



ACT
Government

Chief Minister, Treasury and
Economic Development

Freedom of Information Publication Coversheet

The following information is provided pursuant to section 28 of the *Freedom of Information Act 2016*.

FOI Reference: CMTEDDFOI 2019-142

Information to be published	Status
1. Access application	Published
2. Decision notice	Published
3. Documents and schedule	Published
4. Additional information identified	No
5. Fees	Waived
6. Processing time (in working days)	8
7. Decision made by Ombudsman	N/A
8. Additional information identified by Ombudsman	N/A
9. Decision made by ACAT	N/A
10. Additional information identified by ACAT	N/A



Environment, Planning and Sustainable Development Directorate

Attn: FOI Coordinator

FOI request re Block 5 Section 28, Reid ([REDACTED] Reid)

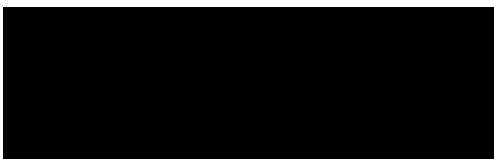
I request access under the ACT *Freedom of Information Act 1989* to information regarding:

- A. the reasoning and decisions in relation to the Building Approval (BA) 20191985, a knockdown/rebuild Mr Fluffy site at [REDACTED] within the Reid Housing Precinct
- B. the reasoning and decisions by the Conservator of Trees for the mature trees on this block

The request includes:

1. the referral documentation of the proposed building plans to the Heritage Council
2. why the process was unlike the two other Mr Fluffy houses in Reid: [REDACTED]
3. copies of the certifier's documentation
4. the approved plans
5. placement of easements marked on plans provided to some neighbours
6. the response by the Heritage Council to the Environment and Planning Directorate and Heritage Unit
7. the Notice of Decision in relation to requirements to meet regulated standards for building a single house dwelling
8. any email correspondence, phone and text notes relating to EPSD decisions regarding this BA
9. dates and copies of meeting notes from the Heritage Unit and Heritage Council on the deliberations on this approval
10. references to the relevant legislation, technical amendments, regulations and variations to the Territory Plan that enable this proposal to proceed as a BA in this Heritage-listed RZ1 zone
11. any further information relating to complying with, and maintaining, the heritage-listed character of the suburb.

Yours sincerely





ACT
Government

Chief Minister, Treasury and
Economic Development

Our ref: CMTEDDFOI 2019-142

[REDACTED]

via email: [REDACTED]

Dear [REDACTED]

FREEDOM OF INFORMATION REQUEST

I refer to your application under section 30 of the *Freedom of Information Act 2016* (the Act), partially transferred from the Environment, Planning and Sustainable Development Directorate (EPSDD) to the Chief Minister, Treasury and Economic Development Directorate (CMTEDD) on 25 June 2019. CMTEDD accepted transfer of points 4, 7 and 10 of part two of your access request.

Specifically, you are seeking:

- 1) the reasoning and decisions in relation to the Building Approval (BA) 20191985, a knockdown/rebuild Mr Fluffy site at [REDACTED] within the Reid Housing Precinct.
- 2) the reasoning and decisions by the Conservator of Trees for the mature trees on this block including;
 - the referral documentation of the proposed building plans to the Heritage Council (point 1);
 - why the process was unlike the two other Mr Fluffy houses in Reid: [REDACTED] and [REDACTED] (point 2);
 - copies of the certifier's documentation (point 3);
 - the approved plans (point 4);
 - placement of easements marked on plans provided to some neighbors (point 5);
 - the response by the Heritage Council to the Environment and Planning Directorate and Heritage Unit (point 6);
 - the Notice of Decision in relation to requirements to meet regulated standards for building a single house dwelling (point 7);
 - any email correspondence, phone and text notes relating to EPSD decisions regarding this BA (point 8);
 - dates and copies of meeting notes from the Heritage Unit and Heritage Council on the deliberations on this approval (point 9);
 - references to the relevant legislation, technical amendments, regulations and variations to the Territory Plan that enable this proposal to proceed as a BA in this Heritage-listed RZ1 zone (point 10); and
 - any further information relating to complying with, and maintaining, the heritage listed character of the suburb (point 11).

Authority

I am an Information Officer appointed by the Director-General under section 18 of the Act to deal with access applications made under Part 5 of the Act.

Timeframes

In accordance with section 40 of the Act, CMTEDD is required to provide a decision on your access application by 23 July 2019.

Decision on access

Searches were completed for relevant documents relevant to points 4, 7 and 10 of your request. A total of 16 documents were identified. EPSDD and the Transport Canberra and City Services Directorate may hold information in relation to the remaining parts of your request and will reply to you directly in due course.

I have included as **Attachment A** to this decision the schedule of relevant documents held by CMTEDD. This provides a description of each document that falls within the scope of your request and the access decision for each of those documents.

I have decided to grant access in full to three documents and provide partial access to the remaining 13 documents as I consider them to contain information that would, on balance, be contrary to the public interest to disclose under the test set out in section 17 of the Act.

My access decisions are detailed further in the following statement of reasons and the documents released to you are provided as **Attachment B** to this letter.

In accordance with section 54(2) of the Act a statement of reasons outlining my decisions is below.

Statement of Reasons

In reaching my access decisions, I have taken the following into account:

- the Act;
- the content of the documents that fall within the scope of your request; and
- the *Information Privacy Act 2014*.

Exemption claimed

My reasons for deciding not to grant access to the identified documents and components of these documents are as follows:

Public Interest

The Act has a presumption in favour of disclosure. As a decision maker I am required to decide where, on balance, public interests lies. As part of this process I must consider factors favouring disclosure and non-disclosure.

In *Hogan v Hinch* (2011) 243 CLR 506, [31] French CJ stated that when 'used in a statute, the term [public interest] derives its content from "the subject matter and the scope and purpose" of the enactment in which it appears'. Section 17(1) of the Act sets out the test,

to be applied to determine whether disclosure of information would be contrary to the public interest. These factors are found in subsection 17(2) and Schedule 2 of the Act.

Taking into consideration the information contained in the documents found to be within the scope of your request, I have identified that the following public interest factors are relevant to determine if release of the information contained within these documents is within the 'public interest'.

Factors favouring disclosure in the public interest:

- (a) *disclosure of the information could reasonably be expected to do any of the following:*
 - (i) *promote open discussion of public affairs and enhance the government's accountability.*

Factors favouring nondisclosure in the public interest:

- (a) *disclosure of the information could reasonably be expected to do any of the following:*
 - (ii) *prejudice the protection of an individual's right to privacy or any other right under the Human Rights Act 2004; and*
 - (xi) *prejudice trade secrets, business affairs or research of an agency or person.*

Having considered the factors favouring release, I consider that the release of the identified information would promote the discussion of public affairs and enhance the government's accountability by allowing you to have a copy of the plans and related documentation for the construction of a house in a heritage listed area.

When considering the above finding against the factors favouring non-disclosure, I am satisfied that the protection of an individual's right to privacy, especially in the process of complying with ACT Government regulations is a significant factor as the parties involved have provided personal information which includes the interior layout of the property, for the purposes of meeting obligations under relevant legislation. I consider that the layout of an individual's home is a matter that the individual should have the right to choose to disclose or not. I am of the opinion that the release of this information may prejudice the protection of these individuals' right to privacy under the *Human Rights Act 2004*.

Additionally, I also consider that the release of the names of non-government persons would prejudice their right to privacy under the *Human Rights Act 2004*. These people have provided their personal information to the ACT Government to comply with certain obligations and have an expectation that their privacy will be maintained. I am satisfied in the above instances that this factor favouring non-disclosure should be afforded significant weight as it relates to the individuals' privacy.

The identified documents also contain the cost of works for the constructions of a new dwelling. I consider that it is unreasonable to disclose the cost of works associated with the building plans as this information could be expected to prejudice the business affairs of the builders and other parties who have undertaken the building and associated works.

Having applied the test outlined in section 17 of the Act and deciding that release of personal information contained in the documents is not in the public interest to release, I

have chosen to redact this specific information in accordance with section 50(2). Noting the pro-disclosure intent of the Act, I am satisfied that redacting only the information that I believe is not in the public interest to release will ensure that the intent of the Act is met and will provide you with access to the majority of the information held by CMTEDD within the scope of your request.

Documents 2-8, 10-16 of the identified documents contain information that I consider, on balance, to be contrary to the public interest to disclose under the test set out in section 17 of the Act or they contain information which is out of scope.

Charges

Pursuant to *Freedom of Information (Fees) Determination 2017 (No 2)* processing charges are applicable for this request because the total number of pages to be released to you exceeds the charging threshold of 50 pages. However, the charges have been waived in accordance with section 107(2)(b) of the Act.

Online publishing – Disclosure Log

Under section 28 of the Act, CMTEDD maintains an online record of access applications called a disclosure log. Your original access application, my decision and documents released to you in response to your access application will be published in the CMTEDD disclosure log three days after the date of my decision. Your personal contact details will not be published.

You may view CMTEDD disclosure log at
<https://www.cmtedd.act.gov.au/functions/foi/disclosure-log>.

Ombudsman Review

My decision on your access request is a reviewable decision as identified in Schedule 3 of the Act. You have the right to seek Ombudsman review of this outcome under section 73 of the Act within 20 working days from the day that my decision is published in CMTEDD disclosure log, or a longer period allowed by the Ombudsman.

If you wish to request a review of my decision you may write to the Ombudsman at:

The ACT Ombudsman

GPO Box 442

CANBERRA ACT 2601

Via email: actfoi@ombudsman.gov.au

ACT Civil and Administrative Tribunal (ACAT) Review

Under section 84 of the Act, if a decision is made under section 82(1) on an Ombudsman review, you may apply to the ACAT for review of the Ombudsman decision.

Further information may be obtained from the ACAT at:

ACT Civil and Administrative Tribunal

Level 4, 1 Moore St

GPO Box 370

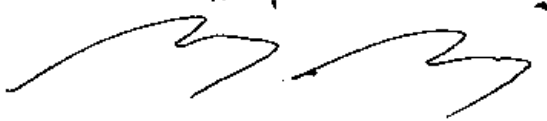
Canberra City ACT 2601

Telephone: (02) 6207 1740

<http://www.acat.act.gov.au/>

Should you have any queries in relation to your request please contact me by telephone on 6207 7754 or email CMTEDDFOI@act.gov.au.

Yours sincerely,



Daniel Riley

Information Officer

Information Access Team

Chief Minister, Treasury and Economic Development Directorate

5 July 2019



ACT
Government

Chief Minister, Treasury and
Economic Development

FREEDOM OF INFORMATION REQUEST SCHEDULE

NAME	WHAT ARE THE PARAMETERS OF THE REQUEST	Reference NO.
[REDACTED]	<p>A. the reasoning and decisions in relation to the Building Approval (BA) 20191985, a knockdown/rebuild Mr Fluffy site at [REDACTED] within the Reid Housing Precinct.</p> <p>B. the reasoning and decisions by the Conservator of Trees for the mature trees on this block.</p>	CMTEDDFOI 2019-142

Ref No	Page number	Description	Date	Status	Reason for Exemption	Online Release Status
1	1-3	Building approval residential lodgement checklist	12-Jun-2019	Full release	N/A	Yes
2	4	Plans – Garage demolition	18-Apr-2019	Partial release	Schedule 2 2.2(a)(ii) – Personal privacy	Yes
3	5-6	Plans – Elevations and sections	18-Apr-2019	Partial release	Schedule 2 2.2(a)(ii) – Personal privacy	Yes
4	7-9	Plans – Floor and roof	18-Apr-2019	Partial release	Schedule 2 2.2(a)(ii) – Personal privacy	Yes
5	10-12	Plans – Landscaping	18-Apr-2019	Partial release	Schedule 2 2.2(a)(ii) – Personal privacy	Yes
6	13-14	Plans - Specifications	18-Apr-2019	Partial release	Schedule 2 2.2(a)(ii) – Personal privacy	Yes
7	15-16	Plans - Site	18-Apr-2019	Partial release	Schedule 2 2.2(a)(ii) – Personal privacy	Yes
8	17-20	Plans – Structural engineering	26-Apr-2019	Partial release	Schedule 2 2.2(a)(ii) – Personal privacy	Yes
9	21-28	Minimum documentation requirements for building approval lodgement checklist	3-Jun-2019	Full release	N/A	Yes
10	29-34	Certifier’s building approval	3-Jun-2019	Partial release	Schedule 2 2.2(a)(ii) – Personal privacy	Yes
11	35-36	Building approval	3-Jun-2019	Partial release	Schedule 2 2.2(a)(xi) – Business affairs	Yes
12	37-39	Appointment of a certifier and application for building approval	9-May-2019	Partial release	Schedule 2 2.2(a)(xi) – Business affairs Schedule 2 2.2(a)(ii) – Personal privacy	Yes
13	40-42	Appointment of a certifier and application for building approval		Partial release	Schedule 2 2.2(a)(xi) – Business affairs Schedule 2 2.2(a)(ii) – Personal privacy	Yes

14	43	Form 7B – Summary of written information for building certifier	9-May-2019	Partial release	Schedule 2 2.2(a)(ii) – Personal privacy	Yes
15	44-45	Site works notice	3-Jun-2019	Partial release	Schedule 2 2.2(a)(ii) – Personal privacy	Yes
16	46-60	Checklist for single dwelling – Assessment for exempt development	3-May-2019	Full release	N/A	Yes
17	61-82	Engineers document checklist	3-Jun-2019	Partial release	Schedule 2 2.2(a)(ii) – Personal privacy	Yes
Total No of Docs						
17						

**BUILDING APPROVAL COMPLETENESS CHECKLIST
RESIDENTIAL BCA CLASS 1 and 10**

Block: 5 **Section:** 28 **Suburb:** REID **Unit No:**

Project Number: B20191985 **Building Certifier:** Select Structure

Customer Services Officer Name: Lucy **Date of completeness check:** 12/06/2019

Part 1 Administrative Check				
Requirements	Pass	Fail	N/A	Comments
* Has the Building Approval been submitted within 7 days from the date of approval?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
* Have all relevant plans been stamped and dated by the building certifier?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Does the date stamp on the plans match the approval date on eDevelopment?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
* Building approval stamp and application form text legible?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
* If the Building Approval has a Development Approval is the Development Approval still valid?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
* Have all lessee's signed the relevant forms?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
* Are all relevant documents uploaded & named correctly?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has an insurance certificate been provided if the cost of building work exceeds \$12,000?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Correct cost of building work provided in E-Development – Refer to Government Cost Guide (Class 1-10).	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Have statements of compliance from each relevant utility been provided where relevant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/> GAS <input checked="" type="checkbox"/> WATER <input checked="" type="checkbox"/> ELECTRICITY
If the BA is for existing work, has the invoice been amended to include the relevant existing work fee?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
If BCN has been issued, is the licensee authorised to undertake the work as described? ie: Swimming Pool or Demolition endorsement on licence.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	BCA not issued
Has the lessee's email address been provided? If yes, please email BA notice to lessee.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Requirements for DA Exempt Works	Pass	Fail	N/A	Comments
Have forms 7A and 7B been provided for building or alterations or full or part demolition of a single dwelling?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
If there is no exemption D notice or exemption declaration has a site work notice been provided?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
COMPLETENESS CHECK FAILURE – from 1/9/13 * - Failure incurs a fee. – See page 15 of fees & charges	COMPLETENESS CHECK FAILURE NOTICE SENT: Click here to enter a date. COMPLETENESS CHECK FAILURE FEES PAID: Click here to enter a date.			
Part 2 Completeness Check Failure Reasons				
After completing parts 1 & 3 of this checklist list the failure reasons below. For example: Failed to supply Elevation Plan or Incorrect lessee details and on resubmission select whether it has been supplied or not.				
	Select One		Select One	Select One

Checklist review date 08/09/2016

**BUILDING APPROVAL COMPLETENESS CHECKLIST
RESIDENTIAL BCA CLASS 1 and 10**

	Select One		Select One		Select One
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Part 3 Documentation Check				
Document	Document Name	Pass	Fail	N/A
Form – Minimum Documentation Requirements for Building Approval Lodgment Checklist	Details – Minimum Documents Checklist	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Asbestos Removal Control Plan	Asbestos Removal Control Plan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Development Approval (including amendments)	Approved Plans – Development Approval	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Site Plan	Approved Plans – Site	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Floor Plan	Approved Plans – Floor	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Elevation Plan	Approved Plans – Elevation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Section Details – Wall, Floor Ceiling & Roof	Approved Plans – Sections Wall Approved Plans – Sections Floor Approved Plans – Sections Ceiling Approved Plans – Sections Roof	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Demolition Plan	Approved Plans – Demolition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Swimming Pools and Spas Details (including fencing/barriers)	Details – Pools Spas	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Energy Efficiency Details	Details – Energy Efficiency	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Creating Building Files	
Only complete this section if for a new block where a building file does not exist. Select Y (yes) or N (no) below.	
Is this a new residence on a new block?	<input type="checkbox"/>
Has a new building approval been created in Objective and I Drive?	<input type="checkbox"/>

Part 4 Audit Team Checklist				
Document	Document Name	Pass	Fail	N/A
Footings and Concrete Slab Details	Details – Footings Concrete Slab	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Retaining Wall Details	Details – Retaining Walls	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Masonry Construction Details	Details – Masonry Construction	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Framing (including trusses) and Construction Details	Details – Framing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Roof Cladding Details	Details – Roof Cladding	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Exterior Cladding & Material Details	Details – Exterior Cladding & Materials	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Wet area details	Details – Wet Area	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Windows and Glazing Details	Details – Windows Glazing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Estimate of the Cost of the Building Work	Details – Cost of Building Work	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Alternative Solutions	Details – Alternative Solutions	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**BUILDING APPROVAL COMPLETENESS CHECKLIST
RESIDENTIAL BCA CLASS 1 and 10**

SELECT STRUCTURE

BUILDING CERTIFICATION

Building Approval issued under
Section 28 of Building Act 2004

NCC Occupancy Class: **1a(i), 10a, 10b**

NCC Construction Type: **N/A**

Date: **03/06/2019**

and

**VERIFICATION OF
DA EXEMPT STATUS**

Lioj Krevatin

ACT Lic. No.2010979

DEMOLITION PLAN
Scale 1:200 @ A3

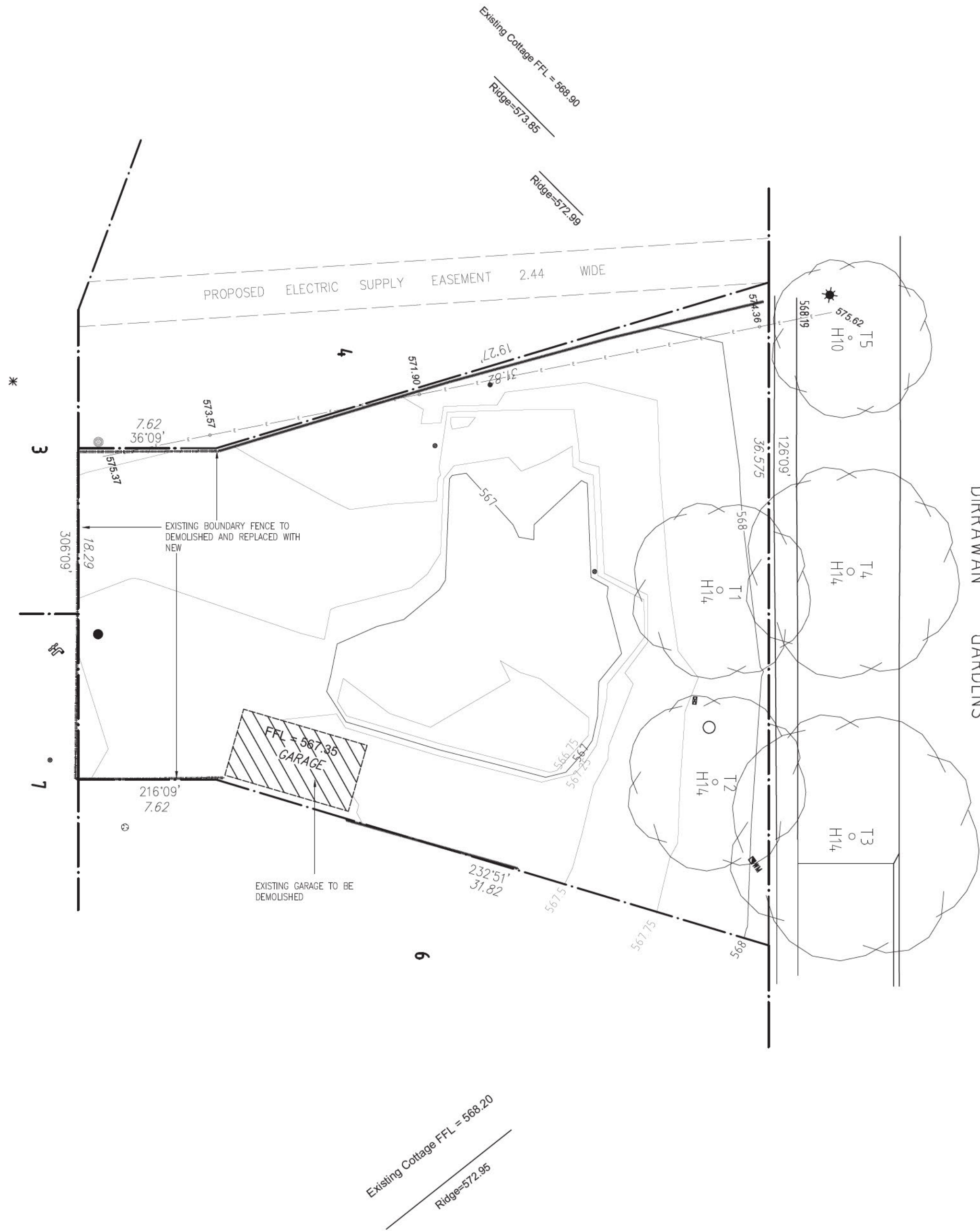
DEMOLITION NOTES

A: PROPOSED METHOD- DISMANTLE ROOF, TIMBER TRUSSES AND TIMBER BEAMS FOR SALVAGE AND RE USE. REMOVAL OF ALL GLASS AND WINDOWS FOR RE USE. BRICK WALLS TO BE DISMANTLED BY HAND AND SOLD. ANY BROKEN REMAINS TO BE CRUSHED FOR RECYCLING. INTERNAL GYPROCK WALLS AND FRAMES TO BE DISMANTLED BY HAND AND TAKEN TO TIP. THE REMAINS WOULD THEN BE MADE UP OF CONCRETE SLABS AND VERANDAHS AND CONCRETE DRIVEWAYS AND CARPARKING. THIS WOULD BE DELIVERED TO CANBERRA RECYCLERS AT PIALLAGO FOR RECYCLING.

B: POLLUTION- AS PER ABOVE AND A.C.T. POLLUTION CONTROL LAWS.

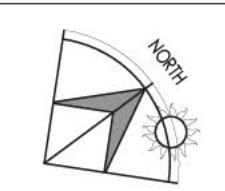
C: ASBESTOS- FIBRO SHEET WHERE ENCOUNTERED WILL BE DISPOSED OF BY BAGGING WITH PROTECTIVE CLOTHING AS PER REGULATION AND DELIVERED AT THE APPROPRIATE AREA OF BELCONNEN TIP.

D: EXISTING SERVICES- ELECTRICITY TO BE DISCONNECTED AS PER ACTEW REQUIREMENTS AND RECONNECTED THROUGH TEMPORARY SUPPLY. SEWERAGE AND STORMWATER TO BE CAPPED OFF WHERE REQUIRED. WATER SUPPLY TO BE CAPPED OFF WHERE NECESSARY TO ALLOW FOR CONSTRUCTION. TELEPHONE LINE TO BE RELOCATED IF NECESSARY TO TELSTRA REQUIREMENTS.



LEGEND

- LIGHTPOLE
- WATER METER
- SEWERMANHOLE

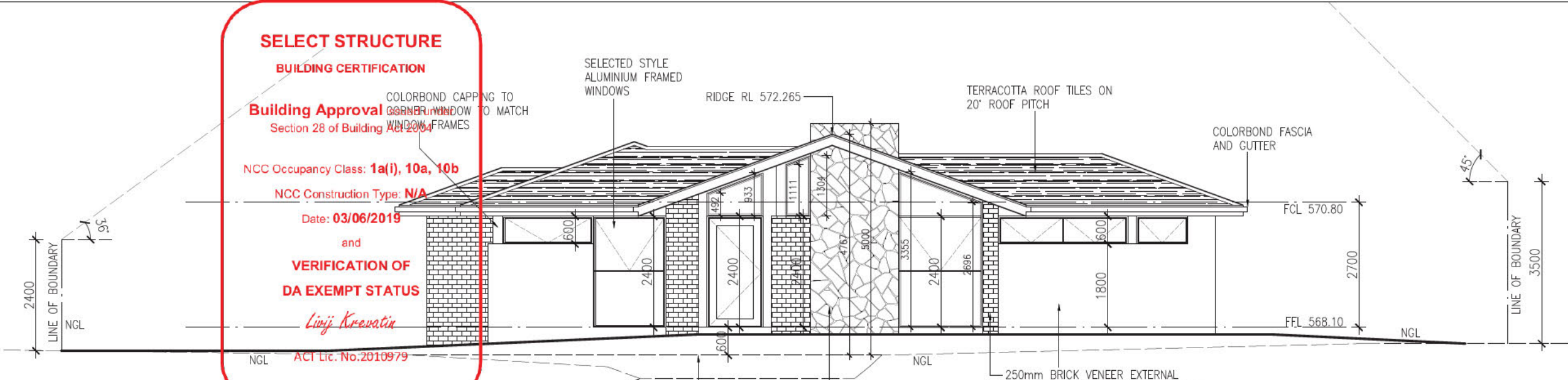


SELECT STRUCTURE
BUILDING CERTIFICATION
Building Approval
 Section 28 of Building Act 2011
 NCC Occupancy Class: **1a(i), 10a, 10b**
 NCC Construction Type: **N/A**
 Date: **03/06/2019**
 and
VERIFICATION OF DA EXEMPT STATUS
Luigi Kravatic
 ACT Lic. No. 2010979

BUILDING ELEMENT	MATERIAL	COLOUR SPEC
ROOF	TERRACOTTA ROOF TILES	
FASCIA & GUTTERS	COLORBOND GUTTERING	BASALT
EXTERNAL WALL TYPE 1-FACE BRICK	FACE BRICKWORK	CANBERRA RED OR SIMILAR
EXTERNAL WALL TYPE 2-RENDER	SMOOTH RENDER	"DULUX" MOUNT BULLER OR SIMILAR
ROCK FEATURE WALL	WEE JASPER- BLU STONE OR SIMILAR	
GARAGE DOOR	PANEL LIFT	BASALT

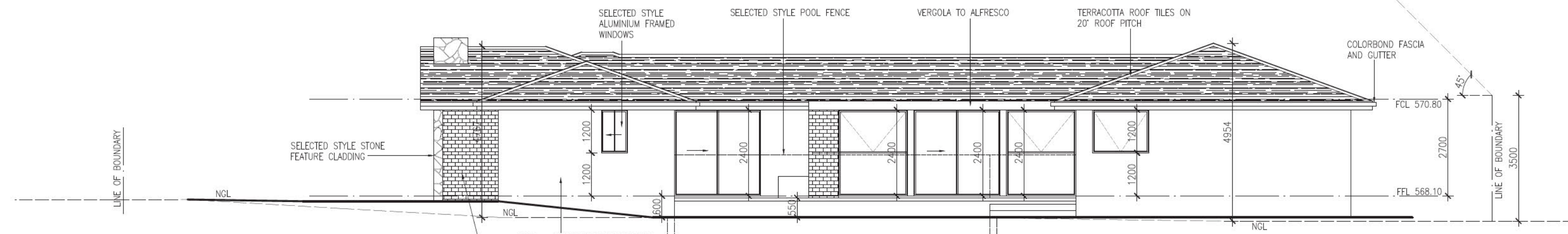
NORTH EAST STREET ELEVATION

Scale 1:100 @ A2



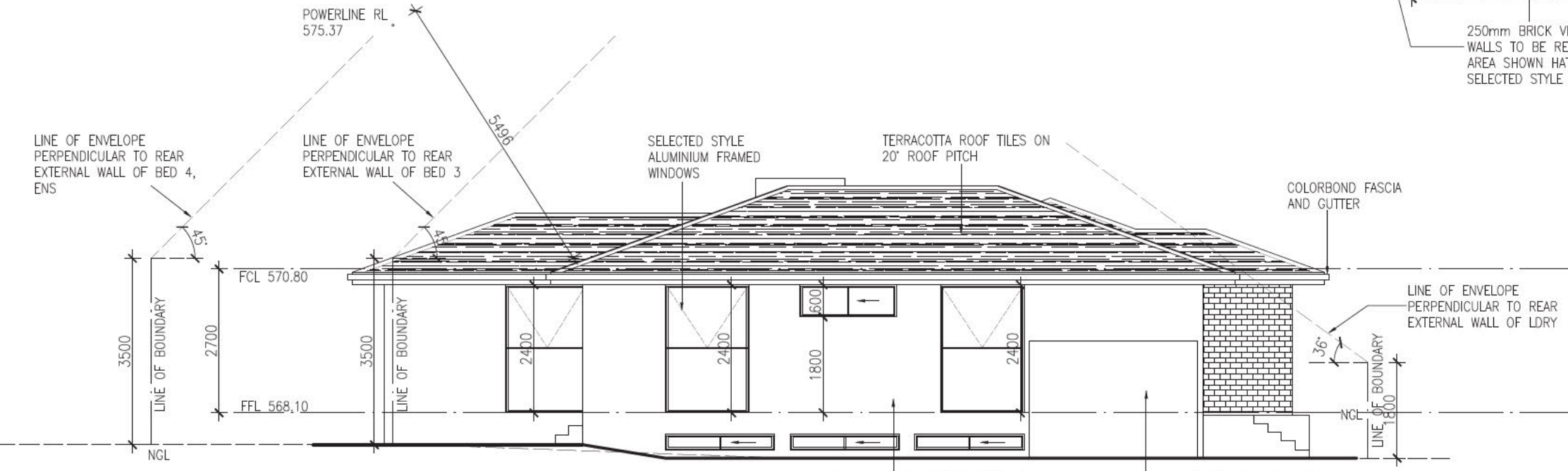
NORTH WEST ELEVATION

Scale 1:100 @ A2



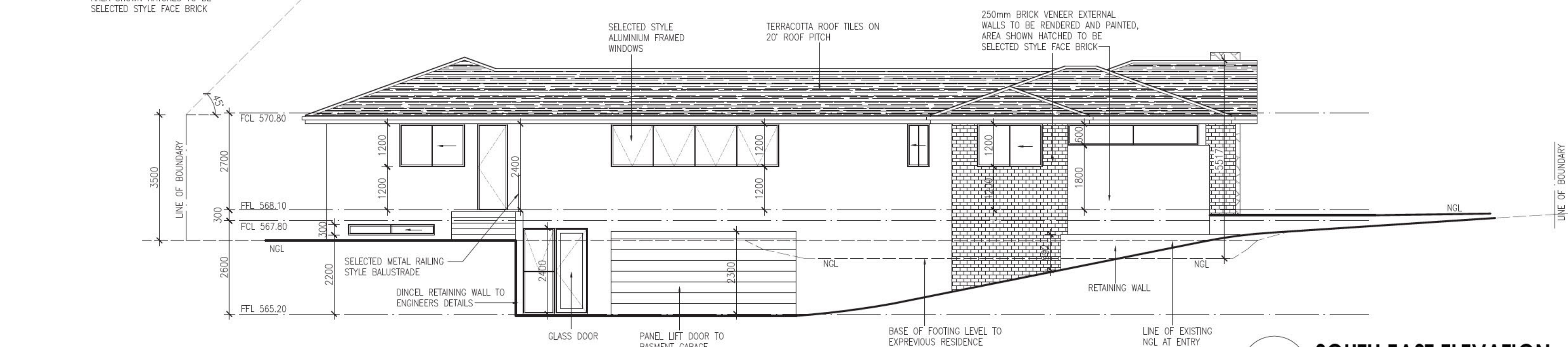
SOUTH WEST ELEVATION

Scale 1:100 @ A2



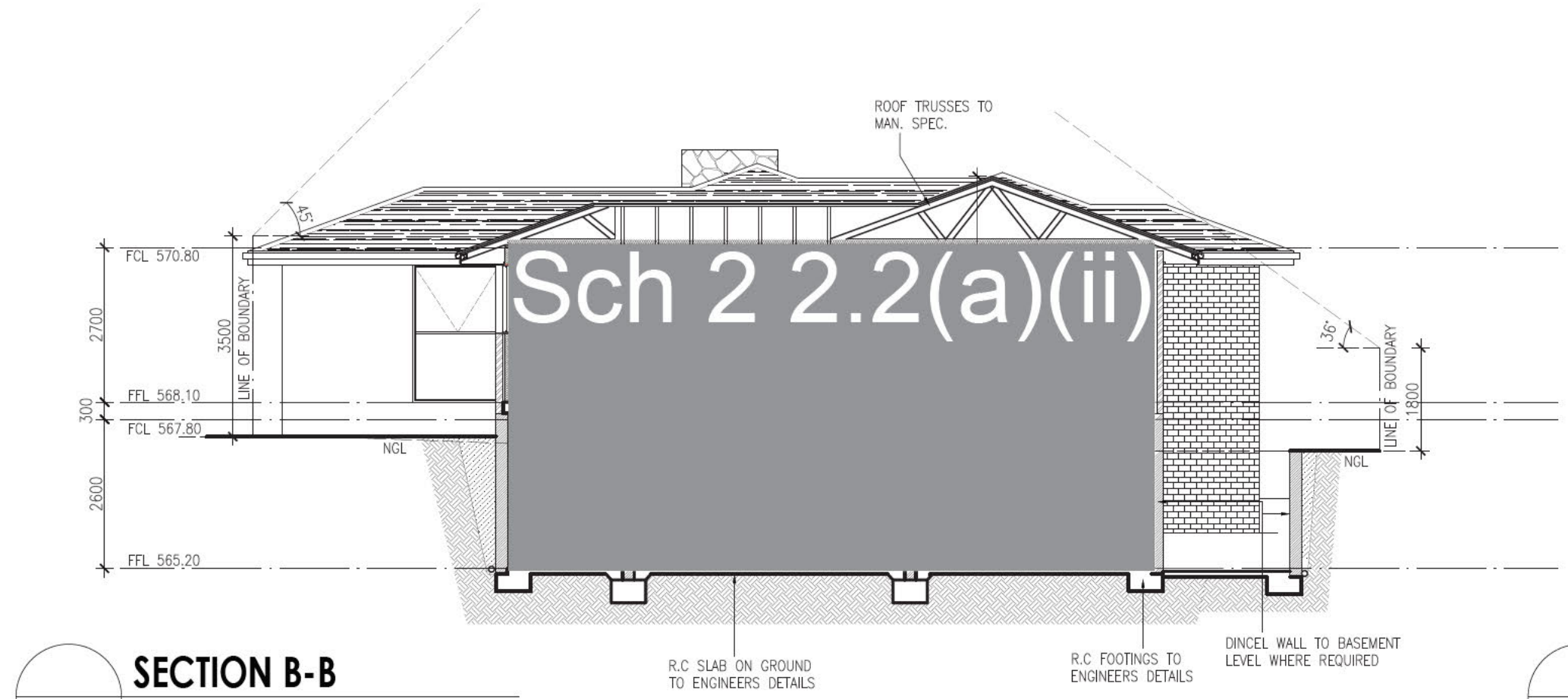
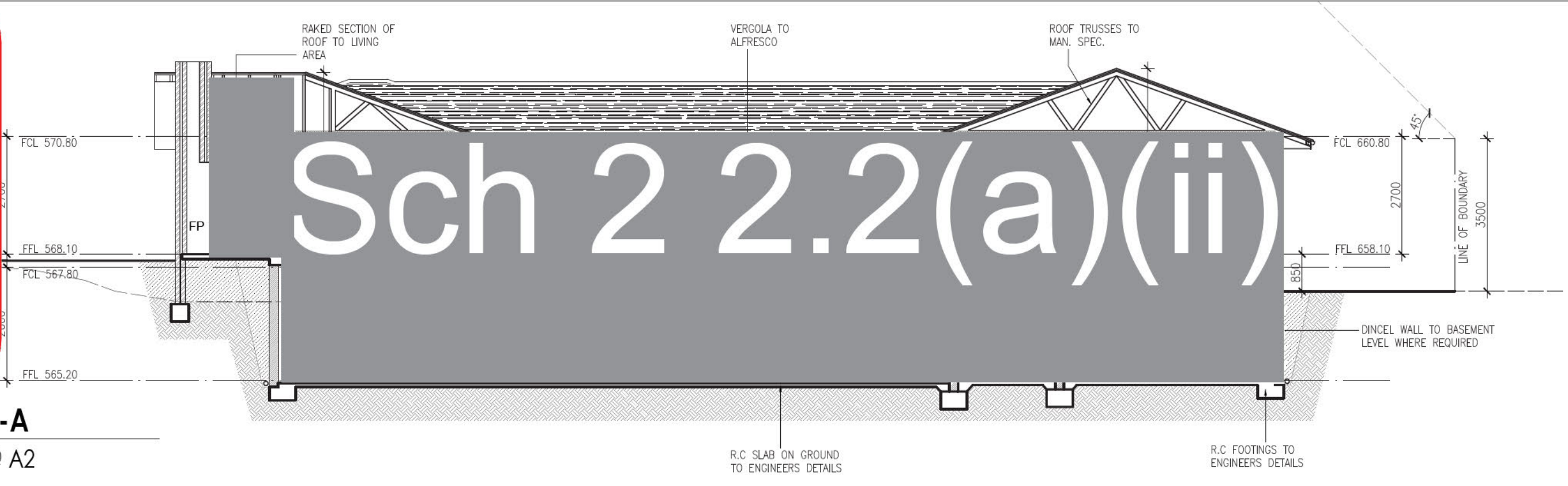
SOUTH EAST ELEVATION

Scale 1:100 @ A2

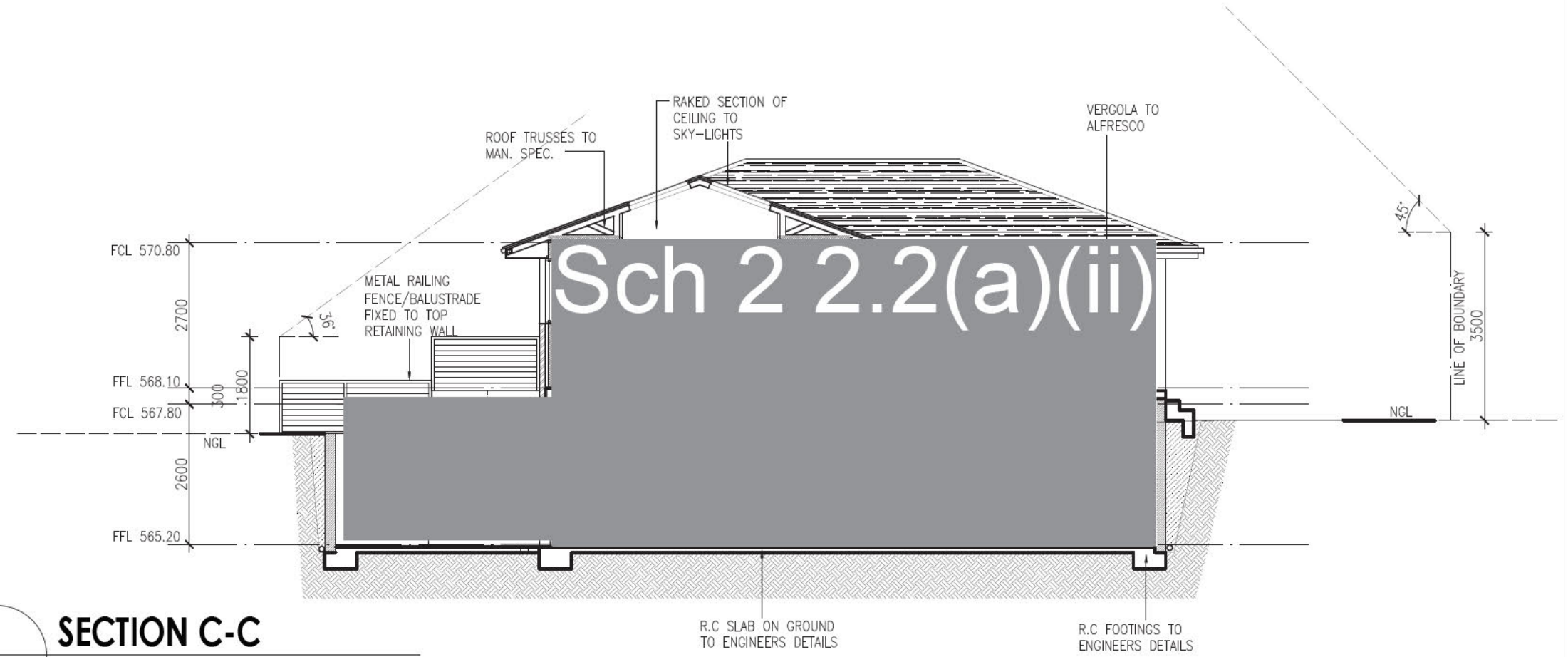


SELECT STRUCTURE
BUILDING CERTIFICATION
 Building Approval issued under
 Section 28 of Building Act 2004
 NCC Occupancy Class: **1a(i), 10a, 10b**
 NCC Construction Type: **N/A**
 Date: **03/06/2019**
 and
VERIFICATION OF
DA EXEMPT STATUS
Lioj Krenatin
 ACT Lic. No. 2010979

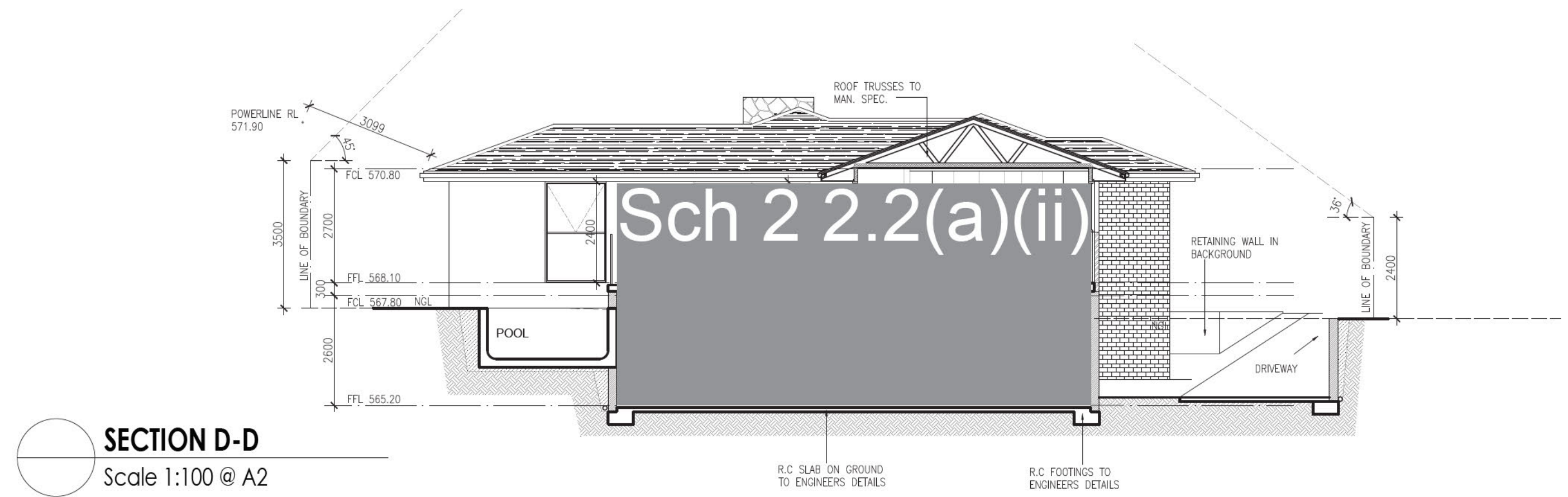
SECTION A-A
 Scale 1:100 @ A2



SECTION B-B
 Scale 1:100 @ A2

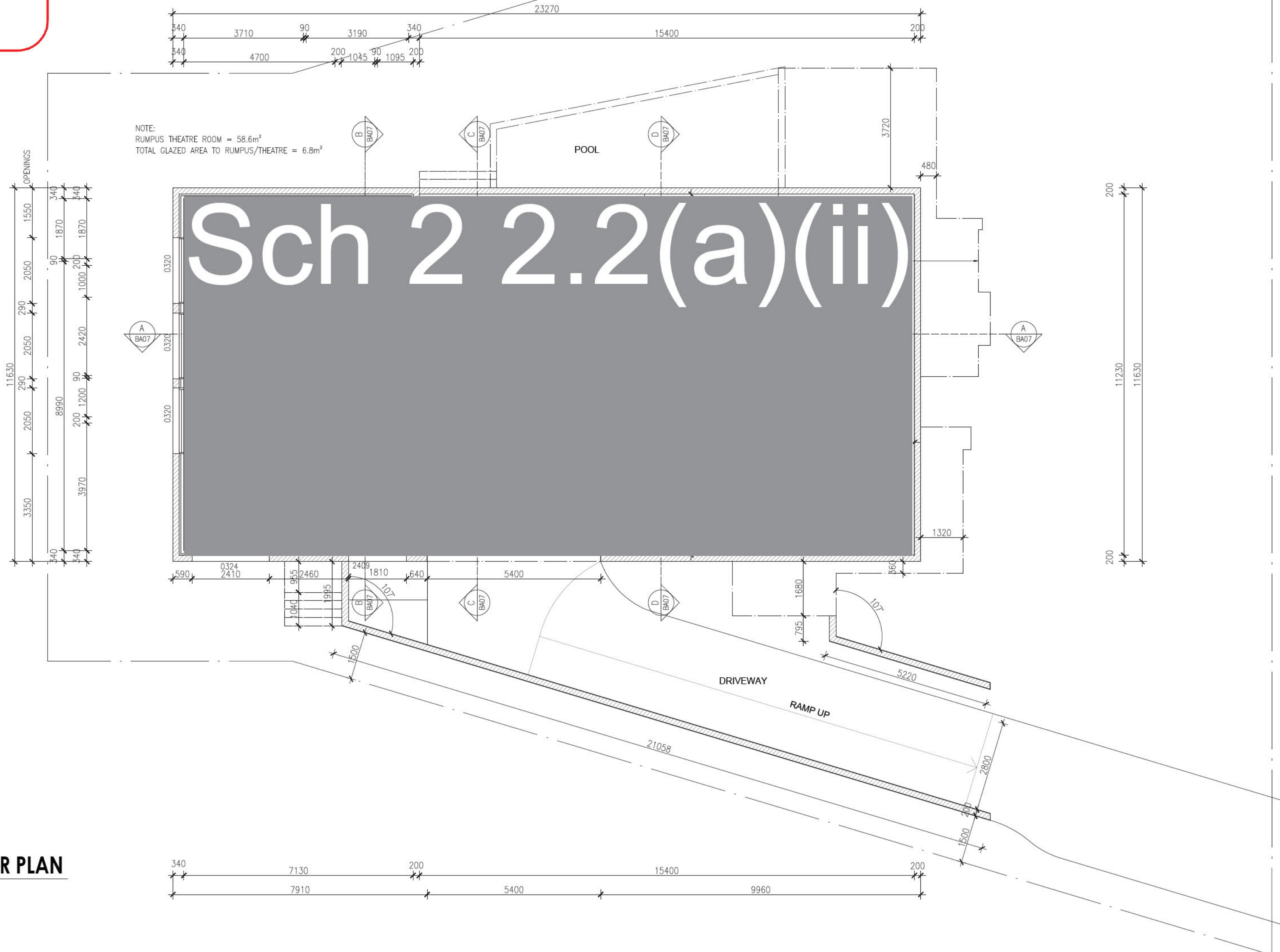


SECTION C-C
 Scale 1:100 @ A2



SECTION D-D
 Scale 1:100 @ A2

SELECT STRUCTURE
BUILDING CERTIFICATION
 Building Approval issued under
 Section 28 of Building Act 2004
 NCC Occupancy Class: **1a(i), 10a, 10b**
 NCC Construction Type: **N/A**
 Date: **03/06/2019**
 and
VERIFICATION OF
DA EXEMPT STATUS
Lioj Krevatin
 ACT Lic. No.2010979



BASEMENT FLOOR PLAN
 Scale 1:100 @ A2



SELECT STRUCTURE

BUILDING CERTIFICATION

Building Approval issued under
Section 28 of Building Act 2004

NCC Occupancy Class: **1a(i), 10a, 10b**

NCC Construction Type: **N/A**

Date: **03/06/2019**

and

**VERIFICATION OF
DA EXEMPT STATUS**

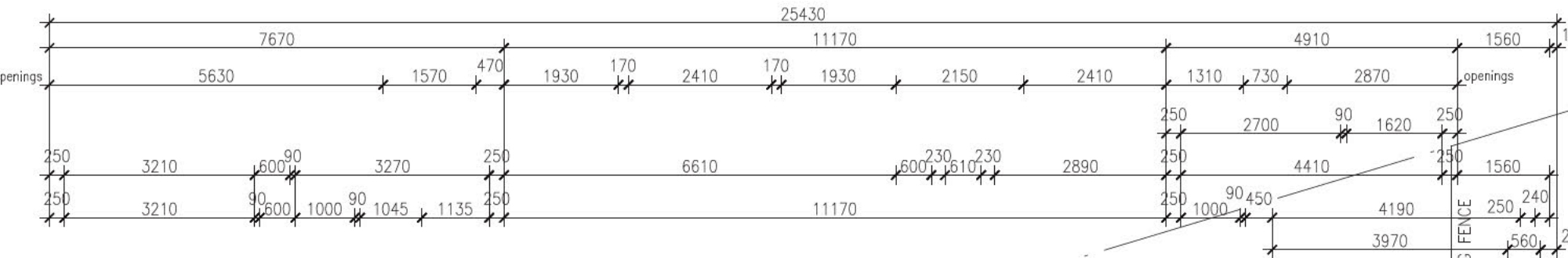
Lioj Krevatin

ACT Lic. No. 2010979

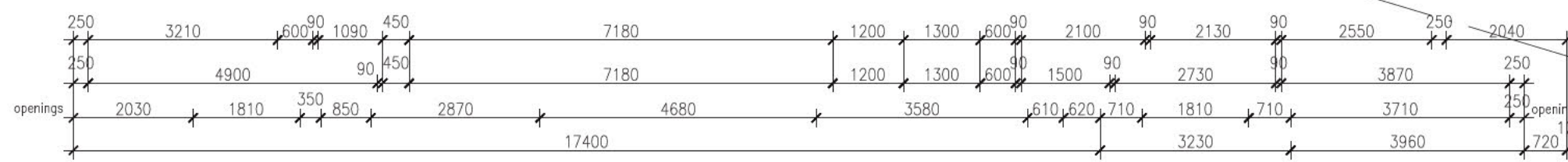
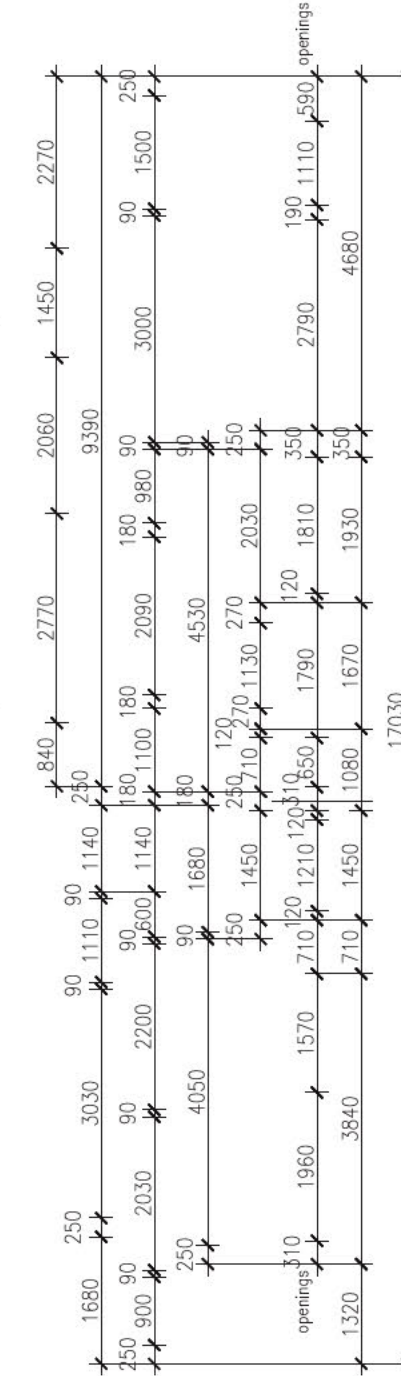
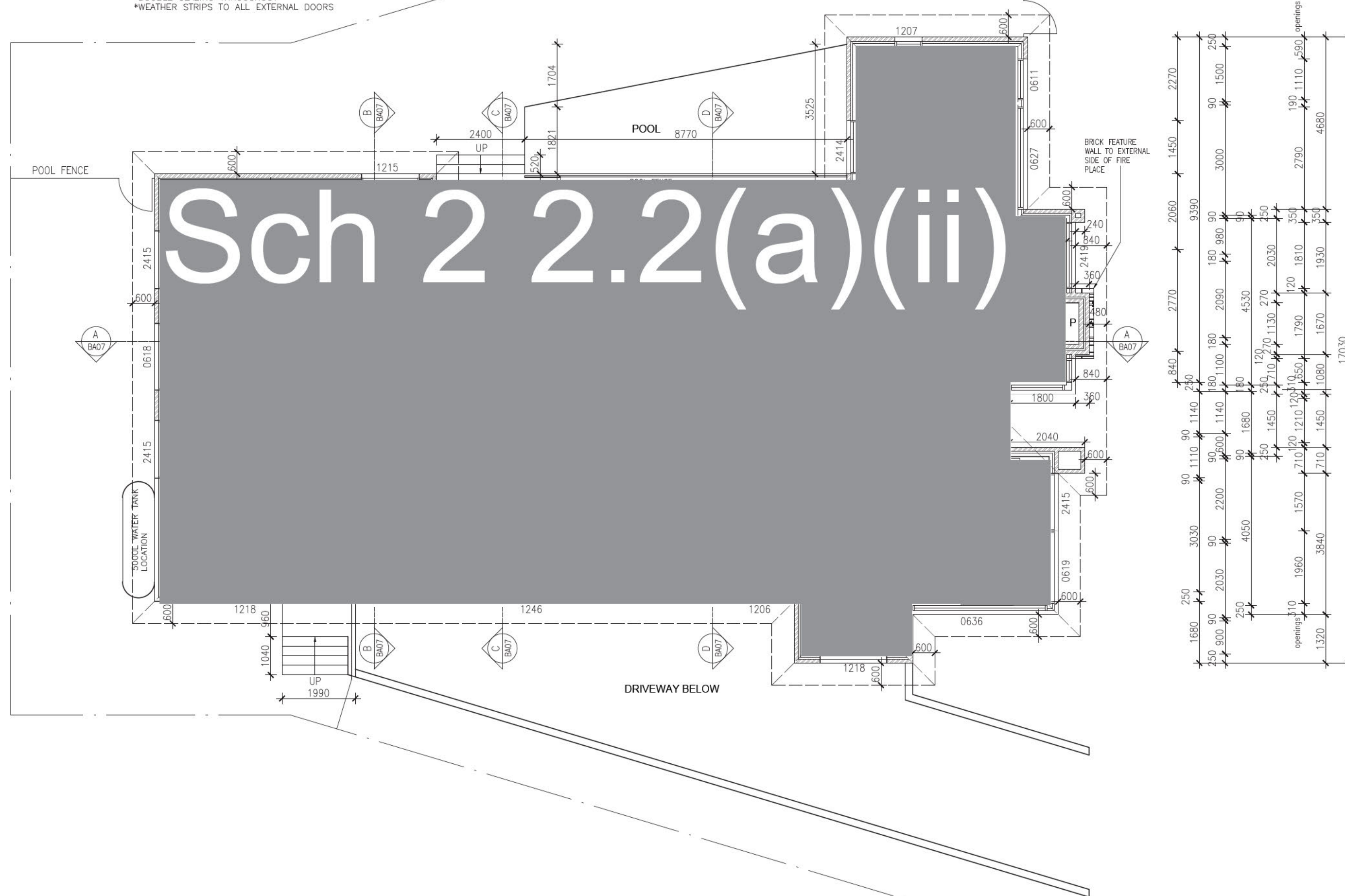
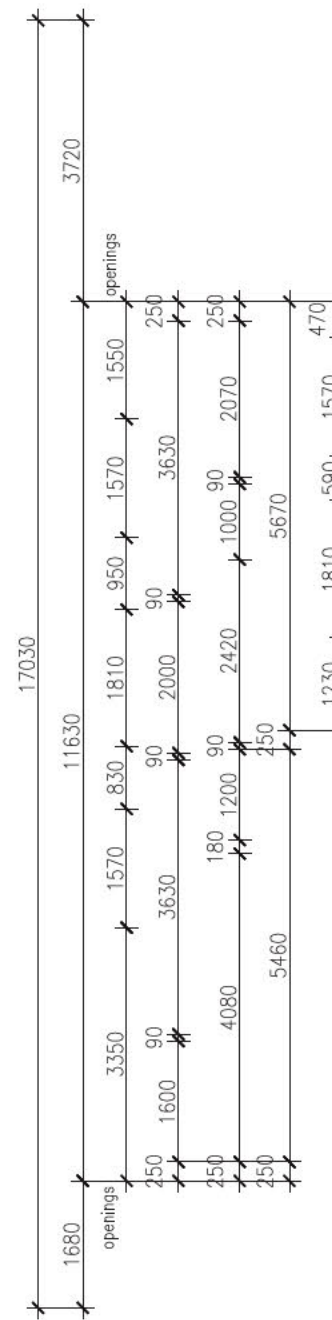
INTERIOR DOORS:
ALL INTERIOR DOORS 2400mm HIGH x
35mm THICK, WIDTH OF DOORS AS SHOWN
ON PLAN. HOLLOW CORE REDYCOATE UNLESS
OTHERWISE INDICATED.

SMOKE DETECTOR LOCATION ON PLAN
INDICATED WITH A (S)

WINDOW MANUFACTURER TO BE DETERMINED
AND SPECIFICATIONS SUPPLIED BY BUILDER.
(REFER TO ELEVATIONS AND/OR
SECTION FOR WINDOW PANEL LOCATIONS AND
OPENING TYPES)



- ENERGY RATING NOTES:**
- *ALL EXTERNAL WALLS TO HAVE R2.5 INSULATION + R0.5 SISALATION
 - *ALL EXTERNAL WALLS TO BASMENT RUMPUS THEATRE ROOM TO HAVE R2.5 INSULATION
 - *R4.0 CEILING INSULATION TO ALL CEILING ROOF AREA.
 - *R2.0 TO GARAGE CEILING AREA
 - *SARKING BELOW ROOF SHEETING
 - *DOUBLE GLAZING THROUGHOUT
 - *WEATHER STRIPS TO ALL EXTERNAL DOORS



GROUND FLOOR PLAN
Scale 1:100 @ A3

SELECT STRUCTURE

BUILDING CERTIFICATION

Building Approval issued under
Section 28 of Building Act 2004

NCC Occupancy Class: **1a(i), 10a, 10b**

NCC Construction Type: **N/A**

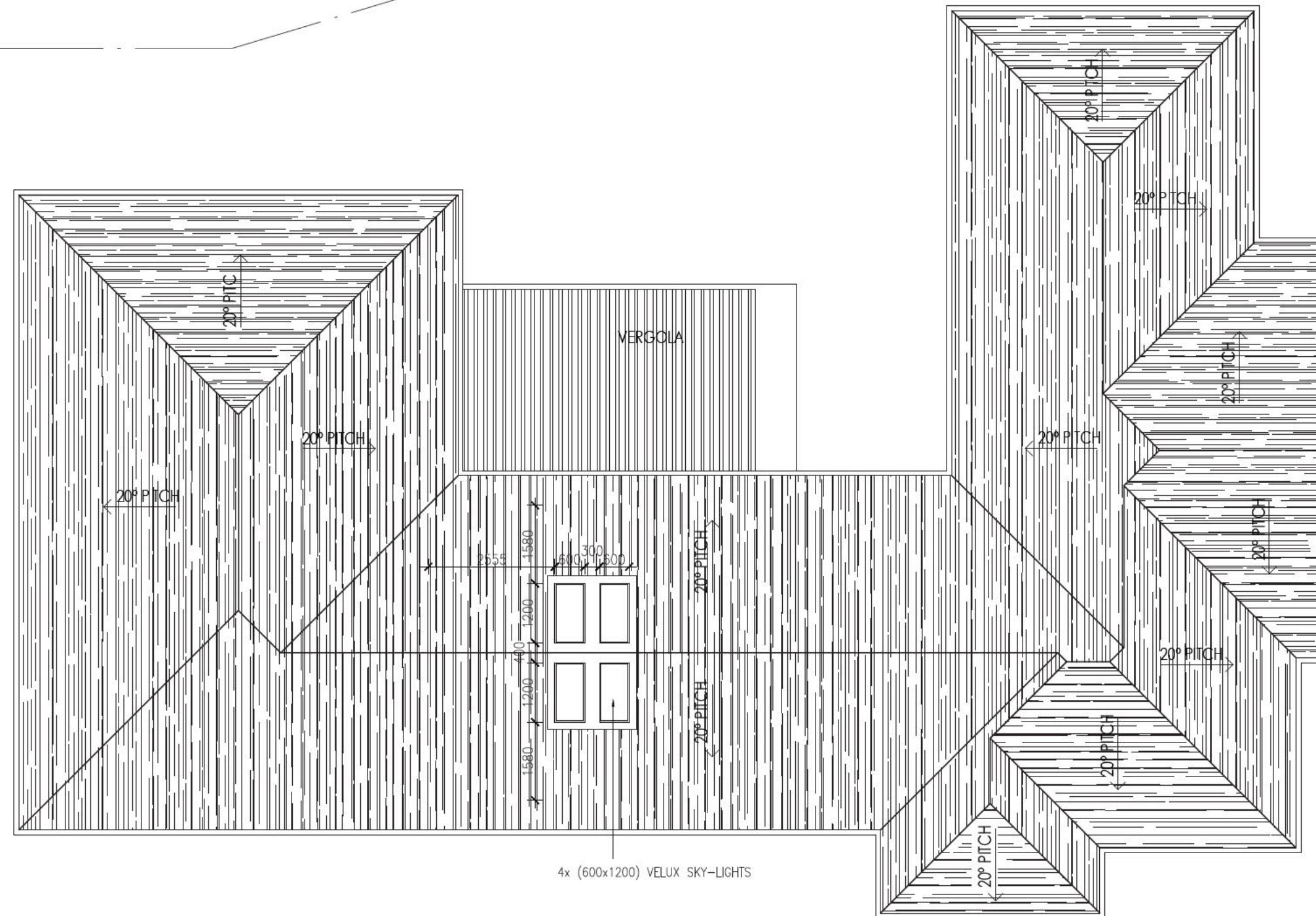
Date: **03/06/2019**

and

**VERIFICATION OF
DA EXEMPT STATUS**

Lioj Krevatin

ACT Lic. No.2010979



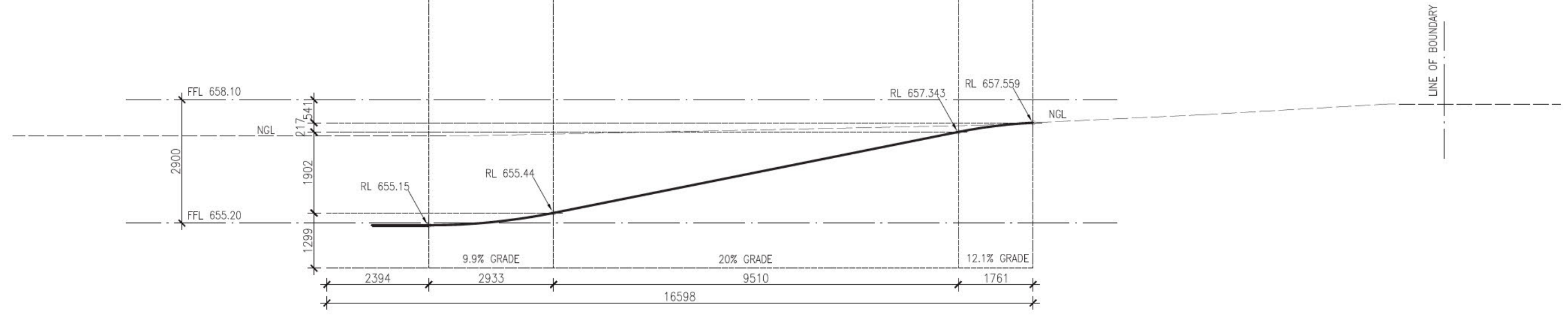
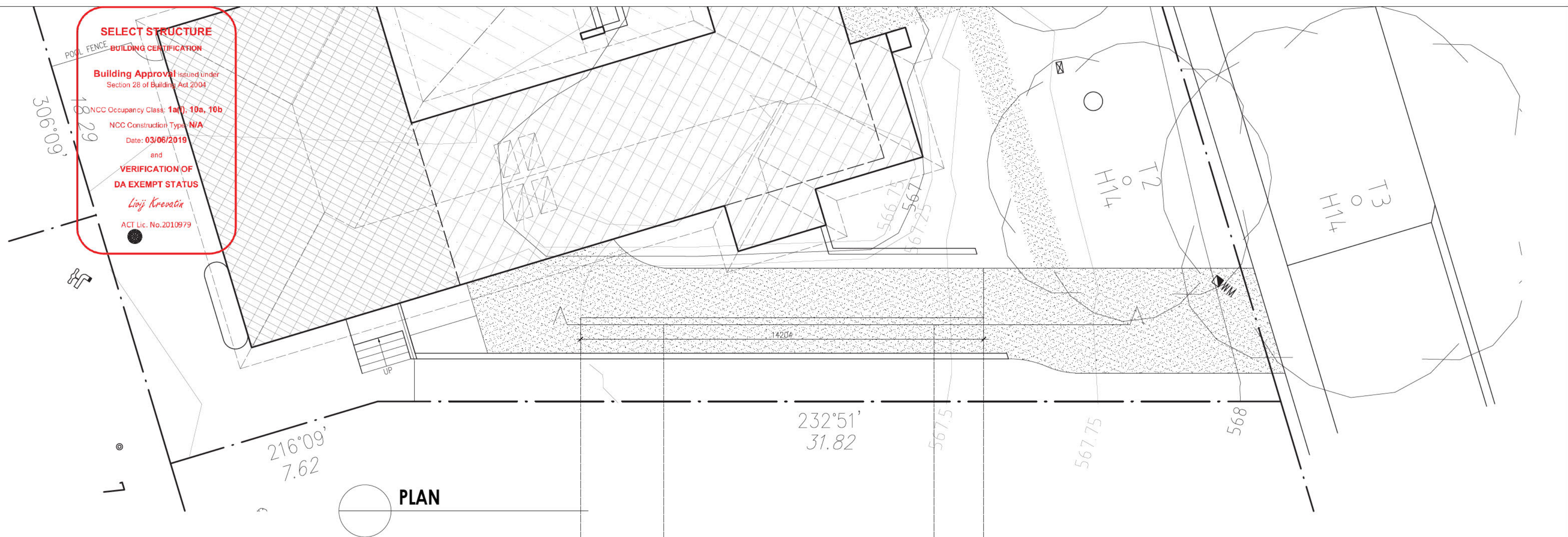
ROOF NOTES:

- NATURAL TERRACOTTA ROOF TILES ON 20° ROOF PITCH UNLESS SHOWN OTHERWISE.
- INSTALL TO MANUFACTURERS RECOMMENDATIONS. BUILDER TO PROVIDE ROOF INSTALLATION SPECIFICATIONS FROM SELECTED MANUFACTURER.
- ALL EAVES GUTTERS TO BE COLORBOND QUAD GUTTERING TO BE INSTALLED TO MANUFACTURERS RECOMMENDATIONS.
- PROVIDE FASCIA FLASHING AND PARAPET CAPPING AS REQUIRED.
- DOWN PIPES AND SPREADERS TO BE COLORBOND TO MATCH GUTTERING. FOR LOCATION OF DOWN PIPES REFER TO HYDRAULICS PLAN.
- PROVIDE PAINTED F.C SHEET LINING TO ALL EAVES.
- PROVIDE CEILINGS TO ALL OUTDOOR ROOFED AREAS AND UNDER MAIN HOUSE ROOF.

ROOF PLAN

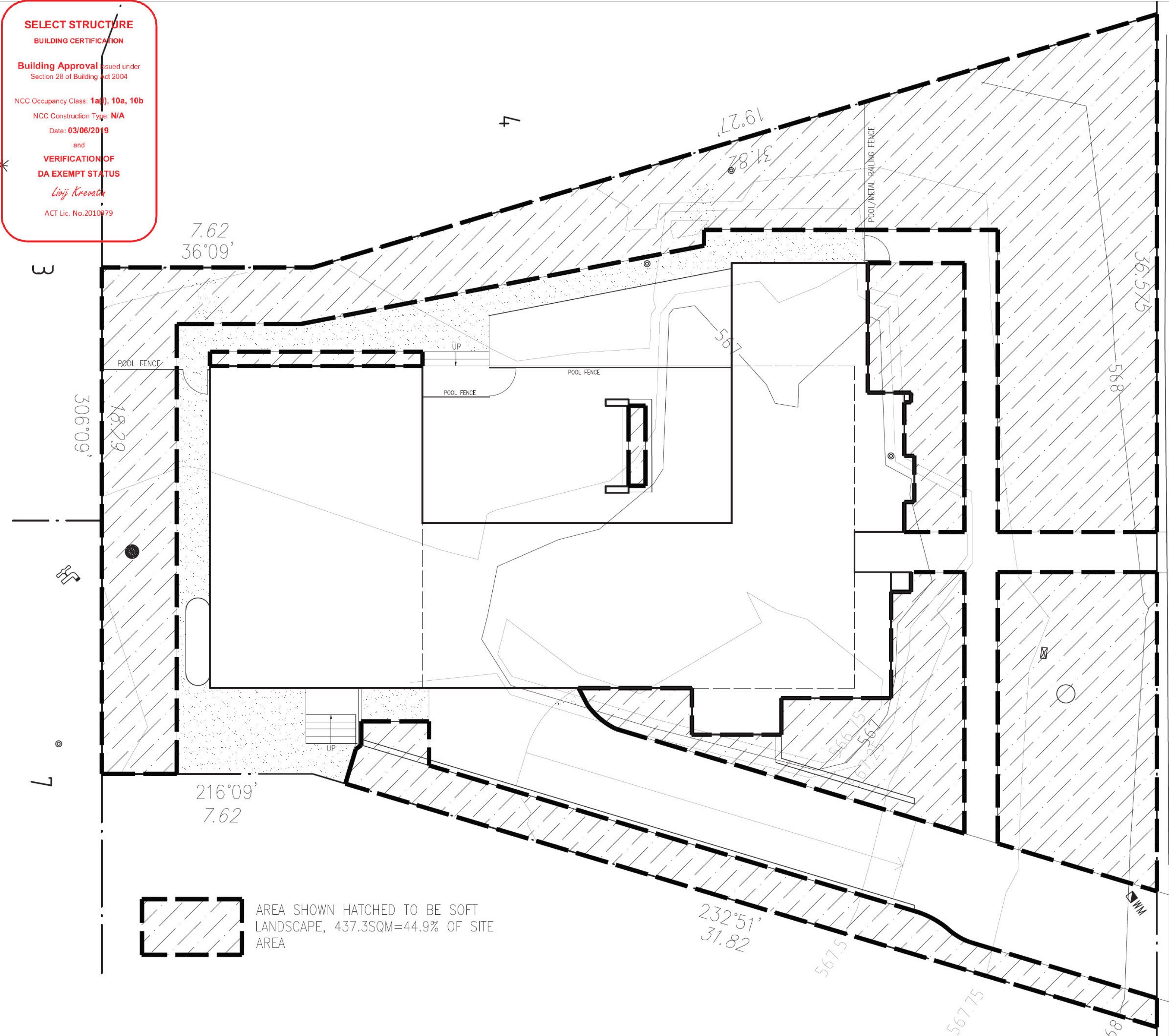
Scale 1:100 @ A2

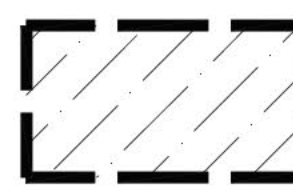
SELECT STRUCTURE
BUILDING CERTIFICATION
 Building Approval issued under
 Section 28 of Building Act 2004
 NCC Occupancy Class: **1a(1), 10a, 10b**
 NCC Construction Type: **N/A**
 Date: **03/06/2019**
 and
VERIFICATION OF
DA EXEMPT STATUS
Lioj Krevatin
 ACT Lic. No. 2010979



DRIVEWAY DETAIL
 Scale 1:100 @ A2

SELECT STRUCTURE
BUILDING CERTIFICATION
 Building Approval issued under
 Section 28 of Building Act 2004
 NCC Occupancy Class: **1a), 10a, 10b**
 NCC Construction Type: **N/A**
 Date: **03/06/2019**
 and
VERIFICATION OF
DA EXEMPT STATUS
Lioj Krenata
 ACT Lic. No.2010979



 AREA SHOWN HATCHED TO BE SOFT LANDSCAPE, 437.3SQM=44.9% OF SITE AREA

SELECT STRUCTURE

BUILDING CERTIFICATION

Building Approval issued under
Section 28 of Building Act 2004

NCC Occupancy Class: **1a(i), 10a, 10b**

NCC Construction Type: **N/A**

Date: **03/06/2019**

and

**VERIFICATION OF
DA EXEMPT STATUS**

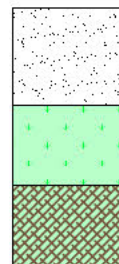
Liuj Krevatin

ACT Lic. No.2010979

PLANT SCHEDULE

Code	Botanical Name	Pot Size (mm)
TREES		
Ajv	Acer Japonicum "vitifolium"	45 Litre
Abg	Acer "bloodgood"	45 Litre
LFK	Lagerstroemia fauerei kiowa	45 Litre
SHRUBS		
Tj	Trachelospermum Jessminoides	140
Nd	Nandia Domestica	140
Lit	Lomandra "tanika"	140
Vt	Viburnum "tinus"	140

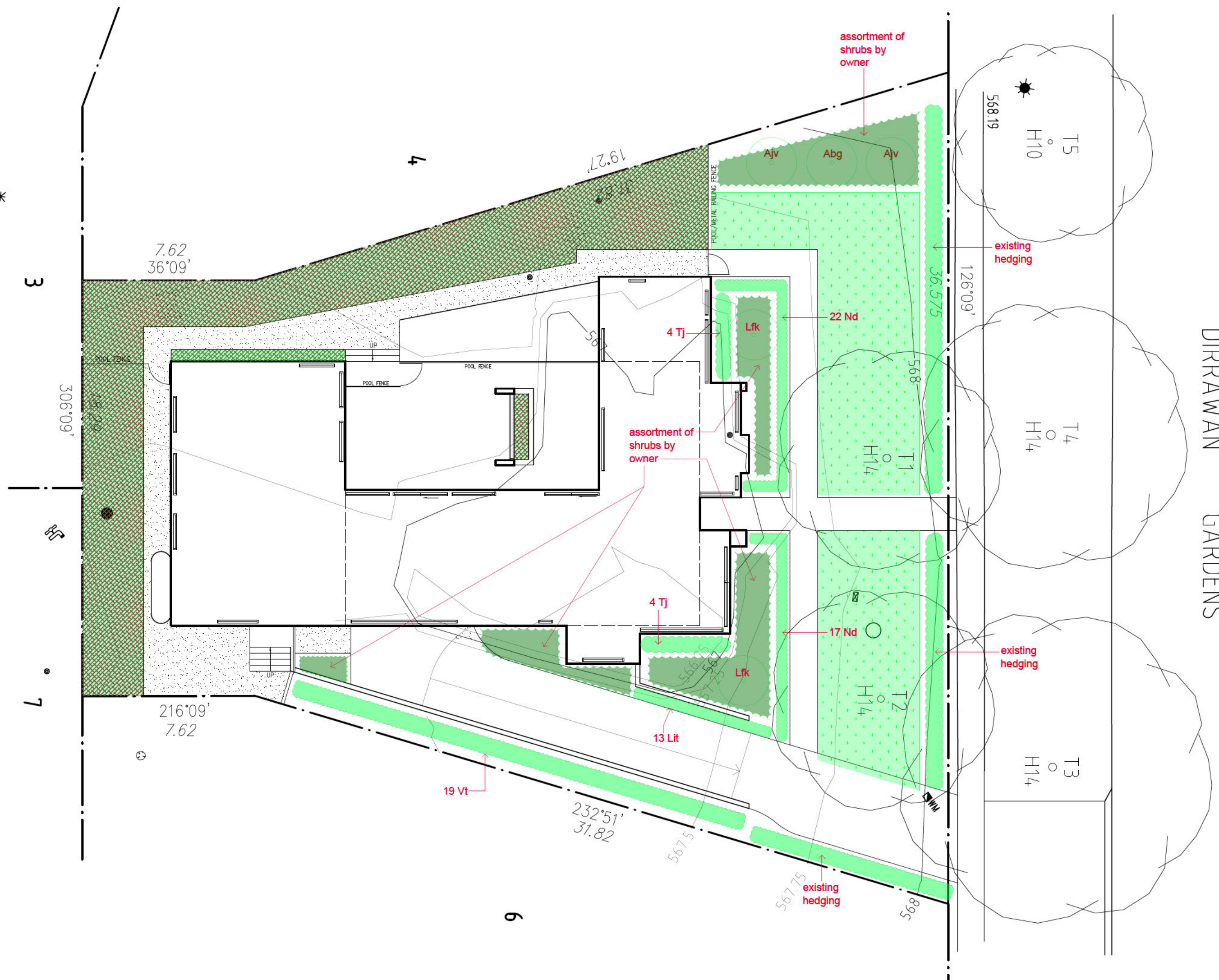
LEGEND



**CONCRETE
DRIVEWAYS/PATHWAYS**

**GRASS
TO OWNERS REQUIREMENTS**

**PRIVATE OPEN SPACE SOFT
LANDSCAPING
TO OWNERS REQUIREMENTS**



SITE PLAN
Scale 1:150 @ A3

SELECT STRUCTURE

BUILDING CERTIFICATION

Building Approval issued under
Section 28 of Building Act 2004

NCC Occupancy Class: **1a(i), 10a, 10b**

NCC Construction Type: **N/A**

Date: **03/06/2019**

and

VERIFICATION OF

AN EXEMPT STATUS

Log Driveway

ART L.C. No. 2510974



images are sketch's only-
refer to architectural
documentation for accurate
details

SELECT STRUCTURE

3.7.1.5 CONSTRUCTION OF EXTERNAL WALLS

external walls (including gable walls) require to be fire resisting, and must extend to the underside of a non-combustible roof covering or a non-combustible eaves lining.

3.7.1.8 SEPERATING WALLS

(a) Separating wall between class 1 buildings, or a wall that separates a class 1 building from a class 10a building which is not appurtenant to the class 1 building must have an FRL of backstop status 60/60/60 and
 (i) Commence at footings or ground slab
 (ii) extend-

(A) If a building has a non-combustible roof covering to the underside of the roof covering (see figure 3.7.1.10)
 (B) If a building has a combustible roof covering to not less than 450mm above the roof covering (see figure 3.7.1.10)

(b) A separating wall of lightweight construction must be tested in accordance with Specification C1.8 of BCA Volume 1.

ROOF LIGHTS

Must be installed in accordance with 3.7.1.10. Have a non-combustible covering. Have an aggregate area not more than 20% of roof or part of that roof. Be not less than 900mm from:
 (a) An allotment boundary other than the boundary adjoining a road or other public space.
 (b) A vertical projection of a separating wall extending to the underside of a roof covering.

Or 1.8m from any roof light or the like in another building on the same allotment other than an appurtenant building or a detached part of the same building.

SMOKE ALARMS

Must be installed in Class 1a building in accordance with 3.7.2.3

MORTAR JOINTS

3.3.1.7
 a) Unless otherwise specified masonry bed and perpendicular joints are to be a nominal 10mm.
 b) Where raked joints are used they must not be deeper than 10mm.

VERTICAL ARTICULATION JOINTS

a) Must be provided in unreinforced masonry walls except walls built where site soil classification is A or S.

b) Articulation joints between masonry elements must have a width of less than 10mm and be provided in accordance with 3.3.1.8
 1. In straight continuous walls having no openings, at not more than 6m centres and not closer than the height of the wall away from corners.
 2. And where the height of the wall changes be more than 20% at the position of change in height, and
 3. where openings more than 900 square 90mm occurs, at not more than 5m centres, and positioned in line with one edge of the openings.
 4. Where wall change in thickness.
 5. At control or construction joints in footing slabs, and
 6. at junction of walls constructed of different masonry materials, and

7. at deep chases (rebates) for service pipes.

c) For all articulation joints in cavity walls, extendable masonry anchors must be built in at every 4th course. For veneer construction the extendable ties may be omitted.
 d) For single leaf walls stabilized by return walls or engaged piers, any articulation joint must be within 300mm of the vertical support.
 e) Where masonry is required to be waterproof, all joints must be sealed with flexible, compressible material.
 f) Articulation joints must be constructed adjacent to anchored openings.
 g) Articulation joints must not be located in unreinforced masonry above garage door openings or the like unless the panel of masonry is laterally supported with masonry ties or other suitable means.

DOORS AND WINDOWS

All windows to be aluminium framed, unless otherwise specified.

LIGHTS

To comply with clause 3.12.5.5 of the BCA

WATER HEATER

In hot water supply system to comply with clause 3.12.5.5 of the BCA.

TIMBER FRAMING

All timber works to be done in accordance with the timber framing code and manufacturers spec. Frames to be built and constructed to AS 1684.

INSULATION REQUIREMENTS

Refer to EER report.

BUSHFIRE

There is no bushfire mitigation on this block

BRICKS

Materials and construction to AS 4773.1 Clause 4.3 Standard to AS 4455.1 and 4455.3

Mortar materials sand: fine aggregate with a low clay content and free from efflorescing salts, selected for grading and colour for brickwork. Proportions: to AS 4773.1 table 3.1

BUILT IN COMPONENTS

Durability class of built in components to AS 4773.1 table 4.1

STEEL LINTELS

Angles and flats sizes to AS 4773.1 table 12.1, cold framed lintels designed to AS 4600, corrosion protection to AS 2699.3
 Galvanizing: do not cut after galvanizing.

WALL TIES

Standard to AS 2699.1
 Type A
 Spacing: to AS 4773.2 Clause 9.7 and 10.6
 Corrosion protection to AS 2699.1

FLASHING AND DAMP PROOF COURSE

Standard to AS 2904

FLASHING

Location: Sandwich flashing between mortar except where on lintels.
Pointing: Point up joints around flashing to fill voids.

WEEPHOLES

Provide weepholes to external leaves of cavity walls in the course directly above flashing, and cavity fill, and at the bottom of unfilled cavities. Max spacing 1.2m

MORTAR MIXING

Measure volumes accurately to achieve the documented proportions, machine mix for at least 6 minute.

Bond: stretcher bond.

Clearance for timber frame shrinkage: as follows:
 Timber frame shrinkage in brick veneer timber frame construction, leave clearance between window frames and brick sills and between roof frames and brick veneer as follows:
 Accommodate for unseasoned floor timbers, single story frames and ground floor windows 10mm , 2 storey frames and upper floor windows 20mm.

Mortar joints:

Externally tool to give a dense water shedding finish.

Internally if walls are to be plastered to not rake more than 10mm to give a key.

Thickness: 10mm

Face brickwork:

Clean progressively as the work proceeds to remove mortar smears, stains and discoloration. Do not erode joints if using pressure spraying.

Sills and thresholds:

Solidly bed sills and thresholds and lay them with the top surface drain away from the building.

Cavity work:

Provide minimum cavity widths in conformance with the following:
 Masonry walls 50mm.
 Masonry veneer walls 40mm between the masonry leaf and the load bearing frame and a 25mm min. gap between the masonry leaf and sheet bracing.

DAMP PROOF COURSES

Location: to BCA 3.3.4

Installation: Lay in long lengths. Lap the full width of angles and intersections and 150mm at joints. Step as necessary but not more than 2 courses per step for brickwork and 1 course per step for block work. Sandwich damp proof course between mortar.

WATERPROOFING WET AREAS

Water proofing to AS 3740
 Products to AS 4858

MEMBRANE SYSTEMS

Provide a proprietary membrane system certified as suitable for a current Branz Appraisal Certificate intended external water proofing by the following:
 A current BRANZ appraisal certificate.
 Shower tray: Purpose made water proof jointless shower tray with all upstands at least 50mm higher than the hob upstand. Set the hob masonry on the inside of the tray hob upstand.
 Provide bond breakers at wall/floor and hob/wall junctions and at control joints where the membrane is bonded to the substrate.

EXTENT OF WATER PROOFING

Water proof or water resistant surfaces to the requirements of BCA Clause 3.8.1.2

Vertical membrane termination:

Upstands: at least 150mm above the finished tile level of the floor or 25mm above the max retaining wall level, whichever is greater.

Anchoring: Secure the sheet membranes along the top edge.

Edge protection: Protect edges of membrane.

Water proofing above terminations: Water proof the structure above the termination to prevent moisture entry behind the membrane using tiller's angle and finish overlaps.

DRAINAGE CONNECTIONS

Floor wastes: Turn membrane down at least 50mm into the floor waste drainage flanges and adhere to form a water proof connection.

Enclosed shower with hob: Extend internal membrane over the hob and into the room at least 50mm.

Uninclosed showers: Extend membranes at least 1500mm into the room from the shower rose outlet on the wall.

Membrane vertical penetrations: Pipes, ducts and vents: Provide separate sleeves for all pipes, ducts and vents and have fixed to the substrate .

Membrane horizontal Protection: Sleeves: provide a flexible flange to all penetrations, bonded to the penetration and to the membrane.

Overlaying finishes on membrane: Protect water proof membrane with compatible water resistant surface materials that do not cause damage to the membrane bonded or partially bonded systems.

If the topping or bedding mortar requires to be bonded to the membrane provide control joints in the topping or bedding mortar to reduce the control over the membrane.
 Keep traffic off membrane surfaces until bonding has set 24 hours after laying. Replace or repair any damaged work.

WINDOW AND GLAZING DETAILS TO EER REPORT

Windows selection and installation to AS 2047.
 Glazing selection and installation to AS 1288.
 Flashing to AS 2904.
 Aluminium extrusions to AS 1866.
 Safety glass to AS 2208.
 Aluminium frame finishes powder coating to AS 3715- grade architectural coating.
 Anodising to AS1231, Thickness : >= 15 microns to 20 microns.

Insect screens: Aluminium extruded or folded box frame sections with mesh fixing channels, mitered, staked and screwed at corners. Provide and extruded frame section where necessary to adapt to window opening gear.

Mesh: Bend the mesh into the frame channel with a continuous resistant gasket so that the mesh is taut and without distortion.

Bushfire screen and sills: Protect windows and doors from the ingress of embers to AS 3959.

STAIRCASE CONSTRUCTION

In accordance with BCA 3.9.1

BALUSTRADE CONSTRUCTION

In accordance with BCA 3.9.2

ARTIFICIAL LIGHTING

Refer to BCA 3.12.5.5

a) The Lamp Power Density or Illumination Power Density of artificial lighting, excluding heaters that emit light, must not exceed:

- i) In a Class 1 building, 5 W/m², and
- ii) on a verandah or balcony attached to a Class 1 building, 4W/m², and
- iii) In a Class 10A building, 3 W/m², and where illumination power density is used, it may be increased by dividing it by the illumination power density adjustment factor in Table 3.12.5.3 where applicable.

b) When designing the lamp power density or illumination power density , the power of the proposed installation must be used rather than nominal allowances for exposed batten holders or luminaires.

c) Where lamps are used that have a transformer or ballast, the transformers or ballast must be of an electronic type.

d) Halogen lamps must be separately switched from fluorescent lamps.

e) Artificial lighting around the perimeter of a building must-
 i) be controlled by a daylight sensor, or
 ii) have an average light source efficiency of not less than 40 lumens/W

RETAINING WALLS

All retaining walls to engineers specification and design.

WATER SUPPLY AND DRAINAGE

To Hydraulics engineers specification and design.

ELECTRICAL INSTALLATION

Electrical installation to AS 3008.1.1 and SAA HB 301
 Luminaires to AS 60598.1
 Minimum energy performance standards:
 -general to AS 4783.2 and AS 4782.2
 -Self ballasted lamps to AS 4847.2
 -Incandescent lamps to AS 4934.2

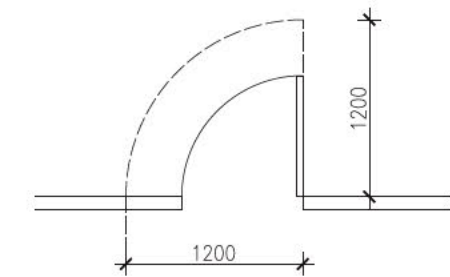
SERVICES PLAN

To hydraulic engineers specifications.

BCA 3.8.3.3 CONSTRUCTION OF SANITARY COMPARTMENTS

The door to fully close in sanitary compartments must:

- a) open outwards, or
- b) slide, or
- c) be readily removable from outside of compartment, unless there is a clear space of at least 1.2m, measured in accordance with 3.8.3.3, between the closet pan within the sanitary compartment and the doorway.



BCA figure 3.8.3.3
 Construction on sanitary compartments

SELECT STRUCTURE

BUILDING CERTIFICATION

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Section 28 of Building Act 2004

NCC Occupancy Class: **1a(i), 10a, 10b**

NCC Construction Type: **N/A**

Date: **03/06/2019**

and

**VERIFICATION OF
DA EXEMPT STATUS**

Lioj Krenatin

MAINTENANCE SCHEDULE MONTHLY

1. TURN OVER STABILISED CONSTRUCTION ENTRY MATERIAL AND TOP UP AS REQUIRED.

WEEKLY

2. CHECK AND REINSTATE SILT CONTROL FENCES.

DAILY

3. SWEEP AND REMOVE ANY DIRT TRACKED ONTO PUBLIC ROADS BY VEHICLES. ALL NECESSARY STEPS SHOULD BE TAKEN THAT ARE PRACTICAL AND REASONABLE TO MINIMISE DUST POLLUTION ON LAND DEVELOPMENT AND CONSTRUCTION SITE.

DURING/AFTER WET WEATHER

4. LIMIT CONSTRUCTION VEHICLE ACCESS TO SITE DURING AND IMMEDIATELY FOLLOWING WET WEATHER.

DUST MANAGEMENT

1. A WATER CART OR SUFFICIENT WATER SPRAYS SHALL BE MADE AVAILABLE IN DRY AND WINDY CONDITIONS TO MAINTAIN DUST SUPPRESSION.
2. WATER SHALL BE APPLIED TO SUPPRESS DUST FROM OPEN EARTHWORKS AS WELL AS UNPROTECTED STOCKPILES.
3. STOCKPILES SHALL BE EITHER COVERED OR SEEDED TO PREVENT DUST.
4. AREAS OF COMPLETED EARTHWORKS SHALL BE PROGRESSIVELY REHABILITATED WITH DRYLAND GRASS AND FENCED OFF AS SOON AS PRACTICABLE TO PREVENT FURTHER EROSION.
5. THE CONTRACTOR SHALL CONTACT ACTEWAGL TO OBTAIN AN EXEMPTION TO USE WATER ON THE SITE.

ACCESS

ACCESS POINT SHOULD BE STABILISED TO THE FOLLOWING CRITERIA:

STABILISED PAD OF AGGREGATE UNDERLAIN WITH FILTER CLOTH.

-AGGREGATE SIZE 50mm AGGREGATE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.

-THICKNESS: NOT LESS THAN 150mm.

-WIDTH: 3M MINIMUM BUT NOT LESS THAN THE FULL WIDTH OF VEHICLE ACCESS.

-LENGTH: AS REQUIRED, BUT NOT LESS THAN 15M

-FILTER CLOTH: TO BE PLACED OVER THE ENTIRE AREA TO BE COVERED WITH AGGREGATE.

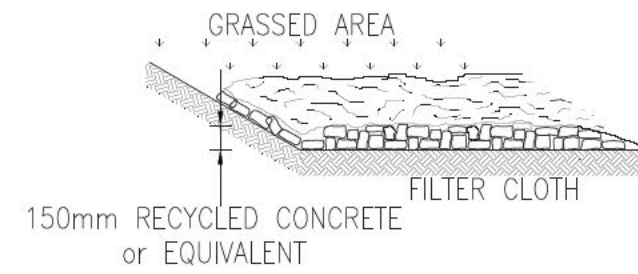
THE LOCATION OF ANY WASH DOWN AND BRICK/PAVING CUTTING AREAS ARE LOCATED UPSTREAM OF THE SEDIMENT FENCE WITH TRENCHING OR SMALL PONDS TO COLLECT WASTE WATER.

THE KERB IS TO BE SWEEP DAILY, AND THE SEDIMENT IS TO BE COLLECTED AND RETURNED TO SITE.

THE DUST FROM THE SITE IS TO BE MANAGED TO PREVENT SIGNIFICANT ADVERSE IMPACT ON NEIGHBOURING SITES.

REGULAR MONITORING AND MAINTENANCE OF THE ABOVE POLLUTION CONTROLS ARE TO BE UNDERTAKEN.

CARPARKING IS NOT PERMITTED ON VERGES

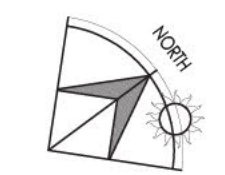
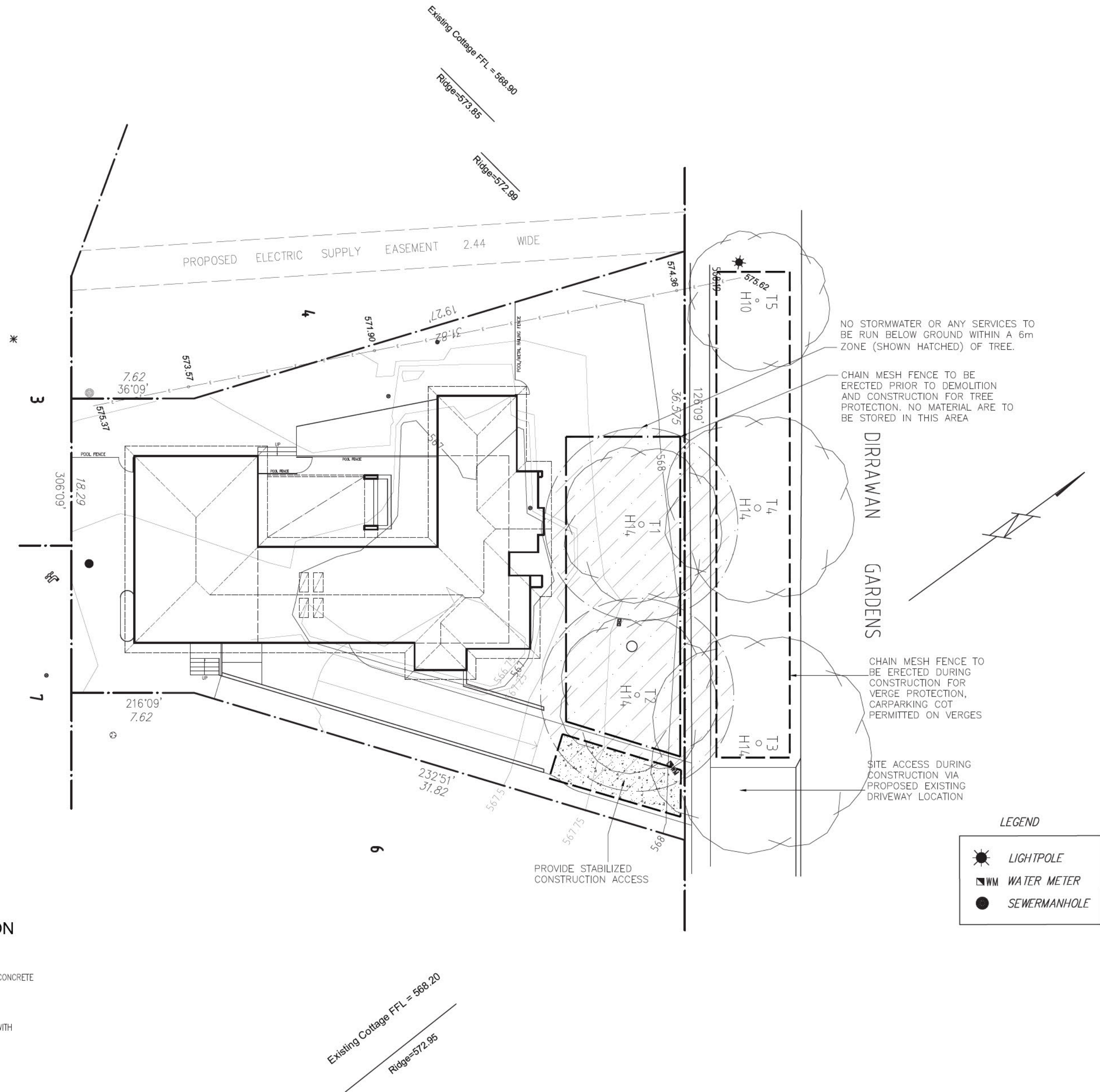


**STABILISED CONSTRUCTION
ENTRANCE NTS**

DESIGN CRITERIA
AGGREGATE SIZE—USE 50mm AGGREGATE OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT
THICKNESS — NOT LESS THAN 150mm
WIDTH — AS REQUIRED (PROPOSED DRIVEWAY WIDTH)
LENGTH — AS REQUIRED BUT NOT LESS THAN 15m
FILTER CLOTH TO BE PLACED OVER THE ENTIRE AREA TO BE COVERED WITH AGGREGATE
BIDIM U14 OR EQUIVALENT FILTER CLOTH TO BE USED

**EROSION & SEDIMENT CONTROL PLAN
LANDSCAPE MANAGEMENT & PROTECTION PLAN**

Scale 1:200 @ A3



SELECT STRUCTURE

BUILDING CERTIFICATION

Building Approval issued under
Section 28 of Building Act 2004

NCC Occupancy Class: **1a(i), 10a, 10b**

NCC Construction Type: **N/A**

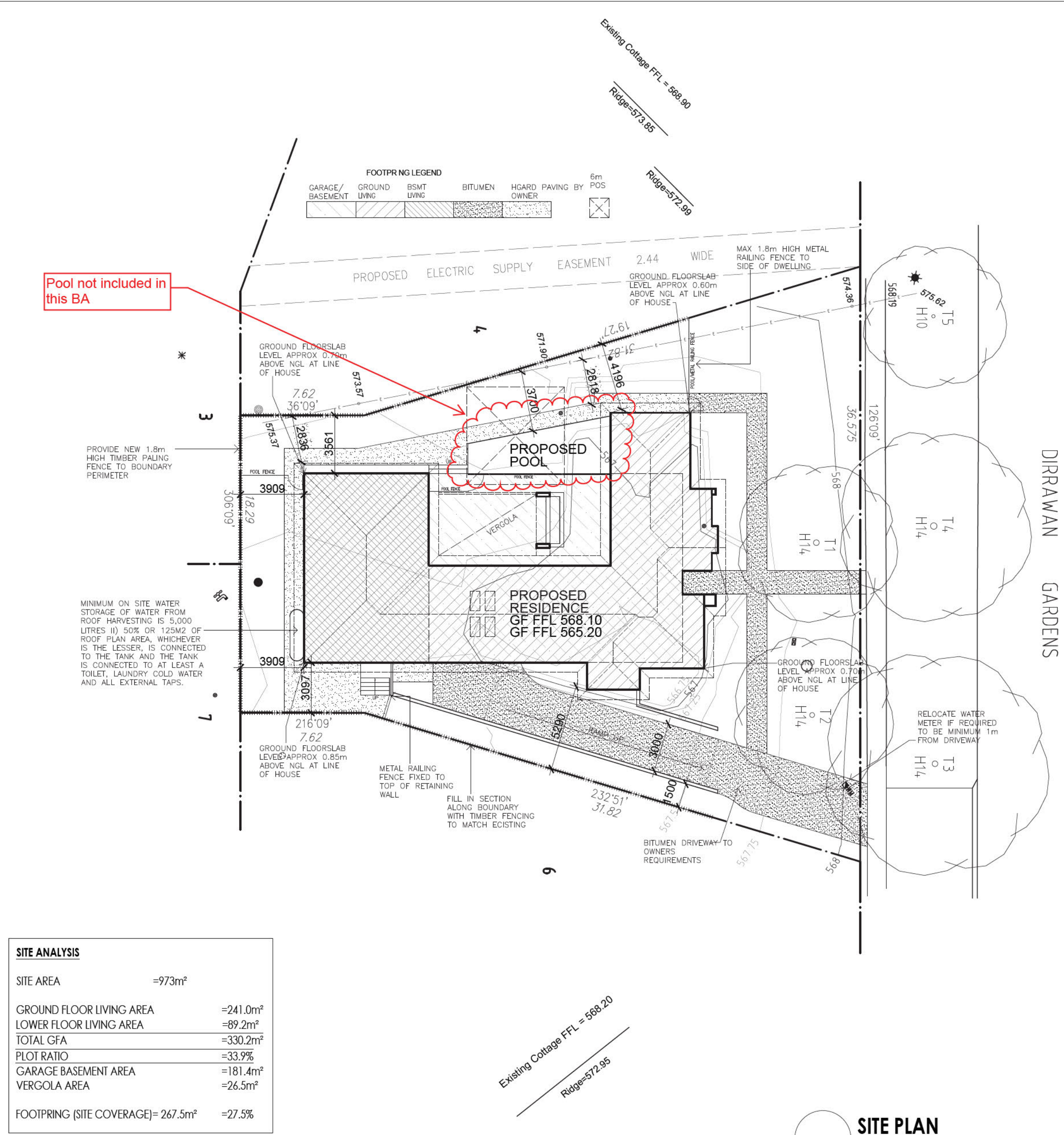
Date: **03/06/2019**

GENERAL NOTES

- Brick on edge sills throughout and
- All concrete slabs and footings shall be determined by site classification and AS 2870.1
- Provide termite protection to code in accordance with AS 3660-2000 part 1, 2 and 3.
- All timber framing and construction must comply with the current version of the timber framing code AS 1684 and the BCA.
- All insulation to comply with Energy Rating Report.
- Provide smoke alarms in accordance with Part 3.7.2 of the BCA and AS 3766. Wiring to AS 3000
- All windows and glazing to all relevant codes and standards and in accordance with Energy Rating Report.
- All operable windows and doors to have fly screens on aluminium frames, powdercoat colour to match door and window frames.
- All operable doors and windows to have factory fitted fly screens on exterior
- All fire rated separation must be undertaken in accordance with the BCA and all relevant Australian standards. All fire rating construction must be certified by a qualified professional.
- Refer to structural engineers documents for all structural components.
- Bathroom, w.c, Ens and Laundry doors: fit frame type so that door is readily removable from outside of compartment. Sliding cavity doors allow lock set readily openable from outside of compartment.
- All lintel heights to be 2100mm from FFL or nearest brick course, unless otherwise specified on drawings.
- All windows to have brick on edge window sills with damp proof membrane under, all to meet code.
- Where proprietary light weight party wall systems specified between dwellings, all to manufacturers details as per BCA/NCC requirements.
- Provide mechanical ventilation and artificial lighting to BCA requirements where required.
- FFL's are subject to change and are up to builders discretion, to be discussed and agreed upon with client.
- Confirm all levels and contours on site against levels shown on site plan prior to commencement of construction. Builder is responsible to ensure all information shown in these documents regarding levels is accurate and represents existing on site levels.
- Development to comply with best practice guidelines- Prevent pollution from residential building sites, march 2006.
- Block boundaries, contours, services and easements to be verified on site prior to construction.
- Retaining wall heights and all levels to suite site conditions, final heights to be confirmed by builder.
- Builder to provide all labour, materials, fittings, paint, permits, insurances etc. necessary for the proper completion of the works and ensure that all labour and materials in all trades are the best of the respective kinds.
- Verify all services, ie storm water and sewer lies.
- All contractors to inform themselves of the scope of work before commencing.
- Follow figure dimensions only. Check and verify dimensions before starting and report any discrepancies to designer.
- Building setbacks, easements and dimensions to be verified by the surveyor and certifier prior to commencing of any work.
- Materials and workmanship to be in accordance with the BCA, and all other relevant codes and Australian Standards.
- Water tightness to main subcontractors responsibility.

BA EXEMPT STATUS
Lioj Krevatin
ACI Lic. No. 2010979

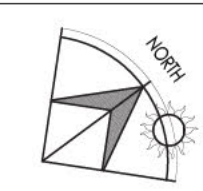
Pool not included in this BA



SITE ANALYSIS	
SITE AREA	=973m ²
GROUND FLOOR LIVING AREA	=241.0m ²
LOWER FLOOR LIVING AREA	=89.2m ²
TOTAL GFA	=330.2m ²
PLOT RATIO	=33.9%
GARAGE BASEMENT AREA	=181.4m ²
VERGOLA AREA	=26.5m ²
FOOTPRINT (SITE COVERAGE)	=267.5m ² =27.5%

LEGEND	
	LIGHTPOLE
	WATER METER
	SEWERMANHOLE

SITE PLAN
Scale 1:200 @ A3

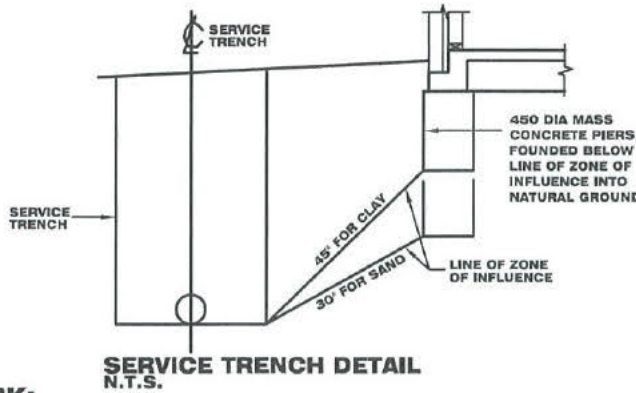


GENERAL NOTES:

- G.1 THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ALL DISCREPANCIES SHALL BE REFERRED TO THE ARCHITECT/ENGINEER FOR DECISION BEFORE PROCEEDING WITH THE WORK.
- G.2 DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE STRUCTURAL DRAWINGS.
- G.3 SETTING OUT DIMENSIONS SHOWN ON THE DRAWINGS SHALL BE VERIFIED BY THE BUILDER.
- G.4 DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED A STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED.
- G.5 ALL WORKMANSHIP AND MATERIAL SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT EDITIONS OF THE A.S. CODES AND THE BY-LAWS AND ORDINANCES OF THE RELEVANT BUILDING AUTHORITY.
- G.6 THE STRUCTURAL ELEMENTS SHOWN ON THE DRAWINGS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE FOLLOWING CODES:
 CONCRETE - A.S 3600
 FOOTING - A.S 2870
 STEEL - A.S 4100 & A.S. 4600

FOUNDATIONS AND FOOTINGS:

- F.1 FOOTINGS HAVE BEEN DESIGNED FOR A UNIFORM BEARING PRESSURE (refer to sheet 2). FOUNDATION MATERIAL SHALL BE APPROVED FOR THIS PRESSURE BEFORE PLACING CONCRETE FOOTING.
- F.2 THE SITE IS CLASSIFIED IN ACCORDANCE WITH GEOTECHNICAL REPORT (refer to sheet 2). WE DISCLOSE THAT WE HAVE NOT VERIFIED THIS REPORT AND THAT WE RELY ON ITS FINDINGS.
- F.3 FOOTING SHALL BE PLACED CENTRALLY UNDER WALLS AND COLUMNS UNLESS OTHERWISE NOTED.
- F.4 ALL WORKMANSHIP & MATERIALS SHALL BE IN ACCORDANCE WITH A.S. 2870
- F.5 THE FOOTING DETAILS SHOWN ARE FOR THE SITE CLASSIFICATION STIPULATED, PDCE CONSULTING ENGINEERS TAKES NO RESPONSIBILITY FOR VARIATIONS WHICH MAY OCCUR DUE TO VARIATIONS IN SITE CONDITIONS.
- F.6 FILL USED IN THE CONSTRUCTION OF A SLAB EXCEPT WHERE THE SLAB IS SUSPENDED SHALL CONSIST OF A CONTROLLED FILL OR ROLLED FILL IN ACCORDANCE WITH A.S. 2870
 A) ROLLED FILL CONSISTS OF MATERIAL COMPACTED IN LAYERS BY REPEATED ROLLING WITH AN EXCAVATOR. ROLLED FILL SHALL NOT EXCEED 600mm COMPACTED IN LAYERS NOT MORE THAN 300mm, FOR SAND MATERIAL OR 400mm COMPACTED IN LAYERS NOT MORE THAN 150mm FOR OTHERS MATERIAL.
 B) CONTROLLED FILL SHALL CONSIST OF WELL GRADED SAND FILL UP TO 800mm DEEP, WELL COMPACTED IN NOT MORE THAN 300mm LAYERS BY VIBRATING PLATE OR VIBRATING ROLLER NON SAND FILL UP TO 400mm DEEP, WELL COMPACTED IN NOT MORE THAN 150 LAYERS BY A MECHANICAL ROLLER, CLAY FILL SHOULD BE MOIST DURING COMPACTION. THE DEPTHS OF FILL GIVEN ABOVE ARE DEPTHS MEASURED AFTER COMPACTION.FOR DEPTHS GREATER THAN THAT GIVEN ABOVE THE FILL SHALL BE SUBJECT TO CONTROL AND TESTING. IF TEST FAILS THEN PIERS ARE REQUIRED. CONTACT THIS OFFICE PRIOR TO FURTHER CONSTRUCTION.
 EDGE BEAMS MAY BE FOUNDED ON CONTROLLED FILL EDGE BEAMS SHALL NOT BE FOUNDED ON ROLLED FILL
- F.7 TOP SOIL CONTAINING GRASS ROOTS OR OTHER ORGANIC MATERIAL SHALL BE REMOVED FROM THE AREA ON WHICH THE SLAB IS TO REST.
- F.8 IF ANY FOOTING IS LOCATED SUCH THAT A LINE DRAWN AT 45 DEGREES FOR CLAY AND 30 DEGREES FOR SAND FROM ITS BASE INTERSECTS A SERVICE TRENCH THEN PIERS ARE REQUIRED AS PER DETAIL BELOW.



CONCRETE WORK:

- C.1 ALL WORKMANSHIP AND MATERIAL SHALL BE IN ACCORDANCE WITH A.S. 3600. & A.S. 2870
- C.2 CONCRETE QUALITY SHALL BE AS TABULATED BELOW U.N.O. AND SHALL BE VERIFIED BY TESTS.

ELEMENT	SLUMP mm	MAX. SIZE AGG. mm	CEMENT TYPE	EXPOSURE CLASSIFIC.	CONCRETE GRADE	COVER mm
SLABS ON GROUND	100	20	A	A1	25N	20 TOP 30 BTM 40 EXTERNAL
FOOTINGS	100	20	A	A1	25N	40
SUSPENDED SLAB	80	20	A	A1	32N	30 TOP 20 BTM 40 EXTERNAL

- C.3 ALL CONCRETE SHALL BE PLACED AND CURED IN ACCORDANCE WITH A.S. 3600. WHERE CURING COMPOUNDS ARE USED IT MUST BE APPLIED AS FOLLOWS:
 A) ONTO SLAB WITHIN 2HRS OF FINISHING OPERATION
 B) ONTO WALLS AND COLUMNS IMMEDIATELY AFTER REMOVAL OF FORMWORK.
- C.4 SIZES OF CONCRETE ELEMENTS DO NOT INCLUDE THICKNESS OF APPLIED FINISHES.
- C.5 CONSTRUCTION JOINTS WHERE NOT SHOWN SHALL BE TO THE APPROVAL OF THE ENGINEER.
- C.6 BEAM DEPTHS ARE WRITTEN FIRST AND INCLUDE SLAB THICKNESS, IF ANY.
- C.7 HORIZONTAL FORMWORK SHALL BE STRIPPED WHEN APPROVED BY THE ENGINEER.
- C.8 UNLESS NOTED OTHERWISE NO ALLOWANCE HAS BEEN MADE FOR STACKED MATERIALS OR MACHINERY ON THE CONCRETE STRUCTURE.
- C.9 NO HOLES OR CHASES OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE MADE IN CONCRETE ELEMENTS WITHOUT THE PRIOR APPROVAL OF THE ENGINEER.
- C.10 REINFORCEMENT IS REPRESENTED DIAGRAMMATICALLY, IT IS NOT NECESSARILY SHOWN IN TRUE PROJECTION.
- C.11 SPLICES IN REINFORCEMENT MADE IN POSITIONS OTHER THAN SHOWN SHALL BE TO THE APPROVAL OF THE ENGINEER. WHERE THE LAP LENGTH IS NOT SHOWN IT SHALL BE SUFFICIENT TO DEVELOP THE FULL STRENGTH OF THE REINFORCEMENT.
- C.12 WELDING OF REINFORCEMENT SHALL NOT BE PERMITTED UNLESS SHOWN ON THE STRUCTURAL DRAWINGS.
- C.13 PIPES OR CONDUITS SHALL NOT BE PLACED WITHIN THE CONCRETE COVER TO REINFORCEMENT WITHOUT THE APPROVAL OF THE ENGINEER.
- C.14 ALL REINFORCING BARS SHALL COMPLY WITH A.S. 4671. ALL FABRIC SHALL COMPLY WITH A.S. 4671 AND SHALL BE SUPPLIED IN FLAT SHEETS.
- C.15 REINFORCING SYMBOLS:
 N - DENOTES GRADE D500 HIGH STRENGTH DEFORMED BARS TO A.S. 4671.
 R - DENOTES GRADE R250 HOT ROLLED PLAIN BARS TO A.S. 4671.
 SL - DENOTES HARD-DRAWN WIRE SQUARE REINFORCING FABRIC TO A.S. 4671.
 RL - DENOTES HARD-DRAWN WIRE RECTANGULAR REINFORCING FABRIC TO A.S. 4671.
 THE NUMBER IMMEDIATELY FOLLOWING THESE SYMBOLS IS THE BAR DIAMETER IN MILLIMETRES.
- C.16 FABRIC REINFORCEMENT TO BE LAPPED ONE MESH PLUS 30mm. LAPS IN POSITIONS OF MAXIMUM MOMENT ARE NOT PERMITTED.

- C.17 ALL REINFORCEMENT SHALL BE FIRMLY SUPPORTED ON INSULATED STEEL, PLASTIC OR CONCRETE CHAIRS GENERALLY AT NOT GREATER THAN 800 CENTERS BOTH WAYS. RODS SHALL BE TIED AT ALTERNATE INTERSECTIONS.
- C.18 ALL TENSILE REINFORCEMENT TO BE LAPPED AS SHOWN (u.n.o.):-

REINF. BAR	N12	N16	N20	N24
LAP LENGTH mm	500	600	700	800

DRAINAGE NOTES:

- D.1 ALL WORKMANSHIP & MATERIALS SHALL BE IN ACCORDANCE WITH A.S. 2870
- D.2 DRAINAGE SHALL BE CONSTRUCTED TO AVOID WATER PONDING AGAINST OR NEAR THE FOOTING. THE GROUND IN THE IMMEDIATE VICINITY OF THE PERIMETER FOOTING, INCLUDING THE GROUND UPHILL FROM THE SLAB ON CUT-AND-FILL SITES, SHALL BE GRADED TO FALL 50mm MINIMUM AWAY FROM THE FOOTING OVER A DISTANCE OF 1m. SURFACE OR SUBSURFACE DRAINS SHALL BE USED TO CHANNEL WATER AWAY AND CONNECTED TO STORM WATER SYSTEM. ANY PAVING SHALL ALSO BE SUITABLY SLOPED
- D.3 PLUMBING TRENCHES SHALL BE SLOPED AWAY FROM THE HOUSE AND SHALL BE BACKFILLED WITH CLAY IN THE TOP 300mm WITHIN 1.5m OF THE HOUSE. THE CLAY USED FOR BACKFILLING SHALL BE COMPACTED. WHERE PIPES PASS UNDER THE FOOTING. SYSTEM, THE TRENCH SHALL BE BACKFILLED WITH CLAY OR CONCRETE TO RESTRICT THE INGRESS OF WATER BENEATH THE FOOTING SYSTEM.
- D.4 EXCAVATIONS NEAR THE EDGE OF THE FOOTING SYSTEM SHALL BE BACKFILLED IN SUCH A WAY AS TO PREVENT ACCESS OF WATER TO THE FOUNDATION. FOR EXAMPLE, EXCAVATIONS SHOULD BE BACKFILLED ABOVE OR ADJACENT TO THE FOOTING. WITH MOIST CLAY COMPACTED BY HAND-RODDING OR -TAMPING. POROUS MATERIAL SUCH AS SAND, GRAVEL OR BUILDING RUBBLE SHOULD NOT BE USED.
- D.5 WATER RUN-OFF SHALL BE COLLECTED AND CHANNELLED AWAY FROM THE HOUSE DURING CONSTRUCTION.
- D.6 PENETRATIONS OF THE EDGE BEAMS AND FOOTING BEAMS ARE TO BE AVOIDED, BUT WHERE NECESSARY SHALL BE SLEEVED TO ALLOW FOR MOVEMENT.
- D.7 CONNECTION OF STORMWATER DRAINS AND WASTE DRAINS SHALL INCLUDE FLEXIBLE CONNECTION.

STRUCTURAL STEEL:

- S.1 ALL WORKMANSHIP & MATERIALS SHALL BE IN ACCORDANCE WITH A.S. 4100 EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.
- S.2 UNLESS OTHERWISE NOTED, ALL STEEL SHALL BE IN ACCORDANCE WITH:
 A.S. 3679.1 GRADE 300 FOR ROLLED SECTIONS.
 A.S. 1163 GRADE 350 FOR RHS SECTIONS.
 A.S. 1163 GRADE 350 FOR CHS SECTIONS.
 A.S. 3378 GRADE 350 FOR ALL PLATE.
 A.S. 3679.1 GRADE 350 FOR ALL FLAT
 A.S. 1397 GRADE 450 FOR 1.5, 1.9, 2.4 AND 3.0 BMT OF COLD-FORMED STEEL SECTIONS.
- S.3 UNLESS NOTED OTHERWISE ALL WELDS SHALL BE 6mm CONTINUOUS FILLET WELDS AND ALL GUSSET PLATES SHALL BE 10mm THICK.
- S.4 BUTT WELDS WHERE INDICATED IN THE DRAWINGS ARE TO BE COMPLETE PENETRATION BUTT WELDS AS DEFINED IN A.S. 1554.
- S.5 UNLESS OTHERWISE SHOWN ALL BOLTS SHALL BE 16mm DIA HIGH STRENGTH (H.S.) BOLTS SHALL CONFORM TO A.S. 1252 AND SHALL BE INSTALLED IN ACCORDANCE WITH A.S. 4100 AS DIRECTED BY THE ENGINEER.
- S.6 UNLESS NOTED OTHERWISE ALL BEAMS TO BE SUPPORTED ON BRICKWORK/ENGAGED BRICK PIERS (110mm BRICK BEARING REQUIRED) PLACE INCOMPRESSIBLE PACKING AS REQUIRED UNDER THE ENDS OF THE BEAM TO ENSURE EVEN BEARING ON BRICKWORK.
- S.7 UNLESS NOTED OTHERWISE PROTECTIVE COATINGS FOR STEELWORK SHALL BE AS TABULATED BELOW AND IN ACCORDANCE WITH THE CURRENT EDITION OF THE BSA.

ENVIRONMENT (EXPOSURE CLASSIFICATION AS PER BCA)	GENERAL STRUCTURAL MEMBERS (NOT BUILT INTO MASONRY OR CONCRETE)		LINTELS (BUILT INTO MASONRY OR CONCRETE)
	INTERNAL	EXTERNAL	
VERY LOW	RO		
LOW	RO	R1	R2
MEDIUM	RO	R2	R3
HIGH	R1	R3	R4
VERY HIGH	R1	R4	R5

PROTECTIVE COATING SPECIFICATION TO A.S. 2699.3

REVISION DETAILS			
NO.	DESCRIPTION	DATE	NAME

PIERRE DRAGH
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PROJECT
BLOCK 5 SECTION 28
REID

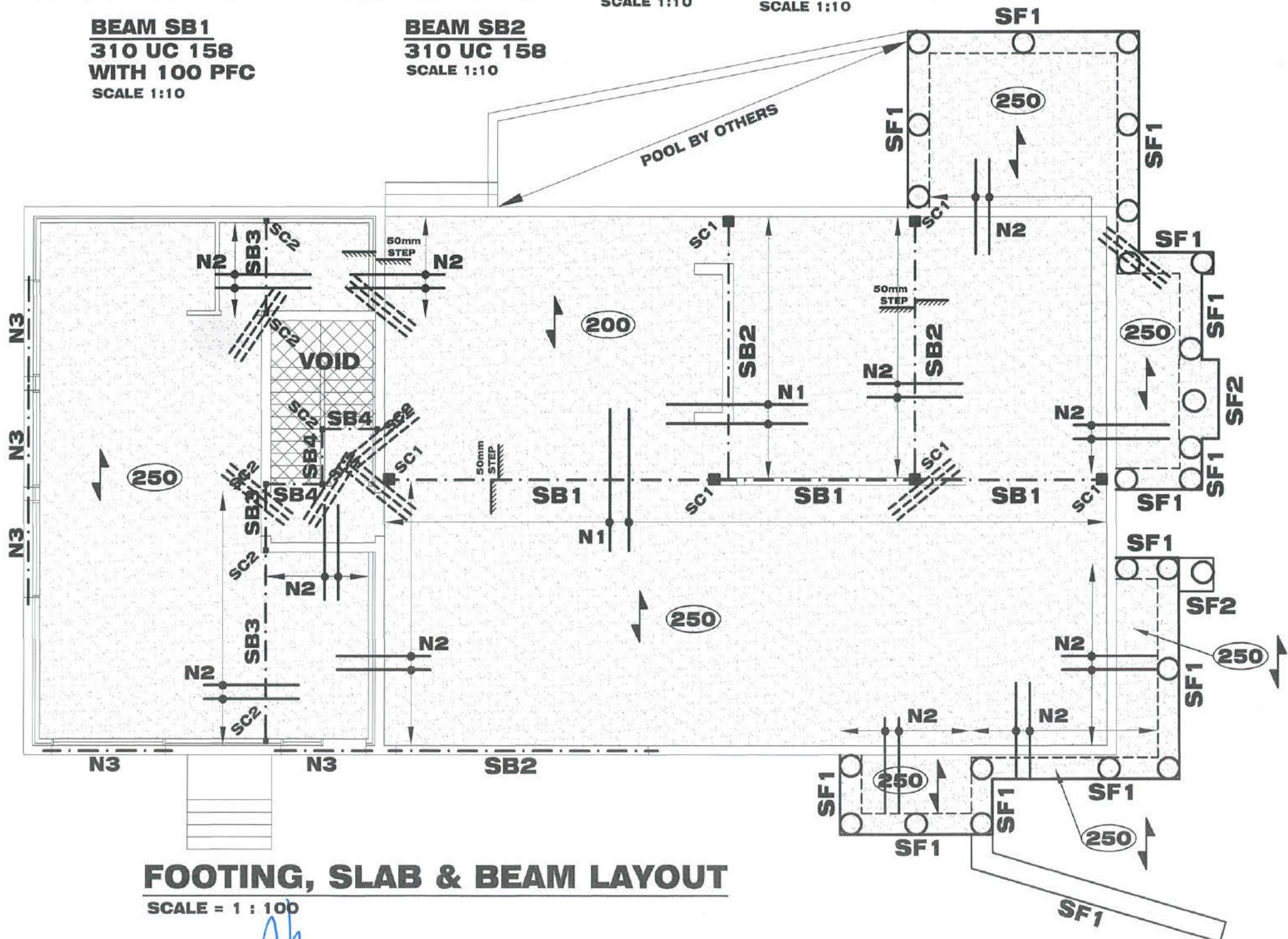
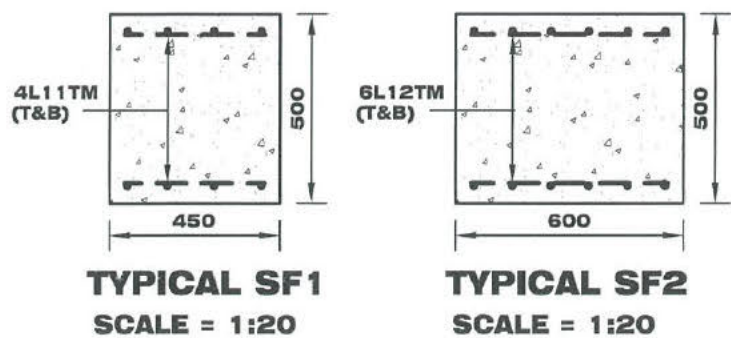
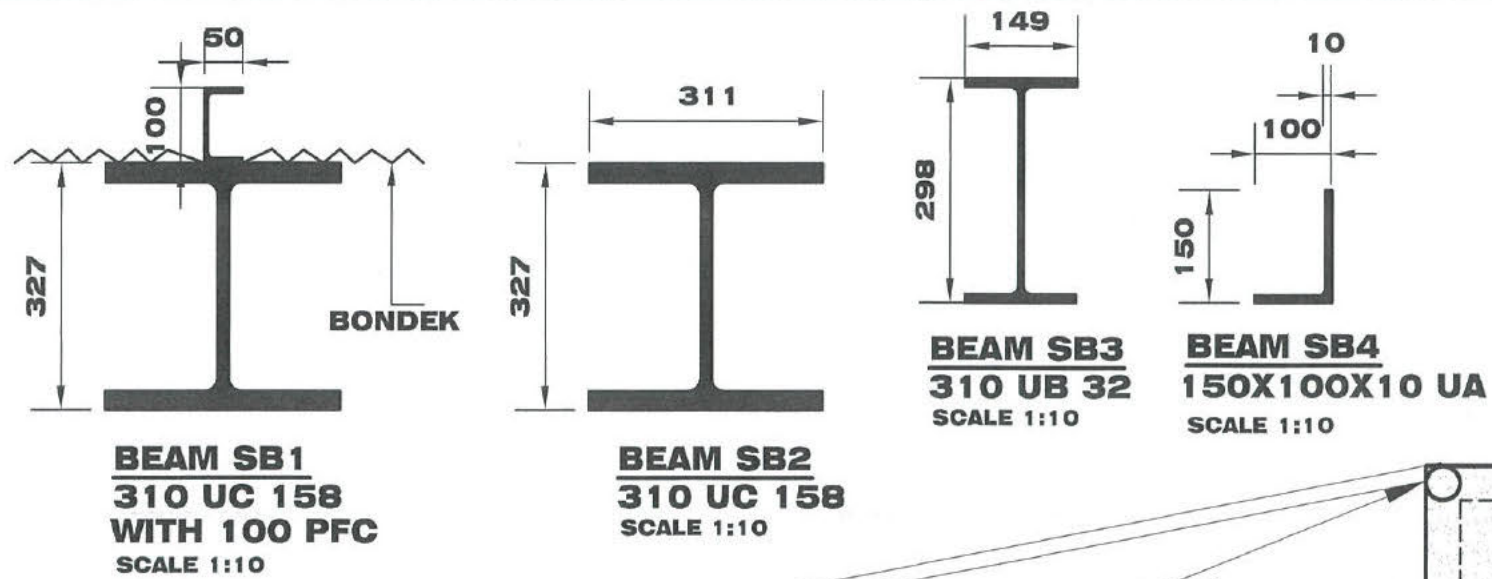
CLIENT
Sch 2 2.2(a)(ii) RESIDENCE

DRAWING
GENERAL NOTES

Job No. _____ Rev. _____
 SCALE: DATE: 1:100 26/04/19 Dwg No. _____
 DESIGNED: _____
 DRAWN: AFZAL
 CHECKED: PD

S1

MEMBER SCHEDULE		
MARK	SIZE	REMARKS
SB1	310 UC 158 UNDER BONDEK LEVEL WITH 100 PFC @ 300mm CTS SHEAR CONNECTORS ON TOP OF UC, SHEAR CONNECTORS TO BE 100mm LONG.	
SB2	310 UC 158 UNDER BONDEK LEVEL	
SB3	310 UB 32 @ UNDER BONDEK LEVEL	
SB4	150X100X10 UA @ BONDEK LEVEL	
N1	N12 @ 300mm CTS, 3000mm LONG, TIED TO TOP OF SLAB MESH	
N2	N12 @ 400mm CTS, 2000mm LONG, TIED TO TOP OF SLAB MESH	
N3	2N20 OVER OPENING	
SC1	200X200X9 SHS ON 400X400X20 BASE PLATE WITH 4M20 CHEMSET INTO FOOTING	
SC2	89X89X6 SHS	-
(250)	250mm SUSPENDED SLAB ON BONDEK, SL81 (TOP) ON 200mm CHAIRS + SL92 (BTM) ON BONDEK	
(200)	200mm SUSPENDED SLAB ON BONDEK, SL81 (TOP) ON 150mm CHAIRS + SL92 (BTM) ON BONDEK	
↔	1mm BONDEK	



FOOTING/SLAB PLAN

- LEGEND**
- FOR ALL FOOTING DETAILS REFER TO SECTIONS
 - 450mm DIA CONCRETE PIERS TO ROCK
 - ≡≡≡ 3N12 OR 3L11TM, 2000mm LONG, TIED TO TOP OF SLAB MESH
 - ⊗ DENOTES 300Ø BORED PIERS TO INVERT LEVEL OF PIPE

FOOTING, SLAB & BEAM LAYOUT
SCALE = 1 : 100

REVISION DETAILS			
NO.	DESCRIPTION	DATE	NAME

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PROJECT
BLOCK 5 SECTION 28
REID

CLIENT
Sch 2 2.2(a)(ii) RESIDENCE

DRAWING
FOOTING, SLAB & BEAM LAYOUT

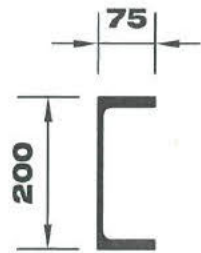
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SCALE: 1:100 DATE: 26/04/19 Dwg No. **S3**

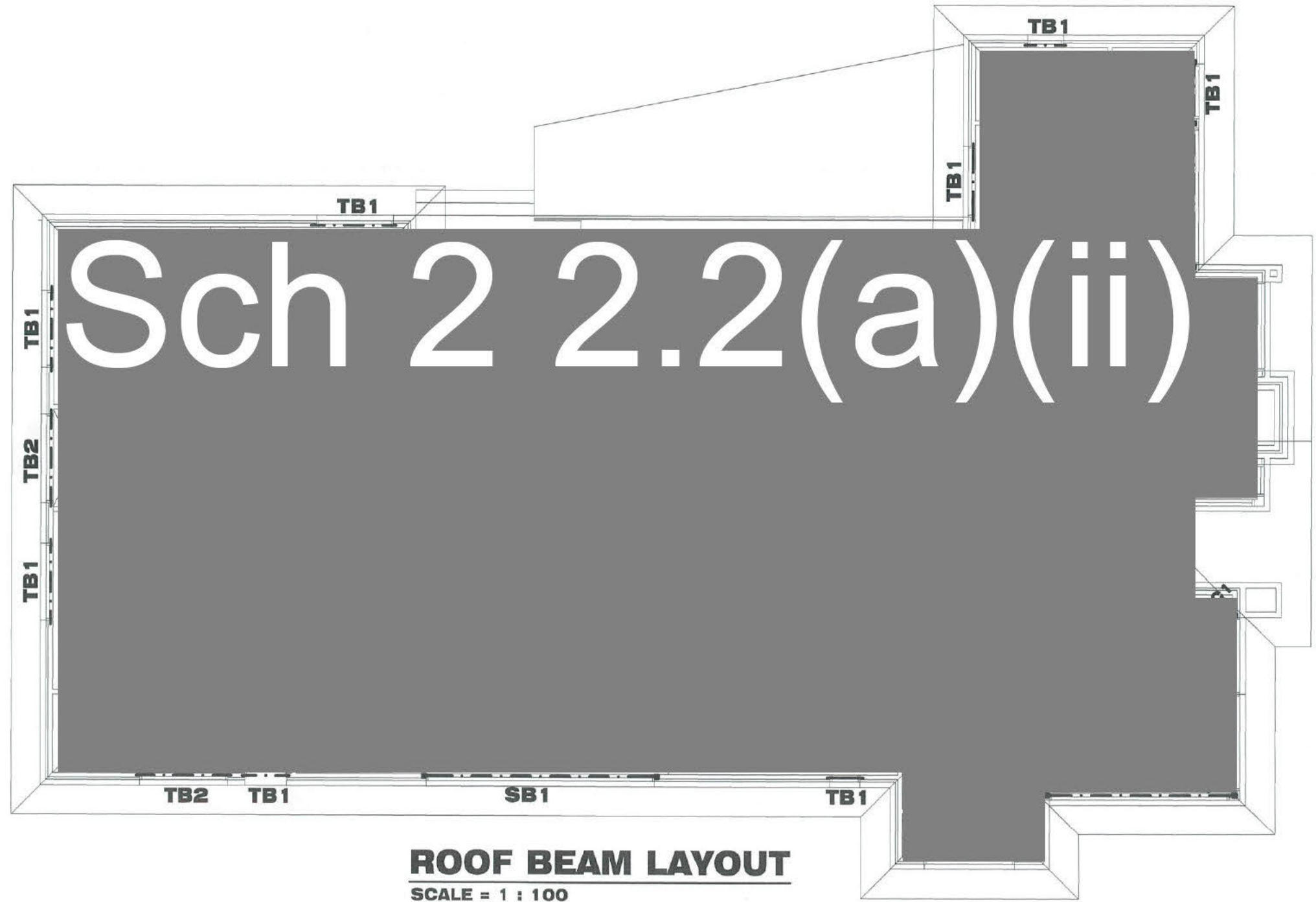
DESIGNED: _____
DRAWN: AFZAL
CHECKED: PD

MEMBER SCHEDULE

MARK	SIZE	REMARKS
SB1	200 PFC LINTEL	-
TB1	200X45 LVL	-
TB2	2X200X45 LVL	-
SC1	75X75X4 SHS	-
DS	2/90x45	DOUBLE STUD
TS	3/90x45	TRIPLE STUD



BEAM SB1
200 PFC
SCALE 1:10



REVISION DETAILS			
NO.	DESCRIPTION	DATE	NAME

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PROJECT
BLOCK 5 SECTION 28
REID

CLIENT
Sch 2 2.2(a)(ii) RESIDENCE

DRAWING
ROOF BEAM LAYOUT

Job No.	Rev.
SCALE: 1:100	DATE: 26/04/19
DESIGNED:	Dwg No.
DRAWN: AFZAL	S4
CHECKED: PD	



**MINIMUM DOCUMENTATION REQUIREMENTS FOR
BUILDING APPROVAL LODGEMENT
CLASS 1 AND 10 – RESIDENTIAL CONSTRUCTION**

Project Details

ACT	unit	<input type="text"/>	block	5	section	28	
address	<input type="text"/>			zone	RZ1	block size	975
suburb	REID			state	ACT	postcode	2612

Submission Requirement	Required Information	Checklist
Form – Minimum Documentation Requirements for Building Approval Lodgement Checklist	Fully completed form: Minimum Documentation Requirements Definitions and Checklist.	<input checked="" type="checkbox"/> Yes - supplied as stand alone or in document <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
Form – Appointment of Certifier	Fully completed form: Appointment of certifier application for building approval	<input checked="" type="checkbox"/> Yes - supplied as stand alone or in document <input type="checkbox"/> N/A <input type="checkbox"/> Office Use
Asbestos Removal Control Plan	Prepared in accordance with Code of practice for the safe removal of Asbestos National Occupational Health and Safety Commission 2 nd Edition (NOHSC: 2002(2005))	<input type="checkbox"/> Yes - supplied as stand alone or in document <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use
Development Approval	Each plan, drawing and document, including the notice of decision, which formed part of the development approval	<input type="checkbox"/> Yes - supplied as stand alone or in document <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use
Estimate of the Cost of the Building Work	As calculated in accordance with Building (General) (Cost of Building Work) Determination	<input checked="" type="checkbox"/> Yes - supplied as stand alone or in document <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
Performance Solutions	All calculations, reports, certificates and manufacturer's information together with a written proposition to support a building solution which is not in accordance with the Deemed-to-Satisfy provisions of the National Construction Code	<input type="checkbox"/> Yes - supplied as stand alone or in document <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use

**MINIMUM DOCUMENTATION REQUIREMENTS FOR
BUILDING APPROVAL LODGEMENT
CLASS 1 AND 10 – RESIDENTIAL CONSTRUCTION**

<p>Site Plan</p>	<ul style="list-style-type: none"> • Scale not less than 1:200 • The title boundaries, dimensions and directions including the north point of the land • The position and dimensions of any easement or services on the land • The position and dimensions of the proposed building or structure (retaining walls, swimming pools, garages etc) or building work on the land • Driveways and parking areas and crossovers • Finished floor levels relative to site datum • Finished site levels relative to the Australian height datum • The relationship of the proposed building or building work to the boundaries of the land • The position of any buildings on adjoining properties within 3m of the boundary of the land • Detailed contours of the land at 0.25m intervals over the building site referenced to a project site datum • Earthworks (excavations or fill levels relative to the Australian Height datum, and compaction details) and associated soil and water management strategies • The position of any existing building, structure or trees on the land and the purpose for which the building or structure is used • All utility connection points including electrical, stormwater, sewerage, water and telecommunication/data 	<p><input checked="" type="checkbox"/> Yes - supplied as stand alone or in document</p> <p><input type="checkbox"/> Not required</p> <p><input type="checkbox"/> Office Use</p>
<p>Floor plan</p>	<ul style="list-style-type: none"> • Scale not less than 1:100 • A plan for each floor including any trafficable subfloor areas • Dimensions • Key to sections cross referenced to relevant drawing and sheet number • Finished floor levels related to Australian Height Datum • Identification of the existing building • Identification of all rooms (existing and proposed) 	<p><input checked="" type="checkbox"/> Yes - supplied as stand alone or in document</p> <p><input type="checkbox"/> Not required</p> <p><input type="checkbox"/> Office Use</p>

**MINIMUM DOCUMENTATION REQUIREMENTS FOR
BUILDING APPROVAL LODGEMENT
CLASS 1 AND 10 – RESIDENTIAL CONSTRUCTION**

Elevation Plan	<ul style="list-style-type: none"> • Scale of not less than 1:100 • Dimensioned heights including overall heights • Proposed external materials referenced to a materials schedule • Finished floor levels and ceiling levels • Natural and finished ground levels related to Australian Height Datum • Floor to ceiling heights 	<input checked="" type="checkbox"/> Yes - supplied as stand alone or in document <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
Section Details – wall, floor ceiling and roof	<ul style="list-style-type: none"> • Scale of not less than 1:100 • Finished floor levels and ceiling levels • Natural and finished ground levels related to Australian Height Datum • Floor to ceiling heights • Long section of any proposed basement ramp showing gradients • Section of any sub floor areas 	<input checked="" type="checkbox"/> Yes - supplied as stand alone or in document <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
Demolition Plan	<ul style="list-style-type: none"> • Scale not less than 1:200 • The title boundaries, dimensions and directions including the north point of the land • The position and dimensions of any easement or utility tie or service points on the land • The position and dimensions of the proposed buildings or structures to be demolished • The relationship of the proposed demolition to the boundaries of the land • The position of any buildings on adjoining properties within 3m of the boundary of the land • The position of any existing building, structure or trees and the purpose for which the building or structures is used • Identification of erosion and sediment control measures 	<input checked="" type="checkbox"/> Yes - supplied as stand alone or in document <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use

**MINIMUM DOCUMENTATION REQUIREMENTS FOR
BUILDING APPROVAL LODGEMENT
CLASS 1 AND 10 – RESIDENTIAL CONSTRUCTION**

<p>Footings and Concrete slab Details</p>	<ul style="list-style-type: none"> • Section of any sub floor areas • Dimensioned plan and construction details of footings including penetrations, step down details and placement of reinforcement including cover • Nominated founding depth and description of founding material • Dimensioned plan and construction details of slabs including levels, falls or gradients • Construction details of penetrations, step downs in beams, set downs in slabs and placement details of reinforcement including cover • Slab preparation including materials, thicknesses, compaction requirements, vapour barrier specifications and installation details • Concrete strength, slump, finishing and curing requirements • Specifications and installation details of proprietary and other systems 	<p><input checked="" type="checkbox"/> Yes - supplied as stand alone or in document</p> <p><input type="checkbox"/> Not required</p> <p><input type="checkbox"/> Office Use</p>
<p>Retaining Wall Details</p>	<ul style="list-style-type: none"> • Dimensioned plan showing position of retaining wall, drainage, founding levels and heights • Dimensioned construction details • Drainage, tanking and protection details • Backfill specifications • Concrete mix, slump, reinforcement placement washout requirements • Specifications and installation details of proprietary and other systems 	<p><input checked="" type="checkbox"/> Yes - supplied as stand alone or in document</p> <p><input type="checkbox"/> Not required</p> <p><input type="checkbox"/> Office Use</p>

**MINIMUM DOCUMENTATION REQUIREMENTS FOR
BUILDING APPROVAL LODGEMENT
CLASS 1 AND 10 – RESIDENTIAL CONSTRUCTION**

<p>Masonry Construction Details</p>	<ul style="list-style-type: none"> • Show unreinforced, reinforced or earth wall construction • Identify structural and non-structural walls • Specify dimensions of engaged and isolated piers • Reinforcing specified for reinforced walls • Identify fire rating requirement • Masonry unit sizes and bond patterns and tooling of joints • Specification of brick ties and anchorages • Mortar specification • Cavity dimension and clean out specification • Knockout blocks for washout • Control joint location and detail • Sub floor vents. Location and size per metre • Specify lintels and bond beams • Sub floor bracing (masonry shear walls) • Weatherproofing and waterproofing details • Flashings, damp proof course and weep holes • Weephole guards (insects, bushfire prone areas) 	<p><input checked="" type="checkbox"/> Yes - supplied as stand alone or in document</p> <p><input type="checkbox"/> Not required</p> <p><input type="checkbox"/> Office Use</p>
<p>Framing (including trusses) and construction details</p>	<ul style="list-style-type: none"> • Framing drawings or schedules to indicate each structural member, dimensions, orientation, material, grade and size, spacing and span • Joint, support and bearing details • Show minimum clearances to ground level of flooring system members • Fire rating construction details • Bracing, tie downs and fixings • Roof pitch, eave / overhang details • Show location of roof mounted solar panels, hot water service or air conditioners 	<p><input checked="" type="checkbox"/> Yes - supplied as stand alone or in document</p> <p><input type="checkbox"/> Not required</p> <p><input type="checkbox"/> Office Use</p>

**MINIMUM DOCUMENTATION REQUIREMENTS FOR
BUILDING APPROVAL LODGEMENT
CLASS 1 AND 10 – RESIDENTIAL CONSTRUCTION**

Roof Cladding details	<ul style="list-style-type: none"> • Sheeting or tile specification including: <ul style="list-style-type: none"> ▪ Roof pitch ▪ Batten spacing ▪ Fixing requirements ▪ Flashing details ▪ Roof drainage ▪ Bushfire sealing requirements • Roof lights • Roof ventilators 	<input checked="" type="checkbox"/> Yes - supplied as stand alone or in document <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
Exterior Cladding and Material Details	<ul style="list-style-type: none"> • Cladding system description, manufacturer, material, pattern and colour, cavity details • Fixings, flashings and other details • Sub floor ventilation • Bushfire protection requirements 	<input checked="" type="checkbox"/> Yes - supplied as stand alone or in document <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
Wet area details	<ul style="list-style-type: none"> • Specify material and system • Wet areas specification (extent and system eg. Membrane, manufacturer and type) • Location and design of wet areas 	<input type="checkbox"/> Yes - supplied as stand alone or in document <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use
Windows and Glazing details	<ul style="list-style-type: none"> • Window systems description, manufacturer, frame material and energy rating • Glazing specification • Bushfire-prone areas requirements • Opening size for ventilation calculation • Other glazing <ul style="list-style-type: none"> ▪ Internal glazing specifications including wet area glazing, shower screens, doors ▪ Balustrade system specification (glass and fixings) ▪ Overhead glazing, roof lights 	<input type="checkbox"/> Yes - supplied as stand alone or in document <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use
Fire Safety details	<ul style="list-style-type: none"> • Smoke alarms location and type • Bushfire-prone areas specifications • Fire separation details • Penetration sealing specifications (building perimeter) 	<input type="checkbox"/> Yes - supplied as stand alone or in document <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use

**MINIMUM DOCUMENTATION REQUIREMENTS FOR
BUILDING APPROVAL LODGEMENT
CLASS 1 AND 10 – RESIDENTIAL CONSTRUCTION**

<p>Safe Movement and access (including stairs and ramps) details</p>	<ul style="list-style-type: none"> • Construction – type, material and proprietary system • Balustrade construction, spacing and handrails • Clearance height above stair nosings • Winders detail • Dimensions of landings, risers and goings • Section through the stairs • Method of construction, including aperture size, non-slip requirements • Ramp slope and surface finish 	<p><input type="checkbox"/> Yes - supplied as stand alone or in document</p> <p><input checked="" type="checkbox"/> Not required</p> <p><input type="checkbox"/> Office Use</p>
<p>Swimming Pools and spas details (including fencing/barriers)</p>	<ul style="list-style-type: none"> • Construction details, waterproofing, drainage, pool water recirculation and filtration systems • Pool safety barrier details and height • Openings, gates and latches 	<p><input type="checkbox"/> Yes - supplied as stand alone or in document</p> <p><input checked="" type="checkbox"/> Not required</p> <p><input type="checkbox"/> Office Use</p>
<p>Energy Efficiency details</p>	<ul style="list-style-type: none"> • Building fabric thermal efficiency specification <ul style="list-style-type: none"> ▪ Walls, ceiling floor and roof ▪ Insulation location and R value ▪ Sarking vapour permeability • Window energy specification • Energy rating documentation • Building sealing • Air movement control strategies • Pipe and services insulation • Glazing calculator to be supplied if a Deemed-To-Satisfy solution • Under slab or slab edge insulation 	<p><input checked="" type="checkbox"/> Yes - supplied as stand alone or in document</p> <p><input type="checkbox"/> Not required</p> <p><input type="checkbox"/> Office Use</p>



ACT
Government

Environment and
Sustainable Development

Building Act 2004, s151 and s28A

**MINIMUM DOCUMENTATION REQUIREMENTS FOR
BUILDING APPROVAL LODGEMENT
CLASS 1 AND 10 – RESIDENTIAL CONSTRUCTION**

Water Supply and Drainage Plan	<ul style="list-style-type: none"> • An interim sanitary drainage plan • A plan that identifies the location of all relevant water supply and drainage points to the building • Surface and sub-surface site drainage including location of on-site waste water management systems including land application area • Levels of overflow relief gully (ORG) rim relative to the lowest sanitary plumbing fixture outlet and the surrounding finished surface level • Levels of inverts to existing and proposed drainage services at point of connection to approved disposal system 	<input type="checkbox"/> Yes - supplied as stand alone or in document <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use
Services Plan	A plan that identifies the location of all relevant internal and external electrical points in or on the building, lighting, plant and mechanical, for example air-conditioning, evaporative cooling, exhaust fans, water heaters, fixed appliances and water tanks (including connection)	<input type="checkbox"/> Yes - supplied as stand alone or in document <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use

Signature		Assessment Date	03/06/2019	Job No	190043
Livij Krevatin Licence No. ACT 2010979					
ESDD Customer Service Officer		Date			

Applicant Details

Name Sch 2 2.2(a)(ii)

Address Sch 2 2.2(a)(ii)

suburb Sch 2 2.2(a)(ii) **state** Sch 2 2.2(a) **postcode** Sch 2 2.2(a)

Contact info **mob** Sch 2 2.2(a)(ii) **phone** Sch 2 2.2(a)

email Sch 2 2.2(a)(ii)

Owner Details

Name Sch 2 2.2(a)(ii)

Address Sch 2 2.2(a)(ii)

suburb Sch 2 2.2(a)(ii) **state** Sch 2 2.2(a) **postcode** Sch 2 2.2(a)

Contact info **mob** Sch 2 2.2(a)(ii) **phone** Sch 2 2.2(a)

email Sch 2 2.2(a)(ii)

Property Details

Land description **block** 5 **section** 28

Address [REDACTED]

suburb REID **state** ACT **postcode** 2612

Approval Details

Issue date **3 June 2019** *Approval contains 13 drawings, numbered 1 to 13*

Development type Demolition of existing garage and construction of a new two storey dwelling

Building classification The building has been approved as **Class 1a(i), 10a and 10b** under the Housing Provisions Volume 2 of the Building Code of Australia (BCA, 2016-19). This Building Approval does not supersede the requirements of the Building Code of Australia

Site work assessment Schedule 1, Part 1.2 General exemption criteria of the Planning and Development Regulation 2008 (23 Nov 2018);
Schedule 1 – Exemptions from requirement for development approval, Part 1.3 Exempt developments, Division 1.3.7 Exempt developments-other exemptions:
1.100 Compliant single dwellings—old residential land;
Single Dwelling Housing Development Code (1 June 2018);

Schedule 1 – Exemptions from requirement for development approval, Part 1.3 Exempt developments, Division 1.3.7 Exempt developments-other exemptions,

The attached set of documentation has been assessed and approved under *Section 28 of the ACT Building Act 2004*.

This Building Approval under *Section 36(i) of the Building Act 2004* is valid for 3 years from the date of this approval. It is the builder's / lessee's responsibility to finalise these works with the issue of a Certificate of Occupancy and Use issued by ACT Planning and Land Authority.

The Builders attention is drawn to the following

Prior to, and During Construction

1. Development to be carried out in accordance with the Approved plans
The development must be carried out generally in accordance with all the documents accompanying the approval and the plans bearing the Select Structure approval stamp.
2. Comply with the Building Code of Australia
All building work must be carried out in accordance with the requirements of the Building Code of Australia, Volume Two (2) 2016 (2016-2019).
3. Signs on building sites
From 1 July 2012 all building sites, where work is being carried out (or supervised) by a licensed builder (including owner-builders), must display a sign with information about the work being done. This means the sign must be displayed from the first day to the last day of construction.
4. ACT guidelines, August 2007
The development will comply with the ACT Environmental Protection Authority, Environmental Protection Guidelines for Construction and Land Development in the ACT, March 2011:
 - Sediment and Erosion Control
All unsurfaced entry and exit points must be consolidated with crushed aggregate or similar extending from the road curb to the building line.
 - Tree protection
The applicant/lessee shall protect and maintain all existing trees and shrubs located on the subject site, on adjoining blocks overhanging the subject site, on the verge and unleased Territory land immediately adjacent, except for those specifically identified for removal in the approved drawings and a Tree Management Plan.
 - Verge Management
During building work (including demolition) for both stages all existing vegetation (trees, shrubs and grass) located on the verge and unleased Territory land immediately adjacent to the development shall be managed, protected and maintained in accordance with a Landscape Management Plan.
 - Waste Management
All building waste is to be stored on the site in suitable receptacles and collected regularly. The lessee is to take all reasonable steps to ensure that waste, particularly wind-borne litter, does not affect adjoining or adjacent properties.
5. **Builders' Notification of Completion of Stage**
Section 42 of the Building Act 2004 requires that building work is carried out in accordance with approved plans. Builders are reminded that if an amended plan is required, this should be obtained before any work that is not in accordance with the latest approved plans is undertaken and the stage is notified as complete.

Inspections will not be undertaken if this Declaration is not provided (This written notification may be sent electronically, posted or hand delivered).

6. Survey Certificate

Survey Certificate is required at DPC level to proceed to the next stage. Clause 43(2) of the Building Act requires – a building licensee in charge of building work must not do building work above damp course level unless the certifier has received a survey plan signed by a registered surveyor stating the position of the building in relation to the boundaries of the parcel of land where the building of is to be erected and stating the level that the floor or floors of the building will have in relation to a level stated in the approved plans.

7. Building elements outside allowable tolerances

If building elements are outside permitted variations of the approved and exempt developments as per Schedule 1A, Planning and Development Regulation 2008, new DA exempt and BA re-assessment will be required.

Note: Associated costs to amend Building Approval (ACT)

BA amendment with no more than 2 changes: \$350.00 GST inc.

BA amendment with 3 to 6 changes: \$600.00 GST inc.

DA exempt and BA re-assessment: \$900.00 GST inc.

8. Truss and Frame layouts must be provided at frame inspection stage and include the following:

- Truss fixing methods to frames (truss manufactures details)
- Frame bracing location and type (truss manufactures details or engineer's specification)
- Lintel sizes to opening's (truss manufactures details or engineer's specification)
- Any structural steel or timber members (engineer's specifications)

9. Verge Crossing - Driveway

All commercial or residential driveways, constructed or modified requires approval from TCCS Asset Acceptance. Once approval from TCCS Asset Acceptance for construction or alterations to your driveway has been given, you are then permitted to proceed with your work to the sub-base or form-work stage (before concrete or pavers have been put in place). At this point the driveway will need to be inspected by either an independent engineer or an officer from TCCS Asset Acceptance. All enquiries regarding driveway approvals must be directed to TCCS on 13 22 81.

10. Inspections

Inspections are required to be booked 2 working days in advance by calling 5100 3905 or email info@selectstructures.com.au

Required inspections are:

- Easement piers prior to place concrete;
- Footing reinforcement prior to placing concrete;
- Storm-water lines prior to backfilling;
- Waffle slab prior to pouring concrete. (survey certificate required at the completion of this stage and before building work above dampcourse level);
- Floor frame/slab prior to pouring concrete. (survey certificate required at the completion of this stage and before building work above dampcourse level);
- Frame stage after roof truss has been installed and fixed;
- Pre-sheet prior to placing sheeting on walls and ceilings (insulation installed);
- Final inspection.

Note: All above listed inspections are compulsory and are included in my fees. Should there be any additional inspections or requirements for re-inspections, a fee of \$220 (ex GST) per inspection will apply.

Enclosed is the ACT Government Environment and Sustainable Development, Building Application Fees and Levies Tax Invoice to be paid directly by you WITHIN 14 DAYS OF INVOICE ISSUE DATE.

If you have any queries regarding the above, please do not hesitate to contact Select Structures.

Yours sincerely



Livi Krevatin
Managing Director
Select Structure Pty Ltd



selectSTRUCTURE
BUILDING CERTIFICATION

DOCUMENTS SUPPLIED

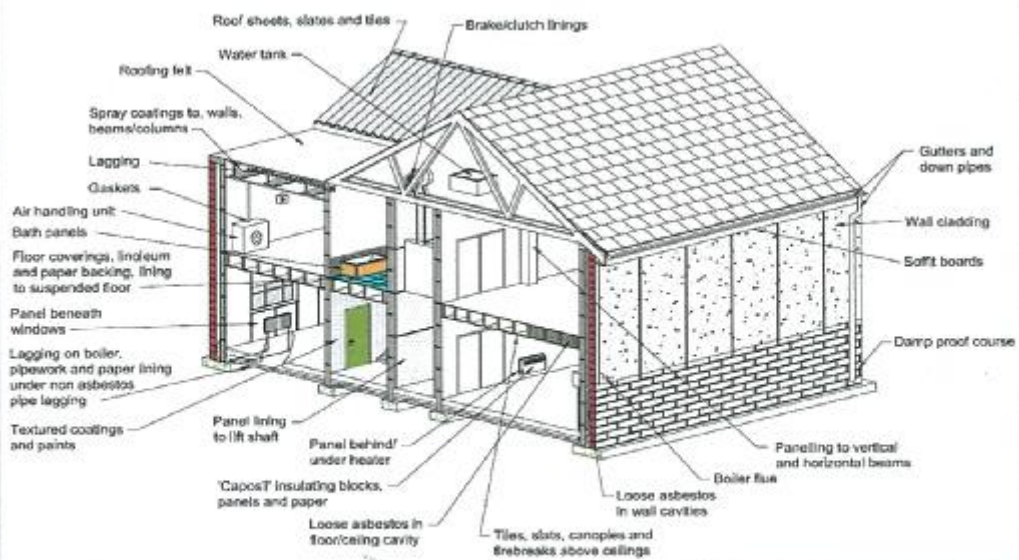
The following is a list of documents supplied with this Building Approval pack.

ACT unit block section

address

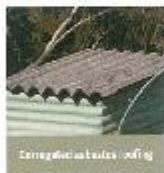
suburb state postcode

DOCUMENTS SUPPLIED	
Building Approval Letter	<input checked="" type="checkbox"/>
Building Approval Certificate	<input checked="" type="checkbox"/>
Building Commencement Notice certificate	<input checked="" type="checkbox"/>
Building Approval Fees and Levies Tax Invoice <i>(to be paid within 14 days of issue date)</i>	<input checked="" type="checkbox"/>
Select Structure Invoice	<input checked="" type="checkbox"/>
Building Approved STAMPED Plans	<input checked="" type="checkbox"/>
ACTEWAGL Approvals (electricity, water and sewerage, gas)	<input checked="" type="checkbox"/>
TAMS approval (stormwater or demolition if applicable)	<input type="checkbox"/>
Asbestos flyer	<input checked="" type="checkbox"/>
Inspection & Certificate checklist	<input checked="" type="checkbox"/>
Energy rating certificate	<input type="checkbox"/>
BA stamped Notice of Decision (if applicable)	<input type="checkbox"/>
Other:	<input type="checkbox"/>



Common locations of materials containing asbestos in ACT homes

If your house was built before 1985, some of the materials it was built from probably contain asbestos.



Asbestos Information
 Register of Asbestos Containing Materials



Building Act 2004, S151
Building Approval

Project ID: B20191985

PART A - PROJECT DETAILS

Unit	Block	Section	Division (Suburb)	District	Jurisdiction
	5	28	REID	CANBERRA CENTRAL	Australian Capital Territory

PART B - WORKS REQUIRING BUILDING APPROVAL

Item of building work to which this Building Approval relates:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
10a	Demolition	DA EXEMPT-GARAGE	DEMO of old garage	NA	1	Sch 2 2.2(a)(xi)	
1a(l)	New Standard	DA EXEMPT-RESIDENCE	residence	NA	2		
10a	New	DA EXEMPT-GARAGE	basement garage	NA	0		
10a	Other	DA EXEMPT-SEE DESCRIPTION	Vergola	NA	1		
10b	Other	DA EXEMPT-SEE DESCRIPTION	retaining wall	NA	0		
10b	Other	DA EXEMPT-SEE DESCRIPTION	water tank	NA	0		

The following work is exempt from development approval:

- Single residential and extensions in existing areas

PART C - CERTIFIERS DECLARATION

I declare that in issuing this building approval under section 28 of the Building Act 2004:

- I am satisfied on reasonable grounds that the plans meet each applicable approval requirement under section 29 and is not prevented from being issued under section 30 or section 30A
- I have supplied all documents as required under 3.3 Building Act 2004
- I have prepared a notice (building approval certificate) certifying what approval requirements apply to the application and why the building approval is not prevented from being issued; and
- I have given the building approval certificate to the applicant.

In performing services as a certifier in relation to the work detailed in this application I am not in breach of my entitlement to act as a certifier in accordance with the Building Act 2004.

Full Name	Address	License Number	Expiry Date
SELECT STRUCTURE PTY LTD	PO Box 1508 FYSHWICK ACT 2609	2010979	28/05/2020

Date Issued : 3/06/2019

NOTES

Utilities

This application must also be accompanied by a Statement of Compliance from each relevant utility provider (for water, sewerage, electricity and stormwater) which confirms that the location and nature of earthworks, utility connections, proposed buildings, pavements and landscape features comply with utility standards, access provisions and asset clearance zones.

Note 1: If there is no stormwater easement or Territory owned stormwater pipes located within the property boundary, a "Statement of Compliance" for stormwater from TAMS (Asset Acceptance) is not required to be obtained.

Note 2: Where there is conflict between planning and utility requirements, the utility requirements take precedence over other codified or merit provisions.

Utilities – Demolition Only

This application must be accompanied by a Statement of Endorsement for utilities (including water, sewerage, electricity and stormwater) stating that:

- all network infrastructure on or immediately adjacent to the site has been identified on the plan
- all potentially hazardous substances and conditions (associated with or resulting from the demolition process) that may constitute a risk to utility services have been identified
- all required network disconnections have been identified and the disconnection works comply with utility requirements
- all works associated with the demolition comply with and are in accordance with utility asset access and protection requirements

Note: The documentation provided to the utility provider for endorsement must be consistent with the documentation that forms part of a development approval or the documentation verified as exempt from requiring development approval by a licensed certifier.

Asbestos Advice

If documents accompanying building approval do not include an asbestos assessment report as per the Building Act 2004, the building approval must have an Asbestos Advice attached as per the Act

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.



APPOINTMENT OF A CERTIFIER APPLICATION FOR BUILDING APPROVAL

Building Act 2004, S151

This form is to be completed by the Owner/s of the land to which the building work relates.

PART A PROJECT DETAILS

Block Section Suburb Unit No.

Street Address

Description of Building Works relevant to this application - *If more than 4 items please attach further details*

Describe each item of building work in this building approval	BCA Occupancy Class	BCA Construction Type	Area (m ²)	Number of Storeys	Cost of Works (refer to building cost guide)
1. DA Exempt Demolition- Garage	1a(i)	N/A	18	1	Sch 2 2.2(a)(xi)
2. DA Exempt - Residence - DA exempt residence	1a(i)	N/A	330.2	2	
3. DA Exempt - Garage - DA exempt basement parking	10a	N/A	181.4	0	
4. DA Exempt - Deck - DA exempt vergola	10a	N/A	26.5	1	
5. DA Exempt - Wall - DA exempt retaining wall	10b	N/A	0	0	
6. DA Exempt - See description - DA exempt water tank	10b	N/A	0	0	
7. DA Exempt - Swimming Pool - DA exempt pool	10b	N/A	26	1	
8. DA Exempt - Swimming Pool - DA exempt pool safety fence	10b	N/A	26	1	

Applicable approved requirements and reasons why building approval is not prevented from being issued

Is all work exempt from development approval?

YES Attach assessment for exempt development checklist (if applicable)

NO Provide reason/s or description of work: _____

Description of Attachments compliant with Division 3.3 Building Act 2004 Please attach any additional documentation not listed below

Building Approval Plans

Referrals, consultations & consents outcomes

Asbestos Advice - If documents accompanying building approval do not include an asbestos assessment report as per the Building Act 2004, the building approval must have an AA attached as per the Act

PART B OWNERS DETAILS – Please Print

All owners must be listed

Owner 1 will be considered the contact person in relation to this application

Company Details

ACN/ABN Number

Owner 1 Owner 2

Owner 3 Owner 4

PART B continued OWNERS DETAILS – Please Print

Postal Address

Suburb State Postcode

Phone Number Business Hours Mobile

EMAIL ADDRESS

PART C APPOINTMENT OF CERTIFIER

As required under the Building ACT 2004 I/we hereby advise that I/we the owner/s have appointed the person whose details appear below as the certifier in relation to the building works described in this form

Company Details

Name of Certifier ABN/ACN

Postal Address

Suburb State Postcode

Phone Number Business Hours Mobile

EMAIL ADDRESS

PART D APPLICATION FOR BUILDING APPROVAL

I/we the owners of the abovementioned property hereby apply under Section 26 of the *Building Act 2004* to the certifier named above to issue a building approval for the building work described in this form. I/we have provided the certifier with information and documentation required to issue a building approval as specified in the *Building (General) Regulation 2008*.

PART E AUTHORITY TO ACCESS BUILDING FILE

I/we hereby authorise the certifier to access the building file for the property which is the subject of this application for the purposes of obtaining information relevant to the issuing of a building approval and associated processes.

PART F OWNER/S SIGNATURE/S

1 st Owners Signature	<input type="text" value="Sch 2 2.2(a)(ii)"/>	Date	<input type="text" value="9.5.19"/>
2 nd Owners Signature	<input type="text"/>	Date	<input type="text"/>
3 rd Owners Signature	<input type="text"/>	Date	<input type="text"/>
4 th Owners Signature	<input type="text"/>	Date	<input type="text"/>

NOTE: There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

Where relevant the following information **MUST** be included in either the application or the plans accompanying the application for building approval:

General Requirements

- ▶ Estimated Cost of Works -as per *Building (General) (Cost of Building Work) Determination 2011*
- ▶ if the proposed building work to be carried out at or near a street or place that is open to or used by the public the application must contain details of the precautions proposed to be taken to protect the safety of people using the street or place while the building work is carried out
- ▶ the area of the parcel of land to which this application relates
- ▶ the class of the building according to the intended use of the building as proposed to be erected or altered;
- ▶ if applicable what fire-resisting construction type (under the building code) the building as proposed to be erected or altered will be.
Note: Fire-resisting construction type may not be applicable if an alternative solution under the building code is used.
- ▶ for an application relating to the erection of a class 1 building the site classification of the parcel of land
- ▶ for an application relating to the alteration of a class 1 building if the alteration will increase the building load carried by foundation material beyond the building load carried by the foundation before the alteration.
- ▶ the site classification of the parcel of land
- ▶ for an application relating to the alteration of a building the class and type of fire-resisting construction of the existing building classified under the building code and the materials used in the existing building
Note Fire-resisting construction type may not be applicable if an alternative solution under the building code is used.
- ▶ the number of storeys of the building as proposed to be erected or altered;
- ▶ the number of new dwellings (if any) created by the proposed building work;
- ▶ the floor area of the proposed building or proposed new part of the building;
- ▶ the materials to be used in the frame, floor, walls and roof of the proposed building or proposed new part of the building
- ▶ if a performance requirement of the building code is to be complied with by use of an alternative solution under the code -
 - (i) the performance requirement; and
 - (ii) the alternative solution; and
 - (iii) each assessment method used to show that the alternative solution complies with the performance requirement;
- ▶ if the building code does not state a standard of work in relation to any part of the proposed building work and it is intended to carry out that part of the proposed building work in accordance with a standard of work stated in another document -
 - (i) the nature of the proposed building work; and
 - (ii) the title of the document; and
 - (iii) each assessment method used to show that the proposed building work complies with the standard of work stated in the document.

Removal or demolition of building/s

- ▶ Details of the methods to be used in carrying out the proposed building work, including a work plan stated or set out in AS 2601 (Demolition of structures), as in force from time to time;
- ▶ the number of dwellings (if any) to be demolished.

Asbestos

- ▶ The application must include a description of the method proposed to be used to remove the bonded asbestos sheeting from the building.
- ▶ the application must include the following information:
 - (i) the method proposed to be used to remove the asbestos;
 - (ii) the approximate amount and kind of asbestos to be removed;
 - (iii) the equipment proposed to be used to remove the asbestos, including any personal protective equipment;
 - (iv) details of a program, prepared in accordance with the asbestos removal code, for monitoring airborne asbestos to be followed during the removal.

Privacy Notice

The personal information on this form is provided to the Environment and Planning Directorate (EPD) to enable the processing of your application. The collection of personal information is authorised by the *Building Act 2004*. If all or some of the personal information is not collected EPD cannot process your application. The personal information you provide may be disclosed to Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be disclosed where authorised by law or court order, or where the Directorate reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. EPD's Information Privacy Policy contains information about how you may access or seek to correct your personal information held by EPD, and how you may complain about an alleged breach of the Territory Privacy Principles. The EPD Information Privacy Policy can be found at www.act.gov.au/accessCBR

CONTACT INFORMATION

Email:

ACTPLAdevelopmentBA@act.gov.au

Post:

Access Canberra
Building Services
Shopfront Mitchell
GPO Box 158
Canberra, ACT 2601

In Person:

Please visit
www.act.gov.au/accessCBR
Or call **132281** to find an
Access Canberra Shopfront.



Building Act 2004, S151

**Appointment of a Certifier and
Application for Building Approval**

Project ID: B20191985

This form is to be completed by the Owner/s of the land to which the building work relates

PART A - PROJECT DETAILS

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
	5	28	CANBERRA CENTRAL	REID	Australian Capital Territory

PART B - OWNER DETAILS

Name	Address	Email Address
Sch 2 2.2(a)(ii)	Sch 2 2.2(a)(ii)	

PART C - APPOINTMENT OF CERTIFIER

As required under the Building ACT 2004 I/we hereby advise that I/we the owner/s have appointed the person whose details appear below as the certifier in relation to the building works described in this form

Full Name	Address	License Number	Expiry Date
SELECT STRUCTURE PTY LTD	PO Box 1508 FYSHWICK ACT 2609	2010979	28/05/2020

PART D - APPLICATION FOR BUILDING APPROVAL

I/we the owners of the abovementioned property hereby apply to the certifier named above to issue a building approval under Section 26 of the Building Act 2004 for the building works detailed in the following table

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
10a	Demolition	DA EXEMPT-GARAGE	DEMO of old garage	NA	1	Sch 2 2.2(a)(xi)	
1a(l)	New Standard	DA EXEMPT-RESIDENCE	residence	NA	2		
10a	New	DA EXEMPT-GARAGE	basement garage	NA	0		
10a	Other	DA EXEMPT-SEE DESCRIPTION	Vergola	NA	1		
10b	Other	DA EXEMPT-SEE DESCRIPTION	retaining wall	NA	0		
10b	Other	DA EXEMPT-SEE DESCRIPTION	water tank	NA	0		

I/we have provided the certifier with the information and documentation required to issue a building approval as specified in the Building (General) Regulation 2008.

PART E - AUTHORITY TO ACCESS BUILDING FILE

I/we hereby authorise the certifier to access the building file held by Access Canberra for the property which is the subject of this application for the purposes of obtaining information relevant to the issuing of a building approval and associated processes.

PART F - OWNER/S SIGNATURE/S

Name	Signature	Date
Dijana Usljebrka		

**APPLICATION FOR BUILDING APPROVAL REQUIREMENTS
Building (General) Regulations 2008**

Where relevant the following information **MUST** be included in either the application or the plans accompanying the application for building approval:

General Requirements

- Estimated Cost of Works -as per Building (General) (Cost of Building Work) Determination 2011
- if the proposed building work to be carried out at or near a street or place that is open to or used by the public the application must contain details of the precautions proposed to be taken to protect the safety of people using the street or place while the building work is carried out
- the area of the parcel of land to which this application relates
- the class of the building according to the intended use of the building as proposed to be erected or altered;
- if applicable what fire-resisting construction type (under the building code) the building as proposed to be erected or altered will be.

Note: Fire-resisting construction type may not be applicable if an alternative solution under the building code is used.

- for an application relating to the erection of a class 1 building the site classification of the parcel of land
 - for an application relating to the alteration of a class 1 building if the alteration will increase the building load carried by foundation material beyond the building load carried by the foundation before the alteration.
 - the site classification of the parcel of land
 - for an application relating to the alteration of a building the class and type of fire-resisting construction of the existing building classified under the building code and the materials used in the existing building
- Note Fire-resisting construction type may not be applicable if an alternative solution under the building code is used.
- the number of storeys of the building as proposed to be erected or altered;
 - the number of new dwellings (if any) created by the proposed building work;
 - the floor area of the proposed building or proposed new part of the building;
 - the materials to be used in the frame, floor, walls and roof of the proposed building or proposed new part of the building
 - if a performance requirement of the building code is to be complied with by use of an alternative solution under the code -
 - (i) the performance requirement; and
 - (ii) the alternative solution; and
 - (iii) each assessment method used to show that the alternative solution complies with the performance requirement;
 - if the building code does not state a standard of work in relation to any part of the proposed building work and it is intended to carry out that part of the proposed building work in accordance with a standard of work stated in another document -
 - (i) the nature of the proposed building work; and
 - (ii) the title of the document; and
 - (iii) each assessment method used to show that the proposed building work complies with the standard of work stated in the document.

Removal or demolition of building/s

- Details of the methods to be used in carrying out the proposed building work, including a work plan stated or set out in AS 2601 (Demolition of structures), as in force from time to time;
- the number of dwellings (if any) to be demolished.

Asbestos

- The application must include a description of the method proposed to be used to remove the bonded asbestos sheeting from the building.
- the application must include the following information:
 - (i) the method proposed to be used to remove the asbestos;
 - (ii) the approximate amount and kind of asbestos to be removed;
 - (iii) the equipment proposed to be used to remove the asbestos, including any personal protective equipment;
 - (iv) details of a program, prepared in accordance with the asbestos removal code, for monitoring airborne asbestos to be followed during the removal. be followed during the removal.

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.

Form 7B - Summary of written information for building certifier – compliance with exemption criteria - Planning & Development Regulation - to be completed by the proponent and provided to the building certifier

What this form is for

You should complete this form (Form 7B) if you are proposing to:

- demolish a single residential dwelling (s1.100B); and
- construct a code compliant single residential dwelling on old residential land (s1.100 or s1.100A)

If you are proposing to do this type of development you are required under section 1.19, schedule 1, *Planning and Development Regulation 2008* to give written information about the proposal to each adjoining resident.

Process

1. Complete the form "Information for adjoining resident about proposed exempt development" (Form 7A) and if required attach a copy of the site plan and a copy of elevation plan. Give a copy of the completed form and plans to each adjoining resident. You can do this by placing in the letterbox, by-hand, by email etc.
2. Complete the details below. A copy of Form 7A including any attachments and this form (Form 7B) are required to be included in your application for building approval.

Information for building certifier – compliance with *Planning and Development Regulation 2008*

The information below is provided to demonstrate that s1.19, s1.100, s1.100A and s1.100B (as applicable), schedule 1, *Planning and Development Regulation 2008* has been complied with.

Proponent Name/s: Sch 2 2.2(a)(ii)

Block Section Suburb Unit No.

Street address Signature Sch 2 2.2(a)(ii) Date 9.5.19

Signature _____ Date _____

The following adjoining residences have been provided with a copy of Form 7A and if required the site plan/s and elevation/s plans.

	Adjoining residences	Method and date of delivery			Date
		Street address – please print	Letterbox	In person	
1.	25 DIRRAWAN GARDENS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
2.	21 DIRRAWAN GARDENS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
3.	36 DIRRAWAN GARDENS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
4.	54 CORANDERRK STREET	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
5.	19 DIRRAWAN GARDENS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
6.	46 CORANDERRK STREET	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

If there is insufficient space please attach a separate sheet.

Privacy Notice

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Lease/Site DetailsBlock Section Suburb Unit No Street Address **Building Approval Application and Site Work Details**

This notice is issued in relation to the site work shown in the plans submitted as part of the application for a building approval dated made by the following applicants:

Owner 1 Owner 2 Owner 3 Owner 4

Date: 03/06/2019

This notice applies to all site work in that application for which there is there is no:

- (a) exemption assessment D notice stating that the site work is exempt development issued for the work not more than 3 months before the day the application was made;
- (b) exemption declaration under the *Planning and Development Regulation 2008*, Schedule 1, Section 1.100A (1) (b) or Section 1.100AB (1) (b) made by the planning and land authority; or
- (c) current development approval issued in relation to the site work.

NOTE: Site work is development that is:

- (a) building work; and
- (b) work other than building work that:
 - (i) physically affects the place (the building site) where the building work is being carried out; and
 - (ii) if not carried out at the building site, is carried out near and connected with, the building site.

Examples: putting up temporary fencing, installing measures for erosion control, building a house, damaging or removing a significant tree, laying paving for driveways and parking areas, installing landscaping, site clearing and excavation, erecting site signage or erecting a pergola

Building Certifier Details:Surname First Name Company Name Licence Number Contact Number Postal Address Suburb State Postcode

Building Certifier Statement

I state that:

- the plans for the building work to which the application for building approval relates show all the information necessary to establish that the site work is exempt development under the *Planning and Development Act 2007*, Section 133; and
- the site work is exempt development; and
- I have assessed that the site work is exempt development for the following reasons and in accordance with the following provisions of the *Planning and Development Regulation 2008* and Territory Plan Codes:

Schedule 1, Part 1.2 General exemption criteria of the Planning and Development Regulation 2008 (23 Nov 2018);


Schedule 1 – Exemptions from requirement for development approval, Part 1.3 Exempt developments, Division 1.3.7 Exempt developments-other exemptions:

1.100 Compliant single dwellings—old residential land;

Single Dwelling Housing Development Code (1 June 2018);

Schedule 1 – Exemptions from requirement for development approval, Part 1.3 Exempt developments, Division 1.3.7 Exempt developments-other exemptions, Section 1.101 – Buildings and structures-demolition (Class 10, Section 1.14, Criterion 4-heritage, tree, environment and conservation) of the Planning and Development Regulation 2008 (23 Nov 2018)

Building
Certifier
Signature
(or nominee)



Date of Issue

03/06/2019

Giving false or misleading information is a serious offence

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In Person:

Please visit
www.act.gov.au/accessCBR
Or call **132281** to find an
Access Canberra Shopfront.

Checklist for Single Dwelling Assessment for Exempt Development

Project Details

ACT	Unit	<input type="text"/>	Block	5	Section	28	
NSW	Unit	<input type="text"/>	Lot	<input type="text"/>	DP	<input type="text"/>	
Address	<input type="text"/>			Zone	RZ1	Block size	975
Suburb	REID			State	ACT	Postcode	2612
			EDP date	Before 1993			

Element 1: Building and site controls

Rules	Compliance & Comments
1.1 Plot ratio – single dwelling blocks	
R1 / Mandatory requirement a) for large blocks, not more than 50%	Yes <input checked="" type="checkbox"/> Non-C <input type="checkbox"/> N/A <input type="checkbox"/> GFA is 330.2 and PR is 33.9%. And Heritage condition met of 27.5% of site coverage (H. approval received)
b) for blocks in RZ1 created by subdivision	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
c) in all other cases – not applicable.	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
Gross floor area includes 18m ² for each roofed car but does not include basement car parking.	
1.2 Number of storeys	
R2 / Mandatory requirement The number of storeys does not exceed: a) 2 storeys for RZ1, RZ2 and RZ3	Yes <input checked="" type="checkbox"/> Non-C <input type="checkbox"/> N/A <input type="checkbox"/> 2 storey dwelling
b) 3 storeys for RZ4	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
1.3 Attics and basement car parking – single dwelling blocks – RZ1	
Mandatory requirement R3 In RZ1, attics are not permitted directly above any 2 storey element	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
R4 In RZ1, basement car parking is not permitted directly below any 2 storey element	Yes <input checked="" type="checkbox"/> Non-C <input type="checkbox"/> N/A <input type="checkbox"/> Only one storey above basement car parking
1.4 Height of buildings	
R5 Maximum height of building is: a) RZ1, RZ2 and RZ3 – 8.5m	Yes <input checked="" type="checkbox"/> Non-C <input type="checkbox"/> N/A <input type="checkbox"/> 4.95m
b) RZ4 – 12m	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
1.5 Building envelope – all large blocks; mid-sized blocks approved on or after 5 July 2013	
R6 This rule applies to: a) Large blocks	Yes <input checked="" type="checkbox"/> Non-C <input type="checkbox"/> N/A <input type="checkbox"/>
b) Mid-sized blocks approved after 5 July 2013 Buildings are sited wholly within the building envelope projected at 45° to the horizontal and 3.5m to side and rear boundary (from Datum Ground Level) But does not apply to that part of the building on a single dwelling block that is required to be built to a boundary of the block by a Precinct Code	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Non-C <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
Rules	Compliance & Comments
1.6 Solar building envelope – all large blocks approved before 5 July 2013	

Checklist for Single Dwelling Assessment for Exempt Development

R7 a) Large blocks		Yes <input checked="" type="checkbox"/> Non-C <input type="checkbox"/> N/A <input type="checkbox"/>
Measured from Datum Ground Level. Does not apply to battle-axe handle (neighbour's access driveway)		Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
Northern boundary	Angle	
North 0° to < 10° East North 0° to < 10° West	31°	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
North 10° to < 20° East North 10° to < 20° West	32°	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
North 20° to < 30° East North 20° to < 30° West	34°	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
North 30° to < 40° East North 30° to < 40° West	36°	Yes <input checked="" type="checkbox"/> Non-C <input type="checkbox"/> N/A <input type="checkbox"/>
North 40° to 45° East North 40° to 45° West	39°	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
Location	Solar Fence (m)	
In the PBZ	2.4	Yes <input checked="" type="checkbox"/> Non-C <input type="checkbox"/> N/A <input type="checkbox"/> Far away from boundary
All other parts of the boundary	1.8	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
1.6A Solar building envelope – all blocks approved on or after 5 July 2013		
R7A a) All blocks		Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
Measured from Datum Ground Level. Does not apply to battle-axe handle (neighbour's access driveway). But does not apply to that part of the building on a single dwelling block that is required to be built to a boundary of the block by a Precinct Code		Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
Northern boundary	Angle	
North 0° to < 10° East North 0° to < 10° West	31°	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
North 10° to < 20° East North 10° to < 20° West	32°	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
North 20° to < 30° East North 20° to < 30° West	34°	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
North 30° to < 40° East North 30° to < 40° West	36°	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
North 40° to 45° East North 40° to 45° West	39°	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
Location	Solar Fence (m)	
In the PBZ	3.0	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
All other parts of the boundary	2.3	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
1.7 Building envelope – mid-sized blocks approved before 5 July 2013		
R8 i. approved before 5 July 2013 ii. for which a lease was granted before 5 July 2013		Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
Buildings are sited wholly within the building envelope comprising: a) for NORTH facing boundaries of adjoining residential blocks: i. within the PBZ (primary building zone) - A) planes projected at 45° from a height of 2m above the boundary B) where a nil setback is permitted, building elements may encroach beyond the building envelope provided they do not encroach beyond a plane projected at 30° from a height of 3m above boundary		Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
ii. within the RZ (rear zone) – planes projected at 30° from a height of 2m above each side and rear boundary		Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>

Checklist for Single Dwelling Assessment for Exempt Development

- b) for boundaries **OTHER** than North facing boundaries of adjoining residential blocks:
- i. within the PBZ (primary building zone) – planes projected at 45° from a height of 4.5m above each side boundary
 - ii. within the rear zone – planes projected at 30° from a height of 3.5m above each side and boundary

 Yes Non-C N/A

 Yes Non-C N/A

NORTH facing boundary means a boundary of a block where a line drawn perpendicular to the boundary outward is orientated between 30° East of North and 20° West of North

R9

This rule applies to mid-sized blocks and compact blocks with one of the following characteristics:

- a) approved before 5 July 2013
- b) lease was granted before 5 July 2013

 Yes Non-C N/A

 Yes Non-C N/A

Where a garage wall is located on, or setback from, the northern boundary, a **1m** encroachment of the wall is permitted vertically beyond the building envelope, projected at **30°** to the horizontal and **3m** above the respective boundary.

 Yes Non-C N/A

1.8 Bushfire

R10

Where identified in a precinct code or lease and development conditions as being within a bushfire prone area, buildings are constructed in accordance with the specified bushfire construction level of Australian Standard AS 3959 – Construction of buildings in bushfire-prone areas

Bushfire Attack Level (BAL)-12.5

Bushfire Attack Level (BAL)-19

 Yes Non-C N/A Nothing in Precinct M&C

 Yes Non-C N/A

 Yes Non-C N/A

1.9 Front Boundary setbacks – all blocks

R11

Front boundary setbacks comply with the following

Large blocks approved before 18 October 1993

				exceptions	
	min front setback	Minimum front setback to secondary street frontage	Minimum front setback to open space/paths >6m		
LFL	6m	4m	4m	Yes <input checked="" type="checkbox"/>	Non-C <input type="checkbox"/> N/A <input type="checkbox"/> FBS - 8.80
UFL	6m	6m	4m	Yes <input type="checkbox"/>	Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
Garage	6m	5.5m	4m	Yes <input checked="" type="checkbox"/>	Non-C <input type="checkbox"/> N/A <input type="checkbox"/> Far from boundary and behind the building line

Large blocks approved on or after before 18 October 1993 but before 31 March 2008

				exceptions	
	min front setback	Minimum front setback to secondary street frontage	Minimum front setback to open space/paths >6m		
LFL	4m	4m	4m	Yes <input type="checkbox"/>	Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
UFL	6m	6m	4m	Yes <input type="checkbox"/>	Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
Garage	5.5m @ 1.5m behind building line	5.5m	4m	Yes <input type="checkbox"/>	Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>

Large blocks approved after 31 March 2008

				exceptions	
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Checklist for Single Dwelling Assessment for Exempt Development

	min front setback	Min front setback to secondary street frontage	Min front setback to open space/path >6m	Min front setback to rear lane/path <6m	
LFL	4m	3m	4m	nil	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
UFL	6m	3m	4m	nil	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
garage	5.5m @ 1.5m behind building line	5.5m	4m	nil	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
Mid-sized and compact blocks approved before 18 October 1993					
exceptions					
	min front setback	Minimum front setback to secondary street frontage	Minimum front setback to open space/paths >6m		
LFL	6m	3m	4m		Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
UFL	6m	3m	4m		Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
Garage	6m	5.5m	4m		Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
Mid-sized and compact blocks approved on or after 18 October 1993 but before 31 March 2008					
exceptions					
	min front setback	Minimum front setback to secondary street frontage	Minimum front setback to open space/paths >6m		
LFL	4m	3m	4m		Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
UFL	6m	3m	4m		Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
Garage	5.5m @ 1.5m behind building line	5.5m	4m		Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
Mid-sized blocks approved after 31 March 2008					
exceptions					
	min front setback	Min front setback to secondary street frontage	Min front setback to open space/path >6m	Min front setback to rear lane/path <6m	
All floors	4m	3m	3m	nil	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
Articulations all floors	3m	n/a	n/a	n/a	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
Garage	5.5m @ 1.5m behind building line, except with courtyard wall in front zone		3m	nil	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
Compact blocks approved after 31 March 2008					
exceptions					
	min front setback	Min front setback to secondary	Min front setback to open space/path	Min front setback to rear lane/path <6m	

Checklist for Single Dwelling Assessment for Exempt Development

		street frontage	>6m		
All floors	3m	3m	3m	nil	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
Garage	5.5m @ 1.5m behind building line, except with courtyard wall in front zone		3m	nil	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>

The minimum boundary setbacks for corner blocks apply only to one street frontage nominated by the applicant or nominated in a precinct code as a *secondary street frontage*. Nomination by a precinct code takes precedence. Chamfers may be included in the *secondary street frontage*, but only if the length of the chamfer is less than the length of the front boundary

1.10 Side and rear setbacks – all blocks

R12 i. single dwelling blocks that are not part of an integrated housing development parcel ii. single dwelling blocks in an integrated housing development parcel that adjoin residential blocks that are not part of that parcel. Side and rear setbacks for: a) large blocks – comply with table 5 b) mid-sized blocks – comply with tables 6A or 6B, as applicable c) mid-sized blocks nominated for alternative side boundary setbacks in a precinct code- comply with table 6C d) compact blocks – comply with tables 7.	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
	Yes <input checked="" type="checkbox"/> Non-C <input type="checkbox"/> N/A <input type="checkbox"/>
	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>

Table 5: Side and rear setbacks – large blocks

	minimum side boundary setback within the primary building zone		minimum side boundary setback within the rear zone		minimum rear boundary setback	
	side boundary 1	side boundary 2	side boundary 1	side boundary 2		
lower floor level – external wall	3m	1.5m	3m	1.5m	3m	Yes <input checked="" type="checkbox"/> Non-C <input type="checkbox"/> N/A <input type="checkbox"/> SB1, PBZ-4.19, RZ-3.51 and RB-3.91; SB2, PBZ-5.29, RZ-3.10 and RB-3.91
upper floor level – external wall	3m	3m	6m	6m	6m	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
upper floor level – unscreened element	6m	6m	6m	6m	6m	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
garage or carport	3m	nil*^	3m	nil*^	3m	Yes <input checked="" type="checkbox"/> Non-C <input type="checkbox"/> N/A <input type="checkbox"/>

*see R14 ^ does not apply to that part of a wall with a window of any sort

Table 6A: Side and rear setbacks – mid sized blocks in subdivisions approved before 2 October 2009

	minimum side boundary setback within the primary building zone		minimum side boundary setback within the rear zone		minimum rear boundary setback	
	side boundary 1	side boundary 2	side boundary 1	side boundary 2		
lower floor level	3m	>15m frontage 1.5m <15m frontage nil ^	3m	1.5m	3m	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
upper floor level – external wall	3m	3m	6m	6m	6m	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
upper floor level – unscreened element	6m	6m	6m	6m	6m	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>

^ does not apply to that part of a wall with a window of any sort **Note** minimum side boundary setbacks requirements apply to buildings and Class 10 structures except for side boundary 2 on blocks >800m² where the minimum side boundary setback for Class 10 structures is 1.5m

Checklist for Single Dwelling Assessment for Exempt Development

Table 6b: Side and rear setbacks – mid sized blocks in subdivisions approved on or after 2 October 2009

	minimum side boundary setback within the primary building zone		minimum side boundary setback within the rear zone		minimum rear boundary setback	
	side boundary 1	side boundary 2	side boundary 1	side boundary 2		
lower floor level	1.5m	1.5m nil* ^	3m	0.9m	3m nil** ^	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
upper floor level – external wall	3m	1.5m nil* ^ **	6m	6m	6m nil** ^	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
upper floor level – unscreened element	6m	6m	6m	6m	6m	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>

* see R15 **only where specifically permitted under a precinct code ^ does not apply to that part of a wall with a window of any sort

Table 6c: Alternative side boundary setbacks (blocks must be nominated in a precinct code)

	South^ Facing Boundary	North^^ Facing Boundary	East/West^^^ Facing Boundary 1	East/West^^^ Facing Boundary 2*	
lower floor level in the PBZ	1.5m 0m**	1.5m 4.0m+	1.5m	1.5m 0m**	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
lower floor level in the RZ	1.5m	1.5m 4.0m+	1.5m	1.5m	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
upper floor level – external wall in PBZ	1.5m	1.5m 4.0m+	1.5m	1.5m	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
upper floor level – external wall in RZ	Not permitted	Not permitted	3.0m	3.0m	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
upper floor level – unscreened element in the PBZ	6.0m	6.0m	6.0m	6.0m	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
upper floor level – unscreened element in the RZ	Not permitted	Not permitted	6.0m	6.0m	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>

^ South facing boundary means a boundary of a block where a line drawn perpendicular to the boundary outwards is orientated between south 30 degrees west and south 20 degrees east. ^^ North facing boundary means a boundary of a block where a line drawn perpendicular to the boundary outwards is orientated between north 20 degrees west and north 30 degrees east. ^^ East/West boundary means a boundary of a block where a line drawn perpendicular to the boundary outwards is orientated either between east 20 degrees north and east 30 degrees south or between west 30 degrees north and west 20 degrees south * Boundary 2 may be stipulated in a precinct code. ** Provided the total length of the wall on the boundary does not exceed 13m (may extend up to 2.5m into the rear zone). Blank walls on boundaries may include walls to garages and non-habitable rooms and cavity walls to habitable rooms. + The dwelling is required to be setback 4m from the north facing boundary for 50% or greater of the building length commencing from 4m or greater behind the front building line. The building length is measured 4m behind the front building line.

Table 7: Side and rear setbacks – compact blocks

	Site boundary 1 or longer side boundary of a corner block	Site boundary 2	Shorter site boundary of a block	Minimum rear boundary setbacks	
lower floor level – external wall	nil^	nil^	3.0m	3.0m nil^	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
lower floor level – unscreened element	1.5m	1.5m	3.0m	3.0m	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
upper floor level – external wall	nil***	nil***	3.0m	4.0m nil**	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
upper floor level – unscreened element	1.5m	1.5m	3.0m	4.0m	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
garage or carport	nil^	nil^	nil^	3.0m nil**	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>

* only where specifically permitted under a precinct code.

** only where the lower floor level is built to the boundary.

^ does not apply to that part of a wall with a window of any sort

Checklist for Single Dwelling Assessment for Exempt Development

1.11 Setbacks less than 900mm	
R13 External walls within 900mm of a side or rear boundary are set back from the boundary by not more than 180mm	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
Rules	Compliance & Comments
1.12 Garages and carports on or near side and rear boundaries – large blocks	
R14 The maximum total length of all garage walls at a setback of less than 900mm to a side or rear boundary is 8m	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
1.13 Walls on or near side and rear boundaries – mid-sized blocks	
R15 A wall with a setback of less than 900mm to a side or rear boundary complies with all of the following: a) not more than 13m in length	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
b) extends no more than 2.5m into the rear zone	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
1.14 Allowable encroachments - setbacks	
R16 Encroachments into one or more of the following: i. minimum side setback	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
ii. minimum rear setback	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
a) an eave or roof overhang with a horizontal width of not more than 600mm	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
b) fascias, gutters, downpipes, rainwater tanks, chimneys, flues, domestic fuel tanks, cooling or heating appliances, light fittings, electricity and gas meters aerals, antennae, unroofed pergolas, sun blinds	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
c) unroofed terraces, landings, steps or ramps, none of which are more than 1m above finished ground level	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
R17 Encroachments into the front setbacks are permitted for either: a) an eave or roof overhang with a horizontal width of not more than 600mm	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
b) fascias, gutters, downpipes, light fittings, sun blinds	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
c) landings, steps or ramps, none of which are more than 1m above finished ground level	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
1.15 Allowable encroachments – building envelopes	
R18 Encroachments outside the building envelope specified in this element are permitted for one or more of the following: a) flues	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
b) chimneys	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
c) antennae	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
d) aerals	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
e) cooling appliances	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
f) heating appliances	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
1.16 Surveillance blocks	
R19 / Mandatory requirement Where identified in a precinct code or current and approved <i>lease and development conditions</i> as a surveillance block	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
1.17 Cut and fill	
R20 The maximum cut or fill within 1.5m of side and rear boundaries is 1.5m	Yes <input checked="" type="checkbox"/> Non-C <input type="checkbox"/> N/A <input type="checkbox"/>
1.18 Blocks between 500m² and 550m²	

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R21 / Mandatory requirement Blocks from 500m ² or greater but less than 550m ² that are identified in a precinct code as <i>mid-sized blocks</i>	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
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Element 2: Lease and development conditions

Rules	Compliance & Comments
Approved lease and development conditions	
R22 This rule applies to <i>blocks</i> affected by approved <i>lease and development conditions</i> .	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>

Element 3: Building design

Rules	Compliance & Comments
3.1 Materials and finishes	
R23 Structures, plant and equipment situated on the roof are not visible from the street frontage or other unleased territory land unless exempt under <i>Planning and Development Act 2007</i>	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
3.2 Fencing – large blocks and mid sized blocks	
R24 Walls or fencing are not permitted forward of the <i>building line</i> except where they comply with one or more of the following:	
a) a previously approved estate development plan	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
b) a relevant precinct code	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
c) from a gate to a maximum height of 1.8m in an established, vigorous hedge	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
a) otherwise complies with this code (eg courtyard wall provisions)	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
b) is exempt under the <i>Planning and Development Act 2007</i>	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
3.3 Courtyard walls – large blocks	
R25 Courtyard walls forward of the <i>building line</i> must comply with following:	
a) total length complies with one of the following	
i. not more than 50% of the width of the <i>block</i>	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
ii. not more than 70% where the width of the <i>block</i> at the line of the wall is less than 12m	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
b) setback from the front boundary not less than 50% of the minimum front setback applying to the <i>block</i>	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
c) height does not exceed 1.8m	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
d) constructed only of brick, block or stonework, any of which may be combined with feature panels	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
e) incorporate shrub planting between the wall and the front boundary	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
f) do not obstruct sight lines for vehicles and pedestrians on public paths on driveways	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
3.4 Courtyard walls – mid-sized blocks	
R26 Courtyard walls forward of the <i>building line</i> comply with following:	
a) have a maximum total length of	
i. where the width of the <i>block</i> at the line of the wall is less than 12m – 70% of the width of the <i>block</i>	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
ii. in all other cases – 50% of the width of the <i>block</i>	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
b) have a minimum <i>setback</i> from the <i>front boundary</i> of not less than -	
i. where the total length of the courtyard wall measured parallel to the front street boundary does not exceed 6.5m	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>

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and the courtyard wall does not exceed 1.5m in height – 1m	
ii. in all other cases – 50% of the minimum front setback applying to the <i>block</i>	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
c) do not exceed 1.8m in height	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
d) are constructed of one of the following -	
i. only of brick, block or stonework, any of which may be combined with feature panels	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
ii. finished to match or complement the dwelling	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
e) incorporate shrub planting between the wall and the front boundary	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
f) do not obstruct sight lines for vehicles and pedestrians on public paths on driveways in accordance with A2890.1 – <i>The Australian Standard for Off-Street Parking</i>	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
3.50 Front fences and courtyard walls – compact blocks	
R27 Courtyard walls forward of the <i>building line</i> comply with following:	
a) have a maximum total length of-	
i. where the width of the <i>block</i> at the line of the wall is less than 12m – 60% of the width of the <i>block</i>	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
ii. in all other cases – 50% of the width of the <i>block</i>	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
b) have a minimum <i>setback</i> from the <i>front boundary</i> of not less than -	
i. where the courtyard encloses north facing <i>principal private open space</i> – 1m	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
ii. in all other cases – 2m	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
c) have a minimum height of -	
i. where the courtyard encloses <i>principal private open space</i> – 1.5m	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
ii. where both of the following apply	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
a. the courtyard encloses <i>principal private open space</i> - 1.5m	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
b. the <i>block</i> is a corner <i>block</i> – 1.8m	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
iii. in all other cases – 1.2m	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
d) comply with one or more of the following -	
i. constructed of brick, block or stonework, any of which may be combined with feature panels	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
ii. constructed and finished to match or complement the <i>single dwelling house</i>	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
e) provide for sight lines for vehicles and pedestrians on public paths on driveways in accordance with A2890.1 – <i>The Australian Standard for Off-Street Parking</i>	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
R28 <i>Compact blocks</i> front and side fences forward of the <i>building line</i> comply with all of the following:	
a) do not exceed one of the following -	
i. where located adjacent to the dwellings' <i>principal private open space</i> - 1.5m in height	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
ii. where located adjacent to the dwellings' <i>principal private open space</i> , where the <i>block</i> is a corner <i>block</i> – 1.8m in height	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
iii. in all other cases – 1.2m in height	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
b) A2890.1 – <i>The Australian Standard for Off-Street Parking</i> in relation to site lines for vehicles and pedestrians on public paths or driveways	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>

Element 4: Parking and site access

Rules

Compliance & Comments

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4.1 Pedestrian access	
R29 / Mandatory requirement For blocks with a boundary to a rear lane, pedestrian access is provided from the street address	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
4.2 Vehicle access	
R30 Driveway verge crossings comply with all of the following: <ol style="list-style-type: none"> a) 1.2m horizontally clear of stormwater sumps and other services b) 1.5 horizontally clear of transformers, bus stops, public light poles c) 6m horizontally clear of the tangent point of the radius of the curve on a corner block (excluding locations with roundabouts and signalised intersections, which require separate formal approval and support from Asset Acceptance) d) Uphill grade of less than 17% as measured from the kerb; downhill grade of less than 12% as measured from kerb e) at a right angle to the kerb line with a maximum 10% deviation f) for large blocks and mid sized blocks, a maximum of 5.5m wide, and a minimum of 5m wide at the kerb, a minimum 3m wide at the front boundary, and a maximum width no greater than the width at the kerb g) for compact blocks, 3m wide at the front street boundary h) outside of the drip line of mature trees i) minimum of 3m clear of small and new street trees j) compliant with Australian Standard AS2890.1 –Parking facilities as amended from time to time, having particular regard for sightlines and cross fall of the site k) where there is a public footpath across the driveway verge crossing, the footpath is continuous (ie. the footpath is to have precedence) l) if the existing footpath is replaced, it is constructed at the same level in the same material and colour as the original 	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
4.3 Parking	
R31 Car parking spaces provided on the block complies with the following: <ol style="list-style-type: none"> a) for a single dwelling house on compact blocks containing not more than 1 bedroom - 1 b) in all other cases -2 	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Non-C <input type="checkbox"/> N/A <input type="checkbox"/> Four carbays in basement
R32 Dimensions of car parking spaces are not less than the following: <ol style="list-style-type: none"> i. single roofed space – 6m x 3m ii. doubled roofed space – 6m x 5.5m iii. single unroofed space – 5.5m x 3m iv. multiple unroofed spaces side by side – 5.5m x 2.6m v. parallel parking spaces – 6.7m x 2.3m vi. 2.1m minimum clearance to any overhead structure 	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Non-C <input type="checkbox"/> N/A <input type="checkbox"/>
For this rule dimensions for roofed spaces internal dimensions	
R33 Car parking spaces on the block comply with all of the following: <ol style="list-style-type: none"> a) not located in the front zone, except on compact blocks or on any part of a driveway. b) not encroach any property boundaries c) at least one car parking space is roofed and is behind the front zone d) comply with sightlines for off-street car parking facilities and other relevant requirements in Australian Standard AS2890.1 – Parking facilities 	Yes <input checked="" type="checkbox"/> Non-C <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Non-C <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Non-C <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Non-C <input type="checkbox"/> N/A <input type="checkbox"/>

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For this rule a <i>driveway</i> is a driveway to a car parking space that is located behind the <i>front building line</i>	
R34 In RZ1 and RZ2, on <i>single dwelling blocks</i> ramps accessing <i>basement car parking</i> are behind the building line, where the block is less than 30m wide as measured at the street frontage. Ramps comply with the relevant requirements in Australian Standard AS2890.1 – <i>Parking facilities</i>	Yes <input checked="" type="checkbox"/> Non-C <input type="checkbox"/> N/A <input type="checkbox"/>
R35 / Mandatory requirement Car parking is not permitted on verges	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
R36 Maximum total width of garage doors and carports the lesser of the following:	
a) 6m	Yes <input checked="" type="checkbox"/> Non-C <input type="checkbox"/> N/A <input type="checkbox"/> 5.40m
b) 50% of the frontage	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>

Element 5: Amenity

Rules	Compliance & Comments
5.1 Solar Access – blocks which were approved or had lease granted before 5 July 2013	
R37 The floor or internal wall of a daytime living area of a dwelling is exposed to not less than 3 hours of direct sunlight between the hours of 9am and 3pm on the winter solstice (21 June)	Yes <input checked="" type="checkbox"/> Non-C <input type="checkbox"/> N/A <input type="checkbox"/>
5.1A Solar access – blocks which were approved on or after 5 July 2013	
R37A This rule applies:	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
a) new dwellings	
b) additions and alterations, only if the addition or alteration affects a daytime living area A daytime living area (habitable room other than bedroom) is provided with the minimum of 4m² of transparent vertical glazing that:	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
a) is oriented between 45° east of north and 45° west of north; and	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
b) is not overshadowed at noon on the winter solstice (21 June) by	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
i) buildings and structures on the subject block	
ii) the solar fence on the northern boundary of the subject block (PBZ 3m and all other parts of boundary 2.3m)	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
5.2 Private open space	
R38 For <i>large blocks</i> , <i>private open space</i> complies with all of the following:	Yes <input checked="" type="checkbox"/> Non-C <input type="checkbox"/> N/A <input type="checkbox"/> Plenty, 27.5% of site coverage as Heritage condition
a) has a minimum area equal to 60% of the block area, less 50m ²	
b) has a minimum dimension of 6m for an area not less than 10% of the block	Yes <input checked="" type="checkbox"/> Non-C <input type="checkbox"/> N/A <input type="checkbox"/>
c) at least 50% of the minimum area in a) is <i>planting area</i>	Yes <input checked="" type="checkbox"/> Non-C <input type="checkbox"/> N/A <input type="checkbox"/>
R39 For <i>mid sized blocks</i> , <i>private open space</i> complies with following:	
a) a minimum area equal to 40% of the block area, less 50m ² .	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
b) a minimum dimension as follows: -	
i. blocks that are identified in a precinct code as an alternative boundary setback block – 4m for an area not less than 20% of the block area	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
ii. in all other cases – 6m for an area not less than 10% of the block area	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
c) at least 50% of the minimum area specified in a) is <i>planting area</i>	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
Note: Private open space includes principal private open space as required elsewhere in this element.	
R40 For <i>compact blocks</i> , <i>private open space</i> complies with all of the following:	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>

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a) a minimum area is not less than 20% of the block area	
b) at least 50% of the minimum area specified in a) is <i>planting area</i>	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>

Note: Private open space includes principal private open space as required elsewhere in this element.

5.3 Principal private open space

R41 One area of <i>principal private open space</i> complies with following:	
a) minimum area and dimensions specified in table 8	Yes <input checked="" type="checkbox"/> Non-C <input type="checkbox"/> N/A <input type="checkbox"/>
b) at ground level	Yes <input checked="" type="checkbox"/> Non-C <input type="checkbox"/> N/A <input type="checkbox"/>
c) directly accessible from, and adjacent to, a <i>habitable room</i> other than a bedroom	Yes <input checked="" type="checkbox"/> Non-C <input type="checkbox"/> N/A <input type="checkbox"/>
d) screened from adjoining public streets and public open space	Yes <input checked="" type="checkbox"/> Non-C <input type="checkbox"/> N/A <input type="checkbox"/>
e) located behind the building line, except where enclosed by a courtyard wall	Yes <input checked="" type="checkbox"/> Non-C <input type="checkbox"/> N/A <input type="checkbox"/>
f) is not located to the south, south-east or south-west of the dwelling, unless it achieves not less than 3 hours of direct sunlight onto 50% of the minimum principal private open space area between the hours of 9am and 3pm on the winter solstice (21 June)	Yes <input checked="" type="checkbox"/> Non-C <input type="checkbox"/> N/A <input type="checkbox"/>

Table 8: Principal Private Open Space

Zone	Block type	Dwelling Size*	Min. Area	Min. Dimension	
All	Compact	all	16m ²	4m	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
RZ1 & RZ2	Mid-sized Large	up to 105m ²	28m ²	4m	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
RZ2	Mid-sized Large	105m ² or greater	36m ²	6m	Yes <input checked="" type="checkbox"/> Non-C <input type="checkbox"/> N/A <input type="checkbox"/> More than 36sqm and 6m
RZ3 & RZ4	Mid-sized Large	all	24m ²	4m	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>

* For the purpose of this table dwelling size is defined as the floor area measured to the outside face of external walls including internal walls between the living areas and garage (but excluding the garage).

5.4 Noise attenuation – external sources

R42 Where a block has one or more of the following characteristics:	
i. identified in a precinct code	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Nothing in Precinct M&C
ii. adjacent to a road carrying greater than 12,000 vehicles per day	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
dwellings shall be constructed to comply with the following:	
a) Dwelling located less than 20m from the nearside edge of the road carrying 12,000 and 25,000 vpd	
i) AS/NZS 2107:2000 – Acoustics – Recommended design sound levels.	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
ii) AS/NZS 3671 – Acoustics – Road Traffic Noise Intrusion Building Siting and Design	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
b) Dwellings located more than 20m from the nearside edge of a road carrying 12,000 and 25,000 vpd	
i) glazing is 6.38mm laminated glass or equivalent and fitted with acoustic seals other than brush seals	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
ii) any external doors are solid core and fitted with acoustic seals other than brush seals	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
c) Dwellings located less than 40m from the nearside edge of the road carrying traffic volumes greater than 25,000 vpd	
i) AS/NZS 2107:2000 – Acoustics – Recommended design sound levels.	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
ii) AS/NZS 3671 – Acoustics – Road Traffic Noise Intrusion Building Siting and Design	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
d) Dwellings located more than 40m from the nearside edge of a road carrying traffic volumes greater than 2500 vpd	
i) glazing is 10.38mm laminated glass or equivalent and fitted with acoustic seals other than brush seals	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>

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<p>iii. least a toilet, laundry cold water and all external taps The tank is connected to a least a toilet, laundry cold water and all external taps. The connection will require a pump where it cannot be elevated sufficiently to give adequate pressure.</p>	
Option B is a greywater system to Class A standard.	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
6.2 Heritage	
<p>R44 / mandatory requirement Land containing places or objects registered or provisionally registered under section 41 of the <i>Heritage Act 2004</i>.</p>	Yes <input checked="" type="checkbox"/> Non-C <input type="checkbox"/> N/A <input type="checkbox"/> Heritage approval received
Note: The authority will consider any advice from the Heritage Council before determining the application.	
6.3 Tree protection	
<p>R45 / Mandatory requirement Development that has one or more of the following characteristics:</p> <p>a) Requires groundwork within the tree protection zone of a <i>protected tree</i></p> <p>b) Is likely to cause damage to or removal of any <i>protected tree</i> The authority shall refer the development application to the Conservator of Flora and Fauna</p>	<p>Yes <input checked="" type="checkbox"/> Non-C <input type="checkbox"/> N/A <input type="checkbox"/> Approval received</p> <p>Yes <input checked="" type="checkbox"/> Non-C <input type="checkbox"/> N/A <input type="checkbox"/></p>
6.4 Erosion and sediment control	
<p>R46 / Mandatory requirement For sites less than 3,000m², development complies with the Environment Protection Authority, <i>Environment Protection Guidelines for Construction and Land Development in the ACT August 2007</i></p>	Yes <input checked="" type="checkbox"/> Non-C <input type="checkbox"/> N/A <input type="checkbox"/>
<p>R47 / Mandatory requirement For sites less than 3,000m², or larger, the application is accompanied by an erosion and sediment control plan endorsed by the ACT Environment Protection Authority.</p>	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>


Element 7: Services

Rule	Compliance & Comments
7.1 Construction waste management – all zones	
<p>R48 / Mandatory requirement This rule applies to <i>residential</i> development that is likely to generate more than 20m³ of construction waste comprising one or more of the following:</p> <p>a) demolition waste</p> <p>b) construction waste</p> <p>c) excavation material</p>	<p>Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Less than 20cubm</p> <p>Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/></p> <p>Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/></p>
The management of construction waste to be endorsed by TAMS.	
Utilities – all zones	
<p>R49 / Mandatory requirement The encroachment into a registered easement is to be approved in writing by the relevant service provider.</p>	Yes <input type="checkbox"/> Non-C <input type="checkbox"/> N/A <input checked="" type="checkbox"/>

Comments / What assumptions have been made?

Checklist for Single Dwelling Assessment for Exempt Development

I certify that the single dwelling referred to this Assessment for Exempt Development, meets each applicable approval requirement under Section 29 of the Building Act 2004 and building approval is not prevent from being issued under Section 30 or Section 30A of the Building Act 2004.

Signature		Assessment Date	03/05/2019	Job No	190043
------------------	---	------------------------	------------	---------------	--------

Livij Krevatin Licence No. ACT 2010979



selectSTRUCTURE
BUILDING CERTIFICATION

Assessment Document Checklist

Project Details

ACT	unit	<input type="text"/>	block	5	section	28
NSW	unit	<input type="text"/>	lot	<input type="text"/>	DP	<input type="text"/>
address	<input type="text"/>					
suburb	REID	state	ACT	postcode	2612	

Assessment Documents	Detail	Checklist
Title Search		Yes <input checked="" type="checkbox"/> N/A <input type="checkbox"/>
Builders Licence Check		Yes <input checked="" type="checkbox"/> N/A <input type="checkbox"/>
Block Identification	ACTMAPI	Yes <input checked="" type="checkbox"/> N/A <input type="checkbox"/>
Precinct Code		Yes <input checked="" type="checkbox"/> N/A <input type="checkbox"/>
L & D Check		Yes <input checked="" type="checkbox"/> N/A <input type="checkbox"/>
Heritage Check		Yes <input checked="" type="checkbox"/> N/A <input type="checkbox"/>
Protected Trees		Yes <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/>
Driveways		Yes <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
ACTEWAGL	<ul style="list-style-type: none"> Electrical Compliance Water & Sewerage Compliance Gas Compliance 	Yes <input checked="" type="checkbox"/> N/A <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A <input type="checkbox"/>
TCCS	Stormwater Endorsed or Demolition	Yes <input checked="" type="checkbox"/> N/A <input type="checkbox"/>
Developers Consent		Yes <input checked="" type="checkbox"/> N/A <input type="checkbox"/>
Form 7B (existing dwellings)	Notification to neighbours	Yes <input checked="" type="checkbox"/> N/A <input type="checkbox"/>
Site Work Notice		Yes <input checked="" type="checkbox"/> N/A <input type="checkbox"/>
Other documents as listed	EER Owner builder course	Yes <input checked="" type="checkbox"/> N/A <input type="checkbox"/>

Signature		Assessment Date	03/06/2019	Job No	190043
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Livij Krevatin Licence No. ACT 2010979

Lease/Site DetailsBlock Section Suburb Unit No Street Address **Building Approval Application and Site Work Details**

This notice is issued in relation to the site work shown in the plans submitted as part of the application for a building approval dated made by the following applicants:

Owner 1 Owner 2
Owner 3 Owner 4

Date: 03/06/2019

This notice applies to all site work in that application for which there is there is no:

- (a) exemption assessment D notice stating that the site work is exempt development issued for the work not more than 3 months before the day the application was made;
- (b) exemption declaration under the *Planning and Development Regulation 2008*, Schedule 1, Section 1.100A (1) (b) or Section 1.100AB (1) (b) made by the planning and land authority; or
- (c) current development approval issued in relation to the site work.

NOTE: Site work is development that is:

- (a) building work; and
- (b) work other than building work that:
 - (i) physically affects the place (the building site) where the building work is being carried out; and
 - (ii) if not carried out at the building site, is carried out near and connected with, the building site.

*Examples: putting up temporary fencing, installing measures for erosion control, building a house, damaging or removing a significant tree, laying paving for driveways and parking areas, installing landscaping, site clearing and excavation, erecting site signage or erecting a pergola***Building Certifier Details:**Surname First Name Company Name Licence Number Contact Number Postal Address Suburb State Postcode

Building Certifier Statement

I state that:

- the plans for the building work to which the application for building approval relates show all the information necessary to establish that the site work is exempt development under the *Planning and Development Act 2007*, Section 133; and
- the site work is exempt development; and
- I have assessed that the site work is exempt development for the following reasons and in accordance with the following provisions of the *Planning and Development Regulation 2008* and Territory Plan Codes:

Schedule 1, Part 1.2 General exemption criteria of the Planning and Development Regulation 2008 (23 Nov 2018);


Schedule 1 – Exemptions from requirement for development approval, Part 1.3 Exempt developments, Division 1.3.7 Exempt developments-other exemptions:

1.100 Compliant single dwellings—old residential land;

Single Dwelling Housing Development Code (1 June 2018);

Schedule 1 – Exemptions from requirement for development approval, Part 1.3 Exempt developments, Division 1.3.7 Exempt developments-other exemptions, Section 1.101 – Buildings and structures-demolition (Class 10, Section 1.14, Criterion 4-heritage, tree, environment and conservation) of the Planning and Development Regulation 2008 (23 Nov 2018)

Building
Certifier
Signature
(or nominee)



Date of Issue

03/06/2019

Giving false or misleading information is a serious offence

Privacy Notice! The personal information on this form is provided to the Environment and Planning Directorate (EPD). The collection of personal information is authorised by the *Building Act 2004*. If all or some of the required personal information is not collected this notice is not considered complete. The personal information provided may be disclosed to Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be disclosed where authorised by law or court order, or where the EPD reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. EPD's Information Privacy Policy contains information about how you may access or seek to correct your personal information held by EPD, and how you may complain about an alleged breach of the Territory Privacy Principles. The EPD Information Privacy Policy can be found at www.act.gov.au/accessCBR.

CONTACT INFORMATION

Email:

ACTPLAdevelopmentBA@act.gov.au

Post:

Access Canberra
Building Services
Shopfront Mitchell
GPO Box 158
Canberra, ACT 2601

In Person:

Please visit
www.act.gov.au/accessCBR
Or call **132281** to find an
Access Canberra Shopfront.

**AUSTRALIAN CAPITAL TERRITORY
TITLE SEARCH**

LAND

Reid Section 28 Block 5 on Deposited Plan 15

Lease commenced on 15/05/2017, granted on 15/05/2017, term of 99 years

Area is 973 square metres or thereabouts

Sole Proprietor

Sch 2 2.2(a)(ii)

of 23 Hovea Street O'Connor ACT 2602

REGISTERED ENCUMBRANCES AND INTERESTS

Original title is **Volume 2276 Folio 3**

Purpose Clause: Refer Crown Lease

Market Value Lease: Applies For Term Of Lease

S.298 Planning and Development Act 2007: Current

Registered Date	Dealing Number	Description
17/05/2018	2151095	Mortgage to Australia and New Zealand Banking Group Limited

End of interests

ADMINISTRATIVE INTERESTS

(This information is not guaranteed)

Chief Minister, Treasury and Economic Development Directorate (CMTEDD) for further information concerning the following administrative interest, please contact the Asbestos Response Taskforce on 132281. - Affected residential premises register. Premises contain/s loose-fill asbestos (Mr Fluffy) insulation, Dangerous Substances Act 2004, s 47N

Reference Number	Type	Lodgement Date	Assessment Track	Status	Status Date
91478651	Affected Residential Premises Register	28/06/2015		REGISTERED	28/06/2015

Description

Effective 30 June 2015 - Affected residential premises register - premises contain/s loose-fill asbestos (Mr Fluffy) insulation - Dangerous Substances Act 2004,s47N

Chief Minister, Treasury and Economic Development Directorate (CMTEDD) for further information concerning the following administrative interest, please contact the Asbestos Response Taskforce on 132281. - Affected residential premises register. Premises contain/s loose-fill asbestos (Mr Fluffy) insulation, Dangerous Substances Act 2004, s 47N

Reference Number	Type	Lodgement Date	Assessment Track	Status	Status Date
------------------	------	----------------	------------------	--------	-------------



Product	Title Details
Date/Time	24/04/2019 03:12PM
Customer Reference	19REI-S28B5
Order ID	20190424000946
Cost	\$30.00

107889075	Affected Residential Premises Register	14/08/2017	DEREGISTERED	24/11/2016
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Description

Premises have been demolished and removed from the affected residential premises register - Dangerous Substances Act 2004, s 47N

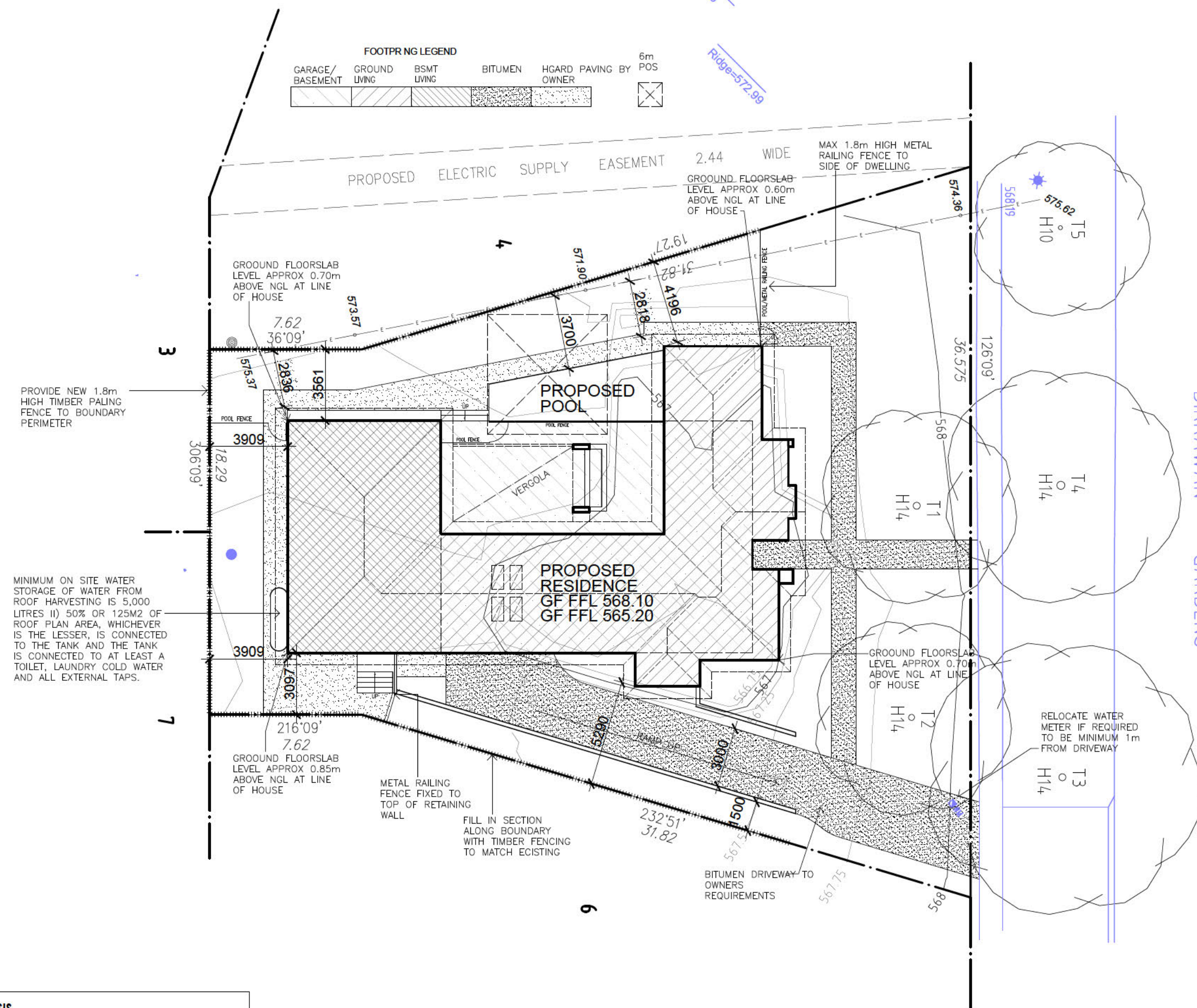
GENERAL NOTES

- Brick on edge sills throughout
- All concrete slabs and footings shall be determined by site classification and AS 2870.1
- Provide termite protection to code in accordance with AS 3660-2000 part 1,2 and 3.
- All timber framing and construction must comply with the current version of the timber framing code AS 1684 and the BCA.
- All insulation to comply with Energy Rating Report.
- Provide smoke alarms in accordance with Part 3.7.2 of the BCA and AS 3766. Wiring to AS 3000
- All windows and glazing to all relevant codes and standards and in accordance with Energy Rating Report.
- All operable windows and doors to have fly screens on aluminium frames, powdercoat colour to match door and window frames.
- All operable doors and windows to have factory fitted fly screens on exterior
- All fire rated separation must be undertaken in accordance with the BCA and all relevant Australian standards. All fire rating construction must be certified by a qualified professional.
- Refer to structural engineers documents for all structural components.
- Bathroom, w.c, Ens and Laundry doors: fit frame type so that door is readily removable from outside of compartment. Sliding cavity doors allow lock set readily openable from outside of compartment.
- All lintel heights to be 2100mm from FFL or nearest brick course, unless otherwise specified on drawings.
- All windows to have brick on edge window sills with damp proof membrane under, all to meet code.
- Where proprietary light weight party wall systems specified between dwellings, all to manufacturers details as per BCA/NCC requirements.
- Provide mechanical ventilation and artificial lighting to BCA requirements where required.
- FFL's are subject to change and are up to builders discretion, to be discussed and agreed upon with client.
- Confirm all levels and contours on site against levels shown on site plan prior to commencement of construction. Builder is responsible to ensure all information shown in these documents regarding levels is accurate and represents existing on site levels.
- Development to comply with best practice guidelines- Prevent pollution from residential building sites , march 2006.
- Block boundaries, contours, services and easements to be verified on site prior to construction.
- Retaining wall heights and all levels to suite site conditions, final heights to be confirmed by builder.
- Builder to provide all labour, materials, fittings, paint, permits, insurances etc. necessary for the proper completion of the works and ensure that all labour and materials in all trades are the best of the respective kinds.
- Verify all services, ie storm water and sewer ties.
- All contractors to inform themselves of the scope of work before commencing.
- Follow figure dimensions only. Check and verify dimensions before starting and report any discrepancies to designer.
- Building setbacks, easements and dimensions to be verified by the surveyor and certifier prior to commencing of any work.
- Materials and workmanship to be in accordance with the BCA, and all other relevant codes and Australian Standards.
- Water tightness to main subcontractors responsibility.

SITE ANALYSIS

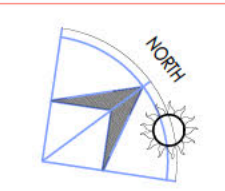
SITE AREA	=973m ²
GROUND FLOOR LIVING AREA	=241.0m ²
LOWER FLOOR LIVING AREA	=89.2m ²
TOTAL GFA	=330.2m ²
PLOT RATIO	=33.9%
GARAGE BASEMENT AREA	=181.4m ²
VERGOLA AREA	=26.5m ²
FOOTPRINT (SITE COVERAGE)	=267.5m ² =27.5%

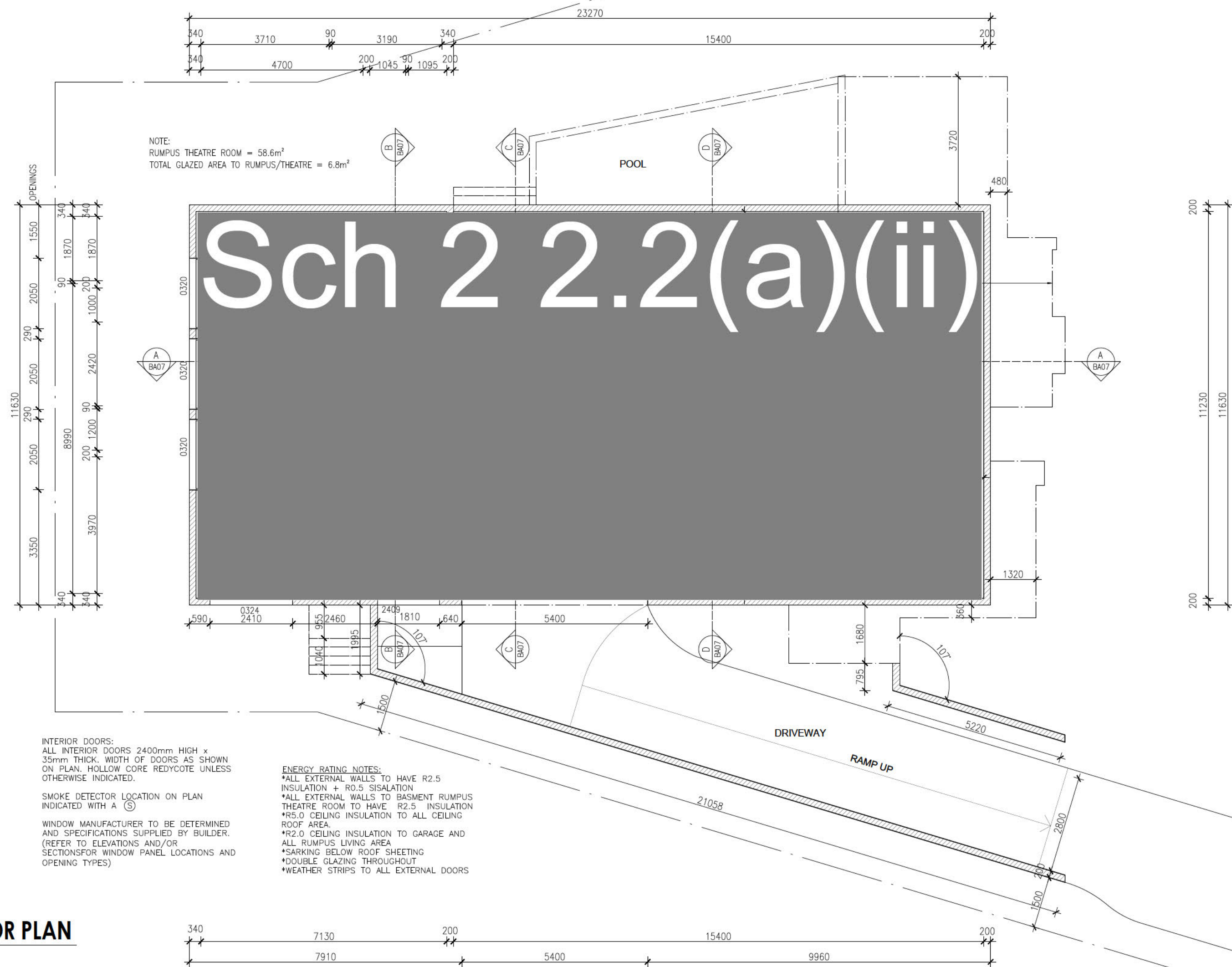
FOOTPRINT LEGEND	
GARAGE/BASEMENT	6m POS
GROUND LIVING	
BSMT LIVING	
BITUMEN	
HARD PAVING	
BY OWNER	



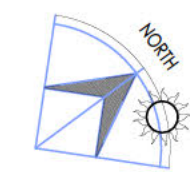
LEGEND	
	LIGHTPOLE
	WATER METER
	SEWERMANHOLE

SITE PLAN
Scale 1:200 @ A3





BASEMENT FLOOR PLAN
Scale 1:100 @ A2



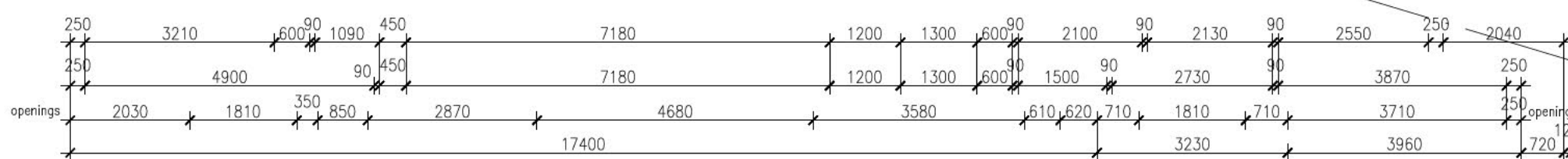
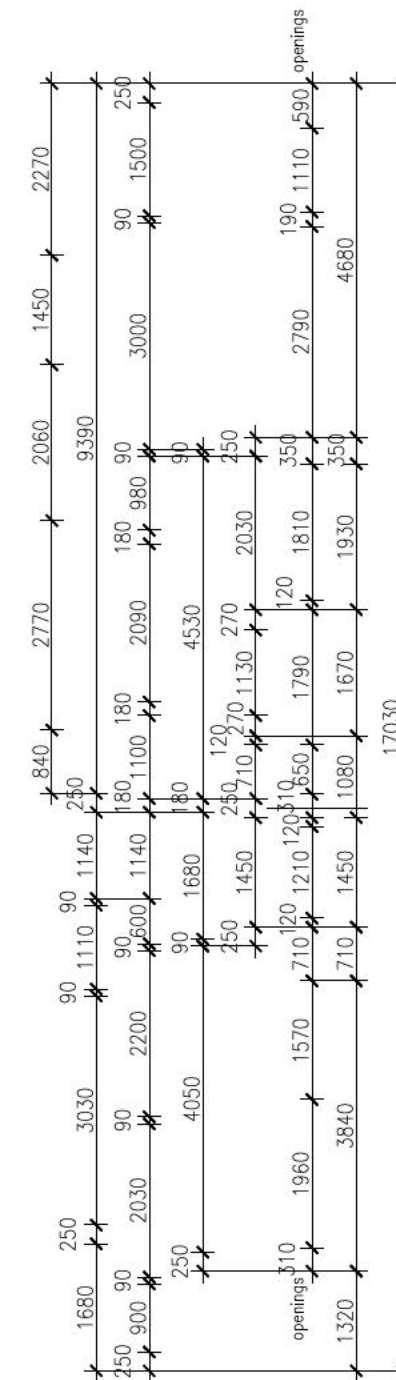
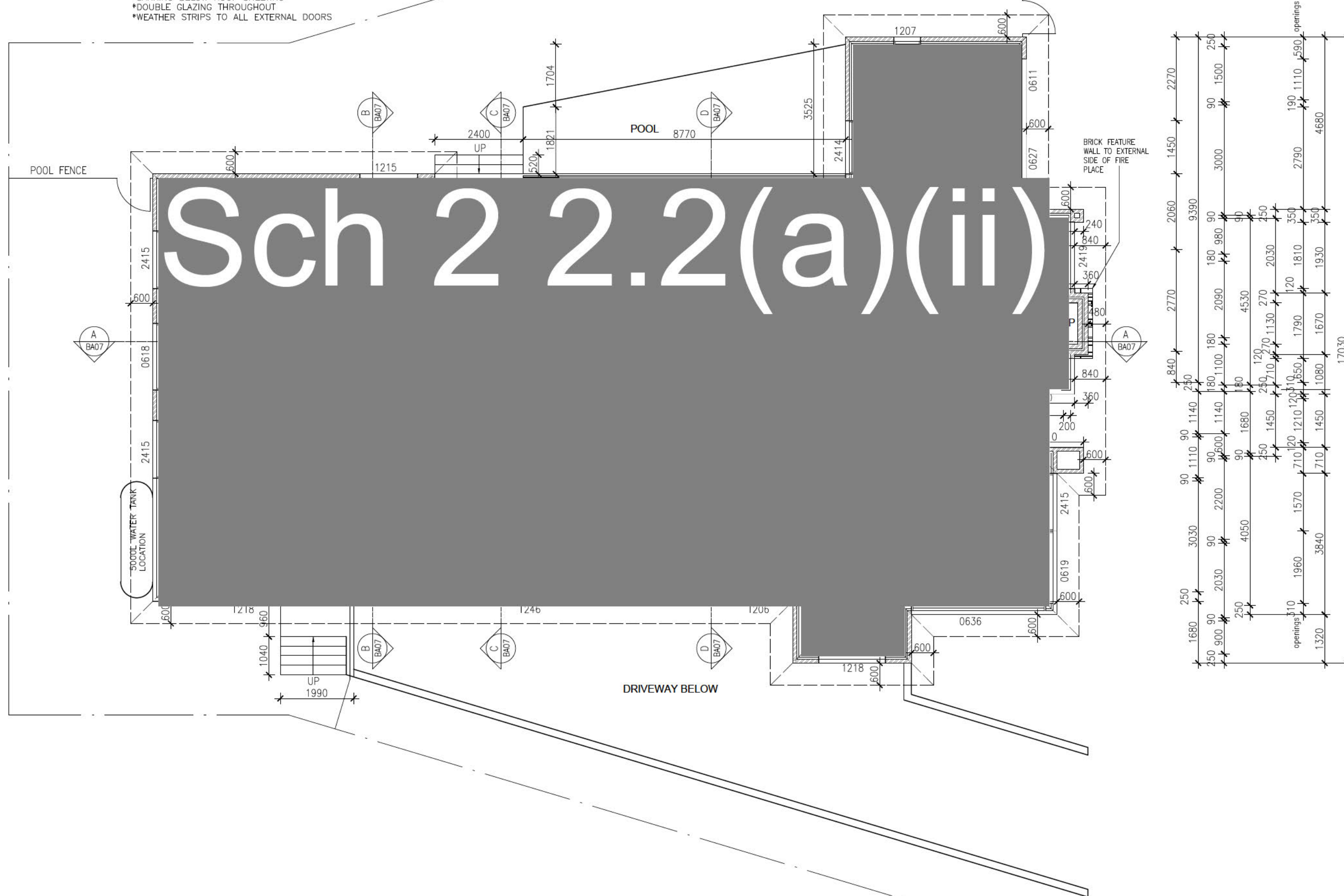
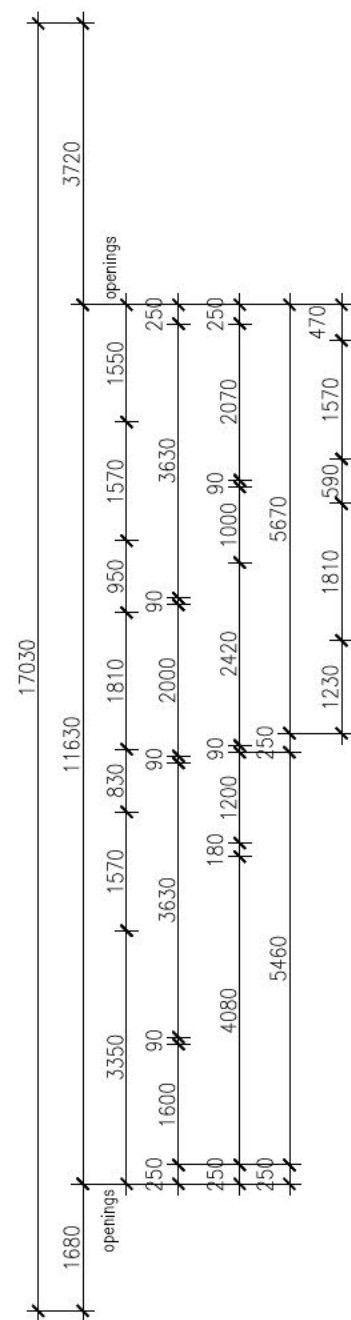
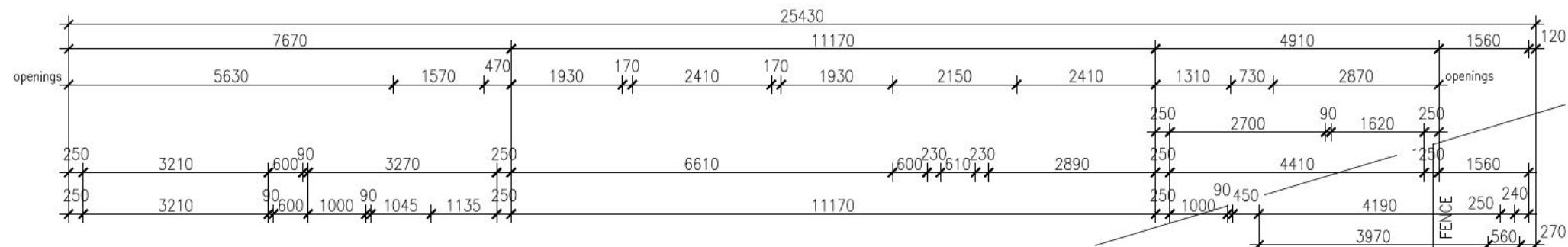
BLOCK	5	DRAWING	BASEMENT FLOOR PLAN	DRAWN	RJ
SECTION	28	PROJECT	PROPOSED NEW RESIDENCE	REVISION	
SUBURB	REID	CLIENT	Sch 2.2(a)(ii) RESIDENCE	REVISION DATE	
SCALE	1:100 @ A2			JOB No:	1809
				PRINT DATE	20/05/2019
				DWG No	BA04

INTERIOR DOORS:
ALL INTERIOR DOORS 2400mm HIGH x 35mm THICK, WIDTH OF DOORS AS SHOWN ON PLAN. HOLLOW CORE REDYCOTE UNLESS OTHERWISE INDICATED.

SMOKE DETECTOR LOCATION ON PLAN INDICATED WITH A (S)

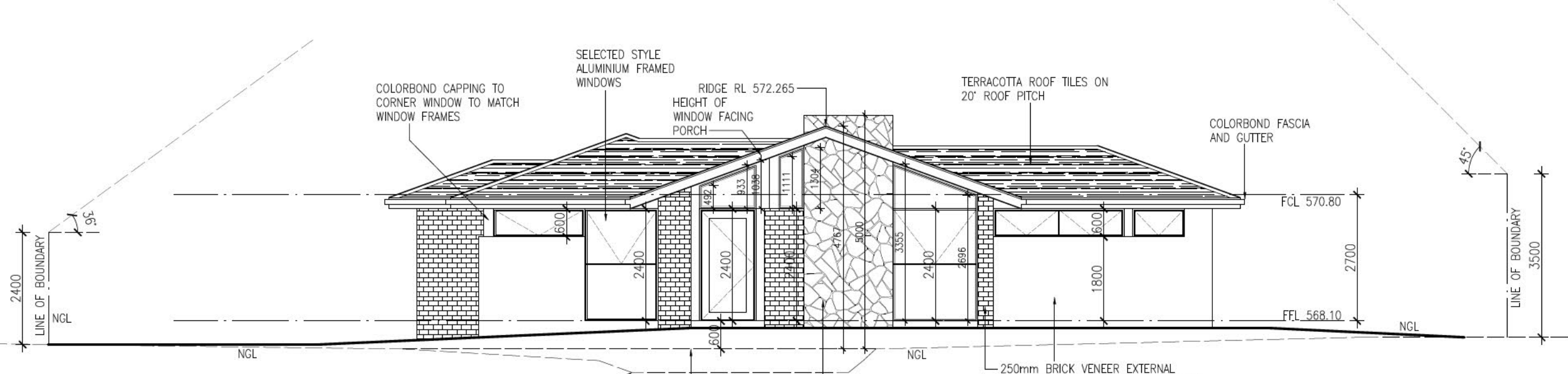
WINDOW MANUFACTURER TO BE DETERMINED AND SPECIFICATIONS SUPPLIED BY BUILDER. (REFER TO ELEVATIONS AND/OR SECTIONS FOR WINDOW PANEL LOCATIONS AND OPENING TYPES)

ENERGY RATING NOTES:
*ALL EXTERNAL WALLS TO HAVE R2.5 INSULATION + R0.5 SISALATION
*ALL EXTERNAL WALLS TO BASMENT RUMPUS THEATRE ROOM TO HAVE R2.5 INSULATION
*R5.0 CEILING INSULATION TO ALL CEILING ROOF AREA
*R2.0 CEILING INSULATION TO GARAGE AND ALL RUMPUS LIVING AREA
*SARKING BELOW ROOF SHEETING
*DOUBLE GLAZING THROUGHOUT
*WEATHER STRIPS TO ALL EXTERNAL DOORS



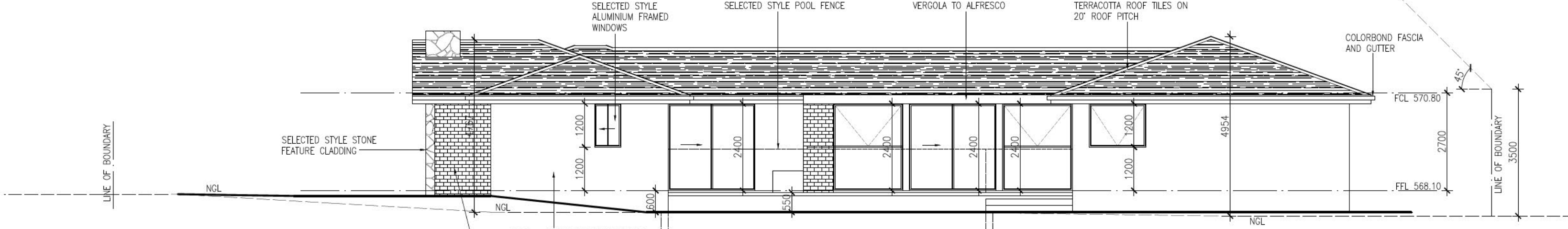
GROUND FLOOR PLAN
Scale 1:100 @ A3

BUILDING ELEMENT	MATERIAL	COLOUR SPEC
ROOF	TERRACOTTA ROOF TILES	
FASCIA & GUTTERS	COLORBOND GUTTERING	BASALT
EXTERNAL WALL TYPE 1- FACE BRICK	FACE BRICKWORK	CANBERRA RED OR SIMILAR
EXTERNAL WALL TYPE 2-RENDER	SMOOTH RENDER	"DULUX" MOUNT BULLER OR SIMILAR
ROCK FEATURE WALL	WEE JASPER- BLU STONE OR SIMILAR	
GARAGE DOOR	PANEL LIFT	BASALT



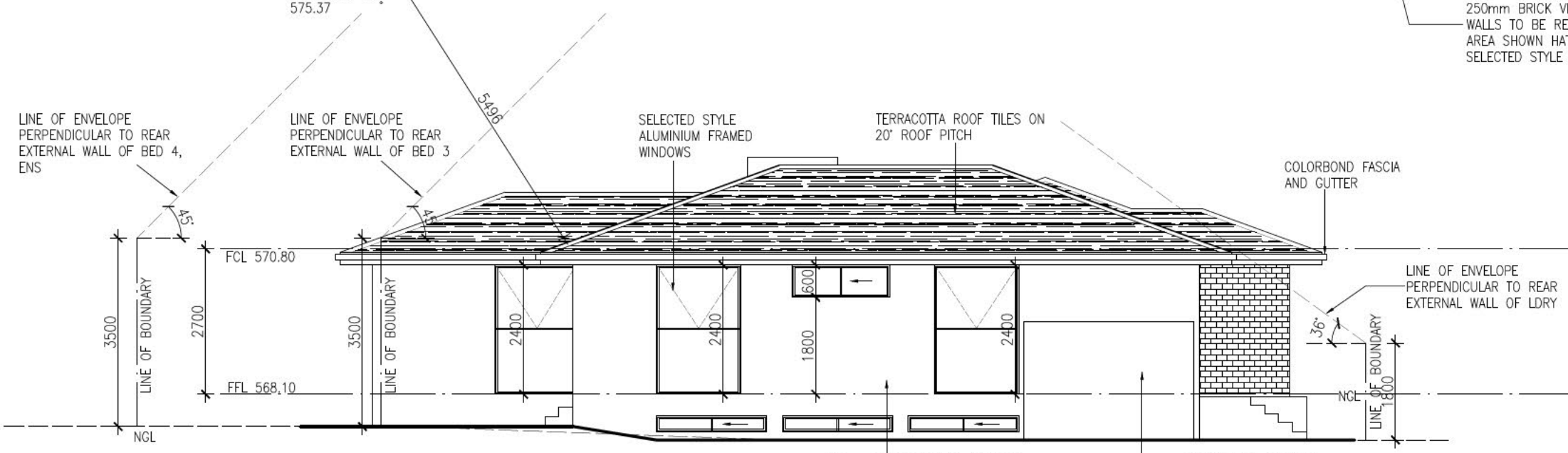
NORTH EAST STREET ELEVATION

Scale 1:100 @ A2



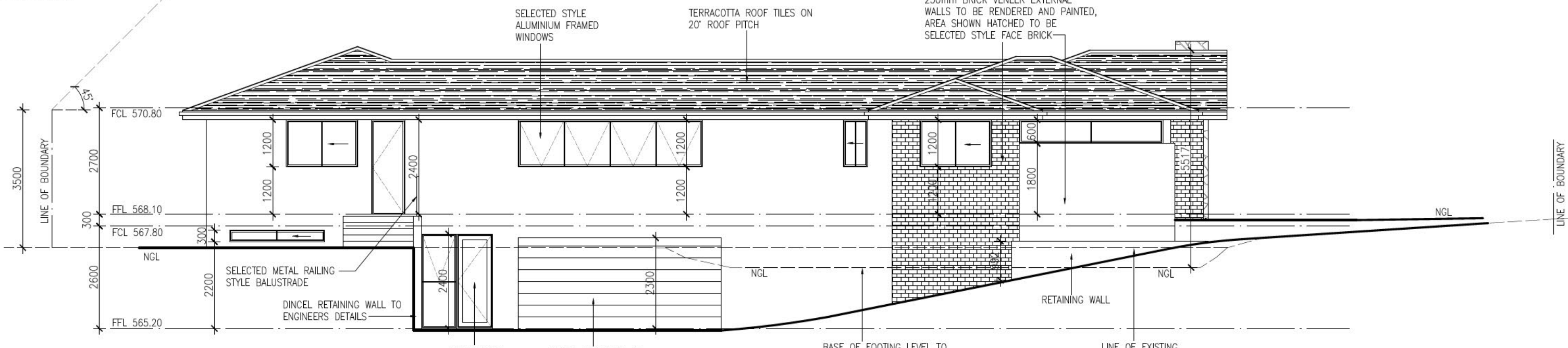
NORTH WEST ELEVATION

Scale 1:100 @ A2



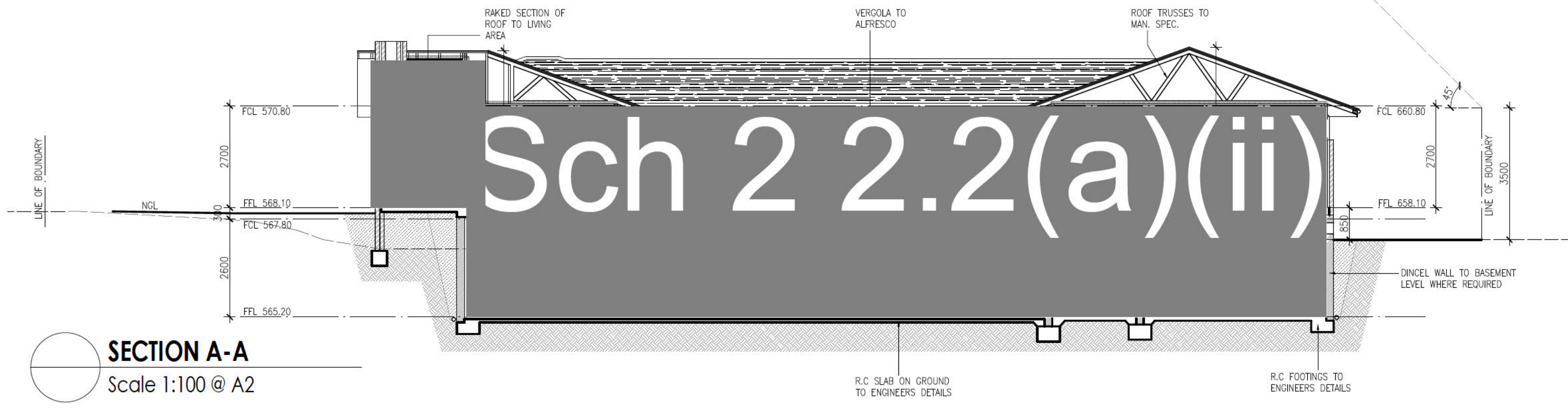
SOUTH WEST ELEVATION

Scale 1:100 @ A2

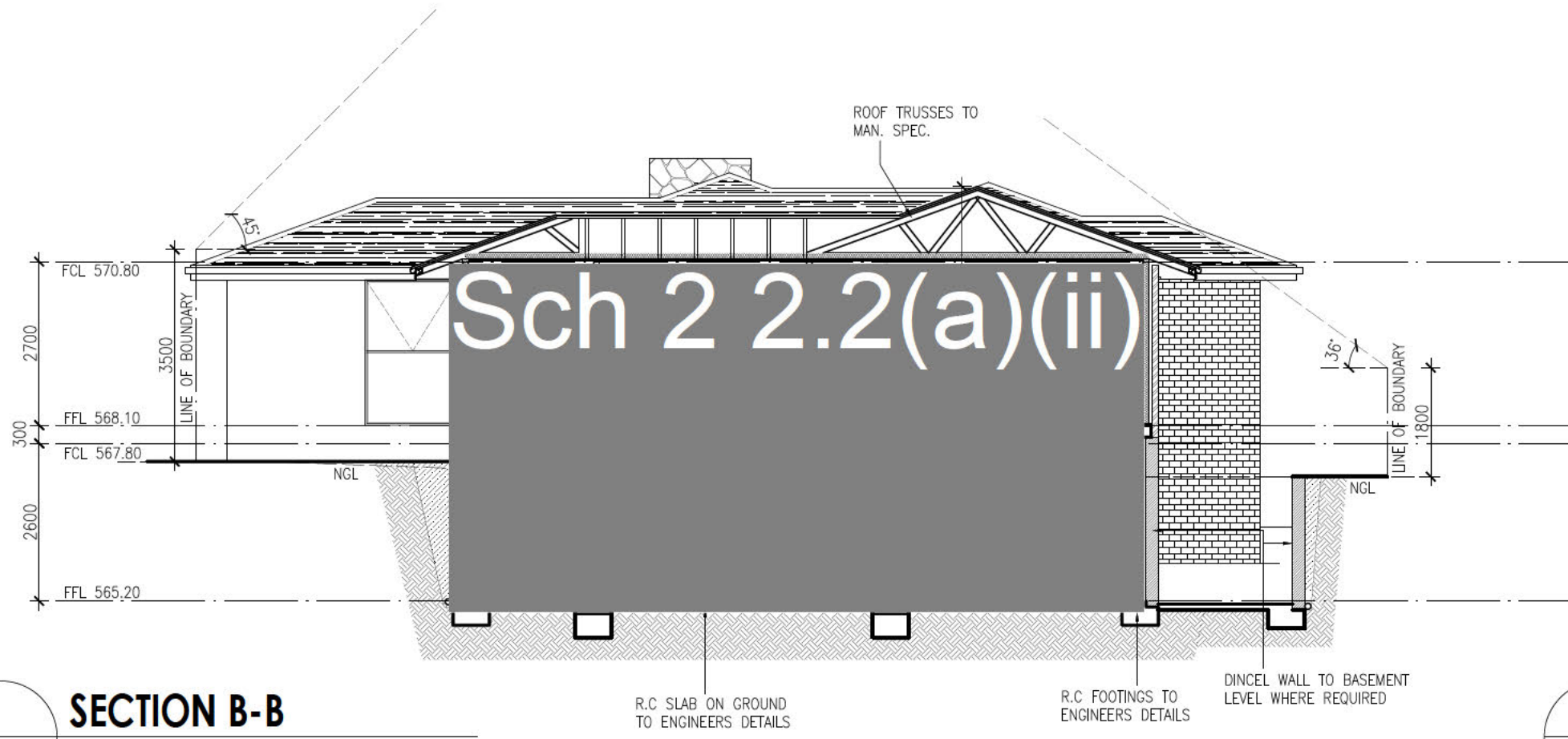


SOUTH EAST ELEVATION

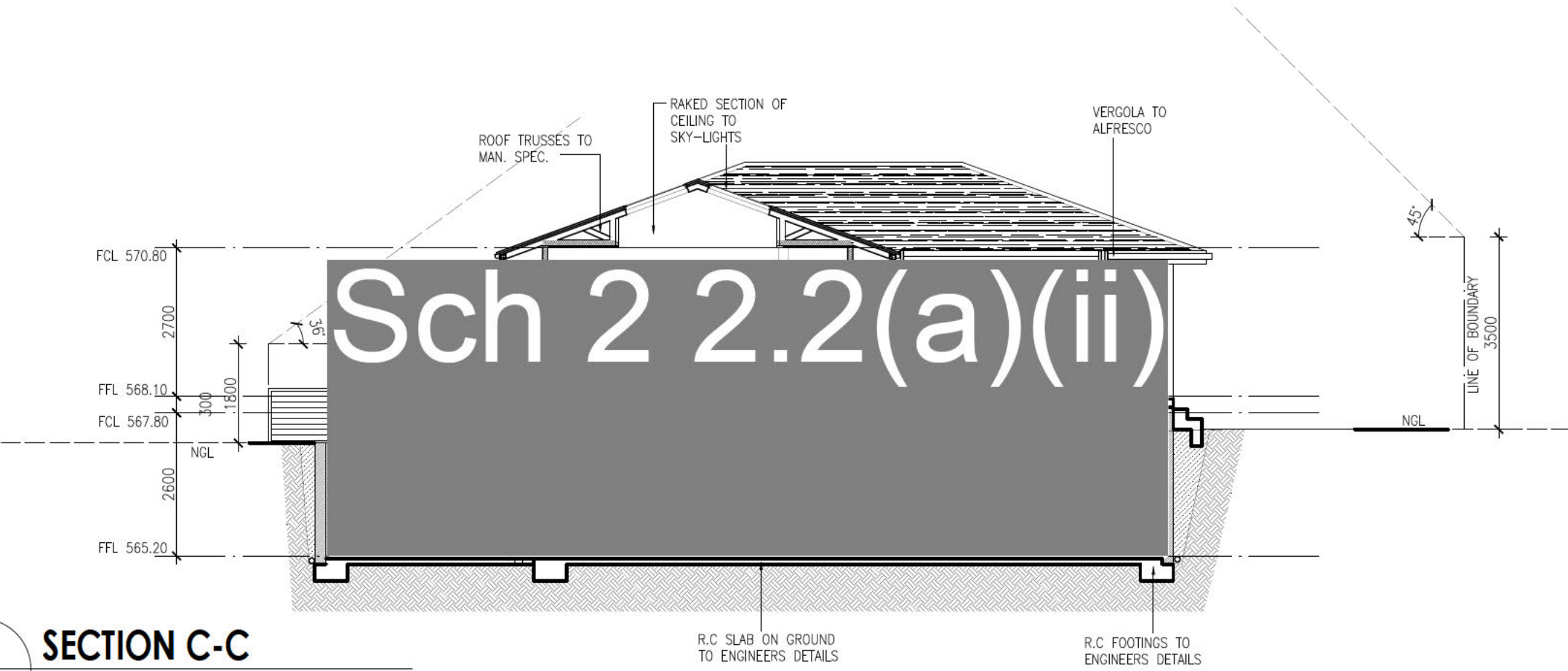
Scale 1:100 @ A2



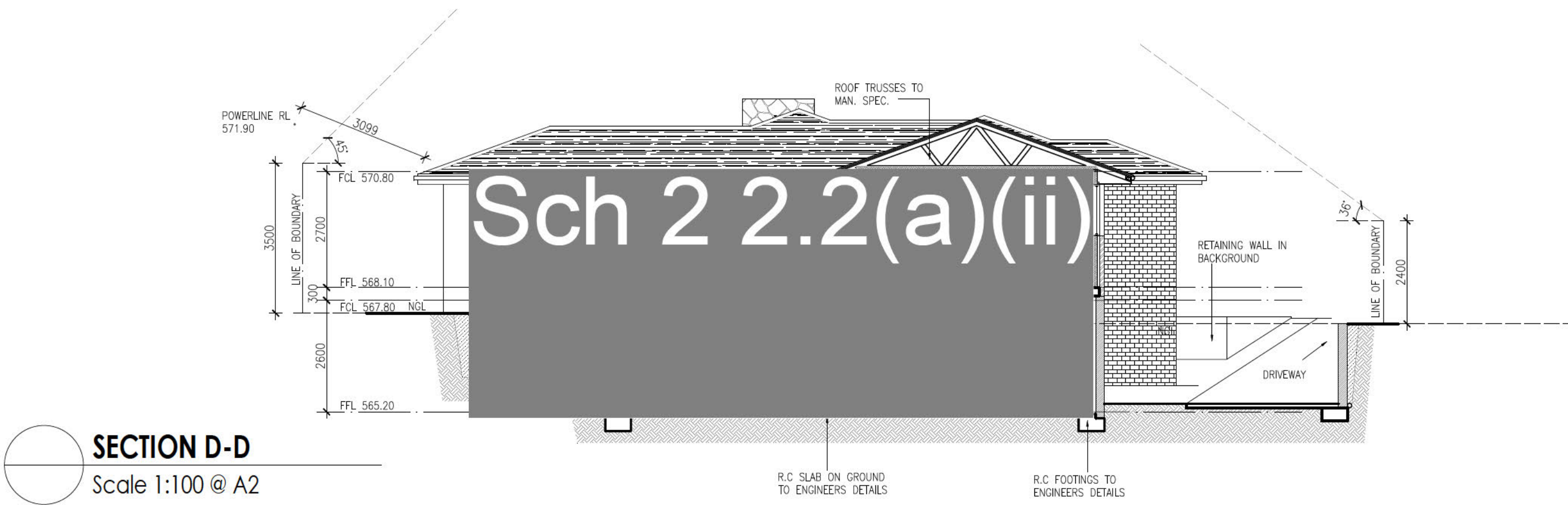
SECTION A-A
Scale 1:100 @ A2



SECTION B-B
Scale 1:100 @ A2



SECTION C-C
Scale 1:100 @ A2



SECTION D-D
Scale 1:100 @ A2



**Energy Efficiency Rating Certificate
for a single dwelling***
*Civil Law (Sale of Residential Property) Act 2003 pt3 and
Civil Law (Sale of Residential Property) Energy Efficiency Rating
Guidelines Determination 2009 (No 2)*



Energy Efficiency Rating determined using a thermal calculation method in accordance with Building Code of Australia
Housing Provisions Verification V2.6.2.1

*Classification of single dwellings in accordance with Building Code of Australia Part 1.3

Property Information

Unit Block 5 Section 28
Street Address [Redacted] Reid ACT 2612
Property Owner Sch 2 2.2(a)(ii)
Owner's Address [Redacted]

Energy Rating Assessor

Name Sch 2 2.2(a)(ii) Company [Redacted]
Address Sch 2 2.2(a)(ii)
Telephone Sch 2 2.2(a)(ii) Email Sch 2 2.2(a)(ii)

House Energy Rating software BERS Pro Plus **Version** 4.3

Star Rating	Floor Area (m ²)		Loads (area adjusted MJ/m ² /annum)		
	Conditioned	Unconditioned	Heat	Cool	Total
6.0	270.1	187.5	137.2	27.3	164.6

Rating Elements

NOTES – 1) All features and specifications must be described where included in the rating eg bulk insulation, plasterboard lined partition walls. Features not included in the premises and/or rating should be marked N/A.
2) Documents from which details of elements have been sourced, eg development approval, specifications, plan; their numbers and dates are to be included below. Where a detail is assumed this must be indicated.

					Reference Doc., No. and date
Roof					
Construction Type	Insulation R Value	Colour - solar absorbance		Drawn by: RJ	
Concrete tiles	sarking	Dark – 0.85		R Inventive Building Design	
Ceilings					Job No: 1809
Construction Type	Insulation R Value	Insulation description		Date: 20.05.19	
Timber	R5.0	Throughout			
Floors					
Construction Type	Insulation R Value	Insulation description			
Concrete slab on ground	N/A	N/A			
Suspended concrete	R2.0	Bulk			
Internal Walls					
Construction Type	Insulation R Value	Insulation description			
Plasterboard on studs	R2.5	Garage internal walls			
External Walls					
Construction Type	Insulation R Value	Colour - solar absorbance			
Brick veneer	R2.5 Bulk + Sisalation	Medium (SA) – 0.5			
Concrete block	R2.5 Bulk + Sisalation	Medium (SA) – 0.5			
Windows					
Glass identification, colour, thickness (mm)*	Frame Material*	Total U value ⁺	SHGC ⁺	Area (m ²)	Total U-value and SHGC assessed for the combined effect of glass and frames as measured by the relevant Australian Fenestration Rating Council (AFRC) protocol.
Double glazed	Aluminium	4.28	0.58	87.3	

Carpets, Internal Window Coverings and Pelmetts (features included in the rating must have a degree of permanency)

Bedrooms, Living, Rumpus, Study – Carpet Entry, Family, Dining, Kitchen, wet areas – Tiles

External Shading (eg pergolas, verandas, louvres, awnings etc)

Eaves and projections as indicated on drawings

Other features assisting in minimising energy usage for heating and cooling, air leakage and infiltration

Orientation (from nominal north)	306
Terrain category	Suburban
Ventilated skylights	0
Seals to windows and doors	Yes
Exhaust fans without dampers	All exh. Fans modelled with dampers
Vented downlights	Sealed downlights

*glass colour, thickness and frame material are not separate factors in the thermal calculation and are listed for additional information.

Signature of Energy Rating Assessor

Sch 2 2.2(a)(ii)

Sch 2 2.2(a)(ii)

Date 20.05.19

ACTmapi

User Input Title

Notes:

1: 2,000



DISCLAIMER

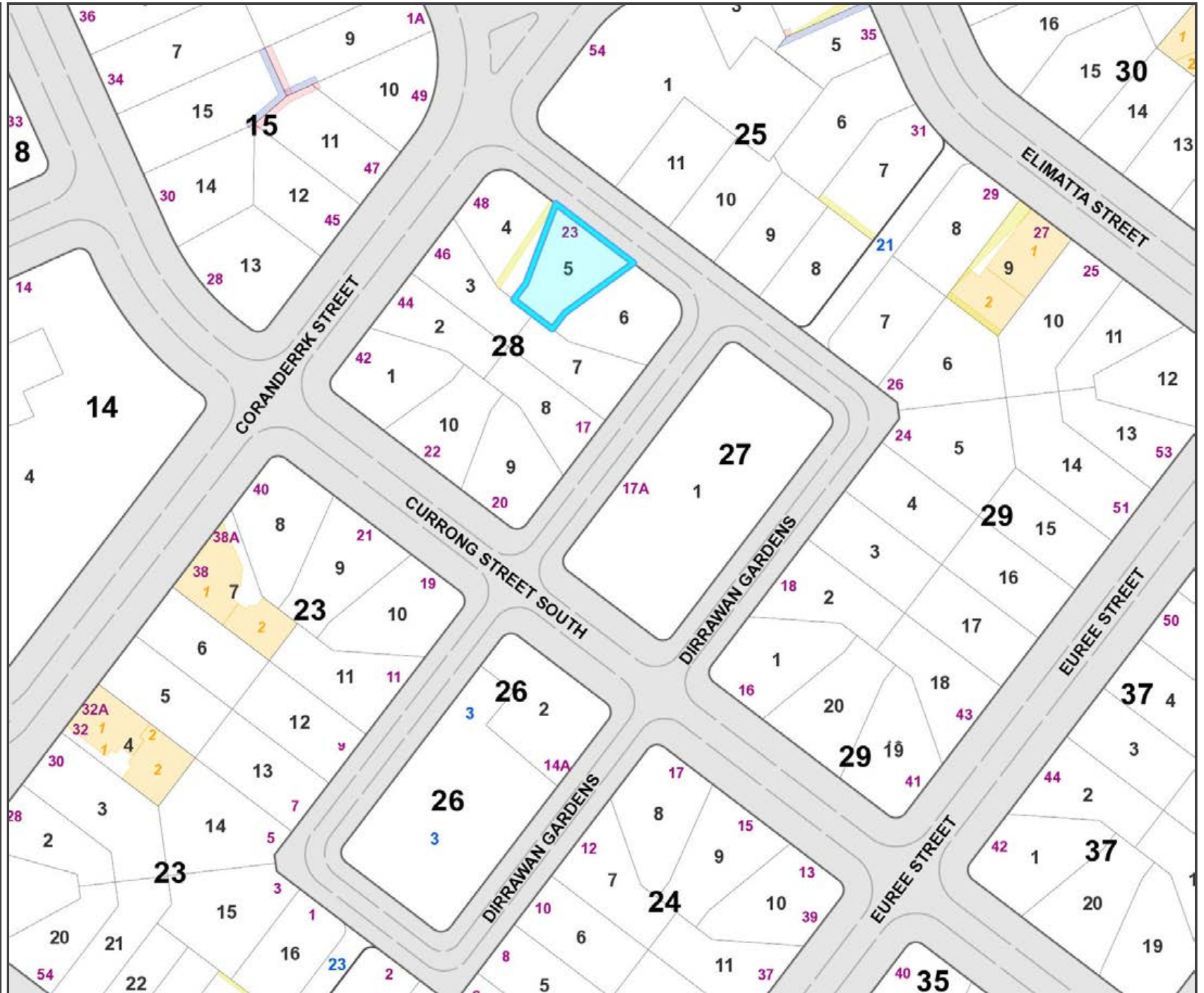
The map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current or otherwise reliable.

24-Apr-2019

Page 1 of 1



ACT
Government



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User Input Title

Notes:

1: 500



DISCLAIMER

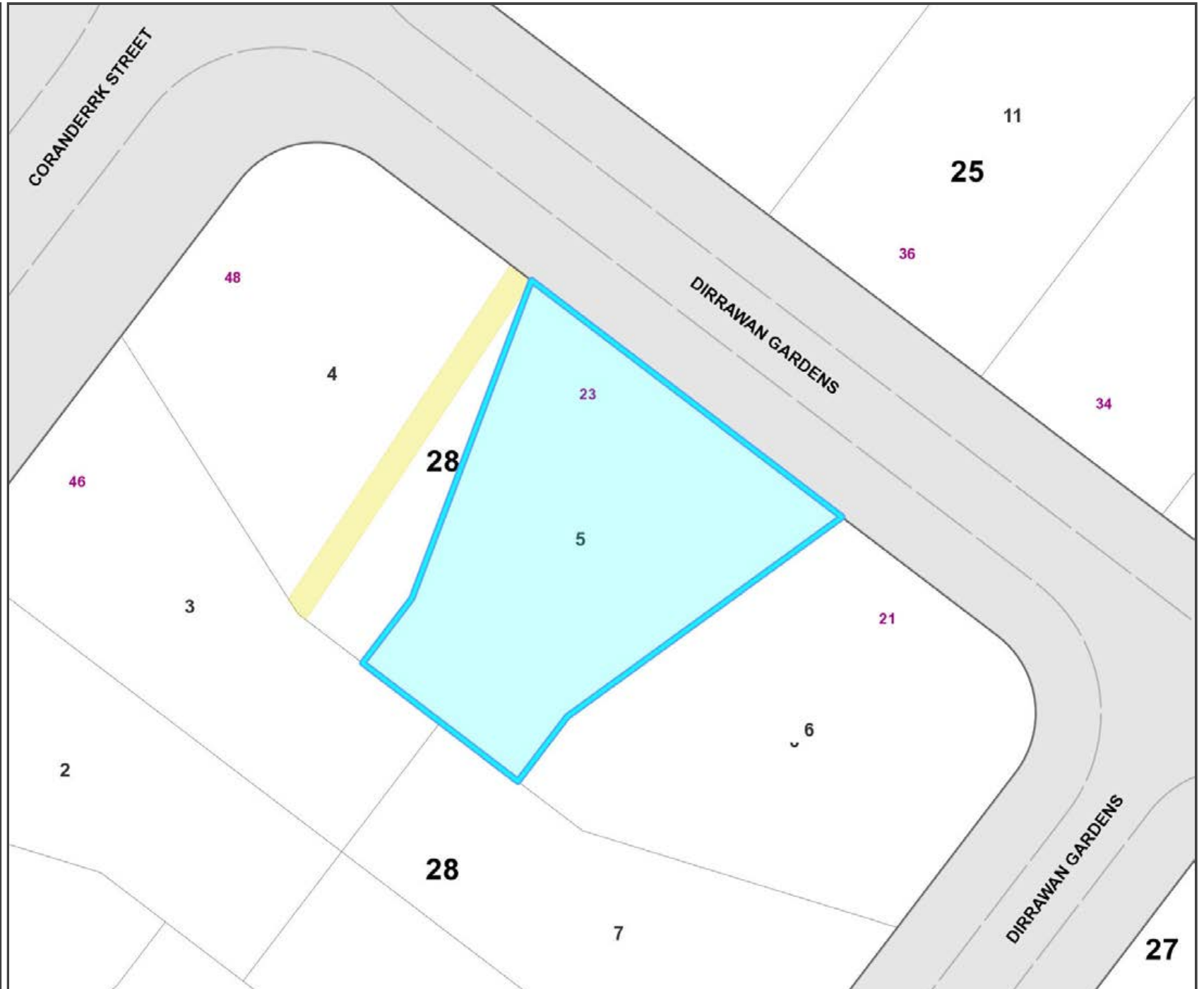
The map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current or otherwise reliable.

24-Apr-2019

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User Input Title

Notes:

1: 500



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24-Apr-2019

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ACT
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District Name **CANBERRA CENTRAL**

Division Name **REID**

Block No. **5**

Section No. **28**

Block Key 11090280005

Life Cycle Stage REGISTERED

Volume and Folio

*Block Derived Area
(m²)* 975

Address



Plan Numbers AP1847, POL167, X7808, DP15

*Territory Plan-
Land Use Zone* RZ1: SUBURBAN

*Territory Plan-
Overlay Zone*

Environment, Planning and Sustainable Development Directorate - Planning

[Home](#) // > [Tools and resources](#) // > [Plans and registers](#) // > [Registers](#) // > [Lease and development conditions register search](#)

Lease and development conditions register search

Sorry, no matches were found containing the information entered.

It is possible that you may not find the lease and development conditions that you are seeking. This may occur as a result of incorrect entry of block and section details, title information, or date. Additionally, it may be possible that the scanned copy of the lease and development conditions is not yet available.

If you have difficulty in locating the information required please **phone (02) 6207 1923** during business hours.

Please to search again.

[re \(https://www.planning.act.gov.au/tools-resources/plans-registers/registers/lease_and_development_conditions_register_search?](https://www.planning.act.gov.au/tools-resources/plans-registers/registers/lease_and_development_conditions_register_search?re)


[t_src=%2BdXJsPWh0dHAIM0EIMkYIMkZhcHBzLmFjdHBsYS5hY3QuZ292LmF1JTJGcGxhbmRldiUyRmUtemVnaXN0ZXJzJTJGbGRjJTJGbGRjU2VhcmNoX25ldy5odG0mYWxsPTE%3D\)](https://www.planning.act.gov.au/tools-resources/plans-registers/registers/lease_and_development_conditions_register_search?re&t_src=%2BdXJsPWh0dHAIM0EIMkYIMkZhcHBzLmFjdHBsYS5hY3QuZ292LmF1JTJGcGxhbmRldiUyRmUtemVnaXN0ZXJzJTJGbGRjJTJGbGRjU2VhcmNoX25ldy5odG0mYWxsPTE%3D)

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Page last updated on 16 January 2019




Status	Place	Location
3	<u>145 Mugga Way, Red Hill</u> (https://www.environment.act.gov.au/data/assets/pdf_file/0006/148479/NI_and_Final_Reg_145_Mugga_Way.pdf) 	Section 32 Block 45

(.)The Causeway and (part) Cunningham Street Southern Road Verge and (part) Block 7, Section 11, Kingston and (part) Block 12, Section 33, Reid

Reid

Status	Place	Location
3	<u>Historic Timber Bus Shelters of the ACT (refer also: Ainslie, Griffith, Forrest, Narrabundah)</u> (http://www.legislation.act.gov.au/nl/2016-270). See 'Ainslie' for Background Information	Class A: Doonkuna St Before Corranderk St

3	<u>Reid Housing Precinct</u> (https://www.environment.act.gov.au/data/assets/pdf_file/0010/148474/462.pdf) 	Section 15 Blocks 1-15, Section 16 Blocks 1-10, Section 17 Blocks 1-10, Section 18 Blocks 1-14, Section 23 Blocks 1-16 & 19-25, Section 24 Blocks 1-22, Section 25 Blocks 1, 3-11, Section 26 Blocks 2 & 3, Section 27 Block 1, Section 28 Blocks 1-10, Section 29 Blocks 1-20, Section 30 Blocks 1-17, Section 31 Blocks 1-17, Section 34 Block 1, Section 35 Blocks 1-16, 19-24, Section 36 Blocks 1-22, Section 37 Blocks 1-20, Section 38 Blocks 1-20, Section 39 Blocks 3 & 5, Section 40 Block 1
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3	<u>Reid Uniting Church (Uniting Church)</u> (https://www.environment.act.gov.au/data/assets/pdf_file/0011/148475/463.pdf) 	Section 25 Block 1
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3	<u>St John the Baptist Church Precinct (St John's Precinct)</u> (https://www.environment.act.gov.au/data/assets/pdf_file/0006/148470/220.pdf) 	Section 33 Block 1 part, Block 2, & Block 10 part
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R2	<i>ANZAC Park and Parade and Memorials (refer also CAMPBELL)</i>	<i>Section 41 Block 1, Section 39 Block</i>
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R1	<u>Allawah and Bega Courts</u> (https://www.environment.act.gov.au/data/assets/pdf_file/0018/157023/218.pdf)  (refer also BRADDON)	Section 7 Block 1
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Status	Place	Location
R1	<u>Allawah and Bega Court Sample Group</u> (http://www.legislation.act.gov.au/ni/2015-156/default.asp), <u>Background information</u> (https://www.environment.act.gov.au/data/assets/pdf_file/0009/717399/Background-Information-Allawah-and-Bega-Court-Sample-Group-ENDORSED-HCM-20150409.pdf) 	Section 7 Block 1
R1	<u>Kanangra Court</u> (http://www.legislation.act.gov.au/ni/2015-157/default.asp), <u>Background information</u> (https://www.environment.act.gov.au/data/assets/pdf_file/0019/717400/Kanangra-Court-Reid-Background-Information-ENDORSED-HCM-20150409.pdf) 	Section 11 Block 1
3	<u>City Railway Remnants</u> (http://www.legislation.act.gov.au/ni/2017-281/), <u>Background information</u> (https://www.environment.act.gov.au/data/assets/pdf_file/0006/1034448/City-Railway-Remnants-Background-Information.pdf) 	The Causeway, Kingston and (part) Block 12, Section 33, Reid
0	Rendezvous Creek	

Status	Place	Location
3	<u>Aboriginal Rock Art Sites (Namadgi National Park)</u> (https://www.environment.act.gov.au/data/assets/pdf_file/0003/148638/465.pdf) 	Part Blocks 3, 14 and 15
3	<u>Orroral Valley Homestead and Ploughlands</u> (https://www.environment.act.gov.au/data/assets/pdf_file/0010/148636/327.pdf) 	Block 8 (part)
3	<u>Orroral Woolshed Precinct</u> (https://www.environment.act.gov.au/data/assets/pdf_file/0007/148642/1461.pdf) 	Block 8 (part)
3	<u>Hospital Creek Hut</u> (https://www.environment.act.gov.au/data/assets/pdf_file/0011/148637/331.pdf) 	Block 3 (part)
3	<u>Rowley's Rendezvous Creek Hut</u> (https://www.environment.act.gov.au/data/assets/pdf_file/0011/148637/331.pdf) 	Block 14 (part)
3	<u>Frank and Jack's Hut</u> (https://www.environment.act.gov.au/data/assets/pdf_file/0011/148637/331.pdf) 	Block 10 (part)
3	<u>ACT-NSW Border Markers</u> (https://www.environment.act.gov.au/data/assets/pdf_file/0004/148639/480.pdf)  (refer also COTTER RIVER)	Block 3 (part)
3	<u>Old Orroral Homestead & Ploughlands</u> (https://www.environment.act.gov.au/data/assets/pdf_file/0005/148640/1031.pdf) 	Block 9 (part)
3	<u>Aboriginal Places in Boboyan and Naas</u> (https://www.environment.act.gov.au/data/assets/pdf_file/0011/148646/1961.pdf) 	Part Blocks 10 and 12
3	<u>Aboriginal Places in southern and remote areas of Namadgi National Park</u> (https://www.environment.act.gov.au/data/assets/pdf_file/0006/148641/1257.pdf) 	Block 1
3	<u>Aboriginal Places on fire trails and containment lines in Namadgi National Park</u> (https://www.environment.act.gov.au/data/assets/pdf_file/0003/148647/2024.pdf) 	Part Blocks 3, 10, 12, 118 and 127
3	<u>Orroral Valley Tracking Station (NASA Ground Station)</u> (http://www.legislation.act.gov.au/ni/2016-74), <u>Background Information</u> (https://www.environment.act.gov.au/data/assets/pdf_file/0003/1274826/Updated-Orroral-Tracking-Station-Background-Information.pdf) 	Block 8



ACTmapi

Registered trees

ACT Registered Trees

Reid
Genus: Platanus
Species: x acerifolia
Tree Reference Number:
PTR086-Group
[More Information](#)

1: 3,000



DISCLAIMER

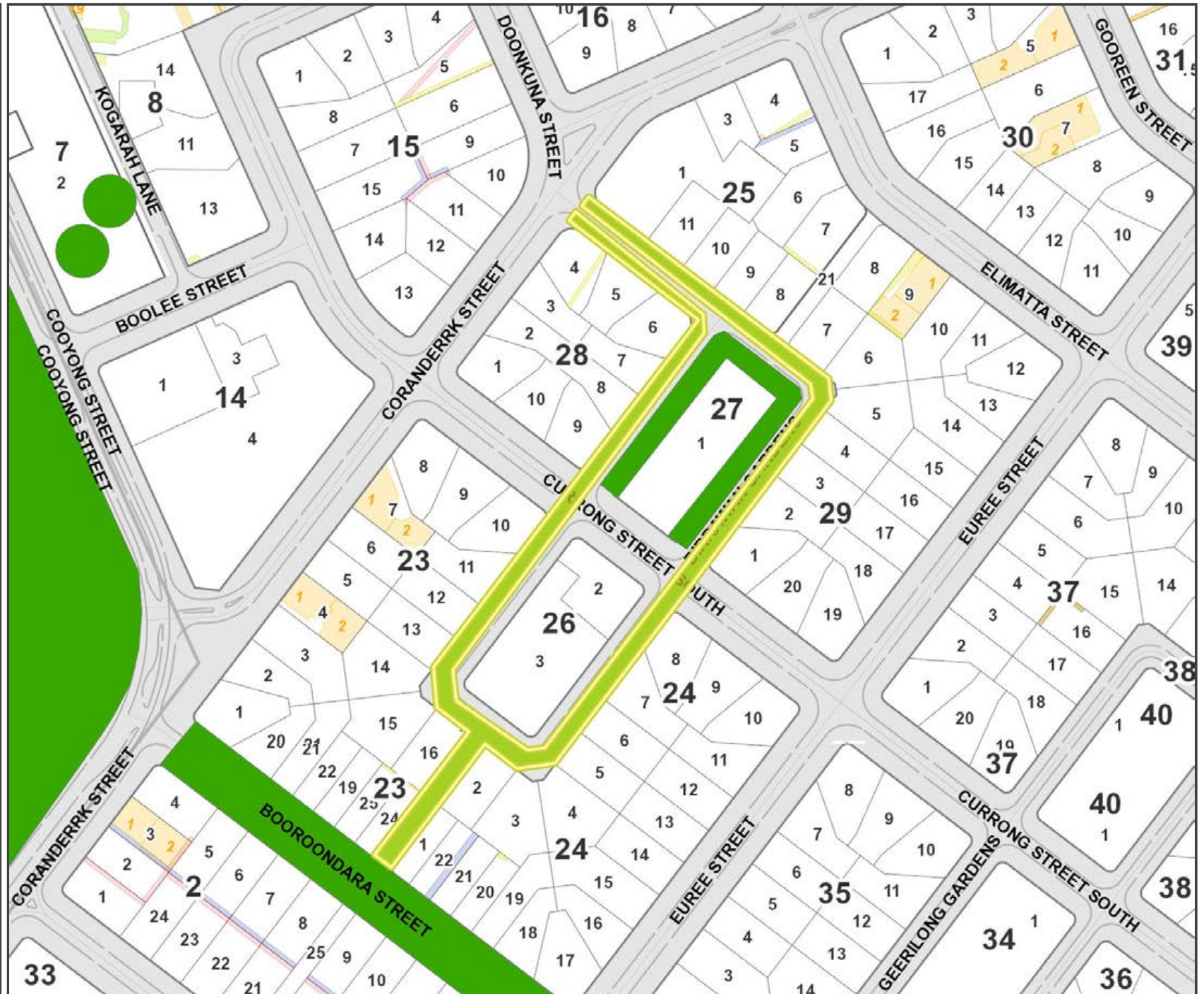
The map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current or otherwise reliable.

24-Apr-2019

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Environment and
Sustainable Development

Reid Precinct Map and Code

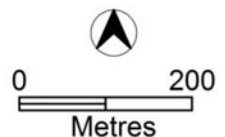
Reid Precinct Map



Additional merit track development applies see Table 2



Additional rules and criteria apply see Reid Precinct Code



CERTIFICATE OF SITE INSPECTION

Name of Lessee/Owner/Builder: Sch 2 2.2(a)(ii)		Lot/Block 5	DP/Section 28
Mobile:		Suburb: Reid	
Home:	Street:		
Description of Building Work (Circle)			
New Residence		Alterations/Additions	
Garage/Carport + alterations		Studio/Dual Occ/Granny Flat	
In investigating the site to determine the site classification, I used the following procedure: existing building records and local knowledge of soil conditions.(Inspection))			
Classification of foundation material – AS 2870 (Circle)			
<u>Foundation</u>		<u>Class</u>	
Most sand and rock site		A	
Most silt and clay site		S	
Moderate reactive clay sites		M	
Highly reactive clay sites		H 1	
Extremely reactive clay sites		E	
<u>Filled Sites</u> <u>Nominate Class</u>			
Problem sites which include soft soil such as soft clays, silts, or loose sands; landslip; mine subsidence; collapsing soil; soil subject to wind erosion		P	
The recommended footing and slab system in accordance with AS 2870 is (footing type as given in AS 2870) satisfying requirements of AS 2870. Should be confirmed at time of excavation and founded on natural soils			
The recommended level of underside of footing below natural ground level (i.e. footing depth). Please check on site. As required by the design with a minimum depth of 0.5 meters.			
DECLARATION			
I declare that I am a competent person with knowledge and experience of site investigation and classification.			
Signature:		Date 1 May 2019	
Name of Classifier: PIERRE DRAGH		Name of Engineer: PIERRE DRAGH	
Address: PIERRE DRAGH CONSULTING ENGINEERS Pty Ltd P.O BOX 336 HALL ACT 2618 pdragh@bigpond.com			
Qualification: MIE AUST, RPEQ	Contact Telephone: Sch 2 2.2(a)(ii)	Facsimile: Sch 2 2.2(a)(ii)	
Issued to: Sch 2 2.2(a)(ii)		Job Number: 5-28 Reid	
Copies to:			