



ACT
Government

Chief Minister, Treasury and
Economic Development

Freedom of Information Publication Coversheet

The following information is provided pursuant to section 28 of the *Freedom of Information Act 2016*.

FOI Reference: CMTEDDFOI 2018-0361

Information to be published	Status
1. Access application	Published
2. Decision notice	Published
3. Documents and schedule	Published
4. Additional information identified	No
5. Fees	Waived
6. Processing time (in working days)	13
7. Decision made by Ombudsman	N/A
8. Additional information identified by Ombudsman	N/A
9. Decision made by ACAT	N/A
10. Additional information identified by ACAT	N/A

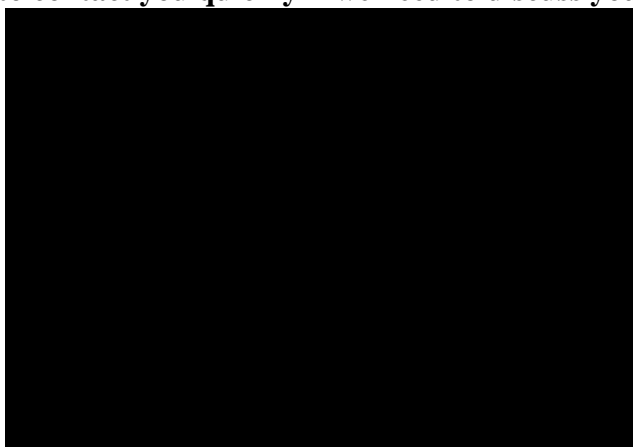
From: [REDACTED]
To: [CMTEDD.FOI](#)
Subject: Freedom of Information request
Date: Tuesday, 18 December 2018 11:47:19 AM

Please find online enquiry details below. Please ensure this enquiry is responded to within fourteen working days.

Your details

All fields are optional, however an email address OR full postal address must be provided for us to process your request. An email address and telephone contact number will assist us to contact you quickly if we need to discuss your request.

Title:
First Name:
Last Name:
Business/Organisation:
Address:
Suburb:
Postcode:
State/Territory:
Phone/mobile:
Email address:



Request for information

(Please provide as much detail as possible, for example subject matter and relevant dates, and also provide details of documents that you are not interested in.)

Under the Freedom of Information Act 2016 I want to access the following document/s (*required field):

All Building Applications, Development Applications, Surveys, Plans, Approved Plans, Drainage plans and Certificates of Occupancy or Use and any other documents in relation to a property at [REDACTED] Hawker. We are particularly interested in any documents relevant to the siting of the tennis court and associated retaining walls which were constructed on the land in or about 1994/1995 and whether the tennis court has been lawfully constructed immediately adjacent to the side boundary, with a zero setback.

I do not want to access the following documents in relation to my request::

Thank you.
Freedom of Information Coordinator




ACT
Government

Chief Minister, Treasury and
Economic Development

Our ref: CMTEDDFOI2018-0361



via email: 

Dear 

FREEDOM OF INFORMATION REQUEST

I refer to your application under section 30 of the *Freedom of Information Act 2016* (the Act), received by the Chief Minister, Treasury and Economic Development Directorate (CMTEDD) on 18 December 2018, in which you sought access to all Building Applications, Development Applications, Surveys, Plans, Approved Plans, Drainage plans and Certificates of Occupancy or Use and any other documents in relation to a property at Block 5 Section 12 Hawker (49 Woolner Circuit) Hawker.

Specifically, you are seeking: *“documents relevant to the siting of the tennis court and associated retaining walls which were constructed on the land in or about 1994/1995 and whether the tennis court has been lawfully constructed immediately adjacent to the side boundary, with a zero setback.”*

On 20 December 2018, the scope of the request was refined to *all Building Applications, Development Applications, Surveys, Plans, Approved Plans, Drainage plans and Certificates of Occupancy or Use and any other documents in relation to a property at Block 5 Section 12 Hawker (49 Woolner Circuit) Hawker from 1990 onwards.*

Authority

I am an Information Officer appointed by the Director-General under section 18 of the Act to deal with access applications made under Part 5 of the Act.

Timeframes

In accordance of section 40 of the Act, CMTEDD is required to provide a decision on your access application by 18 January 2019.

Decision on access

Searches in both CMTEDD, and the Economic Planning and Sustainable Development Directorate (EPSD), were completed for relevant documents and 64 documents were identified that fall within the scope of your request.

I have included as **Attachment A** to this decision the schedule of relevant documents. This provides a description of each document that falls within the scope of your request and the access decision for each of those documents.

I have decided to grant full access to all relevant documents. The documents released to you are provided as **Attachment B** to this letter.

Release of documents under *Territory Records Act 2002*

All documents identified as within scope are over 20 years old and are subject to access provisions under section 26 of the *Territory Records Act 2002*. Section 26 states that:

- (1) *A record of an agency is open to public access under this Act on the next Canberra Day after the end of 20 years after the record, or the original of which it is a copy, came into existence.*
- (2) *A person is entitled to access under this Act to a record of an agency that is open to public access.*

I have considered the documents in folios 1 to 64 and have decided that these records are able to be released to you in full.

Charges

Pursuant to *Freedom of Information (Fees) Determination 2017 (No 2)* processing charges are applicable for this request because the total number of pages to be released to you exceeds the charging threshold of 50 pages. However, the charges have been waived in accordance with section 107(2)(b) of the Act.

Online publishing – Disclosure Log

Under section 28 of the Act, CMTEDD maintains an online record of access applications called a disclosure log. Your original access application, my decision and documents released to you in response to your access application will be published in the CMTEDD disclosure log after 14 January 2019. Your personal contact details will not be published. You may view CMTEDD disclosure log at

<https://www.cmtedd.act.gov.au/functions/foi/disclosure-log>.

Ombudsman Review

My decision on your access request is a reviewable decision as identified in Schedule 3 of the Act. You have the right to seek Ombudsman review of this outcome under section 73 of the Act within 20 working days from the day that my decision is published in CMTEDD disclosure log, or a longer period allowed by the Ombudsman.

If you wish to request a review of my decision you may write to the Ombudsman at:

The ACT Ombudsman

GPO Box 442

CANBERRA ACT 2601

Via email: actfoi@ombudsman.gov.au

ACT Civil and Administrative Tribunal (ACAT) Review

Under section 84 of the Act, if a decision is made under section 82(1) on an Ombudsman review, you may apply to the ACAT for review of the Ombudsman decision. Further information may be obtained from the ACAT at:

ACT Civil and Administrative Tribunal
Level 4, 1 Moore St
GPO Box 370
Canberra City ACT 2601
Telephone: (02) 6207 1740
<http://www.acat.act.gov.au/>

Should you have any queries in relation to your request please contact me by telephone on 6207 7754 or email CMTEDDFOI@act.gov.au.

Yours sincerely,



Sarah McBurney
Information Officer
Information Access
Chief Minister, Treasury and Economic Development Directorate
9 January 2019



ACT
Government

Chief Minister, Treasury and
Economic Development

FREEDOM OF INFORMATION REQUEST SCHEDULE

NAME	WHAT ARE THE PARAMETERS OF THE REQUEST	Reference NO.
	All Building Applications, Development Applications, Surveys, Plans, Approved Plans, Drainage plans and Certificates of Occupancy or Use and any other documents in relation to a property at Block 5 Section 12 Hawker (49 Woolner Circuit) Hawker from 1990 onwards.	CMTEDDFOI2018-0361

Ref No	Page number	Description	Date	Status	Reason for Exemption	Online Release Status
1	1	Letter to Department of Urban Services	17/09/92	Full	N/A	Yes
2	2-7	Various Architectural Drawings	18/09/92	Full	N/A	Yes
3	8	Residential Plan Approval	18/09/92	Full	N/A	Yes
4	9	Certificate of Structural Sufficiency	18/09/92	Full	N/A	Yes
5	10	Plan Acknowledgement	18/09/92	Full	N/A	Yes
6	11	Record of Conversation	02/11/92	Full	N/A	Yes
7	12-13	Application for Approval of Plans	09/08/93	Full	N/A	Yes
8	14	Building Approval	09/08/93	Full	N/A	Yes
9	15	Application for Search and/or copies of Plans/Documents	15/04/93	Full	N/A	Yes
10	16	Application for Search and/or copies of Plans/Documents	17/06/94	Full	N/A	Yes
11	17-18	Application for Approval of Plans	26/07/94	Full	N/A	Yes
12	19	Certificate of Site Classification	26/07/94	Full	N/A	Yes

13	20-21	Approved Architectural Drawing	03/09/94	Full	N/A	Yes
14	22	Building Control Plan Lodgement Sheet	06/09/94	Full	N/A	Yes
15	23	Plan Acknowledgement	06/09/94	Full	N/A	Yes
16	24	Certificate of Structural Sufficiency	26/09/94	Full	N/A	Yes
17	25	Building Approval	12/09/94	Full	N/A	Yes
18	26	Application for a Building Permit	20/11/94	Full	N/A	Yes
19	27	Certificate for Insurance	21/11/94	Full	N/A	Yes
20	28	Permit to Carry out Building Work	23/11/94	Full	N/A	Yes
21	29	Notification and Compliance Statement	07/12/94	Full	N/A	Yes
22	30-31	Inspection Report	07/12/94	Full	N/A	Yes
23	32	Notification and Compliance Statement	10/02/95	Full	N/A	Yes
24	33-34	Inspection Report	10/02/95	Full	N/A	Yes
25	35-36	Notification and Compliance Statement	17/03/95	Full	N/A	Yes
26	37-38	Inspection Report	17/03/95	Full	N/A	Yes
27	39	Notification and Compliance Statement	29/03/95	Full	N/A	Yes
28	40-41	Certification of Electrical Work	09/05/95	Full	N/A	Yes
29	42-43	Application for Certificate of Occupancy and Use	13/11/95	Full	N/A	Yes
30	44	Notification and Compliance Statement	20/11/95	Full	N/A	Yes
31	45-46	Notification and Compliance Statement	20/11/95	Full	N/A	Yes

32	47-53	Building Plans	02/03/96	Full	N/A	Yes
33	54-55	Building Application	02/4/96	Full	N/A	Yes
34	56	Building Control Plan Lodgement Sheet	02/04/96	Full	N/A	Yes
35	57	Certificate of Structural Sufficiency	02/04/96	Full	N/A	Yes
36	58	Plan Acknowledgement	16/04/96	Full	N/A	Yes
37	59	Building Approval	29/04/96	Full	N/A	Yes
38	60-63	Building Application	01/05/96	Full	N/A	Yes
39	64	Certificate of Site Classification	02/05/96	Full	N/A	Yes
40	65	Inspection Certificate of Structural Sufficiency	03/05/96	Full	N/A	Yes
41	66	Permit to Carry out Building Work	08/05/96	Full	N/A	Yes
42	67	Inspection Certificate of Structural Sufficiency	13/05/96	Full	N/A	Yes
43	68-69	Notification And Compliance Statement	14/05/96	Full	N/A	Yes
44	70-71	Building Application	05/06/96	Full	N/A	Yes
45	72	Building Control Plan Lodgement Sheet	05/06/96	Full	N/A	Yes
46	73-74	Building Plans	05/06/96	Full	N/A	Yes
47	75	Application for Owner Builder Permit	06/06/96	Full	N/A	Yes
48	76	Plan of Stormwater and Sanitary Drainage	21/06/96	Full	N/A	Yes
49	77	Application Acknowledgement	03/07/96	Full	N/A	Yes
50	78	Building Permit	03/07/96	Full	N/A	Yes

51	79-80	Application for Certificate of Occupancy and Use	30/07/96	Full	N/A	Yes
52	81-82	Notification and Compliance Statement	30/07/96	Full	N/A	Yes
53	83-84	Final Inspection Report	06/08/96	Full	N/A	Yes
54	85-86	Application for Certificate of Occupancy and Use	08/11/96	Full	N/A	Yes
55	87-88	Notification and Compliance Statement	11/11/96	Full	N/A	Yes
56	89	Certificate of Occupancy or Use	14/11/96	Full	N/A	Yes
57	90	Final Inspection Report	14/11/96	Full	N/A	Yes
58	91	Certificate of Occupancy or Use	30/12/96	Full	N/A	Yes
59	92	Building Control Plan Lodgement Sheet	21/02/97	Full	N/A	Yes
60	93-94	Application for Certificate of Occupancy and Use	11/03/97	Full	N/A	Yes
61	95-100	Building Application	11/03/97	Full	N/A	Yes
62	101	Application Acknowledgment	14/03/97	Full	N/A	Yes
63	102	Certificate of Occupancy or Use	14/03/97	Full	N/A	Yes
64	103-104	Final Inspection Report	14/03/97	Full	N/A	Yes
Total No of Docs						
64						

JOHN ARMES AND ASSOCIATES

Postal address:
'TRAPALANDA'
ARMSTRONG STREET
MURRUMBATEMAN NSW 2582
After hours 06 227 5720

ARCHITECTS
ACN 003 358 978

Office:
3-76 EMU BANK
BELCONNEN ACT 2617
Phone 06 253 1044
Facsimile 06 251 1308

17.9.92

Department of Urban Services
ACT Building Control
South Building
London Circuit
Civic 2601

Dear Sir

Design and Siting, and Building Approval for Proposed Works at 5/12 Hawker

With regard to the above project, please find enclosed;

- 5 sets of drawings, including engineering documentation
- Completed Application for Approval of Plans form
- Design and siting application form.
- Letter from lessee of adjacent property.

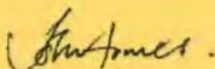
We have previously discussed this proposal with your officials, and note that the application is for approval for the project to be carried out in two stages;

- Stage 1 - the demolition of a retaining wall, and removal of fill material so that the natural grade can be revealed for site classification. Your approval to issue an owner-builder's permit for this stage is sought.
- Stage 2 - the building works shown on the drawings. This will be carried out by a licensed contractor, who will take out the permit for this stage. The project will be supervised by the architect and structural engineer.

Application fees will be paid by the lessee, Mr W Cape, when the application is lodged.

If you have any queries in these matters, please contact this office.

Yours faithfully



John Armes
cc Mr W Cape

S1/2

18 SEP 1992
Resolves ACT Building Control
Act 1988

BEFORE THE ACT BUILDING CONTROL
OFFICE IS RECEIVED FOR THE
WORKS TO BE CARRIED OUT IN
ACCORDANCE WITH THE
PLANS AND SPECIFICATIONS
HEREIN THE FOLLOWING
CONSENTS TO THE
ISSUING OF A BUILDING
CONTROL ORDER FOR THE
WORKS TO BE CARRIED OUT
IN ACCORDANCE WITH THE
PLANS AND SPECIFICATIONS
HEREIN.

ACT BUILDING CONTROL
Lodged 18 SEP 1992
Sent 18 SEP 1992
to
 TPA
 Elect
 Struct
 Other
 Gen Works
 Water
 Redevel.
DUE 25 SEP 1992

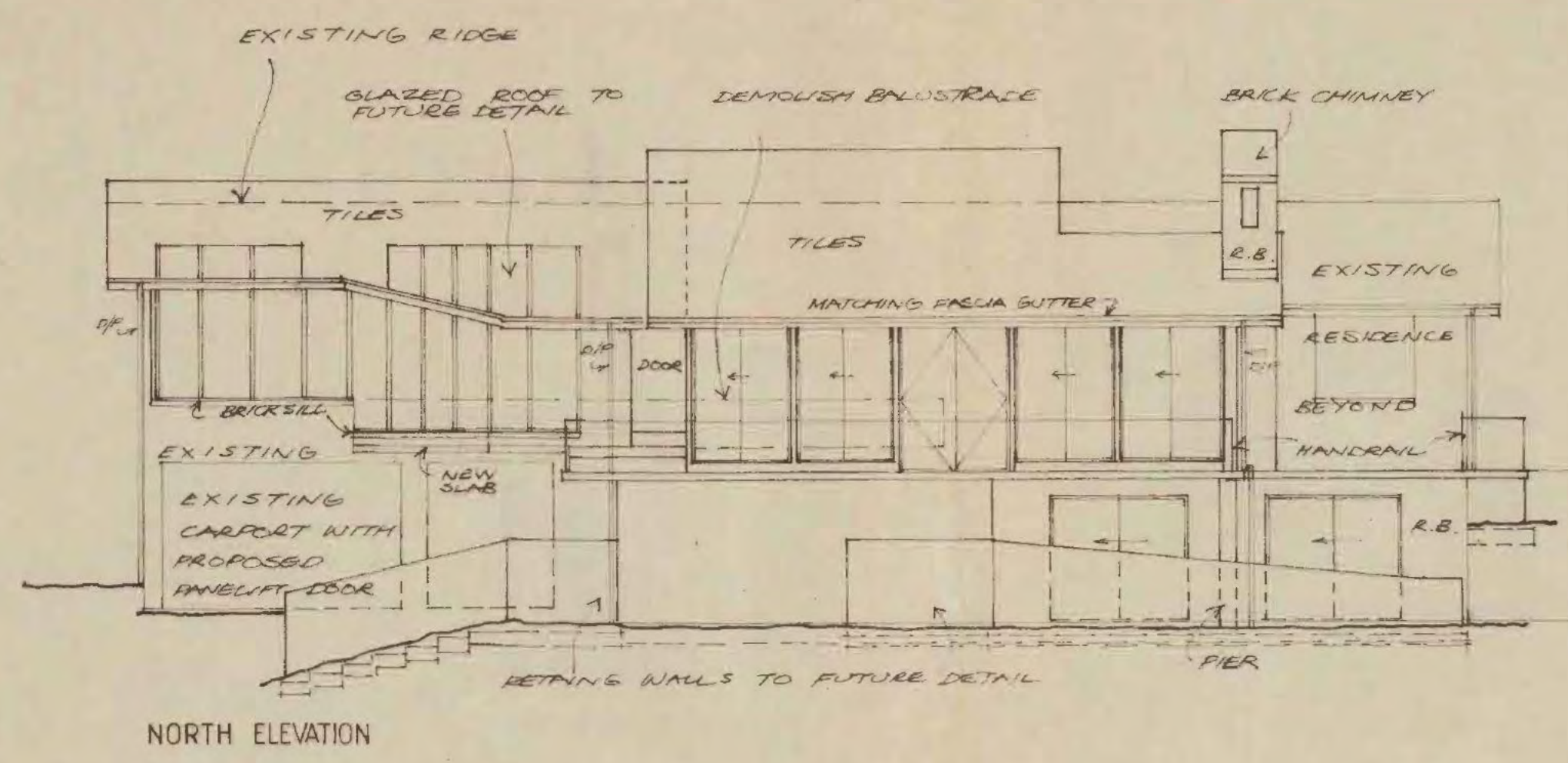
ALTERATIONS AND ADDITIONS

49 WOOLNER CIRCUIT [5-12] HAWKER FOR MR AND MRS W CAPE

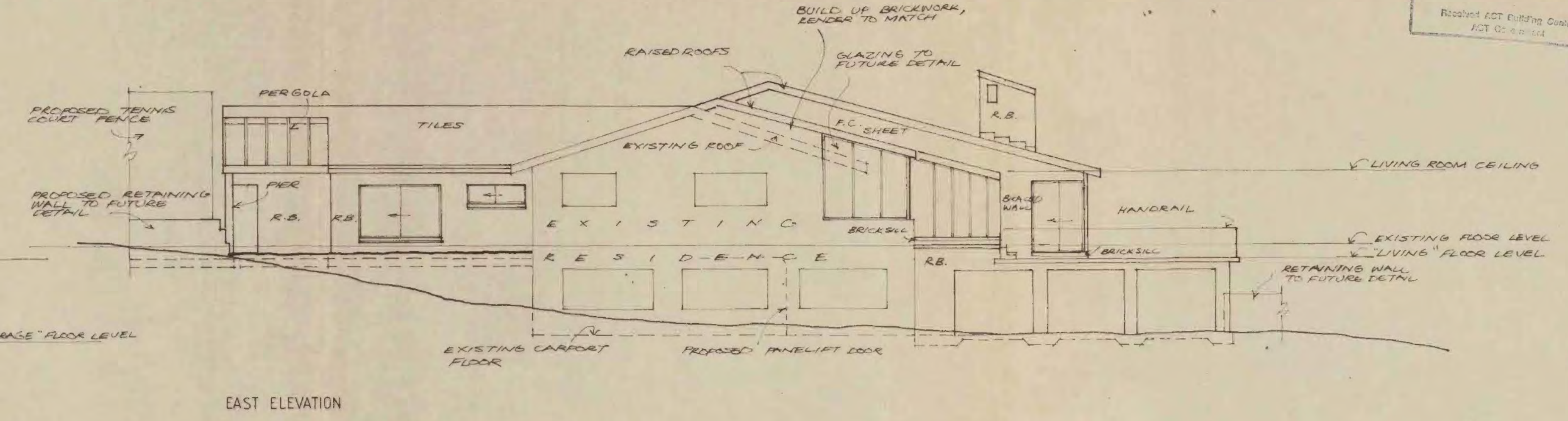
JOHN ARMES AND ASSOCIATES - ARCHITECTS - 3-76 EMU BANK BELCONNEN 2531044

5-12 HAWKER

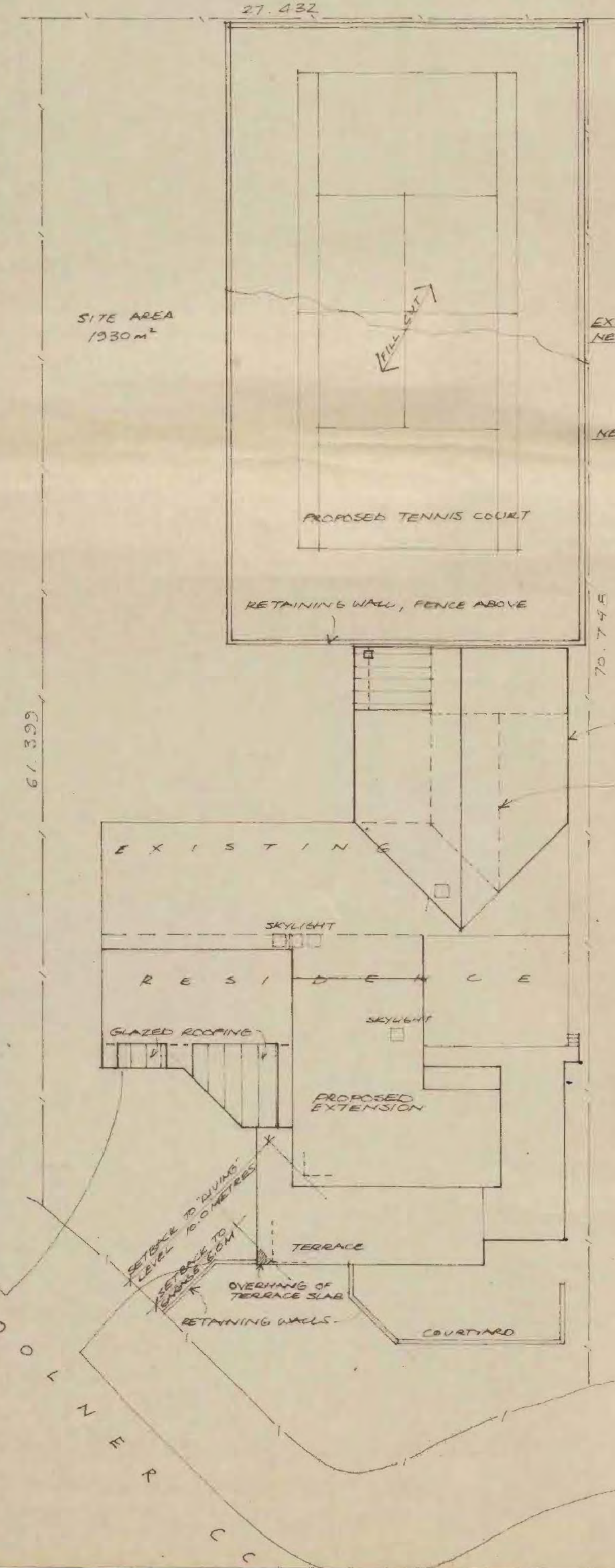
Plans No. 1615
 Plan No. 1615
 Plan No. 1615
 18 SEP 1992
 Received ACT Building Control
 ACT 02 0111



NORTH ELEVATION

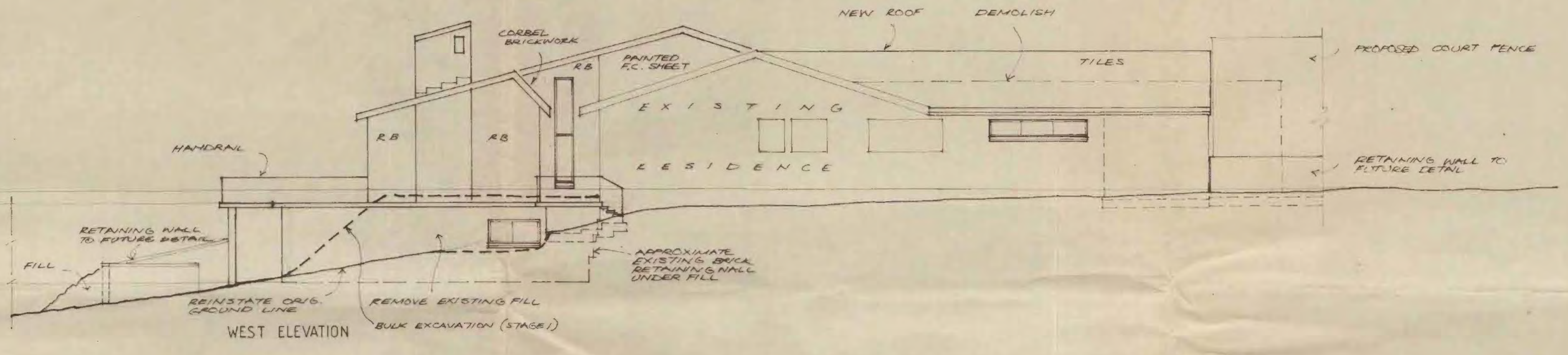


EAST ELEVATION

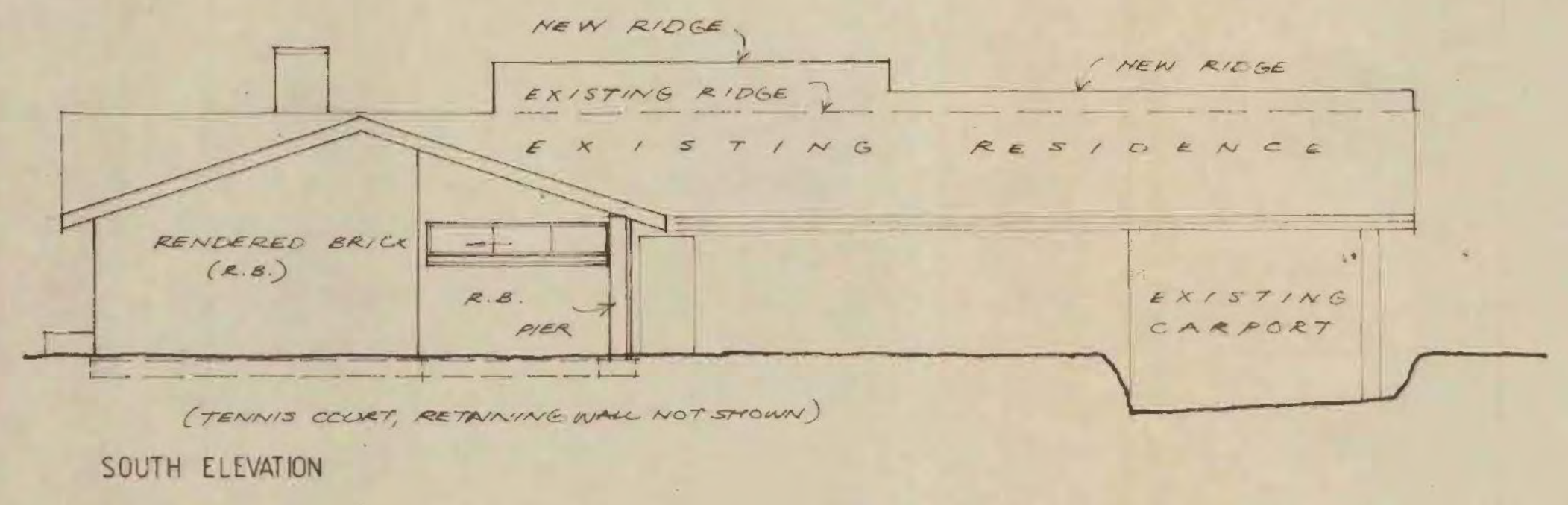


SITE PLAN

PLOT RATIO:	
GROSS FLOOR AREA	675m²
SITE AREA	1930m²
PLOT RATIO	35%

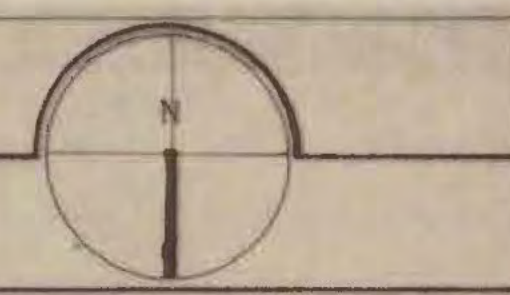


WEST ELEVATION



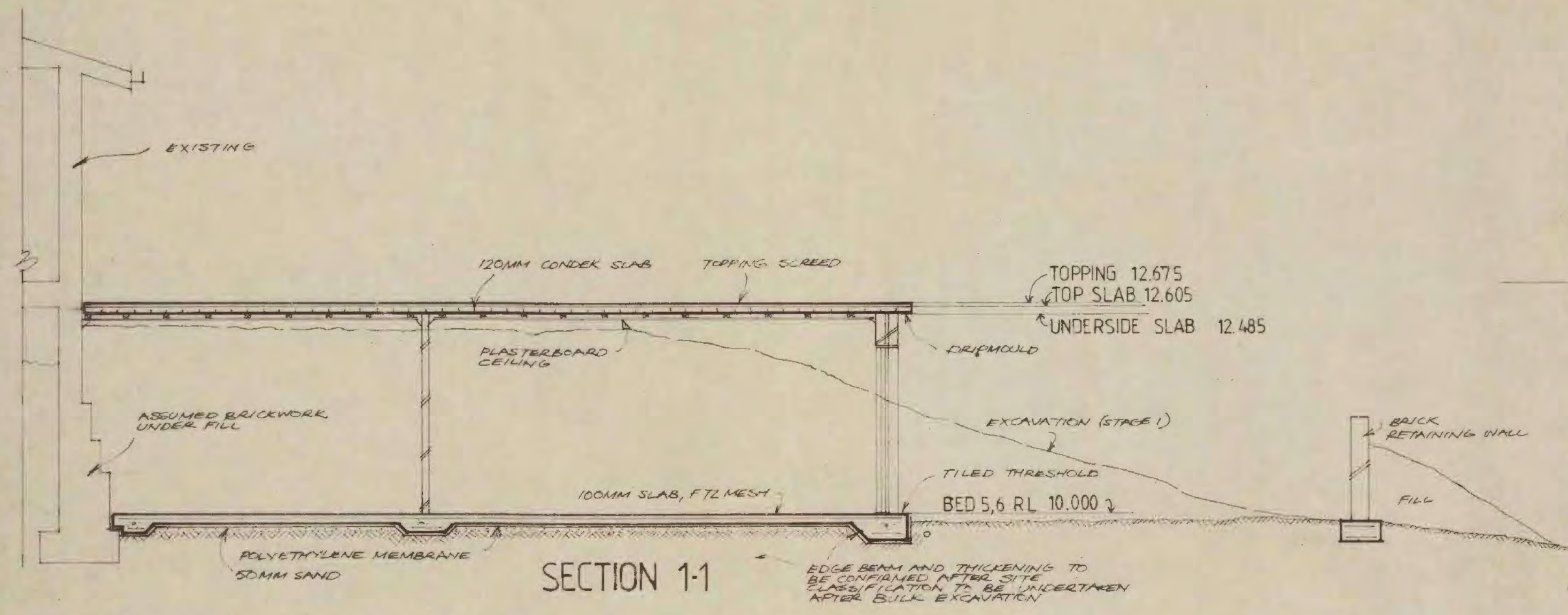
SOUTH ELEVATION

BUILDING CONTROL
 APPROVAL SOUGHT FOR PROJECT TO BE COMPLETED IN 2 STAGES
 STAGE 1 DEMOLITION OF RETAINING WALL AND BULK EXCAVATION AT FRONT OF HOUSE. THIS WILL ALLOW ACCESS FOR SITE CLASSIFICATION
 STAGE 2 BUILDING WORKS ON DRAWINGS

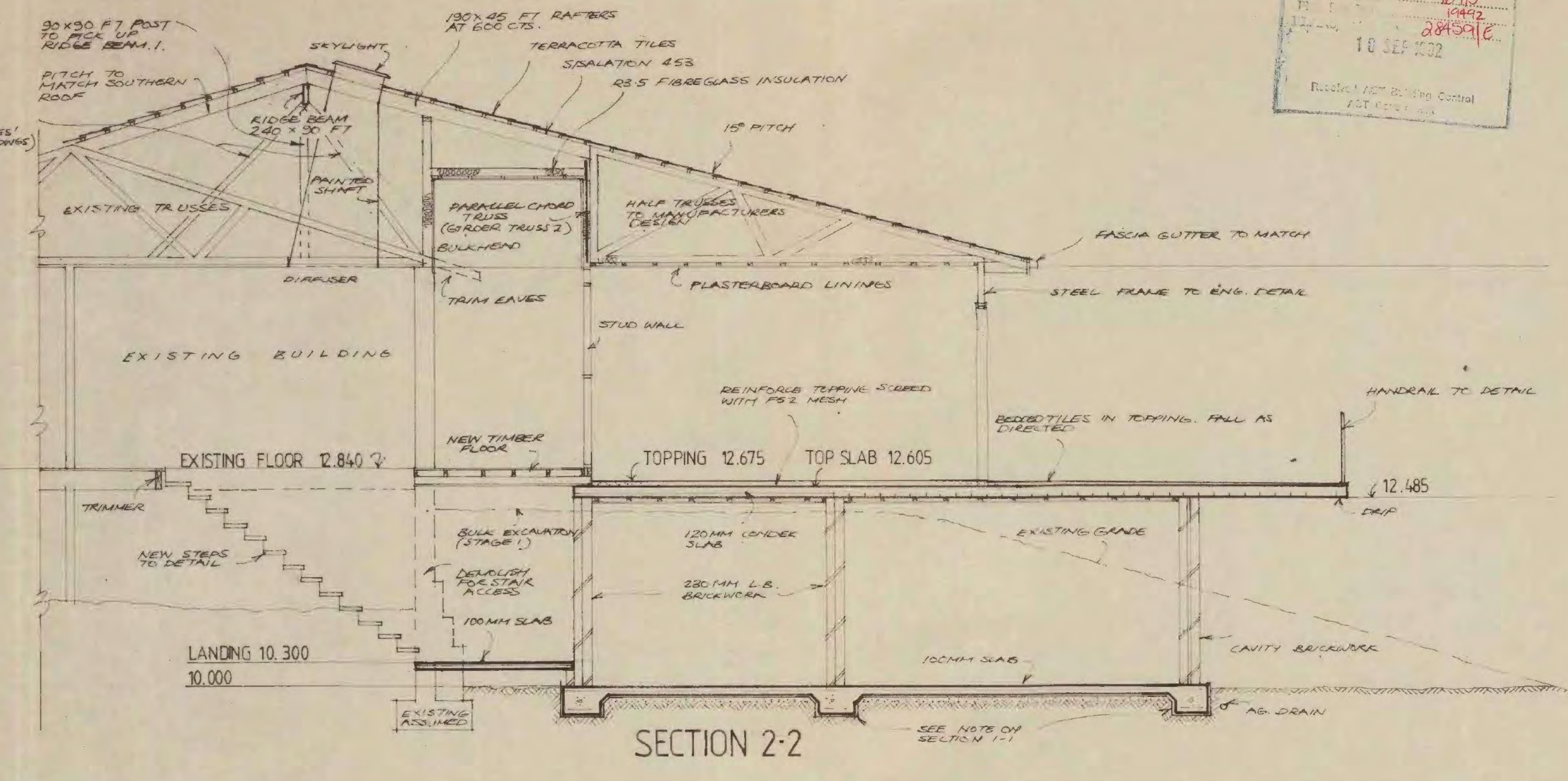


project
 ALTERATIONS AND ADDITIONS
 TO 49 WOOLNER CIRCUIT
 BL 5 / SEC. 12 HAWKER
 FOR MR AND MRS W. CAPE
 drawing title
 SITE PLAN, ELEVATIONS
 project number 9110
JOHN ARMES AND ASSOCIATES
 ARCHITECTS
 3-76 EMU BANK BELCONNEN ACT 2617
 phone 062 521044 Facsimile 062 511308
 drawing number ND 1 date August '92
 scales 1:200 & 1:100 size A1 draw #
 revisions

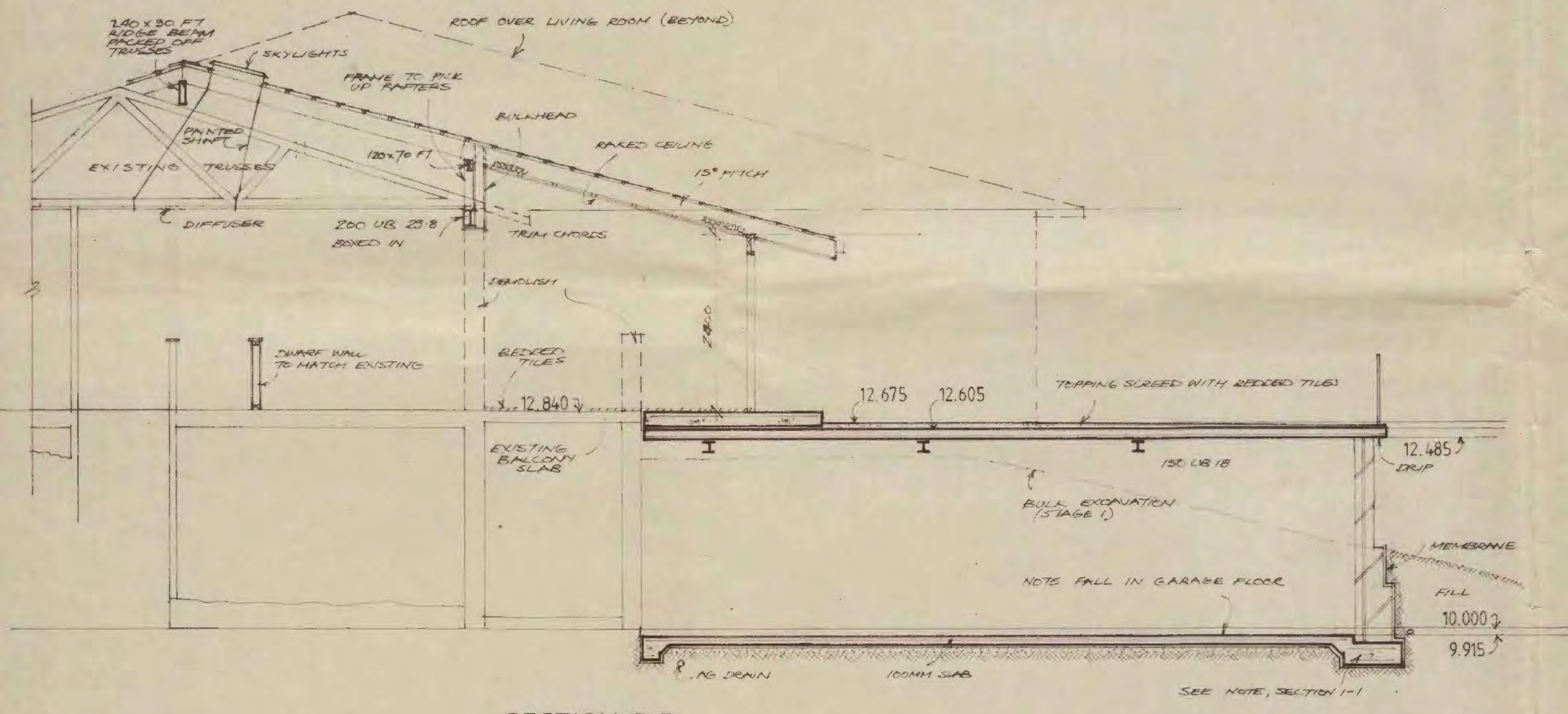
18 SEP 1932
 Received from Building Control
 18 SEP 1932



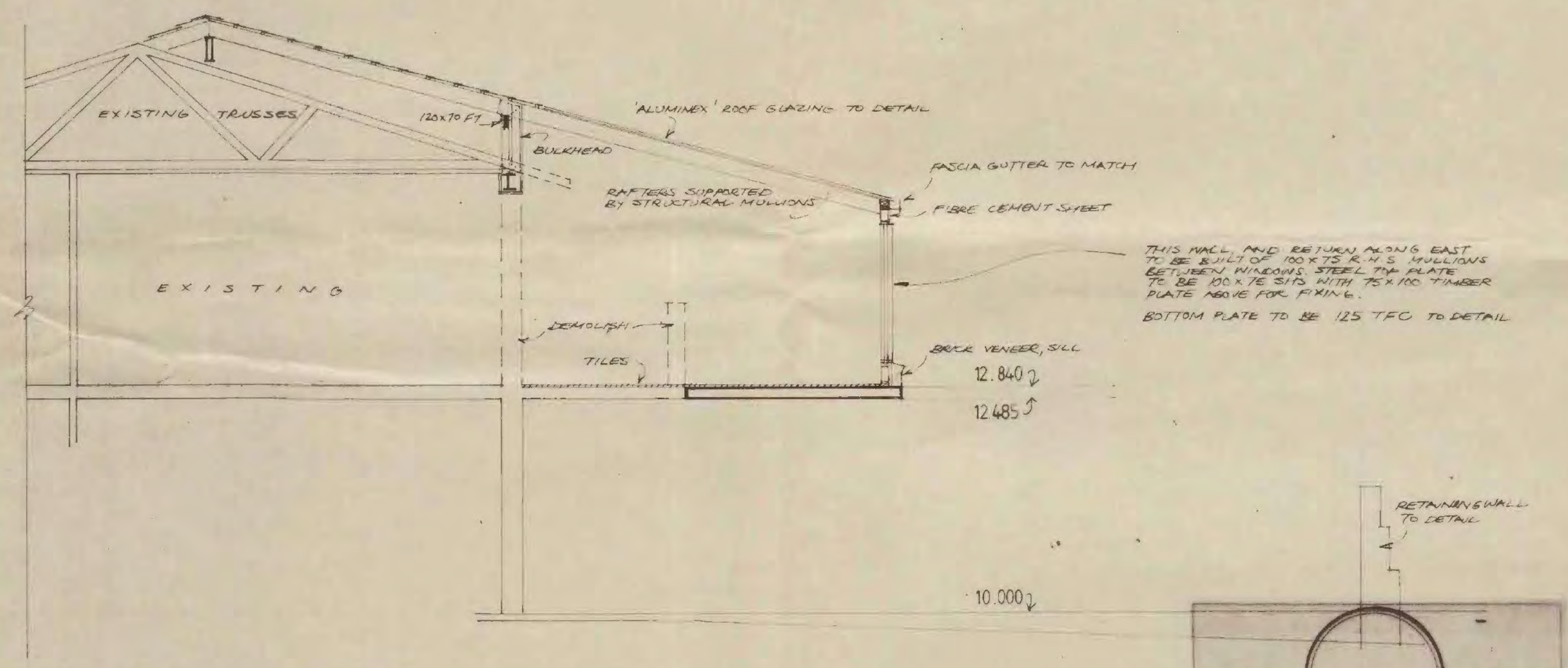
SECTION 1-1



SECTION 2-2

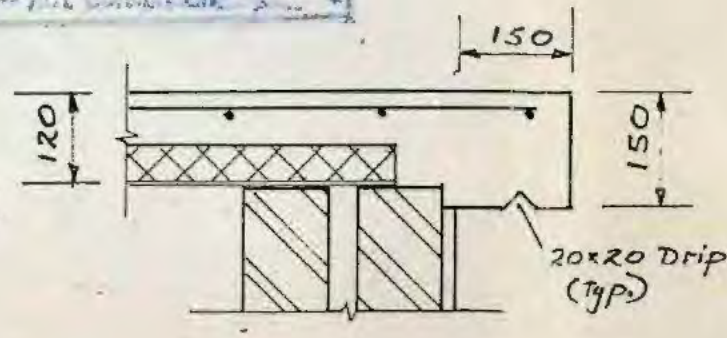
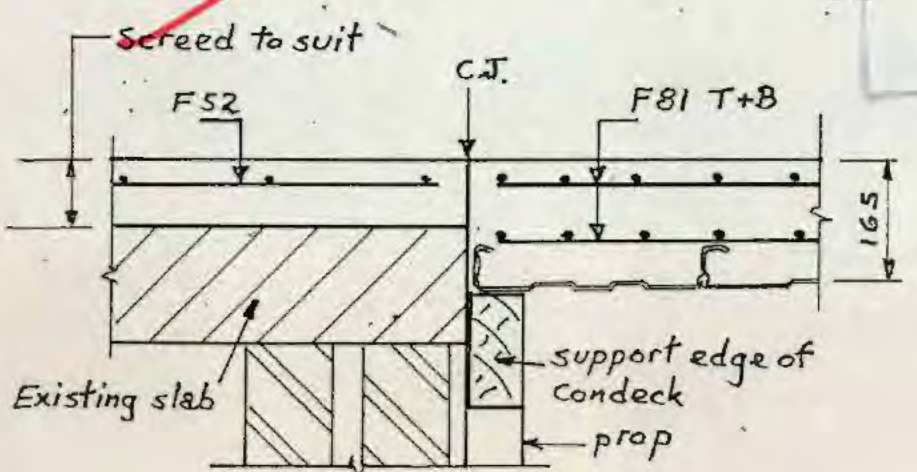
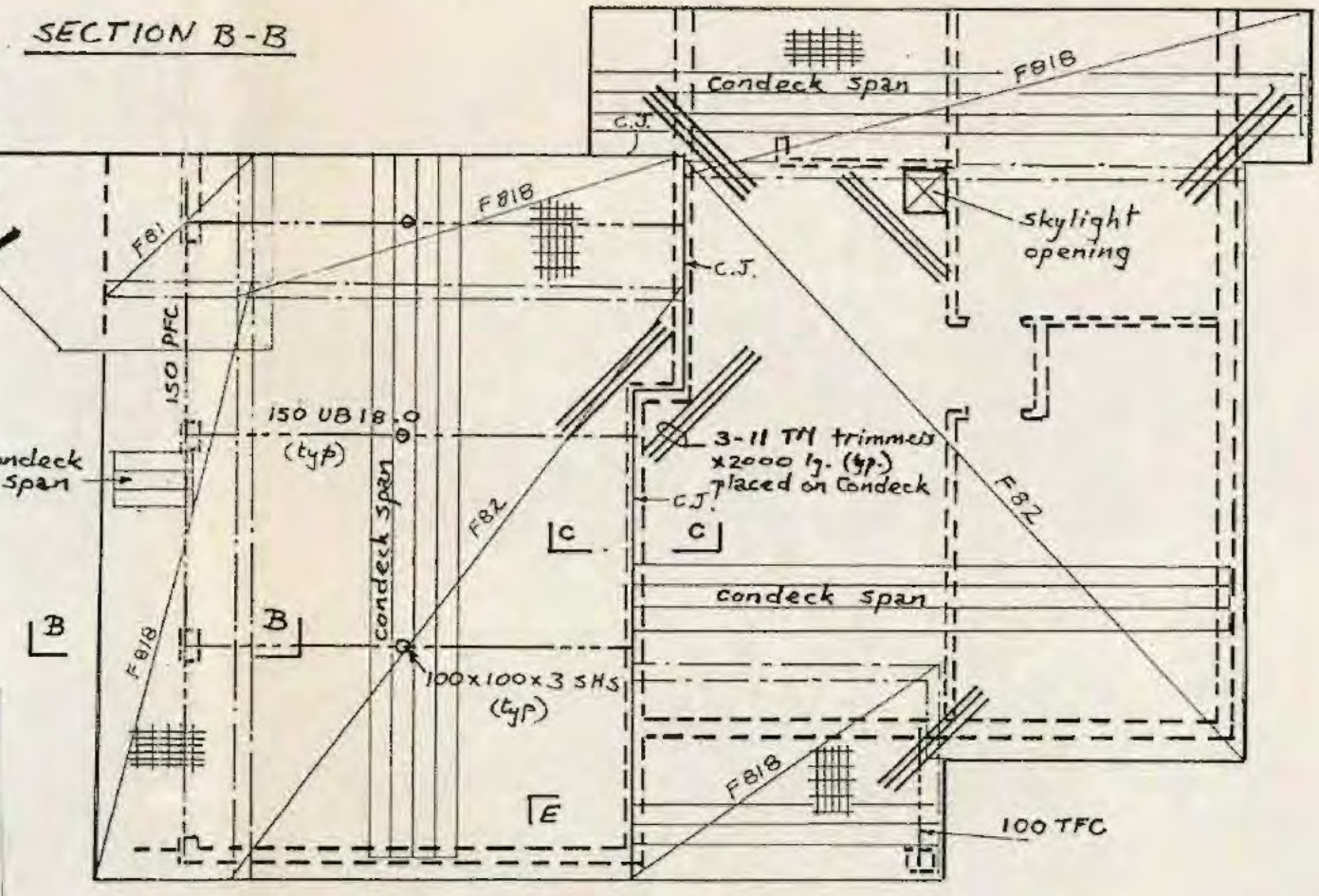
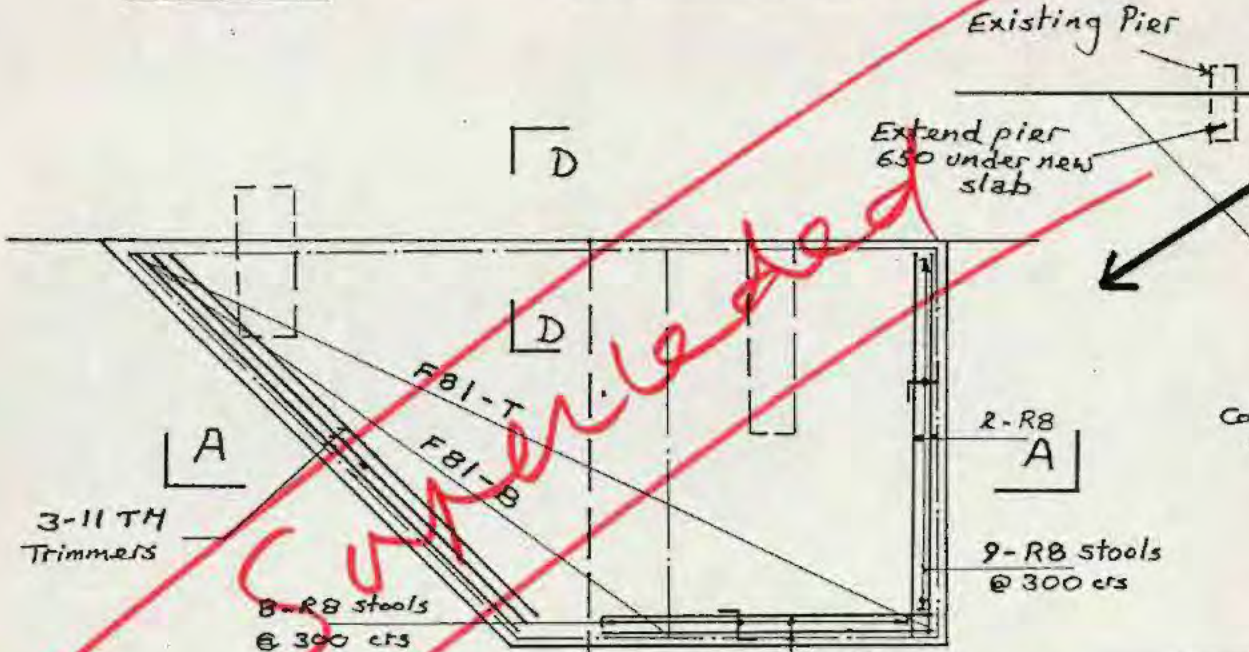
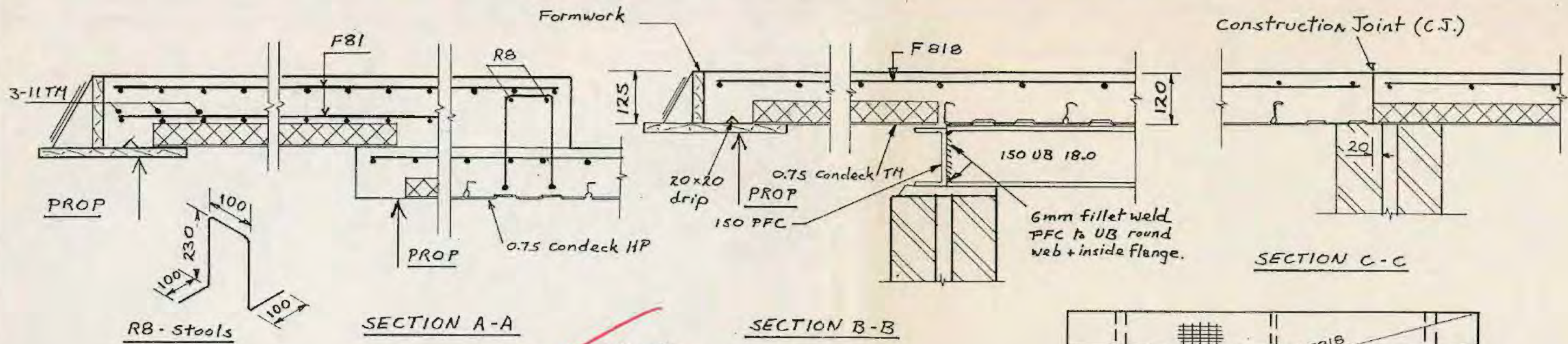


SECTION 3-3



SECTION 4-4

project ALTERATIONS AND ADDITIONS TO 49 WOOLNER CIRCUIT BL. 5 / SEC 12. HAWKER	
FOR MR AND MRS W CAPE	
drawing title SECTIONS	
project number 9110	
JOHN ARMES AND ASSOCIATES ARCHITECTS 3-76 EMU BANK BELCONNEN ACT 2611 phone 062 531044 facsimile 062 511308	
drawing number WD 3	date September '32
scales 1:50	size A1 drawn J
revisions	

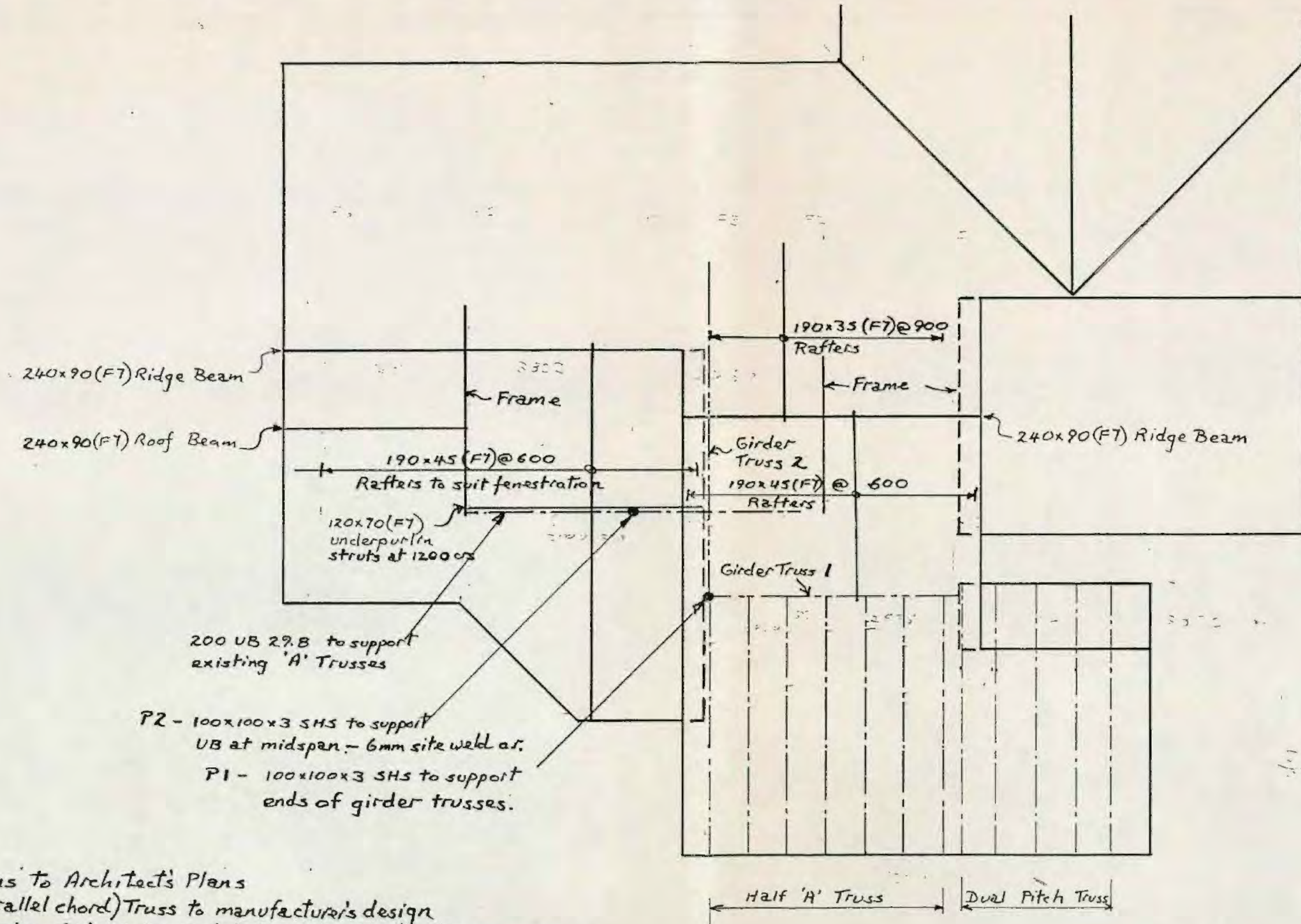


- Notes**
1. concrete to be $F_c = 32 \text{ MPa}$ to AS 3600.
 2. Fabric to AS 1304 (450 MPa).
 3. cover to reinforcement 20mm internal surface, 30mm terrace surface.
 4. Props remain until concrete has design strength.
 5. All dimensions to Architect's Plans.

16715
 19492
 284571E
 10 SEP 1992

Michael J M Bevan
 18/9/92

MICHAEL J.M. BEVAN
 (ENGINEERING CONSULTANCY)
 20 MURRANT ST HAWKER ACT 2614
 BLOCK 5: SECTION 12: HAWKER
 SUSPENDED SLAB DETAILS
 DRG N° JAWC/02



Notes:

1. Dimensions to Architect's Plans
2. Girder (parallel chord) Truss to manufacturer's design
3. Provide 'cyclone ties' at top and bottom chord connection of half 'A' truss to Girder Truss 1. (Min. 30x8mm G.I. strap)
4. Provide 'cyclone tie' or 2 N° framing anchors at all beam, purlin and rafter support points.
5. Provide 250x250x10mm base plate to SHS - 4 N° 10φ grouted anchors - HILTI HAS M10x130 or approved equivalent.
6. Provide pillar P1 with cleats to support Girder Trusses
7. Pillar P2 site welded to 200 UB - 6mm fillet weld all round

Michael J M Bevan
18/9/92

MICHAEL JM BEVAN (ENGINEERING CONSULTANCY) 20 MURRANZI ST HAWKER ACT
BLOCKS: SECTION 12: HAWKER ROOF - MARKING PLAN
DRG N° JAWC/03

Office of City Management
 7. Building Control
Residential Plan Approval

Block 5	Section 12	Suburb HAWKER	Lodgement Date 18/9/92	File No. 284591/E
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Type of Building Work
ADD'S & ALT'S

Application Form - Completed Correctly <input type="checkbox"/> Relevant Floor Plans <input type="checkbox"/> Relevant Elevations <input type="checkbox"/> Section Through Structure <input type="checkbox"/> Total Floor Area and Cost <input type="checkbox"/> Storm Water Layout <input type="checkbox"/> Engineering <input type="checkbox"/> Plans and Details <input type="checkbox"/> or Certification <input type="checkbox"/> Additional Site Plan with Drive Ways and Nature Strip Services <input type="checkbox"/> Correct number of sets required <input type="checkbox"/> Plans correctly collated and stapled <input type="checkbox"/>	Dual Occupancy Approved by ACTPA <input type="checkbox"/> Approved by Redevelopment Section <input type="checkbox"/> <hr/> Town Houses Landscaping <input type="checkbox"/> Approved by ACTPA <input type="checkbox"/> Approved by Redevelopment Section <input type="checkbox"/> Hydraulic Plans <input type="checkbox"/> Road Works <input type="checkbox"/>
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Plan Distribution

	Date Sent	Date Returned
ACTPA <input checked="" type="checkbox"/>	18 SEP 1992	/ /
Heritage <input type="checkbox"/>	/ /	/ /
Storm Water Supply <input checked="" type="checkbox"/>	18/SEP/1992	22/9/92
Electricity Authority <input checked="" type="checkbox"/>	18/SEP/1992	/ /
Structural Engineer <input type="checkbox"/>	/ /	/ /
Development Section <input checked="" type="checkbox"/>	/ /	/ /
Land Services <input type="checkbox"/>	/ /	/ /
Waste Management <input type="checkbox"/>	23 SEP 1992	/ /
Road Maintenance <input type="checkbox"/>	/ /	/ /
DELP - Health <input checked="" type="checkbox"/>	18 SEP 1992	/ /
S/W Other <input checked="" type="checkbox"/>	18/SEP/1992	/ /
Senior Technical Officer <input type="checkbox"/>		Technical Officer <input type="checkbox"/>



A.C.T. Building Control - Design Check Certificate of Structural Sufficiency

Block 5	Section 12	Suburb HAWKER
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Lessee's or Permit holder's name
Mr & Mrs W Cape

Description of Building Work:
(Please tick appropriate box)

New Work Additions/Alterations Alterations Others

I certify that:

1. I have checked the structural design computations for the the building named above and/or the following components and of their supporting elements of the building named above.

Suspended concrete slab to garage and flat roof. Alteration to House Roof on north face

2. In checking the structural design, I have paid attention to the integrity of the building under normal loading conditions relevant for this type of structure. The strength requirements and serviceability requirements of the building and its structural elements comply with the Building Code of Australia and all relevant SAA Codes (including AS 2121 Earthquake Code - Canberra - ZONE 'A')

3. This Certificate applies to the following Drawings (numbers)

JANC/02 and JANC/03

and computations endorsed and signed by me. The documents adequately convey the structural design intentions for the construction of this structure.

Declaration

4. I am practising structural engineer as defined in the ACT Building Act [Section 53(1) states: Practising Structural Engineer' means an engineer with qualifications in structural engineering which are acceptable to the Institution of Engineers, Australia, for the Grade of Corporate Member and who is actively engaged in structural design and supervision of building construction].

Signature **Michael J M Bevan** 18 / 9 / 92

Qualifications: M.I.E. Aust. or eligible for this grade (please indicate) **MICE MIEAust CPENG**

Name of Engineer **MICHAEL J M BEVAN**
(please print)

Address **20 MURRANZI ST HAWKER ACT 2614**

Telephone **255 1520**

Note: All documents covered by this Certificate should be endorsed and signed by the Engineer. (Original signature in ink - no photocopies or facsimiles accepted)

Plan Acknowledgement

Date Lodged: 18SEP92

Division: Section: Block:
Hawker 12 5

Unit: Other Unit:

PLAN SEQUENCE NUMBER: 19492
PROJECT NUMBER: 16715

Trims Number: 28459 Plan Id: E

Description of Work

ALTERATIONS AND ADDITIONS

This is an acknowledgement for : A New Plan

Approval Due Date : 02OCT92 Residential Plan

Client Details : Name Number : 10250
JOHN ARMES AND ASSOCIATES
3176 EMU BANK
BELCONNEN ACT 2617

ACT Building Control

Civic Office
South Building, London Crt
GPO Box 158, Canberra, 2601
Telephone: 2076262
Facsimile: 2076258

Tuggeranong Office
Cnr. Scolley & Oakden Streets
Greenway, PO Box 1158
Tuggeranong, 2901
Telephone: 2075969
Facsimile: 2075955

Licensing Office
South Building, London Crt
GPO Box 158, Canberra, 2601
Telephone: 2076291
Facsimile: 2076289

Record of Conversation / Minute

File No.

BF-28459

To *File note*

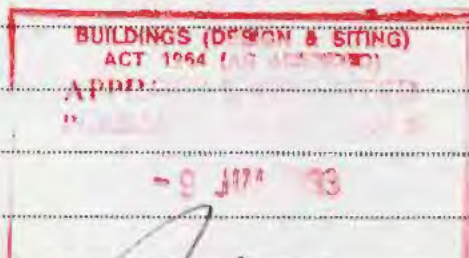
Date *2/11/92*

Personal Interview <input checked="" type="checkbox"/> Telephone Conversation <input type="checkbox"/> Internal Minute <input type="checkbox"/>	Subject <i>c/y wall details</i>	Time <i>2.00</i> am/pm
Conversation with Mr <i>JOHN ARMES</i> Mrs Miss Ms	Department, Firm, Private Address	Telephone No.
(if applicable) Inquiry re:	Block <i>5</i> Section <i>12</i> Suburb <i>HAWKER</i>	

Details
Applicant- submitted c/y wall details. wall along driveway > 1.8m in height (2.6m) & encroaches front setback. He was advised that he may have to amend it to 1.8m.

plans amended - 17/11/92 - complies amended.

Action taken (if applicable)



Signature <i>Meenakshi R</i>	Officer's Name <i>MEENAKSHI R</i>	Designation <i>POI</i>
---------------------------------	--------------------------------------	---------------------------



Application for Approval of Plans

Name of Applicant (please print clearly) <i>JOHN ARMES + ASSOCIATES</i>		Address <i>3/76 EMU BANK BELCONNEN</i>	
Contact name <i>JOHN ARMES</i>		Phone: Wk <i>2531044</i> Hm <i>2511308</i>	Postcode <i>2617</i>
Name of lessee / owner of parcel of land <i>MR. W. CAPE</i>		Address (show PO Box No. if any) <i>49 WOOLNER CCT. HAWKER</i>	
		Phone: Wk <i>2545200</i> Hm	Postcode
Description of the building work involved in this application <i>Alterations and Additions to House</i>		Tenancy fitouts: include details of Tenancy No., Shop No., Floor level	
Division (Suburb) District <i>HAWKER</i>	Section <i>12</i>	Block <i>5</i>	Unit <i>-</i>
To be specified in accordance with the appropriate classification in the Building Code of Australia.	Type of Construction (N/A for Class 1 or 10 Buildings)	Class of Building <i>1</i>	Total Floor Area <i>688</i> m ²
Cost of Building Work Fixed by Contract			Cost \$
Estimated Value (to be completed only where not fixed by contract) (refer Building Cost Guide "BN25" for building types and current rates to calculate costs)	Building Work (BN25)	Rate/ m ² (BN25)	Area
	\$	m ²
	\$	m ²
	\$	m ²
Total Estimated Value of Building Work			\$ <i>300,000</i>

This application is for:

New Work Existing Building Work Amendment to Details for Approved Plan No.

I hereby request that approved plans be posted to the applicant's address held at the counter for collection

Design information required under Section 32 of the Building Act to be provided by designer

Classification of foundation material - AS 2870.1

Certificate of Site Classification should be attached with this application unless engineering option (Item 6) is selected below.

I or the permit holder will be submitting certification from a practising structural engineer for:

- Certification of foundation material on the "Certificate of Site Classification" standard form,
- Certification of the footing and/or slab preparation.

As a result I wish to apply for:

- Plans of the building work to be approved subject to the above.
- A discount of permit fees that are payable.

Declaration

I declare that the particulars on this application for approval of plans are true and correct in every detail and that I am the person indicated by a tick in the relevant box below.

1. I am the / a person to whom the lease for the land is registered at the Land Titles Office, or

2. I am a director / secretary of the company to which the lease for the land is registered at the Land Titles Office, or

3. I am a person authorised to act on behalf of the person / company in 1 or 2 above. (Give original written evidence of authority from the person / company), or

4. I am an architect engaged by and acting on behalf of the person / company in 1 or 2 above, or

5. I am a solicitor engaged by and acting on behalf of the person / company in 1 or 2 above.

6. I also select Site Classification - Engineering option

John Armes *1619192*
Declaration / Signature

Important: Section 59A of the ACT Building Act 1972 provides for severe penalties for false or misleading statements.

For Office Use Only	New Work <input checked="" type="checkbox"/>	Approved Plan No.	Licence Required	Type of Construction
	Amendment to approved plans <input type="checkbox"/>	<i>28,459/E</i>	<i>B</i>	<i>6000 5600-40</i>
	Details <input type="checkbox"/>	Class of Building	Area	Valuation
	Existing building work <input type="checkbox"/>	<i>1810</i>		<i>81620</i>
Plan endorsed	Plans		Total Fees payable	
new permit required <input checked="" type="checkbox"/>	Approved <input checked="" type="checkbox"/>		<i>81620</i>	
endorse existing permit <input type="checkbox"/>	Not approved <input type="checkbox"/>		<i>28 AUG 1993</i>	
	<i>[Signature]</i> Deputy Building Controller			

PA

Classification of Buildings

Section 32 of the Building Act requires the application for approval of plans to specify the class of building according to the use to which the building is intended to be used when erected or altered. The classification of buildings is summarised as follows. For full details refer to Part A3 of the Building Code of Australia.

Residential Buildings

Class 1: a residence which may comprise one or more buildings including any habitable outbuildings which in association constitute -

- (a) a single dwelling-house, terrace house, townhouse, row house, villa house, or the like, which may be detached or separated by a common wall;
- (b) a dwelling-house used as a boarding-house, hostel, group house, dual occupancy house, or the like, in which not more than 12 persons would ordinarily be resident; or
- (c) a residential building that does not exceed a rise of 3 storeys and contains only 2 sole-occupancy units located one above the other and each unit has direct egress to a road or open space.

Class 2: a building containing 2 or more sole-occupancy units each being a separate dwelling, other than a building of Class 1.

Class 3: a residential building, other than a building of Class 1 or 2, which is common place of living for a number of unrelated persons, including -

- (a) a boarding-house, guest house, hostel, or lodging-house;
- (b) a residential part of an hotel or motel;
- (c) a residential part of a school;
- (d) accommodation for the aged, disabled or children; and
- (e) a residential part of a health-care building which accommodates members of staff.

Class 4: a dwelling in a building that is Class 5, 6, 7, 8 or 9 if it is the only dwelling in the building.

Commercial Buildings

Class 5: an office building used for professional or commercial purposes, excluding buildings of Class 6, 7 or 8.

Class 6: a shop or other building for the sale of goods by retail or the supply of services direct to the public, including -

- (a) an eating room, cafe, restaurant, milk or soft-drink bar;
- (b) a dining room, bar shop or kiosk portion of an hotel or motel;
- (c) a hairdresser's or barber's shop, public laundry, or undertaker's establishment;
- (d) market or sale room show room, or service station.

Class 7: a building which is -

- (a) a public carpark; or
- (b) for storage, or display of goods or produce for sale by wholesale.

Class 8: a laboratory, or a building in which a handicraft or process for the production, assembling, altering, repairing, packing, finishing, or cleaning of goods or produce is carried on for trade, sale, or gain.

Class 9: a building of a public nature -

- (a) **Class 9a** - a health-care building;
- (b) **Class 9b** - an assembly building, and

Class 9a includes a pathology laboratory in a health-care building and Class 9b includes a trade workshop in a primary or secondary school, but excludes any other part of these buildings that are of another Class.

Other Structures

Class 10: a non-habitable outbuilding or structure -

- (a) **Class 10a** - a carport, private garage, shed, or the like;
- (b) **Class 10b** - a fence, mast, antenna, retaining or free-standing wall, swimming pool, or the like.

ACT Building Control North Office

corner Lysaght & Hoskins streets
Mitchell ACT 2911
GPO Box 158, Canberra City 2601

Telephone 207 6262 Facsimile 207 6258

Attention Permit holder

The plans have been approved subject to building work being constructed in accordance with the Building Code of Australia and ACT appendix, and any modifications as may have been approved.

Building work shall be constructed in accordance with the approved plans, the notations made on the plans, and any matters specified on the building permit.

The approval of plans or the grant of a building permit does not affect the operation of any other law in the Territory, nor does it authorise the use of land contrary to a provision, covenant or condition of lease.

To assist the building inspector, and others to locate your site it is requested that you display the name of the PERMIT HOLDER and the BUILDERS LICENCE NUMBER at the front of the building site in letters at least 100mm high.

Additions, alterations or demolition work must not be commenced until the presence of asbestos has been checked. Asbestos material should only be removed by a LICENSED ASBESTOS REMOVAL CONTRACTOR. See building notes no. 40 and no. 41, or discuss with the Asbestos Control office on telephone 207 6326.

It is an offence under the ACT Water Pollution Act to discharge water from construction sites other than in an approved way. For advice contact the Pollution Control Authority on telephone 207 2155 (Northside) or 207 2157 (Southside).

All materials and equipment to be confined to the lease area. Applications to use the nature strips or other unleased land to be lodged with ACT Building Control. Forms are available at your nearest ACT Building Control office.

In the past ACT Building Control has experienced difficulty in certain problem areas of building work. For this reason the Permit Holder is to take special care in the following, as may be relevant to this project

- 1 No part of the excavation, structure or its footings is to encroach the site boundary.
- 2 Natural ground levels at site boundaries and easements shall not be altered. Retaining walls may be required, refer to part B. 107 ACT Appendix, of the B.C.A.
- 3 Footings shall be taken down to stable material. Engineers certification may be requested by ACT Building Control.
- 4 The sub base supporting concrete floors is to be compacted. Fill depth is not to exceed 400mm without approval. A compaction certificate may be requested by ACT Building Control.
- 5 Timber frame construction must comply with AS 1684-1992 and relevant supplements.
- 6 Lintel sizes must comply with truss manufactures charts, AS 1684-1992 or as per special approved details where given.
- 7 Some permit holders, when building extensions, forget to maintain cavity construction where new work joins existing. Remember to maintain cavity construction.
- 8 Provide anti ponding boards where the roof pitch makes it necessary.
- 9 Provide through and stepped flashings to all exposed gables and brickwork.
- 10 Chimney tray and parging to be correctly installed to brick fireplaces.

- 11 Light and ventilation must comply with part F4 of the Building Code of Australia.
- 12 Where mechanical ventilation only is provided it must be ducted through to outside air.
- 13 Construction of steps, landings and balustrades must comply with part D2 of the Building Code of Australia.
- 14 Class 1 and 10 construction to comply with specification C1.9 of the Building Code of Australia.
- 15 Where surface water is likely to be a problem, surface drainage is to be provided and connected to the stormwater line via a silt trap.
- 16 Any water supply or sewer drainage plans / details on this set of drawings are not approved under the Canberra Sewerage and Water supply regulations.
- 17 Provide under-ground service conduits as per ACTEW drawing 8912-02. Meter box to have panel of minimum size 575mm x 335 (meter only) or 75mm x 565mm (meter and switchboard)
- 18 Mandatory insulation is required see Building Note 21.
- 19 Mandatory Termite protection is required see Building Note 3.
- 20 The Drive is not approved. Comply with the requirements of AS 2890 and Roads Maintenance Section, phone 207 6597

If any of the following boxes are ticked, the Permit Holder or Lessee is to note the instruction/information in the related paragraph

- No survey certificate is required, the lessee / builder is responsible for correct siting.
- The plans indicate new work, a new building permit is required.
- The plans include work subject to Canberra sewerage and Water supply regulations. The work must be carried out by a licensed plumber / drainer.

Special note to all Permit Holders. It is compulsory for you to correctly complete the notification and compliance statement required for each stage of inspection and to lodge it with ACT Building Control at the correct time. If you fail to complete the statement correctly it may cause delays.

SURBURB.....HAWKER.....

SECTION.....12.....BLOCK.....5.....

APPROVED FOR CONSTRUCTION BY THE
HOLDER OF A CLASS 'B' LICENCE

CLASS OF OCCUPANCY
Residence Class 1 (✓)
Outbuildings Class 10a () or Class 10b (✓)

[Signature] - 8 AUG 1993
DEPUTY BUILDING CONTROLLER

THIS APPROVAL IS VALID FOR 12 MONTHS.

VALUATION \$.....3,000,000.....

THIS SET CONTAINS.....6.....SHEET
NUMBERED..... TO.....



Application for Search and/or copies of Plans/Documents

Name of Applicant

HELEN GOURLAY

Phone Number (Business Hours)

254 5200.

Address

49 WOOLNER CT.

Postal Address

Description of Land

Suburb	Section	Block	Unit
HAWKER.	12	5	

Office Only
File charges

.....
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.....
.....
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.....
.....
.....
.....

Description of service required by you (Please tick requirement)

- Personal search of building file
- Staff-assisted search of the building file
- Standard written search to be posted
- Standard written search to be held at counter
- Results of any asbestos survey of the building (residential only)
- Copy of approved plans
- Copy of certified Certificates of Occupancy and Use
- Copy of uncertified Certificates of Occupancy and Use
- Copy of survey report
- Other (please specify)

Total

File Access Authorisation

Declaration

I declare that the particulars of this application for search and/or copies of plans/documents are true and correct in every detail and I am the person indicated by a tick in the relevant box below.

- I am the lessee/owner
- I am the solicitor acting on behalf of the lessee/owner
- I have authorisation from the lessee/owner, which is attached
- I have authorisation from the solicitor representing the lessee/owner, which is attached
- I have authorisation from the trustee of the deceased estate, which is attached
- I have authorisation for power of attorney for the lessee/owner, which is attached
- I am/act for a mortgagee in possession

Signature

Helen J. Gourlay

Date

15/11/94

Note

- Applicants must comply with one of the above declarations to protect any personal information relating to the lessee/owner of this lease under the provisions of the Privacy Act 1988.
- Section 59A of the ACT Building Act 1972 provides for severe penalties for false or misleading statements.

Office Use Only

Search Officer's Initials

Scott

Date Completed

15/3/94

Receipt Number

84718



Application for Search and/or copies of Plans/Documents

Name of Applicant MR JOHN TAIT CT MR PAUL COSTROWYK <small>THE EXECUTIVE CLIENT THE EXECUTIVE CLIENT</small>	Phone Number (Business Hours) 2885420
--	--

Address
HOPETOWN CCT DEAKIN ACT 2600

Postal Address
PO BOX 396 QUEEN VICTORIA TERRACE PARKES ACT 2601

Description of Land

Suburb HAWKER	Section 12	Block 5	Unit
------------------	---------------	------------	------

Office Only
File charges _____ _____ _____ _____ _____ _____ _____ _____ _____
Total

Description of service required by you (Please tick requirement)

- Personal search of building file
- Staff-assisted search of the building file
- Standard written search to be posted
- Standard written search to be held at counter
- Results of any asbestos survey of the building (residential only)
- Copy of approved plans
- Copy of certified Certificates of Occupancy and Use
- Copy of uncertified Certificates of Occupancy and Use
- Copy of survey report
- Other (please specify)

*5.15
2.00
7.15*

File Access Authorisation

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- I have authorisation from the trustee of the deceased estate, which is attached
- I have authorisation for power of attorney for the lessee/owner, which is attached
- I am/act for a mortgagee in possession

Signature

Date
17 / 6 / 1994

Note

1. Applicants must comply with one of the above declarations to protect any personal information relating to the lessee/owner of this lease under the provisions of the Privacy Act 1988.
2. Section 59A of the ACT Building Act 1972 provides for severe penalties for false or misleading statements.

Office Use Only

Search Officer's Initials	Date Completed / /	Receipt Number
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Application for Approval of Plans

ACT BUILDING CONTROL

Permit Fees

PAID

28459
PA 17/6/94

Name of Applicant (please print clearly) J TAIT THE EXPERT CLIENT STUART MACKENZIE Contact name	Address P.O. BOX 396 RM GUEST VICTORIA TERRACE PARADES, ACT Postcode 2600
Name of lessee / owner of parcel of land H. GOURLAY	Address (show PO Box No. if any) 49 WOOLWATER CIRCUIT HAWKER Postcode 2614
Phone: Wk 2825420 Hm 2825420	Phone: Wk 2521715 Hm 2545212

Description of the building work involved in this application
ALTERATIONS / ADDITIONS TO EXISTING RESIDENCE

Tenancy fitouts: include details of Tenancy No., Shop No., Floor level

Division (Suburb) District HAWKER	Section 12	Block 5	Unit ---
---	----------------------	-------------------	--------------------

To be specified in accordance with the appropriate classification in the Building Code of Australia.	Type of Construction (N/A for Class 1 or 10 Buildings) ---	Class of Building 1.	Total Floor Area 460 m ²
--	--	--------------------------------	---

Cost of Building Work Fixed by Contract	07-06-94 3:45 PM 04 RAP-GAR/AD HC	Cost \$ X
---	--------------------------------------	------------------

Estimated Value (to be completed only where not fixed by contract) (refer Building Cost Guide "BN25" for building types and current rates to calculate costs)	Building Work (BN25)	Rate/ m ² (BN25)	Area	Value
			913.00	\$ 134,000
				\$ 26,000
Total Estimated Value of Building Work				\$

This application is for:

New Work Existing Building Work Amendment to Details for Approved Plan No.

I hereby request that approved plans be posted to the applicant's address held at the counter for collection

Design information required under Section 32 of the Building Act to be provided by designer

Classification of foundation material - AS 2870.1

Certificate of Site Classification should be attached with this application unless engineering option (Item 6) is selected below.

I or the permit holder will be submitting certification from practising structural engineer for:

- Certification of foundation material on the "Certificate of Site Classification" standard form,
- Certification of the footing and/or slab preparation.

As a result I wish to apply for:

- Plans of the building work to be approved subject to the above.
- A discount of permit fees that are payable.

Declaration

I declare that the particulars on this application for approval of plans are true and correct in every detail and that I am the person indicated by a tick in the relevant box below.

1. I am the / a person to whom the lease for the land is registered at the Land Titles Office, or
2. I am a director / secretary of the company to which the lease for the land is registered at the Land Titles Office, or
3. I am a person authorised to act on behalf of the person / company in 1 or 2 above. (Give original written evidence of authority from the person / company), or
4. I am an architect engaged by and acting on behalf of the person / company in 1 or 2 above, or
5. I am a solicitor engaged by and acting on behalf of the person / company in 1 or 2 above.
6. I also select Site Classification - Engineering option

S. Mackenzie 26 1 7 194
Declaration / Signature

Important: Section 59A of the ACT Building Act 1972 provides for severe penalties for false or misleading statements.

For Office Use Only	New Work <input checked="" type="checkbox"/>	Approved Plan No.	Licence Required	Type of Construction
	Amendment to approved plans <input type="checkbox"/>	128459/F	B	
	Details <input type="checkbox"/>	Class of Building	Area	Valuation
	Existing building work <input type="checkbox"/>			\$ 134,000
Plan endorsed	Plans	Total Fees payable		
new permit required <input checked="" type="checkbox"/>	Approved <input checked="" type="checkbox"/>	\$ 913.00		
endorse existing permit <input type="checkbox"/>	Not approved <input type="checkbox"/>			

Deputy Building Controller

12 SEP 1994

Classification of Buildings

Section 32 of the Building Act requires the application for approval of plans to specify the class of building according to the use to which the building is intended to be used when erected or altered. The classification of buildings is summarised as follows. For full details refer to Part A3 of the Building Code of Australia.

Residential Buildings

Class 1: a residence which may comprise one or more buildings including any habitable outbuildings which in association constitute -

- (a) a single dwelling-house, terrace house, townhouse, row house, villa house, or the like, which may be detached or separated by a common wall;
- (b) a dwelling-house used as a boarding-house, hostel, group house, dual occupancy house, or the like, in which not more than 12 persons would ordinarily be resident; or
- (c) a residential building that does not exceed a rise of 3 storeys and contains only 2 sole-occupancy units located one above the other and each unit has direct egress to a road or open space.

Class 2: a building containing 2 or more sole-occupancy units each being a separate dwelling, other than a building of Class 1.

Class 3: a residential building, other than a building of Class 1 or 2, which is common place of living for a number of unrelated persons, including -

- (a) a boarding-house, guest house, hostel, or lodging-house;
- (b) a residential part of an hotel or motel;
- (c) a residential part of a school;
- (d) accommodation for the aged, disabled or children; and
- (e) a residential part of a health-care building which accommodates members of staff.

Class 4: a dwelling in a building that is Class 5, 6, 7, 8 or 9 if it is the only dwelling in the building.

Commercial Buildings

Class 5: an office building used for professional or commercial purposes, excluding buildings of Class 6, 7 or 8.

Class 6: a shop or other building for the sale of goods by retail or the supply of services direct to the public, including -

- (a) an eating room, cafe, restaurant, milk or soft-drink bar;
- (b) a dining room, bar shop or kiosk portion of an hotel or motel;
- (c) a hairdresser's or barber's shop, public laundry, or undertaker's establishment;
- (d) market or sale room show room, or service station.

Class 7: a building which is -

- (a) a public carpark; or
- (b) for storage, or display of goods or produce for sale by wholesale.

Class 8: a laboratory, or a building in which a handicraft or process for the production, assembling, altering, repairing, packing, finishing, or cleaning of goods or produce is carried on for trade, sale, or gain.

Class 9: a building of a public nature -

- (a) **Class 9a** - a health-care building;
- (b) **Class 9b** - an assembly building, and

Class 9a includes a pathology laboratory in a health-care building and Class 9b includes a trade workshop in a primary or secondary school, but excludes any other part of these buildings that are of another Class.

Other Structures

Class 10: a non-habitable outbuilding or structure -

- (a) **Class 10a** - a carport, private garage, shed, or the like;
- (b) **Class 10b** - a fence, mast, antenna, retaining or free-standing wall, swimming pool, or the like.

134,000
743.00
170.00

913.00
+ 212.00

1,125.00



57

Certificate of Site Classification

Name of lessee/owner of the site (please print clearly) MRS HELEN COURLAY		Address 49 WOOLNER CIRCUIT HAWKER ACT												
Telephone Work	Home	Description of the site where building work is to be carried out Division (Suburb) HAWKER	Section 12	Block S										
Description of Building Work														
New Residence <input type="checkbox"/>		Garage/Carport <input type="checkbox"/>												
Alteration/Additions to Residence <input checked="" type="checkbox"/>		Other (Please describe) <input type="checkbox"/>												
In investigation of the site to determine the classification, I used the following procedure:		Classification of foundation material AS 2870.1 Clause 2.1.1												
One or more bore holes or trench pits and examination of the soil profile; <input checked="" type="checkbox"/>		<table border="1"> <thead> <tr> <th>Foundation</th> <th>Class (In accordance with AS 2870)</th> </tr> </thead> <tbody> <tr> <td>Most sand and rock sites Most silt and some clay sites</td> <td>A <input type="checkbox"/> S <input type="checkbox"/></td> </tr> <tr> <td>Moderately reactive clay sites Highly reactive clay sites Extremely reactive clay sites</td> <td>M <input checked="" type="checkbox"/> H <input type="checkbox"/> E <input type="checkbox"/></td> </tr> <tr> <td>Filled sites Nominate Class</td> <td><input type="checkbox"/></td> </tr> <tr> <td>Problem sites which include soft soils such as soft clays, silts or loose sands; land slip; mine subsidence; collapsing soil; soil subject to erosion.</td> <td>P <input type="checkbox"/></td> </tr> </tbody> </table>			Foundation	Class (In accordance with AS 2870)	Most sand and rock sites Most silt and some clay sites	A <input type="checkbox"/> S <input type="checkbox"/>	Moderately reactive clay sites Highly reactive clay sites Extremely reactive clay sites	M <input checked="" type="checkbox"/> H <input type="checkbox"/> E <input type="checkbox"/>	Filled sites Nominate Class	<input type="checkbox"/>	Problem sites which include soft soils such as soft clays, silts or loose sands; land slip; mine subsidence; collapsing soil; soil subject to erosion.	P <input type="checkbox"/>
Foundation	Class (In accordance with AS 2870)													
Most sand and rock sites Most silt and some clay sites	A <input type="checkbox"/> S <input type="checkbox"/>													
Moderately reactive clay sites Highly reactive clay sites Extremely reactive clay sites	M <input checked="" type="checkbox"/> H <input type="checkbox"/> E <input type="checkbox"/>													
Filled sites Nominate Class	<input type="checkbox"/>													
Problem sites which include soft soils such as soft clays, silts or loose sands; land slip; mine subsidence; collapsing soil; soil subject to erosion.	P <input type="checkbox"/>													
Footing excavation and the examination of the soil profile; <input type="checkbox"/>														
Laboratory testing of soil samples; <input type="checkbox"/>														
Existing building records and local knowledge of soil conditions. <input type="checkbox"/>														
The recommended footing and slab system in accordance with AS 2870.1 is: (or attach specific design details) STRIP FOOTINGS AS PER FIGURE 4.5														
The recommended level of underside of footing below natural ground level (ie: footing/ founding depth) is: 0.6 metres														



Declaration

I declare that I am a Practising Professional Engineer: Civil Structural Geotechnical

I am a qualified engineering geologist with experience in site investigation and classification

Name of Classifier
Ronald David Rogers (R D Rogers Engineers Pty Ltd) *Rogers 26/7/94*

Address
**2nd Floor Endeavour House
Franklin Street MANUKA ACT** Postcode **2603**

Contact Telephone **2951377** Facsimile **2396826**

PLAN
SCALE 1:50

EX. 200x38 FASCIA U/S AT
LEVEL OF PERGOLA
PERIMETER BEAM U/S.

EX. 200x50
PERIMETER BEAM

EX. 150x50

B ▲

2150

A ▲

REFER DETAIL

EX 100x50 END SLAT

EX 50x50 SLATS NAILED
TO 50x50 LEDGES @ 150
CENTRES

B ▲

EX. 200x38 FASCIA U/S
AT LEVEL OF PERGOLA
PERIMETER BEAM U/S

EX 150x50

EX 200x50 PERIMETER
BEAM

DETAIL
PLAN 1:10

x150
FIX EX 100x75 TIMBER BLOCK
TO BRICKWORK WITH 2/M12
CHEMICAL ANCHORS COUNTER-
SINK

FIX EX. 150x50 BEAMS TO TIMBER
BLOCKS WITH 2/M10 CUPHEAD
BOLTS TO EACH BLOCK.
COUNTERSINK.

BEAMS & EX. 100x75x150
BLOCKS FIXED TOGETHER BY
2/M10 CUPHEAD BOLTS IN
BOTH DIRECTIONS.

EX. 150x50 BEAM

EX. 200x50 PERIMETER BEAM

EX 100x50 END SLAT

EX 200x50 PERIMETER BEAM
FIXED TO EX 125x125 HW
POST WITH 2/M10 CUPHEAD
BOLTS. INNER BEAM EX 150x50

EX. 50x50 SLATS NAILED @
150 CTRS TO EX. 50x50 LEDGE

EX. 150x50 BEAM

EX. 200x50 PERIMETER BEAM

EX. 125x125 OREGON POST
(REFER SHEET 4 FOR
DETAILS OF POST
SUPPORT IN BRICKWORK)

SECTION AA
SCALE 1:25

END WALL OF RAISED
ROOF IS SET OUT LINE
FOR PERGOLA

EX 200x50 PERIMETER BEAM
FIXED TO BRICKWORK WITH
M12 CHEMICAL ANCHORS
@ 500 CTRS

GUTTER &
FASCIA ADJOINING
PERGOLA

FIX EX 50x50 LEDGES TO
EX 150x50 BEAMS WITH
M6 COACH SCREWS @ 450 CTRS

EX 50x50 SLATS

SECTION BB
SCALE 1:25

LAND (PLANNING AND ENVIRONMENT)
ACT 1990 (AS AMENDED)
APPROVAL GRANTED
PURSUANT TO SECTION 230
3 SEP 1994
Delegate
AUSTRALIAN CAPITAL TERRITORY
PLANNING AUTHORITY

This application was publicly notified.
NO OBJECTIONS
were lodged by the close of the
public notification period on 28/8/94

26/7/94

PROJECT
**GOURLAY
RESIDENCE**
49 WOOLNER CIRCUIT
HAWKER BL. 5 / SEC. 12

Drawing Title
PERGOLA DETAILS

Scale
AS SHOWN
Date:
JUNE '94
Sheet No.
5

Architecture planning urban design
The Expert Client
PO Box 306, Queen Victoria Terrace, Parkes, 2600
Ph 06 282 5420 Fax 06 282 5421

28459
C.O.O
14/3/97

150 SLAB, 25 Mpa CONC.
F718 BOTTOM
25 COVER

Y12 BARS WELDED
TO 150 PFC @ 400 CTRS
(450 LONG)

150 PFC FIXED TO EXTG
SLAB M12 CHEM.
ANCHORS @ 450 CTRS
(EXCEPT NEAR PIER)

TC TILE FINISH
ON MORTAR

150 x 10 x 200 PLATE
WELD WITH 50MM
OVERLAP TO TOP OF
PFC.

100 SLAB, F72 TOP
30 COVER
2mm W.M.
150 SAND BLINDING

TERRA-COTTA TILE
ON MORTAR

4/Y16 @ 150 CTRS

150 x 100 x 10 ANGLE

RENDERED 230 BRICK
PIER

400 x 800 x 1000 FOOTING
B-11 TM TOP & BOTTOM

150 x 100 x 10 ANGLE BUTT
WELDED TO PFC.

EX. 125 x 125 DREG. PERGOLA
POST. SAWCUT END TO
ACCEPT 100 x 8 MS BAR
WITH WELDED ANCHOR SET
500 INTO BRICKWORK.
3/M12 HEX BOLTS. CUT TO FINISH
FLUSH WITH POST FACE.
COUNTERSINK HEADS & NUT.

150 x 10 x 200 PLATES
WELDED TO PFC IN 3 POSITIONS
SHOWN ON PLAN.

CONTINUOUS 150 PFC.
FIX TO EXISTING SLAB
M12 CHEMICAL ANCHORS
@ 450 CTRS (EXCEPT
NEAR PIERS). CHEMICAL
ANCHORS 60mm FROM TOP
OF SLAB

WELD 150 x 100
ANGLE TO PFC

Y12 BARS
WELDED TO
PFC @ 400
CTRS (450
LONG)

25 Mpa CONC SLAB
F718 BOTTOM
25 COVER

4/Y16 @ 150 CTRS

SECTION XX
1:25

SECTION YY
1:25

PLAN: BALCONY SLAB REINFORCEMENT
1:50

R. Rogers 26/7/94

PROJECT
**GOURLAY
RESIDENCE**

49 WOOLNER CIRCUIT
HAWKER BL. 5 / SEC. 12

Drawing Title

BALCONY & PORCH
STRUCTURAL DETAILS

Scale

AS SHOWN

Date

JUNE '94

Sheet No.

4



PO Box 396, Queen Victoria Terrace, Perth, 2000
Ph 08 262 8420 Fax 08 262 5425

BUILDING CONTROL PLAN LODGEMENT SHEET

Lodgement date 26th 9/7/94 Approve by date/...../.....

BLOCK 5 SECTION 12 SUBURB Hawker

Description of work Extensions

Authority	Date sent	Date returned
NCPA []		
ACTPA: (New work) Blue Form [<input checked="" type="checkbox"/>]	26/7 ok	
ACTPA: (Amendment) Buff Form []		
ELECTRICAL [<input checked="" type="checkbox"/>]		
SEWERAGE & WATER [<input checked="" type="checkbox"/>]		
STORMWATER []		
ROAD MAINTENANCE []		
FIRE BRIGADE []		
HEALTH []		
WASTE MANAGEMENT []		
TRAFFIC CONTROL []		
ENVIRONMENT []		
TELECOM/OPTUS []		
DANGEROUS GOODS []		
TECHNICAL OFFICER []		

MPL

Soil Test Certificate is attached	[]
Application form has been fully completed	[]
Termite protection details are on plans	[]
Developers Prior Approval Nicholls, Ngunnawal, Bonython is on plan	[]
Floor areas calculated and are correct	[]
Value of work calculated and is correct	[]
Townhouse/Dual Occ has ACTPA approval	[]
Townhouse/Dual Occ has Leasing approval	[]
Townhouse/Dual Occ has Unit Title boundaries & Unit Numbers	[]
Technical details on plans are complete	[]
The plans are approvable	[]
This application is entered on todays lodgements list	[]

Plans checked by AM Date 6/9/94

Plan Acknowledgement

Date Lodged: 06SEP94

Division: Section: Block:
Hawker 12 5

Unit: Other Unit:

PLAN SEQUENCE NUMBER: 40511
PROJECT NUMBER: 32266

Trims Number: 28459 Plan id: F

Description of Work

ADDITIONS AND ALTERATIONS

This is an acknowledgement for : A New Plan

Approval Due Date : 20SEP94 Residential Plan

Client Details : Name Number : 14476
THE EXPERT CLIENT P/L
P.O BOX 396
QUEEN VICTORIA TERRACE
PARKES
ACT 2600

ACT Building Control Offices

North Office
Gd Flr Mitchell Business Centre
Cnr Lysaght & Hoskins Streets
GPO Box 158 Canberra ACT 2601
Telephone: 2076262
Facsimile: 2076258

South Office
Old Woden TAFE
Block B, Level 1
GPO Box 158, Canberra, 2601
Telephone: 2076277
Facsimile: 2077475

Licensing Office
Old Woden TAFE
Block B, Level 1
GPO Box 158, Canberra, 2601
Telephone: 2076309
Facsimile: 2076289

Tuggeranong Office
Transport & Works Depot
Cnr Scollay & Oakden St
GPO Box 158, Tuggeranong 2901
Telephone: 2075969
Facsimile: 2075955



Australian Capital Territory
Department of Urban Services

A.C.T. Building Control - Design Check Certificate of Structural Sufficiency

(54)

Block S	Section 12	Suburb HAWKER
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Lessee's or Permit holder's name
H. GOURLAY



Description of Building Work:
(Please tick appropriate box)

New Work Additions/Alterations Alterations Others

I certify that:

1. I have checked the structural design computations for ~~the building named above and~~ the following components and of their supporting elements of the building named above.

Footings, retaining walls, slab on ground, floor beams, roof beams, lintels, new porch slab, pergola & all supports including existing structure affected by new work.

2. In checking the structural design, I have paid attention to the integrity of the building under normal loading conditions relevant for this type of structure. The strength requirements and serviceability requirements of the building and its structural elements comply with the Building Code of Australia and all relevant SAA Codes (including AS 2121 Earthquake Code - Canberra - ZONE 'A')

3. This Certificate applies to the following Drawings (numbers)

1, 2, 3, 4 & 5 of Gourlay Residence set
and computations endorsed and signed by me. The documents adequately convey the structural design intentions for the construction of this structure.

Declaration

4. I am practising structural engineer as defined in the ACT Building Act [Section 53(1) states: Practising Structural Engineer' means an engineer with qualifications in structural engineering which are acceptable to the Institution of Engineers, Australia, for the Grade of Corporate Member and who is actively engaged in structural design and supervision of building construction].

Signature *R. Rogers* 26/7/94

Qualifications: M.I.E. Aust. or eligible for this grade (please indicate) **MIE Aust**

Name of Engineer **Ron Rogers (R D Rogers Engineers Pty Ltd)**
(please print)

Address **2nd Floor, Endeavour House, Franklin Street**

MANUKA ACT 2603 Telephone **2951377**

Note: All documents covered by this Certificate should be endorsed and signed by the Engineer. (Original signature in ink - no photocopies or facsimiles accepted)

* PERMIT HOLDER TO LIAISE WITH ACTEW FOR ELECTRICAL SERVICE LOCATION

ACT Building Control
North Area Office
corner Lysaght & Hoskins streets
Mitchell ACT 2911
GPO Box 1908, Canberra City 2601
Telephone 207 6262 Facsimile 207 6258

If any of the following boxes are ticked, the permit holder is to note the instructions or information in the related paragraph

- No survey certificate is required, the lessee/builder is responsible for correct siting
- Plans indicate new work so a new permit is required
- The plans include work subject to Canberra Sewerage and Water Supply regulations. The work must be carried out by a licenced plumber/drainier

APPROVED FOR CONSTRUCTION BY THE HOLDER OF A CLASS ' **B** ' LICENCE

CLASS OF OCCUPANCY
Residential Class 1
Outbuildings Class 10a or Class 10b

[Signature] 12 SEP 1994
DEPUTY BUILDING CONTROLLER
This approval is valid for 12 months

VALUATION \$ **134,000**

In the past ACT Building Control has experienced difficulty in certain problem areas of building work. For this reason the Permit Holder is to take special care in the following, as may be relevant to this project

Plan Number **28459/F**
BLOCK **5** SECTION **12**
SUBURB **HAWKER**

- 1 No part of the excavation, structure or its footings is to encroach the site boundary
- 2 Natural ground levels at site boundaries and easements shall not be altered.
- 3 Footings shall be taken down to stable material. Engineers certification may be requested by ACT Building Control.
- 4 The sub base supporting concrete floors is to be compacted. Fill depth is not to exceed 400mm without approval. A compaction certificate may be requested.
- 5 Timber frame construction must comply with AS 1684 and relevant supplements.
- 6 Lintel sizes must comply with truss manufacturers charts, AS 1684 or as per special approved details where given.
- 7 Some permit holders, when building extensions, forget to maintain cavity construction where new work joins existing. Remember to maintain cavity construction.
- 8 Provide sarking and anti-ponding boards where the roof pitch makes it necessary.
- 9 Provide through and stepped flashings to all exposed gables and brickwork.
- 10 Chimney tray and parging to be correctly installed to brick fireplaces.
- 11 Light and ventilation must comply with part F4 of the Building Code of Australia.
- 12 Construction of steps, landings and balustrades must comply with part D2 of the Building Code of Australia.
- 13 Fire separation of Class 1 and 10 buildings to comply with specification C1.9 Building Code of Australia.
- 14 Where surface water is likely to be a problem, surface drainage is to be provided and connected to the stormwater line via a silt trap.
- 15 Any water supply or sewer drainage plans / details on this set of drawings are not approved by ACT Building Control
- 16 Provide under ground service conduits as per ACTEW drawing 8912-02. The meter box is to have a panel of minimum size 575mm x 355mm (meter only) or 575mm x 565mm (meter and switchboard)
- 17 Mandatory insulation is required see building note 21
- 18 Termite protection is required see Building Note 3
- 19 The drive entrance is not approved by Building Control You must comply with the requirements of Traffic and Roads Section, phone 207 6597

THIS SET CONTAINS SHEETS
NUMBERED TO.....

Attention Permit Holder/Applicant

The plans have been approved subject to building work being in accordance with the Building Code of Australia and ACT Appendix as well as any approved modifications. Construction to comply with the approved plans including notations and any matters specified on the building permit.

The approval of plans or the grant of a building permit does not affect the operation of any other law in the Territory, nor does it authorise the use of land contrary to a provision, covenant or condition of lease.

To assist the building inspector and others locate your site it is requested that you display the name of the PERMIT HOLDER and the BUILDERS LICENCE NUMBER at the front of the building site in letters at least 100mm high.

Additions, alterations or demolition work must not be commenced until the presence of asbestos has been checked. See Building Note 16 or discuss with the Asbestos Control office on telephone 207 6326.

On site toilets must be installed on all building sites under the Public Health (General Sanitation Regulations) For advice contact Public & Environmental Health 205 1700

It is an offence under the ACT Water Pollution Act to discharge water from construction sites, where vegetation is disturbed, other than in an approved way. For advice contact the Pollution Control Authority on telephone 207 2155

All materials and equipment to be kept to the leased area. Applications to use unleased land to be lodged with Building Control and include a site plan with proposed safety measures.

Permit Holder: it is compulsory for you to correctly complete the Notification and Compliance Statement for each stage and to lodge it with ACT Building Control at the correct time. Failure to complete statements correctly may cause delays.



Application for a Building Permit

Building Act 1972, Section 35 and 39

Note: This application must be made by the holder of a Builder's Licence or if by an Owner-Builder must be accompanied by an Application for Owner - Builder Permit.

Project No. - Office Use		Applicant to Complete				
32266		Approved Plan No. 28459/F	Suburb HAWKER	Section 12	Block 5	Unit
Name of Builder ROBERTS	Initials NA	Address 20 CRICE PL RICHARDSON ACT		Postcode 2905		
		Phone: Work 018 626 515		Home 292 6428		
Name of Lessee GOURLAY	Initials A	Address 19 WOOLNER CRT HAWKER		Postcode		
		Phone: Work 252 1715		Home 254 5212		
Class of Builder's Licence held by Applicant B		Licence Number 3044	Expected date of completion of building work 30 / 4 / 95			

Type of Work (please tick appropriate boxes)

New Building
 Additions to existing building
 Refurbishing
 Demolition
 Alterations to existing building
 Other (please specify) _____

Type of Construction and Class of Occupancy as shown on the approved plans

Type of Construction	Class of Occupancy	Lease covenant completion date	Cost of Building work (excluding land)
		/ /	\$ 156,976.00 \$124,000
			<input checked="" type="checkbox"/> Contract Value <input type="checkbox"/> Estimated Value

Non-residential	Residential
Building type eg. shop, factory	Number of new/additional self-contained dwellings _____
.....	<input type="checkbox"/> Transportable house <input type="checkbox"/> Kit house <input type="checkbox"/> Flat, Unit, Apartment <input type="checkbox"/> Duplex, semi-detached, row/terrace house, townhouse <input type="checkbox"/> Separate house <input type="checkbox"/> Other - please specify _____
Please specify	

Main material used in outside walls (if applicable)	Main material of roof (if applicable)	Total Floor Area in square metres
BRICK	TILE	
Main material of building frame (if applicable)	Main material of floors (if applicable)	Total number of storeys including the ground floor, excluding the basement
BRICK	TIMBER	2

Permit Period Required	Note: The following permit periods apply
<input type="checkbox"/> 6 months <input checked="" type="checkbox"/> 1 year <input type="checkbox"/> 2 years <input type="checkbox"/> 3 years Subject to lease covenant (unless otherwise approved)	<ul style="list-style-type: none"> • Residences, major alterations/extensions 1 year • Minor alterations/extensions/garages/carports/swimming pools 6 months • Small commercial projects 1 year • Medium commercial projects 2 years • Large commercial projects 3 years • Shop fitouts/office refurbishments/alterations/extensions 6 months

The information you have provided will be treated with strict confidence and in accordance with the provisions of the Privacy Act.

Declaration	Lessee's Signature
I declare that the particulars on this application for the grant of a permit are true and correct in every detail and that I am the person eligible for the permit.	<i>Aileen G. Gourlay</i>
Signature <i>Nela DL</i> Date 21 / 11 / 94	Date
Important: Section 59A of the ACT Building Act 1972 provides for severe penalties for false or misleading statements.	20 / 11 / 94

Office Use Only			
Total fees payable \$	Valuation <i>1134,000</i>	Permit approved <input checked="" type="checkbox"/>	Permit Refused <input type="checkbox"/>
Class of Licence <i>B</i>	Owner Builder Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Conditions <input type="checkbox"/>	Survey required <input type="checkbox"/>
Licence File No. <i>3044</i>	Permit Expiry Date <i>23 / 11 / 95</i>	Deputy Building Controller's Signature	
		<i>[Signature]</i> Date <i>23 / 11 / 94</i>	

Permit to Carry Out Building Work

MR N A ROBERTS
20 GRIGG PLACE
RICHARDSON ACT 2905

Permit Holder: MR N A ROBERTS

Nominee:

Division: Section: Block: Unit:
Hawker 12 5

Permit Issued: 23NOV94 Lapse Date: 23NOV95 Cost: \$134,000.00

Builder's Licence Class: B Licence Number: 3044
Project Number: 32266

Plan id's included in permit: F

Description ADDITIONS AND ALTERATIONS
of Work:

Endorsements:

PLEASE STAPLE ALL CERTIFICATIONS/CORRESPONDENCE
TO THE APPLICATION FOR CERTIFICATE OF OCCUPANCY

Inspection Stages

Permit holders must notify the Building Controller of each stage reached during construction as follows:

Residential Buildings

Schedule of Inspection Stages

Dwellings	Garages/Carports	Swimming Pools	Pergolas/Decks Retaining Walls
Excavations	Footings	Concrete/Framing	Footings
Footings/Slabs	Slab	Final	Final
Floor Framing	Presheet		
Presheet/Stormwater	Final		
Final			

Commercial Buildings

As listed in the schedule to the ACT Building Act 1972

1. Excavations for footings before any reinforcements or mass concrete is placed.
2. Reinforcements before any concrete is placed.
3. Damp-proofing, tanking and flashing before covering or building in.
4. Structural steelwork before building in, covering, encasing, plastering, lining or coating.
5. Stormwater drainage before backfilling.
6. Floor framing before floors are laid or ceilings are lined.
7. Supports for suspended and false ceilings before those ceilings are fixed or lined.
8. Roof framing before ceilings are lined or roof-covering is fixed.
9. Timber-framed walls before sheeting or lining.
10. Fire-protective encasing, plastering, lining or coating before covering or building in.
11. Connections between pre-cast concrete building units and between those units and the structural frame of the building before covering or building in.
12. Duct systems before covering or building in.

Building Controller



Department of Urban Services
ACT Building Control
Building Inspections

Notification and Compliance Statement

Building Act 1972

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Particulars

Division HAWKER Section 12 Block 5 Unit

Permit Holders Name NEIL ROBERTS Business Telephone 018 626 515

Project(Permit) Number 32266 Builders Licence Number 3044

Approved Plan Number 28459

Inspection Stage (describe stage using wording from the schedule)
FOOTINGS

Engineers Option [] (Please tick this box if you are providing an Engineers Certificate)

Notification

I, the permit holder, hereby notify that the inspection stage described above will be ready for inspection on 7/12/94 morning afternoon [] (Please nominate date and tick box)

Today's Date 5/12/94 Time 9:20

Compliance

I, the permit holder, hereby certify that the building work complies with the conditions under which the permit was issued as set out in Section 40 of the Building Act 1972.

Signature of Permit Holder NEIL ROBERTS

Schedule of Inspection Stages

Dwellings:	Garages/Carports:	Swimming Pools:	Pergolas/Decks/Retaining Walls
Footings	Footings	Concrete/Framing	Footings
Slab/Floor Framing	Slab	Final	Final
Presheet/Stormwater	Presheet		
Final	Final		

Office Use Only

Inspected Not Inspected [] Inspection Sequence No []

Name of Inspector E. Murrell Inspection Record No. 15238

Signature of Inspector [Signature] Date 7/12/94



62

15238

Inspection Report

Suburb <i>HAWKER.</i>	Section <i>12</i>	Block <i>5</i>	Unit
Permit Holder <i>N. ROBERTS.</i>	Project Number <i>32266</i>	Licence Number <i>3044</i>	
Approved Plan Number <i>28459/F</i>		and amendments	

Inspection Stage
FOOTING PREPARATION TO ADDITIONS & ALTERATIONS.

An inspection of the building work has indicated that:

- Work appears to be substantially in accordance with the approved plans
- ~~Work does not meet the requirements of the approved plans~~
- ~~Please rebook this inspection stage when rectified~~

The following matters require your attention

① WRAP DRAINAGE PIPES WITH FOAM RUBBER OR SIMILAR TO ALLOW FOR SETTLEMENT. (PIPES CROSSING FOOTING).

FILE NOTES - FOOTING PREPARED AS PER PLAN EXCEPT WHERE EXCAVATION DEPTH UP TO 1.4m TO MATCH EXISTING FOOTING DEPTH.
- REINFORCEMENT CAGES TO REAR ADDITION TO BE PLACED IN POSITION & LAPS TIED.

Office Use Only

Original: Handed to Builder Posted to Builder Left on Site Handed to Owner
Posted to Owner *H.T. CONCRETOR.*

Copy to : Licensing Officer (refer to note on back)

E. MILNE
Name of Inspector

Signature

7/12/194.

Advisory Information

Permits are granted on the condition that the materials and methods of construction will conform with the acceptable standards and requirements set out in Section 40 of the Building Act 1972, that work will be carried out in a proper and workman like manner, in accordance with the approved plan, with adequate safety precautions and by the holder of the permit or a person employed by or under contract to him.

Inspections of building work by the Building Inspector are carried out to enable the Department to administer the Building Act. The Department does not have the role of supervising construction on behalf of owners. It is recommended that if necessary, owners engage competent building design and construction consultants to advise whether the building work has been carried out satisfactorily.

It should be noted that this inspection report is not intended to provide a certification that the building work complies absolutely with the prescribed requirements. Inspection reports should not be used to indicate satisfactory progress of conformance with contractual arrangements.

Where the performance of a builder appears to be unsatisfactory due to the building work not complying with the requirements of the Building Code of Australia, the Building Controller may under Section 18 of the ACT Building Act 1972 issue a show cause notice as to why a builders licence should not be varied, suspended or cancelled.

Inspection reports may be passed on to the Licensing Officer when a situation appears to warrant an investigation of the performance of the builder.



Department of Urban Services
ACT Building Control
Building Inspections



Notification and Compliance Statement

Building Act 1972

Particulars

Division HAWKER Section 12 Block 5 Unit
Permit Holders Name NEIL ROBERTS Business Telephone 018 626 515
Project(Permit) Number 32266 Builders Licence Number 3044
Approved Plan Number 28459

Inspection Stage (describe stage using wording from the schedule)

SLAB (ENTRY PORCH)

Engineers Option [] (Please tick this box if you are providing an Engineers Certificate)

Notification

I, the permit holder, hereby notify that the inspection stage described above will be ready for inspection on 10/2/1995 morning [] afternoon [] (Please nominate date and tick box)

Todays Date 8/2/1995 Time 8:30 am

Compliance

I, the permit holder, hereby certify that the building work complies with the conditions under which the permit was issued as set out in Section 40 of the Building Act 1972.

Signature of Permit Holder Neil Roberts

Schedule of Inspection Stages

Dwellings:	Garages/Carports:	Swimming Pools:	Pergolas/Decks/Retaining Walls
Footings	Footings	Concrete/Framing	Footings
Slab/Floor Framing	Slab	Final	Final
Presheet/Stormwater	Presheet		
Final	Final		

Office Use Only

Inspected [] Not Inspected [] Inspection Sequence No []

Name of Inspector E. Milne Inspection Record No. 15402

Signature of Inspector [Signature] Date 10/2/1995



Inspection Report

Suburb <i>HAWKER</i>	Section <i>12</i>	Block <i>5</i>	Unit
Permit Holder <i>N. ROBERTS.</i>	Project Number <i>32266</i>	Licence Number <i>3044</i>	
Approved Plan Number <i>28459/F</i>		and amendments	
Inspection Stage <i>SLAB PREPARATION TO ENTRY. (ONLY)</i>			

An inspection of the building work has indicated that:

- Work appears to be substantially in accordance with the approved plans
- ~~Work does not meet the requirements of the approved plans~~
- ~~Please rebook this inspection stage when rectified~~

~~The following matters require your attention~~

*FILE NOTES - F72 ON A MEMBRANE WITH JOINTER TO BRICKWORK.
- FT18 TO SMALL SECTION BETWEEN THE EXPOSED AGGREGATE SLABS.*

Office Use Only

- Original: Handed to Builder Posted to Builder Left on Site Handed to Owner
- Posted to Owner

Copy to :Licensing Officer (refer to note on back)

R. MILNE
Name of Inspector

Signature

1012 195.

Advisory Information

Permits are granted on the condition that the materials and methods of construction will conform with the acceptable standards and requirements set out in Section 40 of the Building Act 1972, that work will be carried out in a proper and workman like manner, in accordance with the approved plan, with adequate safety precautions and by the holder of the permit or a person employed by or under contract to him.

Inspections of building work by the Building Inspector are carried out to enable the Department to administer the Building Act. The Department does not have the role of supervising construction on behalf of owners. It is recommended that if necessary, owners engage competent building design and construction consultants to advise whether the building work has been carried out satisfactorily.

It should be noted that this inspection report is not intended to provide a certification that the building work complies absolutely with the prescribed requirements. Inspection reports should not be used to indicate satisfactory progress of conformance with contractual arrangements.

Where the performance of a builder appears to be unsatisfactory due to the building work not complying with the requirements of the Building Code of Australia, the Building Controller may under Section 18 of the ACT Building Act 1972 issue a show cause notice as to why a builders licence should not be varied, suspended or cancelled.

Inspection reports may be passed on to the Licensing Officer when a situation appears to warrant an investigation of the performance of the builder.



Notification and Compliance Statement
Building Act 1972

Particulars

Division HAWKER Section 12 Block 5 Unit

Permit Holders Name NEIL ROBERTS Business Telephone 018 626 515

Project(Permit) Number 32266 Builders Licence Number ~~2044~~ 3044

Approved Plan Number 28459

Inspection Stage (describe stage using wording from the schedule)
PRESHEET - REAR ENSUITE + DRESSING ROOM

Engineers Option [] (Please tick this box if you are providing an Engineers Certificate)

Notification

I, the permit holder, hereby notify that the inspection stage described above will be ready for inspection on 17/3/1995 morning [] afternoon [x] (Please nominate date and tick box)

Today's Date 15/3/1995 Time 3:48



Compliance

I, the permit holder, hereby certify that the building work complies with the conditions under which the permit was issued as set out in Section 40 of the Building Act 1972.

Signature of Permit Holder Neil Roberts

Schedule of Inspection Stages

Dwellings:	Garages/Carports:	Swimming Pools:	Pergolas/Decks/Retaining Walls
Footings	Footings	Concrete/Framing	Footings
Slab/Floor Framing	Slab	Final	Final
Presheet/Stormwater	Presheet		
Final	Final		

Office Use Only

Inspected [x] Not Inspected [] Inspection Sequence No []

Name of Inspector E. MILNE Inspection Record No. 23545

Signature of Inspector [Signature] Date 17/3/95

Advisory Information

Building Inspections

Builders are required under the provisions of the Building Act 1972 to notify the Building Controller each time an inspection stage of the building work is reached. The inspection stages are set out in the Building Act and may be grouped together as set out in the Schedule of Building Inspections.

Builders must give at least two working days notice before the building work will be ready for inspection and plan the progress of the work accordingly. During that period the building inspector will obtain the building file and make arrangements to visit the building site on the inspection date and time as nominated by the builder.

Builders must not proceed with the building work unless the inspection has been carried out or unless 3 hours have lapsed after the nominated date and time for the inspection.

This means that when the work is ready for the inspection in the morning (i.e it must be ready by 8.30 am) or the afternoon (i.e it must be ready by 12 noon) the work should not proceed until 11.30 am or 3 pm respectively. During this 3 hour period the building inspector will be able to check that the work complies with the approved plans and has been carried out in a proper and workmanlike manner.

Engineers Option

The engineers option for footing and slab inspections is available to builders who wish to engage a practising structural engineer to carry out the inspection. In that case the builder must notify when the inspection is ready. The engineers certificate must be provided to the Building Controller within 48 hours of the Notification and Compliance Statement.

The engineers certificate must certify that the footings or slab comply with the relevant conditions of the permit and confirm that the approved design of the footings or slab is suitable for the existing site conditions.

Conditions of Permit

The grant of a building permit for building work is subject to the conditions of the permit in accordance with Section 40 of the Building Act 1972.

- (a) The materials used in the building work will conform to the standards for those materials as set out in the Building Code of Australia or as otherwise approved and specified in the permit by the Building Controller;
- (b) The methods of use of those materials in the building work will conform to the acceptable methods of use as set out in the Building Code of Australia or as otherwise approved and specified in the permit by the Building Controller;
- (c) The building work will be carried out in a proper and workmanlike manner;
- (d) The building work will be carried out in accordance with the approved plans in respect of which the building permit is granted;
- (e) The building work will be carried out by a person who is the holder of a builder's licence, or a building permit issued for that work endorsed under Section 39, or by a person employed by or under contract to him/her;
- (f) A notice in accordance with Sub-Section 36(5) will be given by the holder of the building permit to the Building Controller in respect of each stage in the building work specified in the permit; and
- (g) The safety precautions submitted in or with the application for the building permit will be taken together with any other safety precautions that a building inspector may specify under Section 36A;

WARNING

Note: A Person who knowingly or recklessly makes a statement to the Building Controller that is false or misleading is guilty of an offence. (Section 59A of the Building Act 1972)

Penalty:

- (a) **Persons** - imprisonment for up to 6 months, or a fine not exceeding \$1000
- (b) **Companies** - a fine not exceeding \$5000

Advisory Information

Permits are granted on the condition that the materials and methods of construction will conform with the acceptable standards and requirements set out in Section 40 of the Building Act 1972, that work will be carried out in a proper and workman like manner, in accordance with the approved plan, with adequate safety precautions and by the holder of the permit or a person employed by or under contract to him.

Inspections of building work by the Building Inspector are carried out to enable the Department to administer the Building Act. The Department does not have the role of supervising construction on behalf of owners. It is recommended that if necessary, owners engage competent building design and construction consultants to advise whether the building work has been carried out satisfactorily.

It should be noted that this inspection report is not intended to provide a certification that the building work complies absolutely with the prescribed requirements. Inspection reports should not be used to indicate satisfactory progress of conformance with contractual arrangements.

Where the performance of a builder appears to be unsatisfactory due to the building work not complying with the requirements of the Building Code of Australia, the Building Controller may under Section 18 of the ACT Building Act 1972 issue a show cause notice as to why a builders licence should not be varied, suspended or cancelled.

Inspection reports may be passed on to the Licensing Officer when a situation appears to warrant an investigation of the performance of the builder.

68



Department of the Environment, Land and Planning
ACT Building Control
Building Inspections

Notification and Compliance Statement
Building Act 1972

Particulars

Division HAWKER Section 12 Block 5 Unit

Permit Holders Name NEIL ROBERTS Business Telephone 018 626 515

Project(Permit) Number 32266 Builders Licence Number 3044

Approved Plan Number 28459

Inspection Stage (describe stage using wording from the schedule)
FLOOR FRAMING

Engineers Option [] (Please tick this box if you are providing an Engineers Certificate)

Notification

I, the permit holder, hereby notify that the inspection stage described above will be ready for inspection on 24/3/1995 morning [] afternoon [] (Please nominate date and tick box)

Todays Date 22/3/1995 Time 8:30 am

Compliance

I, the permit holder, hereby certify that the building work complies with the conditions under which the permit was issued as set out in Section 40 of the Building Act 1972.

Signature of Permit Holder Neil Roberts

Schedule of Inspection Stages

Dwellings:	Garages/Carports:	Swimming Pools:	Pergolas/Decks/Retaining Walls
Footings	Footings	Concrete/Framing	Footings
Slab/Floor Framing	Slab	Final	Final
Presheet/Stormwater	Presheet		
Final	Final		

Office Use Only

Inspected [] Not Inspected [] Inspection Sequence No []

Name of Inspector E. Milne Inspection Record No.....

Signature of Inspector [Signature] Date 29/3/95

APPLICATION YES NO

1030

TUESDAY

9/5/95

COPY
IER COPY
AST

5630120005W

PREMISE NUMBER

90

NOTICE OF ELECTRICAL WORK

(ERS)

28459

481-

15/10/96

SECTION A - CLIENT

Customer Name: GOURLAY 00941

Applicant for Supply/Customer

Shop No./Floor No./ Tenant No. Street Address 49 WOOLNER CRT

Block: 25 Section: 812 Suburb: HAWKER Postcode: Meter No:

(NAME OF BUSINESS OR COMMERCIAL PREMISES ETC.)

SECTION B - INSTALLATION WORK DETAILS covered by this notice

Tick appropriate box(es)

- New installation
- Alteration/addition
- Repair only
- Consumers Mains or Main SwitchBoard
- Hazardous Location
- High Voltage Installation
- Rectification of Defects (Defect Notice)
- Additional Meter/s
- Progress
- Temporary

DETAILS: Record all details. If insufficient space attach separate sheets

METER REQUIRED	SINGLE PHASE	THREE PHASE	CT.	LIGHTING	HOT WATER	COOKING	KW	GAS	ELECTRIC HEATING			
PRINCIPAL				No.	kW	Range			FIXED		OFF PEAK	
OFF PEAK					Litres	Hot Plates			No.	kW	No.	kW
				POWER POINTS		Quick Recovery <input type="checkbox"/>						
SERVICE	O/H	U/G		No. Singles	Off Peak <input type="checkbox"/>	Wall Oven		AIR COND.	kW			
Installed	<input type="checkbox"/>	<input type="checkbox"/>		No. Doubles	Solar Boost <input type="checkbox"/>	Cooling only						
Not Installed	<input type="checkbox"/>	<input type="checkbox"/>		No. 15A	Instantaneous <input type="checkbox"/>	Reverse Cycle						
				No. 20A	GAS <input type="checkbox"/>	plus Elements			GAS HEATING			

The following information should also be provided if relevant to the installation work: (Separate Notification for each Distribution Board)

Consumers Mains Size (Amps/mm²): 4x16 M.D.

Contractors comments:

Main Earth Connection Location:

C.O.S. only.

Water Pipe Bond Connection Location:

SECTION C - TEST REPORT certifying that the installation work complies with AS 3000 SAA Wiring Rules

TESTS:	Tick When Complete or Enter Results
1. EARTH continuity and safe earth resistance	Resistance <u>.5</u> ohm
2. Safe INSULATION RESISTANCE	Resistance <u>200M</u> ohm
3. Correct POLARITY	<input checked="" type="checkbox"/>
4. No TRANSPOSITION of earthing and neutral conductors	<input checked="" type="checkbox"/>
5. No SHORT CIRCUIT between conductors	<input checked="" type="checkbox"/>
6. No INTERMIX between conductors of different circuits	<input checked="" type="checkbox"/>
7. Switchboard and/or equipment mounted thereon is correctly MARKED to indicate -	
- the corresponding active and neutral connections for each circuit	<input checked="" type="checkbox"/>
- the relationship of the various sections of the installation	<input checked="" type="checkbox"/>
8. The NUMBER OF POINTS connected to each circuit does not exceed the maximum permissible	<input checked="" type="checkbox"/>
9. The installation work OPERATES in the manner intended	<input checked="" type="checkbox"/>

SECTION D - CERTIFICATION by contractor or authorized representative

To: **A.C.T. Electricity and Water** I hereby notify that the installation work described in this notice has been tested by the following persons or contractors and complies with AS3000, SAA Wiring Rules & ACTEW Service and Installation Rules.

WORK TESTED BY

Name of Person: Trevor Keyes Signature: T. Keyes Date: 21.4.95 Licence No: 1097

WORK NOTIFIED BY ELECTRICAL CONTRACTOR (if the same as above write 'AS ABOVE')

Name of Contractor or Business: TREVOR KEYES Licence No: 1097

Address: 4 DARE PL KAMBAY Telephone/Fax: 01862438 Postcode: 2902

Signature: T. Keyes Date: 21.4.95

00941



Office Use only

CONNECTED

DISCONNECTED

Installation Inspector Remarks:

IR- 3AWS-SP-2L

Signature:

Date:

9-5-95

Defect No:

Code:

METER No.	71268			
EXISTING, NEW OR REMOVED	EXISTING			
READING	72769			
RATIO	3x60/60			
DESIGNATION (E.G. TIME CLOCK, SUPPLY 1 E.M.S., P1, P2, OP.)	PRINCIPAL			



Application for Certificate of Occupancy and Use

Name of Lessee/Owner

HELEN GOURLAY

Address (show PO Box No. if any)

49 WOOLNER CRT HAWKER ACT Postcode

Phone Number

2545212

Approved Plan No.

28459/F

Name of Permit Holder

NEIL ROBERTS

Suburb

HAWKER

Section

12

Block

5

Unit

Description of Building Work

LIVING ROOM, SUN ROOM BEDROOM + ENSUITE EXTENSION + ~~RENO~~ ALTERATIONS

Date requested for Final Inspection (At least 4 working day's notice required)

Preferred date

20/11/95

Morning

Afternoon

Alternative date

21/11/95

Morning

Afternoon

List any items not completed in accordance with approved plans

Application

I, the owner, make an application under Section 53 of the Building Act 1972 for the issue of a Certificate of Occupancy and Use.

The Certificate to be: posted to me held for collection

Signature of Lessee/Owner

* Helen J. Gourlay 13/11/95

Do not sign before the completion of building work

Collected by my Agent

Owners who wish their Certificate of Occupancy and Use to be collected by their agents should complete the declaration below: (Note. Agent must provide identification during collection)

I authorise (Name of Agent)

Address

Postcode

Phone Number

To Collect the Certificate of Occupancy and Use on behalf of me.

Signature of Lessee/Owner

/ /

Signature of Agent

/ /

Advisory Information

It is recommended that owners should seek consultant advice to determine whether the building work had been completed satisfactorily. It should be noted that Building Inspectors do not have the responsibility for supervision of building work on behalf of owners.

Please refer to ACT Building Control Offices overleaf

Please forward this completed form to ACT Building Control:

North Office

Mitchell Business Centre
Cnr Lysaght and Hoskins Streets
Mitchell ACT 2911
GPO Box 1908, Canberra ACT 2601
Telephone: 2076262
Facsimile: 2076258

South Office

Block B, Level 1, Callam Offices
Cnr Launceston and Callam Streets
Woden ACT 2606
GPO Box 1908, Canberra ACT 2601
Telephone: 2076277
Facsimile: 2077475

Tuggeranong Office

Transport and Works Depot
Cnr Scollay and Oakden Streets
Tuggeranong ACT 2901
PO Box 1158, Tuggeranong ACT 2901
Telephone: 2075969
Facsimile: 2075955



Department of Urban Services
ACT Building Control
Building Inspections

Notification and Compliance Statement

Building Act 1972

Particulars

Division HAWKER Section 12 Block 5 Unit

Permit Holders Name NEIL ROBERTS Business Telephone 018 626 515

Project(Permit) Number 32266 Builders Licence Number 3044

Approved Plan Number 28459

Inspection Stage (describe stage using wording from the schedule)

SLABS (ENSUITE + BALCONY)



Engineers Option [] (Please tick this box if you are providing an Engineers Certificate)

Notification

I, the permit holder, hereby notify that the inspection stage described above will be ready for inspection on 13/1/95 morning [] afternoon [] (Please nominate date and tick box)

Todays Date 11/1/95 Time 8:00 am

Compliance

I, the permit holder, hereby certify that the building work complies with the conditions under which the permit was issued as set out in Section 40 of the Building Act 1972.

Signature of Permit Holder NEIL ROBERTS

Schedule of Inspection Stages

Dwellings:	Garages/Carports:	Swimming Pools:	Pergolas/Decks/Retaining Walls
Footings	Footings	Concrete/Framing	Footings
Slab/Floor Framing	Slab	Final	Final
Presheet/Stormwater	Presheet		
Final	Final		

Office Use Only

Inspected [] Not Inspected [] Inspection Sequence No []

Name of Inspector E. MILNE Inspection Record No.....

Signature of Inspector [Signature] Date 20/1/95



69

Notification and Compliance Statement

Building Act 1972

Particulars

Division HAWKER Section 12 Block 5 Unit

Permit Holders Name NEIL ROBERTS Business Telephone 018 626 515

Project(Permit) Number 32266 Builders Licence Number 3044

Approved Plan Number 28459/F

Inspection Stage (describe stage using wording from the schedule)
FINAL

Engineers Option [] (Please tick this box if you are providing an Engineers Certificate)

Notification

I, the permit holder, hereby notify that the inspection stage described above will be ready for inspection on 20/11/1995 morning [] afternoon [] (Please nominate date and tick box)

Todays Date 14/11/1995 Time 9:40 am

Compliance

I, the permit holder, hereby certify that the building work complies with the conditions under which the permit was issued as set out in Section 40 of the Building Act 1972.

Signature of Permit Holder Neil Roberts

Schedule of Inspection Stages

Dwellings:	Garages/Carports:	Swimming Pools:	Pergolas/Decks/Retaining Walls
Footings	Footings	Concrete/Framing	Footings
Slab/Floor Framing	Slab	Final	Final
Presheet/Stormwater	Presheet		
Final	Final		

Office Use Only

Inspected [] Not Inspected [] Inspection Sequence No []

Name of Inspector E. M. [Signature] Inspection Record No. 125659

Signature of Inspector [Signature] Date 20/11/95

Advisory Information

Building Inspections

Builders are required under the provisions of the Building Act 1972 to notify the Building Controller each time an inspection stage of the building work is reached. The inspection stages are set out in the Building Act and may be grouped together as set out in the Schedule of Building Inspections.

Builders must give at least two working days notice before the building work will be ready for inspection and plan the progress of the work accordingly. During that period the building inspector will obtain the building file and make arrangements to visit the building site on the inspection date and time as nominated by the builder.

Builders must not proceed with the building work unless the inspection has been carried out or unless 3 hours have lapsed after the nominated date and time for the inspection.

This means that when the work is ready for the inspection in the morning (i.e. it must be ready by 8.30 am) or the afternoon (i.e. it must be ready by 12 noon) the work should not proceed until 11.30 am or 3 pm respectively. During this 3 hour period the building inspector will be able to check that the work complies with the approved plans and has been carried out in a proper and workmanlike manner.

Engineers Option

The engineers option for footing and slab inspections is available to builders who wish to engage a practising structural engineer to carry out the inspection. In that case the builder must notify when the inspection is ready. The engineers certificate must be provided to the Building Controller within 48 hours of the Notification and Compliance Statement.

The engineers certificate must certify that the footings or slab comply with the relevant conditions of the permit and confirm that the approved design of the footings or slab is suitable for the existing site conditions.

Conditions of Permit

The grant of a building permit for building work is subject to the conditions of the permit in accordance with Section 40 of the Building Act 1972.

- (a) The materials used in the building work will conform to the standards for those materials as set out in the Building Code of Australia or as otherwise approved and specified in the permit by the Building Controller;
- (b) The methods of use of those materials in the building work will conform to the acceptable methods of use as set out in the Building Code of Australia or as otherwise approved and specified in the permit by the Building Controller;
- (c) The building work will be carried out in a proper and workmanlike manner;
- (d) The building work will be carried out in accordance with the approved plans in respect of which the building permit is granted;
- (e) The building work will be carried out by a person who is the holder of a builder's licence, or a building permit issued for that work endorsed under Section 39, or by a person employed by or under contract to him/her;
- (f) A notice in accordance with Sub-Section 36(5) will be given by the holder of the building permit to the Building Controller in respect of each stage in the building work specified in the permit; and
- (g) The safety precautions submitted in or with the application for the building permit will be taken together with any other safety precautions that a building inspector may specify under Section 36A;

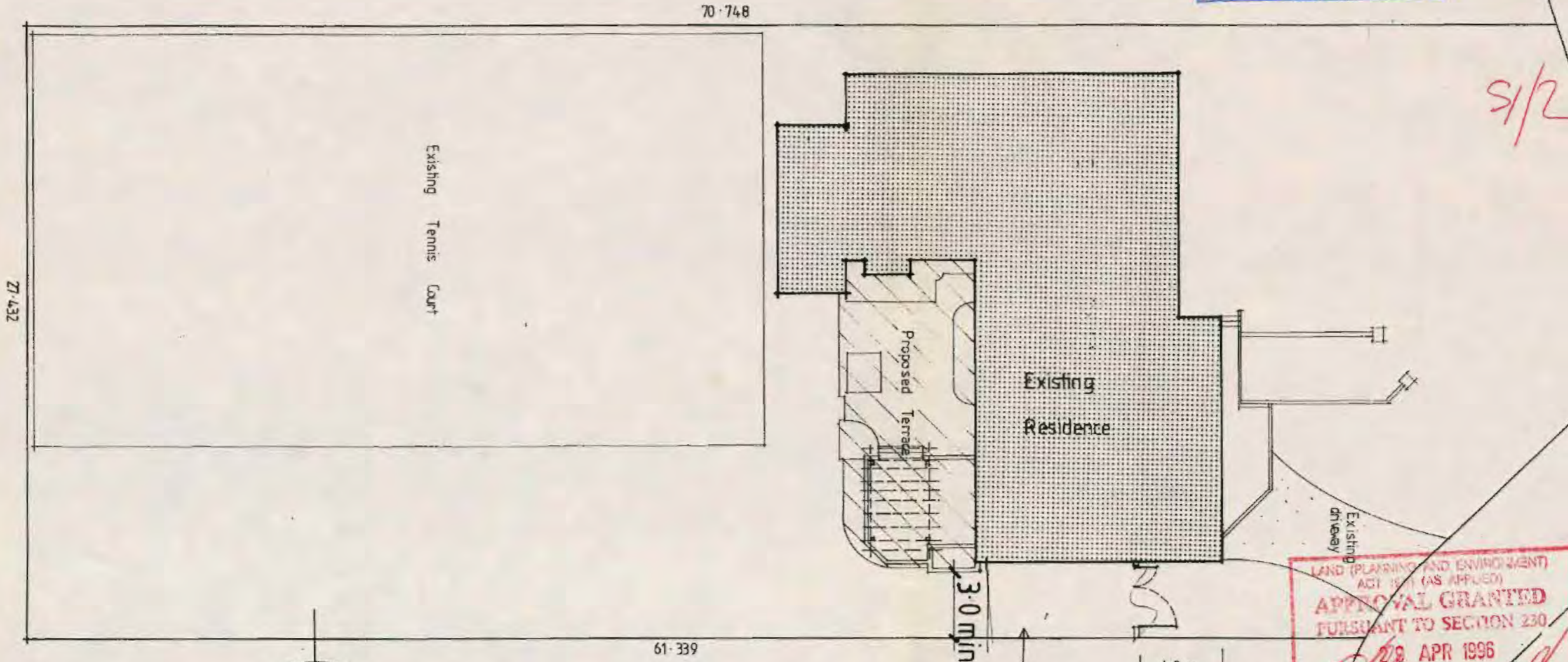
WARNING

Note: A Person who knowingly or recklessly makes a statement to the Building Controller that is false or misleading is guilty of an offence. (Section 59A of the Building Act 1972)

Penalty:

- (a) Persons - imprisonment for up to 6 months, or a fine not exceeding \$1000
- (b) Companies - a fine not exceeding \$5000

PLANS/FILE No. *271/591/G*
 Received ACT Building Control
 - 2 MAR 1996
 ACT GOVERNMENT



LAND (PLANNING AND ENVIRONMENT)
 ACT 1971 (AS APPLIED)
APPROVAL GRANTED
 PURSUANT TO SECTION 230
 28 APR 1996
 Delegate
 AUSTRALIAN CAPITAL TERRITORY
 PLANNING AUTHORITY

ARCHITECTURE
 PLANNING DEVELOPMENT
The Expert Client
 Ph 06 2825420 Fax 06 2825421

Checked by
 Approved by
 Designed by SM
 Drawn by AF

PROJECT
GOURLAY PROPOSED TERRACE
 49 WOOLNER CR
 HAWKER

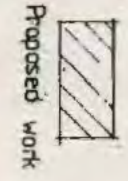
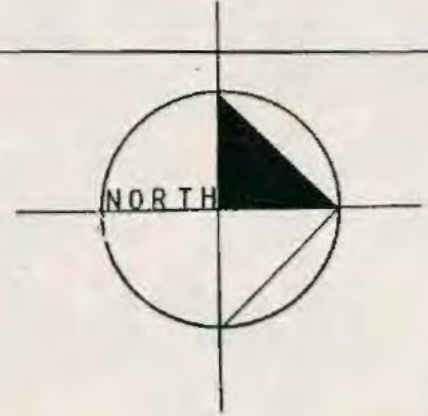
Drawing Title
Site Plan

BL 5 / SEC 17

Date January 96
 Scale 1:200
 Drg. No. 96/16
 Sheet No. **1**

CANBERRA SEWERAGE AND WATER SUPPLY REGULATIONS:
 THIS PLAN INCLUDES WORK SUBJECT TO THE ABOVE REGULATIONS WHICH MUST BE CARRIED OUT BY A LICENSED PLUMBER/DRAINER. *S. House 29/4/96*

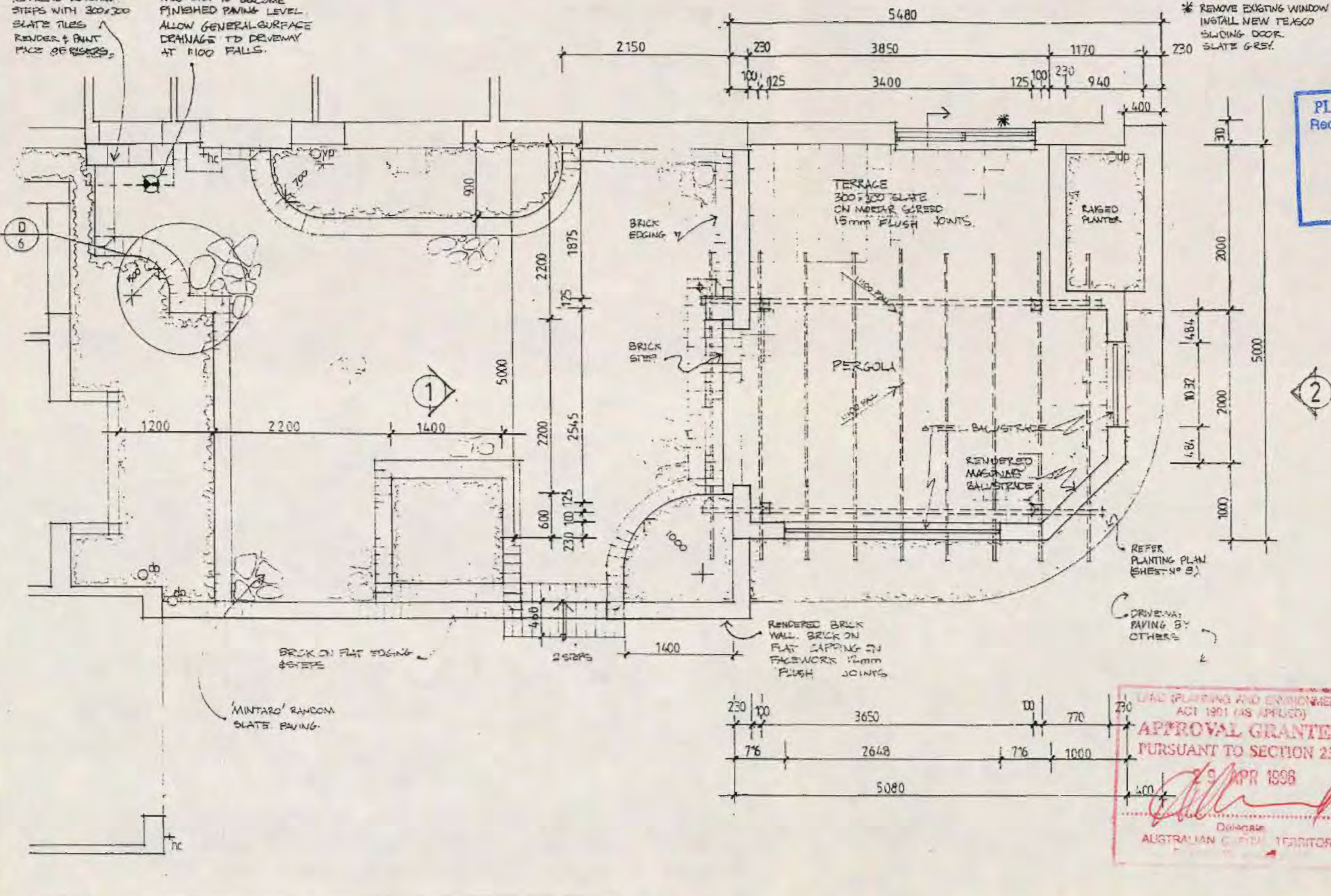
~~AN ENGINEERS CERTIFICATION FOR ROCK WALL ADDITIONAL LOADING MAY BE REQD. AND FOR ALL STEEL BEAMS.~~



RETREAD EXISTING STEPS WITH 300x300 SLATE TILES / RENDER & PAINT FACE OF RISERS

THIS STEP TO BECOME FINISHED PAVING LEVEL. ALLOW GENERAL SURFACE DRAINAGE TO DEWEY AT 1:100 FALLS.

* REMOVE EXISTING WINDOW INSTALL NEW TEXCO SLIDING DOOR. SLATE GRAY.



Amendments		
No.	Description	Date

28459/G
 PLANS/FILE No.
 Received ACT Building Control
 - 2 MAR 1996
 ACT GOVERNMENT

ARCHITECTURE
C The Expert Client
 DEVELOPMENT
 Ph 06 2825420 Fax 06 2825421

Checked by: _____ Designed by: SM
 Approved by: _____ Drawn by: AF

PROJECT
GOURLAY
PROPOSED TERRACE
 49 WOOLNER CRT
 HAWKER

Drawing Title
 Plan

BL 5 / SEC 12

Date
 January 1996

Scale
 1:50

Org. No.
 96/17

Sheet No.
2

LAND (PLANNING AND ENVIRONMENT)
 ACT 1991 (AS APPLIED)
APPROVAL GRANTED
 PURSUANT TO SECTION 230
 29 APR 1996
 Delegate
 AUSTRALIAN CAPITAL TERRITORY

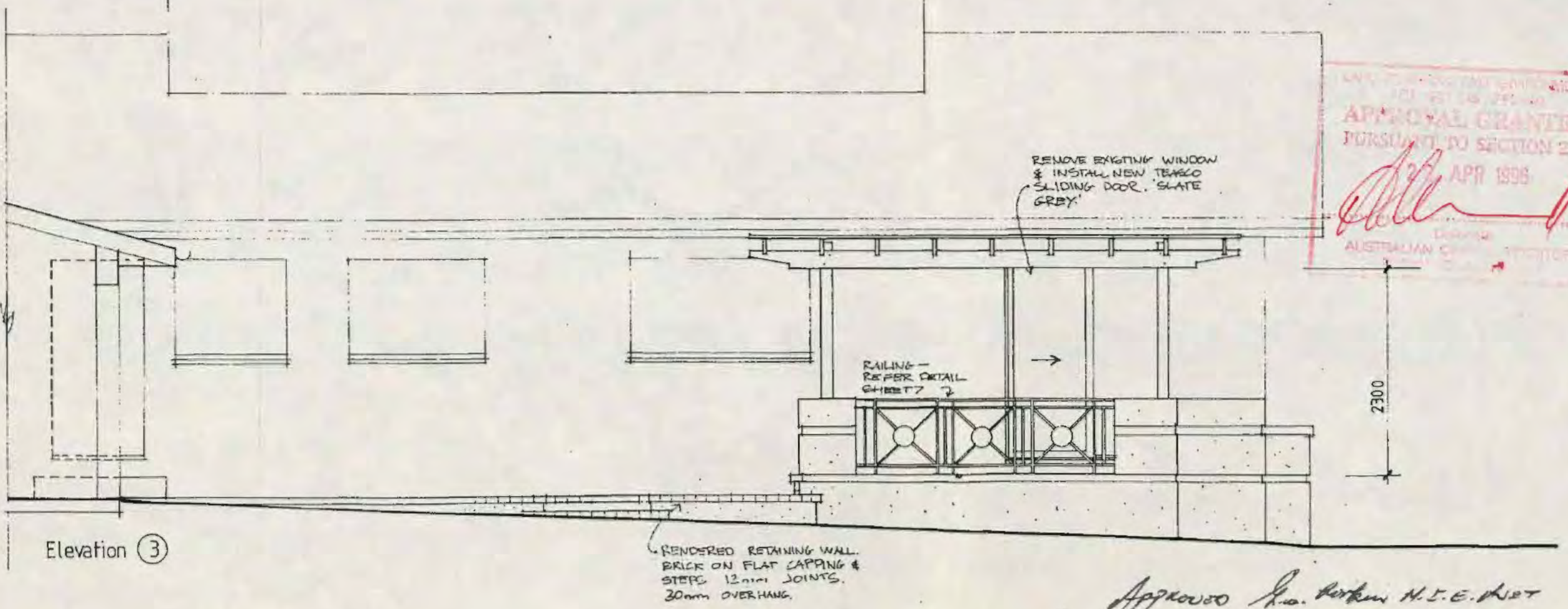
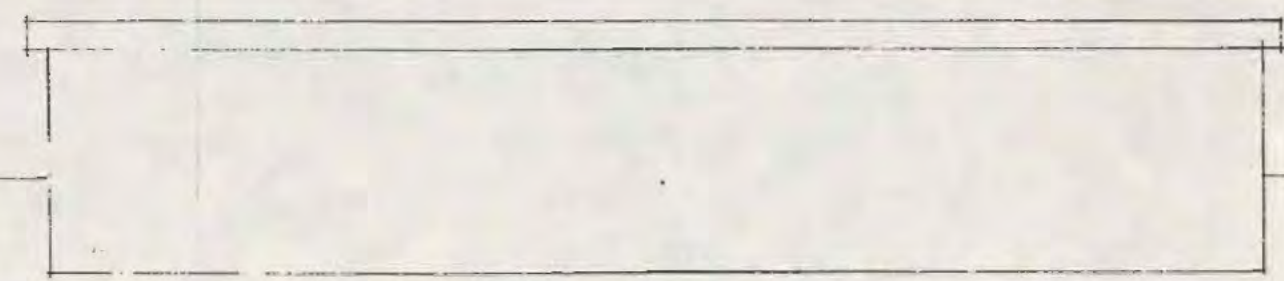
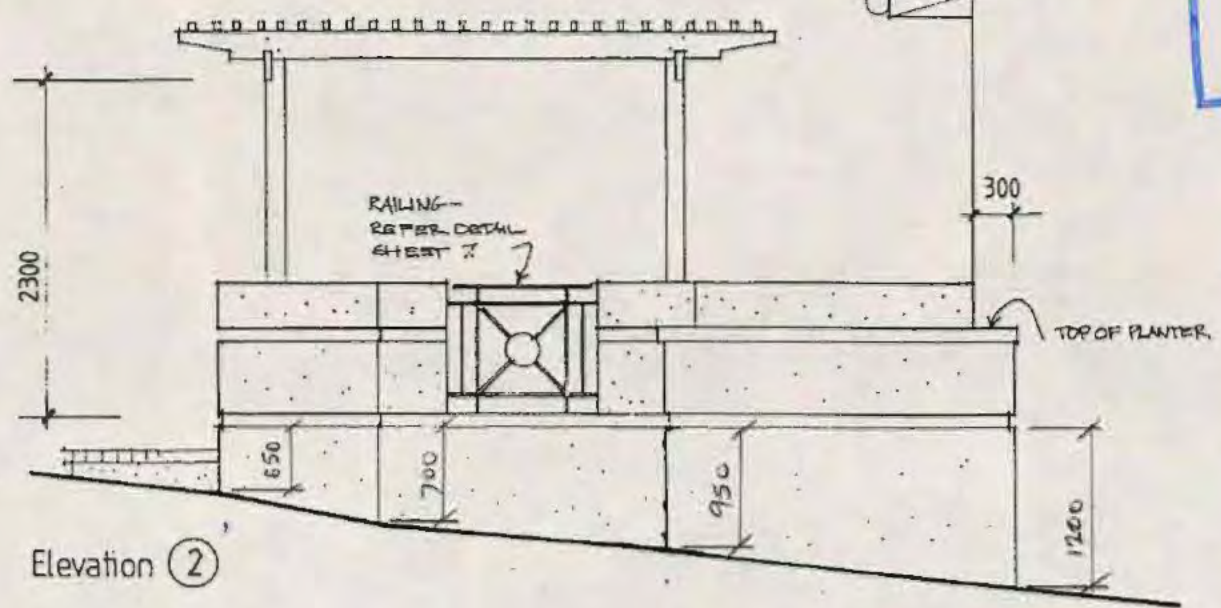
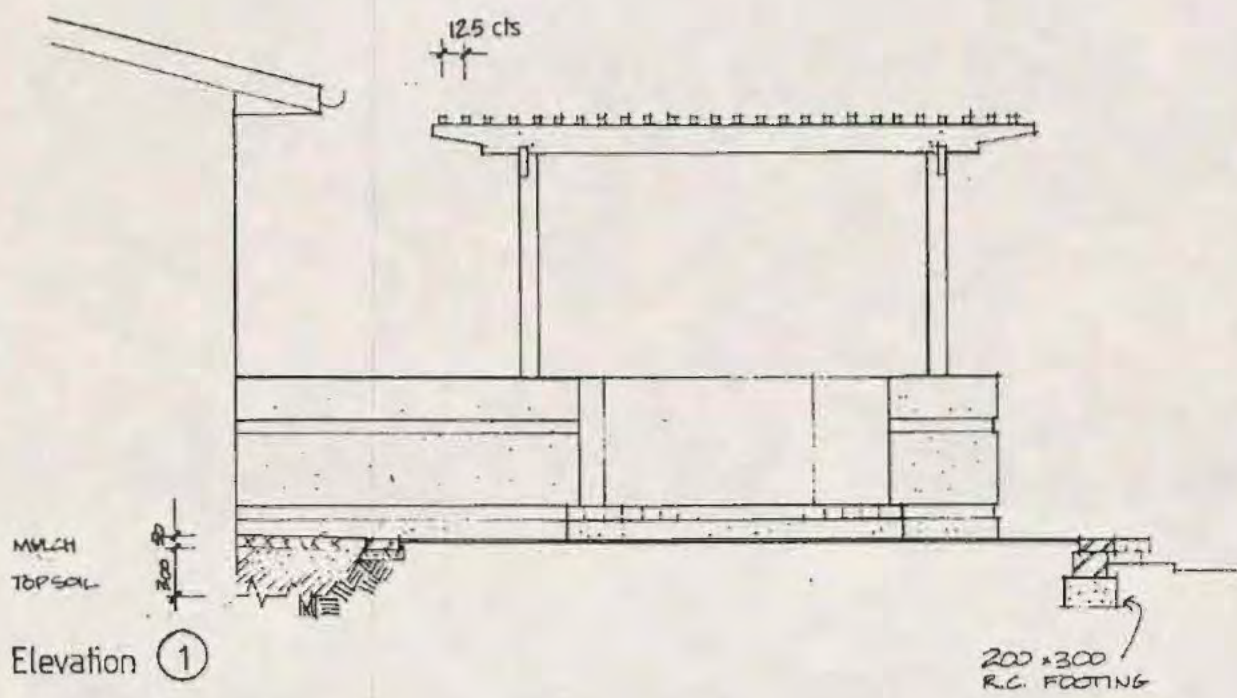
Approved G. J. Perkins H.S.E. ARCHT.
 2/4/96

Existing Tennis Court

3

Amendments		
No.	Description	Date
		28/3/96

PLANS FILE No.
 Received ACT Building Control
 - 2 MAR 1996
 ACT GOVERNMENT



ACT GOVERNMENT
 APPROVAL GRANTED
 PURSUANT TO SECTION 230
 2 APR 1996
 AUSTRALIAN CAPITAL TERRITORY

ARCHITECTURE
C The Expert Client
 DEVELOPMENT
 Ph 06 2825420 Fax 06 2825421

Checked by _____ Designed by SM
 Approved by _____ Drawn by AF

PROJECT
GOURLAY PROPOSED TERRACE
 49 WOOLNER CAT
 HAWKER

Drawing Title
 Elevations

BL 5 / SEC 12

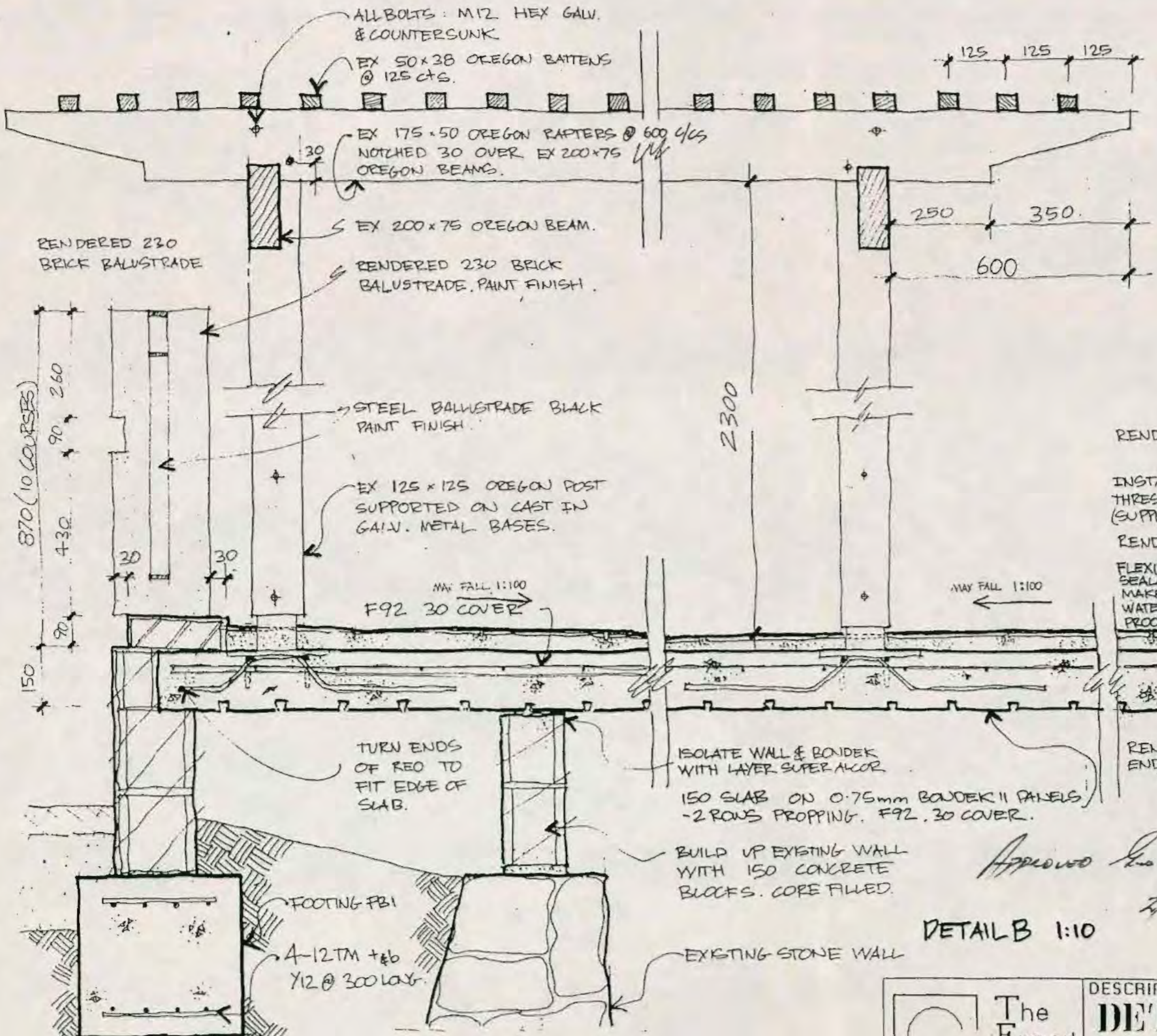
Date January 1996

Scale 1:50

Org. No. 96/18

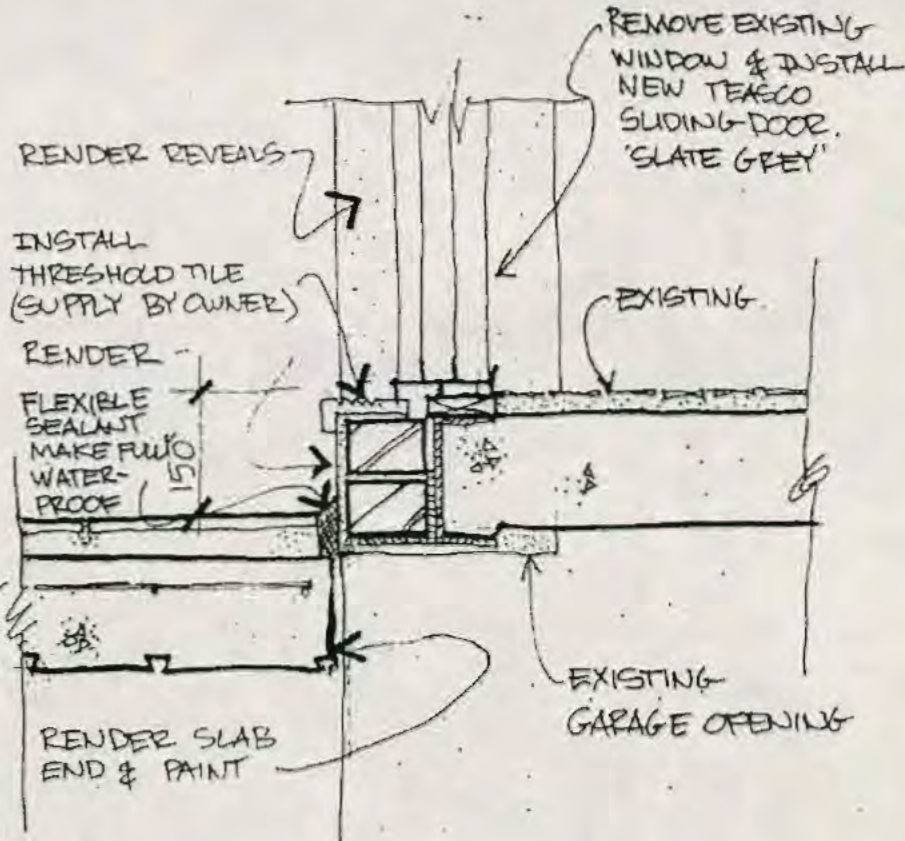
Sheet No. **3**

Approved *[Signature]* N.E. HET
 2/4/96



NOTE:
 ALL PERGOLA TIMBER TO BE PREPARED & PAINTED IN ACCORD WITH DULUX SPECIFICATION 'DUSPEC 41' WEATHER SHIELD GLOSS ACRYLIC FOR EXTERIOR TIMBER."

PLANS/FILE No.
 Received ACT Building Control
 -2 MAR 1996
 ACT GOVERNMENT



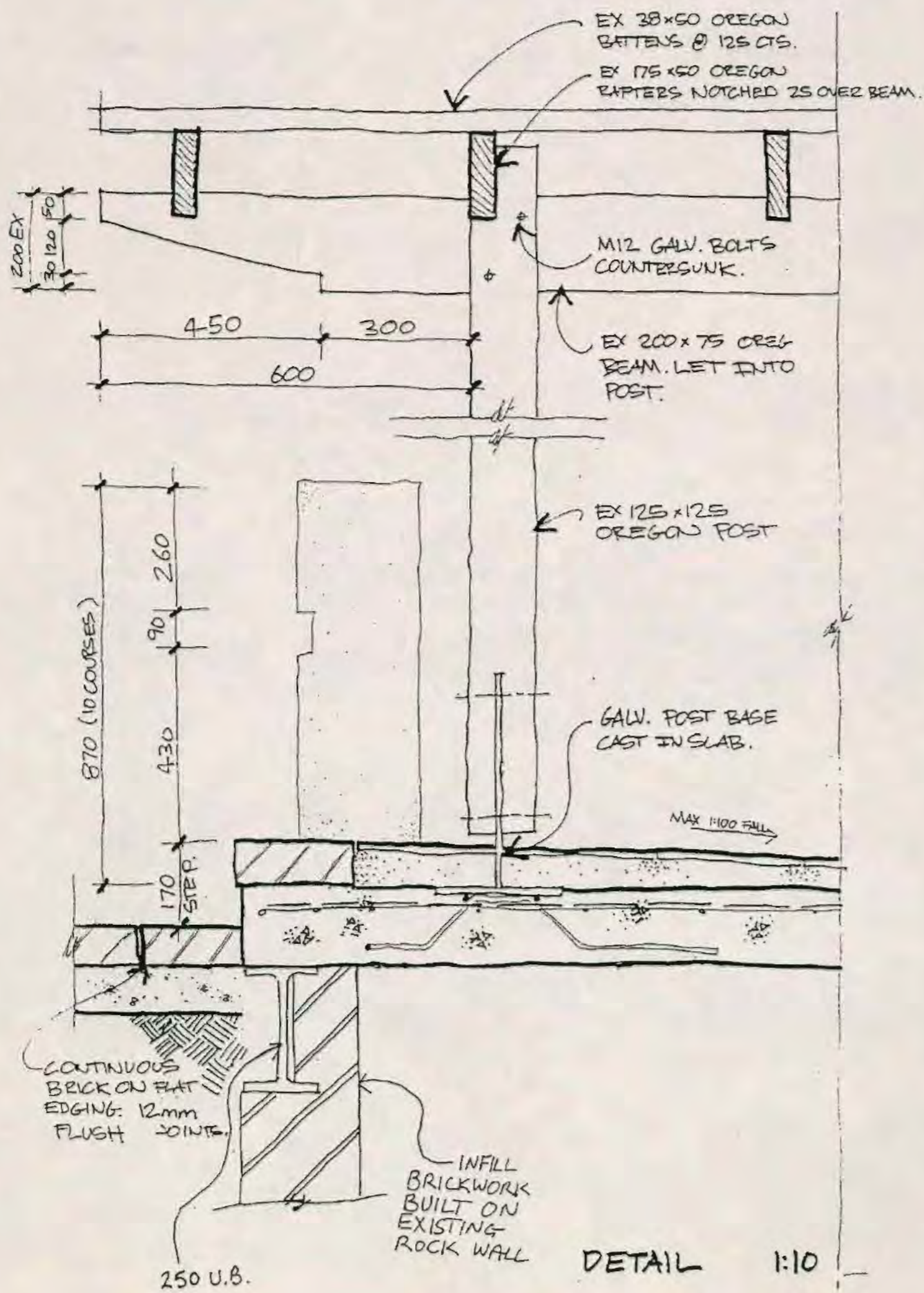
Approved *Geo. Arthur M.E.E. Act.*
 2/9/96

DETAIL B 1:10

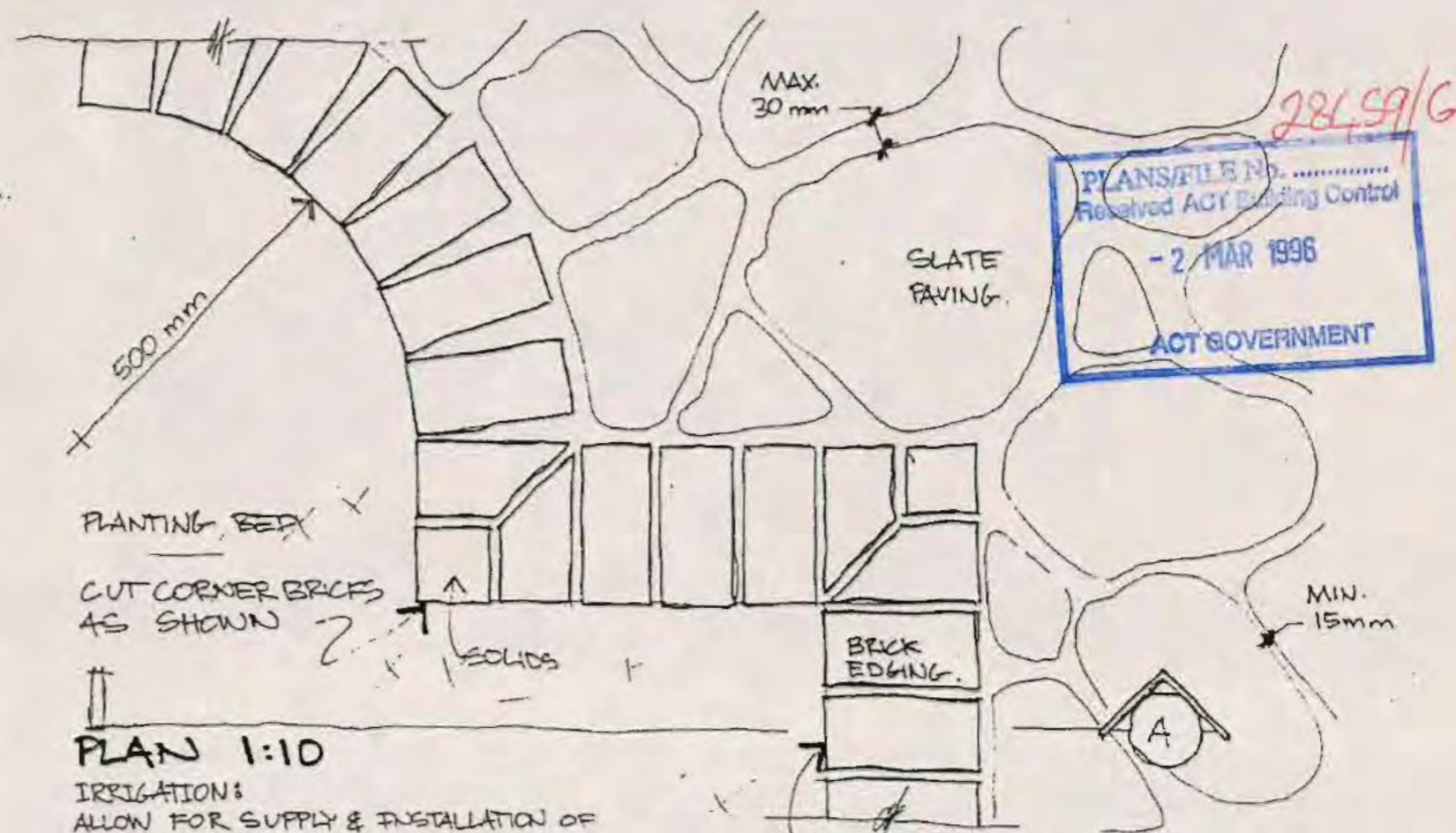
DETAIL C 1:10

DETAIL A 1:10

	The Expert Client	DESCRIPTION	SHEET	JOB
		DETAILS 49 WOOLNER CRT BL 5 / SEC 12	5 scale 1:10 date Jan '96	GOURLAY TERRACE Dwg no. 96/20



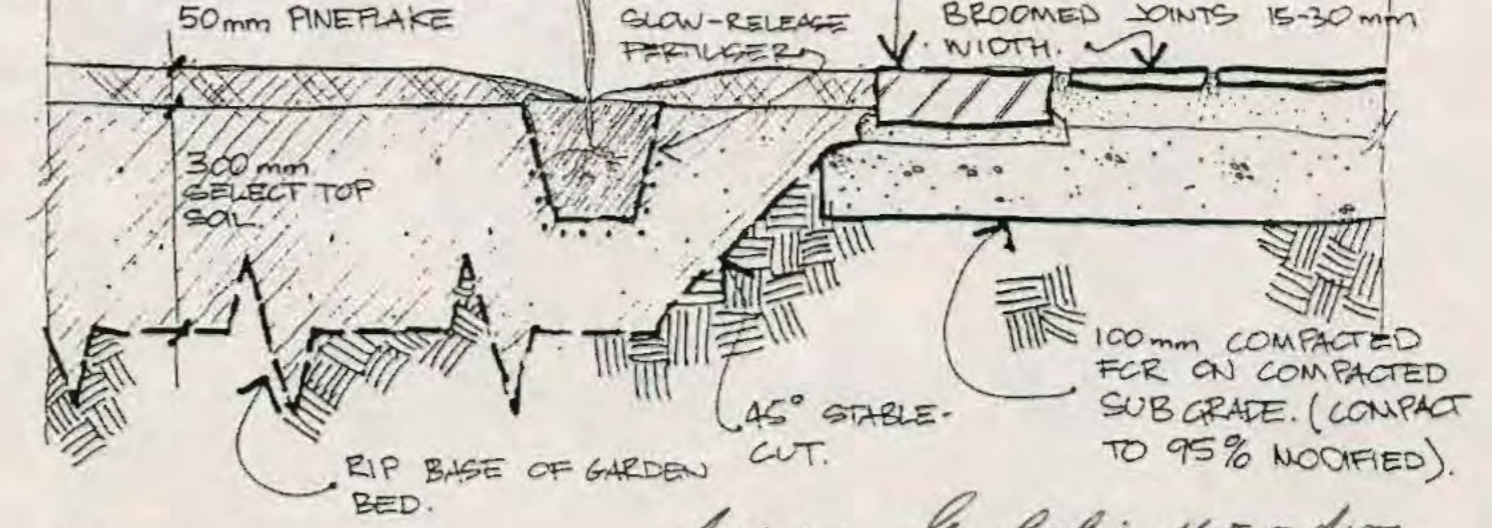
DETAIL 1:10



PLANS/FILE NO.
 Received ACT Building Control
 - 2 MAR 1996
 ACT GOVERNMENT

PLAN 1:10

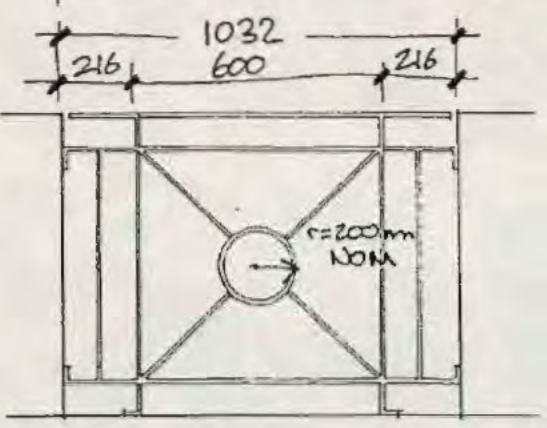
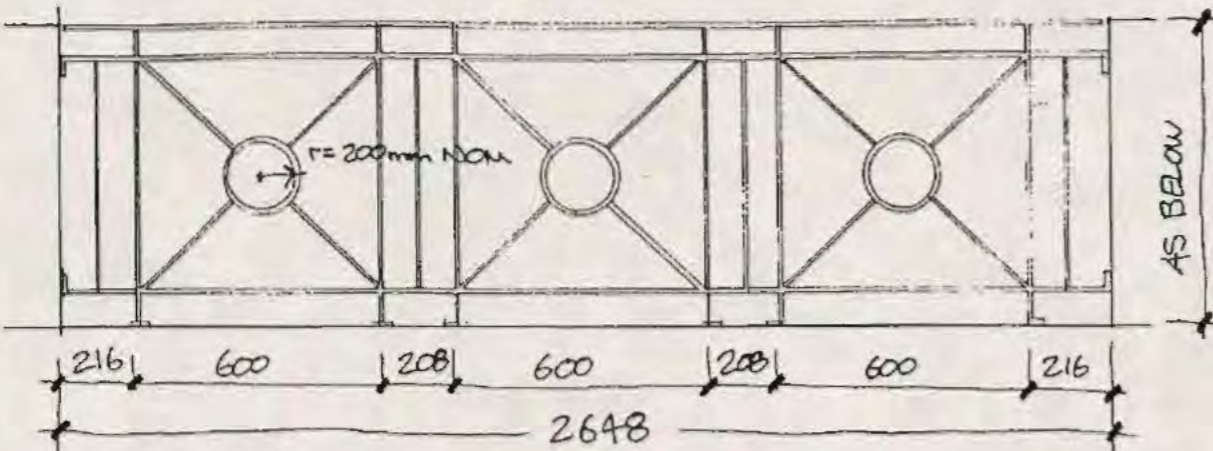
IRRIGATION:
 ALLOW FOR SUPPLY & INSTALLATION OF
 2 N° HARDIE POPE GARDEN BED &
 BORDER KITS. PLUS MANUAL TIMER.
 CONCEAL ALL PIPE RUNS UNDER
 MULCH & PAVING. INSTALL
 SPRINKLERS/DRIPS
 AT RECOMMENDED
 SPACINGS. ALL IN ACCORDANCE
 WITH MANUFACTURERS INSTRUCTIONS.



DETAIL 1:10

Approved *Ken Purkin M.E.E. DIST*
 2/12/96

	The Expert Client	DESCRIPTION	SHEET	JOB
		DETAILS 49 WOOLNER CRT HAWKER : BL5/SECT	6 scale 1:10 date Jan '96	GOURLAY TERRACE Dwg no 96/21

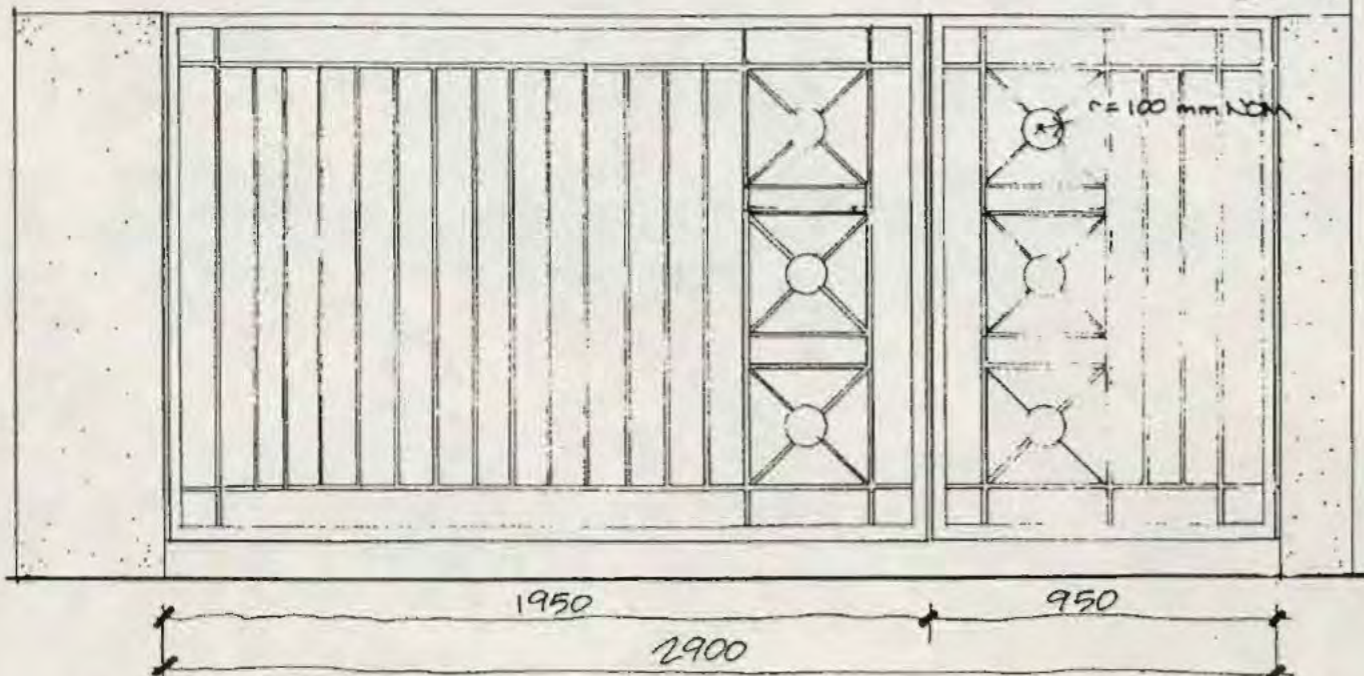


- ALL BARS TO BALUSTRADE 40x8 FLATS
- CONFIRM OVERALL DIMENSIONS ON SITE.

BALUSTRADE DETAILS 1:20



PLAN 1:20



ELEVATION 1:20

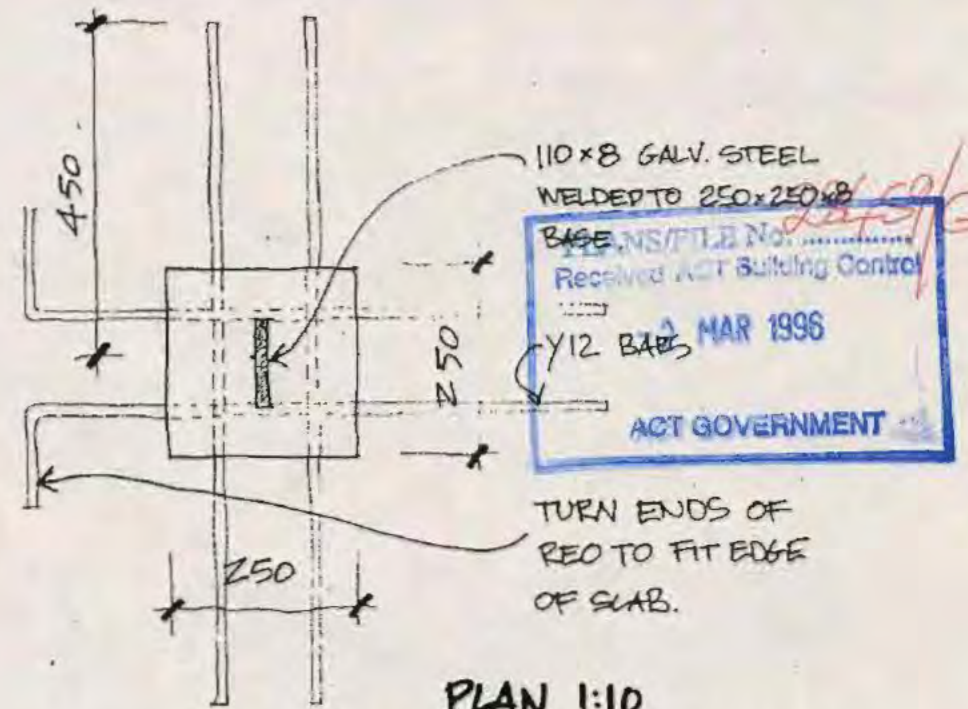
BALUSTRADE & GATE

METALWORK: KEEP EDGES & SURFACES CLEAN, NEAT & FREE FROM BURRS & INDENTATIONS. REMOVE SHARP EDGES WITH OUT EXCESSIVE RADIUSING. FINISH WELDS BY GRINDING & BUFFING PRIOR TO PAINTING.

FIXING: ALLOW FOR THERMAL MOVEMENT WHEN FIXING. FIX SECURELY WITH MASONRY ANCHORS.

FINISH: PREPARE, PRIME & PAINT SURFACES IN ACCORDANCE WITH DULUX SPECIFICATION: DU SPEC 62A SUITABLE FOR FULL GLOSS ENAMEL PAINT, BLACK

GATE HARDWARE: SUPPLY & INSTALL PIVOT HINGES, AS SHOWN. SUPPLY & INSTALL "PROGRESSIVE CONTROLS" MGL2* REMOTE CONTROL BOX & MANUAL CONTROL SWITCHES. ALLOW FOR MANUAL OVERRIDE SWITCH LOCATED IN FAMILY ROOM ABOVE.



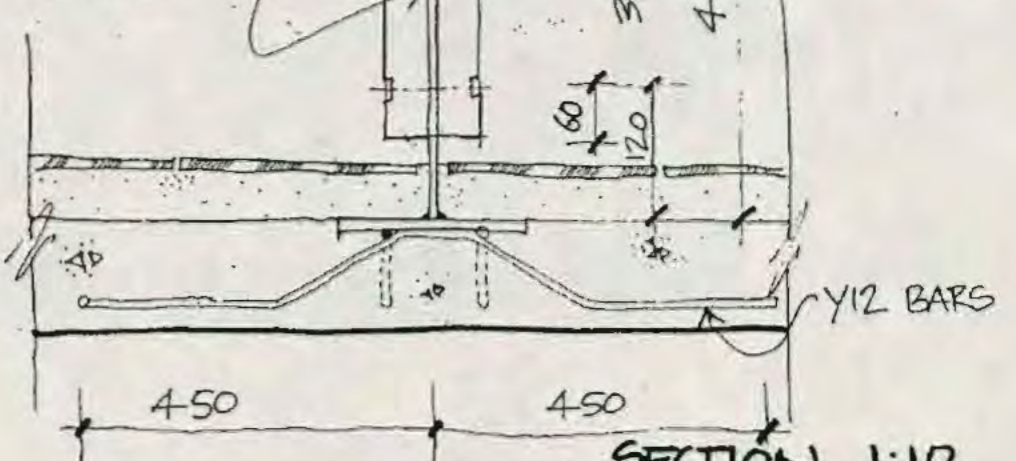
PLAN 1:10
PERGOLA POST BASE.



EX 125 x 125 OREGON POST.

SECURELY FIX RC BLOCK PIER TO EXISTING WALL

110x8 GALV. STEEL.



SECTION 1:10
PERGOLA POST BASE.

Approved
K. W. Lockhart
M.S.E. Arch
2/4/96

The Expert Client	DESCRIPTION	SHEET	JOB
	DETAILS	7	GOURLAY TERRACE
	#9 WOOLNER CRT	scale as noted	Dwg no. 96/22
	HAWKER: BLS/SEC12	date Jan '96	

OFFICE USE ONLY

APPLICATION DETAILS		FEES FOR THIS APPLICATION	
DARTS number	961539	Plan / Permit	\$ 200.00
BRIMS number		Design & Siting	\$ 110.00
TRIMS number	2849/G	Owner Builder	\$
		Fire Brigade	\$
		Notice of Intention	\$
Received by		Other fee	\$
Received date	1/1	Total fee	\$ 310.00

APPROVAL RECORDS

Project Item	Licence Class	Occupancy Class	Construction Type	Design & Siting Approved	Heritage Works Approved	Building Plan Approved	Indemnity Insurance Required	Building Permit Approved	Indemnity Insurance Received
1.				<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2.				<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3.				<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.				<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5.				<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6.				<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

[Signature]
Delegate (Design & Siting)

[Signature]
Deputy Building Controller (Plan/Permit)

PRIVACY NOTE

The information on this form is usually provided to ACT Government and non-Government agencies and the Australian Bureau of statistics to assist in processing your application and for statistical purposes. This is authorised by the Land (Planning and Environment) Act 1991, the Building Act 1972, the Buildings (Design and Siting) Act 1964 and the Census and Statistics Act 1905 (C'th). All of this information is accessible by the Australian Taxation Office (ATO), Australian Federal Police (AFP) and other ACT Government agencies which have regulatory function and the ACT Waste Management contractor. All public Register information which consists of Land description, names and addresses of lessees and each application, alteration or correction, approval and order is available to non-government persons and organisations. A fee is usually payable for the supply of extracts or copies of the publicly available information.

Office Addresses

Land & Planning Shopfront
(Design and siting only)
Ground floor, John Overall Offices
220 Northbourne Avenue
Braddon ACT
Phone: 20 71926 Fax: 20 71925
GPO Box 1908 Canberra ACT 2601

BEPCON Mitchell Office
Ground floor, Mitchell Business Centre
Cnr Lysaght & Hoskins Streets
Mitchell ACT
Phone: 207 6262 Fax: 207 6258
GPO Box 1908 Canberra ACT 2601

SOUTH REGION

BEPCON Woden Office
Callam Offices Block B Level 1
Easty Street
Phillip ACT
Phone: 207 6277 Fax: 207 7475
GPO Box 1908 Canberra ACT 2601

BEPCON Counter
ACT Government Counter
Homeworld Centre
Anketell Street, Greenway
Phone: 207 5969 Fax: 207 5955
GPO Box 1908 Canberra ACT 2601



ACT Building, Electrical & Plumbing Control (BEPCON) and ACT Planning Authority

28489 72

Building Application

- Use this form for
- All single residential building approvals (including Heritage Works).
 - Any application that already has Design & Siting approval

Applications involving multi unit developments or non residential projects require design & siting approval prior to building approval. If you require advice, please contact one of our offices listed on the back page of this form.

Section 1 Site Details

Block	Section	Unit (if applicable)	Suburb
5	12		HAWKER
Street Address			
49 WOOLNER CIRCUIT			

Section 2 Type of Application Please tick appropriate box(es)

Approval is required for:	Is this for:
Design & Siting <input checked="" type="checkbox"/> Complete Sections 1, 3, 5, 6, 7.	A New Project <input checked="" type="checkbox"/>
Heritage Works <input type="checkbox"/> Complete Sections 1, 3, 5, 6.	An Amendment to a plan <input type="checkbox"/> <small>If the amendment or detail is in response to a Departmental request you must attach a copy of the letter.</small>
Building Plan <input checked="" type="checkbox"/> Complete Sections 1, 3, 4, 5, 6, 7.	Requested details <input type="checkbox"/>
Building Permit <input checked="" type="checkbox"/> Complete Sections 1, 4, 5, 7, 8, 9.	

Section 3 Applicant Details

Surname or Company Name	First Name or Initials	Phone Number (business hours)
GOURLAY	HELEN F	2545212
If Company, Name of Contact Person	First Name or Initials	Fax Number
		2545212
Postal Address	Signature	
49 WOOLNER CIRCUIT HAWKER Postcode 2614	Helen F. Gourlay 214196	

Section 4 Builder Details If same as applicant write 'AS ABOVE'

Surname or Company Name	First Name or Initials	Phone Number (business hours)
If Company, Name of Contact Person	First Name or Initials	Fax Number
Postal Address	Signature	
	1 1	

Section 5 Lessee (Owner) Details If same as applicant write 'AS ABOVE'

1st Lessee (If there are more than two lessees, please attach details) All lessees must sign Application

Surname or Company Name	First Name or Initials	Phone Number (business hours)
GOURLAY	HELEN F	2545212
If Company, Name of Contact Person	First Name or Initials	Fax Number
		2545212
Postal Address	Signature	
49 WOOLNER CIRCUIT HAWKER Postcode 2614	Helen F. Gourlay 214196	

2nd Lessee

Surname or Company Name	First Name or Initials	Phone Number (business hours)
If Company, Name of Contact Person	First Name or Initials	Fax Number
Postal Address	Signature	
	1 1	

Please Note: This information may be given to Government and Non Government Agencies. See PRIVACY NOTE on back page.

9 5,000 RNAA

Section 6 Plan Details - answer relevant details

Design & Siting

Does this application vary in any way from the relevant performance measures either in the Design & Siting Code or Development Conditions?

No If YES, this application may require Public Notification. Please give details of non compliance.
 Yes

Is this application for a new dwelling?

No If YES, you will require an energy rating by an accredited assessor under the ACT House Energy Rating Scheme.
 Yes

Heritage

Is this property listed on either the 'Interim Heritage Places Register' or the 'Heritage Places Register'?

No
 Yes

Privacy

Do you wish to exclude any part of your application from public inspection?

No If YES, all Design & Siting and Heritage applications are available for public inspection. If you want to exclude any part of your application you must complete a Request for Exemption from Public Inspection form. Specific criteria apply.
 Yes

Building

Will this project involve the use of any adjacent unleased Territory land?

No If YES, you will require permission to use any unleased Territory land. Please provide details of the area and the proposed use. Application forms for use of unleased Territory land are available at the counter.
 Yes

Does the site have a slope of greater than 1 in 15?

No If YES, you must provide erosion and sediment control measures during the construction phase including landscaping. Please indicate on the site plan what control measures will be put in place. If you are not sure please ask for a copy of the Erosion Control on Building Sites brochure. Licensing arrangements may apply.
 Yes

Plan Dispatch

What would you like us to do with the Plans when they are approved?

Post We will mail to applicant's address.
 Hold We will advise the applicant by phone to collect.

Public Notification

I request that the ACT Government erect the sign/s required by the public notification process associated with the application.

No
 Yes

Section 7 Project Details

Describe each item of building work involved in this application (eg 1. New Residence, 2. Metal Garage, 3. Inground Pool)	Occupancy Class (1 to 10)	Construction Type (A, B, or C)	Area or Linear Metres	Cost of Works
1. Elevated Concrete Terrace Slab			27.4 ^{5.1}	\$ 5000
2.				\$
3.				\$
4.				\$
5.				\$
6.				\$
Total				\$ 5000

Section 8 Building Permit Details

Builder

Licensed Builder

Licence number _____ Licence class _____

OR

Owner Builder

Name _____

Please attach a summary of experience, skills and references to support this application. You should also make yourself aware of Workers' Compensation requirements.

Indemnity Insurance (only applicable to licensed builders for work up to 3 storeys)

Is any of the work valued over \$5,000 and of class 1 or 2 occupancy?

No
 Yes You must provide an Indemnity Insurance Policy with this permit application

Do you want to select the engineering option?

No If YES, you will be required to provide an engineer's certification for any footings or ground floor slabs including site classification. This applies to those projects where AS 2870 Residential Footings and Slabs is used. You must notify BEPCON when you reach inspection stage.
 Yes

Permit Items

Is this permit application for all of the building works as shown on the plan?

No If NO, specify the items of building work to be covered by this permit.
 Yes

Permit Duration

I require this permit to be issued for:

6 months 1 year 2 years 3 years

Other (please specify) _____

A Building Permit may be issued for a maximum of 3 years, subject to any lease covenant completion date that may apply.

Permit Dispatch

What would you like us to do with the Permit when it is approved?

Post We will mail to builder's address.
 Hold We will advise the builder by phone to collect.

Section 9

Permit related details required by Australian Bureau of Statistics

Residential

Separate house
 Flat, unit, apartment
 Detached dual occupancy
 Duplex, semi detached row / terrace / townhouse

Other (specify) _____

Non-residential

Hotel Educational
 Shop Religious
 Factory Entertainment
 Office Recreational
 Health

Other (specify) _____

Other Information

Number of new additional dwellings _____

Number of storeys (include ground floor exclude basement) _____

Main Materials Used

Ground floor

Concrete
 Timber
 Other (specify) _____

External walls

Brick veneer
 Double brick
 Timber
 Other (specify) _____

Building frame

Timber
 Steel
 Aluminium
 Other (specify) _____

Roof

Tiles
 Steel
 Aluminium
 Other (specify) _____

2/2 picked up

BUILDING CONTROL PLAN LODGEMENT SHEET

Lodgement date - 2/4/96 Approve by date / /

BLOCK . 5 SECTION . . . 12 SUBURB . HAWKER

Description of work NEW PATIO & PERGOLA

30/4

Authority	Date sent	Date returned
NCPA []		
ACTPA: (New work) Blue Form [X]		
ACTPA: (Amendment) Buff Form []		
ELECTRICAL [X]	2/4/96	
SEWERAGE & WATER [X]		
STORMWATER [X]		
ROAD MAINTENANCE []		
FIRE BRIGADE []		
HEALTH []		
WASTE MANAGEMENT []		
TRAFFIC CONTROL []		
ENVIRONMENT []		
TELECOM/OPTUS []		
DANGEROUS GOODS []		
TECHNICAL OFFICER []		

- Soil Test Certificate is attached []
- Application form has been fully completed []
- Floor areas calculated and are correct []
- Value of work/fees calculated and are correct []
- Townhouse/Dual Occ has ACTPA approval []
- Townhouse/Dual Occ has Leasing approval []
- Townhouse/Dual Occ has Unit Title boundaries & Unit Numbers []
- Technical details on plans are complete []
- Commercial plans have ACTPA, Leasing, Traffic & Roads approval []
- The plans are approvable []
- This application is entered on todays lodgements list []

Plans checked by  Date 2/4/96



A.C.T. Building Control - Design Check Certificate of Structural Sufficiency

73

Block <i>5</i>	Section <i>12</i>	Suburb <i>HAWKER</i>
-------------------	----------------------	-------------------------

Lessee's or Permit holder's name
H. F. GOULWAY 49 WOODNER CT. HAWKER

Description of Building Work:
(Please tick appropriate box)

New Work Additions/Alterations Alterations Others

I certify that:

1. I have checked the structural design computations for the the building named above and/or the following components and of their supporting elements of the building named above.

*FOOTINGS, SUPPORTING STEEL BEAMS, FLOOR SLAB
AND BONDEN, PERGOLA STRUCTURE.*

2. In checking the structural design, I have paid attention to the integrity of the building under normal loading conditions relevant for this type of structure. The strength requirements and serviceability requirements of the building and its structural elements comply with the Building Code of Australia and all relevant SAA Codes (including AS 2121 Earthquake Code - Canberra - ZONE 'A')

3. This Certificate applies to the following Drawings (numbers)

and computations endorsed and signed by me. The documents adequately convey the structural design intentions for the construction of this structure.

Declaration

4. I am practising structural engineer as defined in the ACT Building Act [Section 53(1) states: Practising Structural Engineer' means an engineer with qualifications in structural engineering which are acceptable to the Institution of Engineers, Australia, for the Grade of Corporate Member and who is actively engaged in structural design and supervision of building construction].

Signature *G. M. LORREN* *21st 196*

Qualifications: M.I.E. Aust. or eligible for this grade (please indicate) *M.I.E. Aust.*

Name of Engineer *G. M. LORREN* *M.I.E. Aust.*
(please print)

Address *19/23 JONDAL PLACE ISOBELLA PLAINS ACT*

Telephone *2910256 015269230*

Note: All documents covered by this Certificate should be endorsed and signed by the Engineer. (Original signature in ink - no photocopies or facsimiles accepted)

Plan Acknowledgement

DATE LODGED: 02APR90

DIVISION: SECTION: BLOCK:
HAWKER 14 0

UNIT: OTHER UNIT:

PLAN SEQUENCE NUMBER: 52497
PROJECT NUMBER: 41578

ITEMS NUMBER: 28459 PLAN ID: 0

DESCRIPTION OF WORK

CONCRETE TERRACE

THIS IS AN ACKNOWLEDGEMENT FOR : A NEW PLAN

APPROVAL DUE DATE : 10APR90 RESIDENTIAL PLAN

CLIENT DETAILS : NAME NUMBER : 17942
MS MR GUUKLAI
49 WOOLLEN CIRCUIT
HAWKER ACT 2014

ACT Building Control Offices

North Office
Sir Mitchell Business Centre
Lysaght & Hoskins Streets
GPO Box 158 Canberra ACT 2601
Telephone: 2076262
Facsimile: 2076256

South Office
Old Woden TAFE
Block B, Level 1
GPO Box 158, Canberra, 2601
Telephone: 2076277
Facsimile: 2077479

Licensing Office
Old Woden TAFE
Block B, Level 1
GPO Box 158, Canberra, 2601
Telephone: 2076309
Facsimile: 2078289

Tuggeranong Office
Transport & Works Depot
Cnr Scollay & Oakden St
GPO Box 158, Tuggeranong 2501
Telephone: 2075968
Facsimile: 2075955

ACT Building Control

North Area Office

Corner Lysaght and Hoskins Streets

MITCHELL ACT 2911

PO Box 1908, Canberra City ACT 2601

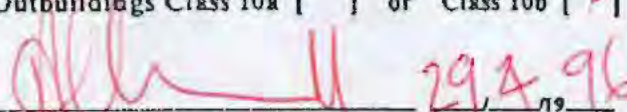
Telephone: 207 6262 Facsimile: 207 6258

APPROVED FOR CONSTRUCTION BY THE HOLDER
OF A CLASS " **C** " LICENCE.

CLASS OF OCCUPANCY

Residence Class 1 []

Outbuildings Class 10a [] or Class 10b []

 29/4/96
DEPUTY BUILDING CONTROLLER

This approval is valid for 12 months

Valuation: \$ 5000

Plan Number: 28459/9

Attention Permit Holder/Applicant

The plans have been approved subject to building work being in accordance with the Building Code of Australia and ACT Appendix, as well as any approved modifications. Construction to comply with the approved plans, including notations and any matters specified on the building permit.

The approval of plans or the grant of a building permit does not affect the operation of any other law in the Territory, nor does it authorise the use of land contrary to a provision, covenant or condition of lease.

To assist the building inspector and others to locate your site it is requested that you display the name of the PERMIT HOLDER and the BUILDERS LICENCE NUMBER together with the BLOCK AND SECTION at the front of the building site in letters at least 100mm high.

Additions, alterations or demolition work must not be commenced until the presence of asbestos has been checked. See Building Note 16 or discuss with the Asbestos Control Office on telephone 207 6326.

On-site toilets must be provided on all building sites under the Public Health (General Sanitation Regulations). For advice contact Public and Environmental Health on 205 1700.

It is an offence under the ACT Water Pollution Act to discharge water from construction sites, where vegetation is disturbed, other than in an approved way. For advice contact the Pollution Control Authority on telephone 207 2155.

All material and equipment is to be confined to the leased area. Applications to use unleased land are to be lodged with ACT Building Control.

If any of the following boxes are ticked, the permit holder is to note the instructions in the related paragraph.

- No survey certificate is required, the lessee/builder is responsible for correct siting
- Plans indicate new work so a new Building Permit is required
- Approval of the footings and slabs is given subject to lodgement of engineer certification.

In the past ACT Building Control has experienced difficulty in certain problem areas of building work. For this reason the Permit Holder is to take special care in the following, as may be relevant to this project.

1. No part of the excavation, structure or its footing is to encroach the site boundary.
2. Natural ground levels at site boundaries and easements shall not be altered. Retaining walls may be required.
3. Footings shall be taken down to stable foundation material. Engineers certification may be requested.
4. The sub-base supporting concrete floors is to be compacted. Fill depth is not to exceed 400mm without approval. A compaction certificate may be requested.
5. Timber frame construction must comply with AS 1684 and relevant supplements.
6. Lintel sizes must comply with truss manufacturers charts, AS 1684 or as per special approved detail where given.
7. Some permit holders when building extensions, forget to maintain cavity construction where new work joins existing. Remember to maintain cavity construction.
8. Provide sarking and anti ponding boards where the roof pitch makes this necessary.
9. Provide through and stepped flashings to all exposed gables and brickwork.
10. Chimney tray and parging to be correctly installed to brick fireplace.
11. Light and ventilation must comply with Part F4 of the Building Code of Australia.
12. Construction of steps, landings and balustrades must comply with Part D2 of the Building Code of Australia.
13. Fire separation of Class 1 & 10 buildings to comply with specification C1.9 of the Building Code of Australia.
14. Where surface water is likely to be a problem, surface drainage is to be provided and connected to the storm water line via a silt trap.
15. Provide underground service conduits as per ACTEW drawing 8912-02. Meter box to have panel of minimum size 575mm x 355mm (meter only) or 575mm x 565mm (meter and switchboard).
16. Installation of smoke alarms is mandatory see Building Note 19.
17. Mandatory Insulation is required see Building Note 21.
18. Termite protection required see Building Note 3.
19. The drive entrance is not approved by Building Control. You must comply with the requirements of Traffic and Roads Section phone 207 6597.
20. Swimming pool fences/gates to comply with AS 1926.
21. The installation of a fireplace is to comply with Part G2 & ACT G2 of the Building Code of Australia.

Permit Holder: It is compulsory for you to correctly complete the Notification and Compliance Statement for each stage and to lodge it with ACT Building Control at the correct time.



Building Application

- Use this form for
- All single residential building approvals (including Heritage Works),
 - Any application that already has Design & Siting approval

20707
 JAC
 222
 01-96 8:49 AM
 If the amendment or detail is in response to a Departmental request you must attach a copy of the letter.

Applications involving multi unit developments or non residential projects require design & siting approval prior to building approval. If you require advice, please contact one of our offices listed on the back page of this form.

Section 1 Site Details

Block 5	Section 12	Unit (if applicable)	Suburb HANKER
-------------------	----------------------	----------------------	-------------------------

Street Address

Section 2 Type of Application Please tick appropriate box(es)

Approval is required for: Design & Siting <input type="checkbox"/> Complete Sections 1, 3, 5, 6, 7. Heritage Works <input type="checkbox"/> Complete Sections 1, 3, 5, 6. Building Plan <input type="checkbox"/> Complete Sections 1, 3, 4, 5, 6, 7. Building Permit <input checked="" type="checkbox"/> Complete Sections 1, 4, 8, 7, 8, 9.	Is this for: A New Project <input type="checkbox"/> An Amendment to a plan <input type="checkbox"/> Requested details <input type="checkbox"/>
---	--

Section 3 Applicant Details

Surname or Company Name	First Name or Initials	Phone Number (business hours)
If Company, Name of Contact Person	First Name or Initials	Fax Number
Postal Address	Signature	
Postcode	1 1	

Section 4 Builder Details If same as applicant write 'AS ABOVE'

Surname or Company Name LANGHAM CONSTRUCTIONS PTY LTD	First Name or Initials	Phone Number (business hours) 018697806
If Company, Name of Contact Person MARK LANGHAM	First Name or Initials	Fax Number (06) 2416518
Postal Address 2 PINTERRY PLACE GIRALANG A.C.T.	Signature M.A. Langham 3014196	
Postcode 2617		

Section 5 Lessee (Owner) Details If same as applicant write 'AS ABOVE'

1st Lessee (If there are more than two lessees, please attach details) All lessees must sign Application

Surname or Company Name GOURLAY	First Name or Initials HELEN	Phone Number (business hours) HM 2545212
If Company, Name of Contact Person	First Name or Initials	Fax Number
Postal Address 49 WOOLNER CRT HANKER A.C.T.	Signature X Helen J. Gourlay 115196	
Postcode 2614		

2nd Lessee

Surname or Company Name	First Name or Initials	Phone Number (business hours)
If Company, Name of Contact Person	First Name or Initials	Fax Number
Postal Address	Signature	
Postcode	1 1	

Section 6 Plan Details - answer relevant details

Design & Siting

Does this application vary in any way from the relevant performance measures either in the Design & Siting Code or Development Conditions?

- No *If YES, this application may require Public Notification. Please give details of non compliance.*
 Yes

Is this application for a new dwelling?

- No *If YES, you will require an energy rating by an accredited assessor under the ACT House Energy Rating Scheme.*
 Yes

Heritage

Is this property listed on either the 'Interim Heritage Places Register' or the 'Heritage Places Register'?

- No
 Yes

Privacy

Do you wish to exclude any part of your application from public inspection?

- No *If YES, all Design & Siting and Heritage applications are available for public inspection. If you want to exclude any part of your application you must complete a Request for Exemption from Public Inspection form. Specific criteria apply.*
 Yes

Building

Will this project involve the use of any adjacent unleased Territory land?

- No *If YES, you will require permission to use any unleased Territory land. Please provide details of the area and the proposed use. Application forms for use of unleased Territory land are available at the counter.*
 Yes

Does the site have a slope of greater than 1 in 15?

- No *If YES, you must provide erosion and sediment control measures during the construction phase including landscaping. Please indicate on the site plan what control measures will be put in place. If you are not sure please ask for a copy of the Erosion Control on Building Sites brochure. Licensing arrangements may apply.*
 Yes

Plan Dispatch

What would you like us to do with the Plans when they are approved?

- Post *We will mail to applicant's address.*
 Hold *We will advise the applicant by phone to collect.*

Public Notification

I request that the ACT Government erect the sign/s required by the public notification process associated with the application.

- No
 Yes

Section 7 Project Details

Describe each item of building work involved in this application (eg 1. New Residence, 2. Metal Garage, 3. Inground Pool)	Occupancy Class (1 to 10)	Construction Type (A, B, or C)	Area or Linear Metres	Cost of Works
1. <i>Partio + Pergola</i>	<i>10b</i>			<i>\$ 5,000</i>
2.				\$
3.				\$
4.				\$
5.				\$
6.				\$
Total				\$

Section 8 Building Permit Details

Builder
 Licensed Builder
 Owner Builder

Licence number 5073C Licence class _____

Name _____

Please attach a summary of experience, skills and references to support this application. You should also make yourself aware of Workers' Compensation requirements.

Indemnity Insurance (only applicable to licensed builders for work up to 3 storeys)

Is any of the work valued over \$5,000 and of class 1 or 2 occupancy? No Yes You must provide an Indemnity Insurance Policy with this permit application

Do you want to select the engineering option? No If YES, you will be required to provide an engineer's certification for any footings or ground floor slabs including site classification. This applies to those projects where AS 2870 Residential Footings and Slabs is used. You must notify BEPCON when you reach inspection stage. Yes

Permit Items

Is this permit application for all of the building works as shown on the plan? No If NO, specify the items of building work to be covered by this permit. Yes

PROPOSED TERRACE / PERGOLA ONLY.

Permit Duration

Require this permit to be issued for: 6 months 1 year 2 years 3 years

Other (please specify) _____ A Building Permit may be issued for a maximum of 3 years, subject to any lease covenant completion date that may apply.

Permit Dispatch

What would you like us to do with the Permit when it is approved? Post We will mail to builder's address. Hold We will advise the builder by phone to collect.

Section 9 Permit related details required by Australian Bureau of Statistics

Residential

Separate house
 Flat, unit, apartment
 Detached dual occupancy
 Duplex, semi detached row / terrace / townhouse

Other (specify) _____

Non-residential

Hotel Educational
 Shop Religious
 Factory Entertainment
 Office Recreational
 Health

Other (specify) _____

Other Information

Number of new additional dwellings _____
 Number of storeys (include ground floor exclude basement) _____

Main Materials Used

Ground floor

Concrete
 Timber
 Other (specify) _____

External walls

Brick veneer
 Double brick
 Timber
 Other (specify) _____

Building frame

Timber
 Steel
 Aluminium
 Other (specify) _____

Roof

Tiles
 Steel
 Aluminium
 Other (specify) _____

OFFICE USE ONLY**APPLICATION DETAILS****FEES FOR THIS APPLICATION**

DARTS number		Plan / Permit	\$
BRIMS number		Design & Siting	\$
TRIMS number		Owner Builder	\$
		Fire Brigade	\$
		Notice of Intention	\$
Received by		Other fee	\$
Received date	/ /	Total fee	\$

APPROVAL RECORDS

Project Item	Licence Class	Occupancy Class	Construction Type	Design & Siting Approved	Heritage Works Approved	Building Plan Approved	Indemnity Insurance Required	Building Permit Approved	Indemnity Insurance Received
1.				<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2.				<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3.				<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.				<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5.				<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6.				<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

 Delegate (Design & Siting)

 Deputy Building Controller (Plan/Permit)

PRIVACY NOTE

The information on this form is usually provided to ACT Government and non-Government agencies and the Australian Bureau of statistics to assist in processing your application and for statistical purposes. This is authorised by the *Land (Planning and Environment) Act 1991*, the *Building Act 1972*, the *Buildings (Design and Siting) Act 1964* and the *Census and Statistics Act 1905* (C'th). All of this information is accessible by the Australian Taxation Office (ATO), Australian Federal Police (AFP) and other ACT Government agencies which have regulatory function and the ACT Waste Management contractor. All public Register information which consists of Land description, names and addresses of lessees and each application, alteration or correction, approval and order is available to non-government persons and organisations. A fee is usually payable for the supply of extracts or copies of the publicly available information.

Office Addresses

Land & Planning Shopfront
 (Design and siting only)
 Ground floor, John Overall Offices
 220 Northbourne Avenue
 Braddon ACT
 Phone: 20 71926 Fax: 20 71925
 GPO Box 1908 Canberra ACT 2601

**NORTH
 REGION**

BEPCON Mitchell Office
 Ground floor, Mitchell Business Centre
 Cnr Lysaght & Hoskins Streets
 Mitchell ACT
 Phone: 207 6262 Fax: 207 6258
 GPO Box 1908 Canberra ACT 2601

**SOUTH
 REGION**

BEPCON Woden Office
 Callam Offices Block B Level 1
 Easty Street
 Phillip ACT
 Phone: 207 6277 Fax: 207 7475
 GPO Box 1908 Canberra ACT 2601

BEPCON Counter
 ACT Government Counter
 Homeworld Centre
 Anketell Street, Greenway
 Phone: 207 5969 Fax: 207 5955
 GPO Box 1908 Canberra ACT 2601



Certificate of Site Classification

Name of lessee/owner of the site (please print clearly) <i>H. GOURLAY</i>		Address <i>49 WOODWEN CT. HAWKER ACT</i>		
Telephone Work	Home	Description of the site where building work is to be carried out Division (Suburb) <i>HAWKER</i>	Section <i>12</i>	Block <i>5</i>

Description of Building Work

New Residence Garage/Carport

Alteration/Additions to Residence Other (Please describe)

In investigation of the site to determine the classification, I used the following procedure:	Classification of foundation material - AS 2870.1 Clause 2.1.1	
	Foundation	Class (In accordance with AS 2870)
One or more bore holes or trench pits and examination of the soil profile; <input checked="" type="checkbox"/>	Most sand and rock sites Most silt and some clay sites Moderately reactive clay sites Highly reactive clay sites Extremely reactive clay sites Filled sites Nominate Class Problem sites which include soft soils such as soft clays, silts or loose sands; land slip; mine subsidence: collapsing soil; soil subject to erosion.	A <input type="checkbox"/>
Footing excavation and the examination of the soil profile; <input type="checkbox"/>		S <input checked="" type="checkbox"/>
Laboratory testing of soil samples; <input type="checkbox"/>		M <input type="checkbox"/>
Existing building records and local knowledge of soil conditions. <input type="checkbox"/>		H <input type="checkbox"/>
		E <input type="checkbox"/>
		P <input type="checkbox"/>

The recommended footing and slab system in accordance with AS 2870.1 is: (or attach specific design details)
400 x 400 FOOTING 4 BAR FILL TOP AND BOTTOM

EXCAVATE FOOTING TO SOUND BASE

The recommended level of underside of footing below natural ground level (ie: footing/ founding depth) is: metres

Declaration

I declare that I am a Practising Professional Engineer: Civil Structural Geotechnical

I am a qualified engineering geologist with experience in site investigation and classification

Name of Classifier *G. H. LORRIN* Signature *G. H. Lorrin* 2/15/96

Address *19/23 JONSON PLACE WARRAWONG ACT* Postcode *2905*

Contact Telephone *290256 015268230.* Facsimile _____



A.C.T. Building Control - Inspection Certificate of Structural Sufficiency

Block	Section	Suburb	Approved Plan Number	Permit Number
5	12	HAWKER	28459/G	

Lessee's or Permit holder's name
M. LANGHAM 2 Purcell St. GARDEN ACT

Description of Building Work:
(Please tick appropriate box)

New Work Additions/Alterations Existing/Approved Existing/unapproved

I certify that:

1. I have inspected the above building work and / or the following components and their supporting elements.
(Please describe)

*FOOTINGS EXCAVATED TO BED ROCK, 400 x 400 FOOTINGS ON
MASS CONCRETE 1 Layer 4 BAR F12 TH TOP AND BOTTOM
SATISFACTORY*

and that to the best of my knowledge that building work is structurally sufficient, sound and stable for the purpose for which it is to be occupied and used [pursuant to Section 53.(9)(d) of the A.C.T. Building Act].

2. This certificate applies to the following approved / unapproved structural drawings (list drawing numbers and titles):

3 (a). In inspecting the building work, I have paid attention to the structural integrity of the building. The strength requirements and serviceability requirement of the building and its structural elements comply with the A.C.T. Building Manual / Building Code of Australia (delete which not applicable) and relevant SAA Codes.

OR

3 (b). Although the building work does not comply with the A.C.T. Building Manual / Building Code of Australia (delete that which is not applicable) and the relevant SAA codes, it is structurally sufficient, sound and safe for the purpose for which it is to be occupied or used, as supported by the attached relevant computations and test results.

Declaration

4. I am a practising structural engineer as defined in the A.C.T. Building Act. [Section 53(1) states: 'Practising Structural Engineer' means an engineer with qualifications in structural engineering which are acceptable to the Institution of Engineers, Australia, for the Grade of Corporate Member and who is actively engaged in structural design and supervision of building construction].

Signature *G.H. Larkin* 315 196

Name of Engineer *G.H. Larkin M.I.E. Aust*
(please print)

Qualifications: MIE Australia or eligible for this grade

Address *19/23 JAMES ROSE ISABELLA PARK ACT*

Telephone *2910356 015268230*

No photocopies or facsimiles accepted



Permit to Carry Out Building Work

SIR M A LANGHAM
2 PINEBERRY PLACE
GIRALANG ACT 2617

PERMIT HOLDER: MR M A LANGHAM

NOMINEE:

DIVISION:	SECTION:	BLOCK:	UNIT:
HAWKER	14	5	

PERMIT ISSUED: 08MAY96 Lapse Date: 08NOV96 COST: \$5,000.00

builder's Licence Class: 0 Licence Number: 5073
Project Number: 41579

Plan id's included in permit: 0

DESCRIPTION CONCRETE TERRACE
of WORK:

ENDORSEMENTS:

Inspection Stages

Permit holders must notify the Building Controller of each stage reached during construction as follows:

Residential Buildings

Schedule of Inspection Stages

Dwellings	Garages/Carports	Swimming Pools	Pergolas/Decks Retaining Walls
Excavations	Footings	Concrete/Framing	Footings
Footings/Slabs	Slab	Final	Final
Floor Framing	Presheet		
Presheet/Stormwater	Final		
Final			

Commercial Buildings

As listed in the schedule to the ACT Building Act 1972

1. Excavations for footings before any reinforcements or mass concrete is placed.
2. Reinforcements before any concrete is placed.
3. Damp-proofing, tanking and flashing before covering or building in.
4. Structural steelwork before building in, covering, encasing, plastering, lining or coating.
5. Stormwater drainage before backfilling.
6. Floor framing before floors are laid or ceilings are lined.
7. Supports for suspended and false ceilings before those ceilings are fixed or lined.
8. Roof framing before ceilings are lined or roof-covering is fixed.
9. Timber-framed walls before sheeting or lining.
10. Fire-protective encasing, plastering, lining or coating before covering or building in.
11. Connections between pre-cast concrete building units and between those units and the structural frame of the building before covering or building in.
12. Duct systems before covering or building in.

Building Controller



A.C.T. Building Control - Inspection Certificate of Structural Sufficiency

Block <i>5</i>	Section <i>12</i>	Suburb <i>HANLEE</i>	Approved Plan Number <i>28459/6</i>	Permit Number
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Lessee's or Permit holder's name
M. LANCHAM 2 INTERIM PLACE GRADING ACT

Description of Building Work:
(Please tick appropriate box)

New Work Additions/Alterations Existing/Approved Existing/unapproved

I certify that:

1. I have inspected the above building work and / or the following components and their supporting elements.
(Please describe)

SLAB F92 MECH ON BINDER SUPPORT BEAMS 250 U.B
All Satisfactory

and that to the best of my knowledge that building work is structurally sufficient, sound and stable for the purpose for which it is to be occupied and used [pursuant to Section 53.(9)(d) of the A.C.T. Building Act].

2. This certificate applies to the following approved / unapproved structural drawings (list drawing numbers and titles):

3 (a). In inspecting the building work, I have paid attention to the structural integrity of the building. The strength requirements and serviceability requirement of the building and its structural elements comply with the A.C.T. Building Manual / Building Code of Australia (delete which not applicable) and relevant SAA Codes.

OR

3 (b). Although the building work does not comply with the A.C.T. Building Manual / Building Code of Australia (delete that which is not applicable) and the relevant SAA codes, it is structurally sufficient, sound and safe for the purpose for which it is to be occupied or used, as supported by the attached relevant computations and test results.

Declaration

4. I am a practising structural engineer as defined in the A.C.T. Building Act. [Section 53(1) states: 'Practising Structural Engineer' means an engineer with qualifications in structural engineering which are acceptable to the Institution of Engineers, Australia, for the Grade of Corporate Member and who is actively engaged in structural design and supervision of building construction].

Signature *G.N. LORRIN* *13 15 196*

Name of Engineer *G.N. LORRIN* *M.I.E. ACT.*
(please print)

Qualifications: MIE Australia or eligible for this grade

Address *19/23 Justice Place ISABELLA PLACE ACT*

Telephone *29036 01526P230*

No photocopies or facsimiles accepted



Notification and Compliance Statement

Building Act 1972



Particulars

Suburb HANKER	Section 12	Block 5	Unit
-------------------------	----------------------	-------------------	------

Permit Holder's Name MARK LANGHAM	Business (Phone) 018697806
---	--------------------------------------

Project (Permit) Number 41579	Builders Licence Number 50	Approved Plan Number 28459/G.
---	--------------------------------------	---

Inspection Stage (Describe stage using wording from the schedule)

FOOTINGS / SLAB.

Engineers Option - (Please tick this box if you are providing an Engineer's Certificate)

My engineer **GREG LORIKIN** inspected the footings/slab and certified that they are suitable.
 (Name)

Notification

I, the permit holder, hereby notify that the inspection stage described above will be ready for inspection on:

Inspection Date (Please nominate date and tick box)	Morning <input type="checkbox"/>	Afternoon <input type="checkbox"/>	Today's Date	Time:
/ /			/ /	

Compliance

I, the permit holder, hereby certify that the building work complies with the conditions under which the permit was issued as set out in Section 40 of the Building Act 1972.

Signature of Permit Holder

M. A. Long **14, 5, 96**

Schedule of Inspection Stages

Dwellings	Garages/Carports	Swimming Pools	Pergolas/Deck/Retaining/Walls
Footings	Footings	Concrete/Framing	Footings
Slab/Floor Framing	Slab	Final	Final
Presheet/Stormwater	Presheet		
Final	Final		

Office Use Only

Inspected <input type="checkbox"/>	Not Inspected <input type="checkbox"/>	Inspection Sequence No.	
Name of Inspector	Inspection Record Number	Signature of Inspector	/ /

North Area Office
 Ph: 06-20 76262
 Fax: 06-20 76258

South Area Office
 Ph: 06-20 76277
 Fax: 06-20 77475

Tuggeranong Area Office
 Ph: 06-20 75969
 Fax: 06-20 75955

Advisory Information

Building Inspections

Builders are required under the provisions of the Building Act 1972 to notify the Building Controller each time an inspection stage of the building work is reached. The inspection stages are set out in the Building Act and may be grouped together as set out in the Schedule of Building Inspections.

Builders must give at least two working days notice before the building work will be ready for inspection and plan the progress of the work accordingly. During that period the building inspector will obtain the building file and make arrangements to visit the building site on the inspection date and time as nominated by the builder.

Builders must not proceed with the building work unless the inspection has been carried out or unless 3 hours have lapsed after the nominated date and time for the inspection.

This means that when the work is ready for the inspection in the morning (ie it must be ready by 8.30am) or the afternoon (ie it must be ready by 12 noon) the work should not proceed until 11.30am or 3.00pm respectively. During this 3 hour period the building inspector will be able to check that the work complies with the approved plans and has been carried out in a skill full manner.

Engineers Option

The engineers option for footing and slab inspections is available to builders who wish to engage a practising structural engineer to carry out the inspection. In that case the builder must notify when the inspection is ready.

The original engineer's certificate must be available on site when the Notification and Compliance Statement is sent, as the building inspector may need it for verification. Unless the building inspector requests it earlier, it is to be provided to the Building Controller with the other documents attached to the application for a Certificate of Occupancy.

The engineer's certificate must certify that the footings or slab comply with the relevant conditions of the permit and confirm that the approved design of the footings or slab is suitable for the existing site conditions.

Conditions of Permit

The grant of a building permit for building work is subject to the conditions of the permit in accordance with Section 40 of the Building Act 1972.

- a. The materials used in the building work will conform to the standards for those materials as set out in the Building Code of Australia or as otherwise approved and specified in the permit by the Building Controller;
- b. The methods of use of those materials in the building work will conform to the acceptable methods of use as set out in the Building Code of Australia or as otherwise approved and specified in the permit by the Building Controller;
- c. The building work will be carried out in a proper and workmanlike manner;
- d. The building work will be carried out in accordance with the approved plans in respect of which the building permit is granted;
- e. The building work will be carried out by a person who is the holder of a builder's licence, or a building permit issued for that work endorsed under Section 39, or by a person employed by or under contract to him/her;
- f. A notice in accordance with Sub-Section 36 (5) will be given by the holder of the building permit to the Building Controller in respect of each stage in the building work specified in the permit; and
- g. The safety precautions submitted in or with the application for the building permit will be taken together with any other safety precautions that a building inspector may specify under Section 36A;

Warning

Note A person who knowingly or recklessly makes a statement to the Building Controller that is false or misleading is guilty of an offence. (Section 59A of the Building Act 1972)

Penalty

- a. Persons - imprisonment for up to 6 months, or a fine not exceeding \$5000, or both
- b. Companies - a fine not exceeding \$25000

OFFICE USE ONLY

APPLICATION DETAILS		FEES FOR THIS APPLICATION	
DARTS number	962333	Plan / Permit	\$ 200.00
BRIMS number		Design & Siting	\$
TRIMS number	28459/4	Owner Builder	\$ 140.00
		Fire Brigade	\$
		Notice of Intention	\$
Received by	AM	Other fee	\$
Received date	5/6/96	Total fee	\$ 340.00

APPROVAL RECORDS

Project Item	Licence Class	Occupancy Class	Construction Type	Design & Siting Approved	Heritage Works Approved	Building Plan Approved	Indemnity Insurance Required	Building Permit Approved	Indemnity Insurance Received
1.	D	10	N/A	4/2/93	<input type="checkbox"/>	<input checked="" type="checkbox"/>	N/A	<input checked="" type="checkbox"/>	N/A
2.				<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3.				<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.				<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5.				<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6.				<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

REFER PLANE
Delegates (Design & Siting)

3/7/96
Deputy Building Controller (Plan/Permit)
E. MILNE.

PRIVACY NOTE

The information on this form is usually provided to ACT Government and non-Government agencies and the Australian Bureau of statistics to assist in processing your application and for statistical purposes. This is authorised by the Land (Planning and Environment) Act 1991, the Building Act 1972, the Buildings (Design and Siting) Act 1964 and the Census and Statistics Act 1905 (C'th). All of this information is accessible by the Australian Taxation Office (ATO), Australian Federal Police (AFP) and other ACT Government agencies which have regulatory function and the ACT Waste Management contractor. All public Register information which consists of Land description, names and addresses of lessees and each application, alteration or correction, approval and order is available to non-government persons and organisations. A fee is usually payable for the supply of extracts or copies of the publicly available information.

Office Addresses

NORTH REGION	Land & Planning Shopfront (Design and siting only) Ground floor, John Overall Offices 220 Northbourne Avenue Braddon ACT Phone: 20 71926 Fax: 20 71925 GPO Box 1908 Canberra ACT 2601	SOUTH REGION	BEPCON Woden Office Callam Offices Block B Level 1 Easty Street Phillip ACT Phone: 207 6277 Fax: 207 7475 GPO Box 1908 Canberra ACT 2601
	BEPCON Mitchell Office Ground floor, Mitchell Business Centre Cnr Lysaght & Hoskins Streets Mitchell ACT Phone: 207 6262 Fax: 207 6258 GPO Box 1908 Canberra ACT 2601		BEPCON Counter ACT Government Counter Homeworld Centre Anketell Street, Greenway Phone: 207 5969 Fax: 207 5955 GPO Box 1908 Canberra ACT 2601



ACT Building, Electrical & Plumbing Control (BEPCON) and ACT Planning Authority *O/B Application will be posted in 5/6/96*

Building Application

- Use this form for
- All single residential building approvals (including Heritage Works).
 - Any application that already has Design & Siting approval

Applications involving multi unit developments or non residential projects require design & siting approval prior to building approval. If you require advice, please contact one of our offices listed on the back page of this form.

Section 1 Site Details

Block	Section	Unit (if applicable)	Suburb
5	12		HAWKER
Street Address			
49 WOOLNER CIRCUIT			

Section 2 Type of Application Please tick appropriate box(es)

Approval is required for:	Is this for:
Design & Siting <input checked="" type="checkbox"/> Complete Sections 1, 3, 5, 6, 7.	A New Project <input checked="" type="checkbox"/>
Heritage Works <input type="checkbox"/> Complete Sections 1, 3, 5, 6.	An Amendment to a plan <input type="checkbox"/> <i>If the amendment or detail is in response to a Departmental request you must attach a copy of the letter.</i>
Building Plan <input checked="" type="checkbox"/> Complete Sections 1, 3, 4, 5, 6, 7.	Requested details <input type="checkbox"/>
Building Permit <input checked="" type="checkbox"/> Complete Sections 1, 4, 5, 7, 8, 9.	

Section 3 Applicant Details

Surname or Company Name	First Name or Initials	Phone Number (business hours)
GOURLAY	HELEN F	2545212
If Company, Name of Contact Person	First Name or Initials	Fax Number
as above		2545212
Postal Address	Signature	
as above	Helen F. Gourlay 5/6/96	
Postcode		

Section 4 Builder Details If same as applicant write 'AS ABOVE'

Surname or Company Name	First Name or Initials	Phone Number (business hours)
GOURLAY	HELEN F	2545212
If Company, Name of Contact Person	First Name or Initials	Fax Number
as above		2545212
Postal Address	Signature	
as above		
Postcode		

Section 5 Lessee (Owner) Details If same as applicant write 'AS ABOVE'

1st Lessee (if there are more than two lessees, please attach details) All lessees must sign Application		
Surname or Company Name	First Name or Initials	Phone Number (business hours)
as above		
If Company, Name of Contact Person	First Name or Initials	Fax Number
Postal Address	Signature	
	Helen F. Gourlay 5/6/96	
Postcode		

2nd Lessee

Surname or Company Name	First Name or Initials	Phone Number (business hours)
If Company, Name of Contact Person	First Name or Initials	Fax Number
Postal Address	Signature	
Postcode		

Please Note: This information may be given to Government and Non Government Agencies. See PRIVACY NOTE on back page.

Section 6 Plan Details - answer relevant details

Design & Siting

Does this application vary in any way from the relevant performance measures either in the Design & Siting Code or Development Conditions?

No If YES, this application may require Public Notification. Please give details of non compliance.
 Yes

Is this application for a new dwelling?

No If YES, you will require an energy rating by an accredited assessor under the ACT House Energy Rating Scheme.
 Yes

Heritage

Is this property listed on either the 'Interim Heritage Places Register' or the 'Heritage Places Register'?

No
 Yes

Privacy

Do you wish to exclude any part of your application from public inspection?

No If YES, all Design & Siting and Heritage applications are available for public inspection. If you want to exclude any part of your application you must complete a Request for Exemption from Public Inspection form. Specific criteria apply.
 Yes

Building

Will this project involve the use of any adjacent unleased Territory land?

No If YES, you will require permission to use any unleased Territory land. Please provide details of the area and the proposed use. Application forms for use of unleased Territory land are available at the counter.
 Yes

Does the site have a slope of greater than 1 in 15?

No If YES, you must provide erosion and sediment control measures during the construction phase including landscaping. Please indicate on the site plan what control measures will be put in place. If you are not sure please ask for a copy of the Erosion Control on Building Sites brochure. Licensing arrangements may apply.
 Yes

Plan Dispatch

What would you like us to do with the Plans when they are approved?

Post We will mail to applicant's address. ✓ *3/7/96*
 Hold We will advise the applicant by phone to collect.

Public Notification

I request that the ACT Government erect the sign/s required by the public notification process associated with the application.

No
 Yes

Section 7 Project Details

Describe each item of building work involved in this application (eg 1. New Residence, 2. Metal Garage, 3. Inground Pool)	Occupancy Class (1 to 10)	Construction Type (A, B, or C)	Area or Linear Metres	Cost of Works
1. Tennis Court + Ret. Walks.			50	\$ 10,000
2.				\$
3.				\$
4.				\$
5.				\$
6.				\$
Total				\$

Section 8 Building Permit Details

Builder

Licent Builder
 Or Owner Builder

Licence number 0 Licence class OB
 Name HELEN F GOURLAY

Please attach a summary of experience, skills and references to support this application. You should also make yourself aware of Workers' Compensation requirements.

Indemnity Insurance (only applicable to licensed builders for work up to 3 storeys)

Is any of the work valued over \$5,000 and of class 1 or 2 occupancy?

No
 Yes You must provide an Indemnity Insurance Policy with this permit application

Do you want to select the engineering option?

No If YES, you will be required to provide an engineer's certification for any footings or ground floor slabs including site classification. This applies to those projects where AS 2870 Residential Footings and Slabs is used. You must notify BEPCON when you reach inspection stage.
 Yes

Permit Items

Is this permit application for all of the building works as shown on the plan?

No If NO, specify the items of building work to be covered by this permit.
 Yes

Permit Duration

I require this permit to be issued for:

6 months 1 year 2 years 3 years

Other (please specify) _____

A Building Permit may be issued for a maximum of 3 years, subject to any lease covenant completion date that may apply.

Permit Dispatch

What would you like us to do with the Permit when it is approved?

Post We will mail to builder's address. ✓ *3/7/96 (ATTACHED TO 2/2 PLAN)*
 Hold We will advise the builder by phone to collect.

Section 9

Permit related details required by Australian Bureau of Statistics

Residential

Separate house
 Flat, unit, apartment
 Detached dual occupancy
 Duplex, semi detached row / terrace / townhouse

Non-residential

Hotel Educational
 Shop Religious
 Factory Entertainment
 Office Recreational
 Health

Other Information

Number of new additional dwellings _____
 Number of storeys (include ground floor exclude basement) _____

Other (specify) _____

Other (specify) _____

TENNIS COURT

Main Materials Used

Ground floor

Concrete
 Timber
 Other (specify) _____

External walls

Brick veneer
 Double brick
 Timber
 Other (specify) _____

Building frame

Timber
 Steel
 Aluminium
 Other (specify) _____

Roof

Tiles
 Steel
 Aluminium
 Other (specify) _____

BUILDING CONTROL PLAN LODGEMENT SHEET

H

Lodgement date 5/6/96 Approve by date 15/6/96
 BLOCK 5 SECTION 12 SUBURB MAWKER
 Description of work TENNIS COURT & RET. WAYS

Authority	Date sent	Date returned
NCPA []		
ACTPA: (New work) Blue Form [x]		
ACTPA: (Amendment) Buff Form []		
ELECTRICAL [x]	<u>5/6/96</u>	
SEWERAGE & WATER [x]		
STORMWATER [x]		
ROAD MAINTENANCE []		
FIRE BRIGADE []		
HEALTH []		
WASTE MANAGEMENT []		
TRAFFIC CONTROL []		
ENVIRONMENT []		
TELECOM/OPTUS []		
DANGEROUS GOODS []		
TECHNICAL OFFICER []		

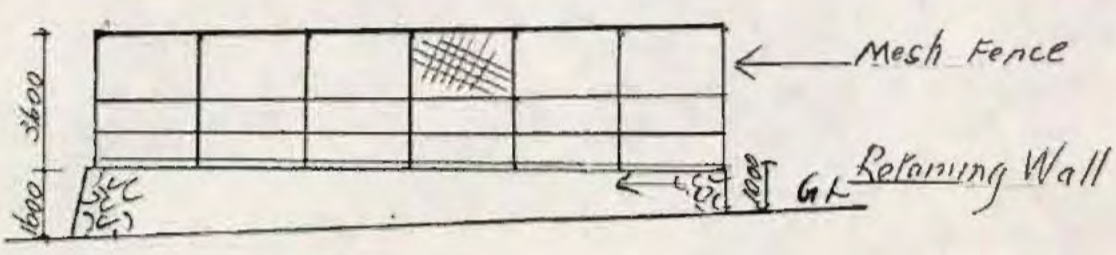
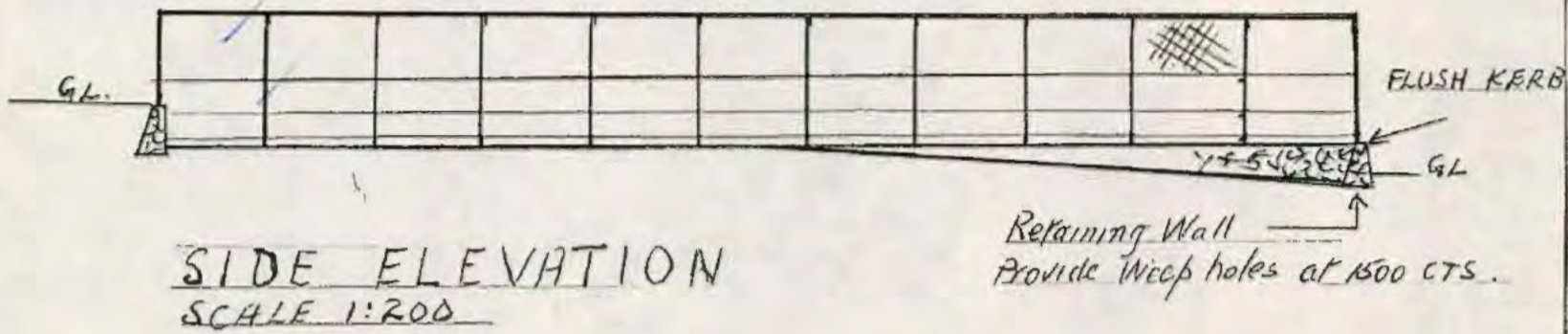
Soil Test Certificate is attached []
 Application form has been fully completed []
 Floor areas calculated and are correct []
 Value of work/fees calculated and are correct []
 Townhouse/Dual Occ has ACTPA approval []
 Townhouse/Dual Occ has Leasing approval []
 Townhouse/Dual Occ has Unit Title boundaries & Unit Numbers []
 Technical details on plans are complete []
 Commercial plans have ACTPA, Leasing, Traffic & Roads approval []
 The plans are approvable []
 This application is entered on todays lodgements list []

Plans checked by  Date 5/6/96

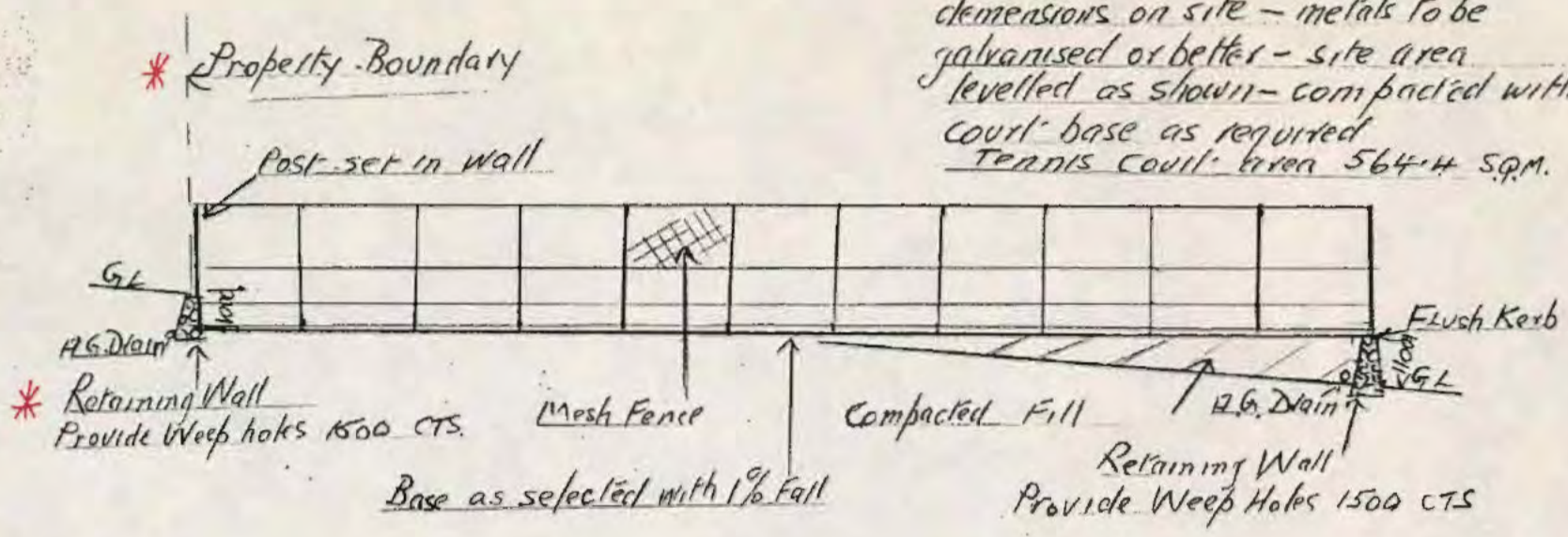
28659/H

PLANS/FILE No.
Received ACT Building Control
- 5 JUN 1996
ACT GOVERNMENT

SITE 8



NOTE
All footings to be taken down to solid ground - double check all dimensions on site - metals to be galvanised or better - site area levelled as shown - compacted with court base as required
Tennis Court Area 564.4 SQ.M.

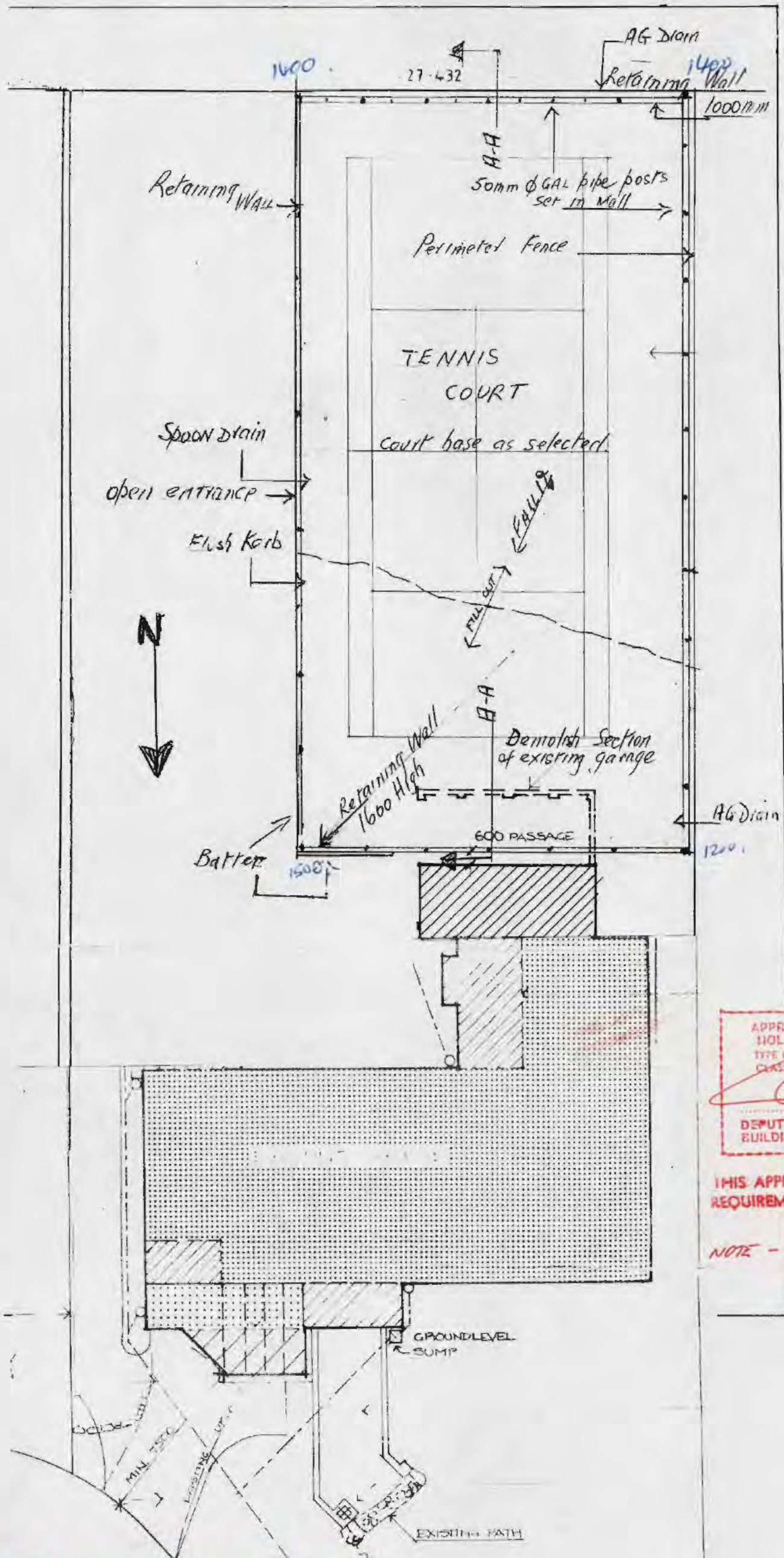


PROJECT
NEW TENNIS COURT
H. GOURLAY
49 WOOLNER CRT
HAWKER

JAN. 1996

BL5 SEC 12

* ALL OF STRUCTURE TO BE WITHIN BOUNDARIES OR PROVIDE EVIDENCE OF APPROVAL FOR USE OF UNLEASED LAND.



28LS9/H
 PLANS/FILE No.
 Received ACT Building Control
 - 5 JUN 1996
 ACT GOVERNMENT

S/P2

APPROVED FOR CONSTRUCTION BY THE
 HOLDER OF A "P" CLASS LICENCE.
 TYPE OF CONSTRUCTION REQUIRED. N/A
 CLASS OF OCCUPANCY. 10
 3 JUL 1996
 DEPUTY BUILDING CONTROLLER UNDER
 BUILDING ACT 1972. \$10,000

THIS APPROVAL DOES NOT SUPERSEDE THE
 REQUIREMENTS OF THE BUILDING CODE OF
 AUSTRALIA
 NOTE - REFER TO PLAN "E"
 FOR ACTPA APPROVAL.

THIS House Has Outstanding Pending Final
 CANBERRA SEWERAGE AND WATER SUPPLY REGULATIONS
 THIS PLAN INCLUDES WORK SUBJECT TO THE ABCV
 REGULATIONS WHICH MUST BE CARRIED OUT BY A LICENSED
 PLUMBER/DRAINER

US filed 7-6-96
 WOOLNER

H. GOURLAY
 49 WOOLNER
 CRT
 HAWKER

SITE
 PLAN
 SCALE 1:200

BL5 SEC 12
 JAN 1996



Department of the Environment, Land and Planning
 ACT Building Control (NORTH OFFICE)
 GPO Box 1908, Canberra ACT 2601

Application for Owner-Builder Permit

(Supplementary) Building Act Section 39



Name of Applicant (USE BLOCK LETTERS)
HELEN F. GOURLAY

Address **49 WOOLNER CIRCUIT** Telephone (w) **2545212**
 Postcode **2614** (h) **2545212**

Suburb **Hawker** Section **12** Block **5** Unit

Nature of building work
Tennis Court + Retaining Walls. (Existing)

This application is for a building permit to the lessee or joint lessees of the site on the basis that:

- the building is of such a nature that it can be carried out by a person who is not a licensed builder, e.g. non-structural alterations, above ground pools, pergolas.
- the applicant possesses skills and experience that befit him to carry out the building work.
- as a lessee or joint lessees you have not been granted more than one other owner-builder permit for another site within the previous 5 years

Formal building qualifications
NIL

Building experience and skills. Attach summary of building experience and supporting references.

Building Permits Previously Held By Applicant

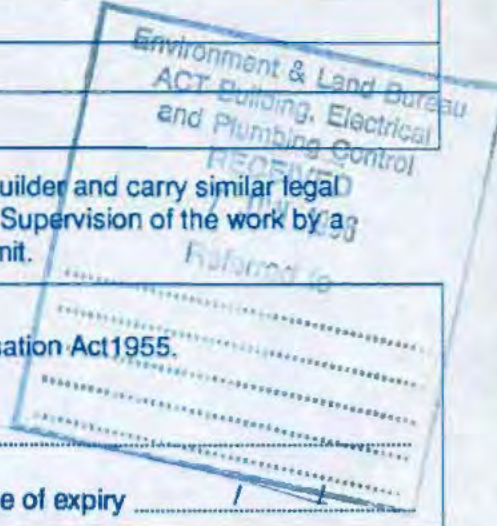
Suburb	Section	Block	Unit	Date	Particulars

As an owner-builder you require the same skills and experience as a licenced builder and carry similar legal responsibilities in respect to the carrying out or the supervision of building work. Supervision of the work by a licensed builder is not a sufficient criterion for the issue of an owner-builder permit.

Workers Compensation Insurance
 Provide particulars of insurance cover taken out to comply with Workers Compensation Act 1955.

Name of Company

Policy/Cover note Date of expiry **1/1**



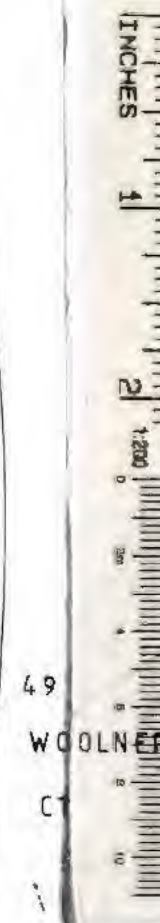
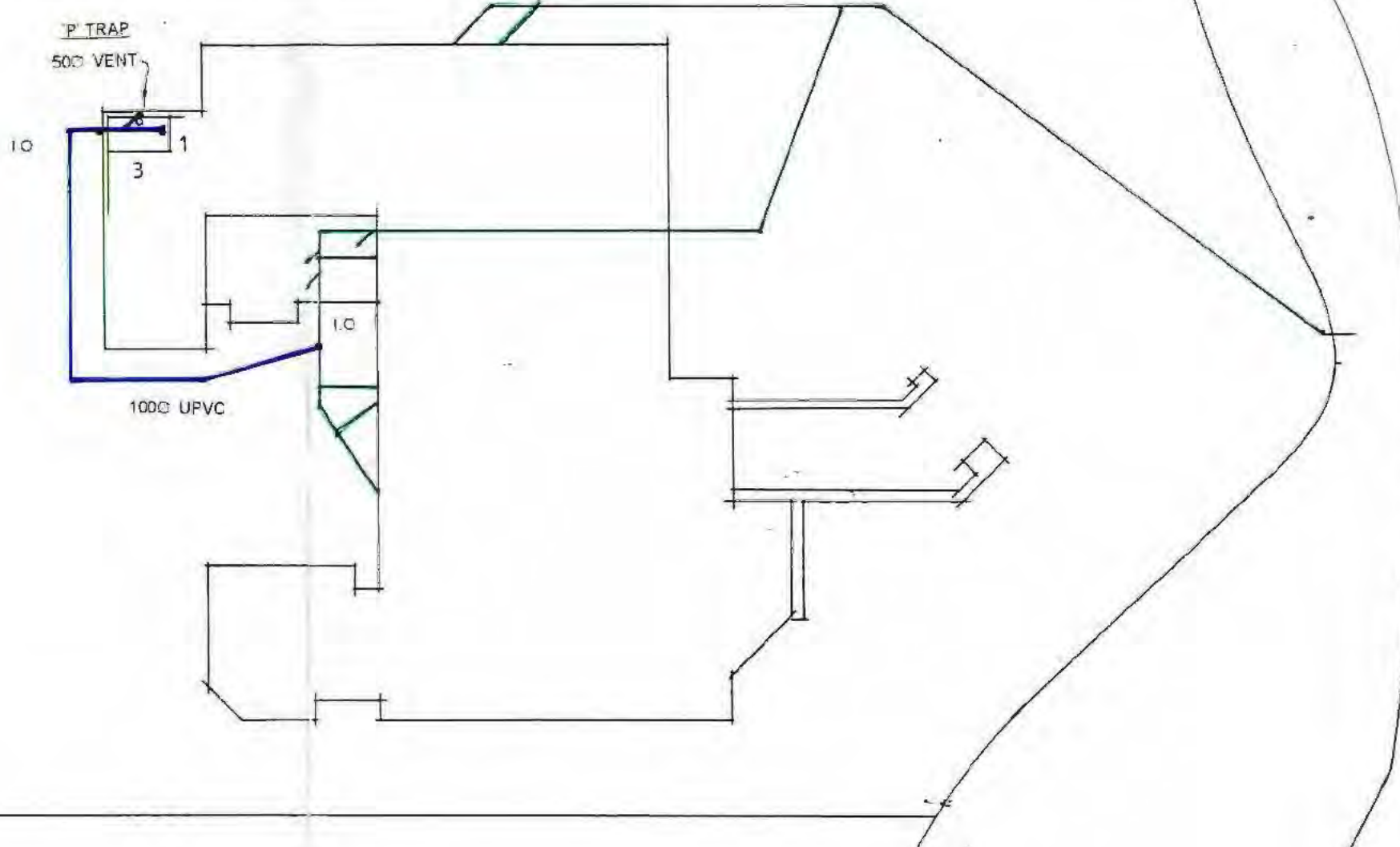
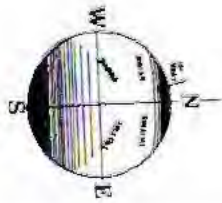
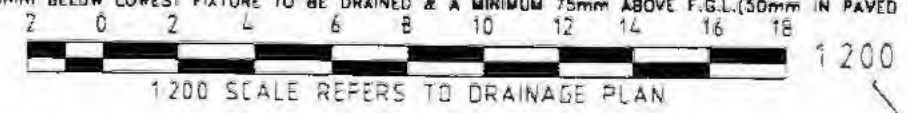
Note: I have completed and attached an Application for Building Permit (Building Reg's Form 5)

Signature Lessee/Joint Lessees **X Helen F. Gourlay** Date **6.6.96**

Application Approval
 Deputy Building Controller **[Signature]** Date **3.17.96**
E. MILNE

REFERENCES				FIXTURES					
V.C.P	VITRIFIED CLAY PIPE	D.T	DISCONNECTOR TRAP	T.S.	TUNDISH	1.	WATER CLOSET ()	7.	URINAL ()
S.V.P	SOIL VENT PIPE	I.O	INSPECTION OPENING	G.T	GULLY TRAP	2.	BATH ()	8.	CLN'S SINK ()
U.P.V.C	UNPLASTICISED POLYVINYL CHLORIDE	E.J	EXPANSION JOINT	V.P.	VENT PIPE	3.	Basin ()	9.	BIDET ()
D.I.C.L	DUCTILE IRON CEMENT LINED	W.S	WATER SERVICE	F.W.	FLOOR WASTE	4.	SHOWER ()	11.	DISHWASHER ()
D.R.G	OVERFLOW RELIEF GULLY	I.S	INSPECTION SHAFT	J.U.	JUMP UP	5.	SINK ()	12.	WASH MACHINE ()
F.G.L	FINISHED GROUND LEVEL	H.C	HOSECOCK	E.V.	EDUCT VENT	6.	LAUNDRY TUB ()	13.	GLASS WASHER ()
		F.F.L	FINISHED FLOOR LEVEL	S.T	SILT TRAP				
		S.V	STOPVALVE	E.V.	EDUCT VENT				

ALL WORK TO BE IN ACCORDANCE WITH THE CANBERRA SEWERAGE AND WATER SUPPLY REGULATIONS. THIS PLAN TO BE READ IN CONJUNCTION WITH APPROVED ARCHITECTURAL PLANS. THIS HAS BEEN PLAN DESIGNED IN ACCORDANCE WITH A.S 3500, NATIONAL PLUMBING AND DRAINAGE CODE. ORG TO BE A HEIGHT OF 150mm BELOW LOWEST FIXTURE TO BE DRAINED & A MINIMUM 75mm ABOVE F.G.L. (50mm IN PAVED AREAS GRADED FROM O.R.G.)



ADDITIONAL WORK AS LAID

PROPOSED WASTE PLUMBING SHOWN IN YELLOW LINES. PROPOSED SOIL AND DRAINS TO BE LAID SHOWN IN BLUE LINES. DRAINS DELETED SHOWN BY RED 'X'. EXISTING DRAINS SHOWN IN GREEN LINES. PROVIDE INSPECTION OPENINGS ON EACH WC BRANCH OF INTERVALS OF NOT MORE THAN 30m SPACED EQUIDISTANT IMMEDIATELY UP & DOWNSTREAM OF ALL JUMP UPS. VITRIFIED CLAY PIPES TO BE IN ACCORDANCE WITH AS1693 & AS A164. UPVC PIPES TO BE IN ACCORDANCE WITH AS1260. PROVIDE FIRE STOP COLLARS TO ALL UPVC PENETRATIONS OF FIRE RATED FLOORS AND WALLS. THIS BASE DRAINAGE PLAN REMAINS THE PROPERTY OF THE ARCHITECTURAL DESIGN STUDIO & IS NOT TO BE COPIED WITHOUT THE EXPRESS WRITTEN PERMISSION OF ANTHONY BURR. WHILST EVERY PRECAUTION IS TAKEN TO ENSURE THE ACCURACY OF THE NOTES &/OR DRAWINGS NO RESPONSIBILITY &/OR LIABILITY WILL BE ACCEPTED FOR ANY ERRORS &/OR OMISSIONS IN THE TEXT &/OR DRAWINGS. IT IS THE CONTRACTORS RESPONSIBILITY TO ESTABLISH THE LOCATION OF ALL EXISTING SERVICES & THE SUITABILITY OF THE DESIGN PRIOR TO COMMENCING CONSTRUCTION. CHECK POSITION OF TIE PRIOR TO COMMENCING CONSTRUCTION. INSPECTION SHAFT TO BE LOCATED AT THE PROPERTY BOUNDARY IS TO BE RAISED TO GROUND LEVEL IN ACCORDANCE WITH PLUMBING NOTE 3.

ARCHITECTURAL DESIGN STUDIO
 HYDRAULIC & ARCHITECTURAL CONSULTANT
 3 BURU CL NGUNNAWAL PH 241728 F 2418681

JOB No: 96/5408 SCALE 1:200 DESIGN Anthony Burr

SEWERAGE ENGINEER *Anthony Burr* 21/6/96
 ENGINEER FOR THE CANBERRA SEWERAGE & WATER SUPPLY REGULATIONS.



Department of Urban Services
ACT Building, Electrical and Plumbing Control

Application for Certificate of Occupancy and Use

DON'T RING - ACCESS AVAILABLE 94

Name of Lessee/Owner

HELEN F. GOURLAY

Address (show PO Box No. if any)

49 WOOLNER CIRCUIT HAWKER Postcode 2614

Phone Number

254 5212.

Approved Plan No.

28459/H

Name of Permit Holder

HELEN F. GOURLAY

Suburb

HAWKER

Section

12

Block

5

Unit

Description of Building Work

TENNIS COURT

Date requested for Final Inspection (At least 4 working day's notice required)

Preferred date

6 1 8 196.

Morning

Afternoon

Alternative date

8 1 8 196.

Morning

Afternoon

List any items not completed in accordance with approved plans



Application

I, the owner, make an application under Section 53 of the Building Act 1972 for the issue of a Certificate of Occupancy and Use.

The Certificate to be: posted to me held for collection

Signature of Lessee/Owner

Helen F. Gourlay 301 7 1 96.

Do not sign before the completion of building work

Collected by my Agent

Owners who wish their Certificate of Occupancy and Use to be collected by their agents should complete the declaration below: (Note. Agent must provide identification during collection)

I authorise (Name of Agent)

Address

Postcode

Phone Number

To Collect the Certificate of Occupancy and Use on behalf of me.

Signature of Lessee/Owner

/ /

Signature of Agent

/ /

Advisory Information

It is recommended that owners should seek consultant advice to determine whether the building work had been completed satisfactorily. It should be noted that Building Inspectors do not have the responsibility for supervision of building work on behalf of owners.

Please forward this completed form to ACT Building, Electrical and Plumbing Control:

North Office

Mitchell Business Centre
Cnr Lysaght and Hoskins Streets
Mitchell ACT 2911
GPO Box 1908, Canberra ACT 2601
Telephone: 2076262
Facsimile: 2076258

South Office

Block B, Level 1, Callam Offices
Cnr Launceston and Callam Streets
Woden ACT 2606
GPO Box 1908, Canberra ACT 2601
Telephone: 2076277
Facsimile: 2077475

Tuggeranong Office

Transport and Works Depot
Cnr Scollay and Oakden Streets
Tuggeranong ACT 2901
PO Box 1158, Tuggeranong ACT 2901
Telephone: 2075969
Facsimile: 2075955



ACT Government

Planning and Land Management

Notification and Compliance Statement

Building Application

10
93

Please read the Advisory Information overleaf before you fill in this form

Part 1: Lease/Site details

Block 5 Section 12
 Suburb HANKER
 Street address 49 WOOLNER CREDIT
 Project (permit) number 9651
 Builders licence number O/B
 Approved plan number 28459/H.

Part 2: Engineers option

Tick this box if you are providing an Engineer's Certificate which certifies that the footings/slab are suitable
 Name of engineer _____

Part 3: Inspection details

At least 2 working day's notice is required for an inspection

Inspection stage (describe stage using wording from the Schedule overleaf) Final.
 Inspection date / / Morning Afternoon

Part 4: Permit holder's details

Surname GOURLAY
 Title / First Name MS HELEN
 Phone numbers - work 252 1203 home 254 5212

I, the permit holder, hereby notify that the inspection stage described above will be ready for inspection on the date specified and certify that the building work complies with the conditions under which the permit was issued as set out in Section 40 of the Building Act 1972.

Signature of Permit Holder Helen A. Gourlay
 Date 30/7/96

OFFICE USE ONLY

Inspected

Not inspected

Inspection sequence no.

Name of inspector

Inspection record number

Signature/Initials

Date

/ /

Advisory Information

Building Inspections

Builders are required under the provisions of the *Building Act 1972* to notify the Building Controller each time an inspection stage of the building work is reached. The inspection stages are set out in the Building Act and may be grouped together as set out in the Schedule of Building Inspections.

Builders must give at least 2 working days notice before the building work will be ready for inspection and plan the progress of the work accordingly. During that period the building inspector will obtain the building file and make arrangements to visit the building site on the inspection date and time as nominated by the builder.

Builders must not proceed with the building work unless the inspection has been carried out or unless 3 hours have lapsed after the nominated date and time for the inspection.

This means that when the work is ready for the inspection in the morning (ie it must be ready by 8.30am) or the afternoon (ie it must be ready by 12 noon) the work should not proceed until 11.30am or 3.00pm respectively. During this 3 hour period the building inspector will be able to check that the work complies with the approved plans and has been carried out in a skilful manner.

Engineers Option

The engineers option for footing and slab inspections is available to builders who wish to engage a practising structural engineer to carry out the inspection. In that case the builder must notify when the inspection is ready.

The original engineer's certificate must be available on site when the Notification and Compliance Statement is sent, as the building inspector may need it for verification. Unless the building inspector requests it earlier, it is to be provided to the Building Controller with the other documents attached to the application for a Certificate of Occupancy.

The engineer's certificate must certify that the footings or slab comply with the relevant conditions of the permit and confirm that the approved design of the footings or slab is suitable for the existing site conditions.

Conditions of Permit

The grant of a building permit for building work is subject to the conditions of the permit in accordance with Section 40 of the *Building Act 1972*.

- a. The materials used in the building work will conform to the standards for those materials as set out in the Building Code of Australia or as otherwise approved and specified in the permit by the Building Controller;
- b. The methods of use of those materials in the building work will conform to the acceptable methods of use as set out in the Building Code of Australia or as otherwise approved and specified in the permit by the Building Controller;
- c. The building work will be carried out in a

proper and skilful manner;

- d. The building work will be carried out in accordance with the approved plans in respect of which the building permit is granted;
- e. The building work will be carried out by a person who is the holder of a builder's licence, or a building permit issued for that work endorsed under Section 39, or by a person employed by or under contract to him/her;
- f. A notice in accordance with Sub-Section 36(5) will be given by the holder of the building permit to the Building Controller in respect of each stage in the building work specified in the permit; and
- g. The safety precautions submitted in or with the application for the building permit will be taken together with any other safety precautions that a building inspector may specify under Section 36A.

Warning

Note: A person who knowingly or recklessly makes a statement to the Building Controller that is false or misleading is guilty of an offence. (Section 59A of the *Building Act 1972*).

Penalty

- a. Persons – imprisonment for up to 6 months, or a fine not exceeding \$5,000, or both
- b. Companies – a fine not exceeding \$25,000.

Lodging this form

Please forward this completed form to your nearest ACT Building, Electrical and Plumbing Control Office:

North Office
GPO Box 1908, Canberra ACT 2601
Phone: 207 6262
Fax: 207 6258

South Office
GPO Box 1908, Canberra ACT 2601
Phone: 207 6277
Fax: 207 7475

Tuggeranong Office
GPO Box 1908, Canberra ACT 2601
Phone: 207 5969
Fax: 207 5956

Schedule of inspection stages

Dwellings	Footings
	Slab/Floor Framing
	Presheet/Stormwater
	Final
Garages/Carports	Footings
	Slab
	Presheet
	Final
Swimming pools	Concrete/Framing
	Final
Pergolas/Deck/ Retaining Walls	Footings
	Final



Final Inspection Report

Suburb <i>HAWKERV</i>	Section <i>12</i>	Block <i>5</i>	Unit
Building Work <i>EXISTING TENNIS COURT.</i>			
Approved Plan No. <i>9651/A</i>		and amendments	
Class of Occupancy <i>10</i>		Type of Construction (commercial buildings) <i>N/A</i>	
Project No. (For Office Use)	Permit No. <i>9651 PI.</i>	Name of Permit holder <i>H. GOUBAY.</i>	

An inspection of the construction has indicated that:

Work appears to be substantially complete in accordance with the approved plans

Work does not meet the requirements of the approved plans; the following matters require your attention

*①. SUBMIT SURVEY CERTIFICATE FOR TENNIS COURT /
RETAINING WALLS ON BOUNDARY. SHOWING SET BACKS
ON ONE SIDE AND REAR BOUNDARY
CAPPING HAS BEEN CUT BACK WITH IN BOUNDARY
OK FOR Ceo. 30/12*

Passed for issue of Certificate or Occupancy Not passed Please rebook this inspection stage when rectified

Office Use Only

Before a Certificate of Occupancy or Use may issue, the following clearances (where ticked) are required to be lodged with ACT Building Control:

Plumbing <input type="checkbox"/>	Industrial Safety <input type="checkbox"/>
Electrical <input type="checkbox"/>	Mechanical <input type="checkbox"/>
Survey <input type="checkbox"/>	Structural <input type="checkbox"/>
Fire <input type="checkbox"/>	Glass <input type="checkbox"/>
Health <input type="checkbox"/>	Other <input type="checkbox"/>

Original: Handed to Builder Posted to Builder Left on site Handed to Owner Posted to Owner

Copy to: Licensing Office

David Robinson
Name of Inspector

David Robinson
Signature

6, 8, 196



Advisory Information

Section 53 of the Building Act provides that a Certificate of Occupancy or Use shall be issued on application by the owner of the parcel of land on which the building is situated.

Owners who wish their Certificate of Occupancy to be collected by their agents (including Defence Service Homes, Commissioner for Housing, banks or building societies) should ensure that the agent is nominated on the application form.

A Certificate of Occupancy or use may be issued under the Building Act where the building work has been completed substantially in accordance with the approved plans, the conditions of the Building Permit and any directions given under S.46 of the Act, and in accordance with the proposals with respect to external design and siting approved in writing by the ACT Planning Authority under the Buildings (Design and Siting) Act.

All building permits are granted subject to the condition that building work will be carried out in accordance with the approved plans and comply with the standards set out in the Building Code of Australia. Where building work is not complete, or departs from the approved plans or the standards of the Building Code of Australia, the nature of the omission or departure should be specified on the application form.

Owners are advised not to complete an application for a Certificate of Occupancy until they have accepted the building work as being completed in accordance with the prescribed requirements of approval and the terms of their building contract.

Where necessary, owners should seek consultant advice to determine whether the building work has been completed satisfactorily. It should be noted that Building Inspectors do not have the responsibility for supervision of building work on behalf of owners.



ACT Government

Planning and Land Management

Application for Certificate of Occupancy and Use

Building Application

12

Advisory Information

It is recommended that owners seek consultant advice to determine whether the building work had been completed satisfactorily. It should be noted that Building Inspectors do not have the responsibility for supervision of building work on behalf of owners.

This form should not be signed before the completion of building work.

Part 1: Lease/Site and building details

Block 5 Section 12

Suburb HAWKER

Unit (if applicable) _____

Description of the building work CONCRETE TERRACE.

Approved plan number 28459/G.

Name of Permit holder MARK LANGHAM.

List any items not completed in accordance with the approved plans _____

Part 2: Final inspection details

Up to 4 working days notice may be required for an inspection

Preferred date for final inspection 14 11 96 Morning Afternoon

Alternative date 15 11 96 Morning Afternoon

Part 3: Applicant details

Surname GOURLAY

Title / First Name MS. HELEN F.

Postal address 49 WOOLNER CIRCUIT
HAWKER.

Phone numbers - work 252 1203 home 254 5212

Do you want the Certificate: held for collection mailed to you

I, the owner, make an application under Section 53 of the Building Act 1972 for the issue of a Certificate of Occupancy and Use.

* Signature of Owner Helen F. Gourlay

Date 8 11 1996.

Part 4: Agent details

Complete this Part if you want your Certificate of Occupancy and Use to be collected by your agent. Your agent must provide identification during collection.

Name of Agent _____

Address _____

Phone numbers – work _____ home _____

I authorise the Agent named above to collect the Certificate of Occupancy and Use on my behalf.

Signature of Owner _____

Date _____ / _____ / _____



ACT Government

Planning and Land Management

28459
B/C

101
10

Notification and Compliance Statement

Building Application

Please read the Advisory Information overleaf before you fill in this form

Part 1: Lease/Site details

Block 5 Section 12

Suburb HAWKER.

Street address 49 WOOLNER CIRCUIT.

HAWKER.

Project (permit) number 41579.

Builders licence number 5073

Approved plan number 28459/G.

Part 2: Engineers option

Tick this box if you are providing an Engineer's Certificate which certifies that the footings/slab are suitable



Name of engineer G. M. LORRIN.

Part 3: Inspection details

At least 2 working day's notice is required for an inspection

Inspection stage (describe stage using wording from the Schedule overleaf) FINAL.

Inspection date 14/11/96 Morning Afternoon

Part 4: Permit holder's details

Surname MARK LANGHAM.

Title / First Name MARK.

Phone numbers - work 018697806 home 2416518.

I, the permit holder, hereby notify that the inspection stage described above will be ready for inspection on the date specified and certify that the building work complies with the conditions under which the permit was issued as set out in Section 40 of the Building Act 1972.

Signature of Permit Holder M.A. Lyle

Date 17/11/96.

OFFICE USE ONLY

Inspected

Not inspected

Inspection sequence no.

Name of Inspector

Inspection record number

Signature/Initials

Date

Advisory Information

Building Inspections

Builders are required under the provisions of the *Building Act 1972* to notify the Building Controller each time an inspection stage of the building work is reached. The inspection stages are set out in the Building Act and may be grouped together as set out in the Schedule of Building Inspections.

Builders must give at least 2 working days notice before the building work will be ready for inspection and plan the progress of the work accordingly. During that period the building inspector will obtain the building file and make arrangements to visit the building site on the inspection date and time as nominated by the builder.

Builders must not proceed with the building work unless the inspection has been carried out or unless 3 hours have lapsed after the nominated date and time for the inspection.

This means that when the work is ready for the inspection in the morning (ie it must be ready by 8.30am) or the afternoon (ie it must be ready by 12 noon) the work should not proceed until 11.30am or 3.00pm respectively. During this 3 hour period the building inspector will be able to check that the work complies with the approved plans and has been carried out in a skilful manner.

Engineers Option

The engineers option for footing and slab inspections is available to builders who wish to engage a practising structural engineer to carry out the inspection. In that case the builder must notify when the inspection is ready.

The original engineer's certificate must be available on site when the Notification and Compliance Statement is sent, as the building inspector may need it for verification. Unless the building inspector requests it earlier, it is to be provided to the Building Controller with the other documents attached to the application for a Certificate of Occupancy.

The engineer's certificate must certify that the footings or slab comply with the relevant conditions of the permit and confirm that the approved design of the footings or slab is suitable for the existing site conditions.

Conditions of Permit

The grant of a building permit for building work is subject to the conditions of the permit in accordance with Section 40 of the *Building Act 1972*.

- a. The materials used in the building work will conform to the standards for those materials as set out in the Building Code of Australia or as otherwise approved and specified in the permit by the Building Controller;
- b. The methods of use of those materials in the building work will conform to the acceptable methods of use as set out in the Building Code of Australia or as otherwise approved and specified in the permit by the Building Controller;
- c. The building work will be carried out in a

proper and skilful manner;

- d. The building work will be carried out in accordance with the approved plans in respect of which the building permit is granted;
- e. The building work will be carried out by a person who is the holder of a builder's licence, or a building permit issued for that work endorsed under Section 39, or by a person employed by or under contract to him/her;
- f. A notice in accordance with Sub-Section 36(5) will be given by the holder of the building permit to the Building Controller in respect of each stage in the building work specified in the permit; and
- g. The safety precautions submitted in or with the application for the building permit will be taken together with any other safety precautions that a building inspector may specify under Section 36A.

Warning

Note: A person who knowingly or recklessly makes a statement to the Building Controller that is false or misleading is guilty of an offence. (Section 59A of the *Building Act 1972*).

Penalty

- a. Persons – imprisonment for up to 6 months, or a fine not exceeding \$5,000, or both
- b. Companies – a fine not exceeding \$25,000.

Lodging this form

Please forward this completed form to your nearest ACT Building, Electrical and Plumbing Control Office:

North Office
GPO Box 1908, Canberra ACT 2601
Phone: 207 6262
Fax: 207 6258

South Office
GPO Box 1908, Canberra ACT 2601
Phone: 207 6277
Fax: 207 7475

Tuggeranong Office
GPO Box 1908, Canberra ACT 2601
Phone: 207 5969
Fax: 207 5955

Schedule of inspection stages

Dwellings	Footings Slab/Floor Framing Presheet/Stormwater Final
Garages/Carports	Footings Slab Presheet Final
Swimming pools	Concrete/Framing Final
Pergolas/Decks/ Retaining Walls	Footings Final



Final Inspection Report

129123

102

Suburb HAWKER	Section 12	Block 5	Unit
Building Work			
Approved Plan No. ^{CONCRETE TERRACE} 28459/G and amendments			
Class of Occupancy 10		Type of Construction (commercial buildings) VIA	
Project No. (For Office Use) B 4157981	Permit No. *	Name of Permit holder M. A. LANGHAM	

An inspection of the construction has indicated that:

Work appears to be substantially complete in accordance with the approved plans

Work does not meet the requirements of the approved plans, the following matters require your attention

.....

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Passed for issue of Certificate or Occupancy Not passed Please rebook this inspection stage when rectified

Office Use Only

Before a Certificate of Occupancy or Use may issue, the following clearances (where ticked) are required to be lodged with ACT Building Control:

Plumbing <input type="checkbox"/>	Industrial Safety <input type="checkbox"/>
Electrical <input type="checkbox"/>	Mechanical <input type="checkbox"/>
Survey <input type="checkbox"/>	Structural <input type="checkbox"/>
Fire <input type="checkbox"/>	Glass <input type="checkbox"/>
Health <input type="checkbox"/>	Other <input type="checkbox"/>

Original: Handed to Builder Posted to Builder Left on site Handed to Owner Posted to Owner

Copy to: Licensing Office

Name of Inspector V. PERKINS Signature [Signature]

14 11 96



ACT Building, Electrical and Plumbing Control

GPO Box 1908, Canberra ACT 2601

Certificate of Occupancy or Use

Certificate No. **9651P1C1**

This Certificate is issued in accordance with Section 53 (3) of the Building Act.

The building work listed on this certificate has been completed substantially in accordance with the prescribed requirements and is considered suitable for occupancy or use.

Builder HELEN GOURLAY	Site for Project Address 49 WOOLNER CIRCUIT
Permit Number 9651P1	Suburb HAWKER
	Section 12
	Block 5
	Approved Plan 9651/A

Building Work

Nature of Work	Project Item Description	Unit	Other Description	Value	Class of Occupancy	Type of Construction	Indemnity Insurance
NEW	TENNIS COURT		EXISTING		10A	NA	

Comments

Important note:

1. If yes is indicated for indemnity insurance this indicates that the item of building work is covered by an indemnity insurance policy for a period of 5 years from the issue of this certificate.
2. The issue of this certificate does not affect the liability of a person to comply with the provisions of a law of the Territory (including the Building Act) relating to the building work nor does it authorise the use of the land contrary to a provision, covenant or condition of lease.

David Poidevin

 DAVID POIDEVIN
 Deputy Building Controller

30 12 1986
 Date

BUILDING CONTROL PLAN LODGEMENT SHEET

Lodgement date 21/2/97 Approved by Date/...../.....

SUBURB Hawker SECTION 12 BLOCK 5 UNIT

Description of work Amendments

Authority	Date Sent	Date Returned
NCPA []		
ACTPA: (New work) Blue Form [<input checked="" type="checkbox"/>]		<u>11/3</u>
ACTPA: (Amendment) Buff Form []		
ELECTRICAL []		
SEWERAGE & WATER []		
STORMWATER []		
ROAD MAINTENANCE []		
FIRE BRIGADE []		
HEALTH []		
WASTE MANAGEMENT []		
TRAFFIC CONTROL []		
ENVIRONMENT []		
TELECOM / OPTUS []		
DANGEROUS GOODS []		
TECHNICAL OFFICER []		

Soil Test Certificate is attached []

Application form has been fully completed []

Floor areas calculated and are correct []

Value of work/fees calculated and are correct []

Townhouse/Dual Occ. has ACTPA approval []

Townhouse/Dual Occ. has LEASING approval []

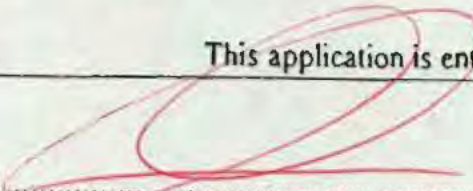
Townhouse/Dual Occ. has Unit Title boundaries & Unit Numbers []

Technical details on plans are complete []

Commercial plans have ACTPA, Leasing, Traffic & Roads approval []

The plans are approvable []

This application is entered on today's lodgement list []

Plans checked by  Date 21/2/97

E. MILNE



ACT Government

Planning and Land
Management

Application for Certificate of Occupancy and Use

Building Application

28459
AB 2 } 110
12

DEPT OF TERRITORIES
RECEIVED
21 FEB 1996
BUILDING SECTION

Advisory Information

It is recommended that owners seek consultant advice to determine whether the building work had been completed satisfactorily. It should be noted that Building Inspectors do not have the responsibility for supervision of building work on behalf of owners.

This form should not be signed before the completion of building work.

Part 1: Lease/Site and building details

Block 5 Section 12

Suburb HAWKER

Unit (if applicable) _____

Description of the building work extensions

Approved plan number 28459

Name of Permit holder Neil Roberts

List any items not completed in accordance with the approved plans _____

Part 2: Final inspection details

Up to 4 working days notice may be required for an inspection

Preferred date for final inspection 18/3/97 Morning Afternoon

Alternative date 19/3/97 Morning Afternoon

Part 3: Applicant details

Surname GOURLAY

Title / First Name MS HELEN

Postal address 49 WOOLNER CIRCUIT
HAWKER ACT 2614

Phone numbers - work 252 1203 home 254 5212

Do you want the Certificate: held for collection mailed to you

I, the owner, make an application under Section 53 of the Building Act 1972 for the issue of a Certificate of Occupancy and Use.

Signature of Owner Helen J. Gourlay

Date 21/2/97

Part 4: Agent details

Complete this Part if you want your Certificate of Occupancy and Use to be collected by your agent. Your agent must provide identification during collection.

Name of Agent _____

Address _____

Phone numbers – work _____ home _____

I authorise the Agent named above to collect the Certificate of Occupancy and Use on my behalf.

Signature of Owner _____

Date ____ / ____ / ____

107
5

Date: 21/02/97
Time: 11:14:57
144/0070/000009
\$90.00



ACT Government

Planning and Land Management

Building Application

When should you use the Building Application (BA) form?

You should use the BA for building, electrical, and plumbing and drainage work for:

- standard single residential developments and extensions;
- demolition and other site works; and
- other proposed building works where Design and Siting approval has already been given.

You are encouraged to discuss your application with staff in Building, Electrical and Plumbing Control (BEPCON) shopfronts.

Note: The information you give on this form may be given to Government and Non-Government Agencies. See Privacy Notice on the back page.

Part 1: Lease/Site details

If more than one lease, attach the following details for each lease.

Block 5

Section 12

Suburb HAWKER

Unit (if applicable) _____

Street address 49 WOOLNER CIRCUIT
HAWKER 2614

Part 2: Applicant details

Surname or Company name GOURLAY

Title / First Name / Initials or Australian Company Number (ACN) MS HELEN

If a company Name of contact person _____

Title / First name / Initials _____

Postal address 49 WOOLNER CIRCUIT
HAWKER ACT 2614

Street address (if different) AS ABOVE

Phone number (business hours) 254 5212 (L) 252 1203 (W) -PART TIME

Fax number 254 5212 (L) 252 1754 (W)

OFFICE USE ONLY

BRIMS number

B32266

TRIMS number

28459

Drainage number

DARTS number

926241/A

DA number (if applicable)

Part 3: Lessee (Owner) details

1st Lessee details (If the same as applicant, write 'see applicant')

Surname or Company name _____

Title / First Name / Initials or Australian Company Number (ACN) _____ SEE APPLICANT

If a company [Name of contact person _____
Title / First name / Initials _____

Postal address _____

Phone number (business hours) _____

Fax number _____

Lessee's agreement to Development Application

Signature

Alex J. Lowley



2nd Lessee details

Surname or Company name _____

Title / First Name / Initials or Australian Company Number (ACN) _____

If a company [Name of contact person _____
Title / First name / Initials _____

Postal address _____

Phone number (business hours) _____

Fax number _____

2nd Lessee's agreement to Development Application

Signature

1 do

Part 4: What types of approvals do you require?

Design and Siting Does this application vary in any way from the relevant Performance Measures either in the Design and Siting Code or Development Conditions?

No Yes Please give details below

Heritage Works Is this property listed on either the "Interim Heritage Places Register" or the "Heritage Places Register"?

No Yes

Exemption from Public Inspection If Design and Siting or Heritage Works approval is required, do you wish to exclude any part of your application from public inspection?

No Yes

You will need to complete a Request for Exemption from Public Inspection form

Plan approvals What types of plan approvals are required?

Building Plumbing and drainage

Permits required What types of permits are required?

Building Plumbing Drainage

Electrical work No further requirements until building work is complete

Part 5: Application details

Is this a new project?

Yes Go to Part 6

No Is this proposal: an amendment to a plan BRIMS no. (if known)

in response to requested details Please attach a copy of written requests

Work as Executed (WAE) plan submission



Part 6: Project details

If more than 6 items, please attach details

Describe each item of building work involved in this application (eg 1. New residence 2. Metal garage 3. In-ground pool 4. Hydraulic plan description 5. Demolition)	New/ Additional/ WAE	Occupancy class (1 to 10)	Construction type (A, B or C)	Area	Cost of works (Contract price - refer Bldg Note 25)
Amendments					
2					
3					
4					
5					
6					

Part 7: Plan approvals

Building Plans

Are plans attached? No Yes

House Energy Rating If this is an application for a new single residential dwelling, you will require an energy rating by an accredited assessor under the House Energy Rating Scheme

Engineering Option If you choose the Engineering Option, you will be required to provide an engineer's certificate for any footings or ground floor slabs including site classification

Unleased Territory Land You will require permission to use any unleased Territory Land. Please complete an *Application for the use of Unleased Territory Land* available at BEPCON counters

Erosion Control If the site has a slope of greater than 1 in 15, you must provide erosion and sediment control measures during the construction phase including landscaping. Please indicate on the site plan what control measures will be put in place. If you are not sure please ask for a copy of the *Erosion Control on Building Sites* brochure. Licensing arrangements may apply.

Do you want the approved plans to be collected or do you want them mailed to you?

Please hold the approved plans for collection

Please mail the approved plans to me

Plumbing and Drainage Plans

Are plans attached? No Yes

Hydraulic Consultant If hydraulic plans will be submitted for approval separately by a consultant, please provide consultant details

Surname or Company name _____

Title / First Name / Initials or Australian Company Number (ACN) _____

If Company, name of contact person _____

Phone number (business hours) _____

Do you want the approved plans to be collected or do you want them mailed to you?

Please hold the approved plans for collection

Please mail the approved plans to me

Part 8: Permit details

This part must be completed and signed by the relevant licensees

Building Permit

Indicate the item numbers from Part 6 and describe the work for which you are seeking a Building Permit

For what period are you seeking the Permit? 6 months 1 year 2 years 3 years

Are you applying as an Owner-Builder or a Licensed Builder?

Owner-Builder Name _____

▶ Please attach a summary of experience, skills and references to support this application. You should be aware of Worker's Compensation requirements

Licensed Builder Please provide the following details and ensure registration details are current

Surname or Company name _____

Title / First Name / Initials or Australian Company Number (ACN) _____

If Company, name of Licensed Nominee _____

Licence number _____

Class _____

Signature of Licensed Builder _____

▶ If this is residential building work, you must check if Housing Indemnity Insurance is required with this permit application

Do you want the Building Permit to be collected or do you want it mailed to you? Please hold the permit for collection

Please mail the permit to me

Plumbing and Drainage Permits

Plumbing and Drainage Permits will be issued at BEPCON Shopfronts on request by licensees:

- (a) after plans are approved; or
- (b) before plans approved where Work As Executed (Residential only) plans are required.

Plumbing Permit

Indicate the plan numbers and/or describe the work for which you are seeking a Plumbing Permit

Licence number _____

Signature of Licensed Plumber _____

Drainage Permit

Indicate the plan numbers and/or describe the work for which you are seeking a Drainage Permit

Licence number _____

Signature of Licensed Drainer _____

Privacy Notice

The personal information on this form is being collected to enable processing of our application. Collection of personal information is authorised by Part VI of the Land (Planning and Environment) Act 1991. The information is accessible to ACTEW Corporation and commercial organisations interested in building information.

The Land (Planning and Environment) Act 1991 requires the details of applications, approvals and orders to be kept on a register and made available for public inspection.

Office use only

Design and Siting Approved

Signature of Design and Siting Delegate

[Handwritten Signature]

Date

11 / 3 / 97

Heritage Works Approved

Signature of Heritage Delegate

Date

/ /

Building Plans Approved

Signature of Deputy Building Controller

[Handwritten Signature]

Date

12 / 3 / 97

Hydraulic Plans Approved

Signature of Inspector

Date

/ /

Building Permit Issued

No. _____

Signature of Deputy Building Controller

Date

/ /

Plumbing Permit Issued

No. _____

Signature of Inspector/ authorised officer

Date

/ /

Drainage Permit Issued

No. _____

Signature of Inspector/ authorised officer

Date

/ /

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ACT Building, Electrical and Plumbing Control

GPO Box 1908, Canberra ACT 2601

Application Acknowledgement

Applicant THE EXPERT CLIENT PTY LTD 49 WOOLNER CIRCUIT HAWKER ACT 2614 Tel: 2521203 Fax: 2521754		Site for Project Address 49 WOOLNER CIRCUIT Suburb Section Block HAWKER 12 5	
Please quote this number for all enquiries Project Number : B32266		Plan Plan Number 28459/H Plan Lodged 21 February 1997 Approval Due 14 March 1997	

This is an application for an amendment to project number B32266

Nature of Work	Project Item Description	Unit	Other Description	Area/LM	Value
			ADDITIONS AND ALTERATIONS		
					\$0

Building Application Fee

Your project plans are to be posted.



ACT Building, Electrical and Plumbing Control

GPO Box 1908, Canberra ACT 2601

Certificate of Occupancy or Use

Certificate No.

This Certificate is issued in accordance with Section 53 (3) of the Building Act.

The building work listed on this certificate has been completed substantially in accordance with the prescribed requirements and is considered suitable for occupancy or use.

Builder NEIL ROBERTS	Site for Project Address 49 WOOLNER CIRCUIT
Permit Number B32266P1	Suburb HAWKER Section 12 Block 5
	Approved Plans 28459/F/H

Building Work

Nature of Work	Project Item Description	Unit Other Description	Value	Class of Occupancy	Type of Construction	Indemnity Insurance
		ADDITIONS AND ALTERATIONS	\$134,000	1*10	N/A	YES

14/3/97

Comments

Important note:

1. If yes is indicated for indemnity insurance this indicates that the item of building work is covered by an indemnity insurance policy for a period of 5 years from the issue of this certificate.
2. The issue of this certificate does not affect the liability of a person to comply with the provisions of a law of the Territory (including the Building Act) relating to the building work nor does it authorise the use of the land contrary to a provision, covenant or condition of lease.

STEPHEN ELWORTHY *S. MILNE*
Deputy Building Controller

14 13 97

Date



Final Inspection Report

Suburb <i>HAWKER</i>	Section <i>12</i>	Block <i>5</i>	Unit
Building Work <i>ADDITIONS & ALTERATIONS.</i>			
Approved Plan No. <i>28459/F</i>		and amendments <i>H.</i>	
Class of Occupancy <i>1 & 10</i>		Type of Construction (commercial buildings) <i>—</i>	
Project No. (For Office Use) <i>32266</i>	Permit No. <i>—</i>	Name of Permit holder <i>N. ROBERTS.</i>	

An inspection of the construction has indicated that:

Work appears to be substantially complete in accordance with the approved plans

Work does not meet the requirements of the approved plans, the following matters require your attention

*1) AN AMENDMENT PLAN IS REQUIRED FOR THE WIDENING OF THE
ENTRANCE & W.I.R. ✓ Plan H.*

D 14/3/97

Passed for issue of Certificate or Occupancy Not passed Please rebook this inspection stage when rectified

Office Use Only

Before a Certificate of Occupancy or Use may issue, the following clearances (where ticked) are required to be lodged with ACT Building Control:

Plumbing <input type="checkbox"/>	Industrial Safety <input type="checkbox"/>
Electrical <input type="checkbox"/>	Mechanical <input type="checkbox"/>
Survey <input type="checkbox"/>	Structural <input checked="" type="checkbox"/> <i>#55</i>
Fire <input type="checkbox"/>	Glass <input type="checkbox"/>
Health <input type="checkbox"/>	Other <input type="checkbox"/>

Original: Handed to Builder Posted to Builder Left on site Handed to Owner Posted to Owner
Copy to: Licensing Office

E. MILNE
Name of Inspector

[Signature]
Signature

2011 195

Advisory Information

Section 53 of the Building Act provides that a Certificate of Occupancy or Use shall be issued on application by the owner of the parcel of land on which the building is situated.

Owners who wish their Certificate of Occupancy to be collected by their agents (including Defence Service Homes, Commissioner for Housing, banks or building societies) should ensure that the agent is nominated on the application form.

A Certificate of Occupancy or use may be issued under the Building Act where the building work has been completed substantially in accordance with the approved plans, the conditions of the Building Permit and any directions given under S.46 of the Act, and in accordance with the proposals with respect to external design and siting approved in writing by the ACT Planning Authority under the Buildings (Design and Siting) Act.

All building permits are granted subject to the condition that building work will be carried out in accordance with the approved plans and comply with the standards set out in the Building Code of Australia. Where building work is not complete, or departs from the approved plans or the standards of the Building Code of Australia, the nature of the omission or departure should be specified on the application form.

Owners are advised not to complete an application for a Certificate of Occupancy until they have accepted the building work as being completed in accordance with the prescribed requirements of approval and the terms of their building contract.

Where necessary, owners should seek consultant advice to determine whether the building work has been completed satisfactorily. It should be noted that Building Inspectors do not have the responsibility for supervision of building work on behalf of owners.