



**ACT**  
Government

Chief Minister, Treasury and  
Economic Development

## Freedom of Information Publication Coversheet

The following information is provided pursuant to section 28 of the *Freedom of Information Act 2016*.

FOI Reference: CMTEDDFOI 2021-135

Information to be published	Status
1. Access application	Published
2. Decision notice	Published
3. Documents and schedule	Published
4. Additional information identified	No
5. Fees	N/A
6. Processing time (in working days)	45
7. Decision made by Ombudsman	N/A
8. Additional information identified by Ombudsman	N/A
9. Decision made by ACAT	N/A
10. Additional information identified by ACAT	N/A

**From:** [REDACTED]  
**To:** [CMTEDD.FOI](#)  
**Subject:** Freedom of Information request  
**Date:** Sunday, 20 June 2021 3:20:36 PM

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**CAUTION:** This email originated from outside of the ACT Government. Do not click links or open attachments unless you recognise the sender and know the content is safe.

Please find online enquiry details below. Please ensure this enquiry is responded to within fourteen working days.

### **Your details**

**All fields are optional, however an email address OR full postal address must be provided for us to process your request. An email address and telephone contact number will assist us to contact you quickly if we need to discuss your request.**

Title: Miss

First Name:

Last Name:

Business/Organisation:

Address:

Suburb:

Postcode:

State/Territory: ACT

Phone/mobile:

Email address: [REDACTED]

### **Request for information**

**(Please provide as much detail as possible, for example subject matter and relevant dates, and also provide details of documents that you are not interested in.)**

Under the Freedom of Information Act 2016 I want to access the following document/s (\*required field): Any applications submitted for approval in respect of [REDACTED] since January 2020 and any documents related to such applications.

I do not want to access the following documents in relation to my request::

Thank you.  
Freedom of Information Coordinator



**ACT**  
Government

Chief Minister, Treasury and  
Economic Development

Our ref: CMTEDDFOI 2021-135

via email: [REDACTED]

Dear Applicant

## **FREEDOM OF INFORMATION REQUEST**

I refer to your application under section 30 of the *Freedom of Information Act 2016* (the Act), received by the Chief Minister, Treasury and Economic Development Directorate (CMTEDD) on 20 June 2021.

Specifically, you are seeking: *"Any applications submitted for approval in respect of [REDACTED] since January 2020 and any documents related to such applications."*

### **Authority**

I am an Information Officer appointed by the Director-General of CMTEDD under section 18 of the Act to deal with access applications made under Part 5 of the Act.

### **Timeframes**

In accordance with section 40 of the Act, CMTEDD is required to provide a decision on your access application by 19 July 2021 however, following from third party consultations, the due date is now 9 August 2021.

### **Third party consultation**

In determining this access request, I identified that some of the information may reasonably be expected to be of concern of third parties. In accordance with section 38 of the Act, I have undertaken third party consultation. I have considered the contentions raised by the third party in making this decision.

In accordance with section 54(2) of the Act a statement of reasons outlining my decision is below.

### **Decision on access**

Searches were completed for relevant documents and 14 documents were identified that fall within the scope of your request.

I have included as **Attachment A** to this decision the schedule of relevant documents. This provides a description of each document that falls within the scope of your request and the access decision for each of those documents.

I have decided to grant access in full to two documents and partial access to 12 documents.

My access decisions are detailed further in the following statement of reasons and the documents released to you are provided as Attachment B to this letter.

In accordance with section 54(2) of the Act a statement of reasons outlining my decisions is below.

### **Statement of Reasons**

In reaching my access decision, I have taken the following into account:

- the Act;
- the content of the documents that fall within the scope of your request;
- third party contentions; and
- the *Human Rights Act 2004*.

### **Exemption claimed**

My reasons for deciding not to grant access to the identified documents and components of these documents are as follows:

#### Public Interest

The Act has a presumption in favour of disclosure. As a decision maker I am required to decide where, on balance, public interests lies. As part of this process I must consider factors favouring disclosure and non-disclosure.

In *Hogan v Hinch* (2011) 243 CLR 506, [31] French CJ stated that when ‘used in a statute, the term [public interest] derives its content from “the subject matter and the scope and purpose” of the enactment in which it appears’. Section 17(1) of the Act sets out the test, to be applied to determine whether disclosure of information would be contrary to the public interest. These factors are found in subsection 17(2) and Schedule 2 of the Act.

Taking into consideration the information contained in the documents found to be within the scope of your request, I have identified that the following public interest factors are relevant to determine if release of the information contained within these documents is within the ‘public interest’.

#### Factors favouring disclosure in the public interest:

(a) *disclosure of the information could reasonably be expected to do any of the following:*

- (b) (xiii) *contribute to the administration of justice generally, including procedural fairness.*

Having considered the factors identified as relevant in this matter, I consider that release of the information contained in the documents may contribute to procedural fairness by allowing you to have a copy of the documents that fall within the scope of your request.

#### Factors favouring nondisclosure in the public interest:

(a) *disclosure of the information could reasonably be expected to do any of the following:*

- (b) (ii) *Prejudice the protection of an individual’s right to privacy or other rights under the Human Rights Act 2004;*

Taking into account the submissions put to me by the relevant third parties as part of the consultation undertaken in accordance with section 38 of the Act and having reviewed



the documents, I consider that the protection of an individual's right to privacy, especially in the course of dealings with the ACT Government is a significant factor as the parties involved have provided their personal information for the purposes of working with the ACT Government. This, in my opinion, outweighs the benefit which may be derived from releasing the personal information of the individual's involved in this matter.

Individuals are entitled to expect that the personal information they have supplied as part of this process will be dealt with in a manner that protects their privacy. Considering the type of information to be withheld from release, I am satisfied that the factors in favour of release can still be met while protecting the personal information of the individuals involved. I therefore weight the factor for non-disclosure more highly than the factor in favour of release in this instance. As a result, I have decided that release of this information (names, addresses, email addresses, signatures, phone numbers, mobile phone numbers, internal layout, identifying details and costs of works) could prejudice their right to privacy under the Human Rights Act 2004.

Having applied the test outlined in section 17 of the Act and deciding that release of personal information contained in the documents is not in the public interest to release, I have chosen to redact this specific information in accordance with section 50(2). Noting the pro-disclosure intent of the Act, I am satisfied that redacting only the information that I believe is not in the public interest to release will ensure that the intent of the Act is met and will provide you with access to the majority of the information held by CMTEDD within the scope of your request.

### **Access to documents**

Pursuant to section 38(6) of the Act, I am required to defer access to all the identified documents as an affected third party has objected to disclosure. This third party may apply for review of my release decision within 20 working days after my decision is published in CMTEDD disclosure log, or a longer period allowed by the Ombudsman. I will write to you to advise when access is no longer deferred.

### **Charges**

Processing charges are not applicable for this request because the number of pages to be released to you is below the charging threshold of 50 pages.

### **Online publishing – Disclosure Log**

Under section 28 of the Act, CMTEDD maintains an online record of access applications called a disclosure log. Your original access application, my decision and documents released to you in response to your access application will be published in the CMTEDD disclosure log after the conclusion of the third party review period. Your personal contact details will not be published. You may view CMTEDD disclosure log at <https://www.cmtedd.act.gov.au/functions/foi>.

### **Ombudsman Review**

My decision on your access request is a reviewable decision as identified in Schedule 3 of the Act. You have the right to seek Ombudsman review of this outcome under section 73

of the Act within 20 working days from the date of my decision, or a longer period allowed by the Ombudsman.

We recommend using this form [Applying for an Ombudsman Review](#) to ensure you provide all of the required information. Alternatively, you may write to the Ombudsman at:

The ACT Ombudsman  
GPO Box 442  
CANBERRA ACT 2601

Via email: [actfoi@ombudsman.gov.au](mailto:actfoi@ombudsman.gov.au)

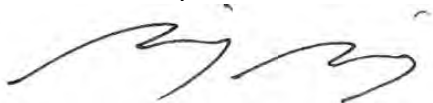
#### **ACT Civil and Administrative Tribunal (ACAT) Review**

Under section 84 of the Act, if a decision is made under section 82(1) on an Ombudsman review, you may apply to the ACAT for review of the Ombudsman decision. Further information may be obtained from the ACAT at:

ACT Civil and Administrative Tribunal  
Level 4, 1 Moore St  
GPO Box 370  
Canberra City ACT 2601  
Telephone: (02) 6207 1740  
<http://www.acat.act.gov.au/>

Should you have any queries in relation to your request please contact me by telephone on 02 6207 7754 or email [CMTEDDFOI@act.gov.au](mailto:CMTEDDFOI@act.gov.au).

Yours sincerely



Daniel Riley  
Information Officer  
Information Access Team  
Chief Minister, Treasury and Economic Development Directorate

6 August 2021



**ACT**  
Government

Chief Minister, Treasury and  
Economic Development

## FREEDOM OF INFORMATION REQUEST SCHEDULE

WHAT ARE THE PARAMETERS OF THE REQUEST	Reference NO.
Any applications submitted for approval in respect of <span style="background-color: #cccccc;">[redacted]</span> since January 2020 and any documents related to such applications.	CMTEDDFOI 2021-135

Ref No	Page number	Description	Date	Status	Reason for Exemption	Online Release Status
1	1-3	Appointment of builder and application for commencement notice	3 Feb 2021	Partial release	Sch 2 s2.2 (a)(ii)	Yes
2	4-6	Appointment of a certifier Application for building approval	3 Feb 2021	Partial release	Sch 2 s2.2 (a)(ii)	Yes
3	7-9	Appointment of a Certifier and Application for Building Approval	Undated	Partial release	Sch 2 s2.2 (a)(ii)	Yes
4	10-11	Site Work Notice	30 Mar 2021	Partial release	Sch 2 s2.2 (a)(ii)	Yes
5	12-16	ACT Building Approval Letter – with plans attached	31 Mar 2021	Partial release	Sch 2 s2.2 (a)(ii)	Yes
6	17-18	Building Approval	31 Mar 2021	Partial release	Sch 2 s2.2 (a)(ii)	Yes
7	19-21	Application for Building Commencement Notice	31 Mar 2021	Partial release	Sch 2 s2.2 (a)(ii)	Yes
8	22-23	Building commencement notice	14 Apr 2021	Partial release	Sch 2 s2.2 (a)(ii)	Yes
9	24	Form 7A – Information for adjoining resident about proposed exempt development	Undated	Partial release	Sch 2 s2.2 (a)(ii)	Yes
10	25	Inspection Record	23 Apr 2021	Partial release	Sch 2 s2.2 (a)(ii)	Yes
11	26-28	Building Approval completeness checklist	29 Apr 2021	Partial release	Sch 2 s2.2 (a)(ii)	Yes
12	29-31	Assessment of Proposal with approved plans	27 Aug 2020	Partial release	Sch 2 s2.2 (a)(ii)	Yes
13	32-33	Endorsed Landscape Management and Protection Plans	27 Aug 2020	Partial release	Sch 2 s2.2 (a)(ii)	Yes
14	34-39	Building Plans	Undated	Partial release	Sch 2 s2.2 (a)(ii)	Yes
Total No of Docs						
14						



# APPOINTMENT OF BUILDER & APPLICATION FOR COMMENCEMENT NOTICE

Building Act 2004, S151

In completing this form the owner is authorising the builder nominated below to apply to the appointed certifier to issue a Commencement Notice for the works detailed in this application form.

## PART A PROJECT DETAILS

Block  Section  Suburb  Unit No.

Street Address

Certifier Name

Description of Building Works relevant to this application-If more than 6 items please attach further details

1	ALTERATIONS AND DECK / PERGOLA
2	
3	
4	

## PART B OWNER DETAILS — Please Print

All owners must be listed

Owner 1 will be considered the contact person in relation to this application

Company Details

Owner 1  Owner 2   
Owner 3  Owner 4

Postal Address

Suburb  State  Postcode

Phone Number Business Hours  Mobile

EMAIL ADDRESS



**PART C****APPOINTMENT OF BUILDER**

I/we the owner/s have appointed the person whose details appear below as the builder in relation to the building works described in this form

Licence Holders Name as it appears on licence card

Phillip Braido

Licence Number

2021434

Class

Owner/  
Builder

Expiry  
Date

06/04/2024

List any conditions or endorsements on licence

EMAIL ADDRESS

Sch 2.2(a)(ii)

**PART D****NOMINEE'S DETAILS**

If the builder is a company or partnership provide details of the Nominee who will supervise the building

Nominee's Name

Licence Number

Class

Expiry  
Date

Signature of Nominee

Date

**PART E****OWNER SIGNATURE**

Owner 1

Signature

DATE:

Owner 2

Signature

DATE:

Owner 3

Signature

DATE:

Owner 4

Signature

DATE:

**PART F****BUILDER APPLICATION TO CERTIFIER FOR COMMENCEMENT NOTICE**

I hereby apply to the building certifier listed above for a commencement notice for the works detailed in Part A of this form in accordance with the Building Act 2004.

☐ A site sign was **not** required to be displayed prior to making this application.

☐ A site sign **was** required to be displayed prior to making this application and I declare that a compliant sign was erected and displayed

Signature of Builder

Date

**NOTE:** There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

**PART G****INSURANCE OR FIDELITY CERTIFICATE**

For residential building work please provide details of insurance where applicable

Insurance  
Provider

Policy No.

Date  
Issued

**PLEASE NOTE:**

- ▶ A copy of this notice and where applicable the residential building insurance policy or fidelity certificate must be given to the Construction Occupations Registrar within one (1) week of the issue date.
- ▶ A copy of the Commencement Notice must also be provided to the owner/s.

**Privacy Notice**

The personal information on this form is provided to Access Canberra to enable the processing of your application. The collection of personal information is authorised by the *Building Act 2004*. If all or some of the personal information is not collected Access Canberra cannot process your application. The personal information you provide may be disclosed to Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be disclosed where authorised by law or court order, or where the Directorate reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. Access Canberra's Information Privacy Policy contains information about how you may access or seek to correct your personal information held by Access Canberra, and how you may complain about an alleged breach of the Territory Privacy Principles. Access Canberra Information Privacy Policy can be found at [www.act.gov.au/accessCBR](http://www.act.gov.au/accessCBR)

**CONTACT INFORMATION**

**Email:**

ACTPLAdevelopmentBA@act.gov.au

**Post:**

Access Canberra  
Building Services  
Shopfront Mitchell  
GPO Box 158  
Canberra, ACT 2601

**In Person:**

Please visit  
[www.act.gov.au/accessCBR](http://www.act.gov.au/accessCBR)  
Or call **132281** to find an  
Access Canberra Shopfront.



# APPOINTMENT OF A CERTIFIER APPLICATION FOR BUILDING APPROVAL

Building Act 2004, S151

This form is to be completed by the Owner/s of the land to which the building work relates.

PART A PROJECT DETAILS				
Block	Section	Suburb	Unit No.	
Street Address				

Description of Building Works relevant to this application-If more than 4 items please attach further details

Describe each item of building work in this building approval	BCA Occupancy Class	BCA Construction Type	Area (m <sup>2</sup> )	Number of Storeys	Cost of Works (refer to building cost Sch 2.2(a)(ii))
1 External alterations	1a	N/A	5	1	
2 Deck and Pergola	10a	N/A	78	1	
3					
4					

## Applicable approved requirements and reasons why building approval is not prevented from being issued

Is all work exempt from development approval?

☒ YES Attach assessment for exempt development checklist (if applicable)

☐ NO Provide reason/s or description of work: \_\_\_\_\_

## Description of Attachments compliant with Division 3.3 Building Act 2004

Please attach any additional documentation not listed below



Building Approval  
Plans



Referrals, consultations &  
consents outcomes



Asbestos Advice - If documents accompanying building approval do not  
include an asbestos assessment report as per the Building Act 2004, the  
building approval must have an AA attached as per the Act

## PART B OWNER'S DETAILS — Please Print

All owners must be listed

Owner 1 will be considered the contact person in relation to this application

Company Details

ACN/ABN Number

Owner 1

Sch 2.2(a)(ii)

Owner 2

Sch 2.2(a)(ii)

Owner 3

Owner 4

Approved form AF2016-85 approved by David Middlemiss, Construction Occupations Deputy Registrar on 10 August 2016  
under section 151 of the Building Act 2004 and revokes AF2016-80.



**PART B continued** **OWNER/S DETAILS – Please Print**

Postal Address	Sch 2.2(a)(ii)		
Suburb	Sch 2.2(a)(ii)	State	Sch 2.2(a)(ii)
Postcode	Sch 2.2(a)(ii)		
Phone Number Business Hours	Sch 2.2(a)(ii)	Mobile	Sch 2.2(a)(ii)
EMAIL ADDRESS	Sch 2.2(a)(ii)		

**PART C** **APPOINTMENT OF CERTIFIER**

As required under the Building ACT 2004 I/we hereby advise that I/we the owner/s have appointed the person whose details appear below as the certifier in relation to the building works described in this form

Company Details	Auscert Building Certifiers Pty Ltd		
Name of Certifier		ABN/ACN	622 174 476
Postal Address	PO Box 148		
Suburb	Calwell	State	ACT
Postcode	2905		
Phone Number Business Hours	Sch 2.2(a)(ii)	Mobile	
EMAIL ADDRESS	info@auscertifiers.com.au		

**PART D** **APPLICATION FOR BUILDING APPROVAL**

I/we the Owner/s of the abovementioned property hereby apply under Section 26 of the *Building Act 2004* to the certifier named above to issue a building approval for the building work described in this form. I/we have provided the certifier with information and documentation required to issue a building approval as specified in the *Building (General) Regulation 2008*.

**PART E** **AUTHORITY TO ACCESS BUILDING FILE**

I/we hereby authorise the certifier to access the building file for the property which is the subject of this application for the purposes of obtaining information relevant to the issuing of a building approval and associated processes.

**PART F** **OWNER/S SIGNATURE/S**

1st Owner's Signature	Sch 2.2(a)(ii)	Date	3/2/2021
2nd Owner's Signature		Date	3/2/2021
3rd Owner's Signature		Date	
4th Owner's Signature		Date	

**NOTE:** There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.



Where relevant the following information **MUST** be included in either the application or the plans accompanying the application for building approval:

#### General Requirements

- ▶ Estimated Cost of Works -as per *Building (General) (Cost of Building Work) Determination 2015*
- ▶ if the proposed building work to be carried out at or near a street or place that is open to or used by the public the application must contain details of the precautions proposed to be taken to protect the safety of people using the street or place while the building work is carried out
- ▶ the area of the parcel of land to which this application relates
- ▶ the class of the building according to the intended use of the building as proposed to be erected or altered;
- ▶ if applicable what fire-resisting construction type (under the building code) the building as proposed to be erected or altered will be  
*Note: Fire-resisting construction type may not be applicable if an alternative solution under the building code is used*
- ▶ for an application relating to the erection of a class 1 building the site classification of the parcel of land
- ▶ for an application relating to the alteration of a class 1 building if the alteration will increase the building load carried by foundation material beyond the building load carried by the foundation before the alteration
- ▶ the site classification of the parcel of land
- ▶ for an application relating to the alteration of a building the class and type of fire-resisting construction of the existing building classified under the building code and the materials used in the existing building  
*Note Fire-resisting construction type may not be applicable if an alternative solution under the building code is used*
- ▶ the number of storey's of the building as proposed to be erected or altered;
- ▶ the number of new dwellings (if any) created by the proposed building work;
- ▶ the floor area of the proposed building or proposed new part of the building;
- ▶ the materials to be used in the frame, floor, walls and roof of the proposed building or proposed new part of the building
- ▶ if a performance requirement of the building code is to be complied with by use of an alternative solution under the code -
  - (i) the performance requirement; and
  - (ii) the alternative solution; and
  - (iii) each assessment method used to show that the alternative solution complies with the performance requirement;
- ▶ if the building code does not state a standard of work in relation to any part of the proposed building work and it is intended to carry out that part of the proposed building work in accordance with a standard of work stated in another document -
  - (i) the nature of the proposed building work; and
  - (ii) the title of the document; and
  - (iii) each assessment method used to show that the proposed building work complies with the standard of work stated in the document.

#### Removal or demolition of building/s

- ▶ Details of the methods to be used in carrying out the proposed building work, including a work plan stated or set out in AS 2601 (Demolition of structures), as in force from time to time;
- ▶ the number of dwellings (if any) to be demolished.

#### Asbestos

- ▶ The application must include a description of the method proposed to be used to remove the bonded asbestos sheeting from the building
- ▶ the application must include the following information:
  - (i) the method proposed to be used to remove the asbestos;
  - (ii) the approximate amount and kind of asbestos to be removed;
  - (iii) the equipment proposed to be used to remove the asbestos, including any personal protective equipment;
  - (iv) details of a program, prepared in accordance with the asbestos removal code, for monitoring airborne asbestos to be followed during the removal.

#### Privacy Notice

The personal information on this form is provided to Access Canberra to enable the processing of your application. The collection of personal information is authorised by the *Building Act 2004*. If all or some of the personal information is not collected Access Canberra cannot process your application. The personal information you provide may be disclosed to Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be disclosed where authorised by law or court order, or where the Directorate reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. Access Canberra's Information Privacy Policy contains information about how you may access or seek to correct your personal information held by Access Canberra, and how you may complain about an alleged breach of the Territory Privacy Principles. Access Canberra Information Privacy Policy can be found at [www.act.gov.au/accessCBR](http://www.act.gov.au/accessCBR)

#### CONTACT INFORMATION

**Email:**  
ACTPLAdevelopmentBA@act.gov.au

**Post:**  
Access Canberra  
Building Services  
Shopfront Mitchell  
GPO Box 158  
Canberra, ACT 2601

**In Person:**  
Please visit  
[www.act.gov.au/accessCBR](http://www.act.gov.au/accessCBR)  
Or call **132281** to find an  
Access Canberra Shopfront.



Building Act 2004, S151

## Appointment of a Certifier and Application for Building Approval

Project ID: B20211637

This form is to be completed by the Owner/s of the land to which the building work relates

### PART A - PROJECT DETAILS

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
					Australian Capital Territory

### PART B - OWNER DETAILS

Name	Address	Email Address
Sch 2.2(a)(ii)		

### PART C - APPOINTMENT OF CERTIFIER

As required under the Building ACT 2004 I/we hereby advise that I/we the owner/s have appointed the person whose details appear below as the certifier in relation to the building works described in this form

Full Name	Address	License Number	Expiry Date
AUSCERT BUILDING CERTIFIERS	PO Box 148 CALWELL ACT 2905	2017963	27/09/2021

### PART D - APPLICATION FOR BUILDING APPROVAL

I/we the owners of the abovementioned property hereby apply to the certifier named above to issue a building approval under Section 26 of the Building Act 2004 for the building works detailed in the following table

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
1a	Other	SEE DESCRIPTION	External Alterations	NA	1	5.00	Sch 2.2(a)(ii)
10a	New	DA EXEMPT-DECK AND PERGOLA	Deck and Pergola	NA	1	78.00	

I/we have provided the certifier with the information and documentation required to issue a building approval as specified in the Building (General) Regulation 2008.

### PART E - AUTHORITY TO ACCESS BUILDING FILE

I/we hereby authorise the certifier to access the building file held by Access Canberra for the property which is the subject of this application for the purposes of obtaining information relevant to the issuing of a building approval and associated processes.

### PART F - OWNER/S SIGNATURE/S

Name	Signature	Date
Sch 2.2(a)(ii)		

## APPLICATION FOR BUILDING APPROVAL REQUIREMENTS

### Building (General) Regulations 2008

Where relevant the following information **MUST** be included in either the application or the plans accompanying the application for building approval:

#### General Requirements

- Estimated Cost of Works -as per Building (General) (Cost of Building Work) Determination 2011
- if the proposed building work to be carried out at or near a street or place that is open to or used by the public the application must contain details of the precautions proposed to be taken to protect the safety of people using the street or place while the building work is carried out
- the area of the parcel of land to which this application relates
- the class of the building according to the intended use of the building as proposed to be erected or altered;
- if applicable what fire-resisting construction type (under the building code) the building as proposed to be erected or altered will be.

Note: Fire-resisting construction type may not be applicable if an alternative solution under the building code is used.

- for an application relating to the erection of a class 1 building the site classification of the parcel of land
- for an application relating to the alteration of a class 1 building if the alteration will increase the building load carried by foundation material beyond the building load carried by the foundation before the alteration.

- the site classification of the parcel of land

- for an application relating to the alteration of a building the class and type of fire-resisting construction of the existing building classified under the building code and the materials used in the existing building

Note Fire-resisting construction type may not be applicable if an alternative solution under the building code is used.

- the number of storeys of the building as proposed to be erected or altered;
- the number of new dwellings (if any) created by the proposed building work;
- the floor area of the proposed building or proposed new part of the building;
- the materials to be used in the frame, floor, walls and roof of the proposed building or proposed new part of the building
- if a performance requirement of the building code is to be complied with by use of an alternative solution under the code -

(i) the performance requirement; and

(ii) the alternative solution; and

(iii) each assessment method used to show that the alternative solution complies with the performance requirement;

- if the building code does not state a standard of work in relation to any part of the proposed building work and it is intended to carry out that part of the proposed building work in accordance with a standard of work stated in another document -

(i) the nature of the proposed building work; and

(ii) the title of the document; and

(iii) each assessment method used to show that the proposed building work complies with the standard of work stated in the document.

#### Removal or demolition of building/s

- Details of the methods to be used in carrying out the proposed building work, including a work plan stated or set out in AS 2601 (Demolition of structures), as in force from time to time;
- the number of dwellings (if any) to be demolished.

#### Asbestos

- The application must include a description of the method proposed to be used to remove the bonded asbestos sheeting from the building.

- the application must include the following information:

(i) the method proposed to be used to remove the asbestos;

(ii) the approximate amount and kind of asbestos to be removed;

(iii) the equipment proposed to be used to remove the asbestos, including any personal protective equipment;

(iv) details of a program, prepared in accordance with the asbestos removal code, for monitoring airborne asbestos to be followed during the removal.

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.



**Lease/Site Details**

Block	<input type="text"/>	Section	<input type="text"/>	Suburb	<input type="text"/>	Division	<input type="text"/>
Unit No	<input type="text"/>	Street Address	<input type="text"/>				

**Building Approval Application and Site Work Details**

This notice is issued in relation to the site work shown in the plans submitted as part of the application for a building approval dated made by the following applicants:

**Sch 2.2(a)(ii)**

on: date 30/03/2021

This notice applies to all site work in that application for which there is no—

- (a) exemption assessment D notice stating that the site work is exempt development issued for the work not more than 3 months before the day the application was made;
- (b) exemption declaration under the *Planning and Development Regulation 2008*, schedule 1, section 1.100A (1) (b) or section 1.100AB (1) (b) made by the planning and land authority; or
- (c) current development approval issued in relation to the site work.

**NOTE:** Site work is development that is—

- (a) building work; and
- (b) work other than building work that—
  - (i) physically affects the place (the building site) where the building work is being carried out; and
  - (ii) if not carried out at the building site, is carried out near, and connected with, the building site.

Examples: putting up temporary fencing, installing measures for erosion control, building a house, damaging or removing a significant tree, laying paving for driveways and parking areas, installing landscaping, site clearing and excavation, erecting site signage, erecting a pergola

**Building Certifier Details** *Please Print*

Surname	<input type="text" value="Kolano"/>	First Name	<input type="text" value="Stephen"/>
Company Name	<input type="text" value="Auscert Building Certifiers Pty Ltd"/>		
Licence Number	<input type="text" value="2017963"/>	Contact Number	<input type="text" value="Sch 2.2(a)(ii)"/>
Postal Address	<input type="text" value="PO Box 148"/>		
Suburb	<input type="text" value="Calwell"/>	State	<input type="text" value="ACT"/>
		Postcode	<input type="text" value="2905"/>

## Building Certifier Statement

I state that:

- the plans for the building work to which the application for building approval relates show all the information necessary to establish that the site work is exempt development under the *Planning and Development Act 2007*, section 133; and
- the site work is exempt development; and
- I have assessed that the site work is exempt development for the following reasons and in accordance with the following provisions of the *Planning and Development Regulation 2008* and Territory Plan Codes:

Please include all relevant regulations and codes relied on for your assessment and an outline of your reasoning, such the assessment you undertook, advice from referral entities, compliance with lease and development conditions etc. You can attach additional information if needed and supporting documents including checklists or your own assessment documents. You do not need to attach a copy of the plans or building approval application.

Single Dwelling Housing Development Code

*Please attach additional information if required*

Building Certifier Signature  
(or nominee)

Date of  
Issue

30/03/2021

**Giving false or misleading information is a serious offence**

### Privacy Notice

The personal information on this form is provided to the Environment and Planning Directorate (EPD). The collection of personal information is authorised by the *Building Act 2004*. If all or some of the required personal information is not collected this notice is not considered complete. The personal information provided may be disclosed to Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be disclosed where authorised by law or court order, or where the EPD reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. EPD's Information Privacy Policy contains information about how you may access or seek to correct your personal information held by EPD, and how you may complain about an alleged breach of the Territory Privacy Principles. The EPD Information Privacy Policy can be found at [www.act.gov.au/accessCBR](http://www.act.gov.au/accessCBR).

### CONTACT INFORMATION

**Email:**

ACTPLAdevelopmentBA@act.gov.au

**Post:**

Access Canberra  
Building Services  
Shopfront Mitchell  
GPO Box 158  
Canberra, ACT 2601

**In Person:**

Please visit  
[www.act.gov.au/accessCBR](http://www.act.gov.au/accessCBR)  
Or call **132281** to find an  
Access Canberra Shopfront.

SUBURB: [REDACTED]

Description of Building Works: External alterations &amp; Deck and Pergola

BCA Occupancy Class: 1a, 10a

Plans included in this approval: 4      Numbered: 1 to 4

Date of Approval: 31/03/2021

Building Approval period is three years from date of this approval.

These plans have been assessed for compliance with the Building Code of Australia (BCA) and relevant Australian Standards and approved in accordance with Section 28 of the Australian Capital Territory Building Act 2004. Work is to be completed in accordance with these approved plans, the BCA, relevant Australian standards and any manufacturer installations manuals applicable to the building works.

**Critical Stage Inspections**

The stages of building work required to be inspected are—

- (a) Completion of excavation, placement of formwork and placement of steel reinforcing for the footings before any concrete for the footings is poured; and
- (b) For a class 1, class 10a or class 10b building—
  - (i) completion of the structural framework before the placement of any internal lining; and
  - (ii) completion of placement of formwork, and placement of steel reinforcing, for any reinforced concrete member before any concrete for the member is poured; and
- (c) For a building other than a class 1, class 10a or class 10b building—
  - (i) completion of any structural framework stated by the certifier in the relevant building approval, before the placement of any internal lining; and
  - (ii) completion of the placement of formwork and steel reinforcing for any reinforced concrete member stated by the certifier in the relevant building approval, before any concrete for the member is poured; and
- (d) Completion of the building work approved in the relevant building approval.

Please provide a minimum of 24 hours' notice for inspections

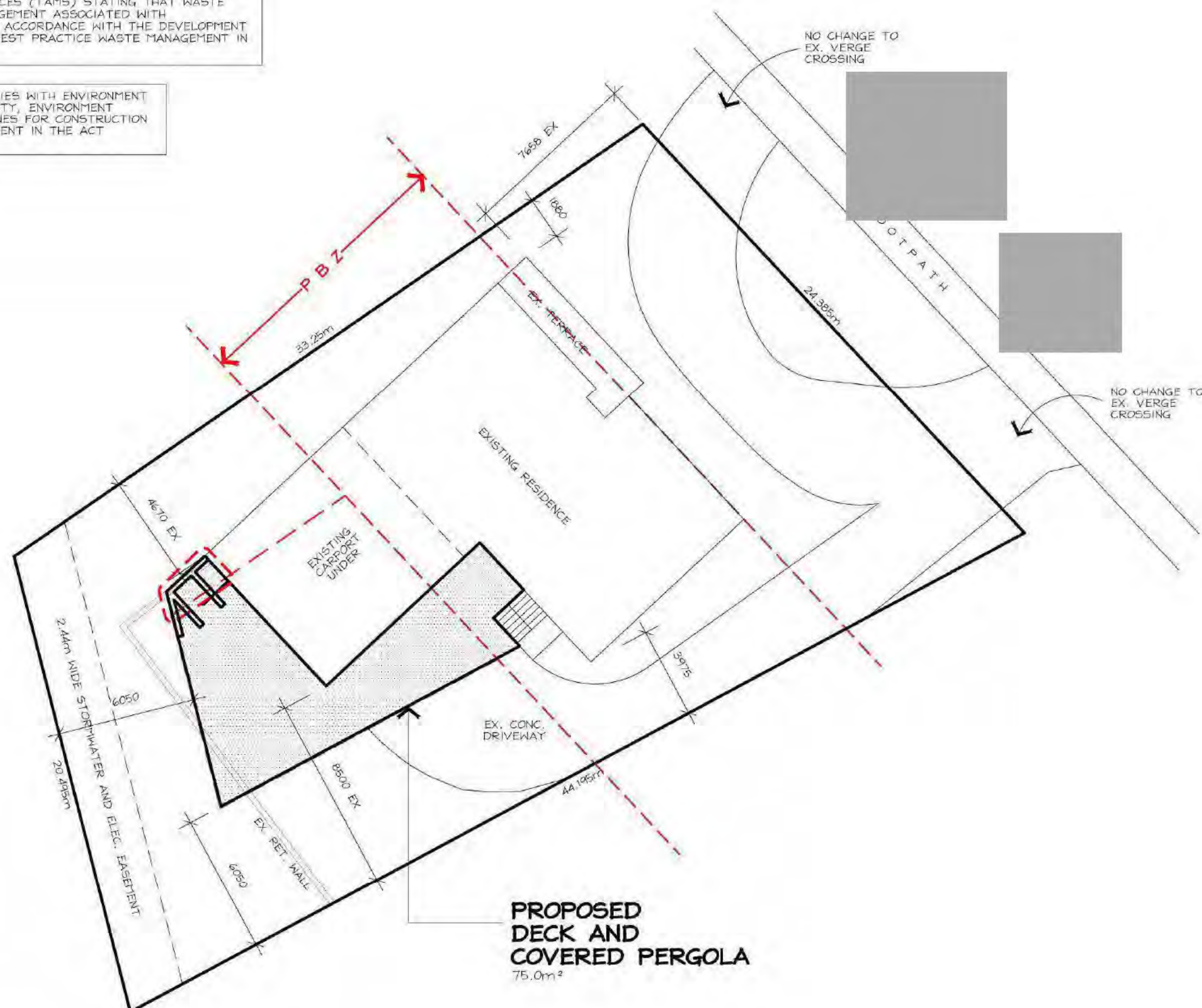
Regards

Stephen Kolano  
Accredited Certifier

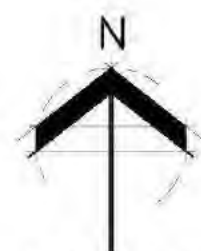


ENSURE THAT THE DEVELOPMENT COMPLIES WITH TERRITORY AND MUNICIPAL SERVICES (TAMS) STATING THAT WASTE FACILITIES AND MANAGEMENT ASSOCIATED WITH DEVELOPMENT ARE IN ACCORDANCE WITH THE DEVELOPMENT CONTROL CODE FOR BEST PRACTICE WASTE MANAGEMENT IN THE ACT 1999

DEVELOPMENT COMPLIES WITH ENVIRONMENT PROTECTION AUTHORITY, ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE ACT AUGUST 2007



**PROPOSED  
DECK AND  
COVERED PERGOLA**  
75.0m²



**SITE PLAN**

1:200

BLOCK AREA: 840m²



NOTE: UNDERGROUND SERVICES HAVE NOT BEEN LOCATED

## VERGE PROTECTION

INSTALL 1.8m HIGH CONTINUOUS CHAIN MESH FENCE SUPPORTED BY 2.4m TALL STAR STEEL POSTS AROUND VERGE AND EXISTING VEGETATION TO BE RETAINED WITHIN THE BLOCK AS SHOWN ON THE DRAWINGS.

FENCING TO BE ERECTED ON COMMENCEMENT OF SITE WORK AND REMOVED AT COMPLETION OF CONSTRUCTION AND COMMENCEMENT OF VERGE RESTORATION. THE FENCE IS TO REMAIN CONTINUOUS THROUGHOUT THE PROJECT, EXCEPT WHERE APPROVED SERVICE INSTALLATION OCCURS.

ENSURE THAT ANY DISTURBANCES TO THE VERGE GROUND COVER, TREES, PATHS, KERBS, ROADWAYS OR SERVICES OCCURRING FROM EITHER CONSTRUCTION WORKS OR STORAGE OF MACHINERY/MATERIALS DURING THE CONSTRUCTION WORKS ARE RECTIFIED. NO CARPARKING OR EQUIPMENT PARKING PERMITTED ON VERGES

NO SITE SHEDS, STORAGE SHED, SITE AMENITIES OR BILLBOARDS TO BE ERECTED ON VERGES

NO CONSTRUCTION MATERIAL TO BE STORED ON VERGES OR UNDER DRIP LINE OF RETAINED TREES

**AUSCERT**  
BUILDING CERTIFIERS  
ACT11C#2017863

BUILDING APPROVAL  
issued under s 28 of the  
Building Act 2004

Issue date 31/03/2021

Stephen S Kolano

Certifier signature

BCA Occupancy Class:

10a

BCA Type of Construction:

N/A

**AKDESIGN**  
ARCHITECTURAL DRAFTING

Alex Kwong

Sch 2.2(a)(ii)

EMAIL: akdesign@ozemail.com.au

**PROPOSED ALTERATIONS  
AND DECK/PERGOLA TO:**

BLOCK: [REDACTED]  
SECTION: [REDACTED]  
CLIENT: Sch 2.2(a)(ii)  
[REDACTED]

DWN: A.KWONG

SCALE: 1:200

DATE: 27/8/20

DWG No.: 2043

SHEET: 1 OF 4




- 1 DEMOLISH EX. CABINETYRY TO PERIMETER OF  
Sch 2 2(a)(ii) AND MAKE GOOD.
- 2 INSTALL FREE-STANDING Sch 2 2(a)(ii) TO  
CLIENTS DIRECTION, MAN. SPEC. AND AS2918
- 3 REMOVE EX. WINDOWS AND DEMOLISH SUBSILL  
TO INSTALL NEW DG SLIDING DOOR UNITS TO  
EXISTING WIDTH (COS) AND CLIENTS  
DIRECTION. MAKE GOOD
- 4 REMOVE EX. HANDRAIL AND EXTEND NEW DECK  
ACROSS EXISTING CONCRETE LANDING
- 5 BUILD NEW DECK AND COVERED PERGOLA AS  
SHOWN AND AS PER SECTION A-A. BUILD  
Sch 2 2(a)(ii) AS  
DIRECTED BY CLIENTS.
- 6 REMOVE EX. WINDOW AND DEMOLISH SUBSILL  
TO INSTALL NEW DG SLIDING DOOR UNIT TO  
EX. REVEAL WIDTH - COS. MAKE GOOD
- 7 BUILD BWK WALLS TO FORM SCREEN TO SIDE  
OF DECK AND Sch 2 2(a)(ii) TO CLIENTS  
DIR. - INCLUDING Sch 2 2(a)(ii)
- 8 REPLACE EX. DOOR WITH DG DOOR TO  
CLIENTS SELECTION AND EX. REVEALS
- 9 PROVIDE RAFTERS FROM EX. FASCIA TO  
NEW ROOF TO CLIENTS DIRECTION

**AUSCERT**  
BUILDING CERTIFIERS  
ACT LIC# 2017963

BUILDING APPROVAL  
issued under s 28 of the  
*Building Act 2004*

Issue date ..... 31/03/2021

*Stephen S Kolano*



.....  
Certifier signature

**AKDESIGN**  
ARCHITECTURAL DRAFTING

Alex Kwong

Sch 2.2(a)(ii)

EMAIL: akdesign@ozemail.com.au

PROPOSED ALTERATIONS  
AND DECK/PERGOLA TO:

**BLOCK:** [REDACTED]  
**SECTION:** [REDACTED]  
**CLIENT:** Sch 2.2(a)(ii)  
 [REDACTED] [REDACTED]

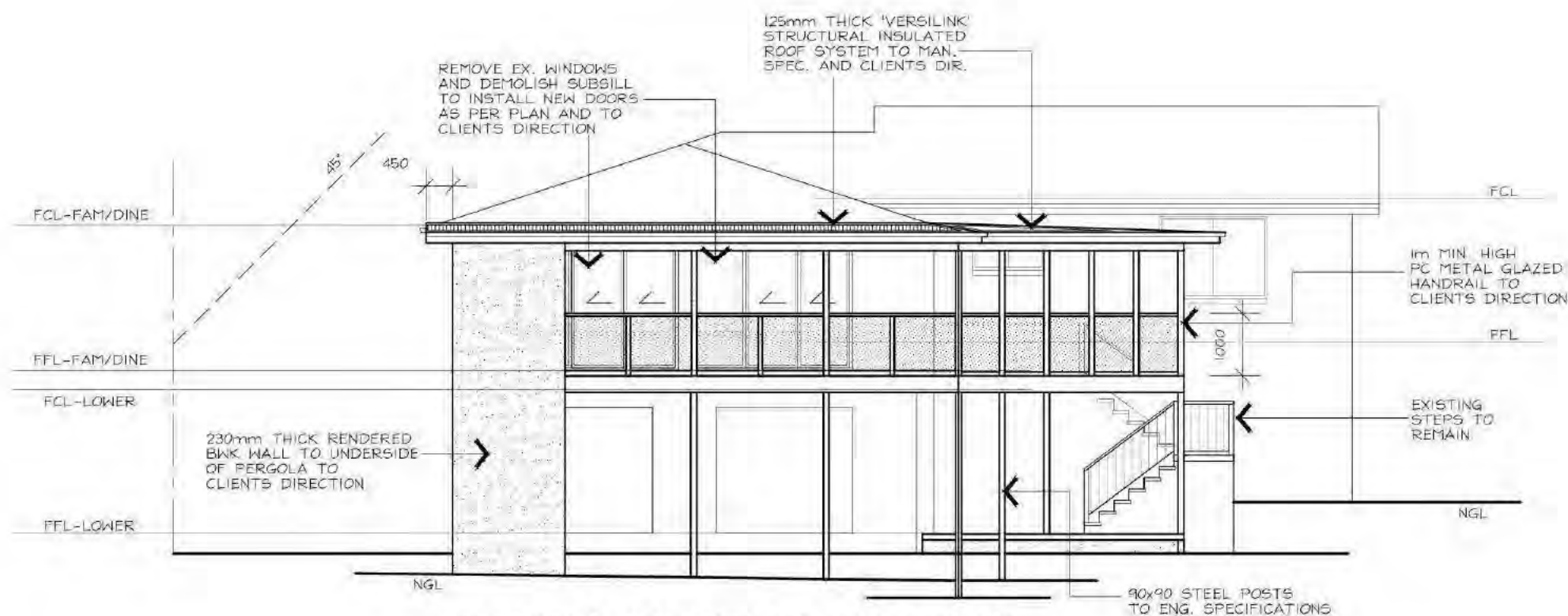
DWN: A.KWONG	
SCALE: 1:100	DATE: 27/8/20
DWG No.: 2043	SHEET: 2 OF 4



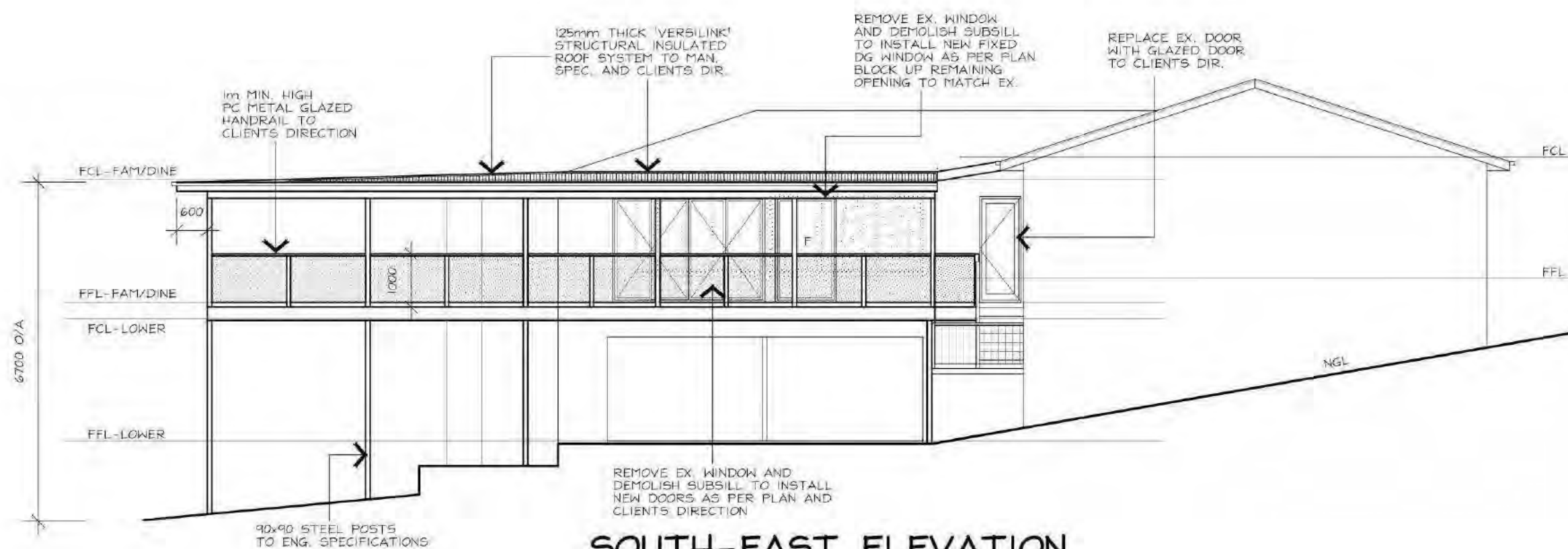
FLOOR  
PLAN

TERRACE





SOUTH-WEST ELEVATION



SOUTH-EAST ELEVATION

**AUSCERT**  
BUILDING CERTIFIERS  
ACT LIC# 2017963

BUILDING APPROVAL  
issued under s 28 of the  
*Building Act 2004*

Issue date 31/03/2021

Stephen S Kolano

Certifier signature

**AKDESIGN**  
ARCHITECTURAL DRAFTING

Alex Kwong

Sch 2.2(a)(ii)

EMAIL: akdesign@ozemail.com.au

**PROPOSED ALTERATIONS  
AND DECK/PERGOLA TO:**

**BLOCK:** [REDACTED]  
**SECTION:** [REDACTED]  
**CLIENT:** Sch 2.2(a)(ii)  
[REDACTED]

DWN: A.KWONG

SCALE: 1:100

DATE: 27/8/20

DWG No.: 2043

SHEET: 3 OF 4





ALL LEVELS, SITE CUTS, GROUND LEVELS, FFL'S TO BE  
CONFIRMED ON SITE PRIOR TO THE COMMENCEMENT OF ANY  
WORKS (INCLUDING DRIVEWAY LEVELS)

INCLUSIONS LIST TO TAKE PRECEDENCE OVER DRAWINGS

A) ACT GOVERNMENT  
 B) BUILDING CODE OF AUSTRALIA AND THE ACT APPENDIX  
 C) ACT ELECTRICITY AND WATER  
 D) AS1684 TIMBER FRAMING CODE AND AS FURTHER SPECIFIED.

ALL DIMENSIONS MUST BE VERIFIED ON SITE BEFORE  
COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.  
USE FIGURED DIMENSIONS ONLY AND DO NOT SCALE OFF THE  
DRAWING

SURVEYOR TO CONFIRM EASEMENT LOCATIONS PRIOR TO COMMENCEMENT OF ANY WORKS

MATERIALS AND WORKMANSHIP TO BE IN ACCORDANCE WITH THE BCA, ALL OTHER RELEVANT CODES AND AUSTRALIAN STANDARDS

ALL WINDOWS/GLAZED DOORS TO BE DOUBLE GLAZED  
ALUMINIUM IMPROVED FRAMES (UNLESS NOTED OTHERWISE)  
AS PER ATTACHED REF.

LIGHTING TO COMPLY WITH 3.12.5.5 OF THE BCA

ALL TIMBER FRAMING AND CONSTRUCTION TO BE IN  
ACCORDANCE WITH THE LATEST TIMBER FRAMING CODE  
AS1684 AND BCA

ALL INSULATION R VALUES AND WINDOW SHGC AND U-VALUES  
AS PER THE ATTACHED EER.

ALL OPENABLE WINDOWS AND SLIDING DOORS TO HAVE FLYSCREENS TO BE POWDERCOATED ALUMINIUM FRAMES TO MATCH WINDOWS. NOTE: METALLIC FLYSCREENS ARE REQUIRED IN BUSHFIRE PRONE AREAS

REFER TO STRUCTURAL ENGINEER'S ATTACHED  
DOCUMENTATION FOR ALL STRUCTURAL DETAILS

ALL EXTERNAL WINDOWS TO HAVE BRICK ON EDGE WINDOW  
SILLS WITH DAMP PROOF MEMBRANE UNDER TO BCA



- ALL ENGINEERING TBA

ALL STRUCTURAL AND NON-STRUCTURAL TIMBER TO BE IN ACCORDANCE WITH THE TIMBER FRAMING CODE AS1684

ALL STRUCTURAL STEEL COLUMNS, POST, BEAMS ALL TO BE CERTIFIED AND DESIGNED BY STRUCTURAL ENGINEER.

**AKDESIGN**  
ARCHITECTURAL DRAFTING

Alex Kwong

Sch 2.2(a)(ii)

EMAIL: [akdesign@ozemail.com.au](mailto:akdesign@ozemail.com.au)

PROPOSED ALTERATIONS  
AND DECK/PERGOLA TO:

**BLOCK:**

SECTION:

**CLIENT:** Sch 2.2(a)(ii)

DWN: A.KWONG

SCALE: 1:100

DATE: 27/8/20

DWG No.: 2043

SHEET: 4 OF 4

Project ID: B20211637

**PART A - PROJECT DETAILS**

Unit	Block	Section	Division (Suburb)	District	Jurisdiction
					Australian Capital Territory

**PART B - WORKS REQUIRING BUILDING APPROVAL**

Item of building work to which this Building Approval relates:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
1a	Other	SEE DESCRIPTION	External Alterations	NA	1	5.00	Sch 2.2(a)(ii)
10a	New	DA EXEMPT-DECK AND PERGOLA	Deck and Pergola	NA	1	78.00	

**The following work is exempt from development approval:**

- External doors, walls and windows
- Decks, patios and terraces

**PART C - CERTIFIERS DECLARATION**

I declare that in issuing this building approval under section 28 of the Building Act 2004:

- I am satisfied on reasonable grounds that the plans meet each applicable approval requirement under section 29 and is not prevented from being issued under section 30 or section 30A
- I have supplied all documents as required under 3.3 Building Act 2004
- I have prepared a notice (building approval certificate) certifying what approval requirements apply to the application and why the building approval is not prevented from being issued; and
- I have given the building approval certificate to the applicant.

In performing services as a certifier in relation to the work detailed in this application I am not in breach of my entitlement to act as a certifier in accordance with the Building Act 2004.

Full Name	Address	License Number	Expiry Date
AUSCERT BUILDING CERTIFIERS	PO Box 148 CALWELL ACT 2905	2017963	27/09/2021

Date Issued : 31/03/2021

**NOTES**
**Utilities**



This application must also be accompanied by a Statement of Compliance from each relevant utility provider (for water, sewerage, electricity and stormwater) which confirms that the location and nature of earthworks, utility connections, proposed buildings, pavements and landscape features comply with utility standards, access provisions and asset clearance zones.

**Note 1:** If there is no stormwater easement or Territory owned stormwater pipes located within the property boundary, a "Statement of Compliance" for stormwater from TAMS (Asset Acceptance) is not required to be obtained.

**Note 2:** Where there is conflict between planning and utility requirements, the utility requirements take precedence over other codified or merit provisions.

## **Utilities – Demolition Only**

This application must be accompanied by a Statement of Endorsement for utilities (including water, sewerage, electricity and stormwater) stating that:

- all network infrastructure on or immediately adjacent to the site has been identified on the plan
- all potentially hazardous substances and conditions (associated with or resulting from the demolition process) that may constitute a risk to utility services have been identified
- all required network disconnections have been identified and the disconnection works comply with utility requirements
- all works associated with the demolition comply with and are in accordance with utility asset access and protection requirements

**Note:** The documentation provided to the utility provider for endorsement must be consistent with the documentation that forms part of a development approval or the documentation verified as exempt from requiring development approval by a licensed certifier.

## **Asbestos Advice**

If documents accompanying building approval do not include an asbestos assessment report as per the Building Act 2004, the building approval must have an Asbestos Advice attached as per the Act

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.

---



Building Act 2004, S151

## Application for Building Commencement Notice

Project ID: B20211637

Licensed builders must use this form to apply to the building certifier for a commencement notice in accordance with the Building Act 2004. An application can only be made if the building approval has been issued for the building work. A commencement notice must be issued by the building certifier before any building work can commence.

### PART A - PROJECT DETAILS

Building approval issue date: 31/03/2021

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
					Australian Capital Territory

Full Name	Address	License Number	Expiry Date
AUSCERT BUILDING CERTIFIERS	PO Box 148 CALWELL ACT 2905	2017963	27/09/2021

Description of work to which application for Commencement Notice relates:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
1a	Other	SEE DESCRIPTION	External Alterations	NA	1	5.00	Sch 2.2(a)(ii)
10a	New	DA EXEMPT-DECK AND PERGOLA	Deck and Pergola	NA	1	78.00	

Insurance provider:

Policy number:

Issue date: 31/03/2021

### PART B - BUILDERS DETAILS

License holder's name: PHILLIP BRAIDO

License number: 2021434

License Expiry Date: 6/04/2024

Business Address:

Phone Number:

Sch 2.2(a)(ii)

Signature of builder:

\_\_\_\_\_  
(Individual, director for company or partner for partnership)

If the builder is a company or partnership provide details of the nominee who will supervise the building work

**Nominee's name:** PHILLIP BRAIDO

**License number:** 2021434

**License Expiry Date:** 6/04/2024

**Nominee's signature  
(if different to above):**

\_\_\_\_\_/\_\_\_\_\_/\_\_\_\_\_

## PART C - OWNER/LESSEE DETAILS

Name	Address
Sch 2.2(a)(ii)	

ADVISORY NOTE: Owners please ensure you have a written contract with the builder named in this application.  
For residential building work requiring home owner insurance ensure that the same builders name is shown on the insurance policy.

## PART D - OWNER/S OR AGENT SIGNATURE/S

Name	Signature	Date
Sch 2.2(a)(ii)		

NOTE: You may only make this application as an authorised agent on behalf of the owners of the property if you have appropriate written authorisation from ALL the owners and attach it to this application. This also applies if you are a part owner or joint owner making an application on behalf of the owners.

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.

## PART E - BUILDER APPLICATION TO CERTIFIER FOR COMMENCEMENT NOTICE

I hereby apply to the building certifier listed above for a commencement notice for the works detailed in Part A of this form in accordance with the Building Act 2004.

- ☐ A site sign was NOT required to be displayed prior to making this application.
- ☐ A site sign WAS required to be displayed prior to making this application and I declare that a compliant sign was erected and displayed for the required period.

**Signature of  
Builder/Nominee:**

\_\_\_\_\_/\_\_\_\_\_/\_\_\_\_\_

NOTE: There are penalties for deliberately giving false and misleading information. Access Canberra or the Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.





*Building Act 2004, S151*  
**Building Commencement Notice**

Project ID: B20211637

**PART A - PROJECT DETAILS**

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
					Australian Capital Territory

**Certifier's Details**

Full Name	Address	License Number	Expiry Date
AUSCERT BUILDING CERTIFIERS	PO Box 148 CALWELL ACT 2905	2017963	27/09/2021

**Building approval issue date:** 31/03/2021

Building Commencement Notice Required for:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Area (m2)	Cost of Works (\$)
1a	Other	SEE DESCRIPTION	External Alterations	NA	5.00	Sch 2.2(a)(ii)
10a	New	DA EXEMPT-DECK AND PERGOLA	Deck and Pergola	NA	78.00	

**PART B - BUILDERS DETAILS**

**License holder's name:** PHILLIP BRAIDO

**License number:** 2021434

**License Expiry Date:** 6/04/2024

**Business Address:**

**Phone Number:**

Sch 2.2(a)(ii)

If the builder is a company or partnership provide details of the nominee who will supervise the building work

**Nominee's name:** PHILLIP BRAIDO

**License number:** 2021434

**License Expiry Date:** 6/04/2024

**PART C - CERTIFIER'S DECLARATION**

**Issue date of commencement notice:** 14/04/2021

**Name of Certifier Issuing Notice:** AUSCERT BUILDING CERTIFIERS

**Declaration:**

This commencement notice is issued in accordance with the Building Act 2004, to the licensed builder stated above authorising the commencement of the stated building work. The issue of this commencement notice indicates that I am satisfied that the builders license authorises the work in the building approval. Where applicable for residential building work, I have been provided with a residential building insurance policy or fidelity certificate.

**PLEASE NOTE:**

A copy of the application for this commencement notice, this notice and where applicable the residential building insurance policy or fidelity certificate, must be given to the construction occupations registrar within one (1) week of the issue date.

This building commencement notice will end if-

- (a) for residential building work- the work is no longer insured; or
- (b) the building approval for the work ends

**Privacy Notice:** The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.



**ACT**  
Government

Environment, Planning and  
Sustainable Development

Planning and Development Act 2007, S425

## Form 7A - Information for adjoining resident about proposed exempt development

- to be completed by the proponent and provided to each adjoining resident

### Why are you receiving this information?

The exemption criteria for demolition and development of single dwellings on land that has previously had a house built on it requires that information about the proposed development is provided to you as an adjoining resident. Development can be exempt from the need for a development application (DA) if it meets specified criteria. This type of development is known as 'DA exempt development'.

If you are a tenant please consider forwarding a copy of this information and the plans to the lessee or their managing agent.

### What you should receive

1. Information sheet (Form 7A) explaining that development is proposed for the site indicated below; and
2. If the proposed development is a single dwelling a copy of each site plan and elevation plan.

A copy of the floor plan is not required to be provided to you.

If the proposed development is only for the demolition of a single dwelling no plans are required to be provided.

### What this means for you

The information sheet and attached plans (if required) have been provided for your **information** only. Prior to any construction commencing, a private building certifier must confirm the development proposal meets the DA exemption criteria.

If the proposal meets all of the DA exemption requirements:

- no DA is required and there is no public notification or right of merit review; and
- a building approval can be granted and work can commence without any further notice.

If you have any questions about the proposed development please contact the nominated person which may be the proponent, builder or building certifier. They can discuss the proposal with you.

Block	<input type="text"/>	Section	<input type="text"/>	Suburb	<input type="text"/>	Unit No.	<input type="text"/>
Street address		<input type="text"/>					
Single dwelling	<input checked="" type="checkbox"/>	Demolition	<input type="checkbox"/>	Please tick			

### Nominated person contact details

Name	<input type="text" value="Sch 2.2(a)(ii)"/>	Phone number	<input type="text" value="Sch 2.2(a)(ii)"/>
Email	<input type="text" value="Sch 2.2(a)(ii)"/>	Alternative phone number	<input type="text"/>
Role	<input type="text" value="Builder, Certifier, Owner Builder etc- Please specify"/> <b>OWNER BUILDER</b>		

**NOTE:** If the building certifier determines the proposed development does not meet the DA exemption requirements a DA will have to be lodged by the proponent and you will be notified during the public consultation phase of the DA process.

**DATE:** : 23/04/2021

**LOCATION** :

**DESCRIPTION** : Deck and pergola

**INSPECTION STAGE** : Footing

Inspection record	Yes (Y) or No (N)
I certify that at the time of inspection, the building works comply with Section 42 of the ACT Building Act 2004, or will be substantially compliant providing the issues or items identified below are actioned prior to works proceeding.	Y
<b>Re-inspection:</b>	N
<b>Amended plans</b> to be submitted:	N
<b>Survey report</b> required:  Section 34 of the ACT Building (General) Regulation 2008 requires a survey report to be provided prior to works proceeding above damp coarse. It must be prepared by a Registered Land Surveyor and identify the relevant building work in relation to the block boundaries	N
<b>Comments:</b>	
All work substantially complete in accordance with approved plans.	

Stephen Kolano



**BUILDING APPROVAL COMPLETENESS CHECKLIST  
RESIDENTIAL BCA CLASS 1 and 10**

Block:  Section:  Suburb:  Unit No:   
 Project Number: B20211637 Building Certifier: Auscert  
 Customer Services Officer Name: SG Date of completeness check: 29/04/2021

**Part 1 Administrative Check**

Requirements	Pass	Fail	N/A	Comments
* Has the Building Approval been submitted within 7 days from the date of approval?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
* Have all relevant plans been stamped and dated by the building certifier?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Does the date stamp on the plans match the approval date on eDevelopment?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
* Building approval stamp and application form text legible?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
* If the Building Approval has a Development Approval is the Development Approval still valid?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
* Have all lessee's signed the relevant forms?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
* Are all relevant documents uploaded & named correctly?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has an insurance certificate been provided if the cost of building work exceeds \$12,000?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Correct cost of building work provided in E-Development – Refer to Government <a href="#">Cost Guide</a> (Class 1-10).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Have statements of compliance from each relevant utility been provided where relevant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/> GAS <input checked="" type="checkbox"/> WATER <input checked="" type="checkbox"/> ELECTRICITY
If the BA is for existing work, has the invoice been amended to include the relevant existing work fee?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
If BCN has been issued, is the licensee authorised to undertake the work as described? ie: Swimming Pool or Demolition endorsement on licence.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has the lessee's email address been provided? If yes, please email BA notice to lessee.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Requirements for DA Exempt Works	Pass	Fail	N/A	Comments
Have forms 7A and 7B been provided for building or alterations or full or part demolition of a single dwelling?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
If there is no exemption D notice or exemption declaration has a site work notice been provided?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
<b>COMPLETENESS CHECK FAILURE – from 1/9/13</b>		COMPLETENESS CHECK FAILURE NOTICE SENT: <a href="#">Click here to enter a date.</a>		
* - Failure incurs a fee. – See page 15 of <a href="#">fees &amp; charges</a>		COMPLETENESS CHECK FAILURE FEES PAID: <a href="#">Click here to enter a date.</a>		

**Part 2 Completeness Check Failure Reasons**

After completing parts 1 & 3 of this checklist list the failure reasons below. For example: Failed to supply Elevation Plan or Incorrect lessee details and on resubmission select whether it has been supplied or not.

	Select One		Select One		Select One
--	------------	--	------------	--	------------

**Checklist review date 08/09/2016**

**BUILDING APPROVAL COMPLETENESS CHECKLIST  
RESIDENTIAL BCA CLASS 1 and 10**

	Select One		Select One		Select One
--	------------	--	------------	--	------------

Part 3 Documentation Check					
Document	Document Name	Pass	Fail	N/A	
Form – Minimum Documentation Requirements for Building Approval Lodgment Checklist	Details – Minimum Documents Checklist	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Asbestos Removal Control Plan	Asbestos Removal Control Plan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Development Approval (including amendments)	Approved Plans – Development Approval	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Site Plan	Approved Plans – Site	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Floor Plan	Approved Plans – Floor	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Elevation Plan	Approved Plans – Elevation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Section Details – Wall, Floor Ceiling & Roof	Approved Plans – Sections Wall Approved Plans – Sections Floor Approved Plans – Sections Ceiling Approved Plans – Sections Roof	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Demolition Plan	Approved Plans – Demolition	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Swimming Pools and Spas Details (including fencing/barriers)	Details – Pools Spas	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Energy Efficiency Details	Details – Energy Efficiency	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

Creating Building Files	
Only complete this section if for a new block where a building file does not exist. Select Y (yes) or N (no) below.	
Is this a new residence on a new block?	<input type="checkbox"/>
Has a new building approval been created in Objective and I Drive?	<input type="checkbox"/>

Part 4 Audit Team Checklist					
Document	Document Name	Pass	Fail	N/A	
Footings and Concrete Slab Details	Details – Footings Concrete Slab	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Retaining Wall Details	Details – Retaining Walls	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Masonry Construction Details	Details – Masonry Construction	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Framing (including trusses) and Construction Details	Details – Framing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Roof Cladding Details	Details – Roof Cladding	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Exterior Cladding & Material Details	Details – Exterior Cladding & Materials	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Wet area details	Details – Wet Area	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Windows and Glazing Details	Details – Windows Glazing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Estimate of the Cost of the Building Work	Details – Cost of Building Work	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Alternative Solutions	Details – Alternative Solutions	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

**Checklist review date 08/09/2016**

**BUILDING APPROVAL COMPLETENESS CHECKLIST  
RESIDENTIAL BCA CLASS 1 and 10**



**ASSESSMENT OF PROPOSAL  
DETERMINATION UNDER SECTION 1.100A OF THE  
PLANNING AND DEVELOPMENT REGULATION 2008**

**Description of extended distance:**

**Rule 12 - Side boundary setback departure of a maximum 1310mm for a length of 2980mm**

**Assessment:**

PASS

FAIL

Is the non-compliance minor?

☒ Yes

☐ No

**Will building the dwelling other than in accordance with the relevant rules:**

- Adversely affect someone other than the applicant?

☒ No

☐ Yes

- Increase the environmental impact of the dwelling more than minimally?

☒ No

☐ Yes

Plans provided adequately identify departures?

☒ Yes

☐ No

**Comments:**

**Considered to be minor in context**

**Plans stamped:**

Approved ☒

Refused ☐

**Delegate of**

**Environment, Planning and Sustainable Development Directorate: Matt Davis 04/09/2020**



ENSURE THAT THE DEVELOPMENT COMPLIES WITH TERRITORY AND MUNICIPAL SERVICES (TAMS) STATING THAT WASTE FACILITIES AND MANAGEMENT ASSOCIATED WITH DEVELOPMENT ARE IN ACCORDANCE WITH THE DEVELOPMENT CONTROL CODE FOR BEST PRACTICE WASTE MANAGEMENT IN THE ACT 1999

DEVELOPMENT COMPLIES WITH ENVIRONMENT PROTECTION AUTHORITY, ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE ACT AUGUST 2007

## VERGE PROTECTION

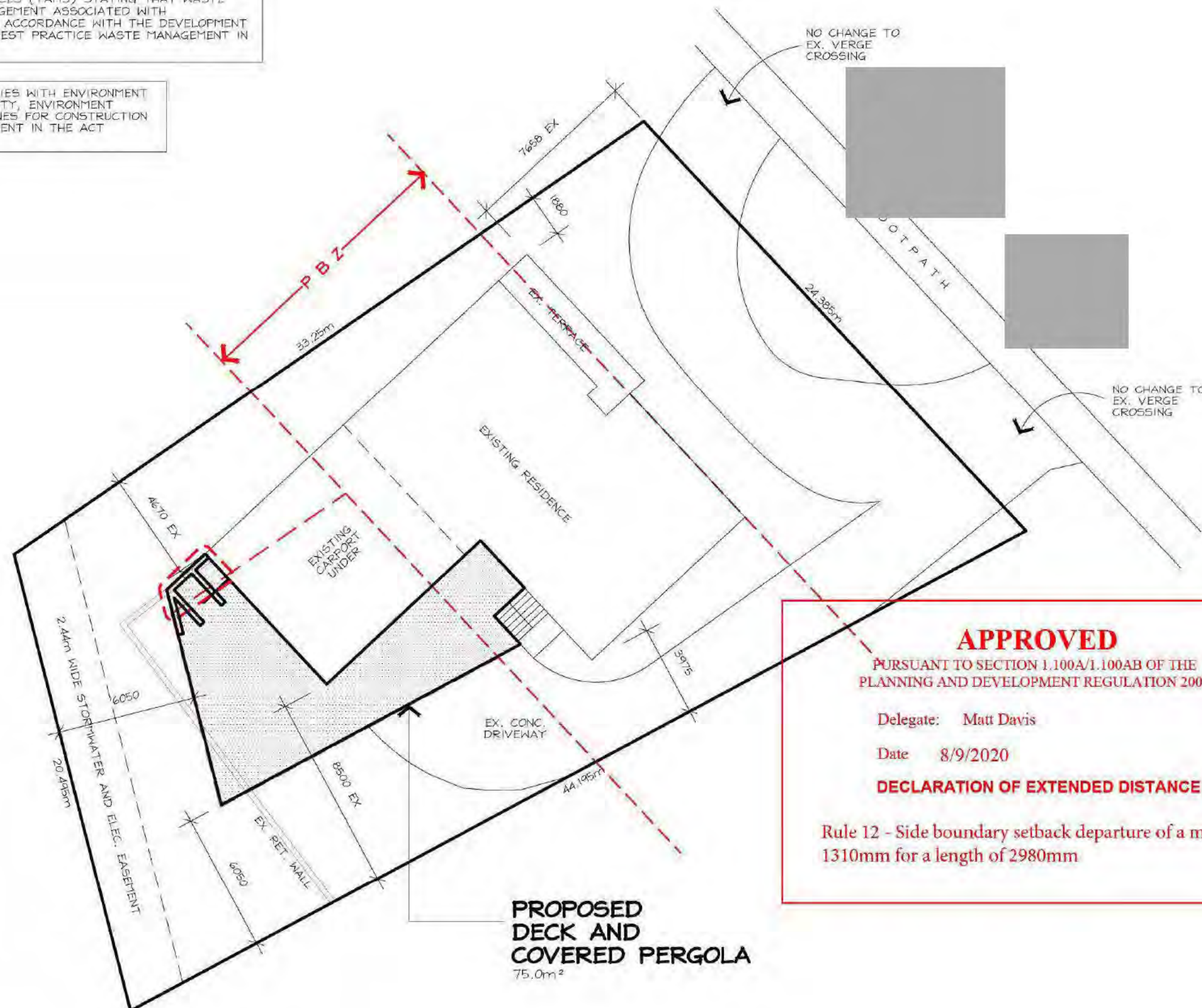
INSTALL 1.8m HIGH CONTINUOUS CHAIN MESH FENCE SUPPORTED BY 2.4m TALL STAR STEEL POSTS AROUND VERGE AND EXISTING VEGETATION TO BE RETAINED WITHIN THE BLOCK AS SHOWN ON THE DRAWINGS.

FENCING TO BE ERECTED ON COMMENCEMENT OF SITE WORK AND REMOVED AT COMPLETION OF CONSTRUCTION AND COMMENCEMENT OF VERGE RESTORATION. THE FENCE IS TO REMAIN CONTINUOUS THROUGHOUT THE PROJECT, EXCEPT WHERE APPROVED SERVICE INSTALLATION OCCURS.

ENSURE THAT ANY DISTURBANCES TO THE VERGE GROUND COVER, TREES, PATHS, KERBS, ROADWAYS OR SERVICES OCCURRING FROM EITHER CONSTRUCTION WORKS OR STORAGE OF MACHINERY/MATERIALS DURING THE CONSTRUCTION WORKS ARE RECTIFIED. NO CARPARKING OR EQUIPMENT PARKING PERMITTED ON VERGES

NO SITE SHEDS, STORAGE SHED, SITE AMENITIES OR BILLBOARDS TO BE ERECTED ON VERGES

NO CONSTRUCTION MATERIAL TO BE STORED ON VERGES OR UNDER DRIP LINE OF RETAINED TREES



## APPROVED

PURSUANT TO SECTION 1.100A/1.100AB OF THE PLANNING AND DEVELOPMENT REGULATION 2008

Delegate: Matt Davis

Date 8/9/2020

## DECLARATION OF EXTENDED DISTANCE

Rule 12 - Side boundary setback departure of a maximum 1310mm for a length of 2980mm

**AKDESIGN**  
ARCHITECTURAL DRAFTING

Alex Kwong

Sch 2.2(a)(ii)

EMAIL: akdesign@ozemail.com.au

## PROPOSED ALTERATIONS AND DECK/PERGOLA TO:

**BLOCK:** [REDACTED]  
**SECTION:** [REDACTED]  
**CLIENT:** Sch 2.2(a)(ii)

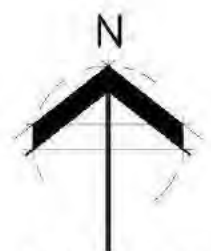
**DWN:** A.KWONG

**SCALE:** 1:200 **DATE:** 27/8/20

**DWG No.:** 2043 **SHEET:** 1 OF 4

**PROPOSED DECK AND COVERED PERGOLA**  
75.0m<sup>2</sup>

NOTE: UNDERGROUND SERVICES HAVE NOT BEEN LOCATED



**SITE PLAN**

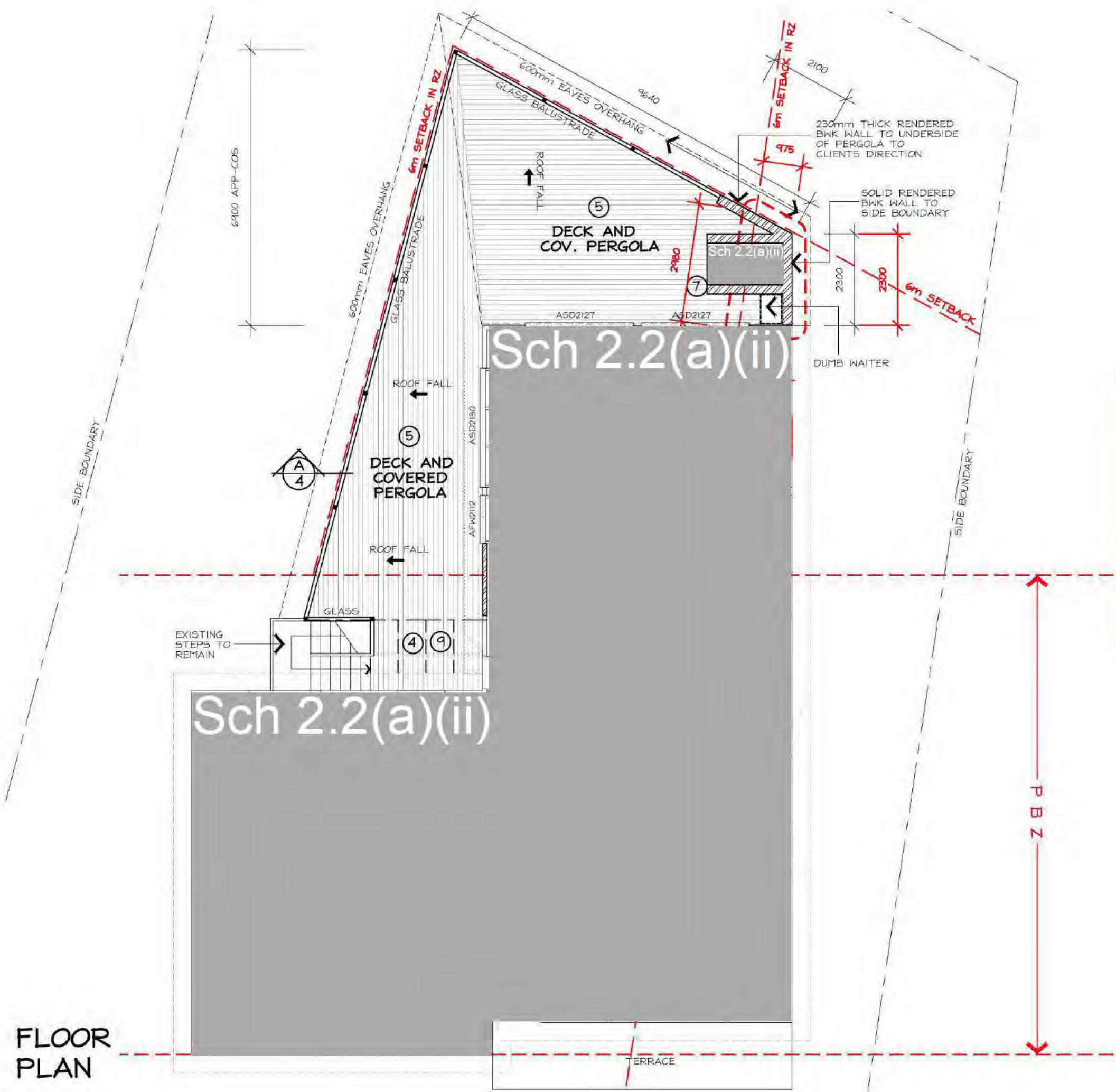
1:200

BLOCK AREA: 840m<sup>2</sup>



SCALE 1:200





## ALTERATIONS

- 1 DEMOLISH EX. CABINETS TO PERIMETER OF Sch 2.2(a)(ii) AND MAKE GOOD.
- 2 INSTALL FREE-STANDING Sch 2.2(a)(ii) TO CLIENTS DIRECTION, MAN. SPEC. AND AS2918
- 3 REMOVE EX. WINDOWS AND DEMOLISH SUBSILL TO INSTALL NEW DG SLIDING DOOR UNITS TO EXISTING WIDTH (COS) AND CLIENTS DIRECTION. MAKE GOOD
- 4 REMOVE EX. HANDRAIL AND EXTEND NEW DECK ACROSS EXISTING CONCRETE LANDING
- 5 BUILD NEW DECK AND COVERED PERGOLA AS SHOWN AND AS PER SECTION A-A. BUILD Sch 2.2(a)(ii) AS DIRECTED BY CLIENTS.
- 6 REMOVE EX. WINDOW AND DEMOLISH SUBSILL TO INSTALL NEW DG SLIDING DOOR UNIT TO EX. REVEAL WIDTH - COS. MAKE GOOD
- 7 BUILD BWK WALLS TO FORM SCREEN TO SIDE OF DECK AND Sch 2.2(a)(ii) TO CLIENTS DIR. - INCLUDING Sch 2.2(a)(ii)
- 8 REPLACE EX. DOOR WITH DG DOOR TO CLIENTS SELECTION AND EX. REVEALS
- 9 PROVIDE RAFTERS FROM EX. FASCIA TO NEW ROOF TO CLIENTS DIRECTION

## APPROVED

PURSUANT TO SECTION 1.100A/1.100AB OF THE  
PLANNING AND DEVELOPMENT REGULATION 2008

Delegate: Matt Davis

Date 8/9/2020

### DECLARATION OF EXTENDED DISTANCE

Rule 12 - Side boundary setback departure of a maximum  
1310mm for a length of 2980mm

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Alex Kwong

Sch 2.2(a)(ii)

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### PROPOSED ALTERATIONS AND DECK/PERGOLA TO:

BLOCK:   
SECTION:   
CLIENT: Sch 2.2(a)(ii)

DWN: A.KWONG

SCALE: 1:100 DATE: 27/8/20

DWG No.: 2043 SHEET: 2 OF 4

FLOOR  
PLAN



ENSURE THAT THE DEVELOPMENT COMPLIES WITH TERRITORY AND MUNICIPAL SERVICES (TAMS) STATING THAT WASTE FACILITIES AND MANAGEMENT ASSOCIATED WITH DEVELOPMENT ARE IN ACCORDANCE WITH THE DEVELOPMENT CONTROL CODE FOR BEST PRACTICE WASTE MANAGEMENT IN THE ACT 1999

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## VERGE PROTECTION

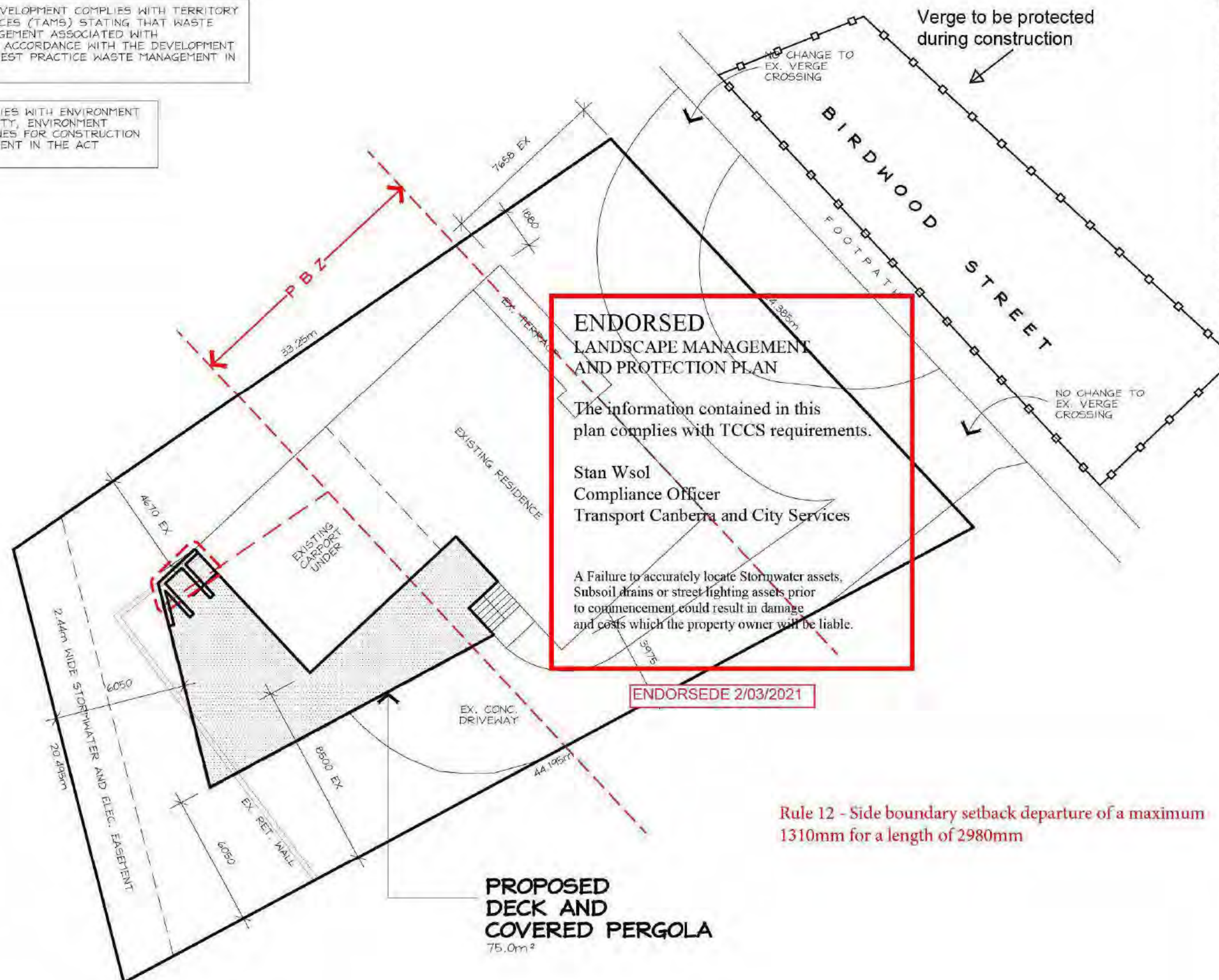
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NO CONSTRUCTION MATERIAL TO BE STORED ON VERGES OR UNDER DRIP LINE OF RETAINED TREES



### ENDORSED LANDSCAPE MANAGEMENT AND PROTECTION PLAN

The information contained in this plan complies with TCCS requirements.

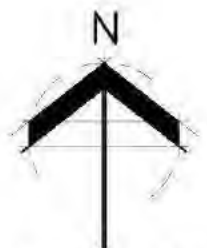
Stan Wsol  
Compliance Officer  
Transport Canberra and City Services

A Failure to accurately locate Stormwater assets, Subsoil drains or street lighting assets prior to commencement could result in damage and costs which the property owner will be liable.

ENDORSEDE 2/03/2021

Rule 12 - Side boundary setback departure of a maximum 1310mm for a length of 2980mm

PROPOSED DECK AND COVERED PERGOLA  
75.0m²



SITE PLAN

1:200

BLOCK AREA: 840m²



NOTE: UNDERGROUND SERVICES HAVE NOT BEEN LOCATED

**AKDESIGN**  
ARCHITECTURAL DRAFTING

Alex Kwong

Sch 2.2(a)(ii)

EMAIL: akdesign@ozemail.com.au

### PROPOSED ALTERATIONS AND DECK/PERGOLA TO:

BLOCK: [REDACTED]  
SECTION: [REDACTED]  
CLIENT: Sch 2.2(a)(ii)

DWN: A.KWONG

SCALE: 1:200 DATE: 27/8/20

DWG No.: 2043 SHEET: 1 OF 4



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## PLAN ENDORSED STORMWATER EASEMENT

The information contained in this plan complies with TCCS requirements.

Stan Wsol  
Compliance Officer  
Transport Canberra and City Services

A Failure to accurately locate Stormwater assets, Subsoil drains or street lighting assets prior to commencement could result in damage and costs which the property owner will be liable.

ENDORSED 2/03/2021

THIS ENDORSEMENT IS ONLY FOR PROPOSED ADDITIONS

## APPROVED

PURSUANT TO SECTION 1.100A/1.100AB OF THE PLANNING AND DEVELOPMENT REGULATION 2008

Delegate: Matt Davis

Date 8/9/2020

### DECLARATION OF EXTENDED DISTANCE

Rule 12 - Side boundary setback departure of a maximum 1310mm for a length of 2980mm

## VERGE PROTECTION

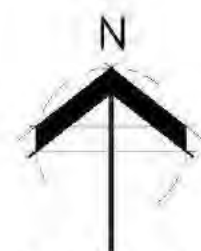
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## SITE PLAN

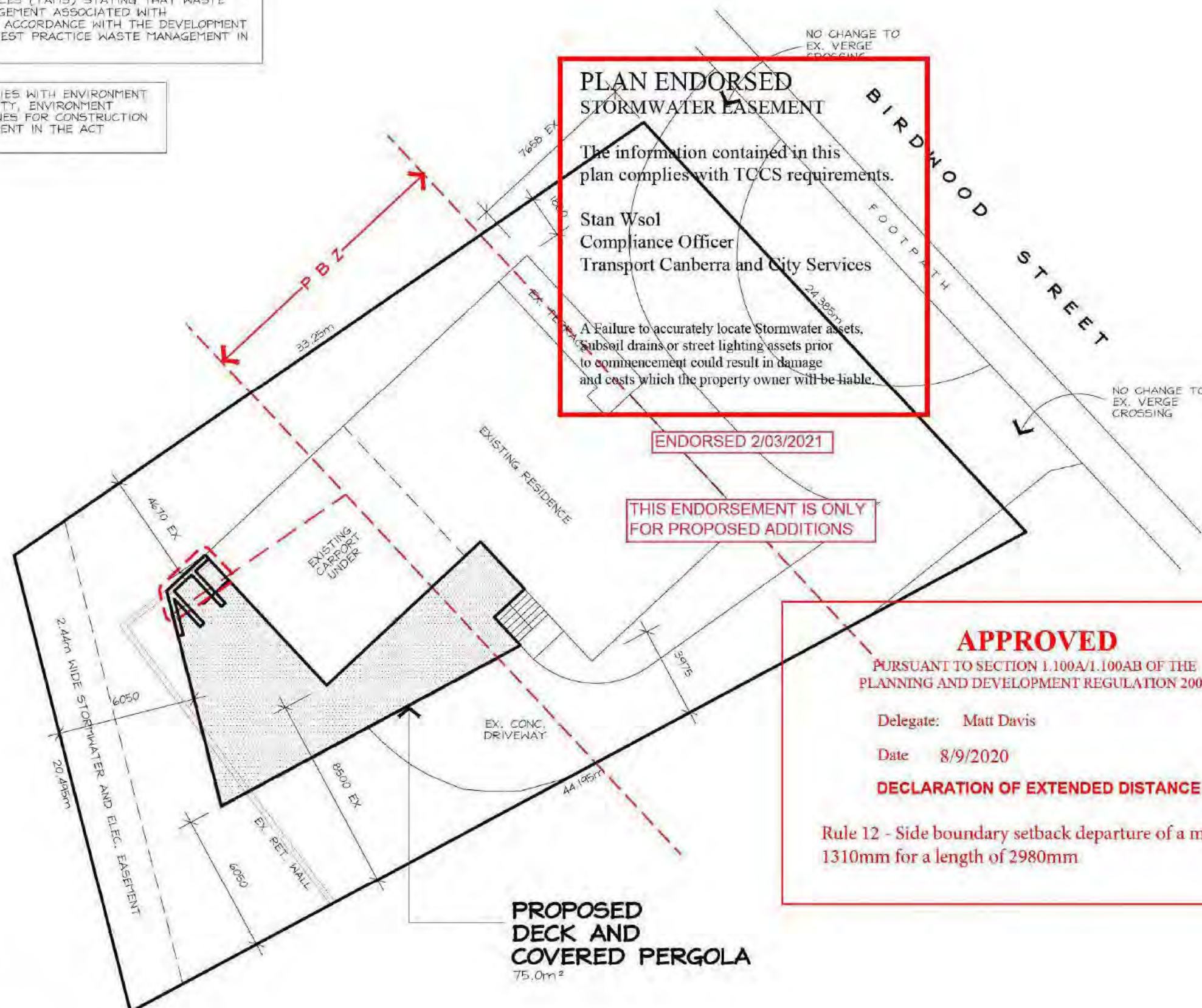
1:200

BLOCK: 5  
SECTION: 6  
HUGHES

BLOCK AREA: 840m<sup>2</sup>



NOTE: UNDERGROUND SERVICES HAVE NOT BEEN LOCATED



**AKDESIGN**  
ARCHITECTURAL DRAFTING

Alex Kwong

Sch 2.2(a)(ii)

EMAIL: akdesign@ozemail.com.au

## PROPOSED ALTERATIONS AND DECK/PERGOLA TO:

BLOCK: 5  
SECTION: 6 HUGHES  
CLIENT: Sch 2.2(a)(ii)

DWN: A.KWONG

SCALE: 1:200 DATE: 27/8/20

DWG No.: 2043 SHEET: 1 OF 4



# PROPOSED DECK AND PERGOLA

## AT

## ACT

### GENERAL

G1. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS DRAWINGS AND OTHER RELEVANT REFERENCE DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ALL DISCREPANCIES SHALL BE REFERRED TO SUPERINTENDENT FOR DECISION BEFORE PROCEEDING.

G2. DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE STRUCTURAL DRAWINGS. FIGURED DIMENSIONS ONLY SHALL BE USED. SETTING OUT DIMENSIONS SHOWN ON THE DRAWINGS SHALL BE VERIFIED BY THE BUILDER, FROM ARCHITECTURAL DRAWINGS. ALL DISCREPANCIES SHALL BE REFERRED TO ARCHITECT FOR RESOLUTION.

G3. DURING CONSTRUCTION, STRUCTURES SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVERLOADED. TEMPORARY SUPPORT SHALL BE PROVIDED BY THE BUILDER IN ORDER TO KEEP THE WORKS AND ANY EXCAVATIONS STABLE AT ALL TIMES.

G4. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF CURRENT STANDARDS AUSTRALIA CODES, AND THE BUILDING CODE OF AUSTRALIA.

G5. THE STRUCTURAL COMPONENTS DETAILED ON THE STRUCTURAL DRAWINGS HAVE BEEN DESIGNED FOR THE FOLLOWING LOADS:

- I LIVE LOADS IN ACCORDANCE WITH AS 1170 - PART 1
- II WIND LOADS IN ACCORDANCE WITH AS 1170 - PART 2 TERRAIN CATEGORY 3 REGION A3

G6. CONSTRUCTION USING THE STRUCTURAL DRAWINGS SHALL NOT COMMENCE UNTIL A CONSTRUCTION CERTIFICATE IS ISSUED BY THE PRINCIPAL CERTIFYING AUTHORITY.

G7. THE CONTRACTOR SHALL GIVE AT LEAST FORTY- EIGHT HOURS NOTICE OF ANY INSPECTIONS OF STRUCTURAL WORK.

### SITE PREPARATION NOTES

SP1. BUILDER TO PROVIDE AND VERIFY SITE CLASSIFICATION PRIOR TO CONSTRUCTION.

SP2. REMOVE ALL ORGANIC AND FOREIGN MATTER FROM SITE, GRADE ROLL AND PREPARE TO AS 3798.

SP3. NO SIGNIFICANT SILTY MATERIALS ARE TO BE INCORPORATED WITHIN THE SOIL PROFILE SUPPORTING THE SLAB (OTHERWISE TECHNICAL ADVICE MUST BE SOUGHT AS TO THE LONG TERM INTEGRITY OF THE PLATFORM).

SP4. IF THE SITE IS BENCHMARKED WITH A CUT AND FILL APPLICATION THE FILL IS TO BE CERTIFIED BY A QUALIFIED PRACTISING GEOTECHNICAL ENGINEER OTHERWISE STRUCTURAL PIERS MUST BE INSTALLED IN ACCORDANCE WITH STRUCTURAL ENGINEERING DESIGN ADAPTING SUSPENDED WORKS.

SP5. COMPACTED FILL TO AS 3798 AND AS 2870.

SP6. GRADING OF THE NATURAL OR FILL LEVELS ARE TO FALL AWAY FROM THE SLAB FACE ENSURING NO PONDING OF RAINWATER OR EROSION MATERIAL.

SP7. SUBSOIL DRAINS CONSTRUCTED WHERE DESIRABLE TO ALLEVIATE SUBTERRANEAN WATER AND POTENTIAL EXCESSIVE MOISTURE RETENTION WITHIN THE STRUCTURAL PLATFORM.

SP8. ALL EXCAVATIONS FOR DRAINAGE (SEWER AND STORMWATER) RUNNING PARALLEL OR WITHIN THIS VICINITY NOT TO EXTEND BELOW A LINE DRAWN AT 45 DEGREE + 300mm TO THE HORIZONTAL. FOR CLAY AND 30 DEGREES + 300mm FOR SAND OR GRANULAR MATERIAL FROM THE BOTTOM OF THE FOOTING OR EXCAVATED BASE OF PIERS.

SP9. ALL DRAINAGE EXCAVATIONS TO BE REINSTATED WITH COMPACTED GRANULAR TYPE FILL COMPACTED TO 90% M.M.D.

SP10. MINIMUM DESIGN BEARING CAPACITY FOR STRUCTURAL PLATFORMS TO BE 50KPa (UNO) WHERE CONCRETE SLABS ARE TO BE SUPPORTED.

SP11. BUILDER TO ISSUE CSRO REPORT TO HOMEOWNER. "GUIDE TO HOMEOWNERS ON FOUNDATION MAINTENANCE AND FOOTING PERFORMANCE".

### FOOTINGS

F1. FOOTINGS HAVE BEEN DESIGNED FOR AN ALLOWABLE BEARING CAPACITY OF 100 KPa.

F2. FOOTINGS SHALL BE LOCATED CENTRALLY UNDER WALLS AND COLUMNS UNLESS NOTED OTHERWISE ON STRUCTURAL DRAWINGS.

F3. FOOTINGS SHALL BE CONSTRUCTED AND BACKFILLED AS SOON AS POSSIBLE FOLLOWING EXCAVATION. IF CONCRETE IS NOT PLACED IMMEDIATELY AFTER EXCAVATION OF FOOTING, PROVIDE A 50mm BLINDING LAYER OF WEAK (15MPa) CONCRETE TO THE BASE OF EXCAVATION FOUNDATION.

F4. EXCAVATE FOR FOUNDATIONS TO THE REQUIRED SIZES AND DEPTH. FOOTING FOUNDING LEVELS ARE PROVISIONAL SUBJECT TO ACTUAL SITE CONDITIONS.

### BONDEK/CONDECK FORMWORK

B1. UNLESS NOTED OTHERWISE BONDEK PANELS SHALL BE 10mm

B2. BONDEK PANELS ARE TO BE SECURELY FIXED OR HELD DOWN TO PREVENT DISPLACEMENT DUE TO CONSTRUCTION LOADING OR WIND UPLIFT PRIOR TO CONCRETING.

B3. FIX BONDEK PANELS TO STEELWORK BY PUDDLE WELDING, DRIVE PINS, OR OTHER SUITABLE METHODS. SLIP JOINTS SHALL BE LOCATED AS SHOWN.

B4. FIXING TO MASONRY IS NOT NECESSARY PROVIDED CONCRETE IS PLACED IMMEDIATELY AFTER PANELS ARE LAID. TOP COURSE OF BRICKWORK IS TO BE STRAIGHT AND LEVEL. IF REQUIRED PROVIDE LAYER OF SMOOTH HARD MORTAR. SLIP JOINTS SHALL BE PROVIDED AT ALL MASONRY SUPPORTS UNLESS NOTED OTHERWISE.

B5. BEFORE CONCRETE IS PLACED, ANY ACCUMULATED DEBRIS, GREASE OR ANY OTHER SUBSTANCE WILL NEED TO BE REMOVED TO ENSURE CLEAN BONDING SURFACE. ANY PONDED RAINWATER SHOULD BE REMOVED BY BLOWING OR SWEEPING.

B6. FASTENING OF SIDE LAP JOINTS OF BONDEK SHALL BE IN ACCORDANCE WITH LYSAGHT PUBLICATIONS, AND GENERALLY ONE 10-24x15mm SELF-DRILLING TAPPING SCREW IS REQUIRED MID-SPAN FOR SUPPORT SPACING OF 2750mm OR GREATER. FOR POINT LOAD RATINGS OR EXPOSED SOFFITS ADDITIONAL FIXINGS MAY BE REQUIRED.

B7. UNLESS NOTED OTHERWISE PROPPING OF THE BONDEK SHALL BE IN ACCORDANCE WITH LYSAGHT PUBLICATIONS.

B8. PROPS SHOULD NOT BE REMOVED UNTIL CONCRETE HAS REACHED SUFFICIENT STRENGTH.

### STRUCTURAL STEELWORK

S1. DESIGN CONFORMS TO AS 4100. FABRICATION AND ERECTION SHALL BE CARRIED OUT IN ACCORDANCE WITH THE PROVISIONS OF AS 4100 AND AS/NZS 5131.

S2. UNLESS NOTED OTHERWISE, ALL STEEL SHALL CONFORM TO THE FOLLOWING AUSTRALIAN STANDARDS, IN RESPECT OF GRADE AND CONDITIONS OF SUPPLY.

COMPONENT	STANDARD	MIN. GRADE
ROLLED SECTIONS	AS/NZS 3679.1 TS 102	300
WELDED SECTIONS	AS/NZS 3679.2 TS 102	300
FLAT BARS	AS/NZS 1594 TS 102	300
PLATE/FLOOR PLATE	AS/NZS 3678 TS 102	250

HOLLOW SECTIONS - CHS	AS 1633 TS 102	C350
HOLLOW SECTIONS - SHS/RHS	AS 1633 TS 102	C450
PURLINS/ROOF	AS 1197	C450
SHEAR STUDS	AS/NZS 1594.2	380

TEST CERTIFICATES CONFIRMING CONFORMANCE ISSUED BY SUPPLIER SHALL BE AVAILABLE FOR INSPECTION.

ALL STRUCTURAL STEEL SHALL BE SOURCED FROM MILLS WITH A RELEVANT JOINT ACCREDITATION SYSTEM OF AUSTRALIA AND NEW ZEALAND (JAS-ANZ) ACCREDITED THIRD-PARTY CERTIFICATION SYSTEM SUCH AS THE AUSTRALASIAN CERTIFICATION AUTHORITY FOR REINFORCING AND STRUCTURAL STEELS (ACRS) SCHEME. ALTERNATIVE SOURCING OF THIRD-PARTY CERTIFIED STRUCTURAL STEEL SHALL BE SUBMITTED FOR REVIEW AND MUST BE APPROVED PRIOR TO THE COMMENCEMENT OF PROCUREMENT.

S3. MEMBER SIZES SHALL BE AS SHOWN ON THE STRUCTURAL DRAWINGS.

S4. THE CONTRACTOR SHALL PREPARE WORKSHOP (SHOP DETAIL) DRAWINGS AND SHALL SUBMIT COPIES OF EACH DRAWING FOR EXAMINATION OF CONNECTION DETAILS. FABRICATION SHALL NOT COMMENCE UNTIL THE WORKSHOP DRAWINGS HAVE BEEN APPROVED. APPROVAL WILL BE PROVIDED FOR MEMBER SIZES AND CONNECTION STRENGTHS, BUT WILL NOT EXTEND TO DIMENSIONS. ALL DIMENSIONS AND SETOUTS SHALL BE OBTAINED FROM ARCHITECTURAL DRAWINGS. SHOULD VARIATIONS BE NECESSARY TO THE STRUCTURAL DETAILS PROVIDED, THESE SHALL BE REFERRED TO THE ENGINEER FOR APPROVAL BEFORE BEING INCLUDED ON SHOP DETAIL DRAWINGS. SHOP DETAIL DRAWINGS SHALL CLEARLY INDICATE:

- DIMENSIONS OF ITEMS, IDENTIFICATION AND STEEL GRADE
- LOCATION, TYPE AND SIZE OF WELDS/BOLTS
- PROCEDURES NECESSARY FOR SHOP AND SITE ASSEMBLY
- ORIENTATION OF MEMBERS
- CAMBER
- LOCATION OF TEMPORARY CONNECTIONS AND BRACING
- SURFACE PREPARATION METHOD AND COATING SYSTEM
- WELDING AND BOLTING CATEGORIES
- SHOP DETAILS SHALL PROVIDE FOR FIXING OR SUPPORT OF ANY BUILDING

### ELEMENTS SHOWN ON ARCHITECTURAL DRAWINGS

S5. ALL WELDING SHALL BE CARRIED OUT IN ACCORDANCE WITH AS 1554.1. ALL WELDS FOR STRUCTURAL STEEL SHALL BE WELD CATEGORY GP, UNLESS NOTED OTHERWISE. ELECTRODES SHALL BE TO AS 1553. AS 1558 AS 2203 OR AS 3717 AS APPROPRIATE BASED ON THE YIELD STRENGTH OF THE STEEL TO BE WELDED, AS DEFINED IN THE TABLES BELOW.

NOMINAL YIELD STRENGTH OF STEEL TO BE WELDED	TO CONFORM WITH AUSTRALIAN STANDARDS
+ 500 MPa	AS/NZS 1554.1
+ 500 MPa - 600 MPa	AS/NZS 1554.1

### WELD CONSUMABLES:

NOMINAL YIELD STRENGTH OF STEEL TO BE WELDED	NOMINAL TENSILE STRENGTH OF WELD METAL FILL
ALL STEEL WITH GRADE + 300 MPa	630 MPa
ALL STEEL WITH 300+GRADE +450 MPa	630 MPa
QUENCH AND TEMPERED STEEL +600 MPa	760 MPa

S6. BOLTING CATEGORIES ARE IDENTIFIED ON THE DRAWINGS IN THE FOLLOWING MANNER:

- 4.6/5 - COMMERCIAL BOLTS OF GRADE 4.6 TO AS 1111, SNUG TIGHTENED TO AS/NZS 5131.
- 8.8/5 - HIGH STRENGTH BOLTS OF GRADE 8.8 TO AS 1252.1, SNUG TIGHTENED TO AS/NZS 5131.
- 8.8/8 - HIGH STRENGTH BOLTS OF GRADE 8.8 TO AS 1252.1, FULLY TENSIONED TO AS/NZS 5131.
- 8.8/TF - HIGH STRENGTH BOLTS OF GRADE 8.8 TO AS 1252.1, FULLY TENSIONED TO AS/NZS 5131. AS A FRICTION TYPE JOINT WITH FAYING SURFACES LEFT UNCOATED.

S7. UNLESS NOTED OTHERWISE, HOLES SHALL BE 2mm LARGER THAN THE NOMINAL BOLT DIAMETER. WHERE SLOTTED OR OVERSIZE HOLES ARE PERMITTED ON THE STRUCTURAL DRAWINGS, THEY SHALL COMPLY WITH AS 4100. HAND FLAME CUTTING OF BOLT HOLES IS NOT PERMITTED.

S8. UNLESS NOTED OTHERWISE, ALL BOLTS AND WASHERS SHALL BE GALVANISED TO AS/NZS 1214.

S9. FABRICATION AND ERECTION TOLERANCES SHALL COMPLY WITH AS 4100, SECTION 14 AND AS/NZS 5131, UNLESS NOTED OTHERWISE ON THE STRUCTURAL DRAWINGS.

S10. ALL BEAMS AND RAFTERS SHALL BE FABRICATED AND ERECTED WITH NATURAL CAMBER UP. PROVIDE STRUCTURAL MEMBERS IN SINGLE LENGTHS UNLESS SPLICES ARE SHOWN ON THE STRUCTURAL DRAWINGS.

S11. ALL STEELWORK SHALL BE TEMPORARILY BRACED IN A SECURE MANNER IN ORDER TO STABILISE THE STRUCTURE DURING ERECTION.

S12. FOR EACH GROUP OF ANCHOR BOLTS PROVIDE A TEMPLATE WITH SETTING OUT LINES CLEARLY MARKED FOR POSITIONING THE BOLTS WHEN CASTING IN.

S13. ALL LOAD INDICATOR WASHERS SHALL BE SHERARIZED. PROVIDE SEAL PLATES TO ALL HOLLOW SECTIONS, WITH BREATHER HOLES IF MEMBERS ARE TO BE HOT DIP GALVANISED.

S14. NON-DESTRUCTIVE WELD EXAMINATION SHALL BE AS FOLLOWS:

NON-DESTRUCTION WELD EXAMINATION (NDE) TABLE		
TYPE OF WELD	EXAMINATION METHOD	EXTENT (% OF TOTAL AND CATEGORY)
FILLET WELDS	VISUAL INSPECTION	100
BUTT WELDS GP	VISUAL INSPECTION	100
BUTT WELDS SP	VISUAL INSPECTION	100
BUTT WELDS SP	RADIOGRAPHIC OR ULTRASONIC INSPECTION	100

S15. ALL ROD BRACING TO HAVE GRADE 5 (STRUCTURAL) TURNBUCKLES. THE CAPACITY OF THE TURNBUCKLE IS TO EXCEED THE ULTIMATE CAPACITY OF THE ROD.

S16. THE MINIMUM SURFACE PREPARATION AND TREATMENT OF STEELWORK SHALL BE IN ACCORDANCE WITH AS 2312, AS FOLLOWS:

LOCATION	AS 2312 ATMOSPHERIC CORROSION CATEGORY	MINIMUM YEARS TO FIRST MAINTENANCE
INTERNAL	CATEGORY C1 - VERY LOW	25+
EXTERNAL	CATEGORY C3 - MEDIUM	25+

- TOP COATS TO BE IN ACCORDANCE WITH THE ARCHITECT'S SPECIFICATION.
- ALL PAINT TO BE APPLIED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- ALL STEELWORK NOT ENCASED IN CONCRETE OR 'GALVANISED' SHALL HAVE THE SURFACES CLEANED BY ABRASIVE BLAST CLEANING TO CLASS 2-1/2 STANDARD IN ACCORDANCE WITH AS 4074.
- ALL AREAS INACCESSIBLE AFTER FABRICATION SHALL BE CLEANED AND PAINTED PRIOR TO FABRICATION.
- UNLESS OTHERWISE NOTED ALL STEEL SURFACES SHALL BE COATED WITH:
  - a) LUXAPRIME ZINC PHOSPHATE, OR APPROVED EQUIVALENT, TO A DRY FILM THICKNESS OF 75 MICRONS AND;
  - b) TOP COATS TO BE IN ACCORDANCE WITH THE ARCHITECT'S SPECIFICATION. ALL PAINT TO BE APPLIED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS. MEMBERS BUILT INTO WALLS NOT MARKED GALVANISED

- TO BE COATED WITH JOTAPRIME TO 75 MICRONS NO TOP COAT OR EQUAL, WHERE NOTED 'GALVANISED', STEELWORK SHALL BE CHEMICALLY DESCALED AND CLEANED IN ACCORDANCE WITH AS 1627.5 TO REMOVE ALL RUST, MILL SCALE, OIL, GREASE AND FOREIGN MATTER OF ALL DESCRIPTION LEAVING A UNIFORM SURFACE OF CLEAN METAL OR A TIGHTLY ADHERING COATING OF ZINC OR IRON PHOSPHATE. STEELWORK SHALL THEN BE GALVANISED IN ACCORDANCE WITH AS 1650 BY IMMERSING IN A BATH OF HOT ZINC TO PRODUCE A ZINC COATING WHICH EQUIVALES TO A DRY FILM MASS IN ACCORDANCE WITH THE ABOVE TABLE TO AS 2312.
- ALL TRANSPORT AND ERECTION ABRASIONS, SITE WELDS, ETC. ARE TO BE REINSTATED BY THOROUGHLY WIRE BRUSHING ALL AFFECTED AREAS TO ACHIEVE A CLEAN SOUND SUBSTRATE AND PATCH COATED AS FOR PRIMING EXCEPT THAT THE MINIMUM FILM THICKNESS SHALL BE 50% GREATER THAN THE ORIGINAL PRIMER.
- GALVANISING SHALL BE TO AS 4680 (MEMBERS) OR AS 1214 (THREADED FASTENERS), AS APPROPRIATE.
- REMOVE ALL TEMPORARY CLEATS ON COMPLETION AND RESTORE THE SURFACE IN AN APPROVED MANNER.

S17. GROUT PACK UNDER ALL BASE PLATES. BEFORE GROUTING, SUPPORT BASE PLATES ON STEEL PACKERS OR WEDGES. GROUT UNDER BASE PLATES AND INTO CORED HOLES WITH CONCRETE GP NON-SHRINK GROUT OR APPROVED EQUIVALENT. APPLY IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

- MINIMUM COMPRESSIVE STRENGTH = 40MPa
- MINIMUM THICKNESS = 15mm
- MAXIMUM THICKNESS = 40mm

S18. UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, CONNECTION DETAILS SHALL BE IN ACCORDANCE WITH THE FOLLOWING MINIMUM REQUIREMENTS:

- ALL WELDS SHALL BE MINIMUM 6.0mm CONTINUOUS FILLET WELD (CFW) ALL ROUND.
- ALL STEEL TO STEEL BOLTED CONNECTIONS SHALL BE MINIMUM TWO M20 GRADE 8.8/5.
- ALL PLATES SHALL BE MINIMUM 10mm THICK.

ALL DETAILING WHERE NOT SPECIFICALLY SHOWN SHALL BE IN ACCORDANCE WITH THE AUSTRALIAN STEEL INSTITUTE (ASII) CURRENT EDITIONS OF THE DESIGN CAPACITY TABLES FOR STRUCTURAL STEEL AND THE AS1 STANDARDISED STRUCTURAL CONNECTION DETAILS CONTAINED THEREIN.

THE ENDS OF HOLLOW SECTION MEMBERS SHALL BE SEALED WITH NOMINAL 6.0mm THICK PLATES AND CONTINUOUS SEAL WELDED UNLESS NOTED OTHERWISE. F HOLLOW SECTIONS ARE TO BE HOT-DIP GALVANISED, PROVIDE VENT AND DRAINAGE HOLES.

S19. HILT HIT-RES00 V3 EPOXY OR APPROVED EQUIVALENT SHALL BE USED FOR ALL DRILL AND EPOXY CHEMICAL ANCHORS, UNLESS NOTED OTHERWISE ON THE STRUCTURAL DRAWINGS. CHEMICAL ANCHOR STUDS ARE TO BE GRADE 5.8 GALVANISED STUDS, UNLESS NOTED OTHERWISE.

MINIMUM EMBEDMENT DEPTHS ARE AS FOLLOWS:

- M12 CHEMICAL ANCHOR - 110mm EMBEDMENT
- M16 CHEMICAL ANCHOR - 125mm EMBEDMENT
- M20 CHEMICAL ANCHOR - 150mm EMBEDMENT
- M24 CHEMICAL ANCHOR - 170mm EMBEDMENT

NOTE: ALL CHEMICAL ANCHORS ARE TO HAVE MINIMUM 30mm COVER TO REAR CONCRETE FACE. CONTACT ENGINEER IF THE ABOVE LISTED EMBEDMENT DEPTHS CANNOT ACHIEVE THIS COVER.

S20. PROPRIETARY ITEMS (E.G. PURLINS, ROOF/WALL SHEETING, FERRULES, ANCHOR FIXINGS) SHALL BE INSTALLED WITH THE MANUFACTURERS SPECIFICATIONS.

S21. ANY LOADS HUNG FROM ROOF PURLINS ARE TO BE HUNG FROM WEB OF PURLIN ONLY. DO NOT HANG LOADS FROM FLANGED OR LIP OF PURLIN.

S22. WHERE ROOF SHEETING IS DIAGONALLY CUT, PROVIDE 100x75x2.5 UA COLD FORMED ANGLE TRIMMER FIXED TO ROOF BEAMS FOR SUPPORT OF SHEET EDGE, UNLESS NOTED OTHERWISE.

### CONCRETE

C1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF AS 3600 EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS. PLACING OF CONCRETE SHALL GENERALLY BE IN ACCORDANCE WITH AS 3600 CLAUSE 19.1.

C2. CONCRETE QUALITY (U.N.O. ON OTHER STRUCTURAL DRAWINGS)

ELEMENT	STRENGTH GRADE	CEMENT TYPE	MIN. CEMENT CONTENT (kg/m <sup>3</sup> )	MAX. AGG. SIZE (mm)	MAX.
PAD FOOTINGS	20	GP	250	20	80
STRIP FOOTINGS	20	GP	250	20	80
SLAB ON GROUND	20	GP	250	20	80
SUSPENDED SLABS/BEAMS	32	GP	250	20	80

BLOCK WALLS	32	GP	250	20	80
COLUMNS	40	GP	250	20	80

C3. MIX DESIGNS SHALL BE SUBMITTED FOR APPROVAL. THE USE OF BLENDED CEMENTS, FLYASH AND/OR CHEMICAL ADMIXTURES WILL NOT BE PERMITTED EXCEPT WITH PRIOR APPROVAL OF THE ENGINEER IN WRITING. IF FLYASH IS USED WITH APPROVAL THEN THIS SHOULD NOT EXCEED 80kg/m<sup>3</sup>. CONCRETE AGGREGATE SHALL CONSIST OF CRUSHED RIVER GRAVEL OR BASALT IN ACCORDANCE WITH AS 2758.1 SLAG AGGREGATES WILL NOT BE PERMITTED.

C4. PROJECT ASSESSMENT SHALL BE IN ACCORDANCE WITH AS 1379. ALL ORGANISATIONS RESPONSIBLE FOR TESTING AND ASSESSMENT OF CONCRETE AND CONCRETE MATERIALS SHALL BE NATA REGISTERED. SAMPLING AND TESTING SHALL BE TO AS 1012. ACCEPTANCE CRITERIA - AVERAGE MUST EXCEED REQUIRED VALUE, NO SAMPLE TO BE LESS THAN 85% OF REQUIRED VALUE.

C5. SUPPLY OF READY MIXED CONCRETE SHALL COMPLY WITH AS 1379.

C6. CLEAR CONCRETE COVER SHALL BE IN ACCORDANCE WITH TABLE BELOW UNLESS NOTED OTHERWISE ON THE STRUCTURAL DRAWINGS.

ELEMENT	POURED AGAINST GROUND	POURED AGAINST SURFACE FORMS OR PLASTIC SHEETING	TOP
PAD AND STRIP FOOTINGS	65	50	50
SLABS ON GROUND	-	30	35
RETAINING WALLS	65	40	-
SUSPENDED FLOORS	-	25	25

C7. REINFORCEMENT SHALL GENERALLY COMPLY WITH AS 3600 CLAUSE 19.2. REINFORCEMENT IS SHOWN DIAGMATICALLY AND NOT NECESSARILY IN TRUE PROJECTION ON STRUCTURAL DRAWINGS. ALL REINFORCING BARS SHALL BE GRADE D5000 TO AS 4671. ALL WELDED MESH SHALL BE GRADE 500L TO AS 4671 AND SHALL BE SUPPLIED IN FLAT SHEETS. REINFORCEMENT SYMBOLS:

- N GRADE 500L DEFORMED BAR TO AS 4671
- R GRADE 250R ROUND BAR TO AS 4671
- RL RECTANGULAR MESH GRADE 500L TO AS 4671
- SL SQUARE MESH GRADE 500L TO AS 4671
- TM TRENCH MESH GRADE 500L TO AS 4671

THE NUMBER IMMEDIATELY FOLLOWING THE N SYMBOL IS THE BAR DIAMETER IN MILLIMETERS. (E.G. N20 IS A 20mm BAR GRADE 500L)

C8. ALL REINFORCEMENT SHALL BE FIRMLY SUPPORTED ON PLASTIC TIPPED STEEL, PLASTIC OR CONCRETE CHAIRS GENERALLY AT NOT GREATER THAN 900mm CENTERS BOTH WAYS. BARS ARE TO BE TIED AT ALTERNATE INTERSECTIONS WITH WIRE TIES. IN EXPOSURE CONDITIONS OF B2 OR C, USE ONLY PLASTIC CHAIRS.

C9. LAPS AND SPLICES SHALL BE MADE ONLY IN THE POSITIONS AND TO THE DIMENSIONS SHOWN ON THE STRUCTURAL DRAWINGS. FABRIC SHALL BE LAPPED TWO TRANSVERSE WIRES PLUS 50mm JOGGLES TO BARS SHALL BE 18AR DIAMETER OVER A LENGTH OF 12 BAR DIAMETERS. BUNDLED BARS SHALL BE TIED TOGETHER AT CENTERS OF 30 BAR DIAMETERS WITH THREE (3) WRAPS OF THE WIRE.

C10. DO NOT WELD REINFORCEMENT EXCEPT AS SHOWN ON THE DRAWINGS, OR AS APPROVED BY THE ENGINEER. IF APPROVED, SUCH WELDING SHALL COMPLY WITH AS 1554.3.

C11. BEAM DEPTHS ARE WRITTEN FIRST AND INCLUDE SLAB THICKNESS. CONCRETE SIZES DO NOT INCLUDE THICKNESS OF APPLIED TOPPING IF APPROVED. SUCH WELDING SHALL COMPLY WITH AS 1554.3.

C12. NO PENETRATIONS, HOLES OR CHASES OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE MADE IN CONCRETE ELEMENTS WITHOUT THE APPROVAL OF THE ENGINEER.

C13. FOR CHAMFERS, GROOVES, REGLETS REFER TO ARCHITECTURAL DETAILS. MAINTAIN COVER AT ALL DETAILS.

C14. PLACE CONCRETE IN LAYERS SUCH THAT EACH SUCCEEDING LAYER IS BLENDED INTO THE PRECEDING ONE BY THE COMPACTION PROCESS. THE FINISHED CONCRETE SHALL BE A DENSE HOMOGENEOUS MASS COMPLETELY FILLING THE FORMWORK AND THOROUGHLY EMBEDDING THE REINFORCEMENT.

C15. COMPACTION USE IMMERSION AND SCALED VIBRATORS ACCOMPANIED BY HAND METHODS AS APPROPRIATE TO REMOVE AIR BUBBLES AND COMPACT THE MIX. USE FORM VIBRATORS WHERE USE OF IMMERSION VIBRATORS IS IMPRACTICABLE. ENSURE CONCRETE IS FULLY COMPACTED AND ENTRAPPED AIR REMOVED, BUT AVOID OVER VIBRATION THAT MAY CAUSE SEGREGATION. DO NOT USE VIBRATORS TO MOVE CONCRETE ALONG THE FORMS.

C16. CURE AS SOON AS THE SURFACE OF THE CONCRETE HAS HARDENED SEVEN DAYS. CURE BY ONE OF THE FOLLOWING MEANS:

- PONDING OR CONTINUOUS SPRINKLING WITH WATER, OR
- THE USE OF WET COVERINGS SUCH AS HESSIAN OR SAND.

SHEETING MUST BE PROTECTED FROM WIND AND TRAFFIC.

C17. DURING HOT OR WINDY WEATHER, USE ALIPHATIC ALCOHOL SPRAYED ON AFTER SCREEDING TO PREVENT PLASTIC SHRINKAGE OF TOP SURFACE UNTIL

CURING IS APPLIED.

C18. THE SUBCONTRACTOR SHALL GIVE AT LEAST TWENTY FOUR HOURS NOTICE SO THAT INSPECTION MAY BE MADE OF THE FOLLOWING:

- MEMBRANE INSTALLED ON THE SUB-BASE (WHERE APPLICABLE)
- REINFORCEMENT AND TENDONS FIXED IN PLACE.
- CORES AND EMBEDMENT FIXED IN PLACE.

NO CONCRETE SHALL BE PLACED UNTIL INSPECTION IS COMPLETED.

C19. UNDERLAY MEMBRANE SHALL BE HIGH-IMPACT RESISTANCE POLYETHYLENE FILM TO AS 1326 GRADE IR3. LAP JOINTS SHALL HAVE AT LEAST 200mm OVERLAP, SEALED WITH PRESSURE-SENSITIVE ADHESIVE TAPE. PLACE METAL OR PLASTIC PLATES UNDER REINFORCING CHAIRS TO AVOID PUNCTURING MEMBRANE.

C20. MAKE CONSTRUCTION JOINTS WHERE SHOWN ON THE STRUCTURAL DRAWINGS. DO NOT RELOCATE OR ELIMINATE A CONSTRUCTION JOINT. DO NOT MAKE A CONSTRUCTION JOINT NOT SHOWN ON THE STRUCTURAL DRAWINGS, WITHOUT PRIOR APPROVAL OF THE ENGINEER. BEFORE FRESH CONCRETE IS PLACED AT A CONSTRUCTION JOINT, ROUGHEN AND CLEAN THE HARDENED CONCRETE SURFACE OF THE JOINT. JUST THAT ALL SOFT MATERIAL FOREIGN MATTER AND LANTAGE IS REMOVED. JUST PRIOR TO PLACEMENT, DAMPEN THE HARDENED CONCRETE SURFACE, WITHOUT LEAVING FREE WATER JUST BEFORE PLACING CONCRETE.

C21. CONSTRUCTION SUPPORT PROPPING SHALL BE LEFT IN PLACE AS REQUIRED IN ORDER TO AVOID OVERSTRESSING A COMPLETED FLOOR DUE TO CONSTRUCTION LOADING. ALL BACKPROPPING SHALL BE APPROVED BY THE ENGINEER.

C22. BRICKWORK OR UNREINFORCED CONCRETE MASONRY BLOCKWORK SHALL NOT BE BUILT ON SUSPENDED CONCRETE SLABS OR BEAMS UNTIL SUPPORTING FORMWORK HAS BEEN REMOVED.

C23. CONDUITS AND PIPES SHALL BE LOCATED IN THE MIDDLE OF THE SLAB OR BEAM DEPTH AND SHALL BE SPACED HORIZONTALLY AT A MINIMUM OF 3 TIMES THE CONDUIT DIAMETER. CONDUITS AND PIPES

### UNREINFORCED STONEWORK MASONRY

SM1. UNREINFORCED STONEWORK MASONRY SHALL GENERALLY BE IN ACCORDANCE WITH AS 3700 UNLESS NOTED OTHERWISE ON STRUCTURAL DRAWINGS.

SM2. STONE MASONRY ELEMENTS SHALL BE BUILT UP FROM RANDOMLY PLACED STONES, OF UNIFORM QUALITY AND FREE FROM DEFECTS LIABLE TO AFFECT ITS STRENGTH, APPEARANCE, AND DURABILITY UNDER THE INTENDED CONDITIONS OF USE.

SM3. STONE MASONRY SHALL BE SELECTED WITH REFERENCE TO THE ARCHITECTURAL INTENT FOR COLOUR AND PATTERNING.

SM4. CONSTRUCTION TOLERANCES FOR STONEWORK ELEMENTS SHALL GENERALLY COMPLY WITH TABLE 12.1 OF AS 3700. ALL LOAD BEARING STONE ELEMENTS SHALL DEVIATE FROM THE NOTED DIMENSIONS BY NO MORE THAN ±2.0mm. ALL NON-LOAD BEARING STONE ELEMENTS SHALL DEVIATE FROM THE NOTED DIMENSIONS BY NO MORE THAN ±10.0mm.

SM5. STONE SHALL BE NATURAL SANDSTONE OR GRANITE AND WILL BE CHECKED FOR DEFECTS AGAINST THE FOLLOWING CRITERIA:

- a. SANDSTONE: MINOR SHALE LAMINAE OR INTERBEDS AND MINOR CONCENTRATIONS OF CARBONACEOUS MATERIAL (TEA LEAVES) ARE NOT ACCEPTABLE IN VISIBLE FACES.
- b. GRANITE: IGNEOUS QUARRY STONE EXTRACTED IN BLOCKS CONTAINING NO MORE THAN A SMALL DEGREE OF MICROCRACKING.

SM6. MORTAR USED SHALL BE TYPE GP AND CONFORM TO AS 2972 AND WILL NOT CONTAIN ADMIXTURES UNLESS APPROVED IN WRITING. PIGMENTS USED IN THE MORTAR MIX SHALL FORM NO MORE THAN 10% OF THE CEMENT MASS BY WEIGHT.

SM7. ALL WALL TIES SHALL BE IN ACCORDANCE WITH AS 2699.1. MEDIUM DUTY TYPE A FOR CAVITIES LESS THAN 60mm AND HEAVY DUTY TYPE A WALL TIES FOR CAVITIES GREATER THAN 60mm WILL BE USED. WALL TIES SHALL BE BUILT IN AND EMBEDDED AT LEAST 50mm WITH A MINIMUM 15mm COVER FROM THE EXTERNAL FACE.

SM8. ISOLATE CONTACT SURFACES OF DISSIMILAR TYPES OF STONE WITH A MEMBRANE OR CONTROL JOINT. ALL SEDIMENTARY STONEWORK SHALL BE ISOLATED FROM BRICKWORK AND OTHER MASONRY TO PREVENT SALTS MOVEMENT.

SM9. WEEP HOLES FOR CAVITY OR RETAINING ELEMENTS SHALL BE FORMED BY OPEN PERPENDS OF A FULL STONE COARSE AND AT LEAST 8mm WIDTH. SPACING OF WEEP HOLES SHALL NOT EXCEED 1000mm UNLESS NOTED OTHERWISE ON STRUCTURAL DRAWINGS.

B FOR CONSTRUCTION

A FOR INFORMATION

ISSUE DESCRIPTION DATE DRAWN

1

2

3

4

5

6

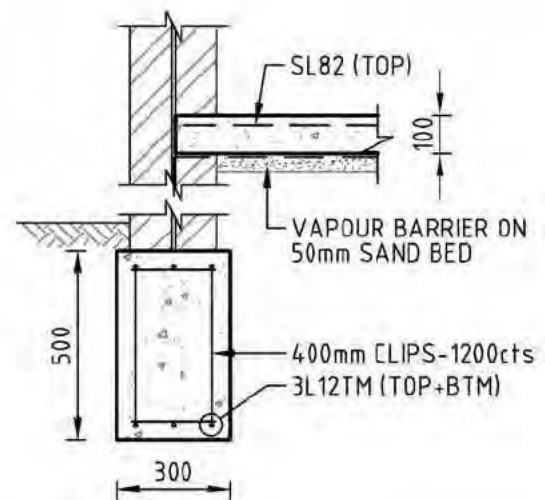


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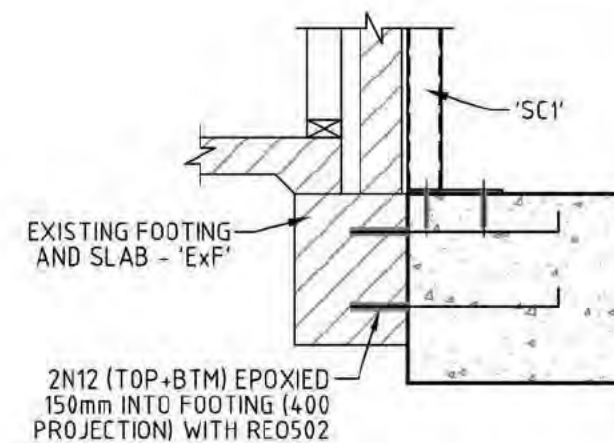






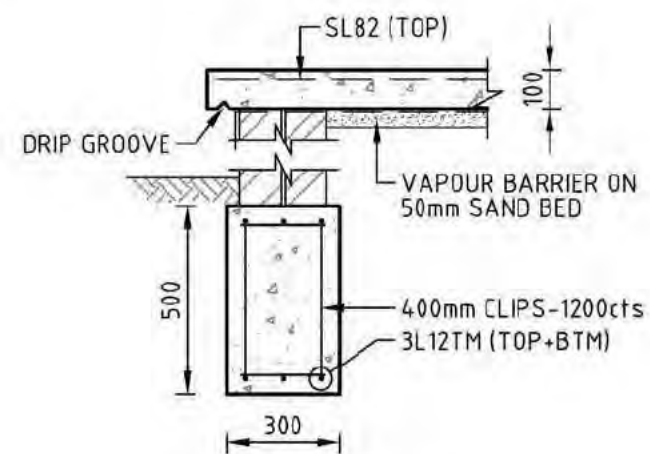
TYPICAL SF1  
SECTION  
SCALE 1:20

1  
1000



TYPICAL 'PF1' AT 'ExF'  
SECTION  
SCALE 1:20

2  
1000



ALTERNATE SF1  
SECTION  
SCALE 1:20

3  
1000

B FOR CONSTRUCTION  
Minor Amendments  
A FOR CONSTRUCTION

13.01.21 JMc  
12.01.21 JMc



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PROJECT TITLE  
PROPOSED DECK  
AND PERGOLA

CLIENT  
Sch 2.2(a)(ii)

DESIGNED BY  
CPB  
CHECKED BY  
DMc  
AUTHORISED BY  
DATE

DRAWING TITLE  
GROUND FLOOR DETAILS  
SHEET 1

PROJECT LOCATION

SCALE  
AS SHOWN AT A3








JOB NO.  
201226

DRAWING NO.  
1010





NOTE: ALL TIMBER FRAMING TO BE TREATED IN ACCORDANCE WITH THE NCC

GENERAL ARRANGEMENT LEGEND	
SCALE 1:100	
SC1	: INDICATES CONTINUOUS COLUMN UNDER AND OVER
SC1-U+O	: INDICATES COLUMN UNDER AND OVER - NOT CONTINUOUS
SC1-O	: INDICATES COLUMN UNDER
SC1-U	: INDICATES COLUMN OVER
	: INDICATES 230mm BRICK WALL UNDER AND OVER
	: INDICATES 230mm BRICK WALL OVER
 SL81(T)	: INDICATES SLAB THICKNESS AND MESH OVERALL U.N.O
STEP 	: INDICATES STEP IN SLAB/FLOOR
	: INDICATES FLOOR PENETRATION LOCATION
	: INDICATES DIRECTION OF DECK JOISTS
	: INDICATES RIB DIRECTION OF 0.75mm STRUCTURAL DECK (CONDEK/BONDEK)
<p>NOTES:</p> <ul style="list-style-type: none"> <li>REFER TO ARCHITECTS DRAWINGS FOR LOCATION &amp; SETOUT OF ALL SLAB EDGES, COLUMNS, WALLS, HOBS, SETDOWNS ETC.</li> </ul>	

F	C	FOR CONSTRUCTION Minor Amendments	12.01.21	JMc
	B	FOR CONSTRUCTION Minor Amendments	18.11.20	JMc
	A	FOR INFORMATION	16.11.20	JMc
	ISSUE DESCRIPTION		DATE	DRAWN



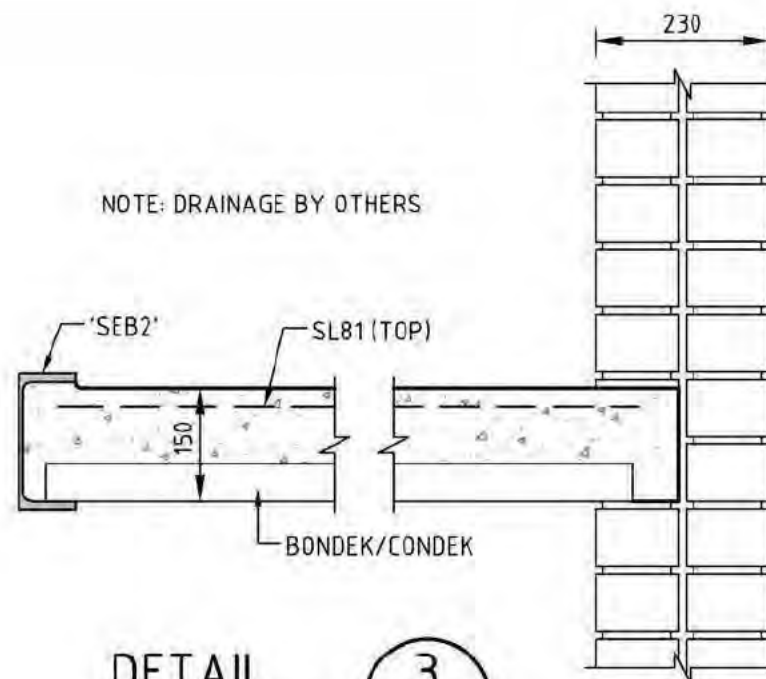
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Sch 2.2(a)(ii)

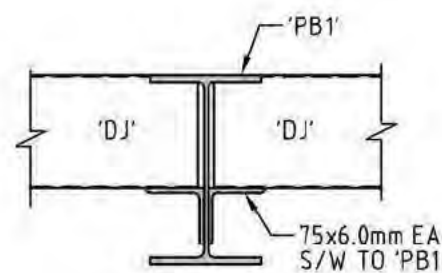
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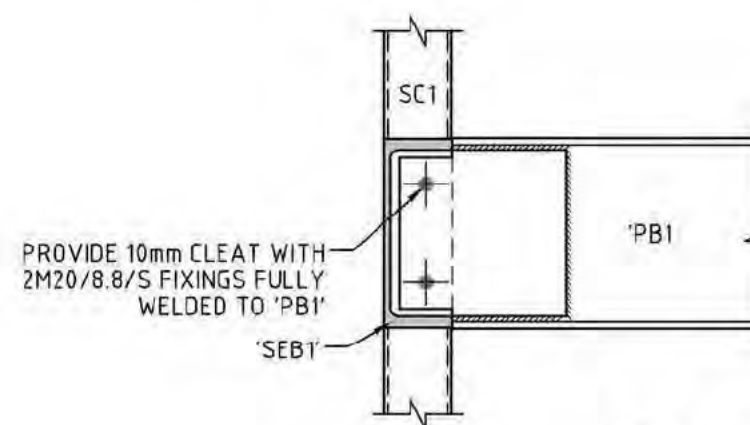




DETAIL 3  
SCALE 1:10



DETAIL 4  
SCALE 1:10



DETAIL 5  
SCALE 1:10



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PROJECT TITLE  
**PROPOSED DECK  
AND PERGOLA**

CLIENT  
**Sch 2.2(a)(ii)**

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CPB  
CHECKED BY  
DMc  
AUTHORISED BY  
DATE

DRAWING TITLE  
**LEVEL 1 DETAILS  
SHEET 1**

PROJECT LOCATION

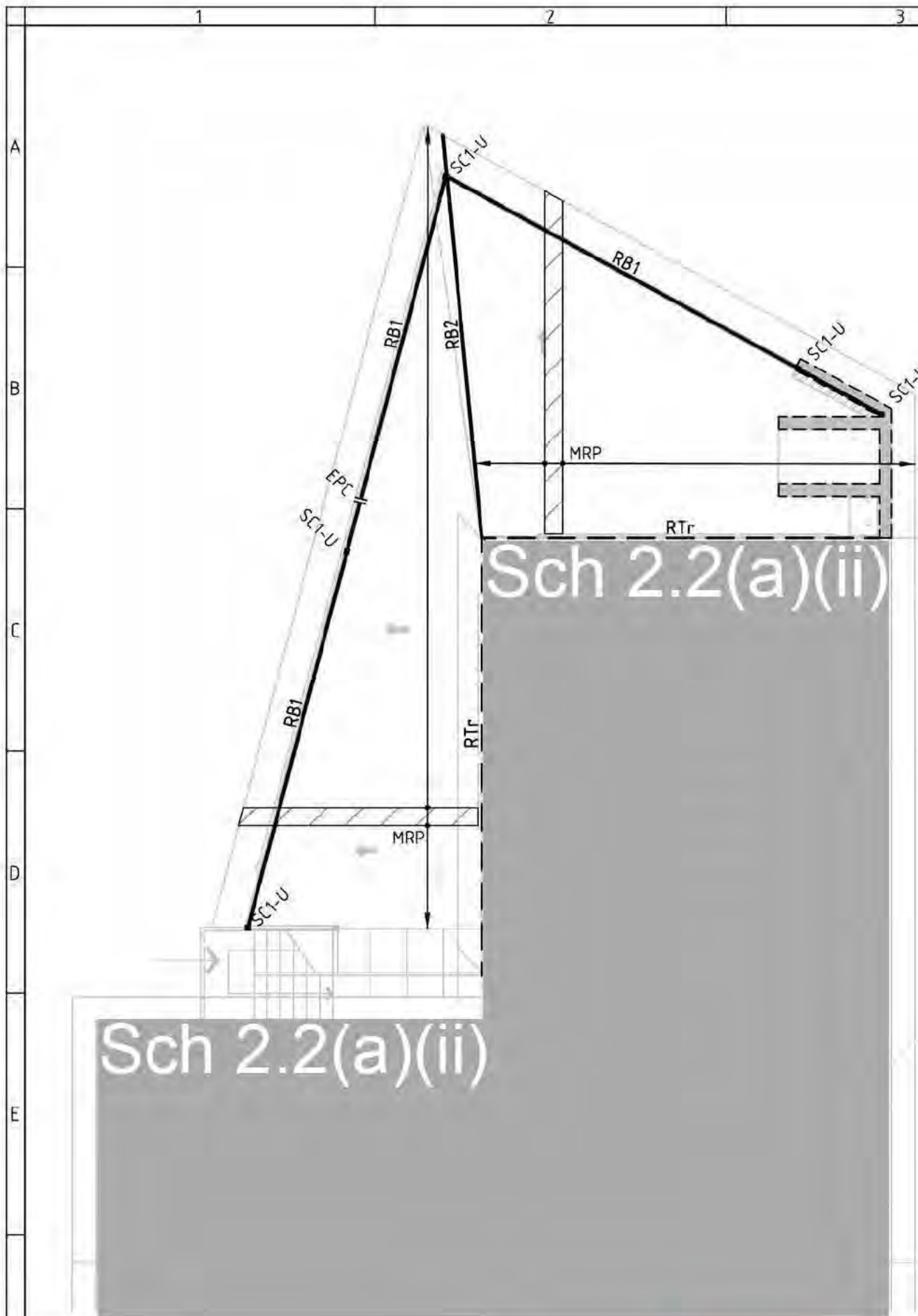
SCALE  
**AS SHOWN AT A3**

JOB NO.  
**201226**

DRAWING NO.  
**1110**

A FOR CONSTRUCTION  
ISSUE DESCRIPTION

18.11.20 JMC  
DATE DRAWN



### GENERAL ARRANGEMENT LEGEND

SCALE 1:100

SC1-U

: INDICATES COLUMN UNDER

MRP

: INDICATES 230mm BRICK WALL UNDER

MRP

: INDICATES DIRECTION OF MANUFACTURED ROOF PANEL

#### NOTES:

- REFER TO ARCHITECTS DRAWINGS FOR LOCATION & SETOUT OF ALL SLAB EDGES, COLUMNS, WALLS, HOBS, SETDOWNS ETC.

NOTE: ASSUMED TRUSS LAYOUT TO BE CONFIRMED BY TRUSS MANUFACTURER AND REFERRED BACK TO DESIGN ENGINEER.

### MEMBER SCHEDULE

MARK	TYPE	SIZE	REMARKS
DJ	DECK JOIST	150x50x2.0mm RHS DURAGAL	PROVIDE DECK JOIST AT 450cts
DS	DOUBLE STUD	2/90x45 MGP10	PROVIDE 2 ROWS OF NOGGINS
DT	DECK TRIMMER	150x50x2.0mm RHS DURAGAL	
EPC	END PLATE CONNECTION	10mm PLATE	PROVIDE 3M20/8.8/S FIXINGS
Ld	LEDGER	150x50x2.0mm RHS DURAGAL	PROVIDE M12 FIXINGS AT 450cts
MRP	MANUFACTURED ROOF PANEL	50mm MIN VERSALNK PANELS	INSTALLED TO MANUFACTURERS SPECIFICATIONS
MRT	MANUFACTURED ROOF TRUSSES	ROOF TRUSSES TO MANUFACTURERS SPECIFICATIONS	
PB1	PERGOLA BEAM	250UB31	
RB1	ROOF BEAM	200 PFC	
RB2	ROOF BEAM	200UB22	
RTr	ROOF TRIMMER	TO MANUFACTURERS SPECIFICATIONS	
SC1	STEEL COLUMN	89x5.0mm SHS	PROVIDE 250sq.x10mm BASE PLATE WITH HILTI HIT-RE500 V3 OR APPROVED EQUIVALENT WITH 4/M16/5.8 FIXINGS or 90x10mm BASE PLATE WITH HILTI HIT-RE500 V3 OR APPROVED EQUIVALENT WITH 2/M16/5.8 FIXINGS + 10mm CAP PLATE WITH 2M20/8.8/S FIXINGS AS REQUIRED
SEB1	STEEL EDGE BEAM	250 PFC	
SEB2	STEEL EDGE BEAM	180 PFC	
TS	TRIPLE STUD	3/90x45 MGP10	PROVIDE 2 ROWS OF NOGGINS
S/W	STITCH WELD	DENOTES MEMBERS TO BE STITCH WELDED 150mm EACH END, MISS 150mm AND HIT 75mm THERE AFTER (UNLESS NOTED OTHERWISE)	
NOTE: ALL TIMBER FRAMING TO BE TREATED IN ACCORDANCE WITH THE NCC			

Sch 2.2(a)(ii)

C	FOR CONSTRUCTION	13.01.21	JMc
B	FOR CONSTRUCTION	18.11.20	JMc
A	FOR INFORMATION	16.11.20	JMc
ISSUE	DESCRIPTION	DATE	DRAWN



DO NOT SCALE OFF DRAWINGS  
VERIFY ALL DIMENSIONS ON SITE  
BEFORE COMMENCING WORK.

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PROJECT TITLE  
**PROPOSED DECK  
AND PERGOLA**

CLIENT  
**Sch 2.2(a)(ii)**

DESIGNED BY  
CPB  
CHECKED BY  
DMc  
AUTHORISED BY  
DATE

DRAWING TITLE  
**ROOF MARKING  
PLAN**

PROJECT LOCATION

SCALE  
AS SHOWN AT A3

JOB NO.  
**201226**  
DRAWING NO.  
**1200**