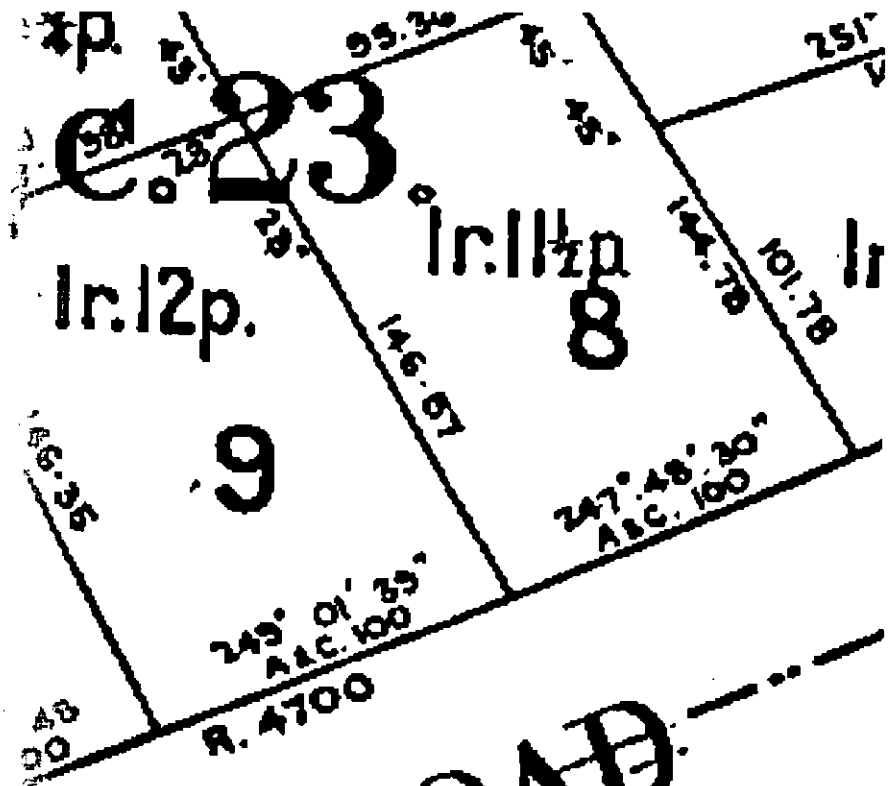
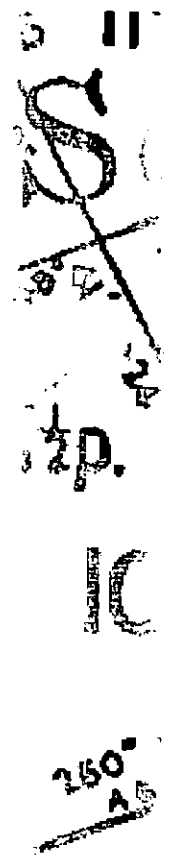


FORREST
Section 23

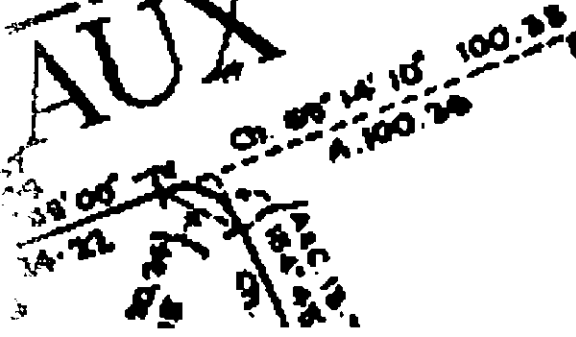
3 March 1999



NDARY
FUT



AUX ROAD

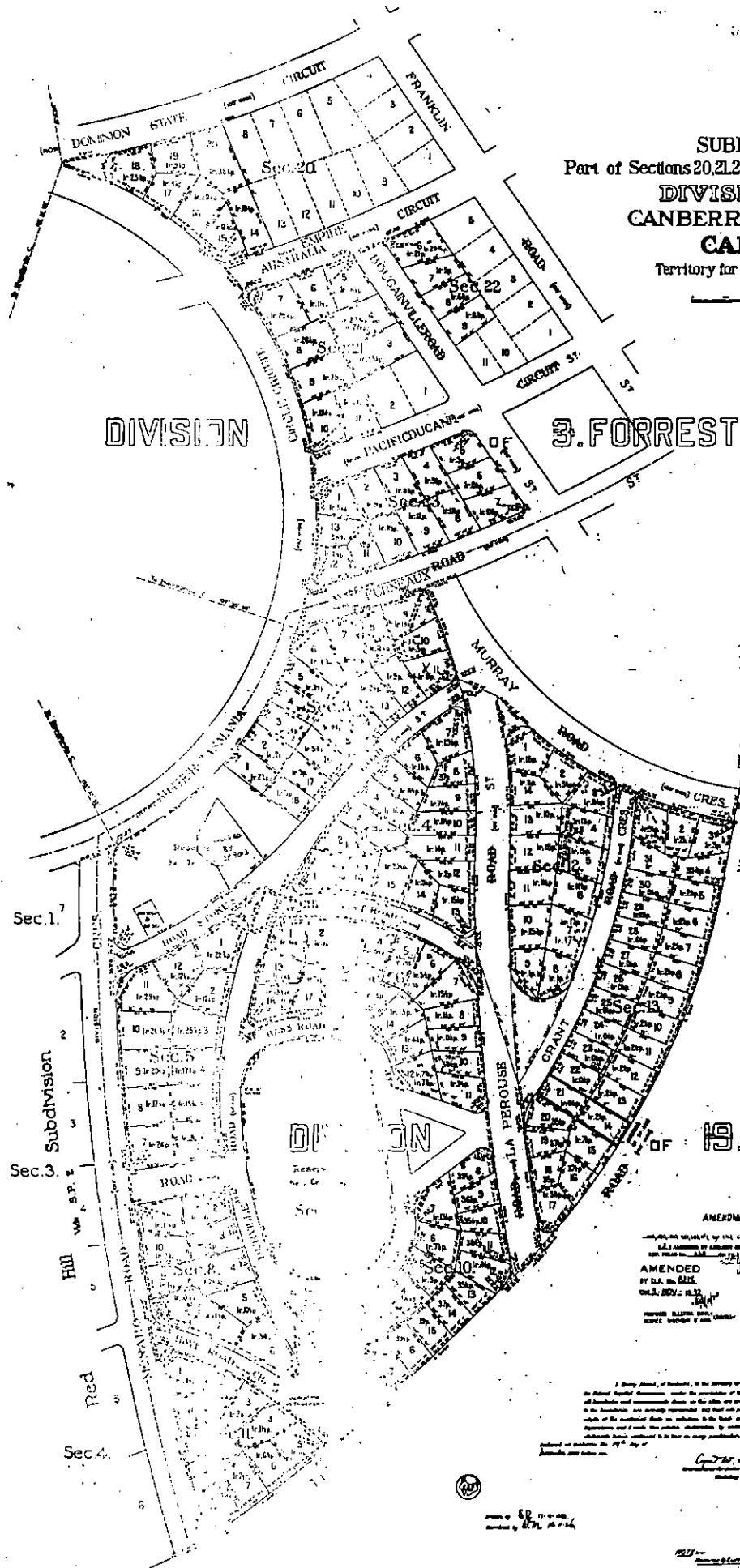




SUBDIVISION OF
Part of Sections 20, 22 and Sections 3 to 6, 8, 10 to 13 & 23
DIVISIONS 3 and 19 GRIFFITH
AND FORREST
CANNERA CITY DISTRICT
CANNERA
Territory for the Seat of Government

AMENDED
BY D.A. No. 74
AMENDED
BY D.A. No. 48

Scale of Feet
0 10 20 30 40 50 60 70 80 90 100



AMENDMENTS

AMENDED BY D.A. No. 74
BY D.A. No. 48
AMENDED BY D.A. No. 74
BY D.A. No. 48

I, the Surveyor-General, in the Territory for the Seat of Government, do hereby certify that the above plan is a true and correct copy of the original plan as deposited in my office, and that the same has been examined and found to be correct in accordance with the provisions of the Act in that behalf relating to the same.

G. W. ...
Surveyor-General

- 1. To amend the plan by the addition of ...
- 2. To amend the plan by the deletion of ...
- 3. To amend the plan by the alteration of ...
- 4. To amend the plan by the addition of ...

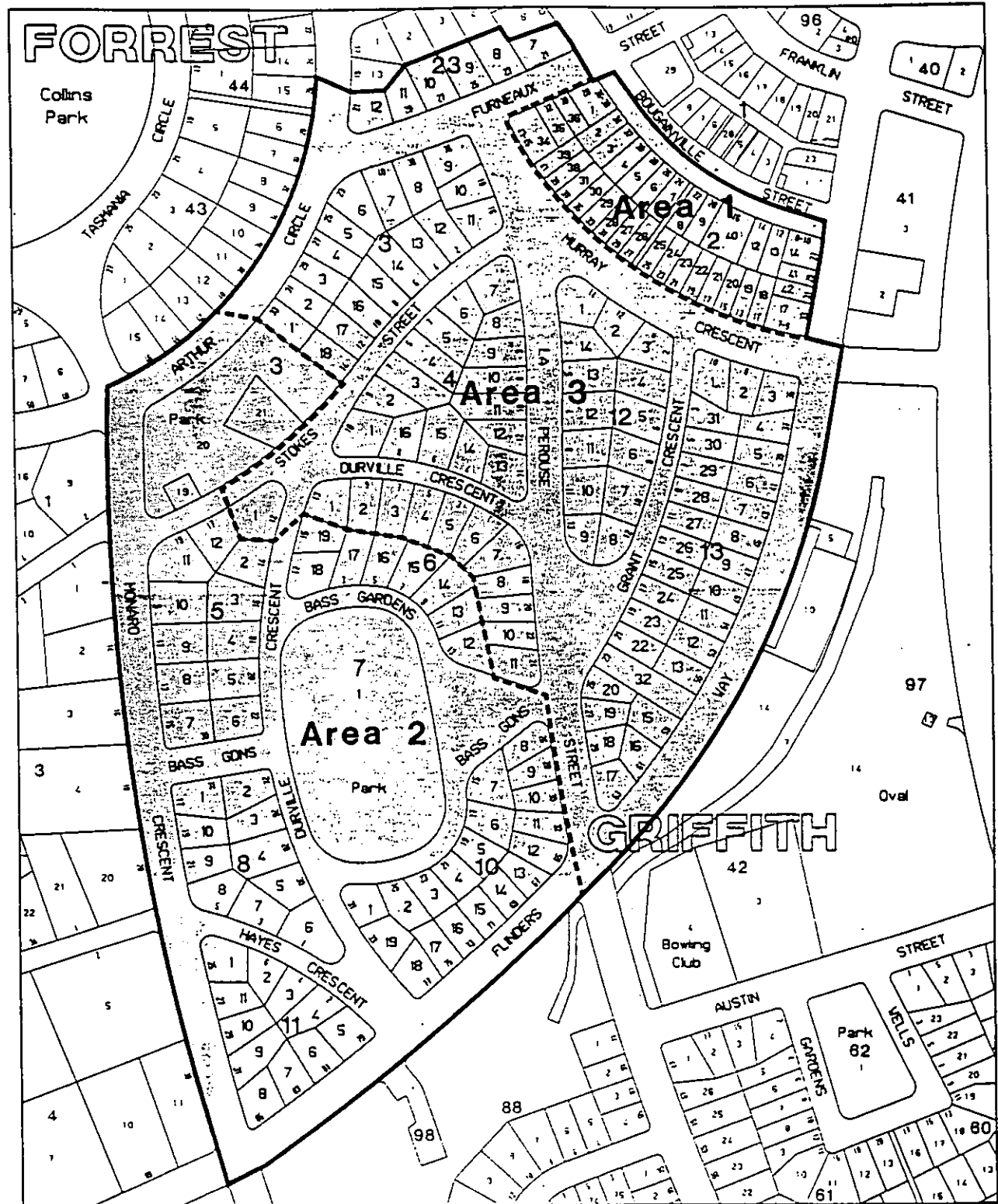


Fig 1 BLANDFORDIA 5



Area to be included in an interim Heritage Places Register

- Area 1: built and landscape elements
- Area 2: landscape elements
- Area 3: built and landscape elements



0 100 200m

YARRALUMLA

CAPITAL HILL

FORREST 50

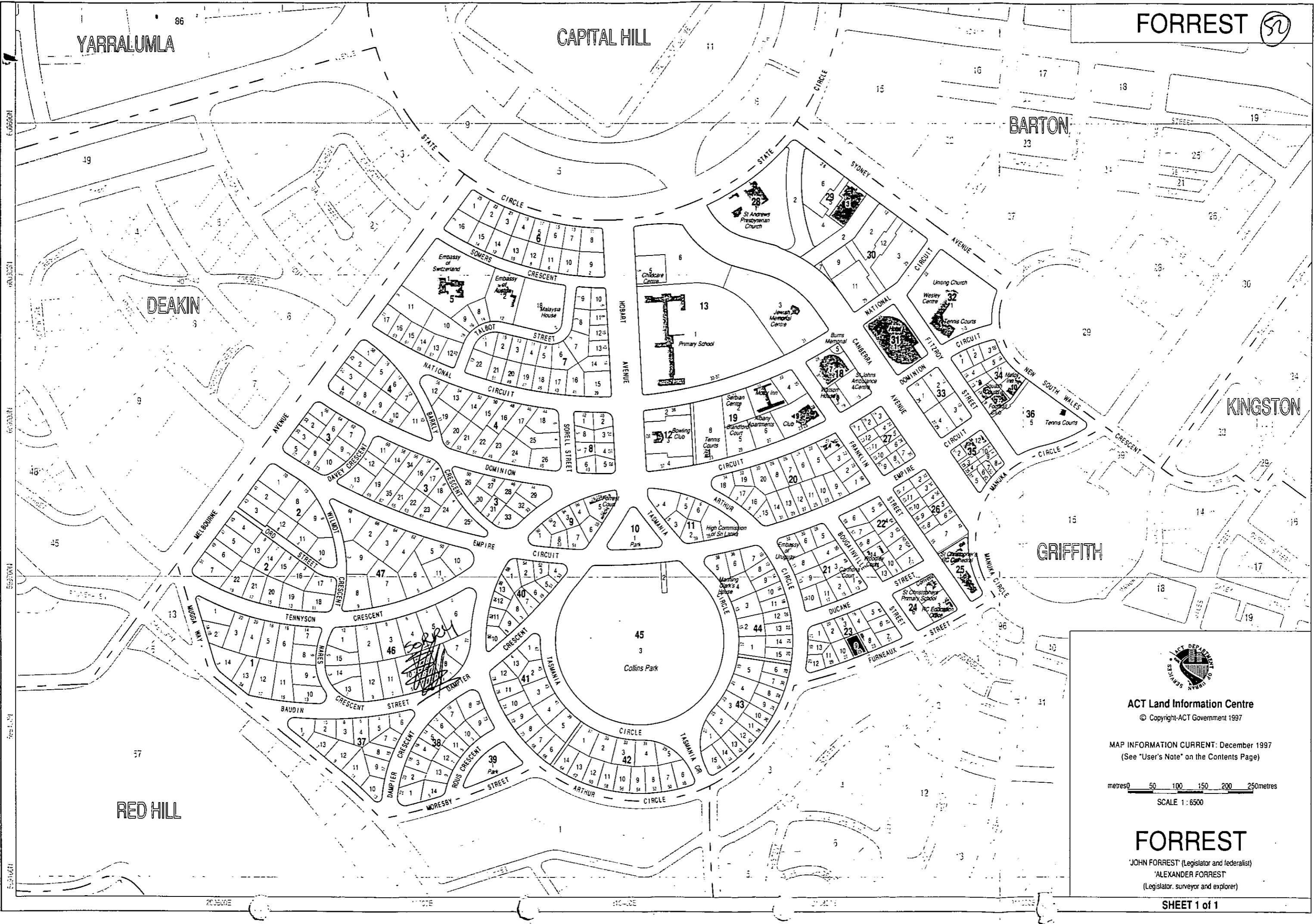
BARTON

DEAKIN

KINGSTON

GRIFFITH

RED HILL



ACT Land Information Centre

© Copyright ACT Government 1997

MAP INFORMATION CURRENT: December 1997
(See "User's Note" on the Contents Page)

metres 0 50 100 150 200 250metres

SCALE 1 : 6500

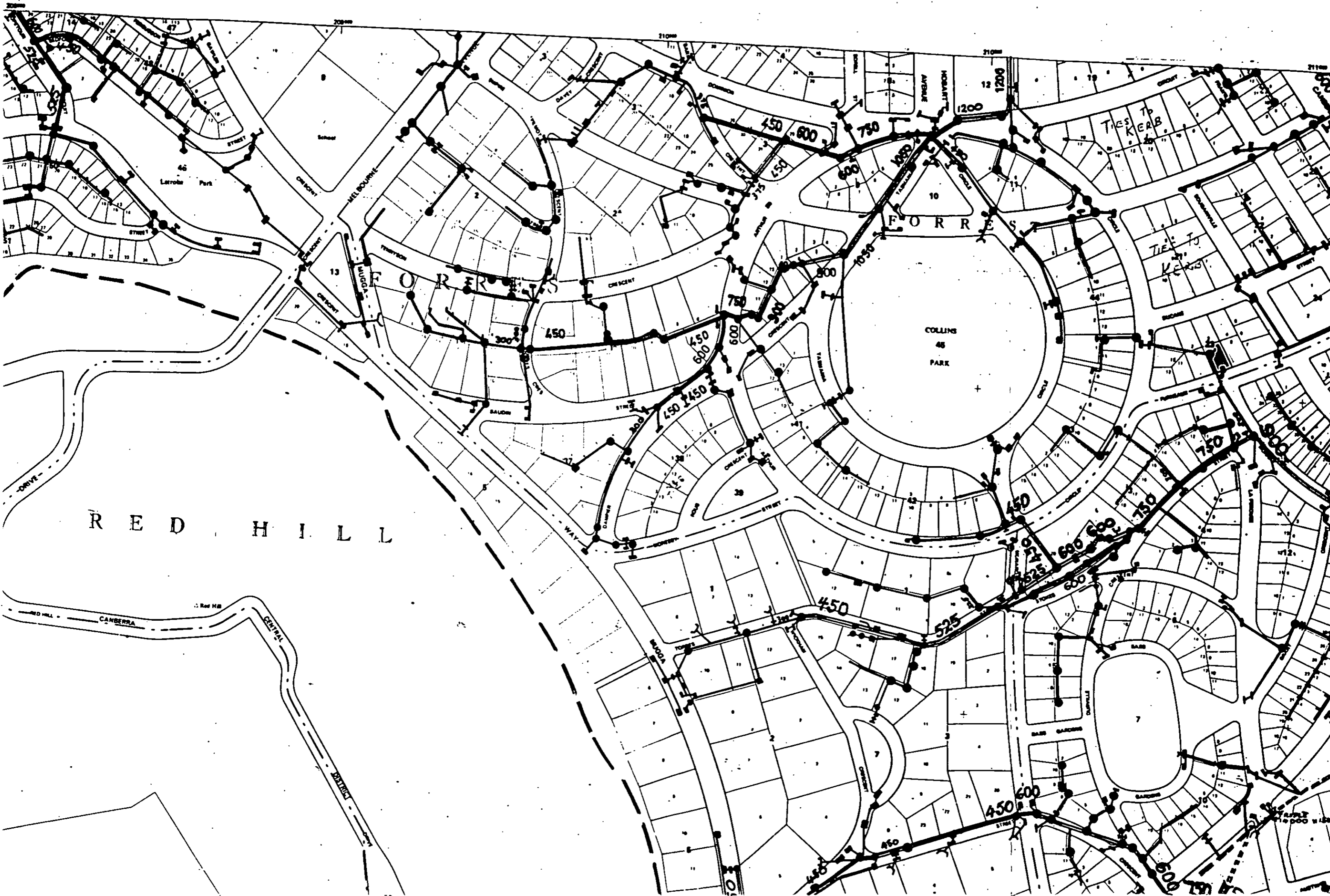
FORREST

'JOHN FORREST' (Legislator and federalist)

'ALEXANDER FORREST'

(Legislator, surveyor and explorer)

SHEET 1 of 1



R E D H I L L

Larrolle Park

COLLINS
46
PARK

TIES TO
KERAB

TIES TO
KERAB

CANTON
CENTRAL
CANTON

F O R R E S

O R R E R S

7

450 600

450 600 750

450

450 600

450

525

600 600 750

750

1200 1200

1200

200m

200m

210m

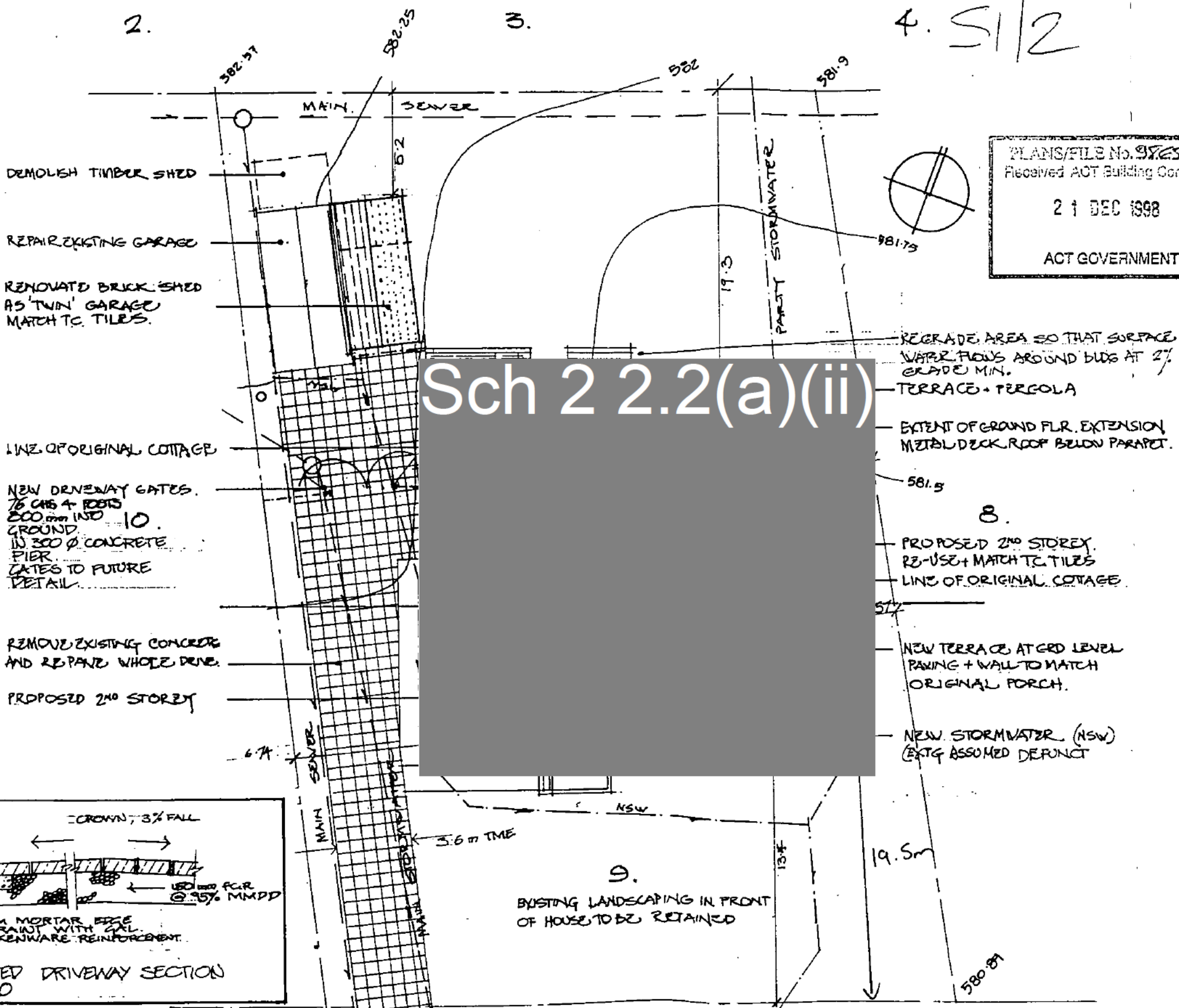
210m

210m

2.

3.

4. 5/1/2



PLANS/FILE No. 982533
 Received ACT Building Control
 21 DEC 1998
 ACT GOVERNMENT

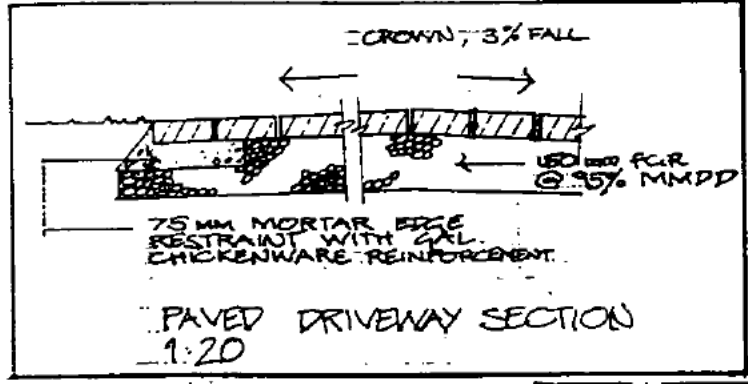
NOTES

- All construction to: Building Code of Australia Vol 2
- All footings to AS2870 Class P
- Builder to allow base of footings min 900 below existing ground level.

| SUMMARY AREAS | m ² |
|--------------------|----------------|
| Existing | |
| Residence | 155.4 |
| Garage + sheds | 48.5 |
| Demolition | |
| Residence | 33.8 |
| sheds | 22.8 |
| Proposed additions | |
| Residence GFL | 55.9 |
| Residence UFL | 146.4 |
| Garage | 23.4 |
| Paved terrace | 14.8 |

KEY to DRAWINGS

| ARCHITECTURAL | |
|----------------------------|----|
| SITE PLAN | 1 |
| GROUND PLAN | 2 |
| 1st FLOOR PLAN | 3 |
| ROOF PLAN | 4 |
| WEST + SOUTH ELEVATIONS | 5 |
| EAST + NORTH ELEVATIONS | 6 |
| SECTIONS A + B | 7 |
| GARAGE PLAN + ELEVATIONS | 8 |
| STRUCTURAL | |
| DEMOLITION + FOOTINGS | 9 |
| 1st FLOOR PLAN | 10 |
| ROOF PLAN | 11 |
| DETAILS | |
| FAMILY ROOM ROOF | 12 |
| BALCONY METALWORK | 13 |
| INTERNAL TO MATCH EXISTING | 14 |
| EXTERNAL TO MATCH EXISTING | 15 |



CIVIL & STRUCTURAL ENGINEER
JOHN SKURR
 BE CIVIL (BOND) MCE AUST. NPER-3
 7 Eleanora Street, FISHER, 2611
 TEL / FAX 02 62880163

Structural
 control
 1/12/98

DESIGN & SITING OFFICE
 63 EUREE ST REID ACT 2612
 fx (02) 6248 0921 ph (02) 6248 0775

11 JAN 1998

BUILDING APPLICATION drawing no. 1

2. 3. 4. S1/2

DEMOLISH TIMBER SHED
 REPAIR EXISTING GARAGE
 RENOVATE BRICK SHED AS 'TWIN' GARAGE MATCH TC. TILES.

NEW DRIVEWAY GATES. 76 GAS + IRON 200mm INSD GROUND. IN 300 Ø CONCRETE PIER. GATES TO FUTURE DETAIL.

REMOVE EXISTING CONCRETE AND REPAVE WHOLE DRIVE.
 PROPOSED 2ND STOREY

PLANS/FILE No. 98/25.83
 Received ACT Building Control
 21 DEC 1998
 ACT GOVERNMENT

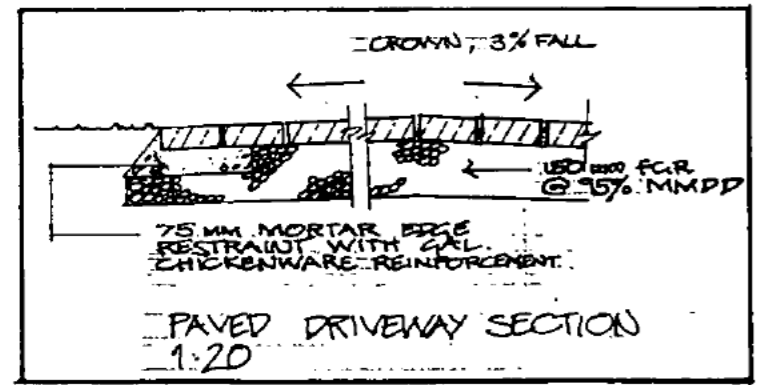
NOTES

- All construction to: Building Code of Australia Vol 2
- All footings to AS2870 Class P
- Builder to allow base of footings min 900 below existing ground level.

| SUMMARY AREAS | m ² |
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| WEST + SOUTH ELEVATIONS | 5 |
| EAST + NORTH ELEVATIONS | 6 |
| SECTIONS A + B | 7 |
| GARAGE PLAN + ELEVATIONS | 8 |
| STRUCTURAL | |
| DEMOLITION + FOOTINGS | 9 |
| 1st FLOOR PLAN | 10 |
| ROOF PLAN | 11 |
| DETAILS | |
| FAMILY ROOM ROOF | 12 |
| BALCONY METALWORK | 13 |
| INTERNAL TO MATCH EXISTING | 14 |
| EXTERNAL TO MATCH EXISTING | 15 |



APPLICANT ADVISED EXISTING LANDSCAPING IN FRONT OF HOUSE TO BE RETAINED TREES TO BE FENCED + PROTECTED DURING CONSTRUCTION ONGOING MAINTENANCE OF THE TREES WILL CONTINUE TO BE PROVIDED BY LESSEES UPON COMPLETION

LAND (PLANNING AND ENVIRONMENT) ACT 1991
 APPROVAL GRANTED
 PURSUANT TO SECTION 250 OR 245
 25 MAR 1999
 Nicole Di-Campfle
 Delegate of the Minister

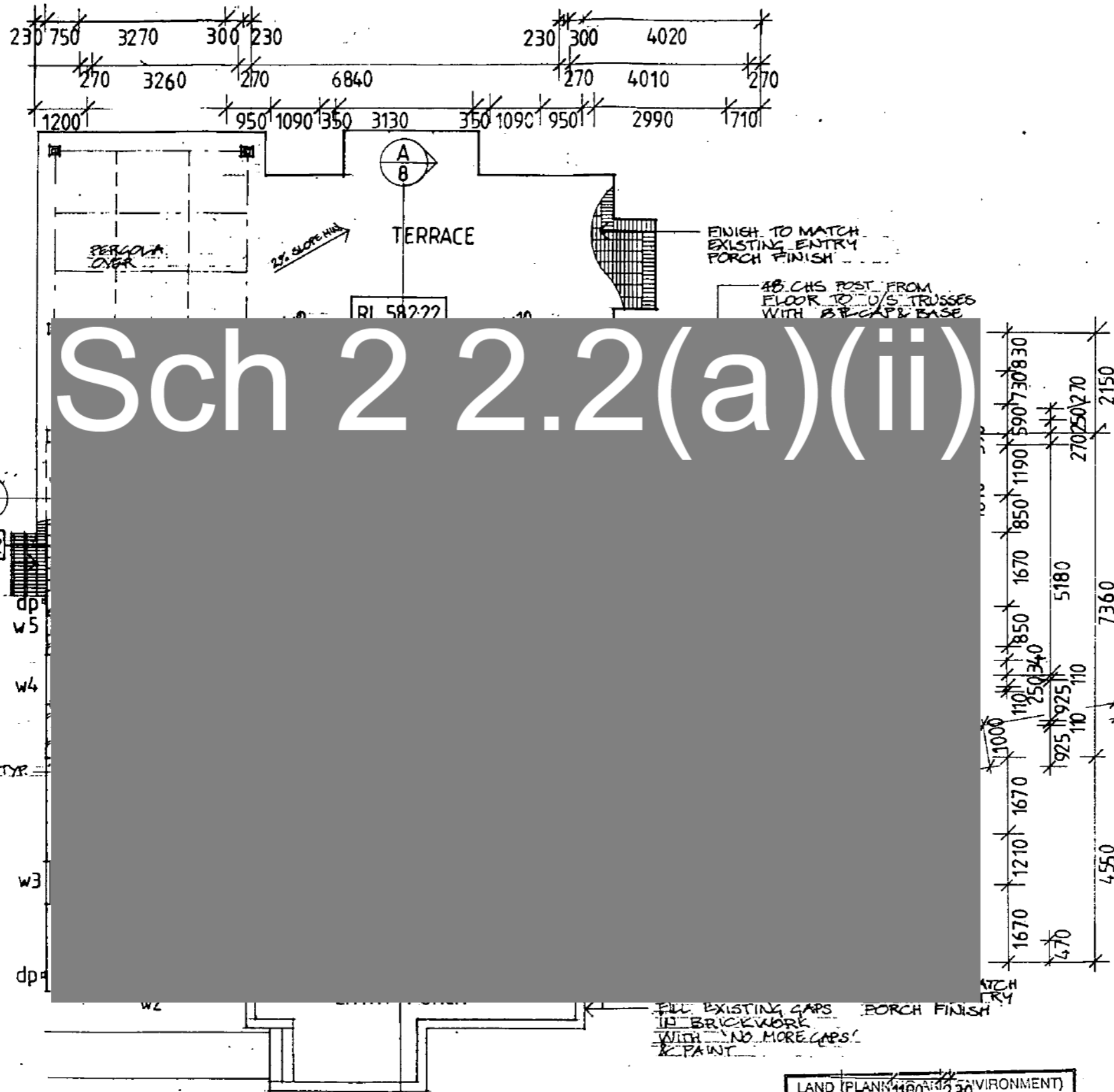
| DATE | AMENDMENTS |
|--|--|
| | Proposed Alteration + Addition Sch 2.2(a)(ii) RESIDENCE Block Section: FORREST |
| SITE PLAN | |
| scale 1:200 15 Dec 1998 | |
| ROSS FELLER ARCHITECT 63 EUREE ST REID ACT 2612 DESIGN & SITTING OFFICE fx (02) 6248 0921 ph (02) 6248 0775 | |
| 11 JAN 1998 | BUILDING APPLICATION drawing no. 1 |

CIVIL & STRUCTURAL ENGINEER
JOHN SKURR
 BE CIVIL (IONS) MIE AUST. NPER-3
 7 Eleanora Street, FISHER, 2611
 TEL / FAX 02 62880163

Structural
 archt
 10-12-18

DESIGN & SITTING OFFICE

11 JAN 1998



Sch 2 2.2(a)(ii)

NOTES

1. Cut level of ground to ensure a fall away from around the building of a min 2%.
2. All brickwork to AS 3700. 1:1:6 mortar, with brick for every 4th course and every 2nd course over and to 1m each side of door and window openings.
3. New walls around WC1 + Bathroom 1: 90mm studwork lined in plasterboard or villaboard in wet areas. Use sound proof board around WC.
4. All other new walls on ground level to be full brick and rendered.
5. Floor finishes in WC1 + Bathroom 1 and Laundry to be ceramic tiles.
6. Existing polished T+G flooring in front three rooms and hallway to remain.
7. All other areas including Kitchen and new Side Entry area to be select grade hardwood T+G polished flooring.
8. Select clear timber to stairs.
9. Waterblast to clean paint from face brickwork around W1. on Entry Porch
10. All lintels to be galvanised.

| SIZE | SPAN | BEARING |
|------------------|-------|---------|
| 100 x 100 flat | 0-1 m | 100 mm |
| 100 x 100 x 10 L | 1>2 m | 150 mm |
| 150 x 100 x 10 L | 2>3 m | 230 mm |

PLANS/FILE No. 38653
 Received ACT Building Control
 21 DEC 1998
 ACT GOVERNMENT

| DATE | AMENDMENTS |
|--|--|
| | Proposed Alteration + Addition Sch 2 2.2(a)(ii) RESIDENCE Block: Section: FORREST |
| GROUND PLAN | |
| scale 1:100 15 Dec 1998 | |
| CROSS FELLER ARCHITECT 63 EUREE ST REID ACT 2612 fx (02) 6248 0921 ph (02) 6248 0775 | |
| 9718 | BUILDING APPLICATION drawing no. 2 |

Structural cert'd 18/12/98
 CIVIL & STRUCTURAL ENGINEER
JOHN SKURR
 BE CIVIL (ROPS) MIE AUST. NPER-3
 7 Eleanora Street, FISHER, 2611
 TEL / FAX 02 62880163

LAND (PLANNING AND ENVIRONMENT)
 ACT 1997
 APPROVAL GRANTED
 PURSUANT TO SECTION 230 OR 2.5
 25 MAR 1999
Nicole Di-Campfle
 Delegate of the Minister

DESIGN & SITING OFFICE
 1 JAN 1999

FILL EXISTING GAPS IN BRICKWORK WITH NO MORE GAPS & PAINT

4 equal treads

1450

NOTES

1. Ceramic tiles over FC to wet areas.
2. Select grade polished T+G flooring throughout all other areas.
3. All brickwork to AS 3700.
4. Rendered brickwork use either recycled (dimensionally stable) bricks or concrete masonry units.
5. For face brickwork outside Bed 1, match existing 50mm ht bricks.
6. All windows to be WRC.

PLANS/FILE No. 986523
Received ACT Building Control

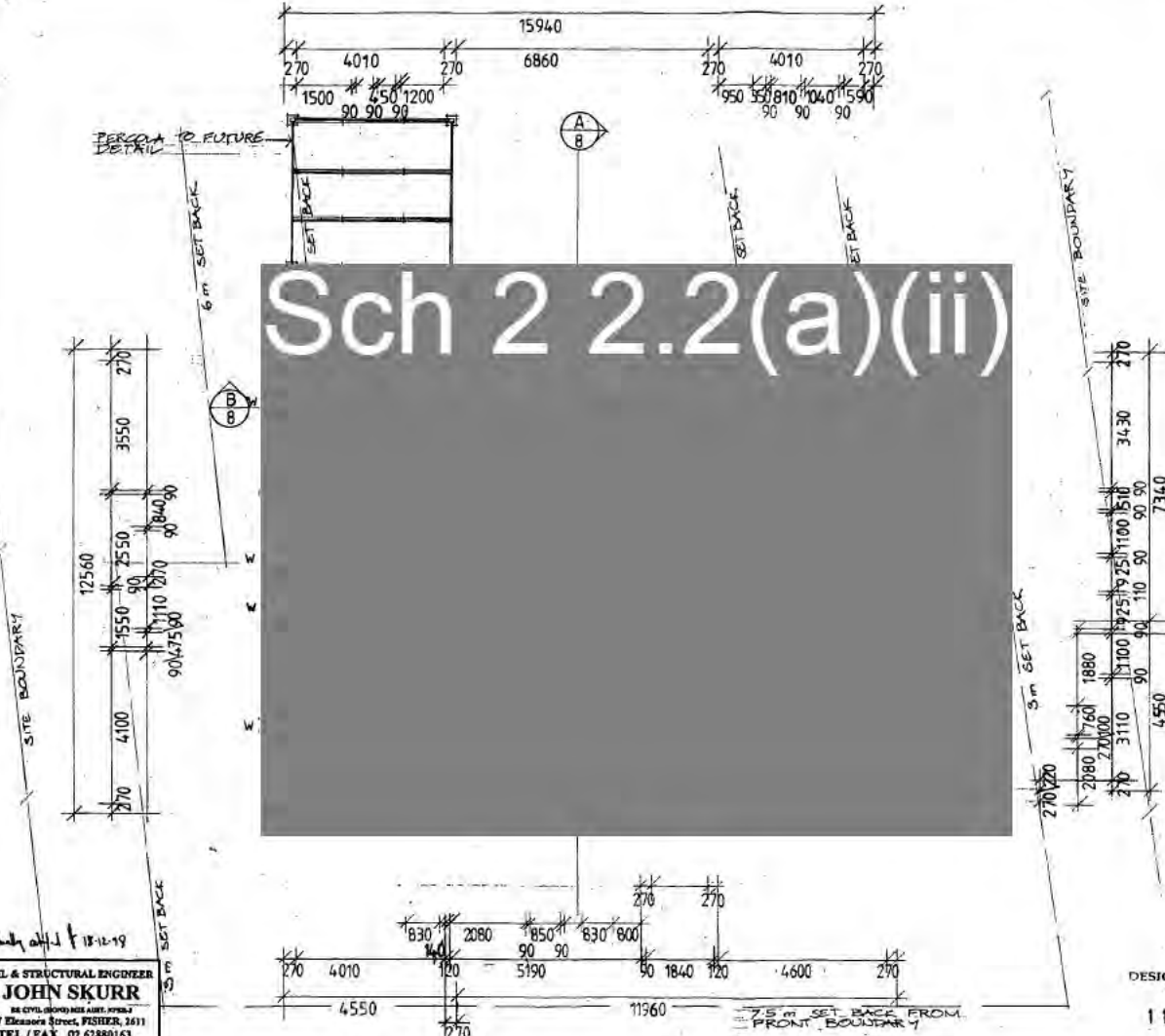
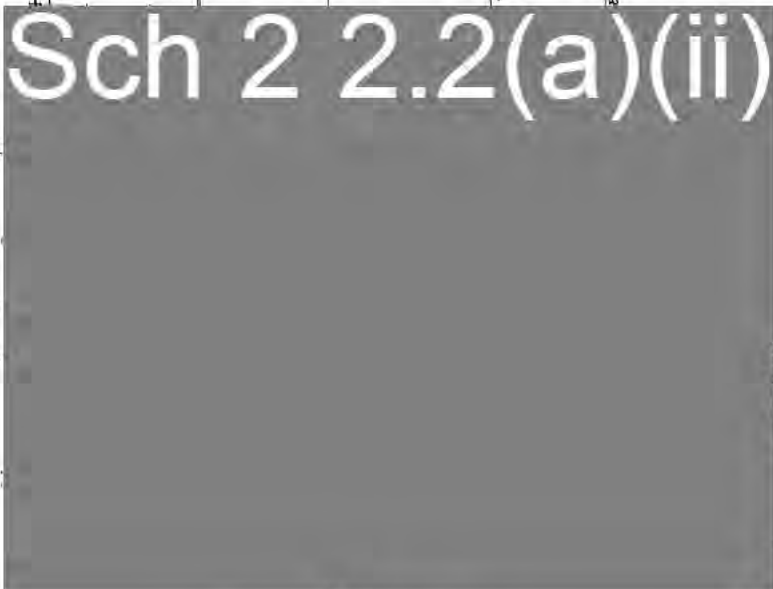
21 DEC 1998

ACT GOVERNMENT

LAND (PLANNING AND ENVIRONMENT)
ACT 1991
APPROVAL GRANTED
PURSUANT TO SECTION 230 OR 235
25 MAR 1999

Nicole Di-Campili
Deputy of the Minister

| DATE | AMENDMENTS |
|--|--|
| | |
| Proposed Alteration - Addition RESIDENCE BLOCK Section FORREST | |
| 1st FLOOR PLAN | |
| scale 1:100 15 Dec 1998 | |
| ROSS FELLER ARCHITECT 63 EUREE ST REID ACT 2812 TEL (02) 6248 0921 ph (02) 6248 0775 | |
| 11 JAN 1999 | BUILDING APPLICATION drawing no. 3 |



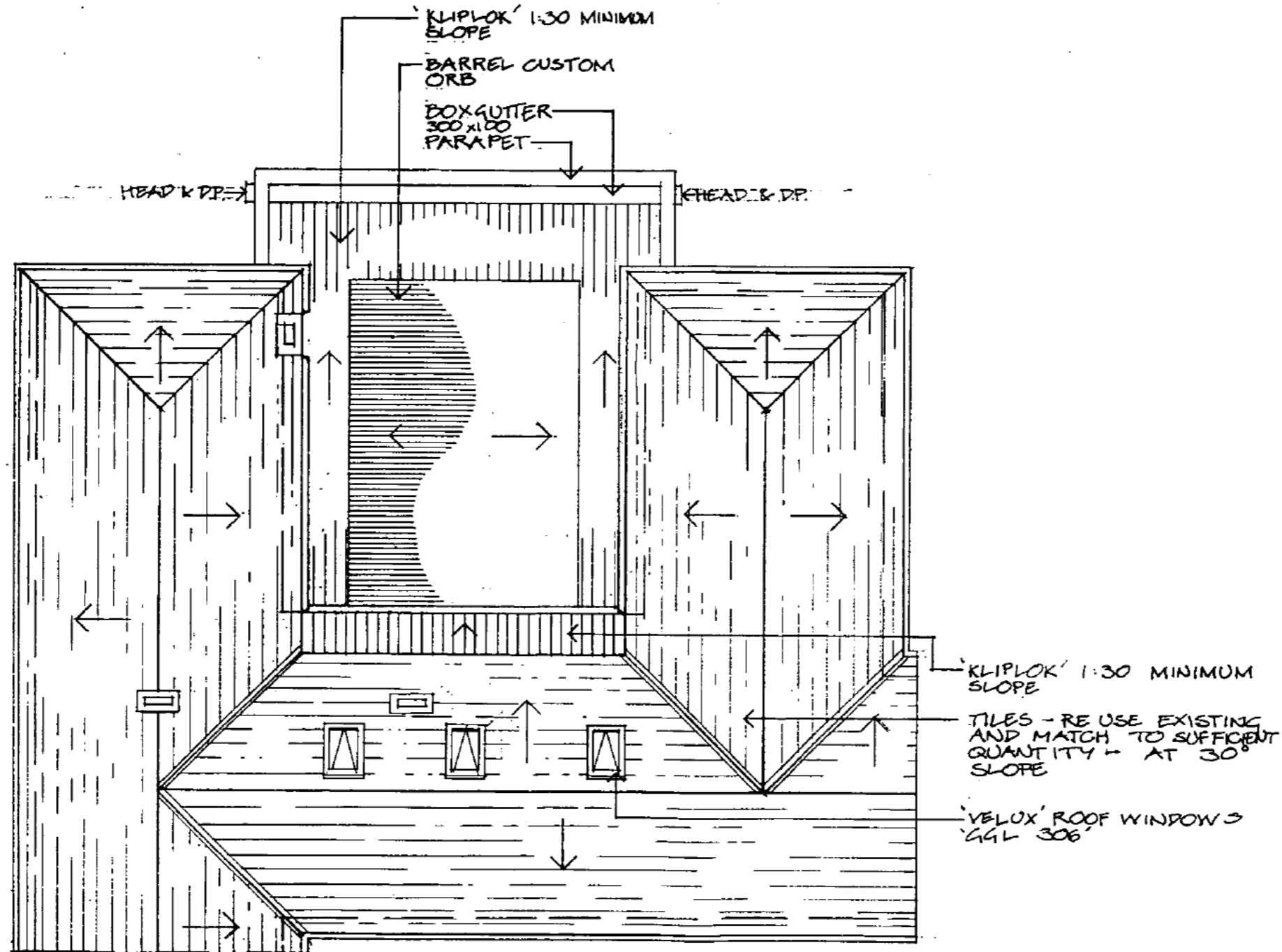
John Skurr 1/12/19
CIVIL & STRUCTURAL ENGINEER
JOHN SKURR
 14 CIVIL ENGINEERING UNIT 200/1
 7 EUREE STREET, REID ACT, 2811
 TEL / FAX 02 62880163

DESIGN & SITE OFFICE

11 JAN 1999

NOTES

- 1. ENSURE KLIPLOK FULLY TURNED UP AT HIGH END TO PREVENT BACKFLOW.



PLANS/FILE No. 986523
 Received ACT Building Control
 21 DEC 1998
 ACT GOVERNMENT

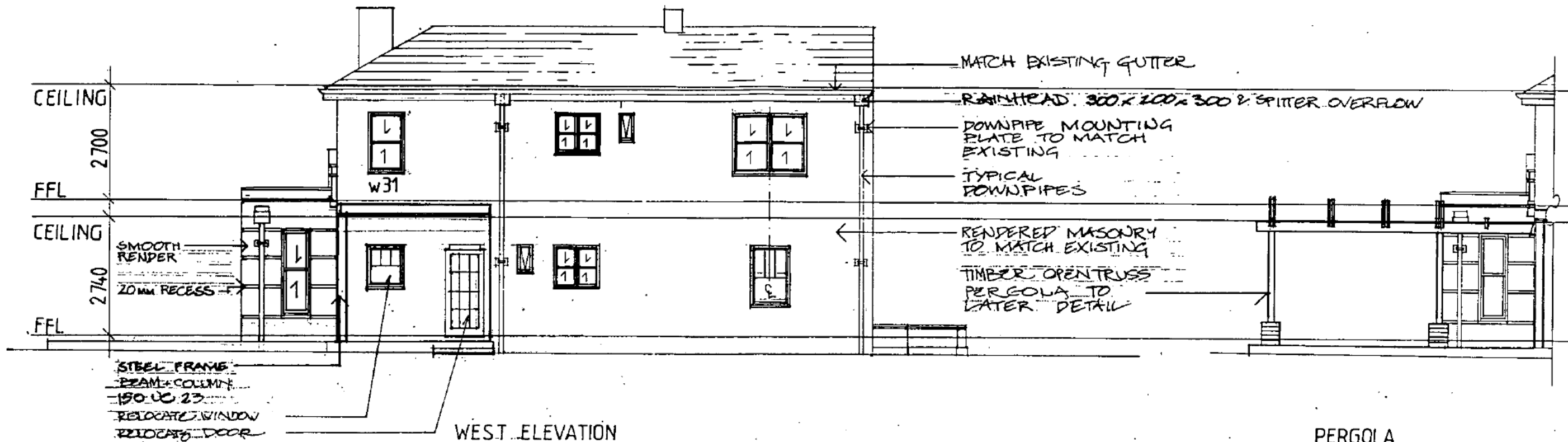
LAND (PLANNING AND ENVIRONMENT)
 ACT 1991
APPROVAL GRANTED
 PURSUANT TO SECTION 230 OR 245
 25 MAR 1999
Nicole Di-Campfi
 Delegate of the Minister

| DATE | AMENDMENTS |
|---|--|
| | Proposed Alteration + Addition Sch 2 2.2(a)(ii) RESIDENCE Block: Section: FORREST |
| ROOF PLAN | |
| scale 1:100 | 15 Dec 1998 |
| ROSS FELLER ARCHITECT 63 EUREE ST REID ACT 2612 fx (02) 6248 0921 ph (02) 6248 0775 | |
| 9718 | BUILDING APPLICATION drawing no. 4 |

CIVIL & STRUCTURAL ENGINEER
JOHN SKURR
 BE CIVIL (HONS) MIE AUST. NPER-3
 7 Eleanora Street, FISHER, 2611
 TEL / FAX 02 62880163

*Structurally
 checked
 1/12/98*

DESIGN & SITING
 OFFICE
 11 JAN 1999



PERGOLA WEST ELEVATION

PLANS/FILE No. 986583
 Received ACT Building Control
 21 DEC 1998
 ACT GOVERNMENT

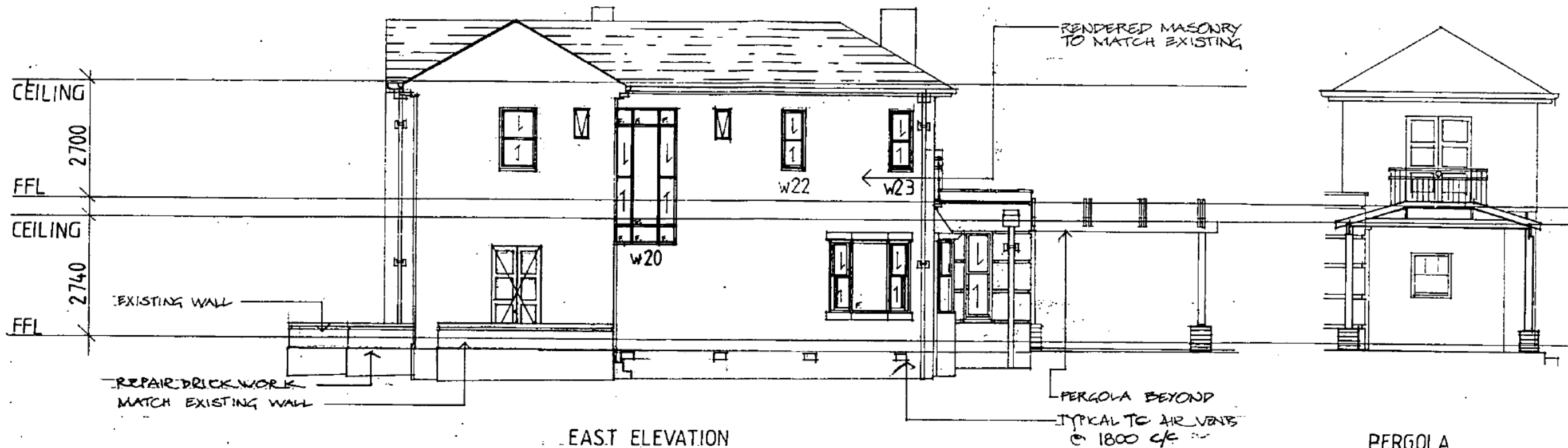


SOUTH ELEVATION

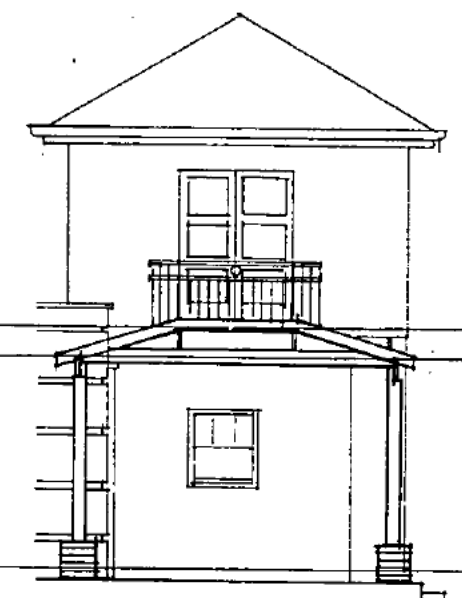
ENVIRONMENT
 ACT 1986
APPROVAL GRANTED
 PURSUANT TO SECTION 230 OR 245
 25 MAR 1999
Nicole Di-Campile
 Delegate of the Minister

| DATE | AMENDMENTS |
|---|--|
| | Proposed Alteration + Addition Sch 2.2(a)(ii) RESIDENCE |
| | Block: Section: FORREST |
| WEST + SOUTH ELEVATIONS | |
| scale 1:100 | 15 Dec 1998 |
| ROSS FELLER ARCHITECT 63 EUREE ST REID ACT 2612 fx (02) 6248 0921 ph (02) 6248 0775 | |
| 9718 | BUILDING APPLICATION drawing no. 5 |

Shubly affd 18-12-98
 CIVIL & STRUCTURAL ENGINEER
JOHN SKURR
 BE CIVIL (TRANS) MIE AUST. NPER-3
 7 Eleanora Street, FISHER, 2611
 TEL / FAX 02 62880163



EAST ELEVATION



PERGOLA NORTH ELEVATION



NORTH ELEVATION

PLANS/FILE No. 5176583
 Received ACT Building Control
 21 DEC 1998
 ACT GOVERNMENT

| DATE | AMENDMENTS |
|---|--|
| | Proposed Alteration + Addition Sch 2.2.2(a)(ii) RESIDENCE Block: Section: FORREST |
| EAST + NORTH ELEVATIONS | |
| scale 1:100 | 15 Dec 1998 |
| ROSS FELLER ARCHITECT 63 EUREE ST REID ACT 2612 fx (02) 6248 0921 ph (02) 6248 0775 | |
| 9718 | BUILDING APPLICATION drawing no. 6 |

LAND (PLANNING AND ENVIRONMENT)
 ACT 1991
APPROVAL GRANTED
 PURSUANT TO SECTION 230 OR 245
 25 MAR 1999
Nicole Di-Campli
 Delegate of the Minister

DESIGN & SITING OFFICE

11 JAN 1999

Sketch added 1/19/99
 CIVIL & STRUCTURAL ENGINEER
JOHN SKURR
 BC CIVIL (BOND) MIE AUST. NPER-J
 7 Eleanora Street, FISHER, 2611
 TEL / FAX 02 62880163

BRICK FACE STEPS

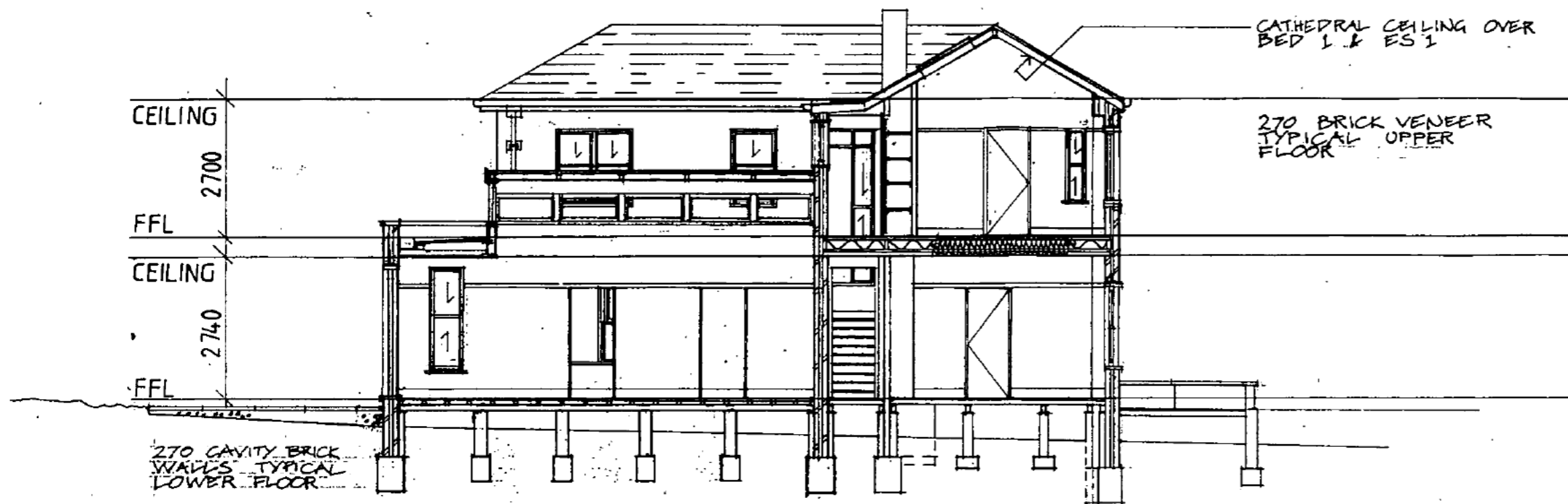
NOTES

1. All timberwork to AS 1684.
210x 45 F5 studs @450 c/c seasoned pine.
3. All new ground floor bearers:
4.2 x 100 x 50 F17 KDHW vertically laminated to make 100 x 100 frame member @ max 1800 c/cs.
5. All new ground floor joists:
100 x 50 F17 KDHW @ max 450 c/cs and 1800 spans.
6. Typical concrete strip footings 450 wide x 600 deep with 4-11 TM top and bottom, steel clips @ 900 c/cs.
7. Typical concrete pad footings 350 x 350 sq x 400 deep.

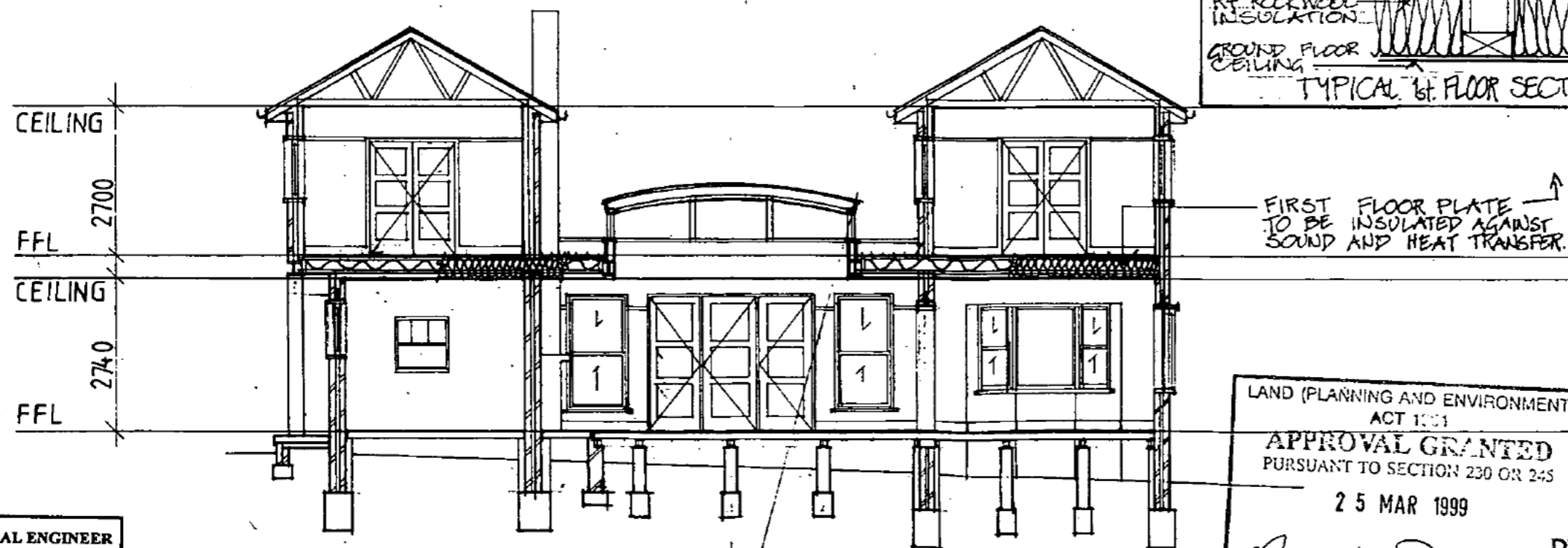
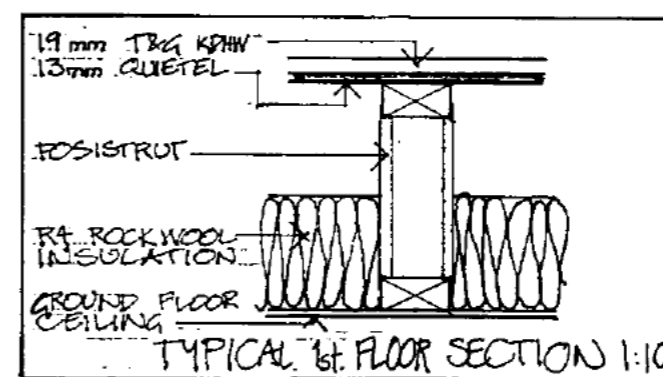
PLANS/FILE No. 5762.83
Received ACT Building Control

21 DEC 1998

ACT GOVERNMENT



SECTION A



SECTION B

LAND (PLANNING AND ENVIRONMENT)
ACT 1991
APPROVAL GRANTED
PURSUANT TO SECTION 230 OR 245
25 MAR 1999
Nicole Di-Campile
Delegates of the Min.

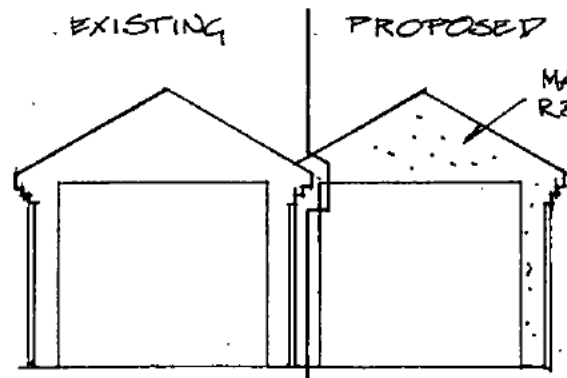
DESIGN & SITE OFFICE

11 JAN 1999

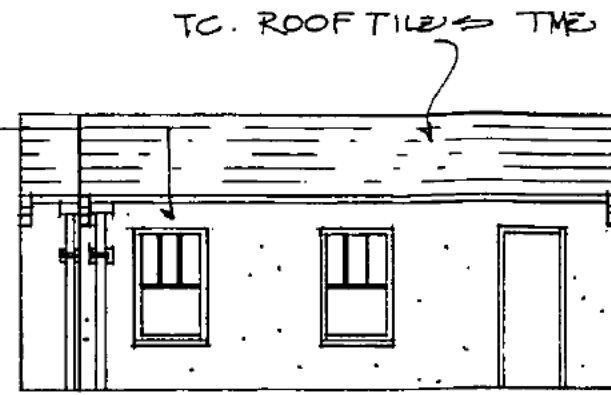
| DATE | AMENDMENTS |
|--|--|
| | Proposed Alteration + Addition Sch 2 2.2(a)(ii) RESIDENCE Block: Section: FORREST |
| SECTIONS A + B | |
| scale 1:100 | 15 Dec 1998 |
| ROSS FELLER ARCHITECT 63 EUREE ST REID ACT 2612 (02) 6248 0921 ph (02) 6248 0775 | |
| 9718 | BUILDING APPLICATION drawing no. 7 |

CIVIL & STRUCTURAL ENGINEER
JOHN SKURR
BE CIVIL (HONS) MIE AUST. NPER-3
7 Eleanora Street, FISHER, 2611
TEL / FAX 02 62880163

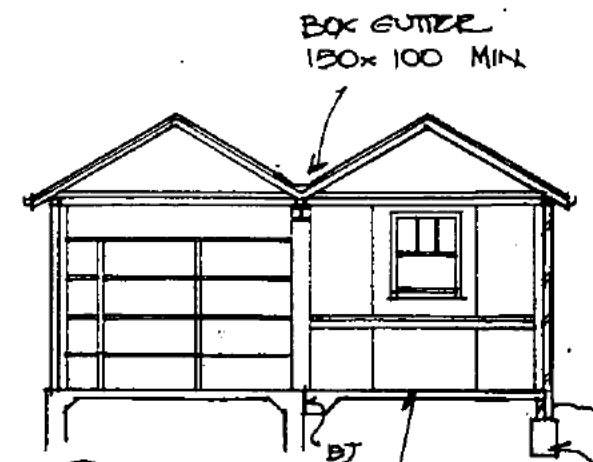
Structural
certified 18.12.98



① ELEVATION



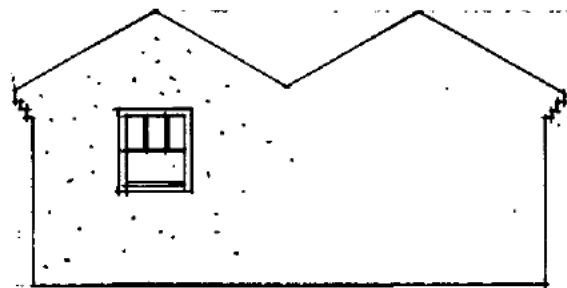
② ELEVATION



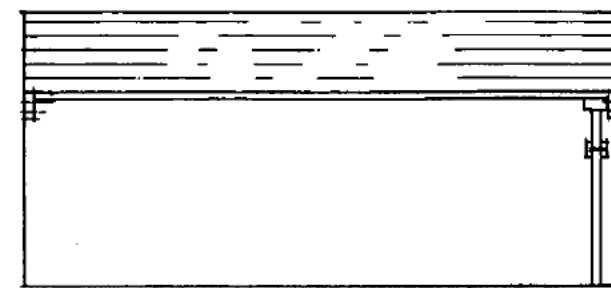
① A SECTION

100 SLAB FB2 TOP
ON POLYTHENE,
WITH 300 W 4500
EDGE BEAM
3-11 TM BOTTOM

- NOTES
1. Demolish existing lean-to shed and slab.
 2. New slab and footing to AS 2870
 3. Roof construction to AS 1684. Cut timbers to match existing
 4. Proposed 2nd garage to match existing external finishes (render, trims etc.).
 5. Re-use bricks from east wall of original garage.
 6. Salvage and re-use windows # 16, 17+18.
 7. Beam over: 250 UB 31 support on min 300 brickwork each end.



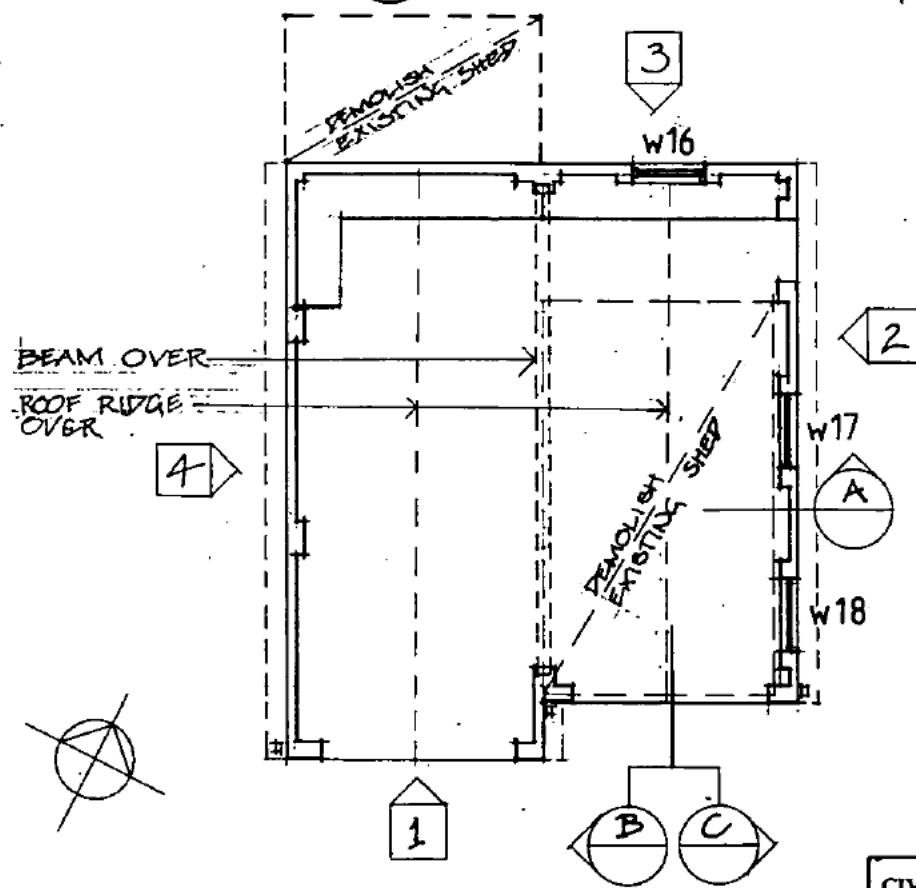
③ ELEVATION



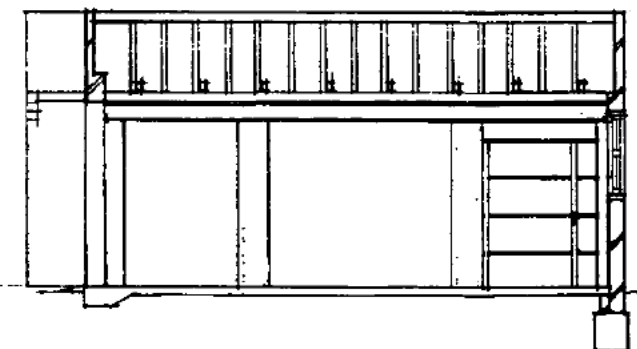
④ ELEVATION

- FOOTING 300 D 300 W
3-11 TM TOP+BOTTOM
4 STEEL CLIPS @ 900 c/c
8. BRICK TO EVERY 4TH COURSE
 9. FOR OTHER NOTES REFER DWGS 1+2.

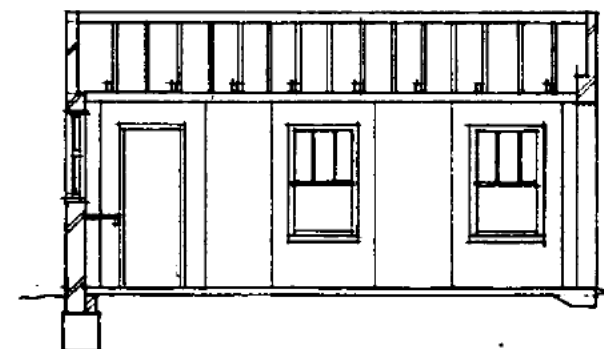
PLANS/FILE No. 98/25/03/A
Received ACT Building Control
21 DEC 1998
ACT GOVERNMENT



PLAN



② B SECTION



③ C SECTION

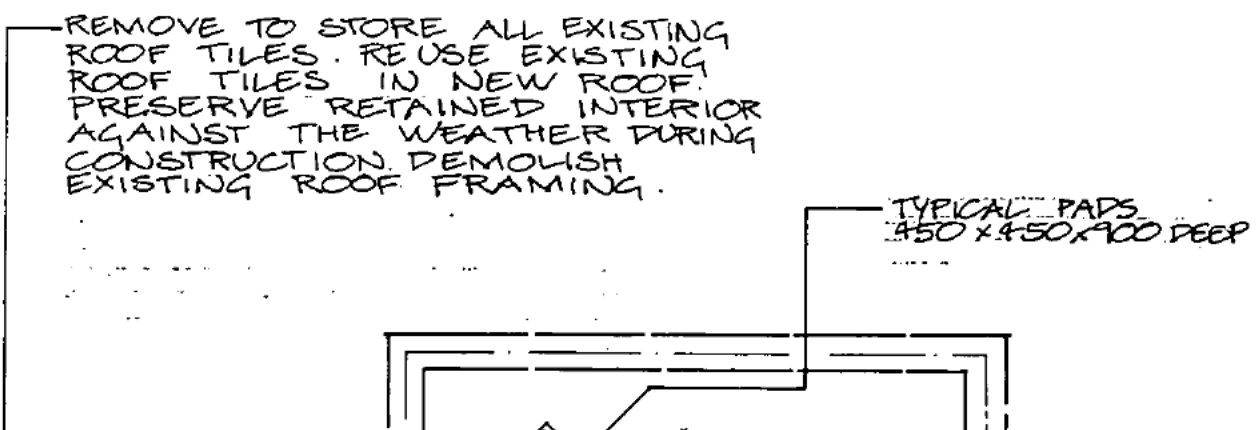
CIVIL & STRUCTURAL ENGINEER
JOHN SKURR
BE CIVIL (HONS) MIE AUST. NPEL3
7 Eleanora Street, FISHER, 2611
TEL / FAX 02 62880163







Structurally certified
18-12-98

LAND (PLANNING AND ENVIRONMENT)
ACT 1997
APPROVAL GRANTED
PURSUANT TO SECTION 250 OR 248
25 MAR 1999
Nicole Di-Campile
Delegate of the Minister

DESIGN & SITING OFFICE
JAN 1999

| DATE | AMENDMENTS |
|---|---|
| | Proposed Alteration + Addition Sch 2.2(a)(ii) RESIDENCE Block Section: FORREST |
| GARAGE PLAN + ELEVATIONS | |
| scale 1:100 15 Dec 1998 | |
| ROSS FELLER ARCHITECT 63 EUREE ST REID ACT 2612 fx (02) 6248 0921 ph (02) 6248 0775 | |
| 9718 | BUILDING APPLICATION drawing no. 8 |



-  RETAINED EXISTING WALLS
-  DEMOLISHED EXISTING WALLS
-  BRICK UP OPENING TO EXTENT INDICATED
-  DEMOLISH AND REMOVE EXISTING FLOOR IN AREA INDICATED.
-  DEMOLISH AND REMOVE EXISTING CONCRETE FLOOR IN AREA INDICATED.
-  FOOTING FOR NEW MASONRY WALL

Sch 2 2.2(a)(ii)

TYPICAL FOOTING 450W 600d (MIN)
 4-11 TH TOP & BOTTOM &
 STEEL CLIPS @ 900 c/c
 BASE OF FOOTING 900mm
 BELOW EXISTING GROUND
 LEVEL.

- NOTES
1. All Demolition to AS 2601
 2. All demolition materials to be recycled as appropriate, according to the ACT Waste Reduction Strategy, or tie down
 3. Provide temporary support for sections of existing building which are to be altered and which rely for support on work to be demolished.
 4. While walls and roof are, open provide temporary covers to prevent water penetration.
 5. While walls and roofs are open provide security against unauthorised entry.

ALL CONSTRUCTION TO BCA VOLUME 2.

PLANS/FILE No. **SR6083**
 Received ACT Building Control

 21 DEC 1998

 ACT GOVERNMENT

CIVIL & STRUCTURAL ENGINEER
JOHN SKURR
BE CIVIL (HONS) MEX AUST. NPER-3
 7 Eleanora Street, FISHER, 2611
 TEL / FAX 02 62880163

Sketchy cert'd
 18/12/98

LAND (PLANNING AND ENVIRONMENT)
 ACT 1
APPROVAL GRANTED
 PURSUANT TO SECTION 2.3 FOR 2.3
 25 MAR 1999

Nicole Di-Campfi
 Delegate of the Minister

DESIGN & STRUCTURE OFFICE
TROSS FELLER ARCHITECT
 63 EUREE ST REID ACT 2612
 fx (02) 6248 0921 ph (02) 6248 0775
 11 JAN 1999

| DATE | AMENDMENTS |
|------------------------------|---|
| | Proposed Alteration + Addition Sch 2 2.2(a)(ii) RESIDENCE Block: Section: FORREST |
| DEMOLITION + FOOTINGS | |
| scale 1:100 15 Dec 1998 | |
| 9718 | BUILDING APPLICATION drawing no. 9 |

CAVITY VOIDS

EXTEND FLUE FROM BELOW

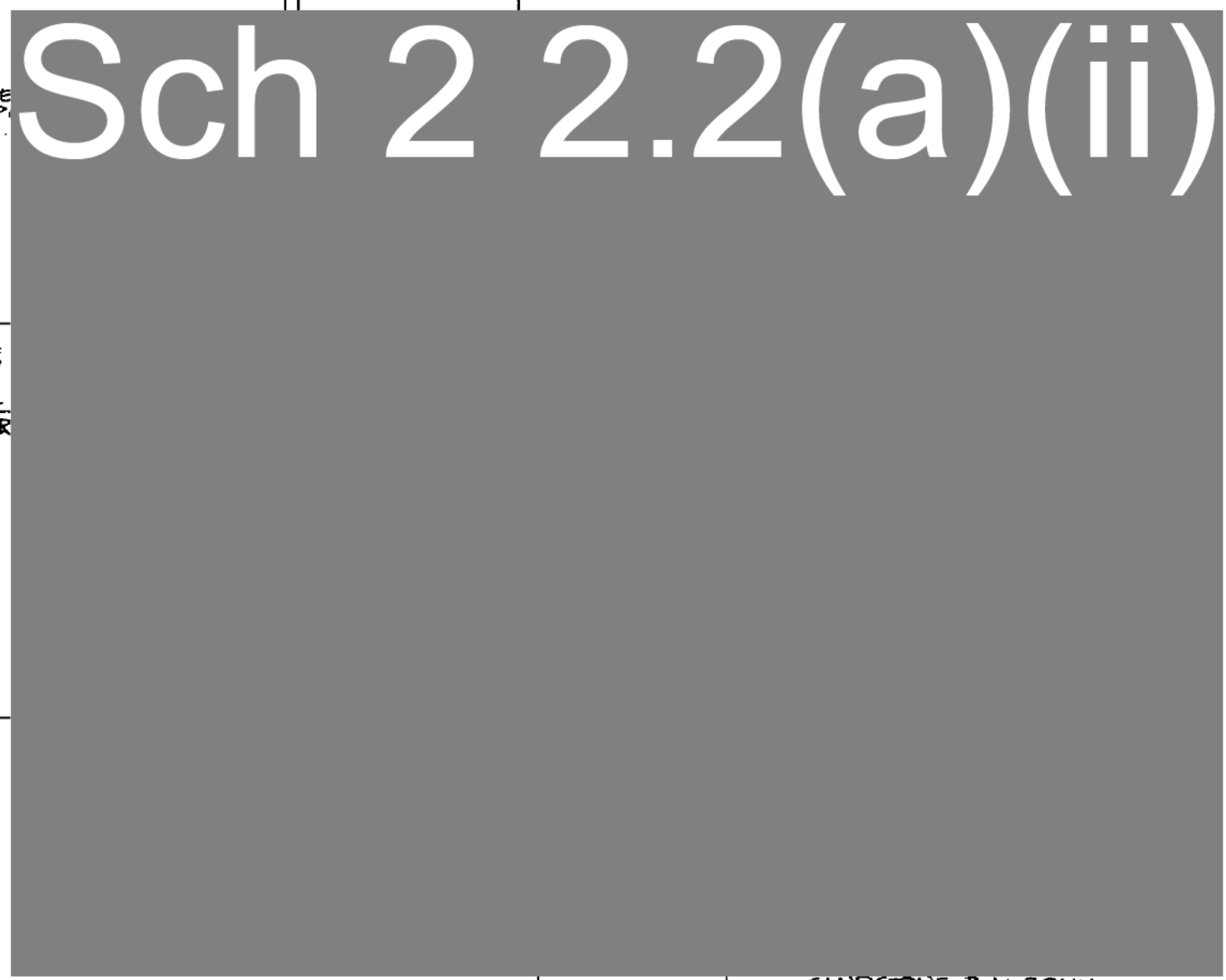
SANDSTONE BALUSTRAD SILL

MITRE OVER COLUMN FROM GROUND BELOW 150 UC 23

CAP PLATE ENDS AND BOLT TO BRICKWORK

EXTEND FLUE FROM BELOW

ROOF FRAMING OVER GROUND FLOOR FAMILY ROOM



SANDSTONE BALCONY PIECE TIED BACK TO CONCRETE SLAB TO FUTURE DETAIL

EXTEND CHIMNEY FLUE FROM BELOW

| LEGEND | |
|--------------|---|
| POSI-STRUTS | PS 30 45 x 90 F8 @ 450 c/cs |
| BEAMS | B1 + B2 250 UB 31 |
| | B3 150 UC 23 |
| ROLLED BEAMS | 150 x 100 x 5 RHS @ 1200 c/cs on 89 SHS x 3.5 jack columns AERIAL |
| RAFTERS | 150 x 50 F7 @ 600 c/cs |

NOTES

1. ALL TIMBER FRAMING TO AS 1684.
2. ALL STEELWORK TO AS 1100 ALL SECTIONS WELDED TO EACH OTHER 3mm CFW SITE WELD ALL STEELWORK PAINTED WITH 2 COATS OF REDOXIDE ZINC PHOSPHATE
3. ALL ROOF PLANES BRACED EACH WAY WITH TECO SPEED BRACE.

PLANS/FILE No. 88683/A
 Received ACT Building Control
 21 DEC 1998
 ACT GOVERNMENT

| DATE | AMENDMENTS |
|------|---|
| | Proposed Alteration + Addition Sch 2 2.2(a)(ii) RESIDENCE Block Section: FORREST |
| | STRUCTURAL 1st FLOOR PLAN |
| | scale 1:100 15 Dec 1998 |
| | DESIGN & SITING OFFICE ROSS FELLER ARCHITECT 63 EUREE ST REID ACT 2612 11 JAN 1999 fx (02) 6248 0921 ph (02) 6248 0775 |
| 9718 | BUILDING APPLICATION drawing no. 10 |

Structurally certified 15-12-98

CIVIL & STRUCTURAL ENGINEER
JOHN SKURR
 BE CIVIL (11005) ME AUSTR. NPERJ
 7 Eleanora Street, FISHER, 2611
 TEL / FAX 02 62880163

DESIGN & SITING OFFICE

11 JAN 1999

ROSS FELLER ARCHITECT
63 EUREE ST REID ACT 2612
fx (02) 6248 0921 ph (02) 6248 0775

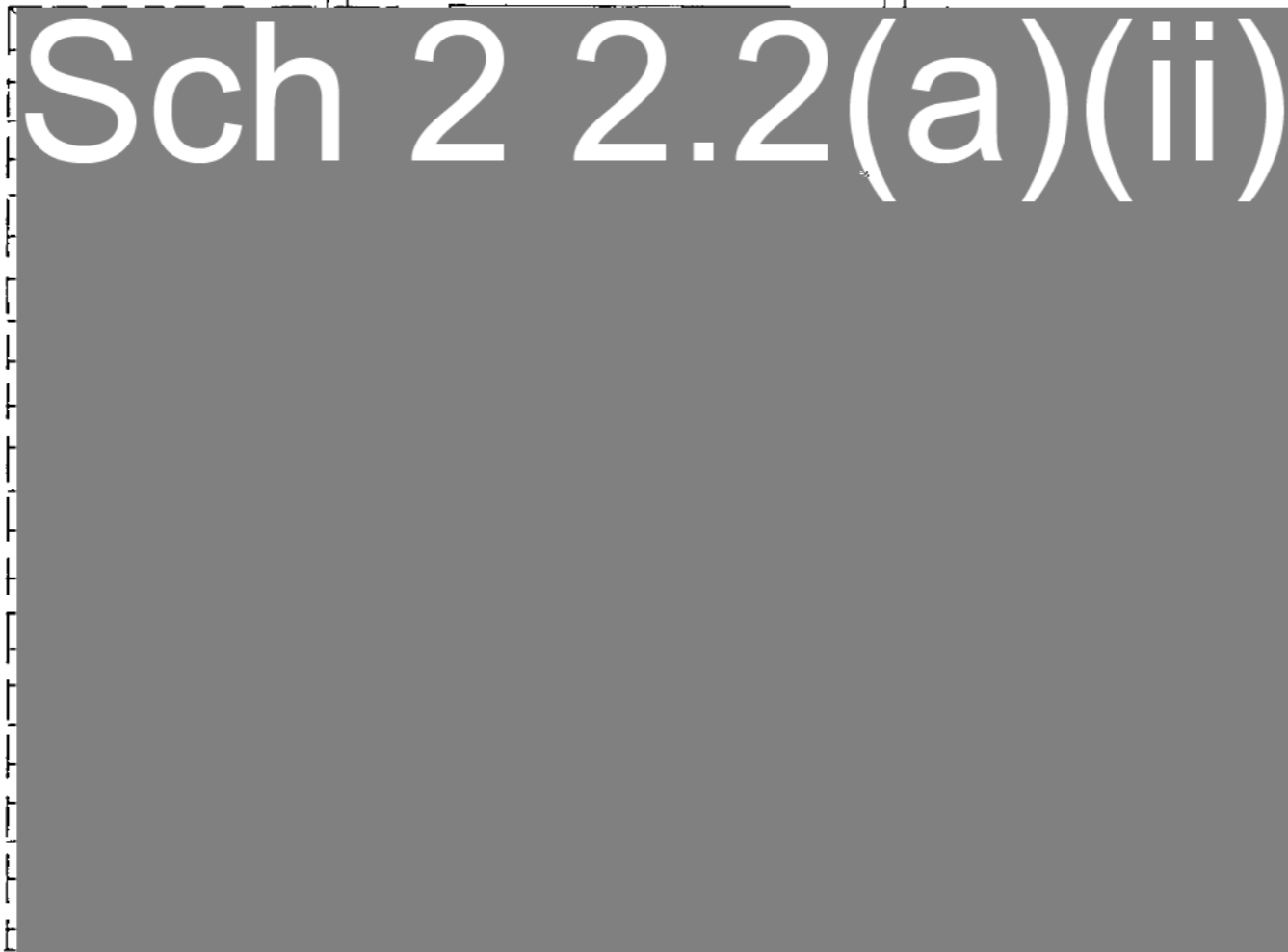
NOTES

- Cathedral ceiling over Bed 1 and ES 1 only
RIDGE BEAM 180 UB 18
RAFTERS 150 x 45 F16 Hyspan @ 600 c/cs

All other roof framing for level ceilings. Trusses to be sized by manufacturer, spaced at max 600 c/cs.

- FOR OTHER NOTES REFER TO DRAWING L & 2.
- ALL TIMBER FRAMING TO AS 1684

PLANS/FILE No. *SP6583*
Received ACT Building Control
21 DEC 1998
ACT GOVERNMENT



- JACK TRUSS / RAFTERS
- TRUNCATED GIRDER TRUSS
- RIDGE LINE
- STANDARD TRUSS
- GIRDER TRUSS
- SADDLE TRUSS

SUPPORT WALLS - 90x45 F5 STUDBS AT 450 cc WITH DOUBLE STUDBS UNDER BEAM SUPPORTS

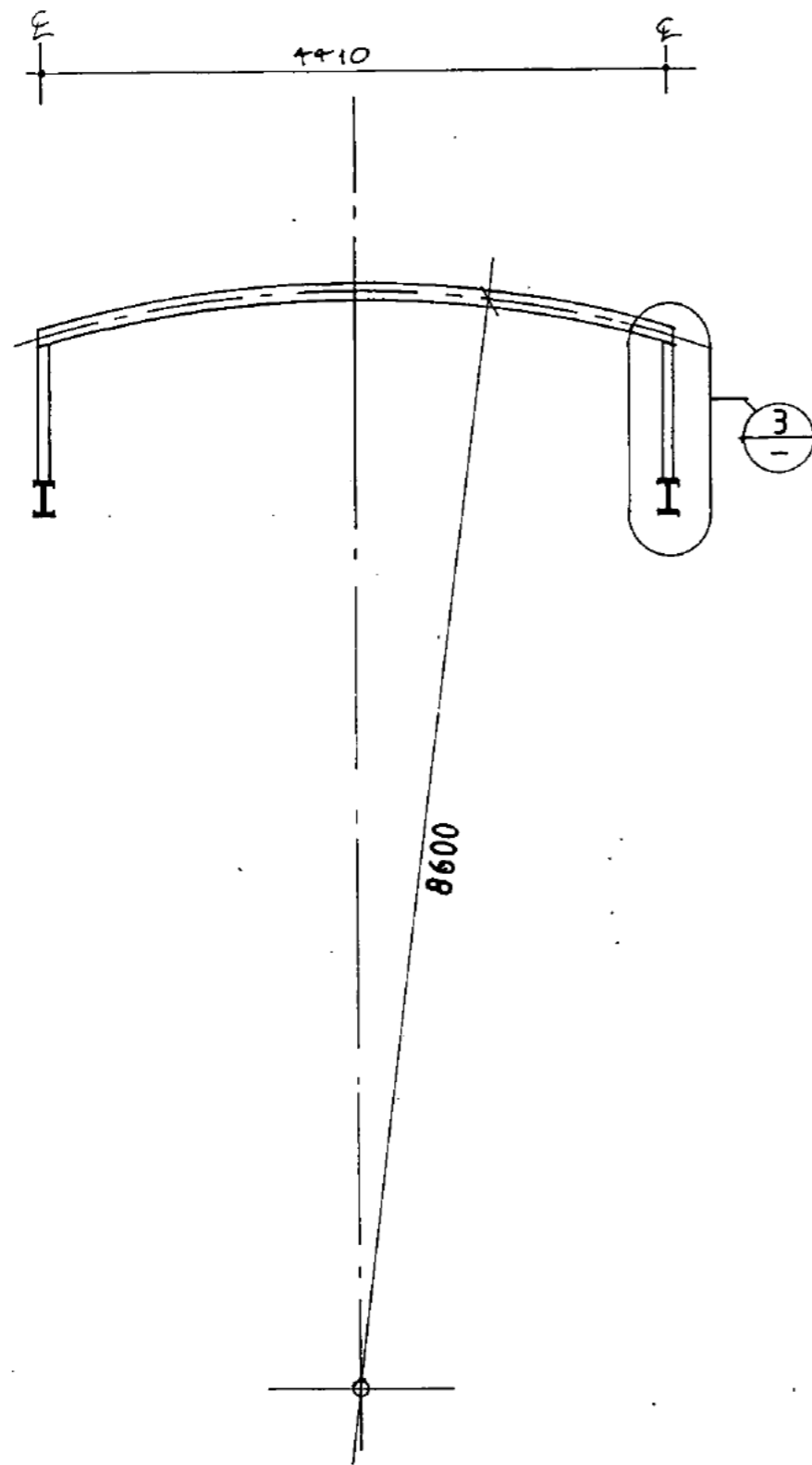
150 x 45 F16 HYSpan RAFTERS @ 600 cc
180 UB 18 RIDGE BEAM APPROX. 7.4 m LONG

Structurally certified 18-12-98

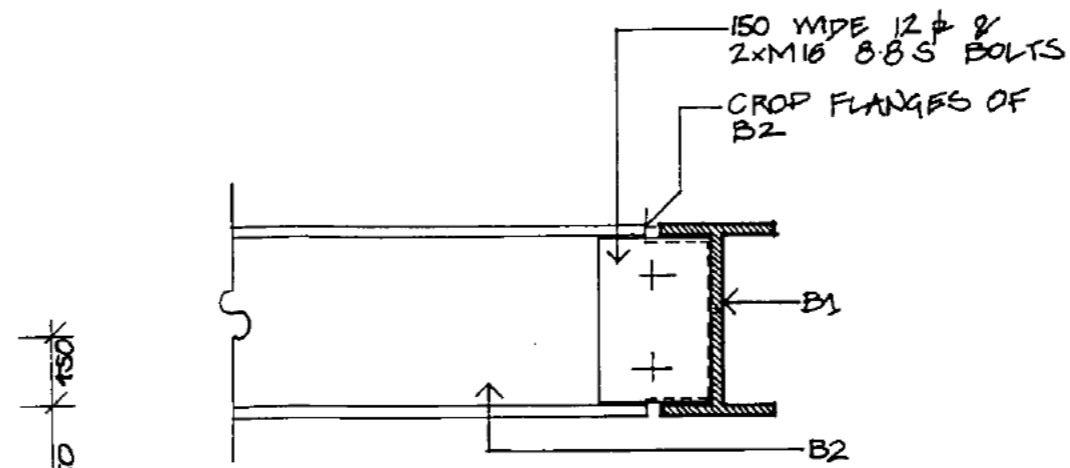
CIVIL & STRUCTURAL ENGINEER
JOHN SKURR
BE CIVIL (HONS) MCE AUST. NPER-3
7 Eleanor Street, FISHER, 2611
TEL / FAX 02 62880163

| DATE | AMENDMENTS |
|---|---|
| | Proposed Alteration + Addition Sch 2 2.2(a)(ii) RESIDENCE Block: Section: FORREST |
| STRUCTURAL ROOF PLAN | |
| scale 1:100 | 15 Dec 1998 |
| ROSS FELLER ARCHITECT 63 EUREE ST REID ACT 2612 fx (02) 6248 0921 ph (02) 6248 0775 | |
| 9718 | BUILDING APPLICATION drawing no. 11 |

DESIGN & SITING OFFICE
11 JAN 1999

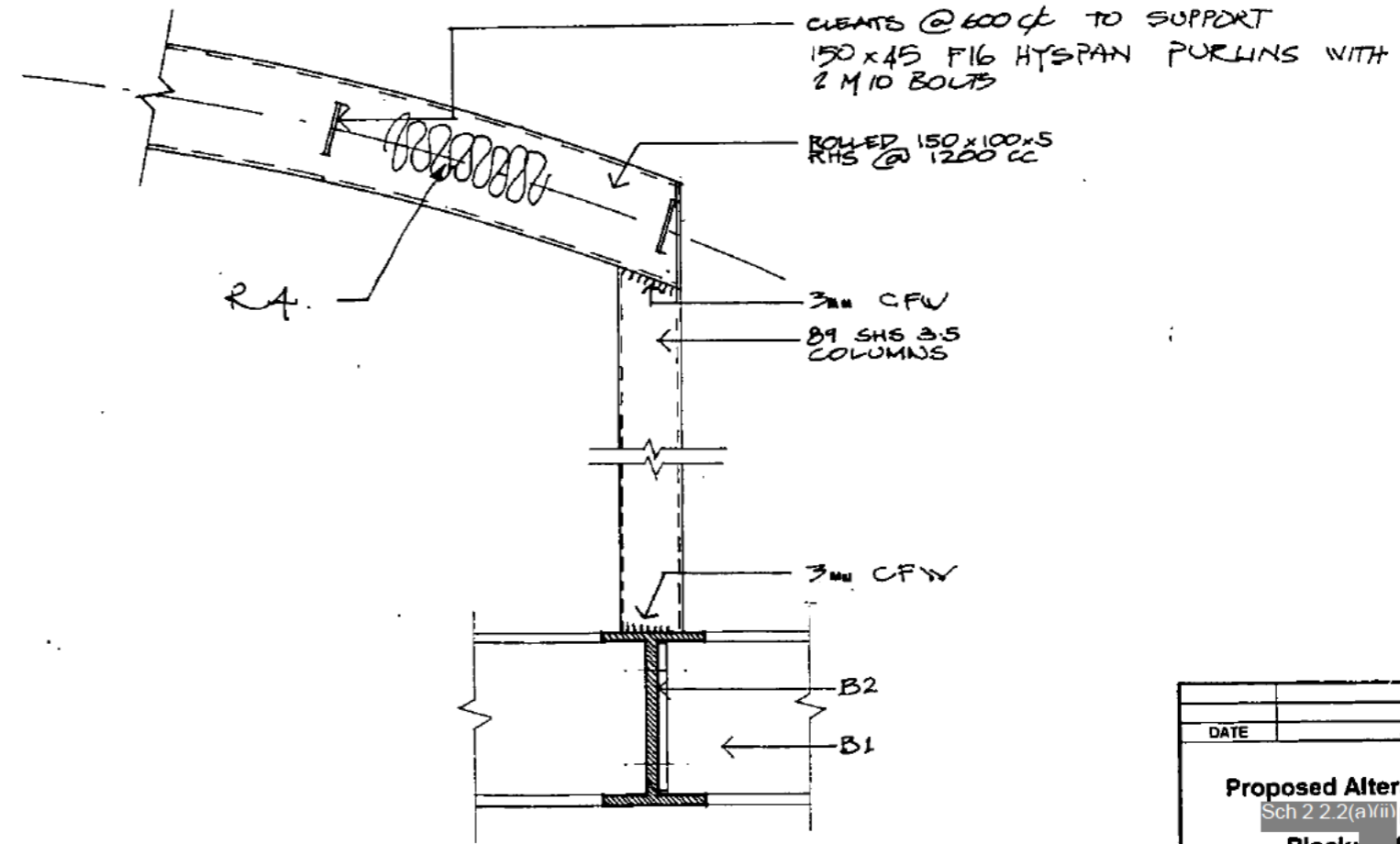


① DETAIL SECTION 1:50



② DETAIL 1:10

150
150



③ DETAIL 1:10

FOR NOTES REFER
DWG 11.

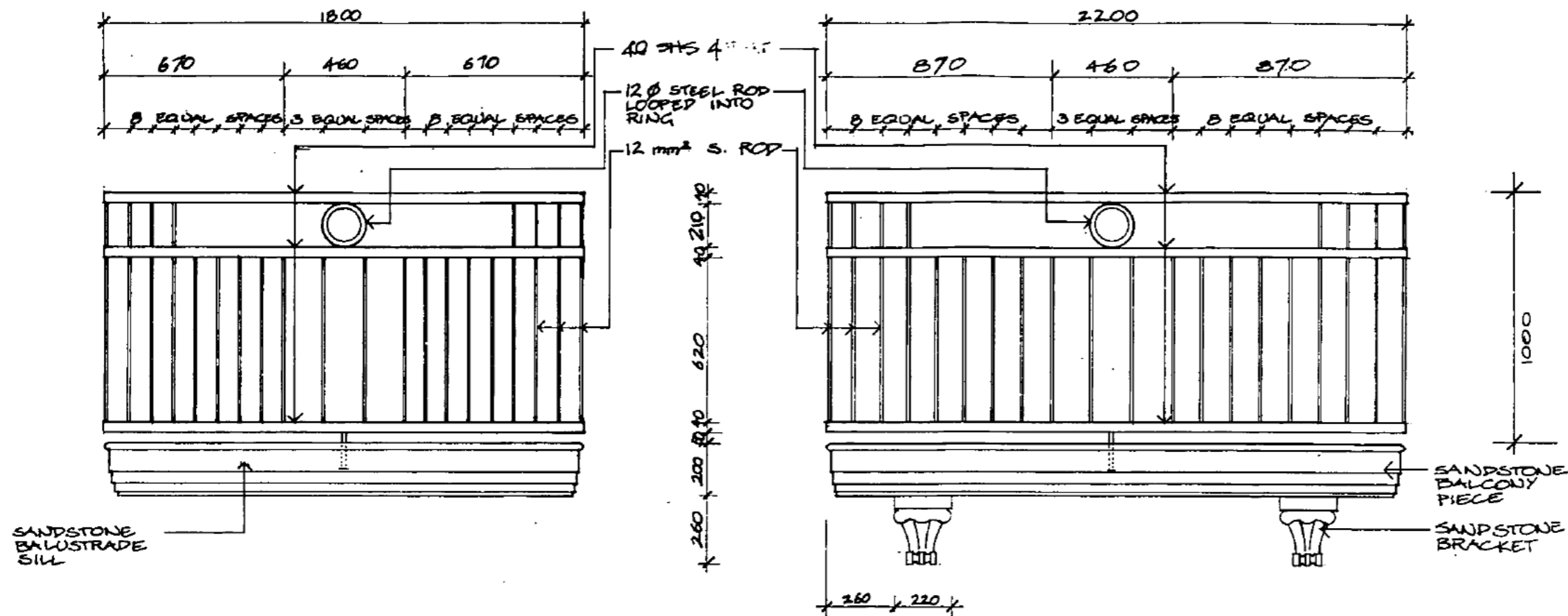
PLANS/FILE No. **SES.13**
Received ACT Building Control
21 DEC 1998
ACT GOVERNMENT

| DATE | AMENDMENTS |
|---|---|
| | Proposed Alteration + Addition Sch 2.2.2(a)(iii) RESIDENCE Block: Section: FORREST |
| SELECTED DETAILS FAMILY ROOM ROOF | |
| scale 1:100 | 15 Dec 1998 |
| ROSS FELLER ARCHITECT 63 EUREE ST REID ACT 2612 fx (02) 6248 0921 ph (02) 6248 0775 | |
| 9718 | BUILDING APPLICATION drawing no. 12 |

Structurally certified 18.12.98

CIVIL & STRUCTURAL ENGINEER
JOHN SKURR
SE CIVIL (CONS) MIE AUST. NPER-3
7 Eleanora Street, FISHER, 2611
TEL / FAX 02 62880163

DESIGN & SITING
OFFICE
11 JAN 1999



1 DETAIL ELEVATION 1:20
NORTH ELEVATION BALUSTRADE

2 DETAIL ELEVATION 1:20
SOUTH ELEVATION BALCONY

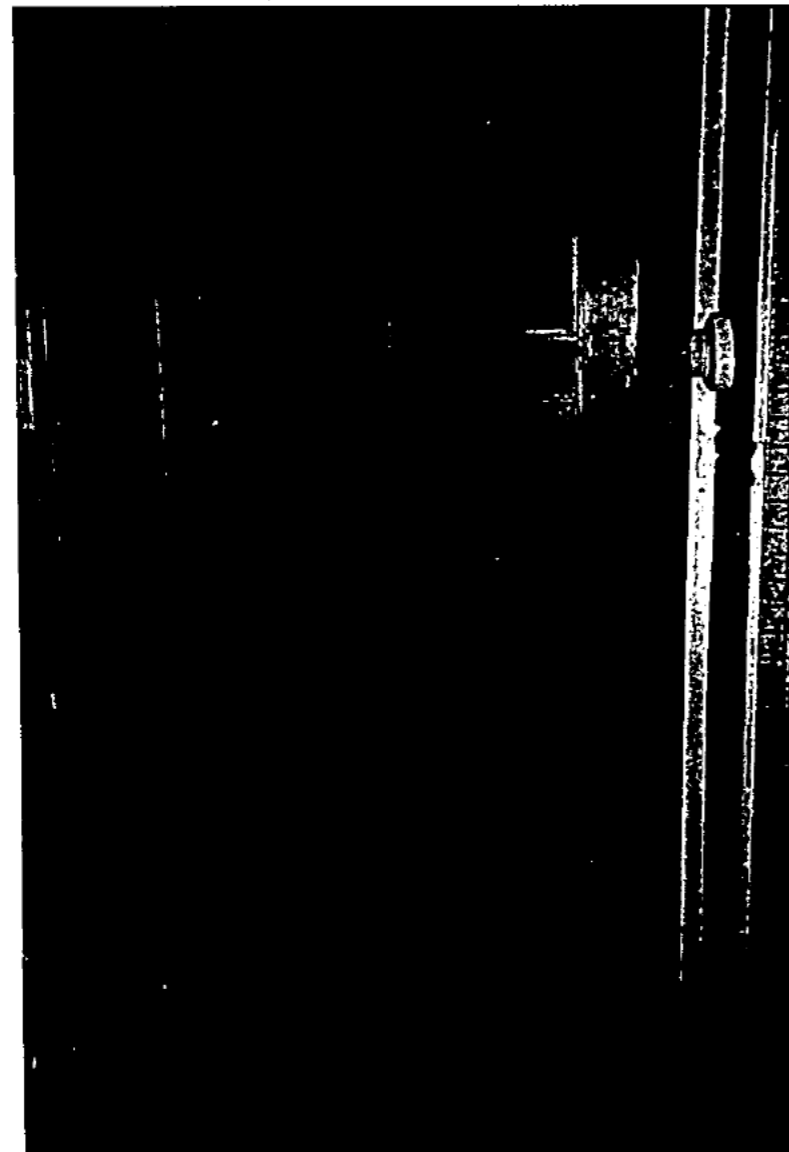
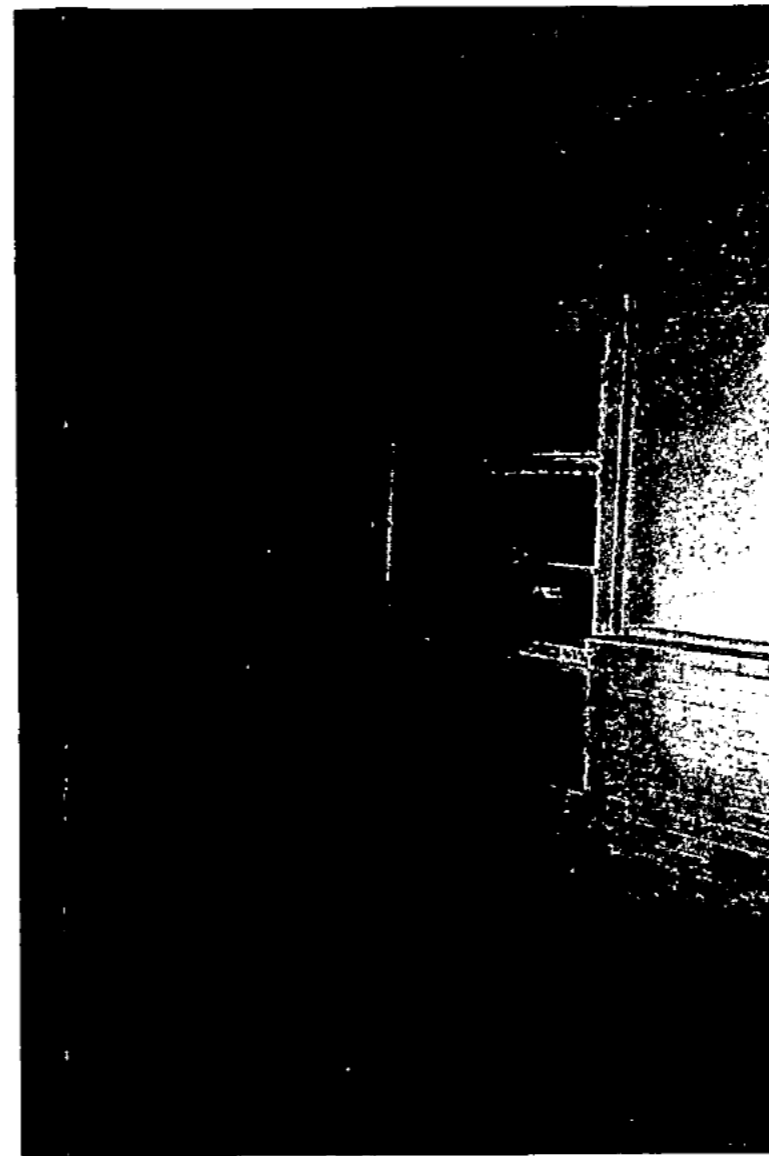
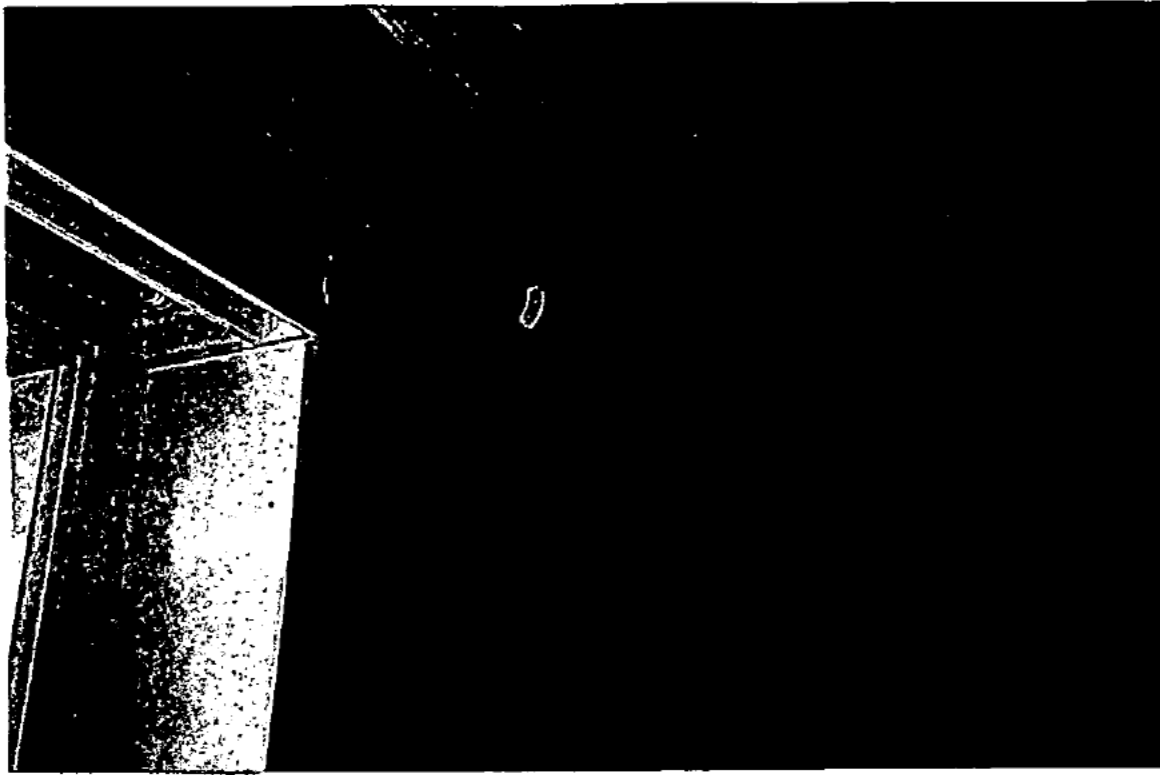
PLANS/FILE No. 986583/A
Received ACT Building Control
21 DEC 1998
ACT GOVERNMENT

Structural cert of 18.12.99

CIVIL & STRUCTURAL ENGINEER
JOHN SKURR
BE CIVIL (IONS) MIZ AUST. NPER.3
7 Eleanora Street, FISHER, 2611
TEL / FAX 02 62880163

DESIGN & SITING
OFFICE
11 JAN 1999

| DATE | AMENDMENTS |
|---|--|
| | Proposed Alteration + Addition Sch 2 2.2(a)(ii) RESIDENCE Block: Section: FORREST |
| SELECTED DETAILS BALCONY METALWORK | |
| scale 1:100 | 15 Dec 1998 |
| ROSS FELLER ARCHITECT 63 EUREE ST REID ACT 2612 fx (02) 6248 0921 ph (02) 6248 0775 | |
| 9718 | BUILDING APPLICATION drawing no. |
| | 13 |



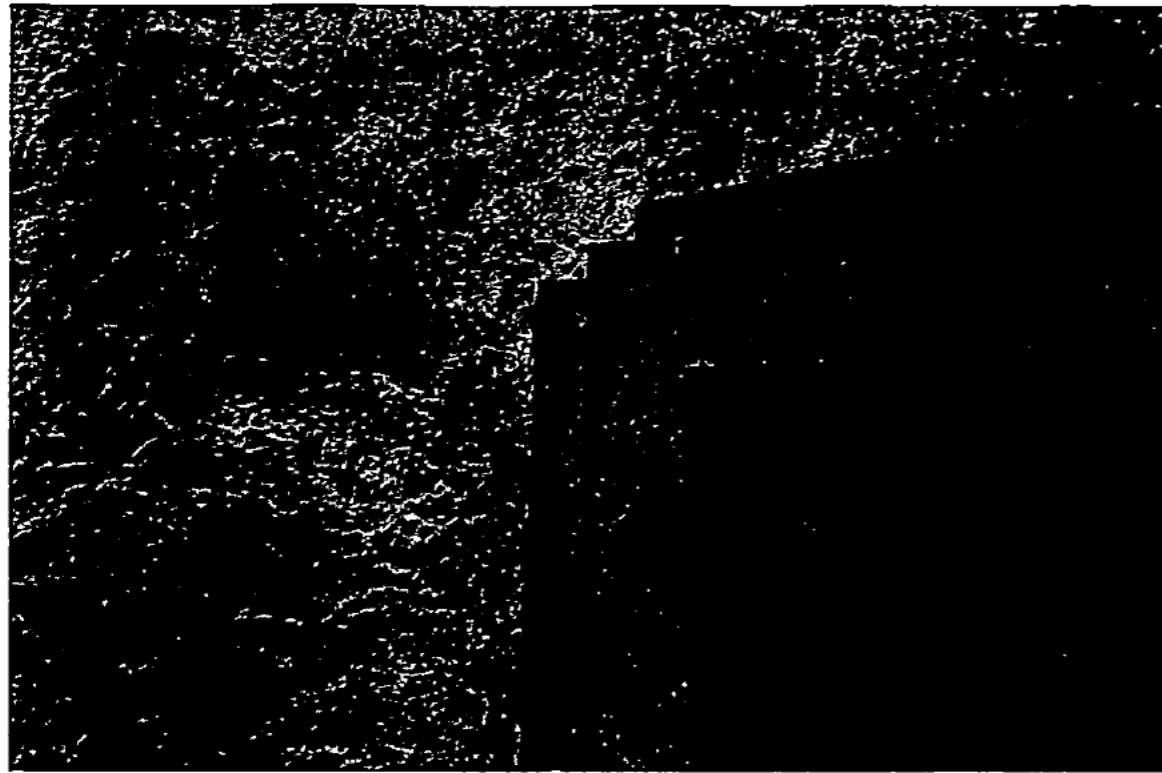
PHOTOS INDICATE

1. Typical trim details to: skirting, architraves picture rails and cornices (no battens required on UFL ceilings).
2. Strip off paint and clear finish timber trims to Library/Study, Lounge + Dining.
3. Typical 3 panel door with raised beads.

PLANS/FILE No. 386553 /A
 Received ACT Building Control
 21 DEC 1998
 ACT GOVERNMENT

| DATE | AMENDMENTS |
|---|---|
| Proposed Alteration + Addition <small>Sch 2 2.2(a)(ii)</small> RESIDENCE Block: Section: FORREST | |
| INTERNAL DETAILS TO BE MATCHED | |
| scale 1:100 | 15 Dec 1998 |
| ROSS FELLER ARCHITECT 63 EUREE ST REID ACT 2612 fx (02) 6248 0921 ph (02) 6248 0775 | |
| 9718 | BUILDING APPLICATION drawing no. 14 |

DESIGN & SITING
 OFFICE
 11 JAN 1999



PHOTOS INDICATE

Typical EXTERNAL FINISH details which are to be matched, such as:

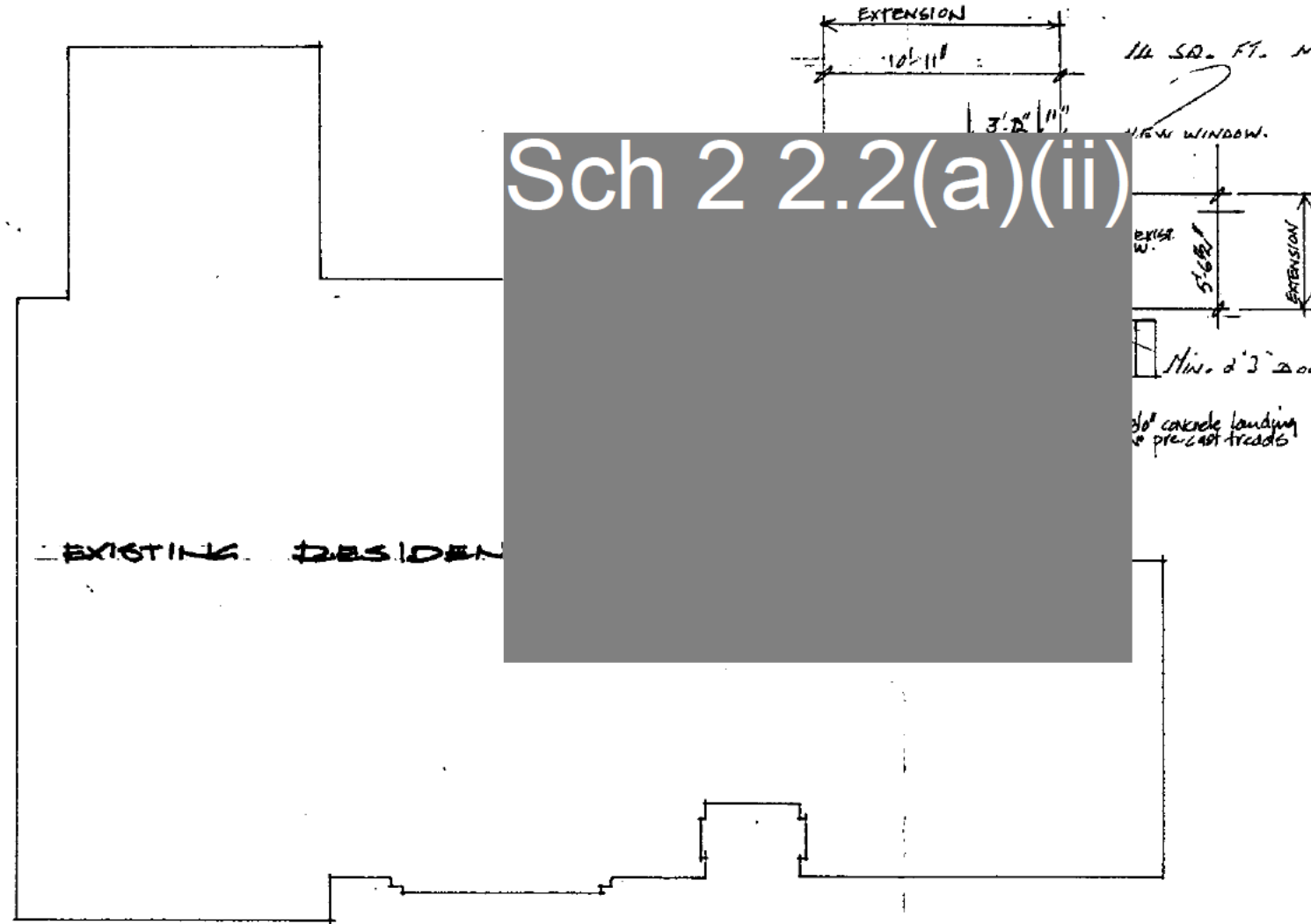
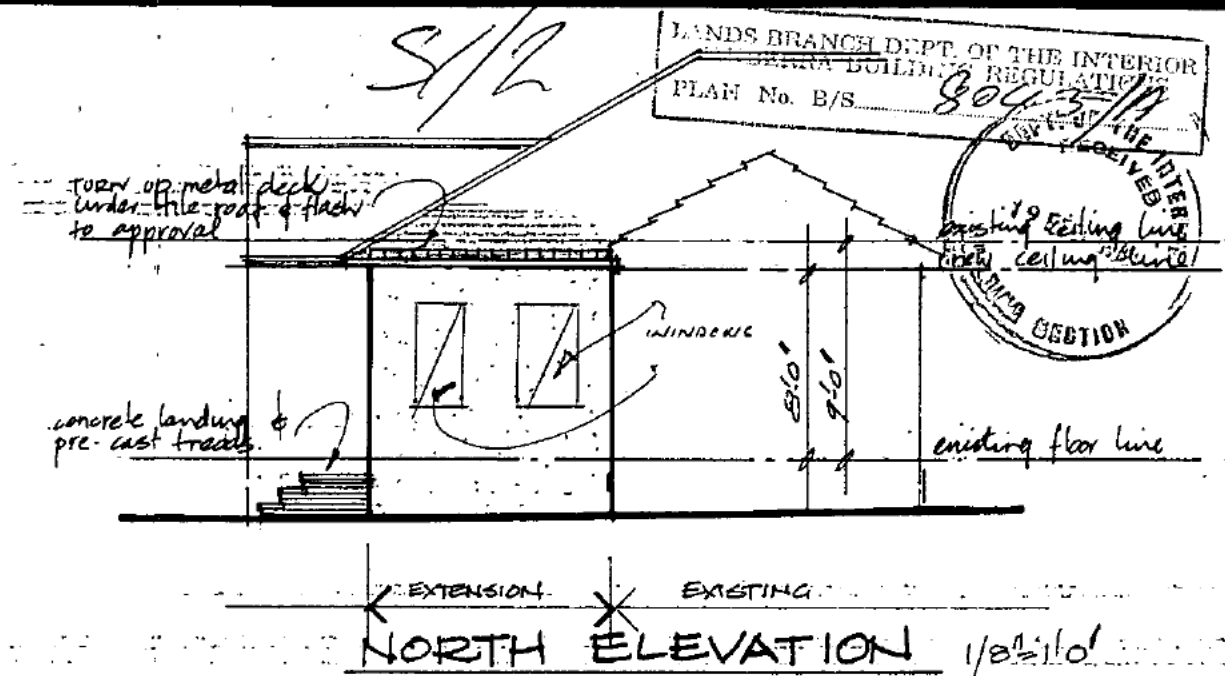
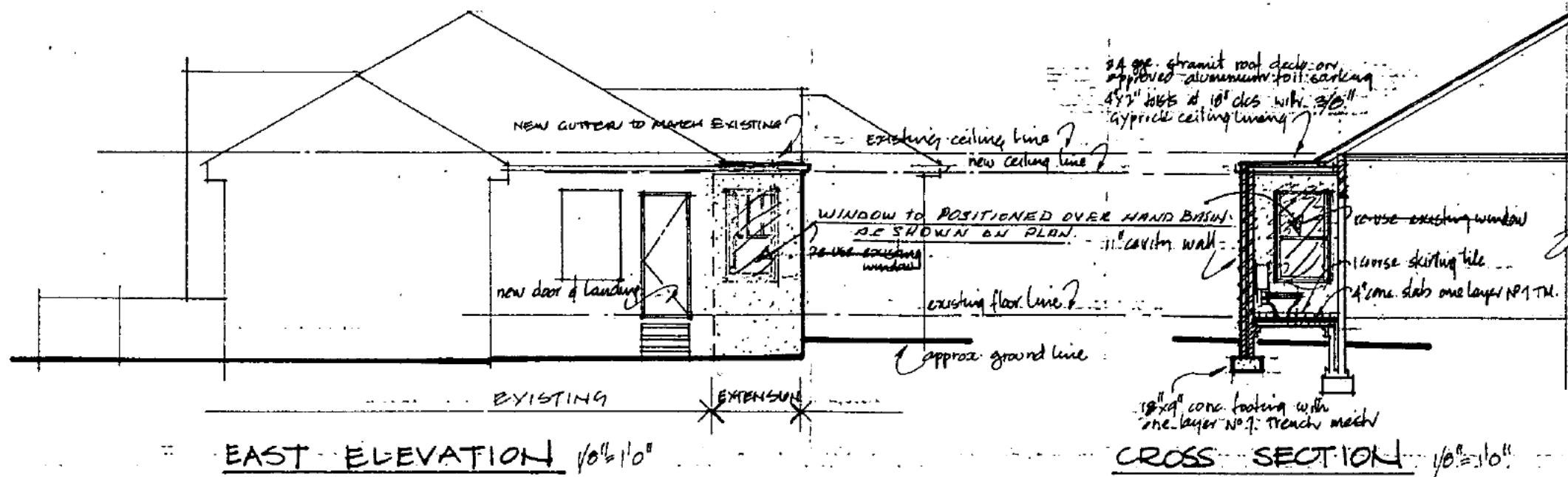
1. Expressed dado line between face brick and the character of the textured render
2. The Art Deco stepped smooth renderings with inset terra cotta feature tiles
3. Air bricks, as well as the Face bricks around the Lounge window which are to be stripped back and matched on the UFL
4. FC linings to eaves and associated timber trimming battens.
5. Guttering, rectangular section downpipes, timber back plates and DP astragals.

PLANS/FILE No. 386583/A
 Received ACT Building Control
 21 DEC 1998
 ACT GOVERNMENT

DESIGN & SITING
 OFFICE

11 JAN 1999

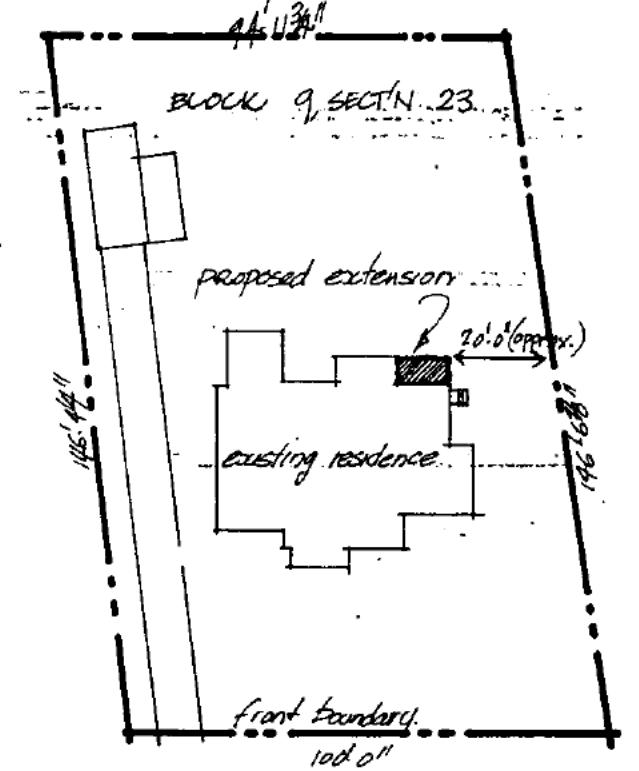
| DATE | AMENDMENTS |
|--|-------------------------------------|
| | |
| Proposed Alteration + Addition <small>Sch 2.2.2(a)(ii)</small> RESIDENCE Block Section: FORREST | |
| EXTERNAL DETAILS TO BE MATCHED | |
| scale 1:100 15 Dec 1998 | |
| ROSS FELLER ARCHITECT 63 EUREE ST REID ACT 2612 fx (02) 6248 0921 ph (02) 6248 0775 | |
| 9718 | BUILDING APPLICATION drawing no. 15 |



Sch 2 2.2(a)(ii)

GENERAL SPECIFICATION

- THE WHOLE OF THE WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE "CANBERRA BUILDING REGULATIONS"
- CONCRETOR:** STRIP FOOTINGS TO BE 13" x 9" WITH ONE LAYER NO. 7 T.M. FLOOR SLABS 4" MIN. THICK WITH ONE LAYER NO. 7 T.M. SECURELY SUPPORTED ON BRICKWORK.
 - BRICKLAYER:** EXTERNAL WALLS 11" CAVITY CANBERRA COMMONS - RENDER EXTERNAL FACE TO MATCH EXISTING STUCCO. INTERNAL WALLS RENDER 2 COATS & FINISH WITH STEEL TROWEL. PROVIDE NEW OPENINGS AS INDICATED.
 - CARPENTER:** ROOF TO BE CONSTRUCTED WITH 4" x 2" H.W.D. JOISTS AT 18" C/S. SECURE TO 4" x 2" WALL PLATE DAMPST EXISTING WALL & SPIKED TO 4" x 2" TOP PLATE. INTERNAL DOORS TO BE 1 3/8" HOLLOW CORE & EXTERNAL DOOR 1 3/4" HOLLOW CORE WITH TEMPERED HARDBOARD.
 - ELECTRICAL:** SUPPLY & FIX THE VARIOUS LIGHT & POWER POINTS & AN APPROVED HOT WATER SERVICE TO SERVE THE INDICATED FITTINGS ALL TO BE WIRED TO A SEPARATE METER FROM THE EXISTING HOUSE METER.
 - PLUMBER:** SUPPLY & FIX 24" ØE STRAMIT METAL DECK ROOF TO FAN TO GUTTER TO MATCH EXISTING. TURN DECK UP UNDER EXIST. TILE ROOF & LAY ONE LAYER APPROVED DOUBLE SIDED ALUMINIUM FOIL. ALL TO BE FLASHED TO APPROVAL. THE VARIOUS SANITARY FITTINGS (SINK, SHOWER, BATH & WC) WILL BE SUPPLIED BY THE OWNER & THE BUILDER IS TO INSTALL SAME. SUPPLY & FIX ONE COURSE SKIRTING TILES TO ALL WALLS OF SHOWER ROOM & TILE THE WHOLE OF THE FLOOR OF THE SHOWER ROOM.
 - PAINTER:** THE WHOLE OF THE EXTERNAL WALLS & METALWORK IS TO MATCH THE EXISTING WORK. PAINT INTERNAL WALLS OF SHOWER ROOM WITH 2ND COATS APPROVED FULL GLOSS ENAMEL OR BASE PAINT, INCLUDING 3/8" GYPSUM CEILING LINING.



Approval GRANTED as to External Design and Siting

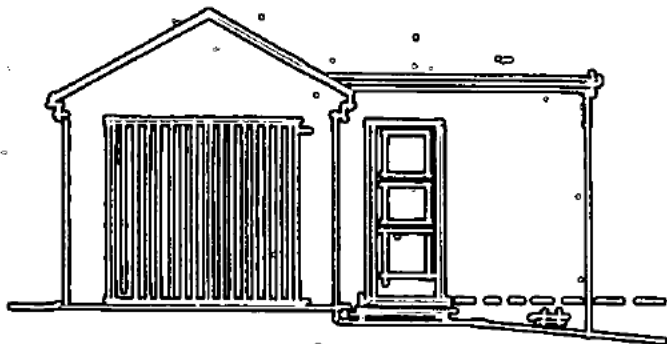
W. Hartman
 Delegate
 NATIONAL CAPITAL DEVELOPMENT COMMISSION

26/2/1968

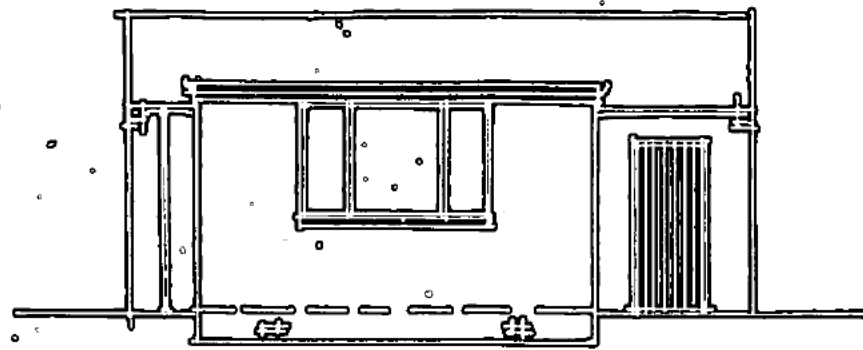
BUILDINGS TO BE CONSTRUCTED IN ACCORDANCE WITH THE CANBERRA BUILDING REGULATIONS AND S.A.A. CODES OR AS DIRECTED.



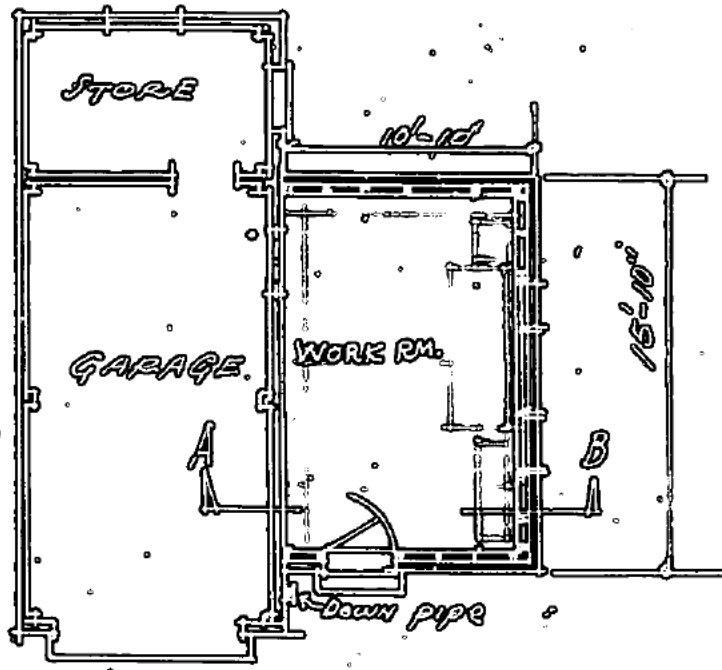
PROPOSED EXTENSION TO RESIDENCE ON BLOCK 9, SECTION 23, FORREST ACT. FOR Sch 2 2.2(a)(ii) NEW SHOWER ROOM
 C.J. COURTNEY ARCHITECT Forrest ACT. scales: As shown date: 19/2/68



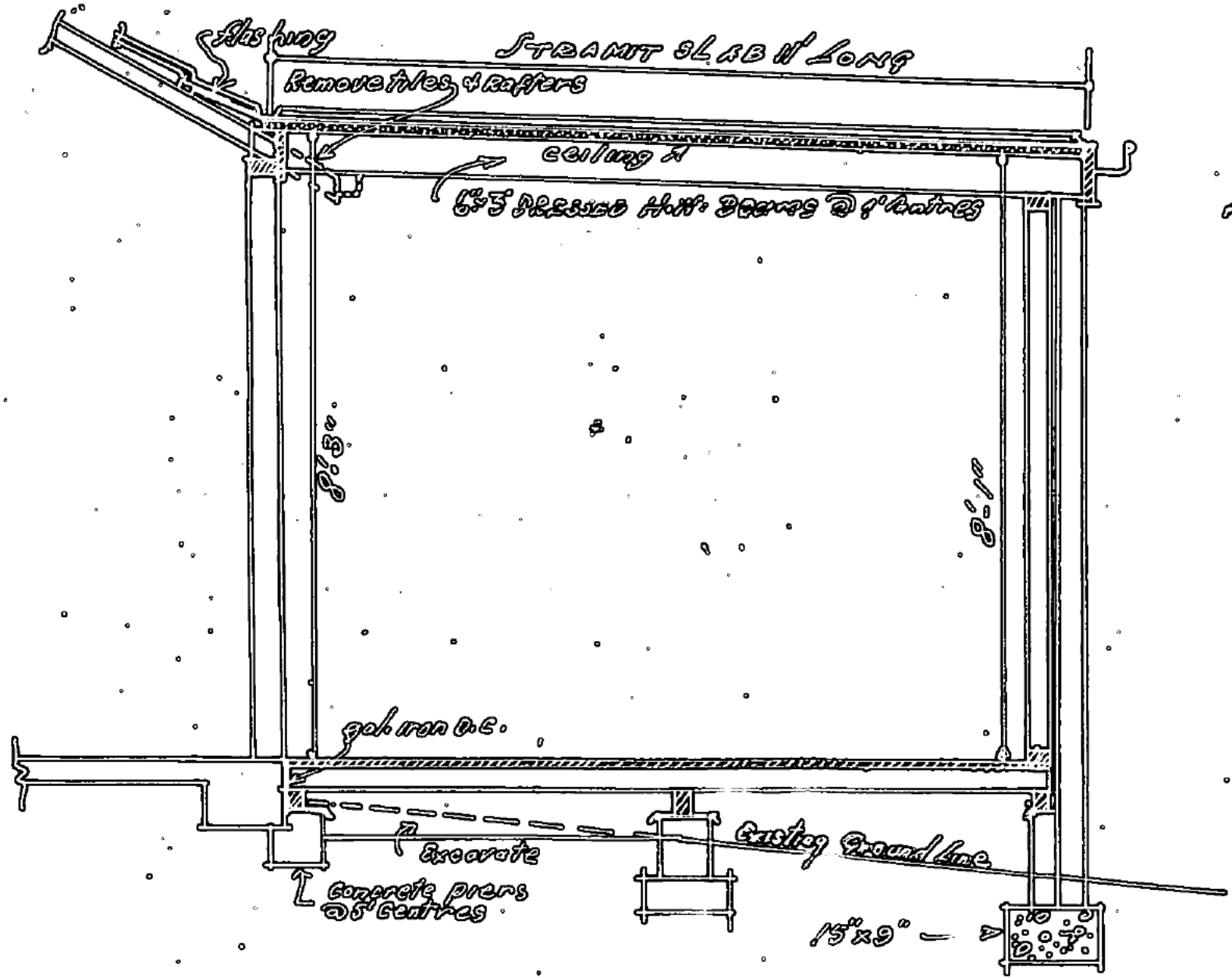
FRONT ELEVATION



SIDE ELEVATION



PLAN



SECTION A-B. SCALE 1/2" = 1 FT.

SCALE 1/8" = 1 FT.

ADDITIONS TO RESIDENCE
For Sch 2 2.2(a)(ii)
FORREST

Col. COURTNEY ARCHT. & A.
ARCHITECT
CANBERRA. 1963.

BUILDING TO BE CONSTRUCTED IN
ACCORDANCE WITH THE CANBERRA
BUILDING REGULATIONS AND S.A.A.
CODES OR AS DIRECTED.

PLANS AND SPECIFICATIONS EXAMINED AND RECOMMENDED
FOR APPROVAL

EXAMINED BY

William Mulhally 30/9/1963
ENGINEER FOR WATER SUPPLY AND SEWERAGE

W. J. Rowe 30/9/1963
CHIEF ELECTRICAL ENGINEER

STRUCTURAL ENGINEER / /19

ARCHITECT AND VALUER / /19

J. G. Lawton 1/10/1962
SENIOR TECHNICAL OFFICER

APPROVED *Barnes* 12 OCT 1963
ENGINEER

NUMBER SIZES TO BE IN
ACCORDANCE WITH S.A.A.
CODES, OR AS DIRECTED

APPROVED BY NATIONAL CAPITAL DEVELOPMENT
COMMISSION AS TO DESIGN AND SPECIFICATIONS
[Signature]
For and on behalf of the Commission
26-9-63

AUSTRALIAN CAPITAL TERRITORY.

CIVIC BRANCH.

DEPARTMENT OF THE INTERIOR

N^o 6093

Building and Services Ordinance 1924-1942.
Canberra Building Regulations.

CERTIFICATE OF COMPLETION.

THIS IS TO CERTIFY that a building has been completed by *F. March.*

on Block [redacted] of Section [redacted] at *Forrest.*

for *Brick Vases Additions to Garage for* [redacted] Sch 2 2.2(a)(ii)

the Lessee of the said Block, in accordance with the plans and specifications approved therefor, and in accordance with the provisions of the Canberra Building Regulations made under the *Building and Services Ordinance 1924-1942.*

Plan No. *8043.*

Dated this *25th* day of *March* 19*64*

[Signature]

Proper Authority.

NEIGHBOUR CONSULTATION Done

DICKSON LODGEMENT SHEET

Lodgement date 21/12/98

NOTIFICATION Start Date/...../ 98 Finish Date/...../ 98

OBJECTIONS NO [] YES [] SUBMISSIONS []

BLOCK .. SECTION .. SUBURB FORREST

Description of work ADDITIONS + ALTERATIONS

| Authority | Date sent | Date returned |
|------------------------------|-------------------------------------|---------------|
| DESIGN & SITING | <input checked="" type="checkbox"/> | / / |
| ELECT. SEWERAGE & WATER | <input checked="" type="checkbox"/> | / / |
| STORMWATER | <input checked="" type="checkbox"/> | / / |
| DRIVEWAYS (ROAD MAINTENANCE) | <input checked="" type="checkbox"/> | / / |
| DRIVEWAY APPLICATION FORM | <input type="checkbox"/> | / / |
| HERITAGE | <input checked="" type="checkbox"/> | / / |
| OTHER | <input type="checkbox"/> | / / |

CHECKLIST

| | |
|---|-------------------------------------|
| L and Ds copied by duty officer | <input checked="" type="checkbox"/> |
| Floor area and Value of work | <input checked="" type="checkbox"/> |
| Plans 1/2 & 2/2 have: Energy rating | <input checked="" type="checkbox"/> |
| Developers approval | <input checked="" type="checkbox"/> |
| Other (technical check at back of this sheet) | <input checked="" type="checkbox"/> |

REASONS FOR NOTIFICATION

| | |
|--|-------------------------------------|
| Within 6.0m or 4.0m of front boundary | <input type="checkbox"/> |
| Within 1.5m of side boundary | <input type="checkbox"/> |
| Within 3.0m of rear boundary | <input type="checkbox"/> |
| Proposals area collectively greater than 75m | <input type="checkbox"/> |
| Single storey over 6.5m in height | <input type="checkbox"/> |
| Two storey | <input checked="" type="checkbox"/> |
| Structures with FFLs over 1.8m above NGL | <input type="checkbox"/> |
| Demolition | <input type="checkbox"/> |
| Inspection appears to be required | <input type="checkbox"/> |

Plans Checked by TRINA Date 6/1/98 99

DETAILS PLANS LODGED @ MITCHELL

COUNTER INFORMATION FROM OR GIVEN TO APPLICANT

~~_____~~

CHECKLIST FOR PLAN APPROVAL

SITE PLAN

- Scale 1:200
 - True North
 - The dimensions and area of block
 - Natural ground contours at 0.5 intervals related to Australian Height Datum (AHD)
 - Finished Floor Levels (FFL) to (AHD)
 - The location of all structures on the block
 - The distance of proposed structures to boundaries
 - All significant vegetation on the block, identifying any that is to be removed
 - The intentions for the treatment of areas not built on, such as driveways car parking areas, Private Open Space (POS) and service areas.
 - Any structures to be demolished
 - Calculations of the gross floor area, private open space
- Private open space means an outdoor area within a *block* useable for outdoor living activities, and may include *balconies*, terraces or decks but does not include any area required for the parking or manoeuvring of motor vehicles; up to 25 per cent of any part of *private open space* may be roofed over, except that a *balcony* may be entirely roofed over.
- Acthers energy rating (for all residences built after 27 November 1995 including amendments and additions to these residences)
 - Any other information required by special development conditions
 - Services areas, clothes lines etc
 - Easements
 - Existing and proposed driveways
 - Retaining walls height above Natural Ground Lev
 - Verge, including street trees, driveways(existing &

FLOOR PLAN

- Scale 1:100
- Floor levels in each building
- Sufficient dimensions to execute the work
- Room sizes
- The proposed use of each space in the building
- The finished floor level of each floor relative to th
- Acthers energy rating

ELEVATIONS (each face of building)

- Scale 1:100
- Natural ground lines (NGL)
- Finished ground lines including retaining walls and cut and fill adjacent to the structure
- Finished floor levels (FFL) and ceiling heights
- Height of structure from NGL to eaves level
- Acthers energy rating
- External materials and finishes including: roof and

SECTIONS THROUGH STRUCTURES

- Natural and finished ground lines
- Height from natural ground to finished floor and f
- Floor, wall and ceiling insulation
- Elements of construction, and applicable Australia
- Retaining walls with heights above NGL

ROSS FULLER

62480775

986583(A)

WAITING ON
HERITAGE
SITE
INSPECTION
REQUIRED
TUESDAY
16/2/98

CHASSED HERITAGE
2/3/99. ADVISED
TODAY OR TOMORROW
2/3/99

Residential Development Facsimile Message

| | |
|---------------|----------|
| Attention: | ANDREW |
| Org /Address: | HERITAGE |
| Fax No: | 72200 |
| Phone No's: | |
| No of Pages: | 3 |

| | | | |
|------------|----------|------------|----------------|
| Reference: | Block .. | Section .. | Suburb FORREST |
|------------|----------|------------|----------------|

| | | | |
|------------------------------|----------------|------|----------|
| From: | NICKI DI-CAMPU | | |
| Residential Development | | | |
| Planning & Land Management | | | |
| Department of Urban Services | | | |
| Phone: | 62071931 | Fax: | 62071928 |

Message: PLEASE FIND FOLLOWING COPY
OF APPLICANTS RESPONSE TO TREES
AS DISCUSSED
CAN YOU PLEASE HAVE A LOOK + GET
BACK TO ME

THANKS

If you require any further information please contact me on (ph) 62071931 (fax) 62071928

Regards Nicki

Date 8.13.99

**Ross Feller ARCHITECT**

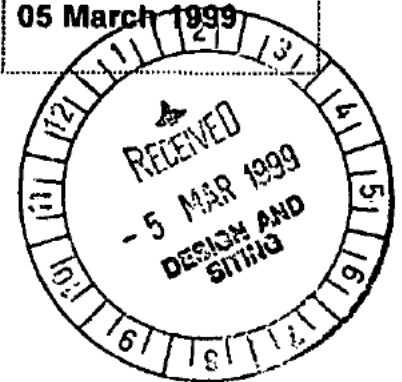
63 Euree Street REID A.C.T. 2812 AUSTRALIA

e-mail...rossfelr@webone.com.au

facsimile: (02) 6248 0921 telephone: (02) 6248 0775

JOB No: 9718

| | | | |
|------------|---|-----------|---------------|
| ATTENTION: | Ms Nicki Dicampli | FACS. No: | 6207 1928 |
| COMPANY: | Technical Officer Residential Developments PALM | PAGE 1 of | 2 |
| SUBJECT: | Block: Section: FORREST | DATE | 05 March 1999 |



Dear Ms Dicampli,

re: Plan no 986583/A
lodged for approval on 21/12/98 at Mitchell

Following our discussions over the last few days I am writing to clarify my clients commitment to maintaining the current mature vegetation in front of the facade along the Furneaux St boundary. I would be interested to see the actual comments from Heritage, in particular their concern for a management plan for the front trees.

At the time of the Pre Application meeting last Winter, two of the three mature conifers looked to be diseased and hence gave rise, I believe, to Heritage's initial concern. As I mentioned to you in our conversation; in July of last year a report on the health of these trees and a plan of management was commissioned by my client from *Canopy The Tree Experts* who undertook a survey of all the trees and eventually sent leaf specimens to NSW Botanic Gardens for lab identification of pests and advice. They provided a copy of the lab report and telephone advice on management, but seemed uninterested or too busy to commit to paper a formal proposal and quotation for treating the trees. After months of intermittent telephone calls requesting a proper quote (by which stage the trees had undergone strong Spring growth and seem to be in good health) we decided not pursue their services further.

From our conversation I understand there to be two management issues you wish to be addressed, i) the protection of the landscape during construction and ii) the landscape maintenance post construction.

During Construction: In drafting the conditions of tender I will call for the fencing-off of the front boundary trees across the whole site. While there will need to be access between the trees to replace domestic stormwater line, all care will be taken to position this new line so as to minimise root disturbance to the mature trees. No heavy machinery nor storage of building materials will allowed within the fenced zone. All building material deliveries and storage will be confined to the current driveway and to the rear of the block where most of the construction works will be taking place.

Post Construction:

My client is committed to maintaining the current dense mature conifer planting along the front boundary, not least because it provides a screen and privacy from the headlights of traffic driving up Murray Cres. Provided these trees continue to exhibit their current healthy state, there would appear to be no more maintenance needed than the trimming out of naturally occurring deadwood and the occasional feeding and watering. The current driveway along with proposed new garage will be capable of standing upto six vehicles, I am assured there is no desire on the part of my client to provide car park spaces in front of the facade or under the canopy of the front conifers.

In the context of the whole site, the client wishes to see construction commence and then review their budget before committing to an overall landscape plan for the property. Ideally this would include lifting the current solid concrete driveway surface and replacing it with smaller unit pavers. We will provide you a copy of such a plan when it is commission should you so require.

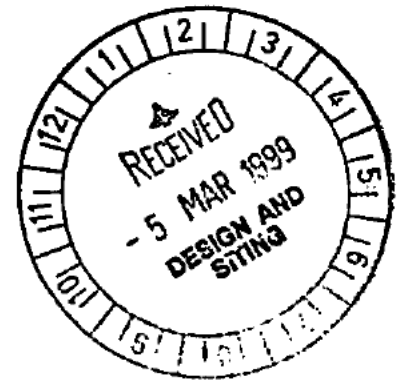
I trust this letter covers the issues raised by Heritage and your department, and that you are able to now complete the Building Application. Please call me if I can provide any other assistance.

Yours sincerely



Ross Feller

cc Sch 2 2.2(a)(ii)





ACT Heritage Council

FAXED
 19 JAN 1999
 by A. Tapp

HERITAGE ADVICE

Assistant Manager
 Applications Secretariat
 Dickson
 Fax: 6207 7762

Attention: Geeta Bakaya

DARTS reference: 986583/986585

Heritage reference: 9/23 Forrest

Date received by Heritage Section: 19 January 1999

| Unit | Block | Section | Division / District |
|------|-------|---------|---------------------|
| | | | Forrest |

Status of place: Listed on Interim Heritage Register

Description of building work: Residential

Extensions to dwelling including addition of upper storey

Council advice: Yes Public notification was required: Yes

Pursuant to s.229(4) of the *Land (Planning and Environment) Act 1991*:

- The Council has no comments on this application.
- The Council comments that there are heritage issues involved with this development application and requests that you defer a decision on this application until you receive comments from the Council.
- The Council's comments about this application follow:

Kathy Binns
 Secretary
 ACT Heritage Council

Date: 4/3/99

Kathy Binns

Phone: 6207 7378



ACT Heritage Council

STATEMENT OF REASONS - COMMENT ON APPLICATION NO 986583/986585 FINDINGS ON MATERIAL QUESTIONS OF FACT

THE PROPOSAL

Two storey addition to existing dwelling

Characteristics of the surrounding area

Block Section Forrest is on an interim Heritage Places Register and is part of the Blandfordia 5 Precinct. The Blandfordia 5 Precinct is to be conserved as a low density residential and landscape precinct of cultural significance. The original fabric of the place is to be conserved as much as possible. For the purposes of this policy "original" means before 1940.

External alterations and additions to existing dwellings shall be consistent with the existing landscape and streetscape values and reflect and complement the architectural style of the original dwellings. This includes alterations to external finishes and changes including painting and adding or removing rendering.

Minor external alterations may be made to the front of dwellings where, in the opinion of the Heritage Council, the proposed works will not adversely affect the significance of the place.

COUNCIL COMMENTS

Council provided comments on the draft plans for this development on 30/7/98.

Council notes that several of the comments provided at that time have been acted upon. Only the following issue needs to be addressed:

- As the existing trees along the Furneaux Street make an important contribution to the streetscape and provide a screen to the house from Murray Crescent, professional advice should be sought to ensure a continuing management program to rejuvenate the trees. Council requests that a landscape plan, tree survey and management plan for the significant trees be provided, as advised previously.

RECOMMENDATION

Subject to the acceptance of the above requested information, the Council advises that there are no objections to this proposal.

REASONS FOR THE COMMENT

- the development application is for an interim Heritage Listed Place.

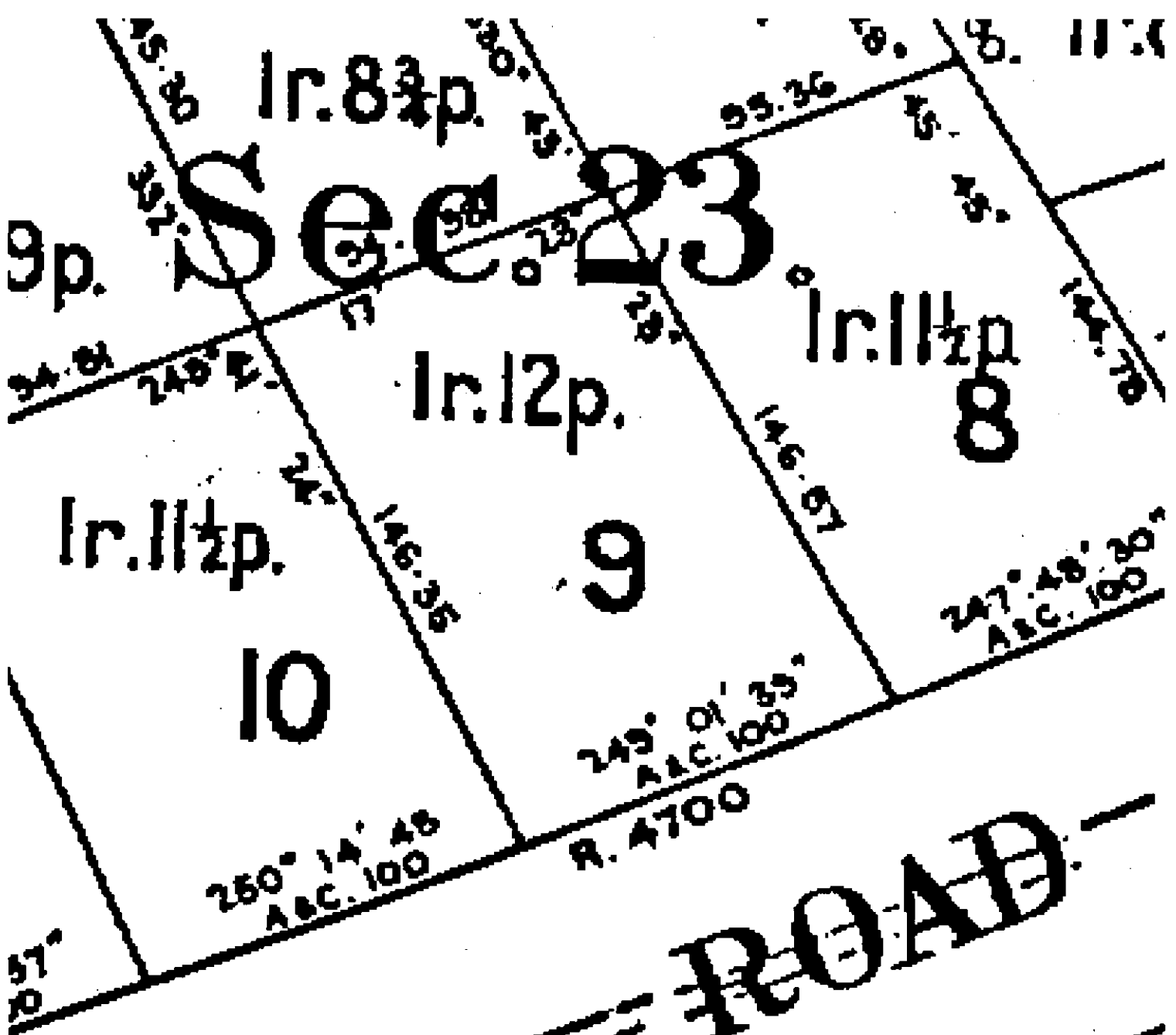
EVIDENCE

The above Comment, Findings and Reasons are based on consideration of the following material:

- Blandfordia 5 Precinct Citation
- Development Application No 986583/986585. (including supporting plans submitted with the application)



Kathy Binns
Secretary
ACT Heritage Council
9 March 1999



ORNEAUX ROAD



Ross Feller ARCHITECT

63 Euree Street REID A.C.T. 2612 AUSTRALIA

e-mail...rossfeller@webone.com.au

facsimile: (02) 6248 0921 telephone: (02) 6248 0775

JOB No: 9718

| | | | |
|-------------------|--|------------------|----------------------|
| ATTENTION: | Mr Andrew Senger | FACS. No: | 6207 1928 |
| COMPANY: | Manager D+S Unit PALM | PAGE 1 of | 1 |
| SUBJECT: | Block: [REDACTED] Section: [REDACTED] FORREST | DATE | 03 March 1999 |

Dear Andrew,

**re: Plan no 986583/A
lodged for approval on 21/12/98 at Mitchell**

I was pleased to hear that no objections were received from the Public Notification process on the above proposal.

I rang again yesterday to ascertain how much longer before a decision will be made and was told that your dept. is still waiting for Heritage to forward its comments. As they have been involved on this proposal since our initial meeting in July last year, do you think you might be able to get them give some immediate understanding of:

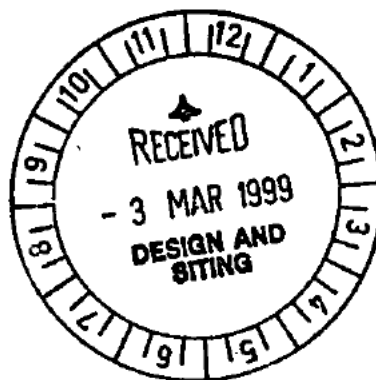
- 1 where their thoughts on this project lie ?
- 2 how much longer before they will complete their response. ?
- 3 when, therefore a decision might be known. ?

I anticipate seeing my client tomorrow evening and would greatly appreciate being able to inform them of the current status of their proposal.

Yours sincerely

Ross Feller

cc [REDACTED]



SINGLE DWELLING DESIGN & SITING CHECK-LIST

This check-list is based on the provisions of the Residential Design and Siting Code for Single Dwellings in the ACT (Appendix III.1 of the Territory Plan). Please refer to that Code for further detail and for definitions of the terms shown in bold type. Failure to comply with the Performance Controls may result in the application being refused or subject to conditional approval.

BLOCK [REDACTED] SECTION [REDACTED] SUBURB **FORREST**

PROPOSAL: **ADDITIONS + ALTERATIONS**

| SPECIFIC ITEMS OF RELEVANCE | Y N | NOTES |
|---|--------|----------------|
| <p>Is Neighbour Consultation required? If so, were any submissions lodged?</p> <p><i>(Note: ALL single dwelling applications require N/C except those that are: single storey, within the envelope, do not increase GFA by more than 75 sq.m. and are no higher than 6.5m above NGL at any point)</i></p> | Y | NO SUBMISSIONS |
| Heritage Public Notification (if required) | Y | |
| Do "Streetscape Guidelines" apply? | N | |
| Compliance with Lease and/or Development Conditions, including Developer's approval if required | N/A | |
| ACTHERS Assessment by accredited assessor, Minimum 4 Star Rating (10+ points) for all new dwellings | N/A | |
| <p>NOTE: If this application is for additions or alterations to a residence that was first approved after 1 July 1995 the additional work may affect the original rating and will require a new rating.</p> | | |
| RL's, Finished Floor Levels for all structures and contours at 1/2 metre intervals - where proposals are close to maximum permitted levels (1.5 above NGL or greater) a survey by a registered surveyor may be required | Y | |
| Are any retaining walls required within the minimum setbacks | N | |
| Are there facilities for creating a separate dwelling (eg; additional sinks, laundries, separate areas of buildings not accessible from the main dwelling) | N | |
| Stormwater Detention (if required) | N/A | |
| Driveway Clearance - for additional driveways or where required by L & D's | N/A | EXISTING. |

| DOES THE BUILDING COMPLY WITH THE FOLLOWING PERFORMANCE CONTROLS? | Y N | NOTES |
|--|---|-----------------|
| <p>1. - BUILDING HEIGHT Performance Criteria</p> <p>P1.1 Buildings to be limited in height to ensure compatibility with adjacent development.</p> <p>D1.1 Buildings not exceeding two storeys in height. (Note that attics and basements as defined may be permitted additionally.)</p> <p>D1.2 Maximum height of walls - 7.5 metres above natural ground level except walls specifically limited in height, in relation to side or rear block boundaries, in accordance with D3.4 below.</p> <p>(Note: ALL Finished Floor Levels must be shown to A.H.D.)</p> | <p>Y</p> <p>Y</p> <p>Y</p> | |
| <p>2. BUILDINGS IN RELATION TO FRONT BOUNDARIES Performance Criteria</p> <p>P2.1 The setback from the street frontage to be appropriate to the streetscape character, the efficient use of the site and the amenity of residents.</p> <p>P2.2 The location and design of garages and carports to minimise detriment to the streetscape and to not dominate the view of the dwelling from and to the street.</p> <p>P2.3 The location and design of courtyard walls to enable the efficient use of front garden space, taking into account the amenity of the street.</p> | <p>Y</p> <p>Y</p> <p>N/A</p> | |
| <p>D2.1 Minimum setback of buildings from street front boundary:</p> <p>All street frontages:</p> <ul style="list-style-type: none"> • lower floor level - 6 metres • upper floor level - 7.5 metres <p>except: one street frontage of corner blocks over 650 square metres:</p> <ul style="list-style-type: none"> • lower floor level - 4 metres • upper floor level - 6 metres | <p>Y</p> <p>Y</p> <p>N/A</p> <p>N/A</p> | <p>EXISTING</p> |

- or** on subdivisions of land not previously developed for urban purposes approved after the date on which this Plan comes into effect - 4 metres
 - or** on the longer of the two street frontages of corner blocks up to 650 square metres in area - 3 metres
 - or** as shown on an implementation plan, a group development scheme or development conditions included in a lease or an agreement collateral to a lease;
- provided that - dwellings should not have blank walls facing a street frontage.*

D2.2 Minimum setback from other front boundary :

Public reserve or pedestrian way, where

6 metres wide or greater - 4 metres

otherwise in accordance with the side and rear boundary setback provisions in Section 3 of this Code.

D2.3 Front Boundary to Major Road

On subdivisions of land not previously developed for urban purposes on which this Plan comes into effect, each block adjacent to a road with carriageway width 7 metres or more to have minimum 4 metre wide landscape strip, landscaped to the satisfaction of the Authority, within the block and adjacent to the boundary with such a road. Notwithstanding clause D2.5 (Courtyard Walls) below, no buildings, including fences and walls apart from retaining walls, are permitted within the landscape strip. Uncovered car spaces will only be permitted within the landscape strip if on a driveway leading directly to a garage or carport in a location not obstructing access to any other dwelling.

D2.4 Garages and Carports

Garages and carports, where within 15 metres of a front boundary, of the same or similar materials as the front of the dwelling.

and, on subdivisions of land not previously developed for urban purposes approved after the date on which this Plan comes into effect:

where facing the front boundary, setback from the front boundary by at least 5.5 metres

or otherwise as shown on an implementation plan, a group development scheme or development conditions included in a lease or an agreement collateral to a lease.

N/A

N/A

N/A

N/A

N/A

N/A

N/A

Total width of garages and carports not to exceed 50% of the width of the block, measured at the building line, except for garages or carports behind or underneath a dwelling.

N/A

D2.5 Courtyard Walls

No fences or walls within the minimum setback (see D2.1) from a front boundary,

N/A

except gates not more than 1.8 metres high in established, vigorous hedges,

or as shown on an implementation plan, a group development scheme or development conditions included in a lease or an agreement collateral to a lease,

or where:

- the total length of the wall does not exceed 50% of the width of the block, or 70% in the case of blocks less than 12 metres wide, at the line of the wall, ;
- the minimum setback of the wall from the front boundary is not less than 50% of the relevant minimum setback from D2.1;
- the height of the wall does not exceed 1.8 metres;
- the wall is constructed of brick, block or stonework, any of which may be combined with feature panels;
- the area between the wall and the front boundary is planted with appropriate shrubbery,

provided that the walls:

- do not inhibit vehicular entry or affect sight lines in accordance with AS 2890.1 - 1986, The Australian Standard for Off-Street Parking;
- are consistent with and do not detract from the established character of the street.

N/A

3 - BUILDINGS IN RELATION TO SIDE AND REAR BOUNDARIES

Performance Criteria

P3.1 The privacy of dwellings and private outdoor spaces to be protected.

P3.2 Dwellings to be sited to enable their northern facades to receive adequate sunshine in winter.

P3.3 Dwellings to be sited to ensure good sunlight access to their main private open space.

P3.4 Buildings to be sited to minimise overshadowing of northern facades of adjacent dwellings and private outdoor spaces.

P3.5 Building walls to be sited and to be of length and height to ensure no significant loss of amenity to adjacent dwellings and private open spaces.

4
4
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4

Performance Measures

D3.1 Minimum Setbacks from Side and Rear Boundaries

(Note that where there is any conflict between setback requirements for a particular wall, the larger setback dimension applies)

Except as provided for under D3.2 Allowable Encroachments and D3.3 Building to the Boundary,

or as shown on an implementation plan, a group development scheme or development conditions included in a lease or an agreement collateral to a lease, minimum setbacks from side and rear boundaries as follows:

A. Lower floor level (LFL) - Setback

- a) One only side boundary:
(if no zero setback boundary nominated) all buildings - 1.5 metres
- b) Other side or rear boundaries:
all buildings - 3 metres

B. Upper floor level (UFL) - Setback

- a) Blank walls, windows with sill heights over 1.7m or with obscure glazing, screen walls:
 - up to 12m behind UFL building line - 3 metres
 - over 12m behind UFL building line - 6 metres
- b) Other walls, outer faces of unscreened decks, balconies and external stairs:
 - up to 12m behind UFL building line - 6 metres
 - over 12m behind UFL building line - 9 metres

N EXISTING GARAGE
N TERRACE APPROX 1.2m ABOVE NGL 2.4m FROM BOUNDARY.
N/A
N/A
Y
N ↓ ENSUITE 3 Bed 3, STUDY & WINDOWS ENCRACH

D3.2 Allowable Encroachments

The following may be located within a stated minimum setback from a side or rear block boundary (subject to Building Code of Australia requirements):

- fences not more than 1.8 metres high above natural ground level; retaining walls not more than 0.4 metres above natural ground level; roof eaves and fascias; gutters; downpipes; window shades and screens; light fittings; chimneys; flues; pipes; domestic fuel tanks; cooling or heating appliances or other services;

N/A

and, subject to Neighbour Consultation where required;

- part of a straight section of wall where that part of the wall contains no windows, is at an angle to the side or rear boundary, the encroachment is not greater than 50% of the required setback and the average setback of the wall is greater than the minimum required setback.

D3.3 Building to the Boundary

Blank walls built on the boundary, where permitted by development conditions included in a lease or an agreement collateral to a lease:

- wall must be on or within 20 millimetres of the boundary, or no closer than 900 millimetres to the boundary;
- a fin wall is required for any lateral opening closer than 1.5 metres to a boundary.

D3.4 Height of Walls

Height of walls where permitted on a side or rear boundary (other than party walls or paired walls) not to exceed - average 3 metres and maximum 4 metres

Maximum height of walls otherwise - 7.5 metres

Average height of walls, except within 12 metres from the upper floor level building line, or as shown on an implementation plan, a group development scheme or development conditions included in a lease or an agreement collateral to a lease, not to exceed:

- 3 metres plus 1 metre for each 2 metres setback from a side or rear boundary

N/A

N/A

N/A

4

EASTERN ELEVATION EXCEEDED BY 700mm

4 - PRIVATE OPEN SPACE

Performance Criteria

- P4.1 Private open space areas to be of dimensions to suit the projected requirements of the dwelling occupants and to accommodate both outdoor recreation needs as well as providing space for service functions such as clothes drying and domestic storage.
- P4.2 Part of the private open space to be capable of enabling an extension of the function of the dwelling for relaxation, dining, entertainment, recreation and children's play, and be directly accessible from the dwelling.
- P4.3 Location of private open space to take account of outlook, natural features of the site and neighbouring buildings or open space and to provide for maximum year round use.

4

4

4

Performance Measures

The following will be normally considered to meet the Objectives and Performance Criteria:

Minimum Dimensions of Private Open Space

D4.1 Minimum area of private open space as a percentage of the area of the block:

- blocks of up to 450 m² area - 35%
- blocks of over 450 m² area - 40%

D4.2 Minimum dimension of:

- at least 50 per cent of the total required private open space - 6 metres
- balconies - 1.8 metres

Location of Private Open Space

D4.3 A portion of private open space of minimum dimension 6 metres to be:

- adjoining a main living room of the dwelling and directly accessible from it; and
- not to be located to the south, south-east or south-west of the dwelling.

N/A
4
BLOCK 1316m²
APPROX 527m²
REQUIRED
4
N/A

5 - VEHICLE PARKING AND ACCESS

Performance Criteria

P5.1 Resident and visitor carparking to be provided according to projected needs of the dwelling and taking into account:

- the safety of pedestrians, cyclists and vehicles;
- the provision of public carparking easily accessible to visitors;
- the effect of sloping land in reducing parking opportunities;
- efficient location and use of car spaces and accessways including adequate manoeuvrability for vehicles between the street and the block.

P5.2 Garages and carports to be located and designed to maintain streetscape amenity, compliment dwelling design and allow surveillance of the street from within dwellings.

4
4
4
4
4

Performance Measures

The following will be normally considered to meet the Objectives and Performance Criteria:

Minimum Number of Parking Spaces

D5.1 Provision within the block of at least two carparking spaces, neither of which is to be closer than 7.5 metres to the kerb line of any adjoining road with carriageway width 7 metres or more, or 5.5 metres to the kerb line of any other road. The spaces may be in tandem and one of them is to be capable of being covered.

Minimum Dimensions of Parking Spaces

- D5.2 . Single covered space - 6m x 3m
- . Double covered space - 6m x 5.5m
- . Hardstanding space - 5.5m x 2.6m

Sightlines

D5.3 As specified in AS 2890.1 - The Australian Standard for Off-Street Parking

Garages and Carports

D5.4 In accordance with sections 2 and 3 of this Code.

Y

NA

Y

NA

VERY LONG DRIVEWAY

Y

Y

PROPOSED GARAGE

6 - EXTERNAL APPEARANCE OF BUILDINGS

Performance Criteria

- P6.1 Use of highly reflective wall and roof finishes to be avoided.
- P6.2 Structures, plant and equipment situated on or visible above roofs to be so located and treated as to be as inconspicuous as possible.

Performance Measures

The following will be normally considered to meet the Objectives and Performance Criteria:

External Materials

D6.1 Metal roofing and metal walling painted or pre-coloured other than in white to off-white colour range

Structures above Roofs

D6.2 Structures¹ necessary under the Building Code of Australia and solar energy devices, television antennae, a single radio mast or aerial on a free standing structure at the rear of the main building, evaporative cooling or air conditioning devices.

1 Conditions in respect to type, position, size, height or appearance may be imposed.

Y

TO MATCH EXISTING

NA

NA

NA

7 - GROUP DEVELOPMENTS

Performance Criteria:

P7.1 Design & Siting applications for group developments (ie 2 blocks or more) of blocks with <15m frontage to be accompanied by certification from Developer that individual proposals comply with an Authority-approved Streetscape Plan or Integrated Development Plan, or will be assessed against the following Performance Criteria and Performance Measures.

- Location, orientation and design of garages & carports to minimise their impact on the streetscape and to provide visual variety
- Scale and setback of houses from street to be compatible but to provide visual variety
- Courtyard walls & planting to street frontages to be consistent but to provide visual variety
- External treatment of buildings (colours, roof forms, decorative elements) to be compatible but to express some differentiation between dwellings (except for duplexes)
- Avoid strong & discordant colours and mismatched roof forms
- Pair driveways where possible and minimise total widths of driveways

Performance Measures:

The following will be normally considered to meet the Objectives and Performance Criteria:

D7.1 On subdivisions of land not previously developed for urban purposes approved after the date on which this Plan comes into effect, except on roads with carriageway width more than 7m, setback of garages and carports from front boundary where the side wall of the garage or carport faces that boundary may be reduced to 2 metres for no more than 50% of dwellings in the development, provided that the side wall is of similar materials to the external wall of the dwelling on the block and that the area between the wall and the front boundary is planted with appropriate shrubbery.

D7.2 Setback Performance Measures for side and rear block boundaries within a group may be modified where the relevant Performance Criteria (P3.1 - P3.5) are met.

D7.3 Location (or provision) of courtyard walls should be varied within the development; walling materials and landscaping should be generally consistent within the development.

N/A



NOTES:

| Signature: | Project Officer's Name | Designation: | Date: |
|------------|------------------------|--------------|-------|
| | NICKI DI-CAMPI | ASOG | |



PO Box 1036 Tuggeranong
ACT 2901 Australia
T (06) 207 2417 • F (06) 207 2200

**AUSTRALIAN CAPITAL TERRITORY
INTERIM HERITAGE PLACES REGISTER**

For the purposes of s.54(1) of the *Land (Planning and Environment) Act 1991*, a citation for:

BLANDFORDIA 5 , GRIFFITH/FORREST/RED HILL

For the purpose of s. 58(2) of the *Land (Planning and Environment) Act 1991*, a citation was prepared by the ACT Heritage Council including Blandfordia 5, Griffith/Forrest/Red Hill in an interim Heritage Places Register on 14 June 1996. As a result of appeal proceedings heard by Land and Planning Appeals Board the citation was amended, the attached document reflects those decisions.

Enquiries about this place may be made by contacting:

The Secretary
ACT Heritage Council
PO Box 1036
TUGGERANONG ACT 2901

Telephone: (06) 207 2166 Facsimile: (06) 207 2200

INTERIM HERITAGE PLACES REGISTER

CITATION

BLANDFORDIA 5, GRIFFITH/FORREST/RED HILL

LOCATION OF PLACE:

- a) Area bounded by Bougainville Street, Arthur Circle, Stokes Street, Monaro Crescent and Flinders Way.
- b) **Forrest:** To rear property boundaries of Section 23, Blocks 7-12 ; to front property boundaries of Section 43, Blocks 6-15 and Section 44, Block 15
Griffith: all Blocks Sections 2, 3, 4, 5, 6, 7, 8, 10, 11, 12, 13.; to front property boundaries of Sections 97, 88, 98
Red Hill: To front property boundaries of Blocks 1-4 & 20 Section 3, Blocks 5 & 11 Section 4, and Block 9 Section 1.

FEATURES INTRINSIC TO THE HERITAGE SIGNIFICANCE OF THE PLACE:

The place has the following features which are intrinsic to its significance:

- a) the 'Garden City' planned streetscape
- b) the identified housing, hedges, street trees and verges.

STATEMENT OF SIGNIFICANCE:

Blandfordia 5 precinct is significant as an exemplar of the early twentieth century planned garden city suburban precinct.

It demonstrates how English garden city thinking was appropriated and implemented by the Federal Capital administration and planning bodies.

Blandfordia 5 precinct is significant as an illustration of early Canberra residential ideals. The place takes advantage of the topography to form complex streetscapes demonstrating garden city contour planning. Bass Gardens exemplifies the importance of communal parks in garden city planning.

The houses in Section 2 of Blandfordia 5 are significant as an example of welfare housing, demonstrated in the design as a homogeneous mass housing development. It is one of the few examples of contemporary two-storey duplex housing.

The precinct is culturally significant as a record of the class structure delineated by the Federal Capital planners. The precinct was designed and built for middle-income public servants. This is demonstrated in

the planning strategies and types of housing deemed suitable for that "class", and in the standard suburban block and detached houses.

The streetscapes in Blandfordia 5 demonstrate the integration of public and private plantings in the realisation of the planners' overall garden city design.

Blandfordia 5 has direct associations with the work of Walter Burley Griffin, John Sulman, John Butters of the Federal Capital Commission, and with Thomas Weston.

SPECIFIC REQUIREMENTS:

In accordance with s.54(1) of the *Land (Planning and Environment) Act 1991*, the following requirements are identified by the Council as essential to conserving and protecting the heritage significance of this place. These requirements reflect the conservation policy for the place:

Blandfordia 5 Precinct is to be conserved as a low density residential and landscape precinct of cultural significance. The original fabric of the place is to be conserved as much as possible. For the purposes of this policy "original" means before 1940.

Any action affecting these requirements to conserve the heritage significance of the place is a 'controlled activity' under Part VI of the Land Act and requires approval prior to undertaking the activity. To undertake such activity without prior approval may constitute an offence.

1. Landscape Requirements Relating to Areas 1, 2 & 3 in the Precinct (refer Fig. 1)

- 1.1 Existing street trees, remaining street hedges and original street furniture, including streetlights and signs, shall be conserved and appropriately maintained.
- 1.2 New street furniture shall be sympathetic to the original design.
- 1.3 Changes to existing driveways, including new driveways shall only be permitted where it can be demonstrated that they do not adversely affect the heritage values of the streetscape.
MAINTAINS EXISTING
- 1.4 The overall planning layout of the precinct is an integral part of its significance and its components including planting species and patterns, street furniture and setbacks, are to be conserved.

2. Built elements constructed prior to 1940 in areas 1 & 3 only (refer Fig. 1)

- 2.1 External alterations and additions to existing dwellings shall be consistent with the existing landscape and streetscape values and reflect and complement the architectural style of the original dwellings. This includes alterations to external finishes and changes including painting and adding or removing rendering.
- 2.2 No dwellings or structures shall be erected between a line drawn along the entrance side of the forward most building and extending to the nearest property boundary on either side, and the front property boundary. *2nd STOREY ADDITIONS*
- 2.3 Minor external alterations may be made to the front of dwellings where, in the opinion of the Heritage Council, the proposed works will not adversely affect the significance of the place.

- 2.4 External additions and alterations may be permitted only to the sides and rear of buildings and only if the additions are set back 0.5m from the existing front of the building.
- 2.5 The original building form is to remain dominant.
- 2.6 Roof pitch, walls, materials, window types and materials, shall be as similar as in the existing dwellings as is feasible.
- 2.7 Requirements 2.2 and 2.4 above do not apply where the block has two apparent frontages (ie., outside corner blocks).
- 2.8 Subject to 2.10 and 2.11 below, demolition of original dwellings shall not be permitted, other than in exceptional circumstances, including circumstances in which the building is structurally unsound and beyond economic repair or where there are significant public health and safety reasons to warrant demolition. N/A
- 2.9 The demolition of original building fabric shall only be permitted in the context of permissible alteration of, and/or additions to, existing dwellings. N/A
- 2.10 Alteration or addition to, or demolition of, internal components of original dwellings shall be permitted provided the external building fabric of the existing dwelling is not adversely affected.
- 2.11 Requirements 2.4, 2.5, 2.8 and 2.9 above do not apply in respect to Block 12 Section 12 and Block 11 Section 4, provided that any building work relating to extension or alterations of existing buildings or the replacement of existing buildings on those blocks, shall be consistent in design with the existing landscape and streetscape values of the locality.
3. **Built elements constructed after 1939, areas 1 & 3 only (refer fig 1)**
- 3.1 Demolition of dwellings constructed after 1939 may be permitted. The design of any replacement dwellings must be consistent with conserving the existing landscape and streetscape values of the Precinct.
- 3.2 External alterations and additions to dwellings constructed after 1939 are to be consistent with the existing landscape and streetscape values.
4. **Multi-dwelling development**
- 4.1 Multi-dwelling developments may be permitted only where it can be demonstrated that the proposed additional dwellings will not detrimentally affect the character of the existing streetscape and landscape or are not visible from the public domain.
5. **Two storey additions**
- 5.1 Two storey additions may be permitted only where it can be demonstrated that, when visible from the public domain, they will not detrimentally affect the existing streetscape and landscape.
-

MANAGEMENT RECOMMENDATIONS:

In assessing this place for the interim Heritage Places Register, the Council recommends that a number of actions and activities should be undertaken which will enhance the heritage values of the place. They are made as recommendations and have no legal effect.

1. A Conservation Plan be prepared for the precinct as a matter of urgency to provide a strategy for the long term retention of the heritage values of all elements of the precinct.
2. Planning provisions for the land surrounding the Precinct be examined to ensure adequate controls over adjacent development.



Ross Feller ARCHITECT

63 Euree Street REID A.C.T. 2812 AUSTRALIA

e-mail...rossfeller@webone.com.au

facsimile: (02) 6248 0921 telephone: (02) 6248 0775

JOB No: 9718

20 January 1999

ATTENTION: **Mr Andrew Senger**
COMPANY: **Manager D+S Unit PALM**
SUBJECT: **Block: [REDACTED] Section: [REDACTED]**
FORREST

FACS. No: **6207 1928**
PAGE 1 of **1**
DATE **20 January 1999**

Andrew,

Further to my application on the above proposal:

I lodged the plans for approval on 21/12/98 at Mitchell
Plan no 986583/A

From your last fax 29 July '98 when you forwarded John Feint's comments, I was under the impression that I could submit plans for BA approval and the Public Notification Process (PNP) would automatically be triggered.

I rang this morning to see if there had been comment, and when the period for all comment ceases. After several telephone calls with your front desk, I am dismayed to hear that the Public Notification process has not yet been started, but that the whole approval process has again been submitted to Heritage Council for comment ?

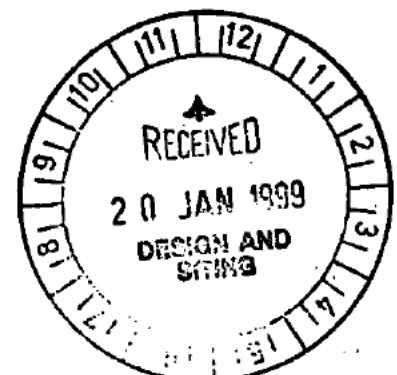
I'd greatly appreciate if you would look into the process of this application and confirm with me that it is being expedited according to Urban Services guidelines.

Assuming the rest of its passage is not obstructed, could you also calculate the minimum length of time before it could be approved for D+S ?

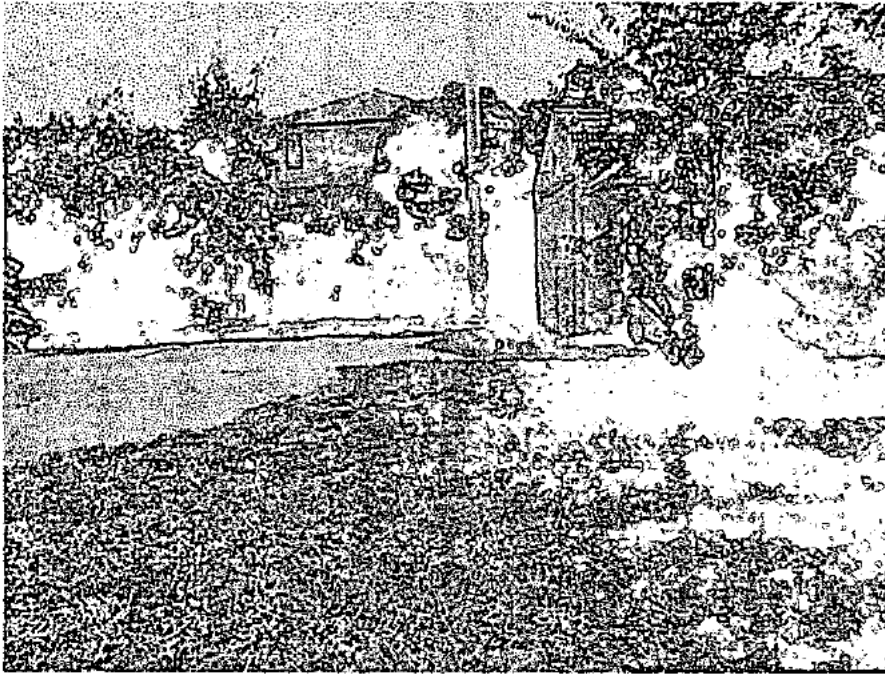
Best wishes for 1999, sincerely


Ross Feller

cc **Sch 2 2.2(a)(ii)**



SA



REAR VIEW OF [REDACTED] - FOREST.
2 STORY RESIDENCE NEXT DOOR ON
BLOCK 10.



FRONT VIEW OF [REDACTED] - FOREST
PHOTO'S TAKEN ON 23/2/99

WAITING ON HERITAGE

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INSPECTION REQUIRED

BLOCK SECTION SUBURB FORREST

PROPOSAL ADDITIONS TO DWELLING / REPAIR, RENOVATE
GARAGE / DEMOLISH

URGENT YES or NO (please circle) DUE DATE: / /

OBJECTIONS? YES or NO

REQUESTED BY: NICKI REQ. DATE: 19/2/99

RENOVATE
DEMOLISH
SMED

Please check

FRONT BOUNDARIES PHOTOS YES NO

Streetscape _____

Trees, vegetation, poles etc _____

Driveways. Note on 1/2 plan existing and proposed _____

Bulk, height, setback in relation to neighbouring structures _____

Brick front to garage appropriate or not (others in street) _____

Retaining walls, cut and fill _____

Existing structures _____

SIDE AND REAR BOUNDARIES PHOTOS YES NO

Overlooking _____

Overshadowing _____

Height and length _____

Amenity, spatial separation, views etc _____

Location of neighbours POS, living areas _____

Trees and vegetation _____

Retaining walls, cut and fill _____

Existing structures _____

RECOMMENDATION AWAITING HERITAGE CLEARANCE

INSPECTED BY: NICKI / JOE DATE INSPECTED 23/2/99

Record of Conversation / Minute

File No. 51

To **FILE** Date **16 12 1999**

| | | |
|---|--|--|
| Personal Interview <input type="checkbox"/> Telephone Conversation <input checked="" type="checkbox"/> Internal Minute <input type="checkbox"/> | Subject HERITAGE COMMENTS | Time am / pm |
| Conversation with Mr Mrs DEBBIE ARGUE Miss Ms | Department, Firm, Private Address HERITAGE | Telephone No. 72167 72167 |
| (if applicable) Inquiry re: Block Section Suburb FORREST | | |

Details

RANG HERITAGE CHASING COMMENTS
 DEBBIE ADVISED SHE WAS CURRENTLY
 WORKING ON THEM + WILL GET
 THEM TO US ASAP.

~~NB APPLICATION OVERDUE~~

Action taken (if applicable)

| | | |
|----------------------------------|---|----------------------------|
| Signature N De-Campali | Officer's Name NICKI DI-CAMPALI | Designation AS06 |
|----------------------------------|---|----------------------------|

Minute Paper

50

Subject: **CLOSE OF PUBLIC NOTIFICATION PERIOD - NO SUBMISSIONS**

TO: Richard Johnston
Design and Siting

ATTN: ~~Andrew Senger~~

CC:

RE: **BLOCK 9 SECTION 23 FORREST
APPLICATION NO: 986583**

The public notification period for the above application closed on 11 FEBRUARY 1999. No written submissions were received by the Applications Secretariat. Please find attached:

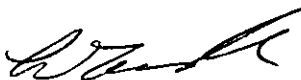
- a Job Report which lists names and addresses of people to whom letters were sent and indicates any which were returned;
- a plot map with notified blocks cross hatched;
- a copy of the notification sign;
- a copy of each letter type; and
- a copy of The Canberra Times notice and request form (if applicable).

Lodgement Date: 21 DECEMBER 1998

Completion Date: 5 FEBRUARY 1999
(This does not include stop clocks which **may** have been applied)

The application is now ready for further assessment.

Thank you.



L. Tognella
Applications Secretariat
15 February, 1999

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JOB REPORT - Public Notification Generator V5.0 (July 1997)

JOB DATE: 21 January 1999 1:38 pm
JOB CODE: 133750
OPERATOR: TOGNELLAL

Building Application 986583

NEIGHBOUR CONSULTATION

Application lodged on 21 December 1998.
Consultation begins on 22 January 1999 and ends on 11 February 1999.

SUBJECT BLOCK

UNIT: 0
BLOCK: FORREST SECTION [REDACTED] BLOCK(S) [REDACTED]
STREET ADDRESS: [REDACTED]

LESSEE(S): Sch 2 2.2(a)(ii) [REDACTED]
Sch 2 2.2(a)(ii) [REDACTED]

ADDRESS:

APL TYPE: RESL
DEV/DESC: Additions and alterations in a Heritage area, 202 square metres

NEIGHBOURING LESSEES

1. BLOCK: FORREST SECTION [REDACTED] BLOCK [REDACTED]
NAME(S): Sch 2 2.2(a)(ii) [REDACTED]
ADDRESS: [REDACTED]
FORREST ACT 2603

2. BLOCK: FORREST SECTION [REDACTED] BLOCK [REDACTED]
NAME(S): Sch 2 2.2(a)(ii) [REDACTED]
ADDRESS: [REDACTED]
MANUKA ACT 2603

3. BLOCK: FORREST SECTION [REDACTED] BLOCK [REDACTED]
NAME(S): Sch 2 2.2(a)(ii) [REDACTED]
ADDRESS: [REDACTED]
FORREST ACT 2603

4. BLOCK: FORREST SECTION [REDACTED] BLOCK [REDACTED]
NAME(S): Sch 2 2.2(a)(ii) [REDACTED]
ADDRESS: [REDACTED]
FORREST ACT 2603

5. BLOCK: FORREST SECTION [REDACTED] BLOCK [REDACTED]
NAME(S): Sch 2 2.2(a)(ii)
ADDRESS: [REDACTED]
FORREST ACT 2603

6. BLOCK: FORREST SECTION [REDACTED] BLOCK [REDACTED]
NAME(S): Sch 2 2.2(a)(ii)
ADDRESS: [REDACTED]
RED HILL ACT 2603

7. BLOCK: FORREST SECTION [REDACTED] BLOCK [REDACTED]
NAME(S): Sch 2 2.2(a)(ii)
ADDRESS: [REDACTED]
FORREST ACT 2603

8. BLOCK: GRIFFITH SECTION [REDACTED] BLOCK [REDACTED]
NAME(S): Sch 2 2.2(a)(ii)
ADDRESS: [REDACTED]
GRIFFITH 2603

9. BLOCK: GRIFFITH SECTION [REDACTED] BLOCK [REDACTED]
NAME(S): Sch 2 2.2(a)(ii)
ADDRESS: [REDACTED]
GRIFFITH ACT 2603

10. BLOCK: GRIFFITH SECTION [REDACTED] BLOCK [REDACTED]
NAME(S): COMMISSIONER FOR HOUSING FOR THE AUSTRALIAN CAPITAL
TERRITORY
ADDRESS: LOCKED BAG 3000
WODEN ACT 2606

APPLICANT

1. NAME(S): ROSS FELLER & ASSOCIATES ARCHI
ADDRESS: 63 EUREE STREET
REID ACT 2612

SUMMARY

No of lessee notifications created = 10
No of interested party notifications created = 0
No of advertisement authorisation letter created = 1
No of outdoor sign created = 1
No of letters to LAPAC created = 0

SENT



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NOTICE OF APPLICATION

Planning and Land Management has received the following application and you are invited to make written comments

Building Application 986583:

Additions and alterations in a Heritage area, 202 m²

Location: **Block:** [REDACTED] **Section:** [REDACTED] **Suburb:** FORREST

You can see a copy of the application at the **Applications Secretariat, Dame Pattie Menzies House, Ground Floor South (right hand building), 16 Challis Street Dickson (opposite Motor Vehicle Registry)**. The Secretariat's office is open on weekdays from **8:30am to 4:30pm**. **(Please record the application number above for reference).**

If you feel the application may affect you in any way and wish to object, you can lodge a written objection clearly stating the grounds for objection. However, you may also provide comments in support of the application. You may deliver your objections or comments to the address above, fax to 620 77762, Internet Email to app_sec@dpa.act.gov.au, or post to:

**Applications Secretariat
PO Box 365
Mitchell ACT 2911**

Objections or comments must arrive by close of business **11 February 1999**.

If you make objections or comments, an acknowledgment will be posted to you and you will be advised when a decision is made on the application. Copies of all correspondence received will be forwarded to the applicant and also made available for public inspection. You may request that your identity be kept confidential, however, in doing so you are required under the *Land (Planning and Environment) Act 1991* to clearly state the reasons why it would not be in the public interest for your identity to be published.

A complete list of development applications currently open for public comment is available on PALM's internet site at www.palm.act.gov.au/das/das1.htm

For more information, please phone the Applications Secretariat on 620 71687

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COPY



21 January 1999

NOTE: If you are not the owner of this property please forward this letter to your landlord or managing agent

Sch 2 2.2(a)(ii)

FORREST ACT 2603

Dear Property Owner

Planning and Land Management has received the following Building Application in relation to 25 FURNEAUX STREET. As this property is near yours, you may wish to comment on the application.

Building Application 986583:
Additions and alterations in a Heritage area, 202 m²
Location: Block: [redacted] **Section:** [redacted] **Suburb:** FORREST
[redacted]

You can inspect a copy of the application at the **Applications Secretariat, Dame Pattie Menzies House, Ground Floor South (right hand building), 16 Challis Street Dickson (opposite Motor Vehicle Registry)**. The Secretariat's office is open on weekdays from 8:30am to 4:30pm. (Please bring this letter with you for reference).

If you feel the application may affect you in any way and wish to object, you can lodge a written objection clearly stating the grounds for objection. However, you may also provide comments in support of the application. You may deliver your objections or comments to the **Applications Secretariat** at 16 Challis Street Dickson, fax it to (02) 62077762, by internet Email to app_sec@dpa.act.gov.au or post it to PO Box 365 Mitchell ACT 2911. Objections or comments must arrive by close of business **11 February 1999**.

If you make objections or comments, an acknowledgement will be posted to you and you will be advised when a decision is made on the application. Copies of all correspondence received will be forwarded to the applicant and also made available for public inspection. You may request that your identity be kept confidential, however, in doing so you are required under the *Land (Planning and Environment) Act 1991* to clearly state the reasons **why it would not be in the public interest for your identity to be published**. If your application for exemption is approved, the Department will seek to protect the information from disclosure, however, the Department cannot guarantee that the information will not have to be disclosed pursuant to a legal obligation.

Department of Urban Services • Development Management Branch
16 Challis Street, Dickson
GPO Box 365, Mitchell, ACT 2911 • Telephone: (02) 6207 1687 • Facsimile: (02) 6207 7762
ACT Government Homepage: www.act.gov.au

21 January 1999

ROSS FELLER & ASSOCIATES ARCHI
63 EUREE STREET
REID ACT 2612

Dear applicant

Suburb: FORREST Block: [REDACTED] Section: [REDACTED]
Building Application Number: 986583

I am writing to advise you about the public notification of your Building Application.

The public notification period for your application will commence on **22 January 1999** and end at the close of business on **11 February 1999**. If comments or objections are received, I will forward a copy to you after the notification period ends. Please note, you are required to remove the yellow sign from the property on **12 February 1999**.

We expect to make a decision on your application within 30 working days of its date of lodgement. However, where comments or objections are received, our expected time for making a decision is 45 working days from the date of lodgement. You will be advised when a decision on your application has been made and of any appeal rights that you may have.

If you would like to discuss your development application or any aspect of this letter, please contact me on telephone (02) 620 77794 I will be happy to assist you.

Yours sincerely



Karen Cargill
Case Officer
Applications Secretariat

SENT

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(advertisement for The Canberra Times)

Fax to: Sch 2 2.2(a)(ii) - The Canberra Times
Account Name: Planning & Land Management
Account Number: 634929
Department's contact: Applications Secretariat 620 71687
Publication Date: 22 January 1999
Size of Advertisement: Single Column
Classification: Development/Building Applications
Order Number: FORRS23B9

Planning and Land Management (PALM) has received the following application/s available for public inspection between 8:30am and 4:30pm weekdays at:

**Applications Secretariat
Dame Pattie Menzies House)
Grnd Floor - right hand bldg
16 Challis Street
Dickson ACT**

If you feel the application may affect you in any way and wish to object, you can lodge a written objection clearly stating the grounds for objection. However, you may also provide comments in support of the application. Objections or comments must arrive by close of business **11 February 1999** and may be delivered to the above address, faxed to 62077762, Internet Email to app_sec@dpa.act.gov.au, or posted to:

**Applications Secretariat
PO Box 365
Mitchell ACT 2911**

A complete list of applications currently open for public comment is available on PALM's internet site at www.palm.act.gov.au/das/das1.htm

If you need more information, please telephone the Secretariat on 620 71687.

Building Application 986583: Additions and alterations in a Heritage area, 202 m²

Location: Block: [redacted] Section: [redacted] Suburb: FORREST

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| | | |
|------------------------|------------------------------------|----------------------|
| Fax to: | Sch 2.2.2(a)(ii) | - The Canberra Times |
| Account Name: | Planning & Land Management | |
| Account Number: | 634929 | |
| Department's contact: | Applications Secretariat 620 71687 | |
| Publication Date: | 22 January 1999 | |
| Size of Advertisement: | Single Column | |
| Classification: | Development/Building Applications | |
| Order Number: | FORRS23B9 | |

Planning and Land Management (PALM) has received the following application/s available for public inspection between 8:30am and 4:30pm weekdays at:

**Applications Secretariat
 Dame Pattie Menzies House
 Grand Floor - right hand bldg
 16 Challis Street
 Dickson ACT**

If you feel the application may affect you in any way and wish to object, you can lodge a written objection clearly stating the grounds for objection. However, you may also provide comments in support of the application. Objections or comments must arrive by close of business 11 February 1999 and may be delivered to the above address, faxed to 62077762, Internet Email to app_sec@dpa.act.gov.au, or posted to:

**Applications Secretariat
 PO Box 365
 Mitchell ACT 2911**

A complete list of applications currently open for public comment is available on PALM's internet site at www.palm.act.gov.au/das/das1.htm. If you need more information, please telephone the Secretariat on 620 71687.

Building Application 986583: Additions and alterations in a Heritage area, 202 m²
Location: Block: Section: Suburb: FORREST

TRANSMISSION REPORT

THIS DOCUMENT WAS CONFIRMED
 (REDUCED SAMPLE ABOVE - SEE DETAILS BELOW)

**** COUNT ****

TOTAL PAGES SCANNED : 1
 TOTAL PAGES CONFIRMED : 1

*** SEND ***

| No. | REMOTE STATION | START TIME | DURATION | #PAGES | MODE | RESULTS |
|-----|----------------|-----------------|----------|--------|------|-------------------|
| 1 | +61 2 62802430 | 21- 1-99 2:11PM | 0'48" | 1/ 1 | FC | COMPLETED 9600 |

TOTAL 0:00'48" 1

NOTE:

| | | | |
|------------------------|-----------------------|---------------------|------------------------|
| No. : OPERATION NUMBER | 48 : 4800BPS SELECTED | EC : ERROR CORRECT | G2 : G2 COMMUNICATION |
| PD : POLLED BY REMOTE | SF : STORE & FORWARD | RI : RELAY INITIATE | RS : RELAY STATION |
| MB : SEND TO MAILBOX | PG : POLLING A REMOTE | MP : MULTI-POLLING | RM : RECEIVE TO MEMORY |

SEEKING 'Marilyn' Dillon.
Please call Jeremy Martin on
(02) 9419 4444.

DEVELOPMENT/BUILDING APPLICATION

PLANNING AND LAND MANAGEMENT (PALM) has received the following application/s available for public inspection between 8.30am and 4.30pm weekdays at:
Applications Secretariat
Dame Pattie Menzies House
Grnd Floor - right hand bldg
16 Challis Street
Dickson ACT

If you feel the application may affect you in any way and wish to object, you can lodge a written objection clearly stating the grounds for objection. However, you may also provide comments in support of the application. Objections or comments must arrive by close of business 11 February 1999 and may be delivered to the above address, faxed to 6207 7762, Internet Email to app_secret@pal.act.gov.au or posted to Applications Secretariat, PO Box 365 Mitchell ACT 2911

A complete list of applications currently open for public comment is available on PALM's internet site at www.palm.act.gov.au/das/das1.htm If you need more information, please telephone the Secretariat on 6207 1687.



Development Application 99007: Dual occupancy, 260m², 2 storeys.
Location: Block: 17 Section: 29 Suburb: Turner, 18 Ridley Street.



Development Application 99022: Steel framed metal cladding warehouse, 2100m².
Location: Block: 16 Section: 2 Suburb: Hume, 84 Sheppard Street.



Development Application 985474: 36 bedroom Motel and Apartment redevelopment, including demolition of existing building, 200m².
Location: Block: 27 Section: 346 Suburb: Kambah, 144 Kambah Road.



Building Application 985583: Additions and alterations in a Heritage area, 202m².
Location: Block: Section: Suburb: Forrest.



Development Application 986719: YOWANI COUNTRY CLUB - 38 motel units including associated works. To vary the purpose clause in existing crown lease as follows: DELETING EXISTING CLAUSE 4(a) To use the premises only for the purposes of a Golf Club and for any purposes incidental thereto which may include a maximum number of twelve residential units that may be used only by club members and their families and/or by visiting club members and their families.

INSERT NEW CLAUSE 4(a) To use the land for the purposes of outdoor recreation facility, restricted to a golf course and ancillary uses, and a motel containing a maximum of 50 tourist accommodation units, 38 units, 1800m², 2 storeys.
Location: Block: 1 Section: 67 Suburb: Lynham, 1 Barton Highway.

ALL STOCK SUITED TO
CANNERA AND
GROWN ON

ALBERTS GARDEN
9 Beltana Road Pialligo
Open 9am - 5pm, daily

1999 ACT WOMEN'S AWARDS

1999 ACT Women's Awards
Nominations are invited for the 1999 ACT Women's Awards.
The Awards are sponsored by the ACT Government, and recognise the significant contribution by women to the ACT community.
The 1999 awards will be presented on International Women's Day on 8 March 1999.
Nomination forms are available from ACT Government shopfronts, libraries and Community Health Centres, and by phoning on (02) 6205 0515.
Closing date for nominations is Monday, 8 February 1999.

BEAT the RUSH

For your convenience,
The Canberra Times Classifieds are now open from 7.00am each Friday.
Ring us early to place your classified advertising.
Our regular opening times are:
Monday-Thursday 8am until 8pm
Friday 7.00am until 6pm
Saturday 8am until 12noon
Sunday 3pm until 8pm
The Canberra Times Classifieds 13 63 55

National Circuit, Barton in the Australian Capital Territory, administrator of the Company.
2. Notice is given that a meeting of creditors of the Company will be held at the National Press Club, 16 National Circuit, Barton, in the Australian Capital Territory, on Thursday 28 January 1999 at 12 noon.
3. The purpose of the meeting is to determine the following:
(i) Whether to appoint a committee of creditors;
(ii) If so, who are to be the members of the committee.
4. At the meeting creditors may also, by resolution:
(i) Remove the administrator; and
(ii) Appoint someone else as administrator of the Company.
DATED THIS 21ST DAY OF JANUARY 1999
E M SENATORE
ADMINISTRATOR
Senatore Brennan Rashid
Chartered Accountants
16 National Circuit
Barton ACT 2600
Ph (02) 6273 6111
Fax (02) 6273 6122

NOTICE OF APPOINTMENT OF ADMINISTRATOR AND FIRST MEETING OF CREDITORS OF COMPANY UNDER ADMINISTRATION IVEK PTY LIMITED (ADMINISTRATOR)
(ADMINISTRATOR)
(ADMINISTRATOR)
ACN 083 490 984 ('the Company')
1. On 20 January 1999, the directors of the Company pursuant to Section 436A of the Corporations Law appointed Ezio Marco Senatore of Senatore Brennan Rashid Chartered Accountants, Level 2, 16 National Circuit, Barton in the Australian Capital Territory, administrator of the Company.
2. Notice is given that a meeting of creditors of the Company will be held at the National Press Club, 16 National Circuit, Barton, in the Australian Capital Territory on Thursday 28 January 1999 at 12 noon.
3. The purpose of the meeting is to determine the following:
(i) Whether to appoint a committee of creditors;
(ii) If so, who are to be the members of the committee.
4. At the meeting creditors may also, by resolution:
(i) Remove the administrator; and
(ii) Appoint someone else as administrator of the Company.
DATED THIS 21ST DAY OF JANUARY 1999
E M SENATORE
ADMINISTRATOR
Senatore Brennan Rashid
Chartered Accountants
16 National Circuit
Barton ACT 2600
Ph (02) 6273 6111
Fax (02) 6273 6122

LEGAL NOTICES

NOTICE OF INTENDED APPLICATION FOR LETTERS OF ADMINISTRATION IN THE SUPREME COURT OF THE AUSTRALIAN CAPITAL TERRITORY PROBATE JURISDICTION IN THE ESTATE OF IVANA POTREBICA 19 Garanya St Waramanga, in the Australian Capital Territory, Home Duties, deceased.
Application will be made not earlier than 14 days after the publication of this notice that letters of administration of the abovesaid deceased be granted to VIDO POTREBICA the son of the deceased.
All notices may be served at the address below.
Creditors of the estate of the deceased are required to send particulars of their claims to:
VIDO POTREBICA
19 Garanya St
Waramanga ACT 2611.

WORK WANTED BUSINESS

NO JOB TOO SMALL.
Plumbing, Carpentry, Roof Repairs etc. Ph 6230 2571.

EMPLOYMENT SERVICES, TRAINING AND TUITION

Resume Preparation
Experienced prof. personal service - application letters selection crit. 7 days
Ph Jenny Carlin 6281 1502.

BUILDERS AND REPAIRERS

GYPROCK Contractor. New and repair work, sagged ceilings. Ph John 6288 5601.

RIOGECAPPING and all roof and gutter repairs and replacement. Free quotes. Ph 6258 5201. 7 days.

INTRODUCTIONS

ASIAN B

With a velvety complexion and features, Laura porcelain doll. Lo frames her beautiful laugh is infectious nature. Laura is the perfect man to share affection with. In cooking, golf, long riding and keeping romantic nights she wants to be ch someone special. details, ple (07) 3210 2288 an

Vital Match
Give yourself the
ADA48857#1321/1

CHECKOUT MAKE A DATE

1902 292 620

To instantly listen to some or all of 292 620 and enter the category code choice from below.

WOMEN seeking men
MEN seeking women
Seeking a FRIEND
Seeking SAME

Calls to this service are charged \$1.95 per min. Higher charges from mobile and public phones.

'Finding a Friend Made Easy'

Guys. It's THE place to chat and meet for SUMMER

1900 920 526
SC 750 (min) more on pub & mobile phones

Business executives confident of growth:

likely to climb
dim of

41

<DI>FORREST</DI>

<dd>Building Application 986583

<dd> [redacted] Blocks: [redacted] Section: [redacted]

<dd>Proposal: Additions and alterations in a Heritage area, 202 m²

<dd>Period for comments closes 11 February 1999

</dl>

<p>

SENT TO
WEB PAGE

R

46

DEVELOPMENT APPLICATION PUBLIC NOTIFICATION CHECKLIST

Application Number: 986583
Block: **Section:** **Suburb:** Forrest

- Inspect Plans and Check DESCRIPTION, STOREYS, GFA and whether there is a UNIT DEVELOPMENT in DARTS
- Check SUBCLASS in DARTS and change Step Officer to your name, CA
- Activate Notification Step in DARTS, CT
- Process on PC ACTMAP
- Prepare Manilla Folder
- Write Block/Sect Suburb on Yellow Envelope
- Check letter addresses on the JOB REPORT to ensure they're all OK
- Check address on ACTMAP that it corresponds with correct block and section on application
- Fold letters and place in Clive's out tray
- Put a sample of letter to the neighbour, interested party and the applicant into the manilla folder
- Update EXCEL (PUBNOT.XLS)
- Fax advert to Canberra Times (Check Confirmation Slip)
- CC Mail Sign to Rosemary Johnson
- Update WORD (I:\DMB\DMBCS\APPSEC\DA51.HTM) for WEB PAGE (Send file to Sean O'Halloran - Monday, Wednesday, Friday)
- Forward application (file) to Line Area (LUS/LUN/RURAL)
- Store this checklist with folder together with yellow envelope in Filing Cabinet

IF REQUIRED:

- Place LAPAC letter in In tray

Processed by: C. McMaher

Date: 21/1/99

Andrew Senger

(39)

BUILDING APPLICATION CLOSING OF NEIGHBOUR CONSULTATION CHECKLIST

APPLICATION NO: 986583

BLOCK [redacted] SECTION [redacted] SUBURB Forrest

- Check DARTS (CT) to see if there are any objections or comments (REMEMBER Comments won't show up by using CT only objections will). If so, check register (yellow envelope) to make sure the copies are included.
- Mark the Notification step on DARTS as finished.
- While in DARTS, get the first received date and the legal date for the minute to the assessment area. Lodged: 21/12/98 Completion: 5/2/99.
- Update Excel by shading the entire row.

IF NO OBJECTIONS:

- Prepare minute and forward to the Assessment Area.

IF OBJECTIONS:

- Prepare minute to the Assessment Area.
- Prepare Applicant letter.
- Send copy of the objection/s and the covering letter to the Applicant.
- Place a copy of the applicant letter in the manilla folder.
- Forward the contents of the manilla folder to the Assessment Area.

Processed by: L. Tognella

Date: 15.2.99

ACT Building, Electrical and Plumbing Control

GPO Box 1908, Canberra ACT 2601

Application Acknowledgement

| | | | |
|---|--|--|--|
| Applicant ROSS FELLER & ASSOCIATES ARCH 63 EUREE STREET REID ACT 2612 Tel: 62480775 Fax: 62480921 | | Site for Project Address [REDACTED] Suburb Section Block FORREST 23 9 | |
| Please quote this number for all enquiries Project Number : 986583 DARTS Application Number 986583 | | Plan Plan Number 986583/A Plan Lodged 21 December 1998 | |

This is an application for a new project consisting of **2** project items

| Nature of Work | Project Item Description | Unit | Other Description | Area/LM | Value |
|----------------|--------------------------|------|--|---------|------------------|
| ADDITIONS TO | RESIDENCE | | Additions and alterations to lower & upper floor | 202 | Sch 2'2.2(a)(xi) |
| ADDITIONS TO | GARAGE | | Including a paved terrace | 24 | [REDACTED] |

Building Application Fee

\$2,870.70

191/24

Your project plans are to be posted.

DARTS



Application successfully lodged in DARTS,
but please stamp application form HERITAGE WORKS,
refer a copy of application to Heritage Council and
refer this application to the Applications Secretariat for Public Notification.

OK

"This needs to be done!"



Certificate of Site Classification

| | | | | |
|---|------|---|---------|-------|
| Name of lessee/owner of the site (please print clearly) | | Address | | |
| Telephone Work | Home | Description of the site where building work is to be carried out Division (Suburb) District FURBER T | Section | Block |

Description of Building Work

New Residence Alteration/Additions to Residence Garage/Carport Other

| | | |
|--|---|--|
| <p>In investigating the site to determine the site classification, I used the following procedure:</p> <p>One or more bore holes or trench pits and examination of the soil profile; <input checked="" type="checkbox"/></p> <p>laboratory testing of soil samples; or <input type="checkbox"/></p> <p>existing building records and local knowledge of soil conditions. <input checked="" type="checkbox"/></p> | <p>Classification of foundation material - AS 2870.1 Clause 2.1.1 (please tick appropriate box)</p> | |
| | Foundation | Class |
| | Most sand and rock sites Most silt and some clay sites | A <input type="checkbox"/> S <input type="checkbox"/> |
| | Moderately reactive clay sites Highly reactive clay sites Extremely reactive clay sites | M <input type="checkbox"/> H <input type="checkbox"/> E <input type="checkbox"/> |
| | Filled sites Nominate Class | <input type="checkbox"/> |
| <p>Problem Sites which include soft soils such as soft clays, silts or loose sands; land slip; Mine subsidence: collapsing soil; soil subject to erosion.</p> | | P <input checked="" type="checkbox"/> |

The recommended footing and slab system in accordance with AS 2870.1 is: (specify footing type as given in AS 2870.1)

REFER TO ARCH'S DWGS FELLER 9 & 8. GENERALLY 450 W 600 D (MW) 4-117M TP

& BOTTOM 8 STEEL CLS @ 900 c/c BASE OF FOOTING 900mm DOWN.

The recommended level of underside of footing below natural ground level (ie: footing depth) is: **0.9** metres

Declaration

I declare that I am a qualified classifier as defined in ACT B1.3, ACT Appendix to the Building Code of Australia, being a:

professional engineer/engineering geologist with experience in site classification

competent person with knowledge and experience of site in **Sch 2 2.2(a)(ii)** and classification

Signature **18, 12, 98**

Name of Classifier **Sch 2 2.2(a)(ii)**

Address **Sch 2 2.2(a)(ii)**

Qualification **Sch 2 2.2(a)(ii)** Contact Telephone **Sch 2 2.2(a)(ii)** Facsimile **Sch 2 2.2(a)(ii)**



A.C.T. Building Control - Design Check Certificate of Structural Sufficiency

35

| | | |
|-------|---------|------------------|
| Block | Section | Suburb FOREST |
|-------|---------|------------------|

Lessee's or Permit holder's name

Description of Building Work:
(Please tick appropriate box)

New Work Additions/Alterations Alterations Others

I certify that:

1. I have checked the structural design computations for the the building named above and/or the following components and of their supporting elements of the building named above.

2ND STORRY EXTENSION AND FAMILY EXTENSION AND GARAGE EXTENSION

2. In checking the structural design, I have paid attention to the integrity of the building under normal loading conditions relevant for this type of structure. The strength requirements and serviceability requirements of the building and its structural elements comply with the Building Code of Australia and all relevant SAA Codes (including AS 2121 Earthquake Code - Canberra - ZONE 'A')

3. This Certificate applies to the following Drawings (numbers)

FLOOR, 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, & 13

and computations endorsed and signed by me. The documents adequately convey the structural design intentions for the construction of this structure.

Declaration

4. I am practising structural engineer as defined in the ACT Building Act [Section 53(1) states: Practising Structural Engineer' means an engineer with qualifications in structural engineering which are acceptable to the Institution of Engineers, Australia, for the Grade of Corporate Member and who is actively engaged in structural design and supervision of

Signature Sch 2 2.2(a)(ii) 18, 12, 98

Qualifications: M.I.E. Aust. or eligible for this grade (please indicate) Sch 2 2.2(a)(ii)

Name of Engineer Sch 2 2.2(a)(ii)
(please print)

Address Sch 2 2.2(a)(ii)

Telephone Sch 2 2.2(a)(ii)

Note: All documents covered by this Certificate should be endorsed and signed by the Engineer. (Original signature in ink - no photocopies or facsimiles accepted)



ACT Government

Planning and Land Management

Building Application

When should you use the Building Application (BA) form?

You should use the BA for building, electrical, and plumbing and drainage work for:

- standard single residential developments and extensions;
- demolition and other site works; and
- other proposed building works where Design and Siting approval has already been given.

You are encouraged to discuss your application with staff in Building, Electrical and Plumbing Control (BEPCON) shopfronts.

Note: The information you give on this form may be given to Government and Non-Government Agencies. See Privacy Notice on the back page.

Part 1: Lease/Site details

If more than one lease, attach the following details for each lease.

Block

Section

Suburb FORREST

Unit (if applicable)

Street address

Part 2: Applicant details

Surname or Company name ROSS FELLER AND ASSOCIATES

Title / First Name / Initials or Australian Company Number (ACN) ROSS FELLER

If a company Name of contact person

Title / First name / Initials

Postal address 63 EUREE STREET, REID, A.C.T., 2612

Street address (if different)

Phone number (business hours) (02) 6248 0775

Fax number (02) 6248 0921

OFFICE USE ONLY

BRIMS number

986583

TRIMS number

8043

Drainage number

DARTS number

986583

DA number (if applicable)

DESIGN & SITING OFFICE

11 JAN 1999

Part 3: Lessee (Owner) details and Agreement to Building Application

All lessees must sign this part

1st Lessee's details (If the same as applicant, write 'see applicant')

Surname or Company name [Sch 2 2.2(a)(ii)]
Title / First Name / Initials or Australian Company Number (ACN) [Sch 2 2.2(a)(ii)]
If a company [Name of contact person [Sch 2 2.2(a)(ii)]]
[Title / First name / Initials [Sch 2 2.2(a)(ii)]]
Postal address [Sch 2 2.2(a)(ii)] or [Forest]
Phone number (business hours) [Sch 2 2.2(a)(ii)]
Fax number [Sch 2 2.2(a)(ii)]

Lessee's agreement to application

Signature [Sch 2 2.2(a)(ii)]

2nd Lessee's details

Surname or Company name [Sch 2 2.2(a)(ii)]
Title / First Name / Initials or Australian Company Number (ACN) [Sch 2 2.2(a)(ii)]
If a company [Name of contact person [Sch 2 2.2(a)(ii)]]
[Title / First name / Initials [Sch 2 2.2(a)(ii)]]
Postal address [Sch 2 2.2(a)(ii)]
[Forest]
Phone number (business hours) [Sch 2 2.2(a)(ii)]
Fax number [Sch 2 2.2(a)(ii)]

2nd Lessee's agreement to application

Signature [Sch 2 2.2(a)(ii)]

Part 4: What types of approvals do you require?

Development Does this application vary in any way from the relevant Performance Measures either in the Design and Siting Criteria or Development Conditions?

REFER TO 1ST FLOOR PLAN
DWG 3.
PLEASE NOTE EXTENSIVE HIGH PLANTING
TO BE RETAINED DOWN BOUNDARIES

No Yes Please give details below
SMALL SECTION OF BED 3 EXTENDS WITHIN
MIN 6m SETBACK. BY APPROX 2.8m²
WINDOWS 22, 23 + 31 HAVE SILLS
LOWER THAN REQ. 1700 HT.

Heritage Works Is this property listed on either the "Interim Heritage Places Register" or the "Heritage Places Register"?

No Yes

Exemption from Public Inspection If development or Heritage Works approval is required, do you wish to exclude any part of your application from public inspection?

No Yes

You will need to complete a Request for Exemption from Public Inspection form

Plan approvals What types of plan approvals are required?

Building Plumbing and drainage

Permits required What types of permits are required?

Building Plumbing Drainage

Electrical work No further requirements until building work is complete

Part 5: Application details

Is this a new project?

Yes Go to Part 6

No Is this proposal: an amendment to a plan BRIMS no. (if known)

in response to requested details Please attach a copy of written requests

Work as Executed (WAE) plan submission

Part 6: Project details

If more than 6 items, please attach details

| Describe each item of building work involved in this application (eg 1. New residence 2. Metal garage 3. In-ground pool 4. Hydraulic plan description 5. Demolition) | New/Additional/WAE | Occupancy Class (1 to 10) | Construction type (A, B or C) | Area | Cost of works (Contract price - refer Bldg Note 25) |
|--|--------------------|---------------------------|-------------------------------|---------------------|---|
| 1 Alteration and addition to existing residence - lower floor | NEW | 1 | | 55.9m ² | 49 192 |
| 2 Alteration and addition to existing residence - upper floor | NEW | 1 | | 196.4m ² | 128 832 |
| 3 Alteration and addition to existing garage | NEW | 10 | | 23.4m ² | 10 530 |
| 4 Paved Terrace | NEW | | | 14.8m ² | 2 590 |
| 5 | | | | | |
| 6 | | | | | |

Part 7: Plan approvals

Building Plans

Are plans attached?

No

Yes

House Energy Rating

If this is an application for a new single residential dwelling, you will require an energy rating by an accredited assessor under the House Energy Rating Scheme

Engineering Option

If you choose the Engineering Option, you will be required to provide an engineer's certificate for any footings or ground floor slabs including site classification

Unleased Territory Land

You will require permission to use any unleased Territory Land. Please complete an *Application for the use of Unleased Territory Land* available at BEPCON counters

Erosion Control

If the site has a slope of greater than 1 in 15, you must provide erosion and sediment control measures during the construction phase including landscaping. Please indicate on the site plan what control measures will be put in place. If you are not sure please ask for a copy of the *Erosion Control on Building Sites* brochure. Licensing arrangements may apply.

Do you want the approved plans to be collected or do you want them mailed to you?

Please hold the approved plans for collection

Please mail the approved plans to me

Plumbing and Drainage Plans

Are plans attached?

No

Yes

Hydraulic Consultant

If hydraulic plans will be submitted for approval separately by a consultant, please provide consultant details

Surname or Company name _____

Title / First Name / Initials or Australian Company Number (ACN) _____

If Company, name of contact person _____

Phone number (business hours) _____

Do you want the approved plans to be collected or do you want them mailed to you?

Please hold the approved plans for collection

Please mail the approved plans to me

Part 8: Permit details

This part must be completed and signed by the relevant licensees

Building Permit

Indicate the item numbers from Part 6 and describe the work for which you are seeking a Building Permit

For what period are you seeking the Permit? 6 months 1 year 2 years 3 years

Are you applying as an Owner-Builder or a Licensed Builder?

Owner-Builder ▶ Name _____

▶ Please attach a summary of experience, skills and references to support this application. You should be aware of Worker's Compensation requirements

Licensed Builder ▶ Please provide the following details and ensure registration details are current

Surname or Company name _____

Title / First Name / Initials or Australian Company Number (ACN) _____

If Company, name of Licensed Nominee _____

Licence number _____ ▶ Class _____

Signature of Licensed Builder _____

Contact Number _____

▶ If this is residential building work, you must check if Housing Indemnity Insurance is required with this permit application

Do you want the Building Permit to be collected or do you want it mailed to you? Please hold the permit for collection
Please mail the permit to me

Plumbing and Drainage Permits

Plumbing and Drainage Permits will be issued at BEPCON Shopfronts on request by licensees:

- (a) after plans are approved; or
- (b) before plans approved where Work As Executed (Residential only) plans are required.

Plumbing Permit

Indicate the plan numbers and/or describe the work for which you are seeking a Plumbing Permit

Licence number _____

Signature of Licensed Plumber _____

Drainage Permit

Indicate the plan numbers and/or describe the work for which you are seeking a Drainage Permit

Licence number _____

Signature of Licensed Drainer _____

Privacy Notice

The personal information on this form is being collected to enable processing of our application. Collection of personal information is authorised by Part VI of the Land (Planning and Environment) Act 1991. The information is accessible to ACTEW Corporation and commercial organisations interested in building information.

The Land (Planning and Environment) Act 1991 requires the details of applications, approvals and orders to be kept on a register and made available for public inspection.

Office use only

Development Approved Signature of Delegate under the Land Act Nicole Di-Campitelli
Date 25/3/99

Heritage Works Approved Signature of Heritage Delegate _____
Date _____

Building Plans Approved Signature of Deputy Building Controller [Signature]
Date 25/3/99

Hydraulic Plans Approved Signature of Inspector _____
Date / /

Building Permit Issued
No. _____ Signature of Deputy Building Controller _____
Date / /

Plumbing Permit Issued
No. _____ Signature of Inspector/ authorised officer _____
Date / /

Drainage Permit Issued
No. _____ Signature of Inspector/ authorised officer _____
Date / /

Deacons Graham & James



Your Ref:
Our Ref: HRT:NEW
Contact Lawyer:
Direct Line: 06 274 0789
Direct Fax: 06 274 0702

formerly **Sly & Welgall**

Lawyers
Level 9
National Mutual Centre
15 London Circuit
Canberra ACT Australia
GPO Box 389
Canberra ACT 2601
Telephone (06) 274 0777
Internal + 61 6 274 0777
Facsimile (06) 274 0666
Internet canberra@dgj.com
DX 5801 Canberra

An Independent Firm
registered in the ACT

Australia
Brisbane
Canberra
Melbourne
Perth
Sydney

International
Bangkok
Hanoi
Ho Chi Minh City
Hong Kong
Jakarta
People's Republic of China
Taipei
Tokyo
Los Angeles
New York
San Francisco
Seattle
Washington DC

28 February, 1997

The Building Controller
Building Section
DUS
WODEN

Dear Sir

██████████ SALE TO ██████████ BLOCK ██████████ SECTION ██████████ FORREST

We act for the owner of the above property and on its behalf authorise you to allow the bearer of this letter to inspect the building file.

Yours faithfully
[Signature]
Sch 2 2.2(a)(ii)
██████████

Partner
Deacons Graham & James



Application for Search and/or copies of Plans/Documents

Name of Applicant

Phone Number (Business Hours)

CAPITAL Building Consultants

2571269

Address

Postal Address

Description of Land

Suburb

Section

Block

Unit

FORREST

Office Only

File charges

.....
.....
.....
.....
.....
.....
.....
.....
.....
.....

Total

Description of service required by you (Please tick requirement)

- Personal search of building file
- Staff-assisted search of the building file
- Standard written search to be posted
- Standard written search to be held at counter
- Copy of approved plans
- Copy of certified Certificates of Occupancy and Use
- Copy of uncertified Certificates of Occupancy and Use
- Copy of survey report
- Other (please specify)

File Access Authorisation

Declaration

I declare that the particulars of this application for search and/or copies of plans/documents are true and correct in every detail and I am the person indicated by a tick in the relevant box below.

- I am the lessee/owner
- I am the solicitor acting on behalf of the lessee/owner
- I have authorisation from the lessee/owner, which is attached
- I have authorisation from the solicitor representing the lessee/owner, which is attached
- I have authorisation from the trustee of the deceased estate, which is attached
- I have authorisation for power of attorney for the lessee/owner, which is attached
- I am/act for a mortgagee in possession

Signature Sch 2 2.2(a)(ii)

Date

22/1/97

Note

1. Applicants must comply with one of the above declarations to protect any personal information relating to the lessee/owner of this lease under the provisions of the Privacy Act 1988.
2. Section 59A of the ACT Building Act 1972 provides for severe penalties for false or misleading statements.

Office Use Only

Search Officer's Initials

Date Completed

/ /

Receipt Number

Deacons Graham & James



28

Your Ref:
Our Ref: PGS/SDK:22254
Direct Line: 274 0788

formerly Sly & Weigall
Lawyers
Level 9
National Mutual Centre
16 London Circuit
Canberra ACT Australia
GPO Box 389
Canberra ACT 2601
Telephone (08) 274 0777
Internet + 61 8 274 0777
Facsimile (08) 274 0866
Internet canberra@dgi.com
DX 5601 Canberra

21 January 1997

The Building Controller
Building Section
D.U.S.
WODEN

An Independent Firm
registered in the ACT

Dear Sir

Australia
Brisbane
Canberra
Melbourne
Perth
Sydney

**BLOCK [REDACTED] SECTION [REDACTED] VOLUME 271 FOLIO 51
FORREST**

International

We act for the owner of the above property and authorise you to allow
the bearer of this letter to inspect the building file.

Bangkok
Hanoi
Ho Chi Minh City
Hong Kong
Jakarta
People's Republic of China
Taipei
Tokyo
Los Angeles
New York
San Francisco
Seattle
Washington DC

Yours faithfully

Sch 2 2.2(a)(ii)

Consultant
Deacons Graham & James

Chief Architect,
Department of the Capital Territory,
North Building,
Civic Square,
London Circuit,
CANBERRA CITY. A.C.T.

Dear Sir,

Block [redacted] Section [redacted] Division Forrest

Registered Proprietor's Name

Sch 2 2.2(a)(ii)

We act for the abovementioned and hereby authorize you to produce the Building File of the above block for inspection to the under-mentioned and to permit them or either of them to uplift the survey.

Yours faithfully,
ELRINGTON & ELRINGTON

per: [redacted]
Sch 2 2.2(a)(ii)

Persons authorized: MACPHILLAMY CUMMINS & GIBSON

MACPHILLAMY CUMMINS & GIBSON

SOLICITORS

11th floor, National Mutual Centre
Darwin Place
Canberra ACT

PO Box 628, Canberra City, ACT 2601

Sydney Document Exchange No. C1

Telex: 62615 Telegrams: Phipson
Telephone: STD 062/488311

8043 A 26
ord

Your ref.:

Our ref.: P/New

4 8 7 6 9 1 6 1 0 0 0 5 0 0 0

The Assistant Secretary,
Building Section,
Department of the Capital Territory,
C39, CANBERRA DOCUMENT EXCHANGE

4 8 7 6 9 1 6 1 0 0 0 5 0 0 0

Dear Sir,

RE: BLOCK [redacted] SECTION [redacted] FORREST, REGISTERED PROPRIETOR

Sch 2 2.2(a)(ii)

We act for Sch 2 2.2(a)(ii) [redacted] who propose purchasing the above property.

We should be pleased if you could arrange for the Building file in relation to this property to be made available for inspection.

Please contact the writer on 'phone 488311 when this file is available.

We enclose herewith cheque for \$5.00 and undertake to produce authority to inspect at the time of inspection.

Yours faithfully,
MACPHILLAMY CUMMINS & GIBSON

Sch 2 2.2(a)(ii)

Per: [redacted]

encl. [redacted]

*Advised PBF
8/11/76*

Partners:
Neil M. Macphillamy BA LLB
M. P. Cummins
T. M. Johnstone Notary Public
J. W. Leedman MA LLB
P. G. Seaman
Stephen L. Walmsley LLB

Associates:
J. G. McMahon BA (Econ)
Peter A. Hohnen LLB
B. J. Doyle BCL (Oxon) LLB
R. Phillips LLB

8043/A
14. 68

Dear Sir/Madam,

BLOCK [redacted], SECTION [redacted] 70 27
Application for approval of plans & specifications
of Addition
For (Lessee) **Sch 2 2.2(a)(ii)**

Plans lodged in this office relating to the above have been approved and are enclosed. Your attention is drawn to the notations thereon which form part of the approval.

Construction may not be commenced until a licensed builder has:-

- (a) presented the approved copy of these plans and specifications at this office; and
- (b) applied for and been issued with a Permit under the Canberra Building Regulations to erect the structure.

You are also requested to ensure that the inspection requirements set out on the back hereof are observed.

Yours faithfully,

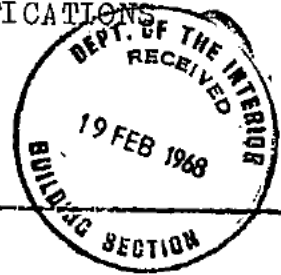
L. W. Cairns
(L. W. GAIRNS)
Chief Architect

Sch 2 2.2(a)(ii)

LB 1

(Est. 1966) APPLICATION FOR APPROVAL OF PLANS & SPECIFICATIONS

To: The Chief Architect,
 Lands Branch,
 Department of the Interior,
 CANBERRA. A.C.T.



| | |
|---|--|
| Name: Sch 2 2.2(a)(ii) | |
| Address: Forrest ACT | |
| Location on which building to be constructed - Block [redacted] Section [redacted] Division Forrest | |
| Type of Building (classified by occupancy as defined in the Building Manual) | Extension to Existing Residence |
| Name and Address of Applicant Sch 2 2.2(a)(ii) | |
| Contract or Estimated Price \$ Sch 2 2.2(a)(xi) | Gross Floor Area of Proposed Building 50 square feet. |
| I enclose the following fee payable in respect of this application under Reg. 14A(1) \$ | Sch 2 2.2(a)(ii) Signature of Applicant 7/2/1968 |

OFFICE USE ONLY

| | | | |
|---|---------------|--|--------------------|
| Squarage for Fees | | Plans Numbered | 8043/A |
| Total Fees Payable under Reg. 14(1) | \$2.00 | Building Covenant | \$ addition |
| Fees now due under Reg. 14A(1) i.e. 25% | \$0.50 | Plans Approved / Not Approved | |
| Receipt No. | 214090 | APPROVED PROPERTY AUTHORITY UNDER CANBERRA BUILDING REGULATIONS 13 MAR 1968 | |

Additions

8043

2 lights

1 - 1/2 Neates 1100w

REFERENCE

BUILDING ERECTED ON BLOCK [redacted]

SECTION ... [redacted] DISTRICT... *Forest*

It is hereby certified that the electrical installation has been inspected and approved for connection to the Electric Supply Mains.

ELECTRICIAN: *A. Kennedy*

LICENCE NO.: *653*

3304

H.A. Jones
H.A. JONES
ENGINEER MANAGER

20.1.3.104...

LANDS AND SURVEY BRANCH.

BUILDING SECTION.

NOTICE OF ISSUE OF COMPLETION CERTIFICATE.

Block.. [redacted] Section..... [redacted] District..... *Farnet*

Lessee **Sch 2 2.2(a)(ii)**

Certificate of Completion

- 1. Handed to
- 2. Posted to

Comm for Housing
M. Carr
26.3.64

Lessee's Signature.....

11

Issuing Officer


 Jones.

OK for final when
 Sect Cert received.

J.M.

27/2/64.

Certificate to hand.
 No separate Certificate required or
 Identification Survey.

Certificate of Completion can
 now be issued

R. Mueller 16/3/64

8043

Nº 30

20-2-64



Forrest

Final check

Mark

2/3/64

OK

Check returned

REFERENCE : BUILDING ERECTED ON BLOCK.....

SECTION DISTRICT *Forest*

It is hereby certified that the electrical installation has been inspected and approved for connection to the Electric Supply Mains.

ELECTRICIAN : *A. Kennedy*

3257

LICENCE NO. : *653*

H.A. Jones
for H.A. JONES
ENGINEER MANAGER

9.3.64

INSTRUCTIONS TO BUILDERN^o 2290Builder F. MaackRe Building on Block No. [] Section No. [] Division of FairfaxFinish on Work room.

The following items require your attention to comply with the Canberra Building Regulations and approved plans and specifications:—

- ① Paint the tops of rosters
- ② Sillings missing from window sashes
- ③ End sills required to roof deck
- ④ Make good the rotting to render under wood threshold of doorway.

J. Henrich

OK 21/2/64.

Canberra,

5/2/1963.J. R. Sprakes
Building Inspector.

8043



FORREST

4-11-63

Final Inspection

clear off roof
and shingles to roof deck

F Noach

5/12/63

remains to stay
para type of rocks



COMMONWEALTH OF AUSTRALIA

LANDS AND SURVEY BRANCH
DEPARTMENT OF THE INTERIOR

TELEGRAMS "INTERIOR"
TELEPHONE J 0411

CIVIC OFFICES
CANBERRA. A.C.T.

REFERENCE 9043

PROGRESS REPORT FOR ADVANCES UNDER HOUSING ORDINANCE 1928-1957.

Application No... 2896 Instalment No... First
Purpose of Advance Addition Applicant **Sch 2 2.2(a)(ii)**
Locality: Block [redacted] .Section [redacted] .Division... Forest

The percentage of work completed satisfactorily and in accordance with the approved plan and specification up to 21/11/62 = 69.5%

The above project has been completed except for:

It is recommended that all moneys owing be paid, less an amount of £ _____ to be held pending final completion.

J.R. Sparkes
Inspector 21/11/62

[Signature]
Architect 22/11/62

~~The Commissioner for Housing.~~
File Copy.

21/11/63 15



Faint.

P. Raymond

21/11/63 Impeded.



Sch 2 2.2(a)(ii)

Sch 2 2.2(a)(ii)

Faust.

18 7-63. Foundation inspection to work room 15'x9" NO7 T.M. Span R.M.C.
satisfactory to para. J.M.S.

8/11/63. Inspection carried out on beams & joists all encased (walls
have been shuted, builder was under the impression that the inspection
had been done, but was not, the inspection was booked but not given. So
the inspector commnd until the 8/14/63 job should be ok. J.M.S.)

21/11/63. Progress payment inspection. J.M.S.

5/12/63. Final inspection on list NO 2290 on file. J.M.S.

21/2/64. Final inspection on list NO 2290 now satisfactory. J.M.S.

file



Tennant

30.10.63
~~1966~~ 8043

frame of Br J.

(Noad)

Fudge?

See booklet on far a...
more

8/11/63

4' x 3" Brs 4" x 2" jths all mounted

walls have already been studied builder was in the
measuring the... but the doors and that

8043



Forness

15/10/63

2

Foundation Fri.

Moak. 18/10/63 016 15" x 9" 407 T.M. 5 Pan R.M.C.

THE AUSTRALIAN CAPITAL TERRITORY.

DEPARTMENT OF THE INTERIOR.

Nº 2021

Building and Services Ordinance 1924-1942. Canberra Building Regulations.

PERMIT TO ERECT, ALTER, OR ADD TO, A BUILDING.

THIS IS TO CERTIFY that permission is hereby given to

Sch 2 2.2(a)(ii)

of Sch 2 2.2(a)(ii) additions to for the erection of a building alterations to

for use as Office on Block 1 of Section

at James St for Sch 2 2.2(a)(ii)

of Mr James the

lessee of the said Block, in accordance with the plans and specifications approved therefor and numbered 8043, and in accordance with the Canberra Building Regulations made under the Building and Services Ordinance 1924-1942.

This Permit is issued subject to the special conditions stated in the Schedule hereto.

Dated this 15th day of Oct 1963

Proper Authority.

THE SCHEDULE.

Special Conditions.

By Authority: A. J. ARRIBUG, C'wealth Govt. Printer, Canberra.

AUSTRALIAN CAPITAL TERRITORY.

Building and Services Ordinance
Canberra Building Regulations.



8013

J.S 16/10 Jumbo

APPLICATION FOR PERMIT TO ERECT A BUILDING

To—

THE CHIEF ARCHITECT,
LANDS AND SURVEY BRANCH,
DEPARTMENT OF THE INTERIOR,
CANBERRA, A.C.T.

I, Sch 2 2.2(a)(ii)

of Sch 2 2.2(a)(ii) being the holder

of a Builder's Licence under the Canberra Building Regulations, hereby apply for a Permit to Erect a

Building for use as OFFICE, on Block of Section

at Forrest, for Sch 2 2.2(a)(ii)

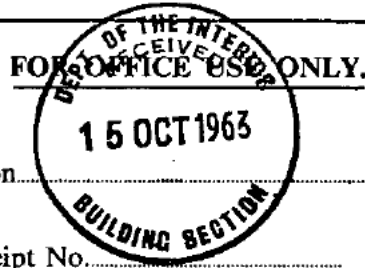
of Forrest, the Lessee of the said Block.

I enclose the sum of £11.6, being the fee payable, in respect of this application, under regulation 14 of the Canberra Building Regulations.

The value of the building to be erected is £700.

Dated this 11th day of October, 1963.

Signature G Pouch



Intention to commence work notified on

Fee paid on No due Receipt No.

Application Approved and Permit Issued.

Permit Receipt No. 58744

2021
Laird

Proper Authority.

15/10/63

Stats. Noted :

[Handwritten scribble]

file copy

The Commissioner for Housing.

Re add. to Residence on Block [REDACTED] Section [REDACTED] District Forests

Applicant - Sch 2 2.2(a)(ii)
[REDACTED]

The valuation for the above project in accordance with the approved plan and specification ~~and as erected on the site~~ is as follows -

| | | |
|-----------|---|--------------------|
| Residence | £ | _____ |
| Garage | £ | _____ |
| Carport | £ | _____ |
| Fencing | £ | _____ |
| Paths | £ | _____ |
| Additions | £ | <u>750</u> |
| | £ | _____ |
| TOTAL | | <u><u>750.</u></u> |

dlb

.....
for Chief Architect
10/10/1963.

COMMISSIONER FOR HOUSING
DEPARTMENT OF THE INTERIOR

3A.

TELEGRAMS 'INTERIOR'
 TELEPHONE 4 4271
 P.O. BOX 442
 CANBERRA CITY

LONDON CIRCUIT
 CANBERRA CITY

18 SEP 1963

8043.
E✓

THE CHIEF ARCHITECT,
LANDS & SURVEY BRANCH.

HOUSING ORDINANCE, 1928-1957
APPLICATION FOR AN ADVANCE.

Sch 2 2.2(a)(ii)

have made application for
 an advance under the Housing Ordinance, 1928-1957, for the purpose of alterations
 and or additions to existing dwelling on Block [REDACTED], Section [REDACTED],
 Forrest, A.C.T.

Will you kindly let me have your valuation of the proposed alterations
 and or additions to the residence in order that consideration may be given to the
 application.

Sch 2 2.2(a)(ii)

address is:-

[REDACTED]
Forrest. A.C.T.

A. R. Wingfield
 (A. R. WINGFIELD)
 (M. V. LUCAS)
Commissioner for Housing.

 Ernest

3

Approved plans handed
to Mr. Country

B. Matter

3/10/63

REGULATION 11a.

A.C.T. LANDS AND SURVEY BRANCH
 CANBERRA BUILDING REGULATIONS
 PLAN No. 9034
 AUSTRALIAN CAPITAL TERRITORY.
 DEPARTMENT OF THE INTERIOR.

FORM H.



Building and Services Ordinance.
Canberra Building Regulations.

APPLICATION FOR APPROVAL AS TO DESIGN ONLY.

To—
 THE CHIEF ARCHITECT,
 LANDS AND SURVEY BRANCH,
 DEPARTMENT OF THE INTERIOR,
 CANBERRA, A.C.T.

I, **Sch 2 2.2(a)(ii)**

of 35 Furneaux at Forrest
 hereby apply for the approval of the proper authority to the design of a building proposed to be erected for
 use as additions on Block 9 of Section
 at Forrest for **Sch 2 2.2(a)(ii)**
 of (Address) (the Lessee of the said Block).

Herewith are submitted two copies of the drawings and specification for the said building.

If the design is approved, it is desired that one copy be returned to me with the approval endorsed thereon.

I enclose the sum of 5/-, being the fee payable, in respect of this application, under regulation 14 of the Canberra Building Regulations.

Dated this 24th day of Sept 1963

Sch 2 2.2(a)(ii)
 Signature

FOR OFFICE USE ONLY.

PLANS NUMBERED 8043

LEASE BUILDING COVENANT addns

APPROVED.

 NOT APPROVED.

 Proper Authority

2 OCT 1963 /19

RECEIPT NO. 287306 ✓

AUSTRALIAN CAPITAL TERRITORY.
DEPARTMENT OF THE INTERIOR.

*Building and Services Ordinance.
Canberra Building Regulations.*



APPLICATION FOR APPROVAL AS TO DESIGN ONLY.

To—
THE CHIEF ARCHITECT,
LANDS AND SURVEY BRANCH,
DEPARTMENT OF THE INTERIOR,
CANBERRA, A.C.T.

I, **Sch 2 2.2(a)(ii)**

of **Forest**
hereby apply for the approval of the proper authority to the design of a building proposed to be erected for
use as **Additions** on Block **Sch 2 2.2(a)(ii)** of Section **Sch 2 2.2(a)(ii)**
at **Forest** for **Sch 2 2.2(a)(ii)**
of (Address) (the Lessee of the said Block).

Herewith are submitted two copies of the drawings and specification for the said building.

If the design is approved, it is desired that one copy be returned to me with the approval endorsed thereon.

I enclose the sum of **5/-**, being the fee payable, in respect of this application, under regulation 14 of the Canberra Building Regulations.

Dated this **6th** day of **Sept.** 19 **63**

Signature **Sch 2 2.2(a)(ii)**

FOR OFFICE USE ONLY.

PLANS NUMBERED.....
LEASE BUILDING COVENANT.....
APPROVED.
NOT APPROVED.

Proper Authority.

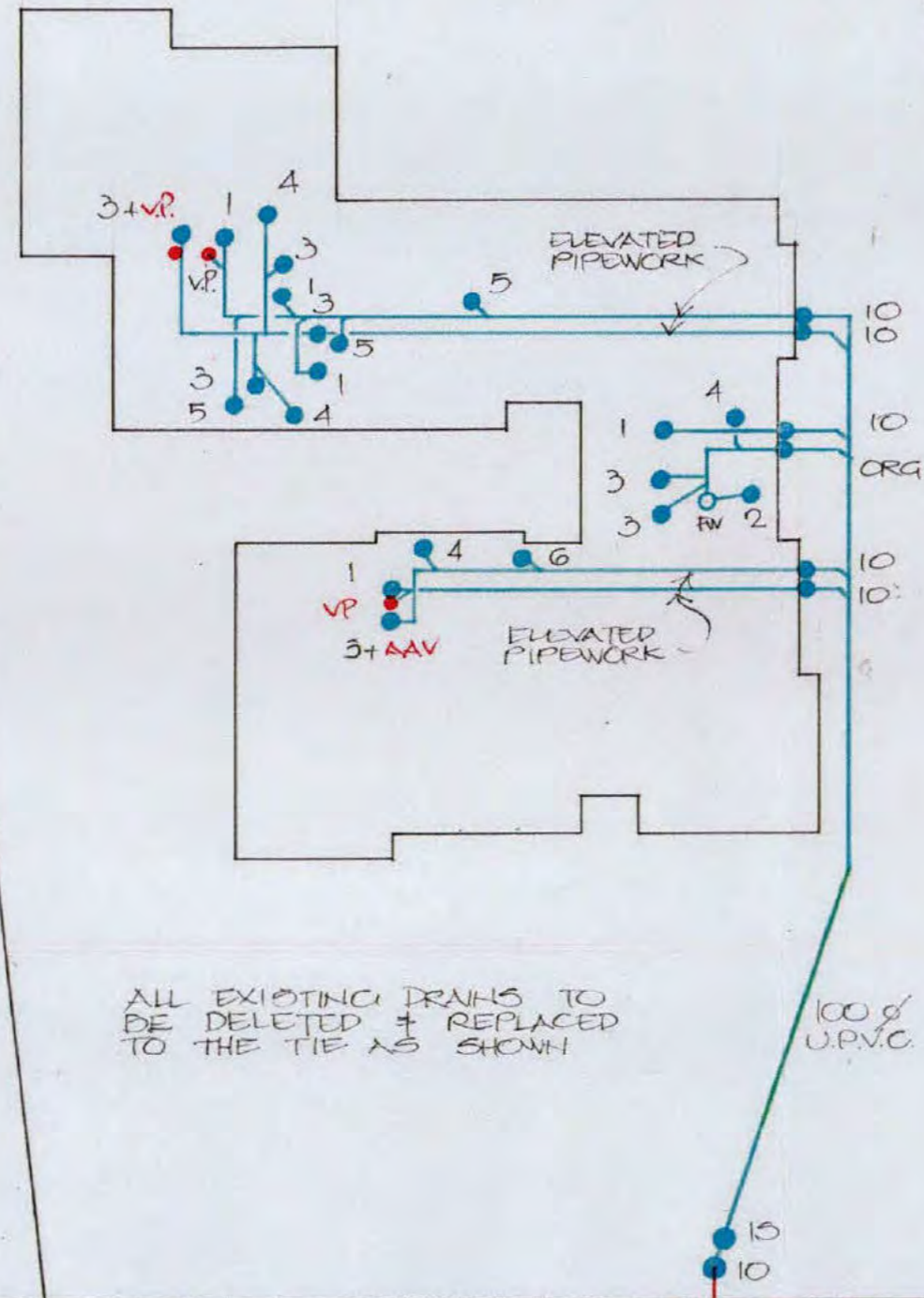
/19.....

RECEIPT NO.

237117 ✓

BLOCK .. SECTION ..
 SUBURB... FORREST,
 ADDRESS...
 OWNER...

WORK AS EXECUTED



ALL EXISTING DRAINS TO BE DELETED & REPLACED TO THE TIE AS SHOWN

SEWER T. 11.682
 D. 1.2

| REFERENCE | FIXTURES | QUANTITY |
|-----------|----------------------------------|----------------------|
| AAV | Air admittance valve | 1. Water closet (5) |
| BT | Bucket trap | 2. Bath (1) |
| CO | Clear out | 3. Basin (7) |
| DT | Disconnecter trap | 4. Shower (4) |
| EJ | Expansion joint | 5. Sink (3) |
| EV | Educt vent | 6. Laundry tub (1) |
| FW | Floor waste | 7. Urinal (-) |
| GT | Gully trap | 8. Cleaners sink (-) |
| IC | Inspection chamber | 9. Bidet (-) |
| IO | Inspection opening | 11. Dishwasher (-) |
| IS | Inspection shaft | 13. Glasswasher (-) |
| JU | Jump up | |
| MH | Manhole | TOTAL 21 |
| ORG | Overflow relief gully | |
| SC | Stopcock | |
| SVP | Soil vent pipe | |
| TD | Tundish | |
| TTD | Trapped tundish | |
| UPVC | Unplasticised polyvinyl chloride | |
| VP | Ventpipe | |
| WM | Water meter | |

NOTES :

1. Drains to be laid in blue lines.
 2. Existing drains shown in green lines.
 3. Existing drains x'd in red to be abolished.
 4. Drains to be supported on or from solid ground.
 5. Copper pipes to be in accordance with AS.1432-1973 table 2 type B tubes.
 6. Unplasticised polyvinyl chloride pipe drains (UPVC) including stacks are to be constructed with AS. 2032-1977, AS 3500 and Canberra codes of practice
 7. Existing drains under buildings must be retested, if test fails then new pipes are to be laid using either UPVC or RRVCVP pipe material.
 8. Sewer tie is to be located before work begins.
 9. This plan is to be read in conjunction with approved architectural plans and specifications
 10. ORG levels to be read in conjunction with AS.3500.2, clause 4.6.6.6. And 4.6.6.7.
 11. Inspection shaft at tie to be raised to ground level in accordance with plumbing note number three.
- all work must be carried out in conformity with the water and sewerage Act 2000, Water and Sewerage Regulations 2001 and the SA 3500

SM

11-2-19

CHECKED BY :

DRAWN : Roger Dawnock Mobile Sch 2 2.2(a)(ii)

DEPARTMENT OF THE INTERIOR.

WORKS AND SERVICES BRANCH.

Detail Plan No. 486

Drainage Plan No. 644

PLAN OF DRAINAGE

FOR

M. Owners The Commonwealth of Australia

DISTRICT *Forrest Blocks 3 & 9 Section 23*

REFERENCE:

B.T. Boundary Trap.

G.T. Gully Trap.

D.T. Disconnecter Trap.

G.D.T. Gully Disconnecter Trap.

G.I.T. Grease Interceptor Trap.

S.V. Stop Valve.

S.T. Silt Trap.

C.I.P. Cast Iron Pipe.

G.W.I.P. Galv. Wrought Iron Pipe.

S.P.D. Stoneware Pipe Drain.

I.C. Inspection Chamber.

I.O. Inspection Opening.

E.V. Educt Vent.

I.V. Induct Vent.

S.I.V.P. Soil Induct Vent Pipe.

S.V.P. Soil Vent Pipe.

V.P. Ventilating Pipe.

T.I.T. Triple Interceptor Trap.

Scale—40 feet to 1 inch.

(See Regulations.)

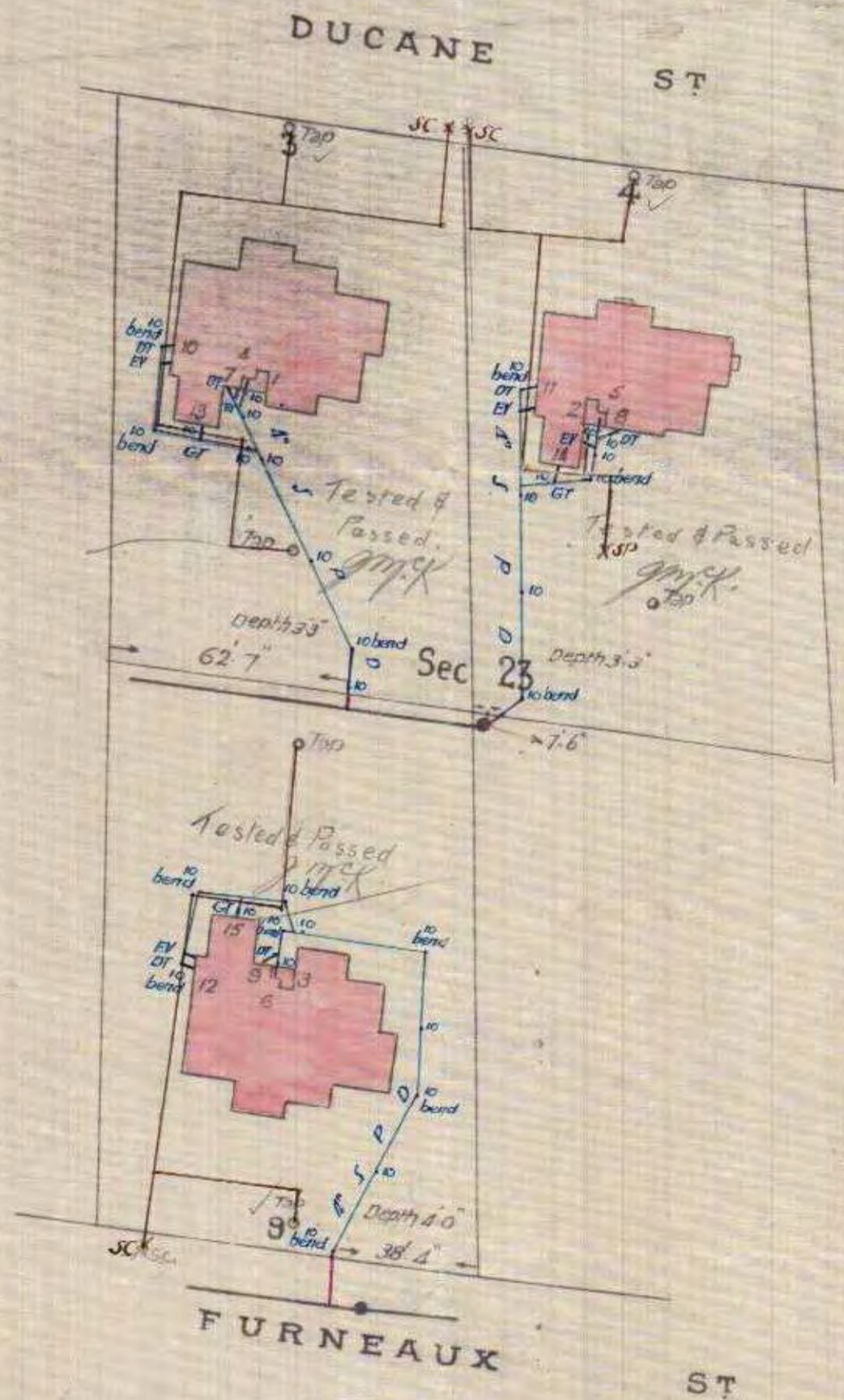
- List of Fittings*
- 1.2.3 closets *Internal*
 - 4.5.6 Baths
 - 7.8.9 Lav Basins
 - 10.11.12 K Sinks
 - 13.14.15 Troughs

G Taps to be enclosed in brickwork, cement rendered & tap & cement apron provided to each.
Storage Tanks for closet cisterns to be provided when ever ordered by the Engineer for water supply & sewerage.
6" Tube Vents to be carried up through ceilings of lobby's outside closet apartments finishing with cowls.
Pipes under buildings to be surrounded with 6" of cement concrete & walls arched over drains.
Position of reticulation branches to be determined by measurements shown.
Drains to be laid shown in blue lines.

Designed by
J. Lott
 15.2.34

Work carried out to this plan
 Water services shown in brown lines

J. McKinnon
 Inspector
 26.10.34



Examined, *A.C. Dlectors*
 Engineer, *R.D.*

Canberra, 16.2.1934