



ACT
Government

Chief Minister, Treasury and
Economic Development

Freedom of Information Publication Coversheet

The following information is provided pursuant to section 28 of the *Freedom of Information Act 2016*.

FOI Reference: CMTEDDFOI 2018-0038

| Information to be published | Status |
|---|--------------------|
| 1. Access application | Published |
| 2. Decision notice | Published |
| 3. Documents and schedule | Partially released |
| 4. Additional information identified | No |
| 5. Fees | N/A |
| 6. Processing time (in working days) | 20 |
| 7. Decision made by Ombudsman | N/A |
| 8. Additional information identified by Ombudsman | N/A |
| 9. Decision made by ACAT | N/A |
| 10. Additional information identified by ACAT | N/A |

From: [REDACTED]
To: [CMTEDD FOI](#)
Subject: Freedom of Information request
Date: Tuesday, 13 February 2018 11:34:08 AM

Please find online enquiry details below. Please ensure this enquiry is responded to within fourteen working days.

Your details

All fields are optional, however an email address OR full postal address must be provided for us to process your request. An email address and telephone contact number will assist us to contact you quickly if we need to discuss your request.

Title: [REDACTED]
First Name: [REDACTED]
Last Name: [REDACTED]
Business/Organisation: [REDACTED]
Address: [REDACTED]
Suburb: [REDACTED]
Postcode: [REDACTED]
State/Territory: [REDACTED]
Phone/mobile: [REDACTED]
Email address: [REDACTED]

Request for information

(Please provide as much detail as possible, for example subject matter and relevant dates, and also provide details of documents that you are not interested in.)

Under the Freedom of Information Act 2016 I want to access the following document/s (*required field):

Block 2, Section 35 (49 Elliott Street, Campbell, ACT2612).
Currently, there is construction work for a single occupancy is underway in the above address. Material requested in this connection: 1. Approved Development Application with plans and additional information including excavation, retention walls etc submitted 2. Approved Building Approval with Plans and any additional conditions imposed; and 3. The name and contact details of the Building Certifier

I do not want to access the following documents in relation to my request::

Thank you.
Freedom of Information Coordinator



ACT
Government

Chief Minister, Treasury and
Economic Development

Our ref: CMTEDDFOI 2018-0038



via email: 

Dear 

FREEDOM OF INFORMATION REQUEST

I refer to your application under section 30 of the *Freedom of Information Act 2016* (the Act), received by the Chief Minister, Treasury and Economic Development Directorate (CMTEDD) on 13 February 2018, in which you sought access to development and building documents for Block 2 Section 35 Campbell.

Specifically, you are seeking:

1. Approved Development Application with plans and additional information including excavation, retention walls etc submitted for; and
2. Approved Building Approval with Plans and any additional conditions imposed; and
3. The name and contact details of the Building Certifier.

Authority

I am an Information Officer appointed by the Director-General under section 18 of the Act to deal with access applications made under Part 5.

Timeframe

In accordance with section 40 of the Act, CMTEDD is required to provide a decision on your access application by 14 March 2018.

Decision on access

Searches were completed for relevant documents and 17 documents were identified that fall within the scope of your request.

I have included as Attachment A to this decision the schedule of relevant documents. This provides a description of each document that falls within the scope of your request and the access decision for each of those documents.

I have decided to grant access in full to 4 documents relevant to your request and partial access to 13 documents. The information redacted in the document I consider to be information that would, on balance, be contrary to the public interest to disclose under the test set out in section 17 of the Act.

My access decisions are detailed further in the following statement of reasons and the documents released to you are provided as Attachment B to this letter.

In accordance with section 54(2) of the Act a statement of reasons outlining my decision is below.

Statement of Reasons

In reaching my access decision, I have taken the following into account:

- the Act, particularly section 17 and schedule 2 section 2(a)(ii);
- the content of the documents that fall within the scope of your request;
- the *Human Rights Act 2004*.

Exemption claimed

My reasons for deciding not to grant access to the identified documents and components of these documents are as follows:

Public Interest

The Act has a presumption in favour of disclosure. As a decision maker I am required to decide where, on balance, public interests lies. As part of this process I must consider factors favouring disclosure and non-disclosure.

In *Hogan v Hinch* (2011) 243 CLR 506, [31] French CJ stated that when 'used in a statute, the term [public interest] derives its content from "the subject matter and the scope and purpose" of the enactment in which it appears'. Section 17(1) of the Act sets out the test, to be applied to determine whether disclosure of information would be contrary to the public interest. These factors are found in subsection 17(2) and Schedule 2 of the Act.

Taking into consideration the information contained in the documents found to be within the scope of your request, I have identified that the following public interest factors are relevant to determine if release of the information contained within these documents is within the 'public interest'.

Factors favouring disclosure (Schedule 2.1)

- contribute to the administration of justice generally, including procedural fairness.

Factors favouring non-disclosure (Schedule 2.2)

- Prejudice the protection of an individual's right to privacy or other right under the *Human Rights Act 2004*.

Having considered the factors identified as relevant in this matter, I consider that release of information contained in these documents may contribute to the administration of

justice generally by allowing you to have a more complete record of the process between the lease holder of the block in question and the ACT Government and the steps taken to attain compliance with the appropriate building codes.

However, when considering this finding against the factor favouring non-disclosure, I am satisfied that the protection of an individual's right to privacy, especially in the course of assisting in a line of enquiry and compliance with government regulations, is a significant factor as the parties involved have provided their personal information for the purposes of meeting obligations under relevant legislation which, in my opinion, outweighs the benefit which may be derived from releasing the personal information of the individual's involved in this matter. These individuals are entitled to expect that the personal information they have supplied as part of this process will be dealt with in a manner that protects their privacy. Considering the type of information to be withheld from release, I am satisfied that the factors in favour of release can still be met while protecting the personal information of the individuals involved.

I therefore weight the factor for non-disclosure more highly than the factor in favour of release in this instance. As a result, I have decided that release of this information (contacts name and signature) could prejudice their right to privacy under the *Human Rights Act 2004*.

Having applied the test outlined in section 17 of the Act and deciding that release of personal information contained in the documents is not in the public interest to release, I have chosen to redact this specific information in accordance with section 50(2). Noting the pro-disclosure intent of the Act, I am satisfied that redacting only the information that I believe is not in the public interest to release will ensure the intent of the Act is met and will provide you with access to the majority of the information held by CMTEDD within the scope of your request.

Folios 1-2, 4-16, 18-27, 31-37 and 41-45 of the identified document contain information that I consider, on balance, to be contrary to the public interest to disclose under the test set out in section 17 of the Act.

Charges

Processing charges are not applicable for this request because the number of folios to be released to you is less than 50 in number.

Online publishing – Disclosure Log

Under section 28 of the Act, CMTEDD maintains an online record of access applications called a disclosure log. Your original access application, my decision and documents

released to you in response to your access application will be published in the CMTEDD disclosure log after 19 March 2018. Your personal contact details will not be published.

You may view CMTEDD disclosure log at:

<https://www.cmtedd.act.gov.au/functions/foi/disclosure-log>.

Ombudsman Review

My decision on your access request is a reviewable decision as identified in Schedule 3 of the Act. You have the right to seek Ombudsman review of this outcome under section 73 of the Act within 20 working days from the day that my decision is published in CMTEDD disclosure log, or a longer period allowed by the Ombudsman.

If you wish to request a review of my decision you may write to the Ombudsman at:

The ACT Ombudsman
GPO Box 442
CANBERRA ACT 2601
Via email: ombudsman@ombudsman.gov.au

ACT Civil and Administrative Tribunal (ACAT) Review

Under section 84 of the Act, if a decision is made under section 82(1) on an Ombudsman review, you may apply to the ACAT for review of the Ombudsman decision. Further information may be obtained from the ACAT at:

ACT Civil and Administrative Tribunal
Level 4, 1 Moore St
GPO Box 370
Canberra City ACT 2601
Telephone: (02) 6207 1740
<http://www.acat.act.gov.au/>

Should you have any queries in relation to your request please contact me by telephone on 6207 7754 or email CMTEDDFOI@act.gov.au

Yours sincerely,



Daniel Riley
Information Officer
Information Access Team
Chief Minister, Treasury and Economic Development Directorate

14 March 2018



ACT
Government

Chief Minister, Treasury and
Economic Development

FREEDOM OF INFORMATION REQUEST SCHEDULE

| NAME | WHAT ARE THE PARAMETERS OF THE REQUEST | Reference NO. |
|------|---|---------------|
| | Approved Building Approval with Plans and any additional conditions imposed; and The name and contact details of the Building Certifier for Block 2, Section 35 (49 Elliott Street, Campbell, ACT 2612) | 2018-0038 |

| Ref No | Page number | Description | Date | Status | Reason for Exemption | Online Release Status |
|--------|-------------|---|-------------|-----------------|--|-----------------------|
| 1 | 1-2 | Appointment of Builder & Application for Commencement Notice (Demolition) | 01-Mar-2017 | Partial release | Schedule 2 section 2(a)(ii) Personal Information | Yes |
| 2 | 3 | Waste Management Plan | 01-Mar-2017 | Full release | N/A | Yes |
| 3 | 4-6 | Appointment of a Certifier Application for Building Approval (Demolition) | 05-Mar-2017 | Partial release | Schedule 2 section 2(a)(ii) Personal Information | Yes |
| 4 | 7-8 | Appointment of a Certifier and Application for Building Approval (Demolition) | Undated | Partial release | Schedule 2 section 2(a)(ii) Personal Information | Yes |
| 5 | 9-10 | Building Approval (Demolition) | Undated | Partial release | Schedule 2 section 2(a)(ii) Personal Information | Yes |
| 6 | 11-13 | Appointment of a Certifier Application for Building Approval | 05-Mar-2017 | Partial release | Schedule 2 section 2(a)(ii) Personal Information | Yes |
| 7 | 14-16 | Appointment of Builder & Application for Commencement Notice | 05-Mar-2017 | Partial release | Schedule 2 section 2(a)(ii) Personal Information | Yes |
| 8 | 17 | Demolition Work Plan | Undated | Full release | N/A | Yes |
| 9 | 18-24 | Site plans and elevations | 07-Mar-2017 | Partial release | Schedule 2 section 2(a)(ii) Personal Information | Yes |
| 10 | 25-26 | Site Work Notice | 30-Mar-2017 | Partial release | Schedule 2 section 2(a)(ii) Personal Information | Yes |
| 11 | 27 | Certifier letter | 30-Mar-2017 | Partial release | Schedule 2 section 2(a)(ii) Personal Information | Yes |
| 12 | 28-30 | Building Approval Completeness Checklist | 13-Apr-2017 | Full release | N/A | Yes |

| | | | | | | |
|-------------------------|-------|--|-------------|-----------------|--|-----|
| 13 | 31-35 | Site plans and elevations | 05-May-2017 | Partial release | Schedule 2 section 2(a)(ii) Personal Information | Yes |
| 14 | 36-37 | Site Work Notice | 08-May-2017 | Partial release | Schedule 2 section 2(a)(ii) Personal Information | Yes |
| 15 | 38-40 | Building Approval Completeness Checklist | 11-May-2017 | Full release | N/A | Yes |
| 16 | 41-43 | Appointment of a Certifier and Application for Building Approval | Undated | Partial release | Schedule 2 section 2(a)(ii) Personal Information | Yes |
| 17 | 44-45 | Building Approval | Undated | Partial release | Schedule 2 section 2(a)(ii) Personal Information | Yes |
| Total No of Docs | | | | | | |
| 17 | | | | | | |



Access Canberra

APPOINTMENT OF BUILDER & APPLICATION FOR COMMENCEMENT NOTICE

Building Act 2004, S151

In completing this form the owner is authorising the builder nominated below to apply to the appointed certifier to issue a Commencement Notice for the works detailed in this application form.

PART A PROJECT DETAILS

Block Section Suburb Unit No.

Street Address

Certifier Name

Description of Building Works relevant to this application - If more than 6 items please attach further details

| | |
|---|------------|
| 1 | DEMOLITION |
| 2 | |
| 3 | |
| 4 | |

PART B OWNER DETAILS - Please Print

All owners must be listed. Owner 1 will be considered the contact person in relation to this application

Company Details

Owner 1 Owner 2

Owner 3 Owner 4

Postal Address

Suburb State Postcode

Phone Number Business Hours Mobile

EMAIL ADDRESS

PART C APPOINTMENT OF BUILDER

I/~~we~~ the owner/s have appointed the person whose details appear below as the builder in relation to the building works described in this form

Licence Holders Name as it appears on licence card **ANDREW JOHN IRWIN**

Licence Number **200012208** Class **D** Expiry Date **22/12/18**

List any conditions or endorsements on licence **Valid for demolition of any building of BCA class 1 to 10**

EMAIL ADDRESS **andrew@irwinandhartshorn.com**

PART D NOMINEE'S DETAILS
if the builder is a company or partnership provide details of the Nominee who will supervise the building

Nominee's Name

Licence Number Class Expiry Date

Signature of Nominee Date

PART E OWNER SIGNATURE/S-- all owners must sign this form

Sch 2 s2(a)(ii) Signature Sch 2 s2(a)(ii) DATE: 1/3/17
Owner 1
Owner 2 Signature DATE:
Owner 3 Signature DATE:
Owner 4 Signature DATE:

PART F BUILDER APPLICATION TO CERTIFIER FOR COMMENCEMENT NOTICE

I hereby apply to the building certifier listed above for a commencement notice for the works detailed in Part A of this form in accordance with the Building Act 2004.

- A site sign was **not** required to be displayed prior to making this application.
- A site sign **was** required to be displayed prior to making this application and I declare that a compliant sign was erected and displayed for the required period.

Signature of Builder  Date **1/3/17**

NOTE: There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

PART G INSURANCE OR FIDELITY CERTIFICATE

For residential building work please provide details of insurance where applicable

Insurance Provider Policy No. Date Issued

**WASTE MANAGEMENT PLAN – PART 3
DEMOLITION WASTE PROFORMA**

Unit No: Block: 2 Section: 35 Suburb: CAMPBELL

Applicant's Name: Applicant's Signature: Date:/...../.....

Demolisher Assigned: ANDREW IRWIN Demolisher's Signature: [Signature] ACT Builder's Licence No: 200012208 Date: 1/3/17

| Type Of Material Generated | Estimated Volume Of Material Generated (m³) | REUSE/RECYCLING OF DEMOLITION WASTE | | | DISPOSAL AT LANDFILL | | |
|----------------------------|---|-------------------------------------|---|-----------------------|--|-----------------------|--------------------------|
| | | ON-SITE | OFF-SITE | Estimated Volume (m³) | Specify landfill site(s) | | |
| | | Estimated Volume (m³) | Specify proposed reuse or on-site recycling methods | Estimated Volume (m³) | Specify name of receiving recycling outlet(s) and/or reuse site(s) | Estimated Volume (m³) | Specify landfill site(s) |
| Excavation Material | | | | | | | |
| Green Waste | | | | | | | |
| Bricks | 26 | | | 26 | C.C.R | | |
| Concrete | 15 | | | 15 | C.C.R | | |
| Timber (Please Specify) | 8 | | | 6 | C.C.R | 2 | Mugga Tip |
| Plasterboard/Gyprock | 4 | | | | | 4 | Mugga Tip |
| Metals (Please Specify) | 2 | | | 2 | Sims Metals | | |
| Other (Please Specify) | | | | | | | |
| TOTAL | 55 | | | 49 | | 6 | |



Access Canberra

PROCESSED

APPOINTMENT OF A CERTIFIER
APPLICATION FOR BUILDING APPROVAL

Building Act 2004, S151

This form is to be completed by the Owner/s of the land to which the building work relates.

PART A PROJECT DETAILS

Block Section Suburb Unit No.

Street Address

Description of Building Works relevant to this application - *If more than 4 items please attach further details*

| Describe each item of building work in this building approval | BCA Occupancy Class | BCA Construction Type | Area (m ²) | Number of Storeys | Cost of Works (refer to building cost) |
|---|---------------------|-----------------------|------------------------|-------------------|--|
| 1 Demolition | 1a | / | 92 | 1 | Sch 2 s2(a)(ii) |
| 2 | | | | | |
| 3 | | | | | |
| 4 | | | | | |

Applicable approved requirements and reasons why building approval is not prevented from being issued

Is all work exempt from development approval?

- YES Attach assessment for exempt development checklist (if applicable)
- NO Provide reason/s or description of work: _____

Description of Attachments compliant with Division 3.3 Building Act 2004
Please attach any additional documentation not listed below

- Building Approval Plans
- Referrals, consultations & consents outcomes
- Asbestos Advice - If documents accompanying building approval do not include an asbestos assessment report as per the Building Act 2004, the building approval must have an AA attached as per the Act

PART B OWNER'S DETAILS - Please Print

All owners must be listed

Owner 1 will be considered the contact person in relation to this application

Company Details

ACN/ABN Number

Owner 1 Owner 2

Owner 3 Owner 4

PART B continued **OWNER/S DETAILS — Please Print**

Postal Address

Suburb State Postcode

Phone Number Business Hours Mobile

EMAIL ADDRESS

PART C **APPOINTMENT OF CERTIFIER**

As required under the Building ACT 2004 I/we hereby advise that I/we the owner/s have appointed the person whose details appear below as the certifier in relation to the building works described in this form

Company Details

Name of Certifier ABN/ACN

Postal Address

Suburb State Postcode

Phone Number Business Hours Mobile

EMAIL ADDRESS

PART D **APPLICATION FOR BUILDING APPROVAL**

I/we the Owner/s of the abovementioned property hereby apply under Section 26 of the Building Act 2004 to the certifier named above to issue a building approval for the building work described in this form. I/we have provided the certifier with information and documentation required to issue a building approval as specified in the Building (General) Regulation 2008.

PART E **AUTHORITY TO ACCESS BUILDING FILE**

I/we hereby authorise the certifier to access the building file for the property which is the subject of this application for the purposes of obtaining information relevant to the issuing of a building approval and associated processes.

PART F **OWNER/S SIGNATURE/S**

| | | | | |
|-------------------------------------|-----------------------------------|--|------|-------------------------------------|
| <input checked="" type="checkbox"/> | 1 st Owner's Signature | <input type="text" value="Sch 2 s2(a)(ii)"/> | Date | <input type="text" value="5/3/17"/> |
| | 2 nd Owner's Signature | <input type="text" value=""/> | Date | <input type="text" value=""/> |
| | 3 rd Owner's Signature | <input type="text" value=""/> | Date | <input type="text" value=""/> |
| | 4 th Owner's Signature | <input type="text" value=""/> | Date | <input type="text" value=""/> |

NOTE: There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

Where relevant the following information **MUST** be included in either the application or the plans accompanying the application for building approval:

General Requirements

- ▶ Estimated Cost of Works -as per *Building (General) (Cost of Building Work) Determination 2011*
- ▶ if the proposed building work to be carried out at or near a street or place that is open to or used by the public the application must contain details of the precautions proposed to be taken to protect the safety of people using the street or place while the building work is carried out
- ▶ the area of the parcel of land to which this application relates
- ▶ the class of the building according to the intended use of the building as proposed to be erected or altered;
- ▶ if applicable what fire-resisting construction type (under the building code) the building as proposed to be erected or altered will be
Note: Fire-resisting construction type may not be applicable if an alternative solution under the building code is used
- ▶ for an application relating to the erection of a class 1 building the site classification of the parcel of land
- ▶ for an application relating to the alteration of a class 1 building if the alteration will increase the building load carried by foundation material beyond the building load carried by the foundation before the alteration
- ▶ the site classification of the parcel of land
- ▶ for an application relating to the alteration of a building the class and type of fire-resisting construction of the existing building classified under the building code and the materials used in the existing building
Note Fire-resisting construction type may not be applicable if an alternative solution under the building code is used
- ▶ the number of storey's of the building as proposed to be erected or altered;
- ▶ the number of new dwellings (if any) created by the proposed building work;
- ▶ the floor area of the proposed building or proposed new part of the building;
- ▶ the materials to be used in the frame, floor, walls and roof of the proposed building or proposed new part of the building
- ▶ if a performance requirement of the building code is to be complied with by use of an alternative solution under the code -
 - (i) the performance requirement; and
 - (ii) the alternative solution; and
 - (iii) each assessment method used to show that the alternative solution complies with the performance requirement;
- ▶ if the building code does not state a standard of work in relation to any part of the proposed building work and it is intended to carry out that part of the proposed building work in accordance with a standard of work stated in another document -
 - (i) the nature of the proposed building work; and
 - (ii) the title of the document; and
 - (iii) each assessment method used to show that the proposed building work complies with the standard of work stated in the document.

Removal or demolition of building/s

- ▶ Details of the methods to be used in carrying out the proposed building work, including a work plan stated or set out in AS 2601 (Demolition of structures), as in force from time to time;
- ▶ the number of dwellings (if any) to be demolished.

Asbestos

- ▶ The application must include a description of the method proposed to be used to remove the bonded asbestos sheeting from the building
- ▶ the application must include the following information:
 - (i) the method proposed to be used to remove the asbestos;
 - (ii) the approximate amount and kind of asbestos to be removed;
 - (iii) the equipment proposed to be used to remove the asbestos, including any personal protective equipment;
 - (iv) details of a program, prepared in accordance with the asbestos removal code, for monitoring airborne asbestos to be followed during the removal.

Privacy Notice

The personal information on this form is provided to Access Canberra to enable the processing of your application. The collection of personal information is authorised by the *Building Act 2004*. If all or some of the personal information is not collected Access Canberra cannot process your application. The personal information you provide may be disclosed to Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be disclosed where authorised by law or court order, or where the Directorate reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. Access Canberra's Information Privacy Policy contains information about how you may access or seek to correct your personal information held by Access Canberra, and how you may complain about an alleged breach of the Territory Privacy Principles. Access Canberra Information Privacy Policy can be found at www.act.gov.au/accessCBR

CONTACT INFORMATION

Email:

ACTPLAdevelopmentBA@act.gov.au

Post:

Access Canberra
Building Services
Shopfront Mitchell
GPO Box 158
Canberra, ACT 2601

In Person:

Please visit
www.act.gov.au/accessCBR
Or call 132281 to find an
Access Canberra Shopfront.



Building Act 2004, S151

Appointment of a Certifier and Application for Building Approval

Project ID: B20171169

This form is to be completed by the Owner/s of the land to which the building work relates

PART A - PROJECT DETAILS

| Unit | Block | Section | District (Suburb) | Division | Jurisdiction |
|------|-------|---------|-------------------|----------|------------------------------|
| | 2 | 35 | CANBERRA CENTRAL | CAMPBELL | Australian Capital Territory |

PART B - OWNER DETAILS

| Name | Address | Email Address |
|-----------------|----------------------------|-----------------|
| Sch 2 s2(a)(ii) | Sch 2 s2(a)(ii), AUSTRALIA | Sch 2 s2(a)(ii) |

PART C - APPOINTMENT OF CERTIFIER

As required under the Building ACT 2004 I/we hereby advise that I/we the owner/s have appointed the person whose details appear below as the certifier in relation to the building works described in this form

| Full Name | Address | License Number | Expiry Date |
|----------------------------|---|----------------|-------------|
| CAPITAL CERTIFIERS PTY LTD | 14/9 BEACONSFIELD STREET FYSHWICK ACT 2609 | 2012818 | 16/09/2017 |

PART D - APPLICATION FOR BUILDING APPROVAL

I/we the owners of the abovementioned property hereby apply to the certifier named above to issue a building approval under Section 26 of the Building Act 2004 for the building works detailed in the following table

| Class of Occupancy | Nature of Work | Project Item Description | Other Description | Type Of Construction | Storeys | Area (m2) | Cost of Works (\$) |
|--------------------|----------------|--------------------------|-------------------|----------------------|---------|-----------|--------------------|
| 1a | Demolition | DA EXEMPT-RESIDENCE | Demolition | NA | 1 | 92.00 | Sch 2 s2(a)(ii) |

I/we have provided the certifier with the information and documentation required to issue a building approval as specified in the Building (General) Regulation 2008.

PART E - AUTHORITY TO ACCESS BUILDING FILE

I/we hereby authorise the certifier to access the building file held by Access Canberra for the property which is the subject of this application for the purposes of obtaining information relevant to the issuing of a building approval and associated processes.

PART F - OWNER/S SIGNATURE/S

| Name | Signature | Date |
|-----------------|-----------|------|
| Sch 2 s2(a)(ii) | | |

APPLICATION FOR BUILDING APPROVAL REQUIREMENTS Building (General) Regulations 2008

Where relevant the following information **MUST** be included in either the application or the plans accompanying the application for building approval:

General Requirements

- Estimated Cost of Works -as per Building (General) (Cost of Building Work) Determination 2011
- if the proposed building work to be carried out at or near a street or place that is open to or used by the public the application must contain details of the precautions proposed to be taken to protect the safety of people using the street or place while the building work is carried out
- the area of the parcel of land to which this application relates
- the class of the building according to the intended use of the building as proposed to be erected or altered;
- if applicable what fire-resisting construction type (under the building code) the building as proposed to be erected or altered will be.

Note: Fire-resisting construction type may not be applicable if an alternative solution under the building code is used.

- for an application relating to the erection of a class 1 building the site classification of the parcel of land
- for an application relating to the alteration of a class 1 building if the alteration will increase the building load carried by foundation material beyond the building load carried by the foundation before the alteration.
- the site classification of the parcel of land
- for an application relating to the alteration of a building the class and type of fire-resisting construction of the existing building classified under the building code and the materials used in the existing building

Note Fire-resisting construction type may not be applicable if an alternative solution under the building code is used.

- the number of storeys of the building as proposed to be erected or altered;
- the number of new dwellings (if any) created by the proposed building work;
- the floor area of the proposed building or proposed new part of the building;
- the materials to be used in the frame, floor, walls and roof of the proposed building or proposed new part of the building
- if a performance requirement of the building code is to be complied with by use of an alternative solution under the code -
 - (i) the performance requirement; and
 - (ii) the alternative solution; and
 - (iii) each assessment method used to show that the alternative solution complies with the performance requirement;
- if the building code does not state a standard of work in relation to any part of the proposed building work and it is intended to carry out that part of the proposed building work in accordance with a standard of work stated in another document -
 - (i) the nature of the proposed building work; and
 - (ii) the title of the document; and
 - (iii) each assessment method used to show that the proposed building work complies with the standard of work stated in the document.

Removal or demolition of building/s

- Details of the methods to be used in carrying out the proposed building work, including a work plan stated or set out in AS 2601 (Demolition of structures), as in force from time to time;
- the number of dwellings (if any) to be demolished.

Asbestos

- The application must include a description of the method proposed to be used to remove the bonded asbestos sheeting from the building.
- the application must include the following information:
 - (i) the method proposed to be used to remove the asbestos;
 - (ii) the approximate amount and kind of asbestos to be removed;
 - (iii) the equipment proposed to be used to remove the asbestos, including any personal protective equipment;
 - (iv) details of a program, prepared in accordance with the asbestos removal code, for monitoring airborne asbestos to be followed during the removal.

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.



Building Act 2004, S151
Building Approval

Project ID: B20171169

PART A - PROJECT DETAILS

| Unit | Block | Section | Division (Suburb) | District | Jurisdiction |
|------|-------|---------|-------------------|------------------|------------------------------|
| | 2 | 35 | CAMPBELL | CANBERRA CENTRAL | Australian Capital Territory |

PART B - WORKS REQUIRING BUILDING APPROVAL

Item of building work to which this Building Approval relates:

| Class of Occupancy | Nature of Work | Project Item Description | Other Description | Type Of Construction | Storeys | Area (m2) | Cost of Works (\$) |
|--------------------|----------------|--------------------------|-------------------|----------------------|---------|-----------|--------------------|
| 1a | Demolition | DA EXEMPT-RESIDENCE | Demolition | NA | 1 | 92.00 | Sch 2 s2(a)(ii) |

The following work is exempt from development approval:

- Demolition

PART C - CERTIFIERS DECLARATION

I declare that in issuing this building approval under section 28 of the Building Act 2004:

- I am satisfied on reasonable grounds that the plans meet each applicable approval requirement under section 29 and is not prevented from being issued under section 30 or section 30A
- I have supplied all documents as required under 3.3 Building Act 2004
- I have prepared a notice (building approval certificate) certifying what approval requirements apply to the application and why the building approval is not prevented from being issued; and
- I have given the building approval certificate to the applicant.

In performing services as a certifier in relation to the work detailed in this application I am not in breach of my entitlement to act as a certifier in accordance with the Building Act 2004.

| Full Name | Address | License Number | Expiry Date |
|----------------------------|---|----------------|-------------|
| CAPITAL CERTIFIERS PTY LTD | 14/9 BEACONSFIELD STREET FYSHWICK ACT 2609 | 2012818 | 16/09/2017 |

Date Issued : 30/03/2017

NOTES

Utilities

This application must also be accompanied by a Statement of Compliance from each relevant utility provider (for water, sewerage, electricity and stormwater) which confirms that the location and nature of earthworks, utility connections, proposed buildings, pavements and landscape features comply with utility standards, access provisions and asset clearance zones.

Note 1:

If there is no stormwater easement or Territory owned stormwater pipes located within the property boundary, a "Statement of Compliance" for stormwater from TAMS (Asset Acceptance) is not required to be obtained.

Note 2: Where there is conflict between planning and utility requirements, the utility requirements take precedence over other codified or merit provisions.

Utilities – Demolition Only

This application must be accompanied by a Statement of Endorsement for utilities (including water, sewerage, electricity and stormwater) stating that:

- all network infrastructure on or immediately adjacent to the site has been identified on the plan
- all potentially hazardous substances and conditions (associated with or resulting from the demolition process) that may constitute a risk to utility services have been identified
- all required network disconnections have been identified and the disconnection works comply with utility requirements
- all works associated with the demolition comply with and are in accordance with utility asset access and protection requirements

Note: The documentation provided to the utility provider for endorsement must be consistent with the documentation that forms part of a development approval or the documentation verified as exempt from requiring development approval by a licensed certifier.

Asbestos Advice

If documents accompanying building approval do not include an asbestos assessment report as per the Building Act 2004, the building approval must have an Asbestos Advice attached as per the Act

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.



Access Canberra

PROCESSED

APPOINTMENT OF A CERTIFIER
APPLICATION FOR BUILDING APPROVAL

Building Act 2004, 5151

This form is to be completed by the Owner/s of the land to which the building work relates.

PART A PROJECT DETAILS

Block Section Suburb Unit No.

Street Address

Description of Building Works relevant to this application-If more than 4 items please attach further details

| Describe each item of building work in this building approval | BCA Occupancy Class | BCA Construction Type | Area (m ²) | Number of Storeys | Cost of Works (refer to building cost) |
|---|---------------------|-----------------------|------------------------|-------------------|--|
| 1 New Residence | 1A | | 396.14 | 2 | Sch 2 s2(a)(ii) |
| 2 GARAGE | 10A | | 25.58 | 1 | |
| 3 ALFRESCO PORCH | 10a | | 29.37 | 1 | |
| 4 | | | | | |

Applicable approved requirements and reasons why building approval is not prevented from being issued

Is all work exempt from development approval?

- YES Attach assessment for exempt development checklist (if applicable)
- NO Provide reason/s or description of work: _____

Description of Attachments compliant with Division 3.3 Building Act 2004
Please attach any additional documentation not listed below

- Building Approval Plans
- Referrals, consultations & consents outcomes
- Asbestos Advice - If documents accompanying building approval do not include an asbestos assessment report as per the Building Act 2004, the building approval must have an AA attached as per the Act

PART B OWNER'S DETAILS - Please Print

All owners must be listed Owner 1 will be considered the contact person in relation to this application

Company Details

ACN/ABN Number

Owner 1 Owner 2

Owner 3 Owner 4

PART B continued **OWNER/S DETAILS — Please Print**

Postal Address **Sch 2 s2(a)(ii)**

Suburb **MANUKA** State **ACT** Postcode **2603**

Phone Number Business Hours **—** Mobile **0411 308715**

EMAIL ADDRESS **dryan@dauidneidhomes.com.au**

PART C **APPOINTMENT OF CERTIFIER**

As required under the Building ACT 2004 I/we hereby advise that I/we the owner/s have appointed the person whose details appear below as the certifier in relation to the building works described in this form

Company Details **Capital Certifiers Pty LTD**

Name of Certifier **STEVE** ABN/ACN **68 158 851 239**

Postal Address **PO Box 1211**

Suburb **Fyshwick** State **ACT** Postcode **2609**

Phone Number Business Hours **6175 5914** Mobile

EMAIL ADDRESS **info@capitalcertifiers.com.au**

PART D **APPLICATION FOR BUILDING APPROVAL**

I/we the Owner/s of the abovementioned property hereby apply under Section 26 of the Building Act 2004 to the certifier named above to issue a building approval for the building work described in this form. I/we have provided the certifier with information and documentation required to issue a building approval as specified in the Building (General) Regulation 2008.

PART E **AUTHORITY TO ACCESS BUILDING FILE**

I/we hereby authorise the certifier to access the building file for the property which is the subject of this application for the purposes of obtaining information relevant to the issuing of a building approval and associated processes.

PART F **OWNER/S SIGNATURE/S**

| | | | | |
|----------|-----------------------------------|------------------------|------|---------------|
| X | 1 st Owner's Signature | Sch 2 s2(a)(ii) | Date | 5/3/17 |
| | 2 nd Owner's Signature | [Signature] | Date | |
| | 3 rd Owner's Signature | | Date | |
| | 4 th Owner's Signature | | Date | |

NOTE: There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

Where relevant the following information **MUST** be included in either the application or the plans accompanying the application for building approval:

General Requirements

- ▶ Estimated Cost of Works -as per *Building (General) (Cost of Building Work) Determination 2011*
- ▶ if the proposed building work to be carried out at or near a street or place that is open to or used by the public the application must contain details of the precautions proposed to be taken to protect the safety of people using the street or place while the building work is carried out
- ▶ the area of the parcel of land to which this application relates
- ▶ the class of the building according to the intended use of the building as proposed to be erected or altered;
- ▶ if applicable what fire-resisting construction type (under the building code) the building as proposed to be erected or altered will be
Note: Fire-resisting construction type may not be applicable if an alternative solution under the building code is used
- ▶ for an application relating to the erection of a class 1 building the site classification of the parcel of land
- ▶ for an application relating to the alteration of a class 1 building if the alteration will increase the building load carried by foundation material beyond the building load carried by the foundation before the alteration
- ▶ the site classification of the parcel of land
- ▶ for an application relating to the alteration of a building the class and type of fire-resisting construction of the existing building classified under the building code and the materials used in the existing building
Note Fire-resisting construction type may not be applicable if an alternative solution under the building code is used
- ▶ the number of storey's of the building as proposed to be erected or altered;
- ▶ the number of new dwellings (if any) created by the proposed building work;
- ▶ the floor area of the proposed building or proposed new part of the building;
- ▶ the materials to be used in the frame, floor, walls and roof of the proposed building or proposed new part of the building
- ▶ if a performance requirement of the building code is to be complied with by use of an alternative solution under the code -
 - (i) the performance requirement; and
 - (ii) the alternative solution; and
 - (iii) each assessment method used to show that the alternative solution complies with the performance requirement;
- ▶ if the building code does not state a standard of work in relation to any part of the proposed building work and it is intended to carry out that part of the proposed building work in accordance with a standard of work stated in another document -
 - (i) the nature of the proposed building work; and
 - (ii) the title of the document; and
 - (iii) each assessment method used to show that the proposed building work complies with the standard of work stated in the document.

Removal or demolition of building/s

- ▶ Details of the methods to be used in carrying out the proposed building work, including a work plan stated or set out in AS 2601 (Demolition of structures), as in force from time to time;
- ▶ the number of dwellings (if any) to be demolished.

Asbestos

- ▶ The application must include a description of the method proposed to be used to remove the bonded asbestos sheeting from the building
- ▶ the application must include the following information:
 - (i) the method proposed to be used to remove the asbestos;
 - (ii) the approximate amount and kind of asbestos to be removed;
 - (iii) the equipment proposed to be used to remove the asbestos, including any personal protective equipment;
 - (iv) details of a program, prepared in accordance with the asbestos removal code, for monitoring airborne asbestos to be followed during the removal.

Privacy Notice

The personal information on this form is provided to Access Canberra to enable the processing of your application. The collection of personal information is authorised by the *Building Act 2004*. If all or some of the personal information is not collected Access Canberra cannot process your application. The personal information you provide may be disclosed to Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be disclosed where authorised by law or court order, or where the Directorate reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. Access Canberra's Information Privacy Policy contains information about how you may access or seek to correct your personal information held by Access Canberra, and how you may complain about an alleged breach of the Territory Privacy Principles. Access Canberra Information Privacy Policy can be found at www.act.gov.au/accessCBR

CONTACT INFORMATION

Email:

ACTPLAdevelopmentBA@act.gov.au

Post:

Access Canberra
Building Services
Shopfront Mitchell
GPO Box 158
Canberra, ACT 2601

In Person:

Please visit
www.act.gov.au/accessCBR
Or call 132281 to find an
Access Canberra Shopfront.



Access Canberra

PROCESSED

APPOINTMENT OF BUILDER & APPLICATION FOR COMMENCEMENT NOTICE

Building Act 2004, S151

In completing this form the owner is authorising the builder nominated below to apply to the appointed certifier to issue a Commencement Notice for the works detailed in this application form.

PART A PROJECT DETAILS

Block 2 Section 35 Suburb CAMPBELL Unit No.

Street Address 49 ELLIOT ST

Certifier Name CAPITAL CERTIFIERS.

Description of Building Works relevant to this application-if more than 6 items please attach further details

- 1 New Residence
2 GARAGE
3 ALFESCO PORCH
4

PART B OWNER DETAILS - Please Print

All owners must be listed Owner 1 will be considered the contact person in relation to this application

Company Details

Sch 2 s2(a)(ii)

Sch 2 s2(a)(ii)

Owner 1

Owner 2

Owner 3

Owner 4

Postal Address Sch 2 s2(a)(ii)

Suburb Sch 2 s2(a)(ii) State ACT Postcode Sch 2 s2(a)(ii)

Phone Number Business Hours Mobile Sch 2 s2(a)(ii)

EMAIL ADDRESS Sch 2 s2(a)(ii)

PART C APPOINTMENT OF BUILDER

I/we the owner/s have appointed the person whose details appear below as the builder in relation to the building works described in this form

Licence Holders Name as it appears on licence card **WOMBAT HILLTON PL**

Licence Number **200212987** Class **C** Expiry Date **25/12/17**

List any conditions or endorsements on licence **NIL**

EMAIL ADDRESS **dryan@davidreidhomes.com.au**

PART D NOMINEE'S DETAILS
If the builder is a company or partnership provide details of the Nominee who will supervise the building

Nominee's Name **DAVID RYAN**

Licence Number **200012179** Class **C** Expiry Date **15/12/18**

Signature of Nominee  Date **21-2-17**

*** PART E OWNER SIGNATURE/S- all owners must sign this form**

Owner 1 **Sch 2 s2(a)(ii)** Signature **5/3/17** DATE: _____
Owner 2 _____ Signature _____ DATE: _____
Owner 3 _____ Signature _____ DATE: _____
Owner 4 _____ Signature _____ DATE: _____

PART F BUILDER APPLICATION TO CERTIFIER FOR COMMENCEMENT NOTICE

I hereby apply to the building certifier listed above for a commencement notice for the works detailed in Part A of this form in accordance with the Building Act 2004.

- A site sign was not required to be displayed prior to making this application.
- A site sign was required to be displayed prior to making this application and I declare that a compliant sign was erected and displayed for the required period.

Signature of Builder  Date **21-2-17**

NOTE: There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

PART G INSURANCE OR FIDELITY CERTIFICATE

For residential building work please provide details of insurance where applicable

Insurance Provider **MBA Fidelity** Policy No. **67398** Date Issued **05/04/2017**

PLEASE NOTE:

- ▶ A copy of this notice and where applicable the residential building insurance policy or fidelity certificate must be given to the Construction Occupations Registrar within one (1) week of the issue date.
- ▶ A copy of the Commencement Notice must also be provided to the owner/s.

Privacy Notice

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CONTACT INFORMATION

Email:

ACTPLAdevelopmentBA@act.gov.au

Post:

Access Canberra
Building Services
Shopfront Mitchell
GPO Box 158
Canberra, ACT 2601

In Person:

Please visit
www.act.gov.au/accessCBR
Or call **132281** to find an
Access Canberra Shopfront.



abn 69 074 330 082

12 alderson place
hume act 2620

phone 02 6260 1588
fax 02 6260 1236

DEMOLITION WORK PLAN FOR

BLOCK: 2 SECTION: 35 SUBURB: CAMPBELL

STREET ADDRESS: 49 ELLIOTT STREET

BUILDER: DAVID REID HOMES

Number of buildings to be demolished: ONE + GARAGE

Height: Approx: 5.9m

Distance from closest boundary: Approx. 2.0 metres

Main materials of construction: Brick, concrete & timber

PROCEDURES

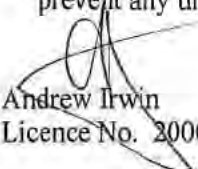
- Power supply to the site will be disconnected at the main by ACTEW/AGL
- Gas supply will be terminated outside the boundary by ACTEW/AGL
- A licenced remover will remove and dispose of all asbestos sheeting in accordance with NOHSC 2002:2005 second edition
- An 'A' class asbestos assessor will provide a written clearance certificate
- All insulation will be removed and disposed of in accordance with the code of practice
- A licenced drainer will plug the sewer before being inspected by ACTEW/AGL
- Water will be used for dust suppression before being disconnected at meter
- All new workers to Irwin & Hartshorn will be inducted on site
- All demolition work will be in accordance with the AS 2601 code
- One day is allowed for each major activity, 7 days for completion of the demolition

METHOD

- Strip by hand all material to be salvaged
- Using a hydraulic excavator fold building to middle and load all rubble onto tipping trucks to be recycled where possible or tipped at an approved site
- Exhume all concrete footings with hydraulic excavator then transport to Canberra Concrete Recyclers for processing
- Clean and level site on completion

SAFETY PROCEEDURES

- Any work above 1.8m will be done in accordance with appropriate code
- A mobile telephone will be available on site at all times
- Appropriate safety equipment will be worn at all times
- A 1.8m high chain wire fence will be erected around the site to prevent any unauthorised entry


Andrew Irwin
Licence No. 200012208

LEGEND

Application Number
160475

Sheet
2 of 5

Sediment control barrier to local authority policy

swt - Stormwater line

Timber fence

Timber gate

Batter / slope

23.500 Proposed FGL (finished ground level)

1.2m sq. on site toilet pad location tbc on site

6.65 m² Driveway / Pathway (approx. area)

6.65 m² Private Open Space (approx. area)

30.715 165°42'00" Boundary distance & coordinates

NOTE:

Not all symbols above may be depicted on this site plan

No site contours have been overlaid at time of preliminary siting. Further site information required in order to accurately position the proposed dwelling & determine cut and fill areas. If a current contour survey plan, completed by a registered surveyor, is not provided at the commencement of the job, any changes to the job due to incomplete or incorrect information provided, will be charged at the builder's and/or client's expense.

Real Property Description

Lot Number: Block 2 Section 35
Registered Plan Number: DP 837
Parish: tba
County: tba
Local Authority: North Campbell Community Council

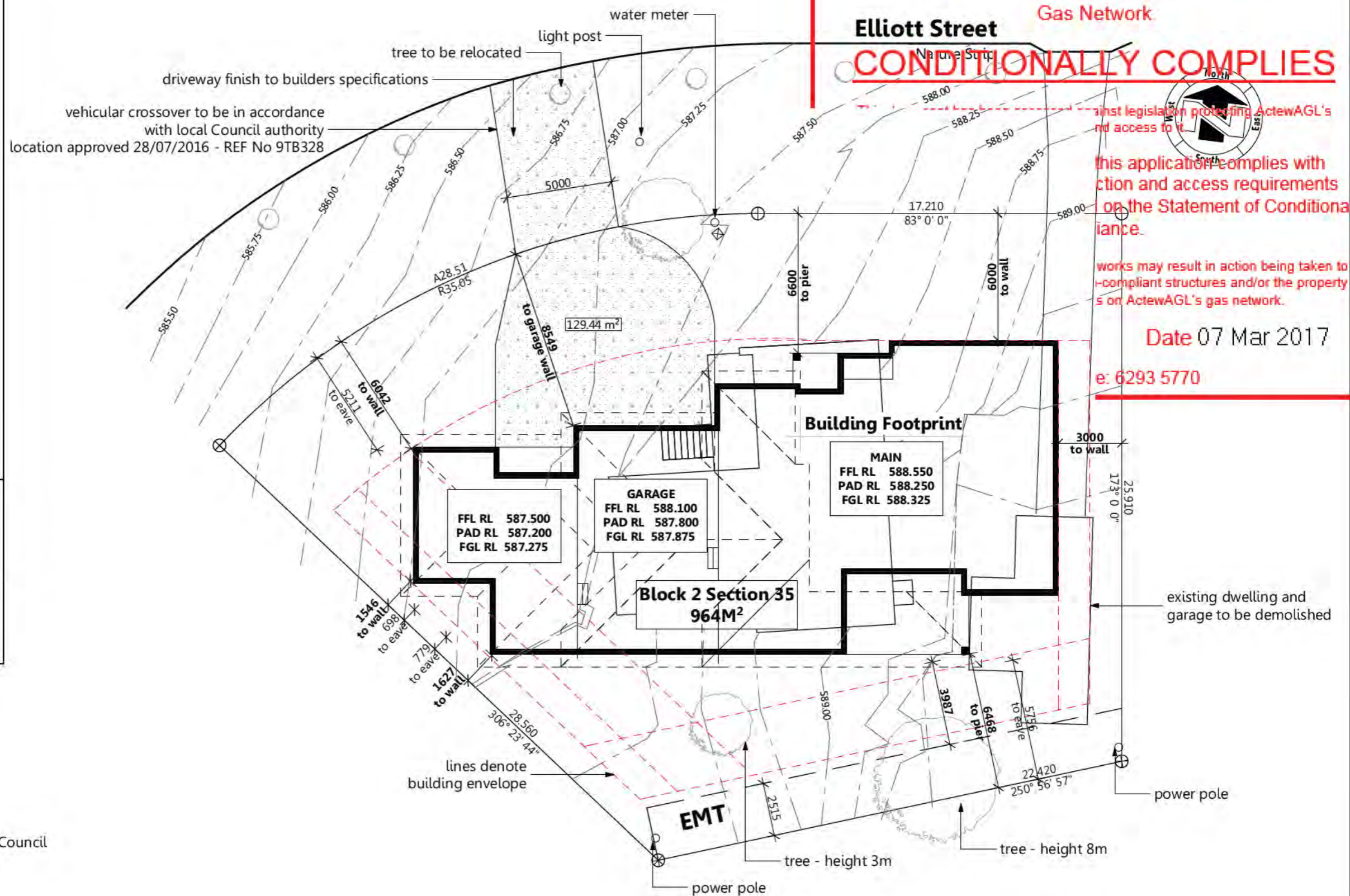
Site Area: 964M²
Site Coverage: 36.21%

Concept Drawings - NOT FOR CONSTRUCTION

Elliott Street

Gas Network

CONDITIONALLY COMPLIES



against legislation protecting ActewAGL's no access to it

this application complies with section and access requirements on the Statement of Conditional Planning

works may result in action being taken to non-compliant structures and/or the property is on ActewAGL's gas network.

Date 07 Mar 2017

Phone: 6293 5770



Shop 8 & 9 H20 Broadwater
82 Marine Parade Southport QLD 4215
Ph: 07 5591 7658
e: info@iwantthatdesign.com.au
www.iwantthatdesign.com.au
ABN: 89235124775 QBSA: 1181286

Please Read Carefully
This plan certified correct is the one referred to in the contract & specifications and I understand change hereafter may not be possible. These plans supersede all other previous plans or sketches.
Owner / s Date.....
Owner / s Date.....



Builder: **DAVID REID HOMES**
Client: **Sch 2 s2(a)(ii)**
Block 2 Section 35
Elliott Street
Campbell ACT 2612

Title: **Site Plan**
Design Name: **Custom**

| Area Calculations (m ²) | Issue/Rev | Plot Date | Description |
|-------------------------------------|-----------|------------|-------------------------|
| Lower Living | CA | 01/02/2017 | Concept Drawings |
| Upper Living | CB | 20/02/2017 | Amendments as requested |
| Granny Flat | CC | 28/02/2017 | Amendments as requested |
| Garage | | | |
| Alfresco | | | |
| Porch 2 | | | |
| Porch 1 | | | |
| Total | | | |

| | |
|-------------|-------------------|
| Drawing No: | Scale: 1:200 @ A3 |
| 2 of 7 | Designed By: DRH |
| | Drawn By: PK |
| | Checked By: CY |
| Job No: | 5607SM |

Application Number
160475

Sheet
3 of 5

Important Note
Ventilation to internal wc, bath, ensuite
to be an exhaust fan in accordance with
BCA 3.8.5 & AS - 1668.2

Gas Network



CONDITIONALLY COMPLIES

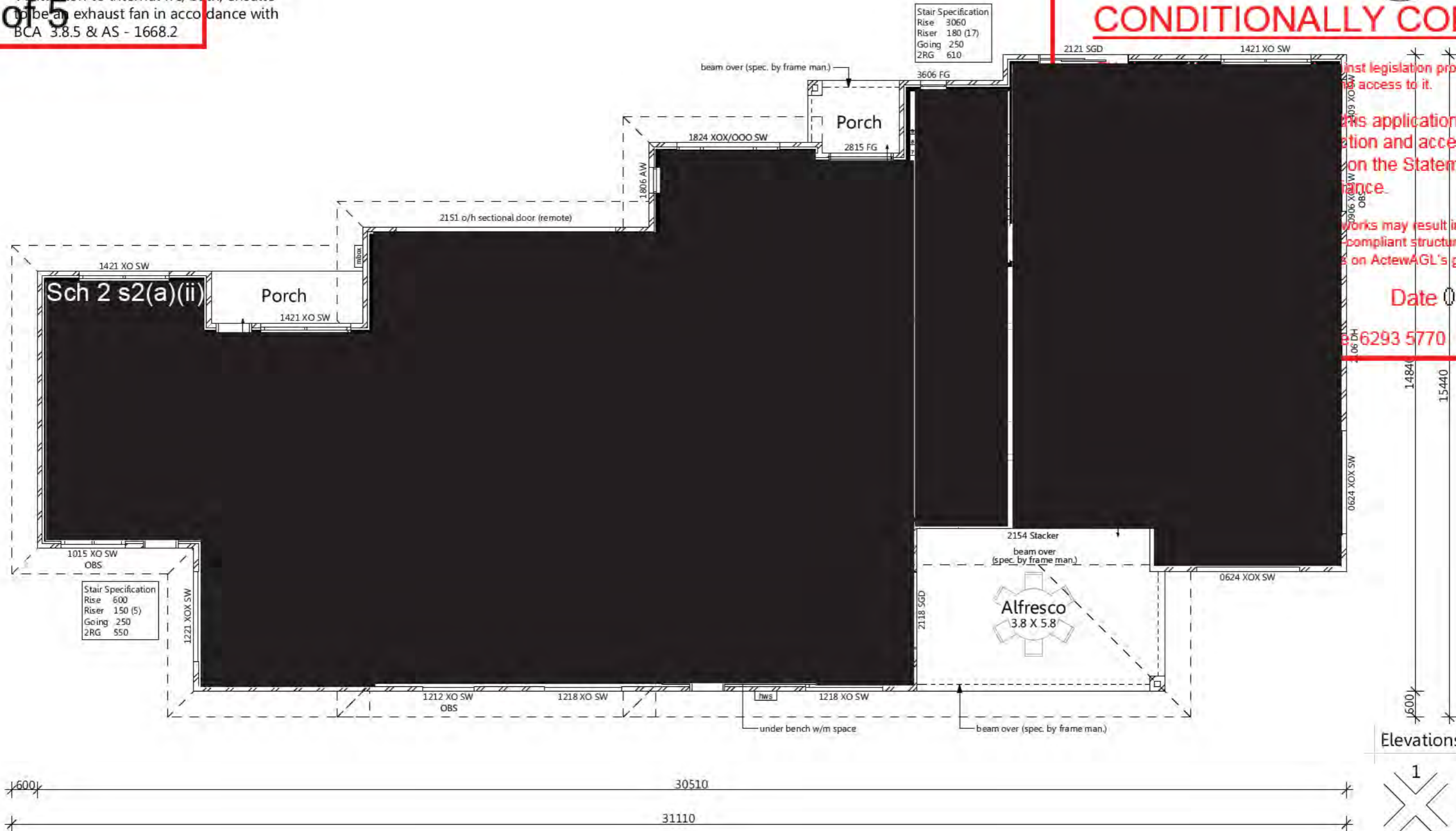
Latest legislation protecting ActewAGL's
access to it.

This application complies with
regulation and access requirements
on the Statement of Conditional
Planning.

Works may result in action being taken to
bring non-compliant structures and/or the property
back on ActewAGL's gas network.

Date 07 Mar 2017

06293 5770



We reserve the right to alter designs, colours and specifications without notice. Whilst every care has been taken in the preparation of this document, the particulars contained herein are not to be construed as any representation of fact. All information provided to us is from reputable sources and no responsibility is accepted by the vendor, its servants or agents for any errors or omissions. All interested parties should make their own enquiries to satisfy themselves in relation to all matters.

Please Read Carefully
This plan certified correct is the one referred to in the contract & specifications and I understand change hereafter may not be possible. These plans supercede all other previous plans or sketches.
Owner / s Date.....
Owner / s Date.....



Builder:
DAVID REID HOMES
Client:
Sch 2 s2(a)(ii)
Block 2 Section 35
Elliott Street
Campbell ACT 2612

Title:
Lower Floor Plan
Design Name:
Custom

| Issue/Rev | Plot Date | Description | PK |
|-----------|------------|-------------------------|----|
| CA | 01/02/2017 | Concept Drawings | PK |
| CB | 20/02/2017 | Amendments as requested | PK |

Drawing No: 3 of 6
Scale: 1:100 @ A3
Designed By: DRH
Drawn By: PK
Checked By: CY
Job No: 5607SM

Application Number
160475

Sheet
Important Note

4 of 5
Ventilation to internal wc, bath, ensuite
to be an exhaust fan in accordance with
BCA 3.8.5.8 & AS 1668.2

CONDITIONALLY COMPLIES

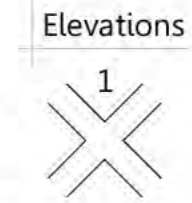
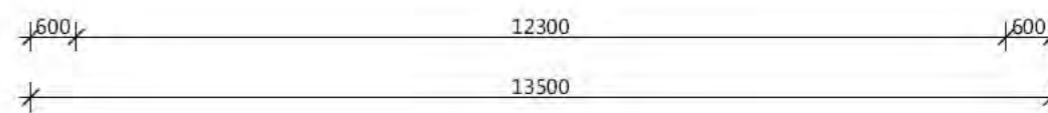
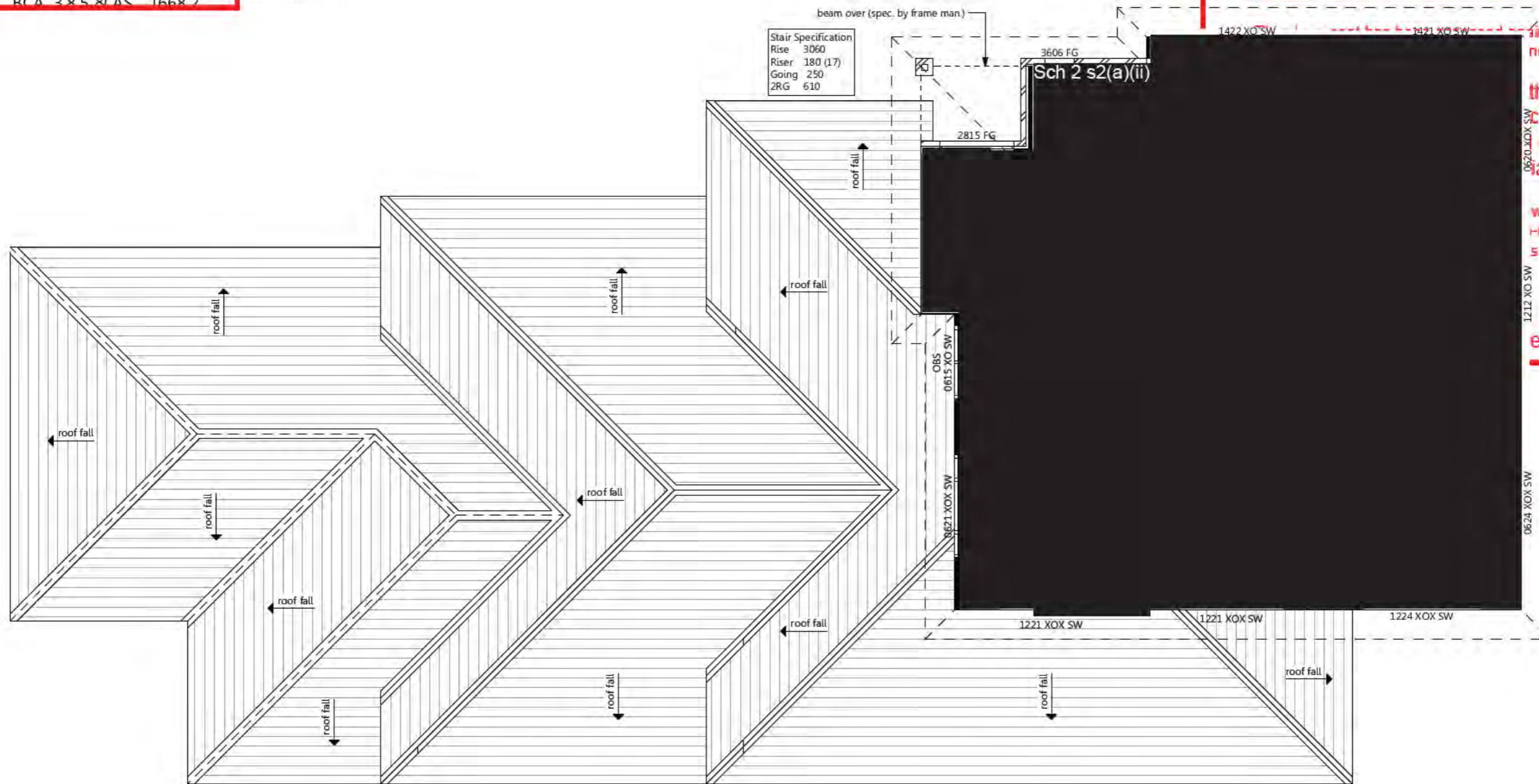
First legislation protecting ActewAGL's
and access to it.

this application complies with
action and access requirements
on the Statement of Conditional
ance.

works may result in action being taken to
compliant structures and/or the property
s on ActewAGL's gas network.

Date **07 Mar 2017**

e: 6293 5770



Shop 8 & 9 H2O Broadwater
82 Halse Parade Southport QLD 4215
t 071 559 1768
e info@iwantthatdesign.com.au
www.iwantthatdesign.com.au
ABN 8928124775 QBSA 1321286

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Please Read Carefully
This plan certified correct is the one referred to in the contract & specifications and I understand change hereafter may not be possible. These plans supercede all other previous plans or sketches.
Owner / s Date.....
Owner / s Date.....

Builder:

Client:
Sch 2 s2(a)(ii)
Block 2 Section 35
Elliott Street
Campbell ACT 2612


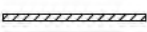

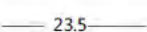
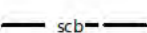
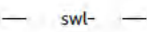
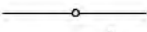
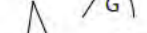




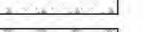

Title:
Upper Floor Plan
Design Name:
Custom

| Area Calculations (m ²) | Issue/Rev | Plot Date | Description | PK |
|-------------------------------------|-----------|------------|-------------------------|----|
| Lower Living 191.86 | CA | 01/02/2017 | Concept Drawings | PK |
| Upper Living 134.66 | CB | 20/02/2017 | Amendments as requested | PK |
| Garage 86.58 | CC | 28/02/2017 | Amendments as requested | LR |
| Alfresco 45.58 | | | | |
| Porch 2 21.56 | | | | |
| Porch 1 4.28 | | | | |
| Total 488.05 m ² | | | | |

| | |
|-------------|-------------------|
| Drawing No: | Scale: 1:100 @ A3 |
| 4 of 7 | Designed By: DRH |
| | Drawn By: PK |
| | Checked By: CY |
| Job No: | 5607SM |

Concept Drawings - NOT FOR CONSTRUCTION

LEGEND

-  Rock retaining wall to eng. detail & design
-  200 series masonry block retaining wall to eng. detail & design
-  Timber retaining wall maximum height 1m
-  23.5 Contour
-  scb Sediment control barrier to local authority policy
-  swl Stormwater line
-  Timber fence
-  Timber gate
-  Batter / slope
-  23.500 Proposed FGL (finished ground level)
-  1.2m sq. on site toilet pad location tbc on site
-  6.65 m² Driveway / Pathway (approx. area)
-  6.65 m² Private Open Space (approx. area)
-  30.715 165°42'00" Boundary distance & coordinates

NOTE:

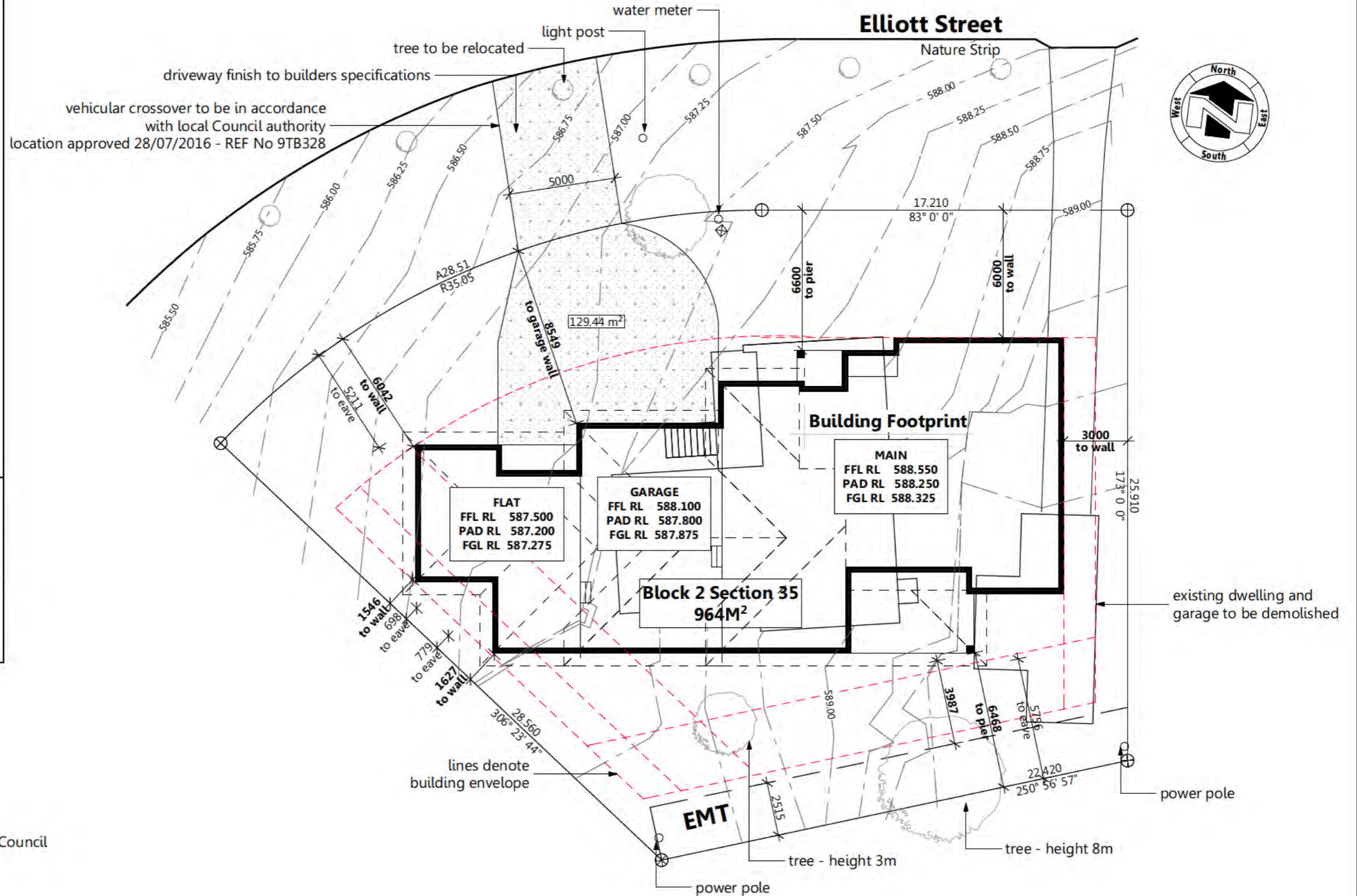
Not all symbols above may be depicted on this site plan

No site contours have been overlaid at time of preliminary siting. Further site information required in order to accurately position the proposed dwelling & determine cut and fill areas. If a current contour survey plan, completed by a registered surveyor, is not provided at the commencement of the job, any changes to the job due to incomplete or incorrect information provided, will be charged at the builder's and/or client's expense.

Real Property Description

Lot Number: Block 2 Section 35
 Registered Plan Number: DP 837
 Parish: tba
 County: tba
 Local Authority: North Campbell Community Council

Site Area: 964M²
 Site Coverage: XX%



I WANT THAT DESIGN.
 Shop 8 & 9 H20 Broadwater
 82 Main Parade Southport QLD 4215
 t 07) 5591 7658
 e info@iwanthatdesign.com.au
 www.iwanthatdesign.com.au
 ABN: 8913524775 QBSA: 1181286

We reserve the right to alter designs, colours and specifications without notice. Whilst every care has been taken in the preparation of this document, the particulars contained herein are not to be construed as any representation of fact. All information provided to us is from reputable sources and no responsibility is accepted by the vendor, its servants or agents for any errors or omissions. All interested parties should make their own enquiries to satisfy themselves in relation to all matters.

Please Read Carefully
 This plan certified correct is the one referred to in the contract & specifications and I understand change hereafter may not be possible. These plans supercede all other previous plans or sketches.

Owner / s Date

Owner / s Date

Builder:

DAVID REID HOMES
 STANDARD

Client:
 Sch 2 s2(a)(ii)
Block 2 Section 35
Elliott Street
 Campbell ACT 2612

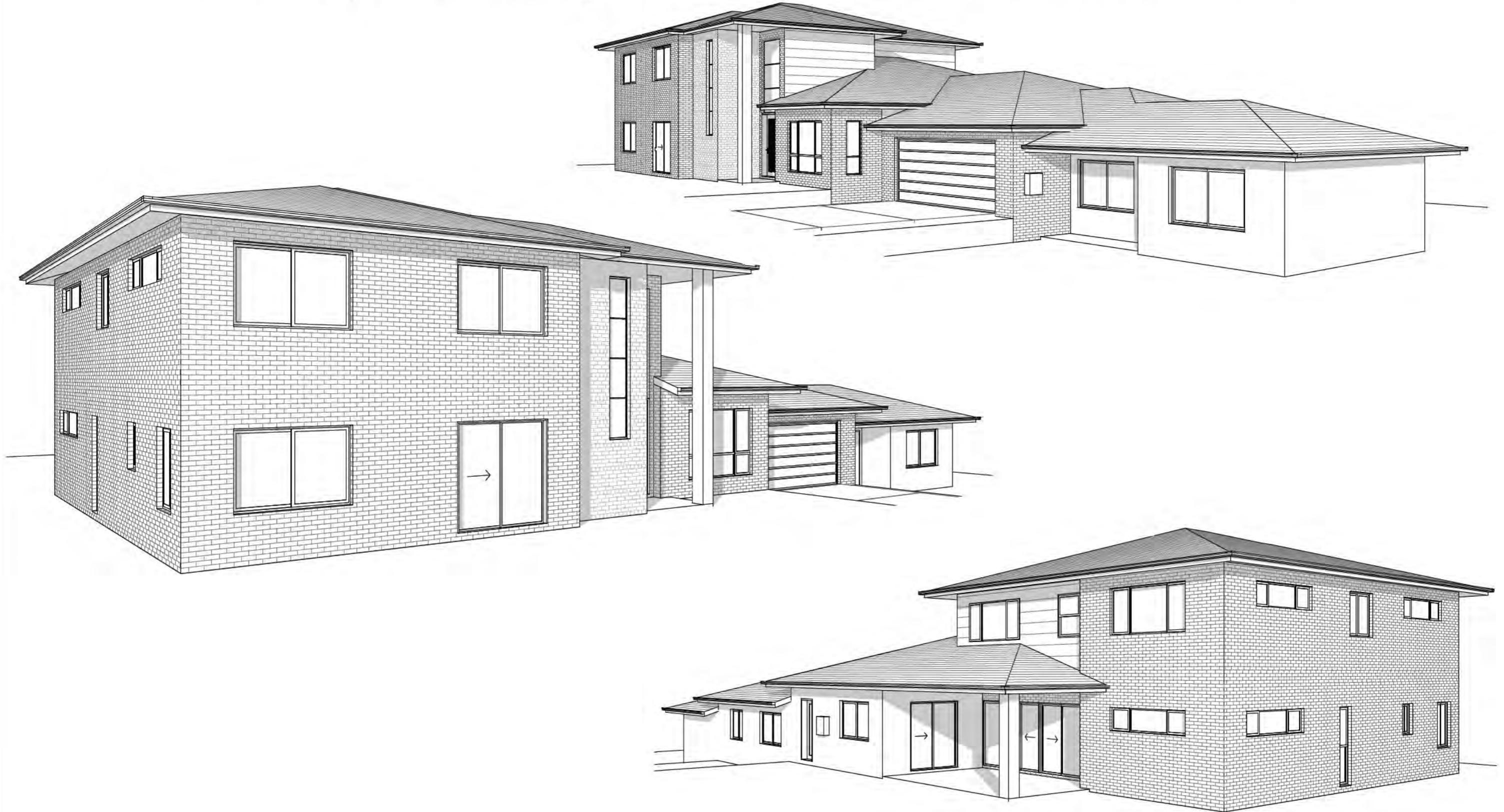
Title:
Site Plan
 Design Name:
Custom

| Area Calculations (m ²) | |
|-------------------------------------|-----------------------------|
| Lower Living | 191.86 |
| Upper Living | 127.75 |
| Granny Flat | 86.58 |
| Garage | 45.58 |
| Alfresco | 21.56 |
| Porch 2 | 4.28 |
| Porch 1 | 3.53 |
| Total | 481.14 m² |

| Issue/Rev | Plot Date | Description | PK |
|-----------|------------|-------------------------|----|
| CA | 01/02/2017 | Concept Drawings | PK |
| CB | 20/02/2017 | Amendments as requested | PK |

| | |
|-------------|-------------------|
| Drawing No: | Scale: 1:200 @ A3 |
| 2 of 6 | Designed By: DRH |
| | Drawn By: PK |
| | Checked By: CY |
| Job No: | 5607SM |

Concept Drawings - NOT FOR CONSTRUCTION



Images Are Diagrammatic Only Refer To Elevations For Details



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Owner / s Date.....
Owner / s Date.....

Builder:



Client:

Sch 2 s2(a)(ii)

**Block 2 Section 35
Elliott Street
Campbell ACT 2612**

Title:

3D Perspectives

Design Name:


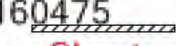


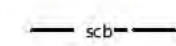

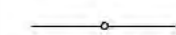




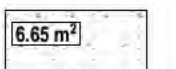
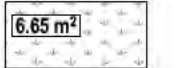
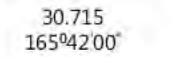
Custom

Area Calculations (m²)

| | |
|--------------|-----------------------------|
| Lower Living | 191.86 |
| Upper Living | 127.75 |
| Granny Flat | 86.58 |
| Garage | 45.58 |
| Alfresco | 21.56 |
| Porch 2 | 4.28 |
| Porch 1 | 3.53 |
| Total | 481.14 m² |

| Issue/Rev | Plot Date | Description | PK | Drawing No: | Scale | N/A |
|-----------|------------|-------------------------|----|-------------|---------------|-----|
| CA | 01/02/2017 | Concept Drawings | PK | 6 of 6 | | |
| CB | 20/02/2017 | Amendments as requested | PK | | | |
| | | | | Job No: | 5607SM | |

Application Number
160475
Sheet
2 of 7

-  Rock retaining wall to eng. detail & design
-  200 series masonry block retaining wall to eng. detail & design
-  Timber retaining wall maximum height 1m
-  23.5 Contour
-  scb Sediment control barrier to local authority policy
-  swl Stormwater line
-  Timber fence
-  Timber gate
-  Batter / slope
-  23.500 Proposed FGL (finished ground level)
-  1.2m sq. on site toilet pad location tbc on site
-  6.65 m² Driveway / Pathway (approx. area)
-  6.65 m² Private Open Space (approx. area)
-  30.715 165°42'00" Boundary distance & coordinates

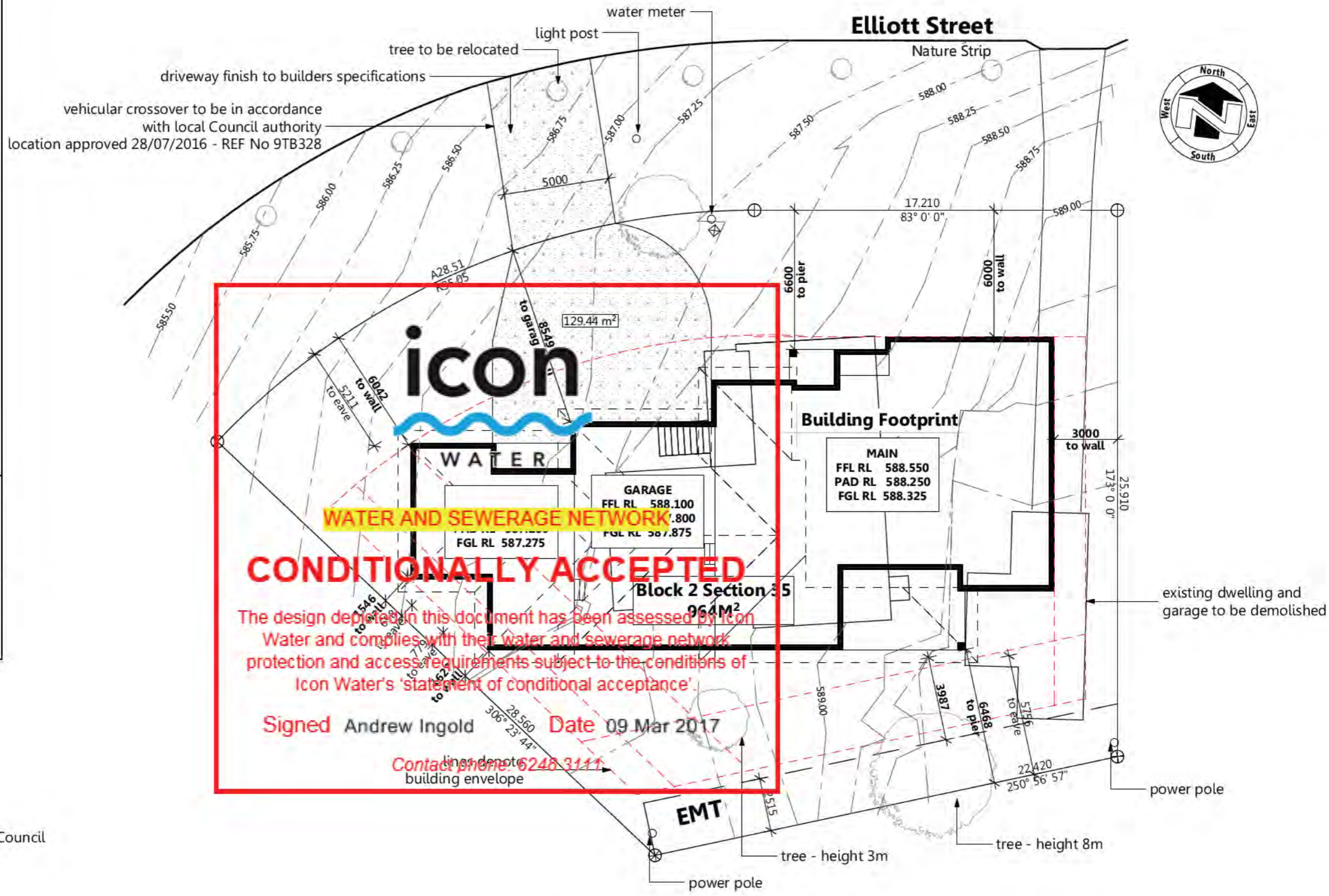
NOTE:
Not all symbols above may be depicted on this site plan
No site contours have been overlaid at time of preliminary siting.
Further site information required in order to accurately position the proposed dwelling & determine cut and fill areas. If a current contour survey plan, completed by a registered surveyor, is not provided at the commencement of the job, any changes to the job due to incomplete or incorrect information provided, will be charged at the builder's and/or client's expense.

Real Property Description

Lot Number: Block 2 Section 35
Registered Plan Number: DP 837
Parish: tba
County: tba
Local Authority: North Campbell Community Council

Site Area: 964M²
Site Coverage: 36.21%

Concept Drawings - NOT FOR CONSTRUCTION



Shop 8 & 9 H20 Broadwater
82 Marine Parade Southport QLD 4215
t 07 5591 7638
e info@wantthatdesign.com.au
www.wantthatdesign.com.au
ABN: 89235124775 QBSA: 1121286

Please Read Carefully
This plan certified correct is the one referred to in the contract & specifications and I understand change hereafter may not be possible. These plans supersede all other previous plans or sketches.
Owner / s Date.....
Owner / s Date.....



Builder: DAVID REID HOMES STANDARD
Client: Sch 2 s2(a)(ii)
Block 2 Section 35 Elliott Street Campbell ACT 2612

Title: **Site Plan**
Design Name: **Custom**

| Area Calculations (m ²) | Issue/Rev | Plot Date | Description |
|-------------------------------------|-----------|------------|-------------------------|
| Lower Living 191.86 | CA | 01/02/2017 | Concept Drawings |
| Upper Living 134.66 | CB | 20/02/2017 | Amendments as requested |
| Granny Flat 86.58 | CC | 28/02/2017 | Amendments as requested |
| Garage 45.58 | | | |
| Alfresco 21.56 | | | |
| Porch 2 4.28 | | | |
| Porch 1 3.53 | | | |
| Total 488.05 m² | | | |

| | |
|-------------|-------------------|
| Drawing No: | Scale: 1:200 @ A3 |
| 2 of 7 | Designed By: DRH |
| | Drawn By: PK |
| | Checked By: CY |
| Job No: | 5607SM |



West



1/1

APPROVAL DATE
30/03/2017

CAPITAL CERTIFIERS P/L
COLA LIC. 2012818
ACN 158 851 239

BUILDING APPROVAL
issued under the s.28 of the
Building Act 2004.
CAPITAL CERTIFIERS
PTY LTD
COLA LIC. 2012 818
ACN: 158 851 239

SLL

BCA Occupancy Class: 1a

BCA Type of Construction: N/A

Demolish all existing structures on site

I WANT THAT DESIGN.
Shop 8 & 9 H2O Broadwater
82 Main Parade Southport QLD 4215
t (07) 5591 7658
e info@iwanthatdesign.com.au
www.iwanthatdesign.com.au
ABN: 89135124775 QBSA: 1181286

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Please Read Carefully
This plan certified correct is the one referred to in the contract & specifications and I understand change hereafter may not be possible. These plans supercede all other previous plans or sketches.

Owner / s Date.....
Owner / s Date.....

Builder:
DAVID REID HOMES
RAISING THE STANDARD

Client:
Sch 2 s2(a)(ii)
Block 2 Section 35 Elliott Street
Campbell ACT 2612

Title:
Demo plan

Design Name:
Custom

| Area Calculations (m ²) | |
|-------------------------------------|-----------------------------|
| Lower Living | 191.86 |
| Upper Living | 134.66 |
| Granny Flat | 86.58 |
| Garage | 45.58 |
| Alfresco | 21.56 |
| Porch 2 | 4.28 |
| Porch 1 | 3.53 |
| Total | 488.05 m² |

| Issue/Rev | Plot Date | Description | |
|-----------|------------|-------------------------|----|
| CA | 01/02/2017 | Concept Drawings | PK |
| CB | 20/02/2017 | Amendments as requested | PK |
| CC | 28/02/2017 | Amendments as requested | LR |

| | | |
|-------------|---------------|------------|
| Drawing No: | Scale | 1:200 @ A3 |
| 2 of 7 | Designed By | DRH |
| | Drawn By | PK |
| | Checked By | CY |
| Job No: | 5607SM | |

Lease/Site Details

| | | | | | | | |
|---------|--------------------------------|----------------|---|--------|---------------------------------------|----------|---|
| Block | <input type="text" value="2"/> | Section | <input type="text" value="35"/> | Suburb | <input type="text" value="Campbell"/> | Division | <input type="text" value="Canberra Central"/> |
| Unit No | <input type="text"/> | Street Address | <input type="text" value="49 Elliot Street"/> | | | | |

Building Approval Application and Site Work Details

This notice is issued in relation to the site work shown in the plans submitted as part of the application for a building approval dated made by the following applicants:

Sch 2 s2(a)(ii)

on: 5/3/2017

This notice applies to all site work in that application for which there is there is no—

- (a) exemption assessment D notice stating that the site work is exempt development issued for the work not more than 3 months before the day the application was made;
- (b) exemption declaration under the *Planning and Development Regulation 2008*, schedule 1, section 1.100A (1) (b) or section 1.100AB (1) (b) made by the planning and land authority; or
- (c) current development approval issued in relation to the site work.

NOTE: Site work is development that is—

- (a) building work; and
- (b) work other than building work that—
 - (i) physically affects the place (the building site) where the building work is being carried out; and
 - (ii) if not carried out at the building site, is carried out near, and connected with, the building site.

Examples: putting up temporary fencing, installing measures for erosion control, building a house, damaging or removing a significant tree, laying paving for driveways and parking areas, installing landscaping, site clearing and excavation, erecting site signage, erecting a pergola

Building Certifier Details *Please Print*

| | | | | | |
|----------------|---|----------------|--|----------|-----------------------------------|
| Surname | <input type="text" value="Stephen"/> | First Name | <input type="text" value="Monkhouse"/> | | |
| Company Name | <input type="text" value="Capital Certifiers Pty Ltd"/> | | | | |
| Licence Number | <input type="text" value="2012 818"/> | Contact Number | <input type="text" value="Sch 2 s2(a)(ii)"/> | | |
| Postal Address | <input type="text" value="Unit 14, 9 Beaconsfield Street"/> | | | | |
| Suburb | <input type="text" value="Fyshwick"/> | State | <input type="text" value="ACT"/> | Postcode | <input type="text" value="2609"/> |

Building Certifier Statement

I state that:

- the plans for the building work to which the application for building approval relates show all the information necessary to establish that the site work is exempt development under the *Planning and Development Act 2007*, section 133; and
- the site work is exempt development; and
- I have assessed that the site work is exempt development for the following reasons and in accordance with the following provisions of the *Planning and Development Regulation 2008* and Territory Plan Codes:

Please include all relevant regulations and codes relied on for your assessment and an outline of your reasoning, such as the assessment you undertook, advice from referral entities, compliance with lease and development conditions etc. You can attach additional information if needed and supporting documents including checklists or your own assessment documents. You do not need to attach a copy of the plans or building approval application.

Demolition

Planning & Development Reg 2008, Schedule 1 Section 1.14 Heritage, tree, environment and conservation Part 1.2,

Planning & Development Reg 2008, Schedule 1, Part 1.3, Division 1.3.7 Section 1.100B Single Dwelling-Demolition

Please attach additional information if required

Building Certifier Signature
(or nominee)



Date of
Issue

30/03/2017

Giving false or misleading information is a serious offence

Privacy Notice

The personal information on this form is provided to the Environment and Planning Directorate (EPD). The collection of personal information is authorised by the *Building Act 2004*. If all or some of the required personal information is not collected this notice is not considered complete. The personal information provided may be disclosed to Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be disclosed where authorised by law or court order, or where the EPD reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. EPD's Information Privacy Policy contains information about how you may access or seek to correct your personal information held by EPD, and how you may complain about an alleged breach of the Territory Privacy Principles. The EPD Information Privacy Policy can be found at www.act.gov.au/accessCBB.

CONTACT INFORMATION

Email:

ACTPLAdevelopmentBA@act.gov.au

Post:

Access Canberra
Building Services
Shopfront Mitchell
GPO Box 158
Canberra, ACT 2601

In Person:

Please visit
www.act.gov.au/accessCBB
Or call 132281 to find an
Access Canberra Shopfront.



14/9 Beaconsfield Street Fyshwick
2609
(02) 6280 7142
info@capitalcertifiers.com.au

Campbell Block 2, Section 35

Demolition of existing structures

Number of plans included in this approval: 1 numbered 1 to 1

Approval period: Three years from the date of this approval. 30/03/2017

These plans have been assessed in accordance with the Building Code of Australia and relevant Standards and given approval in accordance with sub-section 28 (6) of the Building Act. All work is to be carried out in accordance with ACT Building Act, the Building Code of Australia, relevant Standards and these approved documents.

Mandatory inspections stages (as per the Building Act 2004):

Completion of the building work (demolition) as per the relevant building approval.

Note 24 hours prior notice is requested to book an inspection

If you have any enquiries we can be contacted at:

Stephen A Monkhouse

Mobile: Sch 2 s2(a)(ii)

Sch 2 s2(a)(ii) [@capitalcertifiers.com.au](mailto:info@capitalcertifiers.com.au)

**BUILDING APPROVAL COMPLETENESS CHECKLIST
RESIDENTIAL BCA CLASS 1 and 10**

Block: 2

Section: 35

Suburb: CAMPBELL

Unit No:

Project Number: B20171169

Building Certifier: CAPITAL CERTIFIERS

Customer Services Officer Name: Jolene

Date of completeness check: 13/04/2017

Part 1 Administrative Check

| Requirements | Pass | Fail | N/A | Comments |
|--|--|--------------------------|-------------------------------------|---|
| * Has the Building Approval been submitted within 7 days from the date of approval? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| * Have all relevant plans been stamped and dated by the building certifier? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Does the date stamp on the plans match the approval date on eDevelopment? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| * Building approval stamp and application form text legible? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| * If the Building Approval has a Development Approval is the Development Approval still valid? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| * Have all lessee's signed the relevant forms? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| * Are all relevant documents uploaded & named correctly? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Has an insurance certificate been provided if the cost of building work exceeds \$12,000? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| Have statements of compliance from each relevant utility been provided where relevant? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> GAS <input checked="" type="checkbox"/> WATER <input checked="" type="checkbox"/> ELECTRICITY |
| If the BA is for existing work, has the invoice been amended to include the relevant existing work fee? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| If BCN has been issued, is the licensee authorised to undertake the work as described? ie: Swimming Pool or Demolition endorsement on licence. | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Has the lessee's email address been provided? If yes, please email BA notice to lessee. | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Requirements for DA Exempt Works | Pass | Fail | N/A | Comments |
| Have forms 7A and 7B been provided for building or alterations or full or part demolition of a single dwelling? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| If there is no exemption D notice or exemption declaration has a site work notice been provided? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| COMPLETENESS CHECK FAILURE – from 1/9/13 * - Failure incurs a fee. – See page 15 of fees & charges | COMPLETENESS CHECK FAILURE NOTICE SENT: Click here to enter a date. COMPLETENESS CHECK FAILURE FEES PAID: Click here to enter a date. | | | |

Part 2 Completeness Check Failure Reasons

After completing parts 1 & 3 of this checklist list the failure reasons below. For example: Failed to supply Elevation Plan or Incorrect lessee details and on resubmission select whether it has been supplied or not.

| | | | | |
|--|------------|--|------------|------------|
| | Select One | | Select One | Select One |
| | Select One | | Select One | Select One |

Checklist review date 08/09/2016

**BUILDING APPROVAL COMPLETENESS CHECKLIST
RESIDENTIAL BCA CLASS 1 and 10**

| Part 3 Documentation Check | | | | |
|--|--|-------------------------------------|--------------------------|-------------------------------------|
| Document | Document Name | Pass | Fail | N/A |
| Form – Minimum Documentation Requirements for Building Approval Lodgment Checklist | Details – Minimum Documents Checklist | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Asbestos Removal Control Plan | Asbestos Removal Control Plan | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Development Approval (including amendments) | Approved Plans – Development Approval | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Site Plan | Approved Plans – Site | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Floor Plan | Approved Plans – Floor | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Elevation Plan | Approved Plans – Elevation | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Section Details – Wall, Floor Ceiling & Roof | Approved Plans – Sections Wall Approved Plans – Sections Floor Approved Plans – Sections Ceiling Approved Plans – Sections Roof | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Demolition Plan | Approved Plans – Demolition | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Swimming Pools and Spas Details (including fencing/barriers) | Details – Pools Spas | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Energy Efficiency Details | Details – Energy Efficiency | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

| Creating Building Files | |
|--|--------------------------|
| Only complete this section if for a new block where a building file does not exist. Select Y (yes) or N (no) below. | |
| Is this a new residence on a new block? | <input type="checkbox"/> |
| Has a new building approval been created in Objective and I Drive? | <input type="checkbox"/> |

| Part 4 Audit Team Checklist | | | | |
|--|---|--------------------------|--------------------------|--------------------------|
| Document | Document Name | Pass | Fail | N/A |
| Footings and Concrete Slab Details | Details – Footings Concrete Slab | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Retaining Wall Details | Details – Retaining Walls | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Masonry Construction Details | Details – Masonry Construction | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Framing (including trusses) and Construction Details | Details – Framing | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Roof Cladding Details | Details – Roof Cladding | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Exterior Cladding & Material Details | Details – Exterior Cladding & Materials | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Wet area details | Details – Wet Area | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Windows and Glazing Details | Details – Windows Glazing | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Estimate of the Cost of the Building Work | Details – Cost of Building Work | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Alternative Solutions | Details – Alternative Solutions | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

**BUILDING APPROVAL COMPLETENESS CHECKLIST
RESIDENTIAL BCA CLASS 1 and 10**

Working Drawings - A

Sheet Index

- 1 Cover Sheet
- 2 Workplace Health & Safety
- 3 Legends / Notes
- 4 Demolition Plan
- 5 Site Plan
- 6 Lower Floor Plan 1:100
- 7 Lower Floor Plan 1:125
- 8 Upper Floor Plan 1:100
- 9 Upper Floor Plan 1:125
- 10 Elevations 1 of 2
- 11 Elevations 2 of 2
- 12 Building Envelope Plan
- 13 Sections / Details
- 14 Details
- 15 Slab Layout
- 16 Lower Bracing Plan
- 17 Upper Bracing Plan
- 18 Lower Electrical Plan
- 19 Upper Electrical Plan
- 20 Lower Floor Covering Plan
- 21 Upper Floor Covering Plan
- 22 Kitchen Elevations
- 23 Shadow Diagrams
- 24 Water Reduction Schedule
- 25 3D Perspectives



PROPOSED RESIDENCE FOR:

Sch 2 s2(a)(ii)

Block 2 Section 35 Elliott Street
Campbell ACT 2612



Any errors in measurements or omission of information found in this plan is to be resolved before the onsite work is started, I Want That Design accepts no responsibility thereafter and will not accept any cost incurred for such errors or omissions.



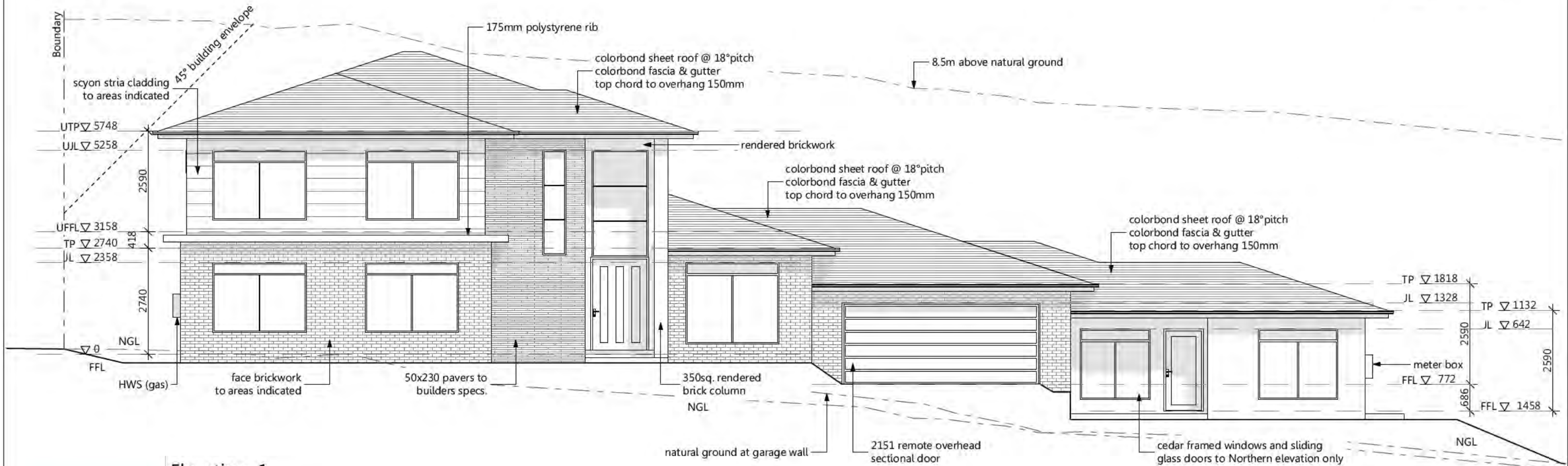
ACT
PH: 0411 308 715
Lic. No: 200012179

APPROVAL DATE
5/05/2017

CAPITAL CERTIFIERS P/L
COLA LIC. 2012 818
ACN 158 851 239

BUILDING APPROVAL
issued under the s.28 of the
Building Act 2004.
CAPITAL CERTIFIERS
PTY LTD
COLA LIC. 2012 818
ACN: 158 851 239

Images Are Diagramatic Only Refer To Elevations For Details



Elevation 1

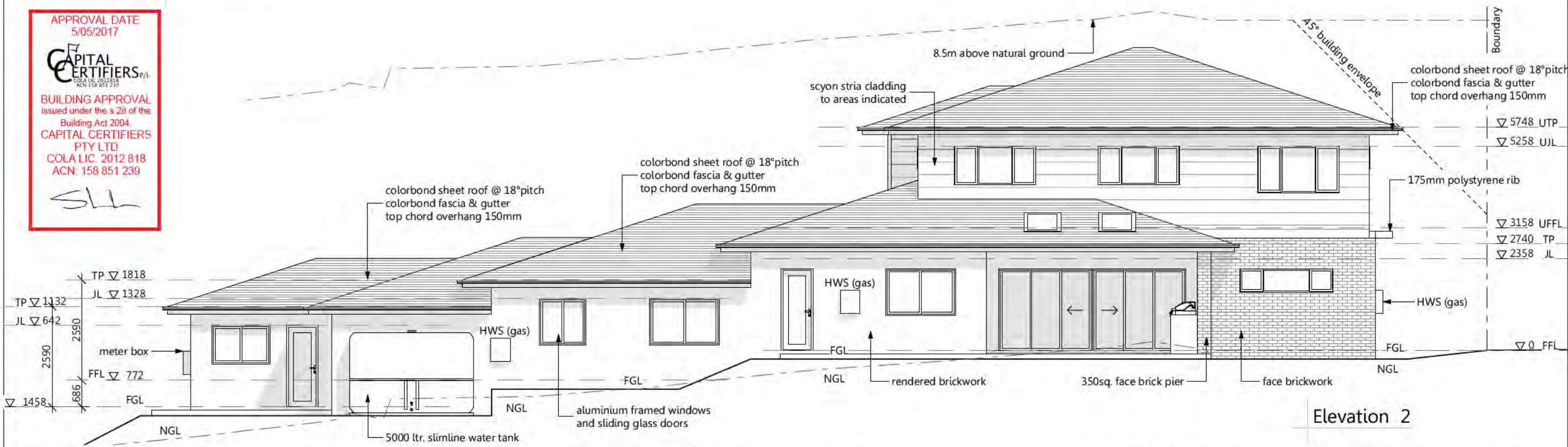
APPROVAL DATE
5/05/2017

CAPITAL CERTIFIERS P/L
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ACN: 158 851 239

BUILDING APPROVAL
issued under the s.28 of the
Building Act 2004.

CAPITAL CERTIFIERS PTY LTD
COLA LIC. 2012 818
ACN: 158 851 239

SLH



Elevation 2

I WANT THAT DESIGN

Shop 8 & 9 H20 Broadwater
32 Marine Parade, Southport QLD 4215
t 07 5591 7688
e info@iwanthatdesign.com.au
www.iwanthatdesign.com.au
ABN: 8923512475 CBSS: 1381286

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Please Read Carefully
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Owner / s Date.....
Owner / s Date.....

Builder:
DAVID REID HOMES
RAISING THE STANDARD

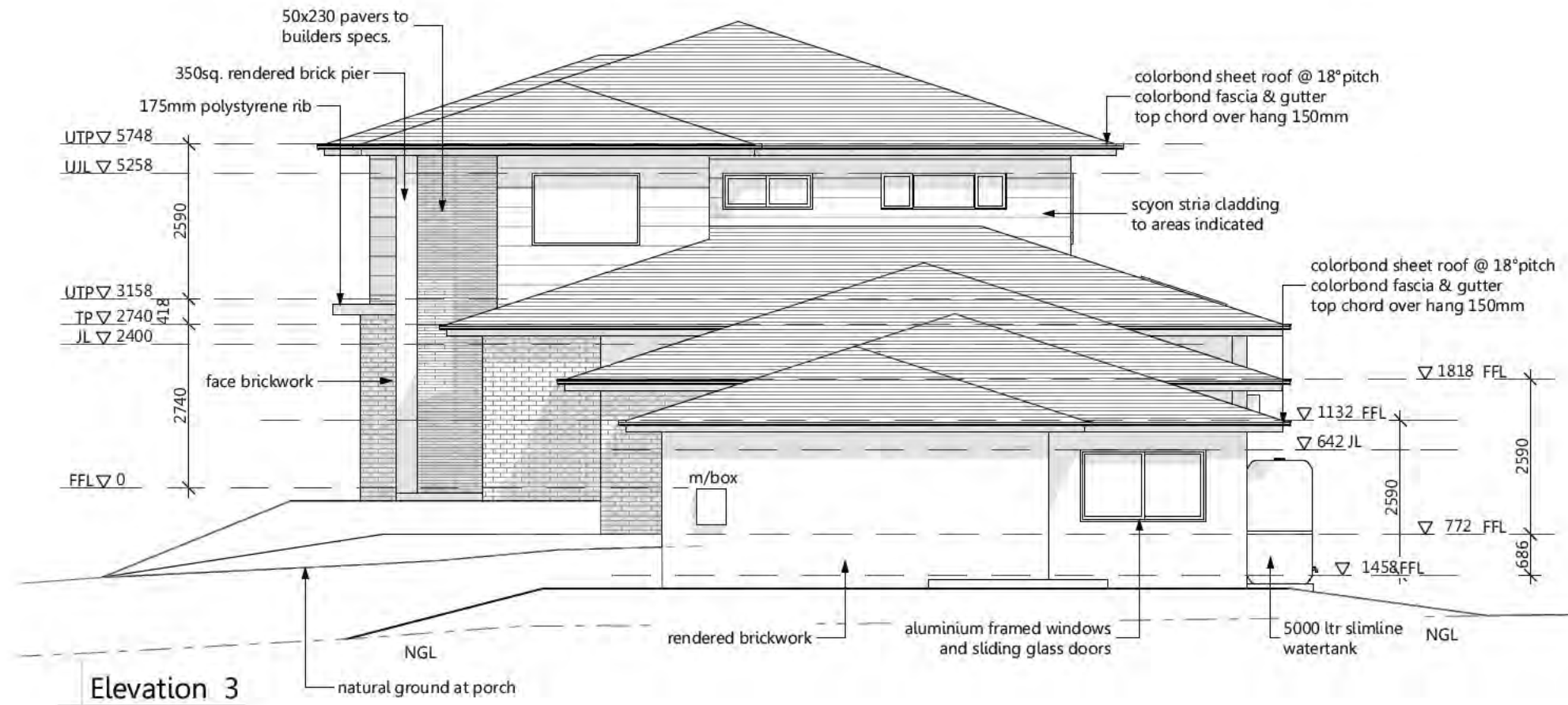
Client:
Sch 2 s2(a)(ii)
Block 2 Section 35 Elliott Street Campbell ACT 2612

Title:
Elevations 1 of 2

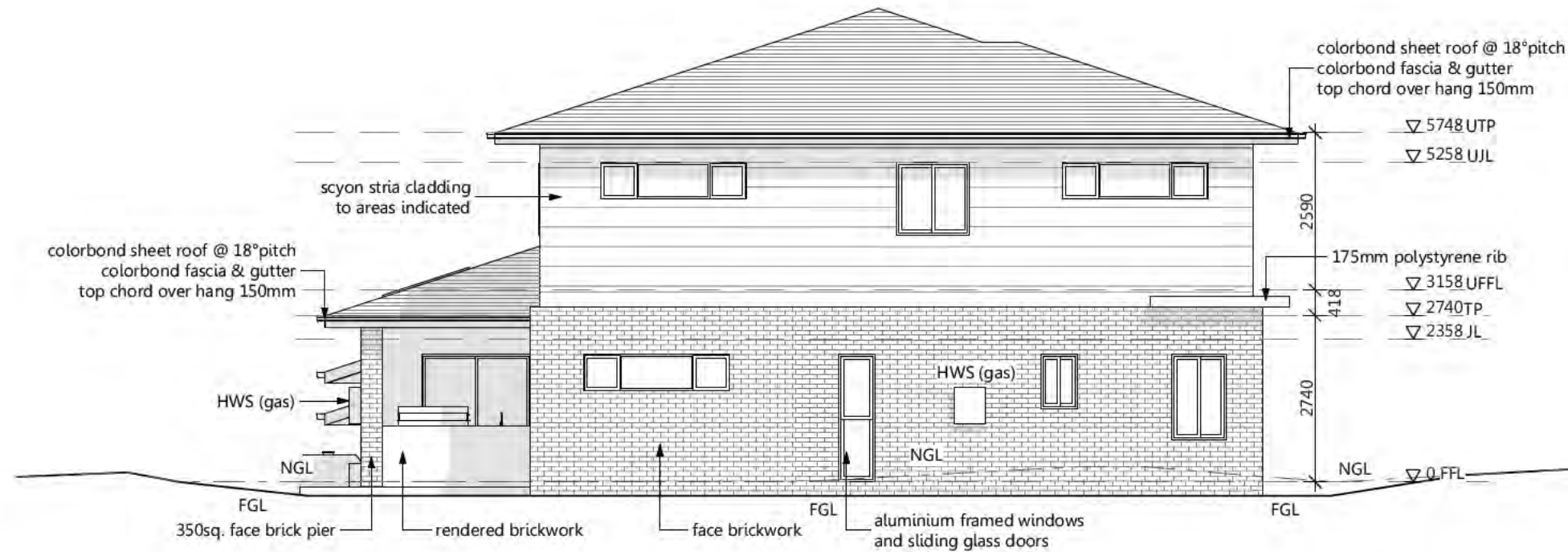
Design Name:
Custom

| Area Calculations (m ²) | | Issue/Rev | Plot Date | Description | PK |
|-------------------------------------|-----------------------------|-----------|------------|---|----|
| Lower Living | 191.86 | CA | 01/02/2017 | Concept Drawings | PK |
| Upper Living | 134.66 | CB | 20/02/2017 | Amendments as requested | PK |
| | 86.58 | CC | 28/02/2017 | Amendments as requested | LR |
| Garage | 45.58 | CC | 28/02/2017 | Amendments as requested | LR |
| Alfresco | 21.56 | CD | 02/03/2017 | Building envelopes added, window change | LR |
| Porch 2 | 4.28 | PA | 29/03/2017 | Preliminary Drawings | LR |
| Porch 1 | 3.53 | PA | 29/03/2017 | Preliminary Drawings | LR |
| Total | 488.05 m² | A | 04/05/2017 | Working Drawings | LR |

| | |
|-------------|-------------------|
| Drawing No: | Scale: 1:100 @ A3 |
| 10 of 25 | Designed By: DRH |
| | Drawn By: PK |
| | Checked By: CY |
| Job No: | 59115M |



Elevation 3



Elevation 4

APPROVAL DATE
5/05/2017

CAPITAL CERTIFIERS P/L
COLA LIC. 2012 818
ACN 158 851 239

BUILDING APPROVAL
issued under the s.28 of the
Building Act 2004.

**CAPITAL CERTIFIERS
PTY LTD**
COLA LIC. 2012 818
ACN: 158 851 239

SL



We reserve the right to alter designs, colours and specifications without notice. Whilst every care has been taken in the preparation of this document, the particulars contained herein are not to be construed as any representation of fact. All information provided to us is from reputable sources and no responsibility is accepted by the vendor, it's servants or agents for any errors or omissions. All interested parties should make their own enquiries to satisfy themselves in relation to all matters.

Please Read Carefully
This plan certified correct is the one referred to in the contract & specifications and I understand change hereafter may not be possible. These plans supercede all other previous plans or sketches.

Owner / s Date.....
Owner / s Date.....



Builder: **DAVID REID HOMES**

Client: **Sch 2 s2(a)(ii)**

**Block 2 Section 35
Elliott Street
Campbell ACT 2612**

Title: **Elevations 2 of 2**

Design Name: **Custom**

| Area Calculations (m ²) | Issue/Rev | Plot Date | Description | PK |
|-------------------------------------|-----------|------------|---|----|
| Lower Living 191.86 | CA | 01/02/2017 | Concept Drawings | PK |
| Upper Living 134.66 | CB | 20/02/2017 | Amendments as requested | PK |
| 86.58 | CC | 28/02/2017 | Amendments as requested | LR |
| 45.58 | CD | 02/03/2017 | Building envelopes added, window change | LR |
| Alfresco 21.56 | PA | 29/03/2017 | Preliminary Drawings | LR |
| Porch 2 4.28 | | | | |
| Porch 1 3.53 | | | | |
| Total 488.05 m² | A | 04/05/2017 | Working Drawings | LR |

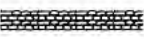
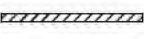

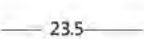
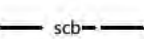
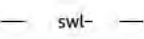



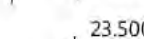



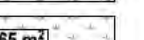
Drawing No: **11** of **25**

Scale: 1:100 @ A3

Designed By: DRH
Drawn By: PK
Checked By: CY

Job No: **5911SM**

LEGEND

-  Rock retaining wall to eng. detail & design
-  200 series masonry block retaining wall to eng. detail & design
-  Timber retaining wall maximum height 1m
-  23.5 Contour
-  scb Sediment control barrier to local authority policy
-  swl Stormwater line
-  Timber fence
-  Timber gate
-  Batter / slope
-  23.500 Proposed FGL (finished ground level)
-  1.2m sq. on site toilet pad location tbc on site
-  6.65 m² Driveway / Pathway (approx. area)
-  6.65 m² Private Open Space (approx. area)
-  30.715 165°42'00" Boundary distance & coordinates

NOTE:
Not all symbols above may be depicted on this site plan

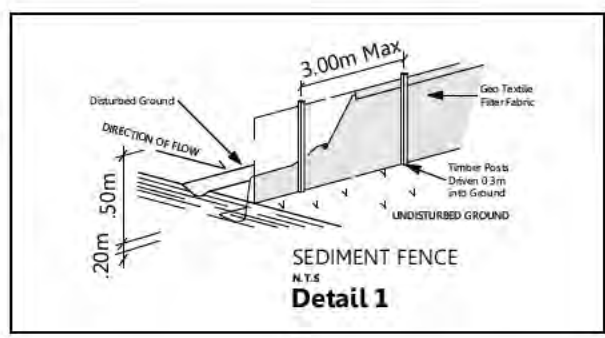
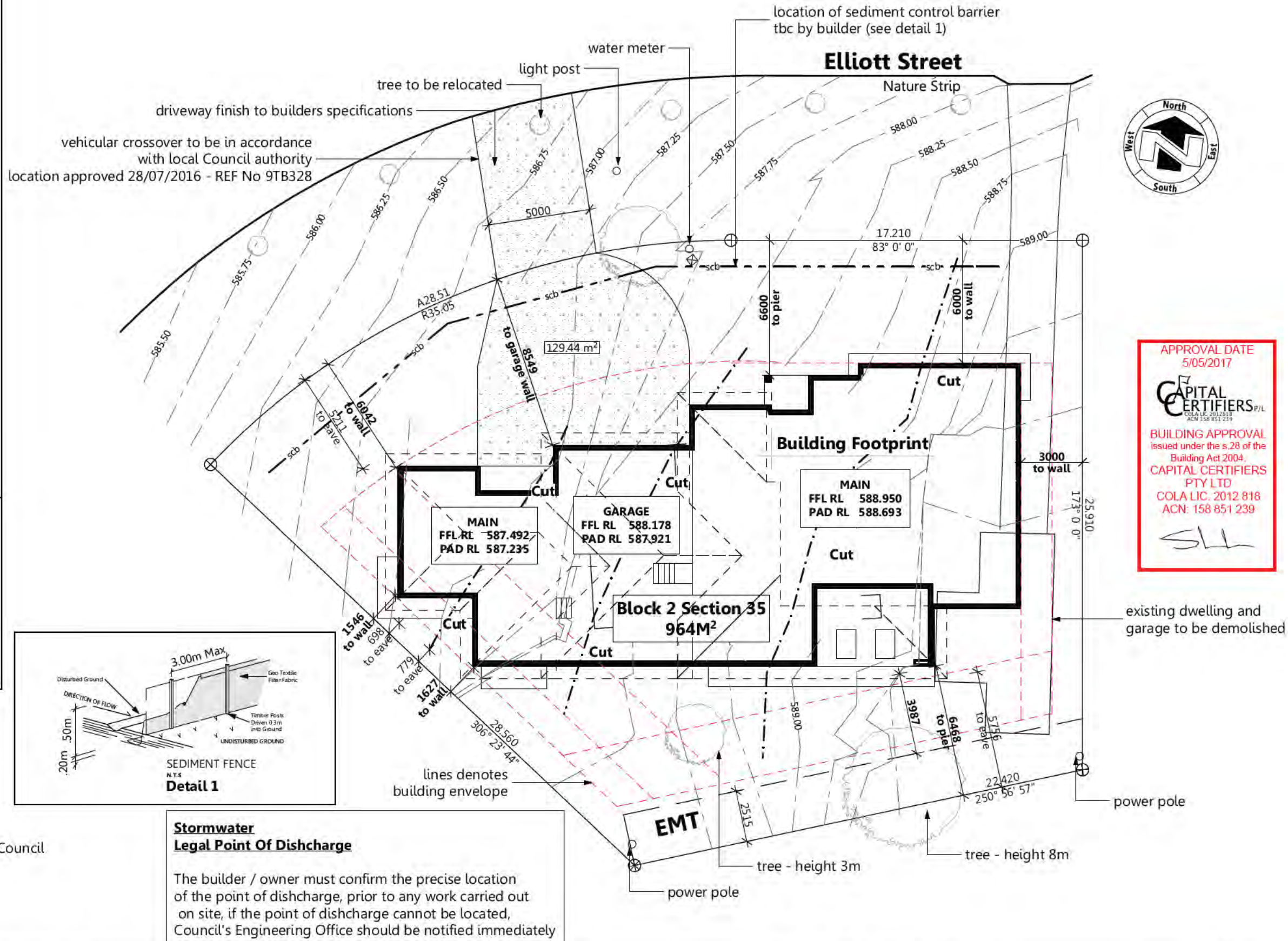
Levels & contours are based on assumed datum on survey plan 16187 C3 by Scott D McNiven & Associates. Prior to construction the relevant authority should be contacted for possible minimum floor level requirements & flood information.

This site plan is based on information provided by the builder. The floor level is subject to change. Additional site survey may need to be taken to confirm the required bench level.

Real Property Description

Lot Number: Block 2 Section 35
Registered Plan Number: DP 837
Parish: tba
County: tba
Local Authority: North Campbell Community Council

Site Area: 964M²
Site Coverage: 36.21%



Stormwater Legal Point Of Dishcharge
The builder / owner must confirm the precise location of the point of dishcharge, prior to any work carried out on site, if the point of dishcharge cannot be located, Council's Engineering Office should be notified immediately



APPROVAL DATE
5/05/2017
CAPITAL CERTIFIERS PTY LTD
BUILDING APPROVAL issued under the s.28 of the Building Act 2004.
CAPITAL CERTIFIERS PTY LTD
COLA LIC. 2012 818
ACN: 158 851 239
SLH

I WANT THAT DESIGN
Shop 8 & 9 H20 Broadwater
32 Main St, Southport QLD 4215
t 075 5591 7688
e info@iwanthatdesign.com.au
www.iwanthatdesign.com.au
ABN: 8923512475 CB5K 1381286

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Please Read Carefully
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Owner / s _____ Date _____
Owner / s _____ Date _____

Builder:
DAVID REID HOMES
RAISING THE STANDARD

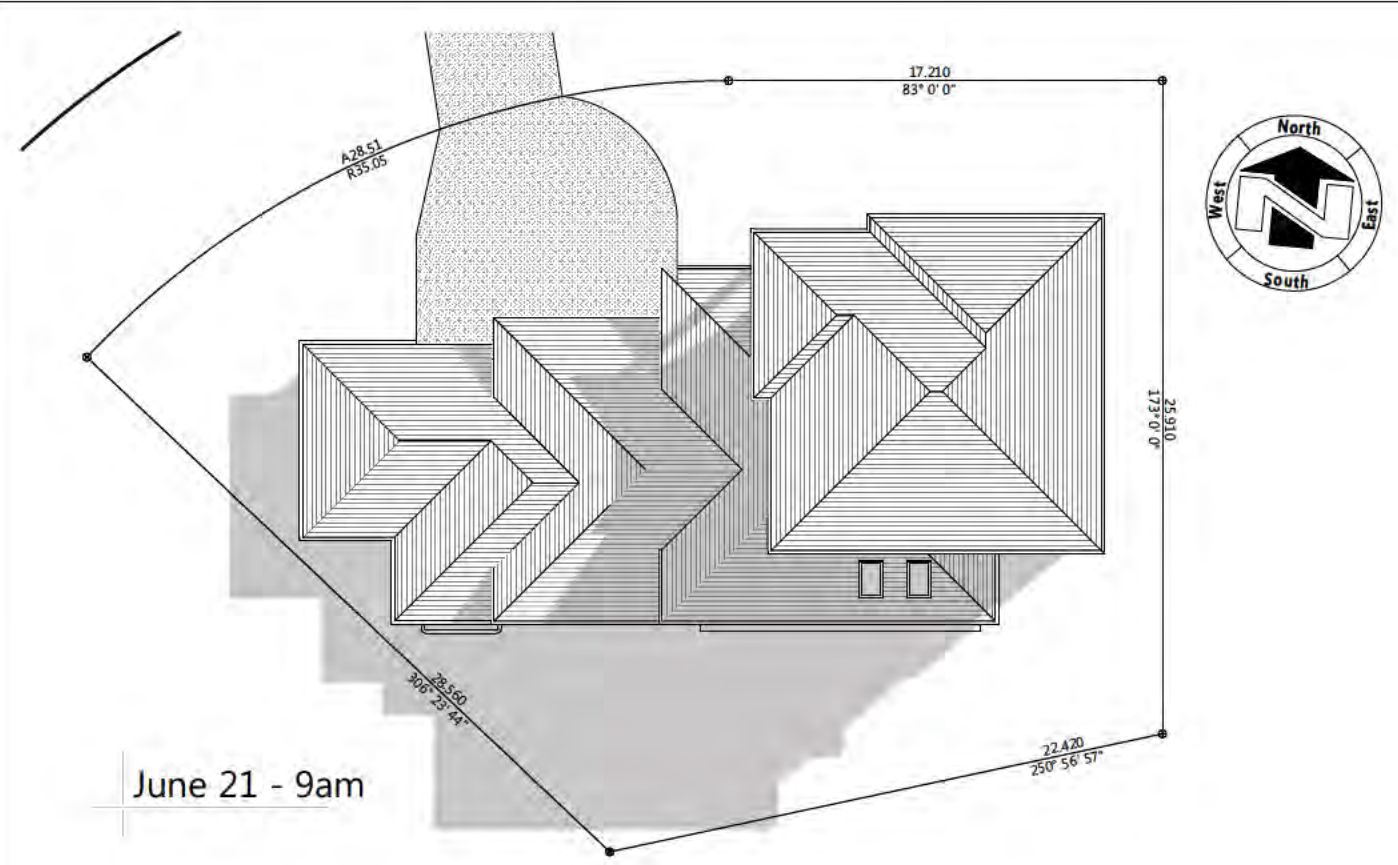
Client:
Sch 2 s2(a)(ii)
Block 2 Section 35 Elliott Street Campbell ACT 2612

Title:
Site Plan
Design Name:
Custom

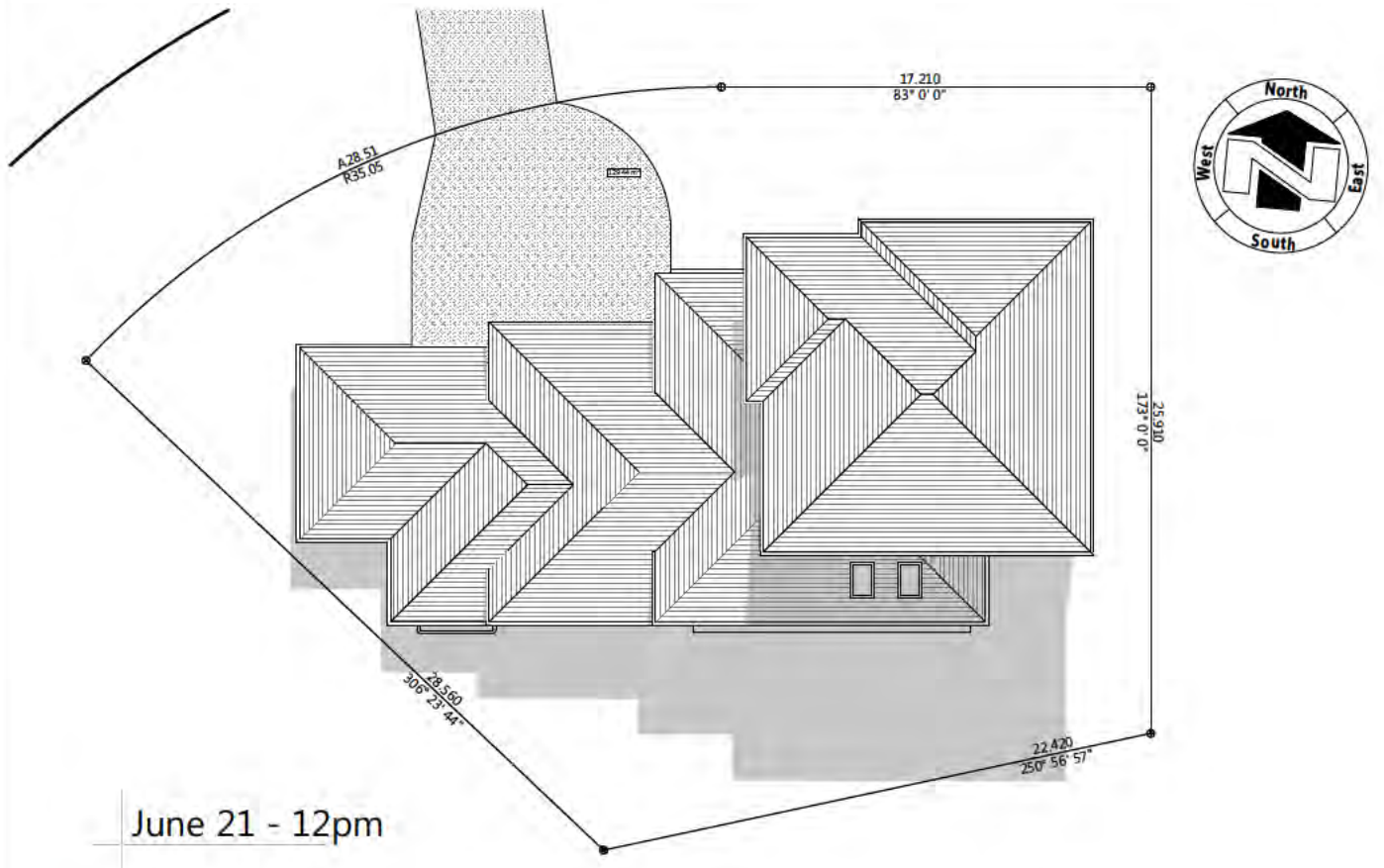
| Area Calculations (m ²) | Issue/Rev | Plot Date | Description |
|-------------------------------------|-----------|------------|---|
| Lower Living 191.86 | CA | 01/02/2017 | Concept Drawings |
| Upper Living 134.66 | CB | 20/02/2017 | Amendments as requested |
| | CC | 28/02/2017 | Amendments as requested |
| Garage 45.58 | CD | 02/03/2017 | Building envelopes added, window change |
| Alfresco 21.56 | PA | 29/03/2017 | Preliminary Drawings |
| Porch 2 4.28 | | | |
| Porch 1 3.53 | | | |
| Total 488.05 m² | A | 04/05/2017 | Working Drawings |

| Drawing No: | Scale |
|-------------|------------|
| 5 of 25 | 1:200 @ A3 |

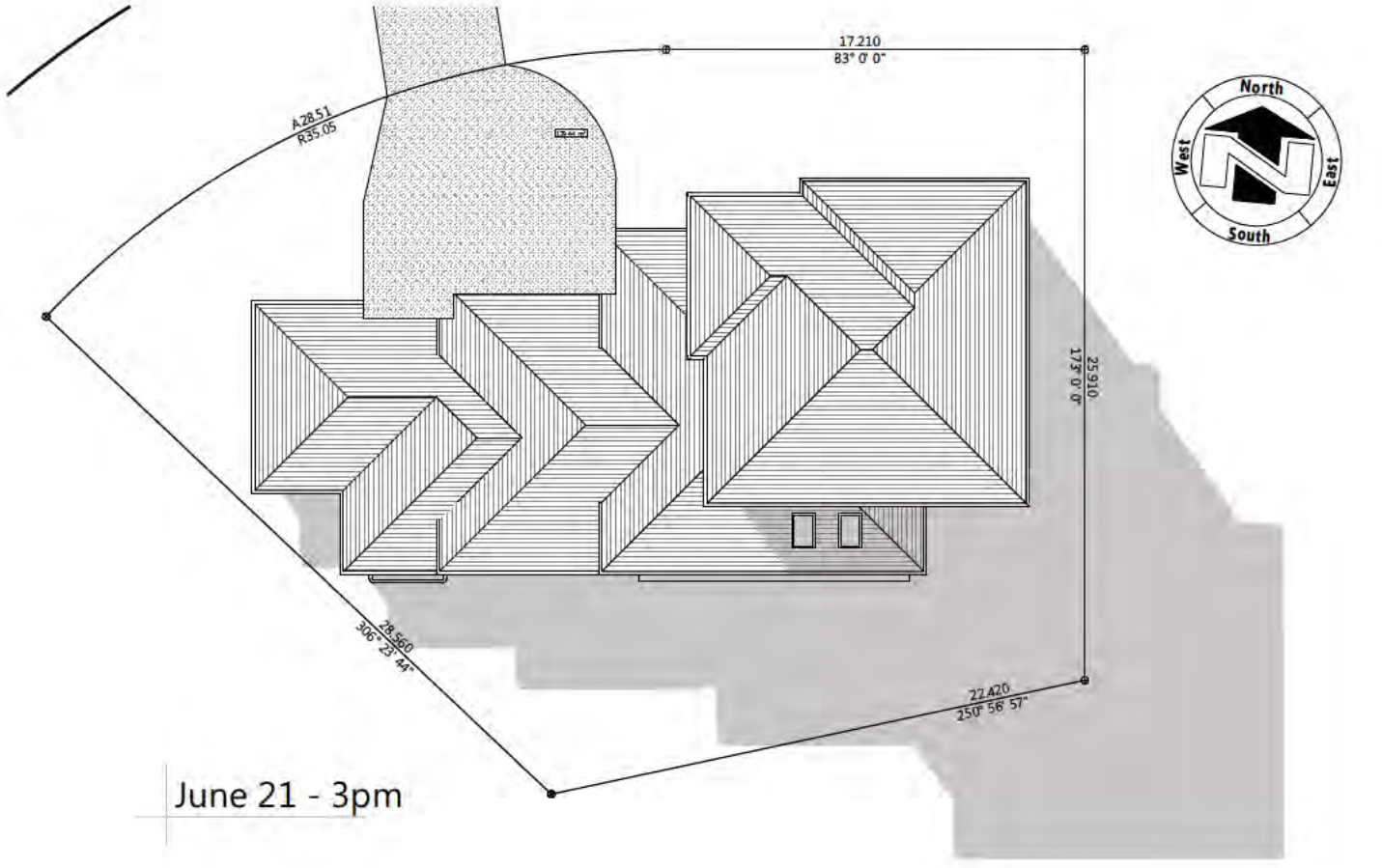
Designed By: DRH
Drawn By: PK
Checked By: CY
Job No: **5911SM**



June 21 - 9am



June 21 - 12pm



June 21 - 3pm

I WANT THAT DESIGN
 Shop 8 & 9 H20 Broadwater
 52 Marine Parade, Southport QLD 4215
 T (07) 5591 7458
 E info@iwantthatdesign.com.au
 www.iwantthatdesign.com.au
 ABN: 8913512475 CRSA: 1381286

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Please Read Carefully
 This plan certified correct is the one referred to in the contract & specifications and I understand change hereafter may not be possible. These plans supercede all other previous plans or sketches.
 Owner / s Date.....
 Owner / s Date.....

Builder:

DAVID REID HOMES
 STANDARD

Client:
 Sch 2 s2(a)(ii)
Block 2 Section 35 Elliott Street Campbell ACT 2612

Title:
Shadow Diagrams
 Design Name:
Custom

| Area Calculations (m ²) | Issue/Rev | Plot Date | Description | |
|-------------------------------------|-----------|-------------------|---|-----------|
| Lower Living | CA | 01/02/2017 | Concept Drawings | PK |
| Upper Living | CB | 20/02/2017 | Amendments as requested | PK |
| Granny Flat | CC | 28/02/2017 | Amendments as requested | LR |
| Garage | CC | 28/02/2017 | Amendments as requested | LR |
| Alfresco | CD | 02/03/2017 | Building envelopes added, window change | LR |
| Porch 2 | PA | 29/03/2017 | Preliminary Drawings | LR |
| Porch 1 | PA | 29/03/2017 | Preliminary Drawings | LR |
| Total | A | 04/05/2017 | Working Drawings | LR |

| | | |
|-------------|---------------|------------|
| Drawing No: | Scale | 1:300 @ A3 |
| 23 of 25 | Designed By | DRH |
| | Drawn By | PK |
| | Checked By | CY |
| Job No: | 5911SM | |

To be completed by the appointed Building Certifier and submitted to the Construction Occupations Registrar within 7 days of issue

Lease/Site Details

| | | | | | | | |
|---------|----------------------|----------------|----------------------|--------|----------------------|----------|----------------------|
| Block | <input type="text"/> | Section | <input type="text"/> | Suburb | <input type="text"/> | Division | <input type="text"/> |
| Unit No | <input type="text"/> | Street Address | <input type="text"/> | | | | |

Building Approval Application and Site Work Details

This notice is issued in relation to the site work shown in the plans submitted as part of the application for a building approval dated made by the following applicants:

Sch 2 s2(a)(ii)

on: date

This notice applies to all site work in that application for which there is there is no—

- (a) exemption assessment D notice stating that the site work is exempt development issued for the work not more than 3 months before the day the application was made;
- (b) exemption declaration under the *Planning and Development Regulation 2008*, schedule 1, section 1.100A (1) (b) or section 1.100AB (1) (b) made by the planning and land authority; or
- (c) current development approval issued in relation to the site work.

NOTE: Site work is development that is—

- (a) building work; and
- (b) work other than building work that—
 - (i) physically affects the place (the building site) where the building work is being carried out; and
 - (ii) if not carried out at the building site, is carried out near, and connected with, the building site.

Examples: putting up temporary fencing, installing measures for erosion control, building a house, damaging or removing a significant tree, laying paving for driveways and parking areas, installing landscaping, site clearing and excavation, erecting site signage, erecting a pergola

Building Certifier Details *Please Print*

| | | | |
|----------------|----------------------|----------------|------------------------|
| Surname | <input type="text"/> | First Name | <input type="text"/> |
| Company Name | <input type="text"/> | | |
| Licence Number | <input type="text"/> | Contact Number | Sch 2 s2(a)(ii) |
| Postal Address | <input type="text"/> | | |
| Suburb | <input type="text"/> | State | <input type="text"/> |
| | | Postcode | <input type="text"/> |

**BUILDING APPROVAL COMPLETENESS CHECKLIST
RESIDENTIAL BCA CLASS 1 and 10**

Block: 2

Section: 35

Suburb: CAMPBELL

Unit No:

Project Number: B20171643

Building Certifier: CAPITAL CERTIFIERS

Customer Services Officer Name:

Date of completeness check: 11/05/2017

Part 1 Administrative Check

| Requirements | Pass | Fail | N/A | Comments |
|--|--|--------------------------|-------------------------------------|--|
| * Has the Building Approval been submitted within 7 days from the date of approval? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| * Have all relevant plans been stamped and dated by the building certifier? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Does the date stamp on the plans match the approval date on eDevelopment? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| * Building approval stamp and application form text legible? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| * If the Building Approval has a Development Approval is the Development Approval still valid? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| * Have all lessee's signed the relevant forms? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| * Are all relevant documents uploaded & named correctly? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Has an insurance certificate been provided if the cost of building work exceeds \$12,000? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Have statements of compliance from each relevant utility been provided where relevant? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> GAS <input type="checkbox"/> WATER <input type="checkbox"/> ELECTRICITY |
| If the BA is for existing work, has the invoice been amended to include the relevant existing work fee? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| If BCN has been issued, is the licensee authorised to undertake the work as described? ie: Swimming Pool or Demolition endorsement on licence. | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Has the lessee's email address been provided? If yes, please email BA notice to lessee. | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Requirements for DA Exempt Works | Pass | Fail | N/A | Comments |
| Have forms 7A and 7B been provided for building or alterations or full or part demolition of a single dwelling? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| If there is no exemption D notice or exemption declaration has a site work notice been provided? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| COMPLETENESS CHECK FAILURE – from 1/9/13 * - Failure incurs a fee. – See page 15 of fees & charges | COMPLETENESS CHECK FAILURE NOTICE SENT: Click here to enter a date. COMPLETENESS CHECK FAILURE FEES PAID: Click here to enter a date. | | | |

Part 2 Completeness Check Failure Reasons

After completing parts 1 & 3 of this checklist list the failure reasons below. For example: Failed to supply Elevation Plan or Incorrect lessee details and on resubmission select whether it has been supplied or not.

| | | | | |
|--|------------|--|------------|------------|
| | Select One | | Select One | Select One |
| | Select One | | Select One | Select One |

Checklist review date 08/09/2016

**BUILDING APPROVAL COMPLETENESS CHECKLIST
RESIDENTIAL BCA CLASS 1 and 10**

| Part 3 Documentation Check | | | | |
|--|--|-------------------------------------|--------------------------|-------------------------------------|
| Document | Document Name | Pass | Fail | N/A |
| Form – Minimum Documentation Requirements for Building Approval Lodgment Checklist | Details – Minimum Documents Checklist | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Asbestos Removal Control Plan | Asbestos Removal Control Plan | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Development Approval (including amendments) | Approved Plans – Development Approval | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Site Plan | Approved Plans – Site | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Floor Plan | Approved Plans – Floor | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Elevation Plan | Approved Plans – Elevation | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Section Details – Wall, Floor Ceiling & Roof | Approved Plans – Sections Wall Approved Plans – Sections Floor Approved Plans – Sections Ceiling Approved Plans – Sections Roof | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Demolition Plan | Approved Plans – Demolition | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Swimming Pools and Spas Details (including fencing/barriers) | Details – Pools Spas | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Energy Efficiency Details | Details – Energy Efficiency | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

| Creating Building Files | |
|--|--------------------------|
| Only complete this section if for a new block where a building file does not exist. Select Y (yes) or N (no) below. | |
| Is this a new residence on a new block? | <input type="checkbox"/> |
| Has a new building approval been created in Objective and I Drive? | <input type="checkbox"/> |

| Part 4 Audit Team Checklist | | | | |
|--|---|--------------------------|--------------------------|--------------------------|
| Document | Document Name | Pass | Fail | N/A |
| Footings and Concrete Slab Details | Details – Footings Concrete Slab | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Retaining Wall Details | Details – Retaining Walls | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Masonry Construction Details | Details – Masonry Construction | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Framing (including trusses) and Construction Details | Details – Framing | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Roof Cladding Details | Details – Roof Cladding | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Exterior Cladding & Material Details | Details – Exterior Cladding & Materials | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Wet area details | Details – Wet Area | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Windows and Glazing Details | Details – Windows Glazing | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Estimate of the Cost of the Building Work | Details – Cost of Building Work | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Alternative Solutions | Details – Alternative Solutions | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

**BUILDING APPROVAL COMPLETENESS CHECKLIST
RESIDENTIAL BCA CLASS 1 and 10**



Building Act 2004, S151

Appointment of a Certifier and Application for Building Approval

Project ID: B20171643

This form is to be completed by the Owner/s of the land to which the building work relates

PART A - PROJECT DETAILS

| Unit | Block | Section | District (Suburb) | Division | Jurisdiction |
|------|-------|---------|-------------------|----------|------------------------------|
| | 2 | 35 | CANBERRA CENTRAL | CAMPBELL | Australian Capital Territory |

PART B - OWNER DETAILS

| Name | Address | Email Address |
|-----------------|-----------------|-----------------------------|
| Sch 2 s2(a)(ii) | Sch 2 s2(a)(ii) | dryan@davidreidhomes.com.au |

PART C - APPOINTMENT OF CERTIFIER

As required under the Building ACT 2004 I/we hereby advise that I/we the owner/s have appointed the person whose details appear below as the certifier in relation to the building works described in this form

| Full Name | Address | License Number | Expiry Date |
|----------------------------|---|----------------|-------------|
| CAPITAL CERTIFIERS PTY LTD | 14/9 BEACONSFIELD STREET FYSHWICK ACT 2609 | 2012818 | 16/09/2017 |

PART D - APPLICATION FOR BUILDING APPROVAL

I/we the owners of the abovementioned property hereby apply to the certifier named above to issue a building approval under Section 26 of the Building Act 2004 for the building works detailed in the following table

| Class of Occupancy | Nature of Work | Project Item Description | Other Description | Type Of Construction | Storeys | Area (m2) | Cost of Works (\$) |
|--------------------|----------------|---------------------------|-------------------|----------------------|---------|-----------|--------------------|
| 1a | New Standard | DA EXEMPT-RESIDENCE | New Residence | NA | 2 | 396.14 | Sch 2 s2(a)(ii) |
| 10a | New | DA EXEMPT-GARAGE | Garage | NA | 1 | 45.58 | Sch 2 s2(a)(ii) |
| 10a | Other | DA EXEMPT-SEE DESCRIPTION | Alfresco Porch | NA | 1 | 29.37 | Sch 2 s2(a)(ii) |

I/we have provided the certifier with the information and documentation required to issue a building approval as specified in the Building (General) Regulation 2008.

PART E - AUTHORITY TO ACCESS BUILDING FILE

I/we hereby authorise the certifier to access the building file held by Access Canberra for the property which is the subject of this application for the purposes of obtaining information relevant to the issuing of a building approval and associated processes.

PART F - OWNER/S SIGNATURE/S

| Name | Signature | Date |
|------------|-----------|------|
| Joseph Lee | | |

APPLICATION FOR BUILDING APPROVAL REQUIREMENTS

Building (General) Regulations 2008

Where relevant the following information **MUST** be included in either the application or the plans accompanying the application for building approval:

General Requirements

- Estimated Cost of Works -as per Building (General) (Cost of Building Work) Determination 2011
- if the proposed building work to be carried out at or near a street or place that is open to or used by the public the application must contain details of the precautions proposed to be taken to protect the safety of people using the street or place while the building work is carried out
- the area of the parcel of land to which this application relates
- the class of the building according to the intended use of the building as proposed to be erected or altered;
- if applicable what fire-resisting construction type (under the building code) the building as proposed to be erected or altered will be.

Note: Fire-resisting construction type may not be applicable if an alternative solution under the building code is used.

- for an application relating to the erection of a class 1 building the site classification of the parcel of land
- for an application relating to the alteration of a class 1 building if the alteration will increase the building load carried by foundation material beyond the building load carried by the foundation before the alteration.

- the site classification of the parcel of land

- for an application relating to the alteration of a building the class and type of fire-resisting construction of the existing building classified under the building code and the materials used in the existing building

Note Fire-resisting construction type may not be applicable if an alternative solution under the building code is used.

- the number of storeys of the building as proposed to be erected or altered;
- the number of new dwellings (if any) created by the proposed building work;
- the floor area of the proposed building or proposed new part of the building;
- the materials to be used in the frame, floor, walls and roof of the proposed building or proposed new part of the building
- if a performance requirement of the building code is to be complied with by use of an alternative solution under the code -

(i) the performance requirement; and

(ii) the alternative solution; and

(iii) each assessment method used to show that the alternative solution complies with the performance requirement;

- if the building code does not state a standard of work in relation to any part of the proposed building work and it is intended to carry out that part of the proposed building work in accordance with a standard of work stated in another document -

(i) the nature of the proposed building work; and

(ii) the title of the document; and

(iii) each assessment method used to show that the proposed building work complies with the standard of work stated in the document.

Removal or demolition of building/s

- Details of the methods to be used in carrying out the proposed building work, including a work plan stated or set out in AS 2601 (Demolition of structures), as in force from time to time;
- the number of dwellings (if any) to be demolished.

Asbestos

- The application must include a description of the method proposed to be used to remove the bonded asbestos sheeting from the building.

- the application must include the following information:

(i) the method proposed to be used to remove the asbestos;

(ii) the approximate amount and kind of asbestos to be removed;

(iii) the equipment proposed to be used to remove the asbestos, including any personal protective equipment;

(iv) details of a program, prepared in accordance with the asbestos removal code, for monitoring airborne asbestos to be followed during the removal.

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.



Building Act 2004, S151
Building Approval

Project ID: B20171643

PART A - PROJECT DETAILS

| Unit | Block | Section | Division (Suburb) | District | Jurisdiction |
|------|-------|---------|-------------------|------------------|------------------------------|
| | 2 | 35 | CAMPBELL | CANBERRA CENTRAL | Australian Capital Territory |

PART B - WORKS REQUIRING BUILDING APPROVAL

Item of building work to which this Building Approval relates:

| Class of Occupancy | Nature of Work | Project Item Description | Other Description | Type Of Construction | Storeys | Area (m2) | Cost of Works (\$) |
|--------------------|----------------|---------------------------|-------------------|----------------------|---------|-----------|--------------------|
| 1a | New Standard | DA EXEMPT-RESIDENCE | New Residence | NA | 2 | 396.14 | Sch 2 s2(a)(ii) |
| 10a | New | DA EXEMPT-GARAGE | Garage | NA | 1 | 45.58 | Sch 2 s2(a)(ii) |
| 10a | Other | DA EXEMPT-SEE DESCRIPTION | Alfresco Porch | NA | 1 | 29.37 | Sch 2 s2(a)(ii) |

The following work is exempt from development approval:

- Single residential and extensions in existing areas
- Garages, sheds, and gazebos

PART C - CERTIFIERS DECLARATION

I declare that in issuing this building approval under section 28 of the Building Act 2004:

- I am satisfied on reasonable grounds that the plans meet each applicable approval requirement under section 29 and is not prevented from being issued under section 30 or section 30A
- I have supplied all documents as required under 3.3 Building Act 2004
- I have prepared a notice (building approval certificate) certifying what approval requirements apply to the application and why the building approval is not prevented from being issued; and
- I have given the building approval certificate to the applicant.

In performing services as a certifier in relation to the work detailed in this application I am not in breach of my entitlement to act as a certifier in accordance with the Building Act 2004.

| Full Name | Address | License Number | Expiry Date |
|----------------------------|---|----------------|-------------|
| CAPITAL CERTIFIERS PTY LTD | 14/9 BEACONSFIELD STREET FYSHWICK ACT 2609 | 2012818 | 16/09/2017 |

Date Issued : 5/05/2017

NOTES

Utilities

This application must also be accompanied by a Statement of Compliance from each relevant utility provider (for water, sewerage, electricity and stormwater) which confirms that the location and nature of earthworks, utility connections, proposed buildings, pavements and landscape features comply with utility standards, access provisions and asset clearance zones.

Note 1: If there is no stormwater easement or Territory owned stormwater pipes located within the property boundary, a "Statement of Compliance" for stormwater from TAMS (Asset Acceptance) is not required to be obtained.

Note 2: Where there is conflict between planning and utility requirements, the utility requirements take precedence over other codified or merit provisions.

Utilities – Demolition Only

This application must be accompanied by a Statement of Endorsement for utilities (including water, sewerage, electricity and stormwater) stating that:

- all network infrastructure on or immediately adjacent to the site has been identified on the plan
- all potentially hazardous substances and conditions (associated with or resulting from the demolition process) that may constitute a risk to utility services have been identified
- all required network disconnections have been identified and the disconnection works comply with utility requirements
- all works associated with the demolition comply with and are in accordance with utility asset access and protection requirements

Note: The documentation provided to the utility provider for endorsement must be consistent with the documentation that forms part of a development approval or the documentation verified as exempt from requiring development approval by a licensed certifier.

Asbestos Advice

If documents accompanying building approval do not include an asbestos assessment report as per the Building Act 2004, the building approval must have an Asbestos Advice attached as per the Act

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.
