



ACT
Government

Chief Minister, Treasury and
Economic Development

Freedom of Information Publication Coversheet

The following information is provided pursuant to section 28 of the *Freedom of Information Act 2016*.

FOI Reference: CMTEDDFOI 2019-048

Information to be published	Status
1. Access application	Published
2. Decision notice	Published
3. Documents and schedule	Published
4. Additional information identified	No
5. Fees	Waived
6. Processing time (in working days)	13
7. Decision made by Ombudsman	N/A
8. Additional information identified by Ombudsman	N/A
9. Decision made by ACAT	N/A
10. Additional information identified by ACAT	N/A

From: [Bailey_Kim.P](#) on behalf of [ACDLO](#)
To: [CMTEDD FOI](#)
Subject: FW: Correspondence From Minister Gentleman MLA - [REDACTED] [DLM=For-Official-Use-Only]
Date: Tuesday, 26 February 2019 10:14:16 AM
Attachments: [Variation to territory plan crace 2.pdf](#)
[ACT Geotechnical .png](#)
[WebPage.pdf](#)
[FW Correspondence From Minister Gentleman MLA SECUNCLASSIFIED.msg](#)
Importance: High

Good morning FOI team,

Can I please pass this on to you to action [REDACTED] FOI request?

I am also going to need some standard words that the Minister's office can go back to the constituent with stating that they have referred her request to the appropriate team to action.

Can you please come back to me?

Thanks in advance.

Regards

Kim Bailey
ACDLO - #54007

From: Landon, Daniel
Sent: Monday, 25 February 2019 12:15 PM
To: EPSDD DLO <EPSDDLO@act.gov.au>
Cc: GENTLEMAN <GENTLEMAN@act.gov.au>
Subject: FW: Correspondence From Minister Gentleman MLA
Importance: High

Hi Erica

Please note the FOI request below.

I have been advised by the legal adviser in the Attorney-General's office that this is a matter that I can refer to EPSDD and/or Access Canberra to action.

Can EPSDD please:

- Advise if EPSDD and/or Access Canberra can action the request
- Draft a holding response that this office can send to [REDACTED] to advise her of next steps.

Kind regards

Dan

From: GENTLEMAN
Sent: Tuesday, 19 February 2019 8:36 AM
To: Landon, Daniel <Daniel.Landon@act.gov.au>
Subject: FW: Correspondence From Minister Gentleman MLA
Importance: High

Hey Dan,

Please see the email below for some context. [REDACTED] has requested information under the FOI scheme. Can I get some advice on how to handle this one.

Kind Regards

Eben Leifer | Office Manager / Policy adviser

Office managers: Natasha Apostoloski (Mon-Wed), Eben Leifer (Thu-Fri)

Office of Mick Gentleman MLA

Member for Brindabella

Minister for the Environment and Heritage

Minister for Planning and Land Management

Minister for Police and Emergency Services

Minister assisting the Chief Minister on Advanced Technology and Space Industries

Manager of Government Business

t: 620 50218 | e: gentleman@act.gov.au

Please note that from 1 January 2018 ACT Government ministerial diaries are subject to publication on the ACT Government's open access website under section 23 of the Freedom of Information Act 2016.

From: [REDACTED]
Sent: Monday, 18 February 2019 7:47 PM
To: GENTLEMAN <GENTLEMAN@act.gov.au>
Cc: HANSON <HANSON@parliament.act.gov.au>
Subject: Re: Correspondence From Minister Gentleman MLA
Importance: High

Dear Minister Gentleman,

thank you for your response to my email dated 16/11/18.

I cannot express to you how upset I am by the current situation that I have been put in. I am so very disappointed in the ACT Government on how they are treating this matter.

I have been dealing with Reuben Gaze at Access Canberra, and have been advised that the Builder has been cleared of any wrong doing and the matter is now closed.

As you are aware the issue I am having is that the ACT Land Development Agency and CIC Crace provided me with the WRONG soil classification, and from images provided by Access Canberra there appears that there was a creek line or waterway flowing through the block. I have recently contacted Fair Trading, The ACCC and lodged a complaint with the ACT Ombudsman (ref 2019-300-507). I was informed by Fair Trading & the ACCC that Land Sales/Purchases still fall under the Consumer Law Act, and we are entitled to receive correct and accurate information. The information provided to me in my sales contract is for an 'M' Class Block & this is what I believed I was purchasing. Further investigation has determined that the block is actually a 'H1'. I would not have considered the purchase of this block if I knew that the block had previously had a water way flowing through it and that the classification was a 'H1'. Under the Consumer Law Act I have been provided with false and misleading information

[.consumerlaw.gov.au/files/2015/06/ACL_framework_overview.pdf](https://www.consumerlaw.gov.au/files/2015/06/ACL_framework_overview.pdf) [Planning and Development Act 2007](#)

Can you confirm that the correct procedures were followed in relation to the development of the Suburb (Crace)? In particular, Section 80 as this was never in the original development plans of the suburb, this section was planned as being a playing field/oval/open space. Under the Freedom Of Information Act can you provide all information in relation to the removal of the playing field/oval/open space, when and if the amendment went to public consultation & if not how was the change approved, and was legislation on public consultation and technical amendments followed?.

Last year ACT Geotechnical Engineers dug 3 core samples from around my property. In their report they note that there is a layer of topsoil/slopewash below the controlled fill. I was informed that this could be contributing to the movement of the home and normally all topsoil would be removed before the fill is laid. Is it possible that the developers had prepared this area for the planned oval that was originally on the plans and not for residential use?

Excavation Log

Excavation No.	2A
Sheet	1 of 1
Job No.	C9244
Location :	See report
Surface Level :	Not Known

CLIENT:	Sellick Consultants
PROJECT	Geotechnical Investigation 80 Crace
Equipment Type :	Push Tube
Excavation Dimensions :	50mm diameter

Samples	Water	Casing	Depth Metres	Graphic Log	U.S.C.S.	Material Description, Structure <small>Soil Type: Plasticity or Particle Characteristics, Colour, Secondary and Minor Components, Moisture, Structure</small>	Consistency or Relative Density	Field Test Results	Geological Profile
			0.1			CONCRETE SLAB			CONCRETE
2A/1D			0.15		SW CH	GRAVELLY SAND/BASE COARSE: fine to coarse sand, gravels up to 20mm in size, grey, wet. SANDY CLAY: high plasticity clay, fine to coarse sand, brown, some grey, moist.	MEDIUM DENSE STIFF TO VERY STIFF	DISTURBED SAMPLE	FILL
			0.7		SM	SLTY CLAY: low to medium plasticity fines, brown, moist	FIRM TO STIFF		SLOPEWASH/ TOPSOIL
2A/2D			0.8		CH	SANDY CLAY: high plasticity clay, fine to coarse sand, brown, some angular and rounded gravels up to 30mm in size, moist.	STIFF TO VERY STIFF	DISTURBED SAMPLE	ALLUVIUM
		None Encountered	1.0						
			2.0			EXCAVATION TERMINATED AT 2m			
			2.5						

BOREHOLE/EXCAVATION LOG: C9244.GPJ ACT.GEO.GDT: 30-4-18

Logged By : MD Date : 19-4-18 Checked By : Date :

ACT
Geotechnical Engineers

ACT Geotechnical Engineers

Under the Freedom of Information Act I would like all information in relation to:

- Waterways and Creeks in Crace
- Fill type, soil testing and regrading in section 80 Crace
- All Civil / Engineers reports and plans of Crace and in particular section 80 Crace
- All drainage plans including any inspection reports that have been done to check pipework in section 80 Crace

All I am asking is that the damage to my home is fixed by the responsible parties as the damages are a result of their negligence ie; LDA and CIC for providing

incorrect and misleading information

There has been some recent media attention around some defected units in Canberra & Parliament now has a committee in place looking into building defects. I will also forward this information onto Jeremy Hanson who is heading up the committee and perhaps they can add the LDA and CIC to the list of developers that they need to investigate

<https://www.canberratimes.com.au/politics/act/scared-by-the-experiee-actbuildingnightmares-revealed-20181001-p5074t.htm>

I look forward to your response as this matter needs urgent attention

Kind Regards

On 16 Nov 2018, at 9:20 am, GENTLEMAN <GENTLEMAN@act.gov.au> wrote:

Dear [REDACTED],

Please find the attached correspondence from Minister Mick Gentleman MLA.

Kind Regards,

Eben Leifer | Office Manager / Policy adviser

Office managers: Natasha Apostoloski (Mon-Wed), Eben Leifer (Thu-Fri)

Office of Mick Gentleman MLA

Member for Brindabella

Minister for the Environment and Heritage

Minister for Planning and Land Management

Minister for Police and Emergency Services

Minister assisting the Chief Minister on Advanced Technology and Space Industries

Manager of Government Business

t: 620 50218 | e: gentleman@act.gov.au

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This email, and any attachments, may be confidential and also privileged. If you are not the intended recipient, please notify the sender and delete all copies of this transmission along with any attachments immediately. You should not copy or use it for any purpose, nor disclose its contents to any other person.

<20181116085930142.pdf>



ACT
Government

Chief Minister, Treasury and
Economic Development

Our ref: CMTEDDFOI 2019-048

Ms [REDACTED]

via email: [REDACTED]

Dear [REDACTED]

FREEDOM OF INFORMATION REQUEST

I refer to your application under section 30 of the *Freedom of Information Act 2016* (the Act), received by the Chief Minister, Treasury and Economic Development Directorate (CMTEDD) on 1 March 2019.

Specifically, you are seeking:

“All information in relation to:

- Waterways and Creeks in Crace
- Fill type, soil testing and regrading in section 80 Crace
- All Civil / Engineers reports and plans of Crace and in particular section 80 Crace
- All drainage plans including any inspection reports that have been done to check pipework in section 80 Crace

All information in relation to the removal of the playing field/oval/open space, when and if the amendment went to public consultation & if not how was the change approved, and was legislation on public consultation and technical amendments followed?”

The scope was narrowed by a telephone conversation between yourself and Mr Simon McPhan of this office on 15 March 2019. You agreed to reduce the scope of your request to section 80 Crace.

Authority

I am an Information Officer appointed by the Director-General under section 18 of the Act to deal with access applications made under Part 5 of the Act.

Timeframes

In accordance with section 40 of the Act, CMTEDD is required to provide a decision on your access application by 1 April 2019.

Decision on access

Searches were completed for relevant documents and 11 documents were identified that fall within the scope of your request.

No information for the first two points of your request was found. I note that your request has also been transferred to the Environment, Planning and Sustainable

Development Directorate (EPSDD). EPSDD may be better suited to respond to these points of your request.

I have included as **Attachment A** to this decision the schedule of relevant documents. This provides a description of each document that falls within the scope of your request and the access decision for each of those documents.

I have decided to grant access in full to seven documents relevant to your request. I have decided to grant partial access to the remaining documents as I consider them to be information that would, on balance, be contrary to the public interest to disclose under the test set out in section 17 of the Act.

My access decisions are detailed further in the following statement of reasons and the documents released to you are provided as **Attachment B** to this letter.

Material considered

In reaching my access decision, I have taken the following into account:

- the Act;
- the content of the documents that fall within the scope of your request; and
- the *Information Privacy Act 2014*.

Exemption claimed

My reasons for deciding not to grant access to the identified documents and components of these documents are as follows:

Public Interest

The Act has a presumption in favour of disclosure. As a decision maker I am required to decide where, on balance, public interests lies. As part of this process I must consider factors favouring disclosure and factors favouring non-disclosure.

In *Hogan v Hinch* (2011) 243 CLR 506, [31] French CJ stated that when 'used in a statute, the term [public interest] derives its content from "the subject matter and the scope and purpose" of the enactment in which it appears'. Section 17(1) of the Act sets out the test, to be applied to determine whether disclosure of information would be contrary to the public interest. These factors are found in subsection 17(2) and Schedule 2 of the Act.

Taking into consideration the information contained in the documents found to be within the scope of your request, I have identified that the following public interest factors are relevant to determine if release of the information contained within these documents is within the 'public interest'.

Factors favouring disclosure in the public interest:

- (a) *disclosure of the information could reasonably be expected to do any of the following:*
- (i) *promote open discussion of public affairs and enhance the government's accountability.*

Factors favouring nondisclosure in the public interest:

- (a) *disclosure of the information could reasonably be expected to do any of the following:*
- (ii) *prejudice the protection of an individual's right to privacy or any other right under the Human Rights Act 2014.*

Having considered the factors identified as relevant in this matter, I consider that the release of the information contained in these documents may promote open discussion of public affairs and enhance the government's accountability by allowing you to have a copy of the documents CMTEDD holds relating to section 80 Crace and the playing field opposite section 80.

However, when considering this finding against the factor favouring non-disclosure, I am satisfied that the protection of an individual's right to privacy, especially the names of non-ACT Government employees and home owners, is a significant factor as the parties involved have provided their personal information for the purposes of meeting obligations under relevant legislation which, in my opinion, outweighs the benefit which may be derived from releasing the personal information of the individual's involved in this matter. These individuals are entitled to expect that the personal information they have supplied as part of this process will be dealt with in a manner that protects their privacy.

Charges

Pursuant to *Freedom of Information (Fees) Determination 2017 (No 2)* processing charges are applicable for this request because the total number of pages to be released to you exceeds the charging threshold of 50 pages. However, the charges have been waived in accordance with section 107(2)(b) of the Act.

Online publishing – Disclosure Log

Under section 28 of the Act, CMTEDD maintains an online record of access applications called a disclosure log. Your original access application, my decision and documents released to you in response to your access application will be published in the CMTEDD disclosure log three days after the date of my decision. Your personal contact details will not be published.

You may view the CMTEDD disclosure log at <https://www.cmtedd.act.gov.au/functions/foi/disclosure-log>.

Ombudsman Review

My decision on your access request is a reviewable decision as identified in Schedule 3 of the Act. You have the right to seek a review by the Ombudsman of this outcome under section 73 of the Act within 20 working days from the day that my decision is published in the CMTEDD disclosure log, or a longer period allowed by the Ombudsman.

If you wish to request a review of my decision you may write to the Ombudsman at:

The ACT Ombudsman
GPO Box 442
CANBERRA ACT 2601
Via email: actfoi@ombudsman.gov.au


ACT Civil and Administrative Tribunal (ACAT) Review

Under section 84 of the Act, if a decision is made by the Ombudsman under section 82(1), you may apply to the ACAT for review of the Ombudsman decision. Further information may be obtained from the ACAT at:

ACT Civil and Administrative Tribunal
Level 4, 1 Moore St
GPO Box 370
Canberra City ACT 2601
Telephone: (02) 6207 1740
<http://www.acat.act.gov.au/>

Should you have any queries in relation to your request please contact me by telephone on 6207 7754 or email CMTEDDFOI@act.gov.au.

Yours sincerely,



Sarah McBurney
Information Officer
Information Access Team
Chief Minister, Treasury and Economic Development Directorate

21 March 2019



ACT
Government

Chief Minister, Treasury and
Economic Development

FREEDOM OF INFORMATION REQUEST SCHEDULE

NAME	WHAT ARE THE PARAMETERS OF THE REQUEST	Reference NO.
	<p>All information in relation to:</p> <ul style="list-style-type: none"> Waterways and Creeks in Crace Fill type, soil testing and regrading in section 80 Crace All Civil / Engineers reports and plans of Crace and in particular section 80 Crace All drainage plans including any inspection reports that have been done to check pipework in section 80 Crace <p>All information in relation to the removal of the playing field/oval/open space, when and if the amendment went to public consultation & if not how was the change approved, and was legislation on public consultation and technical amendments followed?</p>	CMTEDDFOI 2019-048

Ref No	Page number	Description	Date	Status	Reason for Exemption	Online Release Status
1	1-13	Drainage inspection records – Section 80 Crace	Nil	Partial release	Sch 2 s2.2 (a)(ii)	Yes
2	14-219	Plans – Section 80 Crace	Various	Partial release	Sch 2 s2.2 (a)(ii)	Yes
3	220-221	Email	23-Nov-09	Full release	N/A	Yes
4	222	Attachment to previous email	23-Nov-09	Full release	N/A	Yes
5	223	Attachment to previous email	23-Nov-09	Full release	N/A	Yes
6	224-225	Email chain	25-Nov-09	Partial release	Sch 2 s2.2 (a)(ii)	Yes
7	226-227	Email chain	26-Dec-09	Full release	N/A	Yes
8	228-229	Email chain	10-Mar-10	Full release	N/A	Yes
9	230-232	Email chain	16-Mar-10	Partial release	Sch 2 s2.2 (a)(ii)	Yes
10	233-234	Email chain	30-Apr-10	Full release	N/A	Yes

11	235-236	Email chain	6-May-10	Full release	N/A	Yes
Total No of Docs						
11						

1/80/CRACE - DP No: 121927

- ⊕ Work As Executed Plan - Rego No: N/A - GAS INSTALLATION - 29/08/2017
- ⊖ Work As Executed Plan - Rego No: N/A - WAE - AWD - 18/08/2017
 - ⊖ 29/08/2017 - Work Notice No: 8324692 - (PD) - **Sch 2 2.2(a)(ii)**
 - 03/07/2018 08:30 - Final - HOWARD, STUART
 - 30/11/2017 12:00 - S WATER, BATH & STACK - SELECTIVE,
 - 31/08/2017 13:00 - Drainage - full - HOWARD, STUART
- ⊕ Work As Executed Plan - Rego No: N/A - ALTERNATIVE SOLUTIONS - 16/02/2012

Inspection

Inspector: HOWARD, STUART

Appointment: 31/08/2017 13:00

Inspection Type: Drainage - full

No of Inspections: 1

Result: PASSED

Comments:

Cross Check BA Exist Before Plumbing Activity

No Approved BA: N/A

Action Taken:

Actioned Date: 00/00/0000

Action Comments:

2/80/CRACE - DP No: 121928

- Work As Executed Plan - Rego No: N/A - GAS INSTALLATION - 19/06/2013
- Work As Executed Plan - Rego No: N/A - WAE - ALW DESIGN - 21/03/2013
 - 03/07/2013 - Work Notice No: 97970 - (PD) - SAJLER PLUMBING PTY LTD0,
 - 12/06/2014 08:30 - Final - FORD, DENIS
 - 03/03/2014 12:00 - Water, Bath and Stack - SELECTIVE,
 - 11/07/2013 14:00 - Drainage - full - MCCOY, TERRY
- Work As Executed Plan - Rego No: N/A - ALTERNATIVE SOLUTIONS - 16/02/2012

Inspection

Inspector: MCCOY, TERRY

Appointment: 11/07/2013 14:00

Inspection Type: Drainage - full

No of Inspections: 1

Result: PASSED

Comments:

Cross Check BA Exist Before Plumbing Activity

No Approved BA: N/A

Action Taken:

Actioned Date: 00/00/0000

Action Comments:

- [-] 3/80/CRACE - DP No: 121929
 - [+] Work As Executed Plan - Rego No: N/A - GAS INSTALLATION - 11/11/2013
 - [-] Work As Executed Plan - Rego No: N/A - WAE - PIROTTA - 05/07/2013
 - [-] 05/07/2013 - Work Notice No: 92722 - (PD) - Sch 2 2.2(a)(ii)
 - [+] 25/11/2013 13:00 - Final - GIBBS, ALAN
 - [+] 11/09/2013 12:00 - S WATER & BATH - SELECTIVE,
 - [+] 09/07/2013 11:30 - Drainage - full - GIBBS, ALAN
 - [+] Work As Executed Plan - Rego No: N/A - ALTERNATIVE SOLUTIONS - 16/02/2012

Inspection

Inspector: GIBBS, ALAN

Appointment: 09/07/2013 11:30

Inspection Type: Drainage - full

No of Inspections: 1

Result: PASSED

Comments:

Cross Check BA Exist Before Plumbing Activity

No Approved BA: N/A

Action Taken:

Actioned Date: 00/00/0000

Action Comments:

- 4/80/CRACE - DP No: 121930
 - Work As Executed Plan - Rego No: N/A - GAS INSTALLATION - 12/03/2014
 - Work As Executed Plan - Rego No: N/A - WAE - NDH - 07/03/2013
 - 23/04/2013 - Work Notice No: 63689 - (PD) - Sch 2 2.2(a)(ii)
 - 19/03/2014 10:00 - Final - WALKER, LAURIE
 - 17/10/2013 12:00 - S WATER & BATH - SELECTIVE,
 - 29/04/2013 11:30 - Drainage - full - WALKER, LAURIE
 - Work As Executed Plan - Rego No: N/A - ALTERNATIVE SOLUTIONS - 16/02/2012

Inspection

Inspector: WALKER, LAURIE

Appointment: 29/04/2013 11:30

Inspection Type: Drainage - full

No of Inspections: 1

Result: PASSED

Comments:

Cross Check BA Exist Before Plumbing Activity

No Approved BA: N/A

Action Taken:

Actioned Date: 00/00/0000

Action Comments:

- 5/80/CRACE - DP No: 121931
 - Work As Executed Plan - Rego No: N/A - GAS INSTALLATION - 19/03/2013
 - Work As Executed Plan - Rego No: N/A - WAE - AWD - 16/10/2012
 - 15/01/2013 - Work Notice No: 99221 - (PD) - JOMAX & CO PTY LIMITED,
 - 26/08/2013 10:00 - Final - DEKKER, PAUL
 - 14/05/2013 12:00 - Water Test - SELECTIVE,
 - 24/01/2013 11:30 - Drainage - full - WALKER, LAURIE
 - Work As Executed Plan - Rego No: N/A - ALTERNATIVE SOLUTIONS - 16/02/2012

Inspection

Inspector: WALKER, LAURIE

Appointment: 24/01/2013 11:30

Inspection Type: Drainage - full

No of Inspections: 1

Result: PASSED

Comments:

Cross Check BA Exist Before Plumbing Activity

No Approved BA: N/A

Action Taken:

Actioned Date: 00/00/0000

Action Comments:

- 6/80/CRACE - DP No: 121932
 - Work As Executed Plan - Rego No: N/A - GAS INSTALLATION - 27/03/2013
 - Work As Executed Plan - Rego No: N/A - WAE - AWD - 18/12/2012
 - 13/03/2013 - Work Notice No: 86099 - (PD) - JOMAX & CO PTY LIMITED,
 - 26/08/2013 09:00 - Final - DEKKER, PAUL
 - 14/05/2013 12:00 - Water Test - SELECTIVE,
 - 15/03/2013 08:30 - Drainage - full - DEKKER, PAUL
 - Work As Executed Plan - Rego No: N/A - ALTERNATIVE SOLUTIONS - 16/02/2012

Inspection

Inspector: DEKKER, PAUL

Appointment: 15/03/2013 08:30

Inspection Type: Drainage - full

No of Inspections: 1

Result: PASSED

Comments:

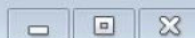
Cross Check BA Exist Before Plumbing Activity

No Approved BA: N/A

Action Taken:

Actioned Date: 00/00/0000

Action Comments:



- 7/80/CRACE - DP No: 121933
 - Work As Executed Plan - Rego No: N/A - GAS INSTALLATION - 03/06/2013
 - Work As Executed Plan - Rego No: N/A - WAE - ADS - 13/11/2012
 - 13/11/2012 - Work Notice No: 129843 - (PD) - **Sch 2 2.2(a)(ii)**
 - 08/08/2013 11:00 - Final - WALKER, LAURIE
 - 02/08/2013 12:00 - S WATER & BATH - SELECTIVE,
 - 19/11/2012 14:30 - Drainage - full - GIBBS, ALAN
 - Work As Executed Plan - Rego No: N/A - ALTERNATIVE SOLUTIONS - 16/02/2012

Inspection

Inspector: GIBBS, ALAN

Appointment: 19/11/2012 14:30

Inspection Type: Drainage - full

No of Inspections: 1

Result: PASSED

Comments:

Cross Check BA Exist Before Plumbing Activity

No Approved BA: N/A

Action Taken:

Actioned Date: 00/00/0000

Action Comments:

- 8/80/CRACE - DP No: 121934
 - Work As Executed Plan - Rego No: N/A - GAS INSTALLATION - 03/03/2014
 - Work As Executed Plan - Rego No: N/A - WAE - AWD - 03/07/2013
 - 03/03/2014 - Work Notice No: 97372 - (P) - Sch 2 2.2(a)(ii)
 - 03/03/2014 - Work Notice No: 97372 - (P)
 - 10/07/2013 - Work Notice No: 97354 - (D)
 - 12/07/2013 13:00 - Drainage - full - FORD, DENIS
 - 10/07/2013 - Work Notice No: 97354 - (D) - Sch 2 2.2(a)(ii)
 - Work As Executed Plan - Rego No: N/A - ALTERNATIVE SOLUTIONS - 16/02/2012

Inspection

Inspector: FORD, DENIS

Appointment: 12/07/2013 13:00

Inspection Type: Drainage - full

No of Inspections: 1

Result: PASSED

Comments:

Cross Check BA Exist Before Plumbing Activity

No Approved BA: N/A

Action Taken:

Actioned Date: 00/00/0000

Action Comments:

9/80/CRACE - DP No: 121935

- [-] Work As Executed Plan - Rego No: N/A - WAE - LASER PLUMBING - 13/07/2017
- [-] Work As Executed Plan - Rego No: N/A - GAS INSTALLATION - 10/10/2013
- [-] Work As Executed Plan - Rego No: N/A - WAE - NDH GROUP - 18/04/2013
 - [-] 13/05/2013 - Work Notice No: 98304 - (PD) - D L EARTHWORKS AND PLUMBING.
 - 26/09/2013 11:00 - Final - DEKKER, PAUL
 - 03/07/2013 12:00 - S WATER & BATH - SELECTIVE,
 - 14/05/2013 11:30 - Drainage - full - FOX, Bradley
- [-] Work As Executed Plan - Rego No: N/A - ALTERNATIVE SOLUTIONS - 16/02/2012

Inspection

Inspector: FOX, Bradley

Appointment: 14/05/2013 11:30

Inspection Type: Drainage - full

No of Inspections: 1

Result: PASSED

Comments:

Cross Check BA Exist Before Plumbing Activity

No Approved BA: N/A

Action Taken:

Actioned Date: 00/00/0000

Action Comments:

- [-] 10/80/CRACE - DP No: 121936
 - [+] Work As Executed Plan - Rego No: N/A - GAS INSTALLATION - 04/06/2013
 - [-] Work As Executed Plan - Rego No: N/A - WAE - SELICKS - 31/01/2013
 - [+] 03/06/2013 - Work Notice No: 92805 - (P) - Sch 2 2.2(a)(ii)
 - [+] 03/06/2013 - Work Notice No: 92805 - (P) - Sch 2 2.2(a)(ii)
 - [-] 02/04/2013 - Work Notice No: 113885 - (D) - Sch 2 2.2(a)(ii)
 - [+] 16/04/2013 14:30 - Drainage - full - FOX, Bradley
 - [+] 02/04/2013 - Work Notice No: 113885 - (D) - Sch 2 2.2(a)(ii)
 - [+] Work As Executed Plan - Rego No: N/A - ALTERNATIVE SOLUTIONS - 16/02/2012

Inspection

Inspector: FOX, Bradley

Appointment: 16/04/2013 14:30

Inspection Type: Drainage - full

No of Inspections: 1

Result: PASSED

Comments:

Cross Check BA Exist Before Plumbing Activity

No Approved BA: N/A

Action Taken:

Actioned Date: 00/00/0000

Action Comments:

- 11/80/CRACE - DP No: 121937
 - Work As Executed Plan - Rego No: N/A - GAS INSTALLATION - 07/02/2014
 - Work As Executed Plan - Rego No: N/A - WAE - ALW - 28/06/2013
 - 09/10/2013 - Work Notice No: 95635 - (PD) - SAJLER PLUMBING PTY LTD0,
 - 23/04/2014 11:30 - Final - FORD, DENIS
 - 05/02/2014 12:00 - S WATER & BATH - SELECTIVE,
 - 11/10/2013 09:00 - Drainage - full - DEKKER, PAUL
 - Work As Executed Plan - Rego No: N/A - ALTERNATIVE SOLUTIONS - 17/02/2012

Inspection

Inspector: DEKKER, PAUL

Appointment: 11/10/2013 09:00

Inspection Type: Drainage - full

No of Inspections: 1

Result: PASSED

Comments:

Cross Check BA Exist Before Plumbing Activity

No Approved BA: N/A

Action Taken:

Actioned Date: 00/00/0000

Action Comments:

12/80/CRACE - DP No: 126713

Work As Executed Plan - Rego No: N/A - GAS INSTALLATION - 01/10/2014

Work As Executed Plan - Rego No: N/A - WAE - ALW - 23/07/2014

24/09/2014 - Work Notice No: 107102 - (PD) - SAJLER PLUMBING PTY LTD0.

18/03/2015 10:00 - Final - MCCOY, TERRY

28/11/2014 12:00 - S WATER & BATH - SELECTIVE.

25/09/2014 09:00 - Drainage - full - ORD, GRAEME

Inspection

Inspector: ORD, GRAEME

Appointment: 25/09/2014 09:00

Inspection Type: Drainage - full

No of Inspections: 1

Result: PASSED

Comments:

Cross Check BA Exist Before Plumbing Activity

No Approved BA: N/A

Action Taken:

Actioned Date: 00/00/0000

Action Comments:

13/80/CRACE - DP No: 121939

- Work As Executed Plan - Rego No: N/A - GAS INSTALLATION - 01/03/2013
- Work As Executed Plan - Rego No: N/A - WAE - SELICK - 31/10/2012
 - 15/05/2013 - Work Notice No: 97976 - (P) - JOMAX & CO PTY LIMITED,
 - 06/12/2012 - Work Notice No: 70324 - (D) - **Sch 2 2.2(a)(ii)**
 - 11/12/2012 09:00 - Drainage - full - DEKKER, PAUL
 - 06/12/2012 - Work Notice No: 70324 - (D) - **Sch 2 2.2(a)(ii)**
- Work As Executed Plan - Rego No: N/A - ALTERNATIVE SOLUTIONS - 17/02/2012

Inspection

Inspector: DEKKER, PAUL

Appointment: 11/12/2012 09:00

Inspection Type: Drainage - full

No of Inspections: 1

Result: PASSED

Comments:

Cross Check BA Exist Before Plumbing Activity

No Approved BA: N/A

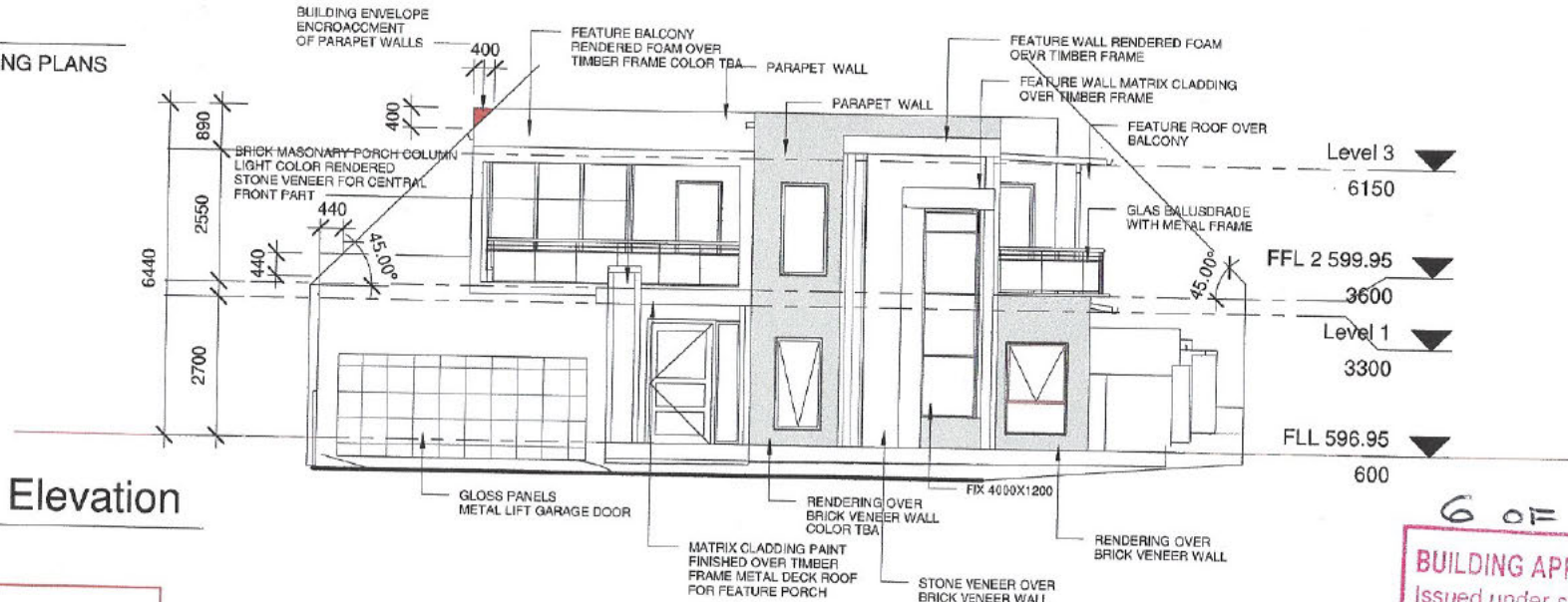
Action Taken:

Actioned Date: 00/00/0000

Action Comments:

N/S ELEVATIONS

PROPOSED RESIDENTIAL BUILDING PLANS
BLOCK 1, SECTION 80, CRACE

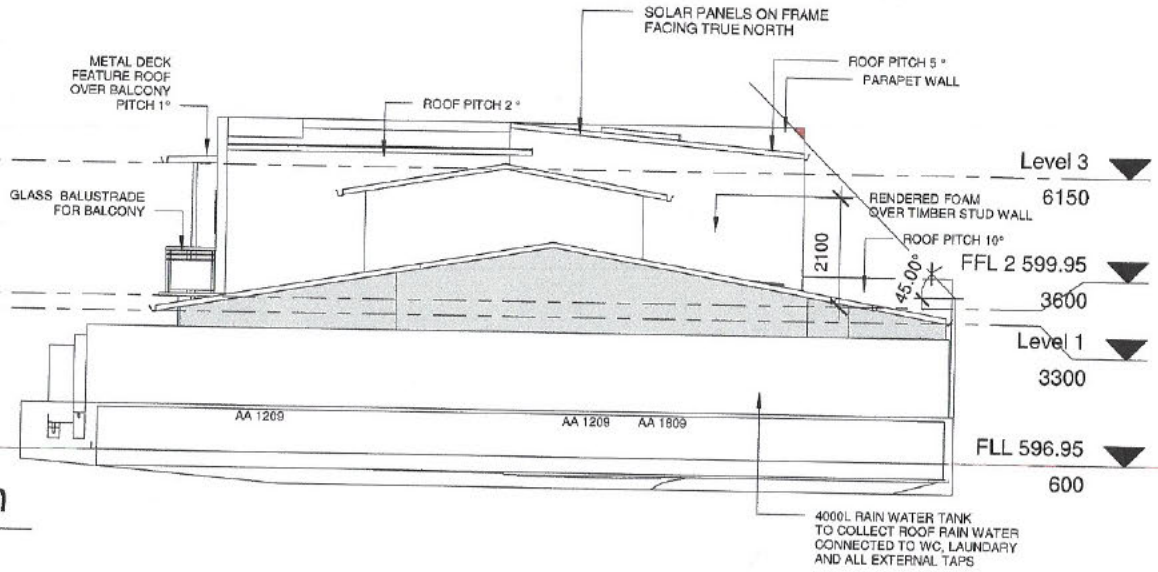


2 North Elevation
1 : 100

APPROVED
PURSUANT TO SECTION 1.100A/1.100AB OF THE
PLANNING AND DEVELOPMENT REGULATION 2008

Delegate: GEORGE CILLIERS
Date 2/8/2017

DECLARATION OF EXTENDED DISTANCE
Rule 6 - Building envelope departure of a maximum 400mm
for a length of 230mm
Rule 25 - Courtyard wall departure of a maximum 350mm
for a length of 4890mm



1 South Elevation
1 : 100

6 OF 15

BUILDING APPROVAL
Issued under s.28 of
the Building Act 2004.

JOHN BATES
Certifier Name

Lic. No 1988 4388
1a(i), 10a, 10b
BCA Occupancy Class

BCA Type of Construction

Issue date: 12/08/17

John Bates
Certifier signature

Arch Space Design
SANTOSH KUMAR
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www.archspacedesign.com.au

No.	Description	Date

Sch 2 2.2(a)(ii)

NEW RESIDENTIAL BUILDING

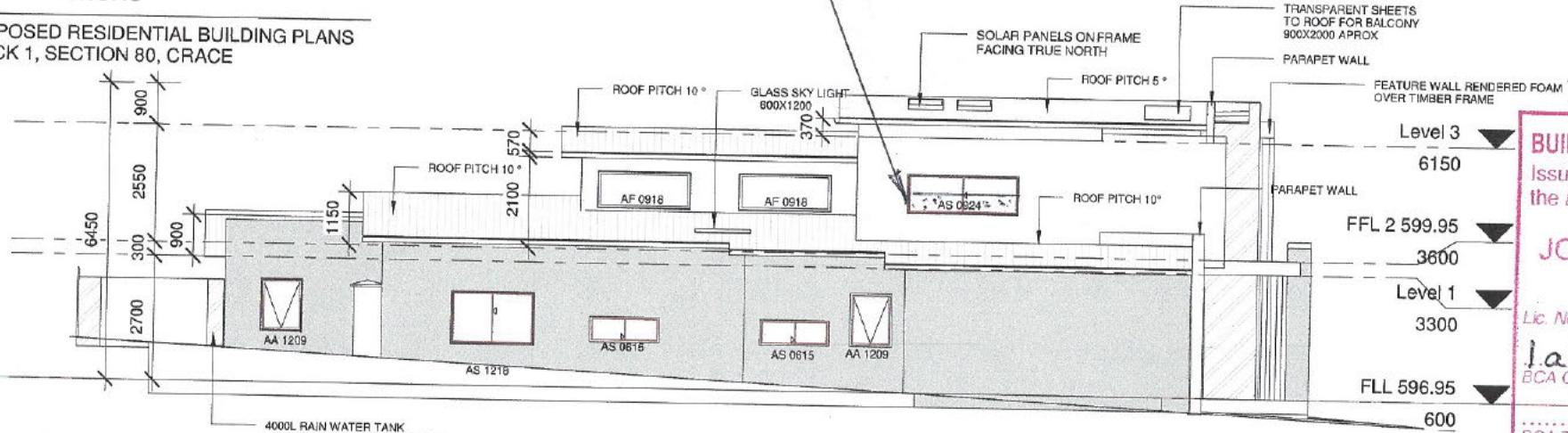
N/S ELEVATION		A201
Project number	ASD 1073	
Date	27/08/17	
Drawn by	Author	
Checked by	Checker	Scale

1 : 100

E/W ELEVATIONS

PROPOSED RESIDENTIAL BUILDING PLANS
BLOCK 1, SECTION 80, CRACE

OBSCURE & FIXED GLASS UP
TO 1700 FROM FFL



4000L RAIN WATER TANK
TO COLLECT ROOF RAIN WATER
CONNECTED TO WC, LAUNDRARY
AND ALL EXTERNAL TAPS

East Elevation

1 : 100

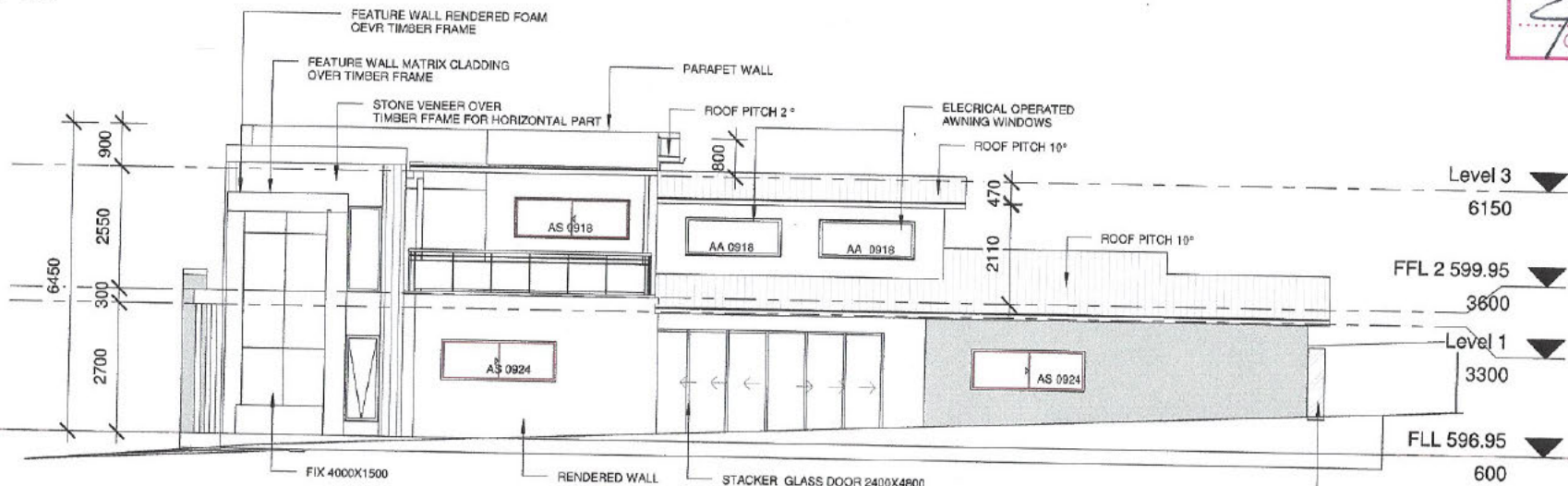
BUILDING APPROVAL
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JOHN BATES
Certifier Name
Lic. No. 1988 4388
i.a.i., 10a, 10b
BCA Occupancy Class

BCA Type of Construction

Issue date: 12/08/17

John Bates
Certifier signature



West Elevation

2 : 100



Arch Space Design

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No.	Description	Date

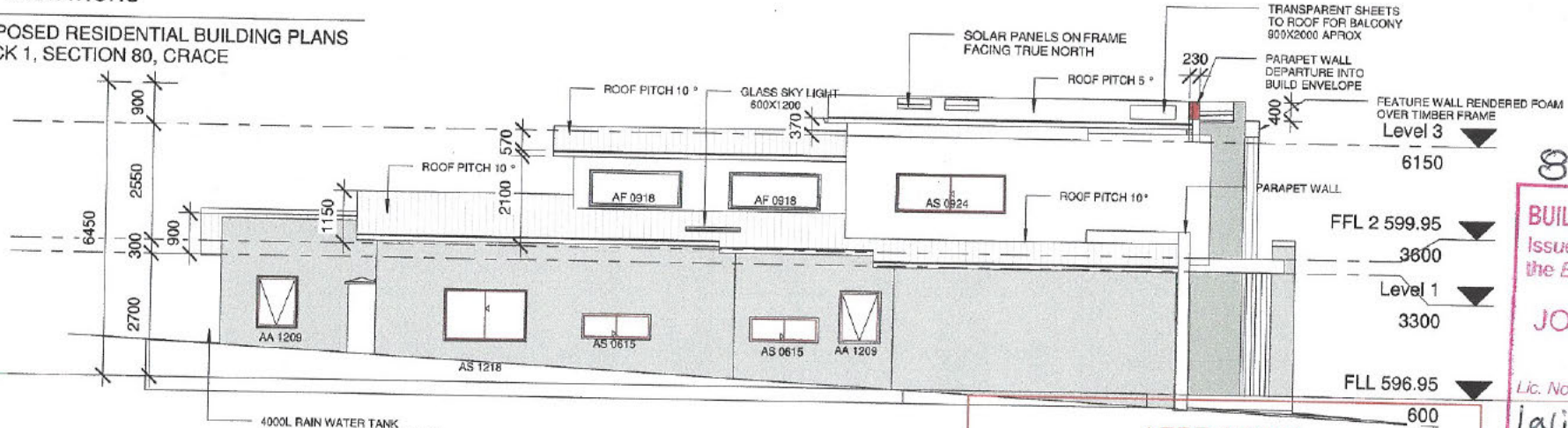
Sch 2 2.2(a)(ii)
NEW RESIDENTIAL BUILDING

E/W Elevation		A202
Project number	ASD 1073	
Date	27/06/17	
Drawn by	Santosh	
Checked by	Checker	Scale
		1 : 100

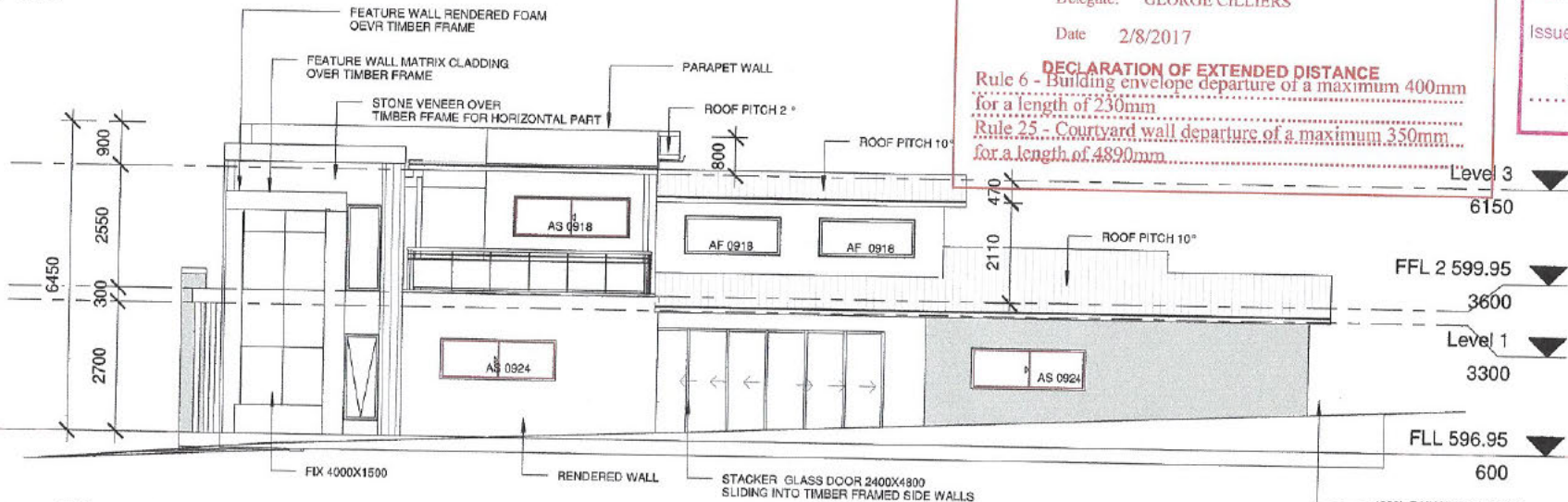
8/07/2017 2:32:53 PM

E/W ELEVATIONS

PROPOSED RESIDENTIAL BUILDING PLANS
BLOCK 1, SECTION 80, CRACE



1 East Elevation
1 : 100



2 West Elevation
1 : 100

APPROVED
PURSUANT TO SECTION 1.100A/1.100AB OF THE
PLANNING AND DEVELOPMENT REGULATION 2008

Delegate: GEORGE CILLIERS
Date 2/8/2017

DECLARATION OF EXTENDED DISTANCE
Rule 6 - Building envelope departure of a maximum 400mm
for a length of 230mm
Rule 25 - Courtyard wall departure of a maximum 350mm
for a length of 4890mm

8 of 15

BUILDING APPROVAL
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JOHN BATES
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1a(i), 10a, 10b
BCA Occupancy Class

BCA Type of Construction

Issue date: 12/09/17

J. Bates
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www.archspacedesign.com.au

No.	Description	Date

Sch 2.2.2(a)(ii)		E/W Elevation	
NEW RESIDENTIAL BUILDING		Project number ASD 1073	A202
		Date 27/06/17	
		Drawn by Santosh	
		Checked by Checker	Scale
			1 : 100

SECTION

PROPOSED RESIDENTIAL BUILDING PLANS
BLOCK 1, SECTION 80, CRACE

9 of 15

BUILDING APPROVAL
Issued under s.28 of
the Building Act 2004.

JOHN BATES
Certifier Name

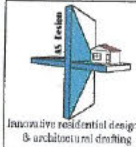
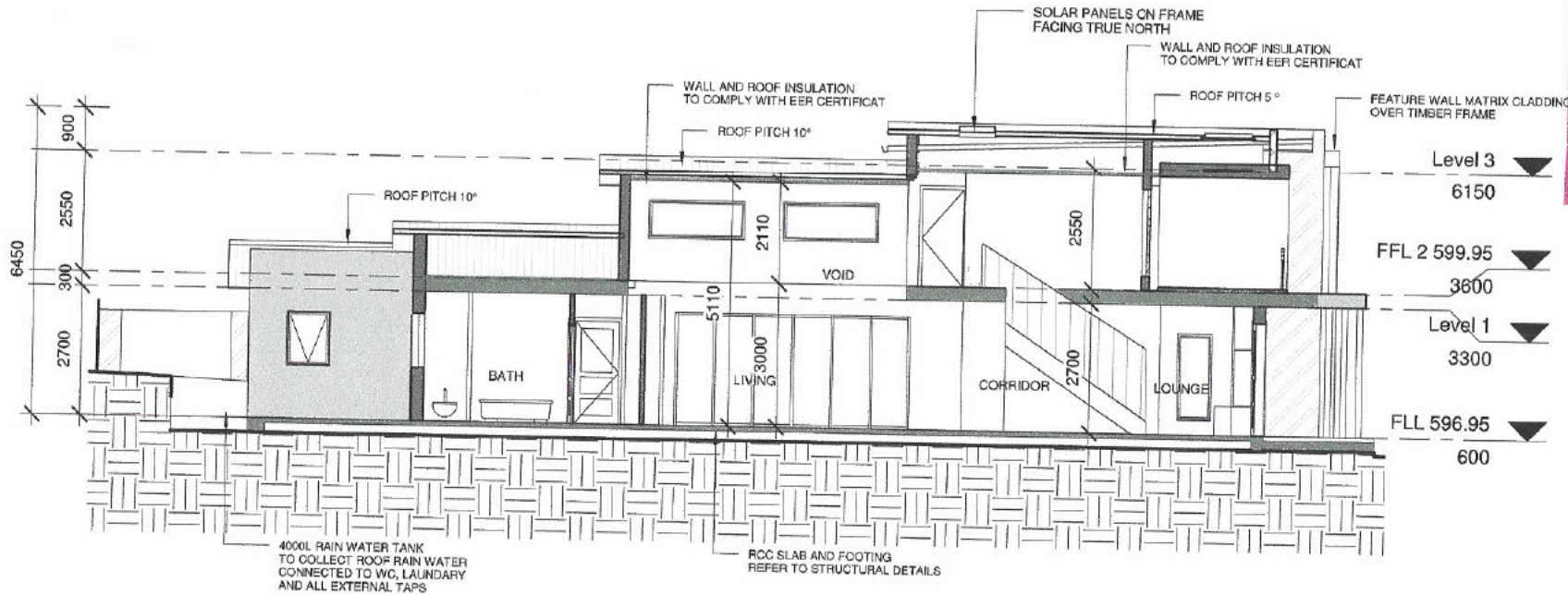
Lic. No. 1988 4388

1a(i), 10a, 10b
BCA Occupancy Class

BCA Type of Construction

Issue date: 12.08.17

John Bates
Certifier signature



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No.	Description	Date

Sch 2 2.2(a)(ii)

NEW RESIDENTIAL BUILDING

SECTION		A301
Project number	ASD 1073	
Date	27/06/17	
Drawn by	Author	
Checked by	Checker	
	Scale	1 : 100

GROUND FLOOR PLAN

PROPOSED RESIDENTIAL BUILDING PLANS
BLOCK 1, SECTION 80, CRACE

3 OF 15

BUILDING APPROVAL

Issued under s.28 of
the Building Act 2004.

JOHN BATES

Certifier Name

Lic. No. 1988 4388

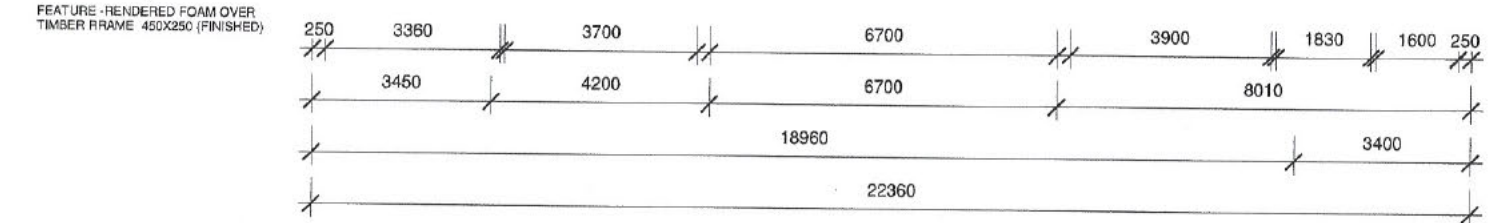
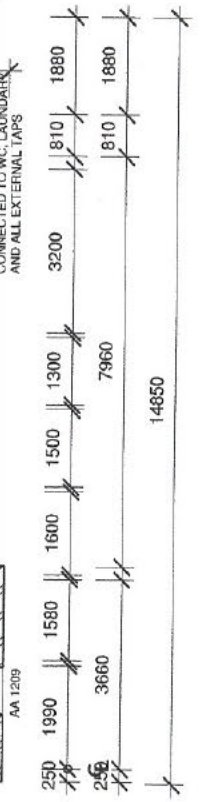
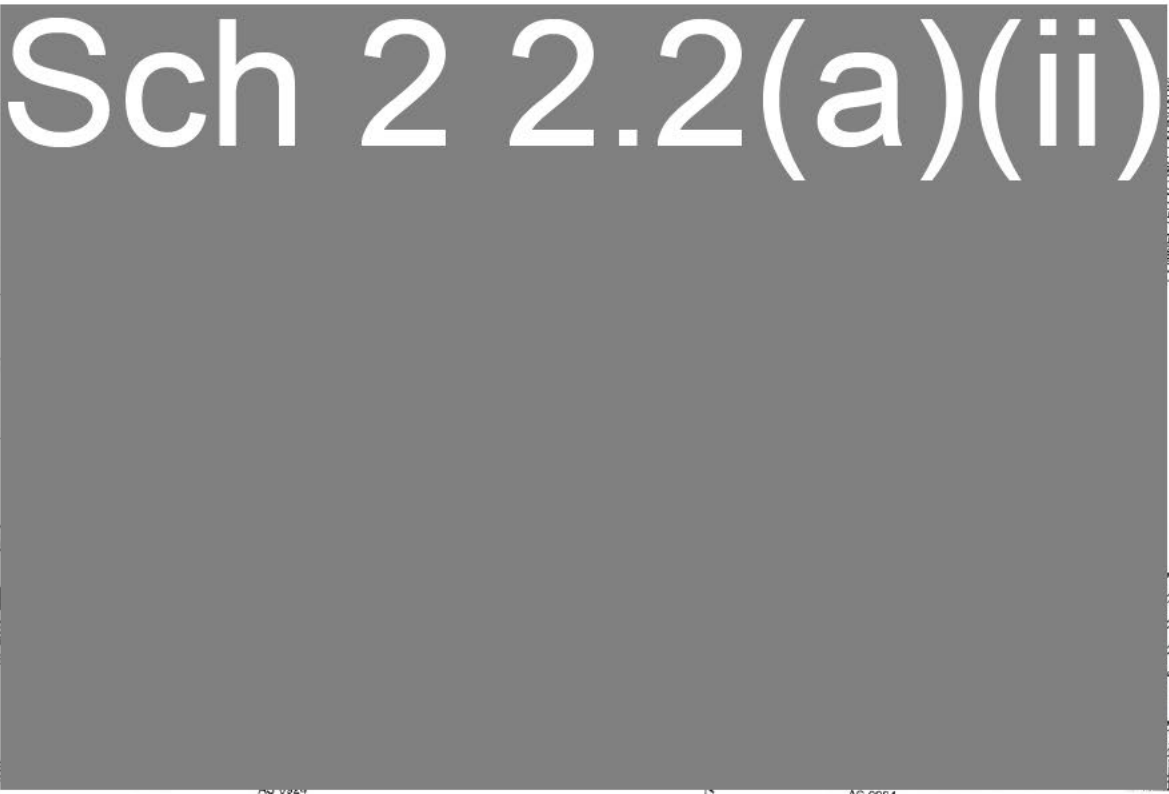
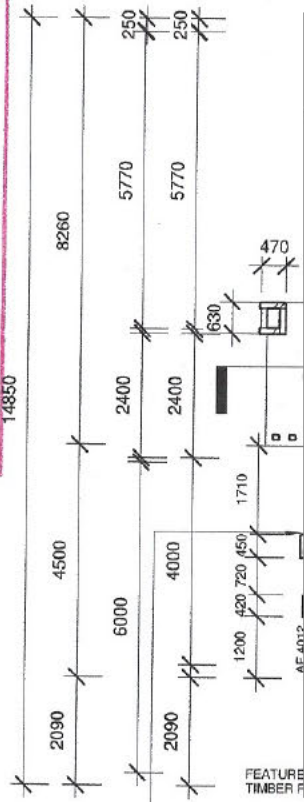
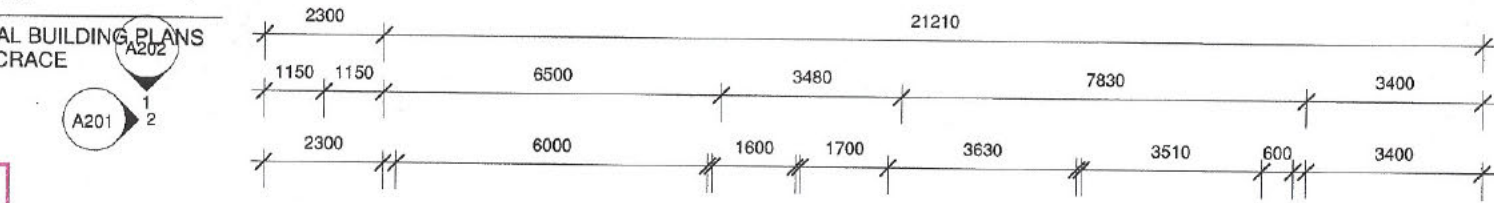
1a(i), 10a, 10b

BCA Occupancy Class

BCA Type of Construction

Issue date: 12/08/17

John Bates
Certifier signature




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No.	Description	Date

Sch 2 2.2(a)(ii)	GROUND FLOOR PLAN	
	Project number	ASD 1073
	Date	27/08/17
	Drawn by	Author
Checked by	Checker	Scale
NEW RESIDENTIAL BUILDING	A101	
		1 : 100

FIRST FLOOR PLAN

PROPOSED RESIDENTIAL BUILDING PLANS
BLOCK 1, SECTION 80, CRACE

4 of 15



BUILDING APPROVAL
Issued under s.28 of
the Building Act 2004

JOHN BATES
Certifier Name

Lic. No. 1988 4388
10a, 10b
BCA Occupancy Class

BCA Type of Construction

Issue date: *12.08.17*

J. Bates
Certifier signature



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No.	Description	Date

Sch 2 2.2(a)(ii)

NEW RESIDENTIAL BUILDING

FIRST FLOOR PLAN		A102
Project number	ASD 1073	
Date	27/06/17	
Drawn by	Author	
Checked by	Checker	Scale

1 : 100

PIERRE DRAGH

CONSULTING ENGINEERS

OFFICE

ADDRESS: 16 VICTORIA STREET, HALL, ACT, 2618

TEL : 0438 625 440

FAX : (02) 6230 9695

EMAIL : PDRAGH@BIGPOND.COM

10 OF 15

BUILDING APPROVAL

Issued under s.28 of
the Building Act 2004.

JOHN BATES

Certifier Name

Lic. No. 1988 4388

1a(i), 10a, 10b
BCA Occupancy Class

BCA Type of Construction

Issue date: 12.08.17

J. Bates

Certifier signature

SITE ADDRESS

BLOCK 01 SECTION 80
CRACE

JOB DESCRIPTION

PROPOSED NEW DWELLING

CLIENT:

Sch 2 2.2(a)(ii)

DRAWING LIST

- S1 - GENERAL NOTES
- S2 - FOOTING & SLAB LAYOUT
- S3 - FOOTING DETAILS
- S4 - JOIST & BEAM LAYOUT
- S5 - ROOF BEAM LAYOUT

NOTE

IT IS THE RESPONSIBILITY OF THE CLIENT IN CONSULTATION WITH THEIR BUILDER TO CHECK AND VERIFY THE BUILDABILITY OF THE DESIGN AS PRESENTED AND REFER ANY CONCERNS BACK TO THE ENGINEER PRIOR TO CONSTRUCTION. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE PROJECT ARCHITECTURAL AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS.

APPROVED BY:

Dwg No.

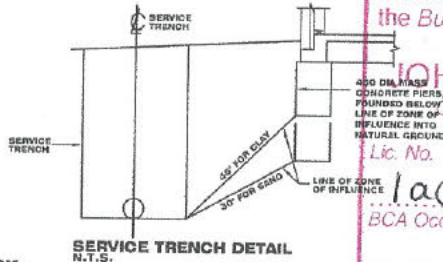
S0

GENERAL NOTES:

- G.1 THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ALL DISCREPANCIES SHALL BE REFERRED TO THE ARCHITECT/ENGINEER FOR DECISION BEFORE PROCEEDING WITH THE WORK.
- G.2 DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE STRUCTURAL DRAWINGS.
- G.3 SETTING OUT DIMENSIONS SHOWN ON THE DRAWINGS SHALL BE VERIFIED BY THE BUILDER.
- G.4 DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED A STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED.
- G.5 ALL WORKMANSHIP AND MATERIAL SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT EDITIONS OF THE A.S. CODES AND THE BY-LAWS AND ORDINANCES OF THE RELEVANT BUILDING AUTHORITY.
- G.6 THE STRUCTURAL ELEMENTS SHOWN ON THE DRAWINGS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE FOLLOWING CODES:
 CONCRETE - A.S 3600
 FOOTING - A.S 2870
 STEEL - A.S 4100 & A.S. 4600

FOUNDATIONS AND FOOTINGS:

- F.1 FOOTINGS HAVE BEEN DESIGNED FOR A UNIFORM BEARING PRESSURE (refer to sheet 2). FOUNDATION MATERIAL SHALL BE APPROVED FOR THIS PRESSURE BEFORE PLACING CONCRETE FOOTING.
- F.2 THE SITE IS CLASSIFIED IN ACCORDANCE WITH GEOTECHNICAL REPORT (refer to sheet 2). WE DISCLOSE THAT WE HAVE NOT VERIFIED THIS REPORT AND THAT WE RELY ON ITS FINDINGS.
- F.3 FOOTING SHALL BE PLACED CENTRALLY UNDER WALLS AND COLUMNS UNLESS OTHERWISE NOTED.
- F.4 ALL WORKMANSHIP & MATERIALS SHALL BE IN ACCORDANCE WITH A.S. 2870
- F.5 THE FOOTING DETAILS SHOWN ARE FOR THE SITE CLASSIFICATION STIPULATED, PDCE CONSULTING ENGINEERS TAKES NO RESPONSIBILITY FOR VARIATIONS WHICH MAY OCCUR DUE TO VARIATIONS IN SITE CONDITIONS.
- F.6 FILL USED IN THE CONSTRUCTION OF A SLAB EXCEPT WHERE THE SLAB IS SUSPENDED SHALL CONSIST OF A CONTROLLED FILL OR ROLLED FILL IN ACCORDANCE WITH A.S. 2870
 A) ROLLED FILL CONSISTS OF MATERIAL COMPACTED IN LAYERS BY REPEATED ROLLING WITH AN EXCAVATOR. ROLLED FILL SHALL NOT EXCEED 600mm COMPACTED IN LAYERS NOT MORE THAN 300mm, FOR SAND MATERIEL OR 400mm COMPACTED IN LAYERS NOT MORE THAN 150mm FOR OTHERS MATERIAL.
 B) CONTROLLED FILL SHALL CONSIST OF WELL GRADED SAND FILL UP TO 800mm DEEP, WELL COMPACTED IN NOT MORE THAN 300mm LAYERS BY VIBRATING PLATE OR VIBRATING ROLLER NON SAND FILL UP TO 400mm DEEP, WELL COMPACTED IN NOT MORE THAN 150 LAYERS BY A MECHANICAL ROLLER. CLAY FILL SHOULD BE MOIST DURING COMPACTION. THE DEPTHS OF FILL GIVEN ABOVE ARE DEPTHS MEASURED AFTER COMPACTION. FOR DEPTHS GREATER THAN THAT GIVEN ABOVE THE FILL SHALL BE SUBJECT TO CONTROL AND TESTING. IF TEST FAILS THEN PIERS ARE REQUIRED. CONTACT THIS OFFICE PRIOR TO FURTHER CONSTRUCTION.
 EDGE BEAMS MAY BE FOUNDED ON CONTROLLED FILL EDGE BEAMS SHALL NOT BE FOUNDED ON ROLLED FILL.
- F.7 TOP SOIL CONTAINING GRASS ROOTS OR OTHER ORGANIC MATERIAL SHALL BE REMOVED FROM THE AREA ON WHICH THE SLAB IS TO REST.
- F.8 IF ANY FOOTING IS LOCATED SUCH THAT A LINE DRAWN AT 45 DEGREES FOR CLAY AND 30 DEGREES FOR SAND FROM ITS BASE INTERSECTS A SERVICE TRENCH THEN PIERS ARE REQUIRED AS PER DETAIL BELOW.



CONCRETE WORK:

- C.1 ALL WORKMANSHIP AND MATERIAL SHALL BE IN ACCORDANCE WITH A.S. 3600 & A.S. 2870
 - C.2 CONCRETE QUALITY SHALL BE AS TABULATED BELOW U.N.O. AND SHALL BE VERIFIED BY TESTS.
- | ELEMENT | SLUMP mm | MAX. SIZE AGG. mm | CEMENT TYPE | EXPOSURE CLASSIFIC. | CONCRETE GRADE | COVER mm |
|-----------------|----------|-------------------|-------------|---------------------|----------------|---------------------------------|
| SLABS ON GROUND | 100 | 20 | A | A1 | 20N | 20 TOP
30 BTM
40 EXTERNAL |
| FOOTINGS | 100 | 20 | A | A1 | 20N | 40 |
| SUSPENDED SLAB | 80 | 20 | A | A1 | 32N | 30 TOP
20 BTM
40 EXTERNAL |
- C.3 ALL CONCRETE SHALL BE PLACED AND CURED IN ACCORDANCE WITH A.S. 3600. WHERE CURING COMPOUNDS ARE USED IT MUST BE APPLIED AS FOLLOWS:
 A) ONTO SLAB WITHIN 2HRS OF FINISHING OPERATION
 B) ONTO WALLS AND COLUMNS IMMEDIATELY AFTER REMOVAL OF FORMWDK.
 - C.4 SIZES OF CONCRETE ELEMENTS DO NOT INCLUDE THICKNESS OF APPLIED FINISHES.
 - C.5 CONSTRUCTION JOINTS WHERE NOT SHOWN SHALL BE TO THE APPROVAL OF THE ENGINEER.
 - C.6 BEAM DEPTHS ARE WRITTEN FIRST AND INCLUDE SLAB THICKNESS, IF ANY.
 - C.7 HORIZONTAL FORMWORK SHALL BE STRIPPED WHEN APPROVED BY THE ENGINEER.
 - C.8 UNLESS NOTED OTHERWISE NO ALLOWANCE HAS BEEN MADE FOR STACKED MATERIALS OR MACHINERY ON THE CONCRETE STRUCTURE.
 - C.9 NO HOLES OR CHASES OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE MADE IN CONCRETE ELEMENTS WITHOUT THE PRIOR APPROVAL OF THE ENGINEER.
 - C.10 REINFORCEMENT IS REPRESENTED DIAGRAMMATICALLY. IT IS NOT NECESSARILY SHOWN IN TRUE PROJECTION.
 - C.11 SPLICES IN REINFORCEMENT MADE IN POSITIONS OTHER THAN SHOWN SHALL BE TO THE APPROVAL OF THE ENGINEER. WHERE THE LAP LENGTH IS NOT SHOWN IT SHALL BE SUFFICIENT TO DEVELOP THE FULL STRENGTH OF THE REINFORCEMENT.
 - C.12 WELDING OF REINFORCEMENT SHALL NOT BE PERMITTED UNLESS SHOWN ON THE STRUCTURAL DRAWINGS.
 - C.13 PIPES OR CONDUITS SHALL NOT BE PLACED WITHIN THE CONCRETE COVER TO REINFORCEMENT WITHOUT THE APPROVAL OF THE ENGINEER.
 - C.14 ALL REINFORCING BARS SHALL COMPLY WITH A.S. 4671. ALL FABRIC SHALL COMPLY WITH A.S. 4671 AND SHALL BE SUPPLIED IN FLAT SHEETS.
 - C.15 REINFORCING SYMBOLS:
 N - DENOTES GRADE D500 HIGH STRENGTH DEFORMED BARS TO A.S. 4671.
 R - DENOTES GRADE R250 HOT ROLLED PLAIN BARS TO A.S. 4671.
 SL - DENOTES HARD-DRAWN WIRE SQUARE REINFORCING FABRIC TO A.S. 4671.
 RL - DENOTES HARD-DRAWN WIRE RECTANGULAR REINFORCING FABRIC TO A.S. 4671. THE NUMBER IMMEDIATELY FOLLOWING THESE SYMBOLS IS THE BAR DIAMETER IN MILLIMETRES.
 - C.16 FABRIC REINFORCEMENT TO BE LAPPED ONE MESH PLUS 30mm. LAPS IN POSITIONS OF MAXIMUM MOMENT ARE NOT PERMITTED.

BUILDING APPROVAL

Issued under s.28 of the Building Act 2004.

JOHN BATES
 Certifier Name
 Lic. No. 1988 4388
 1a(i), 10a, 10b
 BCA Occupancy Class

BCA Type of Construction
 A.S. 3600. 12/08/17

ALL REINFORCEMENT SHALL BE FIRMLY SUPPORTED ON INSULATED STEEL, PLASTIC OR CONCRETE CHAIRS GENERALLY AT NOT GREATER THAN 800 CENTERS BOTH WAYS. RODS SHALL BE TIED AT ALTERNATE INTERSECTIONS. ALL TENSILE REINFORCEMENT TO BE LAPPED AS SHOWN (u.n.o.):

REINF. BAR	N12	N16	N20	N24
LAP LENGTH mm	500	600	700	800

DRAINAGE NOTES:

- D.1 ALL WORKMANSHIP & MATERIALS SHALL BE IN ACCORDANCE WITH A.S. 2870
- D.2 DRAINAGE SHALL BE CONSTRUCTED TO AVOID WATER PONDING AGAINST OR NEAR THE FOOTING. THE GROUND IN THE IMMEDIATE VICINITY OF THE PERIMETER FOOTING, INCLUDING THE GROUND UPHILL FROM THE SLAB ON CUT-AND-FILL SITES, SHALL BE GRADED TO FALL 50mm MINIMUM AWAY FROM THE FOOTING OVER A DISTANCE OF 1m. SURFACE OR SUBSURFACE DRAINS SHALL BE USED TO CHANNEL WATER AWAY AND CONNECTED TO STORM WATER SYSTEM. ANY PAVING SHALL ALSO BE SUITABLY SLOPED
- D.3 PLUMBING TRENCHES SHALL BE SLOPED AWAY FROM THE HOUSE AND SHALL BE BACKFILLED WITH CLAY IN THE TOP 300mm WITHIN 1.5m OF THE HOUSE. THE CLAY USED FOR BACKFILLING SHALL BE COMPACTED. WHERE PIPES PASS UNDER THE FOOTING SYSTEM, THE TRENCH SHALL BE BACKFILLED WITH CLAY OR CONCRETE TO RESTRICT THE INGRESS OF WATER BENEATH THE FOOTING SYSTEM. EXCAVATIONS NEAR THE EDGE OF THE FOOTING SYSTEM SHALL BE BACKFILLED IN SUCH A WAY AS TO PREVENT ACCESS OF WATER TO THE FOUNDATION. FOR EXAMPLE, EXCAVATIONS SHOULD BE BACKFILLED ABOVE OR ADJACENT TO THE FOOTING, WITH MOIST CLAY COMPACTED BY HAND-RODDING OR TAMPING. POROUS MATERIAL SUCH AS SAND, GRAVEL OR BUILDING RUBBLE SHOULD NOT BE USED. WATER RUN-OFF SHALL BE COLLECTED AND CHANNELLED AWAY FROM THE HOUSE DURING CONSTRUCTION.
- D.5 PENETRATIONS OF THE EDGE BEAMS AND FOOTING BEAMS ARE TO BE AVOIDED, BUT WHERE NECESSARY SHALL BE SLEEVED TO ALLOW FOR MOVEMENT.
- D.7 CONNECTION OF STORMWATER DRAINS AND WASTE DRAINS SHALL INCLUDE FLEXIBLE CONNECTION.

STRUCTURAL STEEL:

- S.1 ALL WORKMANSHIP & MATERIALS SHALL BE IN ACCORDANCE WITH A.S. 4100 EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.
- S.2 UNLESS OTHERWISE NOTED, ALL STEEL SHALL BE IN ACCORDANCE WITH:
 A.S. 3679.1 GRADE 300 FOR ROLLED SECTIONS.
 A.S. 1163 GRADE 350 FOR RHS SECTIONS.
 A.S. 1163 GRADE 350 FOR CHS SECTIONS.
 A.S. 3378 GRADE 350 FOR ALL PLATS.
 A.S. 3679.1 GRADE 350 FOR ALL FLAT
 A.S. 1397 GRADE 450 FOR 1.5, 1.8, 2.4 AND 3.0 BMT OF COLD-FORMED STEEL SECTIONS.
- S.3 UNLESS NOTED OTHERWISE ALL WELDS SHALL BE 6mm CONTINUOUS FILLET WELDS AND ALL GUSSET PLATES SHALL BE 10mm THICK.
- S.4 BUTT WELDS WHERE INDICATED IN THE DRAWINGS ARE TO BE COMPLETE PENETRATION BUTT WELDS AS DEFINED IN A.S. 1554.
- S.5 UNLESS OTHERWISE SHOWN ALL BOLTS SHALL BE 16mm DIA HIGH STRENGTH (H.S.) BOLTS SHALL CONFORM TO A.S. 1252 AND SHALL BE INSTALLED IN ACCORDANCE WITH A.S. 4100 AS DIRECTED BY THE ENGINEER.
- S.6 UNLESS NOTED OTHERWISE ALL BEAMS TO BE SUPPORTED ON BRICKWORK/ENGAGED BRICK PIERS (110mm BRICK BEARING REQUIRED) PLACE INCOMPRESSIBLE PACKING AS REQUIRED UNDER THE ENDS OF THE BEAM TO ENSURE EVEN BEARING ON BRICKWORK.
- S.7 UNLESS NOTED OTHERWISE PROTECTIVE COATINGS FOR STEELWORK SHALL BE AS TABULATED BELOW AND IN ACCORDANCE WITH THE CURRENT EDITION OF THE BSA.

ENVIRONMENT (EXPOSURE CLASSIFICATION AS PER BCA)	GENERAL STRUCTURAL MEMBERS (NOT BUILT INTO MASONRY OR CONCRETE)		LINTELS (BUILT INTO MASONRY OR CONCRETE)
	INTERNAL	EXTERNAL	
	VERY LOW	RO	
LOW	RO	R1	R2
MEDIUM	RO	R2	R3
HIGH	R1	R3	R4
VERY HIGH	R1	R4	R5

PROTECTIVE COATING SPECIFICATION TO A.S. 2699.3

REVISION DETAILS			
NO.	DESCRIPTION	DATE	NAME

PIERRE DRAGH
 CONSULTING ENGINEERS

OFFICE:
 16 VICTORIA STREET, HALL ACT, 2618

PH: 0439 625 440 Web: www.pdragh.com.au
 FAX: 1 (02) 6230 9695 email: pdragh@bigpond.com

PROJECT
 BLOCK 01 SECTION 80
 CRACE

CLIENT
 Sch 2 2.2(a)(ii)

DRAWING
 GENERAL NOTES

Job No.	Rev.
SCALE: DATE: 1:100 11/07/17	Dwg No.
DESIGNED: KZ	S1
DRAWN: AFZAL CHECKED: PD	

ATTENDED 1. PORCH COLUMN IS DELETED
 2. PORCH ROOF IS 3400 OFF ROOST BOUNDARY

BUILDING APPROVAL
 Issued under s.28 of the Building Act 2004.
JOHN BATES
 Certifier Name
 Lic. No. 1988 4388
 Law 10a 10b
 BCA Occupancy Class
 Issue date: 2/02/18
 Certifier signature

SITE PLAN 1:200

PROPOSED RESIDENTIAL BUILDING PLANS
 BLOCK 1, SECTION 80, CRACE

AREA DETAILS

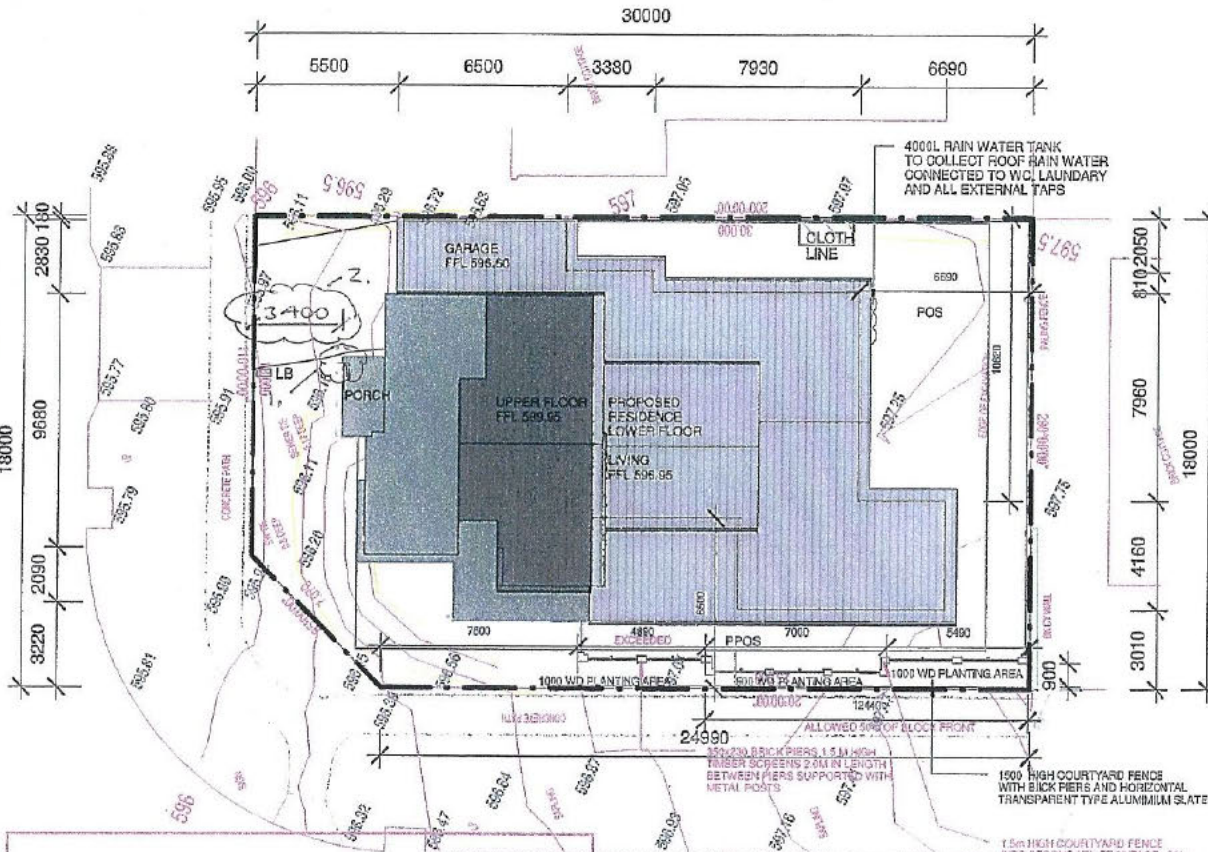
BLOCK AREA	827.0sqm	
LIVING OF GARAGE	189.0sqm	
LIVING LF	37.5sqm	
TOTAL	263.0sqm	49.55%
VOIDS	14.2sqm	
LIVING STAIRS	28.8	
ALFRESCO	23.6sqm	
PORCH	7.6sqm	
TOTAL	31.5sqm	
PPOS/MIN.	95sqm	ACHIEVED 43.51sqm
POS	MIN. 52.79sqm	ACHIEVED 72.02sqm
OPEN	MIN. 206.2	ACHIEVED 274.00sqm
MIN. 50% OF OPEN SPACE REQUIRED TO BE PLANTING AREA		

LEGEND

NGL	NATURAL GROUND LEVEL
FFL	FINISHED FLOOR LEVEL
POS	PRIMARY OPEN SPACE
LB	LETTER BOX
---	SEDIMENT CONTROL BARRIER
---	PROPERTY BOUNDARY LINE
---	CONTOUR LINE
---	HATCH FOR DRIVEWAY
---	HATCH FOR PROPOSED BUILDING
---	1.5M HIGH CHAINMESH WIRE FENCE
NGL	NATURAL GROUND LEVEL
FFL	FINISHED FLOOR LEVEL
AA	ALUMINUM AWNING
AS	ALUMINUM SLIDING
ASD	ALUMINUM SLIDING DOOR
DP	DOWN PIPE
RS	ROSE
WM	WASHING MACHINE

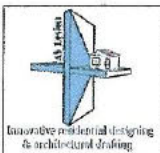
GENERAL NOTES

- SEDIMENT CONTROL BARRIERS AND TEMPORARY METAL FENCE TO BE PLACED BEFORE COMMENCING ANY WORK AT SITE
 - MINIMUM 50% OF PRIVATE OPEN SPACE REQUIRED TO BE PLANTING AREA
 - 4000 LITRE WATER STORAGE TANK TO BE INSTALLED TO COLLECT 80% OF ROOF WATER RAIN
 - 1.5M HIGH FENCE ACCORDANCE WITH LEASE DEVELOPMENT CONDITIONS ON THE BLOCK BOUNDARIES
 - 1.5M HIGH SIDE GAVE WITH 50% TRANSPARENT AND ACCORDANCE WITH LEASE CONDITIONS
 - LETTER BOX COMPLY WITH LEASE CONDITIONS
- DRAWING NOTE**
1. ALL INTERNAL WALLS TO BE 90MM STRUCTURAL
 2. ALL DIMENSION MUST BE VERIFIED AT SITE BEFORE ANY BUILDING WORK
 3. LEVELS AND CONTOURS ARE REQUIRED TO CONFIRM BY BUILDER PRIOR TO CONSTRUCTION
 3. SEDIMENT CONTROL BARRIERS AND TEMPORARY METAL FENCE TO BE PLACED BEFORE COMMENCING ANY WORK AT SITE



APPROVED
 PURSUANT TO SECTION 110(1)(A) OF THE PLANNING AND DEVELOPMENT REGULATION 2008
 Delegate: GEORGE CILLIERS
 Date: 2/8/2017
DECLARATION OF EXTENDED DISTANCE
 Rule 6 - Building envelope departure of a maximum 400mm for a length of 230mm
 Rule 2.5 - Courtyard wall departure of a maximum 350mm for a length of 4890mm

2 OF 15
BUILDING APPROVAL
 Issued under s.28 of the Building Act 2004
JOHN BATES
 Certifier Name
 Lic. No. 1988 4388
 Law 10a 10b
 BCA Occupancy Class
 Issue date: 2/02/18
 Certifier signature



Arch Space Design
 SANTOSH KUMAR
 Mob. 0421760539
 email: santosh@archspacedesign.com.au
 www.archspacedesign.com.au

No.	Description	Date

Sch 2 2.2(a)(ii)
NEW RESIDENTIAL BUILDING

SITE PLAN		A01
Project number	ASD 1073	
Date	27/06/17	
Drawn by	Author	
Checked by	Checker	
Scale		1:200

GROUND FLOOR PLAN

PROPOSED RESIDENTIAL BUILDING PLANS
BLOCK 1, SECTION 80, GRACE

- 1. PORCH COLUMN IS DELETED
- 2. PORCH ROOF IS 3400 OFF FRONT BOUNDARY

2 of 2
AMENDED

BUILDING APPROVAL
Issued under s.28 of the Building Act 2004.

JOHN BATES
Certifier Name

Lic. No. 1988 4388

LA010a 10b
BCA Occupancy Class

BCA Type of Construction

Issue date: 9/02/18

John Bates
Certifier signature

~~3 of 15~~

BUILDING APPROVAL
~~Issued under s.28 of the Building Act 2004.~~

JOHN BATES
~~Certifier Name~~

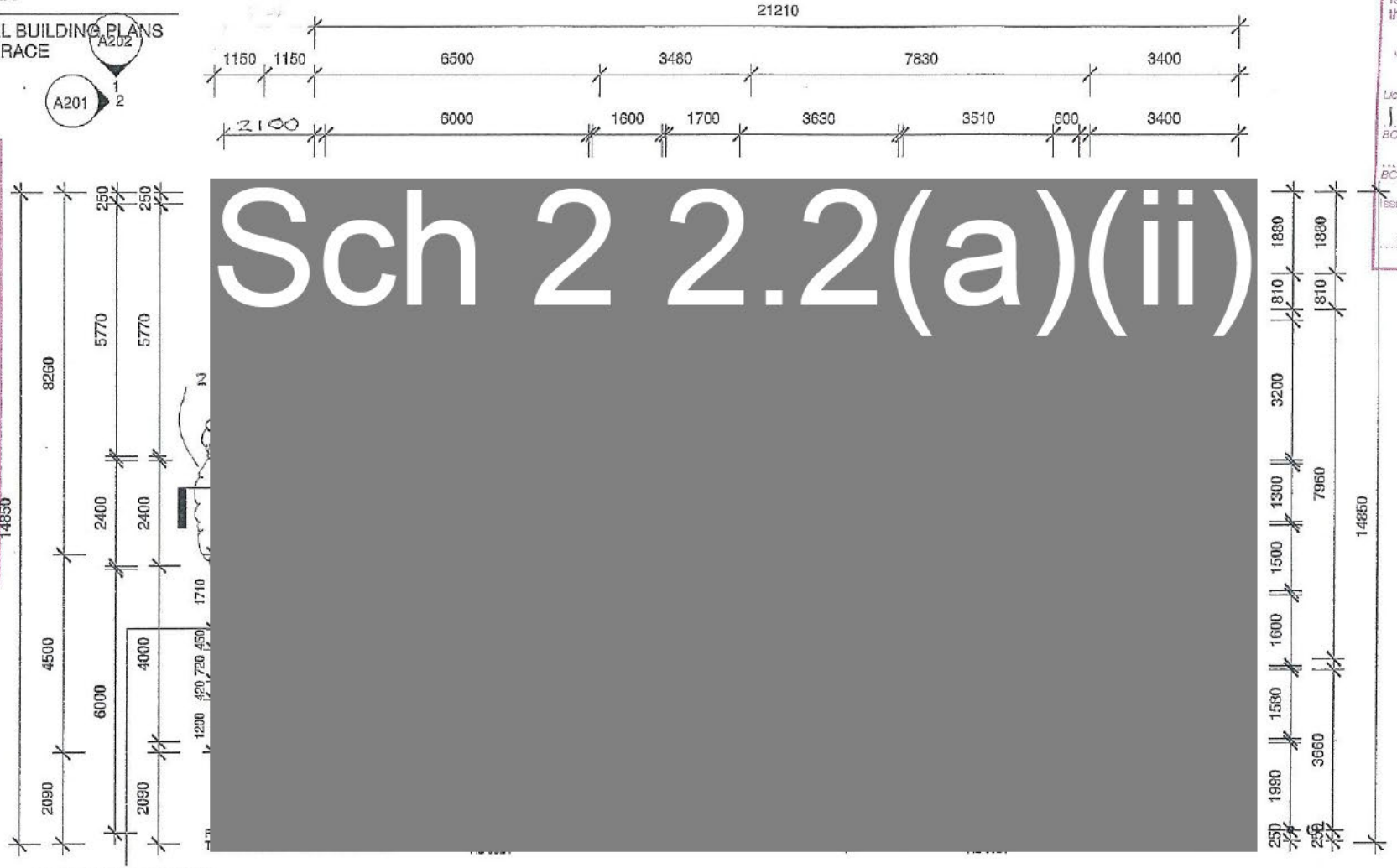
~~Lic. No. 1988 4388~~

~~LA010a 10b~~
~~BCA Occupancy Class~~

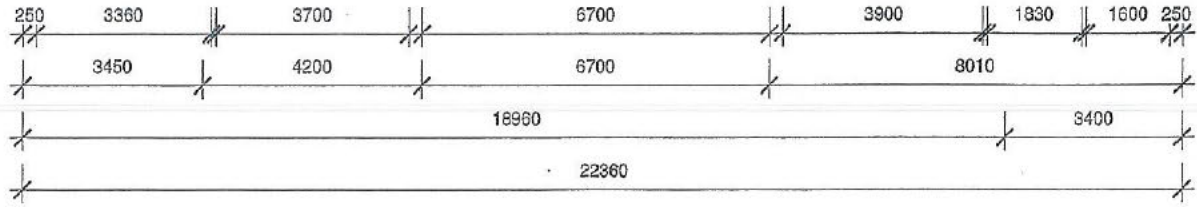
~~BCA Type of Construction~~

~~Issue date: 12/08/17~~

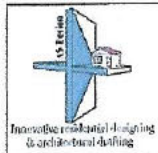
Santosh Kumar
~~Certifier signature~~



FEATURE - RENDERED FOAM OVER
TIMBER FRAME 450X250 (FINISHED)



A201
A202



Arch Space Design

SANTOSH KUMAR
Mob. 0421760539
email-santosh@archspacedesign.com.au
www.archspacedesign.com.au

No.	Description	Date

Sch 2 2.2(a)(ii)

NEW RESIDENTIAL BUILDING

GROUND FLOOR PLAN		A101
Project number	ASD 1073	
Date	27/08/17	
Drawn by	Author	
Checked by	Checker	
Scale	1 : 100	

COVER SHEET

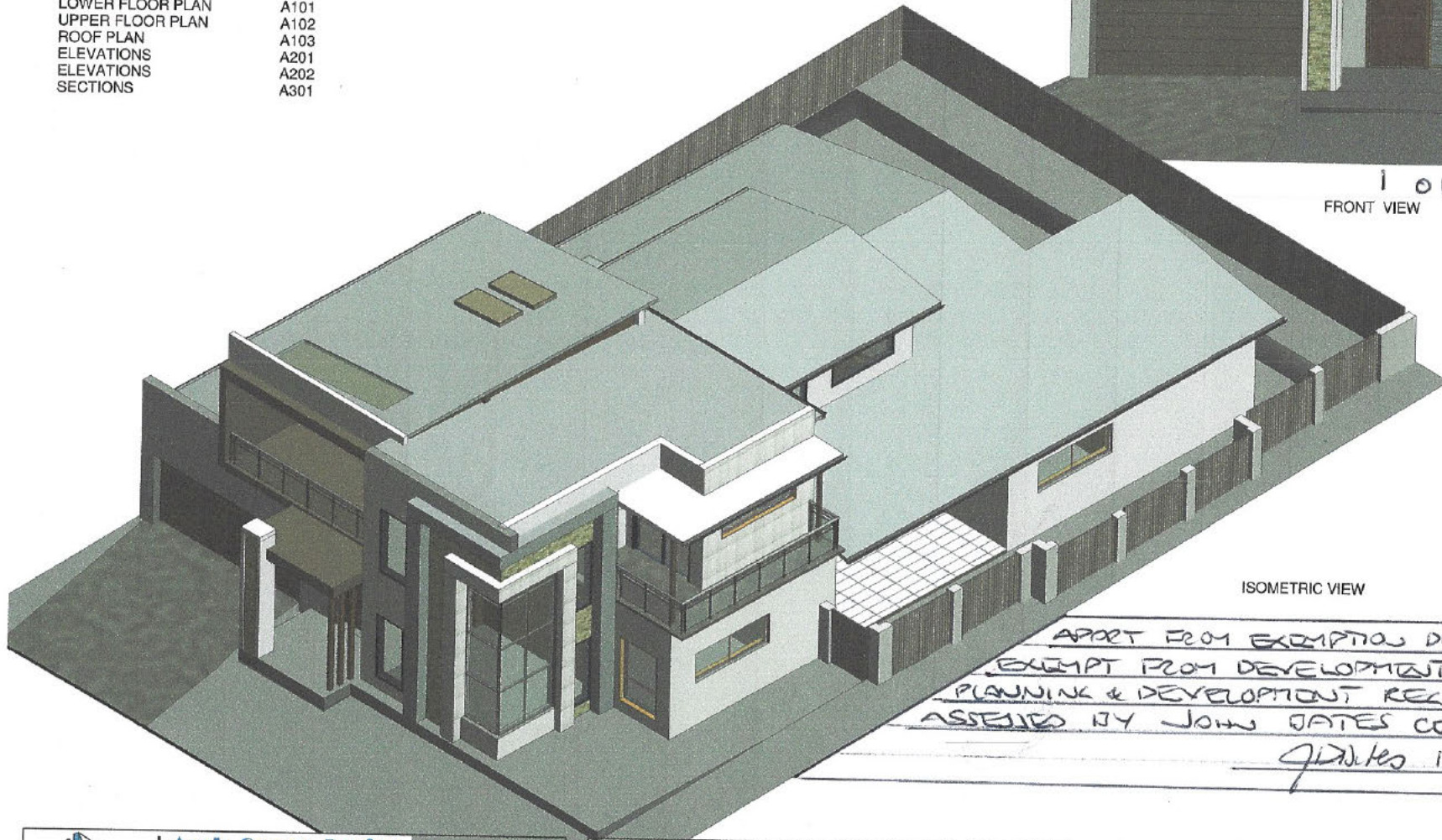
PROPOSED RESIDENTIAL BUILDING PLANS
BLOCK 1, SECTION 80, CRACE

ARCHITECTURAL DRAWING SET

- COVER SHEET A000
- SITE PLAN A001
- LOWER FLOOR PLAN A101
- UPPER FLOOR PLAN A102
- ROOF PLAN A103
- ELEVATIONS A201
- ELEVATIONS A202
- SECTIONS A301



1 OF 15
FRONT VIEW



ISOMETRIC VIEW

BUILDING APPROVAL
Issued under s.28 of
the Building Act 2004.

JOHN BATES
Certifier Name

Lic. No. 1988 4388

1a1a, 10a, 10b
BCA Occupancy Class

BCA Type of Construction

Issue date: *12/08/17*

J. Bates
Certifier signature

APART FROM EXEMPTION DECLARATION WORK IS
EXEMPT FROM DEVELOPMENT APPROVAL UNDER
PLANNING & DEVELOPMENT REG 4 2009 S1100
ASSESSED BY JOHN BATES CERTIFIER 19884388
J. Bates 12/08/2017

Arch Space Design

SANTOSH KUMAR
Mob. 0421760539
email-santosh@archspacedesign.com.au
www.archspacedesign.com.au

No.	Description	Date

Sch 2 2.2(a)(ii)		COVER SHEET	
Project number	ASD 1073	A00	
Date	27/06/17		
Drawn by	Author		
Checked by	Checker	Scale	

NEW RESIDENTIAL BUILDING

ROOF PLAN

PROPOSED RESIDENTIAL BUILDING PLANS
BLOCK 1, SECTION 80, CRACE

5 of 15

BUILDING APPROVAL
Issued under s.28 of
the Building Act 2004.

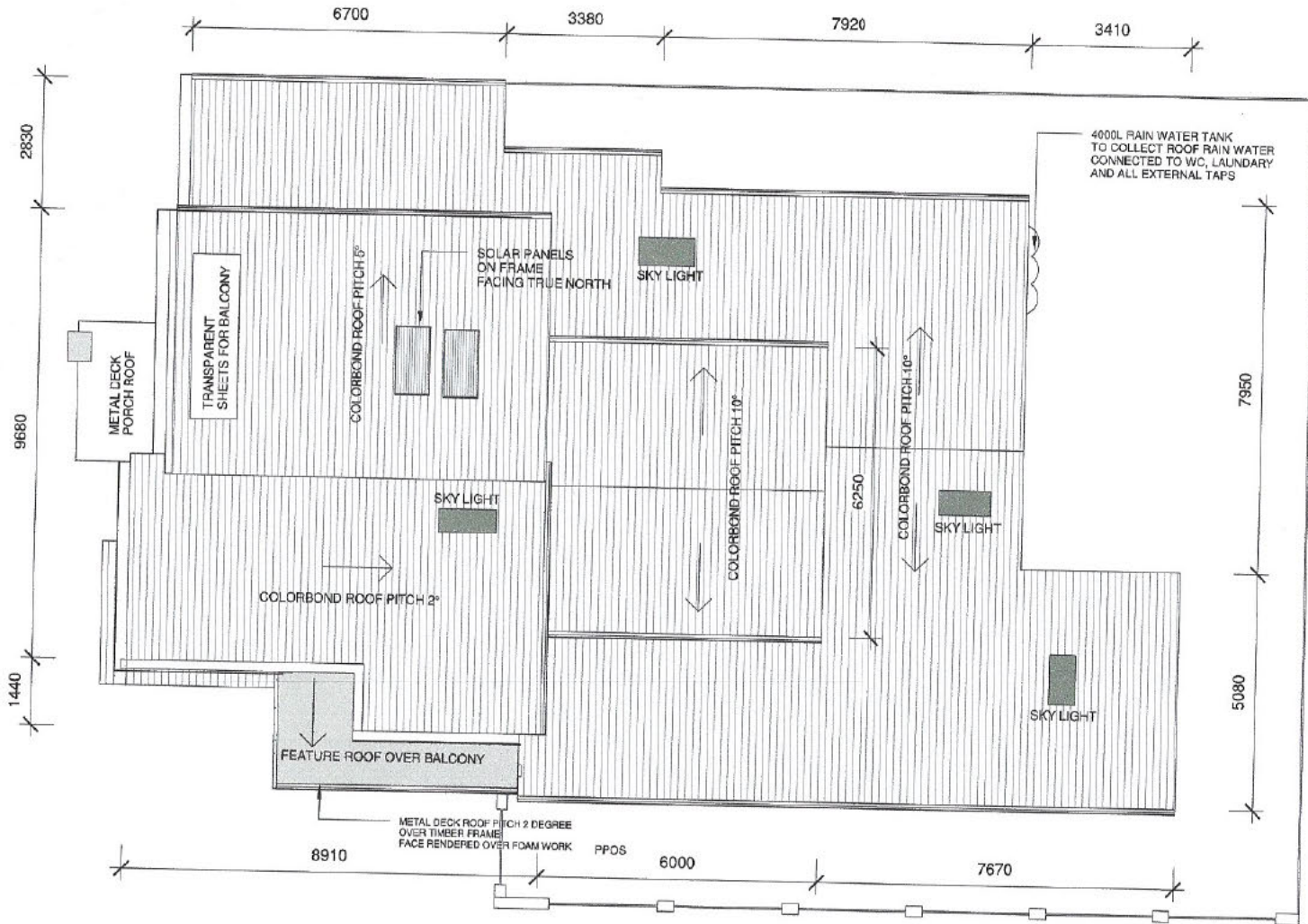
JOHN BATES
Certifier Name

Lic. No. 1988 4388
1, acis, 10a, 10b
BCA Occupancy Class

BCA Type of Construction

Issue date: 12.08.17

John Bates
Certifier signature



Arch Space Design

SANTOSH KUMAR
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email-santosh@archspacedesign.com.au
www.archspacedesign.com.au

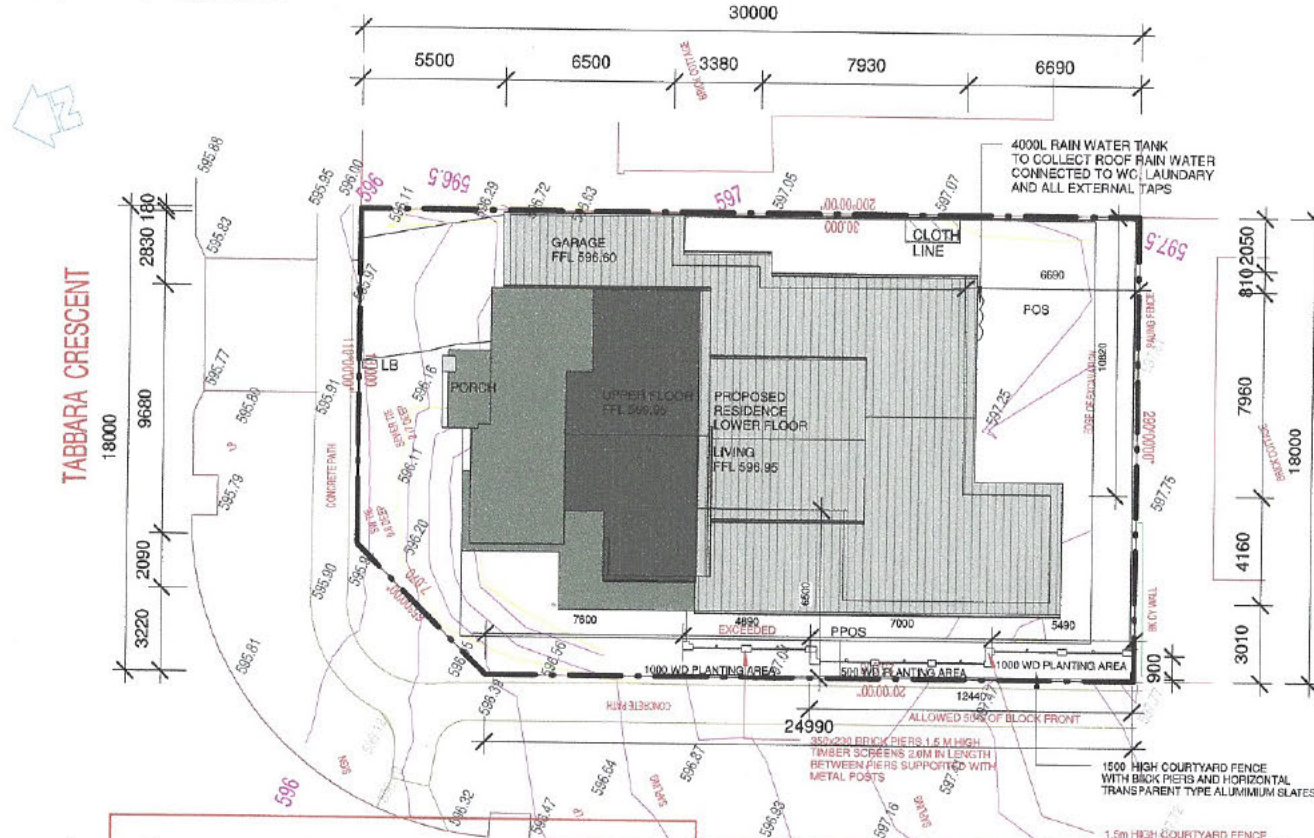
No.	Description	Date

Sch 2 2.2(a)(ii)

NEW RESIDENTIAL BUILDING

ROOF PLAN		A103
Project number	ASD 1073	
Date	27/06/17	
Drawn by	Author	
Checked by	Checker	
Scale	1 : 100	

PROPOSED RESIDENTIAL BUILDING PLANS
BLOCK 1, SECTION 80, CRACE



AREA DETAILS

BLOCK AREA	527.0sqm
LIVING GF	189.0sqm
GARAGE	37.5sqm
LIVING LF	36.5sqm
TOTAL	263.0sqm 49.99%
VOIDS	14.2sqm
LOUNGE	28.8
STAIRS	14.6
ALFRESCO	23.5sqm
PORCH	7.5sqm
TOTAL	351.5sqm
PPOS MIN. 36sqm	ACHIEVED 43.51sqm
POS MIN. 52.7sqm	ACHIEVED 72.3sqm
OPEN MIN. 266.2	ACHIEVED 274.0sqm
MIN. 50% OF OPEN SPACE REQUIRED TO BE PLANTING AREA	

LEGEND

NGL	NATURAL GROUND LEVEL
FFL	FINISHED FLOOR LEVEL
POS	PRIMARY OPEN SPACE
LB	LETTER BOX
—	SEDIMENT CONTROL BARRIER
—	PROPERTY BOUNDARY LINE
—	CONTOUR LINE
—	HATCH FOR DRIVEWAY
—	HATCH FOR PROPOSED BUILDING
—	1.8M HIGH CHAINMESH WIRE FENCE
NGL	NATURAL GROUND LEVEL
FFL	FINISHED FLOOR LEVEL
AA	ALUMINIUM AWNING
AS	ALUMINIUM SLIDING
ASD	ALUMINIUM SLIDING DOOR
DP	DOWN PIPE
RB	ROBE
WM	WASHING MACHINE

GENERAL NOTES

- SEDIMENT CONTROL BARRIERS AND TEMPORARY METAL FENCE TO BE PLACED BEFORE COMMENCING ANY WORK AT SITE
- MINIMUM 50% OF PRIVATE OPEN SPACE REQUIRED TO BE PLANTING AREA
- 4000 LTRS WATER STORAGE TANK TO BE INSTALLED TO COLLECT 50% OF 76sqm OF ROOF WATER RAIN
- 1.8M HIGH FENCE ACCORDANCE WITH LEASE DEVELOPMENT CONDITIONS ON THE BLOCK BOUNDARIES
- 1.5M HIGH SIDE GAVE WITH 50% TRANSPARENT AND ACCORDANCE WITH LEASE CONDITIONS
- LETTER BOX COMPLY WITH LEASE CONDITIONS

DRAWING NOTE

1. ALL INTERNAL WALLS TO BE 90MM STRUCTURAL
2. ALL DIMENSION MUST BE VERIFIED AT SITE BEFORE ANY BUILDING WORK
3. LEVELS AND CONTOURS ARE REQUIRED TO CONFIRM BY BUILDER PRIOR TO CONSTRUCTION
3. SEDIMENT CONTROL BARRIERS AND TEMPORARY METAL FENCE TO BE PLACED BEFORE COMMENCING ANY WORK AT SITE

2 of 15

BUILDING APPROVAL

Issued under s.28 of
the Building Act 2004.

JOHN BATES

Certifier Name

Lic. No. 1988 4388

1(a), 10a, 10b

BCA Occupancy Class

BCA Type of Construction

Issue date: 12.08.17

[Signature]

Certifier signature

APPROVED

PURSUANT TO SECTION 1100A(4) OF THE
PLANNING AND DEVELOPMENT REGULATION 2005

Delegate: GEORGE CILLIERS

Date 2/8/2017

DECLARATION OF EXTENDED DISTANCE

Rule 6 - Building envelope departure of a maximum 400mm
for a length of 230mm

Rule 25 - Courtyard wall departure of a maximum 350mm
for a length of 4890mm

Arch Space Design

SANTOSH KUMAR
Mob. 0421760539
email-santosh@archspacedesign.com.au
www.archspacedesign.com.au

No.	Description	Date

Sch 2 2.2(a)(ii)

NEW RESIDENTIAL BUILDING

SITE PLAN		A01
Project number	ASD 1073	
Date	27/08/17	
Drawn by	Author	
Checked by	Checker	Scale
		1 : 200

SLAB DESIGN SUMMARY

BOX HEIGHT (mm)	225 & 150
SLAB THICKNESS (mm)	100
OVERALL DEPTH (mm)	325 / 250
BOX SIZE (mm)	1090 X 1090
SLAB REINFORCEMENT	SL82
110mm INTERNAL RIB REINFORCEMENT	1N12 BTM OR EQUIVALENT
300 INTERNAL BEAM REINFORCEMENT	3N12 BTM OR EQUIVALENT
110mm EXTERNAL EDGE BEAM REINFORCEMENT	1N12 BTM & 1N12 TOP OR EQUIVALENT
300mm EXTERNAL EDGE BEAM REINFORCEMENT	3N12 BTM OR EQUIVALENT

REINFORCEMENT FOR BEAMS WHERE WIDTH EXCEEDS 301mm		
WIDTH (mm)	TOP	BOTTOM
301-370	1N12 OR EQUIV	3N12 OR EQUIV
371-480	2N12 OR EQUIV	4N12 OR EQUIV
481-600	3N12 OR EQUIV	6N12 OR EQUIV

PIER DESIGN SUMMARY (u.n.o)

MEMBER	PIER SPACING (mm)
EDGE BEAMS	2400
INTERNAL & STEP BEAMS	2400x2400 GRID
INTERNAL RIB	2400x2400 GRID

FOUNDATIONS	PIER Ø (mm)	SOCKET LENGTH (mm)
STIFF CLAY	450	500
SHALE	400	200
ROCK	300	100

FOOTING DESIGN SUMMARY

FOOTING TYPE	DEPTH (mm)	REINFORCEMENT
TYPE A	800	3-11TM TOP & BTM WITH R6 TIES @ 900 CTS
TYPE B	800	4-11TM TOP & BTM WITH R6 TIES @ 900 CTS
PAD P1	800	NONE (MASS CONCRETE)





FOUNDATION DESIGN SUMMARY

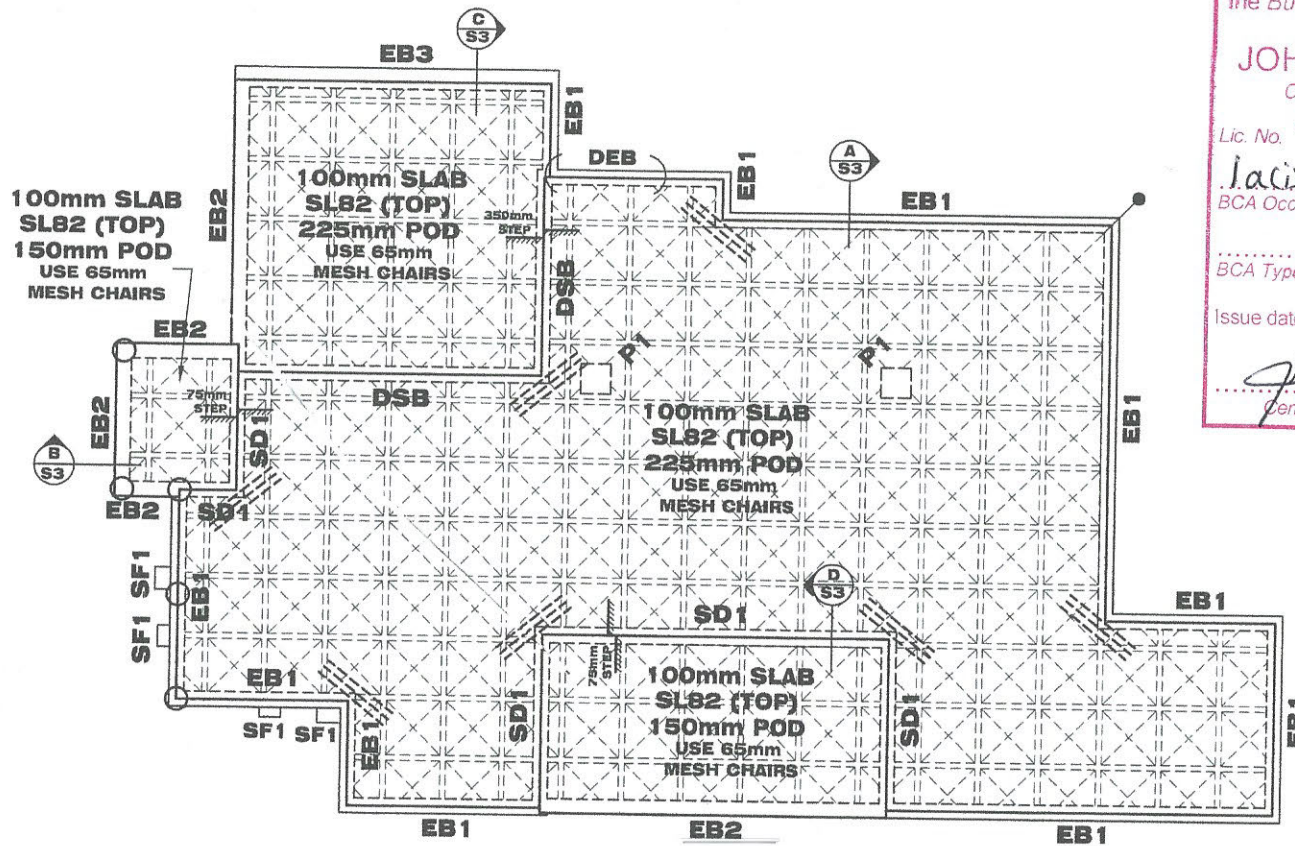
SITE CLASSIFICATION	M				
SAFE BEARING CAPACITIES (SWL)	<table border="1"> <tr> <th>SLAB & FOOTINGS PIERS</th> <th>100 kPa</th> </tr> <tr> <td>4500 with a 500 socket into natural material (stiff clay) & with a min capacity of 250 kPa</td> <td></td> </tr> </table>	SLAB & FOOTINGS PIERS	100 kPa	4500 with a 500 socket into natural material (stiff clay) & with a min capacity of 250 kPa	
SLAB & FOOTINGS PIERS	100 kPa				
4500 with a 500 socket into natural material (stiff clay) & with a min capacity of 250 kPa					
GEOTECHNICAL REF:					

WAFFLE SLAB PLAN

"M" CLASS

LEGEND

-  1 STANDARD 1090X1090 POD
-  3N12 OR 3L11TM, 2000mm LONG, TIED TO UNDERSIDE OF SLAB MESH
-  450mm DIA CONCRETE PIERS TO MIN 500mm INTO NATURAL GROUND
-  DENOTES STARTING POINT FOR POD LAYOUT.
- P1: 600X600 CUT - OFF IN PODS



FOOTING & SLAB LAYOUT

SCALE = 1 : 100

12 of 15

BUILDING APPROVAL
Issued under s.28 of
the Building Act 2004.

JOHN BATES

Certifier Name

Lic. No. 1988 4388

1a(i), 10a, 10b

BCA Occupancy Class

BCA Type of Construction

Issue date: 12/08/17

John Bates
Certifier signature

NO.	REVISION DETAILS	DATE	NAME

PIERRE DRAGH
CONSULTING ENGINEERS

OFFICE:
16 VICTORIA
STREET, HALL,
ACT, 2618

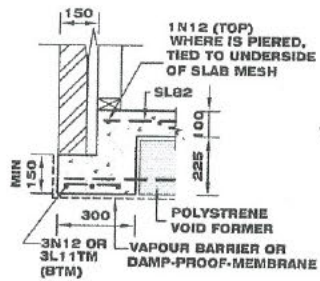
PH : 0438 625 440 Web: www.pdragh.com.au
FAX : (02) 6230 9695 email : pdragh@blgpond.com

PROJECT
BLOCK 01 SECTION 80
CRACE

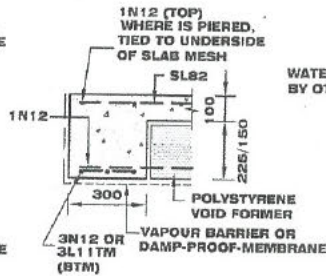
CLIENT
MR VENKATA DIVVELA

DRAWING
FOOTING & SLAB LAYOUT

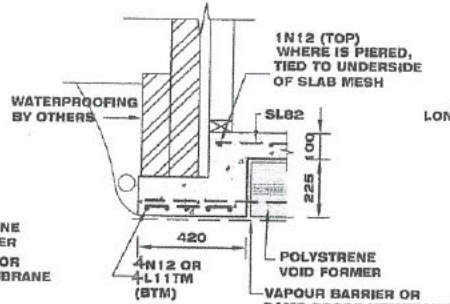
Job No.	Rev.
SCALE: 1:100	DATE: 11/07/17
DESIGNED: KZ	Dwg No.
DRAWN: AFZAL	S2
CHECKED: PD	



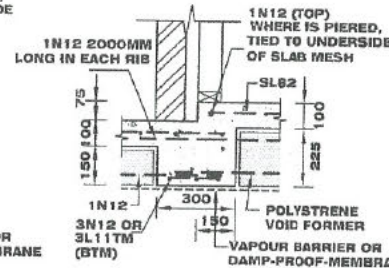
BEARING ONTO NATURAL STRATA OR PIERS (SEE NOTES)
STANDARD EDGE BEAM EB1 SECTION A
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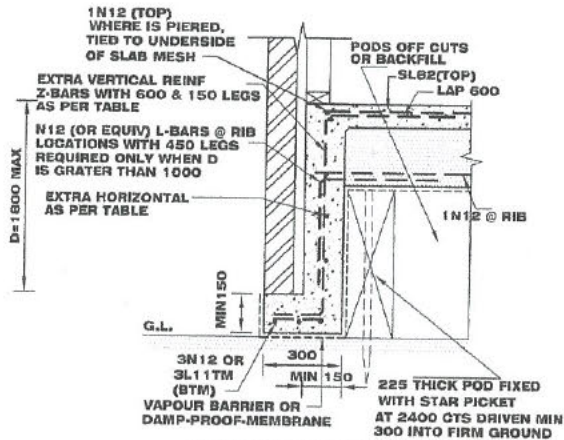
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STANDARD EDGE BEAM EB2 SECTION B
 SCALE = 1:20



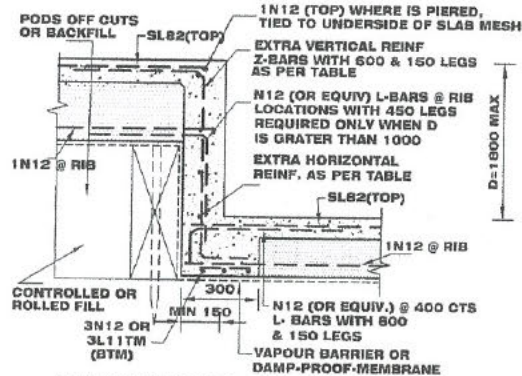
BEARING ONTO NATURAL STRATA OR PIERS (SEE NOTES)
STANDARD EDGE BEAM EB3 SECTION C
 SCALE = 1:20



BEARING ONTO NATURAL STRATA OR PIERS (SEE NOTES)
75mm STEPDOWN BEAM SD1 SECTION D
 SCALE = 1:20



BEARING ONTO NATURAL STRATA OR PIERS (SEE NOTES)
DEB DEEP EDGE BEAM (1800 MAX)
 SCALE = 1:20

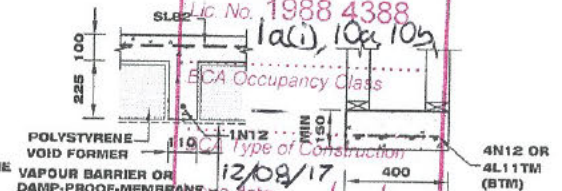


BEARING ONTO NATURAL STRATA OR PIERS (SEE NOTES)
DSB DEEP STEP BEAM (1800 MAX)
 SCALE = 1:20

BUILDING APPROVAL
 Issued under s.28 of
 the Building Act 2004.

JOHN BATES
 Certifier Name

Lic. No. 1988 4388



12/09/17
STANDARD TYPICAL SF1 INTERNAL RIB
 (GARAGE SIMILAR)
 SCALE = 1:20
 Certifier signature

EXTRA REINFORCEMENT TO DEEP EDGE & DEEP STEP BEAM		
DEPTH 'D'	EXTRA VERTICAL REINFORCEMENT	EXTRA HORIZONTAL REINFORCEMENT
'D' IS LESS THAN 400	NONE	NONE
'D' IS BETWEEN 401 & 900	N12 @400CTS	N12 @400CTS
'D' IS BETWEEN 901 & 1200	N12 @300CTS	N12 @400CTS
'D' IS BETWEEN 1201 & 1800	N12 @200CTS	N12 @300CTS

REVISION DETAILS			
NO.	DESCRIPTION	DATE	NAME

PIERRE DRAGH
 CONSULTING ENGINEERS

OFFICE:
 16 VICTORIA STREET, HALL ACT, 2618

PH: 0438 625 440 Web: www.pdcengineers.com.au
 FAX: (02) 6230 9695 email: pdragh@pdpand.com

PROJECT
 BLOCK 01 SECTION 80 CRACE

CLIENT
 Sch 2 2.2(a)(ii)

DRAWING
 FOOTING DETAILS

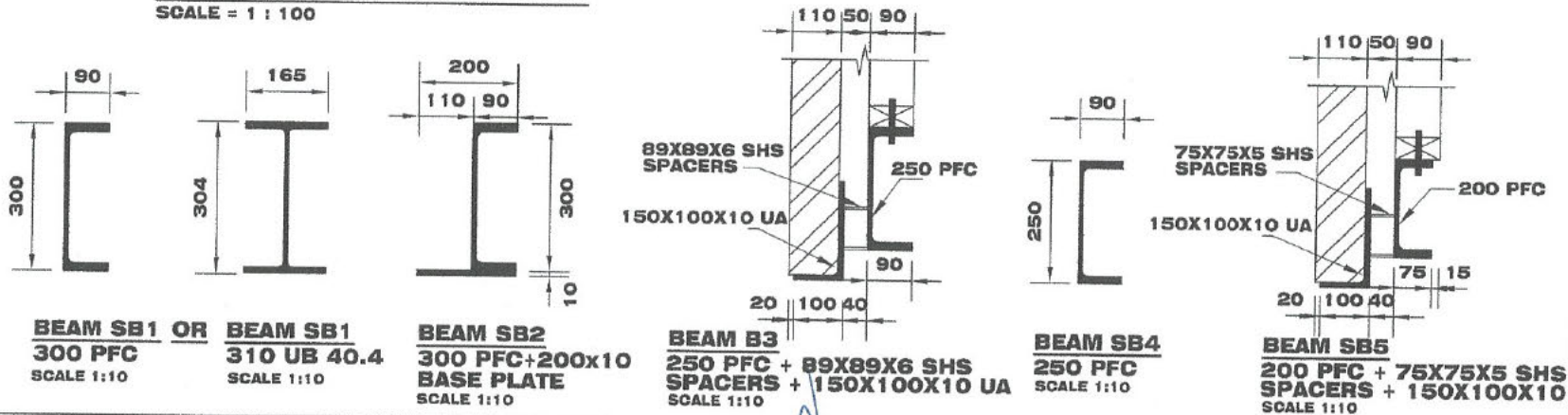
Job No. _____ Rev. _____
 SCALE: DATE: 1:100 11/07/17
 DESIGNED: ICZ
 DRAWN: AFZAL
 CHECKED: PD
S3

Sch 2 2.2(a)(ii)

MEMBER SCHEDULE		
MARK	SIZE	REMARKS
SB1	300 PFC OR 310 UB 40.4 @ JOISTS LEVEL	
SB2	300 PFC+200X10 BASE PLATE GARAGE LINTEL	
SB3	250 PFC LINTEL + 89X89X6 SHS SPACERS + 150X100X10 UA BRICK LINTEL	
SB4	250 PFC ROOF BEAM	
SB5	200 PFC LINTEL + 75X75X5 SHS SPACERS + 150X100X10 UA BRICK LINTEL	
TB1	2X300X45 LVL @ JOISTS LEVEL	
TB2	300X45 LVL @ JOISTS LEVEL	
TB3	2X300X45 LVL @ BJ LEVEL	
TB4	2X200X45 LVL LINTEL	
TB5	200X45 LVL LINTEL	
TB6	90X45 LVL LINTEL	--
SC1	89X89X6 SHS	--
SC2	75X75X5 SHS	--
SC3	75X75X5 SHS ALL THE WAY UP TO SUPPORT UPPER LINTELS	
DS	2/90x35	DOUBLE STUD
TS	3/90x35	TRIPLE STUD
BJ	BALCONY JOISTS 300X45 LVL @ 450mm CTS	
JOISTS	FLOOR TRUSSES TO MANU. SPEC.	

JOIST & BEAM LAYOUT

SCALE = 1 : 100



BUILDING APPROVAL
 Issued under s.28 of
 the Building Act 2004.

JOHN BATES
 Certifier Name

Lic. No. 1988 4388

1a, 10a, 10b
 BCA Occupancy Class

BCA Type of Construction

Issue date: *12.10.17*

[Signature]
 Certifier signature

REVISION DETAILS			
NO.	DESCRIPTION	DATE	NAME

PIERRE DRAGH
 CONSULTING ENGINEERS

OFFICE:
 16 VICTORIA STREET, HALL ACT, 2618

PH: 0438 625 440 Web: www.pdcengineers.com.au
 FAX: 1 (02) 6230 9695 email: pdragh@bigpond.com


PROJECT
 BLOCK 01 SECTION 80
 CRACE

DRAWING
 JOIST & BEAM LAYOUT

Sch 2 2.2(a)(ii)

Job No.	Rev.
SCALE: DATE: 1:100 11/07/17	Dwg No.
DESIGNED: KZ	S4
DRAWN: AFZAL	
CHECKED: PD	

Sch 2 2.2(a)(ii)

MEMBER SCHEDULE		
MARK	SIZE	REMARKS
SB1	200 PFC LINTEL +  75X75X5 SHS SPACERS + 150X100X10 UA BRICK LINTEL	
TB1	200X45 LVL	—
TB2	2X200X45 LVL	—
TB3	2X300X45 LVL	—
SC1	75X75X5 SHS FROM SLAB	
DS	2/90x35	DOUBLE STUD
TS	3/90x35	TRIPLE STUD

15 of 15

BUILDING APPROVAL
 Issued under s.28 of
 the Building Act 2004.

JOHN BATES
 Certifier Name

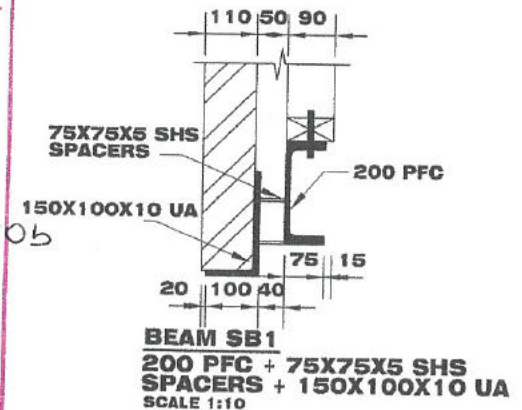
Lic. No. 1988 4388

1a, 10a, 10b
 BCA Occupancy Class

.....
 BCA Type of Construction

Issue date: 12.08/17.


 Certifier signature



ROOF BEAM LAYOUT
 SCALE = 1 : 100

REVISION DETAILS			
NO.	DESCRIPTION	DATE	NAME

PIERRE DRAGH
 CONSULTING ENGINEERS

OFFICE:
 16 VICTORIA
 STREET, HALL,
 ACT, 2618

PH : 0438 625 440 Web: www.pdcengineers.com.au
 FAX : (02) 6230 6595 email : pdragh@bigpond.com

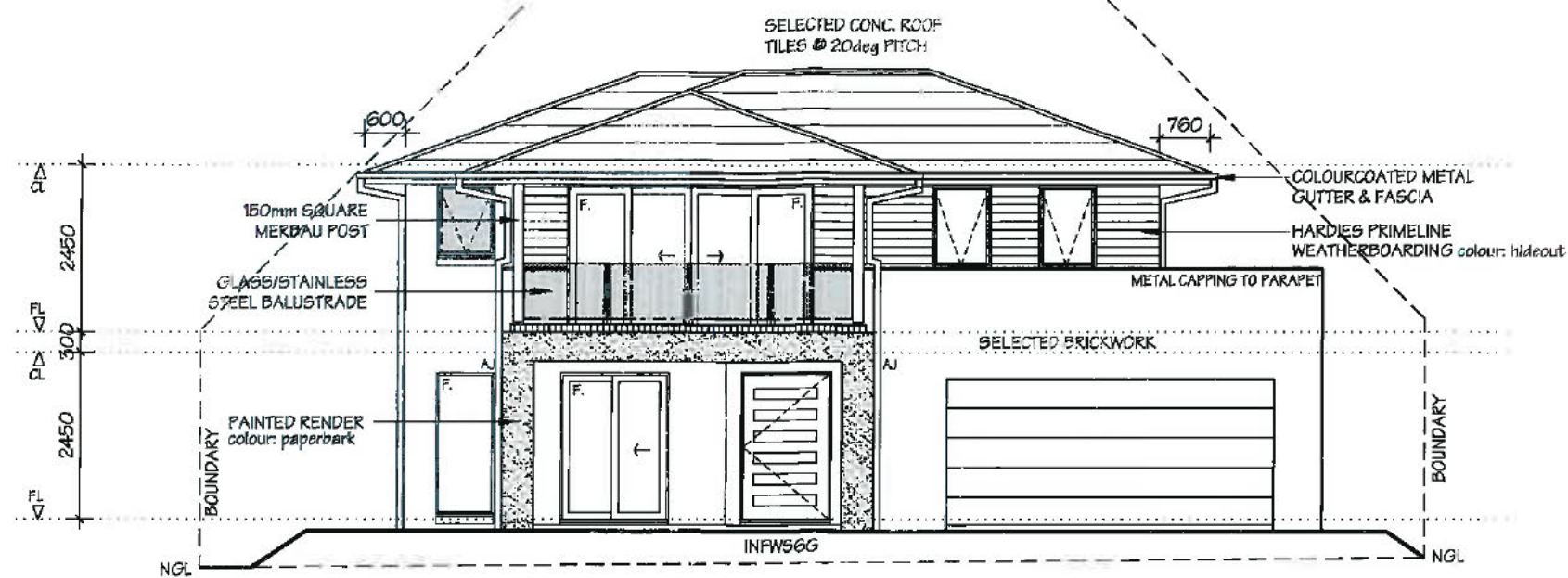
PROJECT
 BLOCK 01 SECTION 80
 CRACE

CLIENT
 Sch 2 2.2(a)(ii)

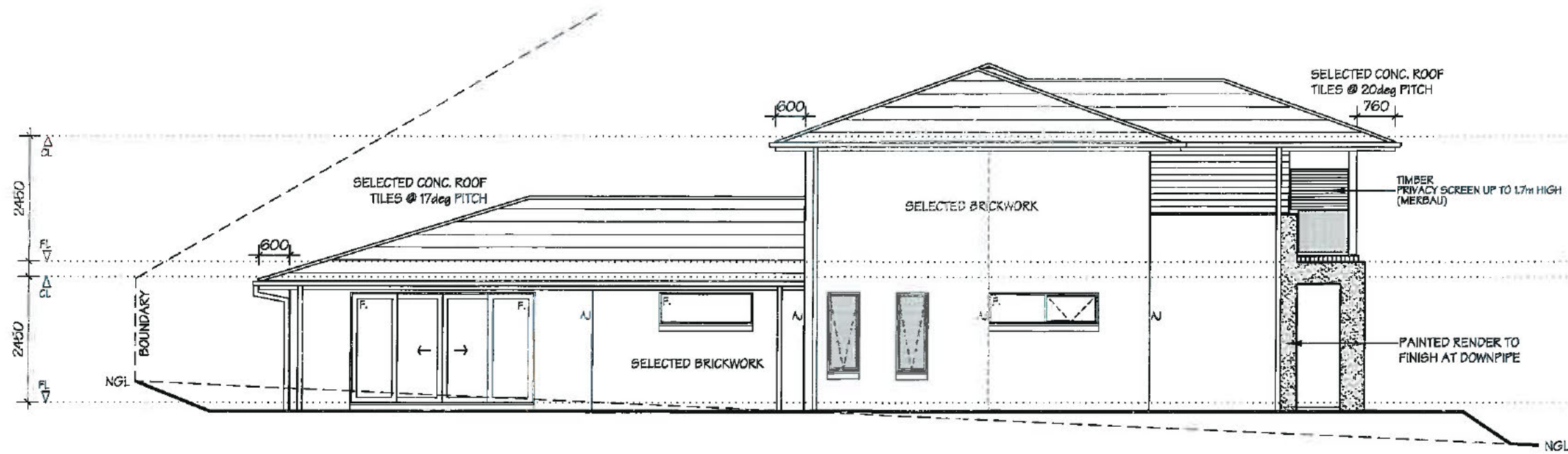
DRAWING
 ROOF BEAM LAYOUT

Job No.	Rev.
SCALE: DATE 1:100 11/07/17	Dwg No.
DESIGNED: KZ	S5
DRAWN: AFZAL	
CHECKED: PD	

BUILDING APPROVAL
 Issued under section 48 of the Building Act 2004
 Certified Building Solutions Pty Ltd
27 MAY 2013
 Licence No:
 200426203



FRONT ELEVATION - A



SIDE ELEVATION - B

21924

NOTES:

PLEASE NOTE: DETAILS SHOWN ON THESE PLANS ARE INTENDED TO BE ACCURATE - HOWEVER INFORMATION WRITTEN INTO INDIVIDUAL CONTRACTS WILL TAKE PRECEDENCE OVER PLANS

* ALL DIMENSIONS ARE IN MILLIMETRES

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RAWSON HOMES

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 FYSHWICK ACT 2609
 TELEPHONE 02 6280 0800
 FAX 02 6280 0700

Builder's Licence No. ACT - 19936252
 Builder's Licence No. NSW - 33493C



CLIENT:

Sch 2.2(a)(ii)

SITE ADDRESS:

BLOCK 2 SECTION 80
 13 TABBARA CRES.
 CRACE ACT

HOUSETYPE:

MODEL: BEDARRA 31
 FACADE: MAJESTIC
 SPECIFICATION: LUXE+ GOLD INCLUSIONS

DRAWING TITLE:

ELEVATIONS 1

DRAWN BY:

TLE

CHECKED:

COUNCIL AREA:

ACTPLA

JOB No:

J002558

DATE DRAWN:

16.04.13

SCALE:

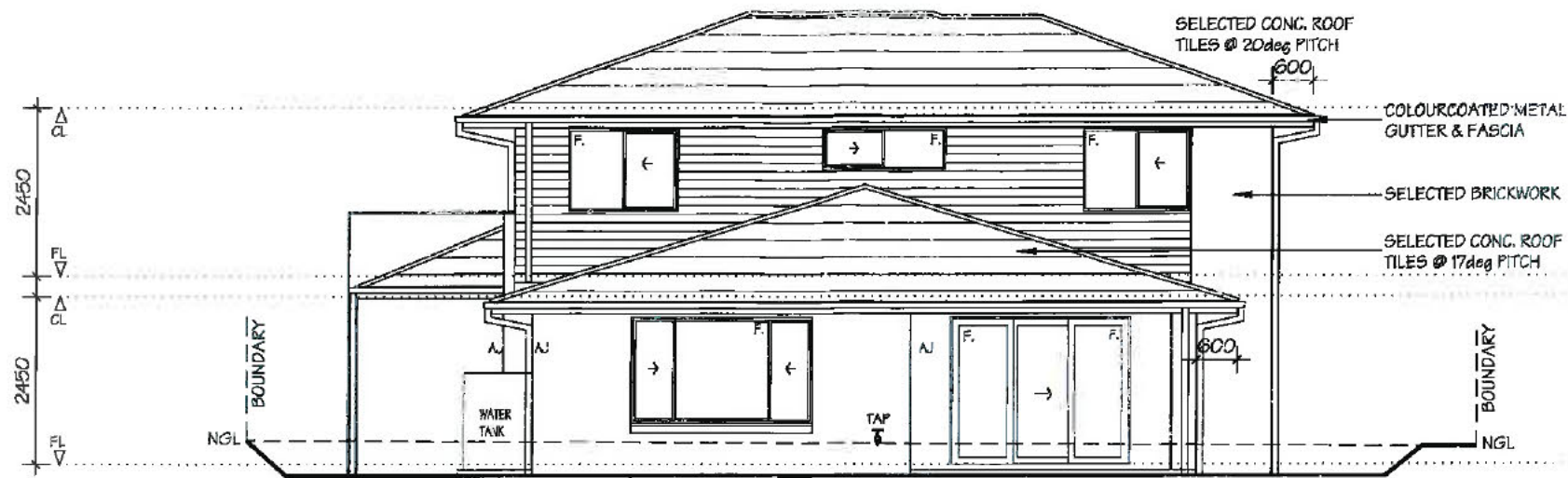
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DRWG No.:

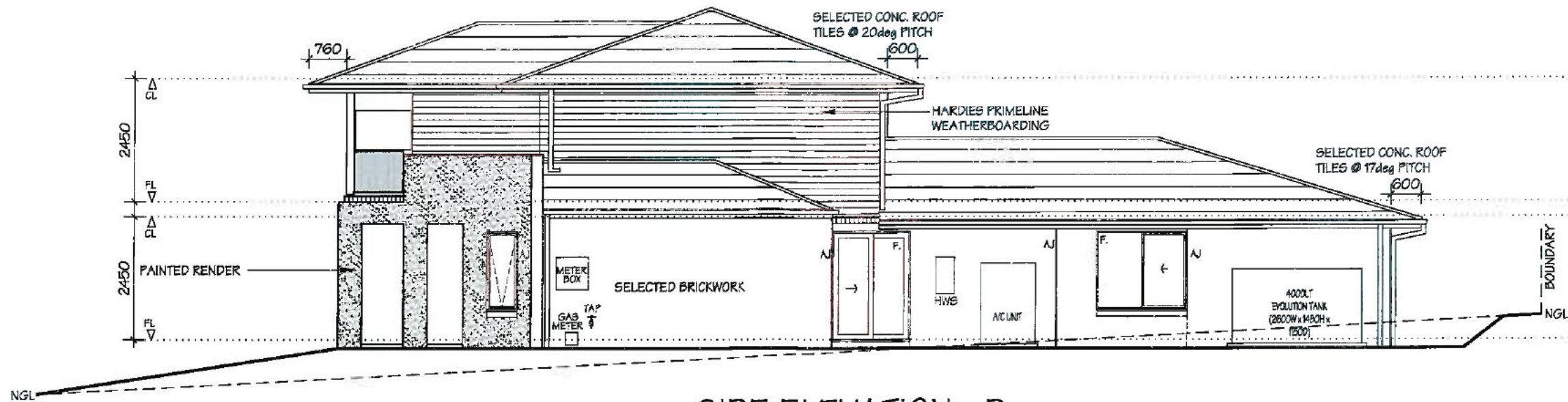
05

ISSUE:

B



REAR ELEVATION - C



SIDE ELEVATION - D

BUILDING APPROVAL
 Issued in accordance with the Building Act 2004
 Certified Building Solutions Pty Ltd
 27 MAY 2013
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21924

NOTES:

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CLIENT:
 Sch 2 2.2(a)(ii)

SITE ADDRESS:
 BLOCK 2 SECTION 80
 13 TABBARA CRES.
 CRACE ACT

HOUSETYPE:
 MODEL: BEDARRA 31
 FACADE: MAJESTIC
 SPECIFICATION: LUXE + GOLD INCLUSIONS

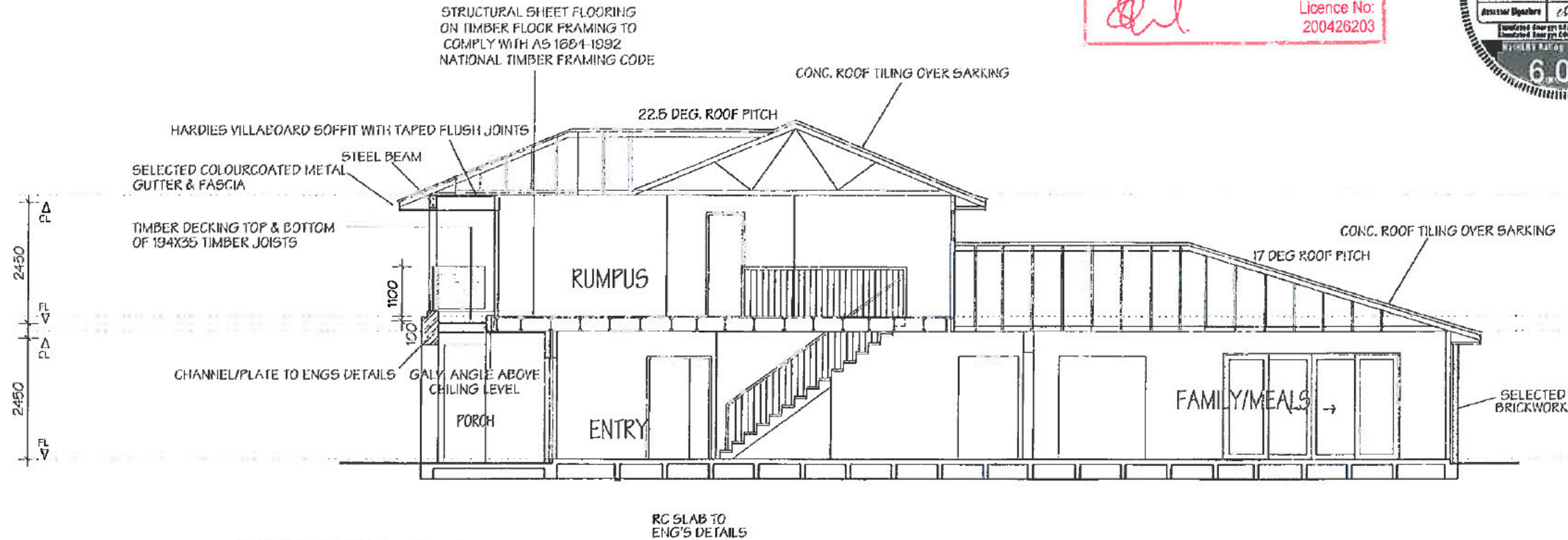
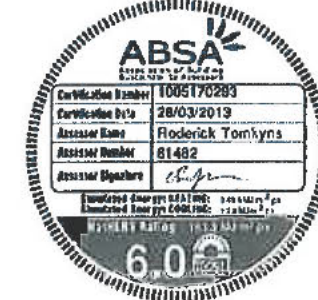
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 ELEVATIONS 2

DRAWN BY: TLE	CHECKED:	DATE DRAWN: 16.04.13
COUNCIL AREA: ACTPLA		SCALE: 1:100@A3
JOB No: J002558	DRWG No.: 06	ISSUE: B

INSULATION:

R4.0 TO CEILINGS (EXCLUDING CEILING OVER GARAGE, PORCH & AMPHITHEATRE)
 R4.0 BETWEEN GARAGE & UPPER FLOOR
 R4.0 TO OVERHANGING SECTIONS OF UPPER FLOOR
 R2.0 TO EXTERNAL WALLS (INCLUDING WALL BETWEEN GARAGE & HOUSE)
 FROST DAMPER SEALS TO ALL EXHAUST FANS
 REFLECTIVE FOIL CAROLINE UNDER ROOF & TO EXTERNAL WALLS

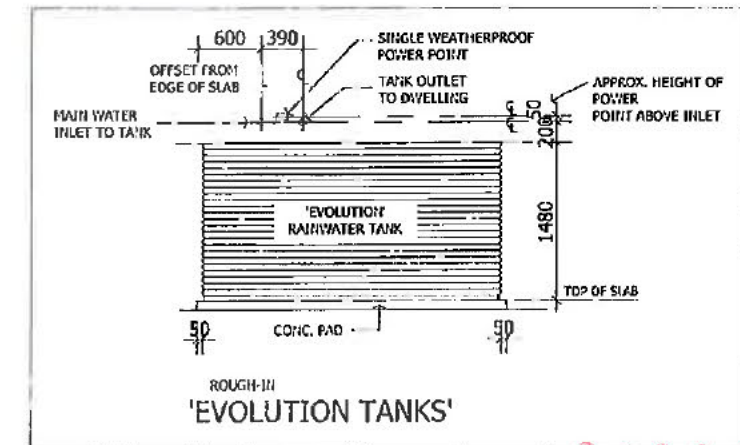
BUILDING APPROVAL
 Issued under section 28 of the Building Act 2004
 Certified Building Solutions Pty Ltd
27 MAY 2013
 Licence No: 200426203



SECTION A-A



Sign:
 Date: 11/4/13

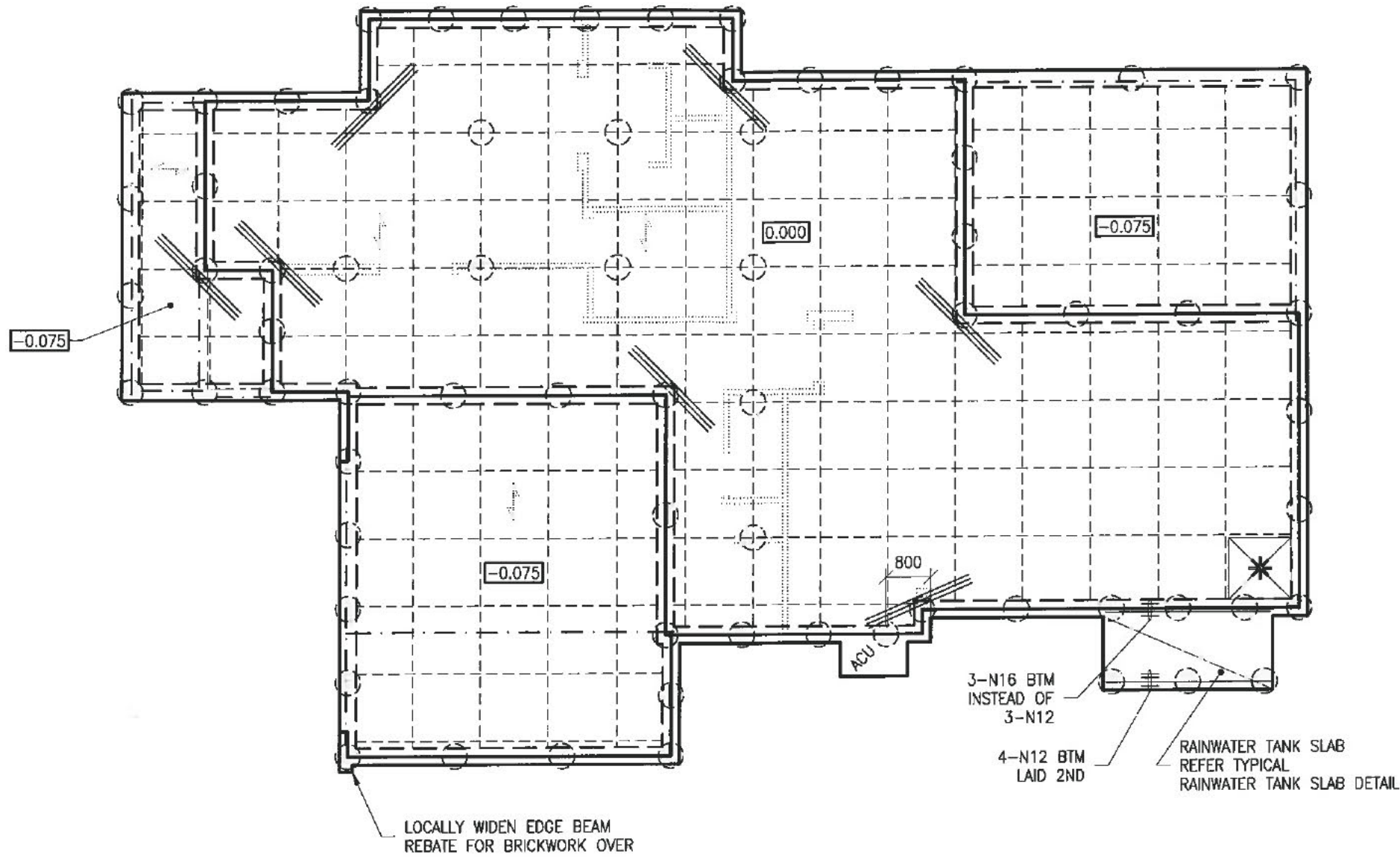


21924

<p>NOTES:</p> <p>PLEASE NOTE: DETAILS SHOWN ON THESE PLANS ARE INTENDED TO BE ACCURATE - HOWEVER INFORMATION WRITTEN INTO INDIVIDUAL CONTRACTS WILL TAKE PRECEDENCE OVER PLANS</p> <p>* ALL DIMENSIONS ARE IN MILLIMETRES</p> <p>* DO NOT SCALE - USE WRITTEN DIMENSIONS</p> <p>THIS DRAWING IS SUBJECT TO COPYRIGHT LAWS AND MAY NOT BE COPIED WITHOUT THE WRITTEN PERMISSION OF RAWSON HOMES PTY LTD-ACH 053 733 841 ©</p>	<p>RAWSON HOMES</p> <p>UNIT G1, 169 NEWCASTLE STREET FYSHWICK ACT 2609 TELEPHONE 02 6280 0800 FAX 02 6280 0700</p> <p>Builder's Licence No. ACT - 19936252 Builder's Licence No. NSW - 33493C</p>	<p>CLIENT: Sch 2.2(a)(ii)</p> <p>SITE ADDRESS: BLOCK 2 SECTION 80 13 TABBARA CRES. GRACE ACT</p>	<p>HOUSETYPE: MODEL: BEDARRA 31 FACADE: MAJESTIC SPECIFICATION: LUXE+ GOLD INCLUSIONS</p>	<p>DRAWN BY: TLE CHECKED:</p>	<p>DATE DRAWN: 28.02.13</p>
			<p>DRAWING TITLE: SECTION</p>	<p>COUNCIL AREA: ACTPLA</p>	<p>SCALE: 1:100@A3</p>

LEGEND (NTS)

- MASS CONCRETE PIERS. REFER PIER SPECIFICATION
- START POD LOCATION
- 1090 SQ STANDARD POD
- CENTRE LINE OF RIB
- 3-N12 TRIMMERS 2000 LONG
- DENOTES TOP OF MAIN SLAB
- DENOTES STEPDOWN FROM TOP OF MAIN SLAB
- STEEL/TIMBER BEAMS OVER
- WALLS OVER
- FLOOR JOIST DIRECTION OVER BY BUILDER



WAFFLE RAFT DESIGN LAYOUT DRAWING

WAFFLE RAFT SPECIFICATION

SLAB THICKNESS:	85
SLAB FABRIC:	SL72
CONCRETE STRENGTH: (F _c AT 28 DAYS)	N20 U.N.O
SLUMP:	100
MAXIMUM SIZE AGGREGATE	20

THE OWNERS ATTENTION SHALL BE DRAWN TO APPENDIX 'A' 'PERFORMANCE REQUIREMENTS AND FOUNDATION MAINTENANCE' OF AS 2870 AND CSIRO PUBLICATION 'GUIDE TO HOME OWNERS ON FOUNDATION MAINTENANCE AND FOOTING PERFORMANCE'. CURRENT EDITIONS.

ARTICULATION NOTE:

THIS SLAB IS DESIGNED FOR ARTICULATED MASONRY VENEER TYPE CONSTRUCTION AND ARTICULATION JOINTS ARE TO BE PROVIDED AS PER THE B.C.A. VOL.2 CURRENT EDITION

TRUSSED ROOF NOTE:

SLAB HAS BEEN DESIGNED FOR ROOF LOADING TO BE SUPPORTED BY PROPRIETARY TRUSSES ONTO EXTERNAL WALLS ONLY.

PIER SPECIFICATION

DIAMETER Ø	400
CONCRETE STRENGTH: (F _c AT 28 DAYS)	N20 U.N.O
SLUMP:	100
MAXIMUM SIZE AGGREGATE	20

EXPECTED CONCRETE PIERS/FOOTINGS REQUIRED TO UNIFORM BEARING. ENGINEER AND/OR CERTIFIER TO INSPECT GROUND BEARING OF PIERS/FOOTINGS PRIOR TO POURING OF CONCRETE.

ENGINEER TO BE NOTIFIED IF PIERS/FOOTINGS COLLAPSE IN CONSTRUCTION. BUCKET OR SCREW PIERS MAY NEED TO BE USED

SITE CLASSIFICATION	M
WIND CLASSIFICATION	N2
SITE LOCATION CLASSIFICATION	REFER SITE CLASSIFICATION NOTES FOR DETAILS SL3

THESE DETAILS HAVE BEEN PREPARED IN ACCORDANCE WITH ARCHITECTURAL

DESIGN NAME:

BEDARRA 31 - MAJESTIC

PREPARED BY: RAWSON HOMES

DRAWING/JOB No. J002558

REVISION/ISSUE: B

DATED: 28-02-13

21924

IF IN DOUBT, CONTACT ENGINEER.

RESIDENTIAL ENGINEERING CONSULTING ENGINEERS

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QLD: RPEQ 4109

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APPROVED BY:
A.W. McCarthy
A.W. MCCARTHY
B.Sc.(Eng), M.I.E.Aust, N.P.E.R., C.P.Eng.

CLIENT REF: J002558
DATE: 11-04-13
DRAWN: R.M.
SCALE: 1:100

CLIENT: RAWSON HOMES
UNIT 34/11-21 UNDERWOOD ROAD
HOMEBUSH NSW 2140
TELEPHONE 02 9784 6442
FAX 02 9784 6982
Builder's License No.334930

FOR: Sch 2 2.2(a)(ii)
SITE ADDRESS: BLOCK 2 SECTION 80
13 TABBARA CRESCENT, CRACE

DRAWN	DATE	AMENDMENT	REV	JOB No:	ISSUE:
				RW1399	
				SHEET No:	
				01 of 08	

GENERAL NOTES

- G1. Engineers structural drawings are signed and issued on the understanding that the builder maintains in force, proper and adequate contract works insurance and public liability insurance during the full course of the construction, and/or any maintenance period. claims of damage to any adjacent property or building is not the responsibility of the engineer.
- G2. These drawings shall be read in conjunction with all architectural and other consultants drawings and specifications and with such other written instructions as may be issued during the course of the contract. all discrepancies shall be referred to the architect for decision before proceeding with the work.
- G3. All workmanship and materials shall be in accordance with the requirements of the current editions of the sac codes and there-by laws and ordinances of the relevant building authority.
- G4. Dimensions shall not be obtained by scaling the structural drawings. refer to architectural drawings for set out plan measurements. any set out dimensions shown on this document shall be verified by the builder.
- G5. Any discrepancies/substitution in these documents shall be referred to the engineer for decision before proceeding with the work.
- G6. The sections/details on these drawings are intended to give the structural specifications only. architectural sections/details on these drawings are illustrative only.
- G7. These documents are signed subject to certificate of inspection being issued by this firm. all piers, slab and footing reinforcement shall be inspected by the engineer prior to the pouring of concrete. give 24hrs notice to the engineer.

SITE CLASSIFICATION

- C1. The site has been the subject of a geotechnical investigation requiring adherence to particular construction procedures and/or techniques. therefore these documents have been prepared using the recommendations of the geotechnical engineer.

Site classification: 'M'
 Classified by: DOUGLAS PARTNERS
 Report/Project no: 50563.09
 Dated: AUGUST 2012

- C2. The footing details shown are for the site classification stipulated. while every care has been taken to verify that the information shown is correct, Residential Engineering takes no responsibility for variations which may occur in site conditions subsequent to construction.
- C3. **SL1:** less than 1km from breaking surf or less than 100m from salt water not subject to breaking surf or within heavy industrial areas.
- C4. **SL2:** 1km or more but less than 10km from breaking surf or 100m or more but less than 1km from salt water not subject to breaking surf
- C5. **SL3:** 10km or more from breaking surf or 1km or more from salt water not subject to breaking surf.
- C6. Refer BCA class 1 and class 10 buildings housing provisions volume 2 for tables:
 Protective Coatings For Steelwork (table 3.4.4.2)
 Corrosion Protection Of Built-In Structural Steel Members (table 3.3.3.2)
 Corrosion Protection For Wall Ties (table 3.3.3.1)

FOUNDATION AND FILLING

- F1. Strip topsoil or other organic matter to a depth of 100 mm and stockpiled.
 - F2. Filling used for the support of a slab shall be controlled fill or rolled fill as follows:
 (a) **CONTROLLED FILL:** Shall be placed, tested and certified by a qualified Geotechnical Engineer as defined in AS 3798. This is deemed to be adequate to support the footing system.
 (b) **ROLLED FILL:** consists of material compacted in layers by repeated rolling with an excavator or similar equipment. The depth shall not exceed 0.6 m compacted in layers not more than 0.3 m thick for sand material or 0.3 m compacted in layers not more than .15m thick for other material.
 - F3. Where fill consists of reactive clay, the fill shall be placed in a moist condition.
 - F4. Any fill shall continue past the edge of the building by at least 1 m and shall be retained or battered beyond this point by a slope not steeper than 1:2.
 - F5. Except for sites with aggressive soils, a blinding layer of sand is not required. Where used, the blinding layer of sand shall comply with rolled fill requirements.
- DRAINAGE DESIGN REQUIREMENTS**
- D1. Surface drainage shall be designed and constructed to avoid water ponding against or near the footing.
 - D2. The ground in the immediate vicinity of the perimeter footing shall be graded to fall 50 mm min away from the footing over a distance of 1 m.
 - D3. The min height of the slab above F.G.L., landscaping or paving shall be 150 mm. Where adjoining paved areas slope away from the building, this height may be reduced to 50 mm.
 - D4. The base of trenches shall be sloped away from the building and backfilled in accordance with AS 2870
 - D5. During construction, water run-off shall be collected and channeled away from the building.

CONCRETE PIERS

- P1. Pier diameter and locations are shown on plan.
- P2. u.n.o minimum pier depth is 600 mm below footings and wherever nominated should be socketed a minimum 300 mm into stiff clay.
- P3. All pier holes shall be cleaned and dewatered prior to the placement of concrete.
- P4. All piers shall be poured separate to footings.
- P5. It should be noted that if any of the footings encounter rock or shale, then all footings shall be pried to rock or shale. if partially pried to rock then articulation joints shall be provided at the rock/non-rock interface.
- P6. Concrete piers/footings are required to uniform bearing. engineer or council shall inspect ground bearing of piers/footings prior to pouring of concrete.

Strata	Stiff Clay	Rock and Shale	Natural Sand
Min Bearing Capacity 'kPa'	250	600	150

DAMP PROOFING MEMBRANE

- DP1. A 0.2 mm min polyethylene damp-proofing high impact resistant membrane shall be placed beneath the slab so that the bottom surface is entirely underlaid and terminate at ground level.
- DP2. The membrane shall be branded continuously 'AS 2870 concrete underlay, 0.2 mm high impact resistant', together with manufacturer or distributors name, trademark or code.
- DP3. Lapping shall be 200 mm at joints and taped or sealed at plumbing penetrations with continuous close fitting sleeve or made continuous with the vapour barrier by taping and be made waterproof.

PLUMBING

- PL1. Close cell polyethylene lagging shall be used around all stormwater and sanitary plumbing drain pipe penetrations through footings. The lagging shall be a minimum of 20 mm thick on H1 sites and 40 mm thick on Class H2 and Class E sites. Vertical penetrations do not require lagging. Additionally drains attached to or emerging from underneath the building including stormwater, sanitary and discharge pipes shall incorporate flexible joints immediately outside the footing and commencing within 1 m of the building perimeter to accommodate a total range of differential movement of the site (ys).

REINFORCEMENT AND FIXING

- R1. Minimum concrete cover as follows:
 40 mm to unprotected ground
 30 mm to a membrane in contact with the ground
 40 mm to an external surface
 20 mm to an internal surface
- R2. Slab fabric shall be supplied in flat sheets and be lapped one full square plus 25 mm at splices and placed on bar chairs at 1 m cts both ways.
- R3. Reinforcing bars shall have a lap length at splices not less than:
 500 mm up to a bar ϕ of 12 mm
 700 mm up to a bar ϕ of 16 mm
 At T and L intersections the bars shall be continued across the full width of the intersection.
- R4. Service penetrations are permitted through the middle third of the depth of the edge beam and stiffening beams.
- R5. Reinforcement and void formers shall be fixed in position prior to concreting by means of proprietary spacers, bar chairs with bases, ligatures or other appropriate fixings to achieve the required reinforcement position and concrete cover.
- R6. Bar reinforcement shall be tied beneath the slab fabric if used or otherwise placed on bar chairs
- R7. Concrete shall be transported, placed, compacted and cured in accordance with good building practice.
- R8. Trenches, pier holes and beams shall be dewatered and cleaned prior to concrete placement such that no significant softened or loosened material remains.
- R9. Concrete in trenches and beams shall be mechanically vibrated.

EXCAVATIONS

- E1. Temporary excavations in the area of the footing shall be carried out only where adequate support for the footing system is maintained such as piling beneath the expected excavation level or underpinning.
- E2. Permanent excavations of any vertical or near vertical structure within 2 m of the building and deeper than 0.6m in material other than rock shall be adequately retained or battered.
- E3. Excavations shall not extend below a line drawn at 30' for sand, 45' for clay to the horizontal from the bottom edge of the footing/pier without prior assessment.

AGGRESSIVE SOILS

- A1. Buildings with masonry or concrete exposed to saline soils or to acid sulfate soils shall be protected from the aggressive soil or groundwater.
- A2. Where a layer of bedding sand 100 mm deep is provided, it shall comply with the 'FOUNDATION AND FILLING' notes.
- A3. Protection requirements from Geotechnical & local authorities shall be adhered to and provided to this office before commencing detailing.

SHRINKAGE CRACKING CONTROL

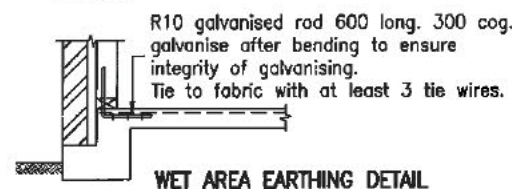
- S1. At re-entrant corners, one strip of 3-L11 or 3-N12 bar 2 m long shall be placed across the direction of potential cracking.
- S2. Where brittle floor coverings are to be used over an area greater than 16 m² the following applies:
 (a) Slab reinforcement in part of the slab which brittle finishes are applied shall not be less than SL92 or equivalent.
 (b) The bedding system for brittle coverings shall be selected on the basis of the expected slab movement
 (c) The placement of floor coverings shall be delayed by a minimum period of 3 months.
- S3. Water shall not be added to the concrete on site so as to increase the slump above that specified.
- S4. Curing the concrete shall start immediately after finishing by continually wetting for 7 days min. Plastic or wax liquid sprays may be used in accordance with the manufacturers specifications. extra precaution such as the method of evaporative retardation (the use of aliphatic alcohols) is recommended during hot weather pours to help avoid thermal related slab cracking.

SUB-TERRANEAN TERMITE PROTECTION AND MAINTENANCE

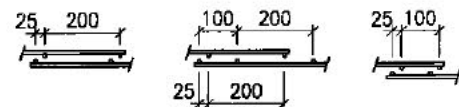
- T1. All works to be in accordance with AS 3660.1
- T2. Any future cracking occurring in the slab/footing system is to be assessed by a qualified pest expert and where directed be sealed by epoxy injection.
- T3. Inspections of the residence and immediate surrounds to be carried out by a qualified pest expert on an annual basis by the home owner.
- T4. Site maintenance is the responsibility of the owner. All recommendations outlined in the CSIRO pamphlet, Building Technology File 18, Foundation Maintenance and Footing performance: A Homeowners Guide, and its recommendations should be followed in full.

MASONRY NOTES

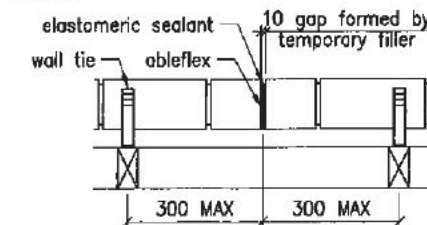
- M1. Load bearing masonry shall comply with AS 3700
- M2. Masonry, Mortar durability and Articulation shall comply with the B.C.A class 1 and 10 buildings volume 2, form TN61 articulated walling and AS 2870
- M3. Internal brickwork built off the slab shall be laid on two layers of 'alcor' or '3 ply malthead' or equivalent material.



WET AREA EARTHING DETAIL

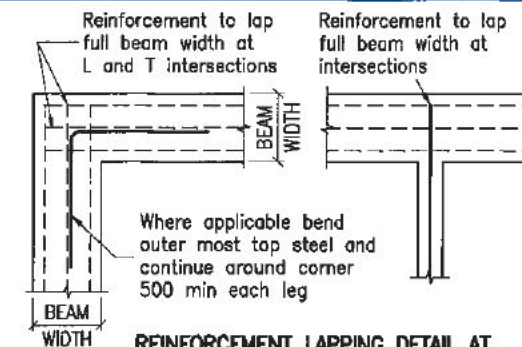


ALTERNATIVE METHODS OF LAPPING OF MESH

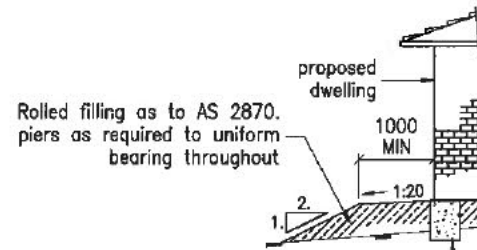


ARTICULATION JOINT AND WALL TIE DETAIL

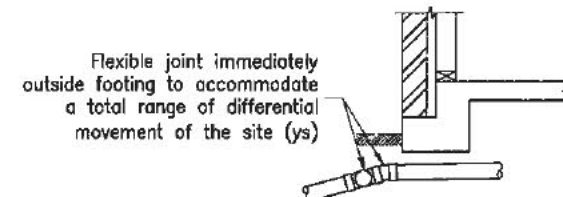
All wall ties to be built in and fixed to frame progressively as construction proceeds spaced at each side of expansion joints and at each third course. the spacing of all other ties shall be as described in the b.c.a class 1 and 10 buildings housing provisions volume 2.



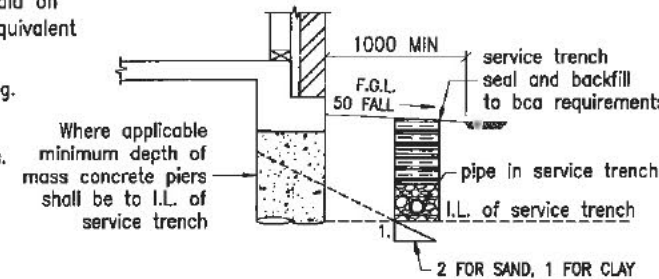
REINFORCEMENT LAPPING DETAIL AT 'L' AND 'T' INTERSECTIONS (PLAN VIEW)



FILLING SPECIFICATION DETAIL



UNDER SLAB PLUMBING DETAIL FOR H1, H2 AND E SITES



HOUSE SERVICES DETAIL

It is outside the control of the engineer to ensure the drainage contractor complies with this detail. The builder shall ensure that the drainage contractor complies with this detail in full.

WIND/WALL TIE CLASSIFICATION

WIND CLASS	WALL TIE (Vp)	WALL TIE (DUTY)	HORIZONTAL SPACING	VERTICAL SPACING
N2	W33N2	MEDIUM	600mm	600mm
N3	W41N3	MEDIUM	600mm	430mm (5 COURSES)

- NOTE:**
- wall tie spacings around openings 300cts ew
 - polymer wall ties rated "light duty only" (w28n1)
 - (vp = permissible stress method)

RESIDENTIAL ENGINEERING CONSULTING ENGINEERS
 NSW: BPB 0255
 VIC: EC 24609
 QLD: RPEQ 4109
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 www.residentialengineering.com.au enquiries@residentialengineering.com.au

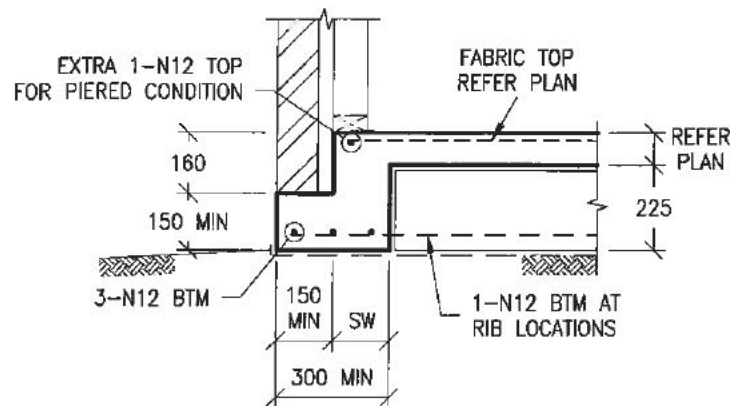
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APPROVED BY: *A.W. McCarthy*
 A.W. MCCARTHY
 B.Sc.(Eng), M.I.E.Aust, N.P.E.R., C.P.Eng.

CLIENT REF: JD02558
DATE: 11-04-13
DRAWN: R.M.
SCALE:
CLIENT: RAWSON HOMES
 UNIT 34/11-21 UNDERWOOD ROAD
 HOMEBUSH NSW 2140
 TELEPHONE: 02 9764 6442
 FAX: 02 9764 6892
 Builder's License No. 33493C

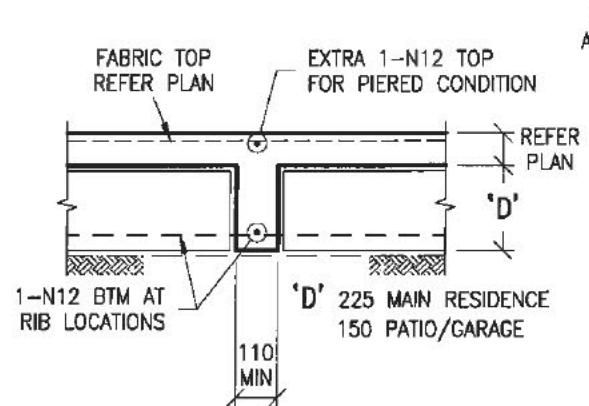
FOR: Sch 2 2.2(a)(ii)
SITE ADDRESS: BLOCK 2 SECTION 80
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DRAWN	DATE	AMENDMENT	REV	JOB No:	ISSUE:
				RW1399	
				SHEET No:	02 of 08

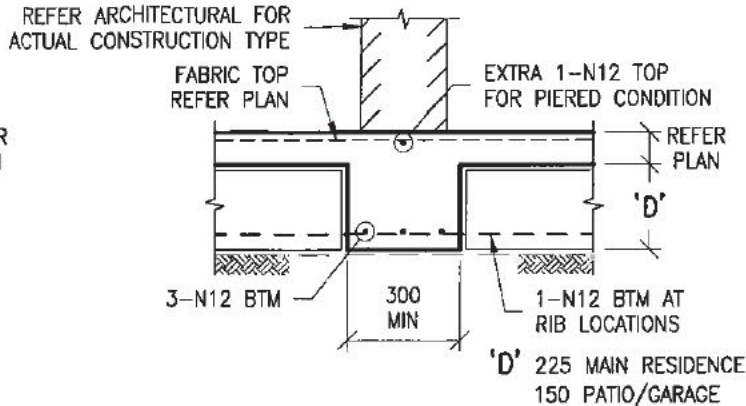
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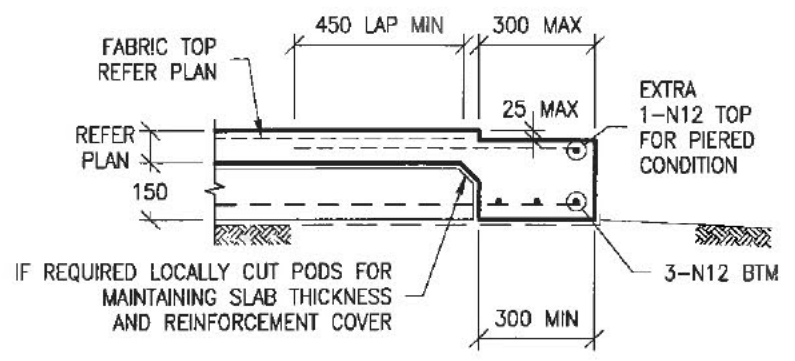
TYPICAL EDGE BEAM DETAIL



TYPICAL RIB BEAM DETAIL

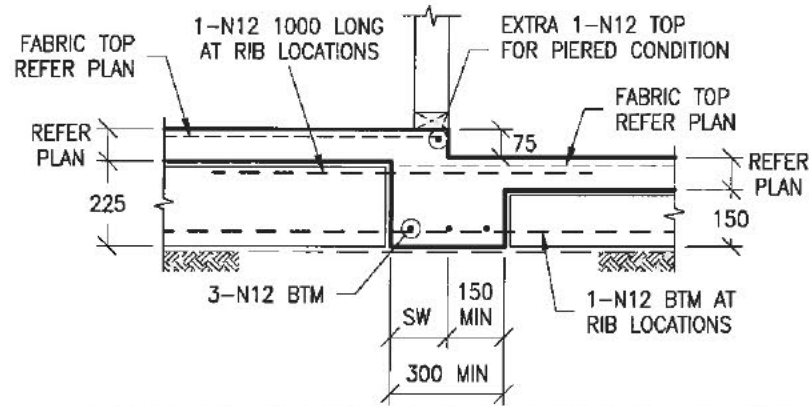


TYPICAL INTERNAL BEAM DETAIL

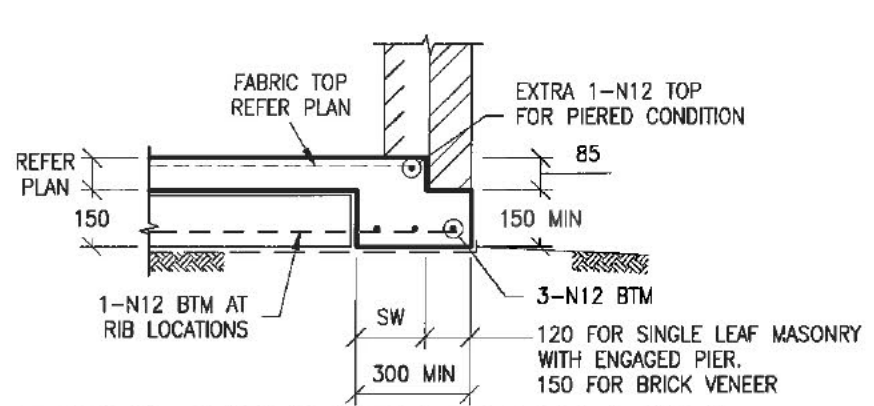


TYPICAL GARAGE DOOR REBATE DETAIL

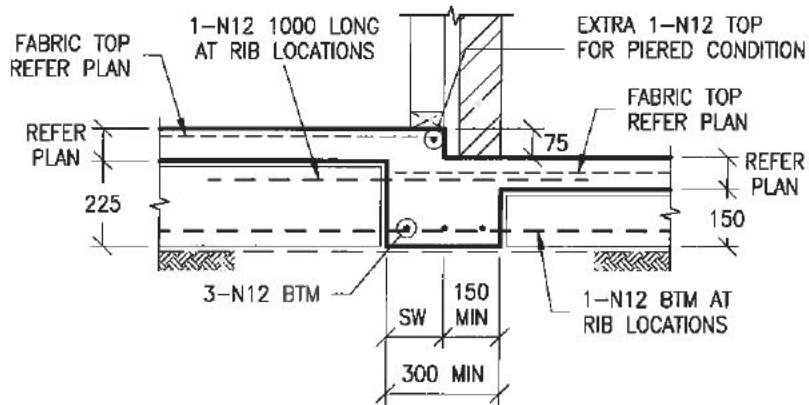
- GARAGE DOOR REBATE SHOWN IS DIAGRAMMATIC ONLY AND SHALL BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOR ACTUAL REBATE DEPTH x WIDTH.
- IF REQUIRED PROVIDE 10mm FALL FROM BACK OF GARAGE TO GARAGE DOOR OPENING



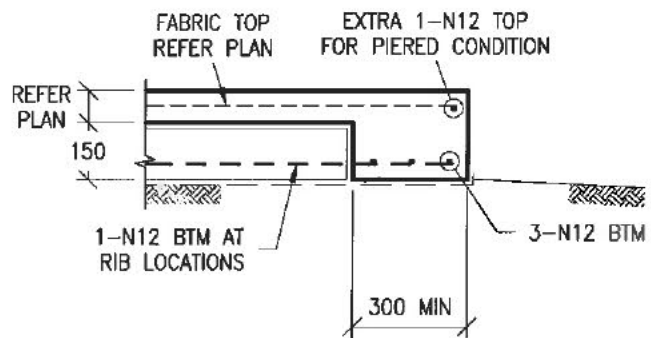
TYPICAL GARAGE STEP BEAM DETAIL



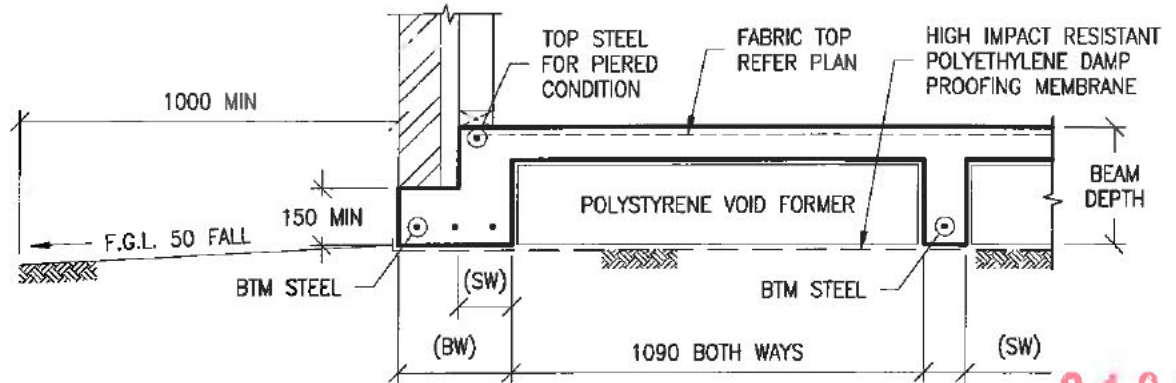
TYPICAL GARAGE EDGE BEAM DETAIL



TYPICAL PATIO STEP BEAM DETAIL



TYPICAL PATIO EDGE BEAM DETAIL



TYPICAL WAFFLE RAFT DETAIL

21924

RW11(RIBBED WIRE GRADE 500RW) MAY BE USED IN LIEU OF N12'S

BEAM WIDTH (BW)	BTM STEEL
110 TO 150	1-N12
151 TO 220	2-N12
221 TO 330	3-N12
331 TO 440	4-N12

STEM WIDTH (SW)	ADDITIONAL TOP STEEL IN ADDITION TO SLAB FABRIC
110 TO 150	NIL
151 TO 220	1-N12
221 TO 330	2-N12
331 TO 440	3-N12

IF IN DOUBT, CONTACT ENGINEER.

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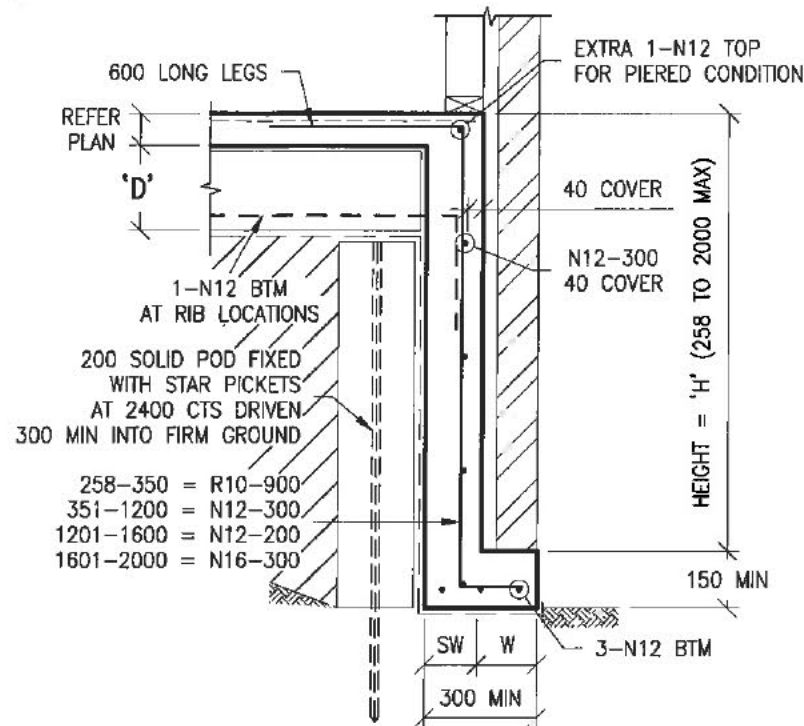
APPROVED BY: *A.W. McCarthy*
 A.W. MCCARTHY
 B.Sc.(Eng), M.I.E.Aust, N.P.E.R., C.P.Eng.

CLIENT REF: J002558
 DATE: 11-04-13
 DRAWN: R.M.
 SCALE: 1:20

CLIENT: RAWSON HOMES
 UNIT 34/11-21 UNDERWOOD ROAD
 HOMEBUSH NSW 2140
 TELEPHONE 02 9784 8442
 FAX 02 9784 6992
 Builder's License No.33493C

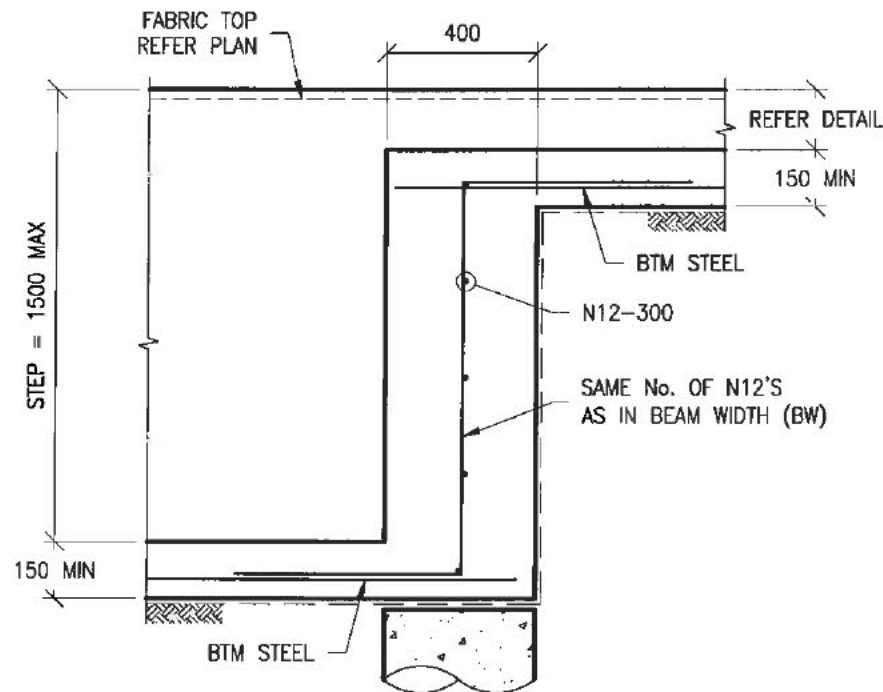
FOR: Sch 2 2.2(a)(ii)
 SITE ADDRESS: BLOCK 2 SECTION 80
 13 TABBARA CRESCENT, CRACE

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				RW1399	
				SHEET No:	
				03 of 08	

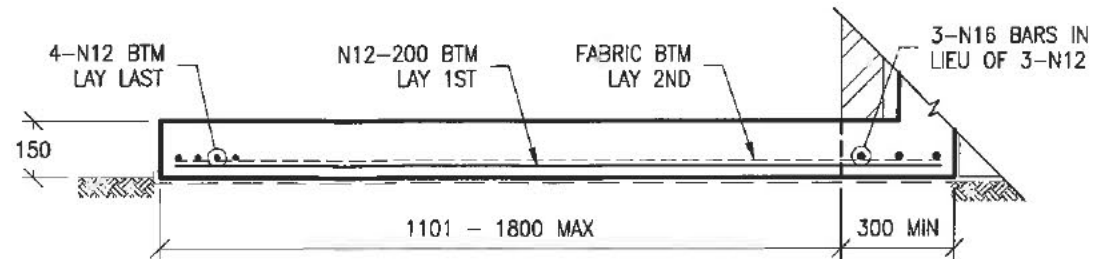


TYPICAL DEEPEMED EDGE BEAM DETAIL

'D' = 225 MAIN RESIDENCE
150 PATIO/GARAGE
'W' = 120 MIN FOR SINGLE LEAF
MASONRY WITH ENGAGED PIER.
150 MIN FOR BRICK VENEER

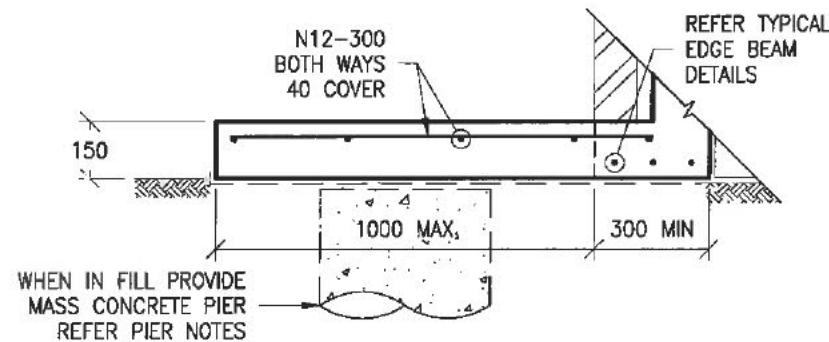


TYPICAL DEEPEMED EDGE BEAM TRANSITION DETAIL



TYPICAL RAINWATER TANK SLAB DETAIL

THIS DETAIL IS APPLICABLE AT ALL TYPICAL EDGE BEAMS.
CONSTRUCTION TYPE MAY VARY FROM SHOWN

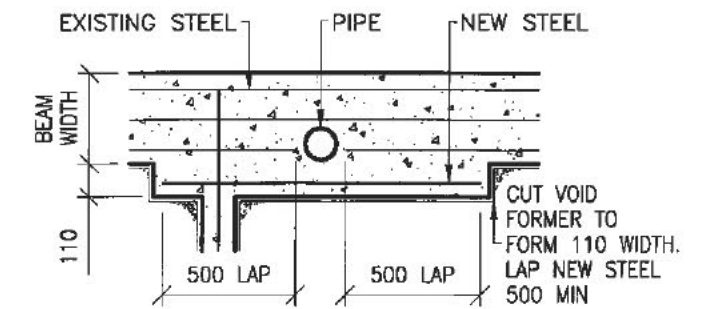


TYPICAL ACU SLAB DETAIL

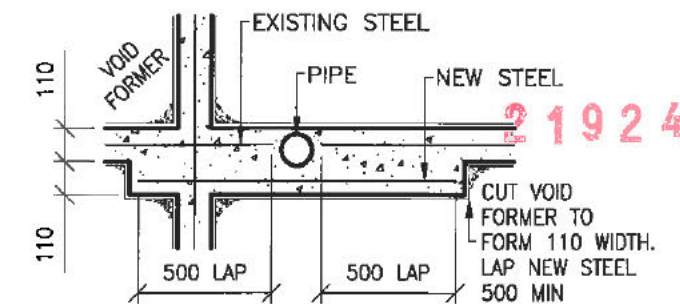
THIS DETAIL IS APPLICABLE AT ALL TYPICAL EDGE BEAMS.
CONSTRUCTION TYPE MAY VARY FROM SHOWN

DEEPEMED BEAM STEM WIDTH TABLE

HEIGHT (H)	(SW) STEM WIDTH
UP TO 1200	150
1201 TO 1600	200
1601 TO 2000	250



THROUGH BEAMS



THROUGH RIBS

PLAN ON PIPE PENETRATION

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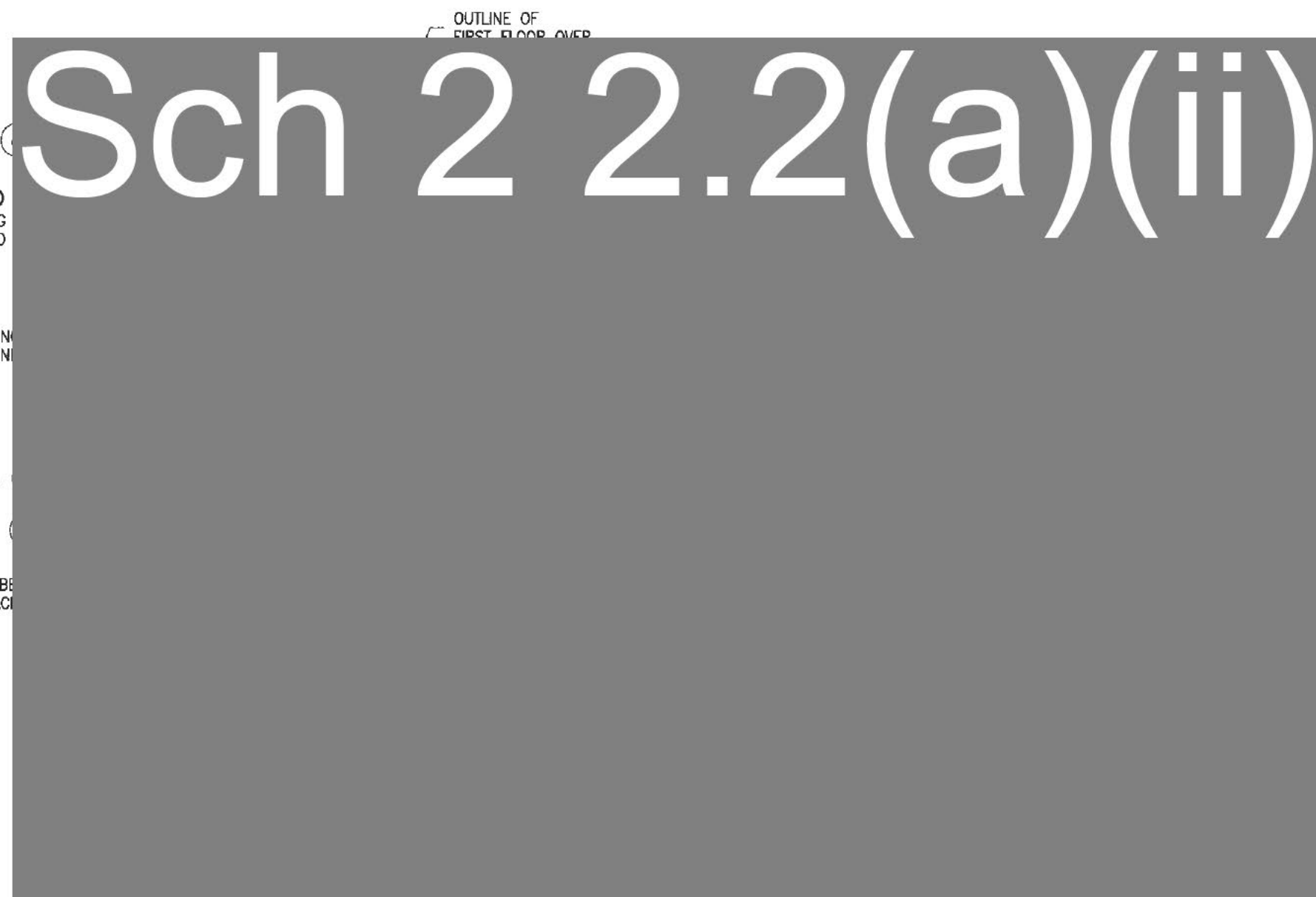
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Builder's License No. 33493C

FOR:
Sch 2 2.2(a)(ii)
SITE ADDRESS:
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DRAWN	DATE	AMENDMENT	REV	JOB No:	ISSUE:
				RW1399	
				SHEET No:	
				04 of 08	

JOB No:
RW1399
SHEET No:
04 of 08

STEEL BEAM PROFILE NOTE:
 THE BEAM(S) SPECIFIED ON THIS DRAWING DOES NOT REPRESENT THE ONLY POSSIBLE STRUCTURAL SOLUTION. PLEASE CONTACT RESIDENTIAL ENGINEERING IF AN ALTERNATIVE BEAM PROFILE WOULD BE PREFERRED FOR ARCHITECTURAL OR CONSTRUCTABILITY REASONS.



STEELWORK DESIGN MARKING DRAWING

FLOOR JOIST
 DIRECTION OVER
 BY BUILDER

MEMBER SCHEDULE 21924

ITEM	DESCRIPTION
B1	250 PFC
B2	250 PFC
B3	150 x 100 x 10 RSA
B4	310UB32
B5	300 PFC + 200 x 10 MS PL
B6	230 PFC + 300 x 10 MS PL
B7	180 PFC + 300 x 10 MS PL
B8	180 PFC + 300 x 10 MS PL
B9	150 x 100 x 10 RSA - BRICKWORK ONLY
TP1	4 / 90 x 45 MGP10 STUDS
TPO	TIMBER POST BY OTHERS

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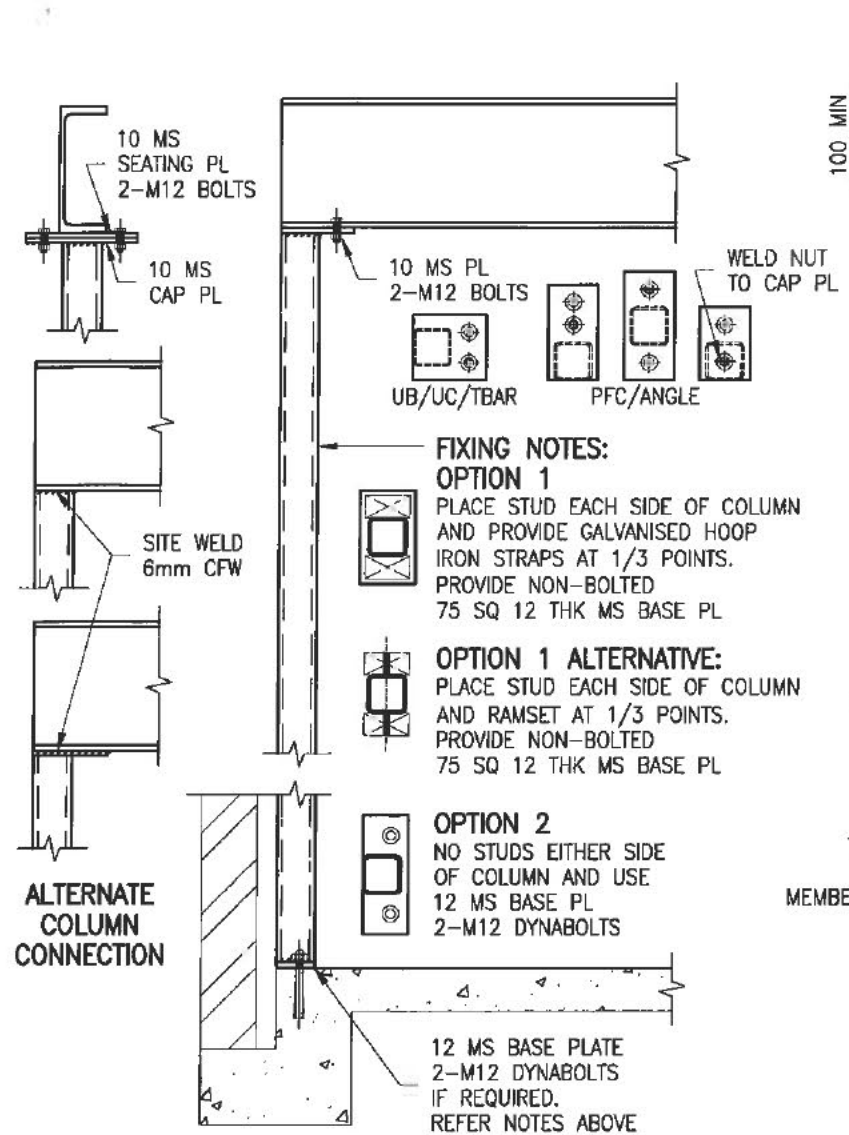
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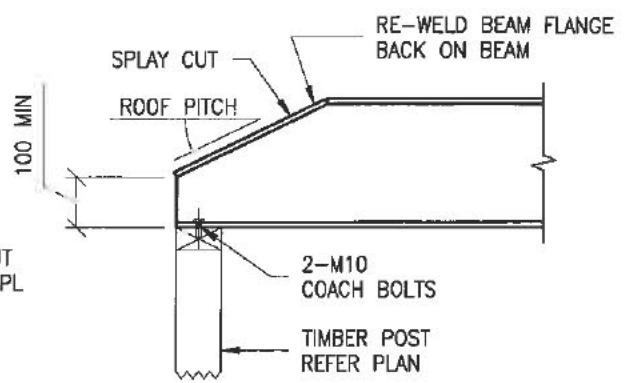
FIXING NOTES:
OPTION 1
 PLACE STUD EACH SIDE OF COLUMN AND PROVIDE GALVANISED HOOP IRON STRAPS AT 1/3 POINTS. PROVIDE NON-BOLTED 75 SQ 12 THK MS BASE PL

OPTION 1 ALTERNATIVE:
 PLACE STUD EACH SIDE OF COLUMN AND RAMSET AT 1/3 POINTS. PROVIDE NON-BOLTED 75 SQ 12 THK MS BASE PL

OPTION 2
 NO STUDS EITHER SIDE OF COLUMN AND USE 12 MS BASE PL 2-M12 DYNABOLTS

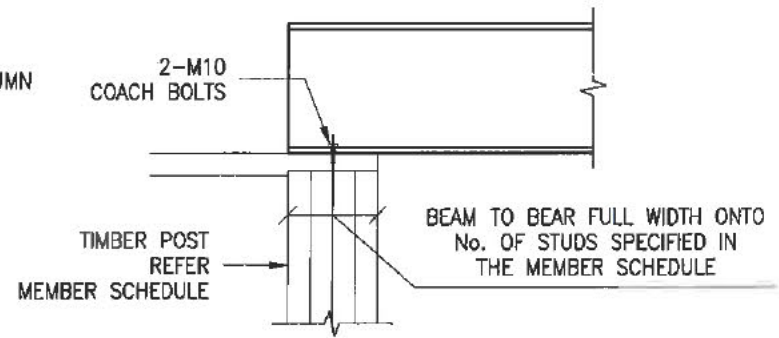
12 MS BASE PLATE 2-M12 DYNABOLTS IF REQUIRED. REFER NOTES ABOVE

TYPICAL STEEL POST DETAIL

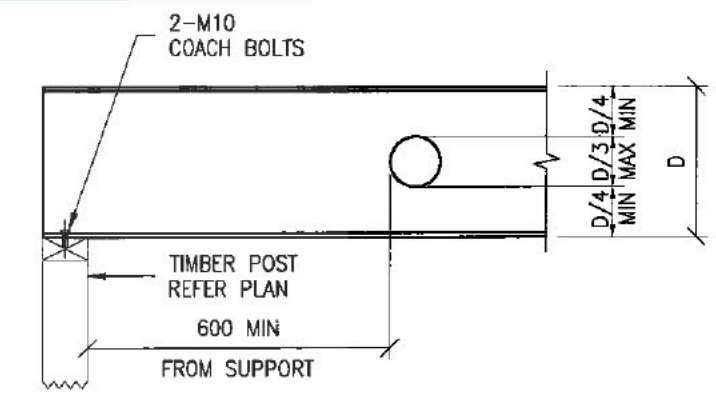


TYPICAL SPLAY DETAIL

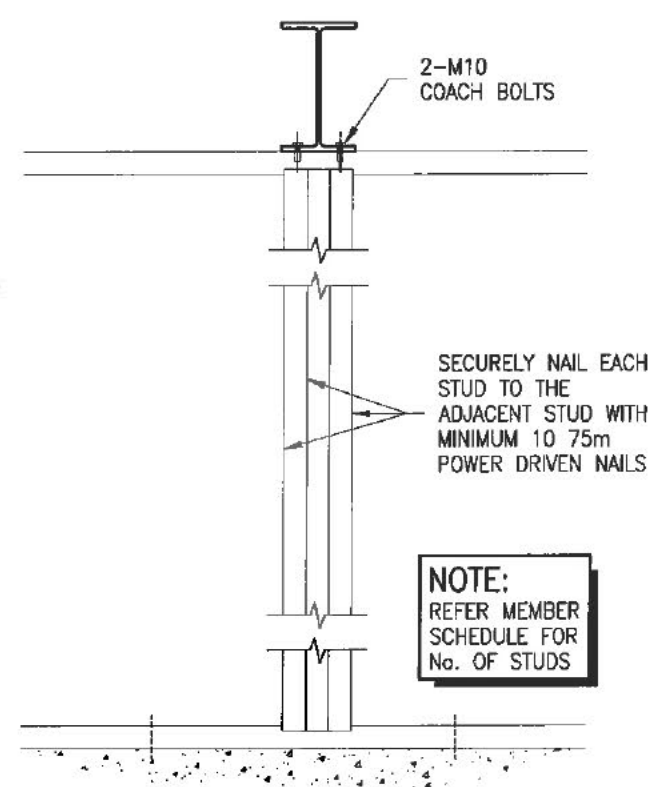
NOTE: THE BUILDER IS TO DETERMINE IF THIS DETAIL IS REQUIRED



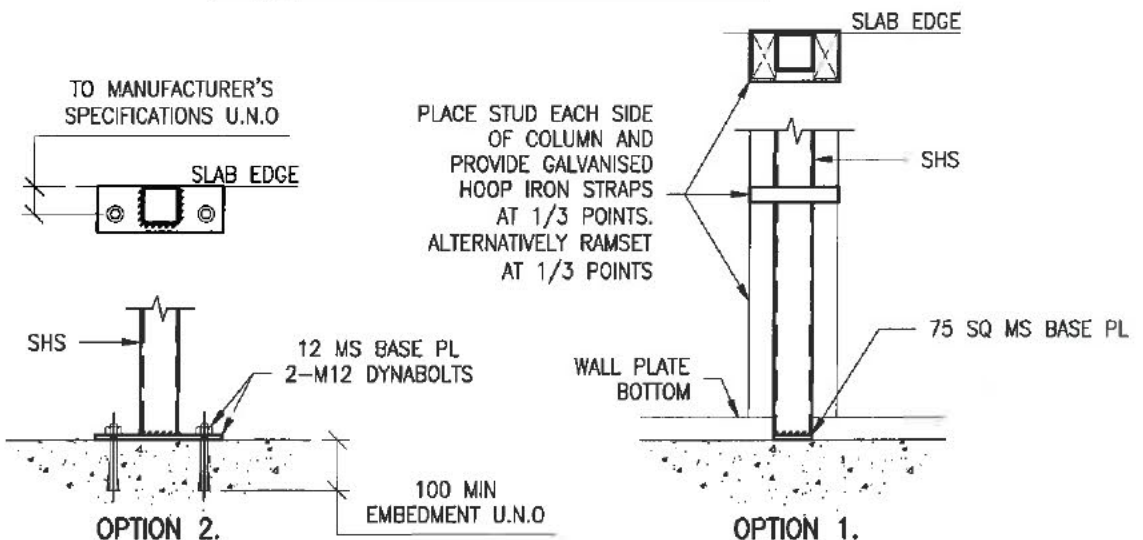
TYPICAL TIMBER POST DETAIL (SIDE ELEVATION)



STEEL BEAM PENETRATION DETAIL



TYPICAL TIMBER POST DETAIL



COLUMN BASE PLATE CONNECTION DETAILS

COLUMN BASE PLATE DETAILS

- ORIENTATE BASE PLATE TO SUIT WALL LOCATION
- 12mm THICK BASE PLATE U.N.O
- 2-M12 DYNABOLTS, 100 MIN EMBEDMENT U.N.O
- 6mm CFW CONNECTION OF COLUMN TO BASE PLATE

NOTE:

- ALL WELDS TO BE 6mm CFW U.N.O.
- ALL BOLTS TO BE SPANNER TIGHTENED

STRUCTURAL STEEL NOTES

- S1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 4100.
- S2. STEELWORK DESIGNED IN ACCORDANCE WITH AS 4100 "STEEL STRUCTURES CODE" AND AS 1170.1/AS 1170.2 "DEAD AND LIVE LOADS AND WIND LOADS". STRUCTURAL STEEL TO BE GRADE (BHP 300 PLUS)
- S3. SURFACE PREPARATION AND FINISH TO COMPLY WITH AS/NZS 2312 AND BUILDING CODE OF AUSTRALIA CLASS 1 AND 10 BUILDINGS VOLUME 2. THE BUILDER MUST CLARIFY HIS CONTRACTUAL OBLIGATIONS IN THIS REGARD.
- S4. THE INSTALLATION OF GALINTELS AND 'T' BARS TO BE STRICTLY IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- S5. THE STABILITY OF THE STRUCTURE DURING CONSTRUCTION IS THE BUILDERS RESPONSIBILITY. ADEQUATE TEMPORARY BRACING SHALL BE PROVIDED AS IS NECESSARY TO STABILISE THE STRUCTURE DURING CONSTRUCTION.
- S6. WELDS:
 - ALL WELDS TO BE 6mm CONTINUOUS FILLET WELD U.N.O.
 - BUTT WELDS WHERE INDICATED IN THE DOCUMENTS TO BE COMPLETE PENETRATION BUTT WELDS AS DEFINED IN AS 1554.
 - ALL SHOP WELDS TO BE FULLY WELDED U.N.O.
 - USE E41XX ELECTRODES FOR ALL WELDING U.N.O.
- S7. SITE WELDING OF HOT DIP GALVANISED STEEL IS PERMISSIBLE IF UPON COMPLETION THE WELDS ARE TREATED WITH THE APPROPRIATE COATING FOR SEVERE AS PER THE B.C.A AND AS/NZS 2312.
- S8. BOLT DESIGNATION:
 - 4.6/S - COMMERCIAL BOLT OF GRADE 4.6 TO AS 1111 SNUG TIGHTENED
 - 8.8/S - HIGH STRENGTH STRUCTURAL BOLTS OF GRADE 8.8 TO AS 1252 SNUG TIGHTENED
 - BOLTS TO BE PROVIDED WITH THREADS CLEAR OF SHEAR PLANE.
- S9. ALL BOLTS TO BE COMMERCIAL GRADE U.N.O. NO CONNECTION SHALL HAVE LESS THAN TWO BOLTS. ALL BOLTS AND WASHERS TO BE GALVANISED.
- S10. BEAMS SUPPORTED ON BRICKWORK (BEARING NOTED ON PLAN) TO HAVE INCOMPRESSIBLE PACKING AS REQUIRED UNDER THE ENDS OF THE BEAM TO ENSURE EVEN BEARING ON THE BRICKWORK.
- S11. THE BUILDER SHALL PROVIDE ALL CLEATS AND DRILL ALL HOLES NECESSARY FOR FIXING STEEL TO STEEL AND TIMBER TO STEEL, WHETHER OR NOT DETAILED IN THE DRAWINGS.
- S12. ALL GUSSET PLATES TO BE 10mm THICK U.N.O.
- S13. ALL COLUMNS AND BEAMS SHOWN ON THE DRAWINGS FOR TIMBER FRAMED BUILDINGS SHALL BE LATERALLY RESTRAINED BY THE BUILDING FRAME AT EACH SUPPORT LOCATION THROUGH POSITIVE SCREW FIXING OF WALL STUDS TO THE COLUMNS AND EITHER JOISTS OR NOGGINGS TO THE BEAMS. FOR ARTICULATED FULL MASONRY BUILDINGS, COLUMNS WILL BE LATERALLY RESTRAINED BY BRICKWORK AT EACH SUPPORT LOCATION THROUGH POSITIVE FIXING OF WALL TIES. WHERE A BEAM DIRECTLY SUPPORTS A CONCRETE SLAB NO ADDITIONAL RESTRAINT IS REQUIRED.
- S14. THE BUILDER IS TO MAKE GOOD AND/OR REPAIR ALL DAMAGED SURFACES DURING PERFORMANCE OF THE WORK. IF IN DOUBT, CONTACT ENGINEER.

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DATE: 11-04-13

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SCALE: 1:15

CLIENT: RAWSON HOMES

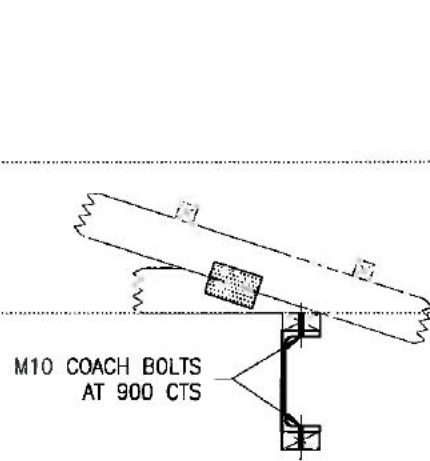
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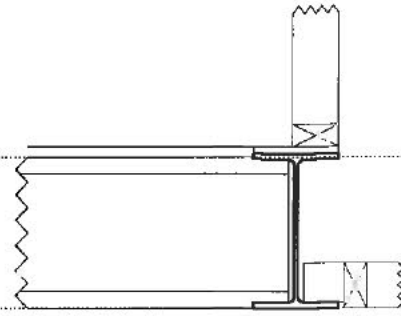
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				SHEET No:	06 of 08

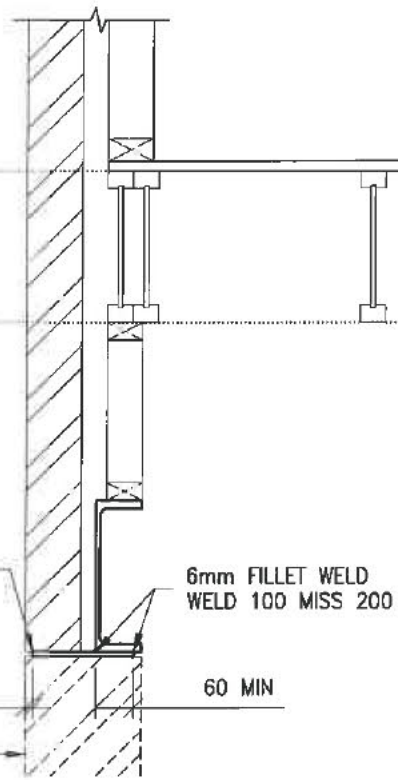
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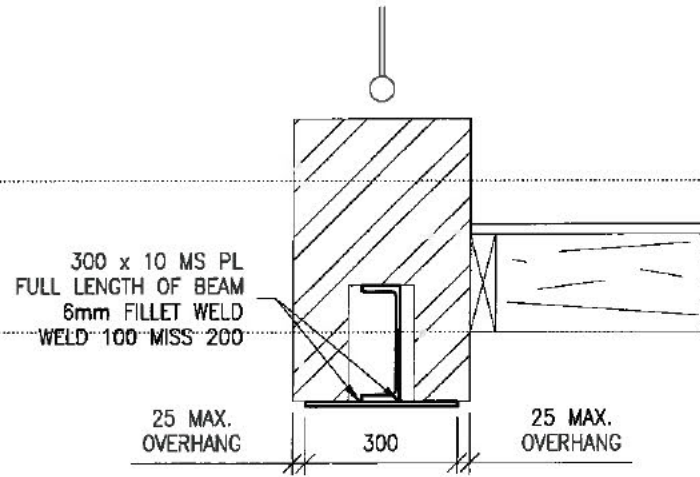
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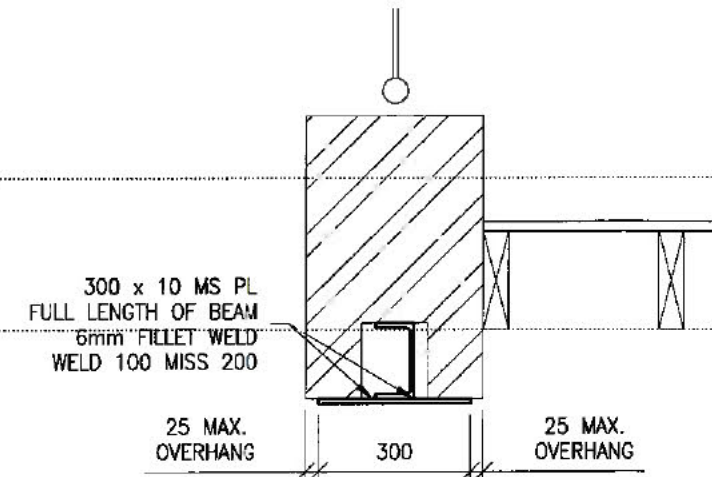
SECTION 'B4'



SECTION 'B5'



SECTION 'B6'



SECTION 'B7' AND 'B8'

21924

NOTE:

- ALL WELDS TO BE 6mm CFW U.N.O.
- ALL BOLTS TO BE SPANNER TIGHTENED

ALL STEEL BEAM CROSS SECTIONS ARE DIAGRAMMATIC ONLY

- REFER TO THE MANUFACTURERS SPECIFICATIONS FOR INSTALLATION DETAILS OF I-JOISTS, LVL'S AND ROOF TRUSSES WHERE APPLICABLE.
- SOLID TIMBER JOISTS SHALL NOT TO BE NOTCHED IN EXCESS OF THE RECOMMENDATIONS OF AS 1684.1. WHERE NECESSARY PROVIDE TIMBER PLATE OVER STEEL BEAM AND PROVIDE TOP MOUNT JOIST HANGERS. ALTERNATIVELY USE TIMBER BLOCKING BETWEEN FLANGES OF STEEL BEAM SUPPORTING JOISTS AND USE FACE MOUNTED JOIST HANGERS.

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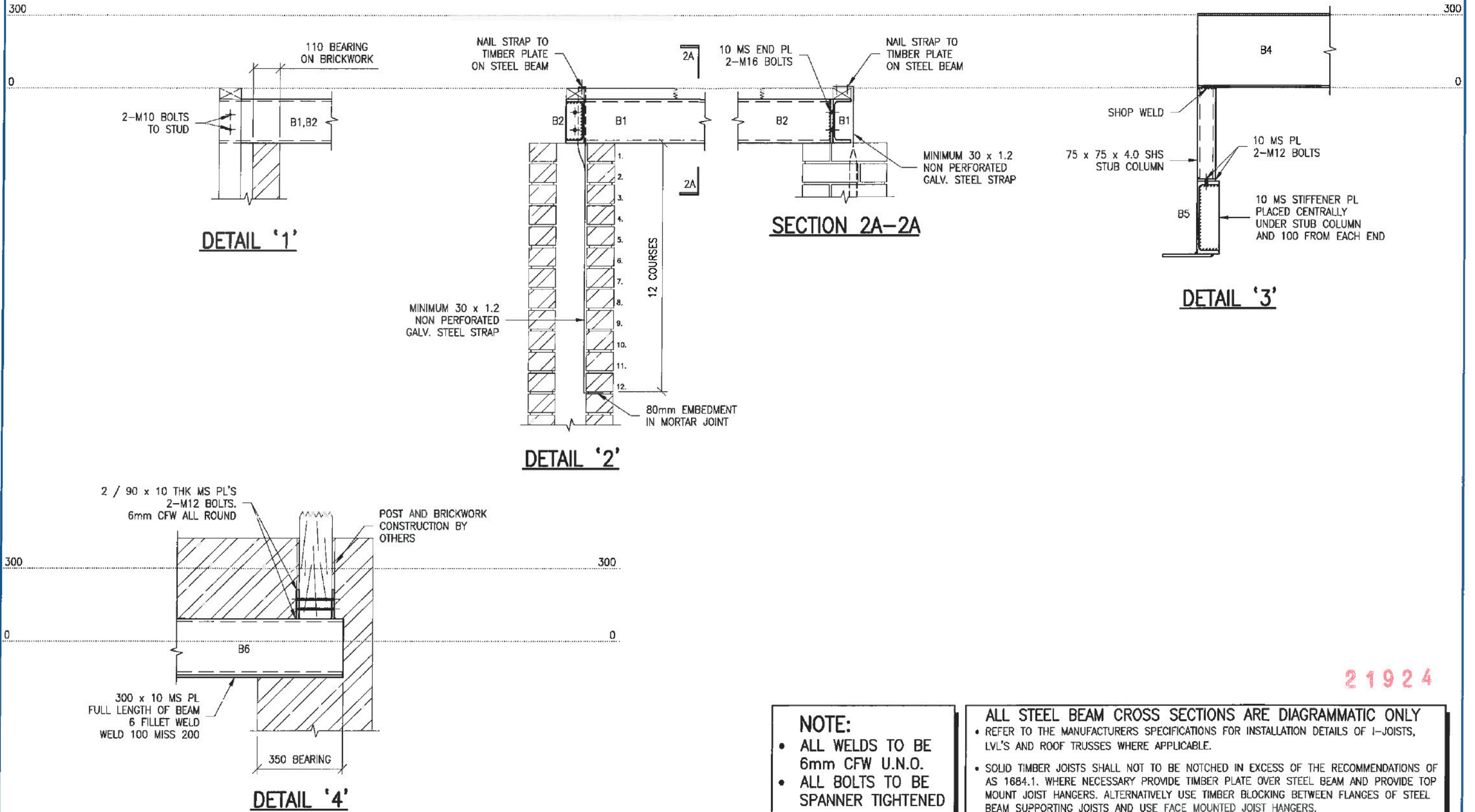
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				RW1399	
				SHEET No:	08 of 08

JOB No:
RW1399

SHEET No:
08 of 08

SEDIMENT CONTROL MEASURES:

THE DEVELOPMENT WILL COMPLY WITH BEST PRACTICE GUIDELINES - PREVENT POLLUTION FROM RESIDENTIAL BUILDING SITES, MARCH 2006.

WATER SENSITIVE URBAN DESIGN NOTE:

THIS DEVELOPMENT ACHIEVES 54% REDUCTION IN MAINS WATER CONSUMPTION COMPARED TO AN EQUIVALENT DEVELOPMENT CONSTRUCTED IN 2003, USING THE ACTPLA ONLINE ASSESSMENT TOOL.

PRIVATE OPEN SPACE NOTE:

THIS DEVELOPMENT WILL COMPLY WITH RULE R50 OF THE SINGLE DWELLING BUILDING CODE AND A MINIMUM OF 30% OF THE PRIVATE OPEN SPACE WILL BE RETAINED AS PLANTING AREA.



SEC 80
QP 11014

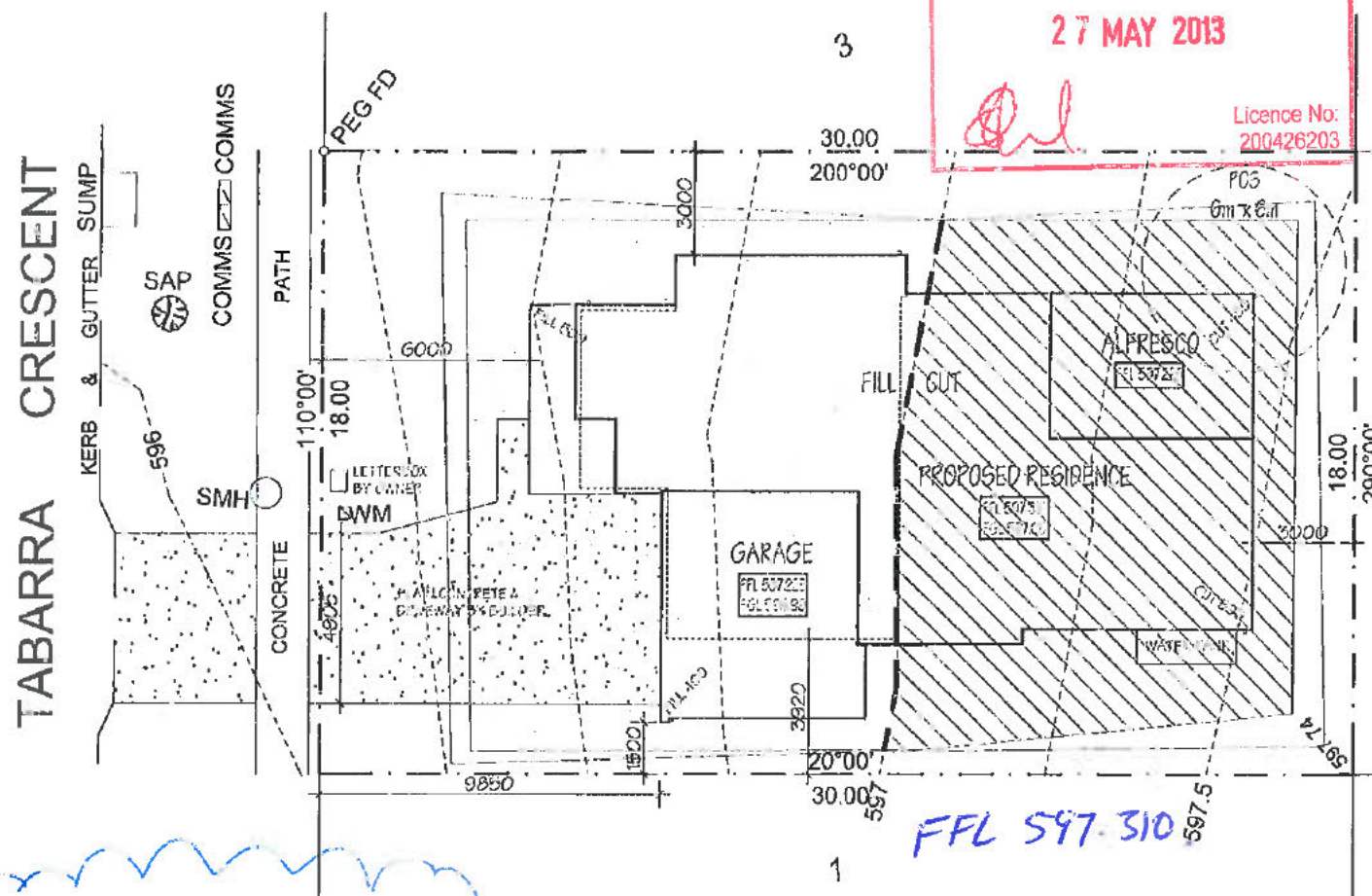
BUILDING APPROVAL
Issued under section 28 of the Building Act 2004
Certified Building Solutions Pty Ltd
27 MAY 2013
Licence No: 200426203

Refer to the Hydraulic Service within the Standard Servicing Conditions of the Grace Pattern Book for the requirement to install a SW inspection riser or sump with trafficable cover within lease boundary to satisfy Grace WSUD requirements.

Refer to information sheet on Services and Verge Management within the Grace Pattern Book on verge protection measures during construction of your home.

The height of site cuts at the boundary is restricted to a max. 1 metre with boundary retaining walls also not exceeded to 1 metre.

Front retaining wall to be stone, masonry or concrete blocks. Timber sleepers and cement look-a-like sleepers are not permitted beyond the building line.



The driveway over the verge is to match the footpath material and finish as per the Grace Pattern Book.

Percentage Reduction	=	54%
-----------------------------	----------	------------

Indoor Information	
Number of bedrooms in the house	4
What is the water rating of the shower head?	1 Star
What is the water rating of the clothes washing machine?	1 Star
What is the water rating of the dishwasher?	4 Star
What is the water rating of the toilet?	4 Star

Site Information	
Site area (m ²)?	540
Roof area (including house and garage or carport) (m ²)?	242

Rain water tank Information	
Is there going to be a water tank installed?	Yes
What is the size of the tank (L)?	4000
What is the approx. roof area flowing into the tank (m ²)?	121
What will be the use for the water in the tank?	Good for all uses

NOTE
 * TITLE BOUNDARIES ARE FROM PLAN DIMENSIONS ONLY AND WERE NOT MARKED OR DETERMINED AS PART OF THIS SURVEY.
 * ONLY SERVICES VISIBLE AT THE TIME OF THIS SURVEY ARE SHOWN ON THIS PLAN.
 * ALL TREES LESS THAN 12 METRES HIGH ARE SHOWN WITH NO HEIGHT.

NOTES:
 PLEASE NOTE: DETAILS SHOWN ON THESE PLANS ARE INTENDED TO BE ACCURATE - HOWEVER INFORMATION WRITTEN INTO INDIVIDUAL CONTRACTS WILL TAKE PRECEDENCE OVER PLANS
 * ALL DIMENSIONS ARE IN MILLIMETRES
 * DO NOT SCALE - USE WRITTEN DIMENSIONS
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RAWSON HOMES
 UNIT G1, 169 NEWCASTLE STREET
 FYSHWICK ACT 2609
 TELEPHONE 02 6280 0800
 FAX 02 6280 0700
 Builder's Licence No. ACT - 19936252
 Builder's Licence No. NSW - 33493C

CLIENT:
 Sch 2 2.2(a)(ii)
SITE ADDRESS:
 BLOCK 2 SECTION 80
 13 TABARRA CRES.
 CRACE ACT

HOUSETYPE:
 MODEL: BEDARRA 31
 FACADE: MAJESTIC
 SPECIFICATION: LUXE + GOLD INCLUSIONS
DRAWING TITLE:
 SITE PLAN

DRAWN BY: TLE	CHECKED:	DATE DRAWN: 28.02.13
COUNCIL AREA: ACTPLA		SCALE: 1:200@A3
JOB No: J002558	DRWG No.: 02	ISSUE: B

LEGEND

COMMS DENOTES COMMUNICATIONS
 SMH DENOTES SEWER MANHOLE
 WM DENOTES WATER METER



Sign: _____
 Date: 11/1/4/13

Lot Area: 540m² Peter J. Shaw
 Contour Interval: 0.25m Registered Surveyor



PRIVATE OPEN SPACE	
BLOCK AREA	540.00m ²
P.P.O.S. REQUIRED	54.00m ²
P.P.O.S. ACHIEVED	190.00m ²
P.O.S. REQUIRED	274.00m ²
P.O.S. ACHIEVED	352.40m ²

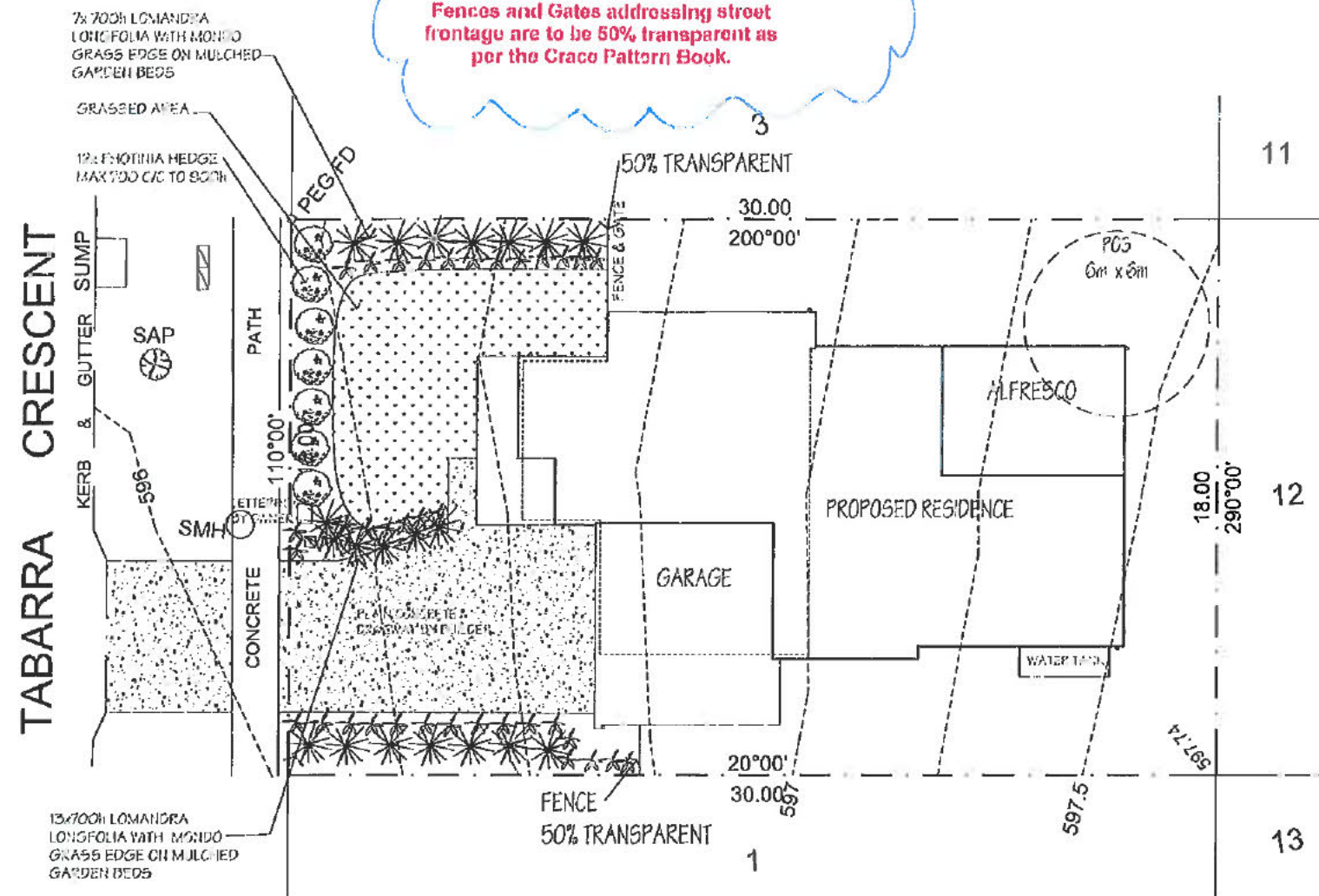
21924

LANDSCAPING:

THE BUILDER IS NOT RESPONSIBLE FOR LANDSCAPING. THIS LANDSCAPE PLAN IS INDICATIVE ONLY. ALL LANDSCAPING & FENCING IS TO COMPLY WITH THE CRACE PATTERNBOOK.



SEC 80
DP 11014



Driveway over the Verge and turling the Verge with Legend Couch is the responsibility of the purchaser

The use of brightly coloured gravel in large proportions to the front landscaping, under the Front Vertical Edge, or directly to street frontage is not permitted. Natural earthy toned organic bark or woodchip mulch is to be used as per the Crace Pattern Book

A vertical edge which could incorporate a hedge, retaining wall or planter box between 600-900mm high must be provided along the front boundary.

Refer to the fact sheet Establishing Your Front Verge in the Crace Pattern Book for the establishment of your front verge turf.

Refer to Element 6 and the landscape design guidelines within the Crace Pattern Book for appropriate planting sizes, locations and species to front gardens.

LEGEND

COMMS DENOTES COMMUNICATIONS PIT
SMH DENOTES SEWER MANHOLE
WM DENOTES WATER METER



APPROVED

Sign: _____

Date: 11/4/13

21924

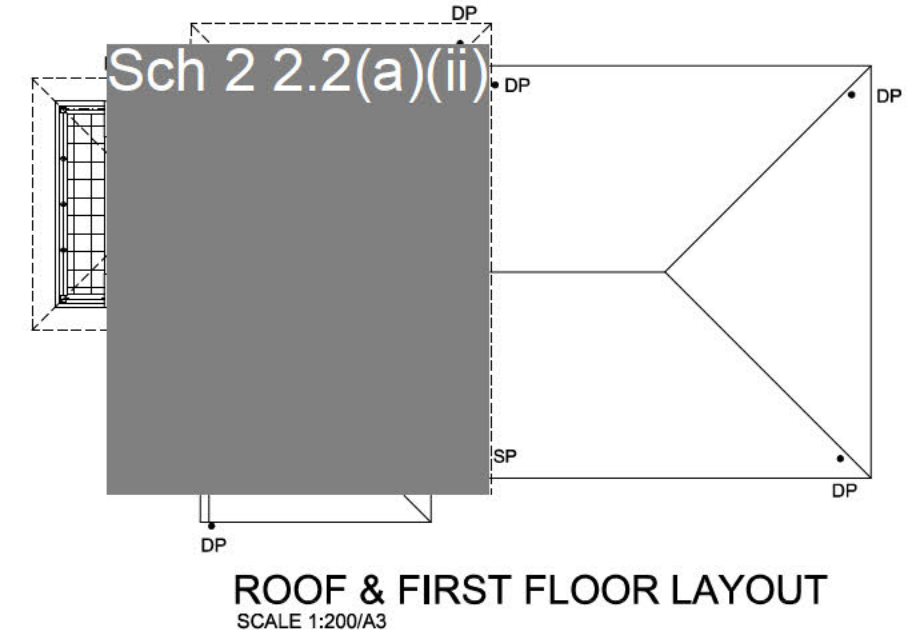
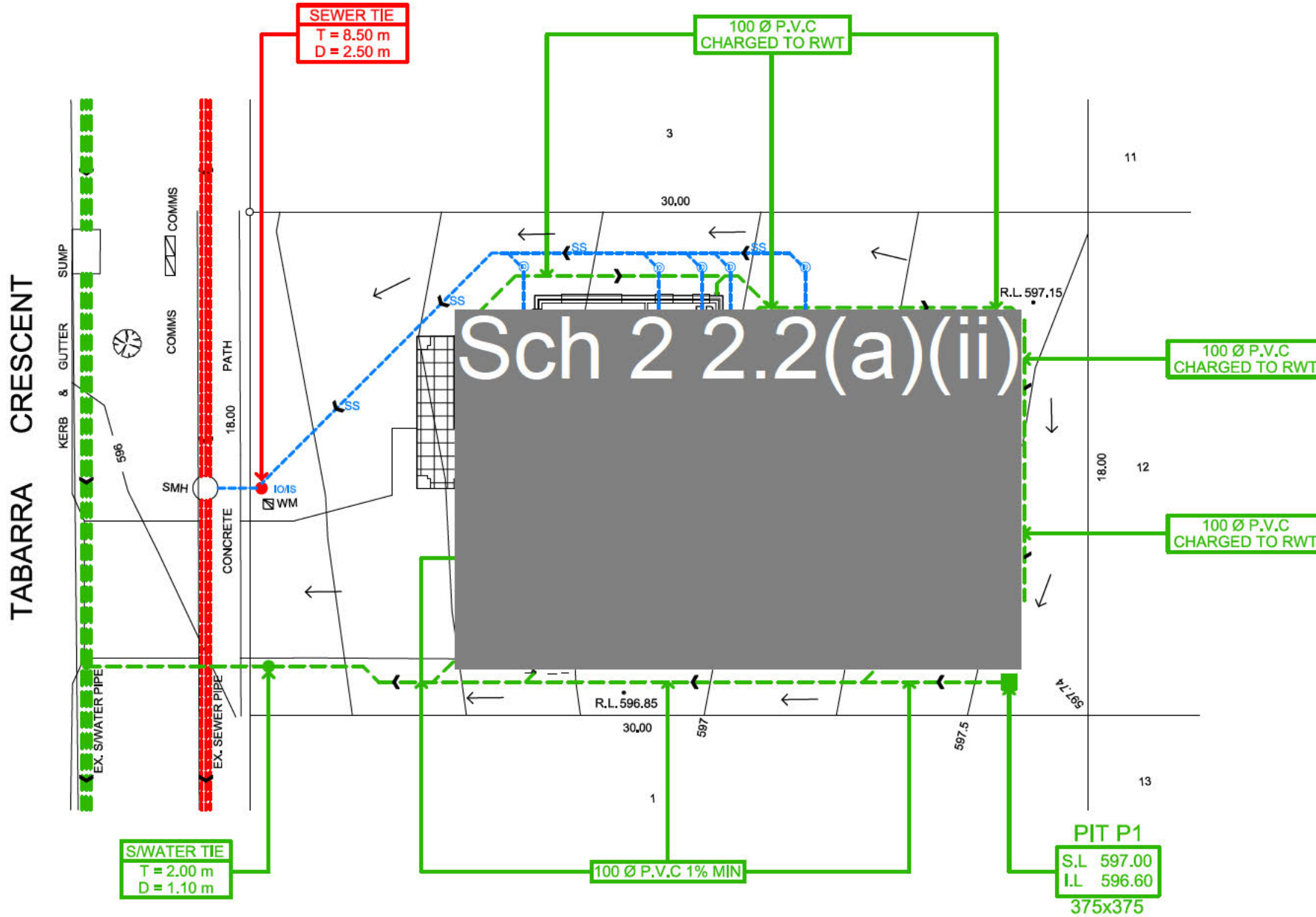
NOTES:
PLEASE NOTE: DETAILS SHOWN ON THESE PLANS ARE INTENDED TO BE ACCURATE - HOWEVER INFORMATION WRITTEN INTO INDIVIDUAL CONTRACTS WILL TAKE PRECEDENCE OVER PLANS
* ALL DIMENSIONS ARE IN MILLIMETRES
* DO NOT SCALE - USE WRITTEN DIMENSIONS
THIS DRAWING IS SUBJECT TO COPYRIGHT LAWS AND MAY NOT BE COPIED WITHOUT THE WRITTEN PERMISSION OF RAWSON HOMES PTY LTD-ACN 053 733 841

RAWSON HOMES
UNIT G1, 169 NEWCASTLE STREET
FYSHWICK ACT 2609
TELEPHONE 02 6280 0800
FAX 02 6280 0700
Builder's Licence No. ACT - 19936252
Builder's Licence No. NSW - 33493C

CLIENT: Sch 2 2.2(a)(ii)
SITE ADDRESS: BLOCK 2 SECTION 80
13 TABBARA CRES.
CRACE ACT

HOUSETYPE:
MODEL: BEDARRA 31
FACADE: MAJESTIC
SPECIFICATION: LUXE+ GOLD INCLUSIONS
DRAWING TITLE: INDICATIVE LANDSCAPE

DRAWN BY: TLE	CHECKED:	DATE DRAWN: 28.02.13
COUNCIL AREA: ACTPLA		SCALE: 1:200@A3
JOB No: LP	DRWG No.: 02	ISSUE: B

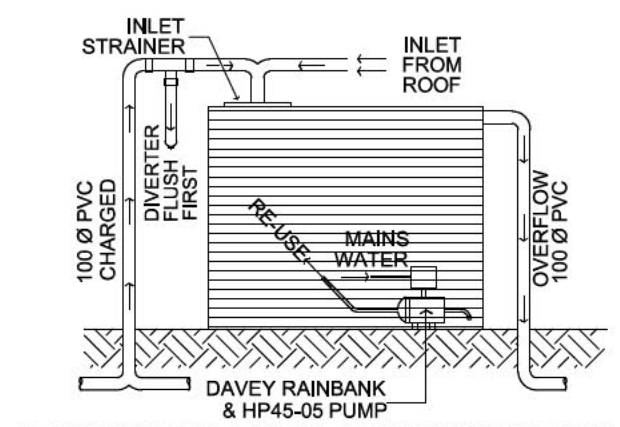


SEWERAGE LAYOUT NOTES

- EXISTING SEWER LINES & TIES TO BE LOCATED ON SITE PRIOR TO CONSTRUCTION.
- ALL WORKS TO BE COMPLETED IN ACCORDANCE WITH AS3500,2,3 (2003)
- ALL WORKS ARE TO BE CONDUCTED IN ACCORDANCE WITH THE CANBERRA SEWERAGE REGULATIONS.
- THE INSPECTION SHAFT AT THE PROPERTY BOUNDARY TO BE IN ACCORDANCE WITH PLUMBING NOTE No.3.

SANITARY FIXTURES

(1) TOILETS	3
(2) BATHS	1
(3) BASINS	3
(4) SHOWERS	2
(5) KITCHEN SINKS	1
(6) LAUNDRY TROUGH	1



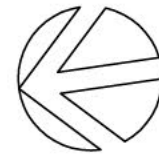
RAINWATER TANK AS SHOWN ON PLAN

PROVIDE A RAINWATER TANK 4000L IN CAPACITY TO SUIT ALL WSUD REQUIREMENTS. TANK TO BE CONNECTED TO TOILETS, LAUNDRY & IRRIGATION FOR RE-USE.

ENSURE ALL CONNECTIONS WITHIN CHARGED SYSTEM ARE SOLVENT WELDED

ALL DOWNPIPES ARE TO BE ENTIRELY PVC. PIPES ARE TO BE SEALED UP TO U/S OF ROOF GUTTERS

ROOF GUTTERS I.L. 599.71
 TANK INLET I.L. 598.80
 HEAD PRESSURE - 910mm



STORMWATER & SEWERAGE LAYOUT - INTERIM PLAN
 SCALE 1:200/A3

STORMWATER LAYOUT NOTES

- PITS DEEPER THAN 600mm TO BE 600 X 900 W, ELSE 375 SQ U.N.O.
- ALL PIPES TO HAVE 1% MIN. GRADE U.N.O.
- ALL DOWNPIPES TO BE 100 X 50 BOX OR 90 Ø.
- PIPES TO BE U.P.V.C. OR STORMWATER PIPE TO A.S.1254.
- PITS TO BE STANDARD PRECAST CONCRETE PITS OR BRICK RENDERED WITH CONCRETE HEAVY DUTY GRATES SIZED AS PITS PER PLAN.
- NO SEWER VENTS, GULLY PITS OR SIMILAR TO BE LOCATED BELOW THE MAXIMUM WATER SURFACE LEVEL IN DETENTION BASINS.
- PERSONS UTILISING THIS PLAN FOR ANY PURPOSES SHALL VERIFY THE DATUM & RESPECTIVE LEVELS PRIOR TO COMMENCING ANY WORKS & NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- DRIVEWAY LEVELS PROVIDED FOR DRAINAGE DESIGN PURPOSES ONLY. LEVELS MAY BE ADJUSTED TO SUIT FINAL HOUSE CUT/FILL CONDITIONS BUT NEED TO MAINTAIN INTENT OF DRAINAGE SYSTEM. ENGINEER TO BE CONSULTED PRIOR TO CONSTRUCTION TO ENSURE INTENT MAINTAINED.
- END OF EXISTING DRAINAGE LINE TO BE EXPOSED & LEVELS CONFIRMED BY BUILDER PRIOR TO COMMENCEMENT OF WORKS.
- BUILDERS TO ENSURE SERVICES CONNECTIONS TO HOUSE DO NOT CONFLICT WITH DRAINAGE DESIGN REQUIREMENTS.
- ALL WORKS TO BE CONSTRUCTED TO GOOD BUILDING PRACTICE & MATERIALS TO MEET ACCEPTED SPECIFICATIONS.

LEGEND

P1	PIT LABEL	G.F.L.	GARAGE FLOOR LEVEL
[Symbol]	SUMP PIT	• 0.00	EXISTING REDUCED LEVEL
[Symbol]	300x300 FLOOR GULLY	• R.L. 157.00	PROPOSED REDUCED LEVEL
[Symbol]	100/150 Ø GARDEN GULLY	[Symbol]	DOWNPIPE
[Symbol]	STORMWATER PIPE	[Symbol]	SPITTER/SPREADER
[Symbol]	AERIAL PIPE	[Symbol]	CLEANING EYE
S.L.	SURFACE LEVEL	+++++	SEDIMENT FENCE
I.L.	INVERT LEVEL	----	AG LINE
F.F.L.	FINISHED FLOOR LEVEL	← SS	SEWERAGE PIPELINE 100 Ø PVC LAID AT 1.65% MIN

alw design
 CIVIL ENGINEERING CONSULTANTS

P: 02 8819 2565 F: 02 8819 2597 E: admin@alwdesign.com.au
 M: 0413 763 432 69A COWELLS LANE, ERMINGTON NSW 2115

PROJECT: PROPOSED RESIDENTIAL DWELLING AT BLOCK 2 / SECTION 80; 13 TABBARA CRESCENT, CRACE ACT

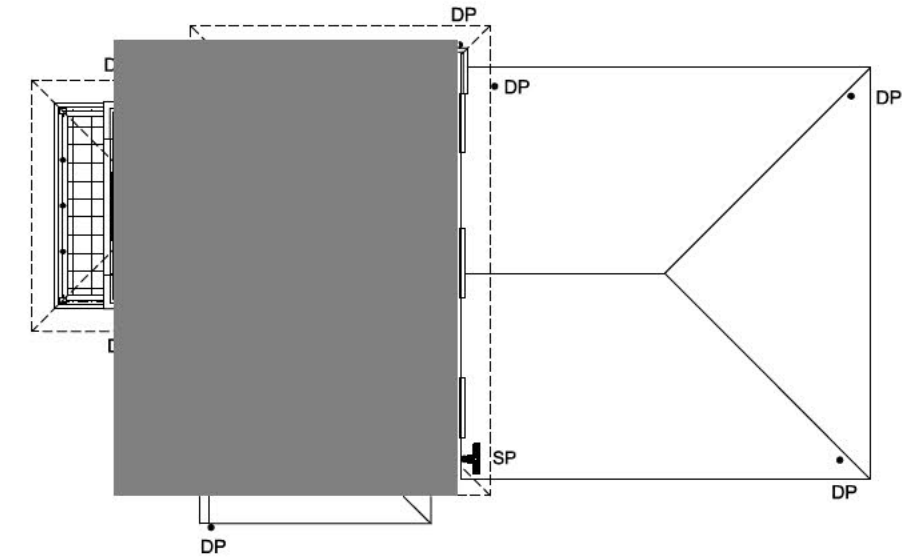
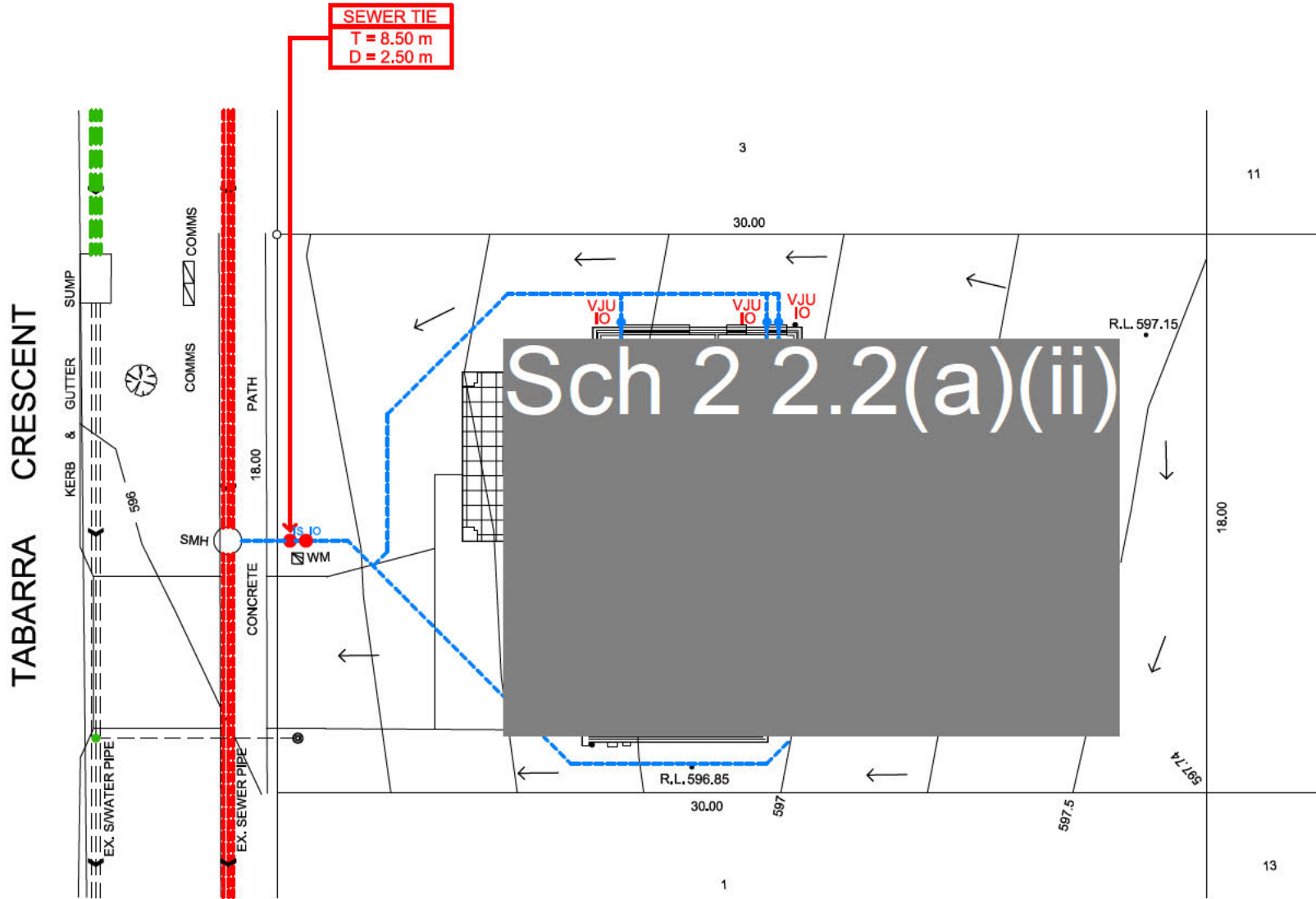
DRAWING: STORMWATER & SEWERAGE LAYOUT - INTERIM PLAN

DESIGNED: A.W. DRAWN: M.W. CHECKED: ANDREW L WAHBE - BE (CIVIL) MIEAUST PENG

ISSUED FOR REGISTRATION 20/03/13

ISSUE REVISION DESCRIPTION APPR. DATE

JOB NUMBER: SW13109
 DRAWING NUMBER: SW13109-S1



ROOF & FIRST FLOOR LAYOUT
SCALE 1:200/A3

- SEWERAGE LAYOUT NOTES**
- EXISTING SEWER LINES & TIES TO BE LOCATED ON SITE PRIOR TO CONSTRUCTION.
 - ALL WORKS TO BE COMPLETED IN ACCORDANCE WITH AS3500.2.3 (2003)
 - ALL WORKS ARE TO BE CONDUCTED IN ACCORDANCE WITH THE CANBERRA SEWERAGE REGULATIONS.
 - THE INSPECTION SHAFT AT THE PROPERTY BOUNDARY TO BE IN ACCORDANCE WITH PLUMBING NOTE No.3.

SANITARY FIXTURES

(1) TOILETS	3
(2) BATHS	1
(3) BASINS	3
(4) SHOWERS	2
(5) KITCHEN SINKS	1
(6) LAUNDRY TROUGH	1



- ORG - OVERFLOW RELIEF GULLY
VJU - VERTICAL JUMP UP
VP - VENT PIPE
SVP - SOIL VENT PIPE
IO - INSPECTION OPENING



SEWERAGE LAYOUT - WORK AS EXECUTED
SCALE 1:200/A3

- STORMWATER LAYOUT NOTES**
- PITS DEEPER THAN 600mm TO BE 600 X 900 W, ELSE 375 SQ U.N.O.
 - ALL PIPES TO HAVE 1% MIN. GRADE U.N.O.
 - ALL DOWNPIPES TO BE 100 X 50 BOX or 90 Ø.
 - PIPES TO BE U.P.V.C. OR STORMWATER PIPE TO A.S.1254.
 - PITS TO BE STANDARD PRECAST CONCRETE PITS OR BRICK RENDERED WITH CONCRETE HEAVY DUTY GRATES SIZED AS PITS PER PLAN.
 - NO SEWER VENTS, GULLY PITS OR SIMILAR TO BE LOCATED BELOW THE MAXIMUM WATER SURFACE LEVEL IN DETENTION BASINS.
 - PERSONS UTILISING THIS PLAN FOR ANY PURPOSES SHALL VERIFY THE DATUM & RESPECTIVE LEVELS PRIOR TO COMMENCING ANY WORKS & NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
 - DRIVEWAY LEVELS PROVIDED FOR DRAINAGE DESIGN PURPOSES ONLY. LEVELS MAY BE ADJUSTED TO SUIT FINAL HOUSE CUT/FILL CONDITIONS BUT NEED TO MAINTAIN INTENT OF DRAINAGE SYSTEM. ENGINEER TO BE CONSULTED PRIOR TO CONSTRUCTION TO ENSURE INTENT MAINTAINED.
 - END OF EXISTING DRAINAGE LINE TO BE EXPOSED & LEVELS CONFIRMED BY BUILDER PRIOR TO COMMENCEMENT OF WORKS.
 - BUILDERS TO ENSURE SERVICES CONNECTIONS TO HOUSE DO NOT CONFLICT WITH DRAINAGE DESIGN REQUIREMENTS.
 - ALL WORKS TO BE CONSTRUCTED TO GOOD BUILDING PRACTICE & MATERIALS TO MEET ACCEPTED SPECIFICATIONS.

LEGEND

P1	PIT LABEL	G.F.L.	GARAGE FLOOR LEVEL
[Symbol]	SUMP PIT	• 0.00	EXISTING REDUCED LEVEL
[Symbol]	300x300 FLOOR GULLY	• R.L. 157.00	PROPOSED REDUCED LEVEL
[Symbol]	100/150 Ø GARDEN GULLY	[Symbol]	DOWNPIPE
[Symbol]	STORMWATER PIPE	[Symbol]	SPITTER/SPREADER
[Symbol]	AERIAL PIPE	[Symbol]	CLEANING EYE
S.L.	SURFACE LEVEL	+++++	SEDIMENT FENCE
I.L.	INVERT LEVEL	----	AG LINE
F.F.L.	FINISHED FLOOR LEVEL	← SS	SEWERAGE PIPELINE 100 Ø PVC LAID AT 1.65% MIN

alw design
CIVIL ENGINEERING CONSULTANTS
P: 02 8819 2565 F: 02 8819 2597 E: admin@alwdesign.com.au
M: 0413 763 432 69A COWELLS LANE, ERMINGTON NSW 2115

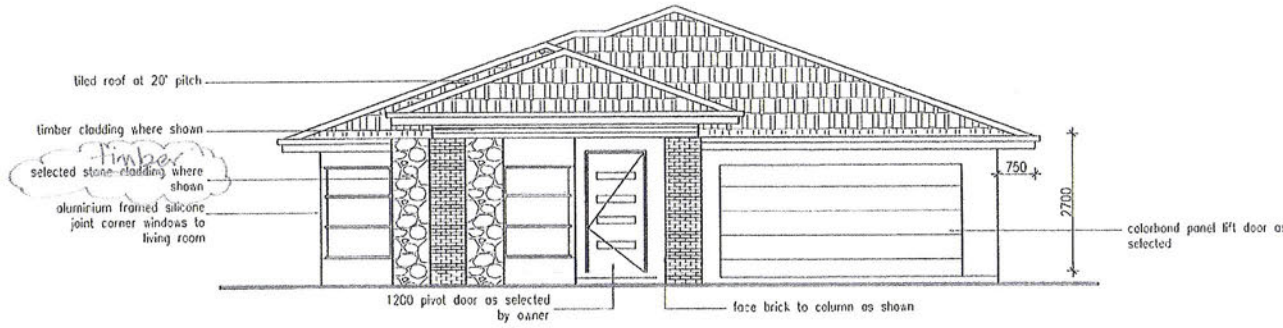
PROJECT: PROPOSED RESIDENTIAL DWELLING AT BLOCK 2 / SECTION 80; 13 TABBARA CRESCENT, CRACE ACT
DRAWING: WORK AS EXECUTED

DESIGNED	DRAWN	CHECKED:	ANDREW L WAHBE - BE (CIVIL) MIEAUST PENG
A.W	M.W	DRAWINGS NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY DESIGNING ENGINEER	
B	ISSUED FOR WORK AS EXECUTED		22/07/13
A	ISSUED FOR REGISTRATION		20/03/13
ISSUE	REVISION DESCRIPTION	APPR. DATE	

JOB NUMBER: SW13109
DRAWING NUMBER: SW13109 - S1

Note:
Contractor must verify all dimensions on site before commencing any work or drawing shop drawings. Do not scale drawings.

All work to be done in accordance with relevant Australian standards, Building code of Australia and local Authorities regulations. Execute all work in the best and most tradesmanlike manner and to the satisfaction of the superintendent. All dimensions in millimetres unless otherwise noted.



ELEVATION 1

4 of 7

BUILDING APPROVAL
Issued under s.28 of the Building Act 2004.

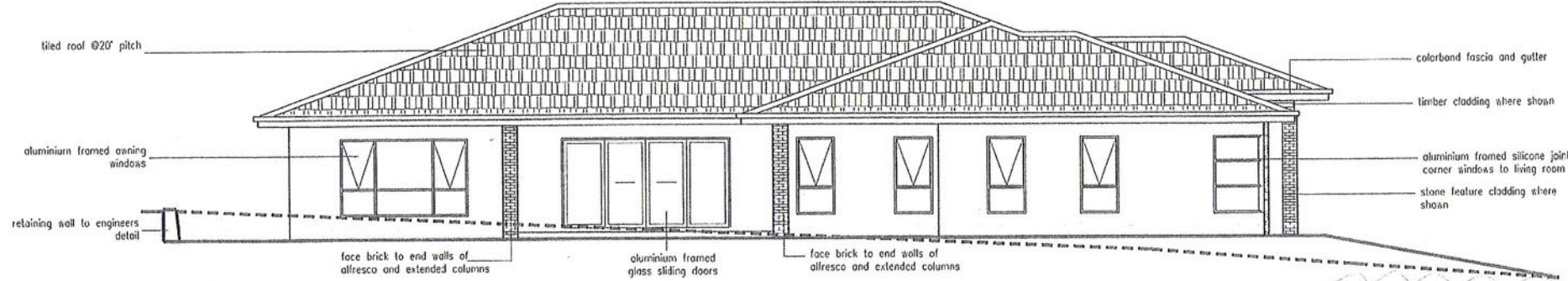
JOHN BATES
Certifier Name

Lic. No. 1988 4388
1.1a, 1.1a, 1.1b
BCA Occupancy Class

BCA Type of Construction

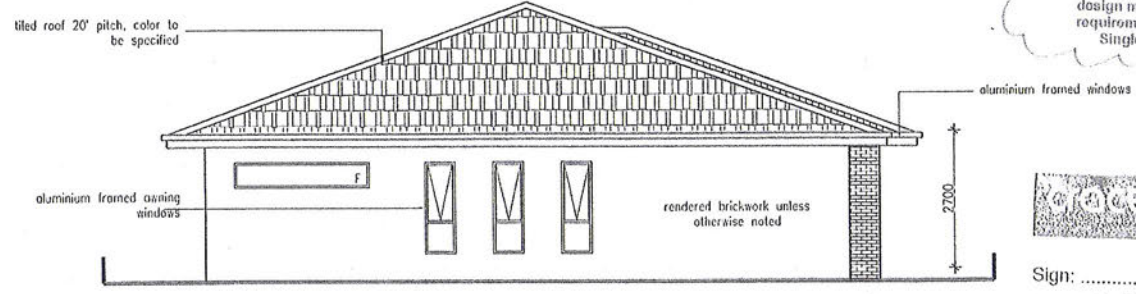
Issue date: 28.06.13

J. Bates
Certifier signature



ELEVATION 2

Building envelope has not been submitted with the design. Approval of the current design is subject to the design meeting the Building envelope requirements within the Territory Plan Single Housing Dwelling Code.



ELEVATION 3

APPROVED

Sign: _____

Date: 28.06.13

No.	Amendments	Date

DESIGNED BY:
TIM JOHNSON

DRAWN BY:
TIM JOHNSON



DESIGN & DRAFTING
MOB: 0411 783 888
FAX: 02 6280 6113
Unit 18 / 63 Wobongang St
Plymouth ACT

Client:
**PROPOSED NEW HOME
ADAMAR INVESTMENTS
BLOCK 3 SECTION 80
GRACE ACT**

Drawing:
ELEVATIONS 1, 2 & 3

Scale: 1:100 @ A3 Date: 22/04/13

Drawing No
A04
Issue:
D

Note:
Contractor must verify all dimensions on site before commencing any work or drawing shop drawings. Do not scale drawings.

All work to be done in accordance with relevant Australian standards, Building code of Australia and local Authorities regulations. Execute all work in the best and most tradesmanlike manner and to the satisfaction of the superintendent. All dimensions in millimetres unless otherwise noted.

5 of 7

BUILDING APPROVAL
Issued under s.28 of the Building Act 2004.

JOHN BATES
Certifier Name

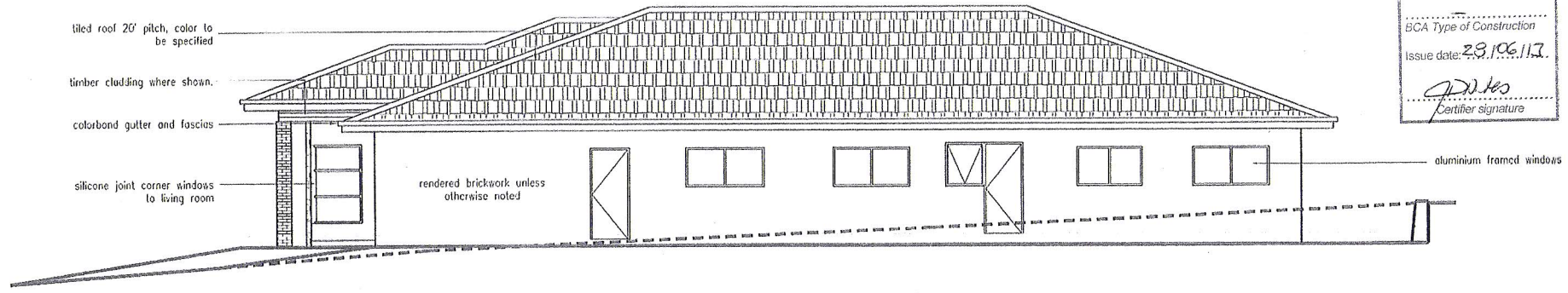
Lic. No. 1988 4388

1 a(i), 10a, 10b
BCA Occupancy Class

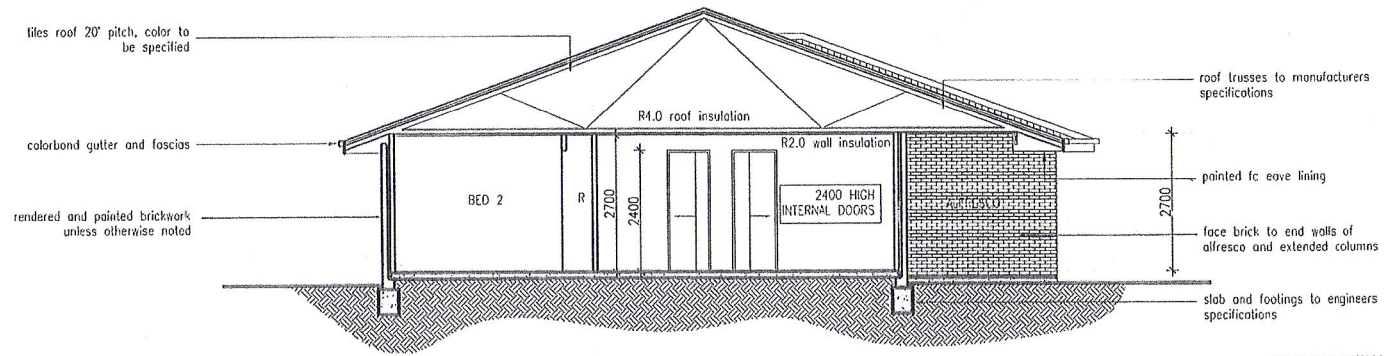
BCA Type of Construction

Issue date: *23/06/13*

J. Bates
Certifier signature



ELEVATION 4



SECTION A - A



APPROVED

Sign: *[Signature]*
Date: *7/5/13*

	DESIGNED BY: TIM JOHNSON		DESIGN & DRAFTING PHONE: 0401 783 898 FAX: 02 6280 6113 Unit 18 / 63 Wolfington St Fyshwick ACT	Client: PROPOSED NEW HOME ADAMAR INVESTMENT'S BLOCK 3 SECTION 80 CRACE ACT	Drawing: ELEVATION 4 SECTION A	Drawing No A05
No. Amendments	Date		DRAWN BY: TIM JOHNSON		Scale: 1:100 @ A3	Date: 22/04/13

1 of 1
AMENDED AMENDMENTS

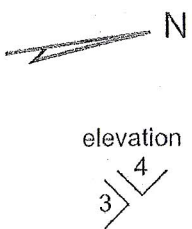
BUILDING APPROVAL
 Issued under s 28 of
 the Building Act 2004.

JOHN BATES
 Certifier Name
 Lic. No. 1988 4388
 I.A.C., I.O., I.O.B.
 BCA Occupancy Class
 BCA Type of Construction
 Issue date: 28.11.13

- AS CONSTRUCTED FLOOR LEVEL IS 597.07
- SINGLE CSD TO RUMPUS & RELOCATED LINES

© COPYRIGHT ARCHITECTURAL EVOLUTION

Note:
 Contractor must verify all dimensions on site before commencing any work or drawing shop drawings. Do not scale drawings.
 All work to be done in accordance with relevant Australian standards, Building code of Australia and local Authority's regulations. Execute all work in the best and most tradesmanlike manner and to the satisfaction of the superintendent. All dimensions in millimetres unless otherwise noted.



NOTES:
 - The development will comply with the ACT Environment Protection Authority, Environment Protection Guidelines for Construction and Land Development in the ACT, August 2007

WSUD
 - 2000L water tank to be connected to all downpipes
 - water tank to be connected to external tap and irrigation system where possible
 - all taps toilets, toilets, shower heads to be a minimum 4 star rating.

POS:
 A minimum of 50% of the private open space is to be retained as landscaping

NOTE: SURVEYER TO CHECK LEVELS BEFORE CONSTRUCTION

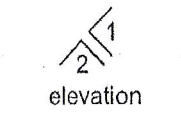
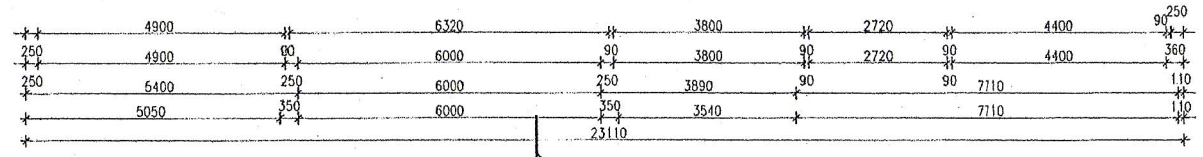
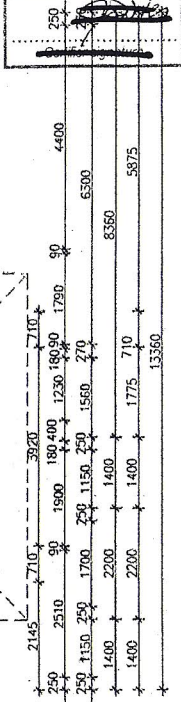
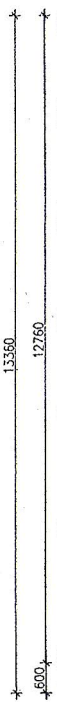
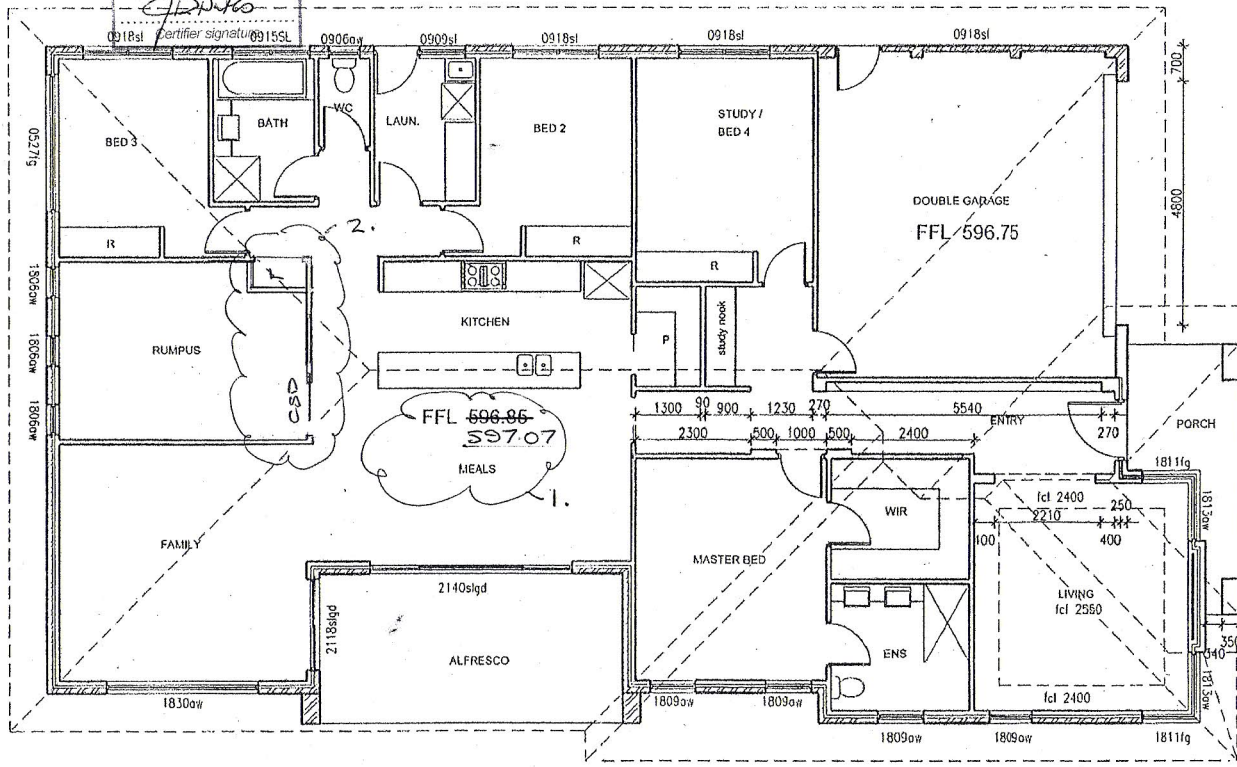
INSULATION
 R2.0 WALL INSULATION
 R4.0 CEILING INSULATION



Sign: _____
 Date: 7/5/14

AREAS:

BLOCK:	540.0m ²
LIVING:	226.8m ²
GARAGE:	40.7m ²
TOTAL EXC ALFRESCO:	267.5m²



BUILDING APPROVAL
 Issued under s 28 of
 the Building Act 2004.
JOHN BATES
 Certifier Name
 Lic. No. 1988 4388
 I.A.C., I.O., I.O.B.
 BCA Occupancy Class
 BCA Type of Construction
 Issue date: 28.11.13

No.	Amendments	Date	DESIGNED BY: TIM JOHNSON		DESIGN & DRAWING MOB: 0401 763 888 FAX: 02 6280 6113 Unit 16 / 63 Waterloo Rd Fishwick ACT	Client: PROPOSED NEW HOME ADAMAR INVESTMENTS BLOCK 3 SECTION 80 CRACE ACT	Drawing: FLOOR PLAN	Drawing No A02 Issue: D
			DRAWN BY: TIM JOHNSON					

Unit 11, Birubi Chambers,
 Hawker Place, Hawker
 P.O. Box 4038, Hawker,
 Canberra, A.C.T. 2614
 Telephone: (02) 6255 1188
 Facsimile: (02) 6255 1212
 Mobile: 0428 626 212
 Email: jan@jvengineer.com.au

Jan van der Veen
 MIE
 20 MAY 2013

ENGINEER'S DESIGN

Client: **ADA MAR INVESTMENTS**
 Project: **HOUSE**
 Block No: **3**
 Section No: **80**
 Suburb: **CRACE ACT.**

6 of 7

BUILDING APPROVAL
 Issued under s.28 of
 the Building Act 2004.

JOHN BATES
 Certifier Name

Lic. No. 1988 4388
 BCA Occupancy Class

1.4.13.10a, 10b
 BCA Type of Construction

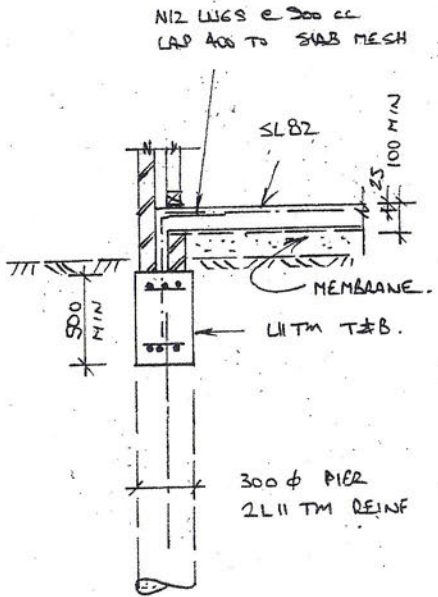
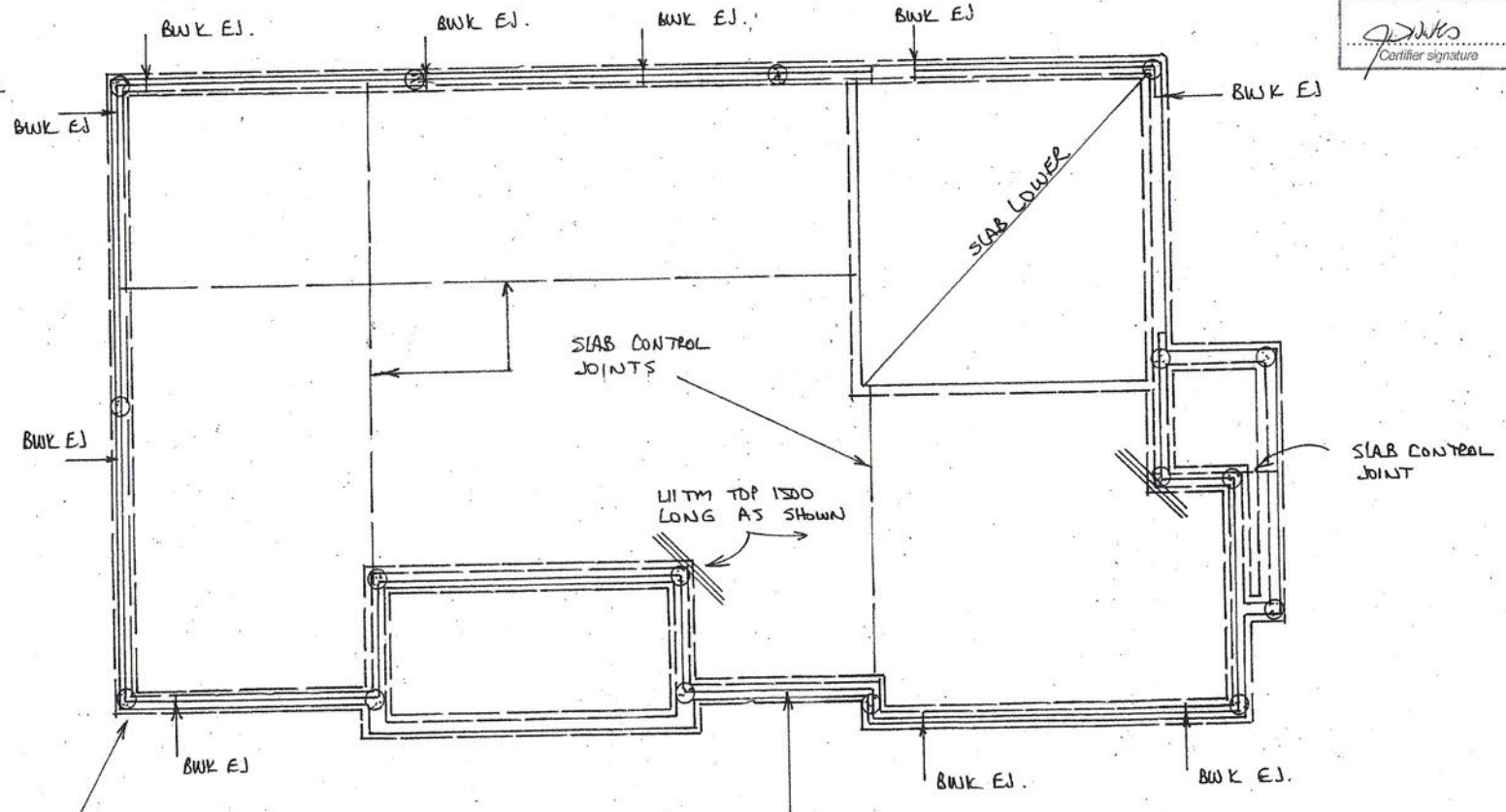
Issue date: 28 Oct 13

John Bates
 Certifier signature

FOOTING & SLAB PLAN

Scale 1:100
 See arch plan for setting out dimensions

- TYPE M, SITE CLASSIFICATION - FILL SITE**
 Site classification provided BY OTHERS.
- All footings 20MPa concrete strength.
 - Piers to firm gravelly soil formation.
 - Slabs 100 thick on PVC membrane on machine compacted granular fill. SL82 mesh. Use 25 MPa concrete.
 - Where fill over 450mm, 125mm slab. SL72 Top and Bottom 300 dia piers at +1500cc.



300φ PIERS - 2L11 TM REINF.
 TAKE PIERS DOWN TO HARD
 GRAVELLY ROCK FORMATION.

500x300 WIDE FOOTING
 L11 TM TOP & BOTTOM.
 N12 WGS @ 300cc.
 LAP 300 TO SLAB MESH.

FOOTING - SLAB DETAIL.

Note:
Contractor must verify all dimensions on site before commencing any work or drawing shop drawings. Do not scale drawings.

All work to be done in accordance with relevant Australian standards, Building code of Australia and local Authorities regulations. Execute all work in the best and most tradesmanlike manner and to the satisfaction of the superintendent. All dimensions in millimetres unless otherwise noted.

3 of 7

BUILDING APPROVAL
 Issued under s.28 of the Building Act 2004.

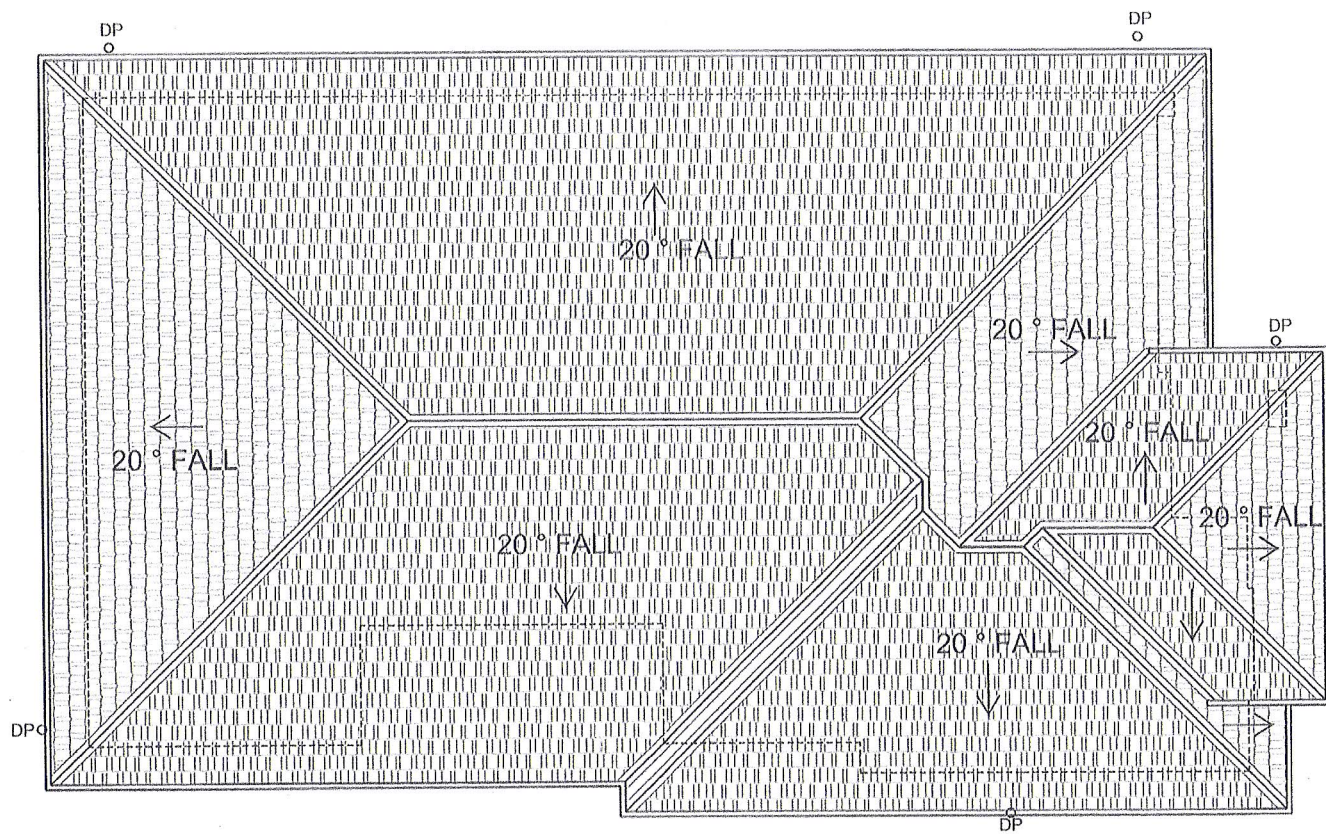
JOHN BATES
 Certifier Name

Lic. No. 1988 4388
 1.a.10, 10.a, 10.b.
 BCA Occupancy Class

BCA Type of Construction

Issue date: 28.04.13

J. Bates
 Certifier signature



750MM EAVES



Sign: _____
 Date: 7/5/13

No.	Amendments	Date	DESIGNED BY: TIM JOHNSON		DESIGN & DRAFTING MOB: 0101 783 886 FAX: 02 6280 6113 Unit 16 / 63 Wotonga St Fyshwick ACT	Client:	PROPOSED NEW HOME ADAMAR INVESTMENTS BLOCK 3 SECTION 80 CRACE ACT	Drawing:	ROOF PLAN Scale: 1:100 @ A3 Date: 22/04/13	Drawing No	A03
			DRAWN BY: TIM JOHNSON					ISSUE:		D	

Note:
Contractor must verify all dimensions on site before commencing any work or drawing shop drawings. Do not scale drawings.

All work to be done in accordance with relevant Australian standards, Building code of Australia and local Authorities regulations. Execute all work in the best and most tradesmanlike manner and to the satisfaction of the superintendent. All dimensions in millimetres unless otherwise noted.

Percentage Reduction	58%
Indoor Information	
Number of bedrooms in the house	4
What is the water rating of the shower head?	4.5star
What is the water rating of the clothes washing machine?	4.5star
What is the water rating of the dishwasher?	4.5star
What is the water rating of the toilet?	4.5star
Site Information	
Site area (m ²)?	540
Roof area (including house and garage or carport) (m ²)?	310
Rain water tank information	
Is there going to be a water tank installed?	Yes <input checked="" type="checkbox"/>
What is the size of the tank (L)?	2000 4000
What is the approx. roof area flowing into the tank (m ²)?	155
What will be the use for the water in the tank?	Garden, toilet and laundry <input checked="" type="checkbox"/>

NOTES:
- The development will comply with the ACT Environment Protection Authority, Environment Protection Guidelines for Construction and Land Development in the ACT, August 2007

WSUD
- 2000L water tank to be connected to all downpipes
- water tank to be connected to external tap and irrigation system where possible
- all taps toilets, toilets, shower heads to be a minimum 4 star rating.

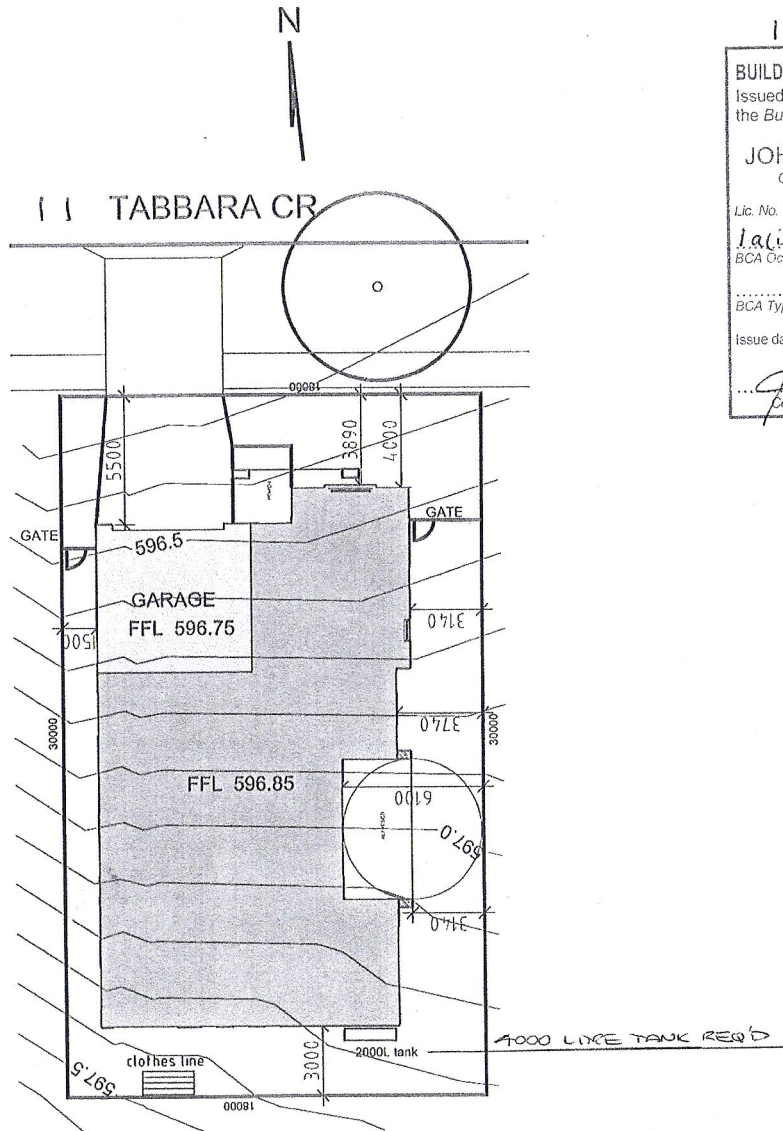
POS:
A minimum of 50% of the private open space is to be retained as landscaping

NOTE: SURVEYER TO CHECK LEVELS BEFORE CONSTRUCTION

INSULATION
R2.0 WALL INSULATION
R4.0 CEILING INSULATION

AREAS:
BLOCK: 540.0m²
LIVING: 226.8m²
GARAGE: 40.7m²
TOTAL EXC ALFRESCO: 267.5m²

PLOT RATIO - 49.53%



1 of 7

BUILDING APPROVAL
Issued under s.28 of the Building Act 2004.

JOHN BATES
Certifier Name

Lic. No. 1988 4388

1, 2, 3, 10a, 10b
BCA Occupancy Class

BCA Type of Construction

Issue date: 29.06.13.

J. Bates
Certifier signature

Refer to the Hydraulic Service within the Standard Servicing Conditions of the Crace Pattern Book for the requirement to install a SW inspection riser or sump with trafficable cover within lease boundary to satisfy Crace WSUD requirements.

Refer to information sheet on Services and Verge Management within the Crace Pattern Book on verge protection measures during construction of your home.

The height of site cuts at the boundary is restricted to a max. 1 metre with boundary retaining walls also not exceeded to 1 metre.

Paling/Colorbond site fencing and treated pine retaining walls must not extend beyond 1m behind the front building line. Where there is a Zero setback garage the fencing must terminate at the back of the garage, fencing is not permitted adjacent to Zero setback garages

Fences and Gates addressing street frontage are to be 50% transparent as per the Crace Pattern Book.

Front retaining wall to be stone, masonry or concrete blocks. Timber sleepers and cement look-a-like sleepers are not permitted beyond the building line.



APPROVED

Sign: _____
Date: 7.5.13

No.	Amendments	Date	DESIGNED BY: TIM JOHNSON		DESIGN & DRAFTING MOB: 0101 783 888 FAX: 02 6280 6113 Unit 16 F 63 Wentongong St Fyshwick ACT	Client: PROPOSED NEW HOME ADAMAR INVESTMENTS BLOCK 3 SECTION 80 CRACE ACT	Drawing: SITE PLAN	Drawing No A01 Issue: D
			DRAWN BY: TIM JOHNSON		Scale: 1:200 @ A3	Date: 22/04/13		

VOICE APPROVED

Sign: _____
Date: 18.1.12

5 of 9

BUILDING APPROVAL
Issued under s.28 of
the Building Act 2004.

JOHN RATES
Certifier

Lic. No. 1988 4388
1.a(i), 10a, 10b.
BCA Occupancy Class

BCA Type of Construction

Issue date: 14.04.12

J. Rates
Certifier signature

VERGE MANAGEMENT NOTES

METAL VERGE OR SHED IRON FENCE SUPPORTED BY SLOTTED TAIL STAR STEEL POSTS AROUND VERGES AND EXPOSED RETAINED VEGETATION.

REFER TO THE DRAWING ON COMPLETION OF THE WORK AND REMOVED AT COMPLETION OF CONSTRUCTION AND COMMENCEMENT OF VERGE RESTORATION. THE VERGE IS TO REMAIN CONTIGUOUS THROUGHOUT PROJECT, EXCEPT WHERE APPOINTED SERVICES INTERRUPTED OCCURS.

DIAGNOSE APPROPRIATE VERGE IS APPLIED TO THE ROOT ZONE OF RETAINED TREES THROUGHOUT THE CONSTRUCTION PERIOD.

ALL WORK IS TO BE IN ACCORDANCE WITH THE 'CANBERRA LANDSCAPE GUIDELINES' & THE BASIC SPECIFICATIONS FOR PUBLIC OPENSPACE AND LANDSCAPE, JULY 1991.

PLANT ROOT CUT SHOULD BE EXPOSED AROUND VERGE, PERMITTING AS PER BASIC SPECIFICATIONS.

IT IS THE RESPONSIBILITY OF THE INFLUENCER TO ENSURE THAT ANY INTERFERENCES TO THE VERGE GROUND COVER, TREES, PATHS, VERGES, ROAD WORK OR SERVICES REMAINS FROM OTHER CONSTRUCTION WORKS OR STORAGE OF MATERIALS/MATERIALS WITHIN THE CONSTRUCTION WORKS ARE REFERRED TO THE SUPERVISOR OF RELEVANT AUTHORITIES.

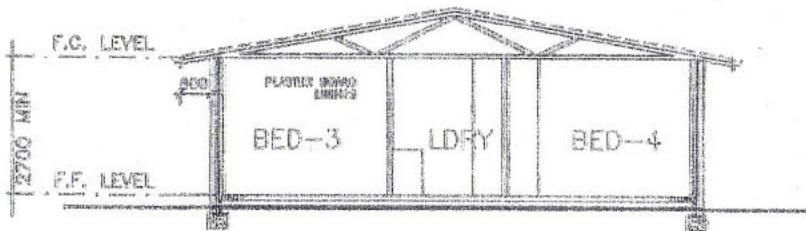
AT THE COMPLETION OF CONSTRUCTION, VERGE SHOULD STILL HAVE ESTABLISHED RECYCLING GRASS COVER. TOPSOIL IS NOT TO BE APPLIED AND LEVELS NOT TO BE CHANGED.

NO SOIL PILING OR SUBSEQUENT DISTURBANCE PERMITTED ON VERGES OR UNDER CANOPY OF RETAINED TREES.

NO FEE SHEETS, STORAGE WARE, SOIL PILES OR HELICOPTERS TO BE LOCATED ON VERGES OR UNDER CANOPY OF RETAINED TREES.

NO CONSTRUCTION MATERIALS TO BE STORED ON VERGES OR UNDER CANOPY OF RETAINED TREES.

COLOURBOND METAL ROOFING
ON STANDARD A-TYPE ROOF TRUSSES
AT 10.0 DEGREE PITCH TO MANUFACTURERS SPEC.



SLAB AND FOOTINGS TO
ENGINEERS SPECIFICATION
AND AS 2870.1

SECTION

NOTES:

- *1800mm HIGH TIMBER PALING FENCING TO HALF SIDE AND REAR BOUNDARIES
- *ALL LEVELS, SITE CUTS, GROUND LEVELS, FFLs TO BE CONFIRMED ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORKS. (INCL. DRIVEWAY LEVELS)
- *ANY DISCREPANCIES TO BE DIRECTED TO BUILDER IMMEDIATELY.
- *INDICATIVE CLOTHES DRYING AREA TO BE CONFIRMED BY CLIENT.
- *STORMWATER DETAILS TO BE CONFIRMED WHEN THE INFORMATION AVAIL.
- *INCLUSIONS LIST TO TAKE PRECEDENCE OVER DRAWINGS.

GENERAL NOTES

CARRY OUT ALL WORK IN COMPLIANCE WITH THE RELEVANT SAA CODES OF PRACTICE IN THE BEST TRADESMAN-LIKE MANNER TO THE APPROVAL OF THE SUPERINTENDENT AND AUTHORITIES HAVING JURISDICTION OVER THE WORKS INCLUDING BUT NOT RESTRICTED TO:

- A) ACT GOVERNMENT
- B) BUILDING CODE OF AUSTRALIA AND THE ACT APPENDIX
- C) ACT ELECTRICITY AND WATER
- D) ASTORA TIMBER FRAMING CODE AND AS FURTHER SPECIFIED.

ALL DIMENSIONS MUST BE VERIFIED ON SITE BEFORE COMMENCING ANY WORK OR BOOKING ANY SHOP DRAWINGS.

USE DIMENSIONED DIMENSIONS ONLY. DO NOT SCALE OFF THE DRAWING.

SUBJECT TO CERTAIN EASEMENT LOCATIONS PRIOR TO COMMENCEMENT OF ANY WORKS.

DESIGN ILLUSTRATED SUBJECT TO COPYRIGHT. ALL RIGHTS RESERVED

AXIS DESIGN & DRAFTING ACCEPTS NO RESPONSIBILITY OR LIABILITY FOR ANY STRUCTURAL COMPONENTS, NOTATION OR ACCURACY OF DOCUMENTATION HEREIN. CLIENT / BUILDERS ACCEPTS PLANS & RESPONSIBILITIES ONCE PLANS ARE SUBMITTED FOR APPROVALS.



Axis Design and Drafting

PH. 024219550 FAX 024219551
UNIT 1/38 EIGHTHON ST MATHELL ACT

PROJECT
PROPOSED NEW WORK

BLOCK: 4
SECTION: 80
DIVISION: CRACE

FOR **Sch 2 2.2(a)(ii)**

DRAWING TYPE
WORKING DRAWINGS

DRAWN BY ZELJKO	CHECKED BY
DATE 24.9.2012	SCALE 1:100

DRAWING NO.	SCALE
	1

6 of 9

BUILDING APPROVAL
 Issued under s.28 of
 the Building Act 2004.

JOHN GATES
 Lic. No. 19884333

1.2.13, 10a, 10b
 BCA Occupancy Class

BCA Type of Construction

Issue date: 14 Oct 13

John Gates
 Certifier signature

Meter box to be installed to
 Actew AGL Service and
 Installation Rules

Driveway to abut
 footpath. Footpath to
 take precedence over
 driveway.

Driveway Requirements

- 1.2m horizontally clear of stormwater sumps and services
- 1.5m horizontally clear of transformers, bus stops, light poles
- uphill grade of less than 17%; downhill grade of less than 12%
- at a right angle to the kerb line with a maximum 10% deviation
- a maximum of 5.5m width, and minimum of 5m width at the kerb, a minimum 3m width at the front boundary, and a maximum width no greater than the width at kerb
- outside of the drip line of mature trees, and a minimum of 3m clear of small and new street trees
- compliant with AS2890.1

BCA Requirement 3.12.5.5 - Artificial lighting must not exceed 5W/m²

BUSHFIRE MITIGATION MEASURES - IF REQUIRED
 BUSHFIRE ATTACK LEVEL 12.5 (BAL-12.5) IN ACCORDANCE WITH
 AUSTRALIAN STANDARD 3959-2009

CONSTRUCTION FOR BUSHFIRE ATTACK LEVEL 12.5 (BAL-12.5)
 A building assessed in section 2 as being BAL-12.5 shall comply with Australia Standards Section 3 and Clauses 5.2 to 5.8
 Note: there are a number of Standards that specify requirements for construction; however, where this Standard does not provide construction requirements for a particular element, the other Standards apply

Stabilised access point in
 accordance with the ACT
 Environment Protection Authority,
 Environment Protection Guidelines for
 Construction and Land Development in
 the ACT, August 2007

R87 - A minimum of 50% of the Private Open Space is to
 be retained as planting area

WSUD needs to comply with the following -
 Blocks 300m²-500m²
 - 2000 litre water tank
 - connected to 50% or 75m² of roof area
 - tank connected to at least toilet, laundry and garden tap
 Blocks 500m²-800m²
 - 4000 litre water tank
 - connected to 50% of 100m² of roof area
 - tank connected to at least toilet, laundry and garden tap
 Blocks greater than 800m²
 - 10000 litre water tank
 - connected to 50% of 125m² of roof area
 - tank connected to at least toilet, laundry and garden tap
 OR
 In accordance with attached Water Reduction Calculation Spreadsheet.

Erosion and Sediment Control Plan/Site Plan

- Maintain as many grassed areas as possible particularly on the verges to trap soil before it reaches the roadway and stormwater system. Fence off undisturbed areas.
- Use only one exit/entry to the site. Build a stabilised access point by using road base, 50mm aggregate, recycled concrete or similar.
- Assign a designated parking area
- Limit access to the site during and immediately after wet weather
- Keep stockpiles within the site area and away from the stormwater system
- Install onsite waste collection
- Regularly remove any sediment from roads adjacent to you site. Do not wash into the stormwater system
- Install a sediment control barrier of geotextile fabric on the low side/s of the block
- Designate a brick cutting and washing area away from stormwater drains. Ensure the area is large enough to contain all excess water, residues and waste
- Regularly check and maintain pollution controls throughout construction

GENERAL NOTES

CARRY OUT ALL WORK IN COMPLIANCE WITH THE RELEVANT SAA CODES OF PRACTICE IN THE BEST TRADESMAN-LIKE MANNER TO THE APPROVAL OF THE SUPERINTENDENT AND AUTHORITIES HAVING JURISDICTION OVER THE WORKS INCLUDING BUT NOT RESTRICTED TO:

- ACT GOVERNMENT
- BUILDING CODE OF AUSTRALIA AND THE ACT APPENDIX
- ACT ELECTRICITY AND WATER
- AS1684 TIMBER FRAMING CODE

AND AS FURTHER SPECIFIED.

ALL DIMENSIONS MUST BE VERIFIED ON SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.
 USE FIGURED DIMENSIONS ONLY. DO NOT SCALE OFF THE DRAWING
 SURVEYOR TO CONFIRM EASEMENT LOCATIONS PRIOR TO COMMENCEMENT OF ANY WORKS.

DESIGN ILLUSTRATED SUBJECT TO
 COPYRIGHT. ALL RIGHTS RESERVED

AXIS DESIGN & DRAFTING ACCEPTS NO RESPONSIBILITY OR LIABILITY FOR ANY STRUCTURAL COMPONENTS, NOTATION OR ACCURACY OF DOCUMENTATION HEREIN. CLIENT / BUILDERS ACCEPTS PLANS & RESPONSIBILITIES ONCE PLANS ARE SUBMITTED FOR APPROVALS.



Axis Design and Drafting
 PH. 62429550 FAX 62429661
 UNIT 1/38 ESSINGTON ST MITCHELL ACT

PROJECT
PROPOSED NEW WORK

BLOCK: 4
 SECTION: 80
 DIVISION: CRACE

FOR
Sch 2 2.2(a)(ii)

DRAWING TITLE
WORKING DRAWINGS

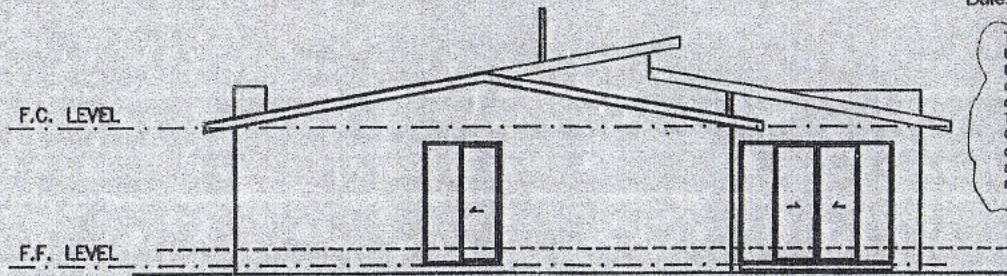
DRAWN BY ZELJKO	CHECKED BY
DATE 11.1.2013	SCALE 1:100

DRAWING No.	ISSUE
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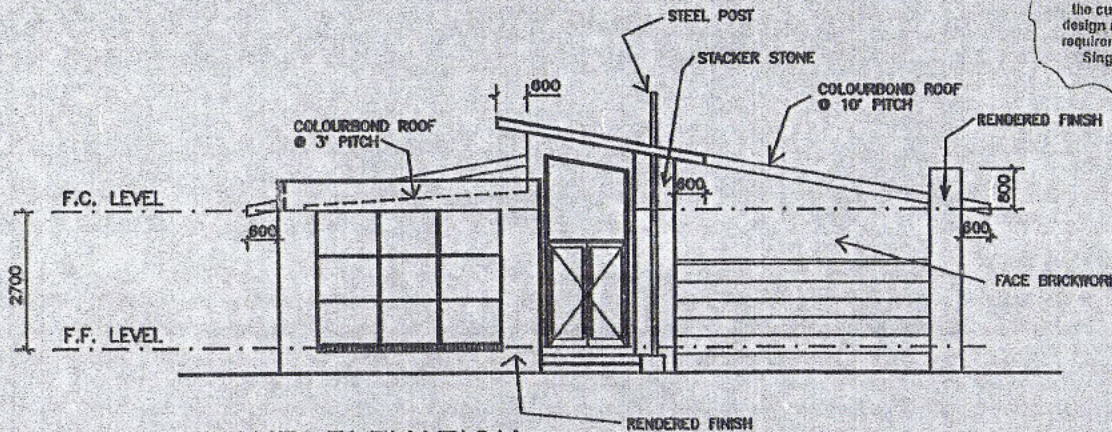


Sign: *[Signature]*
Date: 14/10/12

The design has been checked against the requirements of the Grace Pattern Book. It is the builder's responsibility to ensure that all requirements and conditions are met in relation to the Territory Plan Single Housing Dwelling Code. The developer's approval is not an endorsement of the design meeting all applicable and relevant Territory Plan requirements



BACK ELEVATION



FRONT ELEVATION

Building envelope has not been submitted with the design. Approval of the current design is subject to the design meeting the Building envelope requirements within the Territory Plan Single Housing Dwelling Code.

3 of 3

BUILDING APPROVAL
Issued under s.28 of the Building Act 2004

JOHN BATES
Certifier Name
Lic. No. 1988-4388
1.a(ii), 10.a., 10.b.
BCA Occupancy Class

BCA Type of Construction

Issue date: 14/10/12

[Signature]
Certifier signature

GENERAL NOTES
CARRY OUT ALL WORK IN COMPLIANCE WITH THE RELEVANT SAA CODES OF PRACTICE IN THE BEST TRADESMAN-LIKE MANNER TO THE APPROVAL OF THE SUPERINTENDENT AND AUTHORITIES HAVING JURISDICTION OVER THE WORKS INCLUDING BUT NOT RESTRICTED TO:

- A) ACT GOVERNMENT
- B) BUILDING CODE OF AUSTRALIA AND THE ACT APPENDIX
- C) ACT ELECTRICITY AND WATER
- D) AS1684 TIMBER FRAMING CODE AND AS FURTHER SPECIFIED.

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SURVEYOR TO CONFIRM EASEMENT LOCATIONS PRIOR TO COMMENCEMENT OF ANY WORKS.

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Axis Design and Drafting
PH. 02429550 FAX 02429861
UNIT 1/36 ESSINGTON ST MITCHELL ACT

PROJECT
PROPOSED NEW WORK

BLOCK: 4
SECTION: 80
DIVISION: CRACE

FOR **Sch 2 2.2(a)(ii)**

DRAWING TITLE
WORKING DRAWINGS

DRAWN BY ZELJKO	CHECKED BY
DATE 24.9.2012	SCALE 1:100

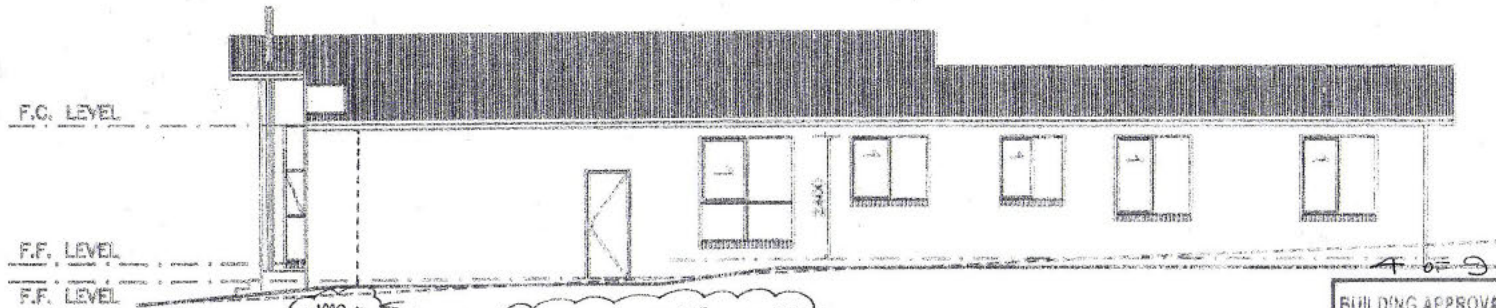
DRAWING NO.	ISSUE
	1

SHEET OF

CRACE APPROVED
with conditions

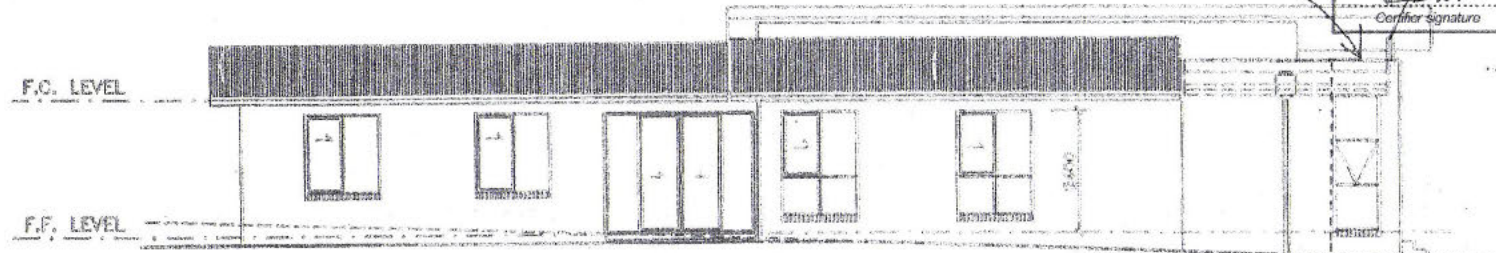
Sign: *[Signature]*

Date: 18/1/2012



RIGHT ELEVATION

ENSURE RENDER WRAPS
A MINIMUM OF 1 METRE
TO AVOID 'STUCK ON'
LOOK



LEFT ELEVATION

BUILDING APPROVAL
Issued under s 28 of
the Building Act 2004.

JOHN BATES
Certifier - Varies

Lic. No. 1988 4388

1a (i), 10a, 10b
BCA Grouping Class

BCA Type of Construction

Issue date: 17/02/13

[Signature]
Certifier signature

GENERAL NOTES

CARRY OUT ALL WORK IN COMPLIANCE WITH THE RELEVANT SAA CODES OF PRACTICE IN THE BEST TRADESMAN-LIKE MANNER TO THE APPROVAL OF THE SUPERINTENDENT AND AUTHORITIES HAVING JURISDICTION OVER THE WORKS INCLUDING BUT NOT RESTRICTED TO:

- A) ACT GOVERNMENT
- B) BUILDING CODE OF AUSTRALIA AND THE ACT APPENDIX
- C) ACT ELECTRICITY AND WATER
- D) AS1804 TIMBER FRAMING CODE AND AS FURTHER SPECIFIED.

ALL DIMENSIONS MUST BE VERIFIED ON SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.
USE FIGURED DIMENSIONS ONLY. DO NOT SCALE OFF THE DRAWING
SURVEYOR TO CONFIRM EASEMENT LOCATIONS PRIOR TO COMMENCEMENT OF ANY WORKS.

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AXIS

Axis Design and Drafting
PH. 62429550 FAX 62429651
UNIT 1/36 ESSINGTON ST MITCHELL ACT

PROJECT
PROPOSED NEW WORK

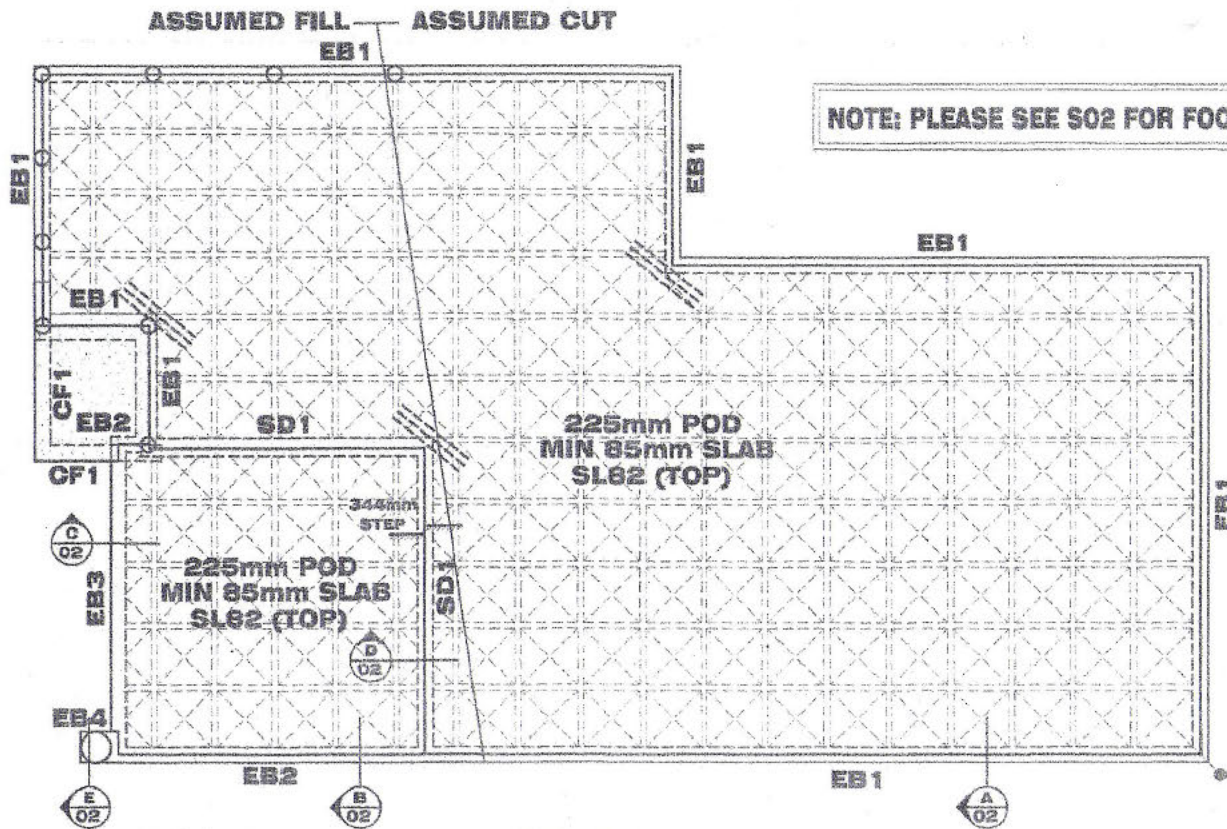
BLOCK: 4
SECTION: 80
DIVISION: CRACE

FOR
Sch 2 2.2(a)(ii)

DRAWING TITLE
WORKING DRAWINGS

DRAWN BY ZELJKO	CHECKED BY
DATE 14.9.2012	SCALE 1:100

DRAWING No. SHEET OF **1**



FOOTING & SLAB LAYOUT
SCALE = 1 : 100

WAFFLE SLAB PLAN

"M" CLASS

LEGEND

- 1 STANDARD 1090X1090 POD
- 3N12 OR 3L11 TM, 2000mm LONG, TIED TO UNDERSIDE OF SLAB MESH
- 300mm DIA CONCRETE PIERS TO MIN 500mm INTO NATURAL GROUND
- 500mm DIA CONCRETE PIERS TO MIN 600mm INTO NATURAL GROUND
- DENOTES STARTING POINT FOR POD LAYOUT.

NOTES

ALL WORK CARRIED OUT, AND MATERIALS USED IN RELATION TO THIS WAFFLE SLAB DESIGN IS TO BE IN ACCORDANCE WITH CURRENT AUSTRALIAN STANDARDS.

ALL VEGETATION AND TOP SOIL IS TO BE REMOVED WITHIN BUILDING ENVELOPE, BEARING STRATA TO BE UNIFORM THROUGHOUT BUILDING PLATFORM AND IS TO BE ROLLED AND PREPARED IN ACCORDANCE WITH A.S 3796.

ALL FOOTINGS ARE TO BE FOUNDED ON NATURAL GROUND AND ALL BRICK WORK & DRAINAGE IS TO BE ARTICULATED TO COMPLY WITH THE CURRENT B.C.A.

BUILDER IS TO ISSUE CSIRO REPORT TO HOME OWNER GUIDE TO HOMEOWNERS ON FOUNDATION MAINTENANCE AND FOOTING PERFORMANCE.

NOTE: THE LONG TERM SITE MANAGEMENT & MAINTENANCE OF THIS PROPERTY MUST BE IN ACCORDANCE WITH APPENDIX B OF AS2670-2011. THIS MAINTENANCE IS THE RESPONSIBILITY OF THE HOME OWNER (REFER TO CSIRO BROCHURE - FOUNDATION MAINTENANCE & FOOTING PERFORMANCE: A HOMEOWNER'S GUIDE)

NOTE: BUILDER TO CONFIRM SEWER DOES NOT AFFECT DWELLING BEFORE COMMENCING WORK ONSITE. CONTACT THIS OFFICE IF OTHERWISE

NOTE: BUILDER TO CONFIRM EASEMENT DOES NOT AFFECT DWELLING BEFORE COMMENCING WORK ONSITE. CONTACT THIS OFFICE IF OTHERWISE

7 of 9

BUILDING APPROVAL
Issued under s.28 of the Building Act 2004.

JOHN BATES
Lic. No. 1988 4388
1. a1, 10a, 10b
BCA Occupational Class

BCA Type of Construction

Issue date: 14.04.13

J. Bates
Certifier signature

STEELWORK NOTES

ALL STRUCTURAL STEELWORK IS TO BE IN ACCORDANCE WITH THE CURRENT A.S. CODES.

ALL COLUMN PIPES, SQUARE HOLLOW SECTIONS, RECTANGULAR WELDED SECTIONS TO BE GRADE 300.

ALL REMAINING STRUCTURAL STEEL TO BE GRADE 300 EXCEPT PLATES TO BE GRADE 250 UJAC.

ALL WELDS (UNLESS OTHERWISE NOTED), TO BE 50% CONTINUOUS FULL.

ALL WELD JOINTS TO BE FULL SEE CP CONNECTIONS PARTS.

ALL STRUCTURAL STEELWORK IS TO BE GIVEN ONE COAT OF ZINC CHROMATE PRIMER BEFORE LEAVING THE WORKSHOP.

IF NOT CONCRETE REINFORCED, REMOVE ALL MILL SCALE, RUST AND DIRT BEFORE PAINTING.

ALL CONCRETE ENCASED STEELWORK IS TO BE WRAPPED WITH 2.5MM GAUGE 'MESH' (WOUND STRIPS OR EQUIVALENT) AND IS TO HAVE A MIN 20MM COVER ALL AROUND.

GRUNT WASH ALL CONCRETE ENCASED STEELWORK.

WHERE BRICK WALLS ABUT OR PASS THROUGH WALLS OR POINTS FABRIC BRICKS TO SPACINGS EVERY 4 BRICK COURSES.

CONCRETE NOTES

TYPE A CEMENT TO BE USED IN ALL CONCRETE.

ALL CONCRETE WORK TO BE IN ACCORDANCE WITH THE CURRENT A.S. CODES.

CONCRETE PD TO BE 20 MPa FOR PERIS, SUB-FLOORS AND SLABS ON GROUND, 25 MPa FOR REMAINDER UJAC.

CONCRETE PILING TO WALLS TO BE 20 MPa WITH 10MM AGGREGATE AND 50MM SLUMP.

*R REFERS TO PLAN, ROUND STRUCTURAL GRADE BATH WITH 10% = 25 MPa.

*N REFERS TO COMPLETE GRADE REINFORCING BARS WITH 10% = 25 MPa.

*MESH REFERS TO DIMENSION HIGH TENSILE WELDED WIRE MESH WITH 10% = 250 MPa.

LAP ALL BARS TO MANUFACTURERS SPECIFICATIONS.

STINGER LAPS IN SLABS TO PREVENT FOUR THICKNESS OF FABRIC OCCURRING IN EITHER TOP OR BOTTOM REINFORCEMENT.

CONCRETE COVER TO MATCH REINFORCEMENT TO RESTRICT FOOTINGS AND FOOTING BEAMS, BUT AROUND TOP AND SIDES 50MM, OCCURRING ALL AROUND 50MM.

CONCRETE BEAMS: ALL ROUND 40MM SLABS ON COMPACTED FILL TOP 20MM.

ALL INTERNAL B.S. SPANDED SLAB AND STAIRS: TOP AND BOTTOM 20MM EXPOSURE CLASSIFICATION ALL.

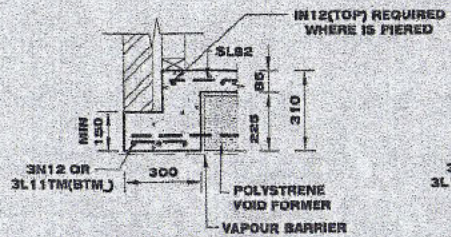
ALL EXTERNAL SUSPENDED SLABS AND STAIRS: TOP AND BOTTOM 20MM EXPOSURE CLASSIFICATION ALL.

SLAB THICKNESS DOES NOT INCLUDE FLOOR FINISH.

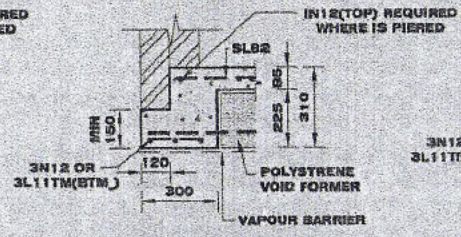
ALL CONCRETE TO BE PLACED USING VIBRATORS.

BRICKWORK SUPPORTING SLABS: TO HAVE A 10MM PROOF MEMBRANE BETWEEN THE BRICKWORK AND THE CONCRETE, WHERE CONCRETE SLABS ABUT BRICK WALLS PLACE 10MM BRICKWORK DANGER BETWEEN THE TWO SURFACES. 40MM MAX COMPACTED FILL UNDER SLABS, TO BE SET TO WHERE ALL EXCESS 40MM IN DEPTH BEG ENGINEERING ADVICE FOR BARS AND SLAB REINFORCEMENT DETAILS.

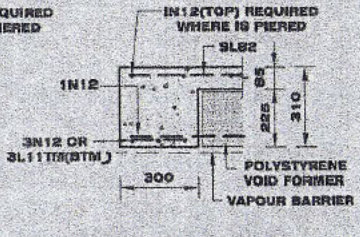
ISSUE DESCRIPTION	DATE	CHECKED
PIERRE DRAGH CONSULTING ENGINEERS email: pdragh@gmail.com PO BOX 336 HALL ACT 2618 Ph: 0438 625 440		
CLIENT	Sch 2.2.2(a)(ii)	
PROJECT	PROPOSED NEW WORK BLOCK 4 SECTION 60 CRACE	
TITLE	FOOTING & SLAB LAYOUT	
DESIGNED BY	NO.	SCALE
DRAWN BY	NO.	AS SHOWN @ A3
AUTHORISED	NO.	JOB NO.
		DRAWING NO.
		10-02-2013
		S01 OF 03



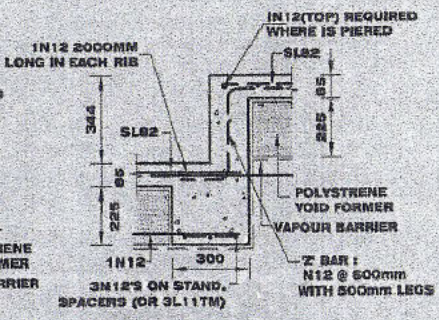
BEARING ONTO NATURAL STRATA OR PIERS(SEE NOTES)
STANDARD EDGE BEAM EB1
SECTION A
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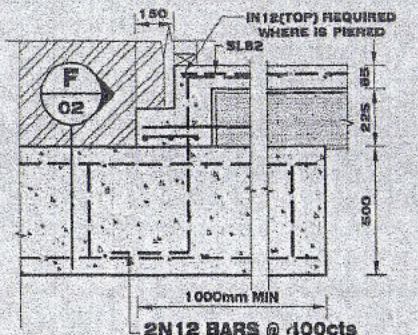
BEARING ONTO NATURAL STRATA OR PIERS(SEE NOTES)
STANDARD EDGE BEAM EB2
SECTION B
 SCALE = 1:20



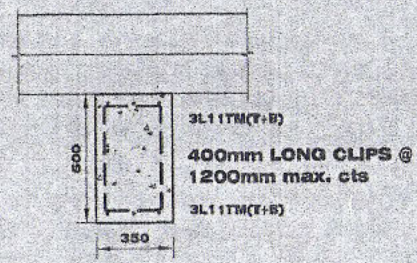
BEARING ONTO NATURAL STRATA OR PIERS(SEE NOTES)
STANDARD EDGE BEAM EB3
SECTION C
 SCALE = 1:20



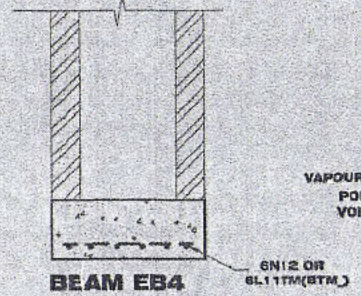
BEARING ONTO NATURAL STRATA OR PIERS(SEE NOTES)
344mm STEPDOWN BEAM SD1
SECTION D
 SCALE = 1:20



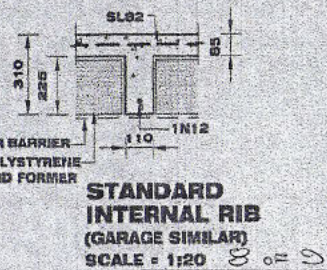
BEARING ONTO NATURAL STRATA OR PIERS(SEE NOTES)
TYPICAL CANTILEVERED FOOTING CF1
 SCALE = 1:20



SECTION F
 SCALE = 1:20



BEAM EB4
SECTION G
 SCALE = 1:20



STANDARD INTERNAL RIB (GARAGE SIMILAR)
 SCALE = 1:20

BUILDING APPROVAL
 Issued under s.28 of the Building Act 2004.

JOHN BATES
 Lic. No. 1339 4388
 1a(i), 10a, 10b
 BCA Occupancy Class

BCA Type of Construction

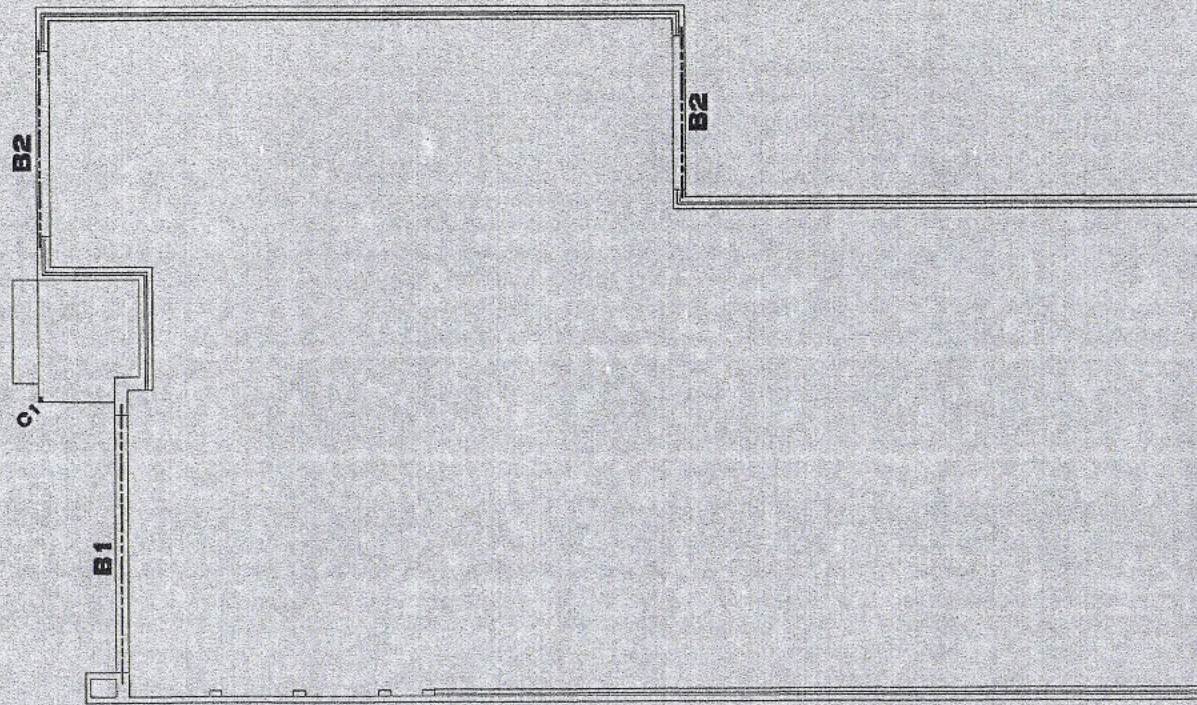
Issue date: 14/10/13

J.D.D.
 Partner signature

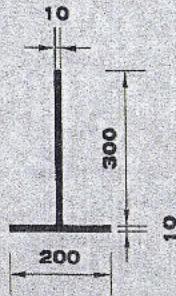
STEELWORK NOTES
 ALL STRUCTURAL STEELWORK IS TO BE IN ACCORDANCE WITH THE CURRENT A.S. CODES.
 ALL CIRCULAR PIPES, SQUARE AND RECTANGULAR HOLLOW SECTIONS TO BE GRADE 300 PLATES TO BE GRADE 300.
 ALL REMAINING STRUCTURAL STEEL TO BE GRADE 300 EXCEPT PLATES TO BE GRADE 300.
 ALL WELDS (UNLESS OTHERWISE NOTED) TO BE BMM (CONTINUOUS JOINTS).
 ALL BUTT WELDS TO BE FULL SIZE OF CONNECTING PARTS.
 ALL STRUCTURAL STEELWORK IS TO BE GIVEN ONE COAT OF ZINC-DIPRIMATE PRIMER BEFORE LEAVING THE WORKSHOP.
 SPIND CONCRETE ENCASED STEELWORK TO BE PAINTED.
 REMOVE ALL OIL, GREASE, RUST AND DIRT BEFORE PAINTING.
 ALL CONCRETE ENCASED STEELWORK IS TO BE WRAPPED WITH 300MM GAUGE WELLS AT 100MM CENTRES OR EQUIVALENT AND IS TO HAVE A MIN. COVER OVER ALL JOINTS.
 CEMENT WASH ALL CONCRETE ENCASED STEELWORK WHERE STEEL WELLS ARE AT 100MM STANCHIONS WELD OR POWER FASTENERS TO BE 100MM LONG EVERY 600MM COARSE.

CONCRETE NOTES
 TYPE & COVER TO BE USED IN ALL CONCRETE.
 ALL CONCRETE WORK TO BE IN ACCORDANCE WITH THE CURRENT A.S. CODES.
 CONCRETE TO BE 30 MPa FOR FLOORS, STIFF FOOTINGS AND SLABS ON AND UNDER STAIRS FOR REINFORCED I.L.D.
 CONCRETE FILLING TO WALLS TO BE 10MPa WITH 10MM AGGREGATE AND 30MM S.W.P.
 * REFER TO PLAN AND STRUCTURAL GARAGE SLAB WITH PSY @ 200MM.
 * REFER TO 500MM GRADE REINFORCING BARS WITH PSY @ 200MM.
 * REFER TO 500MM HIGH TENSILE WELDED WIRE MESH WITH PSY @ 200MM.
 LAP ALL FABRIC TO MANUFACTURERS SPECIFICATIONS.
 STAGGER LAPS BY FACING TO PREVENT FOUR THICKNESSES OF FABRIC OCCURRING IN EITHER TOP OR BOTTOM REINFORCEMENT.
 CONCRETE COVER TO MAIN REINFORCEMENT TO BE: STIFF FOOTINGS AND FOOTING BEAMS: 60MM MIN. TOP AND BOTTOM. COLLARS: ALL AROUND 20MM. CONCRETE BEAMS: ALL ROUND 40MM. SLABS ON COMPACTED FILL: TOP-20MM.
 ALL INTERNAL SUSPENDED SLABS AND STAIRS: TOP AND BOTTOM - 20MM (EXPOSURE CLASSIFICATION A1).
 ALL EXTERNAL SUSPENDED SLABS AND STAIRS: TOP AND BOTTOM - 30MM (EXPOSURE CLASSIFICATION A2).
 SLAB THICKNESS DOES NOT INCLUDE FLOOR FINISH.
 ALL JOINTS TO BE REINFORCED USING VISITORS.
 BRICKWORK SUPPORTING SLABS TO HAVE A DAMP PROOF MEMBRANE BETWEEN THE BRICKWORK AND THE CONCRETE.
 WHERE CONCRETE SLAB ADJUT BRICK WALLS PLACE 10MM RILMILKUS DARNITE BETWEEN THE TWO SURFACES. 10MM MAX. COMPACTED FILL UNDER SLABS TO AS-2870 WHERE FILL EXCEEDS 100MM IN DEPTH SEEK ENGINEERING ADVICE FOR PIERS AND SLAB REINFORCEMENT DETAILS.

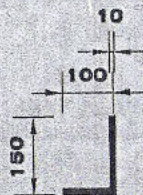
ISSUE DESCRIPTION	DATE	CHECKED
PIERRE DRAGH CONSULTING ENGINEERS email: pdragh@gmail.com PO BOX 336 HALL ACT 26 18 Ph 0439 825 440		
CLIENT	Sch 2.2.2(a)(ii)	
PROJECT	PROPOSED NEW WORK BLOCK 4 SECTION 80 CRACE	
TITLE	FOOTING DETAILS	
DRAWN BY	SCALE	AS SHOWN @ A3
AUTHORISED	JOB NO.	
EB-02-2013	DRAWING NO.	S02 OF 03



ROOF BEAM LAYOUT
SCALE = 1 : 100



BEAM B1
300X200X10
T section
SCALE 1:10



BEAM B2
150X100X10 UA
SCALE 1:10

MEMBER SCHEDULE		
MARK	SIZE	REMARKS
B1	300X200X10	T - SECTION
B2	150X100X10 UA	-
C1	89X89X6 SHS	-

9 of 9

BUILDING APPROVAL
Issued under s 23 of
the Building Act 2004.

JOHN BATES
Lic. No. 19884388
I.a.(i), 10a., 10b.
BCA Occupancy Class

BCA Type of Construction

Issue date: 14/10/13

[Signature]
Certifier signature

STEELWORK NOTES

ALL STRUCTURAL STEELWORK IS TO BE IN ACCORDANCE WITH THE CURRENT A.S. CODES.
ALL CIRCULAR PIPES, SQUARE HOLLOW SECTIONS, RECTANGULAR HOLLOW SECTIONS TO BE GRADE 300.
ALL REMAINING STRUCTURAL STEEL TO BE GRADE 300 EXCEPT PLATES TO BE GRADE 250 U/LC.
ALL WELDS (UNLESS OTHERWISE NOTED) TO BE 8MM CONTINUOUS FILLET.
ALL BUTT WELDS TO BE FULL SIZE OF CONNECTING PARTS.
ALL STRUCTURAL STEELWORK IS TO BE GIVEN ONE COAT OF ZINC CHROMATE PRIMER BEFORE LEAVING THE WORKSHOP.
IF HOT CONCRETE IS REQUIRED,
REMOVE ALL RUST, SCALE, RUST AND GREASE BEFORE PAINTING.
ALL CONCRETE ENCASED STEELWORK IS TO BE WRAPPED WITH 300MM GAUGE WIRE AT 100MM CENTRES OR EQUIVALENT AND IS TO HAVE A MIN. 25MM COVER ALL AROUND.
CEMENT WASH ALL CONCRETE ENCASED STEELWORK WHERE BRICK WALLS ABUT OR PASS BRACKERS WELD OR POWER FASTEN BRICK TIES TO BRACKERS EVERY 6 BRICK COURSES.

CONCRETE NOTES

TYPE A CONCRETE TO BE USED IN ALL CONCRETE.
ALL CONCRETE WORK TO BE IN ACCORDANCE WITH THE CURRENT A.S. CODES.
CONCRETE FC TO BE 20 MPa FOR BEAMS, STRIP FOOTINGS AND SLABS ON GROUND, 25MPa FOR REMAINING U/LC.
CONCRETE FILL TO WALLS TO BE 20MPa WITH 10MM AGGREGATE AND 89MM SLUMP.
"R" REFERS TO PLAIN ROUND STRUCTURAL GRADE BARS WITH FSY = 250MPa.
"Y" REFERS TO 200PLUS-GRADE REINFORCING BARS WITH FSY = 300MPa.
"FABRIC" REFERS TO 0.5MESH HIGH TENSILE WELDED WIRE MESH WITH FSY = 200MPa.
LAP ALL FABRIC TO MANUFACTURERS SPECIFICATIONS.
STAGGER LAPS IN FABRIC TO PREVENT FULL THICKNESS OF FABRIC OCCURRING AT EITHER TOP OR BOTTOM REINFORCEMENT.
CONCRETE COVER TO MAIN REINFORCEMENT TO BE STRIP FOOTINGS AND FOOTING BEAMS: 87M-89MM TOP AND BOTTOM-BRICK COLUMNS: ALL AROUND 25MM CONCRETE BEAMS: ALL ROUND 40MM SLABS ON COMPACTED FILL: TOP-25MM ALL INTERNAL SUSPENDED SLABS AND STAIRS: TOP AND BOTTOM - 20MM CONCRETE CLASSIFICATION A20 ALL EXTERNAL SUSPENDED SLABS AND STAIRS: TOP AND BOTTOM - 30MM EXPOSURE CLASSIFICATION A25 SLAB THICKNESS DOES NOT INCLUDE FLOOR FINISH ALL CONCRETE TO BE TO BE CURED USING MEMBRANES. BRICKWORK SUPPORTING SLABS TO HAVE A DAMP PROOF MEMBRANE BETWEEN THE BRICKWORK AND THE CONCRETE WHERE CONCRETE SLABS ABUT BRICK WALLS PLACE 10MM BITUMINOUS CAHETE BETWEEN THE TWO SURFACES. 40MM MAX COMPACTED FILL UNDER SLABS. TO AS.2670 WHERE FILL EXCEEDS 400MM IN DEPTH SEEK ENGINEERING ADVICE FOR PIERIS AND SLAB REINFORCEMENT DETAILS.

ISSUE DESCRIPTION DATE CHECKED

PIERRE DRAGH
CONSULTING ENGINEERS
email: pdragh@gmail.com
PO BOX 336
HALL ACT 281 B
PHI 0438 628 440

CLIENT
Sch 2 2.2(a)(ii)

PROJECT
**PROPOSED NEW WORK
BLOCK 4 SECTION 80
CRACE**

TITLE
ROOF BEAM LAYOUT

DESIGNED BY
RZ
SCALE
AS SHOWN @ A3

DRAWN BY
MEZ
JOB NO.

AUTHORISED
DRAWING NO.
502 OF 03

28-08-2013

BUILDING APPROVAL
 Issued under s 28 of
 the Building Act 2004.

JOHN BATES
 Certifier Name

Lic. No. 1988 4388

1a), 10a), 10b)
 BCA Occupancy Class

BCA Type of Construction

Issue date: 12/03/14

J. Bates
 Certifier signature

1. AS CONSTRUCTED FLOOR LEVEL IS 597.22

9 TABBARA CRES

PROPOSED NEW WORKING TO COMPLETE WITH SET BACKS FROM THE FRONT DEVELOPMENT COMPASSING

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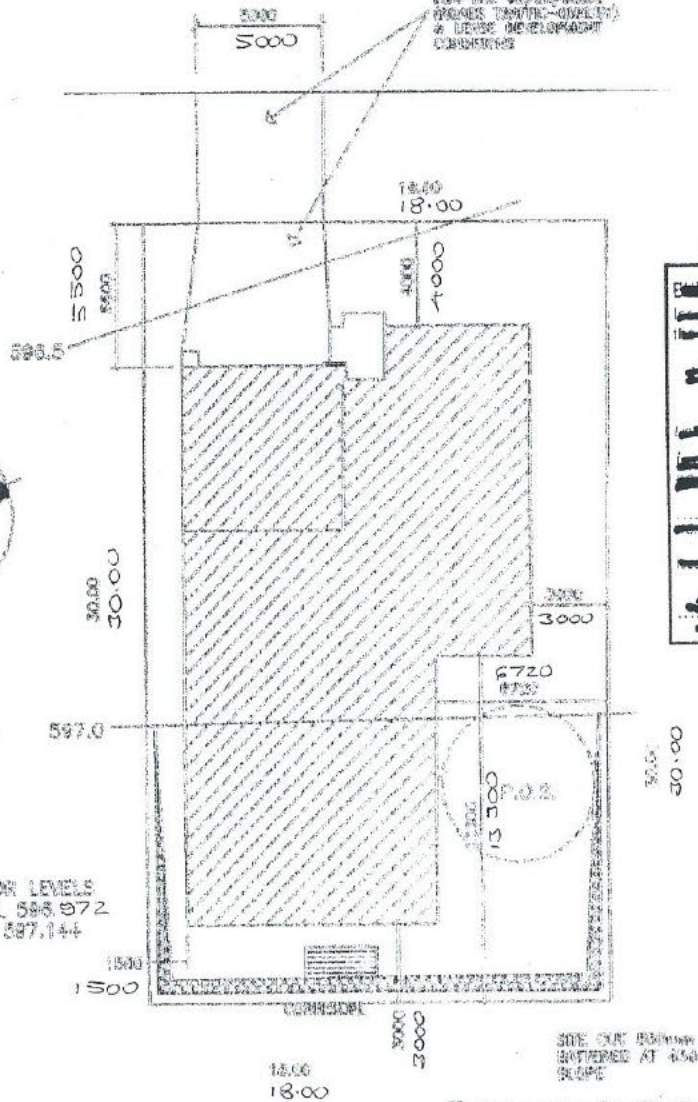
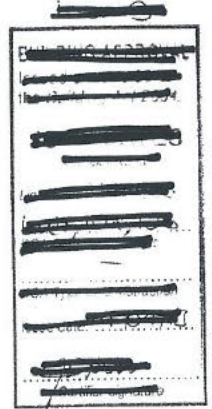
code APPROVED
 WITH CONDITIONS

Sign: *[Signature]*
 Date: 18/10/12

Refer to information sheet on Services and Verge Management within the Crace Pattern Book on verge protection measures during construction of your home.

Front retaining wall to be stone, masonry or concrete blocks. Timber sleepers and cement look-a-like sleepers are not permitted beyond the building line.

The driveway over the verge is to match the footpath material and finish as per the Crace Pattern Book.



BLOCK AREA - 540 m²
 SFA - 258.7 m²
 PLOT RATIO - 47.9 %

36.972
 57.144

FINISHED FLOOR LEVELS
 GARAGE - PFL 598.972
 LIVING - PFL 597.144

The height of safe cuts at the boundary is restricted to a max. 1 metre with boundary retaining walls also not exceeded to 1 metre.

GENERAL NOTES

CARRY OUT ALL WORK IN COMPLIANCE WITH THE RELEVANT SAA CODES OF PRACTICE IN THE BEST TRADESMAN-LIKE MANNER TO THE APPROVAL OF THE SUPERINTENDENT AND AUTHORITIES HAVING JURISDICTION OVER THE WORKS INCLUDING BUT NOT RESTRICTED TO:

- (1) ACT GOVERNMENT
- (2) BUILDING CODE OF AUSTRALIA AND THE ACT APPENDIX
- (3) ACT ELECTRICITY AND WATER
- (4) AS1884 TIMBER FRAMING CODE AND AS FURTHER SPECIFIED.

ALL DIMENSIONS MUST BE VERIFIED ON SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.
 USE FIGURED DIMENSIONS ONLY. DO NOT SCALE OFF THE DRAWING
 SURVEYOR TO CONFIRM EASEMENT LOCATIONS PRIOR TO COMMENCEMENT OF ANY WORKS.

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AXIS DESIGN & DRAFTING ACCEPTS NO RESPONSIBILITY OR LIABILITY FOR ANY STRUCTURAL COMPONENTS, NOTATION OR ACCURACY OF DOCUMENTATION HEREIN. CLIENT / BUILDERS ACCEPTS PLANS & RESPONSIBILITIES ONCE PLANS ARE SUBMITTED FOR APPROVALS.



Axis Design and Drafting
 PH. 62429550 FAX 62429661
 UNIT 1/38 ESSINGTON ST MITCHELL ACT

PROJECT
PROPOSED NEW WORK

BLOCK: 4
 SECTION: 80
 DIVISION: CRACE

FOR
 Sch 2 2.2(a)(ii)

ISSUED TITLE
WORKING DRAWINGS

DRAWN BY ZELJKO	CHECKED BY
DATE 24.9.2012	SCALE 1:200

ISSUED No. SHEET OF **1**

