



ACT
Government

Chief Minister, Treasury and
Economic Development

Freedom of Information Publication Coversheet

The following information is provided pursuant to section 28 of the *Freedom of Information Act 2016*.

FOI Reference: CMTEDDFOI 2018-0318

Information to be published	Status
1. Access application	Published
2. Decision notice	Published
3. Documents and schedule	Published
4. Additional information identified	No
5. Fees	Waived
6. Processing time (in working days)	18
7. Decision made by Ombudsman	N/A
8. Additional information identified by Ombudsman	N/A
9. Decision made by ACAT	N/A
10. Additional information identified by ACAT	N/A

From: [REDACTED]
To: [EPSDFOI](#)
Subject: Request full DA and BA documents of 13 Bellbird Loop Lawson
Date: Monday, 29 October 2018 3:48:30 PM

Dear Sir or Madam,

I would like to rely on the Freedom of Information Act 2016, and request all the Development Approval (DA) and Building Approval (BA) documents for the residential construction at **13 Bellbird Loop, Lawson, ACT**.

I am the owner of the block at 11 Bellbird Loop, Lawson. I am in an ongoing legal dispute with my neighbours at the above address. In particular, I believe my neighbour has built an external deck with excessive height and without going through a proper DA / BA process.

My detailed information is as below:

[REDACTED]

The best way to contact me is by email. Your timely reply to my request will be much appreciated.

Best regards,

[REDACTED]

[REDACTED]

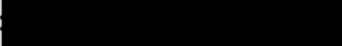


ACT
Government

Chief Minister, Treasury and
Economic Development

Our ref: CMTEDDFOI 2018-0318



via email: 

Dear 

FREEDOM OF INFORMATION REQUEST

I refer to your application under section 30 of the *Freedom of Information Act 2016* (the Act), received by the Chief Minister, Treasury and Economic Development Directorate (CMTEDD) on 6 November 2018, in which you sought access to:

- Building Approval (BA) documents for the residential construction at 13 Bellbird Loop, Lawson, ACT.

Authority

I am an Information Officer appointed by the Director-General of CMTEDD under section 18 of the Act to deal with access applications made under Part 5 of the Act.

Timeframes

In accordance with section 40 of the Act, CMTEDD is required to provide a decision on your access application by 4 December 2018.

Decision on access

Searches were completed for relevant documents and 35 documents were identified that fall within the scope of your request.

I have decided to grant full access to 16 document and partial access to 19 documents. The information redacted in the documents I consider to be information that would, on balance, be contrary to the public interest to disclose under the test set out in section 17 of the Act.

I have included as Attachment A to this decision the schedule of relevant documents. This provides a description of each document that falls within the scope of your request and the access decision for each of those documents.

My access decisions are detailed further in the following statement of reasons and the documents released to you are provided as Attachment B to this letter.

In accordance with section 54(2) of the Act a statement of reasons outlining my decision is below.

Statement of Reasons

In reaching my access decision, I have taken the following into account:

- the Act, particularly section 17 and schedule 2.2(a)(ii);
- the content of the documents that fall within the scope of your request;
- the *Human Rights Act 2004*.

Exemption claimed

My reasons for deciding not to grant access to the identified documents and components of these documents are as follows:

Public Interest

The Act has a presumption in favour of disclosure. As a decision maker I am required to decide where, on balance, public interests lies. As part of this process I must consider factors favouring disclosure and non-disclosure.

In *Hogan v Hinch* (2011) 243 CLR 506, [31] French CJ stated that when ‘used in a statute, the term [public interest] derives its content from “the subject matter and the scope and purpose” of the enactment in which it appears’. Section 17(1) of the Act sets out the test, to be applied to determine whether disclosure of information would be contrary to the public interest. These factors are found in subsection 17(2) and Schedule 2 of the Act.

Taking into consideration the information contained in the documents found to be within the scope of your request, I have identified that the following public interest factors are relevant to determine if release of the information contained within these documents is within the ‘public interest’.

Factors favouring disclosure (Schedule 2.1)

- Inform the community of the government’s operations, including the policies, guidelines and codes of conduct followed by the government in its dealings with members of the community;
- Contribute to the administration of justice generally, including procedural fairness.

Factors favouring non-disclosure (Schedule 2.2)

- Prejudice the protection of an individual’s right to privacy or other right under the *Human Rights Act 2004*.

Having considered the factors identified as relevant in this matter, I consider that release of information contained in these documents may contribute to informing the community of the government’s operations, including the policies, guidelines and codes of conduct followed by the government in its dealings with members of the community by allowing you to have a complete record of the interactions between the builder/certifier and the ACT Government and the steps taken by the builder/certifier to comply with these legislative requirements.

However, when considering this finding against the factor favouring non-disclosure, I am satisfied that the protection of an individual’s right to privacy, especially in the course of assisting in a line of enquiry with a government agency, is a significant factor as the

parties involved have provided their personal information for the purposes of meeting obligations under relevant legislation which, in my opinion, outweighs the benefit which may be derived from releasing the personal information of the individual's involved in this matter. These individuals are entitled to expect that the personal information they have supplied as part of this process will be dealt with in a manner that protects their privacy. Considering the type of information to be withheld from release, I am satisfied that the factors in favour of release can still be met while protecting the personal information of the individuals involved.

I therefore weight the factor for non-disclosure more highly than the factor in favour of release in this instance. As a result, I have decided that release of this information (contacts names, email addresses and mobile phone numbers) could prejudice their right to privacy under the *Human Rights Act 2004*.

Having applied the test outlined in section 17 of the Act and deciding that release of personal information contained in the documents is not in the public interest to release, I have chosen to redact this specific information in accordance with section 50(2). Noting the pro-disclosure intent of the Act, I am satisfied that redacting only the information that I believe is not in the public interest to release will ensure the intent of the Act is met and will provide you with access to the majority of the information held by CMTEDD within the scope of your request.

Folios 6, 12, 14-16, 23, 25-29, 31, 36-37, 70-71, 73-76, 79-84, 86-87, 91, 93, 95, 97-121, 125-126 and 131 of the identified documents contain information that I consider, on balance, to be contrary to the public interest to disclose under the test set out in section 17 of the Act.

Charges

Pursuant to *Freedom of Information (Fees) Determination 2017 (No 2)* processing charges are applicable for this request because the total number of pages to be released to you exceeds the charging threshold of 50 pages. However, the charges have been waived in accordance with section 107(2)(b) of the Act.

Online publishing – Disclosure Log

Under section 28 of the Act, CMTEDD maintains an online record of access applications called a disclosure log. Your original access application, my decision and documents released to you in response to your access application will be published in the CMTEDD disclosure log after 5 December 2018. Your personal contact details will not be published.

You may view CMTEDD disclosure log at:

<https://www.cmtedd.act.gov.au/functions/foi/disclosure-log>.

Ombudsman Review

My decision on your access request is a reviewable decision as identified in Schedule 3 of the Act. You have the right to seek Ombudsman review of this outcome under section 73 of the Act within 20 working days from the day that my decision is published in CMTEDD disclosure log, or a longer period allowed by the Ombudsman.

If you wish to request a review of my decision you may write to the Ombudsman at:

The ACT Ombudsman
GPO Box 442
CANBERRA ACT 2601
Via email: actfoi@ombudsman.gov.au

ACT Civil and Administrative Tribunal (ACAT) Review

Under section 84 of the Act, if a decision is made under section 82(1) on an Ombudsman review, you may apply to the ACAT for review of the Ombudsman decision. Further information may be obtained from the ACAT at:

ACT Civil and Administrative Tribunal
Level 4, 1 Moore St
GPO Box 370
Canberra City ACT 2601
Telephone: (02) 6207 1740
<http://www.acat.act.gov.au/>

Should you have any queries in relation to your request please contact me by telephone on 6207 7754 or email CMTEDDFOI@act.gov.au.

Yours sincerely,



Daniel Riley
Information Officer
Information Access Team
Chief Minister, Treasury and Economic Development Directorate

30 November 2018



ACT
Government

Chief Minister, Treasury and
Economic Development

FREEDOM OF INFORMATION REQUEST SCHEDULE

NAME	WHAT ARE THE PARAMETERS OF THE REQUEST	Reference NO.
	Building Approval (BA) documents for the residential construction at 13 Bellbird Loop, Lawson, ACT	2018-0318

Ref No	Page number	Description	Date	Status	Reason for Exemption	Online Release Status
1	1-5	Building Approval Completeness Checklist – Residential BCA Class 1 and 10	2016	Full release	N/A	Yes
2	6-7	Site Work Notice	2016	Partial release	Sch 2 s2.2 (a)(ii)	Yes
3	8-10	Assessment against Single Dwelling Housing Development Code	2016	Full release	N/A	Yes
4	11	Assessment of Proposal Determination under Section 1.100A of The Planning and Development Regulation	2016	Full release	N/A	Yes
5	12-13	Site Work Notice	2016	Partial release	Sch 2 s2.2 (a)(ii)	Yes
6	14	Ammended Plan Tax Invoice	2017	Partial release	Sch 2 s2.2 (a)(ii)	Yes
7	15	Building Approval Fees and Levies Tax Invoice	2017	Partial release	Sch 2 s2.2 (a)(ii)	Yes
8	16	Building Approval Fees and Levies Receipt	2017	Partial release	Sch 2 s2.2 (a)(ii)	Yes
9	17-22	Minimum Documentation Requirments Definitions and Checklist	2016	Full release	N/A	Yes
10	23-24	Building Approval	2016	Partial release	Sch 2 s2.2 (a)(ii)	Yes
11	25-26	Appointment of Builder & Application for Commencement Notice	2016	Partial release	Sch 2 s2.2 (a)(ii)	Yes
12	27	Certificate of Insurance	2016	Partial release	Sch 2 s2.2 (a)(ii)	Yes
13	28-30	Application for Building Commencement Notice	2016	Partial release	Sch 2 s2.2 (a)(ii)	Yes
14	31-32	Building Commencement Notice	2016	Partial release	Sch 2 s2.2 (a)(ii)	Yes

15	33-35	Certification of Completion of Building Work	2017	Full release	N/A	Yes
16	36-37	Application for Certificate of Occupancy and Use	2017	Partial release	Sch 2 s2.2 (a)(ii)	Yes
17	38	Surveyor's Certificate	2017	Full release	N/A	Yes
18	39	Product & Insulation Warranty – Newly Constructed Homes	2017	Full release	N/A	Yes
19	40	Certification of Roof Trusses	2017	Full release	N/A	Yes
20	41-42	Installation Certificate	2017	Full release	N/A	Yes
21	43-60	Certificate of Installation	2017	Full release	N/A	Yes
22	61	Smoke Alarm Certification	2017	Full release	N/A	Yes
23	62	Glazing Certificate	2017	Full release	N/A	Yes
24	63	Glazing Certificate	2017	Full release	N/A	Yes
25	64	Notification and Compliance Statement	2017	Full release	N/A	Yes
26	65-69	Inspection Reports	2017	Full release	N/A	Yes
27	70-71	Application for Certificate of Occupancy and Use	2017	Partial release	Sch 2 s2.2 (a)(ii)	Yes
28	72	Certificate of Occupancy and Use	2017	Partial release	Sch 2 s2.2 (a)(ii)	Yes
29	73-74	Appointment of a Certifier – Application for Building Approval	2016	Partial release	Sch 2 s2.2 (a)(ii)	Yes
30	75	Building Approval Certificate	2016	Partial release	Sch 2 s2.2 (a)(ii)	Yes
31	76-78	Appointment of a Certifier and Application for Building Approval	2017	Partial release	Sch 2 s2.2 (a)(ii)	Yes
32	79-85	Energy Efficiency Rating Certificate for a single dwelling	2016	Partial release	Sch 2 s2.2 (a)(ii)	Yes
33	86-87	Quotation / Order	2016	Partial release	Sch 2 s2.2 (a)(ii)	Yes
34	88-89	Site Classification Report	2014	Full release	N/A	Yes

35	90-132	Technical drawings and plans	2016	Partial release	Sch 2 s2.2 (a)(ii)	Yes
Total No of Docs						
35						

**BUILDING APPROVAL COMPLETENESS CHECKLIST
RESIDENTIAL BCA CLASS 1 and 10**

Block: 6

Section: 34

Suburb: LAWSON

Unit No:

Project Number: B20165337

Building Certifier: CBS

Customer Services Officer Name: REBECCA R

Date of completeness check: 13/12/2016

Part 1 Administrative Check

Requirements	Pass	Fail	N/A	Comments
* Has the Building Approval been submitted within 7 days from the date of approval?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
* Have all relevant plans been stamped and dated by the building certifier?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Does the date stamp on the plans match the approval date on eDevelopment?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
* Building approval stamp and application form text legible?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
* If the Building Approval has a Development Approval is the Development Approval still valid?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
* Have all lessee's signed the relevant forms?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
* Are all relevant documents uploaded & named correctly?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has an insurance certificate been provided if the cost of building work exceeds \$12,000?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Have statements of compliance from each relevant utility been provided where relevant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/> GAS <input checked="" type="checkbox"/> WATER <input checked="" type="checkbox"/> ELECTRICITY
If the BA is for existing work, has the invoice been amended to include the relevant existing work fee?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
If BCN has been issued, is the licensee authorised to undertake the work as described? ie: Swimming Pool or Demolition endorsement on licence.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has the lessee's email address been provided? If yes, please email BA notice to lessee.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Requirements for DA Exempt Works	Pass	Fail	N/A	Comments
Have forms 7A and 7B been provided for building or alterations or full or part demolition of a single dwelling?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
If there is no exemption D notice or exemption declaration has a site work notice been provided?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
COMPLETENESS CHECK FAILURE – from 1/9/13 * - Failure incurs a fee. – See page 15 of fees & charges	COMPLETENESS CHECK FAILURE NOTICE SENT: Click here to enter a date. COMPLETENESS CHECK FAILURE FEES PAID: Click here to enter a date.			

Part 2 Completeness Check Failure Reasons

After completing parts 1 & 3 of this checklist list the failure reasons below. For example: Failed to supply Elevation Plan or Incorrect lessee details and on resubmission select whether it has been supplied or not.

	Select One		Select One	Select One
	Select One		Select One	Select One

Checklist review date 08/09/2016

**BUILDING APPROVAL COMPLETENESS CHECKLIST
RESIDENTIAL BCA CLASS 1 and 10**

Part 3 Documentation Check				
Document	Document Name	Pass	Fail	N/A
Form – Minimum Documentation Requirements for Building Approval Lodgment Checklist	Details – Minimum Documents Checklist	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Asbestos Removal Control Plan	Asbestos Removal Control Plan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Development Approval (including amendments)	Approved Plans – Development Approval	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Site Plan	Approved Plans – Site	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Floor Plan	Approved Plans – Floor	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Elevation Plan	Approved Plans – Elevation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Section Details – Wall, Floor Ceiling & Roof	Approved Plans – Sections Wall Approved Plans – Sections Floor Approved Plans – Sections Ceiling Approved Plans – Sections Roof	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Demolition Plan	Approved Plans – Demolition	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Swimming Pools and Spas Details (including fencing/barriers)	Details – Pools Spas	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Energy Efficiency Details	Details – Energy Efficiency	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Creating Building Files	
Only complete this section if for a new block where a building file does not exist. Select Y (yes) or N (no) below.	
Is this a new residence on a new block?	<input checked="" type="checkbox"/>
Has a new building approval been created in Objective and I Drive?	<input checked="" type="checkbox"/>

Part 4 Audit Team Checklist				
Document	Document Name	Pass	Fail	N/A
Footings and Concrete Slab Details	Details – Footings Concrete Slab	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Retaining Wall Details	Details – Retaining Walls	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Masonry Construction Details	Details – Masonry Construction	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Framing (including trusses) and Construction Details	Details – Framing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Roof Cladding Details	Details – Roof Cladding	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Exterior Cladding & Material Details	Details – Exterior Cladding & Materials	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Wet area details	Details – Wet Area	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Windows and Glazing Details	Details – Windows Glazing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Estimate of the Cost of the Building Work	Details – Cost of Building Work	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Alternative Solutions	Details – Alternative Solutions	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

CERTIFICATE OF OCCUPANCY AND USE CHECKLIST - RESIDENTIAL

Block: 6

Section: 34

Suburb: Lawson

Unit No

Project Number: B20165337

Certifier: Certified Building Solutions

General Documents	Yes	No	Comments
Application For Certificate of Occupancy and Use signed by ALL Lessees	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Government Fees paid	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Certificate of Completion of Building Work	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Has a 69(2B) Completion of Building Work and application for COU been applied for?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	If yes, refer to ESDDCAT Date referred / /20
Has all work described in the BA been applied for	<input checked="" type="checkbox"/>	<input type="checkbox"/>	If no, it may be a partial COU.
Has a 69(3) been applied for?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	If yes, refer to ESDDCAT Date referred / /20
If a Development Application (DA) was relevant, was the work completed within the timeframe specified in the Notice of Decision (NOD)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	N/A – Exempt from DA.
Trade Clearances	Yes	No	
Electrical	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> N/A
Plumbing	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> N/A
Gas	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> N/A
Alternative Solution	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A
Certifiers Documents	Yes	No	Comments
Final documents uploaded to Objective	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Final inspection record stating that the building work is compliant with section 42 of the Building Act 2004	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Survey Plan Not required for extension or alteration to a class 1 or 10 building. Cannot be used if the building is or is going to be closer than 100mm from the boundary.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> N/A
Check Floor Levels – 0.040 tolerance	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> N/A

CERTIFICATE OF OCCUPANCY AND USE CHECKLIST - RESIDENTIAL

Insurance Certificate if cost of works greater than \$12,000	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> N/A
Alternative Solution	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A
Asbestos clearance certificate if work involves Asbestos Removal	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A
Certifiers Documents	<input checked="" type="checkbox"/> N/A	Yes	No
Comments			
Waterproofing certificate	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> N/A
Termite certificate	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> N/A
Truss certificate	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> N/A
Glazing certificate	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> N/A
Insulation certificate	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> N/A

Amendments	<input type="checkbox"/> N/A	Yes	No	Comments
Amendments fully described in eDevelopment		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Amendments clouded & listed on plans		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Plans stamped with certifier stamp		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Is work substantially different – not more than 1% change to original proposal		<input type="checkbox"/>	<input checked="" type="checkbox"/>	If yes, refer to ESDDCAT Date referred / /20
Government fees paid		<input checked="" type="checkbox"/>	<input type="checkbox"/>	

Officer Name: Jim Bobolas

Date: 20/09/2017

Additional Comment: COU Issued

**BUILDING APPROVAL COMPLETENESS CHECKLIST
RESIDENTIAL BCA CLASS 1 and 10**



Access
Canberra.

SITE WORK NOTICE

Building Act 2004, s151

For section 28 (1A) of the Building Act 2004

To be completed by the appointed Building Certifier and submitted to the Construction Occupations Registrar within 7 days of issue

Lease/Site Details

Block	6	Section	34	Suburb	LAWSON	Division		
Unit No		Street Address	13 BELLBIRD LOOP					

Building Approval Application and Site Work Details

This notice is issued in relation to the site work shown in the plans submitted as part of the application for a building approval dated made by the following applicants:

Sch 2 s2(a)(ii)

on: date 22/9/2016

This notice applies to all site work in that application for which there is there is no—

- (a) exemption assessment D notice stating that the site work is exempt development issued for the work not more than 3 months before the day the application was made;
- (b) exemption declaration under the *Planning and Development Regulation 2008*, schedule 1, section 1.100A (1) (b) or section 1.100AB (1) (b) made by the planning and land authority; or
- (c) current development approval issued in relation to the site work.

NOTE: Site work is development that is—

- (a) building work; and
- (b) work other than building work that—
 - (i) physically affects the place (the building site) where the building work is being carried out; and
 - (ii) if not carried out at the building site, is carried out near, and connected with, the building site.

Examples: putting up temporary fencing, installing measures for erosion control, building a house, damaging or removing a significant tree, laying paving for driveways and parking areas, installing landscaping, site clearing and excavation, erecting site signage, erecting a pergola

Building Certifier Details *Please Print*

Surname	Certified Building Solutions Pty Ltd	First Name	
Company Name	Certified Building Solutions Pty Ltd		
Licence Number	200426203	Contact Number	(02) 6253 9911
Postal Address	PO Box 76		
Suburb	Mitchell	State	ACT
		Postcode	2911

Approved form AF2016-76 approved by David Middlemiss, Construction Occupations Deputy Registrar on 02 August 2016 under section 151 the Building Act 2004 and revokes AF2015-3

Building Certifier Statement

I state that:

- the plans for the building work(s) to which the application for building approval relates show all the information necessary to establish that the site work is exempt development under the *Planning and Development Act 2007*, section 133; and
- the site work is exempt development; and
- I have assessed that the site work is exempt development for the following reasons and in accordance with the following provisions of the *Planning and Development Regulation 2008* and Territory Plan Codes:

The building work(s), as described on part A of the Appointment of Certifier Application for Building Approval Form, have been assessed against Part 1.2 & Part 1.3, Schedule 1 of Planning and Development Regulations 2008. They are consistent with the following sections of schedule 1 as nominated in the tables below. (Please tick all relevant)

Table 1: Building work(s) are exempt as per the Single Dwelling Housing Development Code

<input checked="" type="checkbox"/>	Assessment has been made under the Single Dwelling Housing Development Code(SDHDC)*	Please list any further details below:
<input type="checkbox"/>	Development on Old Res. Land (1.100)	
<input checked="" type="checkbox"/>	Development on New Res. Land (1.100AA)	
<input checked="" type="checkbox"/>	1N Exemption Applies (1.100AB, 1.100AB)	
<input type="checkbox"/>	Demolition under SDHDC (1.100B, 1.101)	

*Please see attached copy of CBS Single Dwelling Assessment for Exempt Development sheet

Table 2: Building work(s) are exempt as per the following section of Schedule 1


<input type="checkbox"/>	Internal alterations (1.20)	<input type="checkbox"/>	Photovoltaic Panels (1.27A)
<input type="checkbox"/>	Low impact window & doors (1.21)	<input type="checkbox"/>	Roofed class 10a – enclosed or open to one side (1.45)
<input type="checkbox"/>	High impact window & doors (1.21a)	<input type="checkbox"/>	Roofed class 10a – unenclosed or partially open (1.46)
<input type="checkbox"/>	External refinishing of building (1.22)	<input type="checkbox"/>	Class 10a – external deck (1.48)
<input type="checkbox"/>	Maintenance (1.23)	<input type="checkbox"/>	Class 10a – external verandas (1.49)
<input type="checkbox"/>	Chimney/Flue/Vents (1.25)	<input type="checkbox"/>	Retaining Walls (1.53)
<input type="checkbox"/>	External Heater or Cooler (1.27)	<input type="checkbox"/>	Swimming Pool (1.54)
<input type="checkbox"/>	Other Please list:		

Table 3: Amended building work(s) are exempt as per the following section of Schedule 1

<input type="checkbox"/>	The building works(s), as per the amended stamped building approval, are within the permitted construction tolerances for horizontal siting and height tolerances schedule 1A (1A.10, 1A.11)
<input type="checkbox"/>	Other Please list:

Please list any further information that may be relevant in deciding that the works are exempt under Schedule 1 as identified above

Building Certifier Signature
(or nominee)



Date of
Issue

29/11/2016

Giving false or misleading information is a serious offence

Privacy Notice

The personal information on this form is provided to the Environment and Planning Directorate (EPD). The collection of personal information is authorised by the *Building Act 2004*. If all or some of the required personal information is not collected this notice is not considered complete. The personal information provided may be disclosed to Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be disclosed where authorised by law or court order, or where the EPD reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. EPD's Information Privacy Policy contains information about how you may access or seek to correct your personal information held by EPD, and how you may complain about an alleged breach of the Territory Privacy Principles. The EPD Information Privacy Policy can be found at www.act.gov.au/accessCBR.

CONTACT INFORMATION

Email:
ACTPLAdevelopmentBA@act.gov.au

Post:
Access Canberra
Building Services
Shopfront Mitchell
GPO Box 158
Canberra, ACT 2601

In Person:
Please visit
www.act.gov.au/accessCBR
Or call 132281 to find an
Access Canberra Shopfront.



Assessment against Single Dwelling Housing Development Code

Block: 6 Section: 34 Suburb: Lawson

Date of Assessment:	4-10-16					
Client/Lessees:	Blackett Property Group					
Description of works:	New residence					
Block Size:	569 m ²	LARGE <input checked="" type="checkbox"/>	MIDSIZED <input type="checkbox"/>	COMPACT <input type="checkbox"/>	R21 <input type="checkbox"/>	Zoning: RZ1
Date of Original Block Approval:	21-3-13 (EDP Dates)					
Certifier's Name:	Certified Building Solutions Pty Ltd.					
Licence Number:	200426203					

Element 1 – Building & Site Controls

Rule	Prompt	Complies with Rule Y/N/NR	Assessor's Comments			
R1	Plot Ratio – Large blocks	Y	282/569 x 100 = 49.56%			
R2	Number of Storeys	Y				
R3	Attics – RZ1 only	N/R				
R4	Basement Car Parking – RZ1 only	N/R				
R5	Height	Y				
R6/R8	Building Envelope	Y				
R7/R7A	Sun Angle Envelope	N/R	Due to neighbouring 'battle axe handle'	Boundary:	° from North	Sun Angle:
			FORM 1 IN EXEMPTION APPROVAL IS PROVIDED ADJUNCT.			
R9	Garage Building Envelope – Mid-sized and Compact Blocks only	N/R				
R10	Bushfire	N/R				
R11	Front Boundary Setbacks	Table: 2C Y				
R12	Side & Rear Setbacks	Table: 5 Y	FORM 1 IN APPROVAL "BI ESDO."			
R13	Setbacks <900mm	N/R				
R14	Garage Wall Length – Large Blocks only	N/R				
R15	<900mm Setback Wall Length – Mid-sized Blocks only	N/R				
R16	Allowable Encroachments – Side & Rear	Y				
R17	Allowable Encroachments – Front	Y				
R18	Allowable Encroachments – Envelopes	Y				
R19	Surveillance Blocks	N/R				
R20	Cut & Fill	Y				
R21	Blocks 500-550m2	N/R				

Element 2 – Lease & Development Conditions

Rule	Prompt	Complies with Rule Y/N/NR	Assessor's Comments
R22	Lease & Development Conditions	N/R	

Element 3 – Building Design

Rule	Prompt	Complies with Rule Y/N/NR	Assessor's Comments
R23	Materials & Finishes	N/R	
R24	Fencing	Y	
R25	Courtyard Walls – Large Blocks	N/R	
R26	Courtyard Walls – Mid-sized Blocks		
R27	Courtyard Walls – Compact Blocks		
R28	Front Fences – Compact Blocks		

Element 4 – Parking & Site Access

Rule	Prompt	Complies with Rule Y/N/NR	Assessor's Comments
R29	Pedestrian Access	N/R	
R30	Vehicle Access	Y	
R31	Parking Space No.	Y	
R32	Parking Space Dimensions	Y	
R33	Parking Space Location	Y	
R34	RZ1 & RZ2 – Ramps	N/R	
R35	Verge Parking	Y	
R36	Garage Width	Y	

Element 5 – Amenity

Rule	Prompt	Complies with Rule Y/N/NR	Assessor's Comments
R37 / R37A	Solar Access	Y	Family room Door (D04) > 4 m ²
R38	POS – Large Blocks	Y	291.4 m ² Required < 328.5 m ² Provided
R39	POS – Mid-Sized	N/R	
R40	POS – Compact	N/R	
R41	PPOS – All Blocks	Y	
R42	Noise Attenuation	N/R	

$$\begin{aligned}
 \text{POS} - 569 \times 60\% - 50 &= 291.4 \text{ m}^2 \\
 47 + 193.5 &= 240.5 \text{ m}^2 \\
 569 - 240.5 &= 328.5 \text{ m}^2
 \end{aligned}$$

Element 6 – Environment

Rule	Prompt	Complies with Rule Y/N/NR	Assessor's Comments
R43	WSUD	Y	
R44	Heritage	N/R	
R45	Tree Protection	N/R	
R46	Erosion & Sediment (site <0.3ha)	Y	
R47	Erosion & Sediment (site ≥0.3ha)	N/R	

Element 7 – Services

Rule	Prompt	Complies with Rule Y/N/NR	Assessor's Comments
R48	Waste Management	N/R	
R49	Utilities	N/R	

I certify that the single dwelling referred to in this *Assessment for Exempt Development* meets each applicable approval requirement under Section 29 of the *Building Act 2004* and building approval is not prevented from being issued under Section 30 or Section 30A of the *Building Act 2004*.

Signature: _____



Licence No.: 200426203

Date: _____

29/11/16

**ASSESSMENT OF PROPOSAL
DETERMINATION UNDER SECTION 1.100A OF THE
PLANNING AND DEVELOPMENT REGULATION**

Description of extended distance:

Rule 7 - Solar envelope departure of a maximum 776mm for a length of 4853mm

Rule 12 - Side boundary setback departure of a maximum 1160mm for a length of 4571mm

Assessment:

PASS

FAIL

Is the non-compliance minor?

Yes

No

Will building the dwelling other than in accordance with the relevant rules:

- Adversely affect someone other than the applicant?

No

Yes

- Increase the environmental impact of the dwelling more than minimally?

No

Yes

Plans provided adequately identify departures?

Yes

No

Comments:

Considered to be minor in context

Plans stamped:

Approved

Refused

Delegate of

Environment and Planning: George Cilliers 17/11/16



SITE WORK NOTICE

Building Act 2004, s151

For section 28 (1A) of the Building Act 2004

To be completed by the appointed Building Certifier and submitted to the Construction Occupations Registrar within 7 days of issue

Lease/Site Details

Block Section Suburb Division

Unit No Street Address

Building Approval Application and Site Work Details

This notice is issued in relation to the site work shown in the plans submitted as part of the application for a building approval dated made by the following applicants:

Sch 2 s2(a)(ii)

on: date 22 | 9 | 16

This notice applies to all site work in that application for which there is there is no—

- (a) exemption assessment D notice stating that the site work is exempt development issued for the work not more than 3 months before the day the application was made;
- (b) exemption declaration under the *Planning and Development Regulation 2008*, schedule 1, section 1.100A (1) (b) or section 1.100AB (1) (b) made by the planning and land authority; or
- (c) current development approval issued in relation to the site work.

NOTE: Site work is development that is—

- (a) building work; and
- (b) work other than building work that—
 - (i) physically affects the place (the building site) where the building work is being carried out; and
 - (ii) if not carried out at the building site, is carried out near, and connected with, the building site.

Examples: putting up temporary fencing, installing measures for erosion control, building a house, damaging or removing a significant tree, laying paving for driveways and parking areas, installing landscaping, site clearing and excavation, erecting site signage, erecting a pergola

Building Certifier Details *Please Print*

Surname First Name

Company Name

Licence Number Contact Number

Postal Address

Suburb State Postcode

Approved form AF2016-76 approved by David Middlemiss, Construction Occupations Deputy Registrar on 02 August 2016 under section 151 the Building Act 2004 and revokes AF2015-3

Building Certifier Statement

I state that:

- the plans for the building work(s) to which the application for building approval relates show all the information necessary to establish that the site work is exempt development under the *Planning and Development Act 2007*, section 133; and
- the site work is exempt development; and
- I have assessed that the site work is exempt development for the following reasons and in accordance with the following provisions of the *Planning and Development Regulation 2008* and Territory Plan Codes:

The building work(s), as described on part A of the Appointment of Certifier Application for Building Approval Form, have been assessed against Part 1.2 & Part 1.3, Schedule 1 of Planning and Development Regulations 2008. They are consistent with the following sections of schedule 1 as nominated in the tables below. (Please tick all relevant)

Table 1: Building work(s) are exempt as per the Single Dwelling Housing Development Code

<input type="checkbox"/>	Assessment has been made under the Single Dwelling Housing Development Code(SDHDC)*	Please list any further details below:
<input type="checkbox"/>	Development on Old Res. Land (1.100)	
<input type="checkbox"/>	Development on New Res. Land (1.100AA)	
<input type="checkbox"/>	1N Exemption Applies (1.100AB, 1.100AB)	
<input type="checkbox"/>	Demolition under SDHDC (1.100B, 1.101)	

*Please see attached copy of CBS Single Dwelling Assessment for Exempt Development sheet

Table 2: Building work(s) are exempt as per the following section of Schedule 1

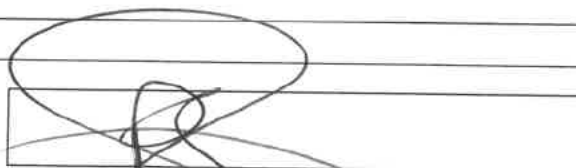
<input type="checkbox"/>	Internal alterations (1.20)	<input type="checkbox"/>	Photovoltaic Panels (1.27A)
<input type="checkbox"/>	Low impact window & doors (1.21)	<input type="checkbox"/>	Roofed class 10a – enclosed or open to one side (1.45)
<input type="checkbox"/>	High impact window & doors (1.21a)	<input type="checkbox"/>	Roofed class 10a – unenclosed or partially open (1.46)
<input type="checkbox"/>	External refinishing of building (1.22)	<input type="checkbox"/>	Class 10a – external deck (1.48)
<input type="checkbox"/>	Maintenance (1.23)	<input type="checkbox"/>	Class 10a – external verandas (1.49)
<input type="checkbox"/>	Chimney/Flue/Vents (1.25)	<input type="checkbox"/>	Retaining Walls (1.53)
<input type="checkbox"/>	External Heater or Cooler (1.27)	<input type="checkbox"/>	Swimming Pool (1.54)
<input type="checkbox"/>	Other Please list:		

Table 3: Amended building work(s) are exempt as per the following section of Schedule 1

<input checked="" type="checkbox"/>	The building works(s), as per the amended stamped building approval, are within the permitted construction tolerances for horizontal siting and height tolerances schedule 1A (1A.10, 1A.11)
<input type="checkbox"/>	Other Please list:

Please list any further information that may be relevant in deciding that the works are exempt under Schedule 1 as identified above

Building Certifier Signature
(or nominee)



Date of Issue

19/9/2017

Giving false or misleading information is a serious offence

Privacy Notice

The personal information on this form is provided to the Environment and Planning Directorate (EPD). The collection of personal information is authorised by the *Building Act 2004*. If all or some of the required personal information is not collected this notice is not considered complete. The personal information provided may be disclosed to Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be disclosed where authorised by law or court order, or where the EPD reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. EPD's Information Privacy Policy contains information about how you may access or seek to correct your personal information held by EPD, and how you may complain about an alleged breach of the Territory Privacy Principles. The EPD Information Privacy Policy can be found at www.act.gov.au/accessCBR.

CONTACT INFORMATION

Email:
ACTPLAdevelopmentBA@act.gov.au

Post:
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Shopfront Mitchell
GPO Box 158
Canberra, ACT 2601

In Person:
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www.act.gov.au/accessCBR
Or call 132281 to find an
Access Canberra Shopfront.



Amendment Plan Tax Invoice

TO THE PAYEE


Access Canberra Building Services

c/o CERTIFIED BUILDING SOLUTIONS PTY LTD
PO Box 76 MITCHELL ACT 2911

ABN 16 479 763 216
8 Darling Street Mitchell
GPO Box 158 ACT 2601
Access Canberra Homepage: www.act.gov.au/accesscbr

Invoice Date:19/09/2017 Time:2:35:11 PM

Invoice Number: 3100435340

Item	Fee
Amendment Fee for B20165337	

No GST applies to these fees and levies.

PAYMENT REQUIRED WITHIN 14 DAYS OF INVOICE ISSUE DATE

Payment Options



Billers Code: 584508
Ref: 3100435340

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Telephone (02) 6207 1923 8.30am - 4.30pm Mon - Fri and have your credit card details handy (MasterCard and Visa).



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Building Approval Fees and Levies Tax Invoice

TO THE PAYEE

c/o Amit Ghildyal

1 Vandyke St, ,

Crace ACT 2911

Access Canberra Building Services

ABN 16 479 763 216
8 Darling Street Mitchell
GPO Box 158 ACT 2601
Access Canberra Homepage: www.act.gov.au/accesscbr

Invoice Date:29/11/2016 Time:10:17:31 AM

Invoice Number: **3100383805**

Block - Section - Division - District	Building Levy	Training Levy	Fees Paid	Total
6 - 34 - LAWSON - BELCONNEN Ref # - 27141				
Total	Sch 2 s2(a)(ii)			

No GST applies to these fees and levies.

PAYMENT REQUIRED WITHIN 14 DAYS OF INVOICE ISSUE DATE

Payment Options



Biller Code: 584508
Ref: 3100383805

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Building Approval Fees and Levies Receipt



Access Canberra Building Services

CERTIFIED BUILDING SOLUTIONS PTY LTD
PO Box 76 MITCHELL ACT 2911

ABN 16 479 763 216
16 Challis Street Dickson
GPO Box 158 ACT 2601
Access Canberra Homepage: www.act.gov.au/accesscbr

Payment Received: 8/5/2017

Payment for Invoice Number: 3100383805

Block	Section	District	Division	Building Levy	Training Levy	Workcover	Total Levies	Fees Paid
6	34	BELCONNEN	LAWSON Total	Sch 2 s2(a)(ii)				

No GST applies to these fees and levies.

Minimum Documentation Requirements Definitions and Checklist

The preferred format of documents and plans is in portable document format (.pdf).

The preferred electronic size of plans is A3 and other documents A4.

Required 'plans' are to be fully dimensioned and to the scales as identified below and must contain a drawing title block which includes the site details, revision number, designers name and correct plan name in accordance with AS1100.

Required 'details' can be included in plans and/or specifications.

Submission Requirement	Required Information	Checklist
<u>Form – Minimum Documentation Requirements for Building Approval Lodgement Checklist</u>	Fully completed form: Minimum Documentation Requirements Definitions and Checklist. (This form)	<input checked="" type="checkbox"/> Supplied as stand alone or in document <hr/> <input type="checkbox"/> Not required <input type="checkbox"/> <i>Office Use</i>
<u>Form – Appointment of Certifier</u>	Fully completed form: Appointment of a certifier application for building approval.	<input checked="" type="checkbox"/> Supplied as stand alone or in document <hr/> <input type="checkbox"/> Not required <input type="checkbox"/> <i>Office Use</i>
<u>Asbestos Removal Control Plan</u>	Prepared in accordance with Code of practice for the safe removal of Asbestos National Occupational Health and Safety Commission 2 nd Edition (NOHSC: 2002(2005))	<input type="checkbox"/> Supplied as stand alone or in document <hr/> <input checked="" type="checkbox"/> Not required <input type="checkbox"/> <i>Office Use</i>
<u>Development Approval</u>	Each Plan, Drawing and document, including the notice of decision, which formed part of the development approval.	<input type="checkbox"/> Supplied as stand alone or in document <hr/> <input checked="" type="checkbox"/> Not required <input type="checkbox"/> <i>Office Use</i>
<u>Estimate of the Cost of the Building Work</u>	As calculated in accordance with Building (General) (Cost of Building Work) Determination.	<input checked="" type="checkbox"/> Supplied as stand alone or in document <hr/> <input type="checkbox"/> Not required <input type="checkbox"/> <i>Office Use</i>
<u>Alternative Solutions</u>	All calculations, reports, certificates and manufacturer's information together with a written proposition to support a building solution which is not in accordance with the Deemed-to-Satisfy provisions of the National Construction Code.	<input type="checkbox"/> Supplied as stand alone or in document <hr/> <input checked="" type="checkbox"/> Not required <input type="checkbox"/> <i>Office Use</i>

<p>Site Plan</p>	<ul style="list-style-type: none"> • Scale not less than 1:200 • the title boundaries, dimensions and directions including the north point, of the land • the position and dimensions of any easement or services on the land • the position and dimensions of the proposed building or structure (retaining walls, swimming pools, garages, etc.) or building work on the land • Driveways and parking areas and crossovers • Finished floor levels relative to site datum • Finished site levels relative to the Australian height datum • The relationship of the proposed building or building work to the boundaries of the land • The position of any buildings on adjoining properties within 3m of the boundary of the land • Detailed contours of the land at 0.25m intervals over the building site referenced to a project site datum • Earthworks (excavations or fill levels relative to the Australian Height datum, and compaction details) and associated soil and water management strategies • The position of any existing building, structure or trees on the land and the purpose for which the building or structure is used • All utility connection points including electrical, stormwater, sewerage, water and telecommunication/data 	<p><input checked="" type="checkbox"/> Supplied as stand alone or in document</p> <hr/> <p><input type="checkbox"/> Not required</p> <p><input type="checkbox"/> Office Use</p>
<p>Floor Plan</p>	<ul style="list-style-type: none"> • Scale not less than 1:100 • A plan for each floor including any trafficable subfloor areas • Dimensions • Key to sections cross referenced to relevant drawing and sheet number • Finished floor levels related to Australian Height Datum • Identification of the existing building • Identification of all rooms (existing and proposed) 	<p><input checked="" type="checkbox"/> Supplied as stand alone or in document</p> <hr/> <p><input type="checkbox"/> Not required</p> <p><input type="checkbox"/> Office Use</p>

<u>Elevation Plan</u>	<ul style="list-style-type: none"> • Scale of not less than 1:100 • Dimensioned heights including overall heights • Proposed external materials referenced to a materials schedule • Finished floor levels and ceiling levels • Natural and finished ground levels related to Australian Height Datum • Floor to ceiling heights 	<input checked="" type="checkbox"/> Supplied as stand alone or in document <hr/> <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
<u>Section Details – Wall, Floor Ceiling & Roof</u>	<ul style="list-style-type: none"> • Scale of not less than 1:100 • Finished floor levels and ceiling levels • Natural and finished ground levels related to Australian Height Datum • Floor to ceiling heights • Long section of any proposed basement ramp showing gradients • Section of any sub floor areas 	<input checked="" type="checkbox"/> Supplied as stand alone or in document <hr/> <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
<u>Demolition Plan</u>	<ul style="list-style-type: none"> • Scale not less than 1:200 • the title boundaries, dimensions and directions including the north point, of the land • the position and dimensions of any easement or utility tie or service points on the land • the position and dimensions of the proposed buildings or structures to be demolished • The relationship of the proposed demolition to the boundaries of the land • The position of any buildings on adjoining properties within 3m of the boundary of the land • The position of any existing building, structure or trees and the purpose for which the building or structure is used • Identification of erosion and sediment control measures 	<input type="checkbox"/> Supplied as stand alone or in document <hr/> <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use

<p>Footings and Concrete Slab Details</p>	<ul style="list-style-type: none"> • Section of any sub floor areas • Dimensioned plan and construction details of footings including penetrations, step down details and placement of reinforcement including cover • Nominated founding depth and description of founding material • Dimensioned plan and construction details of slabs including levels, falls or gradients • Construction details of penetrations, step downs in beams, set downs in slabs and placement details of reinforcement including cover • Slab preparation including materials, thicknesses, compaction requirements, vapour barrier specifications and installation details • Concrete strength, slump, finishing and curing requirements • Specifications and installation details of proprietary and other systems 	<p><input checked="" type="checkbox"/> Supplied as stand alone or in document</p> <hr/> <p><input type="checkbox"/> Not required</p> <p><input type="checkbox"/> Office Use</p>
<p>Retaining Wall Details</p>	<ul style="list-style-type: none"> • Dimensioned plan showing position of retaining wall, drainage, founding levels and heights • Dimensioned construction details • Drainage, tanking and protection details • Backfill specifications • Concrete mix, slump, reinforcement placement Washout requirements • Specifications and installation details of proprietary and other systems 	<p><input type="checkbox"/> Supplied as stand alone or in document</p> <hr/> <p><input checked="" type="checkbox"/> Not required</p> <p><input type="checkbox"/> Office Use</p>
<p>Masonry Construction Details</p>	<ul style="list-style-type: none"> • Show unreinforced, reinforced or earthwall construction • Identify structural and non-structural walls • Specify dimensions of engaged and isolated piers • Reinforcing specified for reinforced walls • Identify fire rating requirement • Masonry unit sizes and bond patterns and tooling of joints • Specification of brick ties and anchorages • Mortar specification • Cavity dimension and clean out specification • Knockout blocks for washout • Control joint location and detail • Sub floor vents. Location and Size per metre • Specify lintels and bond beams • Sub floor bracing (masonry shear walls) • Weatherproofing and waterproofing details • Flashings, damp proof course and weep holes • Weephole guards (insects, bushfire prone areas) 	<p><input type="checkbox"/> Supplied as stand alone or in document</p> <hr/> <p><input checked="" type="checkbox"/> Not required</p> <p><input type="checkbox"/> Office Use</p>

<p><u>Framing (including trusses) and Construction Details</u></p>	<ul style="list-style-type: none"> • Framing drawings or schedules to indicate each structural member, dimensions, orientation, material, grade and size, spacing and span • Joint, support and bearing details • Show minimum clearances to ground level of flooring system members • Fire rating construction details • Bracing, tie downs and fixings • Roof pitch, eave / overhang details • Show location of roof mounted solar panels, hot water service or air conditioners 	<input type="checkbox"/> Supplied as stand alone or in document <hr/> <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use
<p><u>Roof Cladding Details</u></p>	<ul style="list-style-type: none"> • Sheeting or tile specification including: <ul style="list-style-type: none"> ○ Roof pitch ○ Batten spacing ○ Fixing requirements ○ Flashing details ○ Roof drainage ○ Bushfire sealing requirements • Roof lights • Roof ventilators 	<input checked="" type="checkbox"/> Supplied as stand alone or in document <hr/> <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
<p><u>Exterior Cladding and Material Details</u></p>	<ul style="list-style-type: none"> • Cladding system description, manufacturer, material, pattern and colour, cavity detailing • Fixings, flashings and other details • Sub floor ventilation • Bushfire protection requirements 	<input checked="" type="checkbox"/> Supplied as stand alone or in document <hr/> <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
<p><u>Wet area details</u></p>	<ul style="list-style-type: none"> • Specify material and system • Wet areas specification (extent and system e.g. membrane, manufacturer and type) • Location and design of wet areas 	<input checked="" type="checkbox"/> Supplied as stand alone or in document <hr/> <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
<p><u>Windows and Glazing Details</u></p>	<ul style="list-style-type: none"> • Window system description, manufacturer, frame material and energy rating • Glazing specification • Bushfire prone areas requirements • Opening size for ventilation calculation • Other glazing <ul style="list-style-type: none"> ○ Internal glazing specifications including wet area glazing, shower screens, doors ○ Balustrade system specification (glass and fixings) ○ Overhead glazing, roof lights 	<input checked="" type="checkbox"/> Supplied as stand alone or in document <hr/> <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
<p><u>Fire Safety Details</u></p>	<ul style="list-style-type: none"> • Smoke alarms location and type • Bushfire prone areas specifications • Fire separation details • Penetration sealing specifications (building perimeter) 	<input checked="" type="checkbox"/> Supplied as stand alone or in document <hr/> <input type="checkbox"/> Not required <input type="checkbox"/> Office Use

<p>Safe Movement and access (including stairs and ramps) Details</p>	<ul style="list-style-type: none"> • Construction – type, material and proprietary system • Balustrade construction, spacing and handrails • Clearance height above stair nosings • Winders detail • Dimensions of landings, risers and goings • Section through the stairs • Method of construction, including aperture size, non-slip requirements • Ramp slope and surface finish 	<input type="checkbox"/> Supplied as stand alone or in document <hr/> <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use
<p>Swimming Pools and Spas Details (including fencing/barriers)</p>	<ul style="list-style-type: none"> • Construction details, waterproofing, drainage, pool water recirculation and filtration systems • Pool safety barrier details and height • Openings, gates and latches 	<input type="checkbox"/> Supplied as stand alone or in document <hr/> <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use
<p>Energy Efficiency Details</p>	<ul style="list-style-type: none"> • Building fabric thermal efficiency specification <ul style="list-style-type: none"> ○ walls, ceiling, floors and roof ○ Insulation location and R value ○ Sarking vapour permeability • Window energy specification • Energy rating documentation • Building sealing • Air movement control strategies • Pipe and services insulation • Glazing calculator to be supplied if a Deemed To Satisfy solution • Under slab or slab edge insulation 	<input checked="" type="checkbox"/> Supplied as stand alone or in document <hr/> <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
<p>Water Supply and Drainage Plan</p>	<ul style="list-style-type: none"> • An interim sanitary drainage plan • A plan that identifies the location of all relevant water supply and drainage points to the building • Surface and sub-surface site drainage including location of on-site waste water management systems including land application area • Levels of overflow relief gully (ORG) rim relative to the lowest sanitary plumbing fixture outlet and the surrounding finished surface level • Levels of inverts to existing and proposed drainage services at point of connection to approved disposal system 	<input type="checkbox"/> Supplied as stand alone or in document <hr/> <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use
<p>Services Plan</p>	<ul style="list-style-type: none"> • A plan that identifies the location of all relevant internal and external electrical points in or on the building, lighting, plant and mechanical, for example air-conditioning, evaporative cooling, exhaust fans, water heaters, fixed appliances and water tanks (including connection) 	<input type="checkbox"/> Supplied as stand alone or in document <hr/> <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use
<p>Building Certifier: CBS P/L</p> <p>Date: 7/11/2016</p>		<p>ESDD Customer Service Officer: _____</p> <p>Date: _____</p>



Building Act 2004, S151
Building Approval

Project ID: B20165337

PART A - PROJECT DETAILS

Unit	Block	Section	Division (Suburb)	District	Jurisdiction
	6	34	LAWSON	BELCONNEN	Australian Capital Territory

PART B - WORKS REQUIRING BUILDING APPROVAL

Item of building work to which this Building Approval relates:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
1a(l)	New	DA EXEMPT-RESIDENCE		NA	2	235.00	Sch 2 s2(a)(ii)
10a	New	DA EXEMPT-GARAGE	Garage, Alfresco, Porch, Balcony & Deck	NA	2	88.00	

The following work is exempt from development approval:

- A single house in a new housing estate

PART C - CERTIFIERS DECLARATION

I declare that in issuing this building approval under section 28 of the Building Act 2004:

- I am satisfied on reasonable grounds that the plans meet each applicable approval requirement under section 29 and is not prevented from being issued under section 30 or section 30A
- I have supplied all documents as required under 3.3 Building Act 2004
- I have prepared a notice (building approval certificate) certifying what approval requirements apply to the application and why the building approval is not prevented from being issued; and
- I have given the building approval certificate to the applicant.

In performing services as a certifier in relation to the work detailed in this application I am not in breach of my entitlement to act as a certifier in accordance with the Building Act 2004.

Full Name	Address	License Number	Expiry Date
CERTIFIED BUILDING SOLUTIONS PTY LTD	PO Box 76 MITCHELL ACT 2911	200426203	1/09/2017

Date Issued : 29/11/2016

NOTES

Utilities

This application must also be accompanied by a Statement of Compliance from each relevant utility provider (for water, sewerage, electricity and stormwater) which confirms that the location and nature of earthworks, utility connections, proposed buildings, pavements and landscape features comply with utility standards, access provisions and asset clearance zones.

Note 1: If there is no stormwater easement or Territory owned stormwater pipes located within the property boundary, a "Statement of Compliance" for stormwater from TAMS (Asset Acceptance) is not required to be obtained.

Note 2: Where there is conflict between planning and utility requirements, the utility requirements take precedence over other codified or merit provisions.

Utilities – Demolition Only

This application must be accompanied by a Statement of Endorsement for utilities (including water, sewerage, electricity and stormwater) stating that:

- all network infrastructure on or immediately adjacent to the site has been identified on the plan
- all potentially hazardous substances and conditions (associated with or resulting from the demolition process) that may constitute a risk to utility services have been identified
- all required network disconnections have been identified and the disconnection works comply with utility requirements
- all works associated with the demolition comply with and are in accordance with utility asset access and protection requirements

Note: The documentation provided to the utility provider for endorsement must be consistent with the documentation that forms part of a development approval or the documentation verified as exempt from requiring development approval by a licensed certifier.

Asbestos Advice

If documents accompanying building approval do not include an asbestos assessment report as per the Building Act 2004, the building approval must have an Asbestos Advice attached as per the Act

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.



APPOINTMENT OF BUILDER & APPLICATION FOR COMMENCEMENT NOTICE

Building Act 2004, S151

In completing this form the owner is authorising the builder nominated below to apply to the appointed certifier to issue a Commencement Notice for the works detailed in this application form.

PART A		PROJECT DETAILS					
Block	6	Section	34	Suburb	LAWSON	Unit No.	
Street Address	13 BELLBIRD LOOP						
Certifier Name	Certified Building Solutions Pty Ltd						

Description of Building Works relevant to this application - *If more than 6 items please attach further details*

1	NEW RESIDENCE
2	GARAGE, ALFRESCO, PORCH, BALCONY & DECK
3	
4	

PART B	OWNER DETAILS - Please Print
--------	------------------------------

All owners must be listed

Owner 1 will be considered the contact person in relation to this application

Company Details

--

Owner 1	Sch 2 s2(a)(ii)	Owner 2	Sch 2 s2(a)(ii)
Owner 3		Owner 4	

Postal Address	Sch 2 s2(a)(ii)
----------------	-----------------

Suburb	Sch 2 s2(a)(ii)	State	ACT	Postcode	2911
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Phone Number Business Hours		Mobile	Sch 2 s2(a)(ii)
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EMAIL ADDRESS	Sch 2 s2(a)(ii)
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PART C APPOINTMENT OF BUILDER

I/we the owner/s have appointed the person whose details appear below as the builder in relation to the building works described in this form

Licence Holders Name as it appears on licence card **BLACKETT PROPERTY GROUP**

Licence Number **200112309** Class **B** Expiry Date **22/03/18**

List any conditions or endorsements on licence **NIL**

EMAIL ADDRESS **reception@blackett.com.au**

PART D NOMINEE'S DETAILS
If the builder is a company or partnership provide details of the Nominee who will supervise the building

Nominee's Name **GEOFF HOWARTH**

Licence Number **2008472** Class **B** Expiry Date **02/10/18**

Signature of Nominee *[Signature]* Date **03.11.16**

PART E OWNER SIGNATURES

Owner 1	Sch 2 s2(a)(ii)	Signature	Sch 2 s2(a)(ii)	DATE: 22/9/2016
Owner 2	Sch 2 s2(a)(ii)	Signature	Sch 2 s2(a)(ii)	DATE: 22/9/2016
Owner 3		Signature		DATE:
Owner 4		Signature		DATE:

PART F BUILDER APPLICATION TO CERTIFIER FOR COMMENCEMENT NOTICE

I hereby apply to the building certifier listed above for a commencement notice for the works detailed in Part A of this form in accordance with the Building Act 2004.

- A site sign was **not** required to be displayed prior to making this application.
- A site sign was required to be displayed prior to making this application and I declare that a compliant sign was erected and displayed for the required period.

Signature of Builder *[Signature]* Date **03.11.16**

NOTE: There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

PART G INSURANCE OR FIDELITY CERTIFICATE

For residential building work please provide details of insurance where applicable

Insurance Provider **QBE** Policy No. **18000** Date Issued **25/10/16**

4426 BW1-511

Residential Builders' Warranty
Insurance
Certificate of Insurance

QBE Insurance (Australia) Ltd
Level 5, 2 Park Street
SYDNEY NSW 2000
Phone: PHONE:8275 9999
Fax: 02 8275 9330
ABN: 78 003 191 035
AFS License No: 239545



Policy Number 180004426BWI-511

Sch 2 s2(a)(ii)

Name of Intermediary
AON HIA (NSW/ACT)
GPO BOX 2188
CANBERRA ACT 2601

Account Number
180006684
Date Issued
25/10/2016

Policy Schedule Details

Certificate in Respect of Insurance

Residential Building Work by Contractors

A contract of insurance complying with the Building Act 2004 and Regulations have been issued by QBE Insurance (Australia) Limited ABN 78 003 191 035, in respect of Residential Building Work as described in the Schedule herein.

In Respect of	NEW SINGLE DWELLING CONSTRUCTION CONTRACT
At	13 BELLBIRD LOOP LAWSON ACT 2617
Carried Out By	BUILDER BLACKETT PROPERTY GROUP PTY LI ABN: 65 077 839 966
Declared Contract Price	Sch 2 s2(a)(ii)
Contract Date	22/09/2016
Builders Registration No.	U200112309
Building Owner / Beneficiary	Sch 2 s2(a)(ii)

Subject to the Building Act 2004 and Regulations and the conditions of the insurance contract, cover will be provided to the Building Owner/ Beneficiary named in the domestic building contract and to the successors in title to the Building Owner/Beneficiary or the immediate successor in title to the contractor or developer who did the work and subsequent successors in title.

For and behalf of

QBE Insurance (Australia) Limited.

IMPORTANT NOTICE:

This certificate must be read in conjunction with the Policy Wording and kept in a safe place.

These documents are very important and must be retained by you and any successive owners of the property for the duration of the statutory period of cover.

QM1824-1207



Building Act 2004, S151

Application for Building Commencement Notice

Project ID: B20165337

Licensed builders must use this form to apply to the building certifier for a commencement notice in accordance with the Building Act 2004. An application can only be made if the building approval has been issued for the building work. A commencement notice must be issued by the building certifier before any building work can commence.

PART A - PROJECT DETAILS

Building approval issue date: 29/11/2016

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
	6	34	BELCONNEN	LAWSON	Australian Capital Territory

Full Name	Address	License Number	Expiry Date
CERTIFIED BUILDING SOLUTIONS PTY LTD	PO Box 76 MITCHELL ACT 2911	200426203	1/09/2017

Description of work to which application for Commencement Notice relates:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
1a(l)	New	DA EXEMPT-RESIDENCE		NA	2	235.00	Sch 2 s2(a)(ii)
10a	New	DA EXEMPT-GARAGE	Garage, Alfresco, Porch, Balcony & Deck	NA	2	88.00	

Insurance provider: QBE

Policy number: 180004426BWi-511

Issue date: 29/11/2016

PART B - BUILDERS DETAILS

License holder's name: BLACKETT PROPERTY GROUP PTY LTD

License number: 200112309

License Expiry Date: 15/03/2018

Business Address: PO Box 5158 BRADDON ACT 2612

Phone Number: 0262416311

Signature of builder:

_____/ /
(Individual, director for company or partner for partnership)

If the builder is a company or partnership provide details of the nominee who will supervise the building work

Nominee's name: GEOFFREY DAVID HOWARTH

License number: 2008472

License Expiry Date: 2/10/2018

Nominee's signature
(if different to above): _____ / /

PART C - OWNER/LESSEE DETAILS

Name	Address
Sch 2 s2(a)(ii)	

ADVISORY NOTE: Owners please ensure you have a written contract with the builder named in this application. For residential building work requiring home owner insurance ensure that the same builders name is shown on the insurance policy.

PART D - OWNER/S OR AGENT SIGNATURE/S

Name	Signature	Date
Sch 2 s2(a)(ii)		

NOTE: You may only make this application as an authorised agent on behalf of the owners of the property if you have appropriate written authorisation from ALL the owners and attach it to this application. This also applies if you are a part owner or joint owner making an application on behalf of the owners.

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.

PART E - BUILDER APPLICATION TO CERTIFIER FOR COMMENCEMENT NOTICE

I hereby apply to the building certifier listed above for a commencement notice for the works detailed in Part A of this form in accordance with the Building Act 2004.

- A site sign was NOT required to be displayed prior to making this application.
- A site sign WAS required to be displayed prior to making this application and I declare that a compliant sign was erected and displayed for the required period.

Signature of Builder/Nominee: _____ / /

NOTE: There are penalties for deliberately giving false and misleading information. Access Canberra or the Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.



Building Act 2004, S151

Building Commencement Notice

Project ID: B20165337

PART A - PROJECT DETAILS

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
	6	34	BELCONNEN	LAWSON	Australian Capital Territory

Certifier's Details

Full Name	Address	License Number	Expiry Date
CERTIFIED BUILDING SOLUTIONS PTY LTD	PO Box 76 MITCHELL ACT 2911	200426203	1/09/2017

Building approval issue date: 29/11/2016

Building Commencement Notice Required for:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Area (m2)	Cost of Works (\$)
1a(l)	New	DA EXEMPT-RESIDENCE		NA	235.00	Sch 2 s2(a)(ii)
10a	New	DA EXEMPT-GARAGE	Garage, Alfresco, Porch, Balcony & Deck	NA	88.00	

PART B - BUILDERS DETAILS

License holder's name: BLACKETT PROPERTY GROUP PTY LTD

License number: 200112309

License Expiry Date: 15/03/2018

Business Address: PO Box 5158 BRADDON ACT 2612

Phone Number: 0262416311

If the builder is a company or partnership provide details of the nominee who will supervise the building work

Nominee's name: GEOFFREY DAVID HOWARTH

License number: 2008472

License Expiry Date: 2/10/2018

PART C - CERTIFIER'S DECLARATION

Issue date of commencement notice: 29/11/2016

Name of Certifier Issuing Notice: CERTIFIED BUILDING SOLUTIONS PTY LTD

Declaration:

This commencement notice is issued in accordance with the Building Act 2004, to the licensed builder stated above authorising the commencement of the stated building work. The issue of this commencement notice indicates that I am satisfied that the builders license authorises the work in the building approval. Where applicable for residential building work, I have been provided with a residential building insurance policy or fidelity certificate.

PLEASE NOTE:

A copy of the application for this commencement notice, this notice and where applicable the residential building insurance policy or fidelity certificate, must be given to the construction occupations registrar within one (1) week of the issue date.

This building commencement notice will end if-

- (a) for residential building work- the work is no longer insured; or
- (b) the building approval for the work ends

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.



Building Act 2004, S151

Certification of Completion of Building Work

Project ID: B20165337/B

If this application is incomplete or documentation is inadequate this application may not be accepted for lodgement and the Certificate of Occupancy and Use may not be issued.

PART A - PROJECT DETAILS

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
	6	34	BELCONNEN	LAWSON	Australian Capital Territory

Plan Registration Number

B20165337/A

B20165337/B

Description of Works

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Unit	BCN ID	Builder
1a(l)	New	DA EXEMPT-RESIDENCE		NA		B20165337N1	BLACKETT PROPERTY GROUP PTY LTD
10a	New	DA EXEMPT-GARAGE	Garage, Alfresco, Porch, Balcony & Deck	NA		B20165337N1	BLACKETT PROPERTY GROUP PTY LTD

The project involved electrical work

The project involved plumbing and/or sanitary drainage work

The project involved gas work

This building work is not subject to an alternative solution under BCA

PART B - CERTIFIERS DECLARATION

I am satisfied that the building work detailed in the application is complete. I hereby certify that:

- I have provided all the relevant documents required by subsection 48(2) of the Building Act 2004 with this application as uploaded;
- the documentation relating to the building approval has been marked in accordance with the requirements of the Building Act 2004;
- The building work has been completed in accordance with the requirements of the Building Act 2004 and substantially in accordance with the approved plans;
- The building or part of the building as erected or altered is structurally sufficient, sound and stable for the purposes for which it is intended to be occupied or used; and
- The Registrar can issue a Certificate of Occupancy and Use

Full Name	Address	License Number	Expiry Date
CERTIFIED BUILDING SOLUTIONS PTY LTD	PO Box 76 MITCHELL ACT 2911	200426203	2/09/2018

Date Issued: 19/09/2017 2:35:43 PM

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.



Access Canberra

APPLICATION FOR CERTIFICATE OF OCCUPANCY AND USE

Building Act 2004, s151

WARNING TO OWNERS
It is recommended that owners seek appropriate advice to determine whether the building work and other contract requirements have been completed satisfactorily before signing this form. This form should not be signed before the completion of building work.

PART A PROJECT DETAILS

Block/s: Section: Suburb: Unit No.:

Street Address:

Describe each item of building work to which this application relates: if more than 6 items please attach further details.

1. NEW RESIDENCE
2. GARAGE, ALFRESO, PORCH, BALCONY & DECK.
- 3.
- 4.

Name of Certifier:

CERTIFIED BUILDING SOLUTIONS P/L

PART B OWNER/LESSEE DETAILS

FULL NAME OF ALL OWNERS - All owners must be listed or application will not be processed
Please Print - Owner 1 will be considered the contact person in relation to this application

Company Details:

Owner 1

Sch 2 s2(a)(ii)

Owner 2

Sch 2 s2(a)(ii)

Owner 3

Owner 4

Postal Address

Suburb

Sch 2 s2(a)(ii)

Phone Number Business Hours

Mobile

Sch 2 s2(a)(ii)

EMAIL ADDRESS

Sch 2 s2(a)(ii)

PART C DECLARATION BY OWNER/S

I am/we are the owner(s) of the above described land

I am/we are satisfied that the building work and related requirements have been completed and hereby apply for a Certificate of Occupancy or Use

Sch 2 s2(a)(ii)

- Email
- send certificate by post to the owner(s) address
- held for collection from Building Services Shopfront - Mitchell
- Other KIM@BLACKETT.COM.AU

PART D SIGNATURE/S OF OWNER/S

This form should not be signed before the completion of building work.

Sch 2 s2(a)(ii)

1 st Owner's Signature	Sch 2 s2(a)(ii)	Date	12 Sept 2017
2 nd Owner's Signature	Sch 2 s2(a)(ii)	Date	12/09/2017
3 rd Owner's Signature		Date	
4 th Owner's Signature		Date	

NOTE: There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

Once this form has been completed you should give it to your certifier to lodge or hand deliver to:

Access Canberra
 Building Services Shopfront,
 8 Darling Street
 Mitchell ACT 2911

Privacy Notice
 The personal information on this form is provided to Access Canberra to enable the processing of your application. The collection of personal information is authorised by the *Building Act 2004*. If all or some of the personal information is not collected Access Canberra cannot process your application. The personal information you provide may be disclosed to Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be disclosed where authorised by law or court order, or where the Director reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. Access Canberra's Information Privacy Policy contains information about how you may access or seek to correct your personal information held by Access Canberra, and how you may complain about an alleged breach of the Territory Privacy Principles. Access Canberra Information Privacy Policy can be found at www.act.gov.au/accessCBR

CONTACT INFORMATION

Email: ACTPLAdevelopmentBA@act.gov.au	Post: Access Canberra Building Services Shopfront Mitchell GPO Box 158 Canberra, ACT 2601	In Person: Please visit www.act.gov.au/accessCBR Or call 132281 to find an Access Canberra Shopfront.
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SURVEYOR'S CERTIFICATE

John W. Foxlee & Assoc.

REGISTERED SURVEYOR (B Surv) Member CSA NSW
ABN 18 553 689 322

42 Yiman Street Waramanga ACT 2611 PO Box 3472 MANUKA ACT 2603
Ph. (02) 6288 1257 Fax (02) 6287 1224 Mobile 0412 625 806 Email jfoxlee@hotmail.com.au

BLOCK 6, SECTION 34, DIVISION OF LAWSON.

The Manager,
Blackett Property Group,
P.O. Box 5158,
BRADDON. A.C.T. 2612.

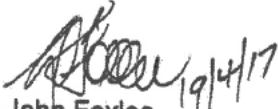
Dear Sir,

I have surveyed the land being Block 6, Section 34, Division of LAWSON in the Canberra Central District of the Australian Capital Territory, as delineated in Deposited Plan No. 11268 lodged at the office of the Registrar of Titles, Canberra City. The block has an area of 570 square metres or thereabouts and has a frontage to Bellbird Loop.

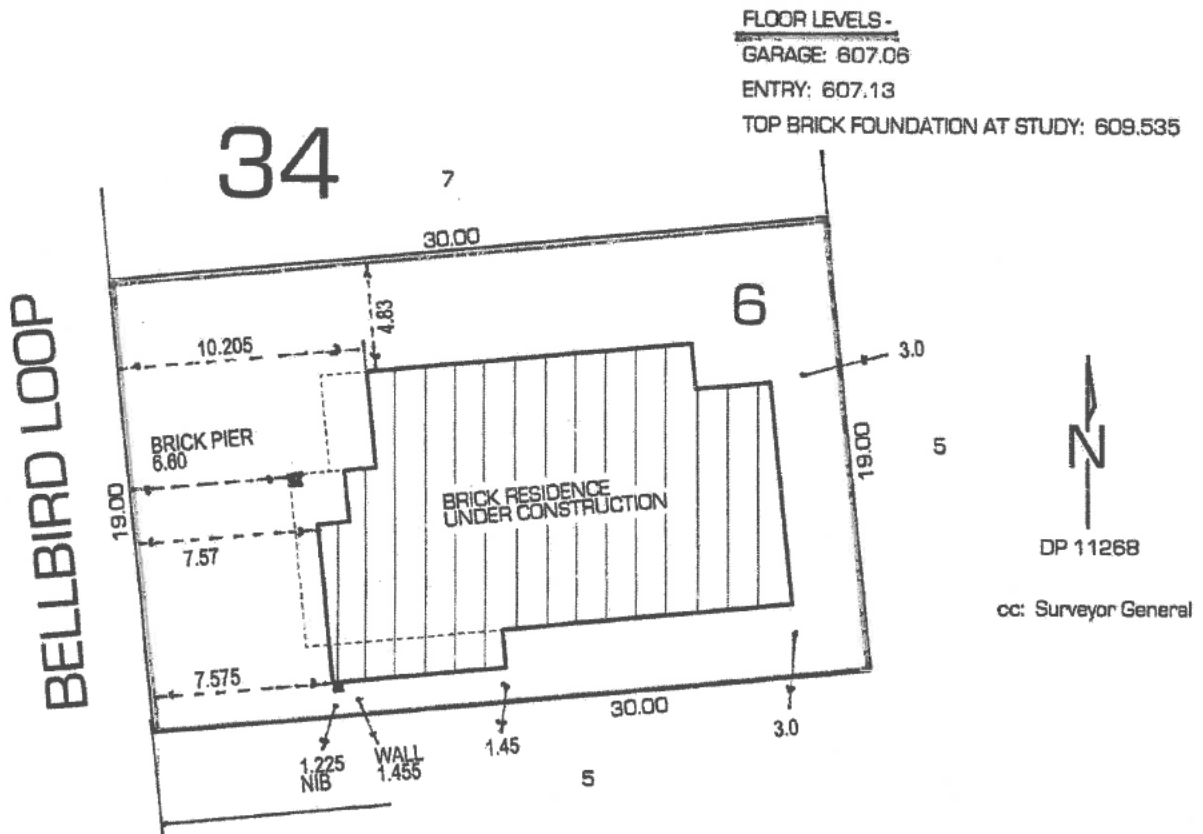
Upon this land stands a brick residence in the course of construction. The position of this building in relation to the boundaries of the land is shown on the sketch plan endorsed hereon.

The residence is contained wholly within the boundaries of the land.

Yours faithfully,



John Foxlee.
REGISTERED SURVEYOR



PRODUCT & INSTALLATION WARRANTY - NEWLY CONSTRUCTED HOMES

This is to certify that Bradford™ Insulation product has been installed at:

Address of installation: 6/34 Lawson - 13 Bellbird Loop ("the Premises")

Date of Installation: Ceiling/Roof: June 2017 Walls: June 2017 Floor: _____
("Installation Date")

Product Installed:	Material R-Value		
	Ceiling/Roof	Wall	Floor
Bradford Gold Insulation	R5.0	R2.5	R2.5
Bradford Gold HP Insulation			
Bradford SoundScreen™			
Bradford Optimo™ Sub-Floor Insulation			
Bradford EnviroSeal™ Wall Wrap [Yes/No]			

LIFETIME* BRADFORD PRODUCTS WARRANTY

CSR Building Products Limited ACN 008631356 ("Bradford") warrants that Bradford Gold, Bradford Gold HP, Bradford SoundScreen™ and Bradford Optimo™ Sub-Floor Insulation ("Bradford Products") installed at the Premises will meet the following standards for the life of the home* provided they are not disturbed after installation:

1. Achieve optimum fire resistance performance of four zeros when tested in accordance with Australian Standard 1530 part 3 of 1999.
2. Be electrically non-conductive, allergy free, will not pack down, will not rot or support mould or deteriorate.
3. Achieve the stated thermal resistances (R-values) in accordance with AS/NZS4859.1.

Bradford EnviroSeal™ Wall Wrap is warranted by Bradford for 10 years from the date of installation.

This warranty provides for the replacement or re-installation of insulation, or refund up to the original invoice value of the relevant Bradford Products.

7 YEAR INSTALLATION WARRANTY

The Installer has provided the installation service in respect of Bradford Gold, Bradford Gold HP, Bradford SoundScreen™, Bradford Optimo™ Sub-Floor Insulation and Bradford EnviroSeal™ Wall Wrap ("the Installed Bradford Products") at the Premises and Bradford warrants that the installation service has been provided with due care and skill and has been performed in accordance with Bradford's recommendations and all relevant standards.

Subject to the conditions below, Bradford warrants for a period of 7 years from the Installation Date that the installation of the Installed Bradford Products, as referred to in this warranty, will not materially increase the risk of fire within the Premises.

In circumstances where the Installed Bradford Products are independently assessed as having materially contributed to any fire within the Premises, this warranty covers resulting property damage up to a total value of \$2 million.

This 7 Year Installation Warranty will cease to apply if and when:

- The installed Bradford Products (Gold, Gold HP, SoundScreen™, Optimo™, Bradford EnviroSeal™ Wall Wrap) are moved, tampered with or otherwise disturbed post installation; or
- In the case of ceiling insulation, where additional downlights, ducted air conditioning or any other ceiling penetrations are installed (including re-installation of existing downlights in a new position) in the Premises post installation; or
- In the case of wall insulation where any additional cables, electrical wiring, electrical fittings & outlets are installed in the Premises post installation.

Other than as set out above, the Lifetime Bradford Products Warranty and the 7 Year Installation Warranty are in substitution for and to the exclusion of all other rights and remedies (if any) including liability for personal injury, property damage, loss of profits, savings or opportunity or special or consequential loss, however caused or arising.

Certain legislation, including the Trade Practices Act 1974 (Cth), may imply warranties or conditions or impose obligations upon Bradford that cannot be excluded, restricted or modified or cannot be excluded, restricted or modified except to a limited extent. This warranty must be read subject to those statutory provisions. If these statutory provisions apply, to the extent to which Bradford is able to do so, its liability under those provisions will be limited, at its option, to:

- (a) the replacement of the goods, resupply of the services, or supply of equivalent goods or services;
- (b) the payment of the cost of replacing the goods or supplying the services again, or acquiring equivalent good or services;
- (c) the repair of the goods; or
- (d) the payment of the cost of having the goods repaired.

HEALTH AND SAFETY INFORMATION

Information on health risks and safe handling of our products is displayed on the packaging and/ or the documentation accompanying them. Additional information is listed in product Material Safety Data Sheets available from your regional Bradford Insulation office or on our website www.bradfordinsulation.com.au.

*The life of the home is taken by Bradford to be 70 years from the date of product installation, for the purpose of this warranty.



Ray Thompson
Group Marketing Manager
Bradford Insulation Group
CSR Building Products Limited
ABN 55 008 631 356

ACT Insulation Services
Pty Ltd ~ ABN: 44 052 116 524
PO Box 208 Mitchell ACT 2911
Ph: 0412 631 318





Truss Me

ABN: 19 131 446 645

84 SawMill Circuit
Hume
ACT2620
Ph: (02) 62602400
Fax: (02) 62601759

MiTek Australia Ltd - MiTek20/20 v4.90 p3 (Build 2399) BCA 2016

*** CERTIFICATION FOR ROOF TRUSSES ***

Date - 17 Feb 2017 08:59:20

Client - Blackett Homes - , ,

Job Reference - 28741-T

Site - Blackett Homes - 6/34 Lawson, 13 Bellbird Loop

GENERAL DEFAULTS

Design Wind Speed = 40.0m/s , N2 Wind Classification
Roof Material : Steel Deck (900 crs)
Ceiling Material : 10mm Plaster/battened (600 crs)
Top Chord Restraints : 900 mm
Bottom Chord Restraints : 600 mm
Truss Spacing : 600 mm
External Pressure Coefficient: -0.90
Internal Pressure Coefficient: 0.20
Timber Description : Trusses Standard Pine 90mm web
Pitch: 20.00 degrees
Overhang: 610 mm
Application: Housing

Note: Design data for individual trusses may vary.

The trusses in this project have been designed using MiTek 20/20, a software suite developed by MiTek Australia Ltd. in accordance with the ABCB Protocol For Structural Software incorporating engineering procedures that comply with relevant requirements in BCA 2016 including AS/NZS 1170.0:2002, AS/NZS 1170.1:2002, AS/NZS 1170.2:2011, AS/NZS 1170.3:2003, AS 1720.1:2010, AS 1720.5:2015 & AS 4055:2012 among its list of documents.

These trusses should be erected, fixed, and braced in accordance with Australian Standard AS4440, specifications published by MiTek Australia Ltd., and any other requirements supplied by the truss manufacturer.

Truss Me

certifies that these trusses are manufactured under licence to and in accordance with specifications published by MiTek Australia Ltd.



Installation Certificate

G Clarke & KM Clarke

(The Franchisee)

ABN 97 679 521 686 Lic. No. 256224C

24 Muntz Street,
Chisholm ACT 2905

The Franchisee (Installer) whose name appears at the head of this Installation Certificate has entered into an agreement with the customer identified below to undertake the work described below. The said Franchisee operates as an independent business. The Franchisee warrants that the Work has been completed in a proper and workmanlike manner. Wet-seal Management Pty Ltd (ACN 002 756 087) is the Franchisor (Seller) and collecting agent of the Franchisee. Once the membrane has been installed it is the customer's responsibility to cover it to protect against damage or ultra-violet degradation. Any product or covering installed over a Wet-seal product must comply with relevant Australian standards, otherwise the warranty will be void. Any unauthorised alteration will invalidate this certificate.

Customer:

Blackett Property Group Pty Ltd
Level 1 Suite 121 Lonsdale Street
BRADDON ACT 2612

Ref #:0C1510

Job Date: 03/07/2017

Installation Address:

Block 6 Section 34
LAWSON ACT 2617

1 Years Guarantee.

Installations ('Work'):

Area:	Location:	Shower Type:	Bath Type:	Notes:
EXTERNAL JOINT SEALING				

Warranty in Relation to External Joint Sealing is twelve months.

Greg Clarke - authorised signatory for and on behalf of the Wet-seal Franchisee.

W
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®



Quality
ISO 9001



BRANZ Appraised
Appraisal No.486 [2005]

THIS CERTIFICATE given by the Franchisee certifies that: (a) the installations scheduled above ("Work") have been carried out at the above premises ("Installation Address") using the appropriate system; (b) the Work has been undertaken by the Franchisee; (c) the system of waterproofing used in the Work (i) complies with Australian Standard 4858-2004; (ii) complies with part 3.8.1 of the Building Code of Australia (BCA) as amended and complies with Australian Standard 3740-2010 as amended 2012; (d) the system of waterproofing and the products used/comprised in the Work have been tested in respect of application and/or use in Australia by the Commonwealth Scientific and Industrial Research Organisations (CSIRO).

Installation Certificate - Selected Terms & Conditions

DEFINITIONS

COLLECTING AGENT means the Seller, who has been appointed (pursuant to an agreement between Seller and Installer) to collect monies owed by the Customer to the Installer.

CUSTOMER means the individual or entity that buys or agrees to buy Goods and Services from the Seller and Installer.

CONTRACT means the contract between the Installer and the Customer for the sale and purchase of Goods and Services incorporating these Terms and Conditions. The Contract may be either verbal or written.

FRANCHISEE means an independent person or entity who has entered into a Franchise Agreement with the Seller (the Franchisor) to provide Services to Customers.

GOODS means a range of waterproofing membranes and such other goods as determined by the Seller from time to time, combined with a system of installation for those Goods.

INSTALLATION means the particular waterproofing membrane and/or such other goods that have been installed by the Installer at a particular Site for a particular Customer.

INSTALLER means the person or entity who carries out the Services as a Franchisee.

MAJOR FAILURE means a failure as defined by Australian Consumer Law.

SELLER means Wet-seal Management Pty Ltd, the independent franchisor of the Wet-seal Franchise System operating in Australia.

SERVICES means the installation of waterproofing and such other goods that have been developed by the Seller and are installed by the Installer.

TERMS AND CONDITIONS means the terms and conditions of sale set out in this document, and any further special terms and conditions agreed in writing between the parties.

WARRANTY PERIOD means the period for which the Seller guarantees the Goods, and the Installer guarantees the Services. The Warranty Period will be 7 (seven) years unless otherwise stated in the Installation Certificate.

CONDITIONS

The provisions of the Australian Consumer Law shall prevail over the provisions of these Terms and Conditions, should there be any conflict. These Terms and Conditions shall apply to all Contracts for the sale of Goods and/or provision of Services by the Installer to the Customer, and shall prevail over any other documentation or communication from the Customer.

Acceptance of delivery of the Goods and Services shall be deemed conclusive evidence of the Customer's acceptance of these Terms and Conditions.

ORDERING, PRICE AND PAYMENT

The Services are only available for purchases of Goods supplied by the Seller and installed by the Installer.

All orders for Goods and Services shall be deemed to be an offer by the Customer to purchase the Goods and Services pursuant to these Terms and Conditions and are subject to acceptance by the Installer. The Installer may choose not to accept an order for any reason.

An estimate of a price for the supply of the Goods and Services may be provided by the Installer. Due to the complexity and variability of the Services the Installer's price estimate is usually an approximation and should not be considered to be a firm or exact quotation.

Terms: Full payment is due and payable by the Customer to the Collecting Agent on completion of the Services unless the Installer gives prior approval of terms, in which case full payment is required by the 14th day of the month following the invoice date.

If the Customer fails to pay any amount due under these Terms and Conditions within a period of sixty days from the date on which payment becomes overdue, the Collecting Agent may report the payment default to a credit-reporting/collection agency and add the collection costs to the amount owed by the Customer.

GOODS AND SERVICE WARRANTY

The Australian Competition and Consumer Act (2010) (including the Australian Consumer Law) as well as other laws in state jurisdictions guarantee certain conditions, warranties and undertakings, and give Customers other legal rights, in relation to the quality and fitness for purpose of Wet-seal products and workmanship sold in Australia.

Wet-seal Goods and Services come with guarantees that cannot be excluded under the Australian Consumer Law. The Consumer is entitled to a replacement or refund for a major failure and for compensation of any other loss or damage. The Consumer is also entitled to have the goods repaired or replaced if the goods fail to be of acceptable quality and the failure does not amount to a major failure. What constitutes a major failure is set out in the Australian Consumer Law.

Nothing in this Warranty purports to modify or exclude the conditions, warranties and undertakings, and other legal rights, under the Australian Competition and Consumer Act (2010) and other laws. This Warranty gives the Customer additional protection for their Wet-seal product and the workmanship involved in its installation, and identifies a preferred approach to resolving warranty claims which will be quickest and simplest for all parties, subject to the exclusions, terms and conditions herein.

The Goods and Services are covered by a Warranty. The Period of the Warranty is shown on the Installation Certificates and the Warranty will commence on the date of completion of the Services. The Warranty that applies to the Goods is the responsibility of the Seller. The Warranty that applies to the Services is the responsibility of the Installer.

The Seller shall be required to rectify free of charge any failure of the Goods, and subsequent damage caused as a result of the failure, during the warranty period. The Installer shall be required to rectify free of charge any failure of the Services, and subsequent damage caused as a result of the failure, during the warranty period. Because of the nature of the Goods and Services it is often the case that additional materials (tiles, etc.) have been fixed over the top of the Goods. The Customer acknowledges that in most cases it will be necessary for the Installer to remove some or all of such covering materials in order to determine the specific cause of the failure of the Goods or Services.

The Customer also acknowledges that upon removal of the covering materials it may be

determined that the cause of the Goods and Services failing to perform their intended purpose may be as a result of some damage to the integrity of the Goods and Services caused subsequent to the installation of the Goods and Services by a third party.

In the event that the Seller or Installer, while determining the cause of the failure of the Goods or Services, determines that the cause of the failure was due to something or someone other than any problem with the quality and effectiveness of the Goods or the proper provision of the Services, neither the Seller or Installer will be liable for any repairs, replacements, refunds, or compensation for any loss or damage under the Warranty.

In the circumstances described above the Customer will pay the Seller and/or the Installer the cost of providing such services as were required to determine the actual cause of the failure, and the Seller and/or Installer will not be responsible for the replacement of any covering materials.

In the event that it is determined that the circumstances described above apply, the Seller and/or Installer will provide the Customer with an estimate of the cost of repair of the Goods and Services, and in the event that the Customer requests the Seller or Installer to undertake the repairs, then the Customer accepts full responsibility for the payment to the Seller for the cost of such repairs.

Because of the susceptibility of the Installation to damage by third parties or by exposure to the sunlight or weather after installation (as described in Limitation of Liability), the Seller and/or the Installer reserve the right to inspect the Installation to investigate causation if a claim under the Warranty has been made.

If a claim has been made under the Warranty, and the Claimant/Customer:

- has failed to advise the Seller or Installer in writing of the failure of the Goods or Services within a reasonable time (that is, within 30 days of becoming aware of said failure) thereby impeding the Seller and/or Installer from properly and expeditiously investigating the failure, or
- undertakes any non-urgent or non-essential repairs to the Installation that may destroy evidence of causation or may impede subsequent investigation by the Seller or the Installer, or
- refuses to allow the Seller or the Installer reasonable and timely access to the site (that is, within 30 days of advising the Seller or the Installer of said failure) to investigate causation of the failure,

then the Warranty is void, and neither the Seller nor the Installer will be liable for any repairs under the Warranty.

LIMITATION OF LIABILITY

All terms, conditions or warranties that may be implied into these Terms and Conditions; statutory or otherwise, relating to the supply of the Goods and Service are excluded to the fullest extent permitted by law.

The Customer acknowledges that he/she is aware that the waterproof membrane (if such has been installed) is UV-sensitive and requires covering with paint, tiles or some other recommended material within eight weeks of installation to prevent degradation. The warranty is void if the membrane is not so covered within eight weeks of installation.

The membrane is NOT trafficable or weatherproof unless it is protected appropriately immediately after installation. Should damage be incurred as a result of the actions or omissions of any third party (such as, but not limited to, piercing of the membrane by other builders or tradesmen) or by destructive weather conditions (such as, but not limited to, piercing of the membrane by hail or wind-blown objects) the warranty is void.

The liability of the Seller or Installer for breach of any term, condition or warranty or under any remedy implied by law (which cannot be excluded) will be:

- limited (if permitted by law) at the option of the Seller to the repair or re-supply of the Service or the payment of the cost of having the Service re-supplied; and
- reduced to the extent that such liability is caused by negligent acts or omissions by the Customer, or a breach by the Customer of these Terms and Conditions.

The Seller and/or Installer do not have any liability to the Customer or to any other person for:

- the acts or omissions of any other entity, including any third party;
- faults or defects in the Goods or Services which are caused by the conduct of the Customer or any third party;
- any loss of revenue, profits or anticipated savings, loss of data, loss of bargain, other economic loss of any kind, damage to reputation or for any form of indirect or consequential loss, or special or penalty damages, whether in respect of negligence or other tort, breach of contract, equity or otherwise, arising out of or in connection with the provision of the service or these Terms and Conditions.

STANDARDS

All work undertaken by the Installer with respect to external applications (such as decks and planter boxes) must comply with Australian Standard AS4858 and AS4654.2-2012. All work undertaken by the Installer with respect to internal applications (such as bathrooms, laundries and soapboxes) must comply with Australian Standard AS4858-2004 and AS3740-2010 as amended 2012. All work must also comply with the National Construction Code (NCC) of Australia (incorporating the Building Code of Australia (BCA)). Tiling and adhesives - all tiling is the responsibility of the Customer, and should be undertaken in accordance with Australian Standard AS 3958.1 (with respect to tiling procedures) and AS 4992.2 (with respect to adhesives). Customers should consult Wet-seal's technical bulletins on adhesive compatibility with Wet-seal product (which can be found online at www.wet-seal.com.au). The Seller may advise on suitable adhesives, but is not responsible for the standard of tiling or the choice of adhesive.

The above (abridged) terms and conditions form part of the full Terms and Conditions that can be found on the Wet-seal website:
<http://www.wet-seal.ws>

Certificate of Installation

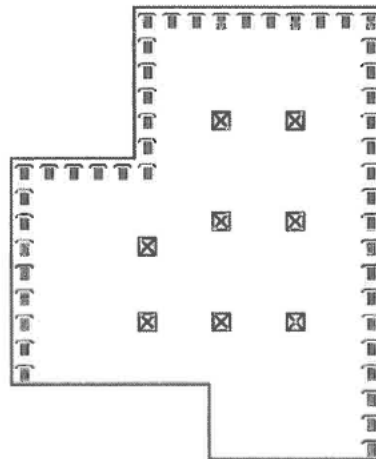
General Details		Structure Details	
Client Company Name:	Blackett Homes	Date of Report:	28/04/2017
Technician's Name:	Guy Falconer	Lot Number:	6/34
Was the Treatment Notice Sticker Installed or Updated:	No - No meter box installed	Street Number:	13
		Street Name:	Bellbird Loop
		Suburb:	Lawson
		State:	ACT
		Postcode:	2617

Installation Details						
Service Type	System Used	Service Carried Out	Length (m)	Width (mm)	Height (mm)	Qty
New Installation	Flickguard	Ant Capping - With Steel Rods	351m & 8 piers	300mm		

Notes and/or Limitations

Drawing Legend					
Perimeter Protection (Stage 1)	★	Wraps	○	Zero Lot	⊙
Perimeter Protection (Stage 2)	⊙	Group of Wraps	⊗	Pier Protection	⊠
Ant Capping Protection	⊣	Steel Post Protection	■	Pole Plate Protection	P
Cold Joint Protection	×	Reticulation Fill Point	⊠	Wall Sheeting Protection	w
Strapping	⊕	Vertical Joint Protection	V	Trimming	<
Door Sill Treatment	▲	Foam Feature	△	Underslab Protection	#
Reticulation Protection	⊕	Collar Protection	⊗	Patio Tile Extension	E
Novithor	N				

Direction Of Street Front:



Structure Details

Unit Number:		Street Name:	Bellbird Loop
Block Number:		Suburb:	Lawson
Lot Number:	6/34	State:	ACT
Street Number:	13	Postcode:	2617

Sub Floors	
Is there adequate grading of soil in the sub floors:	No
Is there adequate drainage in the subfloor to prevent ponding:	No
Is the subfloor ventilation adequate:	No
Minimum Crawl Space in subfloor (mm):	.

Structure Details

Unit Number:		Street Name:	Bellbird Loop
Block Number:		Suburb:	Lawson
Lot Number:	6/34	State:	ACT
Street Number:	13	Postcode:	2617

Photos Of Site



Inspection Certificate / Aspect Certificate / Licensee Aspect Certificate / Certificate of Compliance / Certificate of Installation

<p>NOTE</p>	<p>This form is to be used for the purposes of section 10(c) and 239 of the <i>Building Act 1975</i> and/or sections 32, 35B, 43, 44 and 47 of the <i>Building Regulation 2006</i>.</p>	
<p>1. Indicate the type of certificate</p> <p>The stages of assessable building work are listed in section 24 of the <i>Building Regulation 2006</i> or as conditioned by the building certifier.</p> <p>An aspect of building work is part of a stage (e.g. waterproofing).</p>	<p><input type="checkbox"/> Inspection Certificate for</p> <p><input type="checkbox"/> Stage of building work (for single detached class 1a or class 10 building or structure) (indicate the stage) _____</p> <p><input checked="" type="checkbox"/> Aspect of building work (indicate the aspect) <u>Termite management</u></p> <hr/> <p><input checked="" type="checkbox"/> Licensee Aspect Certificate / Certificate of Compliance</p> <p>Scope of the work Scope of the work covered by the licence class as per the <i>Australian Standards</i> for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".</p> <div style="border: 1px solid black; padding: 5px; margin-top: 10px;"> <p><i>Installing materials or systems for termite management; Ant Capping - With Steel Rods</i></p> </div>	
<p>2. Property description</p> <p>The description must identify all land the subject of the application.</p> <p>The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details .</p>	<p>Street address (Include no., street, suburb / locality & postcode)</p> <div style="border: 1px solid black; padding: 2px; margin-bottom: 5px;"> <p>Unit No: Block No: Lot No: <u>6/34</u> Street No: <u>13</u></p> <p>Street Name: <u>Bellbird Loop</u> Suburb: <u>Lawson</u> Postcode <u>2617</u></p> </div> <p>Lot & plan details (Attach list if necessary)</p> <div style="border: 1px solid black; height: 20px; margin-bottom: 5px;"></div> <p>In which local government area is the land situated?</p> <div style="border: 1px solid black; height: 20px; margin-bottom: 5px;"></div>	
<p>3. Building/structure description</p>	<p>Building/structure description</p> <div style="border: 1px solid black; padding: 5px; height: 80px;"> <p><i>House - Single Dwelling</i></p> </div>	<p>Class of building / structure</p> <div style="border: 1px solid black; padding: 5px; width: 100px; height: 80px;"> <p><i>1a</i></p> </div>

LOCAL GOVERNMENT USE ONLY			
DATE RECEIVED		REFERENCE NUMBER	

4. Description of component/s certified
Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

See attached 'Site Installation Report' at the end of this form.

Termite management:

Ant Capping - With Steel Rods

5. Basis of certification
Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

Flickguard

AS 3660.1-2014, National Construction Code 3.13

Codemark Certification: CM20008

Product manufacturer's installation manuals.

All management measures used are in accordance with AS 3660.1-2014.

6. Reference documentation
Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

As to approved plans and permit.

7. Building certifier reference number and development approval number

Building certifier reference number Development approval number

8. Building Certifier, competent person or licensee details

A competent person must be assessed as competent before carrying out the inspection.

The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Guy Falconer

Company name if applicable

Flick Canberra Precon

Contact person

Warren Bruce

Phone no. business hours

02 61094100

Mobile no. Fax no.

Email address

canberra.preconreports@flick-anticimex.com.au

Postal address

12 / 2 Yallourn Street,

ACT,

Postcode 2609

Licence class

Termite Mgt - Physical & Chemical

Licence number

QBCC 54798

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or licensee

Signature

[Signature]

Date

28/04/2017

TERMS AND CONDITIONS

PURPOSE OF TERMITE MANAGEMENT SYSTEMS

Disclaimer of Liability to Third Parties: - This certificate is made solely for the benefit of the owner/builder named on the face of this Certificate and no liability or responsibility whatsoever is accepted to any third party who may rely on the Certificate either wholly or in part. Any third party acting or relying on this certificate whether in whole or in part does so at their own risk.

LIMITATIONS

1. This Termite Management System is dependent upon the provision of a complete termite management system around the structure(s).
2. With Pre-Construction treatment it is the responsibility of the builder/owner to ensure that the site is properly prepared in accordance with AS2870 and AS3600.1 and relevant Standard or National Construction Code before the treatment is commenced.
3. The Installer and Manufacturer highly recommends that regular competent inspections take place minimum 12 monthly. Where the termite risk is high or the building type is susceptible to termite attack, more frequent competent inspection (3-6 months) must be undertaken, as recommended in AS 3660. Termites may build around barriers but they can be detected more readily during routine inspections.
4. Limited liability is accepted for any treatment failure in line with the Product Warranty Package.
5. This treatment only applies to the protection of the structure(s) as detailed on the face of this Certificate against attack by subterranean termites. It does not provide for protection against other pest(s). In particular it doesn't provide any protection against "drywood termites", FAMILY KALOTERMITDAE.
6. Responsibility for timber damage is limited as per the Product Warranty Package.
7. This Termite Management System can be rendered ineffective due to building alterations, renovations, additions (including pergolas, awning, verandas, etc.) introducing infested materials, off cuts and formwork left on site, material stored against the building, disturbing external gardens, pathways, etc. adjacent to the areas protected and through establishing lawns and or garden beds adjacent to the protected areas. (Such changes to the property are likely to breach the Termite Management System). Where such changes occur further treatment is essential. Precautions must be taken to ensure that the Termite Management System is not damaged in any way.
8. With a concrete slab on ground structure it is important that the edge of the slab remains exposed and is not covered by garden materials e.g. soil, pine, and bark or similar, unless a full Termite Management System is installed about the perimeter of the structure. Also air vents and or weep holes must never be blocked or covered.
9. Do not use untreated timbers for garden beds or retaining walls as they attract termites. Increased moisture or poor ventilation will also provide conditions for increased risk of termite attack.

VERY IMPORTANT:

This Certificate is in one part, a Certificate of Installation, Application and Completion. This completion of a Certificate of Installation does not in itself certify the structure treated overleaf has been protected in compliance with current version NCC Val 1-10 and 2-9. The Certificate of Installation, Application and Completion must be provided, in full, confirming that all elements for the Termite Management System program in accord with the National Construction Building Codes of Australia and or Australian Standards have been completed. A Termite Management system is not complete unless it has a full System inclusive of all slab penetrations and services.

If you become aware of any breaches to the Termite Management system or changes to the structure such as those detailed above you should immediately contact your Installer within 10 working days in writing or via electronic format.

It is your responsibility to ensure that the inspections set out as a condition of the warranty as per the recommendations of Australian Standard AS3660. 1 and completed in accordance with AS3660 are performed. Please contact your Installer for further details.

IMPORTANT INFORMATION:

The Australian Standard AS3660.1 Termite Management, New Building Works provides details for minimising the risk to buildings from termite attack, and methods for treatment to minimise termite infestations. The provision of a complete Termite Management System will impede and discourage termite entry into buildings. It cannot prevent termite attack. Termites can still bridge or breach barriers but they can be detected more readily during routine inspections. Regular Timber Pest Inspections in accordance with AS3660 should be undertaken in order to maintain the System Warranty and the integrity of your Termite Management System.

Certificate of Installation

General Details		Structure Details					
Client Company Name:	Blackett Property Group	Date of Report:	20/02/2017				
Technician's Name:	Brice O'Shea	Lot Number:	6/34				
Was the Treatment Notice Sticker Installed or Updated:	No	Street Number:	13				
		Street Name:	Bellbird Loop				
		Suburb:	Lawson				
		State:	ACT				
		Postcode:	2617				

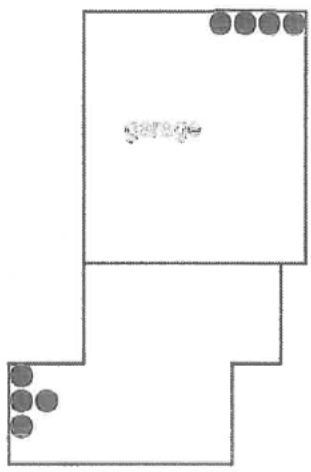
Installation Details						
Service Type	System Used	Service Carried Out	Length (m)	Width (mm)	Height (mm)	Qty
New Installation	Flickguard	Collars - Drainage				8

Notes and/or Limitations
Will have B/J section at the back

Structure Details			
Unit Number:		Street Name:	Bellbird Loop
Block Number:		Suburb:	Lawson
Lot Number:	6/34	State:	ACT
Street Number:	13	Postcode:	2617

Drawing Legend					
Perimeter Protection (Stage 1)	★	Wraps	○	Zero Lot	⊙
Perimeter Protection (Stage 2)	◊	Group of Wraps	⊗	Pier Protection	⊞
Ant Capping Protection	⋈	Steel Post Protection	▧	Pole Plate Protection	P
Cold Joint Protection	×	Reticulation Fill Point	⊞	Wall Sheeting Protection	W
Strapping	⊕	Vertical Joint Protection	V	Trimming	×
Door Sill Treatment	▲	Foam Feature	△	Underslab Protection	#
Reticulation Protection	⊕	Collar Protection	⊗	Patio Tile Extension	E
Novithor	N				

Direction Of Street Front:



Structure Details

Unit Number:		Street Name:	Bellbird Loop
Block Number:		Suburb:	Lawson
Lot Number:	6/34	State:	ACT
Street Number:	13	Postcode:	2617

Photos Of Site



Inspection Certificate / Aspect Certificate / Licensee Aspect Certificate / Certificate of Compliance / Certificate of Installation

<p>NOTE</p> <p>1. Indicate the type of certificate</p> <p>The stages of assessable building work are listed in section 24 of the <i>Building Regulation 2006</i> or as conditioned by the building certifier.</p> <p>An aspect of building work is part of a stage (e.g. waterproofing).</p>	<p>This form is to be used for the purposes of section 10(c) and 239 of the <i>Building Act 1975</i> and/or sections 32, 35B, 43, 44 and 47 of the <i>Building Regulation 2006</i>.</p> <p><input type="checkbox"/> Inspection Certificate for</p> <p><input type="checkbox"/> Stage of building work (for single detached class 1a or class 10 building or structure) (indicate the stage) _____</p> <p><input checked="" type="checkbox"/> Aspect of building work (indicate the aspect) <u>Termite management</u></p> <hr/> <p><input checked="" type="checkbox"/> Licensee Aspect Certificate / Certificate of Compliance</p> <p>Scope of the work Scope of the work covered by the licence class as per the <i>Australian Standards</i> for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".</p> <div style="border: 1px solid black; padding: 5px; margin-top: 10px;"> <p><i>Installing materials or systems for termite management:</i> <i>Collars - Drainage</i></p> </div>		
<p>2. Property description</p> <p>The description must identify all land the subject of the application.</p> <p>The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details .</p>	<p>Street address (Include no., street, suburb / locality & postcode)</p> <div style="border: 1px solid black; padding: 2px; margin-bottom: 5px;"> <p>Unit No: Block No: Lot No: <u>6/34</u> Street No: <u>13</u></p> <p>Street Name: <u>Bellbird Loop</u> Suburb: <u>Lawson</u> Postcode <u>2617</u></p> </div> <p>Lot & plan details (Attach list if necessary)</p> <div style="border: 1px solid black; height: 20px; margin-bottom: 5px;"></div> <p>In which local government area is the land situated?</p> <div style="border: 1px solid black; height: 20px; margin-bottom: 5px;"></div>		
<p>3. Building/structure description</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 70%; padding: 5px;"> Building/structure description <div style="border: 1px solid black; padding: 5px; margin-top: 5px;"> <p><i>House - Single Dwelling</i></p> </div> </td> <td style="width: 30%; padding: 5px;"> Class of building / structure <div style="border: 1px solid black; padding: 5px; margin-top: 5px;"> <p><i>1a</i></p> </div> </td> </tr> </table>	Building/structure description <div style="border: 1px solid black; padding: 5px; margin-top: 5px;"> <p><i>House - Single Dwelling</i></p> </div>	Class of building / structure <div style="border: 1px solid black; padding: 5px; margin-top: 5px;"> <p><i>1a</i></p> </div>
Building/structure description <div style="border: 1px solid black; padding: 5px; margin-top: 5px;"> <p><i>House - Single Dwelling</i></p> </div>	Class of building / structure <div style="border: 1px solid black; padding: 5px; margin-top: 5px;"> <p><i>1a</i></p> </div>		

LOCAL GOVERNMENT USE ONLY

DATE RECEIVED	REFERENCE NUMBER(S)	
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4. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

See attached 'Site Installation Report' at the end of this form.

Termite management:

Collars - Drainage

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

Flickguard

AS 3660.1-2014, National Construction Code 3.13

Codemark Certification: CM20008

Product manufacturer's installation manuals.

All management measures used are in accordance with AS 3660.1-2014.

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

As to approved plans and permit.

7. Building certifier reference number and development approval number

Building certifier reference number Development approval number

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8. Building Certifier, competent person or licensee details

A competent person must be assessed as competent before carrying out the inspection. The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Bruce O'Shea

Company name if applicable

Flick Canberra Precon

Contact person

Warren Bruce

Phone no. business hours

02 61094100

Mobile no. Fax no.

--	--

Email address

canberra.preconreports@flick-anticimex.com.au

Postal address

12 / 2 Yallourn Street,
ACT,

Postcode 2609

Licence class

Termite Mgt - Physical & Chemical

Licence number

QBCC 54798

Date approval to inspect received from building certifier

--

9. Signature of building certifier, competent person or licensee

Signature

--

Date

20/02/2017

--

TERMS AND CONDITIONS

PURPOSE OF TERMITE MANAGEMENT SYSTEMS

Disclaimer of Liability to Third Parties: - This certificate is made solely for the benefit of the owner/builder named on the face of this Certificate and no liability or responsibility whatsoever is accepted to any third party who may rely on the Certificate either wholly or in part. Any third party acting or relying on this certificate whether in whole or in part does so at their own risk.

LIMITATIONS

1. This Termite Management System is dependent upon the provision of a complete termite management system around the structure(s).
2. With Pre-Construction treatment it is the responsibility of the builder/owner to ensure that the site is properly prepared in accordance with AS2870 and AS3600.1 and relevant Standard or National Construction Code before the treatment is commenced.
3. The Installer and Manufacturer highly recommends that regular competent inspections take place minimum 12 monthly. Where the termite risk is high or the building type is susceptible to termite attack, more frequent competent inspection (3-6 months) must be undertaken, as recommended in AS 3660. Termites may build around barriers but they can be detected more readily during routine inspections.
4. Limited liability is accepted for any treatment failure in line with the Product Warranty Package.
5. This treatment only applies to the protection of the structure(s) as detailed on the face of this Certificate against attack by subterranean termites. It does not provide for protection against other pest(s). In particular it doesn't provide any protection against "drywood termites", FAMILY KALOTERMITDAE.
6. Responsibility for timber damage is limited as per the Product Warranty Package.
7. This Termite Management System can be rendered ineffective due to building alterations, renovations, additions (including pergolas, awning, verandas, etc.) introducing infested materials, off cuts and formwork left on site, material stored against the building, disturbing external gardens, pathways, etc. adjacent to the areas protected and through establishing lawns and or garden beds adjacent to the protected areas. (Such changes to the property are likely to breach the Termite Management System). Where such changes occur further treatment is essential. Precautions must be taken to ensure that the Termite Management System is not damaged in any way.
8. With a concrete slab on ground structure it is important that the edge of the slab remains exposed and is not covered by garden materials e.g. soil, pine, and bark or similar, unless a full Termite Management System is installed about the perimeter of the structure. Also air vents and or weep holes must never be blocked or covered.
9. Do not use untreated timbers for garden beds or retaining walls as they attract termites. Increased moisture or poor ventilation will also provide conditions for increased risk of termite attack.

VERY IMPORTANT:

This Certificate is in one part, a Certificate of Installation, Application and Completion. This completion of a Certificate of Installation does not in itself certify the structure treated overleaf has been protected in compliance with current version NCC Val 1-10 and 2-9. The Certificate of Installation, Application and Completion must be provided, in full, confirming that all elements for the Termite Management System program in accord with the National Construction Building Codes of Australia and or Australian Standards have been completed. A Termite Management system is not complete unless it has a full System inclusive of all slab penetrations and services.

If you become aware of any breaches to the Termite Management system or changes to the structure such as those detailed above you should immediately contact your Installer within 10 working days in writing or via electronic format.

It is your responsibility to ensure that the inspections set out as a condition of the warranty as per the recommendations of Australian Standard AS3660. 1 and completed in accordance with AS3660 are performed. Please contact your Installer for further details.

IMPORTANT INFORMATION:

The Australian Standard AS3660.1 Termite Management, New Building Works provides details for minimising the risk to buildings from termite attack, and methods for treatment to minimise termite infestations. The provision of a complete Termite Management System will impede and discourage termite entry into buildings. It cannot prevent termite attack. Termites can still bridge or breach barriers but they can be detected more readily during routine inspections. Regular Timber Pest Inspections in accordance with AS3660 should be undertaken in order to maintain the System Warranty and the integrity of your Termite Management System.

Certificate of Installation

General Details		Structure Details	
Client Company Name:	Blackett Homes	Date of Report:	22/02/2017
Technician's Name:	Guy Falconer	Lot Number:	6/34
Was the Treatment Notice Sticker Installed or Updated:	No - Not need now/job not finished	Street Number:	13
		Street Name:	Bellbird Loop
		Suburb:	Lawson
		State:	ACT
		Postcode:	2617

Installation Details						
Service Type	System Used	Service Carried Out	Length (m)	Width (mm)	Height (mm)	Qty
New Installation	Flickguard	Perimeter - Brick Veneer	48LM	300,250		

Notes and/or Limitations

Drawing Legend					
Perimeter Protection (Stage 1)	★	Wraps	○	Zero Lot	⊙
Perimeter Protection (Stage 2)	☆	Group of Wraps	⊙	Pier Protection	⊞
Ant Capping Protection	▯	Steel Post Protection	⊞	Pole Plate Protection	P
Cold Joint Protection	×	Reticulation Fill Point	⊞	Wall Sheeting Protection	W
Strapping	⊕	Vertical Joint Protection	V	Trimming	×
Door Sill Treatment	△	Foam Feature	△	Underslab Protection	#
Reticulation Protection	⊕	Collar Protection	⊙	Patio Tile Extension	E
Novithor	N				

Direction Of Street Front:



Structure Details			
Unit Number:		Street Name:	Bellbird Loop
Block Number:		Suburb:	Lawson
Lot Number:	6/34	State:	ACT
Street Number:	13	Postcode:	2617

Sub Floors	
Is there adequate grading of soil in the sub floors:	Yes
Is there adequate drainage in the subfloor to prevent ponding:	Yes
Is the subfloor ventilation adequate:	Yes
Minimum Crawl Space in subfloor (mm):	400

Structure Details

Unit Number:		Street Name:	Bellbird Loop
Block Number:		Suburb:	Lawson
Lot Number:	6/34	State:	ACT
Street Number:	13	Postcode:	2617

Photos Of Site



Inspection Certificate / Aspect Certificate / Licensee Aspect Certificate / Certificate of Compliance / Certificate of Installation

<p>NOTE</p>	<p>This form is to be used for the purposes of section 10(c) and 239 of the <i>Building Act 1975</i> and/or sections 32, 35B, 43, 44 and 47 of the <i>Building Regulation 2006</i>.</p>		
<p>1. Indicate the type of certificate</p> <p>The stages of assessable building work are listed in section 24 of the <i>Building Regulation 2006</i> or as conditioned by the building certifier.</p> <p>An aspect of building work is part of a stage (e.g. waterproofing).</p>	<p><input type="checkbox"/> Inspection Certificate for</p> <p><input type="checkbox"/> Stage of building work (for single detached class 1a or class 10 building or structure) (indicate the stage) _____</p> <p><input checked="" type="checkbox"/> Aspect of building work (indicate the aspect) <u>Termite management</u></p> <hr/> <p><input checked="" type="checkbox"/> Licensee Aspect Certificate / Certificate of Compliance</p> <p>Scope of the work Scope of the work covered by the licence class as per the <i>Australian Standards</i> for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".</p> <div style="border: 1px solid black; padding: 5px; margin-top: 10px;"> <p><i>Installing materials or systems for termite management: Perimeter - Brick Veneer</i></p> </div>		
<p>2. Property description</p> <p>The description must identify all land the subject of the application.</p> <p>The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details .</p>	<p>Street address (Include no., street, suburb / locality & postcode)</p> <div style="border: 1px solid black; padding: 2px; margin-bottom: 5px;"> <p>Unit No: Block No: Lot No: <u>6/34</u> Street No: <u>13</u></p> <p>Street Name: <u>Bellbird Loop</u> Suburb: <u>Lawson</u> Postcode <u>2617</u></p> </div> <p>Lot & plan details (Attach list if necessary)</p> <div style="border: 1px solid black; height: 20px; margin-bottom: 5px;"></div> <p>In which local government area is the land situated?</p> <div style="border: 1px solid black; height: 20px; margin-bottom: 5px;"></div>		
<p>3. Building/structure description</p>	<table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 70%; border: 1px solid black; padding: 5px; vertical-align: top;"> <p>Building/structure description</p> <p><i>House - Single Dwelling</i></p> </td> <td style="width: 30%; border: 1px solid black; padding: 5px; vertical-align: top;"> <p>Class of building / structure</p> <p><i>1a</i></p> </td> </tr> </table>	<p>Building/structure description</p> <p><i>House - Single Dwelling</i></p>	<p>Class of building / structure</p> <p><i>1a</i></p>
<p>Building/structure description</p> <p><i>House - Single Dwelling</i></p>	<p>Class of building / structure</p> <p><i>1a</i></p>		

LOCAL GOVERNMENT USE ONLY

DATE RECEIVED		REFERENCE NUMBER	
---------------	--	------------------	--

4. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

See attached 'Site Installation Report' at the end of this form.

Termite management:

Perimeter - Brick Veneer

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

Flickguard

AS 3660.1-2014, National Construction Code 3.13

Codemark Certification: CM20008

Product manufacturer's installation manuals.

All management measures used are in accordance with AS 3660.1-2014.

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

As to approved plans and permit.

7. Building certifier reference number and development approval number

Building certifier reference number Development approval number

8. Building Certifier, competent person or licensee details

A competent person must be assessed as competent before carrying out the inspection.

The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Guy Falconer

Company name if applicable

Flick Canberra Precon

Contact person

Warren Bruce

Phone no. business hours

02 61094100

Mobile no. Fax no.

Email address

canberra.preconreports@flick-anticimex.com.au

Postal address

12 / 2 Yallourn Street,

ACT,

Postcode 2609

Licence class

Termite Mgt - Physical & Chemical

Licence number

QBCC 54798

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or licensee

Signature

Date

22/02/2017

TERMS AND CONDITIONS

PURPOSE OF TERMITE MANAGEMENT SYSTEMS

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ICON
ELECTRICAL

31 July 2017

Attention: To whom it may concern

SUBJECT: 6/34 Lawson

Smoke Alarm Certification

Icon Electrical Pty Ltd certify that the smoke alarm to the above project has been installed in accordance with AS 3786 and Part 3.6 of the BCA Vol 2, including the interconnection of the smoke detectors

If you require any further information, feel free to contact me on mob. 0419 899 755.

Regards,

Icon Electrical Pty Limited



Adrian Di Cuollo

Director

Icon Electrical (ACT) Pty. Ltd.
ABN 38 156 650 707
PHONE: 0419 899 755
EMAIL: adrian@iconelectrical.com.au

1302/19 Marcus Clarke Street, City 2601



Glazing Certificate

Project Client: Blackett Property Group

Project Job Address: 6/34 Lawson

5th September 2017

To whom it may concern,

Pro Metalwork Pty Ltd certifies that the glass installed to above mentioned project to interior and exterior balustrading was done by a suitably qualified and competent person and complies with Australian Standards and Codes of Practice AS1288, 1428.1 and 1170.1

Name: Leith Tate

Company: Pro Metalwork

Address: Unit 3/18 Winchcombe Court, Mitchell ACT

Phone: 6262 2149

Signature.....

Date: 5th September 2017



3/18 Winchcombe Court

Mitchell, ACT 2911

Phone: 6262 2149

Email: reception@prometalwork.com.au

Website: www.prometalwork.com.au



Skyview Windows Pty. Ltd.
ABN 19 102 831 327
PO Box 6168
77 High Street
Queanbeyan NSW 2620
Phone: 62329977
Fax: 62990720

2 August 2017

Blackett Property Group Pty Limited
PO Box 5158
BRADDON ACT 2612

GLAZING CERTIFICATE

Re: 6 / 34 LAWSON

This letter confirms that the Bradnam's aluminium Windows and Doors supplied to the above project have been manufactured to comply with the Australian Window Standard AS2047 - 1999 and the Glass Standard AS1288 - 2006. Including human impact requirements and toughened glass as required to AS3959 : 2009 BAL requirement.

Yours Faithfully,

SKYVIEW WINDOWS PTY LTD

The Builder / Installer certifies that the windows and doors supplied have been installed correctly and the human impact glass located in the correct openings.

Builder / Installer:

Date: 3/08/17

Skyview - Quality - Fast



Notification and Compliance Statement

Building Act 2004

Unit 1, 25-35
Buckland Street
MITCHELL ACT 2911

PO Box 76
MITCHELL ACT 2911

Telephone 02 6253 9911
Fax 02 6253 9922

Site details:

Suburb: LAWSON Section: 34 Block: 6

Inspection Stages & Notifications (tick the appropriate boxes)

	Inspection booked on	Inspection carried out on
Footings	14/12/2017	14/12/2017
Piers / pads	1/120	1/120
Slab	20/12/2017	20/12/2017
Floor Framing	1/120	1/120
Pre-sheet	5/17/2017	5/17/2017
Final	19/9/2017	19/9/2017

Notification

I, the licensee, hereby notify that the inspection stages described above have been booked in for inspection as listed.

Compliance

I, the licensee, hereby certify that the work done for the stages was carried out in accordance with the approved plans.

This form may be provided via email (thai@cbscanberra.com.au) or a hardcopy completed at the CBS office or fax to 6253 9922

CERTIFIED BUILDING SOLUTIONS

INSPECTION REPORT

PO Box 76
Mitchell ACT 2911

TELEPHONE (02) 6253 9911
Fax (02) 6253 9922

Suburb LAWSON	Section 34	Block 6	Unit
Builder BLACKETT		Inspection Stage P/S (LOWER FLOOR)	

An inspection of the building work has been carried out:
As a result of that inspection I hereby certify that the building work complies with section 42 of the Building Act 2004.
As a result of that inspection I have formed the opinion that the building work is not in compliance with section 42 of the Building Act 2004. Please re-book this inspection stage when rectified.

The following matters require your attention:

(This section contains a large blue diagonal line drawn across the horizontal lines, indicating no further matters require attention.)

90X35 STUQS + PLATE, 90X45 MASON.

- Work may proceed to the next stage.
- Work completed and the registrar would be justified in issuing a Certificate of Occupancy under section.....

PHILIP JACON
Certified by

(Handwritten Signature)
Signature

517117

CERTIFIED BUILDING SOLUTIONS

INSPECTION REPORT

PO Box 76
Mitchell ACT 2911

TELEPHONE (02) 6253 9911
Fax (02) 6253 9922

Suburb LAWSON	Section 34	Block 6	Unit
Builder BLACETT		Inspection Stage PLS (UPPER FLOOR)	

An inspection of the building work has been carried out:

As a result of that inspection I hereby certify that the building work complies with section 42 of the Building Act 2004.

As a result of that inspection I have formed the opinion that the building work is not in compliance with section 42 of the Building Act 2004. Please re-book this inspection stage when rectified.

The following matters require your attention:

(This section contains a large diagonal line drawn across the lined area, indicating no further matters require attention.)

**GIRDERS POINT LOADED
ANTICORN TO ROOF
90X75 STUDS + PLATES, 90X75 NUBSON.**

- Work may proceed to the next stage.
- Work completed and the registrar would be justified in issuing a Certificate of Occupancy under section.....

PHILIP JACOM
Certified by

(Signature)
Signature

20/6/17

CERTIFIED BUILDING SOLUTIONS

INSPECTION REPORT

PO Box 76
Mitchell ACT 2911

TELEPHONE (02) 6253 9911
Fax (02) 6253 9922

Suburb <i>Lawson</i>	Section <i>34</i>	Block <i>6</i>	Unit
Builder <i>Blackett</i>	Inspection Stage <i>slab.</i>		

An inspection of the building work has been carried out:

As a result of that inspection I hereby certify that the building work complies with section 42 of the Building Act 2004.

As a result of that inspection I have formed the opinion that the building work is not in compliance with section 42 of the Building Act 2004. Please re-book this inspection stage when rectified.

lower level

The following matters require your attention:

submit survey -

Work may proceed to the next stage.

Work completed and the registrar would be justified in issuing a Certificate of Occupancy under section.....

Shewood
.....
Certified by

[Signature]
.....
Signature

20/2/17



Building Act 2004, S151

Application for Certificate of Occupancy and Use

Project ID: B20165337C1

If this application is incomplete or documentation is inadequate this application may not be accepted for lodgement and the certificate of occupancy and use may not be issued.

WARNING TO OWNERS

It is recommended that owners seek appropriate advice to determine whether the building work and other contract requirements have been completed satisfactorily before signing this form. This form should not be signed before the completion of building work.

PROJECT DETAILS

Unit	Block	Section	Division (Suburb)	District	Jurisdiction
	6	34	LAWSON	BELCONNEN	Australian Capital Territory

Description of Works

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Const.	Unit	BCN ID	Builder
1a(l)	New	DA EXEMPT-RESIDENCE		NA		B20165337N1	BLACKETT PROPERTY GROUP PTY LTD
10a	New	DA EXEMPT-GARAGE	Garage, Alfresco, Porch, Balcony & Deck	NA		B20165337N1	BLACKETT PROPERTY GROUP PTY LTD

OWNER/LESSEE DETAILS

Name	Address	Email Address
Sch 2 s2(a)(ii)		

DECLARATION BY OWNER

I am/we are:

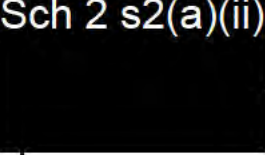
- the owner(s) of the above described land
- the agent authorised by the owner(s) to apply for a Certificate of Occupancy and Use on their behalf, and I have attached a letter of authority

I am/we are satisfied that the building work and related requirements have been completed and hereby apply for a Certificate of Occupancy and Use in respect of the above described work to be issued and (select one option only):

- sent by post to the owner(s) address
- sent by post to the agent's address; or
- held for collection from the Mitchell Customer Service Centre

This form should not be signed before the completion of building work.

Signature/s of Owners – all owners must sign if agent has not been appointed

Name	Signature	Date
Sch 2 s2(a)(ii) 		

Once complete, you should return this form to your certifier to lodge or return to the Access Canberra Building Services Shopfront, 8 Darling Street, Mitchell ACT 2911.

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.



Certificate of Occupancy and Use

Certificate No.: **B20165337C1**

Access Canberra Building Services

ABN 16 479 763 216
8 Darling Street Mitchell
GPO Box 158 ACT 2601
www.act.gov.au/accesscbr

This Certificate is issued in accordance with Section 69 (2) of the Building Act 2004.

The building work listed on this certificate has been completed substantially in accordance with the prescribed requirements and is considered fit for occupation and use.

Unit	Block	Section	Division (Suburb)	District	Jurisdiction
	6	34	LAWSON	BELCONNEN	Australian Capital Territory

Plans
B20165337/A
B20165337/B

Building Works

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Const.	Unit	BCN ID	Builder
1a(l)	New	DA EXEMPT-RESIDENCE		NA		B20165337N1	BLACKETT PROPERTY GROUP PTY LTD
10a	New	DA EXEMPT-GARAGE	Garage, Alfresco, Porch, Balcony & Deck	NA		B20165337N1	BLACKETT PROPERTY GROUP PTY LTD

Comments

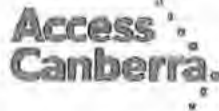
Important Note:

1. Statutory warranties and statutory warranty insurance or a statutory warranty fidelity certificate apply in relation to some or all of the building work.
2. The issue of this certificate in respect of a building or a portion of a building does not affect the liability of a person or other entity to comply with the provisions of an ACT law, including the Building Act 2004, relating to the building or portion of the building.

Issued by: Jim Bobolas

Issued on: 20/09/2017

Delegate of the ACT Construction
Occupations Registrar.



APPOINTMENT OF A CERTIFIER APPLICATION FOR BUILDING APPROVAL

Building Act 2004, s151

This form is to be completed by the Owner/s of the land to which the building work relates.

PART A PROJECT DETAILS							
Block	6	Section	34	Suburb	LAWSON	Unit No.	
Street Address		13 BELLBIRD LOOP					

Description of Building Works relevant to this application-If more than 4 items please attach further details

Describe each item of building work in this building approval	BCA Occupancy Class	BCA Construction Type	Area (m ²)	Number of Storeys	Cost of Works (refer to building cost)
¹ NEW RESIDENCE	1a(i)	N/A	235	2	Sch 2 s2(a)(ii)
² GARAGE, ALFRESCO, PORCH, BALCONY & DECK.	10a	N/A	88	2	

Applicable approved requirements and reasons why building approval is not prevented from being issued

Is all work exempt from development approval?

YES Attach assessment for exempt development checklist (if applicable)

NO Provide reason/s or description of work: _____

Description of Attachments compliant with Division 3.3 Building Act 2004

Please attach any additional documentation not listed below

- Building Approval Plans
- Referrals, consultations & consents outcomes
- Asbestos Advice - If documents accompanying building approval do not include an asbestos assessment report as per the Building Act 2004, the building approval must have an AA attached as per the Act

PART B OWNER'S DETAILS - Please Print

All owners must be listed

Owner 1 will be considered the contact person in relation to this application.

Company Details

ACN/ABN Number

Owner 1 Sch 2 s2(a)(ii) Owner 2 Sch 2 s2(a)(ii)

Owner 3 _____ Owner 4 _____

PART B continued

OWNER/S DETAILS -- Please Print

Postal Address

Suburb

Phone Number Business Hours

EMAIL ADDRESS

Sch 2 s2(a)(ii)

Sch 2 s2(a)(ii)

PART C

APPOINTMENT OF CERTIFIER

As required under the Building ACT 2004 I/we hereby advise that I/we the owner/s have appointed the person whose details appear below as the certifier in relation to the building works described in this form

Company Details

Name of Certifier

Postal Address

Suburb

State

Postcode

Phone Number Business Hours

Mobile

EMAIL ADDRESS

Certified Building Solutions Pty Ltd

Certified Building Solutions P/L

ABN/
ACN

27 110 342 482

PO Box 76

Mitchell

ACT

2911

02 6253 9911

thai@cbscanberra.com.au

PART D

APPLICATION FOR BUILDING APPROVAL

I/we the Owner/s of the abovementioned property hereby apply under Section 26 of the Building Act 2004 to the certifier named above to issue a building approval for the building work described in this form. I/we have provided the certifier with information and documentation required to Issue a building approval as specified in the Building (General) Regulation 2008.

PART E

AUTHORITY TO ACCESS BUILDING FILE

I/we hereby authorise the certifier to access the building file for the property which is the subject of this application for the purposes of obtaining information relevant to the issuing of a building approval and associated processes.

PART F

OWNER/S SIGNATURE/S

1st Owner's Signature

2nd Owner's Signature

3rd Owner's Signature

4th Owner's Signature

Sch 2 s2(a)(ii)

Date

22 Sept 2016

Date

22/9/2016

Date

Date

NOTE: There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

Approved form AF2016-80 approved by David Middlemiss, Construction Occupations Deputy Registrar on 02 August 2016 under section 151 of the Building Act 2004 and revokes AF2014-68

Sch 2 s2(a)(ii)



ABN 27 110 342 482
Unit 1, 25-35
Buckland Street
MITCHELL ACT 2911
PO Box 76
MITCHELL ACT 2911
Telephone 02 6253 9911
Fax 02 6253 9922

BUILDING APPROVAL CERTIFICATE

Location: Block 6 Section 34 Lawson

Description of Building Work: Residence & Garage + Alfresco, Porch, Balcony & Deck

BCA Occupancy Class: 1a(i) & 10a

BCA Construction Type: N/A

Rise in Storeys: 2

Building Approval.

Your application for building approval satisfies the Building Act 2004. Building approval is issued under s.28 of the Building Act 2004.

All work must comply with the:

1. Building Act 2004; and
2. National Construction Code 2016 Volume 2.

This approval expires three years from the date of this approval or at the expiry of the development approval, whichever occurs first.

Commencement

Building work may begin on the issue of the Building Commencement Notice.

Sincerely,

Craig Sharwood
Principal Building Surveyor
Certified Building Solutions Pty Ltd
COLA Lic No. 200426203

29/11/16

Reference No. 27141



Building Act 2004, S151

Appointment of a Certifier and Application for Building Approval

Project ID: B20165337

This form is to be completed by the Owner/s of the land to which the building work relates

PART A - PROJECT DETAILS

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
	6	34	BELCONNEN	LAWSON	Australian Capital Territory

PART B - OWNER DETAILS

Name	Address	Email Address
Sch 2 s2(a)(ii)		

PART C - APPOINTMENT OF CERTIFIER

As required under the Building ACT 2004 I/we herby advise that I/we the owner/s have appointed the person whose details appear below as the certifier in relation to the building works described in this form

Full Name	Address	License Number	Expiry Date
CERTIFIED BUILDING SOLUTIONS PTY LTD	PO Box 76 MITCHELL ACT 2911	200426203	1/09/2017

PART D - APPLICATION FOR BUILDING APPROVAL

I/we the owners of the abovementioned property hereby apply to the certifier named above to issue a building approval under Section 26 of the Building Act 2004 for the building works detailed in the following table

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
1a(l)	New	DA EXEMPT-RESIDENCE		NA	2	235.00	Sch 2 s2(a)(ii)
10a	New	DA EXEMPT-GARAGE	Garage, Alfresco, Porch, Balcony & Deck	NA	2	88.00	

I/we have provided the certifier with the information and documentation required to issue a building approval as specified in the Building (General) Regulation 2008.

PART E - AUTHORITY TO ACCESS BUILDING FILE

I/we hereby authorise the certifier to access the building file held by Access Canberra for the property which is the subject of this application for the purposes of obtaining information relevant to the issuing of a building approval and associated processes.

PART F - OWNER/S SIGNATURE/S

Name	Signature	Date
Sch 2 s2(a)(ii)		

APPLICATION FOR BUILDING APPROVAL REQUIREMENTS

Building (General) Regulations 2008

Where relevant the following information **MUST** be included in either the application or the plans accompanying the application for building approval:

General Requirements

- Estimated Cost of Works -as per Building (General) (Cost of Building Work) Determination 2011
- if the proposed building work to be carried out at or near a street or place that is open to or used by the public the application must contain details of the precautions proposed to be taken to protect the safety of people using the street or place while the building work is carried out
- the area of the parcel of land to which this application relates
- the class of the building according to the intended use of the building as proposed to be erected or altered;
- if applicable what fire-resisting construction type (under the building code) the building as proposed to be erected or altered will be.

Note: Fire-resisting construction type may not be applicable if an alternative solution under the building code is used.

- for an application relating to the erection of a class 1 building the site classification of the parcel of land
- for an application relating to the alteration of a class 1 building if the alteration will increase the building load carried by foundation material beyond the building load carried by the foundation before the alteration.

- the site classification of the parcel of land

- for an application relating to the alteration of a building the class and type of fire-resisting construction of the existing building classified under the building code and the materials used in the existing building

Note Fire-resisting construction type may not be applicable if an alternative solution under the building code is used.

- the number of storeys of the building as proposed to be erected or altered;
- the number of new dwellings (if any) created by the proposed building work;
- the floor area of the proposed building or proposed new part of the building;
- the materials to be used in the frame, floor, walls and roof of the proposed building or proposed new part of the building
- if a performance requirement of the building code is to be complied with by use of an alternative solution under the code -

(i) the performance requirement; and

(ii) the alternative solution; and

(iii) each assessment method used to show that the alternative solution complies with the performance requirement;

- if the building code does not state a standard of work in relation to any part of the proposed building work and it is intended to carry out that part of the proposed building work in accordance with a standard of work stated in another document -

(i) the nature of the proposed building work; and

(ii) the title of the document; and

(iii) each assessment method used to show that the proposed building work complies with the standard of work stated in the document.

Removal or demolition of building/s

- Details of the methods to be used in carrying out the proposed building work, including a work plan stated or set out in AS 2601 (Demolition of structures), as in force from time to time;
- the number of dwellings (if any) to be demolished.

Asbestos

- The application must include a description of the method proposed to be used to remove the bonded asbestos sheeting from the building.

- the application must include the following information:

(i) the method proposed to be used to remove the asbestos;

(ii) the approximate amount and kind of asbestos to be removed;

(iii) the equipment proposed to be used to remove the asbestos, including any personal protective equipment;

(iv) details of a program, prepared in accordance with the asbestos removal code, for monitoring airborne asbestos to be followed during the removal.

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.



Energy Efficiency Rating Certificate for a single dwelling*

*Civil Law (Sale of Residential Property) Act 2003 pt3 and
Civil Law (Sale of Residential Property) Energy Efficiency Rating
Guidelines Determination 2009 (No 2)*



Energy Efficiency Rating determined using a thermal calculation method in accordance with Building Code of Australia
Housing Provisions Verification V2.6.2.1

*Classification of single dwellings in accordance with Building Code of Australia Part 1.3

Property Information

Unit Block 6 Section 34
 Street Address LAWSON
 Property Owner Blackett Property Group
 Owner's Address PO Box 411 DICKSON ACT 2602

Energy Rating Assessor

Name Peter Byatt Company
 Address 5 Delany Court MELBA 2615
 Telephone Sch 2 s2(a)(i) Email pbyatt@bigpond.net.au

House Energy Rating software Bers Pro Version 4.3

Star Rating	Floor Area (m ²)		Loads (area adjusted MJ/m ² /annum)		
	Conditioned	Unconditioned	Heat	Cool	Total
6.4	194.9	68	127.2	23.1	150.3

Rating Elements

- NOTES - 1) All features and specifications must be described where included in the rating eg bulk insulation, plasterboard lined partition walls. Features not included in the premises and/or rating should be marked N/A.
 2) Documents from which details of elements have been sourced, eg development approval, specifications, plan, their numbers and dates are to be included below. Where a detail is assumed this must be indicated.

					Reference Doc., No. and date
Roof					
Construction Type	Insulation R Value	Colour - solar absorptance			
Colorbond	RI.0 Blanket	.5			
Ceilings					
Construction Type	Insulation R Value	Insulation description			
Plasterboard	R5.0	Bulk			
Floors					
Construction Type	Insulation R Value	Insulation description			
Waffle Pod/Timber	225mm/R2.5	Styrene/Bulk			
Internal Walls					
Construction Type	Insulation R Value	Insulation description			
Plasterboard					
External Walls					
Construction Type	Insulation R Value	Colour - solar absorptance			
Brick Veneer/Exulite/	R2.5	.5			
Windows					
Glass identification, colour, thickness (mm)*	Frame Material*	Total U value ⁺	SHGC ⁺	Area (m ²)	Total U-value and SHGC assessed for the combined effect of glass and frames as measured by the relevant Australian Fenestration Rating Council (AFRC) protocol.
Double/Single 4mm	Alum	See Cert	See Cert	48.8	

Carpets Internal Window Coverings and Pelmetts (features included in the rating must have a degree of permanency)
 Assumed equivalent to Holland blinds

External Shading (eg pergolas, verandas, louvres, awnings etc)

Other features assisting in minimising energy usage for heating and cooling, air leakage and infiltration

Orientation (from nominal north)	355 Degrees
Terrain category	
Ventilated skylights	
Seals to windows and doors	Yes
Exhaust fans without dampers	
Vented downlights	

*glass colour, thickness and frame material are not separate factors in the thermal calculation and are listed for additional information.

Signature of Energy Rating Assessor
Date

7/11/2016

House Energy Rating — NON-ACCREDITED*

Rating document number: 0000832808-01

Certificate Date: 07 Nov 2016

Star rating: 6.4

BERS Pro v4.3.0.0 (3.13) cannot be used to model 'roof windows'. Roof windows are 'openable or fixed windows in a roof' and do not have a shaft, as distinct from skylights which incorporate a built-in shaft and are not ventilated. BERS Pro v4.3 can only model skylights. If a roof window is present on the floor plan then this certificate is not valid.

Completed by

Name: Peter Byatt
Organisation: -
Email: pbyatt@bigpond.net.au
Phone: Sch 2 s2(a)(ii)
Declaration of interest: None
Software used: BERS Pro v4.3.0.1 (3.13)

Overview

Dwelling details

Street: 13 Bellbird Loop
Suburb: LAWSON
State: ACT
Type: New Dwelling
Lot/DP number: 6/34
Postcode: 2617
NCC Class: 1A
NATHERS climate zone: 24
Exposure: Suburban

Key construction and insulation materials

(see following pages for details)

Construction: Brick Veneer
Corrugated Iron
Suspended Timber Floor
Insulation: R2.5 wall insulation
R5.0 ceiling insulation
R2.5 floor insulation
Glazing: BRD-002-01 A Aluminium Sliding Window

Ceiling penetrations

(see following pages for details)

Sealed: 0
Unsealed: 0
TOTAL:** 0

**NOTE: This total is the maximum number of ceiling penetrations allowed to a ceiling (under a roof) for this certificate. If this number is exceeded in construction then this certificate IS NOT VALID and a new certificate is required. Loss of ceiling insulation for the penetrations listed has been taken into account with the rating.

Principle downlight type: Unknown

Net floor area (m²)

Conditioned: 191
Unconditioned: 66
Garage: 42
TOTAL: 257

Annual thermal performance loads (MJ/m²)

Heating: 127
Cooling: 23
TOTAL: 150

Window selection – default windows only

Note on allowable window values: Only a 5% tolerance to the nominated SHGC window values shown on page 2 can be used with this rating.

Note: Only a +/- 5% SHGC tolerance is allowed with this rating

NB: This tolerance ONLY applies to SHGC, the U-value can always be lower but not higher than the values stated on page 2.

If any of windows selected are outside the 5% tolerance then this certificate is no longer valid and the dwelling will need to be rerated to confirm compliance.

Scan to access this rating document online and confirm this is valid.



Plan documents

Plan ref/date: Sch 2 s2(a)(ii)
Prepared by: Solarcert

House Energy Rating - NON-ACCREDITED*

Rating document number: 0000832808-01 Certificate Date: 07 Nov 2016 Star rating: 6.4

Building features

Window type and performance value

Window ID	Window type	U-value	SHGC
BRD-002-01 A	BRD-002-01 A Aluminium Sliding Window DG 4-6-4	4.42	0.59
BRD-035-08 A	BRD-035-08 A SIG Sliding Door (100mm) DG 4/6Ar/4	3.84	0.65
ALS-030-01 A	ALS-030-01 A 92mm Carinya Classic Awning Window SG 4Clr	6.58	0.63
BRD-041-01 A	BRD-041-01 A SIG Fixed Lite Externally Glazed (125mm) SG 4Clr	6.15	0.74
BRD-049-05 A	BRD-049-05 A ESS Awning Window (100mm) DG 4-6Ar-4	4.73	0.52
BRD-001-01 A	BRD-001-01 A ESS Sliding Window (52mm) SG 3Clr	6.43	0.76

Window schedule

Location	Window ID	Window no.	Height (mm)	Width (mm)	Orientation	Outdoor shade
Sch 2 s2(a)(ii)	BRD-002-01 A	n/a	600	3000	N	No Shading
	BRD-035-08 A	n/a	2100	3000	W	No Shading
	ALS-030-01 A	n/a	600	800	N	No Shading
	BRD-002-01 A	n/a	600	3000	N	No Shading
	BRD-002-01 A	n/a	2100	3000	N	No Shading
	BRD-035-08 A	n/a	2100	3600	N	No Shading
	BRD-002-01 A	n/a	1200	1800	E	No Shading
	BRD-041-01 A	n/a	1400	1400	W	No Shading
	BRD-035-08 A	n/a	2100	3000	W	No Shading
	BRD-002-01 A	n/a	1800	900	S	No Shading
	BRD-049-05 A	n/a	1800	900	W	No Shading
	BRD-049-05 A	n/a	1800	900	W	No Shading
	BRD-049-05 A	n/a	1800	900	W	No Shading
	ALS-030-01 A	n/a	1800	600	S	No Shading
	BRD-002-01 A	n/a	1200	1500	S	No Shading
	BRD-002-01 A	n/a	1200	1500	S	No Shading
	BRD-001-01 A	n/a	1200	1400	S	No Shading
BRD-001-01 A	n/a	1000	600	S	No Shading	
BRD-001-01 A	n/a	900	600	S	No Shading	

Roof window and skylight type and performance value

ID	Window type	U-value	SHGC
None Present			

Roof window and skylight schedule

Location	ID	Roof window/skylight no.	Area (m ²)	Orientation	Outdoor shade	Indoor shade/diffuser
None Present						

External wall type

ID	Wall type	Insulation	Wall wrap or foil
EW-1	Single Skin Brick	No insulation	No
EW-2	Cavity Brick	No insulation	No
EW-3	Brick Veneer	Reflective foil with bulk no gap R2.5	Yes
EW-4	EPS Cavity Panel on Battens	Foil, Anti-glare one side + Bulk Insulation	Yes

* This rating has been completed by a non-accredited rater. For more details see the Australian Government Nationwide House Energy Rating Scheme (NatHERS) website www.nathers.gov.au.

House Energy Rating - NON-ACCREDITED*

Rating document number: 0000832808-01 Certificate Date: 07 Nov 2016 Star rating: 6.4

Building features continued

R2.5

External wall schedule

Location	ID	Width (mm)	Height (mm)	Orientation	Fixed Shade	Eaves (mm)
Sch 2 s2(a)(ii)	EW-1	1350	2400	N	No	6300
	EW-1	6195	2400	E	No	250
	EW-1	6800	2400	S	No	250
	EW-2	6200	2400	W	No	1200
	EW-3	1300	2400	N	No	4200
	EW-3	2090	2400	E	No	250
	EW-3	2095	2400	W	No	4200
	EW-3	4895	2400	N	No	300
	EW-3	745	2400	S	No	250
	EW-3	745	2400	E	No	250
	EW-3	3895	2400	W	No	2200
	EW-3	1645	2400	N	No	300
	EW-3	3150	2400	E	No	250
	EW-3	1645	2400	S	No	250
	EW-3	13250	2550	N	No	700
	EW-3	1950	2550	E	No	3800
	EW-3	3100	2550	N	No	2650
	EW-3	4145	2550	E	No	700
	EW-3	2095	2550	W	No	3050
	EW-3	1300	2550	N	No	4700
	EW-3	4000	2550	W	No	2700
	EW-4	2350	2700	N	No	6800
	EW-4	6345	2700	S	No	750
	EW-4	4600	2700	W	No	700
	EW-4	1940	2700	S	No	750
	EW-3	3040	2550	S	No	750
	EW-3	3790	2550	S	No	750
	EW-3	1690	2550	E	No	700
	EW-3	1940	2550	S	No	750
	EW-3	2895	2550	E	No	700
EW-3	1845	2550	S	No	750	
EW-3	1040	2550	S	No	750	

Internal wall type

Wall type	Area (m ²)	Insulation	Wall wrap or foil
IW-1 - Cavity wall, plasterboard on battens one side	13	Bulk Insulation, No Air Gap R2	No
IW-2 - Cavity wall, plasterboard on battens one side	18	No insulation	No
IW-3 - Cavity wall, direct fix plasterboard, single gap	140	No insulation	No

* This rating has been completed by a non-accredited rater. For more details see the Australian Government Nationwide House Energy Rating Scheme (NatHERS) website www.nathers.gov.au.

House Energy Rating - NON-ACCREDITED*

Rating document number: 0000832808-01 Certificate Date: 07 Nov 2016 Star rating: 6.4

Building features continued

Floors

Location	Construction	Area (m ²)	Sub floor ventilation	Added insulation	Covering
Sch 2 s2(a)(ii)	Waffle pod slab 225 mm	41.9	None	Waffle Pod 225mm	Bare
	Waffle pod slab 225 mm	10.9	None	Waffle Pod 225mm	Carpet 10mm
	Waffle pod slab 225 mm	18.2	None	Waffle Pod 225mm	Carpet 10mm
	Waffle pod slab 225 mm	5.0	None	Waffle Pod 225mm	Ceramic Tiles 8mm
	Timber Above Plasterboard	11.2		No Insulation	Carpet 10mm
	Timber Above Plasterboard	18.2		No Insulation	Carpet 10mm
	Timber Above Plasterboard	5.2		No Insulation	Carpet 10mm
	Suspended Timber Floor	63.1	Open	Bulk Insulation in Contact with Floor R2.5	Ceramic Tiles 8mm
	Timber Above Plasterboard	26.0		Bulk Insulation R2.5	Carpet 10mm
	Suspended Timber Floor	4.9	Open	Bulk Insulation in Contact with Floor R2.5	Carpet 10mm
	Timber Above Plasterboard	4.5		Bulk Insulation R2.5	Carpet 10mm
	Suspended Timber Floor	1.8	Open	Bulk Insulation in Contact with Floor R2.5	Ceramic Tiles 8mm
	Suspended Timber Floor	10.1	Open	Bulk Insulation in Contact with Floor R2.5	Carpet 10mm
	Suspended Timber Floor	12.6	Open	Bulk Insulation in Contact with Floor R2.5	Carpet 10mm
	Suspended Timber Floor	12.9	Open	Bulk Insulation in Contact with Floor R2.5	Carpet 10mm
	Suspended Timber Floor	6.3	Open	Bulk Insulation in Contact with Floor R2.5	Ceramic Tiles 8mm
	Suspended Timber Floor	5.2	Open	Bulk Insulation in Contact with Floor R2.5	Ceramic Tiles 8mm
	Suspended Timber Floor	1.6	Open	Bulk Insulation in Contact with Floor R2.5	Ceramic Tiles 8mm

Ceiling type

Location	Construction	Added insulation	Roof space above
Sch 2 s2(a)(ii)	Plasterboard	No insulation	Yes
	Timber Above Plasterboard	Bulk Insulation R2.5	No

House Energy Rating - NON-ACCREDITED*

Rating document number: 0000832808-01 Certificate Date: 07 Nov 2016 Star rating: 6.4

Building features continued

Sch 2 s2(a)(ii)			
	Timber Above Plasterboard	No Insulation	No
	Timber Above Plasterboard	No Insulation	No
	Timber Above Plasterboard	No Insulation	No
	Plasterboard	Bulk Insulation R5	Yes
	Plasterboard	Bulk Insulation R5	Yes
	Plasterboard	Bulk Insulation R5	Yes
	Plasterboard	Bulk Insulation R5	Yes
	Plasterboard	Bulk Insulation R5	Yes
	Plasterboard	Bulk Insulation R5	Yes
	Plasterboard	Bulk Insulation R5	Yes
	Plasterboard	Bulk Insulation R5	Yes
	Plasterboard	Bulk Insulation R5	Yes

Ceiling penetrations

Location	Number	Type	Diameter (mm)	Sealed/unsealed
None Present				

Ceiling fans

Location	Number	Diameter (mm)
None Present		

Roof type

Construction	Added insulation	Roof colour
Corrugated Iron	Bulk, Reflective Side Down, Anti-glare Up R1	Medium
Corrugated Iron	Bulk, Reflective Side Down, Anti-glare Up R1	Medium

House Energy Rating — NON-ACCREDITED*

Rating document number: 0000832808-01

Date of rating: 07 Nov 2016

Star rating: 6.4

Additional information

Explanatory notes

About this report

Residential energy ratings address the quality of the building fabric i.e. walls, windows, floors and roof/ceilings. Ratings do not cover the energy or water efficiency of appliances including heating and cooling, hot water, dishwashers, ovens, fridges, TVs etc. or solar panel or water tank requirements. The efficiency or specification of these items is generally covered by other regulations, standards or guidelines.

General Information

A House Energy Rating is a comprehensive, dynamic computer modelling evaluation of the floorplans, elevations and specifications to predict an energy load of a home. Not all of us use our homes in the same way, so ratings are generated using standard assumptions. This means homes can be compared across the country.

The actual energy consumption of your home may vary significantly from the predicted energy load figures in this report depending on issues such as the size of your household and your personal preferences, e.g. in terms of heating or cooling.

While the figures are an indicative guide to energy use, they are a reliable guide for comparative purposes between different house designs and for demonstrating that the design meets the required regulatory compliance.

Homes that are energy efficient use less energy, are warmer in winter, cooler in summer, and cost less to run. The higher the star rating the more energy efficient.

This House Energy Rating report was prepared using an underlying engine developed by the Australian Commonwealth Scientific and Industrial Research Organisation (CSIRO).

All information relating to energy loads presented in this report is based on a range of standard assumptions in order to allow for comparisons with reports prepared for other homes and to demonstrate minimum regulatory compliance. The standard assumptions include figures for occupancy, indoor air temperature and are based on a unique climate file for your region.

Raters/Assessors

Non-accredited assessors may not have completed a recognised software training course, do not undertake quality assurance processes, do not have any on-going training requirements and are not supported or recognised under the NatHERS scheme.

If you have any questions or concerns about this report, please direct them to your rater in the first instance.


If your rater is unable to address your questions or concerns, please contact your state or territory building code authority.

Disclaimer

The energy values quoted are for comparison purposes only; they are not a prediction of actual energy use. This rating only applies to the floor plan, construction details, orientation and climate as submitted and included in the attached drawing set that bears a stamp with the same number as this document. Changes to any of these details could affect the rating.

For more information on energy efficient design and insulation visit www.yourhome.gov.au

Quotation / Order

Quote Number: 27,030		Job Number:	
Date: 3/11/2016			
BLACKETT PROPERTY GROUP PTY PO BOX 5158 BRADDON ACT 2612 Phone: 62416311 Fax: 62417855		 Quality Windows Fast ABN:19 102 831 327 77 High Street (PO Box 6168) Ph. 62329977 Queanbeyan NSW 2620 Fax. 62990720 email: skyview10@bigpond.com	
Finish: STD POWDER COAT	Type of Glass: CLEAR FLOAT	Screens: Insect	Aluminium
Reveals: 140mm PRE PRIMED REV	Wind Load: P600/W150	Sales Rep: PETER (R5)	
Lock Type: Key Lock	Flashing: POLY COURSE	Double Glazing:	
Storm Moulds:	Terms of Trade		
Job Address: 6 / 34 LAWSON - 7-11-16 double glazed exc wet areas		Delivery Date :- / /	Account Number BLA1
This quotation remains valid for 30 Days from this date:- 3/11/2016		Client Order Number	

Item	Qty	Description	Product Details	Room Location
1	0	LOWER GROUND FLOOR		
2	1	E2116-1LLH920 RM=ENT, TIMBER ENTRY UNIT 2107 X 1600 TO TAKE 2040 X 920 DOOR BY BUILDER		
3	1	2109-3050 FSS SD166 SIG Sliding Door Frame: 166mm * Glass=CLEAR TOUGHENED * * Double Glazed=Std Double Glaze * * Screen Frame Width=19mm *		Sch 2 s2(a)(ii)
4	1	0600-3010 XOX MK6 Window ESS Sliding Window Frame: 52mm * Double Glazed=Std Double Glaze *		
5	0	GROUND FLOOR		
6	1	1460-1560 F - Awning Series 4 ESS Fixed Lite Frame: 52mm-AW Internal Glazed * Glass=CLEAR TOUGHENED * * Double Glazed=Std Double Glaze * * Screens = No Screens *		
7	3	1800-0850 Awning Patio Unit - Series 4 ESS Awning Window Frame: 52mm * Double Glazed=Std Double Glaze * * Transom Height =600 *		
8	1	1800-0850 Awning Patio Unit - Series 4 ESS Awning Window Frame: 52mm * Double Glazed=Std Double Glaze * * Transom Height =600 *		
9	1	1030-0610 W - Awning Series 4 ESS Awning Window Frame: 52mm * Glass=WHITE SPOTSWOOD TOUGHENED *		
10	1	1200-1450 XO MK6 Window ESS Sliding Window Frame: 52mm * Double Glazed=Std Double Glaze *		
11	1	1200-1450 XO MK6 Window ESS Sliding Window Frame: 52mm * Double Glazed=Std Double Glaze *		
12	1	1200-1450 XO MK6 Window ESS Sliding Window Frame: 52mm * Glass=WHITE SPOTSWOOD TOUGHENED *		
13	1	0860-0610 W - Awning Series 4 ESS Awning Window Frame: 52mm * Glass=WHITE SPOTSWOOD TOUGHENED *		
14	1	0860-0510 W - Awning Series 4 ESS Awning Window Frame: 52mm ATTACHED TO THE RIGHT OF ITEM 15		
15	1	DF1B RM=LDY, TIMBER DOOR FRAME TO TAKE 2040 X 820 DOOR BY BUILDER		
16	1	1200-1810 XO MK6 Window ESS Sliding Window Frame: 52mm * Double Glazed=Std Double Glaze *		
17	1	2109-3590 FSS SD166 SIG Sliding Door Frame: 166mm * Glass=CLEAR TOUGHENED * * Double Glazed=Std Double Glaze * * Screen Frame Width=19mm *		

Total Items: 17 Page 1

Signed Order Acceptance..... Date:- / /

SKYVIEW WINDOWS Locally Owned and Operated E & O.E.

Quotation / Order

Quote Number: 27,030	Job Number:
Date: 3/11/2016	
BLACKETT PROPERTY GROUP PTY PO BOX 5158 BRADDON ACT 2612 Phone: 62416311 Fax: 62417855	

Skyview Windows

Quality Windows Fast

ABN:19 102 831 327

77 High Street
(PO Box 6168) Ph. 62329977
Queanbeyan NSW 2620 Fax. 62990720
email : skyview10@bigpond.com

- | | |
|---|-----------------|
| <ul style="list-style-type: none"> 18 2 2060-0850 100mm Awning/Fixed - Cooloola ESS Awning Window Frame: 100mm *
Double Glazed=Std Double Glaze ** Transom Height =600 * COUPLED EACH SIDE OF
ITEM 19 19 1 2060-1310 100mm Sig. Awning - Cooloola ESS Fixed Lite Frame: 100mm Internal
Glazed * Glass=CLEAR TOUGHENED ** Double Glazed=Wide Pocket Double Glaze **
Screens = No Screens * 20 1 0600-3010 SFS SW100 SIG Sliding Window Frame: 100mm * Double Glazed=Std
Double Glaze * 21 1 2109-3050 FSS SD166 SIG Sliding Door Frame: 166mm * Glass=CLEAR TOUGHENED
** Double Glazed=Std Double Glaze ** Screen Frame Width=19mm * 22 0 DOUBLE GLAZED ESS SLIDING WINDOW BRD-002-01, UW=4.42, SHGC = 0.59 23 0 DOUBLE GLAZED SIG SLIDING DOOR BRD-035-08, UW=3.84, SHGC = 0.65 24 0 DOUBLE GLAZED ESS AWN WINDOW 100MM BRD-049-05, UW=4.73, SHGC = 0.52 25 0 DOUBLE GLAZED ESS AWN WINDOW 54MM BRD-028-08, UW=4.6, SHGC = 0.54 26 0 SINGLE GLAZED ESS SLIDING WINDOW BRD-001-01, UW=6.43, SHGC = 0.76 27 0 SINGLE GLAZED ESS AWN WINDOW BRD-026-01, UW=6.58, SHGC = 0.63 | Sch 2 s2(a)(ii) |
|---|-----------------|

Total Ex GST:	Sch 2 s2(a)(ii)
GST Amount:	
Total Inc. GST:	

SITE CLASSIFICATION REPORT

BLOCK	6	SECTION	34	SUBURB.	Lawson
PROJECT No.	50640.08			Date	October 2014
CLIENT	Brown Consulting (ACT) Pty Ltd				

Introduction:

This report provides a site classification for Block 6, Section 34, Lawson, ACT prepared by Douglas Partners Pty Ltd in accordance with the guidelines of AS2870-2011 (Ref 1).

Bulk Earthworks:

Ground surface levels in Section 34 have been lowered in cut as part of general regrading works completed during 2013/14 in Stage 1C-1 of the Lawson South Estate. Depth of cut on Block 6 is estimated to range between about 3.0 m and 4.0 m.

Subsurface Conditions:

Subsurface conditions in Block 6 were assessed on the basis of a test pit dug by Douglas Partners Pty Ltd after the bulk earthworks had been completed. The strata exposed in the pit can be summarised as follows:

Test Pit 127 - Located at the north-eastern rear corner of Block 6. This encountered general filling of gravelly silty clay to 0.4 m depth overlying a cut surface in high strength, slightly weathered siltstone to the refusal depth of 0.6 m. No groundwater was present.

Site Classification:

Block 6, Section 34, Lawson is a Class A (stable) site.

The site classification is applicable to structure types as described in AS 2870 – 2011 (Ref 1) and should be reassessed if ground levels are raised or lowered by more than about 0.5 m for a building platform.

Footing Systems:

AS2870-2011 (Ref 1) provides deemed-to-comply footing systems appropriate for a Class A site. Footing systems should be approved by a structural engineer and take account of the presence of any service trenches, backfill zones, retaining walls and underground structures that are within the stress zone of influence of the footings. All footings should be founded in the bedrock.



Maintenance Guidelines:

Attached CSIRO Sheet BTF 18 "Foundation Maintenance & Footing Performance" provides useful information on cracking and deformation damage in walls and slabs of buildings due to shrink/swell behaviour of clay soils, and on what can be done in terms of the types and layout of gardens, landscaping works, tree plantings, drainage etc. to mitigate foundation movement.

General Comments:

- The classification should be reassessed if ground surface levels are raised or lowered by more than about 0.5 m.
- Topsoil and other filling may have been placed subsequent to test pitting for the site classification.
- Some variability in subsurface conditions must be anticipated, particularly in the moisture condition of site soils and/or the presence of groundwater.
- Any topsoil, vegetation and uncontrolled filling on the building area should be removed.
- Any new filling placed for a building platform should be placed under controlled conditions in accordance with AS 3798-2007 (Ref 2).
- Hard rock excavation must be anticipated.
- Footing excavations should be inspected by a geotechnical engineer.


Limitations:

This report must be read in conjunction with the attached "Notes About this Inspection Report".

References:

1. AS 2870-2011 'Residential Slabs and Footings,' Standards Association of Australia.
2. AS 3798-2007 'Guidelines on Earthworks for Commercial and Residential Developments' Standards Association of Australia.

Douglas Partners Pty Ltd


Alexandra Radulovich
Geotechnical Engineer

Reviewed by


Gary Renfrey
Senior Associate

Attachments: Notes About this Inspection Report
CSIRO pamphlet BTF 18



Electricity Networks

STATEMENT OF

CONDITIONAL COMPLIANCE

Application No: 157903 **Suburb:** Lawson **Block/Section** 6 / 34

Applicn Type: Single residential/New Construction Inclusions : with Garage, with Roof

Attached Plans

6 34 Lawson POE and Meterbox location.pdf

6-34 Lawson - DA-G_Part1.pdf

6-34 Lawson - DA-G_Part2.pdf

This application is approved subject to compliance with the following conditions:

Conditions

A Minimum of 1.0M clearance is required for the proposed or existing Meter Box.

Installation of electrical conduits (on or off block) will be the responsibility of the proponent.

See attached site plan indicating mandatory service marking and meter box location.

The location of the proposed or existing Point of Entry/ Meter Box is to comply with ActewAGL's Service and Installation rules.

Please Note

- WARNING ActewAGL underground cables may be in or adjacent to this block. It is your responsibility to ascertain the location of such assets.
- Development and Building Applications will need to include any proposed ActewAGL works.
- If ActewAGL approval conditions are not met, a breach of the law may result.
- Separate applications are required for water & sewerage and communication network services.
- Construction of unapproved works may result in action being taken to require the property owner to remove non-compliant structures and/or the property owner to fund rectification works on ActewAGL's electricity network.
- Any attached reticulation or servicing plan is preliminary only. Contact ActewAGL for final plans prior to the commencement of any construction activity.
- A failure of this application to show accurately located electricity assets may result in damage and costs for which the proponent will be liable. Damage to network assets must be reported to ActewAGL.

Please refer to Info Sheets

Underground service conduit requirements 8912-02.pdf

Comments:

Signed Paul Maguire

Date 12 Oct 2016



STATEMENT OF CONDITIONAL ACCEPTANCE

Application No: 157827 **Suburb:** Lawson

Block/Section 6 / 34

Appcn Type: Single residential/New Construction Inclusions : with Garage, with Landscaping, with Pergola/Deck or Patio, with Retaining wall, with Water Tank

Attached Plans

6-34 Lawson - DA-G_Part1.pdf

6-34 Lawson - DA-G_Part2.pdf

6-34 Lawson - Devapp (002).pdf

Conditions of Acceptance

Location of the water meter is to be clear of driveways and footpaths with a 1m radius unhindered access maintained. If required, relocation of the water service is to be undertaken by Icon Water at the lessee's cost. Relocations further than 1.5m laterally require a Hydraulic plan to be approved by Icon prior to applying for the relocation. Evidence of this being performed and constructed is to be forwarded to Icon Water before the certificate of occupation is issued.

Please Note:

- ❖ Separate applications are required for ActewAGL electricity and gas networks.
- ❖ Any failure to accurately show existing or proposed structures may result in damage and costs for which the property owner will be liable. Damage to network assets must be reported to Icon Water.
- ❖ Utility conditions may also apply to minor structures and landscaping works that may not have been depicted in this document. Consultation with Icon Water is advised if such structures and landscaping are planned.
- ❖ Icon Water recommends setbacks provided for equipment access to water or sewerage network assets are kept free of obstruction by the property owner.
- ❖ Construction of works without the approval of Icon Water may result in connection to Icon Water's water and sewerage networks being denied and /or action being taken to require the property owner to remove non-compliant services (e.g. sanitary drains) or structures.

WARNING

Failure to comply with these conditions is likely to result in interference with an Icon Water sewer or water asset. Part 5 of the Utilities (Technical Regulation) Act 2014 applies, which indicates a person who interferes with a utility asset may be subject to prosecution. The current maximum penalty is 200 penalty units, imprisonment for two years, or both. In addition the land-holder can be ordered at their expense to stop the interference, which may involve removal of the building work or that part of the building work that is causing, or is likely to cause interference.

Comments:

Signed

Matthew Bolton

Date

04 Oct 2016

For further information please phone Icon Water 6248 3111.

icon

Application No: 157827

2 of 14

THE DEVELOPMENT WILL COMPLY WITH THE ACT ENVIRONMENT PROTECTION AUTHORITY, ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE ACT, AUGUST 2007.

NO WHITE OR OFF WHITE METAL ROOF SHEETING AND METAL WALL CLADDING.

LIGHTING TO COMPLY WITH CLAUSE 3.12.5.5 OF THE BCA.

WATER HEATER IN HOT WATER SUPPLY SYSTEM TO COMPLY WITH CLAUSE 3.12.5.6 OF THE BCA.

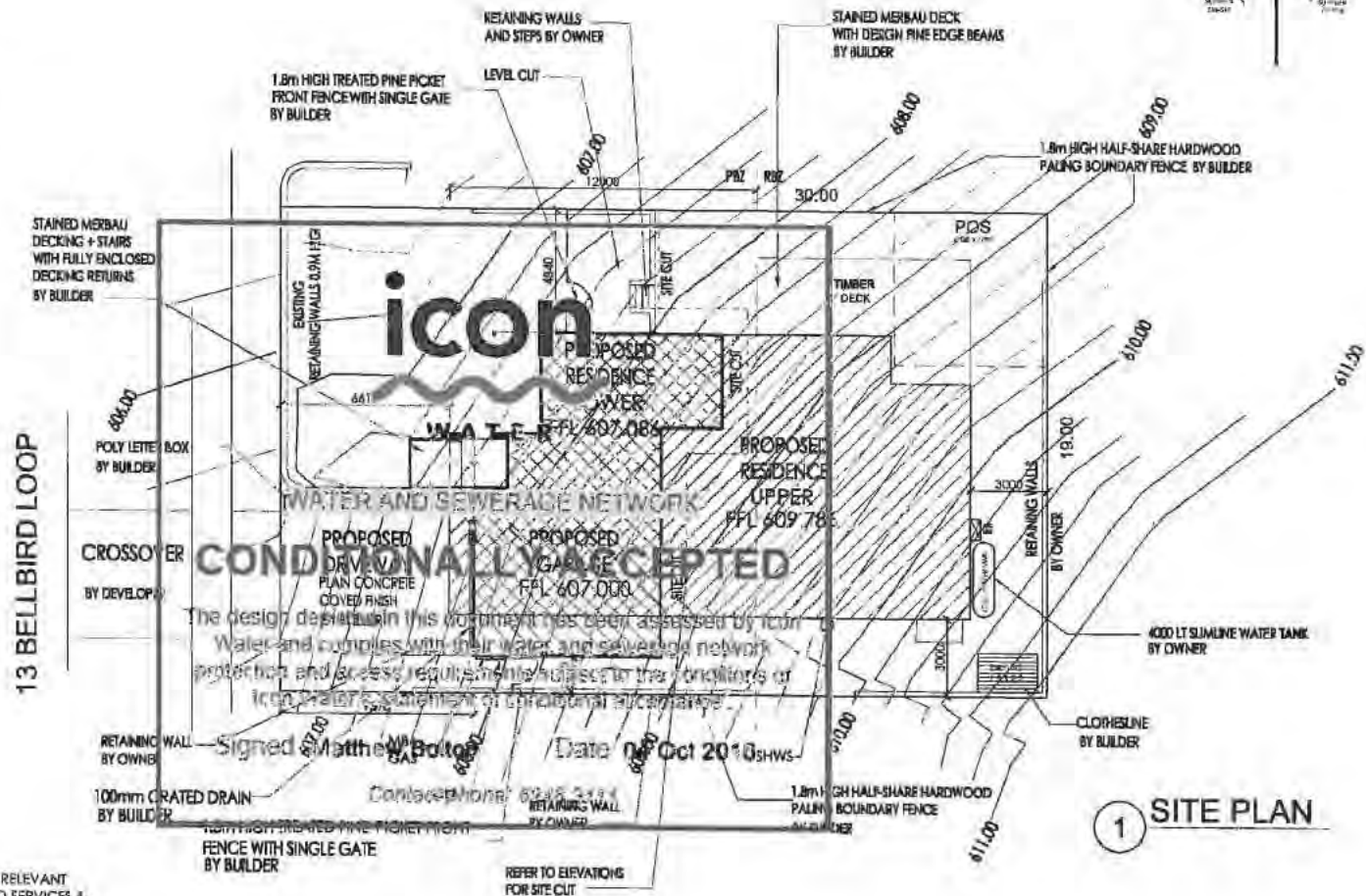
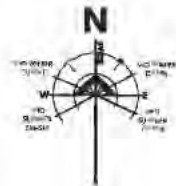
A MINIMUM OF THE 50% OF THE PDS IS TO BE RETAINED AS PLANTED AREA.

WATER TANK CONNECTION - 50% OR 100m² OF ROOF PLAN AREA, WHICHEVER IS THE LESSER, IS CONNECTED TO THE TANK THE TANK IS CONNECTED TO AT LEAST A TOILET, LAUNDRY COLD WATER AND ALL EXTERNAL TAPS.

RETAINING WALLS BETWEEN THE FRONT BOUNDARY AND BUILDING LINE NOT TO BE HIGHER THAN 400mm ABOVE NATURAL GROUND LEVEL WITHOUT DEVELOPMENT APPROVAL BY ACTPLA.

BLOCK AREA	570m ²
PROPOSED RESIDENCE	
GARAGE	47.0m ²
LIVING - LOWER	41.5m ²
LIVING - UPPER	193.5m ²
BALCONY	8.0m ²
PORCH	4.0m ²
GFA	282.0m ²
PLOT RATIO	49.5%
TOTAL DEVELOPMENT	294.0m ²

THIS SITE PLAN HAS BEEN BASED ON PRELIMINARY DEVELOPERS CONTOURS ONLY EXACT LEVELS AND SITE CUT REQUIREMENTS FOR QUOTING TO BE CONFIRMED WITH A FULL SITE SURVEY. A REVISED SITE PLAN IS REQUIRED TO REFLECT FINAL SITE CONDITIONS PRIOR TO FINAL APPROVALS AND COMMENCEMENT OF WORK.



1 SITE PLAN

NOTE - LICENSED PLUMBER TO SUBMIT A WORKS EXECUTED PLAN

NOTE: PRIOR TO ANY DEMOLITION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR LOCATION OF UNDERGROUND SERVICES & DETAILED LOCATIONS OF ALL SERVICES. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN.



BLACKETT
PROPERTY GROUP

DESIGN :

solarcert
BUILDING DESIGNS
info@solarcert.com.au - (02) 62901819

PROPOSED RESIDENCE

BLOCK: 6 SECTION: 34

SUBURB: LAWSON

CLIENT: Sch 2 s2(a)(ii)

SHEET TITLE
SITE PLAN

DATE
16 SEPT 2016

SCALE
1:200 @ A3

JOB NO: 4373
DRAWN BY: RLdS

REVISION: D
DWG NO: 2

ActewAGL

Gas Networks

STATEMENT OF

CONDITIONAL COMPLIANCE

For Residential except High Rise

Application No: 157903

Drawings in set: 7

Block: 6

Section: 34

Suburb: Lawson

This application has been assessed against legislation protecting ActewAGL's gas infrastructure and access to it.

This application is approved subject to compliance with the following conditions:

- Attached statement for Gas Networks
- The location and area allocated for gas regulating and metering equipment is to comply with ActewAGL standards. The following documents provide guidance:
Ref ActewAGL Drawings (attached): "Exclusion Zone – Domestic Meter Installation"
"Domestic Gas Meter Location Reference Drawings"
Ref ActewAGL Document (attached): "Gas Metering Equipment – Prohibited Locations"
- Development is to comply with minimum separation requirements to underground assets
 - 300mm minimum clearance from major plastic and steel gas mains and steel gas services
 - 150mm minimum clearance from other plastic gas mains and services
- A metering equipment upgrade may be required. A licensed gas fitter should verify loads and metering equipment capacities.
- If a meter relocation or service pipe relocation is required in order to comply with ActewAGL standards, please contact your gas retailer and book a meter relocation. Only people accredited by ActewAGL can carry out this work.
- Compliance with ActewAGL's Service and Installation Rules and all other relevant legislation including the ACT Utilities Act (2000)
- Other:

Please note:

- **WARNING:** ActewAGL underground gas pipes may be in or adjacent to this block. ActewAGL Asset Location Advice may be required. Call Dial Before You Dig on 1100 prior to excavating.
- Development and Building Applications will need to include any proposed ActewAGL works
- If ActewAGL approval conditions are not met, a breach of the law may result.
- Separate applications are required for water & sewerage, electricity and communication network services.
- Construction of unapproved works may result in action being taken to require the property owner to remove non-compliant structures and/or the property owner to fund rectification works on ActewAGL's gas network
- Any attached reticulation or servicing plan is preliminary only. Contact ActewAGL for final plans prior to the commencement of any construction activity

For further information please phone Steve Donnelly - Jemena 6203 0640

Application No. 157903

THE DEVELOPMENT WILL COMPLY WITH THE ACT ENVIRONMENT PROTECTION AUTHORITY ENVIRONMENT PROTECTION GUIDELINES FOR AIR QUALITY AND LAND DEVELOPMENT IN THE ACT, AUGUST 2007.

NO WHITE COFFER WHITE METAL ROOF SHEETING AND METAL WALL CLADDING.

WATER HEATER IN A HOT WATER SUPPLY SYSTEM TO COMPLY WITH CLAUSE 3.12.5.6 OF THE BCA.

A MINIMUM OF THE 50% OF THE POS IS TO BE RETAINED AS PLANTED AREA.

WATER TANK CONNECTION - 50% OR 100m² OF ROOF PLAN AREA, WHICHEVER IS THE LESSER, IS CONNECTED TO THE TANK. THE TANK IS CONNECTED TO AT LEAST A TOILET, LAUNDRY COLD WATER AND ALL EXTERNAL TAPS.

RETAINING WALLS BETWEEN THE FRONT BOUNDARY AND BUILDING LINE NOT TO BE HIGHER THAN 400mm ABOVE NATURAL GROUND LEVEL WITHOUT DEVELOPMENT APPROVAL BY ACTPLA.

BLOCK AREA	570m ²
PROPOSED RESIDENCE	
GARAGE	47.0m ²
LIVING - LOWER	41.5m ²
LIVING - UPPER	193.5m ²
BALCONY	8.0m ²
PORCH	4.0m ²
GFA	282.0m ²
PLOT RATIO	49.5%
TOTAL DEVELOPMENT	294.0m ²

NOTE - LICENSED PLUMBER TO SUBMIT A WORKS EXECUTED PLAN

NOTE: PRIOR TO ANY DEMOLITION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR LOCATION OF UNDERGROUND SERVICES & DETAILED LOCATIONS OF ALL SERVICES. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN.

THIS SITE PLAN HAS BEEN BASED ON PRELIMINARY DEVELOPER CONTOURS ONLY. EXACT LEVELS AND SITE CUT REQUIREMENTS FOR GRADING TO BE COMPLETED WILL BE FULL SITE SURVEY. A REVISED SITE PLAN IS REQUIRED TO REFLECT FINAL SITE CONDITIONS PRIOR TO FINAL APPROVALS AND COMMENCEMENT OF CONSTRUCTION.

Gas Network

CONDITIONAL COMPLIES

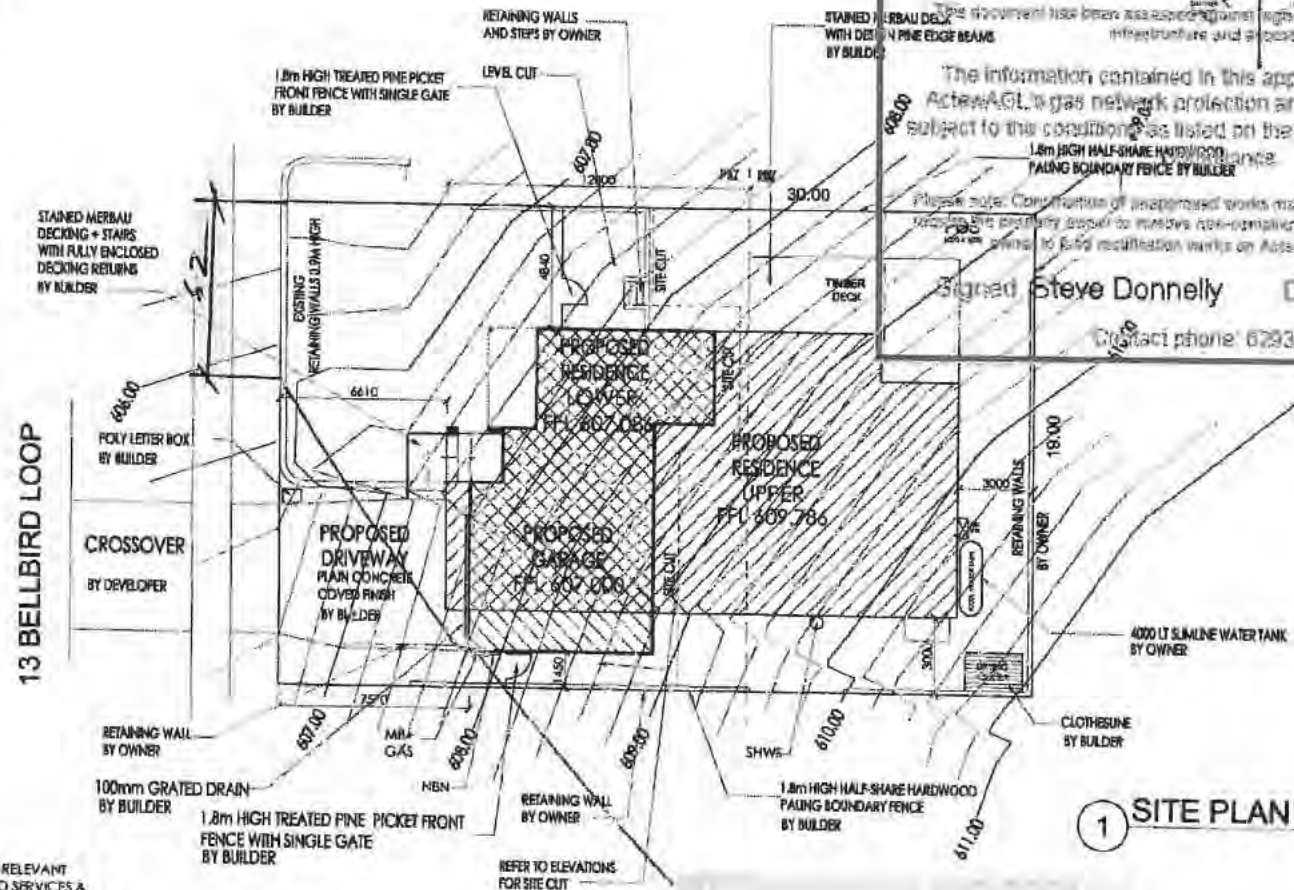
This document has been assessed against requirements promoting ActewAGL's infrastructure and access to it.

The information contained in this application complies with ActewAGL's gas network protection and access requirements subject to the conditions listed on the Statement of Conditional Compliance.

Please note: Construction of unapproved works may result in action being taken to protect the property owner to involve non-compliant activities on the property which may require modification works on ActewAGL's gas network.

Signed Steve Donnelly Date 12 Oct 2016

Contact phone: 6293 5710



1 SITE PLAN



BLACKETT
PROPERTY GROUP

DESIGN :
solarcert
BUILDING DESIGNS
Info@solarcert.com.au - (02) 62901819

PROPOSED RESIDENCE
BLOCK: 6 SECTION: 34
SUBURB: LAWSON
CLIENT: Sch 2 s2(a)(n)

SHEET TITLE		
SITE PLAN		
DATE	JOB NO:	DRAWN BY
16 SEPT 2016	4373	RLdS
SCALE	REVISION	DWG NO
1:200 @ A3	D	2

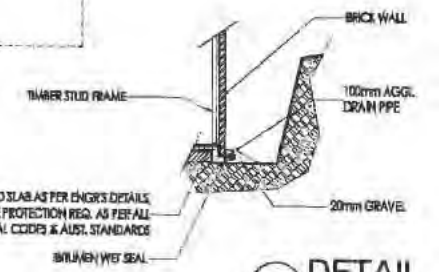
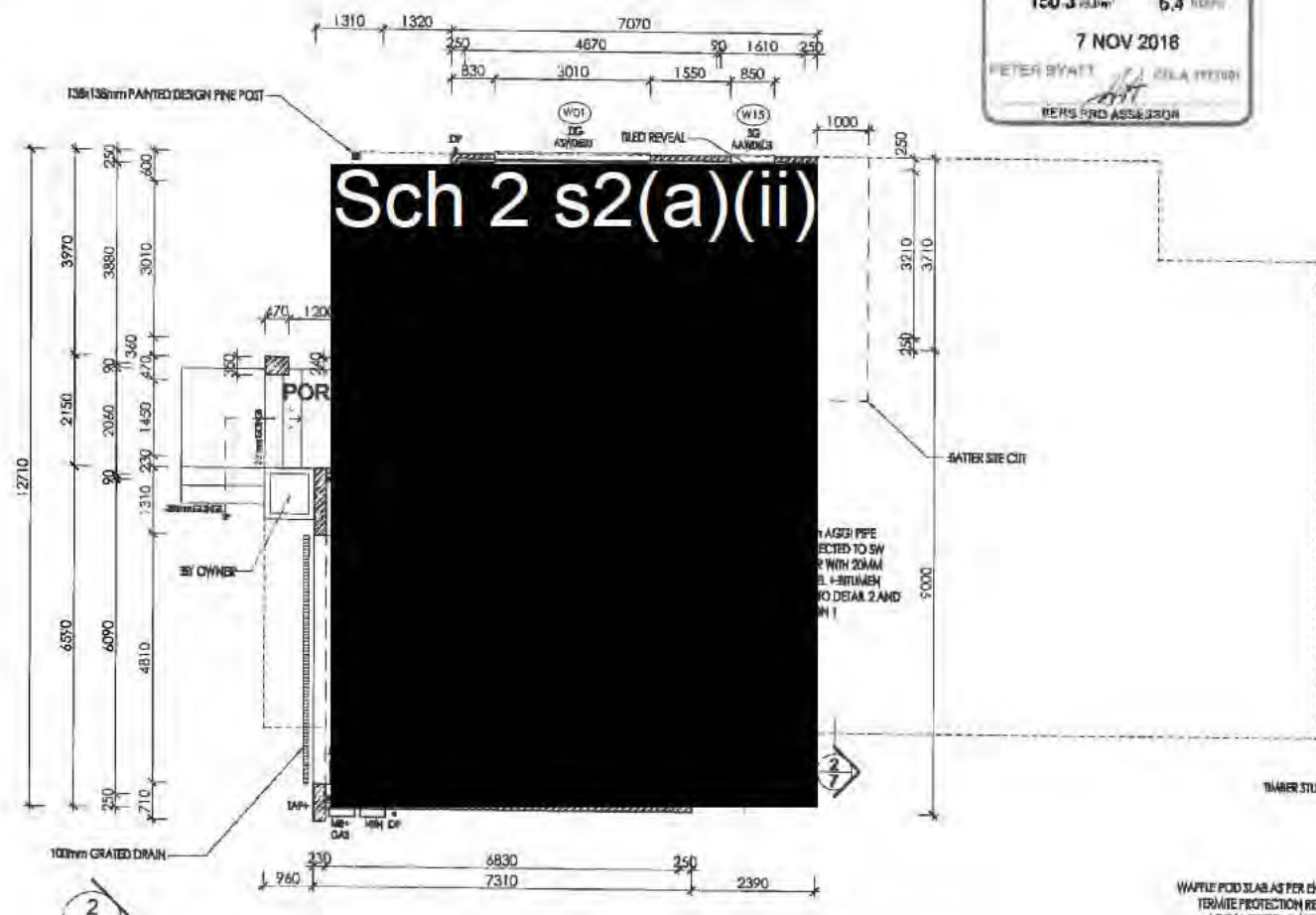
NOTE
 FLOOR - CEILING
 INTERNAL DOORS
 CEILING INSULATION
 WALL INSULATION
 ROOF EAVES
 ROOF PITCH
 R2.5 BATS TO SUBFLOOR

240mm (LOWER) + 270mm (UPPER)
 2040mm
 R5.0
 R2.5
 450mm
 20 DEGREES

ACT HOUSE ENERGY
 RATING SCHEME
 150.3 MJ/m² 6.4 NERSV
 7 NOV 2018
 PETER BYATT
 PERS PRO ASSESSOR

STAIR CONSTRUCTION TO BCA 3.9.1 -
 CEILING HEIGHT IN STAIRWAY SHALL BE MEASURED VERTICALLY
 FROM FINISH FLOOR TO FINISH BALUSTRADES NOT TO EXCEED 1200mm
 WHERE TO PASS THROUGH.
 TREAD SURFACE OR NOSING STRIP TO HAVE A SLIP RESISTANCE
 CLASSIFICATION PER TABLE 2.5.1.1.
 RISER AND FININGS TO BE IN A CONTINUOUS LINE WITH BCA FIG 2.9.1.2
 PROVIDE HANDRAILS ALONG FULL LENGTH OF THE FLIGHT. TOP
 SURFACE OF HANDRAIL TO BE NO LESS THAN 900mm ABOVE FINISH
 FLOOR TO THE STAIR TREAD NOSING - BCA 3.9.2.4.

* PROVIDE UPPER FLOOR WINDOW PROTECTION -
 IN ACCORDANCE WITH PART 3.9.2.5 OF BCA VOL 2



1 FLOOR PLAN
 LOWER



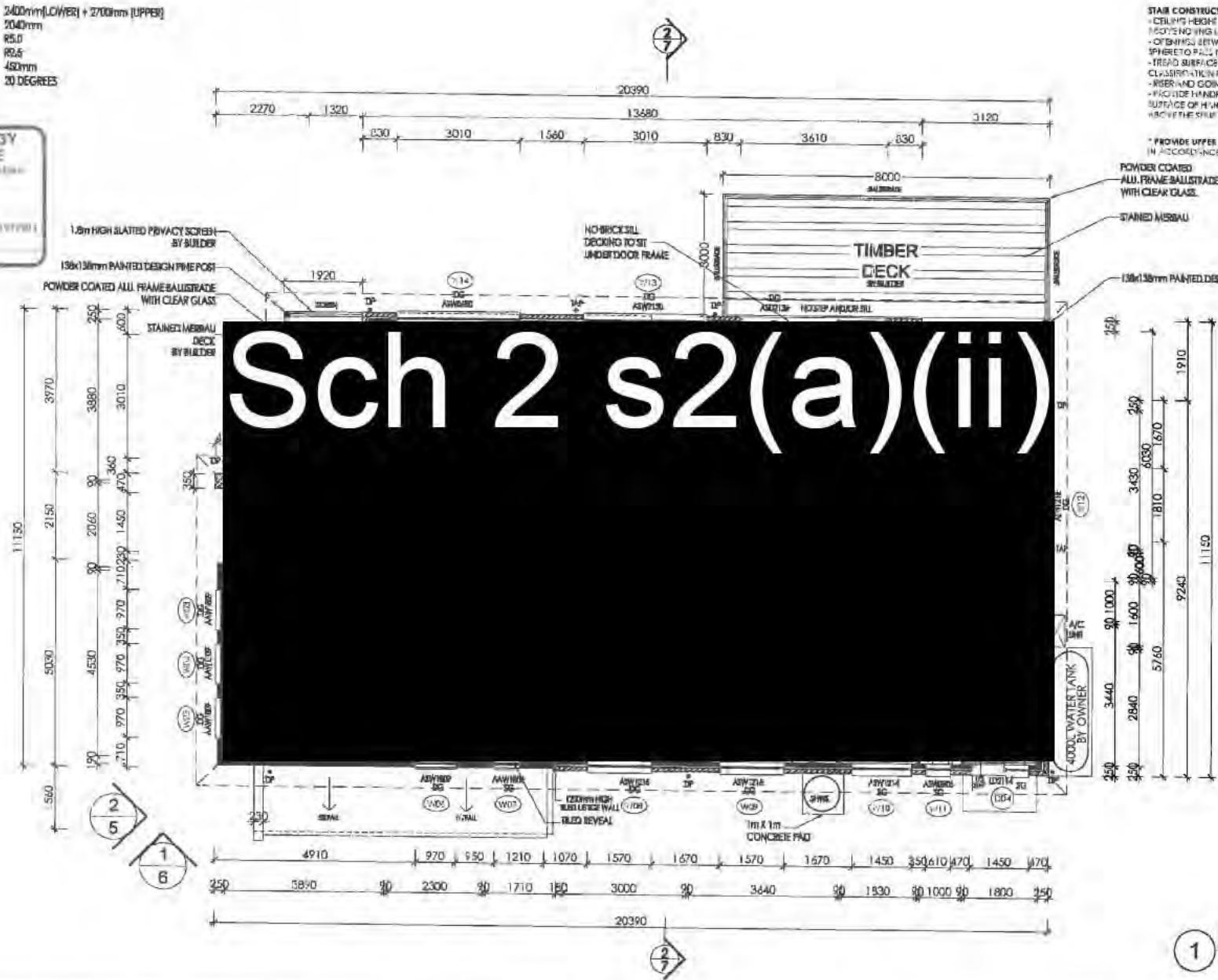
DESIGN:
solarcert
 BUILDING DESIGNS
 info@solarcert.com.au - (02) 62901819

PROPOSED RESIDENCE
 BLOCK: 6 SECTION: 34
 SUBURB: LAWSON
 CLIENT: Sch 2 s2(a)(ii)

SHEET TITLE		
FLOOR PLAN - LOWER		
DATE	JOB NO:	DRAWN BY
16 SEP. 2016	4373	RLdS
SCALE	REVISION	DWG NO
1:100 @ A3	E	3

NOTE:
 FLOOR - CEILING 2400mm (LOWER) + 2700mm (UPPER)
 INTERNAL DOORS 2040mm
 CEILING INSULATION R5.0
 WALL INSULATION R2.5
 ROOF EAVES 450mm
 ROOF PITCH 20 DEGREES
 R2.5 BATS TO SUBROOF

ACT HOUSE ENERGY RATING SCHEME
 150.3 MJ/m² 6.4 stars
 7 NOV 2016
 PETER SWATT
 TEN 9 PRO ASSESSMENT



STAIR CONSTRUCTION TO BCA 3.9.1 -
 - CEILING HEIGHT IN STAIRWAY SHALL BE MINIMUM 2000mm
 - FLOORING BETWEEN TREADS SHALL BE 100mm TO 120mm
 - TREAD SURFACES OR RISING STRIP TO HAVE A SLIP RESISTANCE CLASSIFICATION PER TABLE 3.9.1.1
 - RISER AND GOINGS TO BE IN ACCORDANCE WITH BCA PD 3.9.1.2
 - PROVIDE HANDRAIL ALONG FULL LENGTH OF THE FLIGHT, TOP SURFACE OF HANDRAIL TO BE NO LESS THAN 100mm VERTICALLY ABOVE THE STAIR TREADS - BCA 3.9.1.4

* PROVIDE UPPER FLOOR WINDOW PROTECTION - IN ACCORDANCE WITH PART 3.8.3.3 OF BCA VOLUME 2

POWDER COATED ALL FRAME BALUSTRADE WITH CLEAR GLASS
 STAINED MERBALU

138x138mm PAINTED DESIGN PINE POST

1 FLOOR PLAN UPPER



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PROPOSED RESIDENCE
 BLOCK: 6 SECTION: 34
 SUBURB: LAWSON
 CLIENT: Sch 2 s2(a)(ii)

SHEET TITLE		
FLOOR PLAN - UPPER		
DATE	JOB NO:	DRAWN BY
16 SEP. 2016	4373	RLdS
SCALE	REVISION	DWG NO
1:100 @ A3	G	4

NOTE:
 FLOOR - CEILING 2400mm (LOWER) + 2700mm (UPPER)
 INTERNAL DOORS 2040mm
 CEILING INSULATION R5.0
 WALL INSULATION R2.5
 ROOF EAVES 450mm
 ROOF PITCH 20 DEGREES
 R2.5 BATT'S TO SUBFLOOR

2400mm (LOWER) + 2700mm (UPPER)
 2040mm
 R5.0
 R2.5
 450mm
 20 DEGREES



1 NORTH ELEVATION



2 WEST ELEVATION



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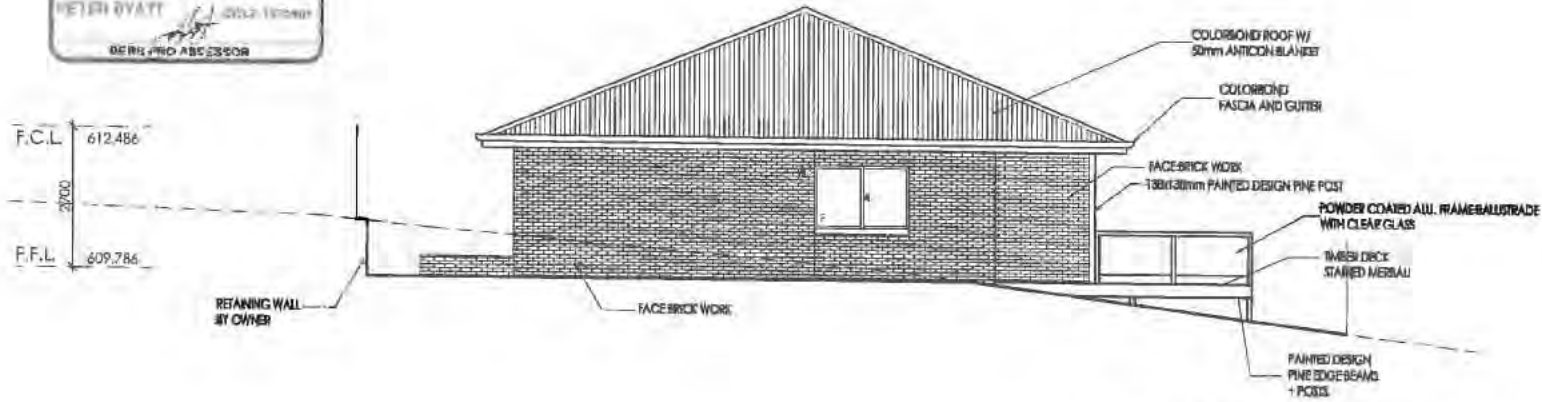
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 BLOCK: 6 SECTION: 34
 SUBURB: LAWSON
 CLIENT: Sch 2 s2(a)(ii)

SHEET TITLE		
ELEVATIONS		
DATE	JOB NO:	DRAWN BY
16 SEP. 2016	4373	RLdS
SCALE	REVISION	DWG NO
1:100 @ A3	D	5

NOTE:
 FLOOR - CEILING 240mm (LOWER) + 2700mm (UPPER)
 INTERNAL DOORS R5.0
 CEILING INSULATION R2.5
 WALL INSULATION R2.5
 ROOF EAVES 450mm
 ROOF PITCH 20 DEGREES
 R2.5 BATTICOT SUBFLOOR



1 SOUTH ELEVATION



2 EAST ELEVATION



BLACKETT
 PROPERTY GROUP

DESIGN :

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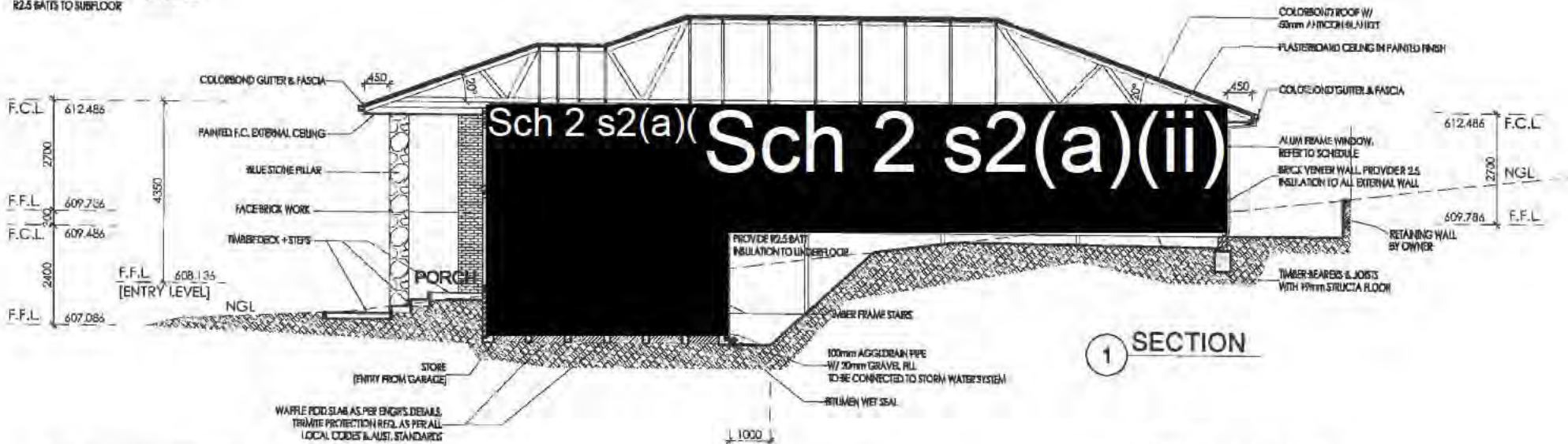
PROPOSED RESIDENCE

BLOCK: 6 SECTION: 34
 SUBURB: LAWSON
 CLIENT: Sch 2 s2(a)(ii)

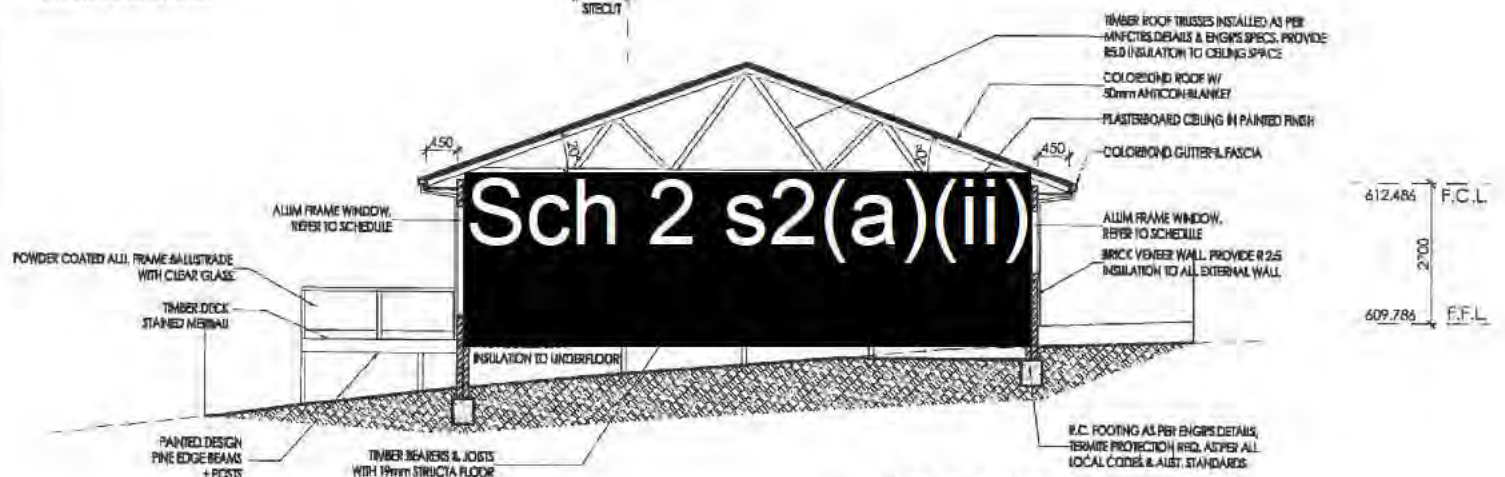
SHEET TITLE
 ELEVATIONS

DATE	JOB NO:	DRAWN BY
16 SEP. 2016	4373	RLdS
SCALE	REVISION	DWG NO
1:100 @ A3	E	6

NOTE:
 FLOOR - CEILING 240mm (LOWER) + 2700mm (UPPER)
 INTERNAL DOORS 2040mm
 CEILING INSULATION R5.0
 WALL INSULATION R2.5
 ROOF EAVES 450mm
 ROOF PITCH 20 DEGREES
 R2.5 PATHS TO SUBFLOOR



1 SECTION



2 SECTION



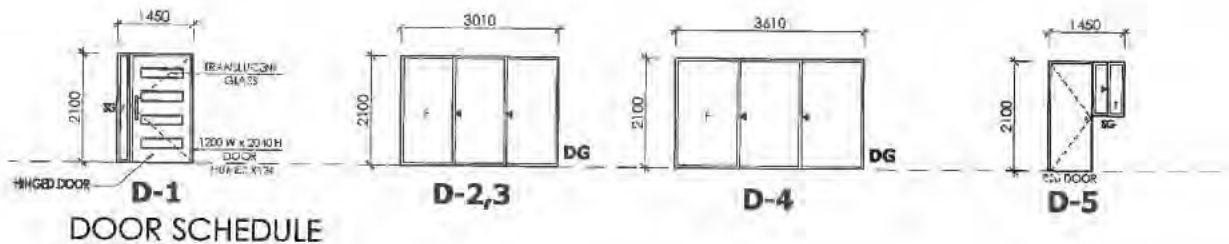
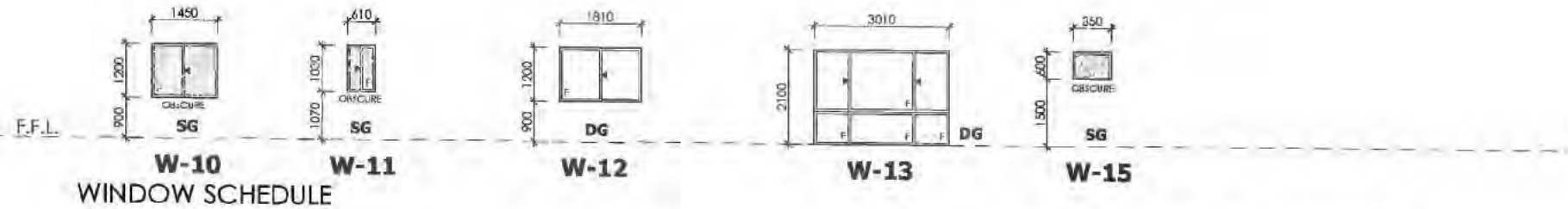
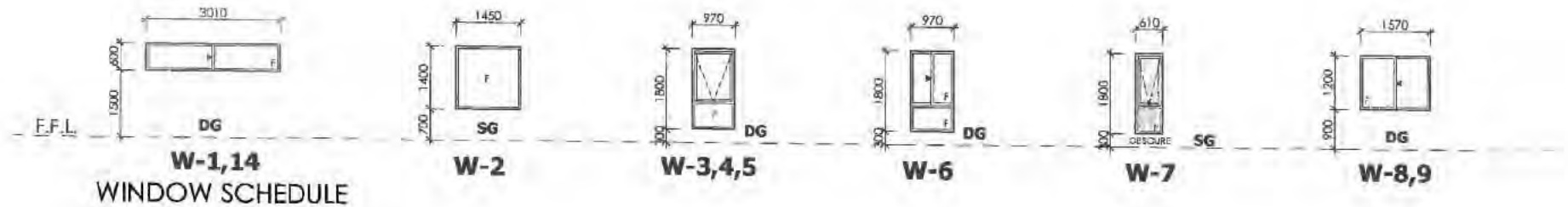
DESIGN:
solarcert
 BUILDING DESIGNS
 info@solarcert.com.au - (02) 62901819

PROPOSED RESIDENCE
 BLOCK: 6 SECTION: 34
 SUBURB: LAWSON
 CLIENT: Sch 2 s2(a)(ii)

SHEET TITLE		
SECTION		
DATE	JOB NO:	DRAWN BY
12 SEP. 2016	4373	RLdS
SCALE	REVISION	DWG NO
1:100 @ A3	D	7

NOTE:
 BUILDER AND MANUFACTURER TO VERIFY DIMENSIONS
 PRIOR TO MANUFACTURING AND INSTALLATION.
 DOORS & WINDOWS ARE VIEWED FROM OUTSIDE.
 REFER TO ELEVATION FOR WINDOW POSITION.

ENERGY EFFICIENCY, NCA #1.12
 WALL AND CEILING INSULATION, WINDOW FRAMES AND GLAZING
 ARE ALL TO CONFORM TO THAT SPECIFIED IN THE ACCOMPANYING
 ENERGY RATING REPORT.



1 GLAZING SCHEDULE



DESIGN:
solarcert
 BUILDING DESIGNS
 info@solarcert.com.au - (02) 62901819

PROPOSED RESIDENCE
 BLOCK: 6 SECTION: 34
 SUBURB: LAWSON
 CLIENT: Sch 2 s2(a)(i)

SHEET TITLE		
GLAZING SCHEDULE		
DATE	JOB NO:	DRAWN BY
12 SEP. 2016	4373	RLdS
SCALE	REVISION	DWG NO
1:100 @ A3	D	8

GENERAL NOTES:

1. All dimensions are in millimeters.
2. Dimensions take preference over scale and are to structure not finish.
3. Check and verify dimensions and confirm any existing dimensions marked.
4. Work shall comply with the BCA and all relevant current Australian Standards. Any outdated Standards listed in these notes are to be taken to refer to the current edition.
5. Manufactures specification means a current approved specification for use under conditions applicable.

SITE WORKS:

1. Site to be excavated and or filled to the levels shown.
2. Footing to be placed as per builder spec, engineering details or survey mark.
3. Footings to bear on non-expansive natural materials have a min bearing capacity of 100kpa.
4. Ground surface to be sloped 1:20 (Min) away from building for 900mm (Min) and to a point where ponding will not occur near the building.
5. Dish drains and ag-pipes to be provided as indicated to facilitate drainage of water away from the building to the drainage system.

RETAINING WALLS:

1. Retaining walls not specifically detailed, and foundation walling required to retain earth are to be a min 230mm thick, up to a height of 750mm of retained earth. Cavity walls used to retain earth are to have the leaf adjacent to the retained earth a minimum of 230mm thick, to a maximum of 900mm of retained earth height.
2. All retaining wall to be properly bonded and provide agricultural drain to the earth side of the wall.
3. For retaining walls above heights of retained earth listed above shall required engineering details.
4. All retaining walls are to comply with planning policy on retaining walls and embankments on residential building sites.

DESIGN LOADS:

1. All timber member sizes deduced from AS 1684
2. All remaining timbers sizing to be deduced from Australian domestic construction manuals or manufactures drawings and specifications.
3. All steel members to be in accordance with the engineers drawings and specifications.

REINFORCED CONCRETE:

1. All reinforced concrete shall be in accordance with the Engineers details and specifications.

BLOCKWORK:

1. All Blockwork shall be in accordance with the Engineers details and specifications.
2. All concrete blockwork and reinforced masonry units shall comply with AS 1500, AS 4473 or AS 3700 - 2011.
3. CONSTRUCTION BEDDING - all face and end joints shall be fully filled with mortar and joints shall be squeezed tight. Slushing of mortar into joints shall not be permitted. The first course of blocks shall be laid on a full bed of mortar.
4. JOINTS - Internal joints shall be ironed. Where flush joints are left exposed they shall be first compacted, then repointed and excess mortar removed. all other joint shall be finishes as specified with a joint shaping tool to an adequately compacted surface.
5. ARTICULATION JOINTS - shall be located where specified and shall form a continuous vertical break from top to bottom of the wall or from bond beam. joints shall be filled with mortar and raked back 16mm and pointed with a non-hardening plastic filler. No reinforcing shall be carried across control joint. Provision shall be made for adequate lateral stability. Articulation joints are prohibited over garage doors.
6. JOINT REINFORCEMENT - reinforce every 600mm in height and in the two courses immediately above and below window openings. Lap mesh at least 150mm at all joints and intersections except at articulation and expansion joints where a slip joint may be required.
7. WEATHERPROOFING - all concrete masonry wall exposed to the weather or below ground level shall be adequately water proofed, using an approved paint or other coating and applied in accordance with manufactures specifications and instructions.

BRICKWORK:

1. Brickwork to conform to AS 3700 - 2011 - Masonry structures.
2. Walls shall have a continuous cavity kept clear of mortar droppings.
3. Brick foundation walls under timber floors shall have brick vents at 2000mm spacing.
4. Provide wall ties at 600mm spacing both vertical and horizontal, and within 300mm of articulation joints.
5. ARTICULATION/ CONTROL JOINTS - To brick walls in accordance with AS4773.2 - 2010 - masonry for small buildings.
6. Articulations joint shall form a continuous vertical joint from top to bottom of the wall. articulation joint spacing shall not exceed 6000mm.

STEEL WORK:

1. All steel work shall be in accordance with the engineers drawings, details and specifications.

TIMBER FRAMING:

1. All timber framing shall be in accordance with AS 1684.2-2010 - Residential timber framed construction - Non - cyclonic regions.
2. Pre fabricated frames and roof trusses shall be installed as per the manufactures drawings, spec and details.

WET AREA SURFACES:

1. All wet areas to comply with BCA 3.8.1.2 and AS 3740.
2. Floor surfaces to bathroom and Laundry areas shall be impervious, with the junctions between wall and floor flashed to prevent moisture penetration into walls.
3. Splash backs shall be impervious for 150mm above sinks, troughs and hand basins within 75mm of the wall.
4. Ceramic tiles or other approved impervious material to shower walls to a height of 1800 min above the floor.

POOL FENCING:

1. All pool fencing shall be a min 1200mm high and in accordance with AS 1926.1 - 2012.

STAIR REQUIREMENTS:

1. Stairs shall be constructed in accordance with BCA 3.9.1 - BCA 3.9.2.
2. Provide handrail along full length of the flight. top surface of handrail to be no less than 865mm vertically above the stair tread nosing - BCA 3.9.2.4.
3. Tread surface or nosing strip to have a slip resistance classification per table 3.9.1.1.
4. Openings between treads/balustrades not to permit 125mm sphere to pass through.
5. Riser and goings to be in accordance with BCA fig. 3.9.1.2.
6. Min tread size 240mm - Min riser 115mm (non spiral stair)
7. Max tread size 355mm - Max riser 190mm (non spiral stair)
8. Ceiling height in stairway min. 2m measured vertically above nosing line BCA 3.8.2.2.

BUSHFIRE ATTACK LEVEL (BAL):

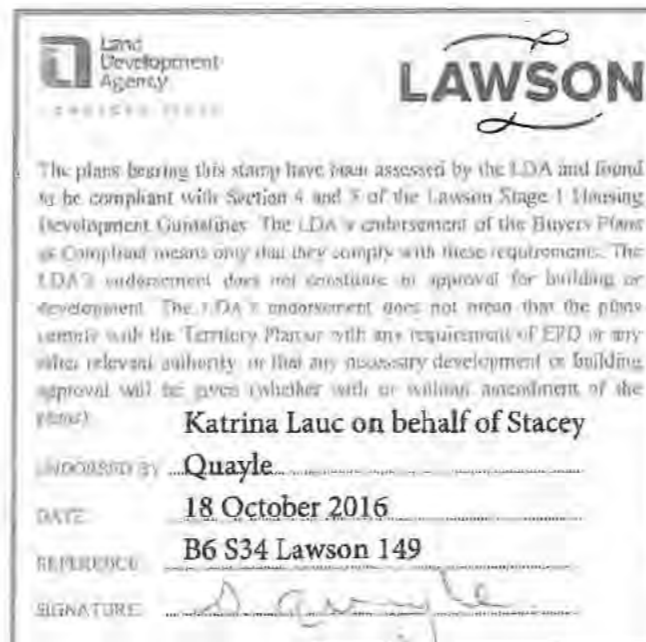
1. Where a building is to be constructed in a bushfire prone area, the BAL Index (eg BAL 19 - BAL 12.5 etc) shall be determined for the site.
2. Buildings on land with a BAL rating shall be constructed in accordance with AS 3959 - 2009.

SMOKE DETECTORS:

1. Smoke detectors to be hard wired with emergency backup installed per AS 3786 - 1993.

RELEVANT STANDARDS:

1. AS 1288 - 2006 Glass in Buildings selections and installation.
2. AS 1562 - 1992 Design and installation of sheet roof and wall cladding.
3. AS 1684.2 - 2010 Residential timber framed construction - Non cyclonic regions.
4. AS 2049 - 2002 Roof Tiles.
5. AS 2050 - 2002 Installation of roof tiles.
6. AS 2870 - 2011 Residential Slab and Footings - Construction.
7. AS/NZS 2904 - 1995 Damp-Proof course and flashings.
8. AS 3600 - 2009 Concrete Structures.
9. AS 3660 - 2000 Barriers for Subterranean Termites.
10. AS 3700 - 2011 Masonry structures.
11. AS 3740 - 2010 Waterproofing of domestic wet areas.
12. AS 4055 - 2012 Wind loading for Housing.
13. AS 4100 - 1998 Steel Structures.



COVER SHEET

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DESIGN :

solarcert
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info@solarcert.com.au - (02) 62901819

PROPOSED RESIDENCE

BLOCK: 6 SECTION: 34
SUBURB: LAWSON
CLIENT: Sch 2 s2(a)(ii)

SHEET TITLE
GENERAL NOTES

DATE	JOB NO:	DRAWN BY
19 AUG. 2016	4373	RLdS
SCALE	REVISION	DWG NO
1:200 @ A3	A	1

NOTE:

THE DEVELOPMENT WILL COMPLY WITH THE ACT ENVIRONMENT PROTECTION AUTHORITY, ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE ACT, AUGUST 2007.

NO WHITE OR OFF WHITE METAL ROOF SHEETING AND METAL WALL CLADDING.

LIGHTING TO COMPLY WITH CLAUSE 3.12.5.5 OF THE BCA.

WATER HEATER IN A HOT WATER SUPPLY SYSTEM TO COMPLY WITH CLAUSE 3.12.5.6 OF THE BCA.

A MINIMUM OF THE 50% OF THE POS IS TO BE RETAINED AS PLANTED AREA.

WATER TANK CONNECTION - 50% OR 100m² OF ROOF PLAN AREA, WHICHEVER IS THE LESSER, IS CONNECTED TO THE TANK THE TANK IS CONNECTED TO AT LEAST A TOILET, LAUNDRY COLD WATER AND ALL EXTERNAL TAPS.

RETAINING WALLS BETWEEN THE FRONT BOUNDARY AND BUILDING LINE NOT TO BE HIGHER THAN 400mm ABOVE NATURAL GROUND LEVEL WITHOUT DEVELOPMENT APPROVAL BY ACTPLA.

APPROVED

PURSUANT TO SECTION 1.100A/1.100AB OF THE PLANNING AND DEVELOPMENT REGULATION 2008

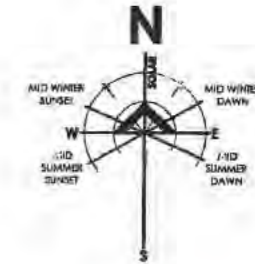
Delegate: GEORGE CILLIERS

Date 17/11/2016

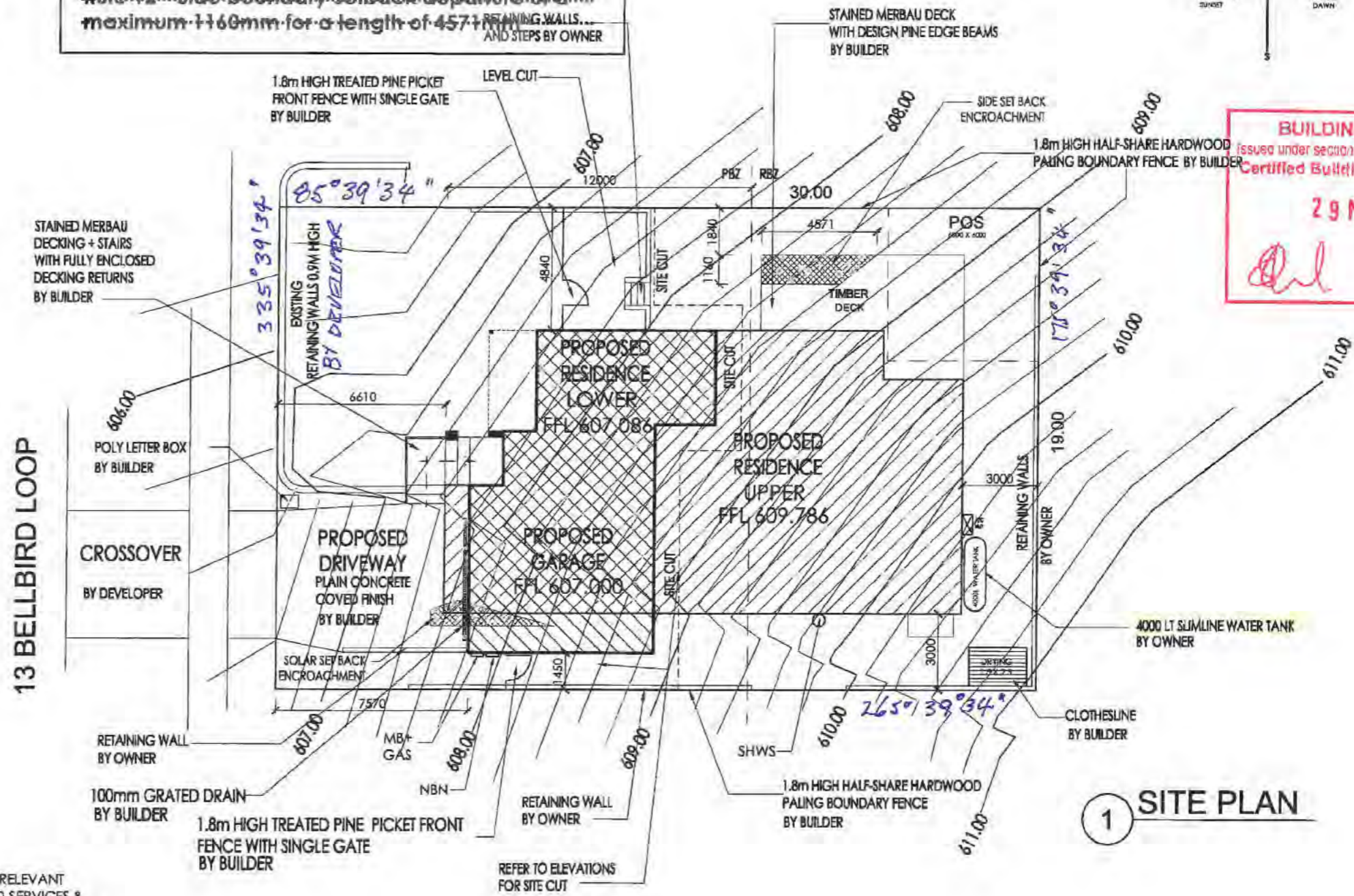
DECLARATION OF EXTENDED DISTANCE

- Rule 7 - Solar envelope departure of a maximum of 77.6mm for a length of 4853mm
- Rule 12 - Side boundary setback departure of a maximum of 1160mm for a length of 4571mm

THIS SITE PLAN HAS BEEN BASED ON PRELIMINARY DEVELOPERS CONTOURS ONLY. EXACT LEVELS AND SITE CUT REQUIREMENTS FOR QUOTING TO BE CONFIRMED WITH A FULL SITE SURVEY. A REVISED SITE PLAN IS REQUIRED TO REFLECT FINAL SITE CONDITIONS PRIOR TO FINAL APPROVALS AND COMMENCEMENT OF WORK.



BLOCK AREA	570m²
PROPOSED RESIDENCE	
GARAGE	47.0m ²
LIVING - LOWER	41.5m ²
LIVING - UPPER	193.5m ²
BALCONY	8.0m ²
PORCH	4.0m ²
GFA	282.0m²
PLOT RATIO	49.5%
TOTAL DEVELOPMENT	294.0m²



BUILDING APPROVAL
 Issued under section 28 of the Building Act 2014
 Certified Building Solutions Pty Ltd
29 NOV 2016
 Licence No: 200426203

1 SITE PLAN

NOTE - LICENSED PLUMBER TO SUBMIT A WORKS EXECUTED PLAN

NOTE: PRIOR TO ANY DEMOLITION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR LOCATION OF UNDERGROUND SERVICES & DETAILED LOCATIONS OF ALL SERVICES. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN.



DESIGN :
solarcert
 BUILDING DESIGNS
 info@solarcert.com.au - (02) 62901819

PROPOSED RESIDENCE
 BLOCK: 6 SECTION: 34
 SUBURB: LAWSON
 CLIENT: Sch 2 s2(a)(ii)

SHEET TITLE		
SITE PLAN		
DATE	JOB NO:	DRAWN BY
16 SEPT 2016	4373	RLdS
SCALE	REVISION	DWG NO
1:200 @ A3	D	2

NOTE:
 THE DEVELOPMENT WILL COMPLY WITH THE ACT ENVIRONMENT PROTECTION AUTHORITY, ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE ACT, AUGUST 2007.
 NO WHITE OR OFF WHITE METAL ROOF SHEETING AND METAL WALL CLADDING.
 LIGHTING TO COMPLY WITH CLAUSE 3.12.5.5 OF THE BCA.
 WATER HEATER IN A HOT WATER SUPPLY SYSTEM TO COMPLY WITH CLAUSE 3.12.5.6 OF THE BCA.
 A MINIMUM OF THE 50% OF THE POS IS TO BE RETAINED AS PLANTED AREA.
 WATER TANK CONNECTION - 50% OR 100m² OF ROOF PLAN AREA, WHICHEVER IS THE LESSER, IS CONNECTED TO THE TANK THE TANK IS CONNECTED TO AT LEAST A TOILET, LAUNDRY COLD WATER AND ALL EXTERNAL TAPS.
 RETAINING WALLS BETWEEN THE FRONT BOUNDARY AND BUILDING LINE NOT TO BE HIGHER THAN 400mm ABOVE NATURAL GROUND LEVEL WITHOUT DEVELOPMENT APPROVAL BY ACTPLA.

Land Development Agency
ACT ENVIRONMENT PROTECTION AUTHORITY

LAWSON

The plans bearing this stamp have been assessed by the LDA and found to be compliant with Section 4 and 5 of the Lawson Stage 1 Planning Development Guidelines. The LDA's endorsement of the Guyon Plans as Compliant means only that they comply with these requirements. The LDA's endorsement does not constitute an approval for building or development. The LDA's endorsement does not mean that the plans comply with the Territory Plan or with any requirement of EPD or any other relevant authority, or that any necessary development or building approval will be given (whether oral or without amendment of the plan).

Katrina Lauc on behalf of Stacey

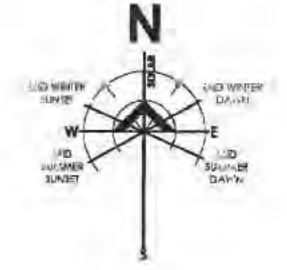
ENDORSED BY: Quayle

DATE: 18 October 2016

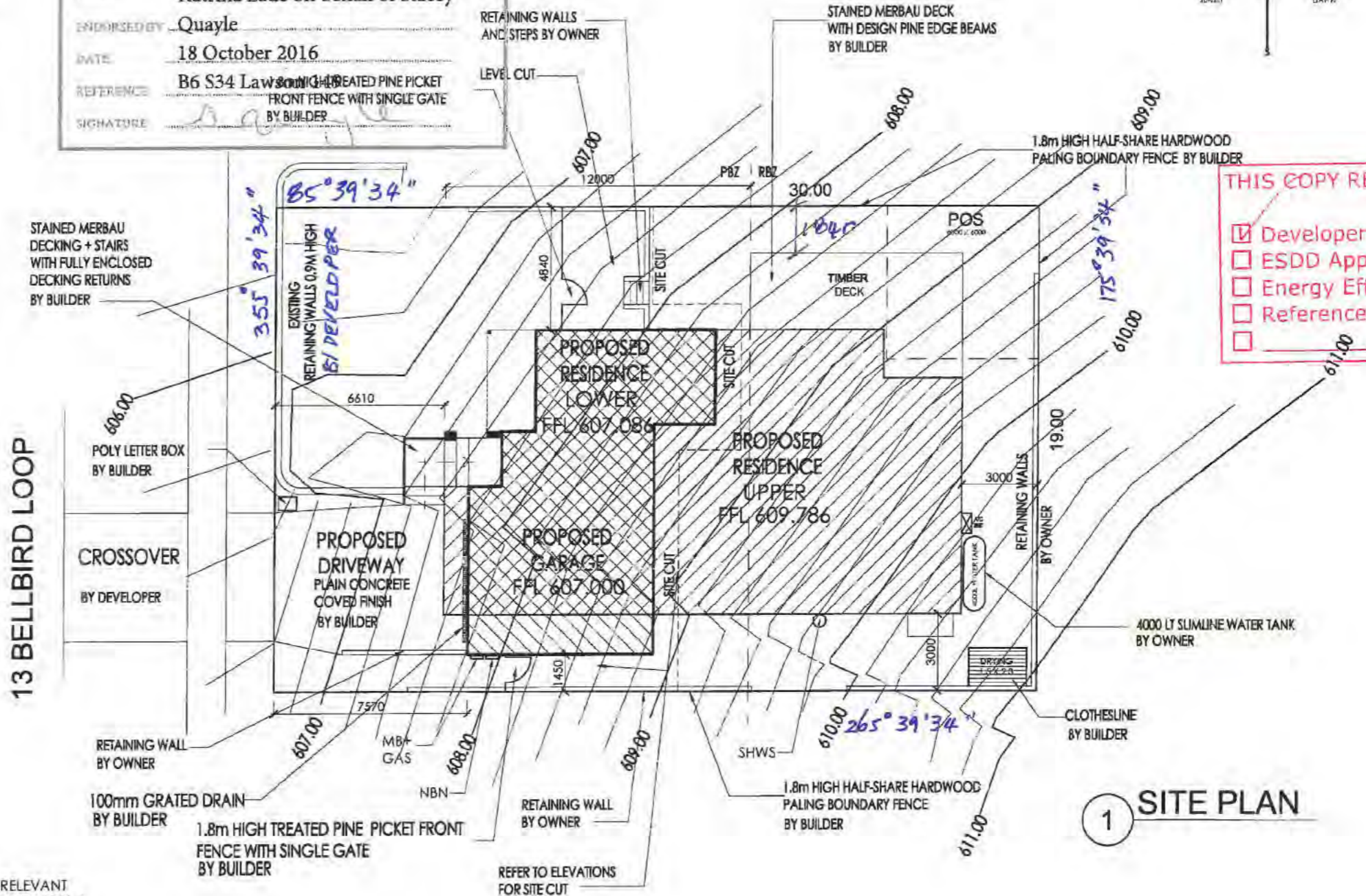
REFERENCE: B6 S34 Lawson

SIGNATURE: [Signature]

THIS SITE PLAN HAS BEEN BASED ON PRELIMINARY DEVELOPERS CONTOURS ONLY. EXACT LEVELS AND SITE CUT REQUIREMENTS FOR QUOTING TO BE CONFIRMED WITH A FULL SITE SURVEY. A REVISED SITE PLAN IS REQUIRED TO REFLECT FINAL SITE CONDITIONS PRIOR TO FINAL APPROVALS AND COMMENCEMENT OF WORK.



BLOCK AREA	570m²
PROPOSED RESIDENCE	
GARAGE	47.0m ²
LIVING - LOWER	41.5m ²
LIVING - UPPER	193.5m ²
BALCONY	8.0m ²
PORCH	4.0m ²
GFA	282.0m²
PLOT RATIO	49.5%
TOTAL DEVELOPMENT	294.0m²



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- Developer Approval
- ESDD Approval
- Energy Efficiency Rating
- Reference Only

NOTE - LICENSED PLUMBER TO SUBMIT A WORKS EXECUTED PLAN

NOTE: PRIOR TO ANY DEMOLITION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR LOCATION OF UNDERGROUND SERVICES & DETAILED LOCATIONS OF ALL SERVICES. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN.

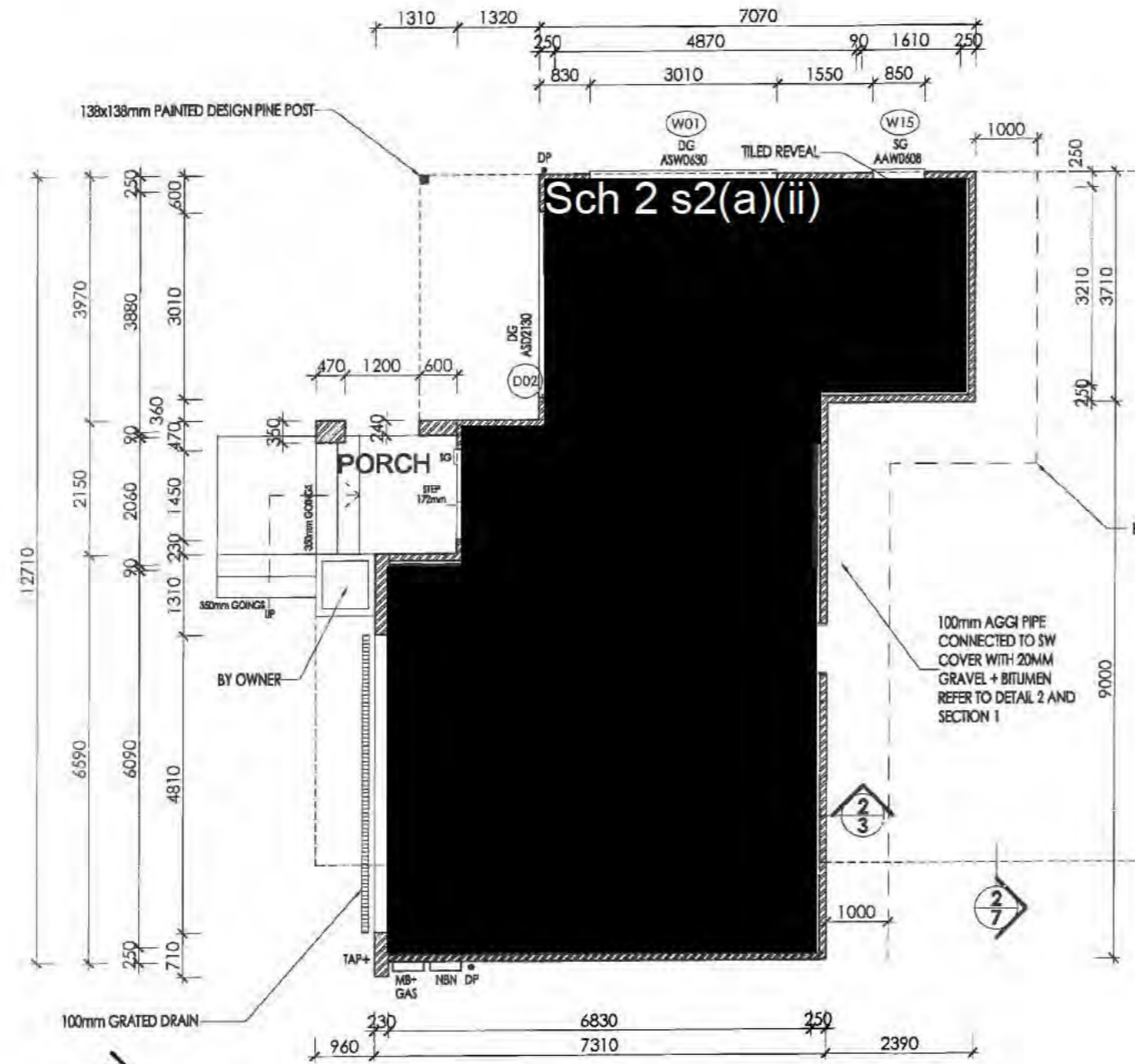
 <p>BLACKETT PROPERTY GROUP</p>	<p>DESIGN :</p> <p>solarcert BUILDING DESIGNS info@solarcert.com.au - (02) 62901819</p>	<p>PROPOSED RESIDENCE</p> <p>BLOCK: 6 SECTION: 34</p> <p>SUBURB: LAWSON</p> <p>CLIENT: Sch 2 s2(a)(ii)</p>	<p>SHEET TITLE SITE PLAN</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>DATE</td> <td>JOB NO:</td> <td>DRAWN BY</td> </tr> <tr> <td>16 SEPT 2016</td> <td>4373</td> <td>RLdS</td> </tr> <tr> <td>SCALE</td> <td>REVISION</td> <td>DWG NO</td> </tr> <tr> <td>1:200 @ A3</td> <td>D</td> <td>2</td> </tr> </table>	DATE	JOB NO:	DRAWN BY	16 SEPT 2016	4373	RLdS	SCALE	REVISION	DWG NO	1:200 @ A3	D	2
DATE	JOB NO:	DRAWN BY													
16 SEPT 2016	4373	RLdS													
SCALE	REVISION	DWG NO													
1:200 @ A3	D	2													

NOTE:
 FLOOR - CEILING 2400mm [LOWER] + 2700mm [UPPER]
 INTERNAL DOORS 2040mm
 CEILING INSULATION R5.0
 WALL INSULATION R2.5
 ROOF EAVES 450mm
 ROOF PITCH 20 DEGREES
 R2.5 BATTS TO SUBFLOOR

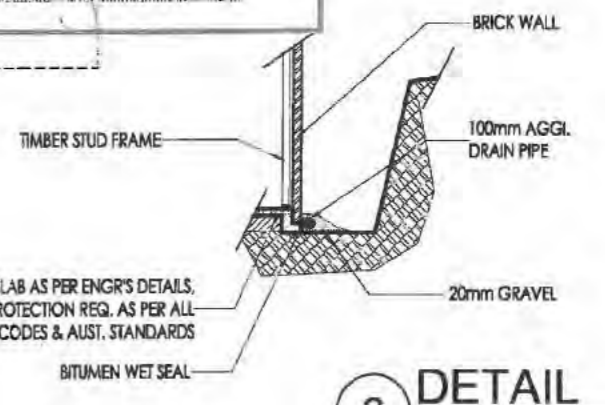
STAIR CONSTRUCTION TO BCA 3.9.1 -
 - CEILING HEIGHT IN STAIRWAY MIN. 2m MEASURED VERTICALLY ABOVE NOSING LINE BCA 3.8.2.2.
 - OPENINGS BETWEEN TREADS/BALURSTADES NOT TO PERMIT 125mm SPHERE TO PASS THROUGH.
 - TREAD SURFACE OR NOSING STRIP TO HAVE A SLIP RESISTANCE CLASSIFICATION PER TABLE 3.9.1.1.
 - RISER AND GOINGS TO BE IN ACCORDANCE WITH BCA FIG. 3.9.1.2
 - PROVIDE HANDRAIL ALONG FULL LENGTH OF THE FLIGHT. TOP SURFACE OF HANDRAIL TO BE NO LESS THAN 865mm VERTICALLY ABOVE THE STAIR TREAD NOSING - BCA 3.9.2.4.

* PROVIDE UPPER FLOOR WINDOW PROTECTION - IN ACCORDANCE WITH PART 3.9.2.5 OF BCA VOL 2.

BUILDING APPROVAL
 Issued under section 28 of the Building Act 2004
Certified Building Solutions Pty Ltd
29 NOV 2016
 Licence No: 200426203



Land Development Agency
LAWSON
 The plans bearing this stamp have been assessed by the LDA and found to be compliant with Section 4 and 5 of the Lawson Single 1 Housing Development Guidelines. The LDA's endorsement of the Buyers Plans as Compliant means only that they comply with these requirements. The LDA's endorsement does not constitute an approval for building or development. The LDA's endorsement does not mean that the plans comply with the Territory Plan or with any requirement of EPD or any other relevant authority, or that any necessary development or building approval will be given (whether with or without assessment of the plans).
Katrina Lauc on behalf of Stacey
 ENDORSED BY: Quayle
 DATE: 18 October 2016
 REFERENCE: B6 S34 Lawson 149
 SIGNATURE: *Quayle*



1 FLOOR PLAN LOWER

2 DETAIL



DESIGN :
solarcert
 BUILDING DESIGNS
 info@solarcert.com.au - (02) 62901819

PROPOSED RESIDENCE
 BLOCK: 6 SECTION: 34
 SUBURB: LAWSON
 CLIENT: Sch 2 s2(a)(ii)

SHEET TITLE		
FLOOR PLAN - LOWER		
DATE	JOB NO:	DRAWN BY
16 SEP. 2016	4373	RLdS
SCALE	REVISION	DWG NO
1:100 @ A3	E	3

NOTE:
 FLOOR - CEILING
 INTERNAL DOORS
 CEILING INSULATION
 WALL INSULATION
 ROOF EAVES
 ROOF PITCH
 R2.5 BATTS TO SUBFLOOR

2400mm [LOWER] + 2700mm [UPPER]
 2040mm
 R5.0
 R2.5
 450mm
 20 DEGREES

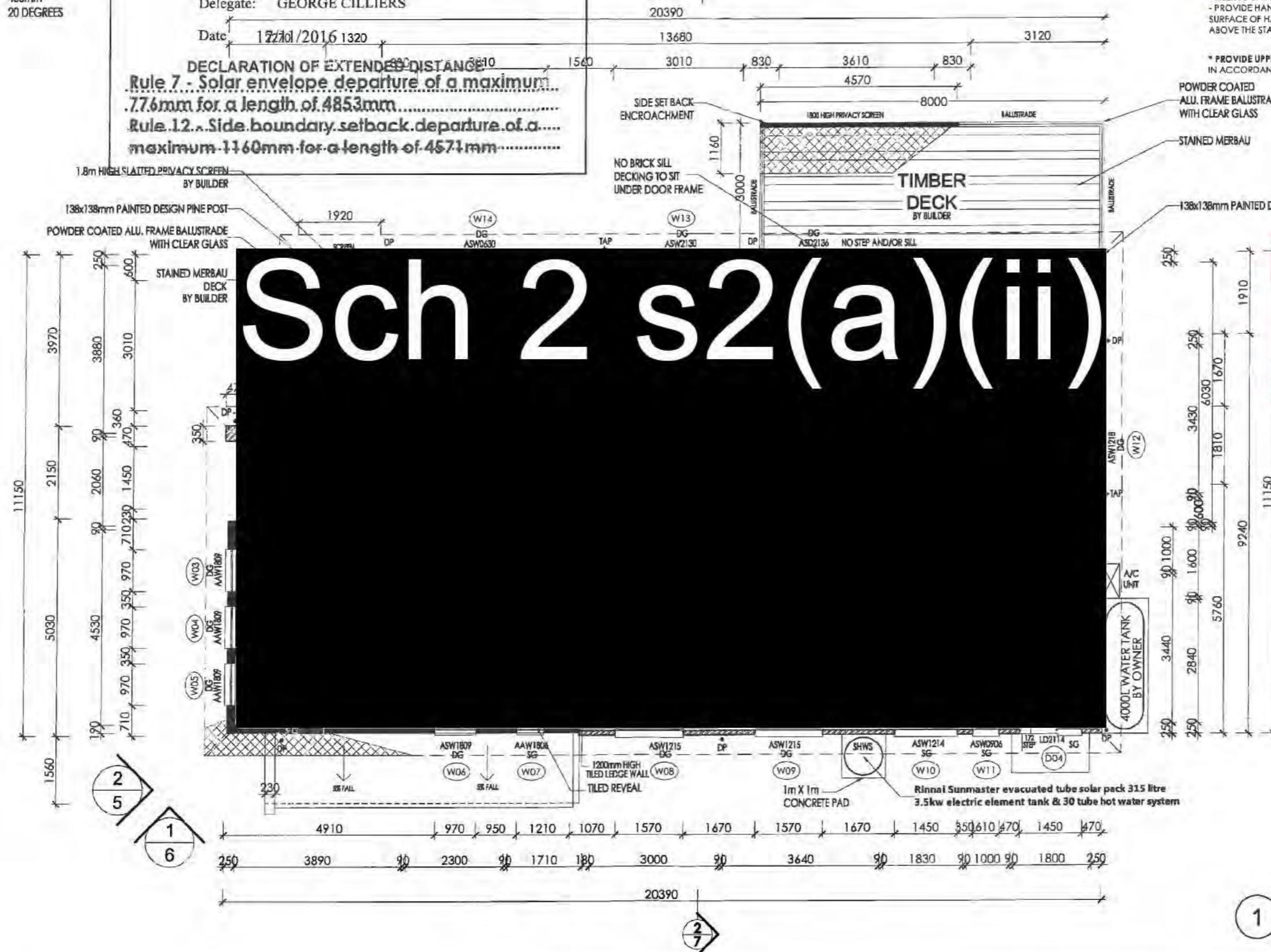
APPROVED

PURSUANT TO SECTION 1.100A/1.100AB OF THE
 PLANNING AND DEVELOPMENT REGULATION 2008

Delegate: GEORGE CILLIERS

Date: 17/11/2016 1320

DECLARATION OF EXTENDED DISTANCE
 Rule 7 - Solar envelope departure of a maximum
 776mm for a length of 4853mm
 Rule 12 - Side boundary setback departure of a
 maximum 1160mm for a length of 4571mm



STAIR CONSTRUCTION TO BCA 3.9.1 -
 - CEILING HEIGHT IN STAIRWAY MIN. 2m MEASURED VERTICALLY
 ABOVE NOSING LINE BCA 3.8.2.2.
 - OPENINGS BETWEEN TREADS/BALURSTADES NOT TO PERMIT 125mm
 SPHERE TO PASS THROUGH.
 - TREAD SURFACE OR NOSING STRIP TO HAVE A SLIP RESISTANCE
 CLASSIFICATION PER TABLE 3.9.1.1.
 - RISER AND GOINGS TO BE IN ACCORDANCE WITH BCA FIG. 3.9.1.2.
 - PROVIDE HANDRAIL ALONG FULL LENGTH OF THE FLIGHT. TOP
 SURFACE OF HANDRAIL TO BE NO LESS THAN 855mm VERTICALLY
 ABOVE THE STAIR TREAD NOSING - BCA 3.9.2.4.

* PROVIDE UPPER FLOOR WINDOW PROTECTION -
 IN ACCORDANCE WITH PART 3.9.2.5 OF BCA VOL 2.

POWDER COATED
 ALU. FRAME BALUSTRADE
 WITH CLEAR GLASS

STAINED MERBAU

138x138mm PAINTED DESIGN PINE POST

BUILDING APPROVAL
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 Certified Building Solutions Pty Ltd
 29 NOV 2016
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 200426203

Sch 2 s2(a)(ii)

**1 FLOOR PLAN
 UPPER**



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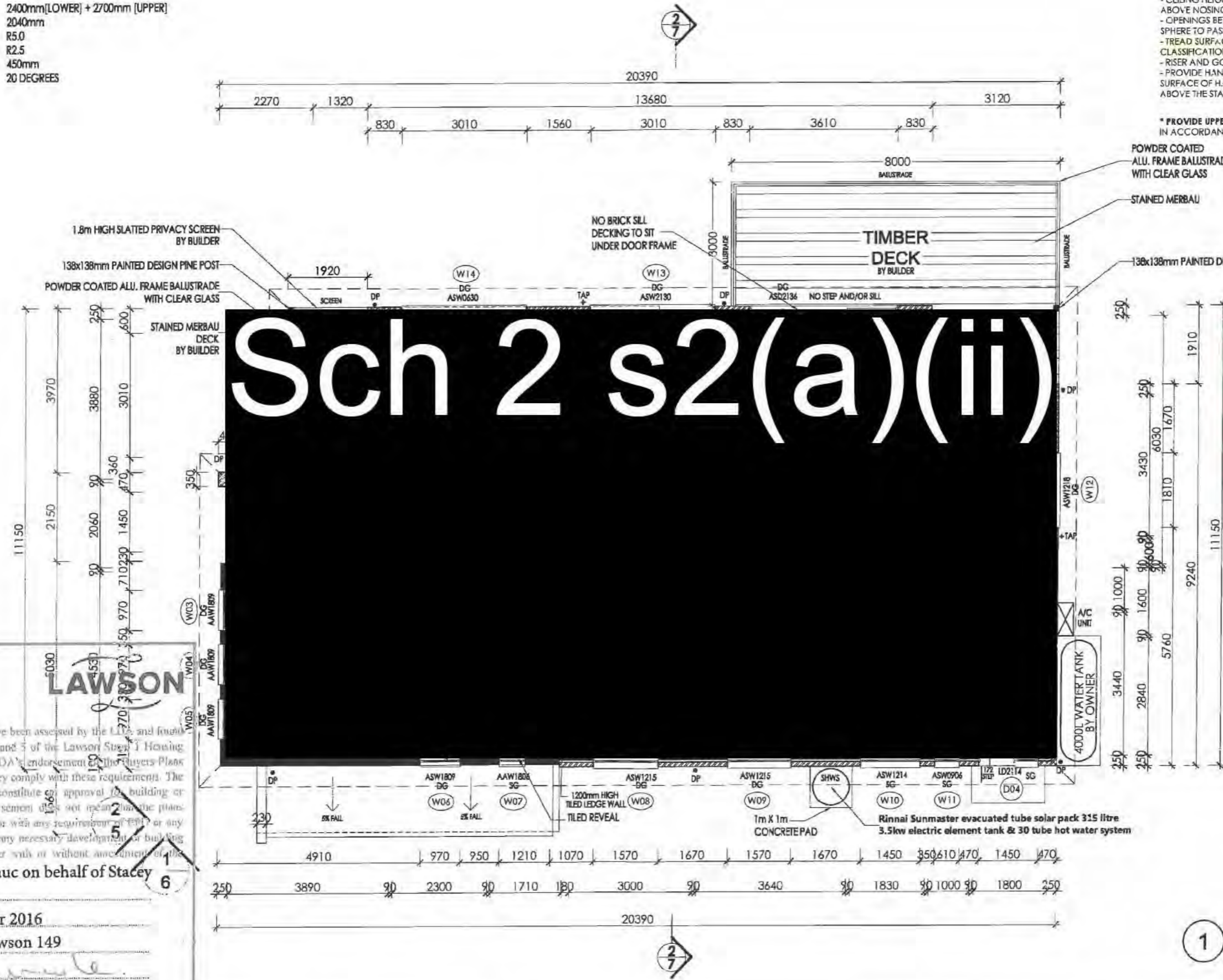
PROPOSED RESIDENCE
 BLOCK: 6 SECTION: 34
 SUBURB: LAWSON
 CLIENT: Sch 2 s2(a)(ii)

SHEET TITLE
FLOOR PLAN - UPPER
 DATE: 15 NOV. 2016
 JOB NO: 4373
 SCALE: 1:100 @ A3
 DRAWN BY: RLdS
 REVISION: 1
 DWG NO: 4

NOTE:
 FLOOR - CEILING 2400mm [LOWER] + 2700mm [UPPER]
 INTERNAL DOORS 2040mm
 CEILING INSULATION R5.0
 WALL INSULATION R2.5
 ROOF EAVES 450mm
 ROOF PITCH 20 DEGREES
 R2.5 BATTS TO SUBFLOOR

STAIR CONSTRUCTION TO BCA 3.9.1 -
 - CEILING HEIGHT IN STAIRWAY MIN. 2m MEASURED VERTICALLY ABOVE NOSING LINE BCA 3.8.2.2.
 - OPENINGS BETWEEN TREADS/BALURSTADES NOT TO PERMIT 125mm SPHERE TO PASS THROUGH.
 - TREAD SURFACE OR NOSING STRIP TO HAVE A SLIP RESISTANCE CLASSIFICATION PER TABLE 3.9.1.1.
 - RISER AND GOINGS TO BE IN ACCORDANCE WITH BCA FIG. 3.9.1.2
 - PROVIDE HANDRAIL ALONG FULL LENGTH OF THE FLIGHT. TOP SURFACE OF HANDRAIL TO BE NO LESS THAN 865mm VERTICALLY ABOVE THE STAIR TREAD NOSING - BCA 3.9.2.4.

* PROVIDE UPPER FLOOR WINDOW PROTECTION - IN ACCORDANCE WITH PART 3.9.2.5 OF BCA VOL 2.



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- Developer Approval
- ESDD Approval
- Energy Efficiency Rating
- Reference Only

Land Development Agency
LAWSON
 The plans bearing this stamp have been assessed by the LDA and found to be compliant with Section 4 and 5 of the Lawson Street Housing Development Guidelines. The LDA's endorsement of the Plans as Compliant means only that they comply with these requirements. The LDA's endorsement does not constitute approval of building or development. The LDA's endorsement does not mean that the plans comply with the Territory Plan or with any requirements of EPA or any other relevant authority, or that any necessary development or building approval will be given (whether with or without amendment of the plans).
 Endorsed by: Katrina Lauc on behalf of Stacey Quayle
 DATE: 18 October 2016
 REFERENCE: B6 S34 Lawson 149
 SIGNATURE: *Stacey Quayle*

1 FLOOR PLAN UPPER

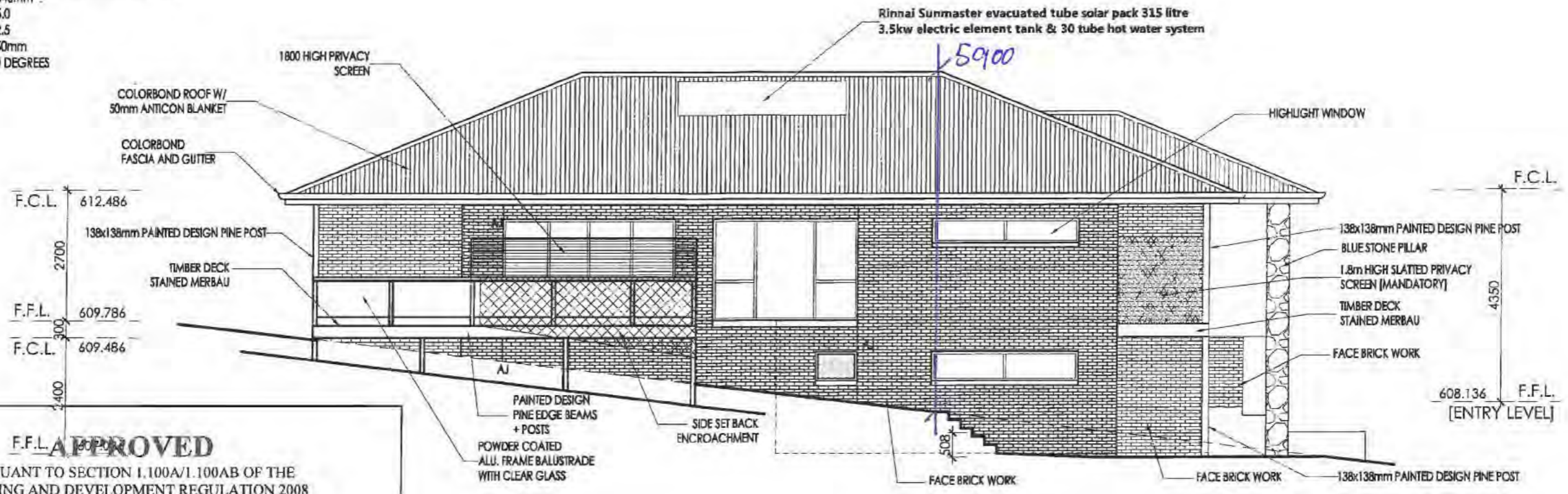


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PROPOSED RESIDENCE
 BLOCK: 6 SECTION: 34
 SUBURB: LAWSON
 CLIENT: Sch 2 s2(a)(ii)

SHEET TITLE
 FLOOR PLAN - UPPER
 DATE: 28 SEP. 2016 JOB NO: 4373 DRAWN BY: RLdS
 SCALE: 1:100 @ A3 REVISION: H DWG NO: 4

NOTE
 FLOOR - CEILING 2400mm [LOWER] + 2700mm [UPPER]
 INTERNAL DOORS 2040mm
 CEILING INSULATION R5.0
 WALL INSULATION R2.5
 ROOF EAVES 450mm
 ROOF PITCH 20 DEGREES
 R2.5 BATTS TO SUBFLOOR



1 NORTH ELEVATION

F.F.L. APPROVED
 PURSUANT TO SECTION 1.100A/1.100AB OF THE
 PLANNING AND DEVELOPMENT REGULATION 2008
 Delegate: GEORGE CILLIERS
 Date 17/11/2016
 DECLARATION OF EXTENDED DISTANCE
 Rule 7 - Solar envelope departure of a maximum
 776mm for a length of 4853mm
 Rule 12 - Side boundary setback departure of a
 maximum 1.160m for a length of 4571mm

BUILDING APPROVAL
 Issued under section 56 of the Building Act 2004
 Certified Building Solutions Pty Ltd
 29 NOV 2016
 Licence No:
 200426203



2 WEST ELEVATION



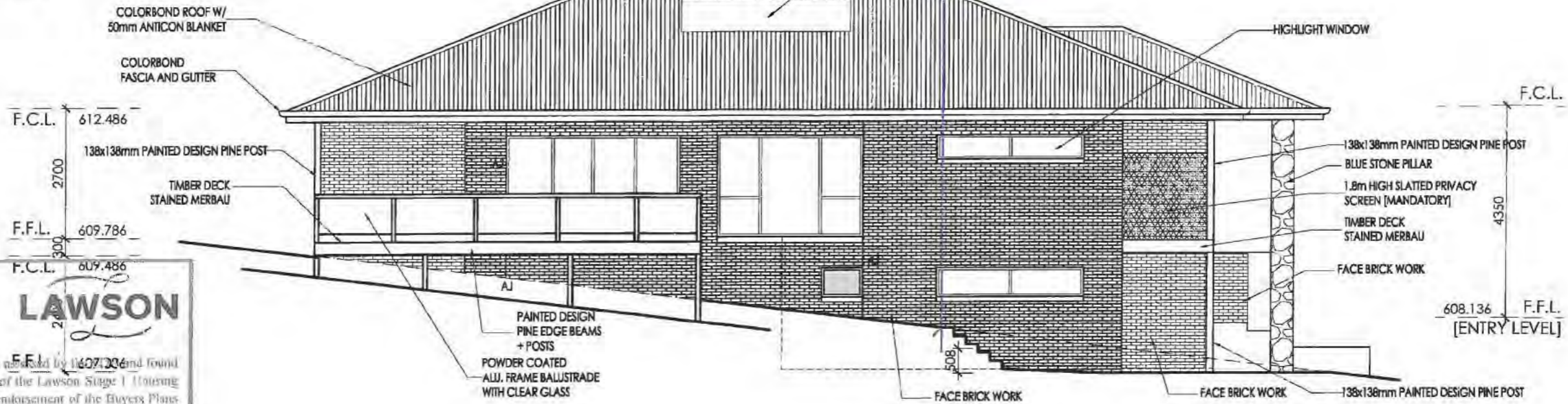
DESIGN:
solarcert
 BUILDING DESIGNS
 info@solarcert.com.au - (02) 62901819

PROPOSED RESIDENCE
 BLOCK: 6 SECTION: 34
 SUBURB: LAWSON
 CLIENT: Sch 2 s2(a)(ii)

SHEET TITLE ELEVATIONS		
DATE	JOB NO:	DRAWN BY
15 NOV. 2016	4373	RLdS
SCALE	REVISION	DWG NO
1:100 @ A3	F	5

NOTE:
 FLOOR - CEILING 2400mm [LOWER] + 2700mm [UPPER]
 INTERNAL DOORS 2040mm
 CEILING INSULATION R5.0
 WALL INSULATION R2.5
 ROOF EAVES 450mm
 ROOF PITCH 20 DEGREES
 R2.5 BATTS TO SUBFLOOR

Rinnai Sunmaster evacuated tube solar pack 315 litre
 3.5kw electric element tank & 30 tube hot water system



1 NORTH ELEVATION

Land Development Agency
LAWSON
 The plans bearing this stamp have been assessed by 11607206 and found to be compliant with Section 4 and 5 of the Lawson Stage 1 Housing Development Guidelines. The LDA's endorsement of the Buyers Plans as Compliant means only that they comply with those requirements. The LDA's endorsement does not constitute an approval for building or development. The LDA's endorsement does not mean that the plans comply with the Territory Plan or with any requirement of EPD or any other relevant authority, or that any necessary development or building approval will be given (whether with or without amendment of the plans).
 Katrina Lauc on behalf of Stacey
 ENDORSED BY: Quayle
 DATE: 18 October 2016
 REFERENCE: B6 S34 Lawson 149
 SIGNATURE: *Quayle*

THIS COPY RETAINED FOR:

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- Energy Efficiency Rating
- Reference Only



2 WEST ELEVATION



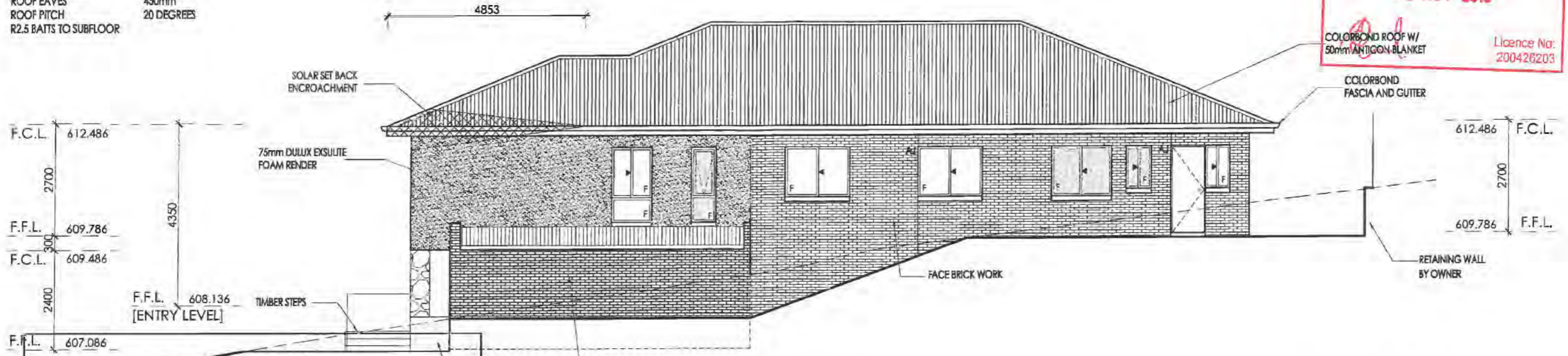
DESIGN:
solarcert
 BUILDING DESIGNS
 info@solarcert.com.au - (02) 62901819

PROPOSED RESIDENCE
 BLOCK: 6 SECTION: 34
 SUBURB: LAWSON
 CLIENT: Sch 2 s2(a)(ii)

SHEET TITLE		
ELEVATIONS		
DATE	JOB NO:	DRAWN BY
28 SEP. 2016	4373	RLdS
SCALE	REVISION	DWG NO
1:100 @ A3	E	5

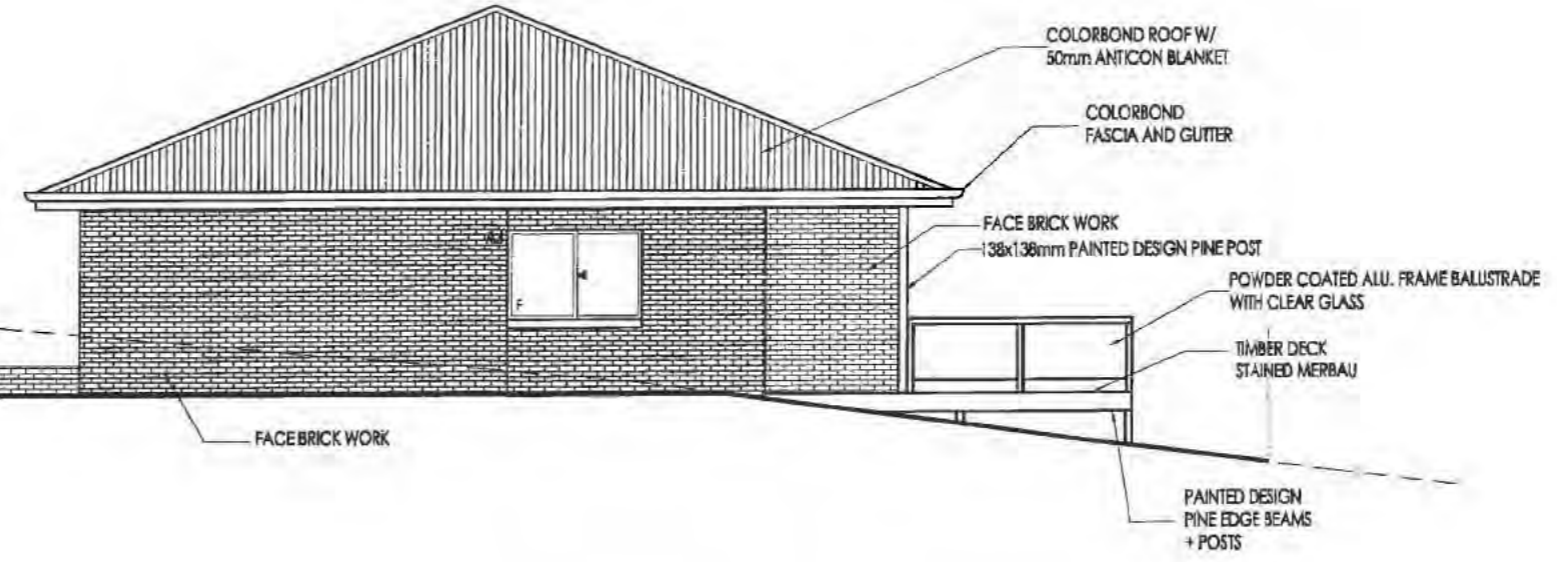
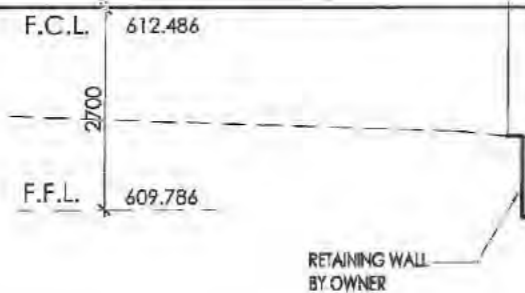
NOTE:
 FLOOR - CEILING 2400mm [LOWER] + 2700mm [UPPER]
 INTERNAL DOORS 2040mm
 CEILING INSULATION R5.0
 WALL INSULATION R2.5
 ROOF EAVES 450mm
 ROOF PITCH 20 DEGREES
 R2.5 BAITS TO SUBFLOOR

BUILDING APPROVAL
 Issued under section 48 of the Building Act 2004
 Certified Building Solutions Pty Ltd
29 NOV 2016
 Licence No: 200426203



1 SOUTH ELEVATION

APPROVED
 PURSUANT TO SECTION 1.100A/1.100AB OF THE PLANNING AND DEVELOPMENT REGULATION 2008
 Delegate: GEORGE CILLIERS
 Date 17/11/2016
 DECLARATION OF EXTENDED DISTANCE
 Rule 7 - Solar envelope departure of a maximum of 776mm for a length of 4853mm
 Rule 12 - Side boundary setback departure of a maximum of 1160mm for a length of 4571mm



2 EAST ELEVATION

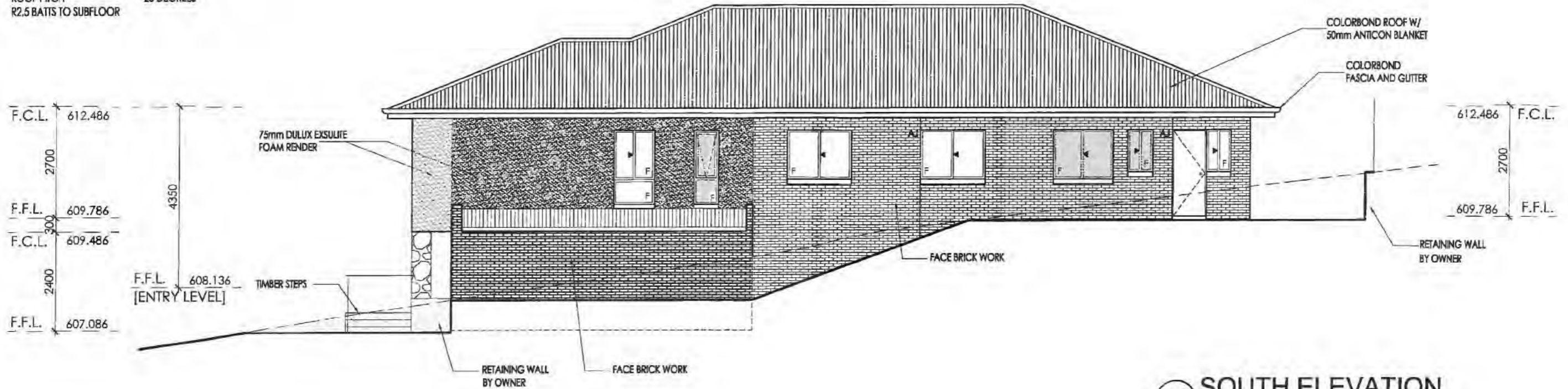


DESIGN:
solarcert
 BUILDING DESIGNS
 info@solarcert.com.au - (02) 62901819

PROPOSED RESIDENCE
 BLOCK: 6 SECTION: 34
 SUBURB: LAWSON
 CLIENT: Sch 2 s2(a)(ii)

SHEET TITLE		
ELEVATIONS		
DATE	JOB NO:	DRAWN BY
16 SEP. 2016	4373	RLdS
SCALE	REVISION	DWG NO
1:100 @ A3	E	6

NOTE:
 FLOOR - CEILING 2400mm [LOWER] + 2700mm [UPPER]
 INTERNAL DOORS 2040mm
 CEILING INSULATION R5.0
 WALL INSULATION R2.5
 ROOF EAVES 450mm
 ROOF PITCH 20 DEGREES
 R2.5 BATTS TO SUBFLOOR



1 SOUTH ELEVATION

Land Development Agency
LAWSON

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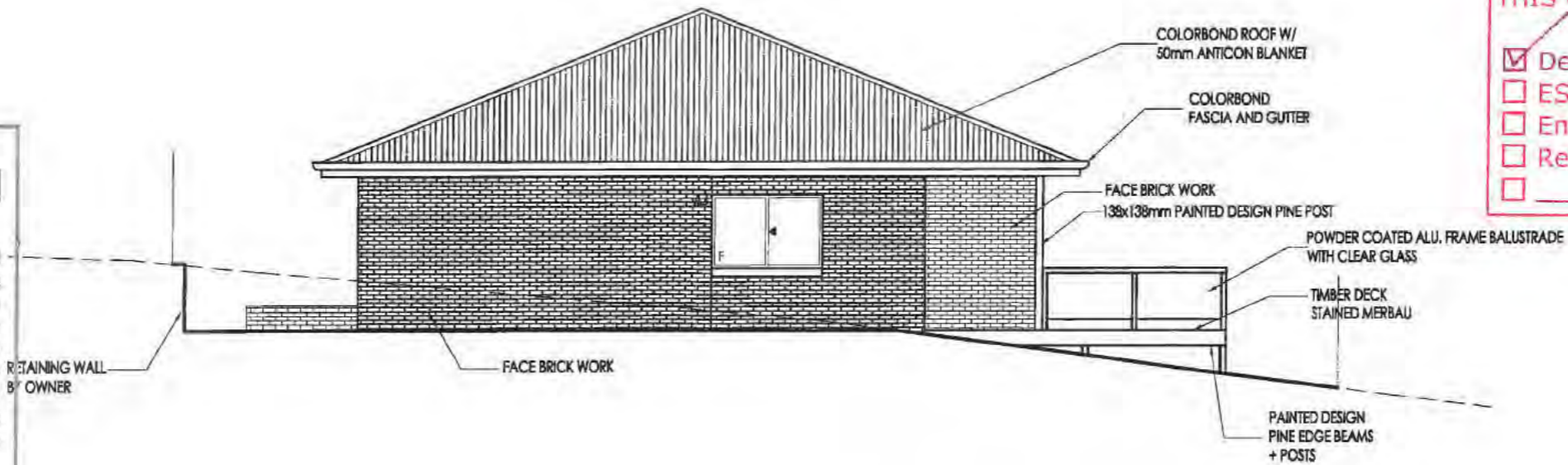
Katrina Lauc on behalf of Stacey

ENDORSED BY: Quayle

DATE: 18 October 2016

REFERENCE: B6 S34 Lawson 149

SIGNATURE: *Quayle*



2 EAST ELEVATION

THIS COPY RETAINED FOR:

- Developer Approval
- ESDD Approval
- Energy Efficiency Rating
- Reference Only

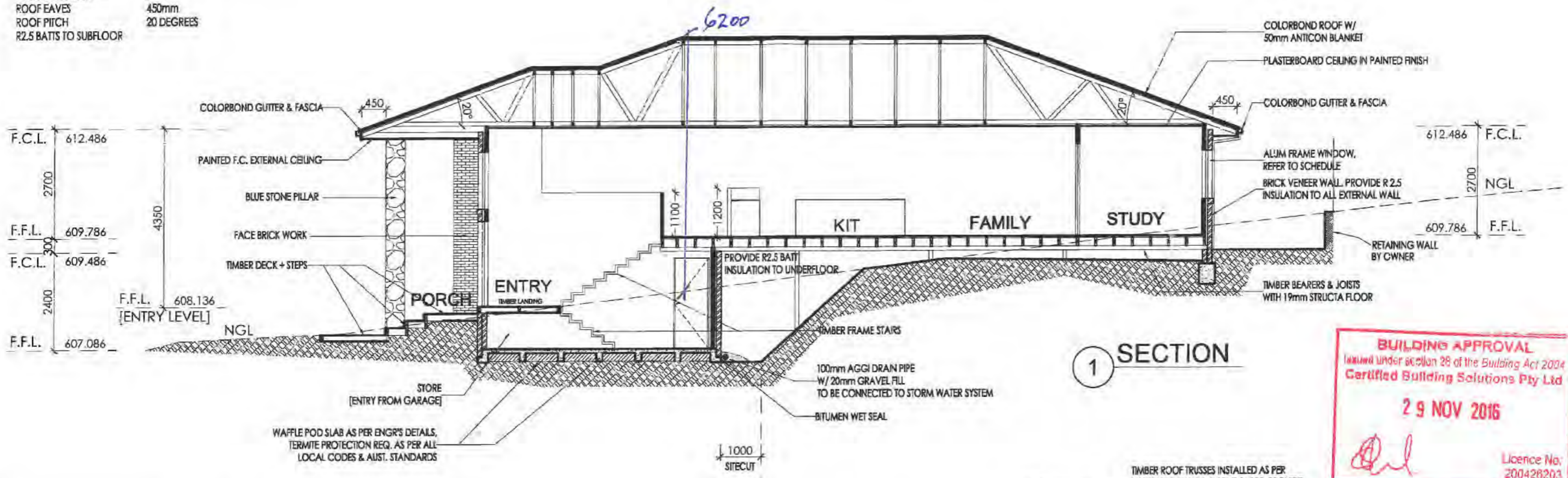


DESIGN :
solarcert
 BUILDING DESIGNS
 info@solarcert.com.au - (02) 62901819

PROPOSED RESIDENCE
 BLOCK: 6 SECTION: 34
 SUBURB: LAWSON
 CLIENT: Sch 2 s2(a)(ii)

SHEET TITLE		
ELEVATIONS		
DATE	JOB NO:	DRAWN BY
16 SEP. 2016	4373	RLdS
SCALE	REVISION	DWG NO
1:100 @ A3	E	6

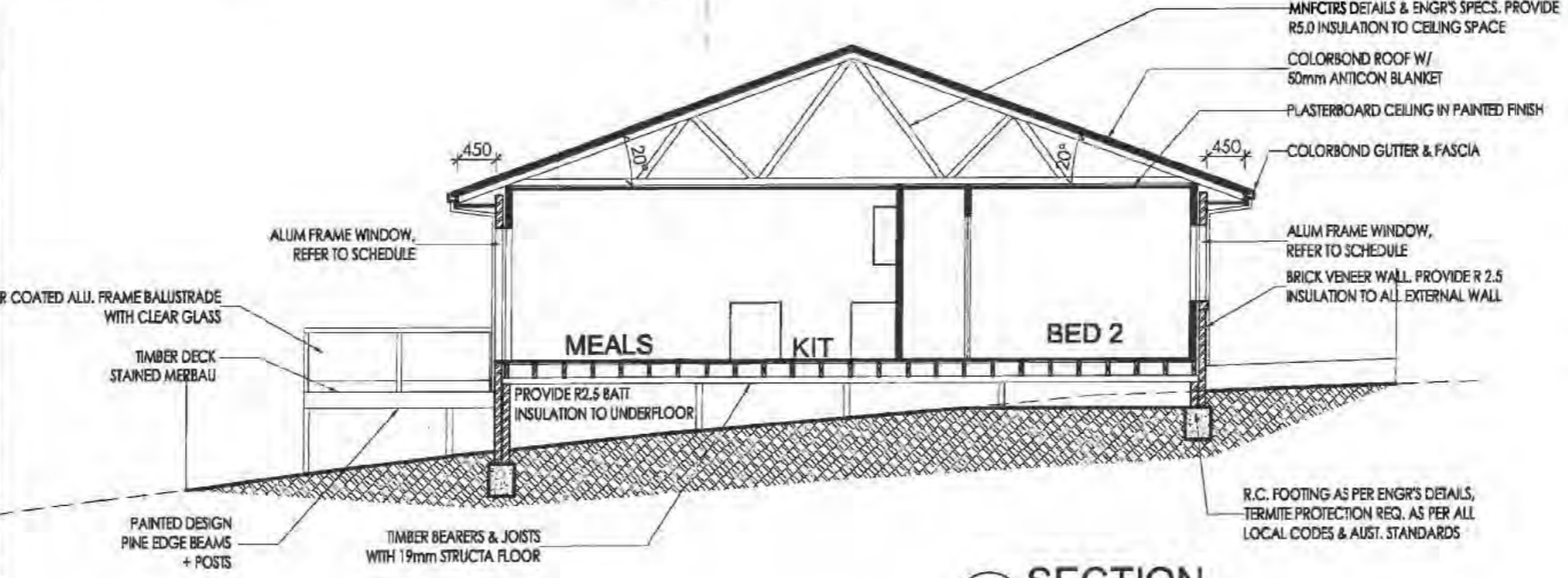
NOTE:
 FLOOR - CEILING 2400mm [LOWER] + 2700mm [UPPER]
 INTERNAL DOORS 2040mm
 CEILING INSULATION R5.0
 WALL INSULATION R2.5
 ROOF EAVES 450mm
 ROOF PITCH 20 DEGREES
 R2.5 BATTS TO SUBFLOOR



1 SECTION

BUILDING APPROVAL
 Issued under section 28 of the Building Act 2004
 Certified Building Solutions Pty Ltd
 29 NOV 2016
 Licence No. 200428203

LAWSON
 Land Development Agency
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 Katrina Lauc on behalf of Stacey Quayle
 ENDORSED BY Quayle
 DATE 18 October 2016
 REFERENCE B6 S34 Lawson 149
 SIGNATURE *Stacey Quayle*



2 SECTION



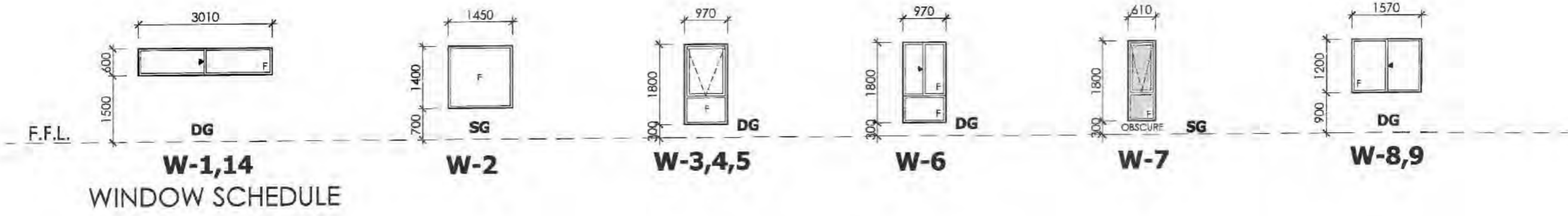
DESIGN :
solarcert
 BUILDING DESIGNS
 info@solarcert.com.au - (02) 62901819

PROPOSED RESIDENCE
 BLOCK: 6 SECTION: 34
 SUBURB: LAWSON
 CLIENT: Sch 2 s2(a)(ii)

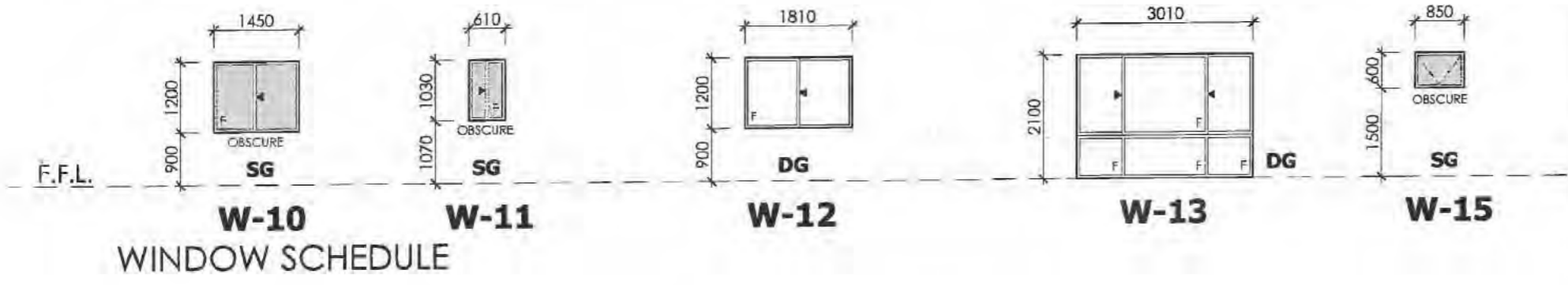
SHEET TITLE		
SECTION		
DATE	JOB NO:	DRAWN BY
12 SEP. 2016	4373	RLdS
SCALE	REVISION	DWG NO
1:100 @ A3	D	7

NOTE:
 BUILDER AND MANUFACTURER TO VERIFY DIMENSIONS
 PRIOR TO MANUFACTURING AND INSTALLATION.
 DOORS & WINDOWS ARE VIEWED FROM OUTSIDE,
 REFER TO ELEVATION FOR WINDOW POSITION.

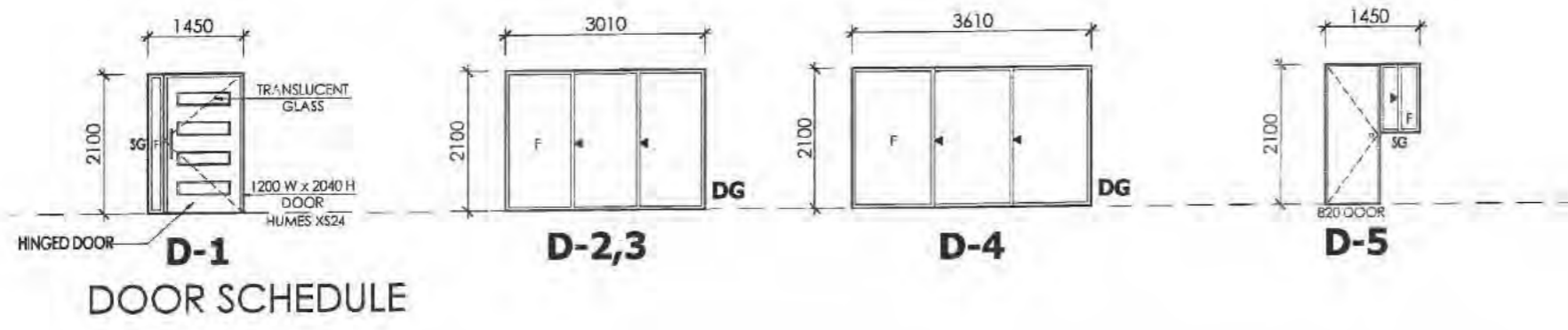
ENERGY EFFICIENCY, BCA pt.3.12
 - WALL AND CEILING INSULATION, WINDOW FRAMES AND GLAZING
 ARE ALL TO CONFORM TO THAT SPECIFIED IN THE ACCOMPANYING
 ENERGY RATING REPORT.



WINDOW SCHEDULE



WINDOW SCHEDULE



DOOR SCHEDULE

Land Development Agency
LAND DEVELOPMENT AGENCY

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Katrina Lauc on behalf of Stacey

ENDORSED BY: Quayle

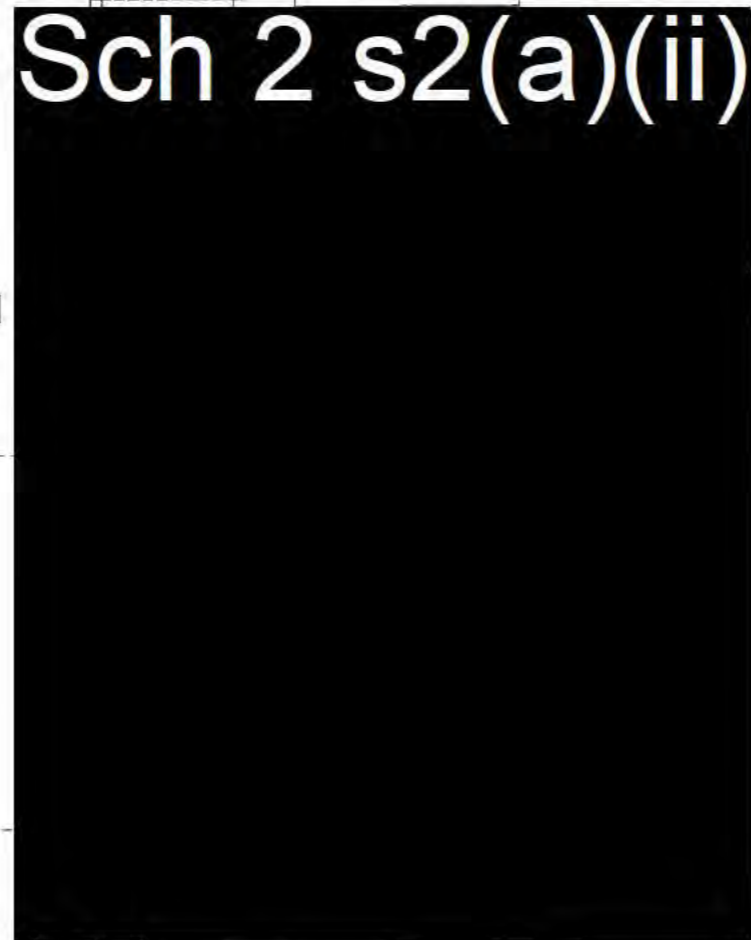
DATE: 18 October 2016

REFERENCE: B6 S34 Lawson 149

SIGNATURE: [Signature]

1 GLAZING SCHEDULE

	DESIGN:	<p>BUILDING DESIGNS info@solarcert.com.au - (02) 62901819</p>	PROPOSED RESIDENCE		SHEET TITLE		
				BLOCK: 6	SECTION: 34	GLAZING SCHEDULE	
			SUBURB: LAWSON		DATE	JOB NO:	DRAWN BY
			CLIENT: Sch 2 s2(a)(ii)		12 SEP. 2016	4373	RLdS
					SCALE	REVISION	DWG NO
					1:100 @ A3	D	8



NBN
GAS

LEGEND

- CIRCULAR FLUORESCENT LIGHT
- LIGHT
- Ⓛ RECESSED LED - SUPPLIED BY ELECTRICIAN
- Ⓟ PENDANT LIGHT - SUPPLIED BY OWNER
- ⌋ WALL LIGHT
- ⤴ SWITCH
- ⤵ DOUBLE POWER POINT
- SINGLE POWER POINT
- TV ► TV CONNECTION
- PH ► TELEPHONE CONNECTION
- FOX ► FOXTEL CONNECTION
- Ⓛ ► DATA - CAT 6 CABLE
- ⊙ CEILING EXHAUST FAN
- ☼ SMOKE DETECTOR
- ⊠ IXL TASTIC HEAT/FAN/LIGHT 4 GLOBE
- DOUBLE PARA FLOOD LIGHT W/ SENSOR

☼ SMOKE DETECTORS - NCC Vol. 2 - 2014 EDITION REQUIRES INTERCONNECTION OF SMOKE ALARMS WHERE MORE THAN ONE ALARM IS INSTALLED.

THREE PHASE POWER

Land Development Agency

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Katrina Lauc on behalf of Stacey

ENDORSED BY: Quayle

DATE: 18 October 2016

REFERENCE: B6 S34 Lawson 149

SIGNATURE: Quayle

1 ELECTRICAL PLAN
LOWER



DESIGN :

solarcert
BUILDING DESIGNS
info@solarcert.com.au - (02) 62901819

PROPOSED RESIDENCE

BLOCK: 6 SECTION: 34
SUBURB: LAWSON
CLIENT: Sch 2 s2(a)(ii)

SHEET TITLE

ELECTRICAL PLAN - LOWER

DATE	JOB NO:	DRAWN BY
16 SEPT 2016	4373	RLdS
SCALE	REVISION	DWG NO
1:100 @ A3	D	9



LAWSON

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Katrina Lauc on behalf of Stacey

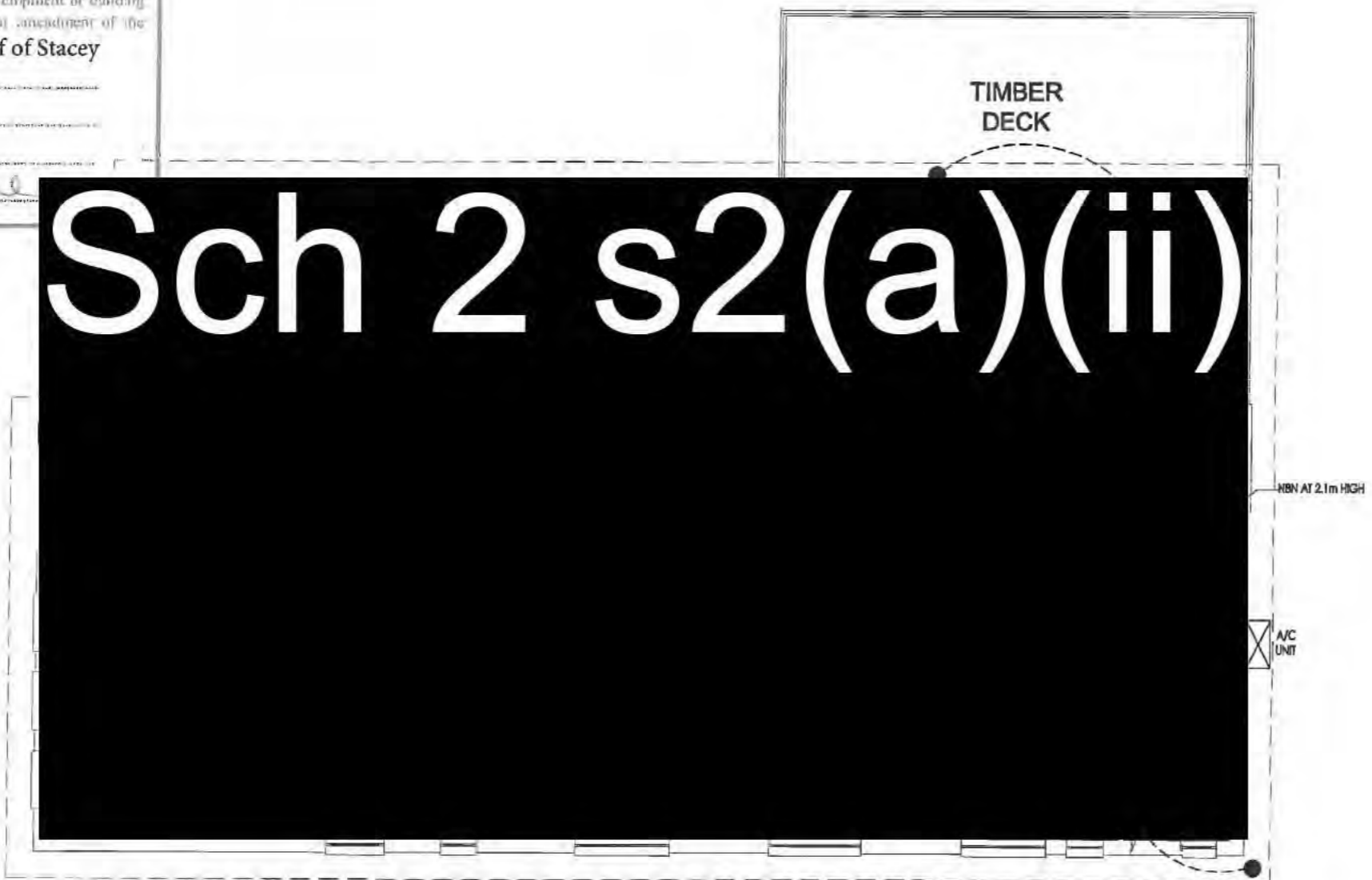
ENDORSED BY: Quayle

DATE: 18 October 2016

REFERENCE: B6 S34 Lawson 149

SIGNATURE: *Quayle*

Sch 2 s2(a)(ii)



LEGEND

- CIRCULAR FLUORESCENT
- LIGHT
- Ⓛ RECESSED LED - SUPPLIED BY ELECTRICIAN
- Ⓟ PENDANT LIGHT - SUPPLIED BY OWNER
- Ⓜ WALL LIGHT
- Ⓢ SWITCH
- Ⓛ DOUBLE POWER POINT
- Ⓛ SINGLE POWER POINT
- TV TV CONNECTION
- PH TELEPHONE CONNECTION
- FOX FOXTEL CONNECTION
- D DATA - CAT 6 CABLE
- ⊙ CEILING EXHAUST FAN
- ⚡ SMOKE DETECTOR
- ⊠ 1 XL TASTIC HEAT/FAN/LIGHT - 4 GLOBE
- DOUBLE PARA FLOOD LIGHT W/ SENSOR

GAS COOKTOP

NBN - INCOMING PHONE + DATA FROM EXT.
NBN BOX TO BED 4 CUPBOARD
ALL PHONE + DATA TO RUN TO 5 GANG
+ 2 GANG PLATES IN BED 4 CUPBOARD.

⚡ SMOKE DETECTORS - NCC Vol. 2 - 2014 EDITION
REQUIRES INTERCONNECTION OF SMOKE ALARMS
WHERE MORE THAN ONE ALARM IS INSTALLED.

THREE PHASE POWER

NESS SECURITY SYSTEM INCLUDING 4 DETECTORS, 2 DOOR READ
SWITCHES, LCD CODE PAD, INTERNAL + EXTERNAL SIRENS

PENDANT LIGHTS + WALL LIGHTS
SUPPLIED BY OWNER

1 ELECTRICAL PLAN UPPER



DESIGN :

solarcert
BUILDING DESIGNS
info@solarcert.com.au - (02) 62901819

PROPOSED RESIDENCE

BLOCK: 6 SECTION: 34

SUBURB: LAWSON

CLIENT: Sch 2 s2(a)(ii)

SHEET TITLE

ELECTRICAL PLAN - UPPER

DATE: 16 SEP, 2016 JOB NO: 4373 DRAWN BY: RLdS

SCALE: 1:100 @ A3 REVISION: F DWG NO: 10



LAWSON

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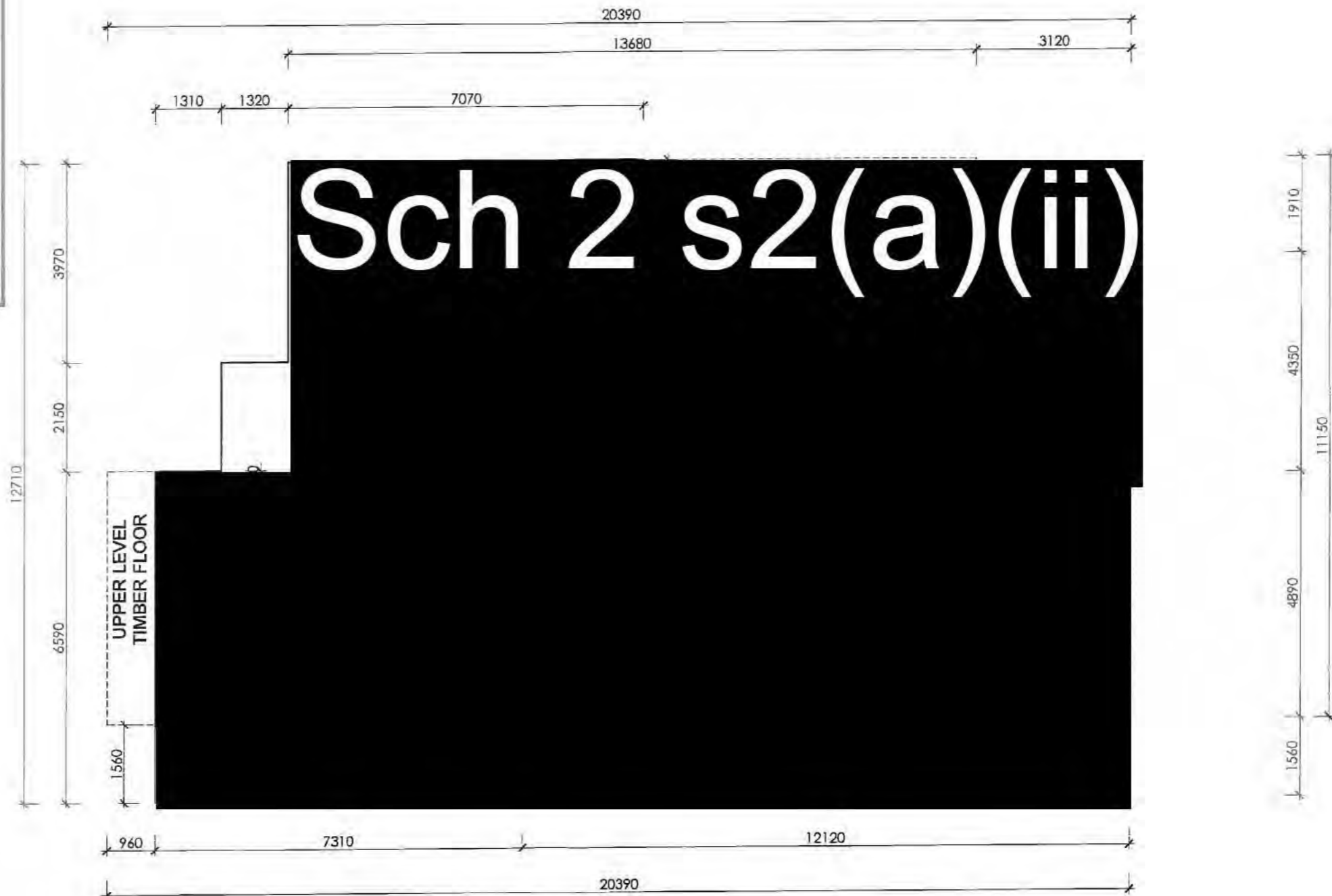
Katrina Lauc on behalf of Stacey

ENDORSED BY Quayle

DATE 18 October 2016

REFERENCE B6 S34 Lawson 149

SIGNATURE [Signature]



ALL SETDOWN DIMENSIONS INCLUDE 20mm EXTRA AS REQUIRED
TIMBER FRAMES TO SPLITS GREATER THAN 172mm TO SIT ON LOWER LEVEL

1 SLAB SETDOWN PLAN



BLACKETT
PROPERTY GROUP

DESIGN :

solarcert
BUILDING DESIGNS
info@solarcert.com.au - (02) 62901819

PROPOSED RESIDENCE

BLOCK: 6 SECTION: 34

SUBURB: LAWSON

CLIENT: **Sch 2 s2(a)(ii)**

SHEET TITLE
SLAB SETDOWN PLAN

DATE JOB NO: DRAWN BY

25 AUG. 2016 4373 RLdS

SCALE REVISION DWG NO

1:100 @ A3 B 11

NOTES:

EXISTING TREES

All trees are to be retained.
Existing crown clearances not to be altered.
Ensure construction equipment can pass beneath lowest limbs.
Crowns and apex of canopy not to be altered or reduced.

SERVICE ENTRY TO SITE

All trenching work to verges to be submitted to city parks for approval.
Number of verge crossings to be minimized.

FENCING

Fence off existing trees beneath the extent of the crown spread or along kerbs.
Use 1800mm high chain mesh fence.
Fencing to be erected on the commencement of construction and removed at the commencement of landscaping.

STORAGE OF MATERIALS

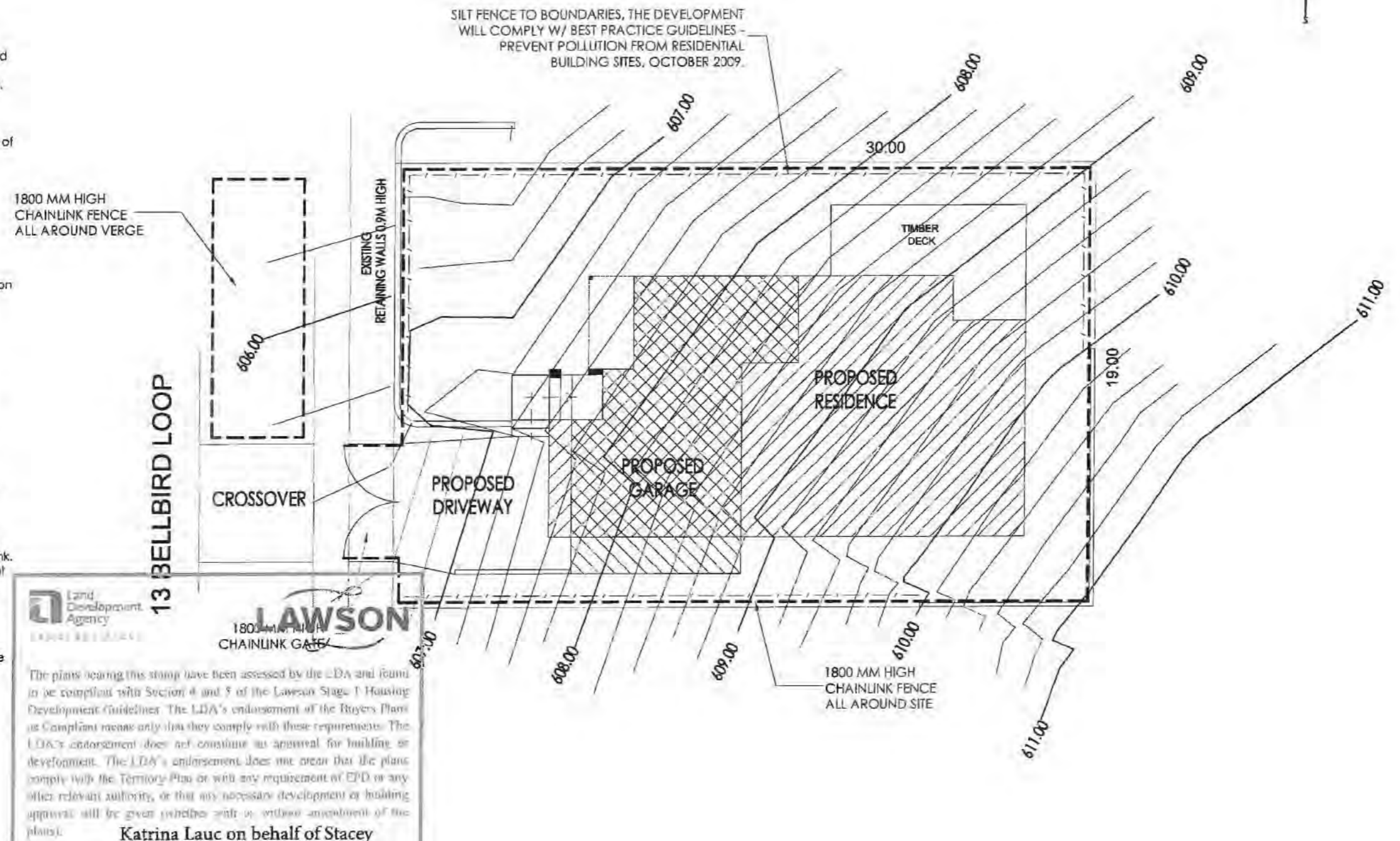
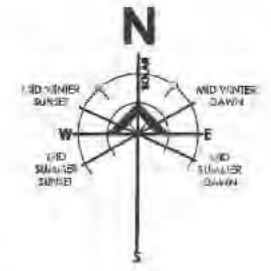
No construction materials are to be stored on the verge.
No car parking or equipment parking permitted on verges.

RESTORATION WORK

Verge to be completely reinstated on completion including grading, grassing and/or turf to city parks requirements.

NOTES FROM LANDSCAPE DESIGN & CONSTRUCTION GUIDELINES

Do not excavate within the feeder zone of any mature Eucalyptus species.
All work within the drip zone must be undertaken by hand.
Do not sever large roots (>30mm diameter) closer than halfway from drip line to the trunk.
All roots must be cut cleanly with equipment specifically designed to cut roots or other pruning equipment.
Roots exposed during excavation must be protected from desiccation.
Excavation occur within the drip zone of a tree is to be restricted to one side of the tree only.



Land Development Agency
LAND DEVELOPMENT AGENCY
LAND RESOURCES

LAWSON
1800 MM HIGH CHAINLINK GATE

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Katrina Lauc on behalf of Stacey Quayle

ENDORSED BY: Stacey Quayle
DATE: 18 October 2016
REFERENCE: B6 S34 Lawson 149
SIGNATURE: [Signature]



1 SITE MANAGEMENT PLAN



DESIGN :

solarcert
BUILDING DESIGNS
info@solarcert.com.au - (02) 62901819

PROPOSED RESIDENCE
BLOCK: 6 SECTION: 34
SUBURB: LAWSON
CLIENT: **Sch 2 s2(a)(ii)**

SHEET TITLE		
SITE MANAGEMENT PLAN		
DATE	JOB NO:	DRAWN BY
19 AUG. 2016	4373	RLdS
SCALE	REVISION	DWG NO
1:200 @ A3	A	12

SAFE DESIGN OF STRUCTURES CODE OF PRACTICE

1. FALLS, SLIPS AND TRIPS

1.1 WORKING AT HEIGHTS

1.1.1 DURING CONSTRUCTION

Wherever possible, components for this building should be prefabricated off site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The Builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a possibility.

1.1.2 DURING OPERATION OR MAINTENANCE

Houses or other low-rise buildings where scaffolding is appropriate:

Cleaning and maintenance of windows, walls, roofs or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders and trestles should be used in accordance with relevant codes of practice, regulations or legislation.

Buildings where scaffolding, ladders and trestles are not appropriate:

Cleaning and maintenance of windows, walls, roofs or other components of the building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, fall barriers or Personal Protective Equipment (PPE) should be used in accordance with relevant codes of practice, regulations or legislation.

1.1.3 ANCHORAGE POINTS

Anchorage points for portable scaffold or fall arrest devices have been included in the design for use by maintenance workers. Any persons engaged to work on the building after completion of construction work should be informed about the anchorage points.

1.2 SLIPPERY OR UNEVEN SURFACES

1.2.1 FLOOR FINISHES – Specified

If finishes have been specified by the Designer, these have been selected to minimise the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes/feet. Any changes to the specified finish should be made in consultation with the designer or, if this is not practical, surfaces with an equivalent or better slip resistance should be chosen.

1.2.2 FLOOR FINISHES – By Owner

If the Designer has not been involved in the selection of surface finishes, the Owner is responsible for the selection of surface finishes in the pedestrian-trafficable areas of the building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZS 4586:2004.

1.2.3 STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

Due to the design requirements for the building, steps and/or ramps are included in the building that may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warnings during construction, maintenance, demolition, and at all times when the building operates as a workplace.

Building owners and occupiers should monitor the pedestrian access ways and, in particular, access to areas where maintenance is routinely carried out, to ensure that surfaces have not moved or cracked such that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip should be cleaned or removed from access ways.

Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce risk of trips and falls at the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

2. FALLING OBJECTS

2.1 LOOSE MATERIALS OR SMALL OBJECTS

Construction, maintenance or demolition work on or around the building is likely to involve persons working above ground level or above floor levels. Where this occurs, one of the following measures should be taken to avoid objects falling, from the area where work is being carried out, onto persons below.

1. Prevent or restrict access to areas below where the work is being carried out.
2. Provide toe boards to scaffolding and work platforms.
3. Provide a protective structure below the work area.
4. Ensure that all persons below the work area have Personal Protective Equipment.

2.2 BUILDING COMPONENTS

During construction, renovation or demolition of the building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse, which may injure persons in the area, is a possibility.

Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured, and that access to areas below the load is prevented or restricted.

3. TRAFFIC MANAGEMENT

Buildings on a major road, narrow road or steeply inclined road:

Parking of vehicles or loading/unloading of vehicles on the roadway may cause a traffic hazard. During construction, maintenance or demolition of the building, designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for supervision of these areas.

Buildings where on-site loading/unloading is restricted:

Construction of the building may require loading and unloading materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas.

All buildings:

Busy construction and demolition sites present a risk of collision when deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be implemented for the work site.

4. SERVICES

General:

Rupture of services during excavation for other activity creates a variety of risks including release of hazardous material. Existing services may be located on or around the building site. Where known, these are identified on the drawings, but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig, Telstra, etc.), appropriate excavation practice should be used and, where necessary, specialist contractors should be engaged.

Locations with underground power lines:

Underground power lines may be located in or around the site. All underground power lines must be disconnected or accurately located and adequate warning signs used prior to any construction, maintenance or demolition work commencing.

Locations with overhead power lines:

Overhead power lines may be located on or near the site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical, adequate warning in the form of bright-coloured tape or signage should be used, or a protective barrier provided.

5. MANUAL TASKS

Components within this design with a mass in excess of 25 kg should be lifted by two or more workers or by a mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass.

All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way that minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur.

Construction, maintenance and demolition of the building will require the use of portable tools and equipment. These should be fully maintained in accordance with the manufacturers' specifications and not used where faulty or, in the case of electrical equipment, not carrying a current electrical safety tag.

All safety guards and devices should be regularly checked and Personal Protective Equipment should be used in accordance with the manufacturer's specification.

6. HAZARDOUS SUBSTANCES

6.1 ASBESTOS

For alterations to or demolition of a building constructed prior to 1990, if the building was constructed prior to:
1990 – it may contain asbestos
1986 – it is likely to contain asbestos,
either in cladding material or in fire-retardant insulation material. In either case, the builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

6.2 POWDERED MATERIALS

Many materials used in construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment, including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

6.3 TREATED TIMBER

The design of the building may include provision for inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

6.4 VOLATILE ORGANIC COMPOUNDS

Many types of glues, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturers' recommendations for use must be carefully considered at all times.

6.5 SYNTHETIC MINERAL FIBRE

Glass fibre, rock wool, ceramic and other material used for thermal or acoustic insulation may contain synthetic mineral fibre which may be harmful if inhaled, or if it comes into contact with the skin, eyes or other sensitive parts of the body. Personal Protective Equipment, including protection against inhalation of harmful material, should be used when installing, removing or working near bulk insulation material.

6.6 TIMBER FLOORS

The building may contain timber floors that have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application, and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

7. CONFINED SPACES

7.1 EXCAVATION

Construction of the building and some maintenance on the building may require excavation and installation of items within the excavation. Where practical, installation should be carried out using methods that do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

7.2 ENCLOSED SPACES

For buildings with enclosed spaces where maintenance or other access may be required: Enclosed spaces within the building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.

7.3 SMALL SPACES

For buildings with small spaces where maintenance or other access may be required: Some small spaces within the building may require access by construction and maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces, they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

8. PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and the public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present, they should be secured when not fully supervised.

9. OPERATIONAL USE OF BUILDING

RESIDENTIAL BUILDINGS

The building has been designated as a residential building. If the building, at a later date, is used or intended for use as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement legislation should be applied to the new use.

NON-RESIDENTIAL BUILDINGS

Non-residential buildings where the end-use has not been identified: The building has been designed to requirements of the classification identified on the drawings. The specific use of the building is not known at the time of the design and a further assessment of the workplace health and safety issues should be undertaken at the time of fit-out for the end user.

Non-residential buildings where the end-use is known:

The building has been designed for the specific use as identified on the drawings. Where a change of use occurs at a later date, a further assessment of the workplace health and safety issues should be undertaken.

10. OTHER HIGH-RISK ACTIVITY

All electrical work should be carried out in accordance with Code of Practice: Managing Electrical Risks at the Workplace, AS/NZS 3012 and all licensing requirements.

All work using Plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the Workplace.

All work should be carried out in accordance with Code of Practice: Managing Noise and Preventing Hearing Loss at Work.

Due to the history of serious incidents, it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.

THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT.

THIS INCLUDES (BUT NOT LIMITED TO): OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, OPERATORS, RENOVATORS, MAINTAINERS AND DEMOLISHERS.



BLACKETT
PROPERTY GROUP

DESIGN :

solarcert
BUILDING DESIGNS
info@solarcert.com.au - (02) 62901819

PROPOSED RESIDENCE

BLOCK: 6 SECTION: 34

SUBURB: LAWSON

CLIENT: Sch 2 s2(a)(ii)

SHEET TITLE

SAFE DESIGN

DATE JOB NO: DRAWN BY

19 AUG, 2016 4373 RLdS

SCALE REVISION DWG NO

1:100 @ A3 A 13

NOTE:

THE DEVELOPMENT WILL COMPLY WITH THE ACT ENVIRONMENT PROTECTION AUTHORITY, ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE ACT, AUGUST 2007.

NO WHITE OR OFF WHITE METAL ROOF SHEETING AND METAL WALL CLADDING.

LIGHTING TO COMPLY WITH CLAUSE 3.12.5.5 OF THE BCA.

WATER HEATER IN A HOT WATER SUPPLY SYSTEM TO COMPLY WITH CLAUSE 3.12.5.6 OF THE BCA.

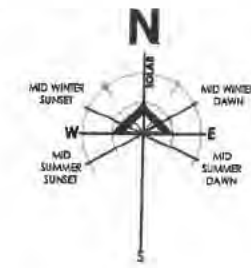
A MINIMUM OF THE 50% OF THE POS IS TO BE RETAINED AS PLANTED AREA.

WATER TANK CONNECTION - 50% OR 100m² OF ROOF PLAN AREA, WHICHEVER IS THE LESSER, IS CONNECTED TO THE TANK THE TANK IS CONNECTED TO AT LEAST A TOILET, LAUNDRY COLD WATER AND ALL EXTERNAL TAPS.

RETAINING WALLS BETWEEN THE FRONT BOUNDARY AND BUILDING LINE NOT TO BE HIGHER THAN 400mm ABOVE NATURAL GROUND LEVEL WITHOUT DEVELOPMENT APPROVAL BY ACTPLA.

THIS SITE PLAN HAS BEEN BASED ON PRELIMINARY DEVELOPERS CONTOURS ONLY. EXACT LEVELS AND SITE CUT REQUIREMENTS FOR QUOTING TO BE CONFIRMED WITH A FULL SITE SURVEY. A REVISED SITE PLAN IS REQUIRED TO REFLECT FINAL SITE CONDITIONS PRIOR TO FINAL APPROVALS AND COMMENCEMENT OF WORK.

FOR CONSTRUCTION 08.02.17



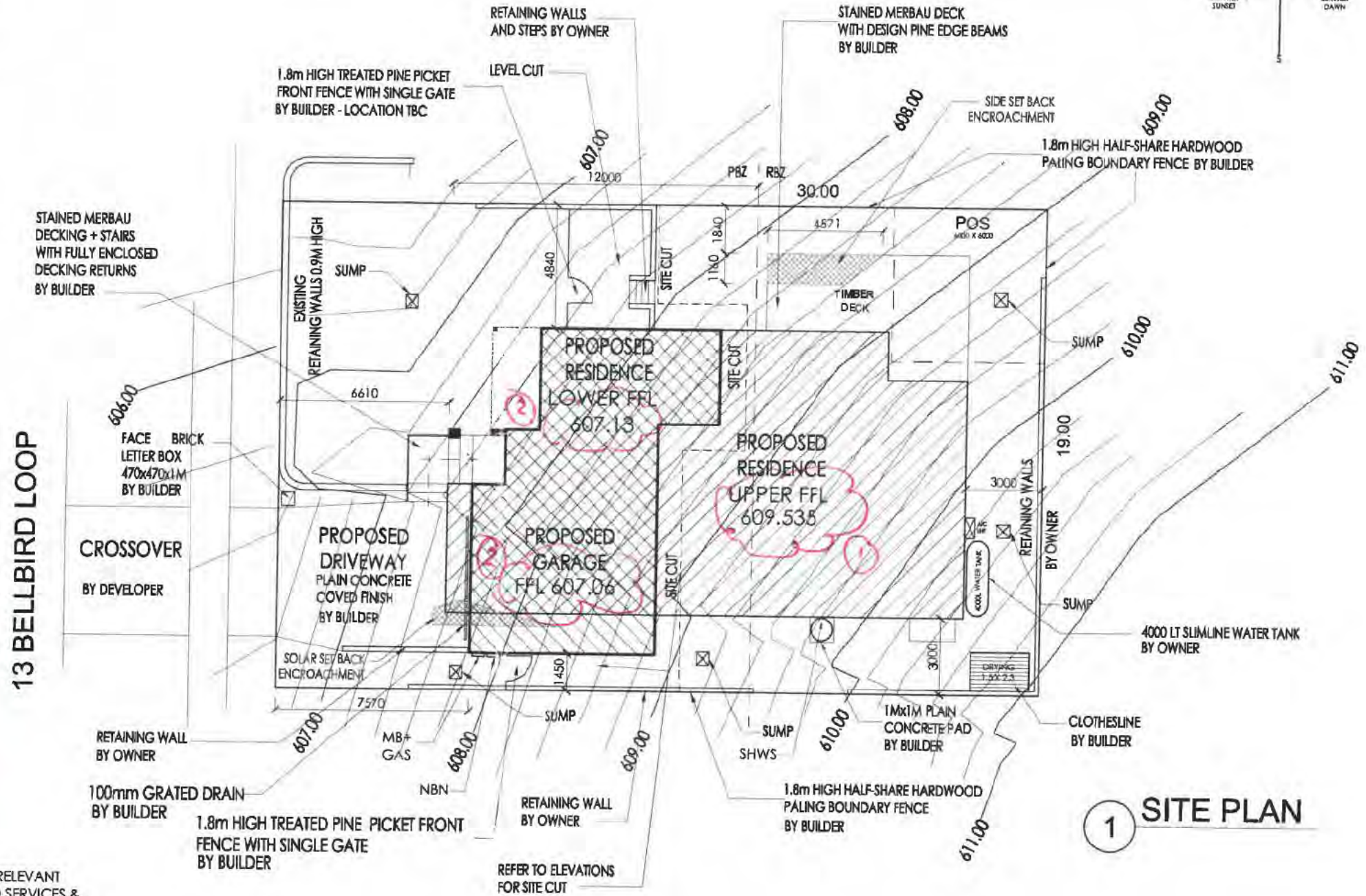
BLOCK AREA	570m ²
PROPOSED RESIDENCE	
GARAGE	47.0m ²
LIVING - LOWER	41.5m ²
LIVING - UPPER	193.5m ²
BALCONY	8.0m ²
PORCH	4.0m ²
GFA	282.0m ²
PLOT RATIO	49.5%
TOTAL DEVELOPMENT	294.0m ²

① REDUCED FFL
② RAISED AFL



NOTE - LICENSED PLUMBER TO SUBMIT A WORKS EXECUTED PLAN

NOTE: PRIOR TO ANY DEMOLITION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR LOCATION OF UNDERGROUND SERVICES & DETAILED LOCATIONS OF ALL SERVICES. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN.



1 SITE PLAN



DESIGN :
solarcert
BUILDING DESIGNS
info@solarcert.com.au - (02) 62901819

PROPOSED RESIDENCE
BLOCK: 6 SECTION: 34
SUBURB: LAWSON
CLIENT: Sch 2 s2(a)(ii)

SHEET TITLE SITE PLAN		
DATE 08 FEB. 2017	JOB NO: 4373	DRAWN BY RLdS
SCALE 1:200 @ A3	REVISION F	DWG NO 2

STRUCTURAL DETAILS AND SPECIFICATIONS
PROPOSED RESIDENCE ON
BLOCK 6, SECTION 34, LAWSON A.C.T

FOR



SITE PREPARATION NOTES

THE DESIGN OF THIS WAFFLE POD FLOORING SYSTEM HAS BEEN BASED ON THE FOLLOWING

- THE SLAB HAS BEEN DESIGNED FOR A "A" SITE CLASSIFICATION.
- BUILDER TO PROVIDE AND VERIFY SITE CLASSIFICATION PRIOR TO CONSTRUCTION.
- ALL TOP SOIL AND ORGANIC MATTER HAS BEEN COMPLETELY STRIPPED FROM SITE FOR WHICH THE RESIDENCE AND ITS SURROUNDING AREA IS LOCATED WITH PARTICULAR ATTENTION TO ROOT ZONE INFLUENCE.
- NO SIGNIFICANT SILTY MATERIALS ARE TO BE INCORPORATED WITHIN THE SOIL PROFILE SUPPORTING THE WAFFLE POD (OTHERWISE GEOTECHNICAL ADVICE MUST BE SOUGHT AS TO THE LONG TERM INTEGRITY OF THE PLATFORM)
- IF THE SITE IS BENCHED WITH A CUT AND FILL APPLICATION THE FILL IS TO BE CERTIFIED BY A QUALIFIED PRACTICING ENGINEER WITHIN THE FIELD OF STRUCTURAL INTEGRITY; OTHERWISE STRUCTURAL PIERS MUST BE INSTALLED IN ACCORDANCE WITH STRUCTURAL ENGINEERING DESIGN ADOPTING SUSPENDED WORKS.
- ANY FILL IS TO EXTEND PAST THE EDGE OF THE SLAB BY AT LEAST ONE METER.
- GRADING OF THE NATURAL OR FILL LEVELS ARE TO FALL AWAY FROM THE SLAB FACE ENSURING NO PONDING OF RAINWATER OR EROSION MATERIAL.
- SUBSOIL DRAINS CONSTRUCTED WHERE DESIRABLE TO ALLEVIATE SUBTERRANEAN WATER AND POTENTIAL EXCESSIVE MOISTURE RETENTION WITHIN THE STRUCTURAL PLATFORM THAT WILL CAUSE STRUCTURAL DURESS TO THE SLAB.
- ALL EXCAVATIONS FOR DRAINAGE (SEWER AND STORMWATER) RUNNING PARALLEL OR WITHIN THIS VICINITY NOT TO EXTEND BELOW A LINE DRAWN AT 45 DEGREES + 300mm TO THE HORIZONTAL FOR CLAY AND 30 DEGREES + 300mm FOR SAND OR GRANULAR MATERIAL FROM THE BOTTOM OF THE EDGE BEAM OR EXCAVATED BASE OF PIERS.
- ALL DRAINAGE EXCAVATIONS TO BE REINSTATED WITH COMPACTED GRANULAR TYPE FILL COMPACTED TO 90% M.M.D.D.
- TERMITE TREATMENT TO LOCAL AUTHORITIES REQUIREMENTS.
- MINIMUM DESIGN BEARING CAPACITY FOR STRUCTURAL PLATFORM 50KPa.

CONCRETE NOTES

- CONCRETE F'C TO BE 20MPa FOR PIERS, FOOTINGS AND SLABS, AND 32MPa FOR REMAINDER (UNLESS NOTED OTHERWISE)
- ALL MATERIALS TO COMPLY WITH CURRENT AUSTRALIAN STANDARDS.
- ALL WORKMANSHIP TO COMPLY WITH CURRENT AUSTRALIAN STANDARDS.
- CONCRETE MIX TO BE N20 WITH 20mm MAX. AGGREGATE SIZE.
- ALL CONCRETE TO BE LAID USING VIBRATORS.
- MAXIMUM SLUMP 80mm AND NO WATER ADDED ON SITE UNLESS CERTIFIED BY AN ENGINEER OR GUARANTEEING SUPPLIER.
- ALL CONCRETE SLABS TO BE CURED FOR SEVEN DAYS BY SUITABLE MEANS.
- REINFORCEMENT TO BE ADEQUATELY LAPPED N12's AT 450mm AND N16's AT 600mm.
- COVER TO REINFORCEMENT: EXPOSURE CLASSIFICATION A1
 - 20mm TOP COVER (INTERNAL).
 - 30mm COVER (EXTERNAL).
 - 30mm BOTTOM COVER TO INTERNAL AND EXTERNAL STIFFENING BEAMS (OVER VAPOUR BARRIER).
 - 40mm COVER FOR CONCRETE CAST AGAINST GROUND.
- VAPOUR BARRIER TO PROTRUDE PAST EXTERNAL STIFFENING BEAM
- VAPOUR BARRIER TO BE PLACED OVER 50mm THICK LEVELING LAYER OF COMPACTED COARSE SAND OR EQUIVALENT.
- VAPOUR BARRIER TO BE LAPPED 200mm AT JOINTS AND ALL SERVICE PENETRATIONS SHALL BE TAPED.
- SERVICE PENETRATIONS IN EDGE OR RIB BEAMS TO BE CARRIED OUT IN ACCORDANCE WITH THE GIVEN DETAIL.

OUR REFERENCE: 161080

PREPARED BY:



sellick consultants
• STRUCTURAL • CIVIL • HYDRAULIC ENGINEERS

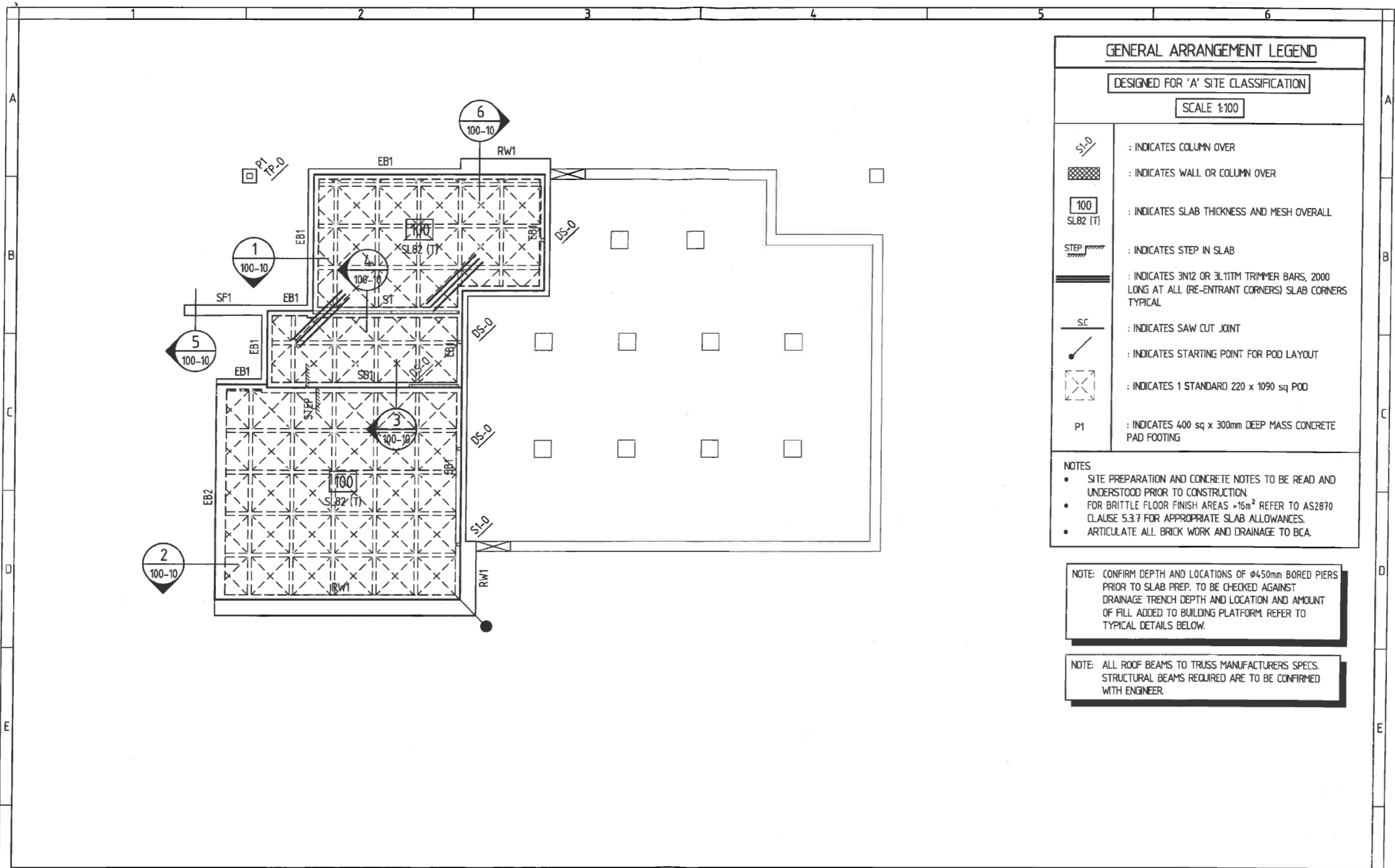
CANBERRA

SYDNEY

BRISBANE

PH: (02) 6201 0200










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GENERAL ARRANGEMENT LEGEND

DESIGNED FOR 'A' SITE CLASSIFICATION



SCALE 1:100

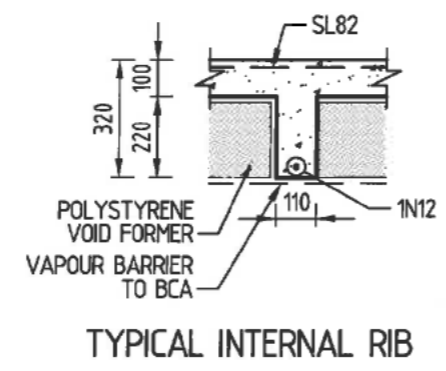
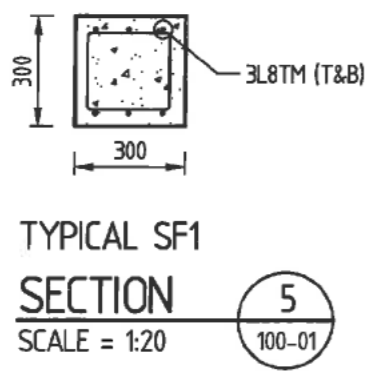
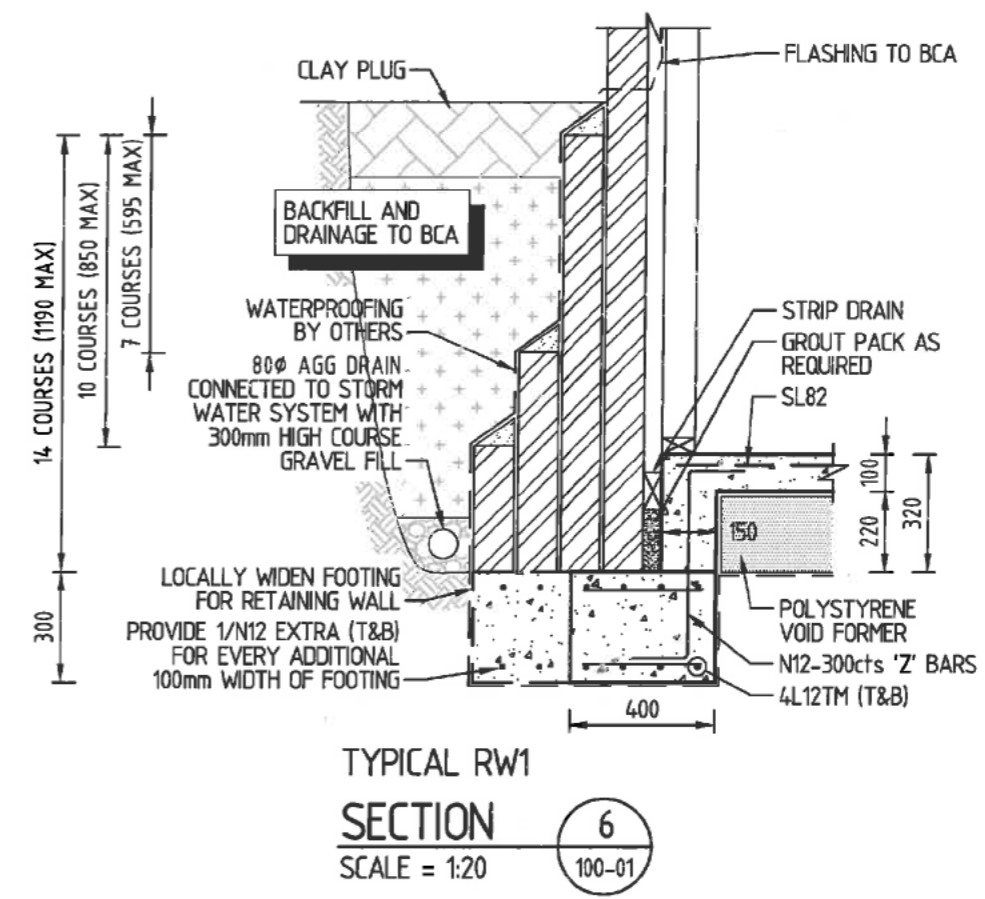
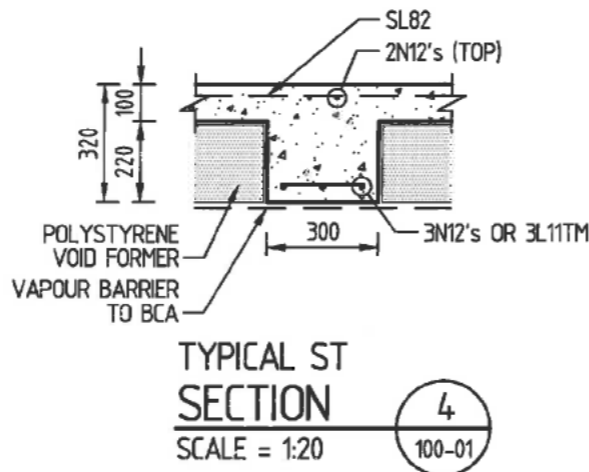
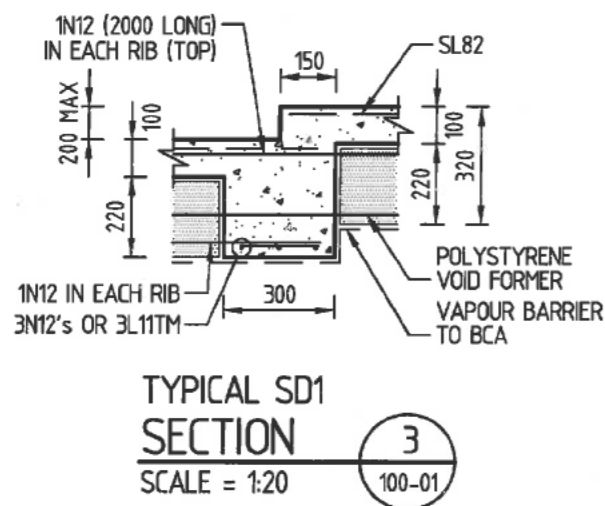
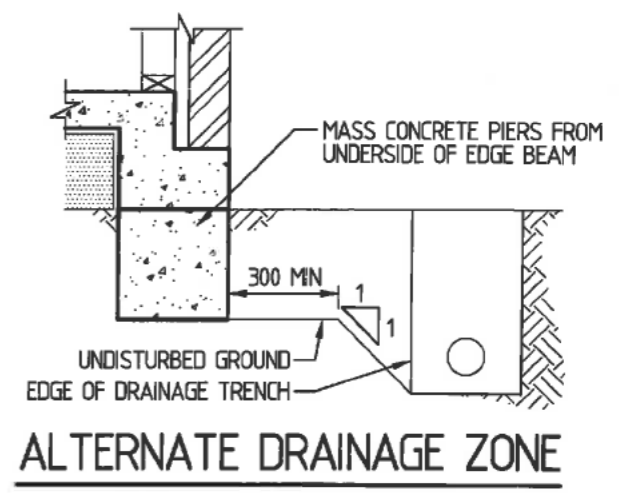
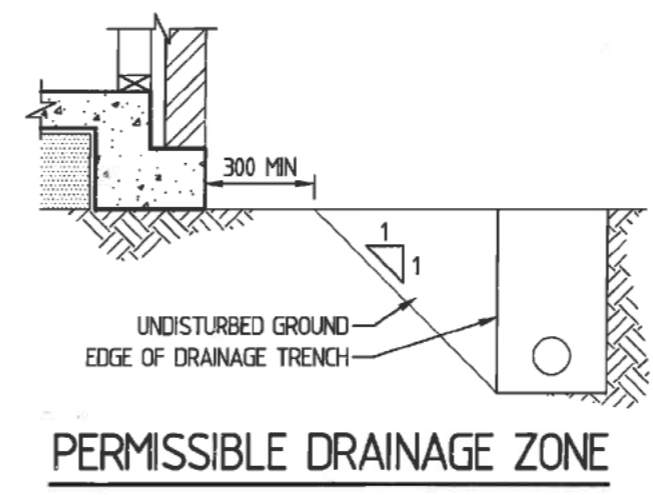
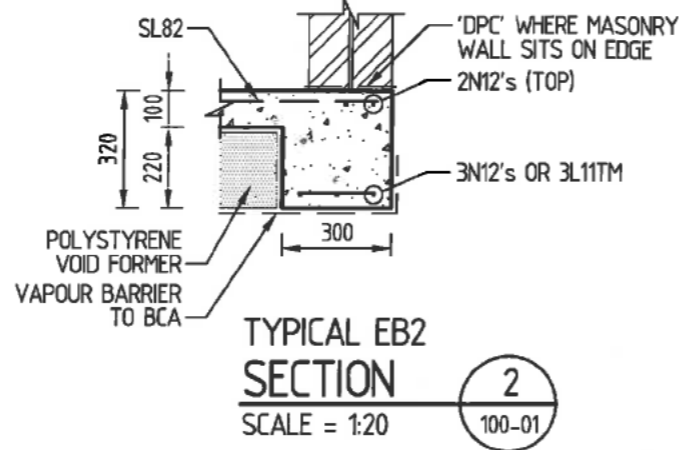
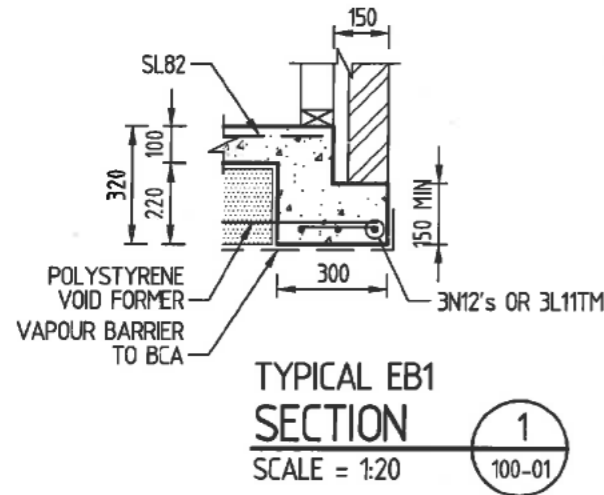
-  : INDICATES COLUMN OVER
-  : INDICATES WALL OR COLUMN OVER
-  : INDICATES SLAB THICKNESS AND MESH OVERALL
-  : INDICATES STEP IN SLAB
-  : INDICATES 3N12 OR 3L11TM TRIMMER BARS, 2000 LONG AT ALL (RE-ENTRANT CORNERS) SLAB CORNERS TYPICAL
-  : INDICATES SAW CUT JOINT
-  : INDICATES STARTING POINT FOR POD LAYOUT
-  : INDICATES 1 STANDARD 220 x 1090 sq POD
-  : INDICATES 400 sq x 300mm DEEP MASS CONCRETE PAD FOOTING

- NOTES**
- SITE PREPARATION AND CONCRETE NOTES TO BE READ AND UNDERSTOOD PRIOR TO CONSTRUCTION.
 - FOR BRITTLE FLOOR FINISH AREAS >16m² REFER TO AS2870 CLAUSE 5.3.7 FOR APPROPRIATE SLAB ALLOWANCES.
 - ARTICULATE ALL BRICK WORK AND DRAINAGE TO BCA.

NOTE: CONFIRM DEPTH AND LOCATIONS OF ϕ 450mm BORED PIERS PRIOR TO SLAB PREP. TO BE CHECKED AGAINST DRAINAGE TRENCH DEPTH AND LOCATION AND AMOUNT OF FILL ADDED TO BUILDING PLATFORM REFER TO TYPICAL DETAILS BELOW.

NOTE: ALL ROOF BEAMS TO TRUSS MANUFACTURERS SPECS. STRUCTURAL BEAMS REQUIRED ARE TO BE CONFIRMED WITH ENGINEER.

<p>FOR CONSTRUCTION</p> <p>ISSUE DESCRIPTION</p>	<p>18.10.2016</p> <p>DATE</p>	<p>KMc</p> <p>DRAWN</p>	 <p>sellick consultants •STRUCTURAL • CIVIL • HYDRAULIC ENGINEERS CANBERRA SYDNEY BRISBANE PH: (02) 6201 0200 www.sellickconsultants.com.au</p>	<p>DO NOT SCALE OFF DRAWINGS VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK</p> <p><small>COPYRIGHT: The contents and information contained in this document are copyright of Sellick Consultants. Use or copying of this document in whole or in part without written permission constitutes an infringement of copyright.</small></p>	<p>PROJECT TITLE PROPOSED RESIDENCE</p> <p>CLIENT </p>	<p>DESIGNED BY DMc</p> <p>CHECKED BY DMc</p> <p>AUTHORISED BY</p> <p>DATE</p>	<p>DRAWING TITLE GROUND FLOOR MARKING PLAN</p> <p>PROJECT LOCATION BLOCK 6 SECTION 34 LAWSON ACT</p>	<p>SCALE AS SHOWN AT A3</p> <p>JOB NO. 161080</p> <p>DRAWING NO. S100-01</p>
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FOR CONSTRUCTION	18.10.2016	KMC
ISSUE	DATE	DRAWN
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PROJECT TITLE
PROPOSED RESIDENCE

CLIENT

DESIGNED BY
 DMC

CHECKED BY
 DMC

AUTHORISED BY

DATE

DRAWING TITLE
GROUND DETAILS SHEET 1

PROJECT LOCATION
**BLOCK 6 SECTION 34
 LAWSON ACT**

SCALE
 AS SHOWN AT A3

JOB NO.
161080

DRAWING NO.
S100-10

Sch 2 s2(a)(ii)

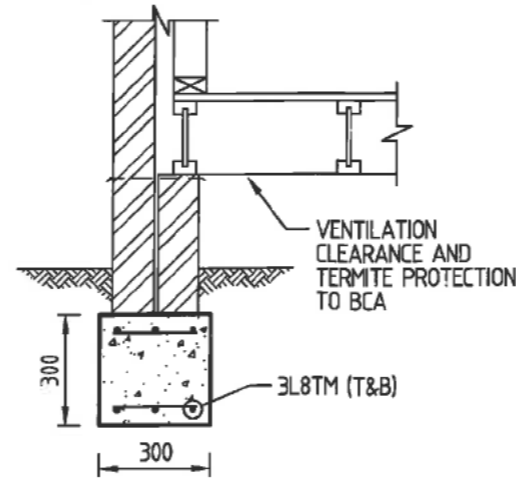
GENERAL ARRANGEMENT LEGEND

SCALE 1:100

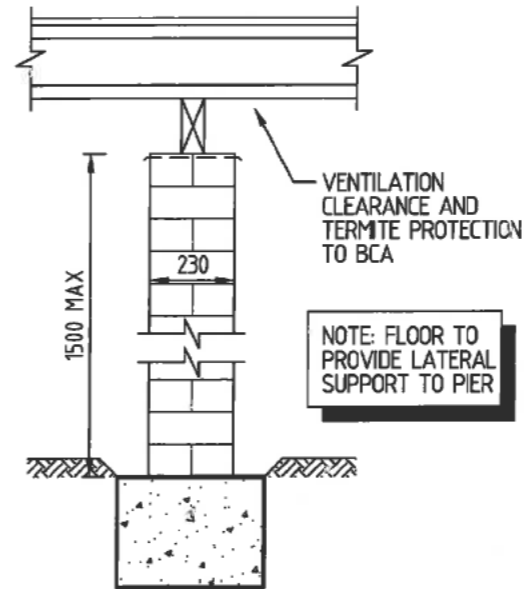
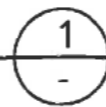
	: INDICATES COLUMN UNDER
	: INDICATES LOADBEARING WALL UNDER
	: INDICATES FLOOR PENETRATION LOCATION
	: INDICATES DIRECTION OF TIMBER JOISTS/TIMBER TRUSSES
	: INDICATES 230x230mm MASONRY PIER WITH 400sq. x 300mm DEEP MASS CONCRETE PAD FOOTING
	: INDICATES 400sq. x 300mm DEEP MASS CONCRETE PAD FOOTING

MEMBER SCHEDULE

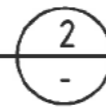
MARK	TYPE	SIZE	REMARKS
S1	STANCHION	89x5.0mm SHS	PROVIDE 90x10mm BASE PLATE WITH RAMSET CHEMSET REC502 WITH 2/M16/5.8 (125mm ANCHOR DEPTH MIN)
SS	STUB STANCHION	89x5.0mm SHS	PROVIDE 10mm CAP +BASE PLATE FOR 2M20/8.8/S FIXINGS OR FULLY WELD
Br	BEARER	150x63mm LVL	CONTINUOUS
DB1	DECK BEAM	240x45mm MGP-10 'H3' TREATED	
DJ	DECK JOISTS	190x35mm MGP-10 'H3' TREATED	JOISTS AT 450cts
FB1	FLOOR BEAM	300PFC	
GL1	GARAGE LINTEL	300PFC	100x10mm EA S/W
J1	TIMBER JOISTS	300mm DEEP MIN	JOISTS AT 450cts TO MANUFACTURERS SPECIFICATIONS
J2	TIMBER JOISTS	200mm DEEP MIN	JOISTS AT 450cts TO MANUFACTURERS SPECIFICATIONS (CONTINUOUS)
Ld	LEDGER	190x35mm MGP-10 'H3' TREATED	PROVIDE M10 FIXINGS AT 450cts
L1	LINTEL	150x100x10mm UA + 40x4.0mm SHS	S/W
MRT	MANUFACTURED ROOF TRUSSES	ASSUMED	ROOF TRUSSES TO MANUFACTURERS SPECIFICATIONS
RB1	ROOF BEAM	200x45mm LVL	
T1	TIMBER BEAM	300x45mm LVL	OPTIONAL 250UB26 MAY BE USED FOR '3xTY' ALTERNATIVE
TGT	TRUNCATED GIRDER TRUSS	ASSUMED	ROOF TRUSSES TO MANUFACTURERS SPECIFICATIONS
TP	TIMBER POST	135x135mm MGP-10 T/PINE	
TS	TRIPLE STUD	3x90x45 MGP-10	PROVIDE 2 ROWS OF NOGGINS
DS	DOUBLE STUD	2x90x45 MGP-10	PROVIDE 2 ROWS OF NOGGINS
S/W	STITCH WELD		DENOTES MEMBERS TO BE STITCH WELDED 150mm EACH END, MISS 150mm AND HIT 75mm THERE AFTER, U.N.O



TYPICAL SF1 SECTION
SCALE = 1:20



TYPICAL BP1 SECTION
SCALE = 1:20



ISSUE	DESCRIPTION	DATE	DRAWN
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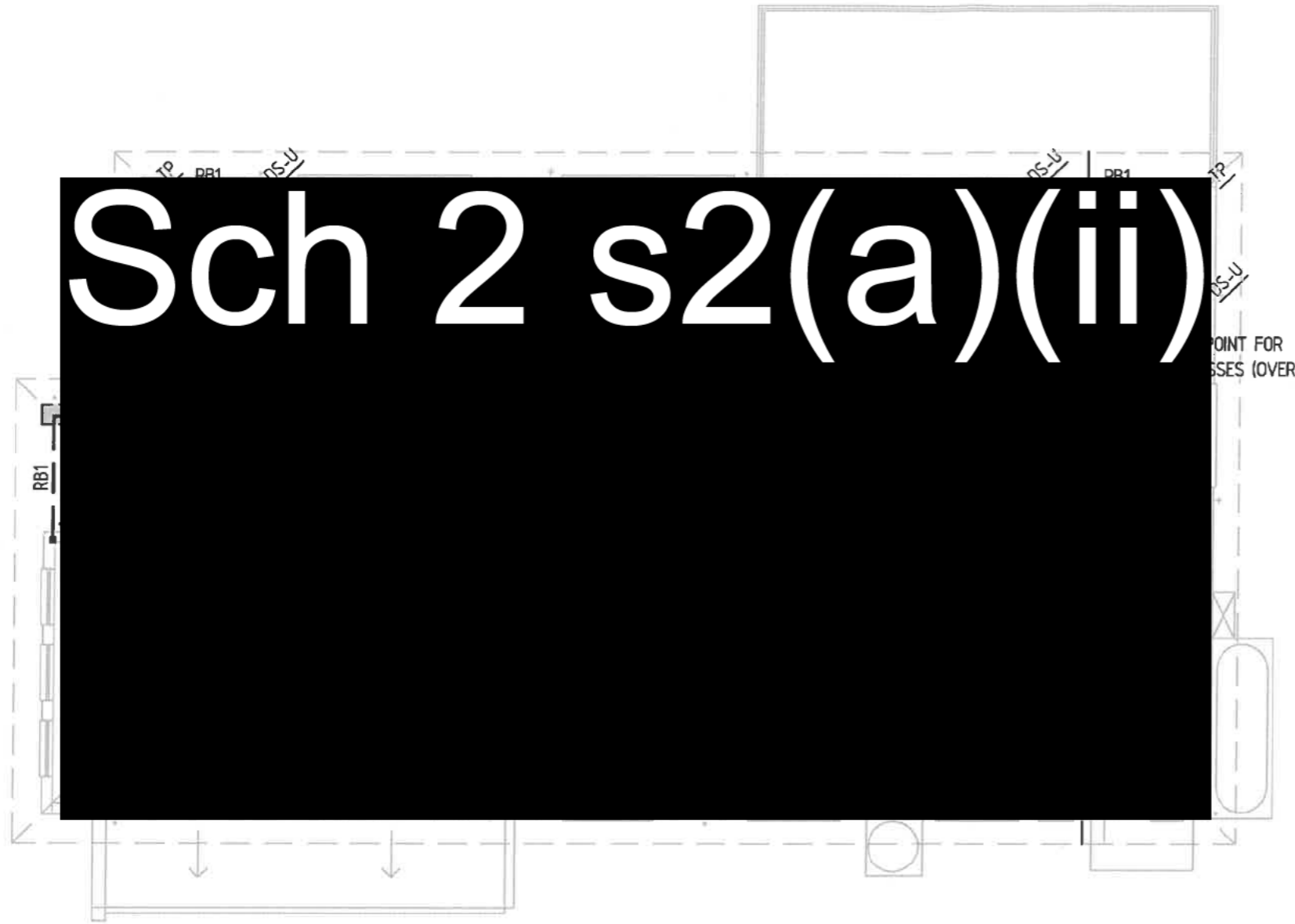
PROJECT TITLE
PROPOSED RESIDENCE
 CLIENT

DESIGNED BY
 DMC
 CHECKED BY
 DMC
 AUTHORISED BY
 DATE

DRAWING TITLE
LEVEL 1 MARKING PLAN
 PROJECT LOCATION
**BLOCK 6 SECTION 34
 LAWSON ACT**





SCALE
 AS SHOWN AT A3
 JOB NO.
161080
 DRAWING NO.
S100-01

Sch 2 s2(a)(ii)



GENERAL ARRANGEMENT LEGEND

SCALE 1:100

-  : INDICATES COLUMN UNDER AND OVER
-  : INDICATES COLUMN UNDER
-  : INDICATES LOADBEARING WALL UNDER
-  : INDICATES DIRECTION OF TIMBER RAFTERS/TIMBER TRUSSES

MEMBER SCHEDULE

MARK	TYPE	SIZE	REMARKS
S1	STANCHION	89x5.0mm SHS	PROVIDE 90x10mm BASE PLATE WITH RAMSET CHEMSET RED502 WITH 2/M16/5.8 (125mm ANCHOR DEPTH MIN)
SS	STUB STANCHION	89x5.0mm SHS	PROVIDE 10mm CAP +BASE PLATE FOR 2M20/8.8/S FIXINGS OR FULLY WELD
Br	BEARER	150x63mm LVL	CONTINUOUS
DB1	DECK BEAM	240x45mm MGP-10 'H3' TREATED	
DJ	DECK JOISTS	190x35mm MGP-10 'H3' TREATED	JOISTS AT 450cts
FB1	FLOOR BEAM	300PFC	
GL1	GARAGE LINTEL	300PFC	100x10mm EA S/W
J1	TIMBER JOISTS	300mm DEEP MIN	JOISTS AT 450cts TO MANUFACTURERS SPECIFICATIONS
J2	TIMBER JOISTS	200mm DEEP MIN	JOISTS AT 450cts TO MANUFACTURERS SPECIFICATIONS (CONTINUOUS)
Ld	LEDGER	190x35mm MGP-10 'H3' TREATED	PROVIDE M10 FIXINGS AT 450cts
L1	LINTEL	150x100x10mm UA + 40x4.0mm SHS	S/W
MRT	MANUFACTURED ROOF TRUSSES	ASSUMED	ROOF TRUSSES TO MANUFACTURERS SPECIFICATIONS
RB1	ROOF BEAM	200x45mm LVL	
T1	TIMBER BEAM	300x45mm LVL	OPTIONAL 250UB26 MAY BE USED FOR '3xT' ALTERNATIVE
TGT	TRUNCATED GIRDER TRUSS	ASSUMED	ROOF TRUSSES TO MANUFACTURERS SPECIFICATIONS
TP	TIMBER POST	135x135mm MGP-10 T/PINE	
TS	TRIPLE STUD	3x90x45 MGP-10	PROVIDE 2 ROWS OF NOGGINS
DS	DOUBLE STUD	2x90x45 MGP-10	PROVIDE 2 ROWS OF NOGGINS
S/W	STITCH WELD	DENOTES MEMBERS TO BE STITCH WELDED 150mm EACH END, MISS 150mm AND HIT 75mm THERE AFTER, UNO	

ISSUE	DESCRIPTION	DATE	DRAWN
A	FOR CONSTRUCTION	18.10.2016	KMC

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PROJECT TITLE
PROPOSED RESIDENCE
 CLIENT

BLAKETT HOMES

DESIGNED BY
 DMC
 CHECKED BY
 DMC
 AUTHORISED BY
 DATE

DRAWING TITLE
ROOF MARKING PLAN
 PROJECT LOCATION
**BLOCK 6 SECTION 34
 LAWSON ACT**

SCALE
 AS SHOWN AT A3
 JOB NO.
161080
 DRAWING NO.
S102-01

STRUCTURAL DETAILS AND SPECIFICATIONS
PROPOSED RESIDENCE ON
BLOCK 6, SECTION 34, LAWSON A.C.T

FOR



SITE PREPARATION NOTES

THE DESIGN OF THIS WAFFLE POD FLOORING SYSTEM HAS BEEN BASED ON THE FOLLOWING:

- THE SLAB HAS BEEN DESIGNED FOR A "A" SITE CLASSIFICATION.
- BUILDER TO PROVIDE AND VERIFY SITE CLASSIFICATION PRIOR TO CONSTRUCTION.
- ALL TOP SOIL AND ORGANIC MATTER HAS BEEN COMPLETELY STRIPPED FROM SITE FOR WHICH THE RESIDENCE AND ITS SURROUNDING AREA IS LOCATED WITH PARTICULAR ATTENTION TO ROOT ZONE INFLUENCE.
- NO SIGNIFICANT SILTY MATERIALS ARE TO BE INCORPORATED WITHIN THE SOIL PROFILE SUPPORTING THE WAFFLE POD (OTHERWISE GEOTECHNICAL ADVICE MUST BE SOUGHT AS TO THE LONG TERM INTEGRITY OF THE PLATFORM.)
- IF THE SITE IS BENCHED WITH A CUT AND FILL APPLICATION THE FILL IS TO BE CERTIFIED BY A QUALIFIED PRACTICING ENGINEER WITHIN THE FIELD OF STRUCTURAL INTEGRITY: OTHERWISE STRUCTURAL PIERS MUST BE INSTALLED IN ACCORDANCE WITH STRUCTURAL ENGINEERING DESIGN ADOPTING SUSPENDED WORKS.
- ANY FILL IS TO EXTEND PAST THE EDGE OF THE SLAB BY AT LEAST ONE METER.
- GRADING OF THE NATURAL OR FILL LEVELS ARE TO FALL AWAY FROM THE SLAB FACE ENSURING NO PONDING OF RAINWATER OR EROSION MATERIAL.
- SUBSOIL DRAINS CONSTRUCTED WHERE DESIRABLE TO ALLEVIATE SUBTERRANEAN WATER AND POTENTIAL EXCESSIVE MOISTURE RETENTION WITHIN THE STRUCTURAL PLATFORM THAT WILL CAUSE STRUCTURAL DURESS TO THE SLAB.
- ALL EXCAVATIONS FOR DRAINAGE (SEWER AND STORMWATER) RUNNING PARALLEL OR WITHIN THIS VICINITY NOT TO EXTEND BELOW A LINE DRAWN AT 45 DEGREES + 300mm TO THE HORIZONTAL FOR CLAY AND 30 DEGREES + 300mm FOR SAND OR GRANULAR MATERIAL FROM THE BOTTOM OF THE EDGE BEAM OR EXCAVATED BASE OF PIERS.
- ALL DRAINAGE EXCAVATIONS TO BE REINSTATED WITH COMPACTED GRANULAR TYPE FILL COMPACTED TO 90% M.M.D.D.
- TERMITE TREATMENT TO LOCAL AUTHORITIES REQUIREMENTS.
- MINIMUM DESIGN BEARING CAPACITY FOR STRUCTURAL PLATFORM 50KPa.

CONCRETE NOTES

- CONCRETE F'C TO BE 20MPa FOR PIERS, FOOTINGS AND SLABS, AND 32MPa FOR REMAINDER (UNLESS NOTED OTHERWISE)
- ALL MATERIALS TO COMPLY WITH CURRENT AUSTRALIAN STANDARDS.
- ALL WORKMANSHIP TO COMPLY WITH CURRENT AUSTRALIAN STANDARDS.
- CONCRETE MIX TO BE N20 WITH 20mm MAX. AGGREGATE SIZE.
- ALL CONCRETE TO BE LAID USING VIBRATORS.
- MAXIMUM SLUMP 80mm AND NO WATER ADDED ON SITE UNLESS CERTIFIED BY AN ENGINEER OR GUARANTEEING SUPPLIER.
- ALL CONCRETE SLABS TO BE CURED FOR SEVEN DAYS BY SUITABLE MEANS.
- REINFORCEMENT TO BE ADEQUATELY LAPPED N12's AT 450mm AND N16's AT 600mm.
- COVER TO REINFORCEMENT: EXPOSURE CLASSIFICATION A1
 - 20mm TOP COVER (INTERNAL).
 - 30mm COVER (EXTERNAL).
 - 30mm BOTTOM COVER TO INTERNAL AND EXTERNAL STIFFENING BEAMS (OVER VAPOUR BARRIER).
 - 40mm COVER FOR CONCRETE CAST AGAINST GROUND.
- VAPOUR BARRIER TO PROTRUDE PAST EXTERNAL STIFFENING BEAM.
- VAPOUR BARRIER TO BE PLACED OVER 50mm THICK LEVELING LAYER OF COMPACTED COARSE SAND OR EQUIVALENT.
- VAPOUR BARRIER TO BE LAPPED 200mm AT JOINTS AND ALL SERVICE PENETRATIONS SHALL BE TAPED.
- SERVICE PENETRATIONS IN EDGE OR RIB BEAMS TO BE CARRIED OUT IN ACCORDANCE WITH THE GIVEN DETAIL.

OUR REFERENCE: 161080

PREPARED BY:



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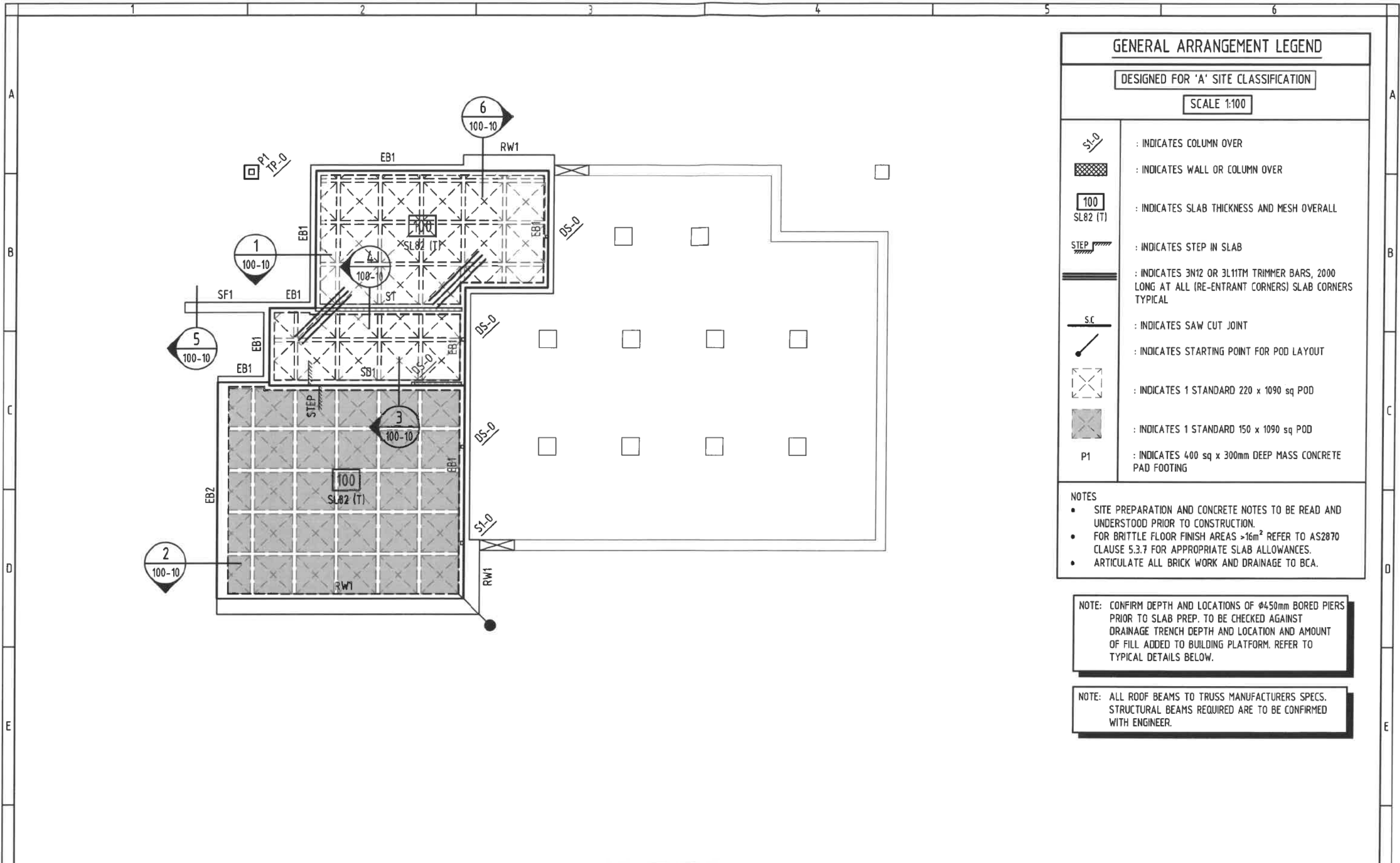
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GENERAL ARRANGEMENT LEGEND

DESIGNED FOR 'A' SITE CLASSIFICATION

SCALE 1:100

	: INDICATES COLUMN OVER
	: INDICATES WALL OR COLUMN OVER
	: INDICATES SLAB THICKNESS AND MESH OVERALL
	: INDICATES STEP IN SLAB
	: INDICATES 3N12 OR 3L11TM TRIMMER BARS, 2000 LONG AT ALL (RE-ENTRANT CORNERS) SLAB CORNERS TYPICAL
	: INDICATES SAW CUT JOINT
	: INDICATES STARTING POINT FOR POD LAYOUT
	: INDICATES 1 STANDARD 220 x 1090 sq POD
	: INDICATES 1 STANDARD 150 x 1090 sq POD
	: INDICATES 400 sq x 300mm DEEP MASS CONCRETE PAD FOOTING

- NOTES**
- SITE PREPARATION AND CONCRETE NOTES TO BE READ AND UNDERSTOOD PRIOR TO CONSTRUCTION.
 - FOR BRITTLE FLOOR FINISH AREAS >16m² REFER TO AS2870 CLAUSE 5.3.7 FOR APPROPRIATE SLAB ALLOWANCES.
 - ARTICULATE ALL BRICK WORK AND DRAINAGE TO BCA.

NOTE: CONFIRM DEPTH AND LOCATIONS OF Ø450mm BORED PIERS PRIOR TO SLAB PREP. TO BE CHECKED AGAINST DRAINAGE TRENCH DEPTH AND LOCATION AND AMOUNT OF FILL ADDED TO BUILDING PLATFORM. REFER TO TYPICAL DETAILS BELOW.

NOTE: ALL ROOF BEAMS TO TRUSS MANUFACTURERS SPECS. STRUCTURAL BEAMS REQUIRED ARE TO BE CONFIRMED WITH ENGINEER.

ISSUE	DESCRIPTION	DATE	DRAWN
B	FOR CONSTRUCTION Garage Pods Updated to 150mm Deep	13.02.2017	KMc
A	FOR CONSTRUCTION	18.10.2016	KMc

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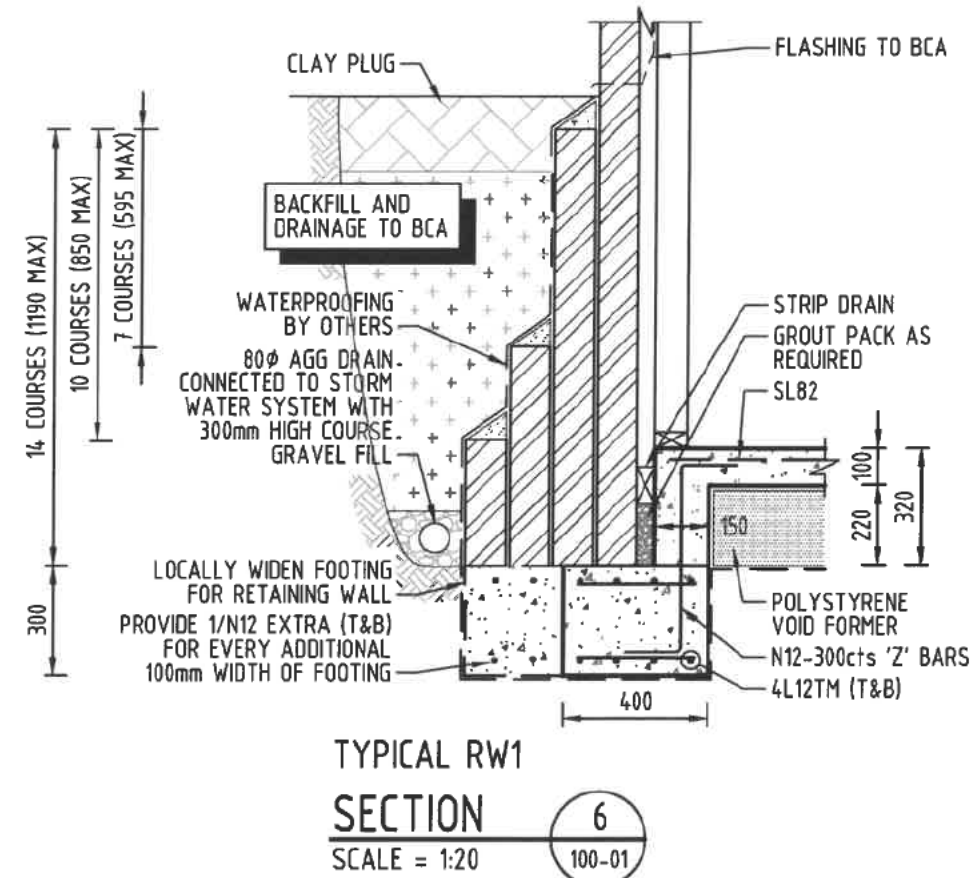
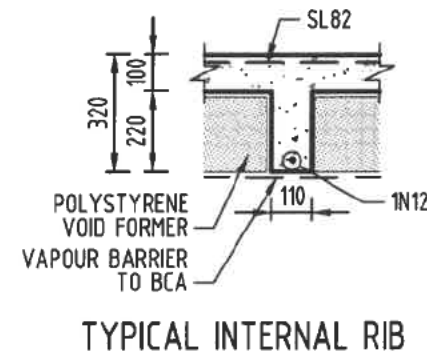
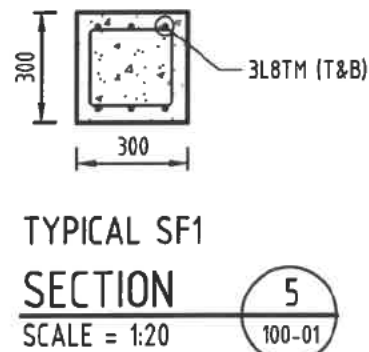
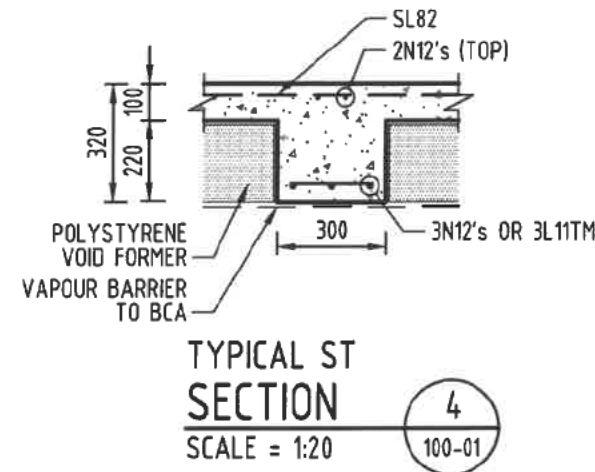
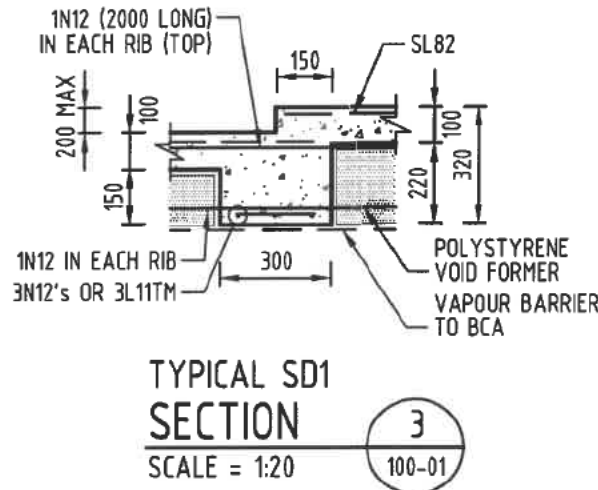
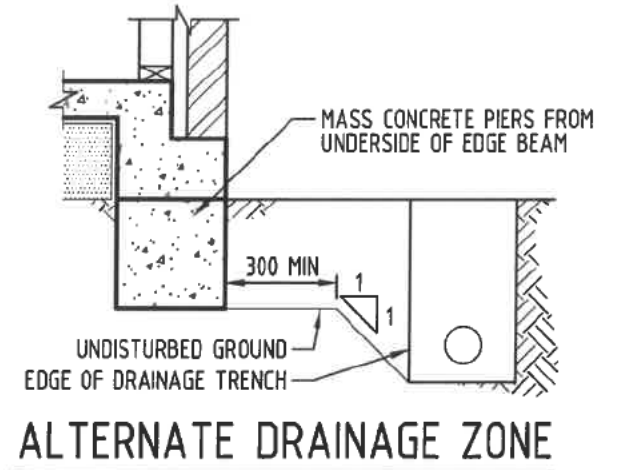
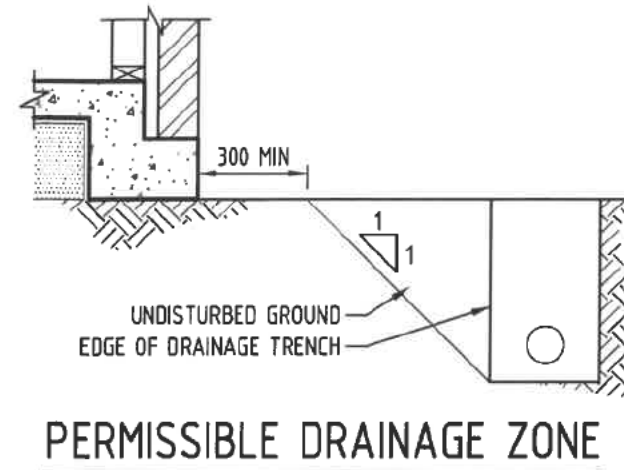
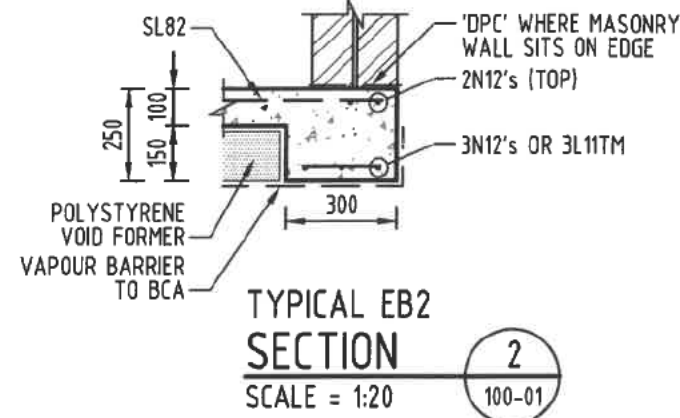
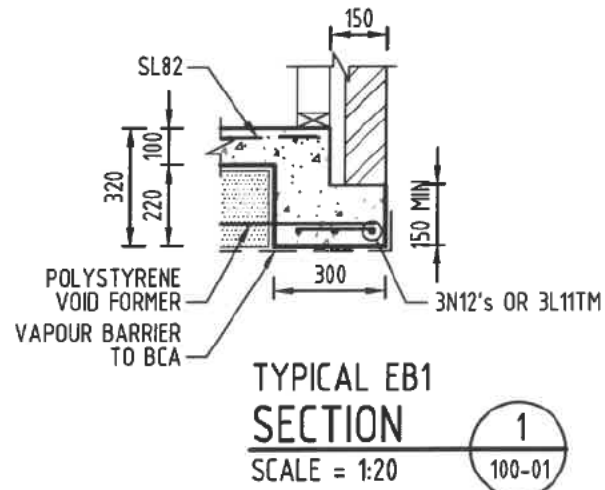
DRAWING TITLE
GROUND FLOOR MARKING PLAN

PROJECT LOCATION
**BLOCK 6 SECTION 34
LAWSON ACT**

SCALE
AS SHOWN AT A3

JOB NO.
161080

DRAWING NO.
S100-01



ISSUE	DESCRIPTION	DATE	DRAWN
B	FOR CONSTRUCTION Garage Pods Updated to 150mm Deep	13.02.2017	KMc
A	FOR CONSTRUCTION	18.10.2016	KMc

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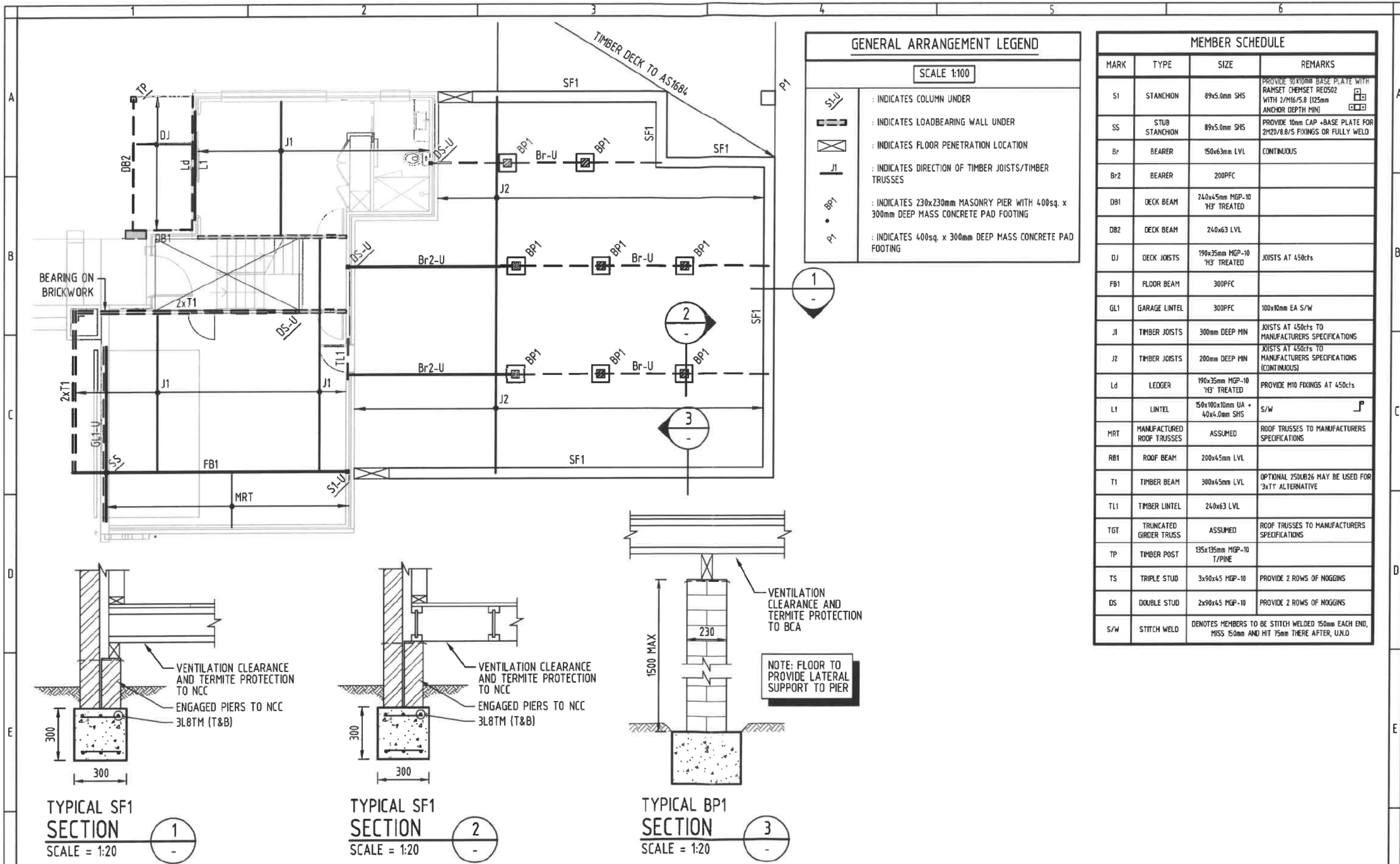
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DRAWING TITLE
GROUND DETAILS SHEET 1
PROJECT LOCATION
**BLOCK 6 SECTION 34
LAWSON ACT**

SCALE
AS SHOWN AT A3
JOB NO.
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DRAWING NO.
S100-10



GENERAL ARRANGEMENT LEGEND
SCALE 1:100

- : INDICATES COLUMN UNDER
- : INDICATES LOADBEARING WALL UNDER
- : INDICATES FLOOR PENETRATION LOCATION
- : INDICATES DIRECTION OF TIMBER JOISTS/TIMBER TRUSSES
- : INDICATES 230x230mm MASONRY PIER WITH 400sq. x 300mm DEEP MASS CONCRETE PAD FOOTING
- : INDICATES 400sq. x 300mm DEEP MASS CONCRETE PAD FOOTING

MEMBER SCHEDULE			
MARK	TYPE	SIZE	REMARKS
S1	STANCHION	89x5.0mm SHS	PROVIDE 90x10mm BASE PLATE WITH RAMSET CHEMSET RE0502 WITH 2/M16/5.8 (125mm ANCHOR DEPTH MIN)
SS	STUB STANCHION	89x5.0mm SHS	PROVIDE 10mm CAP +BASE PLATE FOR 2M20/8.8/S FIXINGS OR FULLY WELD
Br	BEARER	150x63mm LVL	CONTINUOUS
Br2	BEARER	200PFC	
DB1	DECK BEAM	240x45mm MGP-10 'H3' TREATED	
DB2	DECK BEAM	240x63 LVL	
DJ	DECK JOISTS	190x35mm MGP-10 'H3' TREATED	JOISTS AT 450cts
FB1	FLOOR BEAM	300PFC	
GL1	GARAGE LINTEL	300PFC	100x10mm EA S/W
J1	TIMBER JOISTS	300mm DEEP MIN	JOISTS AT 450cts TO MANUFACTURERS SPECIFICATIONS
J2	TIMBER JOISTS	200mm DEEP MIN	JOISTS AT 450cts TO MANUFACTURERS SPECIFICATIONS (CONTINUOUS)
Ld	LEDGER	190x35mm MGP-10 'H3' TREATED	PROVIDE M10 FIXINGS AT 450cts
L1	LINTEL	150x100x10mm UA + 40x4.0mm SHS	S/W
MRT	MANUFACTURED ROOF TRUSSES	ASSUMED	ROOF TRUSSES TO MANUFACTURERS SPECIFICATIONS
RB1	ROOF BEAM	200x45mm LVL	
T1	TIMBER BEAM	300x45mm LVL	OPTIONAL 250UB26 MAY BE USED FOR '3xT1' ALTERNATIVE
TL1	TIMBER LINTEL	240x63 LVL	
TGT	TRUNCATED GIRDER TRUSS	ASSUMED	ROOF TRUSSES TO MANUFACTURERS SPECIFICATIONS
TP	TIMBER POST	135x135mm MGP-10 T/PINE	
TS	TRIPLE STUD	3x90x45 MGP-10	PROVIDE 2 ROWS OF NOGGINS
DS	DOUBLE STUD	2x90x45 MGP-10	PROVIDE 2 ROWS OF NOGGINS
S/W	STITCH WELD		DENOTES MEMBERS TO BE STITCH WELDED 150mm EACH END, MISS 150mm AND HIT 75mm THERE AFTER, U.N.O

TYPICAL SF1 SECTION
SCALE = 1:20

TYPICAL SF1 SECTION
SCALE = 1:20

TYPICAL BP1 SECTION
SCALE = 1:20

ISSUE	DESCRIPTION	DATE	DRAWN
D	FOR CONSTRUCTION Updates as Constructed	21.06.2017	KMc
C	FOR CONSTRUCTION Addition of Detail for Clarity	27.04.2017	KMc
B	FOR CONSTRUCTION	24.01.2017	KMc

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DRAWING TITLE
LEVEL 1 MARKING PLAN
PROJECT LOCATION
**BLOCK 6 SECTION 34
LAWSON ACT**

SCALE
AS SHOWN AT A3
JOB NO.
161080
DRAWING NO.
S100-01

Sch 2 s2(a)(ii)

GENERAL ARRANGEMENT LEGEND

SCALE 1:100

	: INDICATES COLUMN UNDER AND OVER
	: INDICATES COLUMN UNDER
	: INDICATES LOADBEARING WALL UNDER
	: INDICATES DIRECTION OF TIMBER RAFTERS/TIMBER TRUSSES

MEMBER SCHEDULE

MARK	TYPE	SIZE	REMARKS
S1	STANCHION	89x5.0mm SHS	PROVIDE 90x10mm BASE PLATE WITH RAMSET CHEMSET RE0502 WITH 2/M16/S.8 (125mm ANCHOR DEPTH MIN)
SS	STUB STANCHION	89x5.0mm SHS	PROVIDE 10mm CAP +BASE PLATE FOR 2M20/8.8/S FIXINGS OR FULLY WELD
Br	BEARER	150x63mm LVL	CONTINUOUS
Br2	BEARER	200PFC	
DB1	DECK BEAM	240x45mm MGP-10 'H3' TREATED	
DB2	DECK BEAM	240x63 LVL	
DJ	DECK JOISTS	190x35mm MGP-10 'H3' TREATED	JOISTS AT 450cts
FB1	FLOOR BEAM	300PFC	
GL1	GARAGE LINTEL	300PFC	100x10mm EA S/W
J1	TIMBER JOISTS	300mm DEEP MIN	JOISTS AT 450cts TO MANUFACTURERS SPECIFICATIONS
J2	TIMBER JOISTS	200mm DEEP MIN	JOISTS AT 450cts TO MANUFACTURERS SPECIFICATIONS (CONTINUOUS)
Ld	LEDGER	190x35mm MGP-10 'H3' TREATED	PROVIDE M10 FIXINGS AT 450cts
L1	LINTEL	150x100x10mm UA + 40x4.0mm SHS	S/W
MRT	MANUFACTURED ROOF TRUSSES	ASSUMED	ROOF TRUSSES TO MANUFACTURERS SPECIFICATIONS
RB1	ROOF BEAM	200x45mm LVL	
T1	TIMBER BEAM	300x45mm LVL	OPTIONAL 250UB26 MAY BE USED FOR '3xT' ALTERNATIVE
TL1	TIMBER LINTEL	240x63 LVL	
TGT	TRUNCATED GIRDER TRUSS	ASSUMED	ROOF TRUSSES TO MANUFACTURERS SPECIFICATIONS
TP	TIMBER POST	135x135mm MGP-10 T/PINE	
TS	TRIPLE STUD	3x90x45 MGP-10	PROVIDE 2 ROWS OF NOGGINS
DS	DOUBLE STUD	2x90x45 MGP-10	PROVIDE 2 ROWS OF NOGGINS

SCALE

AS SHOWN AT A B DENOTES MEMBERS TO BE LABELED 150mm EACH END, MISS 150mm AND HIT 75mm THERE AFTER, U.N.D

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ROOF MARKING PLAN

PROJECT LOCATION
BLOCK 6 SECTION 34
LAWSON ACT

JOB NO.
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S102-01



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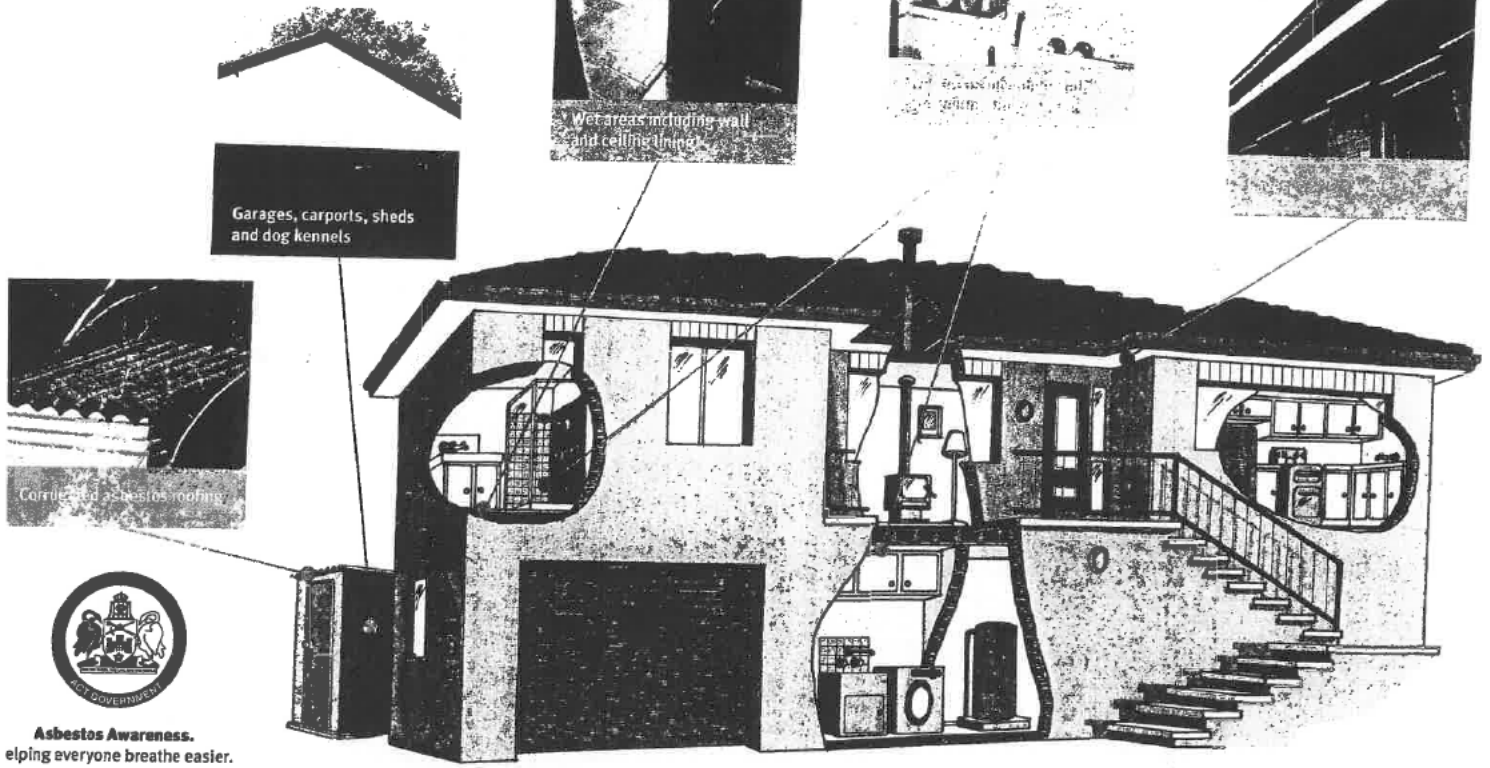


A FOR CONSTRUCTION
ISSUE DESCRIPTION

18.10.2016 KMc
DATE DRAWN

Common locations of materials containing asbestos in ACT homes

If your house was built before 1985, some of the materials it was built from probably contain asbestos.



Asbestos Awareness. Helping everyone breathe easier.

Asbestos Awareness Advice for ACT homes built before 1985

Asbestos is hazardous but it can be managed safely. Follow the three steps for managing materials containing asbestos (MCAs) in your home.

Step 1. Identify where MCAs may be in your home when was your house built?

- If your house was built before 1985, the table below gives you an indication of where you are likely to find MCAs in your home. There is also a diagram on the back of this sheet showing where MCAs are commonly found.
- If your house was built after 1985, it is unlikely to contain MCAs.
- If in doubt, assume that materials DO contain asbestos.

Common locations of MCAs in ACT homes*

(Percentage % of properties sampled where asbestos was detected)

Location	Pre 1965	1965 - 1979	1980 - 1984	1985 - now†
Eaves	86%	92%	40%	0%
Garage/shed	80%	70%	15%	0%
Bathroom	54%	75%	50%	0%
Laundry	75%	80%	50%	0%
Kitchen	52%	23%	15%	0%

*Results of 2005 Asbestos Survey of over 600 ACT homes. †One MCA was found in a 1985 house supporting roof tiles on a gable end.

Step 2. Assess the risk

Visually check the condition of the MCA - is it cracked, broken, etc?

- If it's in good condition and left undisturbed, it does not pose a health risk.
- If you suspect it is not in good condition, arrange for appropriate maintenance or removal by a qualified person.

Step 3. Manage safely

Make sure you remember to:

- Keep an eye on MCAs to make sure they remain in good condition.
- Consider removal of the MCA by a qualified person, when renovating or doing home repairs.
- Inform tradespeople working on your home of the location of any possible MCAs.
- Engage a qualified person if you decide to obtain a professional asbestos report on MCAs in your home.

For further information or advice on managing asbestos or home renovations visit the asbestos website www.asbestos.act.gov.au or call 49 22 81.



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