PUBLIC SAFETY

- Ensure adequate public safety is provided at all times. Protection shall be provided to public spaces and footpaths from debris, dropped materials, equipment storage or any other activity associated with construction work on the site.
- Hoisting of building materials or equipment over areas used by the public is not permitted without the prior consent of the Building Controller.
- All materials and equipment are to be kept to the leased area. Any proposal to use unleased Territory land is to be lodged with Access Canberra and include a site plan with proposed safety measures. A license agreement for the use of unleased Territory land must be in place prior to the event and must be continuous for the life of the project.

APPENDICES TO THIS BUILDING APPROVAL:

- Appendix A provides advice in order to achieve compliance with the BCA;
- Appendix B outlines the inspection stages that are required for the project.
- Appendix C outlines the certificates that are required to be submitted to BCA Certifiers so an application for Certificate of Occupancy can be made.

If you have any enquires our office can be contacted on (02) 6173 4600.

Sch 2.2(a)(ii)

Building Surveyor
BCA Certifiers (Aust) Pty Ltd – COLA Lic. # 200714

APPENDIX A – COMPLIANCE ADVICE

CONSTRUCTION

- Stormwater drainage is to comply with Part 3.5.3 of the 2019 BCA - Volume Two, Amendment 1 and be designed and constructed in accordance with AS 3500.3:2018.
  Note: BCA Clause 3.5.3.5 Downpipes - size and installation states the spacing between downpipes must not be more than 12 m and must be located as close as possible to valley gutters and, if the downpipe is more than 1.2 m from a valley, provision for overflow must be made.
- Subsoil and surface drainage is to comply with Part 3.1.3 of the 2019 BCA - Volume Two, Amendment 1.
  Note: The height of a slab-on-ground above external finished surfaces must be not less than 150mm above finished ground level, 50mm above paved or concreted areas and the external finished surfaces must be drained to move surface water away from the building and graded to give a slope of not less than 50mm over the first 1m from the building.
- Energy efficiency measures, including external glazing, must be incorporated in a building in accordance with Part 3.12 of the 2019 BCA - Volume Two, Amendment 1.
- Timbers used in external situations or in contact with the ground are to have a minimum Durability Class, as defined by AS 1684, of Class 1 or 2.
  Note: Oregon does not have the correct Durability Class and must not be used in these situations.
- Footings and slabs are to comply with Part 3.2 of the 2019 BCA - Volume Two, Amendment 1 and AS 2870:2011.
- Steel frame construction is to comply with the 2019 BCA - Volume Two, Amendment 1 and the NASH Standard Part 1 & 2.
  Note: Plans are to be submitted for approval prior to commencement of frame construction.
- Glazing is to comply with Part 3.6 of the 2019 BCA - Volume Two, Amendment 1 and AS 2047:2014 or AS 1288:2006, as applicable.
- The lamp power density or illumination power density of artificial lighting is to be in accordance with Part 3.12.5.5 of the 2019 BCA - Volume Two, Amendment 1.
  Note: Maximum lamp power density/illumination power density: In a Class 1 building, 5 W/m2; on a veranda or balcony attached to a Class 1 building, 4 W/m2; and in a class 10 building associated with a Class 1 building, 3 W/m2.
- Protection of openable windows must be provided in accordance with Part 3.9.2.6 and Part 3.9.2.7 of the 2019 BCA - Volume Two, Amendment 1.
- Riser, going and balustrade construction is to be in accordance with Part 3.9 of the 2019 BCA - Volume Two, Amendment 1.
- The doors to the sanitary compartments are to comply with Part 3.8.3.3 of the 2019 BCA - Volume Two, Amendment 1.

- Smoke alarms are to be installed in accordance with Part 3.7.5 of the 2019 BCA - Volume Two, Amendment 1.
- Termite protection is to be provided in accordance with Part 3.1.4 of the 2019 BCA - Volume Two, Amendment 1.
  Note: Structures such as steps, verandas, porches, access ramps, carports, trellises, decks, hot-water systems, air-conditioners, or the like which are not provided with one of the barrier systems described in Part 3.1.4 of the 2019 BCA - Volume 2, must be separated from the building by a gap of not less than 25mm to allow clear and uninterrupted visual inspection across the inspection zone.
- Timber floor system (Structafloor floor trusses or similar) is to be fixed in accordance with manufacturers recommendations.
- Wet areas are to comply with Part 3.8.1.2 of the 2019 BCA - Volume Two, Amendment 1 and AS 3740:2010.
- Thermal insulation, glazing and building sealing is to be installed in accordance with the BERS Pro/FirstRate5 Report prepared by Sulaiman Akbari dated 24/05/2022.
- In Climate Zone 7 Class 1 & attached Class 10a buildings must achieve the minimum total R-Values as follows; Roofs 5.1/4.6/4.1 (depends on the colour of the roof), External walls 2.8, Enclosed and Unenclosed suspended floor 2.75, and for a concrete slab on ground with in-slab heating system vertical edge perimeter insulation having an R-value of not less than 1.0.
- Natural ground levels at boundaries and easements shall not be altered. Site cuts are to be retained and stabilised.
- The top level of the sewerage service yard gully shall be located a minimum of 150mm below the lowest fixture level and a minimum of 75mm above ground level.

APPENDIX B – CERTIFICATION / DOCUMENTATION REQUIRED

The builder is to notify BCA Certifiers upon reaching each inspection stage outlined below by booking an inspection on our website using the following link BCA Certifiers - Book Inspection.

A minimum of 24 hour' notice is required for inspection bookings.

The builder is not to proceed beyond an inspection stage until written approval to proceed has been given by BCA Certifiers.

- Slab
- Pre-Sheet
- Final

APPENDIX C – CERTIFICATION / DOCUMENTATION REQUIRED

All certification is required to include the following minimum information. Note, Certificates without this information will not be accepted:

- Company letterhead including all company contact details (address, email, phone number);
- Addressed to the Builder of the project;
- Company ABN / ACN;
- Reference to the **BCA 2019 Amendment 1** and **ALL relevant** BCA clauses applicable clauses that apply to the relevant trades work;
- References to all Australian Standards applicable to the relevant trades work. **Note, The version / year of the Australian Standard referred to must be the version / year which is referenced by the BCA 2019 Amendment 1;**
- Signed and dated by a suitably qualified person / director of the company once the work has been completed onsite;
- Include the suitably qualified person signing the certificates qualifications / experience.

A list of required certificates will be provided by BCA Certifiers Australia Pty Ltd.
The list is subject to change throughout the duration of construction.

Note: ALL Plumbing and Electrical work MUST be inspected and cleared by the ACT Planning and Land Authority (ACTPLA). To avoid delays with the issue of the Certificate of Occupancy, please ensure that the Plumbing and Electrical works have been cleared.
ACTPLA can be contacted on the following phone numbers:

ACTPLA Electrical Section: (02) 6207 7775,

ACTPLA Plumbing Section: (02) 6207 6907.

Important Asbestos Advice for ACT homes built before 1985

Asbestos is hazardous but it can be managed safely.

Follow the three steps for managing materials containing asbestos (MCAs) in your home.

Step 1. Identify where MCAs may be in your home

When was your house built?

- **If your house was built before 1985,** the table below gives you an indication of where you are likely to find MCAs in your home. There is also a diagram on the back of this sheet showing where MCAs are commonly found.
- **If your house was built after 1985,** it is unlikely to contain MCAs.
- If in doubt, assume that materials DO contain asbestos.

Common locations of MCAs in ACT homes*

(Percentage (%) of properties sampled where asbestos was detected)

Location	Pre 1965	1965–1979	1980–1984	1985–now#
Eaves	86%	92%	40%	0%
Garage/shed	80%	70%	15%	0%
Bathroom	54%	75%	50%	0%
Laundry	75%	80%	50%	0%
Kitchen	52%	23%	15%	0%

**Results of 2005 Asbestos Survey of over 600 ACT Homes. #One MCA was found in a 1985 house supporting roof tiles on a gable end.*

Step 2. Assess the risk

Visually check the condition of the MCA – is it cracked, broken, etc?

- If it's in good condition and left undisturbed, it does not pose a health risk.
- If you suspect it is not in good condition, arrange for appropriate maintenance or removal by a qualified person.

Step 3. Manage safely

Make sure you remember to:

- Keep an eye on MCAs to make sure they remain in good condition.
- Consider removal of the MCA by a qualified person, when renovating or doing home repairs.
- Inform tradespeople working on your home of the location of any possible MCAs.
- Engage a qualified person if you decide to obtain a professional asbestos report on MCAs in your home.

For further information or advice on managing asbestos or home renovations visit the asbestos website www.asbestos.act.gov.au or call 13 22 81.

ACT GOVERNMENT

Asbestos Awareness.
Helping everyone breathe easier.

Common locations of materials containing asbestos in ACT homes

If your house was built before 1985, some of the materials it was built from probably contain asbestos.

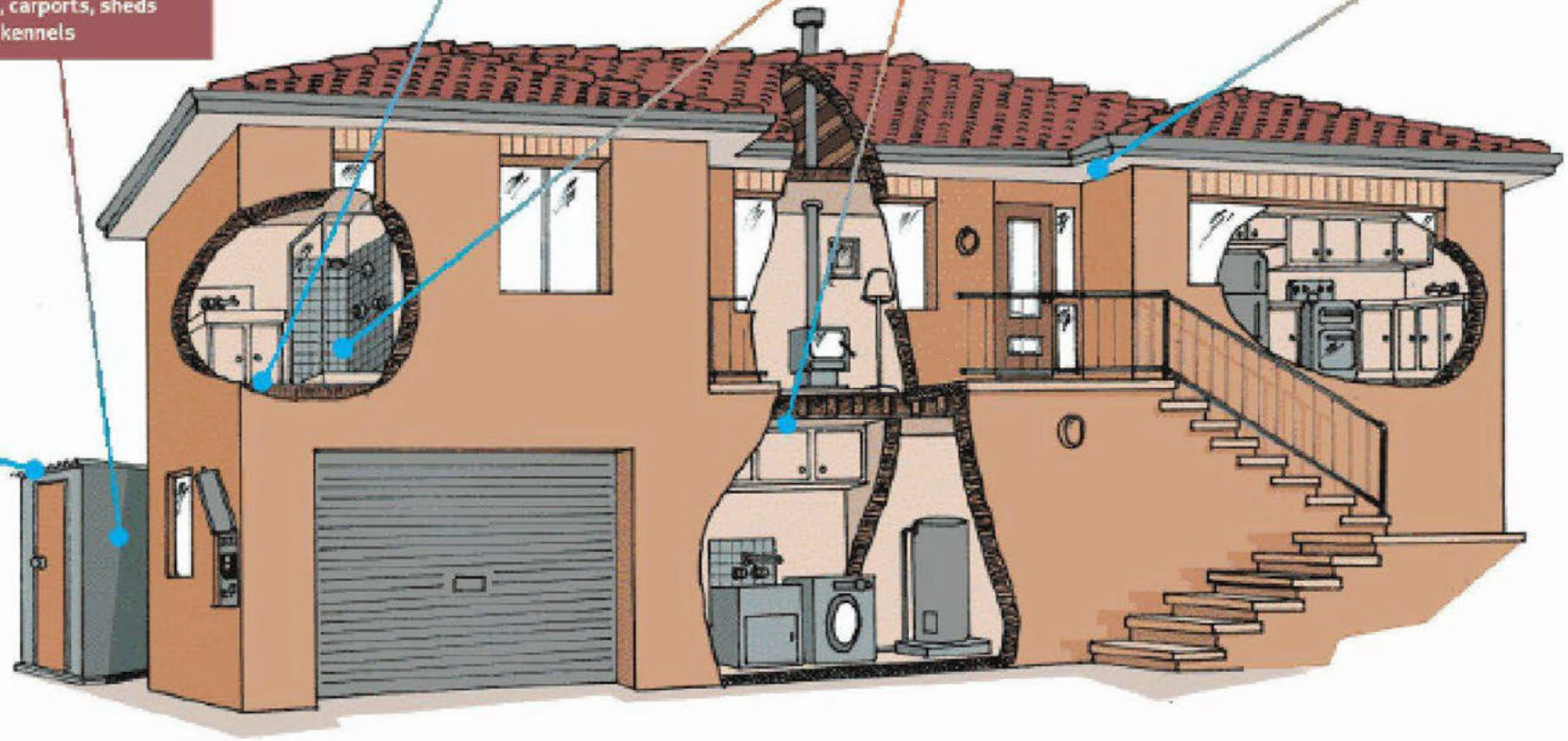
Garages, carports, sheds and dog kennels

Wet areas including wall and ceiling lining

Wet areas including wall and ceiling lining

Eaves

Corrugated asbestos roofing



Asbestos Awareness.
Helping everyone breathe easier.

Building Act 2004, S151

Building Approval

Project ID: B20223378

PART A - PROJECT DETAILS

Unit	Block	Section	Division (Suburb)	District	Jurisdiction
			STRATHNAIRN	BELCONNEN	Australian Capital Territory

PART B - WORKS REQUIRING BUILDING APPROVAL

Item of building work to which this Building Approval relates:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works ($)
1a	New Standard	DA EXEMPT-RESIDENCE	New Dwelling	NA	2	Sch 2.2(a)(ii)	
10a	New	DA EXEMPT-GARAGE	New Garage, Carport, Porch and Alfresco	NA	1		

The following work is exempt from development approval:

- A single house in a new housing estate

PART C - CERTIFIERS DECLARATION

I declare that in issuing this building approval under section 28 of the Building Act 2004:

- I am satisfied on reasonable grounds that the plans meet each applicable approval requirement under section 29 and is not prevented from being issued under section 30 or section 30A
- I have supplied all documents as required under 3.3 Building Act 2004
- I have prepared a notice (building approval certificate) certifying what approval requirements apply to the application and why the building approval is not prevented from being issued; and
- I have given the building approval certificate to the applicant.

In performing services as a certifier in relation to the work detailed in this application I am not in breach of my entitlement to act as a certifier in accordance with the Building Act 2004.

Full Name	Address	License Number	Expiry Date
BCA CERTIFIERS AUSTRALIA PTY LTD	50 GEILS COURT DEAKIN WEST ACT 2600	200714	30/12/2022

Date Issued : 28/07/2022

NOTES

Utilities

This application must also be accompanied by a Statement of Compliance from each relevant utility provider (for water, sewerage, electricity and stormwater) which confirms that the location and nature of earthworks, utility connections, proposed buildings, pavements and landscape features comply with utility standards, access provisions and asset clearance zones.

Note 1: If there is no stormwater easement or Territory owned stormwater pipes located within the property boundary, a "Statement of Compliance" for stormwater from TAMS (Asset Acceptance) is not required to be obtained.

Note 2: Where there is conflict between planning and utility requirements, the utility requirements take precedence over other codified or merit provisions.

Utilities – Demolition Only

This application must be accompanied by a Statement of Endorsement for utilities (including water, sewerage, electricity and stormwater) stating that:
- all network infrastructure on or immediately adjacent to the site has been identified on the plan
- all potentially hazardous substances and conditions (associated with or resulting from the demolition process) that may constitute a risk to utility services have been identified
- all required network disconnections have been identified and the disconnection works comply with utility requirements
- all works associated with the demolition comply with and are in accordance with utility asset access and protection requirements

Note: The documentation provided to the utility provider for endorsement must be consistent with the documentation that forms part of a development approval or the documentation verified as exempt from requiring development approval by a licensed certifier.

Asbestos Advice

If documents accompanying building approval do not include an asbestos assessment report as per the Building Act 2004, the building approval must have an Asbestos Advice attached as per the Act

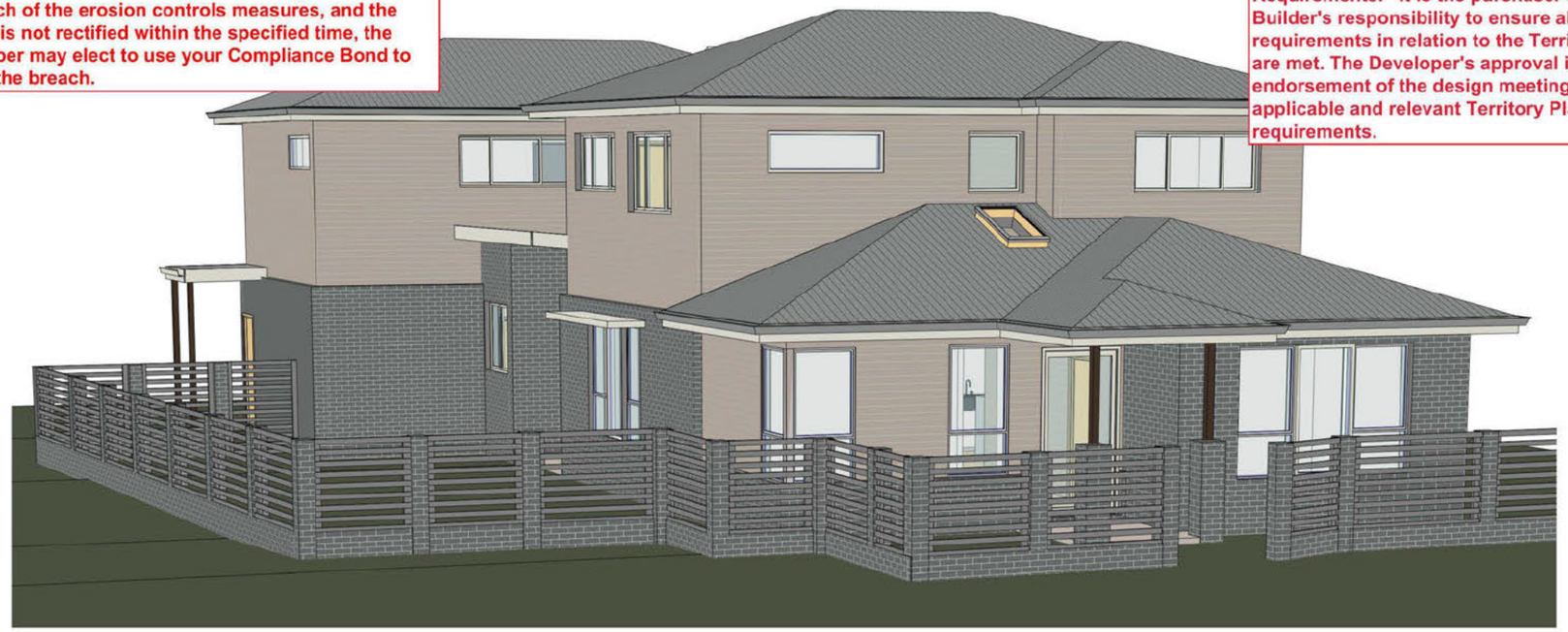
Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.

PROJECT DETAILS

Prior to commencing any construction, erosion sediment controls must be in place and be maintained throughout construction. If you and / or your builder is in breach of the erosion controls measures, and the breach is not rectified within the specified time, the Developer may elect to use your Compliance Bond to rectify the breach.

The design has been checked against the Ginninderry Housing Development Requirements. It is the purchaser and their Builder's responsibility to ensure all requirements in relation to the Territory Plan are met. The Developer's approval is not an endorsement of the design meeting all applicable and relevant Territory Plan requirements.

CLIENT:	Sch 2.2(a)(ii)
PROJECT NAME:	RESIDENCE
BLOCK:	
SECTION:	
SUBURB:	STRATHNAIRN
PROJECT ADDRESS:	
PROJECT NO:	211201
DATE	5/9/22
VERSION	FOR APPROVALS



IMPORTANT BLOCK INFORMATION
BLOCK SIZE: 567 m² (RZ3)
OPEN SPACE MIN: 290.2 m²
(60% - 50.0m²)
MAX GFA (50%): 283.5 m²
PPOS: 24 m²
POS: 56.7m² (6m FOR AN AREA NOT LESS THAN 10% OF THE BLOCK AREA AND TOTAL AREA OF HARD LANDSCAPE NOT TO EXCEED 50% AREA OF P.O.S.)

SITE AREA	
OPEN SPACE	404.38 m²
Footprint	133.25 m²
Total	537.63 m²

GFA		
Number	Name	Area
1	Sch 2.2(a)(ii)	
2		
3		
4		
Grand to		

Construction Area		
Number	Name	Area
1	Sch 2.2(a)(ii)	
2		
3		
4		
5		
6		
7		
8		
9		
10		
Grand to		

Drawing List			
Sheet No	Sheet Name	Drawn By	Checked By
A000	COVER PAGE	B.Virk	Client
A100	SITE PLAN	B.Virk	Client
A103	EROSION&SEDIMENT PLAN	B.Virk	Client
A105	FENCING PLAN	B.Virk	Client
A200	GROUND FLOOR PLAN	B.Virk	Client
A201	UPPER FLOOR PLAN	B.Virk	Client
A300	ELEVATION 1&2	B.Virk	Client
A301	ELEVATION 3&4	B.Virk	Client
A400	SECTION A	B.Virk	Client
A500	ROOF PLAN	B.Virk	Client
A501	SHADOW DIAG-9AM	B.Virk	Client
A502	SHADOW DIAG-12PM	B.Virk	Client
A503	SHADOW DIAG-3PM	B.Virk	Client
A700	3D VIEWS	B.Virk	Client
A800	SAFE DESIGN CODE		

Ginninderry
APPROVED
Subject to Conditions
APPROVED BY: Johnathan Drury
SIGNATURE:
DATE: 21 November 2022

NOTE: Final selection of materials is the responsibility of client and/or builder, including but not limited to proper installation of materials, nailing, gluing, caulking, insulating, flashing, roofing, weatherproofing and other items and details not indicated on the Plans, and over which the Designer has no control or responsibility.

Virk Building Design Services
Email: virk.bds@gmail.com Mob: 0425677755

NOTE: The drawings are indicative only and are required to be verified / confirmed by the owner and/or builder and engineer and/or certifier in accordance with the relevant Building Legislation/Regulations, Housing Development Codes, NCC, Australian Standards, etc.
Virk BDS will not be held liable / responsible in any form by any party whatsoever for any design or structural component, notation or accuracy of documentation herein. Client / Builder accepts Plans and responsibility once plans are accepted for approvals.

Sch 2.2(a)(ii)
RESIDENCE
SUBURB: STRATHNAIRN

COVER PAGE FOR APPROVALS

Project number	211201	A000	
Drawn Date	5/9/22		
Drawn by B.Virk	Checked by Client	Print Date:	5/09/2022 10:28:20 AM
Version	FOR APPROVALS	Scale:	on A3

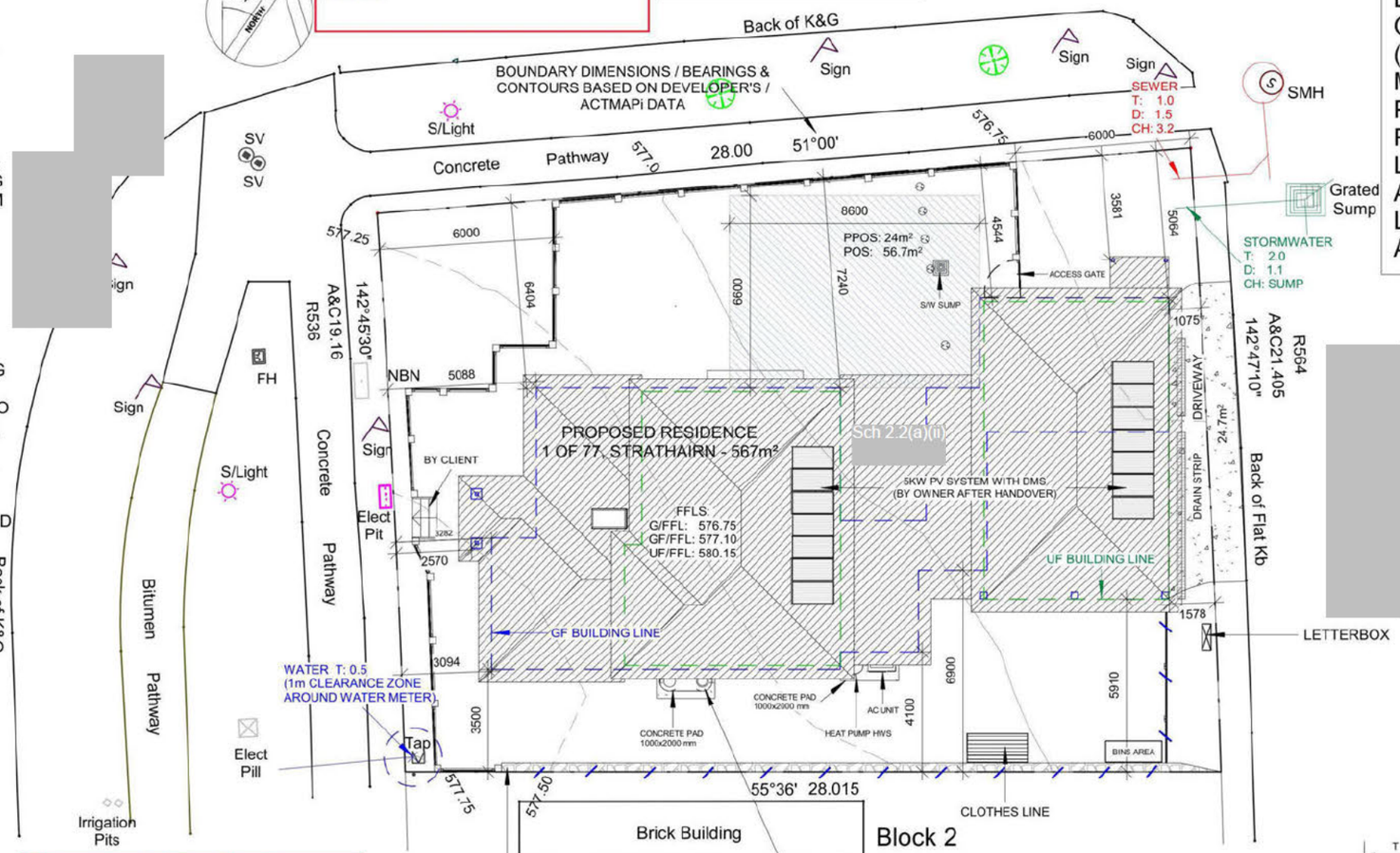
IMPORTANT NOTES:
*THE REQUIREMENT OF REGULATIONS TAKES PRECEDENCE OVER THE DRAWINGS. DETAIL DRAWINGS TAKE PRECEDENCE OVER GENERAL DRAWINGS.
*DO NOT SCALE DRAWINGS - ALL DIMENSIONS IN "mm".
*BUILDER TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION WORKS, PRODUCING SHOP DRAWINGS OR FABRICATING COMPONENTS.
*BUILDER TO CHECK DOORS/WINDOWS DIMENSIONS BEFORE ORDERING ON FLOOR PLAN AND ELEVATIONS.
*ALUMINIUM FRAMED DOORS/WINDOWS WITH OPENING STYLES IN ACCORDANCE WITH ELEVATIONS AND FROM APPROVED MANUFACTURER UNO.
*LINTELS TO TRUSS MANUFACTURERS TABLES, ROOF TRUSSES TO MANUFACTURER'S SPECIFICATION.
*ALL CONSTRUCTION WORK TO BE DONE IN ACCORDANCE WITH BCA AND RELEVANT AUSTRALIAN STANDARDS AND DEVELOPMENT CODES.
*TERMITE PROTECTION TO COMPLY WITH AS1694 'PHYSICAL BARRIERS' & AS3660 'APPENDIX D' AND TO ACT BUILDING CONTROL BUILDING NOTE NO3, FRAMING TO AS1684 'NATIONAL TIMBER FRAMING CODE' AND SUPPLIMENTS, HARDWOOD TO AS.2796, ELECTRICAL TO AS.3000, PLUMBING TO AS3500, CONCRETE TO AS.3600, BRICKWORK TO AS.3700, 'SAA MASONRY CODE' AND AS.1640 'SAA BRICKWORK CODE', STRUCTURAL STEEL TO AS.1170 & AS.4100, WET SEAL TO AS.3740 AND .
*SMOKE ALARMS CONNECTED TO MAINS POWER SUPPLY, WITH BATTERY BACKUP, ARE TO BE INSTALLED IN ACCORDANCE WITH AS3786.

*BLOCK BOUNDARIES, CONTOURS, SERVICES AND EASEMENTS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION.
*CONFIRM ALL LEVELS AND CONTOURS ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION. BUILDER IS RESPONSIBLE TO ENSURE ALL INFORMATION SHOWN HERE REGARDING LEVELS ARE ACCURATE AND REPRESENTS EXISTING ON SITE LEVELS.
*THE FFLs ARE SUBJECT TO CHANGE AND ARE UP TO BUILDERS DISCRETION TO BE VERIFIED ON SITE, MAXIMUM CHANGE UNDER 340 mm, TO BE CONFIRMED BY CERTIFIER.
*LOCATION OF CUTS ARE INDICATIVE ONLY AND TO BE VERIFIED ON SITE. THEREFORE, ALL CUTS & FFL TO BE VERIFIED ON SITE BY A REGISTERED SURVEYOR.
*0.3 M CUT APPROX AT LINE OF HOUSE - SITE TO BE LEVELED / GRADED TO ALLOW FOR SURFACE DRAINAGE AS PER BCA.
*RETAINING WALL TO BE BUILT ENSURING DRAINAGE AS PER RELEVANT CODES/BCA V2. HEIGHTS AND ALL LEVELS TO SUIT SITE CONDITIONS. FINAL HEIGHTS TO BE CONFIRMED BY BUILDER ON SITE.

*SEDIMENT & EROSION CONTROL TO COMPLY WITHIN THE BEST PRACTICE GUIDELINES - PREVENT SOULTION FOR RESIDENTIAL BUILDING SITES MARCH 2006 AND ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE ACT, MARCH 2011.
*BUILDER TO PROVIDE CRUSHED GRANITE OR AGGREGATES AT ACCESS POINT TO SITE DURING CONSTRUCTION

Where there are services easements, the natural ground level can not be altered.

[redacted]



IMPORTANT BLOCK INFORMATION
BLOCK SIZE: 567 m² (RZ3)
OPEN SPACE MIN: 290.2 m²
(60% - 50.0m²)
MAX GFA (50%): 283.5 m²
PPOS: 24 m²
POS: 56.7m² (6m FOR AN AREA NOT LESS THAN 10% OF THE BLOCK AREA AND TOTAL AREA OF HARD LANDSCAPE NOT TO EXCEED 50% AREA OF P.O.S.)

SITE AREA	
OPEN SPACE	404.38 m²
Footprint	133.25 m²
Total	537.63 m²

Construction Area		
Number	Name	Area
1	Sch 2.2(a)(ii)	132.87 m²
2		62.11 m²
3		58.57 m²
4		29.74 m²
5		36.01 m²
6		13.38 m²
7		4.03 m²
8		2.80 m²
9		4.41 m²
10		6.10 m²
Grand total		350.02 m²

Where a benched level has been provided, garages are to be constructed no greater than 500mm above the nominated bench level

AC UNITS MUST BE INSTALLED AS PER PART 5 OF THE HOUSING DEVELOPMENT REQUIREMENTS. AC UNITS MUST BE ONE (OR MORE) OF THE FOLLOWING:
* Reverse cycle air conditioning that achieves a minimum
  o Energy Efficiency Ratio (EER) of 3.5 for the cooling cycle
  o Coefficient of Performance (COP) of 3.5 for the heating cycle
* Air conditioning with a cooling cycle only that achieves a minimum Energy Efficiency Ratio (EER) of 3.5
  o ducted evaporative cooling with a self-closing damper
  o ground source heat pump

NOISE AFFECTED BLOCK - TO COMPLY WITH:
* AS/NZS 2107:2000 - Acoustics – Recommended design sound levels and reverberation times for building interiors (the relevant satisfactory recommended interior design sound level)
*AS/NZS 3671 - Acoustics – Road Traffic Noise Intrusion Building Siting and Design and Ginninderry Noise Management Plan

Water efficient fixtures: shower heads - 3 stars with flow rate of < 9 litres / min tapware - 4 stars toilets - 4 stars

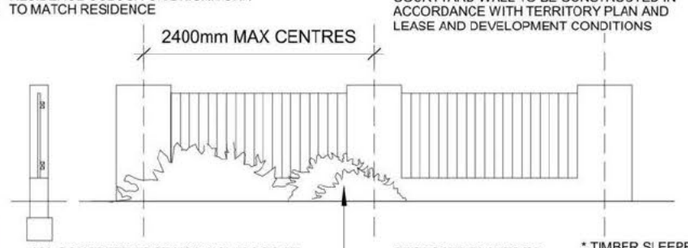
RETAINING WALL (MAX CUT / RW HT: 1.0m WITH IN 1.5m OF BOUNDARIES) AND STEPS TO SITE CONDITION - TO BE PROVIDED BY CLIENT AFTER HANDOVER

* MIN 4000L RAINWATER TANK,50% OR 100m² OF ROOF AREA, WHICHEVER IS THE LESSER, IS CONNECTED TO THE TANK.
* TANK IS CONNECTED TO ATLEAST A TOILET, LAUNDRY COLD WATER AND ALL EXTERNAL TAPS, AS PER ACT TERRITORY PLAN.
*THE CONNECTION WILL REQUIRE A PUMP WHERE IT CANNOT BE ELEVATED SUFFICIENTLY TO GIVE ADEQUATE PRESSURE

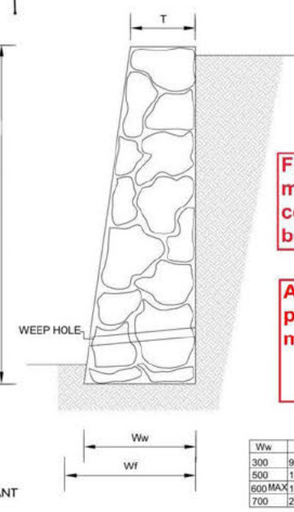
* DRIVEWAY TO COMPLY WITH GW/SD/DC.02 & FINISH TO COMPLY WITH ALL LEASE & DEVELOPMENT CONDITIONS AND RELEVANT LOCAL CODES
* IF LEVELS & CONTOURS ARE DIFFERENT ON SITE FROM THE DRAWING BUILDER TO PROVIDE CONTOUR PLAN & REPORT BACK TO THE DESIGNER TO ADJUST LEVELS ACCORDINGLY.
* NO PART OF CUT SHOULD ENCROACH OUT OF THE BOUNDARY OR EASEMENT

710 x 230 BRICK PIERS TO BE PAINTED RESIDENCE COLOUR OR BRICKWORK TO MATCH RESIDENCE

COURTYARD WALL TO BE CONSTRUCTED IN ACCORDANCE WITH TERRITORY PLAN AND LEASE AND DEVELOPMENT CONDITIONS



* TIMBER SLEEPER / STONE RETAINING WALL (RW) AND STEPS TO SITE CONDITION, RELEVANT CODES AND DEVELOPERS GUIDELINES
* SUBSOIL DRAINAGE SYSTEMS: AG PIPE / WATERPROOFING, COMPLIANCE TO RELEVANT CODES/AS/ BCA
* AGRI DRAIN TO PRVENT SURFACE WATER ENTRY AS PER BCA V2, Part 3.1.2/AS 4654.2-2012



Ww	H	Wf	T
300	900	350	300
500	1500	600	350
600 MAX	1800	700	350
700	2100	800	400

ROCK RETAINING WALL

Front retaining walls must be stone, masonry or concrete blocks. Timber or concrete sleepers are not permitted beyond the building line.

All building materials, waste and stock piles must be fully enclosed to prevent material being blown off the block.

1 **1. SITE PLAN**
1 : 200

Virk Building Design Services
Email: virk.bds@gmail.com Mob: 0425677755

NOTE: The drawings are indicative only and are required to be verified / confirmed by the owner and/or builder and engineer and/or certifier in accordance with the relevant Building Legislation/Regulations, Housing Development Codes, NCC, Australian Standards, etc.
Virk BDS will not be held liable / responsible in any form by any party whatsoever for any design or structural component, notation or accuracy of documentation herein. Client / Builder accepts Plans and responsibility once plans are accepted for approvals.

Sch 2.2(a)(ii)
RESIDENCE
[redacted]
SUBURB: STRATHNAIRN

Ginninderry
APPROVED
Subject to Conditions
APPROVED BY: Johnathan Drury
SIGNATURE:
DATE: 21 November 2022

SITE PLAN — FOR APPROVALS

Project number	211201	A100	
Date	5/9/22		
Drawn by	B.Virk		
Checked by	Client	Scale	1 : 200 on A3

5/09/2022 10:28:21 AM

BUILDER NOTE:

BUILDER TO PROVIDE CRUSHED GRANITE OR AGGREGATES AT ACCESS POINT TO SITE DURING CONSTRUCTION

NO CONSTRUCTION MATERIAL TO BE STORED ON THE VERGE
VERGE TO BE COMPLETELY REINSTATED ON COMPLETION INCLUDING GRADING, GRASSING AND/OR TURF TO CITY PARKS AS PER TAMS REQUIREMENT.

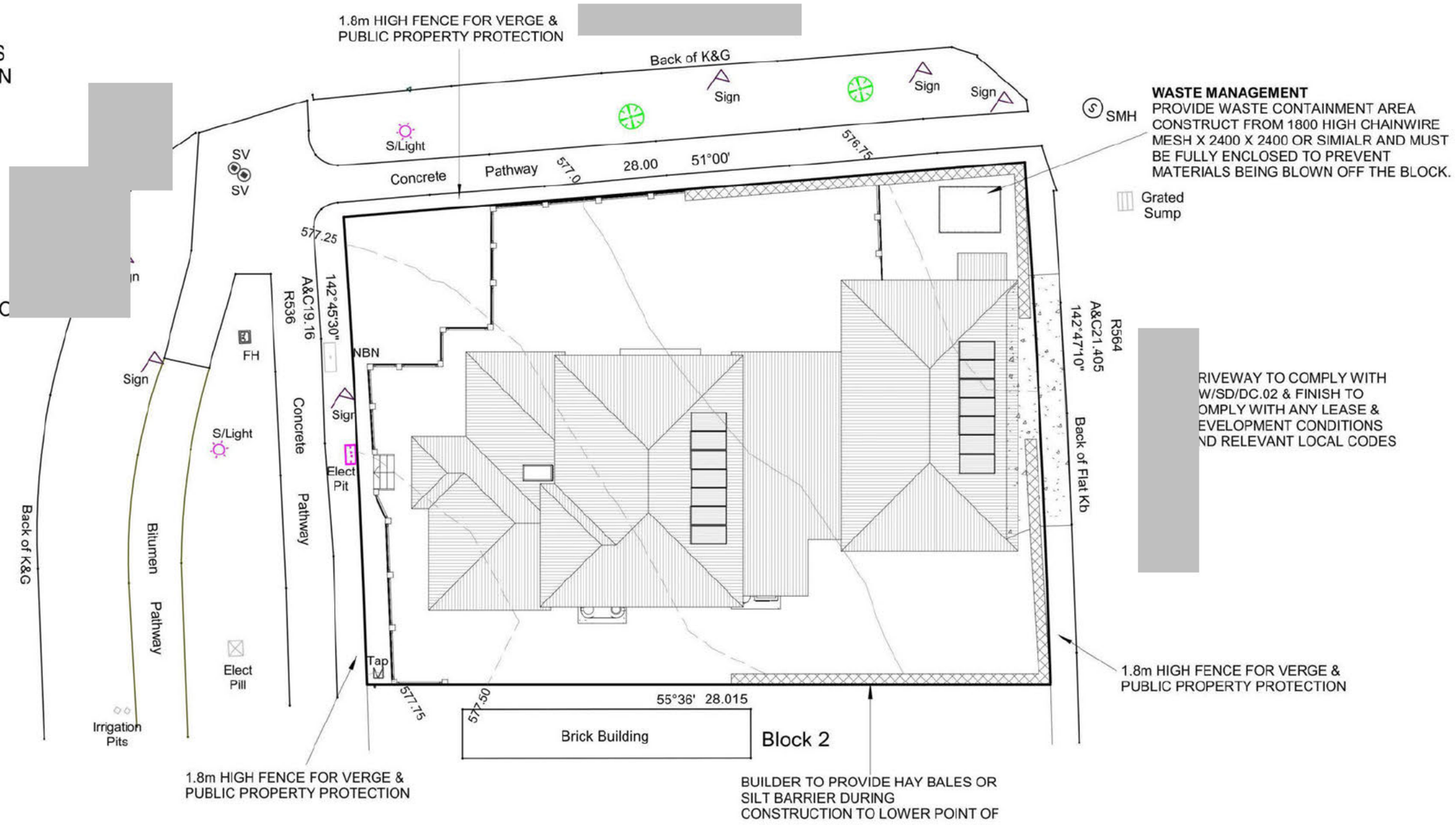
PROVIDE GEOTEXTILE FENCE, FIXED TO STARPICKETS AT 2m MAX. CTS 600mm DEEP OR PROVIDE HAY BALES AT LOWER SIDE OF THE SITE FOR SEDIMENT CONTROL

PROVIDE 1.8m HIGH FENCE AROUND THE BLOCK DURING CONSTRUCTION

PROVIDE TEMPORARY WASTE LOCATION & UTILITY FACILITIES ON SITE

IF DRIVEWAY IS NOT POUR ON THE VERGE BUILDER TO LAY 150-200mm THICK LAYOUT OF GRAVEL OR CRUSHED BRICK OR CONCRETE TO VEHICULAR ACCESS POINT

ANY & ALL DAMAGE CAUSED TO THE SURROUNDING PUBLIC INFRASTRUCTURE INCLUDING STREET KERBS, STREET TREES, FOOTPATHS, KERB CROSSOVERS, VERGE (NATURE STRIP) SERVICES & ADJOINING LAND, CAUSED BY THE CONSTRUCTION OF THE RESIDENCE IS TO BE REPAIRED & REINSTATED TO ITS ORIGINAL STATE



SEDIMENT & EROSION CONTROL
Development complies with the ACT Environment Protection Authority, Environment Protection Guidelines for Construction and Land Development. Prevent pollution from residential building sites - Best Practice

1 EROSION & SEDIMENT
1 : 200

Ginninderry
APPROVED
Subject to Conditions
APPROVED BY: Johnathan Drury
SIGNATURE:
DATE: 21 November 2022

Virk Building Design Services
Email: virk.bds@gmail.com Mob: 0425677755

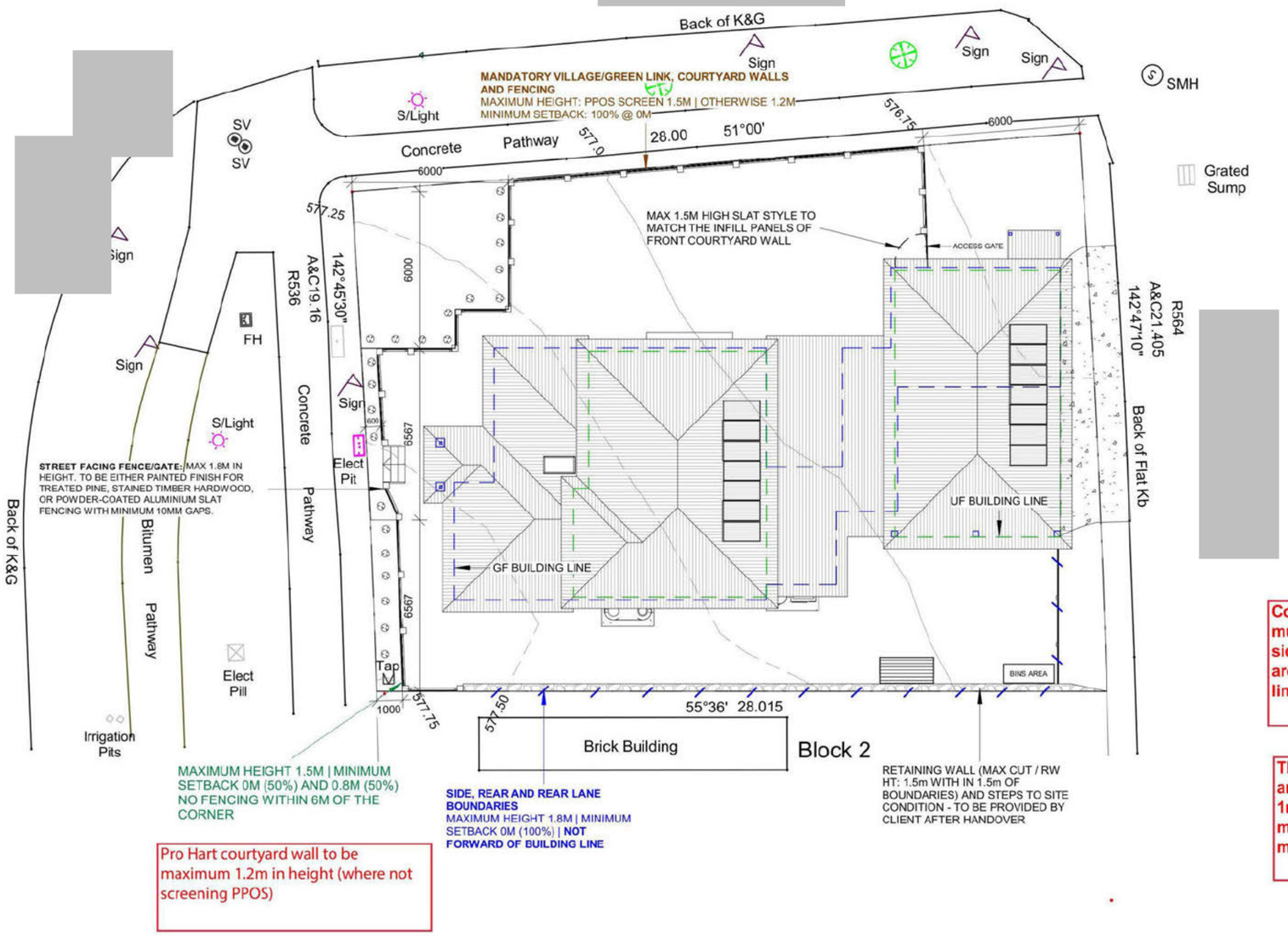
NOTE: The drawings are indicative only and are required to be verified / confirmed by the owner and/or builder and engineer and/or certifier in accordance with the relevant Building Legislation/Regulations, Housing Development Codes, NCC, Australian Standards, etc.
Virk BDS will not be held liable / responsible in any form by any party whatsoever for any design or structural component, notation or accuracy of documentation herein. Client / Builder accepts Plans and responsibility once plans are accepted for approvals.

Sch 2.2(a)(ii)
RESIDENCE
SUBURB: STRATHNAIRN

EROSION&SEDIMENT PLAN FOR APPROVALS

Project number	211201	A103	
Date	5/9/22		
Drawn by	B.Virk		
Checked by	Client	Scale	1 : 200 on A3

5/09/2022 10:28:21 AM



Pro Hart courtyard wall to be maximum 1.2m in height (where not screening PPOS)

Colorbond, paling fencing and chain wire fencing must be terminated at 1m behind the building on side and rear boundaries. These fencing types are not permitted beyond the front of the building line.

The maximum combined height of retaining wall and fencing is 2.2m with a maximum height of 1m for the retaining wall. The 1.2m high fencing must also be setback from the retaining wall by minimum 500mm.

1 FENCING PLAN

1 : 200

Ginninderry

APPROVED
Subject to Conditions
APPROVED BY: Johnathan Drury
SIGNATURE:
DATE: 21 November 2022

Virk Building Design Services

Email: virk.bds@gmail.com Mob: 0425677755

NOTE: The drawings are indicative only and are required to be verified / confirmed by the owner and/or builder and engineer and/or certifier in accordance with the relevant Building Legislation/Regulations, Housing Development Codes, NCC, Australian Standards, etc.
Virk BDS will not be held liable / responsible in any form by any party whatsoever for any design or structural component, notation or accuracy of documentation herein. Client / Builder accepts Plans and responsibility once plans are accepted for approvals.

Sch 2.2(a)(ii)

RESIDENCE

SUBURB: STRATHNAIRN

FENCING PLAN — FOR APPROVALS

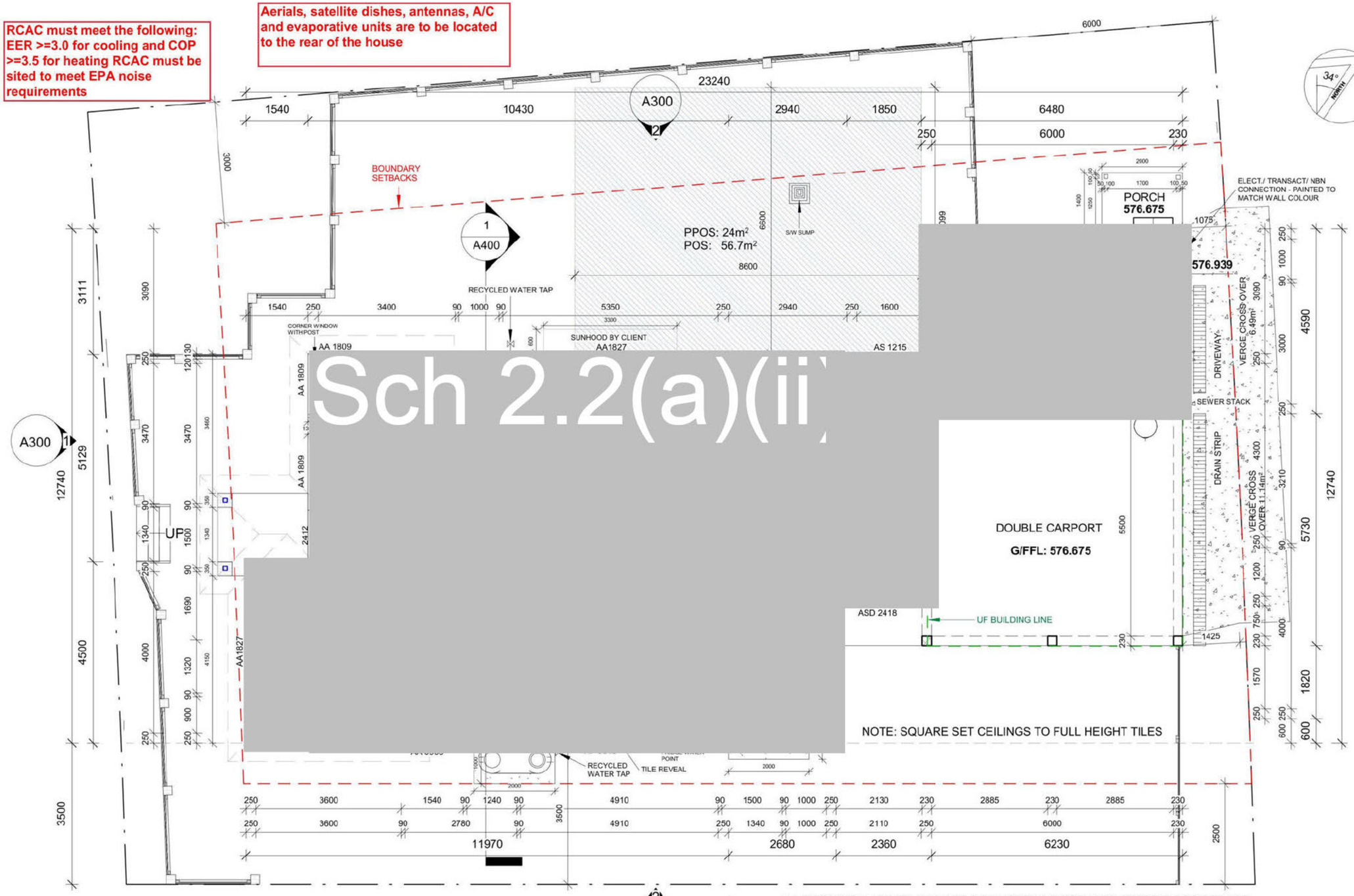
Project number	211201	A105	
Date	5/9/22		
Drawn by	B.Virk		
Checked by	Client	Scale	1 : 200 on A3

5/09/2022 10:28:22 AM

RCAC must meet the following: EER >=3.0 for cooling and COP >=3.5 for heating RCAC must be sited to meet EPA noise requirements

Aerials, satellite dishes, antennas, A/C and evaporative units are to be located to the rear of the house

water meters, electrical and NB cabinets, PV inverters must either be integrated into the building and / or screened from public view



Sch 2.2(a)(ii)

SITE AREA	
OPEN SPACE	404.38 m²
Footprint	133.25 m²
Total	537.63 m²

GFA		
Number	Name	Area
1	Sch 2.2(a)(ii)	132.87 m²
2		62.11 m²
3		58.57 m²
4		29.74 m²
Grand total		283.30 m²

Construction Area		
Number	Name	Area
1	Sch 2.2(a)(ii)	132.87 m²
2		62.11 m²
3		58.57 m²
4		29.74 m²
5		36.01 m²
6		13.38 m²
7		4.03 m²
8		2.80 m²
9		4.41 m²
10		6.10 m²
Grand total		350.02 m²

2. GROUND FLOOR PLAN

1 : 100

- ALL MECHNICAL VENTILATION TO BE DUCTED DIRECTLY TO OUTSIDE ROOF SPACE IN ACCORDANCE WITH BCA V2 PART 3.8.7.4
- FLOW RATE OF MECHINCAL SYSTEMS TO COMPLY WITH BCA V2 3.8.7.3
- UPPER FLOOR WINDOWS TO BE RESTRICTED IN ACCORDANCE WITH BCA V2 3.9.2.6
- ALL WINDOWS AND SLIDERS AS PER AS2047 & AS1288 AND DOUBLE GLAZED
- FLOOR DRAINS IN ALL WET AREAS / BLACONY / OUTDOOR AS REQUIRED
- ALL INTERNAL DOORS HEIGHT: 2040mm

APPROVED
Subject to Conditions
Ginninderry
APPROVED BY: Johnathan Drury
SIGNATURE:
DATE: 21 November 2022

Virk Building Design Services
Email: virk.bds@gmail.com Mob: 0425677755

NOTE: The drawings are indicative only and are required to be verified / confirmed by the owner and/or builder and engineer and/or certifier in accordance with the relevant Building Legislation/Regulations, Housing Development Codes, NCC, Australian Standards, etc.
Virk BDS will not be held liable / responsible in any form by any party whatsoever for any design or structural component, notation or accuracy of documentation herein. Client / Builder accepts Plans and responsibility once plans are accepted for approvals.

Sch 2.2(a)(ii)

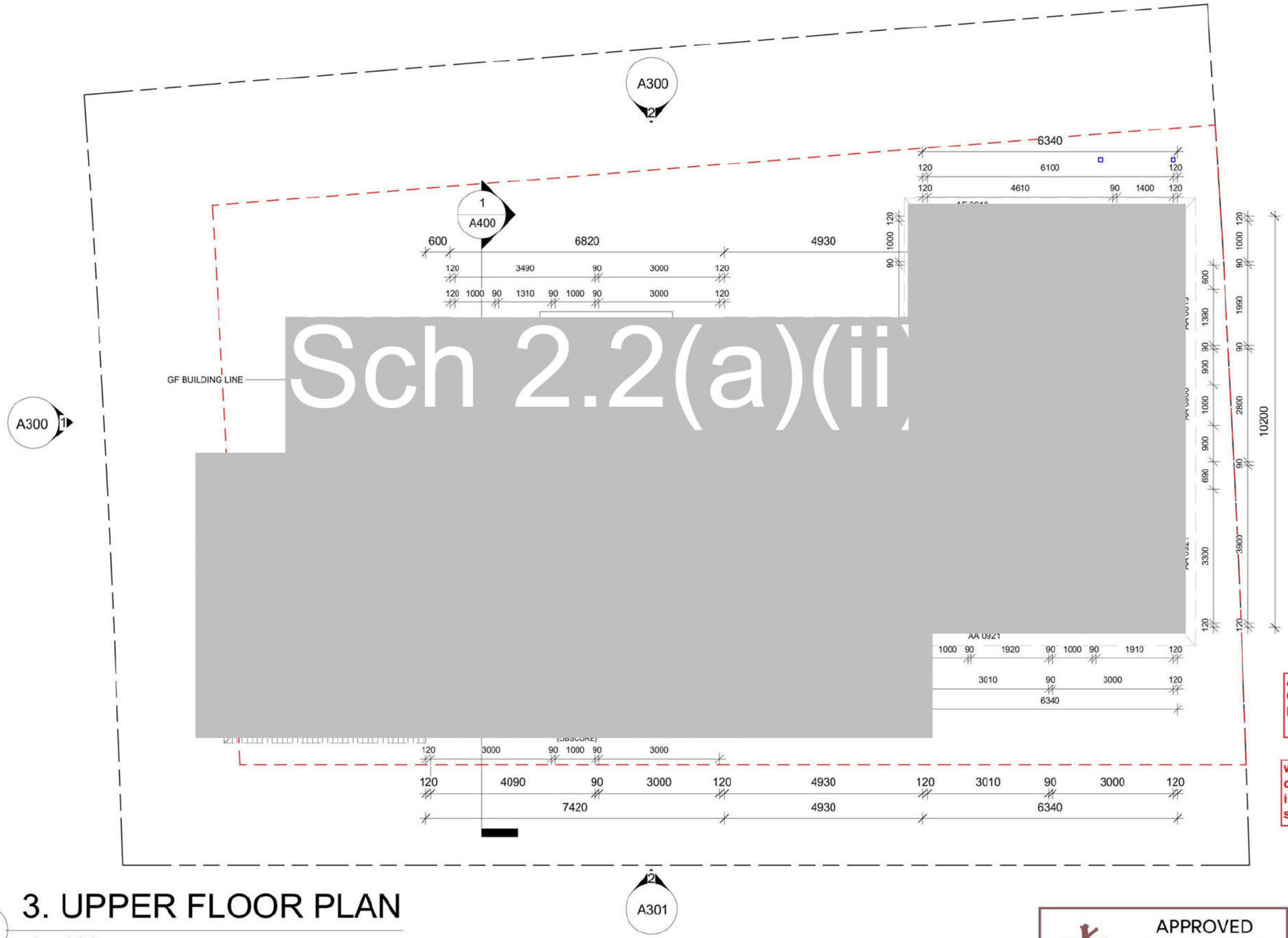
RESIDENCE

SUBURB: STRATHNAIRN

GROUND FLOOR PLAN FOR APPROVALS

Project number	211201	A200	
Date	5/9/22		
Drawn by	B.Virk		
Checked by	Client	Scale	1 : 100 on A3

5/09/2022 10:28:22 AM



RCAC must meet the following: EER >=3.0 for cooling and COP >=3.5 for heating RCAC must be sited to meet EPA noise requirements

Aerials, satellite dishes, antennas, A/C and evaporative units are to be located to the rear of the house

water meters, electrical and NB cabinets, PV inverters must either be integrated into the building and / or screened from public view

1 3. UPPER FLOOR PLAN

1 : 100

1/4

Ginninderry

APPROVED
Subject to Conditions
APPROVED BY: Johnathan Drury
SIGNATURE:
DATE: 21 November 2022

Virk Building Design Services

Email: virk.bds@gmail.com Mob: 0425677755

NOTE: The drawings are indicative only and are required to be verified / confirmed by the owner and/or builder and engineer and/or certifier in accordance with the relevant Building Legislation/Regulations, Housing Development Codes, NCC, Australian Standards, etc.
Virk BDS will not be held liable / responsible in any form by any party whatsoever for any design or structural component, notation or accuracy of documentation herein. Client / Builder accepts Plans and responsibility once plans are accepted for approvals.

Sch 2.2(a)(ii)

RESIDENCE

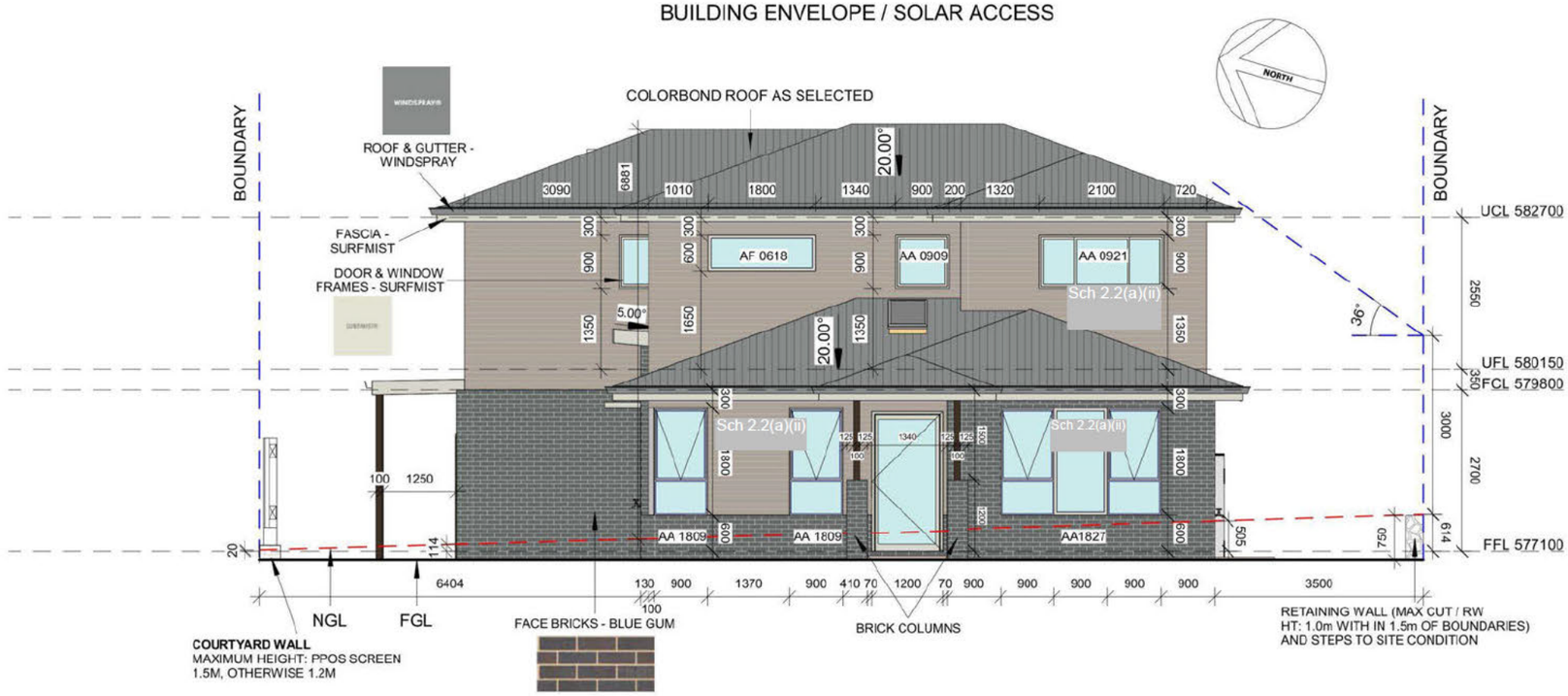
SUBURB: STRATHNAIRN

UPPER FLOOR PLAN FOR APPROVALS

Project number	211201	A201
Date	5/9/22	
Drawn by	B.Virk	
Checked by	Client	Scale 1 : 100 on A3

5/09/2022 10:28:23 AM

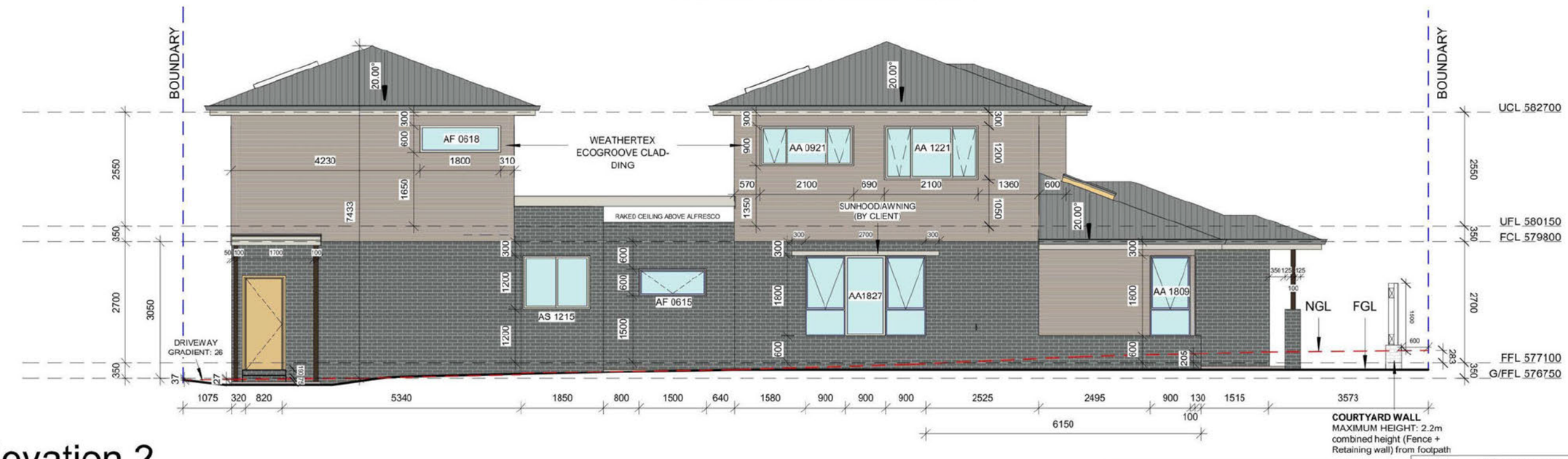
BUILDING ENVELOPE / SOLAR ACCESS



1 Elevation 1

1 : 100

BUILDING ENVELOPE / SOLAR ACCESS



2 Elevation 2

1 : 100

APPROVED
Subject to Conditions
Ginninderry
APPROVED BY: Johnathan Drury
SIGNATURE:
DATE: 21 November 2022

Virk Building Design Services

Email: virk.bds@gmail.com Mob: 0425677755

NOTE: The drawings are indicative only and are required to be verified / confirmed by the owner and/or builder and engineer and/or certifier in accordance with the relevant Building Legislation/Regulations, Housing Development Codes, NCC, Australian Standards, etc.
Virk BDS will not be held liable / responsible in any form by any party whatsoever for any design or structural component, notation or accuracy of documentation herein. Client / Builder accepts Plans and responsibility once plans are accepted for approvals.

Sch 2.2(a)(ii)

RESIDENCE

SUBURB: STRATHNAIRN

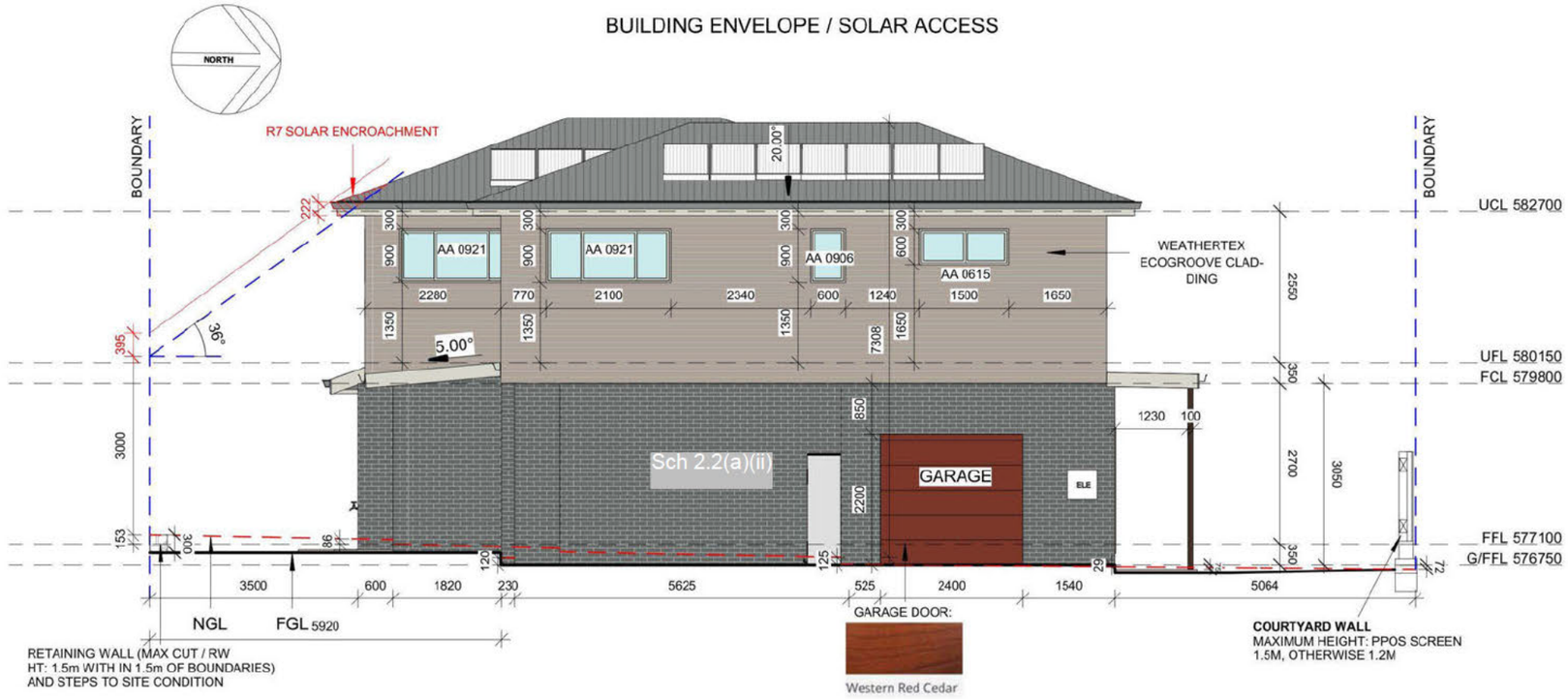
ELEVATION 1&2

FOR APPROVALS

Project number	211201	A300	
Date	5/9/22		
Drawn by	B.Virk		
Checked by	Client	Scale	1 : 100 on A3

5/09/2022 10:28:23 AM

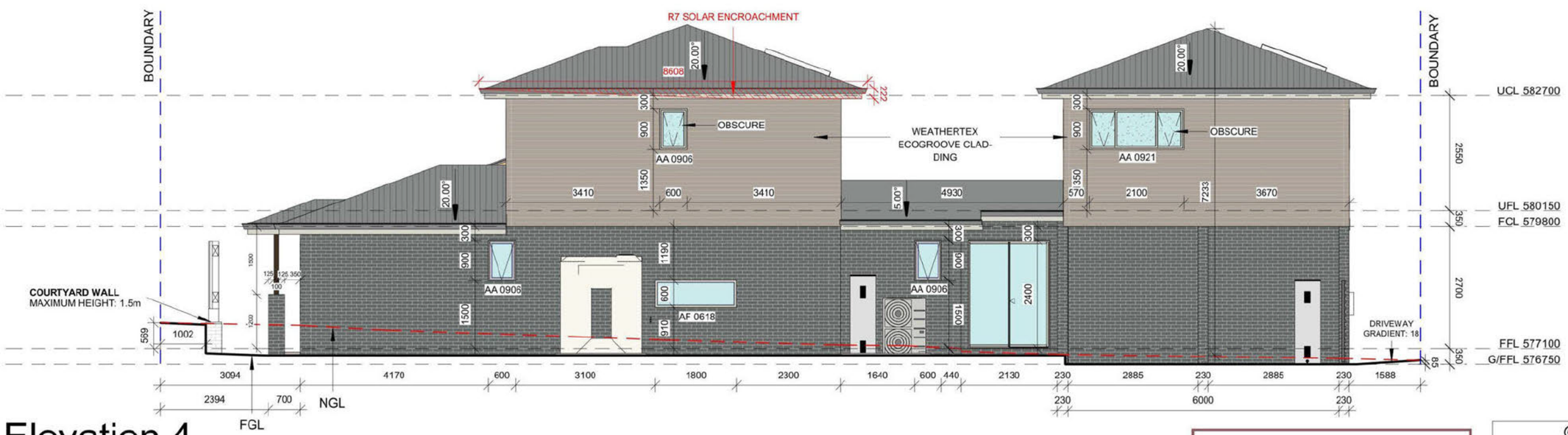
BUILDING ENVELOPE / SOLAR ACCESS



1 Elevation 3

1 : 100

BUILDING ENVELOPE / SOLAR ACCESS



2 Elevation 4

1 : 100

APPROVED
Subject to Conditions
Ginninderry
APPROVED BY: Johnathan Drury
SIGNATURE:
DATE: 21 November 2022

Virk Building Design Services

Email: virk.bds@gmail.com Mob: 0425677755

NOTE: The drawings are indicative only and are required to be verified / confirmed by the owner and/or builder and engineer and/or certifier in accordance with the relevant Building Legislation/Regulations, Housing Development Codes, NCC, Australian Standards, etc.
Virk BDS will not be held liable / responsible in any form by any party whatsoever for any design or structural component, notation or accuracy of documentation herein. Client / Builder accepts Plans and responsibility once plans are accepted for approvals.

Sch 2.2(a)(ii)

RESIDENCE

SUBURB: STRATHNAIRN

ELEVATION 3&4

FOR APPROVALS

Project number	211201	A301	
Date	5/9/22		
Drawn by	B.Virk		
Checked by	Client	Scale	1 : 100 on A3

5/09/2022 10:28:24 AM

WINDOWS / DOORS:
* ALL MATERIALS. FIXING, FRAMES, GLAZING, FLY SCREENS, ETC TO CONFORM TO AS2047 & AS1288 / RELEVANT CODES / BEST TRADE PRACTICES.
* ENSURE CORRECT OPERATION OF WINDOWS, SLIDING DOORS, ENSURING CORRECT PROTECTION FROM THE WATER.
* ALL ALUMINIUM DOORS AND WINDOWS TO BE ALUMINIUM IMPROVED.

ELECTRICAL:
* ALL ELECTRICAL MATERIALS, CONNECTIONS AND INSTALLATION FOR FULL SATISFACTORY OPERATION IN ACCORDANCE WITH AUTHORITY REQUIREMENTS, RELEVANT CODES / REGULATIONS AND AS DIRECTED BY THE BUILDER.
* LIGHTING TO COMPLY WITH CLAUSE 3.12.5.5 OF BCA.
* DOWNLIGHTS INSTALLED WITH APPROVED NON-VENTILATED COVER OR SHIELD ALLOWING INSTALLATION OF INSULATION TO SIDES AND TOP.
* SMOKE ALARMS ARE TO BE INSTALLED IN ACCORDANCE WITH BCA , BUILDING NOTE 19 & TO COMPLY WITH AS3786. SMOKE ALARMS TO BE CONNECTED MAIN POWER WITH BATTERY BACKUP AND WIRED, IN ACCORDANCE WITH AS3000.

WATER HEATER IN HOT WATER SUPPLY SYSTEM TO COMPLY WITH CLAUSE 3.12.5.6 OF BCA V2.

INSULATION SCHEDULE (NCC-2016 PART3.12):
*R 4.0 CEILING INSULATION + R1.3 BLANKET/SARKING
*R 2.0 WALL INSULATION + BUILDING WRAPS
*R 2.0 INSULATION TO INTERNAL WET AREA WALLS
*R 2.0 FLOOR INSULATION
*ALL WINDOWS / SLIDERS TO BE DOUBLE GLAZED
*HEAVY DRAPES WITH PELMETS, WEATHER STRIPS TO EXTERNAL DOORS & SEAL EXHAUST FANS

FOOTINGS:
* ALL CONCRETE FOOTINGS AND SLABS TO BE IN ACCORDANCE WITH S.A.A. CODE 2870.1 & ENGINEER'S DESIGN / SPECIFICATIONS.
* CONTINUOUS DAMPPROOF MEMBRANE UNDER SLAB.
* DAMPROOF COURSE AT BEARER SEATING LEVELS, STEPPED CAVITY FLASHING WITH WEEP HOLES AT 1200MM CENTERS TO THE EXTERNAL BRICK SKIN AT GROUND FLOOR LEVEL, UNDER WINDOW SILLS AND BRICKWORK ABOVE WINDOWS.

BRICKWORK:
* MASONARY STONE / BRICKWORK AS SELECTED, GENERALLY 230 X 110 X76 MM BRICKS BONDED IN STRETCHER BOND.
* MORTAR TO COMPLY WITH THE REQUIREMENTS OF RELEVANT CODES & AUSTRALIAN STANDARDS. COLOUR TO NOT BE WHITE OR OFF WHITE.
* MASONRY ARTICULATION REQUIRED (VERTICAL ARTICULATION JOINTS) IN ACCORDANCE WITH BCA V2 3.3.5.13

LINTELS FOR BRICKWORK, ALL BEAMS & LINTELS AS PER ENGINEER'S DESIGN / SPECIFICATION & MANUFACTURER'S TABLE.

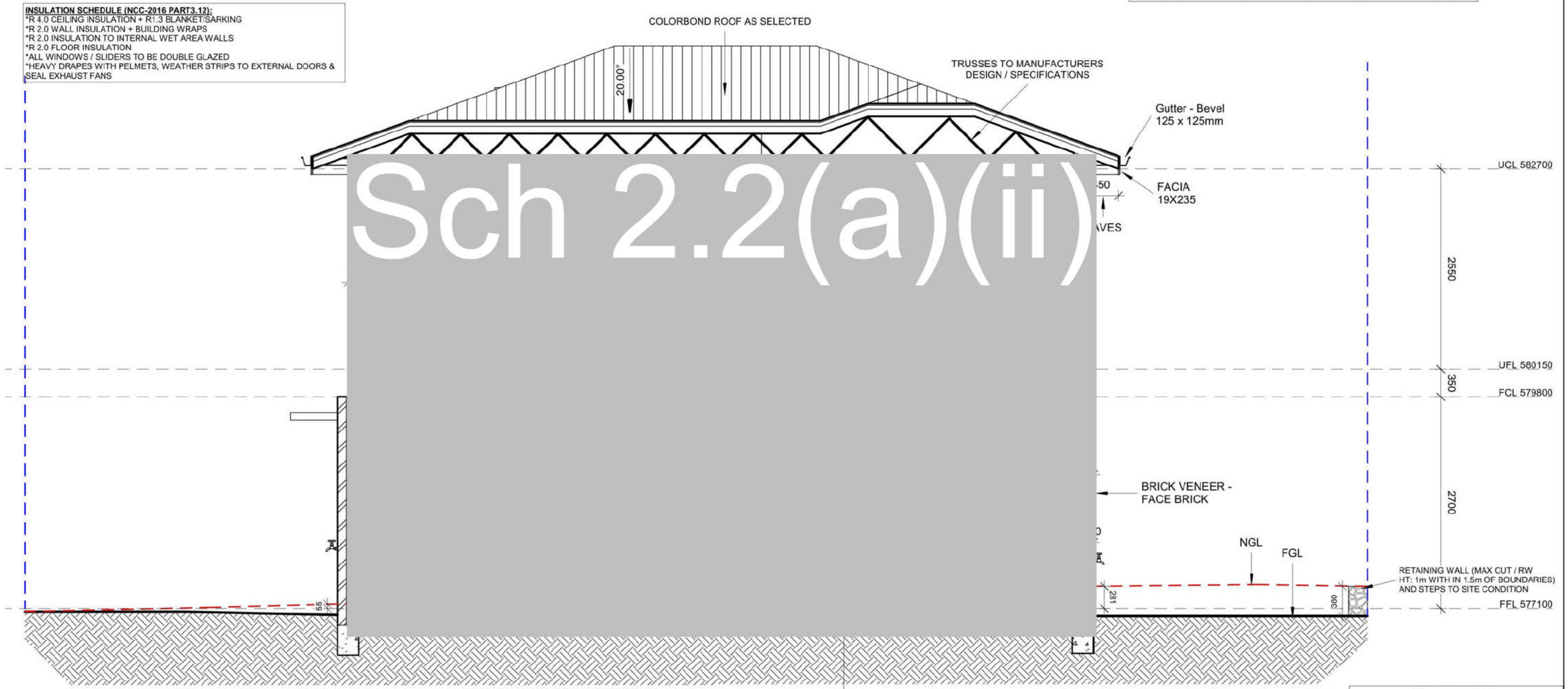
MATERIAL & FINISHES TO BE CONFIRMED BY THE CLIENT

TIMBER STUD WORK:
*ALL TIMBER WORK TO COMPLY WITH AS 1684.2 "RESIDENTIAL TIMBER FRAMED CONSTRUCTION"
*90X35MM PINE STUDS AT 450 MM CENTERS TO ALL LOAD - BEARING WALLS & AT 600 MM CENTERS TO NON LOAD-BEARING WALLS
*90X35MM PINE PLATE & NOGGING AND PROVIDE SECOND 90X45 MM TOP PLATE TO ALL LOAD -BEARING WALLS
*PROVIDE 90X45 F8 STUDS TO BOTH SIDES OF OPENING CARRYING LINTELS F8 TIMBER TO WALLS SUPPORTING TRUSSES WITH SPANS GREATER THAN 6.0 M
*50X38 MM CEILING BATTENS AT 450 MM CANTERS.
*10 MM PLASTER BOARD INTERNAL WALL & CEILING *LINING FIBROUS CEMENT SHEET LINING TO EAVES.

STEEL FRAME WORK:
*ALL STEEL WORK TO COMPLY WITH:
AS/NZS 4600, COLD FORMED STEEL STRUCTURES
AS 3623, DOMESTIC METAL FRAMING
AS 4100, STEEL STRUCTURES
* BCA STANDARDS ADHERED TO BCA VOLUME 2, PART 3.4.2 STEEL FRAMING

ROOFING:
*TRUSSES AT 600mm CENTERS, FIXED TO MANUFACTURERS SPECIFICATIONS.
*LINTEL SIZE TO TRUSS MANUFACTURERS CHART.
* METAL FASCIA & GUTTER AS SELECTED.
*PLASTER INTERNAL LININGS WALL FRAMING TO ALL ROOMS TO BE COVERED JOINTS BEING BACKED WITH EITHER NOGGINGS OR STUDS AS REQUIRED BY MANUFACTURER.
*ALL ELEMENTS TO BE SECURELY FIXED.
*PLASTER BOARD (MIN 10MM THICK) WALL & CEILING LINING.
*FIBROUS CEMENT SHEET WALL LINING TO WET AREAS.
*PROVIDE CORNICE, AS SELECTED SHALL BE FIXED AT INTERSECTION OF ALL BEAMS AND WALL JUNCTIONS WITH CEILINGS.
*PROVIDE ROOF LIGHTS & VENTILATION TO COMPLY WITH THE NCC.
*ROOF PLUMBING, FLASHING, ETC AS NECESSARY, TO COMPLY WITH RELEVANT AUSTRALIAN STANDARDS.

WATERPROOFING:
*WET AREAS WATERPROOFING: AS 3740 – 2010 AND AMDT 1 – 2012, AND BCA V2: 3.8.1.2
*EXTERNAL / BALCONIES WATERPROOFING: AS 4654 – 2012 AND BCA V2: 3.8.1.3



Sch 2.2(a)(ii)

NOISE AFFECTED BLOCK - TO COMPLY WITH:
* AS/NZS 2107:2000 - Acoustics – Recommended design sound levels and reverberation times for building interiors (the relevant satisfactory recommended interior design sound level)
*AS/NZS 3671 - Acoustics – Road Traffic Noise Intrusion Building Siting and Design and Ginninderry Noise Management Plan

1 Section A
1 : 50

Ginninderry
APPROVED
Subject to Conditions
APPROVED BY: Johnathan Drury
SIGNATURE:
DATE: 21 November 2022

Virk Building Design Services
Email: virk.bds@gmail.com Mob: 0425677755

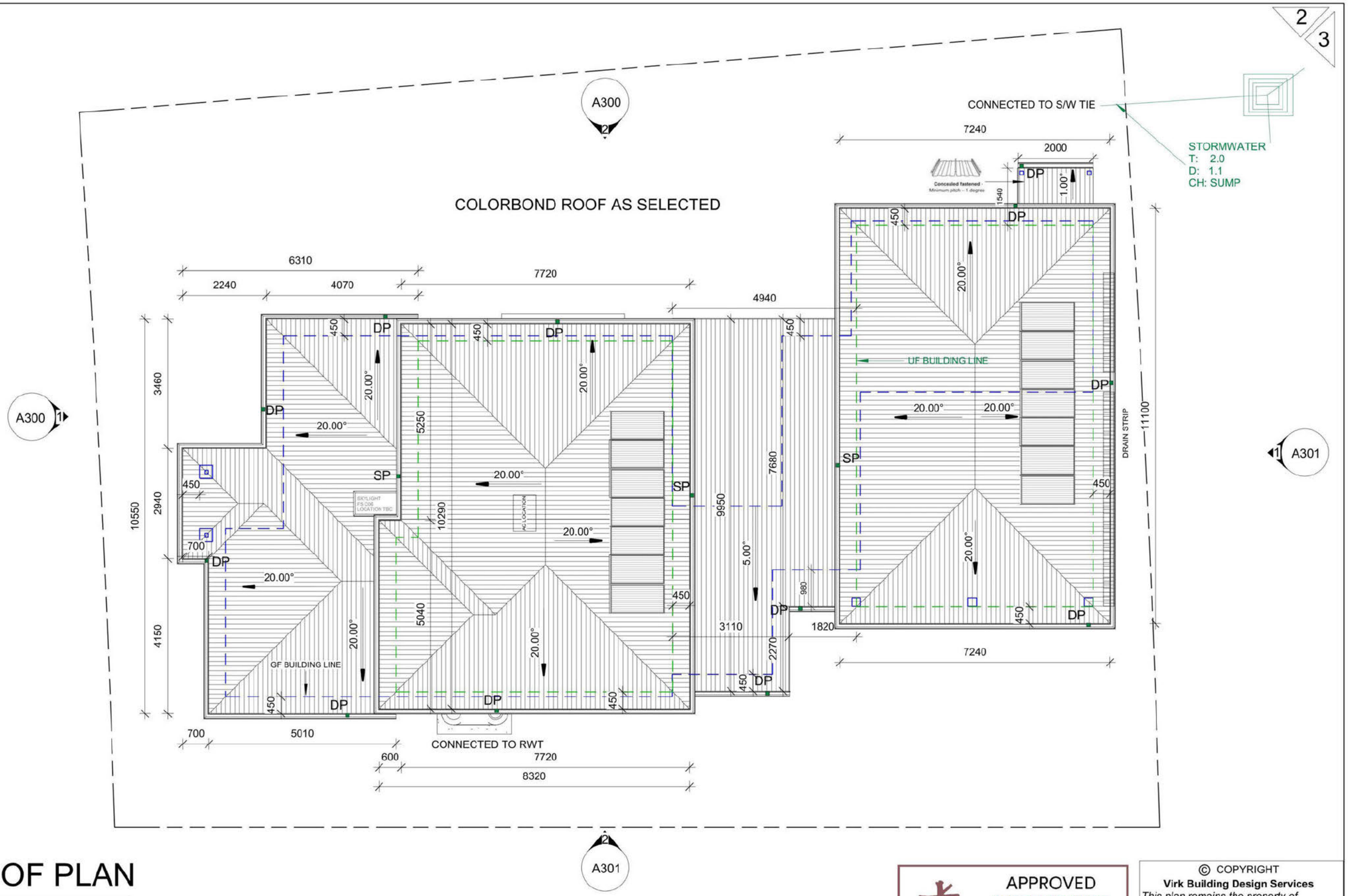
NOTE: The drawings are indicative only and are required to be verified / confirmed by the owner and/or builder and engineer and/or certifier in accordance with the relevant Building Legislation/Regulations, Housing Development Codes, NCC, Australian Standards, etc.
Virk BDS will not be held liable / responsible in any form by any party whatsoever for any design or structural component, notation or accuracy of documentation herein. Client / Builder accepts Plans and responsibility once plans are accepted for approvals.

Sch 2.2(a)(ii)
RESIDENCE
SUBURB: STRATHNAIRN

SECTION A
FOR APPROVALS

Project number	211201	A400	
Date	5/9/22		
Drawn by	B.Virk		
Checked by	Client	Scale	1 : 50 on A3

5/09/2022 10:28:24 AM



4. ROOF PLAN

1 : 100

APPROVED
Subject to Conditions
Ginninderry
APPROVED BY: Johnathan Drury
SIGNATURE:
DATE: 21 November 2022

Virk Building Design Services

Email: virk.bds@gmail.com Mob: 0425677755

NOTE: The drawings are indicative only and are required to be verified / confirmed by the owner and/or builder and engineer and/or certifier in accordance with the relevant Building Legislation/Regulations, Housing Development Codes, NCC, Australian Standards, etc.
Virk BDS will not be held liable / responsible in any form by any party whatsoever for any design or structural component, notation or accuracy of documentation herein. Client / Builder accepts Plans and responsibility once plans are accepted for approvals.

Sch 2.2(a)(ii)

RESIDENCE

SUBURB: STRATHNAIRN

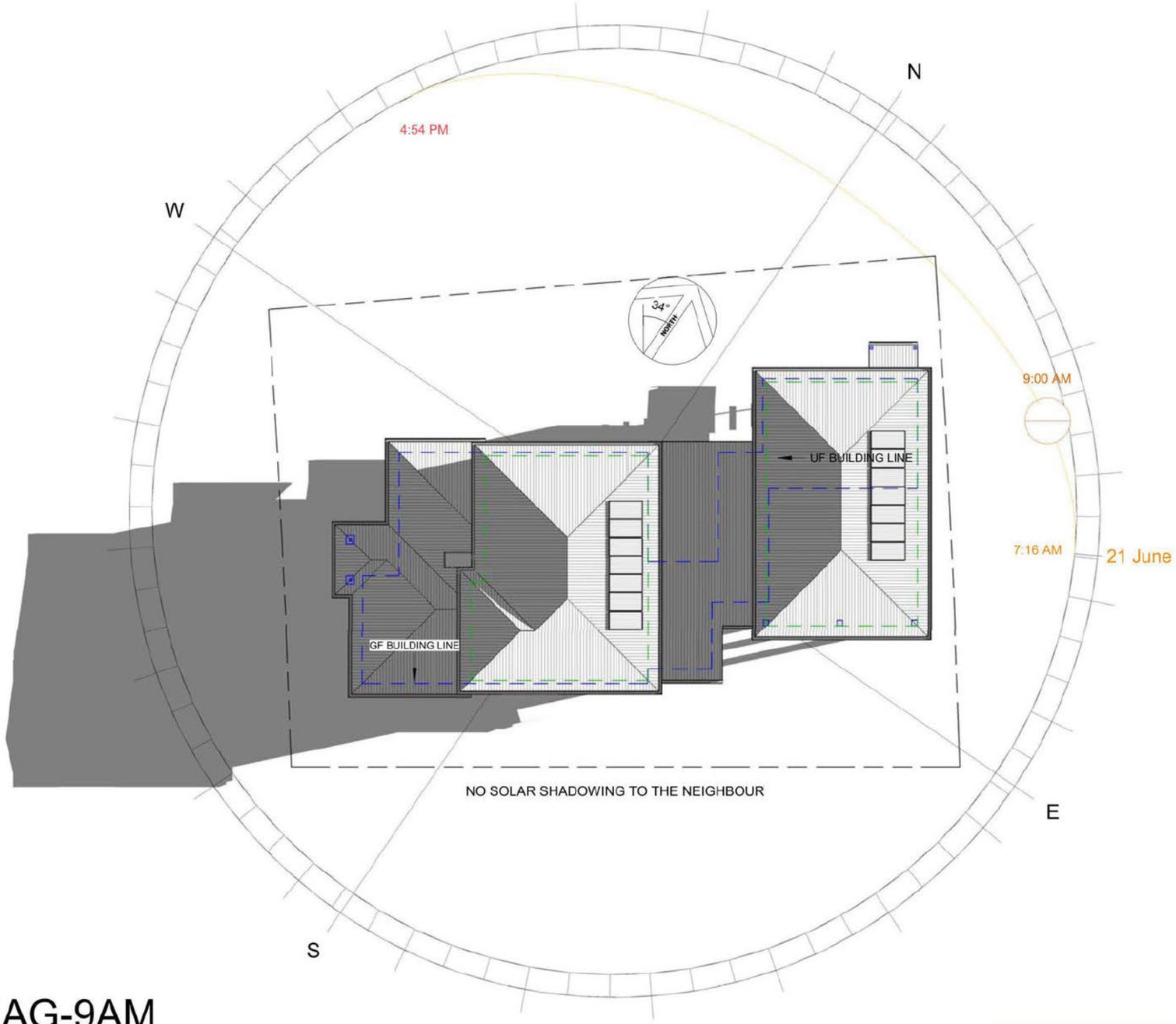
ROOF PLAN — FOR APPROVALS

Project number	211201
Date	5/9/22
Drawn by	B.Virk
Checked by	Client

A500

Scale 1 : 100 on A3

5/09/2022 10:28:25 AM



1 SOLAR DIAG-9AM

1 : 200

Ginninderry

APPROVED
Subject to Conditions
APPROVED BY: Johnathan Drury
SIGNATURE:
DATE: 21 November 2022

Virk Building Design Services

Email: virk.bds@gmail.com Mob: 0425677755

NOTE: The drawings are indicative only and are required to be verified / confirmed by the owner and/or builder and engineer and/or certifier in accordance with the relevant Building Legislation/Regulations, Housing Development Codes, NCC, Australian Standards, etc.
Virk BDS will not be held liable / responsible in any form by any party whatsoever for any design or structural component, notation or accuracy of documentation herein. Client / Builder accepts Plans and responsibility once plans are accepted for approvals.

Sch 2.2(a)(ii)

RESIDENCE

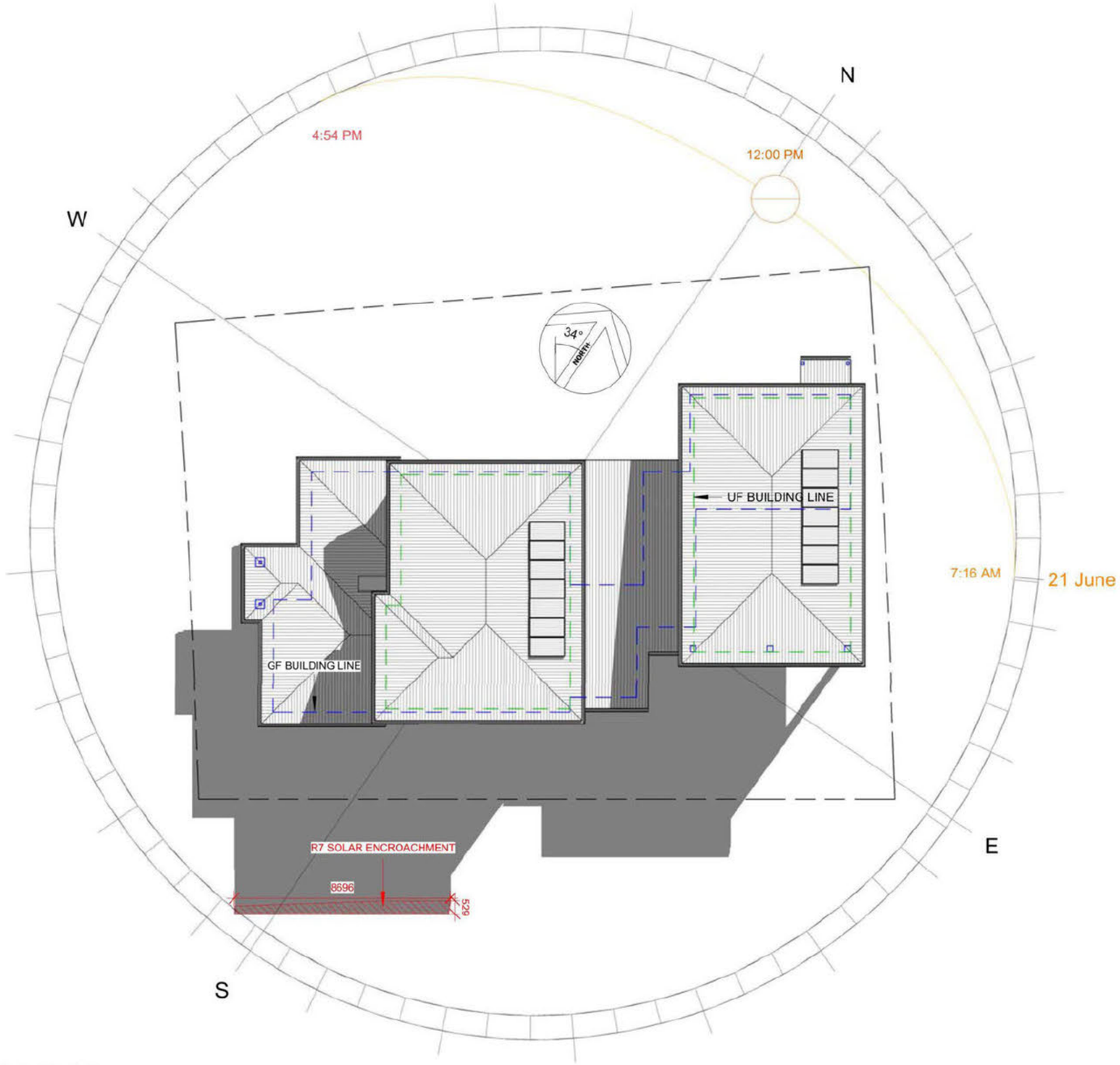
SUBURB: STRATHNAIRN

SHADOW DIAG-9AM

FOR APPROVALS

Project number	211201	A501	
Date	5/9/22		
Drawn by	B.Virk		
Checked by	Client	Scale	1 : 200 on A3

5/09/2022 10:28:26 AM



1 SOLAR DIAG-12PM

1 : 200

APPROVED
Subject to Conditions
APPROVED BY: Johnathan Drury
SIGNATURE:
DATE: 21 November 2022
Ginninderry

Virk Building Design Services

Email: virk.bds@gmail.com Mob: 0425677755

NOTE: The drawings are indicative only and are required to be verified / confirmed by the owner and/or builder and engineer and/or certifier in accordance with the relevant Building Legislation/Regulations, Housing Development Codes, NCC, Australian Standards, etc.
Virk BDS will not be held liable / responsible in any form by any party whatsoever for any design or structural component, notation or accuracy of documentation herein. Client / Builder accepts Plans and responsibility once plans are accepted for approvals.

Sch 2.2(a)(ii)

RESIDENCE

SUBURB: STRATHNAIRN

SHADOW DIAG-12PM

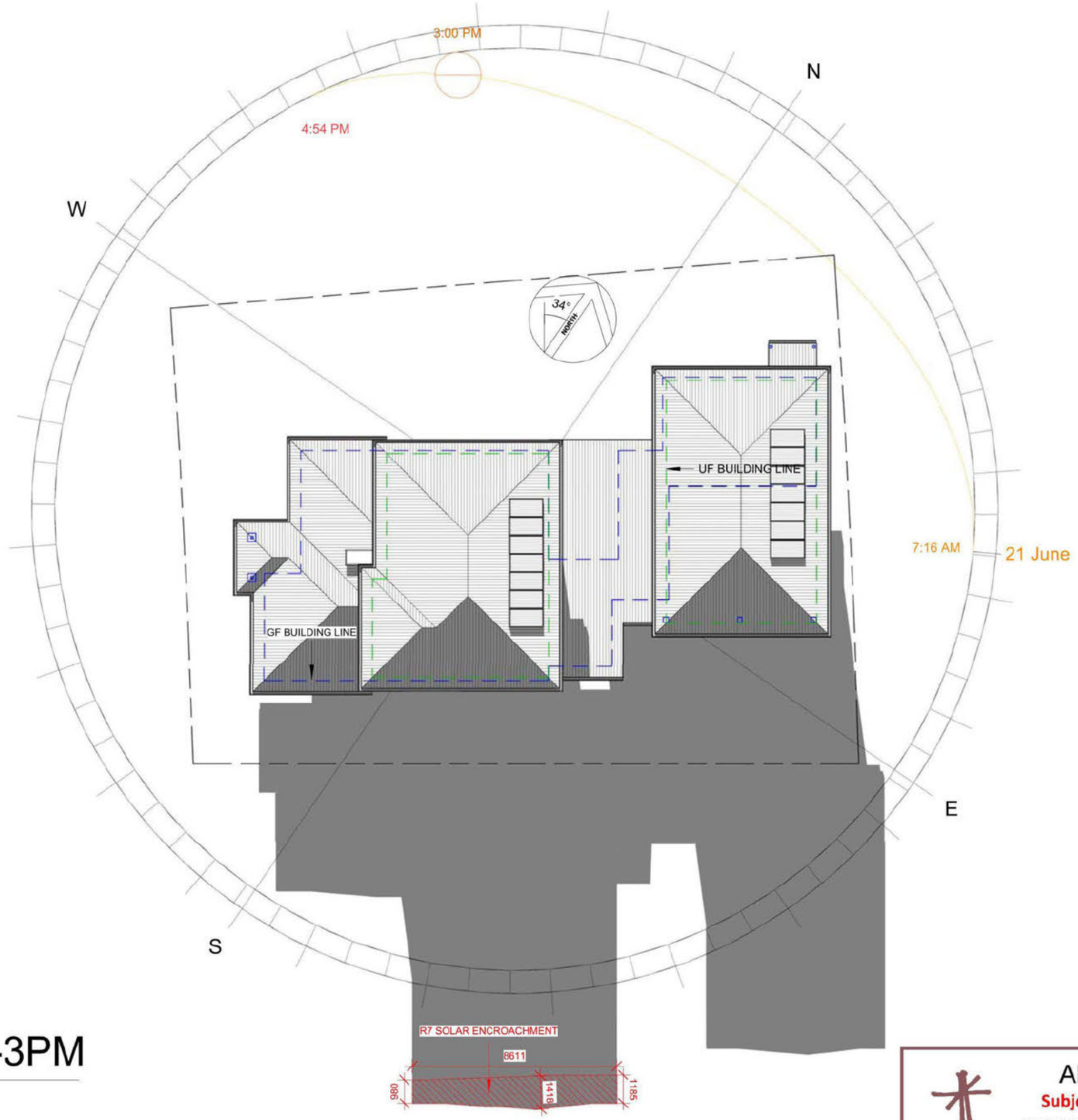
FOR APPROVALS

Project number	211201
Date	5/9/22
Drawn by	B.Virk
Checked by	Client

A502

Scale 1 : 200 on A3

5/09/2022 10:28:27 AM



1 SOLAR DIAG-3PM

1 : 200

Ginninderry

APPROVED

Subject to Conditions

APPROVED BY: Johnathan Drury

SIGNATURE:

DATE: 21 November 2022

Virk Building Design Services

Email: virk.bds@gmail.com Mob: 0425677755

NOTE: The drawings are indicative only and are required to be verified / confirmed by the owner and/or builder and engineer and/or certifier in accordance with the relevant Building Legislation/Regulations, Housing Development Codes, NCC, Australian Standards, etc.
Virk BDS will not be held liable / responsible in any form by any party whatsoever for any design or structural component, notation or accuracy of documentation herein. Client / Builder accepts Plans and responsibility once plans are accepted for approvals.

Sch 2.2(a)(ii)

RESIDENCE

SUBURB: STRATHNAIRN

SHADOW DIAG-3PM

FOR APPROVALS

Project number	211201	A503	
Date	5/9/22		
Drawn by	B.Virk		
Checked by	Client	Scale	1 : 200 on A3

5/09/2022 10:28:28 AM

1 3D-FRONT VIEW

2 3D-LT SIDE VIEW

3 3D-RT SIDE VIEW

APPROVED
Subject to Conditions
Ginninderry
APPROVED BY: Johnathan Drury
SIGNATURE:
DATE: 21 November 2022

Virk Building Design Services

Email: virk.bds@gmail.com Mob: 0425677755

NOTE: The drawings are indicative only and are required to be verified / confirmed by the owner and/or builder and engineer and/or certifier in accordance with the relevant Building Legislation/Regulations, Housing Development Codes, NCC, Australian Standards, etc.
Virk BDS will not be held liable / responsible in any form by any party whatsoever for any design or structural component, notation or accuracy of documentation herein. Client / Builder accepts Plans and responsibility once plans are accepted for approvals.

Sch 2.2(a)(ii)

RESIDENCE

SUBURB: STRATHNAIRN

3D VIEWS

FOR APPROVALS

Project number	211201	A700	
Date	5/9/22		
Drawn by	B.Virk		
Checked by	Client	Scale	on A3

5/09/2022 10:28:30 AM

SAFE DESIGN OF STRUCTURES CODE OF PRACTICE

1. **FALLS, SLIPS, TRIPS**

WORKING AT HEIGHTS

DURING CONSTRUCTION
Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more thantwo metres is a possibility

DURING OPERATION OR MAINTENANCE
For houses or other low-rise buildings where scaffolding is appropriate:
Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations or legislation. For buildings where scaffold, ladders, trestles are not appropriate: Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, fall barriers or Personal Protective Equipment (PPE) should be used in accordance with relevant codes of practice, regulations or legislation.

FLOOR FINISHES - Specified

If finishes have been specified by designer, these have been selected to minimise the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes/feet. Any changes to the specified finish should be made in consultation with the designer or, if this is not practical, surfaces with an equivalent or better slip resistance should be chosen

FLOOR FINISHES - By Owner

If designer has not not been involved in the selection of surface finishes, the owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZ 4586:2004.

STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

Due to design restrictions for this building, steps and/or ramps are
included in the building which may be a hazard to workers carrying
objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace.
Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways.
Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

2. **FALLING OBJECTS**

LOOSE MATERIALS OR SMALL OBJECTS

Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below.
1. Prevent or restrict access to areas below where the work is being carried out.
2. Provide toeboards to scaffolding or work platforms.
3. Provide protective structure below the work area.
4. Ensure that all persons below the work area have Personal Protective Equipment (PPE).

BUILDING COMPONENTS

During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility.

Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted

3. **TRAFFIC MANAGEMENT**

For building on a major road, narrow road or steeply sloping road:
Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas.

For building where on-site loading/unloading is restricted:
Construction of this building will require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas.
For all buildings:
Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

4. **SERVICES**

GENERAL

Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be locatedusing an appropriate service (such as Dial Before You Dig), appropriate excavation practice should be used and, where necessary, specialist contractors should be used.

Locations with underground power:
Underground power lines MAY be located in or around this site. All underground power lines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing.

Locations with overhead power lines:
Overhead power lines MAY be near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

5. **MANUAL TASKS**

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass. All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on
safe lifting methods in all areas where lifting may occur. Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer's specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag. All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer's specification.

6. **HAZARDOUS SUBSTANCES ASBESTOS**

ASBESTOS

For alterations to a building constructed prior to 1990:
If this existing building was constructed prior to:
1990 - it therefore may contain asbestos
1986 - it therefore is likely to contain asbestos either in cladding material or in fire retardant insulation material. In either case, the builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

POWDERED MATERIALS

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolitionshould ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

TREATED TIMBER

The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding,drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

SYNTHETIC MINERAL FIBRE

Fibreglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts or the body. Personal Protective Equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material.

TIMBER FLOORS

This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated duringsanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

7. **CONFINED SPACES**

EXCAVATION

Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

ENCLOSED SPACES

For buildings with enclosed spaces where maintenance or other access may be required:
Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.

SMALL SPACES

For buildings with small spaces where maintenance or other access may be required:
Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

8. **PUBLIC ACCESS**

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

9. **OPERATIONAL USE OF BUILDING**

RESIDENTIAL BUILDINGS

This building has been designed as a residential building. If it, at a later date, it is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.

10.**OTHER HIGH RISK ACTIVITY**

All electrical work should be carried out in accordance with Code of Practice: Managing Electrical Risks at the Workplace, AS/NZ 3012 and all licensing requirements.
All work using Plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the Workplace.
All work should be carried out in accordance with Code of Practice: Managing Noise and Preventing Hearing Loss at Work.
Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.

THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT. THIS INCLUDES (BUT NOT LIMITED TO): OWNER, BUILDER, SUB-CONSULTANTS, RENOVATORS, OPERATORS, MAINTENORS, DEMOLISHERS.

SITE WORK NOTICE

Building Act 2004, s151

For section 28 (1A) of *the Building Act 2004*

To be completed by the appointed Building Certifier and submitted to the Construction Occupations Registrar within 7 days of issue

Lease/Site Details

Block		**Section**		**Suburb**	Strathnairn	**Division**	
Unit No		**Street Address**					

Building Approval Application and Site Work Details

This notice is issued in relation to the site work shown in the plans submitted as part of the application for a building approval dated made by the following applicants:

Sch 2.2(a)(ii)

on: 28 July 2022

This notice applies to all site work in that application for which there is there is no—

(a) exemption assessment D notice stating that the site work is exempt development issued for the work not more than 3 months before the day the application was made;

(b) exemption declaration under the *Planning and Development Regulation 2008*, schedule 1, section 1.100A (1) (b) or section 1.100AB (1) (b) made by the planning and land authority; or

(c) current development approval issued in relation to the site work.

NOTE: Site work is development that is—

(a) building work; and

(b) work other than building work that—

(i) physically affects the place (the building site) where the building work is being carried out; and

(ii) if not carried out at the building site, is carried out near, and connected with, the building site.

Examples: putting up temporary fencing, installing measures for erosion control, building a house, damaging or removing a significant tree, laying paving for driveways and parking areas, installing landscaping, site clearing and excavation, erecting site signage, erecting a pergola

Building Certifier Details *Please Print*

Surname	Sch 2.2(a)(ii)	**First Name**	Sch 2.2(a)(ii)
Company Name	BCA Certifiers Australia Pty Ltd		
Licence Number	200714	**Contact Number**	(02) 6173 4600
Postal Address	Suite 3, 1/50 Geils Court		
Suburb	DEAKIN WEST	**State**	ACT
Postcode	2600		

Approved form AF2016-76 approved by David Middlemiss, Construction Occupations Deputy Registrar on 02 August 2016 under section 151 the Building Act 2004 and revokes AF2015-3

Building Certifier Statement

I state that:

- the plans for the building work to which the application for building approval relates show all the information necessary to establish that the site work is exempt development under the *Planning and Development Act 2007*, section 133; and
- the site work is exempt development; and
- I have assessed that the site work is exempt development for the following reasons and in accordance with the following provisions of the *Planning and Development Regulation 2008* and Territory Plan Codes:

Please include all relevant regulations and codes relied on for your assessment and an outline of your reasoning, such the assessment you undertook, advice from referral entities, compliance with lease and development conditions etc. You can attach additional information if needed and supporting documents including checklists or your own assessment documents. You do not need to attach a copy of the plans or building approval application.

Schedule 1, Part 1.3, Division 1.3.7:
Part 1.100AB Otherwise non-compliant single dwellings—new residential land

Please attach additional information if required

Building Certifier Signature (or nominee)	Sch 2.2(a)(ii)	**Date of Issue**	28 July 2022

Giving false or misleading information is a serious offence

Privacy Notice
The personal information on this form is provided to the Environment and Planning Directorate (EPD). The collection of personal information is authorised by the *Building Act 2004*. If all or some of the required personal information is not collected this notice is not considered complete. The personal information provided may be disclosed to Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be disclosed where authorised by law or court order, or where the EPD reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. EPD's Information Privacy Policy contains information about how you may access or seek to correct your personal information held by EPD, and how you may complain about an alleged breach of the Territory Privacy Principles. The EPD Information Privacy Policy can be found at www.act.gov.au/accessCBR.

CONTACT INFORMATION

Email:
ACTPLAedevlopmentBA@act.gov.au

Post:
Access Canberra
Building Services
Shopfront Mitchell
GPO Box 158
Canberra, ACT 2601

In Person:
Please visit
www.act.gov.au/accessCBR
Or call **132281** to find an Access Canberra Shopfront.

Approved form AF2016-76 approved by David Middlemiss, Construction Occupations Deputy Registrar on 02 August 2016
under section 151 the Building Act 2004 and revokes AF2015-3
Authorised by the ACT Parliamentary Counsel—also accessible at www.legislation.act.gov.au

Building Act 2004, S151

Building Commencement Notice

Project ID: B20223378

PART A - PROJECT DETAILS

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
			BELCONNEN	STRATHNAIRN	Australian Capital Territoty

Certifier's Details

Full Name	Address	License Number	Expiry Date
BCA CERTIFIERS AUSTRALIA PTY LTD	50 GEILS COURT DEAKIN WEST ACT 2600	200714	30/12/2022

Building approval issue date: 28/07/2022

Building Commencement Notice Required for:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Area (m2)	Cost of Works ($)
1a	New Standard	DA EXEMPT-RESIDENCE	New Dwelling	NA	Sch 2.2(a)(ii)	
10a	New	DA EXEMPT-GARAGE	New Garage, Carport, Porch and Alfresco	NA		

PART B - BUILDERS DETAILS

License holder's name: ACHIEVE HOMES PTY LTD

License number: 2009645

License Expiry Date: 4/08/2024

Business Address: 9/20 GRADUATE ROAD BUNDOORA VIC 3083

Phone Number: 1300234432

If the builder is a company or partnership provide details of the nominee who will supervise the building work

Nominee's name: FIRAS ZAKOUT

License number: 2008272

License Expiry Date: 26/04/2024

PART C - CERTIFIER'S DECLARATION

Issue date of commencement notice: 01/08/2022

Name of Certifier Issuing Notice: BCA CERTIFIERS AUSTRALIA PTY LTD

Declaration:
This commencement notice is issued in accordance with the Building Act 2004, to the licensed builder stated above authorising the commencement of the stated building work. The issue of this commencement notice indicates that I am satisfied that the builders license authorises the work in the building approval. Where applicable for residential building work, I have been provided with a residential building insurance policy or fidelity certificate.

PLEASE NOTE:
A copy of the application for this commencement notice, this notice and where applicable the residential building insurance policy or fidelity certificate, must be given to the construction occupations registrar within one (1) week of the issue date.

This building commencement notice will end if-

(a) for residential building work- the work is no longer insured; or
(b) the building approval for the work ends

APPOINTMENT OF BUILDER & APPLICATION FOR COMMENCEMENT NOTICE

Building Act 2004, S151

In completing this form the owner is authorising the builder nominated below to apply to the appointed certifier to issue a Commencement Notice for the works detailed in this application form.

PART A — PROJECT DETAILS

Block [redacted] **Section** [redacted] **Suburb** Strathnairn **Unit No.**

Street Address [redacted]

Certifier Name BCA Certifiers Australia Pty Ltd - 200714

Description of Building Works relevant to this application-*If more than 6 items please attach further details*

1	New Dwelling
2	New Garage, Carport, Porch & Alfresco
3.	
4	

PART B — OWNER DETAILS – Please Print

All owners **must** be listed

Owner 1 will be considered the contact person in relation to this application

Company Details

Owner 1 Sch 2.2(a)(ii)

Owner 2 Sch 2.2(a)(ii)

Owner 3

Owner 4

Postal Address Sch 2.2(a)(ii)

Suburb Sch 2.2(a)(ii) **State** Sch 2.2(a)(ii) **Postcode** Sch 2.2(a)(ii)

Phone Number Business Hours **Mobile** Sch 2.2(a)(ii)

EMAIL ADDRESS Sch 2.2(a)(ii)

Approved form AF2016-79 approved by David Middlemiss, Construction Occupations Deputy Registrar on 02 August 2016 under section 151 of the *Building Act 2004*. This form repeals AF2014-72

PART C — APPOINTMENT OF BUILDER

I/we the owner/s have appointed the person whose details appear below as the builder in relation to the building works described in this form

Licence Holders Name as it appears on licence card	Achieve Homes Pty Ltd
Licence Number	2009645
	B
Expiry Date	2/8/2021
List any conditions or endorsements on licence	
EMAIL ADDRESS	precon.admin@achievehomes.com.au

PART D — NOMINEE'S DETAILS

If the builder is a company or partnership provide details of the Nominee who will supervise the building

Nominee's Name	Firas Zakout		
Licence Number	2008272	**Class** B	**Expiry Date** 30/3/2023
Signature of Nominee	Sch 2.2(a)(ii)	**Date**	30/03/2022

PART E — OWNER SIGNATURES

Sch 2.2(a)(ii) s form

Owner 1	Sch 2.2(a)(ii)	**Signature** Sch 2.2(a)(ii)	***DATE :*** Mar 30 2022 12:19
Owner 2		**Signature**	***DATE:*** Mar 30 2022 14:24
Owner 3		**Signature**	***DATE:***
Owner 4		**Signature**	***DATE:***

PART F — BUILDER APPLICATION TO CERTIFIER FOR COMMENCEMENT NOTICE

I hereby apply to the building certifier listed above for a commencement notice for the works detailed in Part A of this form in accordance with the Building Act 2004.

[X] A site sign was **not** required to be displayed prior to making this application.

[ ] A site sign **was** required to be displayed prior to making this application and I declare that a compliant sign was erected and displayed for the required period.

Signature of Builder	Sch 2.2(a)(ii)	**Date**	30/03/2022

NOTE: There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

PART G — INSURANCE OR FIDELITY CERTIFICATE

For residential building work please provide details of insurance where applicable

Insurance Provider	MASTER BUILDERS **FIDELITY FUND**	**Policy No.**	76361	**Date Issued**	**5/07/2022**

PLEASE NOTE:

- A copy of this notice and where applicable the residential building insurance policy or fidelity certificate must be given to the Construction Occupations Registrar within one (1) week of the issue date.
- A copy of the Commencement Notice must also be provided to the owner/s.

Privacy Notice
The personal information on this form is provided to Access Canberra to enable the processing of your application. The collection of personal information is authorised by the *Building Act 2004*. If all or some of the personal information is not collected Access Canberra cannot process your application. The personal information you provide may be disclosed to Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be disclosed where authorised by law or court order, or where the Directorate reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. Access Canberra's Information Privacy Policy contains information about how you may access or seek to correct your personal information held by Access Canberra, and how you may complain about an alleged breach of the Territory Privacy Principles. Access Canberra Information Privacy Policy can be found at www.act.gov.au/accessCBR

CONTACT INFORMATION

Email:
ACTPLAedevlopmentBA@act.gov.au

Post:
Access Canberra
Building Services
Shopfront Mitchell
GPO Box 158
Canberra, ACT 2601

In Person:
Please visit
www.act.gov.au/accessCBR
Or call **132281** to find an
Access Canberra Shopfront.

Approved form AF2016-79 approved by David Middlemiss, Construction Occupations Deputy Registrar on 02 August 2016 under section 151 of the *Building Act 2004*. This form repeals AF2014-72

APPOINTMENT OF A CERTIFIER
APPLICATION FOR BUILDING APPROVAL

Building Act 2004, S151

This form is to be completed by the Owner/s of the land to which the building work relates.

PART A — PROJECT DETAILS

Block [redacted] **Section** [redacted] **Suburb** Strathnairn **Unit No.**

Street Address [redacted]

Description of Building Works relevant to this application-*If more than 4 items please attach further details*

Describe each item of building work in this building approval	BCA Occupancy Class	BCA Construction Type	Area (m²)	Number of Storeys	Cost of Works (refer to building cost guide)
1 New Dwelling	1a	N/A	253	2	Sch 2.2(a)(ii)
2 New Garage, Carport, Porch & Alfresco	10a	N/A	86	1	
3					
4					

Applicable approved requirements and reasons why building approval is not prevented from being issued

Is all work exempt from development approval?

☒ **YES** Attach assessment for exempt development checklist (if applicable)

☐ **NO** Provide reason/s or description of work: _____

Description of Attachments compliant with Division 3.3 Building Act 2004

Please attach any additional documentation not listed below

☒ Building Approval Plans

☒ Referrals, consultations & consents outcomes

☒ Asbestos Advice - If documents accompanying building approval do not include an asbestos assessment report as per the Building Act 2004, the building approval must have an AA attached as per the Act

PART B — OWNER'S DETAILS – Please Print

All owners **must** be listed

Owner 1 will be considered the contact person in relation to this application

Company Details

ACN/ABN Number

Owner 1 Sch 2.2(a)(ii)

Owner 2 Sch 2.2(a)(ii)

Owner 3

Owner 4

Approved form AF2016-85 approved by David Middlemiss Construction Occupations Registrar on 10 August 2016 under section 151 of the *Building Act 2004* and revokes AF2016-80

PART B continued	OWNER/S DETAILS – Please Print

Postal Address	Sch 2.2(a)(ii)				
Suburb	Sch 2.2(a)(ii)	State	Sch 2.2(a)(ii)	Postcode	Sch 2.2(a)(ii)
Phone Number Business Hours		Mobile	Sch 2.2(a)(ii)		
EMAIL ADDRESS	Sch 2.2(a)(ii)				

PART C — APPOINTMENT OF CERTIFIER

As required under the Building ACT 2004 I/we herby advise that I/we the owner/s have appointed the person whose details appear below as the certifier in relation to the building works described in this form

Company Details	BCA Certifiers Australia - 200714				
Name of Certifier	Sch 2.2(a)(ii)	ABN/ ACN	58 119 755 734		
Postal Address	3/50 Geils Court				
Suburb	Deakin	State	ACT	Postcode	2600
Phone Number Business Hours	6285 1199	Mobile			
EMAIL ADDRESS	mail@bcacertifiers.com.au				

PART D — APPLICATION FOR BUILDING APPROVAL

I/we the Owner/s of the abovementioned property hereby apply under Section 26 of the *Building Act 2004* to the certifier named above to issue a building approval for the building work described in this form. I/we have provided the certifier with information and documentation required to issue a building approval as specified in the *Building (General) Regulation 2008*.

PART E — AUTHORITY TO ACCESS BUILDING FILE

I/we hereby authorise the certifier to access the building file for the property which is the subject of this application for the purposes of obtaining information relevant to the issuing of a building approval and associated processes.

PART F — OWNER/S SIGNATURE/S

1st Owner's Signature	Sch 2.2(a)(ii)	Date	Mar 30 2022 12:19 AEDT
2nd Owner's Signature		Date	Mar 30 2022 14:24 AEDT
3rd Owner's Signature		Date	
4th Owner's Signature		Date	

NOTE: There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation

Approved form AF2016-85 approved by David Middlemiss Construction Occupations Registrar on 10 August 2016 under section 151 of the *Building Act 2004* and revokes AF2016-80

APPOINTMENT OF A CERTIFIER
APPLICATION FOR BUILDING APPROVAL

Building Act 2004, S151

This form is to be completed by the Owner/s of the land to which the building work relates.

PART A — PROJECT DETAILS

Block [redacted] **Section** [redacted] **Suburb** Strathnairn **Unit No.**

Street Address [redacted]

Description of Building Works relevant to this application-*If more than 4 items please attach further details*

Describe each item of building work in this building approval	BCA Occupancy Class	BCA Construction Type	Area (m²)	Number of Storeys	Cost of Works (refer to building cost guide)
1 New Dwelling	1a	N/A	253	2	Sch 2.2(a)(ii)
2 New Garage, Carport, Porch & Alfresco	10a	N/A	86	1	
3					
4					

Applicable approved requirements and reasons why building approval is not prevented from being issued

Is all work exempt from development approval?

☒ **YES** Attach assessment for exempt development checklist (if applicable)

☐ **NO** Provide reason/s or description of work: _____

Description of Attachments compliant with Division 3.3 Building Act 2004

Please attach any additional documentation not listed below

☒ Building Approval Plans

☒ Referrals, consultations & consents outcomes

☒ Asbestos Advice - If documents accompanying building approval do not include an asbestos assessment report as per the Building Act 2004, the building approval must have an AA attached as per the Act

PART B — OWNER'S DETAILS – Please Print

All owners **must** be listed

Owner 1 will be considered the contact person in relation to this application

Company Details

ACN/ABN Number

Owner 1 Sch 2.2(a)(ii) **Owner 2** Sch 2.2(a)(ii)

Owner 3 **Owner 4**

Approved form AF2016-85 approved by David Middlemiss Construction Occupations Registrar on 10 August 2016 under section 151 of the *Building Act 2004* and revokes AF2016-80

PART B continued	OWNER/S DETAILS – Please Print

Postal Address	Sch 2.2(a)(ii)				
Suburb	Sch 2.2(a)(ii)	State	Sch 2.2(a)(ii)	Postcode	Sch 2.2(a)(ii)
Phone Number Business Hours		Mobile	Sch 2.2(a)(ii)		
EMAIL ADDRESS	Sch 2.2(a)(ii)				

PART C — APPOINTMENT OF CERTIFIER

As required under the Building ACT 2004 I/we herby advise that I/we the owner/s have appointed the person whose details appear below as the certifier in relation to the building works described in this form

Company Details	MCKENZIE GROUP CONSULTING (NSW) PTY LTD				
Name of Certifier	Sch 2.2(a)(ii)	ABN/ ACN	ACN 093 211 995		
Postal Address	3/50 Geils Court				
Suburb	Deakin	State	ACT	Postcode	2600
Phone Number Business Hours	6285 1199	Mobile			
EMAIL ADDRESS	act@mckenzie-group.com.au				

PART D — APPLICATION FOR BUILDING APPROVAL

I/we the Owner/s of the abovementioned property hereby apply under Section 26 of the *Building Act 2004* to the certifier named above to issue a building approval for the building work described in this form. I/we have provided the certifier with information and documentation required to issue a building approval as specified in the *Building (General) Regulation 2008*.

PART E — AUTHORITY TO ACCESS BUILDING FILE

I/we hereby authorise the certifier to access the building file for the property which is the subject of this application for the purposes of obtaining information relevant to the issuing of a building approval and associated processes.

PART F — OWNER/S SIGNATURE/S

1st Owner's Signature	Sch 2.2(a)(ii)	Date	18/12/2023
2nd Owner's Signature		Date	18/12/2023
3rd Owner's Signature		Date	
4th Owner's Signature		Date	

NOTE: There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation

Approved form AF2016-85 approved by David Middlemiss Construction Occupations Registrar on 10 August 2016 under section 151 of the *Building Act 2004* and revokes AF2016-80

Exempt Declaration Form 1N - Submission confirmation

Your submission has been successful. Please keep a copy of this receipt for your records.

Date and time	Reference code
29 Jun 2022 5:24:08 PM	3DNT3HWD

Environment, Planning and Sustainable Development Directorate
GPO Box 158
Canberra City ACT 2601
Phone: (02) 6207 1923

Lease/site details

Suburb *	Section *	Block *
STRATHNAIRN	[redacted]	[redacted]

Address line 1 *

[redacted]

Address line 2

Suburb *	State *	Postcode *
STRATHNAIRN	ACT	2615

Applicant/certifier details

Is the applicant a *

(●) Company ( ) Individual

Company name *

Achieve Homes PTY LTD

Enter an ABN or ACN: *

ABN (Australian Business Number)	ACN (Australian Company Number)
31137872014	

Contact details

Title	Given name *	Family name *
	Sch 2.2(a)(ii)	

Position held in company *

Project Manager

Enter at least one phone number: *

Home phone number

Sch 2.2(a)(ii)

Work phone number

Mobile number

Sch 2.2(a)(ii)

Email address *

precon.admin@achievehomes.com.au

Lessee (Property owners) details

Lessee 1

☐ Same as applicant

Lessee

Is this lessee a *

○ Company ● Individual

Contact details

Title Given name * Family name *

Sch 2.2(a)(ii)

Enter at least one phone number: *

Home phone number

Work phone number

Mobile number

Sch 2.2(a)(ii)

Email address *

Sch 2.2(a)(ii)

Lessee 2

Lessee

Is this lessee a *

○ Company ● Individual

Contact details

Title Given name * Family name *

Sch 2.2(a)(ii)

Enter at least one phone number: *

Home phone number

Work phone number

Mobile number

Sch 2.2(a)(ii)

Email address *

Sch 2.2(a)(ii)

Please attach a letter of authority signed by all lessees. *

1N Letter of Authorisation -2.pdf

Rule departure/s

This application seeks approval for the following minor departure/s from the Single Residential Housing Development Code.

Departure 1

Rule number *

7

Description of departure *

Solar Encroachment

Relevant plans and supporting documentation that clearly identify the rule departure/s must be uploaded as a single PDF. *

1 of 77 1N Docs.pdf

Is the work detailed in this application currently under construction? *

Yes ● No

Is this application for an existing structure? *

Yes ● No

Is the application being considered subject to a current Building Approval? *

Yes ● No

Is the application subject to a completed Building Approval? *

Yes ● No

Is this application currently subject to compliance action? *

Yes ● No

Applicant declaration

I, Sch 2.2(a)(ii)

☑ declare that all the information given on this form and its attachments is true and complete. *

☑ declare that the attached plans clearly show the departure (for example, through using colour), and any other relevant information. *

☑ I understand an assessment is only conducted once an application is lodged, and incorrect documentation may result in a refusal. *

ASSESSMENT OF PROPOSAL
DETERMINATION UNDER SECTION 1.100A OF THE
PLANNING AND DEVELOPMENT REGULATION 2008

Description of extended distance:

Rule 7A - Solar envelope departure of a maximum 222mm for a length of 7528mm

Assessment:

	PASS	FAIL
Is the non-compliance minor?	☒ Yes	☐ No

Will building the dwelling other than in accordance with the relevant rules:

• Adversely affect someone other than the applicant?	☒ No	☐ Yes
• Increase the environmental impact of the dwelling more than minimally?	☒ No	☐ Yes
Plans provided adequately identify departures?	☒ Yes	☐ No

Comments:
Considered to be minor in context

Plans stamped:

Approved ☒ **Refused** ☐

Delegate of
Environment, Planning and Sustainable Development Directorate: Matt Davis 20/07/2022