



## Energy Efficiency Rating Certificate for a single dwelling\*

*Civil Law (Sale of Residential Property) Act 2003 pt3 and  
Civil Law (Sale of Residential Property) Energy Efficiency Rating  
Guidelines Determination 2009 (No 2)*



Energy Efficiency Rating determined using a thermal calculation method in accordance with Building Code of Australia  
Housing Provisions Verification V2.6.2.1

\*Classification of single dwellings in accordance with Building Code of Australia Part 1.3

### Property Information

Unit                      Block                                    Section                
Street Address            Moncrieff  
Property Owner            iBuilt  
Owner's Address

### Energy Rating Assessor

Name    Sulaiman Akbari [COLA Lic No. 2011217]                      Company    Arc Essentials  
Address    28 Collie Street, Fyshwick [HIA Building]  
Telephone    0468920700                      Email    arcessentials@hotmail.com

House Energy Rating software            BERS PRO                      Version    4.3

Star Rating	Floor Area (m <sup>2</sup> )		Loads (area adjusted MJ/m <sup>2</sup> /annum)		
	Conditioned	Unconditioned	Heat	Cool	Total
7.0	179.3	59.4	106.2	12.2	118.4

### Rating Elements

NOTES – 1) All features and specifications must be described where included in the rating eg bulk insulation, plasterboard lined partition walls. Features not included in the premises and/or rating should be marked N/A.  
2) Documents from which details of elements have been sourced, eg development approval, specifications, plan; their numbers and dates are to be included below. Where a detail is assumed this must be indicated.

Reference	Reference Doc., No. and date
<b>Roof</b>	
Construction Type	Insulation R Value      Colour - solar absorptance
Magroc Metal Roof	Sarking                      Medium
<b>Ceilings</b>	
Construction Type	Insulation R Value      Insulation description
Magroc Roofing System	R 5.6                      Complete System
<b>Floors</b>	
Construction Type	Insulation R Value      Insulation description
Concrete Slab on Ground	R 1.0                      Complete Underslab Insulation
<b>Internal Walls</b>	
Construction Type	Insulation R Value      Insulation description
Cavity wall	R 2.5                      Between Garage/Residence & Internal wet area walls
<b>External Walls</b>	
Construction Type	Insulation R Value      Colour - solar absorptance
Magroc 165mm Wall System	R 3.8 Complete System      Medium
<b>Windows</b>	
Glass identification, colour, thickness (mm)*	Frame Material*      Total U value <sup>+</sup> SHGC <sup>+</sup> Area (m <sup>2</sup> )
Double Glazed Clear	Thermally Broken      2.86      0.55      57.3

<sup>+</sup>Total U-value and SHGC assessed for the combined effect of glass and frames as measured by the relevant Australian Fenestration Rating Council (AFRC) protocol.

Carpets, Internal Window Coverings and Pelmet (features included in the rating must have a degree of permanency)  
Venetian blinds, Carpets to Bedrooms, Tiles to Living Areas

External Shading (eg pergolas, verandas, louvres, awnings etc)  
Shading Devices as per Plans

Other features assisting in minimising energy usage for heating and cooling, air leakage and infiltration

Orientation (from nominal north)	10
Terrain category	Climate 24
Ventilated skylights	No
Seals to windows and doors	Yes
Exhaust fans without dampers	No
Vented downlights	Sealed Lighting

\*glass colour, thickness and frame material are not separate factors in the thermal calculation and are listed for additional information.

### HOUSE ENERGY RATING

118.4 MJ/m<sup>2</sup> /ANNUM    7.0 STARS

22-05-2017

SULAIMAN AKBARI

*SULAIMAN AKBARI*

ASSESSOR



Access Canberra

EXEMPTION ASSESSMENT D NOTICE LODGEMENT FORM  
Planning and Development Act 2007, s425

To be completed by Works Assessor or Building Surveyor and submitted with Exemption Assessment D Notice and relevant documentation

Lease/Site Details *Please Print*

Block [redacted] Section [redacted] Suburb MONCRIEF Unit No. [redacted]

Street Address [redacted]

Owners Details - All owners MUST be listed

Owner 1 Sch 2 2.2(a)(ii) Owner 2 Sch 2 2.2(a)(ii)  
Owner 3 [redacted] Owner 4 [redacted]

Description of Works relevant to the Notice *if more than 3 items please attach further details*

- 1 SINGLE DWELLING RESIDENCE
- 2 GARAGE, PORCH, ALFRESCO
- 3 FENCING, RAINWATER TANK, LANDSCAPE WORKS

Works Assessor or Building Surveyor Details *Please Print*

Surname BATES First Name JOHN

Company Name [redacted]

ACN Number [redacted] Licence Number 19884388

Postal Address 16 PINDARIE CRES.,

Suburb O'MALLEY State ACT Postcode 2606

Phone Number [redacted] Business Hours → Mobile 0412 628 585

EMAIL ADDRESS jonbate@bigpond.net.au

DATE OF ISSUE - S138D(d) Planning and Development Act 2007

A copy of the Exemption Assessment D Notice must be provided to Planning and Land Authority within 5 days after the day the works assessor or building surveyor issues the notice.

Date notice issued

1/09/2017

### Documentation Checklist

	Provided		Provided
Exemption Assessment D Notice	✓	A copy of the plans and documents used in the exemption assessment of the building work provided	✓
The exemption must be marked on, or attached to, or partly marked on or partly attached to, each page of the plans used by the works assessor or building surveyor in the assessment	✓	Plans have been initialled, dated and marked with the works assessor or building surveyor's licence number on each page of the plans & numbered consecutively through each document, starting with the number 1 Each page states the total number of pages comprising the attached documents	✓

*Note: If, because of the size of the plans, it is impractical to mark the exemption on each page of the plans, the works assessor/building surveyor may, instead of marking the exemption on each page of the plans, mark each page of the plans with his/her initials, licence number and date; and indicate that the details of the exemption are in the exemption assessment D notice.*

### Works Assessor/Building Assessor Declaration

I declare I have issued the attached Exemption Assessment D Notice in accordance with the requirements of the *Planning and Development Act 2007* and *Planning and Development Regulations 2008*.

Works Assessor/Building Surveyor  
Signature

*[Handwritten Signature]*

Date

1/09/2017

**NOTE:** There are penalties for deliberately giving false and misleading information.

#### Privacy Notice

The personal information on this form is provided to Access Canberra to enable the processing of your application. The collection of personal information is authorised by the *Building Act 2004*. If all or some of the personal information is not collected Access Canberra cannot process your application. The personal information you provide may be disclosed to Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be disclosed where authorised by law or court order, or where the Directorate reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. Access Canberra's Information Privacy Policy contains information about how you may access or seek to correct your personal information held by Access Canberra, and how you may complain about an alleged breach of the Territory Privacy Principles. Access Canberra Information Privacy Policy can be found at [www.act.gov.au/accessCBR](http://www.act.gov.au/accessCBR)

#### CONTACT INFORMATION

**Email:**

ACTPLAdevelopmentBA@act.gov.au

**Post:**

Access Canberra  
Building Services  
Shopfront Mitchell  
GPO Box 158  
Canberra, ACT 2601

**In Person:**

Please visit  
[www.act.gov.au/accessCBR](http://www.act.gov.au/accessCBR)  
Or call 132281 to find an  
Access Canberra Shopfront.

**Minimum Documentation Requirements Definitions and Checklist**

The preferred format of documents and plans is in portable document format (.pdf).

The preferred electronic size of plans is A3 and other documents A4.

Required 'plans' are to be fully dimensioned and to the scales as identified below and must contain a drawing title block which includes the site details, revision number, designers name and correct plan name in accordance with AS1100.

Required 'details' can be included in plans and/or specifications.

Submission Requirement	Required Information	Checklist
<u>Form – Minimum Documentation Requirements for Building Approval Lodgement Checklist</u>	Fully completed form: Minimum Documentation Requirements Definitions and Checklist.. (This form)	<input checked="" type="checkbox"/> Supplied as stand alone or in document <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
<u>Form – Appointment of Certifier</u>	Fully completed form: Appointment of a certifier application for building approval.	<input checked="" type="checkbox"/> Supplied as stand alone or in document <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
<u>Asbestos Removal Control Plan</u>	Prepared in accordance with Code of practice for the safe removal of Asbestos National Occupational Health and Safety Commission 2 <sup>nd</sup> Edition (NOHSC: 2002(2005))	<input type="checkbox"/> Supplied as stand alone or in document <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use
<u>Development Approval</u>	Each Plan, Drawing and document, including the notice of decision, which formed part of the development approval.	<input type="checkbox"/> Supplied as stand alone or in document NOT FROM EXEMPTION DECLARATION <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use
<u>Estimate of the Cost of the Building Work</u>	As calculated in accordance with Building (General) (Cost of Building Work) Determination.	<input checked="" type="checkbox"/> Supplied as stand alone or in document <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
<u>Alternative Solutions</u>	All calculations, reports, certificates and manufacturer's information together with a written proposition to support a building solution which is not in accordance with the Deemed-to-Satisfy provisions of the National Construction Code.	<input type="checkbox"/> Supplied as stand alone or in document <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use

<p><u>Site Plan</u></p>	<ul style="list-style-type: none"> <li>• Scale not less than 1:200</li> <li>• the title boundaries, dimensions and directions including the north point, of the land</li> <li>• the position and dimensions of any easement or services on the land</li> <li>• the position and dimensions of the proposed building or structure (retaining walls, swimming pools, garages, etc.) or building work on the land</li> <li>• Driveways and parking areas and crossovers</li> <li>• Finished floor levels relative to site datum</li> <li>• Finished site levels relative to the Australian height datum</li> <li>• The relationship of the proposed building or building work to the boundaries of the land</li> <li>• The position of any buildings on adjoining properties within 3m of the boundary of the land</li> <li>• Detailed contours of the land at 0.25m intervals over the building site referenced to a project site datum</li> <li>• Earthworks (excavations or fill levels relative to the Australian Height datum, and compaction details) and associated soil and water management strategies</li> <li>• The position of any existing building, structure or trees on the land and the purpose for which the building or structure is used</li> <li>• All utility connection points including electrical, stormwater, sewerage, water and telecommunication/data</li> </ul>	<p><input checked="" type="checkbox"/> <sup>MANLY</sup> Supplied as stand alone or in document</p> <hr/> <p><input type="checkbox"/> Not required</p> <p><input type="checkbox"/> Office Use</p>
<p><u>Floor Plan</u></p>	<ul style="list-style-type: none"> <li>• Scale not less than 1:100</li> <li>• A plan for each floor including any trafficable subfloor areas</li> <li>• Dimensions</li> <li>• Key to sections cross referenced to relevant drawing and sheet number</li> <li>• Finished floor levels related to Australian Height Datum</li> <li>• Identification of the existing building</li> <li>• Identification of all rooms (existing and proposed)</li> </ul>	<p><input checked="" type="checkbox"/> <sup>MANLY</sup> Supplied as stand alone or in document</p> <hr/> <p><input type="checkbox"/> Not required</p> <p><input type="checkbox"/> Office Use</p>

<u>Elevation Plan</u>	<ul style="list-style-type: none"> <li>• Scale of not less than 1:100</li> <li>• Dimensioned heights including overall heights</li> <li>• Proposed external materials referenced to a materials schedule</li> <li>• Finished floor levels and ceiling levels</li> <li>• Natural and finished ground levels related to Australian Height Datum</li> <li>• Floor to ceiling heights</li> </ul>	<input checked="" type="checkbox"/> Supplied as stand alone or in document  <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
<u>Section Details – Wall, Floor Ceiling &amp; Roof</u>	<ul style="list-style-type: none"> <li>• Scale of not less than 1:100</li> <li>• Finished floor levels and ceiling levels</li> <li>• Natural and finished ground levels related to Australian Height Datum</li> <li>• Floor to ceiling heights</li> <li>• Long section of any proposed basement ramp showing gradients</li> <li>• Section of any sub floor areas</li> </ul>	<input checked="" type="checkbox"/> Supplied as stand alone or in document  <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
<u>Demolition Plan</u>	<ul style="list-style-type: none"> <li>• Scale not less than 1:200</li> <li>• the title boundaries, dimensions and directions including the north point, of the land</li> <li>• the position and dimensions of any easement or utility tie or service points on the land</li> <li>• the position and dimensions of the proposed buildings or structures to be demolished</li> <li>• The relationship of the proposed demolition to the boundaries of the land</li> <li>• The position of any buildings on adjoining properties within 3m of the boundary of the land</li> <li>• The position of any existing building, structure or trees and the purpose for which the building or structure is used</li> <li>• Identification of erosion and sediment control measures</li> </ul>	<input type="checkbox"/> Supplied as stand alone or in document  <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use

<u>Footings and Concrete Slab Details</u>	<ul style="list-style-type: none"> <li>• Section of any sub floor areas</li> <li>• Dimensioned plan and construction details of footings including penetrations, step down details and placement of reinforcement including cover</li> <li>• Nominated founding depth and description of founding material</li> <li>• Dimensioned plan and construction details of slabs including levels, falls or gradients</li> <li>• Construction details of penetrations, step downs in beams, set downs in slabs and placement details of reinforcement including cover</li> <li>• Slab preparation including materials, thicknesses, compaction requirements, vapour barrier specifications and installation details</li> <li>• Concrete strength, slump, finishing and curing requirements</li> <li>• Specifications and installation details of proprietary and other systems</li> </ul>	<input checked="" type="checkbox"/> Supplied as stand alone or in document  <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
<u>Retaining Wall Details</u>	<ul style="list-style-type: none"> <li>• Dimensioned plan showing position of retaining wall, drainage, founding levels and heights</li> <li>• Dimensioned construction details</li> <li>• Drainage, tanking and protection details</li> <li>• Backfill specifications</li> <li>• Concrete mix, slump, reinforcement placement Washout requirements</li> <li>• Specifications and installation details of proprietary and other systems</li> </ul>	<input checked="" type="checkbox"/> Supplied as stand alone or in document  <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
<u>Masonry Construction Details</u>	<ul style="list-style-type: none"> <li>• Show unreinforced, reinforced or earthwall construction</li> <li>• Identify structural and non-structural walls</li> <li>• Specify dimensions of engaged and isolated piers</li> <li>• Reinforcing specified for reinforced walls</li> <li>• Identify fire rating requirement</li> <li>• Masonry unit sizes and bond patterns and tooling of joints</li> <li>• Specification of brick ties and anchorages</li> <li>• Mortar specification</li> <li>• Cavity dimension and clean out specification</li> <li>• Knockout blocks for washout</li> <li>• Control joint location and detail</li> <li>• Sub floor vents. Location and Size per metre</li> <li>• Specify lintels and bond beams</li> <li>• Sub floor bracing (masonry shear walls)</li> <li>• Weatherproofing and waterproofing details</li> <li>• Flashings, damp proof course and weep holes</li> <li>• Weephole guards (insects, bushfire prone areas)</li> </ul>	<input checked="" type="checkbox"/> <sup>MAINTLY</sup> Supplied as stand alone or in document  <del>TO BE SUPPLIED</del> <input type="checkbox"/> Not required <input type="checkbox"/> Office Use

<b>Framing (including trusses) and Construction Details</b>	<ul style="list-style-type: none"> <li>• Framing drawings or schedules to indicate each structural member, dimensions, orientation, material, grade and size, spacing and span</li> <li>• Joint, support and bearing details</li> <li>• Show minimum clearances to ground level of flooring system members</li> <li>• Fire rating construction details</li> <li>• Bracing, tie downs and fixings</li> <li>• Roof pitch, eave / overhang details</li> <li>• Show location of roof mounted solar panels, hot water service or air conditioners</li> </ul>	<input checked="" type="checkbox"/> <sup>MAINLY</sup> Supplied as stand alone or in document <hr/> <input checked="" type="checkbox"/> <u>TO BE SUPPLIED</u> <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
<b>Roof Cladding Details</b>	<ul style="list-style-type: none"> <li>• Sheeting or tile specification including: <ul style="list-style-type: none"> <li>o Roof pitch</li> <li>o Batten spacing</li> <li>o Fixing requirements</li> <li>o Flashing details</li> <li>o Roof drainage</li> <li>o Bushfire sealing requirements</li> </ul> </li> <li>• Roof lights</li> <li>• Roof ventilators</li> </ul>	<input checked="" type="checkbox"/> <sup>MAINLY</sup> Supplied as stand alone or in document <hr/> <input checked="" type="checkbox"/> <u>TO BE SUPPLIED</u> <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
<b>Exterior Cladding and Material Details</b>	<ul style="list-style-type: none"> <li>• Cladding system description, manufacturer, material, pattern and colour, cavity detailing</li> <li>• Fixings, flashings and other details</li> <li>• Sub floor ventilation</li> <li>• Bushfire protection requirements</li> </ul>	<input checked="" type="checkbox"/> <sup>MAINLY</sup> Supplied as stand alone or in document <hr/> <input checked="" type="checkbox"/> <u>TO BE SUPPLIED</u> <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
<b>Wet area details</b>	<ul style="list-style-type: none"> <li>• Specify material and system</li> <li>• Wet areas specification (extent and system e.g. -membrane, manufacturer and type)</li> <li>• Location and design of wet areas</li> </ul>	<input checked="" type="checkbox"/> <sup>SOME</sup> Supplied as stand alone or in document <hr/> <input checked="" type="checkbox"/> <u>TO BE SUPPLIED</u> <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
<b>Windows and Glazing Details</b>	<ul style="list-style-type: none"> <li>• Window system description, manufacturer, frame material and energy rating</li> <li>• Glazing specification</li> <li>• Bushfire-prone areas requirements</li> <li>• Opening size for ventilation calculation</li> <li>• Other glazing <ul style="list-style-type: none"> <li>o Internal glazing specifications including wet area glazing, shower screens, doors</li> <li>o Balustrade system specification (glass and fixings)</li> <li>o Overhead glazing, roof lights</li> </ul> </li> </ul>	<input checked="" type="checkbox"/> <sup>SOME</sup> Supplied as stand alone or in document <hr/> <input checked="" type="checkbox"/> <u>TO BE SUPPLIED</u> <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
<b>Fire Safety Details</b>	<ul style="list-style-type: none"> <li>• Smoke alarms location and type</li> <li>• Bushfire-prone areas specifications</li> <li>• Fire separation details</li> <li>• Penetration sealing specifications (building perimeter)</li> </ul>	<input checked="" type="checkbox"/> <sup>MAINLY</sup> Supplied as stand alone or in document <hr/> <input type="checkbox"/> Not required <input type="checkbox"/> Office Use



<u>Safe Movement and access (including stairs and ramps) Details</u>	<ul style="list-style-type: none"> <li>• Construction – type, material and proprietary system</li> <li>• Balustrade construction, spacing and handrails</li> <li>• Clearance height above stair nosings</li> <li>• Winders detail</li> <li>• Dimensions of landings, risers and goings</li> <li>• Section through the stairs</li> <li>• Method of construction, including aperture size, non-slip requirements</li> <li>• Ramp slope and surface finish</li> </ul>	<input checked="" type="checkbox"/> <del>SOME</del> Supplied as stand alone or in document <u>&amp; TO BE SUPPLIED</u> <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
<u>Swimming Pools and Spas Details (including fencing/barriers)</u>	<ul style="list-style-type: none"> <li>• Construction details, waterproofing, drainage, pool water recirculation and filtration systems</li> <li>• Pool safety barrier details and height</li> <li>• Openings, gates and latches</li> </ul>	<input type="checkbox"/> Supplied as stand alone or in document <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use
<u>Energy Efficiency Details</u>	<ul style="list-style-type: none"> <li>• Building fabric thermal efficiency specification <ul style="list-style-type: none"> <li>o walls, ceiling, floors and roof</li> <li>o Insulation location and R value</li> <li>o Sarking vapour permeability</li> </ul> </li> <li>• Window energy specification</li> <li>• Energy rating documentation</li> <li>• Building sealing</li> <li>• Air movement control strategies</li> <li>• Pipe and services insulation</li> <li>• Glazing calculator to be supplied if a Deemed-To-Satisfy solution</li> <li>• Under slab or slab edge insulation</li> </ul>	<input checked="" type="checkbox"/> Supplied as stand alone or in document <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
<u>Water Supply and Drainage Plan</u>	<ul style="list-style-type: none"> <li>• An interim sanitary drainage plan</li> <li>• A plan that identifies the location of all relevant water supply and drainage points to the building</li> <li>• Surface and sub-surface site drainage including location of on-site waste water management systems including land application area</li> <li>• Levels of overflow relief gully (ORG) rim relative to the lowest sanitary plumbing fixture outlet and the surrounding finished surface level</li> <li>• Levels of inverts to existing and proposed drainage services at point of connection to approved disposal system</li> </ul>	<input checked="" type="checkbox"/> <del>SOME</del> Supplied as stand alone or in document <u>&amp; TO BE SUPPLIED</u> <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
<u>Services Plan</u>	<ul style="list-style-type: none"> <li>• A plan that identifies the location of all relevant internal and external electrical points in or on the building, lighting, plant and mechanical, for example air-conditioning, evaporative cooling, exhaust fans, water heaters, fixed appliances and water tanks (including connection)</li> </ul>	<input checked="" type="checkbox"/> <del>SOME</del> Supplied as stand alone or in document <u>&amp; TO BE SUPPLIED</u> <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
Building Certifier: <u>JDW/ks</u> Date: <u>1/09/2017</u>		ESDD Customer Service Officer: _____ Date: _____

# SITE WORK NOTICE

For section 28 (1A) of the Building Act 2004

To be completed by the appointed Building Certifier and submitted to the Construction Occupations Registrar within 7 days of issue

## Lease/Site Details

Block  Section  Suburb  Division

Unit No  Street Address

## Building Approval Application and Site Work Details

This notice is issued in relation to the site work shown in the plans submitted as part of the application for a building approval dated made by the following applicants:

on: date 8/10/2016

This notice applies to all site work in that application for which there is there is no—

- (a) exemption assessment D notice stating that the site work is exempt development issued for the work not more than 3 months before the day the application was made;
- (b) exemption declaration under the *Planning and Development Regulation 2008*, schedule 1, section 1.100A (1) (b) or section 1.100AB (1) (b) made by the planning and land authority; or
- (c) current development approval issued in relation to the site work.

**NOTE:** Site work is development that is—

- (a) building work; and
- (b) work other than building work that—
  - (i) physically affects the place (the building site) where the building work is being carried out; and
  - (ii) if not carried out at the building site, is carried out near, and connected with, the building site.

Examples: putting up temporary fencing, installing measures for erosion control, building a house, damaging or removing a significant tree, laying paving for driveways and parking areas, installing landscaping, site clearing and excavation, erecting site signage, erecting a pergola

## Building Certifier Details Please Print

Surname  First Name

Company Name

Licence Number  Contact Number

Postal Address

Suburb  State  Postcode

## Building Certifier Statement

I state that:

- the plans for the building work to which the application for building approval relates show all the information necessary to establish that the site work is exempt development under the *Planning and Development Act 2007*, section 133; and
- the site work is exempt development; and
- I have assessed that the site work is exempt development for the following reasons and in accordance with the following provisions of the *Planning and Development Regulation 2008* and Territory Plan Codes:

Please include all relevant regulations and codes relied on for your assessment and an outline of your reasoning, such the assessment you undertook, advice from referral entities, compliance with lease and development conditions etc. You can attach additional information if needed and supporting documents including checklists or your own assessment documents. You do not need to attach a copy of the plans or building approval application.

APART FROM EXEMPTION DECLARATION  
PLANNING & DEVELOPMENT REG. 2008 - S1100

*Please attach additional information if required*

Building Certifier Signature  
(or nominee)



Date of  
Issue

11/09/2017

**Giving false or misleading information is a serious offence**

### Privacy Notice

The personal information on this form is provided to the Environment and Planning Directorate (EPD). The collection of personal information is authorised by the *Building Act 2004*. If all or some of the required personal information is not collected this notice is not considered complete. The personal information provided may be disclosed to Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be disclosed where authorised by law or court order, or where the EPD reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. EPD's Information Privacy Policy contains information about how you may access or seek to correct your personal information held by EPD, and how you may complain about an alleged breach of the Territory Privacy Principles. The EPD Information Privacy Policy can be found at [www.environment@act.gov.au](http://www.environment@act.gov.au).

### Contact Details:

Environment and Planning Directorate  
GPO Box 158, Canberra City 2601

Phone: (02) 6207 1923 TTY: (02) 6207 2622

Business Hours: 8.30am to 4.30pm weekdays (excluding Public Holidays)

Customer Service Centres

8 Darling Street Mitchell, ACT 2911

16 Challis Street Dickson ACT 2602

Email: [epdcustomerservices@act.gov.au](mailto:epdcustomerservices@act.gov.au) Website: [www.environment@act.gov.au](http://www.environment@act.gov.au)



Electricity Networks

STATEMENT OF

## CONDITIONAL COMPLIANCE

Application No: 158374 Suburb: Moncrieff

Block/Section [REDACTED]

Applcn Type: Single residential/New Construction Inclusions : with Garage

### Attached Plans

[REDACTED] Moncrieff plans\_Part1\_Part1.pdf  
[REDACTED] Moncrieff plans\_Part1\_Part2.pdf  
[REDACTED] Moncrieff plans\_Part2\_Part1.pdf  
[REDACTED] Moncrieff plans\_Part2\_Part2.pdf  
[REDACTED] Moncrieff POE and Meterbox location.pdf

**This application is approved subject to compliance with the following conditions:**

### Conditions

A Minimum of 1.0M clearance is required for the proposed or existing Meter Box.  
Installation of electrical conduits (on or off block) will be the responsibility of the proponent.  
See attached site plan indicating mandatory service marking and meter box location.  
The location of the proposed or existing Point of Entry/ Meter Box is to comply with ActewAGL's Service and Installation rules.

Please Note

- **WARNING** ActewAGL underground assets may be in or adjacent to this block. It is your responsibility to ascertain the location of such assets.
- Development and Building Applications will need to include any proposed ActewAGL works.
- If ActewAGL approval conditions are not met, a breach of the law may result.
- Separate applications are required for water & sewerage and communication network services.
- Construction of unapproved works may result in action being taken to require the property owner to remove non-compliant structures and/or the property owner to fund rectification works on ActewAGL's electricity network.
- Any attached reticulation or servicing plan is preliminary only. Contact ActewAGL for final plans prior to the commencement of any construction activity.
- A failure of this application to show accurately located electricity assets may result in damage and costs for which the proponent will be liable. Damage to network assets must be reported to ActewAGL.

Please refer to Info Sheets

Underground service conduit requirements 8912-02.pdf

Comments:

Signed Paul Maguire

Date 26 Oct 2016

## Application Number

158874

THE FLOOR LEVELS SHOWN ARE TO BUILDERS DISCRETION TO BE VERIFIED ON SITE. MINIMUM CHANGE TO BE UNDER 300 MM. LOCATION OF CUTS ARE INDICATIVE ONLY AND TO BE VERIFIED ON SITE.

CONSTRUCTION LEVELS AND CONTOURS ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION. BUILDER IS RESPONSIBLE TO ENSURE ALL INFORMATION SHOWN HERE REGARDING LEVELS IS ACCURATE AND REPRESENTS EXISTING ON SITE LEVELS.

BLOCK DIMENSIONS, CONTOURS, SERVICES AND EASEMENTS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION.

RETAINING WALL HEIGHTS AND ALL LEVELS TO SUIT SITE CONDITIONS. FINAL HEIGHTS TO BE CONFIRMED BY BUILDER ON SITE.

BUILDER TO PROVIDE ALL LABOUR, MATERIALS, FITTINGS, PAINT, TOOLS, PERMITS, INSURANCES ETC NECESSARY FOR THE PROPER COMPLETION OF THE WORKS AND ENSURE THAT ALL LABOUR AND MATERIALS IN ALL TRADES ARE THE BEST OF THE RESPECTIVE KINDS. SEE INCLUSIONS LIST FOR EXCLUSIONS.

ALL CONTRACTORS TO INFORM THEMSELVES OF THE SCOPE OF WORK PRIOR TO COMMENCING THEIR RELEVANT DUTIES.

FOLLOW FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS BEFORE STARTING AND REPORT ANY DISCREPANCIES TO THE DESIGNER.

BUILDING SETBACKS, EASEMENTS AND DIMENSIONS TO BE VERIFIED BY SURVEYOR AND CERTIFIER PRIOR TO COMMENCEMENT OF ANY WORK.

MATERIALS AND WORKMANSHIP TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AND ALL OTHER RELEVANT CODES AND AUSTRALIAN STANDARDS.

PLEASE NOTE:  
DIMENSIONS TAKE PREFERENCE OVER SCALE. DIMENSIONS TO BE VERIFIED PRIOR TO THE COMMENCEMENT OF BUILDING.  
ALL DIMENSIONS, ASPECTS AREAS ETC, TO BE CONFIRMED BY PERMIT HOLDER PRIOR TO COMMENCEMENT OF BUILDING.  
ANY DISCREPANCIES FOUND IN DIMENSIONS, AREAS, ETC TO BE RECTIFIED PRIOR TO COMMENCEMENT OF BUILDING.  
ALL BUILDING WORK TO BE PERFORMED IN ACCORDANCE WITH 'BUILDING CODE OF AUSTRALIA' AND ANY OTHER RELEVANT BUILDING CODES.

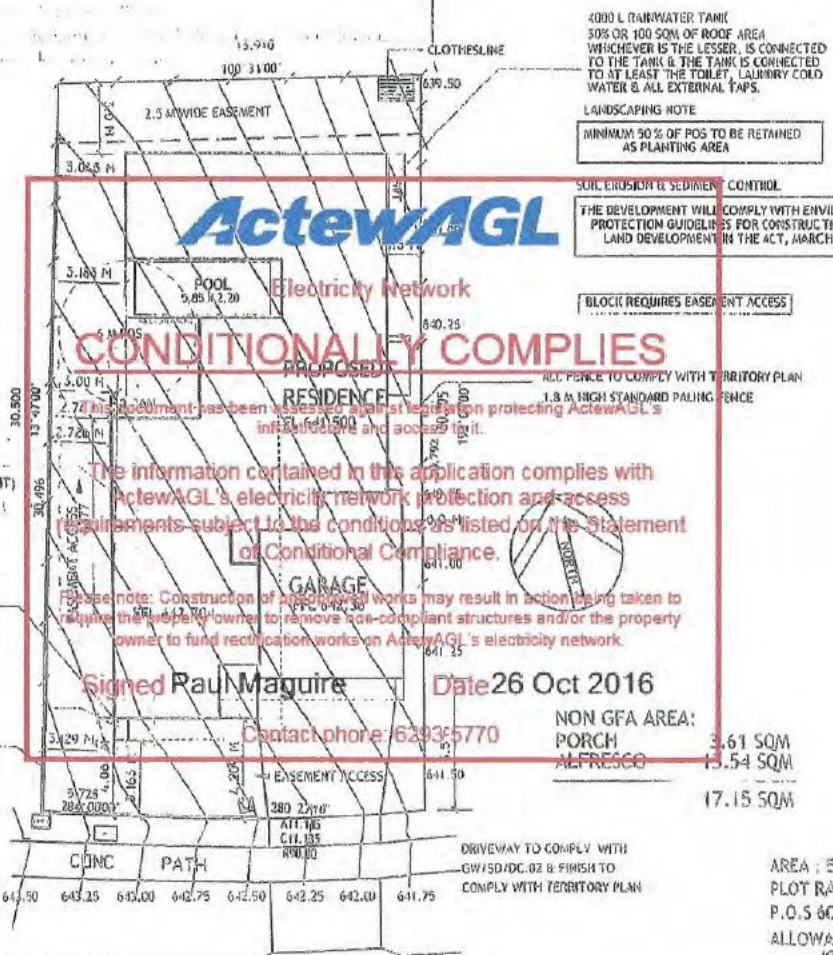
DESIGNER DETAILS:  
**ARC ESSENTIALS**  
0488 920 700  
arcessentialsh@gmail.com

BUILDER:  
**IBUILT**  
CLIENT:  
**IBUILT**

PROJECTS DETAILS:  
**PROPOSED RESIDENCE**

BLOCK: [REDACTED] SECTION: [REDACTED]  
SUBJRD: **MONCRIEFF**

DRAWING TYPE:		SCALE:
<b>SITE PLAN</b>		<b>1:200</b>
SHEET:	DATE:	JOB NO:
<b>1</b>	<b>19-10-2016</b>	<b>0100</b>



R12 AREA OF ENCROACHMENT 1.09 SQM (MAX 0.26M ENCROACHMENT)

0.5 M CUT & RETAINER CONTOURS BASED ON DEVELOPER'S CONTOURS

ALL CUTS & FFL TO BE VERIFIED ON SITE BY A CERTIFIED SURVEYOR

R11 MON STRUCTURAL ARTICULATION ELEMENT 0.54 SQM

75MM THICK RETAINING WALL

DRIVEWAY TO COMPLY WITH GW/SD/DC.02 & FINISH TO COMPLY WITH TERRITORY PLAN

4000 L RAINWATER TANK 50% OR 100 SQM OF ROOF AREA WHICHEVER IS THE LESSER. IS CONNECTED TO THE TANK & THE TANK IS CONNECTED TO AT LEAST THE TOILET, LAUNDRY COLD WATER & ALL EXTERNAL TAPS.

LANDSCAPING NOTE  
MINIMUM 90 % OF POS TO BE RETAINED AS PLANTING AREA

SOIL EROSION & SEDIMENT CONTROL  
THE DEVELOPMENT WILL COMPLY WITH ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE ACT, MARCH 2011

BLOCK REQUIRES EASEMENT ACCESS

RLC FENCE TO COMPLY WITH TERRITORY PLAN 1.8 M HIGH STANDARD PALING FENCE



Application Number

158374

CONDITIONS ARE INDICATIVE ONLY AND TO BE VERIFIED ON SITE

CONTRACTOR LEVELS AND CONTOURS ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION. BUILDER IS RESPONSIBLE TO ENSURE ALL INFORMATION SHOWN HERE REGARDING LEVELS IS ACCURATE AND REPRESENTS EXISTING ON SITE.

BLOCK BOUNDARIES, CONTOURS, SERVICES AND EASEMENTS TO BE VERIFIED BY SURVEYOR PRIOR TO CONSTRUCTION.

RETAINING WALL HEIGHTS AND ALL LEVELS TO SUIT SITE CONDITIONS. FINAL HEIGHTS TO BE CONFIRMED BY BUILDER ON SITE.

BUILDER TO PROVIDE ALL LABOUR, MATERIALS, FITTINGS, PAINT, TOOLS, PERMITS, INSURANCES ETC NECESSARY FOR THE PROPER COMPLETION OF THE WORKS AND ENSURE THAT ALL LABOUR AND MATERIALS IN ALL TRADES ARE THE BEST OF THE RESPECTIVE KINDS. SEE INCLUSIONS LIST FOR EXCLUSIONS.

ALL CONTRACTORS TO INFORM THEMSELVES OF THE SCOPE OF WORK PRIOR TO COMMENCING THEIR RELEVANT DUTIES.

FOLLOW FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS BEFORE STARTING AND REPORT ANY DISCREPANCIES TO THE DESIGNER.

BUILDING SETBACKS, EASEMENTS AND DIMENSIONS TO BE VERIFIED BY SURVEYOR AND CERTIFIER PRIOR TO COMMENCEMENT OF ANY WORK.

MATERIALS AND WORKMANSHIP TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AND ALL OTHER RELEVANT CODES AND AUSTRALIAN STANDARDS.

PLEASE NOTE:  
DIMENSIONS TAKE PREFERENCE OVER SCALE. DIMENSIONS TO BE VERIFIED PRIOR TO THE COMMENCEMENT OF BUILDING.  
ALL DIMENSIONS, ASPECTS AREAS ETC. TO BE CONFIRMED BY PERMIT HOLDER PRIOR TO COMMENCEMENT OF BUILDING.  
ANY DISCREPANCIES FOUND IN DIMENSIONS, AREAS, ETC TO BE RECTIFIED PRIOR TO COMMENCEMENT OF BUILDING.  
ALL BUILDING WORK TO BE PERFORMED IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA AND ANY OTHER RELEVANT BUILDING CODES.

DESIGNER DETAILS:  
**ARC ESSENTIALS**  
0460 920 700  
arcessentials@hotmail.com

BUILDER:  
**IBUILT**

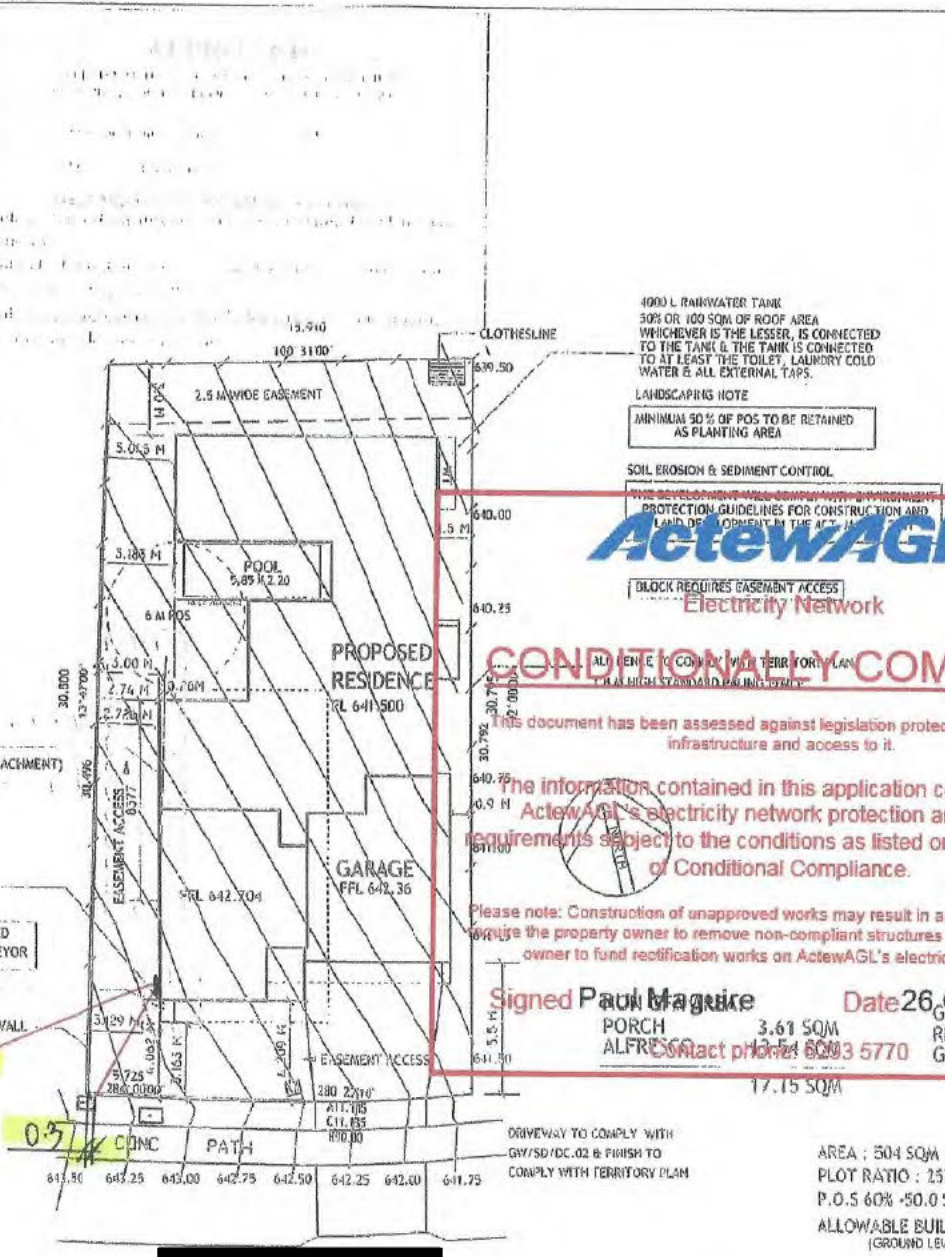
CLIENT:  
**IBUILT**

PROJECT'S DETAIL:  
**PROPOSED RESIDENCE**

BLOCK: [REDACTED] SECTION: [REDACTED]  
SUBURD.: **MONCRIEFF**

SCALE:  
**1:200**

SHEET: [REDACTED] DATE: **19-10-2016** JOB NO: **0100**



**CONDITIONALLY COMPLIES**

This document has been assessed against legislation protecting ActewAGL's infrastructure and access to it.

The information contained in this application complies with ActewAGL's electricity network protection and access requirements subject to the conditions as listed on the statement of Conditional Compliance.

Please note: Construction of unapproved works may result in action being taken to require the property owner to remove non-compliant structures and/or the property owner to fund rectification works on ActewAGL's electricity network.

Signed **Paul Maguire** Date **26 Oct 2016**  
 PORCH 3.61 SQM  
 ALFRESCO 13.74 SQM  
 CONTACT PHONE: 6093 5770  
 17.15 SQM

GFA AREA:  
 RESIDENCE 194.59 SQM  
 GARAGE 45.47 SQM  
 240.06 SQM

AREA : 504 SQM  
 PLOT RATIO : 257 SQM  
 P.O.S 60% -50.0 SQM = 252.4 SQM  
 ALLOWABLE BUILD 251.6 SQM (GROUND LEVEL)

**CONCRETE BARRIER BOX**  
 JOIN CORNER TO PT M BOUNDARY

R12 AREA OF ENCROACHMENT 1.09 SQM (MAX 0.26M ENCROACHMENT)

0.5 M CUT & RETAINER CONTOURS BASED ON DEVELOPER'S CONTOURS

ALL CUTS & PFL TO BE VERIFIED ON SITE BY A CERTIFIED SURVEYOR

R11 NOM STRUCTURAL ARTICULATION ELEMENT 0.54 SQM

75MM THICK RETAINING WALL

DRIVEWAY TO COMPLY WITH GW/SD/DC.02 & FINISH TO COMPLY WITH TERRITORY PLAN



## STATEMENT OF CONDITIONAL ACCEPTANCE

Application No: 163954 Suburb: Moncrieff

Block/Section [REDACTED]

Appcn Type: Single residential/New Construction Inclusions : with Garage, with Pergola/Deck or Patio, with Pool

### Attached Plans

[REDACTED] Moncrieff Resub 01.pdf  
[REDACTED] Moncrieff Resub 010.pdf  
[REDACTED] Moncrieff Resub 011.pdf  
[REDACTED] Moncrieff Resub 02.pdf  
[REDACTED] Moncrieff Resub 03.pdf  
[REDACTED] Moncrieff Resub 04.pdf  
[REDACTED] Moncrieff Resub 05.pdf  
[REDACTED] Moncrieff Resub 06.pdf  
[REDACTED] Moncrieff Resub 07.pdf  
[REDACTED] Moncrieff Resub 08.pdf  
[REDACTED] Moncrieff Resub 09.pdf  
MONCRIEFF Sect [REDACTED].pdf

### Conditions of Acceptance

A water network asset is located on this block. Unobstructed 24 hour - 7 day a week access is to be maintained across the land to the asset. As per Criterion 1 - Easement and other access Clearances of the Planning and Development Regulation 2008. No structures are to be built over Icon Water easements, pipe protection envelopes or access passages without approval from Icon Water in writing.

As per Criterion 1 - Easement and other access Clearances of the Planning and Development Regulation 2008. No structures are to be built over Icon Water easements, pipe protection envelopes or access passages without Icon's written approval. In accordance with this provision, access is to be maintained across land in these areas

Icon Water assets shall be protected for the duration of the construction works from short term load shedding from construction machinery or vibration and groundwater ingress or infiltration. Any damage to Icon assets resulting from the construction works shall be repaired by Icon Water at the contractors expense. Access to Icon's assets including sewer structures, manholes, hydrants and valves is to be maintained for the duration of the construction works.

Location of the water meter is to be clear of driveways and footpaths with a 1m radius unhindered access maintained. If required, relocation of the water service is to be undertaken by Icon Water at the lessee's cost. Relocations further than 1.5m laterally require a Hydraulic plan to be approved by Icon prior to applying for the relocation. Evidence of this being performed and constructed is to be forwarded to Icon Water before the certificate of occupation is issued.

Please note, in order to ensure compliance with current water restrictions, occupants must apply for an exemption to fill a pool via Icon Water's website, Please call Icon Water on (02) 6248 3111 for further information.

The backwash of the pool filter may discharge to sewer. The discharge to sewer of pool overflow or emptying is not subject to this approval. A separate Icon Water liquid waste application is required for these discharges. Please call (02) 6248 3111 to discuss Icon's Liquid Waste requirements

Note: No Cuts, Fill, possible Retaining Walls or Permanent structures to impede a clear 2.2m. ICON Water access to rear Sewer easement, Manhole and Tie location. Note: A 1 meter clearance zone is to be maintained around water meter.

Please Note:

- ❖ Separate applications are required for ActewAGL electricity and gas networks.
- ❖ Any failure to accurately show existing or proposed structures may result in damage and costs for which the property owner will be liable. Damage to network assets must be reported to Icon Water.
- ❖ Utility conditions may also apply to minor structures and landscaping works that may not have been depicted in this document. Consultation with Icon Water is advised if such structures and landscaping are planned.
- ❖ Icon Water recommends setbacks provided for equipment access to water or sewerage network assets are kept free of obstruction by the property owner.
- ❖ Construction of works without the approval of Icon Water may result in connection to Icon Water's water and sewerage networks being denied and /or action being taken to require the property owner to remove non-compliant services (e.g. sanitary drains) or structures.

### WARNING

Failure to comply with these conditions is likely to result in interference with an Icon Water sewer or water asset. Part 5 of the Utilities (Technical Regulation) Act 2014 applies, which indicates a person who interferes with a utility asset may be subject to prosecution. The current maximum penalty is 200 penalty units, imprisonment for two years, or both. In addition the land-holder can be ordered at their expense to stop the interference, which may involve removal of the building work or that part of the building work that is causing, or is likely to cause interference.

Comments:

Signed

Robert Cirson

Date

29 Aug 2017



THE FFL'S ARE SUBJECT TO CHANGE AND ARE UP TO BUILDERS DISCRETION TO BE VERIFIED ON SITE, MAXIMUM CHANGE TO BE UNDER 340 MM

LOCATION OF CUTS ARE INDICATIVE ONLY AND TO BE VERIFIED ON SITE  
 CONFIRM ALL LEVELS AND CONTOURS ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION. BUILDER IS RESPONSIBLE TO ENSURE ALL INFORMATION SHOWN HERE REGARDING LEVELS IS ACCURATE AND REPRESENTS EXISTING ON SITE LEVELS

BLOCK BOUNDARIES, CONTOURS, SERVICES AND EASEMENTS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION

RETAINING WALL HEIGHTS AND ALL LEVELS TO SUIT SITE CONDITIONS. FINAL HEIGHTS TO BE CONFIRMED BY BUILDER ON SITE

BUILDER TO PROVIDE ALL LABOUR, MATERIALS, FITTINGS, PAINT, TOOLS, PERMITS, INSURANCES ETC NECESSARY FOR THE PROPER COMPLETION OF THE WORKS AND ENSURE THAT ALL LABOUR AND MATERIALS IN ALL TRADES ARE THE BEST OF THE RESPECTIVE KINDS. SEE INCLUSIONS LIST FOR EXCLUSIONS

ALL CONTRACTORS TO INFORM THEMSELVES OF THE SCOPE OF WORK PRIOR TO COMMENCING THEIR RELEVANT DUTIES

FOLLOW FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS BEFORE STARTING AND REPORT ANY DISCREPANCIES TO THE DESIGNER

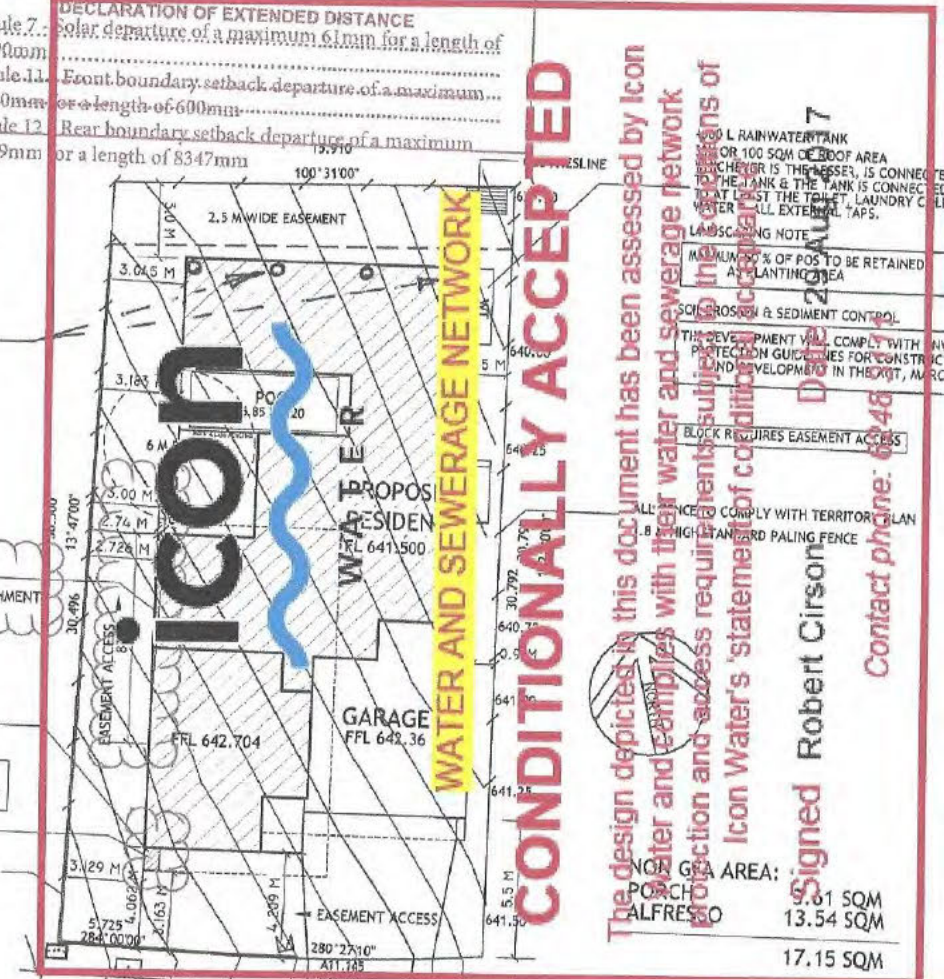
BUILDING SETBACKS, EASEMENTS AND DIMENSIONS TO BE VERIFIED BY SURVEYOR AND CERTIFIER PRIOR TO COMMENCEMENT OF ANY WORK

MATERIALS AND WORKMANSHIP TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AND ALL OTHER RELEVANT CODES AND AUSTRALIAN STANDARDS.

**APPROVED**  
 PURSUANT TO SECTION 1.100A/1.100AB OF THE  
 PLANNING AND DEVELOPMENT REGULATION 2008

Delegate name LISA VAN VUCHT  
 Date 21/10/2016

- DECLARATION OF EXTENDED DISTANCE**
- Rule 7: Solar departure of a maximum 61mm for a length of 490mm
  - Rule 11: Front boundary setback departure of a maximum 900mm or a length of 600mm
  - Rule 12: Rear boundary setback departure of a maximum 259mm or a length of 8347mm



**CONDITIONALLY ACCEPTED**

The design depicted in this document has been assessed by Icon Water and complies with their water and sewerage network protection and access requirements subject to the conditions of Icon Water's statement of conditions of approval.

**Signed Robert Cirson**  
 Director  
 Contact phone: 648 711 111

PLEASE NOTE:  
 DIMENSIONS TAKE PREFERENCE OVER SCALE, DIMENSIONS TO BE VERIFIED PRIOR TO THE COMMENCEMENT OF BUILDING

ALL DIMENSIONS, ASPECTS AREAS ETC, TO BE CONFIRMED BY PERMIT HOLDER PRIOR TO COMMENCEMENT OF BUILDING

ANY DISCREPANCIES FOUND IN DIMENSIONS, AREAS, ETC TO BE RECTIFIED PRIOR TO COMMENCEMENT OF BUILDING

ALL BUILDING WORK TO BE PERFORMED IN ACCORDANCE WITH 'BUILDING CODE OF AUSTRALIA' AND ANY OTHER RELEVANT BUILDING CODES

DESIGNER DETAILS:  
**ARC ESSENTIALS**  
 0468 920 700  
 arcessentials@hotmail.com

BUILDER:  
**IBUILT**

CLIENT:  
**IBUILT**

PROJECT'S DETAILS:  
**PROPOSED RESIDENCE**

BLOCK: [ ] SECTION: [ ]  
 SUBURB: **MONCRIEFF**

DRAWING TYPE: **SITE PLAN** SCALE: **1:200**

SHEET: **1** DATE: **19-10-2016** JOB NO: **0100**

GFA AREA:  
 RESIDENCE 194.59 SQM  
 GARAGE 45.47 SQM  
**240.06 SQM**

AREA : 504 SQM  
 PLOT RATIO : 257 SQM  
 P.O.S 60% -50.0 SQM = 252.4 SQM  
 ALLOWABLE BUILD 251.6 SQM (GROUND LEVEL)

**icon WATER**  
 Application Number  
**163954**  
 Sheet  
**4 of 12**

4 x 300 Ø 1000mm PIPES TO INVERT  
 LEVEL OF SERVICE PIPE

R12 AREA OF ENCROACHMENT  
 1.09 SQM (MAX 0.26M ENCROACHMENT)

R11 NON STRUCTURAL ARTICULATION  
 ELEMENT 0.54 SQM

0.5 M CUT & RETAINER  
 CONTOURS BASED ON  
 DEVELOPER'S CONTOURS

ALL CUTS & FFL TO BE VERIFIED  
 ON SITE BY A CERTIFIED SURVEYOR

75MM THICK RETAINING WALL

NON GFA AREA:  
 PORCH 9.61 SQM  
 ALFRESCO 13.54 SQM  
**17.15 SQM**



Gas Networks

STATEMENT OF

## CONDITIONAL COMPLIANCE

For Residential except High Rise

Application No: 163957

Drawings in set: 14

Block: ■

Section: ■

Suburb: Moncrieff

This application has been assessed against legislation protecting ActewAGL's gas infrastructure and access to it.

**This application is approved subject to compliance with the following conditions:**

- Attached statement for Gas Networks
- The location and area allocated for gas regulating and metering equipment is to comply with ActewAGL standards. The following documents provide guidance:  
Ref ActewAGL Drawings (attached): "Exclusion Zone – Domestic Meter Installation"  
"Domestic Gas Meter Location Reference Drawings"  
Ref ActewAGL Document (attached): "Gas Metering Equipment – Prohibited Locations"
- Development is to comply with minimum separation requirements to underground assets
  - 300mm minimum clearance from major plastic and steel gas mains and steel gas services
  - 150mm minimum clearance from other plastic gas mains and services
- A metering equipment upgrade may be required. A licensed gas fitter should verify loads and metering equipment capacities.
- If a meter relocation or service pipe relocation is required in order to comply with ActewAGL standards, please contact your gas retailer and book a meter relocation. Only people accredited by ActewAGL can carry out this work.
- Compliance with ActewAGL's Service and Installation Rules and all other relevant legislation including the ACT Utilities Act (2000)
- Other:

Please note:

- **WARNING:** ActewAGL underground gas pipes may be in or adjacent to this block. ActewAGL Asset Location Advice may be required. Call Dial Before You Dig on 1100 prior to excavating.
- Development and Building Applications will need to include any proposed ActewAGL works
- If ActewAGL approval conditions are not met, a breach of the law may result.
- Separate applications are required for water & sewerage, electricity and communication network services.
- Construction of unapproved works may result in action being taken to require the property owner to remove non-compliant structures and/or the property owner to fund rectification works on ActewAGL's gas network
- Any attached reticulation or servicing plan is preliminary only. Contact ActewAGL for final plans prior to the commencement of any construction activity

*For further information please phone Steve Donnelly - Jemena 6192 6270*

Application Number

163957

1 of 1

THE P.F.S. ARE TO BE CHECKED FOR CHANGE AND ARE TO BE VERIFIED ON SITE. MAXIMUM CHANGE TO BE UNDER 340 MM TO BUILDERS DISCRETION TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORK. ALL INFORMATION AND REPRESENTS EXISTING ON SITE LEVELS.

BLOCK BOUNDARIES, CONTOURS, SERVICES AND EASEMENTS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. RETAINING WALL HEIGHTS AND ALL LEVELS TO SUIT SITE CONDITIONS. FINAL HEIGHTS TO BE CONFIRMED BY BUILDER ON SITE.

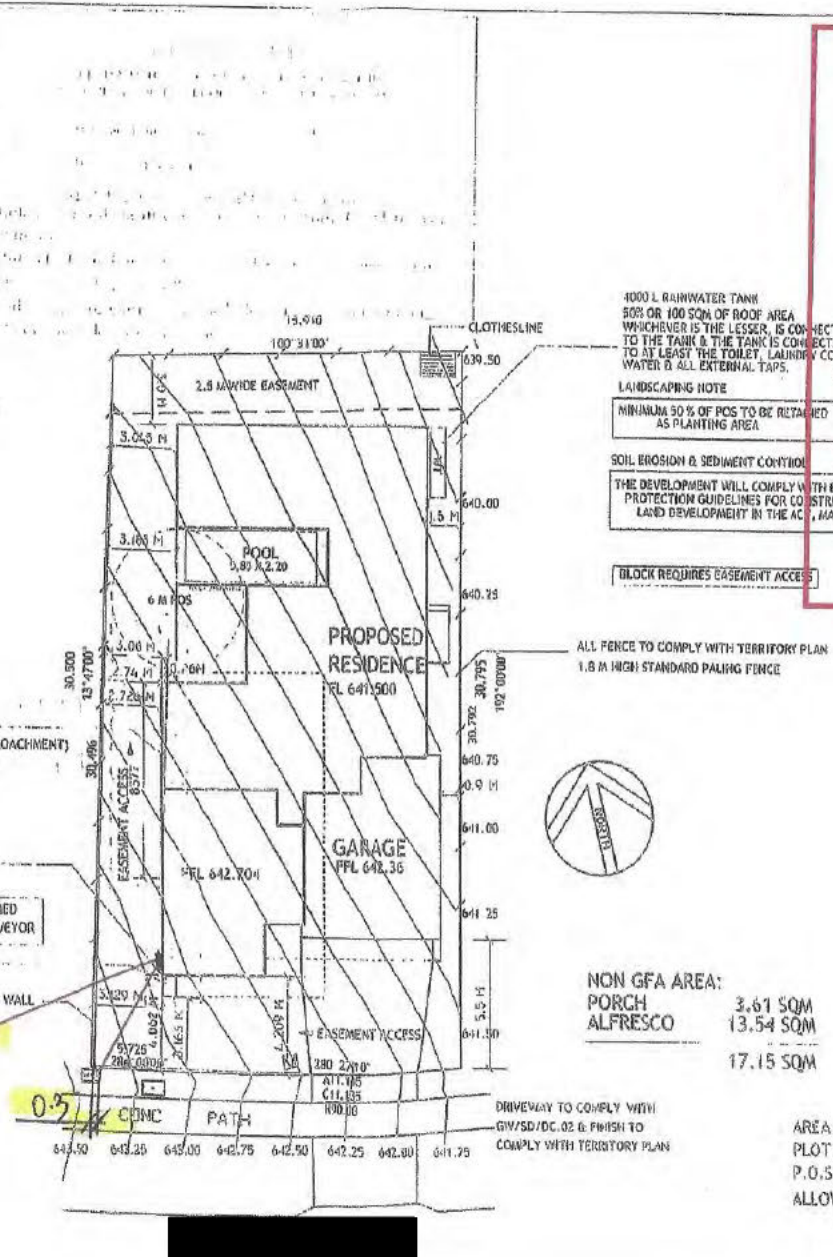
BUILDER TO PROVIDE ALL LABOUR, MATERIALS, FITTINGS, PAINT, TOOLS, PERMITS, INSURANCES ETC NECESSARY FOR THE PROPER COMPLETION OF THE WORKS AND ENSURE THAT ALL LABOUR AND MATERIALS BY ALL TRADES ARE THE BEST OF THE RESPECTIVE KINDS. SEE INCLUSIONS LIST FOR EXCLUSIONS.

ALL CONTRACTORS TO INFORM THEMSELVES OF THE SCOPE OF WORK PRIOR TO COMMENCING THEIR RELEVANT DUTIES.

FOLLOW FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS BEFORE STARTING AND REPORT ANY DISCREPANCIES TO THE DESIGNER.

BUILDING SETBACKS, EASEMENTS AND DIMENSIONS TO BE VERIFIED BY SURVEYOR AND CERTIFIER PRIOR TO COMMENCEMENT OF ANY WORK.

MATERIALS AND WORKMANSHIP TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AND ALL OTHER RELEVANT CODES AND AUSTRALIAN STANDARDS.



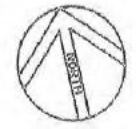
1000 L RAINWATER TANK 50% OR 100 SQM OF ROOF AREA WHICHEVER IS THE LESSER, IS CONNECTED TO THE TANK & THE TANK IS CONNECTED TO AT LEAST THE TOILET, LAUNDRY COLD WATER & ALL EXTERNAL TAPS.

LANDSCAPING NOTE MINIMUM 50% OF POS TO BE RETAINED AS PLANTING AREA

SOIL EROSION & SEDIMENT CONTROL THE DEVELOPMENT WILL COMPLY WITH ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE ACT, MARCH 2011

BLOCK REQUIRES EASEMENT ACCESS

ALL FENCE TO COMPLY WITH TERRITORY PLAN 1.8 M HIGH STANDARD PALING FENCE



NON GFA AREA:  
 PORCH 3.61 SQM  
 ALFRESCO 13.54 SQM  
 17.15 SQM

AREA : 504 SQM  
 PLOT RATIO : 257 SQM  
 P.O.S 60% = 50.0 SQM = 232.4 SQM  
 ALLOWABLE BUILD 251.6 SQM (GROUND LEVEL)

Gas Network

## CONDITIONALLY COMPLIES

This document is prepared against legislation protecting ActewAGL's confidential information and access to it.

The information contained in this application complies with ActewAGL's gas safety protection and access requirements subject to the conditions as listed on the Statement of Conditional Compliance.

Please note: Construction of approved works may result in action being taken to require the property owner to demolish non-compliant structures and/or the property owner to fund rectification works on ActewAGL's gas network.

Signed: **Steve Donnelly** Date: **30 Aug 2017**

CLIENT: **Contact phone 6293 5770**

PROJECT'S DETAILS:		
PROPOSED RESIDENCE		
BLOCK:	SECTION:	
SUBURB:	MONCRIEFF	
DRAWING TYPE:	SCALE:	
SITE PLAN	1:200	
SHEET:	DATE:	JOB NO:
1	19-10-2016	0100

R11 NON STRUCTURAL ARTICULATION ELEMENT 0.54 SQM

0.5 M CUT & RETAINER CONTOURS BASED ON DEVELOPER'S CONTOURS  
 ALL CUTS & FFL TO BE VERIFIED ON SITE BY A CERTIFIED SURVEYOR

*Joint contour to P11 M boundary*

*0.5 M CUT*

THE FFLS ARE SUBJECT TO CHANGE AND ARE UP TO BUILDERS DISCRETION TO BE VERIFIED ON SITE, MAXIMUM CHANGE TO BE UNDER 340 MM.

LOCATION OF CUTS ARE INDICATIVE ONLY AND TO BE VERIFIED ON SITE. CONFIRM ALL LEVELS AND CONTOURS ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION. BUILDER IS RESPONSIBLE TO ENSURE ALL INFORMATION SHOWN HERE REGARDING LEVELS IS ACCURATE AND REPRESENTS EXISTING ON SITE LEVELS.

BLOCK BOUNDARIES, CONTOURS, SERVICES AND EASEMENTS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION.

RETAINING WALL HEIGHTS AND ALL LEVELS TO SUIT SITE CONDITIONS. FINAL HEIGHTS TO BE CONFIRMED BY BUILDER ON SITE.

BUILDER TO PROVIDE ALL LABOUR, MATERIALS, FITTINGS, PAINT, TOOLS, PERMITS, INSURANCES ETC NECESSARY FOR THE PROPER COMPLETION OF THE WORKS AND ENSURE THAT ALL LABOUR AND MATERIALS IN ALL TRADES ARE THE BEST OF THE RESPECTIVE KINDS. SEE INCLUSIONS LIST FOR EXCLUSIONS.

ALL CONTRACTORS TO INFORM THEMSELVES OF THE SCOPE OF WORK PRIOR TO COMMENCING THEIR RELEVANT DUTIES.

FOLLOW FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS BEFORE STARTING AND REPORT ANY DISCREPANCIES TO THE DESIGNER.

BUILDING SETBACKS, EASEMENTS AND DIMENSIONS TO BE VERIFIED BY SURVEYOR AND CERTIFIER PRIOR TO COMMENCEMENT OF ANY WORK.

MATERIALS AND WORKMANSHIP TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AND ALL OTHER RELEVANT CODES AND AUSTRALIAN STANDARDS.

**APPROVED**  
PURSUANT TO SECTION 1.100A/1.100AB OF THE  
PLANNING AND DEVELOPMENT REGULATION 2008

Delegate name: LISA VAN VUCHT  
Date: 21/10/2016

**DECLARATION OF EXTENDED DISTANCE**  
Rule 7 - Solar departure of a maximum 61mm for a length of 490mm  
Rule 11 - Front boundary setback departure of a maximum 900mm for a length of 600mm  
Rule 12 - Rear boundary setback departure of a maximum 259mm for a length of 8347mm

PLEASE NOTE:  
DIMENSIONS TAKE PREFERENCE OVER SCALE. DIMENSIONS TO BE VERIFIED PRIOR TO THE COMMENCEMENT OF BUILDING.

ALL DIMENSIONS, ASPECTS AREAS ETC, TO BE CONFIRMED BY PERMIT HOLDER PRIOR TO COMMENCEMENT OF BUILDING.

ANY DISCREPANCIES FOUND IN DIMENSIONS, AREAS, ETC TO BE RECTIFIED PRIOR TO COMMENCEMENT OF BUILDING.

ALL BUILDING WORK TO BE PERFORMED IN ACCORDANCE WITH 'BUILDING CODE OF AUSTRALIA' AND ANY OTHER RELEVANT BUILDING CODES.

DESIGNER DETAILS:  
**ARC ESSENTIALS**  
0468 920 700  
arcessentials@hotmail.com

BUILDER:  
**IBUILT**

CLIENT:  
**IBUILT**

PROJECT'S DETAILS:  
**PROPOSED RESIDENCE**

BLOCK: [REDACTED] SECTION: [REDACTED]  
SUBURB: **MONCRIEFF**

DRAWING TYPE: **SITE PLAN** SCALE: **1:200**

SHEET: 1	DATE: 19-10-2016	JOB NO: 0100
----------	------------------	--------------

1 OF 3 PROPOSED SWIMMING POOL

**BUILDING APPROVAL**  
Issued under s.28 of the Building Act 2004.  
**JOHN BATES**  
Certifier Name  
Lic. No. 1988 4388  
**106**  
BCA Occupancy Class  
BCA Type of Construction  
**13/09/17**  
Issue date  
[Signature]  
Certifier signature

← SWIMMING POOL

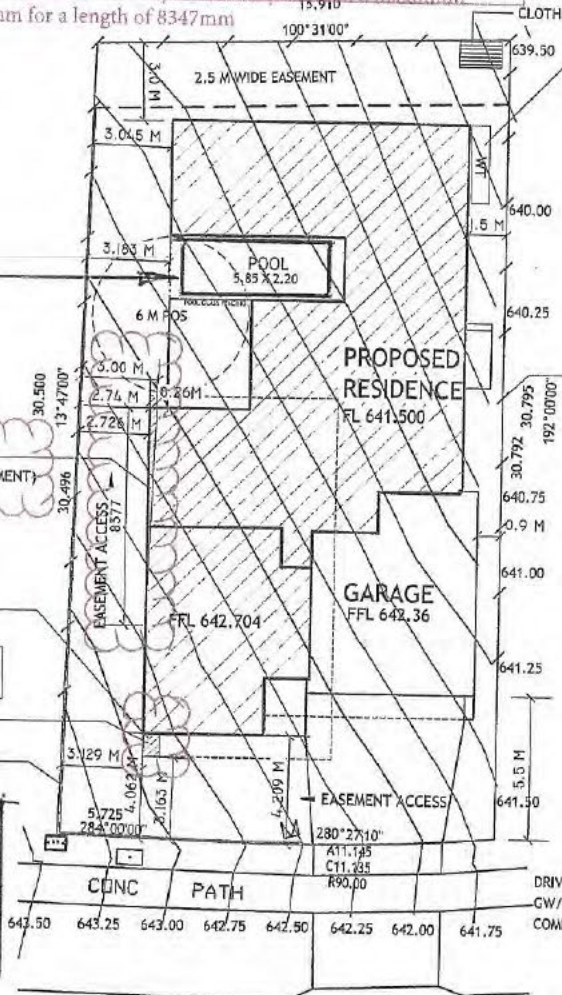
R12 AREA OF ENCROACHMENT 1.09 SQM (MAX 0.26M ENCROACHMENT)

0.5 M CUT & RETAINER CONTOURS BASED ON DEVELOPER'S CONTOURS

ALL CUTS & FFL TO BE VERIFIED ON SITE BY A CERTIFIED SURVEYOR

R11 NON STRUCTURAL ARTICULATION ELEMENT 0.54 SQM

75MM THICK RETAINING WALL



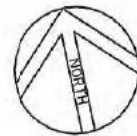
4000 L RAINWATER TANK  
50% OR 100 SQM OF ROOF AREA WHICHEVER IS THE LESSER, IS CONNECTED TO THE TANK & THE TANK IS CONNECTED TO AT LEAST THE TOILET, LAUNDRY COLD WATER & ALL EXTERNAL TAPS.

LANDSCAPING NOTE  
MINIMUM 50 % OF POS TO BE RETAINED AS PLANTING AREA

SOIL EROSION & SEDIMENT CONTROL  
THE DEVELOPMENT WILL COMPLY WITH ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE ACT, MARCH 2011

BLOCK REQUIRES EASEMENT ACCESS

ALL FENCE TO COMPLY WITH TERRITORY PLAN 1.8 M HIGH STANDARD PALING FENCE



NON GFA AREA:  
PORCH 3.61 SQM  
ALFRESCO 13.54 SQM  
**17.15 SQM**

GFA AREA:  
RESIDENCE 194.59 SQM  
GARAGE 45.47 SQM  
**240.06 SQM**

AREA : 504 SQM  
PLOT RATIO : 257 SQM  
P.O.S 60% -50.0 SQM = 252.4 SQM  
ALLOWABLE BUILD 251.6 SQM (GROUND LEVEL)

WORK IS EXEMPT FROM DEVELOPMENT APPROVAL UNDER PLANNING & DEVELOPMENT REG. 2008 S1.54 S1100 - ASSESSED BY JOHN BATES CERTIFIER 19884388  
13/09/2017

THIS POOL IS NOT DESIGNED FOR DIVING

**BUILDING APPROVAL**

Issued under s.28 of the Building Act 2004.

**JOHN BATES**

Certifier Name

Lic. No. 1988 4388

10b

BCA Occupancy Class

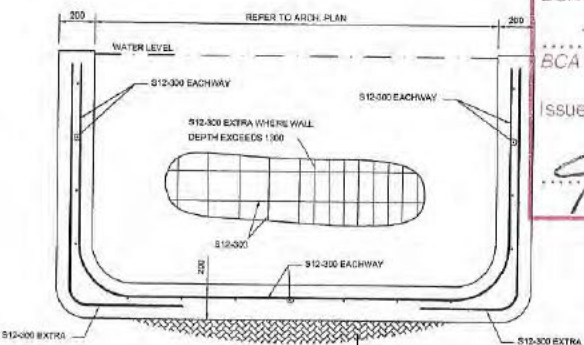
BCA Type of Construction

13/09/17

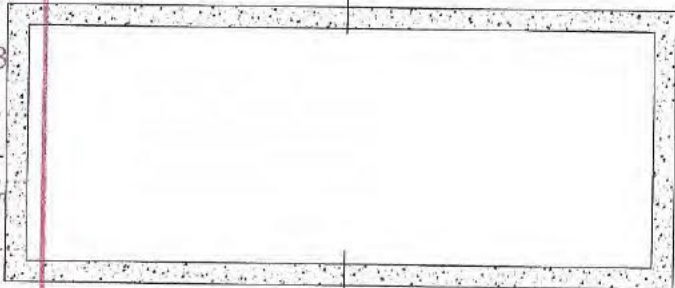
Issue date:

*John Bates*

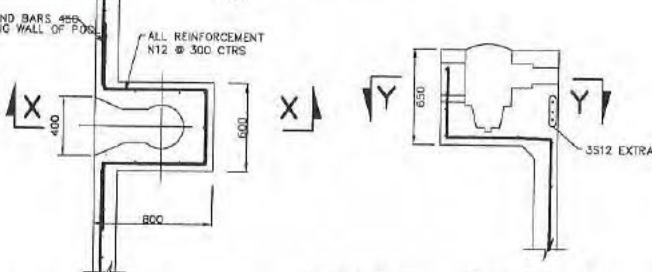
Certifier signature



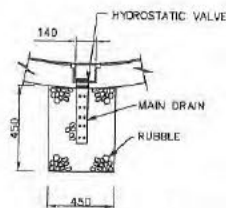
**SECTION 2 AS SHOWN** S300



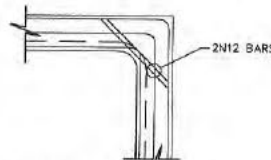
**POOL PLAN** 1:50



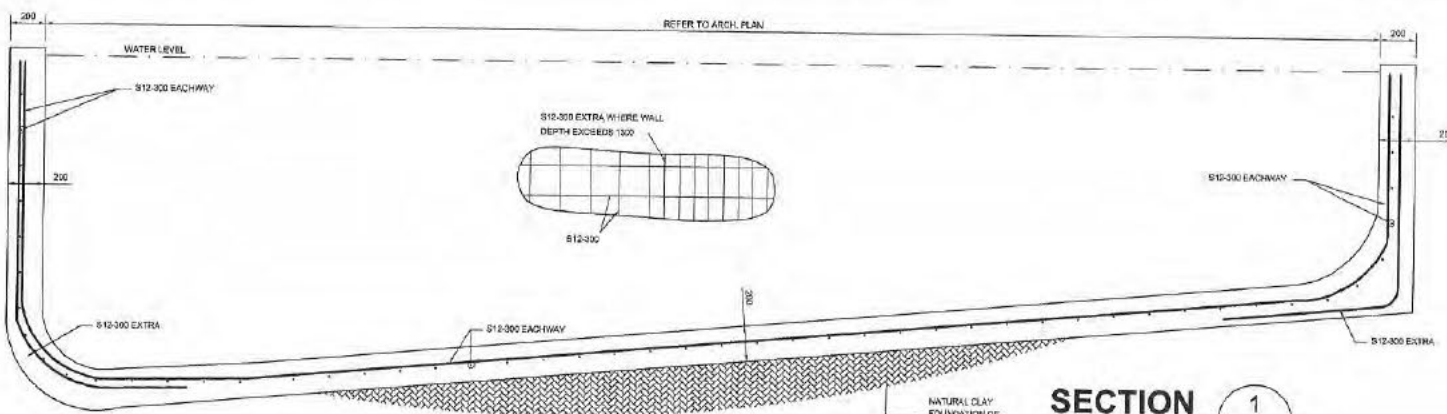
**PLAN - SECTION Y-Y ELEVATION - SECTION X-X**



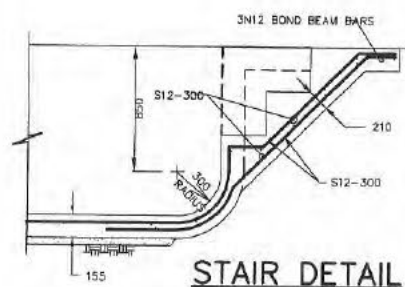
**MAIN DRAIN DETAIL**



**BOND BEAM CORNER DETAIL**



**SECTION 1 AS SHOWN** S300



**STAIR DETAIL**

**SPECIFICATION**

1. PLUMBING IS TO BE IN ACCORDANCE WITH WRITTEN RECOMMENDATIONS OF FILTER MANUFACTURER
2. WALKWAYS ARE NOT DESIGNED TO SUPPORT MASONRY WALLS UNLESS OTHERWISE NOTED
3. DESIGN LIVE LOAD FOR WALKWAYS AND CONCOURSES 3 kPa

**CONSTRUCTION NOTES**

1. ALL DIMENSIONS LOCATING POOL ARE TO BE TAKEN FROM ARCHITECTURAL DRAWINGS
2. WRITTEN DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALE
3. ENGINEER TO BE ADVISED IF EXCAVATION IS IN FILL OR IF EXCESSIVE GROUND WATER IS ENCOUNTERED
4. SUPPORTING FOUNDATION MATERIAL TO BE STABLE NATURAL CLAY OF UNIFORM MOISTURE CONTENT WITH SAFE BEARING CAPACITY OF 200 kPa
5. WHERE IT IS CONSIDERED THAT GROUND WATER CAN BUILD UP TO A LEVEL 500mm ABOVE THE FLOOR OF THE EXCAVATION ADEQUATE DRAINAGE SHALL BE PROVIDED UNDER THE POOL FLOOR
6. CONCRETE TO HAVE A MINIMUM DESIGN STRENGTH OF Fc 32 MPa AT 28 DAYS CONCRETE TO BE PNEUMATICALLY APPLIED
7. UPON COMPLETION OF CONCRETING THE HYDROSTATIC VALVE IS TO BE CHECKED TO ENSURE EFFECTIVE AND SUFFICIENT OPERATION
8. ALL REINFORCEMENT IS TO BE SUPPORTED BY BAR CHAIRS
9. REINFORCEMENT IS TO BE STRUCTURAL GRADE DEFORMED BAR GRADE TO 250S TO AUSTRALIAN STANDARD AS1302 & AS273
10. WATER FACE REINFORCEMENT TO HAVE 65mm CONCRETE COVER. REAR FACE REINFORCEMENT HAVE 50mm COVER FROM REAR REAR FACE IF FORMED AND 65mm COVER IF SPRAYED AGAINST GROUND
11. ALL BARS SHALL BE SPLICED 40 BAR DIAMETERS MIN.
12. SPLICES IN BOND BEAM BARS SHALL BE STAGGERED
13. ALTERNATIVE REINFORCEMENT TO BE TEMPORE BARS IN ACCORDANCE WITH AS 1302 410 Y

NOTE: DO NOT SCALE OFF DRAWINGS. REFER TO ARCHITECTURAL PLANS. VERIFY DIMENSIONS ON SITE

REV	DATE	DESCRIPTION	BY
A	05/01/17	ISSUED FOR PERMITS	AKH

**COPYRIGHT**  
All rights reserved.  
These drawings, plans and specifications and the copyright are the property of ANH Consultants and must not be used, reproduced or copied wholly or in part without the written permission of ANH Consultants.

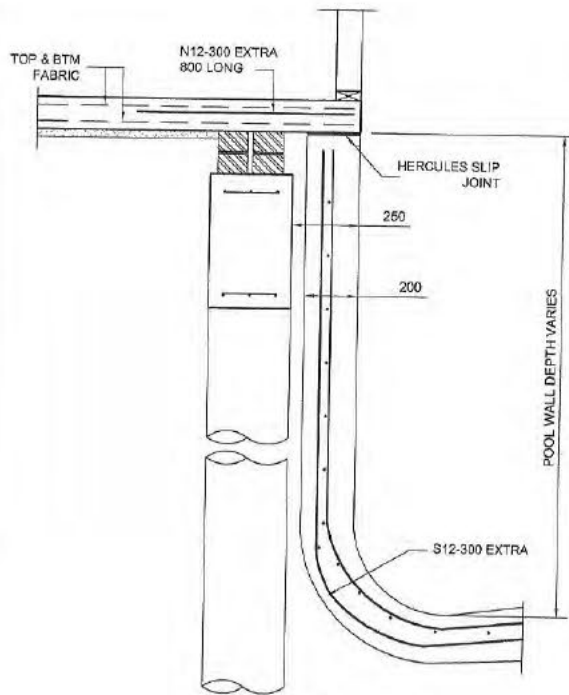


Suite 4, 28 Collier St Fyshwick ACT (HIA Building)  
T (02) 6100 0414 M. 0407 777 877  
E. info@anh.net.au www.anh.net.au

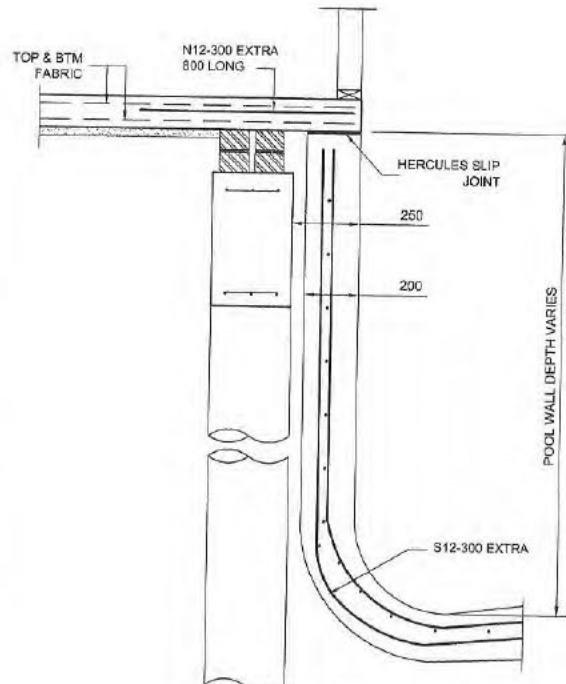
**NEW RESIDENCE**  
BLOCK SECTION MONCRIEFF  
FOR 1 BUILT

**POOL DETAILS & SECTIONS**

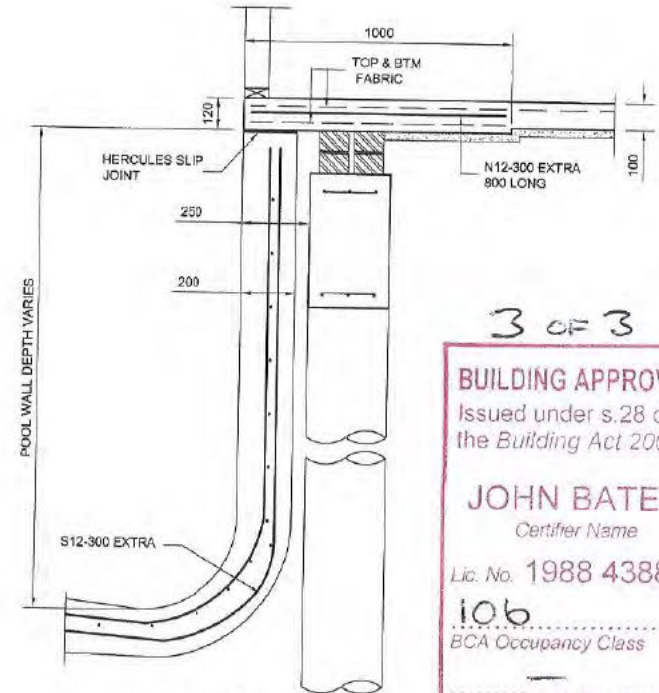
JOB NUMBER	DWG NUMBER	ORIGINAL SIZE
17-134	S300	A3
DESIGNED BY ANH	DATE 04.02.2017	
DRAWN BY A-Z	SCALE 1:50	



**SECTION 8**  
1:20 S100



**SECTION 9**  
1:20 S100



**SECTION 10**  
1:20 S100

3 of 3

**BUILDING APPROVAL**  
Issued under s.28 of  
the Building Act 2004.

**JOHN BATES**  
Certifier Name

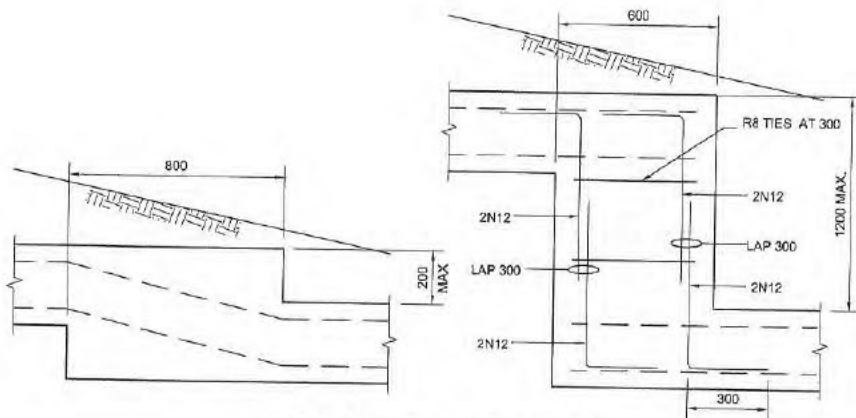
Lic. No. 1988 4388

10b  
BCA Occupancy Class

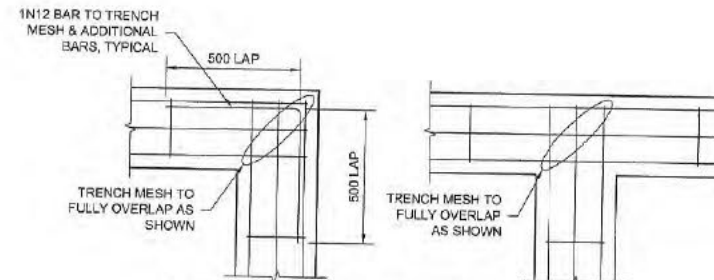
BCA Type of Construction

Issue date: 13/09/17

*J. Bates*  
Certifier signature



**TYPICAL FOOTING STEP DETAIL (ELEVATION)**  
1:20



**TYPICAL FOOTING CORNER DETAILS (PLAN)**  
1:20

NOTE: DO NOT SCALE OFF DRAWINGS. REFER TO ARCHITECTURAL PLANS. VERIFY DIMENSIONS ON SITE.

REV	DATE	DESCRIPTION	BY
A	05.05.17	ISSUED FOR BA	ANH

**COPYRIGHT**  
All rights reserved.  
These drawings, plans and specifications and the copyright are the property of ANH Consultants and must not be used, reproduced or copied wholly or in part without the written permission of ANH Consultants.



Suite 4, 28 Collie St Fyshwick ACT (HIA Building)  
T (02) 6100 0414 M. 0407 777 877  
E. info@anh.net.au www.anh.net.au

**NEW RESIDENCE**  
BLOCK SECTION MONCRIEFF  
FOR I BUILT

**FOOTING SLAB DETAILS**

JOB NUMBER: 17-134  
DWG NUMBER: S201  
ORIGINAL SIZE: A3

DESIGNED BY: A.N.H.  
DATE: 05.05.2017  
DRAWN BY: A.C.  
SCALE: 1:20



# Important Asbestos Advice for ACT homes built before 1985

**Asbestos is hazardous but it can be managed safely.**

**Follow the three steps for managing materials containing asbestos (MCAs) in your home.**

## Step 1. Identify where MCAs may be in your home

### When was your house built?

- If your house was built before 1985, the table below gives you an indication of where you are likely to find MCAs in your home. There is also a diagram on the back of this sheet showing where MCAs are commonly found.
- If your house was built after 1985, it is unlikely to contain MCAs.
- If in doubt, assume that materials DO contain asbestos.

### Common locations of MCAs in ACT homes\*

(Percentage (%) of properties sampled where asbestos was detected)

Location	Pre 1965	1965-1979	1980-1984	1985-now <sup>†</sup>
Eaves	86%	92%	40%	0%
Garage/shed	80%	70%	15%	0%
Bathroom	54%	75%	50%	0%
Laundry	75%	80%	50%	0%
Kitchen	52%	23%	15%	0%

\*Results of 2005 Asbestos Survey of over 600 ACT Homes. <sup>†</sup>One MCA was found in a 1985 house supporting roof tiles on a gable end.

## Step 2. Assess the risk

### Visually check the condition of the MCA – is it cracked, broken, etc?

- If it's in good condition and left undisturbed, it does not pose a health risk.
- If you suspect it is not in good condition, arrange for appropriate maintenance or removal by a qualified person.

## Step 3. Manage safely

### Make sure you remember to:

- Keep an eye on MCAs to make sure they remain in good condition.
- Consider removal of the MCA by a qualified person, when renovating or doing home repairs.
- Inform tradespeople working on your home of the location of any possible MCAs.
- Engage a qualified person if you decide to obtain a professional asbestos report on MCAs in your home.

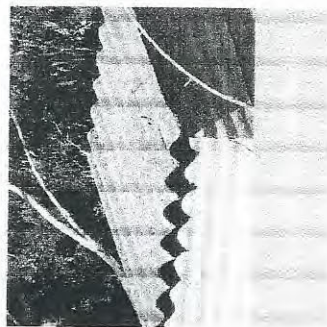
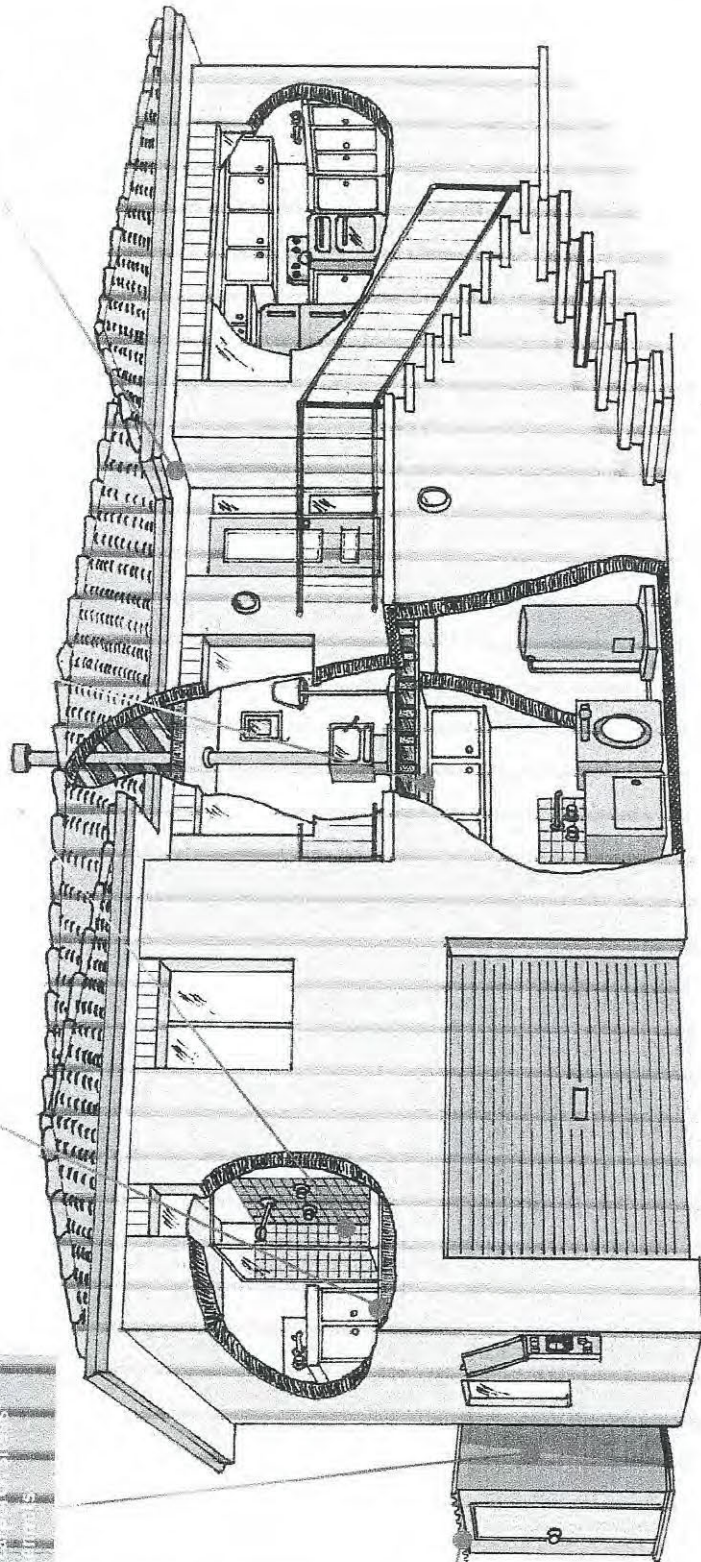
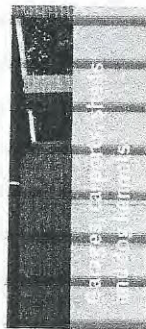
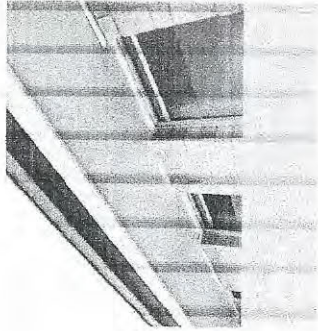
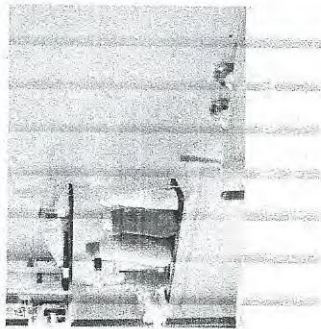
For further information or advice on managing asbestos or home renovations visit the asbestos website [www.asbestos.act.gov.au](http://www.asbestos.act.gov.au) or call 13 22 81.



**Asbestos Awareness.**  
Helping everyone breathe easier.

# Common locations of materials containing asbestos in ACI Homes

If your house was built before 1985, some of the materials it was built from probably contain asbestos.



**Asbestos Awareness.**  
Helping everyone breathe easier.





# Building Approval Fees and Levies Tax Invoice

TO THE PAYEE  
c/o John David Bates  
16 Pindari Crescent,  
O'Malley ACT 2606

## Access Canberra Building Services

ABN 16 479 763 216  
8 Darling Street Mitchell  
GPO Box 158 ACT 2601  
Access Canberra Homepage: [www.act.gov.au/accesscbr](http://www.act.gov.au/accesscbr)

Invoice Date:13/09/2017 Time:5:24:27 PM

Invoice Number: **3100434376**

Block - Section - Division - District	Building Levy	Training Levy	Fees Paid	Total
██████ - MONCRIEFF - GUNGAHLIN				
Total	<b>Sch 2 2.2(a)(xi)</b>			

No GST applies to these fees and levies.

PAYMENT REQUIRED WITHIN 14 DAYS OF INVOICE ISSUE DATE

## Payment Options



**Biller Code: 584508**  
**Ref: 3100434376**

### Telephone & Internet Banking – BPAY®

Call your bank, credit union or building society to make this payment from your cheque, savings or credit card account. More info: [www.bpay.com.au](http://www.bpay.com.au)



Access Canberra.

### Internet

Visit [www.accesscanberra.act.gov.au](http://www.accesscanberra.act.gov.au) and search "Building Approvals and Payments" and then follow links to pay by credit card (MasterCard or Visa)



Access Canberra.

### Phone

Telephone (02) 6207 1923 8.30am - 4.30pm Mon - Fri and have your credit card details handy (MasterCard and Visa).



Access Canberra.

### In Person

Access Canberra Building Services Shopfront Only: 8.30am – 4.30pm Mon – Fri . Cash, Cheque, EFTPOS, Credit card (Mastercard and Visa). CashLink Code – 34 0075



Building Act 2004, S151  
**Building Approval**

Project ID: B20173807

**PART A - PROJECT DETAILS**

Unit	Block	Section	Division (Suburb)	District	Jurisdiction
			MONCRIEFF	GUNGAHLIN	Australian Capital Territory

**PART B - WORKS REQUIRING BUILDING APPROVAL**

Item of building work to which this Building Approval relates:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
10b	New	DA EXEMPT-SWIMMING POOL	Inground Concrete Swimming Pool	NA	1	12.87	Sch 2.2.2(a)(ii)

The following work is exempt from development approval:

- Pool fencing and barriers
- Swimming pools

**PART C - CERTIFIERS DECLARATION**

I declare that in issuing this building approval under section 28 of the Building Act 2004:

- I am satisfied on reasonable grounds that the plans meet each applicable approval requirement under section 29 and is not prevented from being issued under section 30 or section 30A
- I have supplied all documents as required under 3.3 Building Act 2004
- I have prepared a notice (building approval certificate) certifying what approval requirements apply to the application and why the building approval is not prevented from being issued; and
- I have given the building approval certificate to the applicant.

In performing services as a certifier in relation to the work detailed in this application I am not in breach of my entitlement to act as a certifier in accordance with the Building Act 2004.

Full Name	Address	License Number	Expiry Date
JOHN DAVID Bates	16 PINDARI CRESCENT O'MALLEY ACT 2606	19884388	29/03/2018

Date Issued : 13/09/2017

**NOTES**

**Utilities**

This application must also be accompanied by a Statement of Compliance from each relevant utility provider (for water, sewerage, electricity and stormwater) which confirms that the location and nature of earthworks, utility connections, proposed buildings, pavements and landscape features comply with utility standards, access provisions and asset clearance zones.

**Note 1:** If there is no stormwater easement or Territory owned stormwater pipes located within the property boundary, a "Statement of Compliance" for stormwater from TAMS (Asset Acceptance) is not required to be obtained.

**Note 2:** Where there is conflict between planning and utility requirements, the utility requirements take precedence over other codified or merit provisions.

## **Utilities – Demolition Only**

This application must be accompanied by a Statement of Endorsement for utilities (including water, sewerage, electricity and stormwater) stating that:

- all network infrastructure on or immediately adjacent to the site has been identified on the plan
- all potentially hazardous substances and conditions (associated with or resulting from the demolition process) that may constitute a risk to utility services have been identified
- all required network disconnections have been identified and the disconnection works comply with utility requirements
- all works associated with the demolition comply with and are in accordance with utility asset access and protection requirements

**Note:** The documentation provided to the utility provider for endorsement must be consistent with the documentation that forms part of a development approval or the documentation verified as exempt from requiring development approval by a licensed certifier.

## **Asbestos Advice**

If documents accompanying building approval do not include an asbestos assessment report as per the Building Act 2004, the building approval must have an Asbestos Advice attached as per the Act

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.

---



# APPOINTMENT OF BUILDER & APPLICATION FOR COMMENCEMENT NOTICE

*Building Act 2004, S151*

In completing this form the owner is authorising the builder nominated below to apply to the appointed certifier to issue a Commencement Notice for the works detailed in this application form.

## PART A PROJECT DETAILS

Block [REDACTED] Section [REDACTED] Suburb  Unit No.

Street Address [REDACTED]

Certifier Name

Description of Building Works relevant to this application-*If more than 6 items please attach further details*

- 1
- 2
- 3
- 4

## PART B OWNER DETAILS – Please Print

All owners **must** be listed

Owner 1 will be considered the contact person in relation to this application

Company Details

Owner 1  Owner 2   
 Owner 3  Owner 4

Postal Address

Suburb  State  Postcode

Phone Number Business Hours  Mobile

EMAIL ADDRESS

**PART C APPOINTMENT OF BUILDER**

I/we the owner/s have appointed the person whose details appear below as the builder in relation to the building works described in this form

Licence Holders Name as it appears on licence card Jason Sinclair

Licence Number 202828 Class D Expiry Date 30/07/2018  
27/7/17

List any conditions or endorsements on licence VALID FOR THE INSTRUCTIONS OF SWIMMING POOLS ONLY

EMAIL ADDRESS xpresspool@gmail.com

**PART D NOMINEE'S DETAILS**  
 If the builder is a company or partnership provide details of the Nominee who will supervise the building

Nominee's Name [Blank]

Licence Number [Blank] Class [Blank] Expiry Date [Blank]

Signature of Nominee [Blank] Date [Blank]

**PART E OWNER SIGNATURE/S** - all owners must sign this form

Owner 1	<u>Sch 2 2.2(a)(ii)</u>	Signature	<u>Sch 2 2.2(a)(ii)</u>	DATE: <u>28/6/17</u>
Owner 2	<u>[Redacted]</u>	Signature	<u>[Redacted]</u>	DATE: <u>28/6/17</u>
Owner 3	<u>[Blank]</u>	Signature	<u>[Blank]</u>	DATE: <u>[Blank]</u>
Owner 4	<u>[Blank]</u>	Signature	<u>[Blank]</u>	DATE: <u>[Blank]</u>

**PART F BUILDER APPLICATION TO CERTIFIER FOR COMMENCEMENT NOTICE**

I hereby apply to the building certifier listed above for a commencement notice for the works detailed in Part A of this form in accordance with the Building Act 2004.

- A site sign was **not** required to be displayed prior to making this application.
- A site sign **was** required to be displayed prior to making this application and I declare that a compliant sign was erected and displayed for the required period.

Signature of Builder [Signature] Date 29/7.17

**NOTE:** There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

**PART G INSURANCE OR FIDELITY CERTIFICATE**

For residential building work please provide details of insurance where applicable

Insurance Provider NOT REQUIRED Policy No. - Date Issued -



# BUILDING COMMENCEMENT NOTICE

Building Act 2004, S151

## PART A PROJECT DETAILS

Block [REDACTED] Section [REDACTED] Suburb MONCRIEFF Unit No.  

Street Address [REDACTED]

Date Building Approval Issued 13/09/2017

### Description of work to which this Commencement Notice relates:

Describe each item of building work in this building approval	BCA Occupancy Class	BCA Construction Type	Area (m <sup>2</sup> )	Number of Storeys	Cost of Works (refer to building cost guide)
1 IN GROUND CONCRETE SWIMMING POOL	105	N/A	12.87	1	\$7,722-
2					
3					
4					
5					
6					

### ENERGY EFFICIENCY REQUIREMENTS

Is an Energy Efficiency Rating required for any of the work listed above?

YES  NO

If YES please specify item number/s

-

## PART B BUILDER DETAILS

Licence Holders Name as it appears on Licence Card: JASON SINCLAIR

Licence Number 2012828 Class D Expiry Date 30/07/2018

If the builder is a company or partnership provide details of the nominee who will supervise the building work

Nominee  

Licence Number   Class   Expiry Date

**PART C****INSURANCE**

For residential building work please provide details of insurance where applicable

Insurance  
Provider

NOT REQUIRED

Policy No.

—

Date Issued

—

**PLEASE NOTE:**

- ▶ A copy of the Commencement Notice application, this notice and where applicable the residential building insurance policy or fidelity certificate must be given to the Construction Occupations Registrar within one (1) week of the issue OH1Hdate.
- ▶ A copy of the Commencement Notice must also be provided to the builder and the owner/s.

**PART D****CERTIFIER DECLARATION**

Name of Certifier Issuing Notice:

LOW BATES

Licence No:

19884398

Issue Date of  
Commencement Notice

13/09/2017

This Commencement Notice is issued in accordance with the *Building Act 2004*, to the licensed builder stated above and authorises the commencement of the stated building work. The issue of this Commencement Notice indicates that I am satisfied that the builder's license authorises the work in the building approval. Where applicable, for residential building work I have been provided with a residential building insurance policy or fidelity certificate.

This building commencement notice will end if:

- (a) for residential building work – the work is no longer insured; or
- (b) the building approval for the work ends.

Certifier Signature

*[Handwritten Signature]*

Date

13/09/2017

**NOTE:** There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

**Privacy Notice**

The personal information on this form is provided to Access Canberra to enable the processing of your application. The collection of personal information is authorised by the *Building Act 2004*. If all or some of the personal information is not collected Access Canberra cannot process your application. The personal information you provide may be disclosed to Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be disclosed where authorised by law or court order, or where the Directorate reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. Access Canberra's Information Privacy Policy contains information about how you may access or seek to correct your personal information held by Access Canberra, and how you may complain about an alleged breach of the Territory Privacy Principles. Access Canberra Information Privacy Policy can be found at [www.act.gov.au/accessCBR](http://www.act.gov.au/accessCBR)

**CONTACT INFORMATION**

**Email:**

ACTPLAdevelopmentBA@act.gov.au

**Post:**

Access Canberra  
Building Services  
Shopfront Mitchell  
GPO Box 158  
Canberra, ACT 2601

**In Person:**

Please visit [www.act.gov.au/accessCBR](http://www.act.gov.au/accessCBR)  
Or call **132281** to find an  
Access Canberra Shopfront.



Building Act 2004, S151

## Application for Building Commencement Notice

Project ID: B20173807

Licensed builders must use this form to apply to the building certifier for a commencement notice in accordance with the Building Act 2004. An application can only be made if the building approval has been issued for the building work. A commencement notice must be issued by the building certifier before any building work can commence.

### PART A - PROJECT DETAILS

Building approval issue date: 13/09/2017

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
			GUNGAHLIN	MONCRIEFF	Australian Capital Territory

Full Name	Address	License Number	Expiry Date
JOHN DAVID Bates	16 PINDARI CRESCENT O'MALLEY ACT 2606	19884388	29/03/2018

Description of work to which application for Commencement Notice relates:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
10b	New	DA EXEMPT-SWIMMING POOL	Inground Concrete Swimming Pool	NA	1	12.87	Sch 2 2.2(a)(x)

Insurance provider: Not Required

Policy number:

Issue date: 13/09/2017

### PART B - BUILDERS DETAILS

License holder's name: JASON SINCLAIR

License number: 2012828

License Expiry Date: 30/07/2018

Business Address: 8 MOSMAN PLACE NARRABUNDAH ACT 2604

Phone Number: 0405225313

Signature of builder:

\_\_\_\_\_  
(Individual, director for company or partner for partnership)

If the builder is a company or partnership provide details of the nominee who will supervise the building work



Nominee's name: JASON SINCLAIR

License number: 2012828

License Expiry Date: 30/07/2018

Nominee's signature  
(if different to above):

/ /

### PART C - OWNER/LESSEE DETAILS

Name	Address
Sch 2 2.2(a)(ii)	

ADVISORY NOTE: Owners please ensure you have a written contract with the builder named in this application. For residential building work requiring home owner insurance ensure that the same builders name is shown on the insurance policy.

### PART D - OWNER/S OR AGENT SIGNATURE/S

Name	Signature	Date
Sch 2 2.2(a)(ii)		

NOTE: You may only make this application as an authorised agent on behalf of the owners of the property if you have appropriate written authorisation from ALL the owners and attach it to this application. This also applies if you are a part owner or joint owner making an application on behalf of the owners.

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.

### PART E - BUILDER APPLICATION TO CERTIFIER FOR COMMENCEMENT NOTICE

I hereby apply to the building certifier listed above for a commencement notice for the works detailed in Part A of this form in accordance with the Building Act 2004.

- A site sign was NOT required to be displayed prior to making this application.
- A site sign WAS required to be displayed prior to making this application and I declare that a compliant sign was erected and displayed for the required period.

Signature of  
Builder/Nominee:

/ /

NOTE: There are penalties for deliberately giving false and misleading information. Access Canberra or the Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.



Building Act 2004, S151

## Application for Building Commencement Notice

Project ID: B20173807

Licensed builders must use this form to apply to the building certifier for a commencement notice in accordance with the Building Act 2004. An application can only be made if the building approval has been issued for the building work. A commencement notice must be issued by the building certifier before any building work can commence.

### PART A - PROJECT DETAILS

Building approval issue date: 13/09/2017

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
			GUNGAHLIN	MONCRIEFF	Australian Capital Territory

Full Name	Address	License Number	Expiry Date
JOHN DAVID Bates	16 PINDARI CRESCENT O'MALLEY ACT 2606	19884388	29/03/2018

Description of work to which application for Commencement Notice relates:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
10b	New	DA EXEMPT-SWIMMING POOL	Inground Concrete Swimming Pool	NA	1	12.87	Sch 2 2.2(a)(x)

Insurance provider: Not Required

Policy number:

Issue date: 13/09/2017

### PART B - BUILDERS DETAILS

License holder's name: JASON SINCLAIR

License number: 2012828

License Expiry Date: 30/07/2018

Business Address: 8 MOSMAN PLACE NARRABUNDAH ACT 2604

Phone Number: 0405225313

Signature of builder:

\_\_\_\_\_  
(Individual, director for company or partner for partnership)

If the builder is a company or partnership provide details of the nominee who will supervise the building work

Nominee's name: JASON SINCLAIR

License number: 2012828

License Expiry Date: 30/07/2018

Nominee's signature  
(if different to above):

\_\_\_\_\_ / /

### PART C - OWNER/LESSEE DETAILS

Name	Address
Sch 2 2.2(a)(ii)	

ADVISORY NOTE: Owners please ensure you have a written contract with the builder named in this application. For residential building work requiring home owner insurance ensure that the same builders name is shown on the insurance policy.

### PART D - OWNER/S OR AGENT SIGNATURE/S

Name	Signature	Date
Sch 2 2.2(a)(ii)		

NOTE: You may only make this application as an authorised agent on behalf of the owners of the property if you have appropriate written authorisation from ALL the owners and attach it to this application. This also applies if you are a part owner or joint owner making an application on behalf of the owners.

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.

### PART E - BUILDER APPLICATION TO CERTIFIER FOR COMMENCEMENT NOTICE

I hereby apply to the building certifier listed above for a commencement notice for the works detailed in Part A of this form in accordance with the Building Act 2004.

- A site sign was NOT required to be displayed prior to making this application.
- A site sign WAS required to be displayed prior to making this application and I declare that a compliant sign was erected and displayed for the required period.

Signature of  
Builder/Nominee:

\_\_\_\_\_ / /

NOTE: There are penalties for deliberately giving false and misleading information. Access Canberra or the Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.



Building Act 2004, S151  
**Building Commencement Notice**

Project ID: B20173807

**PART A - PROJECT DETAILS**

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
			GUNGAHLIN	MONCRIEFF	Australian Capital Territory

**Certifier's Details**

Full Name	Address	License Number	Expiry Date
JOHN DAVID Bates	16 PINDARI CRESCENT O'MALLEY ACT 2606	19884388	29/03/2018

**Building approval issue date:** 13/09/2017

Building Commencement Notice Required for:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Area (m2)	Cost of Works (\$)
10b	New	DA EXEMPT-SWIMMING POOL	Inground Concrete Swimming Pool	NA	12.87	Sch 2.2.2(a)(ii)

**PART B - BUILDERS DETAILS**

**License holder's name:** JASON SINCLAIR

**License number:** 2012828

**License Expiry Date:** 30/07/2018

**Business Address:** 8 MOSMAN PLACE NARRABUNDAH ACT 2604

**Phone Number:** 0405225313

If the builder is a company or partnership provide details of the nominee who will supervise the building work

**Nominee's name:** JASON SINCLAIR

**License number:** 2012828

**License Expiry Date:** 30/07/2018

**PART C - CERTIFIER'S DECLARATION**

**Issue date of commencement notice:** 13/09/2017

**Name of Certifier Issuing Notice:** JOHN DAVID Bates

**Declaration:**

This commencement notice is issued in accordance with the Building Act 2004, to the licensed builder stated above authorising the commencement of the stated building work. The issue of this commencement notice indicates that I am satisfied that the builders license authorises the work in the building approval. Where applicable for residential building work, I have been provided with a residential building insurance policy or fidelity certificate.

**PLEASE NOTE:**

A copy of the application for this commencement notice, this notice and where applicable the residential building insurance policy or fidelity certificate, must be given to the construction occupations registrar within one (1) week of the issue date.

This building commencement notice will end if-

- (a) for residential building work- the work is no longer insured; or
- (b) the building approval for the work ends

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.

This form is to be completed by the Owner/s of the land to which the building work relates.

**PART A PROJECT DETAILS**

Block [REDACTED] Section [REDACTED] Suburb MONCRIEFF Unit No.

Street Address [REDACTED]

Description of Building Works relevant to this application - *If more than 4 items please attach further details*

Describe each item of building work in this building approval	BCA Occupancy Class	BCA Construction Type	Area (m <sup>2</sup> )	Number of Storeys	Cost of Works (refer to building cost)
1 INGROUND CONCRETE SWIMMING POOL	105	N/A	12.87	1 \$	Sch 2 2.2(a)(xi)
2					
3					
4					

**Applicable approved requirements and reasons why building approval is not prevented from being issued**

Is all work exempt from development approval?

- YES Attach assessment for exempt development checklist (if applicable)
- NO Provide reason/s or description of work: \_\_\_\_\_

**Description of Attachments compliant with Division 3.3 Building Act 2004**  
Please attach any additional documentation not listed below

- Building Approval Plans
- Referrals, consultations & consents outcomes
- Asbestos Advice - If documents accompanying building approval do not include an asbestos assessment report as per the Building Act 2004, the building approval must have an AA attached as per the Act

**PART B OWNER'S DETAILS - Please Print**

All owners must be listed Owner 1 will be considered the contact person in relation to this application

Company Details

ACN/ABN Number

Owner 1 Sch 2 2.2(a)(ii) Owner 2 Sch 2 2.2(a)(ii)

Owner 3 \_\_\_\_\_ Owner 4 \_\_\_\_\_