



**ACT**  
Government

Chief Minister, Treasury and  
Economic Development

## Freedom of Information Publication Coversheet

The following information is provided pursuant to section 28 of the *Freedom of Information Act 2016*.

FOI Reference: CMTEDDFOI 2019-0036

Information to be published	Status
1. Access application	Published
2. Decision notice	Published
3. Documents and schedule	Published
4. Additional information identified	No
5. Fees	Waived
6. Processing time (in working days)	2 working days
7. Decision made by Ombudsman	N/A
8. Additional information identified by Ombudsman	N/A
9. Decision made by ACAT	N/A
10. Additional information identified by ACAT	N/A

**From:** [REDACTED]  
**To:** [EPSEFOI](#)  
**Subject:** [REDACTED] - Request for FOI docs  
**Date:** Thursday, 7 February 2019 4:07:09 PM  
**Attachments:** [20190207150620304.pdf](#)

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Good Afternoon,

Please find **attached** letter of today's date.

Kind Regards,

[REDACTED]  
Legal Assistant to [REDACTED]  
[REDACTED]  
GPO Box 519 Canberra ACT 2601  
[REDACTED]

**BLUMERS**

PERSONAL INJURY LAWYERS

This email (including any attachments) may contain confidential and/or legally privileged information and is intended only to be read or used by the addressee. If you are not the intended addressee, any use, distribution, disclosure or copying of this email is strictly prohibited.

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 Please consider the environment before printing this email

# BLUMERS

PERSONAL INJURY LAWYERS

Contact: [REDACTED]  
Direct Line: [REDACTED]  
Email Address: [REDACTED]  
Supervisor: [REDACTED]  
Our Reference: ACB:FAB:FAB:180668

7 February 2019

EPSDD FOI  
GPO Box 158  
Canberra ACT 2601

**By email only:** EPSDFOI@act.gov.au

## **ATTENTION: Freedom of Information Officer**

Dear Madam or Sir

**RE:** [REDACTED]

We act for the abovenamed.

Our client was injured on Section: [REDACTED] Block: [REDACTED] Division: Moncrieff on 7 March 2018.

We request the following documents pursuant to the provisions of the *Freedom of Information Act*:

1. All records in relation to the land and any other relevant documents;
2. The building file;
3. Any development application made or application for exemption.
4. Any forms completed in relation to the application.

If this request should be made to, or relevant material may be held by another agency, please provide your assistance under s14(4) of the Act.

We undertake to make any payment necessary pursuant to the Act.

We **enclose** our client's signed authority.

Yours faithfully

**BLUMERS Personal Injury Lawyers**

[REDACTED]  
**Encl.**

All mail to: GPO Box 519 Canberra ACT 2601 | DX5737 Canberra

T 02 6208 2600 F 02 6208 2626 W blumers.com.au BLUMERS Lawyers No.1 Pty Ltd ABN 96 611 704 075

CANBERRA | HOBART | MELBOURNE | PERTH | SYDNEY

GENERAL AUTHORITY

TO: EPSDD FOI

RE: [REDACTED]

You are hereby authorised, directed and requested by me to provide to my Solicitors, Blumers Personal Injury Lawyers, whatever and all information, documentation and/or reports in your power or possession, as may be required by the said Solicitors, including but not limited to information orally conveyed with respect to my state of mind.

DATED this 7<sup>th</sup> day of February 2019.

[REDACTED]



**ACT**  
Government

Chief Minister, Treasury and  
Economic Development

Our ref: CMTEDDDFOI 2019-036  
Your ref: ACB:FAB:FAB:180668

[REDACTED]  
GPO Box 519  
CANBERRA ACT 2601

via email: [REDACTED]

Dear [REDACTED]

### **FREEDOM OF INFORMATION REQUEST**

I refer to your application under section 30 of the *Freedom of Information Act 2016* (the Act), received by the Chief Minister, Treasury and Economic Development Directorate (CMTEDD) on 12 February 2019.

Specifically, you are seeking the building file for Block [REDACTED], Section [REDACTED] in Moncrieff.

### **Authority**

I am an Information Officer appointed by the Director-General under section 18 of the Act to deal with access applications made under Part 5 of the Act.

### **Timeframes**

CMTEDD is required to provide a decision on your access application by 13 March 2019.

### **Decision on access**

Searches were completed for relevant documents and 1 document was identified that falls within the scope of your request. I have decided to grant partial access to the document.

I have included as **Attachment A** to this decision the relevant document schedule. This provides a description of the document that falls within the scope of your request and the access decision for that document.

The document released to you is provided as **Attachment B** to this letter.

In accordance with section 54(2) of the Act a statement of reasons outlining my decision is below.

## Statement of Reasons

In reaching my access decision, I have taken the following into account:

- the Act;
- the content of the documents that fall within the scope of your request; and
- the *Human Rights Act 2004*.

## Exemption claimed

### Information Contrary to Public Interest

The Act has a presumption in favour of disclosure. As a decision maker I am required to decide where, on balance, public interests lies. As part of this process I must consider factors favouring disclosure and non-disclosure.

In *Hogan v Hinch* (2011) 243 CLR 506, [31] French CJ stated that when ‘used in a statute, the term [public interest] derives its content from “the subject matter and the scope and purpose” of the enactment in which it appears’. Section 17(1) of the Act sets out the test, to be applied to determine whether disclosure of information would be contrary to the public interest. These factors are found in subsection 17(2) and Schedule 2 of the Act.

Taking into consideration the information contained in the document found to be within the scope of your request, I have identified that the following public interest factors are relevant to determine if release of the information contained within these documents is within the ‘public interest’.

### Factors favouring disclosure (Schedule 2.1)

- (a) *disclosure of the information could reasonably be expected to do any of the following:*
- (xiii) *reveal the reason for a government decision and any background or contextual information that informed the decision.*

### Factors favouring non-disclosure (Schedule 2 section 2.2)

- (a) *disclosure of the information could reasonably be expected to do any of the following:*
- (ii) *prejudice the protection of an individual’s right to privacy or any other right under the Human Rights Act 2004;*
  - (iii) *prejudice trade secrets, business affairs or research of an agency or person.*

Having considered the factors identified as relevant in this matter, I consider that release of the information contained in this document could contribute to the administration of justice generally by allowing you to have a record of the building file.

However, when considering this finding against the factors favouring non-disclosure, I am satisfied that the protection of an individual’s right to privacy, especially the personal information of the homeowner, in my opinion, outweighs the benefit which may be derived from releasing the personal information of the individual’s involved in this matter. These individuals are entitled to expect that the personal information they have supplied as part of this process will be dealt with in a manner that protects their privacy.

I also considered the business affairs of the builder contained within the documents. I consider it unreasonable to disclose the costs of the building works as this information could be expected to prejudice the business affairs of the builder.

Having applied the test outlined in section 17 of the Act and deciding that the release of personal and business information contained in the document is not in the public interest to release, I have chosen to redact this specific information in accordance with section 50(2). Noting the pro-disclosure intent of the Act, I am satisfied that redacting only the information that I believe is not in the public interest to release will ensure the intent of the Act is met and will provide you with access to the majority of the information held by CMTEDD within the scope of your request.

### **Charges**

Pursuant to *Freedom of Information (Fees) Determination 2017 (No 2)* processing charges are applicable for this request because the total number of pages to be released to you exceeds the charging threshold of 50 pages. However, the charges have been waived in accordance with section 107(2)(b) of the Act.

### **Online publishing – Disclosure Log**

Under section 28 of the Act, CMTEDD maintains an online record of access applications called a disclosure log. Your original access application, my decision and documents released to you in response to your access application will be published in the CMTEDD disclosure log three days after the date of my decision. Your personal contact details will not be published.

You may view CMTEDD disclosure log at

<https://www.cmtedd.act.gov.au/functions/foi/disclosure-log>.

### **Ombudsman Review**

My decision on your access request is a reviewable decision as identified in Schedule 3 of the Act. You have the right to seek Ombudsman review of this outcome under section 73 of the Act within 20 working days from the day that my decision is published in CMTEDD disclosure log, or a longer period allowed by the Ombudsman.

If you wish to request a review of my decision you may write to the Ombudsman at:

The ACT Ombudsman

GPO Box 442

CANBERRA ACT 2601

Via email: [ombudsman@ombudsman.gov.au](mailto:ombudsman@ombudsman.gov.au)

### **ACT Civil and Administrative Tribunal (ACAT) Review**

Under section 84 of the Act, if a decision is made under section 82(1) on an Ombudsman review, you may apply to the ACAT for review of the Ombudsman decision. Further information may be obtained from the ACAT at:

ACT Civil and Administrative Tribunal  
Level 4, 1 Moore St  
GPO Box 370  
Canberra City ACT 2601  
Telephone: (02) 6207 1740  
<http://www.acat.act.gov.au/>

Should you have any queries in relation to your request please contact me by telephone on (02) 6207 7754 or email [CMTEDDFOI@act.gov.au](mailto:CMTEDDFOI@act.gov.au).

Yours sincerely,

A handwritten signature in black ink, appearing to read 'Sarah McBurney', with a stylized flourish at the end.

Sarah McBurney  
Information Officer  
Information Access  
Chief Minister, Treasury and Economic Development Directorate

14 February 2019





**ACT**  
Government

Chief Minister, Treasury and  
Economic Development

## FREEDOM OF INFORMATION REQUEST SCHEDULE

NAME	WHAT ARE THE PARAMETERS OF THE REQUEST	Reference NO.
[REDACTED]	Building file for Block [REDACTED], Section [REDACTED] in Moncrieff	CMTEDDFOI 2019-036 ACB:FAB:FAB:180668

Ref No	Page number	Description	Date	Status	Reason for Exemption	Online Release Status
1	1-138	Building File	Undated	Partial release	Sch 2 s2.2 (a)(ii) Sch 2 s2.2 (a)(xi)	Yes
<b>Total No of Docs</b>						
1						

**BUILDING APPROVAL COMPLETENESS CHECKLIST  
RESIDENTIAL BCA CLASS 1 and 10**

Block: ■

Section: ■

Suburb: Moncrieff

Unit No:

Project Number: B20173807

Building Certifier: John Bates

Customer Services Officer Name: Bobolas J

Date of completeness check: 28/09/2017

**Part 1 Administrative Check**

Requirements	Pass	Fail	N/A	Comments
* Has the Building Approval been submitted within 7 days from the date of approval?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
* Have all relevant plans been stamped and dated by the building certifier?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Does the date stamp on the plans match the approval date on eDevelopment?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
* Building approval stamp and application form text legible?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
* If the Building Approval has a Development Approval is the Development Approval still valid?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
* Have all lessee's signed the relevant forms?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
* Are all relevant documents uploaded & named correctly?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has an insurance certificate been provided if the cost of building work exceeds \$12,000?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Have statements of compliance from each relevant utility been provided where relevant?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/> GAS <input type="checkbox"/> WATER <input type="checkbox"/> ELECTRICITY
If the BA is for existing work, has the invoice been amended to include the relevant existing work fee?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
If BCN has been issued, is the licensee authorised to undertake the work as described? ie: Swimming Pool or Demolition endorsement on licence.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has the lessee's email address been provided? If yes, please email BA notice to lessee.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Requirements for DA Exempt Works	Pass	Fail	N/A	Comments
Have forms 7A and 7B been provided for building or alterations or full or part demolition of a single dwelling?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
If there is no exemption D notice or exemption declaration has a site work notice been provided?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
<b>COMPLETENESS CHECK FAILURE – from 1/9/13</b> * - Failure incurs a fee. – See page 15 of <a href="#">fees &amp; charges</a>	COMPLETENESS CHECK FAILURE NOTICE SENT: <a href="#">Click here to enter a date.</a> COMPLETENESS CHECK FAILURE FEES PAID: <a href="#">Click here to enter a date.</a>			

**Part 2 Completeness Check Failure Reasons**

After completing parts 1 & 3 of this checklist list the failure reasons below. For example: Failed to supply Elevation Plan or Incorrect lessee details and on resubmission select whether it has been supplied or not.

	Select One		Select One	Select One
	Select One		Select One	Select One

Checklist review date 08/09/2016

**BUILDING APPROVAL COMPLETENESS CHECKLIST  
RESIDENTIAL BCA CLASS 1 and 10**

<b>Part 3 Documentation Check</b>				
<b>Document</b>	<b>Document Name</b>	<b>Pass</b>	<b>Fail</b>	<b>N/A</b>
Form – Minimum Documentation Requirements for Building Approval Lodgment Checklist	Details – Minimum Documents Checklist	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Asbestos Removal Control Plan	Asbestos Removal Control Plan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Development Approval (including amendments)	Approved Plans – Development Approval	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Site Plan	Approved Plans – Site	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Floor Plan	Approved Plans – Floor	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevation Plan	Approved Plans – Elevation	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Section Details – Wall, Floor Ceiling & Roof	Approved Plans – Sections Wall Approved Plans – Sections Floor Approved Plans – Sections Ceiling Approved Plans – Sections Roof	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Demolition Plan	Approved Plans – Demolition	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Swimming Pools and Spas Details (including fencing/barriers)	Details – Pools Spas	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Energy Efficiency Details	Details – Energy Efficiency	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

<b>Creating Building Files</b>	
Only complete this section if for a new block where a building file does not exist. Select Y (yes) or N (no) below.	
Is this a new residence on a new block?	<input checked="" type="checkbox"/>
Has a new building approval been created in Objective and I Drive?	<input checked="" type="checkbox"/>

<b>Part 4 Audit Team Checklist</b>				
<b>Document</b>	<b>Document Name</b>	<b>Pass</b>	<b>Fail</b>	<b>N/A</b>
Footings and Concrete Slab Details	Details – Footings Concrete Slab	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Retaining Wall Details	Details – Retaining Walls	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Masonry Construction Details	Details – Masonry Construction	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Framing (including trusses) and Construction Details	Details – Framing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Roof Cladding Details	Details – Roof Cladding	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Exterior Cladding & Material Details	Details – Exterior Cladding & Materials	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Wet area details	Details – Wet Area	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Windows and Glazing Details	Details – Windows Glazing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Estimate of the Cost of the Building Work	Details – Cost of Building Work	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Alternative Solutions	Details – Alternative Solutions	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**BUILDING APPROVAL COMPLETENESS CHECKLIST  
RESIDENTIAL BCA CLASS 1 and 10**

**BUILDING APPROVAL COMPLETENESS CHECKLIST  
RESIDENTIAL BCA CLASS 1 and 10**

Block: ■

Section: ■

Suburb: Moncrieff

Unit No:

Project Number: B20173606

Building Certifier: BATES

Customer Services Officer Name: Morris A

Date of completeness check: 14/09/2017

**Part 1 Administrative Check**

Requirements	Pass	Fail	N/A	Comments
* Has the Building Approval been submitted within 7 days from the date of approval?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
* Have all relevant plans been stamped and dated by the building certifier?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Does the date stamp on the plans match the approval date on eDevelopment?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
* Building approval stamp and application form text legible?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
* If the Building Approval has a Development Approval is the Development Approval still valid?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
* Have all lessee's signed the relevant forms?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
* Are all relevant documents uploaded & named correctly?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has an insurance certificate been provided if the cost of building work exceeds \$12,000?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Have statements of compliance from each relevant utility been provided where relevant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/> GAS <input checked="" type="checkbox"/> WATER <input checked="" type="checkbox"/> ELECTRICITY
If the BA is for existing work, has the invoice been amended to include the relevant existing work fee?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
If BCN has been issued, is the licensee authorised to undertake the work as described? ie: Swimming Pool or Demolition endorsement on licence.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has the lessee's email address been provided? If yes, please email BA notice to lessee.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Requirements for DA Exempt Works	Pass	Fail	N/A	Comments
Have forms 7A and 7B been provided for building or alterations or full or part demolition of a single dwelling?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
If there is no exemption D notice or exemption declaration has a site work notice been provided?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
<b>COMPLETENESS CHECK FAILURE – from 1/9/13</b> * - Failure incurs a fee. – See page 15 of <a href="#">fees &amp; charges</a>	COMPLETENESS CHECK FAILURE NOTICE SENT: <a href="#">Click here to enter a date.</a> COMPLETENESS CHECK FAILURE FEES PAID: <a href="#">Click here to enter a date.</a>			

**Part 2 Completeness Check Failure Reasons**

After completing parts 1 & 3 of this checklist list the failure reasons below. For example: Failed to supply Elevation Plan or Incorrect lessee details and on resubmission select whether it has been supplied or not.

	Select One		Select One	Select One
	Select One		Select One	Select One

Checklist review date 08/09/2016

**BUILDING APPROVAL COMPLETENESS CHECKLIST  
RESIDENTIAL BCA CLASS 1 and 10**

<b>Part 3 Documentation Check</b>				
<b>Document</b>	<b>Document Name</b>	<b>Pass</b>	<b>Fail</b>	<b>N/A</b>
Form – Minimum Documentation Requirements for Building Approval Lodgment Checklist	Details – Minimum Documents Checklist	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Asbestos Removal Control Plan	Asbestos Removal Control Plan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Development Approval (including amendments)	Approved Plans – Development Approval	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Site Plan	Approved Plans – Site	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Floor Plan	Approved Plans – Floor	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Elevation Plan	Approved Plans – Elevation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Section Details – Wall, Floor Ceiling & Roof	Approved Plans – Sections Wall Approved Plans – Sections Floor Approved Plans – Sections Ceiling Approved Plans – Sections Roof	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Demolition Plan	Approved Plans – Demolition	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Swimming Pools and Spas Details (including fencing/barriers)	Details – Pools Spas	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Energy Efficiency Details	Details – Energy Efficiency	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

<b>Creating Building Files</b>	
Only complete this section if for a new block where a building file does not exist. Select Y (yes) or N (no) below.	
Is this a new residence on a new block?	<input checked="" type="checkbox"/>
Has a new building approval been created in Objective and I Drive?	<input checked="" type="checkbox"/>

<b>Part 4 Audit Team Checklist</b>				
<b>Document</b>	<b>Document Name</b>	<b>Pass</b>	<b>Fail</b>	<b>N/A</b>
Footings and Concrete Slab Details	Details – Footings Concrete Slab	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Retaining Wall Details	Details – Retaining Walls	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Masonry Construction Details	Details – Masonry Construction	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Framing (including trusses) and Construction Details	Details – Framing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Roof Cladding Details	Details – Roof Cladding	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Exterior Cladding & Material Details	Details – Exterior Cladding & Materials	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Wet area details	Details – Wet Area	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Windows and Glazing Details	Details – Windows Glazing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Estimate of the Cost of the Building Work	Details – Cost of Building Work	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Alternative Solutions	Details – Alternative Solutions	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**BUILDING APPROVAL COMPLETENESS CHECKLIST  
RESIDENTIAL BCA CLASS 1 and 10**

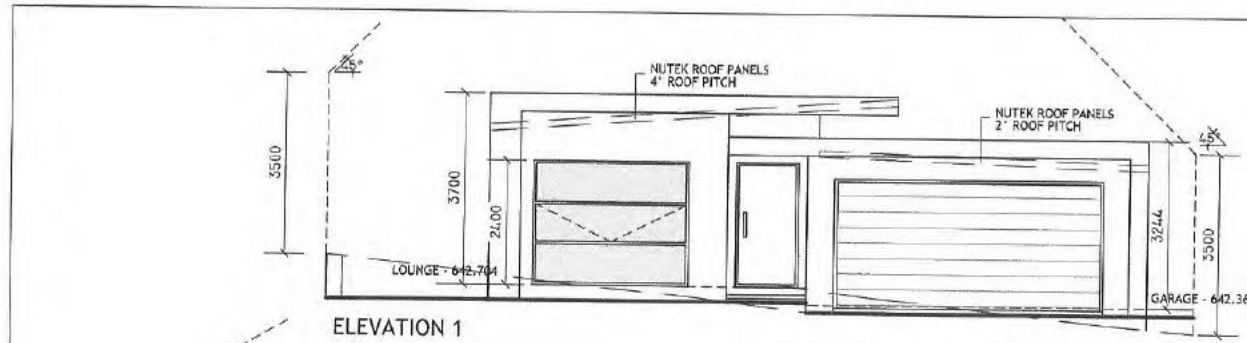
**BUILDING APPROVAL**  
 Issued under s.28 of  
 the Building Act 2004.

**JOHN BATES**  
 Certifier Name  
 Lic. No. 1988 4388  
 1a, 10a, 10b  
 BCA Occupancy Class

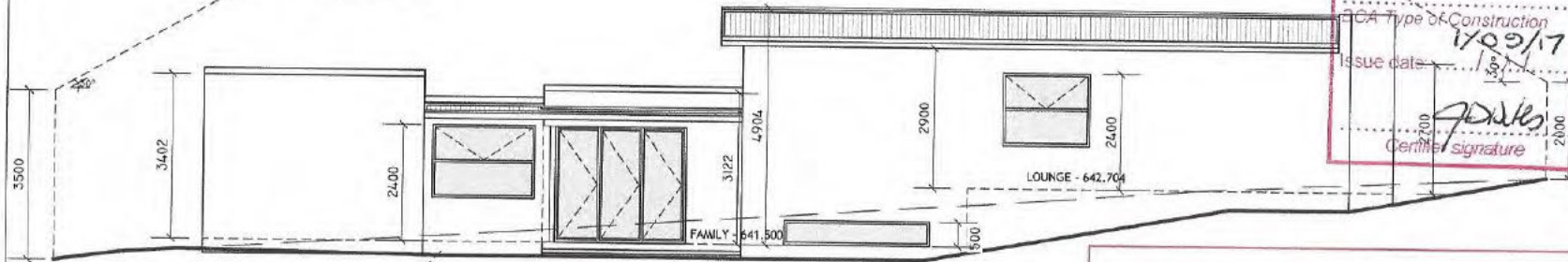
BCA Type of Construction  
 1/09/17  
 Issue date: 18/10/16  
 Certifier signature

PLEASE NOTE:  
 DIMENSIONS TAKE PREFERENCE  
 OVER SCALE. DIMENSIONS TO  
 BE VERIFIED PRIOR TO THE  
 COMMENCEMENT OF BUILDING  
 ALL DIMENSIONS, ASPECTS  
 AREAS ETC. TO BE CONFIRMED  
 BY PERMIT HOLDER PRIOR TO  
 COMMENCEMENT OF BUILDING  
 ANY DISCREPANCIES FOUND IN  
 DIMENSIONS, AREAS, ETC  
 TO BE RECTIFIED PRIOR TO  
 COMMENCEMENT OF BUILDING  
 ALL BUILDING WORK TO BE  
 PERFORMED IN ACCORDANCE  
 WITH 'BUILDING CODE OF  
 AUSTRALIA' AND ANY OTHER  
 RELEVANT BUILDING CODES

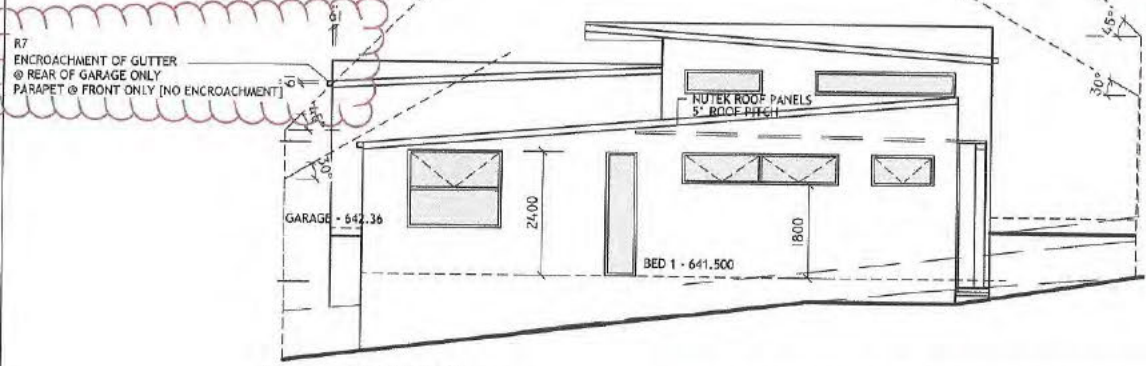
DESIGNER DETAILS:  
**ARC ESSENTIALS**  
 0468 920 700  
 arcessentials@hotmail.com



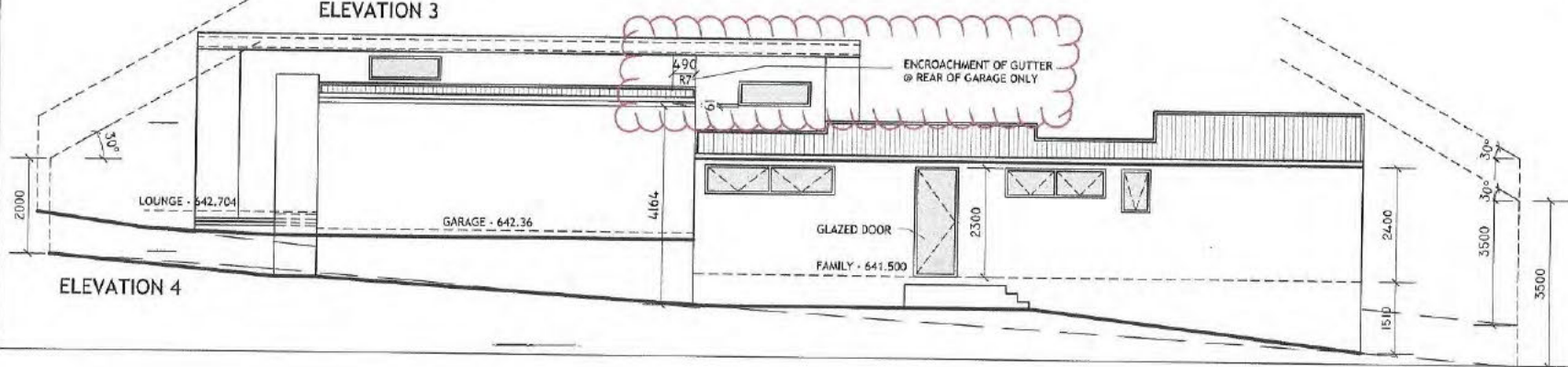
ELEVATION 1



ELEVATION 2



ELEVATION 3

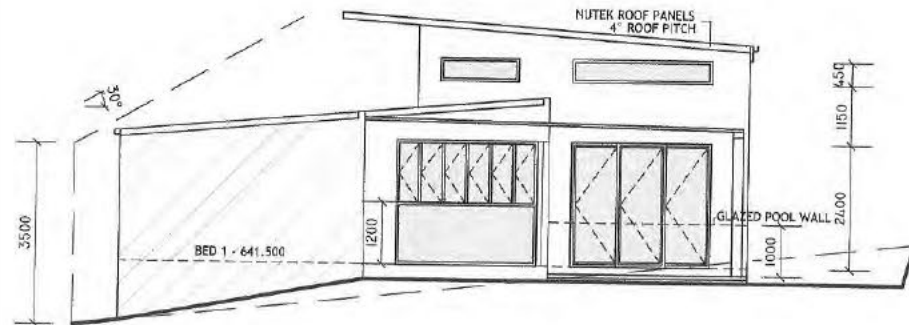


ELEVATION 4

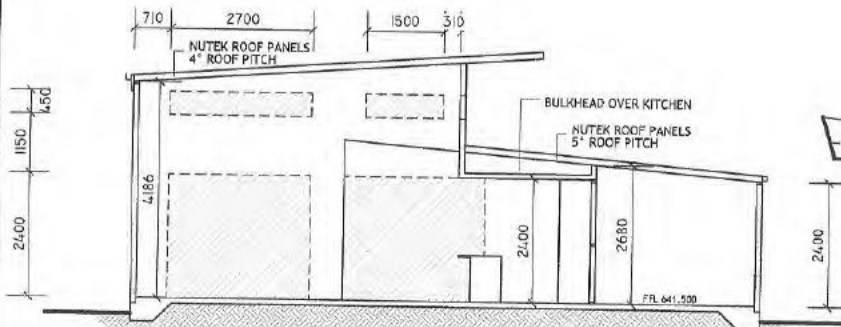
**APPROVED**  
 PURSUANT TO SECTION 1.100A/1.100AB OF THE  
 PLANNING AND DEVELOPMENT REGULATION 2008  
 Delegate name LISA VAN VUCHT  
 Date 21/10/2016  
**DECLARATION OF EXTENDED DISTANCE**  
 Rule 7 - Solar departure of a maximum 61mm for a length of 490mm  
 Rule 11 - Front boundary setback departure of a maximum 900mm for a length of 600mm  
 Rule 12 - Rear boundary setback departure of a maximum 259mm for a length of 8347mm

BUILDER:		IBUILT	
CLIENT:		IBUILT	
PROJECT'S DETAILS:			
PROPOSED RESIDENCE			
BLOCK:		SECTION	
SUBURB:	MONCRIEFF		
DRAWING TYPE:		SCALE:	
ELEVATIONS		1:100	
SHEET:	DATE:	JOB NO:	
3	19-10-2016	0100	

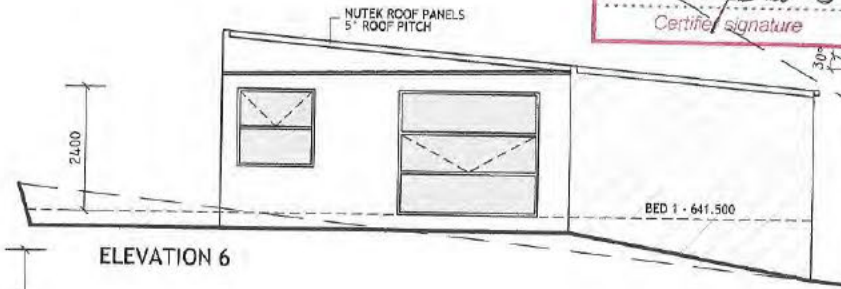




ELEVATION 5



SECTION A



ELEVATION 6

**BUILDING APPROVAL**  
 Issued under s.28 of  
 the Building Act 2004.

**JOHN BATES**  
 Certifier Name

Lic. No. 1988 4388

Laxis, 10a, 10b  
 BCA Occupancy Class

BCA Type of Construction

Issue date: 1...109...17

*J. Bates*  
 Certifier signature

PLEASE NOTE:  
 DIMENSIONS TAKE PREFERENCE  
 OVER SCALE, DIMENSIONS TO  
 BE VERIFIED PRIOR TO THE  
 COMMENCEMENT OF BUILDING

ALL DIMENSIONS, ASPECTS  
 AREAS ETC. TO BE CONFIRMED  
 BY PERMIT HOLDER PRIOR TO  
 COMMENCEMENT OF BUILDING

ANY DISCREPANCIES FOUND IN  
 DIMENSIONS, AREAS, ETC  
 TO BE RECTIFIED PRIOR TO  
 COMMENCEMENT OF BUILDING

ALL BUILDING WORK TO BE  
 PERFORMED IN ACCORDANCE  
 WITH 'BUILDING CODE OF  
 AUSTRALIA' AND ANY OTHER  
 RELEVANT BUILDING CODES

DESIGNER DETAILS:  
**ARC ESSENTIALS**  
 0468 920 700  
 arcessentials@hotmail.com

BUILDER:  
**IBUILT**

CLIENT:  
**IBUILT**

PROJECT'S DETAILS:  
**PROPOSED RESIDENCE**

BLOCK:  SECTION

SUBURB: **MONCRIEFF**

DRAWING TYPE :  
**ELEVATIONS  
 SECTION**

SCALE:  
**1:100**

SHEET: **4** DATE: **19-10-2016** JOB NO: **0100**

**ROOF:**  
 TRUSSES AT 900MM CENTERS. FIXED TO  
 MANUFACTURERS SPECIFICATIONS  
 LINTEL SIZE TO TRUSS MANUFACTURERS CHART METAL  
 FASCIA & GUTTER AS SELECTED  
 PLASTER INTERNAL LININGS WALL FRAMING TO ALL  
 ROOMS TO BE COVERED JOINTS BEING BACKED WITH  
 EITHER NOGGINGS OR STUDS AS REQUIRED BY  
 MANUFACTURER  
 ALL THINGS SHALL BE SECURELY FIXED PLASTER  
 BOARD (MIN 10MM THICK) WALL & CEILING LINING,  
 FIBROUS CEMENT SHEET WALL LINING TO WET AREAS  
 PROVIDE CORNICE OR AS SELECTED SHALL BE FIXED  
 AT INTERSECTION OF ALL BEAMS AND WALL JUNCTIONS  
 WITH CEILINGS.  
 PROVIDE ROOF LIGHTS & VENTILATION TO COMPLY  
 WITH THE BCA

**ROOF PLUMBING , FLASHING & THE LIKE AS  
 NECESSITIES BY THE WORK TO COMPLY WITH  
 AUSTRALIAN STANDARD**

**TIMBER STUD WORK :**  
 ALL TIMBER WORK TO COMPLY WITH THE  
 REQUIREMENTS OF AS 1684.2 - 1999 'RESIDENTIAL  
 TIMBER FRAMED CONSTRUCTION'  
 90X35MM PINE PLATE & NOGGING PROVIDE SECOND  
 90X45 MM TOP PLATE TO ALL LOAD-BEARING WALLS.  
 90X35MM PINE STUDS AT 450 MM CENTERS TO ALL LOAD-  
 BEARING WALLS & AT 600 MM CENTERS  
 TO NON LOAD-BEARING WALLS  
 PROVIDE 90X45 F8 STUDS TO BOTH SIDES OF OPENING  
 CARRYING LINTELS F8 TIMBER TO WALLS SUPPORTING  
 TRUSSES WITH SPANS GREATER THAN 6.0 M 50X38 MM  
 CEILING BATTENS AT 450 MM CENTERS. 10 MM PLASTER  
 BOARD INTERNAL WALL & CEILING LINING FIBROUS  
 CEMENT SHEET LINING TO EAVES.

**FOOTINGS :**  
 ALL CONCRETE FOOTINGS AND SLABS TO BE IN  
 ACCORDANCE WITH S.A.A. CODE 2870.1 & ENGINEER'S  
 SPECIFICATION PROVIDE CONTINUOUS DAMP PROOF  
 MEMBRANE UNDER SLAB.

PROVIDE DAMP PROOF COURSE AT BEARER SEATING  
 LEVELS, PROVIDE STEPPED CAVITY FLASHING WITH  
 'WEEP HOLES AT 1200MM CENTERS TO THE EXTERNAL  
 BRICK SKIN AT GROUND FLOOR LEVEL , UNDER  
 WINDOW SILLS AND BRICKWORK ABOVE WINDOWS.

**BRICKWORK :**  
 BRICKWORK AS SELECTED, GENERALLY 230 X 110 X76  
 MM BRICKS BONDED IN STRETCHER BOND. MORTAR TO  
 COMPLY WITH THE REQUIREMENTS OF RELEVANT  
 CODES & AUSTRALIAN STANDARDS. COLOUR TO NOT BE  
 WHITE OR OFF-WHITE

LINTELS FOR BRICKWORK:  
 ALL BEAMS & LINTELS WORK AS PER ENGINEER'S  
 SPECIFICATION & MANUFACTURER'S TABLE.

**APPROVED**  
 PURSUANT TO SECTION 1.100A/1.100AB OF THE  
 PLANNING AND DEVELOPMENT REGULATION 2008

Delegate name: LISA VAN VUCHT  
 Date: 21/10/2016

**DECLARATION OF EXTENDED DISTANCE**  
 Rule 7 - Solar departure of a maximum 6.1mm for a length of 490mm  
 Rule 11 - Front boundary setback departure of a maximum 900mm for a length of 600mm  
 Rule 12 - Rear boundary setback departure of a maximum 259mm for a length of 8347mm

**BUILDING APPROVAL**  
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**JOHN BATES**  
 Certifier Name  
 Lic. No. 1988 4388  
 Class 10a, 10b  
 BCA Occupancy Class  
 Issue date: 1/09/17  
 Certifier signature

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 ANY DISCREPANCIES FOUND IN DIMENSIONS, AREAS, ETC TO BE RECTIFIED PRIOR TO COMMENCEMENT OF BUILDING  
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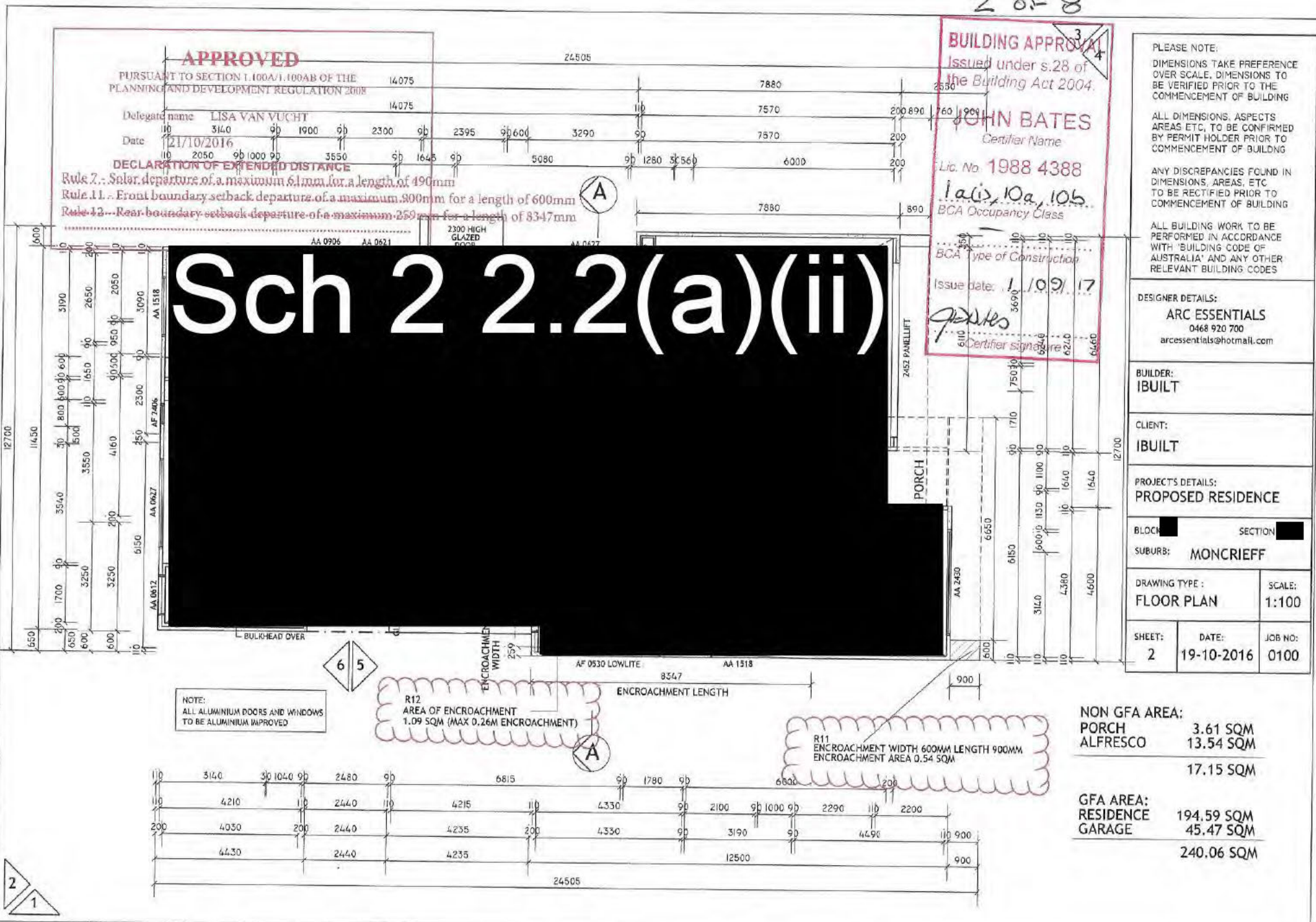
DESIGNER DETAILS:  
**ARC ESSENTIALS**  
 0468 920 700  
 arcessentials@hotmail.com

BUILDER:  
**IBUILT**  
 CLIENT:  
**IBUILT**

PROJECT'S DETAILS:  
**PROPOSED RESIDENCE**  
 BLOCK: SECTION:  
 SUBURB: **MONCRIEFF**

DRAWING TYPE:		SCALE:
<b>FLOOR PLAN</b>		<b>1:100</b>
SHEET:	DATE:	JOB NO:
<b>2</b>	<b>19-10-2016</b>	<b>0100</b>

**Sch 2 2.2(a)(ii)**



NOTE:  
 ALL ALUMINIUM DOORS AND WINDOWS TO BE ALUMINIUM IMPROVED

R12 AREA OF ENCROACHMENT  
 1.09 SQM (MAX 0.26M ENCROACHMENT)

R11 ENCROACHMENT WIDTH 600MM LENGTH 900MM  
 ENCROACHMENT AREA 0.54 SQM

NON GFA AREA:  
 PORCH 3.61 SQM  
 ALFRESCO 13.54 SQM  
**17.15 SQM**

GFA AREA:  
 RESIDENCE 194.59 SQM  
 GARAGE 45.47 SQM  
**240.06 SQM**

# BLOCK: 9 SECTION 78, MONCRIEFF 5 OF 8

## GENERAL NOTES

- G1 These drawings shall be read in conjunction with other consultants' drawings and specifications and with other such written instructions as may be issued during the course of the Contract. Any discrepancy shall be referred to the Engineer before proceeding with the work.  
 G2 All dimensions are in millimetres, U.N.O. (unless noted otherwise).  
 G3 No dimension shall be obtained by scaling the drawings.  
 G4 All levels and setting out dimensions shown on the drawings shall be checked on site prior to the commencement of the work.  
 G5 During construction the structure shall be maintained in a stable condition and no part shall be overstrained.  
 G6 Damp-proofing & sealing details shall be in accordance with Architect's details. All joints in concrete elements shall be suitably sealed or damp-proofed.

## FOUNDATIONS

- F1 Refer Slab Design Criteria for classification of site.  
 F2 Footings have been designed for an allowable bearing pressure of 150 kPa U.N.O. All foundations must be stable and uniform throughout.  
 F3 Foundation material shall be inspected and approved for the above site classification and allowable bearing pressure by a Geotechnical Engineer before placing footing reinforcement.  
 F4 Footings shall be placed centrally under walls and columns, U.N.O.

## LOADING

- L1 Superimposed floor loads are generally in accordance with AS 1170.1 or as noted in Table LA.  
 L2 Wind loads are in accordance with AS/NZS 1170.2 as follows:  
 Region : A Terrain category 3 wind classification H2  
 L3 Earthquake loads are in accordance with AS 1170.4 as follows:  
 a = 0.08 S = 1.0 I = 1.0 U.N.O.  
 L4 Live loads & additional dead loads (to AS/NZS 1170.1)

Area subject to loading	Live Load		Add. Dead Load
	Uniform	Point	
Floors - Internal	1.50 kPa	1.80 kN	0.50 kPa
Floors - External & Garage	3.00 kPa	1.80 kN	1.00 kPa
Roof Areas	0.25 kPa	1.40 kN	0.15 kPa

## MASONRY

- M1 All workmanship and materials shall be in accordance with AS 3700.  
 M2 Characteristic compressive strength of masonry (F<sub>cd</sub>) = 24 MPa

Durability Requirements			
Mortar	Salt Attack Resistance Grade	Built In Component	Min. Cover to Reinforcement & Tendons in Grouted Cavities
M2	Protected	R1 (Galv'd 300 g/m <sup>2</sup> each side)	5
M3	General Purpose	R3 (Galv'd 470 g/m <sup>2</sup> each side)	15
M4	Exposure	R4 (Stainless)	30

- M3 All masonry walls supporting slabs and beams shall have a pre-greased two layer galvanised steel slip joint between concrete and masonry.  
 M4 All masonry walls supporting or supported by concrete floors shall be provided with vertical joints to match any control joints in the concrete.  
 M5 Non load bearing walls shall be separated from concrete above by 12 mm thick closed cell polyethylene strip.  
 M6 Provide vertical control joints at 8 metres maximum centres, and 4 metres maximum from corners in masonry walls, and between new & existing brickwork.  
 M7 Masonry retaining walls are to be backfilled with either of the following material:  
 - Coarse graded soil with low clay content  
 - Residual soil containing stones  
 - Fine silty sand  
 - Granular materials with low clay content

## REINFORCED CONCRETE

- C1 All workmanship and materials shall be in accordance with AS 3600 current edition, except where varied by the contract documents.  
 C2 Concrete quality shall be as follows (subject to note C4 being satisfied):

Element	Slump mm	Max. Agg. Size mm	Cement Type	f <sub>c</sub> at 28 Days MPa
Footings	80	20	Normal	20
Slabs on Ground	80	20	Portland	25
Suspended Floors	80	20	Type A	32

- C3 Engineer to approve any admixtures used in concrete mix.  
 C4 Cover to reinforcement shall be obtained by the use of approved bar chairs. All chairs to be placed at 750 maximum centres.  
 C5 Minimum clear concrete cover to reinforcement including ties and stirrups (other than residential slabs on ground or footings) shall be as follows unit.

Exposure Classification	Minimum Cover (mm)				
	Concrete Strength (f <sub>c</sub> )				
	20 MPa	25 MPa	32 MPa	40 MPa	>50 MPa
A1	20	20	20	20	20
A2	(50)	30	25	20	20
B1	-	(60)	40	30	25
B2	-	-	(85)	45	35
C	-	-	-	(70)	50

- For bracketed figures refer to AS 3600 current edition table 4.10.3.2  
 C6 Residential slab on ground and footings cover requirements: (Minimum concrete grade N20)  
 - Unprotected ground: 40 mm  
 - External exposure: 40 mm  
 - Membrane in contact with ground: 30 mm  
 - Internal surface: 20 mm  
 - Strip & pad footing: 40 mm  
 C7 All concrete shall be mechanically vibrated. Vibrators shall not be used to spread concrete.  
 C8 Sizes of concrete elements do not include thickness of applied finishes.  
 C9 No holes or classes other than those shown on the structural drawings shall be made in concrete members without the prior approval of the Engineer.  
 C10 Construction joints where not shown shall be located to the approval of the Engineer.  
 C11 Curing of all concrete is to be achieved by keeping surfaces continuously wet for a period of 7 days, and prevention of loss of moisture for a total of 7 days followed by gradual drying out. Approved sprayed on compounds may be used where no floor finishes are proposed. Polythene sheeting or wet hessian may be used if protected from wind and traffic.  
 C12 Construction support propping is to be left in place where needed to avoid overstressing the structure due to construction loading. No masonry or partition walls are to be constructed on suspended levels until all propping is removed and the slab has absorbed its dead load deflection.  
 C13 Conduits, pipes, etc. shall only be placed in the middle one third of slab depth and spread at not less than 3 diameters.  
 C14 Reinforcement symbols:  
 N - Denotes deformed grade 500 normal ductility reinforcing bars to AS/NZS 4671.  
 R - Denotes plain round grade 250 normal ductility reinforcing bars to AS/NZS 4671.  
 SL - Denotes deformed grade 500 low ductility reinforcing mesh to AS/NZS 4671.  
 RL - Denotes deformed grade 500 low ductility reinforcing mesh to AS/NZS 4671.  
 L-TM - Denotes deformed grade 500 low ductility trench mesh to AS/NZS 4671.

- C15 Reinforcement is represented diagrammatically; it is not necessarily shown in true proportion.  
 C16 Splices in reinforcement shall be made only in positions shown or otherwise approved by the Engineer.  
 C17 Fabric reinforcement shall have splices made so that the overlap, measured between the outermost transverse wires of each sheet of fabric, is not less than the spacing of those wires plus 25 mm.  
 C18 Welding of reinforcement shall not be permitted unless shown on the structural drawings or approved by the Engineer.

- S1 All workmanship and materials shall be in accordance with AS 4100, AS 1193, AS 1554.1 and AS/NZS 4600.  
 S2 The structural design has been based on the following steel grades, U.N.O:  
 Hot rolled universal beams, columns, channels & angles: 300PLUS  
 Circular, square & rectangular hollow sections: C350/C460LO  
 Cold formed open Duralgal profiles: C4000/C460LO  
 Cold formed lipped Cee & Zed purlins: G550/G500/C460  
 S3 The structural design has been based on MBPMA nominal size Cee & Zed lipped purlins. All purlin profiles shall be in accordance with the MBPMA specifications. Qualifications of welding procedures and personnel shall conform to Section 4 of AS 1554.1. Non destructive testing of welds shall include 100% visual inspection and additional testing as shown on the drawings.  
 All welds shall be 6 mm continuous fillet type SP, U.N.O. All butt welds shall be complete penetration in accordance with AS 1554.1, U.N.O.  
 Commercial bolts to AS 1111, snug tightened  
 High strength structural bolts to AS 1562, snug tightened  
 High strength structural bolts to AS 1562, fully tensioned bearing joint to AS 1511  
 High strength structural bolts to AS 1562, fully tensioned friction joint to AS 1511  
 All bolts shall be M16 8.8/S, with a minimum of 2 bolts per connection, U.N.O.  
 S7 High strength TF & TB bolts shall be installed using approved load indicator washers, or in accordance with the part turn method contained in AS 4100.  
 S8 Gussat plates shall be 10 mm thick, grade 300PLUS steel, U.N.O.  
 S9 Concrete encased steelwork shall be wrapped with SL41 fabric and shall have a minimum of 50 mm cover, U.N.O.  
 S10 Steelwork not encased shall have the following surface treatment:

Exposure Classification	Steelwork Protection Required
A1 / A2	Power tool clean to AS 1627 Class 1 1 Coat Alkyd Primer (Zinc Phosphate)
B1	Abrasive blast to AS 1627 Class 2.5 1 Coat Inorganic Zinc Silicate
B2	Hot Dipped Galvanised to AS 4680

- S11 Where sealed tube members are not hot dip galvanised, the fabricator shall provide drill holes as necessary.  
 S12 All transport and erection damage, site welds etc., shall be reinstated to an equivalent finish to adjacent steelwork

## SITE PREPARATION FOR SLABS ON GROUND

- P1 Strip topsoil containing organic matter. Proofroll fill sub grade and remove any soft zones.  
 P2 Where additional fill is required to the underside of slabs on ground, non-cohesive materials such as sand and gravel dust shall be placed in 100mm maximum layers of 200 mm (loose) maximum depth. This fill shall be compacted to at least 95% of Standard Maximum Dry Density (SMDD).  
 P3 For slabs on ground, sand 50 mm approximate thickness is to be spread over levelling layer and well watered down.  
 P4 Damp-proofing membrane unperforated and taped at laps, is to be placed over the sand, sufficient membrane being provided at edges to return under brickwork. Where no brickwork, tape membrane to side of footing below ground.

## FOUNDATION MAINTENANCE

- FOUNDATION SOILS: All soils are affected by water. Soils are weakened by water and some sands can settle if heavily watered, but most problems arise on dry foundations. Clays swell and shrink due to changes in moisture content and the potential amount of the movement is implied in the site classification in accordance with Standard AS2570, which is specified as follows:

- A Stable (Non-reactive).
- S Slightly Reactive.
- M Moderately Reactive.
- H Highly Reactive.
- E Extremely Reactive.

- CLASS A & S SITES: Sands, silts and clays shall be protected from becoming extremely wet by adequate attention to site drainage and prompt repair of plumbing leaks.  
 CLASS M, H & E SITES: Sites classified as M, H, or E shall be maintained at essentially stable moisture conditions and extremes of wetting and drying prevented. This will require attention to the following:

- Drainage of the site: The site shall be graded or drained so that water cannot pond against or near the house. The ground immediately adjacent to the house shall be graded to a uniform fall of 50 mm minimum away from the house over the first metre. The sub floor space for houses with suspended floors shall be graded or drained to prevent ponding where this may affect the performance of the footing system. The site drainage requirements shall be maintained for the economic life of the building.  
 Limitations on gardens: The development of the gardens shall not interfere with the drainage requirements or the sub floor ventilation and weep hole drainage systems. Garden beds adjacent to the house should be avoided. Care should be taken to avoid over watering of gardens close to the house footings.  
 Restrictions on trees and shrubs: Planting of trees should be avoided near the foundation of a house or neighbouring houses on reactive sites as they can cause damage due to drying of the clay at substantial distances. To reduce, but not eliminate, the possibility of damage, tree planting should be restricted to a distance from the house of:

- 1.50 x mature height for Class E sites
- 1.00 x mature height for Class H sites
- 0.75 x mature height for Class M sites

- Where rows or groups of trees are involved, the distance from the building should be increased. Removal of trees from the site can also cause similar problems.  
 Repair of leaks: Leaks in plumbing, including storm water and sewerage drainage should be repaired promptly.

- The level to which these measures are implemented depends on the reactivity of the site. The measures apply mainly to masonry houses and masonry veneer houses. For frame houses clad with timber or sheathing, lesser precautions may be appropriate.

## BONDEK/CONDECK FORMWORK

- B1 U.N.O. BONDEK/CONDECK PANELS SHALL BE 1 000mm BMT  
 B2 PANELS ARE TO BE SECURELY FIXED OR HELD DOWN TO PREVENT DISPLACEMENT DUE TO CONSTRUCTION LOADING OR WIND UPLIFT PRIOR TO CONCRETING  
 B3 FIX PANELS TO STEELWORK BY BUBBLE WELDING DRIVE PINS OR OTHER SUITABLE METHODS. SLIP JOINTS SHALL BE LOCATED AS SHOWN  
 B4 FIXING TO MASONRY IS NOT NECESSARY PROVIDED CONCRETE IS PLACED IMMEDIATELY AFTER PANELS ARE LAID. TOP COURSE OF BRICKWORK IS TO BE STRAIGHT AND LEVEL IF REQUIRED, PROVIDE LAYER OF SMOOTH HARD MORTAR SLIP JOINTS SHALL BE PROVIDED AT ALL MASONRY U.N.O.

**BUILDING APPROVAL**  
 Issued under s.28 of the Building Act 2006  
 JOHN BATE  
 Certifier Name  
 No. 1988 438  
 Issued date: 10/01/2007

- B6 BEFORE CONCRETE IS PLACED, ANY ACCUMULATED DEBRIS, GRASS OR ANY OTHER SUBSTANCE WILL NEED TO BE REMOVED TO ENSURE CLEAN BONDING SURFACE. ANY PONDED RAINWATER SHOULD BE REMOVED BY BLOWING OR SWEEPING  
 B7 FASTENING OF SIDE LAP JOINTS SHALL BE IN ACCORDANCE WITH LYSAGHT PUBLICATIONS, AND GENERALLY ONE No. 10-24mm SELF-DRILLING TAPPING SCREW IS REQUIRED MID-SPAN FOR SUPPORT SPACING OF 2750mm OR GREATER FOR POINT LOADS RATINGS OR EXPOSED SOFFITS ADDITIONAL FIXING MAY BE REQUIRED  
 B8 U.N.O. PROPPING SHALL BE IN ACCORDANCE WITH LYSAGHT PUBLICATIONS  
 B9 PROPS SHALL NOT BE REMOVED UNTIL CONCRETE HAS REACHED SUFFICIENT STRENGTH
- SB1 - DENOTES LOAD BEARING BRICK WALL OVER  
 SB2 - DENOTES CORE FILLED BLOCK WALL OVER  
 SB3 - DENOTES NON LOAD BEARING WALL OVER  
 SB4 - DENOTES NON LOAD BEARING WALL UNDER  
 SB5 - DENOTES LOAD BEARING MASONRY WALL UNDER  
 SB6 - DENOTES LOAD BEARING 190 DINCEL WALL  
 SB7 - DENOTES LOAD BEARING STUD WALL OVER  
 SB8 - DENOTES SLAB PENETRATION  
 SB9 - DENOTES SLAB STEP DEPTH  
 SB10 - DENOTES MINIMUM SLAB DEPTH  
 SB11 - DENOTES SLAB DATUM  
 SB12 (180) - DENOTES STEEL BEAM 180mm BELOW SLAB DATUM  
 SB13 - DENOTES SAWN JOINT. REFER TO DETAILS.  
 SB14 - DENOTES KEY JOINT. REFER TO DETAILS.  
 SB15 - DENOTES DOUBLE STUD  
 SB16 - DENOTES TRIPLE STUD  
 PS - DENOTES F11x4.5 THICK PLYWOOD SHEET STRUCTURAL BRACING. REFER TO TIMBER FRAMING CODE FOR FIXING.  
 MSX - DENOTES 30x3.8 METAL STRAP CROSS BRACING. REFER TO TIMBER FRAMING CODE AS1884 FOR FIXING  
 SC1 - DENOTES CONTINUOUS STEEL COLUMN  
 SC(10) - DENOTES STEEL COLUMN OVER  
 SC(U) - DENOTES STEEL COLUMN UNDER  
 SC(10) - DENOTES STEEL COLUMN UNDER & OVER

NOTE: DO NOT SCALE OFF DRAWINGS. REFER TO ARCHITECTURAL PLANS, VERIFY DIMENSIONS ON SITE

A	REV	DESCRIPTION	DATE	BY

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**ANH**  
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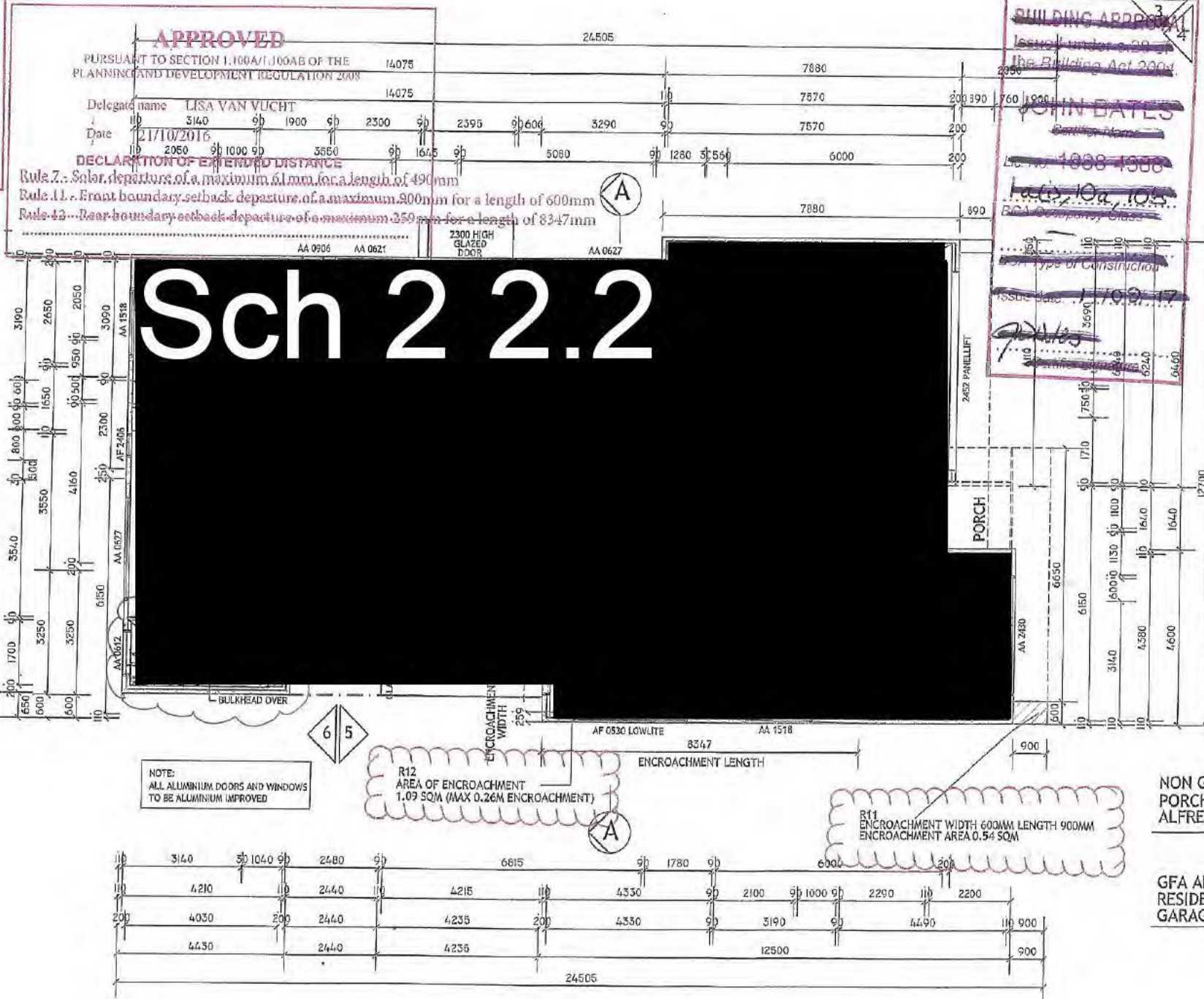
**NEW RESIDENCE**  
**BLOCK SECTION MONCRIEFF**  
**FOR I BUILT**

JOB NUMBER	DAYS NUMBER	CADREAL CODE
17-134	8000	A3
DESIGNED BY	DATE	SCALE
A.N.H.	05.05.2017	
DRAWN BY	SCALE	1:100
A.Z.	1:100	

GENERAL NOTES

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**JOHN BATES**  
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 1a, 10a, 10b  
 BCA Occupancy Class  
 BCA Type of Construction  
 Issue date: 3 08/18  
 Certifier signature

1. SHOW AS-BUILT ENS LAYOUT



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 ALL BUILDING WORK TO BE PERFORMED IN ACCORDANCE WITH 'BUILDING CODE OF AUSTRALIA' AND ANY OTHER RELEVANT BUILDING CODES

**DESIGNER DETAILS:**  
**ARC ESSENTIALS**  
 0468 920 700  
 arcessentials@hotmail.com

**BUILDER:**  
**IBUILT**

**CLIENT:**  
**IBUILT**

**PROJECT'S DETAILS:**  
**PROPOSED RESIDENCE**

**BLOCK:** [ ] **SECTION:** [ ]

**SUBURB:** **MONCRIEFF**

**DRAWING TYPE:** **FLOOR PLAN** **SCALE:** **1:100**

**SHEET:** **2** **DATE:** **19-10-2016** **JOB NO:** **0100**

**NON GFA AREA:**  
**PORCH** 3.61 SQM  
**ALFRESCO** 13.54 SQM  
**17.15 SQM**

**GFA AREA:**  
**RESIDENCE** 194.59 SQM  
**GARAGE** 45.47 SQM  
**240.06 SQM**

**BUILDING APPROVAL**  
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**JOHN BATES**  
 Certifier Name  
 Lic. No. 1988 4386  
 10/10/10  
 BCA Occupancy Class  
 ---  
 BCA Type of Construction  
 1/09/17  
 Issue date:  
 [Signature]  
 Certifier signature

**APART FROM EXEMPTION DECLARATION, WORK IS EXEMPT FROM DEVELOPMENT APPROVAL**  
 APPROVAL under PLANNING & DEVELOPMENT REG. N 2008 S1-100 - ASSESSED BY  
**JOHN BATES CERTIFIER** Dated 1/09/2017

THE FFLS ARE SUBJECT TO CHANGE AND ARE UP TO BUILDERS DISCRETION TO BE VERIFIED ON SITE, MAXIMUM CHANGE TO BE UNDER 340 MM.  
 LOCATION OF CUTS ARE INDICATIVE ONLY AND TO BE VERIFIED ON SITE  
 CONFIRM ALL LEVELS AND CONTOURS ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION. BUILDER IS RESPONSIBLE TO ENSURE ALL INFORMATION SHOWN HERE REGARDING LEVELS IS ACCURATE AND REPRESENTS EXISTING ON SITE LEVELS  
 BLOCK BOUNDARIES, CONTOURS, SERVICES AND EASEMENTS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION  
 RETAINING WALL HEIGHTS AND ALL LEVELS TO SUIT SITE CONDITIONS. FINAL HEIGHTS TO BE CONFIRMED BY BUILDER ON SITE  
 BUILDER TO PROVIDE ALL LABOUR, MATERIALS, FITTINGS, PAINT, TOOLS, PERMITS, INSURANCES ETC NECESSARY FOR THE PROPER COMPLETION OF THE WORKS AND ENSURE THAT ALL LABOUR AND MATERIALS IN ALL TRADES ARE THE BEST OF THE RESPECTIVE KINDS. SEE INCLUSIONS LIST FOR EXCLUSIONS  
 ALL CONTRACTORS TO INFORM THEMSELVES OF THE SCOPE OF WORK PRIOR TO COMMENCING THEIR RELEVANT DUTIES  
 FOLLOW FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS BEFORE STARTING AND REPORT ANY DISCREPANCIES TO THE DESIGNER  
 BUILDING SETBACKS, EASEMENTS AND DIMENSIONS TO BE VERIFIED BY SURVEYOR AND CERTIFIER PRIOR TO COMMENCEMENT OF ANY WORK  
 MATERIALS AND WORKMANSHIP TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AND ALL OTHER RELEVANT CODES AND AUSTRALIAN STANDARDS.

**APPROVED**  
 PURSUANT TO SECTION 1.100A/1.103AB OF THE PLANNING AND DEVELOPMENT REGULATION 2008  
 Delegate name LISA VAN VUCHT  
 Date 21/10/2016  
**DECLARATION OF EXTENDED DISTANCE**  
 Rule 7 - Solar departure of a maximum 61mm for a length of 4900mm  
 Rule 11 - Front boundary setback departure of a maximum 990mm for a length of 600mm  
 Rule 12 - Rear boundary setback departure of a maximum 259mm for a length of 8347mm

PLEASE NOTE:  
 DIMENSIONS TAKE PREFERENCE OVER SCALE, DIMENSIONS TO BE VERIFIED PRIOR TO THE COMMENCEMENT OF BUILDING  
 ALL DIMENSIONS, ASPECTS AREAS ETC, TO BE CONFIRMED BY PERMIT HOLDER PRIOR TO COMMENCEMENT OF BUILDING  
 ANY DISCREPANCIES FOUND IN DIMENSIONS, AREAS, ETC TO BE RECTIFIED PRIOR TO COMMENCEMENT OF BUILDING  
 ALL BUILDING WORK TO BE PERFORMED IN ACCORDANCE WITH 'BUILDING CODE OF AUSTRALIA' AND ANY OTHER RELEVANT BUILDING CODES

DESIGNER DETAILS:  
**ARC ESSENTIALS**  
 0468 920 700  
 arcessentialsh@hotmail.com

BUILDER:  
**IBUILT**  
 CLIENT:  
**IBUILT**

PROJECT'S DETAILS:  
**PROPOSED RESIDENCE**  
 BLOCK: [ ] SECTION [ ]  
 SUBURB: **MONCRIEFF**

DRAWING TYPE : **SITE PLAN** SCALE: **1:200**  
 SHEET: **1** DATE: **19-10-2016** JOB NO: **0100**

4 x 300 Ø BORED PILES TO INVERT LEVEL OF SERVICE PIPE

R11 NON STRUCTURAL ARTICULATION ELEMENT 0.54 SQM

R12 AREA OF ENCROACHMENT 1.09 SQM (MAX 0.26M ENCROACHMENT)

0.5 M CUT & RETAINER CONTOURS BASED ON DEVELOPER'S CONTOURS

ALL CUTS & FFL TO BE VERIFIED ON SITE BY A CERTIFIED SURVEYOR

75MM THICK RETAINING WALL

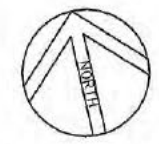
4000 L RAINWATER TANK 50% OR 100 SQM OF ROOF AREA WHICHEVER IS THE LESSER, IS CONNECTED TO THE TANK & THE TANK IS CONNECTED TO AT LEAST THE TOILET, LAUNDRY COLD WATER & ALL EXTERNAL TAPS.

LANDSCAPING NOTE  
 MINIMUM 50 % OF POS TO BE RETAINED AS PLANTING AREA

SOIL EROSION & SEDIMENT CONTROL  
 THE DEVELOPMENT WILL COMPLY WITH ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE ACT, MARCH 2011

BLOCK REQUIRES EASEMENT ACCESS

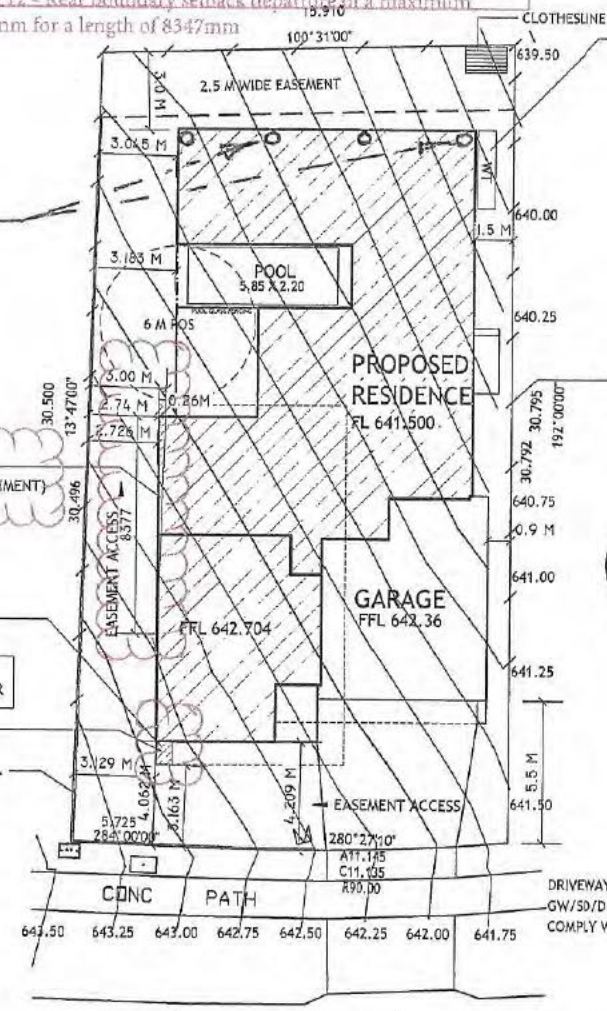
ALL FENCE TO COMPLY WITH TERRITORY PLAN 1.8 M HIGH STANDARD PALING FENCE



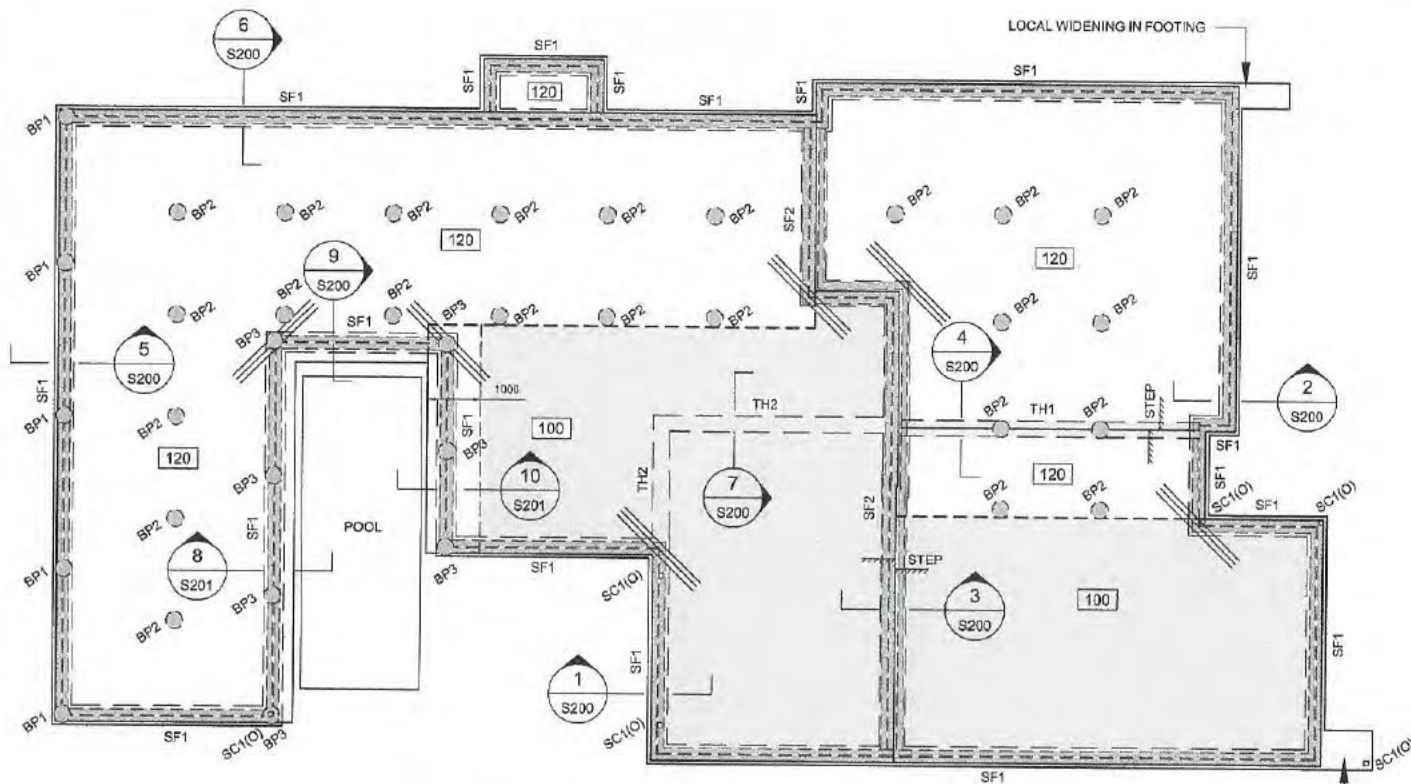
NON GFA AREA:  
 PORCH 3.61 SQM  
 ALFRESCO 13.54 SQM  
**17.15 SQM**

GFA AREA:  
 RESIDENCE 194.59 SQM  
 GARAGE 45.47 SQM  
**240.06 SQM**

AREA : 504 SQM  
 PLOT RATIO : 257 SQM  
 P.O.S 60% -50.0 SQM = 252.4 SQM  
 ALLOWABLE BUILD 251.6 SQM (GROUND LEVEL)



DRIVEWAY TO COMPLY WITH GW/SD/DC.02 & FINISH TO COMPLY WITH TERRITORY PLAN



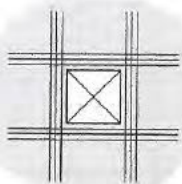
### FOOTING & SLAB PLAN

1:100

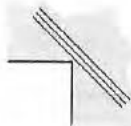
**NOTES:**

- REFER TO DRAWING S200 FOR FOOTING & SLAB DETAILS
- ALL FOOTINGS TO BEAR ON SAME STRATA & ON NATURAL SOLID GROUND OTHERWISE BORED PIERS MAY BE REQUIRED UNDER.
- ALL EXTERNAL SLABS TO BE 100 THICK WITH SL82 FABRIC IN TOP, 30 COVER
- PROVIDE CONTINUOUS VAPOR BARRIER OR DAMP-PROOFING MEMBRANE OVER 50mm SAND UNDER ALL SLABS ACCORDING TO THE BCA FIG 3.2.2.3
- ARTICULATE ALL BRICKWORK & DRAINAGE TO BCA
- BUILDER TO REPORT SITE CONDITION TO STRUCTURAL ENGINEER AFTER THE SITE CUT & FILL IS COMPLETE
- EXTENT OF SLAB ON FILL IS INDICATIVE AND TO BE CONFIRMED ON SITE PIERS ARE NOT REQUIRED UNDER SLAB IF FILL DOES NOT EXCEED 400mm.

#### TYPICAL SLAB TRIMMER DETAILS



PROVIDE 3 N12 BARS TOP EXTEND 800 MIN. PAST EACH EDGE OF THE PENETRATION. APPLY TO LARGER THAN 150 x 150 PENETRATION.



3 N12-2000 LONG (75 SPACING) TRIMMERS BARS AT ALL RE-ENTRANT CORNERS, TIED TO UNDERSIDE OF TOP REINFORCEMENT.

SLAB PENETRATION TRIMMER

SLAB RE-ENTRANT CORNER TRIMMER

NOTE: DO NOT SCALE OFF DRAWINGS. REFER TO ARCHITECTURAL PLANS. VERIFY DIMENSIONS ON SITE

REV	DATE	DESCRIPTION	BY

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**BUILDING APPROVAL**

Issued under s.28 of the Building Act 2004.

**JOHN BATES**

*Certifier Name*

Lic. No. 1988 4388

1a, 10a, 10b  
BCA Occupancy Class

BCA Type of Construction

Issue date: 1.10.17

*J. Bates*  
Certifier signature

ELEMENT	CONCRETE QUALITY	STRENGTH Fc	MAX SIZE AGG. mm	SLUMP mm	CEMENT TYPE	ADMIXTURE
FOOTINGS		20	20	80	GP	-
PIERS		20	20	80	GP	-
SLAB ON GROUND		25	20	80	GP	-

REFER TO GENERAL NOTES FOR REINFORCEMENT COVER

#### FOOTING SCHEDULE

MARK	DESCRIPTION	SIZE	COMMENTS
PF1	PAD FOOTING	400 D x 500 x 500	MASS CONCRETE
SF1	STRIP FOOTING	400 D x 300 W	L8TM-200 TOP & BTM + 300mm 8TM CLIP SPACER
SF2	STRIP FOOTING	400 D x 400 W	L8TM-300 TOP & BTM + 300mm 8TM CLIP SPACER
TH1	THICKENING	300 D x 300 W	L8TM-200 BTM
TB	TIE BEAM	300 D x 300 W	L8TM-200 TOP & BTM + 200mm 8TM CLIP SPACER
BP1	Ø300 MASS CONCRETE PIER TO SEWER INVERT		
BP2	Ø300 MASS CONCRETE PIER 500mm INTO NATURAL GROUND		
BP3	Ø300 MASS CONCRETE PIER 500mm BELOW BASE OF POOL		

**NOTE:**

SITE CLASSIFICATION REPORT SUMMARY PREPARED BY DOUGLAS PARTNERS  
JOB No: 77119.13  
SITE CLASSIFICATION: CLASS 'S' (SLIGHTLY REACTIVE)

**NOTE:**

TRUSS LAYOUT TO BE FORWARDED TO ANH CONSULTING ENGINEERS BEFORE COMMENCEMENT OF WORK ON SITE

DO NOT LOAD INTERNAL WALLS WITHOUT PERMISSION OF A STRUCTURAL ENGINEER

TIMBER TRUSSES, ROOF BRACING, WALL FRAMING, LINTELS WALL BRACING AND EXISTING ROOF SUPPORT TRUSSES BY FRAMING COMPANY.

#### SLAB ON GROUND NOTES

100 DENOTES EXTENT OF 100 THICK SLAB ON 400mm MAXIMUM COMPACTED FILL REINFORCED WITH SL82 MESH TOP CONTINUOUS THROUGHOUT PLUS ANY EXTRAS AS NOTED ON PLAN AND IN DETAILS.

120 DENOTES EXTENT OF 120 THICK SLAB REINFORCED WITH SL82 MESH TOP & SL72 MESH BTM CONTINUOUS THROUGHOUT PLUS ANY EXTRAS AS NOTED ON PLAN AND IN DETAILS.

REFER TO TABLE BELOW FOR CONCRETE COVERS

NOTES TO BE READ IN CONJUNCTION WITH PLANS AND TYPICAL DETAILS

REINFORCEMENT COVERS			
SLAB ON GROUND	INTERIOR	EXTERIOR	
SLAB	TOP	20mm	45mm
	BTM	30mm	30mm
	SIDES	45mm	45mm

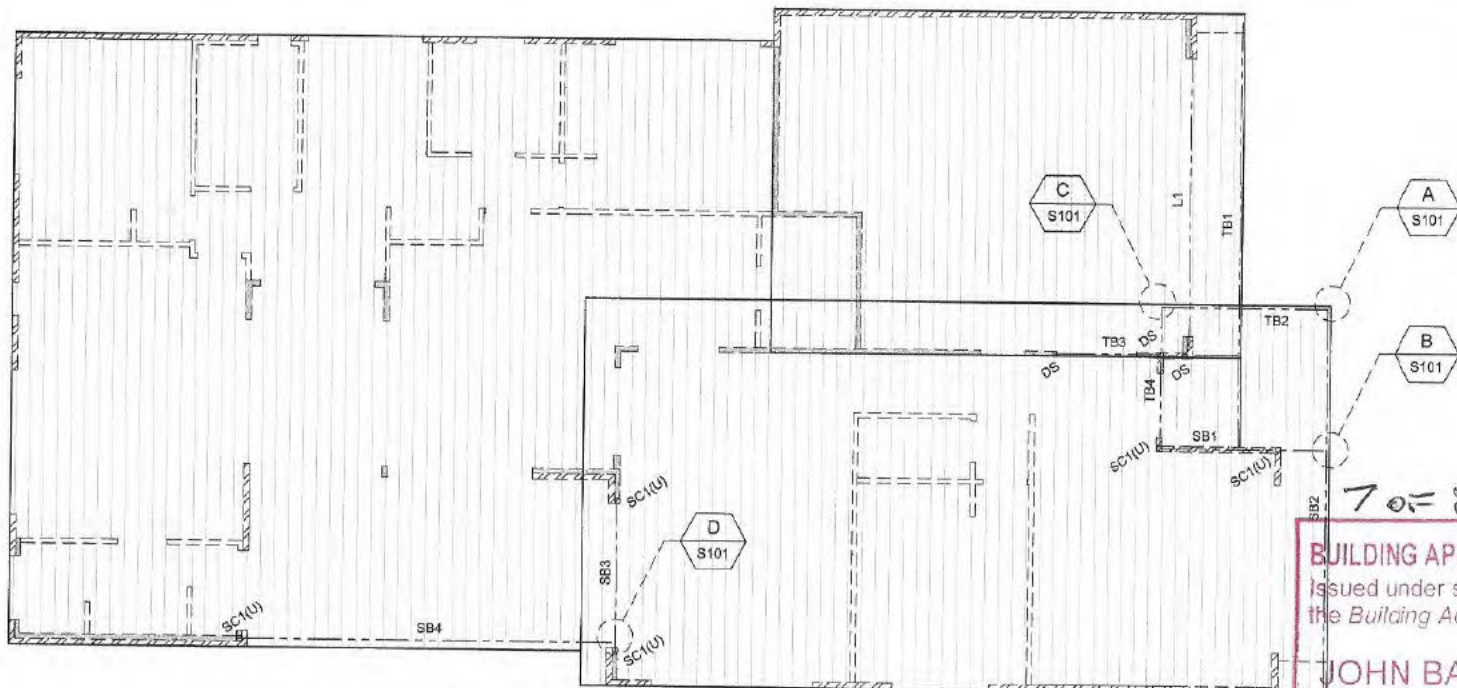
**ANH**  
NEW RESIDENCE BLOCK SECTION MONCRIEFF FOR I BUILT

Suite 4, 28 Collyer St Fyshwick ACT (RMA Building)  
T (02) 6100 0414 M. 0407 777 877  
E. info@anh.net.au www.anh.net.au

**NEW RESIDENCE BLOCK SECTION MONCRIEFF FOR I BUILT**

JOB NUMBER: 17-134	DWG NUMBER: S100	ORIGINAL SIZE: A3
DESIGNED BY: A.N.H.	DATE: 08.05.2017	
DRAWN BY: A.Z.	SCALE: 1:100	

FOOTING & SLAB PLAN



STEEL & TIMBER MEMBER SCHEDULE			
MARK	DESCRIPTION	SIZE	COMMENTS
SC1	STEEL COLUMN	90 x 3.5 SHS	
DS	DOUBLE STUD		
TB1	TIMBER BEAM	300 x 45 LVL	
TB2	TIMBER BEAM	300 x 45 LVL	
TB3	TIMBER BEAM	2/300 x 45 LVL	
TB4	TIMBER BEAM	2/300 x 45 LVL	
SB1	STEEL BEAM	300 PFC	
SB2	STEEL BEAM	300 PFC	
SB3	STEEL BEAM	250 PFC	
SB4	STEEL BEAM	250 PFC	
L1	TIMBER LINTEL	2/360 x 45 LVL	

**NOTE:**  
 TRUSS LAYOUT TO BE FORWARDED TO ANH CONSULTING ENGINEERS BEFORE COMMENCEMENT OF WORK ON SITE  
 DO NOT LOAD INTERNAL WALLS WITHOUT PERMISSION OF A STRUCTURAL ENGINEER  
 TIMBER TRUSSES, ROOF BRACING, WALL FRAMING, LINTELS WALL BRACING AND EXISTING ROOF SUPPORT TRUSSES BY FRAMING COMPANY.

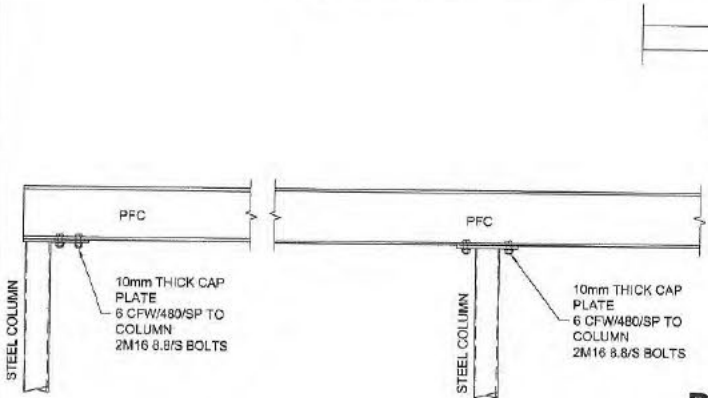
**ROOF SUPPORT STRUCTURE**  
 1:100

**NOTE:**  
 ALL LVL BEAMS ARE ASSUMED WEATHER PROTECTED. ADVISE OUR OFFICE OTHERWISE

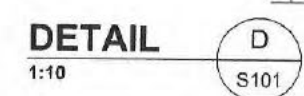
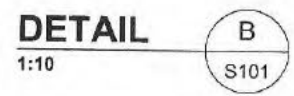
**BUILDING APPROVAL**  
 Issued under s.28 of the Building Act 2004  
**JOHN BATES**  
 Certifier Name  
 Lic. No. 1988 4388  
 1(a), 10a, 10b  
 BCA Occupancy Class  
 BCA Type of Construction  
 Issue date: 1.10.17  
 Certifier signature

**LEGEND**

□ SC1	DENOTES CONTINUOUS STEEL COLUMN
□ SC1(O)	DENOTES STEEL COLUMN OVER
□ SC1(U)	DENOTES STEEL COLUMN UNDER
□ SC1(O,U)	DENOTES STEEL COLUMN UNDER & OVER



**TYPICAL COLUMN CAP DETAILS**  
 1:20  
 BEAMS TO BE LOCATED CENTRALLY OVER COLUMN TYPICAL ALTERNATIVELY SITE WELD USING 6 CFW480/SP ALL ROUND



REV	DATE	DESCRIPTION	BY
A	05.07.17	ISSUED FOR I&E	ANH

**ANH**  
 ANH CONSULTING ENGINEERS  
 Suite 4, 26 Collic St Pye/brick ACT (RHA Building)  
 T (02) 5100 0414 M. 0407 777 877  
 E. info@anh.net.au www.anh.net.au

NEW RESIDENCE BLOCK SECTION MONCRIEFF FOR 1 BUILT		JOB NUMBER: 17-134	DWG NUMBER: S101	ORIGINAL SIZE: A3
DESIGNED BY: ANH	DATE: 05.05.2017			
DRAWN BY: AZ	SCALE: 1:100			

NOTE: DO NOT SCALE OFF DRAWINGS. REFER TO ARCHITECTURAL PLANS. VERIFY DIMENSIONS ON SITE

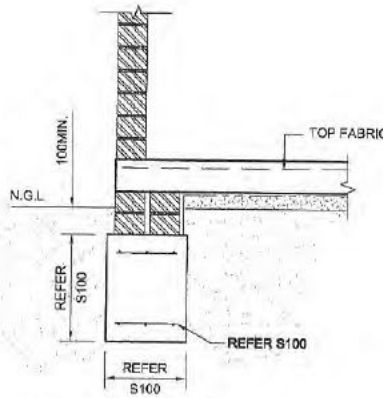
**BUILDING APPROVAL**  
 Issued under s.28 of  
 the Building Act 2004.

**JOHN BATES**  
 Certifier Name

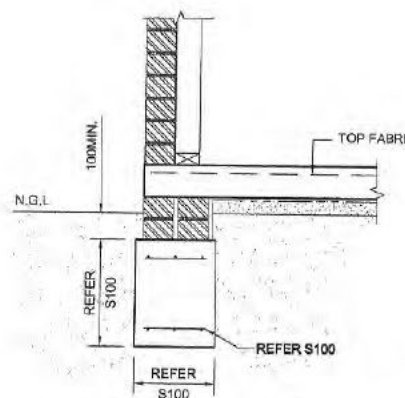
Lic No. 1988 4388  
 1a, 10a, 10b

BCA Occupational  
 BCA Type of Construction  
 Issue date: 1.10.17

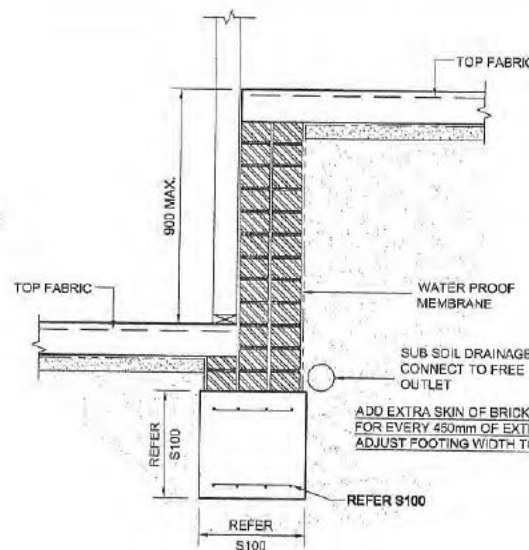
*John Bates*  
 Certifier signature



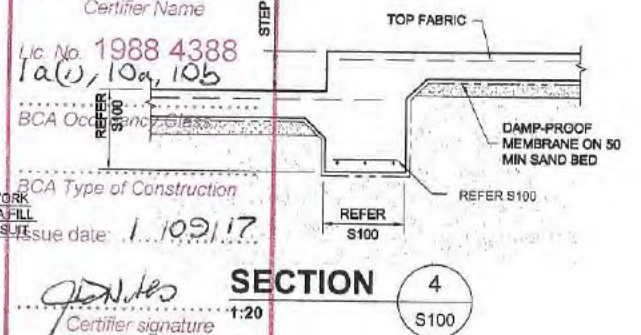
**SECTION 1**  
 1:20  
 S100



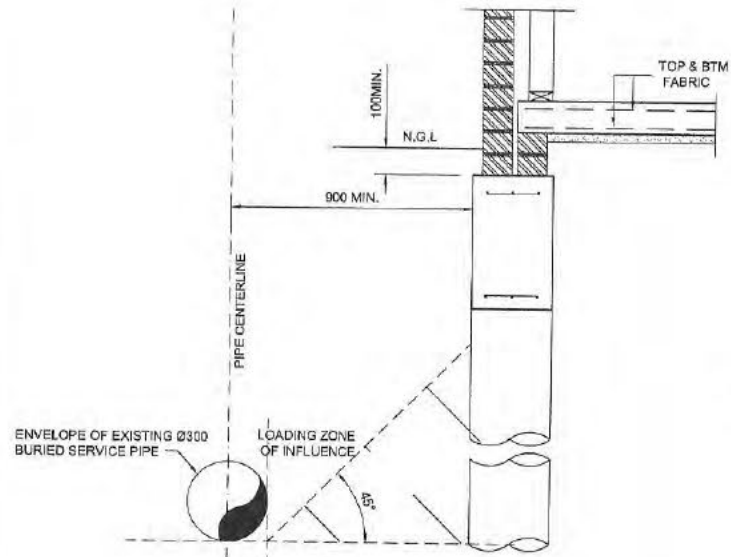
**SECTION 2**  
 1:20  
 S100



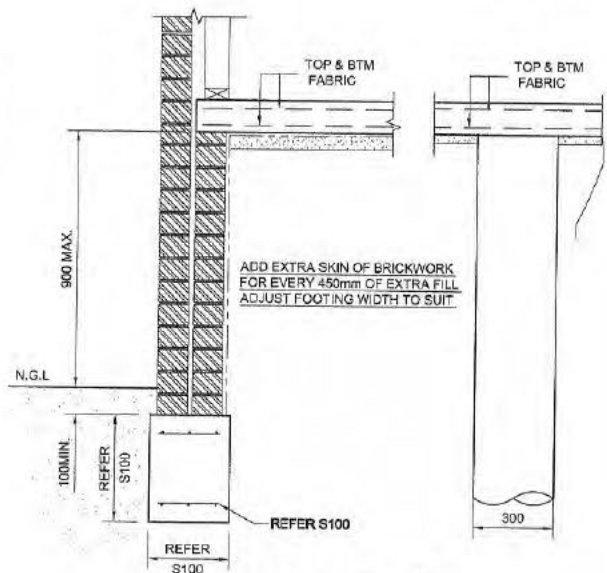
**SECTION 3**  
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 S100



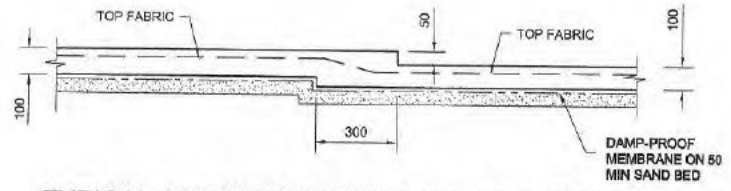
**SECTION 4**  
 1:20  
 S100



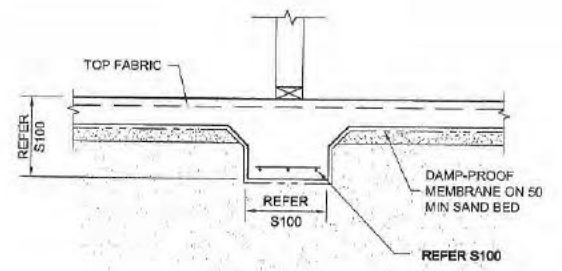
**SECTION 5**  
 1:20  
 S100



**SECTION 6**  
 1:20  
 S100



**TYPICAL SET DOWN TO WET AREAS IF REQUIRED**  
 1:20



**SECTION 7**  
 1:20  
 S100

NOTE: DO NOT SCALE OFF DRAWINGS. REFER TO ARCHITECTURAL PLANS. VERIFY DIMENSIONS ON SITE.

REV	DATE	DESCRIPTION	BY
A	06.06.17	ISSUED FOR B4	A.N.H

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**ANH**  
 Suite 4, 28 Collic St Fyshwick ACT (HIA Building)  
 T (02) 6100 0414 M. 0407 777 877  
 E. info@anh.net.au www.anh.net.au

**NEW RESIDENCE**  
**BLOCK SECTION MONGRIEFF**  
**FOR I BUILT**

**FOOTING SLAB DETAILS**

JOB NUMBER	DWG NUMBER	ORISINAL SIZE
17-134	S200	A3
DESIGNED BY: A.N.H	DATE: 05.06.2017	
DRAWN BY: A.Z	SCALE: 1:20	





# Amendment Plan Tax Invoice

TO THE PAYEE

**Access Canberra Building Services**

c/o JOHN DAVID Bates

16 PINDARI CRESCENT O'MALLEY ACT 2606

ABN 16 479 763 216  
8 Darling Street Mitchell  
GPO Box 158 ACT 2601  
Access Canberra Homepage: [www.act.gov.au/accesscbr](http://www.act.gov.au/accesscbr)

Invoice Date:4/09/2018 Time:7:40:56 AM

**Invoice Number: 3100494016**

Item	Fee
Amendment Fee for B20173606	

No GST applies to these fees and levies.

PAYMENT REQUIRED WITHIN 14 DAYS OF INVOICE ISSUE DATE

## Payment Options



**Billers Code: 584508**  
**Ref: 3100494016**

### Telephone & Internet Banking – BPAY®

Call your bank, credit union or building society to make this payment from your cheque, savings or credit card account. More info: [www.bpay.com.au](http://www.bpay.com.au)



Access Canberra

### Internet

Visit [www.accesscanberra.act.gov.au](http://www.accesscanberra.act.gov.au) and search "Building Approvals and Payments" and then follow links to pay by credit card (MasterCard or Visa)



Access Canberra

### Phone

Telephone (02) 6207 1923 8.30am - 4.30pm Mon - Fri and have your credit card details handy (MasterCard and Visa).



Access Canberra

### In Person

Access Canberra Building Services Shopfront Only: 8.30am – 4.30pm Mon – Fri . Cash, Cheque, EFTPOS, Credit card (Mastercard and Visa). CashLink Code – 34 0075



# Building Approval Fees and Levies Tax Invoice

TO THE PAYEE

c/o John David Bates  
16 Pindari Crescent,  
O'Malley ACT 2606

## Access Canberra Building Services

ABN 16 479 763 216  
8 Darling Street Mitchell  
GPO Box 158 ACT 2601  
Access Canberra Homepage: [www.act.gov.au/accesscbr](http://www.act.gov.au/accesscbr)

Invoice Date: 1/09/2017 Time: 6:52:36 AM

Invoice Number: 3100431935

Block - Section - Division - District	Building Levy	Training Levy	Fees Paid	Total
█ - MONCRIEFF - GUNGAHLIN	Sch 2 2.2(a)(xi) █	█	█	█
<b>Total</b>	Sch 2 2.2(a)(xi) █	█	█	█

No GST applies to these fees and levies.

PAYMENT REQUIRED WITHIN 14 DAYS OF INVOICE ISSUE DATE

## Payment Options



**Biller Code: 584508**  
**Ref: 3100431935**

### Telephone & Internet Banking – BPAY®

Call your bank, credit union or building society to make this payment from your cheque, savings or credit card account. More info: [www.bpay.com.au](http://www.bpay.com.au)



Access Canberra.

### Internet

Visit [www.accesscanberra.act.gov.au](http://www.accesscanberra.act.gov.au) and search "Building Approvals and Payments" and then follow links to pay by credit card (MasterCard or Visa)



Access Canberra.

### Phone

Telephone (02) 6207 1923 8.30am - 4.30pm Mon - Fri and have your credit card details handy (MasterCard and Visa).



Access Canberra.

### In Person

Access Canberra Building Services Shopfront Only: 8.30am – 4.30pm Mon – Fri . Cash, Cheque, EFTPOS, Credit card (Mastercard and Visa). CashLink Code – 34 0075



# Building Approval Fees and Levies Receipt



Access Canberra Building Services

JOHN DAVID Bates  
16 PINDARI CRESCENT O'MALLEY ACT 2606

ABN 16 479 763 216  
16 Challis Street Dickson  
GPO Box 158 ACT 2601  
Access Canberra Homepage: [www.act.gov.au/accesscbr](http://www.act.gov.au/accesscbr)

Payment Received: 8/10/2018

Payment for Invoice Number: 3100431935

Block	Section	District	Division	Building Levy	Training Levy	Workcover	Total Levies	Fees Paid
█	█	GUNGAHLIN	MONCRIEFF	Sch 2 2.2(a)(xi)	█	█	█	█
			Total	Sch 2 2.2(a)(xi)	█	█	█	█

No GST applies to these fees and levies.



Building Act 2004, S151  
**Building Approval**

Project ID: B20173606

**PART A - PROJECT DETAILS**

Unit	Block	Section	Division (Suburb)	District	Jurisdiction
			MONCRIEFF	GUNGAHLIN	Australian Capital Territory

**PART B - WORKS REQUIRING BUILDING APPROVAL**

Item of building work to which this Building Approval relates:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
1a(l)	New	DA EXEMPT-RESIDENCE	Single dwelling residence	NA	1	194.59	Sch 2 2.2(a)(xi)
10a	New	DA EXEMPT-GARAGE	Garage, Porch, Alfresco	NA	1	62.62	
10b	New	DA EXEMPT-SITE PREPARATION	Fencing, L/Scape Walls, W/Tank	NA	1	0.00	

The following work is exempt from development approval:

- A single house in a new housing estate
- Fences
- Garages, sheds, and gazebos
- Tanks

**PART C - CERTIFIERS DECLARATION**

I declare that in issuing this building approval under section 28 of the Building Act 2004:

- I am satisfied on reasonable grounds that the plans meet each applicable approval requirement under section 29 and is not prevented from being issued under section 30 or section 30A
- I have supplied all documents as required under 3.3 Building Act 2004
- I have prepared a notice (building approval certificate) certifying what approval requirements apply to the application and why the building approval is not prevented from being issued; and
- I have given the building approval certificate to the applicant.

In performing services as a certifier in relation to the work detailed in this application I am not in breach of my entitlement to act as a certifier in accordance with the Building Act 2004.

Full Name	Address	License Number	Expiry Date
JOHN DAVID Bates	16 PINDARI CRESCENT O'MALLEY ACT 2606	19884388	29/03/2018

## NOTES

### Utilities

This application must also be accompanied by a Statement of Compliance from each relevant utility provider (for water, sewerage, electricity and stormwater) which confirms that the location and nature of earthworks, utility connections, proposed buildings, pavements and landscape features comply with utility standards, access provisions and asset clearance zones.

**Note 1:** If there is no stormwater easement or Territory owned stormwater pipes located within the property boundary, a "Statement of Compliance" for stormwater from TAMS (Asset Acceptance) is not required to be obtained.

**Note 2:** Where there is conflict between planning and utility requirements, the utility requirements take precedence over other codified or merit provisions.

### Utilities – Demolition Only

This application must be accompanied by a Statement of Endorsement for utilities (including water, sewerage, electricity and stormwater) stating that:

- all network infrastructure on or immediately adjacent to the site has been identified on the plan
- all potentially hazardous substances and conditions (associated with or resulting from the demolition process) that may constitute a risk to utility services have been identified
- all required network disconnections have been identified and the disconnection works comply with utility requirements
- all works associated with the demolition comply with and are in accordance with utility asset access and protection requirements

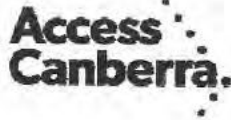
**Note: The documentation provided to the utility provider for endorsement must be consistent with the documentation that forms part of a development approval or the documentation verified as exempt from requiring development approval by a licensed certifier.**

### Asbestos Advice

If documents accompanying building approval do not include an asbestos assessment report as per the Building Act 2004, the building approval must have an Asbestos Advice attached as per the Act

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.

---



# APPOINTMENT OF BUILDER & APPLICATION FOR COMMENCEMENT NOTICE

*Building Act 2004, S151*

In completing this form the owner is authorising the builder nominated below to apply to the appointed certifier to issue a Commencement Notice for the works detailed in this application form.

**PART A PROJECT DETAILS**

Block [redacted] Section [redacted] Suburb Moncrieff Unit No. [redacted]

Street Address [redacted]

Certifier Name John Bates

Description of Building Works relevant to this application-*If more than 6 items please attach further details*

<sup>1</sup> SINGR DWELLING RESIDENCE

<sup>2</sup> GARAGE, PORCH, ALPESIO

<sup>3</sup> FENCING, RAINWATER TANK, LANDSCAPE WALLS

<sup>4</sup> [redacted]

**PART B OWNER DETAILS – Please Print**

All owners **must** be listed Owner 1 will be considered the contact person in relation to this application

Company Details [redacted]

Owner 1 Sch 2 2.2(a)(ii) Owner 2 Sch 2 2.2(a)(ii)

Owner 3 \_\_\_\_\_ Owner 4 \_\_\_\_\_

Postal Address Sch 2 2.2(a)(ii)

Suburb Sch 2 2.2(a)(ii) State ACT Postcode Sch 2 2.2(a)(ii)

Phone Number Business Hours \_\_\_\_\_ Mobile Sch 2 2.2(a)(ii)

EMAIL ADDRESS Sch 2 2.2(a)(ii)

**PART C**

**APPOINTMENT OF BUILDER**

I/we the owner/s have appointed the person whose details appear below as the builder in relation to the building works described in this form

Licence Holders Name as it appears on licence card

Devine Living P.L

Licence Number

20111466

Class

A

Expiry Date

14/12/2018  
02/12/18

List any conditions or endorsements on licence

BCA 1A 2410 Unlimited Height

EMAIL ADDRESS

rezoconstruction@gmail.com  
\* BCA 3, 5, 6 & 9 B' BP TO 3 STOREYS

**PART D**

**NOMINEE'S DETAILS**

If the builder is a company or partnership provide details of the Nominee who will supervise the building

Nominee's Name

Tomislav Rezo

Licence Number

2006110

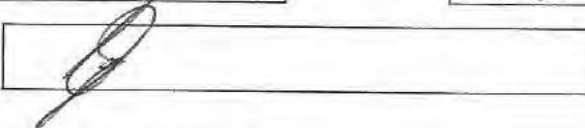
Class

A

Expiry Date

21/02/2018  
20/05/18

Signature of Nominee



Date

28/6/17

**PART E**

**OWNER SIGNATURE/S— all owners must sign this form**

Owner 1

Sch 2 2.2(a)(ii)

Signature

Sch 2 2.2(a)(ii)

DATE:

27/6/17

Owner 2

Sch 2 2.2(a)(ii)

Signature

Sch 2 2.2(a)(ii)

DATE:

27/6/17

Owner 3

Signature

Signature

DATE:

Owner 4

Signature

Signature

DATE:

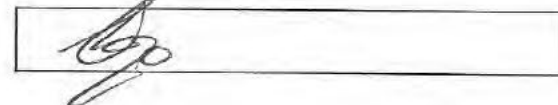
**PART F**

**BUILDER APPLICATION TO CERTIFIER FOR COMMENCEMENT NOTICE**

I hereby apply to the building certifier listed above for a commencement notice for the works detailed in Part A of this form in accordance with the Building Act 2004.

- A site sign was **not** required to be displayed prior to making this application.
- A site sign **was** required to be displayed prior to making this application and I declare that a compliant sign was erected and displayed for the required period.

Signature of Builder



Date

28/6/17

**NOTE:** There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

**PART G**

**INSURANCE OR FIDELITY CERTIFICATE**

For residential building work please provide details of insurance where applicable

Insurance Provider

QBE

Policy No.

14A0460  
330W1-2

Date Issued

20/07/17



# BUILDING COMMENCEMENT NOTICE

Building Act 2004, S151

## PART A PROJECT DETAILS

Block [REDACTED] Section [REDACTED] Suburb  Unit No.

Street Address [REDACTED]

Date Building Approval Issued

### Description of work to which this Commencement Notice relates:

Describe each item of building work in this building approval	BCA Occupancy Class	BCA Construction Type	Area (m <sup>2</sup> )	Number of Storeys	Cost of Works (refer to building cost guide)
1 SINGLE DWELLING RESIDENCE	1a(i)	N/A	194.59	1	[REDACTED]
2 GARAGE, PORCH, ALFRESCO	10a	"	62.62	1	
3 FENCING, RAINWATER TANK, LANDSCAPE WALL	10b	"	-	1	
4					
5					
6					

### ENERGY EFFICIENCY REQUIREMENTS

Is an Energy Efficiency Rating required for any of the work listed above?

YES  NO

If YES please specify item number/s

## PART B BUILDER DETAILS

Licence Holders Name as it appears on Licence Card:

Licence Number  Class  Expiry Date

If the builder is a company or partnership provide details of the nominee who will supervise the building work

Nominee

Licence Number  Class  Expiry Date



## PART C

## INSURANCE

For residential building work please provide details of insurance where applicable

Insurance  
Provider

QBE

Policy No.

14A0460  
33RWI-6

Date Issued

20/07/2017

## PLEASE NOTE:

- ▶ A copy of the Commencement Notice application, this notice and where applicable the residential building insurance policy or fidelity certificate must be given to the Construction Occupations Registrar within one (1) week of the issue OH1Hdate.
- ▶ A copy of the Commencement Notice must also be provided to the builder and the owner/s.

## PART D

## CERTIFIER DECLARATION

Name of Certifier Issuing Notice:

JOHN BATES

Licence No:

10884788

Issue Date of  
Commencement Notice

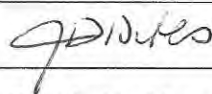
1/09/2017

This Commencement Notice is issued in accordance with the *Building Act 2004*, to the licensed builder stated above and authorises the commencement of the stated building work. The issue of this Commencement Notice indicates that I am satisfied that the builder's license authorises the work in the building approval. Where applicable, for residential building work I have been provided with a residential building insurance policy or fidelity certificate.

This building commencement notice will end if:

- (a) for residential building work – the work is no longer insured; or
- (b) the building approval for the work ends.

Certifier Signature



Date

1/09/2017

**NOTE:** There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

## Privacy Notice

The personal information on this form is provided to Access Canberra to enable the processing of your application. The collection of personal information is authorised by the *Building Act 2004*. If all or some of the personal information is not collected Access Canberra cannot process your application. The personal information you provide may be disclosed to Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be disclosed where authorised by law or court order, or where the Directorate reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. Access Canberra's Information Privacy Policy contains information about how you may access or seek to correct your personal information held by Access Canberra, and how you may complain about an alleged breach of the Territory Privacy Principles. Access Canberra Information Privacy Policy can be found at [www.act.gov.au/accessCBR](http://www.act.gov.au/accessCBR)

## CONTACT INFORMATION

## Email:

ACTPLAdevelopmentBA@act.gov.au

## Post:

Access Canberra  
Building Services  
Shopfront Mitchell  
GPO Box 158  
Canberra, ACT 2601

## In Person:

Please visit [www.act.gov.au/accessCBR](http://www.act.gov.au/accessCBR)  
Or call **132281** to find an  
Access Canberra Shopfront.



Policy Number 14A046033BWI-6

Sch 2 2.2(a)(ii)

Name of Intermediary

Sch 2 2.2(a)(ii)

Account Number  
140009625  
Date Issued  
20/07/2017

### Policy Schedule Details

#### Certificate in Respect of Insurance

Residential Building Work by Contractors

A contract of insurance complying with the Building Act 2004 and Regulations have been issued by QBE Insurance (Australia) Limited ABN 78 003 191 035, in respect of Residential Building Work as described in the Schedule herein.

In Respect of

NEW SINGLE DWELLING CONSTRUCTION CONTRACT

At

BLOCK SECTION  
MONCRIEFF ACT 2914

Carried Out By

BUILDER  
DEVINE LIVING PTY LIMITED  
ABN: 75 146 448 982

Declared Contract Price

Sch. 2.2(a)(xi)

Contract Date

28/06/2017

Builders Registration No.

U 20111466

Building Owner / Beneficiary

Sch 2 2.2(a)(ii)

Subject to the Building Act 2004 and Regulations and the conditions of the insurance contract, cover will be provided to the Building Owner/ Beneficiary named in the domestic building contract and to the successors in title to the Building Owner/Beneficiary or the immediate successor in title to the contractor or developer who did the work and subsequent successors in title.

For and behalf of

QBE Insurance (Australia) Limited.

#### IMPORTANT NOTICE:

This certificate must be read in conjunction with the Policy Wording and kept in a safe place.

These documents are very important and must be retained by you and any successive owners of the property for the duration of the statutory period of cover.



Building Act 2004, S151

## Application for Building Commencement Notice

Project ID: B20173606

Licensed builders must use this form to apply to the building certifier for a commencement notice in accordance with the Building Act 2004. An application can only be made if the building approval has been issued for the building work. A commencement notice must be issued by the building certifier before any building work can commence.

### PART A - PROJECT DETAILS

Building approval issue date: 1/09/2017

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
			GUNGAHLIN	MONCRIEFF	Australian Capital Territory

Full Name	Address	License Number	Expiry Date
JOHN DAVID Bates	16 PINDARI CRESCENT O'MALLEY ACT 2606	19884388	29/03/2018

Description of work to which application for Commencement Notice relates:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
1a(l)	New	DA EXEMPT-RESIDENCE	Single dwelling residence	NA	1	194.59	Sch 2 2.2(a)(xi)
10a	New	DA EXEMPT-GARAGE	Garage, Porch, Alfresco	NA	1	62.62	
10b	New	DA EXEMPT-SITE PREPARATION	Fencing, L/Scape Walls, W/Tank	NA	1	0.00	

Insurance provider: QBE

Policy number: 14A046033BWI-6

Issue date: 1/09/2017

### PART B - BUILDERS DETAILS

License holder's name: DEVINE LIVING PTY LTD

License number: 20111466

License Expiry Date: 14/12/2018

Business Address: PO Box 115 MITCHELL ACT 2911

Phone Number: 0405929399

Signature of builder:

\_\_\_\_\_/ /

(Individual, director for company or partner for partnership)

If the builder is a company or partnership provide details of the nominee who will supervise the building work

Nominee's name: TOMISLAV REZO

License number: 2006110

License Expiry Date: 21/02/2018

Nominee's signature  
(if different to above):

\_\_\_\_\_ / / \_\_\_\_\_

### PART C - OWNER/LESSEE DETAILS

Name	Address
Sch 2 2.2(a)(ii)	Sch 2 2.2(a)(ii)

ADVISORY NOTE: Owners please ensure you have a written contract with the builder named in this application. For residential building work requiring home owner insurance ensure that the same builders name is shown on the insurance policy.

### PART D - OWNER/S OR AGENT SIGNATURE/S

Name	Signature	Date
Sch 2 2.2(a)(ii)		
Sch 2 2.2(a)(ii)		

NOTE: You may only make this application as an authorised agent on behalf of the owners of the property if you have appropriate written authorisation from ALL the owners and attach it to this application. This also applies if you are a part owner or joint owner making an application on behalf of the owners.

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.

### PART E - BUILDER APPLICATION TO CERTIFIER FOR COMMENCEMENT NOTICE

I hereby apply to the building certifier listed above for a commencement notice for the works detailed in Part A of this form in accordance with the Building Act 2004.

- A site sign was NOT required to be displayed prior to making this application.
- A site sign WAS required to be displayed prior to making this application and I declare that a compliant sign was erected and displayed for the required period.

Signature of  
Builder/Nominee:

\_\_\_\_\_ / / \_\_\_\_\_

NOTE: There are penalties for deliberately giving false and misleading information. Access Canberra or the Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.



Building Act 2004, S151

## Application for Building Commencement Notice

Project ID: B20173606

Licensed builders must use this form to apply to the building certifier for a commencement notice in accordance with the Building Act 2004. An application can only be made if the building approval has been issued for the building work. A commencement notice must be issued by the building certifier before any building work can commence.

### PART A - PROJECT DETAILS

Building approval issue date: 1/09/2017

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
			GUNGAHLIN	MONCRIEFF	Australian Capital Territory

Full Name	Address	License Number	Expiry Date
JOHN DAVID Bates	16 PINDARI CRESCENT O'MALLEY ACT 2606	19884388	29/03/2018

Description of work to which application for Commencement Notice relates:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
1a(l)	New	DA EXEMPT-RESIDENCE	Single dwelling residence	NA	1	194.59	Sch 2 2.2(a)(xi)
10a	New	DA EXEMPT-GARAGE	Garage, Porch, Alfresco	NA	1	62.62	
10b	New	DA EXEMPT-SITE PREPARATION	Fencing, L/Scape Walls, W/Tank	NA	1	0.00	

Insurance provider: QBE

Policy number: 14A046033BWI-6

Issue date: 1/09/2017

### PART B - BUILDERS DETAILS

License holder's name: DEVINE LIVING PTY LTD

License number: 20111466

License Expiry Date: 14/12/2018

Business Address: PO Box 115 MITCHELL ACT 2911

Phone Number: 0405929399

Signature of builder:

\_\_\_\_\_/ /

(Individual, director for company or partner for partnership)

If the builder is a company or partnership provide details of the nominee who will supervise the building work

**Nominee's name:** TOMISLAV REZO

**License number:** 2006110

**License Expiry Date:** 21/02/2018

**Nominee's signature  
(if different to above):** \_\_\_\_\_ / / \_\_\_\_\_

**PART C - OWNER/LESSEE DETAILS**

Name	Address
Sch 2 2.2(a)(ii)	

ADVISORY NOTE: Owners please ensure you have a written contract with the builder named in this application. For residential building work requiring home owner insurance ensure that the same builders name is shown on the insurance policy.

**PART D - OWNER/S OR AGENT SIGNATURE/S**

Name	Signature	Date
Sch 2 2.2(a)(ii)		

NOTE: You may only make this application as an authorised agent on behalf of the owners of the property if you have appropriate written authorisation from ALL the owners and attach it to this application. This also applies if you are a part owner or joint owner making an application on behalf of the owners.

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**PART E - BUILDER APPLICATION TO CERTIFIER FOR COMMENCEMENT NOTICE**

I hereby apply to the building certifier listed above for a commencement notice for the works detailed in Part A of this form in accordance with the Building Act 2004.

- A site sign was NOT required to be displayed prior to making this application.
- A site sign WAS required to be displayed prior to making this application and I declare that a compliant sign was erected and displayed for the required period.

**Signature of  
Builder/Nominee:** \_\_\_\_\_ / / \_\_\_\_\_

NOTE: There are penalties for deliberately giving false and misleading information. Access Canberra or the Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.





Building Act 2004, S151

## Building Commencement Notice

Project ID: B20173606

### PART A - PROJECT DETAILS

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
			GUNGAHLIN	MONCRIEFF	Australian Capital Territory

#### Certifier's Details

Full Name	Address	License Number	Expiry Date
JOHN DAVID Bates	16 PINDARI CRESCENT O'MALLEY ACT 2606	19884388	29/03/2018

Building approval issue date: 1/09/2017

Building Commencement Notice Required for:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Area (m2)	Cost of Works (\$)
1a(l)	New	DA EXEMPT-RESIDENCE	Single dwelling residence	NA	194.59	Sch 2 2.2(a)(xi)
10a	New	DA EXEMPT-GARAGE	Garage, Porch, Alfresco	NA	62.62	
10b	New	DA EXEMPT-SITE PREPARATION	Fencing, L/Scape Walls, W/Tank	NA	0.00	

### PART B - BUILDERS DETAILS

License holder's name: DEVINE LIVING PTY LTD

License number: 20111466

License Expiry Date: 14/12/2018

Business Address: PO Box 115 MITCHELL ACT 2911

Phone Number: 0405929399

If the builder is a company or partnership provide details of the nominee who will supervise the building work

Nominee's name: TOMISLAV REZO

License number: 2006110

License Expiry Date: 21/02/2018

### PART C - CERTIFIER'S DECLARATION

Issue date of commencement notice: 01/09/2017

**Name of Certifier Issuing Notice:** JOHN DAVID Bates

**Declaration:**

This commencement notice is issued in accordance with the Building Act 2004, to the licensed builder stated above authorising the commencement of the stated building work. The issue of this commencement notice indicates that I am satisfied that the builders license authorises the work in the building approval. Where applicable for residential building work, I have been provided with a residential building insurance policy or fidelity certificate.

**PLEASE NOTE:**

A copy of the application for this commencement notice, this notice and where applicable the residential building insurance policy or fidelity certificate, must be given to the construction occupations registrar within one (1) week of the issue date.

This building commencement notice will end if-

- (a) for residential building work- the work is no longer insured; or
- (b) the building approval for the work ends

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.



Building Act 2004, S151

## Certification of Completion of Building Work

Project ID: B20173606/A

If this application is incomplete or documentation is inadequate this application may not be accepted for lodgement and the Certificate of Occupancy and Use may not be issued.

### PART A - PROJECT DETAILS

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
			GUNGAHLIN	MONCRIEFF	Australian Capital Territory

#### Plan Registration Number

B20173606/A

#### Description of Works

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Unit	BCN ID	Builder
1a(l)	New	DA EXEMPT-RESIDENCE	Single dwelling residence	NA		B20173606N1	DEVINE LIVING PTY LTD
10a	New	DA EXEMPT-GARAGE	Garage, Porch, Alfresco	NA		B20173606N1	DEVINE LIVING PTY LTD
10b	New	DA EXEMPT-SITE PREPARATION	Fencing, L/Scape Walls, W/Tank	NA		B20173606N1	DEVINE LIVING PTY LTD

The project involved electrical work

The project involved plumbing and/or sanitary drainage work

The project involved gas work

This building work is not subject to an alternative solution under BCA

### PART B - CERTIFIERS DECLARATION

I am satisfied that the building work detailed in the application is complete. I hereby certify that:

- I have provided all the relevant documents required by subsection 48(2) of the Building Act 2004 with this application as uploaded;
- the documentation relating to the building approval has been marked in accordance with the requirements of the Building Act 2004;
- The building work has been completed in accordance with the requirements of the Building Act 2004 and substantially in accordance with the approved plans;
- The building or part of the building as erected or altered is structurally sufficient, sound and stable for the purposes for which it is intended to be occupied or used; and
- The Registrar can issue a Certificate of Occupancy and Use

Full Name	Address	License Number	Expiry Date
JOHN DAVID Bates	16 PINDARI CRESCENT O'MALLEY ACT 2606	19884388	30/03/2021

Date Issued: 4/09/2018 7:30:33 AM



Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.



Building Act 2004, S151

## Certification of Completion of Building Work

Project ID: B20173606/B

If this application is incomplete or documentation is inadequate this application may not be accepted for lodgement and the Certificate of Occupancy and Use may not be issued.

### PART A - PROJECT DETAILS

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
			GUNGAHLIN	MONCRIEFF	Australian Capital Territory

#### Plan Registration Number

B20173606/A

B20173606/B

#### Description of Works

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Unit	BCN ID	Builder
1a(l)	New	DA EXEMPT-RESIDENCE	Single dwelling residence	NA		B20173606N1	DEVINE LIVING PTY LTD
10a	New	DA EXEMPT-GARAGE	Garage, Porch, Alfresco	NA		B20173606N1	DEVINE LIVING PTY LTD
10b	New	DA EXEMPT-SITE PREPARATION	Fencing, L/Scape Walls, W/Tank	NA		B20173606N1	DEVINE LIVING PTY LTD

The project involved electrical work

The project involved plumbing and/or sanitary drainage work

The project did not involve gas work

This building work is not subject to an alternative solution under BCA

### PART B - CERTIFIERS DECLARATION

I am satisfied that the building work detailed in the application is complete. I hereby certify that:

- I have provided all the relevant documents required by subsection 48(2) of the Building Act 2004 with this application as uploaded;
- the documentation relating to the building approval has been marked in accordance with the requirements of the Building Act 2004;
- The building work has been completed in accordance with the requirements of the Building Act 2004 and substantially in accordance with the approved plans;
- The building or part of the building as erected or altered is structurally sufficient, sound and stable for the purposes for which it is intended to be occupied or used; and
- The Registrar can issue a Certificate of Occupancy and Use

Full Name	Address	License Number	Expiry Date
JOHN DAVID Bates	16 PINDARI CRESCENT O'MALLEY ACT 2606	19884388	30/03/2021

Date Issued: 7/09/2018 8:40:04 AM



Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.





# APPLICATION FOR CERTIFICATE OF OCCUPANCY AND USE

Building Act 2004, S151

**WARNING TO OWNERS**  
It is recommended that owners seek appropriate advice to determine whether the building work and other contract requirements have been completed satisfactorily before signing this form. This form should not be signed before the completion of building work.

## PART A PROJECT DETAILS

Block/s [REDACTED] Section [REDACTED] Suburb MONCRIEFF Unit No. [REDACTED]

Street Address [REDACTED]

Describe each item of building work to which this application relates: if more than 6 items please attach further details

1. New Single Storey Dwelling, Double garage
2. GARAGE, PORCH ALFRESCO
3. FENCING, RAINWATER TANK, LANDSCAPE WORKS
4. [REDACTED]

Name of Certifier: John Bates

## PART B OWNER/LESSEE DETAILS

**FULL NAME OF ALL OWNERS** – All owners must be listed or application will not be processed  
Please Print - Owner 1 will be considered the contact person in relation to this application

Company Details [REDACTED]

Owner 1 Sch 2 2.2(a)(ii) Owner 2 Sch 2 2.2(a)(ii)

Owner 3 \_\_\_\_\_ Owner 4 \_\_\_\_\_

Postal Address [REDACTED]

Suburb MONCRIEFF State ACT Postcode 2914

Phone Number Business Hours [REDACTED] Mobile Sch 2 2.2(a)(ii)

EMAIL ADDRESS Sch 2 2.2(a)(ii)

**PART C DECLARATION BY OWNER/S**

I am/we are: the owner(s) of the above described land

I am/we are satisfied that the building work and related requirements have been completed and hereby apply for a Certificate of Occupancy or Use in respect of the above described work to be issued and (select one option only):

- Email **Sch 2 2.2(a)(ii)**
- send certificate by post to the owner(s) address
- held for collection from Building Services Shopfront - Mitchell
- Other \_\_\_\_\_

**PART D SIGNATURE/S OF OWNER/S**

This form should not be signed before the completion of building work.

1 <sup>st</sup> Owner's Signature	<b>Sch 2 2.2(a)(ii)</b>	Date	9/8/18
2 <sup>nd</sup> Owner's Signature	[Redacted]	Date	9/8/18
3 <sup>rd</sup> Owner's Signature	_____	Date	_____
4 <sup>th</sup> Owner's Signature	_____	Date	_____

**NOTE:** There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

Once this form has been completed you should give it to your certifier to lodge or hand deliver to:

**Access Canberra  
Building Services Shopfront,  
8 Darling Street  
Mitchell ACT 2911**

**Privacy Notice**  
The personal information on this form is provided to Access Canberra to enable the processing of your application. The collection of personal information is authorised by the Building Act 2004. If all or some of the personal information is not collected Access Canberra cannot process your application. The personal information you provide may be disclosed to Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be disclosed where authorised by law or court order, or where the Directorate reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. Access Canberra's Information Privacy Policy contains information about how you may access or seek to correct your personal information held by Access Canberra, and how you may complain about an alleged breach of the Territory Privacy Principles. Access Canberra Information Privacy Policy can be found at [www.act.gov.au/accessCBR](http://www.act.gov.au/accessCBR)

**CONTACT INFORMATION**

<b>Email:</b> ACTPLAdevelopmentBA@act.gov.au	<b>Post:</b> Access Canberra Building Services Shopfront Mitchell GPO Box 158 Canberra, ACT 2601	<b>In Person:</b> Please visit <a href="http://www.act.gov.au/accessCBR">www.act.gov.au/accessCBR</a> Or call 132281 to find an Access Canberra Shopfront.
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This form is to be completed by the Building Certifier once satisfied that the building work detailed in this application is complete

**PART A PROJECT DETAILS**

Block/s  Sect0H1Hion  Suburb  Unit No.

Street Address

**FULL NAME OF ALL OWNERS** – All owners must be listed or application will not be processed - Please Print

Owner 1  Owner 2

Owner 3  Owner 4

Project Number

Description of Building Works relevant to this application - If more than 6 items please attach further details

Describe each item of building work relevant to this application	BCA Occupancy Class	BCA Construction Type	Builders Name
1 SINGLE DWELLING RESIDENCE	1a(i)	N/A	DEVINE LIVING PTY LTD
2 GARAGE, PORCH, ALFRESCO	10a	"	"
3 FENCING, RAINWATER TANK, LANDSCAPE WALL	10b	"	"
4			
5			

Please indicate if the project involved:

Electrical Work  YES  NO Plumbing Work  YES  NO Gas Work  YES  NO

This building work is subject to an alternative solution under the BCA  YES  NO

**PART B CERTIFIERS DETAILS**

Name of Certifier

Company Name

Phone Number Business Hours  Mobile

EMAIL ADDRESS

**PART C****DECLARATION BY CERTIFIER**

I am satisfied that the building work detailed in this application is complete. I hereby certify that:

- I have provided all the relevant documents required by subsection 48 of the Building Act 2004 with this application;
- the documentation relating to the building approval has been marked in accordance with the requirements of the Building Act 2004;
- this work has been undertaken in accordance with the building and development provisions within the Crown lease;
- the building work has been completed in accordance with the requirements of the Building Act 2004 and substantially in accordance with the approved plans;
- the building or part of the building as erected or altered is structurally sufficient, sound and stable for the purposes for which it is intended to be occupied or used; and
- the Registrar can issue a Certificate of Occupancy and Use.

If the owner of the land applies for a certificate the Registrar would be justified in issuing a certificate in respect of the work under the subsection below:

69(1)    69(2)    69(3)    71    72   of the Building Act 2004

Certifier Name

JOHN DATES

Licence No.

19884388

Certifier Signature

J. Dates

Date

31/08/2018

**NOTE:** There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

**Once complete this form must be lodged with the Access Canberra Building Services Shopfront and a copy must be forwarded to the owners. The owners will not be able to apply for a certificate of occupancy or use if this form is not completed.**

**Privacy Notice**

The personal information on this form is provided to Access Canberra to enable the processing of your application. The collection of personal information is authorised by the *Building Act 2004*. If all or some of the personal information is not collected Access Canberra cannot process your application. The personal information you provide may be disclosed to Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be disclosed where authorised by law or court order, or where the Directorate reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. Access Canberra's Information Privacy Policy contains information about how you may access or seek to correct your personal information held by Access Canberra, and how you may complain about an alleged breach of the Territory Privacy Principles. Access Canberra Information Privacy Policy can be found at [www.act.gov.au/accessCBR](http://www.act.gov.au/accessCBR)

**CONTACT INFORMATION**

**Email:**

ACTPLAdevelopmentBA@act.gov.au

**Post:**

Access Canberra  
Building Services  
Shopfront Mitchell  
GPO Box 158  
Canberra, ACT 2601

**In Person:**

Please visit  
[www.act.gov.au/accessCBR](http://www.act.gov.au/accessCBR)  
Or call **132281** to find an  
Access Canberra Shopfront.

# J.D. BATES & ASSOCIATES PTY LTD

ABN 95 061 515 679

CONSULTING STRUCTURAL & CIVIL ENGINEER

J.D. BATES B.E. M.I.E.AUST.  
C.PENG.

BUILDING CERTIFIER 19884388 (B25)

16 PINDARI CRESCENT  
O'MALLEY, A.C.T. 2606  
AUSTRALIA  
TEL. (02) 6286 4714  
MOBILE 0412 62 85 85  
FAX. (02) 6286 9530  
EMAIL jonbat@bigpond.net.au

## BUILDING INSPECTION REPORT

15875

For the purposes of the Building Act 2004

Block	Section	Suburb	Builder & Project
		MONCEIFF	DEVINE LIVING P/L SINGLE DWELLING RESIDENCE
Relevant inspection stage. <del>FINAL</del> FINAL			

I have received notice from the builder that the stage of works indicated above has been reached and I have carried out an inspection of the building work.

- As a result of that inspection I hereby certify that the building work complies with section 42 of the *Building Act 2004* and give my permission for work to proceed beyond the above mentioned inspection stage.

*J.D. Bates*  
.....  
J.D. BATES

30 / 08 / 2018

OR

- As a result of that inspection I have formed the opinion that the building work is not in compliance with section 42 of the Building Act. I do not give my permission for work to proceed and I give the following directions to the licensee in charge of the building work, for achieving compliance;

.....  
J.D. BATES

### Inspection Notes & Directions:

OUTSTANDING ITEMS ARE NOW COMPLETE OR IN HAND & FINAL WORK IS SATISFACTORY

A STRUCTURAL ENGINEER'S CERTIFICATE WAS NOT REQUIRED FOR THIS PROJECT.

# J.D. BATES & ASSOCIATES PTY LTD

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FAX. (02) 6286 9530  
EMAIL jonbat@bigpond.net.au

## BUILDING INSPECTION REPORT

15823

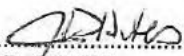
For the purposes of the Building Act 2004

Block	Section	Suburb	Builder & Project
		MONCRIEFF	DEVINE LIVING PTY LTD SINGLE DWELLING RESIDENCE
Relevant inspection stage. PRE FINAL			

I have received notice from the builder that the stage of works indicated above has been reached and I have carried out an inspection of the building work.



As a result of that inspection I hereby certify that the building work complies with section 42 of the *Building Act 2004* and give my permission for work to proceed beyond the above mentioned inspection stage.

  
J.D. BATES

3 / 08 / 2018

OR



As a result of that inspection I have formed the opinion that the building work is not in compliance with section 42 of the Building Act. I do not give my permission for work to proceed and I give the following directions to the licensee in charge of the building work, for achieving compliance;

J.D. BATES

### Inspection Notes & Directions:

EXTERNAL - DRIVEWAY COMPLETE

RAINWATER TANK FITTED 5000 LITRES.

FENCE TO REAR - COMPLETE 1/2 FENCE WEST & EAST REAR SIDES.

ENTRANCE EASEMENT ACCESS IS MAINTAINED - WEST SIDE

COMPLETE TOUCH UP PAINTING

INTERIOR

SMOKE DETECTOR FITTED

SHOWER SCREEN FITTED

FIT BATH TUB

FIT HANDRAIL TO STAIRS

COMPLETE TOUCH UP PAINTING & DOOR FURNITURE FIT OFF

EN-SUITE PARTITION REMOVED, WC MOVED & SHOWER INSTALLED

DISTRIBUTION:

WHITE COPY - BUILDER

YELLOW COPY - FILE

BLUE COPY - ACTPLA

# J.D. BATES & ASSOCIATES PTY LTD

ABN 95 061 515 679

CONSULTING STRUCTURAL & CIVIL ENGINEER

J.D. BATES B.E. M.I.E.AUST.  
C.PENG.

BUILDING CERTIFIER 19884388 (B25)

16 PINDARI CRESCENT  
O'MALLEY, A.C.T. 2606  
AUSTRALIA  
TEL. (02) 6286 4714  
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FAX. (02) 6286 9530  
EMAIL jonbat@bigpond.net.au

## BUILDING INSPECTION REPORT

15661

For the purposes of the Building Act 2004

Block	Section	Suburb	Builder & Project
		MONCRIEFF	DIVINE LIVING PTY LTD SINGLE DWELLING RESIDENCE
Relevant inspection stage.			
FRAME			

I have received notice from the builder that the stage of works indicated above has been reached and I have carried out an inspection of the building work.



As a result of that inspection I hereby certify that the building work complies with section 42 of the *Building Act 2004* and give my permission for work to proceed beyond the above mentioned inspection stage.

*J.D. Bates*  
J.D. BATES

19/04/2018

OR



As a result of that inspection I have formed the opinion that the building work is not in compliance with section 42 of the Building Act. I do not give my permission for work to proceed and I give the following directions to the licensee in charge of the building work, for achieving compliance;

J.D. BATES

### Inspection Notes & Directions:

EXTERIOR - MAINLY TO APPROVED PLAN & OK

WALL PLATE IN 90x45 & 45 R/PINE MKP10  
ANCHORS TO BOTTOM PLATE  
- FULL GATEPOST LINED 7mm REBAR PLACING  
LINTEL IS HYSPAN LVL  
STRUCTURAL STEELWORK ALIGNED AS SATISFACTORY

RAKED CEILING THROUGHOUT - NO TRUSS.

RAKED 200x45 - HYSPAN LVL @ 600 c/c,  
TOP HAS BOTTOM OVER - SARKING PLANTS.

WINDOWS/FOLD SLIDERS  
BY SHANGHAI YY CONTRACTORS

SURVEY  
: BOUNDARY OFFSET TO APPROVED PLAN & OK  
• FFL ARE 542.34 - GROUND  
542.70 - UPPER  
541.50 - LOWER  
& OK TO APPROVED PLAN

DISTRIBUTION:

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# J.D. BATES & ASSOCIATES PTY LTD

ABN 95 061 515 679

CONSULTING STRUCTURAL & CIVIL ENGINEER

J.D. BATES B.E. M.I.E.AUST.  
C.P.ENG.

BUILDING CERTIFIER 19884388 (B25)

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FAX. (02) 6286 9530  
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## BUILDING INSPECTION REPORT

15402

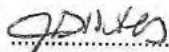
For the purposes of the Building Act 2004

Block	Section	Suburb	Builder & Project
		MANORIST	DIVINE LIVING PTY LTD SINGLE DWELLING RESIDENCE
Relevant inspection stage.			
GROUND SLABS - REAR			

I have received notice from the builder that the stage of works indicated above has been reached and I have carried out an inspection of the building work.



As a result of that inspection I hereby certify that the building work complies with section 42 of the *Building Act 2004* and give my permission for work to proceed beyond the above mentioned inspection stage.

  
J.D. BATES

6/11/2017

OR



As a result of that inspection I have formed the opinion that the building work is not in compliance with section 42 of the Building Act. I do not give my permission for work to proceed and I give the following directions to the licensee in charge of the building work, for achieving compliance;

J.D. BATES

### Inspection Notes & Directions:

PREPARED FOR 130+ THICK SL82 TOP ON WATERPROOF MEMBRANE OVER CRAJLAR LEVELER

SL 72 BOTTOM EXTRA IN AREA OF PIERS  
\* SL 82

PIERS UNDER GARAGE, BED 3, LOBBY, STUDY, BEDS 1 & 2

ADDITIONAL REQ ACROSS INTERNAL CORNERS

THICKENED / BEAM AT INTERNAL GARAGE PARTITION  
\* FAMILY PARTITION

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# J.D. BATES & ASSOCIATES PTY LTD

ABN 95 061 515 679

CONSULTING STRUCTURAL & CIVIL ENGINEER

J.D. BATES B.E. M.I.E.AUST.  
C.PENG.

BUILDING CERTIFIER 19884388 (B25)

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## BUILDING INSPECTION REPORT

15398

For the purposes of the Building Act 2004

Block	Section	Suburb	Builder & Project
		MONORIEFF	DIVINE LIVING P/L SINGLE DWELLING RESIDENCE
Relevant inspection stage.			
ROOF PILES			

I have received notice from the builder that the stage of works indicated above has been reached and I have carried out an inspection of the building work.



As a result of that inspection I hereby certify that the building work complies with section 42 of the *Building Act 2004* and give my permission for work to proceed beyond the above mentioned inspection stage.

*J.D. Bates*  
.....  
J.D. BATES

31/11/2017

OR



As a result of that inspection I have formed the opinion that the building work is not in compliance with section 42 of the *Building Act*. I do not give my permission for work to proceed and I give the following directions to the licensee in charge of the building work, for achieving compliance;

.....  
J.D. BATES

### Inspection Notes & Directions:

300  $\phi$  x 450  $\phi$   
WIDEN  $\phi$  600  $\phi$  AT TP

5 x CORNER

2 x LONGER PARTITION x 2

11 x LOWER LEVEL

PLACES MAINLY AS PER ENGINEER'S DETAIL

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J.D. BATES B.E. M.I.E.AUST.  
C.P.ENG.

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AUSTRALIA  
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EMAIL jonbat@bigpond.net.au

## BUILDING INSPECTION REPORT

15374

For the purposes of the Building Act 2004

Block	Section	Suburb	Builder & Project
		MONUMENT	DIVING LIVING PTY LTD SINGLE DWELLING RESIDENCE
Relevant inspection stage.			
SPRINKLER - MAIN LINE			

I have received notice from the builder that the stage of works indicated above has been reached and I have carried out an inspection of the building work.



As a result of that inspection I hereby certify that the building work complies with section 42 of the *Building Act 2004* and give my permission for work to proceed beyond the above mentioned inspection stage.

*J.D. Bates*  
J.D. BATES

21/10/2017

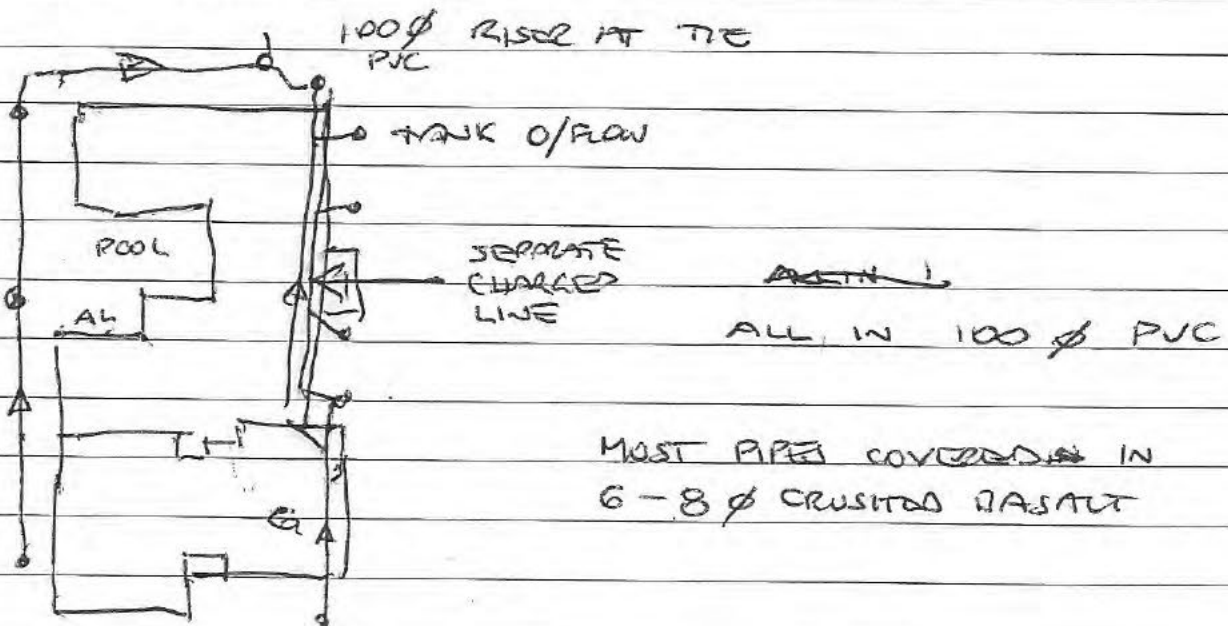
OR



As a result of that inspection I have formed the opinion that the building work is not in compliance with section 42 of the Building Act. I do not give my permission for work to proceed and I give the following directions to the licensee in charge of the building work, for achieving compliance:

J.D. BATES

### Inspection Notes & Directions:



PRET WEN ST.

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# J.D. BATES & ASSOCIATES PTY LTD

ABN 95 061 515 679

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J.D. BATES B.E. M.I.E.AUST.  
C.PENG.

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MOBILE 0412 62 85 85  
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## BUILDING INSPECTION REPORT

15310

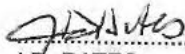
For the purposes of the Building Act 2004

Block	[REDACTED]	Section	[REDACTED]	Suburb	MANORIEFF	Builder & Project	DEVINE LIVING PTY LTD SINGLE DWELLING RESIDENCE
Relevant inspection stage.							
STRIP FOOTING							

I have received notice from the builder that the stage of works indicated above has been reached and I have carried out an inspection of the building work.



As a result of that inspection I hereby certify that the building work complies with section 42 of the *Building Act 2004* and give my permission for work to proceed beyond the above mentioned inspection stage.

  
J.D. BATES

12 10 2017

OR



~~As a result of that inspection I have formed the opinion that the building work is not in compliance with section 42 of the Building Act. I do not give my permission for work to proceed and I give the following directions to the licensee in charge of the building work, for achieving compliance;~~

~~J.D. BATES~~

### Inspection Notes & Directions:

300+ WIDE x 3 x L8 TM TOP  
UP TO 600+

AT STEP 400+ WIDE

5x 400 Ø PILES ALONG RISE ADJACENT TO EASTERN  
300 UP TO 1000 + DEEP.

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# J.D. BATES & ASSOCIATES PTY LTD

ABN 95 061 515 679

CONSULTING STRUCTURAL & CIVIL ENGINEER

J.D. BATES B.E. M.I.E.AUST.  
C.PENG.

BUILDING CERTIFIER 19884388 (B25)

16 PINDARI CRESCENT  
O'MALLEY, A.C.T. 2606  
AUSTRALIA  
TEL. (02) 6286 4714  
MOBILE 0412 62 85 85  
FAX. (02) 6286 9530  
EMAIL jonbat@bigpond.net.au

## BUILDING INSPECTION REPORT

15293


For the purposes of the Building Act 2004

Block	Section	Suburb	Builder & Project
		MANORCIEFF	DEVINE LIVING PTY LTD SINGLE DWELLING RESIDENCE
Relevant inspection stage. EARTHWORKS			

I have received notice from the builder that the stage of works indicated above has been reached and I have carried out an inspection of the building work.



As a result of that inspection I hereby certify that the building work complies with section 42 of the *Building Act 2004* and give my permission for work to proceed beyond the above mentioned inspection stage.

  
J.D. BATES

10/9/2017

OR



As a result of that inspection I have formed the opinion that the building work is not in compliance with section 42 of the Building Act. I do not give my permission for work to proceed and I give the following directions to the licensee in charge of the building work, for achieving compliance;

J.D. BATES

### Inspection Notes & Directions:

BULK EARTHWORKS ARE COMPLETE

ONTO SHALE / ROCK ON ABOUT 75%

DISTRIBUTION:

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PS.DS – 53463  
15 November 2017



iBUILT Pty Ltd  
105 Novar Street  
YARRALUMLA ACT 2600

Dear Sir,

As instructed, we have surveyed land at Moncrieff, in the Division of Moncrieff, District of Gungahlin, having a total frontage of 16.87 metres to [REDACTED], being Block [REDACTED] Section [REDACTED] Deposited Plan Numbered 11385 as shown in the sketch plan below.

Upon this land stands the concrete foundation of a building in the course of erection to be on completion a cottage residence.

The sketch shows the position of the foundation relative to the boundaries.

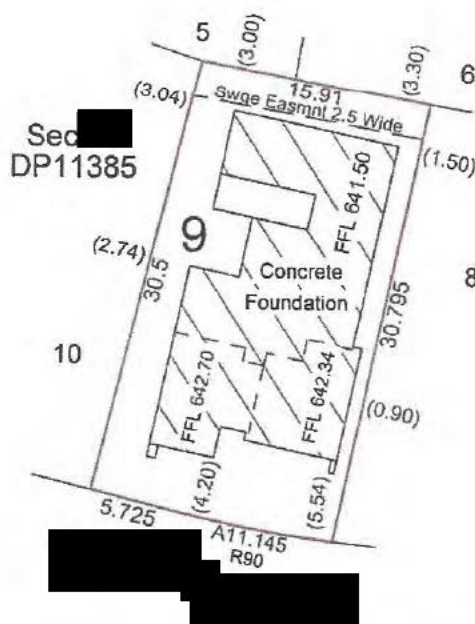
Other than as stated or referred to above, there are no apparent encroachments upon this land or by this property on adjoining land or street.

Yours faithfully  
SELFE SURVEYS PTY LTD

A handwritten signature in blue ink, appearing to read "Peter Selfe".

Peter Selfe  
Registered Surveyor

cc. Chief Surveyor



PO Box 230  
GUNG AHLIN ACT 2912

SCALE 1:500 N  
LENGTHS ARE IN METRES

Mobile: 0404 046 021  
Email: [info@selfesurveys.com.au](mailto:info@selfesurveys.com.au)  
ABN 90 172 686 014

# Integrated Pest Management Systems

35 Hill Road  
Royalla NSW 2620

PO Box 5002  
Chisholm ACT 2905

Phone: 02 6235 0666  
Fax: 02 6235 0888

**Protection of Buildings from Subterranean Termites**  
**Australian Standard 3660.1-2014**  
**Certificate of Installation**

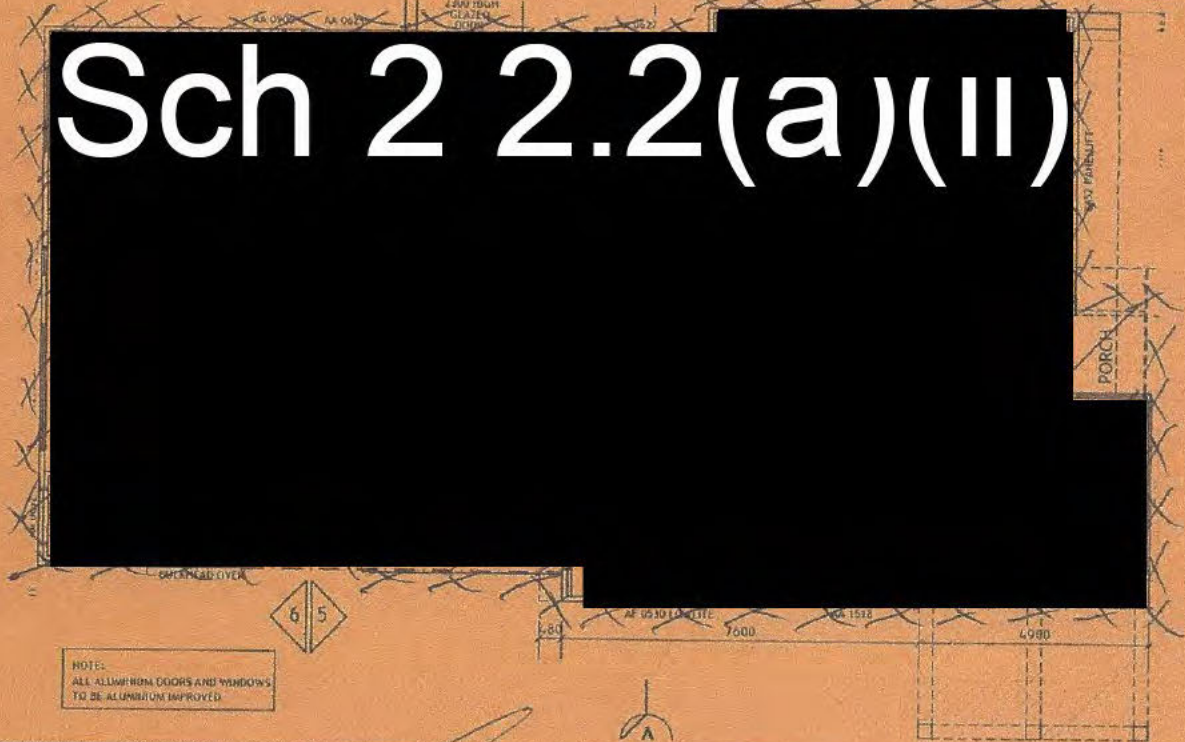
**Builder's/Owner's Name:** iBuilt Pty Ltd  
**Address:** 105 Novar Street  
**Suburb:** Yarralumla **State:** ACT **Postcode:** 2600  
**Construction Address:** Block [REDACTED] Section [REDACTED] Moncrieff

**Protection Treatment method Installed**

- A) Hand application Termiticidal barrier in accordance with Labelled requirements, HomeGuard to all penetrations.
- A) (1) External Perimeter Chemical Barrier in accordance with Labelled requirements.
- B) Installation of Granitgard Internal Perimeter and Penetrations as per Manufacturer's Requirements.
- C) Installation of Continuous Strip Shielding and Pier Caps.
- D) Installation of HomeGuard as per Manufacturer's requirements.
- E) Other being: \_\_\_\_\_

**Has a Pre-Construction site inspection been Completed:** YES/NO

**Legend of Protected Areas:** A)  A)(1)  B)   
C)  D)  E) 



*I being the undersigned hereby certify that the specified Termite Protection Treatment was completed in accordance with the Australian Standard 3660.1-2014*

**Name of Authorised Installation Technician:** Chris Smith **Licence Number:** 5069353

**Dated this** 4th day of November 2017.

**Signature:** 

Attached to this Certificate is the Warranties and Conditions, this document forms part of the Certification Document as per Appendix A - A3 Australian Standard 3660.1 - 2014



**WATERPROOFING INSTALLATION CERTIFICATE**

Installer: built Projects ABN: \_\_\_\_\_  
 Address: 6 Deumara ct Ngurahua  
 Phone (Mobile): 0417597630 (Work): \_\_\_\_\_

HIA Membership No: 607367  
 Contractor Licence No: 201525 Expiry Date: 19/9/18

This is to certify that the following areas have been treated in accordance with The Building Code of Australia  
 SPECIFY EXTENT OF WORK AND TYPE OF MEMBRANE

Shower area base: 3 coats Ardex Wpm 001  
 Shower area flashings: Ardex Sth Topo, 3 coats Ardex Wpm 001  
 Flashings around bathroom: "  
 Flashings around toilet: "  
 Flashings around laundry: "  
 En-suite shower floor: "  
 En-suite shower flashings: "  
 Full bathroom floor: "  
 Full en-suite floor: "  
 Full toilet floor: "  
 Full laundry floor: "  
 Other/s: \_\_\_\_\_  
 Date of completion: 2, 6, 18

Site Address: \_\_\_\_\_ Mancrieff  
 Name of Owner: Sch 2 2.2(a)(ii) Postcode: 2914  
 Name of Builder: Tom Hezo Contractor Licence No: 20 Expiry Date: \_\_\_\_\_  
 Builder's Address: \_\_\_\_\_ Postcode: \_\_\_\_\_  
 Applicator's comments (Optional): \_\_\_\_\_  
 Signature: Sch 2 2.2(a)(ii) Date: 4, 6, 18

# Certificate of Insulation

## Insulation Guarantee

This certifies that Knauf Insulation EarthWool™ products have been installed as follows.

Project Application (e.g. walls or ceilings) WALLS, CEILING, WET AREAS  
 Project Type (e.g. new build or refurbishment) NEW HOME  
 Project Address: [REDACTED] MONERIEF  
 Project Contact Person/Owner: DINO  
 Installer: MELPA INSULATION ABN: 23136704271  
 Date of Installation: 10/05/2018

Product Installed:	Product R-Value		
	Walls	Ceiling/Roof	Floor
EarthWool™ Wall and Ceiling Thermal Batts	<u>R2.5</u>	<u>R6</u>	<u>R2.5 HP</u>
EarthWool™ Roof Rolls			<u>Wet area</u>

Knauf Insulation guarantees that EarthWool™ products are certified and provide the above thermal resistance when installed by an approved installer in accordance with AS 3999-1992: Thermal Insulation of Dwellings – Bulk Insulation – Installation requirements.

### Other Features:

- EarthWool™ products achieve the following indices when tested in accordance with Australian Standard 1530 part 3 of 1999:
  - Simultaneous Determination of Ignitability: ..... Ignitability 0
  - Flame Propagation: ..... Spread of Flame 0
  - Heat Release: ..... Heat Evolved 0
- EarthWool™ products are guaranteed to be free from manufacturing defects.
- EarthWool™ products are non conductive, allergy free, will not pack down, will not rot and is mould resistant and will not deteriorate.
- EarthWool™ products achieve stated R-value (thermal resistance) in accordance with AS/NZS 4859.1.

Knauf Insulation Pty Ltd  
 Unit 2, 39 Devlan Street  
 Mansfield QLD 4122  
 +61 (0)7 3343 1989







19<sup>th</sup> July, 2017

Shanghai YY Construction  
Yvonne Yang  
No. 10, Hangfan Road, PuDong New Area  
Shanghai 201316 CHINA

Dear Yvonne,

## AWA Compliance Audit 2017 & WERS Compliance Audit 2017

Congratulations on your successful AWA and WERS Annual Audit. I am pleased to enclose your Compliance Certificates for the period 2017-2018.

AWA members have proven that this Certificate can be a valuable marketing tool and I suggest you display it in your showroom or sales area.

If the audited manufacturing site supplies products to more than one showroom, please contact the AWA office and we shall forward additional certificates for each showroom.

Yours sincerely,

Corinne Cockram  
Accreditation Administrator

USED ON [REDACTED] MONCRIST

Doc No AUD198D  
Issued 03/2017

### Australian Window Association

Sydney a Suite 1, Level 1, Building 1, 20 Bridge Street, Pymble NSW 2073  
Melbourne a Suite 6, 31 Redland Drive, Vermont VIC 3133

e info@awa.org.au w. www.awa.org.au  
t +61 2 9498 2768 f +61 2 9498 3816  
t +61 3 9808 0069 f +61 3 9808 9009



# CERTIFICATE OF AUDIT COMPLIANCE

ISSUED ON [REDACTED] MONCEIST

This is to certify that

## SHANGHAI YY CONSTRUCTION

ACCREDITED MEMBER NO. 844-01

has met the requirements of the annual AWA Compliance Audit conducted by an AWA Accredited Independent Auditor.



The Australian Window Association is a NATA Accredited Inspection Agency. Accreditation Number 13739

Through the issuance of this certificate, the AWA is not vesting NATA Accreditation to the Member.

### COMPLIANCE PERIOD: 2017-2018

AWA Accreditation Manager

27/7/17

Date



# CERTIFICATE OF AUDIT COMPLIANCE

USED ON [REDACTED] MONCEIFF

This is to certify that

## SHANGHAI YY CONSTRUCTION

ACCREDITED MEMBER NO. 844-01

has met the requirements of the annual WERS Compliance Audit conducted by a WERS Accredited Independent Auditor.



The WERS is owned by the Australian window Association (AWA). The AWA is a NATA Accredited Inspection Agency. Accreditation Number 13739.

Through the issuance of this certificate, the WERS is not vesting NATA Accreditation to the Member.

### COMPLIANCE PERIOD: 2017-2018

WERS Accrediation Manager

27/7/17

Date



To whom it may concern,

RE: Get Built Constructions Pty Limited (Building Code Compliance)

I advise that the glass by Get Built Constructions for: Ibuilt Homes

The Residence at [REDACTED] Moncrieff

Showerscreens and sliding wardrobe doors are compliant with AS1288 - 2006.

If you have any queries please contact me on 0431031524.

Yours sincerely,

Sch 2 2.2(a)(ii)

Dean Wolf

Director

NOTIFICATION & COMPLIANCE STATEMENT  
Building Act 2004

Date: 6/8/18

Block: [REDACTED] Section: [REDACTED] Suburb: MONCRIEFF

Address: [REDACTED]

This is to advise that the following stage of building work has been reached and an inspection is required eg. Stormwater, piers/pads, footings, slab, presheeting, final.

Insert stage name: FINAL

Insert date inspection is required: 6/8/18

The above stage has been reached and the building work done for the stage was carried out in accordance with approved plans.

~~(delete if not required) The building work involved handling asbestos or disturbing friable asbestos and the plans comply with the Building Act in relation to asbestos.~~

Signature: x [Signature]

Print name: TOM BROWN FOR DEVINE LIVING PTY LTD



Access Canberra

RESUBMIT SHOWING NO GAS

CERTIFICATE OF COMPLETION BUILDING WORK

Building Act 2004, S151

NO GAS

This form is to be completed by the Building Certifier once satisfied that the building work detailed in this application is complete

PART A PROJECT DETAILS

Block/s [redacted] Sect 0H1Hion [redacted] Suburb MONORIFF Unit No. [redacted]

Street Address [redacted]

FULL NAME OF ALL OWNERS - All owners must be listed or application will not be processed - Please Print

Owner 1 Sch 2 2.2(a)(ii) Owner 2 Sch 2 2.2(a)(ii)

Owner 3 [redacted] Owner 4 [redacted]

Project Number B20173606 A & B

Description of Building Works relevant to this application - If more than 6 items please attach further details

Table with 4 columns: Describe each item of building work relevant to this application, BCA Occupancy Class, BCA Construction Type, Builders Name. Rows include: 1 SINGLE DWELLING RESIDENCE, 2 GARAGE, PORCH, ALFRESCO, 3 FENCING, RAINWATER TANK, LANDSCAPE WALLS.

Please indicate if the project involved:

Electrical Work [checked] YES [ ] NO Plumbing Work [checked] YES [ ] NO Gas Work [ ] YES [checked] NO

This building work is subject to an alternative solution under the BCA [ ] YES [checked] NO

PART B CERTIFIERS DETAILS

Name of Certifier JOHN BATES

Company Name [redacted]

Phone Number Business Hours [redacted] Mobile 0412 628 585

EMAIL ADDRESS jonbates@bigpond.net.au

I am satisfied that the building work detailed in this application is complete. I hereby certify that:

- I have provided all the relevant documents required by subsection 48 of the Building Act 2004 with this application;
- the documentation relating to the building approval has been marked in accordance with the requirements of the Building Act 2004;
- this work has been undertaken in accordance with the building and development provisions within the Crown lease;
- the building work has been completed in accordance with the requirements of the Building Act 2004 and substantially in accordance with the approved plans;
- the building or part of the building as erected or altered is structurally sufficient, sound and stable for the purposes for which it is intended to be occupied or used; and
- the Registrar can issue a Certificate of Occupancy and Use.

If the owner of the land applies for a certificate the Registrar would be justified in issuing a certificate in respect of the work under the subsection below:

69(1)  69(2)  69(3)  71  72 of the Building Act 2004

Certifier Name

JOHN DATES

Licence No.

15884388

Certifier Signature

J. Dates

Date

31/08/2018

6/09/2018 - no gzs

NOTE: There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

Once complete this form must be lodged with the Access Canberra Building Services Shopfront and a copy must be forwarded to the owners. The owners will not be able to apply for a certificate of occupancy or use if this form is not completed.

#### Privacy Notice

The personal information on this form is provided to Access Canberra to enable the processing of your application. The collection of personal information is authorised by the *Building Act 2004*. If all or some of the personal information is not collected Access Canberra cannot process your application. The personal information you provide may be disclosed to Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be disclosed where authorised by law or court order, or where the Directorate reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. Access Canberra's Information Privacy Policy contains information about how you may access or seek to correct your personal information held by Access Canberra, and how you may complain about an alleged breach of the Territory Privacy Principles. Access Canberra Information Privacy Policy can be found at [www.act.gov.au/accessCBR](http://www.act.gov.au/accessCBR)

#### CONTACT INFORMATION

##### Email:

ACTPLAdevelopmentBA@act.gov.au

##### Post:

Access Canberra  
Building Services  
Shopfront Mitchell  
GPO Box 158  
Canberra, ACT 2601

##### In Person:

Please visit  
[www.act.gov.au/accessCBR](http://www.act.gov.au/accessCBR)  
Or call 132281 to find an  
Access Canberra Shopfront.



Building Act 2004, S151

## Application for Certificate of Occupancy and Use

Project ID: B20173606C1

If this application is incomplete or documentation is inadequate this application may not be accepted for lodgement and the certificate of occupancy and use may not be issued.

### WARNING TO OWNERS

It is recommended that owners seek appropriate advice to determine whether the building work and other contract requirements have been completed satisfactorily before signing this form. This form should not be signed before the completion of building work.

## PROJECT DETAILS

Unit	Block	Section	Division (Suburb)	District	Jurisdiction
			MONCRIEFF	GUNGAHLIN	Australian Capital Territory

### Description of Works

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Const.	Unit	BCN ID	Builder
1a(l)	New	DA EXEMPT-RESIDENCE	Single dwelling residence	NA		B20173606N1	DEVINE LIVING PTY LTD
10a	New	DA EXEMPT-GARAGE	Garage, Porch, Alfresco	NA		B20173606N1	DEVINE LIVING PTY LTD
10b	New	DA EXEMPT-SITE PREPARATION	Fencing, L/Scape Walls, W/Tank	NA		B20173606N1	DEVINE LIVING PTY LTD

## OWNER/LESSEE DETAILS

Name	Address	Email Address
Sch 2 2.2(a)(ii)		jonbat@bigpond.net.au
Sch 2 2.2(a)(ii)		jonbat@bigpond.net.au

## DECLARATION BY OWNER

I am/we are:

- the owner(s) of the above described land
- the agent authorised by the owner(s) to apply for a Certificate of Occupancy and Use on their behalf, and I have attached a letter of authority

I am/we are satisfied that the building work and related requirements have been completed and hereby apply for a Certificate of Occupancy and Use in respect of the above described work to be issued and (select one option only):

- sent by post to the owner(s) address
- sent by post to the agent's address; or
- held for collection from the Mitchell Customer Service Centre



**This form should not be signed before the completion of building work.**

**Signature/s of Owners – all owners must sign if agent has not been appointed**

Name	Signature	Date
Sch. 2.2(a)(ii)		
Sch. 2.2(a)(ii)		

Once complete, you should return this form to your certifier to lodge or return to the Access Canberra Building Services Shopfront, 8 Darling Street, Mitchell ACT 2911.

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.



Building Act 2004, S151

## Application for Certificate of Occupancy and Use

Project ID: B20173606C1

If this application is incomplete or documentation is inadequate this application may not be accepted for lodgement and the certificate of occupancy and use may not be issued.

### WARNING TO OWNERS

It is recommended that owners seek appropriate advice to determine whether the building work and other contract requirements have been completed satisfactorily before signing this form. This form should not be signed before the completion of building work.

### PROJECT DETAILS

Unit	Block	Section	Division (Suburb)	District	Jurisdiction
			MONCRIEFF	GUNGAHLIN	Australian Capital Territory

### Description of Works

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Const.	Unit	BCN ID	Builder
1a(l)	New	DA EXEMPT-RESIDENCE	Single dwelling residence	NA		B20173606N1	DEVINE LIVING PTY LTD
10a	New	DA EXEMPT-GARAGE	Garage, Porch, Alfresco	NA		B20173606N1	DEVINE LIVING PTY LTD
10b	New	DA EXEMPT-SITE PREPARATION	Fencing, L/Scape Walls, W/Tank	NA		B20173606N1	DEVINE LIVING PTY LTD

### OWNER/LESSEE DETAILS

Name	Address	Email Address
Sch 2 2.2(a)(ii)		jonbat@bigpond.net.au
Sch 2 2.2(a)(ii)		jonbat@bigpond.net.au

### DECLARATION BY OWNER

I am/we are:

- the owner(s) of the above described land
- the agent authorised by the owner(s) to apply for a Certificate of Occupancy and Use on their behalf, and I have attached a letter of authority

I am/we are satisfied that the building work and related requirements have been completed and hereby apply for a Certificate of Occupancy and Use in respect of the above described work to be issued and (select one option only):

- sent by post to the owner(s) address
  - sent by post to the agent's address; or
  - held for collection from the Mitchell Customer Service Centre
-

**This form should not be signed before the completion of building work.**

**Signature/s of Owners – all owners must sign if agent has not been appointed**

Name	Signature	Date
Sch 2 2.2(a)(ii)		

Once complete, you should return this form to your certifier to lodge or return to the Access Canberra Building Services Shopfront, 8 Darling Street, Mitchell ACT 2911.

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# Certificate of Occupancy and Use

Certificate No.: **B20173606C1**

**Access Canberra Building Services**

ABN 16 479 763 216  
8 Darling Street Mitchell  
GPO Box 158 ACT 2601  
www.act.gov.au/accesscbr

This Certificate is issued in accordance with Section 69 (2) of the Building Act 2004.

The building work listed on this certificate has been completed substantially in accordance with the prescribed requirements and is considered fit for occupation and use.

Unit	Block	Section	Division (Suburb)	District	Jurisdiction
			MONCRIEFF	GUNGAHLIN	Australian Capital Territory

Plans
B20173606/A
B20173606/B

## Building Works

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Const.	Unit	BCN ID	Builder
1a(l)	New	DA EXEMPT-RESIDENCE	Single dwelling residence	NA		B20173606N1	DEVINE LIVING PTY LTD
10a	New	DA EXEMPT-GARAGE	Garage, Porch, Alfresco	NA		B20173606N1	DEVINE LIVING PTY LTD
10b	New	DA EXEMPT-SITE PREPARATION	Fencing, L/Scape Walls, W/Tank	NA		B20173606N1	DEVINE LIVING PTY LTD

## Comments

## Important Note:

1. Statutory warranties and statutory warranty insurance or a statutory warranty fidelity certificate apply in relation to some or all of the building work.
2. The issue of this certificate in respect of a building or a portion of a building does not affect the liability of a person or other entity to comply with the provisions of an ACT law, including the Building Act 2004, relating to the building or portion of the building.

Issued by: Anthony Morris

Issued on: 17/09/2018

Delegate of the ACT Construction  
Occupations Registrar.



# APPOINTMENT OF A CERTIFIER APPLICATION FOR BUILDING APPROVAL

Building Act 2004, S151

This form is to be completed by the Owner/s of the land to which the building work relates.

## PART A PROJECT DETAILS

Block [REDACTED] Section [REDACTED] Suburb MONCRIEFF Unit No.

Street Address [REDACTED]

Description of Building Works relevant to this application - *If more than 4 items please attach further details*

Describe each item of building work in this building approval	BCA Occupancy Class	BCA Construction Type	Area (m <sup>2</sup> )	Number of Storeys	Cost of Works (refer to building cost Sch 2 2.2(a)(xi))
1 SINGLE DWELLING RESIDENCE	1a(i)	N/A	194.59	1	<span style="background-color: black; color: black;">[REDACTED]</span> ✓
2 GARAGE, PORCH, AUSTRALIAN ESCO	10a	"	62.62	1	<span style="background-color: black; color: black;">[REDACTED]</span> ✓
3 FENCING, RAINWATER TANK, LANDSCAPE WALL	10b	"	-	1	<span style="background-color: black; color: black;">[REDACTED]</span>
4		TOTAL WORK COST ESTIMATE		\$	<span style="background-color: black; color: black;">[REDACTED]</span>

## Applicable approved requirements and reasons why building approval is not prevented from being issued

Is all work exempt from development approval?  
 YES Attach assessment for exempt development checklist (if applicable) - ACT EXEMPTION DECLARATION  
 NO Provide reason/s or description of work: \_\_\_\_\_

## Description of Attachments compliant with Division 3.3 Building Act 2004

Please attach any additional documentation not listed below

- Building Approval Plans
- Referrals, consultations & consents outcomes
- Asbestos Advice - If documents accompanying building approval do not include an asbestos assessment report as per the Building Act 2004, the building approval must have an AA attached as per the Act

## PART B OWNER'S DETAILS -- Please Print

All owners must be listed Owner 1 will be considered the contact person in relation to this application

Company Details

ACN/ABN Number

Owner 1 Sch 2 2.2(a)(ii) Owner 2 Sch 2 2.2(a)(ii)

Owner 3 \_\_\_\_\_ Owner 4 \_\_\_\_\_

act.gov. [REDACTED] Sch. 2.2(a)(xi)

## PART B continued

## OWNER/S DETAILS – Please Print

Postal Address

Sch 2 2.2(a)(ii)

Suburb

Sch 2 2.2(a)(ii)

State

ACT

Postcode

Sch 2 2.2(a)(ii)

Phone Number Business Hours

Mobile

Sch 2 2.2(a)(ii)

EMAIL ADDRESS

Sch 2 2.2(a)(ii)

## PART C

## APPOINTMENT OF CERTIFIER

As required under the Building ACT 2004 I/we hereby advise that I/we the owner/s have appointed the person whose details appear below as the certifier in relation to the building works described in this form

Company Details

Name of Certifier

John Bates

ABN/  
ACN

Postal Address

16 Pindari cres

Suburb

Omalley

State

ACT

Postcode

2606

Phone Number Business  
Hours

Mobile

0412628585

EMAIL ADDRESS

Jonbat@bigPond.net.au

## PART D

## APPLICATION FOR BUILDING APPROVAL

I/we the Owner/s of the abovementioned property hereby apply under Section 26 of the *Building Act 2004* to the certifier named above to issue a building approval for the building work described in this form. I/we have provided the certifier with information and documentation required to issue a building approval as specified in the *Building (General) Regulation 2008*.

## PART E

## AUTHORITY TO ACCESS BUILDING FILE

I/we hereby authorise the certifier to access the building file for the property which is the subject of this application for the purposes of obtaining information relevant to the issuing of a building approval and associated processes.

## PART F

## OWNER/S SIGNATURE/S

1st Owner's Signature

Sch 2 2.2(a)(ii)

Date

27/6/17

2nd Owner's Signature

Sch 2 2.2(a)(ii)

Date

27/6/17

3rd Owner's Signature

Date

4th Owner's Signature

Date

**NOTE:** There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.



Building Act 2004, S151

**Appointment of a Certifier and  
Application for Building Approval**

Project ID: B20173606

This form is to be completed by the Owner/s of the land to which the building work relates

**PART A - PROJECT DETAILS**

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
			GUNGAHLIN	MONCRIEFF	Australian Capital Territory

**PART B - OWNER DETAILS**

Name	Address	Email Address
Sch 2 2.2(a)(ii)		jonbat@bigpond.net.au
Sch 2 2.2(a)(ii)		jonbat@bigpond.net.au

**PART C - APPOINTMENT OF CERTIFIER**

As required under the Building ACT 2004 I/we hereby advise that I/we the owner/s have appointed the person whose details appear below as the certifier in relation to the building works described in this form

Full Name	Address	License Number	Expiry Date
JOHN DAVID Bates	16 PINDARI CRESCENT O'MALLEY ACT 2606	19884388	29/03/2018

**PART D - APPLICATION FOR BUILDING APPROVAL**

I/we the owners of the abovementioned property hereby apply to the certifier named above to issue a building approval under Section 26 of the Building Act 2004 for the building works detailed in the following table

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
1a(l)	New	DA EXEMPT-RESIDENCE	Single dwelling residence	NA	1	194.59	Sch 2 2.2(a)(ii)
10a	New	DA EXEMPT-GARAGE	Garage, Porch, Alfresco	NA	1	62.62	
10b	New	DA EXEMPT-SITE PREPARATION	Fencing, L/Scape Walls, W/Tank	NA	1	0.00	

I/we have provided the certifier with the information and documentation required to issue a building approval as specified in the Building (General) Regulation 2008.

**PART E - AUTHORITY TO ACCESS BUILDING FILE**

I/we hereby authorise the certifier to access the building file held by Access Canberra for the property which is the subject of this application for the purposes of obtaining information relevant to the issuing of a building approval and associated processes.

**PART F - OWNER/S SIGNATURE/S**

Name	Signature	Date
Sch 2 2.2(a)(ii)		

**APPLICATION FOR BUILDING APPROVAL REQUIREMENTS**  
**Building (General) Regulations 2008**

Where relevant the following information **MUST** be included in either the application or the plans accompanying the application for building approval:

**General Requirements**

---



- Estimated Cost of Works -as per Building (General) (Cost of Building Work) Determination 2011
- if the proposed building work to be carried out at or near a street or place that is open to or used by the public the application must contain details of the precautions proposed to be taken to protect the safety of people using the street or place while the building work is carried out
- the area of the parcel of land to which this application relates
- the class of the building according to the intended use of the building as proposed to be erected or altered;
- if applicable what fire-resisting construction type (under the building code) the building as proposed to be erected or altered will be.

Note: Fire-resisting construction type may not be applicable if an alternative solution under the building code is used.

- for an application relating to the erection of a class 1 building the site classification of the parcel of land
  - for an application relating to the alteration of a class 1 building if the alteration will increase the building load carried by foundation material beyond the building load carried by the foundation before the alteration.
  - the site classification of the parcel of land
  - for an application relating to the alteration of a building the class and type of fire-resisting construction of the existing building classified under the building code and the materials used in the existing building
- Note Fire-resisting construction type may not be applicable if an alternative solution under the building code is used.
- the number of storeys of the building as proposed to be erected or altered;
  - the number of new dwellings (if any) created by the proposed building work;
  - the floor area of the proposed building or proposed new part of the building;
  - the materials to be used in the frame, floor, walls and roof of the proposed building or proposed new part of the building
  - if a performance requirement of the building code is to be complied with by use of an alternative solution under the code -
    - (i) the performance requirement; and
    - (ii) the alternative solution; and
    - (iii) each assessment method used to show that the alternative solution complies with the performance requirement;
  - if the building code does not state a standard of work in relation to any part of the proposed building work and it is intended to carry out that part of the proposed building work in accordance with a standard of work stated in another document -
    - (i) the nature of the proposed building work; and
    - (ii) the title of the document; and
    - (iii) each assessment method used to show that the proposed building work complies with the standard of work stated in the document.

Removal or demolition of building/s

- Details of the methods to be used in carrying out the proposed building work, including a work plan stated or set out in AS 2601 (Demolition of structures), as in force from time to time;
- the number of dwellings (if any) to be demolished.

Asbestos

- The application must include a description of the method proposed to be used to remove the bonded asbestos sheeting from the building.
- the application must include the following information:
  - (i) the method proposed to be used to remove the asbestos;
  - (ii) the approximate amount and kind of asbestos to be removed;
  - (iii) the equipment proposed to be used to remove the asbestos, including any personal protective equipment;
  - (iv) details of a program, prepared in accordance with the asbestos removal code, for monitoring airborne asbestos to be followed during the removal. be followed during the removal.

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.