



ACT
Government

Chief Minister, Treasury and
Economic Development

Freedom of Information Publication Coversheet

The following information is provided pursuant to section 28 of the *Freedom of Information Act 2016*.

FOI Reference: CMTEDDFOI 2019-227

Information to be published	Status
1. Access application	Published
2. Decision notice	Published
3. Documents and schedule	Published
4. Additional information identified	No
5. Fees	Waived
6. Processing time (in working days)	3
7. Decision made by Ombudsman	N/A
8. Additional information identified by Ombudsman	N/A
9. Decision made by ACAT	N/A
10. Additional information identified by ACAT	N/A

From: [REDACTED]
To: [CMTEDD FOI](#)
Subject: Freedom of Information request
Date: Monday, 23 September 2019 9:13:41 PM

Please find online enquiry details below. Please ensure this enquiry is responded to within fourteen working days.

Your details

All fields are optional, however an email address OR full postal address must be provided for us to process your request. An email address and telephone contact number will assist us to contact you quickly if we need to discuss your request.

Title:
First Name:
Last Name:
Business/Organisation:
Address:
Suburb:
Postcode:
State/Territory:
Phone/mobile:
Email address:



Request for information

(Please provide as much detail as possible, for example subject matter and relevant dates, and also provide details of documents that you are not interested in.)

Under the Freedom of Information Act 2016 I want to access the following document/s (*required field):

[REDACTED] I would like to access the information within the Archives Envelopes on building file: 21645 part 1 and 2 covering block 269/0 Majura, being the club and leased land. Please contact me if any questions Regards

[REDACTED]

I do not want to access the following documents in relation to my request::

Thank you.
Freedom of Information Coordinator

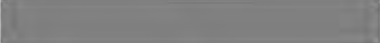


ACT
Government

Chief Minister, Treasury and
Economic Development

Our ref: CMTEDDFOI2019-227



via email: 

Dear 

FREEDOM OF INFORMATION REQUEST

I refer to your application under section 30 of the *Freedom of Information Act 2016* (the Act), received by the Chief Minister, Treasury and Economic Development Directorate (CMTEDD) on 23 September 2019, in which you are seeking access to

"...the information within the Archives Envelopes on building file: 21645 part 1 and 2 covering block 269/0 Majura, being the club and leased land."

Authority

I am an Information Officer appointed by the Director-General under section 18 of the Act to deal with access applications made under Part 5 of the Act.

Timeframes

In accordance with section 40 of the Act, CMTEDD is required to provide a decision on your access application by 22 October 2019.

Decision on access

Searches were completed for relevant documents and 28 documents have been identified that fall within the scope of your request. Of the 28 documents, 20 documents are being released to you in full pursuant to the *Territory Records Act 2002* and the remaining eight documents are being released to you in full under the *Freedom of Information Act 2016*.

In making this decision I have considered the personal information contained in the documents being released to you and noting the information was previously provided by the Canberra Rifle Club I do not consider the release of this information to be unreasonable in these circumstances.

I have included as **Attachment A** to this decision the schedule of relevant documents. This provides a description of each document that falls within the scope of your request and the access decision for each of those documents.

The documents released to you are provided as **Attachment B** to this letter.

Charges

Pursuant to *Freedom of Information (Fees) Determination 2017 (No 2)* processing charges are applicable for this request because the total number of pages to be released to you exceeds

the charging threshold of 50 pages. However, the charges have been waived in accordance with section 107(2)(b) of the Act.

Online publishing – Disclosure Log

Under section 28 of the Act, CMTEDD maintains an online record of access applications called a disclosure log. Your original access application, my decision and the documents released to you in response to your access application will be published in the CMTEDD disclosure log 3 days after the date of my decision. Your personal contact details will not be published. You may view the CMTEDD disclosure log at: <https://www.cmtedd.act.gov.au/functions/foi/disclosure-log>.

Ombudsman Review

My decision on your access request is a reviewable decision as identified in Schedule 3 of the Act. You have the right to seek a review by the Ombudsman of this outcome under section 73 of the Act within 20 working days from the day that my decision is published in the CMTEDD disclosure log, or a longer period allowed by the Ombudsman.

If you wish to request a review of my decision you may write to the Ombudsman at:

The ACT Ombudsman
GPO Box 442
CANBERRA ACT 2601

via email: actfoi@ombudsman.gov.au

ACT Civil and Administrative Tribunal (ACAT) Review

Under section 84 of the Act, if a decision is made by the Ombudsman under section 82(1), you may apply to the ACAT for a review of the Ombudsman decision. Further information may be obtained from the ACAT at:

ACT Civil and Administrative Tribunal
Level 4, 1 Moore St
GPO Box 370
Canberra City ACT 2601
Telephone: (02) 6207 1740
<http://www.acat.act.gov.au/>

Should you have any queries in relation to your request please contact me by telephone on 6207 7754 or by email at CMTEDDFOI@act.gov.au.

Yours sincerely,



Sarah McBurney
Information Officer
Information Access
Chief Minister, Treasury and Economic Development Directorate

26 September 2019



ACT
Government

Chief Minister, Treasury and
Economic Development

FREEDOM OF INFORMATION REQUEST SCHEDULE

NAME	WHAT ARE THE PARAMETERS OF THE REQUEST	Reference NO.
[REDACTED]	Access the information within the Archives Envelopes on building file: 21645 part 1 and 2 covering block 269/0 Majura, being the club and leased land.	CMTEDDFOI2019-227

Ref No	Page number	Description	Date	Status	Reason for Exemption	Online Release Status
1	1	Certificate of Occupancy	27 Jul 2004	Full release	N/A	Yes
2	2-3	Certificate of completion of building work	21 Jul 2004	Full release	N/A	Yes
3	4	Inspection report	15 Jul 2004	Full release	N/A	Yes
4	5	Registration acknowledgement	17 Jun 2004	Full release	N/A	Yes
5	6	Application by owner for building approval	15 Jun 2004	Full release	N/A	Yes
6	7	Tax Invoice	2 Jun 2004	Full release	N/A	Yes
7	8	Letter – ACT Rifle Club Development	14 Feb 2004	Full release	N/A	Yes
8	9-10	Letter – ACT Building Control/Heater	3 Nov 1993	Full release	Territory Records Act 2002	Yes
9	11	Certificate of Occupancy or Use	11 Mar 1993	Full release	Territory Records Act 2002	Yes
10	12	Final inspection report	11 Mar 1993	Full release	Territory Records Act 2002	Yes
11	13	Application for Certificate of Occupancy or Use	8 Mar 1993	Full release	Territory Records Act 2002	Yes
12	14-15	Notification and compliance statement	6 Mar 1993	Full release	Territory Records Act 2002	Yes
13	16	Certificate of Occupancy or Use	3 Dec 1992	Full release	Territory Records Act 2002	Yes
14	17	Final inspection report	3 Dec 1992	Full release	Territory Records Act 2002	Yes

15	18	Application for Certificate of Occupancy or Use	30 Nov 1992	Full release	Territory Records Act 2002	Yes
16	19	Notification and compliance statement	30 Nov 1992	Full release	Territory Records Act 2002	Yes
17	20-21	Permit to carry out building work/application for building permit	13 Nov 1992	Full release	Territory Records Act 2002	Yes
18	22	Plan Acknowledgment (illegible)	undated	Full release	Territory Records Act 2002	Yes
19	23	Application for approval of plans	19 Jun 1992	Full release	Territory Records Act 2002	Yes
20	24-28	Permit to carry out building work/application for a building permit/application for approval of plans	9 Sep 1991	Full release	Territory Records Act 2002	Yes
21	29	Certificate of occupancy or use	5 Sep 1989	Full release	Territory Records Act 2002	Yes
22	30-31	Final inspection record	5 Sep 1989	Full release	Territory Records Act 2002	Yes
23	32	Certificate of occupancy or use	undated	Full release	Territory Records Act 2002	Yes
24	33	Permit to carry out building work	7 Apr 1989	Full release	Territory Records Act 2002	Yes
25	34	Application for building permit	10 Apr 1989	Full release	Territory Records Act 2002	Yes
26	35	Authority to issue building permit	5 Apr 1989	Full release	Territory Records Act 2002	Yes
27	36	Application for Certificate of Occupancy or Use	18 Mar 1989	Full release	Territory Records Act 2002	Yes
28	37-54	Plans	Various	Full release	Territory Records Act 2002/ <i>Freedom of Information Act 2016 (page 53)</i>	Yes
Total No of Docs						
28						



Certificate of Occupancy and Use

Certificate No. **042205N1C1**

This Certificate is issued in accordance with Section 53 (3) of the Building Act.

The building work listed on this certificate has been completed substantially in accordance with the prescribed requirements and is considered fit for occupation and use.

Builder WR ENGINEERING	Suburb MAJURA	Section 0	Block 560
Notice of Intention to Start Work Number 042205N1	Plan 042205/A		

Building Work

Nature of Work	Project Item Description	Unit	Other Description	Class of Occupancy	Type of Construction
NEW	STORAGE BUILDING			7	NA

Comments

Important note:

1. Residential building statutory warranties and residential insurance does not apply in relation to building work.
2. The issue, under this Part, of a certificate in respect of a building or portion of a building does not affect the liability of a person to comply with the provisions of a law of the Territory (including this Act) relating to the building or portion of the building.

nmarquette

NATALIE MARQUETTE
Deputy Building Controller

27/7/04

Date

21645/02



C5



Certificate of Completion of Building Work (from certifier) Application for Certificate of Occupancy and Use (COU) (by owner)

- Certifiers should use this form to notify the Building Controller within seven days of building being completed, by using Parts A & B
- Owners of land (or their agent) should use this form to apply for a COU by using Parts A & C
- It is an offence for a person to occupy or use, or to permit another person to occupy or use, a building or part of a building (including a swimming pool) unless a respective COU has been issued (except where it is exempt from requiring a COU).
- Send or lodge this form at BEPCON BPO Box 1008 Canberra ACT 2601 or BEPCON Cnr Lyngate & Hookline Sts Mitchell ACT
- NOTE: If either Part B or C cannot be completed, the form can be lodged and the missing part lodged later. However, a COU cannot be issued if the certificate (Part B) and an application (Part C) are not lodged.

WARNING TO OWNERS: DO NOT SIGN THIS FORM UNTIL YOU HAVE READ THIS ADVISORY INFORMATION
It is recommended that owners seek appropriate advice to determine whether the building work and other contract requirements have been completed satisfactorily. This form should not be signed before the completion of building work.

PART A Project - Owner or certifier to complete

Plan registration number 042205/A
 Block 0 Section 560 Unit
 Suburb MAJURA
 Description of work SHED

Please indicate if the project involved:
 electrical work Yes No
 plumbing or sanitary drainage work Yes No *27/7/04*

PART B - Certifier declaration

Name of certifier David McCulloch Certifier number 1511

The building work referred to herein appears to me to have been completed, and I hereby give to the Building Controller advice that:
 I am satisfied that:
 - the building work has been completed in accordance with the requirements of the Building Act 1972 and substantially in accordance with the approved plans; and
 - the building or part of the building that is the work as erected or altered (including demolished where applicable) is structurally sufficient, sound and stable for the purposes for which it is intended to be occupied or used.

The following documents are required under subsection 40 of the Building Act 1972:

- Written evidence of the obtaining of any consents and approvals required to have been obtained under paragraph 34 (1) (d);
- A copy of the plan referred to in paragraph 38A (2) (a);
- A copy of all certificates issued under subsection 38A (1) in relation to the building work;
- Where the regulations require that, upon completion of the building work, the consent or approval of any person, body or authority is to be obtained - written evidence of the obtaining of that consent or approval;
- Any certificate obtained under section 39A, if no certificate under that section has been obtained, a written statement to the effect that - the certifier is satisfied that the building or part of the building as erected or altered is structurally sufficient, sound and stable for the purposes for which it is to be occupied or used; and no certificate under section 39A is required;
- All other documents or papers relating to the building work referred to in paragraph 40 (1) (f) of the Building Act 1972.

I have provided all the relevant documents required by subsection 40 (1) of the Building Act 1972.

If the owner of the land applies for a certificate the Building Controller would be justified in issuing a certificate in respect of the work under the subsection below. (Tick one box only).

53(2), 53(3), 53(6), 53(10), 53(11) of the Building Act 1972

Signature of certifier David McCulloch 21.7.04

PART C - Owner (or agent) to complete

Owner details - (include ALL owners)

Owner name(s) 1 ACT SMALLBORE RIFLE CLUB
 2
 3
 4

A contact postal address PO Box 31
Canberra City ACT 2601
Only if different to property street address

Contact phone no 0408 - 470141

Agent details - (if applicable)

Agent's name
 Postal address
 Contact phone no

NOTE: You may only make this application on behalf of the owners of the property if you have appropriate written authorisation from all of the owners and attached it to this application. This also applies if you are a part owner or joint owner making application on behalf of the owners.

Declaration - (by owner or agent)

I am (or we are):

Tick one box only the only owner(s) of the above described land, the agent authorised by the owner(s) to apply for a COU in their behalf, and I have attached that authority;

I (or we) am satisfied that the building work and related requirements have been completed to my (our) satisfaction and I hereby apply for a COU in respect of the above described work to be issued and sent to:

Tick one box only the owner(s) address the agent's address BEPCON Mitchell Office for collection

READ THE WARNING ON THIS FORM BEFORE SIGNING

Signatures of ALL owners or agent SEE LETTER ON FILE

Date 21/7/04



Canberra Rifle Club Incorporated

trading as Australian Capital Territory Full Bore Target Rifle

McIntosh Rifle Range - off Majura Road MAJURA ACT
PO Box 31 CANBERRA CITY ACT 2601
Telephone/facsimile: (02) 6241 5527 ABN: 17 735 450 434
www.webone.com.au/~bnc/crc.htm

Captain:	Peter Harris	0412 626 915
Secretary:	Steve O'Loughlin	0408 470 141
Range Bookings:		(02) 6294 3689

14 February 2004

Mr David Sullivan
WR Engineering Pty Ltd
PO Box 12
FYSHWICK ACT 2609

ACT SMALLBORE RIFLE CLUB DEVELOPMENT - STATEMENT OF AUTHORITY TO SUBMIT PLANS FOR AN AIR RIFLE FACILITY

This letter formally authorises you to submit plans to ACT building authorities for the ACT Smallbore Rifle Club (Smallbore Club) to construct an air rifle facility within its present sub-lease at the McIntosh Rifle Range.

The authorisation is conditional upon all works undertaken by the Smallbore Club being within the boundaries of its existing sub-lease.

The Smallbore Club remains responsible for receiving any necessary approvals from the police and ACT building authorities.

The Canberra Rifle Club accepts no liability for any matter arising from works undertaken by the Smallbore Club.

Peter Harris
Captain

cc ACT Smallbore Rifle Club

ACT BUILDING CERTIFIERS PTY LTD

Suite 5, 14 Lonsdale Street, Braddon ACT 2612 PO Box 9 Braddon ACT 2612 Ph: 02 6230 1357 Fax 02 6230 5979 Mobile 0414 346 549

INSPECTION REPORT

Block 0	Section 560	Suburb Majura	Unit
Builder W R Engineering		Fax: to WRE with the C5 form	
Approved Plan Number 042205/A		Inspection Stage Final to Metal Storage Building	
THIS IS TO ADVISE that the above mentioned inspection revealed that:			
<input checked="" type="checkbox"/> The work was satisfactory			
<input type="checkbox"/> The work listed below shall be completed/rectified in a good workman like manner and the project may then proceed without requesting a re-inspection			
<input type="checkbox"/> The construction project may not proceed or be occupied/used (if a final inspection) until the following work is completed/rectified, reinspection and approved by ACT Building Certifiers.			
1. Submit a copy of the letter of authority for WRE ACT/sign on behalf of the owners.			
2. Also a representative of W & R to sign the C5 form.			
* OK for a C of O			
Inspected 15/7/04			
The following certificates are now required:			
<input type="checkbox"/> Footings	<input type="checkbox"/> Truss		
<input type="checkbox"/> Slab	<input type="checkbox"/> Wet Seal		
<input type="checkbox"/> Survey	<input type="checkbox"/> Termite		
<input type="checkbox"/> Soil Classification	<input type="checkbox"/> Engineers for:		

Name of Certifier

 15/7/04

Signature of Principal Certifier



18

Registration Acknowledgement

Certifier David McCulloch PO Box 9 BRADDON ACT 2612 Tel: 0262301357 Fax: 0262305979	Site for Project <i>Address</i> 22 HECTOR MCINTOSH GROVE <i>Suburb</i> MAJURA <i>Section</i> 0 <i>Block</i> 560
Please quote this number for all enquiries Project Number : 042205	Plan Plan Number 042205/A Plan Registered 17 June 2004

This is a registration for a new project consisting of **1** project items

Nature of Work	Project Item Description	Unit	Other Description	Area/LM	Value
NEW	STORAGE BUILDING			93	\$27,328

Building Levy

\$164.60

21645/02.(N)

77

C3



Australian Capital Territory

Planning and Land



Part A:

Application by Owner for Building Approval and Owner's Appointment of a Certifier and Owner's Notification to Certifier of Builder Details

Part B:

Certifier's Registration to Building Controller of Building Approval and Certifier's Notification to Building Controller of Builder Details

Part A - Owner to complete

Lessee/owner details

Surname or company name

ACT SMALLBORE RIFLE CLUB

Title/First name/ Initials or Australian Company Number (ACN)

If a company, name of contact person

Postal address

Site details

Block

0

Section

560

Unit

Suburb

MAJURA

Street address

In appointing a certifier you are appointing the person that you wish to check the building work carried out by the builder and to certify if that work meets the requirements of the *Building Act 1972*.

I hereby advise that in accordance with section 31(1) of the *Building Act 1972*:

I have appointed

David McCulloch

to act as a certifier in relation to this building work (must be an individual person)

I have also appointed

as my agent to act on my behalf (if applicable to this application)

I also provide notification to my above appointed certifier, in accordance with section 37A of the *Building Act*, that my licensed builder for this building work is as follows:

Builder's name

W.R. Engineering Pty. Ltd.

Licence number

7157

Licence class

B

(OB for owner builder)

Signature of builder

Graham Griffiths

Date 25/2/04

(Individual licensee or relevant nominee for company licence)

Signature of owner

SEE LETTER

Date / /

If the builder has not been selected at the time of making this application a separate C3 form should be used later to provide these details to the certifier

IMPORTANT NOTICE TO OWNER

Please read the warnings on page 4 of this form before signing

Privacy notice

The personal information on this form is being collected to enable a suitable auditing and compliance role of builders and certifiers by the Government appointed Auditor and to provide statistical information to the Australian Bureau of Statistics on building matters.



ACT Planning and Land Authority

Tax Invoice/Receipt

ABN 46 346 672 655
 16 Challis Street Dickson
GPO Box 1908 Canberra ACT 2601
 ACTPLA Homepage: www.actpla.act.gov.au
 Date: 02/06/2004

Telephone Enquiries:
 -Customer Service Centre (02) 6207 1923
 -Plan Room (02) 6207 1939
 -Mitchell Office (02) 6207 6262

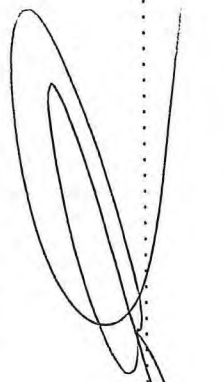
Time: 10:42:54

Receipt No: 253/0104/000003
 WR ENGINEERING

- - + -

Payment Totals-----> Cash 0.00 Cheque 0.00 Card 219.30 EFTPOS 0.00 Total 219.30

Item	Block/Section	Remarks	Debtor	Invoice Qty	Amount	GST Incl	Total
Building Levy	000-0560-0000-MAJU			0 0	164.64	0.00	164.64
Training Levy	000-0560-0000-MAJU			0 0	54.66	0.00	54.66
Total Payments					219.30	0.00	219.30

Cashier Signature.....




Canberra Rifle Club Incorporated

trading as Australian Capital Territory Full Bore Target Rifle

McIntosh Rifle Range - off Majura Road MAJURA ACT
PO Box 31 CANBERRA CITY ACT 2601
Telephone/facsimile: (02) 6241 5527 ABN: 17 735 450 434
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14 February 2004

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ACT SMALLBORE RIFLE CLUB DEVELOPMENT - STATEMENT OF AUTHORITY TO SUBMIT PLANS FOR AN AIR RIFLE FACILITY

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The authorisation is conditional upon all works undertaken by the Smallbore Club being within the boundaries of its existing sub-lease.

The Smallbore Club remains responsible for receiving any necessary approvals from the police and ACT building authorities.

The Canberra Rifle Club accepts no liability for any matter arising from works undertaken by the Smallbore Club.

Peter Harris
Captain

cc ACT Smallbore Rifle Club

74



Department of Urban Services
ACT Building Control
North Area Office

PO Box 158, Canberra ACT 2601
Telephone: (06) 20 76262
Facsimile: (06) 20 76258

Dear ^{MR} GRUNDY

This Department does not require the submission of plans and specifications for the installation of a combustion heater.

The Building Section considers this installation a maintenance item and does not need approval. However the new installation must be of the following:

1. In the same location as the previous unit.
2. No less safe in operation than the unit it replaces.
3. Installed in accordance with the manufacturers instructions.
4. The heater, flue and hearth must be installed to comply with AS 2918-1987.

Yours Faithfully

Lee Gilbert
Deputy Building Controller.

COPY PLACED ON BUILDING file *LG*

ACT Building Control

Northside Office North Building, London Crt GPO Box 158 Canberra 2601 Telephone: 247 8077 Facsimile: 246 2202	Southside Office North Building, London Crt GPO Box 158 Canberra 2601 Telephone: 247 4599 Facsimile: 246 2807	Tuggeranong Office Cnr. Scollay & Oakden Streets Greenway, PO Box 1158 Tuggeranong 2901 Telephone: 293 6936 Facsimile: 293 1486	Licensing Office North Building, London GPO Box 158 Canberra 2601 Telephone: 247 6500 Facsimile: 246 2863
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Canberra Rifle Club Incorporated
PO box 31
Canberra 2601
15.10.93

Building Services
(Attn: Mr Lee Gilbert)
Department of Urban Services

Dear Mr Gilbert

Installation of New Heaters

This is to confirm that the Canberra Rifle Club, at its clubhouse on Majura Road, has replaced the original combustion heaters with two Arrow 240s. The existing flue and base have been retained.

The Committee understands that it is sufficient to inform you of this installation and that an inspection is not required. Would you please confirm that that is the case.

Thank you for your assistance.

Yours sincerely
Peter C. Gundry
Assistant Secretary





Certificate of Occupancy or Use

Persuant to Part V of the Building Act 1972, the building consisting of a
COVERED WALKWAY

situated at
Division: Majura Section: 0 Block: 560 Unit:

is considered to be substantially in accordance with the prescribed requirements for occupancy or use, subject to the endorsements listed below:

Approved plan id's included in this certificate:
E

Project Number: 14119 Type of construction:
Classes of occupancy: 09B
Name of Permit Holder: MR WJ REID

TRIMS Number: 21645

Fit for occupancy or use pursuant S 53[3]

Endorsements:

The issue of this Certificate does not affect the liability of a person to comply with the provisions of a law of the Territory (including the Building Act) relating to the building work nor does it authorise the user of the land contrary to a provision, covenant or condition of lease.

[Signature]
.....
Deputy Building Controller

11 3 93
.....
Date



Department of Urban Services
ACT Building Control

Final Inspection Report

119384

Suburb <i>MARGARA.</i>	Section <i>0</i>	Block <i>559</i>	Unit
Building Work <i>Sheet.</i>			
Approved Plan No. <i>21645 / E</i>		and amendments	
Class of Occupancy <i>10</i>		Type of Construction (commercial buildings)	
Project No. (For Office Use)	Permit No. <i>17659</i>	Name of Permit holder	

An inspection of the construction has indicated that:

Work appears to be substantially complete in accordance with the approved plans

Work does not meet the requirements of the approved plans, the following matters require your attention

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Passed for issue of Certificate or Occupancy Not passed Please rebook this inspection stage when rectified

Office Use Only

Before a Certificate of Occupancy or Use may issue, the following clearances (where ticked) are required to be lodged with ACT Building Control:

Plumbing <input type="checkbox"/>	Industrial Safety <input type="checkbox"/>
Electrical <input type="checkbox"/>	Mechanical <input type="checkbox"/>
Survey <input type="checkbox"/>	Structural <input type="checkbox"/>
Fire <input type="checkbox"/>	Glass <input type="checkbox"/>
Health <input type="checkbox"/>	Other <input type="checkbox"/>

Original: Handed to Builder Posted to Builder Left on site Handed to Owner Posted to Owner

Copy to: Licensing Office

N BRODIE *[Signature]* *11 / 3 / 93*

Name of Inspector Signature



PA 25/6/92

14119 } 2164
16079 } 701
23/8/92

APPLICATION FOR CERTIFICATE OF OCCUPANCY OR USE

BL 1/27 (4/88)
53-05-0696-3

Name or Agent (if applicable) W.J. REID (K. J. HILLS) CAPTAIN	Address 14 CHAUVEZ CIRCLE PO. BOX 31 CANBERRA
Name of lessee/owner or parcel of land CANBERRA RIFLE CLUB	Telephone 2544867 (2882061)
Address (show P.O. Box No. if any) AS ABOVE	Telephone

I hereby advise that the building work comprising **COVERED WALKWAY**

and situated at **MAJURA**

Block 1560	Section 0	Suburb MAJURA
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for which a building permit was granted **has been completed substantially** in accordance with the prescribed requirements of approval and accordingly make application under Section 53 of the Building Ordinance 1972 for the issue of a Certificate of Occupancy or use to be

posted to me

held for collection

Signature of Applicant **[Signature]** Date **8/3/93**

I hereby authorise the abovenamed applicant of the address indicated to make this application on my behalf.

To be completed if application made otherwise than by the lessee/owner, or his solicitor

Signature of Lessee/Owner **[Signature]** Date **8/3/93**

IMPORTANT — SEE ADVISORY INFORMATION OVERLEAF

Approved Plan No. 21645/E	Name of permit holder W.J. REID
-------------------------------------	---

DATE REQUESTED FOR FINAL INSPECTION (At least 4 working day's notice required)

Preferred date: 17-3-93	Alternative date: 15-3-93
Morning <input type="checkbox"/> Afternoon <input checked="" type="checkbox"/>	Morning <input type="checkbox"/> Afternoon <input checked="" type="checkbox"/>

List any items not completed in accordance with approved plans

1-30 pm on 11-3-93 inspection

[Handwritten scribbles]

NOTE: this application may be lodged

- by post to the Building Section, Department of Territories, G.P.O. Box 158, Canberra 2601; or
- by hand at the Building Section, North Building, Civic Offices, London Circuit, Canberra.

AUSTRALIAN CAPITAL TERRITORY
BUILDING ACT 1972
To The Building Controller

NOTIFICATION AND COMPLIANCE STATEMENT
(for residential building work only)
Facsimile No: ~~46-2864~~
2931486

BLOCK 560 SECTION 0 UNIT SUBURB MATURA...

APPROVED PLAN NO. 21645/1E Building Work COVERED WALKWAY

INSPECTION STAGE REACHED 7 FINAL
(refer schedule on back)

Booking No (Office Use Only)	Date of notification <u>9.1.93</u> am/pm (ie date inspection booked)
	Inspection stage ready <u>12.1.93</u> am/pm*
NOTE: i) am = ready by 7.30am ii) pm = ready by 12 noon	Alternate Inspection Date <u>15.1.93</u> am/pm (final only)

NAME OF PERMIT HOLDER W. J. REID Phone No.

Permit expiry Date 16.1.93 Permit No. 14119.....

Licence No. 576 Class of Licence B.....

Date of Licence Expiry 26.9.93

Tick the relevant squares

FOR STAGES WHERE ENGINEER'S CERTIFICATION IS PROVIDED

I hereby state that the above stage was reached on .../.../... and that the work complied with the conditions of the above permit (listed on back) except as follows:

.....

FOR ALL OTHER STAGES

I hereby state that the above stage will be reached on .../.../... am/pm and that the work thus far complies with the conditions of the above permit (listed on back) except as follows:

.....

I agree that work will not proceed beyond the stage nominated above either before a successful inspection or until three hours following 'stage ready' have elapsed.

FOR CLIENTS PROVIDING WET AREA SEALING CERTIFICATE

I hereby state that all wet areas will be sealed in accordance with the ACT Building Manual requirements

I declare that this information is to the best of my knowledge true and correct.

Signed James Reid Date 6.1.93
(Permit Holder)

Office Use Only:-- Checked by: Date/..

NOTIFICATION AND COMPLIANCE STATEMENT - NOTES

Conditions of Building Permits

The grant of a building permit for building work is subject to the conditions that -

- (a) the materials used in the building work will conform to the standards for those materials as set out in the Building Manual or as otherwise approved and specified in the permit by the Building Controller;
- (b) the methods of use of those materials in the building work will conform to the acceptable methods of use as set out in the Building Manual or as otherwise approved and specified in the permit by the Building Controller;
- (c) the building work will be carried out in a proper and workmanlike manner;
- (d) the building work will be carried out in accordance with the approved plans in respect of which the building permit is granted;
- (e) the building work will be carried out by a person who is the holder of a builder's licence, or a building permit issued for that work endorsed under Section 39, or by a person employed by or under contract to him/her.
- (f) a notice in accordance with sub-section 36(5) will be given by the holder of the building permit to the Building Controller in respect of each stage in the building work specified in the permit; and
- (g) the safety precautions submitted in or with the application for the building permit will be taken together with any other safety precautions that a building inspector may specify under section 36A.

NOTE: A person who knowingly or recklessly makes a statement to the Building Controller that is false or misleading is guilty of an offence.

Penalty: (a) Persons - imprisonment for up 6 months, or a fine not exceeding \$1,000,
 (b) Companies - a fine not exceeding \$5,000

Building Stages

- * 1. Footings preparation..... INSPECTION 1
- 2. Slab preparation.....)
- 3. Floor framing (bearers and joists).....) INSPECTION 2
- 4. Stormwater, agricultural lines, tanking..... INSPECTION 3
- 5. Wall & roof frames) INSPECTION 4
- 6. Pre sheet.....)
- 7. Final..... INSPECTION 5

* Engineer's Certificate: At the footings stage, the notification and compliance statement may be accompanied by a certificate from a practising structural engineer. That document will certify that the footings comply with the relevant conditions of the permit (see above); it will also confirm that the approved design of the slab (if applicable) is suitable for existing site conditions.



Department of Urban Services
ACT Building Control

GPO Box 158, Canberra ACT 2601

Certificate of Occupancy or Use

Persuant to Part V of the Building Act 1972, the building consisting of a
GARAGE

situated at

Division:	Section:	Block:	Unit:
Majura	0	560	

is considered to be substantially in accordance with the prescribed requirements for occupancy or use, subject to the endorsements listed below:

Approved plan id's included in this certificate:

D

Project Number: 5735	Type of construction:	TRIMS Number: 21645
Classes of occupancy: 10		
Name of Permit Holder: W R ENGINEERING PTY LTD		

Fit for occupancy or use pursuant S 53(3)

Endorsements:

The issue of this Certificate does not affect the liability of a person to comply with the provisions of a law of the Territory (including the Building Act) relating to the building work nor does it authorise the user of the land contrary to a provision, covenant or condition of lease.

S. Gilbert
.....
Deputy Building Controller

3.12.92
.....
Date



Department of Urban Services
ACT Building Control

Final Inspection Report

69
116630

Suburb MAJURA	Section	Block 560	Unit
Building Work GARAGE			
Approved Plan No. 21645/D		and amendments	
Class of Occupancy 10A		Type of Construction (commercial buildings) N/A	
Project No. (For Office Use) 5735	Permit No.	Name of Permit holder W.R. ENGINEERING PTY LTD.	

An inspection of the construction has indicated that:

Work appears to be substantially complete in accordance with the approved plans

Work does not meet the requirements of the approved plans, the following matters require your attention

Handwritten note:
OK
15/5/92

Passed for issue of Certificate or Occupancy Not passed Please rebook this inspection stage when rectified

Office Use Only

Before a Certificate of Occupancy or Use may issue, the following clearances (where ticked) are required to be lodged with ACT Building Control:

Plumbing <input type="checkbox"/>	Industrial Safety <input type="checkbox"/>
Electrical <input type="checkbox"/>	Mechanical <input type="checkbox"/>
Survey <input type="checkbox"/>	Structural <input type="checkbox"/>
Fire <input type="checkbox"/>	Glass <input type="checkbox"/>
Health <input type="checkbox"/>	Other <input type="checkbox"/>

Original: Handed to Builder Posted to Builder Left on site Handed to Owner Posted to Owner
 Copy to: Licensing Office

Handwritten signature:
L. Gilbert

Handwritten date:
3/12/92

Name of Inspector

Signature



Department of Urban Services
ACT Building Control

Application for Certificate of Occupancy and Use

21645 P/A 26/10/06

Please refer to important information overleaf

Name of Lessee/Owner

SPORTING SHOOTERS ASSN OF AUSTRALIA (ACT) INC

Address (show PO Box No. if any)

P.O. Box 722 CANBERRA CITY

Postcode 2601

Phone Number

2542487

Approved Plan No.

21645/D

Name of Permit Holder

W. R. ENGINEERING PTY. LTD.

Suburb

MAJURA

Section

Block

559

Unit

Description of Building Work

Metal Farm Shop.

Application

I, the owner, hereby state that the building work has been satisfactorily completed and accordingly make application under Section 53 of the Building Act 1972 for the issue of a Certificate of Occupancy or Use to be:

posted to me

held for collection

Name of Agent (Architect or Solicitor)

Address

Postcode

Phone Number

Signature of Lessee/Owner

J. D. ... / /

Signature of Agent

Med. 30/11/92

Date requested for Final Inspection (At least 4 working day's notice required)

Preferred date

3 / 12 / 92

Morning

Afternoon

Alternative date

4 / 12 / 92

Morning

Afternoon

List any items not completed in accordance with approved plans

This application may be lodged:

- by post to ACT Building Control, Civic Office, GPO Box 158, Canberra A.C.T. 2601
- by post to ACT Building Control, Tuggeranong Office, PO Box 1158, Tuggeranong A.C.T. 2900
- by hand at ACT Building Control, South Building, Civic Offices, London Circuit, Canberra A.C.T. 2601
- by hand at ACT Building Control, Transport and Works Depot, Cnr Scollay & Oakden Streets, Tuggeranong A.C.T. 2900

65



Department of Urban Services
ACT Building Control
Building Inspections

Notification and Compliance Statement

Building Act 1972

Particulars

Division NA 311/1 Section Block 201 Unit

Permit Holders Name W R ENGINEERING Business Telephone 2805988

Project(Permit) Number 17631 Builders Licence Number 304

Inspection Stage (describe stage using wording from the schedule)
FINAL

Engineers Option (Please tick this box if you are providing an Engineers Certificate)

Notification

I, the permit holder, hereby notify that the inspection stage described above will be ready for inspection on 3/12/1992 morning afternoon (Please nominate date and tick box)

Today's Date 30/11/1992 Time

Compliance

I, the permit holder, hereby certify that the building work complies with the conditions under which the permit was issued as set out in Section 40 of the Building Act 1972.

Signature of Permit Holder [Signature]

Schedule of Inspection Stages

Dwellings:	Garages/Carports:	Swimming Pools:	Pergolas/Decks/Retaining Walls
Footings	Footings	Concrete/Framing	Footings
Slab/Floor Framing	Slab	Final	Final
Presheet/Stormwater	Presheet		
Final	Final		

Office Use Only

Inspected Not Inspected Inspection Sequence No. []

Name of Inspector Inspection Record No.

Signature of Inspector Date/...../.....

Telephone: Northside Office 247 8077 Southside Office 247 4599 Tuggeranong Office 293 6936
 Facsimile: 246 2202 246 3056 293 1486



Department of Urban Services
ACT Building Control

GPO Box 158, Canberra ACT 2601

Permit to Carry Out Building Work

MR WJ REID

14 CHAUVEL CIRCLE
CHAPMAN ACT 2611.

Permit Holder: MR WJ REID

Nominee:

Division:	Section:	Block:	Unit:
Majura	0	560	

Permit - Issue Date: 16NOV92	Cost:	\$3,000.00
Lapse Date: 16MAY93		

Builder's Licence Class: B	Licence Number: 576
Project Number: 14119	

Plan id's included in this permit:
E

Description of Building Work:
COVERED WALKWAY

Endorsements:

Building Controller

ACT Building Control

Civic Office
South Building, London Crt
GPO Box 158, Canberra, 2601
Telephone: 2076262
Facsimile: 2076258

Tuggeranong Office
Cnr/ Scollay & Oakden Streets
Greenway, PO Box 1158
Tuggeranong, 2901
Telephone: 2075969
Facsimile: 2075955

Licensing Office
South Building, London Crt
GPO Box 158, Canberra, 2601
Telephone: 2076291
Facsimile: 2076288



Department of Urban Services
A.C.T. Building Control
GPO Box 158
Canberra A.C.T. 2601

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Pink : Taxation Office

P1A

63

Application for a Building Permit

Building Act 1972

Note: Except as provided by Section 39 of the Building Act 1972 this application must be made by the holder of a Building Licence.

Permit No.		Description of Land			
14119		4 Approved Plan No. 21645R	1 Block No. 560	Section No.	Suburb MAJURA
Surname - Builder REID		Initials W.J.	Address 14 CHAMBERLAIN CIRCLE CHAMBERLAIN 2611		
			Phone: Work	Home 2887061	
Surname - Lessee CANBERRA RIFLE CLUB K. HILLS		Initials	Address		
			Phone: Work	Home	
Class of Builder's Licence held by Applicant B.		Licence Number 0516	Expected date of completion of building work 30/11/92		
Type of construction and class of occupancy to be shown as indicated in the Building Manual Part 17 and Part 6.					
Type of Construction	Class of Occupancy	Lease Condition	Completion date of development 1 1	24 Price (excluding land) tick one box Contract <input type="checkbox"/> Estimate <input type="checkbox"/>	
Description of building work to be carried out COVERED WALKWAY				\$ 3000 00	
				25 Office Use Only	
Type of Work (please tick appropriate box)					
New Building <input type="checkbox"/>		Additions to existing building <input checked="" type="checkbox"/>		Other (specify) <input type="checkbox"/>	
Demolition <input type="checkbox"/>		Alterations to existing building <input type="checkbox"/>		26	
If applicable	Main material used in outside walls			Other (specify) <input type="checkbox"/>	
	Bricks/Masonry blocks <input type="checkbox"/>		Fibre cement sheets <input type="checkbox"/>		
	Timber/Weatherboard <input type="checkbox"/>		Concrete <input type="checkbox"/>		
	Main material of building frame			Other (specify) <input type="checkbox"/>	
Timber <input type="checkbox"/>		Brick <input type="checkbox"/>		Metal <input type="checkbox"/>	
		Concrete <input checked="" type="checkbox"/>			
Main material of roof			Other (specify) <input type="checkbox"/>		
Terra-cotta tiles <input type="checkbox"/>		Galvanised Iron <input type="checkbox"/>			
Cement tiles <input type="checkbox"/>		Fibre cement sheets <input type="checkbox"/>			
Main material of floors			Other (specify) <input type="checkbox"/>		
Timber <input type="checkbox"/>		Earth <input type="checkbox"/>		Metal <input type="checkbox"/>	
		Concrete <input type="checkbox"/>			
27 Total Floor Area in square metres			Number of residential units created by this application		
Builder's Signature James Reid			Lessee's Signature K. Hills		
516 192			516 192		
Office Use Only					
Fees Due			Application Approved		
Total fees payable \$		120		Deputy Building Controller's Signature M. West	
Total Fee Paid \$					
Licence File No.			28 Date 16 11 92		



Department of Urban Services
ACT Building Control

GPO Box 158, Canberra ACT 2601

62

Plan Acknowledgement

Date Lodged: 10JUL92

Division: Yagan
Subdiv: 0
Block: 500
Title: /

PLAN SEQUENCE NUMBER: 13079
PROJECT NUMBER: 12115

Trims Number: 21315 Plan ID: 2

Description of Work:
PHYSICAL ASSESS

Work is done in accordance with: A New Plan

Approved for Release: 10JUL92 Commercial /

Site Address:
140-142 MCINTOSH
47 NORTH STREET
CANBERRA ACT 2602

ACT Building Control

ACT Building Control
100-102, London Circuit
Canberra, ACT 2601
Telephone: 297638
Facsimile: 297638

Inspection Office
Cnr. Conley & Oakden Streets
Canberra, PO Box 1158
Tel: 297639, 1800
Telexphone: 117222
Australia: 612924

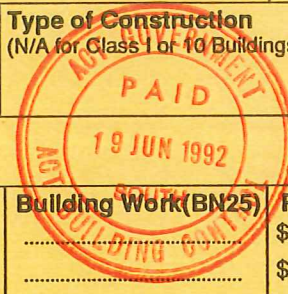
Licensing Office
South Building, London Circuit
GPO Box 158, Canberra, ACT 2601
Telephone: 297639
Facsimile: 297638



Application for Approval of Plans

19/6/92

Name of Applicant (please print clearly) James Gordon McINTOSH		Address 17 DUFFY ST, AINSLIE ACT.	
Contact name Jim McIntosh		Phone: Wk ---	Hm 2486 347
Name of lessee / owner of parcel of land CANBERRA RIFLE CLUB INCORPORATED		Address (show PO Box No. if any) P.O. BOX 31, CANBERRA CITY, ACT	
		Postcode 2601	
		Phone: Wk 265 3859 Hm 231 2462	
Description of the building work involved in this application Weatherproof Cover to Access Paths Between Club House & Ablution Blocks		Tenancy fitouts: include details of Tenancy No., Shop No., Floor level	
Division (Suburb) District MAJURA		Section ---	Block 560
		Unit ---	
To be specified in accordance with the appropriate classification in the Building Code of Australia.	Type of Construction (N/A for Class 1 or 10 Buildings) PAID	Class of Building 9b	Total Floor Area 46 m²
Cost of Building Work Fixed by Contract			Cost \$
Estimated Value (to be completed only where not fixed by contract) (refer Building Cost Guide "BN25" for building types and current rates to calculate costs)	Building Work (BN25)	Rate/ m ² (BN25)	Area
	\$ m ²
	\$ m ²
	\$ m ²
Total Estimated Value of Building Work			\$ 2,000 - 00
This application is for:			
New Work <input checked="" type="checkbox"/>		Existing Building Work <input checked="" type="checkbox"/>	
Amendment to <input checked="" type="checkbox"/>		Approved Plan No. 21645/B (1972)	
Details for <input type="checkbox"/>		61017319/A (1985)	



I hereby request that approved plans be posted to the applicant's address held at the counter for collection

Design information required under Section 32 of the Building Act to be provided by designer

Classification of foundation material - AS 2870.1

Certificate of Site Classification should be attached with this application unless engineering option (Item 6) is selected below.

I or the permit holder will be submitting certification from a practising structural engineer for:

- Certification of foundation material on the "Certificate of Site Classification" standard form,
- Certification of the footing and/or slab preparation.

As a result I wish to apply for:

- Plans of the building work to be approved subject to the above.
- A discount of permit fees that are payable.

Declaration

I declare that the particulars on this application for approval of plans are true and correct in every detail and that I am the person indicated by a tick in the relevant box below.

1. I am the / a person to whom the lease for the land is registered at the Land Titles Office, or
2. I am a ~~director~~ ^{Committee member} / secretary of the ~~company~~ ^{Corporate Body} to which the lease for the land is registered at the Land Titles Office, or
3. I am a person authorised to act on behalf of the person / company in 1 or 2 above. (Give original written evidence of authority from the person / company), or
4. I am an architect engaged by and acting on behalf of the person / company in 1 or 2 above, or
5. I am a solicitor engaged by and acting on behalf of the person / company in 1 or 2 above.
6. I also select Site Classification - Engineering option

James Gordon McIntosh 18/6/92
Declaration / Signature

Important: Section 59A of the ACT Building Act 1972 provides for severe penalties for false or misleading statements.

For Office Use Only	New Work <input checked="" type="checkbox"/>	Approved Plan No.	Licence Required	Type of Construction
	Amendment to approved plans <input type="checkbox"/>	21645/E	"C"	N/A
	Details <input type="checkbox"/>	Class of Building	Area	Valuation
	Existing building work <input type="checkbox"/>	9b	46m²	\$2,000
Plan endorsed	Plans	Total Fees payable		
new permit required <input checked="" type="checkbox"/>	Approved <input checked="" type="checkbox"/>	\$100 + \$20	= \$120	
endorse existing permit <input type="checkbox"/>	Not approved <input type="checkbox"/>	217 192		
Deputy Building Controller				

E. MILNE



Department of Urban Services
ACT Building Control

GPO Box 158, Canberra ACT 2601

Permit to Carry Out Building Work

W R ENGINEERING PTY LTD

PO BOX 12
FYSHWICK ACT 2609

Permit Holder: W R ENGINEERING PTY LTD

Nominee: MR BR READ

Division:	Section:	Block:	Unit:
Majura	0	560	

Permit - Issue Date: 18OCT91	Cost:	\$4,640.00
Lapse Date: 18APR92		

Builder's Licence Class: D	Licence Number: 304
Project Number: 5735	

Plan id's included in this permit:
D

Description of Building Work:
GARAGE

Endorsements:

Graeme Shoobridge
Building Controller

ACT Building Control

Northside Office
North Building, London Crt
GPO Box 158, Canberra, 2601
Telephone: 2478077
Facsimile: 2462202

Southside Office
North Building, London Crt
GPO Box 158, Canberra, 2601
Telephone: 2474599
Facsimile: 2463054

Tuggeranong Office
Cnr. Scalley & Oakden Streets
Greenway, PO Box 1158
Tuggeranong, 2901
Telephone: 2936936
Facsimile: 2931486

Licensing Office
North Building, London Crt
GPO Box 158, Canberra,
Telephone: 2476500
Facsimile: 2462863



Department of Urban Services
A.C.T. Building Control
GPO Box 158
Canberra A.C.T. 2601

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Green: Australian Bureau of Statistics
Pink : Taxation Office

59

Application for a Building Permit

Building Act 1972

Note: Except as provided by Section 39 of the Building Act 1972 this application must be made by the holder of a Building Licence.

Permit No.				Description of Land			
				4 Approved Plan No.	1 Block No.	Section No.	Suburb
		5735		21645/D	560		Majura

Surname - Builder W. R. ENGINEERING PTY. LTD.		Initials	Address P.O. BOX 12 FYSHWICK 2609	
Surname - Lessee <i>Canberra Rifle Club</i>		Initials	Address <i>70 Box Canberra City 2601</i>	
Class of Builder's Licence held by Applicant <i>D</i>		Licence Number <i>304</i>	Expected date of completion of building work <i>11 / 8 / 91</i>	

Type of construction and class of occupancy to be shown as indicated in the Building Manual Part 17 and Part 6.

Type of Construction	Class of Occupancy	Lease Condition	Completion date of development / /	24 Price (excluding land) tick one box Contract <input checked="" type="checkbox"/> Estimate <input type="checkbox"/>
Description of building work to be carried out <i>Garage</i>				25 Office Use Only
				\$ <i>4,640.00</i>

Type of Work (please tick appropriate box)

New Building Additions to existing building Other (specify)
 Demolition Alterations to existing building *46 RPERN-GAR LC* 26

If applicable

Main material used in outside walls
 Bricks/Masonry blocks Fibre cement sheets
 Timber/Weatherboard Concrete Other (specify) *Metal* 100.00

Main material of building frame
 Timber Brick Metal Concrete Other (specify)

Main material of roof
 Terra-cotta tiles Galvanised Iron
 Cement tiles Fibre cement sheets Other (specify)

Main material of floors
 Timber Earth Metal Concrete Other (specify)



27 Total Floor Area in square metres <i>66.00</i>	Number of residential units created by this application
Builder's Signature <i>M. R. [Signature]</i>	Lessee's Signature <i>[Signature]</i>

Office Use Only		Application Approved	
Total fees payable	\$ <i>100 -</i>	Deputy Building Controller's Signature <i>[Signature]</i> <i>21/10/91</i>	
Total Fee Paid	\$ <i>100 -</i>		
Licence File No.		28	
		Date	



Department of Urban Services
ACT Building Control

GPO Box 158, Canberra ACT 2601

Telephone: 247 2855
Facsimile: 246 3056

BS FILE 21645/D
Telephone: 247 9988 / 246 2469
Fax : 246 2863

W. R. ENGINEERING PTY LTD
P O Box 12
FYSHWICK ACT 2609

Dear Sir,

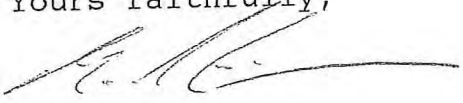
RE.: BLOCK 5 SECTION 560 MAJURA
Garage for Canberra Rifle Club

The details of the standard garage which you have submitted for building approval on 9 September 1991 has had general approval for Terrain Category 3 and Basic Wind Velocity 41 m/sec.

As the proposed garage is located in Majura area (Terrain Category 2) you are requested to submit structural drawings/ details for proposed garage certified by your Consulting Engineer Ray FRANZI (original signature) confirming that submitted garage details are adequate for proposed site in Majura area.

Alternatively please submit revised garage details also certified by the Design Structural Engineer.

Yours faithfully,


Enn KIIVER
ACT Building Control
17 September 1991

*Revised drawing
OK now
10/10/91*

- * If you have any queries regarding this letter you may telephone the above officer to discuss the matter.
- * The information required should be submitted to the Building Control in 2 copies within 4 weeks from the date of this letter
- * NO FEES ARE PAYABLE FOR THIS SUBMISSION.

ACT Building Control

Northside Office
North Building, London Crt
GPO Box 158
Canberra 2601
Telephone: 247 8077
Facsimile: 246 2202

Southside Office
North Building, London Crt
GPO Box 158
Canberra 2601
Telephone: 247 4599
Facsimile: 246 2807

Tuggeranong Office
Cnr. Scollay & Oakden Streets
Greenway, PO Box 1158
Tuggeranong 2901
Telephone: 293 6936
Facsimile: 293 1486

Licensing Office
North Building, London Crt
GPO Box 158
Canberra 2601
Telephone: 247 6500
Facsimile: 246 2863



57.

Plan Acknowledgement

W R ENGINEERING PTY LTD

PO BOX 12
FYSHWICK ACT 2609

This document is acknowledging the receipt of a plan lodged on 09SEP91 for a:
GARAGE

Division:	Section:	Block:	Unit:
Majura	0	560	

Our reference:

Client's Name Number:	4056
Plan Sequence Number:	6178
Project Number:	5735

The target approval period is:

Working Days for Commercial Plans:	15
Working Days for Residential Plans:	10

Therefore approval is due on:

for Commercial Plans:	30SEP91
for Residential Plans:	23SEP91

For any enquiries:

Please quote our reference numbers and telephone the relevant Building Control Office listed below

ACT Building Control

Northside Office
North Building, London Crt
PO Box 158, Canberra, 2601
Telephone: 2476077
Facsimile: 2462202

Southside Office
North Building, London Crt
GPO Box 158, Canberra, 2601
Telephone: 2474599
Facsimile: 2463054

Tuggeranong Office
Chr. Scolley & Oakden Streets
Greenway, PO Box 1158
Tuggeranong, 2901
Telephone: 2936936
Facsimile: 2931486

Licensing Office
North Building, London Crt
GPO Box 158, Canberra, 2601
Telephone: 2476500
Facsimile: 2462863

56



Department of Urban Services
A.C.T. Building Control

Application for Approval of Plans



Name of Applicant (please print clearly) W. R. ENGINEERING PTY. LTD.		Address P.O. BOX 12 FYSHWICK 2609	
Contact name	Phone: Wk	Hm	Postcode
Name of lessee / owner of parcel of land <i>Canberra Rifle Club</i>		Address (show PO Box No. if any) <i>Box 31 Canberra City</i>	
Description of the building work involved in this application <i>Garage</i>		Tenancy fitouts: include details of Tenancy No., Shop No., Floor level	
Division (Suburb) District <i>Majura</i>	Section	Block <i>560</i>	Unit

To be specified in accordance with the appropriate classification in the Building Code of Australia.	Type of Construction (N/A for Class 1 or 10 Buildings)	Class of Building <i>10</i>	Total Floor Area <i>66.00</i> m ²
--	---	--------------------------------	---

Cost of Building Work Fixed by Contract	15 CAP-PRT NW LC	Cost \$ <i>4,640.00</i>
--	------------------	----------------------------

Estimated Value (to be completed only where not fixed by contract) (refer Building Cost Guide "BN25" for building types and current rates to calculate costs)	Building Work(BN25)	Rate/m ² (BN25)	Area	Value
.....	<i>100.00</i> m ²	\$
.....	<i>36 FIRE BRYS</i> m ²	\$
.....	<i>30.00</i> m ²	\$
Total Estimated Value of Building Work				\$

This application is for:

New Work Existing Building Work Amendment to Details for Approved Plan No.

I hereby request that approved plans be posted to the applicant's address held at the counter for collection

Design information required under Section 32 of the Building Act to be provided by designer

Classification of foundation material - AS 2870.1

Clause 2.1.1 (please tick appropriate box)

Foundation	Class
Most sand and rock sites	A <input checked="" type="checkbox"/>
Most silt and some clay sites	S <input type="checkbox"/>
Moderately reactive clay sites	M <input type="checkbox"/>
Highly reactive clay sites	H <input type="checkbox"/>
Extremely reactive clay sites	E <input type="checkbox"/>
Filled sites Nominate Class	<input type="checkbox"/>
Problem Sites which include soft soils such as soft clays, silts or loose sands; land slip; Mine subsidence: collapsing soil; soil subject to erosion.	P <input type="checkbox"/>

Note: Approval is based on this information and on design information submitted on plans.

Declaration

I declare that the particulars on this application for approval of plans are true and correct in every detail and that I am the person indicated by a tick in the relevant box below.

- I am the / a person to whom the lease for the land is registered at the Land Titles Office, or
- I am a director / secretary of the company to which the lease for the land is registered at the Land Titles Office, or
- I am a person authorised to act on behalf of the person / company in 1 or 2 above. (Give original written evidence of authority from the person / company), or
- I am an architect engaged by and acting on behalf of the person / company in 1 or 2 above, or
- I am a solicitor engaged by and acting on behalf of the person / company in 1 or 2 above.

J.R. White
Declaration / Signature

Important: Section 59A of the ACT Building Act 1972 provides for severe penalties for false or misleading statements.

For Office Use Only

New Work <input checked="" type="checkbox"/>	Approved Plan No. <i>21645/D.</i>	Licence Required <i>C</i>	Type of Construction <i>10a</i>
Amendment to approved plans <input type="checkbox"/>	Class of Building	Area	Valuation
Details <input type="checkbox"/>	Total Fees payable <i>120 - 100 + 20 = 120</i>		
Existing building work <input type="checkbox"/>	Plans Approved <input checked="" type="checkbox"/> Not approved <input type="checkbox"/>		
Plan endorsed new permit required <input checked="" type="checkbox"/> endorse existing permit <input type="checkbox"/>	Deputy Building Controller <i>[Signature]</i> 9 OCT 1991		



A.C.T. Administration
Building Section

Certificate of Occupancy or Use

Pursuant to Part V of the Building Ordinance 1972, the building consisting of:

Small Bore Range

situated at

Block <u>—</u>	Section <u>269</u>	Division <u>Majura</u>
or situated at		

is considered to be substantially in accordance with the prescribed requirements for occupancy and use, subject to the endorsements listed below.

Approved plan Nos. <u>60739 and amendments 60739/A/B</u>	
Type of construction* <u>5</u>	Class of occupancy* <u>TXB</u> (*as defined in the Building Manual A.C.T.)
Permit No. <u>101202</u>	Name of permit holder <u>W. J. Reid.</u>

Endorsements

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The issue of this Certificate does not affect the liability of a person to comply with the provisions of a law of the Territory (including the Building Ordinance) relating to the building work nor does it authorise the use of the land contrary to a provision, covenant or condition of lease.

69536

Stadram
Deputy Building Controller

5.9.89.
Date



FINAL INSPECTION RECORD

54

77192

53-05-1474-4
BL2/16(3/84)

Block: Section: 269 Division: MAJURA

Building Work SMALL BORE RANGE.

Approved Plan No.: 60739 and amendments: 60739/A 21645/B

Class of Occupancy: 1XB Type of Construction (commercial buildings): 5

Permit No.: 101202 Permit holder: J Reid

An inspection of the construction has indicated that:

- work appears to be substantially complete in accordance with the approved plans
- work does not meet the requirements of the approved plans
- the following matters require your attention:

(1) fire clearance required RANG fire safety inspection NOT required open structure by 5/9/89

OK TO ISSUE C/O by

NOTE! THIS INSPECTION IS ONLY FOR THE CONSTRUCTION IN ACCORDANCE WITH APPROVED PLANS. CERTIFICATE FROM INSPECTOR OF RIFLE RANGES PRIOR TO USE IS REQUIRED FOR FILE INFO ONLY

Please rebook this inspection stage when rectified.

BEFORE A CERTIFICATE OF OCCUPANCY OR USE MAY ISSUE, THE FOLLOWING CLEARANCES (WHERE TICKED) ARE REQUIRED TO BE LODGED WITH BUILDING SECTION:

	folio	comments
<input type="checkbox"/> Plumbing		<u>Cafo issued No 69536 5/9/89 J Adam</u>
<input type="checkbox"/> Electrical		
<input type="checkbox"/> Survey		
<input type="checkbox"/> Fire Brigade		
<input type="checkbox"/> Health Commission		
<input type="checkbox"/> Technical Inspection		
<input checked="" type="checkbox"/> Structural Engineering	<u>#14, 15</u>	
<input type="checkbox"/> Other		
<input type="checkbox"/> Posted	<input checked="" type="checkbox"/> Left on site	<u>Jullbert 5.9.89</u> Building Inspector



FINAL INSPECTION RECORD

53

77191

53-05-1474-4
BL2/16(3/84)

Block: _____ Section: 269 Division: MAJURA

Building Work: FIRE PLACE

Approved Plan No.: 21645/AC and amendments: _____

Class of Occupancy: N/A Type of Construction (commercial buildings): N/A

Permit No.: 109197 Permit holder: 3 Reid

An inspection of the construction has indicated that:

- work appears to be substantially complete in accordance with the approved plans
- work does not meet the requirements of the approved plans
- the following matters require your attention:

(1) RESTRAIN FLUE
(2) PAINT TO MATCH EXISTING

Please rebook this inspection stage when rectified.

BEFORE A CERTIFICATE OF OCCUPANCY OR USE MAY ISSUE, THE FOLLOWING CLEARANCES (WHERE TICKED) ARE REQUIRED TO BE LODGED WITH BUILDING SECTION:

	folio	comments
<input type="checkbox"/> Plumbing		
<input type="checkbox"/> Electrical		
<input type="checkbox"/> Survey		
<input type="checkbox"/> Fire Brigade		
<input type="checkbox"/> Health Commission		
<input type="checkbox"/> Technical Inspection		
<input type="checkbox"/> Structural Engineering		
<input type="checkbox"/> Other		
<input type="checkbox"/> Posted	<input checked="" type="checkbox"/> Left on site	<u>S. J. 89</u>

S. J. 89
Building Inspector



SL

APPLICATION FOR CERTIFICATE OF OCCUPANCY OR USE

BL 1/27(9/86)
53-05-0696-3

Name of Agent (if applicable) JAMES REID	Address 14 CHAUVEL CRL CHAMPAIN
	Telephone 887061
Name of lessee/owner of parcel of land CANBERRA RIFLE CLUB INC.	Address (show P.O. Box No. if any) PO BOX 31 CANBERRA CITY ACT 2601
	Telephone 486347

I hereby advise that the building work comprising

.....

.....

and situated at

Block 267 560	Section N/A	Suburb MAJURA MAJURA DISTRICT
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for which a building permit was granted **has been completed substantially** in accordance with the prescribed requirements of approval and accordingly make application under Section 53 of the Building Ordinance 1972 for the issue of a Certificate of Occupancy or use to be

posted to me

held for collection

Signature of Applicant: **James Reid** / Date: / /

I hereby authorise the abovenamed applicant of the address indicated to make this application on my behalf.

To be completed if application made otherwise than by the lessee/owner, or his solicitor

Signature of Lessee/Owner: **J. Reid** / Date: / /

IMPORTANT — SEE ADVISORY INFORMATION OVERLEAF

Approved Plan No. 21645 60739/21645/E	Name of permit holder James Reid
--	--

DATE REQUESTED FOR FINAL INSPECTION (At least 4 working day's notice required)

Preferred date:	Alternative date:
Morning <input type="checkbox"/> Afternoon <input type="checkbox"/>	Morning <input type="checkbox"/> Afternoon <input type="checkbox"/>

List any items not completed in accordance with approved plans

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NOTE: this application may be lodged

- by post to the Building Section, Department of Territories, G.P.O Box 158, Canberra 2601; or
- by hand at the Building Section, North Building, Civic Offices, London Circuit, Canberra.



ACT ADMINISTRATION
CENTRAL OFFICE

PERMIT TO CARRY OUT BUILDING WORK

Permit Number
109197

51

PERMIT HOLDER REID W J			
Nominee			
Bk 0000	Sec 269	Unit	Suburb MAJURA
Class of Builders Licence B		Registered Licence No. 0576	Permit Lapse 07/10/89
Description of Building Work Endorsements		Plan Number 21645/FC	Date Issued 07/04/89
		Cost \$	1200
<i>AS</i>			

Licencee/Nominee
Co. or Partnership
Postal
Address

REID W J
14 CHAUVVEL CIRC
CHAPMAN ACT 2611

LEIGH PALMER
Leigh Palmer
Building Controller



APPLICATION FOR BUILDING PERMIT

50
COPERMAN M.A.

NOTE: Except as provided by section 39 of the *Building Ordinance 1972* this application must be made by the holder of a Building Licence.

PERMIT NO.				DESCRIPTION OF LAND									
1	0	9	1	9	7	4	Approved plan No.	1	Block No.	Section	Suburb		
109197				21645/F?				-		269		MATURA	
LESSEE'S APPLICANT	Surname REID WT			Initials WT			Address 14 CHANNEL CIRCUIT CHARMION 2611						
	Surname X CANBERRA RIFLE CLUB INC.			Initials RIFLE CLUB INC.			Address P.O. BOX 31 CANBERRA CITY ACT 2601						
Phone Work			Home			887061							
Phone Work			Home			486000 486347							
Class of Builders Licence held by Applicant B							Licence Number 0576						
Type of construction and class of occupancy to be shown as indicated in the Building Manual, Part 17 and Part 6		Type of Construction N/A	Class of occupancy N/A		Permissible floor load (Not applicable to buildings of class 1 and X occupancy) N/A			24		Contract or estimated price (excluding land) \$ 1200-00			
Description of building work to be carried out. INSTALLATION OF SLOW COMBUSTION STOVE										25		OFFICE USE ONLY	
Type of Work Please place a <input checked="" type="checkbox"/> in the appropriate square													
<input type="checkbox"/> New Building <input type="checkbox"/> Additions to existing building <input checked="" type="checkbox"/> Alterations to existing building <input type="checkbox"/> Other (specify)													
26													
IF APPLICABLE	Main material used in outside walls												
	<input type="checkbox"/> Bricks/Masonry blocks <input type="checkbox"/> Timber/Weatherboard <input type="checkbox"/> Concrete <input type="checkbox"/> Fibre cement sheets <input type="checkbox"/> Other (specify) N/A												
	Main material of building frame												
	<input type="checkbox"/> Timber <input type="checkbox"/> Brick <input type="checkbox"/> Metal <input type="checkbox"/> Concrete <input type="checkbox"/> Other (specify)												
Main material of roof													
<input type="checkbox"/> Terra-cotta tiles <input type="checkbox"/> Cement tiles <input type="checkbox"/> Fibre cement sheets <input type="checkbox"/> Galvanised Iron <input type="checkbox"/> Other (specify)													
Main material of floors													
<input type="checkbox"/> Timber <input type="checkbox"/> Concrete <input type="checkbox"/> Metal <input type="checkbox"/> Earth <input type="checkbox"/> Other (specify) N/A													
Number of residential units created by this permit application						Total floor area in square metres						27	

Applicant's Signature *James Reid* 21 / 3 / 89

FEES DUE		APPLICATION APPROVED	
OFFICE USE ONLY	Total fees payable	LESSEE'S SIGNATURE: <i>[Signature]</i> DATE: 21/3/89	Deputy Building Controller <i>[Signature]</i>
	TOTAL FEE PAID \$		10-
Licence File No. R 214			

ACT BUILDING CONTROL
AUTHORITY TO ISSUE BUILDING PERMIT

(Office Use Only)

File No: 21645

Block No: Section No: 269 Suburb: MAJURA

Approved Plan No. 21645/C

CLASS OF BUILDERS LICENCE REQUIRED: C

Type of Construction: N/A

Class of Occupancy: N/A

Valuation of Building Cost: \$ 1,200-00

Total floor area in square metres: N/A

Conditions to be satisfied prior to issue of permit:
(eg Leases to be consolidated, lease purpose change to be achieved etc)

COMMENTS:

INSTALLATION of
SLOW COMBUSTION STOVE

Lessee Details

CANBERRA Rifle

CLUB

17 OFFY ST

AINSLIE

Approving Officers's signature

[Signature]

Date 5/14/89

48



ACT Administration
BUILDING SECTION

APPLICATION FOR CERTIFICATE OF OCCUPANCY OR USE

BL 1/27 (4/88)
53-05-0696-3

Name or Agent (if applicable)	Address
	Telephone
Name of lessee/owner or parcel of land	Address (show P.O. Box No. if any)
X CANBERRA RIFLE CLUB INCORPORATED	P.O. BOX 31, CANBERRA CITY ACT 2601
	Telephone 484000 (W) 486347 (H)

I hereby advise that the building work comprising INSTALLATION OF A SLOW COMBUSTION STOVE.

Block	Section	Suburb
	269	MAJURA

for which a building permit was granted **has been completed substantially** in accordance with the prescribed requirements of approval and accordingly make application under Section 53 of the Building Ordinance 1972 for the issue of a Certificate of Occupancy or use to be

posted to me

held for collection

Signature of Applicant: [Signature] / / Date

I hereby authorise the abovenamed applicant of the address indicated to make this application on my behalf.

To be completed if application made otherwise than by the lessee/owner, or his solicitor: X [Signature] HON SOZ 18 / 3 / 89
Signature of Lessee/Owner PUBLIC OFFICER Date

IMPORTANT — SEE ADVISORY INFORMATION OVERLEAF

Approved Plan No.	Name of permit holder
21645/f.	WJ Reid

DATE REQUESTED FOR FINAL INSPECTION (At least 4 working day's notice required)

Preferred date:	Alternative date:
Morning <input type="checkbox"/> Afternoon <input type="checkbox"/>	Morning <input type="checkbox"/> Afternoon <input type="checkbox"/>

List any items not completed in accordance with approved plans

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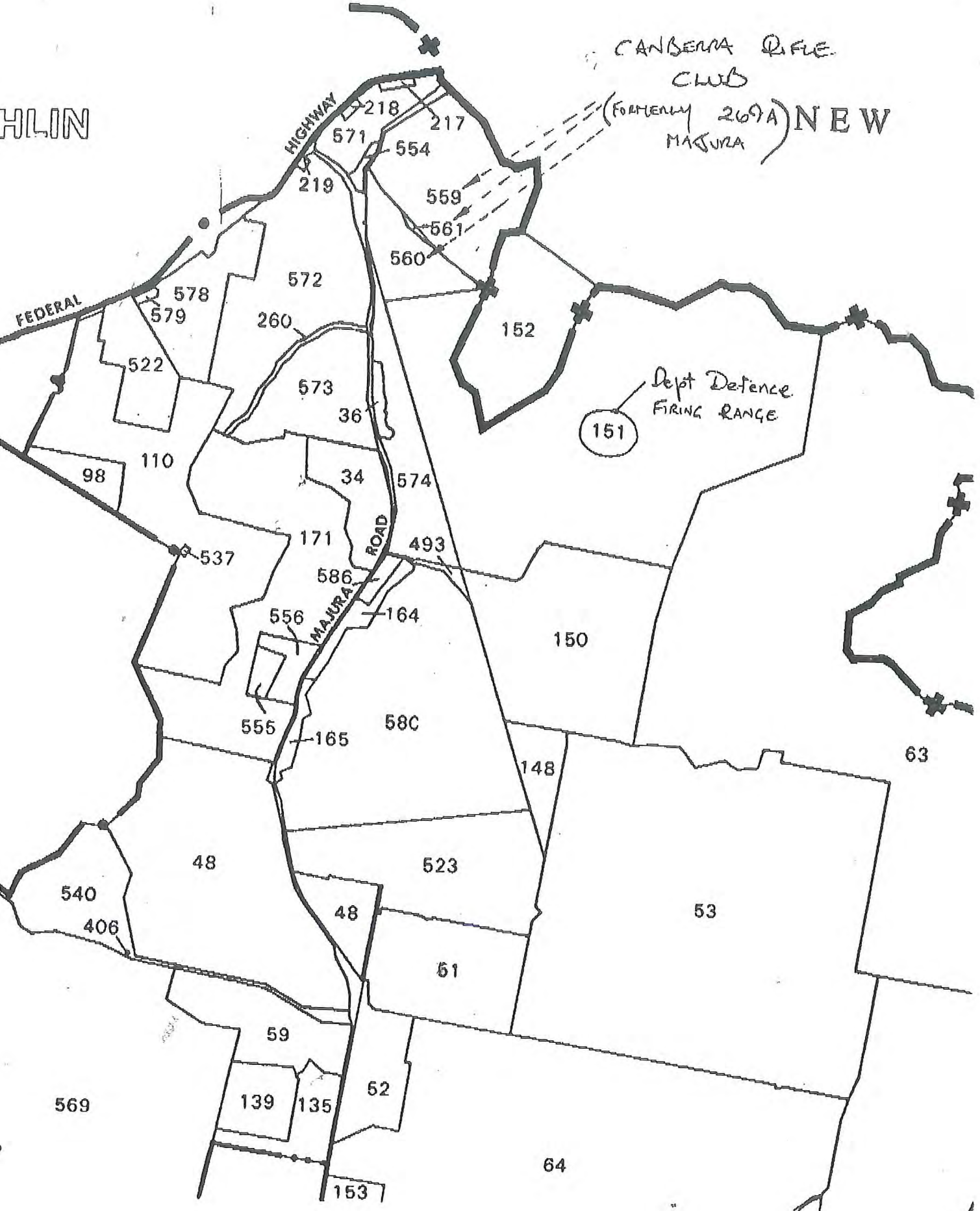
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NOTE: this application may be lodged

- by post to the Building Section, Department of Territories, G.P.O. Box 158, Canberra 2601; or
- by hand at the Building Section, North Building, Civic Offices, London Circuit, Canberra.

HLIN



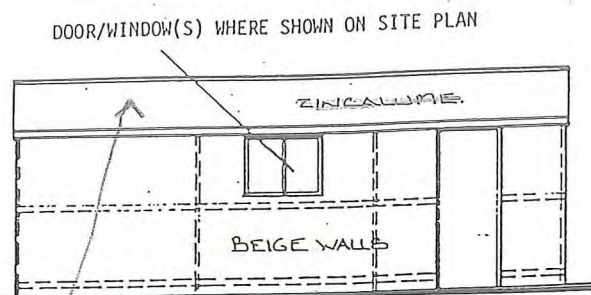
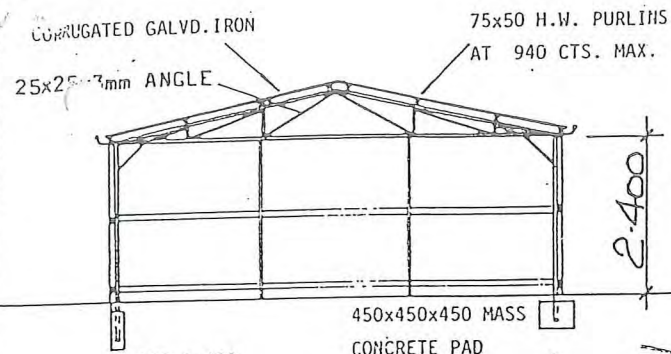
CANBERRA RIFLE CLUB
 CLUB
 (FORMERLY 269A) NEW
 MAJURA

Dept Defence
 FIRING RANGE

FEDERAL

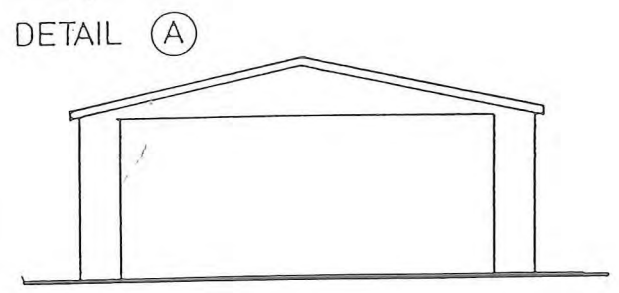
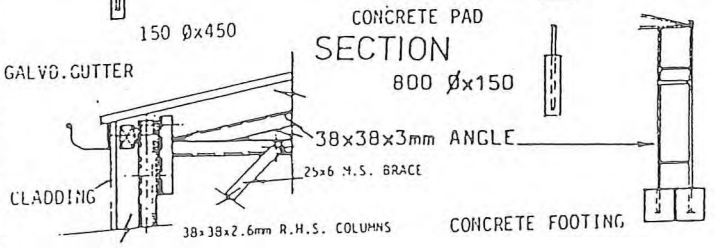
HIGHWAY

MAJURA ROAD



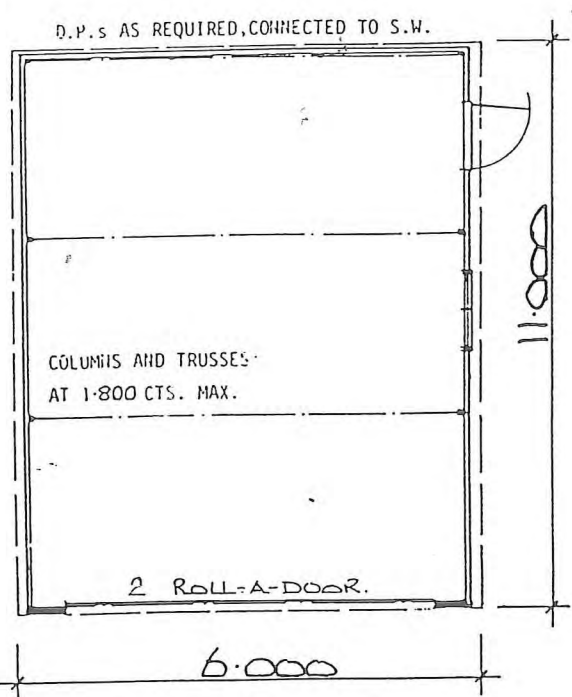
Colorbond mist green roof. flanks.
 SIDE ELEVATION

Trims No.
 Proj No. **5735**
 Plan Seq No. **6178**
 PLANS/FILE No. **216451D**
- 9 SEP 1991
 Received ACT Building Control
 ACT Government



FRONT ELEVATION

~~5/12~~
 BUILDINGS (DESIGN & SITING)
 ACT 1968 (AS AMENDED)
APPROVAL GRANTED
 PURSUANT TO SECTION 6
28 AUG 1991
[Signature]
 AUSTRALIAN CAPITAL TERRITORY
 PLANNING AUTHORITY



PLAN
 (TYPICAL)

[Faint stamp]
528
11 Jun 1991

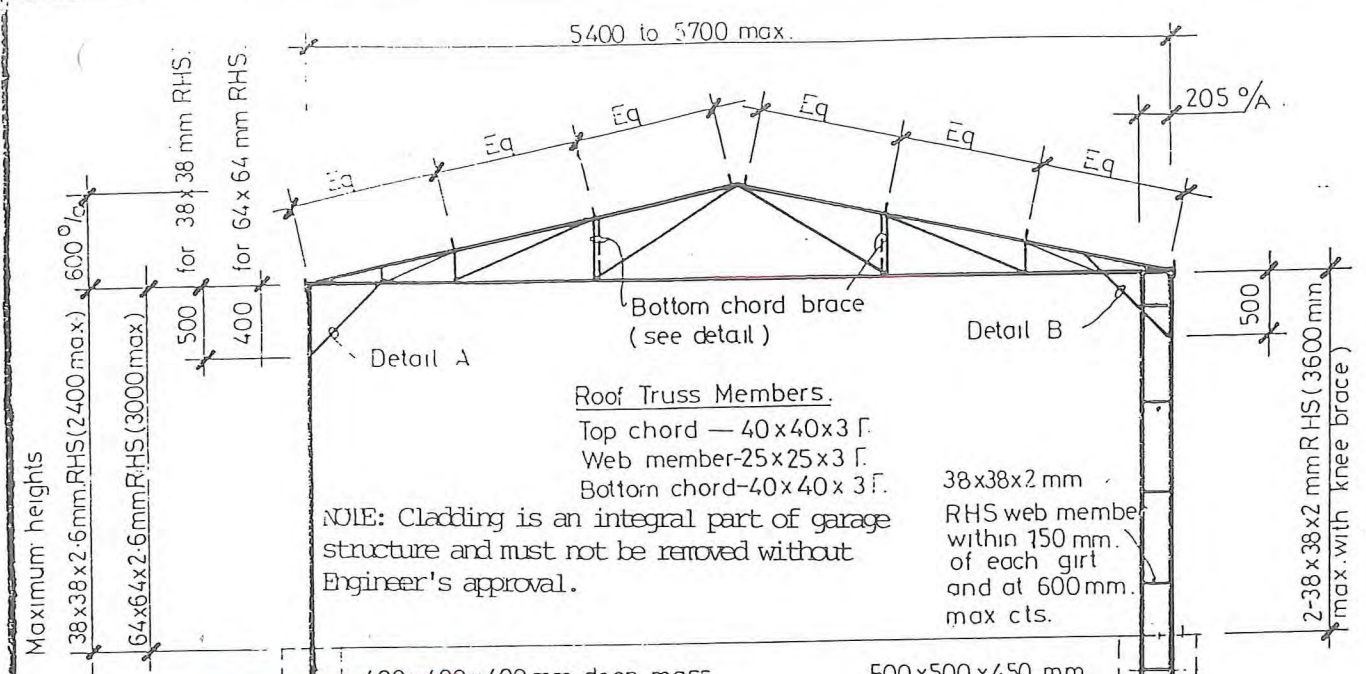
SITE PLAN
 SCALE: 1:500

NOTE: COLUMNS AND TRUSSES AT 1.800 CTS MAX FOR WIND VELOCITY 42 m/s.
 CHECK BY. *[Signature]* 18/1/83
 RAY FRANZI M.I.E.AUST.
 CONSULTING ENGINEER

GARAGE FOR CANBERRA RIFLE CLUB AT 560 MAJURA
 RAY FRANZI PTY. LIMITED

W. R. ENGINEERING PTY. LTD.
 12 ISA STREET, Fyshwick A.C.T. 805908

SCALES: 1:100, 1:20, 1:500



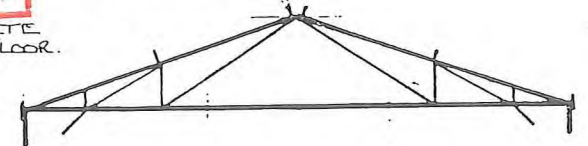
BUILDINGS (DESIGN & CONSTRUCTION) ACT 1984 (AS AMENDED)
APPROVAL GRANTED
 PURSUANT TO SECTION 6
 28 AUG 1991
 AUSTRALIAN CAPITAL TERRITORY PLANNING AUTHORITY

TYPICAL ROOF TRUSS ELEVATION.

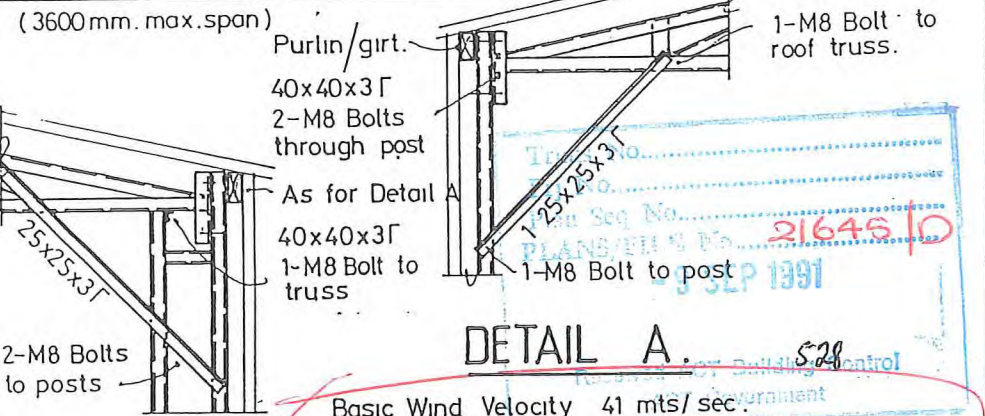
All frames to be at 2440 mm max. cts.
 All footings to be taken down into natural ground.
 All purlins and girts to be 75x50mm. F8.H.W. at 1200mm. max. continuous over two or more spans
 Girts for walls and 940mm. max. for roof.

NOTE — 3600 mm span truss.
 All members and details as for larger span roof trusses.

200x200x300 DEEP MASS CONC. PAD FOOTING
 ALTERNATIVE FOOTING (WHERE CONCRETE FLOOR IS REQUIRED)



ROOF TRUSS ELEVATION.



BOTTOM CHORD BRACING DETAIL.

DETAIL A.

Basic Wind Velocity 41 mts/sec.
 Terrain Category 3
 Design strength F_c for all footings to be 20 MPa

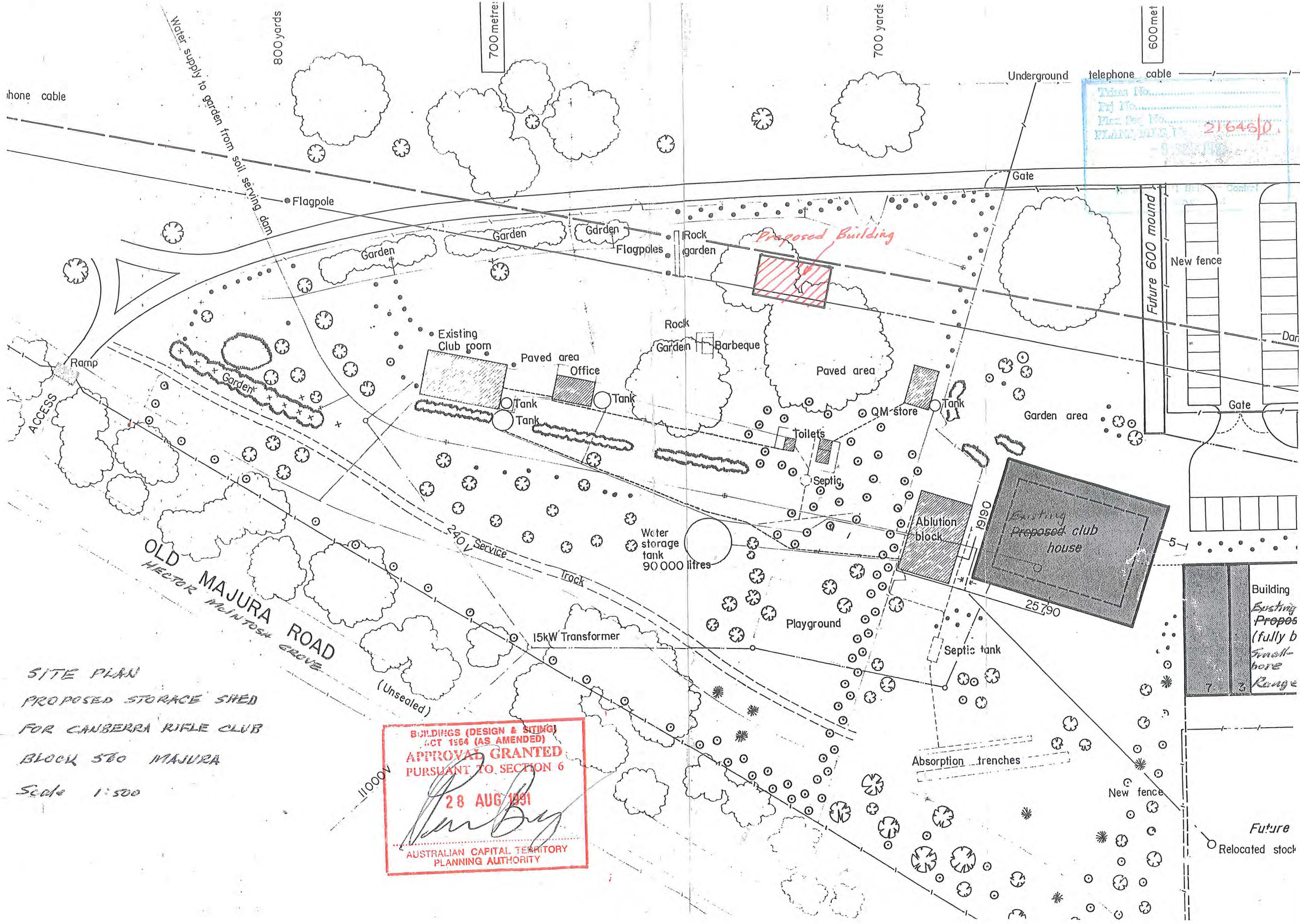
DETAILS FOR GABLE ROOF GARAGES:
 — 3600 mm. max. span.
 — 5400 to 5700 mm. max. span.

W.R. ENGINEERING Pty. Ltd.
 12 Isa street. Fyshwick.
 A.C.T. (062) 80 5784.

CONSULTING ENGINEER.
 RAY FRANZI M.I.E.AUST.
 CONSULTING ENGINEER
 RAY FRANZI PTY. LIMITED

R. Franzi 26.9.90 (VALID TO 31.1.95)

DATE.
 SCALE.
 1:50 & 1:20.

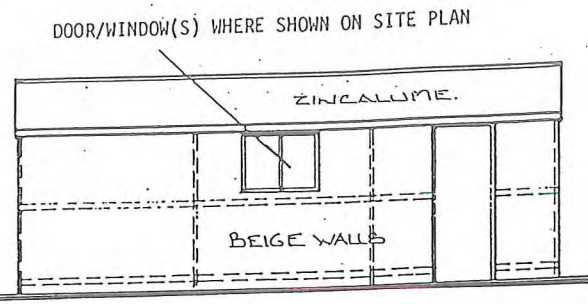
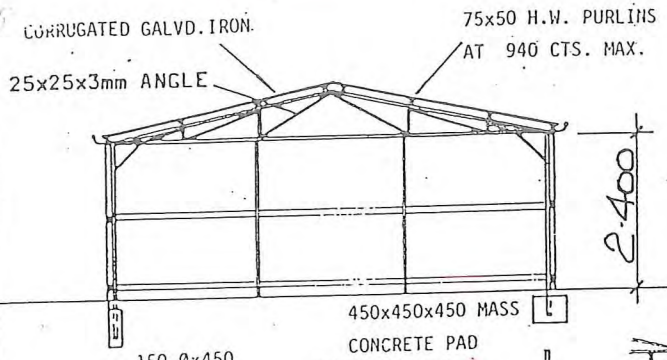


Title No.
 Proj No.
 Plan No.
 PLAN, SHEET NO. **21645/D**
 - 9 522 118 -

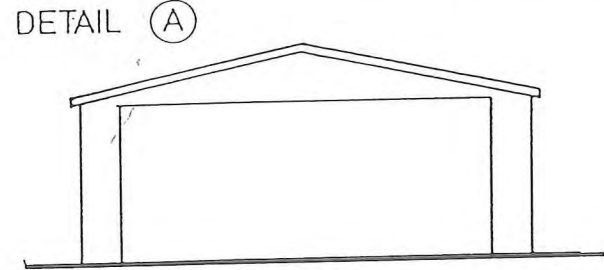
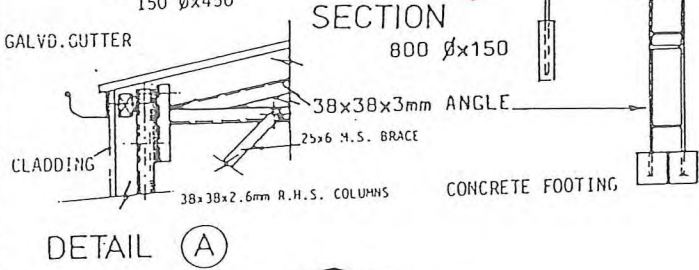
SITE PLAN
 PROPOSED STORAGE SHED
 FOR CANBERRA RIFLE CLUB
 BLOCK 560 MAJURA
 Scale 1:500

BUILDINGS (DESIGN & SITING)
ACT 1964 (AS AMENDED)
APPROVAL GRANTED
PURSUANT TO SECTION 6
28 AUG 1991
[Signature]
AUSTRALIAN CAPITAL TERRITORY
PLANNING AUTHORITY

Building
 Existing
 Propos
 (fully b
 Front-
 here
 Range

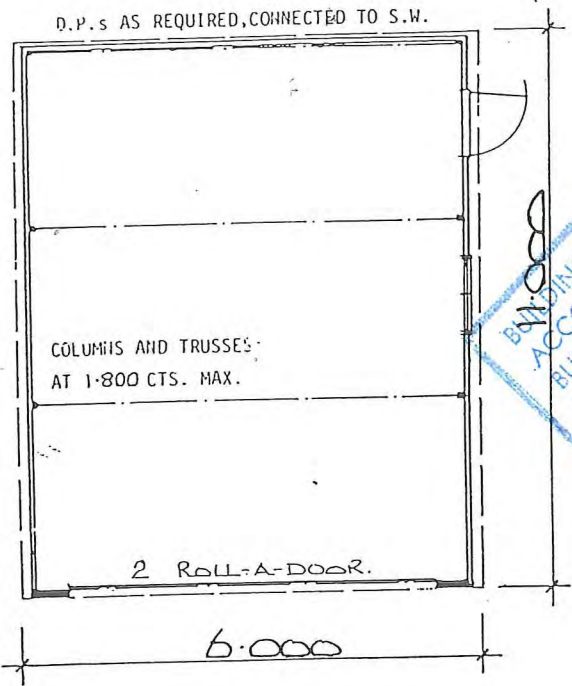


SIDE ELEVATION



FRONT ELEVATION

Trims No.....
 Prj No.....
 Plan Seq No.....
 PLANS/FILE No. 21645/D
 - 9 SEP 1991
 Received ACT Building Control
 ACT Government



PLAN
(TYPICAL)

BUILDING WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS MADE ON THE PLANS AND ANY NOTATIONS MADE ON THE BUILDING PERMIT. THE APPROVAL OF ANY PLANS OR THE GRANT OF A BUILDING PERMIT DOES NOT AFFECT THE OPERATION OF ANY OTHER LAW IN THE TERRITORY, NOR DOES IT AUTHORISE THE USE OF THE LAND CONTRARY TO A PROVISION, COVENANT OR CONDITION OF LEASE OR MODIFICATIONS IF APPLICABLE

SITE PLAN
SCALE: 1 : 500

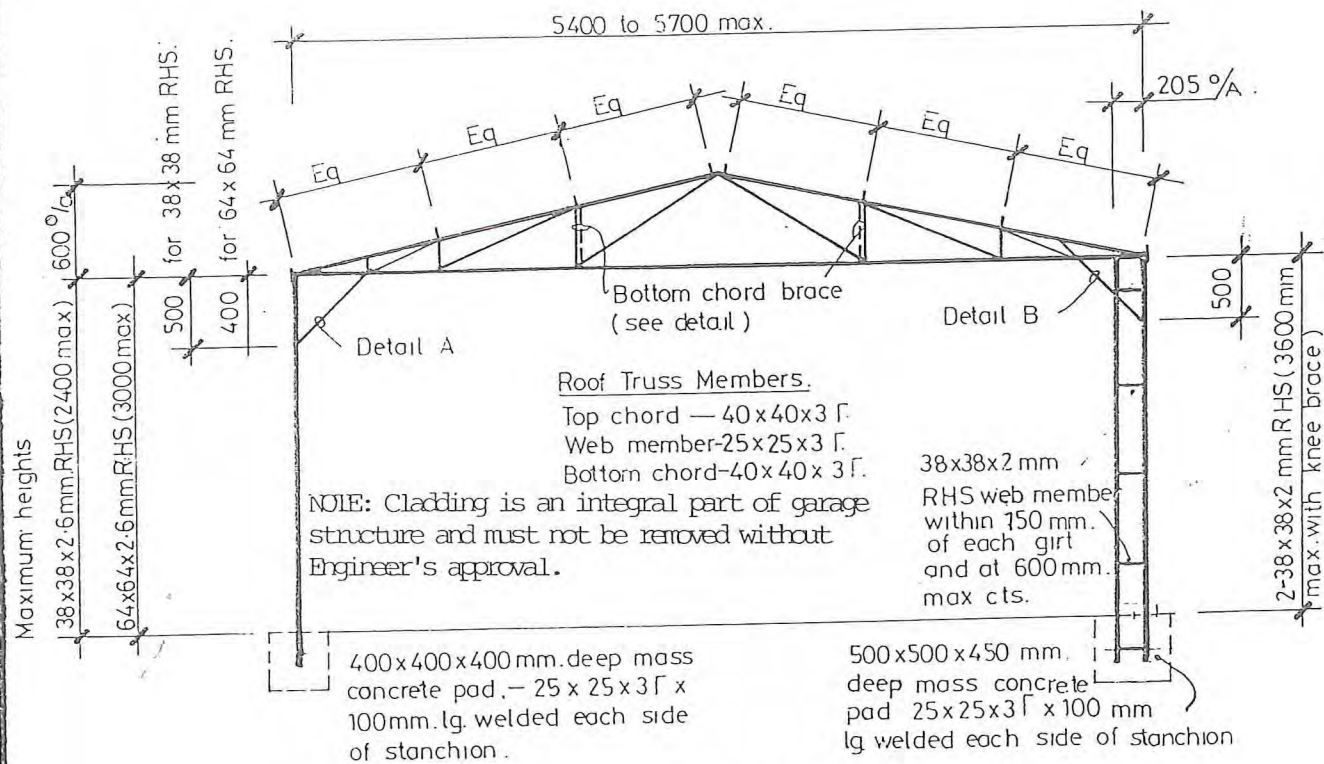
NOTE: COLUMNS AND TRUSSES AT 1.800 CTS MAX FOR WIND VELOCITY 42 m/s.

CHECK BY. *[Signature]* 18/1/83
 RAY FRANZI M.I.E.AUST.
 CONSULTING ENGINEER

RAY FRANZI PTY. LIMITED

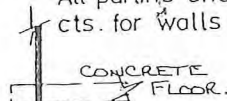
GARAGE FOR CANBERRA RIFLE CLUB

AT 560 NATURA



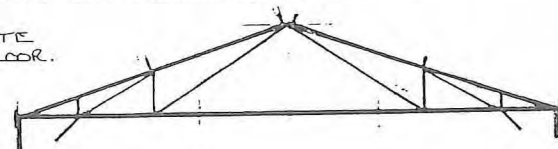
TYPICAL ROOF TRUSS ELEVATION.

All frames to be at 2440 mm max. cts.
 All footings to be taken down into natural ground.
 All purlins and girts to be 75x50 mm. F8. HW. at 1200 mm. max. cts. for walls and 940 mm. max. for roof. } continuous over two or more spans

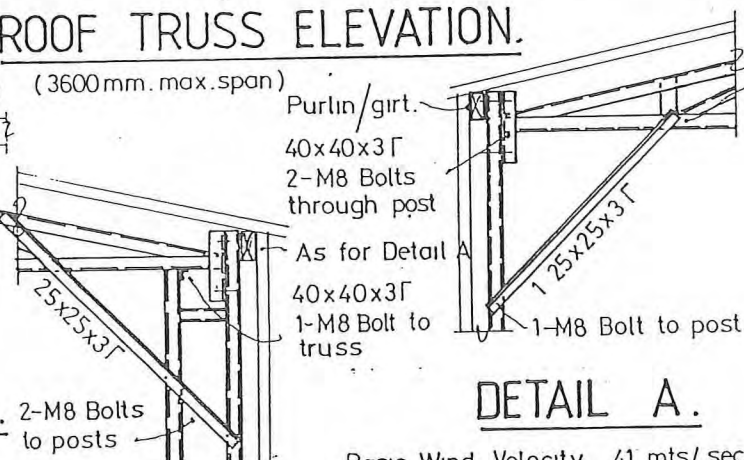
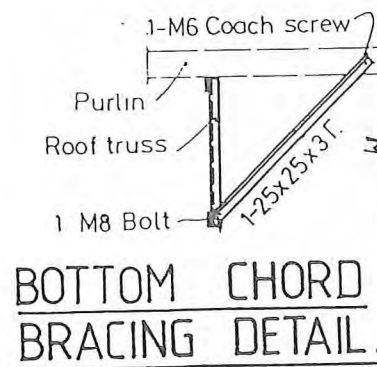


200x200x300 DEEP MASS CONCL PAD FOOTING

ALTERNATIVE FOOTING (WHERE CONCRETE FLOOR IS REQUIRED)



NOTE — 3600 mm span truss. All members and details as for larger span roof trusses.



Basic Wind Velocity 41 mts/ sec.
 Terrain Category 3
 Design strength F_c for all footings to be 20 MPa.

DETAILS FOR GABLE ROOF GARAGES:
 — 3600 mm. max. span.
 — 5400 to 5700 mm. max. span.

W.R. ENGINEERING Pty. Ltd.
 12 Isa street. FYSHWICK.
 A.C.T. (062) 80 5784.

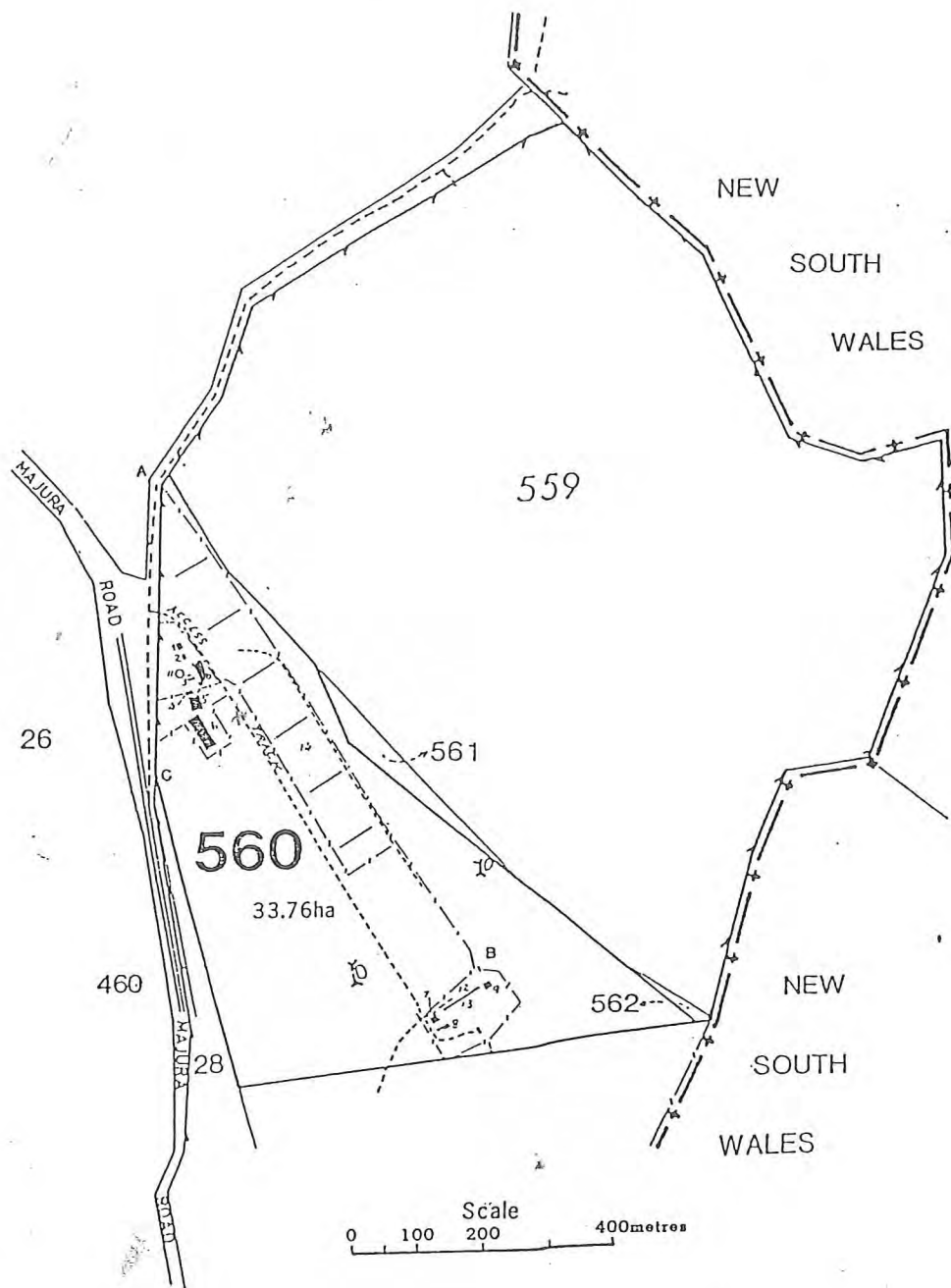
CONSULTING ENGINEER.
 RAY FRANZI M.I.E.AUST.
 CONSULTING ENGINEER
 RAY FRANZI PTY. LIMITED

R. Franzi 26.9.90 (VALID TO 31.1.95)

DATE.

SCALE.
 1:50 & 1:20.

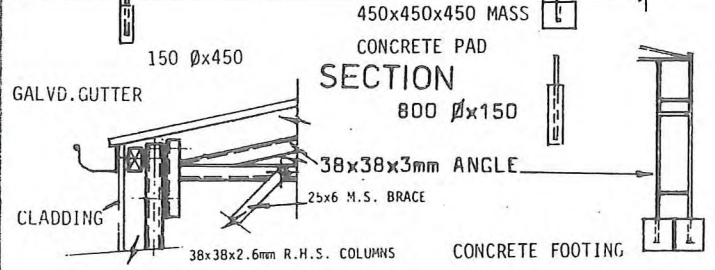
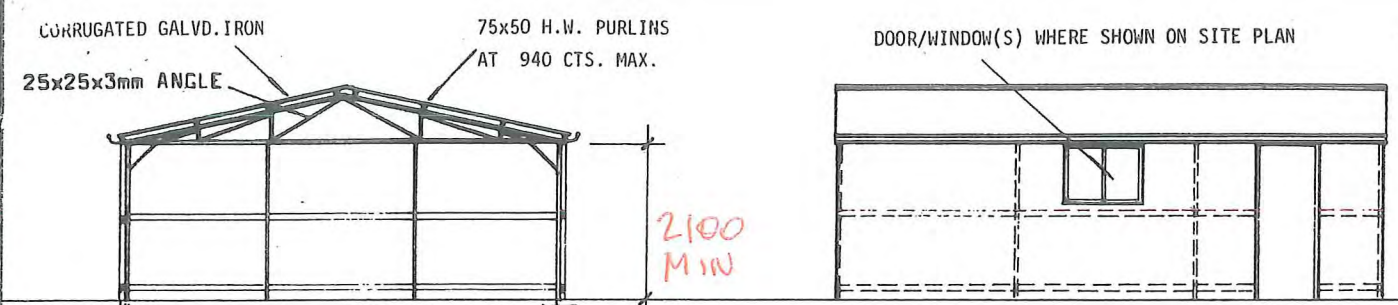
FENCING & DETAIL PLAN BLOCK 560 DISTRICT OF MAJURA



NOTE: FOR KEY TO DETAIL ANNOTATION SEE SCHEDULE 2

FENCING:
A-C and A-B Commonwealth owned
Remainder is Lessee owned

21645/D

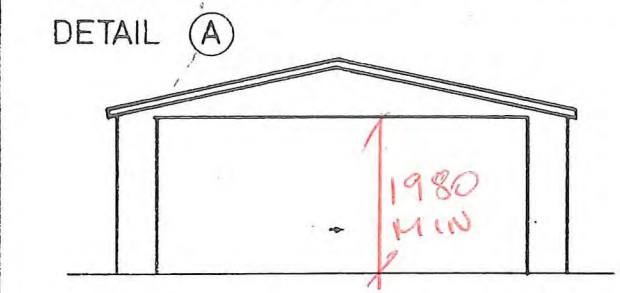


SIDE ELEVATION

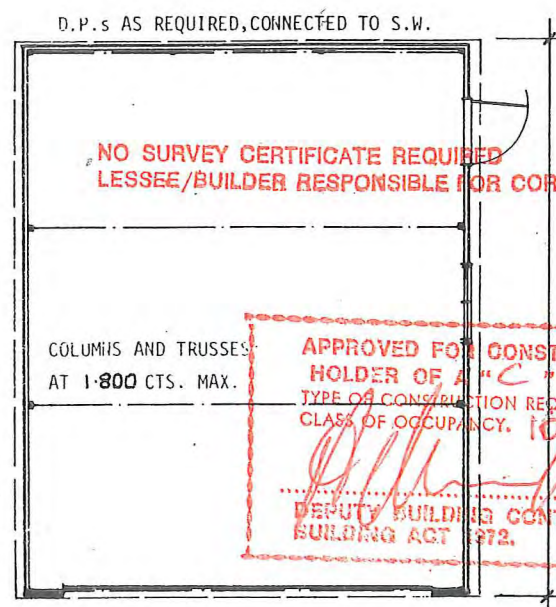
Trims No.....
 Prj No.....
 Plan Seq No.....
 PLANS/FILE No.....

10 OCT 1991

Received ACT Building Control
 ACT Government



FRONT ELEVATION



• Footings to solid ground

INSTALL TO MANUFACTURERS SPECIFICATIONS

• Approval subject to ACTEW clearance

APPROVED FOR CONSTRUCTION BY THE HOLDER OF A "C" CLASS LICENCE.
 TYPE OF CONSTRUCTION REQUIRED,
 CLASS OF OCCUPANCY, 10g

29 OCT 1991

DEPUTY BUILDING CONTROLLER UNDER BUILDING ACT 1972.

THIS APPROVAL DOES NOT SUPERSEDE THE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA

SITE PLAN
SCALE: 1 : 500

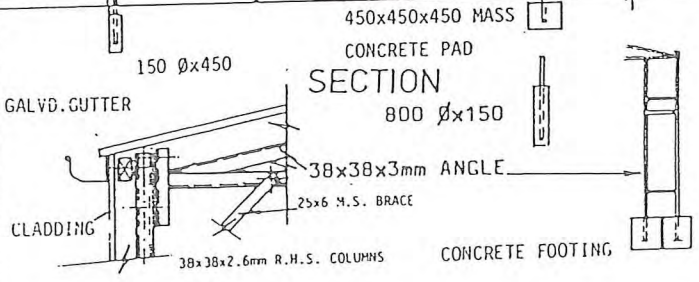
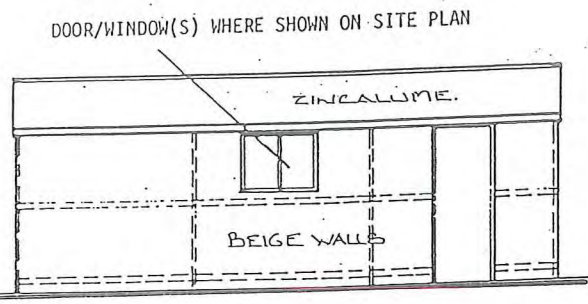
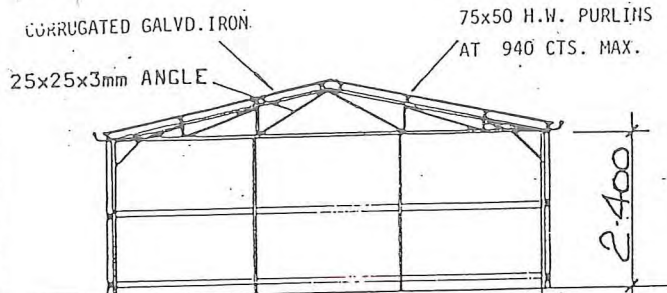
NOTE: COLUMNS AND TRUSSES AT 1-800 CTS MAX FOR T/CAT 2 WIND VELOCITY 42 m/s.

CHECK BY. *[Signature]* 18/1/83
RAY FRANZI M.I.E.AUST.
CONSULTING ENGINEER

GARAGE FOR **AT**

W. R. ENGINEERING PTY. LTD.
 12 ISA STREET, FYSHWICK, A.C.T. 805988

RAY FRANZI PTY. LIMITED
 SCALES: 1 : 100, 1 : 20, 1 : 500



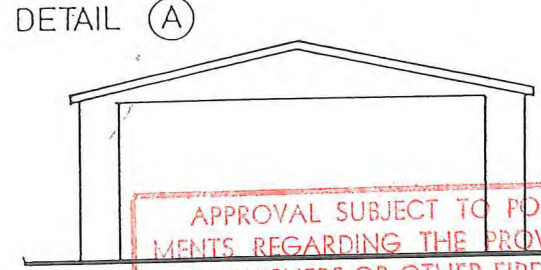
SIDE ELEVATION

Trims No.....
 Prj No..... **5735**
 Plan Seq No..... **6178**
 PLANS/FILE No... **21645/10**
- 9 SEP 1991

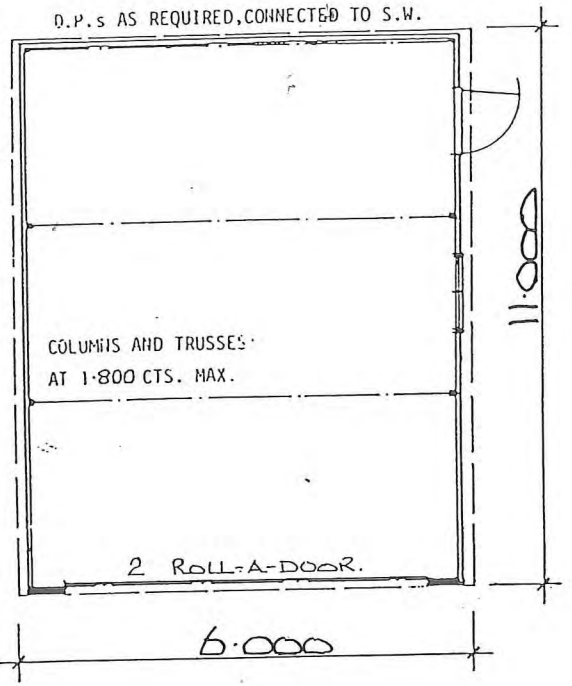
Received ACT Building Control
 ACT Government

APPROVAL SUBJECT TO POSSIBLE FURTHER REQUIREMENTS REGARDING THE PROVISION OF FIRST AID FIRE EXTINGUISHERS OR OTHER FIRE PROTECTION APPLIANCES NECESSARY FOR FIGHTING A FIRE IN THE BUILDING.

S1/2



FRONT ELEVATION



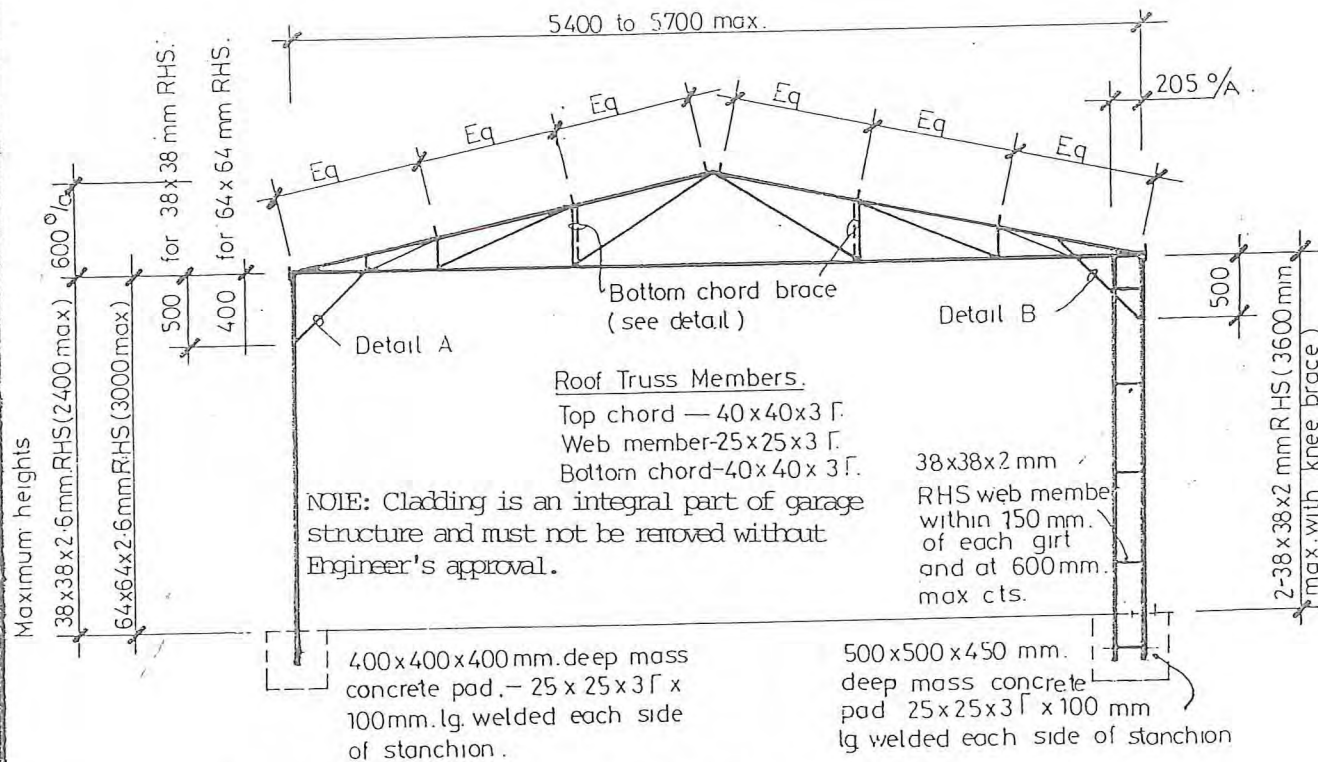
PLAN
(TYPICAL)

LAND DIVISION
 LEASE ADMINISTRATION BRANCH
 APPROVAL GRANTED pursuant to clause
 Crown Lease for the proposal outlined in Plan No.
 proposed development does not appear to breach the provisions of the current lease.

[Signature] 2/6/91
 Delegate of the Minister

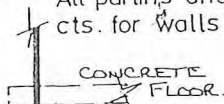
SITE PLAN
SCALE: 1 : 500

NOTE: COLUMNS AND TRUSSES AT 1.800 CTS MAX FOR WIND VELOCITY 42 M/S.	CHECK BY. <i>[Signature]</i> 18/1/83 RAY FRANZI M.I.E.AUST. CONSULTING ENGINEER	
GARAGE FOR CANBERRA RIFLE CLUB		AT 560 NATURA
W. R. ENGINEERING PTY. LTD. 12 ISA STREET, Fyshwick, A.C.T. 805988		SCALES : 1 : 100, 1 : 20, 1 : 500



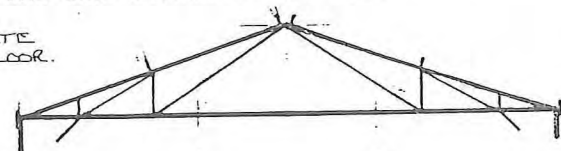
TYPICAL ROOF TRUSS ELEVATION.

All frames to be at 2440 mm max. cts.
 All footings to be taken down into natural ground.
 All purlins and girts to be 75x50 mm. FB. HW. at 1200 mm. max. cts. for walls and 940 mm. max. for roof. } continuous over two or more spans



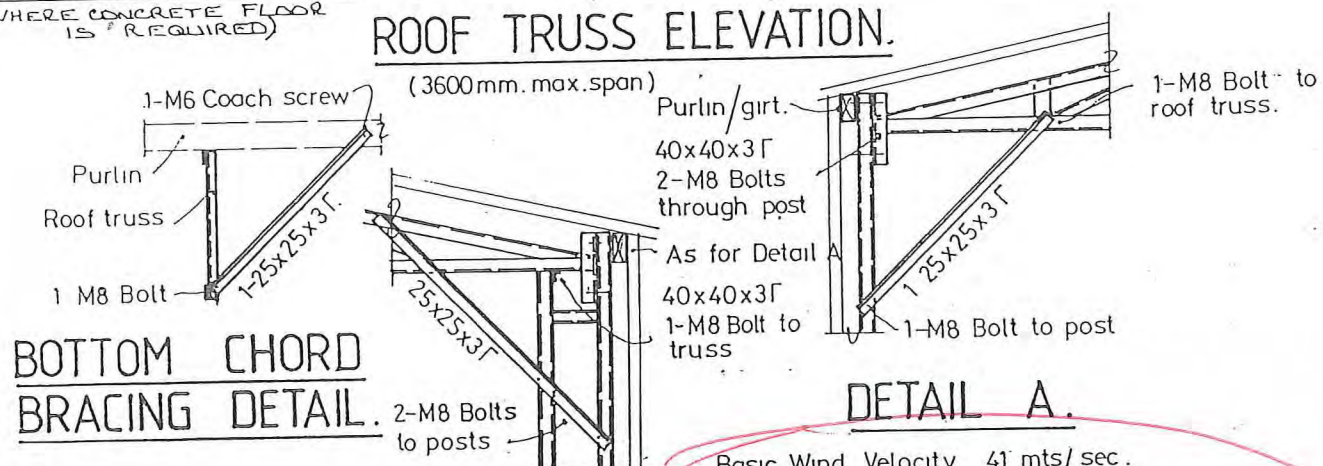
200x200x300 DEEP MASS CONCL PAD FOOTING

ALTERNATIVE FOOTING (WHERE CONCRETE FLOOR IS REQUIRED)



NOTE — 3600 mm span truss. All members and details as for larger span roof trusses.

ROOF TRUSS ELEVATION.



Basic Wind Velocity 41 mts/sec.
 Terrain Category 3
 Design strength F_c for all footings to be 20 MPa.

DETAILS FOR GABLE ROOF GARAGES:

— 3600 mm. max. span.
 — 5400 to 5700 mm. max. span.

W.R. ENGINEERING Pty. Ltd.

12 Isa street. FYSHWICK.
 A.C.T. (062) 80 5784.

CONSULTING ENGINEER.
 RAY FRANZI M.I.E.AUST.
 CONSULTING ENGINEER
 RAY FRANZI PTY. LIMITED

R. Franzi 26.9.90 (VALID TO 31.1.95)

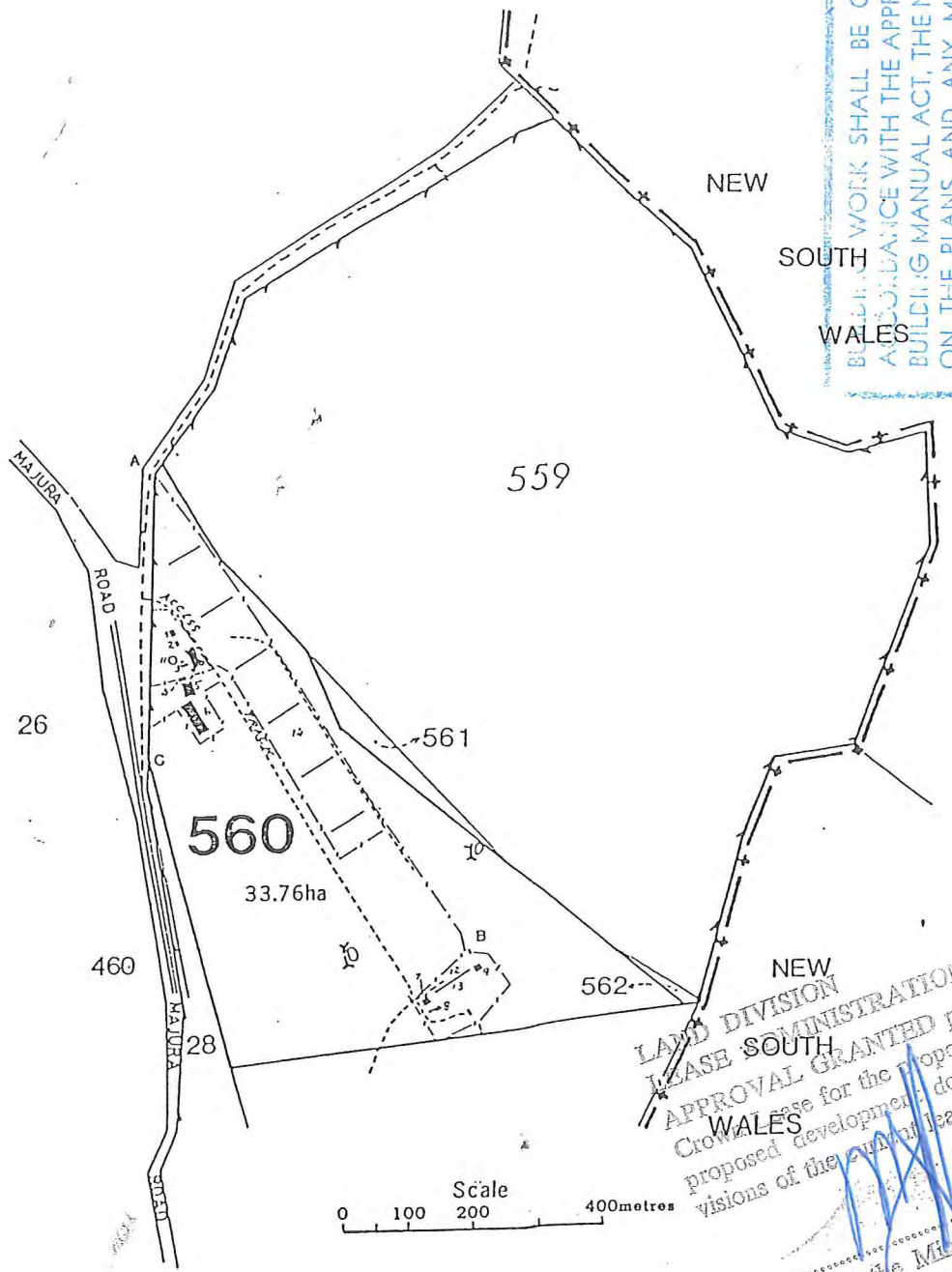
DATE.

SCALE.
 1:50 & 1:20.

Title No.
 Proj No.
 Plan Seq No.
 PLANS/TITLE No. **21645/D**
9 SEP 1991
 Received ACT Building Control
 ACT Government

FENCING & DETAIL PLAN BLOCK 560 DISTRICT OF MAJURA

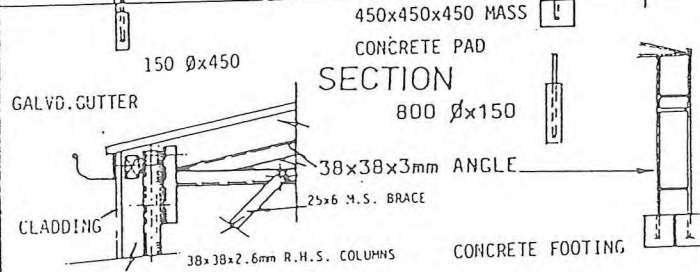
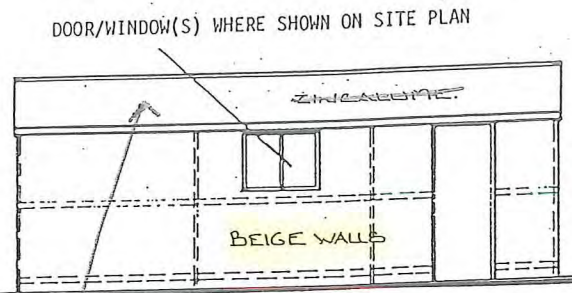
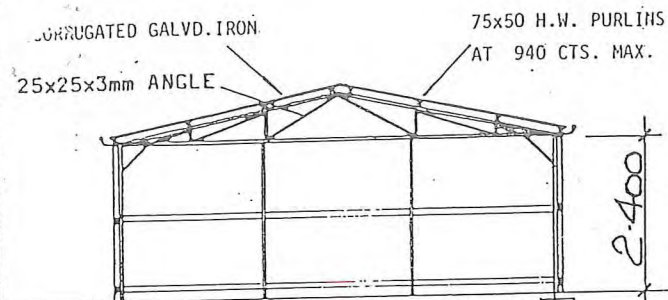
ALL WORK SHALL BE CONSTRUCTED IN
 ACCORDANCE WITH THE APPROVED PLANS THE
 BUILDING MANUAL ACT, THE NOTATIONS MADE
 ON THE PLANS AND ANY MATTERS SPECIFIED
 ON THE BUILDING PERMIT. THE APPROVAL OF
 PLANS OR THE GRANT OF A BUILDING PERMIT
 DOES NOT AFFECT THE OPERATION OF ANY
 OTHER LAW IN THE TERRITORY, NOR DOES IT
 AUTHORISE THE USE OF THE LAND CONTRARY
 TO A PROVISION, COVENANT OR CONDITION
 OF LEASE.
 MODIFICATIONS IF APPLICABLE



LAND DIVISION
 LEASE SOUTH
 APPROVAL GRANTED pursuant to clause
 40 of the
 The
 proposed development does not appear to breach the pro-
 visions of the lease.
 Delegate of the Minister

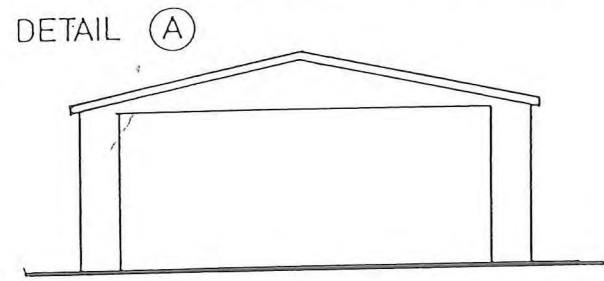
NOTE: FOR KEY TO DETAIL ANNOTATION SEE SCHEDULE 2

FENCING:
 A-C and A-B Commonwealth owned
 Remainder is Lessee owned



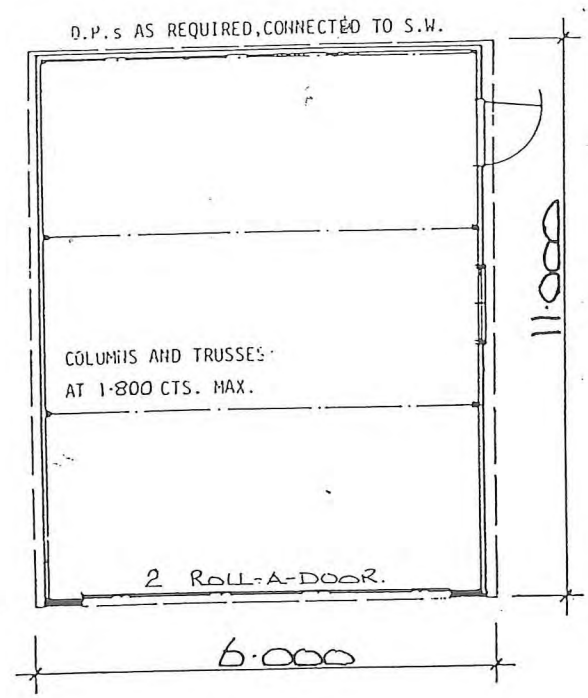
Colourbond mist green roof. J.R. 06
 SIDE ELEVATION

Trims No.
 Proj No. **5735**
 Plan Seq No. **6178**
 PLANS/FILE No. **216451D**
 - 9 SEP 1991
 Received ACT Building Control
 ACT Government



FRONT ELEVATION

BUILDINGS (DESIGN & SITING)
 ACT 1.64 (AS AMENDED)
 APPROVAL GRANTED
 PURSUANT TO SECTION 6
 28 AUG 1991
 AUSTRALIAN CAPITAL TERRITORY
 PLANNING AUTHORITY



PLAN
 (TYPICAL)

A.C.T. PLANNING
 AUTHORITY
 11 JUN 1991
 APPLN No. **528**.....

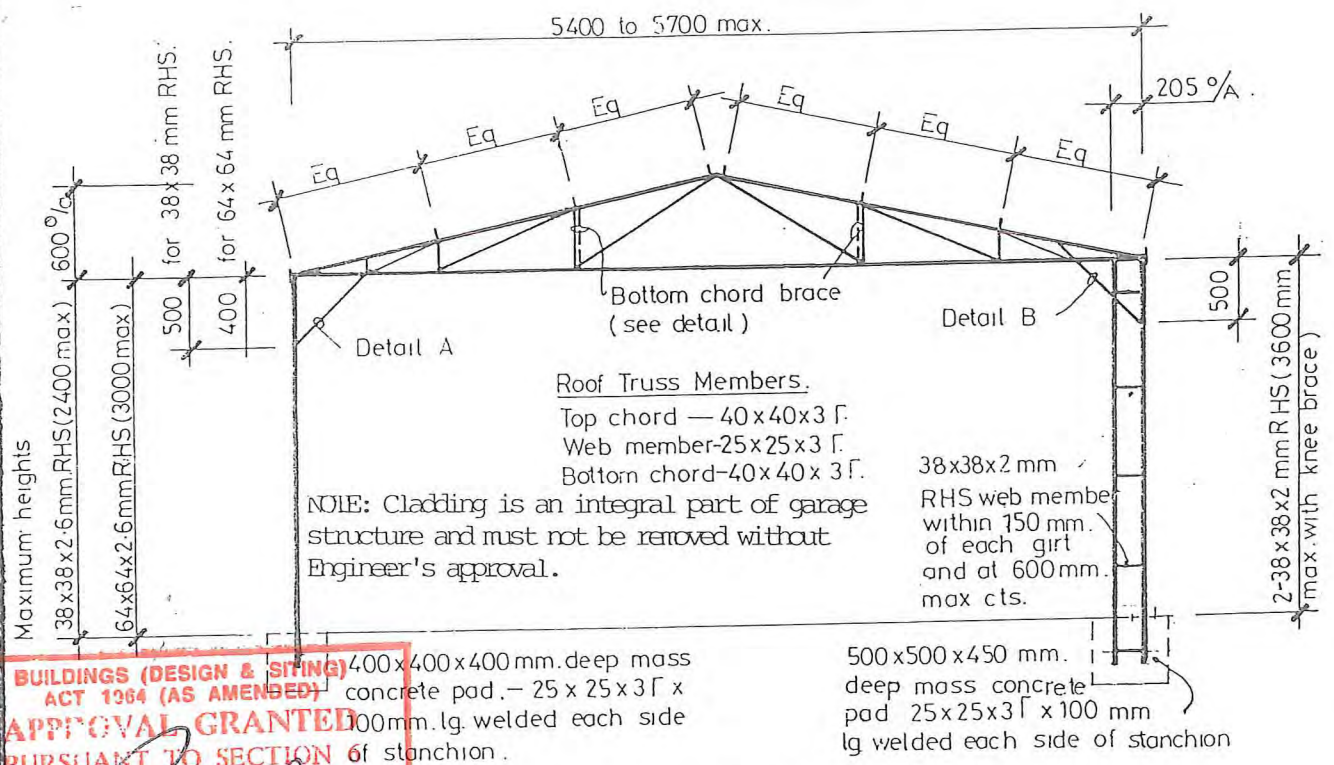
SITE PLAN
 SCALE: 1 : 500

NOTE: COLUMNS AND TRUSSES AT 1.800 CTS MAX FOR WIND VELOCITY 42 m/s.
 CHECK BY. *R. Franz* 18/1/83
 RAY FRANZI M.I.E.AUST.
 CONSULTING ENGINEER

GARAGE FOR **CANBERRA RIFLE CLUB** AT **560 MATURA**

W. R. ENGINEERING PTY. LTD.
 12 ISA STREET, Fyshwick, A.C.T. 805988

SCALES: 1 : 100, 1 : 20, 1 : 500



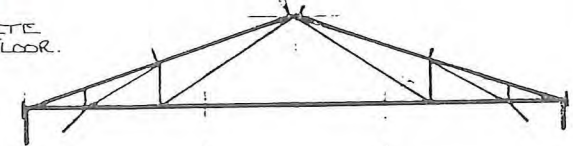
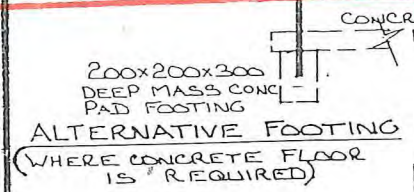
BUILDINGS (DESIGN & SITING) ACT 1984 (AS AMENDED)
APPROVAL GRANTED
 PURSUANT TO SECTION 61

28 AUG 1991
 AUSTRALIAN CAPITAL TERRITORY PLANNING AUTHORITY

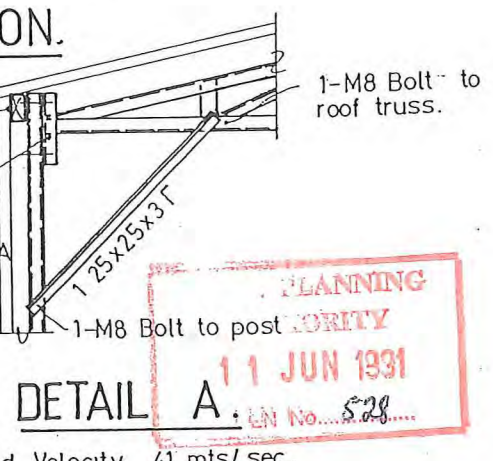
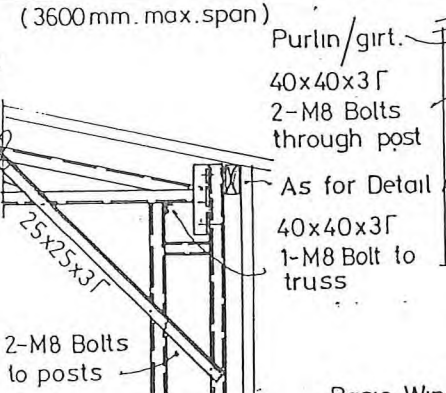
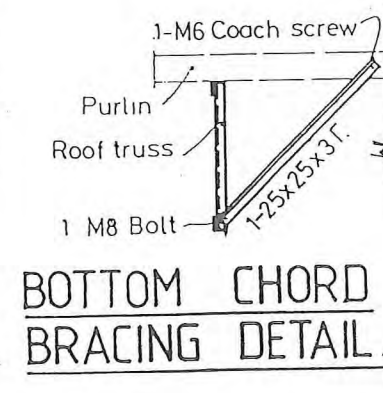
TYPICAL ROOF TRUSS ELEVATION.

All frames to be at 2440 mm max. cts.
 All footings to be taken down into natural ground.
 Purlins and girts to be 75x50 mm. F8. HW. at 1200 mm. max. continuous over two or more spans.
 Cts. for walls and 940 mm. max. for roof.

NOTE — 3600 mm span truss. All members and details as for larger span roof trusses.



ROOF TRUSS ELEVATION.



PLANNING AUTHORITY
 11 JUN 1991
 EN No. 528

Basic Wind Velocity 41 mts/ sec.
 Terrain Category 3
 Design strength F_c for all footings to be 20 MPa.

DETAILS FOR GABLE ROOF GARAGES:
 — 3600 mm. max. span.
 — 5400 to 5700 mm. max. span.

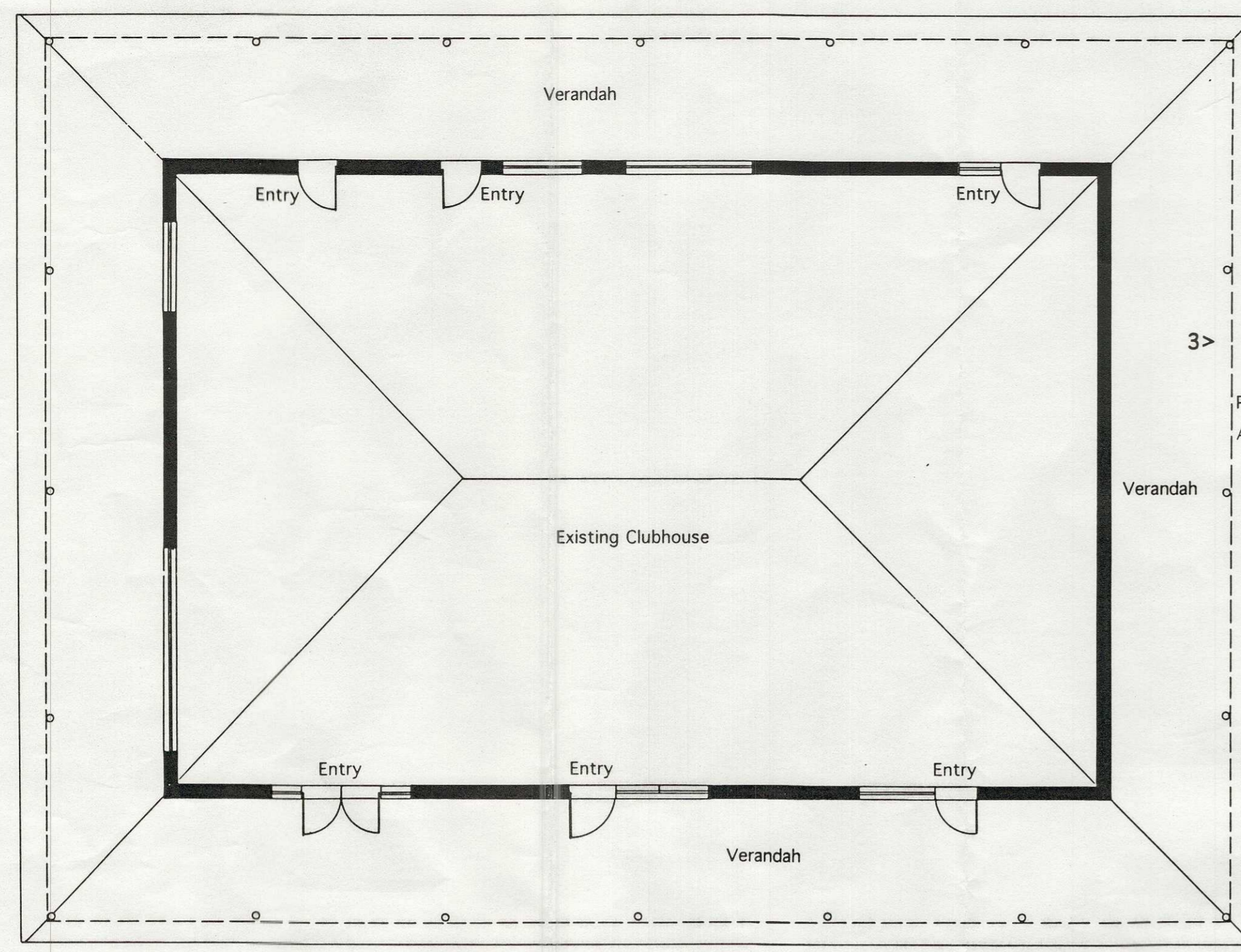
W.R. ENGINEERING Pty. Ltd.
 12 Isa street. FYSHWICK.
 A.C.T. (062) 80 5784.

CONSULTING ENGINEER
 RAY FRANZI M.I.E.AUST.
 CONSULTING ENGINEER
 RAY FRANZI PTY. LIMITED

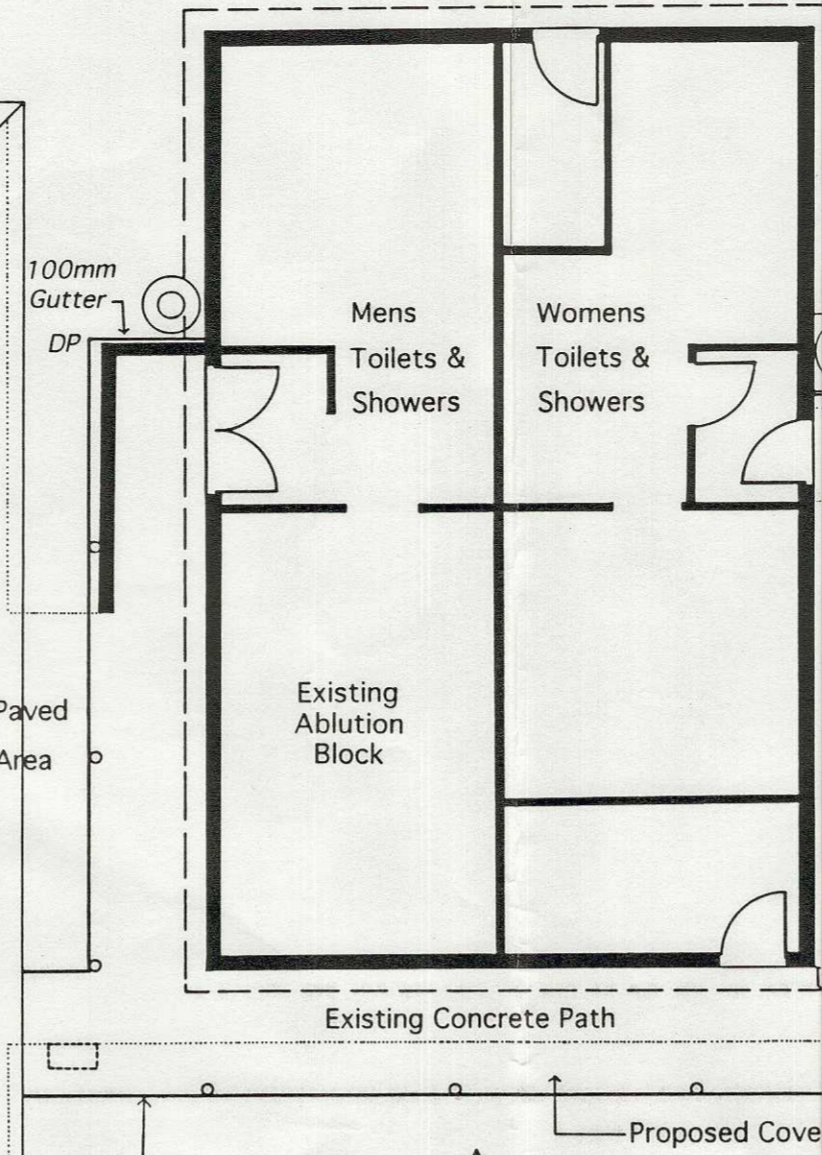
R. Franzi 26.9.90 (VALID TO 31.1.95)

DATE.
 SCALE.
 1:50 & 1:20.

51/2



PLAN



Note: Width of roof 1625. Two standard sheets with 1.5 corrugation lap.

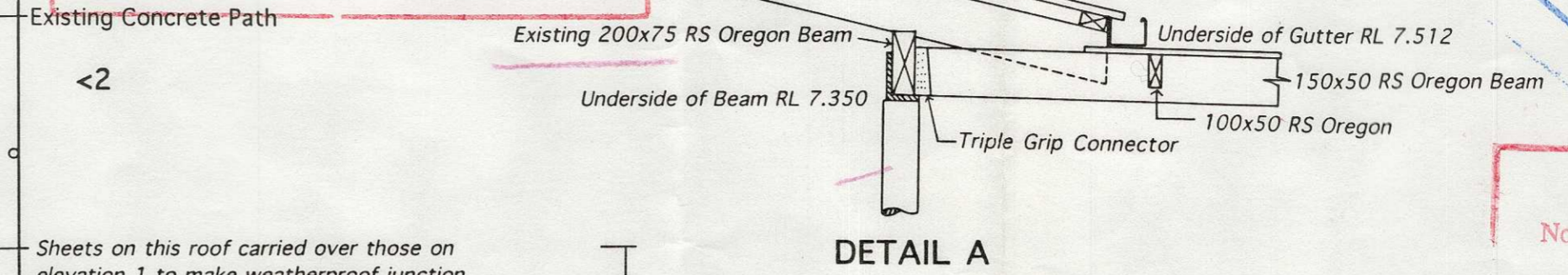
NOTE
All exposed timber to receive 2 coats of preservative stain to match timber on existing club house. All exposed metal to be painted to match stanchions on existing club house verandah.

APPROVED FOR CONSTRUCTION BY THE
 HOLDER OF A "C" CLASS LICENCE
 TYPE OF CONSTRUCTION REQUIRED
 CLASS OF OCCUPANCY
 98
 2/1/92
 DEPUTY BUILDING CONTROLLER UNDER
 BUILDING ACT 1972. E. ALLEN

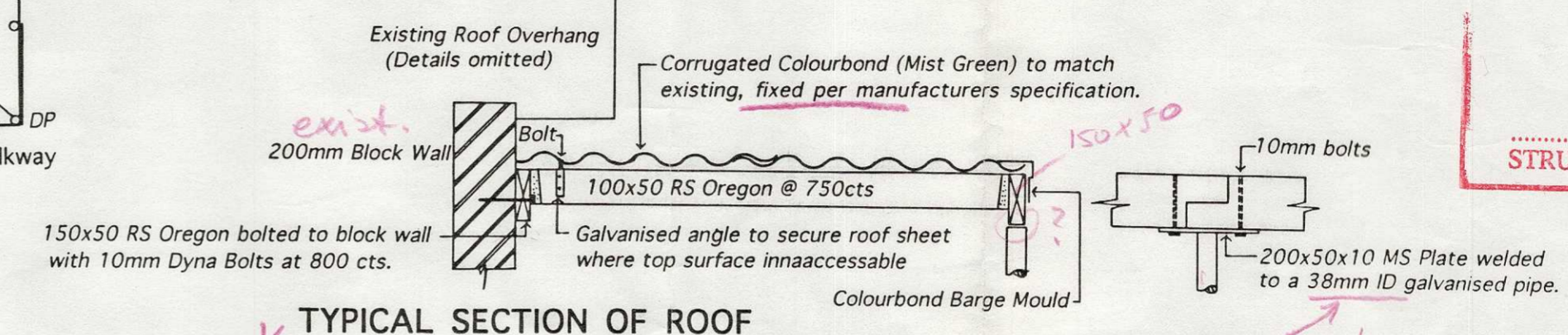
THIS APPROVAL DOES NOT SUPERSEDE THE
 REQUIREMENTS OF THE BUILDING CODE OF
 AUSTRALIA
**NEW WORK -
 NEW BUILDING PERMIT
 REQUIRED**

BUILDING WORK SHALL BE CONSTRUCTED IN
 ACCORDANCE WITH THE APPROVED PLANS THE
 BUILDING CODE OF AUSTRALIA THE NOTATIONS
 MADE ON THE PLANS AND ANY MATTERS SPECIFIED
 ON THE BUILDING PERMIT. THE APPROVAL OF
 PLANS OR THE GRANT OF BUILDING PERMIT DOES
 NOT AFFECT THE OPERATION OF ANY OTHER
 LAW IN THE TERRITORY NOR DOES IT AUTHORISE
 THE USE OF THE LAND CONTRARY TO A PROVISION
 OF THE CONVEYANCE ACT OR CONDITION OF LEASE.

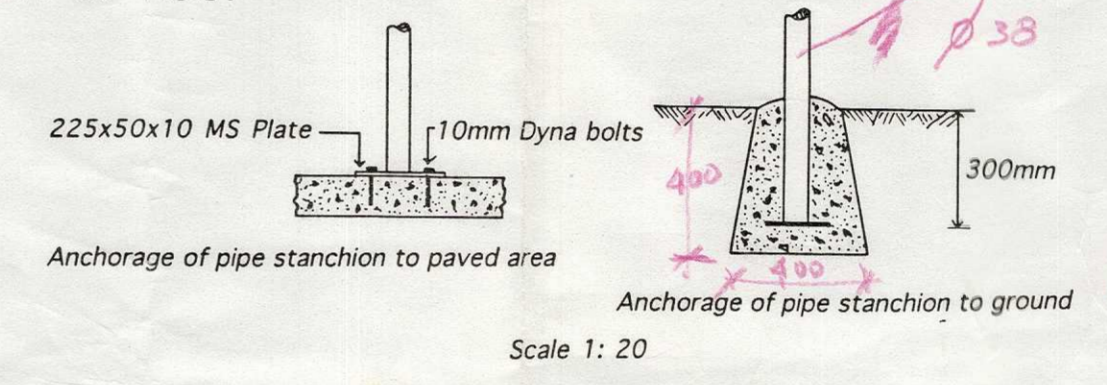
ACT BUILDING CONTROL
 Notes:.....
 M. R. ...
STRUCTURAL ENGINEER 01/07/1992



DETAIL A

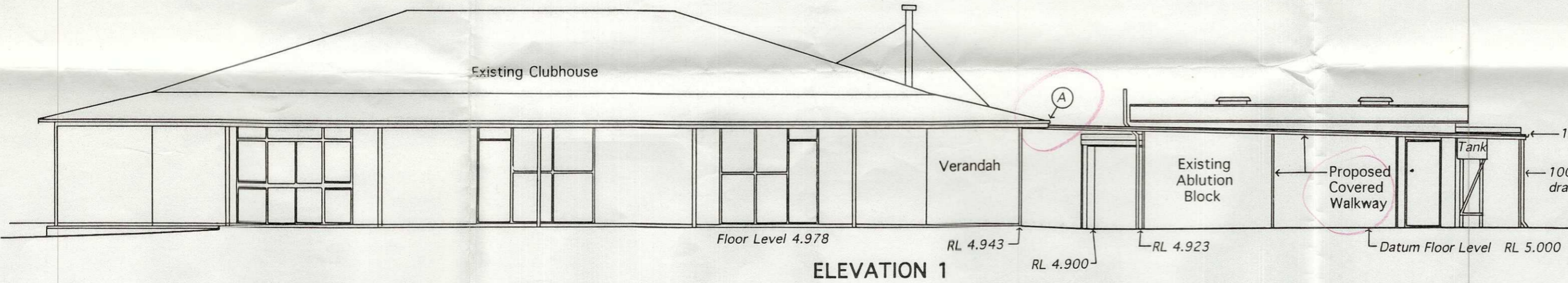


TYPICAL SECTION OF ROOF

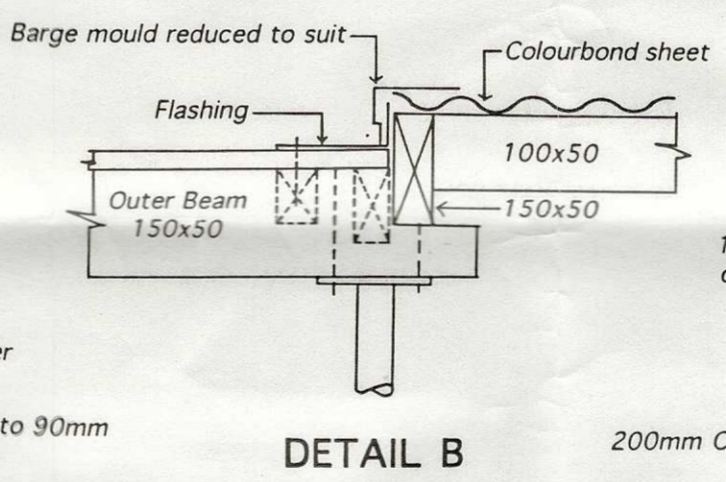


FOOTINGS TO BE TAKEN DOWN TO SOLID GROUND

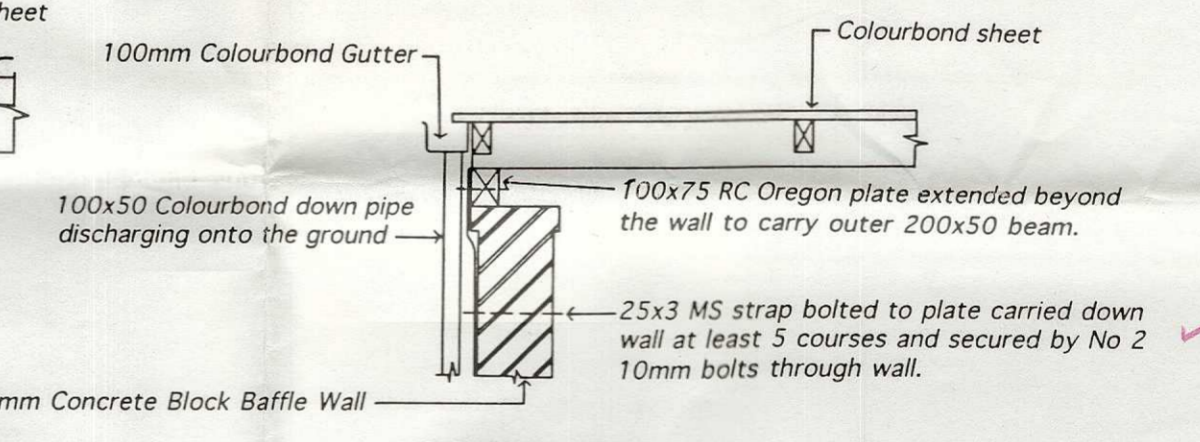
CONSTRUCTION MUST COMPLY
 WITH A.S. 1684-1979
 TIMBER FRAMING CODE
 AND RELEVANT SUPPLEMENTS



ELEVATION 1

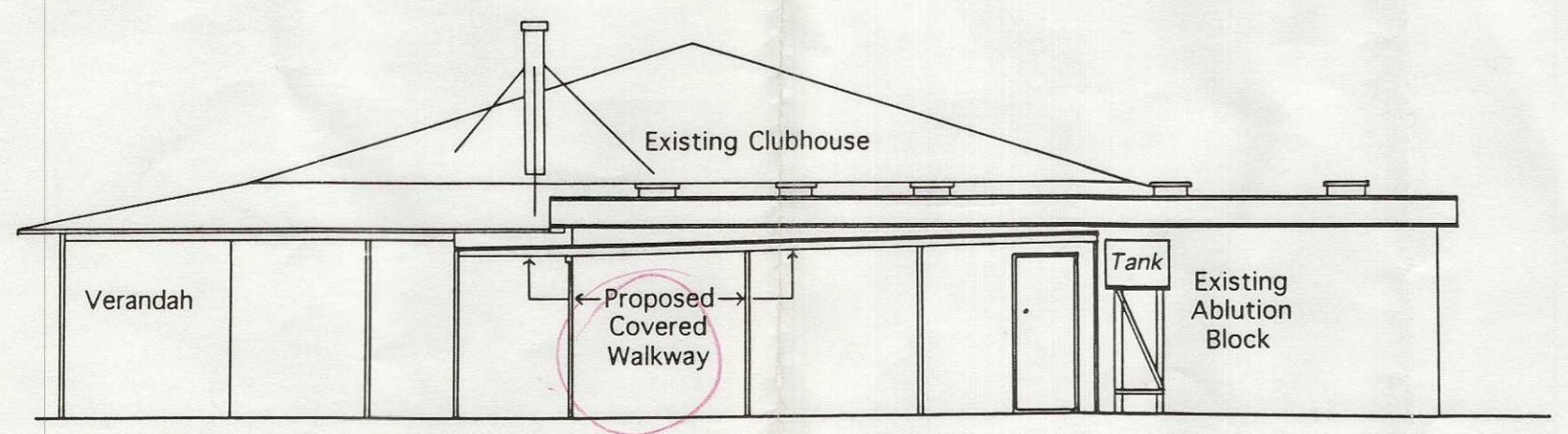


DETAIL B

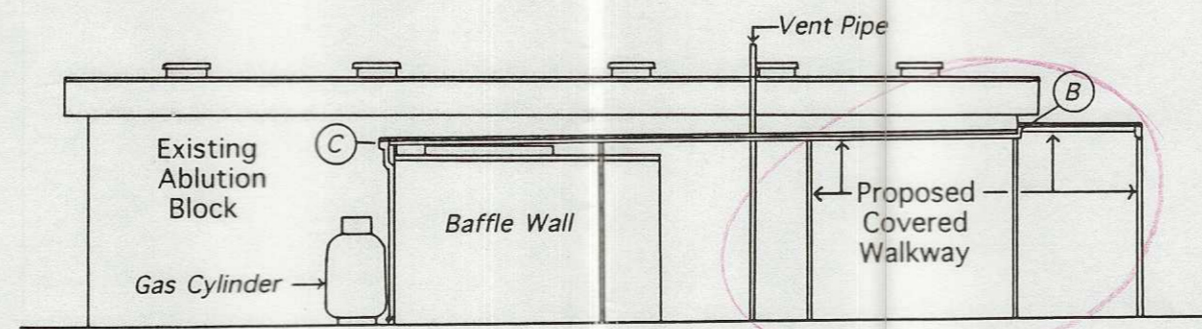


DETAIL C

Scale 1:10



ELEVATION 2



ELEVATION 3

BUILDINGS (DESIGN & STRUC)
 ACT 1964 (AS AMENDED)
**APPROVAL GRANTED
 PURSUANT TO SECTION 6**
 17 JUN 1992
 J. J. ...
 AUSTRALIAN CAPITAL TERRITORY
 PLANNING AUTHORITY

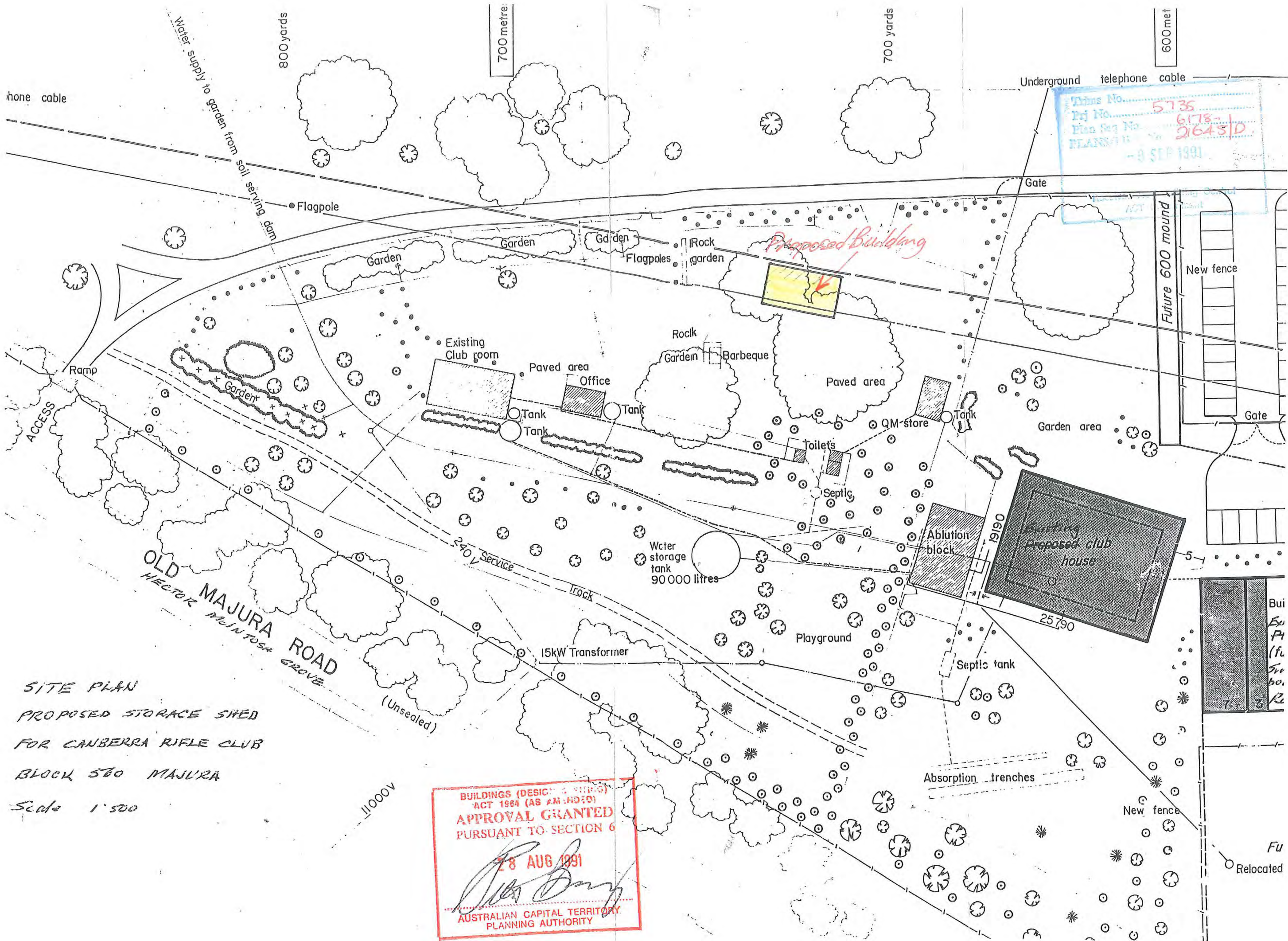
IN RESPECT OF NOMINATED AMENDMENTS ONLY

LAND DIVISION
 LEASE ADMINISTRATION BRANCH
APPROVAL GRANTED pursuant to the Crown Lease
 for the proposal outlined in plan No. 71. The proposed
 development does not appear to breach the provisions
 of the current lease.
 Delegate of the Minister
 10 JUN 1992

A.C.T. PLANNING
 AUTHORITY
16 JUN 1992
 APPLN No. 4714

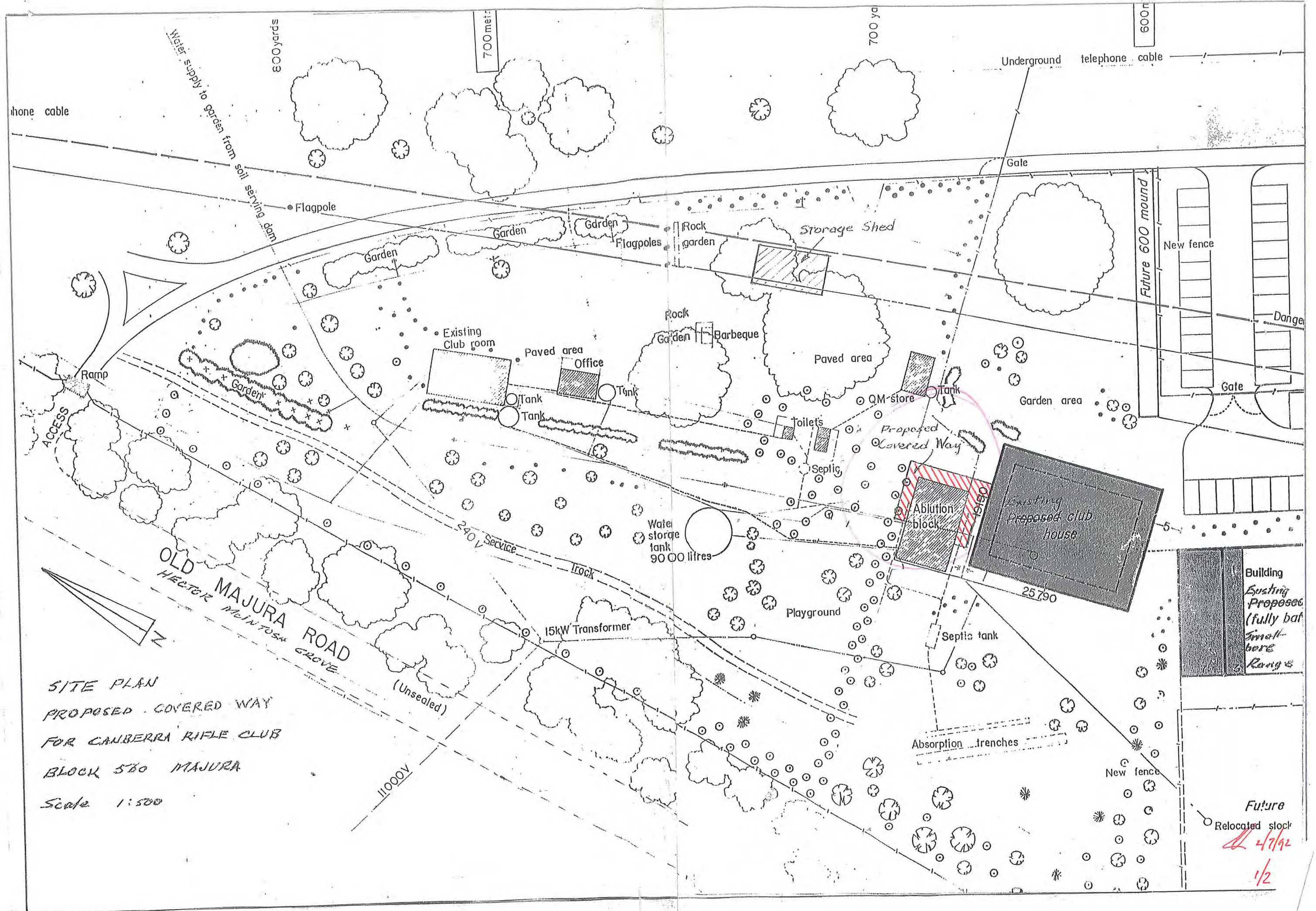
All work to comply with the building manual for the ACT

CANBERRA RIFLE CLUB
 PROPOSED WEATHERPROOF COVER TO ACCESS PATHS
 BETWEEN CLUB HOUSE AND ABLUTION BLOCK
 At Block 560 MAJURA
 Scale 1:100 or as shown



SITE PLAN
 PROPOSED STORAGE SHED
 FOR CANBERRA RIFLE CLUB
 BLOCK 580 MAJURA
 Scale 1:500

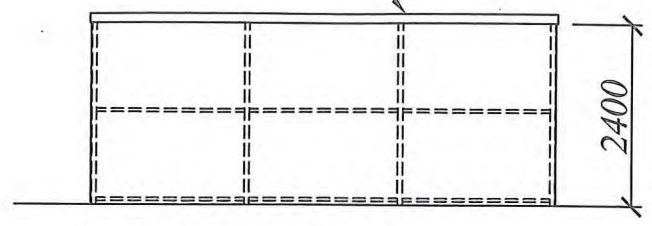
BUILDINGS (DESIGN & CONSTRUCTION)
 ACT 1964 (AS AMENDED)
APPROVAL GRANTED
 PURSUANT TO SECTION 6
 28 AUG 1991
 AUSTRALIAN CAPITAL TERRITORY
 PLANNING AUTHORITY



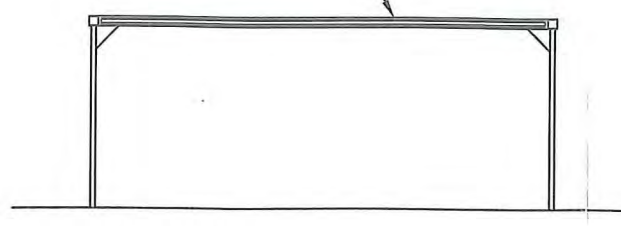
SITE PLAN
 PROPOSED COVERED WAY
 FOR CANBERRA RIFLE CLUB
 BLOCK 580 MAJURA
 Scale 1:500

FASCIA GUTTER
COLORBOND

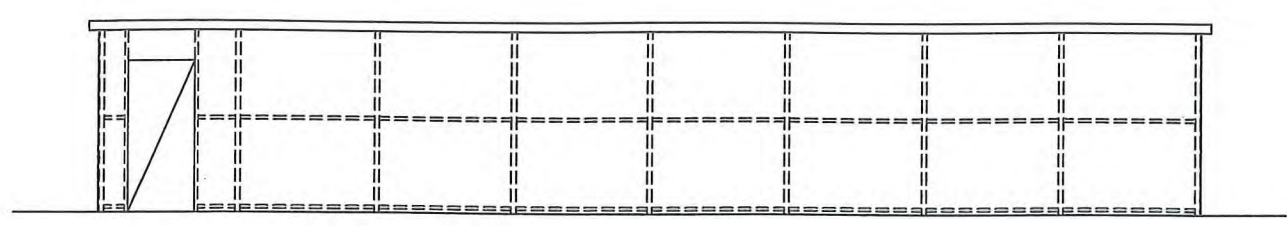
BHP TRIMDEK HITEN ROOFING
COLORBOND; NOT WHITE OR
OFF WHITE



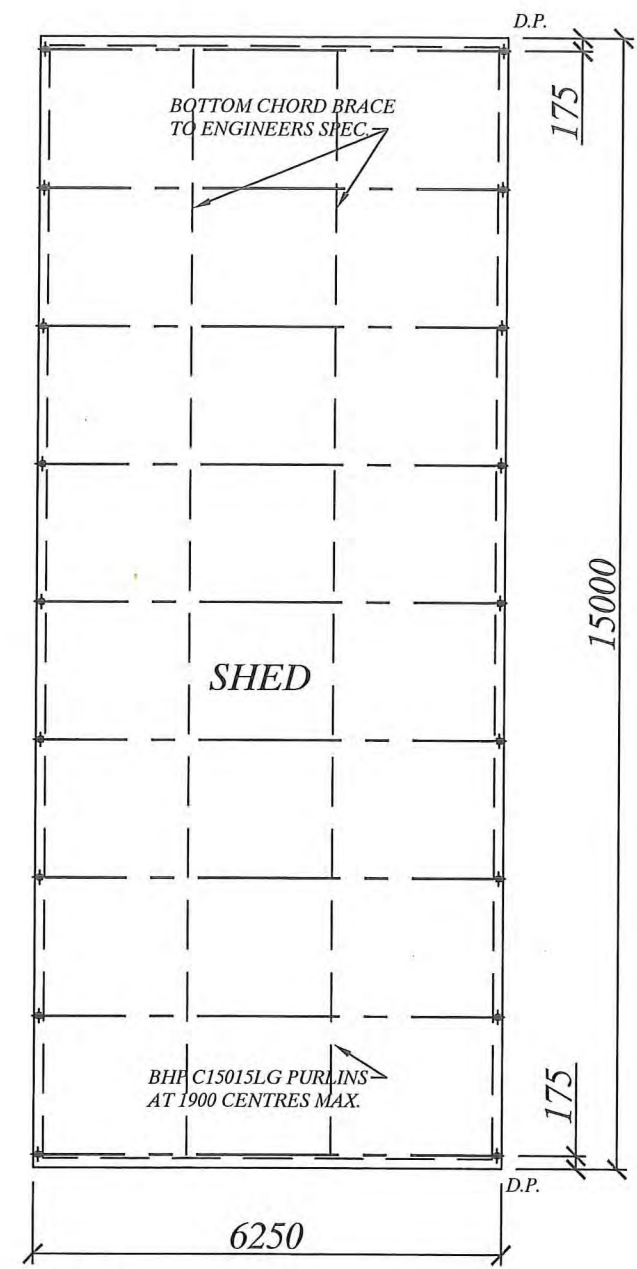
FRONT ELEVATION



SECTION

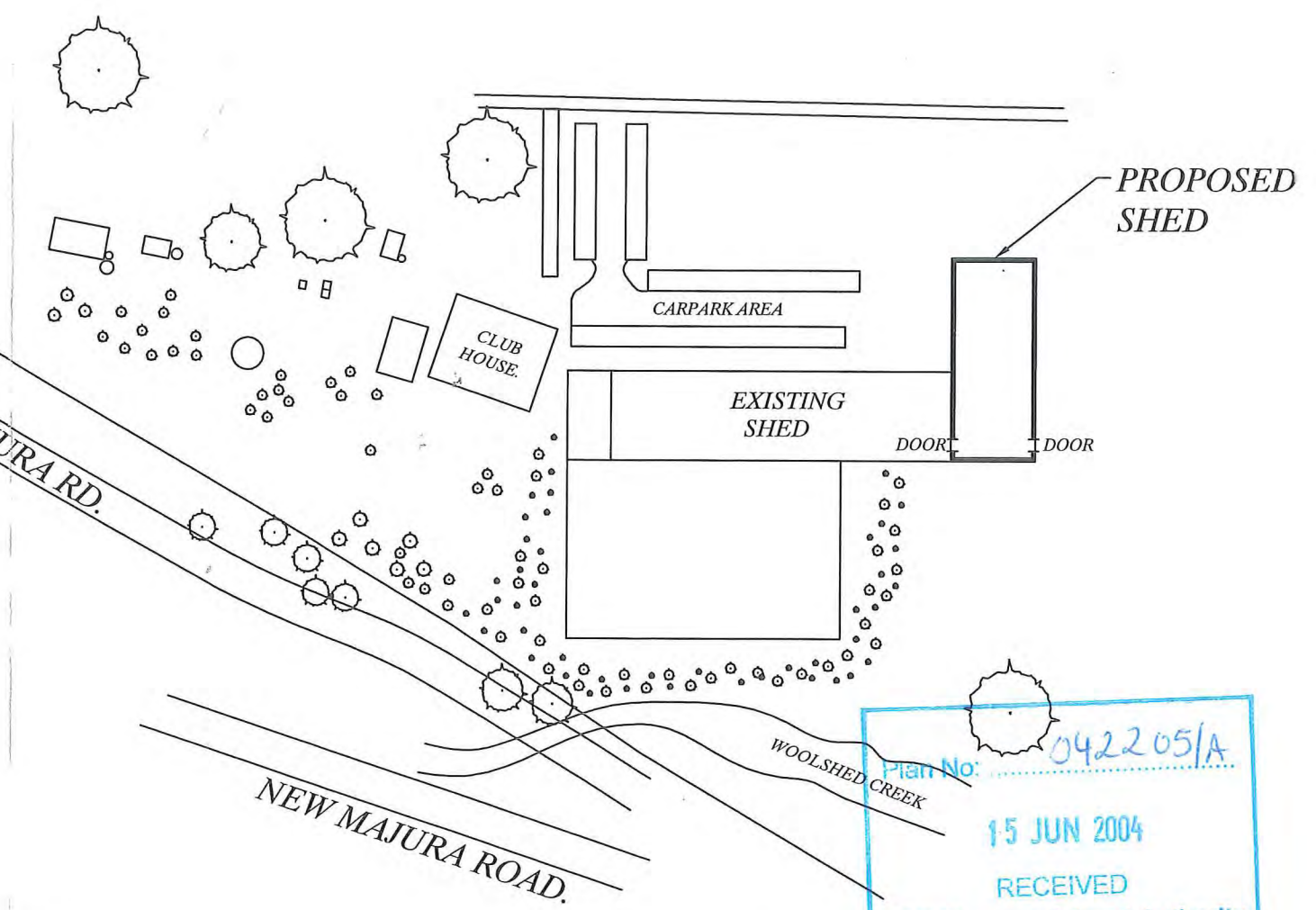


SIDE ELEVATION LEVEL SITE



PLAN

ACT Building Certifiers Pty.
BUILDING APPROVAL
Approved under s.34 of
the Building Act 1972.
DAVID McCULLOCH
B11 Reg No. 14604 Date
David McCulloch
Signature
Ph: 6230 1357 Fax: 6230 5979



NOTE:
FOR ALL STRUCTURAL DETAILS
SEE ENGINEERS SPECIFICATIONS.

Plan No: 042205/A
15 JUN 2004
RECEIVED
ACT Planning & Land Authority

Land (Planning and Environment Act 1991)
APPROVAL GRANTED
Pursuant to Section 204 or 245
31 MAR 2003
De Haven
Delegate of the Authority

CARPORT FOR: ACT SMALLBORE RIFLE CLUB		JOB AT:	BLOCK: 0
W.R. ENGINEERING PTY. LTD. 10-14 ISA ST FYSHWICK. PO BOX 12 FYSHWICK 2609.		UNIT:	SECTION: 560
Phone: (02) 62805988 Fax: (02) 62391147 info@wrengineering.com.au www.wrengineering.com.au			SUBURB: MAJURA
		SCALE: 1:100 1:500	
		DATE: JANUARY 2004	
		DRAWN: D. CARMICHAEL	

STRUCTURAL GUTTER WITH 40 x 40 x 2.5
ANGLE BACKING FULL LENGTH EACH SIDE

BEAMS AT 1800 CENTRES EXCEPT END BAYS
FRONT & REAR OF ROOF REDUCE TO 1600 CENTRES
PROVIDED ENDS OF SHEETING ARE ALSO FIXED TO
GUTTER LIP AT EVERY PAN. OTHERWISE REDUCE TO
1300 END BAY CENTRES

SPAN	4000	5300	6000	7500
BEAM	C10015	C15015	C15015	C20015
RHS BRACE	1 AT MID SPAN	1 AT MID SPAN	2 AT THIRD POINTS	2 AT THIRD POINTS
FOOTING SIZE	200 SQ x 400	200 SQ x 450	200 SQ x 475	200 SQ x 525

SPAN - SEE TABLE FOR BEAM SIZE

2400 MAX 40 x 40 x 2 RHS
3000 MAX 50 x 50 x 2 RHS
3200 MAX 65 x 65 x 2 RHS

25 x 25 x 1.6 RHS BRACE
SEE TABLE FOR NUMBER

40 x 40 x 2.0 RHS GIRTS WELD TO POSTS
AT 1200 MAXIMUM VERTICAL CENTRES

POSTS 40 x 40 x 2.0 RHS

FRONT AND REAR POSTS AT 2000 MAXIMUM
CENTRES, OTHERWISE SIMILAR TO SIDE POSTS

SEE TABLE FOR SIZE OF FOOTING
40 x 40 x 2.5 ANGLE STOP (TYPICAL)

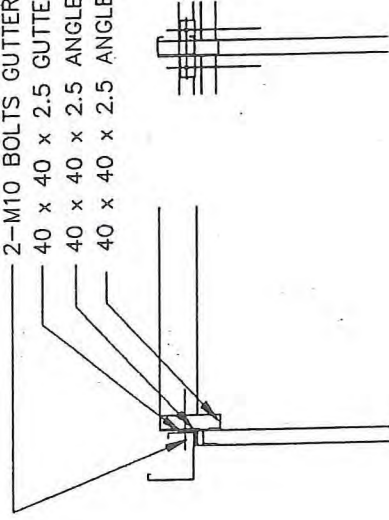
TYPICAL SECTION

NOTES

1. CONSTRUCTION AND STORMWATER REQUIREMENT SHALL BE TO THE BUILDING CODE OF AUSTRALIA
2. FOOTINGS SHALL BE TAKEN THE SPECIFIED FULL DEPTH INTO NATURAL GROUND, EXCEPT DEPTH MAY BE REDUCED BY 100 mm IF SLAB IS POURED DURING CONSTRUCTION. MAINTAIN 50 mm CONCRETE COVER TO STEEL. FOOTING HOLES MUST HAVE VERTICAL SIDES AND SQUARE CORNERS
3. TO ROOF AND WALL SHEETING SHALL BE TRIMDEK HI-TEN OR EQUAL FASTENED TO THE MANUFACTURER'S RECOMMENDATIONS
4. DESIGN LOADS ARE TO AS1170 PARTS 1 & 2, TERRAIN CATEGORY 3, 41 m/s SHELTERED LOCATION (WITHIN & NOT ON THE EDGE OF A BUILT-UP AREA)
5. DESIGN DEFLECTION 1/180 SPAN OR 40 mm MAXIMUM
6. SITE WORKS, CONCRETE SLAB, PAINTING BY OTHERS UNLESS NOTED OTHERWISE ON COVER SHEET
7. SHED MAY STAND ALONE OR BE ERECTED AS AN INTEGRAL PART OF A CARPORT TO DRAWING GW111

ACT Accreditation No: 91/12931/B

2-M10 BOLTS GUTTER ANGLE TO SEAT ANGLE
40 x 40 x 2.5 GUTTER ANGLE
40 x 40 x 2.5 ANGLE SEAT WELD TO VERTICAL ANGLE
40 x 40 x 2.5 ANGLE WELD TO BEAM AND POST



DETAILS

ALL ANGLES SHALL BE DURAGAL C350LO OR EQUAL

Aug 97. CORRECTION TO GIRTS

CERTIFIED: (VALID TO 31 JULY 2000) <i>Ray Franz</i> Ray Franz CPE, MIE Aust, B Arch. 30/10/97	BLOCK	SECTION
	SHED FOR W R ENGINEERING PTY LTD 12 ISA STREET Fyshwick 2609 PH 2805988	SCALE
	1:50	1:20
		GW113 A

RAY FRANZI M.I.E.AUST. STD (06) 2883789
CONSULTING ENGINEER FAX (06) 2884832
RAY FRANZI PTY. LIMITED
PO BOX 27 DUFFY ACT Aust.Cc. 008 541 866