



ACT
Government

Chief Minister, Treasury and
Economic Development

Freedom of Information Publication Coversheet

The following information is provided pursuant to section 28 of the *Freedom of Information Act 2016*.

FOI Reference: CMTEDDFOI 2018-0249

Information to be published	Status
1. Access application	Published
2. Decision notice	Published
3. Documents and schedule	Published
4. Additional information identified	No
5. Fees	Waived
6. Processing time (in working days)	5
7. Decision made by Ombudsman	N/A
8. Additional information identified by Ombudsman	N/A
9. Decision made by ACAT	N/A
10. Additional information identified by ACAT	N/A

From: [REDACTED]
To: [CMTEDD.FOI](#)
Subject: Freedom of Information request
Date: Thursday, 13 September 2018 4:22:48 PM

Please find online enquiry details below. Please ensure this enquiry is responded to within fourteen working days.

Your details

All fields are optional, however an email address OR full postal address must be provided for us to process your request. An email address and telephone contact number will assist us to contact you quickly if we need to discuss your request.

Title:

First Name:

Last Name:

Business/Organisation:

Address:

Suburb:

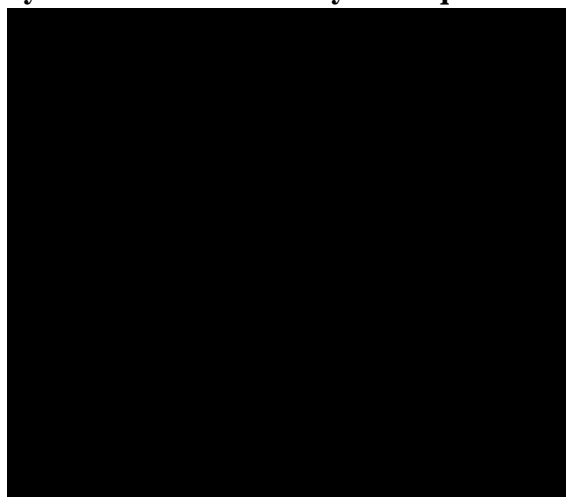
Postcode:

State/Territory:

Phone/mobile:

Email address:

Request for information



(Please provide as much detail as possible, for example subject matter and relevant dates, and also provide details of documents that you are not interested in.)

Under the Freedom of Information Act 2016 I want to access the following document/s (*required field):

Building File for 43 Melbourne Avenue
Forrest act 2603 Block 03 Section 03
Forrest. All approved Pland

I do not want to access the following documents in relation to my request::

Thank you.

Freedom of Information Coordinator




ACT
Government

Chief Minister, Treasury and
Economic Development

Our ref: CMTEDDFOI2018-0249



via email: 

Dear 

FREEDOM OF INFORMATION REQUEST

I refer to your application under section 30 of the *Freedom of Information Act 2016* (the Act), received by the Chief Minister, Treasury and Economic Development Directorate (CMTEDD) on 13 September 2018, in which you sought access to the building file for 43 Melbourne Avenue Forrest ACT 2603 (Block 03 Section 02) including all approved plans.

On 17 September 2018 you clarified the scope of your request to:

“Any documentation (Plans, Survey Certificates) that indicate two dwelling have been previously approved on the block and will need to demolition plan and proposed plan from the approved drawing for DA 201630341”.

Authority

I am an Information Officer appointed by the Director-General of CMTEDD under section 18 of the Act to deal with access applications made under Part 5 of the Act.

Timeframes

In accordance with section 40 of the Act, CMTEDD is required to provide a decision on your access application by 12 October 2018.

Decision on access

Searches were completed for relevant documents and 1 building file was identified that falls within the scope of your request.

The demolition plan and proposed plan from the approved drawing for DA 201630341 is not held by CMTEDD. All documents in relation to DA201630341 are held by Environment, Planning and Sustainable Development Directorate (EPSDD). As a result, this decision relates only to the building file held by CMTEDD.

I have decided to grant partial access to the building file. The information redacted in the documents I consider to be information that would, on balance, be contrary to the public interest to disclose under the test set out in section 17 of the Act.

I have included as Attachment A to this decision the schedule of relevant documents contained in the building file. This provides a description of each document that falls within the scope of your request and the access decision for each of those documents.

My access decisions are detailed further in the following statement of reasons and the documents released to you are provided as Attachment B to this letter.

In accordance with section 54(2) of the Act a statement of reasons outlining my decision is below.

Statement of Reasons

In reaching my access decision, I have taken the following into account:

- the Act;
- the content of the documents that fall within the scope of your request; and
- the *Human Rights Act 2004*.

Exemption claimed

My reasons for deciding not to grant access to the identified documents and components of these documents are as follows:

Public Interest

The Act has a presumption in favour of disclosure. As a decision maker I am required to decide where, on balance, public interests lies. As part of this process I must consider factors favouring disclosure and non-disclosure.

In *Hogan v Hinch* (2011) 243 CLR 506, [31] French CJ stated that when 'used in a statute, the term [public interest] derives its content from "the subject matter and the scope and purpose" of the enactment in which it appears'. Section 17(1) of the Act sets out the test, to be applied to determine whether disclosure of information would be contrary to the public interest. These factors are found in subsection 17(2) and Schedule 2 of the Act.

Taking into consideration the information contained in the documents found to be within the scope of your request, I have identified that the following public interest factors are relevant to determine if release of the information contained within these documents is within the 'public interest'.

Factors favouring disclosure (Schedule 2.1)

- Contribute to the administration of justice generally, including procedural fairness.

Factors favouring non-disclosure (Schedule 2.2)

- Prejudice the protection of an individual's right to privacy or other right under the *Human Rights Act 2004*.

Having considered the factors identified as relevant in this matter, I consider that release of information contained in these documents may contribute to the administration of justice generally by allowing you to have a more complete record of the process between the lease holder of the block in question and the ACT Government and the steps taken to

attain compliance with the appropriate building codes.

However, when considering this finding against the factor favouring non-disclosure, I am satisfied that the protection of an individual's right to privacy, especially in the course of assisting in a line of enquiry and compliance with government regulations, is a significant factor as the parties involved have provided their personal information which includes the names of previous and current property owners and the interior layout of the property for the purposes of meeting obligations under relevant legislation which, in my opinion, outweighs the benefit which may be derived from releasing the personal information of the individual's involved in this matter. These individuals are entitled to expect that the personal information they have supplied as part of this process will be dealt with in a manner that protects their privacy. Considering the type of information to be withheld from release, I am satisfied that the factors in favour of release can still be met while protecting the personal information of the individuals involved.

I therefore weight the factor for non-disclosure more highly than the factor in favour of release in this instance. As a result, I have decided that release of the interior layout of the property in question and the names of the property owners could prejudice their right to privacy under the *Human Rights Act 2004*.

Having applied the test outlined in section 17 of the Act and deciding that release of personal information contained in the documents is not in the public interest to release, I have chosen to redact this specific information in accordance with section 50(2). Noting the pro-disclosure intent of the Act, I am satisfied that redacting only the information that I believe is not in the public interest to release will ensure the intent of the Act is met and will provide you with access to the majority of the information held by CMTEDD within the scope of your request.

Folios 2-4, 5-24, 26-50, 53-67 of the identified document contain information that I consider, on balance, to be contrary to the public interest to disclose under the test set out in section 17 of the Act.

Charges

Pursuant to *Freedom of Information (Fees) Determination 2017 (No 2)* processing charges would normally be applicable for this request, however I have waived fees associated with your access application in this instance.

Online publishing – Disclosure Log

Under section 28 of the Act, CMTEDD maintains an online record of access applications called a disclosure log. Your original access application, my decision and documents released to you in response to your access application will be published in the CMTEDD disclosure log on 26 September 2018. Your personal contact details will not be published.

You may view CMTEDD disclosure log at:

<https://www.cmtedd.act.gov.au/functions/foi/disclosure-log>.

Ombudsman Review

My decision on your access request is a reviewable decision as identified in Schedule 3 of the Act. You have the right to seek Ombudsman review of this outcome under section 73 of the Act within 20 working days from the day that my decision is published in CMTEDD disclosure log, or a longer period allowed by the Ombudsman.

If you wish to request a review of my decision you may write to the Ombudsman at:

The ACT Ombudsman
GPO Box 442
CANBERRA ACT 2601
Via email: actfoi@ombudsman.gov.au

ACT Civil and Administrative Tribunal (ACAT) Review

Under section 84 of the Act, if a decision is made under section 82(1) on an Ombudsman review, you may apply to the ACAT for review of the Ombudsman decision. Further information may be obtained from the ACAT at:

ACT Civil and Administrative Tribunal
Level 4, 1 Moore St
GPO Box 370
Canberra City ACT 2601
Telephone: (02) 6207 1740
<http://www.acat.act.gov.au/>

Should you have any queries in relation to your request please contact me by telephone on 6207 7754 or email CMTEDDFOI@act.gov.au.

Yours sincerely,



Daniel Riley
Information Officer
Information Access Team
Chief Minister, Treasury and Economic Development Directorate

20 September 2018



ACT
Government

Chief Minister, Treasury and
Economic Development

FREEDOM OF INFORMATION REQUEST SCHEDULE

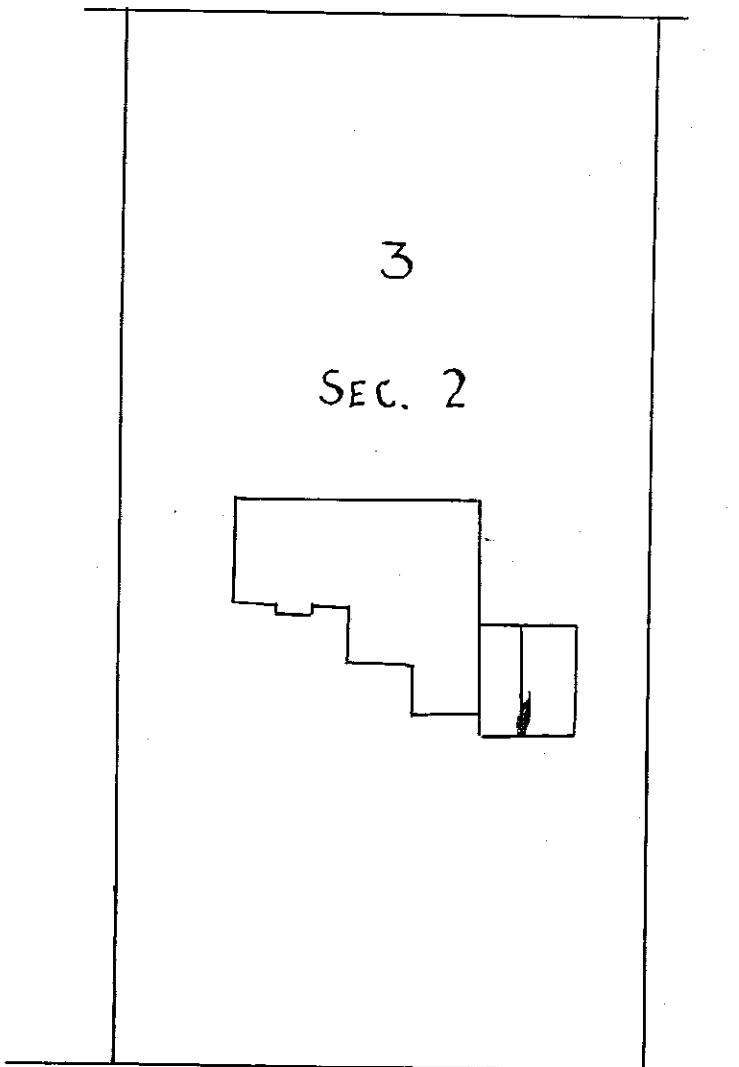
NAME		WHAT ARE THE PARAMETERS OF THE REQUEST			Reference NO.	
[REDACTED]		Building file for 43 Melbourne Avenue Forrest ACT 2603 (Block 03 Section 02) including all approved plans			CMTEDDFOI2018-0249	

Ref No	Page number	Description	Date	Status	Reason for Exemption	Online Release Status
1	1-67	Plans and demolition report from building file for 43 Melbourne Avenue Forrest ACT 2603	Various	Partial Release of pages 2-4, 5-24, 26-50, 53-67	Sch 2 s2.2 (a)(ii)	No
Total No of Docs						
1 (67 pages)						

BLOCK N^o 3 SECTION N^o 2

DIVISION OF

DISTRICT OF FORREST



MELBOURNE AVENUE

I, John Thomas Hill Goodwin certify that
 the Buildings and other Improvements erected on Block
3 Section 2 Division of FORREST
 are wholly within the Block Boundaries and in the
 position delineated hereon, and that there is no
 encroachment upon adjoining lands.

J. T. H. Goodwin

Licensed Surveyor

Dated Jan. 29th 1836

Old

The Territory for the Seat of Government.

~~FEDERAL CAPITAL COMMISSION~~
~~DEPARTMENT OF THE INTERIOR.~~*Building and Services Ordinance 1924-1928.*
Canberra Building Regulations.

No 493

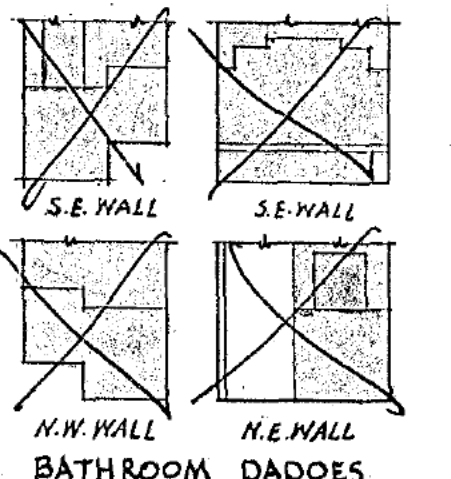
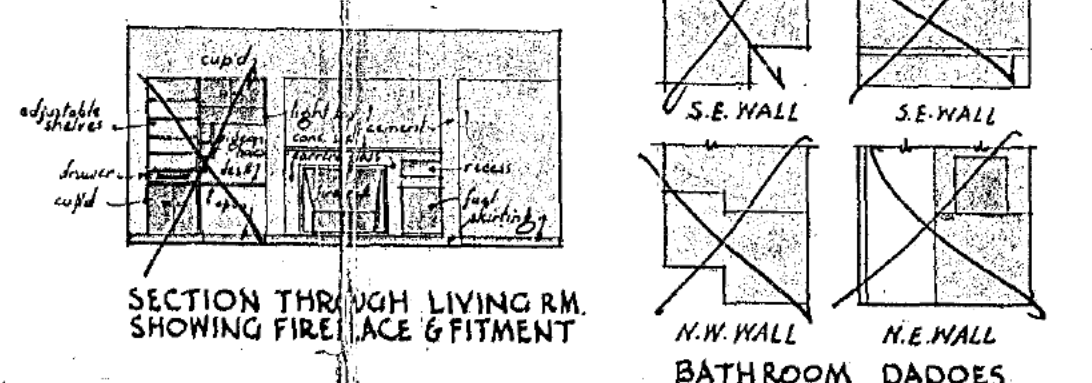
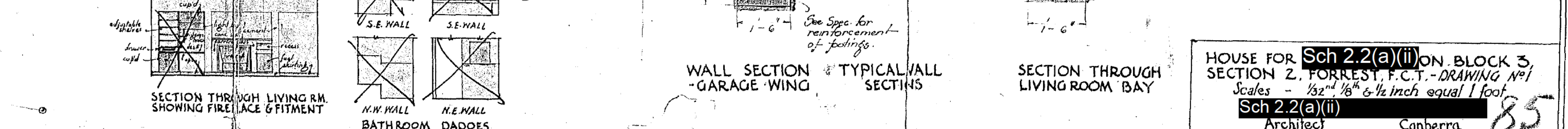
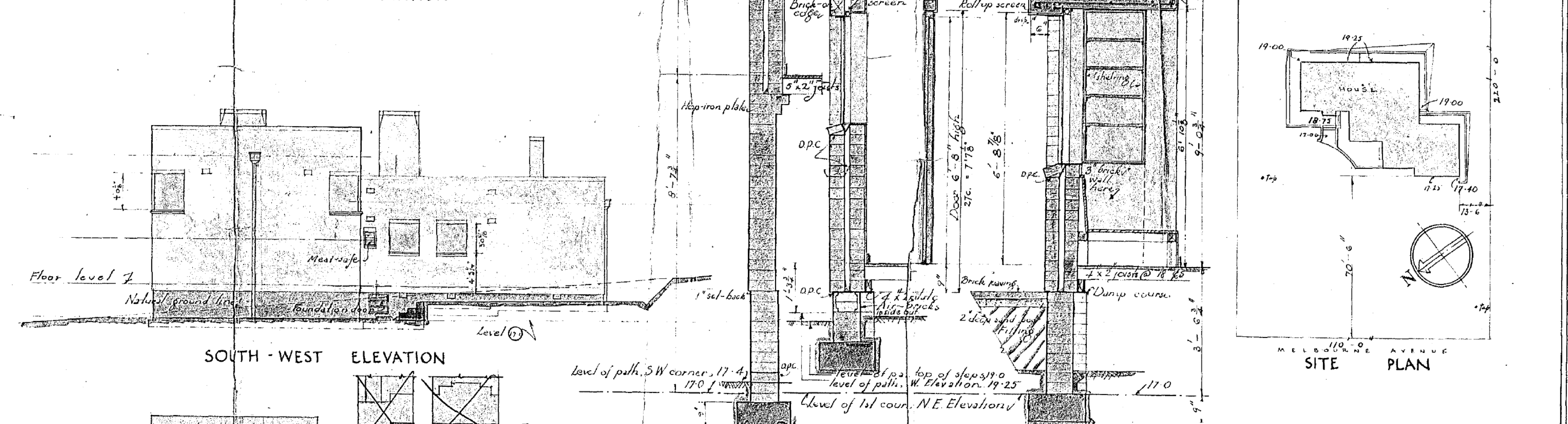
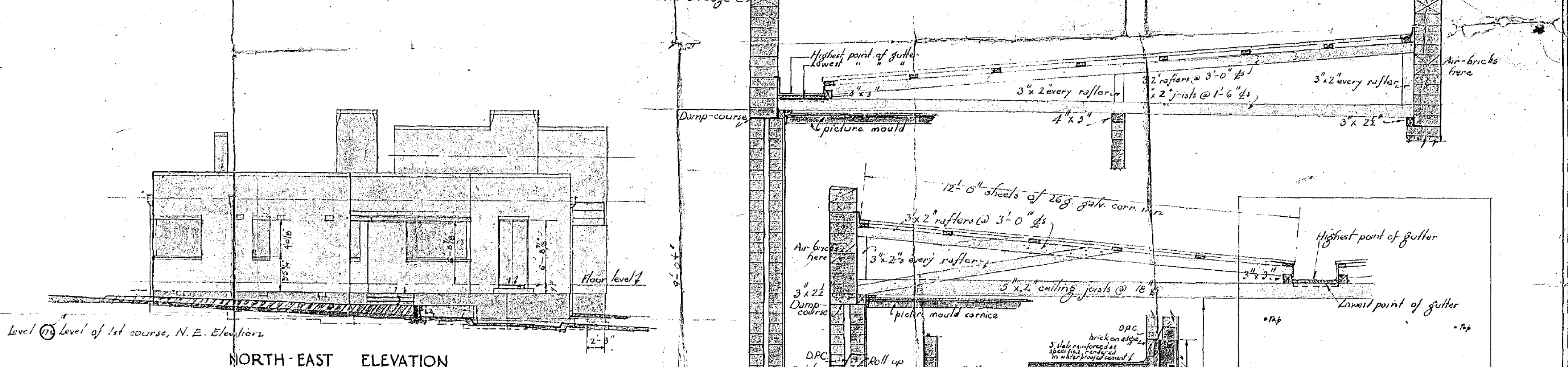
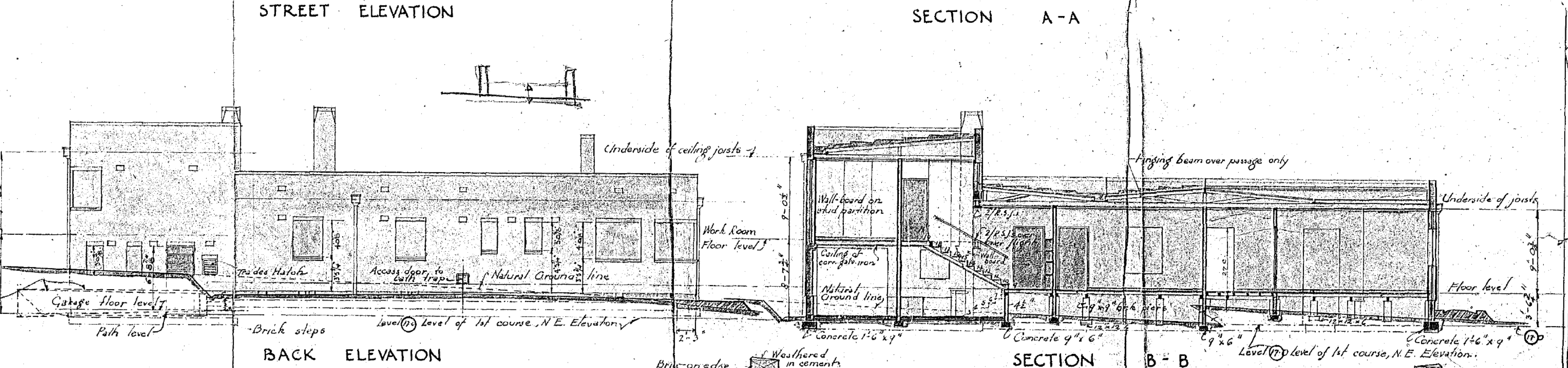
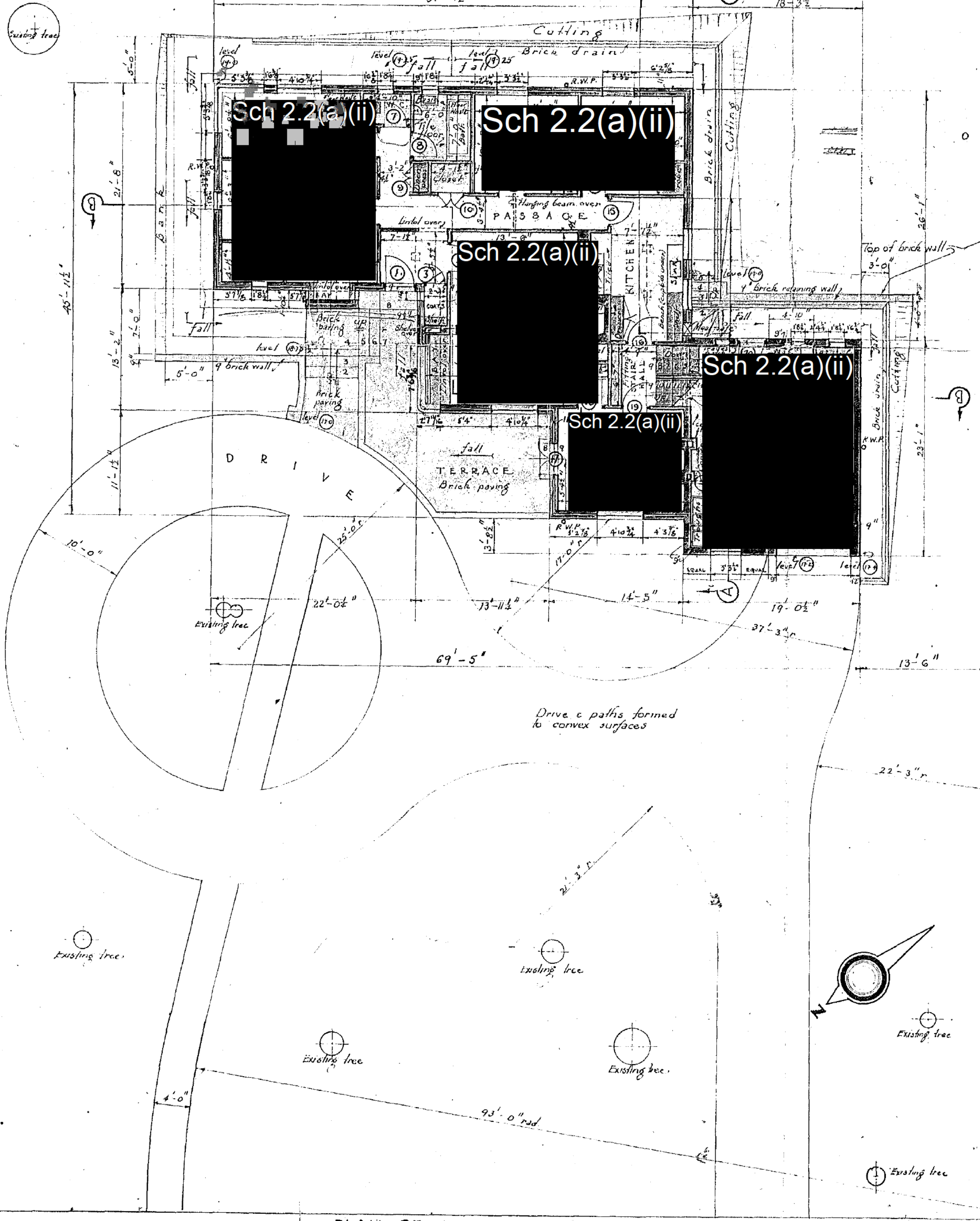
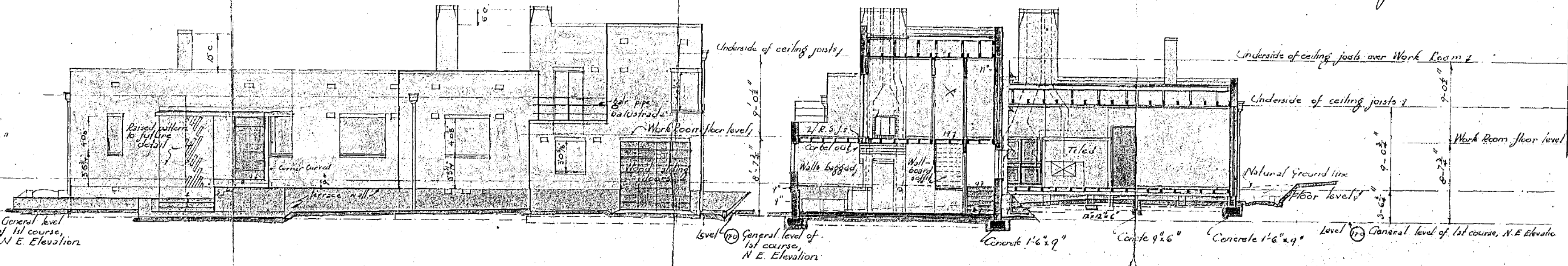
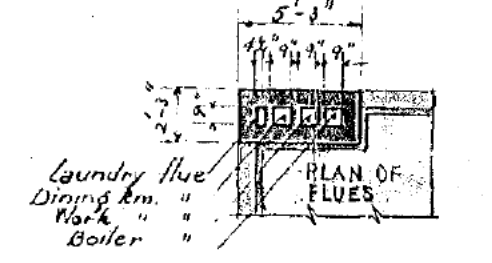
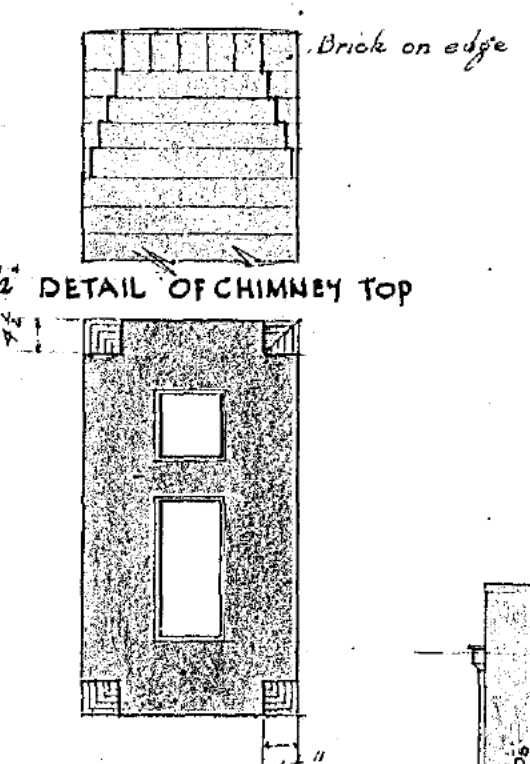
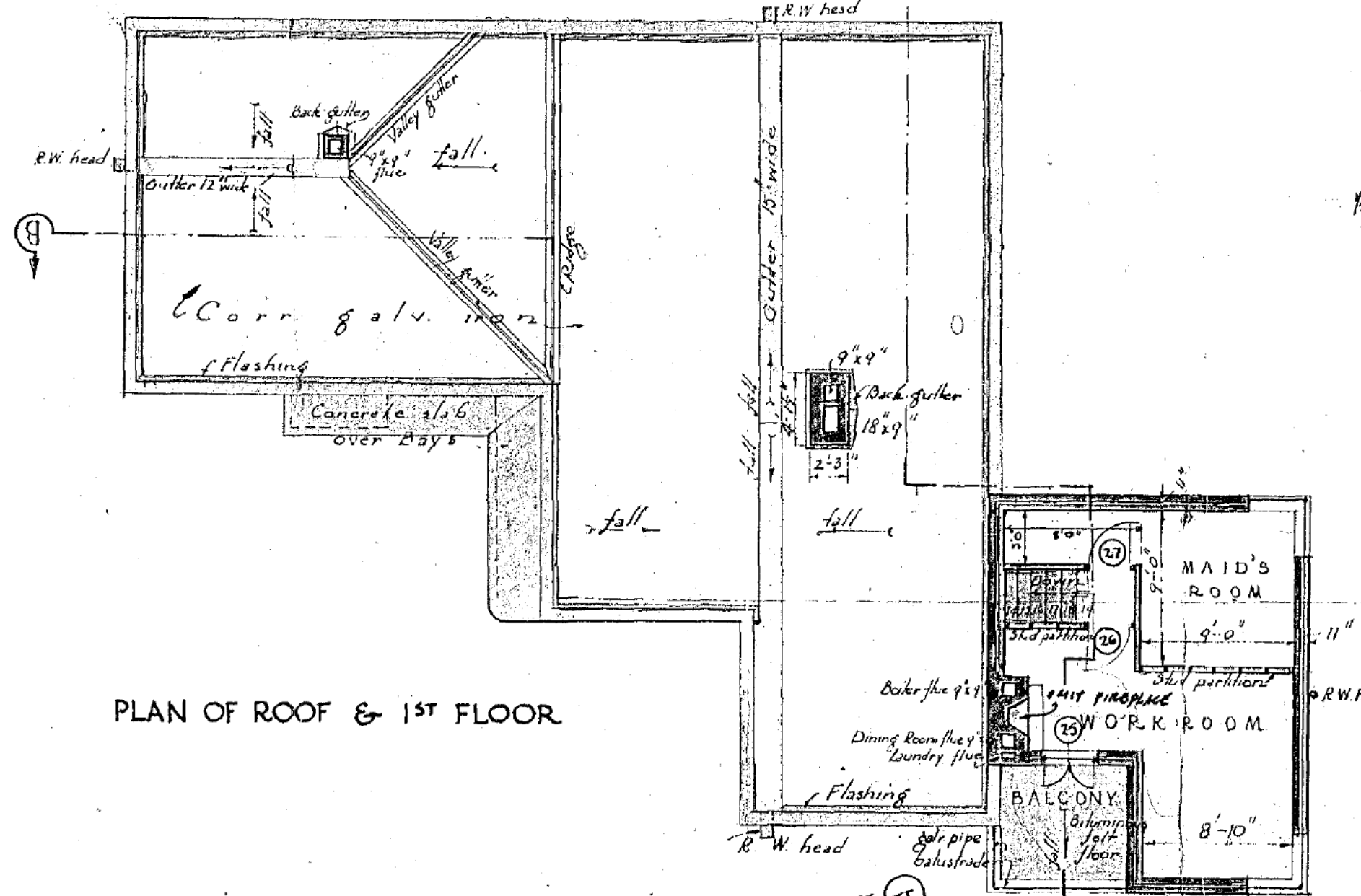
CERTIFICATE OF COMPLETION.

THIS IS TO CERTIFY that a building has been completed by W. J. PERRY
 on Block 3 of Section 2 at Ferris
 for Sch 2.2(a)(ii) the Lessee of the
 said Block, in accordance with the plans and specification approved therefor, and
 in accordance with the provisions of the Canberra Building Regulations made under
 the *Building and Services Ordinance 1924-1928.*

Dated this Second day of August, 1937

 Proper Authority.

PLANS AND SPECIFICATIONS EXAMINED AND RECOMMENDED
 FOR APPROVAL BY THE
 ENGINEER FOR WATER SUPPLY AND SEWERAGE
 H. P. HILLIS 27, 10, 1935
 ELECTRICAL ENGINEER
 J. J. WINDHAM 21, 10, 1935
 PRINCIPAL DESIGNING ARCHITECT
 Approved, G. S. Daley 21, 10, 1935



WALL SECTION & TYPICAL WALL SECTIONS

SECTION THROUGH LIVING ROOM BAY

HOUSE FOR Sch 2.2(a)(ii) ON BLOCK 3, SECTION 2, FORREST, F.C.T. - DRAWING No 1
 Scales - 1/32" = 1/8" & 1/16" = 1/2" inch equal 1 foot
 Sch 2.2(a)(ii) Architect Canberra 85



AUSTRALIAN CAPITAL TERRITORY.
CIVIC BRANCH.

DEPARTMENT OF THE INTERIOR.


N^o 753

Building and Services Ordinance 1924-1938.
Canberra Building Regulations.

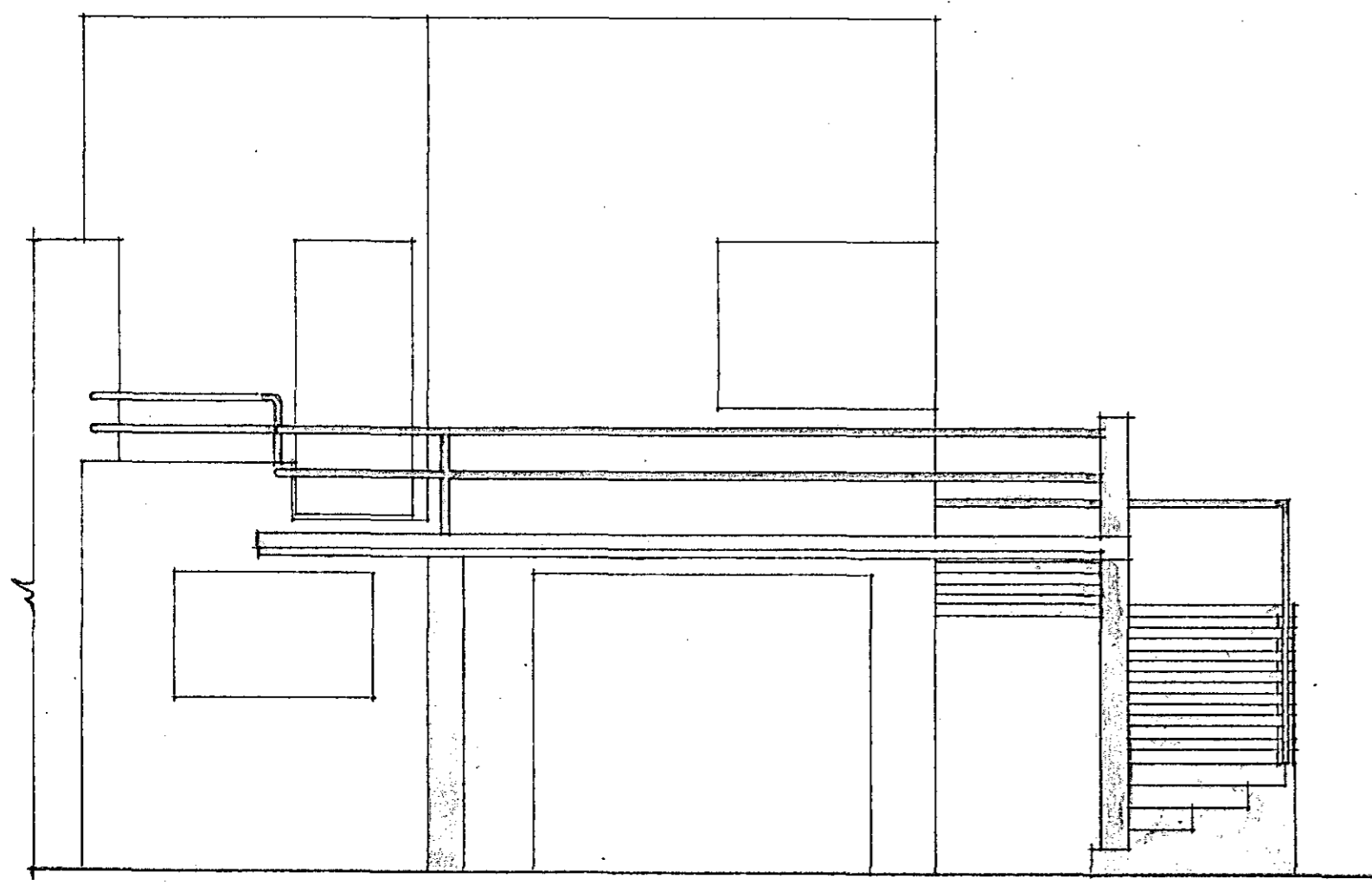
CERTIFICATE OF COMPLETION.

THIS IS TO CERTIFY that a building has been completed by Simle & Co. Pty., Ltd.
on Block 3 of Section 2 at Forrest, A.C.T.
for Sch 2.2(a)(ii) the Lessee of the
said Block, in accordance with the plans and specification approved therefor, and
in accordance with the provisions of the Canberra Building Regulations made under
the *Building and Services Ordinance 1924-1938.*

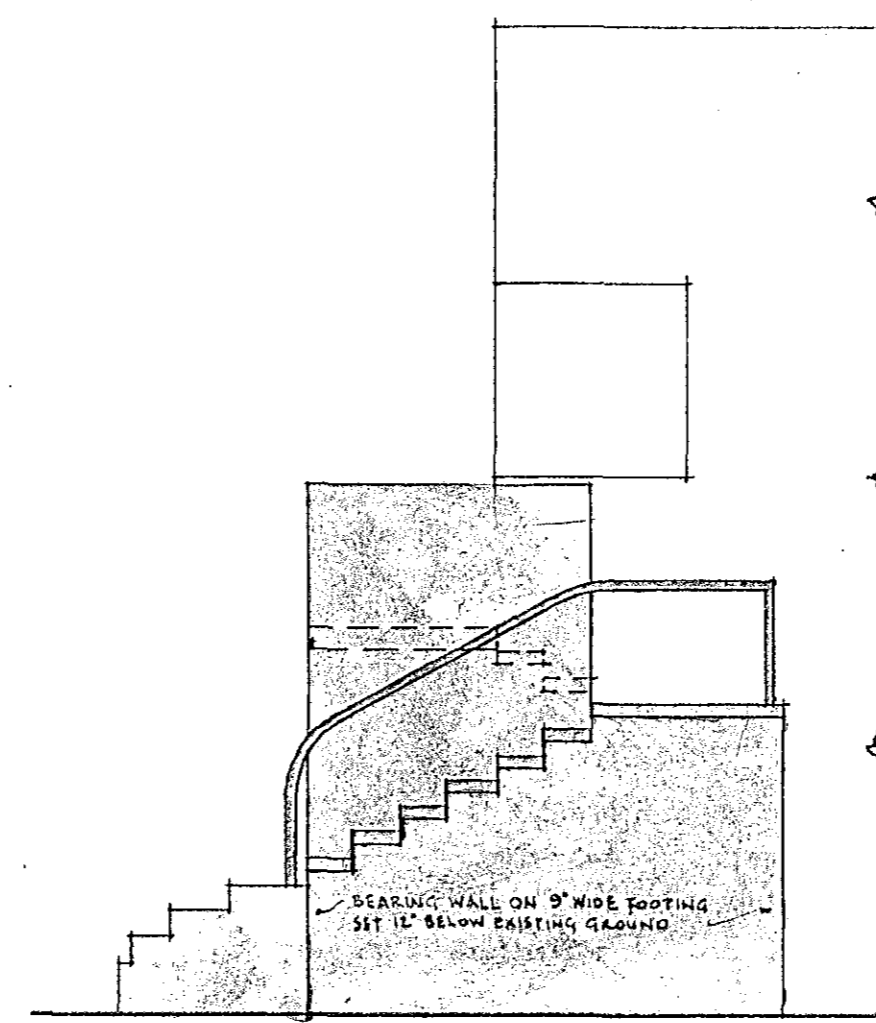
Dated this twenty-fourth day of December, 19 61.


.....
Proper Authority.

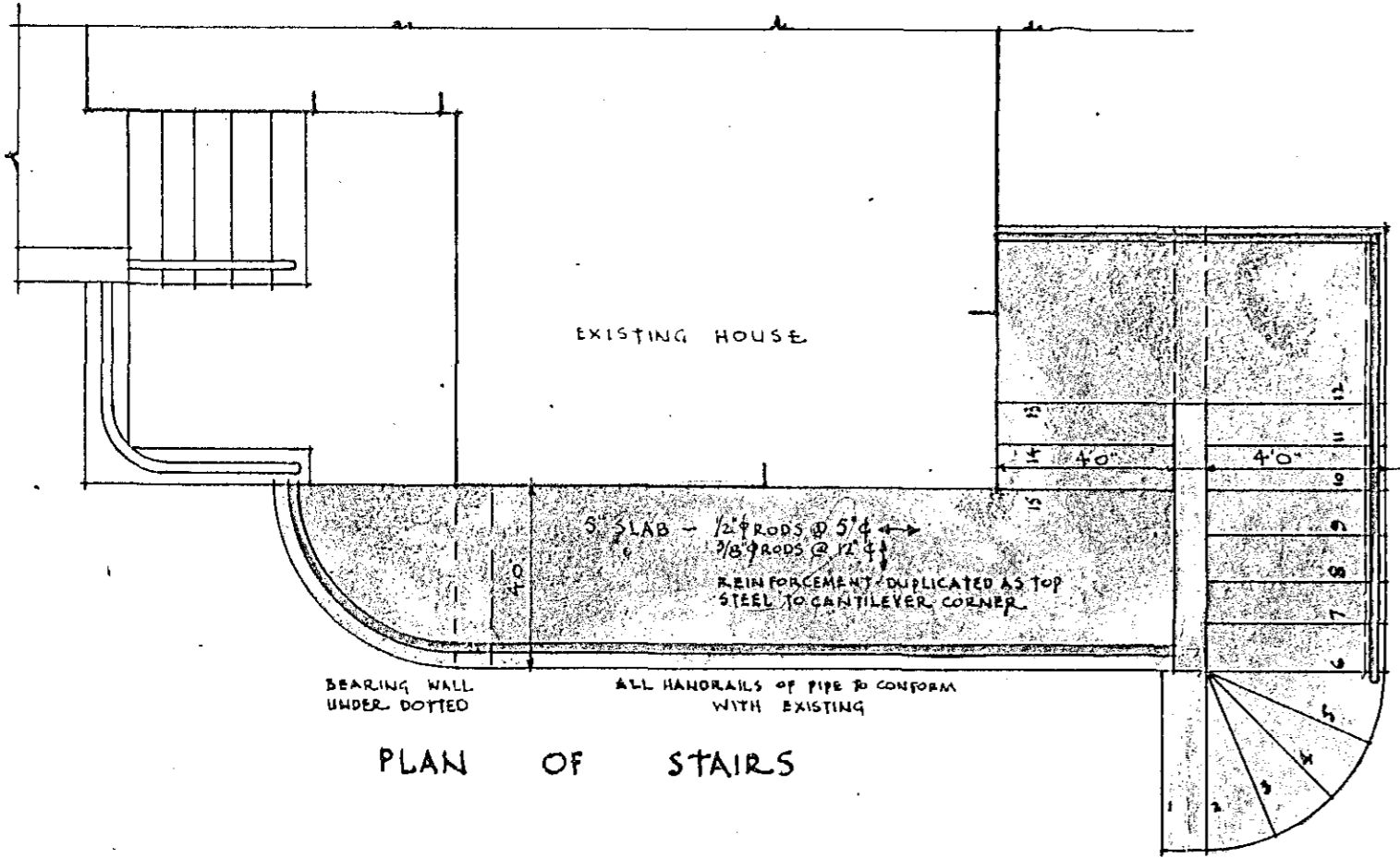
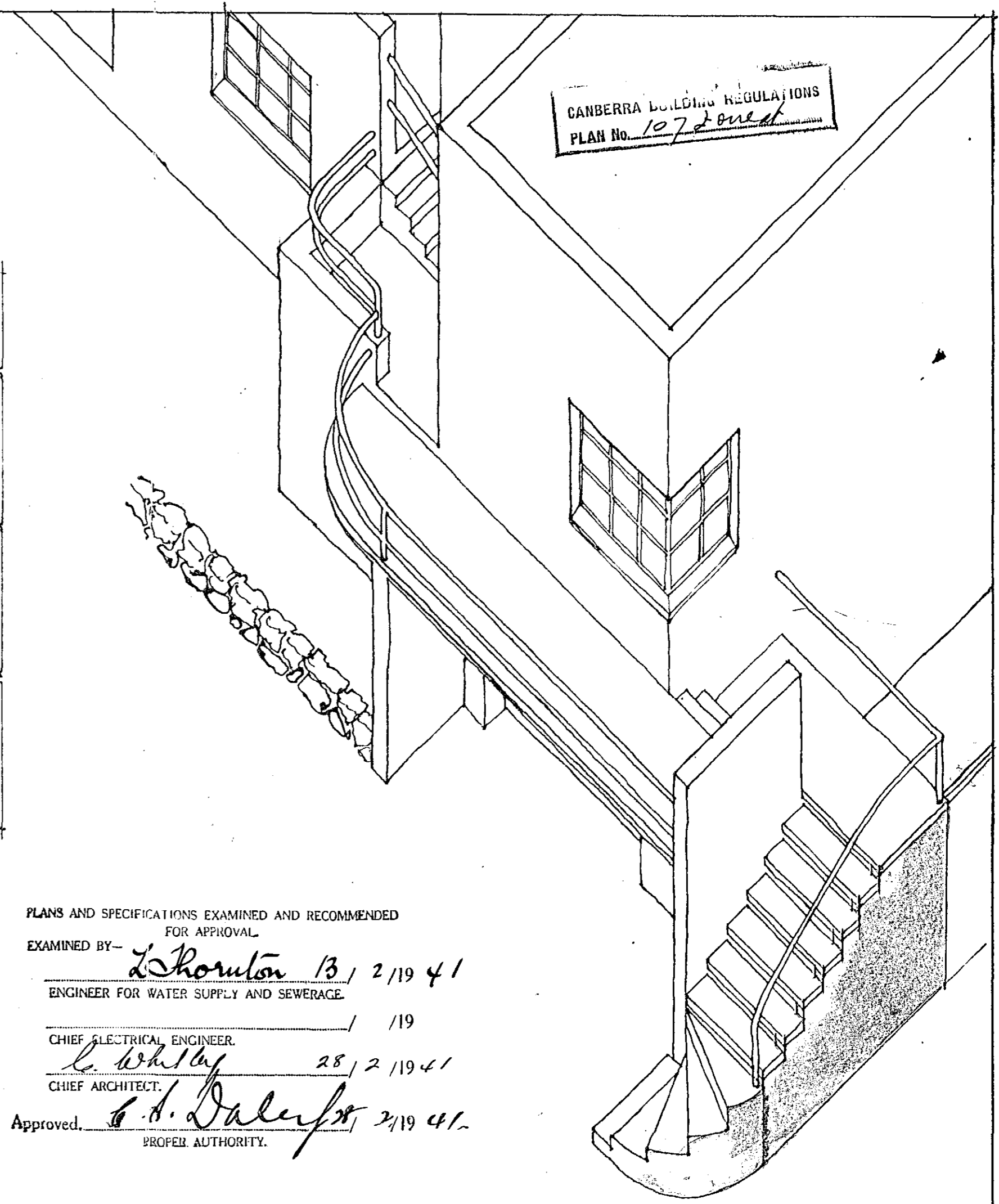
CANBERRA BUILDING REGULATIONS
 PLAN No. 1072 *over*



PART FRONT ELEVATION



PART SIDE ELEVATION



PLAN OF STAIRS

3/8" SLAB - IN CANTILEVER
 1/8" @ 6" →
 1/8" @ 12" ↓
 IN WALL STAIR
 3/8" @ 7 1/2" →
 3/8" @ 12" ↓

5/8" CANTILEVER TREADS
 NO. 5. 3/8" RODS WITH
 3/8" HOOPS @ 12" ↓

*Design of Balcony slab
 may be varied, but
 must be capable of
 sustaining a load of
 50 lbs/sq foot.
 L. Thornton
 (as to structural work)*

PLANS AND SPECIFICATIONS EXAMINED AND RECOMMENDED
 FOR APPROVAL

EXAMINED BY - *L. Thornton* 13 / 2 / 19 41
 ENGINEER FOR WATER SUPPLY AND SEWERAGE.

CHIEF ELECTRICAL ENGINEER. / / 19
L. Whitley 28 / 2 / 19 41
 CHIEF ARCHITECT.

Approved, *G. H. Daley* 2 / 19 41.
 PROPER AUTHORITY.

NEW EXTERNAL STAIRS TO HOUSE, BLOCK 3, SECTION 2, FORREST A.C.T.

MOIR & MITCHELL ARCHITECTS CANBERRA A.C.T.

SCALE: 1/4" = 1'0"

Heather Moir

85

AUSTRALIAN CAPITAL TERRITORY
Building Ordinance 1964 (as amended)
CERTIFICATE AS TO FITNESS FOR OCCUPANCY AND USE

Nº 12063

Plan Number(s) <i>158 Forest</i>	Permit Holder:
	Lessee Sch 2.2(a)(ii)

I certify that a *Brick additions to the residence*

on Block *3* of Section *2* at *Forest*

is fit for occupancy and use.

26.11.74

[Signature]
Deputy Proper Authority

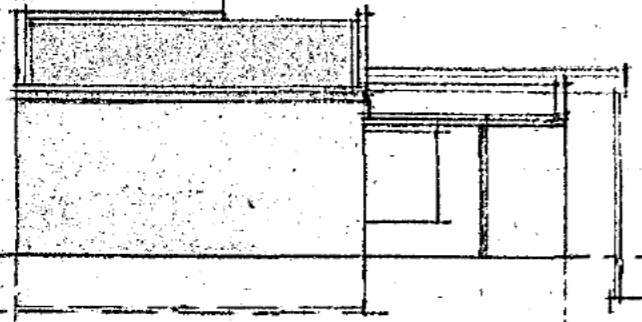
198317/1

Building Branch

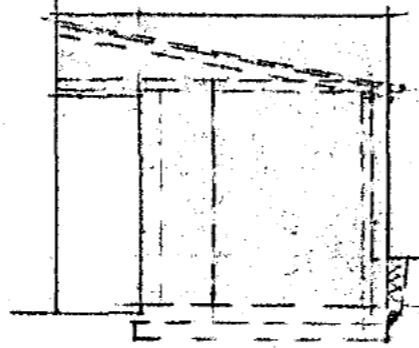
BL1/8 (1971)

- White - original
- Pink - office copy
- Green - information copy
- Gold - information copy

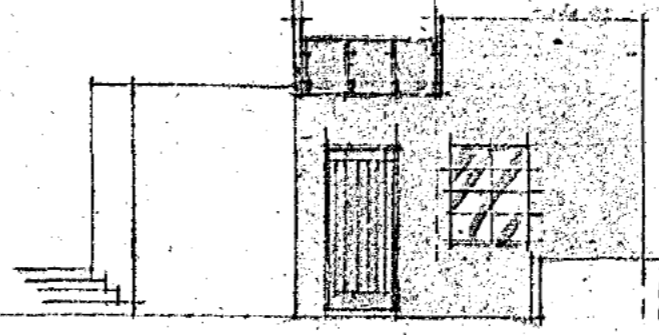
158. Forest



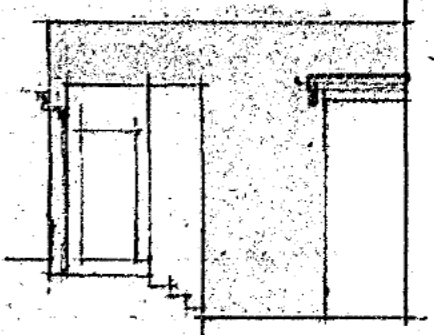
SOUTH EAST



SOUTH WEST

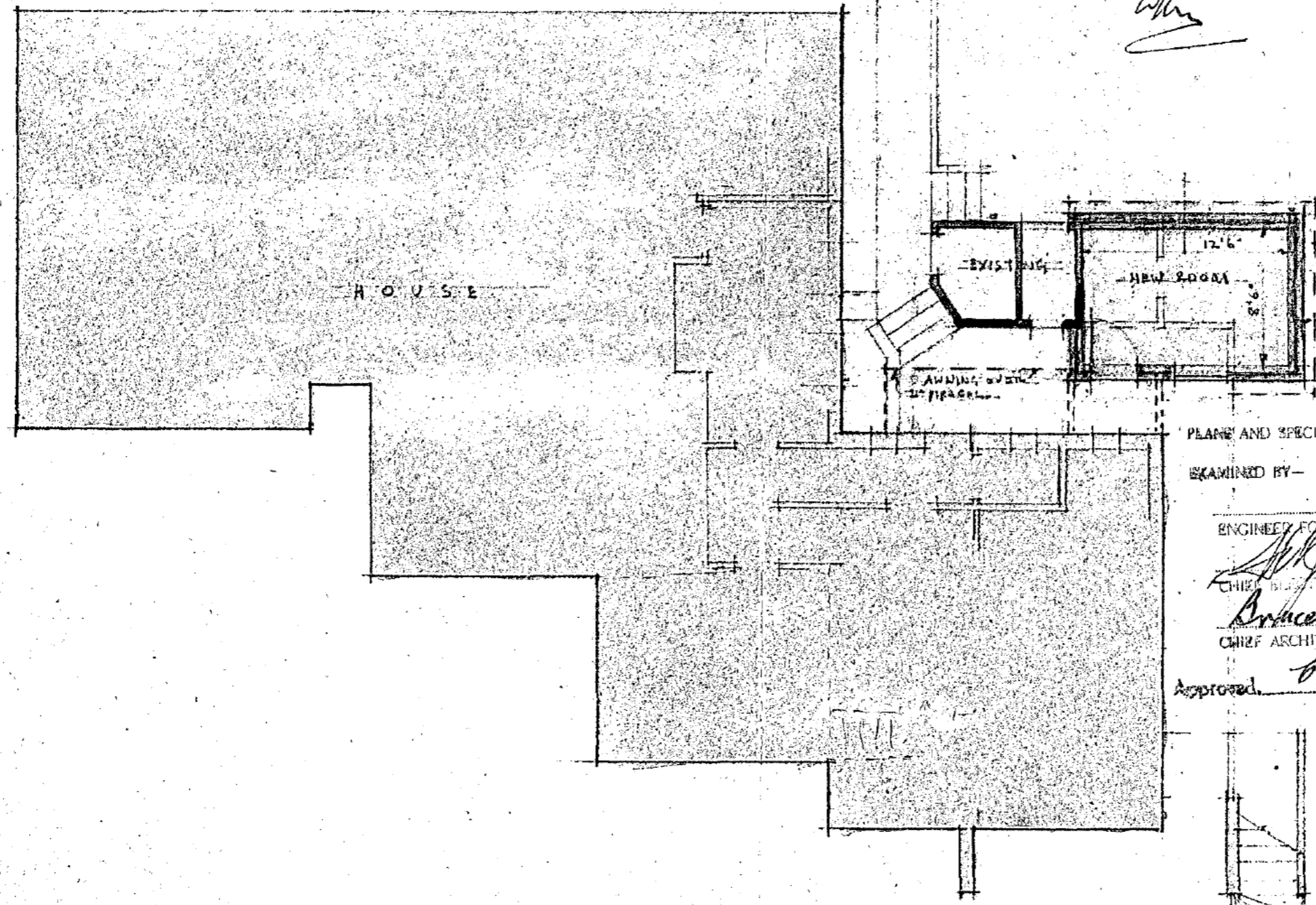


NORTH WEST



NORTH EAST

Note: all work to be carried out in conformity with City Council. *W.H.*



PLANS AND SPECIFICATIONS EXAMINED AND RECOMMENDED FOR APPROVAL
EXAMINED BY— *M. J. O'Connell* 1/19
ENGINEER FOR WATER SUPPLY AND SEWERAGE
W. J. O'Connell 6/7/1948
CHIEF ELECTRICAL ENGINEER
Bruce of Litchfield 7/7/1948
CHIEF ARCHITECT
Approved *B. A. D'Arcy* 28/8/1948
PROPER AUTHORITY

Walter Mearns
18/6/48

ADDITION TO HOUSE ON BLOCK 3, SECTION 2
FOREST ACT. FOR **Sch 2.2(a)(ii)**
ALDIN & SUTHERLAND ARCHITECTS - CANBERRA
SCALE 1" = 20'

AUSTRALIAN CAPITAL TERRITORY
Building Ordinance 1964 (as amended)

No 12062

CERTIFICATE AS TO FITNESS FOR OCCUPANCY AND USE

Plan Number(s) <i>302 Forest</i>	Permit Holder
	Lessee Sch 2.2(a)(ii)

I certify that a *Brick Sunroom addition to*
Residence

on Block *3* of Section *2* at *Forest*

is fit for occupancy and use.

2/12/1974

[Signature]
Deputy Proper Authority

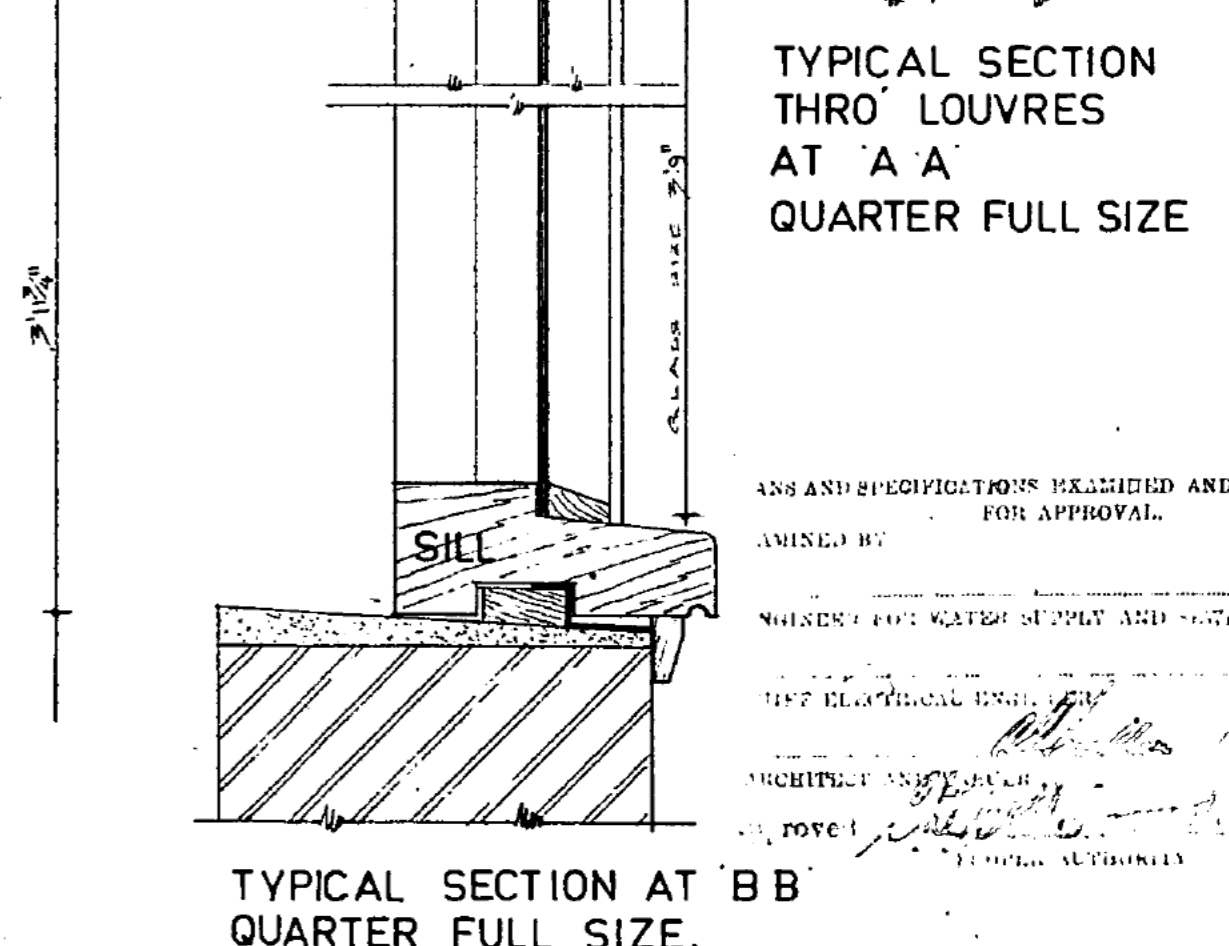
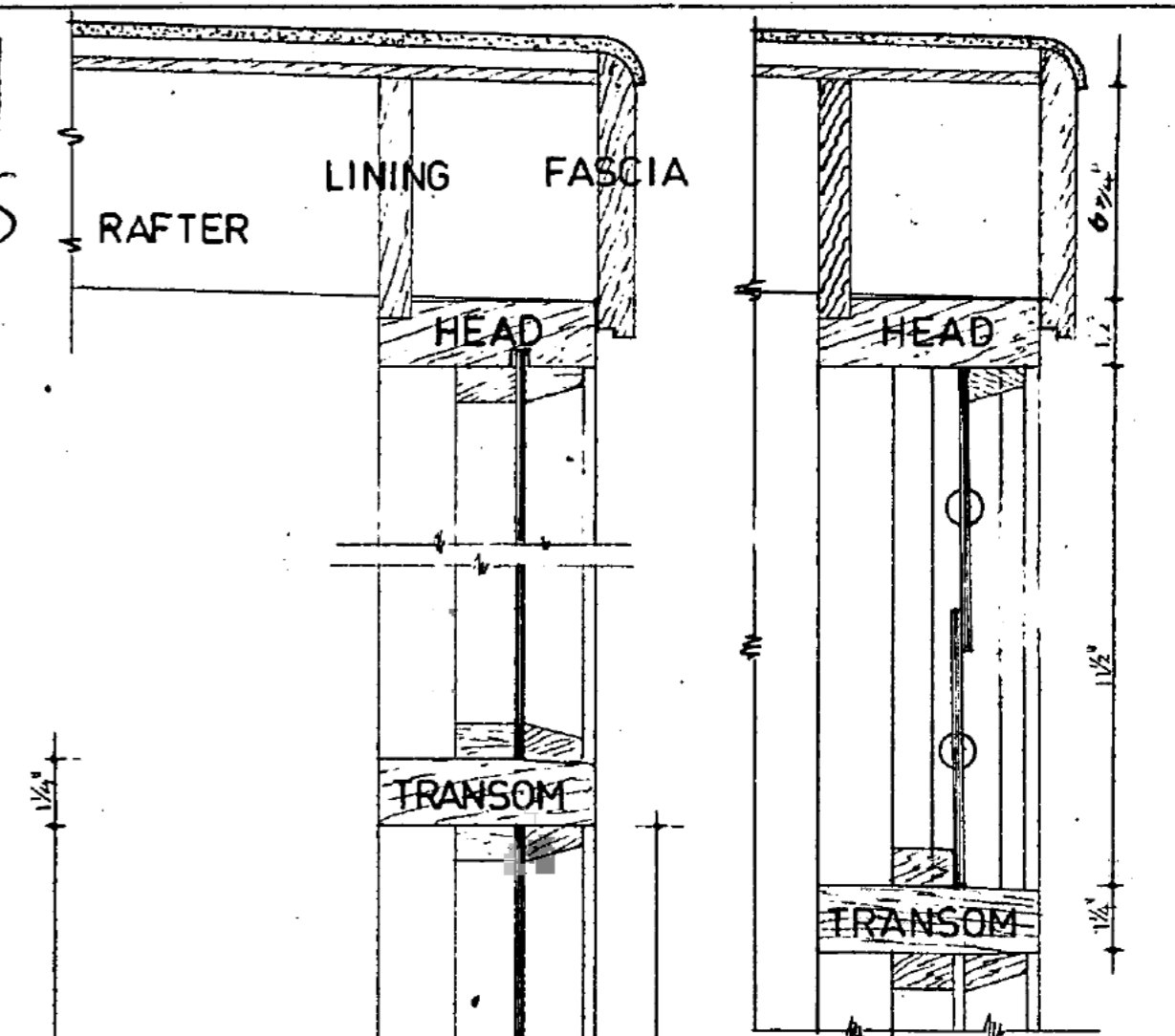
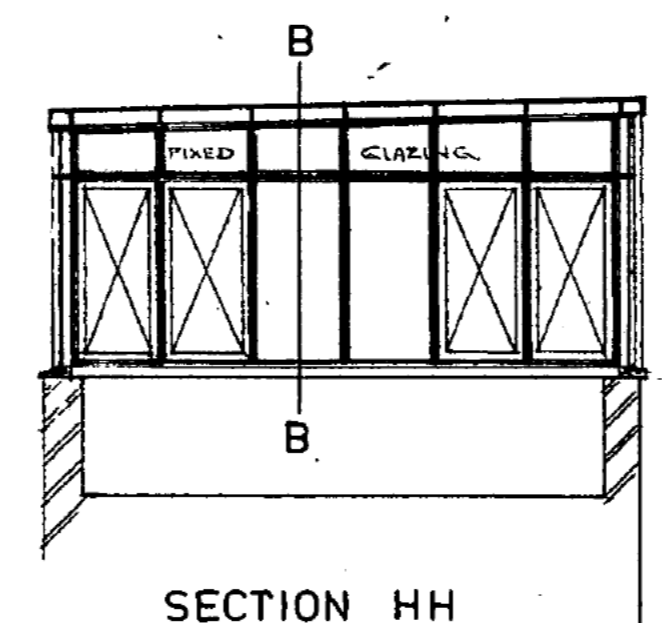
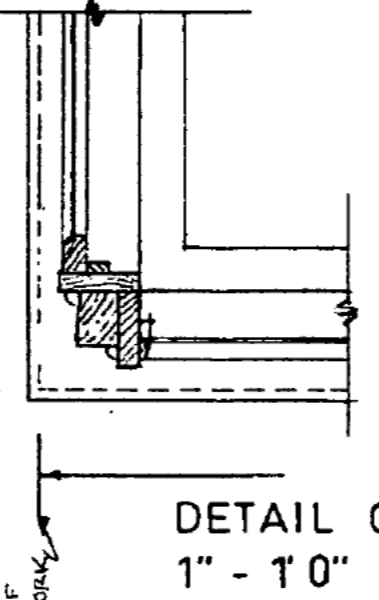
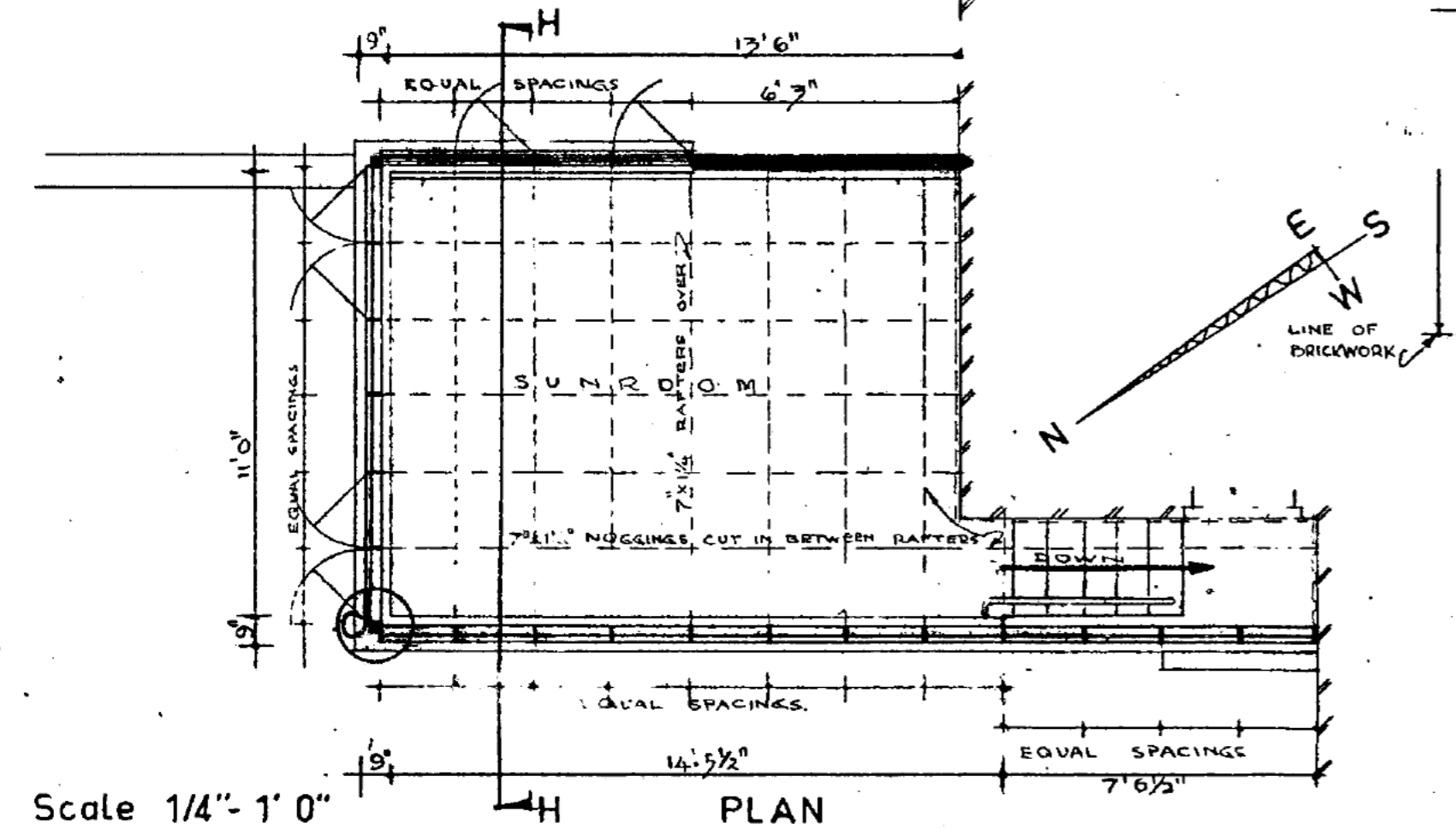
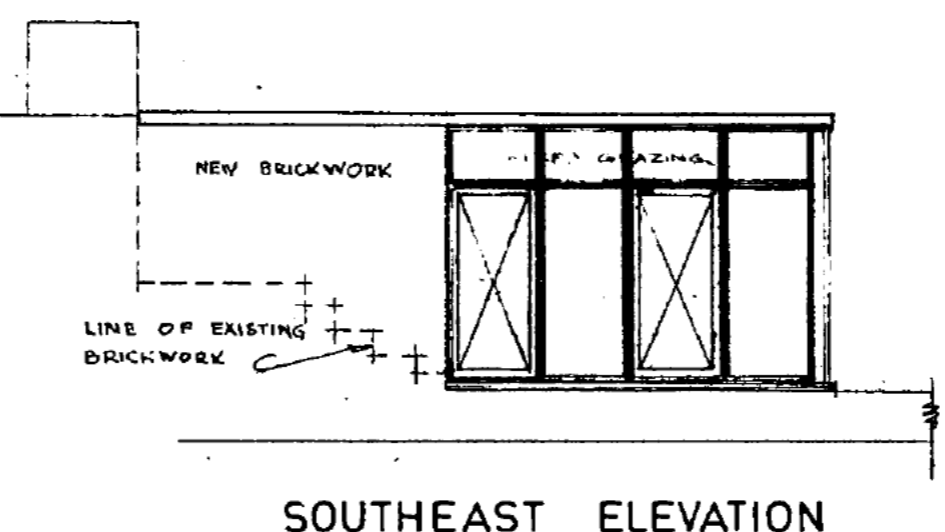
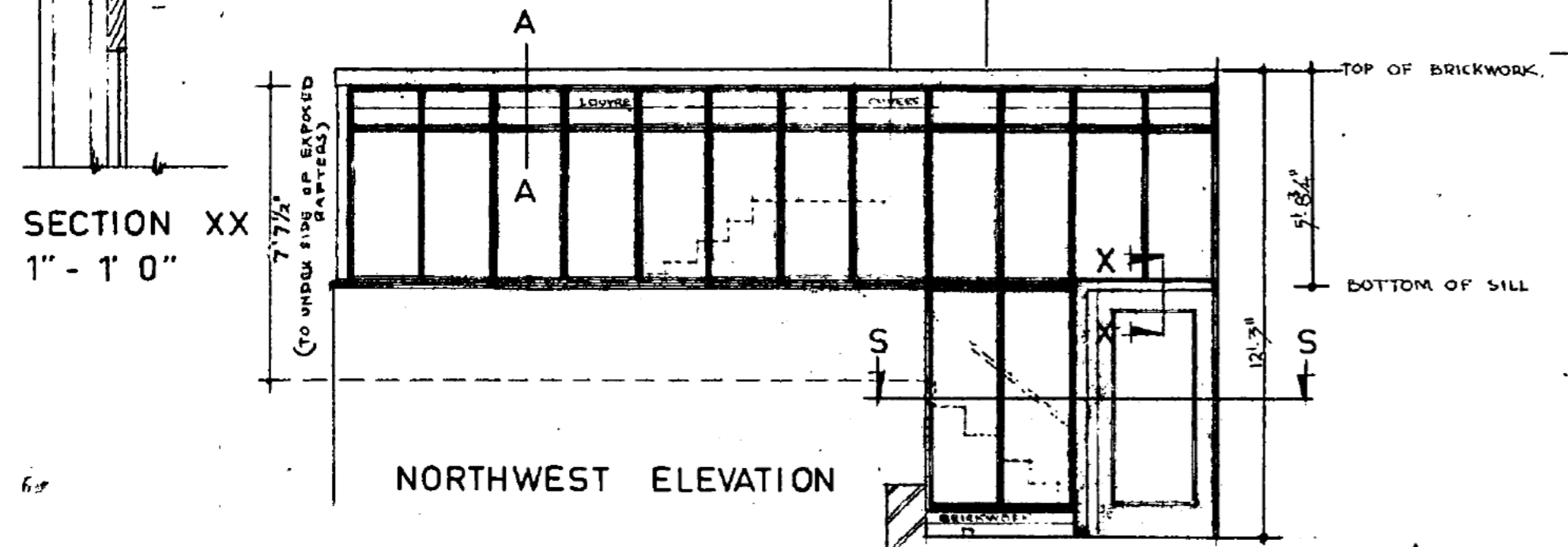
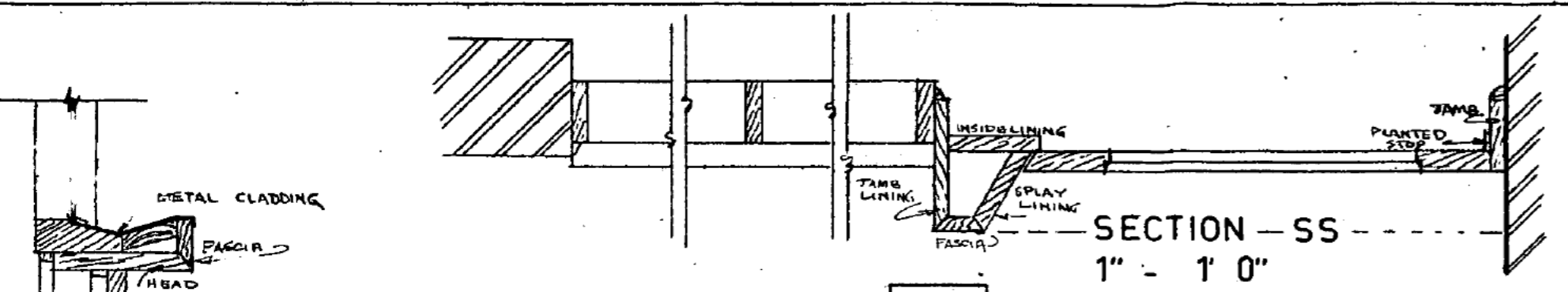
198317/1

Building Branch

BL1/8 (1971)

- White - original
- Pink - office copy
- Green - information copy
- Gold - information copy

A.C.T. PLANNING AND DEVELOPMENT WORK
 CANTERBURY BUILDING REGULATIONS
 PLAN No. 302 704021



TYPICAL SECTION THRO LOUVRES AT A A QUARTER FULL SIZE

ANS AND SPECIFICATIONS EXAMINED AND RECOMMENDED FOR APPROVAL
 ARCHITECT AND ENGINEER
 APPROVED

Scale 1/4" - 1' 0"

ADDITIONS TO RESIDENCE 43 MELBOURNE AVE. FORREST A.C.T.
 FOR Sch 2.2(a)(ii)

MOIR & SUTHERLAND - ARCHITECTS
 43 MELBOURNE AVE. FORREST A.C.T.

AUSTRALIAN CAPITAL TERRITORY
Building Ordinance 1964 (as amended)

No 12061

CERTIFICATE AS TO FITNESS FOR OCCUPANCY AND USE

Plan Number(s) 4144	Permit Holder
	Lessee

Sch 2.2(a)(ii)

I certify that:

Brick additions to Residence

on Block *3* of Section *2* at *Fonest*

is fit for occupancy and use.

26, 4, 74

[Signature]
Deputy Proper Authority

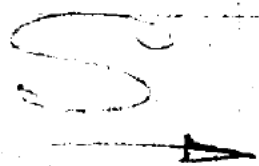
198317/1...

Building Branch

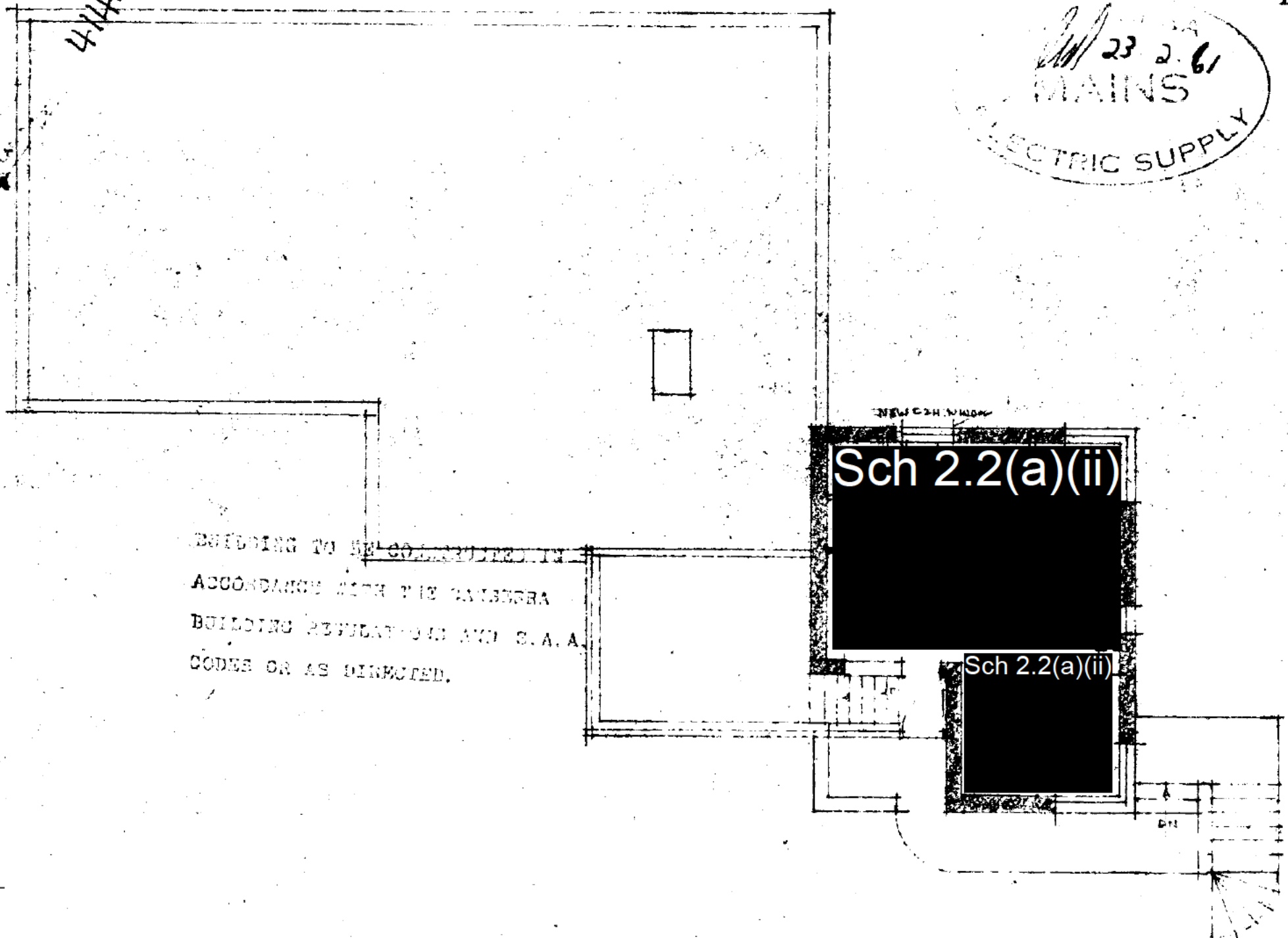
BL1/8 (1971)

- White - original
- Pink - office copy
- Green - information copy
- Gold - information copy

4144



23 2 61
ELECTRIC SUPPLY



BEDDING TO BE CONSIDERED IN
ACCORDANCE WITH THE CANBERRA
BUILDING REGULATIONS AND S.A.A.
CODES OR AS DIRECTED.

Sch 2.2(a)(ii)

Sch 2.2(a)(ii)

ADDITION OF TOILET ETC. TO 1ST FLOOR OF HOUSE BLOCK 3 SECTION 2 FORREST
FOR M. J. MOIR
SCALE - 1" = 8'0"

Sch 2.2(a)(ii)

ARCHITECTS

AUSTRALIAN CAPITAL TERRITORY
Building Ordinance 1964 (as amended)

No 12060

CERTIFICATE AS TO FITNESS FOR OCCUPANCY AND USE

Plan Number(s) 4144/A	Permit Holder
	Lessee Sch 2.2(a)(ii)

I certify that a Brick Garage

on Block 3 of Section 2 at Forest

is fit for occupancy and use.

26.4.74

[Signature]
Deputy Proper Authority

198317/1

Building Branch

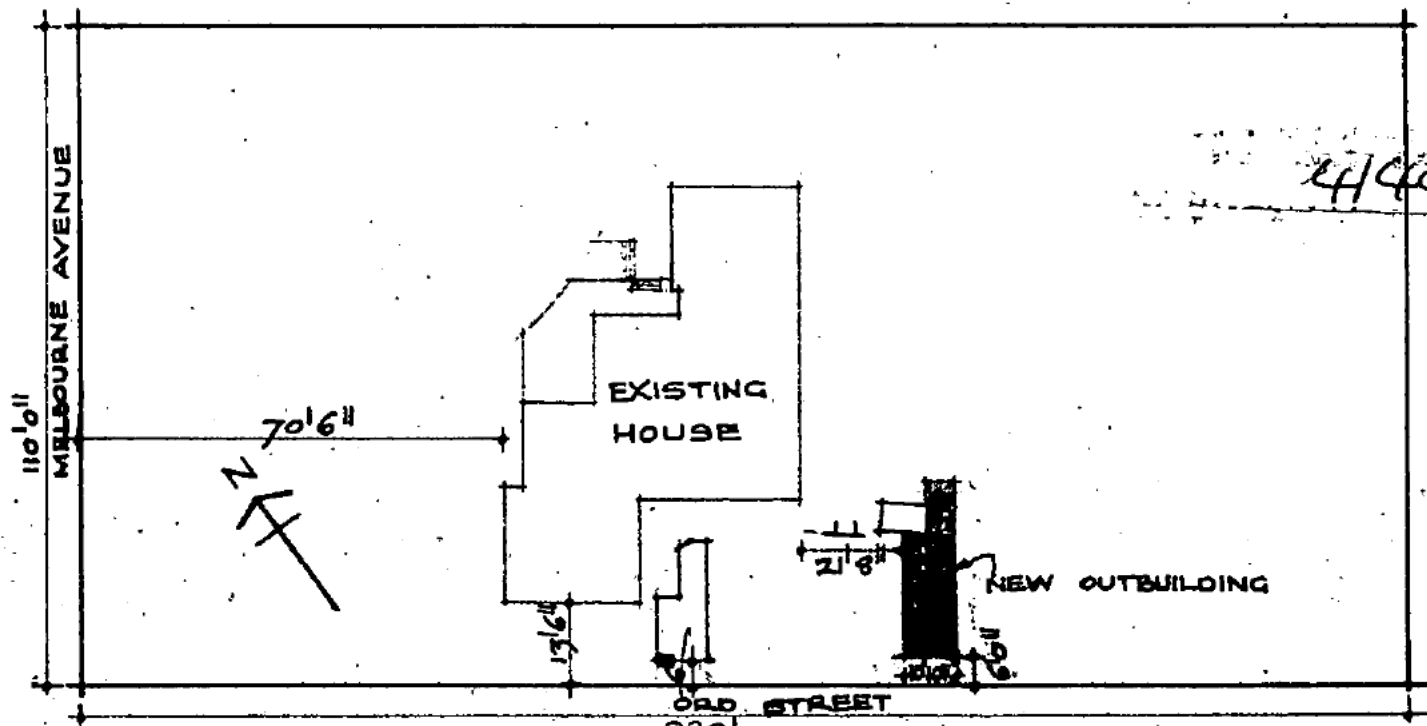
BL1/8 (1971)

- White - original
- Pink - office copy
- Green - information copy
- Gold - information copy

DEPT. RECEIVED
21 APR 1964
BUILDING SECTION

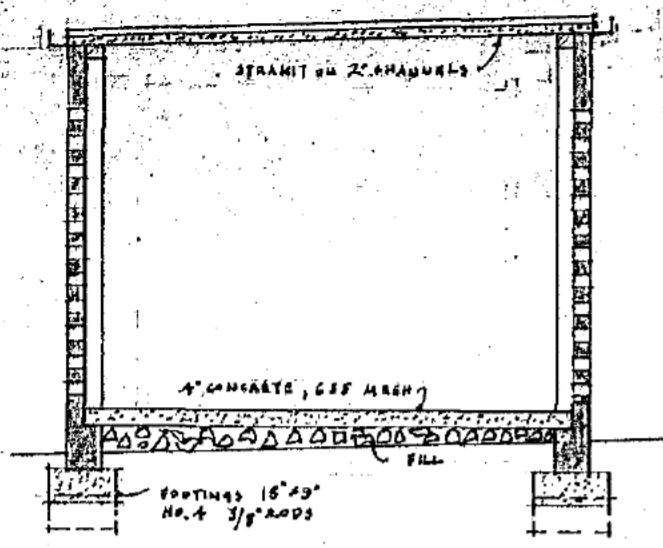
PLAN No. ~~8065~~

W S 44

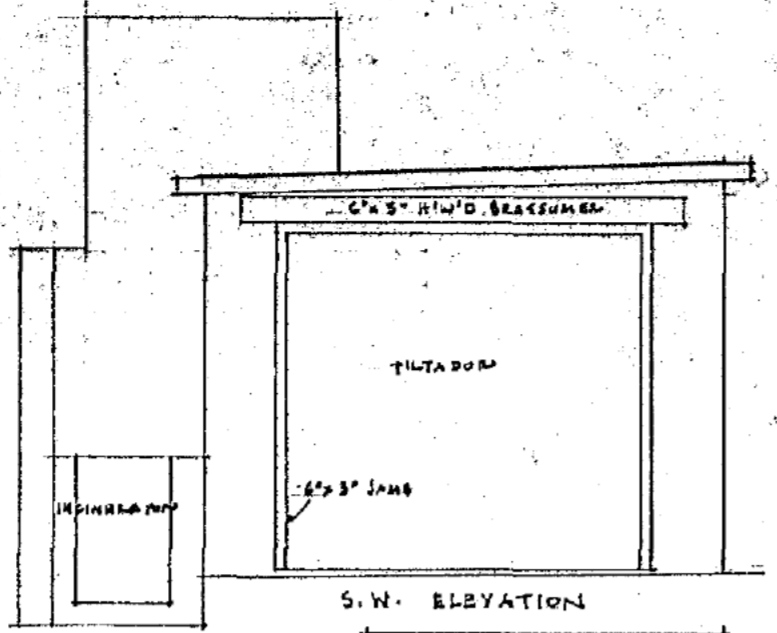


4404 A

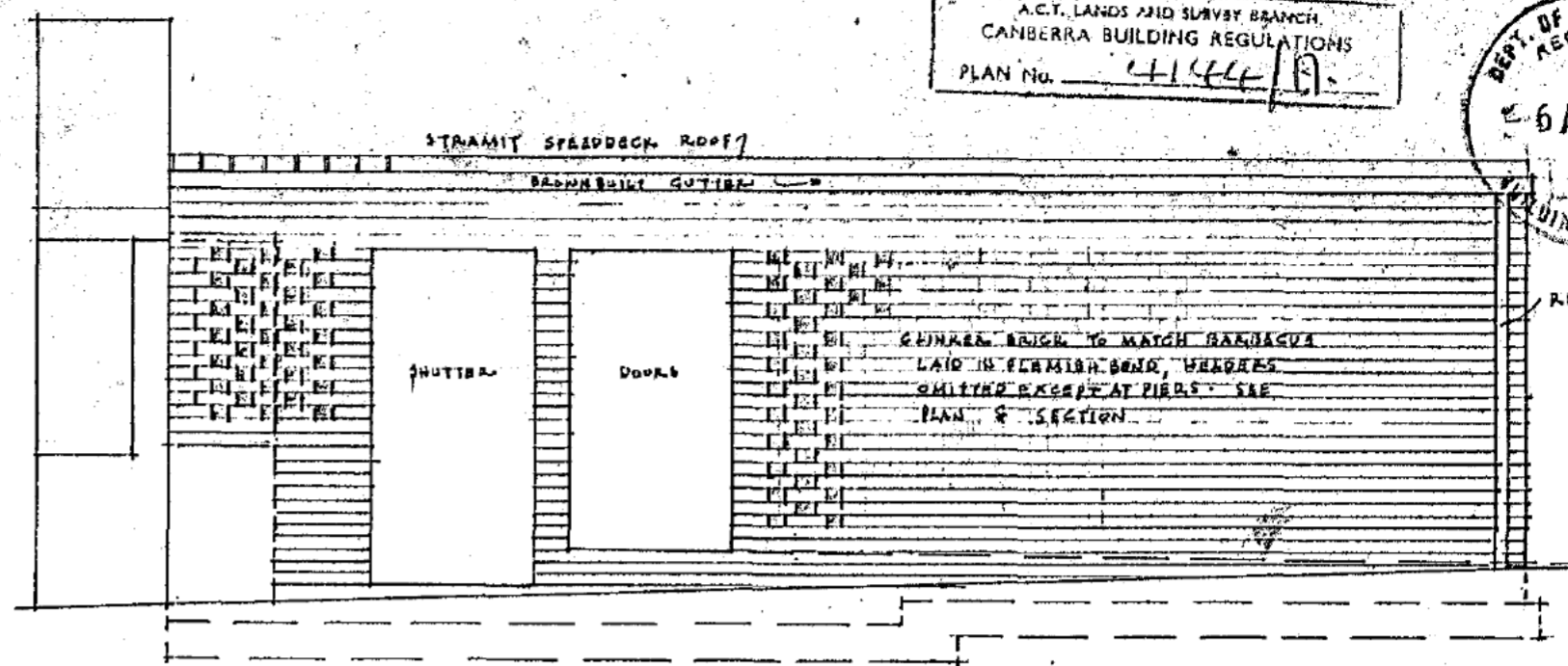
30' RIGHT OF WAY.
SITE PLAN SHOWING LOCATION OF NEW OUTBUILDING
ON BLOCK 3, SECTION 2, FORREST ACT. FOR Sch 2.2(a)(ii)
MOIR & SLATER ARCHITECTS MANUKA, ACT. SCALE: 40' 0" = 1"



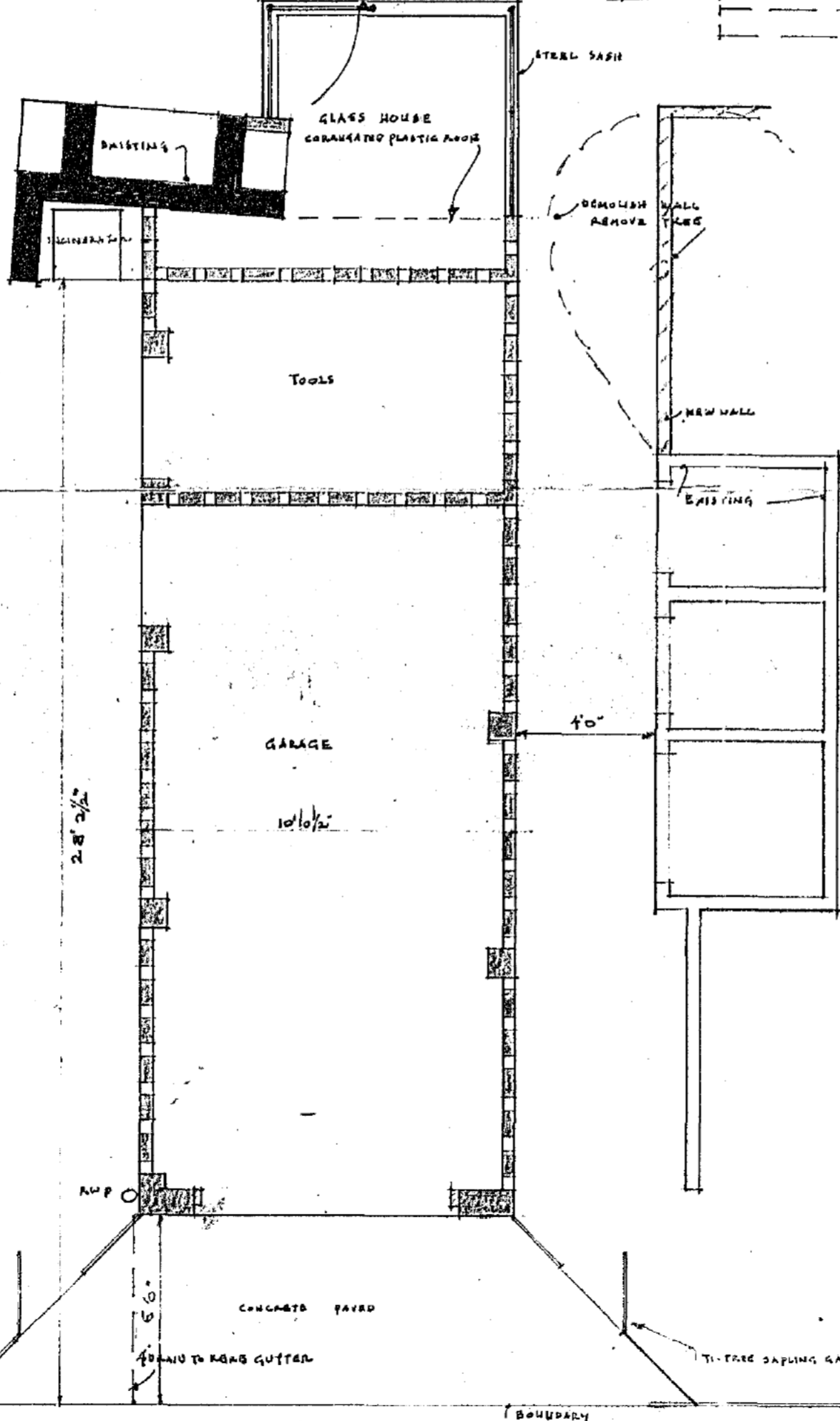
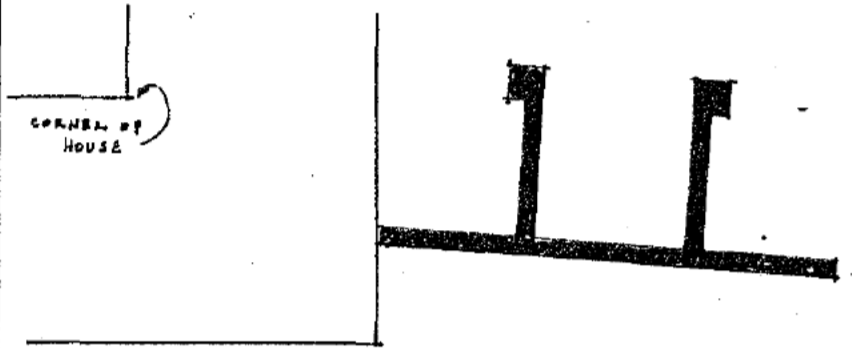
SECTION



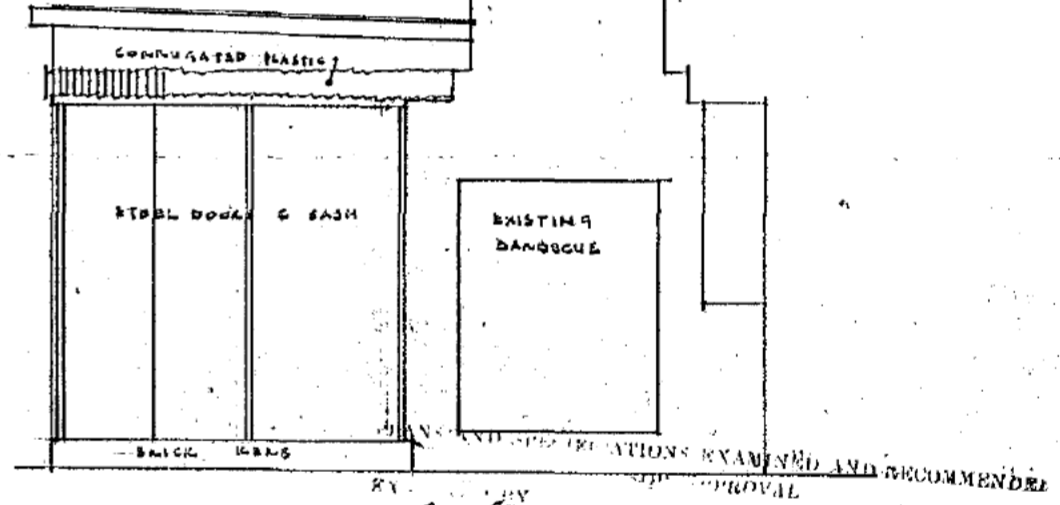
S.W. ELEVATION



N.W. ELEVATION



APPROVED BY NATIONAL CAPITAL DEVELOPMENT
 COMMISSION AS TO DESIGN AND SITING
 For and on behalf of the Commission
 14/5/64



N.E. ELEVATION
 N. E. ELEVATION
 CIVIL ENGINEER 19/5/1964

STRUCTURAL ENGINEER 1/19

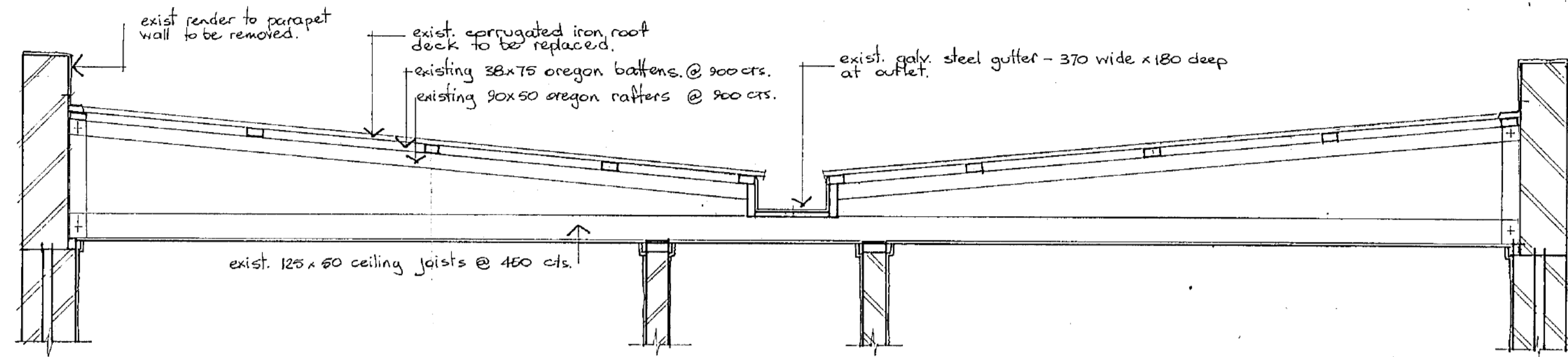
ARCHITECT AND VALUER 1/19

S. B. JAMES 25/5/1964
 SENIOR TECHNICAL OFFICER

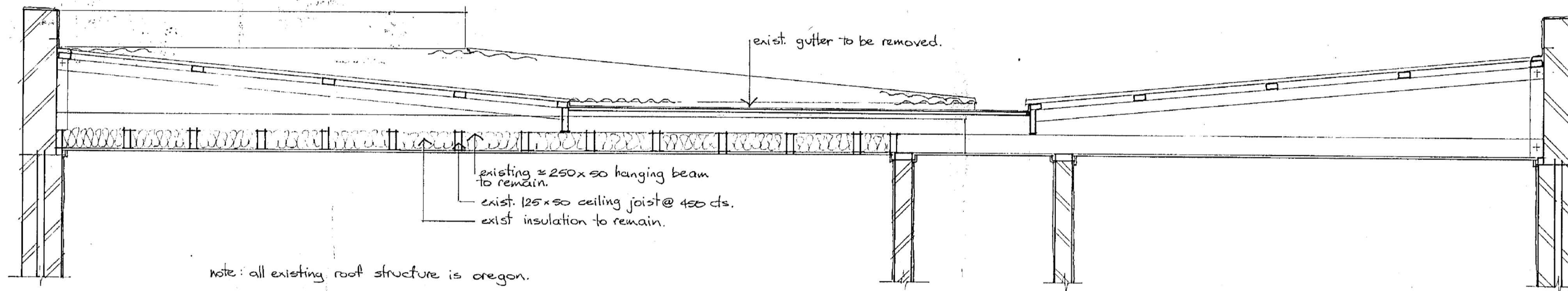
NEW OUTBUILDINGS BLOCK 3 SECTION 2
 FORREST A.C.T. FOR Sch 2.2(a)(ii)

SCALE: 1" = 4'0"

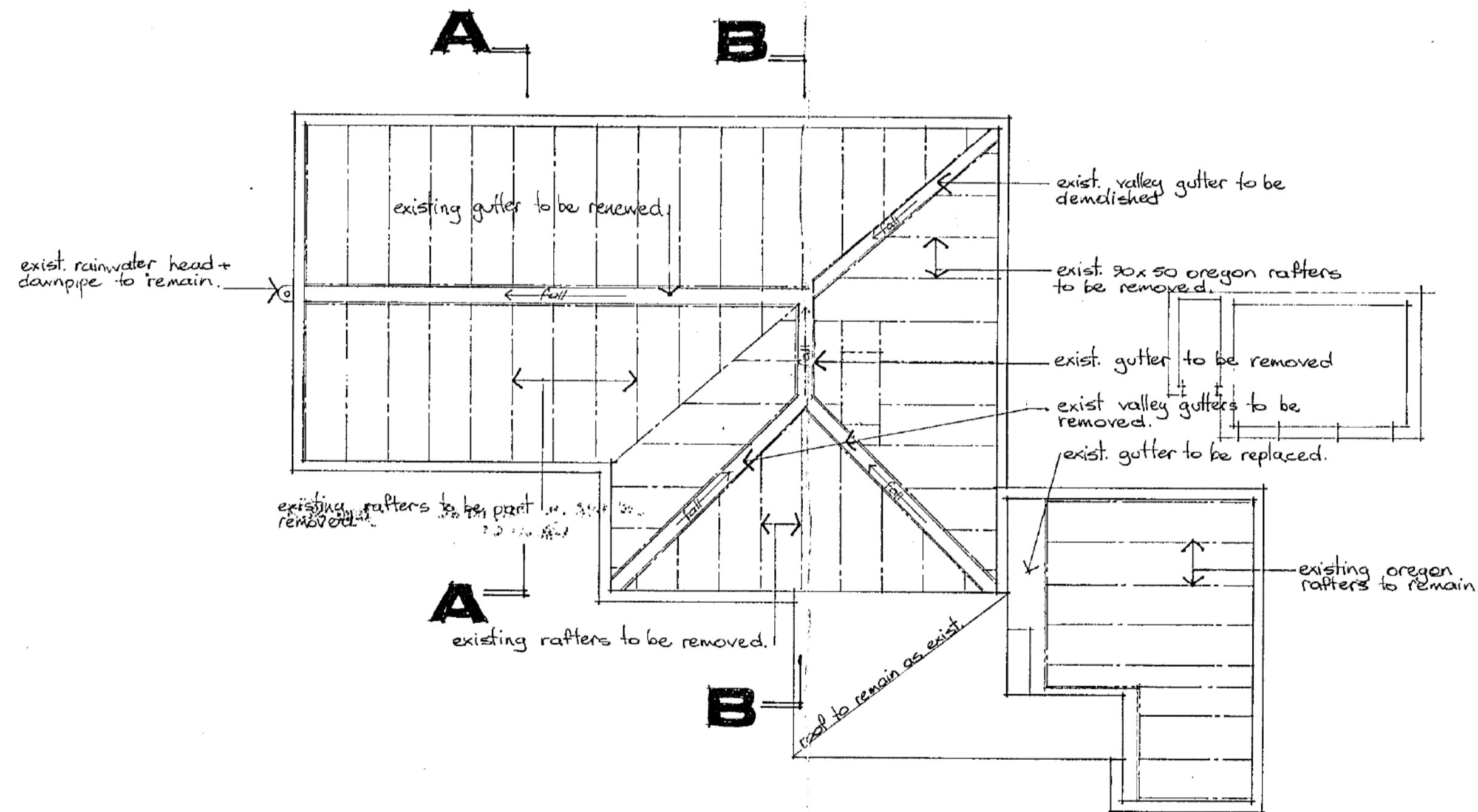
MOIR AND SLATER ARCHITECTS



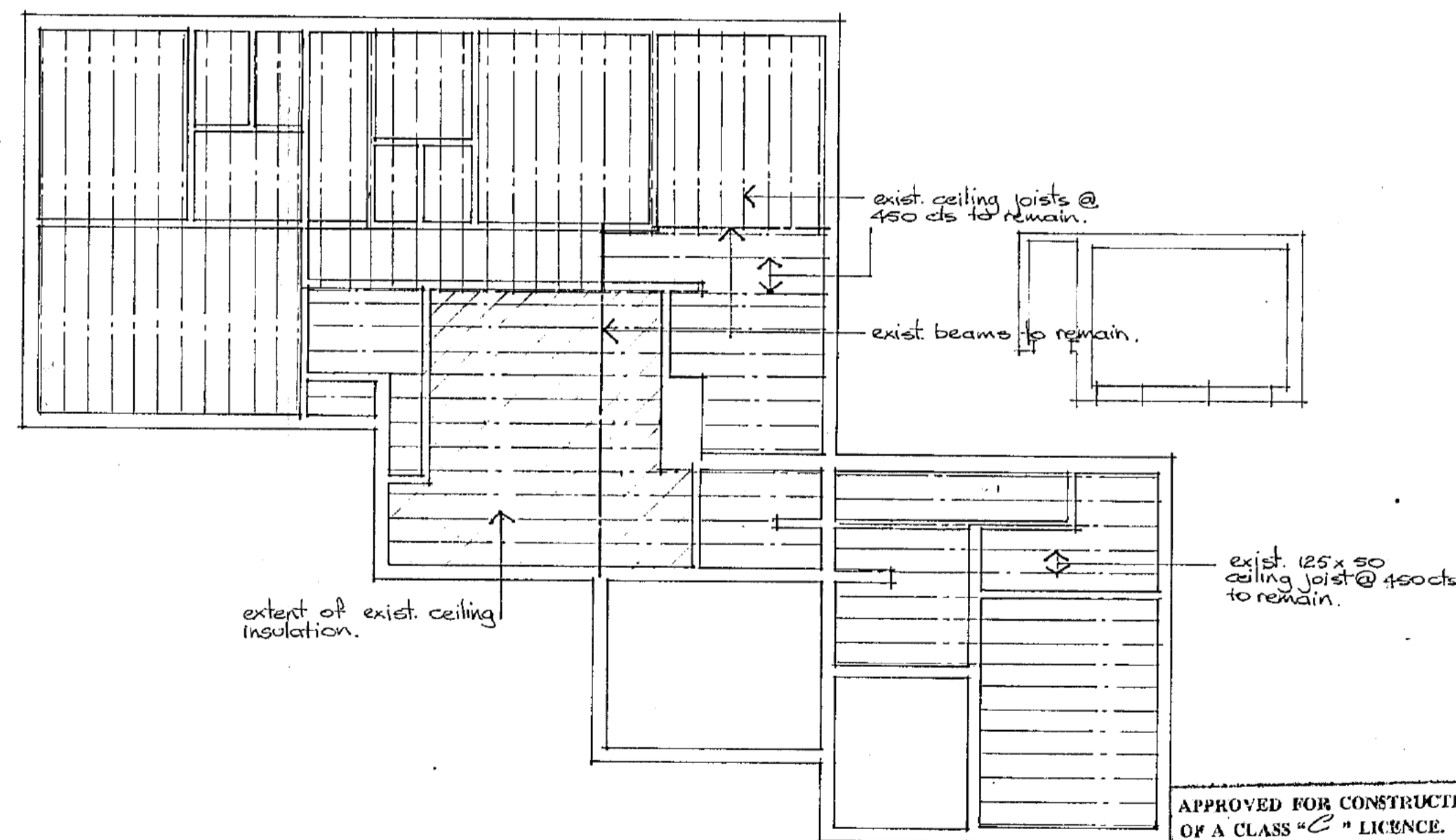
A SECTION 1:20



B SECTION 1:20



ROOF FRAMING PLAN 1:20



CEILING FRAMING PLAN 1:20

PLANS/TITLE No. 4114/15
 Received Building Section
 -7 AUG 1980
 Dept. of the Capital Territory

51/3

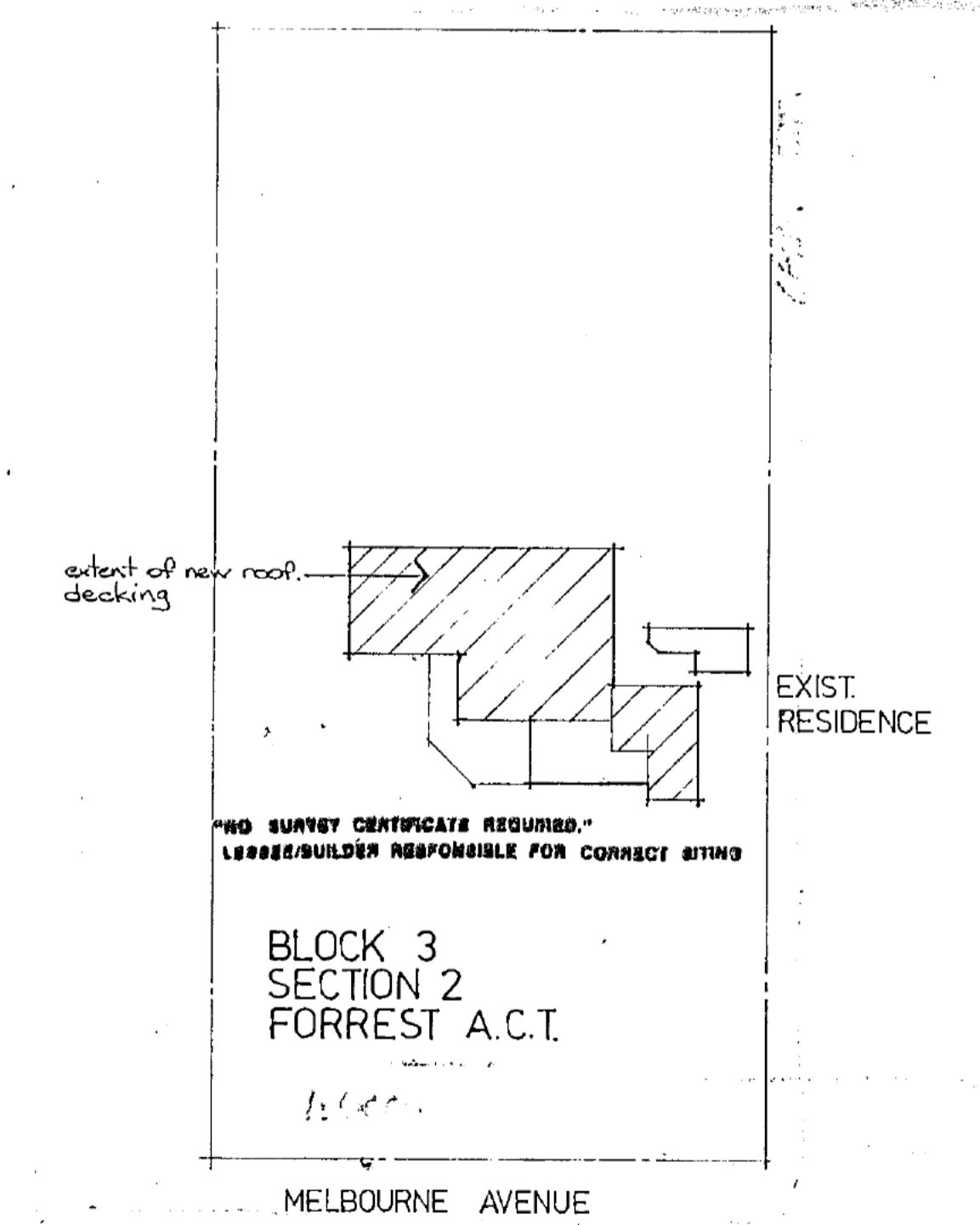
PLANS AND SPECIFICATIONS EXAMINED AND RECOMMENDED FOR APPROVAL BY

ENGINEER FOR WATER SUPPLY AND SEWERAGE / /19

CHIEF ELECTRICAL ENGINEER / /19

STRUCTURAL ENGINEER *K. J. J. J.* 26/8/1980

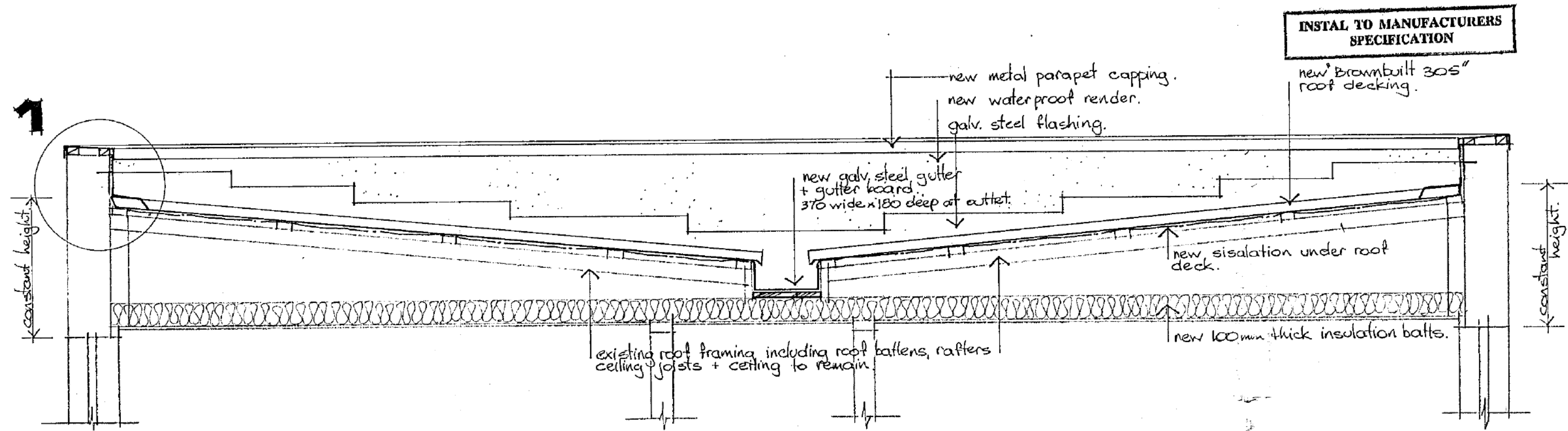
SENIOR TECHNICAL OFFICER / /19



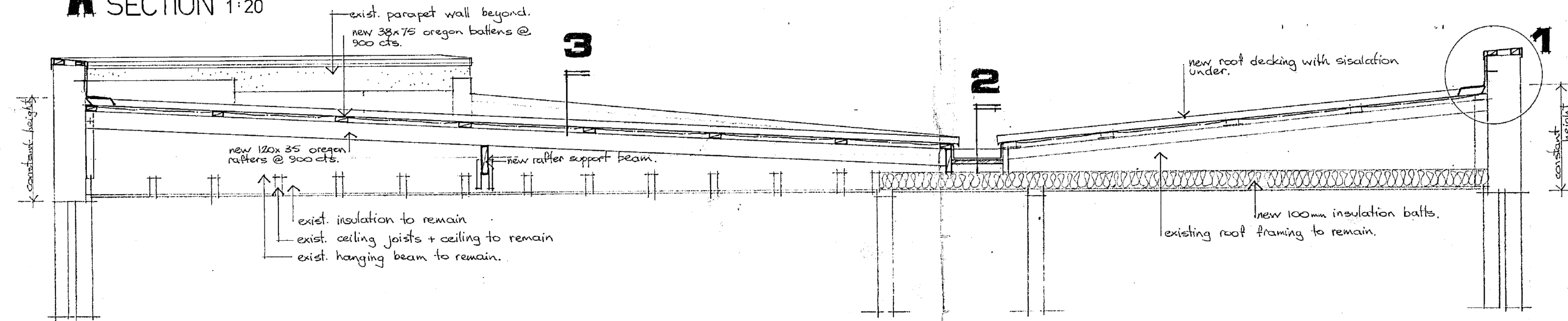
SITE PLAN

APPROVED FOR CONSTRUCTION BY THE HOLDER OF A CLASS "C" LICENCE.
 CLASS OF OCCUPANCY: RESIDENCE I
 OUTBUILDINGS X
M. J. J. J. 26-8-80
 DEPUTY BUILDING CONTROLLER

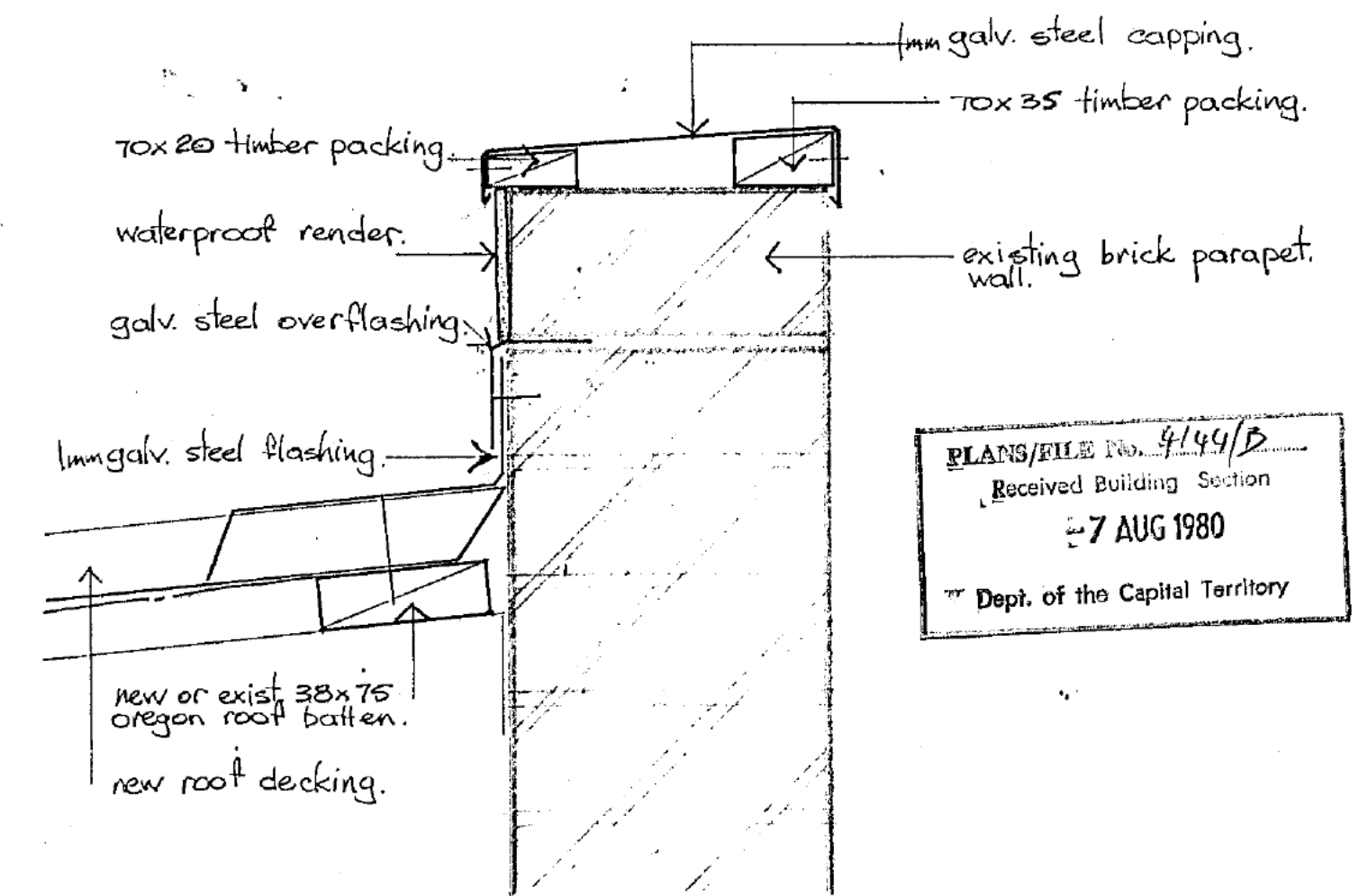
NOTES	LEGEND	REVISIONS	ALTERATION TO EXISTING RESIDENCE OF Sch 2.2(a)(ii) 43 MELBOURNE AVE FORREST EXISTING CONDITIONS
WORK SHALL CONFORM ALSO TO THE SPECIFICATIONS, OTHER DRAWINGS, JOB DIMENSIONS AND ALSO TO ALL REQUIREMENTS OF THE BUILDER. ANY SHOP DRAWINGS NECESSARY FOR THIS WORK SHALL BE SUBMITTED TO THE ARCHITECTS AND SIGNED BY THEM BEFORE WORK IS COMMENCED.			DRAWN BY: Pc DATE: 26-8-80 SCALE: 1:100 1:20 JOB No: 8041 DWG. No: 1 LEITH & BARTLETT PTY. LTD. ARCHITECTS, ENGINEERS, PLANNERS 217 NORTHBOURNE AVE., TURNER, A.C.T., 2601. TELEPHONE: 49 6077.



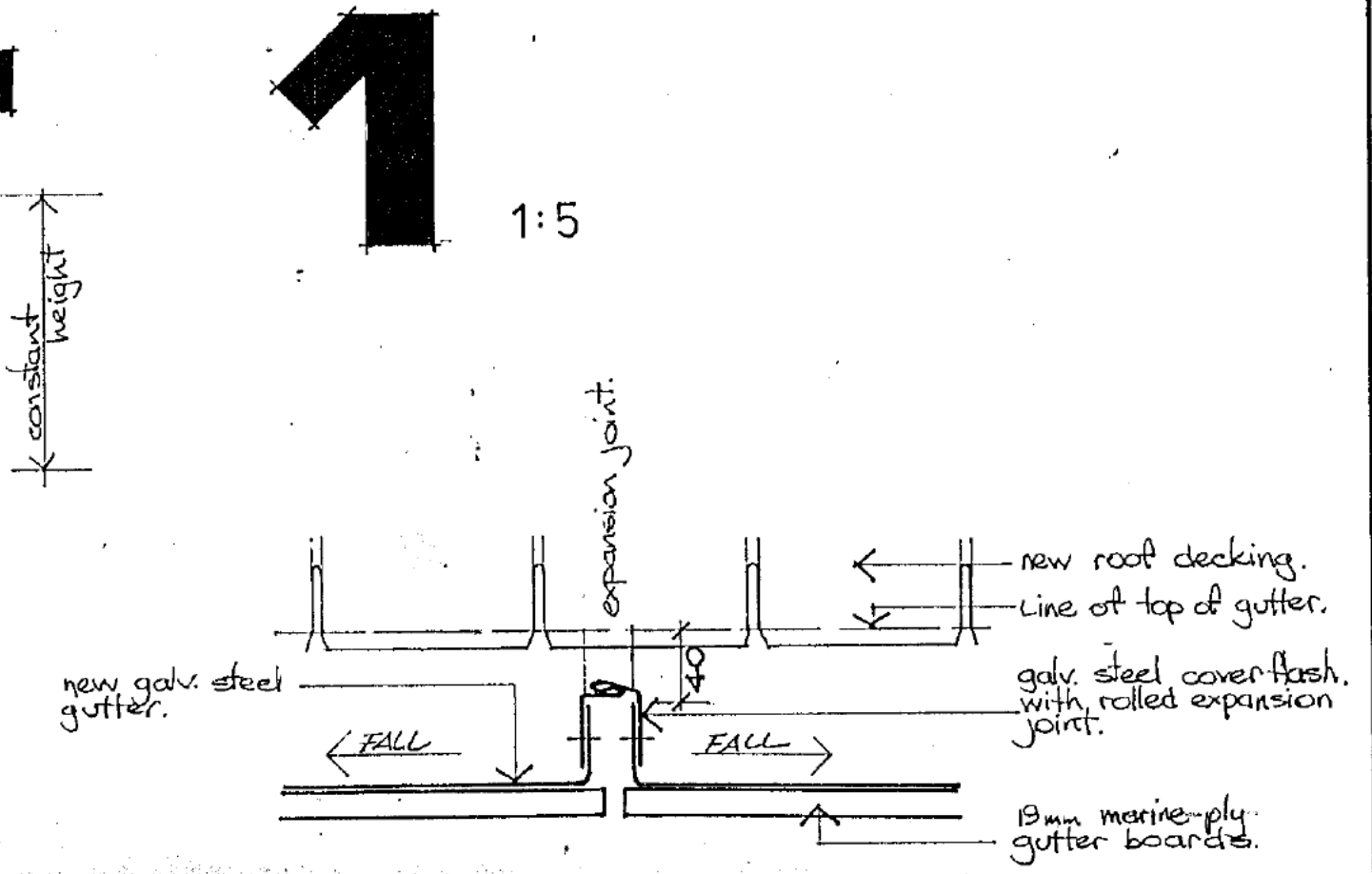
A SECTION 1:20



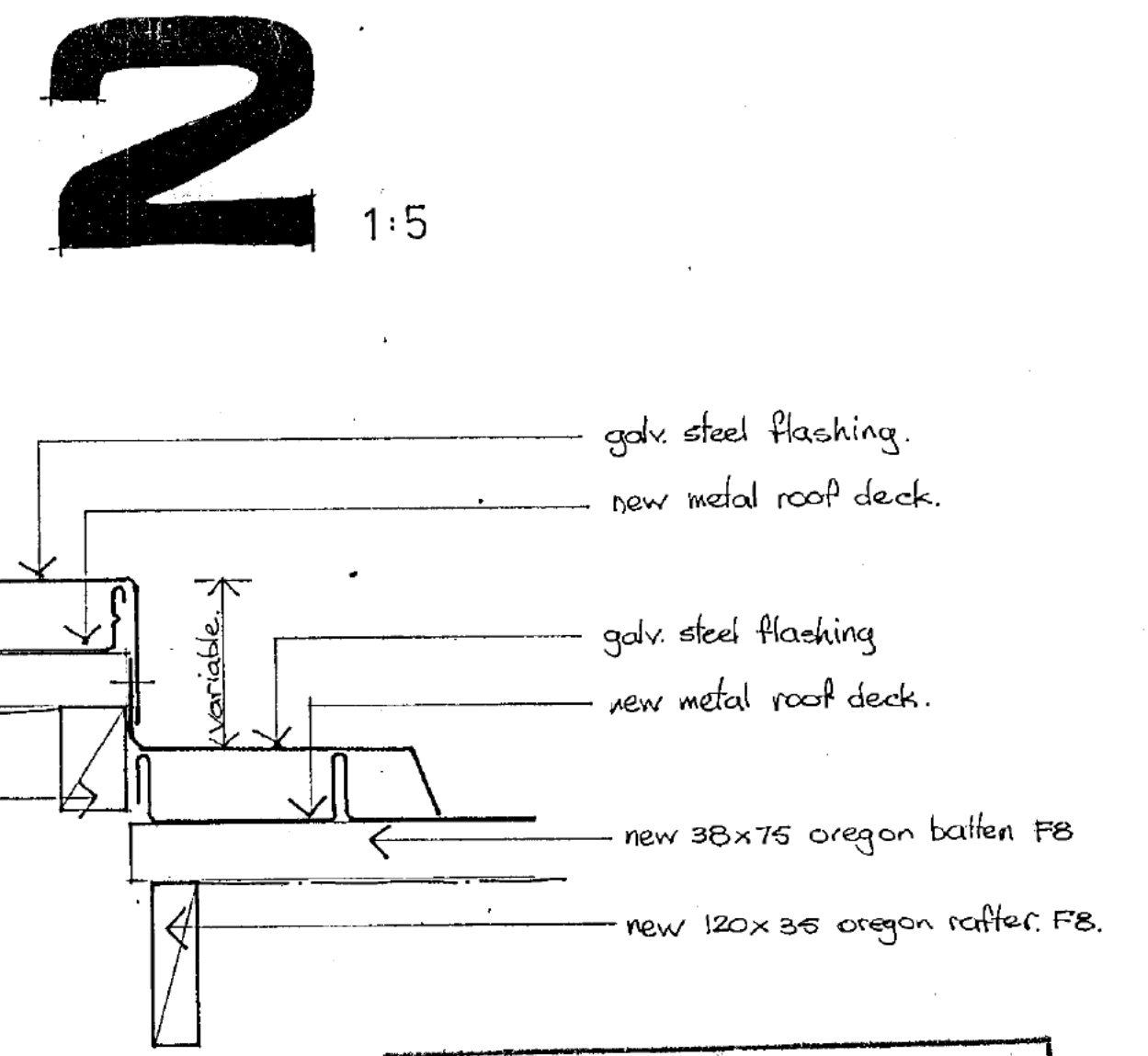
B SECTION 1:20



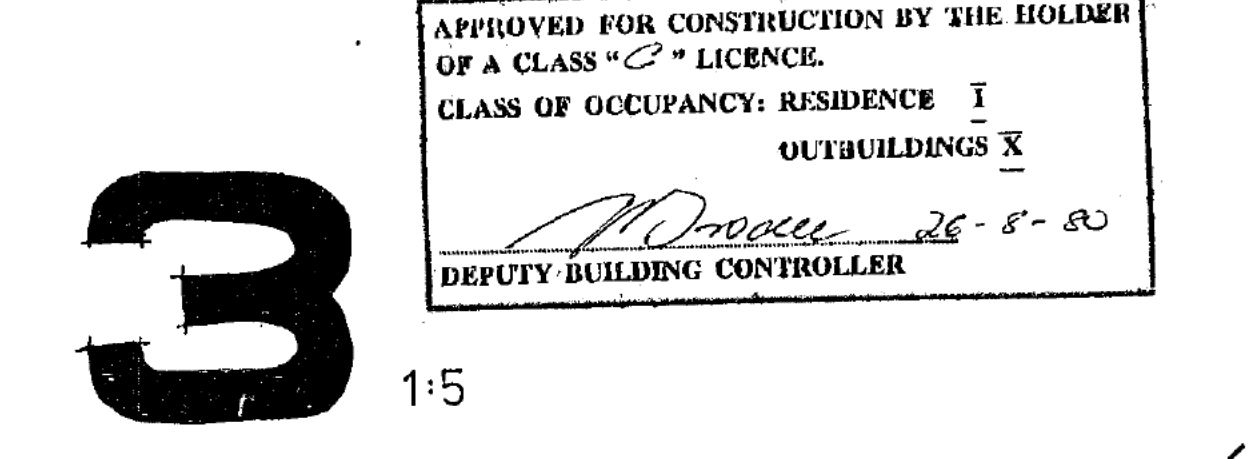
PLANS/FILE No. 4144/B
Received Building Section
7 AUG 1980
Dept. of the Capital Territory



1 1:5

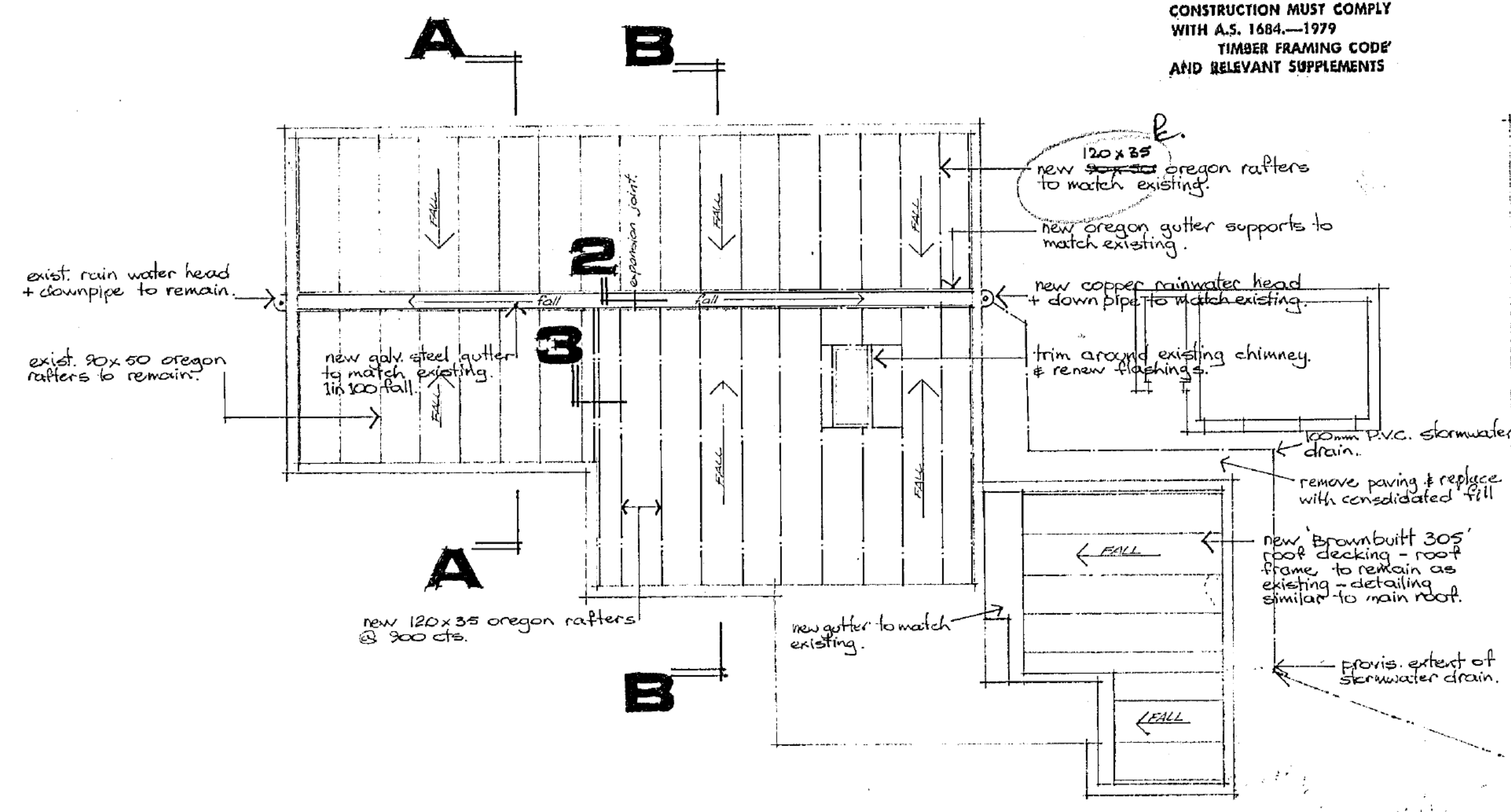


2 1:5

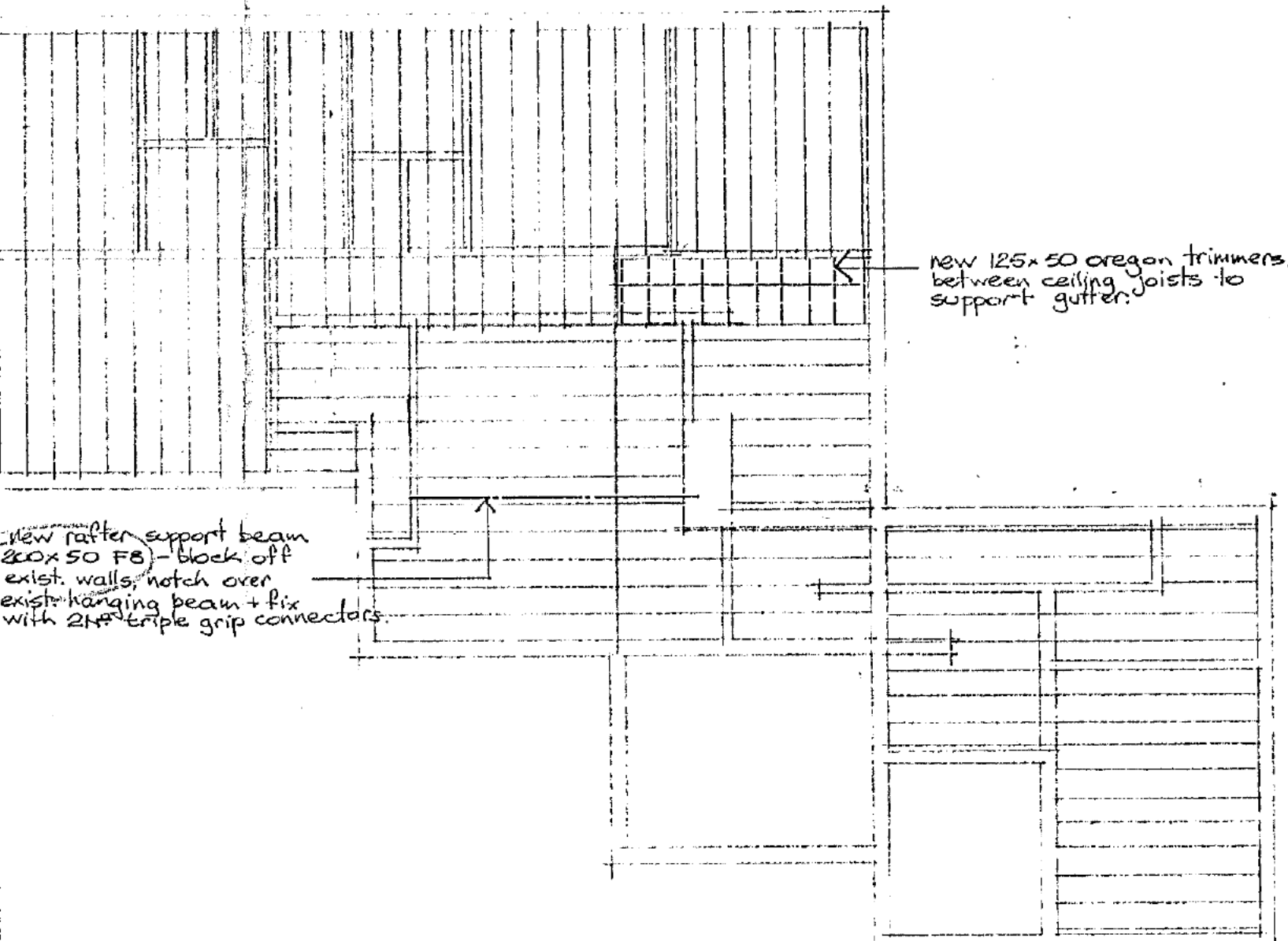


3 1:5

CONSTRUCTION MUST COMPLY WITH A.S. 1684-1979 TIMBER FRAMING CODE AND RELEVANT SUPPLEMENTS



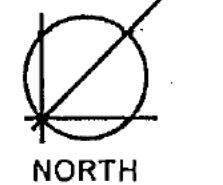
ROOF FRAMING PLAN 1:100

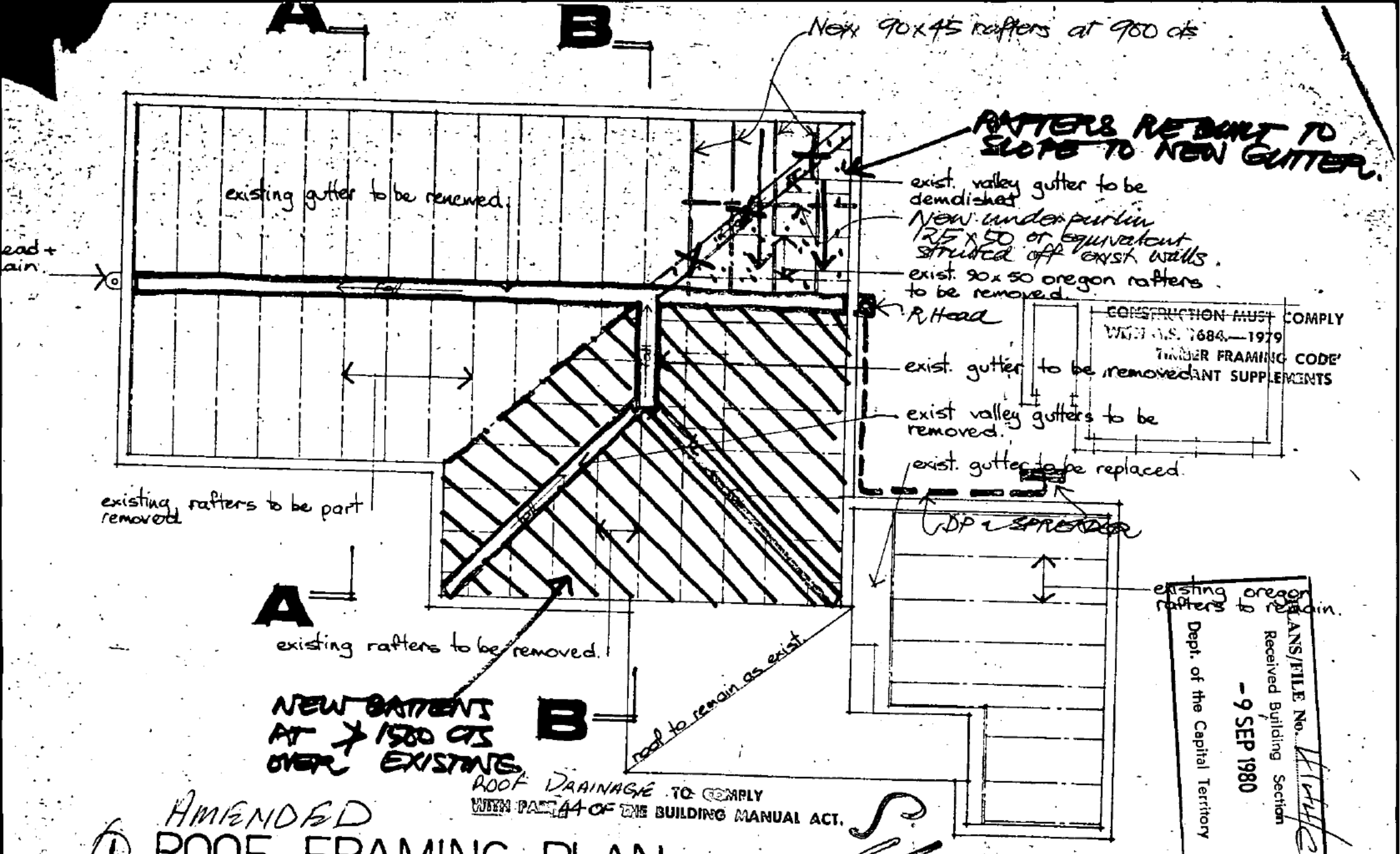


CEILING FRAMING PLAN 1:100

APPROVED FOR CONSTRUCTION BY THE HOLDER OF A CLASS "C" LICENCE.
CLASS OF OCCUPANCY: RESIDENCE I OUTBUILDINGS X
M. J. ... 26-8-80
DEPUTY BUILDING CONTROLLER

NOTES	LEGEND	REVISIONS	ALTERATION TO EXISTING RESIDENCE OF Sch 2.2(a)(ii) 43 MELBOURNE AVE FORREST			
WORK SHALL CONFORM ALSO TO THE SPECIFICATIONS, OTHER DRAWINGS, JOB DIMENSIONS AND ALSO TO ALL REQUIREMENTS OF THE BUILDER. ANY SHOP DRAWINGS NECESSARY FOR THIS WORK SHALL BE SUBMITTED TO THE ARCHITECTS AND SIGNED BY THEM BEFORE WORK IS COMMENCED.			WORKING DRAWING - NEW ROOFING			
			DRAWN BY PC	DATE AUG 80	SCALE 1:100 1:20 1:5	JOB No. 804
			LEITH & BARTLETT PTY. LTD. ARCHITECTS, ENGINEERS, PLANNERS 217 NORTHBOURNE AVE., TURNER, A.C.T., 2601.			DWG No. 2
			TELEPHONE: 49 8077.			



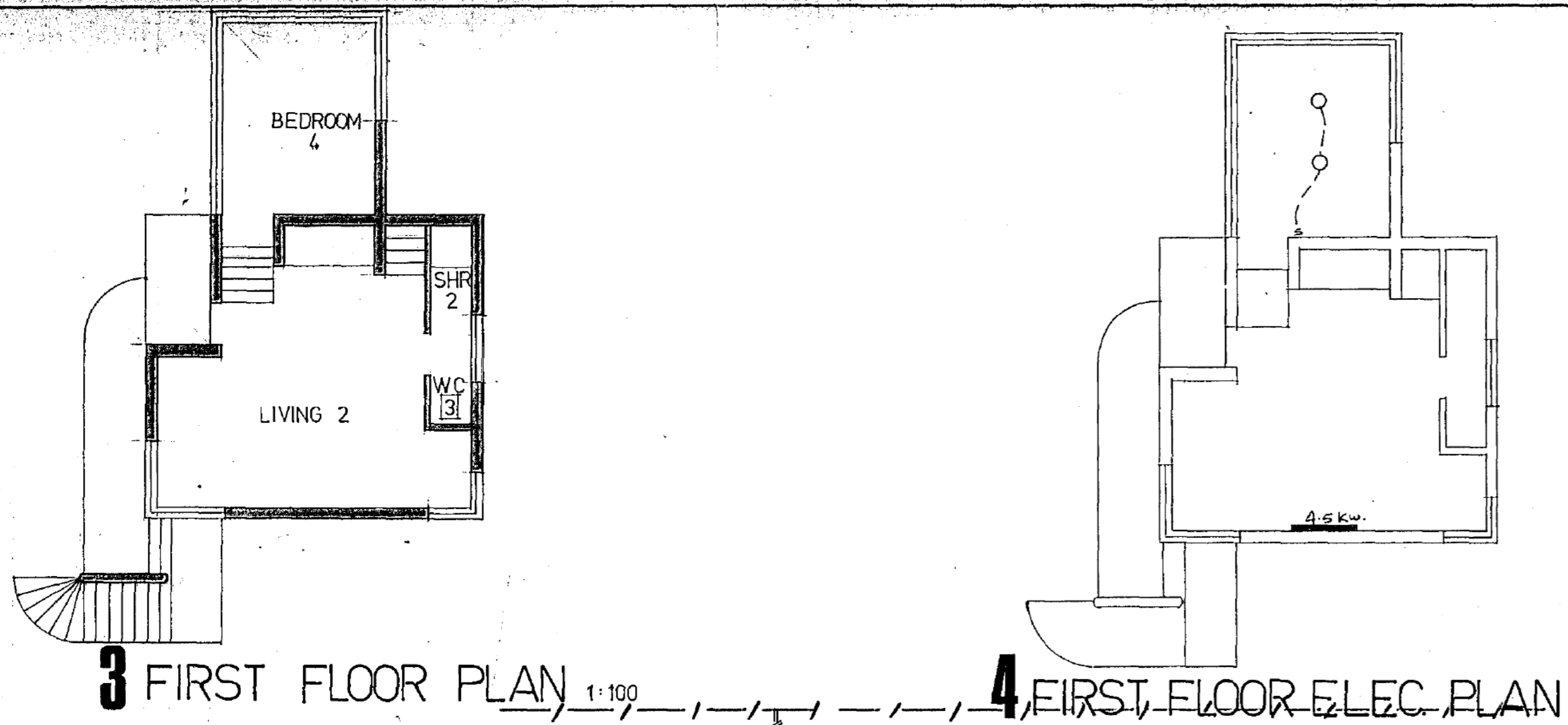


AMENDED ROOF FRAMING PLAN 1:20

LEITH BARTLETT AND PARTNERS PTY. LTD.
 Architects, Engineers, Planners
 40 Mort Street, Braddon, A.C.T. 2601

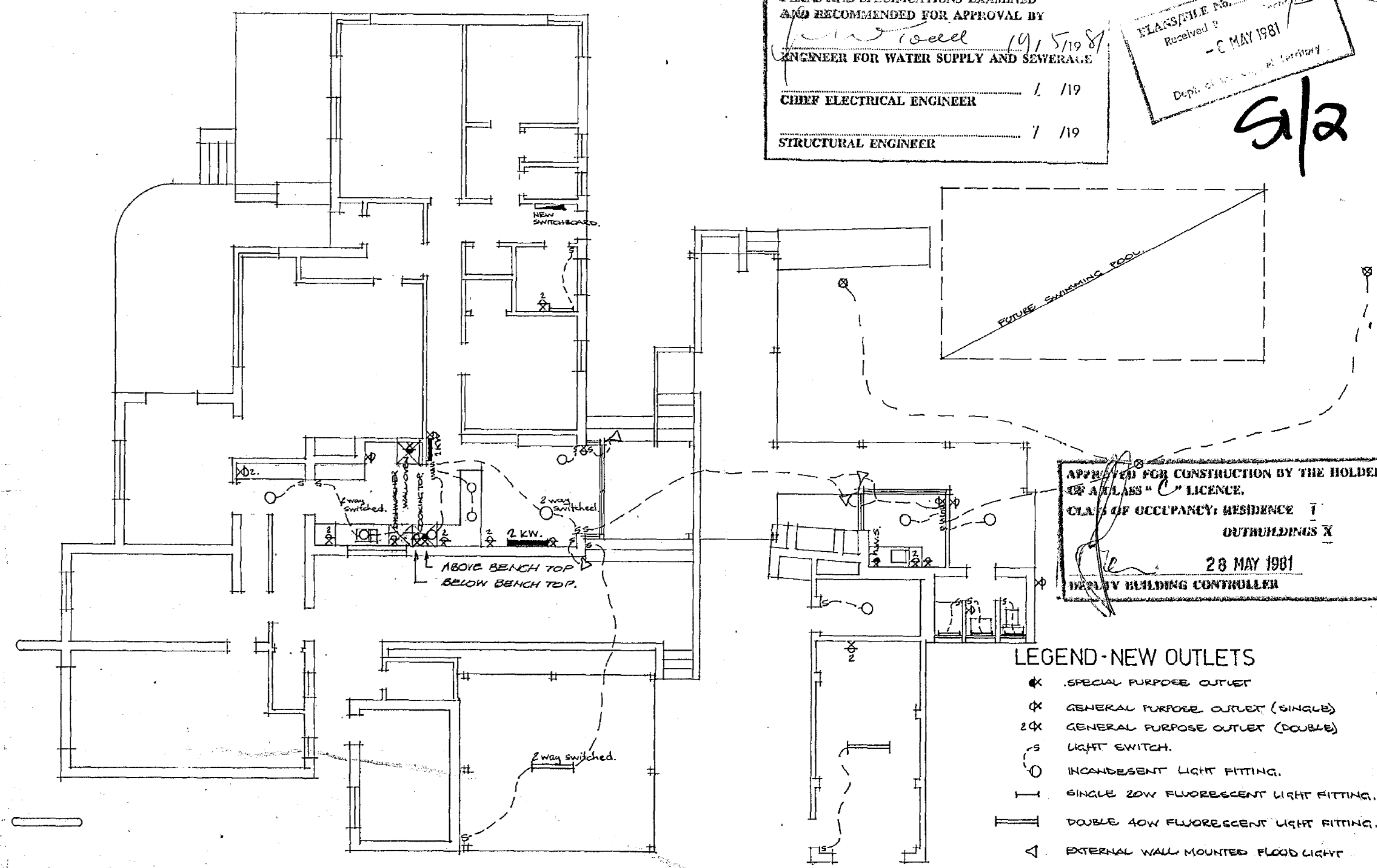
Sch 2.2(a)(ii) RESIDENCE
 BL 3 SECT 2
 FORREST.

TRANS/FILE No. *11/11/80*
 Received Building Section
 - 9 SEP 1980
 Dept. of the Capital Territory

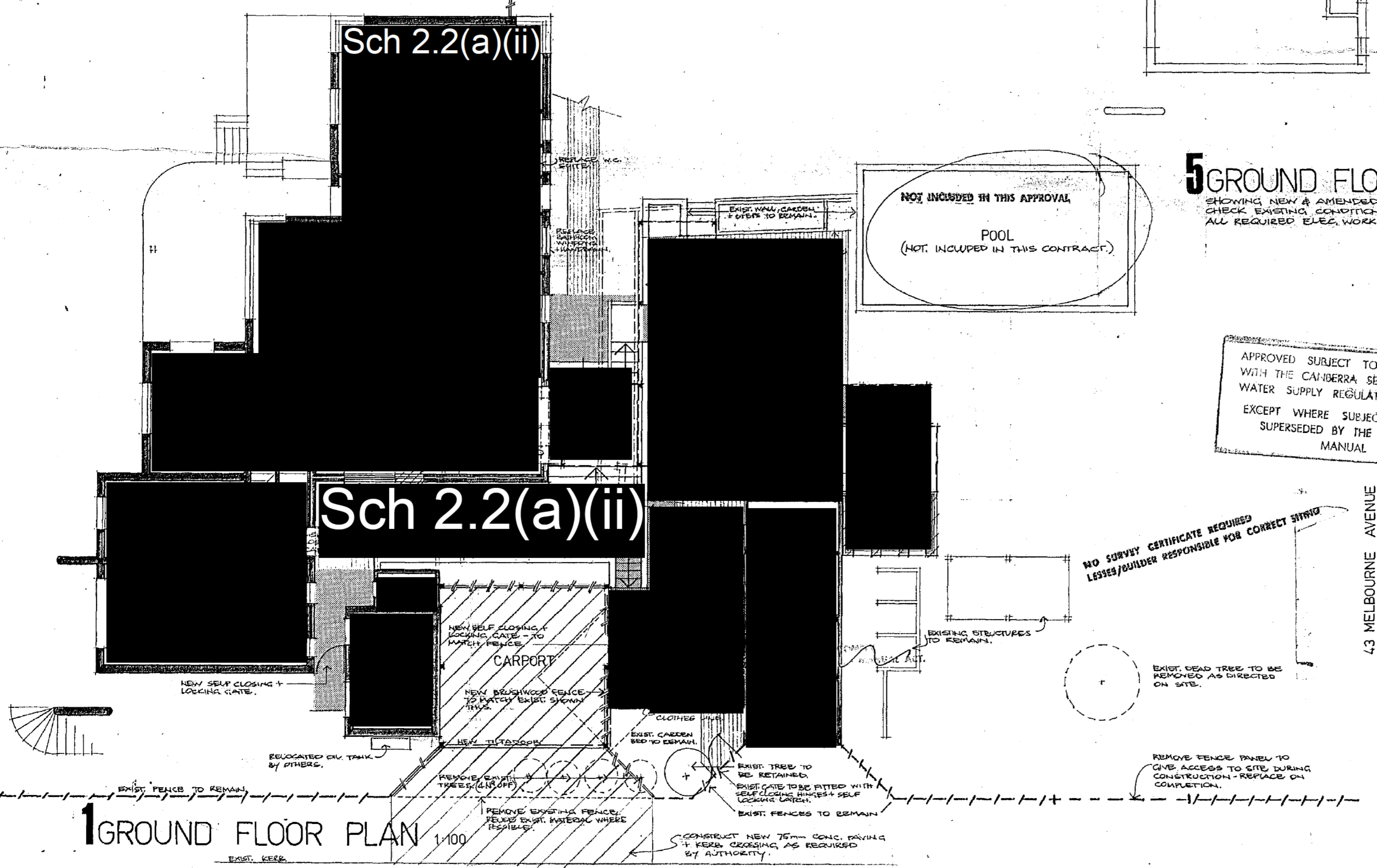


PLANS AND SPECIFICATIONS EXAMINED AND RECOMMENDED FOR APPROVAL BY
W. J. O'Connell 10/5/1981
 ENGINEER FOR WATER SUPPLY AND SEWERAGE
 CHIEF ELECTRICAL ENGINEER 1/19
 STRUCTURAL ENGINEER 7/19

PLANS/FILE NO. *10/5/1981*
 Received by
 - C. MAY 1981
 Dupl. of the original submitted
S/A



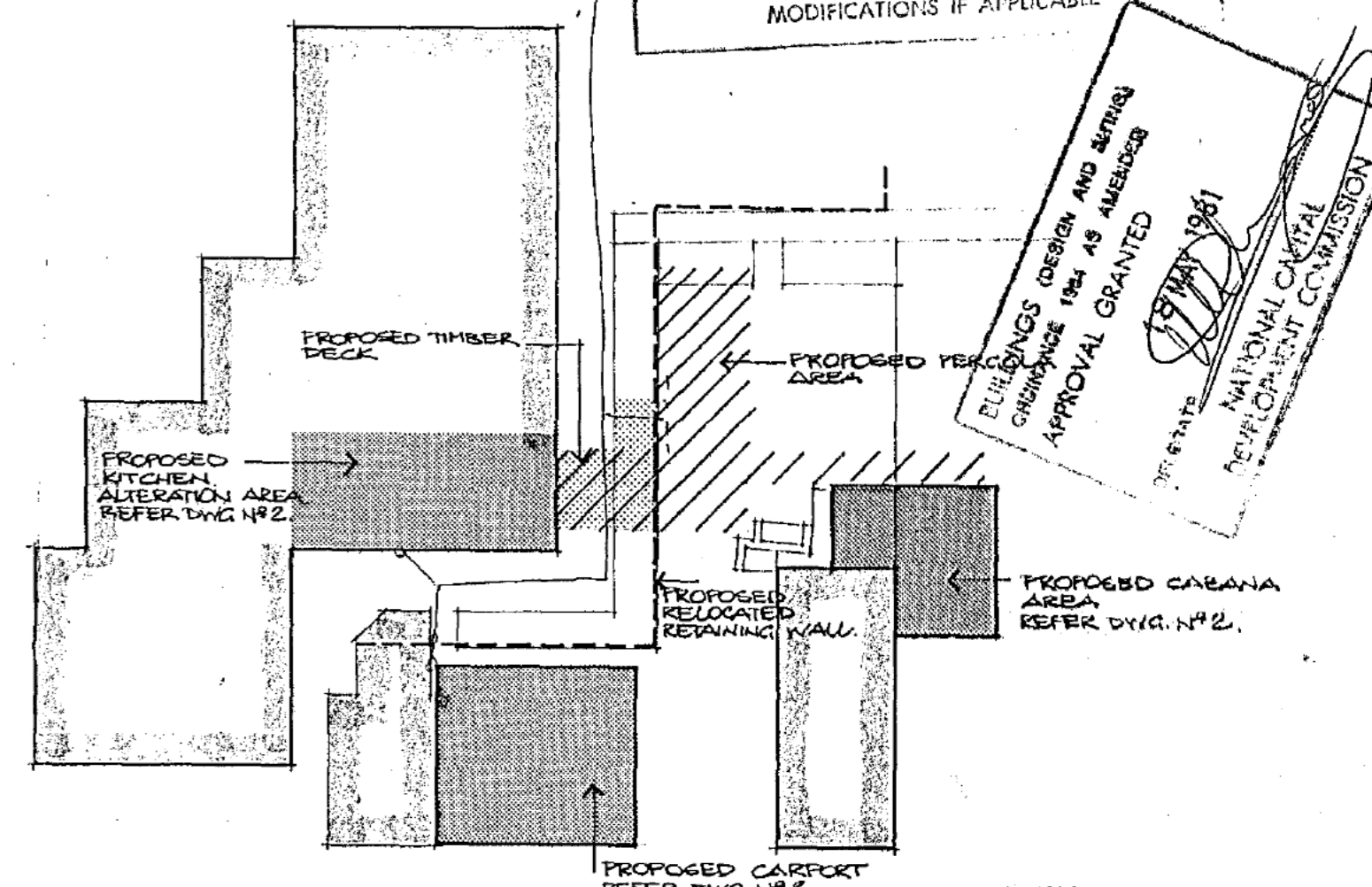
APPROVED FOR CONSTRUCTION BY THE HOLDER OF A CLASS 'C' LICENCE.
 CLASS OF OCCUPANCY: RESIDENCE 1
 OUTBUILDINGS X
 28 MAY 1981
 DEPUTY BUILDING CONTROLLER



5 GROUND FLOOR ELEC. PLAN
 SHOWING NEW & AMENDED LIGHT & POWER OUTLETS ONLY.
 CHECK EXISTING CONDITIONS ON SITE & ALLOW FULLY FOR ALL REQUIRED ELEC. WORK SEE SPECIFICATION.

APPROVED SUBJECT TO COMPLIANCE WITH THE CANTERBURY SEWERAGE AND WATER SUPPLY REGULATIONS, EXCEPT WHERE SUBJECT TO AND SUPERSEDED BY THE BUILDING MANUAL

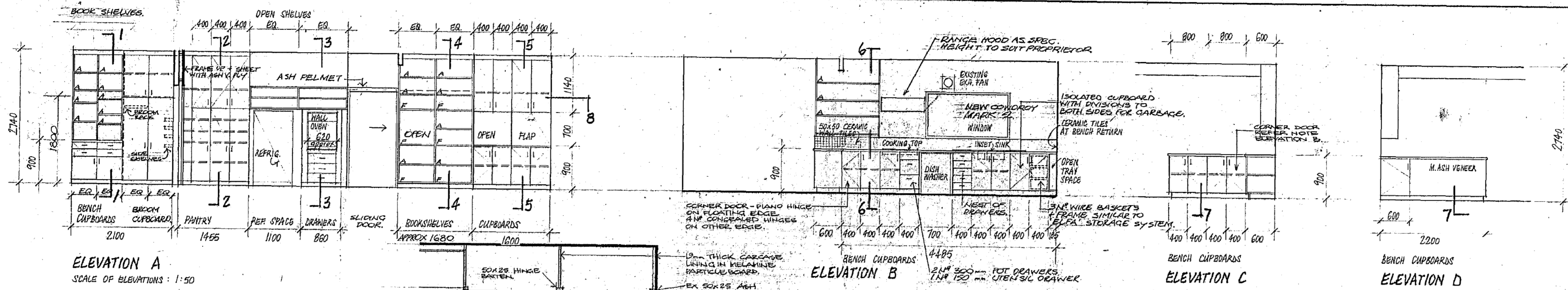
WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS MADE BY THE CANTERBURY SEWERAGE AND WATER SUPPLY BOARD ON THE 15th DAY OF FEBRUARY 1981. THE OWNER OF THE LAND SHALL BE RESPONSIBLE FOR THE COST OF ANY OTHER WORK IN THE RESERVE, AND SHALL AUTHORISE THE USE OF THE LAND IN ANY TO A PROVISION, COVENANT OR CONDITION OF LEASE.
 MODIFICATIONS IF APPLICABLE



BUILDINGS DESIGN AND SITING CHANGES 1981 AS AMENDED APPROVAL GRANTED
 27 MAY 1981
 NATIONAL CAPITAL DEVELOPMENT COMMISSION

NOTES	LEGEND	REVISIONS
WORK SHALL CONFORM ALSO TO THE SPECIFICATIONS, OTHER DRAWINGS, JOB DIMENSIONS AND ALSO TO ALL REQUIREMENTS OF THE BUILDER, ANY SHOP DRAWINGS NECESSARY FOR THIS WORK SHALL BE SUBMITTED TO THE ARCHITECTS AND SIGNED BY THEM BEFORE WORK IS COMMENCED.	NEW STORMWATER LINE EXISTING STORMWATER MAIN EXISTING SEWER MAIN EXISTING WATER MAIN HOSECOCK ROTARY CLOTHES HOIST FOLDING CLOTHES HOIST	PALING FENCE DITTO, STAINED, LAPPED & CAPPED WIRE MESH FENCE HORIZONTAL RAIL FENCE VERTICAL BATTEN FENCE METAL PANEL FENCE MASONRY FENCE WITH PIERS DITTO, DOUBLE THICKNESS

ADDITIONS + ALTERATIONS TO RESIDENCE FOR Sch 2.2(a)(ii) 43 MELBOURNE AVE. BLOCK 3 SECTION 2 FORREST	DEMOLITION / EXTENT OF WORKS, SITE PLANS
DRAWN BY: _____ DATE: _____ SCALE: _____ JOB No.: _____ DWG. No.: 1	LEITH & BARTLETT PTY. LTD. ARCHITECTS, ENGINEERS, PLANNERS 217 NORTHBOURNE AVE., TURNER, A.C.T., 2601. TELEPHONE: 49 6077.



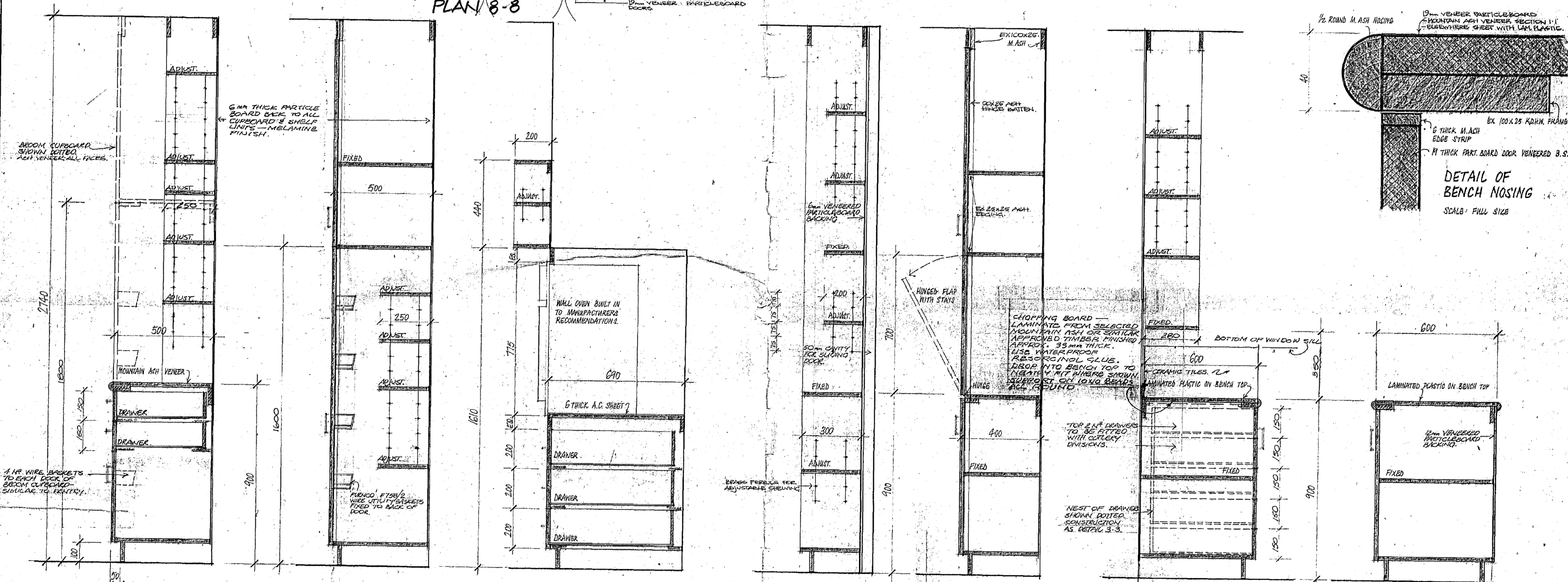
ELEVATION A
 SCALE OF ELEVATIONS: 1:50

ELEVATION B

ELEVATION C

ELEVATION D

PLAN 8-8



SECTION 1-1
 SCALE OF SECTIONS: 1:10

2-2

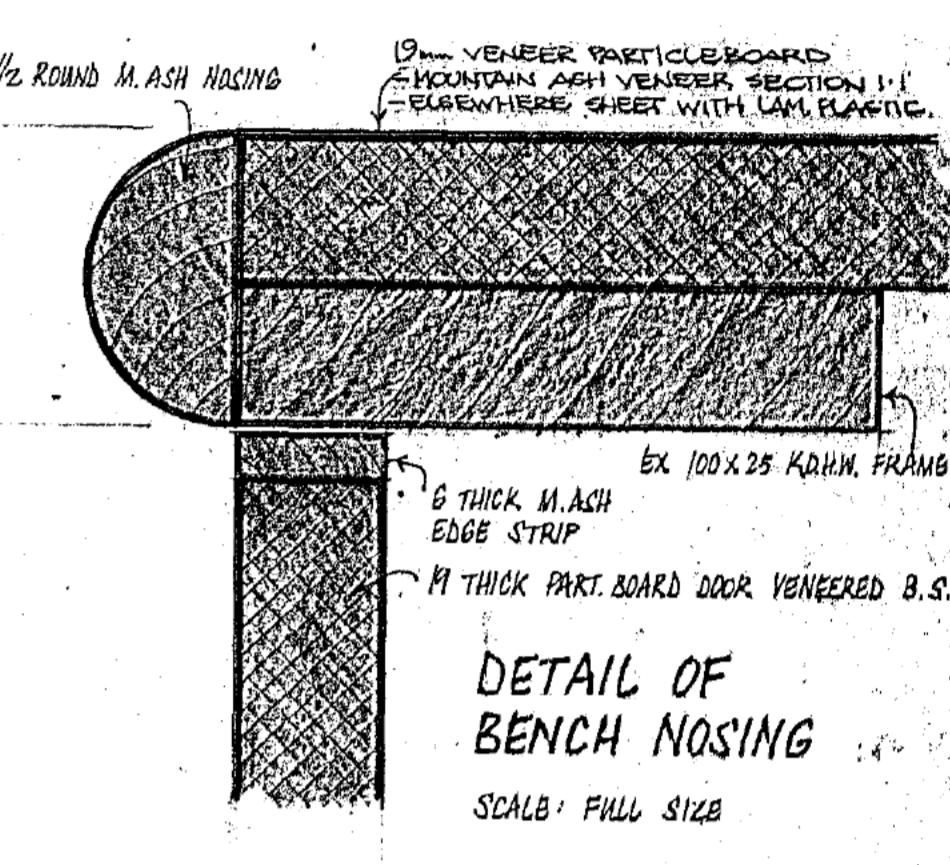
3-3

4-4

5-5

6-6

7-7



DETAIL OF BENCH NOSING
 SCALE: FULL SIZE

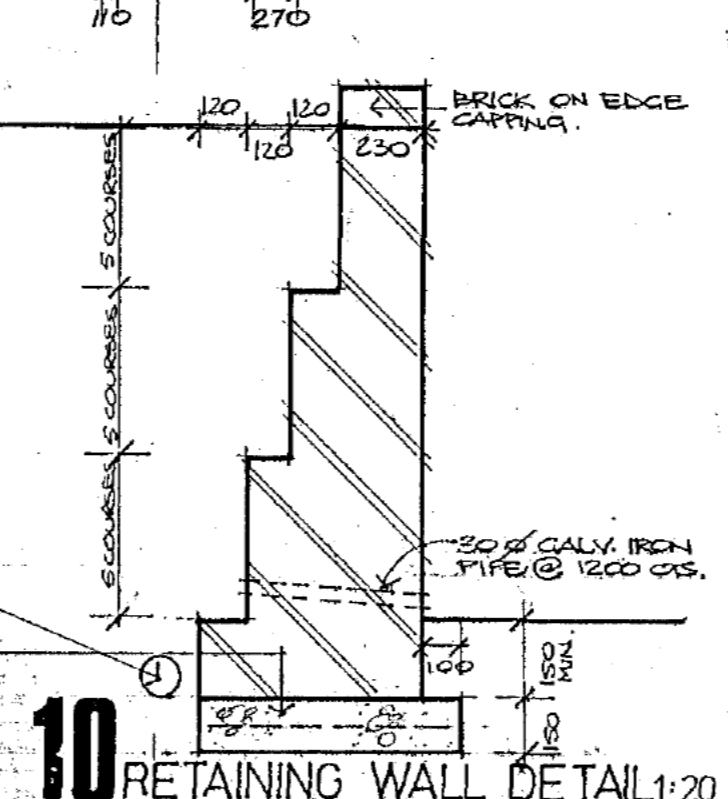
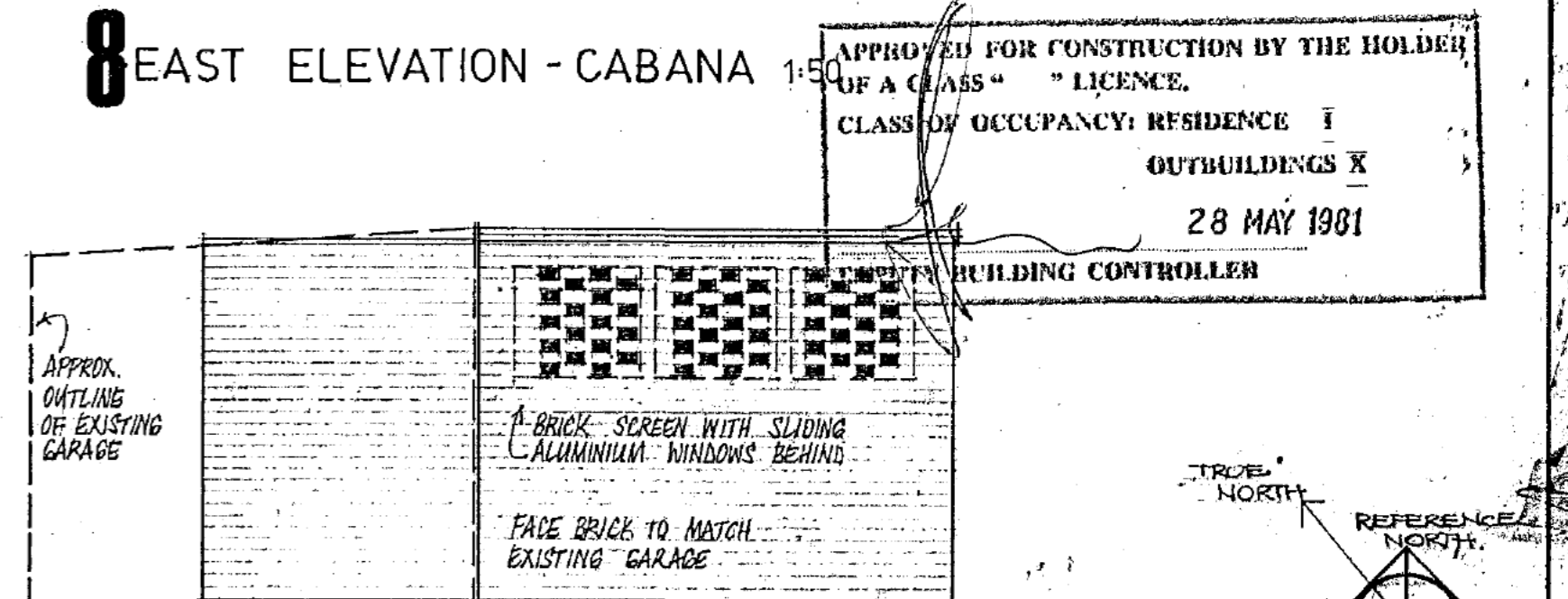
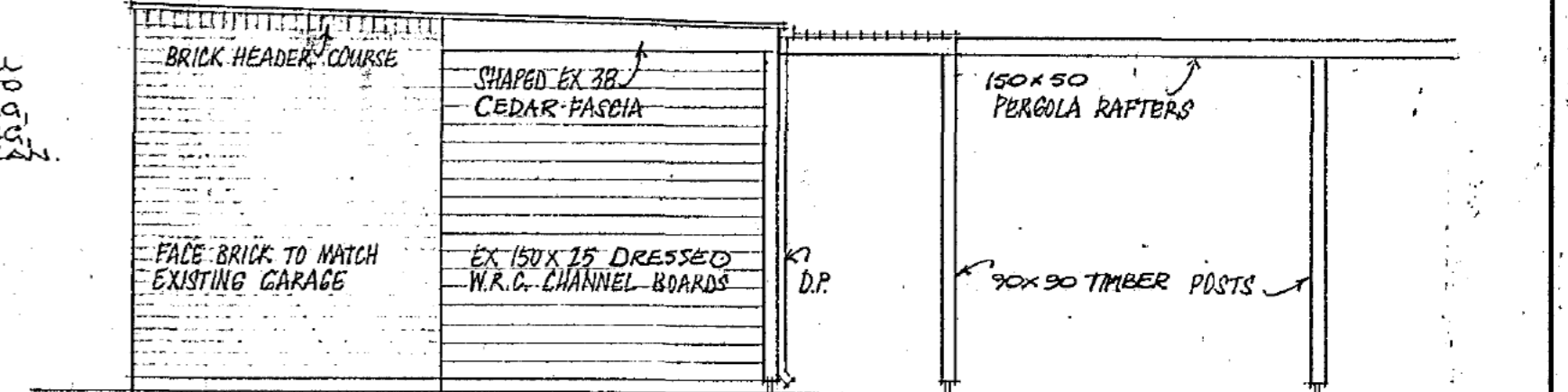
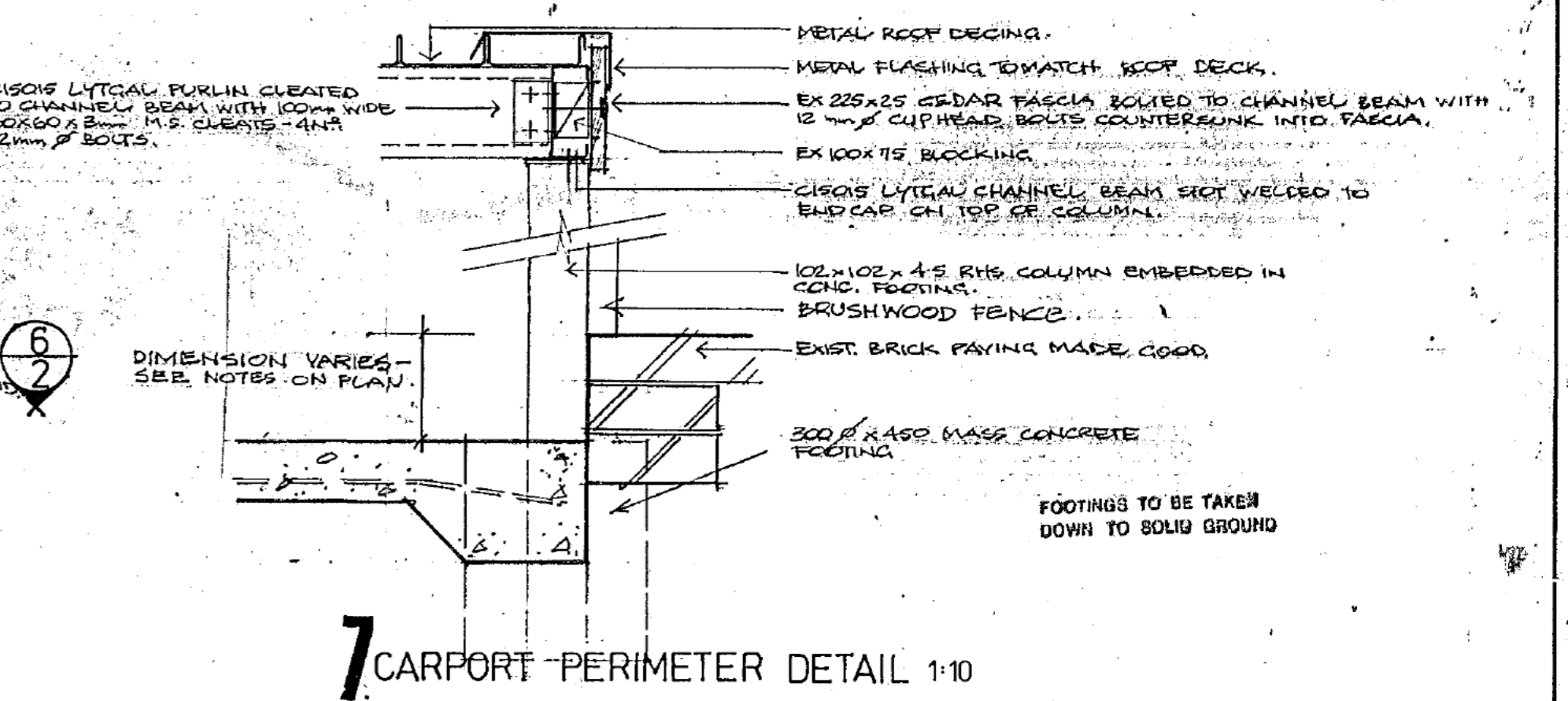
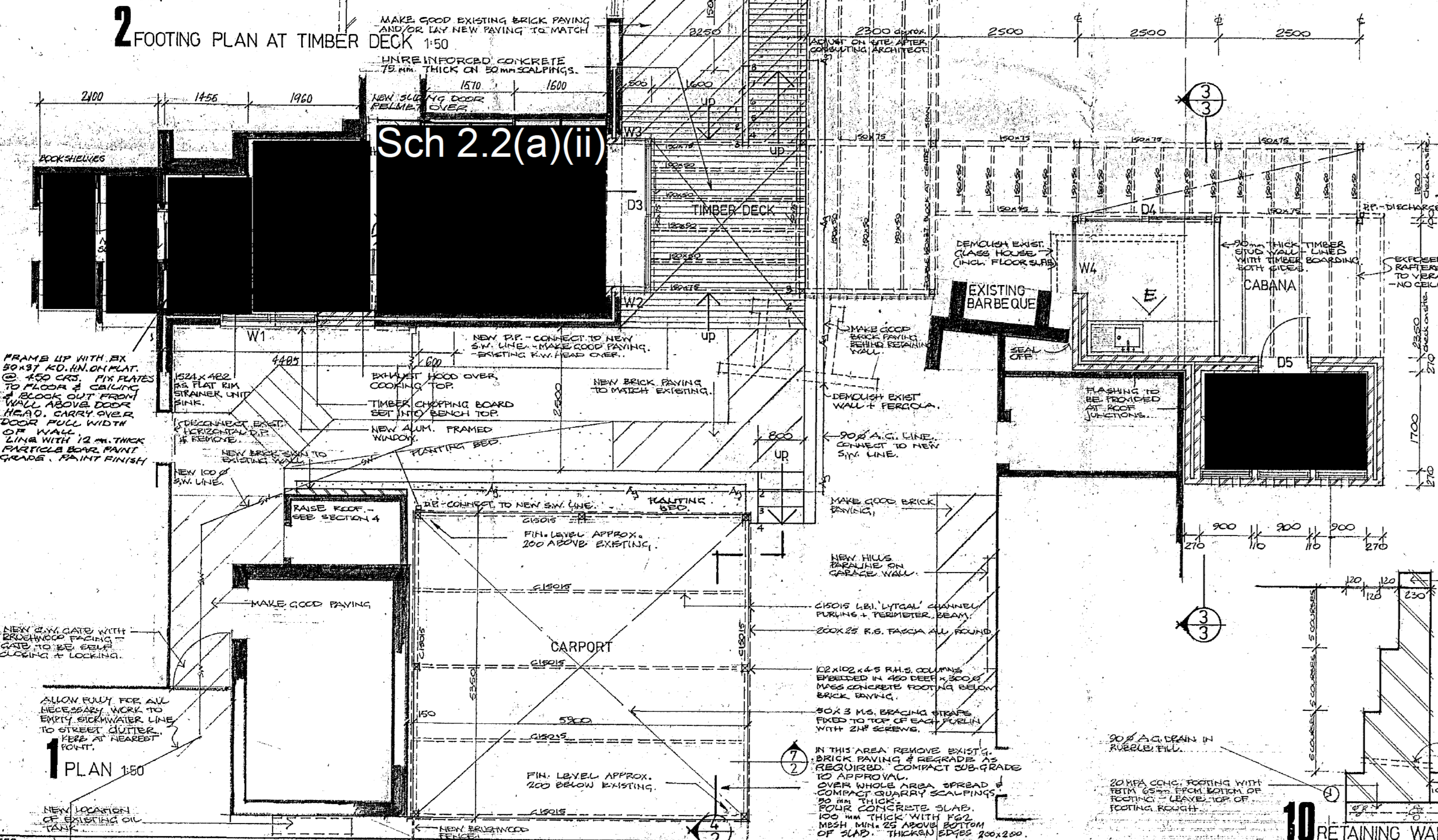
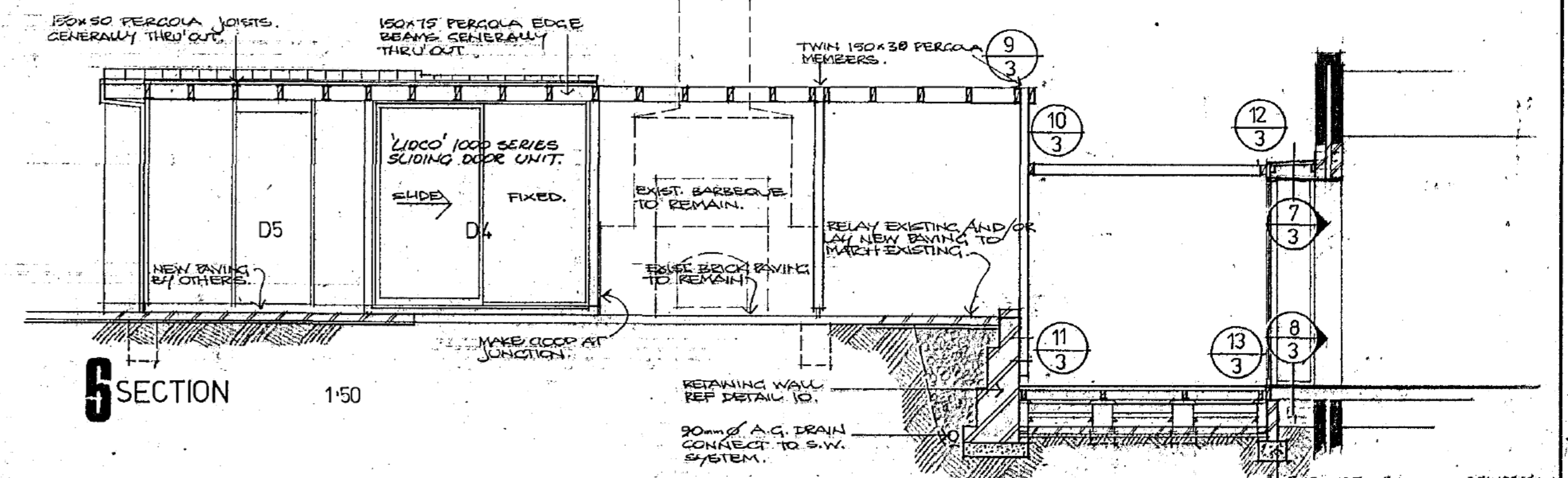
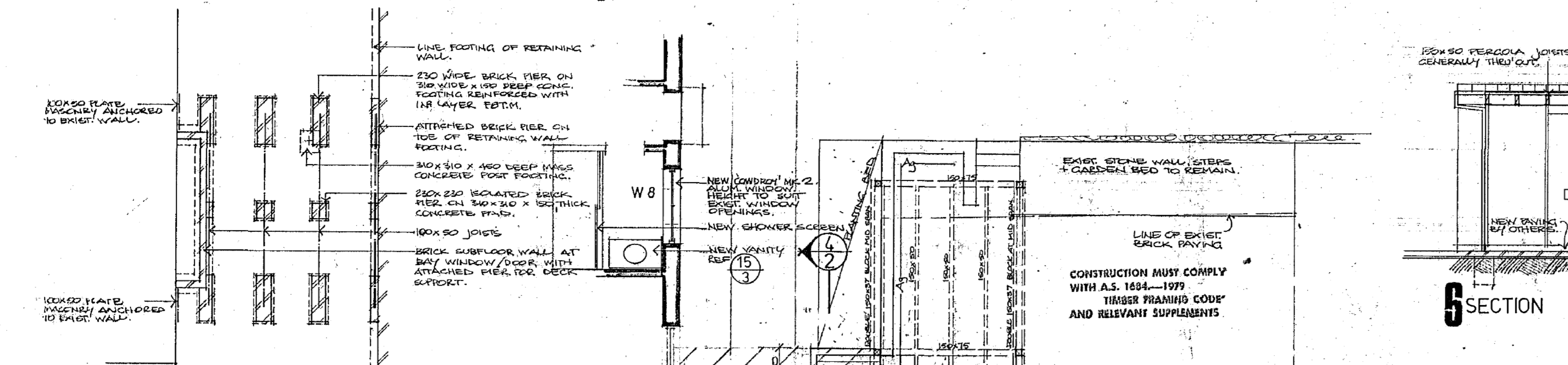
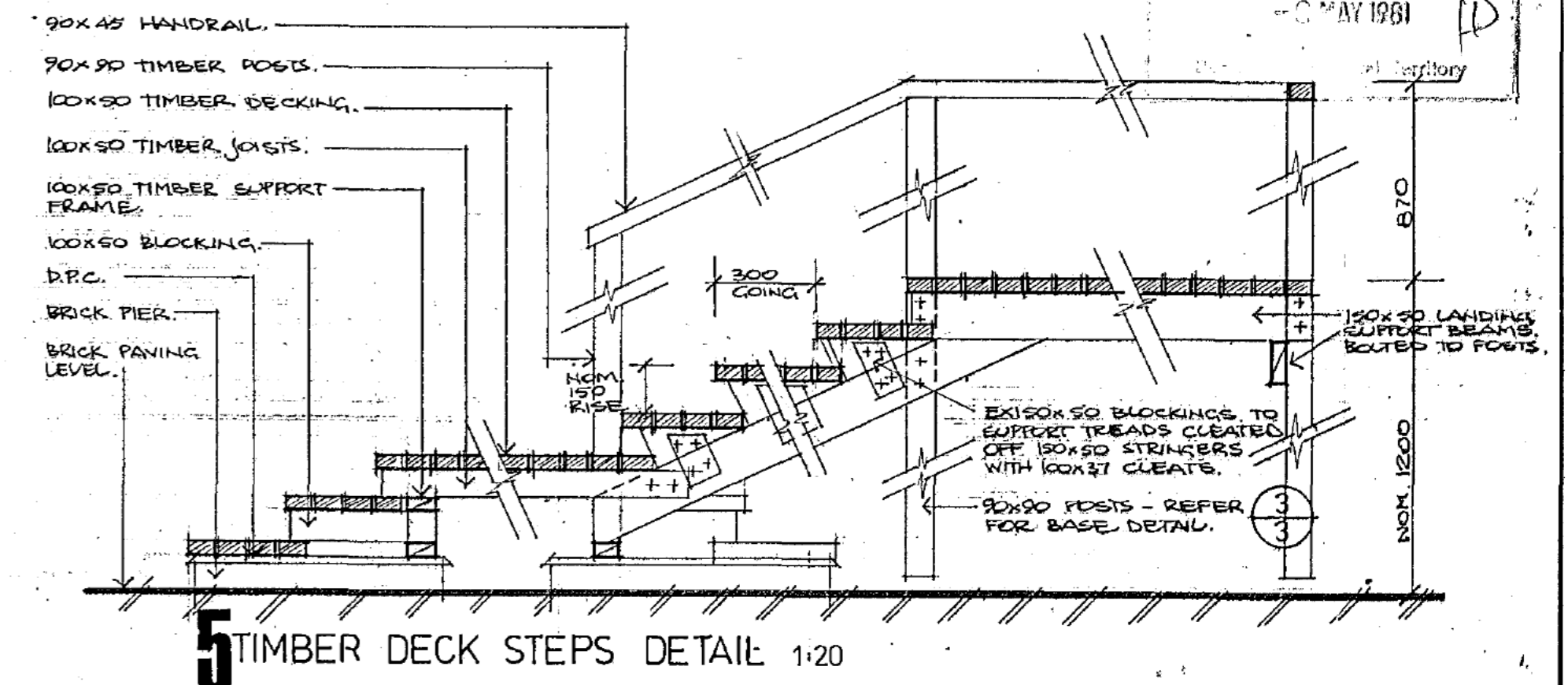
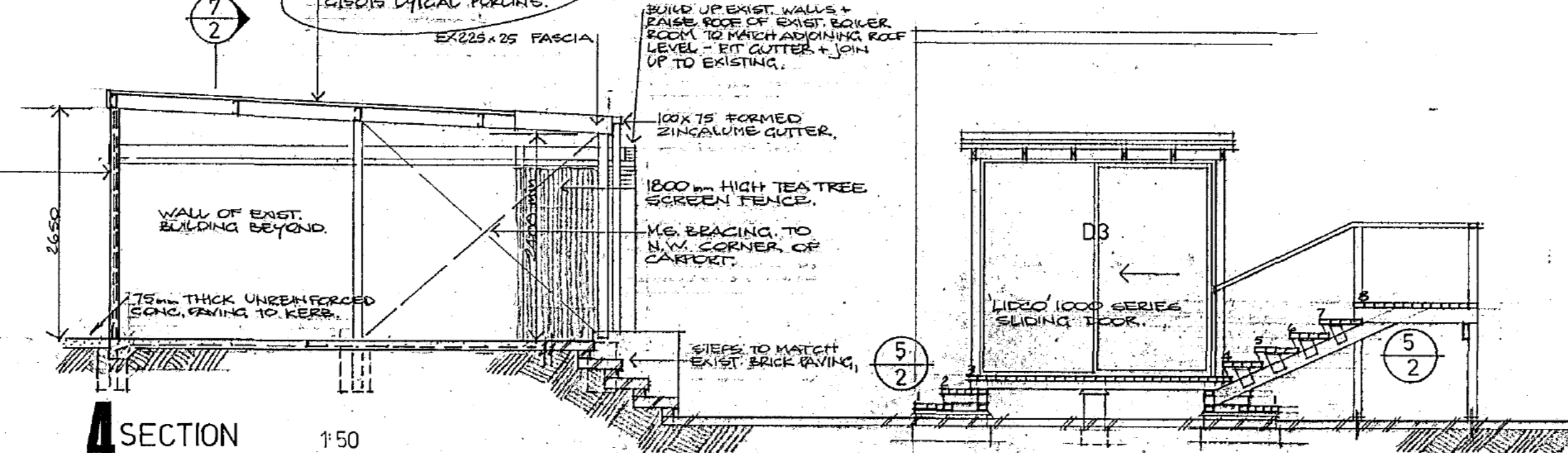
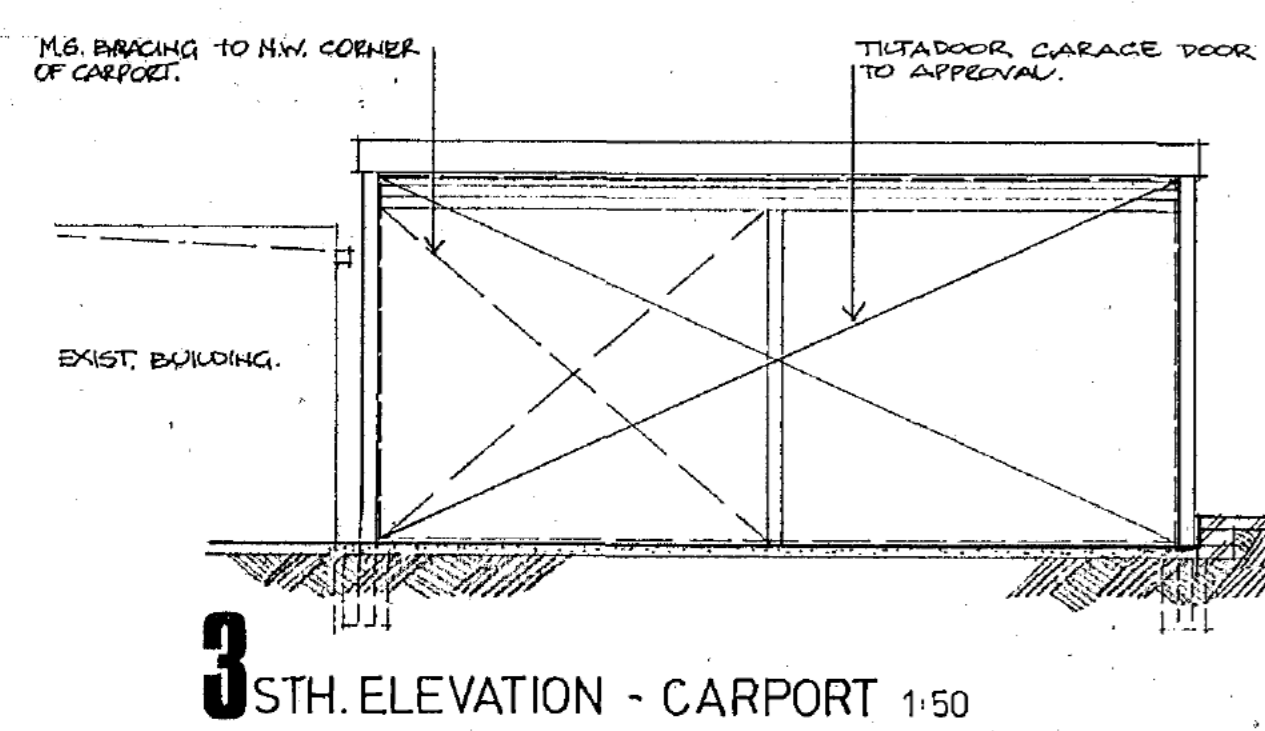
NOTES: CUPBOARD DOORS: 19 THICK PARTICLE BOARD VENEERED BOTH SIDES WITH 6 THICK MOUNTAIN ASH EDGE STRIPS 3 SIDES (SEE SPEC).
 BENCH TOPS: 19 THICK PARTICLE BOARD WITH EITHER LAMINATED PLASTIC OR M. ASH VENEER - REFER SECTIONS.
 SHELVES DIVISIONS ETC: 19 THICK PARTICLEBOARD; MELAMINE FACED. EDGE STRIP LEADING EDGE GENERALLY + AS SHOWN.
 PANELS: M. ASH WHERE SEEN, RADIATA PINE ELSEWHERE.
 RECESSED SHELVING: EX 100 X 25 M. ASH.
 DRAWERS: FRONTS: 19 THICK PARTICLE BOARD VENEERED & EDGE STRIPPED. SIDES & BACKS: 12 THICK R.D.P.W./BOTTOMS: 6 THICK PLY. FLUSH OVERLAY TYPE.
 HINGES: MOUNTAIN WITH LIGHT WALNUT STAIN & 2 COATS CLEAR SATIN POLYURETHANE FINISH TO ARCHITECT'S APPROVAL.
 VENEER: MOUNTAIN WITH LIGHT WALNUT STAIN & 2 COATS CLEAR SATIN POLYURETHANE FINISH TO ARCHITECT'S APPROVAL.

N.B. MAKE GOOD ALL SURFACES WHERE EXISTING CUPBOARDS, BENCHES, SHELVING & TILING ETC HAS TO BE REMOVED.

PLAN-SHELVES IN BROOM CUPBD.

NOTES	LEGEND	REVISIONS	
WORK SHALL CONFORM ALSO TO THE SPECIFICATIONS, OTHER DRAWINGS, JOB DIMENSIONS AND ALSO TO ALL REQUIREMENTS OF THE BUILDER. ANY SHOP DRAWINGS NECESSARY FOR THIS WORK SHALL BE SUBMITTED TO THE ARCHITECTS AND SIGNED BY THEM BEFORE WORK IS COMMENCED.	- - - NEW STORMWATER LINE - - - EXISTING STORMWATER MAIN - - - EXISTING SEWER MAIN - - - EXISTING WATER MAIN + HOSECOCK ○ ROTARY CLOTHES HOIST □ FOLDING CLOTHES HOIST	- - - PALING FENCE - - - DITTO, STAINED, LAPPED & CAPPED X X X WIRE MESH FENCE - - - HORIZONTAL RAIL FENCE - - - VERTICAL BATTEN FENCE - - - METAL PANEL FENCE - - - MASONRY FENCE WITH PIERS - - - DITTO, DOUBLE THICKNESS	
	ADDITIONS & ALTERATIONS TO RESIDENCE FOR Sch 22(a)(i) 43 MELBOURNE AVENUE BLOCK 3 SECTION 2 FORREST.		
	KITCHEN JOINERY DETAILS		
	DRAWN BY	DATE	SCALE
	LEITH & BARTLETT PTY. LTD. ARCHITECTS, ENGINEERS, PLANNERS	217 NORTHBOURNE AVE., TURNER, A.C.T., 2801.	1:50 1:10 F.S.
	JOB No.	DWG. No.	
	4	4	
	TELEPHONE: 49 6077.		

INSTALL TO MANUFACTURERS SPECIFICATION



LEGEND

—	NEW STORMWATER LINE	—	PALING FENCE
—	EXISTING STORMWATER MAIN	—	DITTO, STAINED, LAPPED & CAPPED
—	EXISTING SEWER MAIN	—	WIRE MESH FENCE
—	EXISTING WATER MAIN	—	HORIZONTAL RAIL FENCE
—	HOSECOCK	—	VERTICAL BATTEN FENCE
—	ROTARY CLOTHES HOIST	—	METAL PANEL FENCE
—	FOLDING CLOTHES HOIST	—	MASONRY FENCE WITH PIERS
—		—	DITTO, DOUBLE THICKNESS

REVISIONS

1	AS NOTED
2	AS NOTED
3	AS NOTED
4	AS NOTED
5	AS NOTED
6	AS NOTED
7	AS NOTED
8	AS NOTED
9	AS NOTED
10	AS NOTED
11	AS NOTED
12	AS NOTED
13	AS NOTED
14	AS NOTED
15	AS NOTED

ADDITIONS & ALTERATIONS TO RESIDENCE FOR Sch 2.2(a)(ii)
 43 MELBOURNE AVENUE
 BLOCK 3 SECTION 2 FORREST
CONSTRUCTION DETAILS

DRAWN BY: DATE: SCALE: JOB No. DWG. No. 2

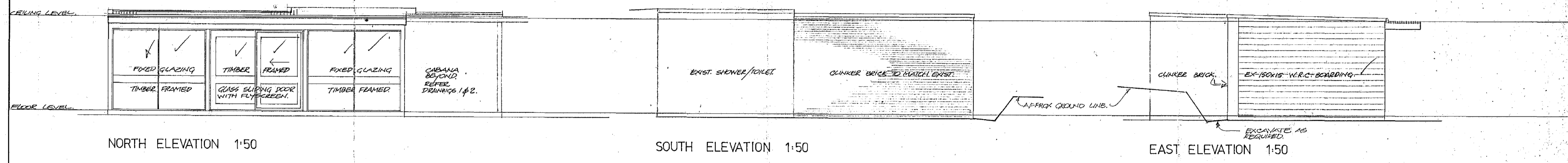
LEITH BARTLETT & PARTNERS PTY LTD ARCHITECTS, ENGINEERS, PLANNERS,
 60 MORE ST. BRADGON, ACT

WORK SHALL CONFORM ALSO TO THE SPECIFICATIONS, OTHER DRAWINGS, JOB DIMENSIONS AND ALSO TO ALL REQUIREMENTS OF THE BUILDER, ANY SHOP DRAWINGS NECESSARY FOR THIS WORK SHALL BE SUBMITTED TO THE ARCHITECTS AND SIGNED BY THEM BEFORE WORK IS COMMENCED.

BUILDING WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS THE BUILDING MANUAL ACT, THE NOTATIONS MADE ON THE PLANS AND ANY MATTERS SPECIFIED ON THE BUILDING PERMIT. THE APPROVAL OF PLANS OR THE GRANT OF A BUILDING PERMIT DOES NOT AFFECT THE OPERATION OF ANY OTHER LAW IN THE TERRITORY, NOR DOES IT AUTHORISE THE USE OF THE LAND CONTRARY TO A PROVISION, COVENANT OR CONDITION OF LEASE.
MODIFICATIONS IF APPLICABLE

PLANS/FILE No. 4444
Received Building Section
11 NOV 1981
Dept. of the Capital Territory

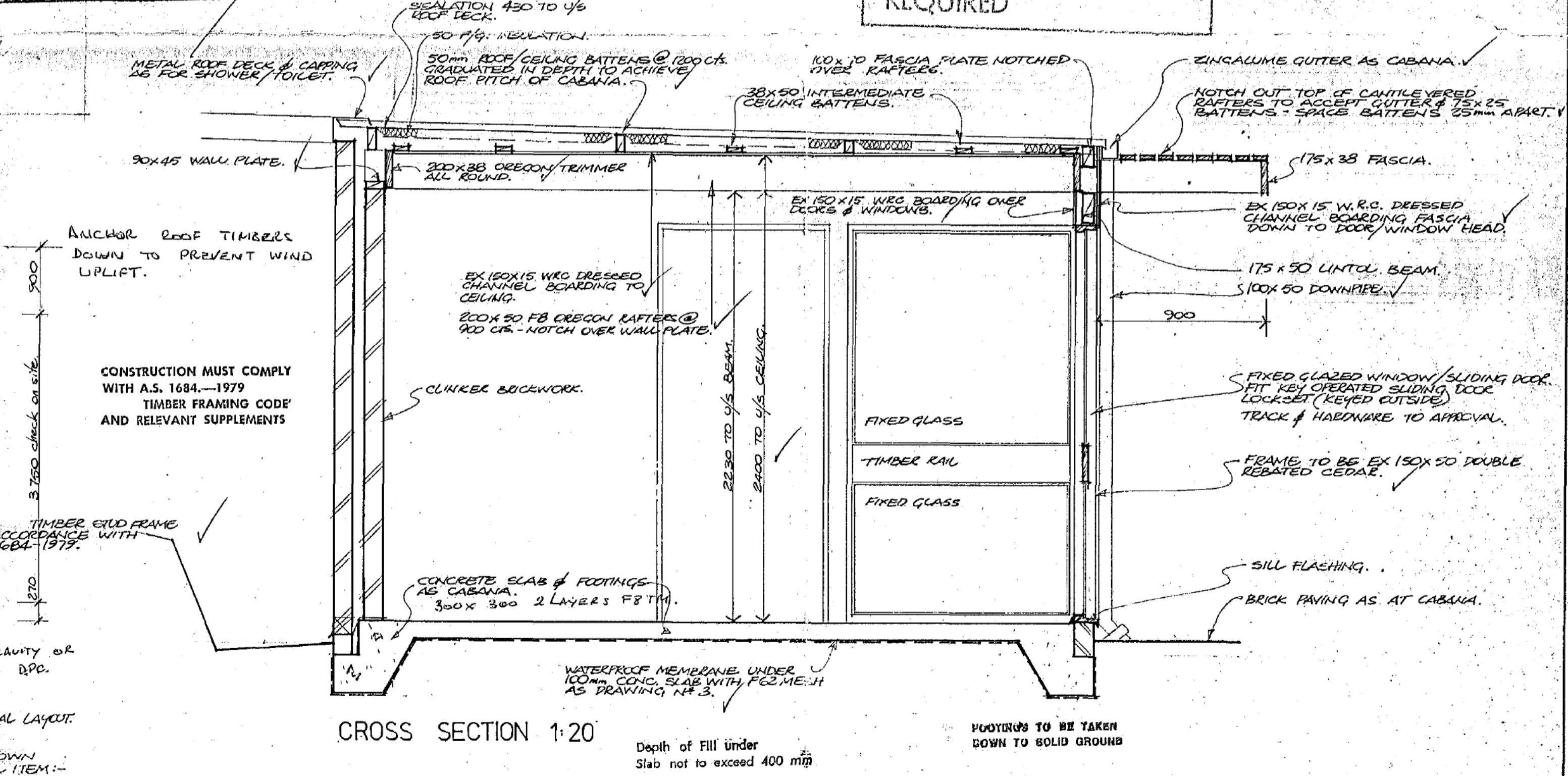
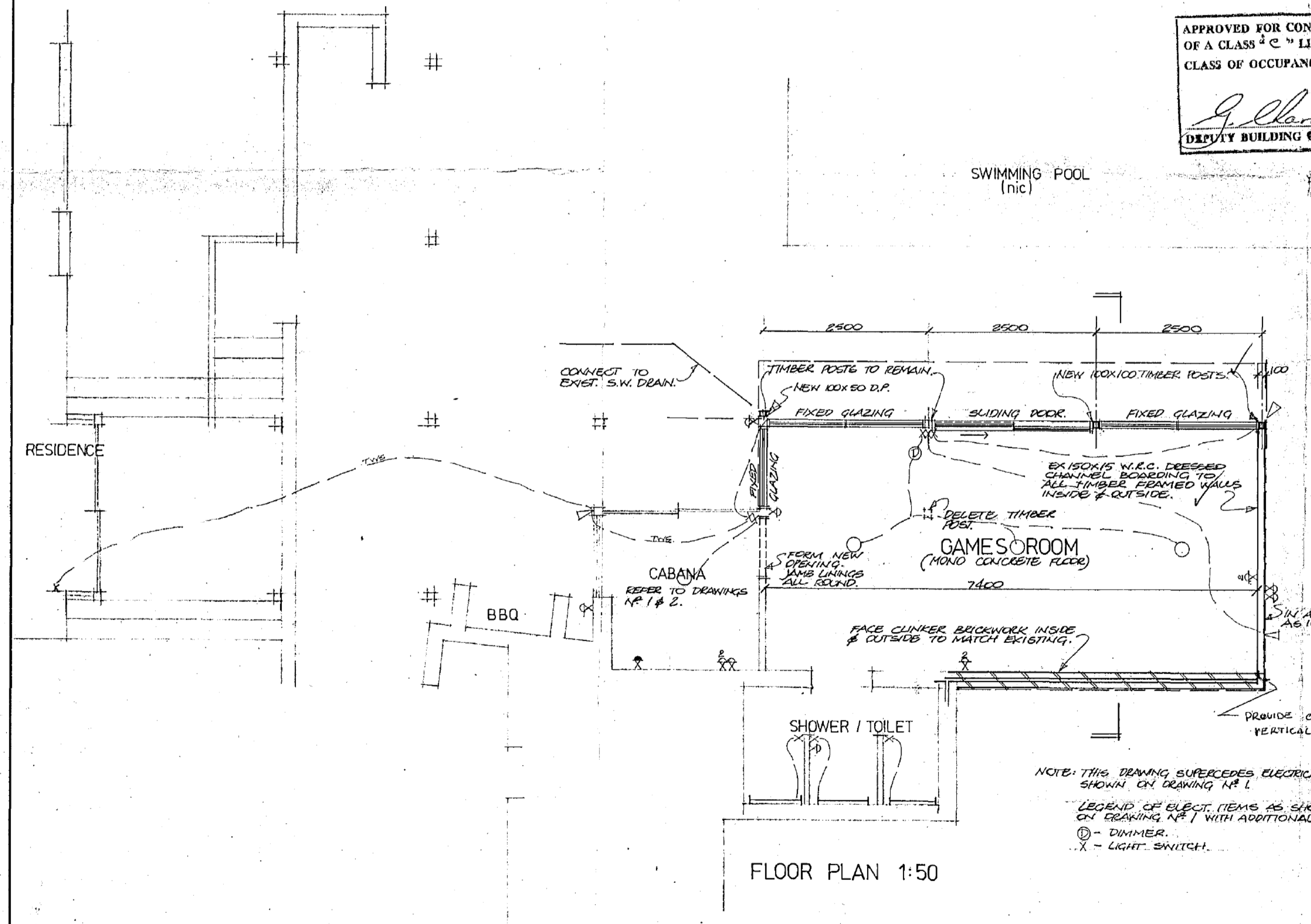
5/12



PLANS AND SPECIFICATIONS EXAMINED AND RECOMMENDED FOR APPROVAL BY
A. Marcus 24/11/1981
ENGINEER FOR WATER SUPPLY AND SEWERAGE
CHIEF ELECTRICAL ENGINEER 1/19
STRUCTURAL ENGINEER 7/19

APPROVED FOR CONSTRUCTION BY THE HOLDER OF A CLASS 'C' LICENCE.
CLASS OF OCCUPANCY: RESIDENCE I
OUTBUILDINGS X
J. Chamber 26 NOV 1981
DEPUTY BUILDING CONTROLLER

NEW WORK -
NEW BUILDING PERMIT
REQUIRED



APPROVED SUBJECT TO COMPLIANCE WITH THE CANBERRA SEWERAGE AND WATER SUPPLY REGULATIONS.
EXCEPT WHERE SUBJECT TO AND SUPERSEDED BY THE BUILDING MANUAL

NOTES
WORK SHALL CONFORM ALSO TO THE SPECIFICATIONS, OTHER DRAWINGS, JOB DIMENSIONS AND ALSO TO ALL REQUIREMENTS OF THE BUILDER, ANY SHOP DRAWINGS NECESSARY FOR THIS WORK SHALL BE SUBMITTED TO THE ARCHITECTS AND SIGNED BY THEM BEFORE WORK IS COMMENCED.

LEGEND	
	NEW STORMWATER LINE
	EXISTING STORMWATER MAIN
	EXISTING SEWER MAIN
	EXISTING WATER MAIN
	HOSECOCK
	ROTARY CLOTHES HOIST
	FOLDING CLOTHES HOIST
	PALING FENCE
	DITTO, STAINED, LAPPED & CAPPED
	WIRE MESH FENCE
	HORIZONTAL RAIL FENCE
	VERTICAL BATTEN FENCE
	METAL PANEL FENCE
	MASONRY FENCE WITH PIENS
	DITTO, DOUBLE THICKNESS

REVISIONS

ADDITIONS + ALTERATIONS TO RESIDENCE FOR Sch 2.2(a)(ii)
NEW GAME ROOM
DRAWN BY Pc DATE 5/11/81 SCALE 1:50 1:20 JOB No. 8041 DWG. No. 14
LEITH & BARTLETT PTY. LTD. ARCHITECTS, ENGINEERS, PLANNERS
217 NORTHBOURNE AVE., TURNER, A.C.T., 2601. TELEPHONE: 49 6077

PLANS/TITLE No. 4444
 Received Building Section
 13 NOV 1981
 Dept. of the Capital Territory

PLANS AND SPECIFICATIONS EXAMINED
 AND RECOMMENDED FOR APPROVAL BY

ENGINEER FOR WATER SUPPLY AND SEWERAGE / /19

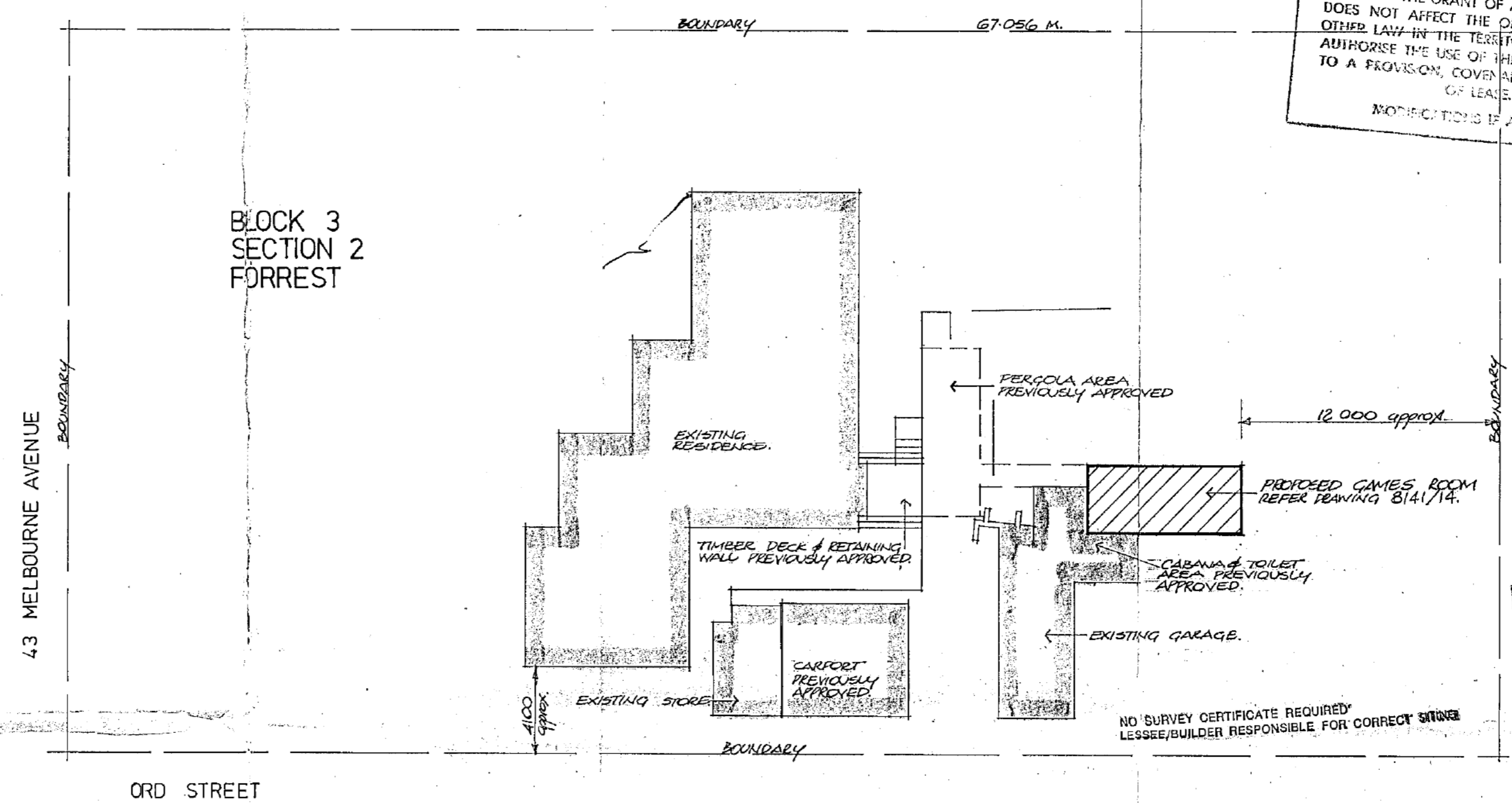
CHIEF ELECTRICAL ENGINEER / /19

STRUCTURAL ENGINEER / /19

5/2

BUILDING WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS THE BUILDING MANUAL ACT, THE NOTATIONS MADE ON THE PLANS AND ANY MATTERS SPECIFIED ON THE BUILDING PERMIT. THE APPROVAL OF PLANS OR THE GRANT OF A BUILDING PERMIT DOES NOT AFFECT THE OPERATION OF ANY OTHER LAW IN THE TERRITORY, NOR DOES IT AUTHORISE THE USE OF THE LAND CONTRARY TO A PROVISION, COVENANT OR CONDITION OF LEASE.

MODIFICATIONS IF APPLICABLE

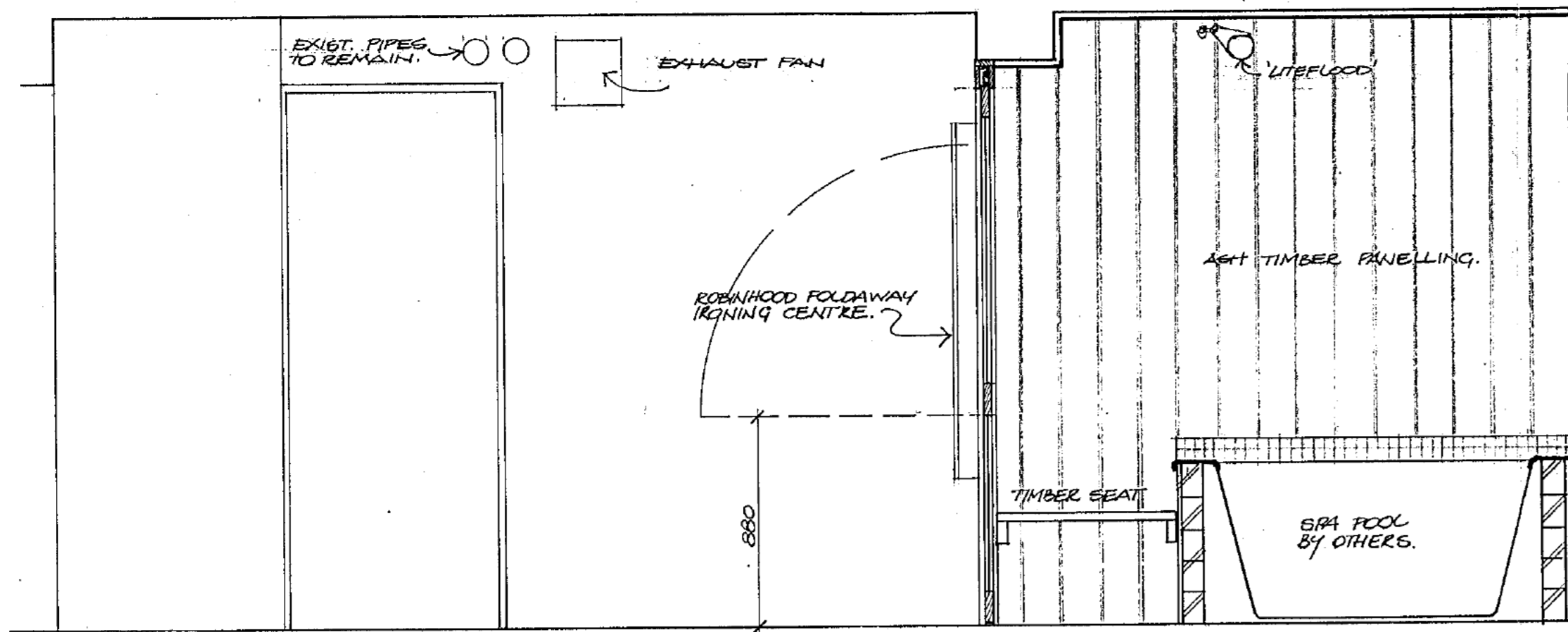


BUILDINGS (DESIGN AND SITING)
 ORDINANCE 1964 AS AMENDED
 APPROVAL GRANTED
 23 NOV 1981
 DELEGATE *[Signature]*
 NATIONAL CAPITAL DEVELOPMENT COMMISSION

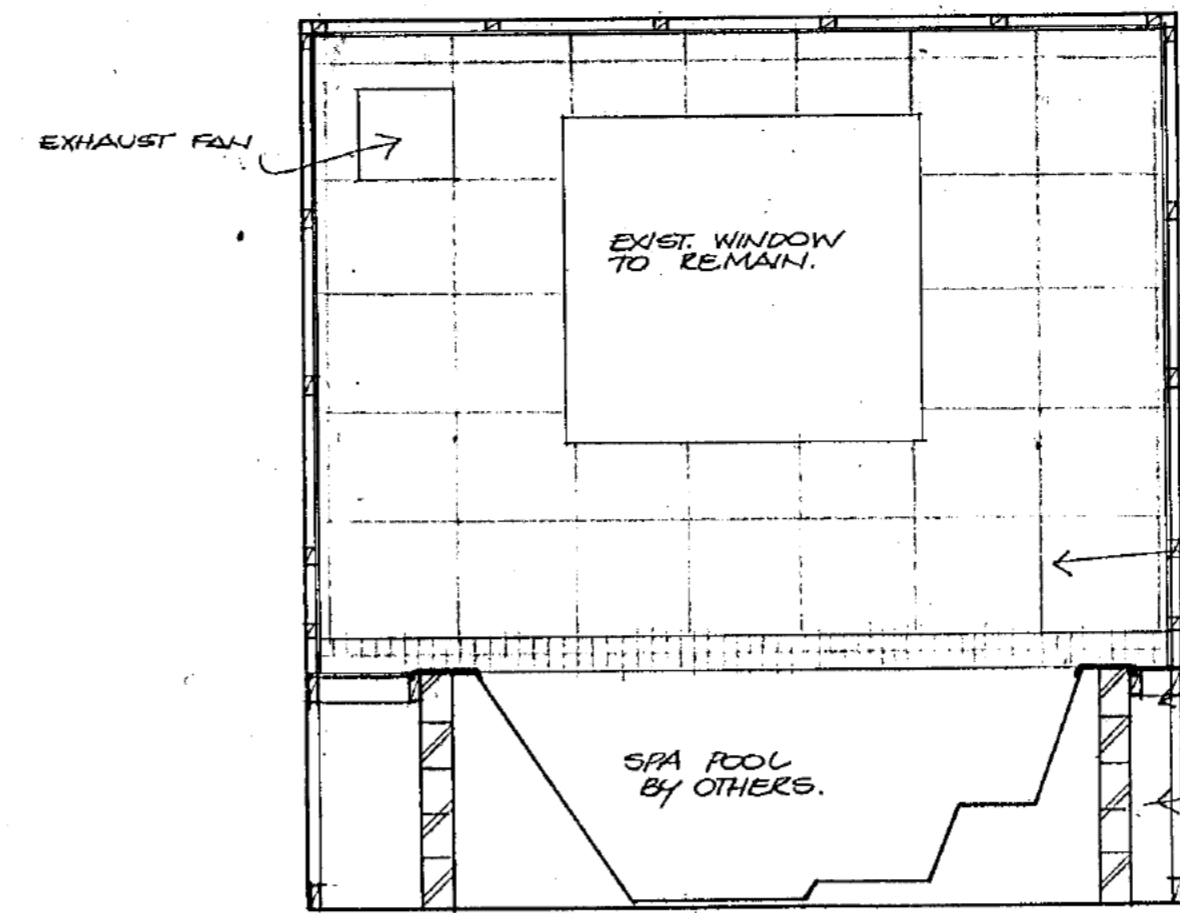
APPROVED FOR CONSTRUCTION BY THE HOLDER OF A CLASS "C" LICENCE.
 CLASS OF OCCUPANCY: RESIDENCE I
 OUTBUILDINGS X
[Signature] 26 NOV 1981
 DEPUTY BUILDING CONTROLLER



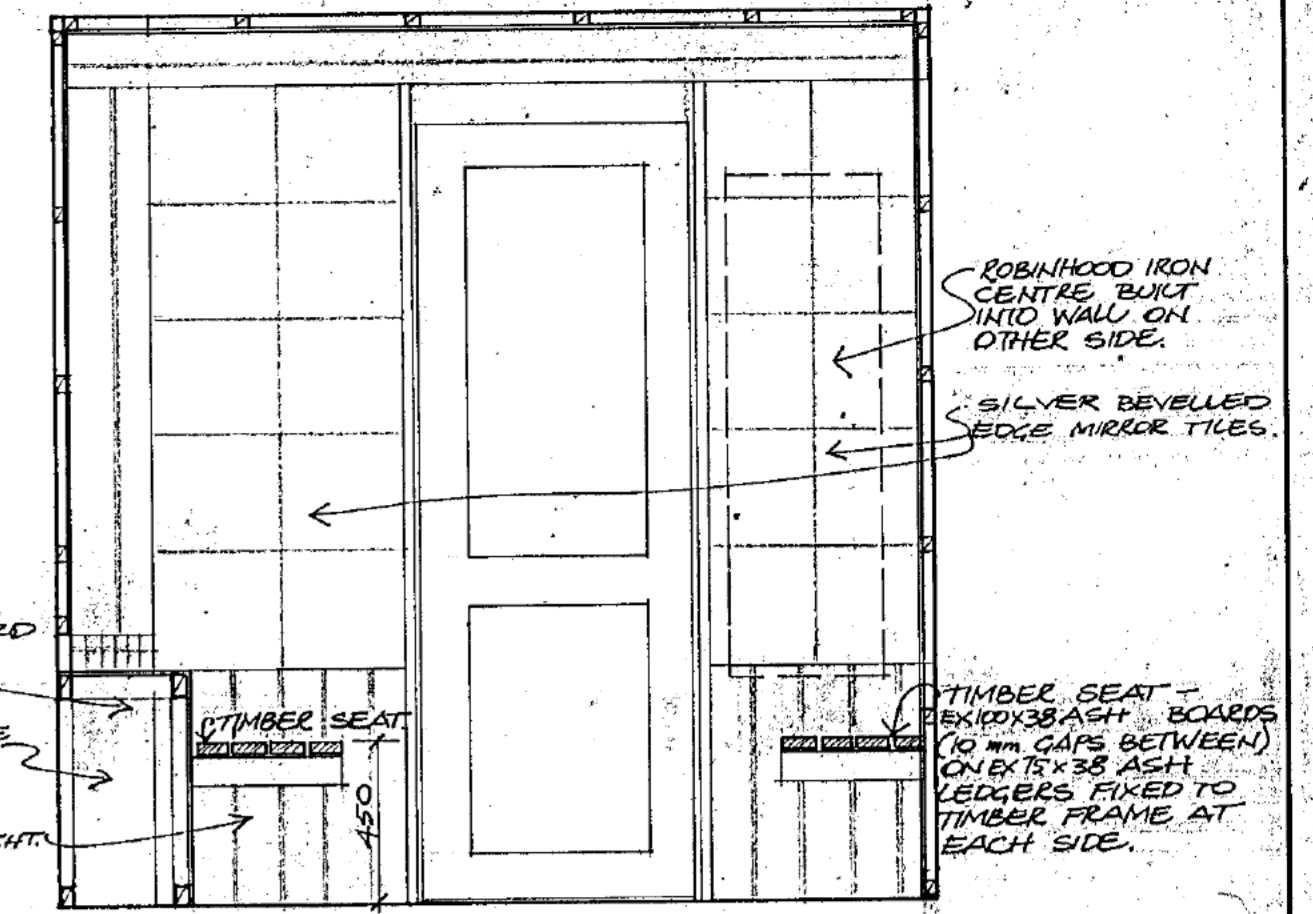
NOTES	LEGEND	REVISIONS	ADDITIONS+ALTERATIONS TO RESIDENCE FOR Sch 2.2(a)(ii)
WORK SHALL CONFORM ALSO TO THE SPECIFICATIONS, OTHER DRAWINGS, JOB DIMENSIONS AND ALSO TO ALL REQUIREMENTS OF THE BUILDER, ANY SHOP DRAWINGS NECESSARY FOR THIS WORK SHALL BE SUBMITTED TO THE ARCHITECTS AND SIGNED BY THEM BEFORE WORK IS COMMENCED.	NEW STORMWATER LINE EXISTING STORMWATER MAIN EXISTING SEWER MAIN EXISTING WATER MAIN HOSECOCK ROTARY CLOTHES HOIST FOLDING CLOTHES HOIST	PALING FENCE DITTO, STAINED, LAPPED & CAPPED WIRE MESH FENCE HORIZONTAL RAIL FENCE VERTICAL BATTEN FENCE METAL PANEL FENCE MASONRY FENCE WITH PIERS DITTO, DOUBLE THICKNESS	
			SITE PLAN
			DRAWN BY <i>[Signature]</i> DATE 15-11-81 SCALE 1:200 JOB No. 8041 DWG. No. 16
			LEITH & BARTLETT PTY. LTD. ARCHITECTS, ENGINEERS, PLANNERS 217 NORTHBOURNE AVE., TURNER, A.C.T., 2601. TELEPHONE: 49 6077.



SECTION B-B 1:20

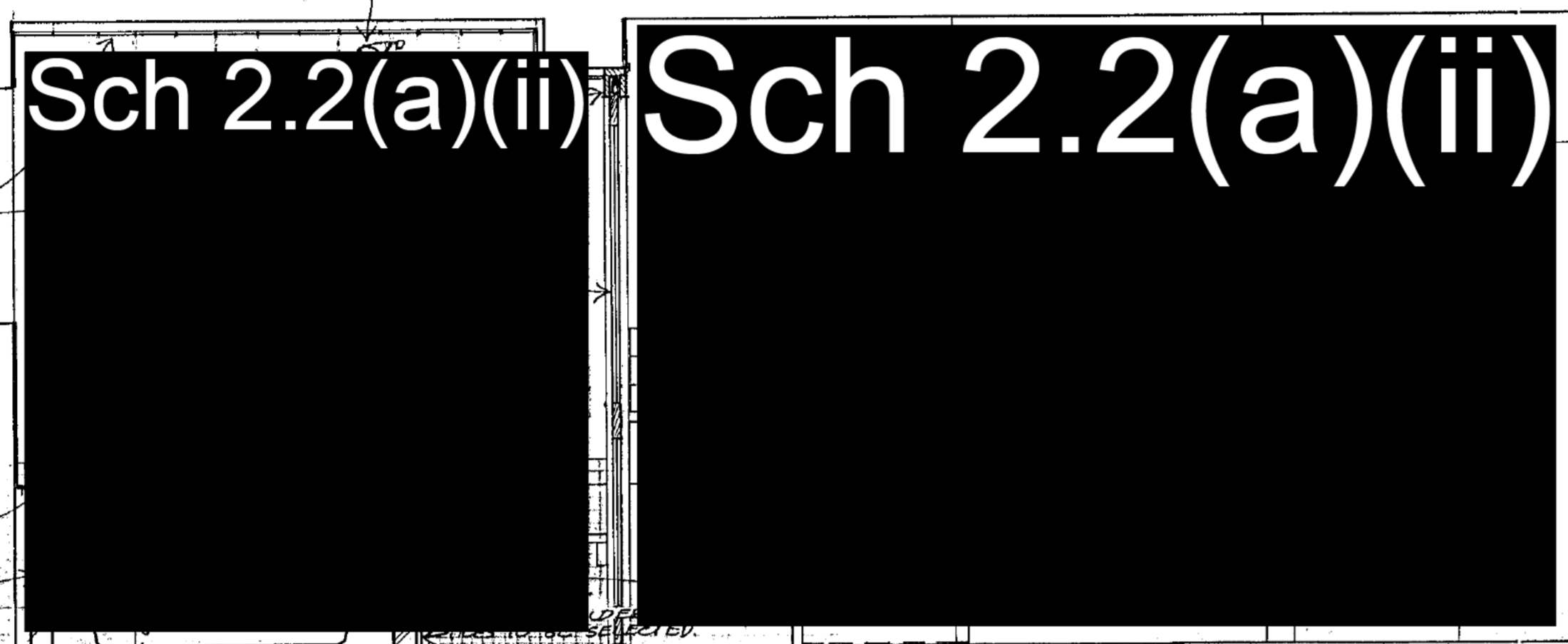


SECTION C-C 1:20



SECTION D-D 1:20

CONSTRUCTION MUST COMPLY WITH A.S. 1684-1979
TIMBER FRAMING CODE
AND RELEVANT SUPPLEMENTS



SECTION A-A 1:20

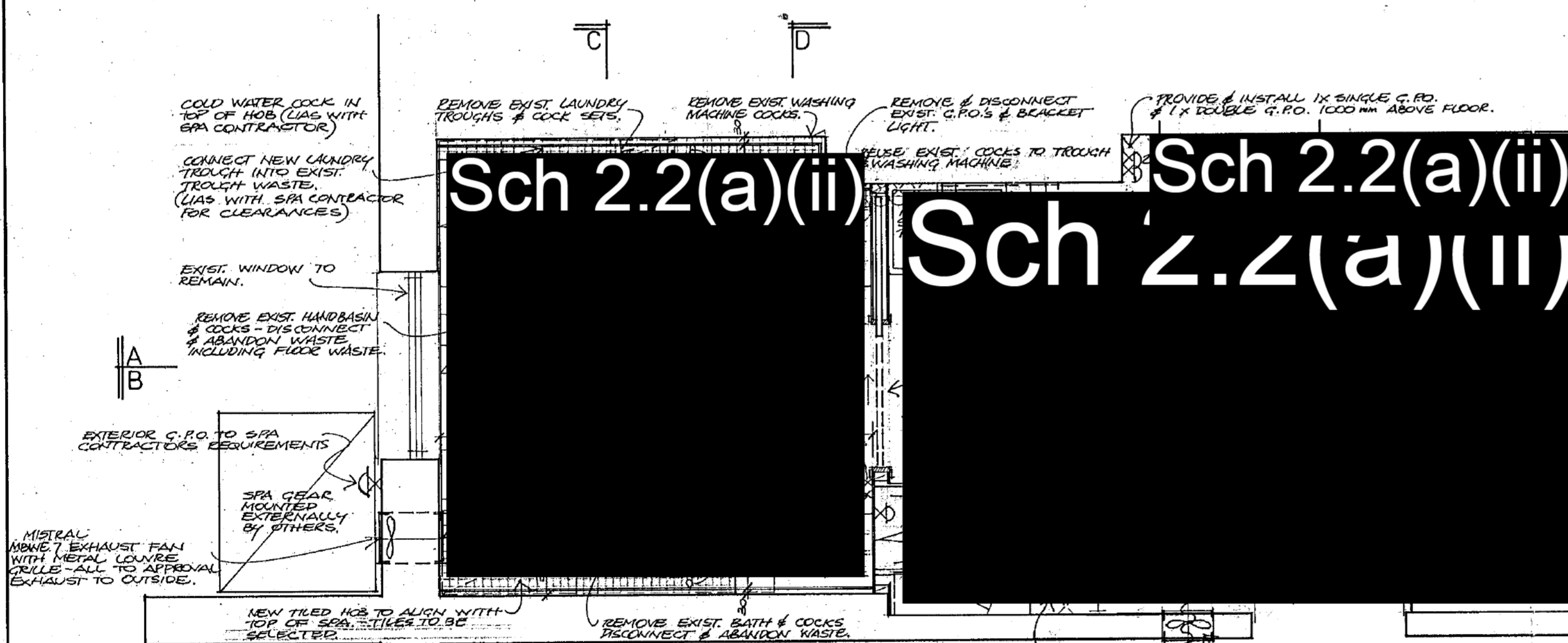
BUILDING WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS THE BUILDING MANUAL ACT, THE NOTATIONS MADE ON THE PLANS AND ANY MATTERS SPECIFIED ON THE BUILDING PERMIT. THE APPROVAL OF PLANS OR THE GRANT OF A BUILDING PERMIT DOES NOT AFFECT THE OPERATION OF ANY OTHER LAW IN THE TERRITORY, NOR DOES IT AUTHORISE THE USE OF THE LAND CONTRARY TO A PROVISION, COVENANT OR CONDITION OF LEASE.

S12

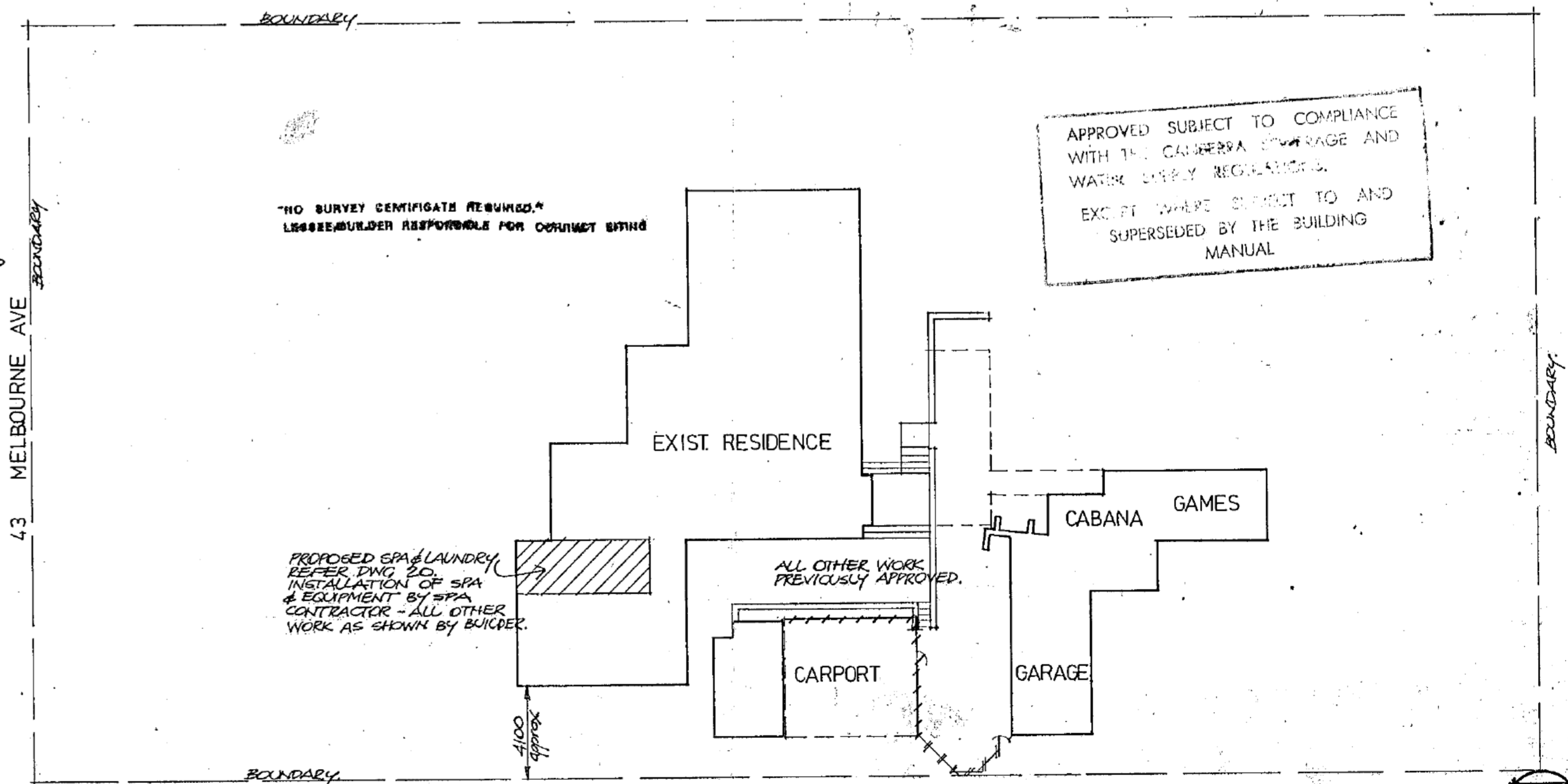
PLANS/TITLE NO. 41111/15
Received Building Section
- 3 DEC 1981
Dept. of the Capital Territory

APPROVED FOR CONSTRUCTION BY THE HOLDER OF A CLASS "C" LICENCE.
CLASS OF OCCUPANCY: RESIDENCE I
OUTBUILDINGS X
11-1-81
DEPUTY BUILDING CONTROLLER

PLANS AND SPECIFICATIONS EXAMINED AND RECOMMENDED FOR APPROVAL BY
10/2/81
ENGINEER FOR WATER SUPPLY AND SEWERAGE
CHIEF ELECTRICAL ENGINEER 1/19
STRUCTURAL ENGINEER 1/19



FLOOR PLAN 1:20



SITE PLAN 1:200

NOTES
WORK SHALL CONFORM ALSO TO THE SPECIFICATIONS, OTHER DRAWINGS, JOB DIMENSIONS AND ALSO TO ALL REQUIREMENTS OF THE BUILDER. ANY SHOP DRAWINGS NECESSARY FOR THIS WORK SHALL BE SUBMITTED TO THE ARCHITECTS AND SIGNED BY THEM BEFORE WORK IS COMMENCED.

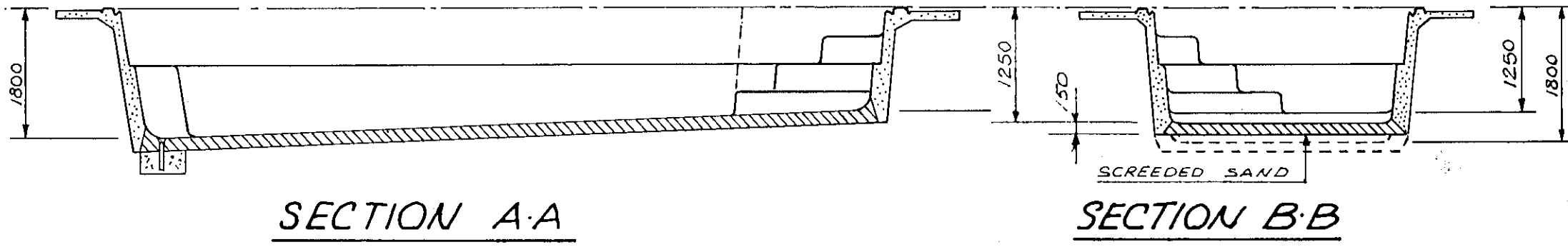
LEGEND	
○ D.P.	NEW STORMWATER LINE
—	EXISTING STORMWATER MAIN
—	EXISTING SEWER MAIN
—	EXISTING WATER MAIN
+	HOSECOCK
○	ROTARY CLOTHES HOIST
□	FOLDING CLOTHES HOIST
—	PALING FENCE
—	DITTO, STAINED, LAPPED & CAPPED
—	WIRE MESH FENCE
—	HORIZONTAL RAIL FENCE
—	VERTICAL BATTEN FENCE
—	METAL PANEL FENCE
—	MASONRY FENCE WITH PIERS
—	DITTO, DOUBLE THICKNESS

REVISIONS	

ADDITIONS & ALTERATIONS TO RESIDENCE FOR **Sch 2.2(a)(ii)** BLOCK 3 SECTION 2 FORREST
NEW SPA + LAUNDRY ALTERATIONS
DRAWN BY Pc DATE nov. 81 SCALE 1:20 1:200 JOB No. 8041 DWG. No. 20
LEITH & BARTLETT, PTY. LTD., ARCHITECTS, ENGINEERS, PLANNERS
217 NORTHBOURNE AVE., TURNER, A.C.T., 2601. TELEPHONE: 49 6077.

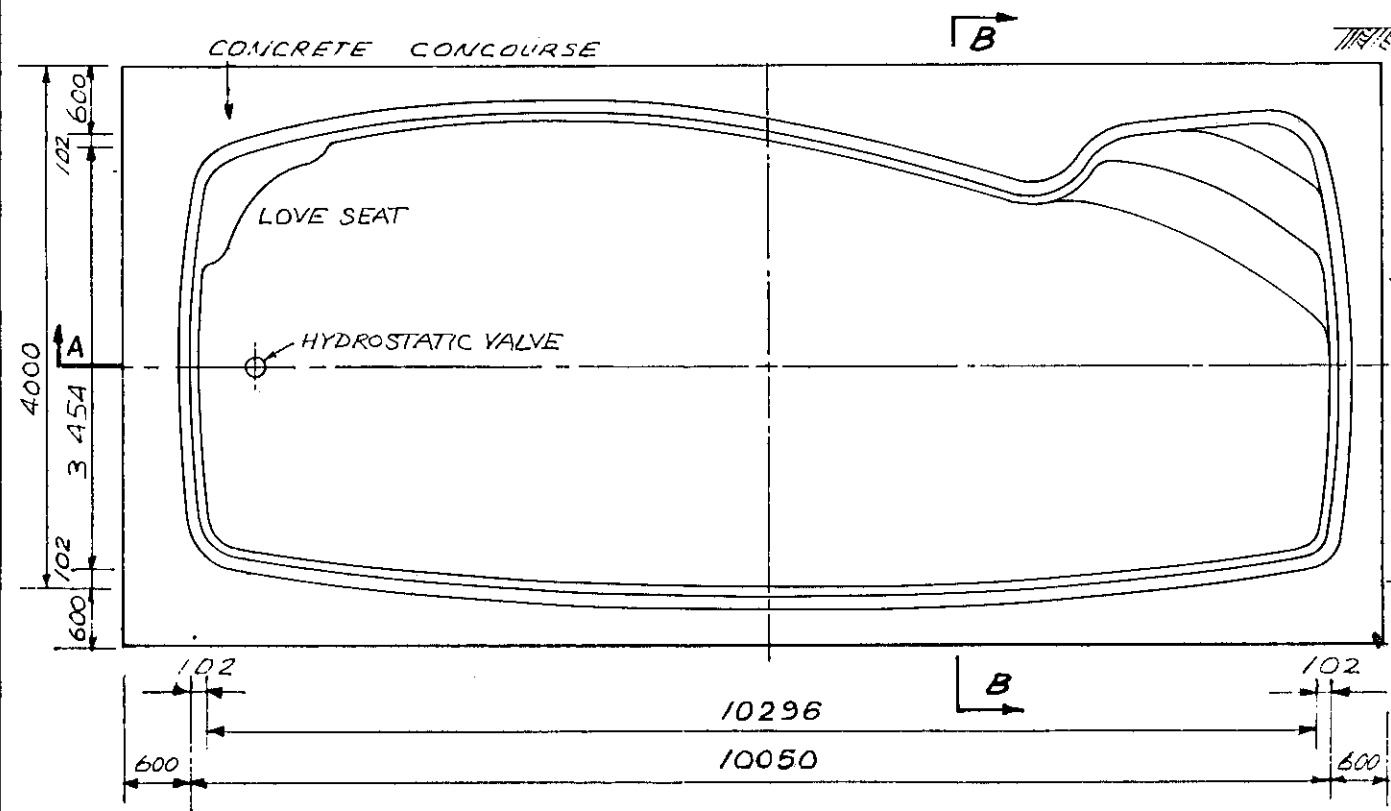
51/2

PLANS/FILE NO. 41-44/H
 Received Building Section
 15 DEC 1981
 Dept of the Capital Territory

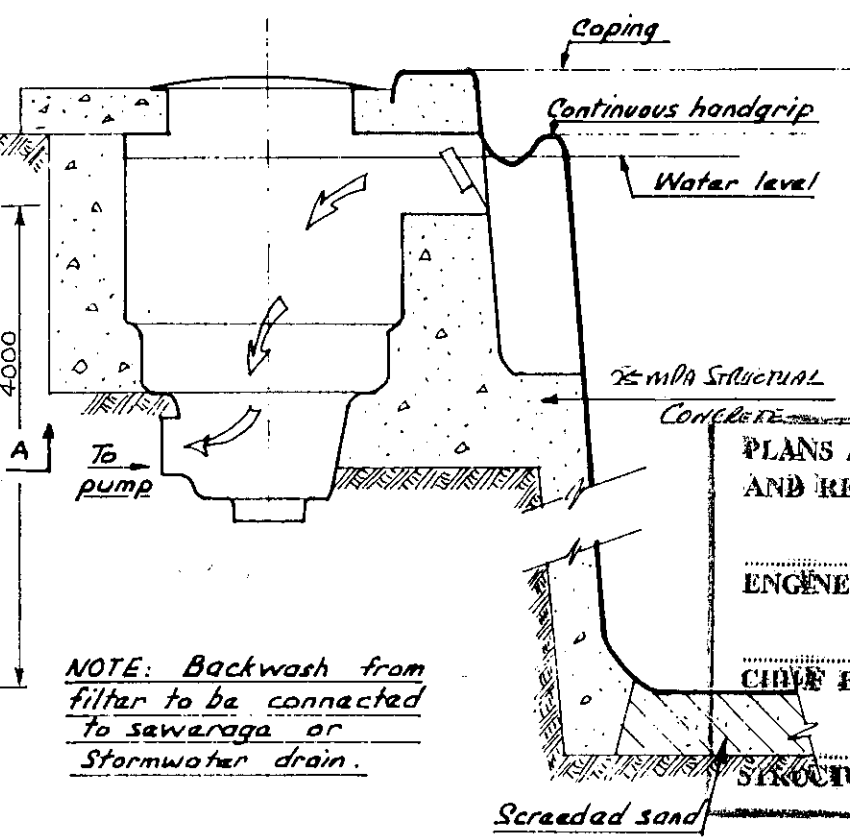


SECTION A-A

SECTION B-B



PLAN



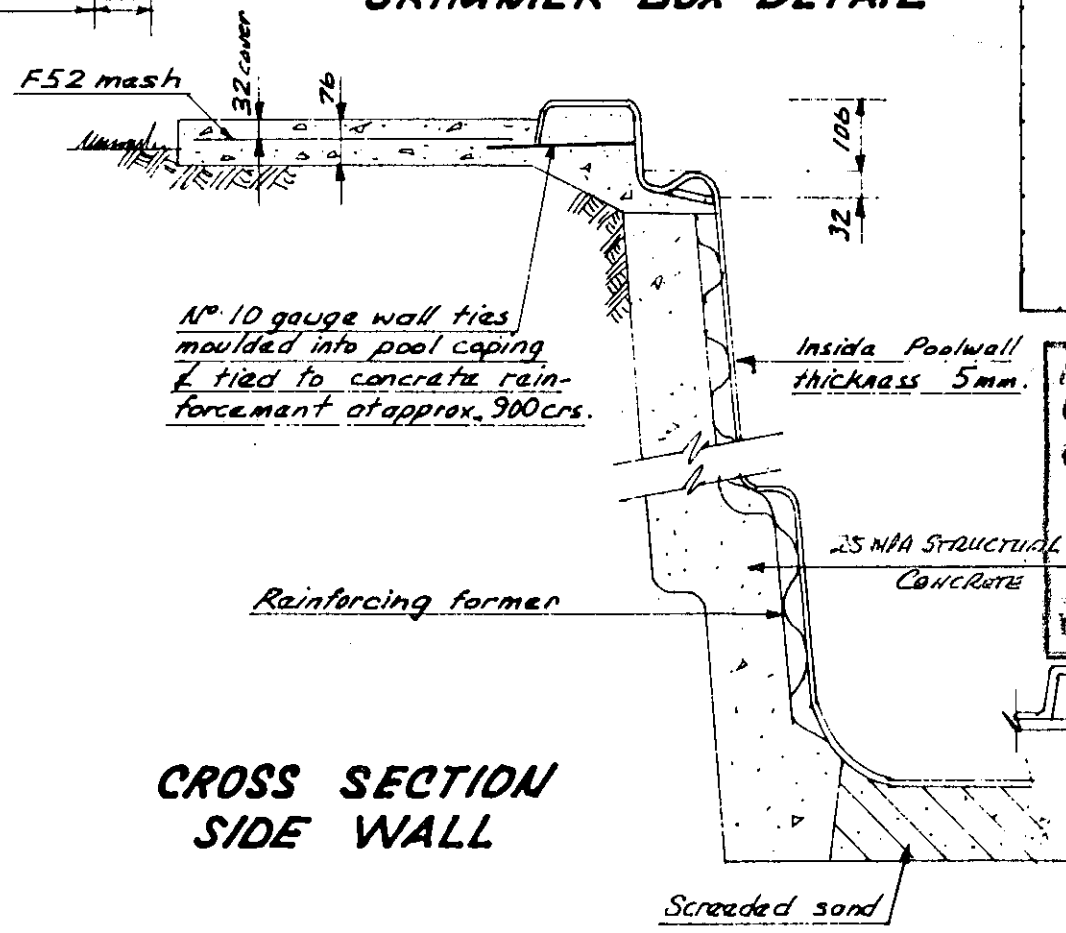
SKIMMER BOX DETAIL

PLANS AND SPECIFICATIONS EXAMINED AND RECOMMENDED FOR APPROVAL BY

ENGINEER FOR WATER SUPPLY AND SEWERAGE 1/19

CHIEF ELECTRICAL ENGINEER 1/19

STRUCTURAL ENGINEER 23/12/1981



CROSS SECTION SIDE WALL

NOTE: All sizes approximate only.

BLOCK PLAN

APPROVED FOR CONSTRUCTION BY THE HOLDER OF A CLASS "SD" LICENCE.

CLASS OF OCCUPANCY: RESIDENCE I
 OUTBUILDINGS X

12-1-81
 DEPUTY BUILDING CONTROLLER

SECTIONAL PROPERTIES OF SIDE WALL

TECHNICAL DATA "CARIBBEAN" 10050 x 4000
 PROPOSED FIBREGLASS SWIMMING POOL
 FOR:

SPECIFICATION:

GENERALLY: The builder shall comply with the requirements of all relevant Local Govt authorities.

EXCAVATION: Excavate for pool shell allowing 152mm thickness of sand & grout. Place & compact sand base to provide an even support for the shell.

DRAINAGE: If the basin of the pool is formed in rock or other impervious material a drain is to be constructed from the lowest point to an outlet open to the atmosphere. A hydrostatic valve must be fitted to all pools.

MANUFACTURE: To minimum requirements of draft SAA CODE DR. 74054.

CONCRETOR: Construct cement core as shown in sidewall section. to be 8:1 MIX. Construct concrete surround 600mm x 76mm thick under coping. Reinforce with F52 mesh. Concrete to be 15MPa at 28 days with 76 slump. Finish surface with wood float. Clean up area around pool and leave area in a tidy condition.

FILTER INSTALLATION: Install a skimmer box central control unit and suitable diatomaceous earth filter. Connect with 32mm dia. high pressure P.V.C. pipes and fittings to oil suction and return lines.

NOTE: This pool-type has been examined and reported on. Copy available on request.

DESIGNED MANUFACTURED AND SUPPLIED BY: **DURA POOLS PTY. LTD.**
 4 PRINCES HWY. YALLAH. N.S.W. 2530. PH. WOLLONGONG: 56-3066.

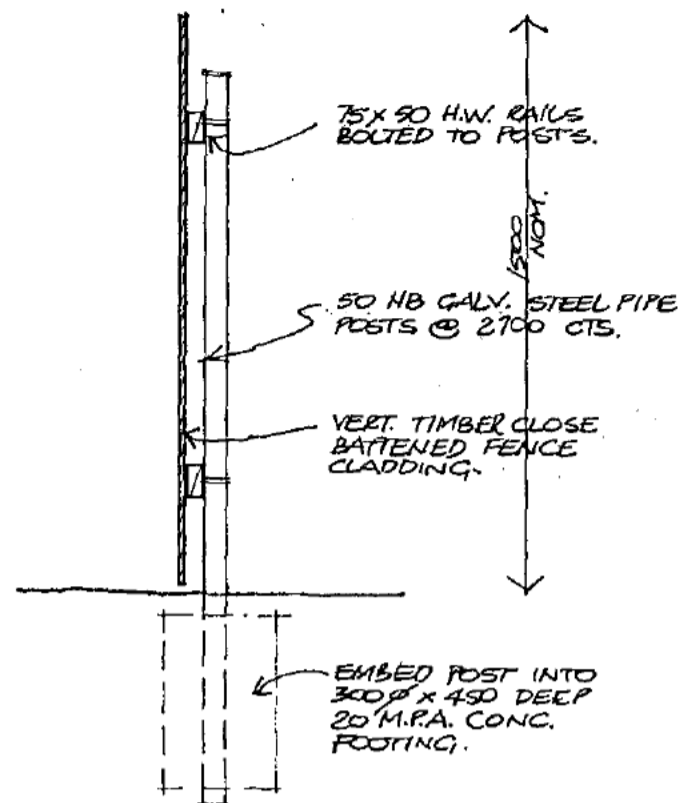
BUILDER: Peter Bradley's	ENGINEER: R.S.J. M.P.E. (NSW)	DRG. NO. 550	DATE: SCALE: 15mm=1m.
CONCRETE SWIMMING POOLS			DRN: J.Z. DURA POOLS P/L ENGINEERING DIVISION

FENCE LEGEND

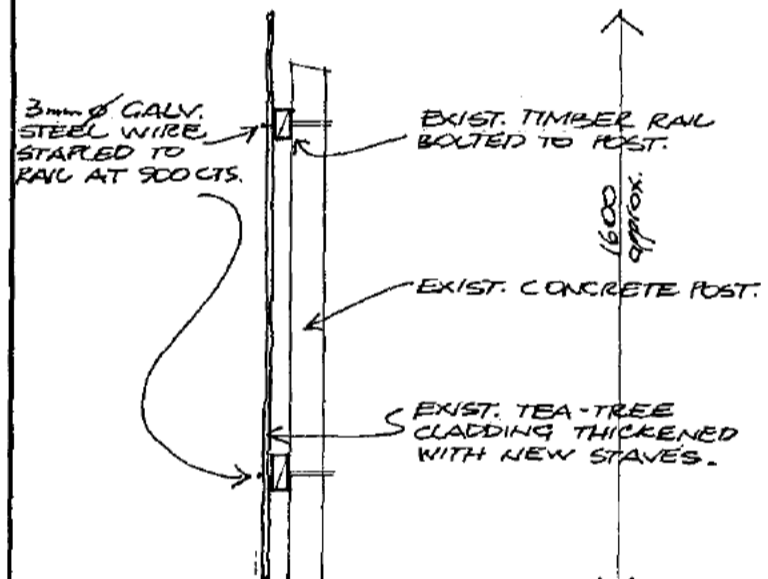
- ++++ STANDARD TIMBER PALING FENCE (NOM. 1500mm HIGH)
- |-|- TIMBER VERTICAL CLOSE BATTENED FENCE (NOM. 1500mm HIGH 1200mm MIN) EX 75x25 OREGON BATTENS SPACED 10mm APART.
- *-*-* EXIST. TEA TREE FENCE - TO BE THICKENED BY ADDITIONAL TEA TREE STAVES & UPGRADED FIXING BY CONTINUOUS WIRE STRANDS AT TOP & BOTTOM STAPLE FIXED TO SUPPORT RAIL AT 900mm CENTRES. (FENCE approx 1600mm HIGH)

GATE SCHEDULE

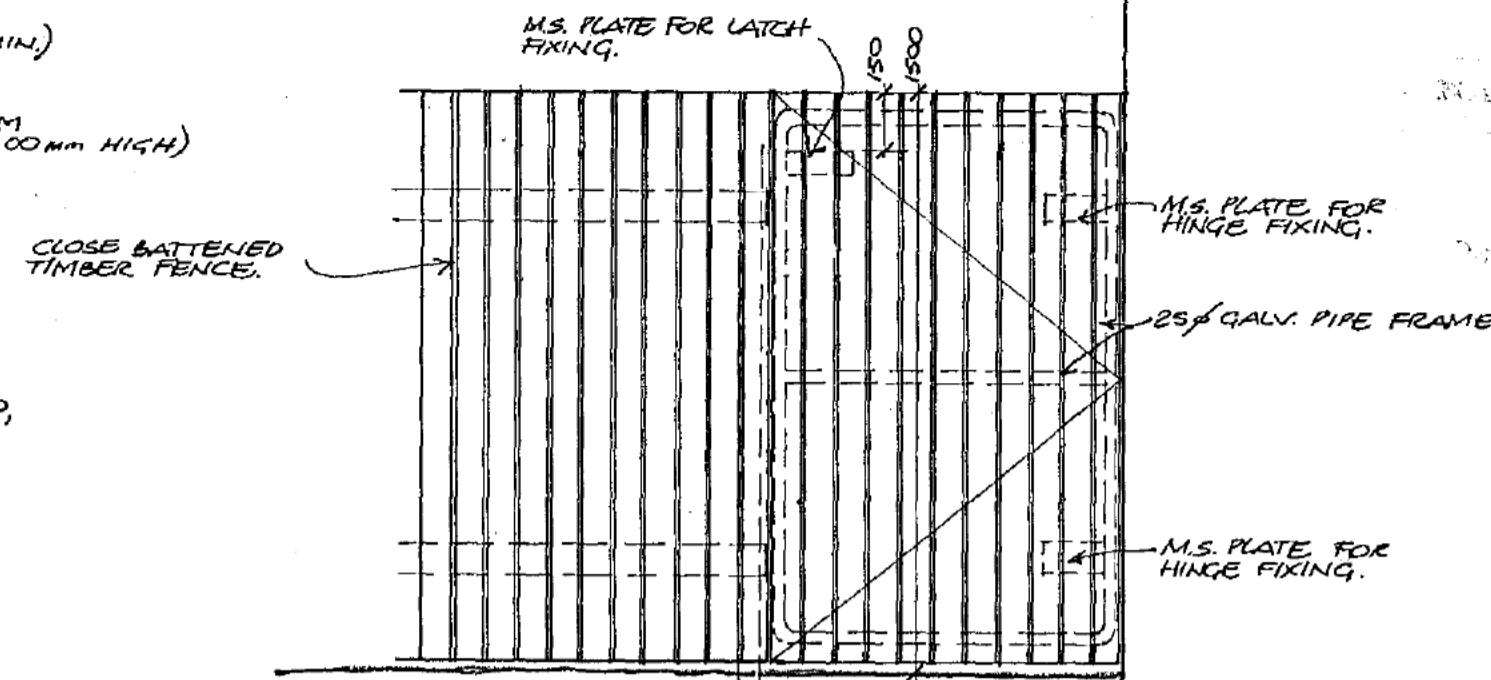
- G1 25mm Ø GALV. STEEL PIPE FRAME WITH M.S. PLATES WELDED TO FRAME AT POINTS SUITABLE FOR MOUNTING LATCH & HINGES.
- G2 SHEET OUTSIDE FACE OF GATE WITH TIMBER VERTICAL CLOSE BATTENED, SCREEN FIXED TO PIPE FRAME, TO MATCH FENCE.
- G4 - FIT 1/4" LANES SECURAGATE SPRING LATCH & 1/4" LANES SECURAGATE SPRING HINGES TO EACH GATE.
- LATCH TO BE MOUNTED MIN. 1200mm ABOVE FIN. GROUND.
- G3 EXIST. GALV. STEEL PIPE FRAME WITH M.S. PLATES FOR LATCH & HINGES FIXING AS ABOVE.
- THICKEN & UPGRADE FIXING OF EXIST. TEA TREE CLADDING AS FENCE.
- PROVIDE LATCH & HINGES AS ABOVE.



TYPICAL CLOSE BATTENED FENCE DETAIL 1:20

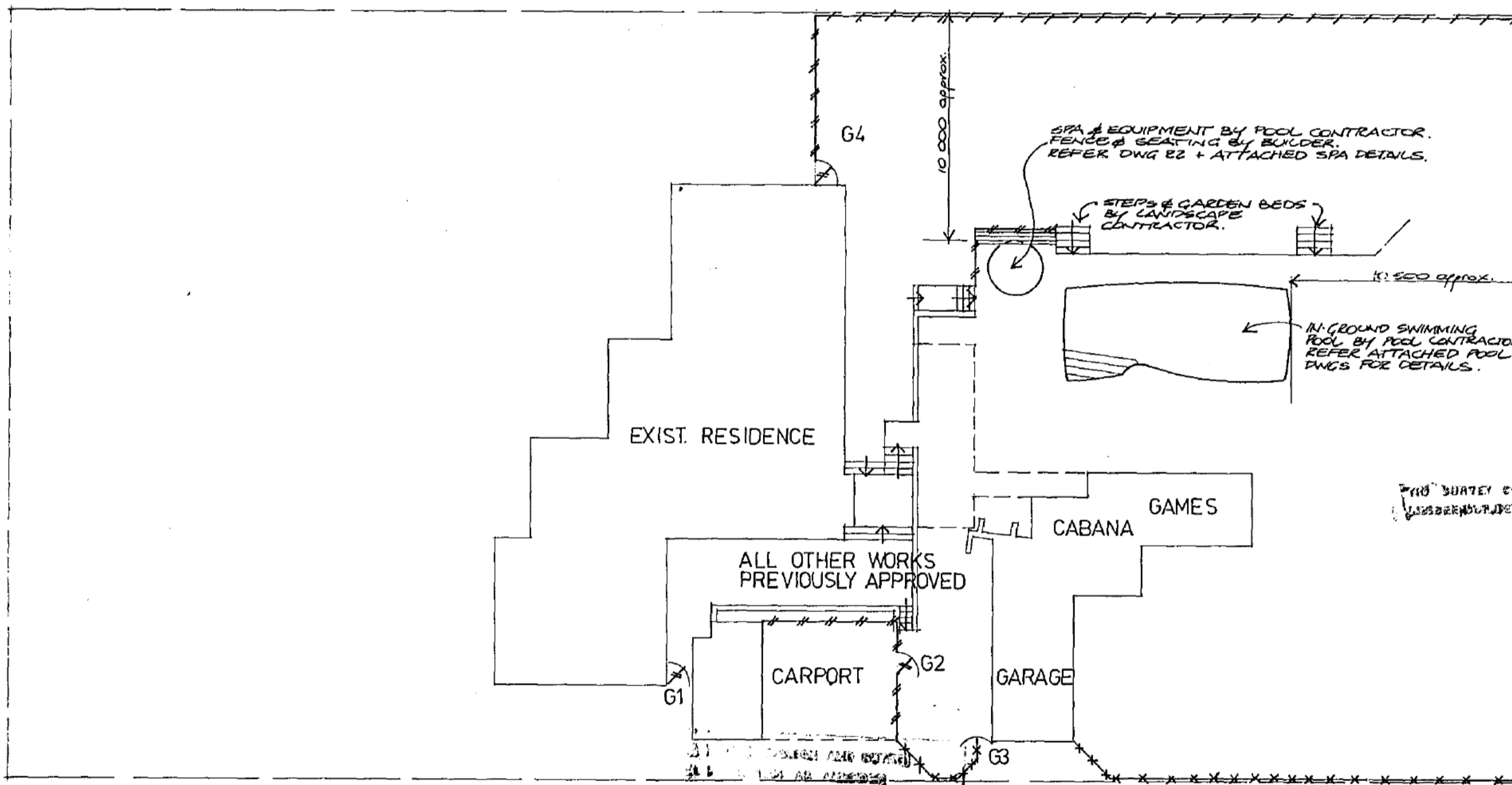


TEA TREE FENCE DETAIL 1:20



TYPICAL GATE DETAIL 1:20

FENCES AND GATES TO COMPLY WITH AS 1926.



PLAN 1:200

BUILDINGS (DESIGN AND SITING) ORDINANCE 1961 AS AMENDED
 APPROVAL GRANTED
 17 DEC 1981
 DELEGATE
 NATIONAL CAPITAL DEVELOPMENT COMMISSION

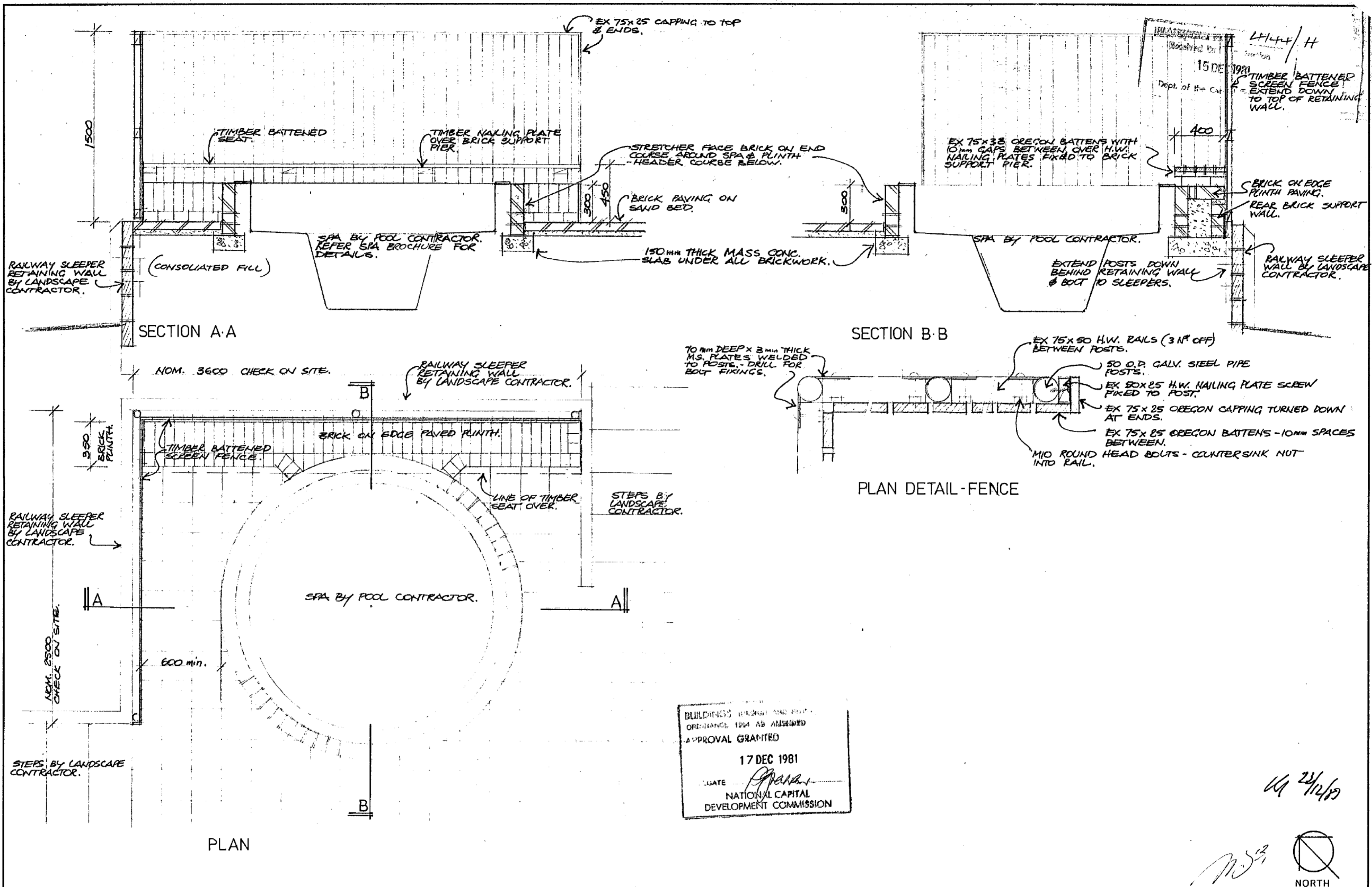
APPROVAL GRANTED
 17 DEC 1981
 DELEGATE
 NATIONAL CAPITAL DEVELOPMENT COMMISSION

THIS SET CONTAINS 3 SHEETS
 NUMBERED 183 TO 287
 INCLUSIVE AND SHOULD REMAIN INTACT.

6923/147

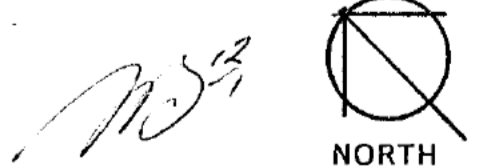


NOTES	LEGEND	REVISIONS	EXTENSIONS & ALTERATIONS TO RESIDENCE FOR Sch 2.2(a)(ii)
	D.P. NEW STORMWATER LINE	++++ PALING FENCE	
	EXISTING STORMWATER MAIN	- - - DITTO, STAINED, LAPPED & CAPPED	
	EXISTING SEWER MAIN	*-*-* WIRE MESH FENCE	
	EXISTING WATER MAIN	===== HORIZONTAL RAIL FENCE	
	HOSECOCK	++-++ VERTICAL BATTEN FENCE	
	ROTARY CLOTHES HOIST	- - - METAL PANEL FENCE	
	FOLOING CLOTHES HOIST	===== MASONRY FENCE WITH PIERS	
		===== DITTO, DOUBLE THICKNESS	
WORK SHALL CONFORM ALSO TO THE SPECIFICATIONS, OTHER DRAWINGS, JOB DIMENSIONS AND ALSO TO ALL REQUIREMENTS OF THE BUILDER. ANY SHOP DRAWINGS NECESSARY FOR THIS WORK SHALL BE SUBMITTED TO THE ARCHITECTS AND SIGNED BY THEM BEFORE WORK IS COMMENCED.			SITE PLAN / POOL, SPA, PERIMETER FENCING
			DRAWN BY Pc DATE dec 81 SCALE 1:200 JOB No. 8041 DWG. No. 24
			LEITH & BARTLETT PTY. LTD. ARCHITECTS, ENGINEERS, PLANNERS 217 NORTHBOURNE AVE., TURNER, A.C.T., 2601. TELEPHONE: 49 6077.



BUILDINGS DEPARTMENT AND CITY
ORDINANCE 1964 AS AMENDED
APPROVAL GRANTED
17 DEC 1981
DATE *[Signature]*
NATIONAL CAPITAL
DEVELOPMENT COMMISSION

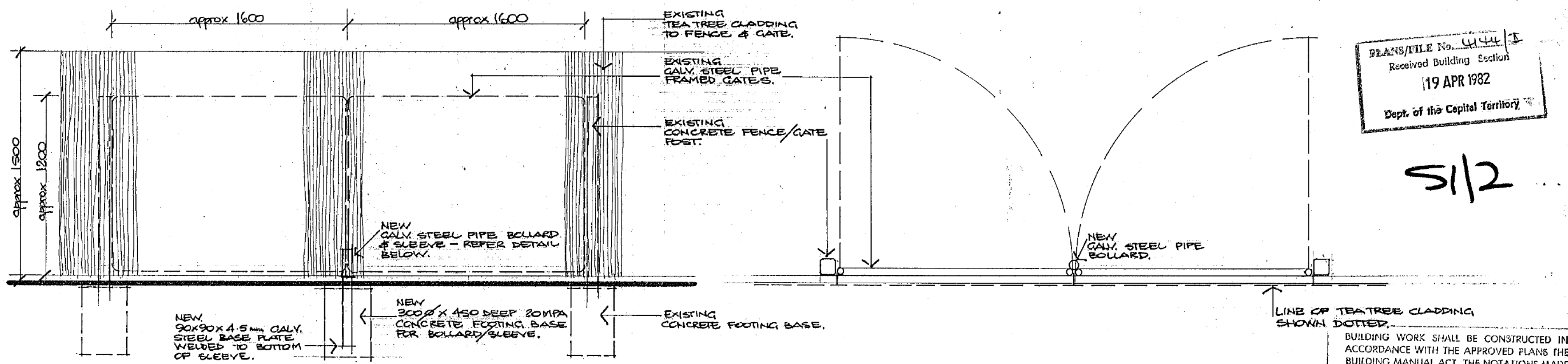
UA 21/12/81



NOTES	LEGEND	REVISIONS	EXTENSIONS & ALTERATIONS TO RESIDENCE FOR Sch 2.2(a)(ii)	
WORK SHALL CONFORM ALSO TO THE SPECIFICATIONS, OTHER DRAWINGS, JOB DIMENSIONS AND ALSO TO ALL REQUIREMENTS OF THE BUILDER. ANY SHOP DRAWINGS NECESSARY FOR THIS WORK SHALL BE SUBMITTED TO THE ARCHITECTS AND SIGNED BY THEM BEFORE WORK IS COMMENCED.	● D.P. NEW STORMWATER LINE ——— EXISTING STORMWATER MAIN - - - EXISTING SEWER MAIN - - - EXISTING WATER MAIN + HOSECOCK ○ ROTARY CLOTHES HOIST □ FOLDING CLOTHES HOIST	+ + + + PALING FENCE # # # # DITTO, STAINED, LAPPED & CAPPED * * * * WIRE MESH FENCE = = = = HORIZONTAL RAIL FENCE + + + + VERTICAL BATTEN FENCE + + METAL PANEL FENCE + + + + MASONRY FENCE WITH PIERS = = = = DITTO, DOUBLE THICKNESS		DRAWN BY <i>Pt</i> DATE 1-12-81 SCALE 1:20 1:5 JOB No. 8041 DWG. No. 22
				LEITH & BARTLETT PTY. LTD. ARCHITECTS, ENGINEERS, PLANNERS 217 NORTHBOURNE AVE., TURNER, A.C.T., 2601. TELEPHONE: 49 6077.

PLANS/FILE No. 4441
 Received Building Section
 19 APR 1982
 Dept. of the Capital Territory

5/12

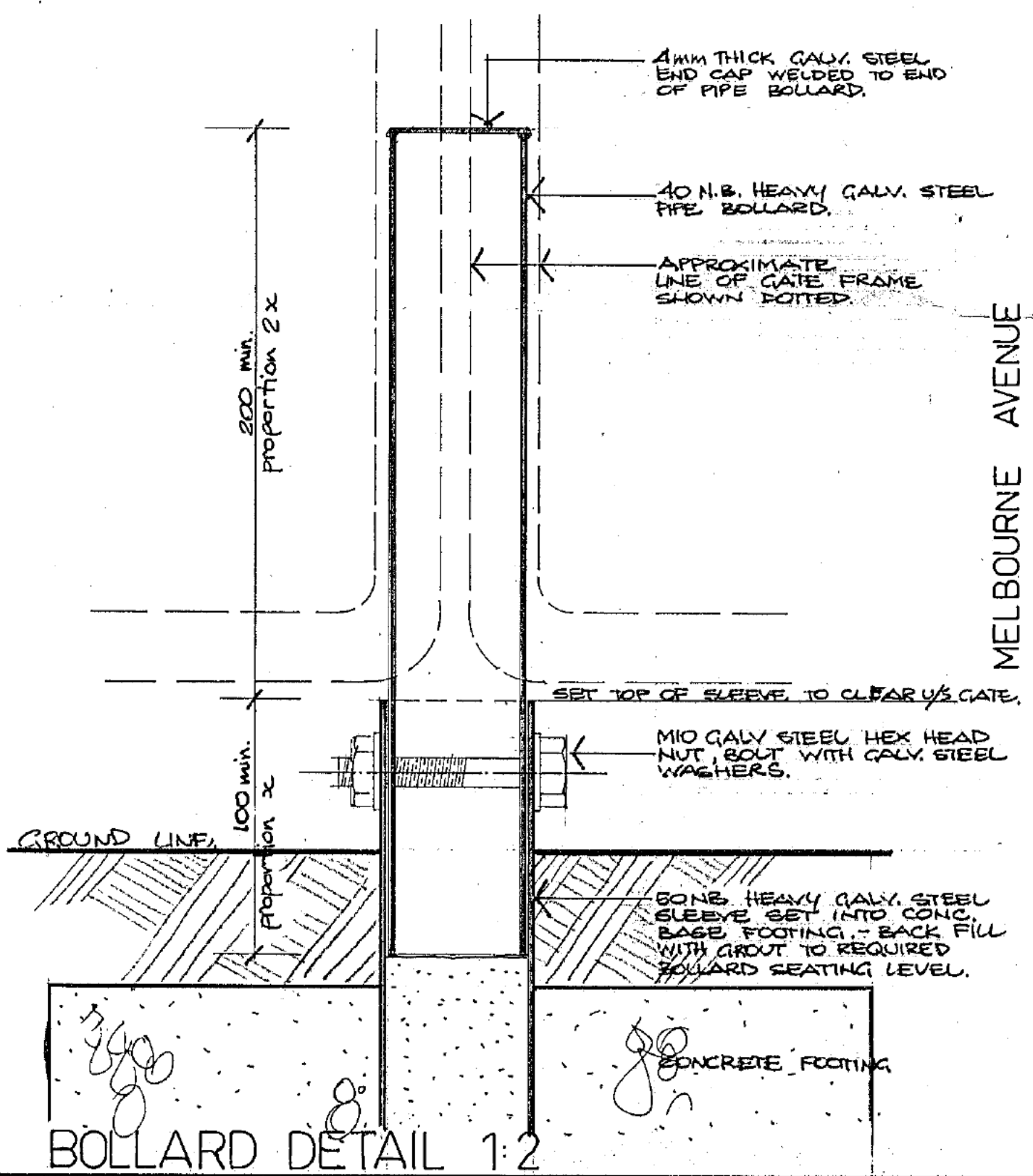


ELEVATION 1:20

PLAN 1:20

BUILDING WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS THE BUILDING MANUAL ACT, THE NOTATIONS MADE ON THE PLANS AND ANY MATTERS SPECIFIED ON THE BUILDING PERMIT. THE APPROVAL OF PLANS OR THE GRANT OF A BUILDING PERMIT DOES NOT AFFECT THE OPERATION OF ANY OTHER LAW IN THE TERRITORY, NOR DOES IT AUTHORISE THE USE OF THE LAND CONTRARY TO A PROVISION, COVENANT OR CONDITION OF LEASE.
 MODIFICATIONS IF APPLICABLE

NOTE
 The gates & bollard are to be locked as discussed with D.C.T. Senior Architect.
 The purpose of the gates is to allow occasional access to the pool area for landscaping and maintenance and are to be immediately relocked.



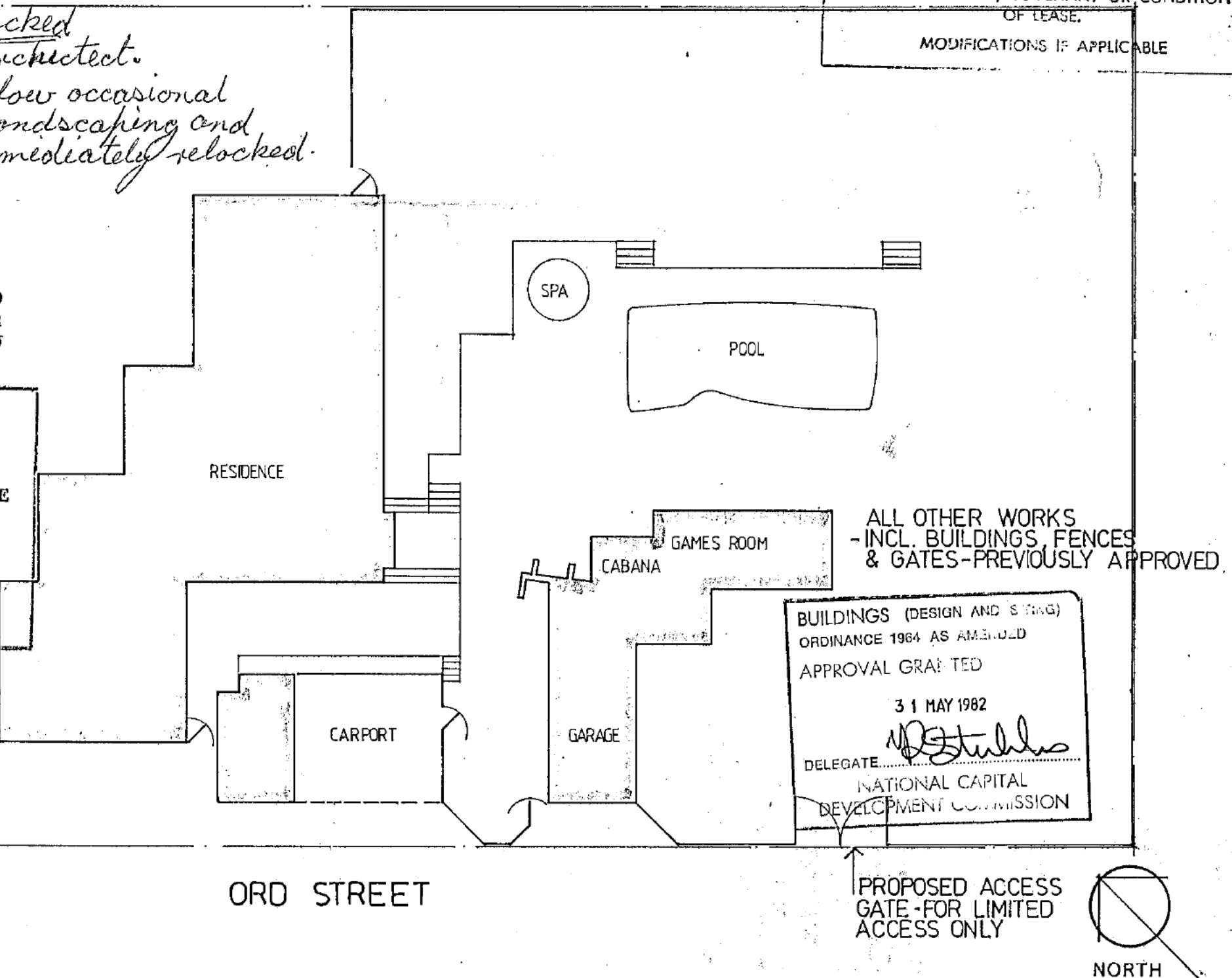
BOLLARD DETAIL 1:2

BLOCK 3 SECTION 2 FORREST
 APPROVED IN RESPECT OF NOMINATED AMENDMENTS No's ONLY. ANY OTHER VARIATIONS TO THE ORIGINALLY APPROVED PLAN ARE NOT APPROVED.

PLANS AND SPECIFICATIONS EXAMINED AND RECOMMENDED FOR APPROVAL BY	
ENGINEER FOR WATER SUPPLY AND SEWERAGE	1 / 19
CHIEF ELECTRICAL ENGINEER	1 / 19
STRUCTURAL ENGINEER	1 / 19

APPROVED FOR CONSTRUCTION BY THE HOLDER OF A CLASS " " LICENCE.
 CLASS OF OCCUPANCY: RESIDENCE I
 OUTBUILDINGS X
M. R. Lopez 4 JUN 1982
 DEPUTY BUILDING CONTROLLER

SITE PLAN 1:200



ALL OTHER WORKS - INCL. BUILDINGS, FENCES & GATES - PREVIOUSLY APPROVED.
 BUILDINGS (DESIGN AND STAMP) ORDINANCE 1964 AS AMENDED APPROVAL GRANTED
 31 MAY 1982
[Signature]
 DELEGATE NATIONAL CAPITAL DEVELOPMENT COMMISSION

PROPOSED ACCESS GATE - FOR LIMITED ACCESS ONLY

NOTES
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LEGEND		REVISIONS	
○ D.P.	NEW STORMWATER LINE	++++	PALING FENCE
—	EXISTING STORMWATER MAIN	---#---	DITTO, STAINED, LAPPED & CAPPED
---	EXISTING SEWER MAIN	xxx	WIRE MESH FENCE
- - -	EXISTING WATER MAIN	====	HORIZONTAL RAIL FENCE
⊙	HOSECOCK	+++	VERTICAL BATTEN FENCE
○	ROTARY CLOTHES HOIST	++	METAL PANEL FENCE
□	FOLDING CLOTHES HOIST	—	MASONRY FENCE WITH PIERS
		—	DITTO, DOUBLE THICKNESS

EXTENSION & ALTERATION TO RESIDENCE FOR **Sch 2.2(a)(ii)**
 PROPOSED LIMITED ACCESS GATE
 DRAWN BY *[Signature]* DATE APRIL 82 SCALE 1:200 1:20 1:2 JOB No. 8041 DWG. No. 28
 LEITH & BARTLETT PTY. LTD. ARCHITECTS, ENGINEERS, PLANNERS
 217. NORTHBOURNE AVE., TURNER, A.C.T., 2601. TELEPHONE: 49 6077.

MELBOURNE AVENUE

FRONT BOUNDARY

BLOCK 2

BLOCK 3 / SECTION 2

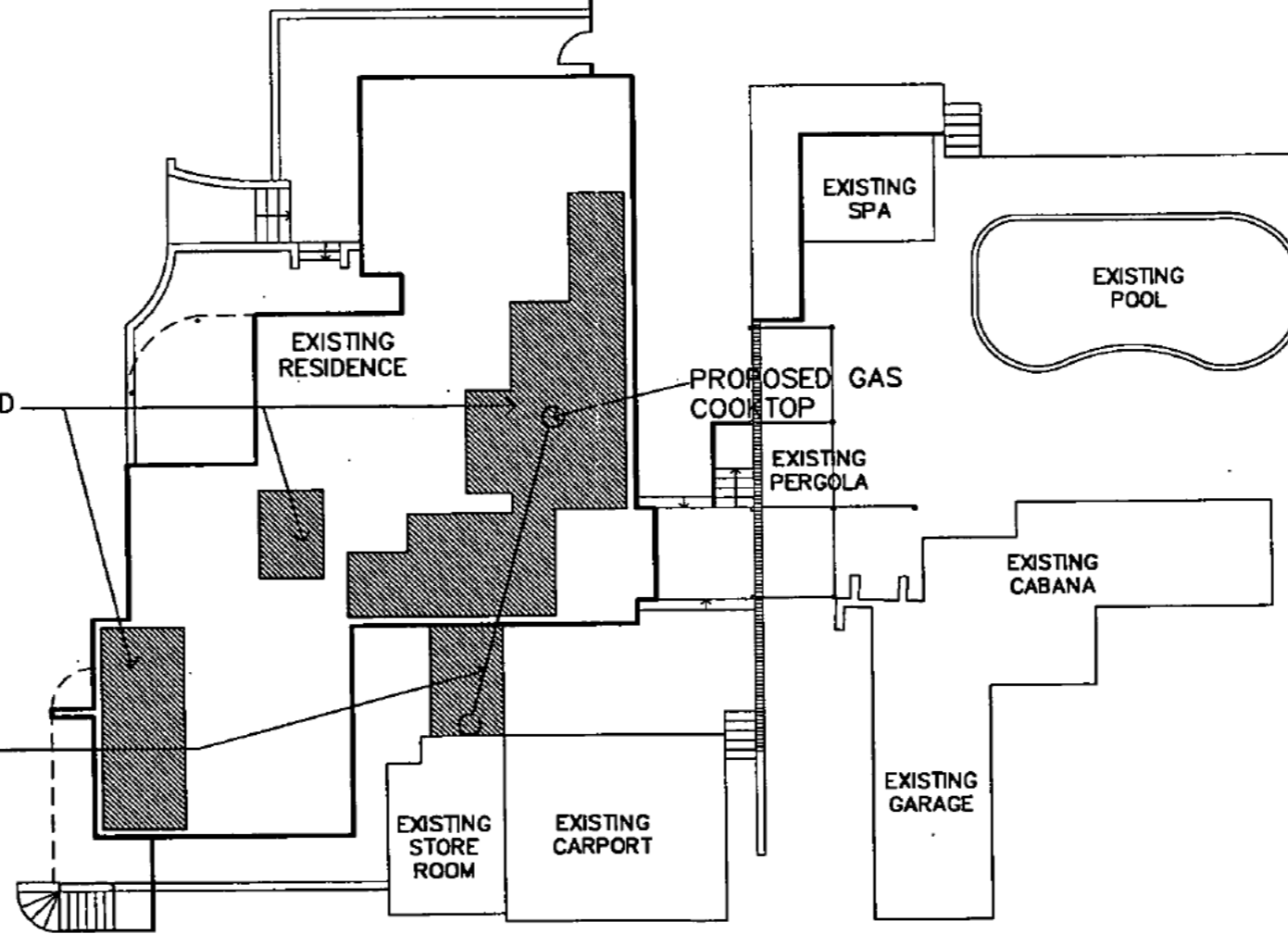
BOUNDARY

BOUNDARY

ORD STREET

ZONE OF PROPOSED INTERNAL WORKS

PROPOSED GAS PIPING UNDER BRICK PAVING



Plan No:
 3 AUG 2001
 Received BEPCON
 URBAN SERVICES DEPT



Issue Register		
Ref.	Date	Issue/Amendment

Plan No: 012904A
 3 AUG 2001
 Received BEPCON
 URBAN SERVICES DEPT

ALL DIMENSIONS IN MILLIMETRES. DO NOT SCALE DRAWING.
 ALL DIMENSIONS AND LEVELS TO BE VERIFIED ON SITE BY
 CONTRACTOR BEFORE COMMENCING ANY WORK OR PREPARATION
 OF SHOP DRAWINGS. WHERE PROVIDED DRAWINGS
 MUST BE READ IN CONJUNCTION WITH THE SPECIFICATION.



ABN 61061863320 Member Professional Centre, Member ACT 2014
 Phone (02) 6256 1520 Fax (02) 6256 2921 PO BOX 262

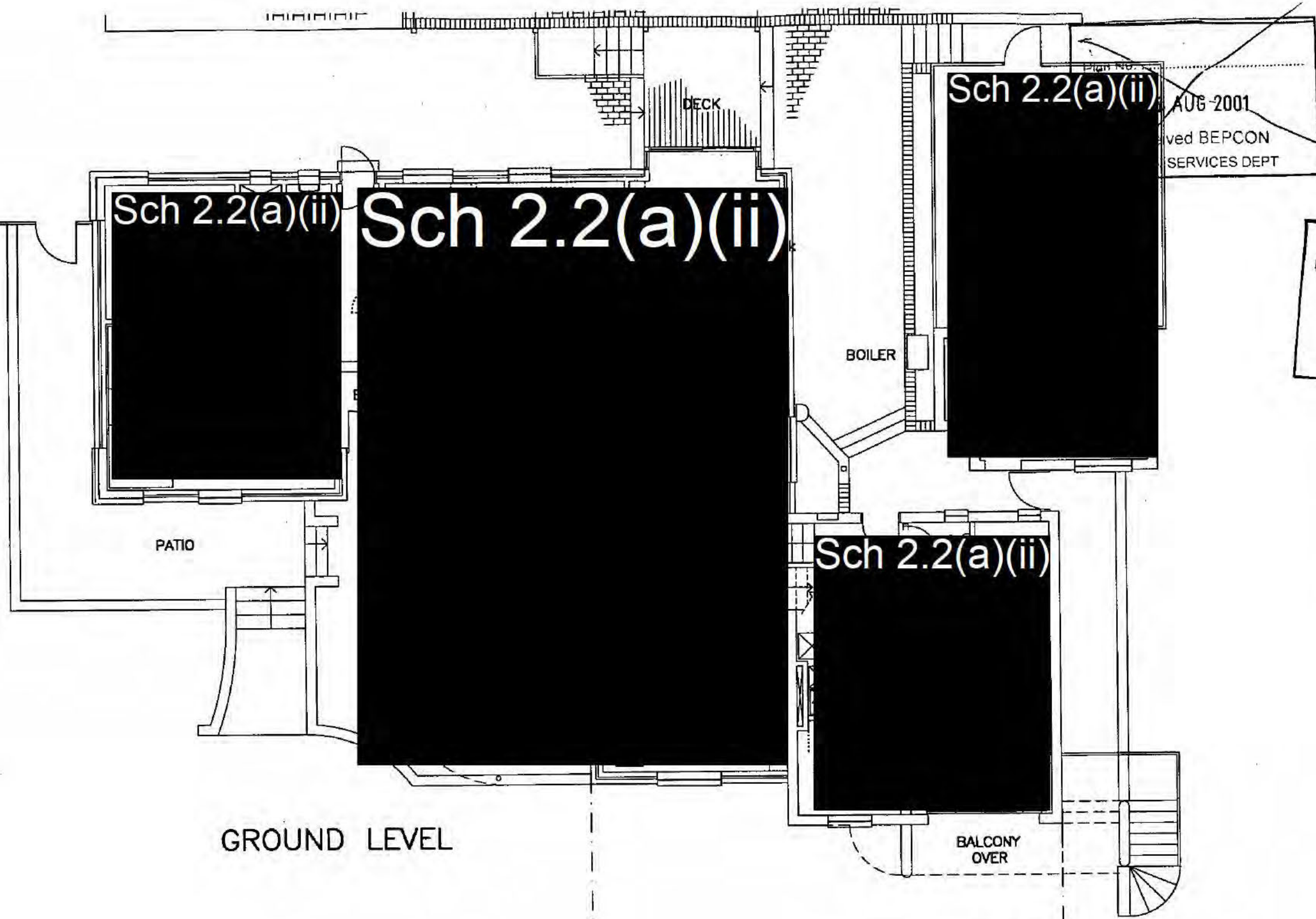
Project Title:
**INTERNAL ALTERATIONS
 TO EXISTING RESIDENCE**
 Client: **Sch 2.2(a)(ii)**
 Address:
 43 MELBOURNE AVE (CNR. ORD ST.)
 Unit Block Section Division
 3 2 FORREST

Drawing Title:
SITE PLAN

Drawn: FRM Director: *Quinton*
 Reviewed: Verifier:
 Scale: 1:200 Date: AUG 01
 Project No.: 2K52 CAD Name: C/2K52/plan

Drawing No.: 2k52 Sheet No.: A01 Issue No.:
 © Copyright

This set of plans contains 11 sheets
 Numbered 2 of 11



GROUND LEVEL

UPPER LEVEL

LEGEND:

- WALLS TO BE DEMOLISHED
(install roof beams as per schedule)
- OTHER ITEMS TO BE
DEMOLISHED/DISMOUNTED/REUSED
- NEW DOORWAYS
(install lintels as per schedule)

IMPORTANT NOTE:

REFER TO THE SCHEDULE
OF WORK FOR HERITAGE
ITEMS TO BE SALVAGED

*All demolition to
AS 2601*

Sch 2.2(a)(ii)

AUG 2001

Received BEPCON
SERVICES DEPT

Sch 2.2(a)(ii)

Sch 2.2(a)(ii)

BOILER

Sch 2.2(a)(ii)

BALCONY
OVER

Sch 2.2(a)(ii)

Sch 2.2(a)(ii)



Issue Register

Ref.	Date	Issue/Amendment

Plan No. 012904/A
03 AUG 2001
Received BEPCON
URBAN SERVICES DEPT

ALL DIMENSIONS IN MILLIMETRES. DO NOT SCALE DRAWING.
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CONTRACTOR BEFORE COMMENCING ANY WORK OR PREPARATION
OF SHOP DRAWINGS. WHERE PROVIDED DRAWINGS
MUST BE READ IN CONJUNCTION WITH THE SPECIFICATION.



**Small + Quinton
Architects**

ABN 61081683390 Hawker Professional Centre, Hawker ACT 2614
Phone (02) 6255 1520 Fax (02) 6255 2821 PO BOX 262

Project Title:

INTERNAL ALTERATIONS
TO EXISTING RESIDENCE

Client: Sch 2.2(a)(ii)

Address:

43 MELBOURNE AVE (CNR. ORD ST.)
Unit Block Section Division
3 2 FORREST

Drawing Title:

DEMOLITION PLAN
MAIN RESIDENCE

Drawn: FRM/OK Director: *Small*

Reviewed: Verifier:

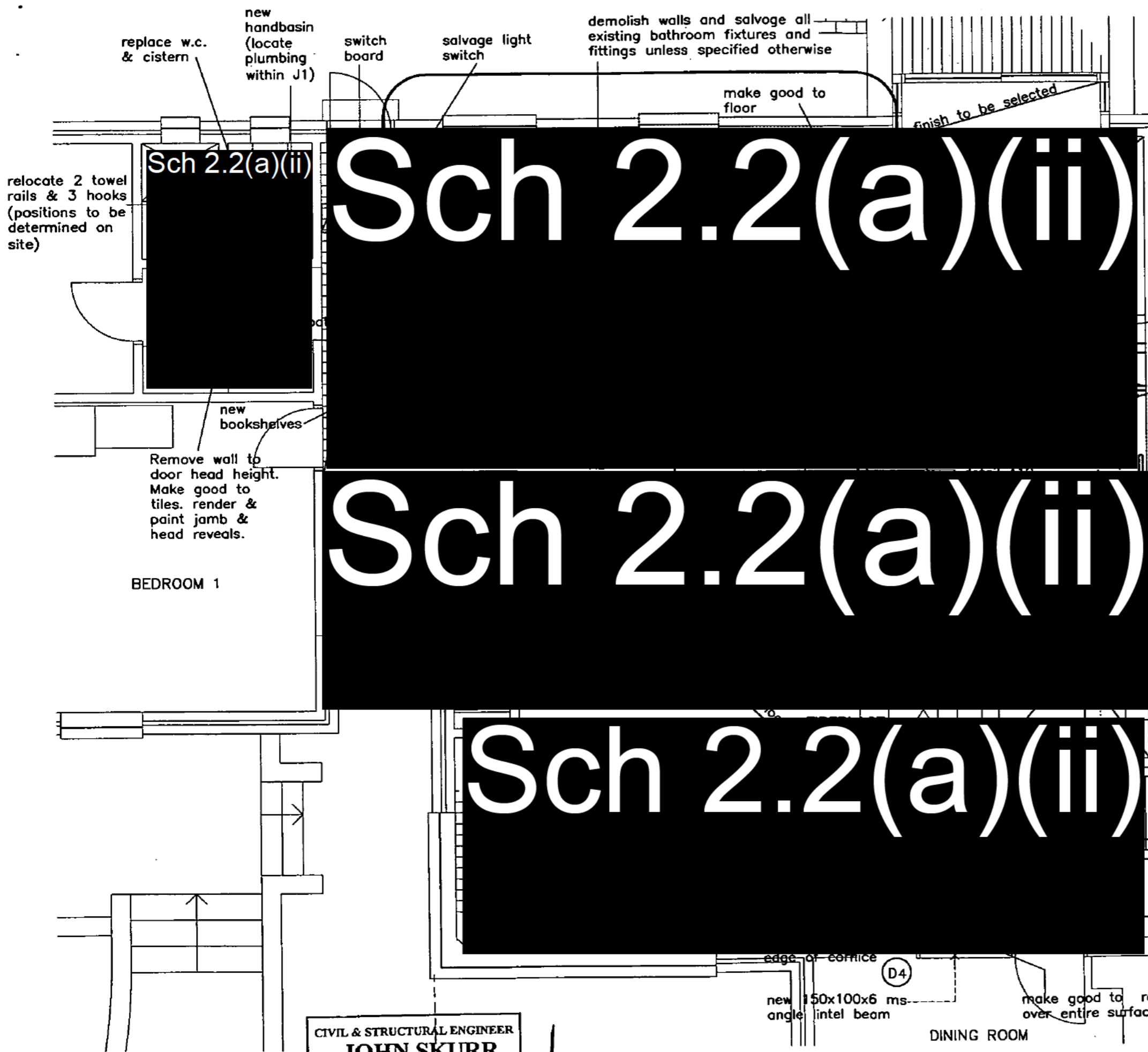
Scale: 1:100 Date: Aug 01

Project No.: 2K52 CAD Name: C/2K52/plan

Drawing No.: 2k52 Sheet No.: A02 Issue No.:

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This set of plans contains 11 sheets
Numbered 3 of 11



NOTE :

- * check these dimensions on site
- walls, doors & fixtures to be removed

- RB rendered brickwall
- PA partition type A render on lothed timber frame 90x45 to match adjacent surfaces.
- PB partition type B plaster board lined stud partition (90x45)
- Relocate & adapt existing meals room bookcase into this position
- remove & salvage all existing kitchen joinery unless noted otherwise.
- lay supply gas pipework to new kitchen cooktop from existing supply. make good to brick paving.



Issue Register		
Ref.	Date	Issue/Amendment
Plan No:		
	12 AUG 2001	Received BEPCON URBAN SERVICES DEPT

Plan No:	D1294/A
	03 AUG 2001
	Received BEPCON URBAN SERVICES DEPT

ALL DIMENSIONS IN MILLIMETRES. DO NOT SCALE DRAWING. ALL DIMENSIONS AND LEVELS TO BE VERIFIED ON SITE BY CONTRACTOR BEFORE COMMENCING ANY WORK OR PREPARATION OF SHOP DRAWINGS. WHERE PROVIDED DRAWINGS MUST BE READ IN CONJUNCTION WITH THE SPECIFICATION.



ABN 8108183350 Member Professional Centre, Member ACT 2014
Phone (02) 6255 1520 Fax (02) 6255 2821 PO BOX 282

Project Title:
INTERNAL ALTERATIONS TO EXISTING RESIDENCE
Client: Sch 2.2(a)(ii)
Address:
43 MELBOURNE AVE
Unit: 3 Block: 2 Section: 2 Division: FORREST

Drawing Title:
PROPOSED FLOOR PLAN PART GROUND LEVEL

Drawn: FRM/AR **Director:** [Signature]
Reviewer: [Signature] **Verifier:** [Signature]
Scale: 1:50 **Date:** Aug 01
Project No.: 2K52 **CAD Name:** C/2K52/plan
Drawing No.: 2k52 **Sheet No.:** A03 **Issue No.:** [Blank]
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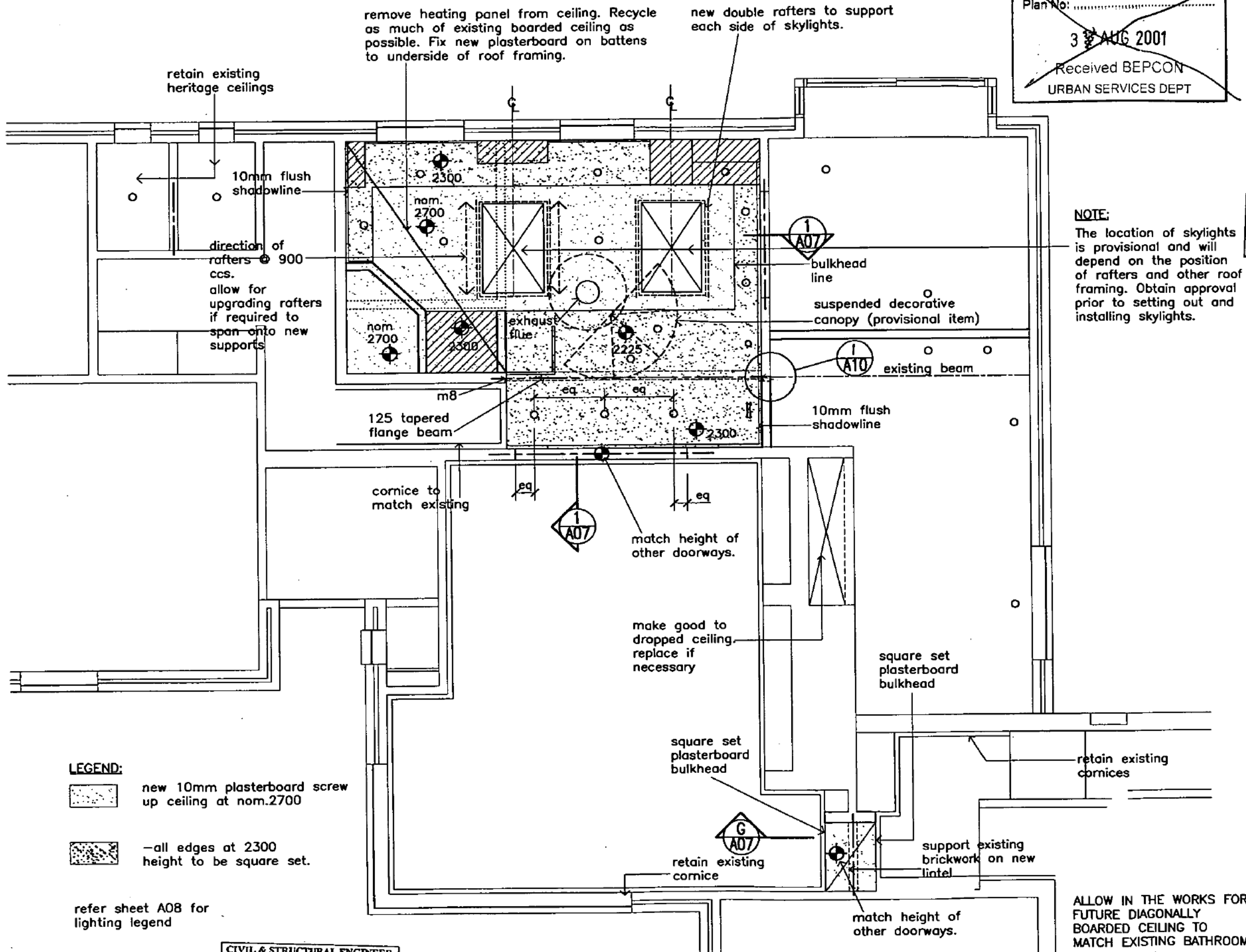
CIVIL & STRUCTURAL ENGINEER
JOHN SKURR
BE CIVIL (IONS) MIE AUST. NPER-3
7 Eleanora Street, FISHER, 2611
TEL / FAX 02 62880163

15.8.1

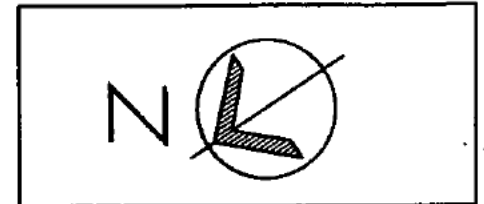
This set of plans contains 11 sheets
Numbered 4 of 11

REFER TO SHEET A09 FOR LOWER GROUND FLOOR

SHEET A09



Plan No:
~~3 AUG 2001~~
 Received BEPCON
 URBAN SERVICES DEPT



Issue Register		
Ref.	Date	Issue/Amendment

Plan No: 012904/A
 03 AUG 2001
 Received BEPCON
 URBAN SERVICES DEPT

NOTE:
 The location of skylights is provisional and will depend on the position of rafters and other roof framing. Obtain approval prior to setting out and installing skylights.

ALL DIMENSIONS IN MILLIMETRES. DO NOT SCALE DRAWING.
 ALL DIMENSIONS AND LEVELS TO BE VERIFIED ON SITE BY CONTRACTOR BEFORE COMMENCING ANY WORK OR PREPARATION OF SHOP DRAWINGS. WHERE PROVIDED DRAWINGS MUST BE READ IN CONJUNCTION WITH THE SPECIFICATION.

Small + Quinton Architects
 AGM 0101663350 Holder Professional Certificate, Holder ACT 2014
 Phone (02) 6258 1520 Fax (02) 6258 2021 PO BOX 262

Project Title:
INTERNAL ALTERATIONS TO EXISTING RESIDENCE
 Client: **Sch 2.2(a)(ii)**
 Address:
 43 MELBOURNE AVE (CNR ORD ST.)
 Unit Block Section Division
 3 2 FORREST

Drawing Title:
PROPOSED CEILING PLAN PART GROUND LEVEL

Drawn: FRW/PR Director: *Quinton*
 Reviewed: Verifier:
 Scale: 1:50 Date: Aug 01
 Project No.: 2K52 CAD Name: C/2K52/plan
 Drawing No.: 2K52 Sheet No.: A04 Issue No.:
 © Copyright

LEGEND:
 new 10mm plasterboard screw up ceiling at nom.2700
 -all edges at 2300 height to be square set.

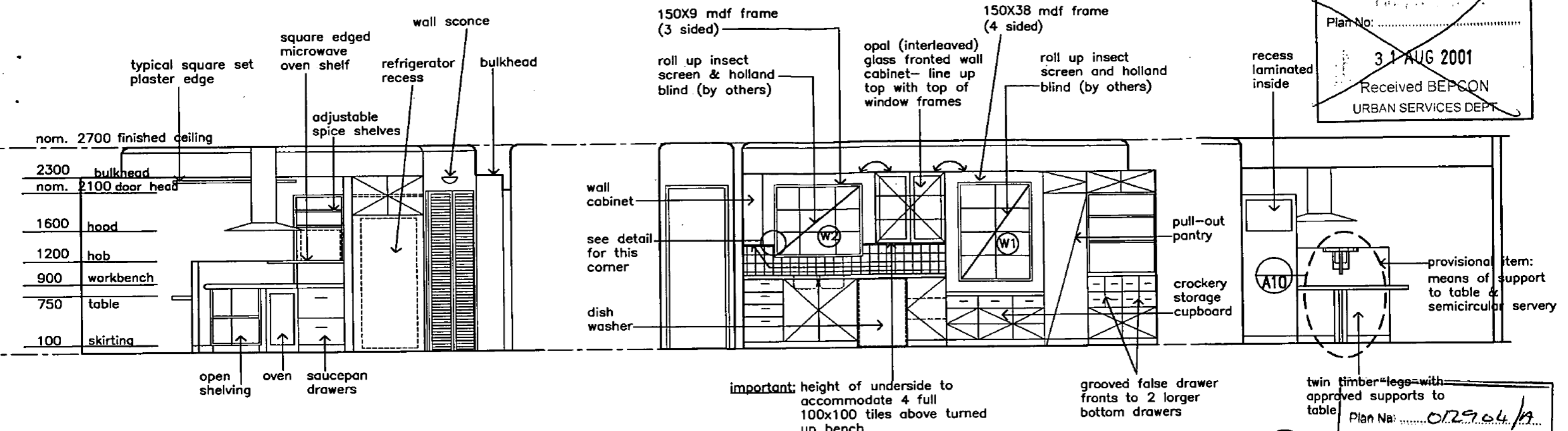
refer sheet A08 for lighting legend

CIVIL & STRUCTURAL ENGINEER
JOHN SKURR
 BE CIVIL (HONS) AUST. CPEng. MBER ENG. REG.
 ABN & GST No 30 311 807 893
 7 Eleanora Street FISHER
 PO Box 63 FISHER ACT 2611
 Ph/fax: 6288 0163

15-8-1

This set of plans contains 11 sheets
 Numbered 5 of 11

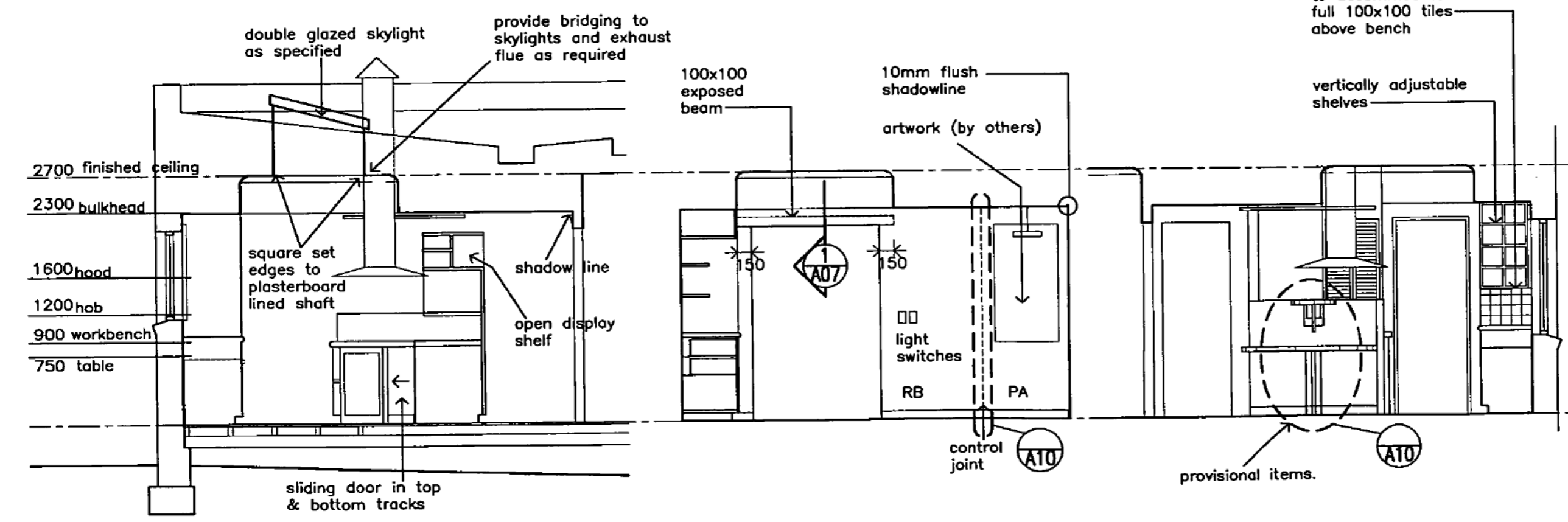
Plan No:
 31 AUG 2001
 Received BEPCON
 URBAN SERVICES DEPT



A
A03
ELEVATION

B
A03
ELEVATION

C
A03
ELEVATION
 Plan No: 012904/A
 05 AUG 2001
 Received BEPCON
 URBAN SERVICES DEPT



D
A03
ELEVATION

E
A03
ELEVATION

F
A03
ELEVATION

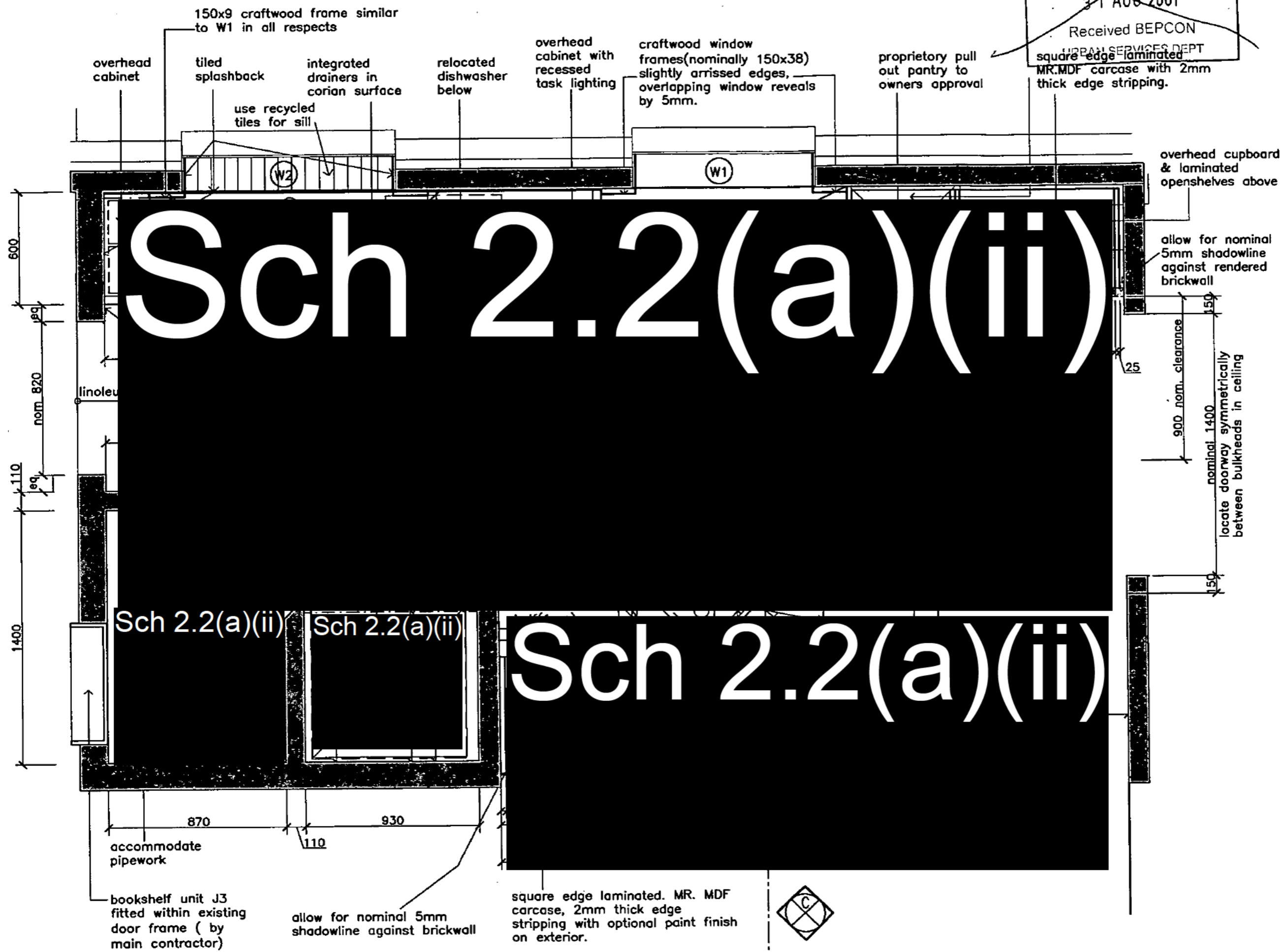
Small + Quinton Architects
 ABN 81091883350
 Holder Professional Centre, Holder ACT 2814
 Phone (02) 8253 1520 Fax (02) 8255 2821 PO BOX 282

Project Title:
INTERNAL ALTERATIONS TO EXISTING RESIDENCE
 Client: **Sch 2.2(a)(ii)**
 Address:
 43 MELBOURNE AVE (CNR. ORD ST.)
 Unit Block Section Division
 3 2 FORREST

Drawing Title:
KITCHEN ELEVATIONS

Drawn: FRM Director: *[Signature]*
 Reviewed: Verifier:
 Scale: 1:50 Date: Aug 01
 Project No.: 2K52 CAD Name: C/2K52/ele_prop
 Drawing No.: 2k52 Sheet No.: A05 Issue No.:
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Plan No: ~~.....~~
 31 AUG 2001
 Received BEPCON
 URBAN SERVICES DEPT
 square edge laminated MR. MDF carcass with 2mm thick edge stripping.



Issue Register		
Ref.	Date	Issue/Amendment
Plan No: 012404/4	03 AUG 2001	Received BEPCON URBAN SERVICES DEPT

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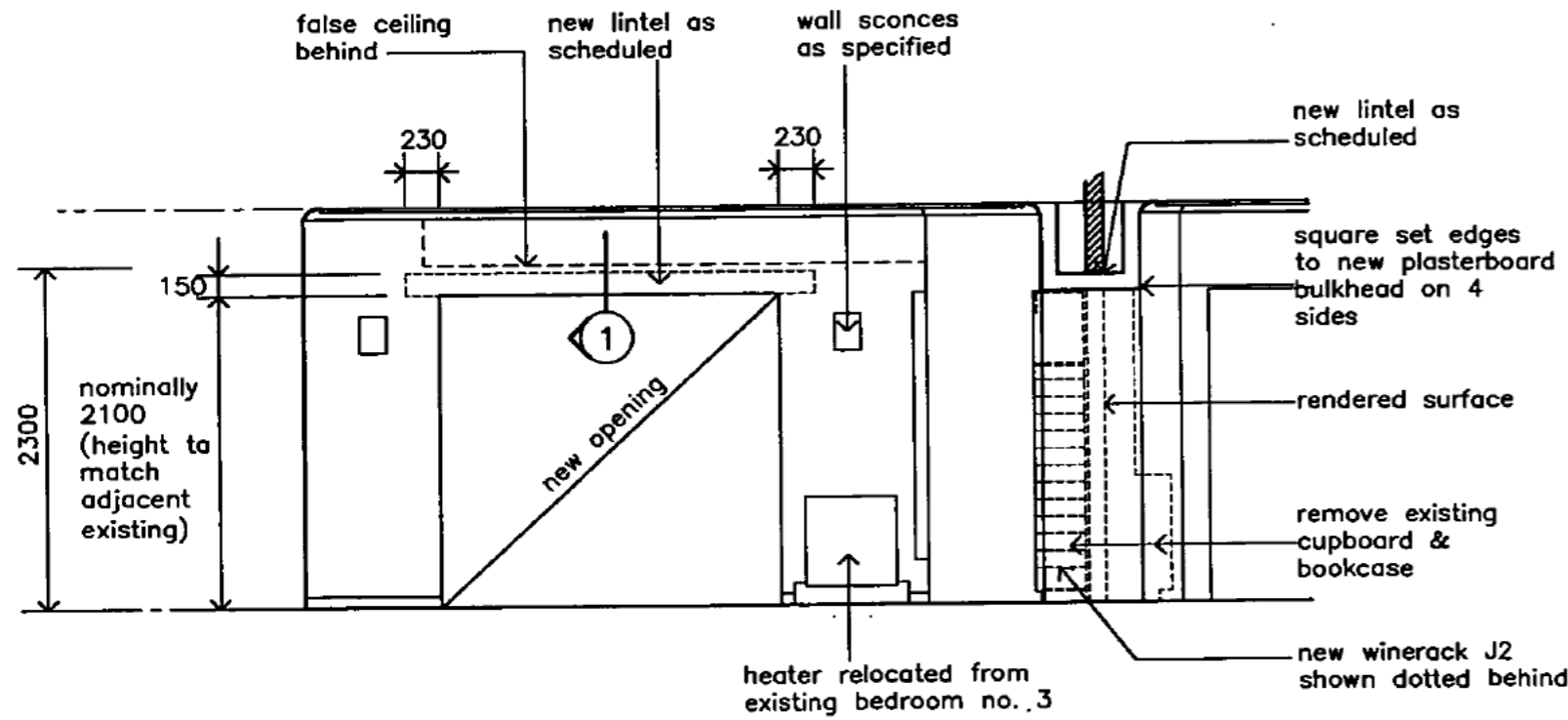
Project Title:
INTERNAL ALTERATIONS TO EXISTING RESIDENCE
 Client: **Sch 2.2(a)(ii)**
 Address:
 43 MELBOURNE AVE (CNR. ORD ST.)
 Unit Block Section Division
 3 2 FORREST

Drawing Title:
PROPOSED KITCHEN LAYOUT

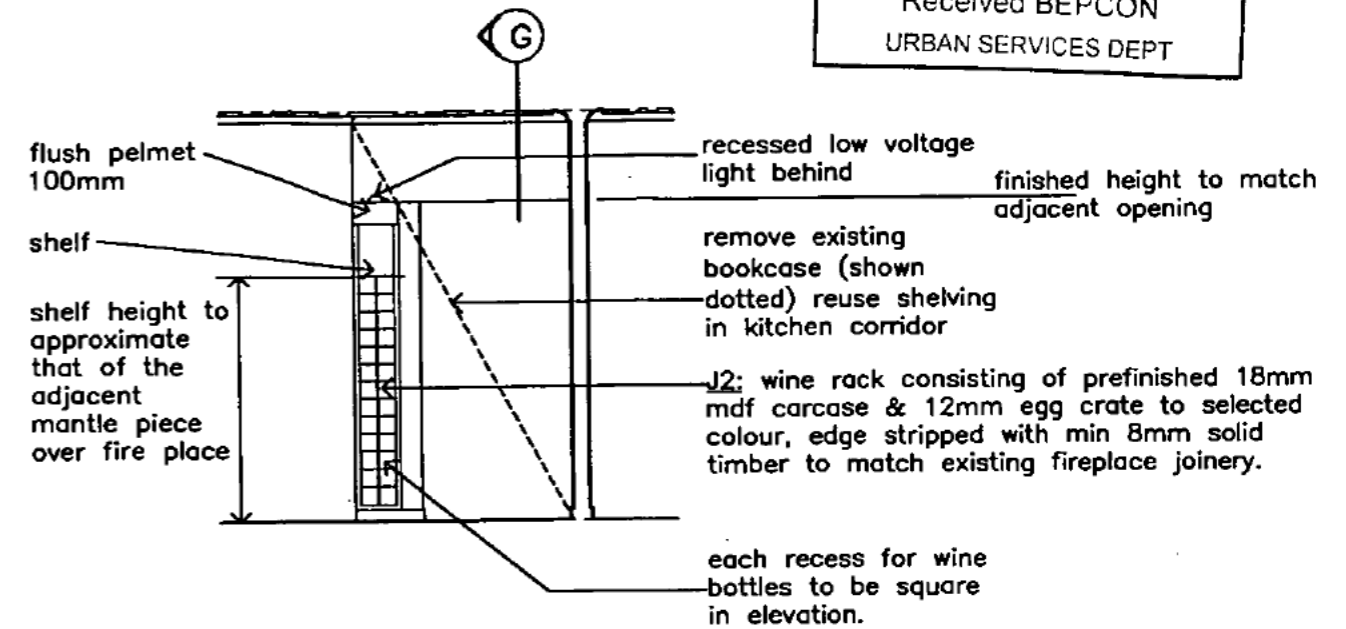
Drawn: FRM Director: *Quinton*
 Reviewed: Verifier:
 Scale: 1:20 Date: Aug 01
 Project No.: 2K52 CAD Name: C/2K52/plan
 Drawing No.: 2k52 Sheet No.: A06 Issue No.:
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This set of plans contains 11 sheets
 Numbered 7 of 11

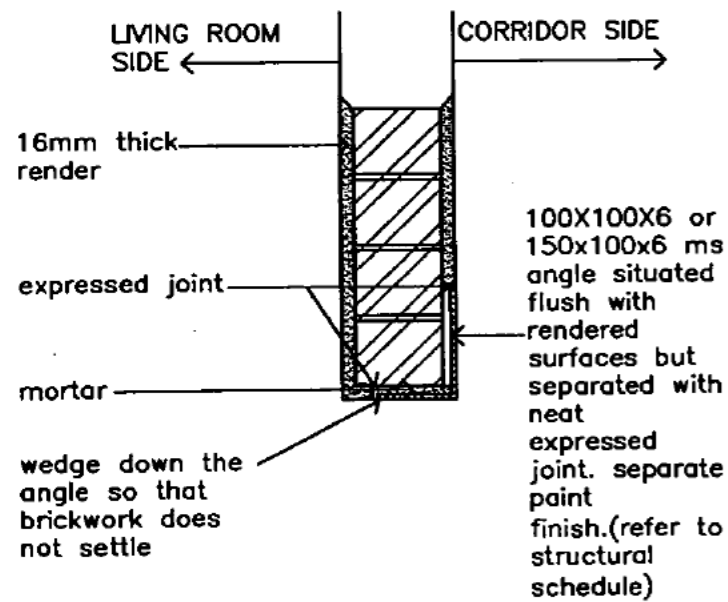
Plan No: 012902/A
 03 AUG 2001
 Received BEPCON
 URBAN SERVICES DEPT



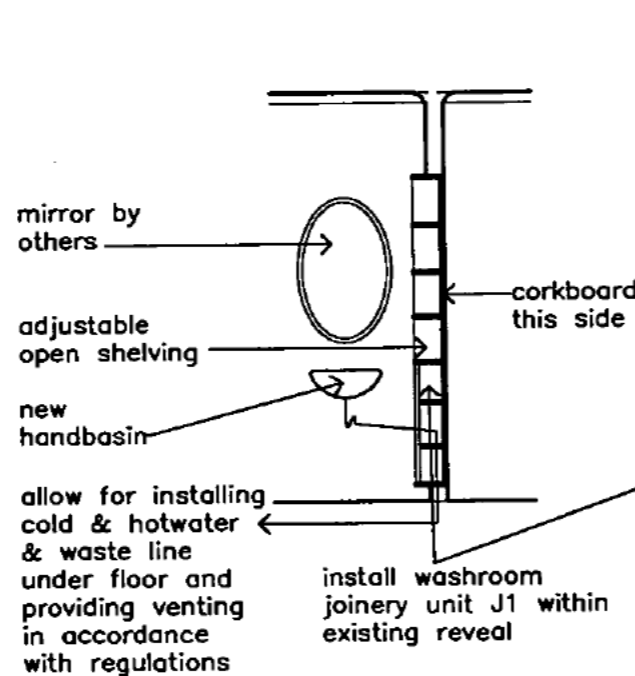
G ELEVATION
 A03



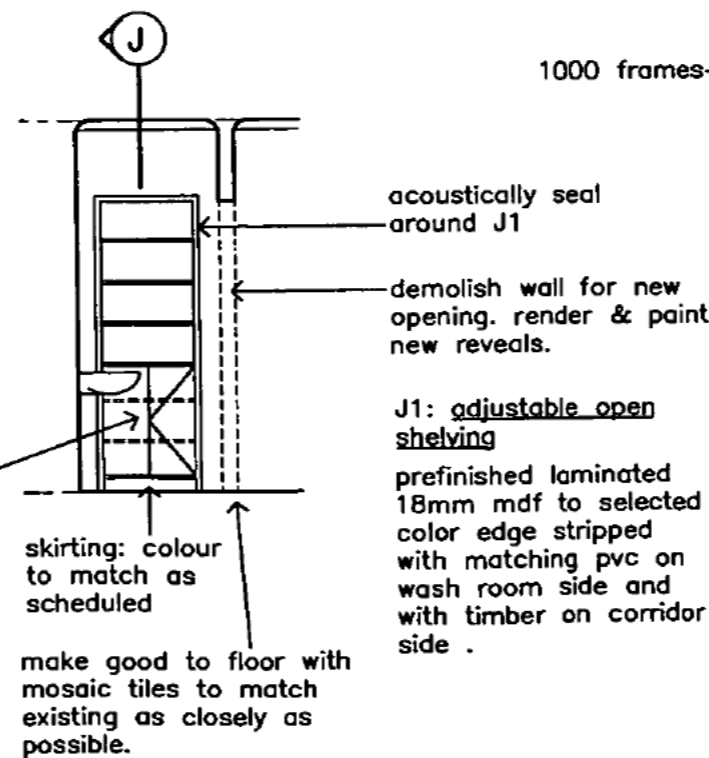
H ELEVATION
 A03



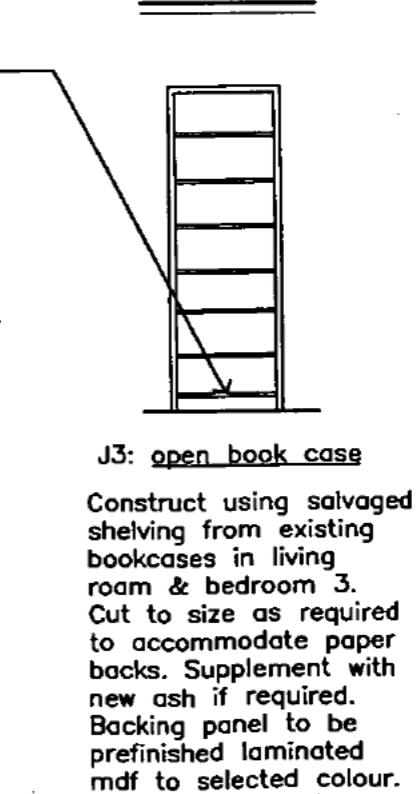
DETAIL — 1
 A05,7



J ELEVATION
 A03



K ELEVATION
 A03



L ELEVATION
 A03

Small + Quinton Architects
 ABN 61091693350 Hasker Professional Centre, Hasker ACT 2614
 Phone (02) 6255 1520 Fax (02) 6255 2621 PO BOX 262

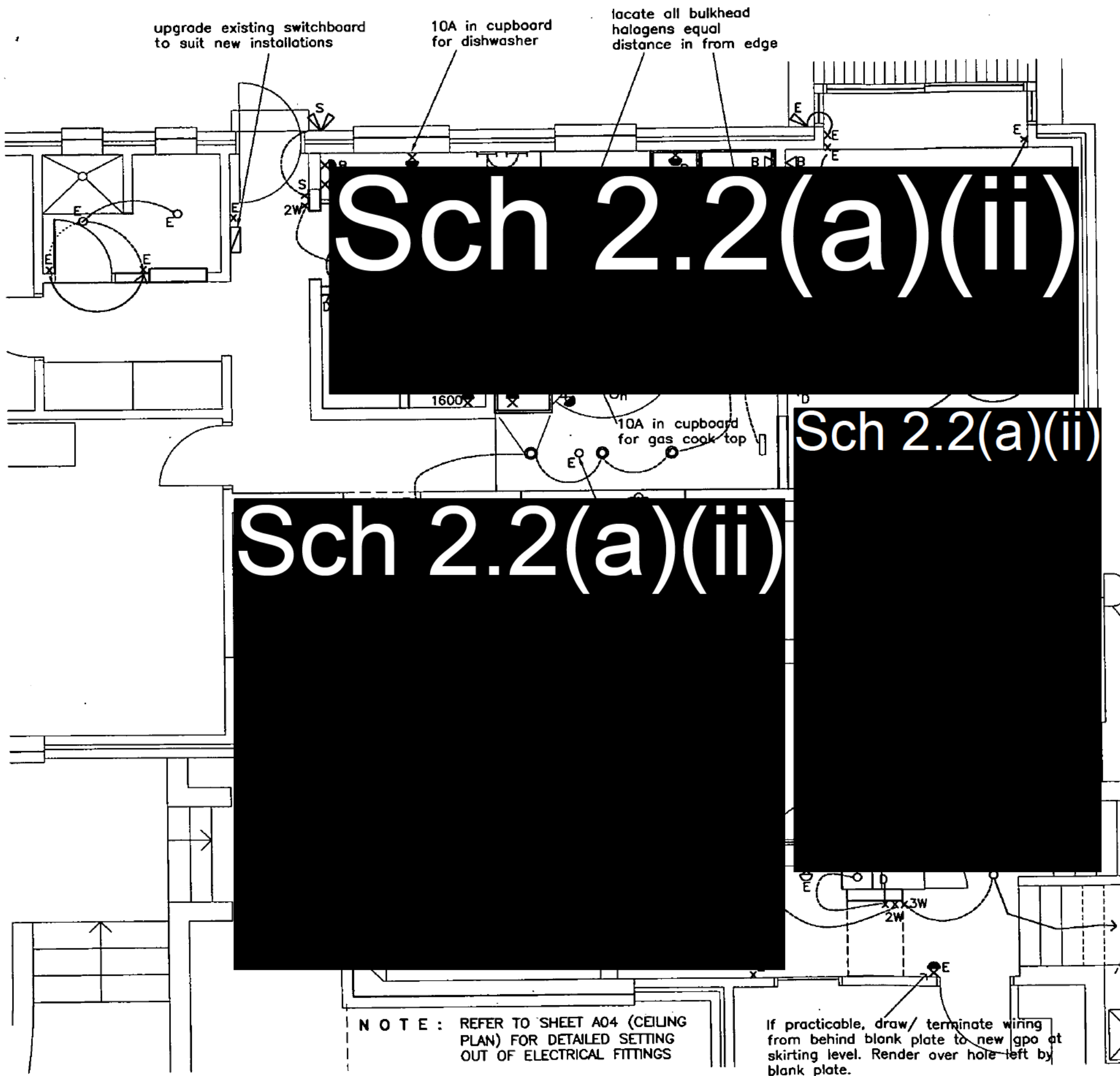
Project Title:
INTERNAL ALTERATIONS TO EXISTING RESIDENCE
 Client: **Sch 2.2(a)(ii)**

Address:
 43 MELBOURNE AVE (CNR. ORD ST.)
 Unit Block Section Division
 3 2 FORREST

Drawing Title:
INTERNAL ELEVATIONS

Drawn: FRM Director: *[Signature]*
 Reviewer: Verifier:
 Scale: 1:50 Date: Aug 01
 Project No.: 2K52 CAD Name: C/2K52/ele_prop
 Drawing No.: 2k52 Sheet No.: A07 Issue No.:
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 Numbered 8 of 11



LEGEND

- LUMINAIRES** (refer to schedule):
- p_E existing light (wall)
 - o_E existing light (ceiling)
 - v_E existing spotlight
 - o new 12v mini light
 - o_h new 12v mini light located in hood
 - o new 12v adjustable quartz halogen light
 - I new recessed task light
 - D new wall mounted sconce light type 1
 - D new wall mounted sconce light type 2
 - — new artwork light
 - s new sensor light (external)
 - ▲ new spot light
- APPLIANCES** (refer to schedule):
- \otimes new kitchen exhaust hood
 - oo electric oven below gas cooktop
- POWER:**
- x_E existing power outlet
 - x_B new double gpo 100mm above bench
 - x new double gpo (150 above floor)
 - x override switch
 - x new double gpo at height nominated
- DATA:**
- Δ_B new telephone outlet above bench
- FIRE:**
- S smoke detector
- SWITCHES & CIRCUITS** (refer to schedule):
- x_E existing light switch
 - x_E existing light switch to be relocated
 - x new light switch
 - x-D new light switch with dimmer
 - x_{2W} 2 way switch
 - x-S light switch with sensor override
 - — existing circuit
 - --- delete circuit
 - --- new circuit

Issue Register		
Ref.	Date	Issue/Amendment
Plan No.: 012404/A 03 AUG 2001 Received BEPCON URBAN SERVICES DEPT		

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ABN 61081603350 Member Professional Centre, Member ACT 2614
Phone (02) 6235 1520 Fax (02) 6235 2621 PO BOX 282

Project Title:
INTERNAL ALTERATIONS TO EXISTING RESIDENCE
Client: **Sch 2.2(a)(ii)**

Address:
43 MELBOURNE AVE (CNR ORD ST.)
Unit Block Section Division
 3 2 FORREST

Drawing Title:
PROPOSED ELECTRICAL LAYOUT

Drawn: FRM Director: *Quinton*
Reviewer: Verifier:
Scale: 1:50 Date: Aug 01
Project No.: 2K52 CAD Name: c/2k52/plan
Drawing No.: 2k52 Sheet No.: A08 Issue No.:
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sl—proposed—skylight
This set of plans contains 11 sheets
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Issue Register

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Small + Quinton
Architects

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 Phone (02) 6255 1520 Fax (02) 6255 2821 PO BOX 262

Project Title:
**INTERNAL ALTERATIONS
 TO EXISTING RESIDENCE**
 Client: **Sch 2.2(a)(ii)**
 Address:
43 MELBOURNE AVE
 Unit Block Section Division
 3 2 FORREST

Drawing Title:
**PROPOSED BATHROOM
 LAYOUT**

Drawn: FRM Director: *Quinton*
 Reviewed: Verifier:
 Scale: 1:20 Date: Aug 01
 Project No.: 2K52 CAD Name: c/2k52/plan
 Drawing No.: 2k52 Sheet No.: A09 Issue No.:
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Sch 2.2(a)(ii)

PB partition type B
 plasterboard lined stud partition
 (90x45)
 PC partition type C
 villaboard lined stud partition

RUMPUS ROOM
 carpet tiles

retain and
 build around
 original door
 track

PB

D5

PB

Sch 2.2(a)(ii)

Sch 2.2(a)(ii)

Sch 2.2(a)(ii)

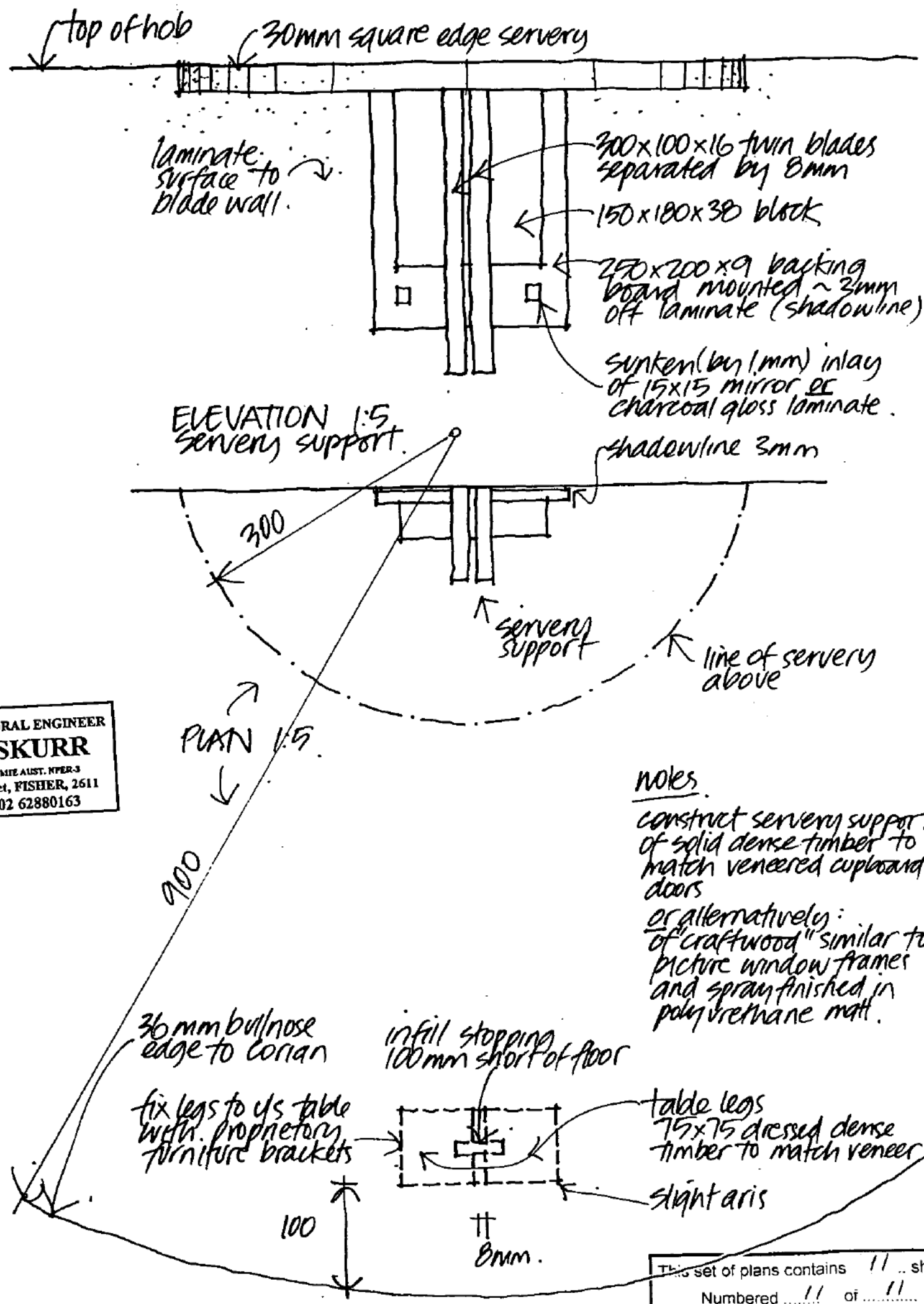
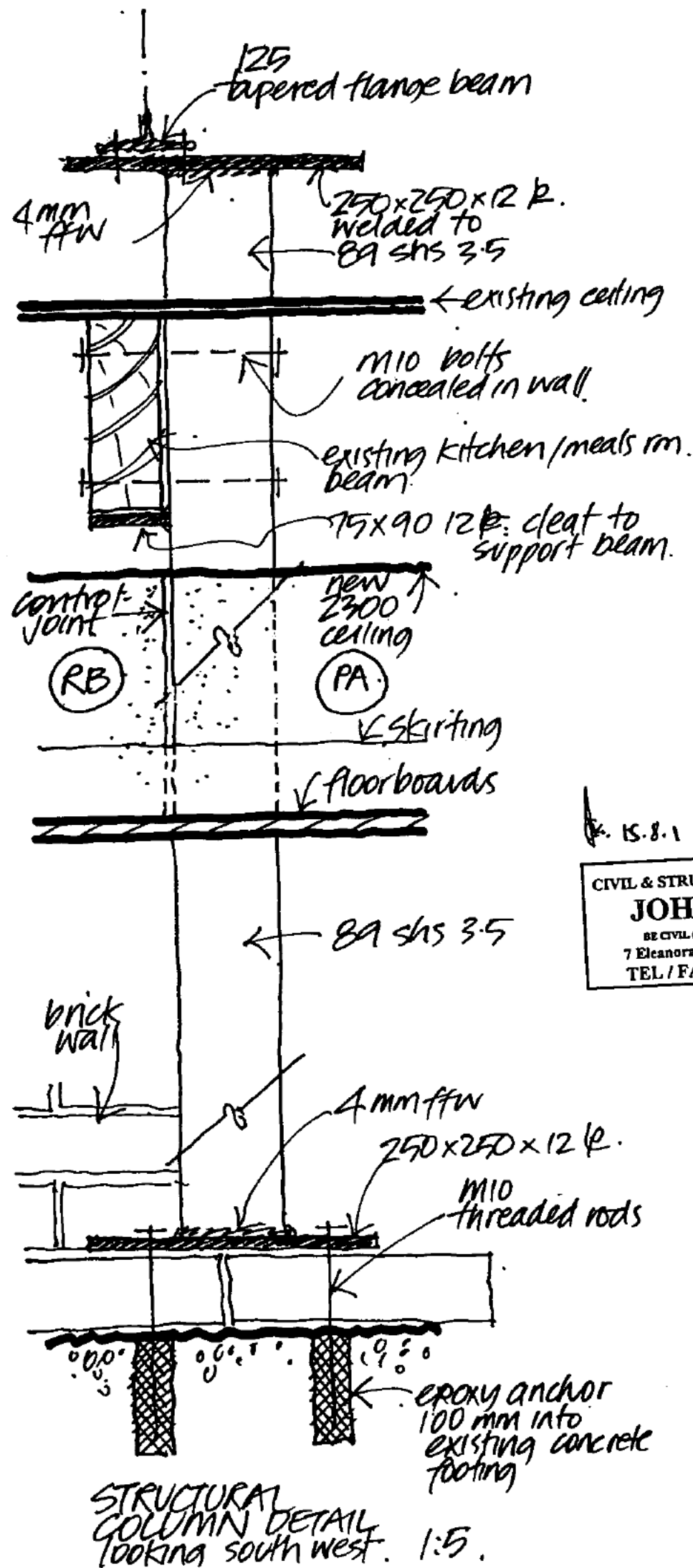
Sch 2.2(a)(ii)

equal hpb on
 each side of
 bath

make good
 to brickwork

retain original heritage
 garage door

This set of plans contains 11 sheets
 Numbered 10 of 11

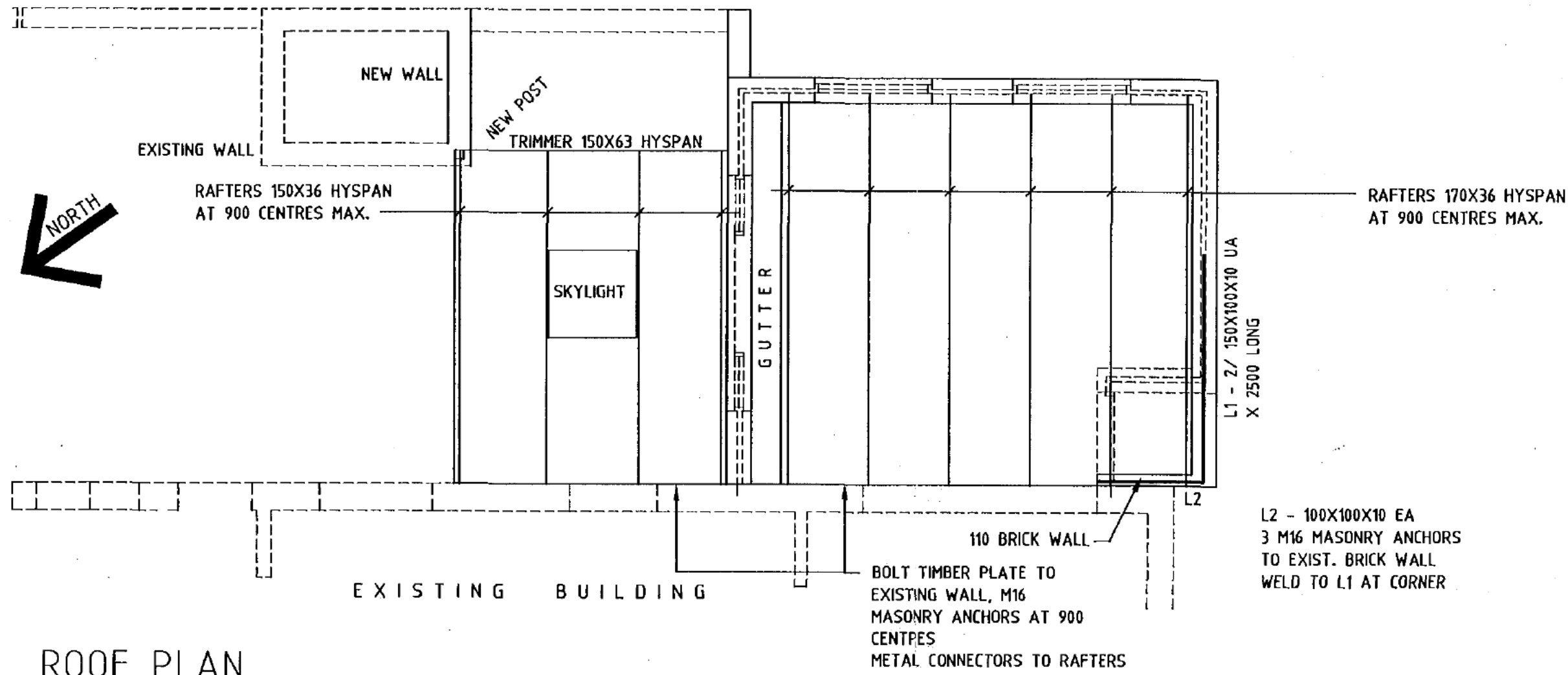


15.8.1
 CIVIL & STRUCTURAL ENGINEER
JOHN SKURR
 BE CIVIL (110NS) MIE AUST. NFR-3
 7 Eleanora Street, FISHER, 2611
 TEL / FAX 02 62880163

notes
 construct servery support of solid dense timber to match veneered cupboard doors
 or alternatively:
 of "craftwood" similar to picture window frames and spray finished in polyurethane matt.

This set of plans contains 11 sheets
 Numbered 11 of 11

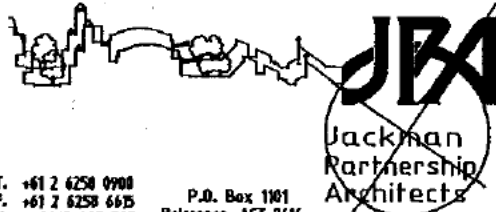
Issue Register		
Ref.	Date	Issue/Amendment
Plan No: 012904/R 03 AUG 2001 Received BEPCON URBAN SERVICES DEPT		
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Small + Quinton Architects <small>ABN 81081663300 Holder Professional Centre, Holder ACT 2614 Phone (02) 6255 1520 Fax (02) 6255 2821 PO BOX 552</small>		
Project Title: INTERNAL ALTERATIONS TO EXISTING RESIDENCE Client: Sch 2.2(a)(ii) Address: 43 MELBOURNE AVE (CNR. ORD ST.) Unit Block Section Division 3 2 FORREST		
Drawing Title: MISCELLANEOUS DETAILS		
Drawn: FRM/DR	Director: Q. Winter	
Reviewer:	Verifier:	
Scale:	Date: AUG 01	
Project No.: 2K52	CAD Name: C/2K52/plan	
Drawing No.: 2K52	Sheet No.: A10	Issue No.:
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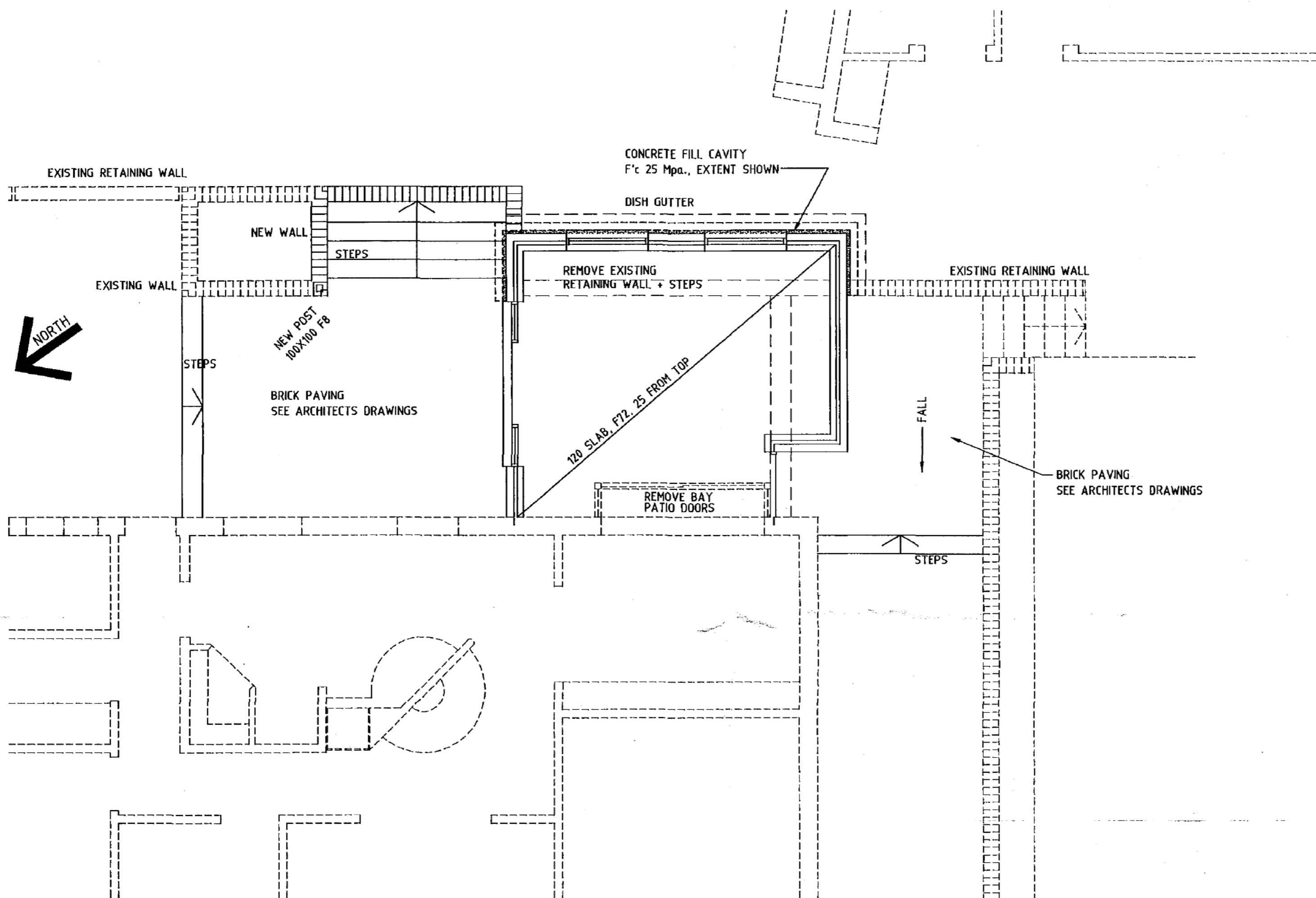


ROOF PLAN
1. METAL DECK ROOFING

Plan No: 052818-A
25 JUL 2005
RECEIVED
ACT Planning & Land Authority

Building Approval under s.28 of the Building Act 2004
Ray Atkin Lic. No. 200428123
This set of plans contains sheet/s and this sheet numbered of
.....

Revisions	No.	By	Date	Description	 JACKMAN PARTNERSHIP ARCHITECTS T. +61 2 6250 0988 P.O. Box 1901 F. +61 2 6250 6625 Belconnen, ACT 2616 M. 0419 495 797 E. jpa@online.com.au Australia	ROOF PLAN	Scale: 1:50,20 A2
			GM	12.12.04		ORIGINAL ISSUE	
	A				GEORGE MOSS CONSULTING STRUCTURAL AND CIVIL ENGINEER 92 ENDEAVOUR STREET, RED HILL, A.C.T. 2603. TELEPHONE (02) 62959282	BLOCK 3 SECTION 2 FORREST ACT	04-128/S4
						FOR Sch 2.2(a)(ii)	



GROUND FLOOR PLAN

Plan No: 052818-A
 25 JUL 2005
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Building Approval under s.28 of the Building Act 2004
 Ray Alkin Lic. No. 200428123
 This set of plans contains 10 sheet/s and this sheet numbered 10 of 11

Revisions	No.	By	Date	Description
		GM		12.12.04
	A			

GEORGE MOSS
 CONSULTING STRUCTURAL AND CIVIL ENGINEER
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 E. gm@oalink.com.au

P.O. Box 1101
 Belconnen, ACT 2616
 Australia

GROUND FLOOR PLAN
 PROPOSED EXTENSIONS
 BLOCK 3 SECTION 2 FORREST ACT
 FOR **Sch 2.2(a)(ii)**

Scales: 1:50, 20 A2
 Drawing No. 04-128/S3

LEGEND

- ⊕ motion switch
- ⊕ switch
2 = two way
d = dimmer
- ⊕ GPO
- ⊕ double GPO
- ⊕ external GPO
- ⊕ battenholder [ceiling light]
- ⊕ wall outlet [wall light]
- ⊕ L.V. gimbel [adjustable downlight]
- ⊕ L.V. recessed wall light
- ⊕ L.V. gimbel [adjustable downlight]
- ▽ telephone outlet
- ⊕ Thermostat

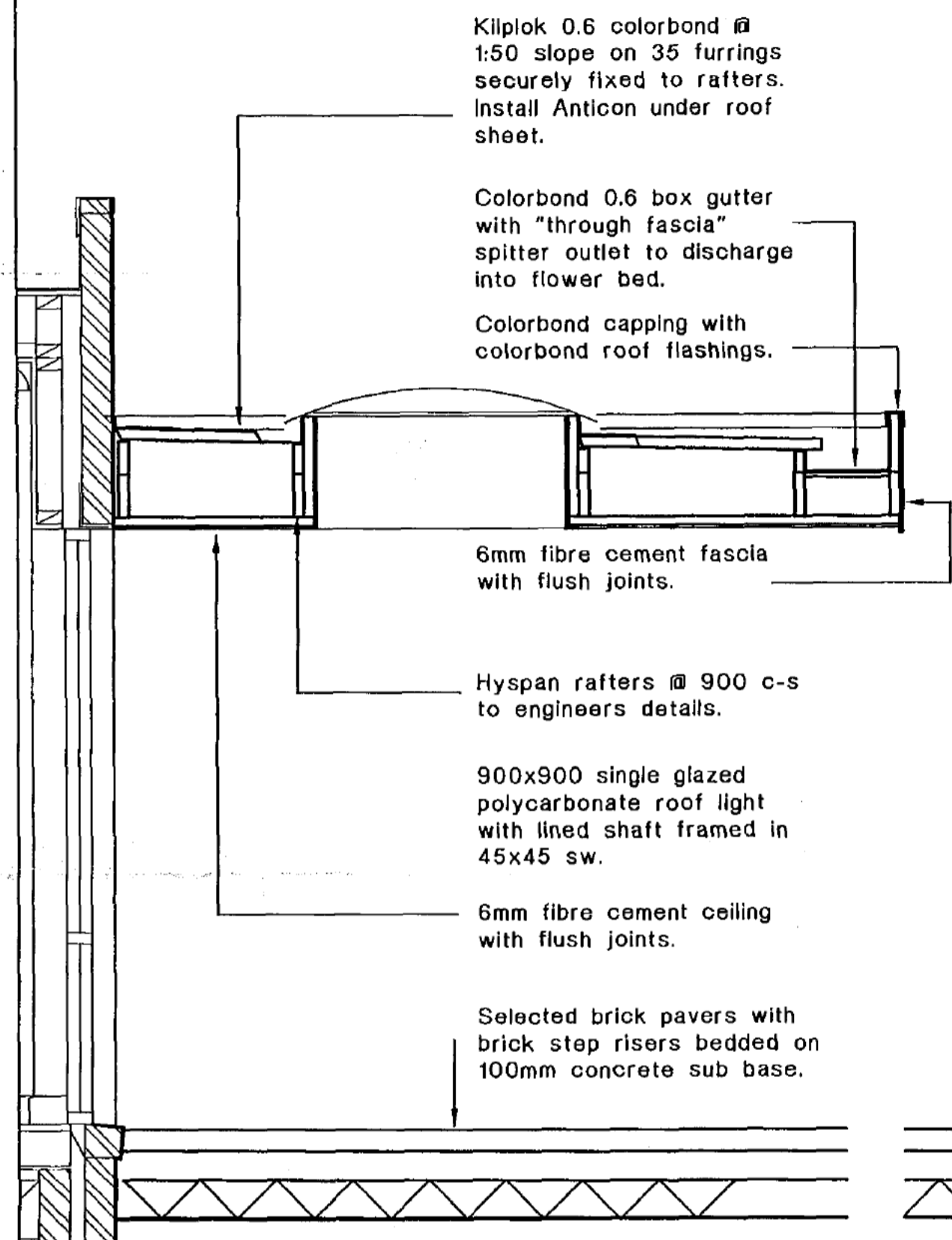
GPO's generally 300 above floor.
 GPO's adjacent to benches 1100 above floor.
 Plan No: **052818-A**
25 JUL 2005
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 ACT Planning & Land Authority
 A - 5 July 04 client requested amendments
 Amendments

Proposed
FAMILY ROOM EXTENSION
 For **Sch 2.2(a)(ii)**

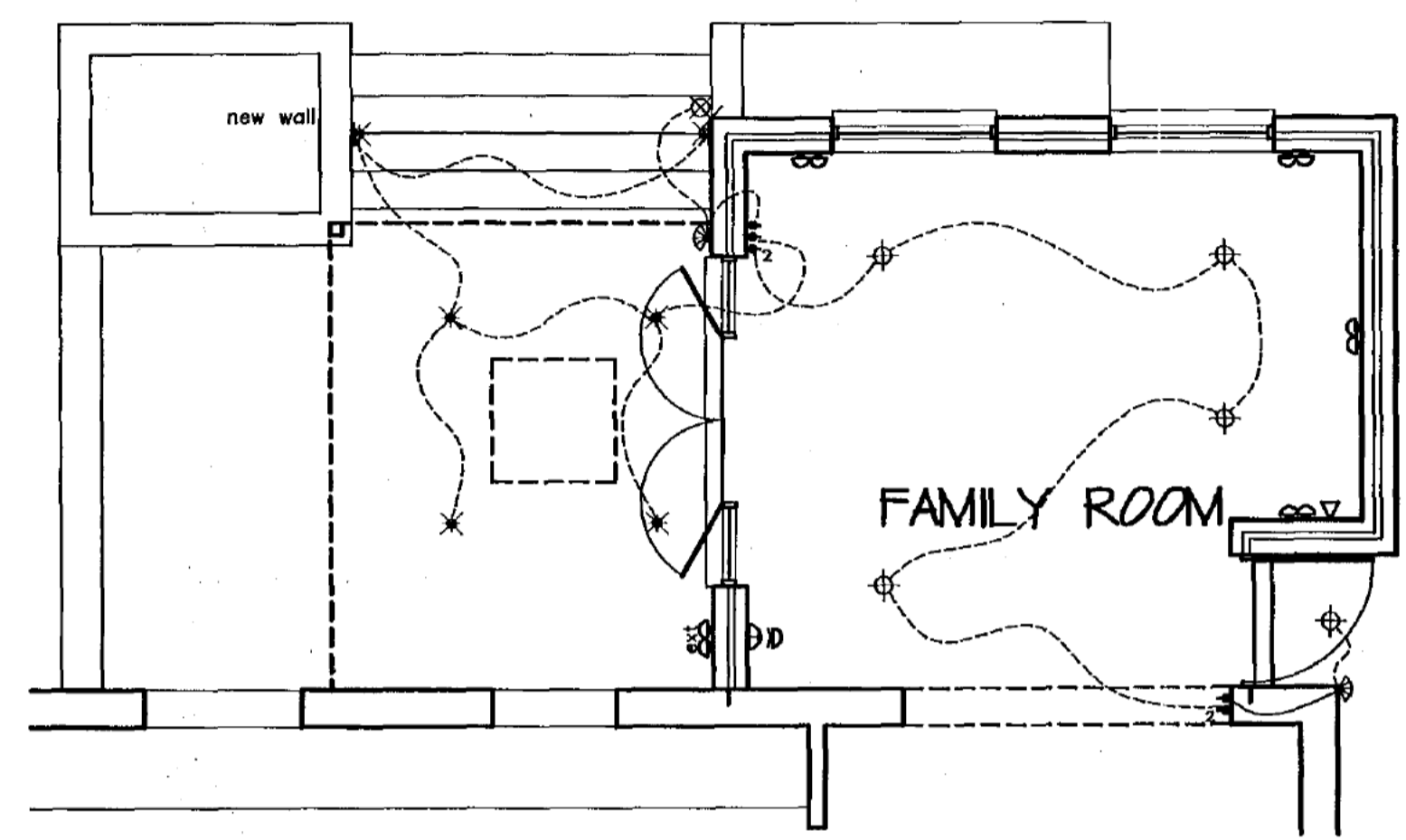
43 Melbourne Avenue
BLOCK 3 SECTION 2
FORREST ACT

DETAIL SECTION, ROOF PLAN & ELECTRICAL PLAN

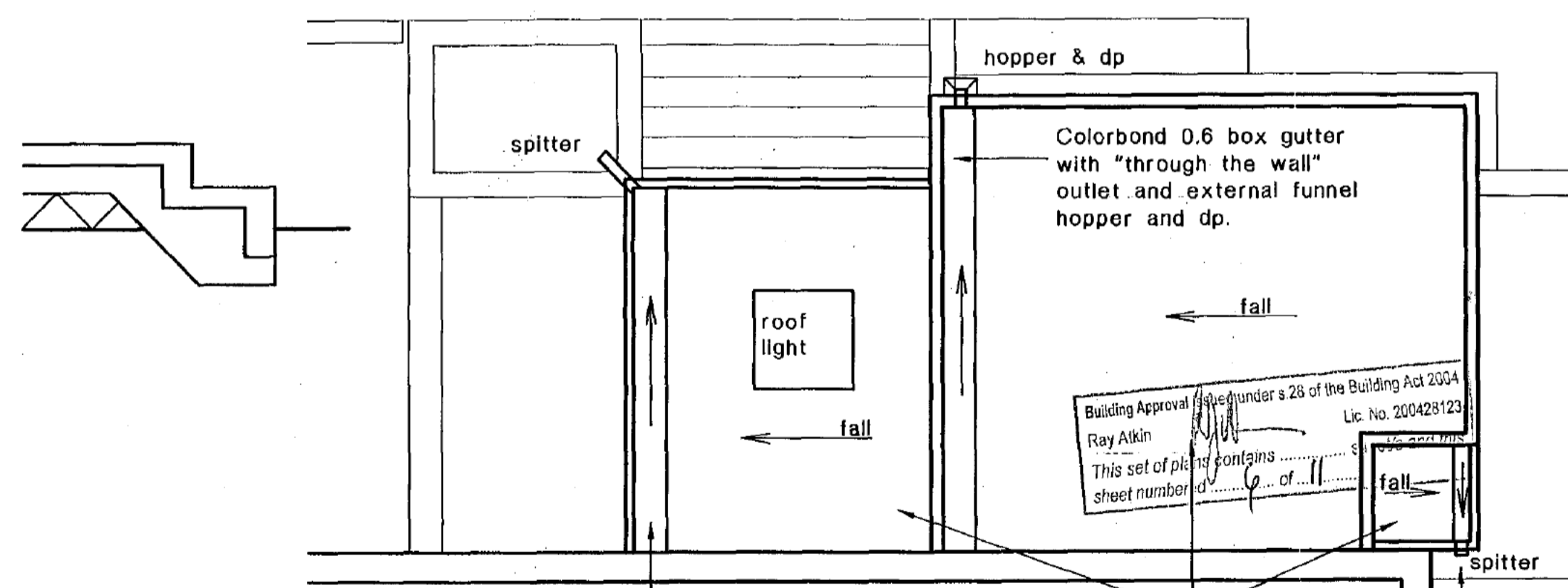
June 2004 DWG No. **WD 06**
 Scale: 1:20 1:50 @ A2
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SECTION B-B



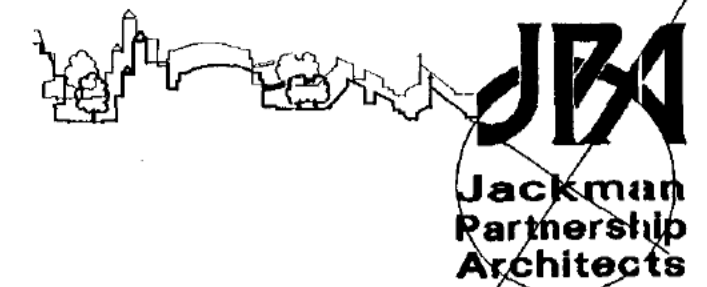
ELECTRICAL PLAN



ROOF PLAN

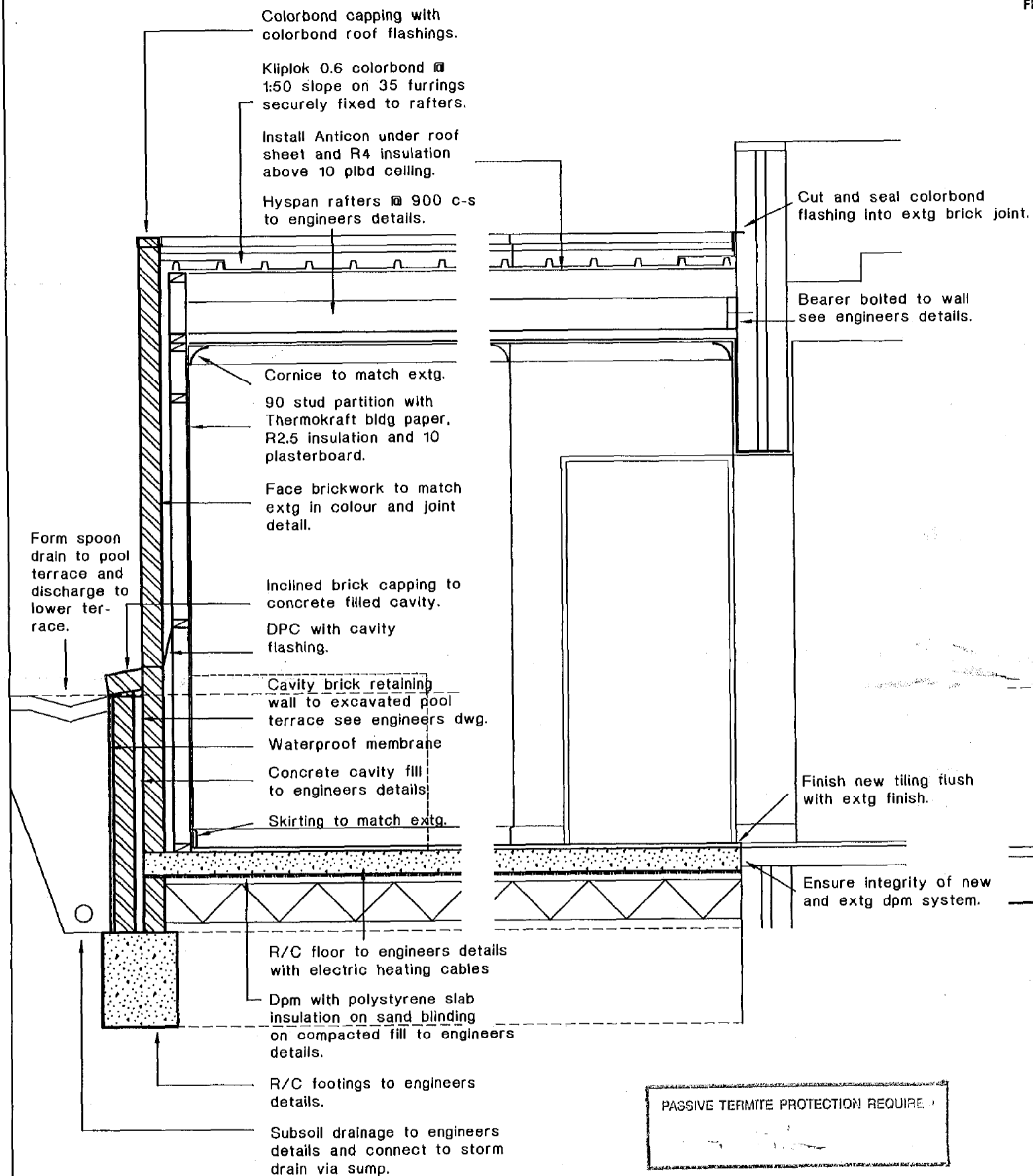
Colorbond 0.6 box gutter with "through fascia" spitter outlet to discharge into flower bed.
 Kilplok 0.6 colorbond @ 1:50 slope.
 Colorbond 0.6 box gutter with "through fascia" spitter outlet to discharge onto paving.

CONSTRUCTION MUST COMPLY WITH
NATIONAL TIMBER
FRAMING CODE RELEVANT
SUPPLEMENTS



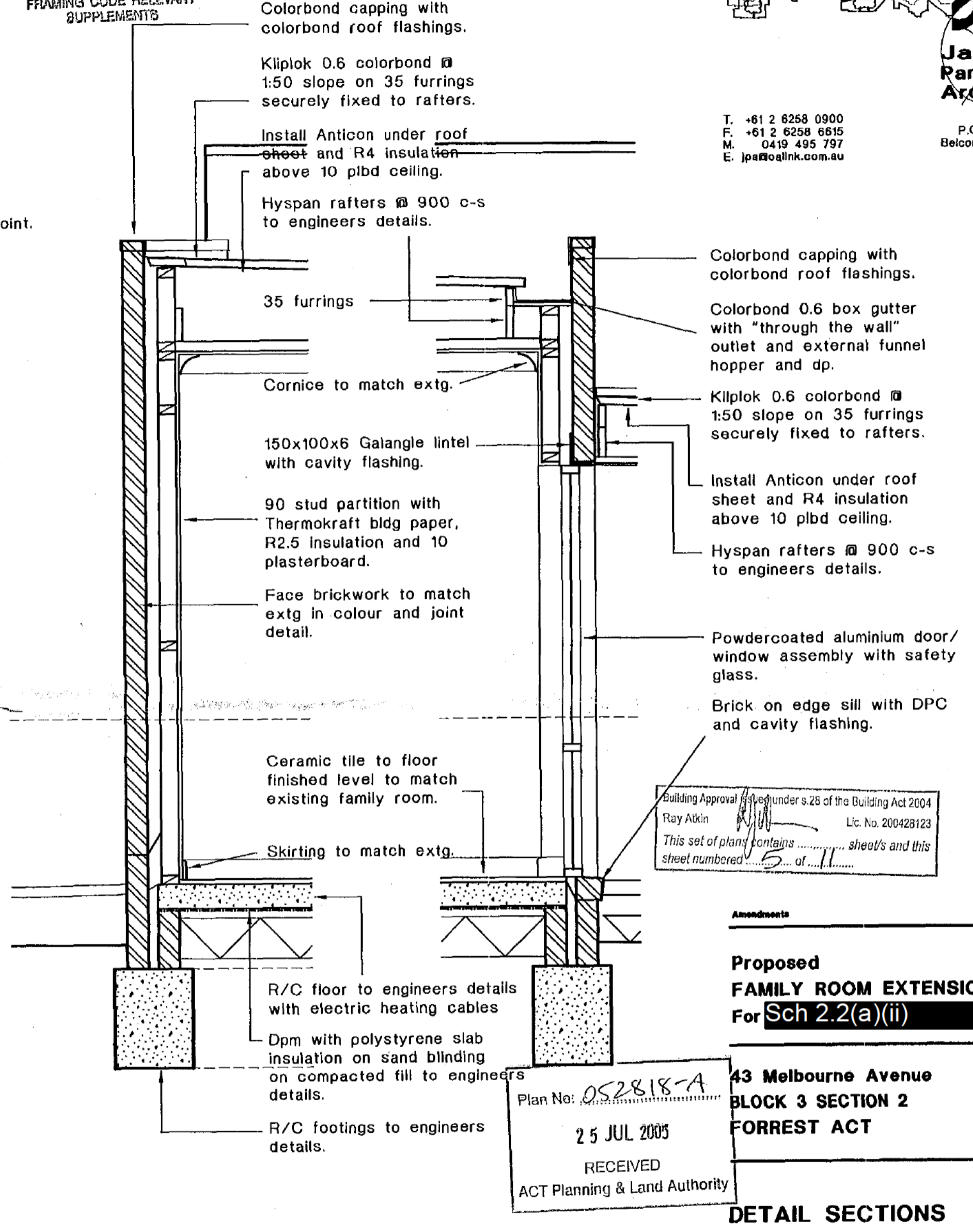
T. +61 2 6258 0900
F. +61 2 6258 6615
M. 0419 495 797
E. jpa@optusnet.com.au

P.O. Box 1101
Belconnen, ACT 2616
Australia



SECTION A-A

PASSIVE TERMITES PROTECTION REQUIRE



SECTION B-B

Building Approval issued under s.28 of the Building Act 2004
Ray Atkin Lic. No. 200428123
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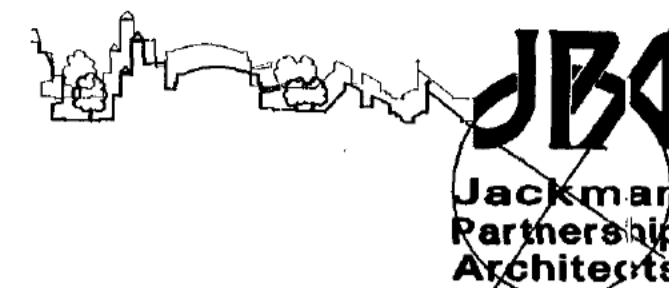
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Amendments
**Proposed
FAMILY ROOM EXTENSION
For Sch 2.2(a)(ii)**
43 Melbourne Avenue
BLOCK 3 SECTION 2
FORREST ACT

DETAIL SECTIONS

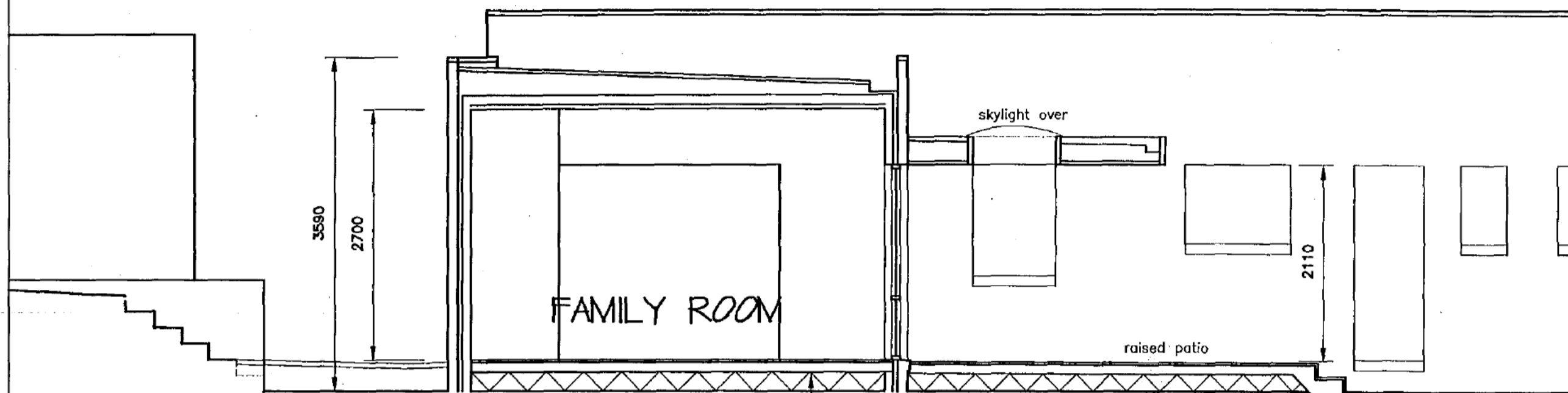
June 2004
Scale: 1:20 @ A2
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DWG No.
WD 05

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M. 0419 495 797
E. jpa@ozlink.com.au

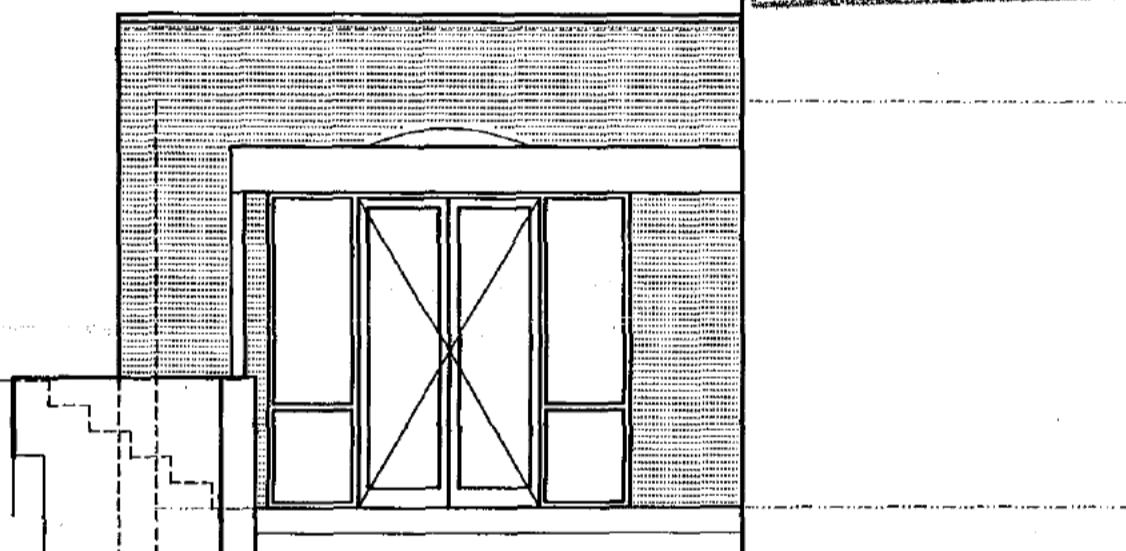
P.O. Box 1131
Belconnen, ACT 2618
Australia



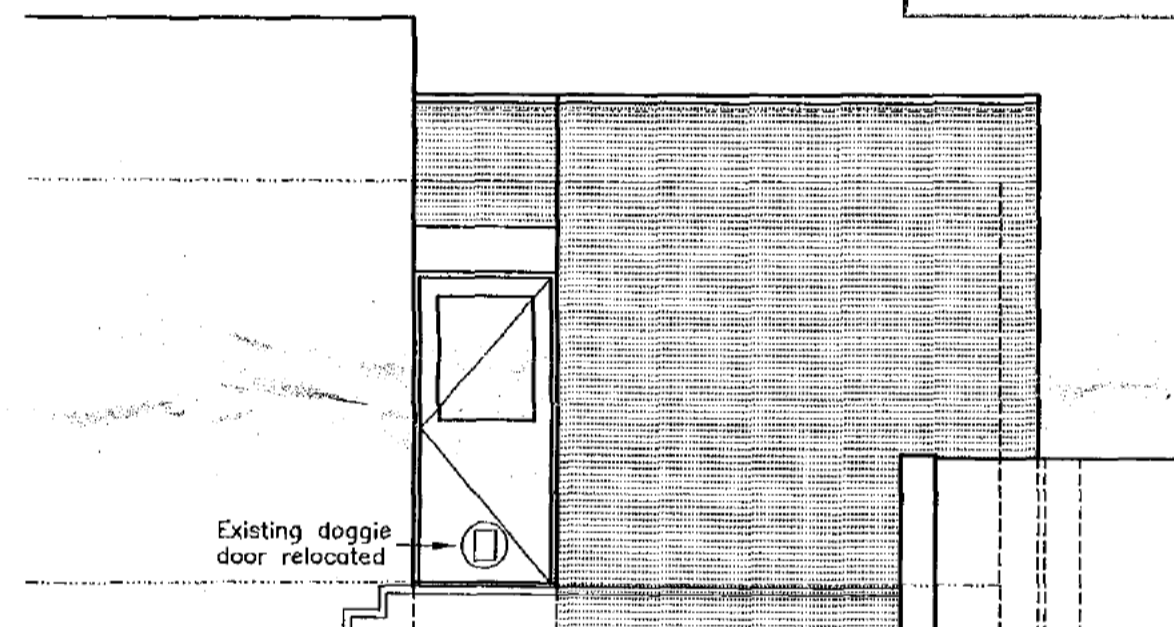
CROSS SECTION

Reinforced concrete floor
with electric underfloor
heating

PASSIVE TERMITE PROTECTION REQUIRED



NORTH-EAST ELEVATION

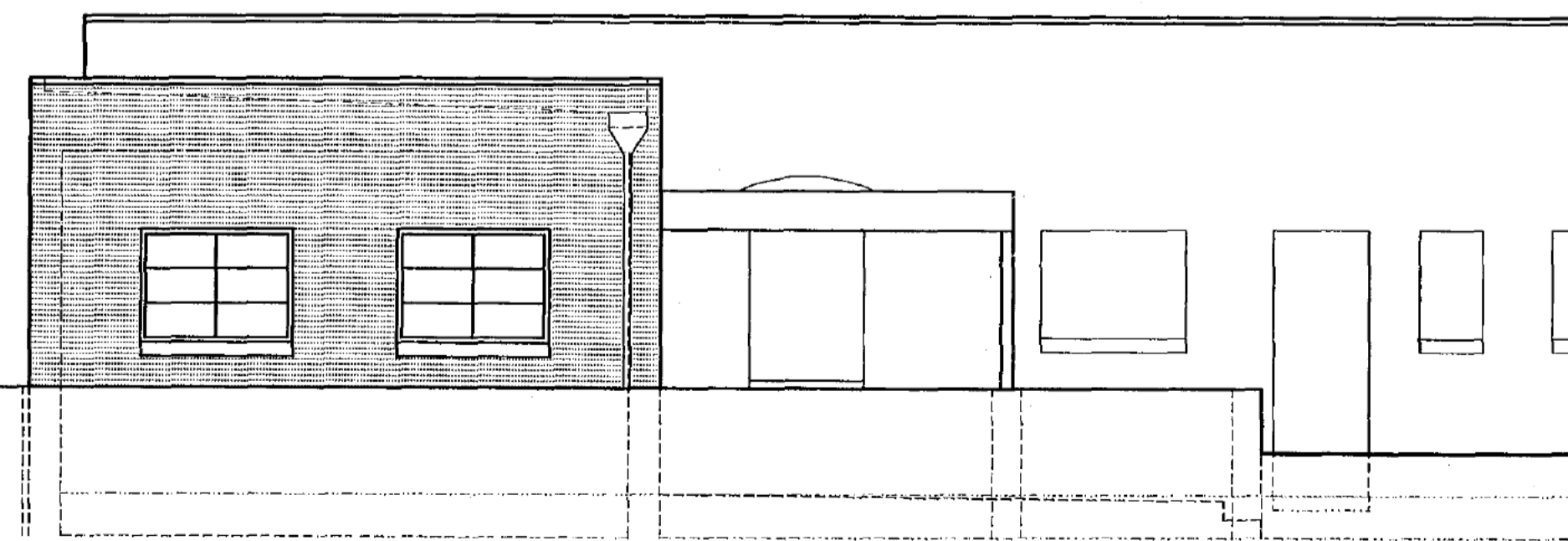
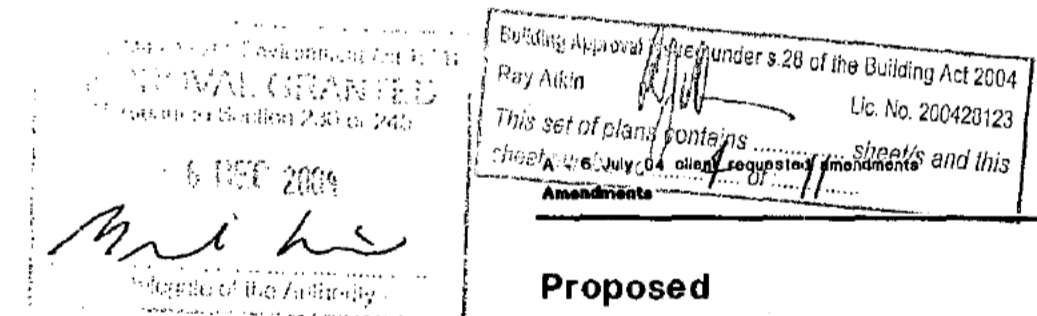


SOUTH-WEST ELEVATION

Existing doggie
door relocated

Plan No: DS2818-A
25 JUL 2005
RECEIVED
ACT Planning & Land Authority

GENERAL NOTES...	
Roof -	Kliplok colorbond steel with box gutter. Rainwater pipe and hopper colorbond steel - colour and design to match existing.
Walls -	Face brick to match existing in colour variation and joint detail.
Windows -	Powdercoated aluminium casements with frame dimensions to approximate with the existing steel frames, pane size and division to be compatible with existing.
Doors -	Timber frames with selected hardwood doors, glazed and solid as indicated.
Pergola -	Painted timber with Kl-plok roof deck concealed gutter and polycarbonate roof light. Soffit to be painted f.c. sheet.
Landscape structures -	Brick retaining walls and paving to match existing.
All external finishes -	External finishes where practical to match existing, other finishes to be complimentary to existing finishes.



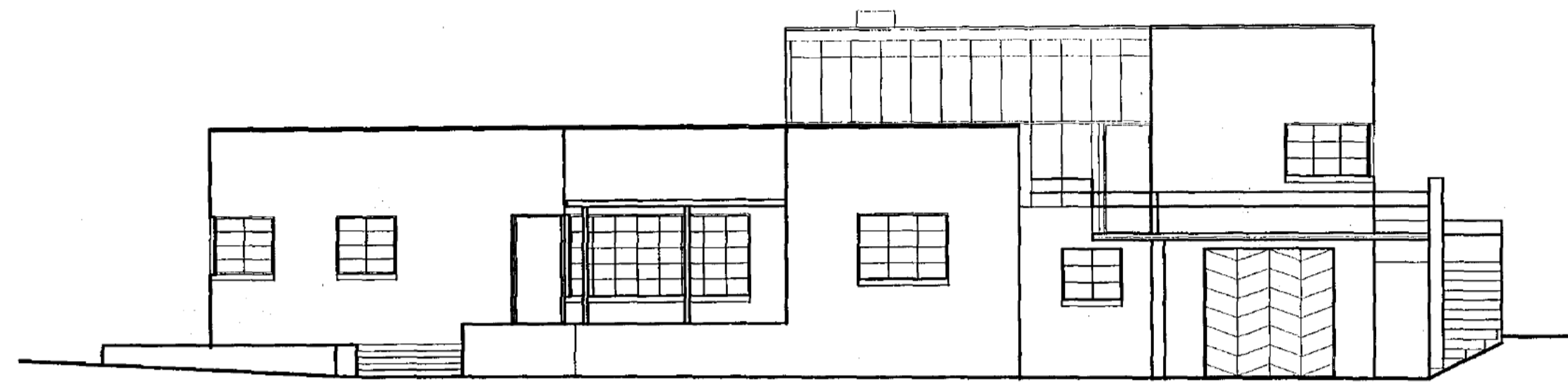
SOUTH-EAST ELEVATION

**Proposed
FAMILY ROOM EXTENSION
For Sch 2.2(a)(ii)**

**43 Melbourne Avenue
BLOCK 3 SECTION 2
FORREST ACT**

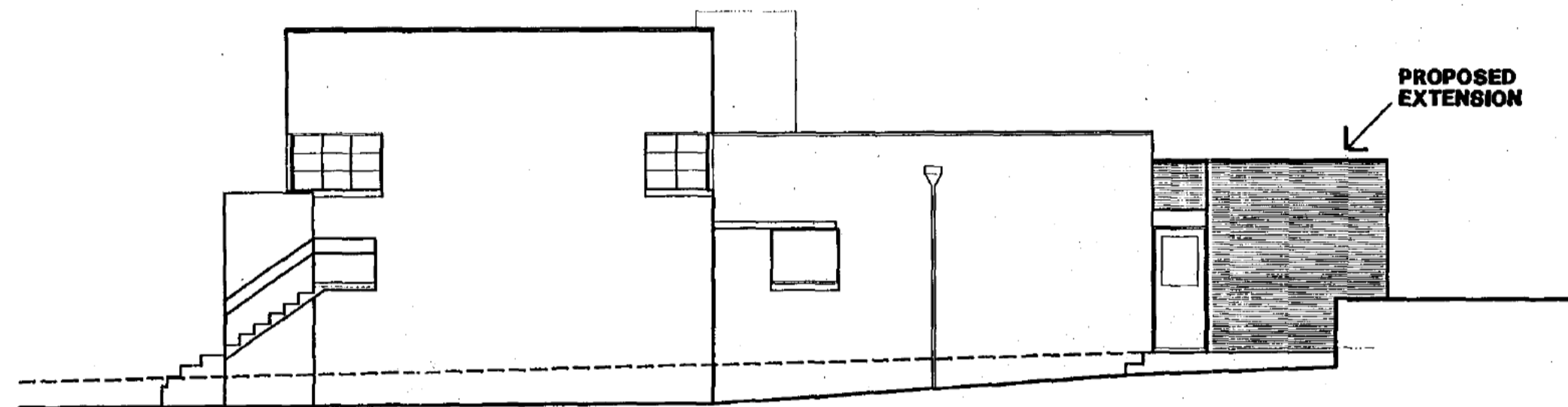
**DETAIL ELEVATIONS
& SECTION**

June 2004	DWG No.
Scale: 1:50 @ A2	WD 04
© 2004 JPA JPA job number 04.235 Intellicad dwg. format	



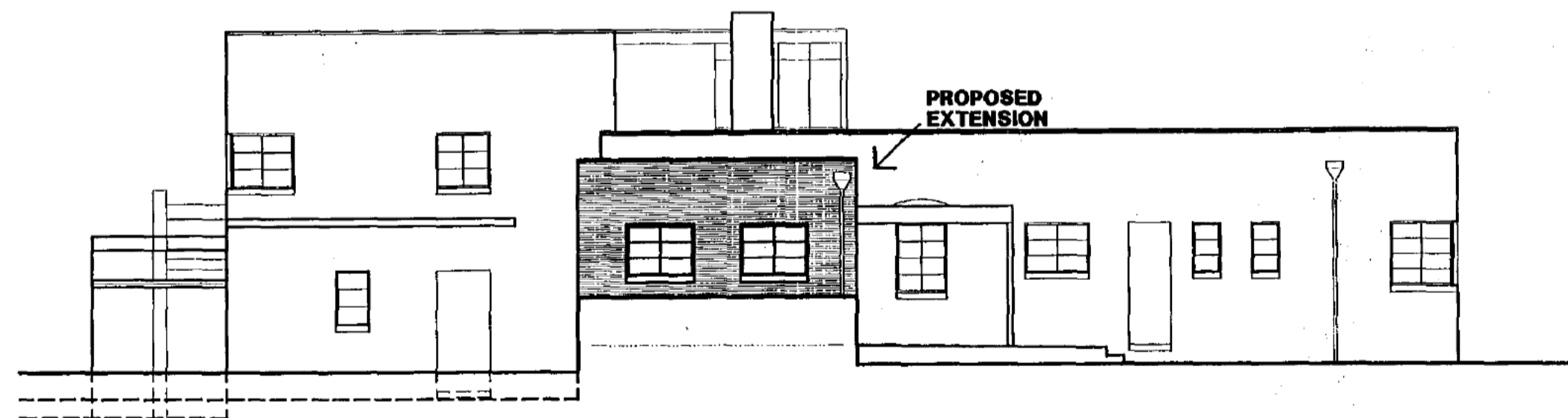
NORTHWEST ELEVATION
Melbourne Avenue

GENERAL NOTES (Existing House)...
 Roof - Parapeted metal deck with concealed box gutters. R W goods - external hoppers & downpipes.
 Walls - Face brick with recessed joint with brick detailing.
 Windows - Painted galvanised steel casements with 2/3/4 transoms.
 continued...



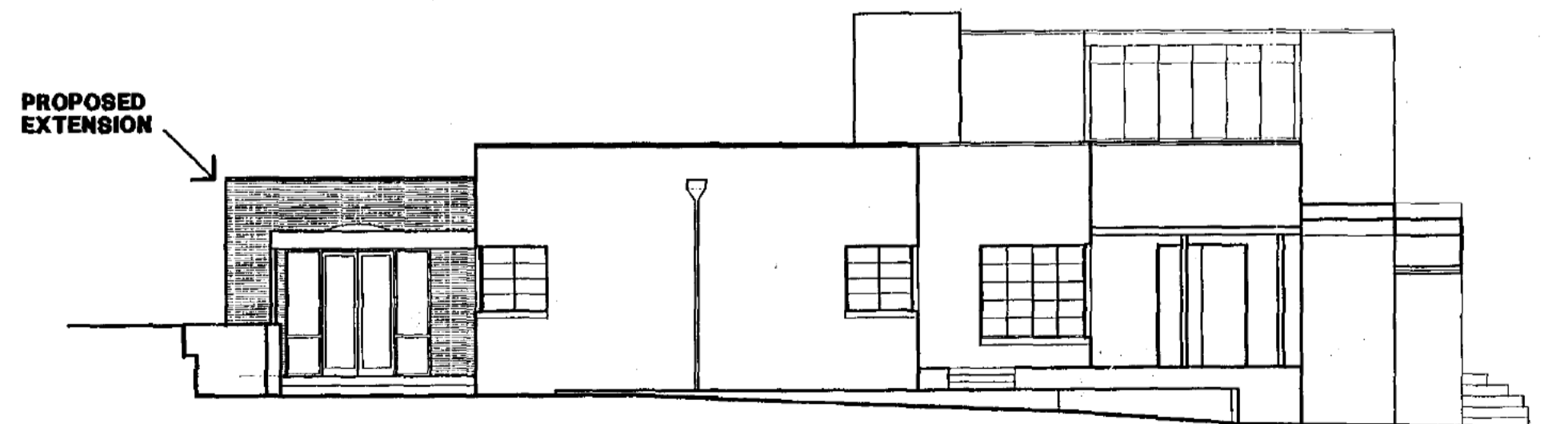
SOUTHWEST ELEVATION
Ord Street

Plan No: 052818-A
 25 JUL 2005
 RECEIVED
 ACT Planning & Land Authority



SOUTHEAST ELEVATION
Rear

continued...
 Doors - Painted timber frames with flush doors, garage folding-sliding with chevron detail
 Balustrades - Painted steel pipe balustres with pipe handrail and one horizontal rail.
 Landscape structures - Brick retaining walls and brick and pavior terraces.
 All external trim - Painted.



NORTHEAST ELEVATION

Building Approval under s.28 of the Building Act 2004
 APPROVAL GRANTED
 6 DEC 2004
 Ray Atkin Lic. No. 200428123
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 Delegate of the Authority

A - 6 July 04 client requested amendments
 Amendments

Proposed
FAMILY ROOM EXTENSION
 For **Sch 2.2(a)(ii)**

43 Melbourne Avenue
 BLOCK 3 SECTION 2
 FORREST ACT

ELEVATIONS

June 2004

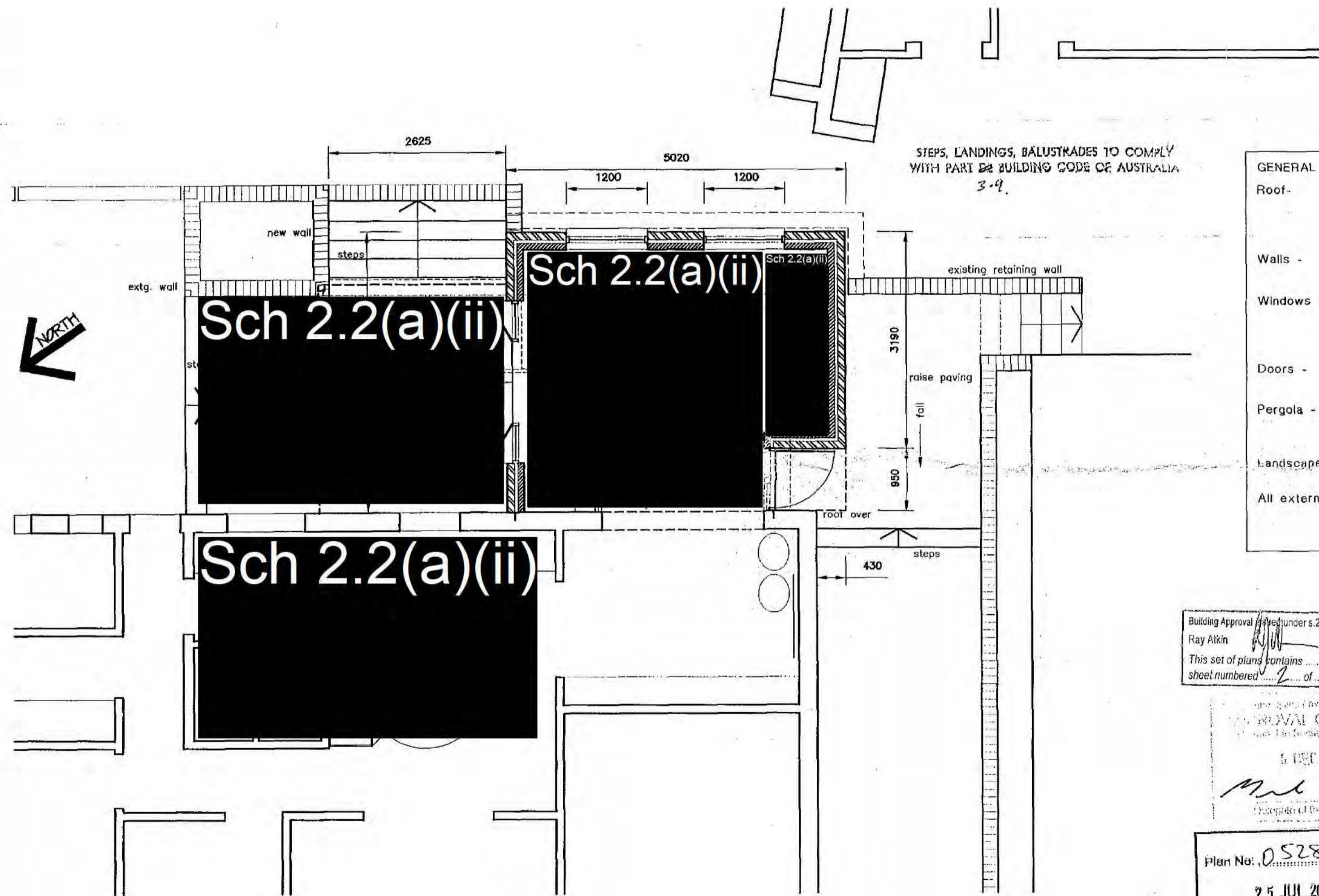
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DWG No.

WD 03

Intellicad dwg. format



GENERAL NOTES...

Roof - Kliplok colorbond steel with box gutter. Rainwater pipe and hopper colorbond steel - colour and design to match existing.

Walls - Face brick to match existing in colour variation and joint detail.

Windows - Powdercoated aluminium casements with frame dimensions to approximate with the existing steel frames, pane size and division to be compatible with existing.

Doors - Timber frames with selected hardwood doors, glazed and solid as indicated.

Pergola - Painted timber with Kliplok roof deck concealed gutter and polycarbonate roof light. Soffit to be painted f.c. sheet.

Landscape structures - Brick retaining walls and paving to match existing.

All external finishes - External finishes where practical to match existing, other finishes to be complimentary to existing finishes.

Building Approval issued under s.28 of the Building Act 2004
Ray Alkin Lic. No. 200428123
This set of plans contains 11 sheet/s and this sheet numbered 2 of 11

ROYAL GRANTED
6 DEC 2004
Mick
Director of the Authority

Plan No: 052818-A
25 JUL 2005
RECEIVED
ACT Planning & Land Authority

A - 6 July 04 client requested amendments
Amendments

**Proposed
FAMILY ROOM EXTENSION
For Sch 2.2(a)(ii)**

**43 Melbourne Avenue
BLOCK 3 SECTION 2
FORREST ACT**

FLOOR PLAN

FLOOR PLAN

Application No 200403528



T. +61 2 8258 0900
 F. +61 2 8258 6615
 M. 0419 495 797
 E. jpa@optusnet.com.au
 P.O. Box 1101
 Belconnen, ACT 2616
 Australia

ACT Metropolitan Building Certifiers P/L
 Building Approval: Building Approval, or part thereof,
 issued under Section 28 of the Building Act 2004.
 Class of Occupancy: *Ja* Type of Construction: *N/A*
 Project No: *E* Licence No: 200428123
 Signature: *[Signature]* 22.7.05
 This Set of Plans Consists of *11* Sheets, No *1* to *11*
 This approval is valid for 3 years from the date shown above provided
 work is commenced within 2 years of the date of the DA approval

The following installation or inspection certificates are required at the prescribed inspection stages

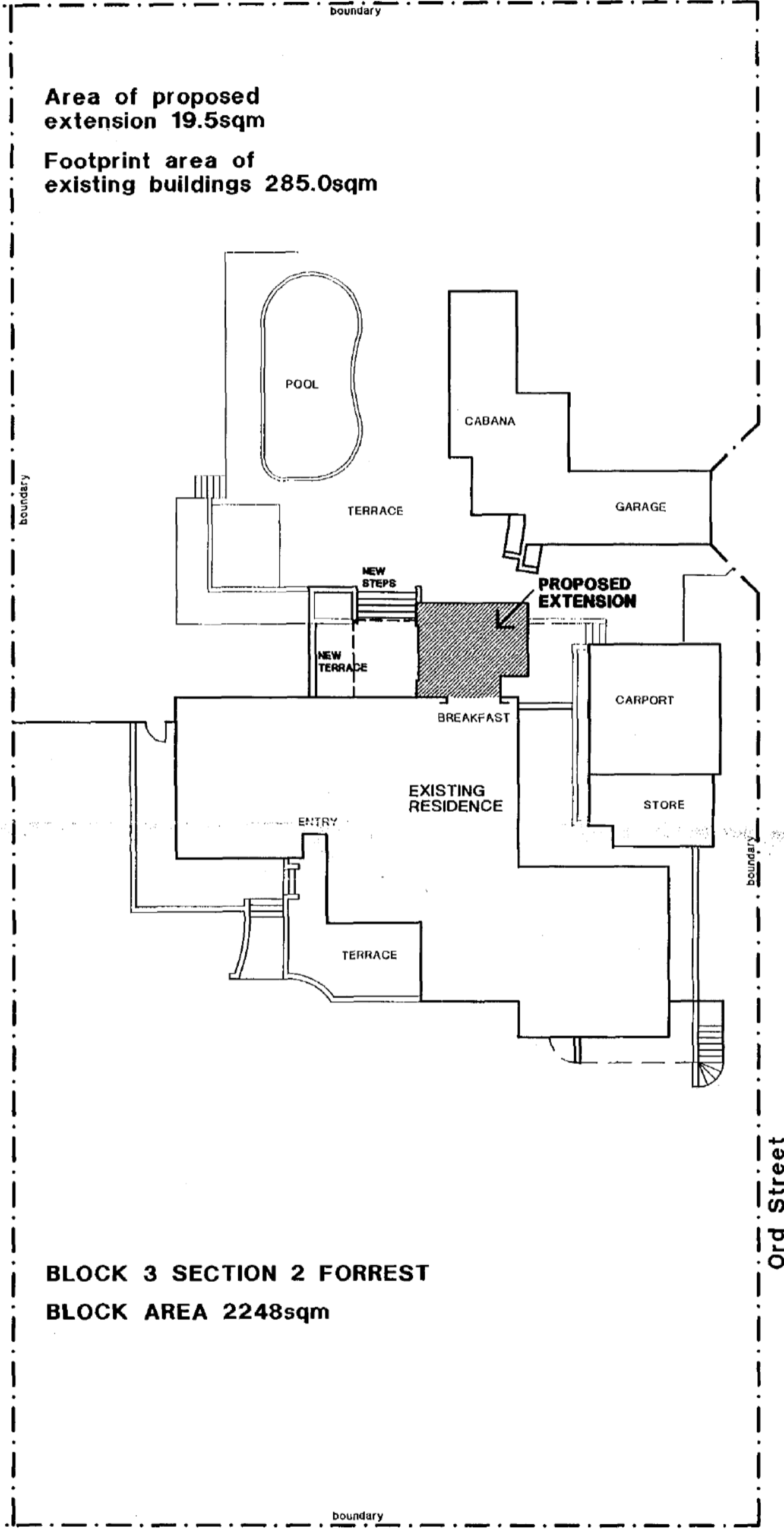
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<input type="checkbox"/> Footing	<input type="checkbox"/> Truss	<input type="checkbox"/> Floor Frame	<input checked="" type="checkbox"/> PreSheet	<input checked="" type="checkbox"/> Final
<input type="checkbox"/> Slab	<input type="checkbox"/> Wet Seal	<input type="checkbox"/> Other		
<input checked="" type="checkbox"/> Survey	<input type="checkbox"/> Glass			
<input checked="" type="checkbox"/> Termite Treatment	<input type="checkbox"/> Smoke Detector			

The following inspections are required on this project.

TWO WORKING DAYS
 Please provide 2 weeks notice when booking inspection

Plan No: *052818-A*
 25 JUL 2005
 RECEIVED
 ACT Planning & Land Authority

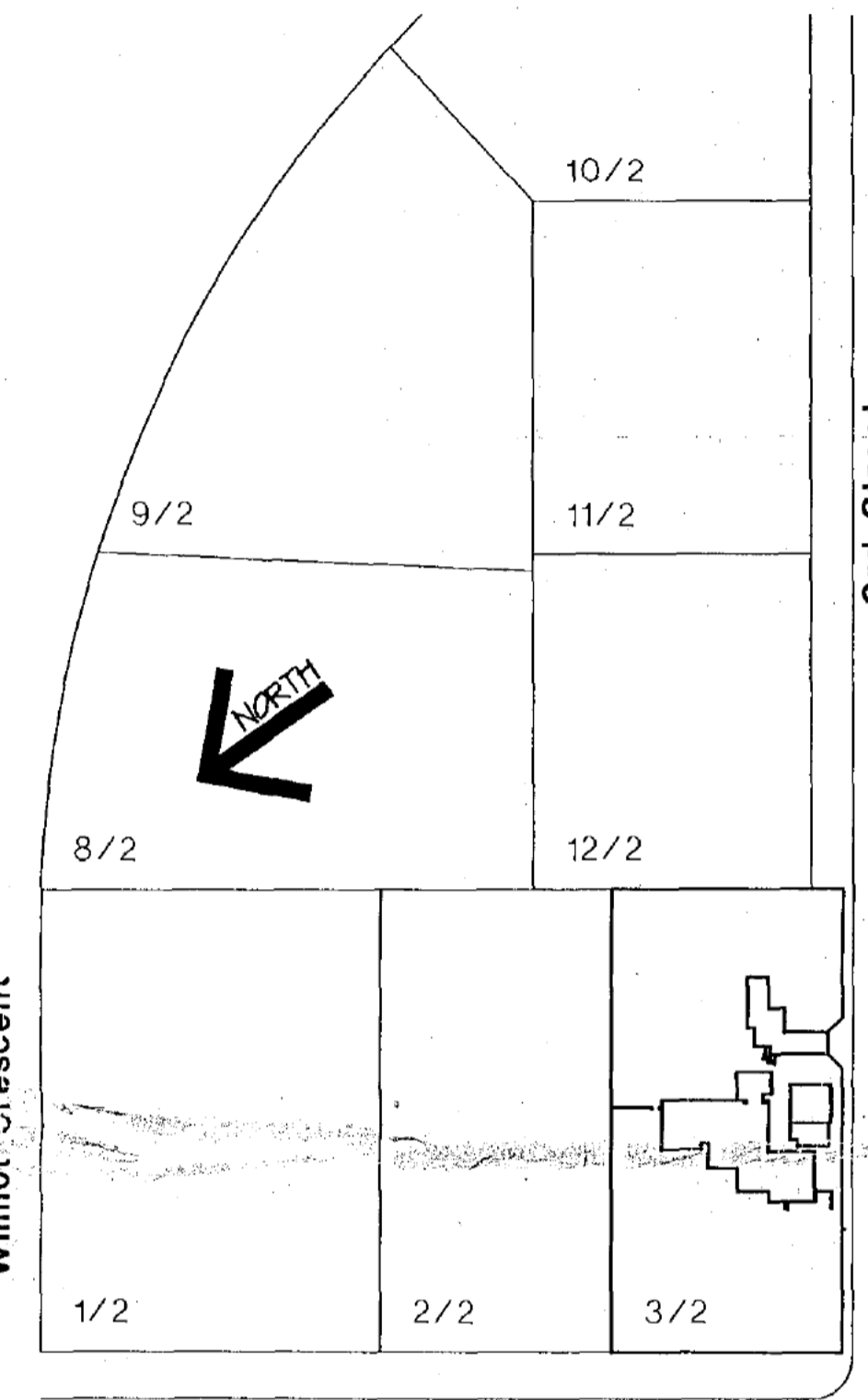
[Stamp]
 6 JUL 2005
[Signature]
 Delegate of the Authority



2/2

BLOCK 3 SECTION 2 FORREST
 BLOCK AREA 2248sqm

SITE PLAN



SITE LOCATION

A - 6 July 04 client requested amendments
 Amendments

**Proposed
 FAMILY ROOM EXTENSION
 For Sch 2.2(a)(ii)**

**43 Melbourne Avenue
 BLOCK 3 SECTION 2
 FORREST ACT**

SITE PLAN

June 2004
 Scale: 1:200 1:1000 @ A2
 © 2004 JPA
 JPA job number 04.235

DWG No.
WD 01
 Intellicad dwg. format

DEPARTMENT OF WORKS.

Detail Plan No.

Drainage Plan No. 737. B

PLAN OF DRAINAGE.

FOR

Owner Sch 2.2(a)(ii)

LOT 3. SECTION 2.

DISTRICT: FORREST.

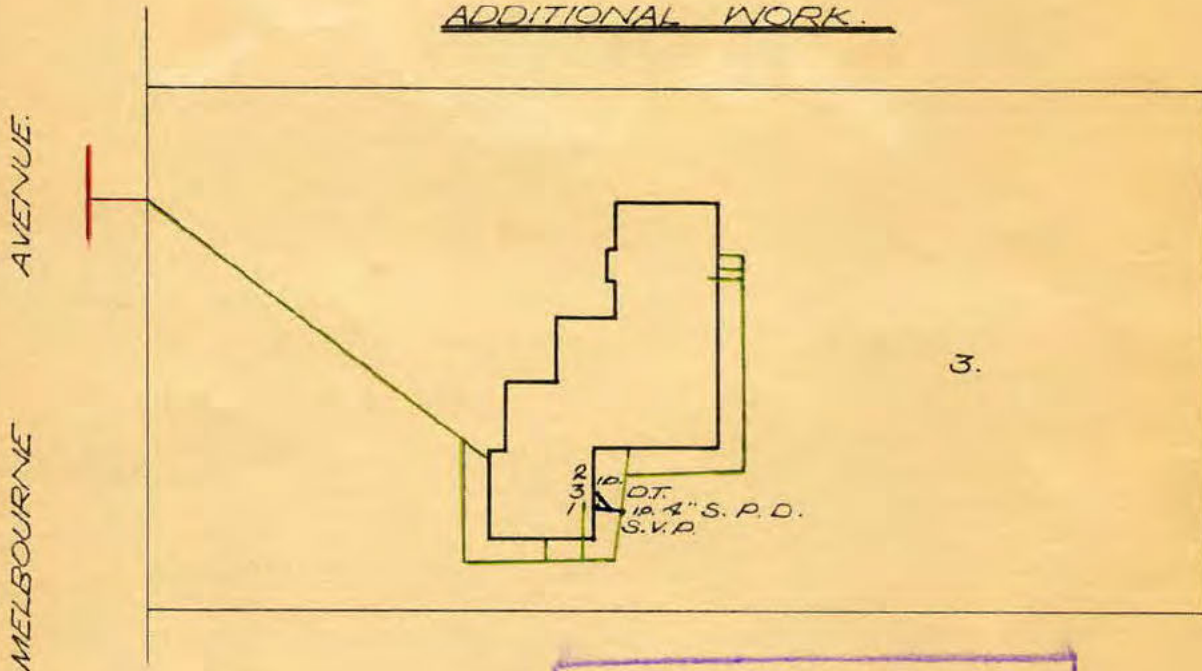
REFERENCE.

- | | | |
|---------------------------------|-------------------------------------|---------------------------------|
| B.T. Boundary Trap. | S.T. Silt Trap. | E.V. Educt Vent. |
| G.T. Gully Trap. | C.I.P. Cast Iron Pipe. | I.V. Induct Vent. |
| D.T. Disconnecter Trap. | G.W.I.P. Galv. Wrought Iron Pipe. | S.I.V.P. Soil Induct Vent Pipe. |
| C.D.T. Gully Disconnecter Trap. | S.P.D. Stoneware Pipe Drain. | S.V.P. Soil Vent Pipe. |
| G.I.T. Grease Interceptor Trap. | I.C. Inspection Chamber. | V.P. Ventilating Pipe. |
| S.V. Stop Valve. | I.O. Inspection Opening. | T.I.T. Triple Interceptor Trap. |
| | I.O.J. Inspection Opening Junction. | I.O.B. Inspection Opening Bend. |

Scale—40 feet to 1 inch.

(See Regulations.)

ADDITIONAL WORK.



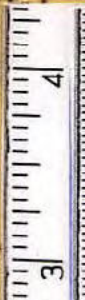
CONSTRUCTED DETAIL
 SANITARY PLUMBING AND
 DRAINAGE WORK TESTED
 AND PASSED BY INSPECTOR
 No. John Carney
 DATE 9/6/61

- NOTES: Drains to be bid shown in blue lines. Existing drains shown in green lines.
- FIXTURES: FIRST FLOOR
 No. 1. W. Closet. (Internal)
 " 2. Shower.
 " 3. Lav. Basin.

Designed by R. Low, 7-3-61

William Sulhally
Engineer.

Canberra, *May 8th* 1961.



PLAN OF SANITARY DRAINAGE

For

Sch 2.2(a)(ii)

Block 3 Section 2 FOREST

Scale 1:500

ADDITIONAL WORK

All work must be carried out in conformity with the Canberra Sewerage and Water Supply Regulations.

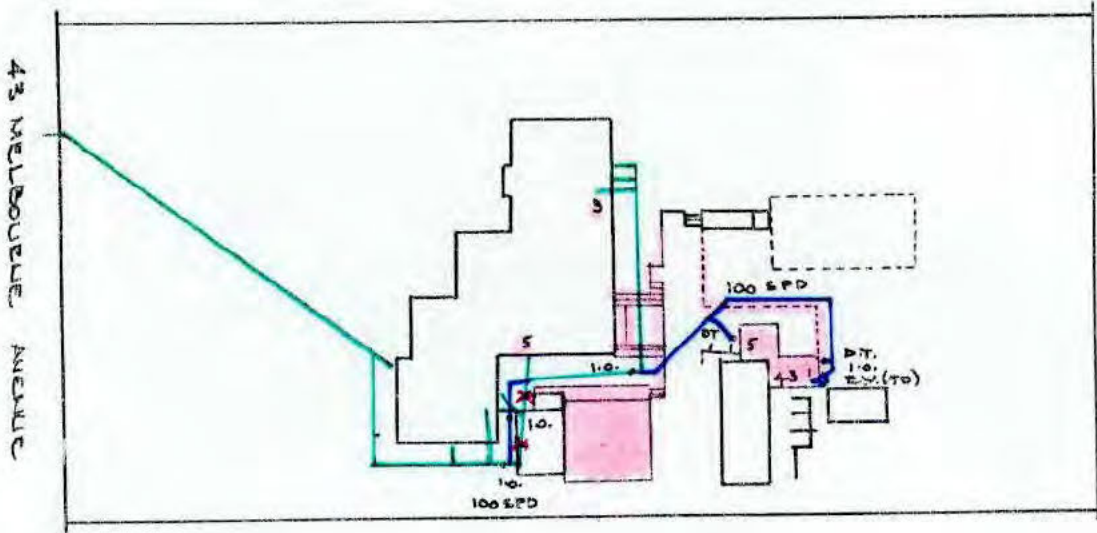
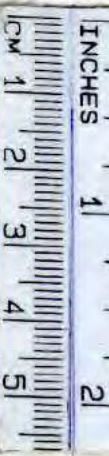
AMENDED DESIGN

REFERENCE:

G.T.	Gully Trap
D.T.	Disconnector Trap
C.I.P.	Cast Iron Pipe
S.P.D.	Stoneware Pipe Drain
S.V.P.	Soil Vent Pipe
V.P.	Vent Pipe
E.V.	Educt Vent
I.O.	Inspection Opening
E.J.	Expansion Joint
F.P.	Fixed Point
J.U.	Jump Up
M.H.	Manhole

FIXTURES:

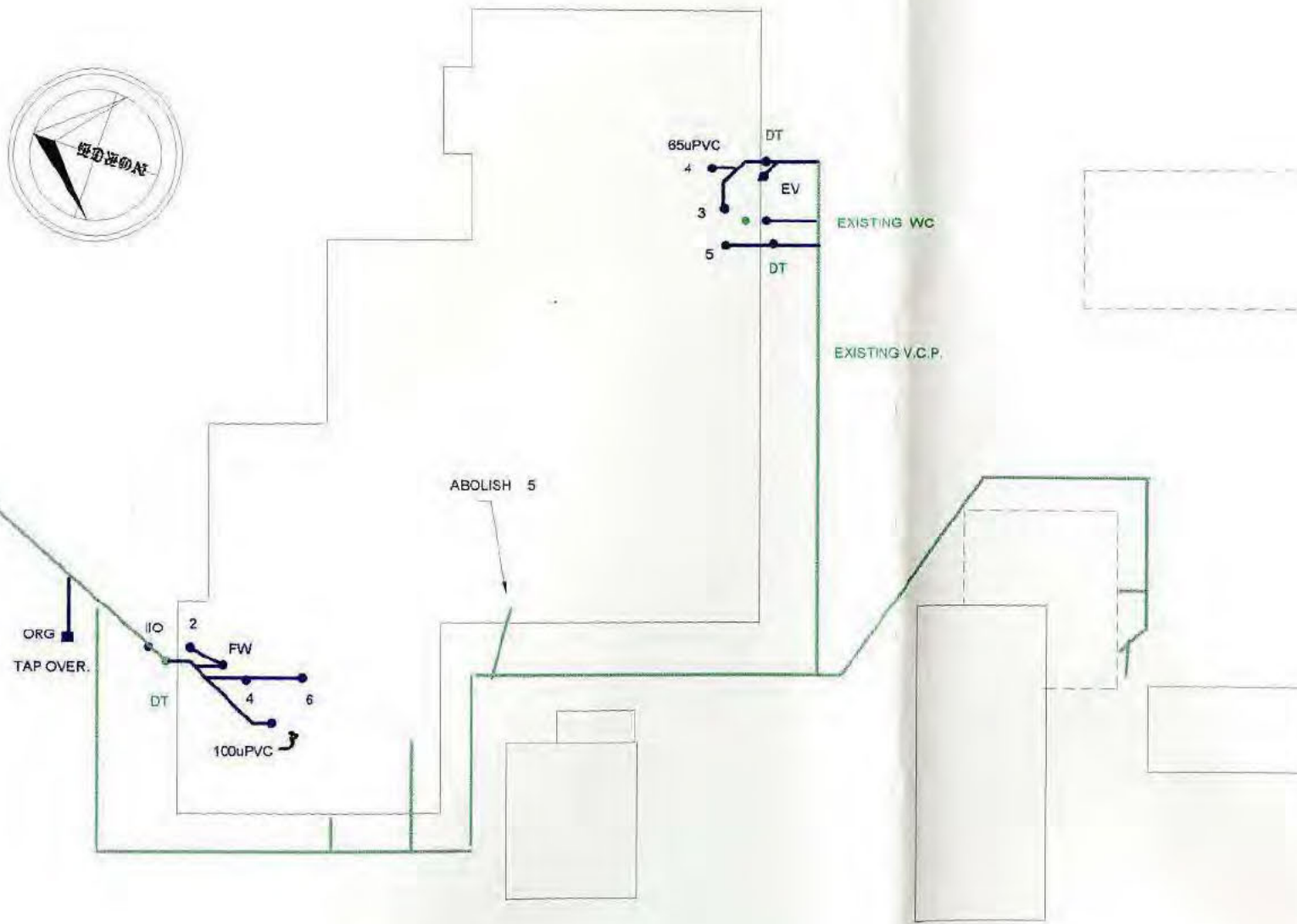
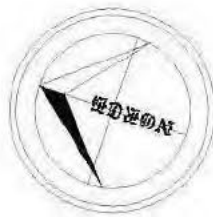
1.	W. CLOSET	(1)
2.	BATH	(-)
3.	BASIN	(2)
4.	SHOWER	(1)
5.	SINK	(2)
6.	TROUGH	(-)
7.	URINAL	(-)
8.	CLEANER'S SINK	(-)
9.	WASTE DISPOSAL UNIT	(-)
10.	BIDET	(-)



- NOTES:
- Drains to be laid shown in BLUE lines.
 - This Plan to be read in conjunction with approved Architectural Plans and Specifications.
 - Drains to be supported on or from solid ground.
 - Sewer branch to be located on site before any work is commenced.
 - Existing drains shown in GREEN lines.
 - Existing drains X'ed in RED to be abolished to approval.
 - Unplasticised Polyvinyl Chloride Pipe Drains (U.P.V.C.) to be constructed in accordance with AS 67 - 1972 and Canberra Codes of Practice.
 - Drains under building must be retested - drains having cement joints must be totally surrounded with cement concrete 150 mm thick.
 - Inspection Openings must be provided at the property boundary; on each W.C. or slop-hopper branch; at intervals of not more than 30 metres spaced equidistant where possible; immediately upstream and downstream of all jump-ups.
 - This plan supersedes Drainage Plan No. 737 dated previously issued.

W. J. Todd
 Sewerage Engineer
 5.11.1981

43 MELBOURNE AVENUE



DRAINAGE PLAN N^o 737

SANITARY DRAINAGE PLAN W.A.E. SCALE= 1:200.

OWNER Sch 2.2(a)(ii)

BLOCK 3 SECTION 2 FORREST.

All work must be carried out in conformity with the Canberra Sewerage and Water Supply Regulations.

DESIGNED TO AS 3500 2.2.

REFERENCE.

- | | | |
|--|-------------------------------|--------------------------|
| O.R.G. Over Flow Relief Gully. | C. I.P. Cast Iron Pipe. | F.W. Floor, Waste. |
| E. V. Educt Vent. | I. C. Inspection Opening. | V. P. Vent Pipe. |
| G. T. Gully Trap. | V. C. P. Vitrified Clay Pipe. | E. J. Expansion Joint. |
| J. U. Jump Up. | I. S. Inspection Shaft. | S.V.P. Soil Vent Pipe. |
| M. H. Man Hole. | | D. T. Disconnecter Trap. |
| uPVC Unplasticised Polyvinyl Chloride. | | S.P.D. Stone Pipe Drain. |

FIXTURES.

- | | |
|-------------------|---------|
| 1. WATER CLOSET. | = (1) |
| 2. BATH. | = (1) |
| 3. BASIN. | = (2) |
| 4. SHOWER. | = (2) |
| 5. SINK. | = (1) |
| 6. LAUNDRY. | = (1) |
| 7. URINAL. | = () |
| 8. CLEANERS SINK. | = () |
| 9. BIBET. | = () |

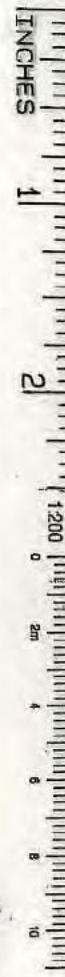
- SEWER TIE**
- TIE.
DEPTH.
CH.
- STORMWATER TIE**
- TIE.
DEPTH.
CH.

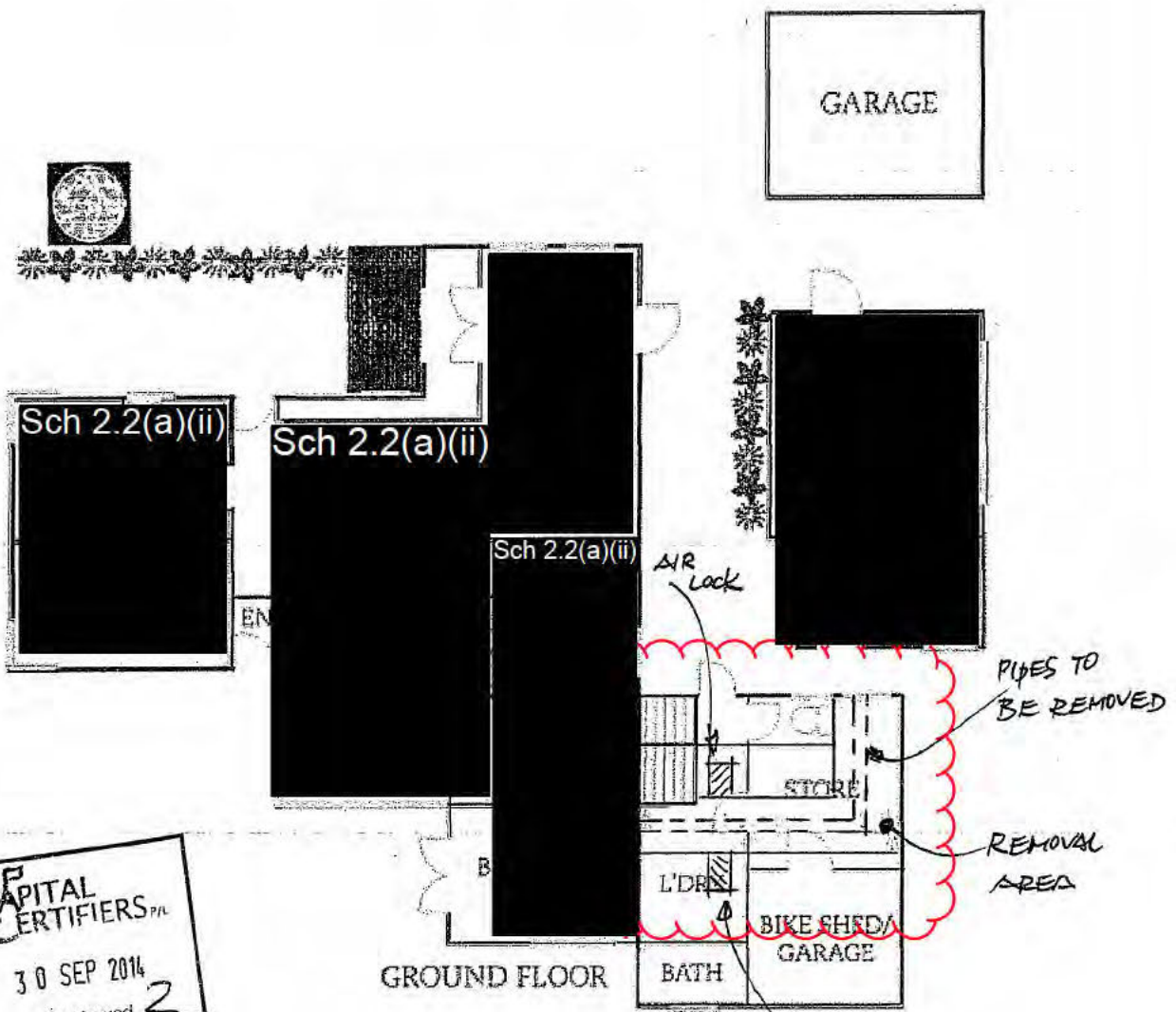
NOTES.

- DRAINS TO BE LAID SHOWN IN **BLUE** LINES
- EXISTING DRAINS SHOWN IN **GREEN** LINES
- EXISTING DRAINS **X** ED IN **RED** TO BE ABOLISHED TO APPROVAL
- DRAINS TO BE SUPPORTED ON OR FROM SOLID GROUND.
- COPPER PIPES TO BE IN ACCORDANCE WITH AS.1432-1973 TABLE 2 TYPE B TUBES.
- UNPLASTICISED POLYVINYL CHLORIDE PIPE DRAINS (UPVC) INCLUDING STACKS TO BE CONSTRUCTED IN ACCORDANCE WITH AS 2032-1977, AND THE CANBERRA CODES OF PRACTISE.
- DRAINS UNDER BUILDINGS MUST BE RETESTED. IF TEST FAILS THEN OLD DRAINS MUST BE REPLACED USING EITHER RR/VCP OR UPVC PIPE MATERIAL.
- CONNECTION TO EXISTING MAIN/MANHOLE TO BE MADE BY A.C.T.E.W. AT CONTRACTOR'S EXPENSE
- SEWER BRANCH TO BE LOCATED ON SITE BEFORE ANY WORK IS COMMENCED
- THIS PLAN TO BE READ IN CONJUNCTION WITH APPROVED ARCHITECTURAL PLANS AND SPECIFICATIONS.
- ORG LEVELS TO BE IN ACCORDANCE WITH AS3500.2 CLAUSE 4.6.5.6 AND 4.6.6.7
- I.O. AT PROPERTY BOUNDARY IS TO BE RAISED TO GROUND LEVEL IN ACCORDANCE WITH PLUMBING NOTE NO. 3
- PROVIDE AND INSTALL APPROVED FIRE STOP COLLARS AT ALL UPVC PENETRATIONS OF FIRE RATED WALLS AND FLC

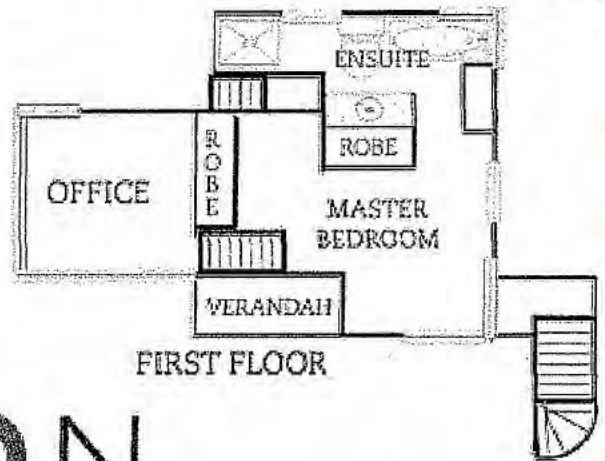
DRAWN AND DESIGNED BY - CHARLES PIROTTA
LICENCED DRAINER, PLUMBER, & GASFITTER.
ACCREDITED IN THERMOSTATIC MIXING VALVES.
ACCREDITED IN BACK FLOW PREVENTION.
PH/W. 0412603458 H. 52394864. GRIFFITH A.C.T.

Handwritten signature and date: J. H. Truogel 25.1.2002
SEWERAGE ENGINEER





CAPITAL CERTIFIERS PTY LTD
 30 SEP 2014
 Date Issued **2**
BUILDING APPROVAL
 Issued under s.28 of the Building Act 2004
CAPITAL CERTIFIERS PTY LTD
 COLA LIC. 2012 818
 ACN: 158 851 239
[Signature]



LUTON
 43 MELBOURNE AVE
 FORREST

**SITE PLAN - FOR
THE PURPOSE
OF AN ASBESTOS
REMOVAL**

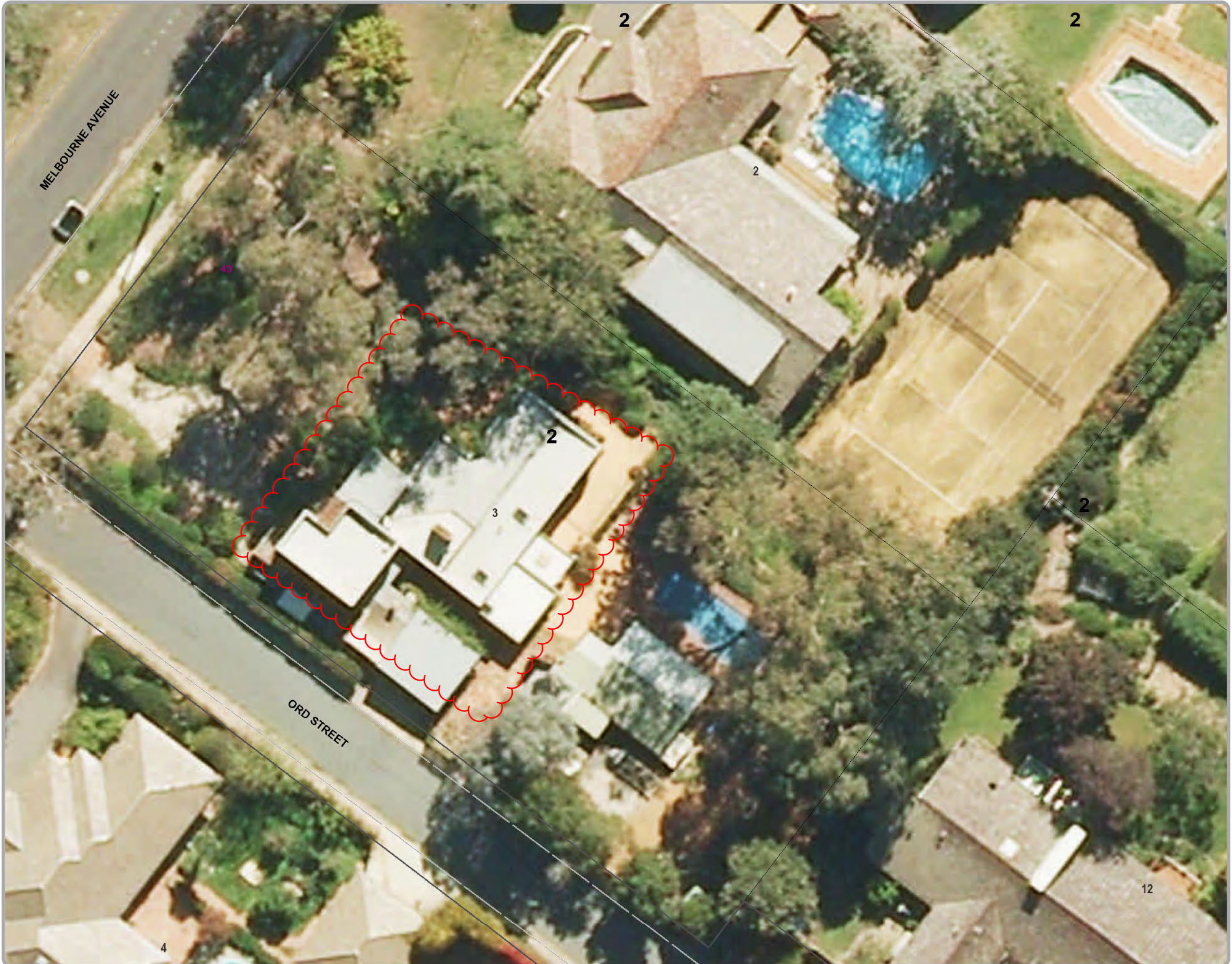
**CAPITAL
CERTIFIERS** PTY LTD
30 SEP 2014
Date Issued **2**
**BUILDING
APPROVAL**
Issued under s.28 of
the Building Act 2004
CAPITAL CERTIFIERS
PTY LTD
COLA LIC. 2012 818
ACN: 158 851 239
[Signature]

1: 276





























DISCLAIMER

The map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current or otherwise reliable.



**SITE PLAN - FOR
THE PURPOSE
OF AN ASBESTOS
REMOVAL**

Legend

-  Road Labels
-  ACT Border
-  Districts
-  Divisions
-  Registered Sections
-  Approved Sections
-  Proposed Sections
-  Road Delimiter
-  R Sections
-  Electrical Easements
-  Gas Easements
-  Right of Way Easements
-  Sewer Easements
-  Stormwater Easements
-  Telecommunications Easements
-  Water Easements
-  Urban Registered Blocks
-  Rural Registered Blocks
-  Stratum Registered Blocks
-  Urban Approved Blocks
-  Rural Approved Blocks
-  Stratum Approved Blocks
-  Urban Proposed Blocks
-  Rural Proposed Blocks
-  Rural Occupied Blocks
-  Class B Units



DISCLAIMER

The map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current or otherwise reliable.

Detail Plan No.

Drainage Plan No. 737 A

PLAN OF DRAINAGE

DISTRICT: Forrester Block 3 Section 2

REFERENCE

B.T. Boundary Trap.	S.T. Silt Trap.	E.V. Educt Vent.
C.T. Cully Trap.	C.I.P. Cast Iron Pipe.	I.V. Induct Vent.
D.T. Disconnecter Trap.	G.W.I.P. Galv. Wrought Iron Pipe.	S.I.V.P. Soil Induct Vent Pipe.
G.D.T. Gully Disconnecter Trap.	S.P.D. Stoneware Pipe Drain.	S.V.P. Soil Vent Pipe.
G.I.T. Grease Interceptor Trap.	I.C. Inspection Chamber.	V.P. Ventilating Pipe.
S.V. Stop Valve.	I.O. Inspection Opening.	T.I.T. Triple Interceptor Trap.

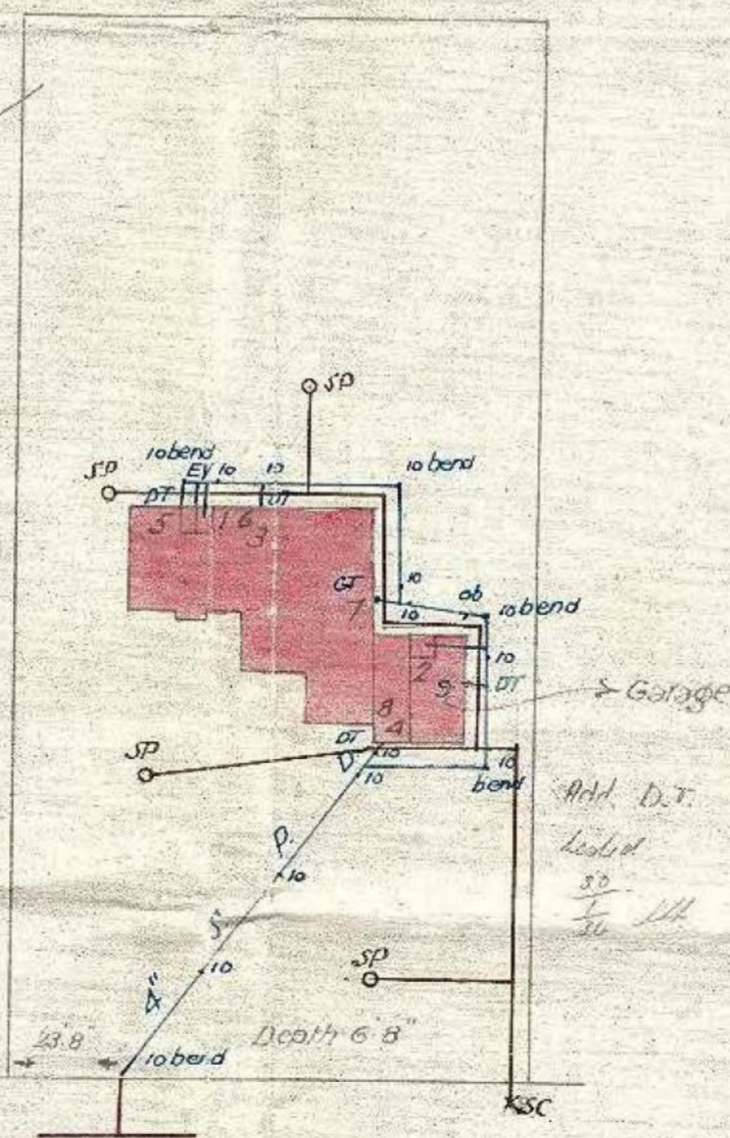
Scale—40 feet to 1 inch.

(See Regulations.)

- Fittings*
- 1.2 Closets *Internal*
 - 3.4 Baths
 - 5. Shower.
 - 6 Lav. Basin
 - 7 K. Sink
 - 8 Troughs
 - 9 Sink

6 Top to be enclosed in brick work, cement rendered & top of cement apron provided.
 Storage Tanks for closet Cisterns to be provided whenever ordered to do so by the Engineer for water supply & sewerage.
 Pipes near tree roots to be surrounded with 6" of cement concrete.
 Position of reticulation branch to be determined by measurement shown on plan.
 Efficient light & ventilation to be provided to closets & passage ways.
 Self closing springs to be fitted on each door.
 Drains to be laid shown in blue lines

Work carried out to this plan
 Amendments shown in green
 Water service " " brown lines
 J.M. Kinross.
 17/1/36



Designed by
 J.M.K.
 17/1/36
 Engineer.
 17/1/36

DEPARTMENT OF WORKS.

Detail Plan No.

Drainage Plan No. 737 B

PLAN OF DRAINAGE.

FOR

Owner

Sch 2.2(a)(ii)

LOT 3. SECTION 2.

DISTRICT: FORREST.

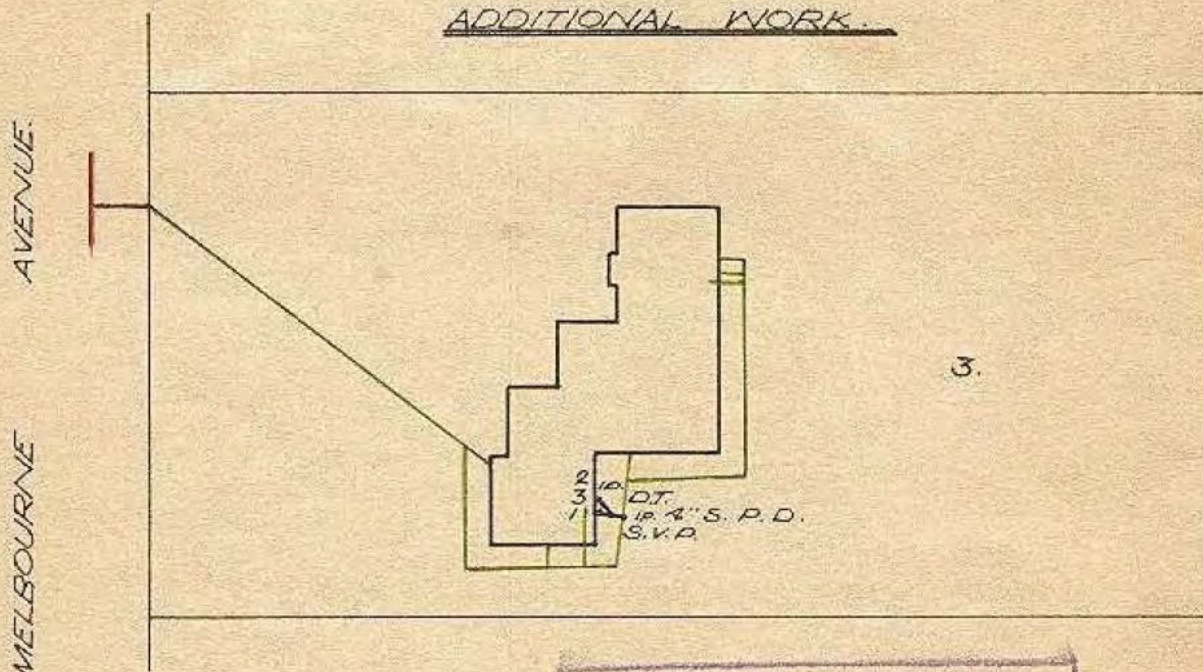
REFERENCE.

- | | | |
|---------------------------------|-------------------------------------|---------------------------------|
| B.T. Boundary Trap. | S.T. Silt Trap. | E.V. Educt Vent. |
| G.T. Gully Trap. | C.I.P. Cast Iron Pipe. | I.V. Induct Vent. |
| D.T. Disconnecter Trap. | G.W.I.P. Galv. Wrought Iron Pipe. | S.I.V.P. Soil Induct Vent Pipe. |
| G.D.T. Gully Disconnecter Trap. | S.P.D. Stoneware Pipe Drain. | S.V.P. Soil Vent Pipe. |
| G.I.T. Grease Interceptor Trap. | I.C. Inspection Chamber. | V.P. Ventilating Pipe. |
| S.V. Stop Valve. | I.O. Inspection Opening. | T.I.T. Triple Interceptor Trap. |
| | I.O.J. Inspection Opening Junction. | I.O.B. Inspection Opening Bend. |

Scale—40 feet to 1 inch.

(See Regulations.)

ADDITIONAL WORK



CONSTRUCTED DETAIL
 SANITARY PLUMBING AND
 DRAINAGE WORK MEASURED
 AND PASSED BY INSPECTOR
 Mr. John Cowling
 DATE 9/6/61

NOTES

Drains to be bid shown in blue lines.
 Existing drains shown in green lines.

FIXTURES
FIRST FLOOR

- | | |
|-----|--------------------------|
| No. | 1. W. Closet. (Internal) |
| - | 2. Shower. |
| - | 3. Lav. Basin. |

Designed by R. Low 7-3-61

William J. Lally
 Engineer.

Canberra, May 8th 1961

Detail Plan No.

Drainage Plan No. 737 B

PLAN OF DRAINAGE.

Sch 2.2(a)(ii)

FOR

Owner

LOT 3. SECTION 2.

DISTRICT: FORREST.

REFERENCE.

B.T. Boundary Trap.
G.T. Gully Trap.
D.T. Disconnector Trap.
G.D.T. Gully Disconnector Trap.
G.I.T. Grease Interceptor Trap.
S.V. Stop Valve.

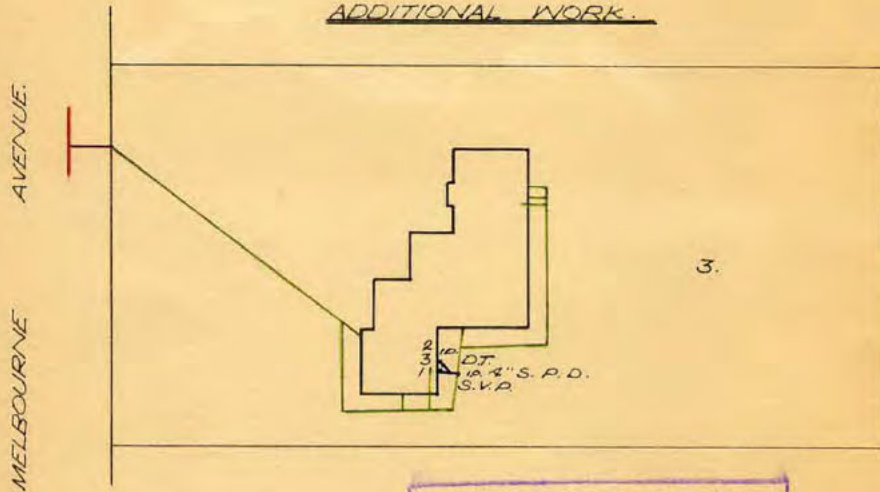
S.T. Silt Trap.
C.I.P. Cast Iron Pipe.
G.W.I.P. Galv. Wrought Iron Pipe.
S.P.D. Stoneware Pipe Drain.
I.C. Inspection Chamber.
I.O. Inspection Opening.
I.O.J. Inspection Opening Junction.

E.V. Educt Vent.
I.V. Induct Vent.
S.I.V.P. Soil Induct Vent Pipe.
S.V.P. Soil Vent Pipe.
V.P. Ventilating Pipe.
T.I.T. Triple Interceptor Trap.
I.O.B. Inspection Opening Bend.

Scale—40 feet to 1 inch.

(See Regulations.)

ADDITIONAL WORK.



CONSTRUCTED DETAIL
SANITARY PLUMBING AND
DRAINAGE WORK TESTED
AND PASSED BY INSPECTOR
By John Garay
DATE 9/6/61

NOTES

Drains to be bid shown in blue lines.
Existing drains shown in green lines.

FIXTURES
FIRST FLOOR

- Nº 1 W. Closet. (Internal)
- 2 Shower
- 3 Lav. Basin.

Designed by R. Low 7-3-61

Walter Luchally
Engineer.

Canberra, May 24 1961



Detail Plan No.....

Drainage Plan No. 737 B

PLAN OF DRAINAGE.

Sch 2.2(a)(ii)

FOR

Owner.....

LOT 3. SECTION 2.

DISTRICT: FORREST.

REFERENCE.

B.T. Boundary Trap.
 G.T. Gully Trap.
 D.T. Disconnector Trap.
 G.D.T. Gully Disconnector Trap.
 G.I.T. Grease Interceptor Trap.
 S.V. Stop Valve.

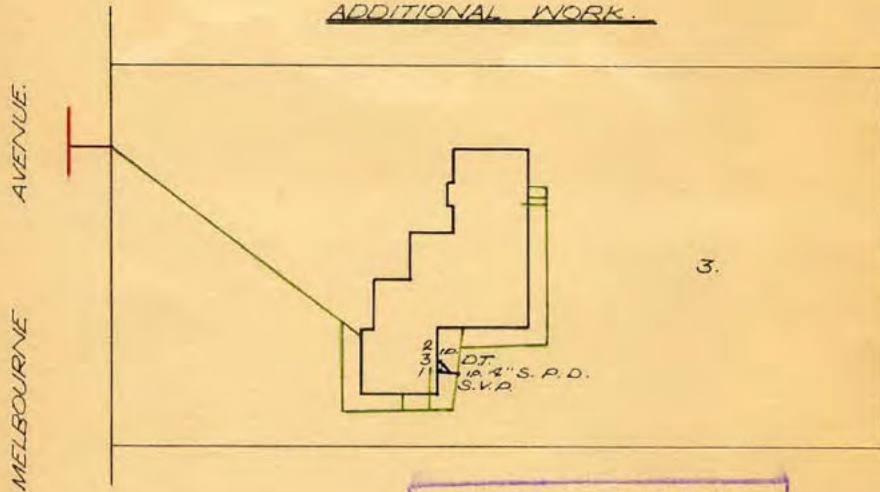
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 C.I.P. Cast Iron Pipe.
 G.W.I.P. Galv. Wrought Iron Pipe.
 S.P.D. Stoneware Pipe Drain.
 I.C. Inspection Chamber.
 I.O. Inspection Opening.
 I.O.J. Inspection Opening Junction.

E.V. Educt Vent.
 I.V. Induct Vent.
 S.I.V.P. Soil Induct Vent Pipe.
 S.V.P. Soil Vent Pipe.
 V.P. Ventilating Pipe.
 T.I.T. Triple Interceptor Trap.
 I.O.B. Inspection Opening Bend.

Scale—40 feet to 1 inch.

(See Regulations.)

ADDITIONAL WORK.



CONSTRUCTED DETAIL
 SANITARY PLUMBING AND
 DRAINAGE WORK TESTED
 AND PASSED BY INSPECTOR
 BY: John Garay
 DATE: 9/6/61

NOTES

Drains to be bid shown in blue lines.
 Existing drains shown in green lines.

FIXTURES
FIRST FLOOR

- Nº 1 W. Closet. (Internal)
- 2 Shower
- 3 Lav. Basin.

Designed by R. Low 7-3-61

Walter Luchally
Engineer.

Canberra, May 24 1961



PLAN OF SANITARY DRAINAGE

For

Sch 2.2(a)(ii)

Block 3 Section 2 FORREST

Scale 1:500

ADDITIONAL WORK

All work must be carried out in conformity with the Canberra Sewerage and Water Supply Regulations.

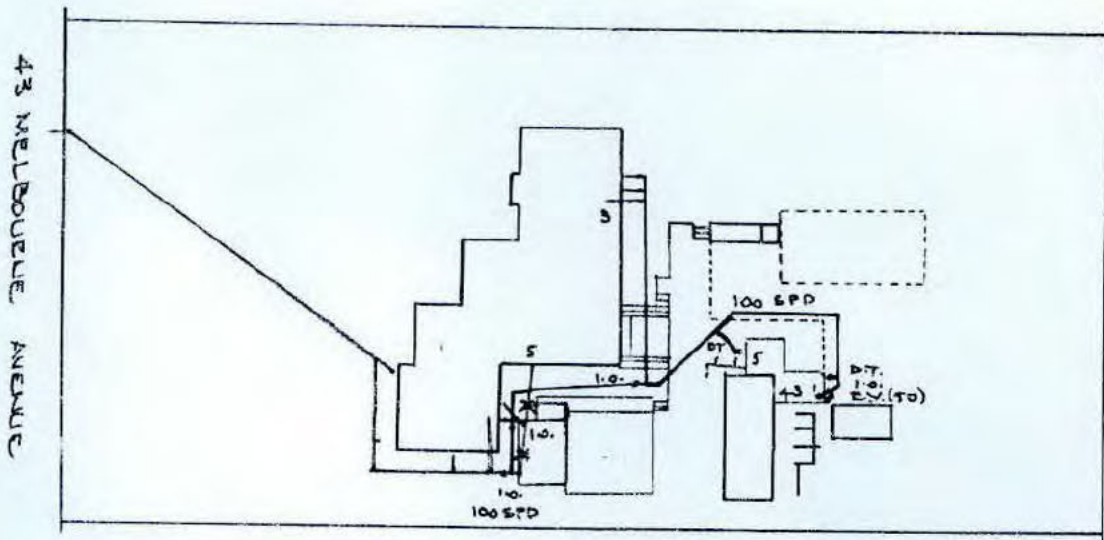
AMENDED DESIGN

REFERENCE:

G.T.	Gully Trap
D.T.	Disconnector Trap
C.I.P.	Cast Iron Pipe
S.P.D.	Stoneware Pipe Drain
S.V.P.	Soil Vent Pipe
V.P.	Vent Pipe
E.V.	Educt Vent
I.O.	Inspection Opening
E.J.	Expansion Joint
F.P.	Fixed Point
J.U.	Jump Up
MH.	Manhole

FIXTURES:

1.	W. CLOSET	(1)
2.	BATH	(-)
3.	BASIN	(2)
4.	SHOWER	(1)
5.	SINK	(2)
6.	TROUGH	(-)
7.	URINAL	(-)
8.	CLEANER'S SINK	(-)
9.	WASTE DISPOSAL UNIT	(-)
10.	BIDET	(-)



S:

Drains to be laid shown in BLUE lines.
 This Plan to be read in conjunction with approved Architectural Plans and Specifications.
 Drains to be supported on or from solid ground.
 Sewer branch to be located on site before any work is commenced.
 Existing drains shown in GREEN lines.
 Existing drains marked in RED to be abolished to approval.
 Unplasticised Polyvinyl Chloride Pipe Drains (U.P.V.C.) to be constructed in accordance with AS 67 - 1972 and Canberra Codes of Practice.

8. Drains under building must be retested - drains having cement joints must be totally surrounded with cement concrete 150 mm thick.
9. Inspection Openings must be provided at the property boundary; on each W.C. or slop-hopper branch; at intervals of not more than 30 metres spaced equidistant where possible; immediately upstream and downstream of all jump-ups.
10. This plan supersedes Drainage Plan No. 737 dated previously issued.

W. Todd
 Sewerage Engineer
 5.11.81

PLAN OF SANITARY DRAINAGE

Sch 2.2(a)(ii)

Block 3 Section 2 FOREST

Scale 1:500

ADDITIONAL WORK

All work must be carried out in conformity with the Canberra Sewerage and Water Supply Regulations.

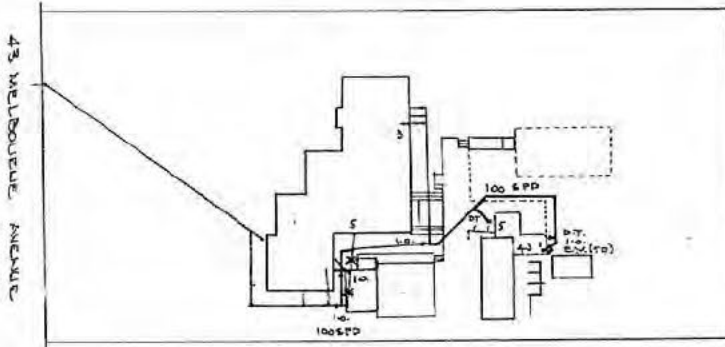
AMENDED DESIGN

REFERENCE:

G.T.	Gully Trap
D.T.	Disconnector Trap
C.I.P.	Cast Iron Pipe
S.P.D.	Stoneware Pipe Drain
S.V.P.	Soil Vent Pipe
V.P.	Vent Pipe
E.V.	Educt Vent
I.O.	Inspection Opening
E.J.	Expansion Joint
F.P.	Fixed Point
J.U.	Jump Up
MH.	Manhole

FIXTURES:

1.	W. CLOSET	(1)
2.	BATH	(-)
3.	BASIN	(2)
4.	SHOWER	(1)
5.	SINK	(2)
6.	TROUGH	(-)
7.	URINAL	(-)
8.	CLEANER'S SINK	(-)
9.	WASTE DISPOSAL UNIT	(-)
10.	BIDET	(-)



NOTES:

1. Drains to be laid shown in BLUE lines.
2. This Plan to be read in conjunction with approved Architectural Plans and Specifications.
3. Drains to be supported on or from solid ground.
4. Sewer branch to be located on site before any work is commenced.
5. Existing drains shown in GREEN lines.
6. Existing drains shown in RED to be abolished to approval.
7. Unplasticised Polyvinyl Chloride Pipe Drains (U.P.V.C.) to be constructed in accordance with AS 67 - 1972 and Canberra Codes of Practice.
8. Drains under building must be retested - drains having cement joints must be totally surrounded with cement concrete 150 mm thick.
9. Inspection Openings must be provided at the property boundary; on each W.C. or stop-hopper branch; at intervals of not more than 30 metres spaced equidistant where possible; immediately upstream and downstream of all jump-ups.
10. This plan supersedes Drainage Plan No. 737 dated previously issued.

W. J. Bird
Sewerage Engineer
5.11.1981

Designed by: I.T. BIRD & ASSOCIATES PTY. LTD.



PLAN OF SANITARY DRAINAGE

Sch 2.2(a)(ii)

Block 3 Section 2 FOREST

Scale 1:500

ADDITIONAL WORK

All work must be carried out in conformity with the Canberra Sewerage and Water Supply Regulations.

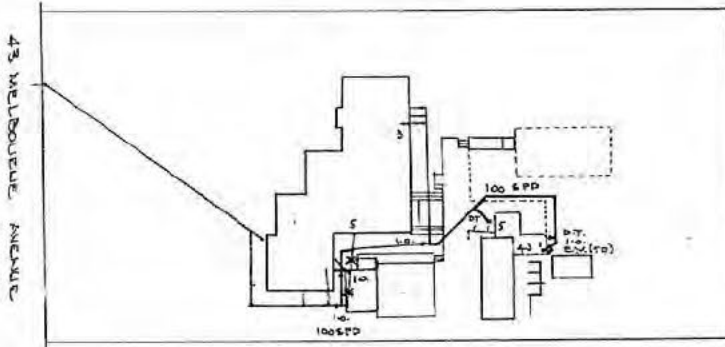
AMENDED DESIGN

REFERENCE:

G.T.	Gully Trap
D.T.	Disconnector Trap
C.I.P.	Cast Iron Pipe
S.P.D.	Stoneware Pipe Drain
S.V.P.	Soil Vent Pipe
V.P.	Vent Pipe
E.V.	Educt Vent
I.O.	Inspection Opening
E.J.	Expansion Joint
F.P.	Fixed Point
J.U.	Jump Up
MH.	Manhole

FIXTURES:

1.	W. CLOSET	(1)
2.	BATH	(-)
3.	BASIN	(2)
4.	SHOWER	(1)
5.	SINK	(2)
6.	TROUGH	(-)
7.	URINAL	(-)
8.	CLEANER'S SINK	(-)
9.	WASTE DISPOSAL UNIT	(-)
10.	BIDET	(-)



NOTES:

1. Drains to be laid shown in BLUE lines.
2. This Plan to be read in conjunction with approved Architectural Plans and Specifications.
3. Drains to be supported on or from solid ground.
4. Sewer branch to be located on site before any work is commenced.
5. Existing drains shown in GREEN lines.
6. Existing drains to be abolished to approval.
7. Unplasticised Polyvinyl Chloride Pipe Drains (U.P.V.C.) to be constructed in accordance with AS 67 - 1972 and Canberra Codes of Practice.
8. Drains under building must be retested - drains having cement joints must be totally surrounded with cement concrete 150 mm thick.
9. Inspection Openings must be provided at the property boundary; on each W.C. or stop-hopper branch; at intervals of not more than 30 metres spaced equidistant where possible; immediately upstream and downstream of all jump-ups.
10. This plan supersedes Drainage Plan No. 737 dated previously issued.

W. J. Bird
Sewerage Engineer
5.11.1981

Designed by: I.T. BIRD & ASSOCIATES PTY. LTD.



PLAN OF SANITARY DRAINAGE

For
Sch 2.2(a)(ii)

Block 3 Section 2 FOREST

Scale 1:500

ADDITIONAL WORK

All work must be carried out in conformity with the
Canberra Sewerage and Water Supply Regulations.

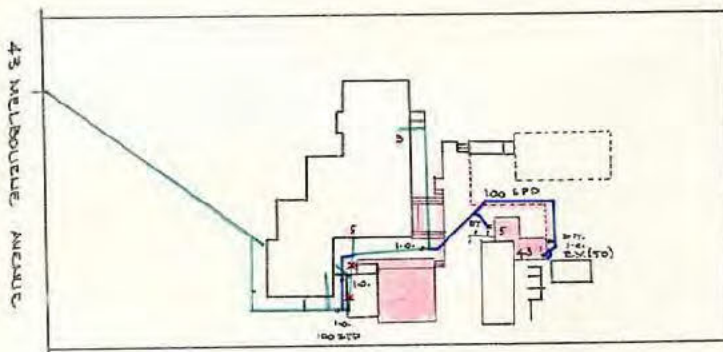
AMENDED DESIGN

REFERENCE:

G.T.	Gully Trap
D.T.	Disconnecter Trap
C.I.P.	Cast Iron Pipe
S.P.D.	Stoneware Pipe Drain
S.V.P.	Soil Vent Pipe
V.P.	Vent Pipe
E.V.	Educt Vent
I.O.	Inspection Opening
E.J.	Expansion Joint
F.P.	Fixed Point
J.U.	Jump Up
M.H.	Manhole

FIXTURES:

1.	W. CLOSET	(1)
2.	BATH	(-)
3.	BASIN	(2)
4.	SHOWER	(1)
5.	SINK	(2)
6.	TROUGH	(-)
7.	URINAL	(-)
8.	CLEANER'S SINK	(-)
9.	WASTE DISPOSAL UNIT	(-)
10.	BIDET	(-)



NOTES:

1. Drains to be laid shown in BLUE lines.
2. This Plan to be read in conjunction with approved Architectural Plans and Specifications.
3. Drains to be supported on or from solid ground.
Sewer branch to be located on site before any work is commenced.
Existing drains shown in GREEN lines.
Existing drains marked in RED to be abolished to approval.
Unplasticised Polyvinyl Chloride Pipe Drains (U.P.V.C.) to be constructed in accordance with AS 87 - 1972 and Canberra Codes of Practice.
Drains under building must be reticulated - drains having cement joints must be totally surrounded with cement concrete 150 mm thick.
Inspection Openings must be provided at the property boundary; each W.C. or slop-hopper branch; at intervals of not more than metres spaced equidistant where possible; immediately upstream and downstream of all jump-ups.
Superseded Drainage Plan No. 737 dated _____
_____ issued.

W. J. Todd
Sewerage Engineer
5.11.1981

Prepared by: I.T. BIRD & ASSOCIATES PTY. LTD.



PLAN OF SANITARY DRAINAGE

For
Sch 2.2(a)(ii)

Block 3 Section 2 FOREST

Scale 1:500

ADDITIONAL WORK

All work must be carried out in conformity with the
Canberra Sewerage and Water Supply Regulations.

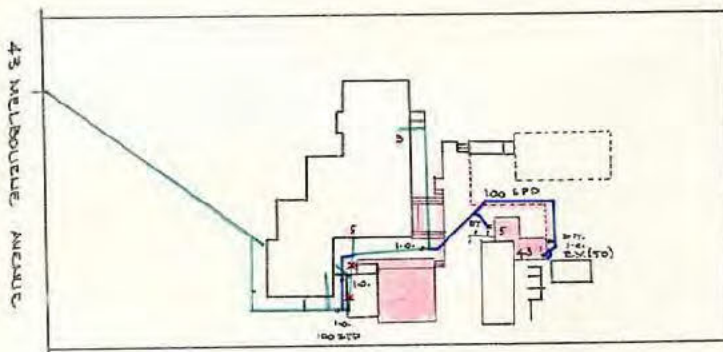
AMENDED DESIGN

REFERENCE:

G.T.	Gully Trap
D.T.	Disconnecter Trap
C.I.P.	Cast Iron Pipe
S.P.D.	Stoneware Pipe Drain
S.V.P.	Soil Vent Pipe
V.P.	Vent Pipe
E.V.	Educt Vent
I.O.	Inspection Opening
E.J.	Expansion Joint
F.P.	Fixed Point
J.U.	Jump Up
M.H.	Manhole

FIXTURES:

1.	W. CLOSET	(1)
2.	BATH	(-)
3.	BASIN	(2)
4.	SHOWER	(1)
5.	SINK	(2)
6.	TROUGH	(-)
7.	URINAL	(-)
8.	CLEANER'S SINK	(-)
9.	WASTE DISPOSAL UNIT	(-)
10.	BIDET	(-)



NOTES:

1. Drains to be laid shown in BLUE lines.
2. This Plan to be read in conjunction with approved Architectural Plans and Specifications.
3. Drains to be supported on or from solid ground.
Sewer branch to be located on site before any work is commenced.
Existing drains shown in GREEN lines.
Existing drains marked in RED to be abolished to approval.
Unplasticised Polyvinyl Chloride Pipe Drains (U.P.V.C.) to be constructed in accordance with AS 87 - 1972 and Canberra Codes of Practice.
Drains under building must be reticulated - drains having cement joints must be totally surrounded with cement concrete 150 mm thick.
Inspection Openings must be provided at the property boundary; each W.C. or slop-hopper branch; at intervals of not more than metres spaced equidistant where possible; immediately upstream and downstream of all jump-ups.
Approved Drainage Plan No. 737 dated 1981.
Sewerage Engineer

W. J. Todd
Sewerage Engineer
5.11.1981

Prepared by: I.T. BIRD & ASSOCIATES PTY. LTD.



DRAINAGE PLAN N^o 737 E

SANITARY DRAINAGE PLAN W.A.E.

SCALE= 1:200

OWNER Sch 2.2(a)(ii)

BLOCK 3 SECTION 2 FORREST.

All work must be carried out in conformity with the Canberra Sewerage and Water Supply Regulations.

DESIGNED TO AS 3500 2.2.

REFERENCE.

- | | | |
|--------------------------------|--|--------------------------|
| D.R.G. Over Flow Relief Gully. | C. I.P. Cast Iron Pipe. | F.W. Floor. Waste. |
| E. V. Educt Vent. | I. O. Inspection Opening. | V. P. Vent Pipe. |
| G. T. Gully Trap. | V. C. P. Vitrified Clay Pipe. | E. J. Expansion Joint. |
| J. U. Jump Up. | I. S. Inspection Shaft. | S.V.P. Soil Vent Pipe. |
| M. H. Man Hole. | uPVC Unplasticised Polyvinyl Chloride. | D. T. Disconnecter Trap. |
| | | S.P.D. Stone Pipe Drain. |

FIXTURES.

- | | | |
|-------------------|---------|---------------------|
| 1. WATER CLOSET. | = (1) | TIE. |
| 2. BATH. | = (1) | DEPTH. |
| 3. BASIN. | = (2) | CH. |
| 4. SHOWER. | = (2) | CH. STORMWATER TIE. |
| 5. SINK. | = (1) | TIE. |
| 6. LAUNDRY. | = (1) | DEPTH. |
| 7. URINAL. | = () | CH. |
| 8. CLEANERS SINK. | = () | |
| 9. BIBET. | = () | |

NOTES.

- DRAINS TO BE LAID SHOWN IN BLUE LINES
- EXISTING DRAINS SHOWN IN GREEN LINES
- EXISTING DRAINS X ED IN RED TO BE ABOLISHED TO APPROVAL
- DRAINS TO BE SUPPORTED ON OR FROM SOLID GROUND
- COPPER PIPES TO BE IN ACCORDANCE WITH AS 1432-1973 TABLE 2 TYPE B TUBES
- UNPLASTICISED POLYVINYL CHLORIDE PIPE DRAINS (UPVC) IN GULLY STACKS TO BE CONSTRUCTED IN ACCORDANCE WITH AS 2032-1977 AND THE CANBERRA CODES OF PRACTICE
- DRAINS UNDER BUILDINGS MUST BE RE-TESTED IF TEST FAILS THEN OLD DRAINS MUST BE REPLACED USING EITHER BR/VC/P OR UPVC PIPE MATERIAL
- CONNECTION TO EXISTING MAINMANHOLE TO BE MADE BY A.C.T.E.W. AT CONTRACTOR'S EXPENSE
- SEWER BRANCH TO BE LOCATED ON SITE BEFORE ANY WORK IS COMMENCED
- THIS PLAN TO BE READ IN CONJUNCTION WITH APPROVED ARCHITECTURAL PLANS AND SPECIFICATIONS
- ORG LEVELS TO BE IN ACCORDANCE WITH AS 3500 2 CLAUSE 4.6.6.5 AND 4.6.6.7
- I.O. AT PROPERTY BOUNDARY IS TO BE RAISED TO GROUND LEVEL IN ACCORDANCE WITH PLUMBING NOTE NO 3
- PROVIDE AND INSTALL APPROVED FIRE STOP COLLARS AT ALL UPVC PENETRATIONS OF FIRE RATED WALLS AND FLO.

DRAWN AND DESIGNED BY - CHARLES PIROTTA
 LICENCED DRAINER PLUMBER & GASFITTER
 ACCREDITED IN THERMOSTATIC MIXING VALVES
 ACCREDITED IN BACK FLOW PREVENTION
 P.W. No 117603450 H. 8234964 GRIFFITHS & C.T

R. Thuegel 25.1.2002
 SEWERAGE ENGINEER

43 MELBOURNE AVENUE



ORG TAP OVER

IIO

SH

2

FW

4

6

100/PVC

ABOLISH 5

65/PVC

4

EV

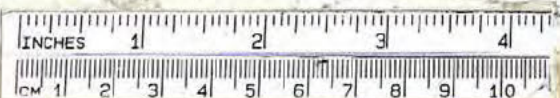
3

5

OT

EXISTING WC

EXISTING V.O.P





DRAINAGE PLAN N^o 737 E

SANITARY DRAINAGE PLAN W.A.E.

SCALE= 1:200

Sch 2.2(a)(ii)

OWNER

BLOCK 3

SECTION

2 FORREST

All work must be carried out in conformity with the Canberra Sewerage and Water Supply Regulations.

DESIGNED TO AS 3500 2.2.

REFERENCE.

- | | | |
|--------------------------------|--|--------------------------|
| O.R.G. Over Flow Relief Gully. | C. I.P. Cast Iron Pipe. | F.W. Floor, Waste. |
| E. V. Educt Vent. | I. O. Inspection Opening. | V. P. Vent Pipe. |
| G. T. Gully Trap. | V. C. P. Vitriified Clay Pipe. | E. J. Expansion Joint. |
| J. U. Jump Up. | I. S. Inspection Shaft. | S.V.P. Soil Vent Pipe. |
| M. H. Man Hole. | uPVC Unplasticised Polyvinyl Chloride. | D. T. Disconnector Trap. |
| | | S.P.D. Stone Pipe Drain. |

FIXTURES

- | | |
|-------------------|---------|
| 1. WATER CLOSET. | = (1) |
| 2. BATH. | = (1) |
| 3. BASIN. | = (2) |
| 4. SHOWER. | = (2) |
| 5. SINK. | = (1) |
| 6. LAUNDRY. | = (1) |
| 7. URINAL. | = (1) |
| 8. CLEANERS SINK. | = (1) |
| 9. BIBET. | = (1) |

- SEWER TIE**
- TIE.**
- DEPTH.**
- CH.**
- STORMWATER TIE.**
- TIE.**
- DEPTH.**
- CH.**

NOTES.

- DRAINS TO BE LAD SHOWN IN BLUE LINES
- EXISTING DRAINS SHOWN IN GREEN LINES
- EXISTING DRAINS XED IN RED TO BE ABLISHED TO APPROVAL.
- DRAINS TO BE SUPPORTED ON OR FROM SOLID GROUND.
- COPPER PIPES TO BE IN ACCORDANCE WITH AS 1430:1973 TABLE 2 TYPE B TUBES
- UNPLASTICISED POLYVINYL CHLORIDE PIPE DRAINS (UPVC) INCLUDING STACKS TO BE CONSTRUCTED IN ACCORDANCE WITH AS 2032:1977, AND THE CANBERRA CODES OF PRACTISE
- DRAINS UNDER BUILDINGS MUST BE RETESTED. IF TEST FAILS THEN OLD DRAINS MUST BE REPLACED USING EITHER RIVJED OR UPVC PIPE MATERIAL.
- CONNECTION TO EXISTING MANHOLE TO BE MADE BY A C.T.E.W. AT CONTRACTOR'S EXPENSE
- SEWER BRANCH TO BE LOCATED ON SITE BEFORE ANY WORK IS COMMENCED
- THIS PLAN TO BE READ IN CONJUNCTION WITH APPROVED ARCHITECTURAL PLANS AND SPECIFICATIONS
- ORG LEVELS TO BE IN ACCORDANCE WITH AS3500.2 CLAUSE 4.6.6.6 AND 4.6.6.7
- 10 AT PROPERTY BOUNDARY IS TO BE RAISED TO GROUND LEVEL IN ACCORDANCE WITH PLUMBING NOTE NO. 3
- PROVIDE AND INSTALL APPROVED FIRE STOP COLLARS AT ALL UPVC PENETRATIONS OF FIRE RATED WALLS AND FLC

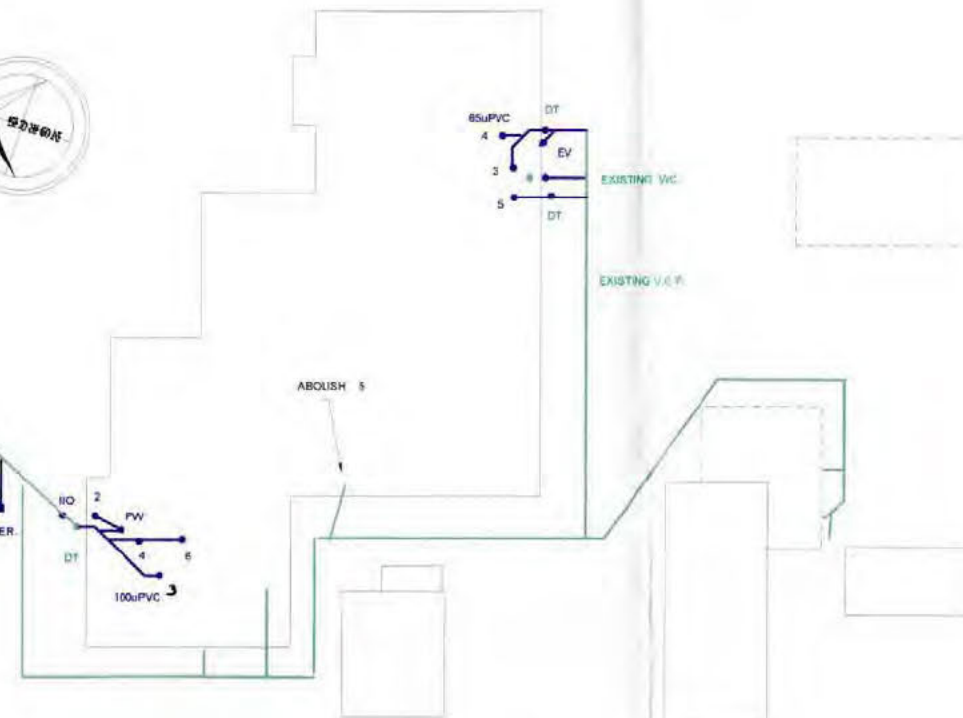
DRAWN AND DESIGNED BY - CHARLES PIROTTA
 LICENCED DRAINER, PLUMBER, & GASFITTER
 ACCREDITED IN THERMOSTATIC MIXING VALVES
 ACCREDITED IN BACK FLOW PREVENTION
 PH: W. 0412933458 H. 02304864. GRIFFITH A.C.T.

J.R. Knight 25.1.2002
 SEWERAGE ENGINEER

43 MELBOURNE AVENUE



ORG TAP OVER.



DRAINAGE PLAN N° 737 E

SANITARY DRAINAGE PLAN W.A.E.

SCALE= 1:200

Sch 2.2(a)(ii)

OWNER

BLOCK 3

SECTION

2 FORREST

All work must be carried out in conformity with the Canberra Sewerage and Water Supply Regulations.

DESIGNED TO AS 3500 2.2

REFERENCE.

- | | | |
|--|-------------------------------|--------------------------|
| O.R.G. Over Flow Relief Gully. | C. I.P. Cast Iron Pipe. | F.W. Floor. Waste. |
| E. V. Educt Vent. | I. O. Inspection Opening. | V. P. Vent Pipe. |
| G. T. Gully Trap. | V. C. P. Vitrified Clay Pipe. | E. J. Expansion Joint. |
| J. U. Jump Up. | I. S. Inspection Shaft. | S. V.P. Soil Vent Pipe. |
| M. H. Man Hole. | | D. T. Disconnecter Trap. |
| uPVC Unplasticised Polyvinyl Chloride. | | S.P.D. Stone Pipe Drain. |

FIXTURES.

- | | |
|-------------------|---------|
| 1. WATER CLOSET. | = (1) |
| 2. BATH. | = (1) |
| 3. BASIN. | = (2) |
| 4. SHOWER. | = (2) |
| 5. SINK. | = (1) |
| 6. LAUNDRY. | = (1) |
| 7. URINAL. | = () |
| 8. CLEANERS SINK. | = () |
| 9. BIBET. | = () |

SEWER TIE

TIE
DEPTH.

CH.

STORMWATER TIE.

TIE.
DEPTH.

CH.

NOTES.

- DRAINS TO BE LAID SHOWN IN BLUE LINES
- EXISTING DRAINS SHOWN IN GREEN LINES
- EXISTING DRAINS X ED IN RED TO BE ABOLISHED TO APPROVAL
- DRAINS TO BE SUPPORTED ON OR FROM SOLID GROUND
- COPPER PIPES TO BE IN ACCORDANCE WITH AS 1432-1973 TABLE 2 TYPE B TUBING
- UNPLASTICISED POLYVINYL CHLORIDE PIPE (UPVC) INCLUDING STACKS TO BE CONSTRUCTED IN ACCORDANCE WITH AS 2022-1977, AND THE CANBERRA CODES OF PRACTISE
- DRAINS UNDER BUILDINGS MUST BE RETESTED. IF TEST FAILS THEN OLD DRAINS MUST BE REPLACED USING EITHER RR/VCP OR UPVC PIPE MATERIAL
- CONNECTION TO EXISTING MANHOLE TO BE MADE BY A G.T.E.W. AT CONTRACTORS EXPENSE
- SEWER BRANCH TO BE LOCATED ON SITE BEFORE ANY WORK IS COMMENCED
- THIS PLAN TO BE READ IN CONJUNCTION WITH APPROVED ARCHITECTURAL PLANS AND SPECIFICATIONS
- DRG LEVELS TO BE IN ACCORDANCE WITH AS3500.2 CLAUSE 4.6.5.6 AND 4.6.6.7
- I.O. AT PROPERTY BOUNDARY IS TO BE RAISED TO GROUND LEVEL IN ACCORDANCE WITH PLUMBING NOTE NO. 3
- PROVIDE AND INSTALL APPROVED FIRE STOP COLLARS AT ALL UPVC PENETRATIONS OF FIRE RATED WALLS AND FLE.

DRAWN AND DESIGNED BY - CHARLES PHOTTA
LICENSED DRAINER, PLUMBER, & GASFITTER
ACCREDITED IN THERMOSTATIC MIXING VALVES
ACCREDITED IN BACK FLOW PREVENTION
PH N° 0412002456 H. 0220484 GRIFFITH A.C.T.

J.R. Hugel 25-1-2002
SEWERAGE ENGINEER

43 MELBOURNE AVENUE



ORG
TAP OVER.

IO

2

FW

4

5

100uPVC

85uPVC

4

3

5

DT

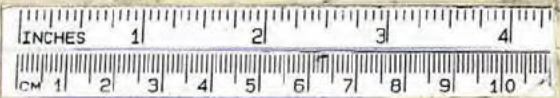
Ev.

DT

EXISTING S.O.P.

EXISTING S.O.P.

ABOUGH B



DRAINAGE PLAN N° 737 E

SANITARY DRAINAGE PLAN W.A.E

SCALE= 1:200

Sch 2.2(a)(ii)

OWNER

BLOCK 3

SECTION

2 FORREST

All work must be carried out in conformity with the Canberra Sewerage and Water Supply Regulations.

DESIGNED TO AS 3500 2.2

REFERENCE.

- O.R.G. Over Flow Relief Gully.
- E. V. Educt Vent.
- G. T. Gully Trap.
- J. U. Jump Up.
- M. H. Man Hole.
- C. I. P. Cast Iron Pipe.
- I. O. Inspection Opening.
- V. C. P. Vitrified Clay Pipe.
- I. S. Inspection Shaft.
- F. W. Floor. Waste.
- V. P. Vent Pipe.
- E. J. Expansion Joint.
- S. V. P. Soil Vent Pipe.
- D. T. Disconnecter Trap.
- S. P. D. Stone Pipe Drain.

FIXTURES.

- 1. WATER CLOSET. = (1)
- 2. BATH. = (1)
- 3. BASIN. = (2)
- 4. SHOWER. = (2)
- 5. SINK. = (1)
- 6. LAUNDRY. = (1)
- 7. URINAL. = ()
- 8. CLEANERS SINK. = ()
- 9. BIBET. = ()

SEWER TIE

TIE
DEPTH.

CH.

STORMWATER TIE.

TIE.
DEPTH.

CH.

NOTES.

1. DRAINS TO BE LAID SHOWN IN BLUE LINES
2. EXISTING DRAINS SHOWN IN GREEN LINES
3. EXISTING DRAINS X ED IN RED TO BE ABOLISHED TO APPROVAL
4. DRAINS TO BE SUPPORTED ON OR FROM SOLID GROUND
5. COPPER PIPES TO BE IN ACCORDANCE WITH AS 1432-1973 TABLE 2 TYPE B TUBING
6. UNPLASTICISED POLYVINYL CHLORIDE PIPE DRAINS (UPVC) INCLUDING STACKS TO BE CONSTRUCTED IN ACCORDANCE WITH AS 2022-1977, AND THE CANBERRA CODES OF PRACTISE
7. DRAINS UNDER BUILDINGS MUST BE RETESTED IF TEST FAILS THEN OLD DRAINS MUST BE REPLACED USING EITHER RR/VCP OR UPVC PIPE MATERIAL
8. CONNECTION TO EXISTING MAIN/MAINICLE TO BE MADE BY A G.T.E.W. AT CONTRACTORS EXPENSE
9. SEWER BRANCH TO BE LOCATED ON SITE BEFORE ANY WORK IS COMMENCED
10. THIS PLAN TO BE READ IN CONJUNCTION WITH APPROVED ARCHITECTURAL PLANS AND SPECIFICATIONS
11. DRG LEVELS TO BE IN ACCORDANCE WITH AS3500.2 CLAUSE 4.6.5.6 AND 4.6.6.7
12. I.O. AT PROPERTY BOUNDARY IS TO BE RAISED TO GROUND LEVEL IN ACCORDANCE WITH PLUMBING NOTE NO. 3
13. PROVIDE AND INSTALL APPROVED FIRE STOP COLLARS AT ALL UPVC PENETRATIONS OF FIRE RATED WALLS AND FLE.

DRAWN AND DESIGNED BY - CHARLES PHOTTA
 LICENSED DRAINER, PLUMBER, & GASFITTER
 ACCREDITED IN THERMOSTATIC MIXING VALVES
 ACCREDITED IN BACK FLOW PREVENTION
 PH W/ 0412002456 H. 0220484 GRIFFITH A.C.T.

J.R. Hugel 25-1-2002
 SEWERAGE ENGINEER

43 MELBOURNE AVENUE



ORG
TAP OVER.

110

STY

2

FW

4

5

100 PVC

85 PVC

4

3

5

DT

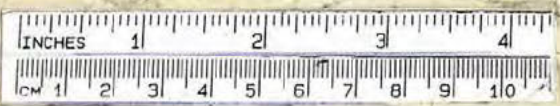
Ev

DT

EXISTING S.O.P.

EXISTING S.O.P.

ABOUGH B



PLAN OF SANITARY DRAINAGE

For

Sch 2.2(a)(ii)

Block 3 Section 2 FORREST

Scale 1:500

ADDITIONAL WORK

All work must be carried out in conformity with the Canberra Sewerage and Water Supply Regulations.

AMENDED DESIGN

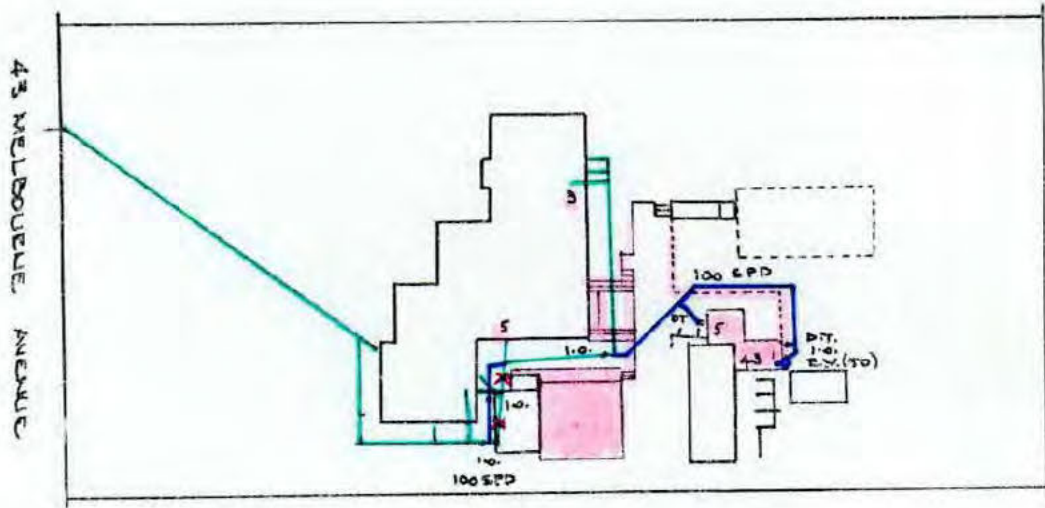


REFERENCE:

S.T.	Gully Trap
D.T.	Disconnector Trap
C.I.P.	Cast Iron Pipe
S.P.D.	Stoneware Pipe Drain
S.V.P.	Soil Vent Pipe
V.P.	Vent Pipe
E.V.	Educt Vent
I.O.	Inspection Opening
E.J.	Expansion Joint
F.P.	Fixed Point
I.U.	Jump Up
M.H.	Manhole

FIXTURES:

1.	W. CLOSET	(1)
2.	BATH	(-)
3.	BASIN	(2)
4.	SHOWER	(1)
5.	SINK	(2)
6.	TROUGH	(-)
7.	URINAL	(-)
8.	CLEANER'S SINK	(-)
9.	WASTE DISPOSAL UNIT	(-)
10.	BIDET	(-)

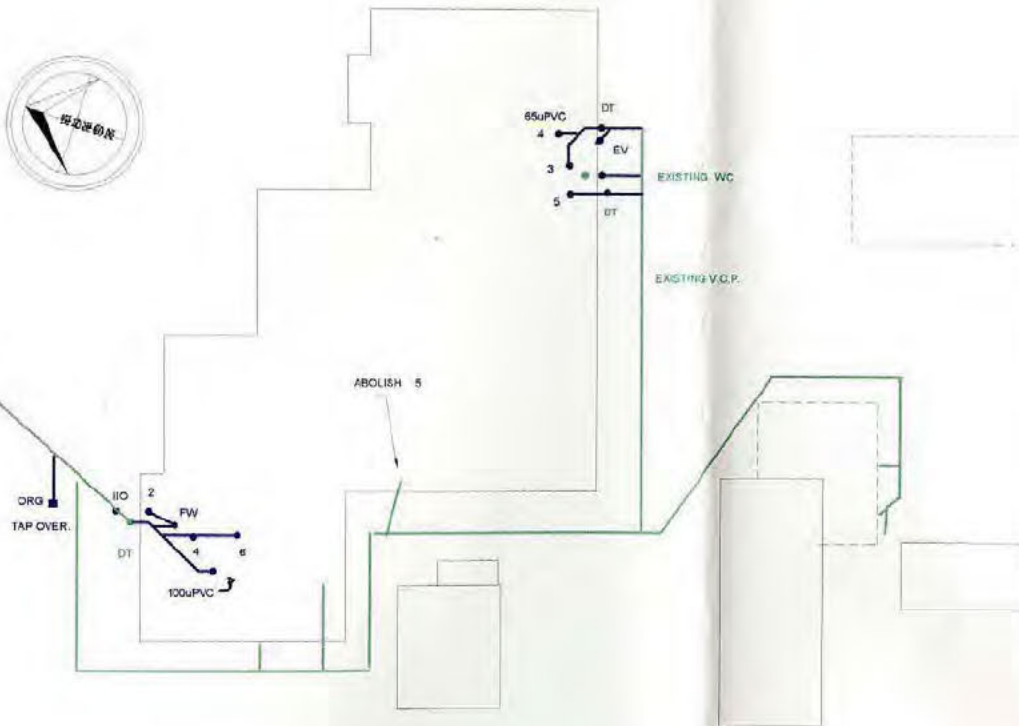


NOTES:

1. Drains to be laid shown in BLUE lines.
2. This Plan to be read in conjunction with approved Architectural Plans and Specifications.
3. Drains to be supported on or from solid ground.
4. Sewer branch to be located on site before any work is commenced.
5. Existing drains shown in GREEN lines.
6. Existing drains X'ed in RED to be abolished to approval.
7. Unplasticised Polyvinyl Chloride Pipe Drains (U.P.V.C.) to be constructed in accordance with AS 67 - 1972 and Canberra Codes of Practice.
8. Drains under building must be retested - drains having cement joints must be totally surrounded with cement concrete 150 mm thick.
9. Inspection Openings must be provided at the property boundary; on each W.C. or slop-hopper branch; at intervals of not more than 30 metres spaced equidistant where possible; immediately upstream and downstream of all jump-ups.
10. This plan supersedes Drainage Plan No. 737 dated previously issued.

W. J. Todd
Sewerage Engineer
5.11.81

43 MELBOURNE AVENUE



DRAINAGE PLAN N^o 737

SANITARY DRAINAGE PLAN W.A.E. SCALE= 1:200.

OWNER Sch 2.2(a)(ii)

BLOCK 3 SECTION 2 FORREST.

All work must be carried out in conformity with the Canberra Sewerage and Water Supply Regulations.

DESIGNED TO AS 3500 2.2.

REFERENCE.

- | | | |
|--|-------------------------------|--------------------------|
| O.R.G. Over Flow Relief Gully. | C. I.P. Cast Iron Pipe. | F.W. Floor. Waste. |
| E. V. Educt Vent. | I. O. Inspection Opening. | V. P. Vent Pipe. |
| G. T. Gully Trap | V. C. P. Vitrified Clay Pipe. | E. J. Expansion Joint. |
| J. U. Jump Up. | I. S. Inspection Shaft. | S.V.P. Soil Vent Pipe. |
| M. H. Man Hole. | | D. T. Disconnecter Trap. |
| uPVC Unplasticised Polyvinyl Chloride. | | S.P.D. Stone Pipe Drain. |

FIXTURES

- 1. WATER CLOSET = (1)
- 2. BATH. = (1)
- 3. BASIN. = (2)
- 4. SHOWER. = (2)
- 5. SINK. = (1)
- 6. LAUNDRY. = (1)
- 7. URINAL. = ()
- 8. CLEANERS SINK. = ()
- 9. BIBET. = ()

SEWER TIE.

- TIE.
- DEPTH.
- CH.
- STORMWATER TIE.

- TIE.
- DEPTH.
- CH.

NOTES.

1. DRAINS TO BE LAID SHOWN IN BLUE LINES
2. EXISTING DRAINS SHOWN IN GREEN LINES
3. EXISTING DRAINS SHOWN IN RED IN RED TO BE ABOLISHED TO APPROVAL.
4. DRAINS TO BE SUPPORTED ON OR FROM SOLID GROUND.
5. COPPER PIPES TO BE IN ACCORDANCE WITH AS 1432-1973 TABLE 2 TYPE B TUBES
6. UNPLASTICISED POLYVINYL CHLORIDE PIPE DRAINS (UPVC) INCLUDING STACKS TO BE CONSTRUCTED IN ACCORDANCE WITH AS 2032-1977 AND THE CANBERRA CODES OF PRACTISE
7. DRAINS UNDER BUILDINGS MUST BE RE-TESTED IF TEST FAILS THEN OLD DRAINS MUST BE REPLACED USING EITHER FR/JVCP OR UPVC PIPE MATERIAL.
8. CONNECTION TO EXISTING MAIN/ManHOLE TO BE MADE BY A.C.T.E.W. AT CONTRACTOR'S EXPENSE
9. SEWER BRANCH TO BE LOCATED ON SITE BEFORE ANY WORK IS COMMENCED
10. THIS PLAN TO BE READ IN CONJUNCTION WITH APPROVED ARCHITECTURAL PLANS AND SPECIFICATIONS
11. ORG LEVELS TO BE IN ACCORDANCE WITH AS3500.2 CLAUSE 466.6 AND 466.7
12. I.O. AT PROPERTY BOUNDARY IS TO BE RAISED TO GROUND LEVEL IN ACCORDANCE WITH PLUMBING NOTE NO 3
13. PROVIDE AND INSTALL APPROVED FIRE STOP COLLARS AT ALL UPVC PENETRATIONS OF FIRE RATED WALLS AND FLOORS

DRAWN AND DESIGNED BY - CHARLES PIROTTA
 LICENCED DRAINER, PLUMBER, & GASFITTER
 ACCREDITED IN THERMOSTATIC MIXING VALVES
 ACCREDITED IN BACK FLOW PREVENTION
 PH/ W. 0412903458 H. 62394864. GRIFFITH A.C.T.

J. H. Thurgel 25.1.2002
 SEWERAGE ENGINEER

