



**ACT**  
Government

Chief Minister, Treasury and  
Economic Development

## Freedom of Information Publication Coversheet

The following information is provided pursuant to section 28 of the *Freedom of Information Act 2016*.

FOI Reference: CMTEDDFOI 2018-0088

Information to be published	Status
1. Access application	Published
2. Decision notice	Published
3. Documents and schedule	Published
4. Additional information identified	No
5. Fees	N/A
6. Processing time (in working days)	12
7. Decision made by Ombudsman	N/A
8. Additional information identified by Ombudsman	N/A
9. Decision made by ACAT	N/A
10. Additional information identified by ACAT	N/A

**From:** [EPSDFOI](#)  
**To:** [CMTEDD\\_FOI](#)  
**Cc:** [EPSDFOI](#)  
**Subject:** RE: Freedom of Information Request - Building Approvals [SEC=UNCLASSIFIED]  
**Date:** Thursday, 12 April 2018 4:02:58 PM  
**Attachments:** [image001.png](#)

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Hi CMTEDDFOI

I believe this request should have been addressed to you, do you accept a transfer?

Heather Johnston  
Information and Systems Support (Freedom of Information)  
**Phone 02 6207 1941**  
**Information Management** | Environment, Planning and Sustainable Development | **ACT Government**  
Dame Pattie Menzies House, Challis Street, Dickson | GPO Box 158 Canberra ACT 2601 | [www.environment.act.gov.au](http://www.environment.act.gov.au)

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**From:** [REDACTED]  
**Sent:** Thursday, 12 April 2018 3:40 PM  
**To:** EPSDFOI <EPSDFOI@act.gov.au>  
**Cc:** [REDACTED]  
**Subject:** Freedom of Information Request - Building Approvals

Dear Sir/Madam,

[REDACTED] seeks access to the following information under s7 of the *Freedom of Information Act 2016*:

- 1) Any Building Approval issued under the *Building Act 2004* in relation to Block 24, Section 8 in Phillip, issued on or after 16<sup>th</sup> December 2016.
- 2) Any Building Commencement Notice issued under the *Building Act 2004* in relation to Block 24, Section 8 in Phillip, issued on or after 16<sup>th</sup> December 2016.
- 3) Any other decisions, approvals or notices issued under the *Building Act 2004* in relation to Block 24, Section 8 in Phillip issued on or after 16<sup>th</sup> December 2016.

In relation to s7 of the *Freedom of Information Act 2016*, [REDACTED] considers that factors favouring the disclosure of the information include:

- 1) As they comprise decisions taken by a government agency, release of this information would enhance the government's accountability in line with Schedule 2, 2.1(a)(i);
- 2) This information would reveal the reason for one or more government decisions and any background or contextual information that informed the decision in line with Schedule 2, 2.1(a)(viii);
- 3) If released, this information, as it deals with construction works involving excavation, the removal of soil and potentially toxic sewerage works, would contribute to the protection of the environment, in line with Schedule 2, 2.1(a)(viii)
- 4) If released, this information, as it deals with construction works involving excavation, the removal of soil and potentially toxic sewerage works, may reveal environmental or health risks or measures relating to public health and safety.

Contact details to respond to this request are:

[Redacted]

[Redacted]

[Redacted]

[Redacted]

[Redacted]

If there are any queries or concerns about this request, or any way I can assist further, please give me call.

Thanks,

[Redacted]

[Redacted]

[Redacted]

[Redacted]

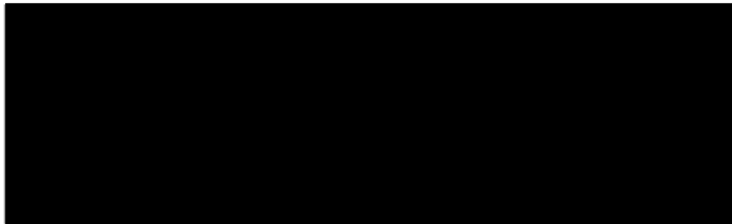
[Redacted]




**ACT**  
Government

Chief Minister, Treasury and  
Economic Development

Our ref: CMTEDDFOI 2018-0088



via email: 

### **FREEDOM OF INFORMATION REQUEST**

I refer to your application under section 30 of the *Freedom of Information Act 2016* (the Act), received by the Chief Minister, Treasury and Economic Development Directorate (CMTEDD) on 12 April 2018, in which you sought access to:

- Any Building Approval issued under the *Building Act 2004* in relation to Block 24, Section 8 in Phillip, issued on or after 16th December 2016.
- Any Building Commencement Notice issued under the *Building Act 2004* in relation to Block 24, Section 8 in Phillip, issued on or after 16th December 2016.
- Any other decisions, approvals or notices issued under the *Building Act 2004* in relation to Block 24, Section 8 in Phillip issued on or after 16th December 2016.

### **Authority**

I am an Information Officer appointed by the Director-General of CMTEDD under section 18 of the Act to deal with access applications made under Part 5 of the Act.

### **Timeframes**

In accordance with section 40 of the Act, CMTEDD is required to provide a decision on your access application by 11 May 2018.

### **Decision on access**

Searches were completed for relevant documents and 21 documents were identified that fall within the scope of your request.

I have decided to grant full access to 9 document, partial access to 11 documents with 1 document being exempt. The information redacted in the documents I consider to be information that would, on balance, be contrary to the public interest to disclose under the test set out in section 17 of the Act.

I have included as Attachment A to this decision the schedule of relevant documents. This provides a description of each document that falls within the scope of your request and the access decision for each of those documents.

My access decisions are detailed further in the following statement of reasons and the documents released to you are provided as Attachment B to this letter.

In accordance with section 54(2) of the Act a statement of reasons outlining my decision is below.

### **Statement of Reasons**

In reaching my access decision, I have taken the following into account:

- the Act;
- the content of the documents that fall within the scope of your request;
- the *Human Rights Act 2004*.

### **Exemption claimed**

My reasons for deciding not to grant access to the identified documents and components of these documents are as follows:

#### Public Interest

The Act has a presumption in favour of disclosure. As a decision maker I am required to decide where, on balance, public interests lies. As part of this process I must consider factors favouring disclosure and non-disclosure.

In *Hogan v Hinch* (2011) 243 CLR 506, [31] French CJ stated that when 'used in a statute, the term [public interest] derives its content from "the subject matter and the scope and purpose" of the enactment in which it appears'. Section 17(1) of the Act sets out the test, to be applied to determine whether disclosure of information would be contrary to the public interest. These factors are found in subsection 17(2) and Schedule 2 of the Act.

Taking into consideration the information contained in the documents found to be within the scope of your request, I have identified that the following public interest factors are relevant to determine if release of the information contained within these documents is within the 'public interest'.

#### Factors favouring disclosure (Schedule 2.1)

- Contribute to the administration of justice generally, including procedural fairness.

#### Factors favouring non-disclosure (Schedule 2.2)

- Prejudice the protection of an individual's right to privacy or other right under the *Human Rights Act 2004*;
- Prejudice trade secrets, business affairs or research of an agency or person.

Having considered the factors identified as relevant in this matter, I consider that release of information contained in these documents may contribute to the administration of justice generally, including procedural fairness by allowing you to have a complete record of the interactions with the ACT Government and the steps taken to ensure compliance with the *Building Act 2004*.

However, when considering this finding against the factor favouring non-disclosure, I am satisfied that the protection of an individual's right to privacy, especially in the course of assisting in a line of enquiry with a government agency, is a significant factor as the parties involved have provided their personal information for the purposes of meeting obligations under relevant legislation which, in my opinion, outweighs the benefit which may be derived from releasing the personal information of the individual's involved in this matter. These individuals are entitled to expect that the personal information they have supplied as part of this process will be dealt with in a manner that protects their privacy. Considering the type of information to be withheld from release, I am satisfied that the factors in favour of release can still be met while protecting the personal information of the individuals involved.

I therefore weight the factor for non-disclosure more highly than the factor in favour of release in this instance. As a result, I have decided that release of this information (contacts names, home addresses, email addresses and mobile phone numbers) could prejudice their right to privacy under the *Human Rights Act 2004*.

Having applied the test outlined in section 17 of the Act and deciding that release of personal information contained in the documents is not in the public interest to release, I have chosen to redact this specific information in accordance with section 50(2). Noting the pro-disclosure intent of the Act, I am satisfied that redacting only the information that I believe is not in the public interest to release will ensure the intent of the Act is met and will provide you with access to the majority of the information held by CMTEDD within the scope of your request.

Folios 1-8, 11, 21-23, 25 and 34-37 of the identified documents are entirely composed of, or contain information that I consider, on balance, to be contrary to the public interest to disclose under the test set out in section 17 of the Act.

### **Charges**

Pursuant to *Freedom of Information (Fees) Determination 2017 (No 2)* processing charges are not applicable for this request because the total number folio's to be released to you is below the charging threshold of 50 pages.

### **Online publishing – Disclosure Log**

Under section 28 of the Act, CMTEDD maintains an online record of access applications called a disclosure log. Your original access application, my decision and documents released to you in response to your access application will be published in the CMTEDD disclosure log after 4 May 2018. Your personal contact details will not be published.

You may view CMTEDD disclosure log at:

<https://www.cmtedd.act.gov.au/functions/foi/disclosure-log>.

### **Ombudsman Review**

My decision on your access request is a reviewable decision as identified in Schedule 3 of the Act. You have the right to seek Ombudsman review of this outcome under section 73 of the Act within 20 working days from the day that my decision is published in CMTEDD disclosure log, or a longer period allowed by the Ombudsman.

If you wish to request a review of my decision you may write to the Ombudsman at:

The ACT Ombudsman  
GPO Box 442  
CANBERRA ACT 2601  
Via email: [ombudsman@ombudsman.gov.au](mailto:ombudsman@ombudsman.gov.au)

### **ACT Civil and Administrative Tribunal (ACAT) Review**

Under section 84 of the Act, if a decision is made under section 82(1) on an Ombudsman review, you may apply to the ACAT for review of the Ombudsman decision. Further information may be obtained from the ACAT at:

ACT Civil and Administrative Tribunal  
Level 4, 1 Moore St  
GPO Box 370  
Canberra City ACT 2601  
Telephone: (02) 6207 1740  
<http://www.acat.act.gov.au/>

Should you have any queries in relation to your request please contact me by telephone on 6207 7754 or email [CMTEDDFOI@act.gov.au](mailto:CMTEDDFOI@act.gov.au)

Yours sincerely,



Daniel Riley  
Information Officer  
Information Access Team  
Chief Minister, Treasury and Economic Development Directorate

{ May 2018



**ACT**  
Government

Chief Minister, Treasury and  
Economic Development

## FREEDOM OF INFORMATION REQUEST SCHEDULE

NAME	WHAT ARE THE PARAMETERS OF THE REQUEST	Reference NO.
	1) Any Building Approval issued under the Building Act 2004 in relation to Block 24, Section 8 in Phillip, issued on or after 16th December 2016. 2) Any Building Commencement Notice issued under the Building Act 2004 in relation to Block 24, Section 8 in Phillip, issued on or after 16th December 2016. 3) Any other decisions, approvals or notices issued under the Building Act 2004 in relation to Block 24, Section 8 in Phillip issued on or after 16th December 2016.	2018-0088

Ref No	Page number	Description	Date	Status	Reason for Exemption	Online Release Status
1	1	Building Approval Fees and Levies Tax Invoice	17-Jul-2017	Partial release	Schedule 2 section 2(a)(ii) Personal Information Schedule 2 section 2(a)(xi) Business Affairs	Yes
2	2-3	Building Approval Fees and Levies Receipt	02-Aug-2017-	Partial release	Schedule 2 section 2(a)(xi) Business Affairs	Yes
3	4-5	Appointment of Builder & Application for Commencement Notice		Partial release	Schedule 2 section 2(a)(ii) Personal Information	Yes
4	6-7	Appointment of a Certifier – Application for Building Approval		Partial release	Schedule 2 section 2(a)(ii) Personal Information Schedule 2 section 2(a)(xi) Business Affairs	Yes
5	8-10	Appointment of a Certifier and Application for Building Approval		Partial release	Schedule 2 section 2(a)(ii) Personal Information Schedule 2 section 2(a)(xi) Business Affairs	Yes
6	11-16	Letter		Partial release	Schedule 2 section 2(a)(ii) Personal Information	Yes
7	17-20	Plans		Full release	N/A	Yes
8	21-22	Application for Building Commencement Notice		Partial release	Schedule 2 section 2(a)(ii) Personal Information Schedule 2 section 2(a)(xi) Business Affairs	Yes
9	23-24	Building Approval		Partial release	Schedule 2 section 2(a)(xi) Business Affairs	Yes



10	25-26	Building Commencement Notice		Partial release	Schedule 2 section 2(a)(ii) Personal Information Schedule 2 section 2(a)(xi) Business Affairs	Yes
11	27-29	Canberra Air Conditioning Services Installation Certificate		Full release	N/A	Yes
12	30	Certificate of Compliance – Fire Sprinklers		Full release	N/A	Yes
131	31	Certificate Of Compliance -Glazing		Full release	N/A	Yes
14	32	Certificate Of Compliance – Exit & Emergency Lighting		Full release	N/A	Yes
15	33	Certificate Of Compliance - Plumbing		Full release	N/A	Yes
16	34	Lodgement Receipt		Exempt	Schedule 2 section 2(a)(xi) Business Affairs	Yes
17	35-36	Application for Certificate of Occupancy and Use		Partial release	Schedule 2 section 2(a)(ii) Personal Information	Yes
18	37-38	Application for Certificate of Occupancy and Use		Partial release	Schedule 2 section 2(a)(ii) Personal Information	Yes
19	39	Inspection record		Full release	N/A	Yes
20	40-41	Certification of Completion of Building Work		Full release	N/A	Yes
21	42	Certificate of Occupancy and Use		Full release	N/A	Yes
<b>Total No of Docs</b>						
21						



# Building Approval Fees and Levies Tax Invoice

TO THE PAYEE

**Access Canberra Building Services**

c/o Bowes Place Custodians PTY LTD

Sch 2 s2(a)(ii) , ,

Sch 2 s2(a)(ii)

ABN 16 479 763 216  
8 Darling Street Mitchell  
GPO Box 158 ACT 2601  
Access Canberra Homepage: [www.act.gov.au/accesscbr](http://www.act.gov.au/accesscbr)

Invoice Date:17/07/2017 Time:11:33:10 AM

Invoice Number: 3100422330

Block - Section - Division - District	Building Levy	Training Levy	Fees Paid	Total
68 - 8 - PHILLIP - WODEN VALLEY Ref # - ac170166				
<b>Total</b>	<b>Sch 2 s2(a)(xi)</b>			

No GST applies to these fees and levies.

PAYMENT REQUIRED WITHIN 14 DAYS OF INVOICE ISSUE DATE

## Payment Options



Billers Code: 584508  
Ref: 3100422330

### Telephone & Internet Banking – BPAY®

Call your bank, credit union or building society to make this payment from your cheque, savings or credit card account. More info: [www.bpay.com.au](http://www.bpay.com.au)



Access Canberra.

### Internet

Visit [www.accesscanberra.act.gov.au](http://www.accesscanberra.act.gov.au) and search "Building Approvals and Payments" and then follow links to pay by credit card (MasterCard or Visa)



Access Canberra.

### Phone

Telephone (02) 6207 1923 8.30am - 4.30pm Mon - Fri and have your credit card details handy (MasterCard and Visa).



Access Canberra.

### In Person

Access Canberra Building Services Shopfront Only: 8.30am – 4.30pm Mon – Fri . Cash, Cheque, EFTPOS, Credit card (Mastercard and Visa). CashLink Code – 34 0075



# Building Approval Fees and Levies Receipt



**Access Canberra Building Services**

BCA CERTIFIERS AUSTRALIA PTY LTD  
3/2-6 SHEA STREET PHILLIP ACT 2606

ABN 16 479 763 216  
16 Challis Street Dickson  
GPO Box 158 ACT 2601  
Access Canberra Homepage: [www.act.gov.au/accesscbr](http://www.act.gov.au/accesscbr)

Payment Received: 8/2/2017

Payment for Invoice Number: 3100422330

Block	Section	District	Division	Building Levy	Training Levy	Workcover	Total Levies	Fees Paid	
68	8	WODEN VALLEY	PHILLIP	<b>Sch 2 s2(a)(xi)</b>					
			Total						

No GST applies to these fees and levies.



Receipt

ABN: 37 307 569 373
Receipt Reference: 302366.1.5
Date: 02-Aug-2017 0:00
Cashier: 1881
Counter: CashLink Services
Location: CashLink Server

Receipt Item:

Amount

ABN: 16 479 763 216 - Multiple Building Levies

Sch 2 s2(a)(xi)

Customer Ref - 3100422330

Copy

Sch 2 s2(a)(xi)

Total

Sch 2 s2(a)(xi)

Payment Details:

EFT via Agent



# APPOINTMENT OF BUILDER & APPLICATION FOR COMMENCEMENT NOTICE

*Building Act 2004, S151*

In completing this form the owner is authorising the builder nominated below to apply to the appointed certifier to issue a Commencement Notice for the works detailed in this application form.

## PART A PROJECT DETAILS

Block  Section  Suburb  Unit No.

Street Address

Certifier Name

Description of Building Works relevant to this application-If more than 6 items please attach further details

1	
2	
3	
4	

## PART B OWNER DETAILS - Please Print

All owners must be listed Owner 1 will be considered the contact person in relation to this application

Company Details

Owner 1  Owner 2

Owner 3  Owner 4

Postal Address

Suburb

State

Postcode

Phone Number Business Hours

Mobile

EMAIL ADDRESS

**PART C APPOINTMENT OF BUILDER**

I/we the owner/s have appointed the person whose details appear below as the builder in relation to the building works described in this form

Licence Holders Name as it appears on licence card **SERGIO ANTONIO CONTRERA J**

Licence Number **2014318** Class **C** Expiry Date **13/05/20**

List any conditions or endorsements on licence

EMAIL ADDRESS **SERGIO@PRIMOBUILDING.COM.OM**

**PART D NOMINEE'S DETAILS**  
If the builder is a company or partnership provide details of the Nominee who will supervise the building

Nominee's Name

Licence Number Class Expiry Date

Signature of Nominee Date

**PART E OWNER SIGNATURE/S** - all owners must sign this form

Owner 1 **Sch 2 s2(a)(ii)** Signature **Sch 2 s2(a)(ii)** DATE: **5th June 2017**  
Owner 2 **Sch 2 s2(a)(ii)** Signature **Sch 2 s2(a)(ii)** DATE: **5th June 2017**  
Owner 3 Signature DATE:  
Owner 4 Signature DATE:

**PART F BUILDER APPLICATION TO CERTIFIER FOR COMMENCEMENT NOTICE**

I hereby apply to the building certifier listed above for a commencement notice for the works detailed in Part A of this form in accordance with the Building Act 2004.

- A site sign was not required to be displayed prior to making this application.
- A site sign was required to be displayed prior to making this application and I declare that a compliant sign was erected and displayed for the required period.

Signature of Builder **Sergio C** Date **4/7/2017**

NOTE: There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

**PART G INSURANCE OR FIDELITY CERTIFICATE**

For residential building work please provide details of insurance where applicable

Insurance Provider Policy No. Date Issued



# APPOINTMENT OF A CERTIFIER APPLICATION FOR BUILDING APPROVAL

Building Act 2004, S151

This form is to be completed by the Owner/s of the land to which the building work relates.

**PART A PROJECT DETAILS**

Block **68** Section **B** Suburb **WODEN VALLEY** Unit No.

Street Address **LEVEL 1 / 1 BOWES PLACE  
PHILLIP ACT. 2606**

Description of Building Works relevant to this application-if more than 4 items please attach further details

Describe each item of building work in this building approval	BCA Occupancy Class	BCA Construction Type	Area (m <sup>2</sup> )	Number of Storeys	Cost of Works (refer to building cost)
	5	N/A		N/A	Sch 2 s2(a)(xi)

**Applicable approved requirements and reasons why building approval is not prevented from being issued**

Is all work exempt from development approval?

- YES Attach assessment for exempt development checklist (if applicable)
- NO Provide reason/s or description of work: \_\_\_\_\_

**Description of Attachments compliant with Division 3.3 Building Act 2004**  
Please attach any additional documentation not listed below

- Building Approval Plans
- Referrals, consultations & consents outcomes
- Asbestos Advice - If documents accompanying building approval do not include an asbestos assessment report as per the Building Act 2004, the building approval must have an AA attached as per the Act

**PART B OWNER'S DETAILS - Please Print**

All owners must be listed

Owner 1 will be considered the contact person in relation to this application

Company Details **BOWES PLACE CUSTODIANS PTY LTD**

ACN/ABN Number **161 963 855**

Owner 1 **Sch 2 s2(a)(ii)** Owner 2 **Sch 2 s2(a)(ii)**

Owner 3 \_\_\_\_\_ Owner 4 \_\_\_\_\_

Approved form AF2016-85 approved by David Middlemiss, Construction Occupations Deputy Registrar on 10 August 2016 under section 151 of the Building Act 2004 and revokes AF2016-80.

Authorised by the ACT Parliamentary Counsel—also accessible at [www.legislation.act.gov.au](http://www.legislation.act.gov.au)

**PART B continued** **OWNER/S DETAILS – Please Print**

Postal Address **Sch 2 s2(a)(ii)**

Suburb **Sch 2 s2(a)(ii)** State **ACT** Postcode **Sch 2 s2(a)(ii)**

Phone Number Business Hours **Sch 2 s2(a)(ii)** Mobile **Sch 2 s2(a)(ii)**

EMAIL ADDRESS **Sch 2 s2(a)(ii)**

**PART C** **APPOINTMENT OF CERTIFIER**

As required under the Building ACT 2004 I/we herby advise that I/we the owner/s have appointed the person whose details appear below as the certifier in relation to the building works described in this form:

Company Details **BCA Certifiers Australia - 200714**

Name of Certifier  ABN/ACN **58 119 755 734**

Postal Address **Unit 3, 2-6 Shea Street**

Suburb **PHILLIP** State **ACT** Postcode **2606**

Phone Number Business Hours **6285 1199** Mobile

EMAIL ADDRESS **mail@bcacertifiers.com.au**

**PART D** **APPLICATION FOR BUILDING APPROVAL**

I/we the Owner/s of the abovementioned property hereby apply under Section 26 of the *Building Act 2004* to the certifier named above to issue a building approval for the building work described in this form. I/we have provided the certifier with information and documentation required to issue a building approval as specified in the *Building (General) Regulation 2008*.

**PART E** **AUTHORITY TO ACCESS BUILDING FILE**

I/we hereby authorise the certifier to access the building file for the property which is the subject of this application for the purposes of obtaining information relevant to the issuing of a building approval and associated processes.

**PART F** **OWNER/S SIGNATURE/S**

1st Owner's Signature	<b>Sch 2 s2(a)(ii)</b>	Date	<b>5<sup>th</sup> June 2017</b>
2nd Owner's Signature	<b>Sch 2 s2(a)(ii)</b>	Date	<b>5<sup>th</sup> June 2017</b>
3rd Owner's Signature	<input type="text"/>	Date	<input type="text"/>
4th Owner's Signature	<input type="text"/>	Date	<input type="text"/>

**NOTE:** There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

Approved form AF2016-85 approved by David Middlemiss, Construction Occupations Deputy Registrar on 10 August 2016 under section 151 of the *Building Act 2004* and revokes AF2016-80.





Building Act 2004, S151

## Appointment of a Certifier and Application for Building Approval

Project ID: B20172802

This form is to be completed by the Owner/s of the land to which the building work relates

### PART A - PROJECT DETAILS

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
	68	8	WODEN VALLEY	PHILLIP	Australian Capital Territory

### PART B - OWNER DETAILS

Name	Address	Email Address
Bowes Place Custodians PTY LTD	Sch 2 s2(a)(ii)	
Bowes Place Custodians PTY LTD	Sch 2 s2(a)(ii)	

### PART C - APPOINTMENT OF CERTIFIER

As required under the Building ACT 2004 I/we hereby advise that I/we the owner/s have appointed the person whose details appear below as the certifier in relation to the building works described in this form

Full Name	Address	License Number	Expiry Date
BCA CERTIFIERS AUSTRALIA PTY LTD	3/2-6 SHEA STREET PHILLIP ACT 2606	200714	30/06/2018

### PART D - APPLICATION FOR BUILDING APPROVAL

I/we the owners of the abovementioned property hereby apply to the certifier named above to issue a building approval under Section 26 of the Building Act 2004 for the building works detailed in the following table

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
5	Alterations	OFFICE BUILDING	Office Fitout - Rheumatology ACT	NA	0	37.20	Sch 2 s2(a)(xi)

I/we have provided the certifier with the information and documentation required to issue a building approval as specified in the Building (General) Regulation 2008.

### PART E - AUTHORITY TO ACCESS BUILDING FILE

I/we hereby authorise the certifier to access the building file held by Access Canberra for the property which is the subject of this application for the purposes of obtaining information relevant to the issuing of a building approval and associated processes.

### PART F - OWNER/S SIGNATURE/S

Name	Signature	Date
Bowes Place Custodians PTY LTD		
Bowes Place Custodians PTY LTD		

# APPLICATION FOR BUILDING APPROVAL REQUIREMENTS

## Building (General) Regulations 2008

Where relevant the following information **MUST** be included in either the application or the plans accompanying the application for building approval:

### General Requirements

- Estimated Cost of Works -as per Building (General) (Cost of Building Work) Determination 2011
- if the proposed building work to be carried out at or near a street or place that is open to or used by the public the application must contain details of the precautions proposed to be taken to protect the safety of people using the street or place while the building work is carried out
- the area of the parcel of land to which this application relates
- the class of the building according to the intended use of the building as proposed to be erected or altered;
- if applicable what fire-resisting construction type (under the building code) the building as proposed to be erected or altered will be.

Note: Fire-resisting construction type may not be applicable if an alternative solution under the building code is used.

- for an application relating to the erection of a class 1 building the site classification of the parcel of land
- for an application relating to the alteration of a class 1 building if the alteration will increase the building load carried by foundation material beyond the building load carried by the foundation before the alteration.

- the site classification of the parcel of land

- for an application relating to the alteration of a building the class and type of fire-resisting construction of the existing building classified under the building code and the materials used in the existing building

Note Fire-resisting construction type may not be applicable if an alternative solution under the building code is used.

- the number of storeys of the building as proposed to be erected or altered;
- the number of new dwellings (if any) created by the proposed building work;
- the floor area of the proposed building or proposed new part of the building;
- the materials to be used in the frame, floor, walls and roof of the proposed building or proposed new part of the building
- if a performance requirement of the building code is to be complied with by use of an alternative solution under the code -

(i) the performance requirement; and

(ii) the alternative solution; and

(iii) each assessment method used to show that the alternative solution complies with the performance requirement;

- if the building code does not state a standard of work in relation to any part of the proposed building work and it is intended to carry out that part of the proposed building work in accordance with a standard of work stated in another document -

(i) the nature of the proposed building work; and

(ii) the title of the document; and

(iii) each assessment method used to show that the proposed building work complies with the standard of work stated in the document.

Removal or demolition of building/s

- Details of the methods to be used in carrying out the proposed building work, including a work plan stated or set out in AS 2601 (Demolition of structures), as in force from time to time;
- the number of dwellings (if any) to be demolished.

Asbestos

- The application must include a description of the method proposed to be used to remove the bonded asbestos sheeting from the building.

- the application must include the following information:

(i) the method proposed to be used to remove the asbestos;

(ii) the approximate amount and kind of asbestos to be removed;

(iii) the equipment proposed to be used to remove the asbestos, including any personal protective equipment;

(iv) details of a program, prepared in accordance with the asbestos removal code, for monitoring airborne asbestos to be followed during the removal.

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.

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AC170166  
17/07/2017

Bowes Place Custodians Pty Ltd  
Sch 2 s2(a)(ii)

Dear Sir and Madam,

**Re:** Phillip Block 68 Section 8  
**Address:** Level 1 1 Bowes Place Phillip  
**Owner:** Bowes Place Custodians Pty Ltd  
**Description:** Office fitout – Rheumatology ACT  
**Building Classification:** 5  
**Rise in Storeys:** N/A  
**Type of Construction:** N/A

Attached are the approved plans for your project at the above address. A copy has been forwarded to the Construction Occupations Registrar in accordance with sub-section 28 of the *Building Act 2004*.

The plans registered by BCA Certifiers Australia Pty Ltd as No. AC170166 have been assessed and approved subject to compliance with the Deemed-to-Satisfy Provisions of the Building Code of Australia.

**Approval Period**

This building approval is valid until the end of the earliest of the following:

- 3 years beginning on the day of its issue;
- Any development period applying to the building work.

**Approval Conditions**

Building work is to be carried out in accordance with the following:

- The ACT Building Act 2004;
- The Building Code of Australia 2016;
- The advice outlined in this Building Approval letter;
- The stamped Building Approval plans enclosed in this package numbered 1 to 4;
- All entity requirements enclosed in the approval documents including, ACT Fire and Rescue (Fire Brigade), ACTEW AGL (Water and Sewerage, Electrical and Gas), ACT Health Protection Services, Environmental Protection Authority and Territory and Municipal Services.

**CANBERRA**

Unit 3, 2-6 Shea Street  
Phillip ACT 2606  
T (02) 6285 1199  
F (02) 6285 2795  
E mail@bcacertifiers.com.au

**BRISBANE**

Unit 12, 58 High Street  
PO Box 1703  
Toowong QLD 4066  
T (07) 3365 0401  
F (07) 3365 0498  
E info@bcacertifiers.com.au

**NEWCASTLE**

Level 1, 215-217 Pacific Hwy  
PO Box 197  
Charlestown NSW 2209  
T (02) 4943 1755  
F (02) 4943 3845  
E admin@bcacertifiers.com.au

BCA Certifiers (Aust) Pty Ltd  
COLA Lic # 200714  
ACN 119 755 734  
ABN 58 119 755 734

**Public Safety**

- Ensure adequate public safety is provided at all times. Protection shall be provided to public spaces and footpaths from debris, dropped materials, equipment storage or any other activity associated with construction work on the site.
- Hoisting of building materials or equipment over areas used by the public is not permitted without the prior consent of the Building Controller.
- All materials and equipment are to be kept to the leased area. Any proposal to use unleased Territory land is to be lodged with ACT Planning & Land Authority (ACTPLA) and include a site plan with proposed safety measures. A license agreement for the use of unleased Territory land must be in place prior to the event and must be continuous for the life of the project.

**Appendix's to this Building Approval:**

- Appendix A provides advice in order to achieve compliance with the BCA;
- Appendix B outlines the certificates that are required to be submitted to BCA Certifiers so an application for Certificate of Occupancy can be made.
- Appendix C outlines the inspection stages that are required for the project.

If you have any enquires our office can be contacted on (02) 6285 1199.

Approved By:



Principal Building Surveyor  
BCA Certifiers Australia Pty Ltd  
Lic. No: 200714

## Appendix A – Compliance Advice

### Fire Resistance

- Any service penetrations for service installations must be installed so as the fire resisting performance of the building element is not reduced.
- The fire hazard properties of all materials, linings and surface finishes (including floor coverings, wall linings etc) used are to comply with Specification C1.10 of the BCA.

### Services and Equipment

- Sprinklers are to be provided in accordance with Part E1.5 of the BCA.
- Portable fire extinguishers are to be provided in accordance with Part E1.6 of the BCA.
- A smoke detection and alarm system is to be provided in accordance with Specification E2.2a of the BCA.
- Emergency lighting and exit signs are to be provided in accordance with Part E4 of the BCA.
- Sound System and Intercom System for Emergency Purposes is to be provided in accordance with E4.9 of the BCA.

### Access and egress

- Access and egress from the building is to comply with Part D of the
- The operation of door latches, are to comply with Part D2.21 of the BCA.
- Access for people with disabilities is to be provided to and within the building by means of a continuous path of travel in accordance with AS 1428.1 and Part D3.2 of the BCA.

### Health & Amenity

- Lighting system is to comply with Part F4.4 of the BCA and AS1680.0.
- Ventilation system is to comply with Part F4.5 of the BCA and AS1668.2 and AS3666.1

### Energy Efficiency

- Air-conditioning and ventilation systems are to comply with Part J5 of the BCA.
- Artificial lighting and power is to comply with Part J6 of the BCA.

## Appendix B – Certification / Documentation Required

All certification is required to include the following minimum information. Note, Certificates without this information will not be accepted:

- Company letterhead including all company contact details (address, email, phone number);
- Addressed to the developer of the project;
- Company ABN / ACN;
- Reference to the **BCA 2016** and **ALL relevant** BCA clauses applicable clauses that apply to the relevant trades work, including section J;
- References to all Australian Standards applicable to the relevant trades work. **Note, The version / year of the Australian Standard referred to, must be the version / year which is referenced by the BCA 2016;**
- Signed and dated by a suitably qualified person / director of the company once the work has been completed onsite;
- Include the suitably qualified person signing the certificates qualifications / experience.

1. Completed Application for Certificate of Occupancy Certificate signed by the owner of the development.
2. Receipt showing that the Government Levies have been paid.
3. Confirmation from the trades responsible for plumbing and gas work, ALL electrical work (including mechanical systems) that EPD's Plumbing, Gas and Electrical inspectors have inspected and cleared their work on site.
4. Certification that the Sprinkler System complies with Part E1.5 of the BCA and AS 2118.1.
5. Certification that the Portable Fire Extinguishers are provided in accordance with Part E1.6 and Table E1.6 of the BCA and that have been selected, located and distributed in accordance with AS 2444.
6. Certification that the smoke detection and alarm system complies with Specification E2.2a of the BCA and AS 1670.1.
7. Certification that Emergency Lighting system complies with Part E4.2 of the BCA and is installed in accordance with AS/NZS 2293.1.
8. Certification that Exit Signs comply with Part E4.5 & 4.6 of the BCA and are installed in accordance with AS/NZS 2293.1.
9. Certification that the Sound System and Intercom System for Emergency Purposes with E4.9 of the BCA, AS1670.4.
10. Certification that the air-conditioning and ventilation systems throughout the building comply with AS 1668.2, AS/NZS 3666.1 and the approved design.
11. Certification that the artificial lighting and power has been installed in accordance with the approved design.
12. Certification **AND** a schedule of all fire rated penetrations for ALL service trades including Electrical, Fire, Hydraulic, Mechanical, Communications, etc. is required. **(Note: Certification from an independent suitably qualified professional is required)**
13. Certification that all glazing complies with AS1288 where applicable. (Note: Certification must itemize the type of glazing and the applicable section of AS1288 to which it complies).

14. Certification from the carpet installer confirming that carpet located in accessible paths of travel has a pile height or pile thickness not exceeding 11mm, and the carpet backing thickness does not exceed 4mm.
15. Certification from the suppliers that the fire hazard properties of materials, linings and surface finishes used (ie; Carpet, Vinyl, Etc), comply with Specification C1.10.
16. Copies of the registered fire test reports are required to substantiate compliance for all materials, linings and surface finishes used (ie; Carpet, Vinyl, Etc).



### Appendix C – Inspections

The builder is to notify BCA Certifiers upon reaching each inspection stage outlined below by emailing an inspection booking form to [inspections@bcacertifiers.com.au](mailto:inspections@bcacertifiers.com.au). The builder is not to proceed beyond an inspection stage until written approval to proceed has been given by BCA Certifiers.

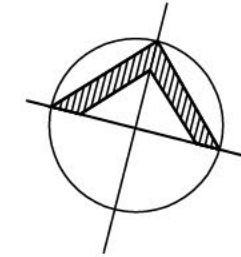
Note\* A practicing structural engineer is to be engaged to carry out inspections of all structural elements of the building during construction. A copy of the structural engineer's inspection records shall be provided to the project certifier prior to proceeding onsite.

The stages are:

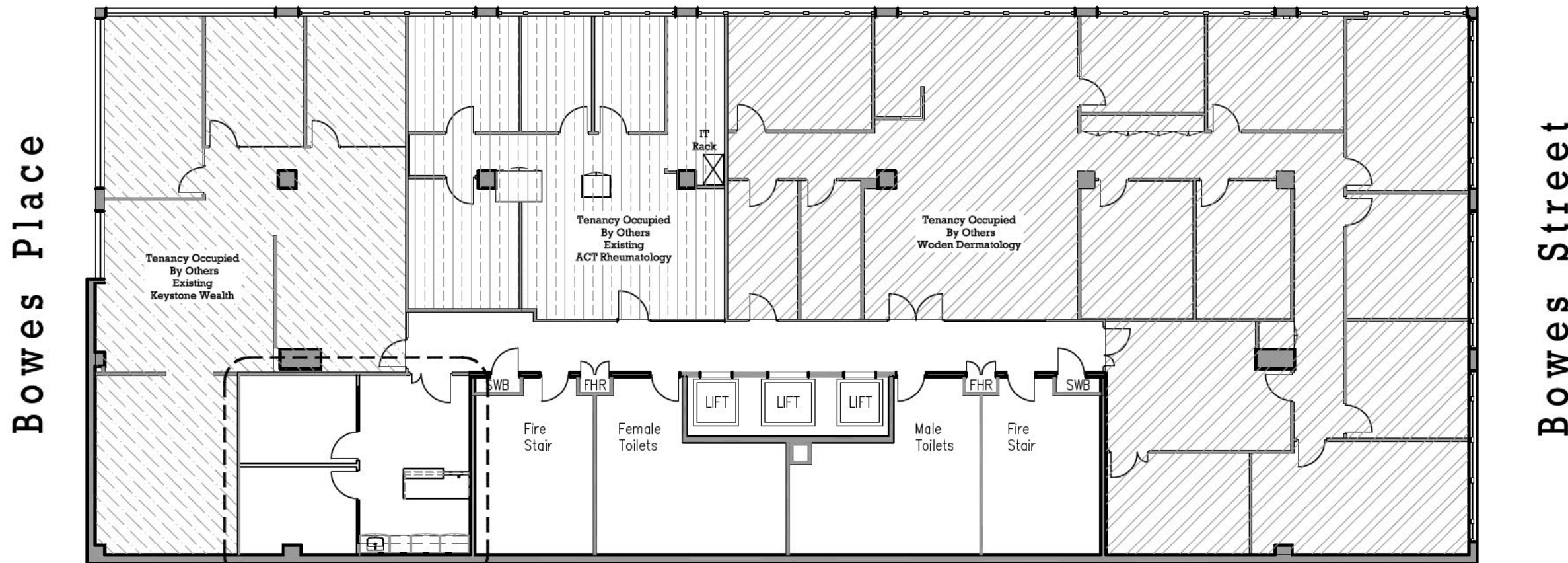
- Upon final completion of the approved building work.

**Note: ALL Plumbing, Gas and Electrical work MUST be inspected and cleared by the ACT Planning and Land Authority (ACTPLA). To avoid delays with the issue of the Certificate of Occupancy, please ensure that the Plumbing and Electrical works have been cleared. ACTPLA can be contacted on the following phone numbers:**

- EPD Electrical Section: (02) 6207 7775;
- EPD Plumbing / Gas Section: (02) 6207 6907.



# Bowes Place



Proposed New Expansion Tenancy for ACT Rheumatology  
Internal Tenancy Size - Approximately 37sqm

REV	DATE	CHANGES	PROJECT	CLIENT	DRAWING	PROJECT NO	DRAWN
A	16.05.17	Drawing for Pricing	Rheumatology ACT Sub-Tenancy Expansion 2017	Rheumatology ACT Level 1 1 Bowes Place Woden Plaza Philip ACT 2606	Overview - Level 1 Expansion Tenancy Location Plan	101566	JA
B	14.06.17	PCA Amendment - RDesk				DRAWING NO	DATE
						A00	16.05.17
					SCALE		ISSUE
					1:150 @ A3		B

**WE** Working Environments Pty. Limited  
 Suite 3/314 Norton Street Leichhardt NSW 2040  
 P 612 9564 6888 F 61 2 9564 6899  
 E ja@workingenvironments.com.au  
 Acn 115 681 724

### PARTITION LEGEND

J01- REFER TO NEW JOINERY DRAWINGS  
 J02

**New Bulkheads Over -**  
 Builder to Allow to supply & install P1 bulkheads over top of existing Doors Solid Core Door to 2700 Nom high off FFL ( match height of existing tenancy )  
 New Bulkhead over Approx 215 High COS

**EX** EXISTING CORE WALLS AND PARTITIONS SHOWN HATCHED TO REMAIN  
**D** DEMOLITION WORKS SHOWN AS DASHED - ALLOW TO MAKE GOOD TO ALL ADJACENT SURFACES, INCLUDING CEILING

**P1** NEW FULL-HEIGHT PLASTERBOARD PARTITION TO UNDERSIDE OF FCL. / WITH DACRON INSULATION, 64MM STEEL STUD WITH SINGLE SHEET OF 13MM PLASTERBOARD TO BOTH SIDES, SCREW FIXED, GLUED SET AND SANDED. HEAD TRIM TO BE STANDARD 25MM ALUMINIUM. SKIRTING TO MATCH EXISTING 100MM HIGH PROPRIETARY ALUMINIUM PROFILE -OVERALL WALL THICKNESS 100MM NOM.

**G1** G1 - NEW LAMINATED GLASS PARTITION, IN EQUAL PANES TO COMPLY WITH BCA & AS. **SLIMLINE** PROPRIETARY FRAMING SYSTEM. **FRAMING COLOUR - CLEAR ANODISED ALUMINIUM**

**PG** PG - NEW PLASTERBOARD/ GLASS / PLASTERBOARD PARTITION AS PER G1 & P1 ABOVE. **FRAMING COLOUR - CLEAR ANODISED ALUMINIUM**. - PLASTERBOARD 1800 HIGH OFF FFL, GLASS OVER TO TOP HEIGHT OF DOOR & P1 BULKHEAD TO UNDERSIDE OF FCL. REFER TO ELEVATION FOR DETAILS

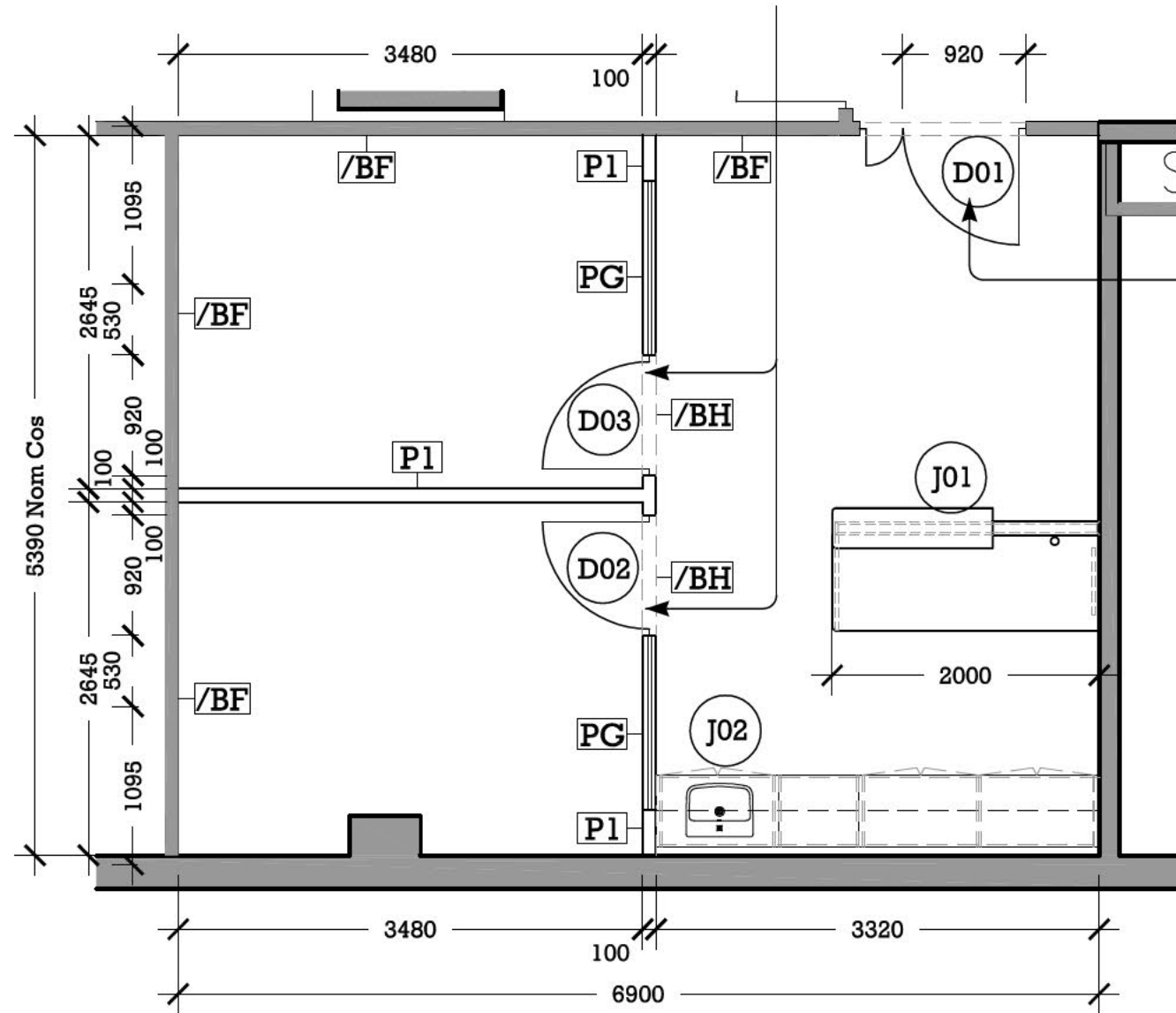
**/BH** /BH - NEW BULKHEAD OVER SOLID CORE DOOR DOORS & GLASS SIDELIGHT TO TOP HEIGHT OF 2700 HIGH OFF FFL COS - MATCH EXISTING TENANCY.  
 NEW P1 BULKHEAD OVER TO UNDERSIDE OF FCL APPROX 215 HIGH P1 BULKHEAD

**/BF** /BF - BAFFLEBLOCK - SOUND INSULATION -BUILDER TO ALLOW TO SUPPLY & INSTALL BAFFLE BLOCK TO CEILING PLENUM FROM UNDERSIDE OF DROPPED CEILING GRID TO SLAB OVER TO EXISTING INTER-TENANCY WALLS WITH KEYSTONE WEALTH TENANCY - BOTH ACT RHEUMATOLOGY'S EXISTING TENANCY & NEW EXPANSION TENANCY

**D01** **NEW ALUMINIUM FRAMED GLASS ENTRY DOOR & SIDE LEAF -**  
 BUILDER TO ALLOW TO SUPPLY & INSTALL NEW AL. FRAMED GLASS ENTRY DOOR/SIDE LEAF INCLUDING CORPORATE LOGO & FILM REFER TO FINISHES LAYOUT

**D02** **NEW SOLID CORE MDF DOOR -**  
 BUILDER TO ALLOW TO INSTALL NEW SOLID CORE DOOR 920 WIDE X 33MM NOMINAL THICK x 2700 HIGH MATCH HEIGHT WITHIN EXISTING TENANCY .

**D03** BUILDER TO ALLOW TO INSTALL COAT HOOK & MIRROR TO REAR OF DOOR & HALF MOON DOOR STOP



**D01** Builder to Allow to allow to remove & dispose of existing solid core entry door & side leaf & replace with new aluminium framed glass door & side leaf, including door hardware & door closer & door stop & drop bolt for side leaf.

**GLAZING CERTIFICATE -**  
 BUILDER TO PROVIDE COMPLIANCE CERTIFICATE UPON COMPLETION THAT ALL GLAZING COMPLIES WITH AS & BCA CODES

**CEILING HEIGHT**  
 FINISHED CEILING HEIGHT TO UNDERSIDE OF EXISTING DROPPED TILED CEILING  
**2915 MM NOM COS**

REV	DATE	CHANGES	PROJECT	CLIENT	DRAWING	PROJECT NO	DRAWN
A	16.05.17	Drawing for Pricing	Rheumatology ACT Sub-Tenancy Expansion 2017	Rheumatology ACT Level 1 1 Bowes Place Woden Plaza Philip ACT 2606	New Partition Layout	101566	JA
B	14.06.17	PCA Amendment - RDesk				DRAWING NO	DATE
						A01	16.05.17
					SCALE		ISSUE
					1:50 @ A3		B

**WE** Working Environments Pty. Limited  
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 E ja@workingenvironments.com.au  
 Acn 115 681 724

## COMPLIANCE LEGEND

**ALL DOORS, CORRIDORS & CIRCULATION PATHS OF TRAVEL TO COMPLY WITH DISABLED ACCESS CODE -DESIGN FOR ACCESS AND MOBILITY AS1428.1-2009 REFER TO DISABLED ACCESS COMPLIANCE DRAWING FOR DETAILS**

### DOOR HARDWARE COMPLIANCE -

ALL NEW DOOR HARDWARE MUST COMPLY WITH BCA CLAUSE D2.21 FOR FREE EGRESS IN THE PATH OF TRAVEL TO AN EXIT.

ONE SINGLE DOWNWARD ACTION LEVER. CLAUSE D2.21 OF THE BCA REQUIRES ALL DOOR HANDLES TO ... "BE READILY OPENABLE WITHOUT A KEY FROM THE SIDE THAT FACES A PERSON SEEKING EGRESS, BY A SINGLE HAND DOWNWARD ACTION

(LEVER MUST PROVIDE SUFFICIENT GRIP FOR A PERSON WHO CANNOT GRIP WILL NOT SLIP FROM THE HANDLE DURING OPERATION & HAVE A CLEARANCE BETWEEN THE HANDLE AND THE BACK PLATE OR DOOR FACE NOT LESS THAN 35MM AND NOT MORE THAN 45MM)

OR PUSHING ACTION ON A SINGLE DEVICE WHICH IS LOCATED BETWEEN 900MM AND 1,100MM FROM THE FLOOR, EXCEPT IF IT IS FITTED WITH A FAIL-SAFE DEVICE ..."

BUILDER TO PROVIDE CERTIFICATION UPON COMPLETION.

### DOOR HARDWARE CERTIFICATION -

BUILDER TO PROVIDE COMPLIANCE CERTIFICATE FOR DOOR HARDWARE UPON COMPLETION

### GLAZING COMPLIANCE CERTIFICATE -

PART B1 OF THE BCA REQUIRES ALL GLAZING TO COMPLY WITH AUSTRALIAN STANDARDS 1288 2006 & AS 2047-1999

BUILDER TO PROVIDE COMPLIANCE CERTIFICATE FOR GLAZING UPON COMPLETION

### ACCESS & MOBILITY COMPLIANCE -

PART D3 OF THE BCA REQUIRES ACCESS FOR PEOPLE WITH DISABILITIES TO COMPLY WITH AS1428.1

BUILDER TO COMPLY WITH DISABLED ACCESS SET-OUT DRAWINGS

### EXIT PATHS -

CLAUSE D1.6 OF THE BCA REQUIRES ALL EXITS & PATHS OF TRAVEL TO AN EXIT INCLUDING SPACING OF FITTINGS TO HAVE A MINIMUM UNOBSTRUCTED WIDTH OF 1000MM.

### ALL NEW FLOOR, WALL & CEILING LININGS -

ALL FLOOR, WALL & CEILING LININGS WILL HAVE FIRE HAZARD PROPERTIES COMPLYING WITH SPECIFICATION C1.10 OF THE BCA AS APPLICABLE.

BUILDER/ SUB-CONTRACTORS TO PROVIDE FIRE HAZARD INDICES COMPLIANCE CERTIFICATES ON ANY NEW LININGS AS APPLICABLE

### ALL ESSENTIAL FIRE SAFETY MEASURES -

ALL THE EXISTING FIRE SAFETY MEASURES WITHIN THE BUILDING WILL BE MAINTAINED AND OR MODIFIED TO COMPLY WITH BASE BUILDING PERFORMANCE STANDARDS.REFER TO EXISTING ANNUAL FIRE SAFETY CERTIFICATE

### ARTIFICIAL LIGHTING COMPLIANCE -

PART J6 OF THE BCA REQUIRES ALL ARTIFICIAL LIGHTING NOT EXCEED THE MAXIMUM LAMP POWER DENSITY OF 10watt/per metre squared( EXCLUDING LIGHTING IN DISPLAY CABINETS, SIGNAGE & EMERGENCY LIGHTING )

ELECTRICIAN TO PROVIDE COMPLIANCE CERTIFICATE UPON COMPLETION

### SWITCHING COMPLIANCE -

ALL NEW SWITCHING TO COMPLY WITH BCA CLAUSE J6

ELECTRICIAN TO PROVIDE COMPLIANCE CERTIFICATE UPON COMPLETION

### FILM COMPLIANCE -

CLAUSE 6.6 OF AS 1428.1 REGARDS "VISUAL INDICATORS ON GLAZING", OR MANIFESTATIONS.

THIS CLAUSE CALLS FOR ALL FRAMELESS OR FULLY GLAZED DOORS, SIDELIGHTS AND GLAZING THAT COULD BE MISTAKEN FOR A DOOR OR OPENING TO BE "CLEARLY MARKED FOR THEIR FULL WIDTH WITH A SOLID AND NON-TRANSPARENT CONTRASTING LINE." THE LINE MUST BE AT LEAST 75MM WIDE AND EXTEND ACROSS THE ENTIRE WIDTH OF THE GLAZING. THE LOWER EDGE OF THE CONTRASTING LINE MUST BE BETWEEN 900MM AND 1000MM ABOVE THE PLANE OF THE FINISHED FLOOR LEVEL.

THE CONTRASTING LINE MUST PROVIDE A MINIMUM OF 30% LUMINANCE CONTRAST.

FILM CONTRACTOR TO PROVIDE COMPLIANCE CERTIFICATE UPON COMPLETION

REV	DATE	CHANGES	PROJECT	CLIENT	DRAWING	PROJECT NO	DRAWN
A	16.05.17	Drawing for Pricing	Rheumatology ACT Sub-Tenancy Expansion 2017	Rheumatology ACT Level 1 1 Bowes Place Woden Plaza Philip ACT 2606	Compliance Legend	101566	JA
B	14.06.17	PCA Amendment - RDesk				DRAWING NO	DATE
						SCALE	ISSUE
					1:50 @ A3	A03	B

**WE** <sup>TM</sup> Working Environments Pty. Limited  
 Suite 3/314 Norton Street Leichhardt NSW 2040  
 P 612 9564 6888 F 61 2 9564 6899  
 E ja@workingenvironments.com.au  
 Acn 115 681 724

## FURNITURE LEGEND

NEW JOINERY -  
REFER TO JOINERY DRAWINGS FOR DETAILS

C1 NEW TASK CHAIR - WITHOUT ARMS - QUANTITY = 2 UNITS

C2 NEW VISITORS CHAIR - WITH ARMS - QUANTITY = 9 UNITS

C3 NEW TASK CHAIR - WITH ARMS - QUANTITY = 2 UNITS

T1 NEW OCCASIONAL SIDE TABLE - QUANTITY = 2 UNITS

D1 CONSULT ROOM 1-03 DESK SUITE & OPEN SHELVES  
REFER TO JOINERY DRAWINGS FOR DETAILS

D2 CONSULT ROOM 1-04 DESK SUITE & OPEN SHELVES  
REFER TO JOINERY DRAWINGS FOR DETAILS

P UNDER DESK MOBILE PEDESTAL - QUANTITY = 2 UNITS

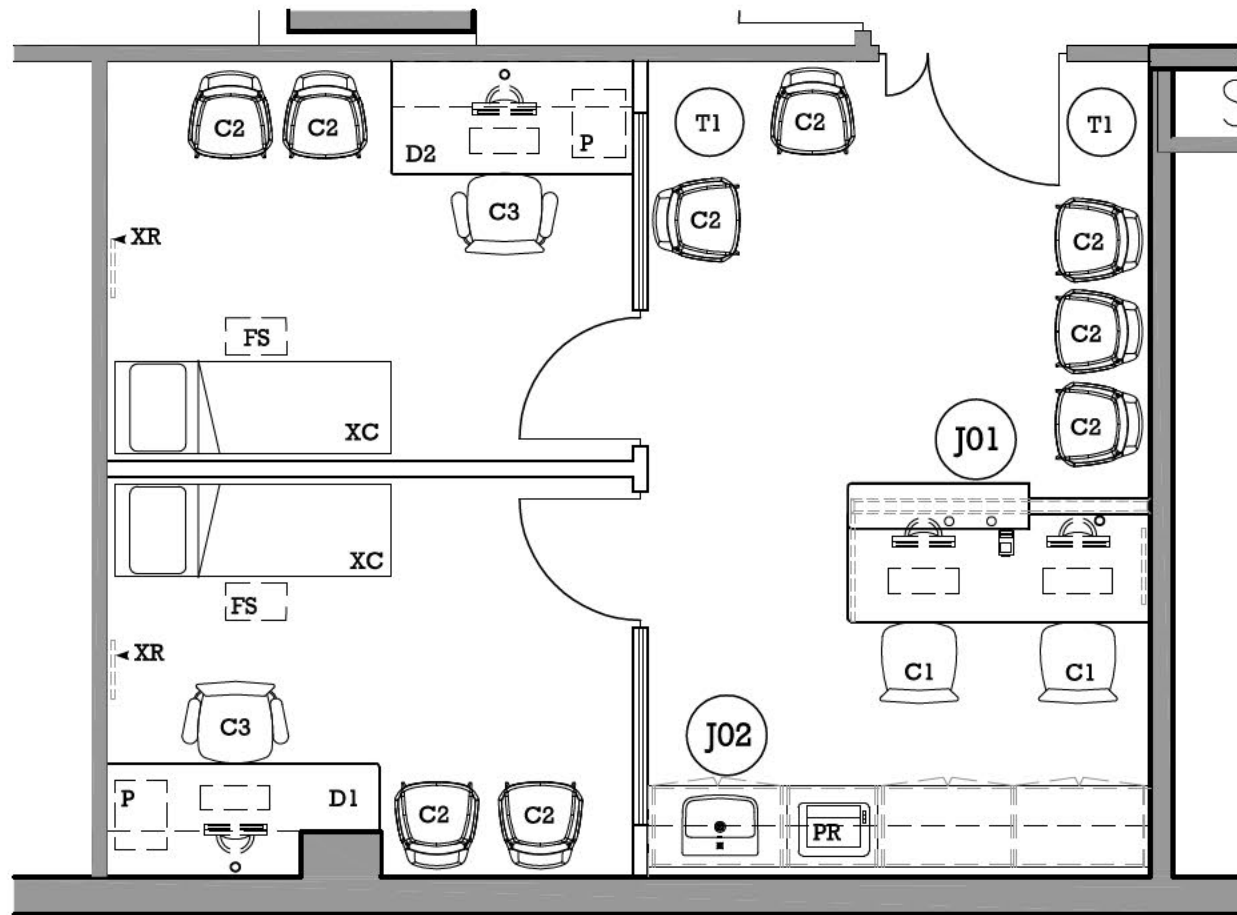
PR PRINTERS - QUANTITY = 1 UNITS  
SUPPLIED BY CLIENT

XC EXAMINATION COUCH - QUANTITY = 2 UNITS  
PROPRIETARY FIXED BENCH WITH STORAGE  
UNDER

FS FOOT STOOL - QUANTITY = 2 UNITS  
PROPRIETARY FOOT STOOL TO EXAMINATION COUCH

XR LED SLIMLINE PANEL X-RAY VIEWER/S  
ELECTRICIAN TO ALLOW TO INSTALL BOXES & HARDWIRE UNITS  
- FITTINGS SUPPLIED BY WE

**OVERALL DIMENSIONS: 38.9CM (W) X 47CM (H) X 2CM THIN**  
LIGHTED VIEWING AREA: 37.5CM (W) X 43.5CM (H) X 1 BAY  
QUANTITY = 2 UNITS



REV	DATE	CHANGES	PROJECT	CLIENT	DRAWING	PROJECT NO	DRAWN
A	16.05.17	Drawing for Pricing	Rheumatology ACT Sub-Tenancy Expansion 2017	Rheumatology ACT Level 1 1 Bowes Place Woden Plaza Philip ACT 2606	New Furniture Layout	101566	JA
B	14.06.17	PCA Amendment - RDesk				DRAWING NO	DATE
						A04	16.05.17
					SCALE		ISSUE
					1:50 @ A3		B

**WE** Working Environments Pty. Limited  
Suite 3/314 Norton Street Leichhardt NSW 2040  
P 612 9564 6888 F 61 2 9564 6899  
E ja@workingenvironments.com.au  
Acn 115 681 724



Building Act 2004, S151

## Application for Building Commencement Notice

Project ID: B20172802

Licensed builders must use this form to apply to the building certifier for a commencement notice in accordance with the Building Act 2004. An application can only be made if the building approval has been issued for the building work. A commencement notice must be issued by the building certifier before any building work can commence.

### PART A - PROJECT DETAILS

Building approval issue date: 17/07/2017

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
	68	8	WODEN VALLEY	PHILLIP	Australian Capital Territory

Full Name	Address	License Number	Expiry Date
BCA CERTIFIERS AUSTRALIA PTY LTD	3/2-6 SHEA STREET PHILLIP ACT 2606	200714	30/06/2018

Description of work to which application for Commencement Notice relates:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
5	Alterations	OFFICE BUILDING	Office Fitout - Rheumatology ACT	NA	0	37.20	Sch 2 s2(a)(xi)

Insurance provider:

Policy number:

Issue date: 17/07/2017

### PART B - BUILDERS DETAILS

License holder's name: SERGIO ANTONIO CONTRERAS

License number: 2014318

License Expiry Date: 13/05/2020

Business Address: 20 MORTLOCK CCT KALEEN ACT 2617

Phone Number: 0419017246

Signature of builder:

\_\_\_\_\_  
(Individual, director for company or partner for partnership)

If the builder is a company or partnership provide details of the nominee who will supervise the building work

**Nominee's name:** SERGIO ANTONIO CONTRERAS

**License number:** 2014318

**License Expiry Date:** 13/05/2020

**Nominee's signature  
(if different to above):** \_\_\_\_\_ / /

### PART C - OWNER/LESSEE DETAILS

Name	Address
Bowes Place Custodians PTY LTD	Sch 2 s2(a)(ii)
Bowes Place Custodians PTY LTD	Sch 2 s2(a)(ii)

ADVISORY NOTE: Owners please ensure you have a written contract with the builder named in this application. For residential building work requiring home owner insurance ensure that the same builders name is shown on the insurance policy.

### PART D - OWNER/S OR AGENT SIGNATURE/S

Name	Signature	Date
Bowes Place Custodians PTY LTD		
Bowes Place Custodians PTY LTD		

NOTE: You may only make this application as an authorised agent on behalf of the owners of the property if you have appropriate written authorisation from ALL the owners and attach it to this application. This also applies if you are a part owner or joint owner making an application on behalf of the owners.

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.

### PART E - BUILDER APPLICATION TO CERTIFIER FOR COMMENCEMENT NOTICE

I hereby apply to the building certifier listed above for a commencement notice for the works detailed in Part A of this form in accordance with the Building Act 2004.

- A site sign was NOT required to be displayed prior to making this application.
- A site sign WAS required to be displayed prior to making this application and I declare that a compliant sign was erected and displayed for the required period.

**Signature of  
Builder/Nominee:** \_\_\_\_\_ / /

NOTE: There are penalties for deliberately giving false and misleading information. Access Canberra or the Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.



Building Act 2004, S151  
**Building Approval**

Project ID: B20172802

**PART A - PROJECT DETAILS**

Unit	Block	Section	Division (Suburb)	District	Jurisdiction
	68	8	PHILLIP	WODEN VALLEY	Australian Capital Territory

**PART B - WORKS REQUIRING BUILDING APPROVAL**

Item of building work to which this Building Approval relates:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
5	Alterations	OFFICE BUILDING	Office Fitout - Rheumatology ACT	NA	0	37.20	Sch 2 s2(a)(xi)

The following work is exempt from development approval:

- Commercial fitout - office

**PART C - CERTIFIERS DECLARATION**

I declare that in issuing this building approval under section 28 of the Building Act 2004:

- I am satisfied on reasonable grounds that the plans meet each applicable approval requirement under section 29 and is not prevented from being issued under section 30 or section 30A
- I have supplied all documents as required under 3.3 Building Act 2004
- I have prepared a notice (building approval certificate) certifying what approval requirements apply to the application and why the building approval is not prevented from being issued; and
- I have given the building approval certificate to the applicant.

In performing services as a certifier in relation to the work detailed in this application I am not in breach of my entitlement to act as a certifier in accordance with the Building Act 2004.

Full Name	Address	License Number	Expiry Date
BCA CERTIFIERS AUSTRALIA PTY LTD	3/2-6 SHEA STREET PHILLIP ACT 2606	200714	30/06/2018

Date Issued : 17/07/2017

**NOTES**

**Utilities**

This application must also be accompanied by a Statement of Compliance from each relevant utility provider (for water, sewerage, electricity and stormwater) which confirms that the location and nature of earthworks, utility connections, proposed buildings, pavements and landscape features comply with utility standards, access provisions and asset clearance zones.



**Note 1:** If there is no stormwater easement or Territory owned stormwater pipes located within the property boundary, a "Statement of Compliance" for stormwater from TAMS (Asset Acceptance) is not required to be obtained.

**Note 2:** Where there is conflict between planning and utility requirements, the utility requirements take precedence over other codified or merit provisions.

## **Utilities – Demolition Only**

This application must be accompanied by a Statement of Endorsement for utilities (including water, sewerage, electricity and stormwater) stating that:

- all network infrastructure on or immediately adjacent to the site has been identified on the plan
- all potentially hazardous substances and conditions (associated with or resulting from the demolition process) that may constitute a risk to utility services have been identified
- all required network disconnections have been identified and the disconnection works comply with utility requirements
- all works associated with the demolition comply with and are in accordance with utility asset access and protection requirements

**Note: The documentation provided to the utility provider for endorsement must be consistent with the documentation that forms part of a development approval or the documentation verified as exempt from requiring development approval by a licensed certifier.**

## **Asbestos Advice**

If documents accompanying building approval do not include an asbestos assessment report as per the Building Act 2004, the building approval must have an Asbestos Advice attached as per the Act

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.

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Building Act 2004, S151

## Building Commencement Notice

Project ID: B20172802

### PART A - PROJECT DETAILS

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
	68	8	WODEN VALLEY	PHILLIP	Australian Capital Territory

#### Certifier's Details

Full Name	Address	License Number	Expiry Date
BCA CERTIFIERS AUSTRALIA PTY LTD	3/2-6 SHEA STREET PHILLIP ACT 2606	200714	30/06/2018

Building approval issue date: 17/07/2017

Building Commencement Notice Required for:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Area (m2)	Cost of Works (\$)
5	Alterations	OFFICE BUILDING	Office Fitout - Rheumatology ACT	NA	37.20	Sch 2 s2(a)(xi)

### PART B - BUILDERS DETAILS

License holder's name: SERGIO ANTONIO CONTRERAS

License number: 2014318

License Expiry Date: 13/05/2020

Business Address: 20 MORTLOCK CCT KALEEN ACT 2617

Phone Number: 0419017246

If the builder is a company or partnership provide details of the nominee who will supervise the building work

Nominee's name: SERGIO ANTONIO CONTRERAS

License number: 2014318

License Expiry Date: 13/05/2020

### PART C - CERTIFIER'S DECLARATION

Issue date of commencement notice: 17/07/2017

Name of Certifier Issuing Notice: BCA CERTIFIERS AUSTRALIA PTY LTD

**Declaration:**

This commencement notice is issued in accordance with the Building Act 2004, to the licensed builder stated above authorising the commencement of the stated building work. The issue of this commencement notice indicates that I am satisfied that the builders license authorises the work in the building approval. Where applicable for residential building work, I have been provided with a residential building insurance policy or fidelity certificate.

**PLEASE NOTE:**

A copy of the application for this commencement notice, this notice and where applicable the residential building insurance policy or fidelity certificate, must be given to the construction occupations registrar within one (1) week of the issue date.

This building commencement notice will end if-

- (a) for residential building work- the work is no longer insured; or
- (b) the building approval for the work ends

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## Installation Certificate

**ADDRESS:** 1 Bowes Street, Woden Plaza, Phillip ACT

**PROJECT:** Level 1, Rheumatology ACT Sub-tenant expansion

I... **MARK SIMM** ...of...  
(Name of Certifier)

**CANBERRA AIR CONDITIONING PTY LTD**  
(Firm)

Unit 3/94 Bayldon Road Queanbeyan NSW 2620  
(ADDRESS)

Hereby Certify:-

That the **Mechanical Services** installed Complies with:-

- a) The relevant clauses of the Building Code of Australia,
- b) The following Australian Standards: AS1668.2-2012
- c) BCA Clause 4.5 Insulation
- d) **Exclusions:**  
Existing Plant and equipment

**Full Name of Certifier:** Mark Simm

**On Behalf of:** Canberra Air Conditioning Pty Ltd

**Address of Certifier:** Unit 3/94 Bayldon Road Queanbeyan NSW

**Phone Numbers:** Bus – 02 6299 5769

**Signature:**.....

**Date:** 25<sup>th</sup> July 2017

**Title:** CONSTRUCTION MANAGER



## Installation Certificate

**ADDRESS:** 1 Bowes Street, Woden Plaza, Phillip ACT

**PROJECT:** Level 1, Rheumatology ACT Sub-tenant expansion

### Schedule A

Drawing Numbers and Revision List Reference.

Drawing No.	Title	Scale	Revision
Rheumatology ACT Mark-up	RCP Markup	1:50 A3	A
RCP	Air balance test sheet	NTS	1



**Lanyon Fire Protection Contracting Pty Ltd**  
Specialist in all Fire Protection Installation & Maintenance

PO Box 6207  
Lanyon LPO  
Conder ACT 2906

Mobile: 0412 505 610  
Email: lanyonfire@bigpond.com

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25 July 2017

**CERTIFICATE OF COMPLIANCE**  
**RHEUMATOLOGY ACT (expansion Suite)**  
**No 1 BOWES PLACE WODEN**  
**FIRE SPRINKLERS**

I, Stewart Cameron, of Lanyon Fire Protection Contracting Pty Ltd ACT, do hereby certify that the relocation / installation of the Fire Sprinklers & EWIS Speakers in Rheumatology ACT expansion Suite, located on Level 1 Number 1 Bowes Place Woden ACT, complies with Australian Standards 2118.1 1999 (Automatic Fire Sprinkler Systems) and AS1670.4 2015 (EWIS Systems).

Yours Sincerely,



**Stewart Cameron**  
**Lanyon Fire Protection Contracting Pty Ltd**



PO Box 523  
CANBERRA ACT 2601  
PH: 0418 488960  
Email: [btinteriors@bigpond.com](mailto:btinteriors@bigpond.com)

27 July 2017

Mr Louis Da Silva  
Working Environments Pty Ltd

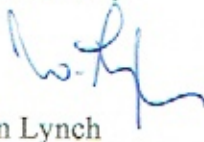
Dear Sir

**RE: Glazing Works**

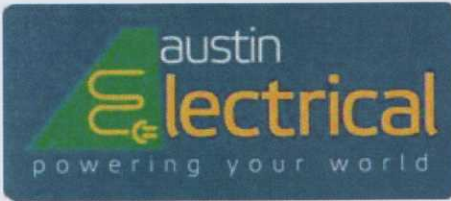
This is to certify that the glazing works carried out at Block 68 Section 8 1 Bowes Place Phillip comply with Australian Standard 1288 2006.

Should you have any further enquiries please do not hesitate to contact Darren Lynch on (0418) 488 960.

Yours faithfully

per:   
Darren Lynch





# AUSTIN ELECTRICAL PTY LTD

Unit 3-4, Gladstone Street  
Fyshwick PO Box 1312,  
Fyshwick ACT 2609  
Phone (02) 6162 0044

ABN 27 128 899 712    ACN 128 899 712  
ACT Licence # 2006853    NSW Licence # 190670c

To: B&T Interiors  
Darren Lynch  
Project Manager

## STATEMENT OF MAINTENANCE COMPLIANCE

Supporting Document by Austin Electrical Pty Ltd for Preparation of Statutory Compliance Certificate.

Store Name: ACT Rheumatology  
Store Location: 1 BOWES PLAC E PHILLIP AC T 2606

We have installed emergency lighting as per plan in all new locations to comply.  
We have tested and ensured the correct 90minute operation of the emergency light fittings.

ESSENTIAL SERVICE	STANDARD OF PERFORMANCE	STANDARD OF MAINTENANCE	DATE OF INSPECTION
Exit & Emergency Lighting	AS 2293.1	BCA E4.2, E4.4 & AS/NZS2293.1-2005	27 <sup>th</sup> July 2017

I, Jarred Downey of Austin Electrical Pty Ltd, certify that the essential service electrical safety measures specified as above have been tested and maintained by a qualified person.

When assessed, service found to be capable of performing to a standard not less than that it was intended for on original installation.

The information contained in this certificate is to the best of my knowledge accurate and confirmed.

Date: 27/07/2017

Signature:

# RYAN KEARNEY Constructions



Kearney Constructions trustee for RK Plumbing trust  
T/as Ryan Kearney Constructions

**ABN:- 45 252 276 935**

Po Box 3387 Weston Creek  
ACT 2611

Mobile 0413 014499

email :- [ryan.kearney27@gmail.com](mailto:ryan.kearney27@gmail.com)

Licence No:- ACT:- 199714043  
NSW:- 125807C

To whom it may concern:-

Level 1 Bowes St Phillip. A 60mm hole was drilled through the slab for the waste pipe from the new basin. A Promat retro-fitted fire collar was fitted on the under side of the slab around the waste pipe in accordance with BCA C3.12,C3.15, AS4072.1-2005&AS1530.4-2005 The fire resistance level reached is -/120/120FRC and the test report no:- SFC 45756.2. There was also a 25mm hole drilled for the water pipe and it was sealed around the copper fire with fire proof sealant.

Thanks

Ryan Kearney

Sch 2 s2(a)(xi)



**APPLICATION FOR CERTIFICATE OF OCCUPANCY AND USE**  
Building Act 2004, S151

**WARNING TO OWNERS**  
It is recommended that owners seek appropriate advice to determine whether the building work and other contract requirements have been completed satisfactorily before signing this form. This form should not be signed before the completion of building work.

**PART A PROJECT DETAILS**

Block/s  Section  Suburb  Unit No.

Street Address

Describe each item of building work to which this application relates: If more than 6 items please attach further details

1. INTERNAL PLASTER & GLASS PARTITIONS & DOORS.
2. ESSENTIAL SERVICES MODIFICATIONS AS REQUIRED TO
3. COMPLY WITH THE BCA.
- 4.

Name of Certifier:

**PART B OWNER/LESSEE DETAILS**

**FULL NAME OF ALL OWNERS** – All owners must be listed or application will not be processed  
Please Print - Owner 1 will be considered the contact person in relation to this application

Company Details

Owner 1  Owner 2

Owner 3  Owner 4

Postal Address

Suburb  State  Postcode

Phone Number Business Hours  Mobile

EMAIL ADDRESS

**PART C****DECLARATION BY OWNER/S**

I am/we are: the owner(s) of the above described land

I am/we are satisfied that the building work and related requirements have been completed and hereby apply for a Certificate of Occupancy or Use in respect of the above described work to be issued and (select one option only):

- Email \_\_\_\_\_
- send certificate by post to the owner(s) address       held for collection from Building Services Shopfront - Mitchell
- Other \_\_\_\_\_

**PART D****SIGNATURE/S OF OWNER/S**

This form should **not** be signed before the completion of building work.

X	1 <sup>st</sup> Owner's Signature Sch 2 s2(a)(ii)	Sch 2 s2(a)(ii)	Date	3/8/17
X	2 <sup>nd</sup> Owner's Signature Sch 2 s2(a)(ii)	Sch 2 s2(a)(ii)	Date	2/8/2017
	3 <sup>rd</sup> Owner's Signature		Date	
	4 <sup>th</sup> Owner's Signature		Date	

**NOTE:** There are penalties for deliberately giving false and misleading information.  
The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

Once this form has been completed you should give it to your certifier to lodge or hand deliver to:

**Access Canberra  
Building Services Shopfront,  
8 Darling Street  
Mitchell ACT 2911**

**Privacy Notice**

The personal information on this form is provided to Access Canberra to enable the processing of your application. The collection of personal information is authorised by the *Building Act 2004*. If all or some of the personal information is not collected Access Canberra cannot process your application. The personal information you provide may be disclosed to Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be disclosed where authorised by law or court order, or where the Directorate reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. Access Canberra's Information Privacy Policy contains information about how you may access or seek to correct your personal information held by Access Canberra, and how you may complain about an alleged breach of the Territory Privacy Principles. Access Canberra Information Privacy Policy can be found at [www.act.gov.au/accessCBR](http://www.act.gov.au/accessCBR)

**CONTACT INFORMATION**

**Email:**  
ACTPLAdevelopmentBA@act.gov.au

**Post:**  
Access Canberra  
Building Services  
Shopfront Mitchell  
GPO Box 158  
Canberra, ACT 2601

**In Person:**  
Please visit  
[www.act.gov.au/accessCBR](http://www.act.gov.au/accessCBR)  
Or call **132281** to find an  
Access Canberra Shopfront.



Building Act 2004, S151

## Application for Certificate of Occupancy and Use

Project ID: B20172802C1

If this application is incomplete or documentation is inadequate this application may not be accepted for lodgement and the certificate of occupancy and use may not be issued.

### WARNING TO OWNERS

It is recommended that owners seek appropriate advice to determine whether the building work and other contract requirements have been completed satisfactorily before signing this form. This form should not be signed before the completion of building work.

### PROJECT DETAILS

Unit	Block	Section	Division (Suburb)	District	Jurisdiction
	68	8	PHILLIP	WODEN VALLEY	Australian Capital Territory

### Description of Works

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Const.	Unit	BCN ID	Builder
5	Alterations	OFFICE BUILDING	Office Fitout - Rheumatology ACT	NA		B20172802N1	SERGIO ANTONIO CONTRERAS

### OWNER/LESSEE DETAILS

Name	Address	Email Address
Bowes Place Custodians PTY LTD	Sch 2 s2(a)(ii)	
Bowes Place Custodians PTY LTD	Sch 2 s2(a)(ii)	

### DECLARATION BY OWNER

I am/we are:

- the owner(s) of the above described land
- the agent authorised by the owner(s) to apply for a Certificate of Occupancy and Use on their behalf, and I have attached a letter of authority

I am/we are satisfied that the building work and related requirements have been completed and hereby apply for a Certificate of Occupancy and Use in respect of the above described work to be issued and (select one option only):

- sent by post to the owner(s) address
- sent by post to the agent's address; or
- held for collection from the Mitchell Customer Service Centre

**This form should not be signed before the completion of building work.**

**Signature/s of Owners – all owners must sign if agent has not been appointed**

Name	Signature	Date
Bowes Place Custodians PTY LTD		
Bowes Place Custodians PTY LTD		

Once complete, you should return this form to your certifier to lodge or return to the Access Canberra Building Services Shopfront, 8 Darling Street, Mitchell ACT 2911.

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.



# INSPECTION RECORD

DATE: 5/09/2017

BUILDER : Sergio Contreras

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SUBURB : Phillip Block 68 Section 8

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ADDRESS : Level 1, 1 Bowes Place  
Woden Plaza  
PHILLIP ACT 2606

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DESCRIPTION : Fitout – Rheumatology ACT

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PROJECT ID : B20172802

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INSPECTION STAGE : Final

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	Yes (Y) or No (N)
As a result of this inspection I certify that the building work stage complies with Section 42 of the <i>ACT Building Act 2004</i> (If no, refer to advice given to achieve compliance)	Y
<b>Re-inspection</b> required to be carried out by BCA Certifiers:	N
<b>Amended plans</b> required to be submitted to BCA Certifiers:	N
<b>Survey report</b> required: <u>Note:</u> Under section 43(2) of the <i>Building Act 2004</i> it is an offence for a building licensee in charge of building work to do building work above dampcourse level without providing a survey plan signed by a registered surveyor stating the position of the building in relation to the boundaries of the parcel of land and stating the floor level in relation to the approved plans.	N
The following directions are given to achieve compliance:	
Work complete	
<b>BCACERTIFIERS SITE SAFETY CHECKLIST COMPLETED <input checked="" type="checkbox"/></b>	

Please refer to attached appendix for photos / additional information (if applicable):

If you have any queries regarding the information contained in this inspection report, I can be contacted on (02) 6285 1199.

Principal Building Surveyor  
BCA Certifiers Australia Pty Ltd - COLA Licence No. 200714





Building Act 2004, S151

## Certification of Completion of Building Work

Project ID: B20172802/A

If this application is incomplete or documentation is inadequate this application may not be accepted for lodgement and the Certificate of Occupancy and Use may not be issued.

### PART A - PROJECT DETAILS

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
	68	8	WODEN VALLEY	PHILLIP	Australian Capital Territory

#### Plan Registration Number

B20172802/A

#### Description of Works

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Unit	BCN ID	Builder
5	Alterations	OFFICE BUILDING	Office Fitout - Rheumatology ACT	NA		B20172802N1	SERGIO ANTONIO CONTRERAS

The project involved electrical work

The project involved plumbing and/or sanitary drainage work

The project did not involve gas work

This building work is not subject to an alternative solution under BCA

### PART B - CERTIFIERS DECLARATION

I am satisfied that the building work detailed in the application is complete. I hereby certify that:

- I have provided all the relevant documents required by subsection 48(2) of the Building Act 2004 with this application as uploaded;
- the documentation relating to the building approval has been marked in accordance with the requirements of the Building Act 2004;
- The building work has been completed in accordance with the requirements of the Building Act 2004 and substantially in accordance with the approved plans;
- The building or part of the building as erected or altered is structurally sufficient, sound and stable for the purposes for which it is intended to be occupied or used; and
- The Registrar can issue a Certificate of Occupancy and Use

Full Name	Address	License Number	Expiry Date
BCA CERTIFIERS AUSTRALIA PTY LTD	3/2-6 SHEA STREET PHILLIP ACT 2606	200714	30/06/2018

Date Issued: 6/09/2017 10:27:20 AM

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.





# Certificate of Occupancy and Use

Certificate No.: **B20172802C1**

**Access Canberra Building Services**

ABN 16 479 763 216  
8 Darling Street Mitchell  
GPO Box 158 ACT 2601  
[www.act.gov.au/accesscbr](http://www.act.gov.au/accesscbr)

This Certificate is issued in accordance with Section 69 (2) of the Building Act 2004.

The building work listed on this certificate has been completed substantially in accordance with the prescribed requirements and is considered fit for occupation and use.

Unit	Block	Section	Division (Suburb)	District	Jurisdiction
	68	8	PHILLIP	WODEN VALLEY	Australian Capital Territory

Plans
B20172802/A

## Building Works

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Const.	Unit	BCN ID	Builder
5	Alterations	OFFICE BUILDING	Office Fitout - Rheumatology ACT	NA		B20172802N1	SERGIO ANTONIO CONTRERAS

## Comments

## Important Note:

1. Residential building statutory warranties and residential insurance do not apply in relation to building work.
2. The issue, under this Part, of a certificate in respect of a building or portion of a building does not affect the liability of a person to comply with the provisions of a law of the territory (including this Act) relating to the building or portion of the building.

**Issued by:** Keryn Borrett

**Issued on:** 07/09/2017

Delegate of the ACT Construction  
Occupations Registrar.