



ACT
Government

Chief Minister, Treasury and
Economic Development

Freedom of Information Disclosure Log Publication Coversheet

The following information is provided pursuant to section 28 of the *Freedom of Information Act 2016*.

Application Details	
Ref. No.	CMTEDDFOI 2024-035
Date of Application	6 February 2024
Date of Decision	11 April 2024
Processing time (in working days)	44
Fees	N/A
Decision on Access	Partial Release
Information Requested (summary)	Information on approval documents for extension in McKellar.
Publication Details	
Original application	<input checked="" type="checkbox"/> Published <input type="checkbox"/> N/A
Decision notice	<input checked="" type="checkbox"/> Published <input type="checkbox"/> N/A
Documents and schedule	<input checked="" type="checkbox"/> Published <input type="checkbox"/> N/A
Decision made by Ombudsman	N/A
Additional information identified by Ombudsman	N/A
Decision made by ACAT	N/A
Additional information identified by ACAT	N/A

From: [REDACTED]
To: [CMTEDD FOI](#)
Subject: Freedom of Information Request
Date: Tuesday, 6 February 2024 12:17:00 PM

You don't often get email from [REDACTED] [Learn why this is important](#)

Caution: This email originated from outside of the ACT Government. Do not click links or open attachments unless you recognise the sender and know the content is safe. [Learn why this is important](#)

Hi. I live at [REDACTED] and there is a development taking place at [REDACTED] which I'd like to know more about. Accordingly I request information relating to the original approval documents and the plan of the 'extension' as proposed and approved.

Sincerely,

[REDACTED]



ACT
Government

Chief Minister, Treasury and
Economic Development

Our ref: CMTEDDFOI 2024-035



FREEDOM OF INFORMATION REQUEST – NOTICE OF DECISION

I refer to your application under section 30 of the *Freedom of Information Act 2016* (the Act), received by the Chief Minister, Treasury and Economic Development Directorate (CMTEDD) on 6 February 2024.

Specifically, you have sought access to the following information:

- *I request information relating to the original approval documents and the plan of the 'extension' as proposed and approved for [REDACTED].*

Authority

I am an Information Officer appointed by the CMTEDD Director-General under section 18 of the Act to deal with access applications made under Part 5 of the Act.

Timeframes

In accordance with section 40 of the Act, CMTEDD is required to provide a decision on your access application within 30 days.

As this matter required third party consultation, the decision due date was extended by 15 working days, in accordance with section 40(2) of the Act.

Therefore, a decision is due by 12 April 2024.

Decision on access

Searches of CMTEDD records have identified eight documents within the scope of your request.

I have decided to grant **partial access** to all documents.

The records identified as relevant to your application are listed in the schedule enclosed at **Attachment A**. This provides a description of each document that falls within the scope of your request and the access decision for each of those documents.

Release of documents

The information being released to you is provided at **Attachment B**.

Statement of Reasons

In accordance with section 54(2) of the Act a statement of reasons outlining my decisions is below. In reaching my access decisions, I have taken the following into account:

- the Act
- the information that falls within the scope of your request
- the views of consulted third parties
- the *Human Rights Act 2004*

As a decision maker, I am required to determine whether the information within scope is in the public interest to release. To make this decision, I am required to:

- assess whether the information would be contrary to public interest to disclose as per **Schedule 1** of the Act.
- perform the public interest test as set out in section 17 of the Act by balancing the factors favouring disclosure and factors favouring non-disclosure in **Schedule 2** of the Act.

Exemptions claimed

Public Interest Test

The Act has a presumption in favour of disclosure. As a decision maker I am required to decide where, on balance, public interests lies. As part of this process, I must consider factors favouring disclosure and non-disclosure.

In *Hogan v Hinch* (2011) 243 CLR 506, [31] French CJ stated that when ‘used in a statute, the term [public interest] derives its content from “the subject matter and the scope and purpose” of the enactment in which it appears’. Section 17(1) of the Act sets out the test, to be applied to determine whether disclosure of information would be contrary to the public interest. These factors are found in subsection 17(2) and Schedule 2 of the Act.

Schedule 2: Factors to be considered when deciding the public interest.

Taking into consideration the information contained in the documents found to be within the scope of your request, I have identified that the following public interest factors are relevant to determine if release of the information contained within these documents is within the ‘public interest’.

Factors favouring disclosure (Section 2.1)

- *Section 2.1(a)(xiii) - contribute to the administration of justice generally, including procedural fairness.*

Having considered the factors identified as relevant in this matter, I consider that release of the information contained in these documents may contribute to the administration of justice generally by allowing you to have a copy of the documents. I am satisfied that this factor favouring disclosure carries some weight. However, this factor is to be balanced against the factors favouring non-disclosure.

Factors favouring nondisclosure (Section 2.2)

- Section 2.2(a)(ii) - prejudice the protection of an individual’s right to privacy or any other right under the Human Rights Act 2004.
- Section 2.2(a)(xi) - prejudice trade secrets, business affairs or research of an agency or person.

Having reviewed the documents, I consider that the protection of an individual's right to privacy, especially in the course of dealings with the ACT Government is a significant factor as the parties involved have provided their personal information for the purposes of working with the ACT Government. This, in my opinion, outweighs the benefit which may be derived from releasing the personal information of the individual's involved in this matter.

Individuals are entitled to expect that the personal information they have supplied as part of this process will be dealt with in a manner that protects their privacy. Considering the type of information to be withheld from release, I am satisfied that the factors in favour of release can still be met while protecting the personal information of the individuals involved. I therefore weigh the factor for nondisclosure more highly than the factor in favour of release in this instance. As a result, I have decided that release of this information (phone numbers, email addresses, signatures and names of individuals not employed by the ACT Public Service) could prejudice their right to privacy under the *Human Rights Act 2004*.

I have also considered the impact of disclosing information which relates to business affairs. In the case of *Re Mangan and The Treasury* [2005] AATA 898 the term 'business affairs' was interpreted as meaning 'the totality of the money-making affairs of an organisation or undertaking as distinct from its private or internal affairs'. Schedule 2 section 2.2(a)(xi) allows for government information to be withheld from release if disclosure of the information could reasonably be expected to prejudice the trade secrets, business affairs or research of an agency or person. The information withheld from release could reasonably be expected to unfairly prejudice the business affairs and trade secrets of a third party, along with unwanted commercial implications.

Having applied the test outlined in section 17 of the Act and deciding that release of personal information contained in the documents is not in the public interest to release, I have chosen to redact this specific information in accordance with section 50(2). Noting the pro-disclosure intent of the Act, I am satisfied that redacting only the information that I believe is not in the public interest to release will ensure that the intent of the Act is met and will provide you with access to the majority of the information held by CMTEDD within the scope of your request.

Charges

Processing charges are not applicable for this request because the number of pages released to you is below the charging threshold of 50.

Online publishing – Disclosure Log

Under section 28 of the Act, CMTEDD maintains an online record of access applications called a [disclosure log](#).

Your original access application and my decision will be published on the CMTEDD disclosure log. Your personal contact details will not be published.

Ombudsman Review

My decision on your access request is a reviewable decision as identified in Schedule 3 of the Act. You have the right to seek Ombudsman review of this outcome under section 73 of the Act within 20 working days from the day that my decision is published on the disclosure log, or a longer period allowed by the Ombudsman.

We recommend using this form [Applying for an Ombudsman Review](#) to ensure you provide all of the required information. Alternatively, you may write to the Ombudsman at:

The ACT Ombudsman
GPO Box 442
CANBERRA ACT 2601

Via email: actfoi@ombudsman.gov.au


ACT Civil and Administrative Tribunal (ACAT) Review

Under section 84 of the Act, if a decision is made under section 82(1) on an Ombudsman review, you may apply to the ACAT for review of the Ombudsman decision. Further information may be obtained from the ACAT at:

ACT Civil and Administrative Tribunal
GPO Box 370
Canberra City ACT 2601
Telephone: (02) 6207 1740
<http://www.acat.act.gov.au/>

Should you have any queries in relation to your request please contact the Information Access Team by telephone on 6207 7754 or email CMTEDDFOI@act.gov.au.

Yours sincerely



Emma Hotham
Information Officer
Chief Minister, Treasury and Economic Development Directorate

11 April 2024



ACT
Government

Chief Minister, Treasury and
Economic Development

FREEDOM OF INFORMATION REQUEST SCHEDULE

WHAT ARE THE PARAMETERS OF THE REQUEST

Reference NO.

I request all information relating to the original approval documents and the plan of the 'extension' as proposed and approved at [REDACTED],
[REDACTED].

CMTEDDFOI 2024-035

Ref No	Page number	Description	Date	Status	Reason for Exemption	Online Release Status
1	1-16	Proposed plans for extension	3 Apr 2023	Partial release	Sch 2 s2.2 (a)(ii) Sch 2 s2.2 (a)(xi)	Yes
2	17	Asbestos Control Plan for proposed work	12 Sep 2023	Partial release	Sch 2 s2.2 (a)(ii)	Yes
3	18-19	Forms 7A and 7B	2 Aug 2023	Partial release	Sch 2 s2.2 (a)(ii)	Yes
4	20-24	ACT Certification – Building Approval Letter	17 Oct 2023	Partial release	Sch 2 s2.2 (a)(ii)	Yes
5	25-26	Building Approval	17 Oct 2023	Partial release	Sch 2 s2.2 (a)(ii)	Yes
6	27-28	Site Work Notice	17 Oct 2023	Partial release	Sch 2 s2.2 (a)(ii)	Yes
7	29-33	Appointment of Builder & Application for Commencement Notice	15 Nov 2023	Partial release	Sch 2 s2.2 (a)(ii)	Yes
8	34-38	Appointment of a Certifier and Application for Building Approval	9 Jun 2023	Partial release	Sch 2 s2.2 (a)(ii)	Yes
Total No of Docs						
8						

ACT CERTIFICATION
 ACN: 627 227 990
 Lic No: 2016757
 Date issued: 17/10/2023
BUILDING APPROVAL
 Issued under section 28 of the Building Act 2004

 Name of Certifier: Scott Wigley
 1a
 BCA Occupancy Class: N/A
 BCA Type of Construction:
 Approved Building Plans are to be read in conjunction with the Building Approval Letter



- DRIVEWAY / VERGE CROSSING**
- The existing Verge crossing must be removed and the new 3.0m verge crossing must be constructed in accordance with TCCS MIS Design Standards.
 - The verge crossing must be inspected at the formwork stage by an officer of TCCS Development Planning. This verge crossing inspection can be organised by completing a smart form available on the TCCS website.
 - A clear sight triangle must be provided in accordance with the Section 3.2.4 of AS 2890.1 Off-street Car Parking.
 - Any infrastructure assets such as street lighting, mini-pillars, signage, etc, must be a minimum of 1.5m away from the closest edge of the driveway. In the case of stormwater sumps this minimum distance is 1.2m.

Drawing List	
A1-2	Site Plan
A2-1	Ground Floor Plan
A3-1	Roof Plan
A4-1/2	Elevation
A5-1	Sectional Drawing

SITE AREA: 726 m²
 PLOT RATIO: 50% MAX
 TOTAL MAX GFA: 364.5m²
 EXISTING HOUSE GFA: 163 m²
 CARPORT FOR EXISTING HOUSE: 30m²
 EXTENSION Area: 77 m²
 TOTAL GFA: 270 m²
 SITE COVERAGE: 270/726=37%

Trees to be Planted in accordance with rule 40c of the Single Dwelling Housing Development Code

Table 7a: Tree sizes and associated planting requirements

Tree size	Mature height	Minimum canopy diameter**	Minimum soil surface area dimension	Minimum pot size (litres)*	Minimum soil volume
Small Tree	5-8m	4m	3m	45**	18m ³
Medium Tree	8-12m	6m	5m	75**	42m ³
Large Tree	>12m	8m	7m	75**	85m ³

Notes:
 For the purposes of this table, a tree is defined as a woody perennial plant suitable for the Canberra climate. Any new trees cannot be a plant described in schedule 1 of the Pest Plants and Animals (Pest Plants) Declaration 2015 (No 1) or any subsequent declaration made under section 7 of the Pest Plants and Animals Act 2005, unless the tree is included on the ACT tree register.
 *Minimum pot size refers to the container size of new trees prior to planting.
 **The maximum pot size for small, medium and large eucalyptus sp. trees if selected is 45 litres, with maximum height at planting of 2.5m and maximum trunk caliper of 3cm.
 ***Provided the minimum canopy diameter of the respective tree size can be met, this can be counted as meeting the tree size requirement.

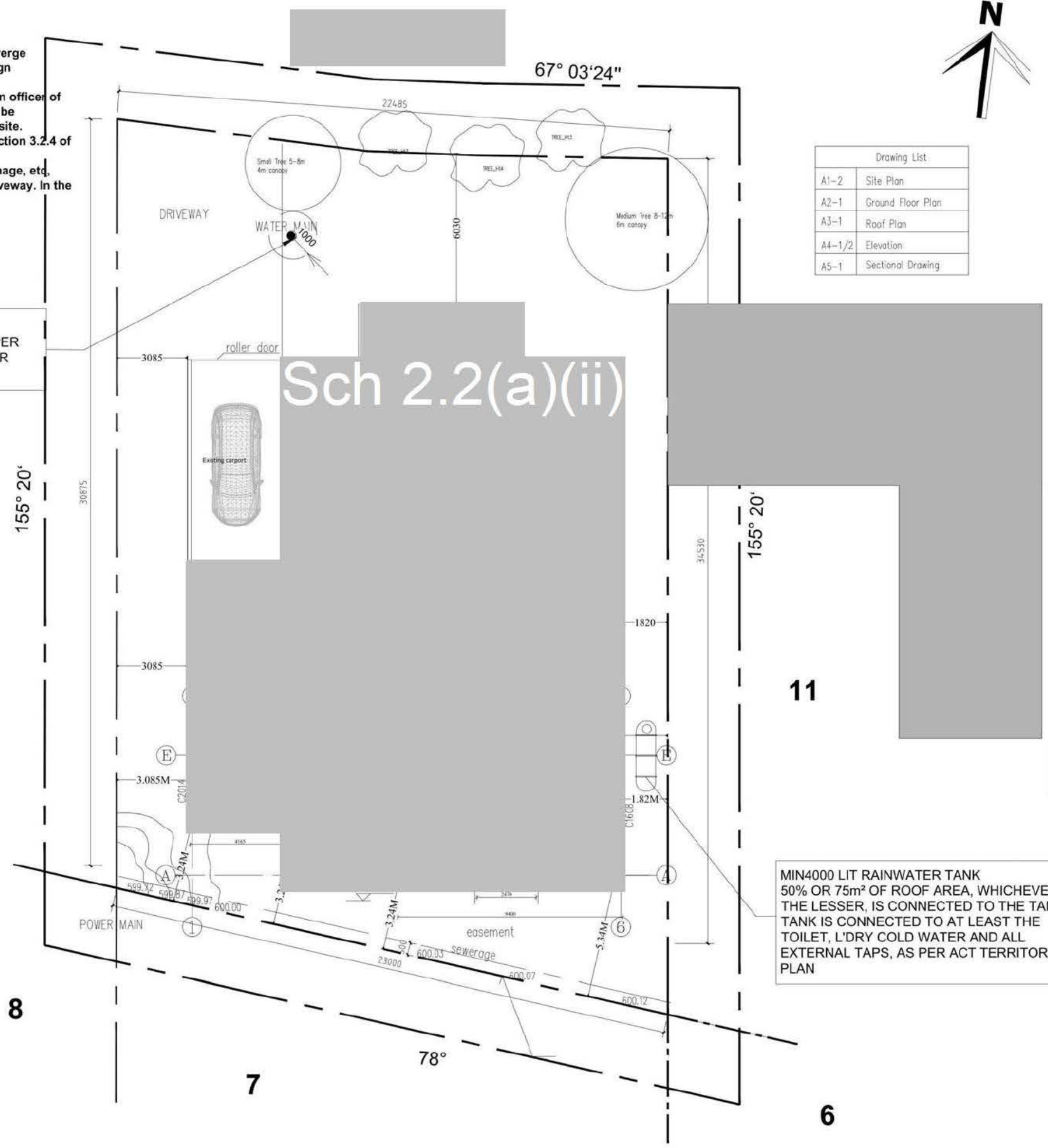
- A licenced Plumber to submit works Executed plan to plumbing section of Access Canberra
- A licenced Electrician to submit C.E.S form to Electrical section of Access Canberra.
- Wet Areas to be in accordance with ABCB Housing Provisions Part 10.2
- Glazing to be in accordance with ABCB Housing Provisions Part 8
- Smoke Alarms to be in accordance With ABCB Housing Provisions Part 9.5
- Stairways to be in accordance with ABCB Housing Provisions Part 11.2
- Barriers & Handrails to be in accordance with ABCB Housing Provisions Part 11.3
- Energy Efficiency to be in accordance with ABCB Housing Provisions Part 13
- Water tank to be in accordance with R43 of Single dwelling Housing Development Code
- Erosion & sediment Control
 - Development to comply with ACT environment protection authority, environment protection guidelines for construction & land Development in the ACT August 2007

WATER/HYDRANT/TIE AS PER INFORMATION PROVIDED BY DEVELOPER -1m CLEARANCE ZONE AROUND WATER METER

No filling will be required over the sewer easement, sewer manhole and along the access passage.

MIN4000 LIT RAINWATER TANK
 50% OR 75m² OF ROOF AREA, WHICHEVER IS THE LESSER, IS CONNECTED TO THE TANK. TANK IS CONNECTED TO AT LEAST THE TOILET, L'DRY COLD WATER AND ALL EXTERNAL TAPS, AS PER ACT TERRITORY PLAN

Legend	
Existing Building	
property line	
Landscaping	
sewerage	



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PROJECT NAME: PROPOSED Residential Extension SUBURE	BLOCK: 	TITLE: SITE PLAN	CLIENT: Sch 2.2(a)(ii)	SCALE: 1 : 200@A3	DATE: 03-04-2023	DRAWN BY: Sch 2.2(a)(i)	Plus Home TEL: 0466 253 688 EMAIL: plus.homes.oz@gmail.com
				SHEET No: A1-2	JOB NO:	CHECK BY: Sch 2.2(a)(ii)	





ACT CERTIFICATION

ACN: 627 227 990
 Lic No: 2016757
 Date issued: 17/10/2023


BUILDING APPROVAL
 Issued under section 28 of the Building Act 2004

Scott Wigley
 Name of Certifier: Scott Wigley

1a
 BCA Occupancy Class
 N/A
 BCA Type of Construction

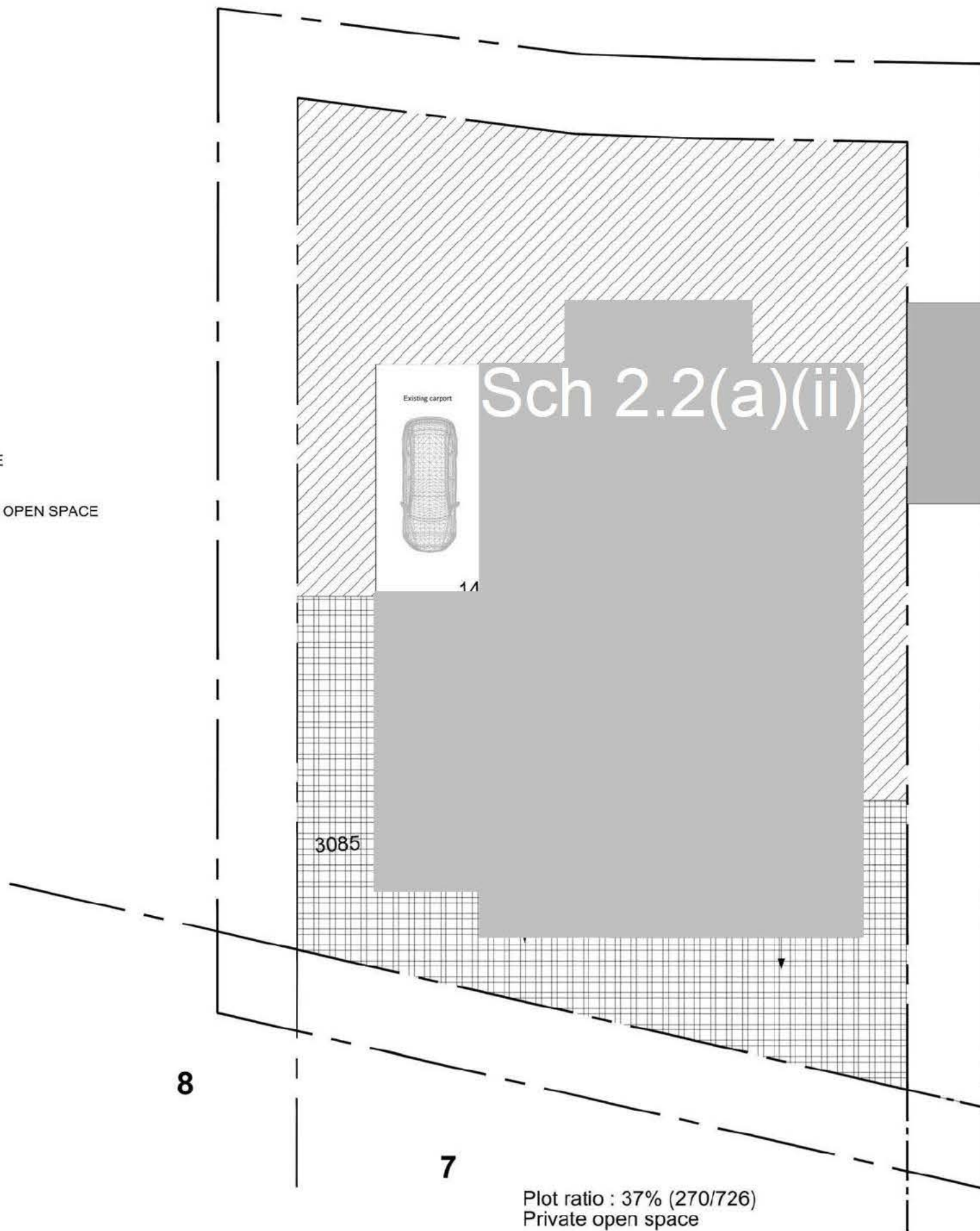
Approved Building Plans are to be read in conjunction with the Building Approval Letter

← CONNECTION →

 BLOCK OPEN SPACE

 PRINCIPAL PRIVATE OPEN SPACE

9



11



Private open space

- a) has a minimum area equal to 60% of the block area-after the addition
POS=63%
- b) has a minimum dimension of 6m for an area not less than 10% of the block - inner court is 14.5x7.75m
- c) at least 30% of the block area is planting area, with a minimum dimension of 2.5m-inner court is 14.5x7.75m wide, East strip is 3.085 m wide,south strip is 3m+width

Plot ratio : 37% (270/726)
 Private open space
 Open space: 63%

6

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<p>PROJECT NAME: PROPOSED Residential Extension SUBURE</p> <p>BLOCK: </p>	<p>TITLE: SITE PLAN</p>	<p>CLIENT: Sch 2.2(a)(ii)</p>	<p>SCALE: 1 : 200@A3</p> <p>SHEET No: A1-2</p>	<p>DATE: 03-04-2023</p> <p>JOB NO:</p>	<p>DRAWN BY: Sch 2.2(a)(ii)</p> <p>CHECK BY: Sch 2.2(a)(ii)</p>	<p>Plus Home TEL: 0466 253 688 EMAIL: plus.homes.oz@gmail.com</p> 
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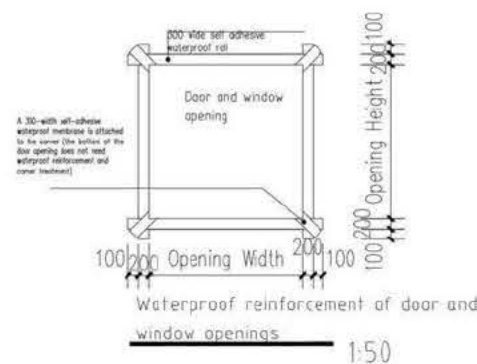
 Name of Certifier: Scott Wipley
 1a
 BCA Occupancy Class: N/A
 BCA Type of Construction:
 Approved Building Plans are to be read in conjunction with the Building Approval Letter

Sch 2.2(a)(xi)

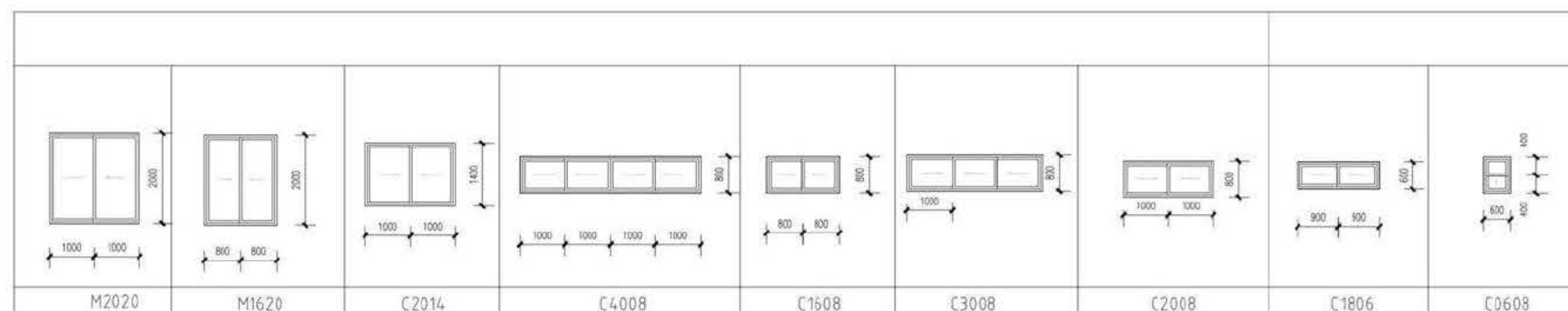
Table 2.2

Project Main Features Table			
Project Name:	Residential Extension		
Main Structure Type:	Light Gauge steel structure		
	Strip foundation		
Seismic fortification category	Class C	Seismic fortification intensity	7 Degrees
Building Area	100.20m ²		
Building floors	One layer (partial mezzanine)		
Building Height	4.51m (Indoor floor to cornice height)		
Building size	16.59mX5.16m		
Fireproof grade	Level 4		
waterproof grade	roof waterproof grade is Class II		
Design life classification	Class 3		


type	design No.	opening size(mm)	Qt(pc)	Notes
Door	M1620	1600X2000	1	Aluminum Sliding Door
	M2020	2000X2000	1	Aluminum Sliding Door
Window	C0608	600X800	2	Double Hung window
	C1608	1600X800	1	Aluminum sliding window
	C3008	3000X800	1	Aluminum sliding window
	C1806	1800X600	1	Aluminum sliding window
	C2014	2000X1400	1	Aluminum sliding window
	C2008	2000X800	1	Aluminum sliding window
	C4008	4000X800	1	Aluminum sliding window



Note: The marked size is the theoretical size of the door and window opening structure, and it is recommended that Party A measure the actual size on site during construction



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PROJECT NAME: PROPOSED Residential Extension SUBURE	BLOCK: [Redacted]	TITLE: window and doors legends	CLIENT: Sch 2.2(a)(ii)	SCALE: 1 : 200@A3	DATE: 03-04-2023	DRAWN BY: Sch 2.2(a)(ii)	CHECK BY: Sch 2.2(a)(ii)	Plus Home TEL: 0466 253 688 EMAIL: plus.homes.oz@gmail.com	
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Architectural Practice Notes

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No.	Application	construction method	Application area	Detailed Construction steps
1	Floor	Sch 2.2(a)(ii), Sch 2.2(a)(xi)	Floor	<h1>Sch 2.2(a)(xi)</h1>
2	Ceiling		All rooms ceiling	
3	Ext. Wall		±0.000 above	
4	Int. Wall		non-water use rooms	
			water used wall	
5	Sloped roof	All sloped roof		

Note: This practice instruction only serves to complete the drawings and guide the structure load statistics. As there may be changes on site, it cannot be used as the basis for settlement between the construction party and the owner (the quotation contract is the basis for settlement).

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Scott Wipley
 Name of Certifier: Scott Wipley

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 BCA Occupancy Class
 N/A
 BCA Type of Construction

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Sch 2.2(a)(xi)

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PROJECT NAME: PROPOSED Residential Extension BLOCK: [REDACTED] SUBURE: [REDACTED]	TITLE:	CLIENT: Sch 2.2(a)(ii)	SCALE: 1 : 20@A3 SHEET No: <small>SS-10</small>	DATE: 03-04-2023 JOB NO:	DRAWN BY: Sch 2.2(a)(ii) CHECK BY: Sch 2.2(a)(ii)	Plus Home TEL: 0466 253 688 EMAIL: plus.homes.oz@gmail.com 
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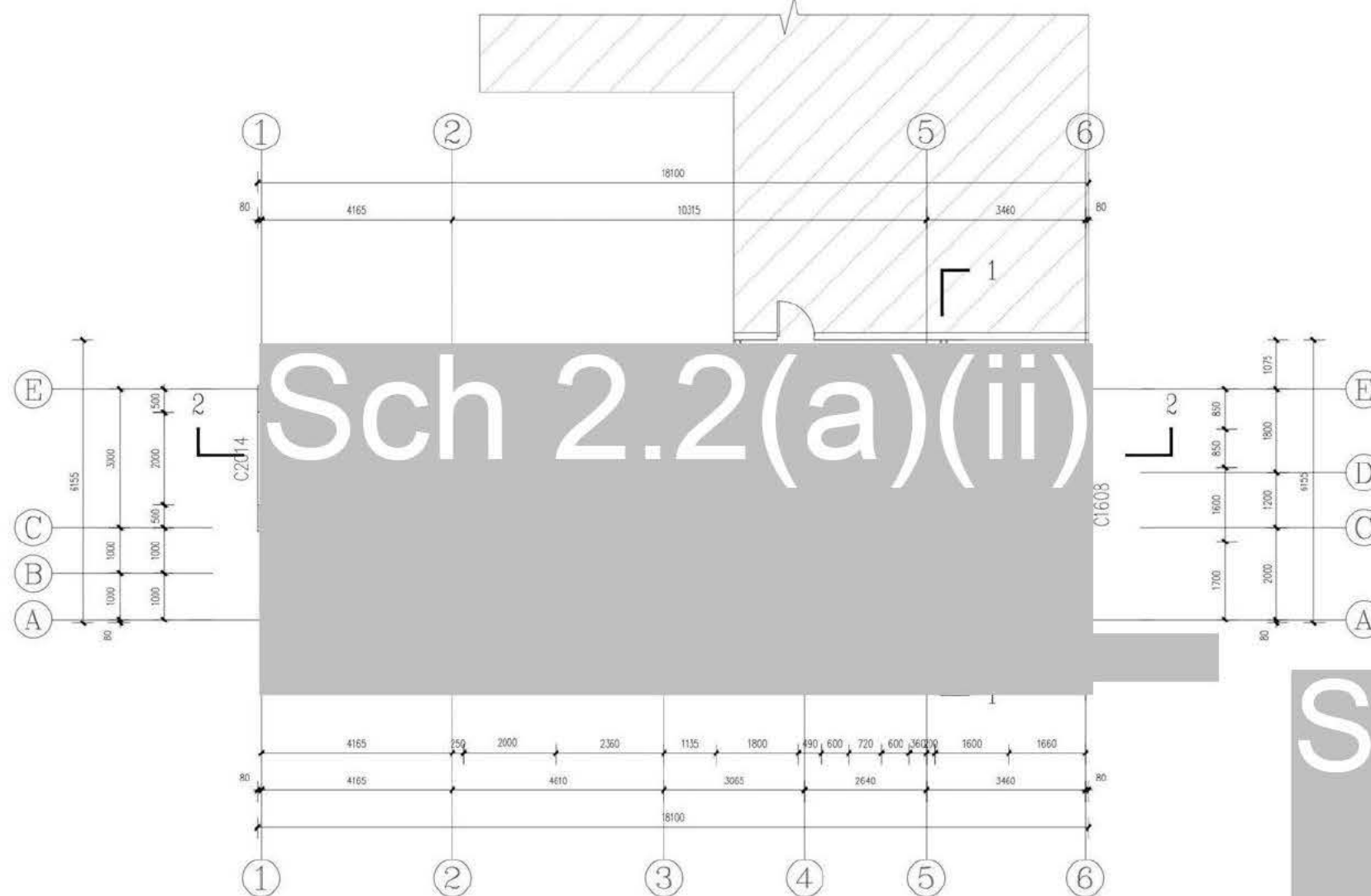
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Scott Wipley
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1a
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Floor Plan
 1:200

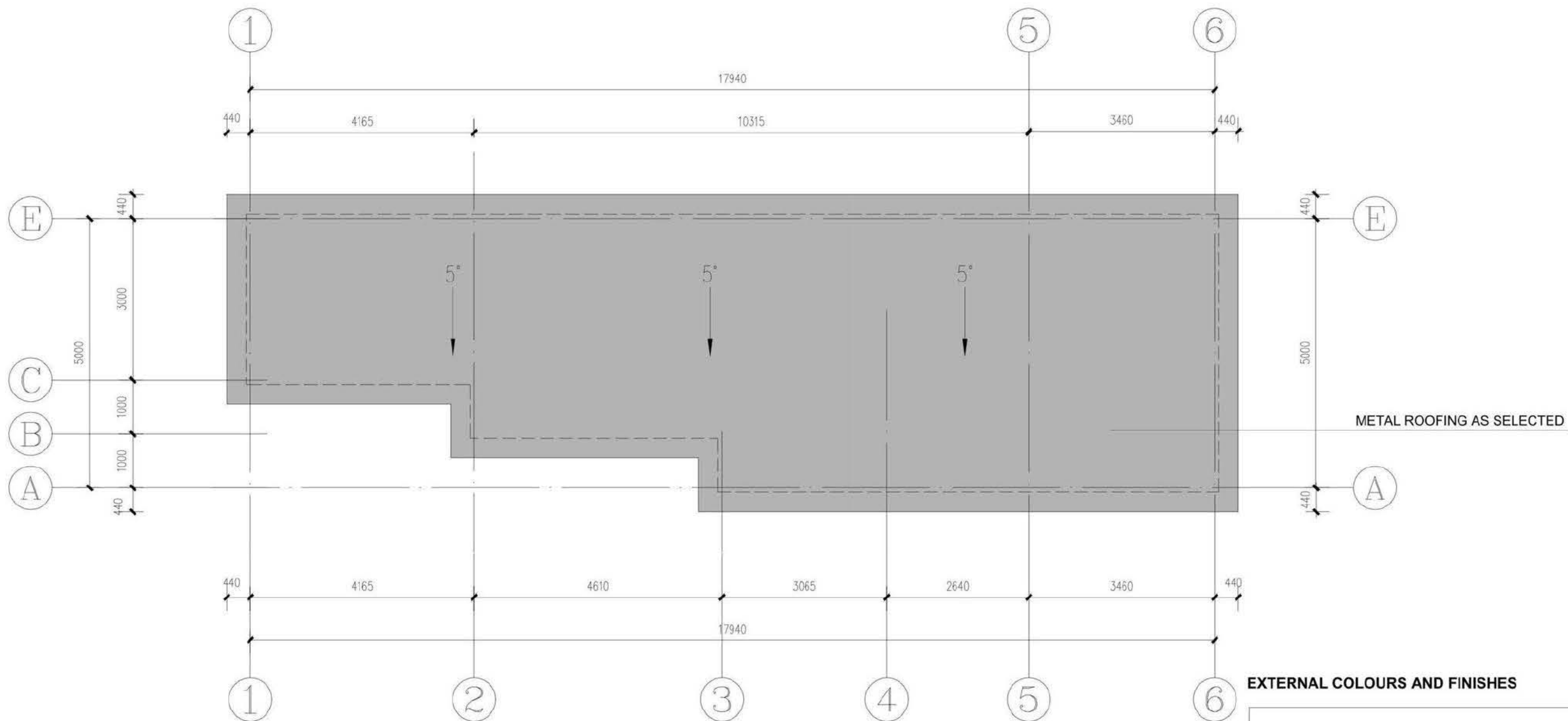
Sch 2.2(a)(xi)

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<p>PROJECT NAME: PROPOSED Residential Extension SUBURE</p> <p>BLOCK: [REDACTED]</p>	<p>TITLE: Ground Floor Plan</p>	<p>CLIENT: Sch 2.2(a)(ii)</p>	<p>SCALE: 1 : 200@A3</p> <p>SHEET No: A2-1</p>	<p>DATE: 03-04-2023</p> <p>JOB NO:</p>	<p>DRAWN BY: Sch 2.2(a)(ii)</p> <p>CHECK BY: Sch 2.2(a)(ii)</p>	<p>Plus Home TEL: 0466 253 688 EMAIL: plus.homes.oz@gmail.com</p> 
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Roof Plan
 1:100

EXTERNAL COLOURS AND FINISHES

ROOF FINISH:

Metal roof
 COLOUR: MONUMENT



EXTERNAL WALL:

METAL CLADDING
 AS SELECTED
 COLOUR: BASALT GREY
 TS7012P

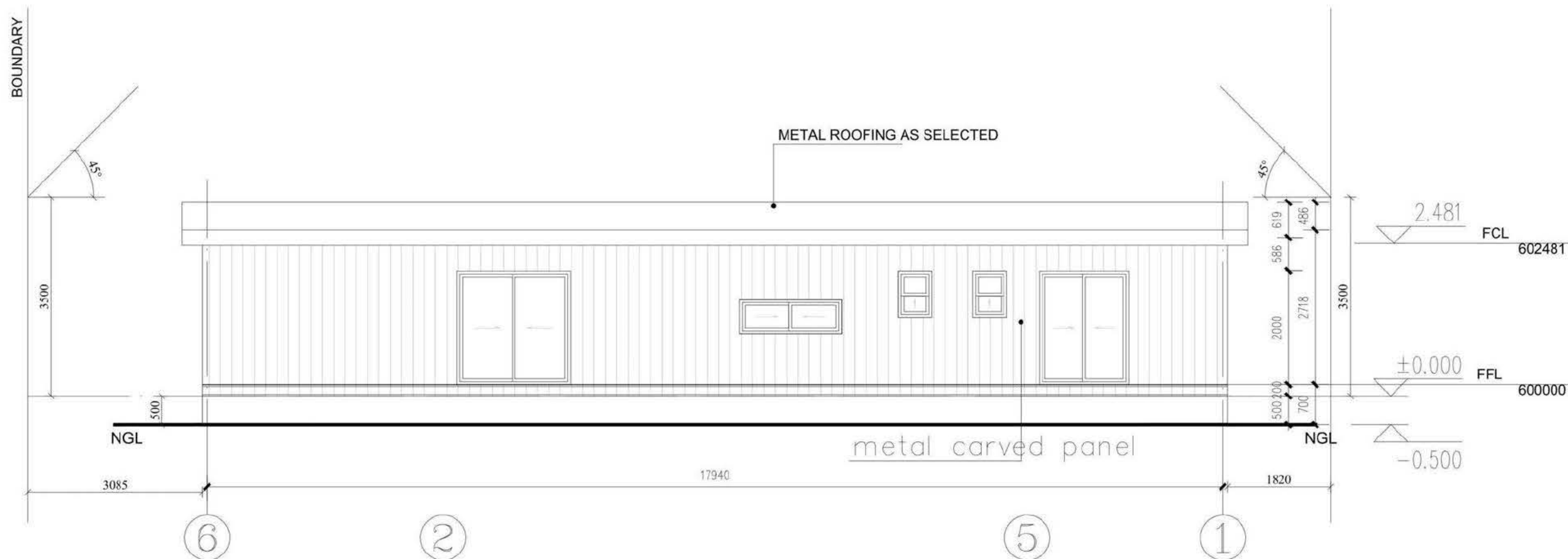


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<p>PROJECT NAME: PROPOSED Residential Extension SUBURE</p> <p>BLOCK: </p>	<p>TITLE: Roof Plan</p>	<p>CLIENT: Sch 2.2(a)(ii)</p>	<p>SCALE: 1 : 100@A3</p> <p>SHEET No: A3-1A5-1</p>	<p>DATE: 03-04-2023</p> <p>JOB NO:</p>	<p>DRAWN BY: Sch 2.2(a)(ii)</p> <p>CHECK BY: Sch 2.2(a)(ii)</p>	<p>Plus Home TEL: 0466 253 688 EMAIL: plus.homes.oz@gmail.com</p> 
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① - ⑥ Axial Elevation

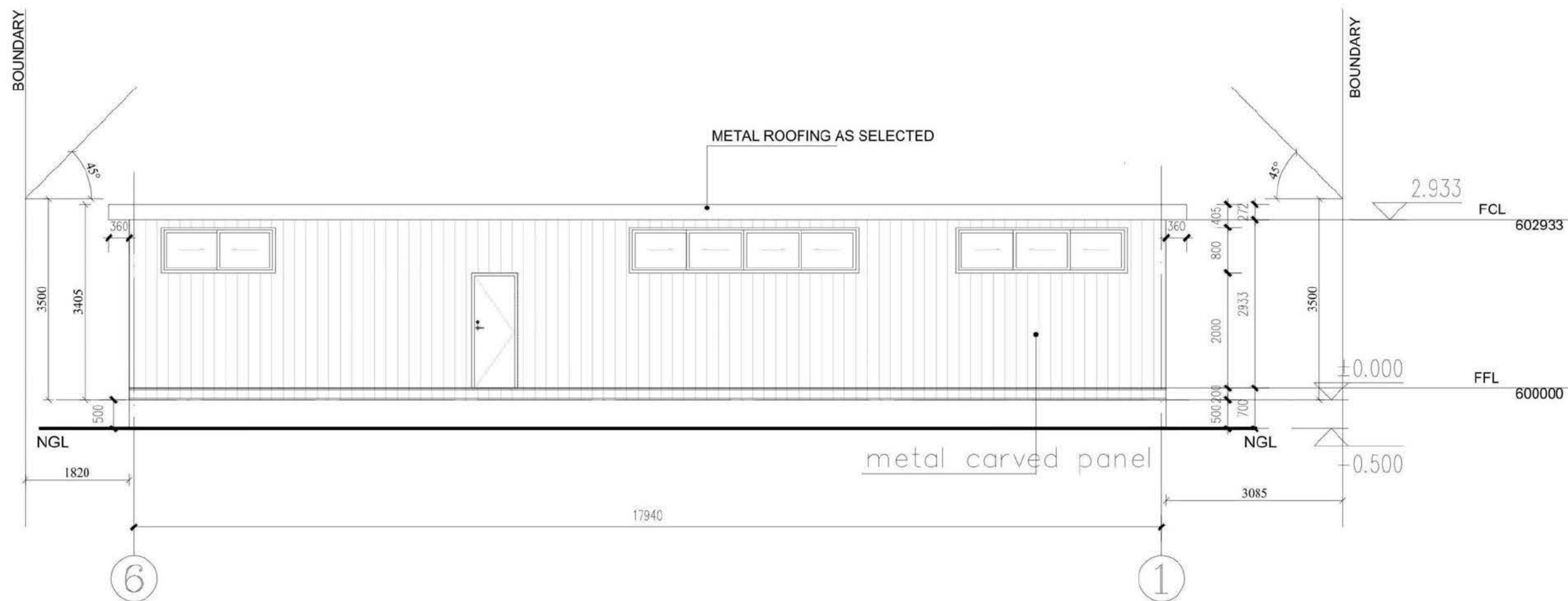
1:100

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<p>PROJECT NAME: PROPOSED Residential Extension BLOCK: SUBURE</p>	<p>TITLE: Axial Elevation</p>	<p>CLIENT: Sch 2.2(a)(ii)</p>	<p>SCALE: 1 : 100@A3 SHEET No: A3-1A5-1</p>	<p>DATE: 03-04-2023 JOB NO:</p>	<p>DRAWN BY: Sch 2.2(a)(ii) CHECK BY: Sch 2.2(a)(ii)</p>	<p>Plus Home TEL: 0466 253 688 EMAIL: plus.homes.oz@gmail.com</p>	
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 BCA Type of Construction: N/A
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6-1 Axial Elevation

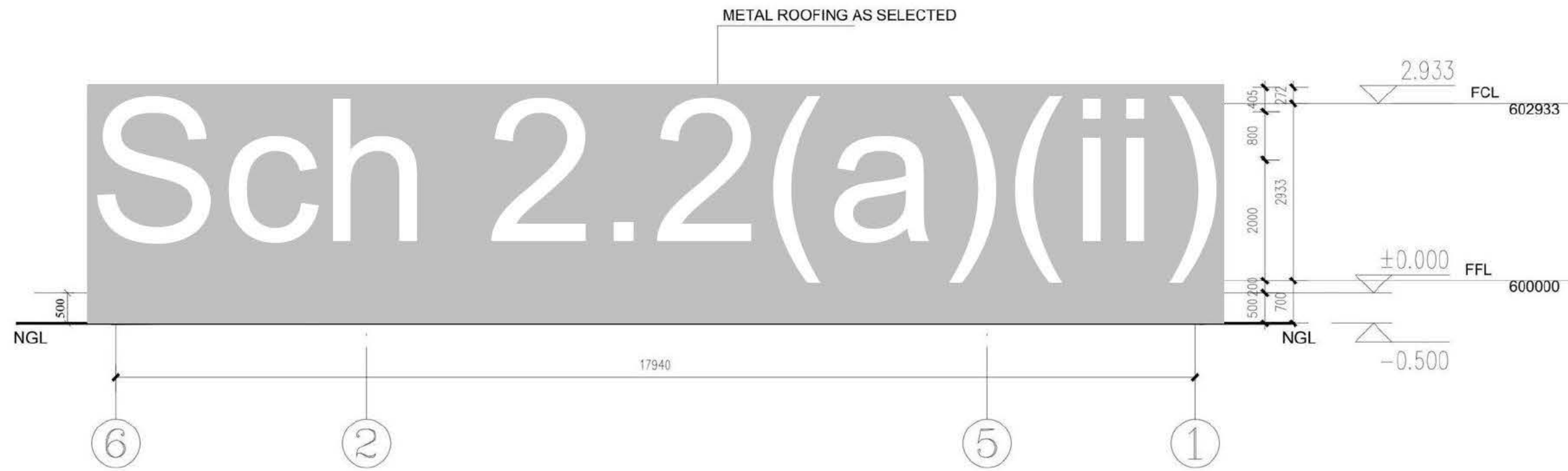
1:100

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PROJECT NAME: PROPOSED Residential Extension SUBURB	BLOCK: 	TITLE: Axial Elevation	CLIENT: Sch 2.2(a)(ii)	SCALE: 1 : 100@A3 SHEET No: A4-1	DATE: 03-04-2023 JOB NO:	DRAWN BY: Sch 2.2(a)(ii) CHECK BY: Sch 2.2(a)(ii)	Plus Home TEL: 0466 253 688 EMAIL: plus.homes.oz@gmail.com 
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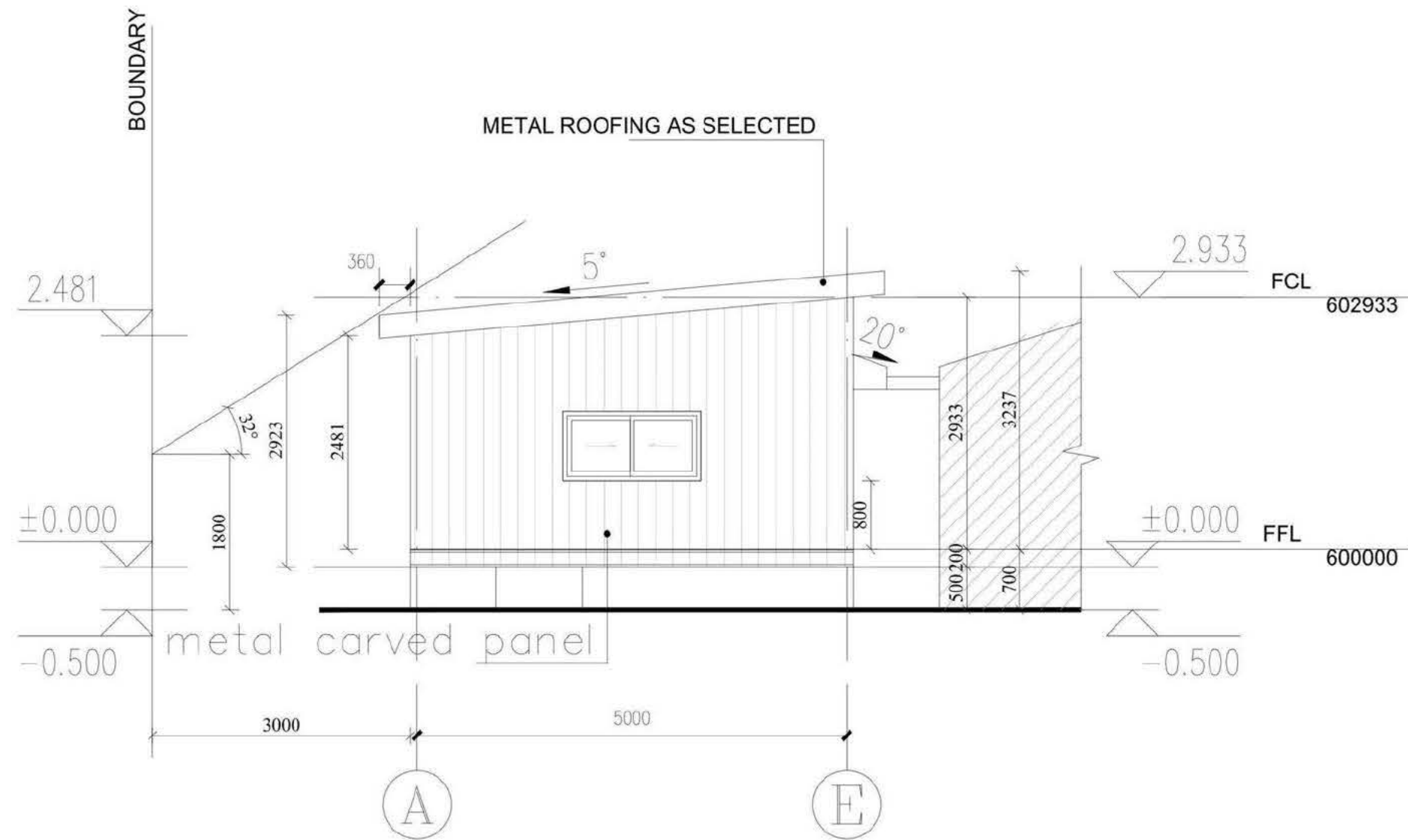
2-2 section Plan
 1:100

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<p>PROJECT NAME: PROPOSED Residential Extension SUBURB</p>	<p>BLOCK: [REDACTED]</p> <p>TITLE: 2-2 section Plan</p>	<p>CLIENT: Sch 2.2(a)(ii)</p>	<p>SCALE: 1 : 100@A3</p> <p>SHEET No: A3-1A5-1</p>	<p>DATE: 03-04-2023</p> <p>JOB NO:</p>	<p>DRAWN BY: Sch 2.2(a)(ii)</p> <p>CHECK BY: Sch 2.2(a)(ii)</p>	<p>Plus Home TEL: 0466 253 688 EMAIL: plus.homes.oz@gmail.com</p>	
---	--	--	--	---	---	--	---


ACT CERTIFICATION
 ACN: 627 227 990
 Lic No: 2016757
 Date issued: 17/10/2023
BUILDING APPROVAL
 Issued under section 28 of the Building Act 2004

 Name of Certifier: Scott Wigley
 1a
 BCA Occupancy Class: N/A
 BCA Type of Construction: N/A
 Approved Building Plans are to be read in conjunction with the Building Approval Letter



Axial Elevation A - E
1:100

THIS DRAWINGS IS PROTECTED BY COPYRIGHT

<p>PROJECT NAME: PROPOSED Residential Extension SUBURB</p>	<p>TITLE: A-E Axial Elevation</p>	<p>CLIENT: Sch 2.2(a)(ii)</p>	<p>SCALE: 1 : 100@A3</p>	<p>DATE: 03-04-2023</p>	<p>DRAWN BY: Sch 2.2(a)(ii)</p>	<p>Plus Home TEL: 0466 253 688 EMAIL: plus.homes.oz@gmail.com</p> 
			<p>SHEET No: A4-2</p>	<p>JOB NO:</p>	<p>CHECK BY: Sch 2.2(a)(ii)</p>	

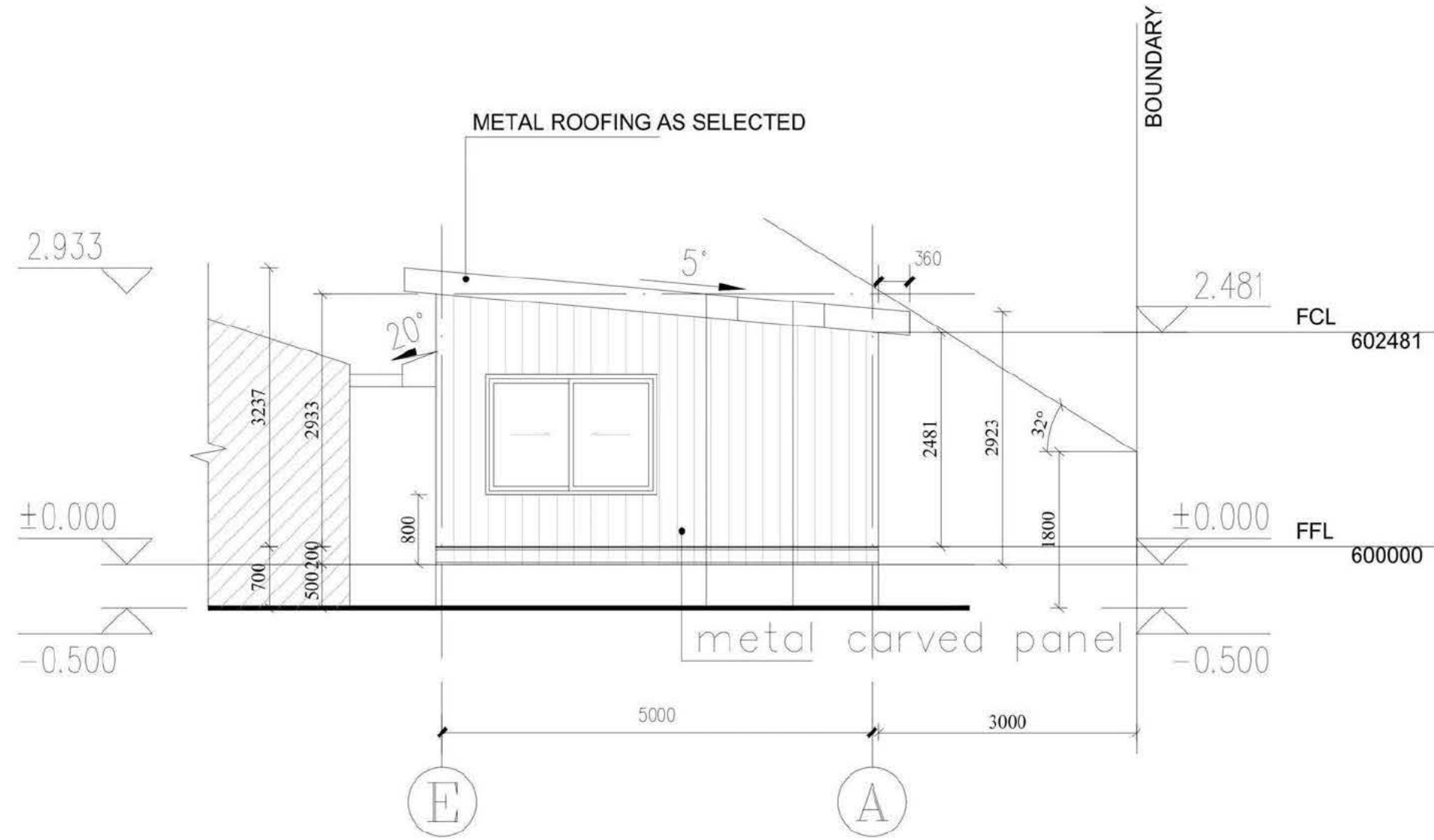
ACT CERTIFICATION
 ACN: 627 227 990
 Lic No: 2016757
 Date issued: 17/10/2023

BUILDING APPROVAL
 Issued under section 28
 of the Building Act 2004

Scott Wigley
 Name of Certifier: Scott Wigley

1a
 BCA Occupancy Class
 N/A
 BCA Type of Construction

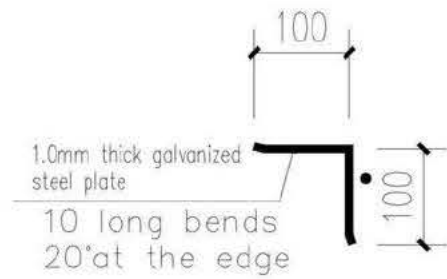
Approved Building Plans are
 to be read in conjunction with
 the Building Approval Letter



E - A Axial Elevation
1:100

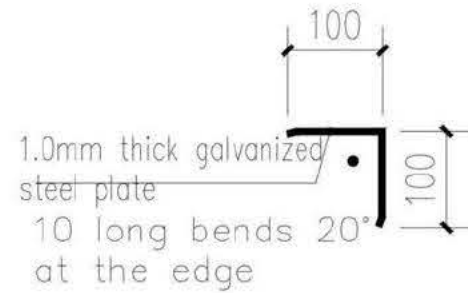
THIS DRAWINGS IS PROTECTED BY COPYRIGHT

PROJECT NAME: PROPOSED Residential Extension SUBURE	BLOCK: [REDACTED]	TITLE: E-A Axial Elevation	CLIENT: Sch 2.2(a)(ii)	SCALE: 1 : 100@A3	DATE: 03-04-2023	DRAWN BY: Sch 2.2(a)(ii)	Plus Home TEL: 0466 253 688 EMAIL: plus.homes.oz@gmail.com	
				SHEET No: A4-2	JOB NO:	CHECK BY: Sch 2.2(a)(ii)		



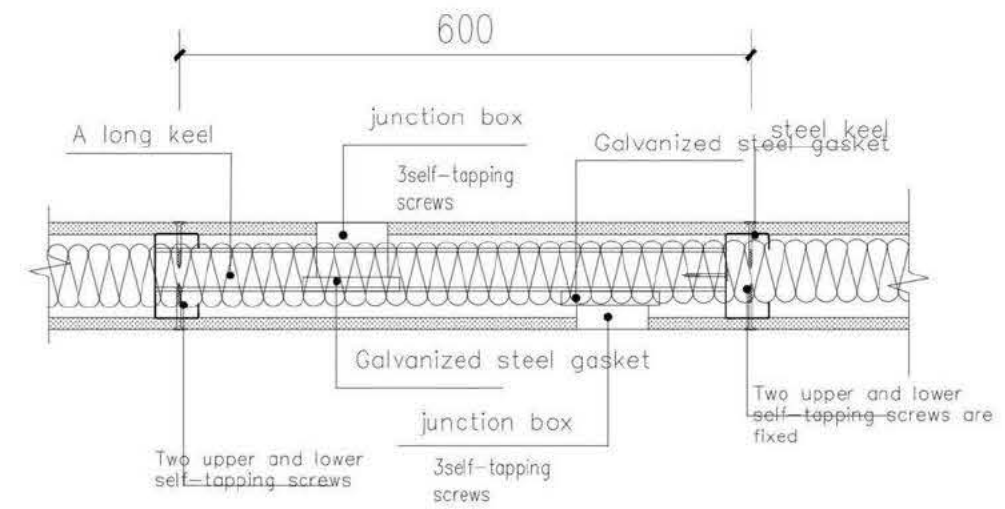
Wall exposed corners Details

1:10



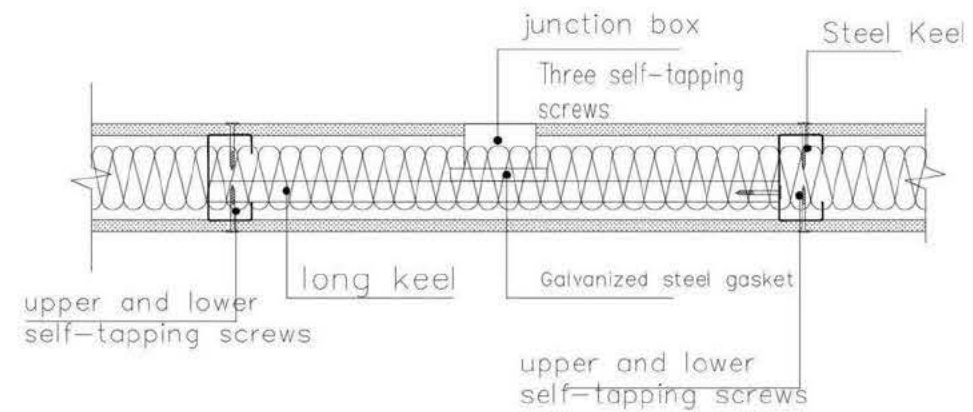
Wall shade corner practice

1:10



double-sided junction box Details


1:10



single-sided junction box Details

1:10

THIS DRAWINGS IS PROTECTED BY COPYRIGHT

PROJECT NAME: PROPOSED Residential Extension	BLOCK: SUBURE	TITLE: staircase Details	CLIENT: Sch 2.2(a)(ii)	SCALE: 1 : 10@A3	DATE: 03-04-2023	DRAWN BY: Sch 2.2(a)(ii)	Plus Home TEL: 0466 253 688 EMAIL: plus.homes.oz@gmail.com	
				SHEET No: 06	JOB NO:	CHECK BY: Sch 2.2(a)(ii)		

Sch 2.2(a)(xi)

ACT CERTIFICATION
 ACN: 127 227 860
 Lic No: 2018157
 Date issued: 17/10/2023
BUILDING APPROVAL
 Issued under section 28 of the Building Act 2004

 Name of Certified Individual: Andrew Smith
 In
 BCA Occupancy Class: NA
 BCA Type of Construction: NA
 Approved Building Plans are to be read in conjunction with the Building Approval Letter

DETAILS		AMENDMENT		BY	ISSUE	 ECO - VILLA Pty Ltd 99 TRALEE STREET HUME, A.C.T. 2520 CONTACT DETAILS: PH: (02) 6260 1500 FAX: (02) 6260 1515 MCB: Sch 2.2(a)(xi) EMAIL: dlati@ecovilla.com.au WEB: www.ecovilla.com.au	Sch 2.2(a)(ii)	CLIENT	ANCHOR FIXING DETAIL	
				A			HOUSE EXTENSION	PROJECT	SCALE	DATE
								1:100 @ A3	SEPTEMBER 2023	
								AS	AS	
								JOB No:	DRAWING No:	
								000A-23-103	A03 03	

ACT CERTIFICATION
 ACN: 627 227 999
 Lic No: 2018757
 Date Issued: 17/10/2023
BUILDING APPROVAL
 Issued under section 28 of the Building Act 2004

 Name of Contractor: Scott Wiley
 T3
 BCA Occupancy Class: NA
 BCA Type of Construction
 Approved Building Plans are to be read in conjunction with the Building Approvals Letter

Sch 2.2(a)(xi)

		 ECO - VILLA Pty Ltd 99 TRALEE STREET HUME, A.C.T. 2520 CONTACT DETAILS: PH: (02) 6260 1500 FAX: (02) 6260 1515 MCB: Sch 2.2(a)(ii) EMAIL: dial@ecovilla.com WEB: www.ecovilla.com		CLIENT	ANCHOR SETOUT DETAIL	
				PROJECT	SCALE	DATE
DETAILS	AMENDMENT	BY	ISSUE	1:100 @ A3	SEPTEMBER 2023	
				DRAWN BY	CHECKED	
				JOB No.	DRAWING No.	
				000A-23-103	A02 b3	

Asbestos Control Plan

Suburb, Block and Section:	
Street Address:	
Owner/s Name/s:	Sch 2.2(a)(ii)
Builder Name:	
Description of Work:	Proposed Work - Additions and Alterations
Building Classification/s:	1a
Type of Construction:	N/A

Declaration

For the Building Approval of the above description of work. We the owners, and appointed builder are unaware of any current building materials containing asbestos. If during the construction and/or demolition of a structure, any potential hazardous materials are identified. Work to the structure will stop and action will be undertaken to safely remove the hazardous material in accordance with the following.

- Building Act 2004
- Building (General) Regulation 2008
- Code of Practice for the Safe Removal of Asbestos 2nd Edition
- Dangerous Substances Act 2004

Sch 2.2(a)(ii)

Owner 1 Signature

Sch 2.2(a)(ii)

Print Name

12.09.2023

Date

Sch 2.2(a)(ii)

Builder Signature

Print Name

Sch 2.2(a)(ii)

Date 12.09.2023

Sch 2.2(a)(ii)

Owner 2 Signature

Sch 2.2(a)(ii)

Print Name

12.09.2023

Date



Form 7A - Information for adjoining resident about proposed exempt development

- to be completed by the proponent and provided to each adjoining resident

Why are you receiving this information?

The exemption criteria for demolition and development of single dwellings on land that has previously had a house built on it requires that information about the proposed development is provided to you as an adjoining resident. Development can be exempt from the need for a development application (DA) if it meets specified criteria. This type of development is known as 'DA exempt development'.

If you are a tenant please consider forwarding a copy of this information and the plans to the lessee or their managing agent.

What you should receive

1. Information sheet (Form 7A) explaining that development is proposed for the site indicated below; and
2. If the proposed development is a single dwelling a copy of each site plan and elevation plan.
A copy of the floor plan is not required to be provided to you.
If the proposed development is only for the demolition of a single dwelling no plans are required to be provided.

What this means for you

The information sheet and attached plans (if required) have been provided for your **information** only. Prior to any construction commencing, a private building certifier must confirm the development proposal meets the DA exemption criteria.

If the proposal meets all of the DA exemption requirements:

- no DA is required and there is no public notification or right of merit review; and
- a building approval can be granted and work can commence without any further notice.

If you have any questions about the proposed development please contact the nominated person which may be the proponent, builder or building certifier. They can discuss the proposal with you.

Block Section Suburb Unit No.

Street address

Single dwelling Demolition Please tick

Nominated person contact details

Name Sch 2.2(a)(ii) Phone number Sch 2.2(a)(ii)

Email Sch 2.2(a)(ii) Alternative phone number

Role Builder, Certifier, Owner Builder etc- Please specify
Owner Builder

NOTE: If the building certifier determines the proposed development does not meet the DA exemption requirements a DA will have to be lodged by the proponent and you will be notified during the public consultation phase of the DA process.



Form 7B - Summary of written information for building certifier – compliance with exemption criteria - Planning & Development Regulation - to be completed by the proponent and provided to the building certifier

What this form is for

You should complete this form (Form 7B) if you are proposing to:

- demolish a single residential dwelling (s1.100B); and
- construct a code compliant single residential dwelling on old residential land (s1.100 or s1.100A)

If you are proposing to do this type of development you are required under section 1.19, schedule 1, *Planning and Development Regulation 2008* to give written information about the proposal to each adjoining resident.

Process

1. Complete the form "Information for adjoining resident about proposed exempt development" (Form 7A) and if required attach a copy of the site plan and a copy of elevation plan. Give a copy of the completed form and plans to each adjoining resident. You can do this by placing in the letterbox, by-hand, by email etc.
2. Complete the details below. A copy of Form 7A including any attachments and this form (Form 7B) are required to be included in your application for building approval.

Information for building certifier – compliance with *Planning and Development Regulation 2008*

The information below is provided to demonstrate that s1.19, s1.100, s1.100A and s1.100B (as applicable), schedule 1, *Planning and Development Regulation 2008* has been complied with.

Proponent Name/s:

Block **Section** **Suburb** **Unit No.**

Street address **Signature** **Date** 02.08.2022

Signature **Date** 02.08.2022

The following adjoining residences have been provided with a copy of Form 7A and if required the site plan/s and elevation/s plans.

	Adjoining residences Street address – please print	Method and date of delivery			Date
		Letterbox	In person	Other – please state	
1.	[Redacted]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	03.08.2022
2.		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	03.08.2022
3.		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	03.08.2022
4.		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	03.08.2022
5.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
6.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

If there is insufficient space please attach a separate sheet.

Privacy Notice

The personal information on this form is provided to the Environment and Planning Directorate (EPD) to enable the processing of your application. The collection of personal information is authorised by the *Planning and Development Act 2007*. If all or some of the personal information is not collected EPD cannot process your application. The personal information you provide may be disclosed where the Directorate reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. EPD's Information Privacy Policy contains information about how you may access or seek to correct your personal information held by EPD, and how you may complain about an alleged breach of the Territory Privacy Principles. The EPD Information Privacy Policy can be found at www.environment@act.gov.au

Contact Details:

Environment and Planning Directorate
Customer Service Centres
GPO Box 158, Canberra City 2601
8 Darling Street Mitchell, ACT 2911
16 Challis Street Dickson ACT 2602

Business Hours: 8.30am to 4.30pm weekdays (excluding Public Holidays)
Phone: (02) 6207 1923 TTY: (02) 6207 2622
Email: epdcustomerservices@act.gov.au Website: www.environment@act.gov.au

17/10/2023
2023-182

Sch 2.2(a)(ii)

Suburb, Block and Section:	
Street Address:	
Owner/s:	Sch 2.2(a)(ii)
Description of Work:	Proposed Work - Additions & Alterations
Building Classification/s:	1a
Type of Construction:	N/A

Building Approval Letter

Attached is the Building Approval for the described building work at the above site which has been assessed and approved subject to compliance with the Deemed-to-Satisfy Solutions of the *National Construction Code, Building Code of Australia* and is to be carried out in accordance with the following conditions. A copy has been forwarded to the Construction Occupations Registrar in accordance with section 28 of the *Building Act 2004*.

During construction the required inspection stages are outlined in 'Schedule A' of this letter.
Note: If structural engineer's inspection report/certificate is requested at any inspection stage, it must be provided prior to proceeding past the particular stage of construction.

Upon the completion of the project, certificates and documents as listed in 'Schedule B' of this letter must be provided for the submission of the application for the Certificate of Occupancy or Use.

Approval Period

This building approval is valid for 3 years from the date of this letter and contains 16 drawings, numbered 1 to 16 including any building specifications and Energy Efficiency Requirements.

Construction

To ensure compliance, the building work is to be carried out in accordance with the ACT Building Act, the Building Code of Australia (BCA), relevant Australian Standards and all of the approval documentation contained in this building approval.

Service Easement Authority Requirements

The plans submitted for approval have been referred to the following services agencies; their comments/conditions for approval, if any are attached.

- Evo Energy Networks
- ICON Water & Sewerage Division
- TCCS

If you have any enquiries I can be contacted on (02) 6254 7767.

Kind regards,

Sch 2.2(a)(ii)

Director
General Building Surveyor
ACT Certification Services Pty Ltd – Lic. No: 2018757

Schedule A – Inspection Stages

Inspections

The builder is to notify ACT Certification Services in writing upon reaching each inspection stage outlined below by emailing admin@actcertification.com.au to book the inspection. The builder is not to proceed beyond an inspection stage until written approval to proceed has been given by ACT Certification Services.

The inspection stages are:

1. Anchor reinforcement
2. Bearer and Joist
3. Completion of the structural wall/roof framework and external claddings before the placement of any internal insulation and linings
4. Final, prior to occupation

Schedule B – Required Certificates/Documentation

Certificates and Documentation

Note: All Certificates are required to be presented on the relevant company's letterhead (with company details, including ABN or ACN) as well as signed by a suitably qualified person and dated.

- Receipt for Government levies.
- Completed application for Certificate of Occupancy and Use form.
- A survey certificate is required at DPC level (**to be provided prior to proceeding past the bearer and joist stage of construction**).
- Structural engineer's inspection reports/certifications (If applicable).
- Truss and wall frame manufacturers engineered design certificate and layout plans.
- Termite protection certificate that states the method used complies with AS3660.
- Wet seal certificate identifying the extent of the wet area waterproofing and that it complies with Part 3.8.1 of the BCA and AS3740.
- Smoke alarm certificate stating that they have been installed in accordance with Part 3.7.2 of the BCA.
- Insulation certificate stating that the insulation has been manufactured in accordance with AS/NZS 4859.1 and installed in accordance with AS 3999 and the manufacturers recommendations and verifying the R Value is in accordance with the Approved Plans.
- Glazing certificate stating that the glazed assemblies units comply with AS 1288 and AS 2047.

Note: ALL Plumbing and Electrical work MUST be inspected and cleared by Access Canberra. To avoid delays with the issue of the Certificate of Occupancy and Use, please ensure that the Plumbing and Electrical works have been cleared. Their divisions can be contacted on the following phone numbers:

Access Canberra Electrical Section: (02) 6207 7775,

Access Canberra Plumbing Section: (02) 6207 6907.

Important Asbestos Advice for ACT homes built before 1985

Asbestos is hazardous but it can be managed safely.

Follow the three steps for managing materials containing asbestos (MCAs) in your home.

Step 1. Identify where MCAs may be in your home

When was your house built?

- If your house was built before 1985, the table below gives you an indication of where you are likely to find MCAs in your home. There is also a diagram on the back of this sheet showing where MCAs are commonly found.
- If your house was built after 1985, it is unlikely to contain MCAs.
- If in doubt, assume that materials DO contain asbestos.

Common locations of MCAs in ACT homes*

(Percentage (%) of properties sampled where asbestos was detected)

Location	Pre 1965	1965–1979	1980–1984	1985–now [†]
Eaves	86%	92%	40%	0%
Garage/shed	80%	70%	15%	0%
Bathroom	54%	75%	50%	0%
Laundry	75%	80%	50%	0%
Kitchen	52%	23%	15%	0%

*Results of 2005 Asbestos Survey of over 600 ACT Homes. †One MCA was found in a 1985 house supporting roof tiles on a gable end.

Step 2. Assess the risk

Visually check the condition of the MCA – is it cracked, broken, etc?

- If it's in good condition and left undisturbed, it does not pose a health risk.
- If you suspect it is not in good condition, arrange for appropriate maintenance or removal by a qualified person.

Step 3. Manage safely

Make sure you remember to:

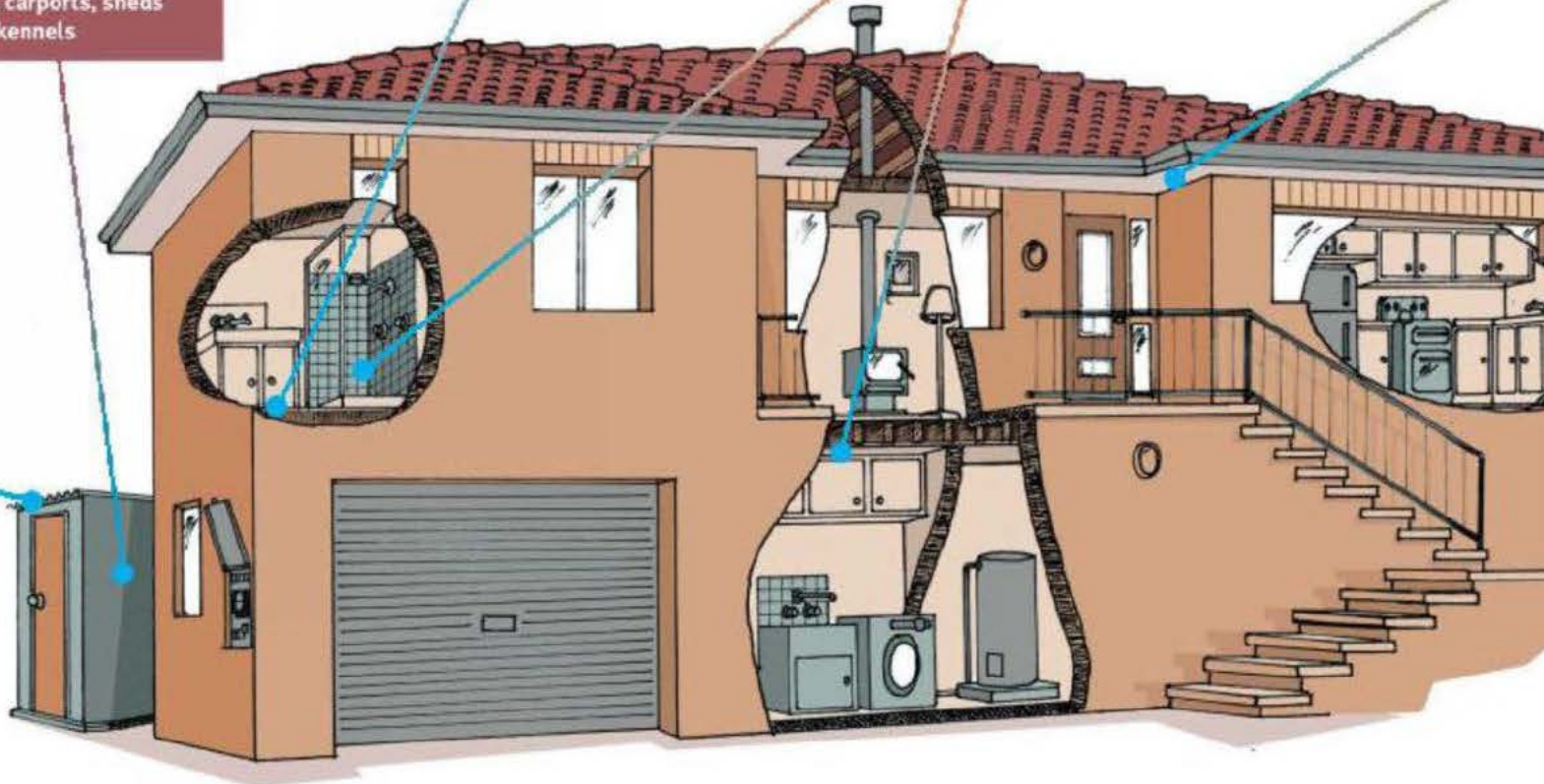
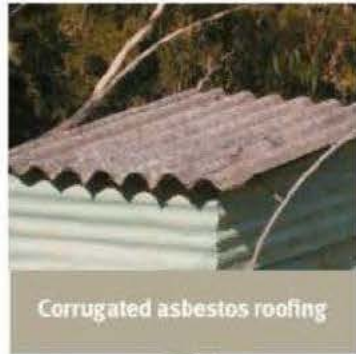
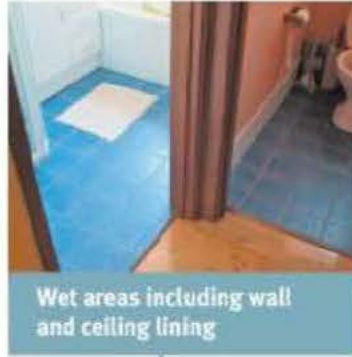
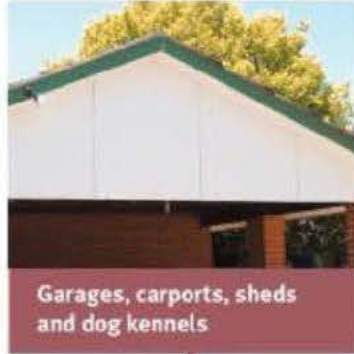
- Keep an eye on MCAs to make sure they remain in good condition.
- Consider removal of the MCA by a qualified person, when renovating or doing home repairs.
- Inform tradespeople working on your home of the location of any possible MCAs.
- Engage a qualified person if you decide to obtain a professional asbestos report on MCAs in your home.



Common locations of materials containing asbestos in ACT homes

ACT
CERTIFICATION

If your house was built before 1985, some of the materials it was built from probably contain asbestos.



Asbestos Awareness.
Helping everyone breathe easier.



Building Act 2004, S151
Building Approval

Project ID: B20233909

PART A - PROJECT DETAILS

Unit	Block	Section	Division (Suburb)	District	Jurisdiction
					Australian Capital Territory

PART B - WORKS REQUIRING BUILDING APPROVAL

Item of building work to which this Building Approval relates:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
1a	Additions	DA EXEMPT-RESIDENCE	Proposed Work - Additions & Alterations	NA	1	77.00	Sch 2.2(a)(ii)

The following work is exempt from development approval:

- Single residential and extensions in existing areas

PART C - CERTIFIERS DECLARATION

I declare that in issuing this building approval under section 28 of the Building Act 2004:

- I am satisfied on reasonable grounds that the plans meet each applicable approval requirement under section 29 and is not prevented from being issued under section 30 or section 30A
- I have supplied all documents as required under 3.3 Building Act 2004
- I have prepared a notice (building approval certificate) certifying what approval requirements apply to the application and why the building approval is not prevented from being issued; and
- I have given the building approval certificate to the applicant.

In performing services as a certifier in relation to the work detailed in this application I am not in breach of my entitlement to act as a certifier in accordance with the Building Act 2004.

Full Name	Address	License Number	Expiry Date
ACT CERTIFICATION SERVICES PTY LTD	PO Box 668 MITCHELL ACT 2911	2018757	30/06/2024

Date Issued : 17/10/2023

NOTES

Utilities

This application must also be accompanied by a Statement of Compliance from each relevant utility provider (for water, sewerage, electricity and stormwater) which confirms that the location and nature of earthworks, utility connections, proposed buildings, pavements and landscape features comply with utility standards, access provisions and asset clearance zones.

Note 1: If there is no stormwater easement or Territory owned stormwater pipes located within the property boundary, a "Statement of Compliance" for stormwater from TAMS (Asset Acceptance) is not required to be obtained.

Note 2: Where there is conflict between planning and utility requirements, the utility requirements take precedence over other codified or merit provisions.

Utilities – Demolition Only

This application must be accompanied by a Statement of Endorsement for utilities (including water, sewerage, electricity and stormwater) stating that:

- all network infrastructure on or immediately adjacent to the site has been identified on the plan
- all potentially hazardous substances and conditions (associated with or resulting from the demolition process) that may constitute a risk to utility services have been identified
- all required network disconnections have been identified and the disconnection works comply with utility requirements
- all works associated with the demolition comply with and are in accordance with utility asset access and protection requirements

Note: The documentation provided to the utility provider for endorsement must be consistent with the documentation that forms part of a development approval or the documentation verified as exempt from requiring development approval by a licensed certifier.

Asbestos Advice

If documents accompanying building approval do not include an asbestos assessment report as per the Building Act 2004, the building approval must have an Asbestos Advice attached as per the Act

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.



SITE WORK NOTICE

Building Act 2004, s151

For section 28 (1A) of the Building Act 2004

To be completed by the appointed Building Certifier and submitted to the Construction Occupations Registrar within 7 days of issue

Lease/Site Details

Block Section Suburb Division

Unit No Street Address

Building Approval Application and Site Work Details

This notice is issued in relation to the site work shown in the plans submitted as part of the application for a building approval dated made by the following applicants:

Sch 2.2(a)(ii)

on: date 17/10/2023

This notice applies to all site work in that application for which there is no—

- (a) exemption assessment D notice stating that the site work is exempt development issued for the work not more than 3 months before the day the application was made;
- (b) exemption declaration under the *Planning and Development Regulation 2008*, schedule 1, section 1.100A (1) (b) or section 1.100AB (1) (b) made by the planning and land authority; or
- (c) current development approval issued in relation to the site work.

NOTE: Site work is development that is—

- (a) building work; and
- (b) work other than building work that—
 - (i) physically affects the place (the building site) where the building work is being carried out; and
 - (ii) if not carried out at the building site, is carried out near, and connected with, the building site.

Examples: putting up temporary fencing, installing measures for erosion control, building a house, damaging or removing a significant tree, laying paving for driveways and parking areas, installing landscaping, site clearing and excavation, erecting site signage, erecting a pergola

Building Certifier Details *Please Print*

Surname First Name

Company Name

Licence Number Contact Number

Postal Address

Suburb State Postcode

Approved form AF2016-76 approved by David Middlemiss, Construction Occupations Deputy Registrar on 02 August 2016 under section 151 the Building Act 2004 and revokes AF2015-3

Building Certifier Statement

I state that:

- the plans for the building work to which the application for building approval relates show all the information necessary to establish that the site work is exempt development under the *Planning and Development Act 2007*, section 133; and
- the site work is exempt development; and
- I have assessed that the site work is exempt development for the following reasons and in accordance with the following provisions of the *Planning and Development Regulation 2008* and Territory Plan Codes:

Please include all relevant regulations and codes relied on for your assessment and an outline of your reasoning, such the assessment you undertook, advice from referral entities, compliance with lease and development conditions etc. You can attach additional information if needed and supporting documents including checklists or your own assessment documents. You do not need to attach a copy of the plans or building approval application.

Single Dwelling Housing Development Code

Please attach additional information if required

Building Certifier Signature
(or nominee)

Sch 2.2(a)(ii)

Date of
Issue

17/10/2023

Giving false or misleading information is a serious offence

Privacy Notice

The personal information on this form is provided to the Environment and Planning Directorate (EPD). The collection of personal information is authorised by the *Building Act 2004*. If all or some of the required personal information is not collected this notice is not considered complete. The personal information provided may be disclosed to Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be disclosed where authorised by law or court order, or where the EPD reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. EPD's Information Privacy Policy contains information about how you may access or seek to correct your personal information held by EPD, and how you may complain about an alleged breach of the Territory Privacy Principles. The EPD Information Privacy Policy can be found at www.act.gov.au/accessCBR.

CONTACT INFORMATION

Email:

ACTPLAdevelopmentBA@act.gov.au

Post:

Access Canberra
Building Services
Shopfront Mitchell
GPO Box 158
Canberra, ACT 2601

In Person:

Please visit
www.act.gov.au/accessCBR
Or call **132281** to find an
Access Canberra Shopfront.



APPOINTMENT OF BUILDER & APPLICATION FOR COMMENCEMENT NOTICE

Building Act 2004, S151

In completing this form the owner is authorising the builder nominated below to apply to the appointed certifier to issue a Commencement Notice for the works detailed in this application form.

PART A PROJECT DETAILS

Block Section Suburb Unit No.

Street Address

Certifier Name

Description of Building Works relevant to this application - *If more than 6 items please attach further details*

- 1 Residential extension
- 2
- 3
- 4

PART B OWNER DETAILS – Please Print

All owners **must** be listed Owner 1 will be considered the contact person in relation to this application

Company Details

Owner 1 Owner 2

Owner 3 Owner 4

Postal Address

Suburb State Postcode

Phone Number Business Hours Mobile

EMAIL ADDRESS

PART C APPOINTMENT OF BUILDER

I/we the owner/s have appointed the person whose details appear below as the builder in relation to the building works described in this form

Licence Holders Name as it appears on licence card

Licence Number Class Expiry Date

List any conditions or endorsements on licence

EMAIL ADDRESS

PART D NOMINEE'S DETAILS
If the builder is a company or partnership provide details of the Nominee who will supervise the building

Nominee's Name

Licence Number Class Expiry Date

Signature of Nominee Date

PART E OWNER SIGNATURE/S- all owners must sign this form

Owner 1 Signature DATE: 16/11/23
Owner 2 Signature DATE: 16/11/23
Owner 3 _____ Signature _____ DATE: _____
Owner 4 _____ Signature _____ DATE: _____

PART F BUILDER APPLICATION TO CERTIFIER FOR COMMENCEMENT NOTICE

I hereby apply to the building certifier listed above for a commencement notice for the works detailed in Part A of this form in accordance with the Building Act 2004.

- A site sign was **not** required to be displayed prior to making this application.
- A site sign **was** required to be displayed prior to making this application and I declare that a compliant sign was erected and displayed for the required period.

Signature of Builder Date

NOTE: There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

PART G INSURANCE OR FIDELITY CERTIFICATE

For residential building work please provide details of insurance where applicable

Insurance Provider Policy No. Date Issued

PLEASE NOTE:

- ▶ A copy of this notice and where applicable the residential building insurance policy or fidelity certificate must be given to the Construction Occupations Registrar within one (1) week of the issue date.
- ▶ A copy of the Commencement Notice must also be provided to the owner/s.

Privacy Notice

The personal information on this form is provided to Access Canberra to enable the processing of your application. The collection of personal information is authorised by the *Building Act 2004*. If all or some of the personal information is not collected Access Canberra cannot process your application. The personal information you provide may be disclosed to Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be disclosed where authorised by law or court order, or where the Directorate reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. Access Canberra's Information Privacy Policy contains information about how you may access or seek to correct your personal information held by Access Canberra, and how you may complain about an alleged breach of the Territory Privacy Principles. Access Canberra Information Privacy Policy can be found at www.act.gov.au/accessCBR

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Building Act 2004, S151

Application for Building Commencement Notice

Project ID: B20233909

Licensed builders must use this form to apply to the building certifier for a commencement notice in accordance with the Building Act 2004. An application can only be made if the building approval has been issued for the building work. A commencement notice must be issued by the building certifier before any building work can commence.

PART A - PROJECT DETAILS

Building approval issue date: 17/10/2023

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
					Australian Capital Territory

Full Name	Address	License Number	Expiry Date
ACT CERTIFICATION SERVICES PTY LTD	PO Box 668 MITCHELL ACT 2911	2018757	30/06/2024

Description of work to which application for Commencement Notice relates:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
1a	Additions	DA EXEMPT-RESIDENCE	Proposed Work - Additions & Alterations	NA	1	77.00	Sch 2.2(a)(ii)

Insurance provider:

Policy number:

Issue date: 17/10/2023

PART B - BUILDERS DETAILS

License holder's name: Sch 2.2(a)(ii)

License number: 20231132

License Expiry Date: 17/10/2026

Business Address: Sch 2.2(a)(ii)

Phone Number:

Signature of builder:

(Individual, director for company or partner for partnership)

If the builder is a company or partnership provide details of the nominee who will supervise the building work

Nominee's name: Sch 2.2(a)(ii)

License number: 20231132

License Expiry Date: 17/10/2026

Nominee's signature (if different to above): _____ / /

PART C - OWNER/LESSEE DETAILS

Name	Address
Sch 2.2(a)(ii)	

ADVISORY NOTE: Owners please ensure you have a written contract with the builder named in this application. For residential building work requiring home owner insurance ensure that the same builders name is shown on the insurance policy.

PART D - OWNER/S OR AGENT SIGNATURE/S

Name	Signature	Date
Sch 2.2(a)(ii)		

NOTE: You may only make this application as an authorised agent on behalf of the owners of the property if you have appropriate written authorisation from ALL the owners and attach it to this application. This also applies if you are a part owner or joint owner making an application on behalf of the owners.

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.

PART E - BUILDER APPLICATION TO CERTIFIER FOR COMMENCEMENT NOTICE

I hereby apply to the building certifier listed above for a commencement notice for the works detailed in Part A of this form in accordance with the Building Act 2004.

- A site sign was NOT required to be displayed prior to making this application.
- A site sign WAS required to be displayed prior to making this application and I declare that a compliant sign was erected and displayed for the required period.

Signature of Builder/Nominee: _____ / /

NOTE: There are penalties for deliberately giving false and misleading information. Access Canberra or the Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.



APPOINTMENT OF A CERTIFIER APPLICATION FOR BUILDING APPROVAL

Building Act 2004, S151

This form is to be completed by the Owner/s of the land to which the building work relates.

PART A PROJECT DETAILS

Block Section Suburb Unit No.

Street Address

Description of Building Works relevant to this application - *If more than 4 items please attach further details*

Describe each item of building work in this building approval	BCA Occupancy Class	BCA Construction Type	Area (m ²)	Number of Storeys	Cost of Works (refer to building cost)
1 Proposed Work - Additions & Alterations	1a	N/A	77	1	Sch 2.2(a)(ii)
2					
3					
4					

Applicable approved requirements and reasons why building approval is not prevented from being issued

Is all work exempt from development approval?

- YES** Attach assessment for exempt development checklist (if applicable)
- NO** Provide reason/s or description of work: _____

Description of Attachments compliant with Division 3.3 Building Act 2004 Please attach any additional documentation not listed below

- Building Approval Plans
- Referrals, consultations & consents outcomes
- Asbestos Advice - If documents accompanying building approval do not include an asbestos assessment report as per the Building Act 2004, the building approval must have an AA attached as per the Act

PART B OWNER'S DETAILS – Please Print

All owners **must** be listed

Owner 1 will be considered the contact person in relation to this application

Company Details

ACN/ABN Number

Owner 1 Sch 2.2(a)(ii) Owner 2 Sch 2.2(a)(ii)

Owner 3 _____ Owner 4 _____

Approved form AF2016-85 approved by David Middlemiss, Construction Occupations Deputy Registrar on 10 August 2016 under section 151 of the Building Act 2004 and revokes AF2016-80.

PART B continued **OWNER/S DETAILS – Please Print**

Postal Address

Suburb State Postcode

Phone Number Business Hours Mobile

EMAIL ADDRESS

PART C **APPOINTMENT OF CERTIFIER**

As required under the Building ACT 2004 I/we hereby advise that I/we the owner/s have appointed the person whose details appear below as the certifier in relation to the building works described in this form

Company Details

Name of Certifier ABN/ACN

Postal Address

Suburb State Postcode

Phone Number Business Hrs

Email Address

PART D **APPLICATION FOR BUILDING APPROVAL**

I/we the Owner/s of the abovementioned property hereby apply under Section 26 of the *Building Act 2004* to the certifier named above to issue a building approval for the building work described in this form. I/we have provided the certifier with information and documentation required to issue a building approval as specified in the *Building (General) Regulation 2008*.

PART E **AUTHORITY TO ACCESS BUILDING FILE**

I/we hereby authorise the certifier to access the building file for the property which is the subject of this application for the purposes of obtaining information relevant to the issuing of a building approval and associated processes.

PART F **OWNER/S SIGNATURE/S**

1st Owner's Signature	<input type="text" value="Sch 2.2(a)(ii)"/>	Date	<input type="text" value="09/06/2023"/>
2nd Owner's Signature	<input type="text" value="Sch 2.2(a)(ii)"/>	Date	<input type="text" value="09/06/2023"/>
3rd Owner's Signature	<input type="text"/>	Date	<input type="text"/>
4th Owner's Signature	<input type="text"/>	Date	<input type="text"/>

NOTE: There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

Where relevant the following information **MUST** be included in either the application or the plans accompanying the application for building approval:

General Requirements

- ▶ Estimated Cost of Works -as per *Building (General) (Cost of Building Work) Determination 2015*
- ▶ if the proposed building work to be carried out at or near a street or place that is open to or used by the public the application must contain details of the precautions proposed to be taken to protect the safety of people using the street or place while the building work is carried out
- ▶ the area of the parcel of land to which this application relates
- ▶ the class of the building according to the intended use of the building as proposed to be erected or altered;
- ▶ if applicable what fire-resisting construction type (under the building code) the building as proposed to be erected or altered will be
Note: Fire-resisting construction type may not be applicable if an alternative solution under the building code is used
- ▶ for an application relating to the erection of a class 1 building the site classification of the parcel of land
- ▶ for an application relating to the alteration of a class 1 building if the alteration will increase the building load carried by foundation material beyond the building load carried by the foundation before the alteration
- ▶ the site classification of the parcel of land
- ▶ for an application relating to the alteration of a building the class and type of fire-resisting construction of the existing building classified under the building code and the materials used in the existing building
Note Fire-resisting construction type may not be applicable if an alternative solution under the building code is used
- ▶ the number of storey's of the building as proposed to be erected or altered;
- ▶ the number of new dwellings (if any) created by the proposed building work;
- ▶ the floor area of the proposed building or proposed new part of the building;
- ▶ the materials to be used in the frame, floor, walls and roof of the proposed building or proposed new part of the building
- ▶ if a performance requirement of the building code is to be complied with by use of an alternative solution under the code -
 - (i) the performance requirement; and
 - (ii) the alternative solution; and
 - (iii) each assessment method used to show that the alternative solution complies with the performance requirement;
- ▶ if the building code does not state a standard of work in relation to any part of the proposed building work and it is intended to carry out that part of the proposed building work in accordance with a standard of work stated in another document -
 - (i) the nature of the proposed building work; and
 - (ii) the title of the document; and
 - (iii) each assessment method used to show that the proposed building work complies with the standard of work stated in the document.

Removal or demolition of building/s

- ▶ Details of the methods to be used in carrying out the proposed building work, including a work plan stated or set out in AS 2601 (Demolition of structures), as in force from time to time;
- ▶ the number of dwellings (if any) to be demolished.

Asbestos

- ▶ The application must include a description of the method proposed to be used to remove the bonded asbestos sheeting from the building
- ▶ the application must include the following information:
 - (i) the method proposed to be used to remove the asbestos;
 - (ii) the approximate amount and kind of asbestos to be removed;
 - (iii) the equipment proposed to be used to remove the asbestos, including any personal protective equipment;
 - (iv) details of a program, prepared in accordance with the asbestos removal code, for monitoring airborne asbestos to be followed during the removal.

Privacy Notice

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Building Act 2004, S151

Appointment of a Certifier and Application for Building Approval

Project ID: B20233909

This form is to be completed by the Owner/s of the land to which the building work relates

PART A - PROJECT DETAILS

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
					Australian Capital Territory

PART B - OWNER DETAILS

Name	Address	Email Address
Sch 2.2(a)(ii)		

PART C - APPOINTMENT OF CERTIFIER

As required under the Building ACT 2004 I/we hereby advise that I/we the owner/s have appointed the person whose details appear below as the certifier in relation to the building works described in this form

Full Name	Address	License Number	Expiry Date
ACT CERTIFICATION SERVICES PTY LTD	PO Box 668 MITCHELL ACT 2911	2018757	30/06/2024

PART D - APPLICATION FOR BUILDING APPROVAL

I/we the owners of the abovementioned property hereby apply to the certifier named above to issue a building approval under Section 26 of the Building Act 2004 for the building works detailed in the following table

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
1a	Additions	DA EXEMPT-RESIDENCE	Proposed Work - Additions & Alterations	NA	1	77.00	Sch 2.2(a)(ii)

I/we have provided the certifier with the information and documentation required to issue a building approval as specified in the Building (General) Regulation 2008.

PART E - AUTHORITY TO ACCESS BUILDING FILE

I/we hereby authorise the certifier to access the building file held by Access Canberra for the property which is the subject of this application for the purposes of obtaining information relevant to the issuing of a building approval and associated processes.

PART F - OWNER/S SIGNATURE/S

Name	Signature	Date
Sch 2.2(a)(ii)		

APPLICATION FOR BUILDING APPROVAL REQUIREMENTS
Building (General) Regulations 2008

Where relevant the following information **MUST** be included in either the application or the plans accompanying the application for building approval:

General Requirements

- Estimated Cost of Works -as per Building (General) (Cost of Building Work) Determination 2011
- if the proposed building work to be carried out at or near a street or place that is open to or used by the public the application must contain details of the precautions proposed to be taken to protect the safety of people using the street or place while the building work is carried out
- the area of the parcel of land to which this application relates
- the class of the building according to the intended use of the building as proposed to be erected or altered;
- if applicable what fire-resisting construction type (under the building code) the building as proposed to be erected or altered will be.

Note: Fire-resisting construction type may not be applicable if an alternative solution under the building code is used.

- for an application relating to the erection of a class 1 building the site classification of the parcel of land
- for an application relating to the alteration of a class 1 building if the alteration will increase the building load carried by foundation material beyond the building load carried by the foundation before the alteration.
- the site classification of the parcel of land

- for an application relating to the alteration of a building the class and type of fire-resisting construction of the existing building classified under the building code and the materials used in the existing building

Note Fire-resisting construction type may not be applicable if an alternative solution under the building code is used.

- the number of storeys of the building as proposed to be erected or altered;
- the number of new dwellings (if any) created by the proposed building work;
- the floor area of the proposed building or proposed new part of the building;
- the materials to be used in the frame, floor, walls and roof of the proposed building or proposed new part of the building
- if a performance requirement of the building code is to be complied with by use of an alternative solution under the code -
 - (i) the performance requirement; and
 - (ii) the alternative solution; and
 - (iii) each assessment method used to show that the alternative solution complies with the performance requirement;

- if the building code does not state a standard of work in relation to any part of the proposed building work and it is intended to carry out that part of the proposed building work in accordance with a standard of work stated in another document -

- (i) the nature of the proposed building work; and
- (ii) the title of the document; and
- (iii) each assessment method used to show that the proposed building work complies with the standard of work stated in the document.

Removal or demolition of building/s

- Details of the methods to be used in carrying out the proposed building work, including a work plan stated or set out in AS 2601 (Demolition of structures), as in force from time to time;
- the number of dwellings (if any) to be demolished.

Asbestos

- The application must include a description of the method proposed to be used to remove the bonded asbestos sheeting from the building.

- the application must include the following information:

- (i) the method proposed to be used to remove the asbestos;
- (ii) the approximate amount and kind of asbestos to be removed;
- (iii) the equipment proposed to be used to remove the asbestos, including any personal protective equipment;
- (iv) details of a program, prepared in accordance with the asbestos removal code, for monitoring airborne asbestos to be followed during the removal.