

Customer Services
Regulation Services Branch
Environment and Sustainable Development Directorate
<http://www.actpla.act.gov.au/home>

Dear [REDACTED]

In accordance with section S141 of the *Planning and Development Act 2007*, before this application can be determined, the Authority requires the information below to be lodged by the period stated:

DA Number: 201121008
Site Details: Block: 6, Section: 11
Suburb: YARRALUMLA, District: CANBERRA CENTRAL

Applicant Name: [REDACTED]

An initial assessment of the DA has been carried out and following additional information is required for the further assessment of the proposal: **1. Provide Shadow Diagrams; **2. A Landscape Plan and Open Space Area calculations required; **3. A Water Reduction Spreadsheet required. Please NOTE: The application is currently on Notification and also awaiting comments from referred entities. If further issues are noted, another request may need to be sent.

Information Required:

Further Information due date: 9/05/2012

If you cannot provide your response within the required timeframe, it is recommended you write to the Authority prior to the expiration of the period stated above and seek an extension of the prescribed period for providing the information.

Please note, Section 141 (4) of the *Planning and Development Act 2007* provides that only one such extension may be granted.

You are advised that if some or all of the information has not been provided in accordance with this request, Section 142 of the *Planning and Development Act 2007* provides that the Authority may refuse the application under Section 162.

This email was automatically generated **please do not respond**. If you need to contact the Planning and Land Authority in relation to this proposal please contact Customer Services on (02) 6207 1923 or email actpla_customer_services@act.gov.au

Assessment Report

Assessment Officer: Jyoti Pradhan/Fawzia Majid

APPLICATION NUMBER: **201121008**BLOCK: **6** SECTION: **11**DIVISION: **YARRALUMLA****Zone: RZ1 Suburban Zone****The Planning and Development Act 2007**

This document provides analysis of a development proposal in the Merit Track in relation to the legislated requirements of the Planning and Development Act 2007 (the Act), specifically Section 119 and Section 120.

Planning and Development Act 2007 - Section 119

In deciding a Merit Track development application, the decision maker must ensure the application meets the following four items numbered S119 (1)(a) to (c) and S119 (2). Approval of an application in the Merit Track must not be given unless the application meets the Section 119 requirements.

<p>S119 (1)(a) The relevant code</p> <p>NB: Refer to form Territory Plan Code Requirements Merit Track to complete this question</p>	<p>The relevant code(s) for the development proposal are:</p> <table border="1" data-bbox="633 1155 1461 1365"> <tr> <td data-bbox="633 1155 950 1197">Development Code:</td> <td data-bbox="950 1155 1461 1197">Single Dwelling Development Code</td> </tr> <tr> <td data-bbox="633 1228 950 1291">General Code:</td> <td data-bbox="950 1228 1461 1291">Parking and Vehicular Access General Code</td> </tr> <tr> <td data-bbox="633 1291 950 1365">General Code:</td> <td data-bbox="950 1291 1461 1365">WaterWays: Water Sensitive Urban Design General Code</td> </tr> </table> <p>The proposal is consistent with the above code(s) for reasons identified in Form – Territory Plan Code Requirements – Merit Track.</p>	Development Code:	Single Dwelling Development Code	General Code:	Parking and Vehicular Access General Code	General Code:	WaterWays: Water Sensitive Urban Design General Code
Development Code:	Single Dwelling Development Code						
General Code:	Parking and Vehicular Access General Code						
General Code:	WaterWays: Water Sensitive Urban Design General Code						

<p>S119 (1)(b) Any land management agreement for the land (for proposed development relating to land comprised in a rural lease)</p>	<p>The proposal is for a proposed development relating to land comprised in a rural lease.</p>
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<p>S119 (1)(c) the advice of the Conservator of Flora and Fauna in relation to the proposal (if the proposed development will affect a registered tree or declared site)</p> <p>NB: In accordance with Section 119(3)(a), the application must not be approved unless the approval is consistent with the advice of the Conservator of Flora and Fauna in relation to a proposal that will affect a registered tree or declared site.</p>	<p>The proposal is for a proposed development that will affect a registered tree or declared site.</p> <p>On 17 March 2012 the Conservator of Flora and Fauna advised that:</p> <p>There is no Tree Management Plan to protect the excellent value oak in the back yard and the oak in the front yard. Unless an alternative plan is supplied, the development can only be approved under the following conditions:</p> <p>The trees shall be fenced off by a continuous 1800 mm high chain wire protective fence, no closer than a minimum distance of 5m from the trunk of the tree on all sides, other than at the boundary fence unless otherwise agreed to in writing by the Conservator.</p> <ol style="list-style-type: none"> 2. The protective fence shall be erected prior to the commencement of any construction/demolition works on any part/stage of the development and shall remain in place until all construction works are completed. 3. The protective fence shall be maintained in good order for the duration of the building works. 4. A copy of this decision shall be kept on site from the time that the protective fences are erected to the time that all works are completed on site. 5. No work, that includes but is not limited to, excavation (e.g. for services including gas, water, sewer, stormwater, electricity, telecommunications, footings and irrigation) or modification of existing ground levels and placement of site sheds, building materials, equipment, fill or vehicles shall occur within the tree protection zone (dropline + 2 metres), except for construction of the footings for the residence. 6. Services that need to be installed within the tree protection zone of the tree shall be under bored unless otherwise agreed in writing by the Conservator. 7. The proposed gazebo shall be built without disturbing the tree roots or compacting the soil. Minor pier footings are allowed if dug by hand avoiding all roots with a diameter of 30mm or over. 8. No basements are permitted within the tree protection zone of the trees. 9. Within the tree protection zone the proposed dwelling and associated veranda shall be constructed using low impact footings (e.g. pier and beam, rebated edge footings or screw in type footings) with a suspended floor within the tree protection zone. A low impact footing does not cut into the root system, except for isolated piers. 10. Excavation for footings of the residence/garage within the tree protection zone shall be undertaken in such a manner that no roots with a diameter greater than 50mm are damaged and any roots uncovered with a diameter greater than 50mm shall be bridged over. 11. Any proposed paving, foot paths or driveway within the tree protection zone shall be constructed of porous material, with porosity of no less than 20%. 12. If root pruning/removal is required, roots shall be cut cleanly (not pulled, torn or ripped). 13. Exposed roots shall be kept damp and backfilled as soon as possible. 14. Any pruning to remove branches interfering with the roof line of the residence/garage shall be conducted in accordance with Australian Standard 4373 'Pruning of amenity trees'. 15. Any pruning to remove branches interfering with the building walls shall be conducted in accordance with Australian Standard 4373 'Pruning of amenity trees'. Any scaffolding, if required, shall be erected in such a way that no additional pruning is required. 16. All relevant plans shall be revised (and be consistent with one another) to address the conditions above and shall be lodged with and approved by the ACT Planning and Land Authority prior to the commencement of any construction works. <p>The applicant provided further information which now satisfies these conditions.</p> <p>The proposal is consistent with the advice.</p>
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<p>S119 (2) Consistency with advice given by an entity to which the application was referred under division 7.3.3 of the Act.</p> <p>NB: Under Section 119 (2) of the Act, development approval must not be given for a development proposal in the merit track if approval would be inconsistent with any advice given by an entity to which the application was referred under division 7.3.3 unless the person deciding the application is satisfied that –</p> <p>(a) the following have been considered:</p> <ul style="list-style-type: none">(i) any applicable guidelines;(ii) any realistic alternative to the proposed development, or relevant aspects of it; and <p>(b) the decision is consistent with the objects of the Territory Plan</p>	<p>The decision is not inconsistent with any advice given by an entity to which the application was referred under division 7.3.3 of the Act.</p>
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Planning and Development Act 2007 - Section 120

In deciding a Merit Track development application, a decision maker must consider the following six items numbered S120 (a) to S120 (f).

S120 (a) Zone Objectives	<p>The development is proposed to take place in the RZ1 Suburban Low Density zone.</p> <p>The application meets all objectives of the zone.</p>
S120 (b) Suitability of the Land	<p>The proposed development seeks approval to use the land or a building or structure of the land for the purpose(s) of Single Dwelling Housing – Demolition and Rebuilding.</p> <p>The proposed use is listed as an assessable development in the RZ1 zone development table, and is therefore determined to be a permissible use for the land.</p> <p>The proposed development is in accordance with the provisions of the Crown Lease.</p> <p>The land is suitable for the development proposed.</p>
S120 (c) Representations	<p>Representations received are addressed in the Notice of Decision.</p> <p>Major issues raised include:</p> <ul style="list-style-type: none"> • Demolition/construction/make good of the Party wall.

<p>S120 (d) advice given by an entity in accordance with section 149 of the Act</p> <p>NB: Under Section 150 of the Act, if entity advice is not received within 15 working days, the entity is taken to have given advice in support of the application</p>	<p>Entity advice received is addressed in the Notice of Decision.</p> <p>Comments provided by the referral entities include:</p> <ul style="list-style-type: none"> • On 28 March 2012 a Statement of Conditional Compliance was issued by Actew Water & Sewerage Division. • On 13 April 2012, a Statement of Conditional Compliance was issued by Actew – Electricity Networks. • On 13 April 2012, a Statement of Conditional Compliance was issued by Actew – Gas Networks. • On 13 April 2012, advice was received from TaMSD in support of the proposal.
<p>S120 (e) the plan of management for the land (if the proposed development relates to land that is Public Land)</p>	<p>The proposal is not for a proposed development relating to land that is public land.</p>
<p>Proposal for development on land reserved under S315 for the purpose of wilderness area, national park, nature reserve, or special purpose reserve.</p> <p>NB: If NO ESO has been submitted, request this as further information, or REFUSE the application. It CANNOT be a condition of the approval as the opinion may reject the findings of the applicant and the development will be IMPACT track.</p>	<p>The proposal does not occur on land that is reserved under S315 of the Act for the purpose of wilderness area, national park, nature reserve, or special purpose reserve.</p>
<p>S120 (f) the probable impact of the proposed development, including the nature, extent and significance of probable environmental impacts.</p>	<p>Based on the matters to be considered by the relevant Code there are no probable environmental impacts of significance associated with the proposed development.</p>

Assessment Report

Assessment Officer: Jyoti Pradhan/Fawzia Majid

APPLICATION NUMBER: **201121008**

BLOCK: **6** SECTION: **11**

DIVISION: **YARRALUMLA**

Zone: RZ1 Suburban Zone

Territory Plan Code Requirements

This document provides analysis of a development proposal in relation to the relevant codes contained in the Territory Plan. The proposal meets all rules of the code(s) that are relevant to the development with the exception of those either identified in the statement against relevant criteria submitted for the proposal or, listed in the tables below. The statement against relevant criteria demonstrates the proposal meets all relevant criteria that are, either:

- the applicable criterion to a relevant rule that is not met; or,
- the criterion is relevant and there is no applicable rule,

with the exception of those listed in the tables below.

1. Assessment of Compliance with Single Dwelling Housing Development Code

The **Single Dwelling Housing Development Code** is a Code relevant to this proposal. The comments for the criterion or rule identified in the tables below are provided where it is considered warranted to clarify why a particular criterion or rule is either met or not met.

Part A

The proposal meets all requirements of this Part that are relevant to the development.

Element: 2 Building and Site Control	
Sub-Element: 2.1 Height	
Rule: R2	Applicable Criterion: Mandatory
<ul style="list-style-type: none"> • Proposed two storey dwelling – Total height @ 7.5m - COMPLIES 	

Element: 2 Building and Site Control	
Sub-Element: 2.2 Building Envelope	
Rule: R3	Applicable Criterion: C3
<ul style="list-style-type: none"> • Proposed two storey element significantly encroaches the Building Envelope along the South-Eastside. <ul style="list-style-type: none"> - Entire southern side of Upper Floor considerably encroaches the envelope (@ 2.0m height - if considered the S-E boundary as neighbour's North boundary) - Part of the Upper Floor in rear zone encroaches the envelope (@ 3.5m height - if considered the S-E boundary as neighbour's OTHER boundary. <p>This Encroachment can be considered acceptable as...</p> <ul style="list-style-type: none"> • It would not significantly compromise the amenity or overshadow the adjoining property as there is an existing large tree that considerably overshadows the adjoining property. . <p>However – Shadow diagrams are requested as Further Info.</p> <p>Applicant provided Shadow diagram as s141.</p>	

Element: 2 Building and Site Control	
Sub-Element: 2.3 Plot Ratio	
Rule: R4	Applicable Criterion: Mandatory
<p>Block Area = 714.00m²</p> <p>Allowable Plot Ratio = 50% = 357.0²</p> <ul style="list-style-type: none"> • Plot ratio proposed by applicant = 458.10m² = 49.31% <p>Plot Ratio - COMPLIES</p>	

Part B

Element: 6 Environment	
Sub-Element: 6.2 Trees	
Rule: R26	Applicable Criterion: C26
<p>The proposal is for a proposed development that will affect a registered tree or declared site – referred to TPA –</p> <ul style="list-style-type: none"> • On 17 March 2012 the Conservator of Flora and Fauna advised that <p>There is no Tree Management Plan to protect the excellent value oak in the back yard and the oak in the front yard. Unless an alternative plan is supplied, the development can only be approved under the following conditions:</p> <p>The trees shall be fenced off by a continuous 1800 mm high chain wire protective fence, no closer than a minimum distance of 5m from the trunk of the tree on all sides, other than at the boundary fence unless otherwise agreed to in writing by the Conservator.</p> <ol style="list-style-type: none"> 2. The protective fence shall be erected prior to the commencement of any construction/demolition works on any part/stage of the development and shall remain in place until all construction works are completed. 	

3. The protective fence shall be maintained in good order for the duration of the building works.
4. A copy of this decision shall be kept on site from the time that the protective fences are erected to the time that all works are completed on site.
5. No work, that includes but is not limited to, excavation (e.g. for services including gas, water, sewer, stormwater, electricity, telecommunications, footings and irrigation) or modification of existing ground levels and placement of site sheds, building materials, equipment, fill or vehicles shall occur within the tree protection zone (dropline + 2 metres), except for construction of the footings for the residence.
6. Services that need to be installed within the tree protection zone of the tree shall be under bored unless otherwise agreed in writing by the Conservator.
7. The proposed gazebo shall be built without disturbing the tree roots or compacting the soil. Minor pier footings are allowed if dug by hand avoiding all roots with a diameter of 30mm or over.
8. No basements are permitted within the tree protection zone of the trees.
9. Within the tree protection zone the proposed dwelling and associated veranda shall be constructed using low impact footings (e.g. pier and beam, rebated edge footings or screw in type footings) with a suspended floor within the tree protection zone. A low impact footing does not cut into the root system, except for isolated piers.
10. Excavation for footings of the residence/garage within the tree protection zone shall be undertaken in such a manner that no roots with a diameter greater than 50mm are damaged and any roots uncovered with a diameter greater than 50mm shall be bridged over.
11. Any proposed paving, foot paths or driveway within the tree protection zone shall be constructed of porous material, with porosity of no less than 20%.
12. If root pruning/removal is required, roots shall be cut cleanly (not pulled, torn or ripped).
13. Exposed roots shall be kept damp and backfilled as soon as possible.
14. Any pruning to remove branches interfering with the roof line of the residence/garage shall be conducted in accordance with Australian Standard 4373 'Pruning of amenity trees'.
15. Any pruning to remove branches interfering with the building walls shall be conducted in accordance with Australian Standard 4373 'Pruning of amenity trees'. Any scaffolding, if required, shall be erected in such a way that no additional pruning is required.
16. All relevant plans shall be revised (and be consistent with one another) to address the conditions above and shall be lodged with and approved by the ACT Planning and Land Authority prior to the commencement of any construction works.

The applicant provided further information which now satisfies these conditions.

Element: [7 Services](#)

Sub-Element: [7.1 Waste Management](#)

Rule: [R26](#)

Applicable Criterion: [C26](#)

Waste Management Plan provided – referred to TAMSD –

- On 13 April 2012, advice was received from TaMSD in support of the proposal

Element: [7 Services](#)

Sub-Element: [7.2 Utilities](#)

Rule: [R28 No Rule](#)

Applicable Criterion: [C28](#)

- On [28 March 2012](#) a Statement of [Conditional Compliance](#) was issued by Actew Water & Sewerage Division.
- On 13 April 2012, a Statement of Conditional Compliance was issued by Actew – Electricity.
- On 13 April 2012, a Statement of [Conditional Compliance](#) was issued by Actew – Gas Networks.

Part C

The proposal meets all requirements of this Part that are relevant to the development.

Element: 2 Building and Site Control	
Sub-Element: 2.2 Side Setback	
Rule: R31	Applicable Criterion: C31
<ul style="list-style-type: none"> The proposed garage is on the S-E side boundary and encroaches the required 1.5m setback for within the primary building zone. <p>This Encroachment can be considered acceptable as...</p> <ul style="list-style-type: none"> It would not significantly compromise the amenity or privacy of the neighbouring residence as there is a driveway facing that side of the block. <p>Moreover...</p> <ul style="list-style-type: none"> No representation has been received in relation to this particular encroachment. 	

Element: 2 Building and Site Control	
Sub-Element: 2.2 Side Setback	
Rule: R31	Applicable Criterion: C31
<ul style="list-style-type: none"> The proposed ground floor WIP and meals are setback 1.0 from the N-W side boundary and encroaches the required 3.0m setback. <p>This Encroachment can be considered acceptable as...</p> <ul style="list-style-type: none"> It would not significantly compromise the amenity or privacy of the neighbouring residence as there is a blank wall on that side of the block. <p>Moreover...</p> <ul style="list-style-type: none"> No representation has been received in relation to this particular encroachment. 	

Element: 2 Building and Site Control	
Sub-Element: 2.2 Side Setback	
Rule: R31	Applicable Criterion: C31
<ul style="list-style-type: none"> The proposed upper floor is setback 2.1m from the South side boundary and encroaches the required 3.0m setback within the primary building zone and 6.0m setback within the rear zone. 	

- The proposed upper floor Bedroom window is Obscure glass window.
- It would not significantly compromise the amenity or privacy of the neighbouring residence as there is a garage on the other side of the boundary as well.

Moreover...

- No representation has been received in relation to this particular encroachment.

Element: [4 Parking and Site Access](#)

Sub-Element: [4.1 Vehicle Access](#)

Rule: [R39](#)

Applicable Criterion: [C39](#)

Existing verge crossing to be used.

Element: [4 Parking and Site Access](#)

Sub-Element: [4.2 Parking](#)

Rule: [R42](#)

Applicable Criterion: [C42](#)

Garage for 2 cars provided.

Element: [5 Amenity](#)

Sub-Element: [5.2 Private Open Space](#)

Rule: [R47 to R50](#)

Applicable Criterion: [C47 to C50](#)

POS required = $\{(714 \times 60) / 100\} - 50 = 378.40\text{m}^2$

POS provided = **Calculations Not provided – Further info requested.**

Adequate open space provided facing North, East and West. Verandahs and landscaping provided.

@ 50 % POS area retained for planting.

Landscape Plan Not provided – Further info requested.

Further information provided as s141.

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Element: 6 Environment	
Sub-Element: 6.1 Water Sensitive Urban Design	
Rule: R51 & R52	Applicable Criterion: C51 & C52
<p>20,000 Lt water tank proposed. 41% Mains Water Reduction achieved.</p> <p>Water reduction Spreadsheet Not provided – Further info requested.</p> <p>Further information provided as s141.</p>	

2. Assessment of Compliance with Parking and Vehicular Access General Code

The proposal meets all requirements of this Code that are relevant to the development.

FURTHER INFORMATION REQUEST – sent on 10 April 2012

1. Provide Shadow Diagrams;
2. A Landscape Plan and Open Space Area calculations required;
3. A Water Reduction Spreadsheet required.



Notice of decision

Under Part 7 of the *Planning and Development Act 2007*

Merit track

DA NO: 201121008		DATE LODGED: 23 March 2012
DATE OF DECISION: 15 August 2012		
BLOCK: 6	SECTION: 11	SUBURB: YARRALUMLA
STREET NO AND NAME: 17 Bailey Place		
APPLICANT: Storybook Cottages		
LESSEE: [REDACTED]		

THE DECISION

This application was lodged in the merit track. Pursuant to section 113(2) of the *Planning and Development Act 2007*, the application must be assessed according to the provisions relevant to merit track applications.

I, Fawzia Majid, delegate of the planning and land authority, pursuant to section 162 of the Act, hereby **approve subject to conditions** the proposal for:

- demolition of a single dwelling on one side of the duplex;
- construction of a new dwelling with an attached double garage; and
- associated works and landscaping;

in accordance with the plans, drawings and other documents and items submitted with the application and endorsed as forming part of this approval.

This decision is subject to the conditions of approval at **PART 1** being satisfied.

PART 2 sets out the Reasons for the Decision

PART 3 is Public Notification and Entity Advice.

PART 4 contains administrative information relating to the determination.

DELEGATE

Fawzia Majid
Delegate of the planning and land authority
Environment and Sustainable Development Directorate
15/08/2012

CONTACT OFFICER

Ms Fawzia Majid
Phone: (02) 6205 9875
Email: fawzia.majid@act.gov.au

PART 1 CONDITIONS OF APPROVAL

This application is approved subject to the following conditions being satisfied. Some conditions of approval will require attention before work commences or before the completion of building work.

A. ADMINISTRATIVE / PROCESS CONDITIONS

A1. PARTY WALL

Central party wall between Block 5 and 6 shall remain and shall be propped/braced accordingly as required to ensure stability of neighbouring dwelling. Builder/owner to make good neighbouring wall and must consult with the neighbouring owners prior to the commencement of any demolition work. All adjoining neighbours must be informed of demolition procedure and scheduling.

The structural integrity of the party wall between the two properties on Block 5 and 6 shall be maintained and will form part of the Building Approval process.

***Note:** Most building work requires building approval to ensure it complies with building laws such as the Building Code of Australia. If this applies to this proposal, the lessee should engage a private building certifier to assess and approve the building plans before construction begins. A list of licensed certifiers and information about building approval is available from the planning and land authority's website and Customer Service Centres.*

A2. DEMOLITION AND ASBESTOS MANAGEMENT

Demolition and asbestos management must be undertaken in accordance with the *Building Act 2004* (including the Building Code of Australia) and the *Dangerous Substances Act 2004*. Information about demolition and asbestos management is available from the planning and land authority's web site and Customer Service Centres.

A3. TREE PROTECTION

The trees, both in front and backyard, shall be fenced off by a continuous 1800mm high chain wire protective fence, no closer than a minimum distance of 5m from the trunk of the tree on all sides. The proposed gazebo must be placed without damaging roots greater than 30mm diameter.

A4. ENCROACHMENTS ON TERRITORY LAND

There are to be no encroachments on Territory Land. All works are to be on or inside the lease boundary.

B. PRIOR TO CONSTRUCTION AND/OR DEMOLITION

B1. TREE PROTECTION

Tree protection fencing, shall be erected prior to the commencement of any work on the site.

C. DURING CONSTRUCTION AND/OR DEMOLITION

C1. SEDIMENT AND EROSION CONTROL

All unsurfaced entry and exit points must be consolidated with crushed aggregate or similar extending from the road kerb to the building line.

Temporary sediment controls – comprising, as a minimum, geotextile silt fencing along the lowest points of the site and hay bale filters as required – are to be installed and maintained at least daily to prevent sediment from reaching the stormwater mains system.

C2. TREE PROTECTION

The applicant/lessee shall protect and maintain all existing trees and shrubs located on the subject site, on adjoining blocks overhanging the subject site, on the verge and unleased Territory land immediately adjacent, except for those specifically identified for removal in the approved drawings and a Tree Management Plan.

C3. VERGE MANAGEMENT

The verge must be protected during construction. All fencing must be placed so that the verge is protected but access to the pedestrian network is provided at all times.

C4. WASTE MANAGEMENT

All building waste is to be stored on the site in suitable receptacles and collected regularly. The lessee is to take all reasonable steps to ensure that waste, particularly wind borne litter, does not affect adjoining or adjacent properties.

D. ADVISORY NOTES

This application is approved with the following advisory notes. It is recommended that careful consideration be given to advisory notes prior to commencing work.

D1. ActewAGL – WATER & SEWER

The development shall comply with the requirements of the ActewAGL – Water and Sewer Networks.

(Please refer to the comments from ActewAGL under the heading 'Entity Advice'.)

D2. ActewAGL – ELECTRICITY

The development shall comply with the requirements of the ActewAGL – Electricity Networks.

(Please refer to the comments from ActewAGL under the heading 'Entity Advice'.)

D3. ActewAGL – GAS

The development shall comply with the requirements of the ActewAGL – Gas Networks.

(Please refer to the comments from ActewAGL under the heading 'Entity Advice'.)

D4. TREE PROTECTION UNIT

The development shall comply with the requirements of the Tree Protection Unit.

(Please refer to the comments from Tree Protection under the heading 'Entity Advice'.)

D5. TERRITORY AND MUNICIPAL SERVICES DIRECTORATE (TAMSD)

The development shall comply with the requirements of the Territory and Municipal Services Directorate.

(Please refer to the comments from TAMSD under the heading 'Entity Advice'.)

Refer to Appendix 1 for information about approvals that may be required for construction.

PART 2 REASONS FOR THE DECISION

The application satisfactorily meets the requirements for approval. The application was approved because, based on the documentation and in the form modified by the imposed conditions, it was considered to meet:

- the relevant code, being the Single Dwelling Housing Development Code; and
- the advice of the Conservator of Flora and Fauna in relation to the proposal.

The key issues identified in the assessment are: Party wall between Block 5 and 6, Compliance with the advice of the Conservator of Flora and Fauna, ActewAGL – Water, Gas and Electricity Networks, Territory and Municipal Services Directorate (TAMSD). Conditions have been imposed to address the key issues and ensure that the proposal is consistent with the Territory Plan and the *Planning and Development Act 2007*.

EVIDENCE

Application No. 201121008

File No. 1-20122/22395

The Development Zone – RZ1 Suburban Zone

The Development Code – Single Dwelling Housing Development Code

Current Crown Lease – Volume 247 Folio 95

Representations – One Received

Entity advice – ActewAGL – Water, Gas and Electricity Networks, Tree Protection Unit, Territory and Municipal Services Directorate (TAMSD)

PART 3 PUBLIC NOTIFICATION AND ENTITY ADVICE

PUBLIC NOTIFICATION

Pursuant to Division 7.3.4 of the Act, the application was publicly notified from 28 March 2012 to 13 April 2012. One written representation was received during public notification.

The main issues raised are as follows. Comments are provided as appropriate.

- (a) Concern regarding the demolition/making good of the party wall

Response: Conditions of approval have been imposed to address these concerns. Please refer to condition A1 of this Notice of Decision. The owner of the subject block responded to the objection and confirmed that a dilapidation inspection will be conducted on Block 5 prior to and following the demolition of the dwelling on Block 6.

- (b) Concern regarding any possible damage during construction

Comment: Independent legal advice should be obtained if there is any damage caused by the proposed work and any related insurance matter.

- (c) Concern regarding the easement and large trees on the property

Response: There is no easement between Block 5 and 6. The application received advice from the Tree Protection Unit regarding two regulated trees on the block, which have been incorporated as conditions of this approval.

ENTITY ADVICE

Pursuant to Division 7.3.3 of the Act, the application was referred to entities and advice was received. The referral entities' comments are as follows. A response to the advice is provided as appropriate.

CONSERVATOR OF FLORA AND FAUNA

On 17 April 2012 advice was received from the Conservator of Flora and Fauna in relation to the proposal. The advice states that:

The development can be approved under the following conditions:

1. The trees shall be fenced off by a continuous 1800 mm high chain wire protective fence, no closer than a minimum distance of 5m from the trunk of the tree on all sides, other than at the boundary fence unless otherwise agreed to in writing by the Conservator.
2. The protective fence shall be erected prior to the commencement of any construction/demolition works on any part/stage of the development and shall remain in place until all construction works are completed.
3. The protective fence shall be maintained in good order for the duration of the building works.
4. A copy of this decision shall be kept on site from the time that the protective fences are erected to the time that all works are completed on site.
5. No work, that includes but is not limited to, excavation (e.g. for services including gas, water, sewer, stormwater, electricity, telecommunications, footings and irrigation) or modification of existing ground levels and placement of site sheds, building materials, equipment, fill or vehicles shall occur within the tree protection

- zone (dripline + 2 metres), except for construction of the footings for the residence.
6. Services that need to be installed within the tree protection zone of the tree shall be under bored unless otherwise agreed in writing by the Conservator.
 7. The proposed gazebo shall be built without disturbing the tree roots or compacting the soil. Minor pier footings are allowed if dug by hand avoiding all roots with a diameter of 30mm or over.
 8. No basements are permitted within the tree protection zone of the trees.
 9. Within the tree protection zone the proposed dwelling and associated veranda shall be constructed using low impact footings (e.g. pier and beam, rebated edge footings or screw in type footings) with a suspended floor within the tree protection zone. A low impact footing does not cut into the root system, except for isolated piers.
 10. Excavation for footings of the residence/garage within the tree protection zone shall be undertaken in such a manner that no roots with a diameter greater than 50mm are damaged and any roots uncovered with a diameter greater than 50mm shall be bridged over.
 11. Any proposed paving, foot paths or driveway within the tree protection zone shall be constructed of porous material, with porosity of no less than 20%.
 12. If root pruning/removal is required, roots shall be cut cleanly (not pulled, torn or ripped).
 13. Exposed roots shall be kept damp and backfilled as soon as possible.
 14. Any pruning to remove branches interfering with the roof line of the residence/garage shall be conducted in accordance with Australian Standard 4373 'Pruning of amenity trees'.
 15. Any pruning to remove branches interfering with the building walls shall be conducted in accordance with Australian Standard 4373 'Pruning of amenity trees'. Any scaffolding, if required, shall be erected in such a way that no additional pruning is required.
 16. All relevant plans shall be revised (and be consistent with one another) to address the conditions above and shall be lodged with and approved by the ACT Planning and Land Authority prior to the commencement of any construction works.

The applicant was informed regarding the Tree Protection advice. The applicant provided amended plans under s141 of the Act, which now satisfy the conditions.

Matters raised have been incorporated as conditions of approval.

TERRITORY AND MUNICIPAL SERVICES DIRECTORATE

On 13 April 2012 advice was received from Territory and Municipal Services in relation to the proposal. The advice states that:

The DA is supported with the following conditions:

VERGE

1. There are to be no encroachments on Territory Land.
2. All works are to be on or inside the lease boundary.
3. The verge must be protected during construction.

PEDESTRIAN NETWORK

1. All fencing must be placed so that the verge is protected but access to the pedestrian network is provided at all times.

Matters raised have been incorporated as conditions of approval.

ActewAGL

On 13 April 2012 advice was received from ActewAGL – Electricity Networks in relation to the proposal. The advice states that:

This application is approved subject to compliance with the following conditions:

Conditions:

- A new underground service is required.
- Change of service is required.
- Development is to comply with minimum clearances to overhead conductors. Ref ActewAGL Drawing 3811-004.
- The location of the proposed Point of Entry/Meter Box is to comply with ActewAGL's Service and Installation rules.

Matters raised have been incorporated as advice.

ActewAGL

On 13 April 2012 advice was received from ActewAGL – Gas Networks in relation to the proposal. The advice states that:

This application conditionally complies. A Gas Conditional Compliance Statement is attached with this decision.

Matters raised have been incorporated as advice.

ActewAGL

On 28 March 2012 advice was received from ActewAGL – Water Division in relation to the proposal. The advice states that:

This application conditionally complies.

Conditions:

Protection of water and sewer networks to be in accordance with the attached checklist. (Attached with this decision).

Matters raised have been incorporated as advice.

PART 4 ADMINISTRATIVE INFORMATION

DATE THAT THIS APPROVAL TAKES EFFECT

This approval is effective from the day after the date of this notice. The effective date for development applications approved subject conditions could also be adjusted if the approval is reconsidered by the planning and land authority or if an application is made to the ACT Civil and Administrative Tribunal.

Pursuant to section 184 of the Act, this approval will expire if:

- the development or any stage of the development is not started within two years after the day the approval takes effect;
- the development is not finished two years after the day the development begins; or
- the development approval relates to land comprised in a lease that requires the development to be completed on a stated date – the date stated in the lease for completion of the development, or the approval is revoked under section 189 of the Act.

Under section 184 of the Act, the applicant may apply to the planning and land authority to extend the prescribed period to finish the development, but such an application must be made within the original period specified for completion.

A development approval, to which section 184 of the Act applies, continues unless the approval ends under sections 184, 185, 186 or 187 of the Act.

INSPECTION OF THE APPLICATION AND DECISION

A copy of the application and the decision can be inspected between 8:30am and 4:30pm weekdays at the Environment and Sustainable Development Directorate Dickson Customer Service Centre at 16 Challis Street, Dickson, ACT.

RECONSIDERATION OF THE DECISION

If the applicant is not satisfied with the decision to approve the application subject to conditions, they are entitled to apply to the planning and land authority for reconsideration within 20 working days of being told of this decision or within any longer period allowed by the planning and land authority.

Application forms and further information about reconsideration are available from the planning and land authority's website and Customer Service Centres. The delegate of the planning and land authority reconsidering the decision must be different from, and senior to, the original decision maker. An application for reconsideration does not prevent an application for a review of the same decision being made to the ACT Civil and Administrative Tribunal.

REVIEW BY THE ACT CIVIL AND ADMINISTRATIVE TRIBUNAL (ACAT)

Decisions that are reviewable by the ACAT are identified in Schedule 1 of the *Planning and Development Act 2007*, except for those precluded under Schedule 3 of the *Planning and Development Regulation 2008* – Matters exempt from third-party ACAT review.

This Notice of decision has also been sent to all people who made representations in relation to the proposal.

APPENDIX 1

CONTACT DETAILS OF RELEVANT AGENCIES

Health Directorate - health protection	Website: www.health.act.gov.au Telephone: (02) 6205 1700
Environment and Sustainable Development Directorate <i>Planning and land authority</i> - list of certifiers for building approval - demolition information - asbestos information <i>Environment Protection Authority</i> - environment protection - water resources - asbestos information <i>Conservation, Planning and Research</i> - threatened species/wildlife management	Website: www.actpla.act.gov.au Telephone: (02) 6207 1923 Website: www.environment.act.gov.au Telephone: (02) 6207 6251 Website: www.environment.act.gov.au Telephone: (02) 6207 1911
Territory and Municipal Services Directorate - tree damaging activity approval - use of verges or other unleased Territory land - works on unleased Territory land - design acceptance - damage to public assets	Website: www.tams.act.gov.au Telephone: 132 281 Telephone for asset acceptance: (02) 6207 7480
Utilities - Telstra (networks) - TransACT (networks) - ActewAGL - Electricity reticulation	Telephone: (02) 9397 2090 Telephone: (02) 6229 8000 Telephone: 1100 Telephone: (02) 6293 5738

ADVICE TO APPLICANT

SUBMISSION OF REVISED DRAWINGS AND DOCUMENTATION

If a condition of approval requires the applicant to lodge revised drawings and/or documentation with the planning and land authority for approval under section 165 of the *Planning and Development Act 2007* the submission shall be made by:

- Completing an application for S165 Satisfying Conditions of Approval and submitting the documentation online using edevelopment. More information on edevelopment can be found at http://www.actpla.act.gov.au/tools_resources/e-services/edevelopment

For further information regarding the lodgement of this information please contact Customer Service Centre by Phone: (02) 6207 1923, Fax: (02) 6207 1925 TTY: (02) 6207 2622, Email: actpla.customer.services@act.gov.au or on the planning and land authority website at www.actpla.act.gov.au.

FURTHER APPROVALS FOR CONSTRUCTION

The Notice of Decision grants development approval, but does not cover building approval or approvals which may be required during construction, which commonly include the following.

BUILDING APPROVAL

Most building work requires building approval to ensure it complies with building laws such as the Building Code of Australia. If this applies to this proposal, the lessee should engage a private building certifier to assess and approve the building plans before construction begins. A list of licensed certifiers and information about building approval is available from the planning and land authority's website and Customer Service Centres.

PERMITTED VARIATIONS TO APPROVED DEVELOPMENT

Under section 35 of the Planning and Development Regulation 2008 the development as built may vary from the approved development in accordance with section 35 and the permitted construction tolerances and other permitted variations identified in Schedule 1A of that regulation.

- Note 1* The development may still need building approval, or further building approval, under the *Building Act 2004*
- Note 2* The development must also comply with the lease for the land on which it is carried out.

"TREE DAMAGING ACTIVITY" APPROVAL

A Tree Management Plan under the *Tree Protection Act 2005* is required for approval where it is proposed to undertake groundwork within the tree protection zone of a protected tree or likely to cause damage to, or remove, any trees defined as protected trees by that Act. More information is available from the Territory and Municipal Services Directorate.

USE OF VERGES OR OTHER UNLEASED TERRITORY LAND

In accordance with the *Roads and Public Places Act 1937*, road verges and other unleased Territory land must not be used for the carrying out of works, including the storage of materials or waste, without prior approval of the Territory. Approval can be obtained from the Territory and Municipal Services Directorate.

WORKS ON UNLEASED TERRITORY LAND – DESIGN AND OPERATIONAL ACCEPTANCE

In accordance with the *Roads and Public Places Act 1937*, no work can be undertaken on unleased Territory land without the approval of the Territory. Such approval must be obtained from the Manager Asset Acceptance, Asset Services Group, TAMSD by way of:

1. a certificate of design acceptance prior to the commencement of any work and
2. a certificate of operational acceptance on completion of all works to be handed over to TAMSD

Works on unleased Territory land may include the construction or upgrading of driveway verge crossings, public footpaths, roads, street lighting, stormwater works, waste collection amenities, street signs and line marking, road furniture and landscaping.

A certificate of compliance under s296 of the *Planning and Development Act 2007* may not be issued unless a certificate of design acceptance **AND** a certificate of operational acceptance has both been obtained from TAMSD.

CONSTRUCTION REQUIREMENTS

The following information are some key requirements that apply to building work in the Territory. Other requirements may apply to this development.

DEMOLITION AND ASBESTOS MANAGEMENT

Demolition and asbestos management must be undertaken in accordance with the *Building Act 2004* (including the Building Code of Australia) and the *Dangerous Substances Act 2004*. Information about demolition and asbestos management is available from the planning and land authority's web site and Customer Service Centres.

ENVIRONMENT PROTECTION

All building work must be undertaken in accordance with the *Environment Protection Act 1997*, particularly but not exclusively in relation to noise and pollution control. More information is available from the Environment Protection Authority.

REPAIR OF DAMAGE TO PUBLIC ASSETS

The applicant/lessee is held responsible for all damage to ACT Government assets (including footpaths) caused by the development and they must properly repair any damage to those assets. Before work commences, they should notify the Territory and Municipal Services Directorate of any existing damage to public facilities.

UTILITY ASSETS RETENTION

The lessee should obtain a plant location advice from ActewAGL to avoid conflict with existing plant or electrical easements. The lessee will be responsible for the costs associated with the relocation of assets, if necessary. The lessee is to ensure that the water service and water meter are retained in position and in good condition. ActewAGL water meters are accountable items and must not be removed from the site or otherwise disposed of.

WATER RESTRICTIONS AND FILLING OF NEW POOLS, PONDS AND FOUNTAINS

Water restrictions or permanent water conservation measures may be in force in the ACT and may prohibit or affect the filling of new pools, ponds and fountains using potable (tap) water drawn from ACTEW Corporation Limited's potable water supply system. Applicants wishing to use water drawn from the potable water supply system to fill a new pool, pond or fountain are advised to first contact ACTEW's Water conservation office on (02) 62483131. Where water restrictions or permanent water conservation measures would otherwise prevent or affect the filling of a new pool, pond or fountain, it might be possible to obtain an exemption to fill the pool, pond or fountain using potable water.

DRAINAGE

The Building Code of Australia contains provisions affecting surface drainage and the height of finished floor levels. These may apply to this proposal.

REVIEW OF THE DECISION

The following notes are provided in accordance with regulation 7 of the *ACT Civil and Administrative Tribunal Regulation 2009*. Refer to the Review by the ACT Civil and Administrative Tribunal (ACAT) section of the Notice of Decision for information about its relevance to this development application.

CONTACT DETAILS

The review authority is the ACT Civil and Administrative Tribunal (ACAT).

Location	Contact details
ACT Civil and Administrative Tribunal Level 4, 1 Moore Street CANBERRA CITY ACT 2601	Website: www.acat.act.gov.au Email: tribunal@act.gov.au Telephone: (02) 6207 1740 Facsimile: (02) 6205 4855 Post: GPO Box 370, CANBERRA, ACT, 2601

POWERS OF THE ACAT

The ACAT is an independent body. It can review on their merits a large number of decisions made by ACT Government ministers, officials and statutory authorities. The ACAT can agree with, change or reject the original decision, substitute its own decision or send the matter back to the decision maker for reconsideration in accordance with ACAT recommendations.

APPLICATIONS TO THE ACAT

To apply for a review, obtain an application form from the ACAT. You can also download the form from the ACT Legislation Register <http://www.legislation.act.gov.au/af/2009-278/current/pdf/2009-278.pdf>.

If you are applying on behalf of an organisation or association of persons, whether incorporated or not, the Tribunal in deciding whether to support this application will consider the effect of the decision being reviewed on the interests of the organisation or association in terms of its objects or purposes. A copy of the relevant documents will be required to be lodged with the Tribunal.

TIME LIMITS FOR APPLICATIONS

The time limit to make a request for a review is 28 days from the date of this Notice of decision. The time limit can be extended in some circumstances (refer to sections 10 (2), 10(3), 25(1)(e) and 25(2) of the *ACT Civil & Administrative Tribunal Act 2008*; section 7 of the *ACT Civil and Administrative Tribunal Procedure Rules 2009 (No 2)*; and section 409 of the *Planning and Development Act 2007*).

FEES

Applications to the ACAT, including an application to be joined as a party to a proceeding, require payment of a fee (the Tribunal Registry will advise of the current fee), unless you are receiving legal or financial assistance from the ACT Attorney-General. You can apply to have the fee waived on the grounds of hardship, subject to approval (refer to section 22T of the *ACT Civil and Administrative Tribunal Act 2008*). Decisions to grant assistance are made on the grounds of hardship and that it is reasonable, in all the circumstances, for the assistance to be granted. Write to: The Chief Executive, Justice and Community Safety Directorate, GPO Box 158, CANBERRA ACT 2601. Ask the ACAT for more details.

TIME LIMITS FOR REVIEWS OF DECISIONS

The ACAT is required to decide appeals in land and planning and tree protection cases within 120 days after the lodging of the appeal, unless that period is extended by the ACAT upon it being satisfied that it is in the interests of justice to do so.

FORMS OF LEGAL, FINANCIAL AND OTHER ADVICE AND ASSISTANCE

The following organisations can provide advice and assistance if you are eligible:

- ACT Attorney-General, write to The Chief Executive, Justice and Community Safety

Directorate, GPO Box 158, CANBERRA, ACT, 2601;

- the ACT Legal Aid Office, telephone 1300 654314;
- Legal Advice Bureau, telephone (02) 6247 5700;
- ACT Council of the Ageing, telephone (02) 6282 3777;
- Welfare Rights and Legal Centre, telephone (02) 6247 2177; and
- Environmental Defender's Office (ACT), telephone (02) 6247 9420.

AWARDING OF COSTS

You will have to pay any costs involved in preparing or presenting your case. The ACAT also has the power to award costs against a party if the party contravenes a direction of the ACAT and the ACAT considers it in the interests of justice to make such an order. This power is in addition to the power of the ACAT to strike out a party and to dismiss an application for failure to comply with the ACAT's directions.

ACCESS TO DOCUMENTS ABOUT THE DECISION

You may apply for access to any documents you consider relevant to this decision under the ACT Freedom of Information Act 1989. Information about Freedom of information requests is available on the planning and land authority's web site or by contacting us by phone on (02) 6207 1923.

PROCEDURES OF THE ACAT

The procedures of the ACAT are outlined on the ACAT's website, including in the Guide to the Land and Planning Division and the Guide to the Hearing. Contact the ACAT for alternative ways to access information about the ACAT's procedures.

TRANSLATION AND INTERPRETER SERVICES

The ACT Government's translation and interpreter service runs 24 hours a day, every day of the week. Telephone 131 450.

ENGLISH	If you need interpreting help, telephone:
ARABIC	: إذا احتجت لمساعدة في الترجمة الشفوية ، إتصل برقم الهاتف :
CHINESE	如果你需要传译员的帮助，请打电话：
CROATIAN	Ako trebate pomoć tumača telefonirajte:
GREEK	Αν χρειάζεστε διερμηνέα τηλεφωνήσετε στο
ITALIAN	Se avete bisogno di un interprete, telefonate al numero:
MALTESE	Jekk għandek bżonn l-għajnuna t'interpretu, çempel:
PERSIAN	: اگر به ترجمه شفاهی احتیاج دارید به این شماره تلفن کنید:
PORTUGUESE	Se você precisar da ajuda de um intérprete, telefone:
SERBIAN	Ako vam je potrebna pomoć prevodioca telefoniрајте:
SPANISH	Si necesita la asistencia de un intérprete, llame al:
TURKISH	Tercümana ihtiyacınız varsa lütfen telefon ediniz:
VIETNAMESE	Nếu bạn cần một người thông-ngôn hãy gọi điện-thoại:

TRANSLATING AND INTERPRETING SERVICE

131 450

Canberra and District - 24 hours a day, seven days a week

ActewAGL acts as agent for ACTEW Corporation



STATEMENT OF CONDITIONAL COMPLIANCE

Application No: 124746 **Suburb:** Yarralumla **Block/Section** 6 / 11
Applcn Type: Single residential/New Construction with Demolition Inclusions : with Garage

Attached Plans

Yarralumla 6 11.pdf

Conditions

Protection of water and sewer networks to be in accordance with the attached checklist

Please Note:

- ❖ Separate applications are required for ActewAGL electricity and gas networks.
- ❖ Any failure to accurately show existing or proposed structures may result in damage and costs for which the property owner will be liable. Damage to network assets must be reported to ActewAGL.
- ❖ Utility conditions may also apply to minor structures and landscaping works that may not have been depicted in this document. Consultation with ActewAGL's Water Division is advised if such structures and landscaping are planned.
- ❖ ActewAGL recommend setbacks provided for equipment access to water or sewerage network assets are kept free of obstruction by the property owner.
- ❖ Construction of works without the approval of ActewAGL may result in connection to ACTEW's water and sewerage networks being denied and /or action being taken to require the property owner to remove non-compliant services (e.g. sanitary drains) or structures.

WARNING

Failure to comply with these conditions is likely to result in interference with an ACTEW Corporation water or sewer asset. Sections 123 to 125 of the Utilities Act 2000 apply, which indicates a person who interferes with a utility asset may be subject to prosecution. The current maximum penalty is a fine of \$50,000, imprisonment for six months or both. In addition the land-holder can be ordered at their expense to stop the interference, which may involve removal of the building work or that part of the building work that is causing, or is likely to cause interference.

Comments:

Signed Andrew Ingold **Date** 28 Mar 2012

For further information please phone ActewAGL 6248 3555 (then 2).

Sewer connection

ActewAGL's requirements for demolition work which could potentially damage ACTEW assets or result in discharge of stormwater, or other unapproved wastes (other than domestic sewage) to the ACTEW sewerage network.

The property owner (or their design or construction agent) is responsible for the following.

1. Where an ACTEW sewer main traverses a property or an ACTEW sewer main is outside the property boundary (and proposed demolition works may impact on the sewer main's pipe-protection-envelope), accurate sewer network survey plans must be obtained from ActewAGL or from a registered surveyor. Sewer asset locations need to be shown on relevant demolition plans including manhole, boundary riser and tie location with off-set dimensions from site boundaries.
2. Recording the condition of manhole covers. ActewAGL can be contacted on 13 11 93 to repair damaged components. A failure to identify any faults before demolition commences may result in the property owner (or their contractors) being held responsible to pay for the repair caused by a failure to adequately protect ACTEW's assets during the demolition or building construction works.
3. Engaging a licenced drainer to disconnect the internal sanitary drains before any demolition works commence. The discharge of debris, stormwater or other unapproved liquid wastes (other than domestic sewage into the sewerage networks) is an offence under the *Utilities Act 2000*.
4. Identifying, flagging, barricading and protecting the sanitary drainage 'riser' (if installed) and manholes from demolition operations.
5. Where further construction works is planned, sanitary drains are to be temporarily sealed by capping no closer than 3 metres from the ACTEW tie. Excavation and capping is to be undertaken by licensed drainers at the customer's expense. The capping point is to be staked behind the cap and identified at ground level. Please note the subsequent building contractor will be required to make a new sanitary drainage connection at the designated tie (not at the temporary cap). This may require the removal of old jump-ups in the customer's sanitary drains. When the tie is exposed it is recommended to ask ActewAGL to inspect the branch-line to ensure it is in good condition.
6. Where further construction work is not proposed to commence within 12 months from the date demolition commences, permanent disconnection may be required. Please consult ActewAGL at this time for a definitive answer.

For more information contact:

ActewAGL Water division technical enquiry line

Phone: 6248 3555 (press '2' for Water)

Fax: 6242 1459

Or visit the customer service counter during business hours

12 Hoskins Street, Mitchell.

Water supply

ActewAGL requirements for demolition works which could potentially damage ACTEW assets or result in contamination of the potable water supply.

The property owner (or their design or construction agent) is responsible for the following.

1. Where an ACTEW water main traverses a property (and where an ACTEW water main is outside the property boundary but proposed demolition works may impact on the water main's pipe-protection-envelope), accurate water network survey plans must be obtained from ActewAGL or from a registered surveyor. Water asset locations need to be shown (including mains, valves and hydrants) on relevant demolition plans (with off-set dimensions to site boundaries).
2. Identifying the location of the ACTEW isolation valve and water meter on the site plan (with off-set dimensions from site boundaries).
3. Recording the condition of the water connection pipe, isolation valve, water meter, verge hydrants and verge network valves. Please contact ActewAGL on 13 11 93 to repair damaged components. Failure to identify any faults before demolition works commence may result in the property owner (or their contractors) being held responsible to pay for the repair caused by a failure to adequately protect those assets during the demolition or building construction.
4. Engaging a licenced plumber to disconnect the internal plumbing service at the water meter before any demolition commences. The discharge of debris, stormwater or other unapproved liquid wastes (other than domestic sewage into the sewerage networks) is an offence under the *Utilities Act 2000*.
5. Where further construction works are planned, install a temporary hose cock adjacent to the meter. Retain the meter, meter box and hose cock for the duration of any building works. Identify, flag, barricade and protect the meter assembly from demolition operations and accidental damage. To avoid accidental wastage, turn off the isolation valve until required.
6. Where further construction works is not proposed to commence within 12 months from the date demolition commences, permanent disconnection and removal of the meter may be required. Please consult ActewAGL at this time for a definitive answer.
7. Flagging and protecting network isolation valves and hydrants (on the verge) from demolition operations and accidental damage.
8. Advising ActewAGL when demolition is complete. ActewAGL may take the opportunity to install a new isolation valve and meter assembly to the current ACTEW standard.

For more information contact:

ActewAGL Water division technical enquiry line

Phone: 6248 3555 (press '2' for Water)

Fax: 6242 1459

Or visit the customer service counter during business hours
12 Hoskins Street, Mitchell.



Electricity Networks

STATEMENT OF

CONDITIONAL COMPLIANCE

Application No: 124731 **Suburb:** Yarralumla **Block/Section** 6 / 11
Applcn Type: Single residential/New Construction with Demolition Inclusions : with Garage

Attached Plans

SITE-201121008-01.pdf
RSM Yarralumla 6-11.pdf

This application is approved subject to compliance with the following conditions:

Conditions

A new underground service is required.
Change of service is required. (see attached RSM)
Development is to comply with minimum 1.5m side boundary access to assets within the block.
Development is to comply with minimum clearances to overhead conductors. Ref ActewAGL Drawing 3811-004
The location of the proposed Point of Entry/ Meter Box is to comply with ActewAGL's Service and Installation rules.

Please Note

- WARNING ActewAGL underground cables may be in or adjacent to this block. It is your responsibility to ascertain the location of such assets.
- Development and Building Applications will need to include any proposed ActewAGL works.
- If ActewAGL approval conditions are not met, a breach of the law may result.
- Separate applications are required for water & sewerage and communication network services.
- Construction of unapproved works may result in action being taken to require the property owner to remove non-compliant structures and/or the property owner to fund rectification works on ActewAGL's electricity network.
- Any attached reticulation or servicing plan is preliminary only. Contact ActewAGL for final plans prior to the commencement of any construction activity.
- A failure of this application to show accurately located electricity assets may result in damage and costs for which the proponent will be liable. Damage to network assets must be reported to ActewAGL.

Comments:

Signed Paul Maguire

Date 13 Apr 2012

application number

124/3122464

Request for electricity service marking RSM 10146

Date lodged 20/12/11

Electrical contractor (Details marked with * are mandatory)

*Name [2 of 3] *Phone [] Facsimile [] *Builder name [] *Phone [] Facsimile []

Appointment details (ActewAGL use only)

Time [] Day [] Date [/ /] An appointment cannot be confirmed until the network assets have been inspected and the extent of any augmentation/maintenance determined. Call 6293 5749. ActewAGL fees (GST incl) \$ 688.00 This price and schedule of works will remain valid for sixty days (60) from the date below.

Location details (Items marked with * are mandatory)

*Suburb YARRALUMLA *Block 6 *Section 11 *Street address 17 BAILEY PC

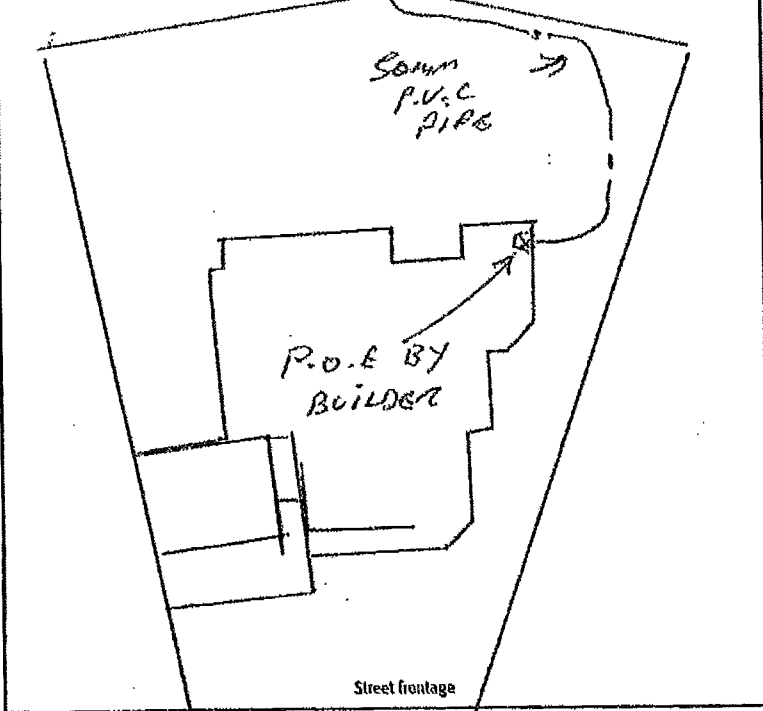
Request details* (Select required works. Attach sketch for clarity if necessary)

New underground [X] Change of service - OH to OH [] OH to UG [] UG to UG [] UG to OH [] Temporary supply [] New overhead [] Temporary change of service [] Demolition [] 1ø to 3ø to same POA (provide reason below) [] Additional information []

Servicing details (ActewAGL use only)

Pole number 6397 Inspection required - Yes [] No [X] Pole status - CONDEMNED [] OK [] Nailed [] Spare fuses available [] Insufficient fuseways - convert to laneway pillar / project [] Site access: Plant access available [] Plant type [] No plant access [] Number of phases ø on existing service [] Warning - additional live assets not included in the disconnection request are present on or adjacent to this site - Yes [] Additional information []

Sketch



Customer supplied works: CONTRACTOR TO INSTALL SOMN P.V.C PIPE 600MM DEEP WITH DRAIN WIRE READY & P.O.E BOX ON WALL BY BUILDER

ActewAGL field services works: ACTEW TO INSTALL 1x 3ø U/G

ActewAGL civil works contractor:

Customer service officer [Signature] Phone [] Date [/ /]

Field services use only

Works / variations recorded [] First move [] Second move [] Completed by [] Date [/ /]



3811-004

Application number
124731

Overhead conductors must not come within the shaded area

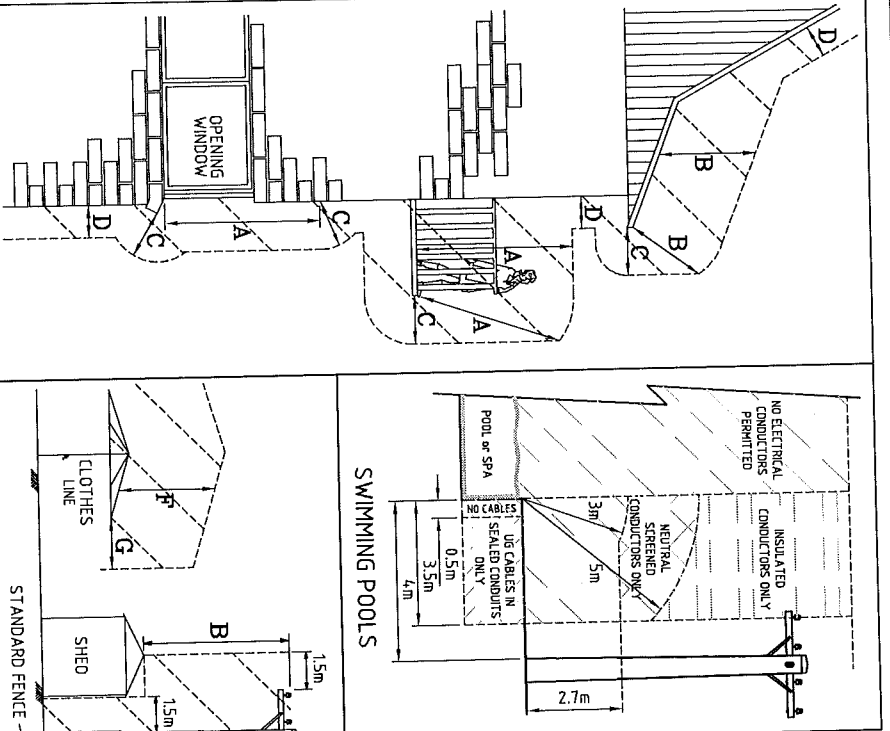


TABLE 1 - GROUND CLEARANCE (OTHER THAN INSULATED SERVICE CONDUCTORS)

LOCATION	DISTANCE TO GROUND IN ANY DIRECTION
OVER LAND WHICH DUE TO ITS STEEPNESS OR SWAMPINESS IS NOT ABLE TO BE TRAVERSED BY VEHICLES, OVER LAND OTHER THAN THE CARRIAGEWAY OF ROADS, OVER THE CARRIAGEWAY OF MINOR ROADS	4.5m
OVER LAND WHICH DUE TO ITS STEEPNESS OR SWAMPINESS IS NOT ABLE TO BE TRAVERSED BY VEHICLES, OVER LAND OTHER THAN THE CARRIAGEWAY OF ROADS, OVER THE CARRIAGEWAY OF MINOR ROADS	5.5m
OVER THE CARRIAGEWAY OF MAJOR ROADS	6m
OVER THE CARRIAGEWAY OF MAJOR ROADS	6.7m
OVER THE CARRIAGEWAY OF MAJOR ROADS	6.7m
OVER THE CARRIAGEWAY OF MAJOR ROADS	9m

TABLE 3 - CLEARANCE FROM STRUCTURES

LOCATION	DISTANCE TO GROUND IN ANY DIRECTION	CONDUCTOR
A	VERTICALLY (AND NEAR VERTICALLY), FROM ANY PART OF THE STRUCTURE NORMALLY ACCESSIBLE TO PEOPLE	INSULATED U<1kV
B	VERTICALLY (AND NEAR VERTICALLY), FROM ANY PART OF THE STRUCTURE NOT NORMALLY ACCESSIBLE TO PEOPLE BUT ON WHICH A PERSON CAN STAND	BARE or COVERED U<1kV
C	ANY DIRECTION (OTHER THAN VERTICALLY), FROM THOSE PARTS OF THE STRUCTURE NORMALLY ACCESSIBLE TO PERSONS, OR FROM ANY PART NOT NORMALLY ACCESSIBLE TO PERSONS BUT ON WHICH A PERSON COULD STAND, NORMALLY ACCESSIBLE TO PERSONS	BARE or INSULATED kV<U<33kV
D	ANY DIRECTION (OTHER THAN VERTICALLY), FROM ANY PART OF THE STRUCTURE NOT NORMALLY ACCESSIBLE TO PERSONS	1.5m
E	ANY DIRECTION, FROM AN OUTDOOR WIRES OR TELEVISION AERIAL OR PART OF A STAY WIRE FOR THE AERIAL	0.3m (note 3)
F	VERTICALLY FROM ANY PART OF A FULLY EXTENDED CLOTHES LINE	1.5m
G	ANY DIRECTION (OTHER THAN VERTICALLY), FROM ANY PART OF A FULLY EXTENDED CLOTHES LINE	1.8m
H	ANY DIRECTION, FROM THE OUTER EDGE OF THE WATER CONTAINER OF A SWIMMING POOL OR SPA OR THE MAXIMUM WATER LEVEL OF THE POOL (FIGURE IN BRACKETS INDICATES THE REQUIREMENT FOR A NEUTRAL SCREENED CABLE)	1.8m

TABLE 2 - GROUND CLEARANCE (INSULATED SERVICE CONDUCTORS)

LOCATION	DISTANCE TO GROUND IN ANY DIRECTION
OVER THE CENTRE OF A ROAD	5.5m
OVER ANY OTHER PART OF A ROAD	4.6m
OVER A FOOTWAY OR LAND THAT IS LIKELY TO BE USED BY HEAVY VEHICLES	4.6m
OVER A FOOTWAY OR LAND THAT IS NORMALLY USED ONLY BY MOTOR CARS OR VEHICLES OF SIMILAR HEIGHT ELSEWHERE	3.0m
OVER THE CENTRE OF A ROAD	2.7m

- GENERAL NOTES:**
1. THE MINIMUM DISTANCE FROM ANY PART OF AN AERIAL LINE IS TO BE MEASURED FROM THE NEAREST POINT TO WHICH THE LINE SAGS OR SWINGS. FOR SAG THIS IS AT THE MAXIMUM DESIGN OPERATING TEMPERATURE (NOMINALLY 65°C FOR DISTRIBUTION LINES AND 70°C FOR TRANSMISSION LINES). FOR SWING THIS IS AT THE MAXIMUM DESIGN WIND LOADING (50Pa WIND)
 2. COVERED CONDUCTORS TO BE TREATED AS BARE CONDUCTORS
 3. THIS CLEARANCE CAN BE FURTHER REDUCED TO ALLOW FOR TERMINATION AT THE POINT OF ATTACHMENT
 4. LOW VOLTAGE CONDUCTORS CONSTRUCTED PRIOR TO 1996 REQUIRE ONLY 4.5m GROUND CLEARANCE OVER LAND OTHER THAN ROADS
 5. MAJOR ROADS ARE DEFINED AS ROADS WITH DUAL CARRIAGEWAYS OR 7000kph (or GREATER) SPEED LIMIT. ALL OTHER ROADS SHALL BE CONSIDERED AS MINOR ROADS
- SWIMMING POOL NOTES:**
1. NEW AERIAL SERVICE LINES ARE NOT TO BE INSTALLED OVER AN OPEN AIR SWIMMING POOL OR SPA AND NEW SWIMMING POOLS OR SPAS ARE NOT PERMITTED UNDER EXISTING AERIAL SERVICE LINES
 2. INSULATED AERIAL SERVICE CONDUCTORS SHALL HAVE AT LEAST 5.0 METRES CLEARANCE TO THE EDGE OF THE SWIMMING POOL OR SPA. (3.0 METRES FOR NEUTRAL SCREENED AERIAL SERVICES)
 3. BARE CONDUCTORS ARE NOT PERMITTED ABOVE SWIMMING POOLS OR SPAS OR ABOVE THE AREA WITHIN 3.5m OF THE EDGE OF A SWIMMING POOL OR SPA
 4. PILES SHALL NOT BE LOCATED WITHIN 4m OF THE EDGE OF A SWIMMING POOL OR SPA
 5. UNDERGROUND CABLES ARE NOT PERMITTED WITHIN 3.5m OF THE EDGE OF AN INGROUND SWIMMING POOL OR SPA. THIS CAN BE REDUCED TO 0.5m PROVIDED THE CABLE IS INSTALLED IN A PLASTIC NON CONDUCTIVE PIPE AND ANY JOINS IN THE PIPE ARE MADE WATERPROOF WITH A NON CONDUCTIVE ADHESIVE.

MINIMUM CLEARANCES INSULATED & BARE OVERHEAD CONDUCTORS

Scale	Date	Start
M/S	15-10-99	
File	Year/No	
Cost No	Year/No	

3811-004

No	REVISION	DATE	BY	AUTH
1		3-10-02	GA	DH
2			GA	DH
3			GA	DH
4			GA	DH
5			GA	DH
6			GA	DH
7			GA	DH
8			GA	DH
9			GA	DH
10			GA	DH
11			GA	DH
12			GA	DH

3811-004

ActewAGL

Gas Networks

STATEMENT OF

CONDITIONAL COMPLIANCE

For Residential except High Rise

Application No: 124731

Drawings in set: 16

Block: 6

Section: 11

Suburb: Yarralumla

This application has been assessed against legislation protecting ActewAGL's gas infrastructure and access to it.

This application is approved subject to compliance with the following conditions:

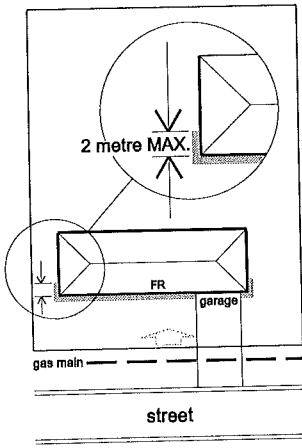
- Attached statement for Gas Networks
- The location and area allocated for gas regulating and metering equipment is to comply with ActewAGL standards. The following documents provide guidance:
Ref ActewAGL Drawings (attached): "Exclusion Zone – Domestic Meter Installation"
"Domestic Gas Meter Location Reference Drawings"
Ref ActewAGL Document (attached): "Gas Metering Equipment – Prohibited Locations"
- Development is to comply with minimum separation requirements to underground assets
 - 300mm minimum clearance from major plastic and steel gas mains and steel gas services
 - 150mm minimum clearance from other plastic gas mains and services
- A metering equipment upgrade may be required. A licensed gas fitter should verify loads and metering equipment capacities.
- If a meter relocation or service pipe relocation is required in order to comply with ActewAGL standards, please contact your gas retailer and book a meter relocation. Only people accredited by ActewAGL can carry out this work.
- Compliance with ActewAGL's Service and Installation Rules and all other relevant legislation including the ACT Utilities Act (2000)
- Other:

Please note:

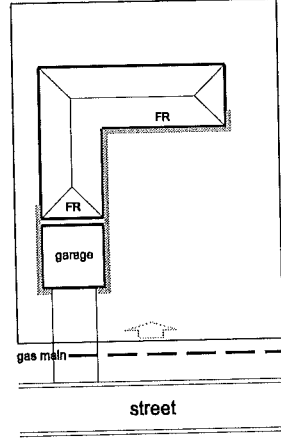
- **WARNING:** ActewAGL underground gas pipes may be in or adjacent to this block. ActewAGL Asset Location Advice may be required. Call Dial Before You Dig on 1100 prior to excavating.
- Development and Building Applications will need to include any proposed ActewAGL works
- If ActewAGL approval conditions are not met, a breach of the law may result.
- Separate applications are required for water & sewerage, electricity and communication network services.
- Construction of unapproved works may result in action being taken to require the property owner to remove non-compliant structures and/or the property owner to fund rectification works on ActewAGL's gas network
- Any attached reticulation or servicing plan is preliminary only. Contact ActewAGL for final plans prior to the commencement of any construction activity

For further information please phone Steve Donnelly - Jemena 6203 0640

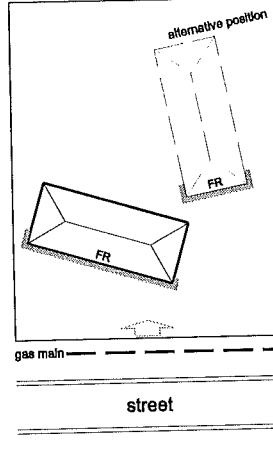
DOMESTIC GAS METER LOCATION REFERENCE DRAWINGS



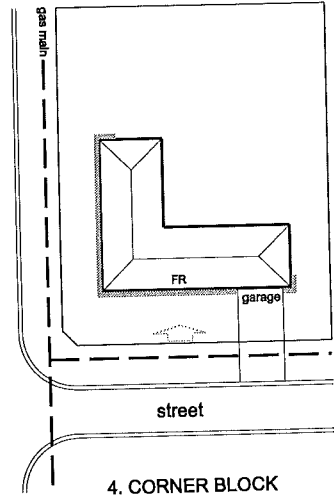
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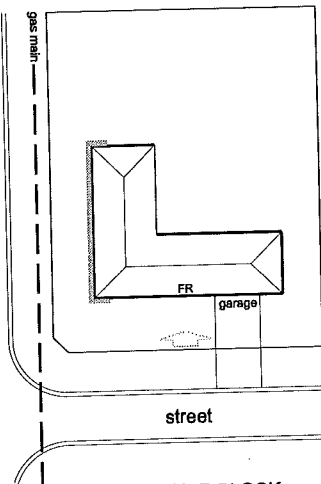
2. DETACHED GARAGE AT FRONT



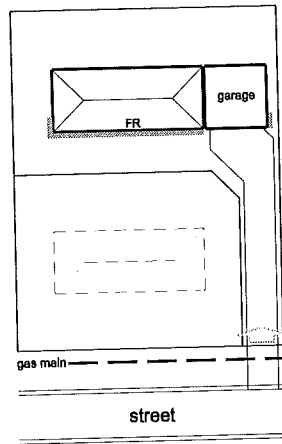
3. ANGLED HOUSE



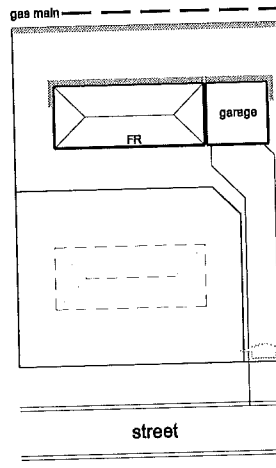
4. CORNER BLOCK
GAS ON TWO SIDES



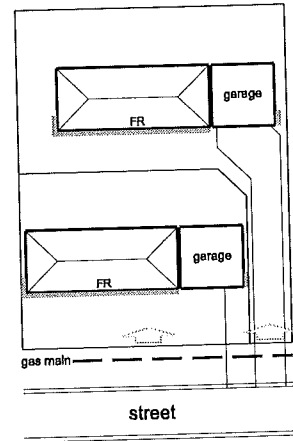
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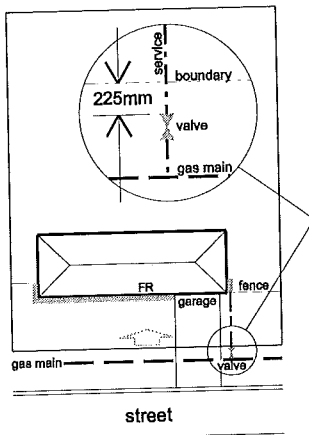
6. BATTLE-AXE BLOCK
GAS AT FRONT



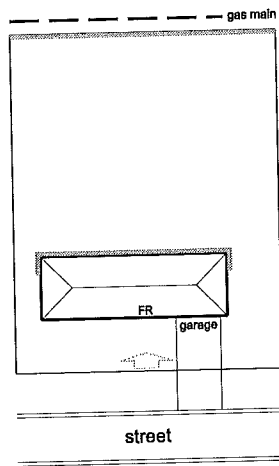
7. BATTLE-AXE BLOCK
GAS AT REAR



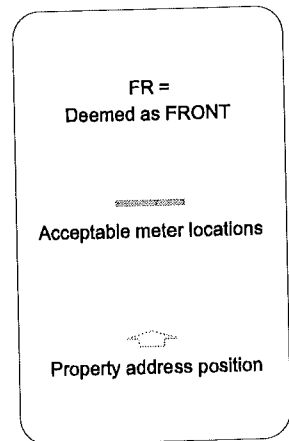
8. DUAL OCCUPANCY



9. METER BEHIND LOCKABLE
GATE, FENCE, OR BARRIER



10. MAIN AT REAR OF BLOCK



LEGEND:



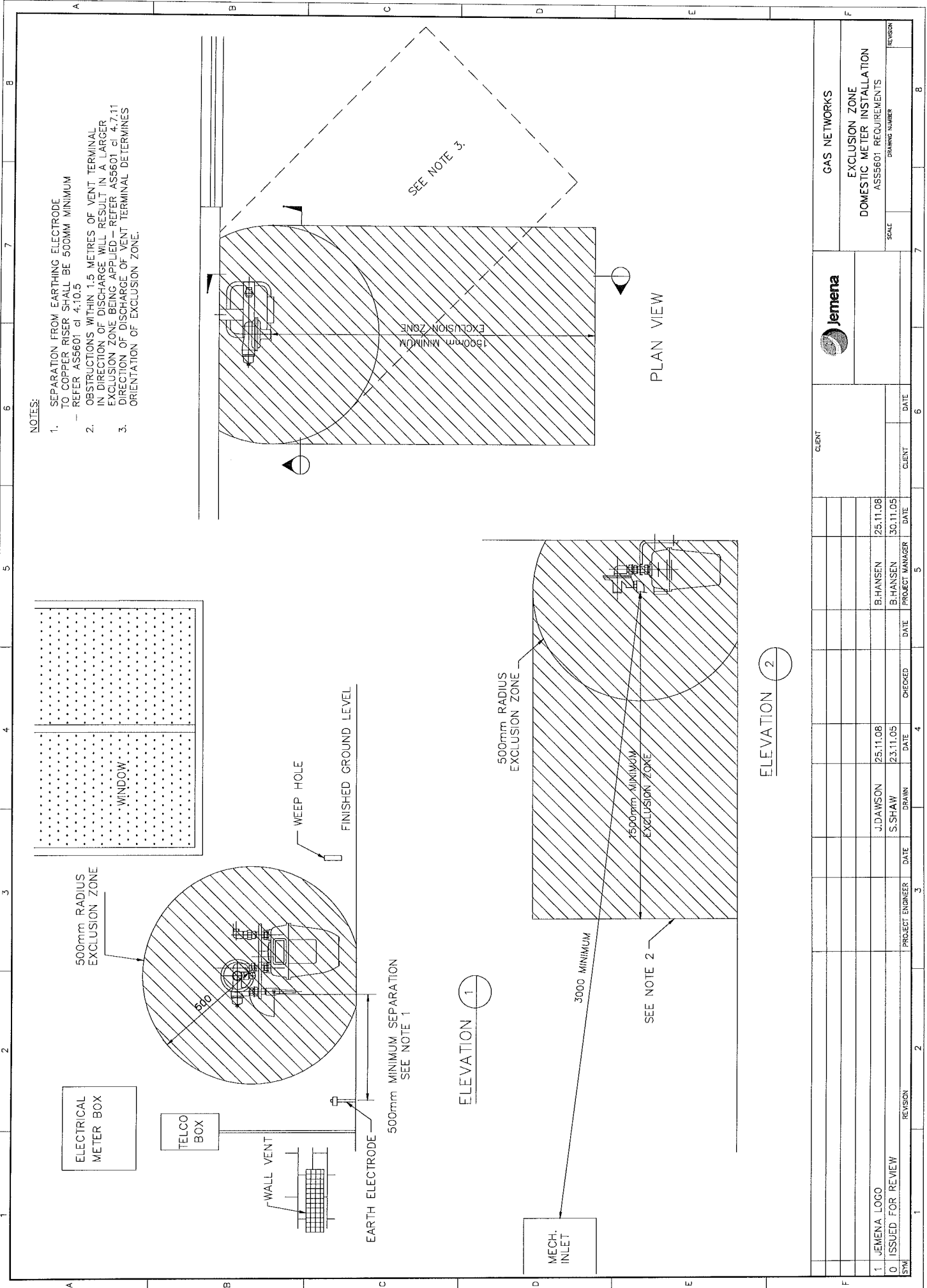
Gas Networks

Gas Metering Equipment Prohibited Locations

Metering equipment must not be installed in the following locations unless specifically approved by **ActewAGL**:

- (a) a bedroom;
- (b) a lift shaft or lift motor room;
- (c) a room specifically intended for electrical switchgear;
- (d) a fire-isolated stairway or passage;
- (e) a fire hydrant duct or hose reel cabinet;
- (f) sprinkler or hydrant pump room;
- (g) near a source of ignition;
- (h) in a position that would obstruct egress from a building;
- (i) in a position where the meter would be subject to physical damage unless adequately protected;
- (j) in an area where excessive temperatures or sudden excessive changes in temperature may occur;
- (k) in an area of excessive vibration;
- (l) in the foundation area under a building;
- (m) in a cavity wall, unless installed in a ventilated enclosure which meets the requirements of **ActewAGL**, and the cavity is sealed;
- (n) in a position where access for reading or maintenance is restricted;
- (o) in an unventilated position; or
- (p) on the ground, a floor which is frequently wetted or on a floor which contains material which may corrode the meter.

For further information please phone Steve Donnelly – Jemena 6203 0640



		CLIENT		DATE		DATE		DATE	
GAS NETWORKS		EXCLUSION ZONE		DOMESTIC METER INSTALLATION		SCALE		DRAWING NUMBER	
ASS5601 REQUIREMENTS		REVISION		REVISION		REVISION		REVISION	
1	JEMENA LOGO	J.DAWSON	25.11.08	B.HANSEN	25.11.08	B.HANSEN	25.11.08	B.HANSEN	25.11.08
0	ISSUED FOR REVIEW	S.SHAW	23.11.05	S.HANSEN	30.11.05	B.HANSEN	30.11.05	B.HANSEN	30.11.05
SYM	REVISION	PROJECT ENGINEER	DATE	CHECKED	DATE	PROJECT MANAGER	DATE	CLIENT	DATE

Johnston, HeatherG

From: Majid, Fawzia
Sent: Tuesday, 15 May 2012 2:26 PM
To: 'Storybook Cottages'
Subject: RE: Additional Information required for DA 201121008 - Block 6 Section 11 Yarralumla

Please see the advice below received from the conservator regarding your application.

Conservator's Advice:

There is no Tree Management Plan to protect the excellent value oak in the back yard and the oak in the front yard. Unless an alternative plan is supplied, the development can only be approved under the following conditions:

1. The trees shall be fenced off by a continuous 1800 mm high chain wire protective fence, no closer than a minimum distance of 5m from the trunk of the tree on all sides, other than at the boundary fence unless otherwise agreed to in writing by the Conservator.
2. The protective fence shall be erected prior to the commencement of any construction/demolition works on any part/stage of the development and shall remain in place until all construction works are completed.
3. The protective fence shall be maintained in good order for the duration of the building works.
4. A copy of this decision shall be kept on site from the time that the protective fences are erected to the time that all works are completed on site.
5. No work, that includes but is not limited to, excavation (e.g. for services including gas, water, sewer, stormwater, electricity, telecommunications, footings and irrigation) or modification of existing ground levels and placement of site sheds, building materials, equipment, fill or vehicles shall occur within the tree protection zone (dropline + 2 metres), except for construction of the footings for the residence.
6. Services that need to be installed within the tree protection zone of the tree shall be under bored unless otherwise agreed in writing by the Conservator.
7. The proposed gazebo shall be built without disturbing the tree roots or compacting the soil. Minor pier footings are allowed if dug by hand avoiding all roots with a diameter of 30mm or over.
8. No basements are permitted within the tree protection zone of the trees.
9. Within the tree protection zone the proposed dwelling and associated veranda shall be constructed using low impact footings (e.g. pier and beam, rebated edge footings or screw in type footings) with a suspended floor within the tree protection zone. A low impact footing does not cut into the root system, except for isolated piers.
10. Excavation for footings of the residence/garage within the tree protection zone shall be undertaken in such a manner that no roots with a diameter greater than 50mm are damaged and any roots uncovered with a diameter greater than 50mm shall be bridged over.
11. Any proposed paving, foot paths or driveway within the tree protection zone shall be constructed of porous material, with porosity of no less than 20%.
12. If root pruning/removal is required, roots shall be cut cleanly (not pulled, torn or ripped).
13. Exposed roots shall be kept damp and backfilled as soon as possible.
14. Any pruning to remove branches interfering with the roof line of the residence/garage shall be conducted in accordance with Australian Standard 4373 'Pruning of amenity trees'.
15. Any pruning to remove branches interfering with the building walls shall be conducted in accordance with Australian Standard 4373 'Pruning of amenity trees'. Any scaffolding, if required, shall be erected in such a way that no additional pruning is required.
16. All relevant plans shall be revised (and be consistent with one another) to address the conditions above and shall be lodged with and approved by the ACT Planning and Land Authority prior to the commencement of any construction works.

Please address no.9 on your plans/drawings and send it through to my e-mail.

Kind Regards

Fawzia Majid | Development Assessment - South

Phone 02 6205 9875 | Fax 02 6207 1856

Planning Delivery Division | Environment and Sustainable Development | ACT Government

Dame Pattie Menzies House, Challis Street, Dickson | GPO Box 1908 Canberra ACT 2601 | www.environment.act.gov.au

From: Storybook Cottages [REDACTED]
Sent: Thursday, 10 May 2012 3:55 PM
To: Majid, Fawzia
Subject: Additional Information required for DA 201121008 - Block 6 Section 11 Yarralumla

Dear Fawzia,

Please find attached additional information requested for the above application. Please let me know if there is anything else you require.

Regards,

[REDACTED]

[REDACTED]

Planning & Permits Dept.

Storybook Cottages

[REDACTED]

web www.storybook.com.au

NOTICE

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AM:M1333cv:P1

19 January, 2012

**Att: Syed Ali - Planning Department.
ACT Planning & Land Authority**

Clients : [REDACTED]
Property : [REDACTED]

Proposal : **Demolition of existing dwelling. Construction of a new dwelling with garage, swimming pool & pool house.**

Block 6 Section 11 - Statement Against the Relevant Criteria

PART A ELEMENT 2.2: Building Envelope
Rule 3 b) ii) Not met

Reason:

Narrow frontage on wedge-shaped block requires large setback of primary building zone. which results in non compliance of side setbacks in rear zone.

Criteria 3

As it is 14m from the rear boundary to the two storey component of the dwelling and there is a low, single storey component on the north side, there will be no impact on the privacy and solar access of adjacent dwellings and their private open space.

PART C ELEMENT 2.2: Side Setback
Rule 31 Not met

Reason:

The shape and size of the block and location of protected trees restricts the usable area for the siting of the dwelling.

Criteria 31

The spatial separation has been improved from the existing situation where the house is on the boundary. We have changed Window 25 to obscure glass and added a screen to the balcony to overcome any potential overlooking issues. On the adjacent block to the SE, the outdoor area appears to be on the opposite side of the house and there are large trees on the boundary, so that it is unlikely that there will be overshadowing or privacy issues from our proposal. As the plot ratio is only about 30%, this further minimizes any impact.

As the front 13m of the block are virtually unusable it would seem that the block should be assessed under the requirements for a smaller block because of the wedge shape. Other houses in the street, including the existing dwelling do not comply because of the shape of the blocks as evidenced by their close proximity to their rear boundaries.

Please contact us by Phone on (03) 9787 5500, or by fax on (03) 9787 5566 if you have any queries.

Yours Faithfully

[REDACTED]
STORYBOOK COTTAGES (AUST.) PTY. LTD.
Permit Administrator

SHADOW DIAGRAM

1:200 SCALE ± 1% - SUMMER SOLSTICE

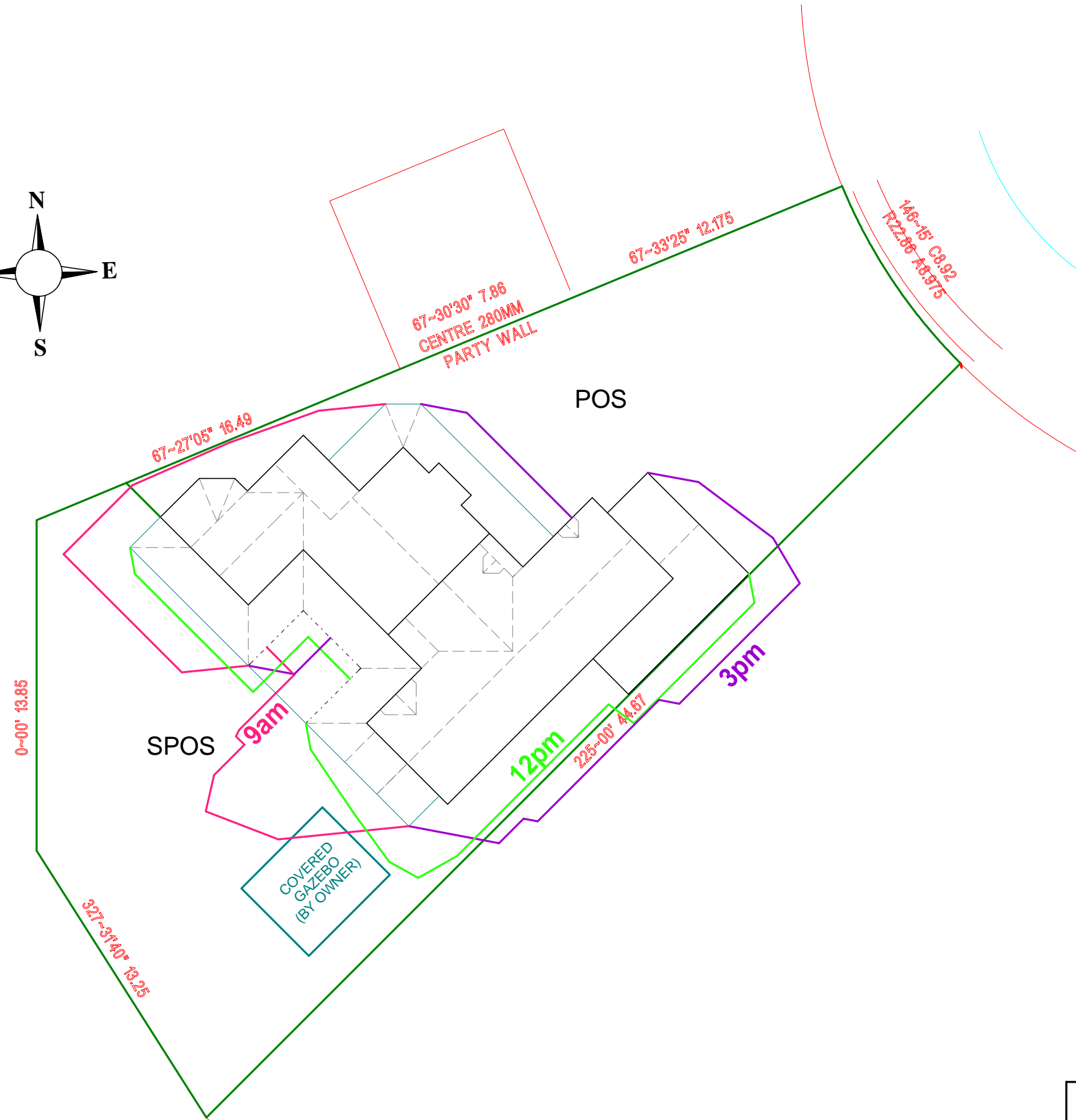
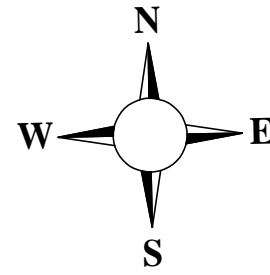
JOB No. - M1333cv
DESIGN - BAILEY PLACE (MOD)
YARRALUMLA ACT 2600

DRAWING NO. 1 OF 2 (A3 PAGES)
DRAWN BY - N. CAIRNS-MALCOLM
VICTORIAN BUILDING PRACTITIONER
REGISTRATION NUMBER DP-1883
STORYBOOK COTTAGES (AUST.) P/L

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ADDITIONAL
INFORMATION
10-5-2012



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SHADOW DIAGRAM

1:200 SCALE ± 1% - WINTER SOLSTICE

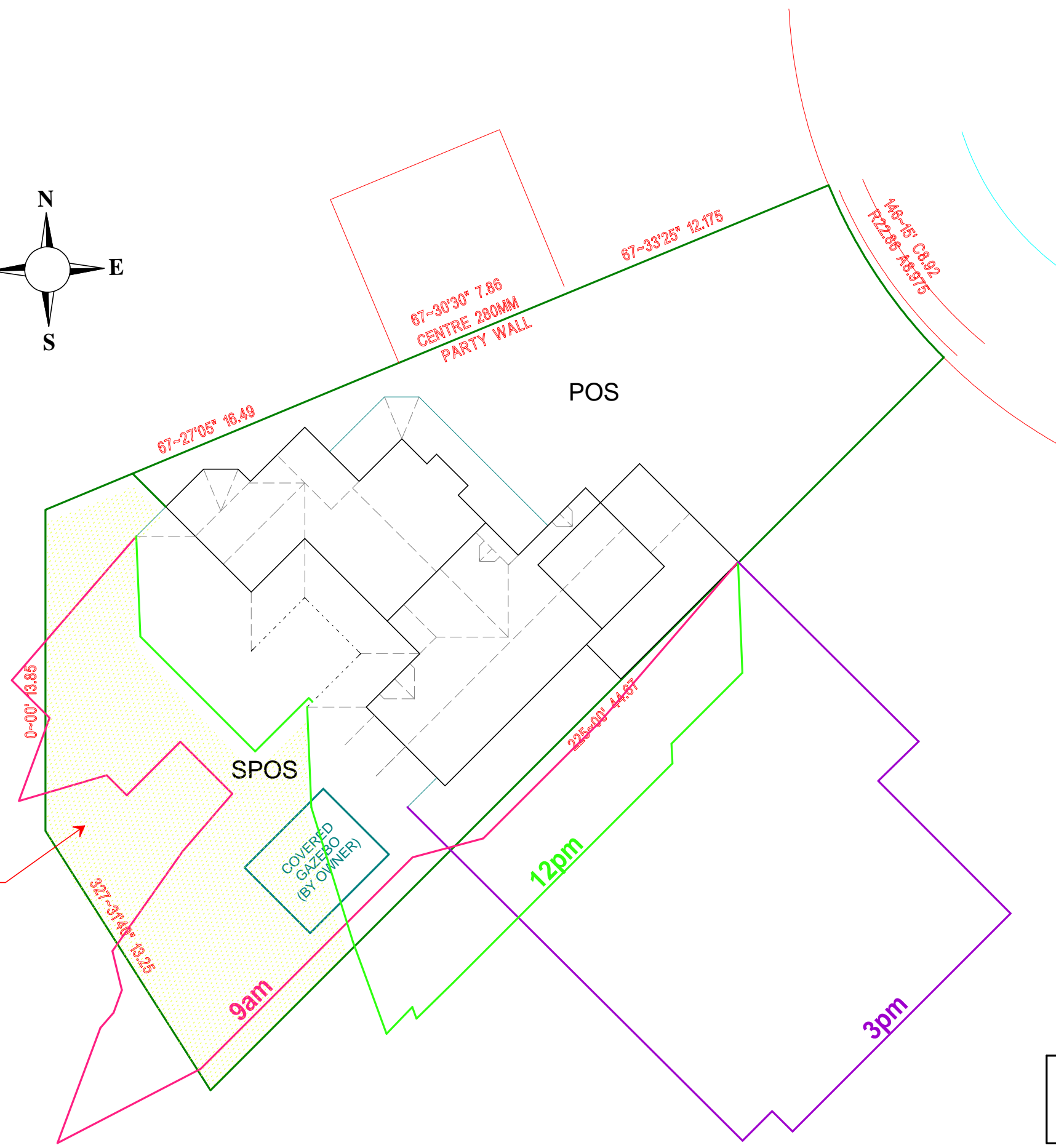
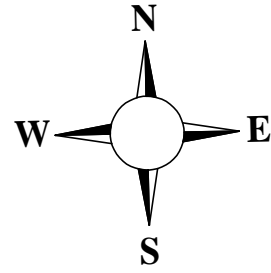
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ADDITIONAL
INFORMATION
10-5-2012



SECLUDED PRIVATE OPEN SPACE WITH 3 HOURS
SUNLIGHT FROM 9am - 3pm WINTER SOLSTICE.

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INCLUDING EASEMENT LOCATION, PROPERTY
DIMENSIONS, ANGLES ETC. MUST BE CONFIRMED
USING A COPY OF TITLE, PLAN OF SUBDIVISION,
PLAN OF SURVEY OR THE LIKE..

Johnston, HeatherG

From: [redacted] on behalf of ActewAGL [redacted]
Sent: Friday, 13 April 2012 9:11 AM
To: ACTPLA Customer Services
Subject: ActewAGL - Notification of Building Application - Application ID : 124731
Attachments: Gas Conditional Compliance Statement_124731.pdf; Exclusion Zone - Domestic Meter Installations.pdf; Gas Metering Equipment - Prohibited Locations.pdf; Meter Exclusion Zone.pdf; Statement of Compliance Information Sheet.pdf; SITE-201121008-01_Gas.pdf

Your application has been assessed by ActewAGL and conditionally complies with our Gas Networks requirements.

Please find attached, your stamped plans together with a statement of conditional compliance, which indicates ActewAGL's conditions of approval.

Separate compliance statements are required from other utilities (eg: electricity, water and sewerage, stormwater and communications)

Regards

[redacted]
Network Development Manager



Jemena Gas Networks (NSW) Limited, Unit 1/5-7 Johns Place Hume ACT 2620

[redacted]

www.thenaturalchoice.au

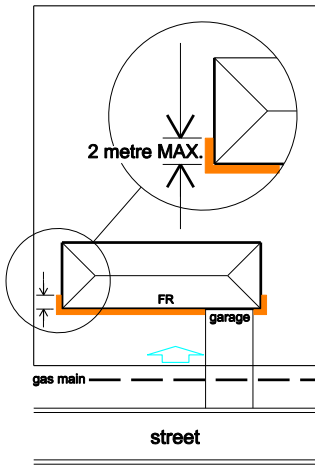
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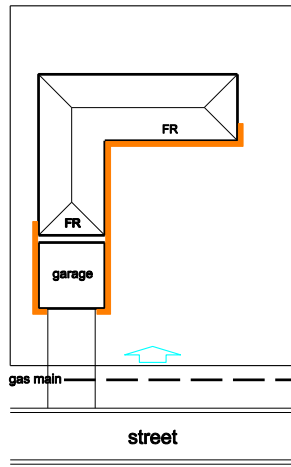
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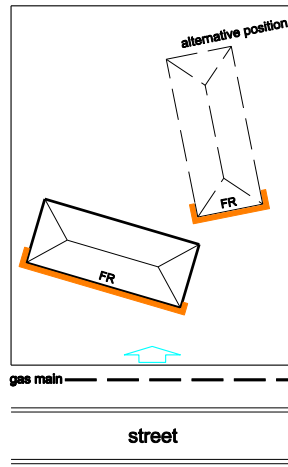
DOMESTIC GAS METER LOCATION REFERENCE DRAWINGS



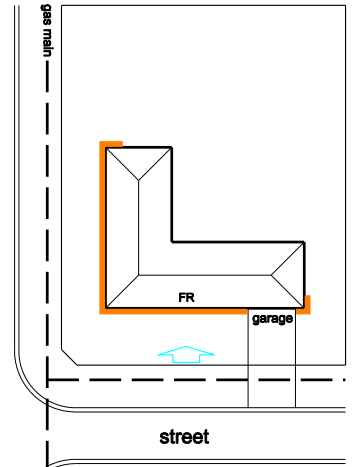
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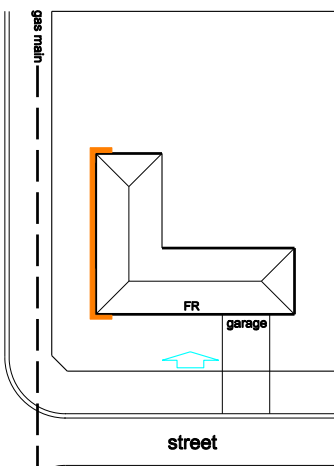
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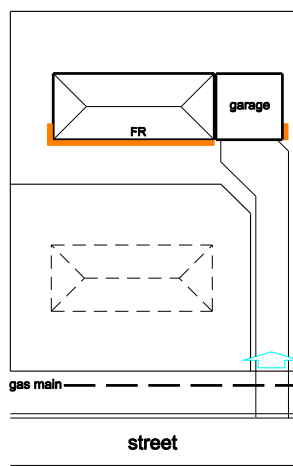
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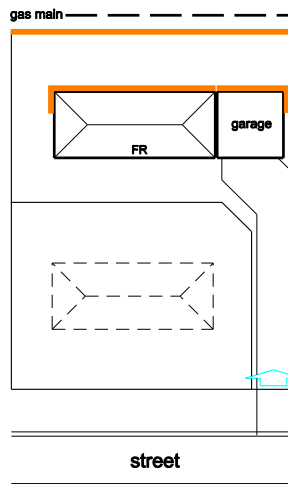
4. CORNER BLOCK
GAS ON TWO SIDES



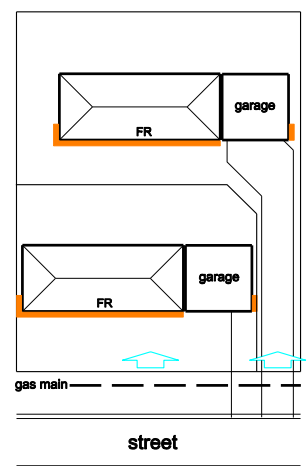
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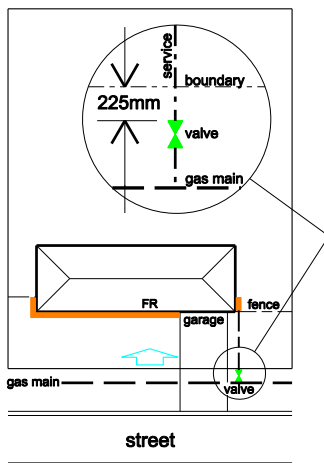
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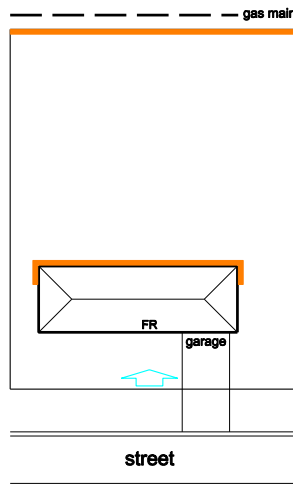
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GAS AT REAR



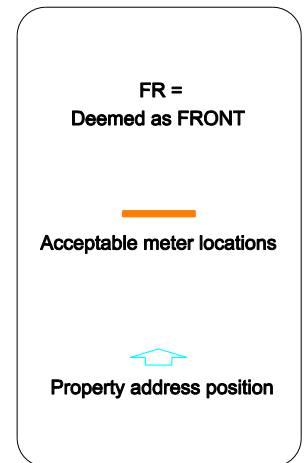
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9. METER BEHIND LOCKABLE
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10. MAIN AT REAR OF BLOCK



LEGEND:



Gas Networks

STATEMENT OF

CONDITIONAL COMPLIANCE

For Residential except High Rise

Application No: 124731

Drawings in set: 16

Block: 6

Section: 11

Suburb: Yarralumla

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- Other:

Please note:

- **WARNING:** ActewAGL underground gas pipes may be in or adjacent to this block. ActewAGL Asset Location Advice may be required. Call Dial Before You Dig on 1100 prior to excavating.
- Development and Building Applications will need to include any proposed ActewAGL works
- If ActewAGL approval conditions are not met, a breach of the law may result.
- Separate applications are required for water & sewerage, electricity and communication network services.
- Construction of unapproved works may result in action being taken to require the property owner to remove non-compliant structures and/or the property owner to fund rectification works on ActewAGL's gas network
- Any attached reticulation or servicing plan is preliminary only. Contact ActewAGL for final plans prior to the commencement of any construction activity

For further information please phone



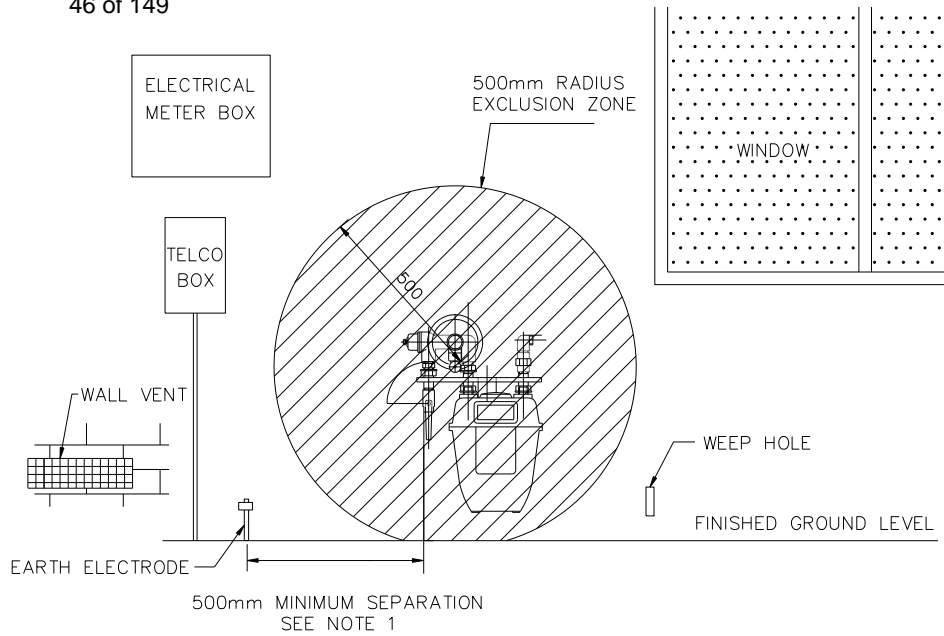
Gas Metering Equipment Prohibited Locations

Metering equipment must not be installed in the following locations unless specifically approved by **ActewAGL**:

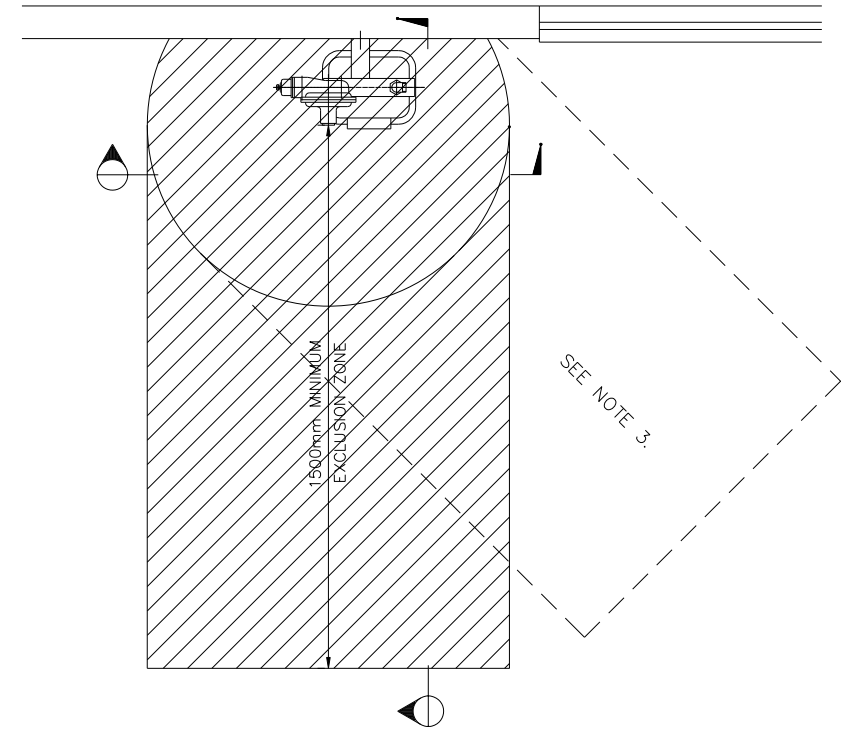
- (a) a bedroom;
- (b) a lift shaft or lift motor room;
- (c) a room specifically intended for electrical switchgear;
- (d) a fire-isolated stairway or passage;
- (e) a fire hydrant duct or hose reel cabinet;
- (f) sprinkler or hydrant pump room;
- (g) near a source of ignition;
- (h) in a position that would obstruct egress from a building;
- (i) in a position where the meter would be subject to physical damage unless adequately protected;
- (j) in an area where excessive temperatures or sudden excessive changes in temperature may occur;
- (k) in an area of excessive vibration;
- (l) in the foundation area under a building;
- (m) in a cavity wall, unless installed in a ventilated enclosure which meets the requirements of **ActewAGL**, and the cavity is sealed;
- (n) in a position where access for reading or maintenance is restricted;
- (o) in an unventilated position; or
- (p) on the ground, a floor which is frequently wetted or on a floor which contains material which may corrode the meter.

NOTES:

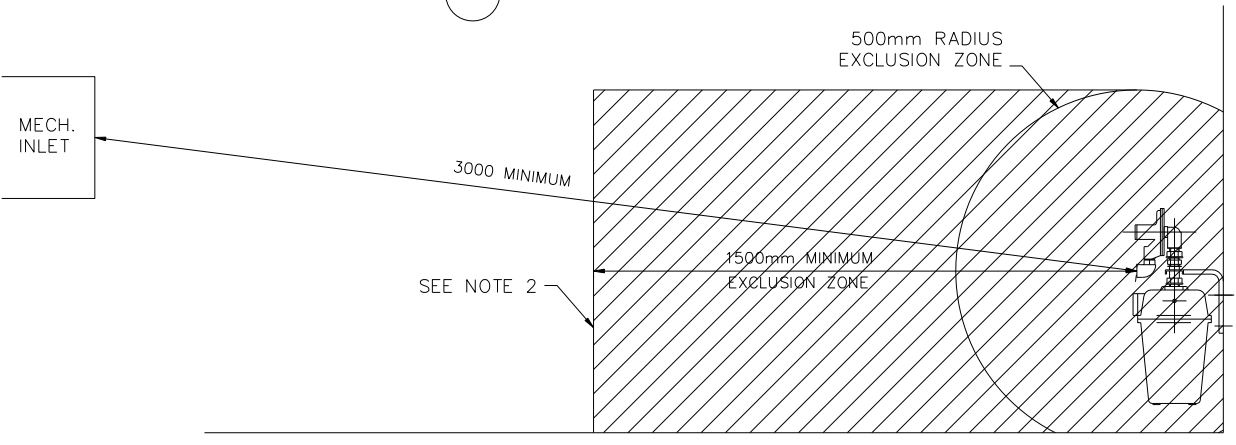
1. SEPARATION FROM EARTHING ELECTRODE TO COPPER RISER SHALL BE 500MM MINIMUM - REFER AS5601 cl 4.10.5
2. OBSTRUCTIONS WITHIN 1.5 METRES OF VENT TERMINAL IN DIRECTION OF DISCHARGE WILL RESULT IN A LARGER EXCLUSION ZONE BEING APPLIED - REFER AS5601 cl 4.7.11
3. DIRECTION OF DISCHARGE OF VENT TERMINAL DETERMINES ORIENTATION OF EXCLUSION ZONE.




ELEVATION 1



PLAN VIEW



ELEVATION 2

										CLIENT				GAS NETWORKS		
														EXCLUSION ZONE DOMESTIC METER INSTALLATION ASS5601 REQUIREMENTS		
1	JEMENA LOGO			J.DAWSON	25.11.08			B.HANSEN	25.11.08							
0	ISSUED FOR REVIEW			S.SHAW	23.11.05			B.HANSEN	30.11.05							
SYM	REVISION	PROJECT ENGINEER	DATE	DRAWN	DATE	CHECKED	DATE	PROJECT MANAGER	DATE	CLIENT	DATE	SCALE	DRAWING NUMBER	REVISION		

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Registration number
124731
Sheet
2 of 3



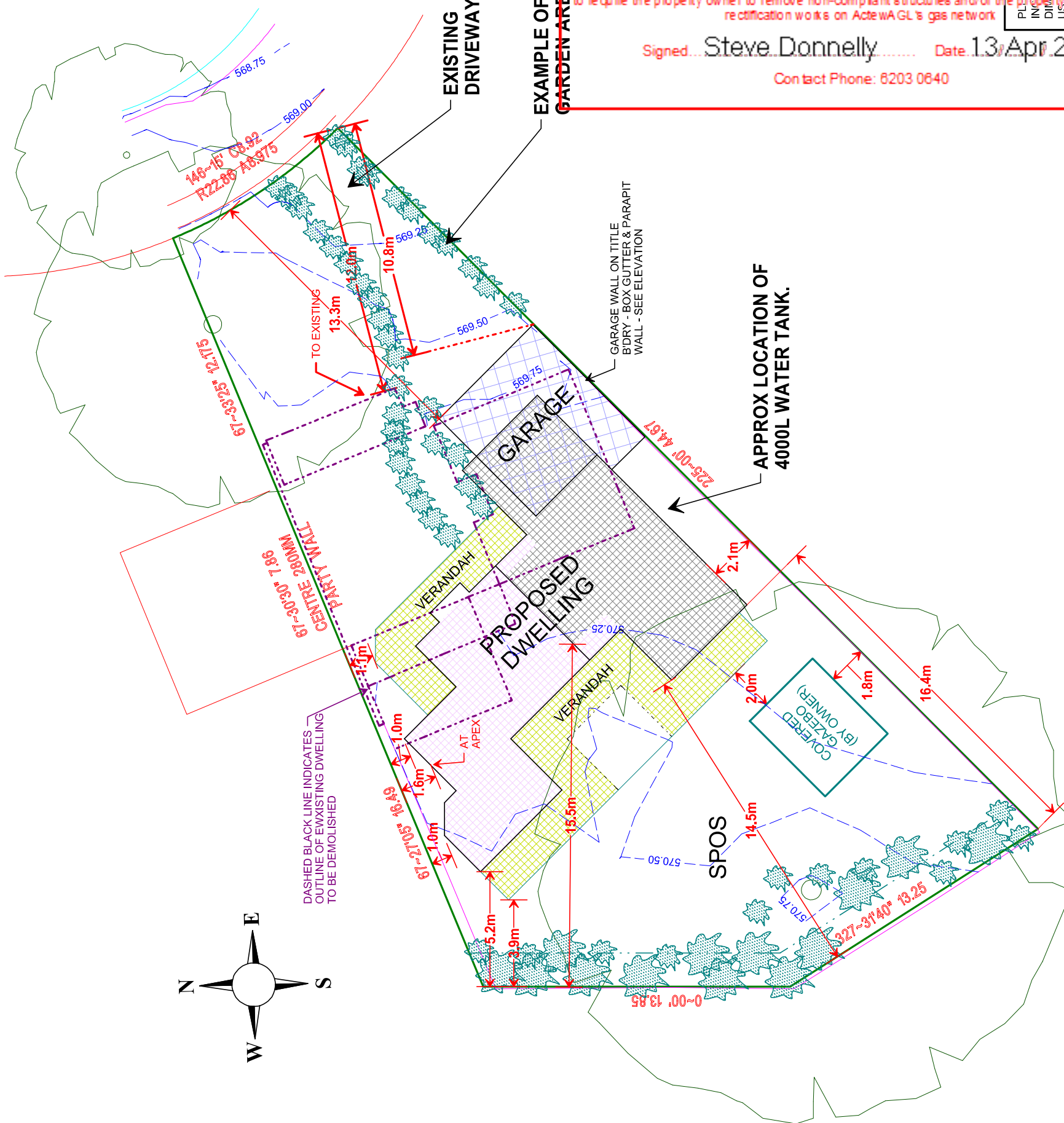
DRAWING NO. # OF # (A3 PAGES)
DRAWN BY - N. CAIRNS-MALCOLM
VICTORIAN BUILDING PRACTITIONER
REGISTRATION NUMBER DP-1883
STORYBOOK COTTAGES (AUST.) P/L

JOB No. - M1333cv
DESIGN - BAILEY PLACE (MOD)
YARRALUMLA ACT 2600

SITE PLAN

1:200 SCALE ± 1%.

Storybook Cottages
Traditional Contemporary Classic



ActewAGL
Gas Networks

CONDITIONALLY COMPLIES

This document has been assessed against legislation protecting ActewAGL's infrastructure and access to it.
The information contained in this application complies with ActewAGL's gas network protection and access requirements subject to the conditions as listed on the Statement of Conditional Compliance

Please note: Construction of unapproved works may result in action being taken to require the property owner to remove non-compliant structures and/or the property owner to fund rectification works on ActewAGL's gas network

Signed... Steve Donnelly... Date: 13 Apr 2012

Contact Phone: 8203 0640

PLEASE NOTE: ALL PROPERTY INFORMATION INCLUDING EASEMENTS, LOCATION, PROPERTY DIMENSIONS, HEIGHTS, ETC. MUST BE CONFIRMED USING A COPY OF TITLE, PLAN OF SUBDIVISION, PLAN OF SURVEY OR THE LIKE...

FT COR AREA ANALYSIS	ACTEWAGL
GRASS	116.7 m ²
DRIVEWAY	68.4 m ²
DECKS/VERANDAHS	61.5 m ²
CARPORT	41.6 m ²
TOTAL	288.7 m ²



‘STATEMENT OF COMPLIANCE’ INFORMATION SHEET

The following requirements must be included in an application that is made under the Planning and Development Act 2007 and/or the Building Act 2004 to ActewAGL when seeking an Electricity & Gas Networks ‘statement of compliance’.

General Requirements for all Development Applications

Provide plans which are to include the following:

- A designated scale, for example 1:500, 1:200, 1:100, 1:50 with Bar Scale
- Proposed and existing structures including basements, driveways, gates, fencing, sheds, rainwater tanks and retaining walls
- Accurately located and dimensioned ActewAGL electricity & gas assets within the block and those located within 5 metres of any boundary of the block (Contact Dial-Before-You-Dig on 1100 for asset maps)
- Dimensioned distance of all structures that are within 5 metres of ActewAGL electricity & gas assets
- Any electricity or gas easements on the block
- Elevations & sections of proposed structures

Specific Requirements for Type of Development

Single Dwelling/Dual Occupancy

- As per General Requirements above

Multiple Unit and High Rise residential

- As per General Requirements above
- Number of units
- Number of bedrooms per unit
- Detailed Maximum Demand Calculation as per AS 3000 (electricity)
- Detailed MJ load of the installation and appliances (gas)
- Net Floor Area of common areas and their use
- Net Floor area of Basement and form of ventilation
- Type of cooking, space & water heating and cooling (gas, electric etc)
- Details of central hot water installation



Non-Residential & Mixed Use

- As per General Requirements above
- Type of development (office, retail, warehouse, industrial etc)
- Timing of the development
- Staging of the development
- Net useable floor areas and their usage
- Net floor area of Basement and form of ventilation
- Type of cooking, space & water heating and cooling (gas, electric etc)
- A list of the load components of the proposed installation with their maximum demands, diversity factors, etc
- Information on load management system (if applicable)
- Duty cycle of any large equipment or duty cycle of an industrial process
- Details of any substantial intermittent and fluctuating loads
- Details of any large single phase loads
- Details of any loads likely to cause substantial harmonics
- Details of any loads which are likely to have poor power factors
- Any seasonal factors, i.e. seasonal variation of load
- Main factors affecting level of demand
- Removal of any part of an existing installation
- Any planned future augmentations or upgrades
- Any on site emergency back up arrangements
- Details of large starting motors and voltage drop limitations
- Detailed Maximum Demand Calculation as per AS 3000 (electricity)
- Detailed MJ load of the installation and appliances (gas)
- Type B gas appliance details
- Number of units
- Number of bedrooms per unit

Demolitions

- Warning: You must contact ActewAGL prior to commencement of demolition works**



For further information

Information about any of the requirements raised in this document can be obtained by contacting the following:

ActewAGL Electricity Networks: 6293 5770

ActewAGL Gas Networks: 6203 0640

Please note: Separate applications are required for ActewAGL's water & sewerage networks; and to other utility providers such as stormwater or telecommunications.

To lodge an electricity or gas compliance application:

Bring your drawings to the Networks Service Centre; or:

Send electronically to ActewAGL: email: devapp@actewagl.com.au

The protocols for submitting an electronic application are:

- ❖ Drawings in A3 format (each PDF to be no larger than 2 megabytes in size).
- ❖ Send one email for each application.
- ❖ Each PDF can contain multiple drawings however if you have more than 5 PDFs in an application, please send multiple emails (i.e. part 1, part 2 etc..)

Johnston, HeatherG

From: McKeown, Helen
Sent: Tuesday, 17 April 2012 8:57 AM
To: ACTPLA Customer Services
Cc: Dojic, Rosie
Subject: Comm Trees 201121008 Block 6 Section 11 Yarralumla

Conservators Advice

Section 82 Tree Protection Act 2005.

I refer to Development Application 201121008 relating to Block 6 Section 11 Yarralumla.

There is no Tree Management Plan to protect the excellent value oak in the back yard and the oak in the front yard. Unless an alternative plan is supplied, the development can only be approved under the following conditions:

1. The trees shall be fenced off by a continuous 1800 mm high chain wire protective fence, no closer than a minimum distance of 5m from the trunk of the tree on all sides, other than at the boundary fence unless otherwise agreed to in writing by the Conservator.
2. The protective fence shall be erected prior to the commencement of any construction/demolition works on any part/stage of the development and shall remain in place until all construction works are completed.
3. The protective fence shall be maintained in good order for the duration of the building works.
4. A copy of this decision shall be kept on site from the time that the protective fences are erected to the time that all works are completed on site.
5. No work, that includes but is not limited to, excavation (e.g. for services including gas, water, sewer, stormwater, electricity, telecommunications, footings and irrigation) or modification of existing ground levels and placement of site sheds, building materials, equipment, fill or vehicles shall occur within the tree protection zone (dropline + 2 metres), except for construction of the footings for the residence.
6. Services that need to be installed within the tree protection zone of the tree shall be under bored unless otherwise agreed in writing by the Conservator.
7. The proposed gazebo shall be built without disturbing the tree roots or compacting the soil. Minor pier footings are allowed if dug by hand avoiding all roots with a diameter of 30mm or over.
8. No basements are permitted within the tree protection zone of the trees.
9. Within the tree protection zone the proposed dwelling and associated veranda shall be constructed using low impact footings (e.g. pier and beam, rebated edge footings or screw in type footings) with a suspended floor within the tree protection zone. A low impact footing does not cut into the root system, except for isolated piers.
10. Excavation for footings of the residence/garage within the tree protection zone shall be undertaken in such a manner that no roots with a diameter greater than 50mm are damaged and any roots uncovered with a diameter greater than 50mm shall be bridged over.
11. Any proposed paving, foot paths or driveway within the tree protection zone shall be constructed of porous material, with porosity of no less than 20%.
12. If root pruning/removal is required, roots shall be cut cleanly (not pulled, torn or ripped).
13. Exposed roots shall be kept damp and backfilled as soon as possible.
14. Any pruning to remove branches interfering with the roof line of the residence/garage shall be conducted in accordance with Australian Standard 4373 'Pruning of amenity trees'.
15. Any pruning to remove branches interfering with the building walls shall be conducted in accordance with Australian Standard 4373 'Pruning of amenity trees'. Any scaffolding, if required, shall be erected in such a way that no additional pruning is required.

16. All relevant plans shall be revised (and be consistent with one another) to address the conditions above and shall be lodged with and approved by the ACT Planning and Land Authority prior to the commencement of any construction works.

The above must form conditions of approval

*Helen McKeown
Conservator Liaison Officer
Conservation Planning and Research
Environment and Sustainable Development Directorate*

Ph: 6207 2247

Johnston, HeatherG

From: Henriquez, Jose
Sent: Friday, 13 April 2012 5:06 PM
To: ACTPLA Customer Services
Cc: TAMS CIS ASG DA COORD
Subject: COMM: REFERRAL-TAMS-STORMWATER-WASTE-201121008-6/11 YARRALUMLA-01

Dear App Sec,

DEVELOPMENT APPLICATION NO: 201121008

Project Description:

SINGLE RESIDENTIAL- DEMOLITION-NEW DWELLING. Proposed demolition of one duplex home and the erection of a new two storey residence with attached garage.

BLOCK: 6	SECTION: 11	DIVISION: Yarralumla
-----------------	--------------------	-----------------------------

This DA has been assessed in regards to the following:

Traffic		Driveways	
Parking		LMPP/Street Trees	X
Public Transport		Street Lighting	
Waste Management	X	Pedestrian Footpath	
Stormwater Tie		Stormwater Easement	X
Noise		EDP	
Further Information		Amendments/Additions/Alteration	X
Lease Variation		Capital Works	

X = Areas Assessed.

And our position is:

That It Is Supported	
That It Is Supported With Conditions	X
That It Is Not Supported	
That Further Information Is Required	

Conditions

VERGE

1. There are to be no encroachments on Territory Land.
2. All works are to be on or inside the lease boundary.
3. The verge must be protected during construction.

PEDESTRIAN NETWORK

4. All fencing must be placed so that the verge is protected but access to the pedestrian network is provided at all times.

Additional Comments/Advice (as advice to ACTPLA only, and not to be included in the Notice of Decision)

5. N/A.

Kind regards,

JOSE HENRIQUEZ

DEVELOPMENT APPLICATION COORDINATOR

ASSET ACCEPTANCE | OPERATIONAL SUPPORT BRANCH | DIRECTORATE SERVICES DIVISION |

DEPARTMENT OF TERRITORY AND MUNICIPAL SERVICES | ACT GOVERNMENT

PH: +61 2 6207 7480 | FAX: +61 2 6207 7484 |

jose.henriquez@act.gov.au



From: ACTPLA Customer Services

Sent: Monday, 26 March 2012 2:44 PM

To: TAMS CIS ASG DA

Subject: REFERRAL-TAMS-STORMWATER-WASTE-201121008-6/11 YARRALUMLA-01

REFERRAL-TAMS-STORMWATER-WASTE-201121008-6/11 YARRALUMLA-01

DEVELOPMENT APPLICATION NO: 201121008

BLOCK: 6 **SECTION:** 11 **DIVISION:** YARRALUMLA

Description - SINGLE RESIDENTIAL- DEMOLITION-NEW DWELLING. Proposed demolition of one duplex home and the erection of a new two storey residence with attached garage.

Pursuant to Section 148(1) of the Planning and Development Act 2007 the ACT Planning and Land Authority requests that you consider the abovementioned development application and provide any written advice no later than 15 working days after the date of this notice (18/4/2012).

In accordance with Section 150 of the Planning and Development Act 2007 If advice is not received within the prescribed time it will be taken that you have supported the application.

Please forward any written advice via email to Customer Services
actpla_customer_services@act.gov.au

Please use the following format in the subject line of the email when providing advice:

COMM-Agency Name-20080XXXX-Block XX Section XX SuburbXXXXX-01

Example: COMM-Heritage-200801234-Block 10 Section 10 Dickson-01

Kind Regards

Customer Services

p 6207 1923 | e actpla_customer_services@act.gov.au | web www.actpla.act.gov.au

P Save Paper - Do you really need to print this e-mail?

Customer Services
Regulation Services Branch
Environment and Sustainable Development Directorate
<http://www.actpla.act.gov.au/home>

Dear Mr/s Cairns-Malcolm

In accordance with section S141 of the *Planning and Development Act 2007*, before this application can be determined, the Authority requires the information below to be lodged by the period stated:

DA Number: 201121008
Site Details: Block: 6, Section: 11
Suburb: YARRALUMLA, District: CANBERRA CENTRAL

Applicant Name:

An initial assessment of the DA has been carried out and following additional information is required for the further assessment of the proposal: **1. Provide Shadow Diagrams; **2. A Landscape Plan and Open Space Area calculations required; **3. A Water Reduction Spreadsheet required. Please NOTE: The application is currently on Notification and also awaiting comments from referred entities. If further issues are noted, another request may need to be sent.

Information Required:

Further Information due date: 9/05/2012

If you cannot provide your response within the required timeframe, it is recommended you write to the Authority prior to the expiration of the period stated above and seek an extension of the prescribed period for providing the information.

Please note, Section 141 (4) of the *Planning and Development Act 2007* provides that only one such extension may be granted.

You are advised that if some or all of the information has not been provided in accordance with this request, Section 142 of the *Planning and Development Act 2007* provides that the Authority may refuse the application under Section 162.

This email was automatically generated **please do not respond**. If you need to contact the Planning and Land Authority in relation to this proposal please contact Customer Services on (02) 6207 1923 or email actpla_customer_services@act.gov.au

Johnston, HeatherG

From: BAsubmission_watersewer@actewagl.com.au
Sent: Tuesday, 31 July 2012 11:30 AM
To: ACTPLA Customer Services
Subject: ActewAGL Building Application - ID 124746. Yarralumla - 6/11
Attachments: Conditional Approval124746.pdf; Demolition-checklist-water-sewer.pdf; Yarralumla 6 11.pdf

ACTEWAGL - WATER DIVISION

Approval ID : 124746, Yarralumla 6 /11

Regards

Andrew Ingold
Customer Support and Education
ActewAGL Water Division

Telephone 02 6248 3555 then press 2 for Water
Facsimile 02 6242 1459
Email devapp@ActewAGL.com.au
GPO Box 366 Canberra ACT 2601
www.ActewAGL.com.au

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Sewer connection

ActewAGL's requirements for demolition work which could potentially damage ACTEW assets or result in discharge of stormwater, or other unapproved wastes (other than domestic sewage) to the ACTEW sewerage network.

The property owner (or their design or construction agent) is responsible for the following.

1. Where an ACTEW sewer main traverses a property or an ACTEW sewer main is outside the property boundary (and proposed demolition works may impact on the sewer main's pipe-protection-envelope), accurate sewer network survey plans must be obtained from ActewAGL or from a registered surveyor. Sewer asset locations need to be shown on relevant demolition plans including manhole, boundary riser and tie location with off-set dimensions from site boundaries.
2. Recording the condition of manhole covers. ActewAGL can be contacted on 13 11 93 to repair damaged components. A failure to identify any faults before demolition commences may result in the property owner (or their contractors) being held responsible to pay for the repair caused by a failure to adequately protect ACTEW's assets during the demolition or building construction works.
3. Engaging a licenced drainer to disconnect the internal sanitary drains before any demolition works commence. The discharge of debris, stormwater or other unapproved liquid wastes (other than domestic sewage into the sewerage networks) is an offence under the *Utilities Act 2000*.
4. Identifying, flagging, barricading and protecting the sanitary drainage 'riser' (if installed) and manholes from demolition operations.
5. Where further construction works is planned, sanitary drains are to be temporarily sealed by capping no closer than 3 metres from the ACTEW tie. Excavation and capping is to be undertaken by licensed drainers at the customer's expense. The capping point is to be staked behind the cap and identified at ground level. Please note the subsequent building contractor will be required to make a new sanitary drainage connection at the designated tie (not at the temporary cap). This may require the removal of old jump-ups in the customer's sanitary drains. When the tie is exposed it is recommended to ask ActewAGL to inspect the branch-line to ensure it is in good condition.
6. Where further construction work is not proposed to commence within 12 months from the date demolition commences, permanent disconnection may be required. Please consult ActewAGL at this time for a definitive answer.

For more information contact:

ActewAGL Water division technical enquiry line

Phone: 6248 3555 (press '2' for Water)

Fax: 6242 1459

Or visit the customer service counter during business hours
12 Hoskins Street, Mitchell.

Water supply

ActewAGL requirements for demolition works which could potentially damage ACTEW assets or result in contamination of the potable water supply.

The property owner (or their design or construction agent) is responsible for the following.

1. Where an ACTEW water main traverses a property (and where an ACTEW water main is outside the property boundary but proposed demolition works may impact on the water main's pipe-protection-envelope), accurate water network survey plans must be obtained from ActewAGL or from a registered surveyor. Water asset locations need to be shown (including mains, valves and hydrants) on relevant demolition plans (with off-set dimensions to site boundaries).
2. Identifying the location of the ACTEW isolation valve and water meter on the site plan (with off-set dimensions from site boundaries).
3. Recording the condition of the water connection pipe, isolation valve, water meter, verge hydrants and verge network valves. Please contact ActewAGL on 13 11 93 to repair damaged components. Failure to identify any faults before demolition works commence may result in the property owner (or their contractors) being held responsible to pay for the repair caused by a failure to adequately protect those assets during the demolition or building construction.
4. Engaging a licenced plumber to disconnect the internal plumbing service at the water meter before any demolition commences. The discharge of debris, stormwater or other unapproved liquid wastes (other than domestic sewage into the sewerage networks) is an offence under the *Utilities Act 2000*.
5. Where further construction works are planned, install a temporary hose cock adjacent to the meter. Retain the meter, meter box and hose cock for the duration of any building works. Identify, flag, barricade and protect the meter assembly from demolition operations and accidental damage. To avoid accidental wastage, turn off the isolation valve until required.
6. Where further construction works is not proposed to commence within 12 months from the date demolition commences, permanent disconnection and removal of the meter may be required. Please consult ActewAGL at this time for a definitive answer.
7. Flagging and protecting network isolation valves and hydrants (on the verge) from demolition operations and accidental damage.
8. Advising ActewAGL when demolition is complete. ActewAGL may take the opportunity to install a new isolation valve and meter assembly to the current ACTEW standard.

For more information contact:

ActewAGL Water division technical enquiry line
Phone: 6248 3555 (press '2' for Water)
Fax: 6242 1459
Or visit the customer service counter during business hours
12 Hoskins Street, Mitchell.

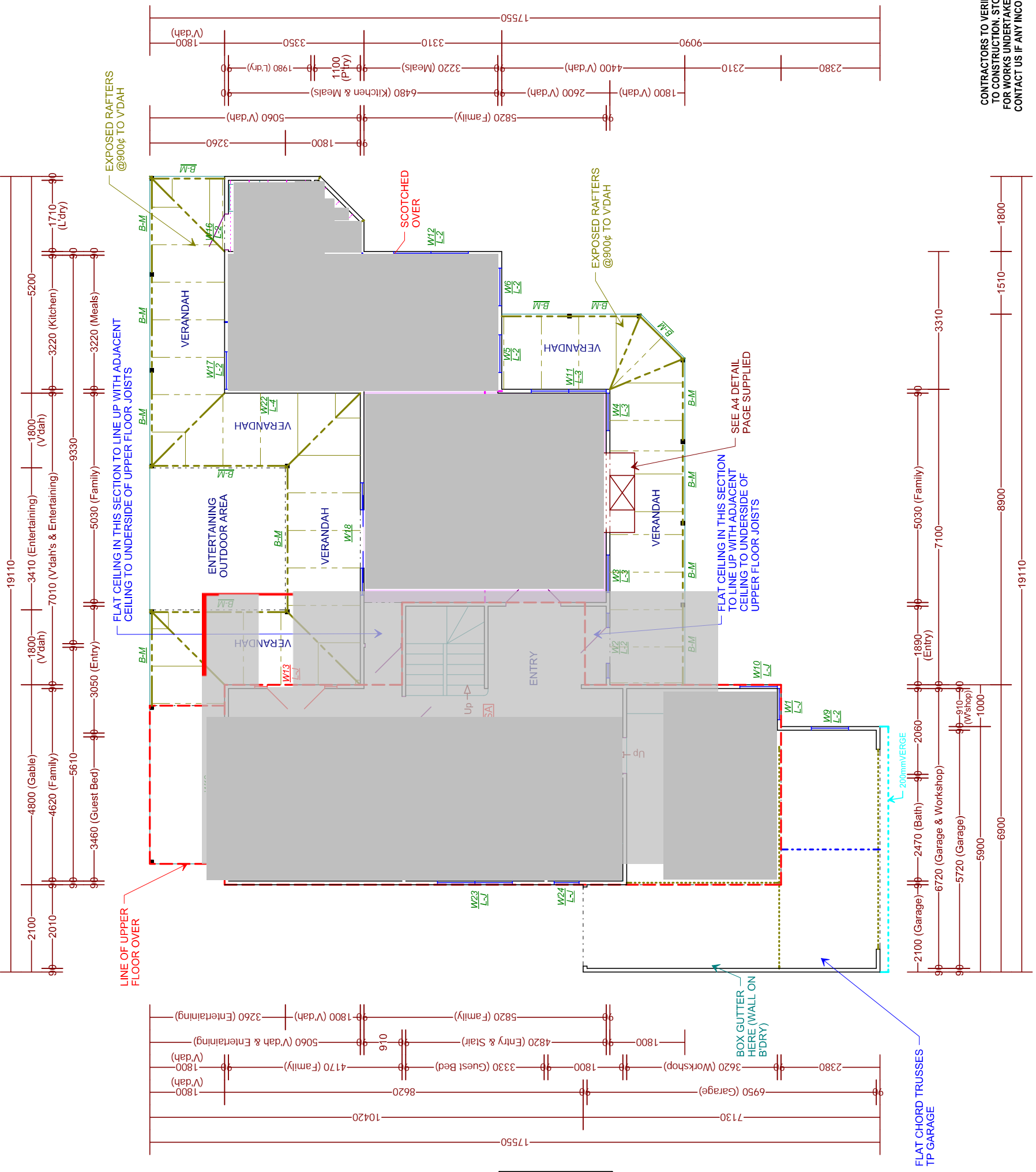
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DRAWING NO. # OF # (A3 PAGES)
 DRAWN BY - N. CAIRNS-MALCOLM
 VICTORIAN BUILDING PRACTITIONER
 REGISTRATION NUMBER DP-1883
 STORYBOOK COTTAGES (AUST.) P/L

JOB No. - M1333cv
 DESIGN - BAILEY PLACE (MOD)
 YARRALUMLA ACT 2600

FLOOR PLAN
 1:100 SCALE ± 1%.

Storybook Cottages
 Traditional Contemporary Classic



WALL FRAMING.
SUPPORTING POST.
BALUSTRADE REF F/SHEET.
EXPOSED ROOF BEAMS - AS VIEWED FROM BELOW.
OTHER BEAMS INCLUDING HIDDEN ROOF BEAMS ETC..
SCOTCHED BEAMS & VALLEYS.
OTHER.
HINGED DOORS.
EXTERNAL SLIDERS.
INTERNAL SLIDERS.
WINDOWS.

WZ26	WINDOW REFERENCES AS PER WINDOW SCHEDULE.
L-5	LINTEL REFERENCES AS PER FRONT SHEETS.
L-J	JOIST OR PERIMETER BEAM IN LIEU OF TYPICAL LINTEL
B-2	BEAM - ENGINEERS COMPS.
B-M	BEAM - MEMBER SCHEDULE.
L-5X	LINTEL / BEAM EXTENDED TO SPECIAL LOAD POINT/S SHOWN.
B-2x	SPECIAL LOAD POINTS.
	MINOR LOAD POINTS.
	OFFSET LOAD POINTS ABOVE.

PLEASE REFER TO THE FRONT PLAN INFORMATION SHEETS & MEMBER SCHEDULE FOR MATERIALS AND CONSTRUCTION NOTES.
 PLEASE REFER TO THE ENGINEERS COMPUTATIONS FOR BEAM SIZES, RIDGE SUPPORT LOCATIONS & TYPES OR FOR ANY VARIATIONS TO THE ROOF BEAM LAYOUT. FLOOR LEVEL CHANGES AND WALL HEIGHTS AS PER SECTIONAL DETAILS.

SA	H.W. SMOKE ALARMS AS PER NOTES ON FRONT SHEETS.
EF	EXHAUST FANS CONNECTED TO LIGHT SWITCHES & DUCTED TO OUTSIDE AIR.

LIGHT PINK SHADING INDICATES SCISSOR TRUSS (SEE SECTION).
LIGHT BLUE SHADING INDICATES FLAT CHORD TRUSS

**BAL - LOW
 NO CONSTRUCT. REQ'S**

CONTRACTORS TO VERIFY ALL DIMENSIONS & DETAILS PRIOR TO CONSTRUCTION. STORYBOOK TAKES NO RESPONSIBILITY FOR WORKS UNDERTAKEN BY THIRD PARTIES, INCLUDING INFO. CONTACT US IF ANY INCONSISTENCIES OR ERRORS ARE FOUND.

	WALL FRAMING.
	SUPPORTING POST.
	BALUSTRADE REF F/SHEET.
	EXPOSED ROOF BEAMS - AS VIEWED FROM BELOW.
	OTHER BEAMS INCLUDING HIDDEN ROOF BEAMS ETC..
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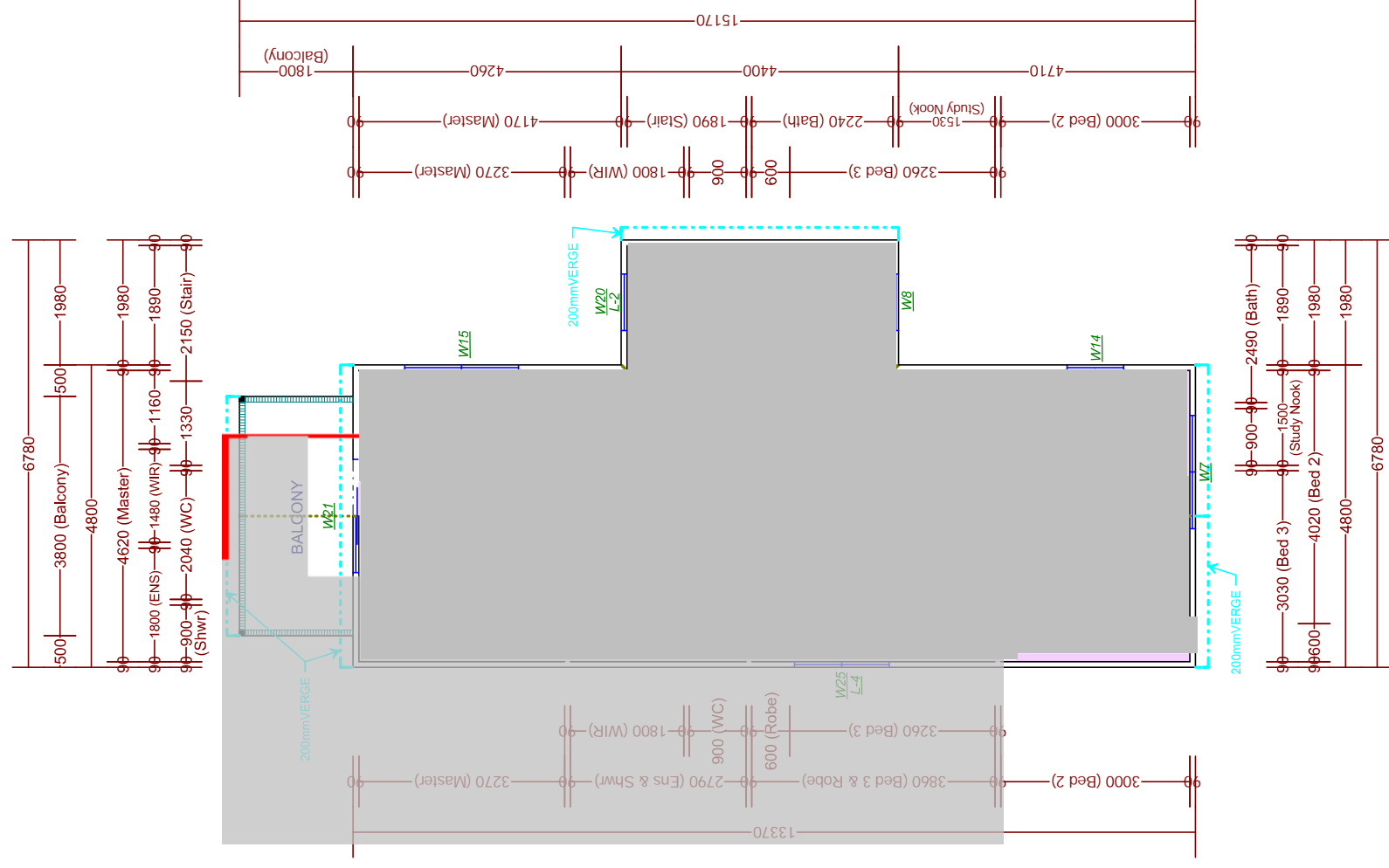
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	EXHAUST FANS CONNECTED TO LIGHT SWITCHES & DUCTED TO OUTSIDE AIR.

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ALL EXTERNAL UPPER WALL HEIGHTS 2200mm EXCEPT GABLE END WALLS.

LIGHT PINK SHADING INDICATES SCISSOR TRUSS (SEE SECTION).



Schedule of BASIX Commitments. (P1322bv)
Owner must ensure they meet the following requirements to comply with BASIX:

Landscaping:

- The applicant must plant indigenous or low water use species of vegetation throughout 40.8 square metres of the site.

Fixtures:

- Install showerheads with a minimum rating of 3 Stars in all showers in the development. (>6 but <= 7.5 L/min)
- Install a toilet flushing system with a minimum energy rating of 4 Stars in each toilet in the development.
- Install taps with a minimum rating of 5 Stars in the kitchen in the development.
- Install basin taps with a minimum rating of 5 Stars in each bathroom in the development.

Alternative Water:

- Install a rainwater tank with a capacity of at least 4,000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
- Configure the rainwater tank to collect rain runoff from at least 222.8 square metres of the roof area of the development (excluding the area of roof which drains to any stormwater tank or private dam).
- Connect the rainwater tank to all toilets, the cold tap that supplies each clothes washer, at least 1 outdoor tap, and all hot water systems in the development.

Swimming Pool:

- Must not have a volume of greater than 48 kilolitres.
- Must be outdoors.
- Must not incorporate a heating system.
- Must install timer for pump.

Thermal Comfort:

- Do it yourself method – Refer to plans and BASIX report for insulation and glazing requirements

Energy Commitments – Hot Water:

- Install the following hot water system in the development, or a system with a higher energy rating: **Electric heat pump, with a performance of 31 to 35 RECs or better.**

Cooling System:

- 1 Phase Air-conditioning in at least 1 Living area (6 Stars).
- Bedrooms must not incorporate any cooling system, or any ducting which is designed to accommodate a cooling system.

Heating System:

- 1 Phase Air-conditioning in at least 1 Living area (6 Stars).
- Bedrooms must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.

Ventilation:

- Install the following exhaust systems in the development:
 - In at least 1 Bathroom: **Individual fan, not ducted; Operational control: manual switch on/off**
 - Kitchen: **Individual fan, not ducted; Operational control: interlocked to light**
 - Laundry: **natural ventilation only, or no laundry; Operational control: n/a.**

Artificial lighting:

- The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps.
 - At least 4 of the bedrooms / study.
 - At least 3 of the living / dining rooms.

Natural lighting:

- The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.
- The applicant must install a window and/or skylight in 2 bathroom(s)/toilet(s) in the development for natural lighting.

Other:

- The applicant must install a fixed outdoor clothes drying line as part of the development.
- The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.

BAL - LOW NO CONSTRUCT. REQ'S



Planning and Development Act 2007, s425
DEVELOPMENT APPLICATION
Form 1A
**RESIDENTIAL ZONES -
SINGLE DWELLING HOUSING
DEVELOPMENT CODE**

Type of Application

New Application (If you attended a pre-application meeting or received written pre-application advice, please provide the proposal number) Insert Proposal Number to which this application relates (if applicable):
20.....

Lease/Site Details Please Print

If more than one lease/site, attach the following details for each lease/site

Block
Section Suburb
District
Street Number
Street Name
Postcode

Applicant Details Please Print

Surname
Company Name
Position held in company Australian Company/Business Number (ACN/ABN)
Postal Address
Suburb State Postcode
Phone Number Mobile
Business Hour
EMAIL ADDRESS

Lessee (Property Owners) Details *Please Print*

1st Lessee's Details (or Government Land Custodian)

Surname

Company Name

Position held in company Australian Company/Business Number (ACN/ABN)

Postal Address

Suburb State Postcode

Phone Number

Business Hours

EMAIL ADDRESS

2nd Lessee's Details (or Government Land Custodian)

Surname

Company Name

Position held in company Australian Company/Business Number (ACN/ABN)

Postal Address

Suburb State Postcode

Phone Number

Business Hours

EMAIL ADDRESS

All lessees must sign authorising the lodgement of this development application. In doing so the lessee gives authority to the applicant to negotiate any dealings in relation to the application through to its determination. If there are more than two lessees please ensure that the details and authorisation are attached to the application.

Notice of Decision and Plans

Unless otherwise specified your notice of decision and/or plans will be returned via email

- EMAIL
- POST TO ME
- HOLD FOR COLLECTION

Fully Describe Your Proposal

EXAMPLES: 1. Demolition of one detached house and the erection of a new two storey residence with attached/detached garage and swimming pool 2. Addition of bedroom and ensuite to rear of existing residence

AMENDED
 MC 14/2/12

DEMOLITION OF ONE PART OF A DUPLEX AND
 CONSTRUCTION OF A NEW DWELLING AND GARAGE.
 APPROVAL FOR FUTURE POOL HOUSE AND
 SWIMMING POOL.

Use of the Land

Describe the proposed use of the land or the proposed use of a building or structure on the land.

Example: Residential purposes for a single dwelling

RESIDENTIAL PURPOSES FOR A SINGLE DWELLING

Is the Use consistent with the current Crown lease? YES NO

Assessment Track, Zone, Development/Precinct Code

Please indicate which assessment track applies to this development application

CODE MERIT

NOTE: The Planning and Land Authority may refuse to accept a development application made in an incorrect assessment track. If the Planning and Land Authority assesses an application made in the incorrect assessment track it must refuse the application (S.114 (3))

Please specify which Zone applies to this application:

R21: SUBURBAN

Please specify which development/precinct code/s applies to this application:

NONE KNOWN OTHER THAN THOSE RELATING TO R21 CONTROLS

Type of Development

Please indicate which type of development applies to this development application

Single Dwelling

New Residence

Additions and Alterations

Demolition/rebuild

Outbuildings (carports, garages, pergolas etc)

Lease Variation/Consolidation

Other (please specify) _____

Home Business

Additions and alterations associated with application for home business application (NOTE: Home Business form also to be completed and lodged with this application)

Gross Floor Area (GFA) and Cost of Works

Gross Floor Area Calculation

A - Gross Floor Area (existing)	<u>108</u> m ²
B - Gross Floor Area to be demolished	<u>108</u> m ²
C - Gross Floor Area to be added	<u>232</u> m ²
D - Total Gross Floor Area of development (A+B+C)	<u>232</u> m ²
E - COST OF WORKS at D (*)	<u>\$ 308,000</u>

Other Area Calculation (not already included in the areas provided above)

F - Area of other BCA Class 10 structures included in this application (e.g. metal carport, pergola, deck, verandah)	<u>40</u> m ²
G - COST OF WORKS at F (*)	<u>\$ 30,000</u>

Cost of Associated Works

H - Cost of all associated works such as landscaping	<u>\$ 10,000</u>
I - Cost of all public works and/or off site works	<u>\$ -</u>
J - TOTAL COST OF WORKS (E+G+H+I)	<u>\$ 348,000</u>

*Cost of works MUST be calculated in accordance with the Building (General) (Cost of Building Work) Determination 2009 (No 1) - this can be located on the Authority website www.act.gov.au. OR a summary of costs from a bill of quantities prepared by a quantity surveyor supplied with application

A summary of costs from a bill of quantities MAY be requested for proposals where cost of work is between 50 and 310 million. A summary of costs from a bill of quantities MUST be provided for proposals where cost of work is over 310 million.

Refer to the Definition Section of the Territory Plan for a definition of "gross floor area".

Entity and/or Referral Requirements

The Territory Plan requires you to consider the following items in relation to Entity requirements when preparing your development application. If an item is relevant to your proposal you must:

- CODE TRACK APPLICATIONS**
 - Seek entity endorsement of your proposal prior to lodgement of your development application and submit this with your development application
- MERIT TRACK APPLICATIONS**
 - Seek entity endorsement of your proposal prior to lodgement of your development application and submit this with your development application OR
 - Provide documentation with your application that demonstrates your proposal addresses entity requirements so it can be referred to the relevant entity by the Planning and Land Authority

DEMOLITION	<input checked="" type="checkbox"/> RELEVANT <input type="checkbox"/> Entity Endorsement provided <input checked="" type="checkbox"/> Required documentation provided for referral to Entity	<input type="checkbox"/> NOT RELEVANT
HERITAGE	<input type="checkbox"/> RELEVANT <input type="checkbox"/> Entity Endorsement provided <input type="checkbox"/> Required documentation provided for referral to Entity	<input checked="" type="checkbox"/> NOT RELEVANT
TREES <small>'Protected tree' is defined under the Tree Protection Act 2005</small>	<input type="checkbox"/> RELEVANT <input type="checkbox"/> Entity Endorsement provided <input type="checkbox"/> Required documentation provided for referral to Entity <small>in accordance with section 148 of the P & L Act 2007, where the development proposal requires groundwork within the tree protection zone of a protected tree, or is likely to cause damage to or removal of any protected trees, the application is to be accompanied by a Tree Management Plan.</small>	<input checked="" type="checkbox"/> NOT RELEVANT STUMP CONSTRUCTION 710M TO TREE TRUNKS

WASTE MANAGEMENT	<input checked="" type="checkbox"/> RELEVANT <input type="checkbox"/> Entity Endorsement provided <input checked="" type="checkbox"/> Required documentation provided for referral to Entity NOTE: Only relevant for single dwelling housing where the development will generate a total of 20 cubic metres or greater of demolition and/or excavation waste.	<input type="checkbox"/> NOT RELEVANT
EROSION & SEDIMENT CONTROL For sites less than 0.3 of a hectare	<input checked="" type="checkbox"/> RELEVANT <input type="checkbox"/> Entity Endorsement provided <input checked="" type="checkbox"/> Required documentation provided for referral to Entity NOTE: All new dwellings (including in established areas) require a plan that provides details of the sediment and erosion control measures including: sediment control barrier, designated cutting area and wash area, stockpiles and stabilised access point. For works such as class 10 structures, additions and alterations, and backyard swimming pools - a note on the plan that "the development will comply with the ACT Environment Protection Authority, Environment Protection Guidelines for Construction and Land Development in the ACT, August 2007" is required. In circumstances where there is a reasonable risk that soil from the required earth works in the front of the block will impact on the stormwater system because the block slopes towards the street a separate Erosion & Sediment Control Plan will be required.	<input type="checkbox"/> NOT RELEVANT
EROSION & SEDIMENT CONTROL For sites greater than 0.3 of a hectare	<input type="checkbox"/> RELEVANT <input type="checkbox"/> Entity Endorsement provided <input type="checkbox"/> Required documentation provided for referral to Entity	<input checked="" type="checkbox"/> NOT RELEVANT

Information Requirements for Development Applications (Non Referral Matters)

The Territory Plan also requires you to consider the following items when preparing your development application. If an item is relevant to your proposal you must provide documentation that demonstrates how your proposal complies with the requirements of the Territory Plan.

SUBDIVISION (Residential Zones)	<input type="checkbox"/> RELEVANT <input type="checkbox"/> Required documentation provided	<input checked="" type="checkbox"/> NOT RELEVANT
WATER SENSITIVE URBAN DESIGN	<input checked="" type="checkbox"/> RELEVANT <input checked="" type="checkbox"/> Required documentation provided <i>GOOD TANK</i>	<input type="checkbox"/> NOT RELEVANT

NOTE: Relevant for all new single dwellings & for additions and alterations that increase the roof area by more than 50% ONLY.

Utilities Requirements – ActewAGL & Stormwater

For all developments involving construction the location and nature of earthworks, utility connections, proposed buildings, pavements and landscape features must comply with utility standards, access provisions and asset clearance zones.

This application complies with utility standards Yes No *If No – Application can not be accepted*

For more information on:
 Utility Requirements and Standards Water, Electricity, Sewerage and Gas *Please contact ActewAGL on 6246 3555 or visit their website www.actewagl.com.au*
 Stormwater Easements *Please contact Asset Acceptance via Canberra Connect on 132281 or visit their website www.tems.ecf.gov.au*

PLEASE CAREFULLY READ THE APPLICANT DECLARATION BEFORE SIGNING THIS FORM.

Driveways (For works on verge only)

- For proposals that include construction or modification of driveway/s please indicate works to be undertaken:
- Not applicable
 - Construction of additional entrance
 - Relocation of existing entrance
 - Construction other than plain concrete
 - Construction of new driveway
 - Other (please specify) USE EXISTING DRIVE

Survey Requirements - S.139 (2) (i) - P & D Act 2007

If this application is for approval of a development that requires construction work to be carried out on land that has previously been developed and is not leased for rural purposes a survey certificate for the land where the development is to be carried out prepared and signed by a registered surveyor must accompany this application (unless exempt by Regulation 25 of Planning and Development Regulations 2008).

- Have you provided a survey certificate with this application?
- NOT RELEVANT
 - EXEMPT
 - YES

Development Applications for Development Undertaken Without Approval - S.206 - P & D Act 2007

- Is this application for development undertaken without approval?
- NO
 - YES

If YES - Plans of the development signed by a registered surveyor confirming the location and dimensions of the development **must** be submitted with this application. The plans need to confirm the height, width and length dimensions of the development and the setback dimensions of the development from the block boundaries. The information may be provided on one plan or on a series of plans provided each plan is signed by a registered surveyor.

Note: For all unapproved development involving construction the location and nature of earthworks, utility connections, proposed buildings, pavements and landscape features must comply with utility standards, access provisions and easel clearance zones.

Conflict of Interest Declaration

- Does the applicant or lessee have any association with Planning and Land Authority staff?
- NO
 - YES

If YES - please provide details:

NOTE: There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

Exclusion from Public Inspection

In accordance with the requirements of Sections 28 and 30 of the Planning and Development Act 2007 the Planning and Land Authority must make the details and associated documents relevant to a development application available for public inspection.

If you wish to apply to have all or part of this development application excluded from public inspection you must meet the requirements of Section 411(5) or 412(1) of the Planning and Development Act 2007.

- Exclusion from Public Inspection Requested
- YES
 - NO

- If Yes - please indicate under which section of Planning & Development Act 2007
- S.411(5) Restriction on Public Availability
 - *S.412(1) Restriction on Public Availability SECURITY

Exclusion from Public Inspection continued

Please specify the information to be excluded from public inspection and provide reasons for exclusion:

* if exclusion is requested under Section 412(1) a letter, signed by a justice Minister, certifying this request satisfies the requirements Planning and Development Act 2007 **must** accompany this application

Other Development Application Requirements

LOGEMENT & PAYMENT

A valid development application comprises of a completed development application form accompanied by all of the required information or documents that address the relevant rules and/or relevant criteria for it to be considered for approval.

Proposals in the **Code Track** must be accompanied by information or documents addressing all the relevant rules, including all statements of endorsement required for the application. If the information is not provided the application must be refused.

Proposals in the **Merit track** have the option to comply with the rules or criteria, unless the rule is mandatory. Where it is proposed to meet the criteria, the onus is on the applicant to demonstrate, by supporting plans and written documentation, that the proposed development satisfies the criteria and therefore the intent of the element.

Once a development application is received, the documentation will be checked to ensure it meets the standard for lodgment. If the documentation provided is acceptable, you will receive written confirmation the application is ready for lodgment and a request for the payment of the application fees. A development application is not lodged until full payment of fees is made.

If the DA documentation is not acceptable for lodgment, you will receive written advice detailing the additional information required and/or any other issues with your application. Once these things are provided the Authority will recommence the documentation check and fee payment process outlined above.

DOCUMENTATION AND PLANS

All required documentation must be provided in an electronic format on compact disc/DVD and meet the following requirements (DA form to be submitted in hardcopy if lodged over the counter).

- Each document must be saved as a PDF and named in accordance with the naming convention as detailed on the ACTPLA website.
- All plans must be to scale.
- All plans must be related to the correct orientation i.e. they are the right way up when opened.
- All plans are to be clear and concise and generally consistent with Australian Standard 1100.301 - 1995 and Australian Standard 1100.301 supplementary - as updated from time to time.
- The proposal number included in the naming convention is unique to the application and provided by the Planning and Land Authority. If you have already had dealings with the Authority about your proposal through a pre-application meeting or have requested and received pre application advice, you would already have a proposal number allocated for your development application. If you have not been allocated a proposal number, leave this number out of the file name.
- The documentation provided on CD/DVD either over the counter or via an electronic lodgment process (email or internet) will be considered to be the relevant documentation associated with this application.

HARDCOPY DOCUMENTATION REQUIREMENTS

In addition to DA documentation being provided on compact disc/DVD a hard copy must also be provided for the following:

- Any report required as part of an application over 20 pages in length
- ALL development applications that will be assessed in the **IMPACT** assessment track
- Development applications for:
 - a residential building intended to be higher than 3 storeys and consisting of more than 50 units
 - a building where the total floor space of which is intended to be more than 7000m²
 - a building or structure intended to be higher than 25m
 - an application to change a concessional lease into a lease that is not concessional

Applicant and Lessee Declaration

I/we the undersigned, hereby apply for approval to carry out the development described on the land specified in this application:

I/we declare that this application is accompanied by all of the required information or documents that address the relevant rules and/or relevant criteria for it to be considered for approval.

I/we understand that the information submitted with this application form will undergo a documentation check prior to the payment of fees and formal lodgement of the application. Further information may be required prior to the acceptance of the development application by the Planning and Land Authority.

I/we understand that this application will be considered lodged once the relevant application fees have been paid.

I/we understand that if during the assessment of this application it is found to have been submitted in the incorrect assessment track, the application will be refused and I/we will not be entitled to a refund or transfer of fees.

I/we understand that the documentation provided on CD/DVD or via the electronic lodgement process will be considered to be the relevant documentation associated with this application. All development application documentation will be made available for public inspection (including via the Internet unless exclusion has been approved).

If the time for deciding the application (prescribed period) has ended and a decision has not been reached I/we understand that the application will be deemed refused and the Planning and Land Authority will not provide written advice of this decision. I/we also understand that the Planning and Land Authority is able to still consider the application and make a decision after the expiration of the prescribed period.

I/we hereby authorise the Planning and Land Authority, its servants and agents to erect signs on the subject property(s) as required and authorise ACT Government officers to access the subject property(s) for the purpose of evaluating the proposal (including the inspection of driveways and trees).

I/we the undersigned (lessee) appoint the applicant whose signature appears below or in the attached letter of appointment to act on my/our behalf in relation to this Development Application. This authorises the applicant to pay all application fees, bonds and securities, liaise with the Planning and Land Authority when required, alter, amend or provide further information as necessary and receive any communications relating to this Development Application.

I/we declare the information relating to utility standards, access provisions and asset clearance zones has been sought from the relevant utility providers and this development application has been prepared in accordance with their requirements.

I understand that costs associated with the relocation of any engineering services (light poles, storm water, pumps etc) will be at my expense and that I will indemnify the ACT Government, its servants and agents against any claims arising during the relocation of these services.

I understand that construction of any driveway associated with this application may not commence until the contractor has received endorsement by the relevant government entity.

I understand that a Certificate of Design Acceptance and a Road Opening Permit and Temporary Management Plan must be obtained from the relevant government agencies prior to the start of construction works.

I/we declare that all the information given on this form and its attachments is true and complete;

If signing on behalf of a company, organisation or Government agency: -

I/we the undersigned, declares I/we have the appropriate delegation or authority to sign on behalf of the company, organisation or Government agency.

Applicant Signature (s) _____

1st Lessee's Signature _____

2nd Lessee's Signature _____

Govt Land Custodian Signature (unleased land only) _____ Date _____

Delegator of the Planning & Land Authority (unleased land only) _____ Date _____

PLEASE MAKE SURE YOU COMPLETE THE DOCUMENTATION REQUIREMENTS CHECKLIST AT THE END OF THIS FORM

Privacy Notice

The personal information on this form is being collected to enable processing of your application. Collection of personal information is authorised by Chapters 7, 8 and 9 of the *Planning and Development Act 2007*. The information that you provide may be disclosed to the ACT Revenue Office and the Registrar-General's Office. The information may be accessed by other government agencies, ActewAGL, ACTEW Corporation and other commercial organisations interested in development and building information. The *Planning and Development Act 2007* requires the details of applications, decisions and orders to be kept on a register and made available for public inspection. Information and documentation relevant to a development application may be made available via the Internet.

Does the Commonwealth Environment Protection and Biodiversity Conservation Act 1999 (EPBC) affect your proposal?

The EPBC came into operation on 16 July 2000. It establishes an environmental assessment and approval system that is separate and distinct from the ACT system. It does not affect the validity of ACT development assessment and approval processes, but may affect the assessment track. The ACT cannot provide preliminary advice on whether a proposal falls within the definition of a controlled action, or requires referral to the Commonwealth. You should consult with the Commonwealth to determine if your proposal is a controlled action before seeking any approvals under the *Planning and Development Act 2007*. For information about the EPBC, including the referral process and when a referral should be made, contact: the Department of the Environment, Water, Heritage and the Arts, GPO Box 787, CANBERRA ACT 2601 Telephone: 62741111.



**DOCUMENTATION REQUIREMENTS
 RESIDENTIAL ZONES - SINGLE DWELLING HOUSING DEVELOPMENT CODE**

Key:	Single residence in new estate	Single Dwelling in established area	Additions & Alterations excluding 2 nd storey additions	Second Storey Additions	Outbuildings/Class 10 Structures	Swimming Pools
✓ Required						
★ Required if relevant May be requested as further information (for merit track assessable Development Applications only)						
Site Plan	✓	✓	✓	✓	✓	✓
Floor Plan For Public Register & Public Notification No internal layout shown for residential development	✓	✓	✓	✓		
Floor Plan	✓	✓	✓	✓	✓	✓
Elevations	✓	✓	✓	✓	✓	✓
Sections	✓	✓	✓	✓	✓	✓
Colour Sample Schedule	✓	✓	✓	✓		
Demolition Plan		✓	★	✓	★	★
Shadow Diagram						
Statement Against Relevant Criteria For merit track assessable Development Applications only	✓	✓	✓	✓	✓	✓
Survey Certificate Required unless exempt by P & D Regulation 25		✓	✓	✓	✓	✓
Landscape Plan		✓	✓			✓
Erosion and Sediment Control Plan or notation on plan stating development complies with EPA requirements	✓	✓	✓	✓	✓	✓
Tree Management Plan	★	★	★	★	★	★
Waste Management Plan Only relevant for single dwelling housing where the development will generate a total of 20 cubic metres or greater of demolition and/or excavation waste	★	★	★	★		★
Driveway Plan For works on verge only	✓	✓	✓		✓	
Relevant Entity Advice Mandatory for DAs to be assessed in Code track Optional for DAs to be assessed in Merit track	★	★	★	★	★	★
Documentation to satisfy relevant entity referral and non referral requirements as required by the Territory Plan	★	★	★	★	★	★
Water Sensitive Urban Design Documentation For all new single dwellings & for additions and alterations that increase the floor area by more than 50% ONLY	✓	✓	★	★		
Unapproved Existing Works Plan	★	★	★	★	★	★

DOCUMENTATION REQUIREMENTS – DEFINITIONS & CHECKLIST

Submission Requirement	Required Information		
Statement Against Relevant Criteria MERIT TRACK ONLY	Preferred Format:	A4 black and white Merit <ul style="list-style-type: none"> Where it is proposed to meet a criteria rather than a rule the applicant is to provide a written statement demonstrating that the proposed development satisfies the criteria and therefore the intent of the element. 	<input checked="" type="checkbox"/> Supplied <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
Site Plan	Preferred Format:	A3 (A1 for large or complex proposals) black and white 1:200 250mm for urban areas, as appropriate for other areas Australian Height Datum (AHD) <ul style="list-style-type: none"> Location and identification of existing structures and trees - tree canopies to be shown to scale Boundaries of the site with bearings and distances Location of proposed buildings and structures with dimensions to block boundaries Schedule of gross floor areas for the proposal including existing structures Existing contours from site survey of the site and adjoining verge All easements on the land Driveway verge crossing details Where they can be reasonably determined, all existing reticulated services and associated infrastructure on the site Street trees, foot paths, kerbs, storm water pits, street lighting and other public assets in the verge adjacent to the site The drip line of any street trees where a proposed driveway verge crossing encroaches within that drip line All proposed signs 	<input checked="" type="checkbox"/> Supplied <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
Floor Plan(s) For assessment purposes	Preferred Format:	A3 (A1 for large or complex proposals) black and white 1:100 <ul style="list-style-type: none"> A plan for each floor including any half-cable, subfloor areas Dimensions Key to sections cross referenced to relevant drawing and sheet number Finished floor levels related to Australian Height Datum Schedule of gross floor area for each floor Identification of all acceptable dwellings For proposals involving alterations or additions to an existing building, identification of the existing building Identification of all rooms (existing and proposed) 	<input checked="" type="checkbox"/> Supplied <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
Floor Plan(s) For public register and notification purposes	Preferred Format:	A3 (A1 for large or complex proposals) black and white 1:100 As above with the following exceptions - <ul style="list-style-type: none"> Floor plan is not to show interior layout of residential development All windows and doors to be clearly marked to enable identification of the use of the room/space to which they relate or an indication on the floor plan as to what the space will be used for (e.g. bedroom, living area, car accommodation) 	<input checked="" type="checkbox"/> Supplied <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
Elevations	Preferred Format:	A3 (A1 for large or complex proposals) black and white 1:100 <ul style="list-style-type: none"> Dimensioned heights including overall heights All proposed signs Proposed external materials referenced to Colour Sample Schedule Finished floor levels and ceiling levels Natural and finished ground levels related to Australian Height Datum Floor to ceiling heights Side and rear building envelopes 	<input checked="" type="checkbox"/> Supplied <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
Section(s)	Preferred Format:	A3 (A1 for large or complex proposals) black and white 1:100 <ul style="list-style-type: none"> Finished floor levels and ceiling levels Natural and finished ground levels related to Australian Height Datum Floor to ceiling heights Side and rear building envelopes Long section of any proposed basement ramp showing gradients Section of any sub floor areas 	<input checked="" type="checkbox"/> Supplied <input type="checkbox"/> Not required <input type="checkbox"/> Office Use

Submission Requirement	Required Information	
Driveway Plan For works on verges only	Preferred Format:	A3 (portrait) black and white 1:200 <ul style="list-style-type: none"> Existing ground levels and the datum mark used to obtain levels Type of kerb & gutter i.e. layback or vertical Existing or intended footpaths & their alignment Kerb levels at each corner of the driveway Levels of each side of the driveway 2m behind the kerb and property boundary Longitudinal sections Location & surface levels of proposed garage and/or carport and dwelling Long sections Distance from kerb line to garage or carport, kerb line to property boundary, changes to levels along each side of the proposed driveway at all changes of grade and at start, midpoint and finish of all vertical curves Driveway to be outside tree canopy (for both leased land & verge) & anticipated mature canopy, 1.2 metres clear of sumps and services 1.5 metres clear of transformers, 6 metres clear of tangent point on corner block Proposed uphill grade to be less than 17% & downhill grade less than 12%, on verges & at right angle to kerb line (max 1:10 deviation)
Colour Sample Schedule	Preferred Format:	A4, A3, colour <ul style="list-style-type: none"> Proposed external material colour schedule referenced to their location and use (e.g., roofing, windows, exterior walls) on elevations Schedule to identify names, codes and brands of exterior colours for materials
Demolition Plan	Preferred Format:	A3 (A1 for large or complex proposals) black & white 1:200 <ul style="list-style-type: none"> Identification of all buildings and structures proposed to be demolished
Erosion & Sediment Control Plan	Preferred Format:	A3 (A1 for large or complex proposals) black and white <ul style="list-style-type: none"> Prepared in accordance with ACT Environment Protection Authority, Environmental Protection Guidelines for Construction and Land Development in the ACT <p>For works such as clear 10 structures, additions and alterations, and backyard swimming pools that a note on this plan that "the development will comply with the ACT Environment Protection Authority, Environmental Protection Guidelines for Construction and Land Development in the ACT, August 2007" will suffice except where there is a reasonable risk that soil from the required earth works in the front of the block will impact on the stormwater system because the block slopes towards the street</p>
Survey Certificate (as required by Section 139(2) (i) Planning & Development Act 2007)	Preferred Format:	A3 (A1 for large or complex proposals) black and white 1:200 250mm for urban areas, as appropriate for other areas Australian Height Datum (AHD) <ul style="list-style-type: none"> The boundaries of the site with bearings and distances The location of each building and structure on the site Dimensions of the development Existing contours of the site and adjoining verge Prepared and signed by registered Surveyor
Shadow Diagram(s)	Preferred Format:	A3 (A1 for large or complex proposals) black and white 1:100 <ul style="list-style-type: none"> Existing contours (as per site plan) Natural & finished ground levels related to Australian Height Datum The location of proposed buildings and structures Shadows cast by proposed buildings, retained buildings, existing fences and proposed fences at 9am, noon and 3pm on 21 June (Winter solstice) The location of all buildings and private open space on adjoining or adjacent blocks that are affected by those shadows Elevations of buildings on adjoining or adjacent blocks that contain windows to habitable rooms affected by shadows cast. Where possible the type of habitable room affected should be indicated (e.g. bedroom, dining room)

Submission Requirement	Required Information		
Landscape Plan	Preferred Format:	A3 (A1 for large or complex proposals) black and white 1:200 Proposed landscaping plan to include: <ul style="list-style-type: none"> Proposed planting details, including plant species and common name, total number of each species of plant proposed and planting (pct) size to be nominated on the plan Trees on the site proposed to be retained Tree protection zones for all protected trees affecting the site, accurately shown (including tree protection zones of trees on adjacent or adjoining blocks) For proposals in heritage areas and redevelopment in established areas an evaluation of all existing trees to be provided. Existing and proposed contours Retaining structures boundary treatments including courtyard walls and fences Surface treatments showing pervious and impervious surfaces Surface storm water management including drainage and laps Areas to be irrigated including type of system The area of private open space to be provided The percentage of private open space to be retained as planting 	<input checked="" type="checkbox"/> Supplied <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
Tree Management Plan Note: "Protected tree" is defined under the Tree Protection Act 2005	Preferred Format:	A4, black and white 1:200 <ul style="list-style-type: none"> Prepared in accordance with Department of Territory and Municipal Services-Guidelines for Preparing a Tree Management Plan <p>In accordance with section 148 of the Planning and Development Act 2007, where the development proposal requires groundwork within the tree protection zone of a protected tree, or is likely to cause damage to or removal of any protected trees, the application is accompanied by a Tree Management Plan</p>	<input type="checkbox"/> Supplied <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use
Waste Management Plan Including Spill Management Plan where relevant.	Preferred Format:	The relevant form from the Development Control Code for Best Practice Waste Management in the ACT <ul style="list-style-type: none"> These forms are available from the Planning and Land Authority or from the ACT NOWaste website at www.nowaste.act.gov.au Only relevant for single dwelling housing where the development will generate a total of 20 cubic metres or greater of demolition and/or excavation waste 	<input checked="" type="checkbox"/> Supplied <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
Unapproved Existing Works Plan (required under Section 205 of the Planning and Development Act 2007)	Preferred Format:	A4 or A3 Black and White <ul style="list-style-type: none"> Plans of the development signed by a registered surveyor confirming the location and dimensions of the development must be submitted with this application. Plans need to confirm the height, width and length dimensions of the development and the setback dimensions of the development from the block boundaries. Information may be provided on one plan or on a series of plans provided each plan is signed by a registered surveyor 	<input type="checkbox"/> Supplied <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use

Contact Details:
 Environment and Sustainable Development Directorate
 Customer Service Centre
 GPO Box 1908, Canberra City 2601
 16 Challis Street, Dickson ACT 2602
 Business Hours: 8.30am to 4.30pm weekdays (excluding Public Holidays)
 Phone: (02) 6207 1923 Fax: (02) 6207 1925 TTY: (02) 6207 2622
 Email: actpla.customer.services@act.gov.au Website: www.actpla.act.gov.au



WASTE MANAGEMENT PLAN

If you are intending to submit a Development Application and/or a Building Application you must complete this waste management plan. One set of supporting drawings must be attached to this document, showing storage location, truck access and turning circles on the site plan (please see last page of the Waste Management Plan).

Sections of the Waste Management Plan you need to complete are detailed in Section 4 Table 1 of the Code.

PROJECT SPECIFIC INFORMATION

PART 1: PROJECT AND APPLICANT DETAILS

PROJECT DESCRIPTION: DEMOLITION OF A DWELLING + ERECTION OF NEW DWELLING

UNIT No. _____ BLOCK: 6 SECTION: 11 SUBURB: YARRALUMLA

APPLICANT: _____

PHONE: _____

ADDRESS: _____

Declaration: *I as applicant undertake that the disposal of the waste will take place as per the details of the plan and will ensure that the contractors and sub contractors involved in this application are also responsible for implementing this plan.*

SIGNATURE: _____ DATE: 14/12/11
(Applicant/Agent)

PART 2: TYPE OF PROCESS

TYPE OF APPLICATION (tick appropriate box(es))

- Development Application (DA) Lease Variation – with immediate building works
 Building Application (BA) Lease Variation – without immediate building works

TYPES OF DEVELOPMENT (tick the appropriate boxes)

- New
- Existing Redevelopment/Refurbishment/fitout
- Single Residential Dwelling
- Dual Occupancy
- Residential multi unit and cluster developments up to 10 units _____ (No. Of Units)
- Residential multi unit and cluster developments 11 and above _____ (No. Of Units)
- Offices and Non Retail Food
- Retail Food, Cafes Clubs, Restaurants and Takeaways
- Town Centre/Group Centre, Supermarkets, Shopping Centres, Hostels, Hotels, Motels, Serviced Apartments and Institutional Premises
- Estate Development Projects (ie suburban developments)

OTHER (Please specify):

DEMOLITION PHASE

- Is demolition involved? Yes No
 (If NO go to Part 4)
- Will there be more than 5m³ of demolition waste generated? Yes No
 (If YES go to Part 3) (If NO go to Part 4)

CONSTRUCTION PHASE

Part 4 is to be completed for all the following developments:

- Refurbishments/fitouts (Non 1, 2 and 10a developments)
- Residential multi unit and cluster developments 11 and above
- Offices and Non Retail Food
- Retail Food, Cafes Clubs, Restaurants and Takeaways
- Town Centre/Group Centre, Supermarkets, Shopping Centres, Hostels, Hotels, Motels, Serviced Apartments and Institutional Premises
- Estate Development Projects (ie suburban developments)

WASTE MANAGEMENT PLAN — PART 3
DEMOLITION WASTE PROFORMA

Unit No: 6
 Applicant's Name: TREAD LIGHTLY EARTHWORKS
 Demolisher Assigned: TREAD LIGHTLY EARTHWORKS
 Section: 11
 Suburb: HAREBROUGH
 Date: 14/12/11
 ACT Builder's Licence No: 2009694 Date: 6/12/11

Type Of Material Generated	Estimated Volume Of Material Generated (m ³)	REUSE/RECYCLING OF DEMOLITION WASTE		DISPOSAL AT LANDFILL	
		ON-SITE	OFF-SITE		
	Estimated Volume (m ³)	Specify proposed reuse or on-site recycling methods	Specify name of receiving recycling outlet(s) and/or reuse site(s)	Estimated Volume (m ³)	Specify landfill site(s)
Excavation Material	0				
Green Waste	10		CAMBERLA SANDY GORGE		
Bricks	100		CBR CONCRETE RECYCLING		
Concrete	80		"		
Timber (Please Specify)	50		ACT RECYCLING		
Plasterboard/Gyprock	10			10	MUGGA LANE
Metals (Please Specify)	5		E24 SCRAP		
Other TYPED (Please Specify)	10			10	MUGGA LANE
TOTAL	265			20	

**WASTE MANAGEMENT PLAN – PART 4
 CONSTRUCTION WASTE PROFORMA**

Unit No: 6
 Applicant's Name: [Redacted]
 Section: 11
 Applicant's Signature: [Redacted]
 Suburb: YAREALUMLA
 Date: 14/12/11

Type Of Material Generated	Estimated Volume Of Waste Material Generated (m ³)	OFF-SITE REUSE/RECYCLING OF CONSTRUCTION WASTE		DISPOSAL AT LANDFILL	
		Estimated Volume of Construction Waste (m ³)	Specify name of receiving recycling outlet(s) and/or reuse site(s)	Estimated Volume of Construction Waste (m ³)	Specify landfill site(s)
Excavation Material	—				
Green Waste	—				
Bricks	—				
Concrete	—				
Timber (Please Specify)		2	ACT RECYCLING		
Plasterboard/Gyprock		1/4	ACT RECYCLING		
Metals (Please Specify)		1	EEY SCRAP		
Other (Please Specify)					
TOTAL					

* In this case, "waste" means any construction material that is not reusable

OPERATIONAL PHASE

PART 5: GENERATION OF WASTE & RECYCLABLES

		NON-RECYCLABLES (Waste)	RECYCLABLES		
			Paper	Metals/plastics/ glass/paperboard	Other (describe)
Generation Rate (e.g. m ³ /100m ² /day)					
Gross Floor Area (m ²) or No. of meals/day	meals/day m ²				
Waste generation (m ³ per week)					

Note. Refer to Section 6.2 of the code for generation rates of waste and recyclables.

NON-RECYCLABLES (Waste): CONTAINER SIZE

Container Size	No.	Capacity – m ³
140 L		
240 L		
1.5 m ³		
3.0 m ³		
4.5 m ³		
Comperator – Specify Ratio – (.....:1)		
Other Size (Please Specify):		
Number of collections per week		
Weekly capacity		
Weekly generation rate		

Name of Contractor:

RECYCLABLES: CONTAINER SIZE — THIS PROJECT

Container Size	Paper		Metals/Plastics/ Glass/Paperboard		Other (describe below)	
	No.	Capacity	No.	Capacity	No.	Capacity
240 l (120/120L divided – household/flats only)						
240 l						
1.1 m ³						
1.5 m ³						
3.0 m ³						
4.5 m ³						
Compactor – Specify Ratio = (: : 1)						
Other Size (Please Specify)						
Number of collections/week						
Weekly capacity						
Weekly generation rate						

Name of Contractor:



PART 6: CHECKLIST FOR ENCLOSURE(S) FOR THIS PROJECT

* Please circle a "YES" or "NO" answer where appropriate.

Enclosures

YLS / NO

	Length	Depth	Height
No. 1	m	m	m
No. 2	m	m	m
No. 3	m	m	m

Number of enclosures

FLOOR GRADES

Enclosure (2% max)

 %

Service area (3% max)

 %

HEIGHT DETAILS

Clear internal height

 m

Sight lines into enclosure

 m

What is the steepest grade for carting waste/recyclables to enclosure:

 %

What is the maximum carting distance for carting to storage area?

 m

Is the development designated for aged persons?

YES / NO

WALL DETAILS

Specify wall materials used:

Are wall buffers provided?

YLS / NO

ROOF DETAILS

Is a roof provided?

YLS / NO

Is roof drainage provided?

YES / NO

Is there 10° overhang?
 (See Figure 1 of code)

YES / NO

ACCESS DETAILS

Are gates provided?

YES / NO

Will gate holds open?

YES / NO

Are roller shutters provided?

YES / NO

Is there roller shutter protection?

YES / NO

Is there separate user access provided?

YES / NO

HYDRAULICS

Is a water tap provided?

YES / NO

Is there protection provided for water tap?

YES / NO

Is a basket trap provided?

YES / NO

Is there connection to sewer?

YES / NO

(Note, ACTEW Approval Required)

OTHER

Specify ventilation provided:

.....

Are services protected?

YES / NO

Is an environmental protection sign erected?

YES / NO

Can stormwater get into sewer via enclosure?

YES / NO

(Note, Waste and Recyclables must be stored within the property line.)

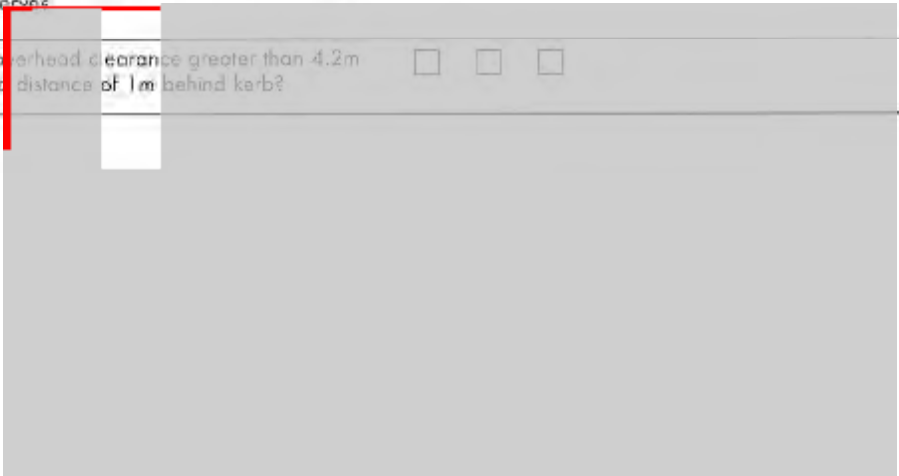
PART 7: COLLECTION VEHICLE ACCESS AND TURNING PROVISIONS

Item No.	Item	Yes	No	N/A	Comments if response is No
Site Access					
1	Does collection vehicle require access to site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Go to item 16 kerbside collection.
2	Is driveway reinforced concrete to industrial standard?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Note. Industrial Strength means F82 mesh at 30mm top cover, 150 mm thick and 20 MPa concrete.
3	Is internal access road designed for heavy vehicle axle loads of 7 tonnes per axle?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Note. Application needs to be supported by written certification from consulting engineer confirming 7 tonne axle loading.
4	Has site owner consented to heavy vehicle(s) entering site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
5	Can collection vehicle drive straight through the site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	If no, should provide U-turn within the site. See item 13.
Collection of Materials					
6	Is collection area clear of likely parked car interference?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
7	Are containers to be emptied without manual handling?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	If no go to 8. If yes go to 10.
8	Are containers 1.5 m ² or smaller?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	OH&S problem if bin larger than 1.5 m ² .
9	Is bin maneuvering area concrete surfaced including area for front wheels of collection vehicle?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Other surfaces present OH&S problems. Clause 8,9,10.
10	Is bin maneuvering area slope 3% or less?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Steeper slopes present OH&S problems.
11	Are bin stops provided if the bin can roll away and cause severe damage?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
On-site maneuvering					
12	Is access road in accordance with AS2890.1 and AS2890.2?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
13	If collection vehicle is to turn on-site is the turning area concrete surfaced to prevent pavement damage?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
14	Does U-turn provision satisfy turning radius of 10.0m to outside of turn and consider swept path?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
15	Apart from U-turn, is reversing on site to be around curves of radius more than 30m and/or for less than 40m?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PART 7: COLLECTION VEHICLE ACCESS AND TURNING PROVISIONS

Continued

Item No.	Item	Yes	No	N/A	Comments if response is No
Kerbside collection					
16	Has responsibility for placement of MGBs at kerbside been determined?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
17	Is number of MGBs at kerbside 20 or less (including recycling MGBs)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
18	Is width of kerbside sufficient to cope with all MGBs in single row? Allow 1200mm per pair of MGBs (waste plus recycling).	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
19	Has collection pad been provided for placement of MGBs from properties other than that abutting that portion of the road reserve?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
20	Is overhead clearance greater than 4.2m to a distance of 1m behind kerb?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	





WASTE MANAGEMENT PLAN CHECKLIST

If DA, have you ... (please tick)

- 1. Filled in the relevant parts of the Waste Management Plan
(Refer to section 4 Table 1 Application requirements)
- 2. Provided a Site Plan showing:
 - Enclosure location (if applicable)
 - Driveway entry and internal road layout
 - Traffic conditions – proximity of intersections, traffic calming devices etc.
 - Site contours
 - Temporary waste storage location (if applicable)
- 3. Provided Plans and Drawings showing:
 - Stretch of internal road used by trucks inside the property (hashed)
 - Turning circles (1:200 scale plan)
 - Side elevation of enclosure(s) – with floor grades – inside and outside
 - Spot levels of collection pad area outside of the enclosure at 1m intervals
 - Hydraulics plan – with top location and sump with sewer connections in enclosure or other washdown area.
- 4. Provided Consulting Engineers certification that the pavement is designed for a maximum wheel loading of 7 tonnes per axle, in order to accommodate waste and recycling collection trucks if pavement design is other than F82 mesh, 150mm thick and 32 MPa concrete.

If BA, have you ... (please tick)

- Submitted details of 1, 2, 3 and 4 above

- Note 1** Prior to the issuing of a Certificate of Occupancy, a Certificate of Compliance from the Structural Engineer is to be submitted certifying that the pavement was constructed as per the approved plans.
- Note 2** Once demolition has been carried out, a compliance certificate from the demolisher should be submitted to ACT Waste.
- Note 3** If development has passed through DA process, approved plans should be submitted.

Now please either send to **PALM** if DA or **Private Certifiers** if BA

book Cottages

Traditional Contemporary Classic

DEMOLITION PLAN

1:200 SCALE ± 1%.

JOB No. - M1333cv
 DESIGN - BAILEY PLACE (MOD)
 YARRALUMLA ACT 2600

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SEWER CONNECTIONS DEMOLITION WORKS

ActewAGL requirements for demolition work which has the potential to damage ACTEW assets or result in discharge of stormwater or other unapproved wastes (other than domestic sewage) to the ACTEW sewerage network. The property owner (or their design or construction agent) is responsible to:

1. Where an ACTEW sewer main traverses a property or an ACTEW sewer main is outside the property boundary (and proposed demolition works may impact on the sewer main's pipe-protection-envelope), obtain accurate sewer network survey plans from ActewAGL or from a site survey by a registered surveyor. Show sewer asset locations (including manhole, boundary riser and tie location) on relevant demolition plans (with off-set dimensions from site boundaries).
2. Record the condition of manhole covers, etc. Call ActewAGL to repair damaged components. Phone 131 193. A failure to identify any faults before demolition works commence may result in the property owner (or their contractors) being held responsible to pay for the repair of damage caused by a failure to adequately protect those assets during the demolition or building construction works.
3. Engage a licensed drainer to disconnect the internal sanitary drains before any demolition works commence. The discharge of debris, stormwater or other unapproved liquid wastes (other than domestic sewage) is an offence under the Utilities Act 2000.
4. Identify, flag, barricade and protect the sanitary drainage 'riser' (if installed) and manholes from demolition operations.
5. Where further construction works is planned, sanitary drains are to be temporarily sealed off by capping no closer than 3 metres from the ACTEW tie. Excavation and capping is to be undertaken by licensed drainers at the customer's expense. The capping point is to be staked behind the cap and identified at ground level. Note: The subsequent building contractor will be required to make a new sanitary drainage connection at the designated tie (not at the temporary cap). This may require the removal of old jump-ups in the customer's sanitary drains. When the tie is exposed it is desirable to ask ActewAGL to inspect the branch-line to ensure it is in good condition.
6. Where further construction works is not proposed to commence within 12 months from the date demolition works commence, permanent disconnection may be required. Please consult with ActewAGL.
7. Advise ActewAGL that the demolition is complete.

Contacts:
 All water network enquiries should be made to the Water Enquiries Line: 6248 3555 (press 2 for water) or by visiting the customer service counter at 12 Hoskins Street Mitchell during business hours.

WATER SUPPLY DEMOLITION WORKS

ActewAGL requirements for demolition work which has the potential to damage ACTEW assets or result in contamination of the potable water supply. The property owner (or their design or construction agent) is responsible to:

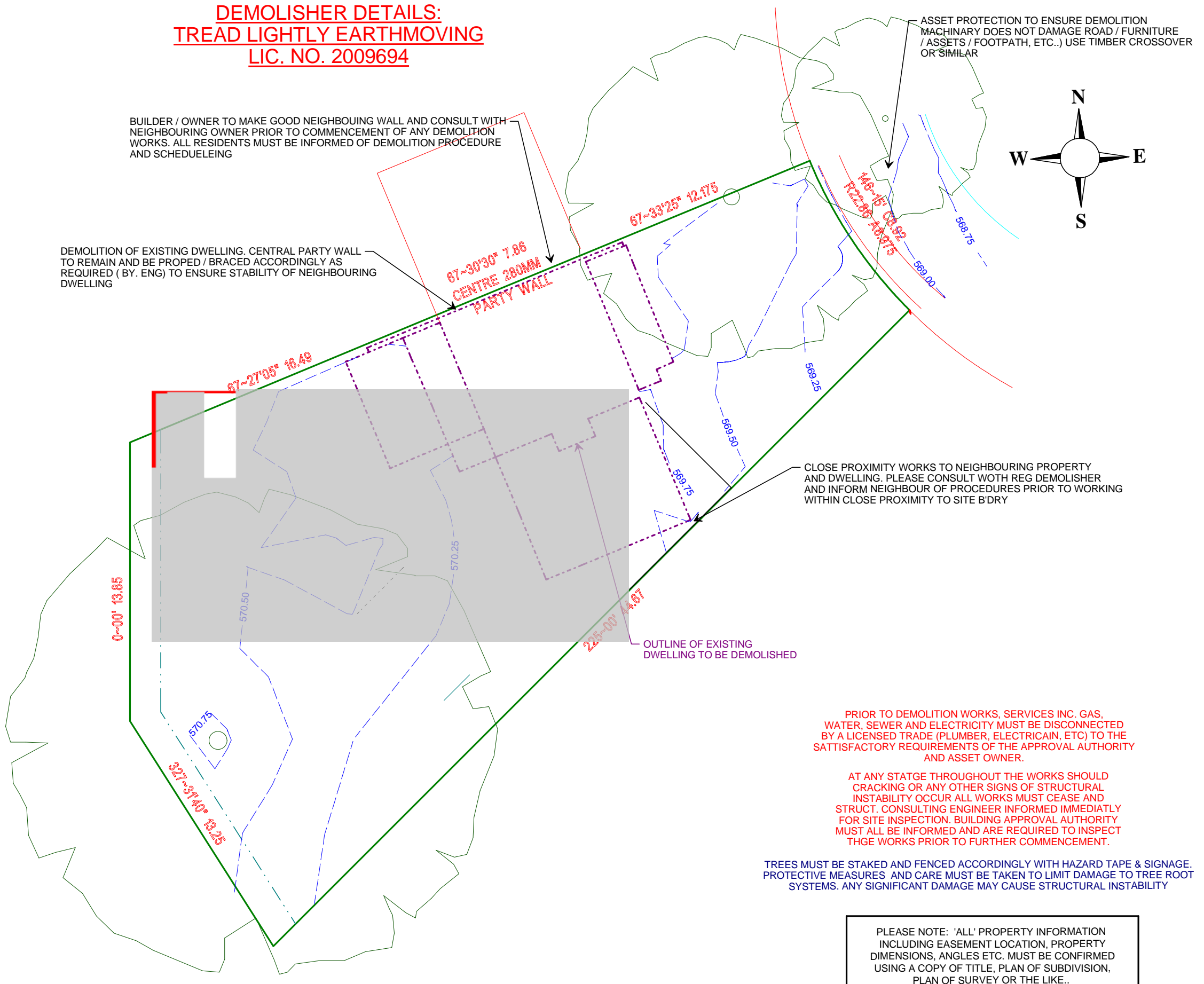
1. Where an ACTEW water main traverses a property (and where an ACTEW water main is outside the property boundary but proposed demolition works may impact on the water main's pipe-protection-envelope), obtain accurate water network survey plans from ActewAGL or from a site survey by a registered surveyor. Show water asset locations (including mains, valves and hydrants) on relevant demolition plans (with off-set dimensions to site boundaries).
2. Identify the location of the ACTEW isolation valve and water meter on the site plan (with off-set dimensions from site boundaries).
3. Record the condition of the water connection pipe, isolation valve, water meter, verge hydrants, verge network valves, etc. Call ActewAGL to repair damaged components. Phone 131 193. A failure to identify any faults before demolition works commence may result in the property owner (or their contractors) being held responsible to pay for the repair of damage caused by a failure to adequately protect those assets during the demolition or building construction works.
4. Engage a licensed plumber to disconnect the internal plumbing service at the water meter before any demolition works commence.
5. Where further construction works is planned, install a temporary hose cock adjacent to the meter. Retain the meter, meter box and hose cock for the duration of any building works. Identify, flag, barricade and protect the meter assembly from demolition operations and accidental damage. To avoid accidental wastage, turn off the isolation valve until required.
6. Where further construction works is not proposed to commence within 12 months from the date demolition works commence, permanent disconnection and removal of the meter may be required. Please consult with ActewAGL.
7. Flag and protect network isolation valves and hydrants (on the verge) from demolition operations and accidental damage.
8. Advise ActewAGL that the demolition is complete. (ActewAGL may take the opportunity to install a new isolation valve and meter assembly to the current ACTEW standard).

Contacts:
 All water network enquiries should be made to the Water Enquiries Line: 6248 3555 (press 2 for water) or by visiting the customer service counter at 12 Hoskins Street Mitchell during business hours.

DEMOLISHER DETAILS: TREAD LIGHTLY EARTHMOVING LIC. NO. 2009694

BUILDER / OWNER TO MAKE GOOD NEIGHBOURING WALL AND CONSULT WITH NEIGHBOURING OWNER PRIOR TO COMMENCEMENT OF ANY DEMOLITION WORKS. ALL RESIDENTS MUST BE INFORMED OF DEMOLITION PROCEDURE AND SCHEDULEING

DEMOLITION OF EXISTING DWELLING. CENTRAL PARTY WALL TO REMAIN AND BE PROPE / BRACED ACCORDINGLY AS REQUIRED (BY. ENG) TO ENSURE STABILITY OF NEIGHBOURING DWELLING

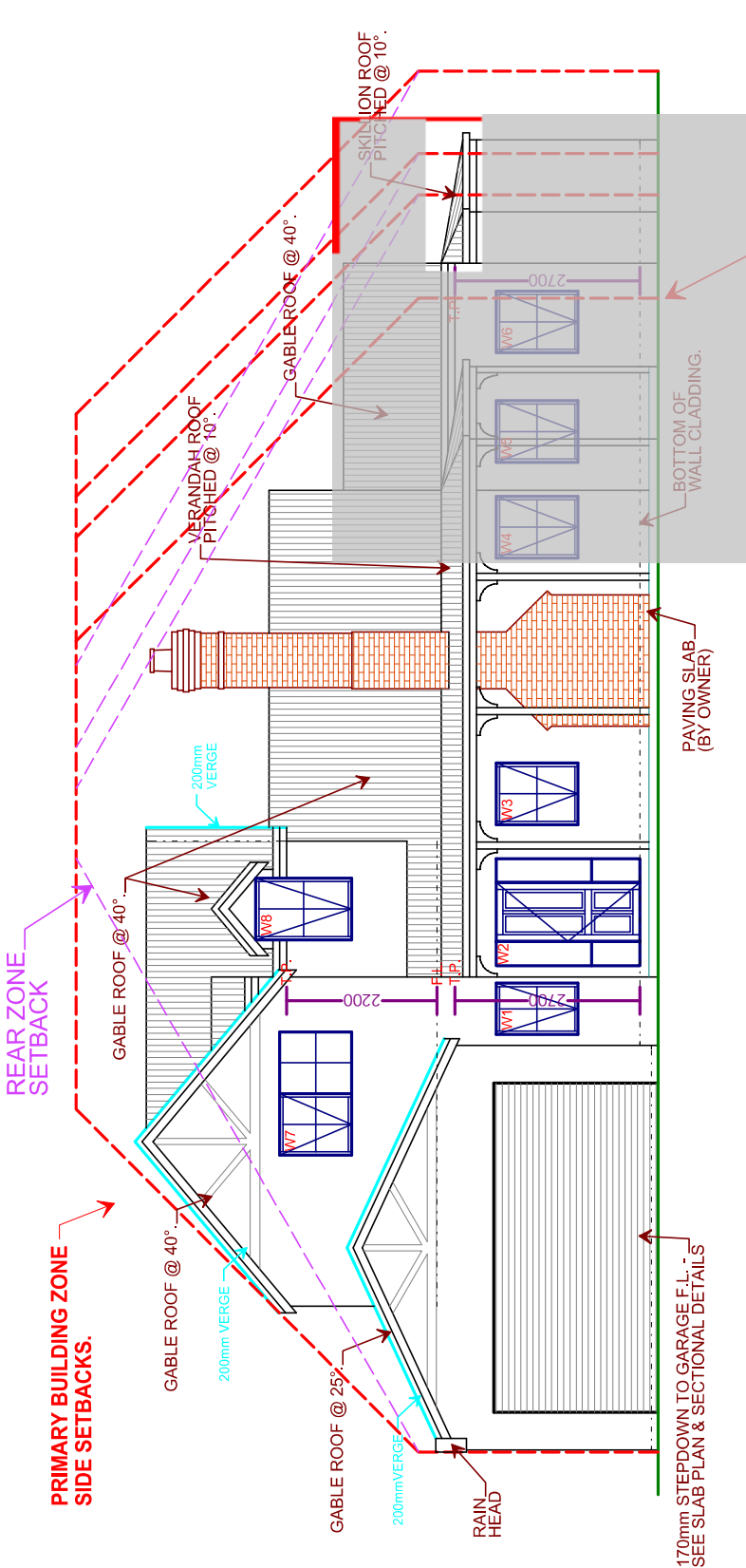


PRIOR TO DEMOLITION WORKS, SERVICES INC. GAS, WATER, SEWER AND ELECTRICITY MUST BE DISCONNECTED BY A LICENSED TRADE (PLUMBER, ELECTRICIAN, ETC) TO THE SATISFACTORY REQUIREMENTS OF THE APPROVAL AUTHORITY AND ASSET OWNER.

AT ANY STATGE THROUGHOUT THE WORKS SHOULD CRACKING OR ANY OTHER SIGNS OF STRUCTURAL INSTABILITY OCCUR ALL WORKS MUST CEASE AND STRUCT. CONSULTING ENGINEER INFORMED IMMEDIATLY FOR SITE INSPECTION. BUILDING APPROVAL AUTHORITY MUST ALL BE INFORMED AND ARE REQUIRED TO INSPECT THGE WORKS PRIOR TO FURTHER COMMENCEMENT.

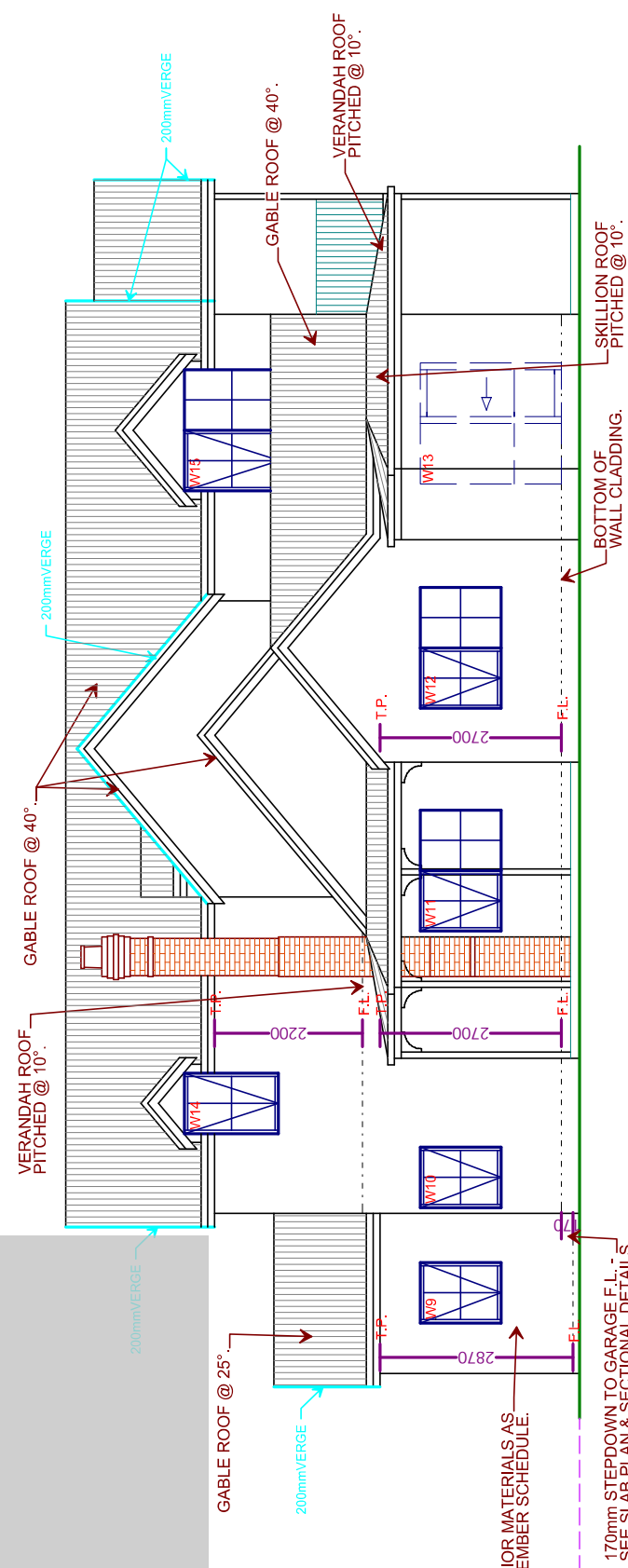
TREES MUST BE STAKED AND FENCED ACCORDINGLY WITH HAZARD TAPE & SIGNAGE. PROTECTIVE MEASURES AND CARE MUST BE TAKEN TO LIMIT DAMAGE TO TREE ROOT SYSTEMS. ANY SIGNIFICANT DAMAGE MAY CAUSE STRUCTURAL INSTABILITY

PLEASE NOTE: 'ALL' PROPERTY INFORMATION INCLUDING EASEMENT LOCATION, PROPERTY DIMENSIONS, ANGLES ETC. MUST BE CONFIRMED USING A COPY OF TITLE, PLAN OF SUBDIVISION, PLAN OF SURVEY OR THE LIKE..



WHITE WINDOWS
 CEMENT SHEET - PAINTED MID-GREY WITH WHITE STRAPPING
 LIGHT - MID GREY COLOURBOND ROOF.

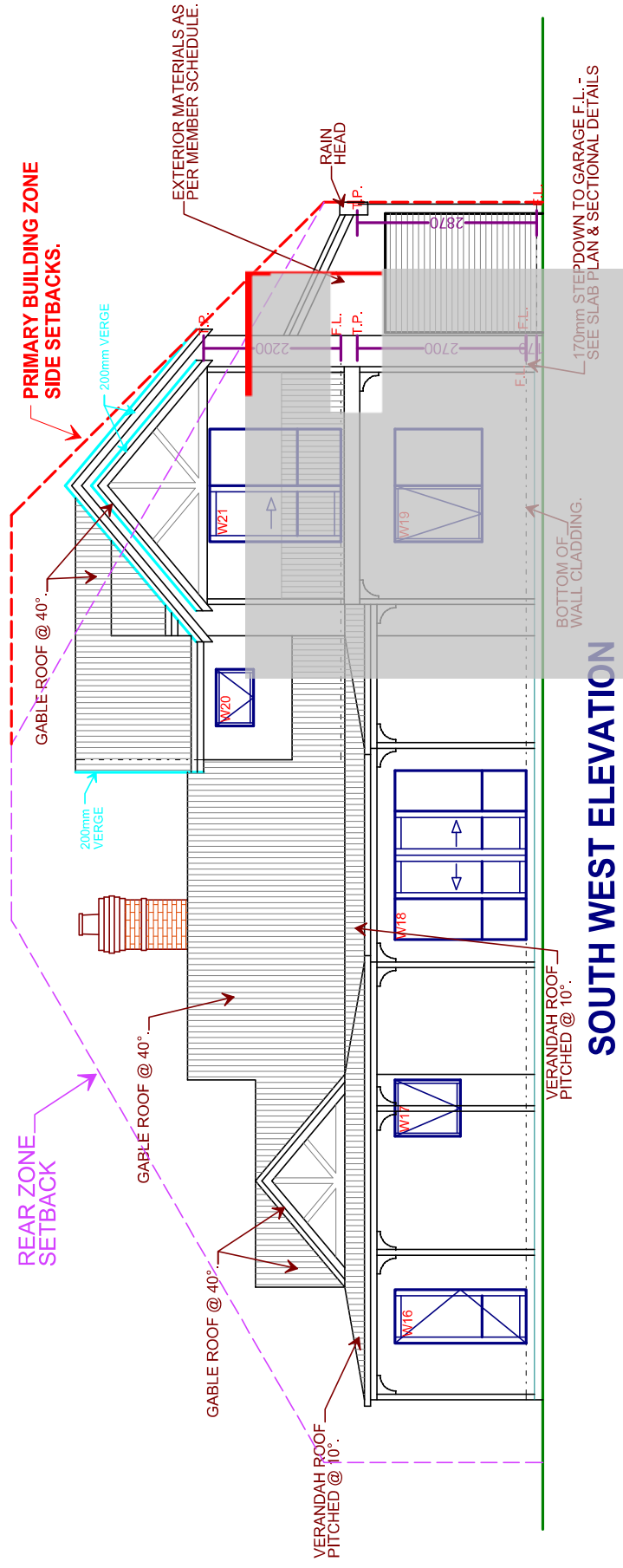
NORTH EAST ELEVATION



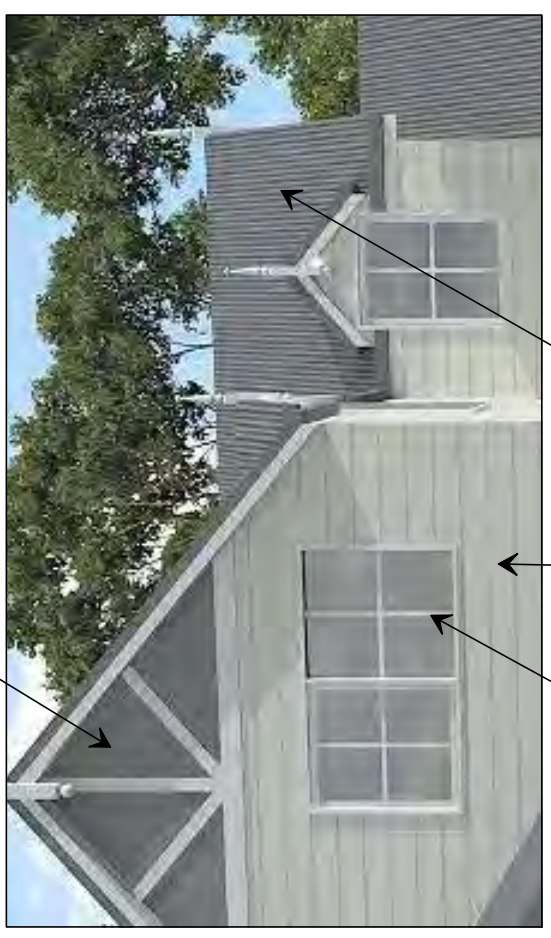
NORTH WEST ELEVATION

.....	FLOOR LEVELS.
---	SEPARATOR LINES BETWEEN EXTERIOR MATERIALS.
---	HIDDEN OBJECTS (IF APPLIC).
---	EXISTING GROUND LEVELS.
---	PROPOSED GROUND LEVELS.
	BALUSTRADE & STAIRS.
	DECORATIVE FINIALS AND BRACKETS (OPTIONAL).

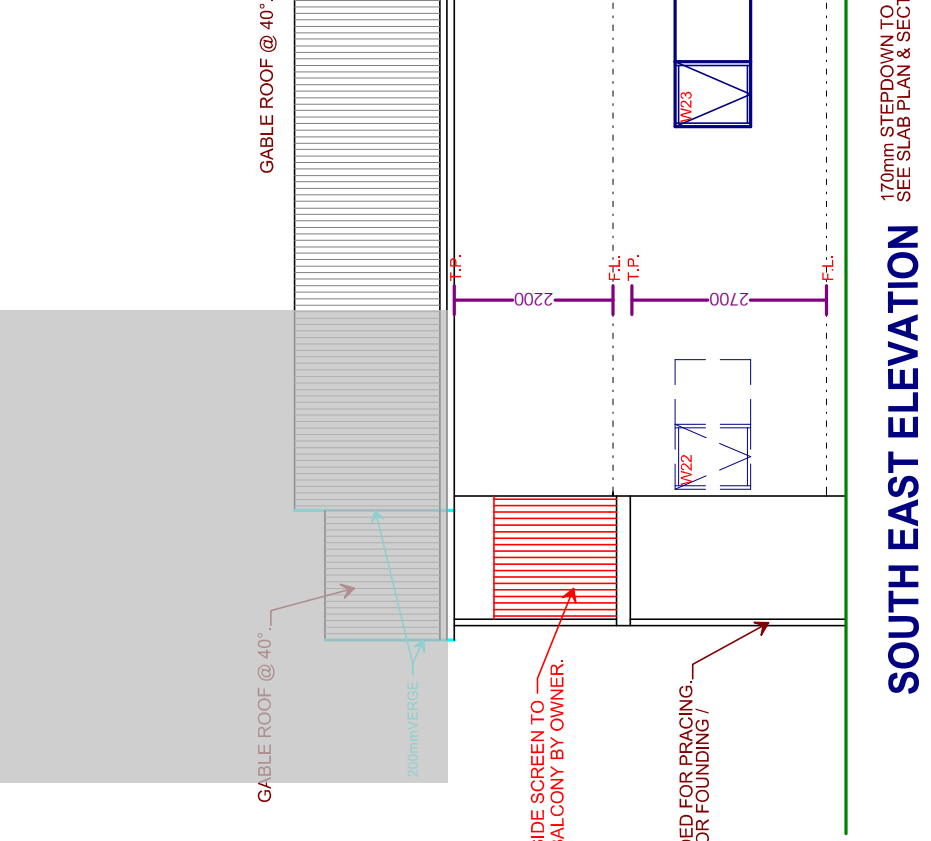
**BAL - LOW
 NO CONSTRUCT. REQ'S**



SOUTH WEST ELEVATION



WHITE WINDOWS
CEMENT SHEET - PAINTED MID-GREY WITH WHITE STRAPPING
LIGHT - MID GREY COLOURBOND ROOF.
LIGHT CREAM WEATHERBOARDS



SOUTH EAST ELEVATION

.....	FLOOR LEVELS.
---	SEPARATOR LINES BETWEEN EXTERIOR MATERIALS.
---	HIDDEN OBJECTS (IF APPLIC).
---	EXISTING GROUND LEVELS.
---	PROPOSED GROUND LEVELS.
	BALUSTRADE & STAIRS.
	DECORATIVE FINIALS AND BRACKETS (OPTIONAL).

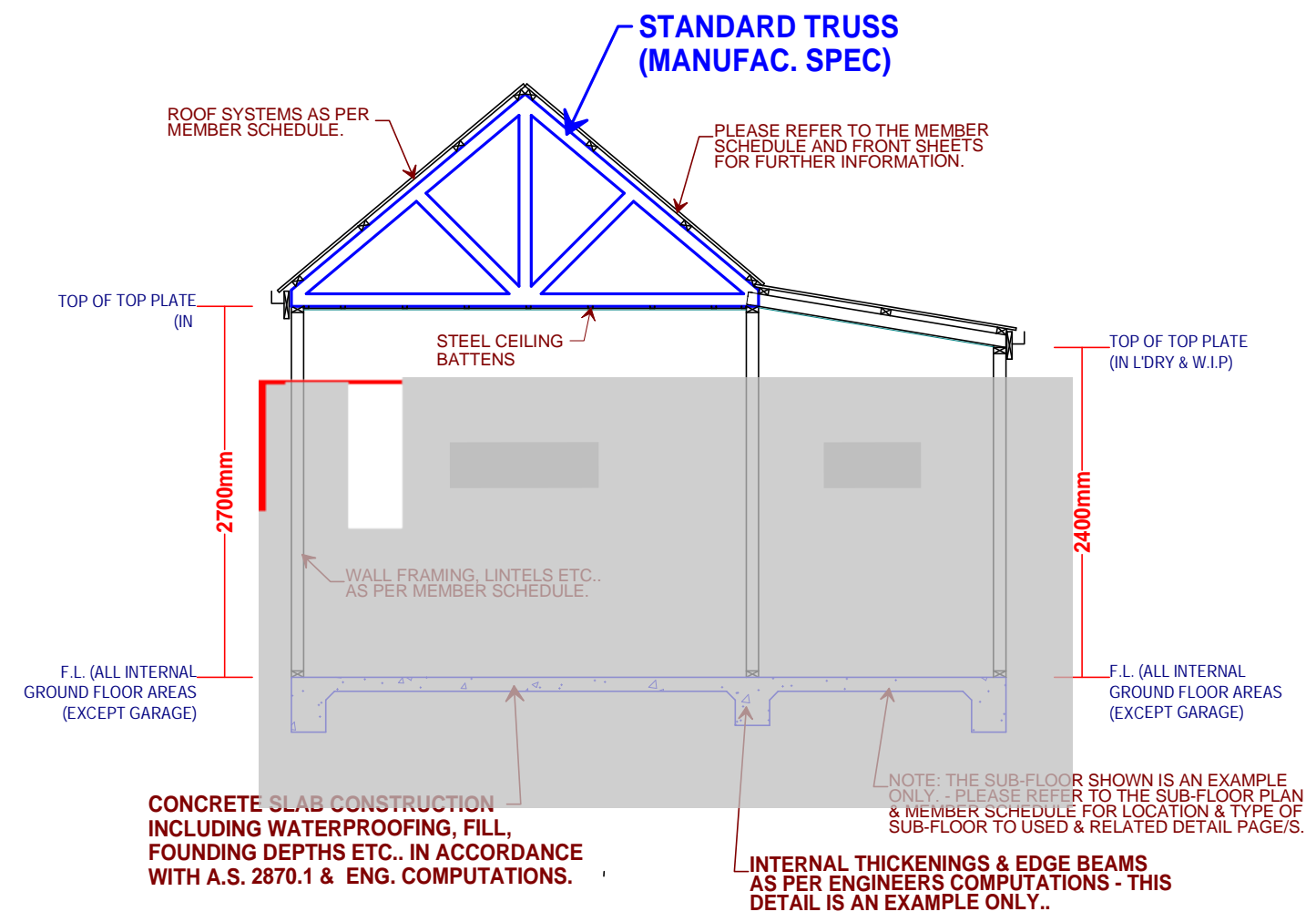
SECTIONAL DETAILS

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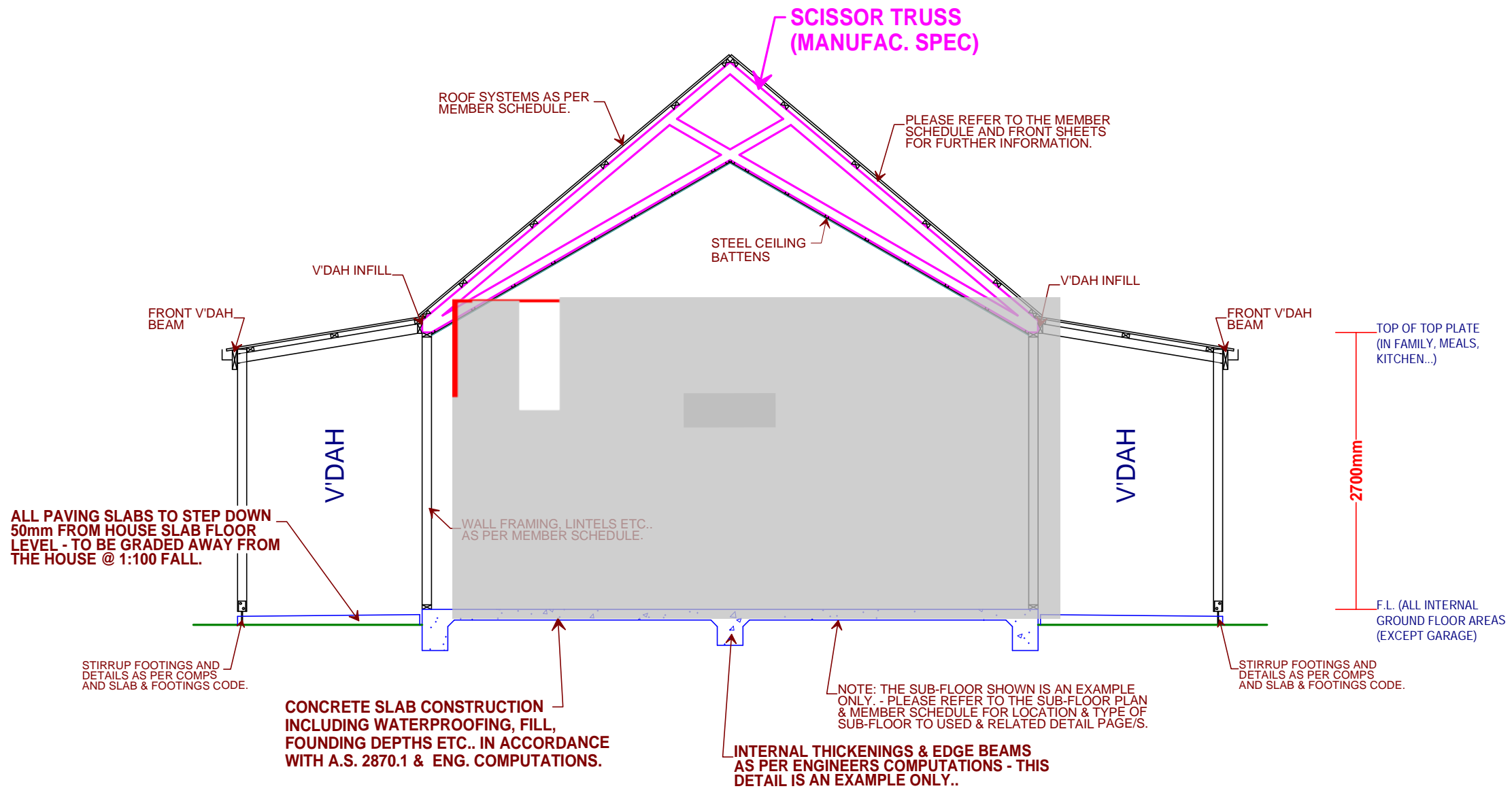
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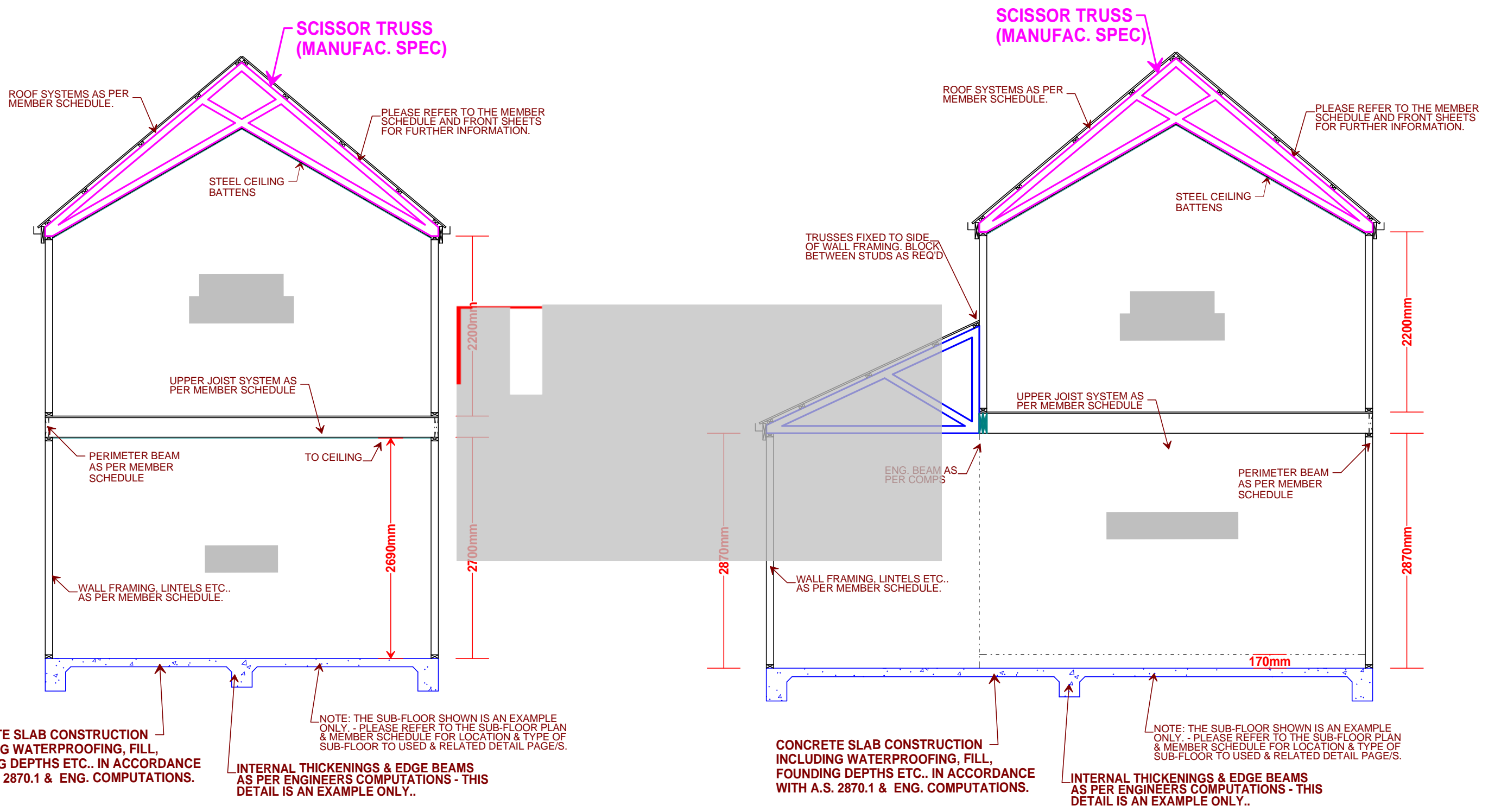
SECTIONAL DETAILS

1:50 SCALE ± 1%.

JOB No. - M1333cv
 DESIGN - BAILEY PLACE (MOD)
 YARRALUMLA ACT 2600

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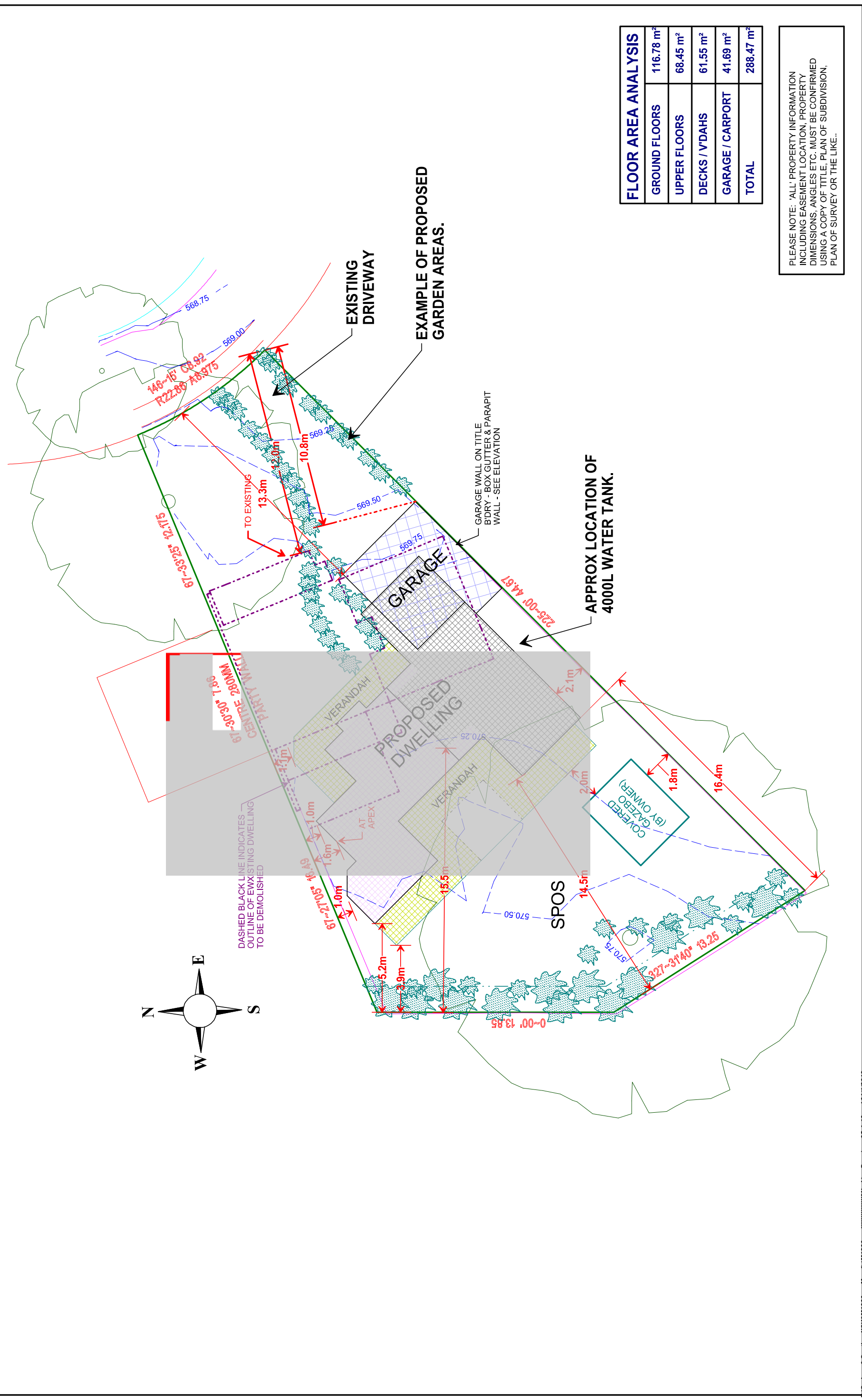
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SITE PLAN
 1:200 SCALE ± 1%.

Storybook Cottages
 Traditional Contemporary Classic



FLOOR AREA ANALYSIS

GROUND FLOORS	116.78 m ²
UPPER FLOORS	68.45 m ²
DECKS / V'DAHS	61.55 m ²
GARAGE / CARPORT	41.69 m ²
TOTAL	288.47 m²

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PROJECT [REDACTED]
DRAWING TITLE
CONTOUR & DETAIL SURVEY
FOR DESIGN PURPOSES

CLIENT [REDACTED]
JOB NO. 4312
DRAWN 4



CAPITAL SURVEYS
LAND & ENGINEERING SURVEYING
PO BOX 7601, SUTTON NSW 2620
PHONE/FAX: (02) 6230 3577
MOBILE: 0418 697 180
capitalsurveys@bigpond.com

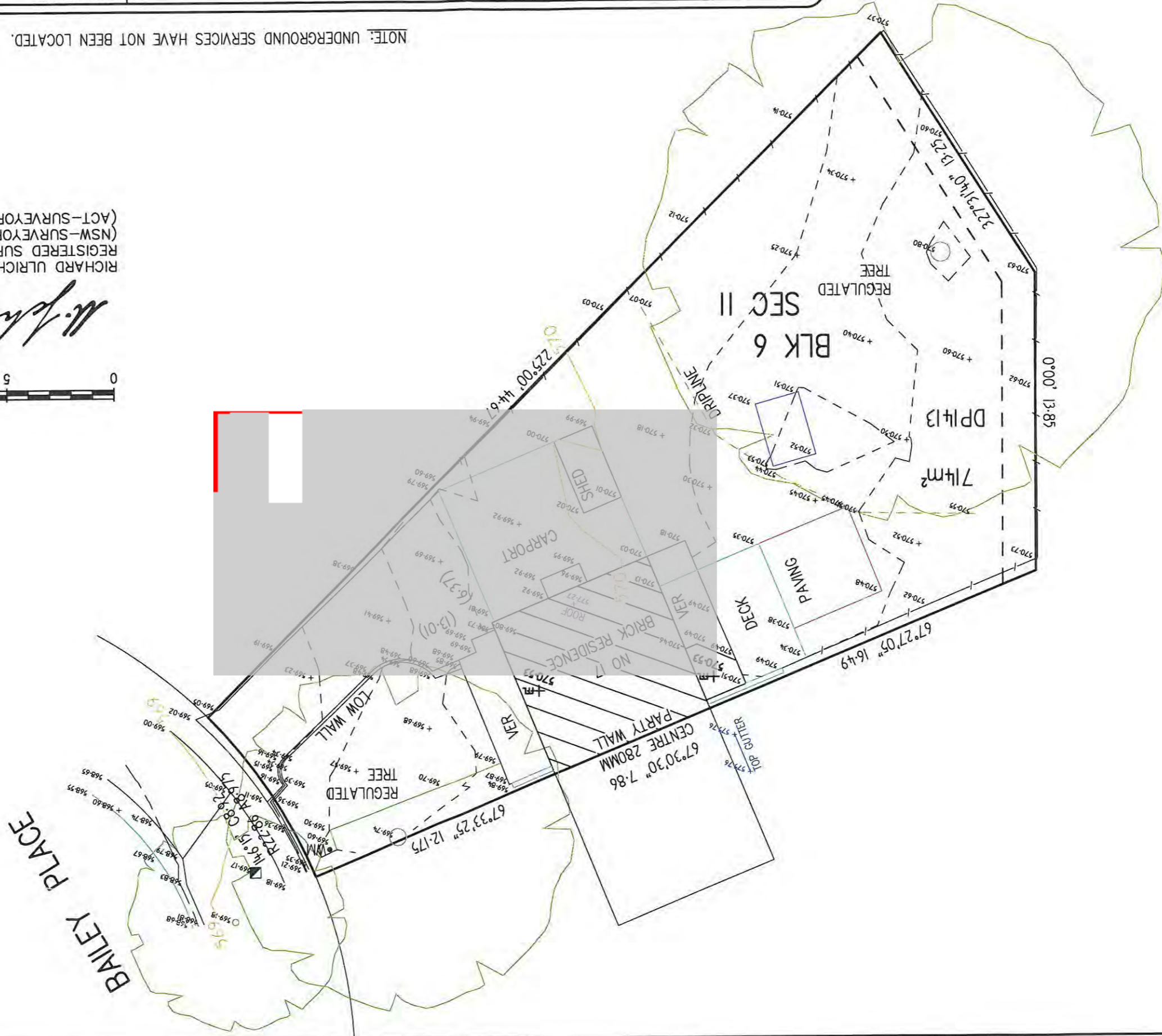
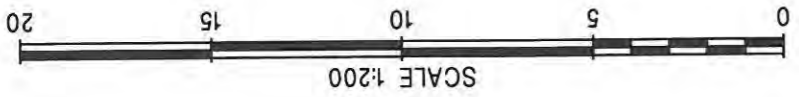


SURVEYOR U.S.
DATE 4/11/11
LEVEL DATUM AHD
CONTOUR INTERVAL 0.25M

NOTE: UNDERGROUND SERVICES HAVE NOT BEEN LOCATED.

RICHARD ULRICH SCHNEIDER
REGISTERED SURVEYOR
(NSW-SURVEYORS ACT 2002)
(ACT-SURVEYORS ACT 2007)

Richard U. Schneider



Johnston, HeatherG

From: [REDACTED]
Sent: Monday, 23 July 2012 11:11 AM
To: Majid, Fawzia
Subject: [REDACTED]
Attachments: M1333cv.pdf

Hi Fawzia,

Please see below.

Regards,

[REDACTED]
Planning & Permits Dept.

Storybook Cottages

[REDACTED]
web www.storybook.com.au

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----- Forwarded Message -----

From: "Corsini, Chris" <Chris.Corsini@act.gov.au>
To: "[REDACTED]"
Sent: Monday, 23 July 2012 11:01 AM
Subject: [REDACTED]

[REDACTED]

Sorry I didn't get back to you earlier. The attached plan looks fine. I assume that the trees will be fenced off during construction and that no services are dug through the fenced off area. No storage of materials will be allowed in the fenced off area.

The fences should be a minimum distance of 5m from the tree trunks. The proposed gazebo must be placed without damaging roots greater than 30mm diameter.

Regards

Chris Corsini

P: 6207 6203 | F: 6207 5956

Urban Treescapes

Parks & City Services

Territory & Municipal Services Directorate | ACT Government

Macarthur House | GPO Box 158 Canberra ACT 2601

www.act.gov.au

23 July 2012

From: Storybook Cottages [REDACTED]
Sent: Friday, 13 July 2012 4:19 PM
To: Allen, Richard
Subject: Re: [REDACTED]

Sorry Richard, Thatd be a good start i suppose !

have a great weekend.

Planning & Permits Dept.
Storybook Cottages

[REDACTED]
[REDACTED]
web www.storybook.com.au

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From: "Allen, Richard" <Richard.Allen@act.gov.au>
To: Storybook Cottages [REDACTED]
Sent: Friday, 13 July 2012 4:02 PM
Subject: [REDACTED]

[REDACTED]
Attachments please?

Richard

From: Storybook Cottages [REDACTED]
Sent: Friday, 13 July 2012 3:46 PM
To: Allen, Richard
Subject: [REDACTED]

Hi Richard,

Thanks for the chat, as discussed ive attached the plans required for you to have a look over it all. Basically the verandah is on post and has no footing with deppend beams. The slab footing for the dwelling is approx. 11m from the trunk and i think this should suffice. The edge beams are shallower than those required by a brick veneer dwelling as the dwelling is timber framed and clad, so the overall weight is significantly reduced. If you could asses and sketch on the PDF your thoughts that would be greatly appreciated.

Regards,

[REDACTED]
Planning & Permits Dept.
Storybook Cottages



web www.storybook.com.au

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FLOOR PLAN

1:100 SCALE ± 1%.

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	WALL FRAMING.
	SUPPORTING POST.
	BALUSTRADE REF F/SHEET.
	EXPOSED ROOF BEAMS - AS VIEWED FROM BELOW.
	OTHER BEAMS INCLUDING HIDDEN ROOF BEAMS ETC..
	SCOTCHED BEAMS & VALLEYS.
	OTHER.
	HINGED DOORS.
	EXTERNAL SLIDERS.
	INTERNAL SLIDERS.
	WINDOWS.

	WINDOW REFERENCES AS PER WINDOW SCHEDULE.
	LINTEL REFERENCES AS PER FRONT SHEETS.
	JOIST OR PERIMETER BEAM IN LIEU OF TYPICAL LINTEL
	BEAM - ENGINEERS COMPS.
	BEAM - MEMBER SCHEDULE.
	LINTEL / BEAM EXTENDED TO SPECIAL LOAD POINT/S SHOWN.
	SPECIAL LOAD POINTS.
	MINOR LOAD POINTS.
	OFFSET LOAD POINTS ABOVE.

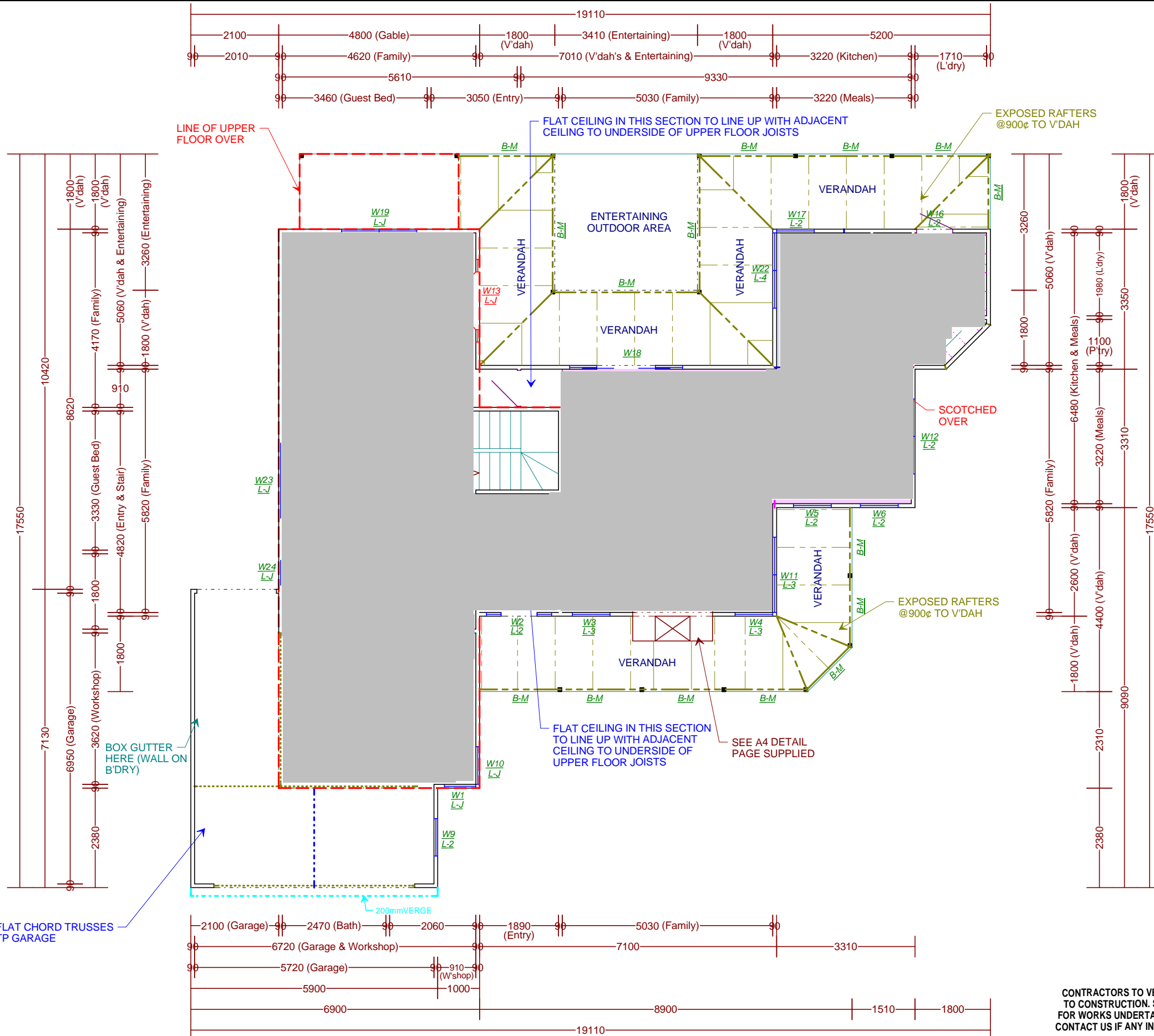
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	H.W. SMOKE ALARMS AS PER NOTES ON FRONT SHEETS.
	EXHAUST FANS CONNECTED TO LIGHT SWITCHES & DUCTED TO OUTSIDE AIR.

LIGHT PINK SHADING INDICATES SCISSOR TRUSS (SEE SECTION).

LIGHT BLUE SHADING INDICATES FLAT CHORD TRUSS

BAL - LOW NO CONSTRUCT. REQ'S



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SUB-FLOOR PLAN

MEASUREMENTS FOR STUMPS & POSTS ARE FROM CENTRE TO CENTRE (ASSUMING 100 x 100 SECTIONS)
SLABS & BRICKWORK ARE MEASURED EXTERNALLY (BRICK PIERS ASSUMED TO BE 230 x 230 SECTIONS).

JOB No. - M1333cv
DESIGN - BAILEY PLACE (MOD)

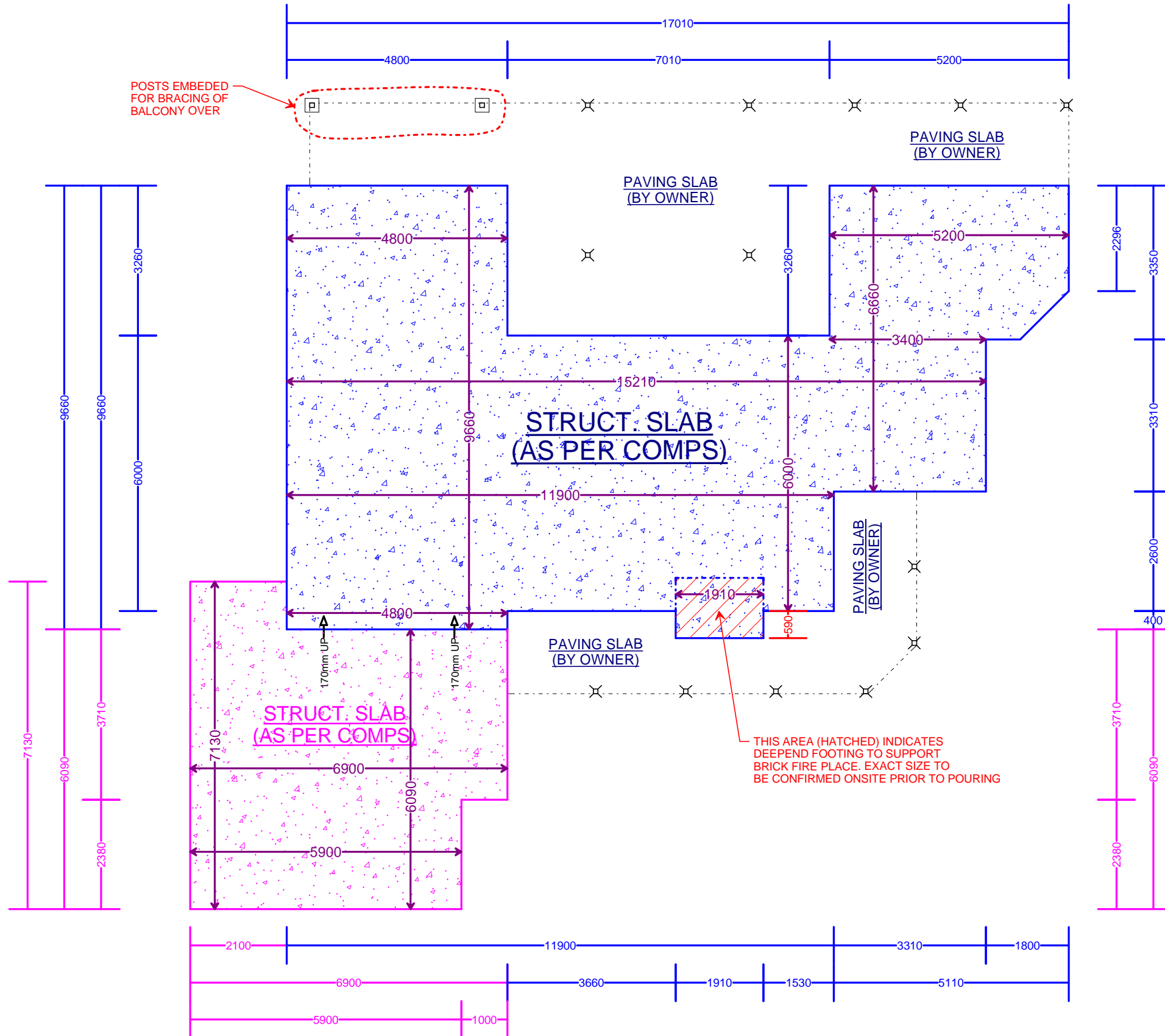
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**BAL - LOW
NO CONSTRUCT. REQ'S**



GROUND FLOOR LEVELS.	
---	COMMON / OTHER BEARERS.
- . - . -	COMMON / OTHER JOISTS.
- - - - -	OTHER SUB-FLOOR BEAMS.
	JACK WALL BETWEEN LEVEL CHANGE.
■	STUMPS.
⊗	POST ON STIRRUP FOOTING
□	POST EMBEDDED IN CONCRETE
▨ OR ▩	BRICK PIERS & BRICKWORK.
▨	CONCRETE SLABS/S.
○	SPECIAL LOAD POINTS.
×	OFFSET LOAD POINTS ABOVE.

PLEASE REFER TO THE FRONT PLAN INFORMATION SHEETS & MEMBER SCHEDULE FOR MATERIALS AND CONSTRUCTION NOTES.

PLEASE REFER TO THE ENGINEERS COMPUTATIONS FOR FOOTING SIZES, ADDITIONAL STUMP OR PIER LOCATIONS, OR FOR ANY VARIATIONS TO THE SUBFLOOR LAYOUT.

FOOTING DEPTHS & SUB-FLOOR CLEARANCE AS PER NOTES ON THE FRONT PLAN INFORMATION SHEETS.

NOTE: ADDITIONAL WALL FRAMING (THICKENINGS) &/OR BULK HEADS (LOCALISED LOWERING OF CEILING) MAY BE REQUIRED IN ORDER TO CONCEAL PLUMBING OR DUCTING - OWNER TO CONSULT CONTRACTORS PRIOR TO CONSTRUCTION.

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Johnston, HeatherG

From: BAsubmission_watersewer@actewagl.com.au
Sent: Wednesday, 28 March 2012 8:37 AM
To: ACTPLA Customer Services
Subject: ActewAGL Application Decision. Application - 124746. Yarralumla - 6/11
Attachments: Conditional Approval124746.pdf; Yarralumla 6 11.pdf; Demolition-checklist-water-sewer.pdf

ACTEWAGL - WATER DIVISION

Approval ID : 124746, Yarralumla 6 /11

Your application has been assessed by ActewAGL against ACTEW water and sewerage network access and asset protection requirements.

Please find attached an ActewAGL DECISION STATEMENT together with your stamped plans.

A failure to comply with decision statement conditions will invalidate the approval and will expose the land-holder to prosecution under the Utilities Act 2000.

Non-compliant submissions must be rectified and resubmitted to ActewAGL for approval prior to construction commencing. A decision to proceed with construction using unapproved drawings will expose the land-holder to prosecution under the Utilities Act 2000.

Please note: Separate decision statements are required from other utilities (eg: electricity, gas, stormwater and communications)

Future applications

ActewAGL has introduced an online planning application process for obtaining utility clearances prior to submitting a development application or seeking building approval.

This revised application process consists of an electronic form available [here](#). By using the online form applicants will no longer need to complete the respective Water/Sewerage and Electricity/Gas application forms.

When an application is submitted it will be assessed against the water, sewerage, electricity and gas networks.

ActewAGL requests that organisations register their details if they regularly submit applications. Registration will reduce the time it takes to lodge an application. To register, send a return email including the organisation's name, a contact name, phone number and email address.

Regards


Building Approvals and Network Protection
ActewAGL Water Division

Telephone 02 6248 3555 then press 2 for Water

Facsimile 02 6242 1459

Email devapp@ActewAGL.com.au

GPO Box 366 Canberra ACT 2601

www.ActewAGL.com.au

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ActewAGL acts as agent for ACTEW Corporation



STATEMENT OF CONDITIONAL COMPLIANCE

Application No: 124746 **Suburb:** Yarralumla **Block/Section** 6 / 11

Applcn Type: Single residential/New Construction with Demolition Inclusions : with Garage

Attached Plans

Yarralumla 6 11.pdf

Conditions

Protection of water and sewer networks to be in accordance with the attached checklist

Please Note:

- ❖ Separate applications are required for ActewAGL electricity and gas networks.
- ❖ Any failure to accurately show existing or proposed structures may result in damage and costs for which the property owner will be liable. Damage to network assets must be reported to ActewAGL.
- ❖ Utility conditions may also apply to minor structures and landscaping works that may not have been depicted in this document. Consultation with ActewAGL's Water Division is advised if such structures and landscaping are planned.
- ❖ ActewAGL recommend setbacks provided for equipment access to water or sewerage network assets are kept free of obstruction by the property owner.
- ❖ Construction of works without the approval of ActewAGL may result in connection to ACTEW's water and sewerage networks being denied and /or action being taken to require the property owner to remove non-compliant services (e.g. sanitary drains) or structures.

WARNING

Failure to comply with these conditions is likely to result in interference with an ACTEW Corporation water or sewer asset. Sections 123 to 125 of the Utilities Act 2000 apply, which indicates a person who interferes with a utility asset may be subject to prosecution. The current maximum penalty is a fine of \$50,000, imprisonment for six months or both. In addition the land-holder can be ordered at their expense to stop the interference, which may involve removal of the building work or that part of the building work that is causing, or is likely to cause interference.

Comments:

Signed

Date

28 Mar 2012

For further information please phone ActewAGL 6248 3555 (then 2).

Sewer connection

ActewAGL's requirements for demolition work which could potentially damage ACTEW assets or result in discharge of stormwater, or other unapproved wastes (other than domestic sewage) to the ACTEW sewerage network.

The property owner (or their design or construction agent) is responsible for the following.

1. Where an ACTEW sewer main traverses a property or an ACTEW sewer main is outside the property boundary (and proposed demolition works may impact on the sewer main's pipe-protection-envelope), accurate sewer network survey plans must be obtained from ActewAGL or from a registered surveyor. Sewer asset locations need to be shown on relevant demolition plans including manhole, boundary riser and tie location with off-set dimensions from site boundaries.
2. Recording the condition of manhole covers. ActewAGL can be contacted on 13 11 93 to repair damaged components. A failure to identify any faults before demolition commences may result in the property owner (or their contractors) being held responsible to pay for the repair caused by a failure to adequately protect ACTEW's assets during the demolition or building construction works.
3. Engaging a licenced drainer to disconnect the internal sanitary drains before any demolition works commence. The discharge of debris, stormwater or other unapproved liquid wastes (other than domestic sewage into the sewerage networks) is an offence under the *Utilities Act 2000*.
4. Identifying, flagging, barricading and protecting the sanitary drainage 'riser' (if installed) and manholes from demolition operations.
5. Where further construction works is planned, sanitary drains are to be temporarily sealed by capping no closer than 3 metres from the ACTEW tie. Excavation and capping is to be undertaken by licensed drainers at the customer's expense. The capping point is to be staked behind the cap and identified at ground level. Please note the subsequent building contractor will be required to make a new sanitary drainage connection at the designated tie (not at the temporary cap). This may require the removal of old jump-ups in the customer's sanitary drains. When the tie is exposed it is recommended to ask ActewAGL to inspect the branch-line to ensure it is in good condition.
6. Where further construction work is not proposed to commence within 12 months from the date demolition commences, permanent disconnection may be required. Please consult ActewAGL at this time for a definitive answer.

For more information contact:

ActewAGL Water division technical enquiry line

Phone: 6248 3555 (press '2' for Water)

Fax: 6242 1459

Or visit the customer service counter during business hours
12 Hoskins Street, Mitchell.

Water supply

ActewAGL requirements for demolition works which could potentially damage ACTEW assets or result in contamination of the potable water supply.

The property owner (or their design or construction agent) is responsible for the following.

1. Where an ACTEW water main traverses a property (and where an ACTEW water main is outside the property boundary but proposed demolition works may impact on the water main's pipe-protection-envelope), accurate water network survey plans must be obtained from ActewAGL or from a registered surveyor. Water asset locations need to be shown (including mains, valves and hydrants) on relevant demolition plans (with off-set dimensions to site boundaries).
2. Identifying the location of the ACTEW isolation valve and water meter on the site plan (with off-set dimensions from site boundaries).
3. Recording the condition of the water connection pipe, isolation valve, water meter, verge hydrants and verge network valves. Please contact ActewAGL on 13 11 93 to repair damaged components. Failure to identify any faults before demolition works commence may result in the property owner (or their contractors) being held responsible to pay for the repair caused by a failure to adequately protect those assets during the demolition or building construction.
4. Engaging a licenced plumber to disconnect the internal plumbing service at the water meter before any demolition commences. The discharge of debris, stormwater or other unapproved liquid wastes (other than domestic sewage into the sewerage networks) is an offence under the *Utilities Act 2000*.
5. Where further construction works are planned, install a temporary hose cock adjacent to the meter. Retain the meter, meter box and hose cock for the duration of any building works. Identify, flag, barricade and protect the meter assembly from demolition operations and accidental damage. To avoid accidental wastage, turn off the isolation valve until required.
6. Where further construction works is not proposed to commence within 12 months from the date demolition commences, permanent disconnection and removal of the meter may be required. Please consult ActewAGL at this time for a definitive answer.
7. Flagging and protecting network isolation valves and hydrants (on the verge) from demolition operations and accidental damage.
8. Advising ActewAGL when demolition is complete. ActewAGL may take the opportunity to install a new isolation valve and meter assembly to the current ACTEW standard.

For more information contact:

ActewAGL Water division technical enquiry line

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Fax: 6242 1459

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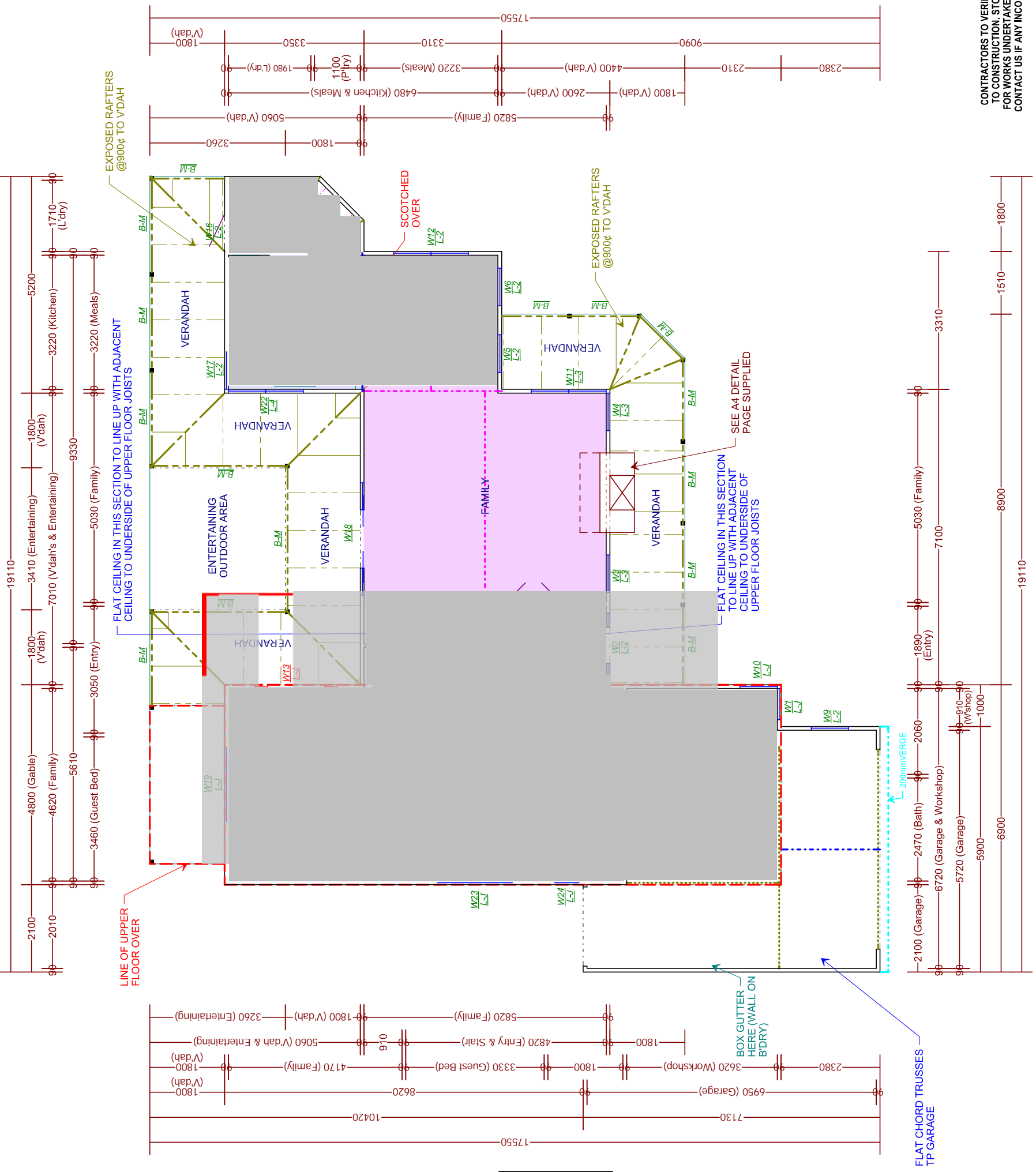
Storybook Cottages
 Traditional Contemporary Classic

WALL FRAMING.
SUPPORTING POST.
BALUSTRADE REF F/SHEET.
EXPOSED ROOF BEAMS - AS VIEWED FROM BELOW.
OTHER BEAMS INCLUDING HIDDEN ROOF BEAMS ETC..
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OTHER.
HINGED DOORS.
EXTERNAL SLIDERS.
INTERNAL SLIDERS.
WINDOWS.

WZ26	WINDOW REFERENCES AS PER WINDOW SCHEDULE.
L-5	LINTEL REFERENCES AS PER FRONT SHEETS.
L-7	JOIST OR PERIMETER BEAM IN LIEU OF TYPICAL LINTEL
B-2	BEAM - ENGINEERS COMPS.
B-M	BEAM - MEMBER SCHEDULE.
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LIGHT PINK SHADING INDICATES SCISSOR TRUSS (SEE SECTION).
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WZ6	WINDOW REFERENCES AS PER WINDOW SCHEDULE.
L-5	LINTEL REFERENCES AS PER FRONT SHEETS.
L-1	JOIST OR PERIMETER BEAM IN LIEU OF TYPICAL LINTEL
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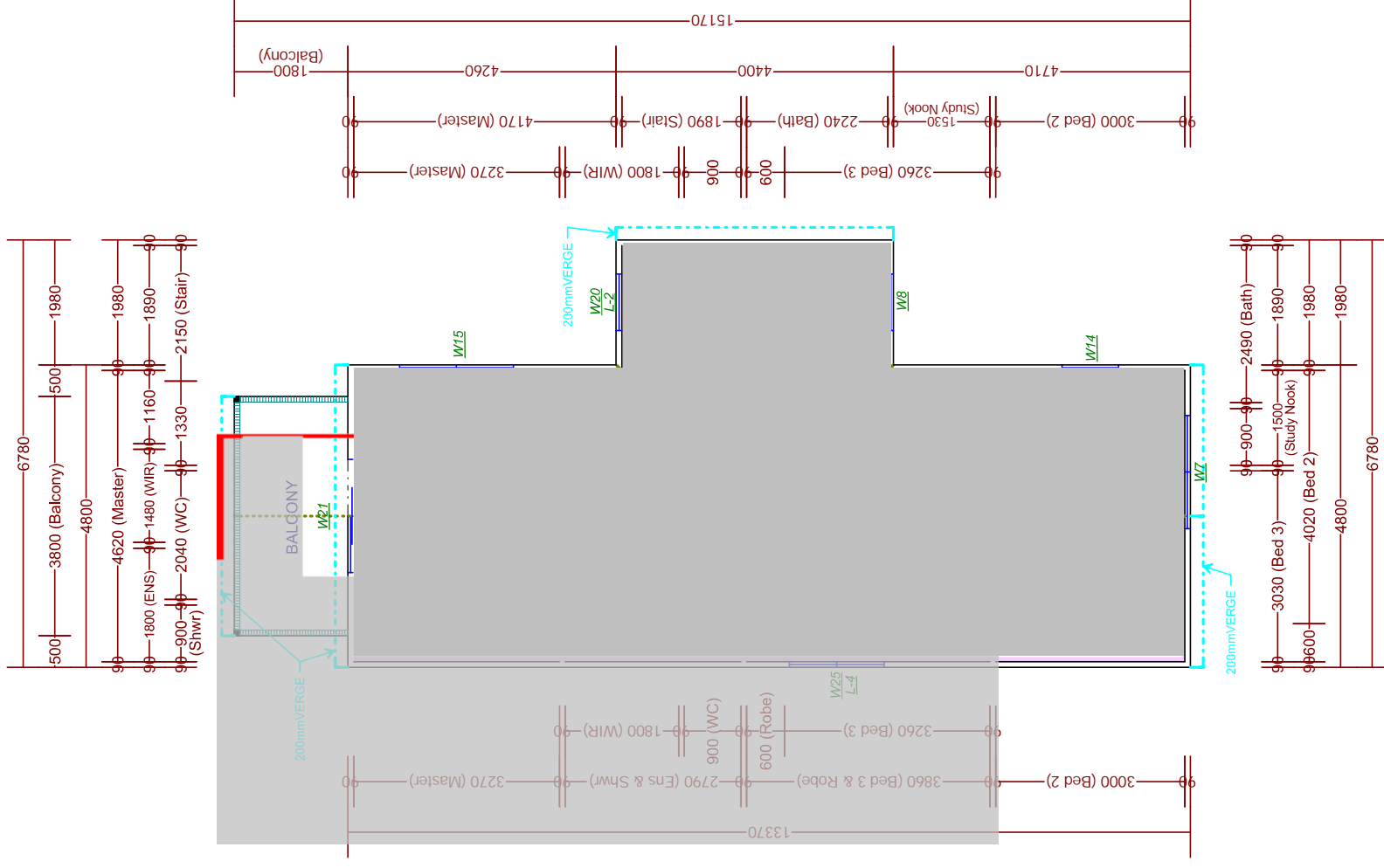
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ALL EXTERNAL UPPER WALL HEIGHTS 2200mm EXCEPT GABLE END WALLS.

LIGHT PINK SHADING INDICATES SCISSOR TRUSS (SEE SECTION).



Schedule of BASIX Commitments. (P1322bv)

Owner must ensure they meet the following requirements to comply with BASIX:

Landscaping:
 • The applicant must plant indigenous or low water use species of vegetation throughout 40.8 square metres of the site.

Fixtures:
 • Install showerheads with a minimum rating of 3 Stars in all showers in the development. (>6 but <= 7.5 L/min)
 • Install a toilet flushing system with a minimum energy rating of 4 Stars in each toilet in the development.
 • Install taps with a minimum rating of 5 Stars in the kitchen in the development.
 • Install basin taps with a minimum rating of 5 Stars in each bathroom in the development.

Alternative Water:
 • Install a rainwater tank with a capacity of at least 4,000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
 • Configure the rainwater tank to collect rain runoff from at least 222.8 square metres of the roof area of the development (excluding the area of roof which drains to any stormwater tank or private dam).
 • Connect the rainwater tank to all toilets, the cold tap that supplies each clothes washer, at least 1 outdoor tap, and all hot water systems in the development.

Swimming Pool:
 • Must not have a volume of greater than 48 kilolitres.
 • Must be outdoors.
 • Must not incorporate a heating system.
 • Must install timer for pump.

Thermal Comfort:
 • Do it yourself method – Refer to plans and BASIX report for insulation and glazing requirements

Energy Commitments – Hot Water:
 • Install the following hot water system in the development, or a system with a higher energy rating: **Electric heat pump, with a performance of 31 to 35 RECs or better.**

Cooling System:
 • 1 Phase Air-conditioning in at least 1 Living area (6 Stars).
 • Bedrooms must not incorporate any cooling system, or any ducting which is designed to accommodate a cooling system.

Heating System:
 • 1 Phase Air-conditioning in at least 1 Living area (6 Stars).
 • Bedrooms must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.

Ventilation:
 • Install the following exhaust systems in the development:
 • In at least 1 Bathroom: **Individual fan, not ducted; Operational control: manual switch on/off**
 • Kitchen: **Individual fan, not ducted; Operational control: interlocked to light**
 • Laundry: **natural ventilation only, or no laundry; Operational control: n/a.**

Artificial lighting:
 • The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps.
 • At least 4 of the bedrooms / study.
 • At least 3 of the living / dining rooms.

Natural lighting:
 • The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.
 • The applicant must install a window and/or skylight in 2 bathroom(s)/toilet(s) in the development for natural lighting.

Other:
 • The applicant must install a fixed outdoor clothes drying line as part of the development.
 • The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.

BAL - LOW NO CONSTRUCT. REQ'S



Planning and Development Act 2007, s425
DEVELOPMENT APPLICATION
Form 1A
**RESIDENTIAL ZONES -
SINGLE DWELLING HOUSING
DEVELOPMENT CODE**

Type of Application

New Application (If you attended a pre-application meeting or received written pre-application advice, please provide the proposal number) Insert Proposal Number to which this application relates (if applicable):
20.....

Lease/Site Details Please Print

If more than one lease/site, attach the following details for each lease/site

Block
Section Suburb
District
Street Number
Street Name
Postcode

Applicant Details Please Print

Surname
Company Name
Position held in company Australian Company/Business Number (ACN/ABN)
Postal Address
Suburb State Postcode
Phone Number Business Hours Mobile
EMAIL ADDRESS

Lessee (Property Owners) Details *Please Print*

1st Lessee's Details (or Government Land Custodian)

Surname [REDACTED]

Company Name [REDACTED]

Position held in company [REDACTED] Australian Company/Business Number (ACN/ABN) [REDACTED]

Postal Address [REDACTED]

Suburb YARRALUMLA State ACT Postcode 2600

Phone Number [REDACTED]
Business Hours [REDACTED]

EMAIL ADDRESS [REDACTED]

2nd Lessee's Details (or Government Land Custodian)

Surname [REDACTED]

Company Name [REDACTED]

Position held in company [REDACTED] Australian Company/Business Number (ACN/ABN) [REDACTED]

Postal Address [REDACTED]

Suburb YARRALUMLA State ACT Postcode 2600

Phone Number [REDACTED]
Business Hours [REDACTED]

EMAIL ADDRESS [REDACTED]

All lessees must sign authorising the lodgement of this development application. In doing so the lessee gives authority to the applicant to negotiate any dealings in relation to the application through to its determination. If there are more than two lessees please ensure that the details and authorisation are attached to the application.

Notice of Decision and Plans

Unless otherwise specified your notice of decision and/or plans will be returned via email

- EMAIL
- POST TO ME
- HOLD FOR COLLECTION

Fully Describe Your Proposal

EXAMPLES: 1. Demolition of one detached house and the erection of a new two storey residence with attached/detached garage and swimming pool 2. Addition of bedroom and ensuite to rear of existing residence

AMENDED
 MC 14/2/12

DEMOLITION OF ONE PART OF A DUPLEX AND
 CONSTRUCTION OF A NEW DWELLING AND GARAGE.
 APPROVAL FOR FUTURE POOL HOUSE AND
 SWIMMING POOL.

Use of the Land

Describe the proposed use of the land or the proposed use of a building or structure on the land.

Example: Residential purposes for a single dwelling

RESIDENTIAL PURPOSES FOR A SINGLE DWELLING

Is the Use consistent with the current Crown lease? YES NO

Assessment Track, Zone, Development/Precinct Code

Please indicate which assessment track applies to this development application

CODE MERIT

NOTE: The Planning and Land Authority may refuse to accept a development application made in an incorrect assessment track. If the Planning and Land Authority assesses an application made in the incorrect assessment track it must refuse the application (S.114 (3))

Please specify which Zone applies to this application:

R21: SUBURBAN

Please specify which development/precinct code/s applies to this application:

NONE KNOWN OTHER THAN THOSE RELATING TO R21 CONTROLS

Type of Development

Please indicate which type of development applies to this development application

- Single Dwelling
- Home Business
- New Residence
- Additions and Alterations
- Demolition/rebuild
- Outbuildings (carports, garages, pergolas etc)
- Lease Variation/Consolidation
- Other (please specify) _____
- Additions and alterations associated with application for home business application (NOTE: Home Business form also to be completed and lodged with this application)

Gross Floor Area (GFA) and Cost of Works

Gross Floor Area Calculation

A - Gross Floor Area (existing)	<u>108</u> m ²
B - Gross Floor Area to be demolished	<u>108</u> m ²
C - Gross Floor Area to be added	<u>232</u> m ²
D - Total Gross Floor Area of development (A+B+C)	<u>232</u> m ²
E - COST OF WORKS at D (*)	<u>\$ 308,000</u>

Other Area Calculation (not already included in the areas provided above)

F - Area of other BCA Class 10 structures included in this application (e.g. metal carport, pergola, deck, verandah)	<u>40</u> m ²
G - COST OF WORKS at F (*)	<u>\$ 30,000</u>

Cost of Associated Works

H - Cost of all associated works such as landscaping	<u>\$ 10,000</u>
I - Cost of all public works and/or off site works	<u>\$ —</u>
J - TOTAL COST OF WORKS (E+G+H+I)	<u>\$ 348,000</u>

*Cost of works MUST be calculated in accordance with the Building (General) (Cost of Building Work) Determination 2009 (No 1) - this can be located on the Authority website www.act.gov.au. OR a summary of costs from a bill of quantities prepared by a quantity surveyor supplied with application

A summary of costs from a bill of quantities MAY be requested for proposals where cost of work is between 50 and 310 million. A summary of costs from a bill of quantities MUST be provided for proposals where cost of work is over 310 million.

Refer to the Definition Section of the Territory Plan for a definition of "gross floor area".

Entity and/or Referral Requirements

The Territory Plan requires you to consider the following items in relation to Entity requirements when preparing your development application. If an item is relevant to your proposal you must:

- CODE TRACK APPLICATIONS**
 - Seek entity endorsement of your proposal prior to lodgement of your development application and submit this with your development application
- MERIT TRACK APPLICATIONS**
 - Seek entity endorsement of your proposal prior to lodgement of your development application and submit this with your development application OR
 - Provide documentation with your application that demonstrates your proposal addresses entity requirements so it can be referred to the relevant entity by the Planning and Land Authority

<p>DEMOLITION</p>	<input checked="" type="checkbox"/> RELEVANT <input type="checkbox"/> Entity Endorsement provided <input checked="" type="checkbox"/> Required documentation provided for referral to Entity	<input type="checkbox"/> NOT RELEVANT
<p>HERITAGE</p>	<input type="checkbox"/> RELEVANT <input type="checkbox"/> Entity Endorsement provided <input type="checkbox"/> Required documentation provided for referral to Entity	<input checked="" type="checkbox"/> NOT RELEVANT
<p>TREES</p> <p><small>'Protected tree' is defined under the Tree Protection Act 2005</small></p>	<input type="checkbox"/> RELEVANT <input type="checkbox"/> Entity Endorsement provided <input type="checkbox"/> Required documentation provided for referral to Entity <small>in accordance with section 148 of the P & D Act 2007, where the development proposal requires groundwork within the tree protection zone of a protected tree, or is likely to cause damage to or removal of any protected trees, the application is to be accompanied by a Tree Management Plan.</small>	<input checked="" type="checkbox"/> NOT RELEVANT STUMP CONSTRUCTION 710m TO TREE TRUNKS

WASTE MANAGEMENT	<input checked="" type="checkbox"/> RELEVANT <input type="checkbox"/> Entity Endorsement provided <input checked="" type="checkbox"/> Required documentation provided for referral to Entity NOTE: Only relevant for single dwelling housing where the development will generate a total of 20 cubic metres or greater of demolition and/or excavation waste.	<input type="checkbox"/> NOT RELEVANT
EROSION & SEDIMENT CONTROL For sites less than 0.3 of a hectare	<input checked="" type="checkbox"/> RELEVANT <input type="checkbox"/> Entity Endorsement provided <input checked="" type="checkbox"/> Required documentation provided for referral to Entity NOTE: All new dwellings (including in established areas) require a plan that provides details of the sediment and erosion control measures including: sediment control barrier, designated cutting area and wash area, stockpiles and stabilised access point. For works such as class 10 structures, additions and alterations, and backyard swimming pools - a note on the plan that "the development will comply with the ACT Environment Protection Authority, Environment Protection Guidelines for Construction and Land Development in the ACT, August 2007" is required. In circumstances where there is a reasonable risk that soil from the required earth works in the front of the block will impact on the stormwater system because the block slopes towards the street a separate Erosion & Sediment Control Plan will be required.	<input type="checkbox"/> NOT RELEVANT
EROSION & SEDIMENT CONTROL For sites greater than 0.3 of a hectare	<input type="checkbox"/> RELEVANT <input type="checkbox"/> Entity Endorsement provided <input type="checkbox"/> Required documentation provided for referral to Entity	<input checked="" type="checkbox"/> NOT RELEVANT

Information Requirements for Development Applications (Non Referral Matters)

The Territory Plan also requires you to consider the following items when preparing your development application. If an item is relevant to your proposal you must provide documentation that demonstrates how your proposal complies with the requirements of the Territory Plan.

SUBDIVISION (Residential Zones)	<input type="checkbox"/> RELEVANT <input type="checkbox"/> Required documentation provided	<input checked="" type="checkbox"/> NOT RELEVANT
WATER SENSITIVE URBAN DESIGN	<input checked="" type="checkbox"/> RELEVANT <input checked="" type="checkbox"/> Required documentation provided <i>GOOD TANK</i> NOTE: Relevant for all new single dwellings & for additions and alterations that increase the roof area by more than 50% ONLY.	<input type="checkbox"/> NOT RELEVANT

Utilities Requirements – ActewAGL & Stormwater

For all developments involving construction the location and nature of earthworks, utility connections, proposed buildings, pavements and landscape features must comply with utility standards, access provisions and asset clearance zones.

This application complies with utility standards Yes No *If No – Application can not be accepted*

For more information on:
 Utility Requirements and Standards Water, Electricity, Sewerage and Gas *Please contact ActewAGL on 6246 3555 or visit their website www.actewagl.com.au*
 Stormwater Easements *Please contact Asset Acceptance via Canberra Connect on 132281 or visit their website www.tems.ecf.gov.au*

PLEASE CAREFULLY READ THE APPLICANT DECLARATION BEFORE SIGNING THIS FORM.

Driveways (For works on verge only)

- For proposals that include construction or modification of driveway/s please indicate works to be undertaken:
- Not applicable
 - Construction of additional entrance
 - Relocation of existing entrance
 - Construction other than plain concrete
 - Construction of new driveway
 - Other (please specify) USE EXISTING DRIVE

Survey Requirements - S.139 (2) (f) - P & D Act 2007

If this application is for approval of a development that requires construction work to be carried out on land that has previously been developed and is not leased for rural purposes a survey certificate for the land where the development is to be carried out prepared and signed by a registered surveyor must accompany this application (unless exempt by Regulation 25 of Planning and Development Regulations 2008).

- Have you provided a survey certificate with this application?
- NOT RELEVANT
 - EXEMPT
 - YES

Development Applications for Development Undertaken Without Approval - S.206 - P & D Act 2007

- Is this application for development undertaken without approval?
- NO
 - YES

If YES - Plans of the development signed by a registered surveyor confirming the location and dimensions of the development **must** be submitted with this application. The plans need to confirm the height, width and length dimensions of the development and the setback dimensions of the development from the block boundaries. The information may be provided on one plan or on a series of plans provided each plan is signed by a registered surveyor.

Note: For all unapproved development involving construction the location and nature of earthworks, utility connections, proposed buildings, pavements and landscape features must comply with utility standards, access provisions and easel clearance zones.

Conflict of Interest Declaration

- Does the applicant or lessee have any association with Planning and Land Authority staff?
- NO
 - YES

If YES - please provide details:

NOTE: There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

Exclusion from Public Inspection

In accordance with the requirements of Sections 28 and 30 of the Planning and Development Act 2007 the Planning and Land Authority must make the details and associated documents relevant to a development application available for public inspection.

If you wish to apply to have all or part of this development application excluded from public inspection you must meet the requirements of Section 411(5) or 412(1) of the Planning and Development Act 2007.

- Exclusion from Public Inspection Requested
- YES
 - NO

- If Yes - please indicate under which section of Planning & Development Act 2007
- S.411(5) Restriction on Public Availability
 - S.412(1) Restriction on Public Availability SECURITY

Exclusion from Public Inspection continued

Please specify the information to be excluded from public inspection and provide reasons for exclusion:

* if exclusion is requested under Section 412(1) a letter, signed by a justice Minister, certifying this request satisfies the requirements Planning and Development Act 2007 must accompany this application

Other Development Application Requirements

LOGEMENT & PAYMENT

A valid development application comprises of a completed development application form accompanied by all of the required information or documents that address the relevant rules and/or relevant criteria for it to be considered for approval.

Proposals in the **Code Track** must be accompanied by information or documents addressing all the relevant rules, including all statements of endorsement required for the application. If the information is not provided the application must be refused.

Proposals in the **Merit track** have the option to comply with the rules or criteria, unless the rule is mandatory. Where it is proposed to meet the criteria, the onus is on the applicant to demonstrate, by supporting plans and written documentation, that the proposed development satisfies the criteria and therefore the intent of the element.

Once a development application is received, the documentation will be checked to ensure it meets the standard for lodgment. If the documentation provided is acceptable, you will receive written confirmation the application is ready for lodgment and a request for the payment of the application fees. A development application is not lodged until full payment of fees is made.

If the DA documentation is not acceptable for lodgment, you will receive written advice detailing the additional information required and/or any other issues with your application. Once these things are provided the Authority will recommence the documentation check and fee payment process outlined above.

DOCUMENTATION AND PLANS

All required documentation must be provided in an electronic format on compact disc/DVD and meet the following requirements (DA form to be submitted in hardcopy if lodged over the counter).

- Each document must be saved as a PDF and named in accordance with the naming convention as detailed on the ACTPLA website.
- All plans must be to scale.
- All plans must be related to the correct orientation i.e. they are the right way up when opened.
- All plans are to be clear and concise and generally consistent with Australian Standard 1100.301 - 1995 and Australian Standard 1100.301 supplementary - as updated from time to time.
- The proposal number included in the naming convention is unique to the application and provided by the Planning and Land Authority. If you have already had dealings with the Authority about your proposal through a pre-application meeting or have requested and received pre application advice, you would already have a proposal number allocated for your development application. If you have not been allocated a proposal number, leave this number out of the file name.
- The documentation provided on CD/DVD either over the counter or via an electronic lodgment process (email or internet) will be considered to be the relevant documentation associated with this application.

HARDCOPY DOCUMENTATION REQUIREMENTS

In addition to DA documentation being provided on compact disc/DVD a hard copy must also be provided for the following:

- Any report required as part of an application over 20 pages in length
- ALL development applications that will be assessed in the **IMPACT** assessment track
- Development applications for:
 - o a residential building intended to be higher than 3 storeys and consisting of more than 50 units
 - o a building where the total floor space of which is intended to be more than 7000m2
 - o a building or structure intended to be higher than 25m
 - o an application to change a concessional lease into a lease that is not concessional

Applicant and Lessee Declaration

I/we the undersigned, hereby apply for approval to carry out the development described on the land specified in this application:

I/we declare that this application is accompanied by all of the required information or documents that address the relevant rules and/or relevant criteria for it to be considered for approval.

I/we understand that the information submitted with this application form will undergo a documentation check prior to the payment of fees and formal lodgement of the application. Further information may be required prior to the acceptance of the development application by the Planning and Land Authority.

I/we understand that this application will be considered lodged once the relevant application fees have been paid.

I/we understand that if during the assessment of this application it is found to have been submitted in the incorrect assessment track, the application will be refused and I/we will not be entitled to a refund or transfer of fees.

I/we understand that the documentation provided on CD/DVD or via the electronic lodgement process will be considered to be the relevant documentation associated with this application. All development application documentation will be made available for public inspection (including via the Internet unless exclusion has been approved).

If the time for deciding the application (prescribed period) has ended and a decision has not been reached I/we understand that the application will be deemed refused and the Planning and Land Authority will not provide written advice of this decision. I/we also understand that the Planning and Land Authority is able to still consider the application and make a decision after the expiration of the prescribed period.

I/we hereby authorise the Planning and Land Authority, its servants and agents to erect signs on the subject property(s) as required and authorise ACT Government officers to access the subject property(s) for the purpose of evaluating the proposal (including the inspection of driveways and trees).

I/we the undersigned (lessors) appoint the applicant whose signature appears below or in the attached letter of appointment to act on my/our behalf in relation to this Development Application. This authorises the applicant to pay all application fees, bonds and securities, liaise with the Planning and Land Authority when required, alter, amend or provide further information as necessary and receive any communications relating to this Development Application.

I/we declare the information relating to utility standards, access provisions and asset clearance zones has been sought from the relevant utility providers and this development application has been prepared in accordance with their requirements.

I understand that costs associated with the relocation of any engineering services (light poles, storm water, pumps etc) will be at my expense and that I will indemnify the ACT Government, its servants and agents against any claims arising during the relocation of these services.

I understand that construction of any driveway associated with this application may not commence until the contractor has received endorsement by the relevant government entity.

I understand that a Certificate of Design Acceptance and a Road Opening Permit and Temporary Management Plan must be obtained from the relevant government agencies prior to the start of construction works.

I/we declare that all the information given on this form and its attachments is true and complete;

If signing on behalf of a company, organisation or Government agency: -

I/we the undersigned, declares I/we have the appropriate delegation or authority to sign on behalf of the company, organisation or Government agency.

Applicant Signature (s) _____

1st Lessee's Signature _____

2nd Lessee's Signature _____

Govt Land Custodian Signature (unleased land only) _____ Date _____

Delegate of the Planning & Land Authority (unleased land only) _____ Date _____

PLEASE MAKE SURE YOU COMPLETE THE DOCUMENTATION REQUIREMENTS CHECKLIST AT THE END OF THIS FORM

Privacy Notice

The personal information on this form is being collected to enable processing of your application. Collection of personal information is authorised by Chapters 7, 8 and 9 of the *Planning and Development Act 2007*. The information that you provide may be disclosed to the ACT Revenue Office and the Registrar-General's Office. The information may be accessed by other government agencies, ActewAGL, ACTEW Corporation and other commercial organisations interested in development and building information. The *Planning and Development Act 2007* requires the details of applications, decisions and orders to be kept on a register and made available for public inspection. Information and documentation relevant to a development application may be made available via the Internet.

Does the Commonwealth Environment Protection and Biodiversity Conservation Act 1999 (EPBC) affect your proposal?

The EPBC came into operation on 16 July 2000. It establishes an environmental assessment and approval system that is separate and distinct from the ACT system. It does not affect the validity of ACT development assessment and approval processes, but may affect the assessment track. The ACT cannot provide preliminary advice on whether a proposal falls within the definition of a controlled action, or requires referral to the Commonwealth. You should consult with the Commonwealth to determine if your proposal is a controlled action before seeking any approvals under the *Planning and Development Act 2007*. For information about the EPBC, including the referral process and when a referral should be made, contact: the Department of the Environment, Water, Heritage and the Arts, GPO Box 787, CANBERRA ACT 2601 Telephone: 62741111.



**DOCUMENTATION REQUIREMENTS
 RESIDENTIAL ZONES - SINGLE DWELLING HOUSING DEVELOPMENT CODE**

Key:	Single residence in new estate	Single Dwelling in established area	Additions & Alterations excluding 2 nd storey additions	Second Storey Additions	Outbuildings/Class 10 Structures	Swimming Pools
✓ Required						
★ Required if relevant May be requested as further information (for merit track assessable Development Applications only)						
Site Plan	✓	✓	✓	✓	✓	✓
Floor Plan For Public Register & Public Notification No internal layout shown for residential development	✓	✓	✓	✓		
Floor Plan	✓	✓	✓	✓	✓	✓
Elevations	✓	✓	✓	✓	✓	✓
Sections	✓	✓	✓	✓	✓	✓
Colour Sample Schedule	✓	✓	✓	✓		
Demolition Plan		✓	★	✓	★	★
Shadow Diagram						
Statement Against Relevant Criteria For merit track assessable Development Applications only	✓	✓	✓	✓	✓	✓
Survey Certificate Required unless exempt by P & D Regulation 25		✓	✓	✓	✓	✓
Landscape Plan		✓	✓			✓
Erosion and Sediment Control Plan or notation on plan stating development complies with EPA requirements	✓	✓	✓	✓	✓	✓
Tree Management Plan	★	★	★	★	★	★
Waste Management Plan Only relevant for single dwelling housing where the development will generate a total of 20 cubic metres or greater of demolition and/or excavation waste	★	★	★	★		★
Driveway Plan For works on verge only	✓	✓	✓		✓	
Relevant Entity Advice Mandatory for DAs to be assessed in Code track Optional for DAs to be assessed in Merit track	★	★	★	★	★	★
Documentation to satisfy relevant entity referral and non referral requirements as required by the Territory Plan	★	★	★	★	★	★
Water Sensitive Urban Design Documentation For all new single dwellings & for additions and alterations that increase the floor area by more than 50% ONLY	✓	✓	★	★		
Unapproved Existing Works Plan	★	★	★	★	★	★

DOCUMENTATION REQUIREMENTS – DEFINITIONS & CHECKLIST

Submission Requirement	Required Information		
Statement Against Relevant Criteria MERIT TRACK ONLY	Preferred Format:	A4 black and white Merit <ul style="list-style-type: none"> Where it is proposed to meet a criteria rather than a rule the applicant is to provide a written statement demonstrating that the proposed development satisfies the criteria and therefore the intent of the element. 	<input checked="" type="checkbox"/> Supplied <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
Site Plan	Preferred Format:	A3 (A1 for large or complex proposals) black and white 1:200 250mm for urban areas, as appropriate for other areas Australian Height Datum (AHD) <ul style="list-style-type: none"> Location and identification of existing structures and trees - tree canopies to be shown to scale Boundaries of the site with bearings and distances Location of proposed buildings and structures with dimensions to block boundaries Schedule of gross floor areas for the proposal including existing structures Existing contours from site survey of the site and adjoining verge All easements on the land Driveway verge crossing details Where they can be reasonably determined, all existing reticulated services and associated infrastructure on the site Street trees, foot paths, kerbs, storm water pits, street lighting and other public assets in the verge adjacent to the site The drip line of any street trees where a proposed driveway verge crossing encroaches within that drip line All proposed signs 	<input checked="" type="checkbox"/> Supplied <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
Floor Plan(s) For assessment purposes	Preferred Format:	A3 (A1 for large or complex proposals) black and white 1:100 <ul style="list-style-type: none"> A plan for each floor including any half-cable, subfloor areas Dimensions Key to sections cross referenced to relevant drawing and sheet number Finished floor levels related to Australian Height Datum Schedule of gross floor area for each floor Identification of all acceptable dwellings For proposals involving alterations or additions to an existing building, identification of the existing building Identification of all rooms (existing and proposed) 	<input checked="" type="checkbox"/> Supplied <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
Floor Plan(s) For public register and notification purposes	Preferred Format:	A3 (A1 for large or complex proposals) black and white 1:100 As above with the following exceptions - <ul style="list-style-type: none"> Floor plan is not to show interior layout of residential development All windows and doors to be clearly marked to enable identification of the use of the room/space to which they relate or an indication on the floor plan as to what the space will be used for (e.g. bedroom, living area, car accommodation) 	<input checked="" type="checkbox"/> Supplied <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
Elevations	Preferred Format:	A3 (A1 for large or complex proposals) black and white 1:100 <ul style="list-style-type: none"> Dimensioned heights including overall heights All proposed signs Proposed external materials referenced to Colour Sample Schedule Finished floor levels and ceiling levels Natural and finished ground levels related to Australian Height Datum Floor to ceiling heights Side and rear building envelopes 	<input checked="" type="checkbox"/> Supplied <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
Section(s)	Preferred Format:	A3 (A1 for large or complex proposals) black and white 1:100 <ul style="list-style-type: none"> Finished floor levels and ceiling levels Natural and finished ground levels related to Australian Height Datum Floor to ceiling heights Side and rear building envelopes Long section of any proposed basement ramp showing gradients Section of any sub floor areas 	<input checked="" type="checkbox"/> Supplied <input type="checkbox"/> Not required <input type="checkbox"/> Office Use

Submission Requirement	Required Information	
Driveway Plan For works on verges only	Preferred Format:	A3 (portrait) black and white 1:200 <ul style="list-style-type: none"> Existing ground levels and the datum mark used to obtain levels Type of kerb & gutter i.e. layback or vertical Existing or intended footpaths & their alignment Kerb levels at each corner of the driveway Levels of each side of the driveway 2m behind the kerb and property boundary Longitudinal sections Location & surface levels of proposed garage and/or carport and dwelling Long sections Distance from kerb line to garage or carport, kerb line to property boundary, changes to levels along each side of the proposed driveway at all changes of grade and at start, midpoint and finish of all vertical curves Driveway to be outside tree canopy (for both leased land & verge) & anticipated mature canopy, 1.2 metres clear of sumps and services 1.5 metres clear of transformers, 6 metres clear of tangent point on corner block Proposed uphill grade to be less than 17% & downhill grade less than 12%, on verges & at right angle to kerb line (max 1:10 deviation)
Colour Sample Schedule	Preferred Format:	A4, A3, colour <ul style="list-style-type: none"> Proposed external material colour schedule referenced to their location and use (e.g., roofing, windows, exterior walls) on elevations Schedule to identify names, codes and brands of exterior colours for materials
Demolition Plan	Preferred Format:	A3 (A1 for large or complex proposals) black & white 1:200 <ul style="list-style-type: none"> Identification of all buildings and structures proposed to be demolished
Erosion & Sediment Control Plan	Preferred Format:	A3 (A1 for large or complex proposals) black and white <ul style="list-style-type: none"> Prepared in accordance with ACT Environment Protection Authority, Environmental Protection Guidelines for Construction and Land Development in the ACT <p>For works such as clear 10 structures, additions and alterations, and backyard swimming pools that a note on this plan that "the development will comply with the ACT Environment Protection Authority, Environmental Protection Guidelines for Construction and Land Development in the ACT, August 2007" will suffice except where there is a reasonable risk that soil from the required earth works in the front of the block will impact on the stormwater system because the block slopes towards the street</p>
Survey Certificate (as required by Section 139(2) (i) Planning & Development Act 2007)	Preferred Format:	A3 (A1 for large or complex proposals) black and white 1:200 250mm for urban areas, as appropriate for other areas Australian Height Datum (AHD) <ul style="list-style-type: none"> The boundaries of the site with bearings and distances The location of each building and structure on the site Dimensions of the development Existing contours of the site and adjoining verge Prepared and signed by registered Surveyor
Shadow Diagram(s)	Preferred Format:	A3 (A1 for large or complex proposals) black and white 1:100 <ul style="list-style-type: none"> Existing contours (as per site plan) Natural & finished ground levels related to Australian Height Datum The location of proposed buildings and structures Shadows cast by proposed buildings, retained buildings, existing fences and proposed fences at 9am, noon and 3pm on 21 June (Winter solstice) The location of all buildings and private open space on adjoining or adjacent blocks that are affected by those shadows Elevations of buildings on adjoining or adjacent blocks that contain windows to habitable rooms affected by shadows cast. Where possible the type of habitable room affected should be indicated (e.g. bedroom, dining room)

Submission Requirement	Required Information		
Landscape Plan	Preferred Format:	A3 (A1 for large or complex proposals) black and white 1:200 Proposed landscaping plan to include: <ul style="list-style-type: none"> Proposed planting details, including plant species and common name, total number of each species of plant proposed and planting (pct) size to be nominated on the plan Trees on the site proposed to be retained Tree protection zones for all protected trees affecting the site, accurately shown (including tree protection zones of trees on adjacent or adjoining blocks) For proposals in heritage areas and redevelopment in established areas an evaluation of all existing trees to be provided. Existing and proposed contours Retaining structures boundary treatments including courtyard walls and fences Surface treatments showing pervious and impervious surfaces Surface storm water management including drainage and laps Areas to be irrigated including type of system The area of private open space to be provided The percentage of private open space to be retained as planting 	<input checked="" type="checkbox"/> Supplied <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
Tree Management Plan Note: "Protected tree" is defined under the Tree Protection Act 2005	Preferred Format:	A4, black and white 1:200 <ul style="list-style-type: none"> Prepared in accordance with Department of Territory and Municipal Services-Guidelines for Preparing a Tree Management Plan <p>In accordance with section 148 of the Planning and Development Act 2007, where the development proposal requires groundwork within the tree protection zone of a protected tree, or is likely to cause damage to or removal of any protected trees, the application is accompanied by a Tree Management Plan</p>	<input type="checkbox"/> Supplied <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use
Waste Management Plan Including Spill Management Plan where relevant.	Preferred Format:	The relevant form from the Development Control Code for Best Practice Waste Management in the ACT <ul style="list-style-type: none"> These forms are available from the Planning and Land Authority or from the ACT NOWaste website at www.nowaste.act.gov.au Only relevant for single dwelling housing where the development will generate a total of 20 cubic metres or greater of demolition and/or excavation waste 	<input checked="" type="checkbox"/> Supplied <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
Unapproved Existing Works Plan (required under Section 205 of the Planning and Development Act 2007)	Preferred Format:	A4 or A3 Black and White <ul style="list-style-type: none"> Plans of the development signed by a registered surveyor confirming the location and dimensions of the development must be submitted with this application. Plans need to confirm the height, width and length dimensions of the development and the setback dimensions of the development from the block boundaries. Information may be provided on one plan or on a series of plans provided each plan is signed by a registered surveyor 	<input type="checkbox"/> Supplied <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use

Contact Details:
 Environment and Sustainable Development Directorate
 Customer Service Centre
 GPO Box 1908, Canberra City 2601
 16 Challis Street, Dickson ACT 2602
 Business Hours: 8.30am to 4.30pm weekdays (excluding Public Holidays)
 Phone: (02) 6207 1923 Fax: (02) 6207 1925 TTY: (02) 6207 2622
 Email: actpla.customer.services@act.gov.au Website: www.actpla.act.gov.au



WASTE MANAGEMENT PLAN

If you are intending to submit a Development Application and/or a Building Application you must complete this waste management plan. One set of supporting drawings must be attached to this document, showing storage location, truck access and turning circles on the site plan (please see last page of the Waste Management Plan).

Sections of the Waste Management Plan you need to complete are detailed in Section 4 Table 1 of the Code.

PROJECT SPECIFIC INFORMATION

PART 1: PROJECT AND APPLICANT DETAILS

PROJECT DESCRIPTION: DEMOLITION OF A DWELLING + ERECTION OF NEW DWELLING

UNIT No. _____ BLOCK: 6 SECTION: 11 SUBURB: YARRALUMLA

APPLICANT: _____

PHONE: _____

ADDRESS: _____

Declaration: *I as applicant undertake that the disposal of the waste will take place as per the details of the plan and will ensure that the contractors and sub contractors involved in this application are also responsible for implementing this plan.*

SIGNATURE: _____ DATE: 14/12/11
(Applicant/Agent)

PART 2: TYPE OF PROCESS

TYPE OF APPLICATION (tick appropriate box(es))

- Development Application (DA) Lease Variation – with immediate building works
 Building Application (BA) Lease Variation – without immediate building works

TYPES OF DEVELOPMENT (tick the appropriate boxes)

- New
- Existing Redevelopment/Refurbishment/fitout

- Single Residential Dwelling
- Dual Occupancy
- Residential multi unit and cluster developments up to 10 units _____ (No. Of Units)
- Residential multi unit and cluster developments 11 and above _____ (No. Of Units)
- Offices and Non Retail Food
- Retail Food, Cafes Clubs, Restaurants and Takeaways
- Town Centre/Group Centre, Supermarkets, Shopping Centres, Hostels, Hotels, Motels, Serviced Apartments and Institutional Premises
- Estate Development Projects (ie suburban developments)

OTHER (Please specify):

DEMOLITION PHASE

- Is demolition involved? Yes No
(If NO go to Part 4)

- Will there be more than 5m² of demolition waste generated? Yes No
(If YES go to Part 3) (If NO go to Part 4)

CONSTRUCTION PHASE

- Part 4 is to be completed for all the following developments:
- Refurbishments/fitouts (Non 1, 2 and 10a developments)
 - Residential multi unit and cluster developments 11 and above
 - Offices and Non Retail Food
 - Retail Food, Cafes Clubs, Restaurants and Takeaways
 - Town Centre/Group Centre, Supermarkets, Shopping Centres, Hostels, Hotels, Motels, Serviced Apartments and Institutional Premises
 - Estate Development Projects (ie suburban developments)

**WASTE MANAGEMENT PLAN — PART 3
DEMOLITION WASTE PROFORMA**

Unit No: 6
 Applicant's Name: TREAD LIGHTLY EARTHWORKS
 Demolisher Assigned: TREAD LIGHTLY EARTHWORKS
 Suburb: MARRARA
 Date: 14/12/11
 ACT Builder's Licence No: 2009694 Date: 6/12/11

Type Of Material Generated	Estimated Volume Of Material Generated (m ³)	REUSE/RECYCLING OF DEMOLITION WASTE		DISPOSAL AT LANDFILL	
		ON-SITE	OFF-SITE		
	Estimated Volume (m ³)	Specify proposed reuse or on-site recycling methods	Specify name of receiving recycling outlet(s) and/or reuse site(s)	Estimated Volume (m ³)	Specify landfill site(s)
Excavation Material	0				
Green Waste	10		CANBERRA SAND + GRAVEL		
Bricks	100		CBR CONCRETE RECYCLING		
Concrete	80		"		
Timber (Please Specify)	50		ACT RECYCLING		
Plasterboard/Gyprock	10			10	MUGGA LANE
Metals (Please Specify)	5		E24 SCRAP		
Other TYPED (Please Specify)	10			10	MUGGA LANE
TOTAL	265			20	

**WASTE MANAGEMENT PLAN – PART 4
CONSTRUCTION WASTE PROFORMA**

6
Section: 11
Suburb: YARRALUMLA

Date: 14, 12, 11

Applicant's Name: [Redacted]
Applicant's Signature: [Redacted]

Type Of Material Generated	Estimated Volume Of Waste Material Generated (m ³)	OFF-SITE REUSE/RECYCLING OF CONSTRUCTION WASTE		DISPOSAL AT LANDFILL	
		Estimated Volume of Construction Waste (m ³)	Specify name of receiving recycling outlet(s) and/or reuse site(s)	Estimated Volume of Construction Waste (m ³)	Specify landfill site(s)
Excavation Material	—				
Green Waste	—				
Bricks	—				
Concrete	—				
Timber (Please Specify)		2	ACT RECYCLING		
Plasterboard/Gyprock		1/4	ACT RECYCLING		
Metals (Please Specify)		1	EEY SCRAP		
Other (Please Specify)					
TOTAL					

* In this case, "waste" means any construction material that is not reused on site

OPERATIONAL PHASE

PART 5: GENERATION OF WASTE & RECYCLABLES

		NON-RECYCLABLES (Waste)	RECYCLABLES		
			Paper	Metals/plastics/ glass/paperboard	Other (describe)
Generation Rate (e.g. m ³ /100m ² /day)					
Gross Floor Area (m ²) or No. of meals/day	meals/day m ²				
Waste generation (m ³ per week)					

Note. Refer to Section 6.2 of the code for generation rates of waste and recyclables.

NON-RECYCLABLES (Waste): CONTAINER SIZE

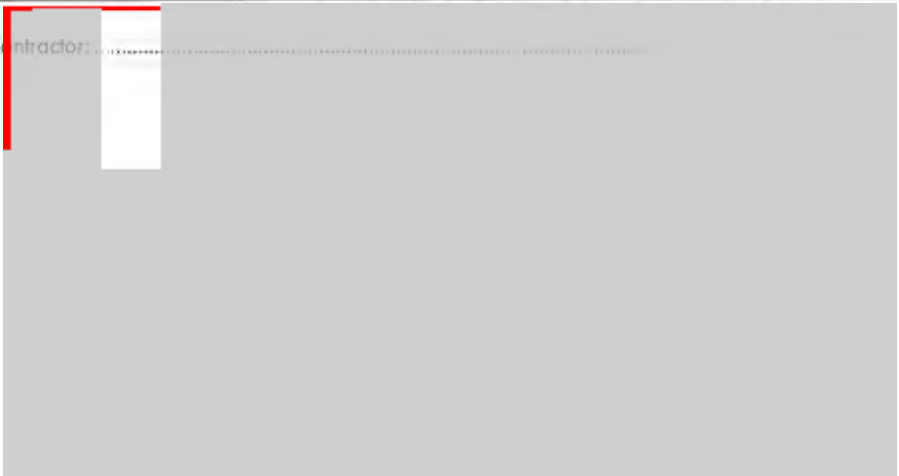
Container Size	No.	Capacity – m ³
140 L		
240 L		
1.5 m ³		
3.0 m ³		
4.5 m ³		
Comperator – Specify Ratio – (.....:1)		
Other Size (Please Specify):		
Number of collections per week		
Weekly capacity		
Weekly generation rate		

Name of Contractor:

RECYCLABLES: CONTAINER SIZE — THIS PROJECT

Container Size	Paper		Metals/Plastics/ Glass/Paperboard		Other (describe below)	
	No.	Capacity	No.	Capacity	No.	Capacity
240 l (120/120L divided – household/flats only)						
240 l						
1.1 m3						
1.5 m3						
3.0 m3						
4.5 m3						
Compactor – Specify Ratio = (: : 1)						
Other Size (Please Specify)						
Number of collections/week						
Weekly capacity						
Weekly generation rate						

Name of Contractor:



PART 6: CHECKLIST FOR ENCLOSURE(S) FOR THIS PROJECT

* Please circle a "YES" or "NO" answer where appropriate.

Enclosures YES / NO

Number of enclosures

	Length	Depth	Height
No. 1	m	m	m
No. 2	m	m	m
No. 3	m	m	m

FLOOR GRADES

Enclosure (2% max) %

Service area (3% max) %

HEIGHT DETAILS

Clear internal height m

Sight lines into enclosure m

What is the steepest grade for carting waste/recyclables to enclosure? %

What is the maximum carting distance for carting to storage area? m

Is the development designated for aged persons? YES / NO

WALL DETAILS

Specify wall materials used:

Are wall buffers provided? YES / NO

ROOF DETAILS

Is a roof provided? YES / NO

Is roof drainage provided? YES / NO

Is there 10° overhang? (See Figure 1 of code) YES / NO

ACCESS DETAILS

Are gates provided? YES / NO

Will gate holds open? YES / NO

Are roller shutters provided? YES / NO

Is there roller shutter protection? YES / NO

Is there separate user access provided? YES / NO

HYDRAULICS

Is a water tap provided? YES / NO

Is there protection provided for water tap? YES / NO

Is a basket trap provided? YES / NO

Is there connection to sewer? (Note, ACTEW Approval Required) YES / NO

OTHER

Specify ventilation provided:

Are services protected? YES / NO

Is an environmental protection sign erected? YES / NO

Can stormwater get into sewer via enclosure? YES / NO

(Note, Waste and Recyclables must be stored within the property line.)

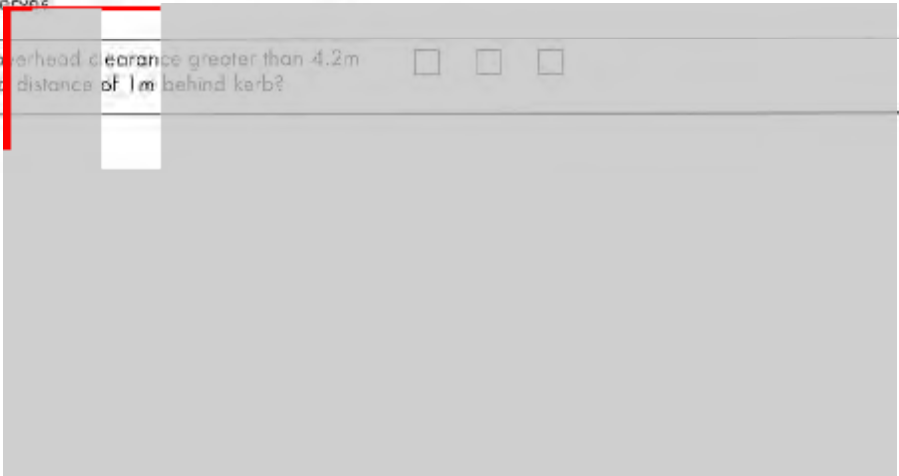
PART 7: COLLECTION VEHICLE ACCESS AND TURNING PROVISIONS

Item No.	Item	Yes	No	N/A	Comments if response is No
Site Access					
1	Does collection vehicle require access to site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Go to item 16 kerbside collection.
2	Is driveway reinforced concrete to industrial standard?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Note. Industrial Strength means F82 mesh at 30mm top cover, 150 mm thick and 20 MPa concrete.
3	Is internal access road designed for heavy vehicle axle loads of 7 tonnes per axle?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Note. Application needs to be supported by written certification from consulting engineer confirming 7 tonne axle loading.
4	Has site owner consented to heavy vehicle(s) entering site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
5	Can collection vehicle drive straight through the site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	If no, should provide U-turn within the site. See item 13.
Collection of Materials					
6	Is collection area clear of likely parked car interference?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
7	Are containers to be emptied without manual handling?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	If no go to 8. If yes go to 10.
8	Are containers 1.5 m ² or smaller?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	OH&S problem if bin larger than 1.5 m ² .
9	Is bin maneuvering area concrete surfaced including area for front wheels of collection vehicle?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Other surfaces present OH&S problems. Clause 8,9,10.
10	Is bin maneuvering area slope 3% or less?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Steeper slopes present OH&S problems.
11	Are bin stops provided if the bin can roll away and cause severe damage?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
On-site maneuvering					
12	Is access road in accordance with AS2890.1 and AS2890.2?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
13	If collection vehicle is to turn on-site is the turning area concrete surfaced to prevent pavement damage?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
14	Does U-turn provision satisfy turning radius of 10.0m to outside of turn and consider swept path?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
15	Apart from U-turn, is reversing on site to be around curves of radius more than 30m and/or for less than 40m?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PART 7: COLLECTION VEHICLE ACCESS AND TURNING PROVISIONS

Continued

Item No.	Item	Yes	No	N/A	Comments if response is No
Kerbside collection					
15	Has responsibility for placement of MGBs at kerbside been determined?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
17	Is number of MGBs at kerbside 20 or less (including recycling MGBs)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
18	Is width of kerbside sufficient to cope with all MGBs in single row? Allow 1200mm per pair of MGBs (waste plus recycling)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
19	Has collection pad been provided for placement of MGBs from properties other than that abutting that portion of the road reserve?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
20	Is overhead clearance greater than 4.2m to a distance of 1m behind kerb?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	





WASTE MANAGEMENT PLAN CHECKLIST

If DA, have you ... (please tick)

- 1 Filled in the relevant parts of the Waste Management Plan (Refer to section 4 Table 1 Application requirements)
- 2 Provided a Site Plan showing:
 - Enclosure location (if applicable)
 - Driveway entry and internal road layout
 - Traffic conditions – proximity of intersections, traffic calming devices etc.
 - Site contours
 - Temporary waste storage location (if applicable)
- 3. Provided Plans and Drawings showing:
 - Stretch of internal road used by trucks inside the property (hashed)
 - Turning circles (1:200 scale plan)
 - Side elevation of enclosure(s) – with floor grades – inside and outside
 - Spot levels of collection pad area outside of the enclosure at 1m intervals
 - Hydraulics plan – with trap location and sump with sewer connections in enclosure or other washdown area.
- 4. Provided Consulting Engineers certification that the pavement is designed for a maximum wheel loading of 7 tonnes per axle, in order to accommodate waste and recycling collection trucks if pavement design is other than F82 mesh, 150mm thick and 32 MPa concrete.

If BA, have you ... (please tick)

- Submitted details of 1, 2, 3 and 4 above

- Note 1** Prior to the issuing of a Certificate of Occupancy, a Certificate of Compliance from the Structural Engineer is to be submitted certifying that the pavement was constructed as per the approved plans.
- Note 2** Once demolition has been carried out, a compliance certificate from the demolisher should be submitted to ACT Waste.
- Note 3** If development has passed through DA process, approved plans should be submitted.

Now please either send to **PALM** if DA or **Private Certifiers** if BA

book Cottages

Traditional Contemporary Classic

DEMOLITION PLAN

1:200 SCALE ± 1%.

JOB No. - M1333cv
 DESIGN - BAILEY PLACE (MOD)
 YARRALUMLA ACT 2600

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 DRAWN BY - N. CAIRNS-MALCOLM
 VICTORIAN BUILDING PRACTITIONER
 REGISTRATION NUMBER DP-1883
 STORYBOOK COTTAGES (AUST.) P/L

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SEWER CONNECTIONS DEMOLITION WORKS

ActewAGL requirements for demolition work which has the potential to damage ACTEW assets or result in discharge of stormwater or other unapproved wastes (other than domestic sewage) to the ACTEW sewerage network. The property owner (or their design or construction agent) is responsible to:

1. Where an ACTEW sewer main traverses a property or an ACTEW sewer main is outside the property boundary (and proposed demolition works may impact on the sewer main's pipe-protection-envelope), obtain accurate sewer network survey plans from ActewAGL or from a site survey by a registered surveyor. Show sewer asset locations (including manhole, boundary riser and tie location) on relevant demolition plans (with off-set dimensions from site boundaries).
2. Record the condition of manhole covers, etc. Call ActewAGL to repair damaged components. Phone 131 193. A failure to identify any faults before demolition works commence may result in the property owner (or their contractors) being held responsible to pay for the repair of damage caused by a failure to adequately protect those assets during the demolition or building construction works.
3. Engage a licensed drainer to disconnect the internal sanitary drains before any demolition works commence. The discharge of debris, stormwater or other unapproved liquid wastes (other than domestic sewage) is an offence under the Utilities Act 2000.
4. Identify, flag, barricade and protect the sanitary drainage 'riser' (if installed) and manholes from demolition operations.
5. Where further construction works is planned, sanitary drains are to be temporarily sealed off by capping no closer than 3 metres from the ACTEW tie. Excavation and capping is to be undertaken by licensed drainers at the customer's expense. The capping point is to be staked behind the cap and identified at ground level. Note: The subsequent building contractor will be required to make a new sanitary drainage connection at the designated tie (not at the temporary cap). This may require the removal of old jump-ups in the customer's sanitary drains. When the tie is exposed it is desirable to ask ActewAGL to inspect the branch-line to ensure it is in good condition.
6. Where further construction works is not proposed to commence within 12 months from the date demolition works commence, permanent disconnection may be required. Please consult with ActewAGL.
7. Advise ActewAGL that the demolition is complete.

Contacts:
 All water network enquiries should be made to the Water Enquiries Line: 6248 3555 (press 2 for water) or by visiting the customer service counter at 12 Hoskins Street Mitchell during business hours.

WATER SUPPLY DEMOLITION WORKS

ActewAGL requirements for demolition work which has the potential to damage ACTEW assets or result in contamination of the potable water supply. The property owner (or their design or construction agent) is responsible to:

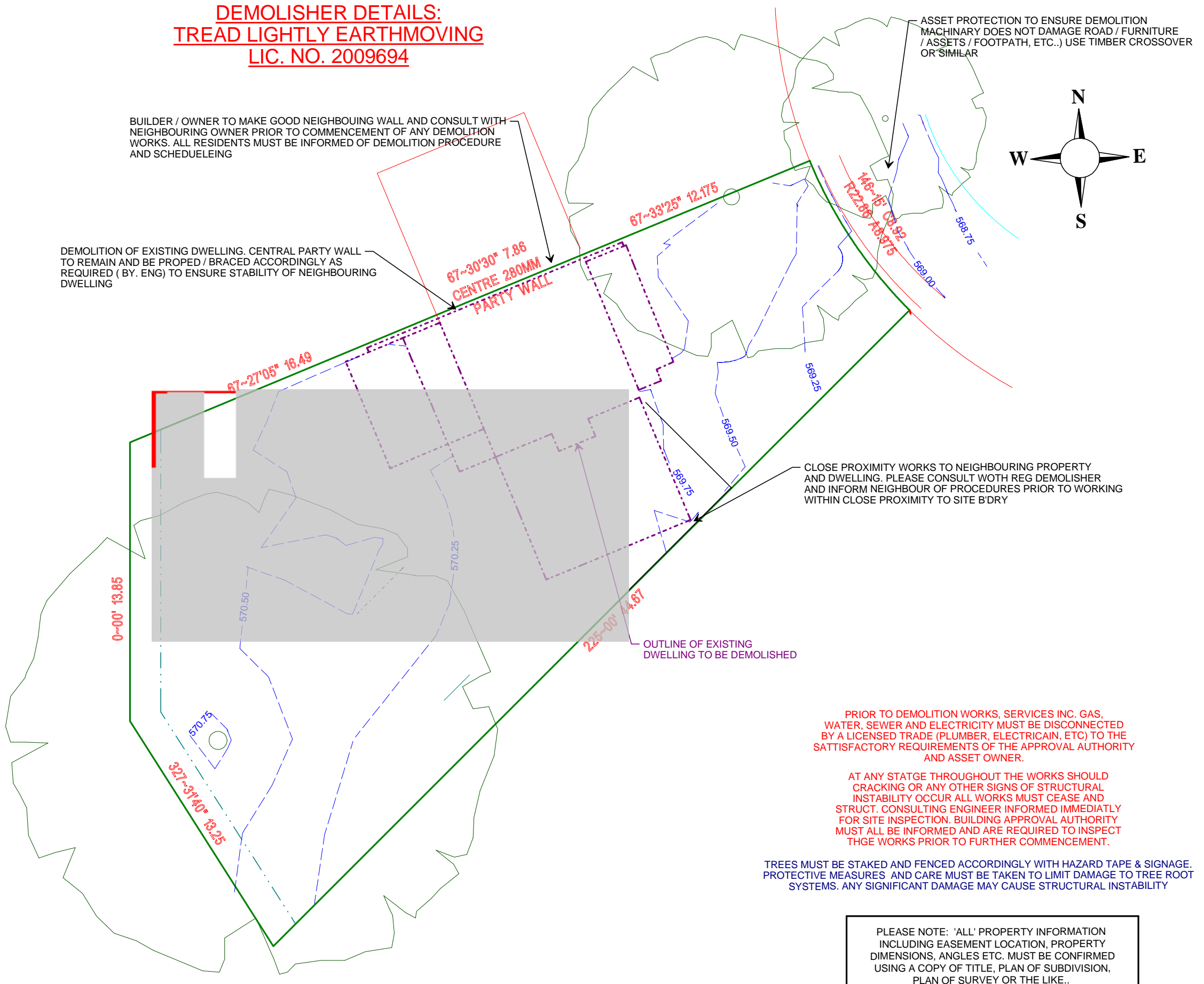
1. Where an ACTEW water main traverses a property (and where an ACTEW water main is outside the property boundary but proposed demolition works may impact on the water main's pipe-protection-envelope), obtain accurate water network survey plans from ActewAGL or from a site survey by a registered surveyor. Show water asset locations (including mains, valves and hydrants) on relevant demolition plans (with off-set dimensions to site boundaries).
2. Identify the location of the ACTEW isolation valve and water meter on the site plan (with off-set dimensions from site boundaries).
3. Record the condition of the water connection pipe, isolation valve, water meter, verge hydrants, verge network valves, etc. Call ActewAGL to repair damaged components. Phone 131 193. A failure to identify any faults before demolition works commence may result in the property owner (or their contractors) being held responsible to pay for the repair of damage caused by a failure to adequately protect those assets during the demolition or building construction works.
4. Engage a licensed plumber to disconnect the internal plumbing service at the water meter before any demolition works commence.
5. Where further construction works is planned, install a temporary hose cock adjacent to the meter. Retain the meter, meter box and hose cock for the duration of any building works. Identify, flag, barricade and protect the meter assembly from demolition operations and accidental damage. To avoid accidental wastage, turn off the isolation valve until required.
6. Where further construction works is not proposed to commence within 12 months from the date demolition works commence, permanent disconnection and removal of the meter may be required. Please consult with ActewAGL.
7. Flag and protect network isolation valves and hydrants (on the verge) from demolition operations and accidental damage.
8. Advise ActewAGL that the demolition is complete. (ActewAGL may take the opportunity to install a new isolation valve and meter assembly to the current ACTEW standard).

Contacts:
 All water network enquiries should be made to the Water Enquiries Line: 6248 3555 (press 2 for water) or by visiting the customer service counter at 12 Hoskins Street Mitchell during business hours.

DEMOLISHER DETAILS: TREAD LIGHTLY EARTHMOVING LIC. NO. 2009694

BUILDER / OWNER TO MAKE GOOD NEIGHBOURING WALL AND CONSULT WITH NEIGHBOURING OWNER PRIOR TO COMMENCEMENT OF ANY DEMOLITION WORKS. ALL RESIDENTS MUST BE INFORMED OF DEMOLITION PROCEDURE AND SCHEDULEING

DEMOLITION OF EXISTING DWELLING. CENTRAL PARTY WALL TO REMAIN AND BE PROPE / BRACED ACCORDINGLY AS REQUIRED (BY. ENG) TO ENSURE STABILITY OF NEIGHBOURING DWELLING



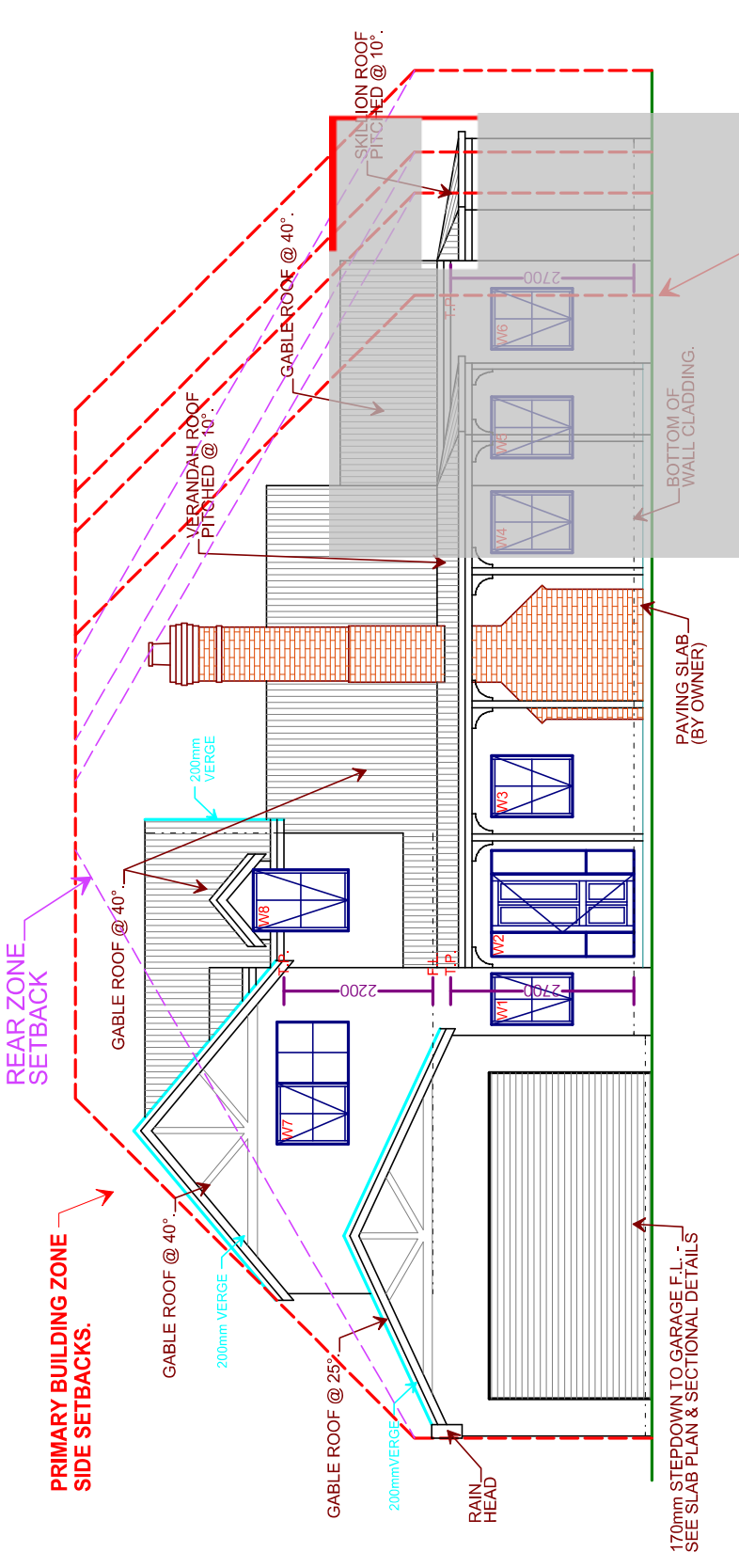
CLOSE PROXIMITY WORKS TO NEIGHBOURING PROPERTY AND DWELLING. PLEASE CONSULT WITH REG DEMOLISHER AND INFORM NEIGHBOUR OF PROCEDURES PRIOR TO WORKING WITHIN CLOSE PROXIMITY TO SITE B'DRY

PRIOR TO DEMOLITION WORKS, SERVICES INC. GAS, WATER, SEWER AND ELECTRICITY MUST BE DISCONNECTED BY A LICENSED TRADE (PLUMBER, ELECTRICIAN, ETC) TO THE SATISFACTORY REQUIREMENTS OF THE APPROVAL AUTHORITY AND ASSET OWNER.

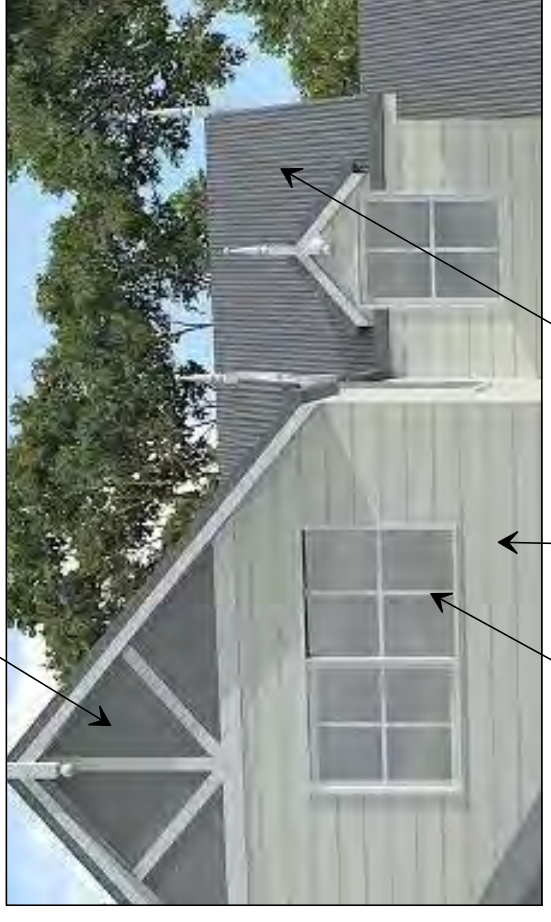
AT ANY STAGE THROUGHOUT THE WORKS SHOULD CRACKING OR ANY OTHER SIGNS OF STRUCTURAL INSTABILITY OCCUR ALL WORKS MUST CEASE AND STRUCT. CONSULTING ENGINEER INFORMED IMMEDIATELY FOR SITE INSPECTION. BUILDING APPROVAL AUTHORITY MUST ALL BE INFORMED AND ARE REQUIRED TO INSPECT THESE WORKS PRIOR TO FURTHER COMMENCEMENT.

TREES MUST BE STAKED AND FENCED ACCORDINGLY WITH HAZARD TAPE & SIGNAGE. PROTECTIVE MEASURES AND CARE MUST BE TAKEN TO LIMIT DAMAGE TO TREE ROOT SYSTEMS. ANY SIGNIFICANT DAMAGE MAY CAUSE STRUCTURAL INSTABILITY

PLEASE NOTE: 'ALL' PROPERTY INFORMATION INCLUDING EASEMENT LOCATION, PROPERTY DIMENSIONS, ANGLES ETC. MUST BE CONFIRMED USING A COPY OF TITLE, PLAN OF SUBDIVISION, PLAN OF SURVEY OR THE LIKE..

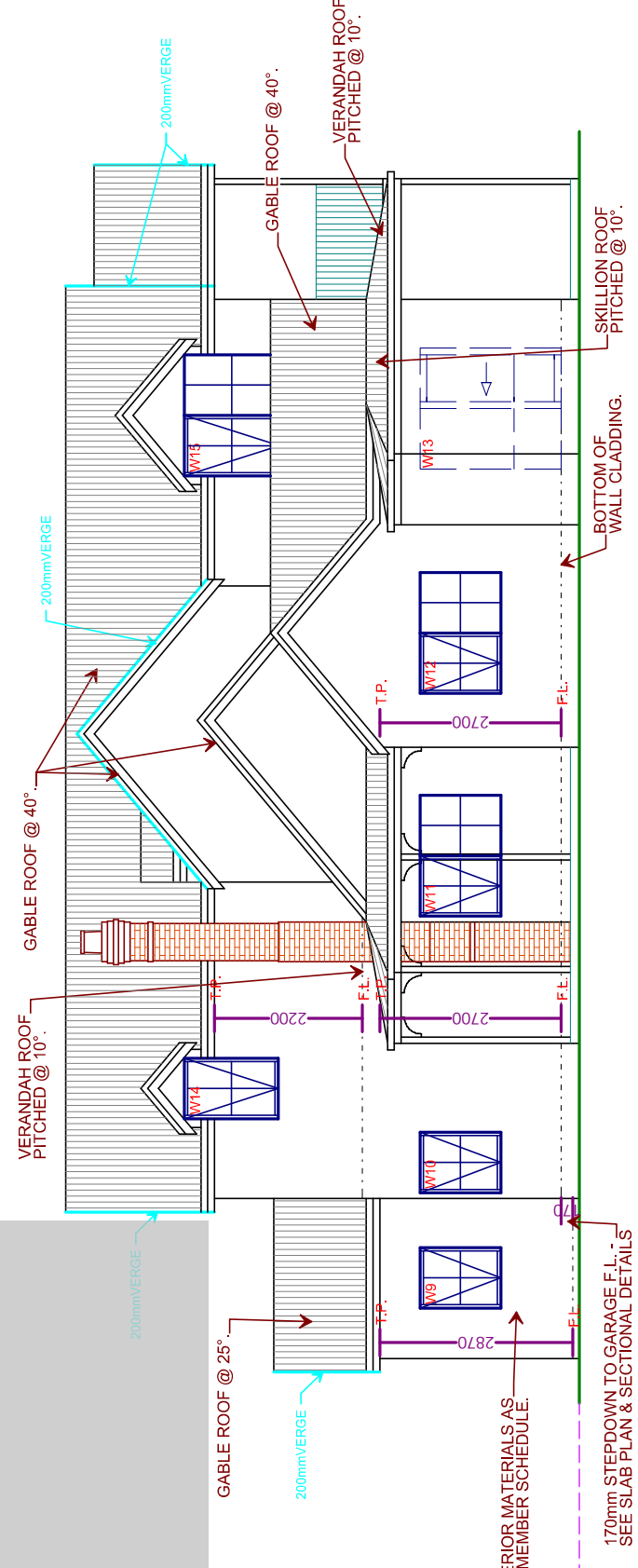


NORTH EAST ELEVATION



WHITE WINDOWS
CEMENT SHEET - PAINTED MID-GREY WITH WHITE STRAPPING
LIGHT - MID GREY COLOURBOND ROOF.

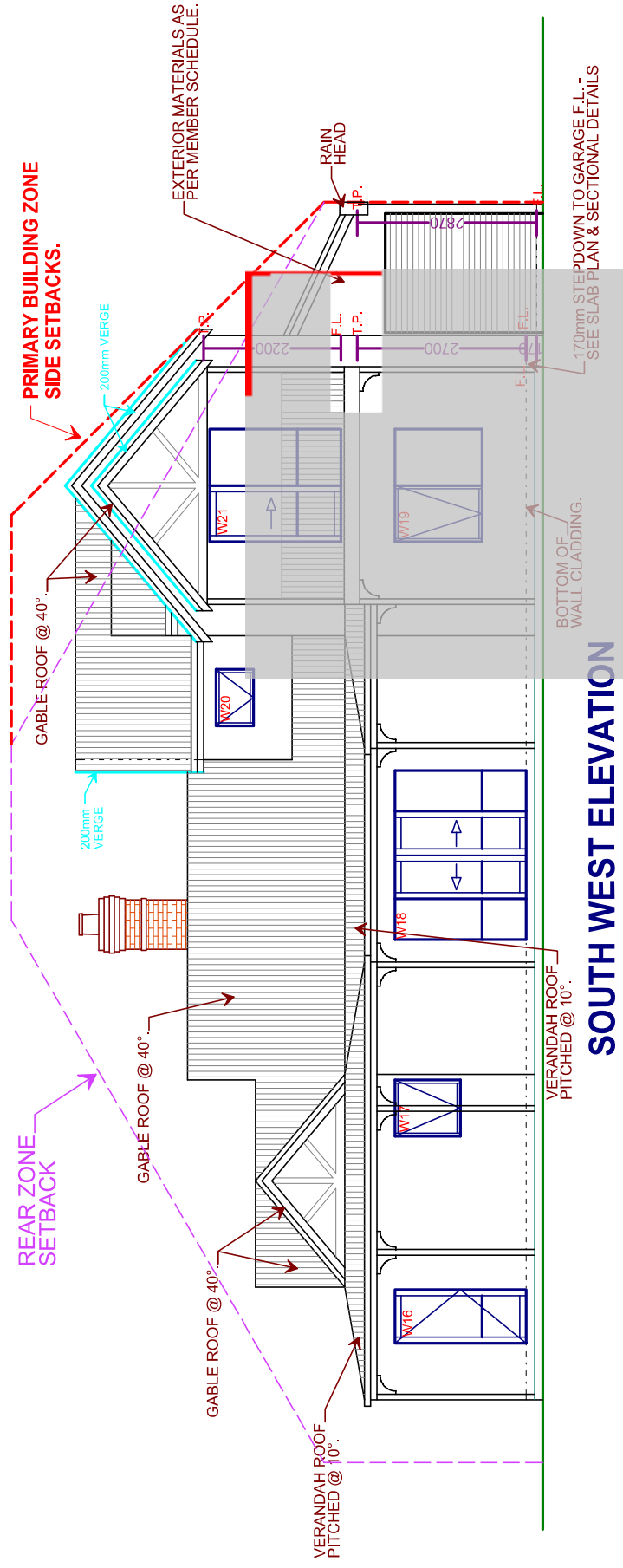
**BAL - LOW
 NO CONSTRUCT. REQ'S**



NORTH WEST ELEVATION

---	FLOOR LEVELS.
---	SEPARATOR LINES BETWEEN EXTERIOR MATERIALS.
---	HIDDEN OBJECTS (IF APPLIC).
---	EXISTING GROUND LEVELS.
---	PROPOSED GROUND LEVELS.
---	BALUSTRADE & STAIRS.
---	DECORATIVE FINIALS AND BRACKETS (OPTIONAL).

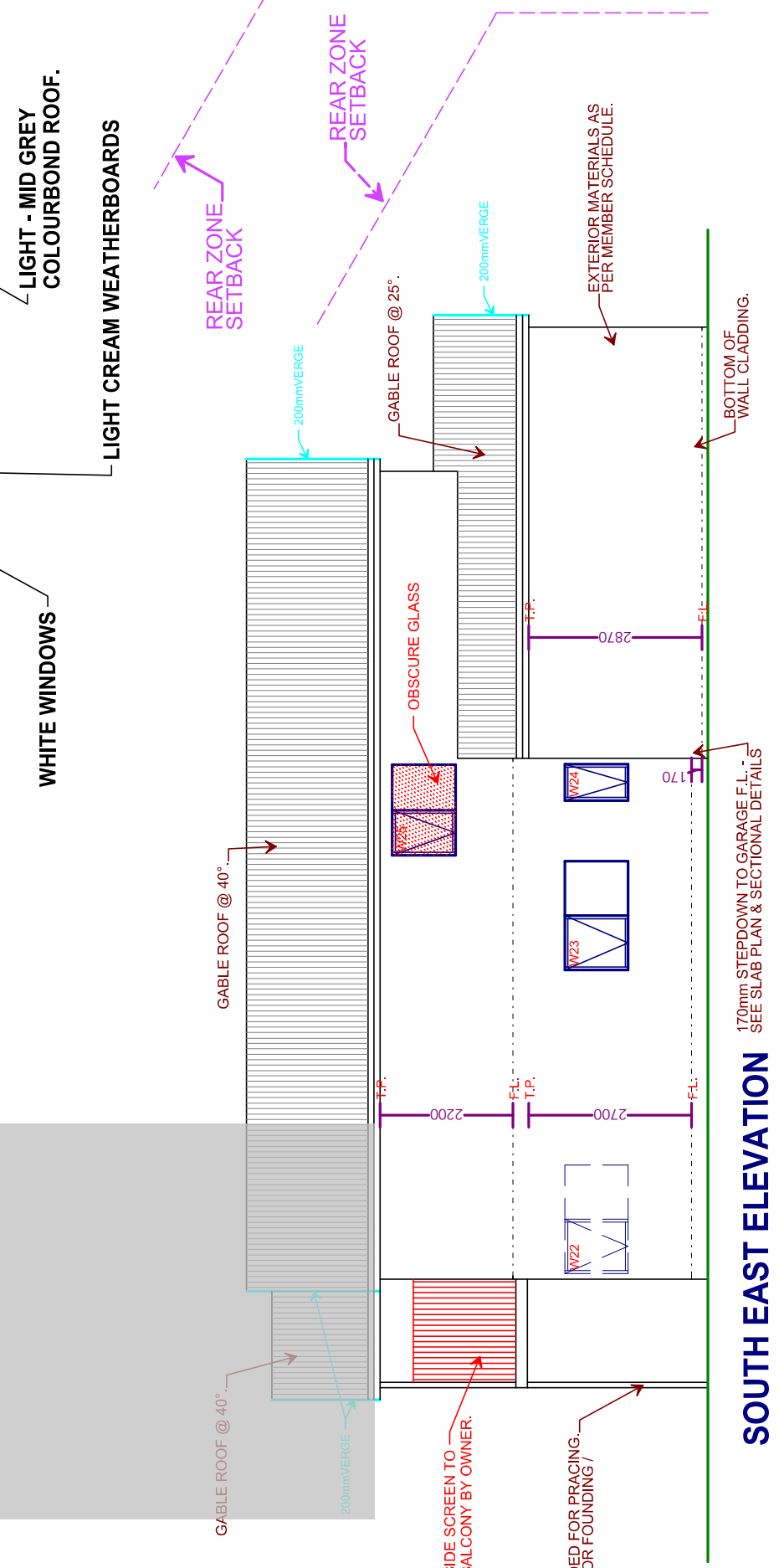
**BAL - LOW
 NO CONSTRUCT. REQ'S**



SOUTH WEST ELEVATION



WHITE WINDOWS
CEMENT SHEET - PAINTED MID-GREY WITH WHITE STRAPPING
LIGHT - MID GREY COLOURBOND ROOF.
LIGHT CREAM WEATHERBOARDS



SOUTH EAST ELEVATION

.....	FLOOR LEVELS.
---	SEPARATOR LINES BETWEEN EXTERIOR MATERIALS.
---	HIDDEN OBJECTS (IF APPLIC).
---	EXISTING GROUND LEVELS.
---	PROPOSED GROUND LEVELS.
	BALUSTRADE & STAIRS.
	DECORATIVE FINIALS AND BRACKETS (OPTIONAL).

SECTIONAL DETAILS

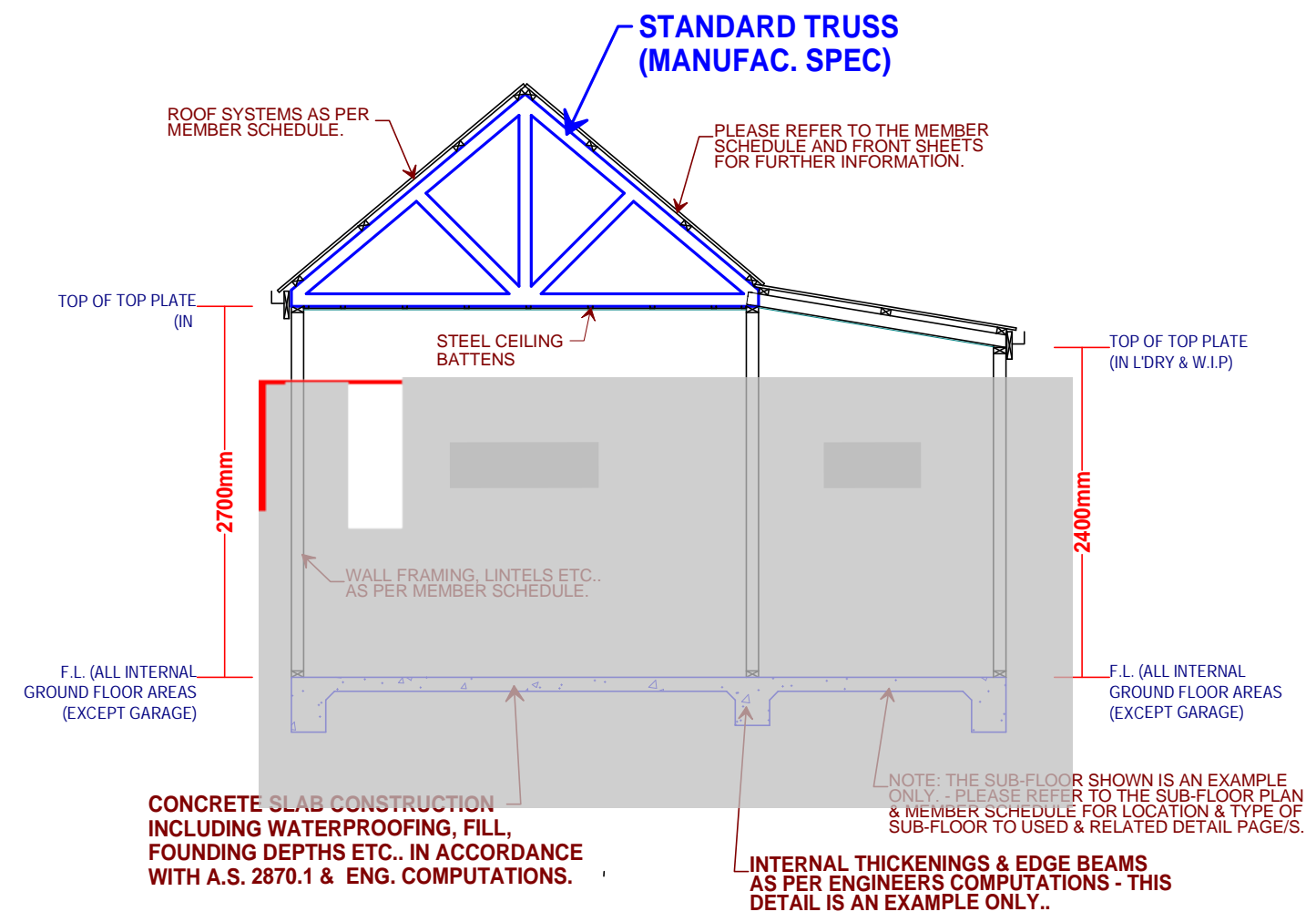
1:50 SCALE ± 1%.

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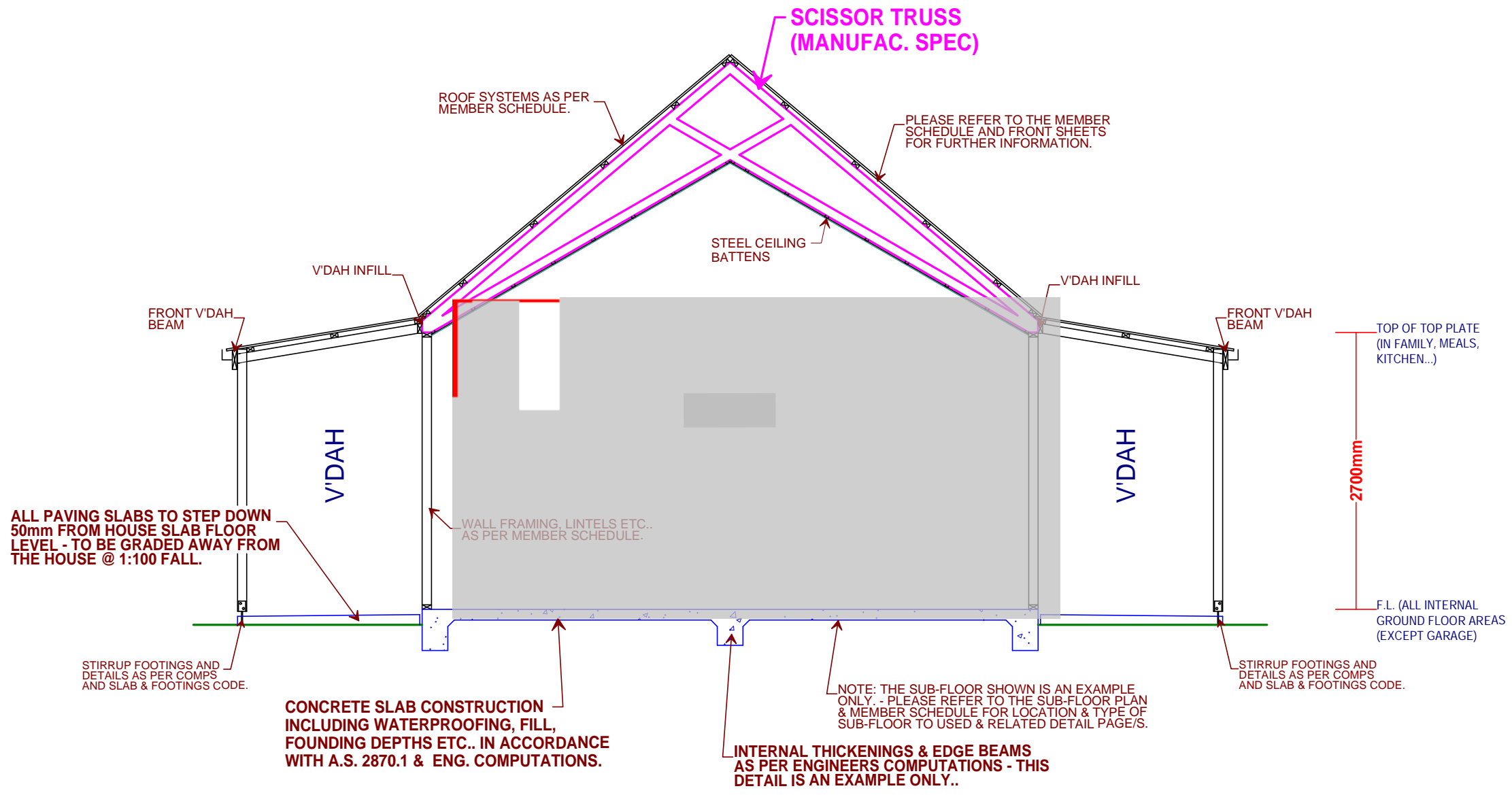
SECTIONAL DETAILS

1:50 SCALE ± 1%.

JOB No. - M1333cv
 DESIGN - BAILEY PLACE (MOD)
 YARRALUMLA ACT 2600

DRAWING NO. # OF # (A3 PAGES)
 DRAWN BY - N. CAIRNS-MALCOLM
 VICTORIAN BUILDING PRACTITIONER
 REGISTRATION NUMBER DP-1883
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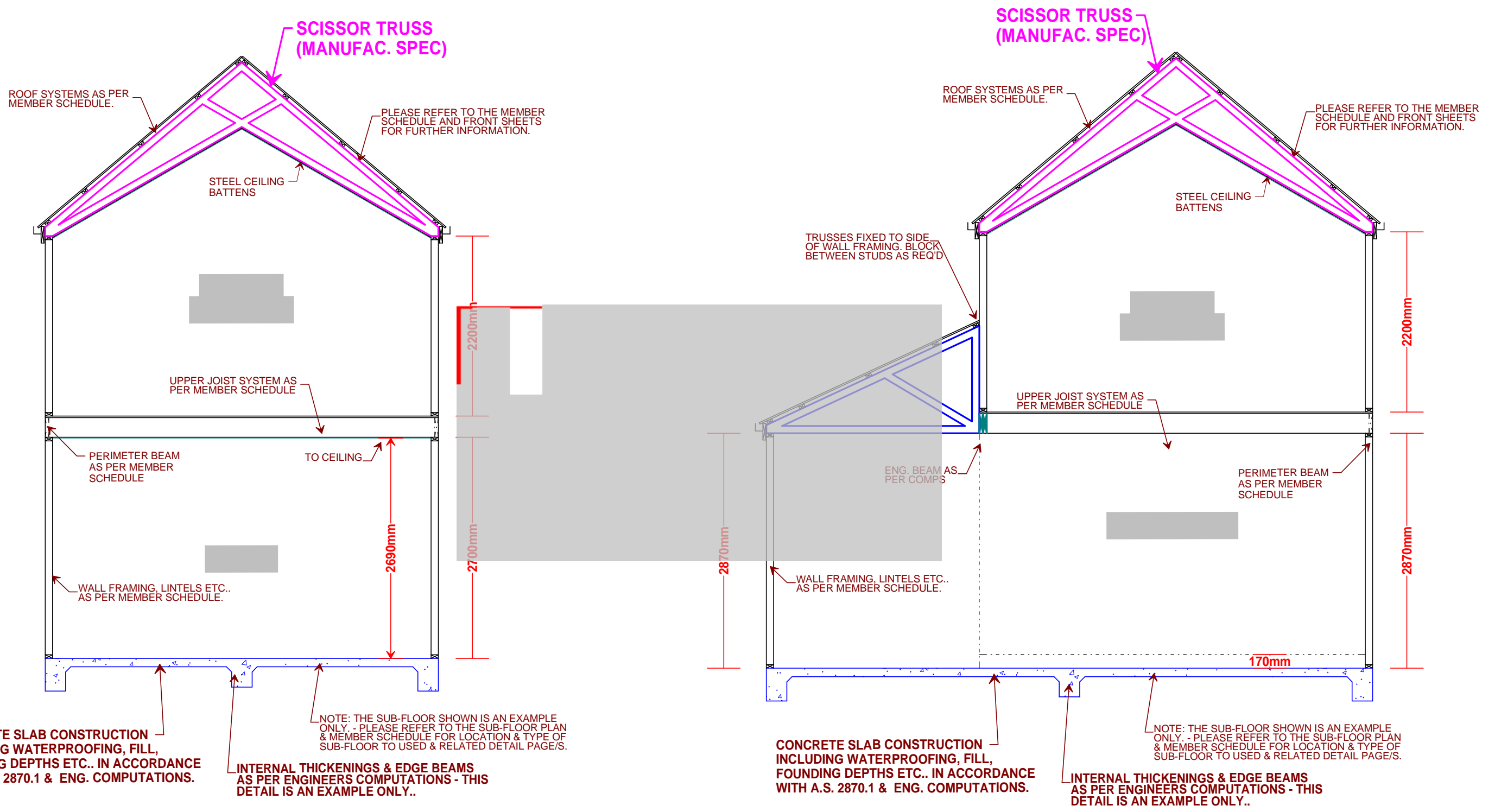
SECTIONAL DETAILS

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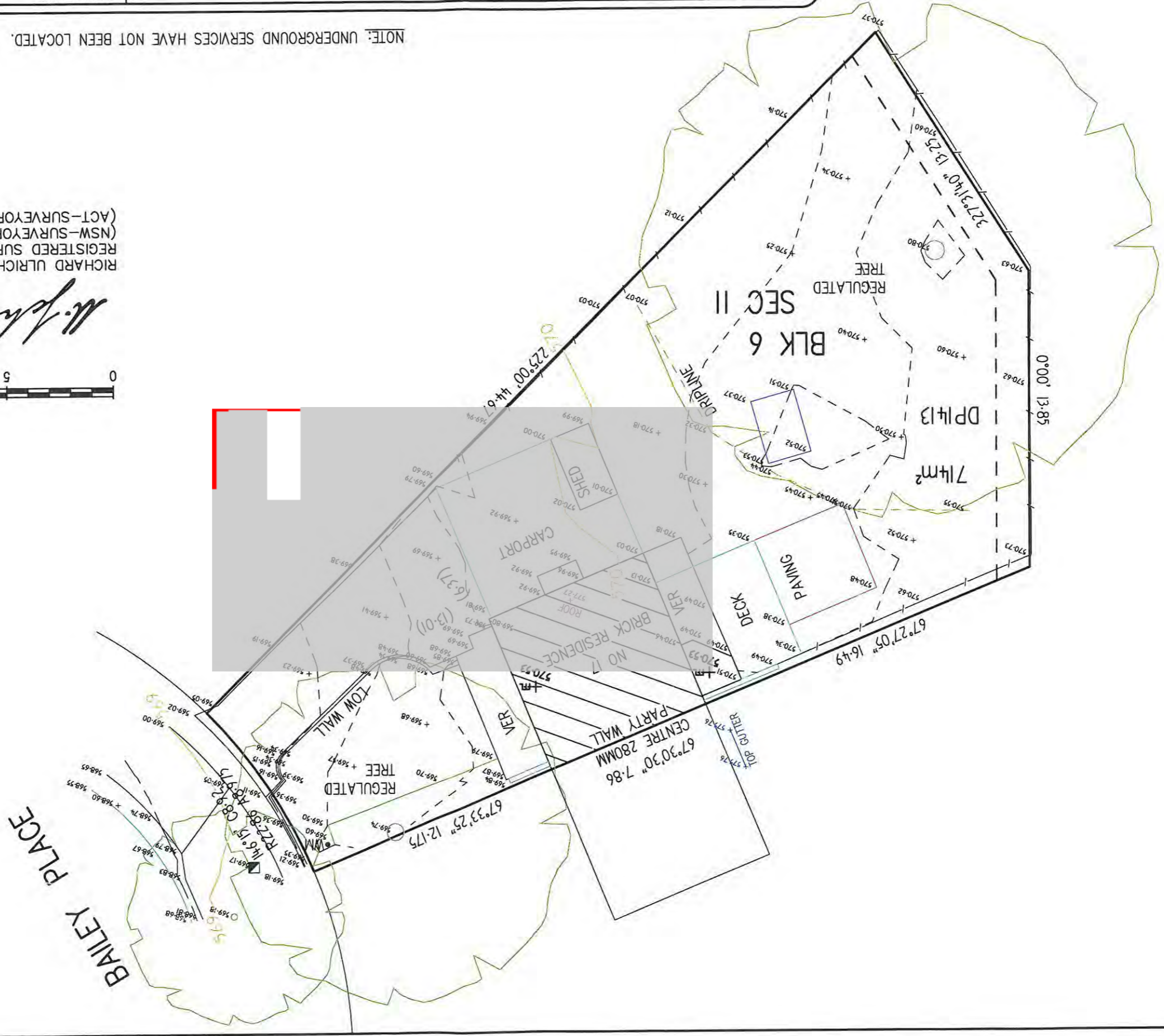
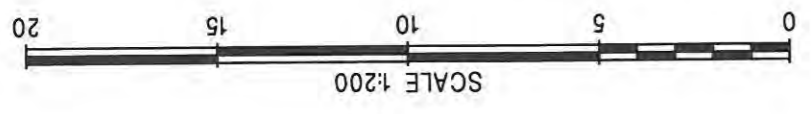
CAPITAL SURVEYS
 LAND & ENGINEERING SURVEYING
 PO BOX 7601, SUTTON NSW 2620
 PHONE/FAX: (02) 6230 3577
 MOBILE: 0418 697 180
 capitalsurveys@bigpond.com



SURVEYOR	U.S.
DATE	4/11/11
LEVEL DATUM	AHD
CONTOUR INTERVAL	0.25M

NOTE: UNDERGROUND SERVICES HAVE NOT BEEN LOCATED.

Richard Ulrich Schneider
 RICHARD ULRICH SCHNEIDER
 REGISTERED SURVEYOR
 (NSW-SURVEYORS ACT 2002)
 (ACT-SURVEYORS ACT 2007)



Johnston, HeatherG

From: basubmission_electricity@actewagl.com.au
Sent: Wednesday, 1 August 2012 12:00 PM
To: Majid, Fawzia
Subject: ActewAGL Application Decision. Application - 124731. Yarralumla - 6/11
Attachments: Conditional Approval Electricity124731.pdf; Exclusion Zone - Domestic Meter Installations.pdf; GasComplianceStatement.pdf; Gas Metering Equipment - Prohibited Locations.pdf; Meter Exclusion Zone.pdf; Minimum Clearances Guidelines.pdf; RSM Yarralumla 6-11.pdf; SITE-201121008-01.pdf; SITE-201121008-01_Gas.pdf; Statement of Compliance Information Sheet.pdf

ACTEWAGL - ELECTRICITY NETWORKS DIVISION

Approval ID : 124731, Yarralumla 6 /11

Please note that your application has been assessed for compliance with ActewAGL's Electricity Network and conditionally complies with our Electricity Networks requirements.

Please find attached, your stamped plans together with a conditional statement of compliance.

Separate compliance statements may be required from other entities.

Regards


[ActewAGL Electricity Networks Division](#)


Email devapp@ActewAGL.com.au
GPO Box 366 Canberra ACT 2601
www.ActewAGL.com.au

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application number

12473122464

Request for electricity service marking RSM 10146

Date lodged 20/12/11

Electrical contractor (Items marked with * are mandatory)

*Name

*Phone Facsimile

*Builder name

*Phone Facsimile

Appointment details (ActewAGL use only)

Time Day Date

An appointment cannot be confirmed until the network assets have been inspected and the extent of any augmentation/maintenance determined. Call 6293 5749.

ActewAGL fees (GST incl) \$

This price and schedule of works will remain valid for sixty days (60) from the date below.

Location details (Items marked with * are mandatory)

*Suburb *Block *Section

*Street address

Request details* (Select required works. Attach sketch for clarity if necessary)

New underground Change of service - OH to OH OH to UG UG to UG UG to OH Temporary supply

New overhead Temporary change of service Demolition 1ø to 3ø to same POA (provide reason below)

Additional information

Servicing details (ActewAGL use only)

Pole number Inspection required - Yes No Pole status - CONDEMNED OK Nailed

Pole number Inspection required - Yes No Pole status - CONDEMNED OK Nailed

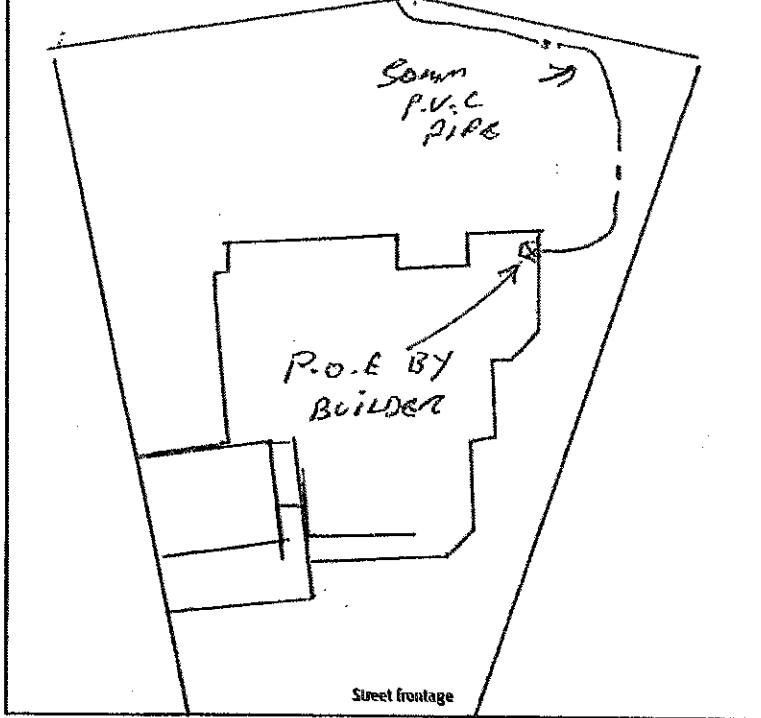
Service pillar status: Spare fuses available Insufficient fuseways - convert to laneway pillar / project

Site access: Plant access available Plant type No plant access Number of phases ø on existing service

Warning - additional live assets not included in the disconnection request are present on or adjacent to this site - Yes

Additional information

Sketch



Customer supplied works: CONTRACTOR TO INSTALL SAWN P.V.C PIPE 600mm DEEP WITH GREEN WIRE READY & P.O.E BOX ON WALL BY BUILDER

ActewAGL field services works: ACTEW TO INSTALL 1x 3ø U/G

ActewAGL civil works contractor:

Customer service officer

Phone Date

Field services use only

Works / variations recorded First move Second move Completed by Date



‘STATEMENT OF COMPLIANCE’ INFORMATION SHEET

The following requirements must be included in an application that is made under the Planning and Development Act 2007 and/or the Building Act 2004 to ActewAGL when seeking an Electricity & Gas Networks ‘statement of compliance’.

General Requirements for all Development Applications

Provide plans which are to include the following:

- A designated scale, for example 1:500, 1:200, 1:100, 1:50 with Bar Scale
- Proposed and existing structures including basements, driveways, gates, fencing, sheds, rainwater tanks and retaining walls
- Accurately located and dimensioned ActewAGL electricity & gas assets within the block and those located within 5 metres of any boundary of the block (Contact Dial-Before-You-Dig on 1100 for asset maps)
- Dimensioned distance of all structures that are within 5 metres of ActewAGL electricity & gas assets
- Any electricity or gas easements on the block
- Elevations & sections of proposed structures

Specific Requirements for Type of Development

Single Dwelling/Dual Occupancy

- As per General Requirements above

Multiple Unit and High Rise residential

- As per General Requirements above
- Number of units
- Number of bedrooms per unit
- Detailed Maximum Demand Calculation as per AS 3000 (electricity)
- Detailed MJ load of the installation and appliances (gas)
- Net Floor Area of common areas and their use
- Net Floor area of Basement and form of ventilation
- Type of cooking, space & water heating and cooling (gas, electric etc)
- Details of central hot water installation



Non-Residential & Mixed Use

- As per General Requirements above
- Type of development (office, retail, warehouse, industrial etc)
- Timing of the development
- Staging of the development
- Net useable floor areas and their usage
- Net floor area of Basement and form of ventilation
- Type of cooking, space & water heating and cooling (gas, electric etc)
- A list of the load components of the proposed installation with their maximum demands, diversity factors, etc
- Information on load management system (if applicable)
- Duty cycle of any large equipment or duty cycle of an industrial process
- Details of any substantial intermittent and fluctuating loads
- Details of any large single phase loads
- Details of any loads likely to cause substantial harmonics
- Details of any loads which are likely to have poor power factors
- Any seasonal factors, i.e. seasonal variation of load
- Main factors affecting level of demand
- Removal of any part of an existing installation
- Any planned future augmentations or upgrades
- Any on site emergency back up arrangements
- Details of large starting motors and voltage drop limitations
- Detailed Maximum Demand Calculation as per AS 3000 (electricity)
- Detailed MJ load of the installation and appliances (gas)
- Type B gas appliance details
- Number of units
- Number of bedrooms per unit

Demolitions

- Warning: You must contact ActewAGL prior to commencement of demolition works**



For further information

Information about any of the requirements raised in this document can be obtained by contacting the following:

ActewAGL Electricity Networks: 6293 5770

ActewAGL Gas Networks: 6203 0640

Please note: Separate applications are required for ActewAGL's water & sewerage networks; and to other utility providers such as stormwater or telecommunications.

To lodge an electricity or gas compliance application:

Bring your drawings to the Networks Service Centre; or:

Send electronically to ActewAGL: email: devapp@actewagl.com.au

The protocols for submitting an electronic application are:

- ❖ Drawings in A3 format (each PDF to be no larger than 2 megabytes in size).
- ❖ Send one email for each application.
- ❖ Each PDF can contain multiple drawings however if you have more than 5 PDFs in an application, please send multiple emails (i.e. part 1, part 2 etc..)



Electricity Networks

STATEMENT OF

CONDITIONAL COMPLIANCE

Application No: 124731 **Suburb:** Yarralumla **Block/Section** 6 / 11
Applcn Type: Single residential/New Construction with Demolition Inclusions : with Garage

Attached Plans

SITE-201121008-01.pdf

RSM Yarralumla 6-11.pdf

This application is approved subject to compliance with the following conditions:

Conditions

A new underground service is required.

Change of service is required. (see attached RSM)

Development is to comply with minimum 1.5m side boundary access to assets within the block.

Development is to comply with minimum clearances to overhead conductors. Ref ActewAGL Drawing 3811-004

The location of the proposed Point of Entry/ Meter Box is to comply with ActewAGL's Service and Installation rules.

Please Note

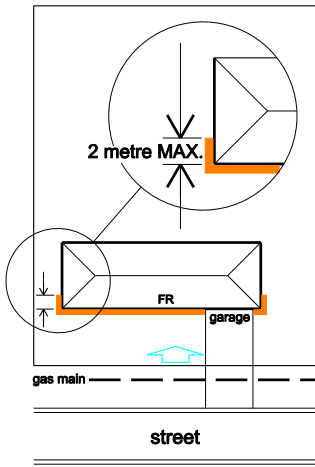
- WARNING ActewAGL underground cables may be in or adjacent to this block. It is your responsibility to ascertain the location of such assets.
- Development and Building Applications will need to include any proposed ActewAGL works.
- If ActewAGL approval conditions are not met, a breach of the law may result.
- Separate applications are required for water & sewerage and communication network services.
- Construction of unapproved works may result in action being taken to require the property owner to remove non-compliant structures and/or the property owner to fund rectification works on ActewAGL's electricity network.
- Any attached reticulation or servicing plan is preliminary only. Contact ActewAGL for final plans prior to the commencement of any construction activity.
- A failure of this application to show accurately located electricity assets may result in damage and costs for which the proponent will be liable. Damage to network assets must be reported to ActewAGL.

Comments:

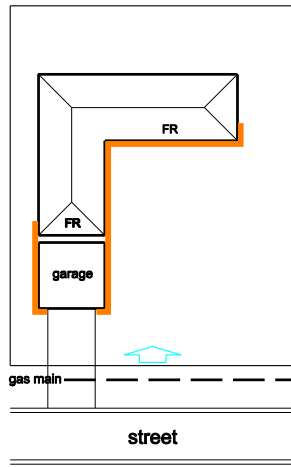
Signed 

Date 13 Apr 2012

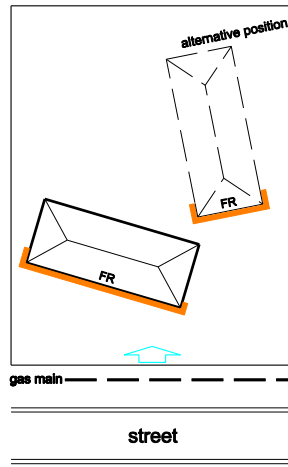
DOMESTIC GAS METER LOCATION REFERENCE DRAWINGS



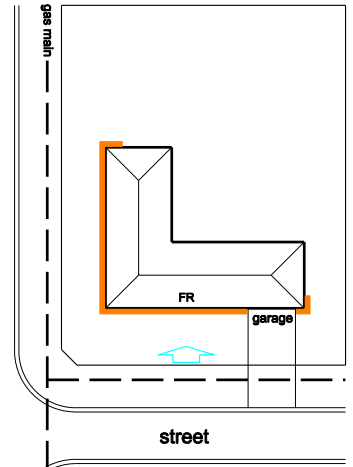
1. TYPICAL SITUATION



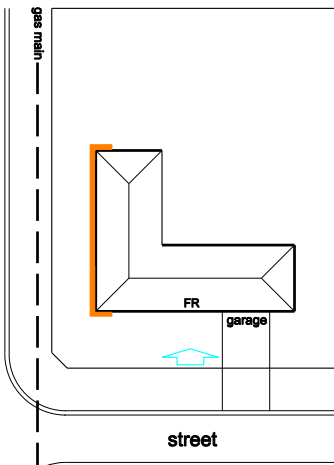
2. DETACHED GARAGE AT FRONT



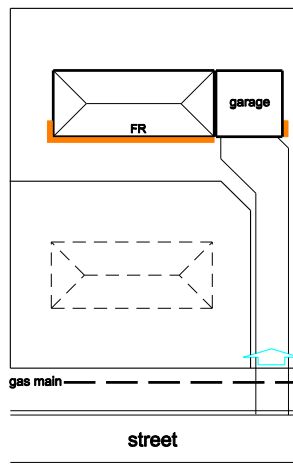
3. ANGLED HOUSE



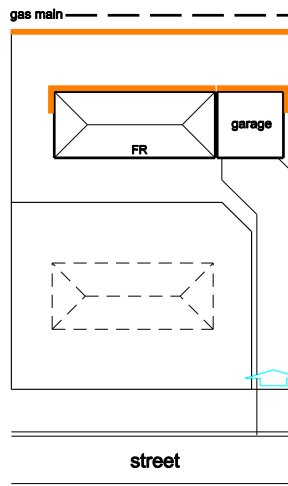
4. CORNER BLOCK
GAS ON TWO SIDES



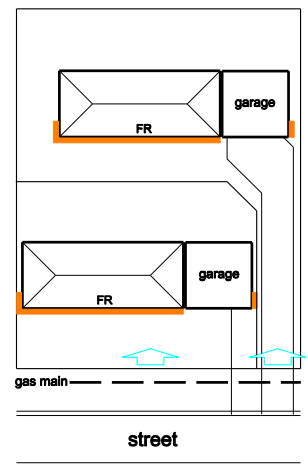
5. CORNER BLOCK
GAS ON ONE SIDE



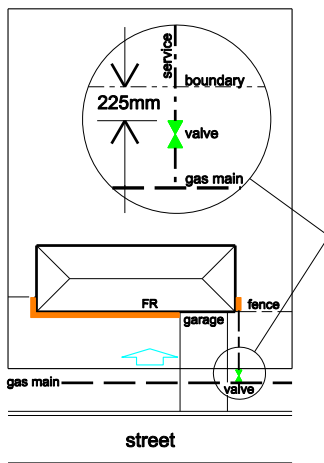
6. BATTLE-AXE BLOCK
GAS AT FRONT



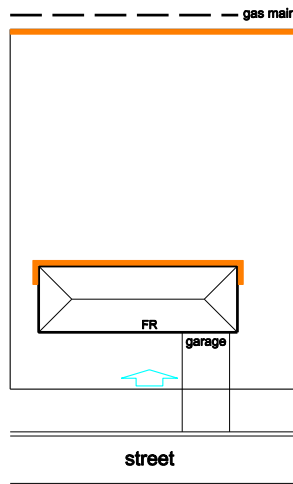
7. BATTLE-AXE BLOCK
GAS AT REAR



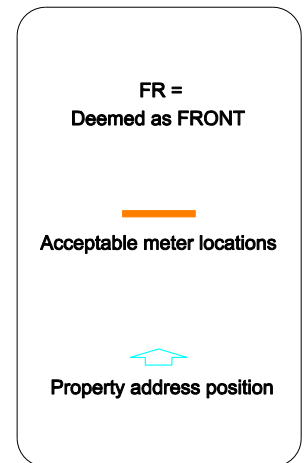
8. DUAL OCCUPANCY



9. METER BEHIND LOCKABLE
GATE, FENCE, OR BARRIER



10. MAIN AT REAR OF BLOCK



LEGEND:



Gas Metering Equipment Prohibited Locations

Metering equipment must not be installed in the following locations unless specifically approved by **ActewAGL**:

- (a) a bedroom;
- (b) a lift shaft or lift motor room;
- (c) a room specifically intended for electrical switchgear;
- (d) a fire-isolated stairway or passage;
- (e) a fire hydrant duct or hose reel cabinet;
- (f) sprinkler or hydrant pump room;
- (g) near a source of ignition;
- (h) in a position that would obstruct egress from a building;
- (i) in a position where the meter would be subject to physical damage unless adequately protected;
- (j) in an area where excessive temperatures or sudden excessive changes in temperature may occur;
- (k) in an area of excessive vibration;
- (l) in the foundation area under a building;
- (m) in a cavity wall, unless installed in a ventilated enclosure which meets the requirements of **ActewAGL**, and the cavity is sealed;
- (n) in a position where access for reading or maintenance is restricted;
- (o) in an unventilated position; or
- (p) on the ground, a floor which is frequently wetted or on a floor which contains material which may corrode the meter.



Gas Networks

STATEMENT OF

CONDITIONAL COMPLIANCE

For Residential except High Rise

Application No: 124731

Drawings in set: 16

Block: 6

Section: 11

Suburb: Yarralumla

This application has been assessed against legislation protecting ActewAGL's gas infrastructure and access to it.

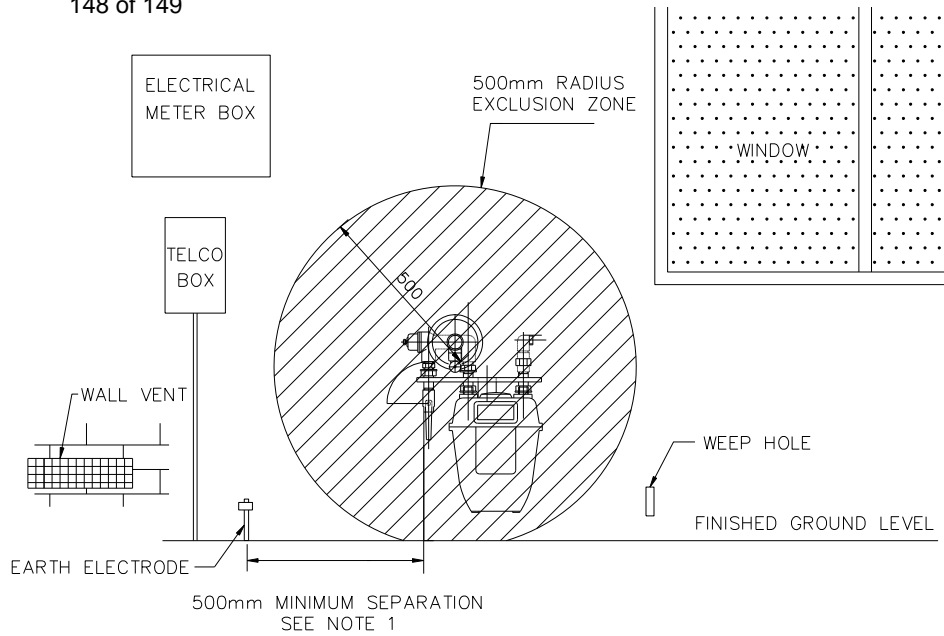
This application is approved subject to compliance with the following conditions:

- Attached statement for Gas Networks
- The location and area allocated for gas regulating and metering equipment is to comply with ActewAGL standards. The following documents provide guidance:
Ref ActewAGL Drawings (attached): "Exclusion Zone – Domestic Meter Installation"
"Domestic Gas Meter Location Reference Drawings"
Ref ActewAGL Document (attached): "Gas Metering Equipment – Prohibited Locations"
- Development is to comply with minimum separation requirements to underground assets
 - 300mm minimum clearance from major plastic and steel gas mains and steel gas services
 - 150mm minimum clearance from other plastic gas mains and services
- A metering equipment upgrade may be required. A licensed gas fitter should verify loads and metering equipment capacities.
- If a meter relocation or service pipe relocation is required in order to comply with ActewAGL standards, please contact your gas retailer and book a meter relocation. Only people accredited by ActewAGL can carry out this work.
- Compliance with ActewAGL's Service and Installation Rules and all other relevant legislation including the ACT Utilities Act (2000)
- Other:

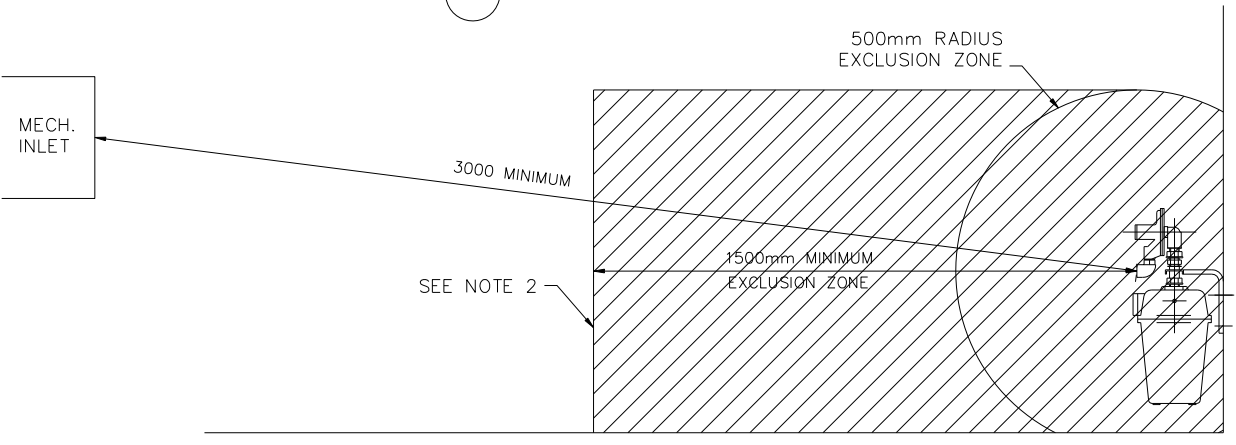
Please note:

- **WARNING:** ActewAGL underground gas pipes may be in or adjacent to this block. ActewAGL Asset Location Advice may be required. Call Dial Before You Dig on 1100 prior to excavating.
- Development and Building Applications will need to include any proposed ActewAGL works
- If ActewAGL approval conditions are not met, a breach of the law may result.
- Separate applications are required for water & sewerage, electricity and communication network services.
- Construction of unapproved works may result in action being taken to require the property owner to remove non-compliant structures and/or the property owner to fund rectification works on ActewAGL's gas network
- Any attached reticulation or servicing plan is preliminary only. Contact ActewAGL for final plans prior to the commencement of any construction activity

For further information please phone Steve Donnelly - Jemena 6203 0640



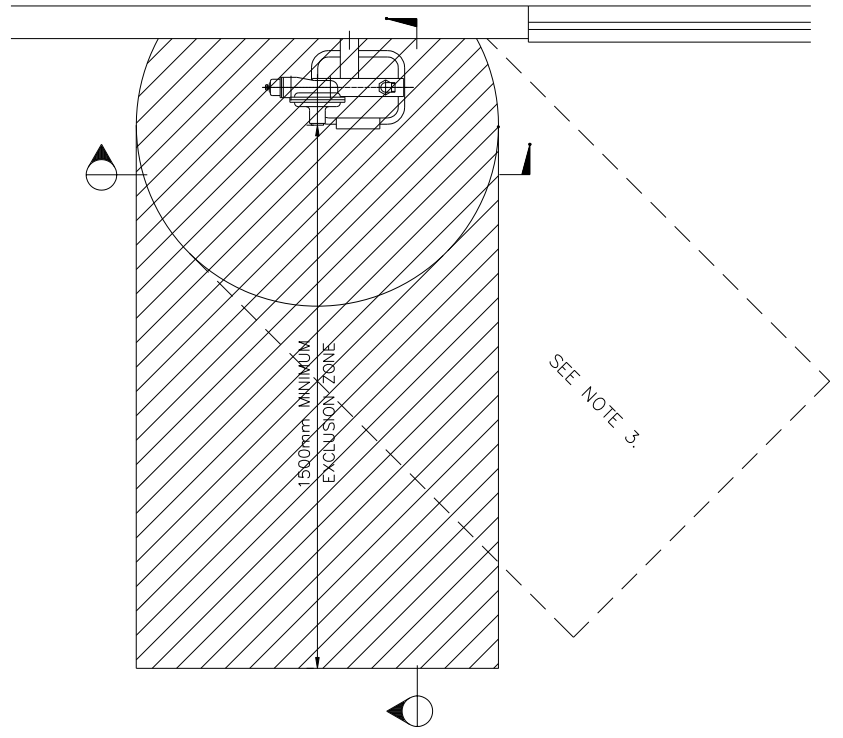
ELEVATION 1




ELEVATION 2

NOTES:

1. SEPARATION FROM EARTHING ELECTRODE TO COPPER RISER SHALL BE 500MM MINIMUM
- REFER AS5601 cl 4.10.5
2. OBSTRUCTIONS WITHIN 1.5 METRES OF VENT TERMINAL IN DIRECTION OF DISCHARGE WILL RESULT IN A LARGER EXCLUSION ZONE BEING APPLIED - REFER AS5601 cl 4.7.11
3. DIRECTION OF DISCHARGE OF VENT TERMINAL DETERMINES ORIENTATION OF EXCLUSION ZONE.

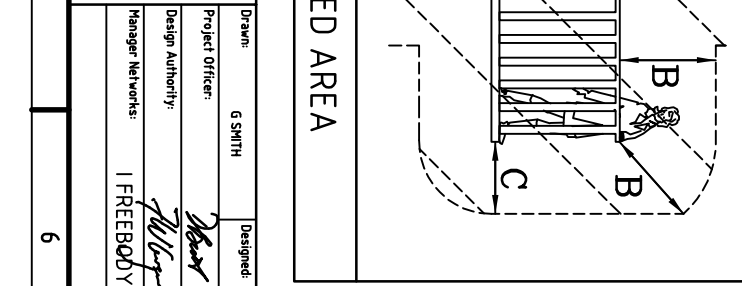
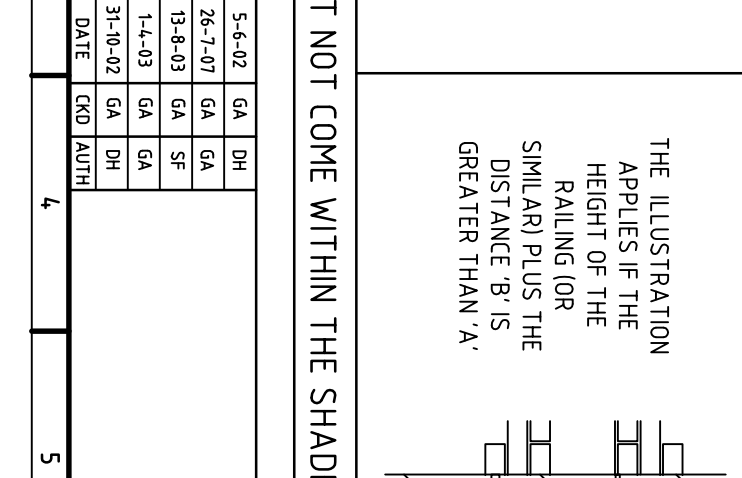


PLAN VIEW

										CLIENT				GAS NETWORKS		
														EXCLUSION ZONE DOMESTIC METER INSTALLATION ASS5601 REQUIREMENTS		
1	JEMENA LOGO			J.DAWSON	25.11.08			B.HANSEN	25.11.08							
0	ISSUED FOR REVIEW			S.SHAW	23.11.05			B.HANSEN	30.11.05							
SYM	REVISION	PROJECT ENGINEER	DATE	DRAWN	DATE	CHECKED	DATE	PROJECT MANAGER	DATE	CLIENT	DATE	SCALE	DRAWING NUMBER	REVISION		

ActewAGL
 application number
 124731
 Sheet
 1 of 3
 OVERHEAD CONDUCTORS MUST NOT COME WITHIN THE SHADED AREA

ROW H OF TABLE 1 REVISED AND POOL NOTES REVISED	5-6-02	GA	DH
HV GROUND CLEARANCE ABOVE MAJOR ROADS REVISED IN TABLE 1	26-7-07	GA	GA
NOTE 1 AMENDED TO INCLUDE TRANSMISSION LINE DESIGN TEMP.	13-8-03	GA	SF
GENERAL NOTE 3 AND POOL NOTE 5 REVISED	1-4-03	GA	GA
SWIMMING POOLS ADDED	31-10-02	GA	DH
REVISION	DATE	CKD	AUTH



THE ILLUSTRATION APPLIES IF THE HEIGHT OF THE RAILING (OR SIMILAR) PLUS THE DISTANCE 'B' IS GREATER THAN 'A'

Drawn:	G SMITH	Designed:	
Project Officer:			
Design Authority:			
Manager Networks:	I FREEBODY		18-10-99

MINIMUM CLEARANCES	INSULATED & BARE	OVERHEAD CONDUCTORS
Scale:	Date:	Sheet No:
File:	7-12-98	
CADW File Name:	Trans No:	
43	3811-004	

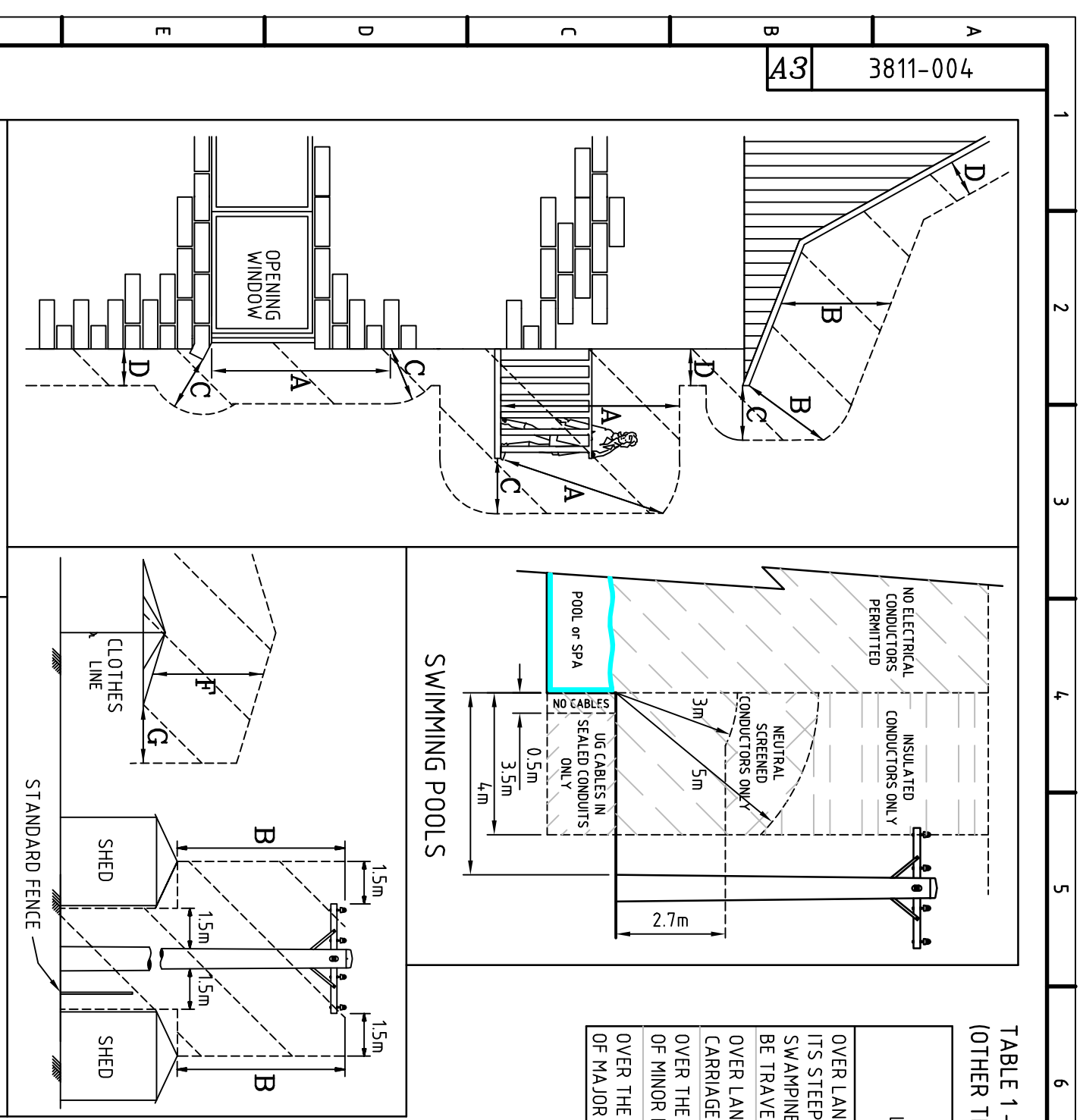


TABLE 1 - GROUND CLEARANCE (OTHER THAN INSULATED SERVICE CONDUCTORS)

LOCATION	DISTANCE TO GROUND IN ANY DIRECTION
OVER LAND WHICH DUE TO ITS STEEPNESS OR SWAMPINESS IS NOT ABLE TO BE TRAVERSED BY VEHICLES.	4.5m
OVER LAND OTHER THAN THE CARRIAGEWAY OF ROADS.	5.5m (note 4)
OVER THE CARRIAGEWAY OF MINOR ROADS	6m
OVER THE CARRIAGEWAY OF MAJOR ROADS	6.7m (note 5)
	6.7m
	9m

TABLE 2 - GROUND CLEARANCE (INSULATED SERVICE CONDUCTORS)

LOCATION	DISTANCE TO GROUND IN ANY DIRECTION
OVER THE CENTRE OF A ROAD.	5.5m
OVER ANY OTHER PART OF A ROAD.	4.6m
OVER A FOOTWAY OR LAND THAT IS LIKELY TO BE USED BY HEAVY VEHICLES	4.6m
OVER A FOOTWAY OR LAND THAT IS NORMALLY USED ONLY BY MOTOR CARS OR VEHICLES OF SIMILAR HEIGHT ELSEWHERE.	3.0m
	2.7m

TABLE 3 - CLEARANCE FROM STRUCTURES

LOCATION	CONDUCTOR	BARE or COVERED	BARE or INSULATED
VERTICALLY (AND NEAR VERTICALLY), FROM ANY PART OF THE STRUCTURE NORMALLY ACCESSIBLE TO PEOPLE	INSULATED U<1kV		
VERTICALLY (AND NEAR VERTICALLY), FROM ANY PART OF THE STRUCTURE NOT NORMALLY ACCESSIBLE TO PEOPLE BUT ON WHICH A PERSON CAN STAND	U<1kV	3.7m	4.6m
ANY DIRECTION (OTHER THAN VERTICALLY), FROM THOSE PARTS OF THE STRUCTURE NORMALLY ACCESSIBLE TO PERSONS, OR FROM ANY PART NOT NORMALLY ACCESSIBLE TO PERSONS BUT ON WHICH A PERSON COULD STAND.	1.5m (note 3)	2.0m	2.7m
ANY DIRECTION (OTHER THAN VERTICALLY), FROM ANY PART OF THE STRUCTURE NOT NORMALLY ACCESSIBLE TO PERSONS.	0.3m (note 3)	1.5m	2.7m
ANY DIRECTION, FROM AN OUTDOOR WIRES OR TELEVISION AERIAL OR PART OF A STAY WIRE FOR THE AERIAL	1.5m	1.5m	1.5m
VERTICALLY FROM ANY PART OF A FULLY EXTENDED CLOTHES LINE	1.8m	3.7m	4.6m
ANY DIRECTION (OTHER THAN VERTICALLY), FROM ANY PART OF A FULLY EXTENDED CLOTHES LINE	1.8m	3m	3m
ANY DIRECTION, FROM THE OUTER EDGE OF THE WATER CONTAINER OF A SWIMMING POOL OR SPA OR THE MAXIMUM WATER LEVEL OF THE POOL (FIGURE IN BRACKETS INDICATES THE REQUIREMENT FOR A NEUTRAL SCREENED CABLE)	5.0m (3.0m)	See Pool Note 3	See Pool Note 3

GENERAL NOTES:

- THE MINIMUM DISTANCE FROM ANY PART OF AN AERIAL LINE IS TO BE MEASURED FROM THE NEAREST POINT TO WHICH THE LINE SAGS OR SWINGS. FOR SAG THIS IS AT THE MAXIMUM DESIGN OPERATING TEMPERATURE (NORMALLY 65°C FOR DISTRIBUTION LINES AND 120°C FOR TRANSMISSION LINES). FOR SWING THIS IS AT THE MAXIMUM DESIGN WIND LOADING (5000Pa WIND)
- COVERED CONDUCTORS TO BE TREATED AS BARE CONDUCTORS
- THIS CLEARANCE CAN BE FURTHER REDUCED TO ALLOW FOR TERMINATION AT THE POINT OF ATTACHMENT
- LOW VOLTAGE CONDUCTORS CONSTRUCTED PRIOR TO 1998 REQUIRE ONLY 4.6m GROUND CLEARANCE OVER LAND OTHER THAN ROADS
- MAJOR ROADS ARE DEFINED AS ROADS WITH DUAL CARRIAGEWAYS OR 100kph (or GREATER) SPEED LIMIT. ALL OTHER ROADS SHALL BE CONSIDERED AS MINOR ROADS

SWIMMING POOL NOTES:

- NEW AERIAL SERVICE LINES ARE NOT TO BE INSTALLED OVER AN OPEN AIR SWIMMING POOL OR SPA AND NEW SWIMMING POOLS OR SPAS ARE NOT PERMITTED UNDER EXISTING AERIAL SERVICE LINES
- INSULATED AERIAL SERVICE CONDUCTORS SHALL HAVE AT LEAST 5.0 METRES CLEARANCE TO THE EDGE OF THE SWIMMING POOL OR SPA. (3.0 METRES FOR NEUTRAL SCREENED AERIAL SERVICES)
- BARE CONDUCTORS ARE NOT PERMITTED ABOVE SWIMMING POOLS OR SPAS OR ABOVE THE AREA WITHIN 3.5m OF THE EDGE OF A SWIMMING POOL OR SPA
- POLES SHALL NOT BE LOCATED WITHIN 4m OF THE EDGE OF A SWIMMING POOL OR SPA
- UNDERGROUND CABLES ARE NOT PERMITTED WITHIN 3.5m OF THE EDGE OF AN INGROUND SWIMMING POOL OR SPA. THIS CAN BE REDUCED TO 0.5m PROVIDED THE CABLE IS INSTALLED IN A PLASTIC NON CONDUCTIVE PIPE AND ANY JOINS IN THE PIPE ARE MADE WATERPROOF WITH A NON CONDUCTIVE ADHESIVE.