



**ACT**  
Government

Chief Minister, Treasury and  
Economic Development

## Freedom of Information Publication Coversheet

The following information is provided pursuant to section 28 of the *Freedom of Information Act 2016*.

FOI Reference: CMTEDDFOI 2023-326

Information to be published	Status
1. Access application	Published
2. Decision notice	Published
3. Documents and schedule	Published
4. Additional information identified	No
5. Fees	Waived
6. Processing time (in working days)	45
7. Decision made by Ombudsman	N/A
8. Additional information identified by Ombudsman	N/A
9. Decision made by ACAT	N/A
10. Additional information identified by ACAT	N/A

**From:** [EPSDFOI](#)  
**To:** [CMTEDD FOI](#)  
**Subject:** FULL TRANSFER - FOI Request - Brindabella Christian College  
**Date:** Wednesday, 6 September 2023 2:16:27 PM

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OFFICIAL

Good afternoon,

Please advise whether CMTEDD accepts full transfer of the application below. EPSDD confirms that there is no DA held for the building referenced in point (2) as there was a DA exemption.

Thank you.

Kind regards,

**Jedda Kelly** (she/her/they/them) | **Information Officer, Information Governance**

Phone: 02 6207 2689

**Legal Policy and Information Access | Environment, Planning and Sustainable Development Directorate | ACT Government**

480 Northbourne Avenue, Dickson | GPO Box 158, Canberra ACT 2601 | [www.act.gov.au](http://www.act.gov.au)

I acknowledge the Ngunnawal people as traditional custodians of the ACT and recognise any other people or families with connection to the lands of the ACT and region. I acknowledge and respect their continuing culture and the contribution they make to the life of this city and this region.

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**From:** [REDACTED]  
**Sent:** Friday, 1 September 2023 2:18 PM  
**To:** EPSDFOI <EPSDFOI@act.gov.au>  
**Subject:** FOI Request

You don't often get email from [REDACTED] [Learn why this is important](#)

**Caution:** This email originated from outside of the ACT Government. Do not click links or open attachments unless you recognise the sender and know the content is safe. [Learn why this is important](#)


Good afternoon FOI Coordinator

I'd like to make a request under the FOI Act for

(1) documents related to, and including, any regulatory action or non-compliance such as, but not limited to, stop work orders, rectification orders or compliance directions since 1 January 2023 at Brindabella Christian College (BCC), either at 46 Lhotsky St, Charnwood campus (Block 3/Section 94 Charnwood) or 136 Brigalow St Lyneham campus (Block 4/Section 41 Lyneham) issued by Access Canberra, Environment and Planning or in consultation with Environment and Planning.

(2) documents being the application and decision to approve a two storey building and covered walkway at BCC's Lyneham campus and any conditions, amendments, certificate of occupancy, notifications or compliance actions regarding this building.

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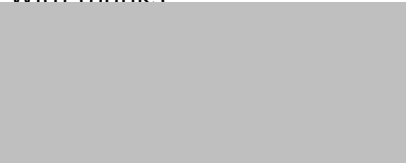


Canberra Times article today reports building regulations have been breached and the outdoor play area compromised for ELC children by the installation of new demountable buildings at the Lyneham campus recently. We also note the nearby two-storey building and covered walkway (known as the middle school building or 9 classrooms) appears complete but has not yet received a certificate of occupancy. We seek to understand the timeline and nature of this building and associated approvals and/or compliance issues.

<https://www.canberratimes.com.au/story/8329820/stop-work-notice-issued-to-canberra-school-over-building-compliance-issue/>

The community seeks to understand why a building that commenced in early 2021 is still incomplete and how the BCEL Board is managing and using resources such as parents fees and commonwealth funds.

With thanks





## **FREEDOM OF INFORMATION REQUEST**

I refer to your application under section 30 of the *Freedom of Information Act 2016* (the Act), received by the Chief Minister, Treasury and Economic Development Directorate (CMTEDD) on 8 September 2023 in which you sought:

*(1) documents related to, and including, any regulatory action or non-compliance such as, but not limited to, stop work orders, rectification orders or compliance directions since 1 January 2023 at Brindabella Christian College (BCC), either at 46 Lhotsky St, Charnwood campus (Block 3/Section 94 Charnwood) or 136 Brigalow St Lyneham campus (Block 4/Section 41 Lyneham) issued by Access Canberra, Environment and Planning or in consultation with Environment and Planning.*

*(2) documents being the application and decision to approve a two storey building and covered walkway at BCC's Lyneham campus and any conditions, amendments, certificate of occupancy, notifications or compliance actions regarding this building.*

### **Authority**

I am an Information Officer appointed by the Director-General of CMTEDD under section 18 of the Act to deal with access applications made under Part 5 of the Act.

### **Timeframes**

In accordance with section 40 of the Act, CMTEDD is required to provide a decision within 30 working days of the access application being received. Following on from third party consultation, the due date for a decision is **13 November 2023**.

### **Decision on access**

Searches were completed for relevant documents and **42** documents were identified that fall within the scope of your request.

I have included as **Attachment A** to this decision the schedule of relevant documents. This provides a description of the documents that fall within the scope of your request and the access decision for each of those documents.

I have decided to grant **full access** to six documents, **partial access** to 21 documents, and **fully exempt** 15 documents from release, as I consider them to contain information that would, on balance, be contrary to the public interest to disclose under the test set out in section 17 of the Act.

My access decisions are detailed further in the following statement of reasons and the documents released to you are provided as **Attachments B** to this letter.

In accordance with section 54(2) of the Act a statement of reasons outlining my decisions is below.

### **Statement of Reasons**

In reaching my access decisions, I have taken the following into account:

- the Act;
- the scope of your requested information;
- third party consultation;
- the content of the documents that fall within the scope of your request.

### **Exemptions claimed**

My reasons for deciding not to grant access to the identified documents and components of these documents are as follows:

Information that would, on balance, be contrary to the public interest to disclose under the test set out in section 17 of the Act

#### Public Interest

The Act has a presumption in favour of disclosure. As a decision maker I am required to decide where, on balance, public interest lies. As part of this process, I must consider factors favouring disclosure and nondisclosure.

In *Hogan v Hinch* (2011) 243 CLR 506, [31] French CJ stated that when ‘used in a statute, the term [public interest] derives its content from “the subject matter and the scope and purpose” of the enactment in which it appears’. Section 17(1) of the Act sets out the test, to be applied to determine whether disclosure of information would be contrary to the public interest. These factors are found in subsection 17(2) and Schedule 2 of the Act.

Taking into consideration the information contained in the documents found to be within the scope of your request, I have identified that the following public interest factors are relevant to determine if release of the information contained within these documents is within the ‘public interest’.

#### Factors favouring disclosure in the public interest:

(a) *disclosure of the information could reasonably be expected to do any of the following:*

*(viii) reveal the reason for a government decision and any background or contextual information that informed the decision.*

I have placed substantial weight on the above factors favouring disclosure. The release of this information can reasonably be expected to provide some background and context into the administration and decision-making process relating a compliance investigation handled by Access Canberra.

I am satisfied that this factor favouring disclosure carries some weight. However, this factor is to be balanced against the factors favouring nondisclosure.

Factors favouring nondisclosure in the public interest:

(a) *disclosure of the information could reasonably be expected to do any of the following:*

(ii) *prejudice the protection of an individual's right to privacy or any other right under the Human Rights Act 2004;*

(xi) *prejudice trade secrets, business affairs or research of an agency or person.*

Having reviewed the documents, I consider the protection of an individual's right to privacy is a significant factor. I have decided that their right to privacy in relation to their personal information has a higher weighting not to disclose, than the public interest has in disclosing this information. I am of the view that disclosure of employee names and contact information could prejudice their individual rights to privacy under the *Human Rights Act 2004*.

In addition, the protection of personal information for an individual when engaging with government during a review process, in my opinion, outweighs the benefit which may be derived from releasing the personal information of an individual or individuals involved in this matter. In this instance, I have decided that release of personal information of individuals who have engaged with government as part of a compliance process, is contrary to the public interest as this information could also prejudice an individual's rights to privacy under the *Human Rights Act 2004*.

Schedule 2 section 2.2(a)(xi) allows for government information to be withheld from release if disclosure of the information could reasonably be expected to prejudice the trade secrets, business affairs or research of an agency or person. I note that the disclosure of some of the information in scope, could potentially impact on the competitive commercial activities of the businesses who supplied material in this process. These materials contain information about their business affairs, detailed plans, cost of works, and reports prepared in response to compliance activities. This is a serious issue and I weight this provision substantially.

Having applied the test outlined in section 17 of the Act and deciding that release of some of the information contained in the documents is not in the public interest to release, I have chosen to redact this specific information in accordance with section 50(2). Noting the pro-disclosure intent of the Act, I am satisfied that redacting only the information that I believe is not in the public interest to release will ensure that the intent of the Act is met and will provide you with access to information held by CMTEDD within the scope of your request.

**Charges**

Processing charges for this request have been waived.

**Disclosure Log**

Under section 28 of the Act, CMTEDD maintains an online record of access applications called a disclosure log.

Your original access application and my decision will be published on the CMTEDD disclosure log. Your personal contact details will not be published.

<https://www.cmtedd.act.gov.au/functions/foi/disclosure-log-2023>

**Ombudsman Review**

My decision on your access request is a reviewable decision as identified in Schedule 3 of the Act. You have the right to seek Ombudsman review of this outcome under section 73

of the Act within 20 working days from the day that my decision is published, or a longer period allowed by the Ombudsman.

We recommend using this form [Applying for an Ombudsman Review](#) to ensure you provide all of the required information. Alternatively, you may write to the Ombudsman:

The ACT Ombudsman  
GPO Box 442  
CANBERRA ACT 2601

Via email: [actfoi@ombudsman.gov.au](mailto:actfoi@ombudsman.gov.au)

**ACT Civil and Administrative Tribunal (ACAT) Review**

Under section 84 of the Act, if a decision is made under section 82(1) on an Ombudsman review, you may apply to the ACAT for review of the Ombudsman decision. Further information may be obtained from the ACAT:

ACT Civil and Administrative Tribunal  
GPO Box 370  
CANBERRA ACT 2601  
Telephone: (02) 6207 1740  
<http://www.acat.act.gov.au/>

Should you have any queries in relation to your request please contact the CMTEDD FOI team by telephone on 6207 7754 or email [CMTEDDFOI@act.gov.au](mailto:CMTEDDFOI@act.gov.au).

Yours sincerely,



Emma Hotham  
Information Officer  
Information Access Team  
Chief Minister, Treasury and Economic Development Directorate

13 November 2023



**ACT**  
Government

Chief Minister, Treasury and  
Economic Development

## FREEDOM OF INFORMATION REQUEST SCHEDULE

WHAT ARE THE PARAMETERS OF THE REQUEST	Reference NO.
<p>(1) documents related to, and including, any regulatory action or non-compliance such as, but not limited to, stop work orders, rectification orders or compliance directions since 1 January 2023 at Brindabella Christian College (BCC), either at 46 Lhotsky St, Charnwood campus (Block 3/Section 94 Charnwood) or 136 Brigalow St Lyneham campus (Block 4/Section 41 Lyneham) issued by Access Canberra, Environment and Planning or in consultation with Environment and Planning.</p> <p>(2) documents being the application and decision to approve a two storey building and covered walkway at BCC's Lyneham campus and any conditions, amendments, certificate of occupancy, notifications or compliance actions regarding this building.</p>	<p>CMTEDDFOI2023-326</p>

Ref No	Page number	Description	Date	Status	Reason for Exemption	Online Release Status
1	1-6	To the builder and the Brindabella Christian College - Stop Notice - B4 S41 Lyneham copy copy(vA54420997)	13 February 2023	Partial	Sch 2 s2.2 (a)(ii); Sch 2 s2.2 (a)(xi)	Yes
2	7-10	Stop Notice sent to the builder and building manager -S41 B4 Lyneham copy(vA54420893)	10 august 2023	Partial	Sch 2 s2.2 (a)(ii); Sch 2 s2.2 (a)(xi)	Yes
3	11-15	B2023500-Alternative Solution-01(vA54421146).pdf	26 November 2023	Full Release		Yes
4	16-19	B2023500-Alternative Solution-02(vA54421145).pdf	12 April 2021	Full Release		Yes
5	20-22	B2023500-Alternative Solution-03(vA54421144).pdf	13 February 2023	Partial	Sch 2 s2.2 (a)(ii); Sch 2 s2.2 (a)(xi)	Yes
6	23-89	B2023500-Alternative Solution-04(vA54421143).pdf	17 November 2020	Exempt	Sch 2 s2.2 (a)(ii); Sch 2 s2.2 (a)(xi)	No
7	90-96	B2023500-Approved Plan-01(vA54421095).pdf	Undated	Partial	Sch 2 s2.2 (a)(xi)	Yes
8	97-98	B2023500-Approved Plan-02(vA54421094).pdf	4 February 2021	Exempt	Sch 2 s2.2 (a)(xi)	No
9	99-106	B2023500-Approved Plan-03(vA54421093).pdf	4 February 2021	Exempt	Sch 2 s2.2 (a)(xi)	No
10	107-122	B2023500-Approved Plan-04(vA54421092).pdf	4 February 2021	Partial	Sch 2 s2.2 (a)(ii); Sch 2 s2.2 (a)(xi)	Yes
11	123-144	B2023500-Approved Plan-05(vA54421091).pdf	4 February 2021	Partial	Sch 2 s2.2 (a)(ii); Sch 2 s2.2 (a)(xi)	Yes



12	145	B2023500-Approved Plans - Hydraulic-01(vA54421090).pdf	4 January 2021	Exempt	Sch 2 s2.2 (a)(xi)	No
13	146-147	B2023500-Approved Plans - Other-01(vA54421088).pdf	4 February 2021	Exempt	Sch 2 s2.2 (a)(xi)	No
14	148	B2023500-Building Approval Invoice-Invoice for Project Id B2-01(vA54421118).pdf	17 February 2023	Partial	Sch 2 s2.2 (a)(xi)	Yes
15	149	B2023500-Building Approval-01(vA54421142).pdf	13 February 2023	Exempt	Sch 2 s2.2 (a)(ii); Sch 2 s2.2 (a)(xi)	No
16	150-196	B2023500-Building Approval-02(vA54421141).pdf	18 September 2020	Partial	Sch 2 s2.2 (a)(ii); Sch 2 s2.2 (a)(xi)	Yes
17	197-222	B2023500-Building Approval-03(vA54421140).pdf	Undated	Exempt	Sch 2 s2.2 (a)(ii); Sch 2 s2.2 (a)(xi)	No
18	223-224	B2023500-Building Approval-04(vA54421139).pdf	9 February 2023	Partial	Sch 2 s2.2 (a)(xi)	Yes
19	225-226	B2023500-Building Approval-05(vA54421138).pdf	18 November 2021	Partial	Sch 2 s2.2 (a)(ii); Sch 2 s2.2 (a)(xi)	Yes
20	227-228	B2023500-Building Approval-06(vA54421135).pdf	26 May 2021	Exempt	Sch 2 s2.2 (a)(ii); Sch 2 s2.2 (a)(xi)	No
21	229-230	B2023500-Building Approval-07(vA54421133).pdf	19 March 2021	Partial	Sch 2 s2.2 (a)(ii)	Yes
22	231-232	B2023500-Building Approval-08(vA54421131).pdf	16 March 2021	Partial	Sch 2 s2.2 (a)(ii)	Yes
23	233-234	B2023500-Building Approval-09(vA54421130).pdf	17 March 2021	Exempt	Sch 2 s2.2 (a)(ii); Sch 2 s2.2 (a)(xi)	No
24	235	B2023500-Building Approval-10(vA54421129).pdf	Undated	Exempt	Sch 2 s2.2 (a)(ii); Sch 2 s2.2 (a)(xi)	No
25	236-250	B2023500-Building Approval-11(vA54421128).pdf	Undated	Full Release		Yes
26	251-258	B2023500-Building Approval-12(vA54421127).pdf	25 February 2020	Exempt	Sch 2 s2.2 (a)(ii); Sch 2 s2.2 (a)(xi)	No
27	259-262	B2023500-Building Approval-13(vA54421126).pdf	Undated	Exempt	Sch 2 s2.2 (a)(xi)	No
28	263-293	B2023500-Building Approval-14(vA54421125).pdf	Undated	Exempt	Sch 2 s2.2 (a)(ii); Sch 2 s2.2 (a)(xi)	No
29	294-296	B2023500-Building Approval-15(vA54421124).pdf	November 2021	Full Release		Yes
30	297-298	B2023500-Building Approval-16(vA54421123).pdf	Undated	Full Release		Yes

31	299-316	B2023500-Building Approval-18(vA54421121).pdf	Undated	Exempt	Sch 2 s2.2 (a)(ii); Sch 2 s2.2 (a)(xi)	No
32	317-318	B2023500-Building Approval-BuildingApproval_B2023500-01(vA54421120).pdf	15 February 2023	Partial	Sch 2 s2.2 (a)(xi)	Yes
33	319-321	B2023500-Building Commencement Notice Application-01(vA54421116).pdf	9 March 2021	Partial	Sch 2 s2.2 (a)(ii); Sch 2 s2.2 (a)(xi)	Yes
34	322-323	B2023500-Building Commencement Notice Application-Building Commencement Not-01(vA54421115).pdf	15 February 2023	Partial	Sch 2 s2.2 (a)(ii); Sch 2 s2.2 (a)(xi)	Yes
35	324-325	B2023500-Building Commencement Notice Application-Building Commencement Not-02(vA54421114).pdf	15 February 2023	Partial	Sch 2 s2.2 (a)(ii); Sch 2 s2.2 (a)(xi)	Yes
36	326-327	B2023500-Building Commencement Notice -Building Commencement Not-01(vA54421117).pdf	17 February 2023	Partial	Sch 2 s2.2 (a)(ii); Sch 2 s2.2 (a)(xi)	Yes
37	328-329	B2023500-Certifier Appointment-01(vA54421113).PDF	9 March 2021	Partial	Sch 2 s2.2 (a)(ii); Sch 2 s2.2 (a)(xi)	Yes
38	330-331	B2023500-Certifier Appointment-Appointment_of_Certifier_-01(vA54421112).pdf	15 February 2023	Partial	Sch 2 s2.2 (a)(xi)	Yes
39	332-335	B2023500-DA Exempt Check List-01(vA54421110).pdf	15 February 2023	Partial	Sch 2 s2.2 (a)(ii); Sch 2 s2.2 (a)(xi)	Yes
40	336-356	B2023500-Energy Efficiency Report-01(vA54421109).pdf	1 October 2021	Exempt	Sch 2 s2.2 (a)(ii); Sch 2 s2.2 (a)(xi)	No
41	357-370	B2023500-Statement of Compliance-01(vA54421107).pdf	29 March 2021	Partial	Sch 2 s2.2 (a)(ii); Sch 2 s2.2 (a)(xi)	No
42	371-373	Access Canberra - Customer Coordination - Operations Dickson & Mitchell - Building Approval Commercial Lodgement Checklist copy(vA54421148)	27 February 2023	Full Release		Yes
<b>Total</b>						
<b>No of Docs</b>						
42						

**From:** "Buddhadasa, Ajith"  
**Sent:** 13/02/2023 3:32 PM  
**To:** Sch 2.2(a)(xi)  
**Cc:** "brendonmajor@bcc.act.edu.au" <brendonmajor@bcc.act.edu.au>  
**Subject:** Stop Notice - B4 S41 Lyneham  
**Attachments:** Stop Notice- B004 S041 - Lyneham - BCC Classroom building.pdf

**OFFICIAL**

Dear Sch 2.2(a)(ii)

Please find attached stop notice in relation to the classroom building being constructed on B4 S41 Lyneham – BCC School premise.

If you wish to discuss this further please contact me.

Regards

**Ajith Buddhadasa**

**Assistant Director – Manager - Rapid Regulatory Response Team | Building and Planning Compliance  
Construction Utilities and Environment Protection**

**Access Canberra | ACT Government**

TP – 02 6205 8359

8 Darling Street, Mitchell | GPO Box 158 Canberra City ACT 2601 | [http://www.act.gov.au/accesscbr\\_](http://www.act.gov.au/accesscbr_)



## Stop Notice

<b>Contact Area</b>	<b>Contact email</b>
Rapid Regulatory Response Team (RRRT)	rrt@act.gov.au

<b>Builder name and license number</b>	<b>Lessee</b>
Sch 2.2(a)(xi), Sch 2.2(a)(ii)	Brindabella Christian Education Limited

<b>Suburb</b>	<b>Section</b>	<b>Block</b>	<b>Stage of development</b>
Lyneham	41	4	

I Ajith Buddhadasa, Building Inspector, hereby **prohibit** the carrying out of building work, on the above-mentioned parcel of land pursuant to Section 53(1) of the *Building Act 2004*.

A site inspection was conducted on 09/02/2023 by Rapid Regulatory Response Team (RRRT) Inspectors in relation to the concerned two storey classroom building being constructed within the Brindabella Christian College (BCC) premise on B4 S41 Lyneham. Inspectors observed a two-storey structure of the building, roof over the building, stairwell structure and an elevated bridge connection being constructed (see Attachment 1 for photos).

The building is a two storey BCA Class 9b building which is not identified in Schedule 1 of the *Building Act 2004* as an exempt from requiring a building approval (BA). Therefore, the building being constructed required a BA.

### Section 42 - Requirements for carrying out building work:

Section 42(1)(d) of the Building Act state that the building work must be carried out in accordance with the approved plans.

### Section 51 - Carrying out building work in contravention of s 42:

Section 51(1) state that it is an offence for a license builder to carryout building work in contravention of Section 42 of the Building Act - Maximum penalty: 50 penalty units

Therefore, no further building work is to be carried out on site until a building approval for the development has obtained.

### Building work is being carried out:

- (a) without a building approval having been issued for the work.
- (b) otherwise, than in accordance with the approved plans for the building work;
- (c) in accordance with a building approval that is, or part of which is, defective because it contains information that—
- (i) is false, misleading or inaccurate in a material respect; or
  - (ii) conflicts with other information in the approval so that carrying out building work, or site work that materially affects the building work, in accordance with the approval or part—
    - (A) is not physically possible; or
    - (B) is unlikely to be physically possible without amending the building approval; or
    - (C) is likely to contravene this Act, another territory law or a condition of a consent that applies to the building work or a lease, licence, permit or other authority that applies to the land where the building work is being carried out; or;
- (d) contrary to a provision of this Act relating to the building work; or



**ACT**  
Government

Chief Minister, Treasury and  
Economic Development

## Stop Notice

- (e) if the building work is being carried out on a parcel of land held under lease from the Commonwealth—contrary to a provision, covenant or condition of the lease; or
- (f) for building work forming part of a development requiring development approval—without development approval; or
- (g) for building work forming part of a development with development approval—contrary to the approval, or a condition of the approval; or
- (h) for building work for an exempt building—so that the building, or part of the building, is or will be on an easement.

**A tick in a box indicates the particular ground on which the notice is issued.**

Ajith Buddhadasa

13/02/2023

Building Inspector

Sch 2.2(a)(ii)

### Important Information

Section 142C – Applications for review - See reverse side for advisory information.  
Provided in accordance with s 7 of the *ACT Civil and Administrative Tribunal Regulation 2009*

### REVIEW OF THE DECISION BY THE ACT CIVIL AND ADMINISTRATIVE TRIBUNAL

You may apply to the ACT Civil and Administrative Tribunal (**ACAT**) for administrative review of this decision.

### CONTACT DETAILS

Location	Contact details
ACT Civil and Administrative Tribunal Level 4, 1 Moore Street CANBERRA CITY ACT 2601	Website: <a href="http://www.acat.act.gov.au">www.acat.act.gov.au</a> Email: <a href="mailto:tribunal@act.gov.au">tribunal@act.gov.au</a> Telephone: (02) 6207 1740 Facsimile: (02) 6205 4855 Post: GPO Box 370, CANBERRA, ACT, 2601

### APPLICATIONS TO THE ACAT

To apply for a review, obtain an application form from the ACAT. You can also download the [Application for review of a decision](#) form from the ACAT website.

### TIME LIMITS FOR APPLICATIONS

The time limit to make a request for a review is 28 days from the date that you receive this Notice of Decision.



**ACT**  
Government

Chief Minister, Treasury and  
Economic Development

## Stop Notice

### FEES

Applications to the ACAT, including an application to be joined as a party to a proceeding, require payment of a fee. You can apply to have the fee waived on the grounds of hardship, subject to approval (refer to section 22T of the *ACT Civil and Administrative Tribunal Act 2008*).

### TRANSLATION AND INTERPRETER SERVICES

The ACT Government's translation and interpreter service runs 24 hours a day, every day of the week.

<b>ENGLISH</b>	If you need interpreting help, telephone:
<b>ARABIC</b>	: إذا احتجت لمساعدة في الترجمة الشفوية ، إتصل برقم الهاتف :
<b>CHINESE</b>	如果你需要传译员的帮助，请打电话：
<b>CROATIAN</b>	Ako trebate pomoć tumača telefonirajte:
<b>GREEK</b>	Αν χρειάζεστε διερμηνέα τηλεφωνήστε στο
<b>ITALIAN</b>	Se avete bisogno di un interprete, telefonate al numero:
<b>MALTESE</b>	Jekk għandek bżonn l-għajnuna t'interpretu, ċempel:
<b>PERSIAN</b>	: اگر به ترجمه شفاهی احتیاج دارید به این شماره تلفن کنید:
<b>PORTUGUESE</b>	Se você precisar da ajuda de um intérprete, telefone:
<b>SERBIAN</b>	Ako vam je potrebna pomoć prevodioca telefonirajte:
<b>SPANISH</b>	Si necesita la asistencia de un intérprete, llame al:
<b>TURKISH</b>	Tercümana ihtiyacımız varsa lütfen telefon ediniz:
<b>VIETNAMESE</b>	Nếu bạn cần một người thông-ngôn hãy gọi điện-thoại:

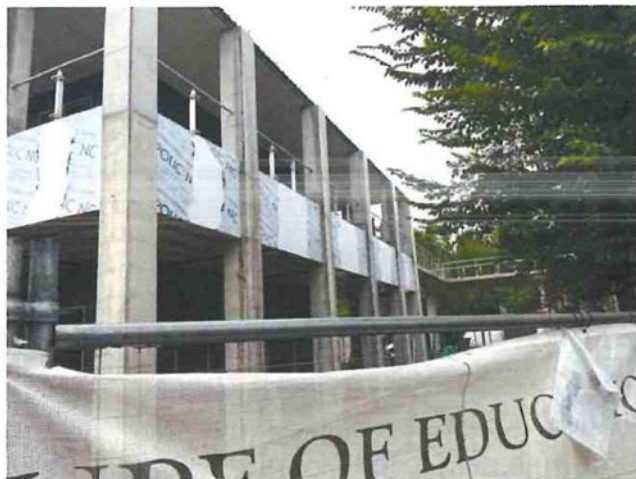
### TRANSLATING AND INTERPRETING SERVICE

**131 450**

Canberra and District - 24 hours a day, seven days a week

## Stop Notice

### Attachment 1:

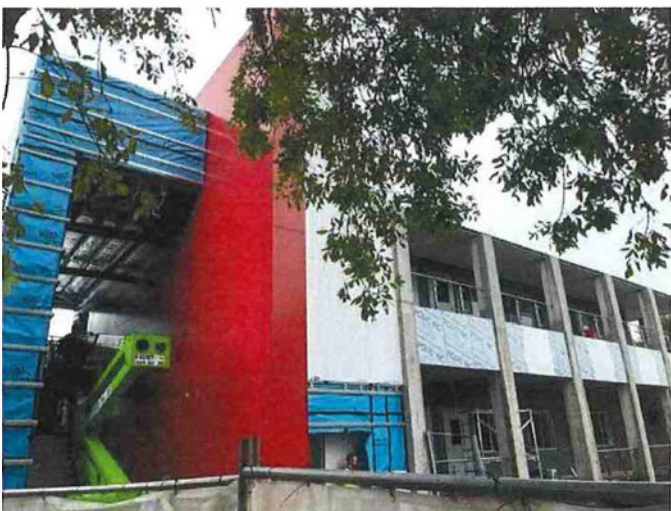




**ACT**  
Government

Chief Minister, Treasury and  
Economic Development

## Stop Notice





**From:** "Mahajan, Shiwali"  
**Sent:** 10/08/2023 12:08 PM  
**To:** "brendonmajor@bcc.act.edu.au" <brendonmajor@bcc.act.edu.au>;  
**Subject:** Stop Notice -S41 B4 Lyneham  
**Attachments:** Stop Notice - S41 B4 Lyneham.docx.pdf

OFFICIAL

Dear <sup>Sch 2.2(a)</sup> and Brendon

Please find attached the Stop Notice for your consideration and necessary action.

Kind regards

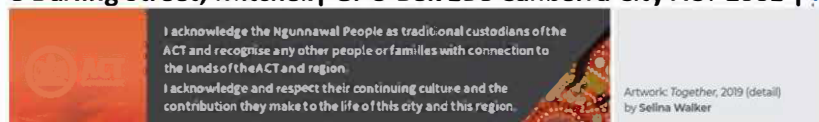
Shiwali Mahajan

**Building Inspector and Compliance Regulator | Rapid Regulatory Response Team  
Construction, Environment and Workplace Protection**

**Access Canberra | ACT Government**

**TP – 02 6207 8629 / email: [Shiwali.mahajan@act.gov.au](mailto:Shiwali.mahajan@act.gov.au)**

**8 Darling Street, Mitchell | GPO Box 158 Canberra City ACT 2601 | <http://www.act.gov.au/accesscbr>**



## Stop Notice

<b>Contact Area</b>	<b>Contact email</b>
Rapid Regulatory Response Team (RRRT)	rrt@act.gov.au

<b>Builder name and license number</b>	<b>Lessee</b>
Sch 2.2(a)(xi), Sch 2.2(a)(ii)	Brindabella Christian Education Limited

<b>Suburb</b>	<b>Section</b>	<b>Block</b>	<b>Stage of development</b>
Lyneham	41	4	

I Ajith Buddhadasa, Building Inspector, hereby **prohibit** the carrying out of building work, on the above-mentioned parcel of land pursuant to Section 53(1) of the *Building Act 2004*.

A site inspection was conducted on 09/08/2023 by Rapid Regulatory Response Team (RRRT) Inspectors in relation to the concerned about no public notification of building works signage regarding construction of a 2-storey classrooms block and covered walkway still under construction since March 2021 NOR any building works notification or signage for new demountable buildings installed the week of 10/7/23. These demountable structures along Brigalow St boundary are encroaching significantly into Early Learning Centre (ELC) mandatory outdoor play designated area in breach of ELC licence.

The site inspection was conducted within the Brindabella Christian School (BCC) premise on B4 S41 Lyneham. At the time of inspection RRRT inspectors spoke to the building manager of BCC and he confirmed that builder is in process of obtaining a building approval for the demountable classroom structure. The building manager also confirmed that the Education Directorate officials had already visited the site on 09/08/2023 morning and they were satisfied that the outdoor open area provided to ELC complies with their requirement.

The building is a two storey BCA Class 9b building which is not identified in Schedule 1 of the *Building Act 2004* as an exempt from requiring a building approval (BA). Therefore, the building being constructed required a BA.

### Section 42 - Requirements for carrying out building work:

Section 42(1)(d) of the Building Act state that the building work must be carried out in accordance with the approved plans.

### Section 51 - Carrying out building work in contravention of s 42:

Section 51(1) state that it is an offence for a license builder to carryout building work in contravention of Section 42 of the Building Act - Maximum penalty: 50 penalty units

Therefore, no further building work is to be carried out on site until a building approval for the development has obtained.

### Building work is being carried out:

- (a) without a building approval having been issued for the work.
- (b) otherwise, than in accordance with the approved plans for the building work;
- (c) in accordance with a building approval that is, or part of which is, defective because it contains information that—



**ACT**  
Government

Chief Minister, Treasury and  
Economic Development

## Stop Notice

- (i) is false, misleading or inaccurate in a material respect; or
- (ii) conflicts with other information in the approval so that carrying out building work, or site work that materially affects the building work, in accordance with the approval or part—
  - (A) is not physically possible; or
  - (B) is unlikely to be physically possible without amending the building approval; or
  - (C) is likely to contravene this Act, another territory law or a condition of a consent that applies to the building work or a lease, licence, permit or other authority that applies to the land where the building work is being carried out; or;
- (d) contrary to a provision of this Act relating to the building work; or
- (e) if the building work is being carried out on a parcel of land held under lease from the Commonwealth—contrary to a provision, covenant or condition of the lease; or
- (f) for building work forming part of a development requiring development approval—without development approval; or
- (g) for building work forming part of a development with development approval—contrary to the approval, or a condition of the approval; or
- (h) for building work for an exempt building—so that the building, or part of the building, is or will be on an easement.

**A tick in a box indicates the particular ground on which the notice is issued.**

Ajith Buddhadasa

10/08/2023

Building Inspector

Sch 2.2(a)(ii)

### Important Information

Section 142C – Applications for review - See reverse side for advisory information.  
Provided in accordance with s 7 of the *ACT Civil and Administrative Tribunal Regulation 2009*

### REVIEW OF THE DECISION BY THE ACT CIVIL AND ADMINISTRATIVE TRIBUNAL

You may apply to the ACT Civil and Administrative Tribunal (**ACAT**) for administrative review of this decision.

### CONTACT DETAILS

Location	Contact details
ACT Civil and Administrative Tribunal Level 4, 1 Moore Street CANBERRA CITY ACT 2601	Website: <a href="http://www.acat.act.gov.au">www.acat.act.gov.au</a> Email: <a href="mailto:tribunal@act.gov.au">tribunal@act.gov.au</a> Telephone: (02) 6207 1740 Facsimile: (02) 6205 4855 Post: GPO Box 370, CANBERRA, ACT, 2601



**ACT**  
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Chief Minister, Treasury and  
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## Stop Notice

### APPLICATIONS TO THE ACAT

To apply for a review, obtain an application form from the ACAT. You can also download the Application for review of a decision form from the ACAT website.

### TIME LIMITS FOR APPLICATIONS

The time limit to make a request for a review is 28 days from the date that you receive this Notice of Decision.

### FEES

Applications to the ACAT, including an application to be joined as a party to a proceeding, require payment of a fee. You can apply to have the fee waived on the grounds of hardship, subject to approval (refer to section 22T of the *ACT Civil and Administrative Tribunal Act 2008*).

### TRANSLATION AND INTERPRETER SERVICES

The ACT Government's translation and interpreter service runs 24 hours a day, every day of the week.

ENGLISH	If you need interpreting help, telephone:
ARABIC	: إذا احتجت لمساعدة في الترجمة الشفوية ، إتصل برقم الهاتف :
CHINESE	如果你需要传译员的帮助，请打电话：
CROATIAN	Ako trebate pomoć tumača telefonirajte:
GREEK	Αν χρειάζεστε διερμηνέα τηλεφωνήσετε στο
ITALIAN	Se avete bisogno di un interprete, telefonate al numero:
MALTESE	Jekk għandek bżonn l-għajjuna t'interpretu, cempel:
PERSIAN	: اگر به ترجمه شفاهی احتیاج دارید به این شماره تلفن کنید:
PORTUGUESE	Se você precisar da ajuda de um intérprete, telefone:
SERBIAN	Ako vam je potrebna pomoć prevodioca telefonirajte:
SPANISH	Si necesita la asistencia de un intérprete, llame al:
TURKISH	Tercümana ihtiyacınız varsa lütfen telefon ediniz:
VIETNAMESE	Nếu bạn cần một người thông-ngôn hãy gọi điện-thoại:

### TRANSLATING AND INTERPRETING SERVICE

**131 450**

Canberra and District - 24 hours a day, seven days a week

## Fire Safety Section | 9 Amberley Avenue | Fairbairn Business Park | Majura ACT 2609

ACT Fire & Rescue (ACTF&R) has reviewed the performance-based design submitted in the form of a performance based design report (PBDR) for the building detailed below. The ACTF&R undertakes this review in accordance with Section 5.4 of the Emergencies ACT 2004 and as a “referred entity” in accordance with Item 6 of Part 2.2, Schedule 2 of the ACT Building (General) Regulations 2008 made under the Building ACT 2004.

The evaluation of the performance based design report has been undertaken with consideration given to the National Construction Code Series Volume 1 and 2 Building Code of Australia (NCC 2019), the operational requirements of ACTF&R and the International Fire Engineering Guidelines.

Date:	26 November 2020
ACTF&R reference:	2020-536
Performance based design report reference:	8158 I02 R00
Division, Section & Block:	B04 S41 LYNEHAM
Building name and street address:	Brindabella Christian College
Building certifier:	David Delchau - CBS Building Surveyors
Fire safety engineer:	Nicole Cocks - IGNIS Solutions
ACTF&R support of performance based design report:	Yes, see conditions and comments below
BCA classification:	9b
Rise in storeys C1.2:	2
Type of construction (C1.1)	B
Effective height:	<12m
Scope of building works:	Modular Classroom

## Performance Solutions

1	<p>It is proposed for the external wall of the upper storey which is located within 18m of another building on the site to not have an FRL.</p> <p>It is also proposed for the supporting elements of the upper floor be required to have an FRL of at least 60/60/60 in lieu of 120/120/120.</p>	<p>The upper level does not require an FRL for the roof or the elements which support it. The external wall of this upper level, where greater than 6m from a fire source feature is proposed to not have an FRL. The external wall within 6m will achieve the FRL</p> <p>The ceiling separating the storeys will have two layers of 13mm Fyrecek to protect all the beams. This will extend to the soffit of the fire floor verandah to protect its supporting beams, achieving the required resistance to the incipient spread of fire.</p> <p>All external walls and internal walls to the lower level with have two layers of 13mm Fyrecek inside and outside (protecting the columns within), achieving an FRL of no less than 60/60/60.</p> <p>The external columns which support the first-floor verandah will be painted with an intumescent coating, to achieve an FRL of not less than 60 minutes</p> <p>All building materials will comply with the requirements of Type B construction regarding non-combustibility</p> <p>Automatic fire detection and alarm system in accordance with AS 1670.1.</p>	C1.1	CP1 CP2	A2.1 (3)	A2.2(2)(b)(ii)	C
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Future school expansion is to maintain the 6m separation of this building.

2	The proposed building is two storey and as such is non-compliant with Clause 2.3 of AS1670.1:2018. It is proposed that the building be monitored by the existing FIP located in the administration building	New portable building be monitored by the existing FIP located in the administration building with the building separated into detection zones as appropriate.	AS1670.1 - 2018 Clause 2.3	EP4.3	D
3	It is proposed for the openings in the external walls that are within 6m of the adjacent Early Learning Centre to remain unprotected.	Radiant heat calculations	C3.2	CP2	C
4	It is proposed for the travel from the balcony to be up to approximately 29m to a point of choice in lieu of 20m and up to 49m to an exit in lieu of 40m.		D1.4 D1.5	DP4	E

The performance-based design report identifies departures to the DTS provisions of the NCC and accordingly addresses this through performance solutions. These are summarised above. A full description of the variations, non-compliances, and methodologies used to meet the NCC Performance Requirements and Assessment Methods are contained in the performance-based design report 8158 I02 R00 submitted by IGNIS Solutions.

Sub-system A - Fire Initiation and Development

Sub-system B - Smoke Development and Spread & Control

Sub-system C - Fire Spread and Impact and Control.

Sub-system D - Fire Detection, Warning and Suppression

Sub-system E - Occupant Evacuation and Control

Sub-system F - Fire Brigade Intervention.

\*The information provided is not exhaustive and may not cover all aspects of the submitted performance based design report.

## Conditions for ACTF&R endorsement of the performance based design:

### Direction to install fire appliances

After assessment of the performance based design report referred to ACT Fire & Rescue, the owner of the building, pursuant to Part 5.4 Section 92 of the ACT Emergencies Act (2004), is hereby directed to install fire appliances in the building as required by the NCC and the performance based design report 8158 I02 R00.

### ACT Fire & Rescue final clearance inspection

Final ACTF&R approval for the performance based design is dependent on the outcome of a clearance inspection undertaken by the ACTF&R at the completion of building works. The clearance inspection may examine all aspects of the buildings fire safety measures as required by the NCC and the performance based design report. Appropriate certification and documentation will be required for all installed fire safety measures.

### Notification of performance solution

A permanent plaque, as shown below, is to be provided at the main entrance, "Fire Indicator Panel" or "Fire Control Centre / Room". The wording "PERFORMANCE SOLUTION" shall be in 20mm high capital letters with other letters at 10mm high. All lettering is to be in a colour contrasting with the background.

### Change in use

This endorsement is limited to the building as described in the performance based design report. If the building is subject to change of use, alterations or additions, including any change to fire hazards or proximity to fire source features a reassessment will be required to ensure consistency with the fire safety measures contained within this proposal and the NCC.

### Handover to building owner

The Building Certifier and/or project manager for the building works are to ensure the owner/manager of the building(s) is aware of the directions and recommendations ACTF&R have set for this approval. A copy of the Performance based design report (PBDR) is to be forwarded to the building owner & building manager for retention on file.

### Maintenance of fire protection systems and equipment

The safety of a building depends in part on how the building and its fire safety systems are maintained. The ACT Emergency Act (2004), Part 5.4, Section 95 requires the maintenance of fire protection systems to:

- AS 1851 (Routine service of fire protection systems and equipment) as in force from time to time;
- AS/NZS 2293.2 (Emergency evacuation lighting for buildings Inspection and maintenance) as in force from time to time;
- a standard approved for the fire appliance as part of a building approval issued for the premises under the Building Act 2004, section 28;
- a standard of maintenance prescribed by regulation.

Records of maintenance as per the Standards must be kept by the building owner or their delegated representative on site. These records including logbooks, summary records and yearly condition reports are to be available for inspection by ACTF&R within 48 hours following request.

For further information please see the ACTF&R guideline:

[FSG-05 Maintenance of fire protection systems and equipment in class 2 – 9 buildings.](#)



### Planning for emergencies in facilities

To further safeguard building occupants from the effects of a fire emergency, it is recommended that a well-managed evacuation management plan and procedures be established, including accredited fire warden training and periodic evacuation drills. (Ref: AS3745 – 2010, Planning for Emergencies in Facilities).

## Supporting documentation

### Onsite inspection & letter of support

An onsite inspection and associated inspection report from the consulting fire safety engineer will be required at the completion of building works verifying that:

- The construction of the building works is consistent with the approved performance based design.
- The fire safety features, measures, systems and specifications stipulated in the performance based design report have been installed and commissioned satisfactorily.
- Verification that all aspects of the trial design are installed and implemented as per the design detailed in the approved performance based design report.
- The management in use and maintenance regimes stipulated in the performance based design report are in place and the building owner has been notified.

### Independent sprinkler system certification

For any building containing an automatic sprinkler system a certificate from an independent authorized inspector certifying that the work has been completed in accordance with the relevant standard and regulations is required.

### The following documentation may be required upon request:

- Supporting documentation such as an NCC Audit, stating that all aspects of the building comply with the DTS provisions of the NCC other than those that have been addressed and approved in the Performance based design report.
- Independent certification stating that fire safety systems included in the building that are not part of the performance based design comply with the DTS provisions of the NCC.

### ACTF&R advice regarding building approval application

In accordance with Part 3 Section 20 of the Building (General) Regulation (2008) ACTF&R support the building approval application. Please ensure any additional conditions and recommendations provided have been met.

Report Prepared By:	Fire Safety and Engineered Solutions Station Officer Brendan Cross 02 6207 8372 <a href="mailto:actfbfireengineer@act.gov.au">actfbfireengineer@act.gov.au</a>	26/11/2020
Report Verified By:	Manager Fire Safety & Engineered Solutions Commander Paul Owens 02 6205 0986 <a href="mailto:paul.owens@act.gov.au">paul.owens@act.gov.au</a>	26/11/2020

For the Chief Officer ACT Fire & Rescue.

## Fire Safety Section | 9 Amberley Avenue | Fairbairn Business Park | Majura ACT 2609

This plan report provides advice from the ACTF&R following a review of the submitted building design plans referred to ACT Fire & Rescue in accordance with Schedule 2 Part 2.2 Item 7 of the Building (General) Regulation 2008. The plan report is provided in accordance with Section 5.4 of the Emergencies Act 2004.

Date of Report:	12 April 2021
ACTF&R Reference:	<b>PR 101-041-0004</b>
Building Name and Street Address:	<b>Brindabella Christian College (2 Storey Demountable)</b>
Block, Section & District:	<b>Block 4 Section 41 Lyneham</b>
Scope of Building Works:	<b>New Build</b>
Building Certifier:	<b>Dave Delchau – CBS Commercial Certifiers</b>
ACTF&R support of building approval application	<b>Yes</b>

## Building classification

BCA Classification:	<b>9b</b>
Rise in Storeys C1.2:	<b>2</b>
Fire Compartment Size/Volume limitations (Table C2.2):	<b>730m<sup>2</sup> of classrooms</b>
Type of Construction (C1.1)	<b>B</b>
Effective height:	<b>&lt;12m</b>
Performance Based Solution	<b>Yes</b>

## Required fire appliances

After assessment of the plans referred to ACT Fire & Rescue, the owner of the building, pursuant to Part 5.4 Section 92 of the ACT Emergencies Act (2004), is hereby directed to install the following fire appliances in the building as required by the NCC and relevant referenced documents.

In accordance with the Building (General) Regulation (2008), on completion of building work approval of the installation of any fire appliance is to be obtained from ACTF&R on behalf of the Emergency Services Commissioner.

ACTF&R will require certification of the installation and may perform a functional test of systems prior to approval.

Please note comments and conditions below.

Fire rated construction	BCA C1.1	
Fire hydrant System	BCA E1.3, AS2419.1:2005	<p>External</p> <ul style="list-style-type: none"> <li>• Hydrant locations are to be denoted by a blue hydrant indicator that will be readily visible to responding fire &amp; rescue crews via the principal access route. Feed hydrants marked FH. Attack hydrants marked AH. Hydrants in garden beds to be marked with a blue bollard and FH or AH as applicable.</li> <li>• In ground ball valve hydrants are permitted by ACTF&amp;R in accordance with AS 2419.1 clause 2.1.1</li> <li>• <b>Hydrant coverage addressed in performance solution.</b></li> </ul>
Hydrant/Sprinkler Booster	BCA E1.3, AS2419.1:2005	<ul style="list-style-type: none"> <li>• Hydrant Booster assembly's signage and block plan is required as per AS2419.1, 7.10 &amp; 7.11</li> <li>• Laminated paper block plans are not considered suitable. An A3 size framed document is required. Adjustments to block plan made with pen are not acceptable.</li> <li>• Doors on a fire brigade booster assembly shall be clearly labelled with a fade resistant sign stating 'FIRE HYDRANT BOOSTER', 'FIRE HYDRANT AND SPRINKLER BOOSTER' or 'COMBINED FIRE HYDRANT AND SPRINKLER BOOSTER', as appropriate.</li> <li>• Boost and test pressures as determined by hydraulic engineer.</li> <li>• <b>Hydraulic block plan to be updated</b></li> <li>• <b>Provide hydraulic block plan at FIP</b></li> </ul>
Portable fire extinguishers	BCA E1.6, AS 2444:2001	
Fire detection	BCA E2.2, AS 1670.1:2018	<ul style="list-style-type: none"> <li>• Fire services matrix required to be submitted as part of fire appliance approval</li> <li>• Laminated paper block plans are not considered suitable. An A3 size framed document is required.</li> </ul>

Building Occupant Warning System	BCA Specification E2.2, Clause 6, AS 1670.1:2018	• Adjustments to block plan made with pen are not acceptable.
Fire alarm monitoring	BCA Specification E2.2, Clause 7	• ACTF&R recommend a SPL of 75 dB at the bedhead as per AS 1670.1:2015
Emergency and exit lighting	BCA E4.5, E4.6, AS 2293.3:2018	

## Performance solution

A Performance Based Solution Report has been issued and assessed by ACTF&R. This report identifies variations from the deemed to satisfy provisions of the NCC and addresses each individually through fire safety assessment. A full description of the variations, and methodologies used to meet the BCA Performance Requirements and Assessment Methods are contained in the Performance Solution Report. At the completion of building works an inspection and inspection report will be required to be completed by the relevant fire safety engineer and submitted to ACTF&R.

## Plan Report Assessment

After assessment of the plans provided against the active and passive fire protection requirements of the Building Code of Australia, the following observations are made:

### Part C3 Protection of Openings

#### C3.2 – Protection of Openings in External Walls

Openings in an external wall that is required to have an FRL, and are <3m from the side or rear boundary or <6m from the far boundary of a road or other building on the allotment that is not class 10 must be protected in accordance with C3.4

Addressed in performance solution

## SECTION D ACCESS AND EGRESS

### Part D1 – Provision for Escape

#### D1.4 - Exit travel distance.

Class 5, 6, 7, 8 or 9 parts - no point on a floor must be more than 20m from an exit or point of choice where maximum distance of travel must not exceed 40m. (In class 5 or 6, the distance at the level of access to road or open space may be increased to 30m)\*See other provisions of D1.4 for additional requirements for 9a, spectator stands and public assembly buildings.

Addressed in performance solution

### Fire resistance

Building work involving the use of combustible cladding on the external walls of buildings of Type A and B Construction must be compliant with the relevant sections of the BCA. Buildings that do not meet the Deemed-to-Satisfy provisions will require a Performance Solution in order to comply.

### Fire precautions during construction

Please ensure compliance with NCC clause E1.9. A construction zone fire safety strategy may be considered by ACTF&R. For further clarification please see the ACTF&R guideline.

### Maintenance of fire protection systems and equipment

From June 21, 2019 the ACT Emergency Act (2004), Part 5.4, Section 95 requires the maintenance of fire protection systems to:

- AS 1851 (Routine service of fire protection systems and equipment) as in force from time to time;
- AS/NZS 2293.2 (Emergency evacuation lighting for buildings Inspection and maintenance) as in force from time to time;
- a standard approved for the fire appliance as part of a building approval issued for the premises under the Building Act 2004, section 28;
- a standard of maintenance prescribed by regulation.

For further information please see the ACTF&R guideline

### [ACTF&R policies and guidelines](#)

Please refer to information in the following guideline/s, available on [esa.gov.au](http://esa.gov.au) as ACTF&R have deemed they may be applicable to the proposed development:

- [ACT Fire & Rescue Fire Safety Guideline FSG-05 Maintenance of fire protection systems and equipment in class 2 – 9 buildings.](#)
- [ACT Fire & Rescue Guideline FSG-19 Fire precautions during construction.](#)

### [Planning for emergencies in facilities](#)

To further safeguard building occupants from the effects of a fire emergency, it is recommended that an emergency management plan be developed in line with AS3745 Planning for Emergencies in Facilities.

### [ACTF&R advice regarding building approval application](#)

In accordance with Part 3 Section 20 of the Building (General) Regulation (2008) ACTF&R support the building approval application. Please ensure any additional conditions and recommendations provided have been met.

**Note:** In accordance with Section 48, Division 3.6 of the ACT Building Act 2004, final approval of the building works is the responsibility of the Building Certifier.

Report Prepared	Station Officer	12/04/2021
By:	Phil Cook	

	<a href="mailto:actfrfiresafety@act.gov.au">actfrfiresafety@act.gov.au</a>	
Report Verified	Manager Community Safety	12/04/2021
By:	Commander Paul Owens - 02 6205 0986 <a href="mailto:Paul.Owens@act.gov.au">Paul.Owens@act.gov.au</a>	

**For the Chief Officer ACT Fire & Rescue**

# Design Certificate

## Waterproofing design & External wall system disclosure statement

**Project number.** 1506.16  
**Project name.** Brindabella Christian College – 2 Storey Demountable building  
**Address.** 136 Brigalow Street, Lyneham ACT 2602

### Part of the Building to be certified.

New two-storey demountable building, located within the Brindabella Christian College Campus. All internal wet areas and external areas such as external walkways, and second-storey walkway connection to Junior School. Specifically, the connection details between the internal floor and external walkways.

### I hereby certify that:

The drawings and specifications have been designed in accordance with the nominated Standards of Performance.

<p>Part F1 Damp and Waterproofing including; Clause F1.4 of the BCA (External Waterproofing) Clause F1.7 of the BCA (Internal Waterproofing) AS4654.1 – 2012 AS4654.2 – 2012 AS3740 – 2010</p>	<p><b>BCA Referred to: NCC 2019 BCA – Volume One Amendment 1</b></p> <p>I confirm that the building elements as described under 'Part of the building to be certified', identifies all the proposed waterproofing elements designed for the subject development, including the component elements of those systems, and any attachments thereto.</p> <p>I have undertaken reasonable investigations to ascertain that these systems and components comply with the relevant requirements of Part F1 Damp and Weatherproofing including; Clause F1.4 of the BCA (External Waterproofing), Clause F1.7 of the BCA, (Internal Waterproofing), AS4654.1 – 2012, AS4654.2 – 2012, AS3740 – 2010, such as reviewing product technical information, manufacturer's reports (where provided) and external consultant advice (where provided).</p>
--	---

<p>External wall system disclosure statement</p>	<p><b>BCA Referred to: BCA 2019</b></p> <p>I confirm that the table provided with this statement, identifies all the proposed external wall systems and wall elements designed for the subject development, including the component elements of those systems, and any attachments thereto.</p> <p>I have undertaken reasonable investigations to ascertain that these systems and components comply with the non-combustibility requirements of Clause C1.9 of the BCA, such as reviewing product technical information, fire test reports, code mark certificates, fire-engineer's reports (where provided) and external consultant advice (where provided). Attachments to the building comply with clause C1.14 of the BCA.</p> <p>Supporting documents that demonstrate compliance for each wall type with the relevant sections of the BCA are provided and attached.</p>
--	---

I am a properly qualified person and have a good working knowledge of the relevant codes and standards referenced above. (My qualifications and accreditations are listed below):

Sch 2.2(a)(xi), Sch 2.2(a)(ii)



**Licence / Accreditation / Registration number:**

The information contained in this statement is true and accurate to the best of my knowledge.

**Full Name:**

Sch 2.2(a)(xi), Sch 2.2(a)(ii)

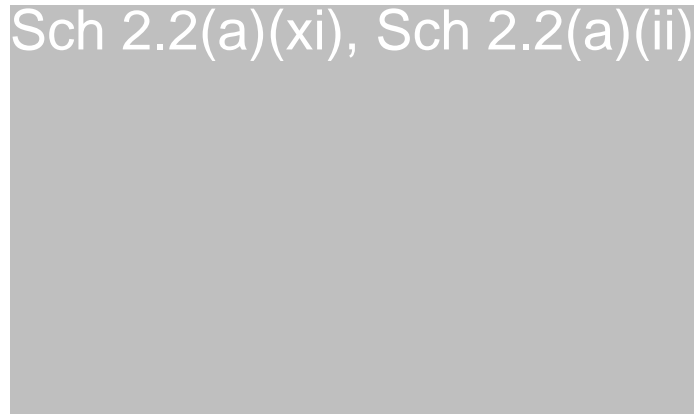
**ABN:**

**Company:**

**Phone:**

**Address:**

**Signature:**



**Date:**

13/02/2023

## Table of selections

### External wall system disclosure statement

#### Soffit

Lysaght – Panelrib

LYT0138 - L1P0W1 - PAB08 - 2020.02.19 - F.pdf

#### Walls

Lysaght – Custom orb

2x 13mm Fyrchek MR (where required)

LYT0138 - L1P0W1 - PAB08 - 2020.02.19 - F.pdf  
wfra-45759\_11.pdf

#### Roof

Lysaght – Trimdek

LYT0138 - L1P0W1 - PAB08 - 2020.02.19 - F.pdf

#### Cladding to walkway

Alpolic NC

Alpolic NC Specs.pdf

Annexure F - Alpolic Tech Data and test Data Small.pdf

#### Insulation (Roof and Wall)

Knauf Insulation Earthwool Batts R2.5

KIAU0315173DS-Earthwool-Wall-Batt-Datashe.pdf

#### Wall Wrap

Aircell Insulbreak 70

7b5b8657-d7df-4ca3-a4fa-708344281e74.pdf



# PROPOSED DEMOUNTABLES

## AT

### BLOCK 4 SECTION 41, LYNEHAM ACT

#### GENERAL

- G1. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS DRAWINGS AND OTHER RELEVANT REFERENCE DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ALL DISCREPANCIES SHALL BE REFERRED TO SUPERINTENDENT FOR DECISION BEFORE PROCEEDING.
- G2. DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE STRUCTURAL DRAWINGS. FIGURED DIMENSIONS ONLY SHALL BE USED. SETTING OUT DIMENSIONS SHOWN ON THE DRAWINGS SHALL BE VERIFIED BY THE BUILDER, FROM ARCHITECTURAL DRAWINGS. ALL DISCREPANCIES SHALL BE REFERRED TO ARCHITECT FOR RESOLUTION.
- G3. DURING CONSTRUCTION, STRUCTURES SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVERLOADED. TEMPORARY SUPPORT SHALL BE PROVIDED BY THE BUILDER IN ORDER TO KEEP THE WORKS AND ANY EXCAVATIONS STABLE AT ALL TIMES.
- G4. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF CURRENT STANDARDS AUSTRALIA CODES, AND THE BUILDING CODE OF AUSTRALIA.
- G5. THE STRUCTURAL COMPONENTS DETAILED ON THE STRUCTURAL DRAWINGS HAVE BEEN DESIGNED FOR THE FOLLOWING LOADS:
- i) LIVE LOADS IN ACCORDANCE WITH AS 1170 - PART 1
  - ii) WIND LOADS IN ACCORDANCE WITH AS 1170 - PART 2 TERRAIN CATEGORY 3 REGION A3
- G6. THE RELEVANT PROVISIONS OF AS 1170.4 - 1993 HAVE BEEN APPLIED FOR A TYPE '1' STRUCTURE WITH AN EARTHQUAKE DESIGN CATEGORY, OF '1H'.
- G7. CONSTRUCTION USING THE STRUCTURAL DRAWINGS SHALL NOT COMMENCE UNTIL A CONSTRUCTION CERTIFICATE IS ISSUED BY THE PRINCIPAL CERTIFYING AUTHORITY.
- G8. THE CONTRACTOR SHALL GIVE AT LEAST FORTY-EIGHT HOURS NOTICE OF ANY INSPECTIONS OF STRUCTURAL WORK.

#### SITE PREPARATION NOTES

- SP1. BUILDER TO PROVIDE AND VERIFY SITE CLASSIFICATION PRIOR TO CONSTRUCTION.
- SP2. REMOVE ALL ORGANIC AND FOREIGN MATTER FROM SITE. GRADE ROLL AND PREPARE TO AS 3798.
- SP3. NO SIGNIFICANT SILTY MATERIALS ARE TO BE INCORPORATED WITHIN THE SOIL PROFILE SUPPORTING THE SLAB (OTHERWISE TECHNICAL ADVICE MUST BE SOUGHT AS TO THE LONG TERM INTEGRITY OF THE PLATFORM).
- SP4. IF THE SITE IS BENECHED WITH A CUT AND FILL APPLICATION THE FILL IS TO BE CERTIFIED BY A QUALIFIED PRACTISING GEOTECHNICAL ENGINEER OTHERWISE STRUCTURAL PIERS MUST BE INSTALLED IN ACCORDANCE WITH STRUCTURAL ENGINEERING DESIGN ADOPTING SUSPENDED WORKS.
- SP5. COMPACTED FILL TO AS 3798 AND AS 2870.
- SP6. GRADING OF THE NATURAL OR FILL LEVELS ARE TO FALL AWAY FROM THE SLAB FACE ENSURING NO PONDING OF RAINWATER OR EROSION MATERIAL.
- SP7. SUBSOIL DRAINS CONSTRUCTED WHERE DESIRABLE TO ALLEVIATE SUBTERRANEAN WATER AND POTENTIAL EXCESSIVE MOISTURE RETENTION WITHIN THE STRUCTURAL PLATFORM.
- SP8. ALL EXCAVATIONS FOR DRAINAGE (SEWER AND STORMWATER) RUNNING PARALLEL OR WITHIN THIS VICINITY NOT TO EXTEND BELOW A LINE DRAWN AT 45 DEGREE + 300mm TO THE HORIZONTAL FOR CLAY AND 30 DEGREES + 300mm FOR SAND OR GRANULAR MATERIAL FROM THE BOTTOM OF THE FOOTING OR EXCAVATED BASE OF PIERS.
- SP9. ALL DRAINAGE EXCAVATIONS TO BE REINSTATED WITH COMPACTED GRANULAR TYPE FILL COMPACTED TO 90% M.M.D.D.
- SP10 MINIMUM DESIGN BEARING CAPACITY FOR STRUCTURAL PLATFORMS TO BE 50kPa (U.N.O) WHERE CONCRETE SLABS ARE TO BE SUPPORTED.
- SP11. BUILDER TO ISSUE CSIRO REPORT TO HOMEOWNER. "GUIDE TO HOMEOWNERS ON FOUNDATION MAINTENANCE AND FOOTING PERFORMANCE".

#### FOOTINGS

- F1. FOOTINGS HAVE BEEN DESIGNED FOR AN ALLOWABLE BEARING CAPACITY OF 100 kPa.
- F2. FOOTINGS SHALL BE LOCATED CENTRALLY UNDER WALLS AND COLUMNS UNLESS NOTED OTHERWISE ON STRUCTURAL DRAWINGS.

F3. FOOTINGS SHALL BE CONSTRUCTED AND BACKFILLED AS SOON AS POSSIBLE FOLLOWING EXCAVATION. IF CONCRETE IS NOT PLACED IMMEDIATELY AFTER EXCAVATION OF FOOTING, PROVIDE A 50mm BLINDING LAYER OF WEAK (15MPa) CONCRETE TO THE BASE OF EXCAVATION FOUNDATION.

F4. EXCAVATE FOR FOUNDATIONS TO THE REQUIRED SIZES AND DEPTH. FOOTING FOUNDING LEVELS ARE PROVISIONAL SUBJECT TO ACTUAL SITE CONDITIONS.

#### BONDEK/CONDECK FORMWORK

- B1. UNLESS NOTED OTHERWISE BONDEK PANELS SHALL BE 1.0mm
- B2. BONDEK PANELS ARE TO BE SECURELY FIXED OR HELD DOWN TO PREVENT DISPLACEMENT DUE TO CONSTRUCTION LOADING OR WIND UPLIFT PRIOR TO CONCRETING.
- B3. FIX BONDEK PANELS TO STEELWORK BY PUDDLE WELDING, DRIVE PINS, OR OTHER SUITABLE METHODS. SLIP JOINTS SHALL BE LOCATED AS SHOWN.
- B4. FIXING TO MASONRY IS NOT NECESSARY PROVIDED CONCRETE IS PLACED IMMEDIATELY AFTER PANELS ARE LAID. TOP COURSE OF BRICKWORK IS TO BE STRAIGHT AND LEVEL. IF REQUIRED PROVIDE LAYER OF SMOOTH HARD MORTAR. SLIP JOINTS SHALL BE PROVIDED AT ALL MASONRY SUPPORTS UNLESS NOTED OTHERWISE.
- B5. BEFORE CONCRETE IS PLACED, ANY ACCUMULATED DEBRIS, GREASE OR ANY OTHER SUBSTANCE WILL NEED TO BE REMOVED TO ENSURE CLEAN BONDING SURFACE. ANY PONDED RAINWATER SHOULD BE REMOVED BY BLOWING OR SWEEPING.
- B6. FASTENING OF SIDE LAP JOINTS OF BONDEK SHALL BE IN ACCORDANCE WITH LYSAGHT PUBLICATIONS, AND GENERALLY ONE 10-24x16mm SELF-DRILLING TAPPING SCREW IS REQUIRED MID-SPAN FOR SUPPORT SPACING OF 2750mm OR GREATER. FOR POINT LOAD RATINGS OR EXPOSED SOFFITS ADDITIONAL FIXINGS MAY BE REQUIRED.
- B7. UNLESS NOTED OTHERWISE PROPPING OF THE BONDEK SHALL BE IN ACCORDANCE WITH LYSAGHT PUBLICATIONS.
- B8. PROPS SHOULD NOT BE REMOVED UNTIL CONCRETE HAS REACHED SUFFICIENT STRENGTH.

#### STRUCTURAL STEEL WORK

- S1. DESIGN CONFORMS TO AS 4100. FABRICATION AND ERECTION SHALL BE CARRIED OUT IN ACCORDANCE WITH THE PROVISIONS OF AS 4100 AND AS/NZS 5131.
- S2. UNLESS NOTED OTHERWISE, ALL STEEL SHALL CONFORM TO THE FOLLOWING AUSTRALIAN STANDARDS, IN RESPECT OF GRADE AND CONDITIONS OF SUPPLY:
- | COMPONENT                 | STANDARD              | MIN. GRADE |
|---------------------------|-----------------------|------------|
| ROLLED SECTIONS           | AS/NZS 3679.1, TS 102 | 300        |
| WELDED SECTIONS           | AS/NZS 3679.2, TS 102 | 300        |
| FLAT BARS                 | AS/NZS 1594, TS 102   | 300        |
| PLATE/FLOOR PLATE         | AS/NZS 3678, TS 102   | 250        |
| HOLLOW SECTIONS - CHS     | AS 1163, TS 102       | C350       |
| HOLLOW SECTIONS - SHS/RHS | AS 1163, TS 102       | C450       |
| PURLINS/GIRTS             | AS 1397               | G450       |
| SHEAR STUDS               | AS/NZS 1554.2         | 380        |
- TEST CERTIFICATES CONFIRMING CONFORMANCE ISSUED BY SUPPLIER SHALL BE AVAILABLE FOR INSPECTION.
- ALL STRUCTURAL STEEL SHALL BE SOURCED FROM MILLS WITH A RELEVANT JOINT ACCREDITATION SYSTEM OF AUSTRALIA AND NEW ZEALAND (JAS-ANZ) ACCREDITED THIRD-PARTY CERTIFICATION SYSTEM SUCH AS THE AUSTRALASIAN CERTIFICATION AUTHORITY FOR REINFORCING AND STRUCTURAL STEELS (ACRS) SCHEME. ALL TERNATIVE SOURCING OF THIRD-PARTY CERTIFIED STRUCTURAL STEEL SHALL BE SUBMITTED FOR REVIEW AND MUST BE APPROVED PRIOR TO THE COMMENCEMENT OF PROCUREMENT.
- S3. MEMBER SIZES SHALL BE AS SHOWN ON THE STRUCTURAL DRAWINGS.
- S4. THE CONTRACTOR SHALL PREPARE WORKSHOP (SHOP DETAIL) DRAWINGS AND SHALL SUBMIT COPIES OF EACH DRAWING FOR EXAMINATION OF CONNECTION DETAILS. FABRICATION SHALL NOT COMMENCE UNTIL THE WORKSHOP DRAWINGS HAVE BEEN APPROVED. APPROVAL WILL BE PROVIDED FOR MEMBER SIZES AND CONNECTION STRENGTHS, BUT WILL NOT EXTEND TO DIMENSIONS. ALL DIMENSIONS AND SETOUTS SHALL BE OBTAINED FROM ARCHITECTURAL DRAWINGS. SHOULD VARIATIONS BE NECESSARY TO THE STRUCTURAL DETAILS PROVIDED, THESE SHALL BE REFERRED TO THE ENGINEER FOR APPROVAL BEFORE BEING INCLUDED ON SHOP DETAIL DRAWINGS. SHOP DETAIL DRAWINGS SHALL CLEARLY INDICATE:
- DIMENSIONS OF ITEMS, IDENTIFICATION AND STEEL GRADE
  - LOCATION, TYPE AND SIZE OF WELDS/BOLTS
  - PROCEDURES NECESSARY FOR SHOP AND SITE ASSEMBLY
  - ORIENTATION OF MEMBERS
  - CAMBER
  - LOCATION OF TEMPORARY CONNECTIONS AND BRACING
  - SURFACE PREPARATION METHOD AND COATING SYSTEM
  - WELDING AND BOLTING CATEGORIES
  - SHOP DETAILS SHALL PROVIDE FOR FIXING OR SUPPORT OF ANY BUILDING

ELEMENTS SHOWN ON ARCHITECTURAL DRAWINGS

- S5. ALL WELDING SHALL BE CARRIED OUT IN ACCORDANCE WITH AS 1554.1. ALL WELDS FOR STRUCTURAL STEEL SHALL BE WELD CATEGORY GP, UNLESS NOTED OTHERWISE. ELECTRODES SHALL BE TO AS 1553, AS1858 AS 2203 OR AS 2717 AS APPROPRIATE BASED ON THE YIELD STRENGTH OF THE STEEL TO BE WELDED, AS DEFINED IN THE TABLES BELOW:

NOMINAL YIELD STRENGTH OF STEEL TO BE WELDED	TO CONFORM WITH AUSTRALIAN STANDARDS
< 500 MPa	AS/NZS 1554.1
> 500 MPa; < 690 MPa	AS/NZS 1554.4

WELD CONSUMABLES:

NOMINAL YIELD STRENGTH OF STEEL TO BE WELDED	NOMINAL TENSILE STRENGTH OF WELD METAL Fuw
ALL STEEL WITH GRADE < 300 MPa	430 MPa
ALL STEEL WITH 300-GRADE < 450 MPa	490 MPa
QUENCH AND TEMPERED STEEL < 690 MPa	760 MPa

- S6. BOLTING CATEGORIES ARE IDENTIFIED ON THE DRAWINGS IN THE FOLLOWING MANNER:
- 4.6/5 - COMMERCIAL BOLTS OF GRADE 4.6 TO AS1111, SNUG TIGHTENED TO AS/NZS 5131.
  - 8.8/5 - HIGH STRENGTH BOLTS OF GRADE 8.8 TO AS1252.1, SNUG TIGHTENED TO AS/NZS 5131.
  - 8.8/7B - HIGH STRENGTH BOLTS OF GRADE 8.8 TO AS1252.1, FULLY TENSIONED TO AS/NZS 5131.
  - 8.8/7F - HIGH STRENGTH BOLTS OF GRADE 8.8 TO AS1252.1, FULLY TENSIONED TO AS/NZS 5131. AS A FRICTION TYPE JOINT WITH FAYING SURFACES LEFT UNCOATED.

S7. UNLESS NOTED OTHERWISE, HOLES SHALL BE 2mm LARGER THAN THE NOMINAL BOLT DIAMETER, WHERE SLOTTED OR OVERSIZE HOLES ARE PERMITTED ON THE STRUCTURAL DRAWINGS, THEY SHALL COMPLY WITH AS 4100. HAND FLAME CUTTING OF BOLT HOLES IS NOT PERMITTED.

S8. UNLESS NOTED OTHERWISE, ALL BOLTS AND WASHERS SHALL BE GALVANISED TO AS/NZS 1214.

S9. FABRICATION AND ERECTION TOLERANCES SHALL COMPLY WITH AS 4100, SECTION 14. AND AS/NZS 5131, UNLESS NOTED OTHERWISE ON THE STRUCTURAL DRAWINGS.

S10. ALL BEAMS AND RAFTERS SHALL BE FABRICATED AND ERECTED WITH NATURAL CAMBER UP. PROVIDE STRUCTURAL MEMBERS IN SINGLE LENGTHS UNLESS SPLICES ARE SHOWN ON THE STRUCTURAL DRAWINGS.

S11. ALL STEELWORK SHALL BE TEMPORARILY BRACED IN A SECURE MANNER IN ORDER TO STABILISE THE STRUCTURE DURING ERECTION.

S12. FOR EACH GROUP OF ANCHOR BOLTS PROVIDE A TEMPLATE WITH SETTING OUT LINES CLEARLY MARKED FOR POSITIONING THE BOLTS WHEN CASTING IN.

S13. ALL LOAD INDICATOR WASHERS SHALL BE SHERARIZED. PROVIDE SEAL PLATES TO ALL HOLLOW SECTIONS, WITH BREATHER HOLES IF MEMBERS ARE TO BE HOT DIP GALVANISED.

S14. NON-DESTRUCTIVE WELD EXAMINATION SHALL BE AS FOLLOWS:

NON-DESTRUCTION WELD EXAMINATION (NDE) TABLE		
TYPE OF WELD AND CATEGORY	EXAMINATION METHOD	EXTENT (% OF TOTAL WELD LENGTH)
FILLET WELDS	VISUAL INSPECTION	100
BUTT WELDS GP	VISUAL INSPECTION	100
BUTT WELDS SP	VISUAL INSPECTION	100
BUTT WELDS,SP	RADIOGRAPHIC OR ULTRASONIC INSPECTION	10

S15. ALL ROD BRACING TO HAVE GRADE S (STRUCTURAL) TURNBUCKLES. THE CAPACITY OF THE TURNBUCKLE IS TO EXCEED THE ULTIMATE CAPACITY OF THE ROD.

S16. THE MINIMUM SURFACE PREPARATION AND TREATMENT OF STEELWORK SHALL BE IN ACCORDANCE WITH AS 2312, AS FOLLOWS:

LOCATION	AS2312 ATMOSPHERIC CORROSION CATEGORY	MINIMUM YEARS TO FIRST MAINTENANCE
INTERNAL	CATEGORY C1 - VERY LOW	25+
EXTERNAL	CATEGORY C3 - MEDIUM	25+

- TOP COATS TO BE IN ACCORDANCE WITH THE ARCHITECTS SPECIFICATION.
- ALL PAINT TO BE APPLIED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- ALL STEELWORK NOT ENCASED IN CONCRETE OR 'GALVANISED' SHALL HAVE THE SURFACES CLEANED BY ABRASIVE BLAST CLEANING TO CLASS 2-1/2 STANDARD IN ACCORDANCE WITH AS 1627.4.
- ALL AREAS INACCESSIBLE AFTER FABRICATION SHALL BE CLEANED AND PAINTED PRIOR TO FABRICATION.
- UNLESS OTHERWISE NOTED ALL STEEL SURFACES SHALL BE COATED WITH:
  - a) LUXAPRIME ZINC PHOSPHATE, OR APPROVED EQUIVALENT, TO A DRY FILM THICKNESS OF 75 MICRONS AND;
  - b) TOP COATS TO BE IN ACCORDANCE WITH THE ARCHITECTS SPECIFICATION.
- ALL PAINT TO BE APPLIED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS. MEMBERS BUILT INTO WALLS NOT MARKED GALVANISED

- WHERE NOTED 'GALVANISED', STEELWORK SHALL BE CHEMICALLY DESCALED AND CLEANED IN ACCORDANCE WITH AS1627.5 TO REMOVE ALL RUST, MILL SCALE, OIL, GREASE AND FOREIGN MATTER OF ALL DESCRIPTION LEAVING A UNIFORM SURFACE OF CLEAN METAL OR A TIGHTLY ADHERING COATING OF ZINC OR IRON PHOSPHATE. STEELWORK SHALL THEN BE GALVANISED IN ACCORDANCE WITH AS 1650 BY IMMERSING IN A BATH OF MOLTEN ZINC TO PRODUCE A ZINC COATING WHICH SOLIDIFIES TO A DRY FILM MASS IN ACCORDANCE WITH THE ABOVE TABLE TO AS 2312.
- ALL TRANSPORT AND ERECTION ABRASIONS, SITE WELDS, ETC. ARE TO BE REINSTATED BY THOROUGHLY WIRE BRUSHING ALL AFFECTED AREAS TO ACHIEVE A CLEAN SOUND SUBSTRATE AND PATCH COATED AS FOR PRIMING EXCEPT THAT THE MINIMUM FILM THICKNESS SHALL BE 50% GREATER THAN THE ORIGINAL PRIMER.
- GALVANISING SHALL BE TO AS 4680 (MEMBERS) OR AS 1214 (THREADED FASTENERS), AS APPROPRIATE.
- REMOVE ALL TEMPORARY CLEATS ON COMPLETION AND RESTORE THE SURFACE IN AN APPROVED MANNER.

S17. GROUT PACK UNDER ALL BASE PLATES. BEFORE GROUTING, SUPPORT BASE PLATES ON STEEL PACKERS OR WEDGES. GROUT UNDER BASE PLATES AND INTO CORED HOLES WITH CHEMICAL ANCHORS, NON-SHRINK GROUT OR APPROVED EQUIVALENT. APPLY IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

- MINIMUM TENSILE STRENGTH = 40MPa
- MINIMUM THICKNESS = 15mm
- MAXIMUM THICKNESS = 40mm

S18. UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, CONNECTION DETAILS SHALL BE IN ACCORDANCE WITH THE FOLLOWING MINIMUM REQUIREMENTS:

- ALL WELDS SHALL BE MINIMUM 6.0mm CONTINUOUS FILLET WELD (CFW) ALL ROUND.
- ALL STEEL TO STEEL BOLTED CONNECTIONS SHALL BE MINIMUM TWO M20 GRADE 8.8/5
- ALL PLATES SHALL BE MINIMUM 10mm THICK.

ALL DETAILING WHERE NOT SPECIFICALLY SHOWN SHALL BE IN ACCORDANCE WITH THE AUSTRALIAN STEEL INSTITUTE (ASII) CURRENT EDITIONS OF THE 'DESIGN CAPACITY TABLES FOR STRUCTURAL STEEL' AND THE ASI STANDARDISED STRUCTURAL CONNECTION DETAILS CONTAINED THEREIN.

THE ENDS OF HOLLOW SECTION MEMBERS SHALL BE SEALED WITH NOMINAL 6.0mm THICK PLATES AND CONTINUOUS SEAL WELDED UNLESS NOTED OTHERWISE. IF HOLLOW SECTIONS ARE TO BE HOT-DIP GALVANISED, PROVIDE VENT AND DRAINAGE HOLES.

S19. HILT HIT-RES50 V3 EPOXY OR APPROVED EQUIVALENT SHALL BE USED FOR ALL DRILL AND EPOXY CHEMICAL ANCHORS, UNLESS NOTED OTHERWISE ON THE STRUCTURAL DRAWINGS. CHEMICAL ANCHOR STUDS ARE TO BE GRADE 5.8 GALVANISED STUDS, UNLESS NOTED OTHERWISE.

- MINIMUM EMBEDMENT DEPTHS ARE AS FOLLOWS:
- M12 CHEMICAL ANCHOR - 100mm EMBEDMENT
  - M16 CHEMICAL ANCHOR - 125mm EMBEDMENT
  - M20 CHEMICAL ANCHOR - 150mm EMBEDMENT
  - M24 CHEMICAL ANCHOR - 170mm EMBEDMENT
- NOTE: ALL CHEMICAL ANCHORS ARE TO HAVE MINIMUM 30mm COVER TO REAR CONTACT FACE. CONTACT ENGINEER IF THE ABOVE LISTED EMBEDMENT DEPTHS CANNOT ACHIEVE THIS COVER.

S20. PROPRIETARY ITEMS (E.G. PURLINS, ROOF/WALL SHEETING, FERRULES, ANCHOR FIXINGS) SHALL BE INSTALLED WITH THE MANUFACTURERS SPECIFICATIONS.

S21. ANY LOADS HUNG FROM ROOF PURLINS ARE TO BE HUNG FROM WEB OF PURLIN ONLY. DO NOT HANG LOADS FROM FLANGED OR LIP OF PURLIN.

S22. WHERE ROOF SHEETING IS DIAGONALLY CUT, PROVIDE 100x75x2.5 UA COLD FORMED ANGLE TRIMMER FIXED TO ROOF BEAMS FOR SUPPORT OF SHEET EDGE, UNLESS NOTED OTHERWISE.

#### CONCRETE

C1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF AS 3600 EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS. PLACING OF CONCRETE SHALL GENERALLY BE IN ACCORDANCE WITH AS 3600 CLAUSE 19.1.

C2. CONCRETE QUALITY (U.N.O. ON OTHER STRUCTURAL DRAWINGS)

ELEMENT	STRENGTH GRADE	CEMENT TYPE	MIN. CEMENT	MAX. AGG. SIZE (mm)	MAX. MAX.
SLUMP					
PAD FOOTINGS	20	GP	250	20	80
STRIP FOOTINGS	20	GP	250	20	80
SLAB ON GROUND	20	GP	290	20	80
SUSPENDED SLABS/BEAMS	32	GP	290	20	80

C16. CURE AS SOON AS THE SURFACE OF THE CONCRETE HAS HARDENED SEVEN DAYS. CURE BY ONE OF THE FOLLOWING MEANS:

- PONDING OR CONTINUOUS SPRINKLING WITH WATER, OR
- THE USE OF WET COVERINGS SUCH AS HESSIAN OR SAND.

BLOCK WALLS	32	GP	290	20	80
COLUMNS	40 <td>GP <td>290 <td>20 <td>80</td> </td></td></td>	GP <td>290 <td>20 <td>80</td> </td></td>	290 <td>20 <td>80</td> </td>	20 <td>80</td>	80

C3. MIX DESIGNS SHALL BE SUBMITTED FOR APPROVAL. THE USE OF BLENDED CEMENTS, FLYASH AND/OR CHEMICAL ADMIXTURES WILL NOT BE PERMITTED EXCEPT WITH PRIOR APPROVAL OF THE ENGINEER IN WRITING. IF FLYASH IS USED WITH APPROVAL THEN THIS SHOULD NOT EXCEED 80kg/m<sup>3</sup>. CONCRETE AGGREGATE SHALL CONSIST OF CRUSHED RIVER GRAVEL OR BASALT IN ACCORDANCE WITH AS 2758.1. SLAG AGGREGATES WILL NOT BE PERMITTED.

C4. PROJECT ASSESSMENT SHALL BE IN ACCORDANCE WITH AS 1379. ALL ORGANISATIONS RESPONSIBLE FOR TESTING AND ASSESSMENT OF CONCRETE AND CONCRETE MATERIALS SHALL BE NATA REGISTERED. SAMPLING AND TESTING SHALL BE TO AS 1012. ACCEPTANCE CRITERIA - AVERAGE MUST EXCEED REQUIRED VALUE, NO SAMPLE TO BE LESS THAN 85% OF REQUIRED VALUE.

C5. SUPPLY OF READY MIXED CONCRETE SHALL COMPLY WITH AS 1379.

C6. CLEAR CONCRETE COVER SHALL BE IN ACCORDANCE WITH TABLE BELOW UNLESS NOTED OTHERWISE ON THE STRUCTURAL DRAWINGS.

ELEMENT	POURED AGAINST GROUND	POURED AGAINST SURFACE FORMS OR PLASTIC SHEETING	TOP
PAD AND STRIP FOOTINGS	65	50	50
SLABS ON GROUND	-	30	35
RETAINING WALLS	65	40	-
SUSPENDED FLOORS	-	25	25

C7. REINFORCEMENT SHALL GENERALLY COMPLY WITH AS 3600 CLAUSE 19.2. REINFORCEMENT IS SHOWN DIAGRAMMATICALLY AND NOT NECESSARILY IN TRUE PROJECTION ON STRUCTURAL DRAWINGS. ALL REINFORCING BARS SHALL BE GRADE D500N TO AS4671. ALL WELDED MESH SHALL BE GRADE 500L TO AS4671 AND SHALL BE SUPPLIED IN FLAT SHEETS. REINFORCEMENT SYMBOLS:

- N GRADE 500N DEFORMED BAR TO AS4671
- R GRADE 250R ROUND BAR TO AS4671
- RL RECTANGULAR MESH GRADE 500L TO AS4671
- SL SQUARE MESH GRADE 500L TO AS4671
- TM TRENCH MESH GRADE 500L TO AS 4671

THE NUMBER IMMEDIATELY FOLLOWING THE N SYMBOL IS THE BAR DIAMETER IN MILLIMETERS. (E.G. N20 IS A Ø20mm BAR GRADE 500N)

C8. ALL REINFORCEMENT SHALL BE FIRMLY SUPPORTED ON PLASTIC TIPPED STEEL, PLASTIC OR CONCRETE CHAIRS GENERALLY AT NOT GREATER THAN 900mm CENTERS BOTH WAYS. BARS ARE TO BE TIED AT ALTERNATE INTERSECTIONS WITH WIRE TIES. IN EXPOSURE CONDITIONS OF B2 OR C, USE ONLY PLASTIC CHAIRS.

C9. LAPS AND SPLICES SHALL BE MADE ONLY IN THE POSITIONS AND TO THE DIMENSIONS SHOWN ON THE STRUCTURAL DRAWINGS. FABRIC SHALL BE LAPPED TWO TRANSVERSE WIRES PLUS 50mm JOGGLES TO BARS SHALL BE 1 BAR DIAMETER OVER A LENGTH OF 12 BAR DIAMETERS. BUNDLED BARS SHALL BE TIED TOGETHER AT CENTERS OF 30 BAR DIAMETERS WITH THREE (3) WRAPS OF THE WIRE.

C10. DO NOT WELD REINFORCEMENT EXCEPT AS SHOWN ON THE DRAWINGS, OR AS APPROVED BY THE ENGINEER. IF APPROVED, SUCH WELDING SHALL COMPLY WITH AS 1554.3.

C11. BEAM DEPTHS ARE WRITTEN FIRST AND INCLUDE SLAB THICKNESS. CONCRETE SIZES DO NOT INCLUDE THICKNESS OF APPLIED TOPPING IF APPROVED, SUCH WELDING SHALL COMPLY WITH AS 1554.3.

C12. NO PENETRATIONS, HOLES OR CHASES OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE MADE IN CONCRETE ELEMENTS WITHOUT THE APPROVAL OF THE ENGINEER.

C13. FOR CHAMFERS, GROOVES, REGLETS REFER TO ARCHITECTURAL DETAILS. MAINTAIN COVER AT ALL DETAILS.

C14. PLACE CONCRETE IN LAYERS SUCH THAT EACH SUCCEEDING LAYER IS BLENDED INTO THE PRECEDING ONE BY THE COMPACTION PROCESS. THE FINISHED CONCRETE SHALL BE A DENSE HOMOGENEOUS MASS COMPLETELY FILLING THE FORMWORK AND THOROUGHLY EMBEDDING THE REINFORCEMENT.

C15. COMPACTION: USE IMMERSION AND SCREED VIBRATORS ACCOMPANIED BY HAND METHODS AS APPROPRIATE TO REMOVE AIR BUBBLES AND COMPACT THE MIX. USE FORM VIBRATORS WHERE USE OF IMMERSED VIBRATORS IS IMPRACTICABLE. ENSURE CONCRETE IS FULLY COMPACTED AND ENTRAPPED AIR REMOVED, BUT AVOID OVER VIBRATION THAT MAY CAUSE SEGREGATION. DO NOT USE VIBRATORS TO MOVE CONCRETE ALONG THE FORMS.

C16. CURE AS SOON AS THE SURFACE OF THE CONCRETE HAS HARDENED SEVEN DAYS. CURE BY ONE OF THE FOLLOWING MEANS:

- PONDING OR CONTINUOUS SPRINKLING WITH WATER, OR
- THE USE OF WET COVERINGS SUCH AS HESSIAN OR SAND.

SHEETING MUST BE PROTECTED FROM WIND AND TRAFFIC.

C17. DURING HOT OR WINDY WEATHER, USE ALIPHATIC ALCOHOL SPRAYED ON AFTER SCREEDING TO PREVENT PLASTIC SHRINKAGE OF TOP SURFACE UNTIL

CURING IS APPLIED

C18. THE SUBCONTRACTOR SHALL GIVE AT LEAST TWENTY FOUR HOURS NOTICE SO THAT INSPECTION MAY BE MADE OF THE FOLLOWING:

- MEMBRANE INSTALLED ON THE SUB-BASE (WHERE APPLICABLE)
- REINFORCEMENT AND TENDONS FIXED IN PLACE;
- CORES AND EMBEDMENT FIXED IN PLACE;

NO CONCRETE SHALL BE PLACED UNTIL INSPECTION IS COMPLETED.

C19. UNDERLAY MEMBRANE SHALL BE HIGH-IMPACT RESISTANCE POLYETHYLENE FILM TO AS 1326 GRADE IR3. LAP JOINTS SHALL HAVE AT LEAST 200mm OVERLAP, SEALED WITH PRESSURE-SENSITIVE ADHESIVE TAPE. PLACE METAL OR PLASTIC PLATES UNDER REINFORCING CHAIRS TO AVOID PUNCTURING MEMBRANE

C20. MAKE CONSTRUCTION JOINTS WHERE SHOWN ON THE STRUCTURAL DRAWINGS. DO NOT RELOCATE OR ELIMINATE A CONSTRUCTION JOINT, DO NOT MAKE A CONSTRUCTION JOINT NOT SHOWN ON THE STRUCTURAL DRAWINGS, WITHOUT PRIOR APPROVAL OF THE ENGINEER. BEFORE FRESH CONCRETE IS PLACED AT A CONSTRUCTION JOINT, ROUGHEN AND CLEAN THE HARDENED CONCRETE SURFACE OF THE JOINT, SO THAT ALL SOFT MATERIAL FOREIGN MATTER AND LANTANCE IS REMOVED. JUST PRIOR TO PLACEMENT, DAMPEN THE HARDENED CONCRETE SURFACE, WITHOUT LEAVING FREE WATER JUST BEFORE PLACING CONCRETE.

C21. CONSTRUCTION SUPPORT PROPPING SHALL BE LEFT IN PLACE AS REQUIRED IN ORDER TO AVOID OVERSTRESSING A COMPLETED FLOOR DUE TO CONSTRUCTION LOADING. ALL BACKPROPPING SHALL BE APPROVED BY THE ENGINEER.

C22. BRICKWORK OR UNREINFORCED CONCRETE MASONRY BLOCKWORK SHALL NOT BE BUILT ON SUSPENDED CONCRETE SLABS OR BEAMS UNTIL SUPPORTING FORMWORK HAS BEEN REMOVED.

C23. CONDUITS AND PIPES SHALL BE LOCATED IN THE MIDDLE OF THE SLAB OR BEAM DEPTH AND SHALL BE SPACED HORIZONTALLY AT A MINIMUM OF 3 TIMES THE CONDUIT DIAMETER. CONDUITS AND PIPES

#### UNREINFORCED STONEMASONRY

SM1. UNREINFORCED STONEMASONRY SHALL GENERALLY BE IN ACCORDANCE WITH AS3700 UNLESS NOTED OTHERWISE ON STRUCTURAL DRAWINGS.

SM2. STONE MASONRY ELEMENTS SHALL BE BUILT UP FROM RANDOMLY PLACED STONES, OF UNIFORM QUALITY AND FREE FROM DEFECTS LIABLE TO AFFECT ITS STRENGTH, APPEARANCE, AND DURABILITY UNDER THE INTENDED CONDITIONS OF USE.

SM3. STONE MASONRY SHALL BE SELECTED WITH REFERENCE TO THE ARCHITECTURAL INTENT FOR COLOUR AND PATTERNING.

SM4. CONSTRUCTION TOLERANCES FOR STONEMASONRY ELEMENTS SHALL GENERALLY COMPLY WITH TABLE 12.1 OF AS 3700. ALL LOAD BEARING STONE ELEMENTS SHALL DEViate FROM THE NOTED DIMENSIONS BY NO MORE THAN ±2.0mm. ALL NON-LOAD BEARING STONE ELEMENTS SHALL DEViate FROM THE NOTED DIMENSIONS BY NO MORE THAN ±10.0mm.

SM5. STONE SHALL BE NATURAL SANDSTONE OR GRANITE AND WILL BE CHECKED FOR DEFECTS AGAINST THE FOLLOWING CRITERIA:

- a) SANDSTONE: MINOR SHALE LAMINAE OR INTERBEDS AND MINOR CONCENTRATIONS OF CARBONACEOUS MATERIAL (TEA LEAVES) ARE NOT ACCEPTABLE IN VISIBLE FACES.
- b) GRANITE: IGNEOUS QUARRY STONE EXTRACTED IN BLOCKS CONTAINING NO MORE THAN A SMALL DEGREE OF MICROCRACKING.

SM6. MORTAR USED SHALL BE TYPE GP AND CONFORM TO AS 3972 AND WILL NOT CONTAIN ADMIXTURES UNLESS APPROVED IN WRITING. PIGMENTS USED IN THE MORTAR MIX SHALL FORM NO MORE THAN 10% OF THE CEMENT MASS BY WEIGHT.

SM7. ALL WALL TIES SHALL BE IN ACCORDANCE WITH AS 2699.1. MEDIUM DUTY TYPE A FOR CAVITIES LESS THAN 60MM AND HEAVY DUTY TYPE A WALL TIES FOR CAVITIES GREATER THAN 60mm WILL BE USED. WALL TIES SHALL BE BUILT IN AND EMBEDDED AT LEAST 50mm WITH A MINIMUM 15mm COVER FROM THE EXTERNAL FACE.

SM8. ISOLATE CONTACT SURFACES OF DISSIMILAR TYPES OF STONE WITH A MEMBRANE OR CONTROL JOINT. ALL SEDIMENTARY STONEMASONRY SHALL BE ISOLATED FROM BRICKWORK AND OTHER MASONRY TO PREVENT SALTS MOVEMENT.

SM9. WEEP HOLES FOR CAVITY OR RETAINING ELEMENTS SHALL BE FORMED BY OPEN PERPENDS OF A FULL STONE COURSE AND AT LEAST 8mm WIDTH. SPACING OF WEEP HOLES SHALL NOT EXCEED 1000mm UNLESS NOTED OTHERWISE ON STRUCTURAL DRAWINGS.

- C FOR CONSTRUCTION
- B FOR COORDINATION
- A FOR REVIEW

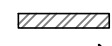
DATE	DRAWN
01.12.20	JMc
17.11.20	JMc
02.11.20	JMc



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### GENERAL ARRANGEMENT LEGEND

SCALE 1:100

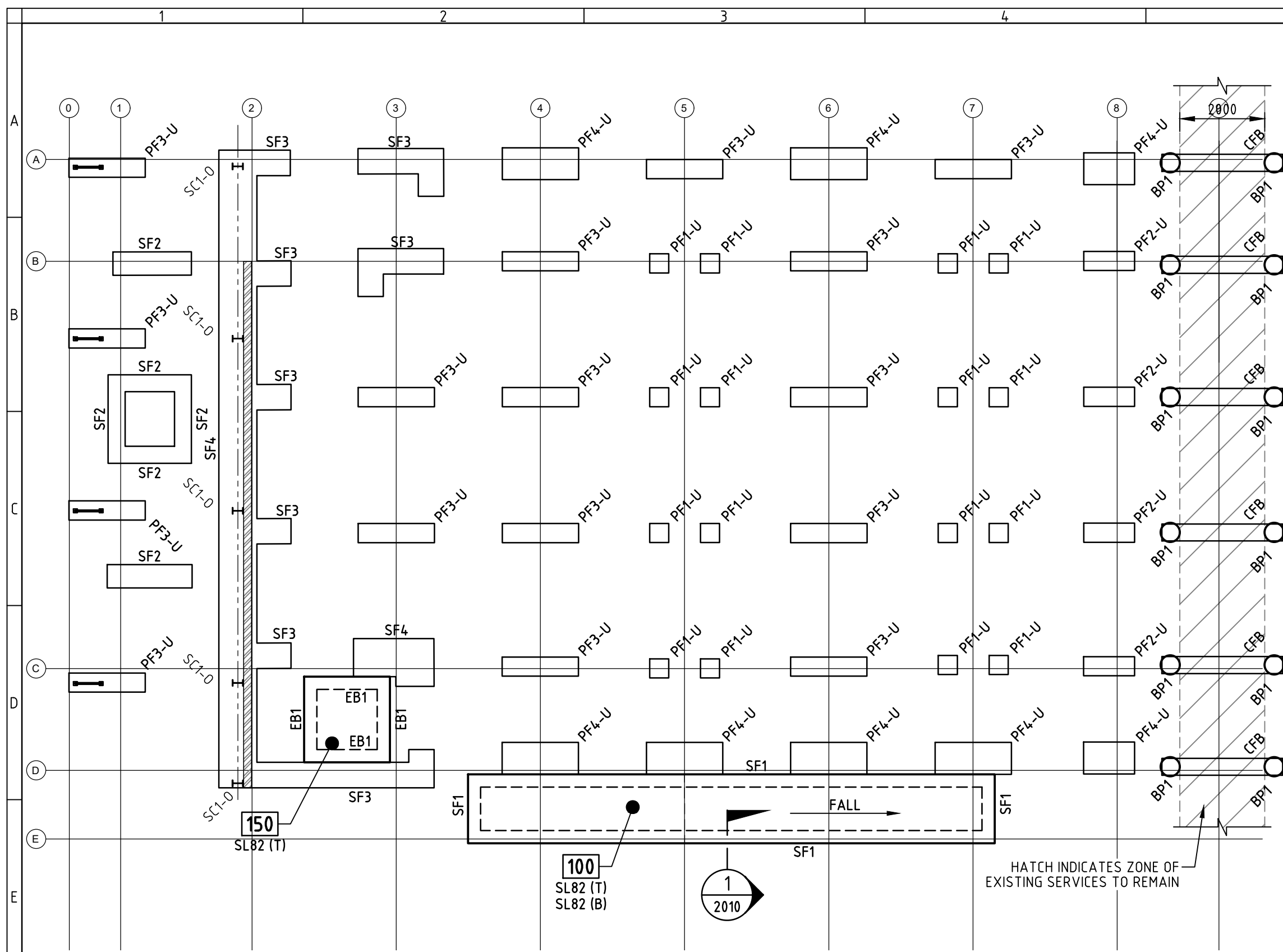
- 100** : INDICATES SLAB THICKNESS AND MESH OVERALL U.N.O
- SL82 (T)
- SC1-O : INDICATES COLUMN OVER
-  : INDICATES 190mm COREFILLED BLOCK WORK OVER
- PF1-U : INDICATES CONCRETE PAD FOOTING - REFER TO SCHEDULE

- NOTES:
- REFER TO DRAWING 1010 FOR GROUND DETAILS
  - SITE PREPARATION AND CONCRETE NOTES TO BE READ AND UNDERSTOOD PRIOR TO CONSTRUCTION.
  - ARTICULATE ALL BRICKWORK AND DRAINAGE TO NCC.

### PAD FOOTING SCHEDULE

MARK	SIZE	REINFORCEMENT	BEARING CAPACITY
BP1	ø450mm BORED PIER	MASS CONCRETE	250 kPa
CFB	400 <sup>2</sup> x 2850L mm CONCRETE FOOTING BEAM	2N12 (TOP) 2N16 (BTM) N12-300cts	-
PF1	450 <sup>2</sup> x 450mm DEEP PAD FOOTING	MASS CONCRETE	125 kPa
PF2	1200x600 x 500mm DEEP PAD FOOTING	5L12TM (TOP+BTM)	125 kPa
PF3	1800x600 x 500mm DEEP PAD FOOTING	5L12TM (TOP+BTM)	125 kPa
PF4	900x500mm DEEP PAD FOOTING	2/4L12TM (TOP+BTM)	125 kPa
SF1	300w x 500mm DEEP STRIP FOOTING	3L12TM (TOP+BTM)	125 kPa
SF2	400w x 500mm DEEP STRIP FOOTING	4L12TM (TOP+BTM)	125 kPa
SF3	600w x 500mm DEEP STRIP FOOTING	5L12TM (TOP+BTM)	125 kPa
SF4	900w x 500mm DEEP STRIP FOOTING	2/4L12TM (TOP+BTM)	125 kPa

NOTE:  
 - SELLIK CONSULTANTS TO BE NOTIFIED IF MINIMUM BEARING CAPACITY IF NOT ACHIEVED.  
 - ALL FOUNDING MATERIAL TO BE INSPECTED BY GEOTECHNICAL ENGINEER AND BEARING CAPACITY TO BE CONFIRMED.



ISSUE	DESCRIPTION	DATE	DRAWN
J	FOR CONSTRUCTION	22.02.21	JMc
I	FOR REVIEW	02.02.21	JMc
	Minor Amendments		
H	FOR CONSTRUCTION	16.12.20	JMc
	Minor Amendments		



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PROJECT TITLE  
**PROPOSED DEMOUNTABLE**  
 Sch 2.2(a)(xi)

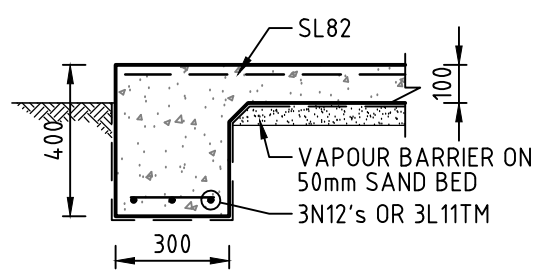
DESIGNED BY  
 CPB  
 CHECKED BY  
 DMc  
 AUTHORISED BY  
 DATE

DRAWING TITLE  
**FOOTING MARKING PLAN**  
 PROJECT LOCATION  
**BLOCK 4 SECTION 41  
 LYNEHAM ACT**

SCALE  
**AS SHOWN AT A3**

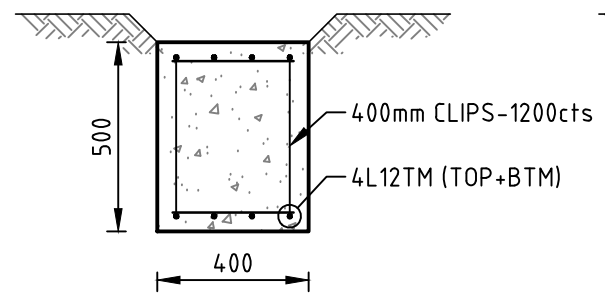
JOB NO.  
**191504**

DRAWING NO.  
**2000**



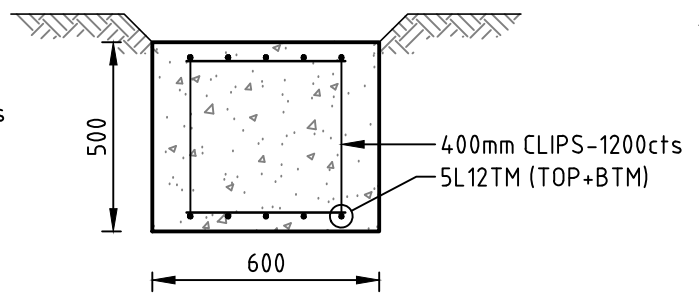
TYPICAL EDGE BEAM 'EB1'

SCALE 1:20



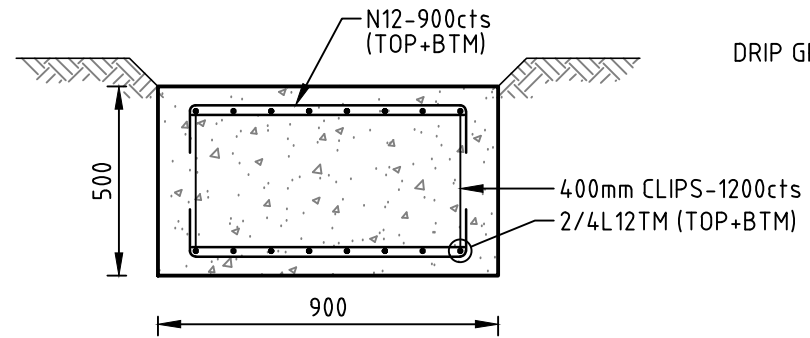
TYPICAL 'SF2'

SCALE 1:20



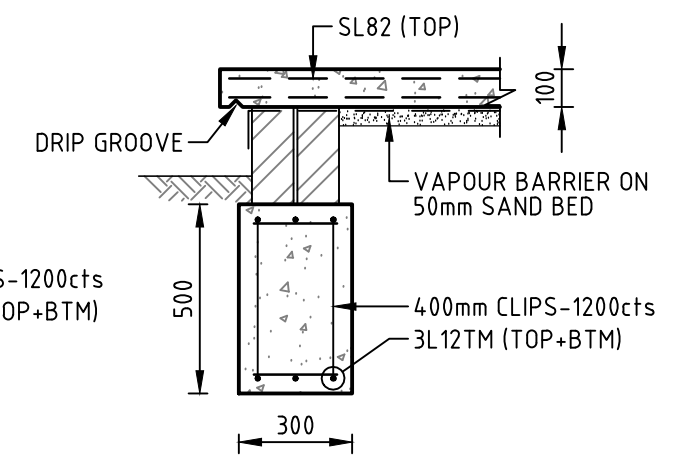
TYPICAL 'SF3'

SCALE 1:20



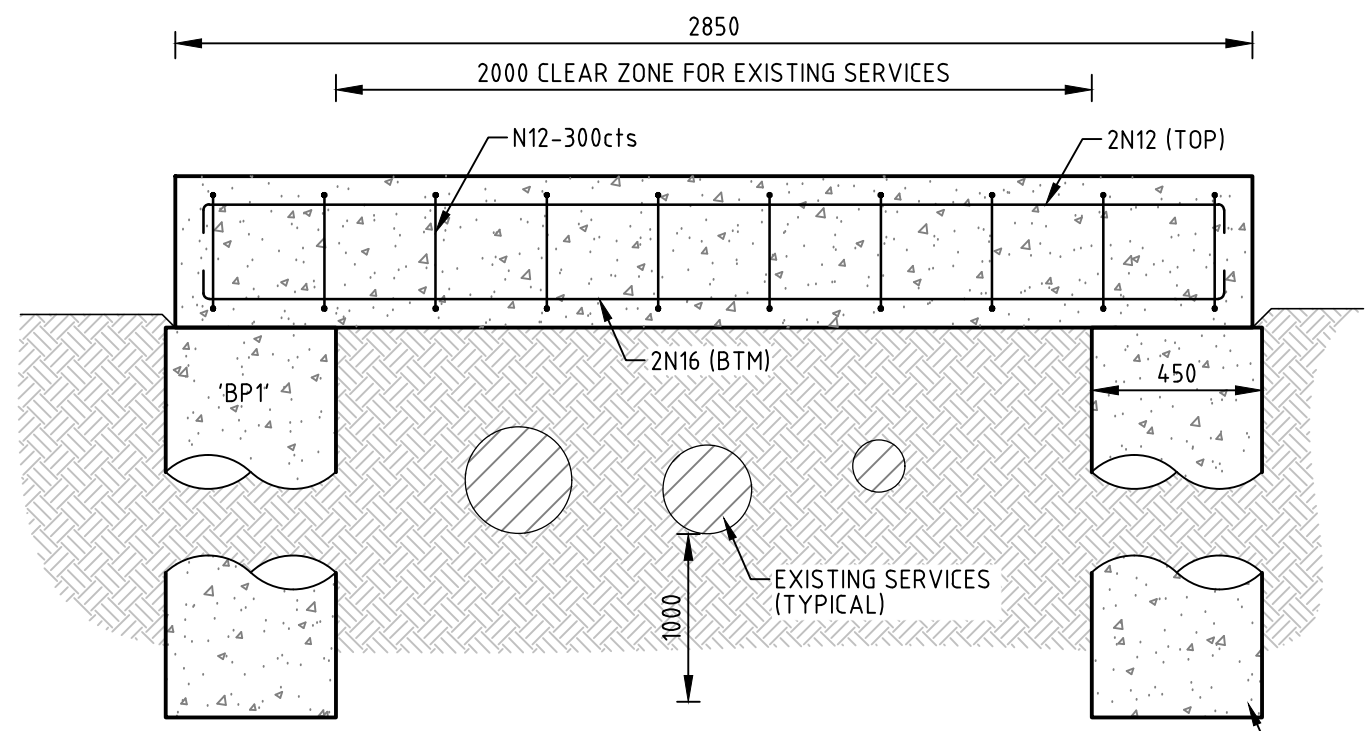
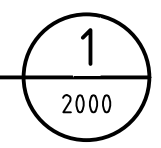
TYPICAL 'SF4'

SCALE 1:20



TYPICAL SF1 SECTION

SCALE 1:20



TYPICAL 'CFB' AT 'BP1'

SCALE 1:20

ISSUE	DESCRIPTION	DATE	DRAWN
I	FOR CONSTRUCTION	22.02.21	JMc
H	FOR REVIEW	02.02.21	JMc
	Minor Amendments		
G	FOR CONSTRUCTION	16.12.20	JMc
	Minor Amendments		



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PROJECT TITLE  
**PORPOSED  
DEMOUNTABLES**

Sch 2.2(a)(xi)

DESIGNED BY  
CPB

CHECKED BY  
DMc

AUTHORISED BY

DATE

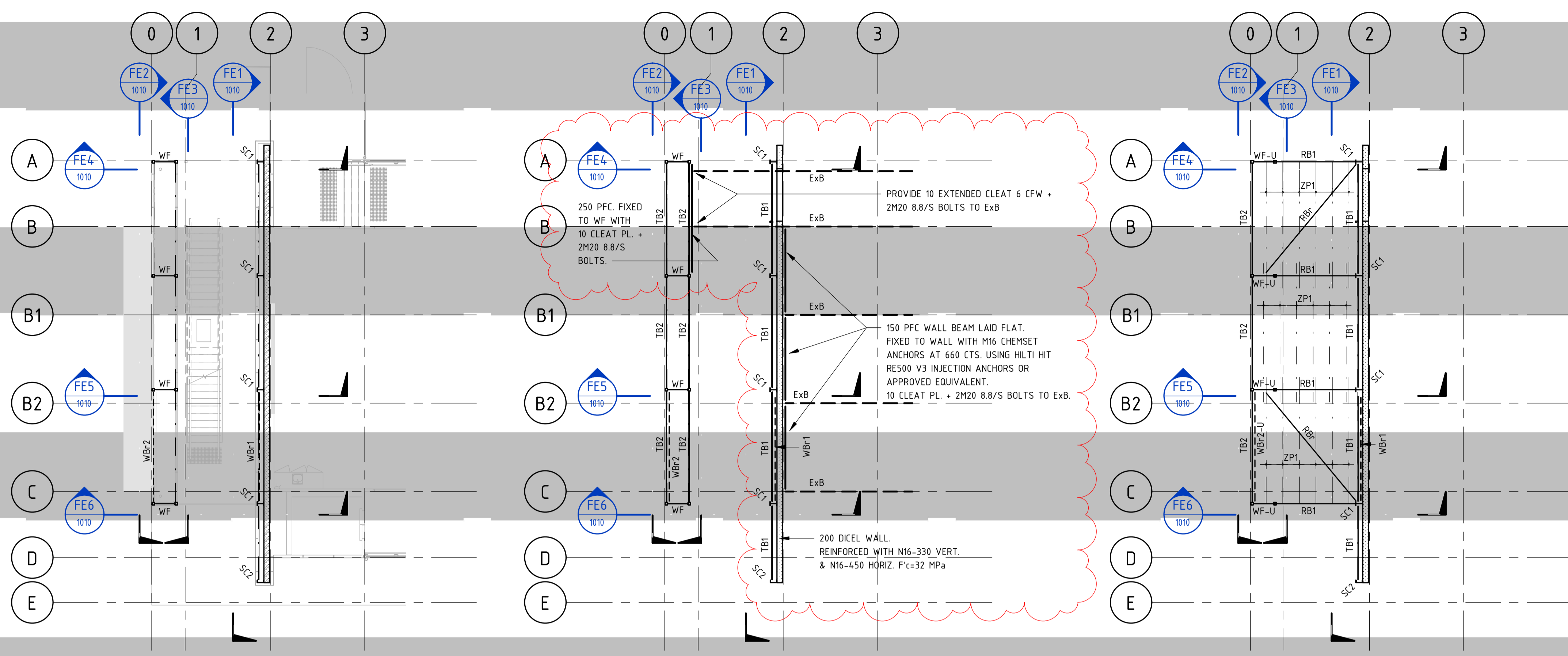
DRAWING TITLE  
**DETAILS  
SHEET 1**

PROJECT LOCATION  
**BLOCK 4 SECTION 41  
LYNEHAM ACT**

SCALE  
AS SHOWN AT A3

JOB NO.  
**191504**

DRAWING NO.  
**2010**



GENERAL ARRANGEMENT LEGEND	
SC1	: INDICATES COLUMN NUMBER.
SC1-U	: INDICATES COLUMN NUMBER UNDER.
	: INDICATES LOADBEARING WALL OR COLUMN OVER.
	: INDICATES LOADBEARING WALL OR COLUMN UNDER.
	: INDICATES LOADBEARING WALL OR COLUMN UNDER & OVER.
	: INDICATES LOCATION & AMOUNT OF UPWARD PRECAMBER IN MEMBER.
SP	: INDICATES LOCATION OF SPLICE, REFER TYPICAL DETAILS.
MS	: INDICATES LOCATION OF MOMENT SPLICE, REFER TYPICAL DETAILS.

NOTES:  
 - REFER TO DRAWING No. 0001 FOR CONSTRUCTION NOTES.  
 - REFER TO ARCHITECT'S DRAWINGS FOR LOCATION & SETOUT OF ALL SLAB EDGES, COLUMNS, WALLS etc.

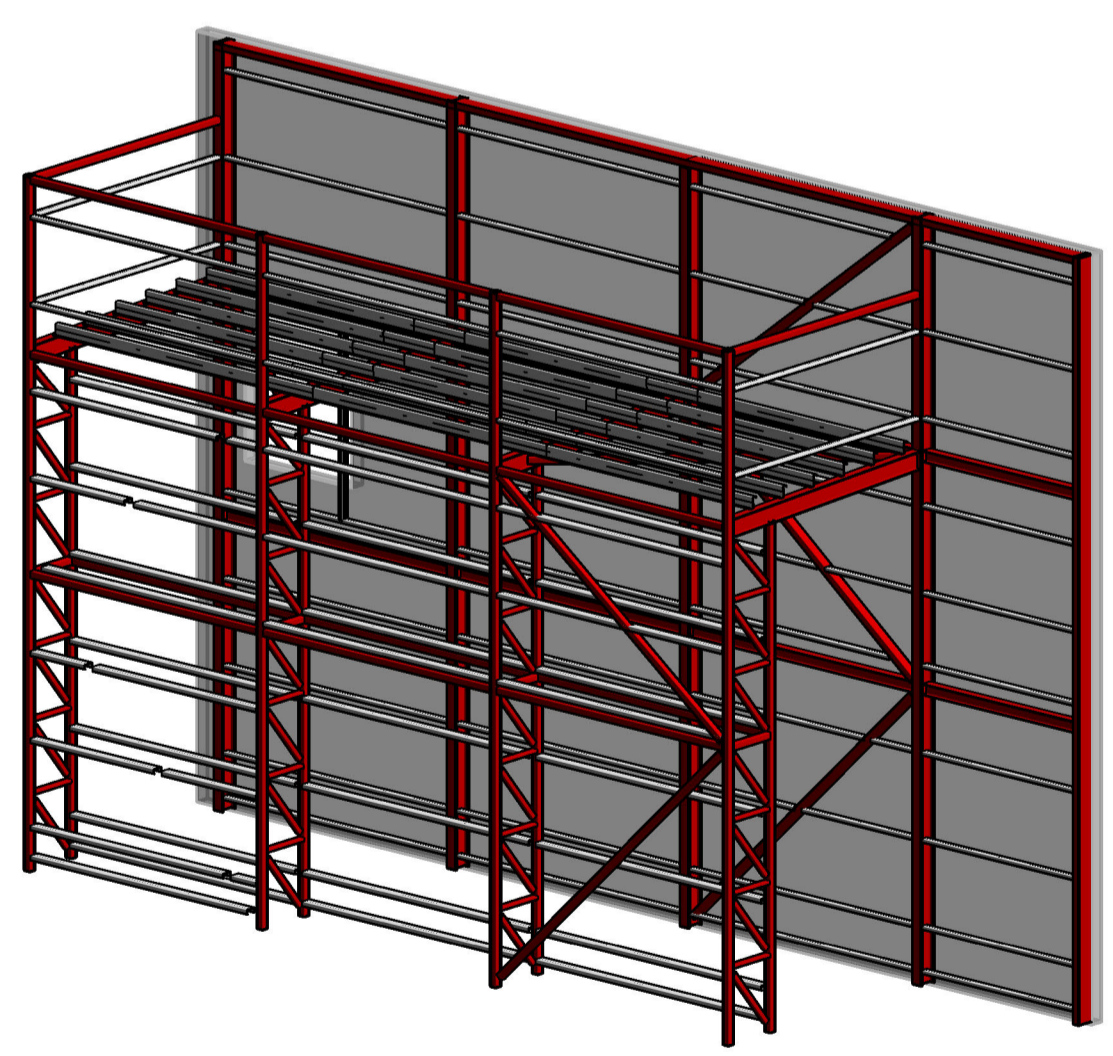
STEEL MEMBER SCHEDULE			
MARK	TYPE	SIZE	REMARKS
B1	BEAM	460UB67.1	
PB1	PARAPET BEAM	250PFC	
PB2	PARAPET BEAM	100x100x6.0 SHS	
RB1	ROOF BEAM	250UB31.4	
RBr	ROOF BRACING	100x100x6.0 SHS	
SC1	STEEL COLUMN	250UB31.4	
SC2	STEEL COLUMN	250PFC	
TB1	TIE BEAM	150UC23.4	
TB2	TIE BEAM	100x100x6.0 SHS	
WBr1	WALL BRACING	150x100x5.0 RHS	
WBr2	WALL BRACING	100x100x6.0 SHS	
WF	WALL FRAME	100x100x6.0 SHS VERT. & AT WBr2 CONNECTION + 100x50x4.0 RHS HORIZ. + 75x75x4.0 SHS DIAG.	FULLY WELDED FRAME (600 MIN. O/A WIDTH)

PURLIN & GIRTS MEMBER SCHEDULE			
MARK	TYPE	SIZE	REMARKS
CG1	GIRT	C15019	AT 1200 MAX. CTS.
CG2	GIRT	C10019	AT 1200 MAX. CTS.
ZP1	PURLIN	Z15019	AT 600 MAX. CTS. + 1 ROW OF BRIDGING

GROUND LEVEL MARKING PLAN  
SCALE 1 : 100

LEVEL 1 FRAMING MARKING PLAN  
SCALE 1 : 100

ROOF FRAMING MARKING PLAN  
SCALE 1 : 100



PERSPECTIVE 3D - BUILDING VIEW 1

Rev	Description	Date	Approved
B	ISSUE FOR CONSTRUCTION	11.11.2021	DMc
A	ISSUE FOR CONSTRUCTION	19.04.2021	DMc

Scales  
 0 10 20 30 40 50mm  
 1:1 @ A1

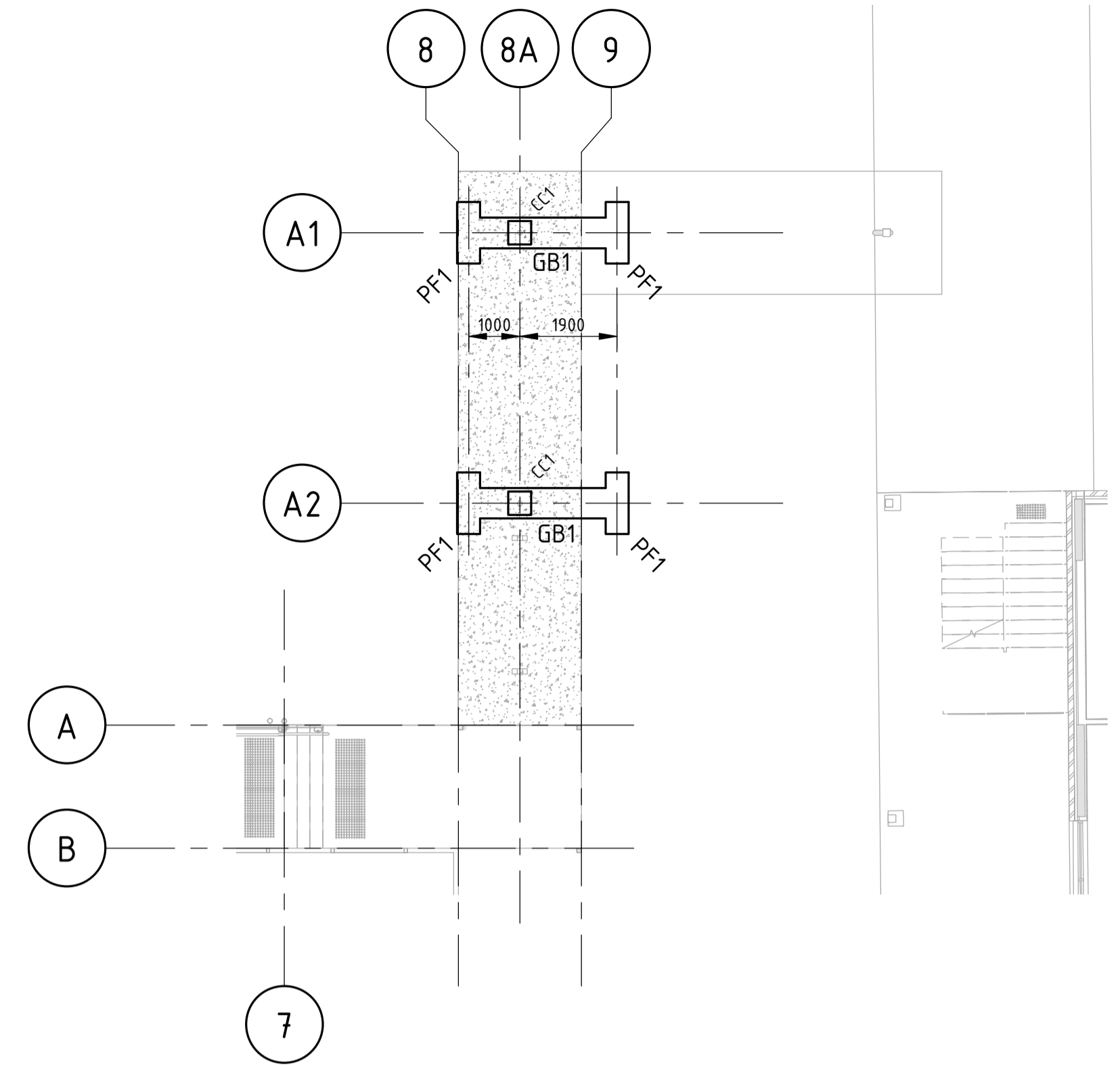
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Client  
**BRINDABELLA CHRISTIAN COLLEGE**  
 Sch 2.2(a)(xi)

Status			
FOR CONSTRUCTION			
Original Size	A1	Drawn By	Drafting Check
Date Plotted		Designed By	Design Check
Coordinate System		Approved	Approved Date
Height		Approved Signature	
Datum			

Project Name and Location					
BRINDABELLA CHRISTIAN COLLEGE 136 BRIGALOW STREET, LYNEHAM ACT 2602					
Drawing Title					
BUILDING LINK FRAMING MARKING PLANS					
Project Number	Type	Discipline	Sub-Discipline	Drw No.	Rev
191504	DWG	STR	00	1000	B



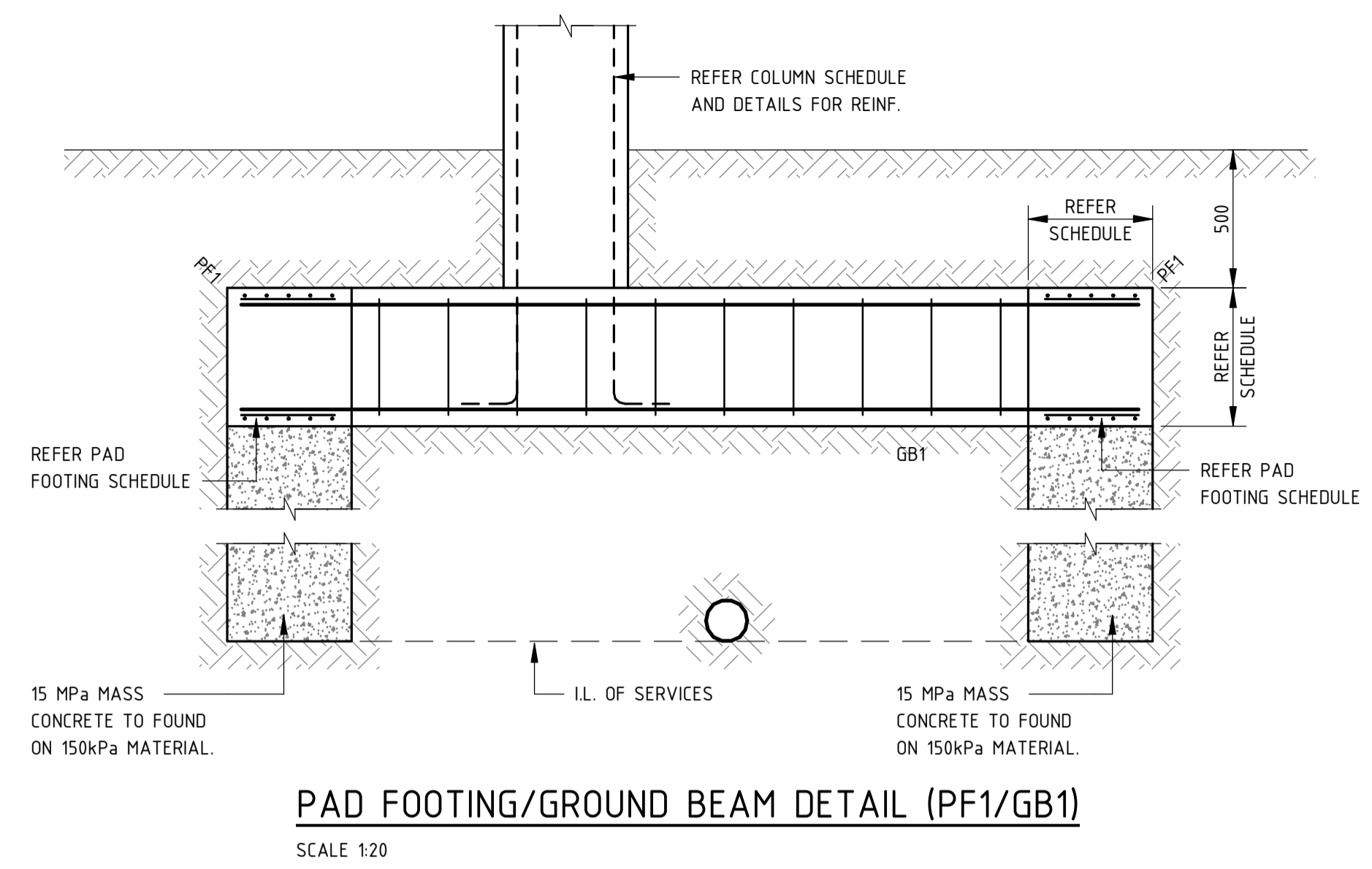
**LINK BRIDGE FOOTING MARKING PLAN**  
SCALE 1 : 100

GENERAL ARRANGEMENT LEGEND	
	: INDICATES COLUMN NUMBER.
	: INDICATES LOADBEARING WALL OR COLUMN OVER.
	: INDICATES FOOTING TYPE. REFER TO SCHEDULE FOR DETAILS.
	: INDICATES BASE OF PAD FOOTING TO BE LOWERED TO SUIT DEPTH OF ADJACENT FOOTING EXCAVATION.
NOTES:	
- REFER TO DRAWING No. 0001 FOR CONSTRUCTION NOTES.	
- SELICK CONSULTANTS TO BE ADVISED IF MINIMUM BEARING CAPACITY NOT ACHIEVED	
- ALL FOOTING MATERIAL TO BE INSPECTED BY GEOTECHNICAL ENGINEER AND BEARING PRESSURE TO BE CONFIRMED.	

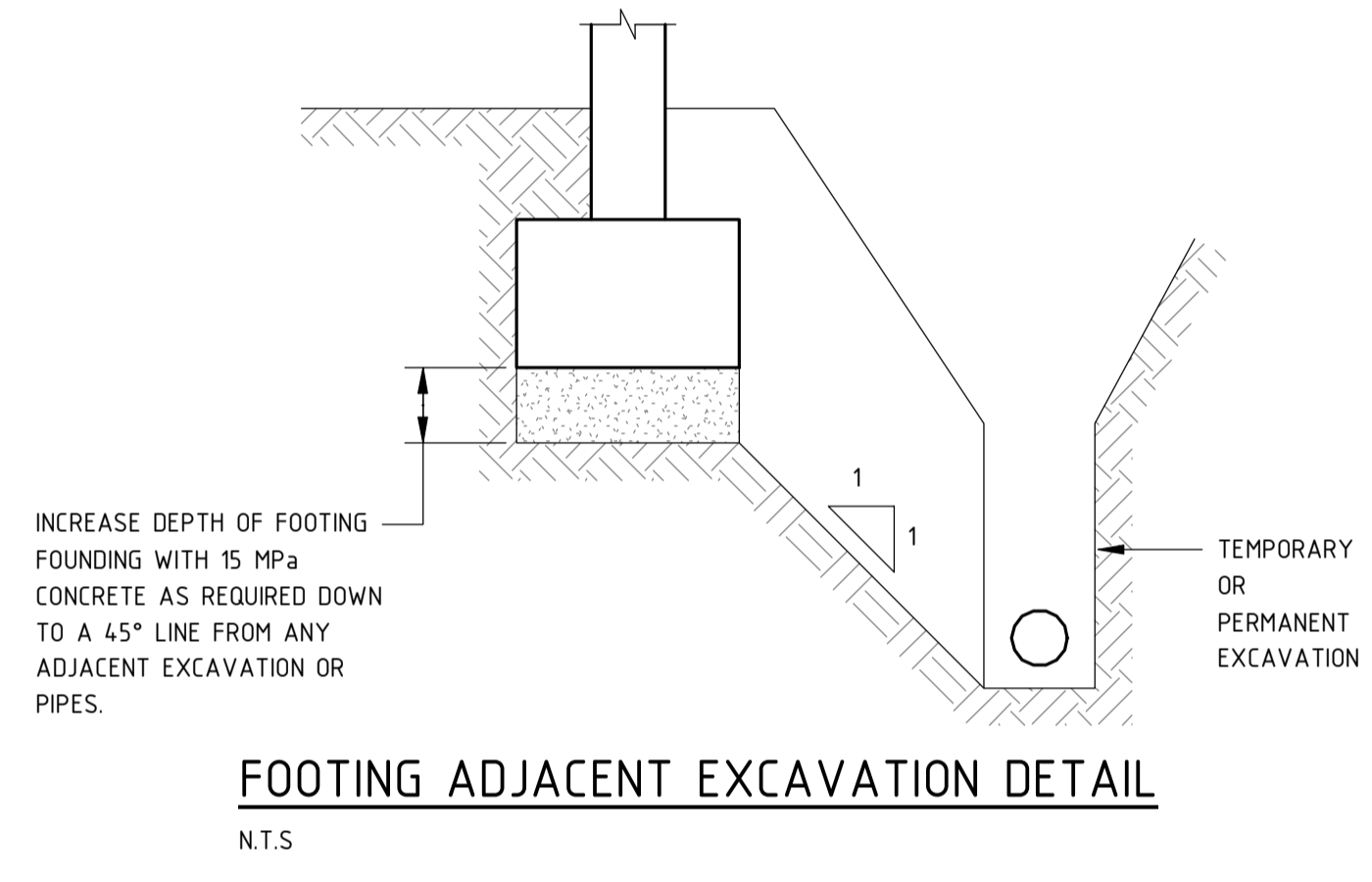
PAD FOOTING SCHEDULE					
MARK	WIDTH	LENGTH	DEPTH	REINFORCEMENT	CONC. STRENGTH
PF1	450	1200	500	5L12TM TOP & BTM.	32MPa

GROUND BEAM SCHEDULE				
MARK	WIDTH	DEPTH	REINFORCEMENT	CONC. STRENGTH
GB1	600	500	4N24 BTM. + 2N24 TOP + N12-250 OPEN TIES	32MPa

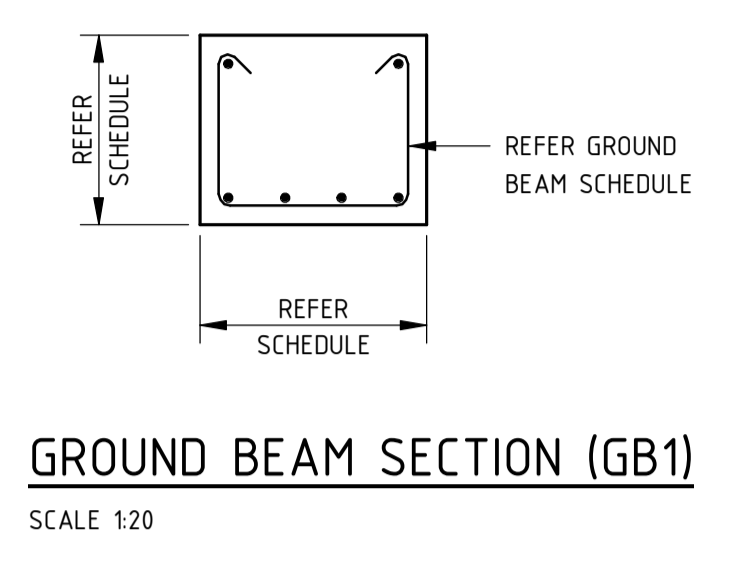
RC COLUMN SCHEDULE				
MARK	TYPE	SIZE	REMARKS	CONC. STENGTH
CC1	RC COLUMN	450x450	8N24 VERT. + N12-300 TIES	32MPa



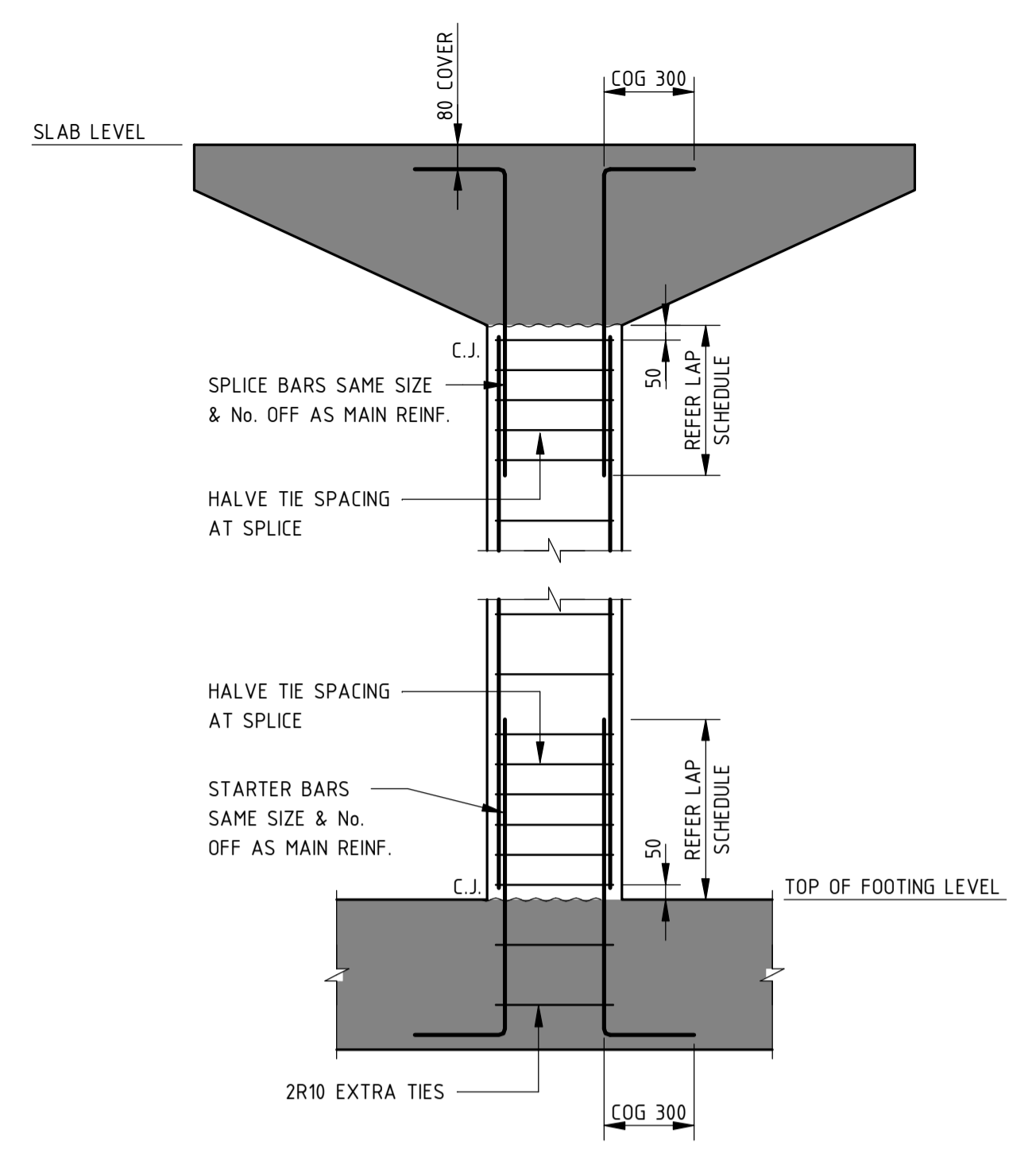
**PAD FOOTING/GROUND BEAM DETAIL (PF1/GB1)**  
SCALE 1:20



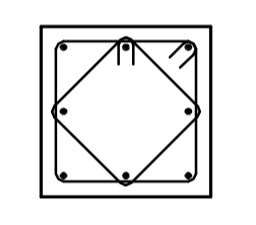
**FOOTING ADJACENT EXCAVATION DETAIL**  
N.T.S



**GROUND BEAM SECTION (GB1)**  
SCALE 1:20



**TYPICAL COLUMN CC1 DETAIL**  
SCALE 1:20



**TYPICAL COLUMN CC1 SECTION**  
SCALE 1:20

Rev	Description	Date	Approved
A	ISSUE FOR CONSTRUCTION	01.11.2021	DMc

Scales  
As indicated @ A1

North

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Client  
**BRINDABELLA CHRISTIAN COLLEGE**

Architect  
**Sch 2.2(a)(xi)**

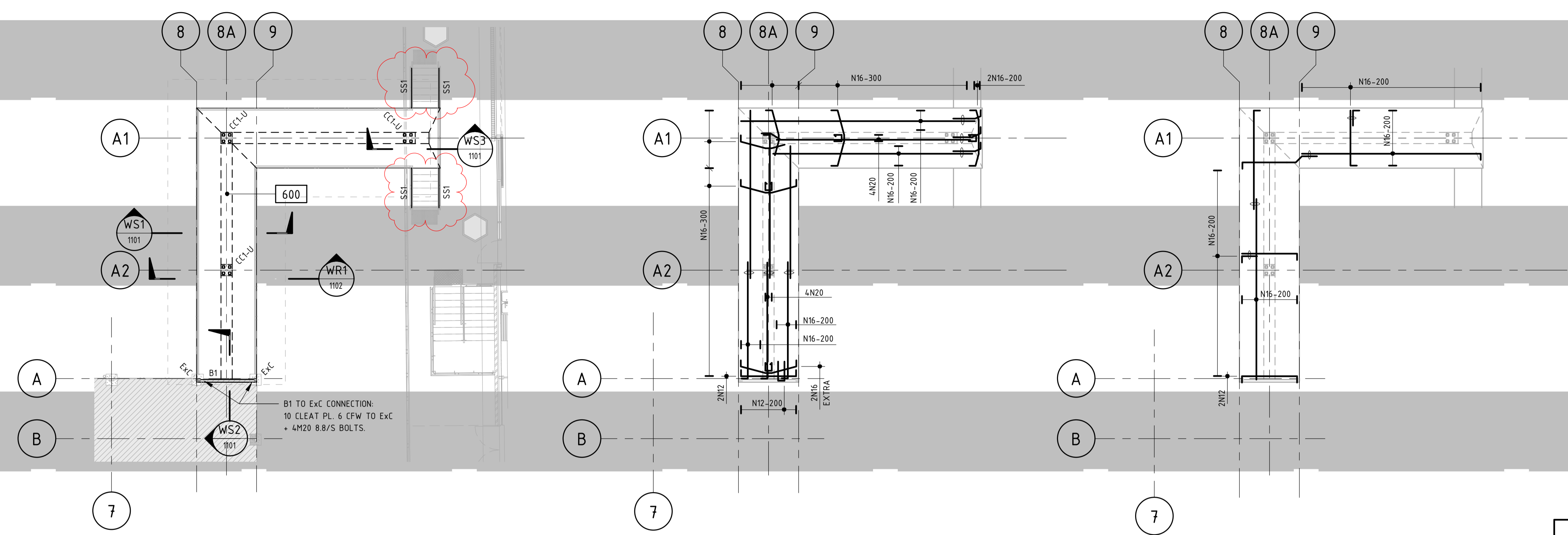
Status  
**FOR CONSTRUCTION**

Original Size	A1	Drawn By	Drafting Check
Date Plotted		Designed By	Design Check
Coordinate System		Approved	Approved Date
Height Datum		Approved Signature	

Project Name and Location  
**BRINDABELLA CHRISTIAN COLLEGE**  
136 BRIGALOW STREET, LYNEHAM ACT 2602

Drawing Title  
**LINK BRIDGE FOOTING MARKING PLAN & DETAILS**

Project Number	Type	Discipline	Sub-Discipline	Drw No.	Rev
191504	DWG	STR	00	1100	A



**LINK BRIDGE WALKWAY MARKING PLAN**  
SCALE 1 : 100

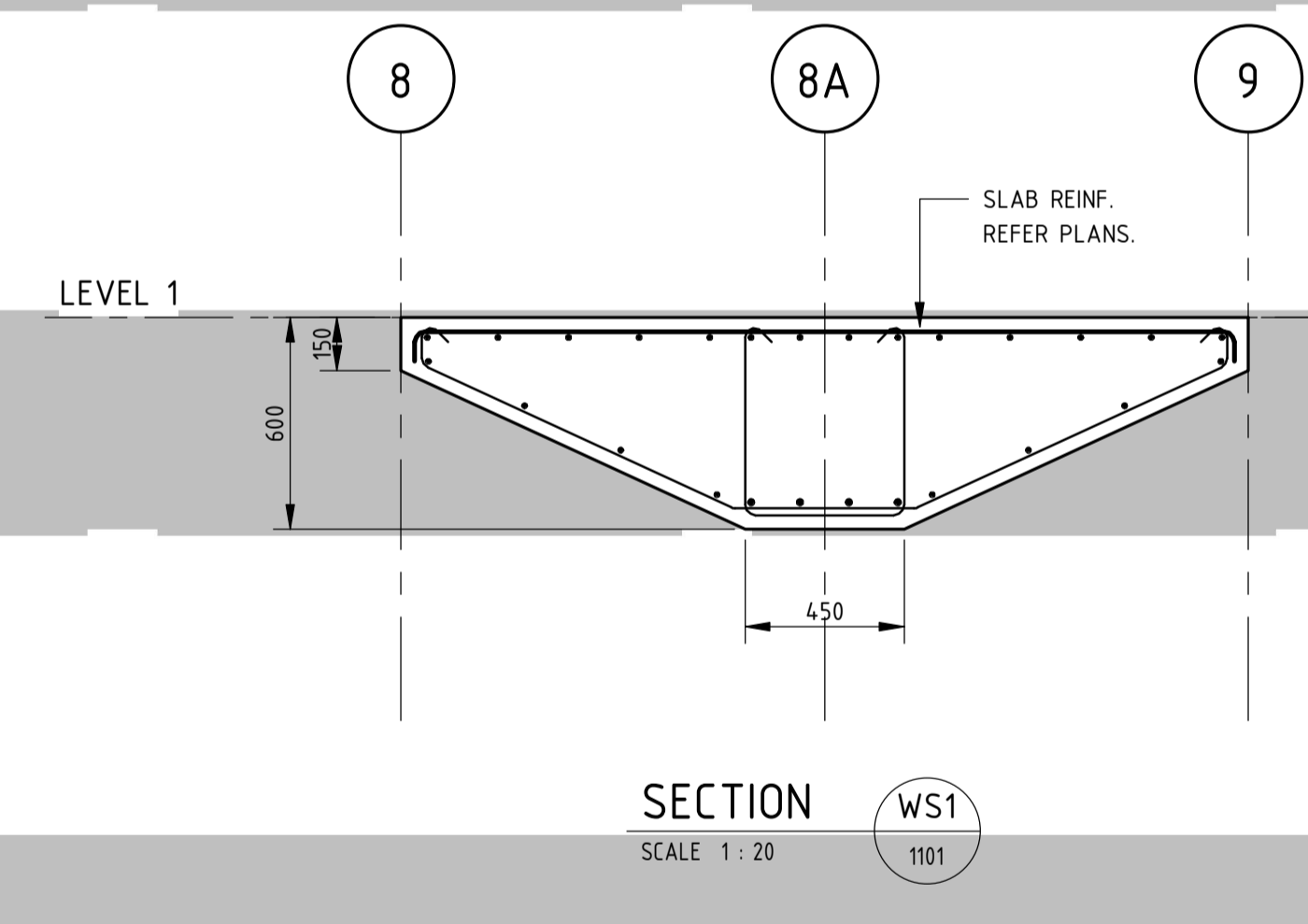
**LINK BRIDGE WALKWAY BOTTOM REINFORCEMENT PLAN**  
SCALE 1 : 100

**LINK BRIDGE WALKWAY TOP REINFORCEMENT PLAN**  
SCALE 1 : 100

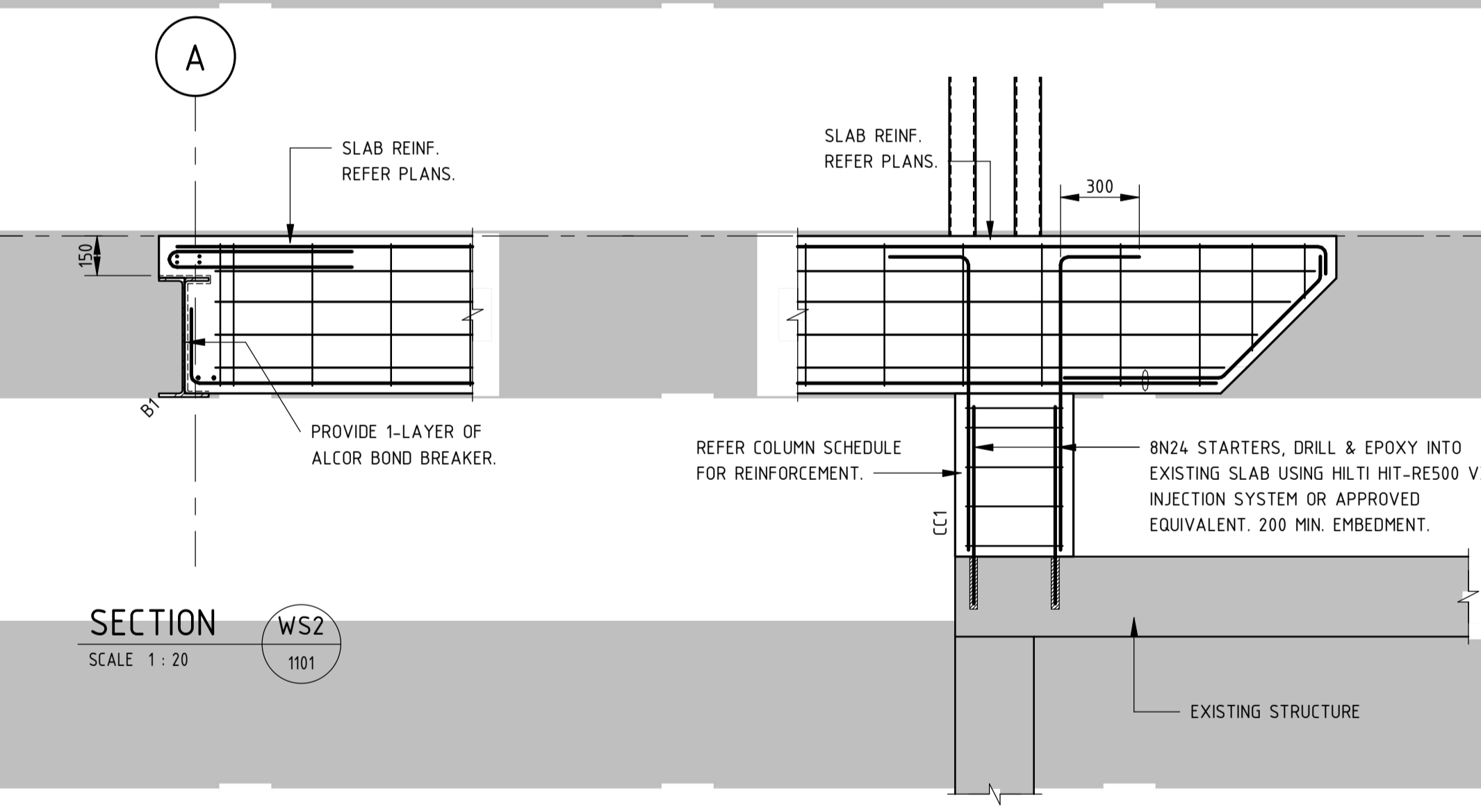
GENERAL ARRANGEMENT LEGEND	
<b>F'c = 32MPa</b>	
	: INDICATES COLUMN NUMBER.
	: INDICATES COLUMN NUMBER UNDER.
	: INDICATES LOADBEARING WALL OR COLUMN OVER.
	: INDICATES LOADBEARING WALL OR COLUMN UNDER.
	: INDICATES LOADBEARING WALL OR COLUMN UNDER & OVER.
	: INDICATES SLAB/BAND BEAM THICKNESS OVERALL U.O.
	: INDICATES STEP IN SLAB.
	: INDICATES FLOOR PENETRATION LOCATION IN SLAB.
	: INDICATES HYDRAULIC CAST-IN SLEEVE ZONE.
	: INDICATES EXTENT AND SPAN DIRECTION OF METAL FORMWORK SHEETING, WHEN ON OPPOSITE SIDES OF THE CONVENTIONALLY FORMED BANDS, SITE INSTALLERS NEED TO ENSURE BONDEK PANS ALIGN SO THE POST TENSIONING CAN REMAIN STRAIGHT AND ACHIEVE THE CORRECT LOW POINT DRAPE.
	: INDICATES SHEAR CONNECTORS, REFER TO DRAWING No. 9201 FOR DETAILS.
NOTES:	
- REFER TO DRAWING No. 0001 FOR CONSTRUCTION NOTES.	
- REFER TO ARCHITECT'S DRAWINGS FOR LOCATION & SETOUT OF ALL SLAB EDGES, COLUMNS, WALLS, HOBS, SETDOWNS etc.	

RC COLUMN SCHEDULE				
MARK	TYPE	SIZE	REMARKS	CONC. STRENGTH
CC1	RC COLUMN	450x450	8N24 VERT. + N12-300 TIES	32MPa

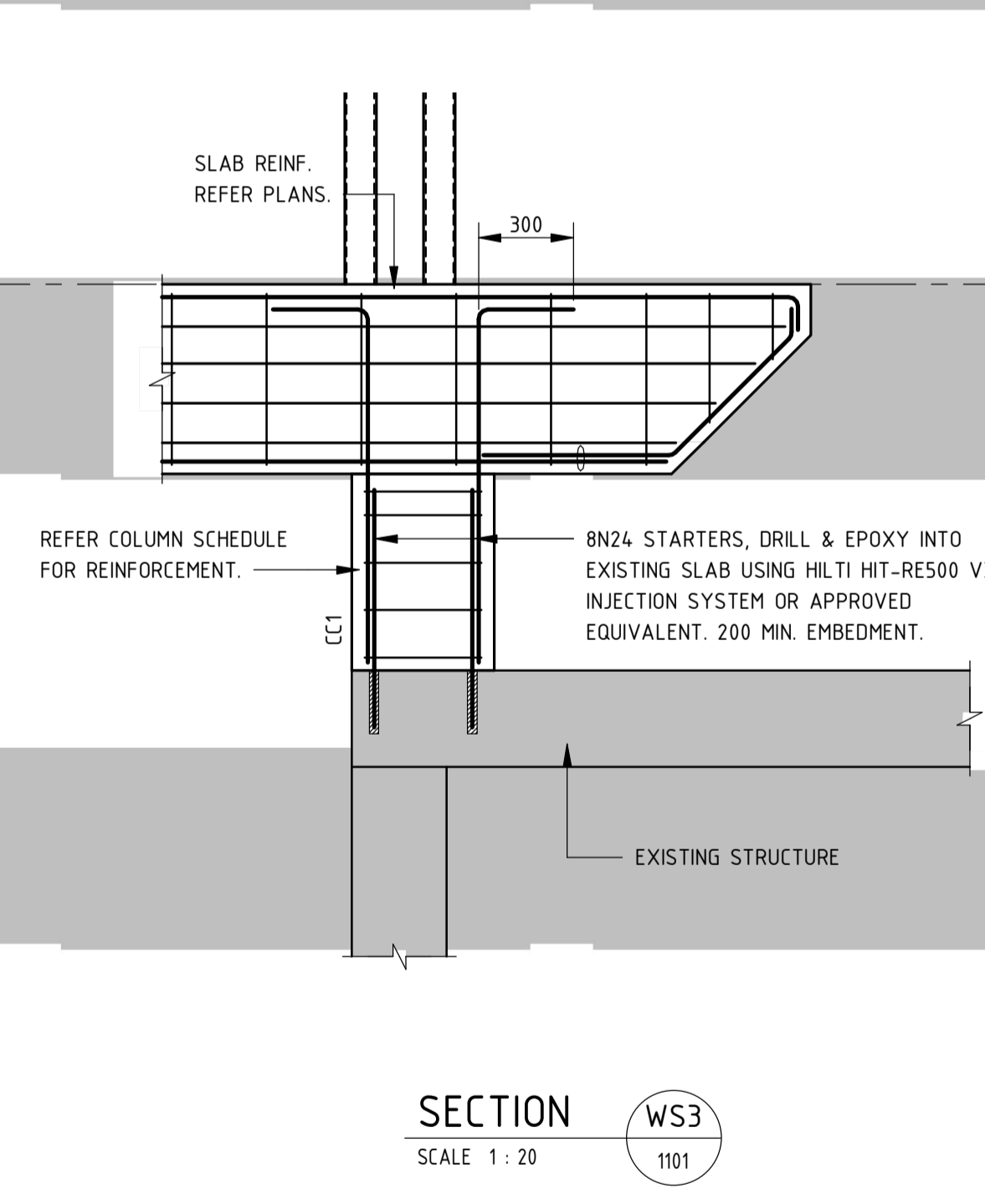
STEEL MEMBER SCHEDULE			
MARK	TYPE	SIZE	REMARKS
B1	BEAM	460UB67.1	
SS1	STAIR STRINGER	250PFC	



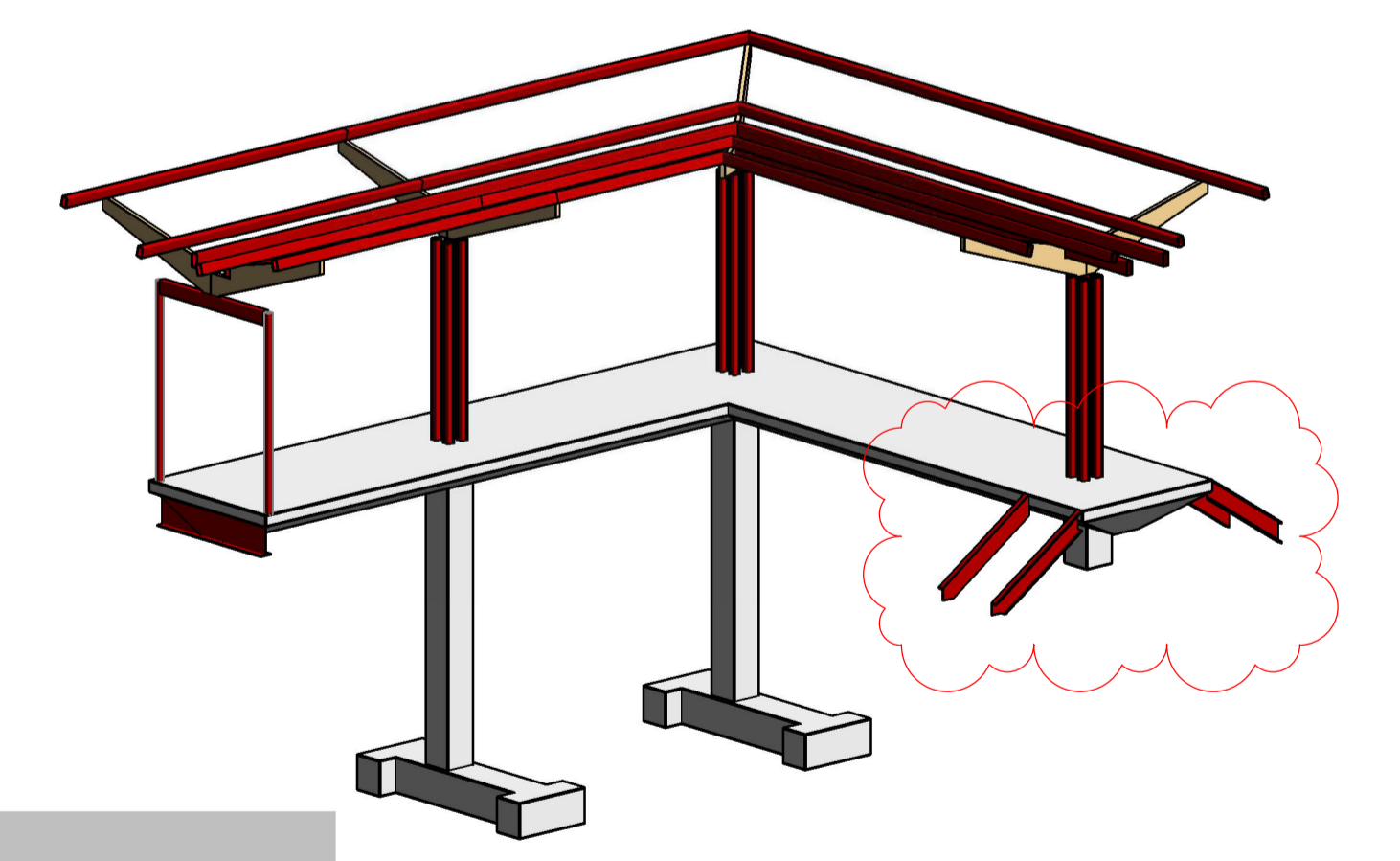
**SECTION WS1**  
SCALE 1 : 20



**SECTION WS2**  
SCALE 1 : 20



**SECTION WS3**  
SCALE 1 : 20



**PERSPECTIVE 3D - LINK BRIDGE**

Rev	Description	Date	Approved
B	ISSUE FOR CONSTRUCTION	11.01.2023	DMc
A	ISSUE FOR CONSTRUCTION	12.11.2021	DMc

Scales  
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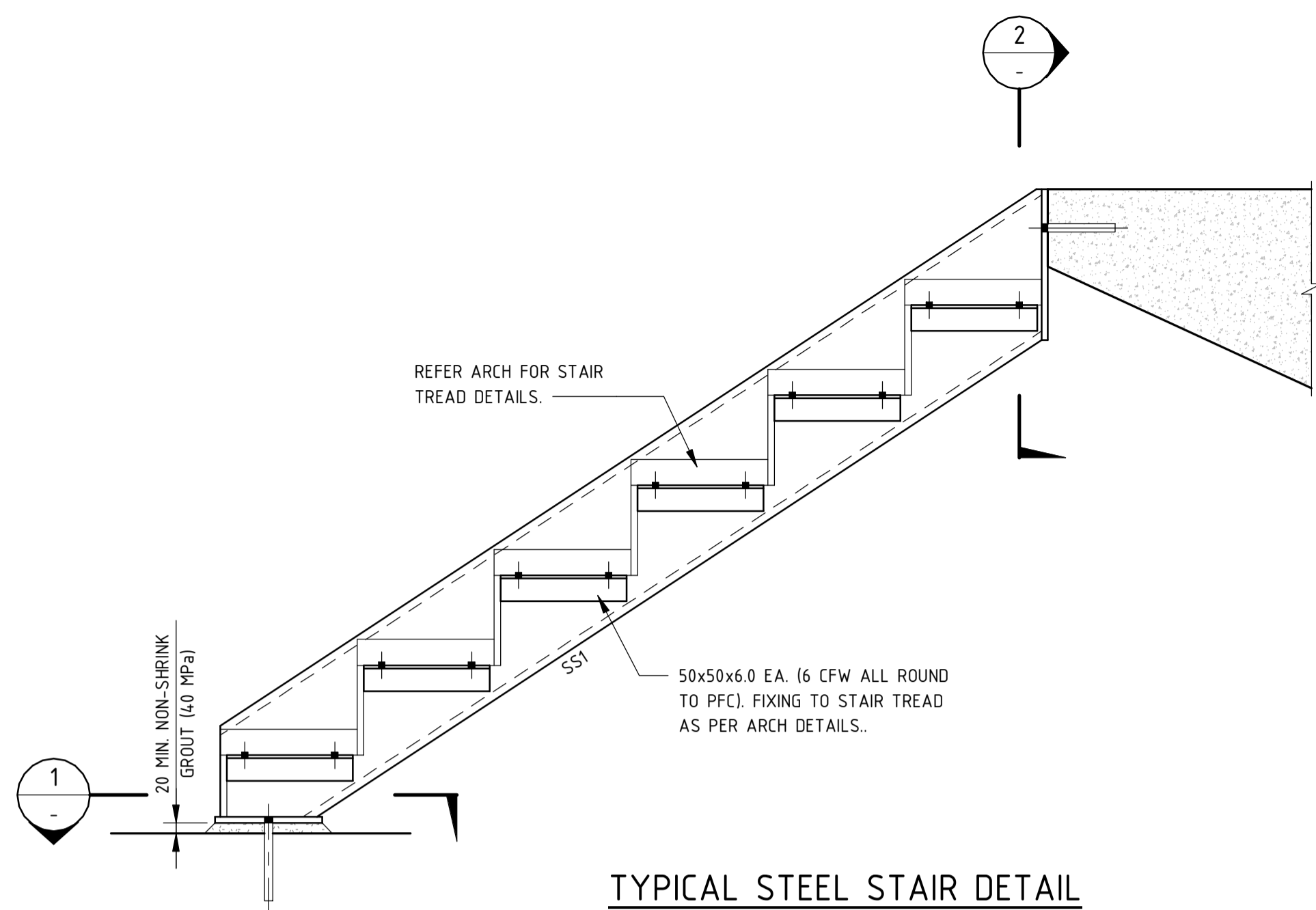


Client  
**BRINDABELLA CHRISTIAN COLLEGE**

Architect  
**Sch 2.2(a)(xi)**

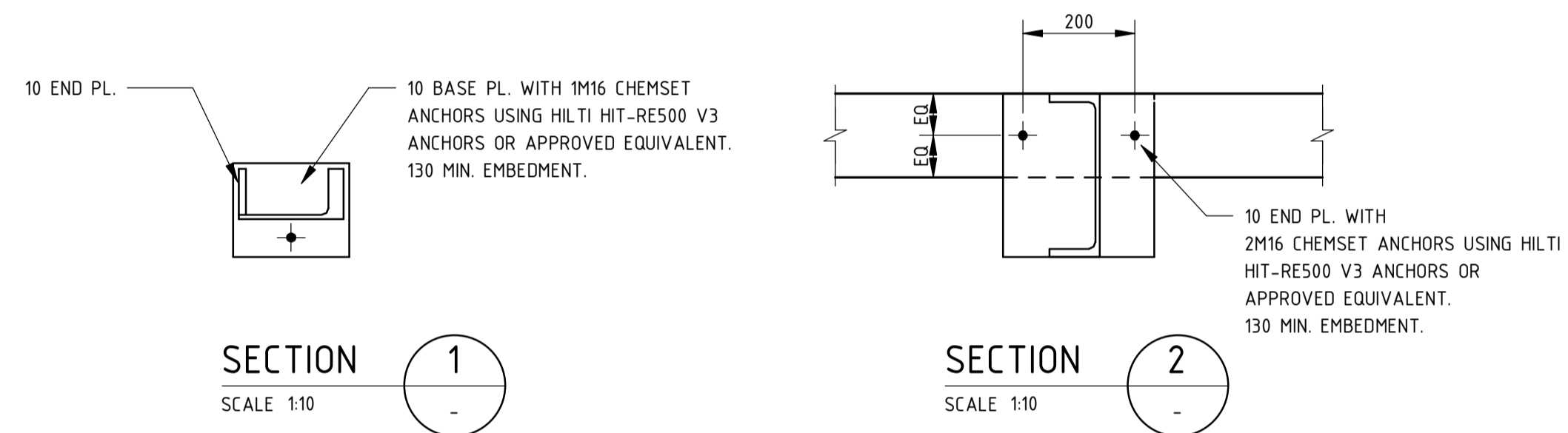
Status			
<b>FOR CONSTRUCTION</b>			
Original Size	A1	Drawn By	Drafting Check
Date Plotted		Designed By	Design Check
Coordinate System		Approved	Approved Date
Height		Approved Signature	
Datum			

Project Name and Location						
<b>BRINDABELLA CHRISTIAN COLLEGE</b>						
136 BRIGALOW STREET, LYNEHAM ACT 2602						
Drawing Title						
<b>LINK BRIDGE WALKWAY MARKING PLANS &amp; DETAILS</b>						
Project Number	Type	Discipline	Sub-Discipline	Drw No.	Rev	
191504	DWG	STR	00	1101	B	



**TYPICAL STEEL STAIR DETAIL**

SCALE 1:10



**SECTION 1**  
SCALE 1:10

**SECTION 2**  
SCALE 1:10

11.01.2023 7:42:27 AM

				Scales 1 : 10 @ A1		 www.sellickconsultants.com.au	Client <b>BRINDABELLA CHRISTIAN COLLEGE</b>		Status <b>FOR CONSTRUCTION</b>				Project Name and Location <b>BRINDABELLA CHRISTIAN COLLEGE</b> 136 BRIGALOW STREET, LYNEHAM ACT 2602			
				DO NOT SCALE OFF DRAWINGS. VERIFY ALL DIMENSIONS ON SITE PRIOR TO WORK COPYRIGHT: The contents and information contained in this document are copyright of Sellick Consultants, Use or copy of this document in whole or part without written permission constitutes an infringement of copyright.			Architect <b>Sch 2.2(a)(xi)</b>		Original Size <b>A1</b>	Drawn By	Drafting Check		Drawing Title <b>LINK BRIDGE WALKWAY STAIR DETAILS</b>			
								Date Plotted	Designed By	Design Check						
								Coordinate System	Approved	Approved Date						
								Height Datum	Approved Signature							
Rev	Description	Date	Approved					Project Number	Type	Discipline	Sub-Discipline	Drw No.	Rev			
A	ISSUE FOR CONSTRUCTION	11.01.2023	DMc					191504	DWG	STR	00	1103	A			

ISSUE	AMENDMENT	BY	DATE
A	DESIGN PRELIMINARY	TT	18.11.19
B	REVISED DECKING & LIFT	TT	27.11.19
C	ADDED ELECTRICAL PLAN & REVISED DESIGN	TT	16.03.20
D	ADDED PARAPET WALLS	TT	02.04.20
E	REREVISED DP	TT	12.05.20
F	REVISED FFL	TT	29.05.20
G	REMOVED AMINITIES & OFFICE	TT	29.05.2020
H	ADDED RAMP, LANDING & STAIRS BY CLIENT	TT	22.07.2020
I	ADDED W1 UPSTAIRS & DELETED HANDRAILS	TT	29.07.2020
J	ADDED NOTES	TT	30.07.2020
K	REVISED GFL TO 571 250 & FLOORING THICKNESS	TT	06.08.2020
L	REDUCED THE ROOF'S RL TO SUIT MAX 4100	TT	06.08.2020
M	REVISED ELECTRIC PLAN	TT	10.09.2020
N	ADDED/AMENDED DETAILS	KM	24.09.2020
P	UPDATED RLs	KM	08.10.2020
Q	UPDATED DOOR/WINDOW LOCATIONS;UPDATED TYPICAL DETAILS	KM	13.10.2020
R	AMENDED DETAILS/DOOR SCHEDULE	KM	19.10.2020
S	AMENDED DETAILS	KM	26.10.2020
T	AS CLOUDED	KM	09.11.2020



Sch 2.2(a)(ii)

# Sch 2.2(a)(xi)

CLIENT APPROVAL

SIGNATURE

NAME .....

DATE .....

PROJECT

**Sch 2.2(a)(xi)**

**Brindabella College**

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DATE 24.09.20

TITLE **COVER PAGE**

DRAWN BY TT

CHECKED BY DT

DRAWING NUMBER MS-200677-000

BUILDING NUMBER

SCALE:

QUOTATION NUMBER 200677

REV T SHEET A3

## PRELIMINARY DRAWING

T	AS CLOUDED	KM	09.11.2020
S	AMENDED DETAILS	KM	26.10.2020
R	AMENDED DETAILS/DOOR SCHEDULE	KM	19.10.2020
Q	UPDATED DOOR/WINDOW LOCATIONS;UPDATED TYPICAL DETAILS	KM	13.10.2020
P	UPDATED RLs	KM	08.10.2020
N	ADDED/AMENDED DETAILS	KM	24.09.2020
M	REVISED ELECTRIC PLAN	TT	10.09.2020
L	REDUCED THE ROOF'S RL TO SUIT MAX 4100	TT	06.08.2020
ISSUE	AMENDMENT	BY	DATE





Sch 2.2(a)(ii)

Sch 2.2(a)(xi)

CLIENT APPROVAL  
 \_\_\_\_\_

SIGNATURE  
 NAME .....

DATE .....

PROJECT  
 Sch 2.2(a)(xi)  
 Brindabella College

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\\TERMSERVER\COMMON\PROJECTS\PROJECTS - ACTIVE\200677 - Vamos Group\2.Construction Folder\3.Drawings & Design\MBS DWG'S. design team only\8. Revit\USERS\200677 - Vamos Group [2] - MMcGuirk\GQFNY.rvt

DATE  
 24.09.20

DRAWN BY  
 TT

CHECKED BY  
 DT

SCALE:

TITLE  
 PERSPECTIVE

DRAWING NUMBER  
 MS-200677- 001

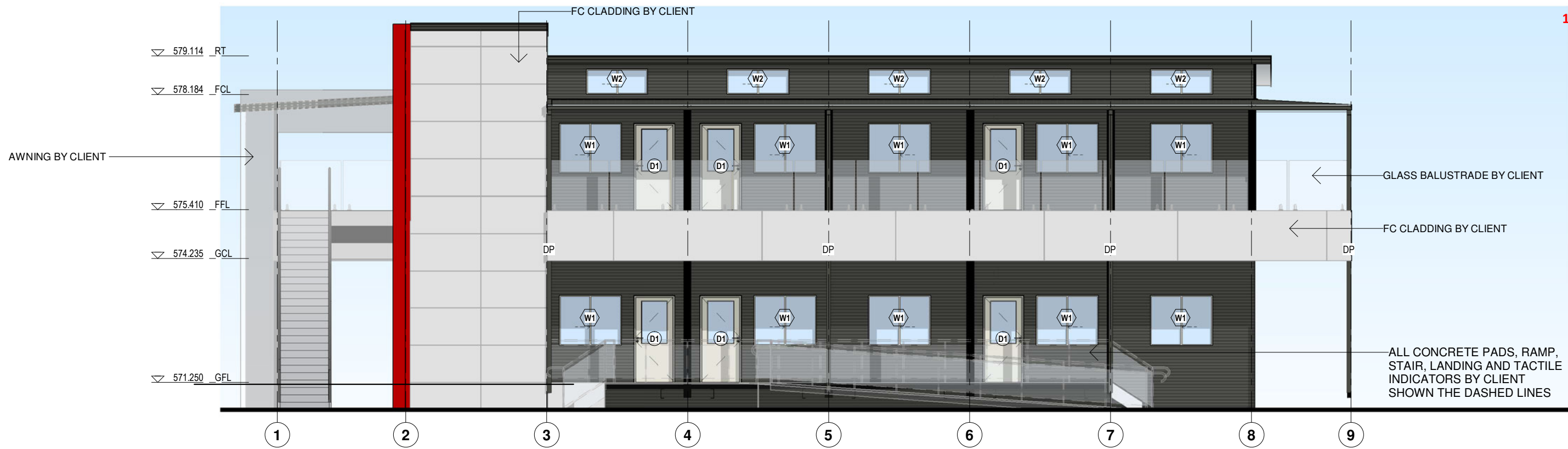
BUILDING NUMBER

QUOTATION NUMBER 200677

REV T SHEET A3

PRELIMINARY DRAWING

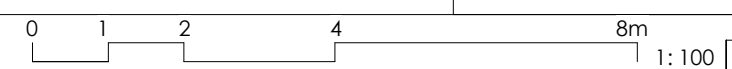
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S	AMENDED DETAILS	KM	26.10.2020
R	AMENDED DETAILS/DOOR SCHEDULE	KM	19.10.2020
Q	UPDATED DOOR/WINDOW LOCATIONS;UPDATED TYPICAL DETAILS	KM	13.10.2020
P	UPDATED RLs	KM	08.10.2020
N	ADDED/AMENDED DETAILS	KM	24.09.2020
J	ADDED NOTES	TT	30.07.2020
F	REVISED FFL	TT	29.05.20
ISSUE	AMENDMENT	BY	DATE



**1** ELEVATION 1  
1 : 100



**2** ELEVATION 2  
1 : 100



Sch 2.2(a)(xi)

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NAME .....  
DATE .....

PROJECT  
Sch 2.2(a)(xi)  
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\\TERMSERVER\COMMON\PROJECTS\PROJECTS - ACTIVE\200677 - Vamos Group\2.Construction Folder\3.Drawings & Design\MBS DWG'S. design team only\8. Revit\USERS\200677 - Vamos Group [2] - MMcGuirk\GQFNY.nt

DATE 24.09.20  
DRAWN BY TT  
CHECKED BY DT  
SCALE: 1 : 100  
TITLE EXTERNAL ELEVATIONS  
DRAWING NUMBER MS-200677- 120  
BUILDING NUMBER  
QUOTATION NUMBER 200677  
REV T SHEET A3

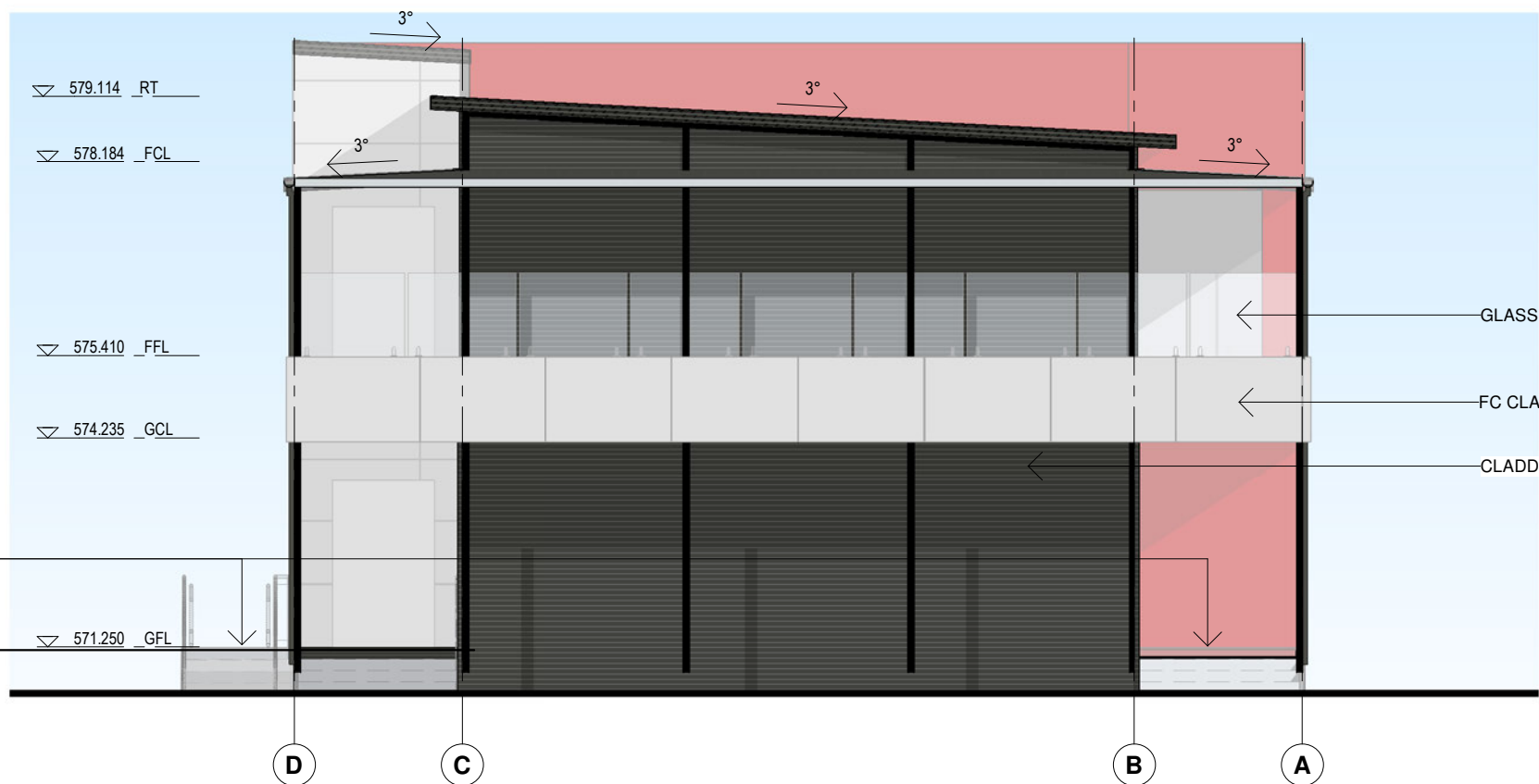
**PRELIMINARY DRAWING**

ISSUE	AMENDMENT	BY	DATE
T	AS CLOUDED	KM	09.11.2020
S	AMENDED DETAILS	KM	26.10.2020
R	AMENDED DETAILS/DOOR SCHEDULE	KM	19.10.2020
Q	UPDATED DOOR/WINDOW LOCATIONS;UPDATED TYPICAL DETAILS	KM	13.10.2020
P	UPDATED RLs	KM	08.10.2020
N	ADDED/AMENDED DETAILS	KM	24.09.2020
L	REDUCED THE ROOF'S RL TO SUIT MAX 4100	TT	06.08.2020
K	REVISED GFL TO 571.250 & FLOORING THICKNESS	TT	06.08.2020

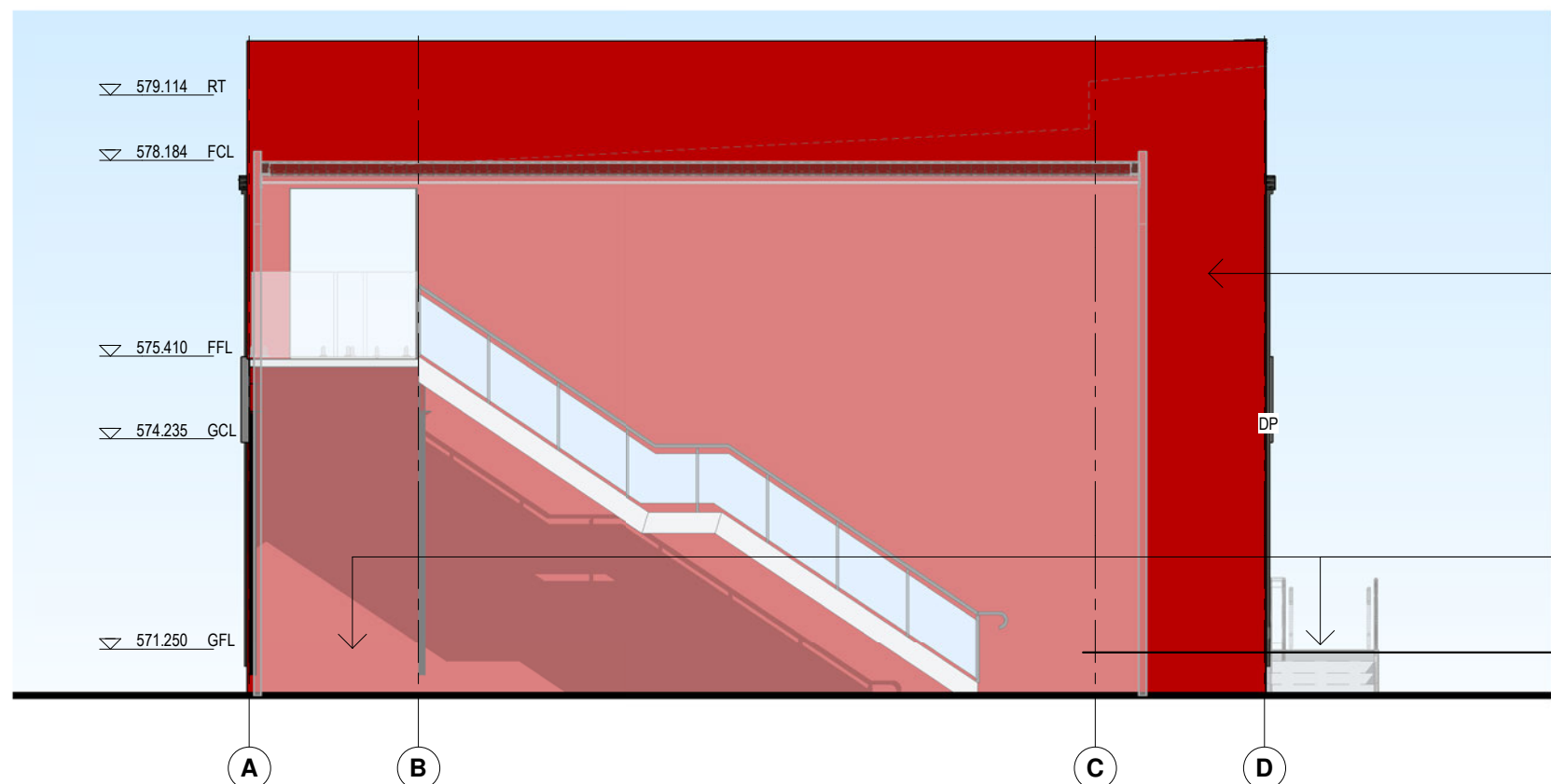
Sch 2.2(a)(ii)

STAIRS & TACTILES BY CLIENT

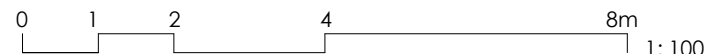
ALL CONCRETE PADS, RAMP, STAIR, LANDING AND TACTILE INDICATORS BY CLIENT SHOWN THE DASHED LINES



**1** ELEVATION 3  
1 : 100



**2** ELEVATION 4  
1 : 100



Sch 2.2(a)(ii)

Sch 2.2(a)(xi)

CLIENT APPROVAL  
  
SIGNATURE  
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PROJECT  
**Sch 2.2(a)(xi)**  
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DATE  
24.09.20  
DRAWN BY  
TT  
CHECKED BY  
DT  
SCALE:  
1 : 100

TITLE  
**EXTERNAL ELEVATIONS**  
DRAWING NUMBER  
MS-200677- 121  
BUILDING NUMBER  
QUOTATION NUMBER  
200677  
REV T SHEET A3

**PRELIMINARY DRAWING**

T	AS CLOUDED	KM	09.11.2020
S	AMENDED DETAILS	KM	26.10.2020
R	AMENDED DETAILS/DOOR SCHEDULE	KM	19.10.2020
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L	REDUCED THE ROOF'S RL TO SUIT MAX 4100	TT	06.08.2020
K	REVISED GFL TO 571.250 & FLOORING THICKNESS	TT	06.08.2020
ISSUE	AMENDMENT	BY	DATE



LOCATION PLAN

**Brindabella Christian College  
Block 04 Section 41 Lyneham ACT  
FIRE ENGINEERING REPORT**  
8158 Issue 02 Revision 00 17-Nov-20

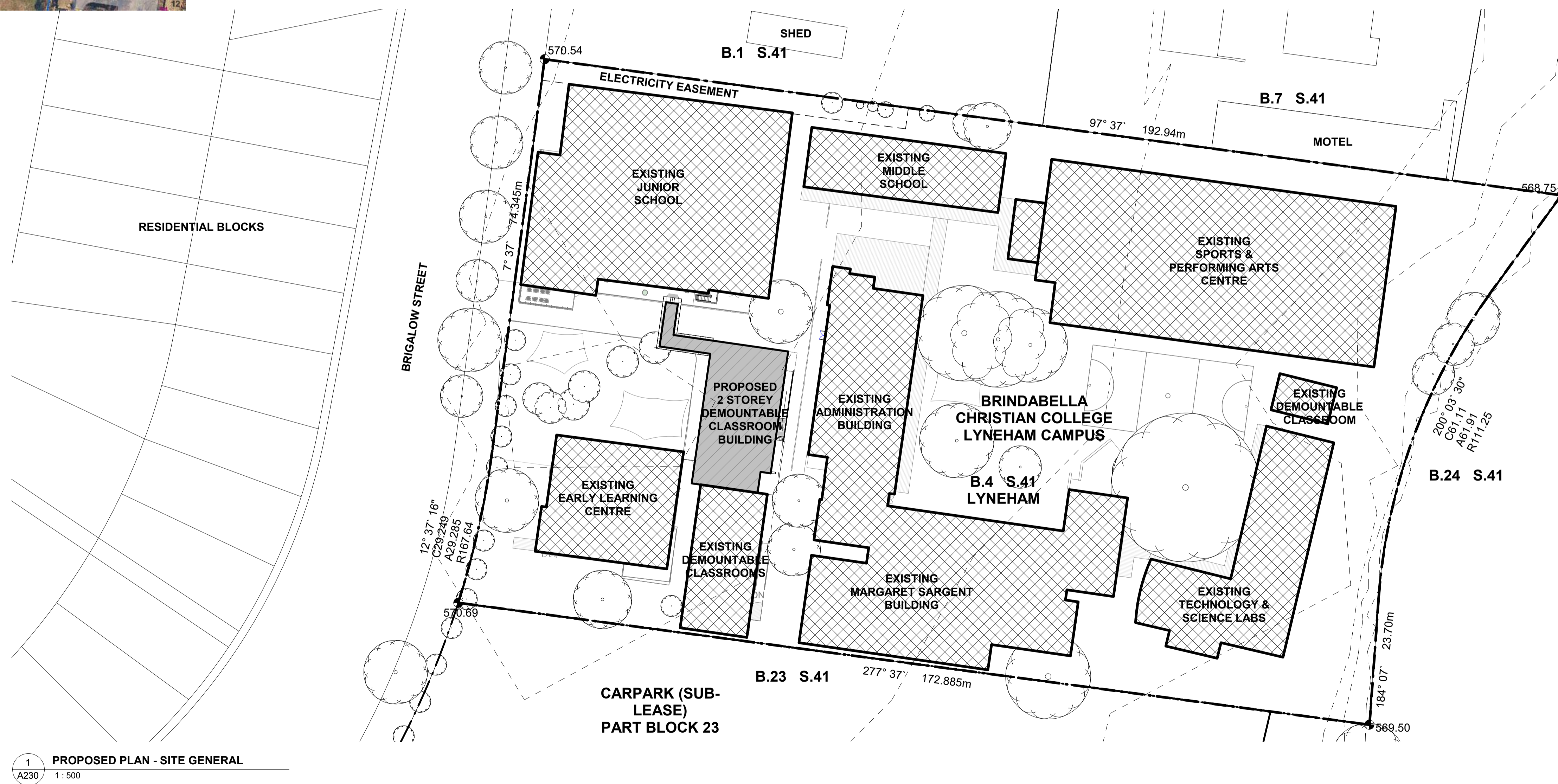
TABLE 1:  
PERFORMANCE SOLUTION SUMMARY

Assessment	Relevant BCA Provisions and Performance Requirements	Method for meeting performance requirements	IFEG Sub-system[s] Evaluated	BCA Assessment method
Rationalisation of FRLs – External Walls	C1.1 CP1 CP2	A2.1 (c)	C	A2.2 (2)(b)(ii)
Automatic Fire Detection and Alarm System	AS 1670.1:2015 Clause 2.3 EP4.3	A2.1 (c)	D	A2.2 (2)(b)(ii)
Protection of Openings	C3.2 CP2 CP8	A2.1 (3)	C	A2.2 (2)(b)(ii)
Distance of Travel	D1.4 D1.5 DP4	A2.1 (3)	E	A2.2(2) (b)(ii)

Source: Ignis Solutions

**Waterproofing design & External wall system disclosure statement**

Project number. 1506.16  
Project name. Brindabella Christian College – 2 Storey Demountable building  
Address. 136 Brigalow Street, Lyneham ACT 2602



1  
A230 PROPOSED PLAN - SITE GENERAL  
1: 500

THIS SET OF DRAWINGS ARE MEANT TO BE READ IN CONJUNCTION WITH MBS CONSTRUCTION DRAWINGS & DETAILS

REV	DATE	DESCRIPTION
A	04.02.21	FOR CONSTRUCTION

**Building Approval**  
Is issued under section 28 of the Building Act 2004  
CBS Commercial Certifiers Pty Ltd  
**Sch 2.2(a)(ii)**  
15/02/23 Licenced No: 2019938

Sch 2.2(a)(xi)

Client: BRINDABELLA CHRISTIAN COLLEGE

Project Title: DEMOUNTABLE V2

All dimensions in millimetres. Do not scale drawing. All dimensions and levels to be verified on site by contractor before commencing work or preparation of shop drawings. Where provided, drawings must be read in conjunction with schedule of work or specification.

Project Status: BUILDING APPROVAL

Project Address: 136 BRIGALOW STREET, LYNEHAM ACT 2602

Block: 4 Section: 41 Division: LYNEHAM

Drawing Title: LOCATION & GENERAL SITE PLAN

Design Project Manager: SV	Project Architect: NI	Design Verifier: SV
Scale: 1: 500	Sheet Size: A1	Drawn: DT
Project No: 1506.16	Sheet No: A001	Amendment: A

AREA CALCULATIONS	
SITE AREA	18,112m <sup>2</sup>
EXISTING BUILDINGS	10,628m <sup>2</sup> APPROX
PROPOSED BUILDING	730.58m <sup>2</sup>
SUBTOTAL	11,358.58m <sup>2</sup>
PLOT RATIO	62.7%



REV	DATE	DESCRIPTION
A	04.02.21	FOR CONSTRUCTION

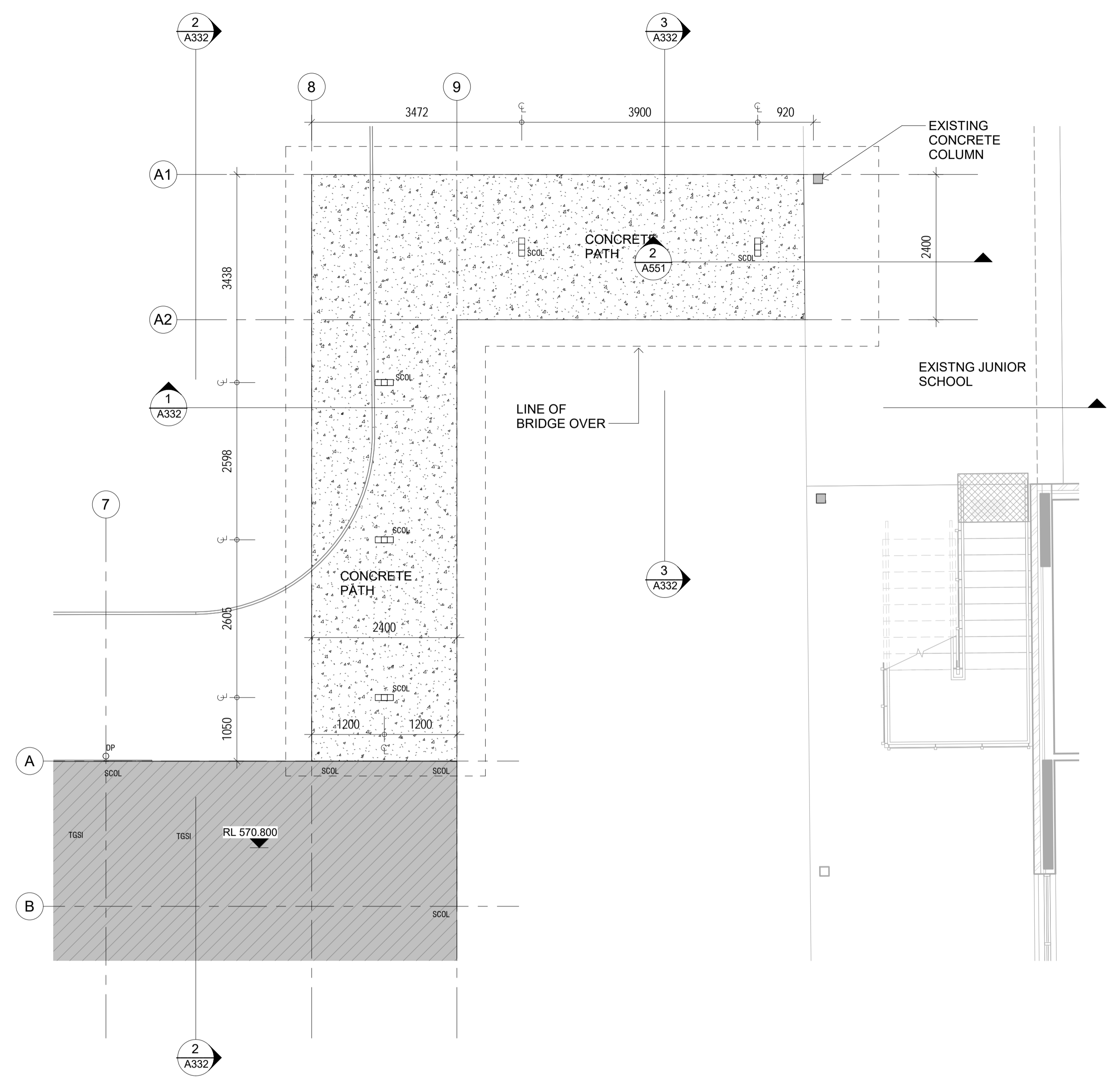
**Building Approval**  
 Is issued under section 28 of the Building Act 2004  
**CBS Commercial Certifiers Pty Ltd**  
 Sch 2.2(a)(ii)  
 15/02/23      Licenced No: 2019938

Sch 2.2(a)(xi)

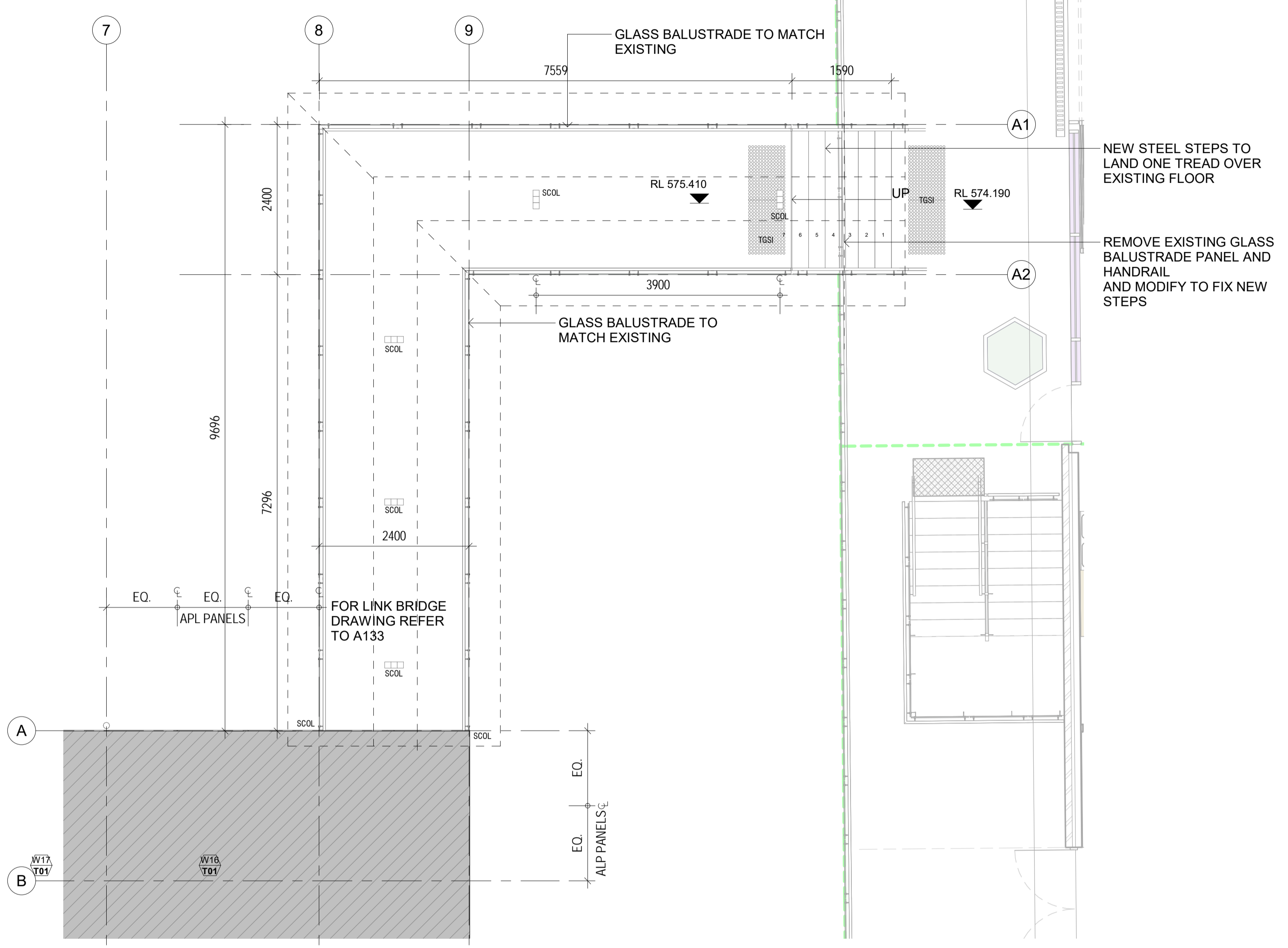
Client: **BRINDELLA CHRISTIAN COLLEGE**  
 Project Title: **DEMOUNTABLE V2**  
All dimensions in millimetres. Do not scale drawing. All dimensions and levels to be verified on site by contractor before commencing work or preparation of shop drawings. Where provided, drawings must be read in conjunction with schedule of work or specification.

Project Status: **BUILDING APPROVAL**  
 Project Address: **136 BRIGALOW STREET, LYNEHAM ACT 2602**  
 Block: 4      Section: 41      Division: **LYNEHAM**

Drawing Title: **SITE PLAN**  
 Design Project Manager: SV      Project Architect: NI      Design Verifier: SV  
 Scale: As indicated      Sheet Size: A1      Drawn: SE  
 Project No: **1506.16**      Sheet No: **A003**      Amendment: **A**

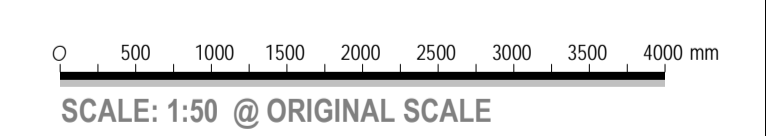
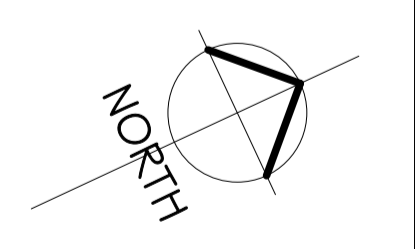


1 PROPOSED PLAN - L0 - LINK BRIDGE  
A230 1:50



2 PROPOSED PLAN - L1 - LINK BRIDGE  
A230 1:50

LEGEND- KEYNOTES DESCRIPTIONS	
KEYNOTE	DESCRIPTION
DP	DOWNPIPE
SCOL	STEEL COLUMN
TGSI	TACTILE GROUND SURFACE INDICATOR



REV	DATE	DESCRIPTION
A	04.02.21	FOR CONSTRUCTION

**Building Approval**  
Is issued under section 28 of the Building Act 2004  
CBS Commercial Certifiers Pty Ltd  
**Sch 2.2(a)(ii)**  
15/02/23 Licenced No: 2019938

Sch 2.2(a)(xi)

Client:  
**BRINDABELLA CHRISTIAN COLLEGE**

Project Title:  
DEMOUNTABLE V2

All dimensions in millimetres. Do not scale drawing. All dimensions and levels to be verified on site by contractor before commencing work or preparation of shop drawings. Where provided, drawings must be read in conjunction with schedule of work or specification.

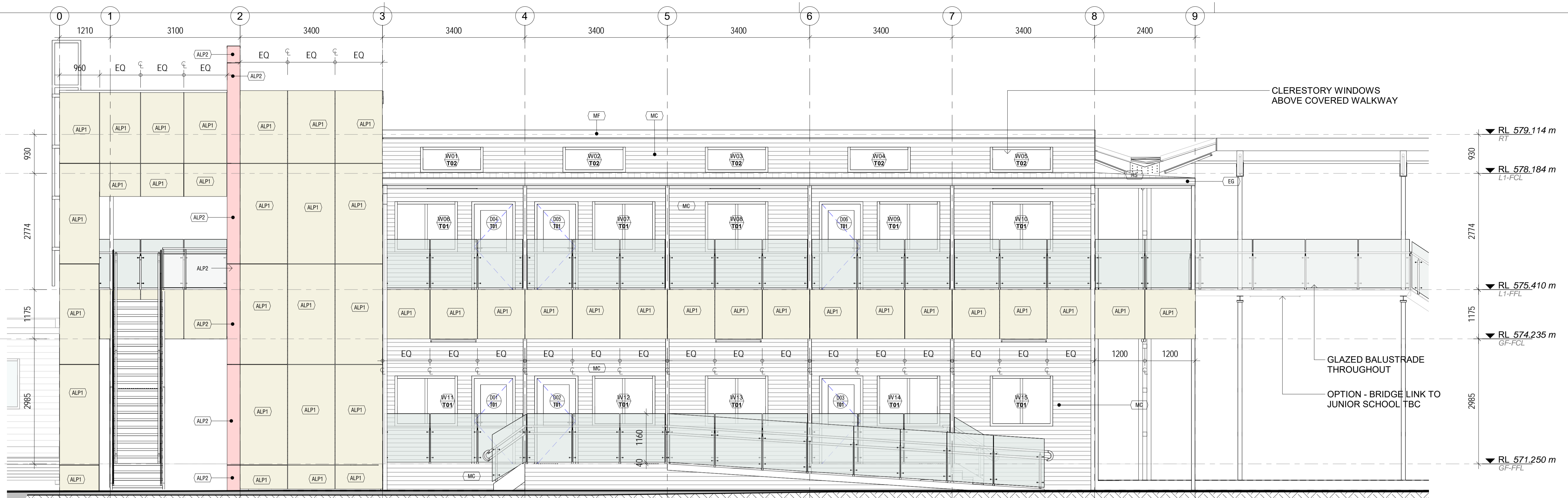
Project Status:  
**BUILDING APPROVAL**

Project Address:  
136 BRIGALOW STREET, LYNEHAM ACT 2602

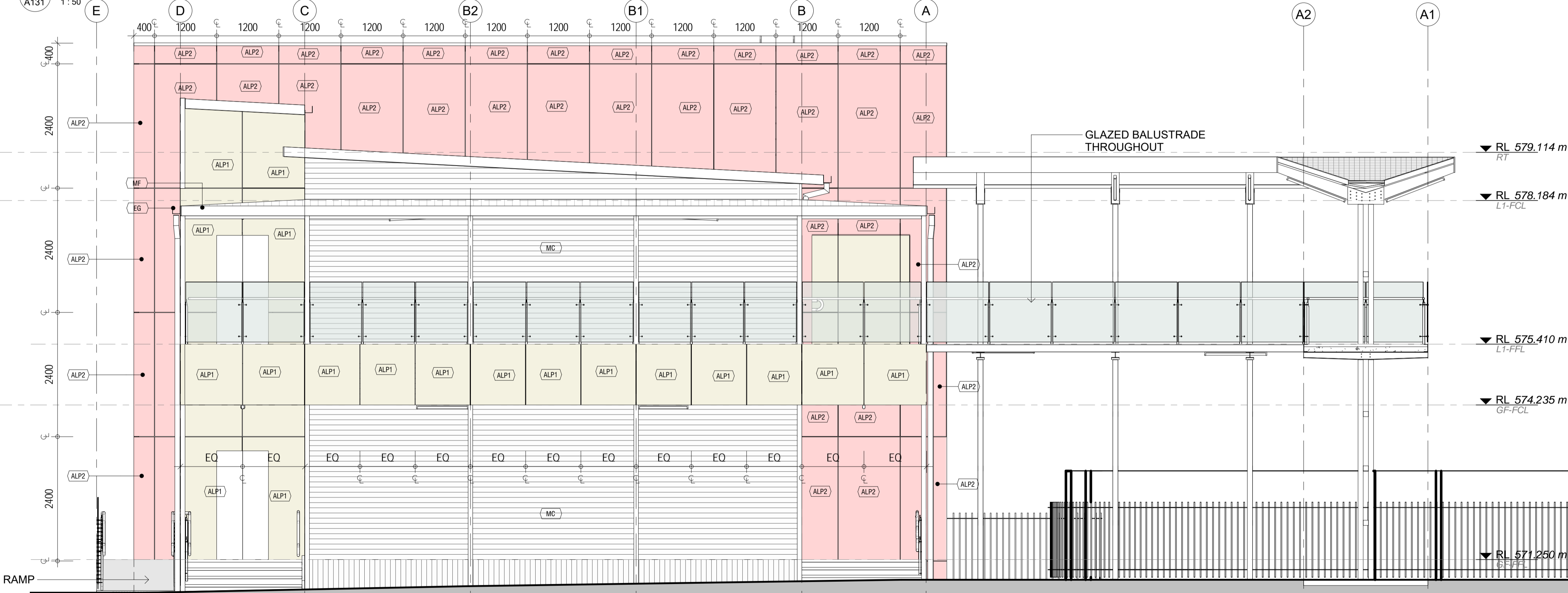
Block: 4 Section: 41 Division: LYNEHAM

Drawing Title:  
**LINK BRIDGE PLAN**

Design Project Manager: SV	Project Architect: NI	Design Verifier: SV
Scale: 1:50	Sheet Size: A1	Drawn:
Project No: <b>1506.16</b>	Sheet No: <b>A134</b>	Amendment: <b>A</b>



1 EAST ELEVATION 1:50



2 NORTH ELEVATION 1:50

**LEGEND- PROPOSED- BUILDING ELEVATIONS**

	MATERIAL ABBREVIATION. REFER KEYNOTES FOR DESCRIPTION
	DOOR TAG. REFER DOOR SCHEDULE FOR MORE DETAILS
	WINDOW NO/TYPE. REFER A700 TYPE DESCRIPTION & A710 FOR WINDOW SCHEDULE
	EXISTING ELEMENTS SURFACE RETAINED

NOTES:  
CLADDING JUNCTIONS, EXPANSION JOINTS & METHODS OF ATTACHMENT TO BE ESTABLISHED BY BUILDER

**LEGEND- KEYNOTES DESCRIPTIONS**

KEYNOTE	DESCRIPTION
ALP1	ALPOLIC NC - FIRE RATED ALUMINIUM COMPOSITE - WHITE
ALP2	ALPOLIC NC - FIRE RATED ALUMINIUM COMPOSITE - RED
EG	EAVES GUTTER
MC	CORRUGATED METAL CLADDING, CUSTOM ORB, POWDERCOAT FINISH COLORBOND 'WOODLAND GREY' OR EQUAL
MF	METAL FACIA
RS	METAL ROOF SHEETING, TRIMDEK PROFILE, POWDERCOAT FINISH COLORBOND 'SHALE GREY' OR EQUAL

0 500 1000 1500 2000 2500 3000 3500 4000 mm  
SCALE: 1:50 @ ORIGINAL SCALE

REV	DATE	DESCRIPTION
A	04.02.21	FOR CONSTRUCTION

**Building Approval**  
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**Sch 2.2(a)(ii)**  
15/02/23 Licenced No: 2019938

Sch 2.2(a)(xi)

Client:  
**BRINDABELLA CHRISTIAN COLLEGE**

Project Title:  
DEMOUNTABLE V2

All dimensions in millimetres. Do not scale drawing. All dimensions and levels to be verified on site by contractor before commencing work or preparation of shop drawings. Where provided, drawings must be read in conjunction with schedule of work or specification.

Project Status:  
**BUILDING APPROVAL**

Project Address:  
136 BRIGALOW STREET, LYNEHAM ACT 2602

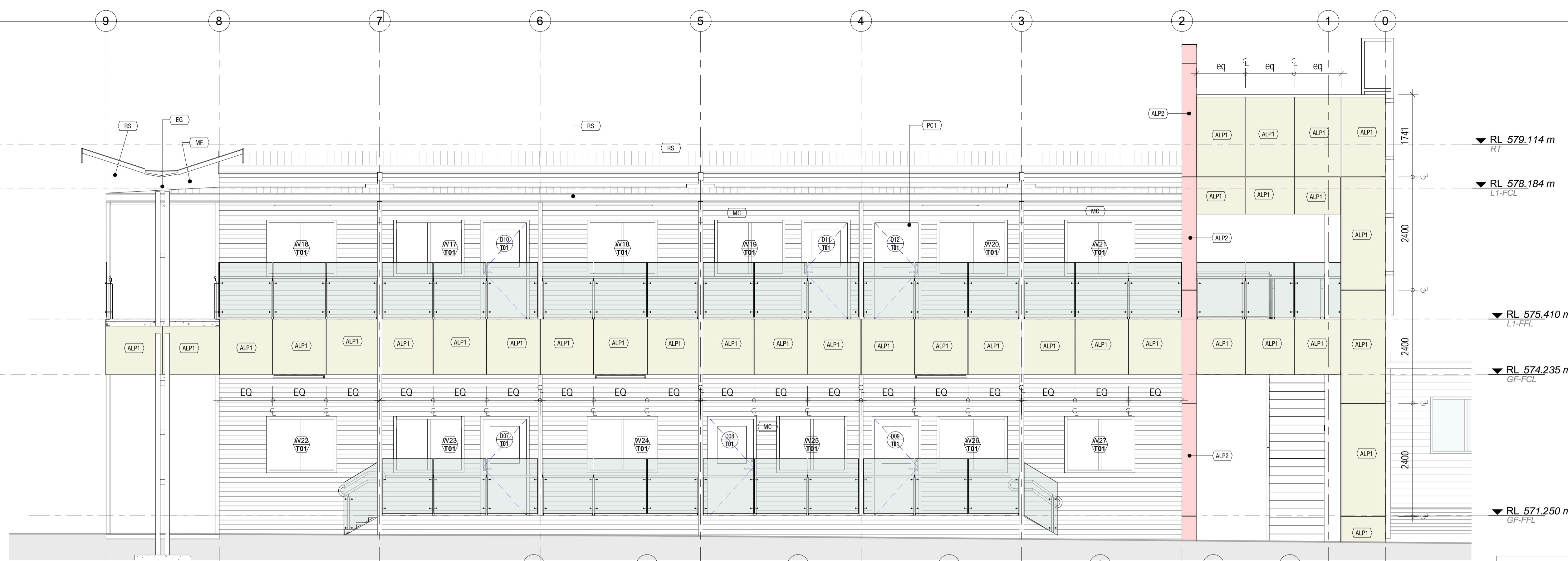
Block: 4 Section: 41 Division: LYNEHAM

Drawing Title:  
**ELEVATIONS - SHEET 1**

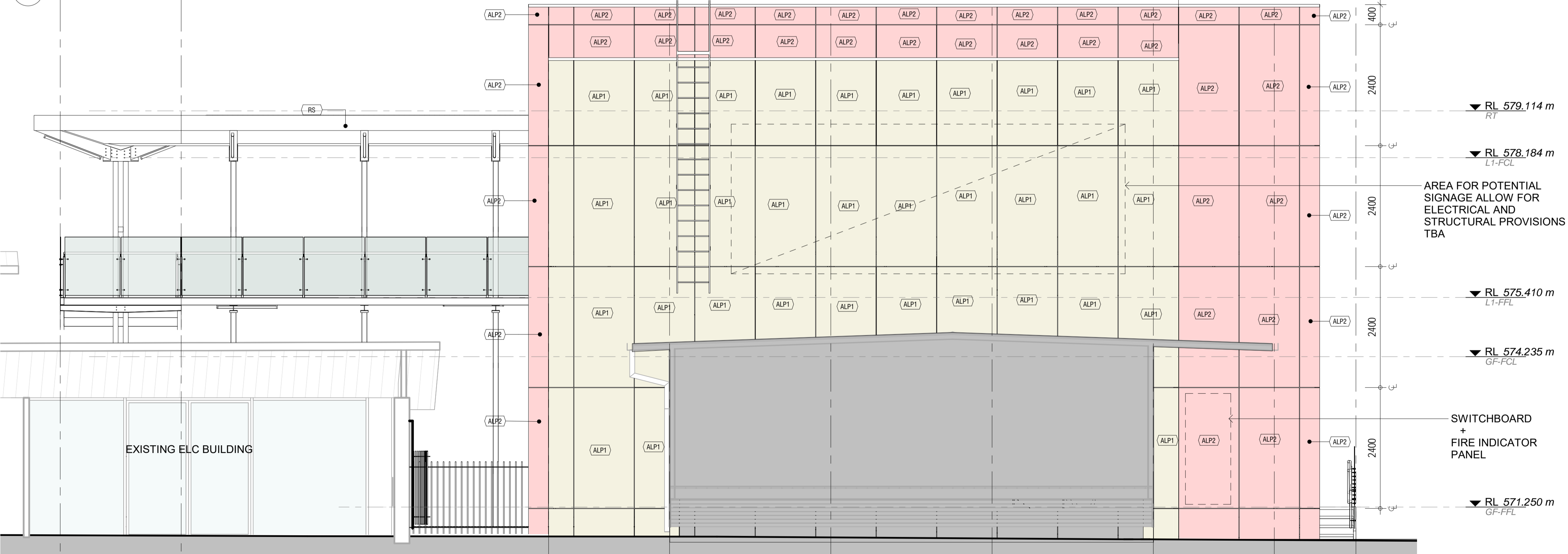
Design Project Manager: SV Project Architect: NI Design Verifier: SV

Scale: 1:50 Sheet Size: A1 Drawn:

Project No: **1506.16** Sheet No: **A230** Amendment: **A**



1 WEST ELEVATION  
A131 1:50



2 SOUTH ELEVATION  
A131 1:50

**LEGEND- PROPOSED- BUILDING ELEVATIONS**

	MATERIAL ABBREVIATION. REFER KEYNOTES FOR DESCRIPTION
	DOOR TAG. REFER DOOR SCHEDULE FOR MORE DETAILS
	WINDOW NO./TYPE. REFER A700 TYPE DESCRIPTION & A710 FOR WINDOW SCHEDULE
	EXISTING ELEMENTS SURFACE RETAINED

NOTES:  
CLADDING JUNCTIONS, EXPANSION JOINTS & METHODS OF ATTACHMENT TO BE ESTABLISHED BY BUILDER

**LEGEND- KEYNOTES DESCRIPTIONS**

KEYNOTE	DESCRIPTION
ALP1	ALPOLIC NC - FIRE RATED ALUMINIUM COMPOSITE - WHITE
ALP2	ALPOLIC NC - FIRE RATED ALUMINIUM COMPOSITE - RED
EG	EAVES GUTTER
MC	CORRUGATED METAL CLADDING, CUSTOM ORB, POWDERCOAT FINISH COLORBOND 'WOODLAND GREY' OR EQUAL
MF	METAL FACIA
PC1	POWDERCOAT FINISH TO ALUMINIUM SURFACE EQUAL TO DULUX DURATEC ETERNITY CHAIN PEARL
RS	METAL ROOF SHEETING, TRIMDEK PROFILE, POWDERCOAT FINISH COLORBOND 'SHALE GREY' OR EQUAL

0 500 1000 1500 2000 2500 3000 3500 4000 mm  
SCALE: 1:50 @ ORIGINAL SCALE

REV	DATE	DESCRIPTION
A	04.02.21	FOR CONSTRUCTION

**Building Approval**  
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CBS Commercial Certifiers Pty Ltd  
Sch 2.2(a)(ii)  
15/02/23 Licenced No: 2019938

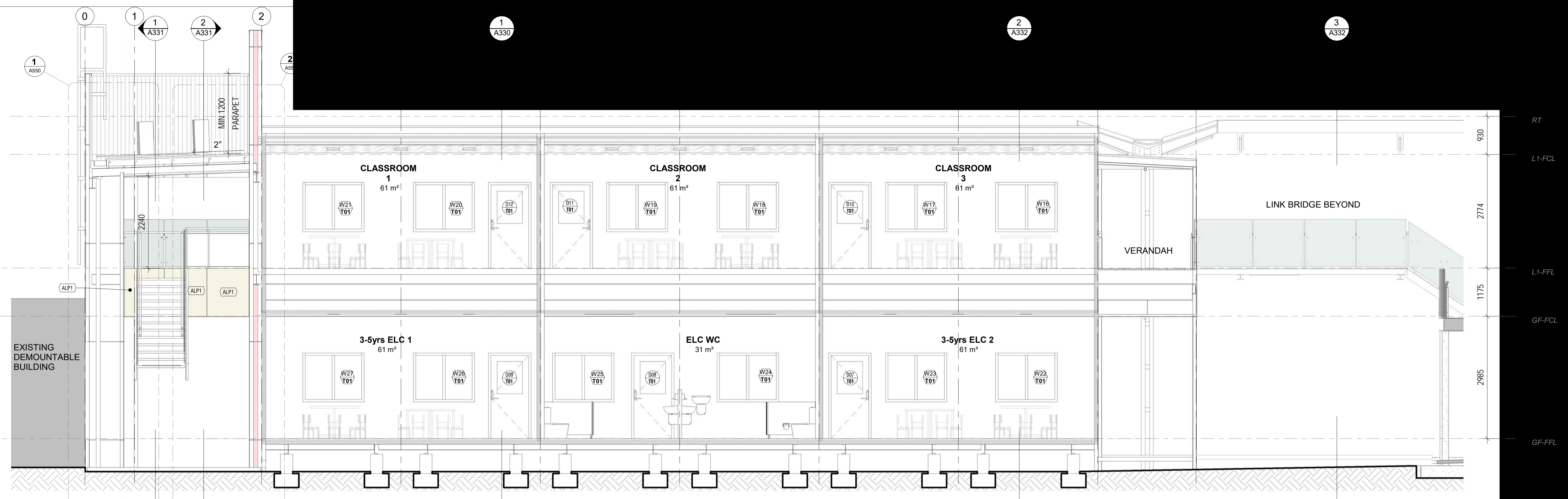
Sch 2.2(a)(xi)

Client:  
**BRINDABELLA CHRISTIAN COLLEGE**  
Project Title:  
DEMOUNTABLE V2  
All dimensions in millimetres. Do not scale drawing. All dimensions and levels to be verified on site by contractor before commencing work or preparation of shop drawings. Where provided, drawings must be read in conjunction with schedule of work or specification.

Project Status:  
**BUILDING APPROVAL**  
Project Address:  
136 BRIGALOW STREET, LYNEHAM ACT 2602  
Block: 4 Section: 41 Division: LYNEHAM

Drawing Title:  
**ELEVATIONS - SHEET 2**  
Design Project Manager: SV  
Project Architect: NI  
Design Verifier: SV  
Scale: 1:50  
Sheet Size: A1  
Drawn:  
Project No: 1506.16  
Sheet No: A231  
Amendment: A





# Sch 2.2(a)(xi)

1  
A131

REV	DATE	DESCRIPTION
A	04.02.21	FOR CONSTRUCTION

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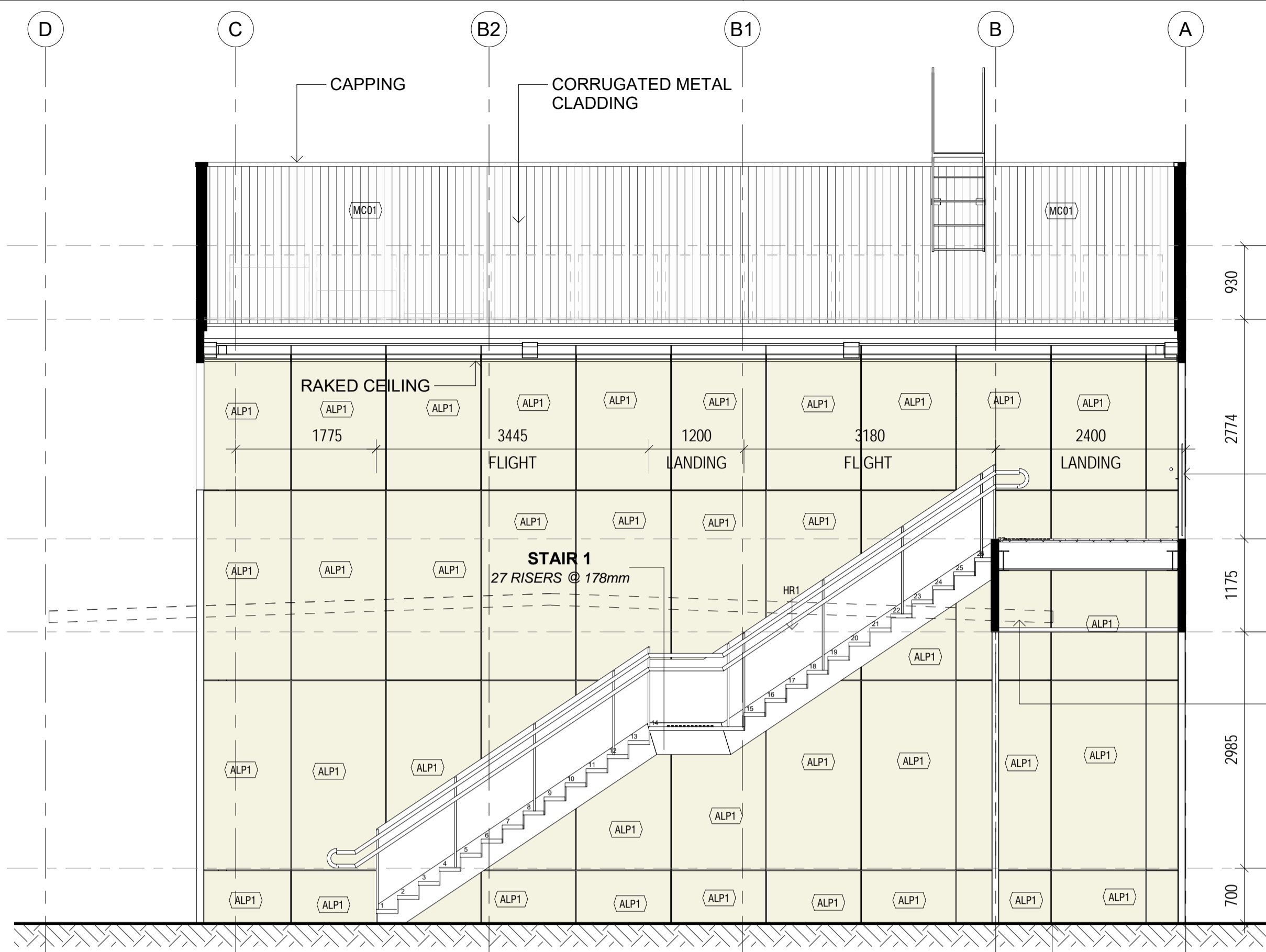
Sch 2.2(a)(xi)

15/02/23      Licenced No: 2019938

# Sch 2.2(a)(xi)

Client	Project Status	Drawing Title		
Project Title	Project Address	Design Project Manager	Project Architect	Design Verifier
Block	Section	Scale	Sheet Size A1	Drawn
Division	Project No	Sheet No	Amendment	

All dimensions in millimetres. Do not scale drawing. All dimensions and levels to be verified on site by contractor before commencing work or preparation of shop drawings. Where provided, drawings must be read in conjunction with schedule of work or specification



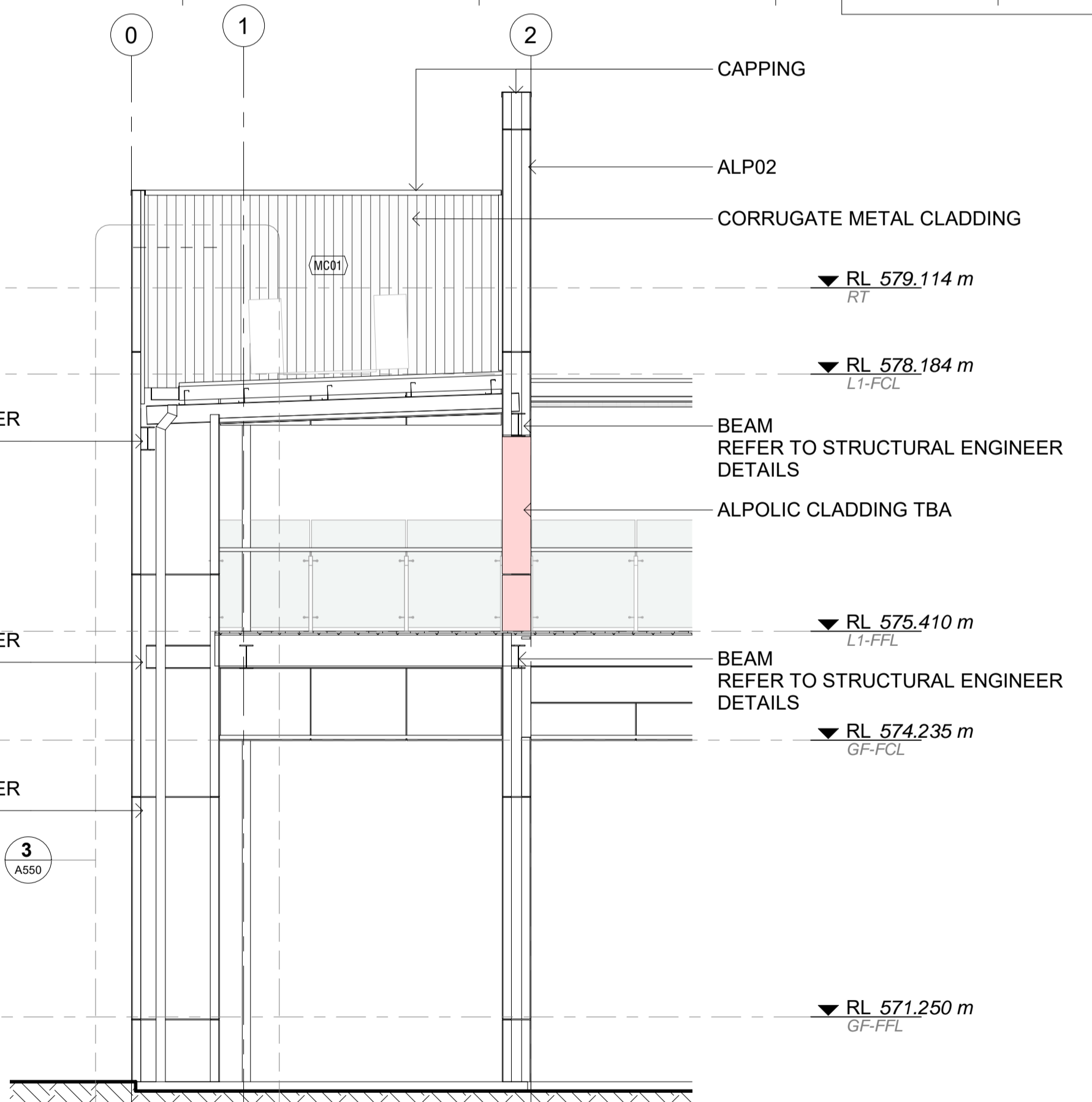
1 SECTION CC 1:50

BEAM REFER TO STRUCTURAL ENGINEER DETAILS

BEAM FOR STAIR LANDING REFER TO STRUCTURAL ENGINEER DETAILS

COLUMNS REFER TO STRUCTURAL ENGINEER DETAILS

3 SECTION EE 1:50



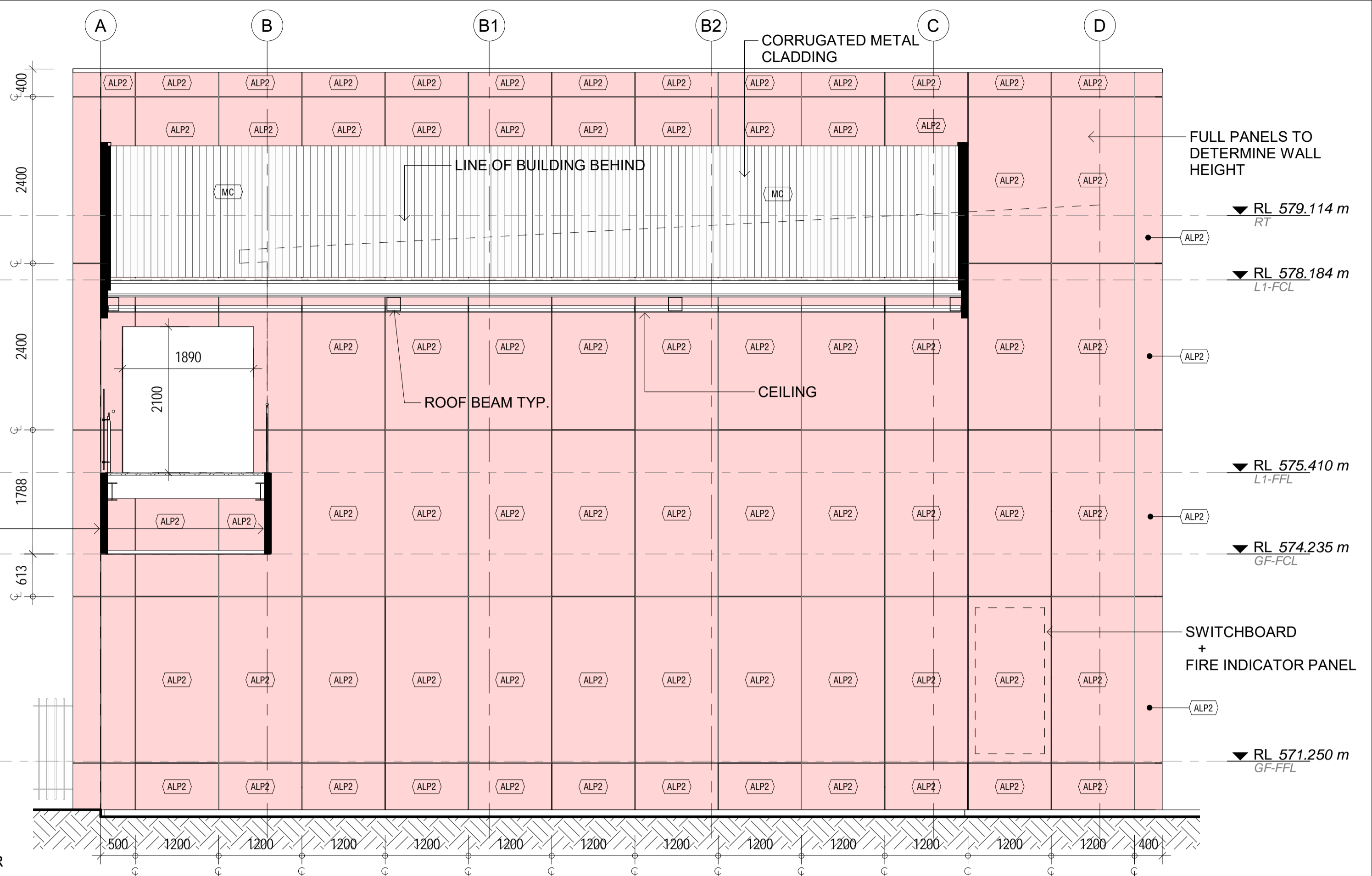
2 SECTION DD 1:50

COLUMN  
GLASS BALUSTRADE TME  
STAINLESS STEEL HANDRAIL TME  
STAINLESS STEEL BALUSTRADE STRUCTURE TME

ALP1

COLUMN

4 BALCONY DETAIL 1:20



LEGEND- KEYNOTES DESCRIPTIONS	
KEYNOTE	DESCRIPTION
ALP1	ALPOLIC NC - FIRE RATED ALUMINIUM COMPOSITE - WHITE
ALP2	ALPOLIC NC - FIRE RATED ALUMINIUM COMPOSITE - RED
HR1	
MC	CORRUGATED METAL CLADDING, CUSTOM ORB, POWDERCOAT FINISH COLORBOND 'WOODLAND GREY' OR EQUAL
MC01	

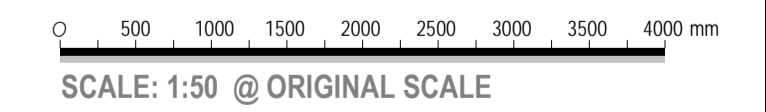
INSULATION:

- GROUND LEVEL UNDERFLOOR - R2.5 KOOLTHERM RIGID BOARD 40mm
- FIRST FLOOR UNDERFLOOR - NIL
- INTERNAL WALLS - R2.7 GLASSWOOL BATTS
- EXTERNAL WALLS - R2.5 GLASSWOOL BATTS & THERMAL BREAK SARKING (AIR CELL INSULBREAK 65)
- CEILING (GROUND AND FIRST FLOOR) - R2.5 GLASSWOOL BATTS SUPPORTED BY ZINCALUME PANELRIB 0.35
- ROOF - R1.3 ANTICON BLANKE REFER TO MBS DRAWINGS: 125, 126, 127, 128, 129, 130, 131

INDICATIVE STRUCTURAL PROPOSAL ONLY REFER TO STRUCTURAL ENGINEER FOR SPECIFICATIONS AND DETAILS

AS PER FIRE ENGINEER REPORT:

- ALL EXTERNAL WALLS AND INTERNAL WALLS TO THE LOWER LEVEL WITH HAVE TWO LAYERS OF 13MM FYRECHEK
- THE CEILING SEPARATING THE STOREYS WILL HAVE TWO LAYERS OF 13MM FYRECHEK TO PROTECT ALL THE BEAMS. THIS WILL EXTEND TO THE SOFFIT OF THE FIRE FLOOR VERANDAH TO PROTECT ITS SUPPORTING BEAMS
- THE EXTERNAL COLUMNS WHICH SUPPORT THE FIRST FLOOR VERANDAH WILL BE PAINTED WITH AN INTUMESCENT COATING, TO ACHIEVE AN FRL OF NOT LESS THAN 60 MINUTES
- ALL BUILDING MATERIALS WILL COMPLY WITH THE REQUIREMENTS OF TYPE B CONSTRUCTION IN REGARDS TO NON-COMBUSTIBILITY
- REFER TO MBS FOR CONSTRUCTION DRAWINGS FOR DETAILS: 125, 128, 129, 106, 107
- FEATURE CLADDING TO BE ALPOLIC NC



REV	DATE	DESCRIPTION
A	04.02.21	FOR CONSTRUCTION

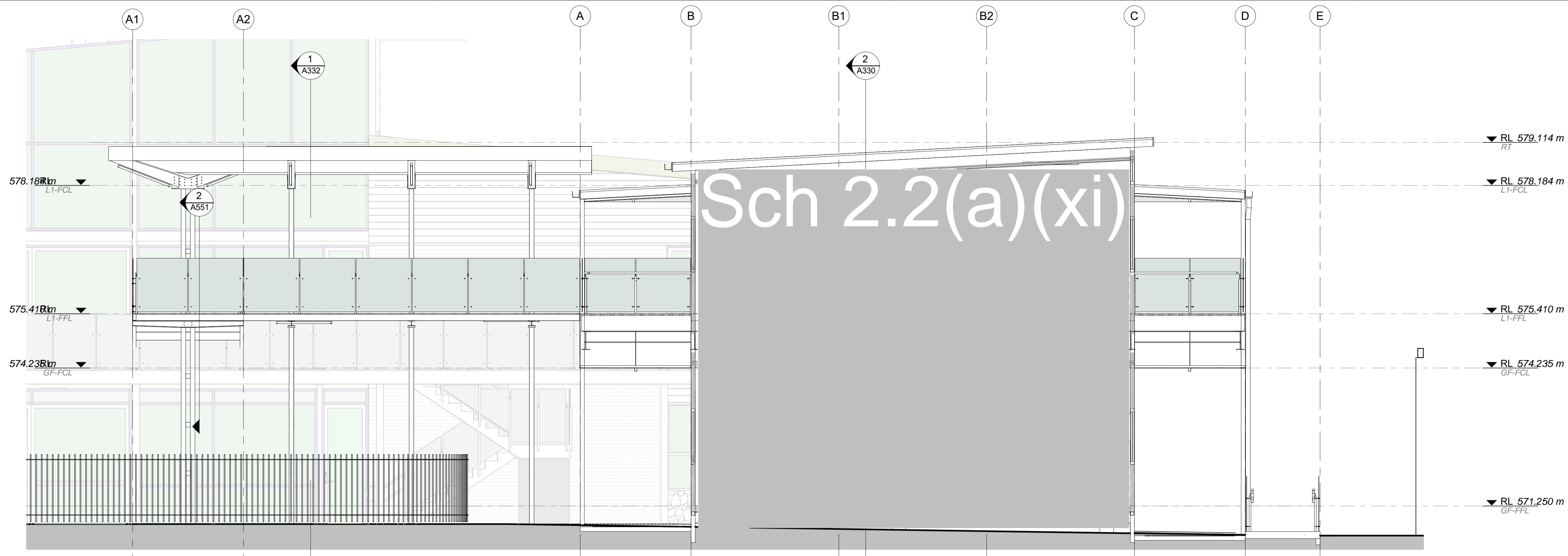
**Building Approval**  
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**CBS Commercial Certifiers Pty Ltd**  
**Sch 2.2(a)(ii)**  
15/02/23 Licenced No: 2019938

**Sch 2.2(a)(xi)**  
Client: **BRINDABELLA CHRISTIAN COLLEGE**  
Project Title: **DEMOUNTABLE V2**  
All dimensions in millimetres. Do not scale drawing. All dimensions and levels to be verified on site by contractor before commencing work or preparation of shop drawings. Where provided, drawings must be read in conjunction with schedule of work or specification.

Project Status: **BUILDING APPROVAL**  
Project Address: **136 BRIGALOW STREET, LYNEHAM ACT 2602**  
Block: 4 Section: 41 Division: **LYNEHAM**

Drawing Title: **SECTIONS SHEET 2**  
Design Project Manager: **SV** Project Architect: **NI** Design Verifier: **SV**  
Scale: **As indicated** Sheet Size: **A1** Drawn:  
Project No: **1506.16** Sheet No: **A331** Amendment: **A**

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22/02/2023 3:58:41 PM



Sch 2.2(a)(xi)

REV	DATE	DESCRIPTION
A	04.02.21	FOR CONSTRUCTION

**Building Approval**  
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**Sch 2.2(a)(ii)**  
 15/02/23 Licenced No: 2019938

Client:  
**BRINDABELLA CHRISTIAN COLLEGE**

Project Title:  
DEMOUNTABLE V2

All dimensions in millimetres. Do not scale drawing. All dimensions and levels to be verified on site by contractor before commencing work or preparation of shop drawings. Where provided, drawings must be read in conjunction with schedule of work or specification.

Project Status:  
**BUILDING APPROVAL**

Project Address:  
136 BRIGALOW STREET, LYNEHAM ACT 2602

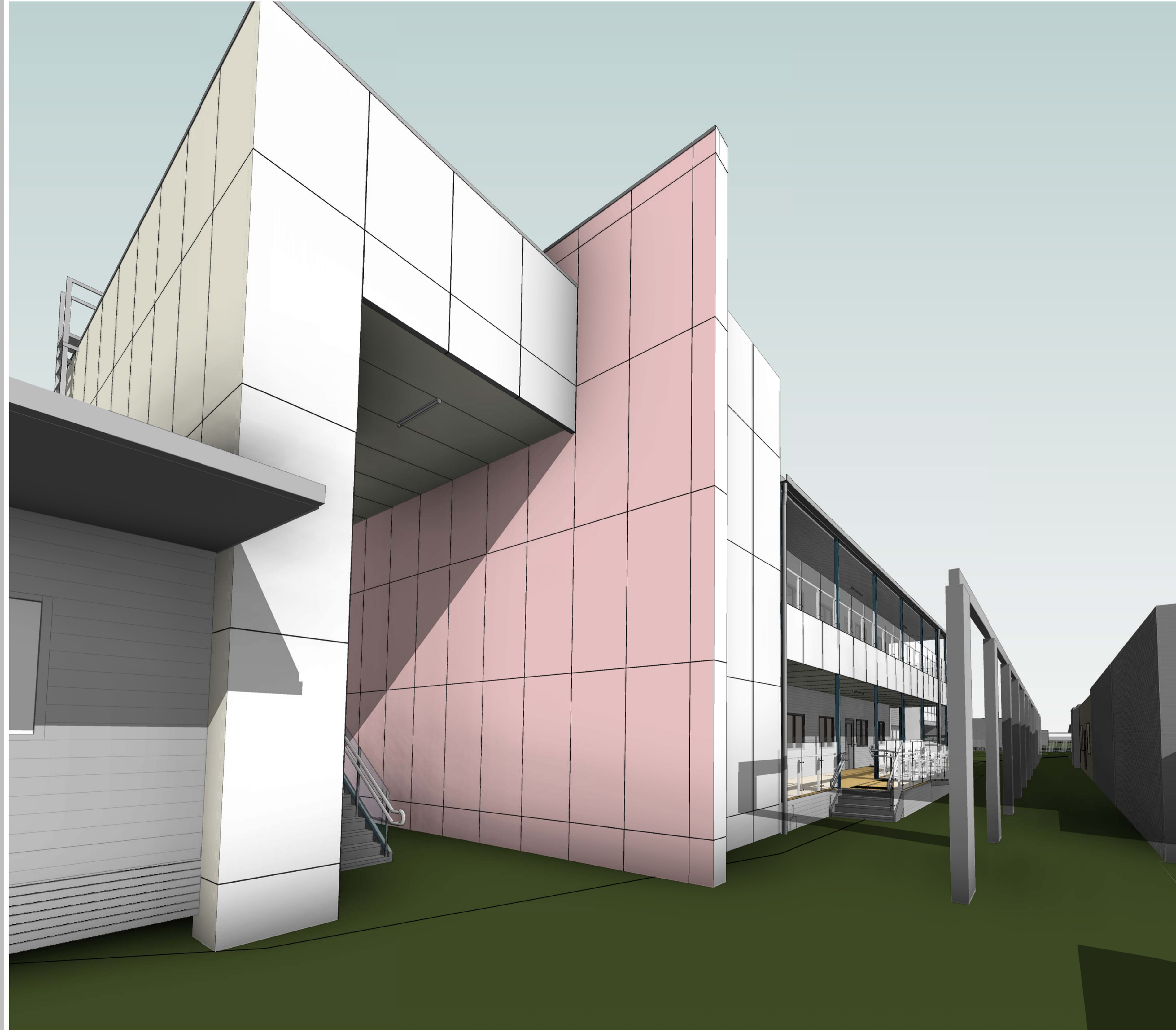
Block: 4      Section: 41      Division: LYNEHAM

Drawing Title:  
**SECTIONS SHEET 3**

Design Project Manager: SV	Project Architect: NI	Design Verifier: SV
Scale: 1 : 50	Sheet Size: A1	Drawn:
Project No: <b>1506.16</b>	Sheet No: <b>A332</b>	Amendment: <b>A</b>

BY

P:\SQC-Projects\1506 Brindabella Christian College-Lyneham Campus\00 CAD 2020\03 Buildings\E\_01 - DB\1506\_BCC\Demountable\_V2\STOREY\_4 STOREY - CENTRAL.dwg  
 22/02/2023 3:30:07 PM



REV	DATE	DESCRIPTION
A	04.02.21	FOR CONSTRUCTION

**Building Approval**  
 Is issued under section 28 of the Building Act 2004  
 CBS Commercial Certifiers Pty Ltd  
 Sch 2.2(a)(ii)  
 15/02/23      Licenced No: 2019938

## Sch 2.2(a)(xi)

Client: **BRINDABELLA CHRISTIAN COLLEGE**

Project Title: **DEMOUNTABLE V2**

All dimensions in millimetres. Do not scale drawing. All dimensions and levels to be verified on site by contractor before commencing work or preparation of shop drawings. Where provided, drawings must be read in conjunction with schedule of work or specification.

Project Status: **BUILDING APPROVAL**

Project Address: **136 BRIGALOW STREET, LYNEHAM ACT 2602**

Block: 4      Section: 41      Division: LYNEHAM

Drawing Title: **3D VISUALISATION**

Design Project Manager: SV	Project Architect: NI	Design Verifier: SV
Scale: A1	Sheet Size: A1	Drawn:
Project No: <b>1506.16</b>	Sheet No: <b>A630</b>	Amendment: <b>A</b>

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# Building Approval Fees and Levies Tax Invoice

TO THE PAYEE

c/o Brindabella Christian College

136 Brigalow Street, ,

Lyneham ACT 2602

## Access Canberra Land, Planning and Building Services

ABN 16 479 763 216  
8 Darling Street Mitchell  
GPO Box 158 ACT 2601

Access Canberra Homepage: [www.act.gov.au/accesscbr](http://www.act.gov.au/accesscbr)

Invoice Date: 17/02/2023 Time: 3:38:26 PM

Invoice Number: 3100781438

Block - Section - Division - District	Building Levy	Training Levy	Fees Paid	Total
4 - 41 - LYNEHAM - CANBERRA CENTRAL Ref # - 33381	Sch 2.2(a)(xi)			
<b>Total</b>	<b>\$ Sch 2.2(a)(xi)</b>			

No GST applies to these fees and levies.

PAYMENT REQUIRED WITHIN 14 DAYS OF INVOICE ISSUE DATE

## Payment Options



**Bill Code: 584508**  
**Ref: 3100781438**

### Telephone & Internet Banking – BPAY®

Call your bank, credit union or building society to make this payment from your cheque, savings or credit card account. More info: [www.bpay.com.au](http://www.bpay.com.au)



Access  
Canberra

### Internet

To pay online by credit card (MasterCard or Visa), click on the "Building and Construction Fees and Levies" online payment form located at <https://www.accesscanberra.act.gov.au/app/answers/payment>



Access  
Canberra

### Phone

Telephone (02) 6207 1923 8.30am - 4.30pm Mon - Fri and have your credit card details handy (MasterCard and Visa).



Access  
Canberra

### In Person

Access Canberra Land, Planning and Building Services Shopfront Only: 8.30am – 4.30pm Mon – Fri . Cash, Cheque, EFTPOS, Credit card (Mastercard and Visa). CashLink Code – 34 0075



**NASTASI & ASSOCIATES**  
Consulting Civil & Structural Engineers

18<sup>th</sup> September, 2020

Job No. 22286

Modular Building Systems  
132 Warren Road,  
**SMITHFIELD NSW 2164**

**Attention:** Sch 2.2(a)(ii)

**Re: MBS – 200677 – Brindabella Christian College**

This is to certify that Nastasi & Associates have carried out a design review of the structural elements for the above product as shown on the shop drawings listed in Appendix 1. The design has been in our opinion carried out to conform to the relevant SAA Codes, in particular the following:

<b>AS/NZS 1170</b>	<b>Structural Design Actions Part 0 General Principals Part 1 Permanent, Imposed and other Actions Part 2 Wind Actions</b>	<b>2002 2002 R 2016 2011 R 2016</b>
<b>AS 2159</b>	<b>Piling Code</b>	<b>2009</b>
<b>AS 3600</b>	<b>Concrete Structures</b>	<b>2009</b>
<b>AS 4100</b>	<b>Steel Structures</b>	<b>1998</b>
	<b>The National Construction Code of Australia (NCC) - Amendment 1 - Building Code of Australia</b>	<b>2019</b>

Should you have any further enquiries please do not hesitate in contacting the undersigned.

**Name of Design  
Qualifications**

Salvatore Nastasi  
B.E.M.I.A AUST CpEng Nper-3  
Accredited Certifier (Structural & Civil) No BPB0289  
Board of Professional Engineers (QLDS) RPEQ – 14906  
Registered Building Practitioner (VIC) RBP No EC40769  
Unit 5, 1-3 Whyalla Place, Prestons  
(02) 9607 2864  
(02) 9731 2081  
Nastasi & Associates

**Address of Designer  
Business Telephone No.  
Fax No.  
Name of Employer**

**SIGNED**

Sch 2.2(a)(ii)

**SAM NASTASI – B.E M.I.E AUST CpEng Nper-3**  
**Accredited Certifier (Structural & Civil) No BPB0289**



Thursday, 9 February 2023

Sch 2.2(a)(xi), Sch 2.2(a)(ii)

 24 lonsdale street,  
 suite 122 mode 3  
 (po box 5005)  
 braddon act 2612  
 p (02) 6201 0200  
 ABN 82 634 296 629

**CERTIFICATE OF DESIGN – STRUCTURAL**
**SUBJECT PREMISES:**

PROJECT NAME:

LESSEE'S OR PERMIT HOLDERS NAME:

SELLICK JOB REF:

DA REFERENCE:

**136 Brigalow Street, Lyneham. ACT 2602**

Proposed framing for portable classrooms

Brindabella Christian College

191504

**Description of Building Work:**

(Please tick appropriate box)

 New Work   
  Additions   
  Alterations   
  Other

*Pursuant to the provisions of Section 47 in the ACT Building Act 2004, I hereby certify that:*

- I have checked the structural design computations for the following components of the building named above:
  - Shallow Foundations, Suspended concrete slabs, Insitu Concrete Columns, Stairs, Timber & Steel framing.
- In checking the structural design, I have paid attention to the integrity of the building under normal loading conditions relevant for this type of structure. The strength requirements and serviceability requirements of the design of the proposed building, and the design of the structural elements, complies with :
  - The relevant clauses of the NCC as outlined in the reference documents in table 1 of this certificate.
  - Relevant Australian Standards as outlined in the reference documents in table 1 of this certificate.
  - Any structural requirements of the project fire engineering report, as outlined in the reference documents in Table 1
- This Certificate applies to the Sellick Consultants structural drawings prefixed **191504** listed in the attached Table 2.
- The documents adequately convey the structural design intentions for the construction of this structure.

**Declaration:**

I am a professional engineer as defined in Schedule 3 of the NCC (Building Code of Australia).

*Yours faithfully,*

Sch 2.2(a)(ii)

Date: 2023-02-09

**Signature:**
**Name of Engineer:**
**Qualifications:**
**Email:**
**Employer:**

Don McInnes

BEng (Hons) Civil, MIEAust, CPEng, NPER (#222156)

[don@sellickconsultants.com.au](mailto:don@sellickconsultants.com.au)

Sellick Consultants Pty Ltd


**Table 1 – List of Referenced Structural Documents**

- NCC-2019 National Construction Code, *Amendment 1* – Building Code of Australia
- Relevant Australian Standards
  - AS/NZS1170.0-2002 Structural Design Actions Part 0: General principles,
  - AS/NZS1170.1-2002 Structural Design Actions Part 1: Permanent, imposed and other actions,
  - AS/NZS1170.2-2011 Structural Design Actions Part 2: Wind actions,
  - AS1170.4-2007 Structural design actions Part 4: Earthquake actions in Australia,
  - AS1720.1-2010 Timber structures Part 1: Design methods,
  - AS3600-2018 Concrete Structures,
  - AS4100-2020 Steel structures.
- Geotechnical Report
  - No: C8350, Dated: 19.09.2016, By: ACT Geotechnical Engineers Pty Ltd

**Table 2 – Structural Drawing List**

Drawing Number	Title	Revision	Drawing Status
0000	COVER SHEET	A	FOR CONSTRUCTION
0001	CONSTRUCTION NOTES SHEET 1	A	FOR CONSTRUCTION
0002	CONSTRUCTION NOTES SHEET 2	A	FOR CONSTRUCTION
1000	BUILDING LINK FRAMING MARKING PLAN	B	FOR CONSTRUCTION
1010	BUILDING LINK FRAMING ELEVATIONS SHEET 1	A	FOR CONSTRUCTION
1051	BUILDING LINK FRAMING DETAILS SHEET 1	A	FOR CONSTRUCTION
1052	BUILDING LINK FRAMING DETAILS SHEET 2	A	FOR CONSTRUCTION
1100	LINK BRIDGE FOOTING MARKING PLAN & DETAILS	A	FOR CONSTRUCTION
1101	LINK BRIDGE WALKWAY MARKING PLANS & DETAILS	B	FOR CONSTRUCTION
1102	LINK BRIDGE ROOF MARKING PLAN & DETAILS	A	FOR CONSTRUCTION
1103	LINK BRIDGE WALKWAY STAIR DETAILS	A	FOR CONSTRUCTION





18<sup>th</sup> November 2021

Sch 2.2(a)(xi)

**Re: BRINDABELLA CHRISTIAN COLLEGE UPGRADES  
CERTIFICATE OF DESIGN – STRUCTURAL  
JOB REFERENCE NUMBER - 191504**

**SUBJECT PREMISES – 136 BRIGALOW STREET, LYNEHAM, ACT, 2602**

**DEVELOPMENT APPLICATION –**

**BUILDING CLASS/TYPE – CLASS 9b, TYPE B**

Pursuant to the provisions of **Clause A2.2 of the Building Code of Australia**, I hereby certify that the above design is in accordance with normal engineering practice and meets the requirements of the Building Code of Australia, the relevant fire safety engineering report, the Environmental Planning and Assessment Regulation, relevant Australian Standards and relevant conditions of the Planning Consent. In particular the design is in accordance with the following:

***NCC 2019 Volume 1 Amendment 1; Table 3 of Spec C1.1 of NCC; AS1170.0 2002; AS1170.1 2002; AS1170.2 2011; AS1170.4 2007; AS1684 2010; AS2159 2009; AS2870; AS3600 2018; AS3700 2018; AS4100 1998.***

I am an appropriately qualified and competent person in this area being listed in the National Engineers Register (NER) and as such can certify that the design and performance of the design systems comply with the above and which are detailed on the following drawings:

DWG No.	Name	Issue
000	COVER SHEET	A
0001	CONSTRUCTION NOTES SHEET 1	A
1000	BUILDING LINK FRAMING MARKING PLANS	B
1010	BUILDING LINK FRAMING ELEVATIONS SHEET 1	A
1051	BUILDING LINK FRAMING DETAILS SHEET 1	A
1052	BUILDING LINK FRAMING DETAILS SHEET 2	A
1100	LINK BRIDGE FOOTING MARKING PLAN & DETAILS	A
1101	LINK BRIDGE WALKWAY MARKING PLAN & DETAILS	A

I possess Indemnity Insurance to the satisfaction of the building owner or my principal.

**Full Name of Designer: Don McInnes**

**Qualifications:** B.E.(Hons), M.I.E. (Aust), CPENG, N.P.E.R, (Membership # 222156)

**Address of Designer: Unit 122, Level 1, Mode 3, 24 Lonsdale Street Braddon ACT 2612**

**Business Telephone No: 02 62010200**

**Email: don@sellickconsultants.com.au**

**Name of Employer: Sellick Consultants**

**ABN: 82 634 296 629**

**Signature:**



Yours faithfully,  
**Sch 2.2(a)(ii)**

*Don McInnes*  
for Sellick Consultants Pty Ltd



structural civil hydraulic engineers

## AIR CONDITIONING

19 March 2021

Project name: BCC 2 Storey Building

Attention: Sch 2.2(a)(ii)

Site Address:  
136 Brigalow street, Section 41 Block 4 Lyneham

### Certification of Compliance Mechanical Services

King Air Pty Ltd hereby certifies that the air conditioning system installed at the above premises would comply with the following standards referenced in the BCA 2019.

1. AS 1668 Part 1-2015 "The use of mechanical ventilation and air conditioning within this tenancy fitout-fire and smoke control.
2. AS 1668 Part 2-2012 and AS/NZS 3666.1 "The use of mechanical ventilation and air conditioning within this tenancy fitout-Ventilation design for indoor air contaminant control.

Should you require any further information or assistance, please do not hesitate to contact me.

Yours sincerely,  
**King Air Pty Limited**

Sch 2.2(a)(ii)

**Michael King**  
Project Director

## COMPLIANCE WITH MINIMUM DOCUMENTATION AND INFORMATION FOR BUILDING APPROVAL APPLICATIONS (DI2019-178)

To whom it may concern,

This statement is provided to demonstrate the supplied design documentation (prepared by myself) has been provided in accordance with the *Building (Minimum Documentation and Information for Building Approval Applications – Class 2 to Class 9 Buildings) Guideline (Guideline)*.

I have prepared the following documentation for the identified project.

<i>Project Name</i>	BCC 2 Storey Building
<i>Address</i>	136 Brigalow street
<i>Block &amp; Section</i>	Section 41 Block 4
<i>Suburb</i>	Lyneham

I am a practicing professional in the following discipline (please tick)

- Architectural Drawings  
 Structural Design  
 Fire Services Design  
 Mechanical Services Design  
 Hydraulic Services Design  
 Electrical Services Design  
 Passive Fire Design  
 Energy Efficiency Design (JV3 etc)  
 Other – Please specify .....

<i>Company</i>	King Air Pty Ltd
<i>Author</i>	Michael King
<i>Experience statement</i>	45 year experienced on HVAC and Refrigeration trading Authorisation AU07681
<i>Peer Reviewed (if app)</i>	
<i>Date</i>	19/03/2021
<i>Signature</i>	Sch 2.2(a)(ii) 
<i>Contact Details</i>	Company – King Air Pty Ltd Contact – Michael King Email – michael@kingair.com.au Phone – Sch 2.2(a)(ii)

The guideline is available at <https://www.legislation.act.gov.au/di/2019-178/>



**NEXT ELECTRICAL TECHNOLOGIES**  
PO Box 4338, Hawker, ACT, 2614  
AUSTRALIA

ABN: 14 605 091 709  
[office@next-tech.com.au](mailto:office@next-tech.com.au)

[www.next-tech.com.au](http://www.next-tech.com.au)

## Electrical and communications design statement

Attention: Sch 2.2(a)(ii)

Location: 136 Brigalow st Lyneham

I, Hugh McKenzie hereby certify that Next Electrical Technologies has designed the Electrical and Communications at the above-mentioned premises in accordance with the following requirements:

### Electrical

All works have been designed in accordance with AS/NZS 3000:2018, AS/NZS 3008.1.1:2017, AS/NZS 3017:2017, Building Code of Australia 2016 volume 1 and Building Code of Australia Volume 2.

### Communications

All works have been designed in accordance with AS/CA S008:2010 Requirements for customer cabling products, AS/CA S009:2013 Installation Requirements for Customer Cabling and AS/NZS 3080:2013

16/03/2021

Sch 2.2(a)(ii)

Hugh McKenzie

Electrical Licence No: 2008342 Communications Licence: A027438

For all electrical maintenance and future works contact Next Electrical Technologies

Email: [office@next-tech.com.au](mailto:office@next-tech.com.au)

Phone: 0432 260 506

## COMPLIANCE WITH MINIMUM DOCUMENTATION AND INFORMATION FOR BUILDING APPROVAL APPLICATIONS (DI2019-178)

To whom it may concern,

This statement is provided to demonstrate the supplied design documentation (prepared by myself) has been provided in accordance with the *Building (Minimum Documentation and Information for Building Approval Applications – Class 2 to Class 9 Buildings) Guideline (Guideline)*.

I have prepared the following documentation for the identified project.

<b>Project Name</b>	BCC 2 Storey Building
<b>Address</b>	136 Brigalow street
<b>Block &amp; Section</b>	Section 41 Block 4
<b>Suburb</b>	Lyneham

I am a practicing professional in the following discipline (please tick)

- Architectural Drawings  
 Structural Design  
 Fire Services Design  
 Mechanical Services Design  
 Hydraulic Services Design  
 Electrical Services Design  
 Passive Fire Design  
 Energy Efficiency Design (JV3 etc)  
 Other – Please specify .....

<b>Company</b>	Next electrical technologies pty ltd
<b>Author</b>	Hugh McKenzie
<b>Experience statement</b>	Unrestricted electrical licence since 2008 (ACT 2008342)
<b>Peer Reviewed (if app)</b>	
<b>Date</b>	16/03/2021
<b>Signature</b>	Sch 2.2(a)(ii)
<b>Contact Details</b>	Company – Next electrical technologies pty ltd Contact – Hugh McKenzie Email – hugh@next-tech.com.au Phone –0432574007

The guideline is available at <https://www.legislation.act.gov.au/di/2019-178/>

## APPENDIX 2

# ESSENTIAL SAFETY MEASURES: MAINTENANCE INFORMATION TEMPLATE

**ALL MAINTENANCE ROUTINES CURRENTLY ESTABLISHED ON THE SCHOOL CAMPUS SHALL APPLY TO THIS NEW BUILDING. THE FOLLOWING ARE GOOD PRACTICES AND GUIDELINES TO BE CONSIDERED AS PART OF THE MAINTENANCE REGIME.**

Emergency Service	Maintenance Standard	Occurrence
<b>Part 1: Building fire integrity</b>		
1 Fire resistant materials applied to building elements, including intumescent paints, fire protective sprays, coatings and boards.	AS1851 – 2012. Check the integrity of fire resistant materials and that there is no damage or deterioration to them.	<b>Annual</b> inspections as prescribed in AS1851 – 2012, Sections 1 and 12.  Refer table 12.4.2 for <b>yearly</b> service schedule for materials protecting structural elements.
2 Fire hazard properties of floor, wall and ceiling linings; floor coverings, air handling ductwork, lift cars, non-required and non-fire isolated stairways or ramps, attachments to internal floors, walls and ceilings, insulation, proscenium curtain and auditorium seating, etc.	AS1851 – 2012. Check that any new or altered linings and finishes have the required fire hazard properties.	<b>Annual</b> inspection to identify any changes to linings and finishes as prescribed in AS1851 – 2012, Sections 1 and 12.  Refer tables 12.4.1.2 and 12.4.1.3 for <b>yearly</b> service schedule for materials protecting structural elements.
3 Compartmentation including bounding construction and service penetrations through fire resistant structures (includes fire walls; smoke walls; fire resistant exits, and fire resistant elements such as walls, floors, ceilings, protective coverings, lift shafts, services shafts/ ducts, access panels and control joints).	AS1851 – 2012. Check integrity of fire and/or smoke barriers, including all joints, junctions, fire-stopped penetrations and smoke seals. Check that any additional penetrations have been adequately fire stopped.  Identify and record any services not permitted in fire-isolated exits (NCC Vol. One – Clause C3.9), that must be removed.	<b>Annual</b> inspections for damage or deterioration; identify and rectify any non-compliance; and as prescribed in AS1851 -2012, Sections 1 and 12 for protection of structural elements.  Refer table 12.4.2 for <b>yearly</b> service schedule for materials protecting structural elements.
4 Fire protection associated with construction joints, spaces and the like in and between building elements required to be fire-resisting with respect to integrity and insulation	AS1851 – 2012.	<b>Annual</b> inspections for damage, deterioration or unauthorised alteration. Refer tables 12.4.1.1 for schedule for walls 12.4.1.2 for floors and 12.4.1.3 for ceilings.

Emergency Service	Maintenance Standard	Occurrence
5 Fire doors (including sliding fire doors and their associated warning systems) and associated selfclosing, automatic closing and latching mechanisms	AS1851 - 2012 Sections 1 and 12.	Refer table 12.4.3.1 of AS1851 - 2012 for <b>six monthly</b> service schedule for hinged and pivoted fire resistant door-sets.  Refer also to table 12.4.3.2 of AS1851 for <b>three monthly</b> and <b>six monthly</b> service schedules for horizontal sliding fire resistant door-sets.
6 Fire windows (including windows that are automatic or permanently fixed in the closed position)	AS1851 – 2012, Sections 1, 12 and 13 and tables 12.4.6, 13.4.1.13 and 13.4.1.14.	Refer table 12.4.6 of AS1851 - 2012 for <b>yearly</b> service schedule for fire rated glazing.  Refer tables 13.4.1.13 and 13.4.1.14 for <b>six monthly</b> and <b>yearly</b> service schedules for mechanical and motorised operation where relevant.
7 Fire shutters	AS1851 – 2005 Sections 1, 12 and 13 and tables 12.4.5, 13.4.1.13 and 13.4.1.14.	Refer table 12.4.5 of AS1851 - 2012 for <b>yearly</b> service schedule.  Tables 13.4.1.13 and 13.4.1.14 for <b>six monthly</b> and <b>yearly</b> service schedules for mechanical and motorised operation where relevant.
8 Solid core doors (and required life safety doors) and associated self-closing, automatic closing and latching mechanisms	NCC Vol. One, Clause C3.11.	<b>Six monthly</b> inspections for damage, deterioration and check for correct operation of self-closers, latches, handles and any electronic strikes recommended.
9 Smoke doors and associated self-closing, automatic closing and latching mechanisms	AS1851 – 2012, Table 12.4.4 for six monthly service and annual service.	<b>Six monthly</b> service schedules for hinged and pivoted smoke doors or <b>yearly</b> for private residential apartment entrance doors (recommended due to impact on residents).
10 Proscenium walls (including proscenium curtains)	AS1851 – 2012, Sections 1 and 13.  Refer tables 13.4.1.11 and 13.4.1.12 and Manufacturer's Specifications.	<b>Six monthly</b> and <b>yearly</b> routines for mechanical operation of curtains.  <b>Six monthly</b> inspections to check integrity of walls and curtains.
11 Fire and smoke curtains generally (including at atrium roof)	AS 1851 – 2012, Sections 1 and 13.  Refer Tables 13.4.1.11 and 13.4.1.12 for six monthly and yearly routines for mechanical operation of fire curtains and smoke curtains.	<b>Six monthly</b> and <b>yearly</b> routines for mechanical operation of curtains.  <b>Six monthly</b> inspections to check integrity of curtains.
12 Bushfire protection measures	AS 3959 – 2009	<b>Annual</b> inspection.





Emergency Service	Maintenance Standard	Occurrence
<b>Part 2: Means of egress</b>		
<p>1 Paths of travel to exits including exit doors and doorways (other than fire or smoke doors) in a required exit, forming part of a required exit or in a path of travel to a required exit, and any associated self-closing, automatic closing, latching mechanisms, unlocking devices, ramps, stairways and clearance from obstructions and protection of openable windows.</p>	<p>Inspections should include checking the following (as applicable)-</p> <ul style="list-style-type: none"> <li>&gt; exits and paths of travel to exits remain unblocked (including at the point of discharge);</li> <li>&gt; there are no unprotected installations in exits or paths of travel to exits and any protection of openable windows have not been damaged or removed;</li> <li>&gt; slip resistant surfaces of stair treads and nosings have not been damaged or removed;</li> <li>&gt; tactile ground surface indicators have not been damaged or removed;</li> <li>&gt; exits are not lockable from the inside and are readily openable by a single downward action on a single device without a key from the side that faces a person seeking egress, unless fail-safe devices are fitted and are operational; and</li> <li>&gt; exits and paths of travel to exits remain unblocked (including at the point of discharge);</li> </ul>	<p><b>Three monthly</b> inspections of exits and paths of travel to exits are recommended to ensure doors are intact, operational and fitted with conforming hardware, check their ongoing compliance and ensure there are no impediments that could delay or prevent occupants evacuating to a safe place in an emergency, with no obstructions and no alterations.</p>

Emergency Service	Maintenance Standard	Occurrence
2 Discharge from exits (including paths of travel from open spaces to the public roads to which they are connected)	<p>Inspections should include checking the following (as applicable)-</p> <ul style="list-style-type: none"> <li>&gt; exits are not lockable from the inside and are readily openable by a single downward action on a single device without a key from the side that faces a person seeking egress, unless fail-safe devices are fitted and are operational;</li> <li>&gt; barriers or bollards protecting paths of travel and exits remain in place;</li> <li>&gt; slip resistant surfaces of stair treads and nosings have not been damaged or removed; and</li> <li>&gt; tactile ground surface indicators have not been damaged or removed.</li> </ul>	Inspections every <b>three months</b> are recommended to ensure there are no obstructions and no alterations.

Emergency Service	Maintenance Standard	Occurrence
<p>3 Exits (including fire-isolated stairways and ramps, non-fire-isolated stairways and ramps, stair treads, balustrades and handrails associated with exits, and fire-isolated passageways)</p>	<p>Inspections should include checking the following (as applicable)-</p> <ul style="list-style-type: none"> <li>&gt; separation of rising and descending flights and any associated signage is maintained;</li> <li>&gt; spaces under fire isolated stairs or ramps are not enclosed or used to store goods or materials of any kind unless they are enclosed with fire resistant construction;</li> <li>&gt; spaces under fire isolated stairs or ramps are not enclosed or used to store goods or materials of any kind unless they are enclosed with fire resistant construction;</li> <li>&gt; slip resistant surfaces of stair treads and nosings have not been damaged or removed; and</li> <li>&gt; tactile ground surface indicators have not been damaged or removed.</li> </ul>	<p>Inspection every <b>three months</b> are recommended to ensure there are no obstructions and no alterations.</p>
<p>4 Smoke lobbies to fire-isolated exits</p>		<p><b>Annual</b> inspections for damage, deterioration or unauthorised alteration are recommended.</p>
<p>5 Balustrades to paths of travel, public areas and fire safety systems</p>		<p><b>Annual</b> inspections are recommended to ensure there are no weaknesses, damage or alterations.</p>
<p>6 Open access ramps or balconies for fire-isolated exits</p>		<p><b>Annual</b> inspections are recommended for damage, deterioration or unauthorised alterations.</p>

### Part 3: Signs

Emergency Service	Maintenance Standard	Occurrence
1 Exit signs (including emergency directional signs)	<p>AS2293.2 - 1995 Sections 2 or 3 as relevant to the type of system (central system or a single point).</p> <p>For central systems (system where a number of emergency exit signs are supplied from a common power source), refer Sections 2.1, 2.2 and 2.3 for six monthly and yearly procedures.</p> <p>For single point systems (system employing only self-contained exit lights), refer Sections 3.1, 3.2 and 3.3 for six monthly and yearly procedures.</p> <p>Refer Section 3.4 for battery replacement.</p>	<p><b>Six monthly</b> and <b>annual</b> inspections are required by AS2293.2 – 1995, Sections 2 and 3. <b>Monthly</b> checks that exit signs are not damaged, and continue to be clearly visible to persons approaching the exit are recommended.</p>
2 Signs warning against the use of lifts in the event of fire	<p>Check for damage and visibility. Includes checking that wording and word size still comply.</p>	<p>It is recommended that there be an <b>annual</b> check that warning signs are not damaged, and that they continue to be clearly visible to persons approaching the lift.</p>
3 Warning signs on sliding fire doors and doors to non-required stairways, ramps and escalators		<p>It is recommended that there be an annual inspection to ensure compliant warning signage is in place.</p>
4 Signs, intercommunication systems, or alarm systems on doors of fire-isolated exits stating that re-entry to a storey is available		<p>It is recommended that there be an <b>annual</b> inspection to ensure compliant warning signage is in place.</p>
5 Identification signage on fire doors and smoke doors; signs on egress doors leading from fire-isolated passageways; signs and audible and visual alarms on sliding fire doors; chevron stripes identifying exits		<p>It is recommended that door signage be checked <b>six monthly</b> to ensure signs are not damaged and continue to be clearly visible to persons approaching the doorway or exit.</p>
6 Signs required on doors, in alpine areas, alerting people that they open inwards		<p><b>Annual</b> inspection to ensure compliant warning sign is in place.</p>
7 Fire order notices required in alpine areas		<p><b>Annual</b> inspection to ensure compliant warning sign is in place.</p>

Emergency Service	Maintenance Standard	Occurrence
8 Photo luminescent exit signs	Exit signs are to be clean, not damaged, have sufficient lighting levels in the vicinity of the sign to facilitate 'charging', and continue to be clearly visible to persons approaching the exit.	It is recommended these signs be checked <b>monthly</b> .

#### Part 4: Lighting

1 Emergency Lighting	<p>Refer sections 2.1, 2.2 and 2.3 of AS/NZS 2293.2 – 1995, six monthly and yearly procedures for central systems (system where a number of emergency lighting luminaires are supplied from a common power source).</p> <p>Refer sections 3.1, 3.2 and 3.3 of AS/NZS 2293.2 – 1995, six monthly and yearly procedures for single point systems (system employing only self-contained emergency lighting luminaires).</p>	<p>Every <b>six months</b>.</p> <p>Check power availability <b>monthly</b>.</p> <p>In addition, <b>six monthly</b> and <b>annual</b> procedures as prescribed in AS/NZS 2293.2 sections 2 or 3.</p> <p>For cool rooms and strongrooms, also check that the associated indicator lamp and the alarm positioned outside the chamber are functioning to manufacturer's specifications.</p>
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#### Part 5: Fire-fighting services and equipment

1 On-site fire pump sets	As prescribed in AS 1851 - 2012, Sections 1 and 3.	Refer AS1851 - 2012 tables 3.4.1, 3.4.2, 3.4.3 and 3.4.4 of for <b>monthly, six monthly, annual</b> and <b>five yearly</b> service schedules.
2 Fire hydrant system (including on-site fire mains and fire-service booster assemblies and connections)	AS1851 – 2012 Sections 1 & 4.	Refer AS1851 - 2012 tables 4.4.1, 4.4.2, 4.4.3 and 4.4.4 of for <b>monthly, six monthly, annual</b> and <b>five yearly</b> service schedules.
3 Water storage tanks for fire protection systems	As prescribed in AS1851 - 2012, Sections 1 and 5.	Refer AS1851 - 2012 tables 5.4.1, 5.4.2, 5.4.3, and 5.4.4 of for <b>monthly, six monthly, annual</b> and <b>ten yearly</b> service schedules.
4 Fire hose reel system	Refer AS1851-2012, Sections 1 and 9.	Refer AS1851 – 2012 tables 9.4.1 and 9.4.2 for <b>six monthly</b> and <b>annual</b> service schedules.

Emergency Service	Maintenance Standard	Occurrence
5 Sprinkler system (fire)	As prescribed in AS1851 - 2012, Sections 1 and 2. <i>(Where specialist systems are installed, check the relevant building and occupancy constraints are maintained).</i>	<p><b>FOR WET PIPE SYSTEMS-</b> Refer tables 2.4.2.1, 2.4.2.2, 2.4.2.3 and 2.4.2.4 of AS1851 - 2012 for <b>monthly, six monthly, annual, five yearly, ten yearly, twenty five yearly</b> and <b>thirty yearly</b> service schedules.</p> <p><b>FOR DRY PIPE SYSTEMS-</b> Refer tables 2.4.3.1, 2.4.3.2, 2.4.3.3 and 2.4.3.4 of AS1851 - 2012 for <b>monthly, six monthly, annual</b> and <b>five yearly</b> service schedules.</p> <p><b>FOR DELUGE AND WATER SPRAY SYSTEMS-</b> Refer tables 2.4.4.1, 2.4.4.2, 2.4.4.3 and 2.4.4.4 of AS1851 - 2012 for <b>monthly, six monthly, annual</b> and <b>five yearly</b> service schedules.</p> <p><b>FOR PRE-ACTION SYSTEMS-</b> Refer tables 2.4.5.1, 2.4.5.2, 2.4.5.3 and 2.4.5.4 of AS1851 - 2012 for <b>monthly, six monthly, annual</b> and <b>five yearly</b> service schedules.</p>
6 Portable fire extinguishers	Refer AS1851 – 2012, Sections 1 and 10. Also check annually that no additional risks have arisen due to the changed nature or quantity of materials stored, displayed or used in the building.	Refer tables 10.4.1, 10.4.2 and 10.4.3 of AS1851 – 2012, for <b>six monthly, annual</b> and <b>five yearly</b> service schedules.
7 Fire control centres (or rooms)	Check that any additional installations comply and that the ambient sound level within the fire control centre/ room does not exceed the max allowable level when all fire safety equipment is operating.	<b>Annual</b> inspection for ongoing compliance with NCC construction and content requirements.
8 Wall wetting sprinkler systems	AS1851 - 2012 Sections 1 & 2 and tables 2.4.4.1, 2.4.4.2, 2.4.4.3 and 2.4.4.4.	Every <b>six months</b> to ensure compliance, no damage or deterioration and water supply availability.
9 Fire sprinklers for protection of openings	AS1851 – 2012, Sections 1 & 2 and tables 2.4.4.1, 2.4.4.2, 2.4.4.3 and 2.4.4.4.	For <b>monthly, six monthly, annual</b> and <b>five yearly</b> service schedules as per deluge and water spray systems.

Emergency Service	Maintenance Standard	Occurrence
10 Fire sprinklers for protection of curtain or panel walls	AS1851 – 2012, Sections 1 & 2 Sprinklers may be installed as part of a full sprinkler system or form a stand-alone system.	Inspected and maintained to the relevant parts of AS1851 that apply to that system.
11 Proscenium curtain deluge system	AS1851 – 2012 Sections 1, 2 and 6, as relevant.  Control and actuation of deluge system may be via multiple jet control, wet pilot or fire/smoke detectors.	Refer to relevant parts of AS1851 - 2012 for applicable service requirements.
12 Special hazards fire-fighting systems and equipment	For gaseous, aerosol and open nozzle water mist special hazard fire suppression systems as prescribed in AS1851 - 2012, Sections 1 and 7 (and Section 6 if incorporating electrical detection and control systems).	AS1851 – 2012. For special hazard fire suppression systems refer tables 7.4.2, 7.4.3, 7.4.4 and 7.4.5 for <b>monthly, six monthly, annual</b> and <b>ten yearly</b> service schedules.  For detection and control parts of special hazard systems if relevant, refer to tables 6.4.1.2, 6.4.1.3, 6.4.1.4 and 6.4.1.5 for <b>monthly, six monthly, annual</b> and <b>five yearly</b> service schedules.
13 Occupancy hazards in fire compartments with a floor area >2,000m <sup>2</sup> , or a volume >12,000m <sup>3</sup>	In non-sprinklered compartments, <b>annual</b> inspection to ensure that the occupancy has not changed and become one of excessive fire hazard (as defined in NCC Volume One – Table E1.5 and requiring sprinkler protection).  Refer to the note 4 of Table E1.5 of the NCC, Vol. One for examples of occupancies that may have hazardous processes, storage and goods.	If the occupancy becomes one of excessive fire hazard, changes must either be made to the occupancy to reduce the fire hazard, or sprinklers installed to address the increased fire risk.  Occupancies of excessive hazard are buildings that contain-  (i) Hazardous processes or storage, or  (ii) Combustible goods with an aggregate volume exceeding 1,000m <sup>3</sup> and stored to a height greater than 4m.



Emergency Service	Maintenance Standard	Occurrence
<b>Part 6: Air-handling systems</b>		
1 <b>Essential fans and fan motors</b>	As prescribed in AS1851 - 2012, Sections 1 and 13.	AS1851 – 2012. Refer tables 13.4.1.2 and 13.4.1.3 for <b>three monthly</b> and <b>annual</b> service schedules for fans and motors.
2 <b>Smoke detectors for smoke control systems</b>	As prescribed in AS1851 - 2012, Sections 1 and 6.	
3 <b>Fire mode operation</b>		
(i) System changeover in fire mode condition	As prescribed in AS1851 - 2012, Sections 1 and 13.	AS1851 – 2012. Refer tables 13.4.2.4 and 13.4.2.5 for <b>three monthly</b> and <b>annual</b> routine service schedules for system changeover under fire condition.
(ii) Fire shut down of equipment	As prescribed in AS1851 - 2012, Sections 1 and 13.	AS1851 – 2012. Refer tables 13.4.2.4 and 13.4.2.5 for three monthly and annual service schedules for system change-over under fire conditions and 13.4.2.8 for yearly test and records schedule for fire and smoke control features of mechanical services system shutdown.
(iii) Control of supply and/or return air fans or equipment	As prescribed in AS1851 - 2012, Sections 1 and 13.	AS1851 – 2012. Refer tables 13.4.1.2 and 13.4.1.3 for <b>three monthly</b> and <b>annual</b> routine service schedules for fans and motors.
(iv) Fire mode operation of air dampers for outside air, recycle air, relief air, and zone control dampers for supply and return air (including motorised fire and/or smoke and combination dampers).	As prescribed in AS1851 - 2012, Sections 1 and 13.	AS1851 – 2012. Refer tables 13.4.1.5, 13.4.1.6, 13.4.1.7 and 13.4.1.8 for <b>six monthly</b> and <b>annual</b> service schedules for air control dampers.
(v) Fire dampers – mechanical and intumescent.	As prescribed in AS1851 - 2012, Sections 1 and 13.	AS1851 – 2012. Refer table 13.4.1.4 for <b>annual</b> service schedule for fire dampers.
4 <b>Smoke hazard management</b>		
(i) Automatic air pressurisation for fire-isolated exits and fire-isolated lift shafts.	As prescribed in AS1851 - 2012, Sections 1 and 13.	AS1851 – 2012. Refer tables 13.4.2.2 and 13.4.2.3 for <b>three monthly</b> and <b>annual</b> tests and records schedule for fire isolated exit pressurisation systems.

Emergency Service	Maintenance Standard	Occurrence
(ii) Smoke exhaust system	As prescribed in AS1851 - 2012, Sections 1 and 13.	AS1851 – 2012. Refer tables 13.4.2.6, 3.4.2.7 and 13.4.3.2 for <b>three monthly</b> and <b>annual</b> tests and records schedule for fire and smoke control features of mechanical services for smoke exhaust systems.
(iii) Smoke curtains, baffles or bulkheads (including concealed voids).	As prescribed in AS1851 - 2012, Sections 1 and 13. Annually check curtains and baffles and bulkheads forming smoke reservoirs for damage or deterioration that could compromise its integrity.	AS1851 – 2012. Refer tables 13.4.1.11 and 13.4.1.12 for <b>six monthly</b> and <b>annual</b> routines for fire curtains and smoke curtains and table 13.4.3.4 for yearly check of smoke reservoirs.
(iv) Smoke and heat vents (including automatic vents for atriums)	As prescribed in AS1851 - 2012, Sections 1 and 13 and check activation.	AS1851 – 2012. Refer tables 13.4.1.9 and 13.4.1.10 for <b>six monthly</b> and <b>annual</b> service schedules for automatic smoke and heat vents.
(v) Smoke dampers	As prescribed in AS1851, Sections 1 and 13.	AS1851 – 2012. Refer tables 13.4.1.4 for <b>annual</b> service schedule for smoke dampers and table 13.4.2.9 for <b>annual</b> test and records schedule for fire and smoke control features of mechanical services smoke dampers.
(vi) Make up air provisions, including louvres and automatic doors	As prescribed in AS1851 - 2012, Sections 1 and 13.	AS1851 – 2012. Refer tables 13.4.1.18 and 13.4.1.19 for <b>monthly</b> and <b>annual</b> routine service schedules for outdoor air intakes.
(vii) Provision for special hazards	Check <b>annually</b> for any changes to the type or quantity of materials stored, displayed or used in the building.	Additional smoke hazard management measures may be necessary due to changes to the type or quantity of materials stored, displayed or used in the building.
(viii) Zone smoke control systems	As prescribed in AS1851 - 2012, Sections 1 and 13.	AS1851 – 2012. Refer tables 13.4.2.5 for <b>annual</b> routine service schedules.

Emergency Service	Maintenance Standard	Occurrence
(ix) Miscellaneous air-handling systems serving more than one fire compartment (refer Sections 5 and 6 of AS/NZS1668.1 - 2015 “The use of ventilation and air conditioning in buildings—Part 1: Fire and smoke control in buildings”)	As prescribed in AS1851 – 2012.	AS1851 – 2012. Refer all relevant sections.
(x) Car park mechanical ventilation system	As prescribed in AS1851 – 2012.	AS1851 – 2012. Refer all relevant sections.
(xi) Atrium smoke control system	As prescribed in AS1851 – 2012.	AS1851 – 2012. Refer all relevant sections.
5 <b>Kitchen exhaust systems, including grease filters</b>	As prescribed in AS1851, Sections 1 and 13.	Refer AS1851 – 2012, tables 13.4.1.2 and 13.4.1.3 for <b>three monthly</b> and <b>annual</b> routines for associated fans and motors and tables 13.4.1.16 and 13.4.1.17 for <b>monthly</b> and <b>annual</b> routine service schedules for kitchen exhaust systems.

#### Part 7: Automatic fire detection and alarm systems

1 Includes: Smoke and heat alarm system Smoke and heat detection system Atrium fire detection and alarm system	AS1851 – 2012, Sections 1 and 6.	Refer AS1851 – 2012, tables 6.4.1.4, 6.4.3.1, 6.4.2.2, 6.4.2.3, for <b>monthly, six monthly, annual</b> and <b>five yearly</b> routine inspections as necessary.
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#### Part 8: Occupant warning systems

1 Sound system and intercom system for emergency purposes, including Warden Intercom Points (WIPs)	AS1851 – 2012, Sections 1 and 6.	Refer AS1851 – 2012, tables <b>6.4.1.4, 6.4.3.1, 6.4.4.1</b> , for <b>monthly and annual</b> routine inspections as necessary.
2 Building occupant warningsystem	AS1851 – 2012, Sect. 9.	Refer AS1851 – 2012, tables 6.4.1.2, 6.4.1.4, 6.4.1.5, 6.4.3.1, 6.4.3.2 and 6.4.3.3, for <b>monthly, annual</b> and <b>five yearly</b> routine inspections as necessary.
3 Emergency warning and intercommunication systems	AS1851 – 2012 Sect. 10.	Refer AS1851 – 2012, tables 6.4.1.4, 6.4.3.2, 6.4.3.3, for <b>monthly, annual</b> and <b>five yearly</b> routine inspections as necessary.

#### Part 9: Lifts

1 Stretcher facilities in lifts	As per criteria and dimensions required by NCC – Vol. One – Clause E3.2.	<b>Annual</b> inspection, to ensure NCC compliance.
2 Emergency lifts	AS1735.	As per manufacturer’s specifications but no less than <b>annually</b> .

Emergency Service	Maintenance Standard	Occurrence
3 Passenger lift fire service controls		As per manufacturer's specifications but no less than <b>annually</b> .

#### Part 10: Standby power supply system

1 Emergency and standby power supply systems	<p>Maintenance of specific standby power supply systems should be carried out in accordance with the manufacturer's recommendations for the particular type of system and with consideration to the critical nature of the system. The frequency of maintenance routines and the test loading may need to increase accordingly.</p> <p>Monthly testing of the driver unit should be undertaken under part load for installations deemed to be of a more critical nature. The driver unit should not be run for more than 30 mins under no load as it this can cause glazing of the bores.</p> <p>Particular attention should be given to the battery condition, quality of fuel stored on site, functionality of automatic changeover systems and periodic load testing to confirm output capacity and prevent glazing of the bores.</p> <p>Emergency stand-by power systems for hospital sites may also require more frequent testing under increased loads due to their additional operational requirements.</p>	<p>Maintenance and testing shall extend to both the diesel/gas generating power unit and the alternating unit, including switching equipment, based on the following as a minimum.</p> <p><b>Monthly-</b> Inspect and test batteries for specific gravity, fluid levels, voltage and charging. Inspect coolant and fuel availability.</p> <p>Run driver unit for 30 mins under no load capacity, with assessment of speed governor operation, excess vibration and heat. Inspect after operation. Check alternator and electrical connections.</p> <p><b>Six monthly:</b> Testing to ensure auxiliary power is operable.</p> <p><b>Annually-</b> Inspect and test as per monthly routine above and inspect/test/replace (as appropriate) oil, oil filters, air filters and coolant.</p> <p>Inspect crankcase breathers, condensate traps and exhaust system. Test fuel supply quality and check spare fuel drum capacity.</p> <p>In lieu of running the driver unit under no load as per monthly routines, simulate power failure and run system for not less than 2hrs at full load to verify required system operation and check operation of transfer switching.</p>
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#### Part 11: Building clearance and access for fire appliances

1 Clearance for open space around large isolated buildings	NCC Volume One and Building Approval.	<b>Annual</b> inspection to ensure ongoing compliance of open space and vehicular access provisions, such as fire-fighting facilities.
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Emergency Service	Maintenance Standard	Occurrence
2 Vehicular access for fire appliances, such as around large isolated buildings	NCC Volume One and Building Approval.	<b>Annual</b> inspection to ensure unobstructed access maintained to buildings and fire-fighting facilities are maintained.
<b>Part 12: Other safety measures</b>		
1 Swimming pool fencing	Ensure fencing meets requirements of NCC Vol. One – Clause G1.1 and ACT G1.1(d)-(e) and AS1926 Part 1 – 2012 and Part 2 – 2007	<b>Annual</b> inspection.
2 Refrigerated chambers, strong rooms and vaults	Ensure the doors, internal lighting, switches, indicator lamps and alarms comply with NCC Vol. One – Clause G1.2.	<b>Annual</b> inspection.
3 Performance Solutions applied to building approval	Relevant maintenance standard, including Australian Standards, NCC references if applicable and performance solution requirements, i.e. Fire Engineered Design Report.	As per relevant Australian Standard or performance solution requirements, i.e. Fire Engineered Design Report.

## EARTHWOOL® WALL BATT

November 2021



### APPLICATIONS



### DESCRIPTION

The Earthwool® Wall batt range includes a selection of R-values to provide builders, designers, installers and DIYers the opportunity to choose the best thermal performance for their project. Earthwool® Wall batt will also absorb the transfer of unwanted sound from outside to inside the building. In addition to sound absorption, Earthwool® Wall batt will improve the thermal comfort and energy efficiency of the building in which it has been installed thus keeping it cool in summer and warm in winter.

The super-soft and easy to handle benefits of Earthwool® have been further enhanced with TwinTech®. TwinTech® heralds another advancement insulation manufacture - the dual forming technique ensures there is a smooth finish on both sides of the insulation, which improves product handling and appearance. Earthwool® is made using up to 80% recycled glass and with ECOSE® Technology, a sustainable, bio-based binder that contains no added formaldehyde.

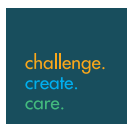
### PERFORMANCE

<b>Thermal</b>	AS/NZS 4859.1 (2018).
<b>Fire Hazard Properties (AS/NZ 1530.3)</b>	Ignitability: 0, Spread of Flame: 0, Heat Evolved: 0, Smoke Developed: 0-1.
<b>Water Vapour Absorption</b>	Less than 5% by weight.
<b>Microbial Growth</b>	Does not support microbial growth.
<b>Corrosion Resistance</b>	No greater than sterile cotton.
<b>Combustibility (AS 1530.1)</b>	Non-combustible.

### BENEFITS

- ✓ TwinTech® - smooth finish on both sides
- ✓ High thermal performance - year round comfort
- ✓ Sound absorbing
- ✓ Non-combustible
- ✓ Saves energy - lower energy bills
- ✓ No added formaldehyde
- ✓ Soft to handle and install
- ✓ 50 year warranty
- ✓ Compression packed - more product per pack
- ✓ Odourless.

### CERTIFICATION



## EARTHWOOL® WALL BATT

November 2021

### SPECIFICATIONS

#### BASIC PERFORMANCE

Timber Frame	Product Code	R-Value (m <sup>2</sup> K/W)	Thermal Conductivity (W/mK)	Thickness (mm)	Width (mm)	Length (mm)	Area per pack (m <sup>2</sup> )	Pieces per pack
	2437521	1.5	0.050	75	430	1160	20.9	42
	2437523	1.5	0.050	75	580	1160	28.3	42
	2437525	2.0	0.045	90	430	1160	16.0	32
	2437528	2.0	0.045	90	580	1160	21.5	32

All dimensions are nominal.

#### THERMACOUSTIC SUPERIOR

Metal Frame	Timber Frame	Product Code	R-Value (m <sup>2</sup> K/W)	Thermal Conductivity (W/mK)	Thickness (mm)	Width (mm)	Length (mm)	Area per pack (m <sup>2</sup> )	Pieces per pack
		683634	2.0 HD	0.038	75	430	1160	10.0	20
		683686	2.0 HD	0.038	75	580	1160	13.5	20
		683687	2.0 HD	0.038	75	450	1200	10.8	20
		683688	2.0 HD	0.038	75	600	1200	14.4	20

All dimensions are nominal. | HD = High Density.

#### SOUNDSHIELD SUPERIOR

Timber Frame	Product Code	R-Value (m <sup>2</sup> K/W)	Thermal Conductivity (W/mK)	Thickness (mm)	Width (mm)	Length (mm)	Area per pack (m <sup>2</sup> )	Pieces per pack
	2437532	2.5 HD	0.036	90	430	1160	7.00	14
	2437533	2.5 HD	0.036	90	580	1160	9.4	14

All dimensions are nominal. | HD = High Density.

#### SOUNDSHIELD PLUS ULTIMATE

Timber Frame	Product Code	R-Value (m <sup>2</sup> K/W)	Thermal Conductivity (W/mK)	Thickness (mm)	Width (mm)	Length (mm)	Area per pack (m <sup>2</sup> )	Pieces per pack
	256736	2.7 SHD	0.033	90	430	1160	5.0	10
	251511	2.7 SHD	0.033	90	580	1160	6.7	10
	683675	4.0 HD	0.035	140	430	1160	4.5	9
	683664	4.0 HD	0.035	140	580	1160	6.1	9

All dimensions are nominal. | SHD = Super High Density.

## EARTHWOOL® WALL BATT

November 2021

### ADDITIONAL INFORMATION

#### Specification Compliance

AS/NZS 4859.1 (2018) Materials used in the Thermal Insulation of Buildings, AS 1530.1 Method of Fire Testing on Building Materials, AS 1530.3 Early Fire Hazard Properties. Earthwool® Wall batt will contribute to compliance with the National Construction Code (NCC) requirements.

#### Specification Guide

The acoustic insulation shall be Earthwool® Wall batt, R\* or \*kg/m<sup>3</sup>, \*mm thick, BRANZ appraised to meet the provisions of the NCC. The product will be non-combustible, Red List Free as labelled by Declare, Global GreenTag Level A certified, glasswool insulation with high post-consumer recycled glass content and with ECOSE® Technology. It will be manufactured under Quality Assurance Standards ISO 9001:2008 and ISO 14001:2004 by Knauf Insulation and shall be installed in accordance with the instructions issued by them.

\*architect to insert details of products used.

#### Bio-solubility

The formulation used for Earthwool® Wall batt has been independently assessed to meet the requirements of the stringent Note Q standard (and is therefore consistent with the highest Australian and New Zealand industry standards), and also assessed by Knauf Insulation against the criteria of the Safe Work Australia (SWA). Earthwool® insulation is classified as a non-hazardous substance in line with the NOHSC: 1008 3rd Edition.

#### Environmental

Earthwool® Wall batt represents no known threat to the environment and comes with GreenTag Level A certification, Declare label and a certified Environmental Product Declaration. Earthwool® insulation has low VOC and benefits from ECOSE® Technology.



Earthwool® products made with ECOSE® Technology benefit from a no added formaldehyde binder, which is less energy intensive than traditional binders and is based on rapidly renewable, bio-based materials instead of petro-based chemicals. The technology has been developed for Knauf Insulation's glass and rock mineral wool products, enhancing their environmental credentials without affecting the thermal, acoustic or fire performance. Earthwool® products made with ECOSE® Technology contain no added dyes or artificial colours.

#### Knauf Insulation Ltd

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Technical Advisory Centre: tech.au@knaufinsulation.com

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#### Proven Performance

- Earthwool® insulation is preferred by professional installers concerned with quality, appearance and productivity.
- Earthwool® insulation has excellent acoustical properties reduce sound transmission in the home when properly installed.

#### Durability

- Earthwool® insulation is odourless, rot proof, non-hygroscopic, does not sustain vermin and will not encourage the growth of fungi, mould or bacteria.

#### Superior Handling

- Highly resilient insulation recovers quickly to full thickness for a snug fit and superior finished aesthetics.
- Consistent quality materials feel good, cut easily and install fast.
- Low dust for easier handling and increased productivity.

#### Convenient Packaging, Easier Handling

- Earthwool® Wall batt is packaged in a strong, white poly bag that offers excellent protection from abuse, dust and moisture.
- Earthwool® Wall batt packages feature easy to follow installation instructions.
- MasterBag insulation units (containing multiple packs) ensure reduced handling costs with improved compression – more square metres per bag, more square metres per truck load, fewer trips to the job site and less warehouse space for storage.

#### Superior Service and Support

- Knauf Insulation is totally focused on providing first class customer service, producing high quality product and 'on time in full' deliveries.
- Knauf Insulation supports a professional network of distributors and re-sellers in order to service a growing insulation market.
- Knauf Insulation is committed to providing a comprehensive range of relevant sales and marketing literature and web-based technical information to support specifiers and customers.



# FLAMMABILITY OF LYSAGHT® STEEL PRODUCTS

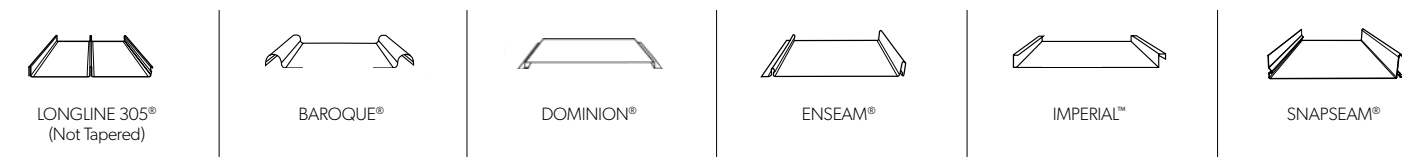
## SCOPE

Flammability of LYSAGHT® steel building products including roofing, walling, structural and rainwater goods manufactured from COLORBOND® steel, ZINCALUME® steel or galvanised steel from BlueScope.

## THE LYSAGHT® STANDARD ROOFING RANGE\*



## THE LYSAGHT ZENITH™ ROOFING RANGE\*



\*Not all products available in all regions. Please check product availability on [www.lysaght.com](http://www.lysaght.com) or with your nearest Lysaght branch.

## CONTEXT

Fire performance is a common query about the LYSAGHT® range of steel building products. The data presented in this bulletin has been compiled to provide designer's, builder's, installers, and users basic information on the fire resistance properties of LYSAGHT® steel products.

## AUSTRALIAN NATIONAL CONSTRUCTION CODE

The Australian National Construction Code (NCC) sets out criteria for the determination of Non Combustible materials at:

### C1.9.(e).(v) NON-COMBUSTIBLE MATERIALS

The following materials, may be used wherever a non-combustible material is required:

- (e) Pre-finished metal sheeting having a combustible surface finish not exceeding 1mm thickness and where the Spread-of-Flame Index of the product is not greater than 0:

And;

### C3.7.1.1.(e) GENERAL CONCESSION - NON-COMBUSTIBLE MATERIALS

The following materials, though combustible or containing combustible fibres, may be used wherever a non-combustible material is required in the Housing Provisions:

- (e) Pre-finished metal sheeting having a combustible surface finish not exceeding 1mm thickness and where the Spread-of-Flame Index of the product is not greater than 0:

## BLUESCOPE TESTING

BlueScope has commissioned CSIRO to undertake a comprehensive range of testing to determine the Flammability of various permutations of COLORBOND® steel, ZINCALUME® steel and galvanised steel material. These tests have been conducted in accordance with AS1530.3: SIMULTANEOUS DETERMINATION OF IGNITABILITY, FLAME PROPAGATION, HEAT RELEASE AND SMOKE RELEASE.

The results of this testing are summarised at Table 1 (next page).

**Table 1:**

Product	Test Cert	Ignitability Index <sup>(1)</sup> (0-20)	Spread of Flame Index <sup>(2)</sup> (0-10)	Heat Evolved Index <sup>(3)</sup> (0-10)	Smoke Developed Index <sup>(4)</sup> (1-10)
0.70 BMT COLORBOND® steel Astro™	FNE11604	0	0	0	2
0.35 BMT COLORBOND® steel Woodland Grey®	FNE11605	0	0	0	2
0.55 BMT COLORBOND® Metallic steel Citi	FNE11606	0	0	0	1
0.42 BMT galvanised steel	FNE11600	0	0	0	2
0.42 BMT TRUECORE® steel	FNE11601	0	0	0	1
0.42 BMT ZINCALUME® steel	FNE11602	0	0	0	2

Explanation of four indices are assigned to materials tested to AS 1530.3

1. Ignitability index – a measure of the tendency for the gaseous pyrolysis products to be ignited during the test. Materials are rated from zero to 20, with materials that do not ignite having an index of zero.
2. Spread of flame index – a measure of the rate of radiant heat release once a material has ignited. Materials are rated on a scale of zero to 10. The maximum spread of flame index is 10, and the minimum zero.
3. Heat evolved index - is a measure of the quantity of radiant heat released by the test material in a specified time interval after ignition. Materials are rated on a scale of zero to 10, with increasing indices indicating increasing quantities of radiant heat evolution.
4. Smoke developed index - relates to the maximum optical density of the smoke produced during the test. The index has a range of zero to 10, with each increase of one index unit indicating a doubling in the optical density of the smoke produced

## CONCLUSION

As a result of this testing we are able to determine that LYSAGHT® products manufactured from BlueScope's COLORBOND® steel, ZINCALUME® steel or galvanised steel materials all have a Spread-of-Flame index of 0 (zero) and as such are considered non-combustible materials in accordance with the National Construction Code clauses C1.12 (e) and C7.12 (e).

Additional information in relation to use of COLORBOND® steel products in bush fire prone areas may be sourced from The BlueScope Fact File Steel cladding details for bushfire-prone construction at: [www.bluescopesteel.com.au/tools-and-resources/bushfire-design](http://www.bluescopesteel.com.au/tools-and-resources/bushfire-design)



**FOR YOUR NEAREST SUPPLIER VISIT:**

**[WWW.LYSAGHT.COM](http://WWW.LYSAGHT.COM)**

**FOR SALES ENQUIRIES CALL 13 30 38**

**FOR TECHNICAL ENQUIRIES CALL 1800 641 417**

COLORBOND® steel, ZINCALUME® steel, BlueScope, the BlueScope brand mark, ® product and product brand names are registered trademarks and ™ product and product brand names are trademarks of BlueScope Steel Limited.

The LYSAGHT® range of products is exclusively made by or for BlueScope Steel Limited trading as Lysaght. © BlueScope Steel Limited February 2020 ABN 16 000 011 058. All rights reserved.

## PRODUCT DESCRIPTIONS

All descriptions, specifications, illustrations, drawings, data, dimensions and weights contained in this catalogue, all technical literature and websites containing information from Lysaght are approximations only. They are intended by Lysaght to be a general description for information and identification purposes and do not create a sale by description. Lysaght reserves the right at any time to:

- (a) supply Goods with such minor modifications from its drawings and specifications as it sees fit; and
- (b) alter specifications shown in its promotional literature to reflect changes made after the date of such publication.

### DISCLAIMER, WARRANTIES AND LIMITATION OF LIABILITY

This publication is intended to be an aid for all trades and professionals involved with specifying and installing Lysaght products and not to be a substitute for professional judgement.

Terms and conditions of sale available at local Lysaght sales offices.

Except to the extent to which liability may not lawfully be excluded or limited, BlueScope Steel Limited will not be under or incur any liability to you for any direct or indirect loss or damage (including, without limitation, consequential loss or damage such as loss of profit or anticipated profit, loss of use, damage to goodwill and loss due to delay) however caused (including, without limitation, breach of contract, negligence and/or breach of statute), which you may suffer or incur in connection with this publication.

### IMPORTANT NOTE:

When considering the information presented in this bulletin it is important to understand the difference between “flammability” and “fire rating”.

**Flammability** is a measure of how easily a specific material ignites or sustains a combustion reaction.

**Fire ratings** are applied to complete systems and not to individual materials or components of the system. Fire ratings, or Fire Resistance Level (FRL) refer to the fully constructed system's ability to withstand structural failure, prevent the spread/penetration of flames and ability to insulate interior elements from maximum specified temperatures. It is often expressed in minutes without failure for each of the three elements i.e. 60/60/60, -/120/120 anywhere from 30 minutes up to 240 minutes.

National Construction Code:

The National Construction Code (NCC) is an initiative of the Council of Australian Governments (COAG) developed to incorporate all on-site construction requirements into a single code. The NCC comprises the Building Code of Australia (BCA), Volumes One and Two; and the Plumbing Code of Australia (PCA), as Volume Three.





*Building Act 2004, S151*  
**Building Approval**

Project ID: B2023500

### PART A - PROJECT DETAILS

Unit	Block	Section	Division (Suburb)	District	Jurisdiction
	4	41	LYNEHAM	CANBERRA CENTRAL	Australian Capital Territory

### PART B - WORKS REQUIRING BUILDING APPROVAL

Item of building work to which this Building Approval relates:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
9b	Alterations	EDUCATIONAL BUILDING	New School Building	B	2	610.00	Sch 2.2(a)(xi)
10a	Other	SEE DESCRIPTION	Covered Walkway	NA	2	40.00	Sch 2.2(a)(xi)

**The following work is exempt from development approval:**

- Schools

### PART C - CERTIFIERS DECLARATION

I declare that in issuing this building approval under section 28 of the Building Act 2004:

- I am satisfied on reasonable grounds that the plans meet each applicable approval requirement under section 29 and is not prevented from being issued under section 30 or section 30A
- I have supplied all documents as required under 3.3 Building Act 2004
- I have prepared a notice (building approval certificate) certifying what approval requirements apply to the application and why the building approval is not prevented from being issued; and
- I have given the building approval certificate to the applicant.

In performing services as a certifier in relation to the work detailed in this application I am not in breach of my entitlement to act as a certifier in accordance with the Building Act 2004.

Full Name	Address	License Number	Expiry Date
CBS COMMERCIAL CERTIFIERS PTY LTD	PO Box 76 MITCHELL ACT 2911	2019938	9/09/2023

Date Issued : 15/02/2023

### NOTES

#### Utilities

This application must also be accompanied by a Statement of Compliance from each relevant utility provider (for water, sewerage, electricity and stormwater) which confirms that the location and nature of earthworks, utility connections, proposed buildings, pavements and landscape features comply with utility standards, access provisions and asset clearance zones.

**Note 1:** If there is no stormwater easement or Territory owned stormwater pipes located within the property boundary, a "Statement of Compliance" for stormwater from TAMS (Asset Acceptance) is not required to be obtained.

**Note 2:** Where there is conflict between planning and utility requirements, the utility requirements take precedence over other codified or merit provisions.

## **Utilities – Demolition Only**

This application must be accompanied by a Statement of Endorsement for utilities (including water, sewerage, electricity and stormwater) stating that:

- all network infrastructure on or immediately adjacent to the site has been identified on the plan
- all potentially hazardous substances and conditions (associated with or resulting from the demolition process) that may constitute a risk to utility services have been identified
- all required network disconnections have been identified and the disconnection works comply with utility requirements
- all works associated with the demolition comply with and are in accordance with utility asset access and protection requirements

**Note: The documentation provided to the utility provider for endorsement must be consistent with the documentation that forms part of a development approval or the documentation verified as exempt from requiring development approval by a licensed certifier.**

## **Asbestos Advice**

If documents accompanying building approval do not include an asbestos assessment report as per the Building Act 2004, the building approval must have an Asbestos Advice attached as per the Act

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.

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## APPOINTMENT OF BUILDER & APPLICATION FOR COMMENCEMENT NOTICE

*Building Act 2004, S151*

In completing this form the owner is authorising the builder nominated below to apply to the appointed certifier to issue a Commencement Notice for the works detailed in this application form.

### PART A PROJECT DETAILS

Block	<input type="text" value="4"/>	Section	<input type="text" value="41"/>	Suburb	<input type="text" value="Lyneham"/>	Unit No.	<input type="text"/>
Street Address	<input type="text" value="136 BRIGALOW ST LYNEHAM"/>						
Certifier Name	<input type="text" value="CBS Commercial Certifiers Pty Ltd"/>						

Description of Building Works relevant to this application-If more than 6 items please attach further details

1	<input type="text" value="New School Building"/>
2	<input type="text" value="Covered Walkway"/>
3.	<input type="text"/>
4	<input type="text"/>

### PART B OWNER DETAILS – Please Print

All owners must be listed

Owner 1 will be considered the contact person in relation to this application

Company Details

Owner 1	<input type="text" value="LARRY ZWAIKONBERG"/>	Owner 2	<input type="text"/>
Owner 3	<input type="text"/>	Owner 4	<input type="text"/>

Postal Address

Suburb  State  Postcode

Phone Number Business Hours  Mobil

EMAIL ADDRESS

Approved form AF2016-79 approved by David Middlemiss, Construction Occupations Deputy Registrar on 02 August 2016 under section 151 of the Building Act 2004. This form repeals AF2014-72

Authorised by the ACT Parliamentary Counsel—also accessible at [www.legislation.act.gov.au](http://www.legislation.act.gov.au)

<b>PART C</b>	<b>APPOINTMENT OF BUILDER</b>
---------------	-------------------------------

I/we the owner/s have appointed the person whose details appear below as the builder in relation to the building works described in this form

<b>Licence Holders Name as it appears on licence card</b>	Sch 2.2(a)(xi), Sch 2.2(a)(ii)		
<b>Licence Number</b>	Sch 2.2(a)(xi)	<b>Class</b>	A
		<b>Expiry Date</b>	Sch 2.2(a)(xi)
<b>List any conditions or endorsements on licence</b>	NIL		
<b>EMAIL ADDRESS</b>	Sch 2.2(a)(xi)		

<b>PART D</b>	<b>NOMINEE'S DETAILS</b>
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If the builder is a company or partnership provide details of the Nominee who will supervise the building

<b>Nominee's Name</b>			
<b>Licence Number</b>		<b>Class</b>	
		<b>Expiry Date</b>	
<b>Signature of Nominee</b>		<b>Date</b>	

<b>PART E</b>	<b>OWNER SIGNATURE</b>		
<b>Owner 1</b>	Greg Zwajgenberg	Signature	Sch 2.2(a)(ii) /03/2021
<b>Owner 2</b>		Signature	
<b>Owner 3</b>		Signature	
<b>Owner 4</b>		Signature	DATE:

<b>PART F</b>	<b>BUILDER APPLICATION TO CERTIFIER FOR COMMENCEMENT NOTICE</b>
---------------	---

I hereby apply to the building certifier listed above for a commencement notice for the works detailed in Part A of this form in accordance with the Building Act 2004.

- A site sign was not required to be displayed prior to making this application.
- A site sign was required to be displayed prior to making this application and I declare that a compliant sign was erected and displayed for the required period.

<b>Signature of Builder</b>		<b>Date</b>	9.3.21
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**NOTE:** There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

<b>PART G</b>	<b>INSURANCE OR FIDELITY CERTIFICATE</b>
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For residential building work please provide details of insurance where applicable

<b>Insurance Provider</b>		<b>Policy No.</b>		<b>Date Issued</b>	
---------------------------	--	-------------------	--	--------------------	--

Approved form AF2016-79 approved by David Middlemiss, Construction Occupations Deputy Registrar on 02 August 2016 under section 151 of the Building Act 2004. This form repeals AF2014-72

**PLEASE NOTE:**

- ▶ A copy of this notice and where applicable the residential building insurance policy or fidelity certificate must be given to the Construction Occupations Registrar within one (1) week of the issue date.
- ▶ A copy of the Commencement Notice must also be provided to the owner/s.

**Privacy Notice**

The personal information on this form is provided to Access Canberra to enable the processing of your application. The collection of personal information is authorised by the *Building Act 2004*. If all or some of the personal information is not collected Access Canberra cannot process your application. The personal information you provide may be disclosed to Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be disclosed where authorised by law or court order, or where the Directorate reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. Access Canberra's Information Privacy Policy contains information about how you may access or seek to correct your personal information held by Access Canberra, and how you may complain about an alleged breach of the Territory Privacy Principles. Access Canberra Information Privacy Policy can be found at [www.act.gov.au/accessCBR](http://www.act.gov.au/accessCBR)

**CONTACT INFORMATION****Email:**

ACTPLAdevelopmentBA@act.gov.au

**Post:**

Access Canberra  
Building Services  
Shopfront Mitchell  
GPO Box 158  
Canberra, ACT 2601

**In Person:**

Please visit  
[www.act.gov.au/accessCBR](http://www.act.gov.au/accessCBR)  
Or call 132281 to find an  
Access Canberra Shopfront.



*Building Act 2004, S151*

## Application for Building Commencement Notice

Project ID: B2023500

Licensed builders must use this form to apply to the building certifier for a commencement notice in accordance with the Building Act 2004. An application can only be made if the building approval has been issued for the building work. A commencement notice must be issued by the building certifier before any building work can commence.

### PART A - PROJECT DETAILS

**Building approval issue date:** 15/02/2023

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
	4	41	CANBERRA CENTRAL	LYNEHAM	Australian Capital Territory

Full Name	Address	License Number	Expiry Date
CBS COMMERCIAL CERTIFIERS PTY LTD	PO Box 76 MITCHELL ACT 2911	2019938	9/09/2023

Description of work to which application for Commencement Notice relates:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
9b	Alterations	EDUCATIONAL BUILDING	New School Building	B	2	610.00	Sch 2.2(a)(xi)
10a	Other	SEE DESCRIPTION	Covered Walkway	NA	2	40.00	

**Insurance provider:**

**Policy number:**

**Issue date:** 15/02/2023

### PART B - BUILDERS DETAILS

Sch 2.2(a)(xi), Sch 2.2(a)(ii)

**Signature of builder:**

\_\_\_\_\_/\_\_\_\_\_  
(Individual, director for company or partner for partnership)

If the builder is a company or partnership provide details of the nominee who will supervise the building work



Sch 2.2(a)(xi), Sch 2.2(a)(ii)

**Nominee's signature**  
(if different to above):

\_\_\_\_\_ / /

### PART C - OWNER/LESSEE DETAILS

Name	Address
Brindabella Christian College	136 Brigalow Street, Lyneham ACT 2602, AUSTRALIA

ADVISORY NOTE: Owners please ensure you have a written contract with the builder named in this application. For residential building work requiring home owner insurance ensure that the same builders name is shown on the insurance policy.

### PART D - OWNER/S OR AGENT SIGNATURE/S

Name	Signature	Date
Brindabella Christian College		

NOTE: You may only make this application as an authorised agent on behalf of the owners of the property if you have appropriate written authorisation from ALL the owners and attach it to this application. This also applies if you are a part owner or joint owner making an application on behalf of the owners.

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.

### PART E - BUILDER APPLICATION TO CERTIFIER FOR COMMENCEMENT NOTICE

I hereby apply to the building certifier listed above for a commencement notice for the works detailed in Part A of this form in accordance with the Building Act 2004.

- A site sign was NOT required to be displayed prior to making this application.
- A site sign WAS required to be displayed prior to making this application and I declare that a compliant sign was erected and displayed for the required period.

**Signature of**  
**Builder/Nominee:**

\_\_\_\_\_ / /

NOTE: There are penalties for deliberately giving false and misleading information. Access Canberra or the Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.



*Building Act 2004, S151*

## Application for Building Commencement Notice

Project ID: B2023500

Licensed builders must use this form to apply to the building certifier for a commencement notice in accordance with the Building Act 2004. An application can only be made if the building approval has been issued for the building work. A commencement notice must be issued by the building certifier before any building work can commence.

### PART A - PROJECT DETAILS

Building approval issue date: 15/02/2023

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
	4	41	CANBERRA CENTRAL	LYNEHAM	Australian Capital Territory

Full Name	Address	License Number	Expiry Date
CBS COMMERCIAL CERTIFIERS PTY LTD	PO Box 76 MITCHELL ACT 2911	2019938	9/09/2023

Description of work to which application for Commencement Notice relates:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
9b	Alterations	EDUCATIONAL BUILDING	New School Building	B	2	610.00	Sch 2.2(a)(xi)
10a	Other	SEE DESCRIPTION	Covered Walkway	NA	2	40.00	

Insurance provider:

Policy number:

Issue date: 15/02/2023

### PART B - BUILDERS DETAILS

License holder's name: Sch 2.2(a)(xi), Sch 2.2(a)(ii)

License number:

License Expiry Date:

Business Address:

Phone Number:

Signature of builder:

\_\_\_\_\_/\_\_\_\_\_  
(Individual, director for company or partner for partnership)

If the builder is a company or partnership provide details of the nominee who will supervise the building work

**Nominee's name:**

Sch 2.2(a)(xi), Sch 2.2(a)(ii)

**License number:**

**License Expiry Date:**

**Nominee's signature  
(if different to above):**

\_\_\_\_\_ / /

## PART C - OWNER/LESSEE DETAILS

Name	Address
Brindabella Christian College	136 Brigalow Street, Lyneham ACT 2602, AUSTRALIA

ADVISORY NOTE: Owners please ensure you have a written contract with the builder named in this application. For residential building work requiring home owner insurance ensure that the same builders name is shown on the insurance policy.

## PART D - OWNER/S OR AGENT SIGNATURE/S

Name	Signature	Date
Brindabella Christian College		

NOTE: You may only make this application as an authorised agent on behalf of the owners of the property if you have appropriate written authorisation from ALL the owners and attach it to this application. This also applies if you are a part owner or joint owner making an application on behalf of the owners.

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## PART E - BUILDER APPLICATION TO CERTIFIER FOR COMMENCEMENT NOTICE

I hereby apply to the building certifier listed above for a commencement notice for the works detailed in Part A of this form in accordance with the Building Act 2004.

- A site sign was NOT required to be displayed prior to making this application.
- A site sign WAS required to be displayed prior to making this application and I declare that a compliant sign was erected and displayed for the required period.

**Signature of  
Builder/Nominee:**

\_\_\_\_\_ / /

NOTE: There are penalties for deliberately giving false and misleading information. Access Canberra or the Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.



*Building Act 2004, S151*  
**Building Commencement Notice**

Project ID: B2023500

**PART A - PROJECT DETAILS**

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
	4	41	CANBERRA CENTRAL	LYNEHAM	Australian Capital Territory

**Certifier's Details**

Full Name	Address	License Number	Expiry Date
CBS COMMERCIAL CERTIFIERS PTY LTD	PO Box 76 MITCHELL ACT 2911	2019938	9/09/2023

**Building approval issue date:** 15/02/2023

Building Commencement Notice Required for:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Area (m2)	Cost of Works (\$)
9b	Alterations	EDUCATIONAL BUILDING	New School Building	B	610.00	854000.00
10a	Other	SEE DESCRIPTION	Covered Walkway	NA	40.00	30000.00

**PART B - BUILDERS DETAILS**

Sch 2.2(a)(xi), Sch 2.2(a)(ii)

**PART C - CERTIFIER'S DECLARATION**

**Issue date of commencement notice:** 17/02/2023

**Name of Certifier Issuing Notice:** CBS COMMERCIAL CERTIFIERS PTY LTD

**Declaration:**

This commencement notice is issued in accordance with the Building Act 2004, to the licensed builder stated above authorising the commencement of the stated building work. The issue of this commencement notice indicates that I am satisfied that the builders license authorises the work in the building approval. Where applicable for residential building work, I have been provided with a residential building insurance policy or fidelity certificate.

**PLEASE NOTE:**

A copy of the application for this commencement notice, this notice and where applicable the residential building insurance policy or fidelity certificate, must be given to the construction occupations registrar within one (1) week of the issue date.

This building commencement notice will end if-

- (a) for residential building work- the work is no longer insured; or
- (b) the building approval for the work ends

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.



# APPOINTMENT OF A CERTIFIER APPLICATION FOR BUILDING APPROVAL

*Building Act 2004, S151*

This form is to be completed by the Owner/s of the land to which the building work relates.

**PART A PROJECT DETAILS**

Block  Section  Suburb  Unit No.

Street Address

**Description of Building Works relevant to this application-If more than 4 items please attach further details**

Describe each item of building work in this building approval	BCA Occupancy Class	BCA Construction Type	Area (m <sup>2</sup> )	Number of Storeys	Cost of Works (refer to building cost Sch 2.2(a)(xi))
1 New School Building					
2 Covered Walkway					
3					
4					

**Applicable approved requirements and reasons why building approval is not prevented from being issued**

Is all work exempt from development approval?

- YES Attach assessment for exempt development checklist (if applicable)
- NO Provide reason/s or description of work: \_\_\_\_\_

**Description of Attachments compliant with Division 3.3 Building Act 2004**  
Please attach any additional documentation not listed below

- Building Approval Plans
- Referrals, consultations & consents outcomes
- Asbestos Advice - If documents accompanying building approval do not include an asbestos assessment report as per the Building Act 2004, the building approval must have an AA attached as per the Act

**PART B OWNER'S DETAILS - Please Print**

All owners must be listed

Owner 1 will be considered the contact person in relation to this application

Company Details

ACN/ABN Number

Owner 1  Owner 2

Owner 3  Owner 4

Approved form AF2016-85 approved by David Middlemiss, Construction Occupations Deputy Registrar on 10 August 2016 under section 151 of the Building Act 2004 and revokes AF2016-80.

## PART B continued

## OWNER/S DETAILS – Please Print

Postal Address	136 BRADLOW ST		
Suburb	LYREHAM	State	ACT
		Postcode	2602
Phone Number Business Hours	02 6190 7300	Mobile	Sch 2.2(a)(ii)
EMAIL ADDRESS	bcc.e@bcc.act.edu.au		

## PART C

## APPOINTMENT OF CERTIFIER

As required under the Building ACT 2004 I/we hereby advise that I/we the owner/s have appointed the person whose details appear below as the certifier in relation to the building works described in this form

Company Details	CBS COMMERCIAL CERTIFIERS PTY LTD		
Name of Certifier		ABN/ ACN	85 635 944 124
Postal Address	PO BOX 76		
Suburb	MITCHELL	State	ACT
		Postcode	2911
Phone Number Business Hours	6253 9911	Mobile	
EMAIL ADDRESS	thai@cbscanberra.com.au		

## PART D

## APPLICATION FOR BUILDING APPROVAL

I/we the Owner/s of the abovementioned property hereby apply under Section 26 of the *Building Act 2004* to the certifier named above to issue a building approval for the building work described in this form. I/we have provided the certifier with information and documentation required to issue a building approval as specified in the *Building (General) Regulation 2008*.

## PART E

## AUTHORITY TO ACCESS BUILDING FILE

I/we hereby authorise the certifier to access the building file for the property which is the subject of this application for the purposes of obtaining information relevant to the issuing of a building approval and associated processes.

## PART F

1st Owner's Signature	Sch 2.2(a)(ii)	Date	09/03/2021
2nd Owner's Signature		Date	
3rd Owner's Signature		Date	
4th Owner's Signature		Date	

**NOTE:** There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

Brindabella Christian Education Ltd  
136 Brigalow Street  
Lyneham ACT 2602

## BUILDING APPROVAL CERTIFICATE

**Location:** Block 4 Section 41 Lyneham

**Description of Building Work:** New School Building & Covered Walkway

**BCA Occupancy Class:** 9b & 10a

**BCA Construction Type:** B

**Number of Storeys:** 2

### Building Approval.

Your application for building approval satisfies the Building Act 2004. Building approval is issued under s.28 of the Building Act 2004.

All work must comply with the:

1. Building Act 2004; and
2. National Construction Code 2019 Volume 1

This approval expires three years from the date of this approval or at the expiry of the development approval, whichever occurs first.

### Commencement

Building work may begin on the issue of the Building Commencement Notice.

Sincerely,

Sch 2.2(a)(ii)

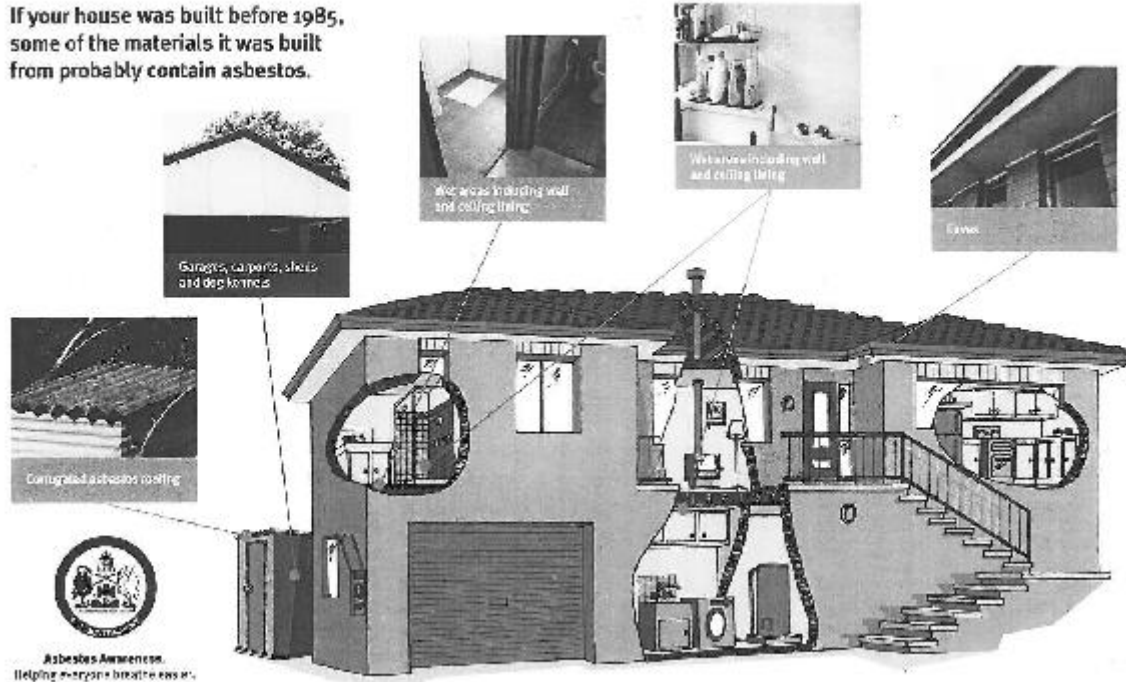
David Delchau  
Principal Building Surveyor  
CBS Commercial Certifiers Pty Ltd  
15 February 2023

Reference No. 33381



## Common locations of materials containing asbestos in ACT homes

If your house was built before 1985, some of the materials it was built from probably contain asbestos.



# Important Asbestos Advice for ACT homes built before 1985

**Asbestos is hazardous but it can be managed safely. Follow the three steps for managing materials containing asbestos (MCAs) in your home.**

### Step 1. Identify where MCAs may be in your home

**When was your house built?**

- If your house was built before 1985, the areas below gives you an indication of where you are likely to find MCAs in your home. There is also a diagram on the back of this sheet showing where MCAs are commonly found.
- If your house was built after 1985, it is unlikely to contain MCAs.
- If in doubt, assume that materials do contain asbestos.

**Common locations of MCAs in ACT homes\***  
(% of houses (% of people) that contain asbestos was checked)

Location	Pre 1985	1985-1979	1984-1984	1985-now†
Eaves	88%	50%	40%	0%
Boiler room	80%	70%	15%	0%
Bathroom	53%	35%	50%	0%
Laundry	75%	80%	50%	0%
Kitchen	52%	43%	15%	0%

\*Based on data collected from a survey of ACT homes. The MCA data used in this table was reported for the 2016/17 survey.

### Step 2. Assess the risk

**Visually check the condition of the MCA – Is it cracked, broken, etc?**

- If it's in good condition and left undisturbed, it does not pose a health risk.
- If you suspect it is not in good condition, or might require maintenance or removal by a qualified person.

### Step 3. Manage safely

**Make sure you remember to:**

- Keep an eye on MCAs to make sure they remain in good condition.
- Consider removal of the MCA by a qualified person, when renovating or doing home repairs.
- Inform tradespeople working on your home of the location of any possible MCAs.
- Engage a qualified person if you decide to obtain a professional asbestos report on MCAs in your home.

For further information or advice on managing asbestos or home renovations visit the asbestos website [www.asbestos.act.gov.au](http://www.asbestos.act.gov.au) or call 13 22 84.



*Building Act 2004, S151*

**Appointment of a Certifier and  
Application for Building Approval**

Project ID: B2023500

This form is to be completed by the Owner/s of the land to which the building work relates

**PART A - PROJECT DETAILS**

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
	4	41	CANBERRA CENTRAL	LYNEHAM	Australian Capital Territory

**PART B - OWNER DETAILS**

Name	Address	Email Address
Brindabella Christian College	136 Brigalow Street, Lyneham ACT 2602, AUSTRALIA	

**PART C - APPOINTMENT OF CERTIFIER**

As required under the Building ACT 2004 I/we hereby advise that I/we the owner/s have appointed the person whose details appear below as the certifier in relation to the building works described in this form

Full Name	Address	License Number	Expiry Date
CBS COMMERCIAL CERTIFIERS PTY LTD	PO Box 76 MITCHELL ACT 2911	2019938	9/09/2023

**PART D - APPLICATION FOR BUILDING APPROVAL**

I/we the owners of the abovementioned property hereby apply to the certifier named above to issue a building approval under Section 26 of the Building Act 2004 for the building works detailed in the following table

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
9b	Alterations	EDUCATIONAL BUILDING	New School Building	B	2	610.00	Sch 2.2(a)(xi)
10a	Other	SEE DESCRIPTION	Covered Walkway	NA	2	40.00	Sch 2.2(a)(xi)

I/we have provided the certifier with the information and documentation required to issue a building approval as specified in the Building (General) Regulation 2008.

**PART E - AUTHORITY TO ACCESS BUILDING FILE**

I/we hereby authorise the certifier to access the building file held by Access Canberra for the property which is the subject of this application for the purposes of obtaining information relevant to the issuing of a building approval and associated processes.

**PART F - OWNER/S SIGNATURE/S**

Name	Signature	Date
Brindabella Christian College		

**APPLICATION FOR BUILDING APPROVAL REQUIREMENTS  
Building (General) Regulations 2008**

Where relevant the following information **MUST** be included in either the application or the plans accompanying the application for building approval:

## General Requirements

- Estimated Cost of Works -as per Building (General) (Cost of Building Work) Determination 2011
- if the proposed building work to be carried out at or near a street or place that is open to or used by the public the application must contain details of the precautions proposed to be taken to protect the safety of people using the street or place while the building work is carried out
- the area of the parcel of land to which this application relates
- the class of the building according to the intended use of the building as proposed to be erected or altered;
- if applicable what fire-resisting construction type (under the building code) the building as proposed to be erected or altered will be.

Note: Fire-resisting construction type may not be applicable if an alternative solution under the building code is used.

- for an application relating to the erection of a class 1 building the site classification of the parcel of land
  - for an application relating to the alteration of a class 1 building if the alteration will increase the building load carried by foundation material beyond the building load carried by the foundation before the alteration.
  - the site classification of the parcel of land
  - for an application relating to the alteration of a building the class and type of fire-resisting construction of the existing building classified under the building code and the materials used in the existing building
- Note Fire-resisting construction type may not be applicable if an alternative solution under the building code is used.
- the number of storeys of the building as proposed to be erected or altered;
  - the number of new dwellings (if any) created by the proposed building work;
  - the floor area of the proposed building or proposed new part of the building;
  - the materials to be used in the frame, floor, walls and roof of the proposed building or proposed new part of the building
  - if a performance requirement of the building code is to be complied with by use of an alternative solution under the code -

(i) the performance requirement; and

(ii) the alternative solution; and

(iii) each assessment method used to show that the alternative solution complies with the performance requirement;

- if the building code does not state a standard of work in relation to any part of the proposed building work and it is intended to carry out that part of the proposed building work in accordance with a standard of work stated in another document -

(i) the nature of the proposed building work; and

(ii) the title of the document; and

(iii) each assessment method used to show that the proposed building work complies with the standard of work stated in the document.

Removal or demolition of building/s

- Details of the methods to be used in carrying out the proposed building work, including a work plan stated or set out in AS 2601 (Demolition of structures), as in force from time to time;
- the number of dwellings (if any) to be demolished.

Asbestos

- The application must include a description of the method proposed to be used to remove the bonded asbestos sheeting from the building.
- the application must include the following information:
  - (i) the method proposed to be used to remove the asbestos;
  - (ii) the approximate amount and kind of asbestos to be removed;
  - (iii) the equipment proposed to be used to remove the asbestos, including any personal protective equipment;
  - (iv) details of a program, prepared in accordance with the asbestos removal code, for monitoring airborne asbestos to be followed during the removal.

To be completed by the appointed Building Certifier and submitted to the  
Construction Occupations Registrar within 7 days of issue**Lease/Site Details**

Block	<input type="text" value="4"/>	Section	<input type="text" value="41"/>	Suburb	<input type="text" value="Lyneham"/>	Division	<input type="text"/>
Unit No	<input type="text"/>	Street Address	<input type="text" value="136 Brigalow Street, Lyneham ACT 2602"/>				

**Building Approval Application and Site Work Details**

This notice is issued in relation to the site work shown in the plans submitted as part of the application for a building approval dated made by the following applicants:

Brindabella Christian Education Ltd

on: date 09/03/2021

This notice applies to all site work in that application for which there is there is no—

- (a) exemption assessment D notice stating that the site work is exempt development issued for the work not more than 3 months before the day the application was made;
- (b) exemption declaration under the *Planning and Development Regulation 2008*, schedule 1, section 1.100A (1) (b) or section 1.100AB (1) (b) made by the planning and land authority; or
- (c) current development approval issued in relation to the site work.

**NOTE:** Site work is development that is—

- (a) building work; and
- (b) work other than building work that—
  - (i) physically affects the place (the building site) where the building work is being carried out; and
  - (ii) if not carried out at the building site, is carried out near, and connected with, the building site.

Examples: putting up temporary fencing, installing measures for erosion control, building a house, damaging or removing a significant tree, laying paving for driveways and parking areas, installing landscaping, site clearing and excavation, erecting site signage, erecting a pergola

**Building Certifier Details** *Please Print*

Surname	<input type="text" value="David Delchau"/>	First Name	<input type="text"/>
Company Name	<input type="text" value="CBS Commercial Certifiers Pty Ltd"/>		
Licence Number	<input type="text" value="2019938"/>	Contact Number	<input type="text" value="(02) 62539911"/>
Postal Address	<input type="text" value="PO Box 76"/>		
Suburb	<input type="text" value="Mitchell"/>	State	<input type="text" value="ACT"/>
		Postcode	<input type="text" value="2911"/>

I state that:

- the plans for the building work to which the application for building approval relates show all the information necessary to establish that the site work is exempt development under the *Planning and Development Act 2007*, section 133; and
- the site work is exempt development; and
- I have assessed that the site work is exempt development for the following reasons and in accordance with the following provisions of the *Planning and Development Regulation 2008* and Territory Plan Codes:

Building work(s) are exempt as per the following section of Schedule 1

1.99C School New Building & 1.99k Schools Covered Walkway

Please list any further information that may be relevant in deciding that the works are exempt under Schedule 1

Building does not exceed 12m in Height, Further than 30m from residential boundary.

Amended Building work(s) are exempt as per the following section of Schedule 1

*Please attach additional information if required*

Building Certifier Signature  
(or nominee)

Sch 2.2(a)(ii)

Date of  
Issue

15/02/2023

**Giving false or misleading information is a serious offence**

**Privacy Notice**

Access Canberra will collect personal and financial information (e.g. postal address and invoice numbers) where you choose to provide this information. The information requested in each case is required to complete the transaction. The information collected through the online version of the transaction is equivalent to the information collected using the alternate channels such as through an [Access Canberra Service Centre](#).

If you choose not to provide personal information when completing one or more of these activities, you may not be able to complete that activity. If you choose not to participate in these activities, your choice will in no way affect your ability to browse these websites and online facilities.

Access Canberra will not share information about you with other government agencies or other organisations without your permission unless:

- it is necessary to provide you with a service that you have requested;
- it is required or authorised by law;
- where permitted general situations exist, such as to lessen or prevent a threat to life, health or safety; to assist with the location of a missing person; or to investigate suspected unlawful activity or serious misconduct relating to our function.

For further information regarding Access Canberra, Chief Minister, Treasury and Economic Development Directorate Privacy policy, please visit:

[https://www.act.gov.au/privacy/full\\_privacy](https://www.act.gov.au/privacy/full_privacy)

**CONTACT INFORMATION**

**Email:**

ACTPLAdevelopmentBA@act.gov.au

**Post:**

Access Canberra  
Building Services  
Shopfront Mitchell  
GPO Box 158  
Canberra, ACT 2601

**In Person:**

Please visit  
[www.act.gov.au/accessCBR](http://www.act.gov.au/accessCBR)  
Or call **132281** to find an  
Access Canberra Service  
Centre.



## STATEMENT OF CONDITIONAL ACCEPTANCE

**Application No:** 190268    **Suburb:** Lyneham    **Block/Section** 4 / 41  
**Appcn Type:** Non residential/Addition Inclusions : Alteration/Addition

### Attached Plans

4-41 Lyneham\_Part10.pdf  
 4-41 Lyneham\_Part11.pdf  
 4-41 Lyneham\_Part12.pdf  
 4-41 Lyneham\_Part13.pdf  
 4-41 Lyneham\_Part14.pdf  
 4-41 Lyneham\_Part7.pdf  
 4-41 Lyneham\_Part8.pdf  
 4-41 Lyneham\_Part9.pdf

### Conditions of Acceptance

A sewer maintenance structure is located on this block. Unobstructed 24 hour - 7 day a week access a minimum 1.5m wide is to be maintained across the land to the asset.

As per Criterion 1 - Easement and other access Clearances of the Planning and Development Regulation 2008. No structures are to be built over Icon Water easements, pipe protection envelopes or access passages without Icon Water's written approval. In accordance with this provision, access is to be maintained across land in these areas

Icon Water assets shall be protected for the duration of the construction works from short term load shedding from construction machinery or vibration and groundwater ingress or infiltration. Any damage to Icon assets resulting from the construction works shall be repaired by Icon Water at the contractors expense. Access to Icon Water's assets including sewer structures, manholes, hydrants and valves is to be maintained for the duration of the construction works.

Non domestic liquid waste agreements are to be entered into with Icon Water where non-domestic liquid waste or increased load is planned to be discharged to the sewer network.

Other

This statement of conditional acceptance is only in relation to the proposed demountable classroom. Existing structures does not form part of this acceptance.

Please Note:

- ❖ Separate applications are required for ActewAGL electricity and gas networks.
- ❖ Any failure to accurately show existing or proposed structures may result in damage and costs for which the property owner will be liable. Damage to network assets must be reported to Icon Water.
- ❖ Utility conditions may also apply to minor structures and landscaping works that may not have been depicted in this document. Consultation with Icon Water is advised if such structures and landscaping are planned.
- ❖ Icon Water recommends setbacks provided for equipment access to water or sewerage network assets are kept free of obstruction by the property owner.
- ❖ Construction of works without the approval of Icon Water may result in connection to Icon Water's water and sewerage networks being denied and /or action being taken to require the property owner to remove non-compliant services (e.g. sanitary drains) or structures.

**WARNING**

Failure to comply with these conditions is likely to result in interference with an Icon Water sewer or water asset. Part 5 of the Utilities (Technical Regulation) Act 2014 applies, which indicates a person who interferes with a utility asset may be subject to prosecution. The current maximum penalty is 200 penalty units, imprisonment for two years, or both. In addition the land-holder can be ordered at their expense to stop the interference, which may involve removal of the building work or that part of the building work that is causing, or is likely to cause interference.

**Comments:****Signed**

Sch 2.2(a)(ii)

**Date**

29 Mar 2021

*For further information please phone Icon Water 6248 3111.*

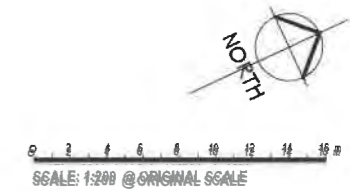
**Application Number**  
**190268**  
**Sheet**  
**14 of 17**

EXISTING ELC

EXISTING  
DEMOUNTABLE  
CLASSROOMS



1 PROPOSED PLAN - ELC  
A230 1:200



REV	DATE	DESCRIPTION
A	04.02.21	FOR CONSTRUCTION

Sch 2.2(a)(xi)

Project Name: <b>BRIDABELLA CHRISTIAN COLLEGE</b>		Project Status: <b>FOR CONSTRUCTION</b>		Drawing Title: <b>GENERAL FLOOR PLAN</b>	
Project File: DEMOUNTABLE V2		Project Address: 199 BRIGALOW STREET, LYNEHAM GST 2602		Design/Project Manager: SV	Project Architect: NI
All dimensions in millimeters. Do not scale drawings. All dimensions and levels to be verified on-site by contractor before commencing work or preparation of shop drawings. Where provided, drawings must be read in conjunction with schedule of work or specification.		Scale: 1:200	Sheet Size: A1	Design: NI	Drawn: NI
Block: 4	Section: 41	Division: LYNEHAM	Project No: <b>1506.16</b>	Sheet No: <b>A130</b>	Amendment: <b>A</b>



**Application Number**  
190268  
**Sheet**  
4 of 17



**icon**  
WATER

**WATER AND SEWERAGE NETWORK**

**CONDITIONALLY ACCEPTED**

The design depicted in this document has been assessed by Icon Water and complies with their water and sewerage network protection and access requirements subject to the conditions of Icon Water's 'statement of conditional acceptance'.

Signed Sch 2.2(a)(ii) Date 29 Mar 2021

Contact phone: 6248 3111

LEGEND- KEYNOTES DESCRIPTIONS	
KEYNOTE	DESCRIPTION
DP	DOWNPIPE
SCOL	STEEL COLUMN
TGSI	TACTILE GROUND SURFACE INDICATOR



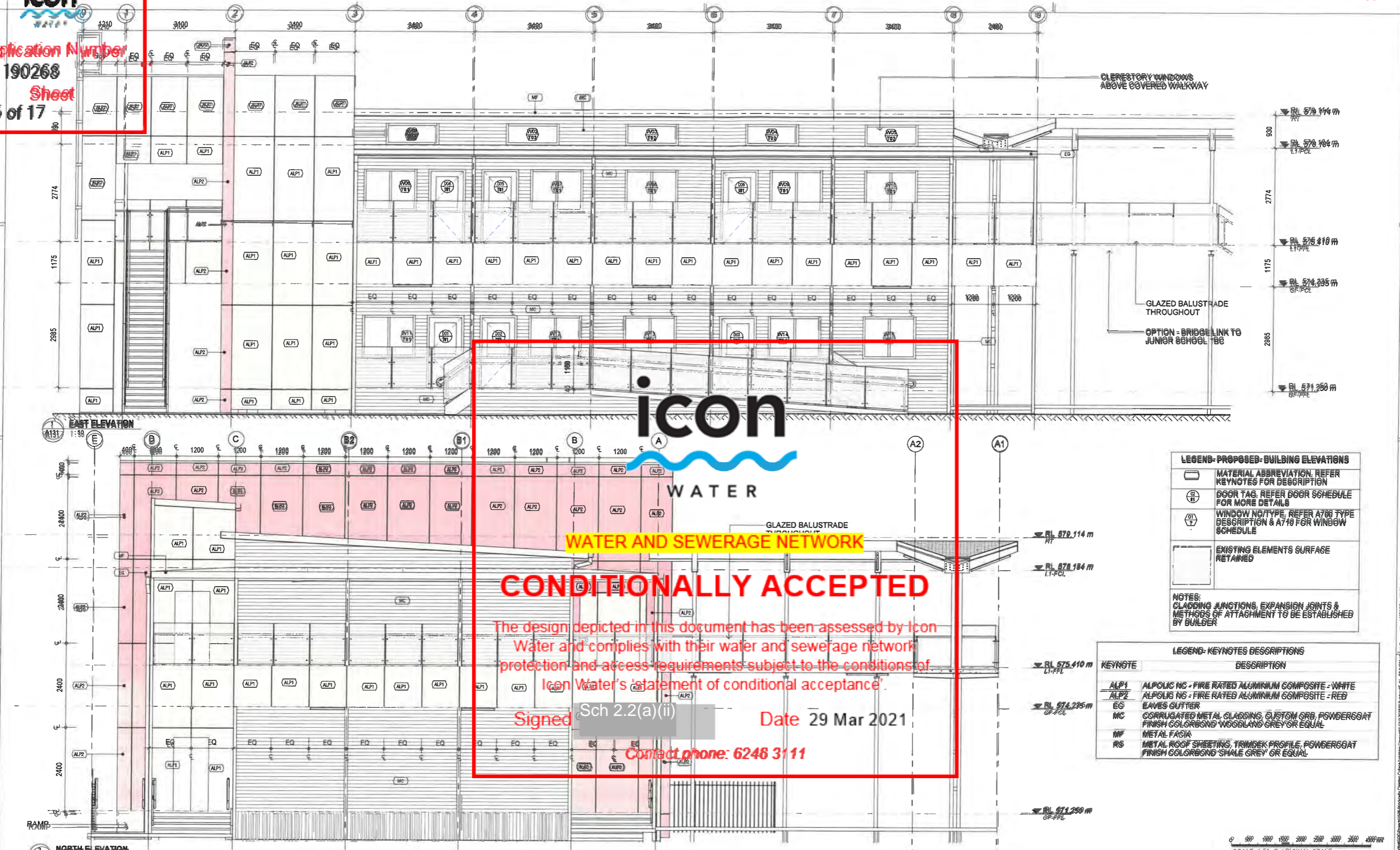
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SCALE: 1:50 @ ORIGINAL SCALE

REV	DATE	DESCRIPTION
A	04/02/21	FOR CONSTRUCTION

Sch 2.2(a)(xi)

Project Title: <b>MOUNTABLE V2</b>	Project Status: <b>FOR CONSTRUCTION</b>	Drawing Title: <b>LINK BRIDGE PLAN</b>
Client: <b>INDABELLA CHRISTIAN COLLEGE</b>	Project Address: <b>130 BRIGALOW STREET, LYNEHAM ACT 2002</b>	Design/Project Manager: <b>SV</b>
Block: <b>4</b>	Section: <b>41</b>	Project No: <b>1506.16</b>
Discipline: <b>LYNEHAM</b>	Sheet No: <b>A134</b>	Sheet Size: <b>A1</b>
		Design/Verifier: <b>SV</b>
		Drawn: <b>A</b>
		Amendment: <b>A</b>

Application Number  
190268  
Sheet  
5 of 17



**CONDITIONALLY ACCEPTED**

The design depicted in this document has been assessed by Icon Water and complies with their water and sewerage network protection and access requirements subject to the conditions of Icon Water's 'statement of conditional acceptance'.

Signed [Redacted] Sch 2.2(a)(ii) Date 29 Mar 2021

Contact phone: 6246 3111

**LEGEND- PROPOSED- BUILDING ELEVATIONS**

	MATERIAL ABBREVIATION. REFER KEYNOTES FOR DESCRIPTION
	DOOR TAG. REFER DOOR SCHEDULE FOR MORE DETAILS
	WINDOW NO/TYPE. REFER A768 TYPE DESCRIPTION & A719 FOR WINDOW SCHEDULE
	EXISTING ELEMENTS SURFACE RETAINED

**NOTES:**  
CLADDING JUNCTIONS, EXPANSION JOINTS & METHODS OF ATTACHMENT TO BE ESTABLISHED BY BUILDER

**LEGEND- KEYNOTES DESCRIPTIONS**

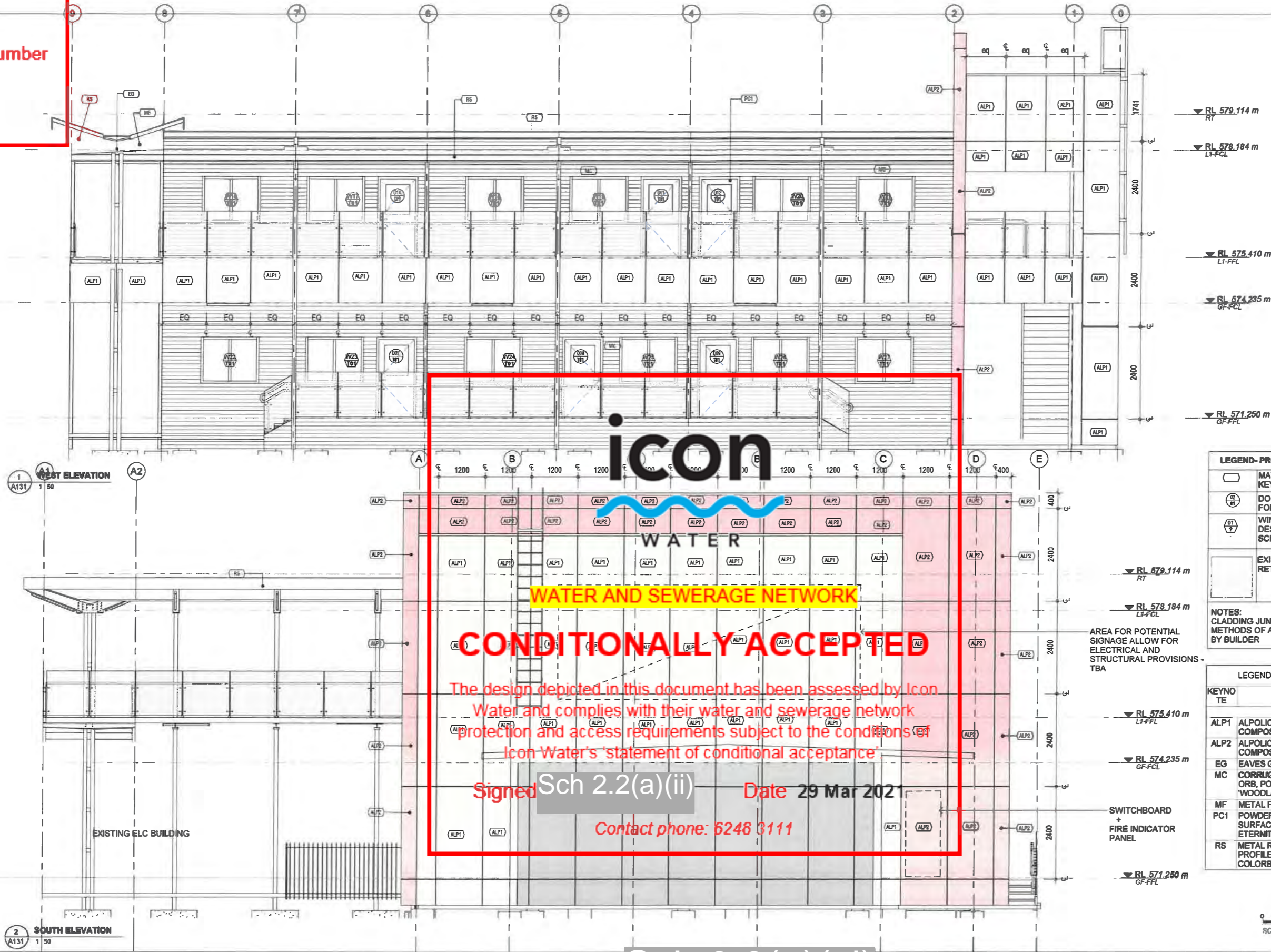
KEYNOTE	DESCRIPTION
ALP1	ALPOLIC NG - FIRE RATED ALUMINIUM COMPOSITE - WHITE
ALP2	ALPOLIC NG - FIRE RATED ALUMINIUM COMPOSITE - RED
EG	EAVES GUTTER
MC	CORRUGATED METAL CLADDING, CUSTOM ORB, POWDERCOAT FINISH COLORBOND WOODLAND GREY OR EQUAL
MF	METAL FASCIA
RS	METAL ROOF SHEETING, TRIMDEK PROFILE, POWDERCOAT FINISH COLORBOND SHALE GREY OR EQUAL

Sch 2.2(a)(xi)

REV	DATE	DESCRIPTION
A	04/02/21	FAB CONSTRUCTION

Project Name: <b>RENNELLACHRISTIANCOLLEGE</b>		Project Status: <b>FOR CONSTRUCTION</b>		Drawing Title: <b>ELEVATIONS - SHEET 1</b>	
Project Title: <b>RENNELLACHRISTIANCOLLEGE</b>		Project Address: <b>185 BRIGLOW STREET, LYNNEMOUNT 2802</b>		Drawing Manager: <b>SV</b>	
Block: <b>4</b>		Section: <b>41</b>		Project Architect: <b>NI</b>	
Division: <b>LYNNEMOUNT</b>		Scale: <b>1:50</b>		Design Variant: <b>SV</b>	
Project No: <b>1506.16</b>		Sheet No: <b>A230</b>		Date: <b>04/02/21</b>	
Author: <b>[Redacted]</b>		Check: <b>[Redacted]</b>		Approval: <b>A</b>	

Application Number  
190268  
Sheet  
6 of 17



**CONDITIONALLY ACCEPTED**

The design depicted in this document has been assessed by Icon Water and complies with their water and sewerage network protection and access requirements subject to the conditions of Icon Water's statement of conditional acceptance.

Signed Sch 2.2(a)(ii) Date 29 Mar 2021

Contact phone: 6248 3111

**LEGEND- PROPOSED- BUILDING ELEVATIONS**

	MATERIAL ABBREVIATION, REFER KEYNOTES FOR DESCRIPTION
	DOOR TAG, REFER DOOR SCHEDULE FOR MORE DETAILS
	WINDOW NO/TYPE, REFER A700 TYPE DESCRIPTION & A710 FOR WINDOW SCHEDULE
	EXISTING ELEMENTS SURFACE RETAINED

**NOTES:**  
CLADDING JUNCTIONS, EXPANSION JOINTS & METHODS OF ATTACHMENT TO BE ESTABLISHED BY BUILDER

**LEGEND- KEYNOTES DESCRIPTIONS**

KEYNOTE	DESCRIPTION
ALP1	ALPOLIC NC - FIRE RATED ALUMINIUM COMPOSITE - WHITE
ALP2	ALPOLIC NC - FIRE RATED ALUMINIUM COMPOSITE - RED
EG	EAVES GUTTER
MC	CORRUGATED METAL CLADDING, CUSTOM ORB, POWDERCOAT FINISH COLORBOND 'WOODLAND GREY' OR EQUAL
MF	METAL FACIA
PC1	POWDERCOAT FINISH TO ALUMINIUM SURFACE EQUAL TO DULUX DURATEC ETERNITY CHAIN PEARL
RS	METAL ROOF SHEETING, TRIMDEK PROFILE, POWDERCOAT FINISH COLORBOND 'SHALE GREY' OR EQUAL

Sch 2.2(a)(xi)

REV	DATE	DESCRIPTION
A	04.02.21	FOR CONSTRUCTION

Project Title:  
RINDABELLA CHRISTIAN COLLEGE  
EMOUNTABLE V2

Project Status:  
**FOR CONSTRUCTION**  
Project Address:  
136 BRIGALOW STREET, LYNEHAM ACT 2602

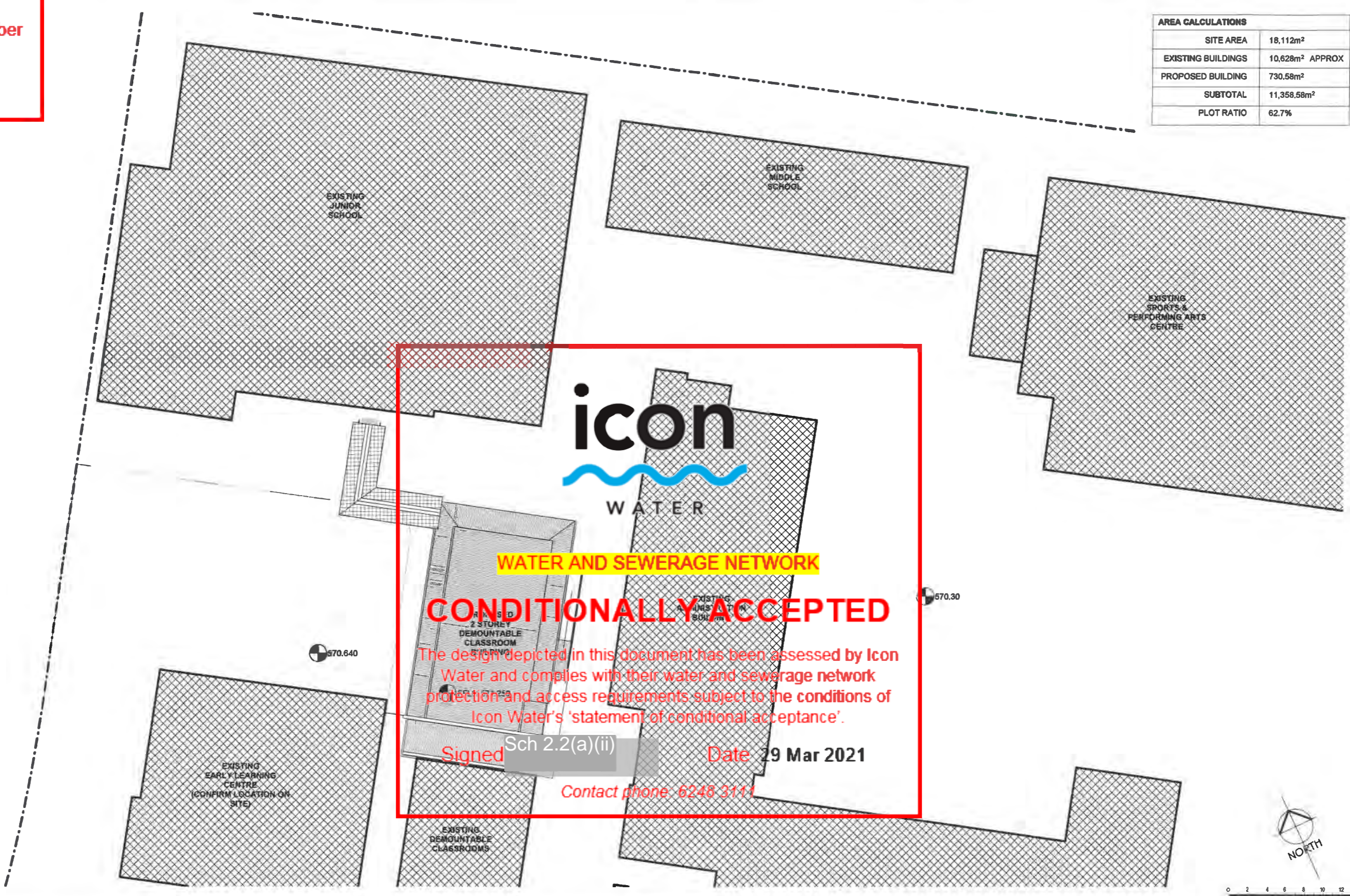
**ELEVATIONS - SHEET 2**

Design Project Manager: SV	Project Architect: NI	Design Verifier: SV
Scale: 1:50	Sheet Size: A1	Drawn:
Project No: 1506.16	Sheet No: A231	Amendment: A

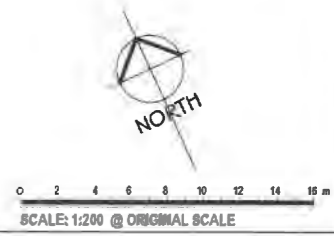
All dimensions in millimetres. Do not scale drawing. All dimensions need to be verified on site by contractor before commencing work or preparation of shop drawings. Where provided, drawings must be read in conjunction with schedule of work or specification.

Application Number  
190268  
Sheet  
13 of 17

AREA CALCULATIONS	
SITE AREA	18,112m <sup>2</sup>
EXISTING BUILDINGS	10,628m <sup>2</sup> APPROX
PROPOSED BUILDING	730.58m <sup>2</sup>
SUBTOTAL	11,358.58m <sup>2</sup>
PLOT RATIO	62.7%



**WATER AND SEWERAGE NETWORK**  
**CONDITIONALLY ACCEPTED**  
 The design depicted in this document has been assessed by Icon Water and complies with their water and sewerage network protection and access requirements subject to the conditions of Icon Water's 'statement of conditional acceptance'.  
 Signed Sch 2.2(a)(ii) Date 29 Mar 2021  
 Contact phone: 6248 3111



REV	DATE	DESCRIPTION
A	04.02.21	FOR CONSTRUCTION

Sch 2.2(a)(xi)

Client: <b>BRINDABELLA CHRISTIAN COLLEGE</b>	Project Status: <b>FOR CONSTRUCTION</b>	Drawing Title: <b>SITE PLAN</b>	
Project Title: <b>DEMOUNTABLE V2</b>	Project Address: <b>138 BRIGALOW STREET, LYNEHAM ACT 2802</b>	Design Project Manager: <b>SV</b>	Project Architect: <b>NJ</b>
All dimensions in millimetres. Do not scale drawing. All dimensions and levels to be verified on site by contractor before commencing work or preparation of shop drawings. Where provided, drawings must be read in conjunction with schedule of work or specification.	Block: <b>4</b>	Section: <b>41</b>	Division: <b>LYNEHAM</b>
	Scale: <b>As indicated</b>	Sheet Size: <b>A1</b>	Drawn: <b>SE</b>
	Project No: <b>1506.16</b>	Sheet No: <b>A003</b>	Amendment: <b>A</b>

## Gas Networks Statement of CONDITIONAL COMPLIANCE

For Non-residential and High Rise Residential

Application N<sup>o</sup>: 187363 Drawings in set 7  
 Block: 4 Section: 41  
 Suburb: LYNEHAM

This application has been assessed against legislation protecting Evoenergy's gas infrastructure and access to it.

### This application is approved subject to compliance with the following conditions:

- The location and area allocated for gas regulating and metering equipment is to comply with Evoenergy Gas Service and Installation Rules. The latest version of these rules can be downloaded from: <https://www.evoenergy.com.au/-/media/evoenergy/documents/si-rules/act-gas-service-and-installation-rules.pdf>
- Development is to comply with minimum separation requirements to underground assets
  - 300mm minimum clearance from major plastic and steel gas mains and steel gas services
  - 150mm minimum clearance from other plastic gas mains and services
- A metering equipment upgrade may be required. A licensed gas fitter should verify loads and metering equipment capacities.
- If a meter relocation or service pipe relocation is required in order to comply with Evoenergy standards, please contact your gas retailer and book a meter relocation. Only people accredited by Evoenergy can carry out this work.
- Other:

Please note:

- **WARNING:** Evoenergy underground gas pipes may be in or adjacent to this block. Evoenergy Asset Location Advice may be required. Call 1100.
- Development and Building Applications will need to include any proposed Evoenergy works
- If Evoenergy approval conditions are not met, a breach of the law may result.
- Separate applications are required for water & sewerage, electricity and communication network services.
- Construction of unapproved works may result in action being taken to require the property owner to remove non-compliant structures and/or the property owner to fund rectification works on Evoenergy's gas network
- Any attached reticulation or servicing plan is preliminary only. Contact Evoenergy for final plans prior to the commencement of any construction activity

Signed... **Sch 2.2(a)(ii)** ..... Date 20/11/20

For further **Sch 2.2(a)(ii)** : 6192 6270

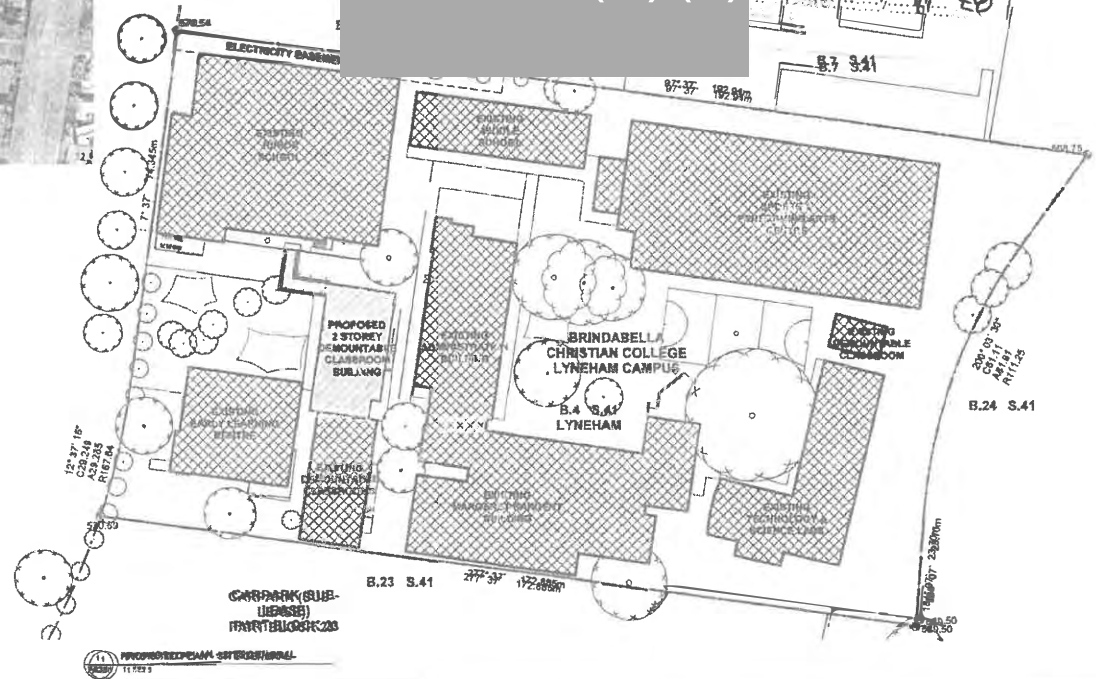


LOCATION PLAN

**ActewAGL Gas Networks**  
**CONDITIONALLY COMPLIES**

This document has been assessed against legislation governing ActewAGL's infrastructure and access to it.  
 The information contained in this application complies with ActewAGL's gas network protection and access requirements subject to the conditions as listed on the Statement of Conditional Compliance.  
 Please note: Some of the proposed works may result in action being taken to protect the gas network, which may include the installation of gas protection structures and/or life saving devices on ActewAGL's gas network.

Sch 2.2(a)(ii)



REV	DATE	DESCRIPTION
1	11/02/20	FOR BA - REVIEW BY CONSULTANTS
2	11/02/20	FOR BA - REVIEW BY CONSULTANTS

Sch 2.2(a)(xi)

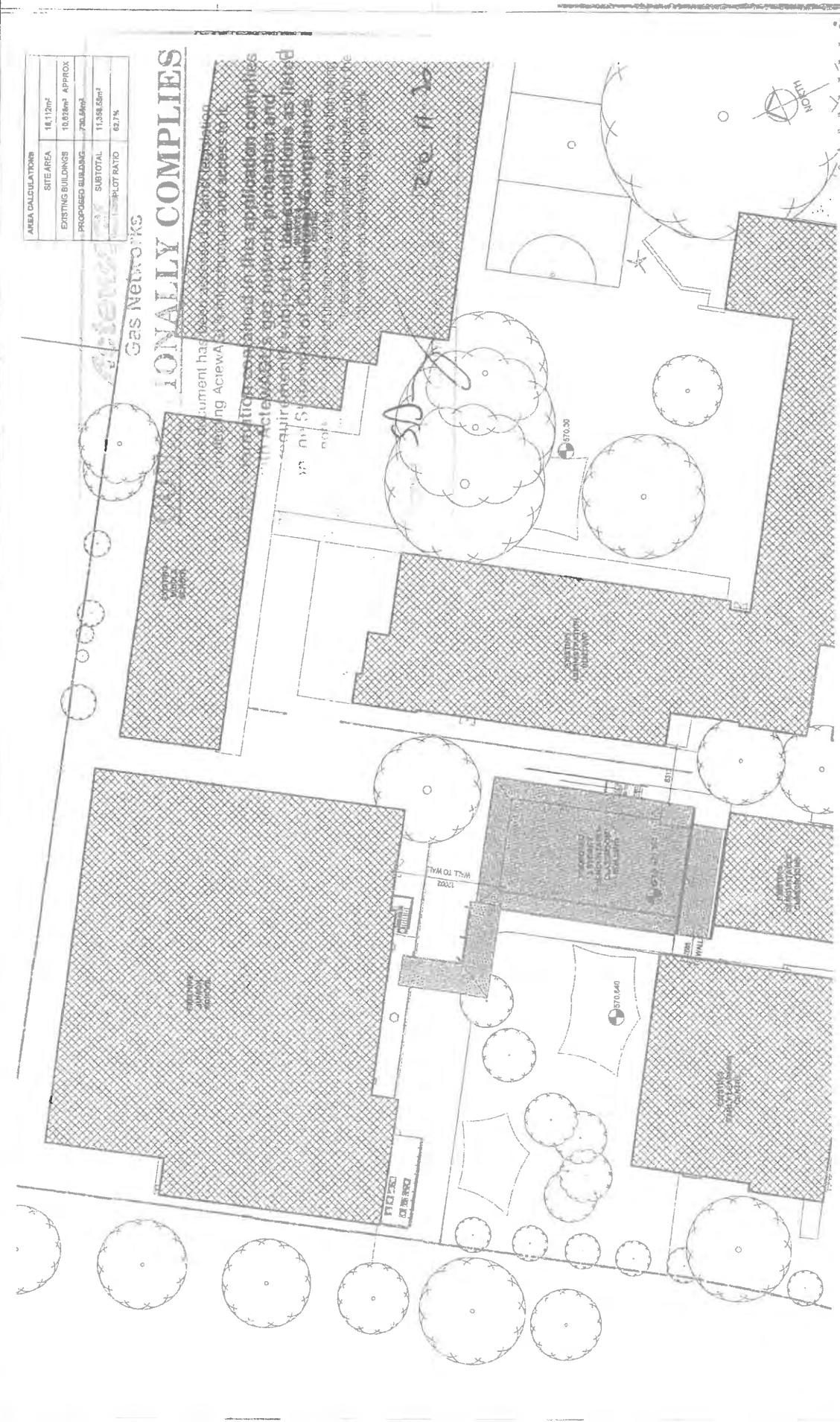
Client		Project Name		Drawing Title	
BRINDABELLA CHRISTIAN COLLEGE		BA		LOCATION & GENERAL SITE PLAN	
Project File: DEMOUNTABLE V2		Project Address: 138 BRINDALOW STREET, LYNEHAM ACT 2622		Drawing Number: 1506.16	
Project Manager: [Name]		Project Architect: [Name]		Drawing Date: 15/06/16	
Scale: 4		Drawing Number: 41		Drawing Code: A001	

AREA CALCULATION	
SITE AREA	18,112sf
EXISTING BUILDINGS	10,826sf APPROX
PROPOSED BUILDING	7,286sf
SUBTOTAL	18,112sf
PLANTING	11,358.55sf
PLANTING RATIO	62.7%

**Gas Networks**

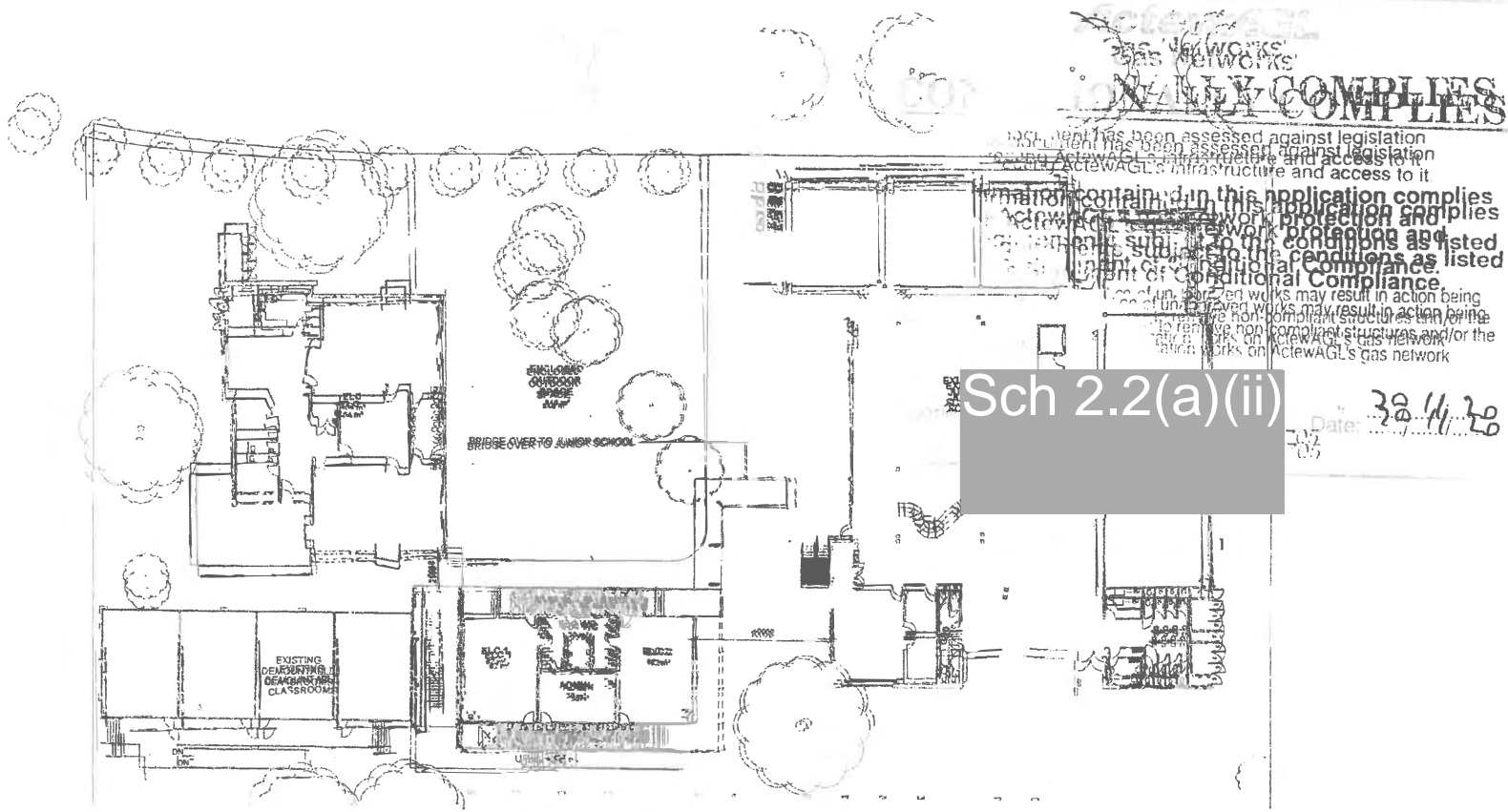
**IONALLY COMPLIES**

document has been reviewed and approved by the Planning Act/AWA. The applicant has provided a detailed site plan showing the proposed building footprint, parking areas, and landscaping. The plan also shows the location of existing and proposed gas lines and manholes. The applicant has provided a detailed site plan showing the proposed building footprint, parking areas, and landscaping. The plan also shows the location of existing and proposed gas lines and manholes.



<p>DATE: 11/28/20</p> <p>DESCRIPTION: FOR BA, ANNA ET CONSULTANTS</p>	<p>PROJECT: 1506.16 A003</p> <p>DATE: 11/28/20</p> <p>DESCRIPTION: FOR BA, ANNA ET CONSULTANTS</p>	<p>PROJECT: 1506.16 A003</p> <p>DATE: 11/28/20</p> <p>DESCRIPTION: FOR BA, ANNA ET CONSULTANTS</p>	<p>PROJECT: 1506.16 A003</p> <p>DATE: 11/28/20</p> <p>DESCRIPTION: FOR BA, ANNA ET CONSULTANTS</p>
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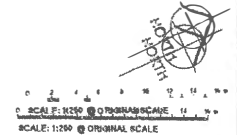
Sch 2.2(a)(xi)



Sch 2.2(a)(ii)

Date: 30/1/20

PROPOSED PLAN - ELC  
PROPOSED PLAN - ELC  
1:200



SCALE: 1:200 @ ORIGINAL SCALE  
SCALE: 1:200 @ ORIGINAL SCALE

<b>GENERAL FLOOR PLAN</b> GENERAL FLOOR PLAN		Date: 30/1/20 Scale: 1:200 Drawing No: A130 Plot No: 1506.16 A130 3
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REV	DATE	DESCRIPTION
1	11/09/20	FOR BA - REVIEW BY CONSTRUCTION
2	11/09/20	FOR BA - REVIEW BY CONSULTANTS

Sch 2.2(a)(xi)

PROJECT NAME BRANBLE CHRISTIAN COLLEGE BRANBLE CHRISTIAN COLLEGE		Project No. 1506.16
ADDRESS 138 BRISGALCOW STREET, LYNEHAM ACT 2602		Drawing No. A130
ARCHITECT ARCHITECTS		Plot No. 1506.16
DATE 11/09/20		Scale 1:200
SHEET NO. 41		Drawing No. A130
TOTAL SHEETS 41		Plot No. 1506.16
PROJECT LOCATION 138 BRISGALCOW STREET, LYNEHAM ACT 2602		Drawing No. A130
ARCHITECT ARCHITECTS		Plot No. 1506.16
DATE 11/09/20		Scale 1:200
SHEET NO. 41		Drawing No. A130
TOTAL SHEETS 41		Plot No. 1506.16





## Electricity Networks

### STATEMENT OF

# CONDITIONAL COMPLIANCE

**Application No:** 187363 **Suburb:** Lyneham **Block/Section** 4 / 41

**Appcn Type:** Non residential/Addition Inclusions : Alteration/Addition

#### Attached Plans

4-41 Lyneham.pdf

**This application is approved subject to compliance with the following conditions:**

#### Conditions

A Minimum of 1.0M clearance is required within the block boundary for the proposed or existing Meter Box.

Development is to comply with minimum 1.5m machinery access clear of obstacles and vegetation to assets within the block.

Development is to comply with minimum separation requirements to underground assets. Ref Evoenergy Drawing 3832-018

The location of the proposed or existing Point of Entry/ Meter Box is to comply with Evoenergy's Service and Installation rules.

#### Please Note

- **WARNING** Evoenergy underground assets may be in or adjacent to this block. It is your responsibility to ascertain the location of such assets.
- Development and Building Applications will need to include any proposed Evoenergy works
- If Evoenergy approval conditions are not met, a breach of the law may result.
- Separate applications are required for water & sewerage, and communication network services.
- Construction of unapproved works may result in action being taken to require the property owner to remove non-compliant structures and/or the property owner to fund rectification works on Evoenergy's electricity network.
- Any attached reticulation or servicing plan is preliminary only. Contact Evoenergy for final plans prior to the commencement of any construction activity.
- A failure of this application to show accurately located electricity assets may result in damage and costs for which the proponent will be liable. Damage to network assets must be reported to Evoenergy.

#### Comments:

Signed

Sch 2.2(a)(ii)

Date

011 Dec 2020

For further information please phone Evoenergy Electricity Networks: 6293 5770

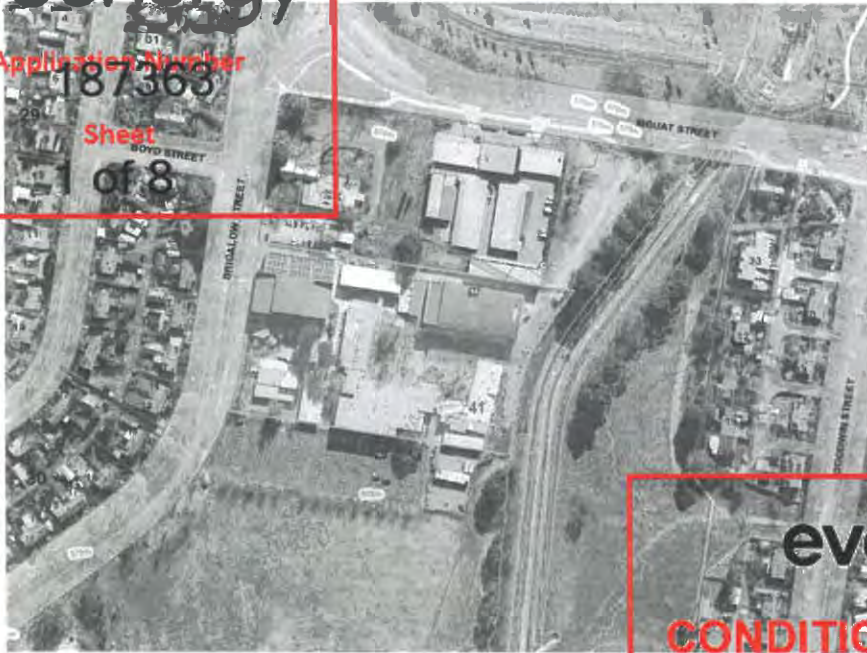
Evoenergy Gas Networks: 6203 0640

Application Number

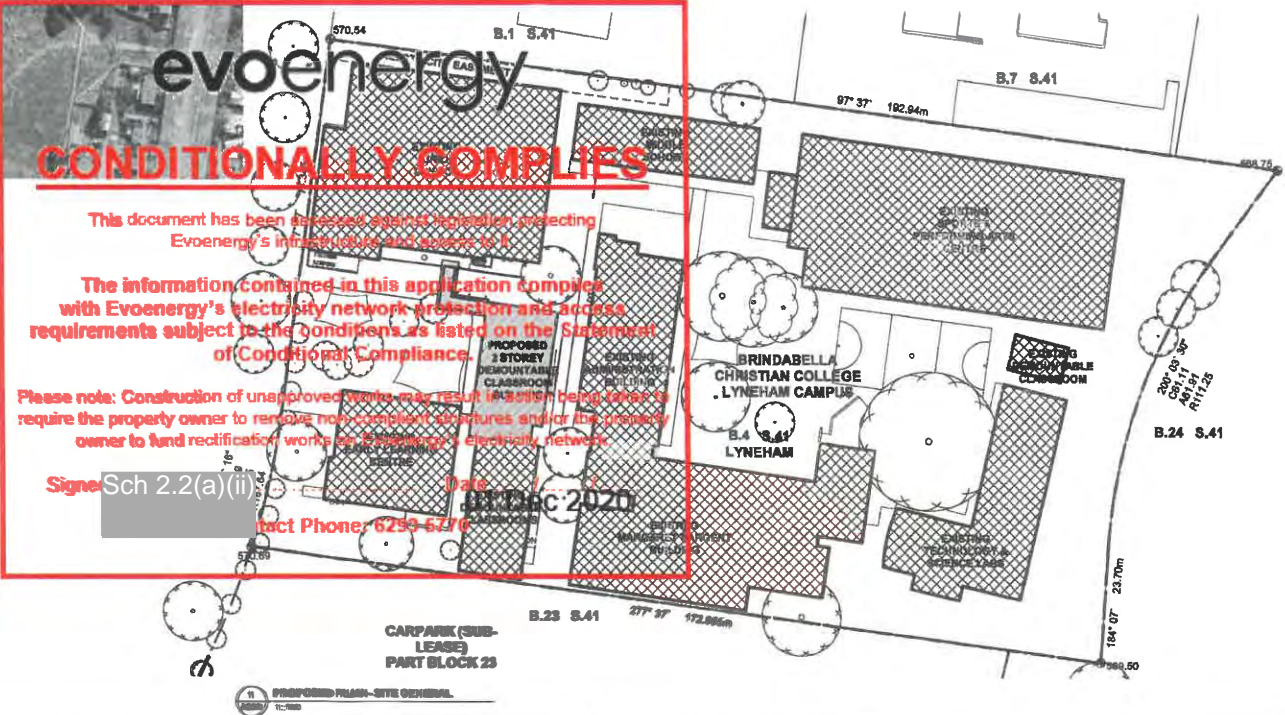
187363

Sheet

of 8



LOCATION PLAN



## CONDITIONALLY COMPLIES

This document has been assessed against legislation protecting Evoenergy's infrastructure and access to it.

The information contained in this application complies with Evoenergy's electricity network protection and access requirements subject to the conditions as listed on the Statement of Conditional Compliance.

Please note: Construction of unapproved works may result in a notice being issued to require the property owner to remove non-compliant structures and/or the property owner to fund rectification works on Evoenergy's electricity network.

Sign: Sch 2.2(a)(ii) Date: 13 Dec 2020  
 Contact Phone: 6259-6776

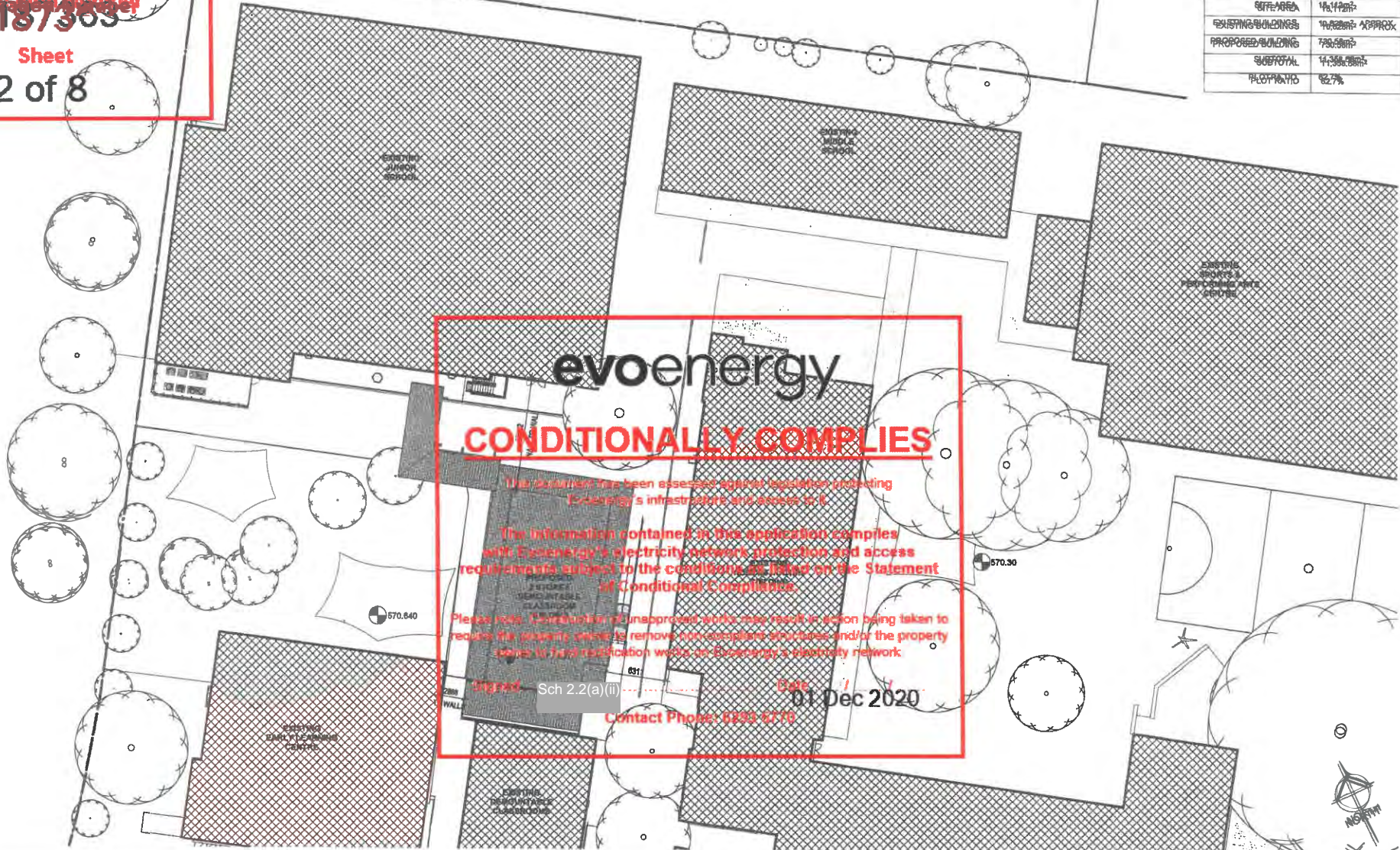
REV	DATE	DESCRIPTION
1	11/08/20	FOR BA - REVIEW BY CONSULTANTS

Sch 2.2(a)(xi)

Client <b>BRINDABELLA CHRISTIAN COLLEGE</b>	Project Name <b>BA</b>	Project Address <b>100 BRINDALL STREET, LYNEHAM ACT 2602</b>	Project Number <b>1506.16</b>
Project Name <b>DEMOUNTABLE VP</b>	Client <b>BRINDABELLA CHRISTIAN COLLEGE</b>	Project Number <b>1506.16</b>	Project Name <b>A001</b>
Project Name <b>DEMOUNTABLE VP</b>	Project Number <b>1506.16</b>	Project Name <b>A001</b>	Project Name <b>A001</b>

All dimensions are in metres. All bearings are in degrees, minutes and seconds. All dimensions are rounded to the nearest millimetre. All dimensions are subject to the accuracy of the survey and the accuracy of the data provided. All dimensions are subject to the accuracy of the survey and the accuracy of the data provided.

AREA CALCULATIONS	
SITE AREA	14,142m <sup>2</sup>
EXISTING BUILDINGS	14,226m <sup>2</sup> APPROX.
PROPOSED BUILDING	73058m <sup>2</sup>
SUBTOTAL	14,356.88m <sup>2</sup>
PLANTING	92.7%



**evoenergy**

**CONDITIONALLY COMPLIES**

This situation has been assessed against legislation protecting  
Evoenergy's infrastructure and access to it.

The information contained in this application complies  
with Evoenergy's electricity network protection and access  
requirements subject to the conditions as listed on the Statement  
of Conditional Compliance.

Please note: Unauthorised or unapproved works may result in action being taken to  
restrict the property owner to remove non-compliant structures and/or the property  
owner to fund rectification works on Evoenergy's electricity network.

Signed: Sch 2.2(a)(ii) Date: 01 Dec 2020  
Contact Phone: 0233 62700

REV	DATE	DESCRIPTION
1	11/08/20	ISSUE FOR CONSTRUCTION

Sch 2.2(a)(xi)

PROJECT INFORMATION			CLIENT		
PROJECT NAME: SCH 2.2(a)(xi)			PROJECT NO: 187303		
PROJECT ADDRESS: 100 FORDHAM STREET LYDSEA MAGDAREE			CLIENT: BSA		
PROJECT MANAGER: [Name]			DATE: 01 Dec 2020		
DRAWN BY: [Name]			SCALE: 1:500 @ ORIGINAL SCALE		
CHECKED BY: [Name]			SHEET NO: 2		
DATE: 15/06/16			PROJECT NO: A003		

Block: 4

Section: 41

Suburb: Lyneham

Unit No:

Project Number: B2023500

Building Certifier: CBS Commercial

Customer Services Officer Name: CM

Date of completeness check: 27/02/2023

Creating Building Files	
Only complete this section if for a new block where a building file does not exist. Select Y (yes) or N (no) below.	
Is this a new building on a new block?	<input type="checkbox"/>
Has a new building approval been created in Objective and I Drive?	<input checked="" type="checkbox"/>

**DOES THE BA DESCRIPTION HAVE ADEQUATE DETAILS EG. SHOP NAME? YES  NO**

**(JUST FITOUT NOT ACCEPTABLE)**

**IF NOT PLEASE CONTACT THE CERTIFER TO ADD THESE DETAILS TO THE DESCRIPTION**

### Part 1 Administrative Check

Requirements	Yes	No	N/A	Comments
Has the Building Approval been submitted within 7 days from the date of approval?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Have all relevant plans been stamped and dated by the building certifier?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Does the date stamp on the plans match the approval date on eDevelopment?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Building approval stamp and application form text legible?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
If the Building Approval has a Development Approval is the Development Approval still valid?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	DA NUMBER:
Have all lessee's signed the relevant forms?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Are all relevant documents uploaded & named correctly?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has an insurance certificate been provided if the cost of building work exceeds \$12,000? (Class 1 units only)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Correct cost of building work provided in E-Development – Refer to Government <a href="#">Cost Guide</a> (Class 1-10).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Have statements of compliance from each relevant utility been provided where relevant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> GAS <input checked="" type="checkbox"/> WATER <input checked="" type="checkbox"/> ELECTRICITY
If BCN has been issued, is the licensee authorised to undertake the work as described? ie: Swimming Pool or Demolition endorsement on licence.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
If there is no exemption D notice has a site work notice been provided?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Is this BA for a commercial Solar over 200Kw	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	If yes, send BA reference to <a href="mailto:Techregulator.Utilities@act.gov.au">Techregulator.Utilities@act.gov.au</a>

### Part 2 Documentation Check

Document	Document Name	Yes	No	N/A
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Asbestos Removal Control Plan	Asbestos Removal Control Plan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Development Approval (including amendments)	Approved Plans – Development Approval	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Site Plan	Approved Plans – Site	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Floor Plan	Approved Plans – Floor	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Elevation Plan	Approved Plans – Elevation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Section Details – Wall, Floor Ceiling & Roof	Approved Plans – Sections Wall Approved Plans – Sections Floor Approved Plans – Sections Ceiling Approved Plans – Sections Roof	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Demolition Plan	Approved Plans – Demolition	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Swimming Pools and Spas Details (including fencing/barriers)	Details – Pools Spas	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Energy Efficiency Details (Multi Unit Housing Only)	Details – Energy Efficiency	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Part 4 Audit Team Checklist				
Document	Document Name	Pass	Fail	N/A
Footings and Concrete Slab Details	Details – Footings Concrete Slab	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Retaining Wall Details	Details – Retaining Walls	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Masonry Construction Details	Details – Masonry Construction	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Framing (including trusses) and Construction Details	Details – Framing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Roof Cladding Details	Details – Roof Cladding	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Exterior Cladding & Material Details	Details – Exterior Cladding & Materials	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Wet area details	Details – Wet Area	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Windows and Glazing Details	Details – Windows Glazing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Estimate of the Cost of the Building Work	Details – Cost of Building Work	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Alternative Solutions	Details – Alternative Solutions	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

