



**ACT**  
Government

Chief Minister, Treasury and  
Economic Development

## Freedom of Information Publication Coversheet

The following information is provided pursuant to section 28 of the *Freedom of Information Act 2016*.

FOI Reference: CMTEDDFOI 2020-059

Information to be published	Status
1. Access application	Published
2. Decision notice	Published
3. Documents and schedule	Published
4. Additional information identified	No
5. Fees	Waived
6. Processing time (in working days)	3
7. Decision made by Ombudsman	N/A
8. Additional information identified by Ombudsman	N/A
9. Decision made by ACAT	N/A
10. Additional information identified by ACAT	N/A

---

**From:** [REDACTED]  
**Sent:** Thursday, 26 March 2020 9:57 AM  
**To:** EPSDFOI  
**Cc:** [REDACTED]  
**Subject:** FW: [REDACTED] Request for Information - Kambah [REDACTED]  
**Attachments:** 20200304 - Letter to Environment, Planning and Sustainable Development Directorate.pdf

Good morning Angelina,  
Thanks for your time on the phone this morning.  
As per our conversation, we are agreeable to reducing the scope of the application to the files you suggested as set out below –

- *The information sought in points (ii) through (ix) is centrally held in particular files. These files would include the Building File, Development Application Files, Land Titles, Territory Lease Files and the Asbestos Response Taskforce Acquisition File. I ask if you would consider your application scope be refined to the documents held in these files.*

I note that you also requested we send an authorisation from our client – we will attend to that shortly.



**From:** EPSDFOI [<mailto:EPSDFOI@act.gov.au>]

**Sent:** Monday, 16 March 2020 12:13 PM

**To:** [REDACTED]

**Subject:** RE: ([REDACTED] Request for Information - Kambah [REDACTED])

UNCLASSIFIED

Good afternoon [REDACTED]

As discussed last Tuesday afternoon, I can confirm the receipt of this application on 4 March 2020, and wish to clarify some items of the application in an effort to expedite processing.

The application is for:

a) **All documents in your possession in relation to:**

(i) 1 Feltus Place, Kambah ACT 2902;

**Including but not limited to:**

(ii) Building records, plans and specifications;

(iii) Building applications and approvals;

(iv) Development applications and approvals;

(v) Records and inspections of the property;

(vi) Photographs of the property;

(vii) Documents relating to any sale or purchase of the property;

(viii) Documents relating to ownership of the property; and

(ix) Other documents and information regarding the property and the constructions materials used.

#### Scope

The application requests **all documents relating to 1 Feltus Place, Kambah**. This is likely to encompass a large volume of documents which simply mention the site (a preliminary search has exceeded 400 documents). All documents relating to 1 Feltus Place would include, for example public notification letters sent to 1 Feltus Place to notify of development applications on adjoining blocks, or simply references to the site in addressing databases, surveys and historical documents such as gazettes for the creation of the block or street.

The information sought in points (ii) through (ix) is centrally held in particular files. These files would include the Building File, Development Application Files, Land Titles, Territory Lease Files and the Asbestos Response Taskforce Acquisition File.

I ask if you would consider your application scope be refined to the documents held in these files.

#### Duplicates, Drafts, Administrative Documents and Publicly Available documents

Please advise if you wish to exclude duplicates, drafts (for example where a final version of a document is available), administrative documents (for example administrative checklists or emails with attachments to be reviewed) or publicly available documents (for example aerial photography of the site is available via [www.actmapi.act.gov.au](http://www.actmapi.act.gov.au))

Authorisation from Client

Please provide authorisation from your client, as confirmation you act on their behalf will allow us to forgo contacting them for third party consultation. Please note other third parties may be contacted if documents may be considered of concern to them in accordance with section 38 of the *Freedom of Information Act 2016* (the Act) Please provide a response as soon as possible to allow us to proceed with your application. Note that processing of the application will be suspended under section 34 of the Act and will resume once we have received your response. On receipt of your response your application will be partially transferred to Chief Minister, Treasury and Economic Development Directorate (CMTEDD) as Building files and Land Titles are records held by their directorate. Please feel free to contact me on 6207 7912 to discuss.

Thank you

**Angelina Aloisi | Freedom of Information and Records Officer**

Information and Knowledge Management

Environment, Planning and Sustainable Development Directorate | ACT Government

Phone: 02 6207 7912 | Email: [Angelina.Aloisi@act.gov.au](mailto:Angelina.Aloisi@act.gov.au)

Level 2, Dame Pattie Menzies House South Building | GPO Box 158 Canberra ACT 2601 |

[www.environment.act.gov.au](http://www.environment.act.gov.au) | [www.planning.act.gov.au](http://www.planning.act.gov.au)

*Please consider the environment before printing this email*

*This email, and any attachments, may contain confidential information. If you are not the intended recipient please notify the sender and delete all copies of this transmission along with any attachments immediately. You should not copy or use it for any purpose, nor disclose its contents to any other person.*

---

**From:** [REDACTED]

**Sent:** Wednesday, 4 March 2020 12:45 PM

**To:** EPSDFOI <[EPSDFOI@act.gov.au](mailto:EPSDFOI@act.gov.au)>



**Cc:** [REDACTED]

**Subject:** ([REDACTED]) Request for Information - Kambah ([REDACTED])

**Importance:** High

Good Afternoon,  
Please see attached correspondence.  
Kind regards,





FOI – Information Management Team  
Environment, Planning and Sustainable Development Directorate  
GPO Box 158  
**CANBERRA ACT 2601**

**By Email only:** [epsdfoi@act.gov.au](mailto:epsdfoi@act.gov.au)

Dear Information Management Team,

**Request for access to documents and information**

The following request for access to information is made pursuant to the *Freedom of Information Act 2016* (ACT).

**1. Background to request**

We advise that we have been instructed to investigate a potential compensation claim for a client who has been diagnosed with a terminal asbestos-related disease, malignant mesothelioma. Unfortunately, she has a very poor prognosis.

Our client instructs us that in or about 1974, she and her husband purchased a residential property in Kambah. Shortly after moving in, the Kambah property had loose fill asbestos insulation installed by Mr Fluffy. In or about 1980 or 1981, an extension/renovation was undertaken for which building applications were lodged.



Our client further instructs that in the late 1980's, she recalls that the Commonwealth Government undertook a removal of the loose fill asbestos insulation.

We note more recently that the Kambah property was acquired under the ACT Government Mr Fluffy buy-back scheme.

**2. Access to documents**

To assist us in our investigations, we kindly request that the Environment, Planning and Sustainable Development Directorate search its records and provide us with copies of the following:

Liability limited by a scheme approved under Professional Standards Legislation.



(a) **All documents in your possession in relation to:**

(i) 1 Feltus Place, Kambah ACT 2902;

**Including but not limited to:**


- (ii) Building records, plans and specifications;
- (iii) Building applications and approvals;
- (iv) Development applications and approvals;
- (v) Records and inspections of the property;
- (vi) Photographs of the property;
- (vii) Documents relating to any sale or purchase of the property;
- (viii) Documents relating to ownership of the property; and
- (ix) Other documents and information regarding the property and the constructions materials used.



**ACT**  
Government

Chief Minister, Treasury and  
Economic Development

Our ref: CMTEDDFOI 2020-059

Your ref: 



## FREEDOM OF INFORMATION REQUEST

I refer to your application under section 30 of the *Freedom of Information Act 2016* (the Act), received by the Chief Minister, Treasury and Economic Development Directorate (CMTEDD) on 26 March 2020, in which you sought access to the building file for 1 Feltus Place Kambah ACT.

On 30 March 2020 you reduced the scope of your request to the asbestos related file only.

On 31 March 2020 you confirmed you are not seeking access to any personal information contained within the requested documents.

### Authority

As an appointed Information Officer under section 18 of the Act, I am authorised to make a decision on access or amendment to government information in the possession or control of CMTEDD.

### Timeframes

In accordance of section 40 of the Act, CMTEDD was required to provide a decision on your access application by 28 April 2020.

### Decision on access

Searches were completed for relevant documents and one building file has been identified that falls within the scope of your request.

I have decided to grant full access to the building file. I have included as **Attachment A** to this decision the schedule of building file. This provides a description of the building file that falls within the scope of your request and the access decision for that building file.

The documents released to you are provided as **Attachment B** to this letter.

## **Charges**

Pursuant to *Freedom of Information (Fees) Determination 2017 (No 2)* processing charges are applicable for this request because the total number of pages to be released to you exceeds the charging threshold of 50 pages. However, the charges have been waived in accordance with section 107(2)(b) of the Act.

## **Online publishing– Disclosure Log**

Under section 28 of the Act, CMTEDD maintains an online record of access applications called a disclosure log. Your original access application, my decision and documents released to you in response to your access application will be published in the CMTEDD disclosure log 3 days after the date of my decision. Your personal contact details will not be published. You may view CMTEDD disclosure log at

<https://www.cmtedd.act.gov.au/functions/foi/disclosure-log-2020>

## **Ombudsman Review**

My decision on your access request is a reviewable decision as identified in Schedule 3 of the Act. You have the right to seek Ombudsman review of this outcome under section 73 of the Act within 20 working days from the day that my decision is published in CMTEDD disclosure log, or a longer period allowed by the Ombudsman.

We recommend using this form [Applying for an Ombudsman Review](#) to ensure you provide all of the required information. Alternatively, you may write to the Ombudsman at:

The ACT Ombudsman  
GPO Box 442  
CANBERRA ACT 2601

Via email: [actfoi@ombudsman.gov.au](mailto:actfoi@ombudsman.gov.au)

## **ACT Civil and Administrative Tribunal (ACAT) Review**

Under section 84 of the Act, if a decision is made under section 82(1) on an Ombudsman review, you may apply to the ACAT for review of the Ombudsman decision. Further information may be obtained from the ACAT at:

ACT Civil and Administrative Tribunal  
Level 4, 1 Moore St  
GPO Box 370  
Canberra City ACT 2601  
Telephone: (02) 6207 1740

<http://www.acat.act.gov.au/>



Should you have any queries in relation to your request please contact me by telephone on 6207 7754 or email [CMTEDDFOI@act.gov.au](mailto:CMTEDDFOI@act.gov.au).

Yours sincerely

A handwritten signature in grey ink, appearing to read 'P. Dachs', is positioned above the typed name.

Philip Dachs  
Information Officer  
Information Access Team  
Chief Minister, Treasury and Economic Development Directorate  
31 March 2020



**ACT**  
Government

Chief Minister, Treasury and  
Economic Development

## FREEDOM OF INFORMATION REQUEST SCHEDULE

WHAT ARE THE PARAMETERS OF THE REQUEST	Reference NO.
Building file Block 14 Section 102 Kambah	CMTEDDFOI2020-059

Ref No	Page number	Description	Date	Status	Reason for Exemption	Online Release Status
1	1-161	Asbestos related building file (out of scope information removed)	Various	Full release	Full	Yes
<b>Total No of Docs</b>						
1						

DEPARTMENT OF THE INTERIOR

BUILDING BRANCH

SECTION 14 SECTION 102 DIVISION KAMBAH



102-Kambah

Asbestos Branch details  
 J J69 File : 89/08568  
 601 14102 0 0  
 1 FELTUS PLACE, KAMBAH

Asbestos removed.

**LOOSE ASBESTOS  
 INSULATION HAS  
 BEEN REMOVED**

Initials and Date	Folio No.	Referred To	(3) Date	(4) Cleared Initials and Date
TO Compliance	26/2	R.S. d. Jones 7/2-		
NCDC WORKS	28/2	AMEND		
S.T.O	4/3	TO 351/80		
Rans.	6/3	N.C. DE		
gc	7/3	TO		
Permit PA	8/3	Rep Ncdc		
ACarter 28/2	11/3	Report		
Kay 9/4	12/3	Permit		
Sunny	12/3	RA		
ACarter 3/5	26/2	R. Hasler 27/2/80		
ACarter 24/5	28/2	STO Final		
ACarter 29/5	31	R990		
ACarter 6/6	13/5	Exit		
Port & shed	27/5	TO 20/1/82		
ACarter 28/6	27/5	N.C. DE		
ACarter 3/7	28/5	S.T.O		
R.I.C. RECORDS	29/5	Report		
S.T.A.	30/5	Permits		
Port & shed	1-8-24	RA		
TO 20/11	405	R. Hasler 4/2/83		
	128	R. Hasler 20/2/83		
	30/7/8	R. Hasler 29.3.83		
		R. Hasler 2/5/83		
		CA Fin 6/5/83		



**RESIDENT  
1 FELTUS PLACE  
KAMBAH ACT 2902**

Dear Resident

### **Loose-Fill Asbestos Insulation**

I am writing to you because our records show that asbestos insulation was removed from your residence in the Loose-Fill Asbestos Insulation Removal Program ('the Program') that operated from 1988-93. Friable asbestos products such as this insulation are dangerous if disturbed because the asbestos fibres can become airborne very easily, and may be inhaled by people living or working in the vicinity.

The purpose of this letter is to remind you that your home was part of the Program. This means that certain precautions should be taken when undertaking work on your house.

The Program aimed to remove *visible and accessible* asbestos insulation. It was not designed to remove all of the asbestos insulation. It is likely that some asbestos insulation material remains in these homes, including in places such as internal and external wall cavities, subfloor spaces and underneath cornices.

While loose-fill asbestos insulation in wall cavities is unlikely to present a risk if left undisturbed, precautions should be exercised to avoid the risk of exposure when undertaking even minor renovations, alterations or repairs within the house e.g. replacing power-points, cabling, removing wall heaters and disturbing walls in any way.

Because of the potential dangers of this form of asbestos, I recommend that you engage the services of a licensed Asbestos Assessor to obtain an Asbestos Assessment Report. Licensed Asbestos Assessors can provide you with an assessment and ongoing management plan for any forms of asbestos in your home. This is particularly important if you intend to undertake renovations, maintenance work or accessing sub-floor areas (e.g. for storage). In obtaining a report you should advise the Assessor that your home was part of the Program.

Areas where it is possible that the Assessor may find asbestos fibres from the insulation include:

- the underside and laps of tiles;
- tile battens;
- structural timbers;
- the subfloor;
- wall cavities (internal and external); and
- behind cornices.

Further, if you are considering maintenance, alterations, extensions or renovations, you should advise any persons you may arrange to do the work, such as tradespeople, that your house was part of the Program and that there are likely to be asbestos fibres present. You must also provide them with a copy of any Asbestos Assessment Report. Only a licensed Asbestos Removalist should be engaged to undertake the removal of any asbestos.

A list of licensed Asbestos Assessors and Removalists can be found on the Environment and Sustainable Development Directorate (ESDD) website at the following web address [www.actpla.act.gov.au](http://www.actpla.act.gov.au). (Only the assessors and removalists on this list are licensed in the ACT.)

It is important to note that Building Reports should **not** be relied on to provide information about whether there is asbestos in properties. Only licensed Asbestos Assessors are permitted to provide advice on the presence of asbestos or asbestos containing materials.

Finally, please note that homes built before 1990 are also likely to have other materials present which contain asbestos in them. The Program was limited to the removal of visible and accessible loose-fill asbestos insulation and did not extend beyond that. I am enclosing three fact sheets on loose-fill asbestos insulation in the ACT which are currently available on the ACT Government asbestos website [www.asbestos.act.gov.au](http://www.asbestos.act.gov.au). This website provides a broad range of information relating to asbestos, asbestos containing materials and the management of this substance.

If you wish to discuss any of the aspects relating to loose-fill asbestos, you can contact Canberra Connect on 13 22 81. Canberra Connects operating hours are:

Monday to Friday:	7am to 8pm
Saturday:	8am to 5pm
Sunday:	9am to 5pm

Alternatively, there is an online form available at [www.act.gov.au/loosefillasbestosinsulation](http://www.act.gov.au/loosefillasbestosinsulation). If you do not have access to the internet, a Canberra Connect operator will assist you to complete the form. A response to your enquiry will be provided as soon as possible.

If this property is rented out, please ensure the owner, through your managing agent is aware of the contents of this letter.

Yours sincerely



Mark McCabe  
ACT Work Safety Commissioner  
18 February 2014



## Katy Gallagher MLA

CHIEF MINISTER

MINISTER FOR HEALTH

MINISTER FOR HIGHER EDUCATION

MINISTER FOR REGIONAL DEVELOPMENT

MEMBER FOR MOLONGLO

Out of scope

1 Feltus Pl

Kambah ACT 2902

This document was placed on this file by the

Asbestos Response Taskforce on 05/10/2017

Dear Homeowners

It has now been a week since you would have received the detailed information packs about the ACT Government's buyback and demolition scheme for Mr Fluffy houses.

The taskforce has received a large number of opt-in forms for the buyback and a number of people have written to me explaining they are pleased to have a solution and a way to move on.

For others I am aware that this has been an incredibly difficult time, working through the detail and considering your individual circumstances. I don't underestimate for a moment the difficulty of contemplating leaving the family home and I know some people see the idea of demolition as unnecessary. Let me assure you this decision was not taken lightly, but with the weight of evidence and expert opinion it is clear that the only way to remove the risks of Mr Fluffy once and for all – for homeowners, residents, their friends and families and for tradespeople, carers and others who might visit the property – is to demolish the houses and remediate the land.

For those who disagree with the approach of the buyback scheme, I acknowledge that it does not offer everyone everything they want, but I must stress that to attempt to do so would make addressing this problem financially impossible. The ACT Government is seeking to put an end to a long and sad chapter in Canberra's history. We did not know about the seriousness of this problem prior to this year and we have acted quickly as our knowledge has grown.

In setting the government's offer at market value which ignores the presence of Mr Fluffy asbestos and supplementing this through the stamp duty waiver, relocation assistance grant, payment for legal advice and ongoing personal support, we believe we are offering a fair way forward. This offer is more than the property would be worth on the open market and equal to the value of a comparable asbestos-free home. The government will not profit from this scheme in any way as we will absorb the costs of demolition, disposal and block remediation. In fact there will be a net cost to the ACT of more than \$300 million.

ACT LEGISLATIVE ASSEMBLY

London Circuit, Canberra ACT 2601 GPO Box 1020, Canberra ACT 2601  
Phone: (02) 6205 0840 Fax: (02) 6205 3030 Email: [gallagher@act.gov.au](mailto:gallagher@act.gov.au)  
Facebook: [KatyGallagherMLA](https://www.facebook.com/KatyGallagherMLA) Twitter: [@katyGMLA](https://twitter.com/katyGMLA)



I appreciate that some people still have questions they want answered and the attachment to this letter seeks to respond to the concerns we are hearing from some homeowners. The personal support team in the taskforce is increasing in size and we are making arrangements to offer face-to-face appointments closer to peoples' homes. We are also working with banks, insurers, utilities, telecommunications providers and local businesses, many of whom have indicated their willingness to work with us in supporting Mr Fluffy owners and residents.

Yours sincerely

Katy Gallagher MLA



**ACT**  
Government

**Asbestos Response  
Taskforce**

## **Response to concerns around the buyback**

### **Profiteering**

The ACT Government will not profit in any way from the buyback, demolition and re-sale process. Despite the loan from the Commonwealth, and even after the resale of remediated blocks, the cost of the program is estimated to be at least \$300 million.

Costs the government is absorbing include: asbestos assessments, valuations, buyback, maintenance, demolition, disposal, block remediation, relocation assistance, stamp duty waivers and legal advice.

### **Valuation fairness and timing**

Each element of the valuation process is aimed at ensuring fairness and consistency for all homeowners and reflects clear advice to the government:

- a valuation which ignores the presence of loose fill asbestos and minor maintenance issues (this would not be the case under a compulsory acquisition process)
- a process run independent of government and administered by the Australian Property Institute
- use of a single date (28 October 2014) for all valuations to provide consistency, avoid speculation and encourage timely sale of houses so they can be demolished.

### **Timing for relocation**

All homeowners do not need to vacate their homes by 30 June 2015. This is only the date at which homeowners need to register their interest in participating in the program.

The taskforce will be able to delay settlement, and therefore relocation, beyond that date.

The taskforce will work with residents who wish to stay in their homes in the medium term – up to around 5 years – if appropriate precautions are taken. However the expert advice is that where possible people should leave sooner than that and there are already some difficulties in owners getting reliable access to trades and other services in Mr Fluffy homes.

### **Timing of demolition**

The government will roll out the demolition program in the most efficient and least disruptive way possible once it has acquired properties under the buyback offer.

### **Market impact**

Flexibility in the timing of settlements will mean those purchasing new homes will not enter the property market all at once but will do so progressively over the next few years. The repurchasing of blocks will also be staggered over time.

The government's advice is that the ACT property market is able to accommodate this activity without major impacts and the government's Land Development Agency is also able to respond as appropriate to demand through its land release program.



### **Stamp duty waivers**

A common question from homeowners has been whether they can receive the stamp duty waiver if they purchase a new property (after 28 October 2014) before the buyback process is complete.

The government has agreed to this arrangement within the existing parameters and will refund the lower of either the stamp duty payable on the buyback price or that paid on the purchase of the new house.

### **Compulsory acquisition**

The buyback scheme is voluntary and seeks to avoid the process of compulsory acquisition for a number of key reasons:

- the value paid under compulsory acquisition would take account of the presence of asbestos contamination
- a compulsory acquisition process would take far more time and administration than the lease surrender process which is proposed
- the government is assisting homeowners and residents to relocate through the \$10,000 relocation assistance grant and stamp duty waiver.

The taskforce recommends that anyone contemplating rejecting the buyback offer due to recent media reporting seek independent legal advice before making a decision in relation to their home.

### **Clearing of blocks**

The clearing of blocks will be evidence-based. Testing during the remediation process will determine the depth and area of soil/yard which needs to be removed. The government's expectations about the future treatment and resale of the block – including whether the original owner/s intends to repurchase – will also be considered.

### **Future treatment and resale of blocks**

The government has made the decision to resell blocks at the (remediated) market value in order to recoup some of the costs of the buyback and demolition program. As with all land released by the Land Development Agency these blocks will be valued at the date of release. Where suitable, the blocks will be sold with the option for new forms of development – e.g. unit-titled dual occupancy.

Owners wishing to return to their block will have the first right of refusal (off market) on the remediated block at market value, combined with the stamp duty waiver. They will also have the additional development options which the LDA would include when putting the property to market. Eligible purchasers will have access to the ACT's land rent scheme and each block will be issued a new 99-year Crown Lease, clear of all history of Mr Fluffy.



**ACT**  
Government

**Asbestos Response  
Taskforce**

Objective Reference: A13464851

## **Affected Residential Premises – *Dangerous Substances Act 2004***

This property was included on the Affected Residential Premises Register (the Register) that was created on 29 June 2015 under section 47N of the *Dangerous Substances Act 2004*.

---

To remove the property from the Register the following documents must be provided to the Register Delegate requesting that the property be removed from the Affected Residential Premises Register:

- The post-demolition **asbestos removal clearance certificates** prepared by a licensed asbestos assessor
- A **site soil validation report**, using the site soil validation report template (attached); and
- A **Certificate of Completion (of Demolition)** –issued by the Construction Occupations Registrar

The Register Delegate will examine this information and once satisfied that the requirements for deregistration have been met, the Delegate will issue a **Deregistration Statement** and provide a copy of this to the owner, the Chief Planning Executive, the Registrar-General, the Commissioner of the ACT Revenue Office and the ACT Valuation Office.

Andrew Kefford PSM

Head – Asbestos Response Taskforce

Date 29/5/2017

ACT Government, Asbestos Response Taskforce  
Level 2, 221 London Circuit, Canberra City

GPO Box 158 Canberra ACT 2601 | phone: 132281 | www.act.gov.au

Site Soil Validation Report – Template

blue text to be updated and deleted

[Insert company logo/header here]

## Loose Fill Asbestos Site Soil Validation Report

[Division, Block, Section

and street address]

Prepared by: [contractor]

For

**ACT Asbestos Response Taskforce**

### Introduction

This report contains the results of an investigation and remediation of asbestos fibres in soil of the demolition work area of a property which is a registered loose fill asbestos affected property.

The Australian Capital Territory ('Territory) has acquired a number of properties affected with loose fill asbestos insulation (comprising mainly amosite and some crocidolite asbestos) and is carrying out remediation of the demolition work area of the properties to ensure that the land is suitable for future residential reuse.

We were engaged by the Territory to provide sampling to validate the remediation of asbestos fibres in soil within the demolition work area for the sole purpose of assisting the Territory with its pre-development investigations in land identified for release for future residential reuse following completion of preliminary works by others, namely:

- . demolition of the house by a principal contractor, including a scrape of affected soil;
- . clearance of the site as free of visible asbestos by a licensed asbestos assessor; and
- . definition of the demolition work area by a licensed asbestos assessor.

The demolition work area is the area to which the asbestos removal clearance certificate applies and is defined by the licensed asbestos assessor. It generally comprises the original pre-demolition structure footprint of the affected premises, the decontamination unit and asbestos waste skip handling area, and the soil disturbance work area of the demolition contractor. It excludes the remainder of the property including earthworks outside of the demolition work area where other non-affected structures have been removed or landscaping work carried out. The licensed asbestos assessor prepared a simple plan of the demolition work area for later sampling of soil by the [contractor] soil validator.

Prior to sampling of soil in the demolition work area (refer to the methodology used for the sampling of soils described below), [contractor] met on the site with the principal contractor [name], who

identified the extent of the demolition work area (as defined by the licensed asbestos assessor). The confirmed demolition work area for soil sampling is illustrated in Attachment [].

The scope of work was performed solely for the Territory and specifically targeted loose fill asbestos insulation (comprising mainly amosite and some crocidolite fibres). Any other forms of contaminants on site (e.g. lead, bonded asbestos) were not assessed. This report (including the conclusions and recommendations it contains) is prepared solely for use by the Territory and may not be used or relied upon by any other party. Any other party must make its own inquiries and obtain independent advice.

We have assumed the accuracy and completeness of all information provided to it by the principal contractor and licensed asbestos assessor, and the integrity of the clearance certificate provided as Attachment [].

The asbestos fibre in soil investigation was done in accordance with the Asbestos Response Taskforce Information sheet - Soil Validation Process (dated 10 November 2015), the ACT Government-endorsed *National Environment Protection (Assessment of Site Contamination) Measure 1999 (as amended 2013)* (the NEPM ASC) and the 'Guidelines for the Assessment, Remediation and Management of Asbestos- Contaminated Sites in Western Australia (May 2009)' (the WA Guidelines).

The investigation was undertaken after all visible loose fill asbestos and any other visible asbestos containing materials had been removed from the demolition work area, including a scrape of affected soil from the demolition work area, and a post demolition asbestos removal clearance certificate was issued by licensed asbestos assessor [Name] of [company name][licence number].

### Site Identification and Soil Condition of Demolition Work Area

[Outline the division, block and section number, block size, size of demolition work area as defined by licensed asbestos assessor and any relevant site features (ie house/shed etc)]

[Sentence about soil type and condition observed at the site demolition work area prior to soil sampling. Note: soil should be moist during sampling.]

### Site Demolition Work Area and Sampling Plan

[Insert a demolition work area plan prepared by the licensed asbestos assessor that clearly delineates the demolition work area, with overlaid and numbered soil validation sampling points]

### Soil Sampling Methodology At Demolition Work Area

We attended the site on [date] after the principal contractor confirmed the completion of demolition work and site clearance by the licensed asbestos assessor.

[Insert a description of the soil sampling methodology]

[Note: Sampling of soil should be as per the WA Guidelines at a minimum rate indicated in the table below]

Location	Sample Rate	Analysis
Demolition work area	Twice the minimum density as per table in Appendix A of WA Guidelines#	Amosite, crocidolite, chrysotile fibres@

[@Chrysotile fibres are not in loose fill asbestos insulation. However, they may be present as a contaminant in the residential soil or as a result of demolition. Whilst this report validates the remediation of the site primarily with respect to amosite or crocidolite loose fill asbestos, this report also contains information on any action taken with respect to chrysotile asbestos fibres.]

## Soil Validation Results

The following soil validation sample results were returned from the NATA accredited laboratory, with the laboratory certificate provided at Attachment [ ].

Sample No. /Grid location	Result/asbestos fibre type	Comments
X/Y	Detect/non detect; fibre type	e.g. Remove soil in immediate vicinity of sample point out to clean sample grid square

## Analytical Procedures

Asbestos in soil analysis was carried out in accordance with the WA Guidelines and the 'Australian Standard for the Qualitative Identification of Asbestos in Bulk Samples' (AS4964-2004).

*[Notes: Please report as asbestos detect/ non detect; analytical and quality control procedures as per AS4964-2004]*

## Hot Spot Treatment

*[Please detail any hot spot treatment applied by the principal contractor, if any was required. This may be an iterative process until asbestos fibres are no longer detected in the soil at a particular sampling point. [e.g. The contractor was advised to remove soil in the near vicinity of each sampling point where amosite, crocidolite and/or chrysotile asbestos fibres were found in a sample out to the next clean sample grid square. ]*

*[Note: Soil removal is 'asbestos-related work' and normally does not require a licensed asbestos removalist or another clearance certificate issued unless the soil validator detects highly contaminated soil. Soil should always be removed in damp condition.]*

## Recommendation for Residential Reuse [please do not delete this text. This paragraph must remain on the same page as the signature block]

The asbestos in soil investigation and remediation work to address potential impact of asbestos fibres in the demolition work area of a former house affected by loose fill asbestos at [division, block, section and street address] has been completed as detailed in this report, in accordance with the NEPM ASC and the WA Guidelines. On that basis, I recommend to the Territory that the demolition work area of this property is suitable for residential reuse with respect to asbestos fibres.

**For and on behalf of [company]:**

[Signature]

Print Name

Australian Capital Territory

Panel of Suppliers to Provide Environmental Specialist Advisory Services

Tender NO: 22652 110

Panel Contract NO: XXXXXX

Or

Licensed Asbestos Assessor Licence Number: XXXXXX

Date: [day month year]

**Attachments**

[Laboratory reports, demolition work area and sample plan, photographs]

This document was placed on this file by the  
Asbestos Response Taskforce on 05/10/2017



## Loose Fill Asbestos – Site Soil Validation Report

Kambah, Block 14, Section 102:  
1 Feltus Place ACT 2902, Australia

Prepared by: WSP Environmental Pty Ltd (WSP) trading as WSP | Parsons  
Brinckerhoff

For

ACT Asbestos Response Taskforce

### Introduction

The Australian Capital Territory ('Territory') has acquired a number of properties affected with loose fill asbestos insulation (comprising mainly amosite and some crocidolite asbestos). The Territory is carrying out demolition and remediation of the properties to ensure that the land is suitable for future residential reuse.

This report pertains to the validation of the 'demolition works area' at 1 Feltus Place, (Block 14, Section 102), Kambah, which is a Territory registered loose fill asbestos affected property.

WSP was engaged to validate the remediation of asbestos fibres in soil within the demolition work area following completion of preliminary works (by others):

- Demolition of the house by a Principal Contractor, including scrape of affected soil (Calyamax Demolitions).
- Clearance of the Site as free of visible asbestos by a Licenced Asbestos Assessor (JMB Environmental Consulting). The clearance certificate is provided as **Attachment A**.
- Definition of the 'demolition works area' by the Licenced Asbestos Assessor (JMB Environmental Consulting).

The scope of work specifically targeted loose fill asbestos insulation (comprising mainly amosite and some crocidolite fibres). Any other forms of contaminants on the site (e.g. lead, bonded asbestos) were not assessed.

The demolition work area generally comprises the original pre-demolition structure footprint; and the decontamination unit, asbestos waste skip handling area and soil disturbance work area of the Principal Contractor. It excludes the remainder of the property or Principal Contractor earthworks areas not affected by loose fill asbestos fibres, such as where other non-affected structures have been removed or landscaping work carried out.

This report summarises the preliminary work completed by others and describes the asbestos fibre in soil investigation that has been carried out by WSP in accordance with the Statement of Requirements, the ACT Government-endorsed *National Environment Protection (Assessment of Site Contamination) Measure 1999 (as amended 2013)* (the NEPM ASC) and the 'Guidelines for the Assessment, Remediation and Management of Asbestos- Contaminated Sites in Western Australia (May 2009)' (the WA Guidelines).

## Site Identification & Soil Condition

The site may be identified according to the following parameters:

Parameter	Details	Parameter	Details
Division	Kambah	Block Size / Area	928 m <sup>2</sup>
Block	14	Demolition Work Area	399 m <sup>2</sup>
Section Number	102	Original Site Features	Single storey dwelling

The post-demolition and post-remediation surface site conditions were observed by WSP to feature occasional rocks, pockets of gravel, and plant matter however no suspected friable asbestos containing materials (ACM) were observed either at the surface or during sampling.

After the 100mm remedial soil 'scrape' had been completed within the former building footprint, underlying exposed soils were observed during WSP's sampling to typically comprise Brown Clay Sand with traces of gravel.

## Site Demolition Work Area and Sampling Plan

A site drawing showing the site property boundary, demolition work area (as identified by the licenced asbestos assessor) and validation sample points is provided as Figure 1 in Attachment B.

## Sampling Methodology

WSP attended the site on 6 May 2016 after the Principal Contractor (Calyamax Demolitions) confirmed the completion of demolition works and site clearance.

A description of the sampling methodology is detailed below and a summary of the sampling works including locations and rates is provided in the subsequent table:

- Samples were obtained from the demolition work area on a grid based pattern. The samples were collected at a density which is twice that recommended in the adopted guidelines.
- A discrete 10 L soil sample was collected from each sample location in a decontaminated bucket.
- The 10 L soil sample was manually sieved on-site through a  $\leq 7$  mm sieve.
- Any ACM/FA or potential ACM/FA retained on the sieve (i.e.  $>7$  mm in size) was bagged and labelled.
- A separate 500 g soil sample was collected in a sample bag at the same location that the 10 L sample came from; this sample was not collected from the sieved material.
- The fragments retained in the sieve were submitted to a NATA accredited laboratory for asbestos ID and weighing (where applicable).
- The 500 g sample bag was submitted to a NATA accredited laboratory for sieving and gravimetric determination of asbestos ( $<7$  mm).



Location	Sample Rate	No. Samples	Analysis
Demolition Work Area	Twice the density as per table in Appendix A of WA Guidelines (2 samples ever 100m <sup>2</sup> )	10	Amosite and crocidolite and chrysotile fibres

**Note:**

-the NEPM screening level of 0.001% w/w asbestos in soil for fibrous asbestos (FA) and asbestos fines (AF) only applies where the FA and AF are able to be quantified by gravimetric procedures. This screening level is not applicable to free fibres. As per page 34 of the Guidelines, soil contamination by free fibres should be determined according to the presence or absence of fibres.

-Chrysotile fibres are not in loose fill asbestos insulation. However, they may be present as a contaminant in the residential soil or as a result of demolition. Whilst this report validates the remediation of the demolition works area primarily with respect to amosite or crocidolite loose fill asbestos, this report also contains information on any action taken with respect to chrysotile asbestos fibres.

Samples were collected by an experienced environmental consultant (Amelia van Ewijk).

The assessment was limited to the demolition work area (Attachment A) as defined by the licenced asbestos assessor (JMB Environmental Consulting).

Sampling locations are shown on the figure in Attachment B.

A photographic record of the validation sampling exercise is provided as Attachment C.

## Validation Results

The following validation soil sample analytical results were returned from the laboratory; laboratory certificates are provided Attachment D:

Sample No.	Grid Location (Easting, Northing)		Result / Asbestos Type
S1	686465.703	6083535.960	Chrysotile and Amosite asbestos detected
S2	686462.655	6083527.819	Non-detect / Not applicable
S3	686463.741	6083521.639	Non-detect / Not applicable
S4	686456.852	6083521.013	Non-detect / Not applicable
S5	686449.128	6083516.462	Non-detect / Not applicable
S6	686453.595	6083523.852	Non-detect / Not applicable
S7	686458.438	6083528.988	Non-detect / Not applicable
S8	686457.102	6083535.459	Non-detect / Not applicable
S9	686454.013	6083529.405	Non-detect / Not applicable
S10	686447.834	6083522.725	Non-detect / Not applicable

## Analytical Procedures

Soil asbestos analysis was carried out in accordance with the Guidelines and the 'Australian Standard for the Qualitative Identification of Asbestos in Bulk Samples' (AS4964-2004).

## Hot Spot Treatment

As a result of the validation sampling, 1 hotspot was determined (i.e amosite, crocidolite and/or chrysotile asbestos fibres were reported in soil).

The Principal Contractor (Calyamax) was directed by WSP to remove additional soil in the nominated area(s) ('hotspot cleanup areas') by scraping an additional 100mm of soil over an area of 49m<sup>2</sup>. The extent of the hotspot cleanup area is in accordance with the methodology for hotspot remediation, requested by the Asbestos Taskforce.

WSP attended the site on 23 May 2016 after the Principal Contractor Calyamax Demolitions) confirmed the completion of the additional soil removal works. The hot spot cleanup area was re-validated in accordance with the methodology described in 'Sampling Methodology' above.

The extent of the hotspot cleanup areas and hotspot sample points are provided as Figure 2, in Attachment B.

The results of validation sampling in the hotspot cleanup areas are provided below.

Sample No.	Grid Location (Easting, Northing)		Result / Asbestos Type
HSV1	686465.703	6083535.960	Non-detect / Not applicable

## Recommendation for Residential Reuse

The investigation work to assess potential impact of asbestos fibres in the demolition work area at Kambah, Block 14, Section 102, 1 Feltus Place has been completed as detailed in this report, in accordance with the NEPM ASC and the Guidelines.

On that basis, and with considerations of the limitations outlined below, we confirm through the sampling methodology that there is no evidence to support the presence of loose fill asbestos and that the demolition work area of this property is therefore suitable for residential reuse, provided that further remedial work is carried out to address any other contaminants, which were not assessed as part of this validation.

### For and on behalf of WSP Environmental:



Amelia van Ewijk



Jason Watson

Australian Capital Territory

Panel of Suppliers to Provide Environmental Specialist Advisory Services

Tender NO: 22652 110

Panel Contract NO:2014.22652.450

Date: 26 May 2016

## Statement of Limitations

### Scope of services

This site soil validation report (the report) has been prepared in accordance with the scope of services set out in the contract, or as otherwise agreed, between the client and WSP (scope of services). In some circumstances the scope of services may have been limited by a range of factors such as time, budget, access and/or site disturbance constraints.

### Reliance on data

In preparing the report, WSP has relied upon data, surveys, analyses, designs, plans and other information provided by the client and other individuals and organisations, most of which are referred to in the report (the data). Except as otherwise stated in the report, WSP has not verified the accuracy or completeness of the data. To the extent that the statements, opinions, facts, information, conclusions and/or recommendations in the report (conclusions) are based in whole or part on the data, those conclusions are contingent upon the accuracy and completeness of the data. WSP will not be liable in relation to incorrect conclusions should any data, information or condition be incorrect or have been concealed, withheld, misrepresented or otherwise not fully disclosed to WSP.

## **Environmental conclusions**

In accordance with the scope of services, WSP has relied upon the data and has conducted environmental field monitoring and/or testing in the preparation of the report. The nature and extent of monitoring and/or testing conducted is described in the report.

On all sites, varying degrees of non-uniformity of the vertical and horizontal soil conditions are encountered. Hence no monitoring, common testing or sampling technique can eliminate the possibility that monitoring or testing results/samples are not totally representative of soil conditions encountered. The conclusions are based upon the data and the environmental field monitoring and/or testing and are therefore merely indicative of the environmental condition of the site at the time of preparing the report, including the presence or otherwise of contaminants or emissions.

Also, it should be recognised that site conditions, including the extent and concentration of contaminants, can change with time.

Within the limitations imposed by the scope of services, the monitoring, testing, sampling and preparation of this report have been undertaken and performed in a professional manner, in accordance with generally accepted practices and using a degree of skill and care ordinarily exercised by reputable environmental consultants under similar circumstances. No other warranty, expressed or implied, is made.

## **Report for benefit of client**

The report has been prepared for the benefit of the client and no other party. WSP assumes no responsibility and will not be liable to any other person or organisation for or in relation to any matter dealt with or conclusions expressed in the report, or for any loss or damage suffered by any other person or organisation arising from matters dealt with or conclusions expressed in the report (including without limitation matters arising from any negligent act or omission of WSP or for any loss or damage suffered by any other party relying upon the matters dealt with or conclusions expressed in the report). Other parties should not rely upon the report or the accuracy or completeness of any conclusions and should make their own enquiries and obtain independent advice in relation to such matters.

## **Other limitations**

WSP will not be liable to update or revise the report to take into account any events or emergent circumstances or facts occurring or becoming apparent after the date of the report.

The scope of services did not include any assessment of the title to or ownership of the properties, buildings and structures referred to in the report nor the application or interpretation of laws in the jurisdiction in which those properties, buildings and structures are located.

## **Attachments**

This Site Soil Validation Report should be read in conjunction with the following attachments;

- **Attachment A:** JMB Environmental Consulting Asbestos Clearance Certificate
- **Attachment B:** Figures 1 and 2
- **Attachment C:** Photographic Record of Site Soil Validation
- **Attachment D:** Validation Sample Laboratory Certificates

**Attachment A: JMB Environmental Consulting Asbestos Clearance Certificate**



PROJECT DETAILS

JOB NUMBER	KEF019	CLEARANCE DATE	2 May 2016
CLIENT	Caylamax Group	REPORT DATE	2 May 2016
CONTACT NAME	Dave Hutchins	CONTACT NUMBER	+61438700186
SITE ADDRESS	1 Feltus Pl, Kambah ACT 2902		
SCOPE OF WORKS	Demolition and removal of remediated loose fill insulation house and impacted soil.		
SCOPE OF CLEARANCE	A visual inspection of the soil within the demolition zone.		
ASBESTOS CONTRACTOR	Caylamax Group	SUPERVISOR	Doug Skelton
ASBESTOS ASSESSOR	Steve Davidson	LICENSE NUMBER	AA00027
METHODOLOGY	A visual inspection and raking of the soil within the demolition zone.		

VISUAL CLEARANCE

	YES	NO	N/A
Did inspection of the specific work area detailed above find <b>no visible asbestos</b> remaining as a result of the demolition work carried out?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Was raking of the soil carried out within the demolition zone and <b>no visible asbestos material</b> as a result of the remediation work carried out?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Did the inspection cover the whole site?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Can the site be safely accessed and soil validation commence?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Is a site plan attached showing the demolition zone?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Have site photographs been included in this report?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

CONCLUSION

A thorough visual inspection and raking of the soil within the demolition zone was conducted and found **no visible asbestos material** from demolition work in the area or in the vicinity of the area where the work was carried out.

This area has been cleared for soil validation and the site can be handed over on successful completion of the soil validation:

**Note:** Asbestos material may be present within the soil at depth or outside the demolition zone. The site infrastructure on the block associated with the property, including the concrete paths/driveways, retaining walls, concrete slabs and subterranean pipework remain onsite. See attached site plan showing the demolition zone.

Kind Regards,

Steve Davidson

Senior Consultant



PHOTOS-1



*Cleared area of the demolition zone*



*Cleared area of the demolition zone*



*Cleared area of the demolition zone*



*Cleared area of the demolition zone*



*Paved area outside the demolition zone'*



*Driveway outside the demolition zone*



PHOTOS



Site Plan



**Attachment B: Figure 1 and Figure 2**



**Asbestos Detection Result**

- + No Friable Asbestos Detected
- + Amosite Asbestos Detected
- Demolition Work Area

ID	Comments
S1	Amosite Asbestos Detected
S2	No Friable Asbestos Detected
S3	No Friable Asbestos Detected
S4	No Friable Asbestos Detected
S5	No Friable Asbestos Detected
S6	No Friable Asbestos Detected
S7	No Friable Asbestos Detected
S8	No Friable Asbestos Detected
S9	No Friable Asbestos Detected
S10	No Friable Asbestos Detected

Map: 23400 (TUB\_LNS)\_W2\_A  
 Date: 19/06/2016  
 Author: E.MHRP  
 Approved by: AM

Scale: 1:200  
 Coordinate system: GDA 1984 MGA Zone 56  
 Scale ratio varies when printed in A3

**WSP** | **PARSONS BRINCKERHOFF**  
 ACT Government

**Loose Fill Asbestos Affected Property - Site Soil Validation Report**  
**Figure 1**  
**1 Feltus Place, Kambah, ACT**

© Paragon Environmental Pty Ltd 2016. All rights reserved. This document is the property of Paragon Environmental Pty Ltd. This document and the information contained herein are to be used for the purposes of the asbestos management plan only. No other use is permitted without the prior written consent of Paragon Environmental Pty Ltd. All other rights reserved. GDA 1984 MGA Zone 56. WSP/2016/06/23/23400 (TUB\_LNS)\_W2\_A



ID	Comments
HSV1	No Friable Asbestos Detected

**Asbestos Detection Result**

- No Friable Asbestos Detected
- Demolition Work Area
- Hotspot Remediation Sampling Area

Map 2300170B_GIS_043_A	Author: EMRP
Date: 26/02/2016	Approved by: AM
Data source: © Land and Property Information 2015	
Survey points: VSP Pg 2015	
<small>© Parsons Brinckerhoff Australia Pty Ltd (Pty) Ltd. All rights reserved. This document and the information contained herein are the property of Parsons Brinckerhoff Australia Pty Ltd (Pty) Ltd. This document and the information contained herein are for the use of the purchaser and the purchaser is responsible for the accuracy of the information. No liability is accepted by Parsons Brinckerhoff Australia Pty Ltd (Pty) Ltd for any loss or damage arising from the use of this document. No liability is accepted by Parsons Brinckerhoff Australia Pty Ltd (Pty) Ltd for any loss or damage arising from the use of this document.</small>	

Scale ratio correct when printed at A3

Coordinates system: GDA 1994 MGA Zone 56

1:200

Scale ratio correct when printed at A3

WSP | PARSONS BRINCKERHOFF

ACT Government

www.pbr.com

Hotspot Validation Sampling - Site Soil Validation Report  
 Figure 2  
 1 Feltus Place, Kambah, ACT

---


**Attachment C: Photographic Record of Site Soil Validation**




PARSONS  
BRINCKERHOFF

PHOTOGRAPHIC REGISTER  
Site Soil Validation

<b>Client Name</b> ACT Government	<b>Site Location</b> KAMBAH, Block 14, Section 102: 1 Feltus Place, Kambah, ACT, 2902, Australia	<b>Project No.</b> 2300170B-050
--------------------------------------	--	------------------------------------

<b>Photo No.</b> 1	<b>Date</b> 06/05/2016	
<b>Description</b> Post demolition and scrape, facing West.		


<b>Photo No.</b> 2	<b>Date</b> 06/05/2016	
<b>Description</b> Post demolition and scrape, facing Southwest.		




PARSONS  
BRINCKERHOFF

PHOTOGRAPHIC REGISTER  
Site Soil Validation

<b>Client Name</b> ACT Government	<b>Site Location</b> KAMBAH, Block 14, Section 102: 1 Feltus Place, Kambah, ACT, 2902, Australia	<b>Project No.</b> 2300170B-050
--------------------------------------	--	------------------------------------

<b>Photo No.</b> 3	<b>Date</b> 06/05/2016	
<b>Description</b> Post demolition and scrape, facing South.		


<b>Photo No.</b> 4	<b>Date</b> 06/05/2016	
<b>Description</b> Post demolition and scrape, facing South.		



PARSONS  
BRINCKERHOFF

PHOTOGRAPHIC REGISTER  
Site Soil Validation

<b>Client Name</b> ACT Government	<b>Site Location</b> KAMBAH, Block 14, Section 102: 1 Feltus Place, Kambah, ACT, 2902, Australia	<b>Project No.</b> 2300170B-050
--------------------------------------	--	------------------------------------

<b>Photo No.</b> 5	<b>Date</b> 06/05/2016	
<b>Description</b> Post demolition and scrape, facing Southwest.		


<b>Photo No.</b> 6	<b>Date</b> 06/05/2016	
<b>Description</b> Post demolition and scrape, facing Northwest.		



PARSONS  
BRINCKERHOFF

PHOTOGRAPHIC REGISTER  
Site Soil Validation

<b>Client Name</b> ACT Government	<b>Site Location</b> KAMBAH, Block 14, Section 102: 1 Feltus Place, Kambah, ACT, 2902, Australia	<b>Project No.</b> 2300170B-050
--------------------------------------	--	------------------------------------

<b>Photo No.</b> 7	<b>Date</b> 23/05/2016	
<b>Description</b> Post hotspot scrape, facing Northwest.		

<b>Photo No.</b> 8	<b>Date</b> 06/05/2016	
<b>Description</b> Post demolition and scrape, facing Northwest.		






**PARSONS  
BRINCKERHOFF**

**PHOTOGRAPHIC REGISTER  
Site Soil Validation**

<b>Client Name</b> ACT Government	<b>Site Location</b> KAMBAH, Block 14, Section 102: 1 Feltus Place, Kambah, ACT, 2902, Australia	<b>Project No.</b> 2300170B-050
--------------------------------------	--	------------------------------------

<b>Photo No.</b> 9	<b>Date</b> 23/05/2016	
<b>Description</b> Post hotspot scrape, facing Southwest.		

<b>Photo No.</b> 10	<b>Date</b> 23/05/2016	
<b>Description</b> Post hotspot scrape, facing Southwest.		

---

**Attachment D: Validation Sample Laboratory Certificates**

# Certificate of Analysis

**CLIENT:** ACT Government - Commercial Infrastructure Branch  
**CLIENT ADDRESS:** Level 3 Macarthur House, 12 Wattle Street  
Lyneham ACT 2602  
**TELEPHONE:** 02 6205 8636  
**FAX / E-MAIL:** Grant.Johnston@act.gov.au  
**CONTACT:** Grant Johnston  
**LOCATION:** 1 Feltus Place, Kambah ACT

**CERTIFICATE NO:** 2300170B-36756  
**DATE SAMPLED:** 6/05/2016  
**DATE RECEIVED:** 10/05/2016  
**DATE ANALYSED:** 12/05/2016  
**SAMPLED BY:** Amelia van Ewijk

**TEST METHOD:** Qualitative identification of asbestos types in bulk samples at Parsons Brinckerhoff Brisbane Laboratory by polarised light microscopy, including dispersion staining techniques using Parsons Brinckerhoff in-house method No.1, AS4964 (2004) and NATA accreditation No. 9607. This document is issued in accordance with NATA's accreditation requirements. Accredited for compliance with ISO/IEC:17025. The results of tests, calibrations and or measurements included in this document are traceable to Australian/national standards.

Lab Number	Sample Id	Sample Description	Sample Dimensions	Identification Type
M001	1 Feltus-S1	Soil - loose fibre bundle (friable)	538.4g	CH, A X
M002	1 Feltus-S2	Soil	539.88g	NAD - OF
M003	1 Feltus-S3	Soil	784.55g	NAD - OF
M004	1 Feltus-S4	Soil	752.09g	NAD - OF
M005	1 Feltus-S5	Soil	682.39g	NAD - OF
M006	1 Feltus-S6	Soil	765.10g	NAD - OF
M007	1 Feltus-S7	Soil	700.95g	NAD - OF
M008	1 Feltus-S8	Soil	569.66g	NAD - OF

**LEGEND:**

NAD - No Asbestos Detected  
CH - Chrysotile Asbestos Detected  
A - Amosite Asbestos Detected  
C - Crocidolite Asbestos Detected  
UMF - Unknown Mineral Fibres Detected  
SMF - Synthetic Mineral Fibres Detected  
OF - Organic Fibres Detected

Hand picked refers to small discrete amounts of asbestos distributed unevenly in a large body of non asbestos material.



ACCREDITED FOR  
**TECHNICAL  
COMPETENCE**

Approved Identifier  
Name: Patrick Carr

*Patrick Carr*

Approved Signatory  
Name: Patrick Carr

*Patrick Carr*

**Notes:**

If no asbestos is detected in vinyl tiles, mastics, sealants, epoxy resins and ore samples then confirmation by another independent analytical technique is advised due to the nature of the samples.

The results contained within this report relate only to the sample(s) submitted for testing. PB accepts no responsibility for the initial collection, packaging or transportation of samples submitted by external persons. NATA does not accredit sampling. This document may not be reproduced except in full.

**AUTHORISATION DATE**  
12/05/2016

# Certificate of Analysis

**CLIENT:** ACT Government - Commercial Infrastructure      **Certificate NO:** 2300170B-36756  
**LOCATION:** 1 Feltus Place, Kambah ACT

<u>Lab Number</u>	<u>Sample Id</u>	<u>Sample Description</u>	<u>Sample Dimensions</u>	<u>Identification Type</u>
M009	1 Feltus-S9	Soil	626.04g	NAD - OF
M010	1 Feltus-S10	Soil	607.06g	NAD - OF

**LEGEND:**

NAD - No Asbestos Detected  
CH - Chrysotile Asbestos Detected  
A - Amosite Asbestos Detected  
C - Crocidolite Asbestos Detected  
UMF - Unknown Mineral Fibres Detected  
SMF - Synthetic Mineral Fibres Detected  
OF - Organic Fibres Detected

Hand picked refers to small discrete amounts of asbestos distributed unevenly in a large body of non asbestos material.

**Notes:**

If no asbestos is detected in vinyl tiles, mastics, sealants, epoxy resins and ore samples then confirmation by another independent analytical technique is advised due to the nature of the samples.

The results contained within this report relate only to the sample(s) submitted for testing. PB accepts no responsibility for the initial collection, packaging or transportation of samples submitted by external persons. NATA does not accredit sampling. This document may not be reproduced except in full.



ACCREDITED FOR  
**TECHNICAL  
COMPETENCE**

Approved Identifier  
Name: Patrick Carr



Approved Signatory  
Name: Patrick Carr



**AUTHORISATION DATE**  
12/05/2016

## Certificate of Analysis

<b>CLIENT:</b>	ACT Government - Commercial Infrastructure Branch	<b>CERTIFICATE NO:</b>	2300170B-36993
<b>CLIENT ADDRESS:</b>	Level 3 Macarthur House, 12 Wattle Street Lyneham ACT 2602	<b>DATE SAMPLED:</b>	23/05/2016
<b>TELEPHONE:</b>	02 6205 8636	<b>DATE RECEIVED:</b>	25/05/2016
<b>FAX / E-MAIL:</b>	Grant.Johnston@act.gov.au	<b>DATE ANALYSED:</b>	25/05/2016
<b>CONTACT:</b>	Grant Johnston		
<b>LOCATION:</b>	1 Feltus Place, Kambah ACT	<b>SAMPLED BY:</b>	Amelia van Ewijk

**TEST METHOD:** Qualitative identification of asbestos types in bulk samples at Parsons Brinckerhoff Brisbane Laboratory by polarised light microscopy, including dispersion staining techniques using Parsons Brinckerhoff in-house method No.1, AS4964 (2004) and NATA accreditation No. 9607. This document is issued in accordance with NATA's accreditation requirements. Accredited for compliance with ISO/IEC:17025. The results of tests, calibrations and or measurements included in this document are traceable to Australian/national standards.

Lab Number	Sample Id	Sample Description	Sample Dimensions	Identification Type
M001	HSV1_1 Feltus	Soil	604.87g	NAD - OF

**LEGEND:**

NAD - No Asbestos Detected  
 CH - Chrysotile Asbestos Detected  
 A - Amosite Asbestos Detected  
 C - Crocidolite Asbestos Detected  
 UMF - Unknown Mineral Fibres Detected  
 SMF - Synthetic Mineral Fibres Detected  
 OF - Organic Fibres Detected

Hand picked refers to small discrete amounts of asbestos distributed unevenly in a large body of non asbestos material.



Approved Identifier  
Name: Patrick Carr

*Patrick Carr*

Approved Signatory  
Name: Patrick Carr

*Patrick Carr*

**Notes:**

If no asbestos is detected in vinyl tiles, mastics, sealants, epoxy resins and ore samples then confirmation by another independent analytical technique is advised due to the nature of the samples.

The results contained within this report relate only to the sample(s) submitted for testing. WSP | PB accepts no responsibility for the initial collection, packaging or transportation of samples submitted by external persons. NATA does not accredit sampling. This document may not be reproduced except in full.

**AUTHORISATION DATE**  
25/05/2016

**This Checklist must be completed and archived on the electronic and physical building file as a record of the Asbestos Response Taskforce audit.**

This checklist is for AFFECTED PREMISES that were on the Register as part of the 2014 Loose Fill Asbestos insulation Eradication Scheme.

For previously DEMOLISHED premises NOT included on the Register use the Not On Register – DEMOLISHED PROPERTY Checklist (OBJ ID: 13784396).

SUBURB: KAMBAH Section: 102 Block: 14

ADDRESS: 1 FELTUS PLACE

Scanned copy of archived hard copy building file cover index sheet	✓
Certificate of Completion of Asbestos Removal Work from the original clean-up program	✓
Asbestos Letter dated 6 July 1993 – Derek Hyde – City Operations Branch – Manager Asbestos	✓
Asbestos Taskforce 2005 Letter – Chief Planning Executive Neil Savery and 2005 Asbestos Taskforce Head Lincoln Hawkins	✓
Worksafe Letter dated 18/2/2014 – Work Safety Commissioner Mark McCabe	✓
Asbestos Response Taskforce Letter – July 2014 – Andrew Kefford – Taskforce Head	✓
2014 Scheme Letter – Chief Minister Katy Gallagher	✓
Affected Premises Register Registration Notice (ON REGISTER) – April 2017 – Andrew Kefford – Taskforce Head	✓
Post Demolition Soil Validation Report and Post Demolition Clearance Certificate	✓
Certificate of Completion of Demolition	✓
Deregistration Statement (OFF REGISTER) – Andrew Kefford – Taskforce Head	✓

SYSTEM FLAGS

PALM FLAG: DEREG LOOSE FILL

OBJECTIVE FLAG: DEREGISTERED FORMERLY ASBESTOS RELATED

TARQUIN ADMINISTRATIVE INTERESTS: REGISTERED & DEREGISTERED

DATE: 05/10/17

COMPLETED BY: *Pauline Holmes*  
Pauline Holmes



**ACT**  
Government

**Asbestos Response  
Taskforce**

Our ref: A12095082

## **AFFECTED RESIDENTIAL PREMISES REGISTER**

### **DEREGISTRATION STATEMENT**

*S47N Dangerous Substances Act 2004*

*I, Andrew Kefford, delegate of the Minister for Workplace Safety and Industrial Relations, am satisfied that the premises at 1 Feltus Place DIVISION KAMBAH SECTION 102 BLOCK 14, have been demolished and the parcel of land has been remediated. In accordance with section 47 N(3) I authorise removal of these residential premises from the Affected Residential Premises Register.*

Andrew Kefford  
Head - Asbestos Response Taskforce

Date:

*8/6/16*



**ACT**  
Government

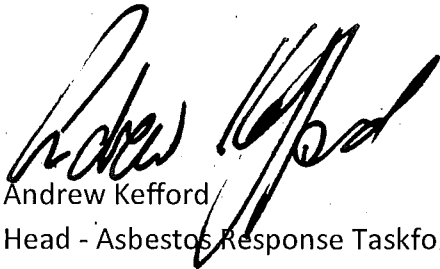
**Asbestos Response  
Taskforce**

### July 2014 Letter to Residents

In order to advise the owners of houses affected by loose fill asbestos (Mr Fluffy) of the existence of the Asbestos Response Taskforce, assistance available and of their obligations to external parties, this letter was sent to all house owners using the rates address information held by the ACT Revenue Office.

The property to which this file relates is one such house identified as containing loose fill asbestos.

I certify that this letter was sent through Australia Post (Registered Post) on or about 25 July 2014 to the rates address registered at this time for this property.



Andrew Kefford

Head - Asbestos Response Taskforce





**ACT**  
Government

## Asbestos Response Taskforce

«Lessee\_Name»

«C»

«Address\_L1»

«Address\_L2»

«Suburb1» «State» «Postcode»

Friday 25 July 2014

**Important information from the ACT Government regarding Loose-fill asbestos  
insulation (Mr Fluffy Insulation) at:**

**«Street Address», «Suburb»**

This letter confirms the property listed above is on the ACT Government's register as having been part of the Loose-fill Asbestos Insulation Removal Program that took place between 1988 and 1993. This was outlined in a letter sent to the affected properties by the ACT Work Safety Commissioner in February 2014, which recommended property owners engage a licensed asbestos assessor to undertake an assessment of the property.

Since then, the ACT Government has established the Asbestos Response Taskforce to address the legacy issues of loose-fill asbestos (commonly known as 'Mr. Fluffy' insulation) in Canberra homes. To property owners receiving this information for the first time, it is important that you register with the Taskforce as soon as possible so that we may begin providing assistance to you. The Taskforce has sent this letter by Registered Post so it is able to be confident that all affected homeowners are aware of their property's status and the Taskforce is able to offer assistance and advice.

The Loose-fill Asbestos Insulation Removal Program was designed and commenced by the Commonwealth Government, as the responsible government for the Australian Capital Territory at that time, and was completed by the ACT Government following self-government in 1989. Homes that were part of this program (commonly known as 'Mr. Fluffy' houses) had visible and accessible asbestos insulation removed.

Since February, at the prompting of the Work Safety Commissioner, a number of properties have undergone further assessment. Some of these assessments have recommended further remediation and in some cases, that properties be vacated.

It is important to remember that each property is different and assessments by licensed assessors should inform the course of action for each property owner.

### ***ACT Government Asbestos Response Taskforce***

As a resident or owner of a house affected by loose-fill asbestos, it is important you register with the Asbestos Response Taskforce if you haven't already done so. This can be done online at [www.act.gov.au/asbestostaskforce](http://www.act.gov.au/asbestostaskforce) or by calling Canberra Connect on 13 22 81. Once you have registered with the Taskforce you will be contacted by one of our team members and we will start the process of working with you to progress actions appropriate for your property. There will also be regular information provided to you through the Taskforce Newsletter.

### ***Emergency Financial Assistance***

The Chief Minister announced a package of assistance for families whose homes are affected by loose-fill asbestos on 3 July 2014. Information on these announcements can be found on the Taskforce website at [www.act.gov.au/asbestostaskforce](http://www.act.gov.au/asbestostaskforce). The announced package includes the following components.

1. Grants of up to \$10,000 per household are available to families who are required, on the advice of an asbestos assessor, to leave their home. An additional \$2,000 is payable for each dependent child residing in the home. The purpose of these funds is to cover the costs of emergency accommodation, immediate remediation work and other necessities such as food and clothing.
2. For families having to leave their place of residence on the advice of an asbestos assessor, the ACT Government will defer rates on that property for the period of time the owners are required to vacate.
3. Families who are able to remain in their home, but on the advice of an asbestos assessor, have needed to destroy contaminated items (such as clothes and soft furnishing items) may access up to \$1,000 to assist with those costs.
4. The Taskforce will arrange and pay for asbestos assessments to be conducted on all affected homes (or will reimburse the cost of asbestos assessments undertaken since 18 February 2014).

To access these financial packages you need to be registered with the Taskforce and where practical, retain a copy of your receipts.

## **Support**

In addition to the financial assistance being offered there are other support services which are available to both adults and children who would find it useful.

A range of options are available and include:

- The NewAccess Program is provided at no cost through the ACT Medicare Local and offers support from trained coaches for those who are experiencing mild anxiety or depression. People registered with the Asbestos Response Taskforce can self-refer to this service by phoning the central intake number on (02) 6287 8066. The coaches provide evidence based, low intensity psychological strategies and support, either face to face or over the phone, for up to six sessions.
- ACT Medicare Local will ensure priority access to NewAccess coaches and *HealthinMind* psychologists for people registered with the Asbestos Taskforce.
- For anyone experiencing moderate anxiety or depression, your family doctor can complete a mental health treatment plan and provide referral for free sessions with a psychologist under the ACT Medicare Local's *HealthinMind* program. For those living in an affected house any 'gap' fee for the family doctor visit will be reimbursed to ensure that there is no out-of-pocket expenses.
- For any urgent/crisis mental health concerns, particularly in relation to acute stress and/or risks to the immediate safety of individuals, please contact the Mental Health Triage intake line on 1800 629 354.
- Your family doctor and their practice staff will also be able to assist you with information about the risks to your physical health of potential asbestos exposure.

Other supports available include:

- Lifeline (24 hours) 13 11 14.
- School Counsellors.
- Employee Assistance Program (EAP).

## **Information**

A number of families have asked if there is an obligation on them to inform other people about the presence of loose-fill asbestos in their home. The short answer to that question is yes.

Under the *Dangerous Substances Act 2004*, a person who is in control of premises and is aware of the presence of asbestos in a property has an obligation to take all reasonable steps to minimise the risk which arises. This may include informing people who may be affected, such as tenants and tradespeople, of that fact.

Further, if an asbestos assessment report has been completed, the owner or occupier is required to provide a copy to potential buyers, tenants and tradespeople engaged to undertake work at the premises.

If your home is tenanted or currently listed for sale, you should inform your real estate agent (or tenant/buyer if you don't have a real estate agent) of the contents of this letter as soon as possible. The Taskforce has been working with the Work Safety Commissioner and the Office of Regulatory Services to provide guidance and briefings to the Real Estate Institute in this regard.

If you are undertaking any work on your home such as repairs or alterations, you should inform your builder as soon as possible.

If you have further questions about the information provided in this letter or require the assistance of an interpreter, please contact the Taskforce through Canberra Connect on 13 22 81, [www.act.gov.au/asbestostaskforce](http://www.act.gov.au/asbestostaskforce) or [asbestostaskforce@act.gov.au](mailto:asbestostaskforce@act.gov.au).

Yours sincerely

A handwritten signature in black ink, appearing to read 'Andrew Kefford', written in a cursive style.

Andrew Kefford  
Head - Asbestos Response Taskforce

35944 19/4/74 Specimen

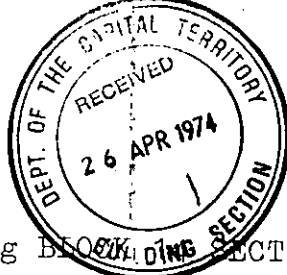
**J. R. VAUGHAN, BURTON & ASSOCIATES PTY. LTD.**  
REGISTERED SURVEYORS

18 Donaldson Street  
Braddon, A.C.T.

P.O. Box 942  
Canberra City 2601

Phone 49 7530

# Surveyor's Certificate



BLOCK 14 SECTION 102 KAMBAH  
Fairlane Canberra Pty Ltd.

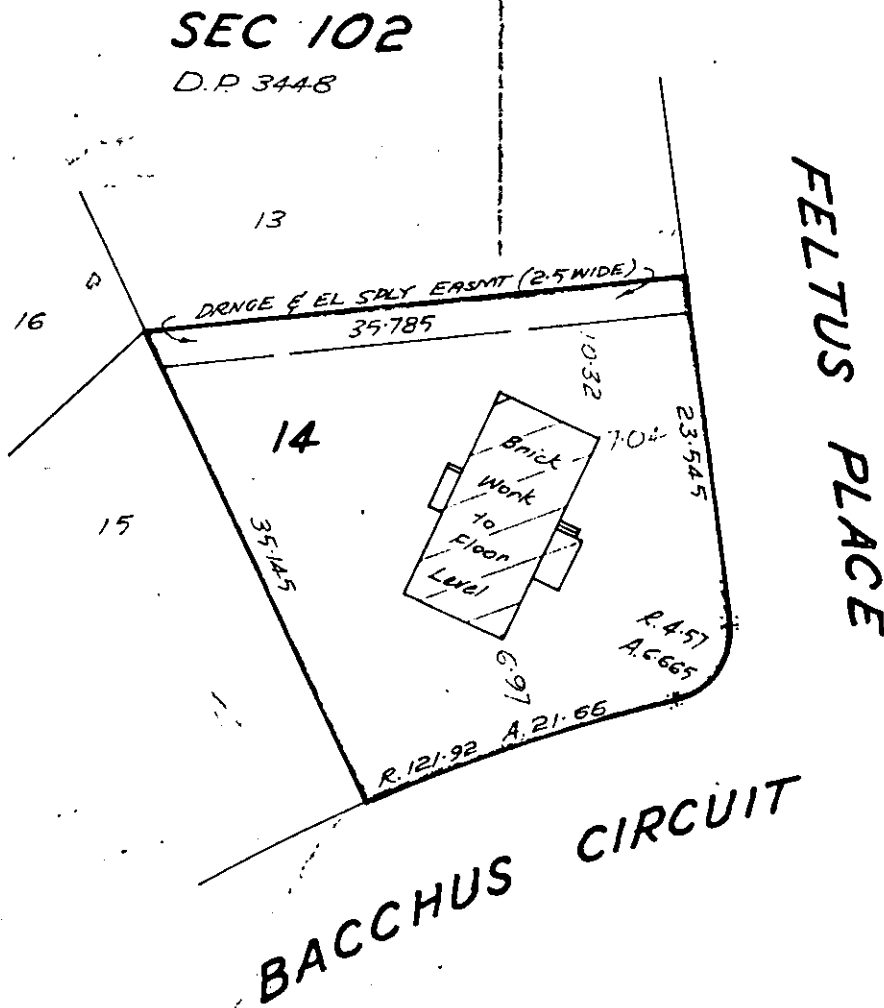
I have surveyed the land being BLOCK 14 SECTION 102 in Deposited Plan No. 3448 and situated at the corner of BACCHUS CIRCUIT AND FELTUS PLACE. Division of KAMBAH Canberra City District of the Australian Capital Territory.

Erected upon the subject land is brickwork to floor level being for a proposed residence the position of which in relation to the boundaries is as shown on the sketch.

Apparent Easements affecting the subject land are as shown on the sketch.

The subject land is unfenced.

There are in my opinion no encroachments by or upon the subject land.



**SEC 102**

D.P. 3448

I certify that the survey in this Plan was made in accordance with the Survey Practice Directions.

*John R. Vaughan* 19/4/74  
Surveyor Registered under the A.C.T. Surveyor's Ordinance 1967  
Surveyor Registered under the N.S.W. Surveyor's Act 1929-46

Scale 1:500

9423

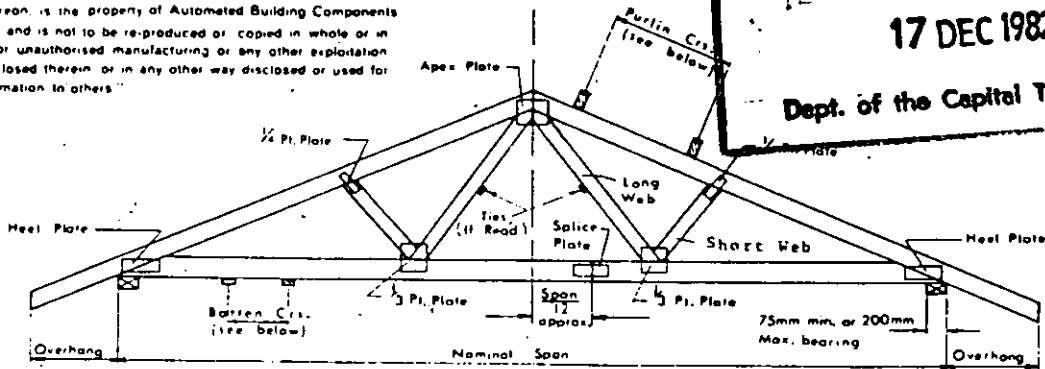
# CANBERRA ROOF TRUSSES PTY. LTD.

179 GLADSTONE ST., FYSHWICK, A.C.T., 2609  
 P.O. BOX 299, FYSHWICK, A.C.T., 2609  
 TELEPHONE: 80 5955

BLOCK: 14 SPAN: 7300  
 SECTION: 102 OVERHANG: 600  
 SUBURB: KAMBAY PITCH: TO MATCH

**PLANS/FILE No. 35944/C.**  
**Received Building Section**  
**17 DEC 1982**  
**Dept. of the Capital Territory**

"This drawing and/or data sheet, and the confidential proprietary information thereon, is the property of Automated Building Components (Aust) Pty Ltd., and is not to be re-produced or copied in whole or in part, or used for unauthorised manufacturing or any other exploitation of the item disclosed therein or in any other way disclosed or used for furnishing information to others."



MAXIMUM SPAN CHART (MM)

	SIZE	GRADE	PITCH						
			12.5	15.0	17.5	20.0	22.5	25.0	27.5
TOPC	75 X 38	F11	6200	6400	6600	6800	6800	6800	6800
	75 X 38	F14	6800	7000	7200	7400	7400	7200	7200
	75 X 38	F17	7200	7400	7600	7600	7600	7400	7400
	75 X 38	F22	7800	8000	8000	8000	8000	7800	7800
	75 X 38	F27	8200	8600	8400	8400	8400	8200	8000
	100 X 38	F11	8600	8800	9000	9200	9200	9200	9000
	100 X 38	F14	9200	9600	9800	10000	9800	9600	9600
	100 X 38	F17	9800	10200	10400	10200	10200	10000	10000
	100 X 38	F22	10600	11000	10800	10800	10600	10600	10400
	100 X 38	F27	11200	11400	11400	11200	11200	11000	10800
	125 X 38	F11	10800	11200	11600	11800	11600	11400	11400
	125 X 38	F14	11800	12000	12000	12000	12000	12000	12000
125 X 38	F17	12000	12000	12000	12000	12000	12000	12000	
150 X 38	F11	12000	12000	12000	12000	12000	12000	12000	
BOTC	75 X 38	F11	8200	8200	8200	8200	8200	8200	8200
	75 X 38	F14	8800	8800	8800	8800	8800	8800	8800
	75 X 38	F17	9000	9000	9000	9000	9000	9000	9000
	75 X 38	F22	9400	9400	9400	9400	9400	9400	9400
	75 X 38	F27	10000	10000	10000	10000	10000	10000	10000
	100 X 38	F11	11000	11000	11000	11000	11000	11000	11000
	100 X 38	F14	11800	11800	11800	11800	11800	11800	11800
100 X 38	F17	12000	12000	12000	12000	12000	12000	12000	
125 X 38	F11	12000	12000	12000	12000	12000	12000	12000	
WEB1	50 X 38	F11	12000	12000	12000	12000	12000	11800	11200
	50 X 38	F14	12000	12000	12000	12000	12000	12000	11800
	50 X 38	F17	12000	12000	12000	12000	12000	12000	12000
	75 X 38	F11	12000	12000	12000	12000	12000	12000	12000
WEB2	50 X 38	F11	12000	12000	12000	12000	12000	12000	11400
	50 X 38	F14	12000	12000	12000	12000	12000	12000	12000
	75 X 38	F11	12000	12000	12000	12000	12000	12000	12000

23  
10/12

TRUSS DESIGN DATA

**Automated Building Components (Aust) P.L.**

17-19 Kalimna Ave., Mulgrave, 3171 Vic. Tel. 546-8866.

Max. Truss Crs. 900 Max. Undersize: 3

Roofing: Conc. Tiles\* Strength Group: S3

T.C. Restraints: 350 Joint Group: J2

Ceiling: 10 Plaster Moisture Content: Green

B.C. Restraints: 450 Design Wind Vel. 42.0m/s

Org. No. J2 - AT900 - 42.0

Designed by: [Signature] BE MIEAust.

Certified by: [Signature]

Date: FEBRUARY 1980

Revision No. [Blank]

MAXIMUM OVERHANG CHART (MM)					
TOPC SIZE	GRADE				
	F11	F14	F17	F22	F27
75 X 38	850	850	900	900	900
100 X 38	950	950	1000	1000	1050
125 X 38	1050	1100	1150	1150	1200
150 X 38	1200	1300	1300	1350	1400
175 X 38	1350	1400	1450	1500	1550

MAXIMUM SPAN CHART (MM)										
	G-N SIZE	CHD	GROUP	PITCH						
				12.50	15.00	17.50	20.00	22.50	25.00	27.50
HEEL	20- 75X115	75	J2	0	5600	6800	8000	9000	10000	10800
	20- 75X140	75	J2	6200	7800	9400	11000	12000	12000	12000
	20- 75X170	75	J2	8400	10600	12000	12000	12000	12000	12000
	20- 75X230	75	J2	12000	12000	12000	12000	12000	12000	12000
SPL B	20- 50X115		J2	8000	9800	11800	12000	12000	12000	12000
	20- 50X140		J2	9800	12000	12000	12000	12000	12000	12000
	40- 55X170		J2	12000	12000	12000	12000	12000	12000	12000
	20- 75X115		J2	12000	12000	12000	12000	12000	12000	12000
SPL T	20- 50X115		J2	9200	11400	12000	12000	12000	12000	12000
	20- 75X115		J2	12000	12000	12000	12000	12000	12000	12000
APEX	20-150X115 H	75	J2	12000	12000	12000	12000	12000	12000	12000
T1	20- 40X 85		J2	12000	12000	12000	12000	12000	12000	12000
B1	20-100X 85 R		J2	12000	12000	12000	12000	12000	12000	12000
SPB1	20-150X140 P	75	J2	0	5400	6000	6600	7000	7400	7800
	40-150X200 P	75	J2	0	5600	6200	6800	7200	7600	8000
	40-150X230 P	75	J2	5800	6800	7400	8000	8600	9000	9400
	40-150X290 P	75	J2	8000	9000	9600	10400	10800	11200	11600
	20-150X140 P	100	J2	7400	8400	9200	10000	10600	11000	11400
	40-150X200 P	100	J2	7800	8800	9800	10400	11000	11600	11800
	40-150X230 P	100	J2	9200	10400	11200	12000	12000	12000	12000
	40-150X290 P	100	J2	12000	12000	12000	12000	12000	12000	12000
	20-150X140 P	125	J2	7800	9200	10200	11000	11800	12000	12000
	40-150X200 P	125	J2	8600	9800	11000	11800	12000	12000	12000
	40-150X230 P	125	J2	10200	11600	12000	12000	12000	12000	12000
40-150X290 P	125	J2	12000	12000	12000	12000	12000	12000	12000	

CAMBER CHART (mm)							
	12.5°	15°	17.5°	20°	22.5°	25°	27.5°
F11-F27	SPAN	SPAN	SPAN	SPAN	SPAN	SPAN	SPAN
	400	550	700	1000	1300	1600	1800
MINIMUM CAMBER TO BE 3mm.							

- NOTES: 1. This drawing to be read in conjunction with sheets no. C02, C03, C100 and CA1.
2. Chord depth after heel plate and apex plate indicates minimum top chord depth for which plate is adequate for the span indicated. Similarly, chord depth after panel point splice plate indicates minimum bottom chord depth.
3. If chord depth exceeds 75mm the minimum width of splice plate to be used is 75mm.

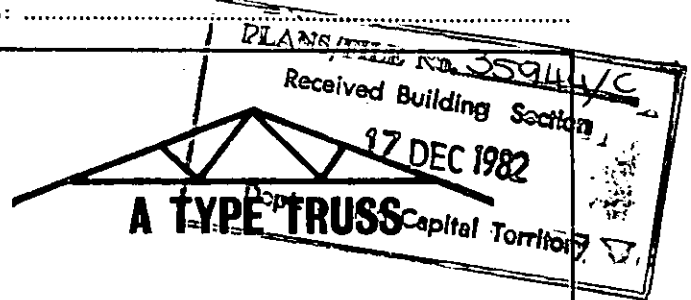
# CANRERRA ROOF TRUSSES PTY. LTD.

178 GLADSTONE ST., FYSHWICK, A.C.T., 2609  
 P.O. BOX 299, FYSHWICK, A.C.T., 2609  
 TELEPHONE: 80 5955

BLOCK: ..... SPAN: .....  
 SECTION: ..... OVERHANG: .....  
 PITCH: .....  
 SUBURB: .....



## GANG-NAIL® TRUSS SYSTEM



MAXIMUM SPAN CHART (MM)

	SIZE	GRADE	PITCH						
			12.5	15.0	17.5	20.0	22.5	25.0	27.5
TOPC	70 X 35	F 5	0	0	0	0	0	0	0
	70 X 35	F 7	0	5000	5200	5400	5400	5400	5600
	70 X 35	F 8	5400	5600	5800	6000	6200	6200	6200
	70 X 35	F11	6000	6400	6600	6600	6800	6800	6800
	90 X 35	F 5	5600	5800	6000	6200	6400	6400	6400
	90 X 35	F 7	6400	6600	6800	7000	7200	7200	7400
	90 X 35	F 8	7000	7400	7800	8000	8000	8200	8200
	90 X 35	F11	8000	8400	8600	8800	8800	9000	9000
	120 X 35	F 5	7600	8000	8400	8600	8800	8800	9000
	120 X 35	F 7	8600	9200	9400	9600	9800	10000	10000
	120 X 35	F 8	9800	10200	10600	10800	11000	11200	11200
	120 X 35	F11	11000	11400	11800	12000	12000	12000	12000
	140 X 35	F 5	9200	9600	10000	10200	10400	10400	10600
	140 X 35	F 7	10200	10800	11200	11400	11600	11800	12000
	140 X 35	F 8	11600	12000	12000	12000	12000	12000	12000
	140 X 35	F11	12000	12000	12000	12000	12000	12000	12000
	170 X 35	F 5	11200	11800	12000	12000	12000	12000	12000
170 X 35	F 7	12000	12000	12000	12000	12000	12000	12000	
190 X 35	F 5	12000	12000	12000	12000	12000	12000	12000	
BOTC	70 X 35	F 5	5000	5200	5600	5800	5800	6000	6200
	70 X 35	F 7	6200	6600	6800	7000	7200	7400	7400
	70 X 35	F 8	7600	7800	7800	7800	7800	7800	7800
	70 X 35	F11	8400	8400	8400	8400	8400	8400	8400
	90 X 35	F 5	7200	7300	8200	8400	8600	8800	9000
	90 X 35	F 7	9000	9400	9800	10200	10400	10600	10600
	90 X 35	F 8	10800	11400	11600	11600	11600	11600	11600
	90 X 35	F11	12000	12000	12000	12000	12000	12000	12000
	120 X 35	F 5	11000	11300	12000	12000	12000	12000	12000
	120 X 35	F 7	12000	12000	12000	12000	12000	12000	12000
140 X 35	F 5	12000	12000	12000	12000	12000	12000	12000	
UEB1	42 X 35	F 5	11200&	11200&	11000&	10600&	10200&	9800	9400
	42 X 35	F 7	12000	12000	11600&	11400&	11000&	10400&	10000
	42 X 35	F 8	12000	12000	12000	12000	11600&	11000&	10600&
	42 X 35	F11	12000	12000	12000	12000	12000	11800&	11200&
	70 X 35	F 5	12000	12000	12000	12000	12000	11600&	11200&
	70 X 35	F 7	12000	12000	12000	12000	12000	12000	12000
	90 X 35	F 5	12000	12000	12000	12000	12000	12000	12000
WER2	42 X 35	F 5	10200&	10000	10600&	11200&	10600&	10200&	9600
	42 X 35	F 7	10800&	10800&	11200&	12000	11400&	10800&	10200&
	42 X 35	F 8	11600&	11400&	12000	12000	12000	11400&	10800&
	42 X 35	F11	12000	12000	12000	12000	12000	12000	11400&
	70 X 35	F 5	12000	12000	12000	12000	12000	12000	11200&
	70 X 35	F 7	12000	12000	12000	12000	12000	12000	12000
	90 X 35	F 5	12000	12000	12000	12000	12000	12000	12000

NOTE: 1. & Means span may be increased to 12000 if 1 tie is used.

\* Maximum overlap 75mm

TRUSS DESIGN DATA			Automated Building Components (Aust) P/L.	
Max. Truss Crs.	900	Max. Undersize:	17-19 Kalimna Ave., Mulgrave, 3171 Vic. Tel. 546-8866.	
Roofing: Conc. Tiles*		Strength Group:	SD6	
T.C. Restraints:	350	Joint Group:	JD4	
Ceiling:	10 Plaster	Moisture Content:	Dry	
B.C. Restraints:	450	Design Wind Vel.	41.1	
			Drg. No.	JD4 - AT900 - 41.1
			Designed by:	S. De George BE
			Certified by:	[Signature] PE
			Date:	SEPTEMBER 1980
			Revision No.	2 (W.T)

*Handwritten initials/signature*



MAXIMUM OVERHANG CHART (MM)				
TOPC SIZE	GRADE			
	F 5	F 7	F 8	F11
70 X 35	500	550	700	850
90 X 35	750	950	950	950
120 X 35	1050	1100	1100	1150
140 X 35	1150	1200	1250	1300
170 X 35	1350	1400	1450	1500
190 X 35	1450	1500	1600	1650
240 X 35	1750	1850	1900	1950

MAXIMUM SPAN CHART (MM)										
PLATE	G-N SIZE	CHD	GROUP	PITCH						
				12.50	15.00	17.50	20.00	22.50	25.00	27.50
HEEL	20- 75X115	70	JD4	0	0	5600	6000	6800	6400	7000
	20- 75X140	70	JD4	5800	6600	8000	8400	9600	9000	9800
	20- 75X170	70	JD4	7800	9000	10600	11400	12000	12000	0
	20- 75X200	70	JD4	10000	11400	12000	12000	0	0	0
	20- 75X170	90	JD4	7800	9000	10600	11400	12000	12000	12000
	20- 75X200	90	JD4	10000	11400	12000	12000	12000	12000	12000
	20- 75X230	90	JD4	12000	12000	12000	12000	12000	12000	12000
SPL B	20- 50X115	70	JD4	6800	8600	10200	12000	12000	12000	12000
	20- 50X140	70	JD4	9600	11800	12000	12000	12000	12000	12000
	20- 50X170	70	JD4	10200	12000	12000	12000	12000	12000	12000
	20- 75X115	90	JD4	11000	12000	12000	12000	12000	12000	12000
SPL T	20- 50X115	70	JD4	8000	9800	11600	12000	12000	12000	12000
	20- 75X115	90	JD4	12000	12000	12000	12000	12000	12000	12000
	20- 75X140	90	JD4	12000	12000	12000	12000	12000	12000	12000
APEX	20-100X115 H	70	JD4	10000	10000	10000	10000	10000	10000	10000
	20-150X115 H	70	JD4	12000	12000	12000	12000	12000	12000	12000
	20-150X140 H	90	JD4	12000	12000	12000	12000	12000	12000	12000
T1	20- 40X 85		JD4	12000	12000	12000	12000	12000	12000	12000
B1	20-100X 85 R		JD4	10400	12000	12000	12000	12000	12000	12000
	20-100X115 P		JD4	12000	12000	12000	12000	12000	12000	12000
SPB1	20-150X140 P	70	JD4	0	5200	5800	6200	6600	7000	7400
	20-150X170 P	70	JD4	5400	6200	6800	7400	7800	8200	8400
	60-145X160 P	70	JD4	6600	7400	8200	8600	9200	9600	9800
	60-145X200 P	70	JD4	8600	9600	10200	10800	11400	11800	12000
	20-150X140 P	90	JD4	6200	7600	8400	9000	9600	10000	10200
	20-150X170 P	90	JD4	7800	8800	9600	10200	10800	11400	11800
	60-145X160 P	90	JD4	9800	10800	11800	12000	12000	12000	12000
	60-145X200 P	90	JD4	11800	12000	12000	12000	12000	12000	12000
	20-150X140 P	120	JD4	7600	8600	9600	10400	11200	11800	12000
	20-150X170 P	120	JD4	8800	10000	11200	12000	12000	12000	12000
	60-145X160 P	120	JD4	11200	12000	12000	12000	12000	12000	12000
	60-145X200 P	120	JD4	12000	12000	12000	12000	12000	12000	12000

CAMBER CHART (mm)							
GRADE	12.5°	15°	17.5°	20°	22.5°	25°	27.5°
F5- F11	SPAN 550	SPAN 850	SPAN 1000	SPAN 1200	SPAN 1500	SPAN 1800	SPAN 2000

MINIMUM CAMBER TO BE 3mm.

- NOTES: 1. This drawing to be read in conjunction with sheets no. C02, C03, C100 and CA1.
2. Chord depth after heel plate and apex plate indicates minimum top chord depth for which plate is adequate for the span indicated. Similarly, chord depth after panel point splice plate indicates minimum bottom chord depth.
3. If chord depth exceeds 75mm the minimum width of splice plate to be used is 75mm.

"This drawing and/or data sheet and the confidential proprietary information thereon, is the property of Gang-Nail Australia Limited., and is not to be re-produced or copied in whole or in part, or used for unauthorised manufacturing or any other exploitation of the item disclosed therein, or in any other way disclosed or used for furnishing information to others."

Drq. No. JD4 - AT900 - 41.1

Page No. 2 (REVISION 2)



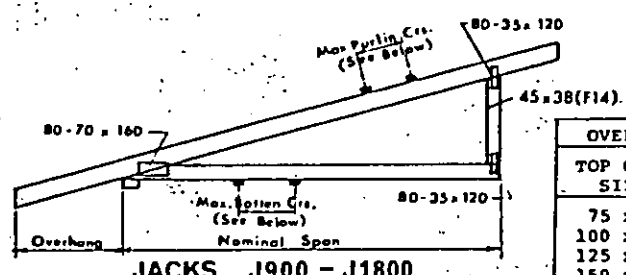
# CANBERRA ROOF TRUSSES PTY. LTD.

179 GLADSTONE ST., FYSHWICK, A.C.T., 2609  
 P.O. BOX 299, FYSHWICK, A.C.T., 2609  
 TELEPHONE: 80 5955

BLOCK: 14 SPAN: 900-1800-2700  
 SECTION: 102 OVERHANG: 600  
 PITCH: TO MATCH  
 SUBURB: YAMBURN

PLANS/FILE No. 3594/LC  
 Received Build: [Stamp]  
 Section [Stamp]

This drawing and/or data sheet, and the confidential proprietary information thereon, is the property of Automated Building Components (Aust) Pty. Ltd. and is not to be re-produced or copied in whole or in part, or used for unauthorised manufacturing or any other operation of the item disclosed therein, or in any other way disclosed or used for furnishing information to others.

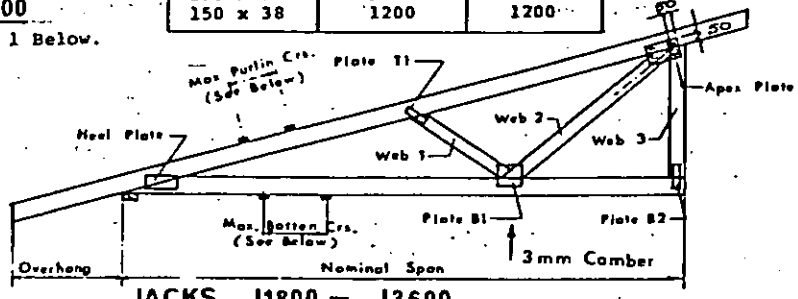


TOP CHORD SIZE	MAXIMUM OVERHANG	
	GRADE F14	GRADE F17
75 x 38	600	600
100 x 38	800	800
125 x 38	1000	1000
150 x 38	1200	1200

**JACKS J900 - J1800**

For Timber Sizes See Table 1 Below.

TOP CHORD	SIZE	GRADE	
			J900
J1800	100x38	F17	
	125x38	F14	
	100x50	F14	
BOTTOM CHORD	J900	75x38	F14
	J1800	100x38	F14
	J1800	100x50	F14



**JACKS J1800 - J3600**

For Timber and Gang-Nail Plate Sizes See Table 2 Below.

	SIZE	GRADE	(in Millimetres)				
			15°	17.5°	20°	22.5°	25°
TOP CHORD	75 x 38	F14	3600	3600	3600	3600	3600
BOTTOM CHORD	75 x 38	F14	3600	3600	3600	3600	3600
WEB 1	45 x 38	F14	3600	3600	3600	3600	3600
WEB 2	45 x 38	F14	3600	3600	3600	3600	3600
WEB 3	75 x 38	F14	3600	3600	3600	3600	3600
G-N SIZE			GROUP				
HEEL PLATE	80-70 x 160	J2	3600	3600	3600	3600	3600
PLATE T1	80-35 x 120	J2	3600	3600	3600	3600	3600
APEX PLATE	80-105 x 120	J2	-	3600	3600	3600	3600
	80-105 x 160	J2	3600	3600	-	-	-
PLATE B1	80-105 x 100	J2	-	3600	3600	3600	3600
	80-145 x 100	J2	3600	3600	-	-	-
PLATE B2	80-35 x 120	J2	3600	3600	3600	3600	3600

**GENERAL NOTES.**

- Gang-Nail plate locations are as per Automated Building Components (Aust) Pty. Ltd. Drawing No. 100, unless noted otherwise above.
- This drawing to be read in conjunction with Automated Building Components (Aust) Pty. Ltd. Drawing Nos. 002/1 and 002/2. "SPECIFICATIONS FOR THE MANUFACTURE AND APPLICATION OF STANDARD GANG-NAIL TRUSSES".
- Connect jack trusses to hip trusses with 2 No. 4.5 dia. nails through top chords and 2 No. 4.5 dia. nails through bottom chords. Nails to be fixed through corner of mitre cut in prebored holes.
- Connection of jack trusses to truncated girder trusses to be as follows:-
  - Single Truncated Girder Trusses. Fix end web of jack truss to truncated girder truss with 2 No. 4.5 dia. nails through horizontal top chord of truncated girder. Fix bottom chord of jack to truncated girder truss with 1 No. 4.5 dia. nail through bottom chord of truncated girder. (Or alternatively, use 2 No. Trip-L-Grips as noted in (ii) below).
  - Double Truncated Girder Trusses. Fix top chord of jack truss to top chord of truncated girder truss with 1 No. Trip-L-Grip and fix bottom chord of jack truss to bottom chord of truncated girder truss with 1 No. Trip-L-Grip.

TRUSS DESIGN DATA		6. Timber Type: S3		<b>Automated Building Components</b> (AUST) PTY LTD KALIMNA AVENUE, SPRINGVALE, 3171 VICTORIA TELEPHONE 546 5866	
1. Truss spans as indicated	7. Maximum Undersize: 3mm	8. Grades: As Noted	9. Moisture Content: GREEN		
2. Max. Truss Cts: 900mm	8. Grades: As Noted	STANDARD JACK TRUSSES.		Designed by: [Signature] Dp. CA. Certified by: [Signature] BE.	
3. Roof Material: TILES	9. Moisture Content: GREEN	Date: MAY 1978.		Drawing No. CR1152/SJ100	
4. Purlin / Batten Cts: 380/600mm	10. Design Wind Velocity: 44.7m/s				
5. Ceiling Material: Plaster	11. Pitch: 15°-25°				

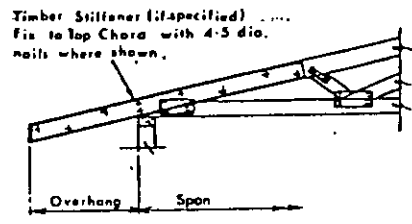
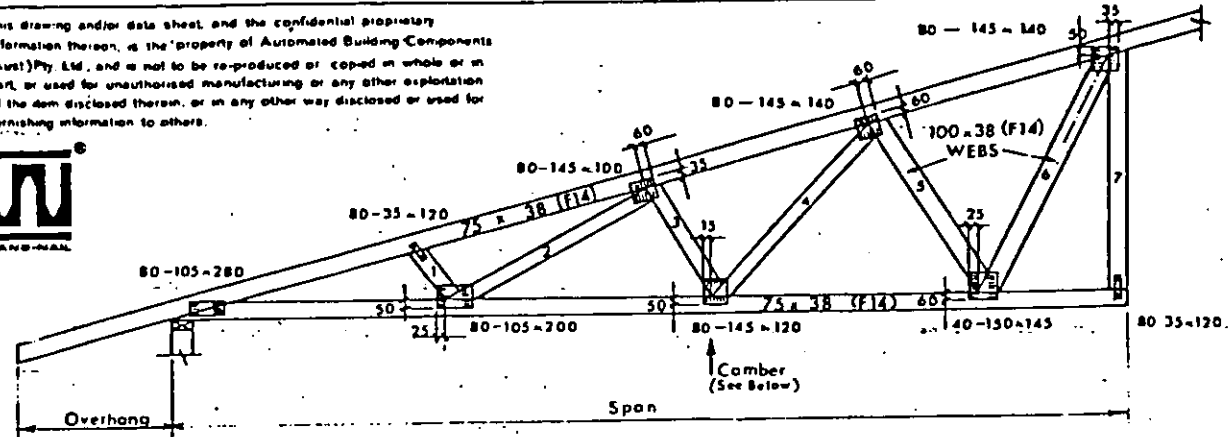
7023/12

# CANBERRA ROOF TRUSSES PTY. LTD.

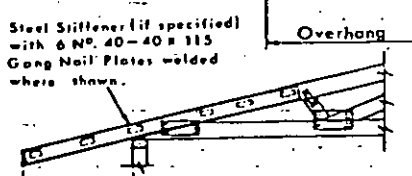
178 GLADSTONE ST., FYSHWICK, A.C.T., 2609  
 P.O. BOX 289, FYSHWICK, A.C.T., 2809  
 TELEPHONE: 80 5955

BLOCK: ..... SPAN: .....  
 SECTION: ..... OVERHANG: .....  
 PITCH: .....  
 SUBURB: .....

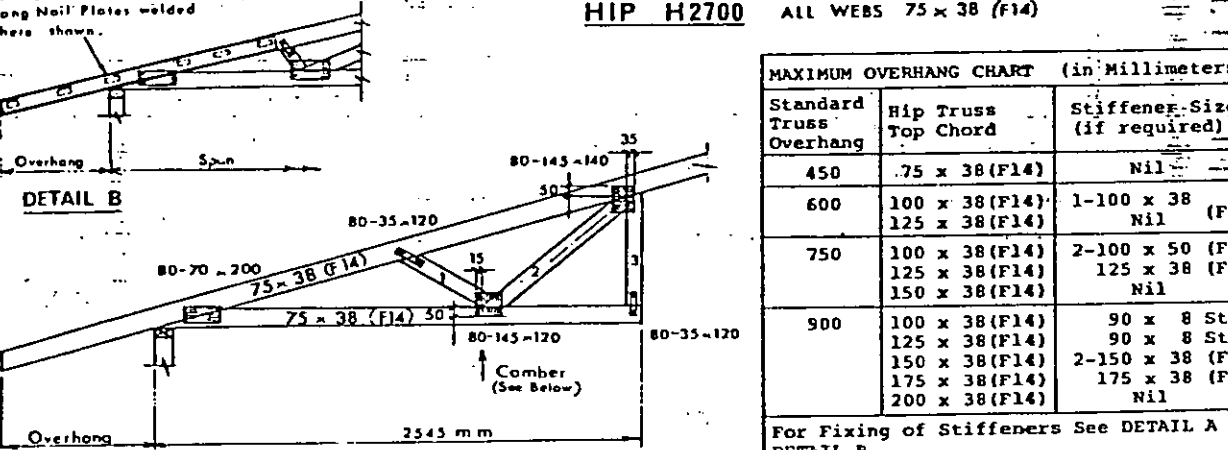
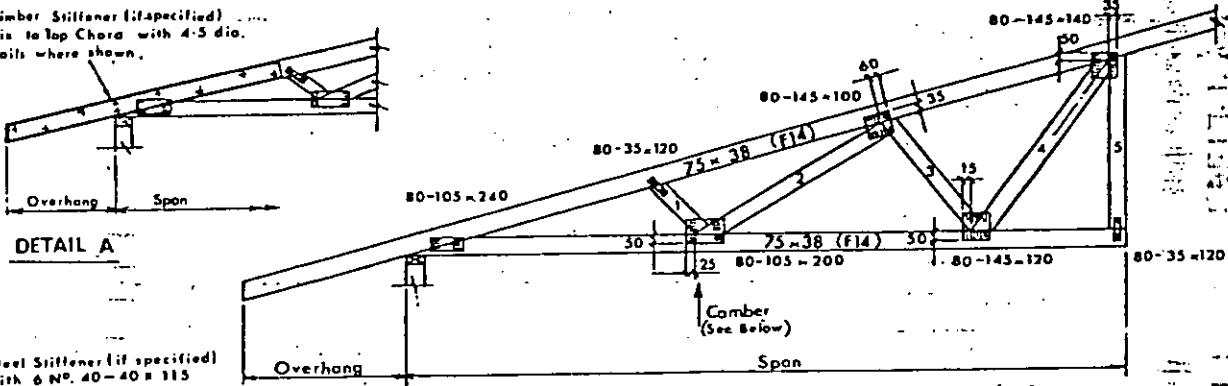
"This drawing and/or data sheet and the confidential proprietary information thereon, is the property of Automated Building Components (Aust) Pty Ltd, and is not to be re-produced or copied in whole or in part, or used for unauthorised manufacturing or any other exploitation of the design disclosed thereon, or in any other way disclosed or used for furnishing information to others."



DETAIL A



DETAIL B



Standard Truss Overhang	Hip Truss Top Chord	Stiffener Size (if required)
450	75 x 38 (F14)	Nil
600	100 x 38 (F14) 125 x 38 (F14)	1-100 x 38 (F14) Nil
750	100 x 38 (F14) 125 x 38 (F14) 150 x 38 (F14)	2-100 x 50 (F14) 125 x 38 (F14) Nil
900	100 x 38 (F14) 125 x 38 (F14) 150 x 38 (F14) 175 x 38 (F14) 200 x 38 (F14)	90 x 8 Steel 90 x 8 Steel 2-150 x 38 (F14) 175 x 38 (F14) Nil

For Fixing of Stiffeners See DETAIL A or DETAIL B.

**Notes**

1. Pitch where used on this sheet refers to Standard roof pitch.
2. This drawing to be read in conjunction with Automated Building Components (Aust) Pty Ltd Drawing Nos. 002/1 and 002/2 "SPECIFICATIONS FOR THE MANUFACTURE AND APPLICATION OF STANDARD GANG-NAIL TRUSSES".
3. Gang-Nail Plate locations are as per Automated Building Components (Aust) Pty Ltd Drawing No. 100 "PLATE POSITIONING DETAILS FOR GANG-NAIL TRUSSES" unless shown otherwise above.

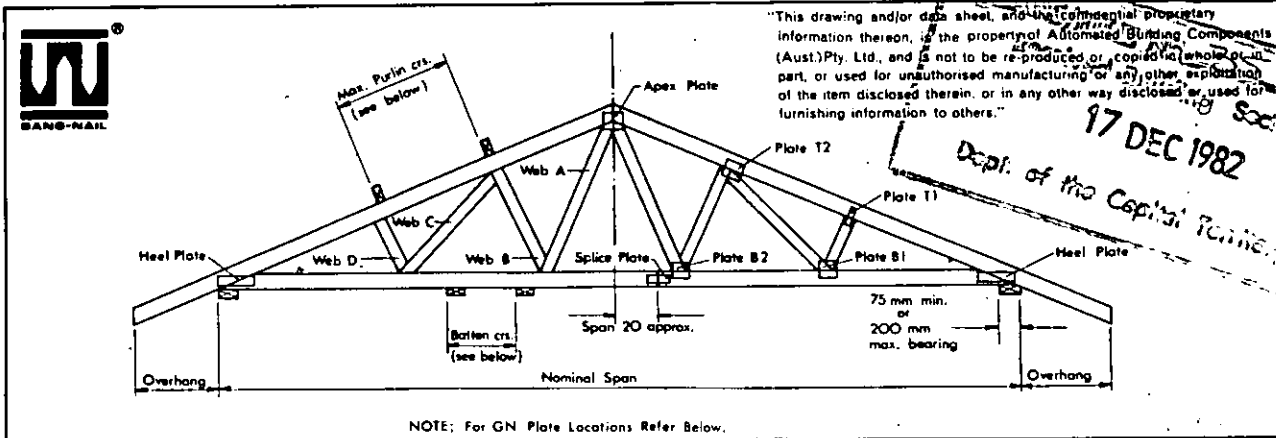
HIP	15°	17.5°	20°	22.5°	25°
H1800	6	4	3	3	3
H2700	9	6	5	4	3
H3600	12	9	7	6	5

TRUSS DESIGN DATA		6. Timber Type: S3	<b>Automated Building Components</b> (AUST) PTY LTD KALIMNA AVENUE, SPRINGVALE, 3171 VICTORIA TELEPHONE 546 8866	
1. Truss spans as indicated		7. Maximum Undersize: 3mm		
2. Max. Truss Crs: 900 mm		8. Grades: As Noted	<b>STANDARD HIP TRUSS DETAILS.</b> Designed by: <i>[Signature]</i> Dp LE Date: MAY 1978.	
3. Roof Material: TILES		9. Moisture Content: GREEN		
4. Purlin / Batten Crs: 380/600mm		10. Design Wind Velocity: 44.7m/s		
5. Ceiling Material: Plaster		11. Pitch: 15° to 25°		

**CANBERRA ROOF TRUSSES PTY. LTD.**

179 GLADSTONE ST., Fyshwick, A.C.T., 2809  
P.O. BOX 299, Fyshwick, A.C.T., 2809  
TELEPHONE: 80 5955

BLOCK: 14 SPAN: 7300  
SECTION: 102 OVERHANG: 600  
PITCH: TO MATCH  
SUBURB: KAMBERRA



"This drawing and/or data sheet, and the confidential proprietary information thereon, is the property of Automated Building Components (Aust.) Pty. Ltd. and is not to be re-produced or copied in whole or in part, or used for unauthorised manufacturing or any other exploitation of the item disclosed therein, or in any other way disclosed or used for furnishing information to others."

Section 1444/C  
17 DEC 1982  
Dept. of the Capital Territory

MEMBER	SIZE	GRADE	12.5° - 17.5°							22.5° - 27.5°						
			SPAN CARRIED							SPAN CARRIED						
			4000	5000	6000	7000	8000	9000	10000	4000	5000	6000	7000	8000	9000	10000
TOP CHORD	100 x 50	F8	'6900'	'6300'	-	-	-	-	-	7500	6900	6600	6300	6000*	'6000'	-
	100 x 50	F11	6600*	6000*	'6600'	'6300'	'6000'	-	-	8100*	7500*	7200	6900	6000*	6300*	6000*
	100 x 50	F14	7200*	6600*	6300*	'6000'	'6600'	'6300'	'6000'	9000*	8400*	8100	7500*	7200*	6900*	6600*
	100 x 50	F17	7800*	7200*	6900*	6600*	6300*	6000*	'6600'	9900*	9300*	8700*	8400*	7800*	7500*	7200*
	125 x 50	F8	7200*	6300*	'7500'	'6600'	'6000'	-	-	9300*	8700*	8400*	7800*	7500*	6900*	6300*
	125 x 50	F11	8100*	7800*	6900*	6300*	'7500'	'7200'	'6600'	10200	9600*	9000*	8700*	8100*	7800	7200
	125 x 50	F14	9300*	8700*	8100*	7500*	7200*	6600*	6000*	10200	10200	10200	9600	8700	7800	7200
	125 x 50	F17	9900*	9300*	8700*	8100*	7800*	7500*	7200*	10200	10200	10200	9800	8700	7800	7200
	150 x 50	F8	8700*	7500*	6000*	6000*	'7500'	'6900'	'6300'	10200	10200	10200	9600	8700	7800	7200
	150 x 50	F11	9900*	9300*	8700*	8000*	7800*	7800*	7800*	10200	10200	10200	9800	8700	7800	7200
	150 x 50	F14	10200	10200	9600*	9300*	8400*	7800*	7500*	10200	10200	10200	9800	8700	7800	7200
	150 x 50	F17	10200	10200	10200	9600*	8400*	7800*	7500*	10200	10200	10200	9800	8700	7800	7200
	BOTTOM CHORD	125 x 50	F8	-	-	-	-	-	-	-	6000*	-	-	-	-	-
125 x 50		F11	'6600'	-	-	-	-	-	-	7800*	6300*	'6000'	-	-	-	
125 x 50		F14	7200*	6000*	'6300'	-	-	-	-	9600*	8400*	7200*	6300*	'6000'	-	
125 x 50		F17	9000*	7500*	6600*	'6900'	'6300'	-	-	10200	9900*	9000*	8100*	7200*	6300*	
150 x 50		F8	'6900'	-	-	-	-	-	-	8100*	6900*	-	-	-	-	
150 x 50		F11	7200*	6000*	'6600'	-	-	-	-	9900*	9000*	7200*	6600*	'6600'	-	
150 x 50		F14	9300*	7800*	6900*	6000*	'6600'	'6000'	-	10200	10200	9300*	8400*	7500*	6900*	
150 x 50		F17	10200	9900*	8700*	7500*	6900*	6000*	'6900'	10200	10200	10200	9800	8700	7800	
175 x 50		F8	7200*	6000*	'6300'	-	-	-	-	9900*	8700*	7500*	6600*	'6000'	-	
175 x 50		F11	9000*	7800*	6600*	'7200'	'6600'	-	-	10200	10200	9600*	8400*	7500*	6900*	
175 x 50	F14	10200	9600*	8400*	7500*	6600*	6000*	'6900'	10200	10200	10200	9800	8700	7800		
175 x 50	F17	10200	10200	10200	9600*	8400*	7800*	7500*	10200	10200	10200	9800	8700	7800		
WEB A	125 x 50	F8	10200	10200	10200	9600*	8400*	7800*	7500*	10200	10200	10200	9800	8700	7800	
WEB B	100 x 50	F8	10200	10200	10200	9600*	8400*	7800*	7500*	10200	10200	10200	9800	8700	7800	
WEB C	100 x 50	F8	10200	10200	10200	9600*	8400*	7800*	7500*	10200	10200	10200	9800	8700	7800	
WEB D	100 x 50	F8	10200	10200	10200	9600*	8400*	7800*	7500*	10200	10200	10200	9800	8700	7800	

NOTE: \* Indicates Increase Span by 600 mm for higher pitch  
# Indicates Increase Span by 1200 mm for higher pitch  
'Span' - Span shown applies to higher pitch only

PLATE	SIZE	4000	5000	6000	7000	8000	9000	10000	4000	5000	6000	7000	8000	9000	10000
HEEL PLATES	40-150 x 230	5400#	4500#	4000#	3700#	3300#	2800#	2400#	8100	6900	6000	5400	4800	4300	3900
	40-150 x 290	7300#	6200#	5500#	4900#	4400#	3800#	3400#	10200	10200	9500	8400	7600	6800	6200
	40-150 x 400	10200	8900#	7700#	6800#	6100#	5500#	4900#	10200	10200	10200	9800	8700	7800	7200
	40-150 x 340	10200	10200	9300*	8100*	7300*	6600*	6000*							
	+40-115 x 170														
	40-150 x 400	10200	10200	10200	9700*	8900*	8100*	7400*							
APEX PLATES	40-150 x 230	10200	9700	8400#	7400#	6700#	6200*	5500*	10200	10200	10200	9400	8400	7600	6900
	40-150 x 290	10200	10200	10200	10000	9000*	8300*	7400*	10200	10200	10200	10200	9900	9100	8300
PLATE B1	40-150 x 145	10200	9000	7600	6800	6000	5400	4800	8600	7200	6100	5400	4600	4200	3800
	40-150 x 230	10200	10200	10200	10200	10000	9200	8400	10200	10200	10200	10200	10200	10000	9400
PLATE B2	40-150 x 170	10200	10200	10200	9700*	8700*	8100*	7200*	10200	10200	10200	10200	10200	9500	8600
	40-150 x 230	10200	10200	10200	10200	10200	10200	9800	10200	10200	10200	10200	10200	9900	9100
PLATE T2	40-150 x 170	10200	10200	10100	8800	7900	7100	6400	10200	10200	10200	9400	8200	7400	6800
	40-150 x 230	10200	10200	10200	10200	9800	8800	8100	10200	10200	10200	10200	10200	9800	9200
SPLICE PLATE	40-115 x 290	10200	8900#	8100#	7100#	6500#	6000#	5400#	10200	10200	10200	10200	10200	10200	10100
	40-150 x 290	10200	10200	10200	9500*	8500*	7700*	7100*	10200	10200	10200	10200	10200	10200	10200

TRUSS DESIGN DATA		6. Timber Type: S1 - S6	
1. Truss spans as indicated	7. Maximum Undersize: 3mm		
2. Max. Truss Crs: 900 mm	8. Grades: As Noted		
3. Roof Material: Tiles	9. Moisture Content: Green		
4. Purlin / Batten Crs: 380/600 mm	10. Design Wind Velocity: 44.7m/s		
5. Ceiling Material: 10 mm Plaster	11. Pitch: As Noted		

**Automated Building Components**  
KALIMNA AVENUE, SPRINGVALE, 3171 VICTORIA  
DESIGNED BY: *[Signature]*  
DATE: NOVEMBER 1977

**Girder Truss - Type B**

(AUST.) PTY. LTD.  
TELEPHONE 546 8866  
CERTIFIED BY: *[Signature]*  
DRAWING NO. GBHT 906/W44.7

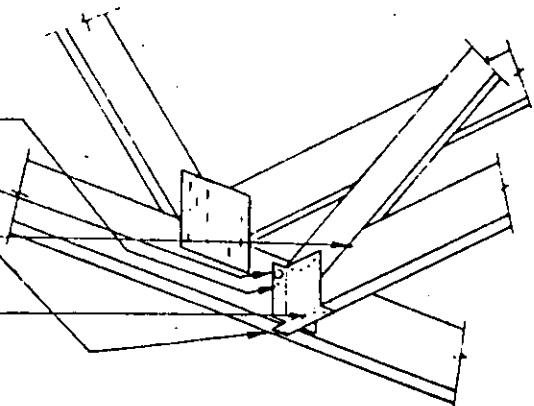
D 23  
1/2

**GENERAL NOTES.**

1. **GIRDER TRUSS BRACKETS:** Support Standard Trusses on Bottom Chord of Girder Truss with Gang-Nail Girder Truss Brackets Mk. II fixed in accordance with instructions below.
2. **DOUBLE TRUSSES:**
  - i) The span of the truss being carried may be doubled if a double girder truss is used provided the maximum span of the girder truss remains as specified.
  - ii) The span of the girder truss may be increased by 33% if a double girder truss is used, provided the maximum span of the truss being carried remains as specified.
  - iii) Where double trusses are used, purlins are to be fixed to the top chord of each truss.
  - iv) Double trusses are to be joined as follows.
    - Top Chord and Webs - use 4.5  $\phi$  nails at 450 mm maximum centres, staggered one side only.
    - Bottom Chord - use 4.5  $\phi$  nails at 300 mm maximum centres, staggered one side only.
3. **OVERHANG:** For maximum overhang recommendations refer to Drawing No. CRT152/BHT 900/1.

**FIXING INSTRUCTIONS: - GANG-NAIL GIRDER BRACKET MARK II**

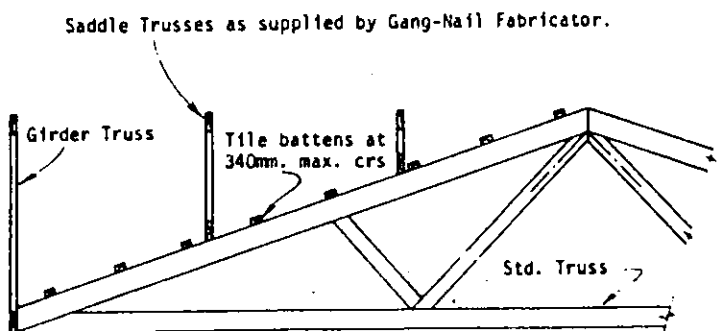
1. Measure correct location on the girder (truss) and apply the two locating nails to hold bracket in position.
2. Match drill two 12  $\phi$  holes and apply two M12 bolts. Use washers to back of girder. (Retighten bolts during maintenance)
3. Apply four nails through tongue of bracket to underside of girder.
4. Fit supported truss into shoe of bracket, and press up hard to face of girder.
5. Apply twelve nails through girder bracket to the supported truss (or beam) i.e. all nail holes to be filled. Nails as above.
6. Bolts - Do not use reduced shank bolts such as coach bolts.
7. All nails to be 30 x 3.15 galvanised flat head.



**SAFE LOAD - GANG-NAIL GIRDER BRACKET MK. II**

Mk.II brackets are suitable for supporting standard trusses at 900 centres up to a maximum span of 17000 mm. Brackets are available to suit 38 and 50 thick standard trusses. (N.B. The Above maximum span is for 50 thick girder trusses only.)

**NOTE: WHEN USING GIRDER TRUSSES**  
Lateral restraint must be provided to truss top chord at the design maximum batten centres or less. Particular care should be taken to provide restraint where saddle trusses are used over standard trusses.

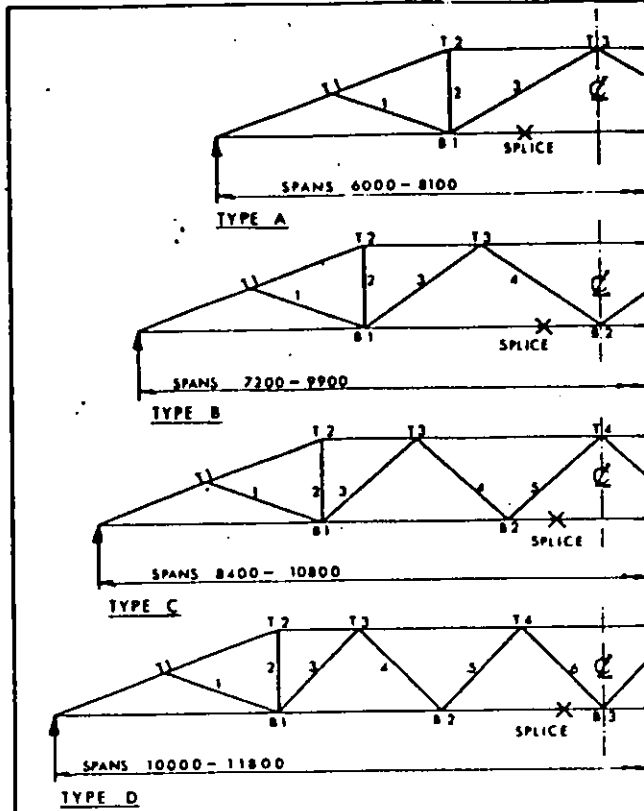


DESIGN DATA.		<b>Automated Building Components</b> KALIMNA AVENUE, SPRINGVALE, 3171 VICTORIA		MAUST PTY LTD TELEPHONE 548 8881	
Timber Type:	S3/J2				
Design W/V:	44.5 $\phi$ / e	<b>FIXING INSTRUCTIONS FOR GANG-NAIL GIRDER TRUSSES</b>			
Pitch:	ANY				
Truss Cre:	900 max.				
Roof Material:	Tiles				
Ceiling Matl.	Plaster				
Designed by:	<i>A. Martin</i>	Certified by:	<i>[Signature]</i> <b>Eng. M.I.E. M7</b>	Date:	10th October, 1979
		Drawing No		CRT 152-GB	

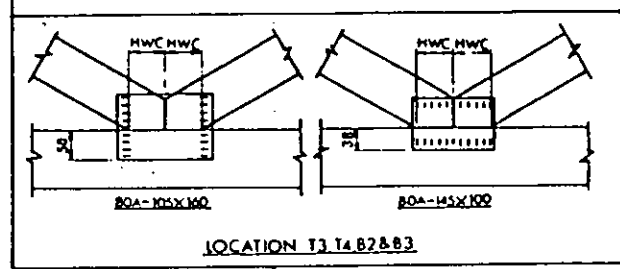
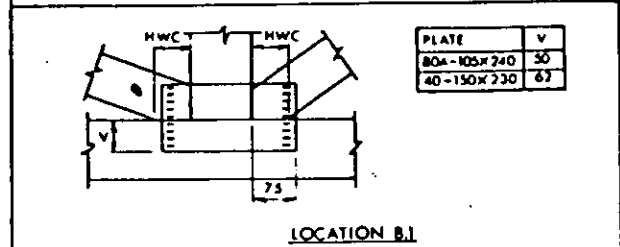
# CANBERRA ROOF TRUSSES PTY. LTD.

179 GLADSTONE ST., Fyshwick, A.C.T., 2609  
 P.O. BOX 299, Fyshwick, A.C.T., 2609  
 TELEPHONE: 80 5955

BLOCK 14 SPAN 7300  
 SECTION: 1021 OVERHANG: 600  
 PITCH: TO MATCH  
 SUBURB: KAMBALLA



FLANS/FILE No. 2001-1021-100  
 Received Building Section  
**17 DEC 1982**  
 D.P. of the Capital Territory  
 LOCATION T2



Note: HWC = Horizontal web cut of 62mm.

SPAN	GRADE	15°	17.5°	20°	22.5°	25°
6000	F7	12	9	9	6	6
	F8	12	9	9	6	6
	F11	12	9	9	6	6
	F14	12	9	6	6	6
	F17	12	9	6	6	3
8000	F7	21	18	15	15	12
	F8	18	18	15	15	12
	F11	18	18	15	15	12
	F14	18	18	12	12	9
	F17	18	15	12	12	9
10000	F7	-	33	24	21	18
	F8	30	27	21	18	15
	F11	30	24	21	18	15
	F14	30	24	18	18	15
	F17	30	21	18	18	15
12000	F7	-	-	-	42	33
	F8	-	45	42	36	27
	F11	-	45	42	33	27
	F14	48	45	33	30	21
	F17	42	39	30	27	21

SLOPING TOP CHORD	TIMBER SIZE	GRADE	15°	17.5°	20°	22.5°	25°	
			F11	6300	6900	7200	7200	7200
WEB 2	125 x 38	F14	6300	6900	7500	8100	8100	
		F17	6300	6900	7500	8100	8100	
		100 x 50	F14	-	6000	6000	6300	6000
			F17	6900	7200	7500	7500	7500
			F7	-	-	-	6000	6000
	2-100 x 38	F8	6600	7200	7800	8100	8100	
		F11	6600	7200	8400	8700	9300	
		F14	8400	9000	9600	10200	10500	
		F17	8400	9000	9600	10200	10500	
		F11	-	8400	9000	9000	-	
2-125 x 38	F14	9300	9900	10500	10800	-		
	F17	9300	9900	10500	10800	-		
	F7	-	8400	9000	9600	-		
2-100 x 50	F8	9300	9900	9900	10200	10200		
	F11	10800	11500	11800	11800	11300		
	F14	11800	11800	11800	11800	11800		
2-125 x 50	F17	11800	11800	-	-	-		
	F7	11500	11800	-	-	-		
WEBS 4, 5, 66	100 x 38	F7	-	ALL SPANS	-	-		
	100 x 50	F7	-	ALL SPANS	-	-		
	2-100 x 38	F7	-	ALL SPANS	-	-		
	2-100 x 50	F7	-	ALL SPANS	-	-		
75 x 50	F7	-	ALL SPANS	-	-	-		
	2-75 x 38	F7	-	ALL SPANS	-	-		
	2-75 x 50	F7	-	ALL SPANS	-	-		

1. Truss spans as indicated	6. Timber Type: S <sub>1</sub> to S <sub>5</sub>
2. Max. Truss Crs: 900 mm	7. Maximum Undersize: 3 mm
3. Roof Material: Tiles	8. Grades As Noted:
4. Purlin or Batten Crs: 340 mm	9. Moisture Content: Green
5. Ceiling Material: 13mm Plaster	10. Design Wind Velocity: 160 km/h
	11. Pitch As Noted

**Automated Building Components** (AUST PTY LTD)  
 KALIMNA AVENUE, SPRINGVALE, 3121 VICTORIA TELEPHONE 546 8866

**T.G 2700** DB3

Designed by: A.M. Certified by: *[Signature]*  
 Date: 19-3-1974 Drawing No: TGH 2700

		MAXIMUM SPAN CHART (in millimetres)							
		TIMBER SIZE	GRADE	15°	17.5°	20°	22.5°	25°	
<b>TYPE A</b>	SINGLE 38mm	HORIZONTAL TOP CHORD	150 x 38	F11	-	-	-	6000	6000
				F14	-	-	-	6000	6300
				F17	-	-	6300	6600	6900
		-175 x 38	F8	-	-	-	-	6000	6000
			F11	-	-	-	-	6000	6300
			F14	6000	6000	6300	6600	7200	
		200 x 38	F17	6300	6300	6900	7200	7800	
			F7	-	-	-	-	6000	6000
			F8	-	-	6000	6300	6600	
	F11	-	-	6300	6900	7500	7800		
		F14	6000	6300	6900	7500	8100		
		F17	6300	6900	7500	8100	8100		
	BOTTOM CHORD	100 x 38	F7	-	-	-	6000	6300	
			F8	-	-	6300	6600	6600	
			F11	-	-	6300	6600	6900	
		125 x 38	F14	6300	6900	7200	7500	7500	
			F17	6300	6900	7500	7800	8100	
			F7	6300	6900	7500	8100	8100	
WEB 3	75 x 38	F8	6300	6900	7200	7500	7500		
		F11	-	-	7500	7800	7800		
		F14	-	-	-	8100	8100		
SINGLE 50mm	HORIZONTAL TOP CHORD	100 x 50	F8	-	-	-	-	6000	
			F11	-	-	6000	6000	6300	
			F14	-	6000	6300	6600	6900	
		125 x 50	F17	6000	6600	6900	7200	7200	
			F7	-	-	-	6000	6300	
			F8	-	6000	6300	6600	6900	
	F11	6000	6300	6900	7200	7500			
		F14	6600	6900	7500	7800	8100		
		F17	6900	7500	8100	8100	8100		
	150 x 50	F7	-	6000	6300	6600	7200		
		F8	6300	6600	7200	7500	8100		
		F11	6600	7200	7800	8100	8100		
	BOTTOM CHORD	100 x 50	F14	7200	7800	8100	8100	8100	
			F17	7500	8100	8100	8100	8100	
			F7	6300	6900	7200	7500	7500	
		125 x 50	F8	6600	7200	7500	7800	8100	
			F11	6600	7200	7800	8100	8100	
			F14	7500	8100	8100	8100	8100	
150 x 50	F17	7500	8100	8100	8100	8100			
	F7	7800	-	-	-	-			
	F17	7800	-	-	-	-			
WEB 3	75 x 50	F7	-	-	-	-	-		
		ALL SPANS							
		ALL SPANS							
<b>TYPE B</b>	HORIZONTAL TOP CHORD	125 x 50	F8	-	-	-	-	7200	
			F11	-	-	-	7500	7800	
			F14	-	7200	7500	7800	8400	
		150 x 50	F17	-	7500	7800	8400	8700	
			F7	-	-	-	-	7200	
			F8	-	-	7200	7800	8100	
	F11	-	7200	7800	8100	8400			
		F14	7200	7800	8400	8700	9300		
		F17	7800	8100	8700	9300	9900		
	BOTTOM CHORD	100 x 50	F7	-	-	7500	7800	8100	
			F8	-	7200	7800	8100	8400	
			F11	-	7200	7800	8100	8400	
		125 x 50	F14	7500	8100	8700	9300	9900	
			F17	7500	8100	8700	9300	9900	
			F7	-	7200	7800	8100	8400	
	150 x 50	F8	-	-	-	-	-		
		F11	-	-	-	-	-		
		F14	7800	-	-	-	-		
F17	7800	-	-	-	-	-			
	WEB 3	75 x 50	F7	7800	8100	8700	9300	9600	
			F8	-	-	-	-	9900	
ALL SPANS									

		TIMBER SIZE	MAXIMUM SPAN		CHANGES				
			GRADE	15°	20°	25°	30°	35°	
TYPE C	SINGLE 50mm	HORIZONTAL TOP CHORD	125 x 50	F11	-	-	-	-	9000
				F14	-	-	-	-	8400
				F17	-	-	-	-	8700
			150 x 50	F8	-	-	-	-	8700
			F11	-	-	-	-	-	9300
			F14	-	-	-	-	-	10200
		F17	-	-	-	-	-	10800	
		BOTTOM CHORD	100 x 50	F7	-	-	-	-	9300
			F8	-	-	-	-	-	8700
			F11	-	-	-	-	-	9300
			F14	7500	8400	9000	9600	10200	10200
			F17	7500	8400	9000	9600	10200	10200
		150 x 50	F7	-	-	-	-	-	
		F8	-	-	-	-	-	-	
		F11	-	-	-	-	-	-	
		F14	8400	9000	9600	10200	10800	10800	
		F17	8400	9000	9600	10200	10800	10800	
	WEB 3	75 x 50	F7	8400	9900	9600	10200	10500	
			F8	-	-	-	-	10800	
	DOUBLE 38mm	HORIZONTAL TOP CHORD	2-100 x 38	F14	-	-	-	8400	
			F17	-	-	-	-	8700	
			F11	-	-	-	-	8400	
		2-125 x 38	F14	-	8400	9000	9600	10200	
		F17	8400	8400	9000	9600	10200	10200	
		F8	-	-	-	-	8700	9300	
	2-150 x 38	F11	-	8400	9000	9600	10200		
		F14	8700	9300	9900	10500	10500		
		F17	9300	9900	10500	10800	10800		
	BOTTOM CHORD	2-100 x 38	F8	-	8400	9000	9600	9600	
		F11	-	8400	9000	9600	9600		
		F14	9300	9900	10500	10800	10800		
		F17	9300	9900	10500	10800	10800		
	WEB 3	2-75 x 38	F7	ALL SPANS					
	DOUBLE 50mm	HORIZONTAL TOP CHORD	2-100 x 50	F7	-	-	8400	8700	9000
			F8	-	-	8700	9000	9600	9900
			F11	8700	9000	9600	10200	10500	10500
			F14	9000	9600	10200	10800	10800	10800
			F17	9600	10200	10800	10800	10800	10800
			F7	8700	9000	9600	10200	10500	10500
		2-125 x 50	F8	9300	9900	10500	10800	10800	
			F11	9900	10500	10800			
			F14	10500	10800				
			F17	10800	10800				
		2-150 x 50	F7	9600	10200				
			F8	10500	10800				
		F11	10800						
	BOTTOM CHORD	2-100 x 50	F7	9600	10500	10800	10800	10800	
		F8	9600	10500	10800	10800	10800		
		F11	9600	10500	10800	10800	10800		
		F14	10800	10800	10800	10800	10800		
		F17	10800	10800	10800	10800	10800		
	2-125 x 50	F7	9900	10500					
		F8	9900	10500					
		F11	9900	10500					
	2-150 x 50	F7	10800	10800					
		F8	10800	10800					
		F11	10800	10800					
	WEB 3	2-75 x 50	F7	ALL SPANS					
TYPE D	SINGLE 50mm	HORIZONTAL TOP CHORD	2-100 x 50	F8	-	-	-	10000	
				F11	-	-	10000	10600	
				F14	-	10300	10900	11500	11800
			F17	10000	10900	11500	11800	11800	
			2-125 x 50	F7	-	-	10300	10600	
			F8	-	10300	10900	11500	11800	
		F11	10300	10900	11800	11800	11800		
		F14	10900	11800	11800	11800	11800		
		F17	11500	11800	11800	11800	11800		
		2-150 x 50	F7	-	10600	11500			
		F8	10900	11800	11800				
		F11	11500						
	F14	11800							
	BOTTOM CHORD	2-100 x 50	F7	9600	10500	11800	11800	11800	
		F8	9600	10500	11800	11800	11800		
		F11	9600	10500	11800	11800	11800		
		F14	10500	11800	11800	11800	11800		
		F17	10500	11800	11800	11800	11800		
	2-150 x 50	F7	11500	11800					
		F8	11500	11800					
		F11	11500	11800					
		F14	11800	11800					
		F17	11800						
	WEB 3	2-75 x 50	F7	ALL SPANS					

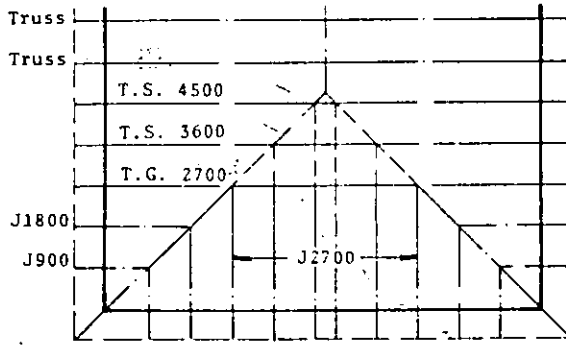
PLANS/Specs/Drawings  
 Received Building Dept.  
 17-DEC-1988  
 Dept. of the Capital Territory

M23  
 10-11



MAXIMUM SPAN CHART (in millimetres)								
HEEL PLATES	PLATE SIZE	GROUP	15°	17.5°	20°	22.5°	25°	
	HEEL PLATES	80A-105 x 240	J2&J3	7500	8700	9600	10200	10800
J4			6600	7200	8400	8700	9300	
80A-105 x 280		J2&J3	8400	9600	9600	10200	10800	
		J4	6600	7200	8400	8700	9300	
4-80A-105 x 240		J2&J3	11800	11800	11800	11800	11800	
		J4	11500	11800	11800	11800	11800	
SPLICE PLATE	40-55 x 290	J2	6100	7200	7800	8400	9000	
		J3	6100	7200	7800	8400	9000	
		J4	-	6300	7200	7500	8100	
	40-75 x 290	J2	7500	8400	9000	9600	10200	
		J3	7500	8400	9000	9600	10200	
		J4	6600	7200	8400	8700	9300	
	40-115 x 230	J2	8400	9000	9600	10200	10800	
		J3	8400	9000	9600	10200	10800	
		J4	-	9300	9900	10800	11800	
	4-40-55 x 290	J2	9000	10200	11500	11800	11800	
		J3	9000	10200	11500	11800	11800	
		J4	-	9300	9900	10800	11800	
	4-40-75 x 290	J2	10500	11800	11800	11800	11800	
		J3	10500	11800	11800	11800	11800	
		J4	9600	10500	11800	11800	11800	
	4-40-115 x 230	J2	11800	11800	11800	11800	11800	
		J3	11800	11800	11800	11800	11800	
		J4	10500	11800	11800	11800	11800	
4-40-115 x 290	J2	11500	11800	11800	11800	11800		
	J3	11500	11800	11800	11800	11800		
	J4	-	11800	11800	11800	11800		
PLATE T2	40-150 x 250	J2	7500	8700	9600	10200	10800	
		J3	6900	7500	8400	9600	10200	
		J4	-	6300	7200	7800	8400	
	40-150 x 290	J2	8400	9000	9600	10200	10800	
		J3	8400	9000	9600	10200	10800	
		J4	6600	7200	8400	8700	9300	
	4-40-150 x 230	J2	11800	11800	11800	11800	11800	
		J3	11800	11800	11800	11800	11800	
		J4	9300	10800	11800	11800	11800	
	4-40-150 x 290	J2	11500	11800	11800	11800	11800	
		J3	11500	11800	11800	11800	11800	
		J4	-	11800	11800	11800	11800	
PLATE B1	80A-105 x 240	J2&J3	7800	8400	8700	9000	9300	
		J4	6600	7200	8400	8700	9300	
	40-150 x 230	J2	8400	9000	9600	10200	10800	
		J3	8400	9000	9600	10200	10800	
		J4	6600	7200	8400	8700	9300	
	4-80A-105 x 240	J2&J3	10800	11500	11800	11800	11800	
		J4	9600	9900	10500	10800	11500	
		J2	11800	11800	11800	11800	11800	
	4-40-150 x 230	J2	11800	11800	11800	11800	11800	
		J3	11800	11800	11800	11800	11800	
		J4	11500	11800	11800	11800	11800	
	PLATE T3	80A-145 x 100	J2&J3	7500	8100	8700	9000	9000
J4			6600	7200	8400	8700	8700	
80A-105 x 160		J2&J3	8400	9000	9600	10200	10800	
		J4	6600	7200	8400	8700	9300	
4-80A-145 x 100		J2&J3	9900	10500	11500	11800	11800	
		J4	9300	10200	11100	11500	11800	
4-80A-105 x 160		J2&J3	11800	11800	11800	11800	11800	
		J4	11500	11800	11800	11800	11800	
PLATE B2, B3, & T4		80A-145 x 100	J2&J3	8400	9000	9600	10200	10800
			J4	6600	7200	8400	8700	9300
		4-80A-145 x 100	J2&J3	11100	11800	11800	11800	11800
			J4	10800	11100	11800	11800	11800
	4-80A-105 x 160	J2&J3	11800	11800	11800	11800	11800	
		J4	11500	11800	11800	11800	11800	
PLATE T1	40-40x115	J2&J3	ALL SPANS					
	4-40-40x115	J2&J3	ALL SPANS					

Standard Gable Truss  
Standard Gable Truss

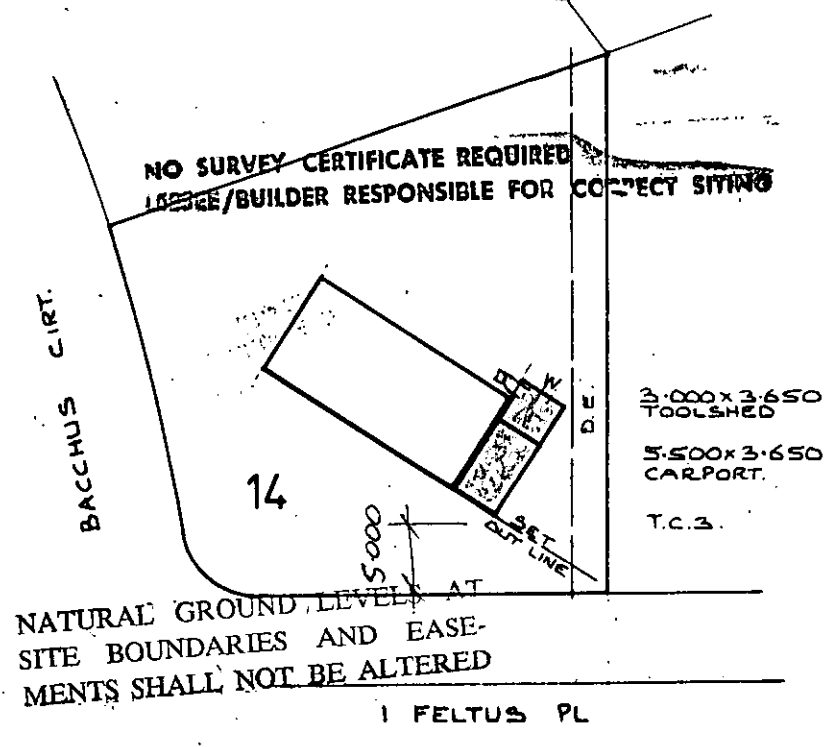


HIP END LAYOUT FOR T.G. 2700

NOTE: Bottom Chords of Jack Trusses are to be fixed securely to bottom Chord of T. G. Truss using Type 'GG' Trip-L-Grip.

PLANS/FILE No. 329-44-1 B  
 Received Building Section  
 30 JAN 1980  
 Dept. of the Capital Territory

S1/2



APPROVED FOR CONSTRUCTION BY THE HOLDER  
 OF A CLASS "D" LICENCE.  
 CLASS OF OCCUPANCY: RESIDENCE I  
 OUTBUILDINGS X  
 -8 FEB 1980  
 DEPUTY BUILDING CONTROLLER

AMENDED SITE PLAN.  
 J.P. Quigley  
 1 Feltus Place.  
 KAMBAH.  
 Block 14 Section 102

BUILDINGS (DESIGN AND SITING)  
 APPROVAL GRANTED  
 - 4 FEB 1980  
 DELEGATE  
 NATIONAL CAPITAL  
 DEVELOPMENT COMMISSION

AMENDED APPROVAL BY

ENGINEER FOR WATER SUPPLY AND SEWERAGE	/ / 19
CHIEF ELECTRICAL ENGINEER	/ / 19
STRUCTURAL ENGINEER	/ / 19
SENIOR TECHNICAL OFFICER	/ / 19

DEPARTMENT OF CONSTRUCTION  
 BUILDING PERMITS  
 4 FEB 1980  
 1000 WEST 10TH AVENUE  
 DENVER, COLORADO 80202

BUILDING WORK SHALL BE CONSTRUCTED IN  
 ACCORDANCE WITH THE APPROVED PLANS THE  
 BUILDING MANUAL ACT, THE NOTATIONS SPECIFIED  
 ON THE PLANS AND ANY MATTERS SPECIFIED  
 ON THE BUILDING PERMIT. THE APPROVAL OF  
 PLANS OR THE GRANT OF A BUILDING PERMIT  
 DOES NOT AFFECT THE OPERATION OF ANY  
 OTHER LAW IN THE TERRITORY, NOR DOES IT  
 AUTHORIZE THE USE OF THE LAND CONTRARY  
 TO A PROVISION, COVENANT OR CONDITION  
 OF LEASE.  
 MODIFICATIONS IF APPLICABLE

2/18

City of Denver

694

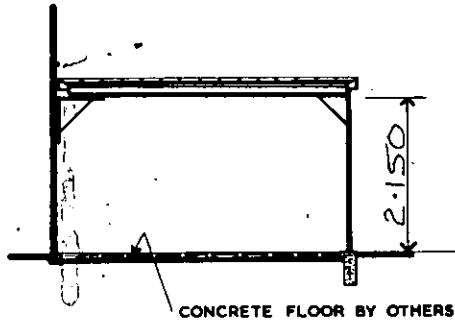
# FAIRMONT CARPORT-AND-TOOLSHED

PLANS/FILE No. 35944 B  
Received Building Section

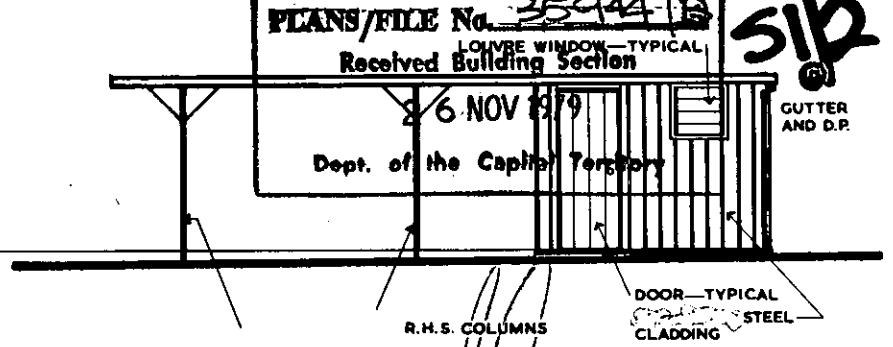
SIP

6 NOV 1979  
Dept. of the Capital Territory

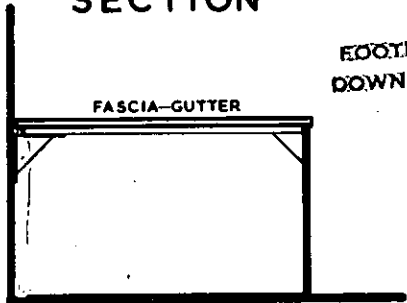
GUTTER AND D.P.



SECTION



SIDE ELEVATION (TYPICAL)



FRONT ELEVATION

ROOTINGS TO BE TAKEN DOWN TO SOLID GROUND

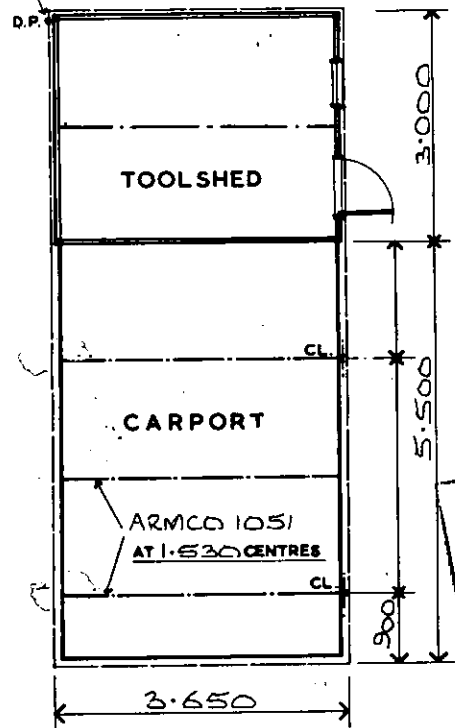
- 8 FEB 1980

The proposed structure shown on this plan has been sited clear of the electricity service to the residence, and may be erected on the site indicated.

*[Signature]*  
CHIEF ELECTRICAL ENGINEER

DESIGN AND SITING APPROVAL GRANTED  
 30 NOV 1979  
 DELEGATE *[Signature]*  
 NATIONAL CAPITAL DEVELOPMENT COMMISSION

POSITION OF D.P. VARIABLE - AS SHOWN ON SITE PLAN  
POSITION OF WINDOW AND DOOR AS REQUIRED BY LESSEE IN ACCORDANCE WITH SITE PLAN



PLAN (TYPICAL)

*Superseded to section only*

*5/w movement 2.5 width  
Resite Toolshed to clear driveway*

3.000 x 3.650 TOOLSHED  
5.500 x 3.650 CARPORT

T.C 3

BACCHUS 14

**BUILDING WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS THE BUILDING MANUAL ACT, THE NOTATIONS MADE ON THE PLANS AND ANY MATTERS SPECIFIED ON THE BUILDING PERMIT. THE APPROVAL OF PLANS OR THE GRANT OF A BUILDING PERMIT DOES NOT AFFECT THE OPERATION OF ANY OTHER LAW IN THE TERRITORY, NOR DOES IT AUTHORISE THE USE OF THE LAND CONTRARY TO A PROVISION, COVENANT OR CONDITION OF A SITE LEASE.**

MODIFICATIONS, IF APPLICABLE  
500

PORTSHED FOR J.P. QUIGLEY

AT 14/102 KAMBAH

W. B. ENGINEERING PTY. LTD.  
12 ISA STREET, Fyshwick, PHONE 950746

SCALES : 1 : 100, 1 : 500  
DRAWN : HOME & GENERAL BUILDING CONSULTANTS PTY. LTD.

UNLESS OTHERWISE SHOWN WHOLE NUMBERS INDICATE MILLIMETRES, DECIMALIZED FIGURES (TO THIRD DECIMAL PLACE) INDICATE METRES.

DATE : 3. 5. 74  
NO. : 6914 C

14-102 KAMBAH

# STEELFAST

## Timber Roof Trusses

# QUEANBEYAN ROOF TRUSSES

39 ENDURANCE AVENUE, QUEANBEYAN, 2620  
PHONE: 97-2290

BLOCK 14 SPAN 7050  
SECT 102 PITCH 18°  
SUB KAMBAH OVERHANG 600

SPAN L IN METRES	TOP CHORD							SPAN L IN METRES	BOTTOM CHORD							SPAN L IN METRES	HEEL PLATE							SPAN L IN METRES	BOTTOM CHORD SPLICE PLATE						
	12°	14°	16°	18°	20°	22°	26°		12°	14°	16°	18°	20°	22°	26°		12°	14°	16°	18°	20°	22°	26°		12°	14°	16°	18°	20°	22°	26°
5.00	75x38	75x38	75x38	75x38	75x38	75x38	75x38	5.00	75x38	75x38	75x38	75x38	75x38	75x38	5.00	3x6	3x6	3x5	3x5	3x5	3x4	3x4	5.00	2x9	2x7	2x7	2x6	2x5	2x5	2x5	
5.25								5.25							5.25	3x7		3x6			3x5		5.25		2x8			2x6			
5.50								5.50							5.50								5.50				2x6				
5.75								5.75							5.75		3x6						5.75		2x7	2x7		2x5			
6.00								6.00							6.00	3x7	3x7						6.00	2x9	2x8	2x8		2x6			
6.25								6.25							6.25	4x5							6.25	2x10	2x9						
6.50	75x38							6.50							6.50	4x5				3x5	3x5		6.50				2x6				
6.75	100x38	75x38	75x38					6.75							6.75	4x6	3x7	3x6		3x6	3x6		6.75	2x10		2x8	2x7				
7.00		100x38	100x38	75x38	75x38	75x38	75x38	7.00							7.00		4x5	4x5	3x6	3x6	3x6	3x5	7.00	2x11		2x9					
7.25								7.25							7.25								7.25		2x9				2x6	2x5	
7.50								7.50	75x38						7.50								7.50	2x11		2x9					
7.75								7.75	100x38						7.75		4x5						7.75	2x11	2x9				2x6	2x5	
8.00								8.00		75x38					8.00	4x6	4x6	4x5					8.00		2x10						
8.25								8.25		100x38	75x38				8.25	4x7		4x6					8.25		3x8	2x9					
8.50								8.50			100x38	75x38			8.50								8.50			3x7	2x8	2x7			
8.75								8.75				75x38	75x38	75x38	8.75		4x6		4x5				8.75			3x7	3x6	2x8	2x7	2x6	
9.00								9.00					100x38	100x38	9.00		4x7		4x6				9.00			3x8	3x7	3x6	3x6	3x5	
9.25	100x38							9.25						9.25	5x7								9.25	3x9	3x8						
9.50		100x38						9.50	125x38					9.50	5x7								9.50	3x10	3x9						
9.75			125x38					9.75						9.75					4x5				9.75								
10.00				100x38				10.00						10.00		4x7	4x6			4x5			10.00					3x6			
10.25					100x38			10.25						10.25		5x6	4x7			4x6	4x6		10.25	3x10				3x7			
10.50						100x38		10.50						10.50	5x6							4x5	10.50	3x11		3x8					
10.75							100x38	10.75						10.75	5x7							4x6	10.75			3x9					
11.00								11.00						11.00		5x6		4x6					11.00						3x5		
11.25								11.25						11.25		5x7	4x7	4x7					11.25		3x10		3x7		3x6	5x5	
11.50								11.50						11.50			5x6				4x6		11.50				3x8		3x7		
11.75								11.75	100x38					11.75	5x7				4x6	4x7			11.75	3x11			3x7				
12.00	125x38							12.00	125x38		100x38	100x38	100x38	12.00	5x8				4x7				12.00	4x9		3x9	4x6	4x5	5x5		
12.25		125x38						12.25		100x38	125x38	125x38	150x38	12.25				4x7					12.25		3x10	4x7	4x6	5x5			
12.50			150x38					12.50			150x38			12.50		5x7		5x6			4x6		12.50		4x8		5x5				
12.75				150x38				12.75						12.75		5x8	5x6				5x7		12.75								
13.00	150x38	150x38	150x38	150x38	125x38	125x38	125x38	13.00	125x38	125x38	125x38	150x38	150x38	150x38	13.00	5x8	5x8	5x6	4x7	4x7	4x7		13.00	4x9	4x8	4x7	5x5	5x5	5x5		

**NOTES**

TRUSSES TO BE FABRICATED FROM FIT HARDWOOD

TIMBER SIZES SHOWN ARE NOMINAL SIZES BEFORE DRESSING. DRESSED TIMBER TO BE 5mm MAX UNDER NOMINAL SIZE, IE 75mm NOMINAL, EQUALS 70mm MIN SIZE AFTER DRESSING.

MAX FORCE 353N/MM<sup>2</sup> UNDER DESIGN CONDITIONS.

TIMBER TO BE FREE OF ALL DEFECTS AT THE HEEL JOINTS.

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE STEELFAST MANUAL OF STANDARD DESIGNS FOR TIMBER ROOF TRUSSES.

IF LOADING FROM TILES IN PLACE EXCEEDS 30 G/M<sup>2</sup> REFER BACK TO CONSULTING ENGINEERS.

TOP CHORD DEAD LOADING 65kg/M  
BOTTOM CHORD DEAD LOAD 28.3kg/M  
LIVE LOAD IN ACCORDANCE WITH CHINA PARY I

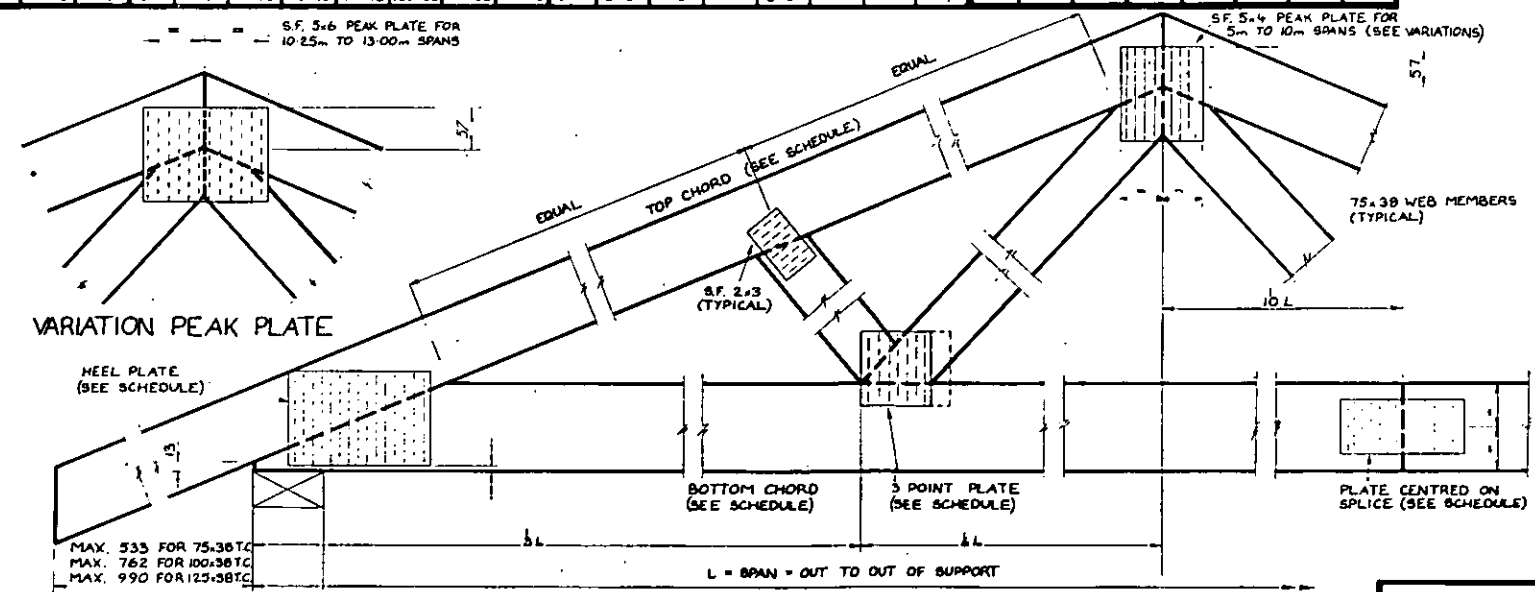
PLANS/FILE No. 35944

Received Building Section

25 FEB 1974 51/2

Dept of the Capital Territory

PLATE	3 POINT PLATE
S.F. 4x4	FOR 18°, 20°, 22°, 26°
S.F. 4x5	FOR 14°, 16°
S.F. 4x6	FOR 12°
CAMBER AT 3 POINT	
UP TO 4.75m	6
5.00m to 6.75m	10
7.00m to 13.00m	13



**STEELFAST**  
A. J. & J. W. DICKER PTY. LTD.

24 WOODFIELD BOULEVARD, CARINGBAH 151 524 5020

TILED-ROOF TRUSSES TO 13m SPAN,  
SINGLE W/ TRUSSES AT 900mm C/S,  
SLOPES 12°, 14°, 16°, 18°, 20°, 22°, 26°

DATE 12.73 DRAWN APPROVED DWG 0001- N° WHT

HUGHES-TRUEMAN-LUDLOW  
CONSULTING CIVIL ENGINEERS  
11 CHICHESTER STREET, ST. LEONARDS NSW  
TELEPHONE: 488-6888

PLANS AND SPECIFICATIONS EXAMINED AND  
RECOMMENDED FOR APPROVAL BY

..... 7 /19  
ENGINEER FOR WATER SUPPLY AND SEWERAGE

..... 1 /19  
CHIEF ELECTRICAL ENGINEER

..... 1 /19  
STRUCTURAL ENGINEER

..... 1 /19  
SENIOR TECHNICAL OFFICER

APPROVED FOR CONSTRUCTION BY THE HOLDER  
OF A CLASS LICENCE

*Jamill* 8.3.74 /19  
DEPUTY BUILDING CONTROLLER

**STEEFAST**

*Timber Roof Trusses*

# QUEANBEYAN ROOF TRUSSES

39 ENDURANCE AVENUE, QUEANBEYAN, 2620

PHONE: 97-2290

BLOCK 14 SPAN 7050  
 SECT 102 PITCH 18°  
 SUB KAMBATH OVERHANG 600

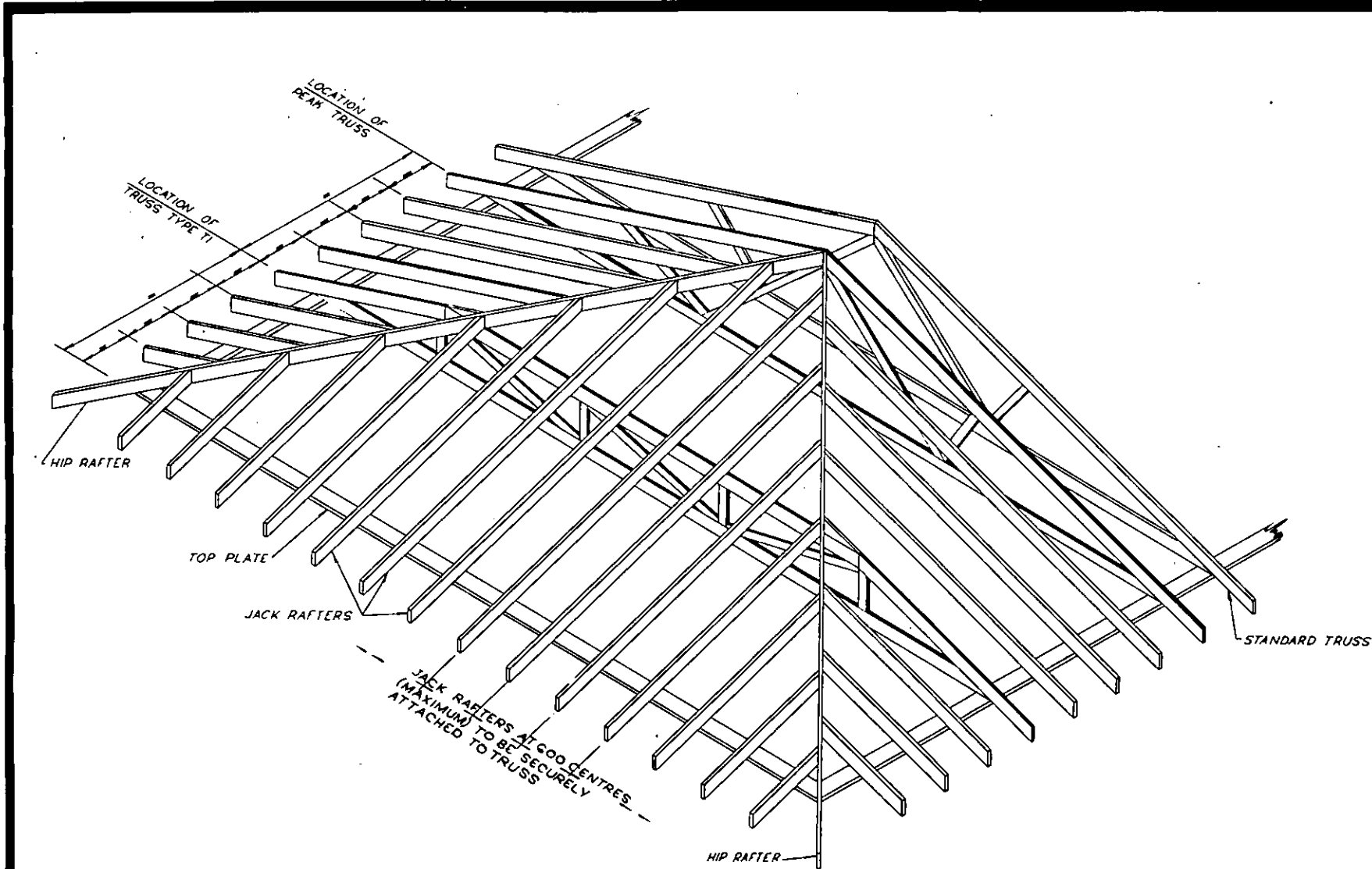
NOTE -  
 TRUSS TYPE T1-CAN BE ONE TRUSS  
 FABRICATED FROM 30 TIMBER (SEE  
 DRG N° ) OR ALTERNATIVELY  
 TWO TRUSSES FABRICATED FROM 30  
 TIMBER (SEE DRG N° )  
 PEAK TRUSS - FABRICATED FROM 30  
 TIMBER (SEE DRG N° )

PLANS/FILE No. 35944

Received Building Section

25 FEB 1974 SI/2

Dept. of the Capital Territory



HIP LAYOUT  
(ISOMETRIC VIEW)

**STEEFAST**

A.J. & J.W. DICKER PTY. LTD.  
24 WOODFIELD BOULEVARD, CANBERRA, N.T. 2601

TILED ROOF  
 TRUNCATED & PEAK TRUSSES  
 SLOPE 18°

DATE	2-4-74	DESIGNED	BY	SCALE
				1:1

INCHES - TOLERANCES - MILLIMETRES

PLANS AND SPECIFICATIONS EXAMINED AND  
RECOMMENDED FOR APPROVAL BY

ENGINEER FOR WATER SUPPLY AND SEWERAGE / /19

CHIEF ELECTRICAL ENGINEER / /19

STRUCTURAL ENGINEER / /19

SENIOR TECHNICAL OFFICER / /19

APPROVED FOR CONSTRUCTION BY THE HOLDER  
OF A "CLASS LICENCE

DEPUTY BUILDING CONTROLLER /19  
*James S. J. H.*



# STEELFAST

## Timber Roof Trusses

# QUEANBEYAN ROOF TRUSSES

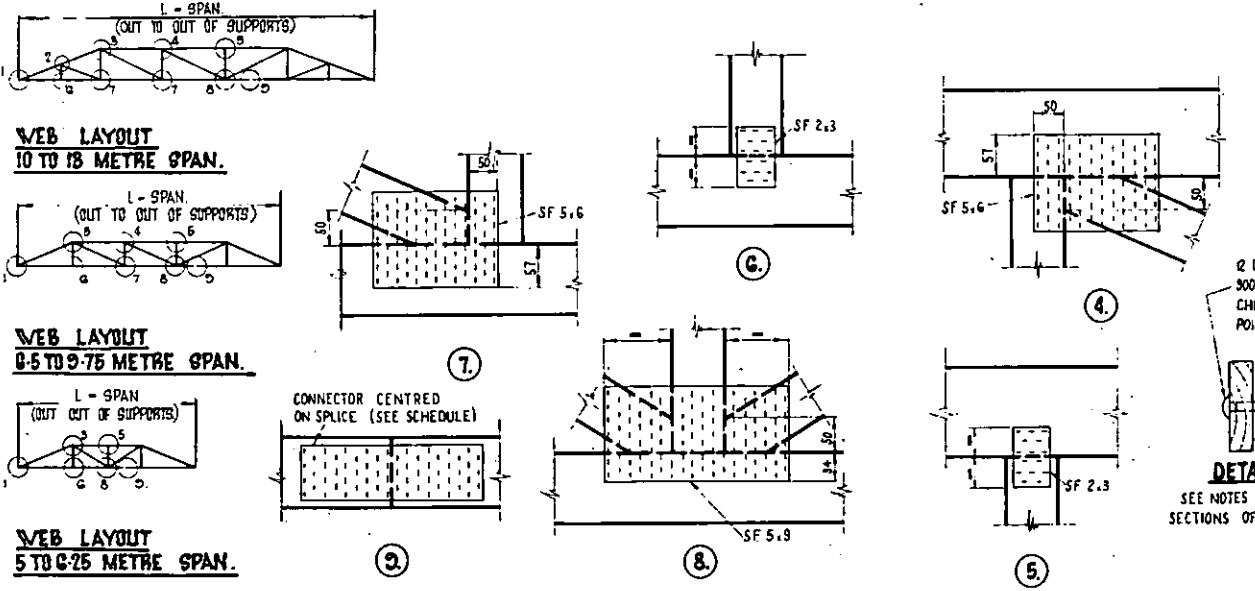
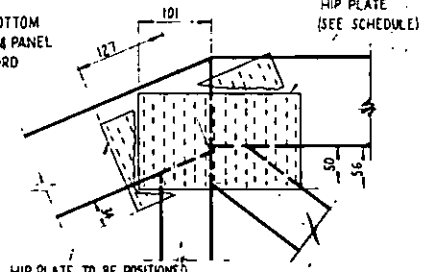
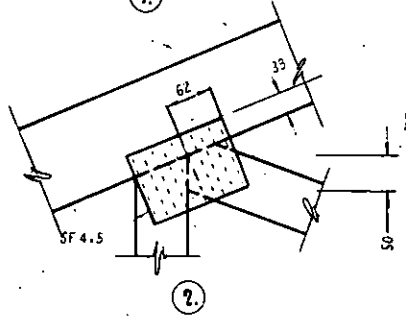
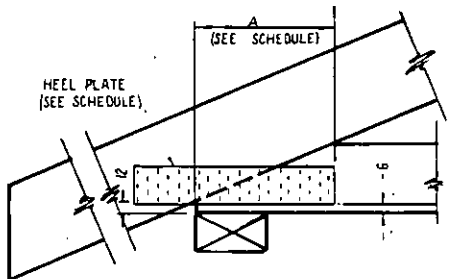
39 ENDURANCE AVENUE, QUEANBEYAN, 2620  
PHONE: 97-2290

BLOCK 14 SPAN 7050  
SECT. 102 PITCH 18°  
SUB KAMBATH OVERHANG 600

SPAN L IN METRES	HEEL PLATE				HIP PLATE				SPLICE PLATE				TOP CHORD				BOTTOM CHORD							
	10°	16°	20°	27°	10°	16°	20°	27°	10°	16°	20°	27°	10°	16°	20°	27°	10°	16°	20°	27°				
5.00	3.8	3.8	3.7	3.7	5.00	5.9	4.9	4.8	4.8	5.00	2.9	2.7	2.7	2.6	5.00	100.50	100.50	15.50	75.50	5.00	75.50	75.50	75.50	
5.75	3.9				5.75					5.75					5.75					5.75				
6.50	4.0				6.50	4.9				6.50	2.9	2.8	2.7	2.7	6.50					6.50				
7.25	4.1				7.25	4.9				7.25	3.8	2.9	2.9	2.8	7.25					7.25				
8.00	4.1				8.00					8.00	3.8	2.9	2.8	2.8	8.00					8.00				
8.75	4.2				8.75					8.75	3.9	3.8		2.9	8.75					8.75				
9.50	4.2				9.50					9.50	3.9	3.8		2.9	9.50					9.50				
10.25	4.2				10.25	5.9				10.25	3.9	3.8		2.9	10.25					10.25				
11.00	4.3				11.00					11.00	3.9	3.8		2.9	11.00					11.00				
11.75	4.3				11.75	5.9				11.75	3.9	3.8		2.9	11.75					11.75				
12.50	4.4				12.50					12.50	4.8			3.9	12.50					12.50				
13.25	4.4				13.25					13.25	4.8			3.9	13.25					13.25				
14.00	4.4				14.00	5.9				14.00	4.8			3.9	14.00					14.00				
14.75	4.4				14.75					14.75	4.8			3.9	14.75					14.75				
15.50	4.4				15.50	5.9				15.50	4.8			3.9	15.50					15.50				
16.25	4.4				16.25					16.25	4.8			3.9	16.25					16.25				
17.00	4.4				17.00					17.00	4.8			3.9	17.00					17.00				
17.75	4.4				17.75	5.9				17.75	4.8			3.9	17.75					17.75				
18.50	4.4				18.50					18.50	4.8			3.9	18.50					18.50				
19.25	4.4				19.25					19.25	4.8			3.9	19.25					19.25				
20.00	4.4				20.00	5.9				20.00	4.8			3.9	20.00					20.00				
20.75	4.4				20.75					20.75	4.8			3.9	20.75					20.75				
21.50	4.4				21.50					21.50	4.8			3.9	21.50					21.50				
22.25	4.4				22.25	5.9				22.25	4.8			3.9	22.25					22.25				
23.00	4.4				23.00					23.00	4.8			3.9	23.00					23.00				
23.75	4.4				23.75					23.75	4.8			3.9	23.75					23.75				
24.50	4.4				24.50	5.9				24.50	4.8			3.9	24.50					24.50				
25.25	4.4				25.25					25.25	4.8			3.9	25.25					25.25				
26.00	4.4				26.00					26.00	4.8			3.9	26.00					26.00				

PLATE SLOPE	DIMENSION 'A' (HEEL PLATE)											
	SF 3.7	SF 3.8	SF 3.9	SF 3.10	SF 4.7	SF 4.8	SF 4.9	SF 4.10	SF 5.8	SF 5.9	SF 5.10	SF 5.12
16°	260	275			290	300	320	335	355	370	390	420
18°	250	265	280				320	335	350	360		
20°	190	205	215	235			260	275				
27°	185	200	210	220			230	250	260	265		

**NOTES**  
TRUSSES TO BE FABRICATED FROM  
TIMBER SIZES SHOWN ARE NOMINAL SIZES BEFORE DRESSING DRESSED TIMBER TO BE 5mm MAX UNDER NOMINAL SIZE IN DEPTH AND 3mm MAX IN WIDTH 15mm x 38mm NOMINAL EQUALS 70.35 AFTER DRESSING  
MAX FORCE 355/N NAIL UNDER DESIGN CONDITIONS  
TIMBER TO BE FREE OF ALL DEFECTS AT THE HEEL & HIP JOINTS  
THIS DRAWING TO BE READ IN CONJUNCTION WITH THE STEELFAST MANUAL OF STANDARD DESIGNS FOR TIMBER ROOF TRUSSES  
IF LOADING FROM TILES IN PLACE EXCEEDS 58.6 kg/m² REFER BACK TO CONSULTING ENGINEERS  
TOP CHORD DEAD LOADING = 5.6 kg/m  
BOTTOM CHORD DEAD LOADING = 10.1 kg/m  
LIVE LOAD IN ACCORDANCE WITH CA1170 - PART 1  
TRUSSES INCLUDED IN SHADED AREA OF SCHEDULES TO BE MADE AS TWO SEPARATE TRUSSES & BOLTED TOGETHER SEE DETAIL 'X'



HIP PLATE TO BE POSITIONED  
\* THIS FOR 6.75, 7.25 & 7.50m  
-16° 7.50 & 7.75m SPANS-18°

PLANS/FILE No. 35944  
Received Building Section  
25 FEB 1974 51/2  
Dept. of the Capital Territory

**STEELFAST**  
A.J. & J.W. DICKER PTY. LTD.  
24 WOODFIELD BOULEVARD CARRBOROUGH TEL. 534-3439

TILED ROOF GIRDER TRUSS  
SLOPES UP TO 30° & 27°  
DATE 4-1-74 DRAWING R.W.G. APPROVED BY G.M. GODD-FREIGHT

ACEA HUGHES - TRUEMAN - LUDLOW

PLANS AND SPECIFICATIONS EXAMINED AND  
RECOMMENDED FOR APPROVAL BY

..... 719  
ENGINEER FOR WATER SUPPLY AND SEWERAGE

..... / 719  
CHIEF ELECTRICAL ENGINEER

..... / 119  
STRUCTURAL ENGINEER

..... / 119  
SENIOR TECHNICAL OFFICER

APPROVED FOR CONSTRUCTION BY THE HOLDER  
OF A "CLASS LICENCE"

*Jungell 8.3.74* 119  
.....  
DEPUTY BUILDING CONTROLLER

# STEEFAST

## Timber Roof Trusses

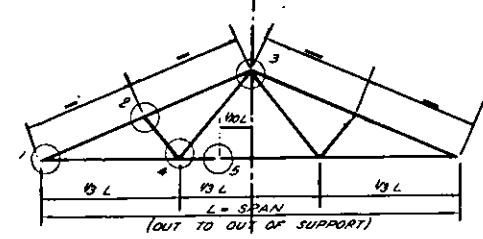
# QUEANBEYAN ROOF TRUSSES

39 ENDURANCE AVENUE, QUEANBEYAN, 2620  
PHONE: 97-2290

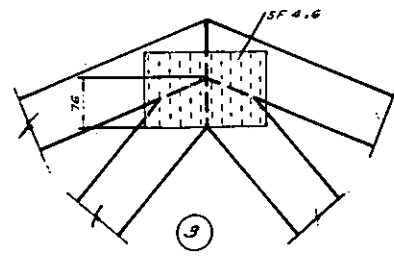
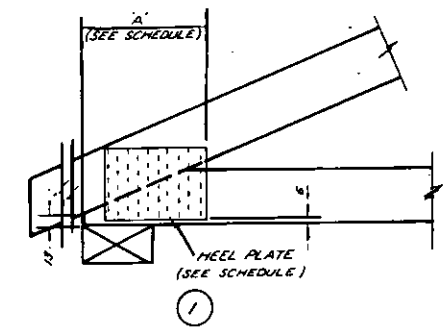
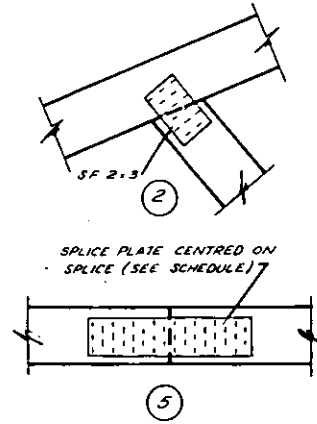
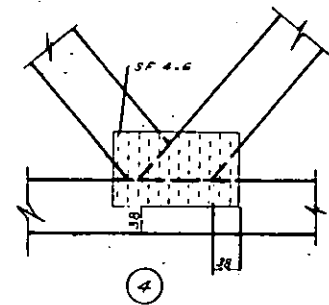
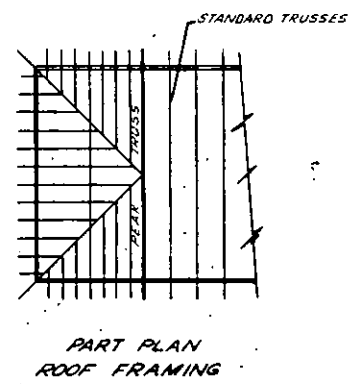
BLOCK 14 SPAN 70.50  
SECT 102 PITCH 18°  
SUB KAMBAH OVERHANG 600

TOP CHORD					BOTTOM CHORD					HEEL PLATE				BOTTOM CHORD SPLICE PLATE				DIMENSION 'A' (HEEL PLATE)											
SPAN L IN METRES	SLOPE				SPAN L IN METRES	SLOPE				SPAN L IN METRES	SLOPE				SPAN L IN METRES	SLOPE				PLATE SLOPE	SLOPE								
	16°	18°	20°	22°		16°	18°	20°	22°		16°	18°	20°	22°		16°	18°	20°	22°		3.5	3.6	3.7	4.6	4.7	4.8	4.9	4.10	
5.00	75.38	75.38	75.38	75.38	5.00	75.38	75.38	75.38	75.38	5.00	3.7	3.6	3.5	3.5	5.00	2.5	2.5	2.4	2.4	16°	240	275	290	300	320	335			
5.25					5.25					5.25					5.25	2.5		2.4		18°	220	230	260	275	290	305	320		
5.50					5.50					5.50					5.50	2.5		2.5		20°	180	180	190	215	230	240	275		
5.75					5.75					5.75			3.5	3.5	5.75	2.6			2.4	22°	150	165	165	200	215	230	250	260	
6.00					6.00					6.00	3.7	3.6	3.6	3.6	6.00	2.6			2.5										
6.25	75.38				6.25					6.25	4.6	3.7	3.6	3.6	6.25	2.6	2.5												
6.50	100.38				6.50					6.50					6.50	2.7	2.6												
6.75		100.38			6.75					6.75					6.75				2.5										
7.00			100.38		7.00					7.00					7.00				2.6										
7.25				75.38	75.38					7.25	4.6				7.25	2.7	2.6	2.6	2.5										
7.50				100.38	100.38	75.38				7.50	4.8				7.50	3.6	3.5	2.6	2.6										
7.75					7.75			100.38	75.38	7.75	4.8	4.6	4.6	4.6	7.75	3.6	3.5	3.5	2.6										
8.00					8.00			100.38	100.38	8.00	4.8	4.7	4.7	4.7	8.00	3.7	3.6		3.5										
8.25	100.38				8.25					8.25	4.9	4.7	4.7	4.7	8.25		3.6												
8.50	125.38				8.50					8.50	4.9	4.8	4.7	4.7	8.50		3.6	3.5											
8.75		125.38			8.75					8.75	4.10	4.8	4.8	4.8	8.75		3.7	3.6											
9.00			100.38	100.38	9.00					9.00	4.10	4.9	4.8	4.8	9.00			3.6	3.5										
9.25			125.38	125.38	9.25	100.38				9.25	4.10	4.9	4.9	4.9	9.25	3.7		3.6	3.6										
9.50	125.38	125.38			9.50	125.38	100.38			9.50	4.11	4.10	4.9	4.9	9.50	3.8		3.7	3.6										
9.75	125.38	125.38	125.38	125.38	9.75	125.38	100.38	100.38		9.75	4.11	4.10	4.10	4.10	9.75	3.8	3.7	3.7	3.6										

**NOTES**  
TRUSSES TO BE FABRICATED FROM F17  
TIMBER SIZES SHOWN ARE NORMAL SIZES  
BEFORE DRESSING. DRESSED TIMBER TO BE  
5mm MAX UNDER NOMINAL SIZE IN DEPTH  
AND 3mm MAX IN WIDTH, I.E. 75mm x 38mm  
NOMINAL EQUALS 70x35 AFTER DRESSING.  
MAX FORCE 355N/ NAIL UNDER DESIGN  
CONDITIONS  
TIMBER TO BE FREE OF ALL DEFECTS AT  
THE HEEL JOINTS  
THIS DRAWING TO BE READ IN CONJUNCTION  
WITH THE STEEFAST MANUAL OF  
STANDARD DESIGNS FOR TIMBER ROOF  
TRUSSES.  
IF LOADING FROM TILES IN PLACE EXCEEDS  
50 kg/m<sup>2</sup> REFER BACK TO CONSULTING  
ENGINEERS



SPAN L IN METRES	CAMBER SCHEDULE
5.00	7
5.25	7
5.50	8
5.75	8
6.00	8
6.25	9
6.50	9
6.75	10
7.00	10
7.25	10
7.50	11
7.75	11
8.00	11
8.25	12
8.50	12
8.75	12
9.00	13
9.25	13
9.50	13
9.75	14



PLANS/FILE No. 35944  
Received Building Section  
25 FEB 1974 SI/2  
Dept. of the Capital Territory

**STEEFAST**  
A.J. & J.W. DICKER PTY. LTD.  
24 WOODFIELD BOULEVARD CARINGBAH TEL. 524-5439

TILED ROOF  
PEAK TRUSS - SINGLE 'W'  
SLOPES - 16° 18° 20° 22°

DATE 17-1-74 DRAWN M.A. APPROVED DWG. NO G001-PWHT

HUGHES - TRUEMAN - LUDLOW  
PTY. LTD.  
CONSULTING CIVIL ENGINEERS  
14 CHURCH STREET, ST. LEONARDS 2000  
TELEPHONE 689-900

PLANS AND SPECIFICATIONS EXAMINED AND  
RECOMMENDED FOR APPROVAL BY

..... / 19  
ENGINEER FOR WATER SUPPLY AND SEWERAGE

..... / 19  
CHIEF ELECTRICAL ENGINEER

..... / 19  
STRUCTURAL ENGINEER

..... / 19  
SENIOR TECHNICAL OFFICER

APPROVED FOR CONSTRUCTION BY THE HOLDER  
OF A " " CLASS LICENSE

*W. J. McGill* 8.3.24 / 19

DEPUTY BUILDING CONTROLLER

PLANS/FILE No. 35944/B  
 Received Building Section  
 26 NOV 1979  
 Dept. of the Capital Territory

0.67 T.C.T. STEEL DECK ROOFING  
 FIXED IN ACCORDANCE WITH MANUFACTURER'S  
 RECOMMENDATIONS. PROVIDE MIN. FALL IN  
 DECKING OF 1 : 60 TOWARDS GUTTERING

GALVD. FASCIA-GUTTER

38x38x3 M.S. L,  
 POP RIVETTED,  
 FULL LENGTH OF  
 FASCIA-GUTTER  
 ON BOTH SIDES  
 OF CARPORT

LIPPED CHANNEL BEAMS AS  
 SPECIFIED ON TITLE SHEET

25x10 M.S. BRACE

22x6.5mm M.S. BRACE

COLUMN

TYPICAL VERTICAL SECTIONS

R.H.S. STEEL COLUMNS AS  
 INDICATED ON TITLE SHEET

SPECIFICATION

- FOOTINGS SHALL CONSIST OF 150  $\phi$  MASS CONCRETE STUMPS 450 DEEP WITH "FALSE" LEGS AS SHOWN. LEGS SHALL HAVE 125x125x3 M.S. BEARING PLATES TO MATCH PLATES OF COLUMNS.
- CARPORT TO BE FRAMED UP WITH SQUARE R.H.S. COLUMNS HAVING 125x125x3 M.S. BOTTOM PLATES AND 38x38x3 M.S. ANGLE TOP CLEATS WELDED ON. PROVIDE BRACING IN BOTH DIRECTIONS, WELDED IN.
- ROOF FRAMING SHALL CONSIST OF STIFFENED CHANNEL BEAMS AS SPECIFIED ON TITLE SHEET.
- ROOFING SHALL CONSIST OF 0.67 T.C.T. GALVD. STEEL DECKING AND IS TO BE FIXED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. PROVIDE GALVD. FASCIA-GUTTERING ALL ROUND, REINFORCED ON SIDES WITH 38x38x3 M.S. ANGLE.
- PROVIDE DOWNPIPE(S) WHERE SHOWN ON SITE PLAN OR AS DIRECTED OR REQUIRED ON SITE AT THE RATE OF 70mm<sup>2</sup> FOR EVERY 1 m<sup>2</sup> OF ROOF AREA.
- CONNECT IN 100  $\phi$  CONCRETE PIPE DRAIN TO EXISTING STORMWATER DRAINAGE OR TO AN ABSORPTION PIT IN ACCORDANCE WITH SITE CONDITIONS AND AS DIRECTED.
- PAINT STRUCTURE TO DEPARTMENT'S REQUIREMENTS AND APPROVAL. PAINTING TO BE DONE BY OTHERS.

125x125x3  
 M.S. PLATES  
 BOLTED TOGETHER

25x25x3 M.S. L  
 "FALSE" LEG

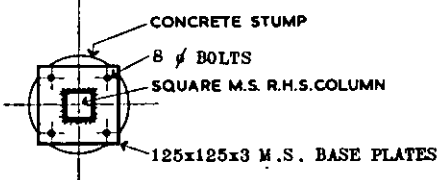
50x38 M.S. LUGS

FOOTINGS TO BE TAKEN  
 DOWN TO SOLID GROUND

MASS CONCRETE  
 MIX: 15 MPa

150

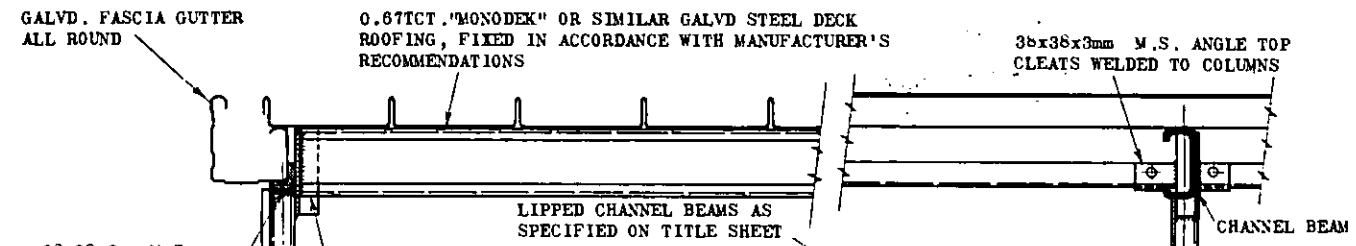
- 8 FEB 1980



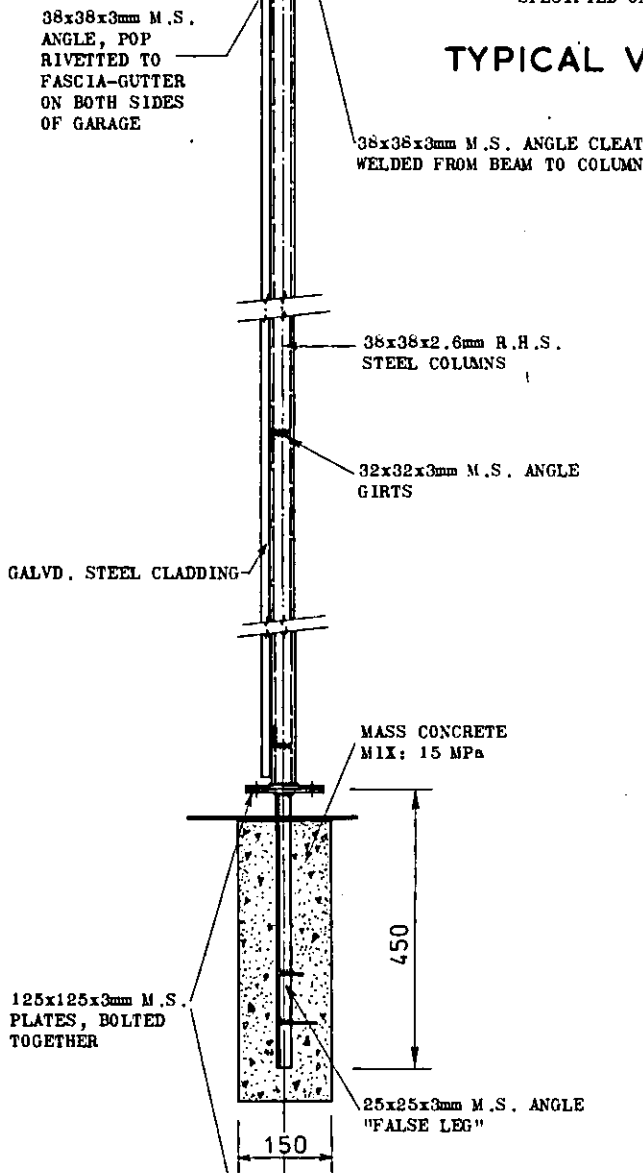
COLUMN PLAN

FAIRMONT STANDARD

SCALE : 1 : 10  
 DWG.NO. 6912 E



## TYPICAL VERTICAL SECTIONS



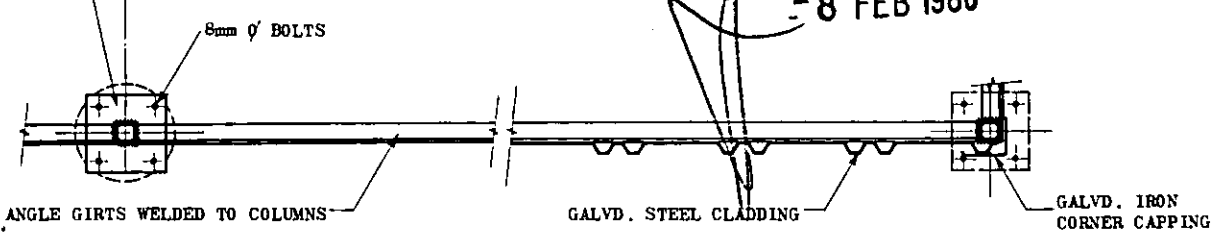
## SPECIFICATION

- FOOTINGS SHALL CONSIST OF 150 DIAM. MASS CONCRETE STUMPS 450 DEEP WITH "FALSE" LEGS AS SHOWN. LEGS SHALL HAVE 125x125x3 M.S. BEARING PLATES TO MATCH PLATES OF COLUMNS.
- FRAME TO CONSIST OF 38x38x2.6mm R.H.S. STEEL COLUMNS AT 3.050 CTS. MAX. WITH 125x125x3 M.S. BOTTOM PLATES BOLTED TO FALSE LEGS AND 38x38x3x 150 LONG M.S. ANGLE TOP CLEATS. PROVIDE THREE (3) ROWS OF 32x32x3 M.S. ANGLE GIRTS WELDED TO COLUMNS.
- SUPPORT ROOFING BY MEANS OF LIPPED CHANNEL BEAMS AS SPECIFIED ON TITLE SHEET.
- ROOFING SHALL BE 0.67 TCT. GALVD. "MONODEK" OR SIMILAR STEEL DECKING FIXED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- GUTTERING SHALL BE PURPOSE MADE GALVD. FASCIA-GUTTER SUPPORTED CONTINUOUSLY BY 38x38x3 M.S. ANGLE ON TWO SIDES. SIMILARLY PROVIDE FASCIA-GUTTER TO ENDS WITHOUT ANGLE REINFORCING.
- PROVIDE DOWNPIPE(S) WHERE REQUIRED OR DIRECTED AT THE RATE OF 70 mm<sup>2</sup> FOR EVERY 1 m<sup>2</sup> OF ROOF AREA.
- CONNECT IN 100 Ø CONCRETE PIPE DRAIN TO EXISTING STORMWATER DRAINAGE OR TO ABSORPTION PIT IN ACCORDANCE WITH SITE CONDITIONS AND AS DIRECTED.
- PAINT STRUCTURE TO DEPARTMENT'S REQUIREMENTS AND APPROVAL. PAINTING TO BE DONE BY OTHERS.
- UNLESS OTHERWISE SPECIFIED ON TITLE SHEET CONCRETE FLOOR TO BE PROVIDED BY OTHERS.

FOOTINGS TO BE TAKEN DOWN TO SOLID GROUND

SCALE : 1 : 10  
DWG. NO. : 6638A

- 8 FEB 1980

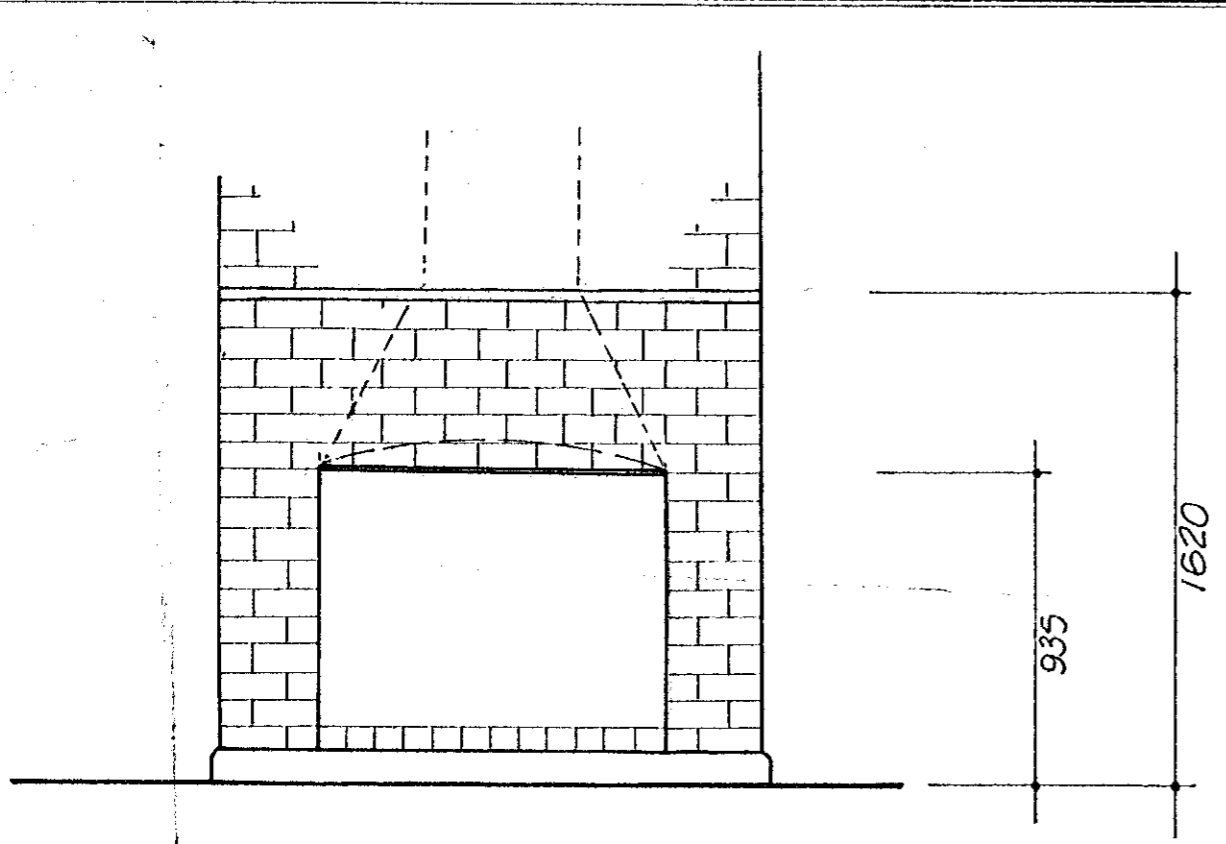


## TYPICAL HORIZONTAL SECTIONS

TRANS/FILE No. 35944(0)

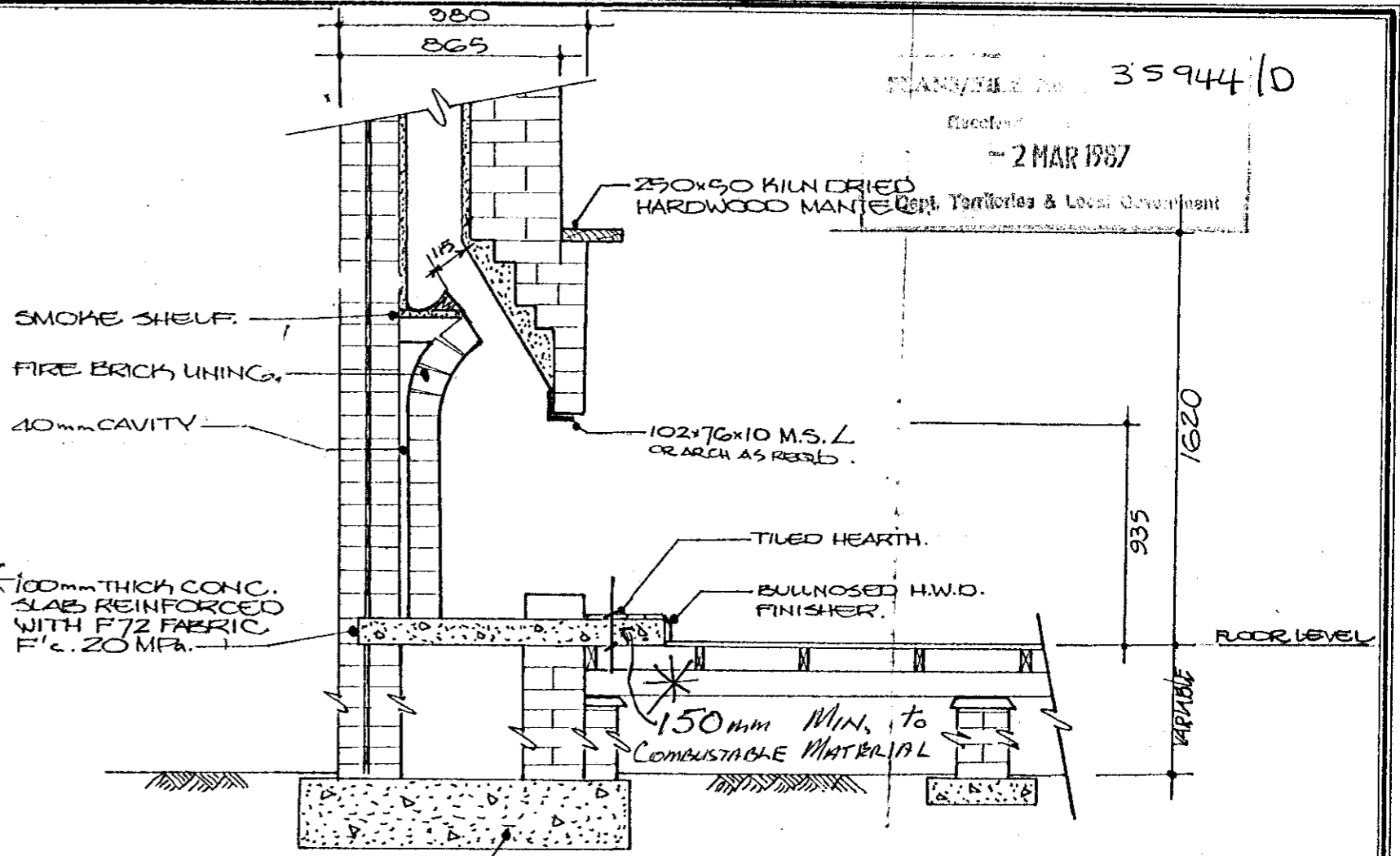
2 MAR 1987

Dept. Territories & Local Government



### ELEVATION

CONSTRUCTION TO COMPLY WITH  
PART 25 OF THE BUILDING MANUAL ACT

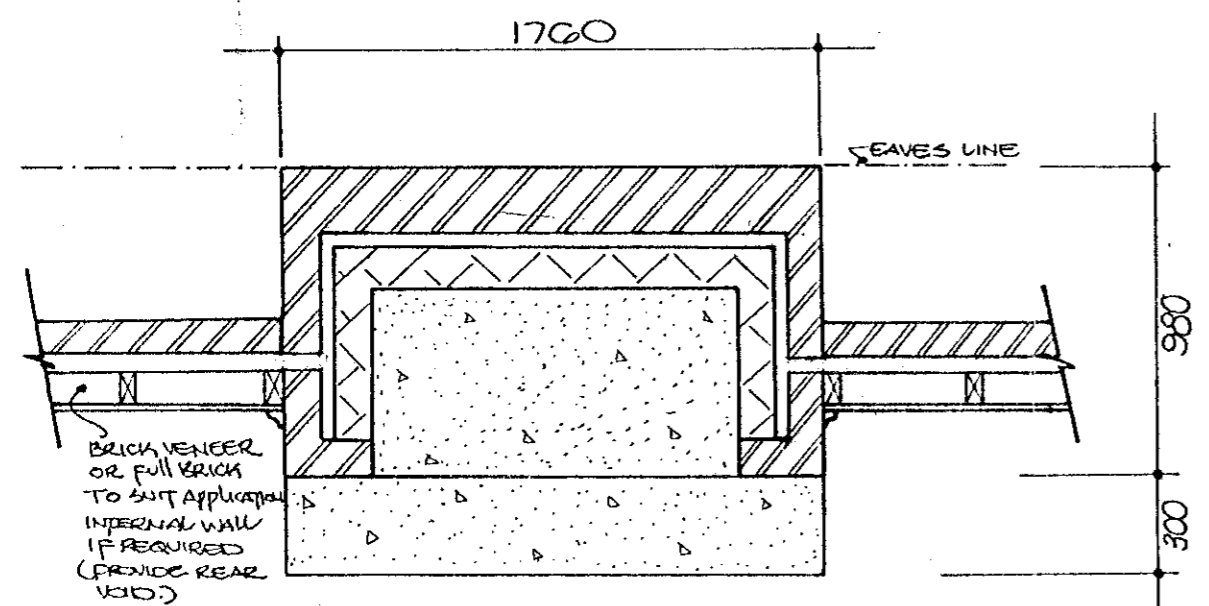


### SECTION

FOOTINGS SHALL BE TAKEN DOWN TO 'STABLE' FOUNDATION MATERIAL. ENGINEERS CERTIFICATION MAY BE REQUESTED DURING FOOTING INSPECTION BY THE BUILDING AUTHORITY.

### NOTES:

1. THIS DIAGRAM IS TO SUIT TIMBER FRAMED FLOORING. IF PROPOSED FLOOR IS TO BE REINFORCED CONCRETE THE DETAIL REMAINS THE SAME ABOVE FLOOR LEVEL ONLY. (INCL. SEPARATE HEARTH SLAB.)



### PLAN

SCALE 1:250

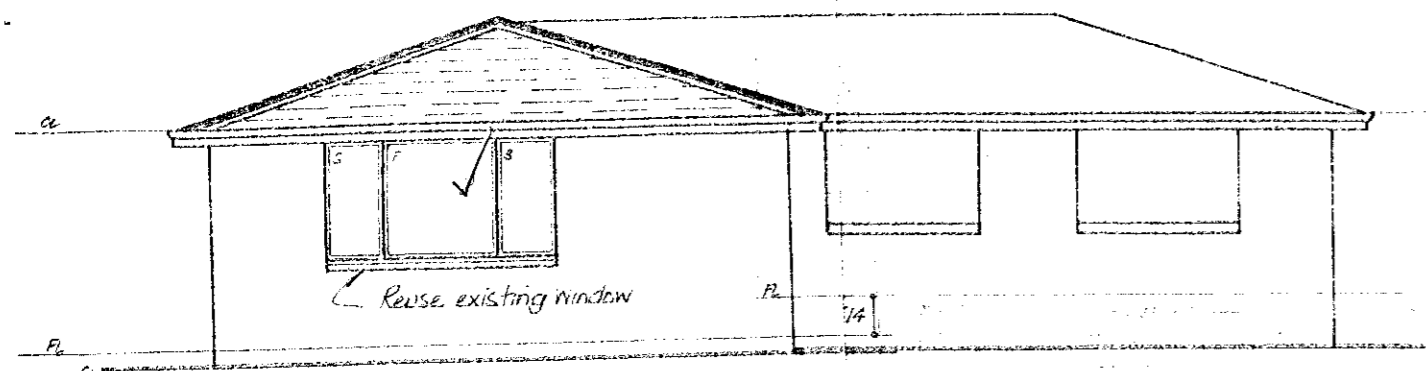
**FIREPLACE DETAIL**

**BLOCK: 14 SECTION: K2**

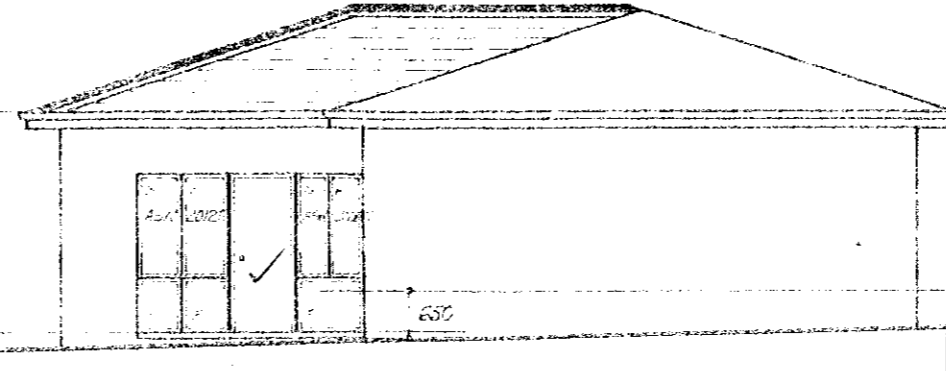
**DIVISION: KAMBAH**

**CAPITAL BRICK AND BUILDING INFORMATION CENTRE**  
 33 SILVA AVENUE  
 QUEANBEYAN, N.S.W. 2620  
 PHONE 97 8897

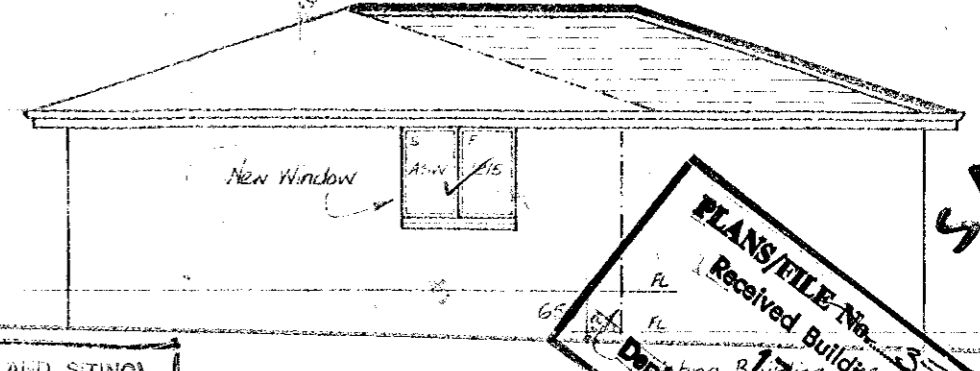
23 MAR 1987



ELEVATION 1



ELEVATION 2



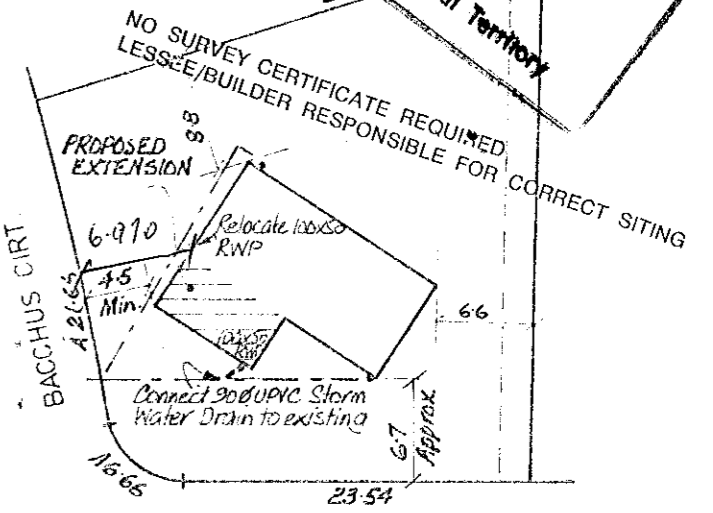
ELEVATION 3

LINTEL SIZES AS PER TRUSS MANUFACTURERS

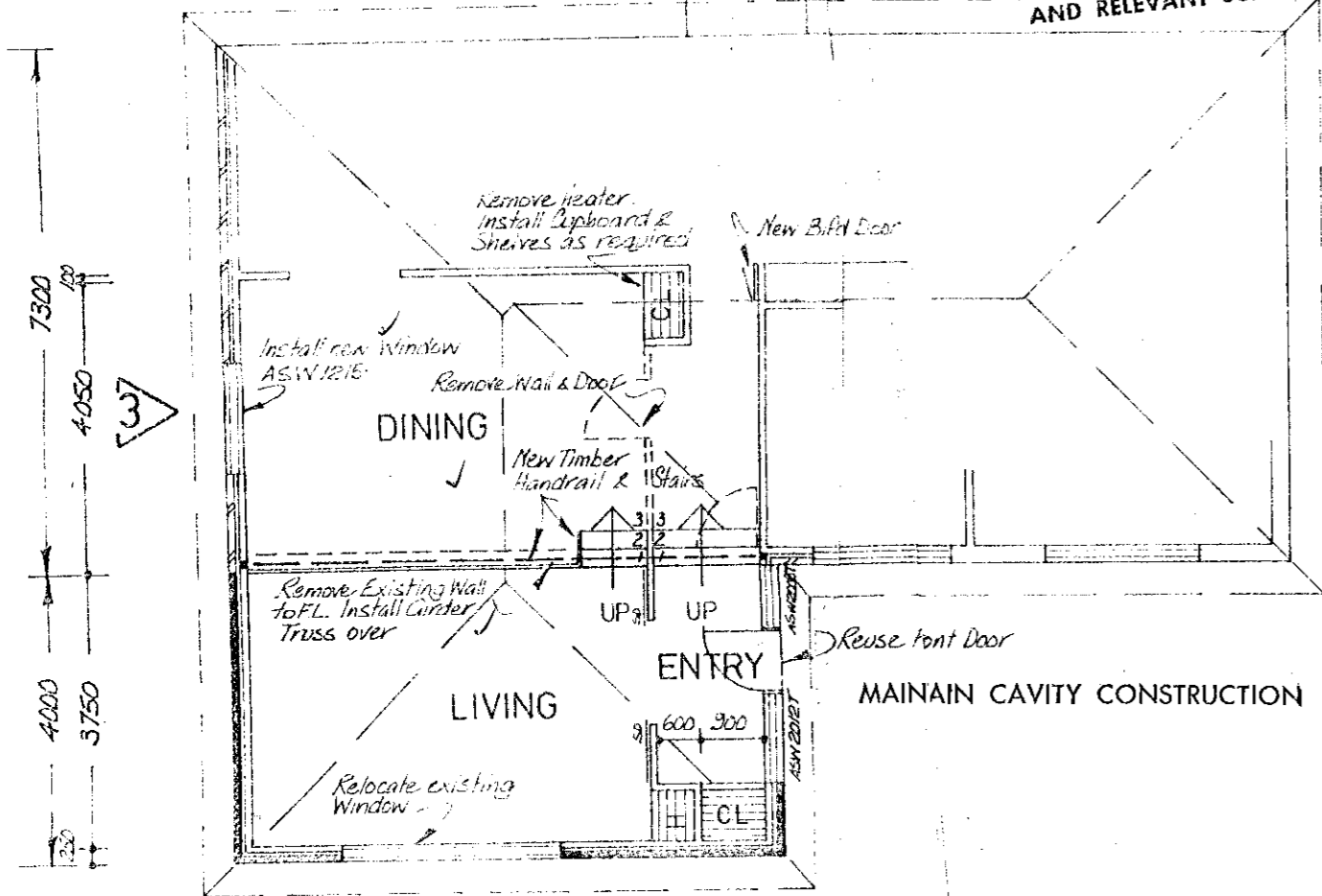
CONSTRUCTION MUST COMPLY WITH A.S. 1684.—1979  
TIMBER FRAMING CODE AND RELEVANT SUPPLEMENTS

BUILDINGS (DESIGN AND SITING)  
ORDINANCE 1964 AS AMENDED  
APPROVAL GRANTED  
22 DEC 1982  
DELEGATE *M. D. Stubbins*  
NATIONAL CAPITAL DEVELOPMENT COMMISSION

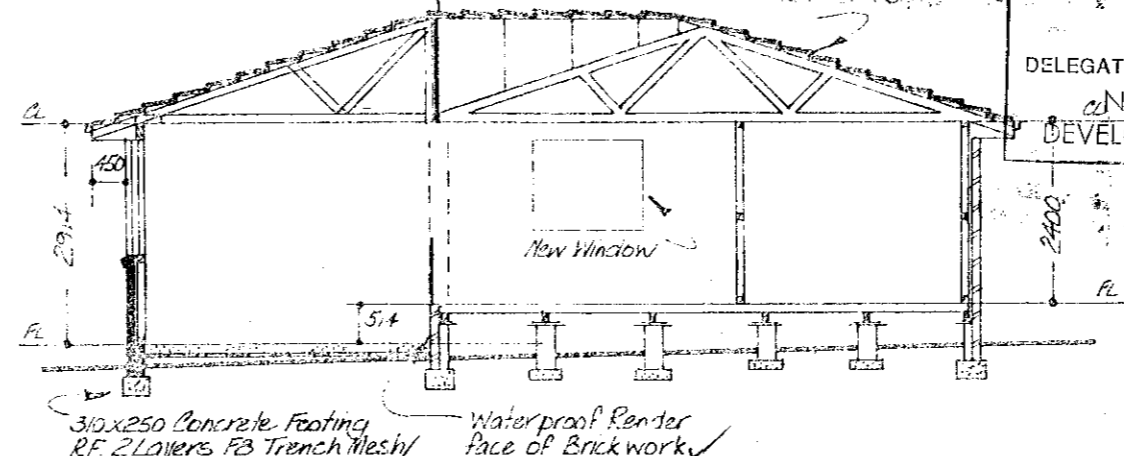
PLANS/FILE No. 559444  
Received Building Section  
17 DEC 1982  
Dept of the Capital Territory



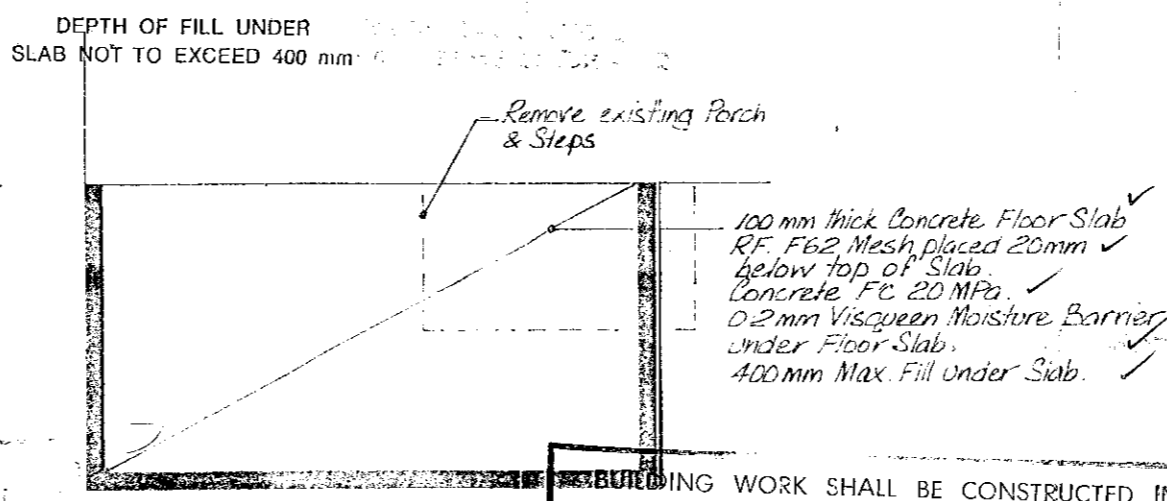
SITE PLAN  
SCALE 1 : 500 m.



FLOOR PLAN



SECTION A-A



SLAB PLAN

APPROVED FOR CONSTRUCTION BY THE HOLDER OF A CLASS "C" LICENCE.  
CLASS OF OCCUPANCY: RESIDENCE I  
OUTBUILDINGS X  
*M. D. Stubbins 23-12-82*  
DEPUTY BUILDING CONTROLLER

BUILDING WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS THE BUILDING MANUAL ACT, THE NOTATIONS MADE ON THE PLANS AND ANY MATTERS SPECIFIED ON THE BUILDING PERMIT. THE APPROVAL OF PLANS OR THE GRANT OF A BUILDING PERMIT DOES NOT AFFECT THE OPERATION OF ANY OTHER LAW IN THE TERRITORY, NOR DOES IT AUTHORISE THE USE OF THE LAND CONTRARY TO A PROVISION, COVENANT OR CONDITION OF LEASE.

PLANS AND SPECIFICATIONS EXAMINED AND RECOMMENDED FOR APPROVAL BY  
ENGINEER FOR WATER SUPPLY AND SEWELAGE / / 19  
CHIEF ELECTRICAL ENGINEER / / 19  
STRUCTURAL ENGINEER / / 19

PROPOSED ALTERATIONS & EXTENSION TO RESIDENCE

FOR MR. & MRS. J. QUIGLEY

AT BLOCK 14 SECTION 102 KAMBAH

SCALE 1 : 100 mm. or as indicated.

AREA EXTENSION 30.4 m<sup>2</sup>

BIULDER DIAMOND HOMES

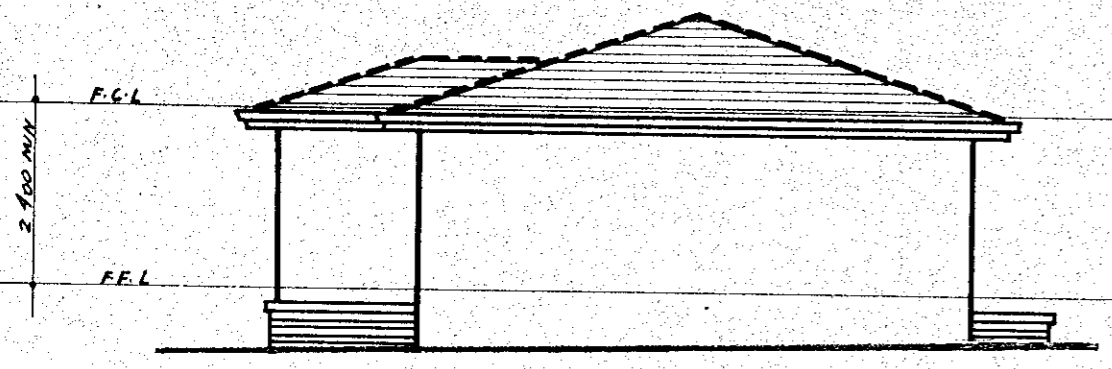
TERRAIN CATEGORY 3

JOB NO. 822696

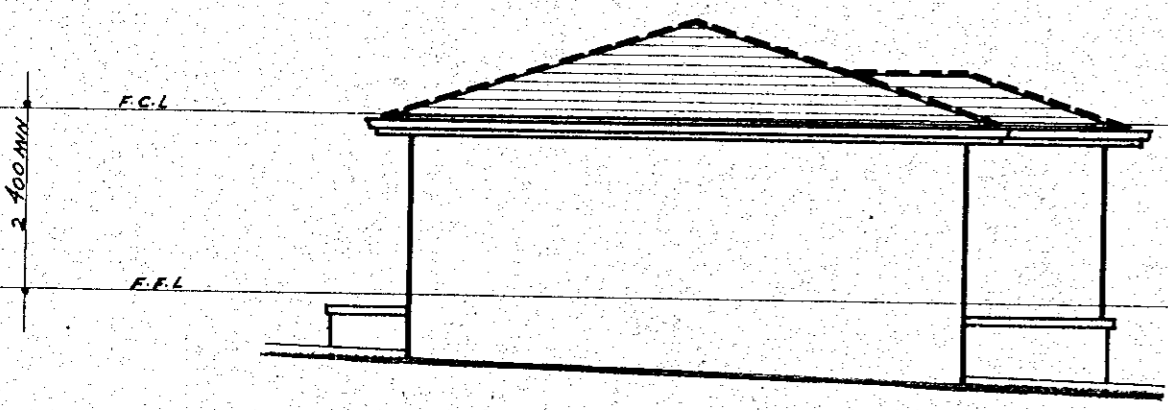
DRAWN BY  
CHALLEN DRAUGHTING  
13 POPE ST. HUGHES  
814602  
25 11-82



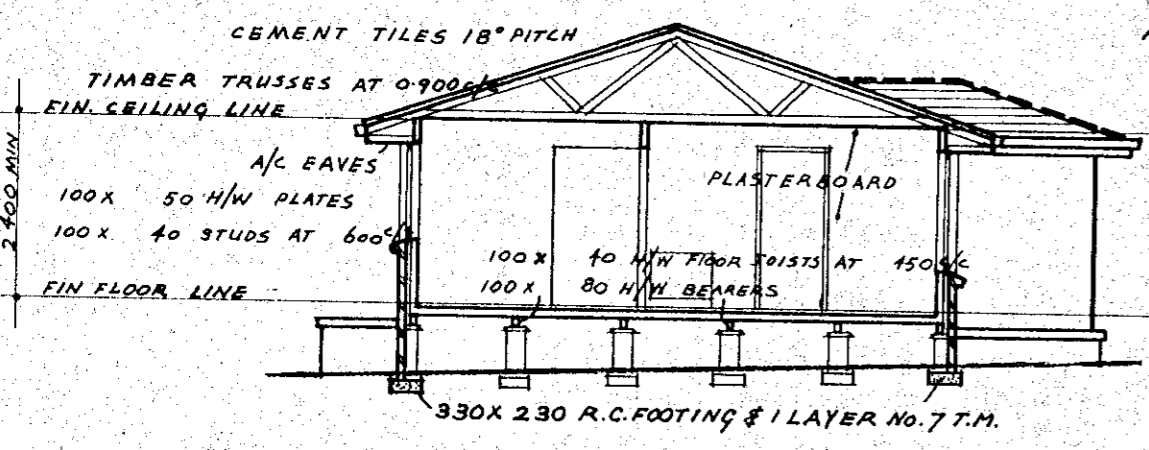
PLAN No. 35944  
 Revolved Building Section  
 25 FEB 1974 51/2  
 Dept. of the Capital Territory



SIDE ELEVATION

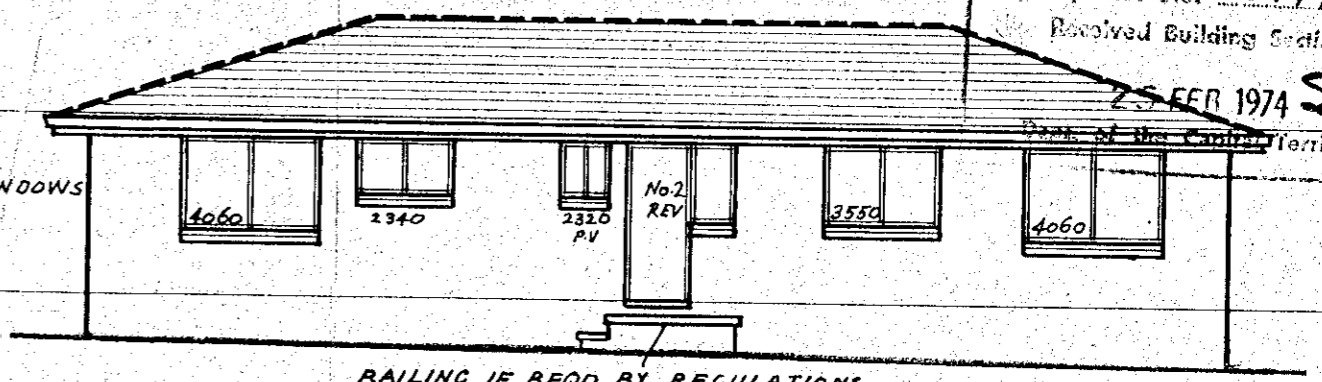


SIDE ELEVATION



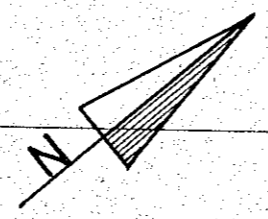
SECTION

ALUMINIUM WINDOWS



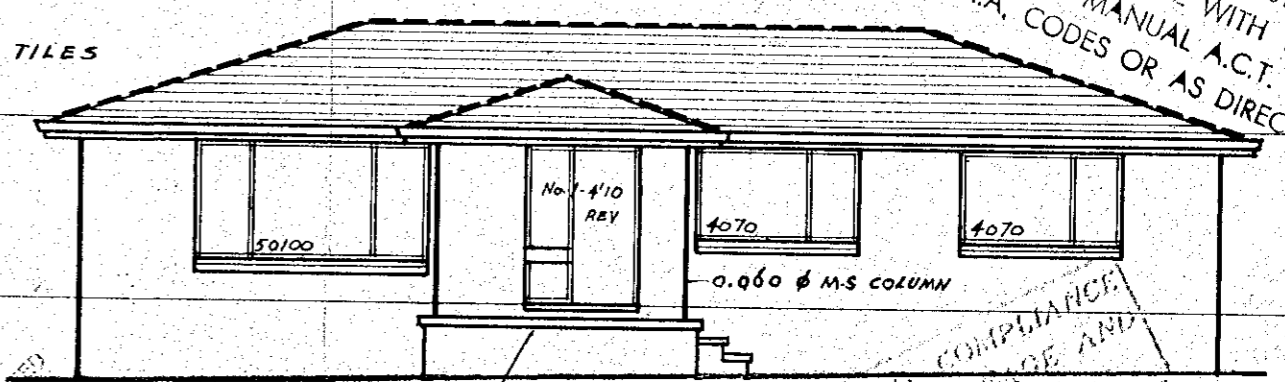
REAR ELEVATION

BUILDING TO BE CONSTRUCTED  
 IN ACCORDANCE WITH THE  
 BUILDING MANUAL A.C.T. AND  
 S.A.A. CODES OR AS DIRECTED



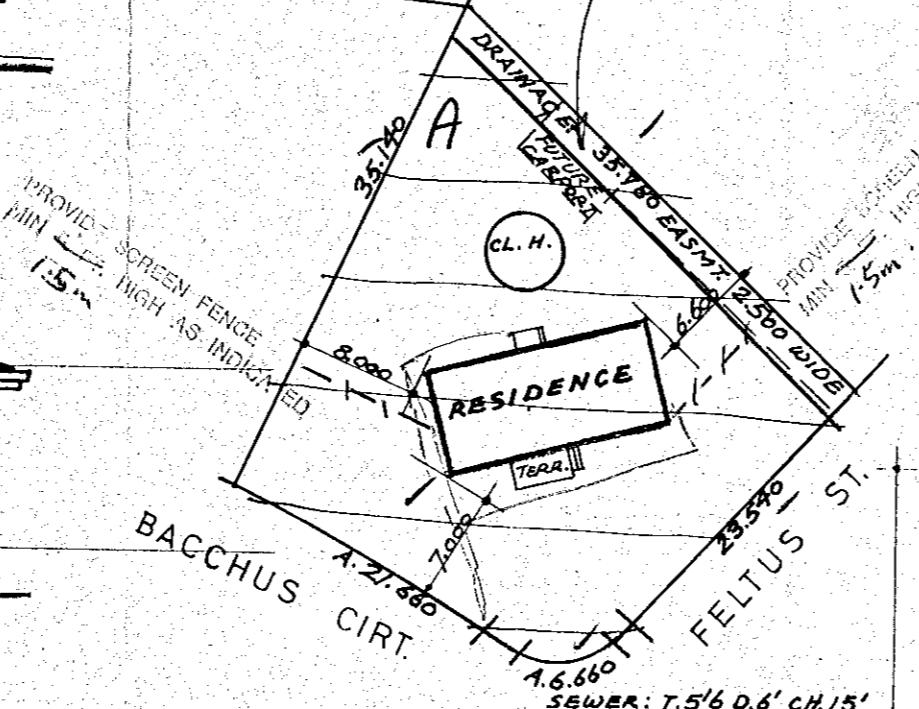
CEMENT TILES

FACE BRICKWORK

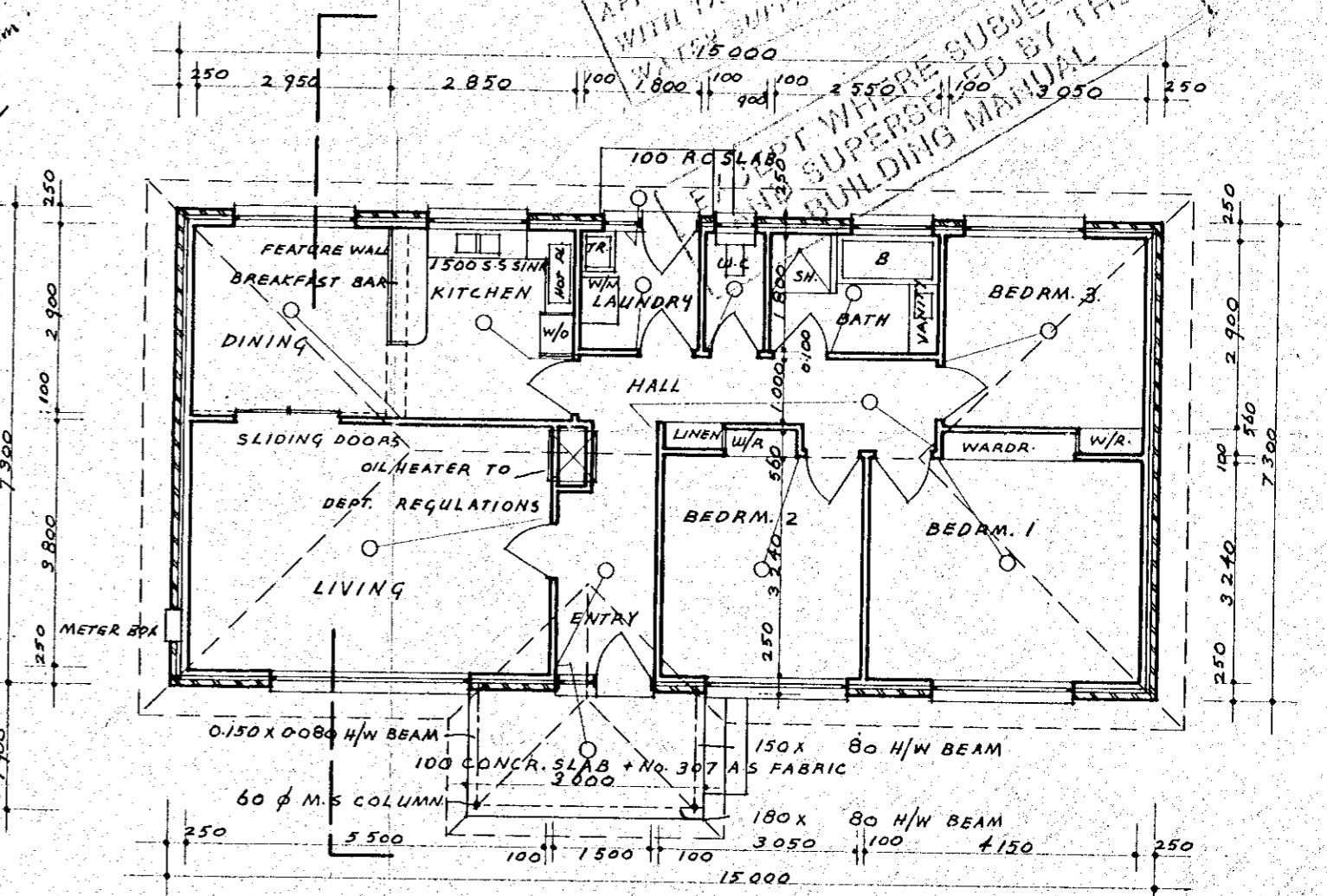


FRONT ELEVATION

APPROVED SUBJECT TO COMPLIANCE  
 WITH THE CANBERRA BUILDING AND  
 PLANNING REGULATIONS  
 APPROVED SUBJECT TO COMPLIANCE  
 WITH THE CANBERRA BUILDING AND  
 PLANNING REGULATIONS



SITE PLAN  
 SCALE: 1/500



FLOOR PLAN

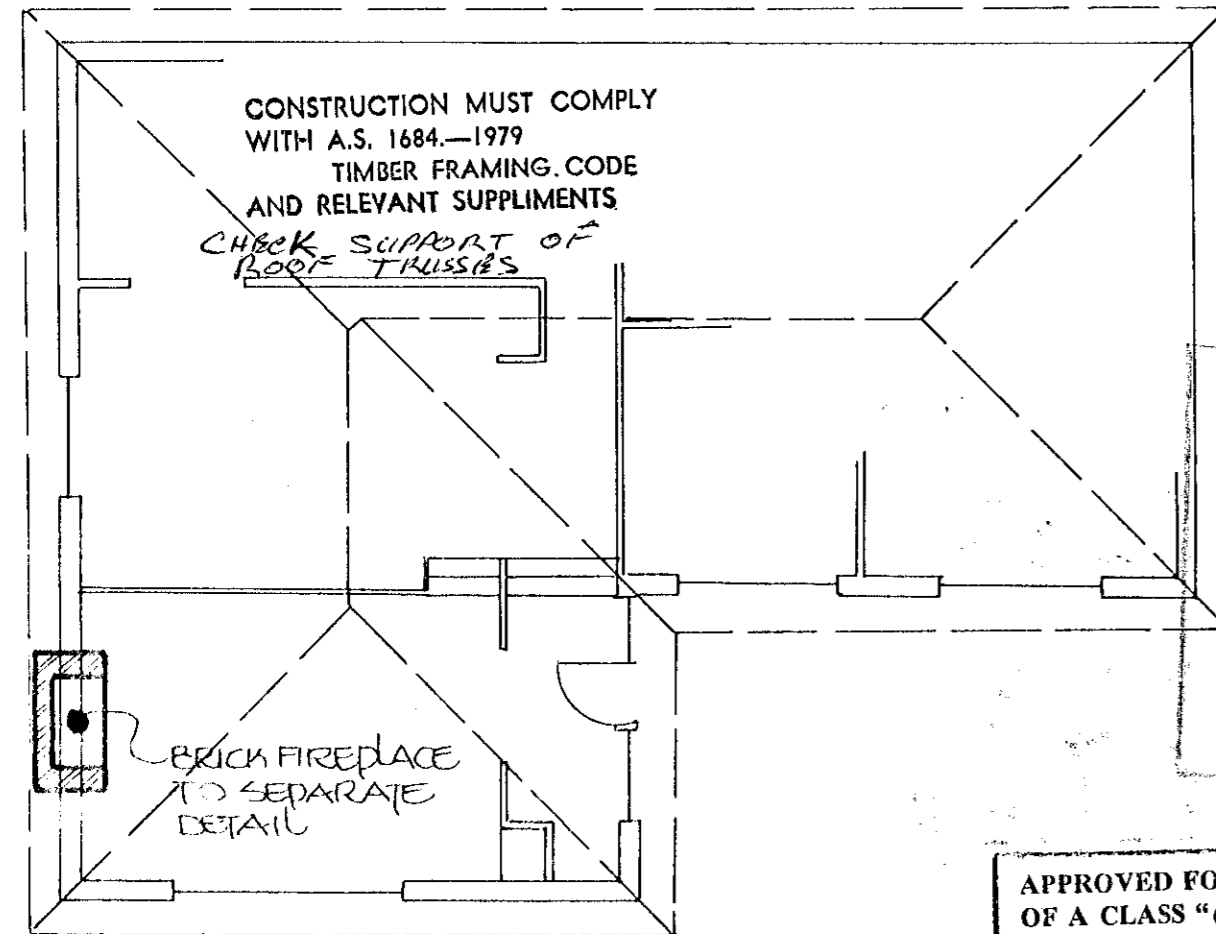
NOTE: POSITIONS OF ELECTRICAL OUTLETS MAY VARY

BUILDINGS (DESIGN AND SUPERVISOR)  
 ORDINANCE 1983 As Amended  
 APPROVAL GRANTED 5 MAR 1974  
 DELEGATE [Signature]  
 NATIONAL CAPITAL DEVELOPMENT COMMISSION

SUBJECT TO CONDITIONS AS INDICATED

ARCADIA-R. (Metric)  
 RESIDENCE: 109.500 m<sup>2</sup>  
 TERRACE: 6.840 m<sup>2</sup>  
 TOTAL: 116.340 m<sup>2</sup>  
 (11.82 SQ)

FAIRLANE CANBERRA PTY. LTD.		
PERFECTION HOMES CINEMA CENTRE - SUITE 17 Tel. 491266	BLOCK: 14	SECTION: 102
BRICK VENEER RESIDENCE	KAMBAH	SCALE: 1/100
	DATE: FEB. 1974	DRAWN: Carl Ostyn



FLOOR PLAN

1:100

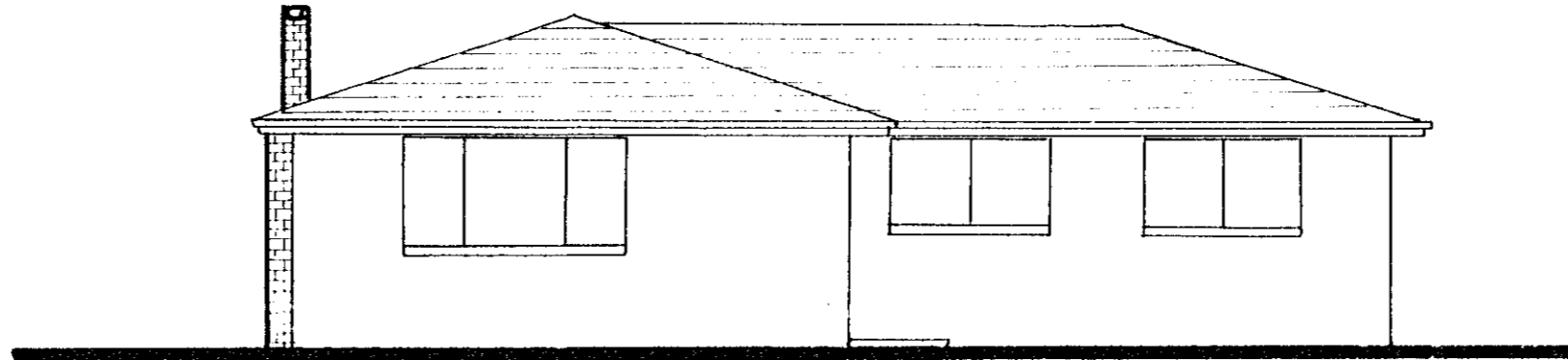
CONSTRUCTION MUST COMPLY WITH A.S. 1684.-1979  
TIMBER FRAMING CODE  
AND RELEVANT SUPPLIMENTS

CHECK SUPPORT OF  
ROOF TRUSSES

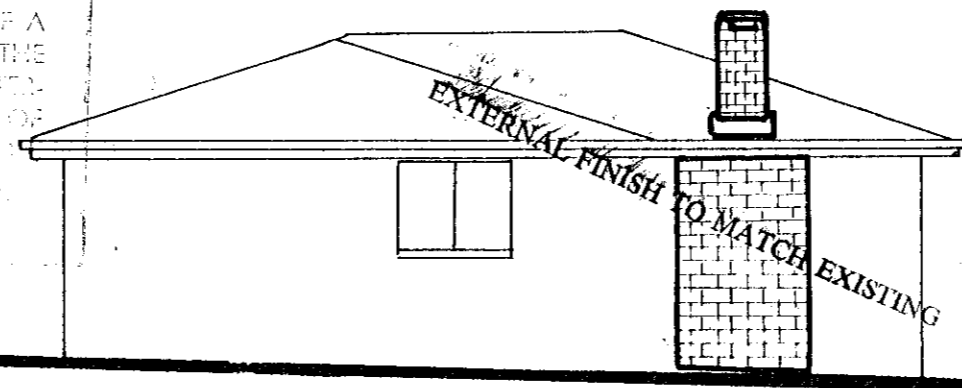
BRICK FIREPLACE  
TO SEPARATE  
DETAIL

BUILDING WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS THE BUILDING MANUAL ACT, THE NOTATIONS MADE ON THE PLANS AND ANY MATTERS SPECIFIED ON THE BUILDING PERMIT. THE CANCELLATION OF PLANS OR THE GRANT OF A BUILDING PERMIT DOES NOT AFFECT THE VALIDITY OF ANY OTHER LAW IN THE TERRITORY WHICH AUTHORIZES THE USE OF THE PLANS OR GRANT OF A BUILDING PERMIT.

APPROVED FOR CONSTRUCTION BY THE HOLDER OF A CLASS "C" LICENCE.  
CLASS OF OCCUPANCY: RESIDENCE I  
OUTBUILDINGS X  
*MR. Cooper* 23 MAR 1987  
DEPUTY BUILDING CONTROLLER



FELTUS STREET ELEVATION



BACCHUS CIRCUIT ELEVATION

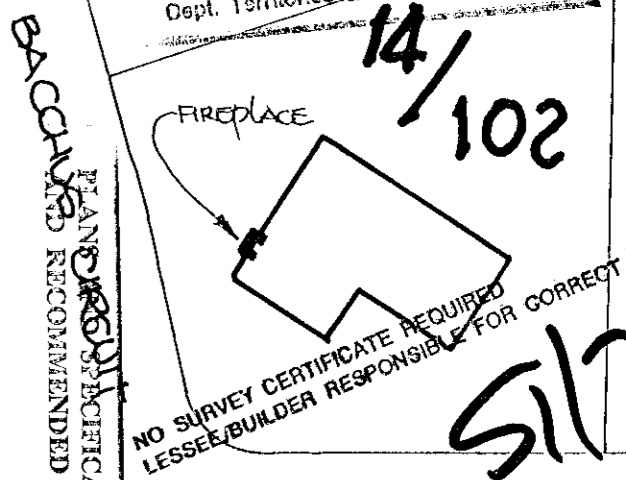
THIS APPROVAL DOES NOT SUPERSEED THE REQUIREMENTS OF THE ACT BUILDING MANUAL

BUILDINGS (DESIGN AND SITING) ACT 1964 AS AMENDED  
APPROVAL GRANTED  
11 MAR 1987  
DELEGATE *J. Sandfort*  
NATIONAL CAPITAL DEVELOPMENT COMMISSION

To assist the Building Inspector, suppliers and others to locate your site it is requested that you display the Block and Section at the front of the building block in letters at least 100 mm high,

PLANS SPECIFICATIONS EXAMINED AND RECOMMENDED FOR APPROVAL BY  
ENGINEER FOR WATER SUPPLY AND SEWERAGE  
CHIEF ELECTRICAL ENGINEER  
/ / 19

CLASS/FILE No. 35944/D  
Received  
- 2 MAR 1987  
Dept. Territories & Local Government



FELTUS STREET  
SITE PLAN 1:500

CAPITAL BRICK AND BUILDING INFORMATION CENTRE  
33 SILVA AVENUE  
QUEANBEYAN, N.S.W. 2620  
PHONE 97 8987

PROPOSED BRICK FIREPLACE  
Block 14, Section 102, KAMBAH.



ACT Government  
Department of Urban Services  
City Operations Branch  
**Asbestos Program**  
PO Box 574, Kingston ACT 2604

Block 14  
Section 102

TUGGL 35944  
No. 0660

62

Telephone: (06) 239 6276  
Facsimile: (06) 295 6717

## Certificate of Completion of Asbestos Removal Work

This document confirms that loose asbestos insulation has been removed from:

Address

1 Fel tus Place, Kambah

in accordance with the standards and requirements of ACT Building Control.

Tests carried out on 8 / 4 / 92 established that the National Health and Medical Research Council and Worksafe Australia standards of safety for asbestos removal have been met.

Signed (Manager - Policy and Administration)

*[Signature]*

Date

8 / 5 / 92

Residual fibres may still be present in the wall cavities of the building. Prior approval of the Building Controller is to be obtained for any building work involving the alteration or removal of internal wall sheeting or external brickwork. It may be necessary for a licensed asbestos removalist to attend this work.



47

# CERTIFICATE OF OCCUPANCY OR USE

Pursuant to Part V of the Building Ordinance 1972, the building consisting of;

*Extension to Residence*

situated at

Block <i>14</i>	Section <i>102</i>	Division <i>Kambah</i>
or situated at		

is considered to be substantially in accordance with the prescribed requirements for occupancy and use, subject to the endorsements listed below .

Approved plan Nos. <i>35944/c</i>		
Type of construction * <i>5</i>	Class of occupancy * <i>I</i>	(* as defined in the Building Manual A.C.T. )
Permit No. <i>48125</i>	Name of permit holder <i>Diamond Homes</i>	

Endorsements

.....

.....

.....

.....

.....

.....

.....

.....

.....

.....

The issue of this Certificate does not affect the liability of a person to comply with the provisions of a law of the Territory ( including the Building Ordinance ) relating to the building work nor does it authorise the use of the land contrary to a provision, covenant or condition of lease .

28568

*M. Wilson*  
Deputy Building Controller

*9.5.83*  
date

SEE OVERLEAF

## **CERTIFICATE OF OCCUPANCY OR USE**

A Certificate as to the Fitness for Occupancy and Use may be issued by the Building Controller under section 53 of the Building Ordinance 1972-74 when -

1. The external design and siting of the building as erected or as altered is in conformity with the proposals with respect to external design and siting approved under the Buildings (Design and siting) Ordinance;
2. The building is substantially in accordance with the approved plans and specifications for the building work, the conditions to which the building permit for the work is subject and any directions given under the Building Ordinance in relation to the work; and
3. The building is considered to be structurally sufficient, sound and stable for the purposes for which it is to be occupied and used.

The issue of the Certificate does not indicate compliance with any other law of the Territory relating to the building work. Specifically, it does not cover the requirements of the A.C.T.E.A. in regard to electrical services and fittings, the requirements of the A.C.T. Fire Brigade under the Fire Brigades Ordinance, or the requirements of the Canberra Sewerage and Water Supply Regulations.

The issue of the Certificate does not indicate the achievement of any particular standard of workmanship in the method of construction or finishes to the building. It is recommended that builders and owners or purchasers enter into a suitable written contract which specifies the obligations and responsibilities of each party and provides adequate remedies should either party default.

A Certificate as to Fitness for Occupancy and Use may be issued for the whole building or a portion of a building. The Building Ordinance prescribes a penalty of \$400 where a person is convicted of occupying or using a building, or permitting another person to occupy or use a building, or a portion of a building, without the Certificate.

The fee prescribed by the Building Regulations for the search by an owner of a certificate issued under section 53 of the Ordinance is \$5.00, and for the search of the records kept by the Building Controller into matters under the Ordinance, \$5.00 (or \$15.00 if a written statement is required).

**THIS IS A VALUABLE DOCUMENT**

**KEEP IT IN A SAFE PLACE**



# CERTIFICATE OF OCCUPANCY OR USE

Pursuant to Part V of the Building Ordinance 1972, the building consisting of -  
..... Metal Carport + shed .....

situated at -

Block 14	Section 102	Division KAMBANG
or situated at		

is considered to be substantially in accordance with the prescribed requirements for occupancy and use, subject to the endorsements listed below.

Approved plan nos 35944/B		
Type of construction* 5	Class of occupancy* X	(*As defined in the Building Manual A.C.T.)
Permit no. 24922	Name of permit holder P.G. White	

### ENDORSEMENTS:

.....

.....

.....

.....

.....

.....

.....

.....

.....

.....

.....

.....

.....

.....

.....

.....

.....

.....

.....

.....

.....

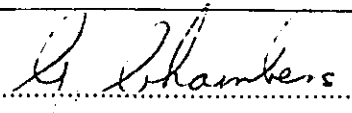
.....

.....

.....

.....

The issue of this Certificate does not affect the liability of a person to comply with the provisions of a law of the Territory (including the Building Ordinance) relating to the building work nor does it authorise the use of the land contrary to a provision, covenant or condition of lease.

N <sup>o</sup> 003407	 ..... Deputy Building Controller
-----------------------	---

# **CERTIFICATES AS TO FITNESS FOR OCCUPANCY AND USE**

A Certificate as to the Fitness for Occupancy and Use may be issued by the Building Controller under section 53 of the Building Ordinance 1972-74 when -

1. The external design and siting of the building as erected or as altered is in conformity with the proposals with respect to external design and siting approved under the Buildings (Design and siting) Ordinance;
2. The building is substantially in accordance with the approved plans and specifications for the building work, the conditions to which the building permit for the work is subject and any directions given under the Building Ordinance in relation to the work; and
3. The building is considered to be structurally sufficient, sound and stable for the purposes for which it is to be occupied and used.

The issue of the Certificate does not indicate compliance with any other law of the Territory relating to the building work. Specifically, it does not cover the requirements of the A.C.T.E.A. in regard to electrical services and fittings, the requirements of the A.C.T. Fire Brigade under the Fire Brigades Ordinance, or the requirements of the Canberra Sewerage and Water Supply Regulations.

The issue of the Certificate does not indicate the achievement of any particular standard of workmanship in the method of construction or finishes to the building. It is recommended that builders and owners or purchasers enter into a suitable written contract which specifies the obligations and responsibilities of each party and provides adequate remedies should either party default.

A Certificate as to Fitness for Occupancy and Use may be issued for the whole building or a portion of a building. The Building Ordinance prescribes a penalty of \$400 where a person is convicted of occupying or using a building, or permitting another person to occupy or use a building, or a portion of a building, without the Certificate.

The fee prescribed by the Building Regulations for the search by an owner of a certificate issued under section 53 of the Ordinance is \$5.00, and for the search of the records kept by the Building Controller into matters under the Ordinance, \$5.00 (or \$15.00 if a written statement is required).

**THIS IS A VALUABLE DOCUMENT**

**KEEP IT IN A SAFE PLACE**

Department of the Capital Territory  
Building Section

AUSTRALIAN CAPITAL TERRITORY  
Building Ordinance 1972  
(PART V)

N<sup>o</sup> 16322

CERTIFICATE OF FITNESS  
(Class  and X Occupancy Only)

ADVICE TO	Name of Permit holder	Address
	Name of Lessee	Address

*FAIRLANE CANBERRA PTY LTD.*

It is hereby certified that the building consisting of A BRICK VENEER RESIDENCE

situated on Block 14 Section 102 in the Canberra Division of KAMBAH /or

situated at \_\_\_\_\_ for which plans and specifications were approved and a building permit issued under the provisions of the Building Ordinance 1972, is fit for use and/or occupation.

Type of construction	Class of occupancy	Number of storeys
----------------------	--------------------	-------------------

Permit No. <i>20637/A.</i>
Approved Plan No. <i>35944</i>

\* as defined in the Building Manual A.C.T.

*7, 8, 74*

*[Signature]*  
Deputy Building Controller





# FILE INDEX for CONVEYANCING SEARCH

This index is designed to speed up the simplify the work of searching the building file by permanently recording the results of the first search and making the information available to facilitate subsequent searches.

This index is to be stapled inside the cover of the relevant file.

If the index is not complete and you are doing a file search then bring the index up to date.

**SUBURB** KAMBURH **SECTION** 10a **BLOCK** 14 **UNIT**

C of O Issued Y/N	Plan Number	Folio Number	BA's				Indemnity Insurance	Permit For Plan No.	Survey	Cert. of Occ. For Plan No.
			Res	Other	Amend's	Details				
Y	35944	1	✓							
		7					35944.			
		11						✓		
		23							35944	
	/A	24		superseded.						
Y	B	26					/B			
		30							/B	
		33							/B	
Y	/C	34		extensions			/C		/C	
		36								
		47							/C	
Y	D	48		fireplace			/D			
		50								
		57							/D	

Energy Rating Yes  No

Drainage Plan No. 24507 Folio No. 18

Comments:

35944 65

Huggett, Allan

From: actus@payserv.citec.com.au
Sent: Thursday, 14 March 2002 9:42
To: greg.budgen@citec.com.au; craig.perrett@citec.com.au; drainageplans@act.gov.au; darrell.dinnen@act.gov.au; guy.howard@act.gov.au
Subject: Canberra Connect PRODUCTION: order notification 18

The following order was submitted on Thu, 14 Mar 2002 10:42:22 GMT+11:00.

GST Tax Invoice Details:
Surname/Company name : HOMEBUYERS INSPECTIONS
Given name/contact : ANGUS REID
Address : PO BOX 3454
Address :
Suburb : MANUKA
State/Territory : ACT
Postcode : 2603
Country : AUS
ABN : 85 008 662 708

Building Conveyancing Enquiry - Residential:

Professional User ID : 5624607
Surname/Company : HOMEBUYERS INSPECTIONS
Given name/contact : ANGUS REID
Contact phone : 6260 6260
Email address : homebuyers@vistarison.com.au
Is this an ex Government residence? : No
Priority : Standard Turnaround (3-4 working days)
Suburb : KAMBAH
Section : 102
Block : 14
Unit :
Lessee : McPHIE
Client reference : DESMOND
Street address : 1 FELTUS PLACE
Street address :
Suburb : KAMBAH
State/Territory : ACT
Postcode : 2903
Country : AUS
Include sanitation plan : YES
Method of delivery : DX Number
Shopfront : null
Delivery address :
Delivery address :
Suburb :
State/Territory :
Postcode :
Country :
DX number : 24712 MANUKA
Applicant's Declaration : I have authorisation from the lessee/owner
COST: \$65.75

Payment Details:
Merchant Audit ID: 356542
Systems Trace Audit Number: 459860
Authorisation ID Response: 59860

Building Conveyancing Enquiry - RESIDENTIAL

Office Use Only

Information is provided in respect of electrical, drainage or sewerage matters and as to the location of overhead power lines or underground cables in relation to the building.

- 1. (a) Is this an ex government house?  
No (  ) Yes (    )
- (b) If yes, is there a building file with approvals on it?  
No (    ) Yes (    )
- 2. Is there any record of unapproved building work on the building file?  
No (  ) Yes (    ) > File copies attached
- 3. Are there any records on the building file of current housing indemnity insurance policies for building work?  
No (  ) Yes (    ) > File copies attached
- 4. Are there any records on the building file showing building applications still being processed for this application?  
No (    ) Yes (    ) > File copies attached
- 5. Are there any records on the building file of current notices issued over this property?  
No (  ) Yes (    ) > File copies attached

If available copies of the following documents are provided:  
 \* Certificates of Occupancy or Use  
 \* Survey Certificates  
 \* Approved Building Plans

Search Officers Comments (if any)

Date Completed ..... 21/3/02 ..... Receipt Number .....

Search Officers initials (            )

ALI-7864



**ASBESTOS AWARENESS** Helping everyone breathe easier

### Out of scope

1 FELTUS PLACE  
KAMBAH ACT 2902

Dear Home Owner

#### **Loose Asbestos Insulation Removal Program 1988-93**

We are writing to you as the owner of 1 FELTUS PLACE KAMBAH. Loose fill asbestos insulation was removed from this house in the 1988-93 Asbestos Removal Program.

This letter provides advice for when you are considering extensions or renovations to this house. (If this property is not owned by you, please pass this letter on to the owner. If you are not aware who the owner is, please phone 62078103 so that we can ensure that a copy is delivered to the correct person/s).

Over the period 1968 to 1978, loose asbestos insulation was sold by one local firm as ceiling insulation for houses in Canberra and, apparently, in some New South Wales towns. The insulation was pumped into the roof cavities of houses.

Because of the potential danger associated with this loose asbestos, a government-funded program was put in place to identify these houses in Canberra and to remove all visible and accessible loose asbestos insulation.

In 1988 all Canberra houses built before 1980 were surveyed. The survey identified that your house contained that loose asbestos insulation. Subsequently it was safely removed from your roof cavity, and all accessible roof and wall cavities were sealed with the adhesive, poly vinyl acetate (PVA).

While the PVA acted to bond and make safe any possible residual loose asbestos in accessible locations, some residual fibres may remain in inaccessible wall cavities.

The Asbestos Branch at the time wrote to all the homeowners recommending that they contact Building Control when considering extensions or renovations, for advice as to how to proceed. The current Asbestos Task Force believes that it is time to reinforce that message.

**If you are considering extensions or renovations, you should advise your builder that your house was part of the Loose Asbestos Insulation Removal Program, and instruct your builder to contact a licensed asbestos removalist to undertake the safe removal of any residual fibres during the removal of wall or ceiling lining.**

If you are undertaking this work yourself, contact a licensed removalist direct. Asbestos removalists are listed in the Yellow Pages telephone directory under 'Asbestos'. Asbestos removalists should contact a building certifier regarding building approval for this work.

If you wish to obtain a copy of documents relating to the Asbestos Removal Program from your Building File, an application form is attached to this letter.

If you have queries about your building file, please contact the ACT Planning and Land Authority;

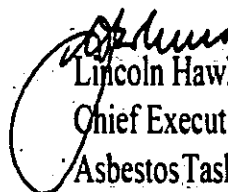
- By phone on (02) 62076262,
- By post to GPO Box 1908 Canberra ACT 2601,
- via e-mail to [ACTPLAIS@dpa.act.gov.au](mailto:ACTPLAIS@dpa.act.gov.au)
- or in person at the Mitchell Customer Service Centre, Corner Hoskins & Lysaght Streets Mitchell. Please bring a copy of this letter with you.

New laws apply to home owners regarding asbestos. Information about these new laws is provided in the booklet accompanying this letter.

Yours sincerely



Neil Savery  
Chief Planning Executive  
ACT Planning and Land Authority



Lincoln Hawkins  
Chief Executive  
Asbestos Task Force



## CITY OPERATIONS BRANCH

### ASBESTOS PROGRAM

PO Box 574, Kingston, ACT 2604

Telephone: (06) 239 6276

Facsimile: (06) 295 6717

35944

63

### NOTICE TO ALL ASBESTOS REMOVAL HOUSEHOLDS

Now that the Asbestos Program is drawing to a close, it is opportune to let householders and owners know the administrative arrangements for the future.

In July 1993, the asbestos removal process will be completed on all houses in the ACT, and the operations of the Asbestos Program will be scaled down accordingly. The warranty period for the last house treated will expire in December 1993 and the Program will maintain a facility to service the need until that date.

It is anticipated that the Asbestos Program will move from its office in Carpentaria House in Kingston in September 1993. However, PO Box 574 Kingston and the telephone number will remain operable.

A copy of the Certificate of Completion of asbestos removal from your house will be placed on the appropriate 'Building Control' file.

Prior to undertaking any building alterations to internal or external walls or ceilings, please contact 'Building Control' to ascertain any specific requirements of the building regulations.

'Building Control' offices are located:

Cnr Lysaght &  
Hopkins Streets  
Mitchell ACT 2911

Ph: 207 6262

"Old Woden TAFE"  
Callum Street  
Phillip ACT 2606

Ph: 207 6277

Cnr Scollay &  
Oakden Streets  
Tuggeranong ACT 2901

Ph: 207 5969

DEREK HYDE  
MANAGER ASBESTOS

6 JULY 1993



Department of Urban Services  
ACT Building Control

# Application for Search and/or copies of Plans/Documents

35944 P/A

GPO Box 158  
Canberra ACT 2601  
Civic  
Telephone: (06) 207 6257  
Facsimile: (06) 207 6258  
Tuggeranong  
Telephone: (06) 207 5969  
Facsimile: (06) 207 5955

61

Name of Applicant

Phone Number Business Hours

Hell & Rimmer

Address

Postal Address

Description of Land

Suburb

Section

Block

Unit

Hambden

102

14

Office Only
File charges
.....
.....
.....
.....
.....
.....
.....
.....
.....
TOTAL .....

Description of service required by you. (please tick requirement)

- Personal search of building file
- Staff-assisted search of the building file
- Standard written search to be posted
- Standard written search to be held at counter
- Results of any asbestos survey of the building (residential only)
- Copy of approved plans
- Copy of certified Certificates of Occupancy or Use *003407 - Carpet*
- Copy of uncertified Certificates of Occupancy or Use
- Copy of survey report
- Other (please specify) .....

GPO 21606

*Quigley ASAP*

File Access Authorisation

### Declaration

I declare that the particulars of this application for search and/or copies of plans/documents are true and correct in every detail and I am the person indicated by a tick in the relevant box below.

- I am the lessee/owner
- I am the solicitor acting on behalf of the lessee/owner
- I have authorisation from the lessee/owner, which is attached
- I have authorisation from the solicitor representing the lessee/owner, which is attached
- I have authorisation from the trustee of the deceased estate, which is attached
- I have authorisation for power of attorney for the lessee/owner, which is attached
- I am/act for a mortgagee in possession

Signature

Date

/ /

Note

1. Applicants must comply with one of the above declarations to protect any personal information relating to the lessee/owner of this lease under the provisions of the Privacy Act 1988.
2. Section 59A of the ACT Building Act 1972 provides for severe penalties for false or misleading statements.

### Office Use Only

Search Officer's Initials

Date Completed

/ /

Receipt Number



Department of Urban Services  
ACT Building Control

GPO Box 158  
Canberra City ACT 2601  
Civic  
Tel: (06) 247 8077  
Facs: (06) 246 2202  
Tuggeranong  
Tel: (06) 293 6936  
Facs: (06) 293 1486

# Application for Search and/or copies of Plans / Documents

Name of Applicant Hill & Rummery Phone Number Business Hours

Address

Postal Address

Description of Land  
Suburb KAMBAM Section 102 Block 4 Unit

OFFICE ONLY  
File charges

TOTAL: .....

Description of service required by you. (please tick requirement)

- Personal search of building file
- Staff-assisted search of the building file
- Standard written search to be posted
- Standard written search to be held at counter
- Results of any asbestos survey of the building (residential only)
- Copy of approved plans
- Copy of certified certificates of occupancy or use - 003407 - Carport shed
- Copy of uncertified certificates of occupancy or use
- Copy of survey report
- Other (please specify) .....

File Access Authorisation

DECLARATION

I declare that the particulars on this application for search and/or copies of plans/documents are true and correct in every detail and I am the person indicated by a tick in the relevant box below.

- I am the lessee/owner
- I am the solicitor acting on behalf of the lessee/owner GRD: 21606
- I have authorisation from the lessee/owner, which is attached
- I have authorisation from the solicitor representing the lessee/owner, which is attached
- I have authorisation from the trustee of the deceased estate, which is attached
- I have authorisation for power of attorney for the lessee/owner, which is attached
- I am/act for a mortgagee in possession

Signature [Signature] Date 21/9/92

- Notes:
1. Applicants must comply with one of the above declarations to protect any personal information relating to the lessee/owner of this lease under the provisions of the Privacy Act 1988.
  2. Section 59A of the ACT Building Act 1972 provides for severe penalties for false or misleading statements

OFFICE USE ONLY

Search officer's initials .....

Date Completed .....





# HILL & RUMMERY

BARRISTERS AND SOLICITORS

ALAN R. HILL  
CHRISTINE STEPHENS

Managing Clerks:  
GORDON R. DUFF  
JACKI CLARKE

REF:

24 June, 1992.

YOUR REF:

58  
SECOND FLOOR  
STATE BANK BUILDING  
159-173 LONDON CIRCUIT  
CANBERRA, A.C.T. 2601

P.O. BOX 176  
CIVIC SQUARE, A.C.T. 2608

DX 5655 CANBERRA

TELEPHONE: (06) 248 9188

FAX (06) 247 5706

Building Controller  
ACT Administration  
DX 5639  
CANBERRA

Dear Sir,

RE: BLOCK 14 SECTION 102 DIVISION OF KAMBAH  
LESSEE: J.P. & M. QUIGLEY

We hereby authorise you to make the building file available for inspection by the persons designated hereunder.

You are also authorised to hand over copies of any plans, documents and survey report.

Persons authorised to inspect are:-

1. Ms H. McPhie
2. Mr Peter Waight

Or their authorised agent.

Yours faithfully  
HILL AND RUMMERY

Per: 



# CERTIFICATE OF OCCUPANCY OR USE

57

Pursuant to Part V of the Building Ordinance 1972, the building consisting of:

*Fireplace*

situated at

Block <i>14</i>	Section <i>102</i>	Division <i>Kambah</i>
--------------------	-----------------------	---------------------------

or situated at

is considered to be substantially in accordance with the prescribed requirements for occupancy and use, subject to the endorsements listed below.

Approved plan Nos. <i>35944/2</i>		
Type of construction* <i>5</i>	Class of occupancy* <i>1</i>	(*as defined in the Building Manual A.C.T.)
Permit No. <i>91746</i>	Name of permit holder <i>A. Freeman</i>	

Endorsements

.....

.....

.....

.....

.....

.....

.....

.....

.....

.....

.....

The issue of this Certificate does not affect the liability of a person to comply with the provisions of a law of the Territory (including the Building Ordinance) relating to the building work nor does it authorise the use of the land contrary to a provision, covenant or condition of lease.

57599

*D. Wilson*

Deputy Building Controller

*23 14 87*

date

SEE OVERLEAF

## CERTIFICATE OF OCCUPANCY OR USE

A Certificate as the Fitness for Occupancy and use may be issued by the Building Controller under section 53 of the Building Ordinance 1972-74 when -

1. The external design and siting of the building as erected or as altered is in conformity with the proposals with respect to external design and siting approved under the Buildings (Design and siting) Ordinance;
2. The building is substantially in accordance with the approved plans and specifications for the building work, the conditions to which the building permit for the work is subject and any directions given under the Building Ordinance in relation to the work; and
3. The building is considered to be structurally sufficient, sound and stable for the purposes for which it is to be occupied and used.

The issue of the Certificate does not indicate compliance with any other law of the Territory relating to the building work. Specifically, it does not cover the requirements of the A.C.T.E.A. in regard to electrical services and fittings, the requirements of the A.C.T. Fire Brigade under the Fire Brigades Ordinance, or the requirements of the Canberra Sewerage and Water Supply Regulations.

The issue of the Certificate does not indicate the achievement of any particular standard of workmanship in the method of construction or finishes to the building. It is recommended that builders and owners or purchasers enter into a suitable written contract which specifies the obligations and responsibilities of each party and provides adequate remedies should either party default.

A Certificate as to Fitness for Occupancy and Use may be issued for the whole building or a portion of a building. The Building Ordinance prescribes a penalty of \$400 where a person is convicted of occupying or using a building, or permitting another person to occupy or use a building, or a portion of a building, without the Certificate.

The fee prescribed by the Building Regulations for the search by an owner of a certificate issued under section 53 of the Ordinance is \$5.00, and for the search of the records kept by the Building Controller into matters under the Ordinance, \$5.00 (or \$15.00 if a written statement is required.)

**THIS IS A VALUABLE DOCUMENT**

**KEEP IT IN A SAFE PLACE**



# FINAL INSPECTION RECORD

57

56

66800

BL2/16(3/84)

Block: 14 Section: 102 Division: Kambah

Building Work: Fire place

Approved Plan No.: 35944/D and amendments: —

Class of Occupancy: I Type of Construction (commercial buildings): —

Permit No.: 91746 Permit holder: A.T. Freeman.

An inspection of the construction has indicated that:

- work appears to be substantially complete in accordance with the approved plans
- ~~work does not meet the requirements of the approved plans~~
- ~~the following matters require your attention:~~

*[This section is crossed out with a large diagonal line.]*

Please rebook this inspection stage when rectified.

**BEFORE A CERTIFICATE OF OCCUPANCY OR USE MAY ISSUE, THE FOLLOWING CLEARANCES (WHERE TICKED) ARE REQUIRED TO BE LODGED WITH BUILDING SECTION:**

	folio	comments
<input type="checkbox"/> Plumbing		
<input type="checkbox"/> Electrical		
<input type="checkbox"/> Survey		<u>N/A</u>
<input type="checkbox"/> Fire Brigade		
<input type="checkbox"/> Health Commission		
<input type="checkbox"/> Technical Inspection		
<input type="checkbox"/> Structural Engineering		
<input type="checkbox"/> Other		
<input checked="" type="checkbox"/> Posted		
<input checked="" type="checkbox"/> Left on site		
		<u>ABoyd.</u> <u>23.4.87</u>
		Building Inspector

### **ADVISORY INFORMATION**

Section 53 of the Building Ordinance provides that a Certificate of Occupancy or Use shall be issued on application by the owner of the parcel of land on which the building is situated.

Owners who wish their Certificate of Occupancy to be collected by their agents (including Defence Service Homes, Commissioner for Housing, banks or building societies) should ensure that the agent is nominated on the application form.

A Certificate of Occupancy or use may be issued under the Building Ordinance where the building work has been completed substantially in accordance with the approved plans, the conditions of the Building Permit and any directions given under S.46 of the Ordinance, and in accordance with the proposals with respect to external design and siting approved in writing by the NCDC under the Buildings (Design and Siting) Ordinance 1964.

All building permits are granted subject to the condition that building work will be carried out in accordance with the approved plans and comply with the standards set out in the ACT Building Manual. Where building work is not complete, or departs from the approved plans or the standards of the Building Manual, the nature of the omission or departure should be specified on the application form.

Owners are advised not to complete an application for a Certificate of Occupancy until they have accepted the building work as being completed in accordance with the prescribed requirements of approval and the terms of their building contract.

Where necessary, owners should seek consultant advice to determine whether the building work has been completed satisfactorily. It should be noted that Building Inspectors do not have the responsibility for supervision of building work on behalf of owners.



# APPLICATION FOR CERTIFICATE OF OCCUPANCY OR USE

BL 1/27(9/86)  
53-05-0696-3

Name of Agent (if applicable) <b>A.T. FREEMAN</b>	Address <b>15 MARAWA PL. ARANDA ACT</b>
	Telephone <b>513480</b>
Name of lessee/owner of parcel of land <b>M. E. QUIQLEY</b>	Address (show P.O. Box No. if any) <b>1. FELTUS PL. KAMBAAH</b>
	Telephone

I hereby advise that the building work comprising

**CONSTRUCTION OF A FULL  
BRICK OPEN FIREPLACE IS NOW COMPLETED**

and situated at

Block <b>14</b>	Section <b>102</b>	Suburb <b>KAMBAAH</b>
--------------------	-----------------------	--------------------------

for which a building permit was granted has been completed substantially in accordance with the prescribed requirements of approval and accordingly make application under Section 53 of the Building Ordinance 1972 for the issue of a Certificate of Occupancy or use to be

posted to me

held for collection

*[Signature]*  
Signature of Applicant

**16, 4, 87**  
Date

I hereby authorise the abovenamed applicant of the address indicated to make this application on my behalf.

To be completed if application made otherwise than by the lessee/owner, or his solicitor

*[Signature]*  
Signature of Lessee/Owner

**16, 4, 87**  
Date

**IMPORTANT — SEE ADVISORY INFORMATION OVERLEAF**

Approved Plan No. <b>35944/D</b>	Name of permit holder <b>ANTHONY T. FREEMAN</b>
-------------------------------------	--

DATE REQUESTED FOR FINAL INSPECTION (At least 4 working day's notice required)

Preferred date: <b>23/4/87</b> Morning <input checked="" type="checkbox"/> Afternoon <input type="checkbox"/>	Alternative date: <b>24/4/87</b> Morning <input checked="" type="checkbox"/> Afternoon <input type="checkbox"/>
--	--

List any items not completed in accordance with approved plans

**None** 9-10 23/4

**NOTE:** this application may be lodged  
•by post to the Building Section, Department of Territories, G.P.O Box 158, Canberra 2601; or  
•by hand at the Building Section, North Building, Civic Offices, London Circuit, Canberra.

### ADVISORY INFORMATION

Section 53 of the Building Ordinance provides that a Certificate of Occupancy or Use shall be issued on application by the owner of the parcel of land on which the building is situated.

Owners who wish their Certificate of Occupancy to be collected by their agents (including Defence Service Homes, Commissioner for Housing, banks or building societies) should ensure that the agent is nominated on the application form.

A Certificate of Occupancy or Use may be issued under the Building Ordinance where the building work has been completed substantially in accordance with the approved plans, the conditions of the Building Permit and any directions given under S.46 of the Ordinance, and in accordance with the proposals with respect to external design and siting approval in writing by the NCDC under the Buildings (Design and Siting) Ordinance 1964.

All building permits are granted subject to the condition that building work will be carried out in accordance with the approved plans and comply with the standards set out in the ACT Building Manual. Where building work is not complete, or departs from the approved plans or the standards of the Building Manual, the nature of the omission or departure should be specified on the application form.

Owners are advised not to complete an application for a Certificate of Occupancy until they have accepted the building work as being completed in accordance with the prescribed requirements of approval and the terms of their building contract.

Where necessary, owners should seek consultant advice to determine whether the building work has been completed satisfactorily. It should be noted that Building Inspectors do not have the responsibility for supervision of building work on behalf of owners.

APPROVED FOR SIGNATURE

22 MAY 1964

8 5





# INSPECTION RECORD

No 172662 <sup>54</sup>

Permit Holder: A.T. Freeman

Block: 14 Section: 102 Suburb: Kambah

Stage: Foundation to fireplace  
Plan No 35944/D

A brief inspection of parts of the construction on this site has indicated that:

Work  may proceed to next stage  
 may not proceed to next stage

The following matters appear to require your attention

① Footing to external wall was inspected on 3/4/87, however if this booking is for internal, access was not available - re-book. Please clarify.

*Clarified with builder. The owner also made a booking.*  
*AB 8/4/87*

?  Please rebook this inspection stage when rectified

*Allan Boyd*  
*462253 - 54*

Posted  Left on site

*AB 7/4/87*  
Building Inspector

**NOTE: Inspectors can be contacted at the office ONLY BETWEEN 11 am-12 noon.**

Permits are granted on the condition that the materials and methods of construction will conform with the acceptable standards set out in the Building Manual, that work will be carried out in a proper and workmanlike manner, in accordance with the approval plan and specifications, with adequate safety precautions, and by the holder of the permit or a person employed by or under contract to him.

Spot checks of construction by the Building Inspector are carried out to enable the Department to administer the Building Ordinance. The Department does not have the role of supervising construction on behalf of owners and is not able to ensure the quality of finish of buildings. It is recommended that if necessary owners engage competent building design and construction consultants to advise them.

It should be noted that this Inspection Record is not intended to provide a certification that the building work complies absolutely with the prescribed requirements. Inspection Records should not be used to indicate satisfactory progress or conformance with contractual arrangements.

Finals 5/1/87

35977

# REQUEST FOR INSPECTION

Block

Section

Suburb

14

102

Kambah

Inspection  
Stage  
Required:

foundation

Permit Holder:

Name:

Telephone:

freeman

Date  
Stage will  
be reached:

Date advised:

6/4

Time:

AM

Taken by:  
(Initials)

K

No 361115



# INSPECTION RECORD

No 174241

52

Permit Holder: *A.T. Freeman*

Block: *14* Section: *102* Suburb: *Kambah.*

Stage: *Testing Preparation to fireplace*  
*Plan No 35994/D*

A brief inspection of parts of the construction on this site has indicated that:

Work  may proceed to next stage  
 may not proceed to next stage

The following matters appear to require your attention

*[Large diagonal line through the section]*

*llv*

*Side Note:*

*450 x 250 footing to solid base with 2 layers 4/16 bar F8TM*

Please rebook this inspection stage when rectified

Posted

Left on site

*[Signature]* 3.4.87  
Building Inspector

**NOTE: Inspectors can be contacted at the office ONLY BETWEEN 11 am-12 noon.**

Permits are granted on the condition that the materials and methods of construction will conform with the acceptable standards set out in the Building Manual, that work will be carried out in a proper and workmanlike manner, in accordance with the approval plan and specifications, with adequate safety precautions, and by the holder of the permit or a person employed by or under contract to him.

Spot checks of construction by the Building Inspector are carried out to enable the Department to administer the Building Ordinance. The Department does not have the role of supervising construction on behalf of owners and is not able to ensure the quality of finish of buildings. It is recommended that if necessary owners engage competent building design and construction consultants to advise them.

It should be noted that this Inspection Record is not intended to provide a certification that the building work complies absolutely with the prescribed requirements. Inspection Records should not be used to indicate satisfactory progress or conformance with contractual arrangements.

# REQUEST FOR INSPECTION

Block

Section

Suburb

14

102

Kambah.

---

Inspection

Stage

Required:

Footings  
Fireplace.

---

Permit Holder:

Name:

Freeman A.T.

Telephone:

---

Date

Stage will

be reached:

---

Date advised:

2 1/4/87

Time:

am

Taken by  
(Initials)

CK

No 357571

---



Department of Territories  
BUILDING SECTION

Permit Number  
91746

# PERMIT TO CARRY OUT BUILDING WORK

PERMIT HOLDER **FREEMAN A.T.**

Nominee

Blk <b>0014</b>	Sec <b>102</b>	Unit	Suburb <b>KAMBAH</b>	Permit Lapse <b>02/07/88</b>	Date Issued <b>02/04/87</b>
Class of Builders Licence <b>D</b>	Registered Licence No. <b>2052</b>	Plan Number <b>35944/D</b>	Cost \$ <b>3200</b>		

Description of Building Work **FIREPLACE**

Endorsements **NO SURVEY CERTIFICATE REQUIRED**

Licencee/Nominee  
Co. or Partnership

**FREEMAN A.T.**

Postal  
Address

**15 MARAWA PLACE  
ARANDA ACT**

**2614**

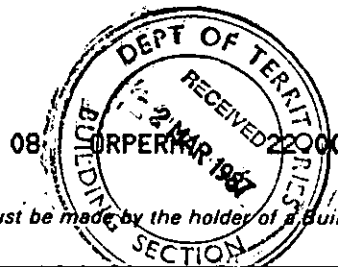
**P. WYRDEMAN**

*Building Controller*



Building Ordinance 1972

# APPLICATION FOR BUILDING PERMIT



NOTE: Except as provided by section 39 of the Building Ordinance 1972 this application must be made by the holder of a Building Licence.

PERMIT NO.		DESCRIPTION OF LAND			
	91746	4	Approved plan No.	1	Block No. Section Suburb
				14	102 KAMBAN
LESSEE'S APPLICANT	Surname Initials		Address		
	FREEMAN AT		15 MARAWA PL ARANDA 2513480 Home 513480		
LESSEE'S APPLICANT	Surname Initials		Address		
	QUIGLEY		1 FELTUS PLACE, KAMBAN Home		
Class of Builders Licence held by Applicant			Licence Number		
D			2052		
Type of construction and class of occupancy to be shown as indicated in the Building Manual, Part 17 and Part 6	Type of Construction	Class of occupancy	Permissible floor load (Not applicable to buildings of class 1 and X occupancy)		Contract or estimated price (excluding land)
					24 \$ 3200/=
Description of building work to be carried out.					25 OFFICE USE ONLY
Brick Fireplace.					
Type of Work Please place a <input checked="" type="checkbox"/> in the appropriate square					
<input type="checkbox"/> New Building <input type="checkbox"/> Additions to existing building <input type="checkbox"/> Alterations to existing building <input checked="" type="checkbox"/> Other (specify) <u>FIREPLACE</u>					
					26
IF APPLICABLE	Main material used in outside walls				
	<input checked="" type="checkbox"/> Bricks/ Masonry blocks <input type="checkbox"/> Timber/ Weatherboard <input type="checkbox"/> Concrete <input type="checkbox"/> Fibre cement sheets <input type="checkbox"/> Other (specify) .....				
	Main material of building frame				
	<input checked="" type="checkbox"/> Timber <input type="checkbox"/> Brick <input type="checkbox"/> Metal <input type="checkbox"/> Concrete <input type="checkbox"/> Other (specify) .....				
Main material of roof					
<input type="checkbox"/> Terra-cotta tiles <input checked="" type="checkbox"/> Cement tiles <input type="checkbox"/> Fibre cement sheets <input type="checkbox"/> Galvanised Iron <input type="checkbox"/> Other (specify) .....					
Main material of floors					
<input checked="" type="checkbox"/> Timber <input type="checkbox"/> Concrete <input type="checkbox"/> Metal <input type="checkbox"/> Earth <input type="checkbox"/> Other (specify) .....					
Number of residential units created by this permit application		Total floor area in square metres			
		27			
Applicant's Signature <u>X [Signature]</u> 2, 3 87					
OFFICE USE ONLY	FEES DUE		APPLICATION APPROVED		
	Total fees payable	\$	Deputy Building Controller <u>[Signature]</u>		
	TOTAL FEE PAID \$	22	28 Date 2 4 87		
Licence File No.		F. N. A			

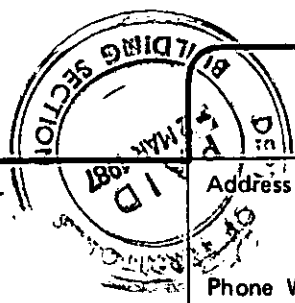




Department of Territories  
 BUILDING SECTION  
 North Building, Civic Offices,  
 London Circuit, 491355

# APPLICATION FOR APPROVAL OF PLANS

53-05-1169-0 (8/86)



Cash Register Imprint

07 DRPLAN 17.00

Name of Applicant <b>FREEMAN A.T.</b>	Address <b>15 MARAWA PL ARANDA</b>
Phone Wk: <b>513480</b> Hm: <b>513480</b> Postcode <b>2614</b>	

Name of lessee/owner of parcel of land <b>QUIGLEY</b>	Address (show P.O. Box No. if any) <b>1 FELTUS PLACE, KAMBAH.</b>
Phone Wk: _____ Hm: _____ Postcode _____	

Description of the building work involved in this application  
**BRICK FIREPLACE**

Description of land on which the building work is to be carried out	Block <b>14</b>	Section <b>102</b>	Division (Suburb) <b>KAMBAH</b>
---	--------------------	-----------------------	------------------------------------

To be specified in accordance with the appropriate classification in the Building Manual.	Type of construction <i>(NIA for Class I or X buildings)</i>	cost <b>\$3200/=</b>
	Class of occupancy	Total floor area where applicable

This application is for: (please tick appropriate box)

New work       Amendment to approved plan       Amendment to plan not yet approved       Details

Design information required under s.32 of the Building Ordinance to be provided by designer/applicant -

Classification of foundation material:  Stable       Unstable

Wind loading - AS1170: Terrain category  3      Max. design wind speed  33 M/S

Note: Approval is based on design information submitted on plans and above. Competent building consultants should be employed by the owner to advise on technical matters.

I hereby apply for approval of the attached plans, and request that approved plans be-

posted to the applicant's address      *[Signature]* **2, 3, 87**  
 signature of applicant      date

held at the counter for collection (telephone advice will be given when ready for collection)

To be completed if application made otherwise than by the lessee / owner, his solicitor or architect.

I hereby authorise the abovenamed applicant of the address indicated to make this application on my behalf

*[Signature]* **2, 3, 87**  
 signature of lessee / owner      date

FOR OFFICE USE ONLY	<input checked="" type="checkbox"/> New work	Plans numbered <b>35944/D</b>	Class of licence required <b>C</b>
	<input type="checkbox"/> Amendment to approved plan	NO SURVEY CERTIFICATE REQUIRED LESSEE/BUILDER RESPONSIBLE FOR CORRECT SITING	Valuation
	<input type="checkbox"/> Amendment to plan not yet approved	Total fees payable <b>\$14/=</b>	<input checked="" type="checkbox"/>
	<input type="checkbox"/> Details	Plans	<input checked="" type="checkbox"/> Approved <input type="checkbox"/> Not approved
Notify applicant new permit required endorse existing permit Permit fee required	<i>[Signature]</i> Deputy Building Controller		<b>23, MAR, 1987</b> date

Section 32 of the Building Ordinance requires the application for approval of plans to specify the class of building according to the use to which the building is intended to be used when erected or altered. The classification of buildings is summarised as follows, for full details refer to Part 6 of the ACT Building Manual.

#### RESIDENTIAL BUILDINGS

**Class I Buildings** containing one dwelling, or a number of dwellings separated by a vertical party structure.

**Class II Buildings** containing at least two flats separated by a party structure, or a flat forming part of, or attached to, a Class I building.

**Class III Buildings** designed or adapted for use for human habitation, such as apartment houses, boarding houses, hostels, lodging houses, residential clubs, residential hotels, motels and the residential portions of schools, institutional buildings and premises licensed under the provisions of the Liquor Ordinance.

**Class IV Dwellings** attached to buildings of other classes, comprising any portions of shops, offices, warehouses, factory buildings or public buildings, designed or adapted for use as residences for the occupiers or caretakers of those buildings.

#### COMMERCIAL BUILDINGS

**Class V Office buildings**, including banks, broadcasting or television studios, professional chambers and the office section or sections in buildings designed or adapted for use for professional or commercial purposes, other than as shops, warehouses of factories.

**Class VI Shops** comprising buildings designed or adapted for use as places where goods are sold or exposed for sale by retail, or services are supplied to customers, and including hair-dressers' shops, barbers' and boot repairers' shops, dyers' shops and clothes cleaners' shops and shops of agents of any such dyers or clothes cleaners, cafes, restaurants, service stations, hotel bars, undertakers establishments, and tailors' and photographers' shops.

**Class VII Warehouses**, comprising buildings designed or adapted for use for the bulk storage and/or display or sale of goods other than by retail, but including public garages (other than garages to be used solely for repair), hangars, show-room and storage buildings.

**Class VIIIA Factories**, including buildings designed or adapted for use for the carrying out therein of part or all of the processes of manufacture, assembly, alteration, repair, renovation, preparation, ornamentation, finishing, adaptation, packing, cleaning or washing of goods or foodstuffs, not being of Class VIIIB.

**Class VIIIB Buildings** of high fire hazard, designed or adapted to be used for the carrying out of factory processes and storage purposes with high fire hazard potential.

#### Class IX Institutional and assembly buildings

**IXA Institutional buildings** such as benevolent homes, convalescent homes, hospitals, nursing homes and sanatoria, orphanages, childminding centres and nurseries;

**IXB Assembly buildings** such as theatres, concert, music or assembly halls, cabarets, skating rinks, public bath, clubs and any other building designed, erected or adapted for use by numbers of persons assembled for the purpose of recreation, amusement entertainment or instruction and including, churches, universities, colleges, schools, chapels or meeting houses and libraries.

#### OTHER STRUCTURES

**Class X Outbuildings**, comprising structures such as laundries, water closets, private garages and similar appurtenant buildings including swimming pools, pergolas, screen walls, retaining walls and fences.



Department of the Capital Territory  
BUILDING SECTION

# APPLICATION FOR CERTIFICATE OF OCCUPANCY OR USE



35944 461  
PA 215

BL 1/27(9/82)

Name of Agent (if applicable)	Address
	Telephone
Name of lessee/owner of parcel of land	Address (Show P.O. Box No. if any)
<i>Mrs M. J. Quigley</i>	<i>1 FELTUS PL. KAMBAY</i>
	Telephone

I hereby advise that the building work comprising

*EXTENSION TO RESIDENCE*

and situated at

Block	Section	Suburb
<i>14</i>	<i>102</i>	<i>KAMBAY</i>

for which a building permit was granted has been completed substantially in accordance with the prescribed requirements of approval and accordingly make application under Section 53 of the Building Ordinance 1972 for the issue of a Certificate of Occupancy or Use to be

posted to me

held for collection

Signature of Applicant

Date

I hereby authorise the abovenamed applicant of the address indicated to make this application on my behalf.

*To be completed if application made otherwise than by the lessee/owner, his solicitor or architect.*

*x M. J. Quigley* *2, 5, 83*  
Signature of Lessee/Owner Date

**IMPORTANT - SEE ADVISORY INFORMATION OVERLEAF**

Approved Plan No.	Name of permit holder
<i>35944/L</i>	<i>DIAMOND HOMES.</i>

List any items not completed in accordance with approved plans

**Note:** this application may be lodged

- by post to the Building Section, Department of the Capital Territory, PO Box 158, Canberra City 2601; or
- by hand at the Building Section, 1st Floor, North Building, Civic Offices, London Circuit, Canberra City.

### **ADVISORY INFORMATION**

Section 53 of the Building Ordinance provides that a Certificate of Occupancy or Use shall be issued on application by the owner of the parcel of land on which the building is situated.

Owners who wish their Certificate of Occupancy to be collected by their agents (including Defence Service Homes, Commissioner for Housing, banks or building societies) should ensure that the agent is nominated on the application form.

A Certificate of Occupancy or Use may be issued under the Building Ordinance where the building work has been completed substantially in accordance with the approved plans, the conditions of the Building Permit and any directions given under S.46 of the Ordinance, and in accordance with the proposals with respect to external design and siting approval in writing by the NCDC under the Buildings (Design and Siting) Ordinance 1964.

All building permits are granted subject to the condition that building work will be carried out in accordance with the approved plans and comply with the standards set out in the ACT Building Manual. Where building work is not complete, or departs from the approved plans or the standards of the Building Manual, the nature of the omission or departure should be specified on the application form.

Owners are advised not to complete an application for a Certificate of Occupancy until they have accepted the building work as being completed in accordance with the prescribed requirements of approval and the terms of their building contract.

Where necessary, owners should seek consultant advice to determine whether the building work has been completed satisfactorily. It should be noted that Building Inspectors do not have the responsibility for supervision of building work on behalf of owners.



# FINAL INSPECTION RECORD

16273  
BL2/16(7/82)

45

Block: 111 Section: 102 Division: Kambah

Building Work: Extension to residence

Approved Plan No.: 35944/c and amendments:

Class of Occupancy: Type of Construction (commercial buildings):

Permit No.: 48125 Permit holder: Diamond

An inspection of the construction has indicated that:

- work appears to be substantially complete in accordance with the approved plans
- the following matters require your attention:

.....

.....

.....

.....

.....

.....

.....

.....

.....

.....

*Note* front window now full length

Please rebook this inspection stage when rectified.

### BEFORE A CERTIFICATE OF OCCUPANCY OR USE MAY ISSUE, THE FOLLOWING CLEARANCES ARE REQUIRED TO BE LODGED WITH BUILDING SECTION:

	folio	comments
<input type="checkbox"/> Plumbing		
<input type="checkbox"/> Electrical		
<input type="checkbox"/> Survey		
<input type="checkbox"/> Fire Brigade		
<input type="checkbox"/> Health Commission		
<input type="checkbox"/> Technical Inspection		
<input type="checkbox"/> Structural Engineering		
<input type="checkbox"/> Other		
<input type="checkbox"/> Posted	<input type="checkbox"/> Left on site	<u>MAH</u> Building Inspector

### ADVISORY INFORMATION

Section 53 of the Building Ordinance provides that a Certificate of Occupancy or Use shall be issued on application by the owner of the parcel of land on which the building is situated.

Owners who wish their Certificate of Occupancy to be collected by their agents (including Defence Service Homes, Commissioner for Housing, banks or building societies) should ensure that the agent is nominated on the application form.

A Certificate of Occupancy or use may be issued under the Building Ordinance where the building work has been completed substantially in accordance with the approved plans, the conditions of the Building Permit and any directions given under S.46 of the Ordinance, and in accordance with the proposals with respect to external design and siting approved in writing by the NCDC under the Buildings (Design and Siting) Ordinance 1964.

All building permits are granted subject to the condition that building work will be carried out in accordance with the approved plans and comply with the standards set out in the ACT Building Manual. Where building work is not complete, or departs from the approved plans or the standards of the Building Manual, the nature of the omission or departure should be specified on the application form.

Owners are advised not to complete an application for a Certificate of Occupancy until they have accepted the building work as being completed in accordance with the prescribed requirements of approval and the terms of their building contract.

Where necessary, owners should seek consultant advice to determine whether the building work has been completed satisfactorily. It should be noted that Building Inspectors do not have the responsibility for supervision of building work on behalf of owners.

35944 PA 5/4

44

REQUEST FOR INSPECTION

1 Felton PL

Block Section Division

14

102

Kambah

Inspection Stage Required:

Final

Whether ready: Yes/No

Permit Holder:

Diamond Homes

Date Inspection Required:

Wed

Date booked: 2/5

Time: AM

Booked by: (Initials) DC

Phone/Counter

# INSPECTION RECORD

1986  
1986

43



Permit Holder: DIMMANN HOMES

Block: 14

Section: 102

Division: WINDOOR

Stage:

R/SHEET

Plan No 35944/1

A brief inspection of parts of the construction on this site has indicated that:-

Work  may  may not proceed to next stage.

The following matters appear to require your attention

(1) Provide additional support under gable truss where top plate joins at left side of front window.

(2) Provide blocking under bottom plate ~~at~~ supporting gable truss.

(3) Stud at side of window supporting beam to be plum, and lining of window to be packed & fixed.

Please rebook this inspection stage when rectified

Posted

Left on site

P. DAVIS 31.3.83  
Building Inspector

BL1/7(5/79)

BUILDING SECTION  
NORTH BUILDING, CIVIC OFFICES, LONDON CIRCUIT,  
P.O. BOX 158 CANBERRA CITY, 2601

NOTE :- Inspectors can be contacted at the office ONLY BETWEEN 4.00 - 5.00pm



NOTE: — Inspectors can be contacted at the office ONLY BETWEEN 4.00 — 5.00pm

Permits are granted on the condition that the materials and methods of construction will conform with the acceptable standards set out in the Building Manual, that work will be carried out in a proper and workmanlike manner, in accordance with the approval plan and specifications, with adequate safety precautions, and by the holder of the permit or a person employed by or under contract to him.

Spot checks of construction by the Building Inspector are carried out to enable the Department to administer the Building Ordinance. The Department does not have the role of supervising construction on behalf of owners and is not able to ensure the quality of finish of buildings. It is recommended that if necessary owners engage competent building design and construction consultants to advise them.

It should be noted that this Inspection Record is not intended to provide a certification that the building work complies absolutely with the prescribed requirements. Inspection Records should not be used to indicate satisfactory progress or conformance with contractual arrangements.

35944  
1774/2783  
42  
REQUEST FOR INSPECTION

Bl 

Section

Division

14

102

Kambor

Inspection  
Stage  
Required:

Pre Sheet

Whether ready:

~~Yes~~/No

Permit  
Holder:

Deonard How

Date  
Inspection  
Required:

Date booked:

29/3

before

Time:

A

10.00

Booked by:  
(Initials)

PS

Phone/Counter

# INSPECTION RECORD

76379 42



Permit Holder: DIAMOND LUMBER

Block: 14

Section: 102

Division: KAMBAMA

Stage:

P/SHEET

Plan No 35944/C

A brief inspection of parts of the construction on this site has indicated that:-

Work  may  may not proceed to next stage.

The following matters appear to require your attention

Please rebook & make  
arrangements with inspector  
for access

Please rebook this inspection stage when rectified

Posted

Left on site

P. Daniels  
Building Inspector

BL1/7(5/79)

BUILDING SECTION  
NORTH BUILDING, CIVIC OFFICES, LONDON CIRCUIT,  
P.O. BOX 158 CANBERRA CITY, 2601

NOTE : - Inspectors can be contacted at the office ONLY BETWEEN 4.00 - 5.00pm

NOTE: — Inspectors can be contacted at the office ONLY BETWEEN 4.00 — 5.00pm

Permits are granted on the condition that the materials and methods of construction will conform with the acceptable standards set out in the Building Manual, that work will be carried out in a proper and workmanlike manner, in accordance with the approval plan and specifications, with adequate safety precautions, and by the holder of the permit or a person employed by or under contract to him.

Spot checks of construction by the Building Inspector are carried out to enable the Department to administer the Building Ordinance. The Department does not have the role of supervising construction on behalf of owners and is not able to ensure the quality of finish of buildings. It is recommended that if necessary owners engage competent building design and construction consultants to advise them.

It should be noted that this Inspection Record is not intended to provide a certification that the building work complies absolutely with the prescribed requirements. Inspection Records should not be used to indicate satisfactory progress or conformance with contractual arrangements.

# INSPECTION RECORD

122844 <sup>40</sup>



Permit Holder: Diamond Homes

Block: 1 Section: 102 Division: Kambah

Stage: Slab preparation

A brief inspection of parts of the construction on this site has indicated that:-

Work  may  ~~may not~~ proceed to next stage.

The following matters appear to require your attention

.....  
.....  
.....  
.....  
.....  
.....  
.....  
.....  
.....  
.....  
.....  
.....  
.....  
.....  
.....  
.....  
.....  
.....  
.....  
.....  
.....  
.....

Please rebook this inspection stage when rectified

Posted  Left on site

C. H. Lee 11/2/83  
Building Inspector

**NOTE: — Inspectors can be contacted at the office ONLY BETWEEN 4.00 — 5.00pm**

Permits are granted on the condition that the materials and methods of construction will conform with the acceptable standards set out in the Building Manual, that work will be carried out in a proper and workmanlike manner, in accordance with the approval plan and specifications, with adequate safety precautions, and by the holder of the permit or a person employed by or under contract to him.

Spot checks of construction by the Building Inspector are carried out to enable the Department to administer the Building Ordinance. The Department does not have the role of supervising construction on behalf of owners and is not able to ensure the quality of finish of buildings. It is recommended that if necessary owners engage competent building design and construction consultants to advise them.

It should be noted that this Inspection Record is not intended to provide a certification that the building work complies absolutely with the prescribed requirements. Inspection Records should not be used to indicate satisfactory progress or conformance with contractual arrangements.

35944 PA8/2/83

REQUEST FOR INSPECTION

1 Feltus PL

Block

Section

Division

14

102 KAMBARI.

Inspection  
Stage  
Required:

C/slab.

Whether ready:

Yes/No

Permit  
Holder:

Diamond

Date  
Inspection  
Required:

Home.

Date booked:

10/2.

Time:

am

Booked by:  
(Initials)

g.

Phone/Counter

# INSPECTION RECORD

123050

38



Permit Holder: DIAMOND HOMES

Block: 14 Section: 102 Division: KAMBALI

Stage: FOOTING PREPARATION  
310 X 250 2L 3B.TIE

A brief inspection of parts of the construction on this site has indicated that:-

Work  may  ~~may not~~ proceed to next stage.

The following matters appear to require your attention

.....  
.....  
.....  
.....  
.....  
.....  
.....  
.....  
.....  
.....  
.....  
.....  
.....  
.....  
.....  
.....  
.....  
.....  
.....  
.....  
.....

Please rebook this inspection stage when rectified

Posted  Left on site

A. M. Schneider 2, 2, 83  
Building Inspector

BL1/7(5/79)

BUILDING SECTION SCHNEIDER  
NORTH BUILDING, CIVIC OFFICES, LONDON CIRCUIT,  
P.O. BOX 158 CANBERRA CITY, 2601



**NOTE: — Inspectors can be contacted at the office ONLY BETWEEN 4.00 — 5.00pm**

Permits are granted on the condition that the materials and methods of construction will conform with the acceptable standards set out in the Building Manual, that work will be carried out in a proper and workmanlike manner, in accordance with the approval plan and specifications, with adequate safety precautions, and by the holder of the permit or a person employed by or under contract to him.

Spot checks of construction by the Building Inspector are carried out to enable the Department to administer the Building Ordinance. The Department does not have the role of supervising construction on behalf of owners and is not able to ensure the quality of finish of buildings. It is recommended that if necessary owners engage competent building design and construction consultants to advise them.

It should be noted that this Inspection Record is not intended to provide a certification that the building work complies absolutely with the prescribed requirements. Inspection Records should not be used to indicate satisfactory progress or conformance with contractual arrangements.

45 BACCUS

35944

REQUEST FOR INSPECTION

PA157

Block

Section

Division

(35)

14 102 Kanbush

Inspection

Stage

Required:

Feeding

Whether ready:

Yes/No

Permit

Holder:

Diamond

Date

Inspection

Required:

Date booked

4/2

Time:

AL

Booked by  
(Initials)

Phone/Counter



Permit No.

Date of Issue

Block

Section

Suburb

48125

15183

114 1102

KAMBAN

THIS PERMIT WILL LAPSE

15

months after date of issue unless otherwise extended by the Building Controller. Application for extension must be made before permit lapses and extension fee paid otherwise a new permit is necessary and full permit fee payable. If work is not commenced no refund is payable unless permit is surrendered before it lapses.

ISSUED TO:

Permit Holder Details

Initials	Surname
	Diamond Homes D.163

Address

P.O. Box 49,  
 Lyons 2606

Nominee (if applicable)

Initials	Surname
V.T.	Stute

CLASS OF BUILDERS LICENCE

18

Plan No.

35944C

Register Folio No.

10062

Cost \$

13508

Code No.

Description of Work

Extension to Residence

Type of Building Construction

11

Class of Occupancy

11

ENDORSEMENTS Under Section 36 Inspections - Each stage specified overleaf which applies to the building work must be inspection before proceeding beyond that stage. Stages may be groups as indicated overleaf.

"NO SURVEY CERTIFICATE REQUIRED."

LESSEE/BUILDER RESPONSIBLE FOR CORRECT SITING

The building work shall be carried out in accordance with the approved plans, the Building Manual A.C.T., the notations made on the plans and subject to the provisions of the Building Ordinance 1972. The approval of plans or the grant of a building permit does not affect the operation of any other law in the Territory nor does it authorise the use of the land contrary to a provision, covenant or condition of the Crown Lease.

*[Signature]*  
 Deputy Building Controller

## INSPECTION OF BUILDINGS

INSPECTIONS are necessary at the STAGES of construction listed below for all buildings as applicable.

INSPECTIONS REQUESTS must be made to the BUILDING SECTION (49.1355) giving 48 hours notice, before 12.30 p.m. (or 4 working days notice if in writing).

At the time of the request, the PERMIT HOLDER is to nominate:

- BLOCK, SECTION, DIVISION of site;
- NAME of Permit Holder;
- the STAGE of inspection required;
- WHEN inspection is required (date only);

If the Inspector has not called within 48 hours of the time requested, the Building Section should be notified.

INCORRECT INFORMATION GIVEN WHEN BOOKING INSPECTIONS WILL CAUSE DELAYS.

INSTRUCTIONS issued by the Building Inspector must be complied with, WORK MUST NOT PROCEED beyond each stage until it has been passed, satisfactory, by the Inspector.

SURVEYS must be carried out by a qualified Surveyor and the certificate lodged with Building Section BEFORE the building proceeds above damp-proof course level irrespective of inspection stages, unless endorsed upon the building permit or the approved plans to the contrary.

### INSPECTION STAGES

1. EXCAVATIONS for footings before any reinforcement or mass concrete is placed.
2. REINFORCEMENT, when formwork is complete, before any concrete is placed (check clear heights - floor slab to floor slab).
3. DAMP-PROOFING, tanking and flashings, slip-joint material, before covering or building in.
4. STRUCTURAL STEELWORK before building in, covering, encasing, plastering, lining or coating.
5. STORMWATER DRAINAGE, site drainage before backfilling including D.P.'s before building in, and agricultural pipes.
6. FLOOR FRAMING before floors are laid or underside is lined.
7. SUSPENDED CEILING supports and false ceilings before those ceilings are fixed or lined, including fire barriers.
8. ROOF FRAMING before ceilings are lined or roof covering fixed.
9. TIMBER FRAMED WALLS before sheeting or lining.
10. FIRE PROTECTIVE ENCASING, plastering, lining or coating before covering or building in.
11. PRECAST CONCRETE UNIT CONNECTIONS between those units and the structural steel frame of the buildings before covering or building in.
12. DUCT SYSTEMS before covering or building in.
13. FINAL when building is complete in accordance with all requirements.

GROUPING OF INSPECTIONS STAGES, unless otherwise indicated in the permit, is permitted ONLY where permit is granted to a holder of a Builder's Licence in pursuance of Section 17 of the Building Ordinance 1972.

### DWELLINGS

Group A (Footings): INSPECTIONS 1 AND 2 - When EXCAVATIONS are complete and REINFORCEMENT PLACED.

Group B (Pre-sheet): INSPECTIONS 3, 4, 5, 6, 7, 8, 9, - When wall, floor and roof frame work is erected and electrical wiring and water pipes fixed. Roof covering may be complete and linings applied to one side of frames PROVIDED IT IS REASONABLY POSSIBLE TO INSPECT ALL STRUCTURAL ELEMENTS, FLASHINGS AND DAMP-PROOF COURSES:

and including -

INSPECTIONS 10, 11, AND 12 - if applicable.

13. FINAL when building work is complete.

NOTE: SEPARATE INSPECTION will be necessary for FLOOR FRAMING where the clearance under the bearers is less than 1.5m. Alternatively, the flooring should not be laid before inspection.

### FIRE DAMAGE

Group A: All work to be inspected prior to being covered up.

13. FINAL when complete.

### GARAGES, CARPORTS

Group A: INSPECTIONS 1 AND 2 - When EXCAVATIONS are completed and REINFORCEMENT placed.

Group B: INSPECTIONS 8 AND 9 - When wall and roof framework is erected and before internal linings are applied (if applicable).

PROVIDED IT IS REASONABLY POSSIBLE TO INSPECT ALL STRUCTURAL ELEMENTS.

13. FINAL inspection when complete.

### GARAGES, CARPORTS, OUTBUILDINGS (prefabricated metal construction, only).

13. FINAL inspection only is required UNLESS NOTED OTHERWISE on the approved drawings or on the building permit.

### RETAINING WALLS

Group A (Footings): INSPECTIONS 1 AND 2. When excavations are completed and reinforcement placed.

5. Stormwater Drainage, site drainage before backfilling, including agricultural pipes and weep holes.
13. FINAL inspection when completed.

### SWIMMING POOLS

Group A: INSPECTIONS 1 AND 2 - a) when excavations are complete and reinforcement is placed before any concrete is placed or sprayed.

b) when frames are installed and any reinforcement is placed if applicable.

c) when prefabricated pools (fibreglass pools) are installed and any reinforcement is placed (if applicable).

13. FINAL - when construction is complete and safety fencing and self closing gates have been erected and before the pool has been filled or used.

IT IS AN OFFENCE TO OCCUPY OR USE OR TO PERMIT ANOTHER PERSON TO OCCUPY OR USE A BUILDING OR ADDITION TO A BUILDING UNLESS A CERTIFICATE OF FITNESS UNDER SECTION 53 OF THE BUILDING ORDINANCE HAS BEEN ISSUED.

APPLICATION FOR BUILDING PERMIT



This receipt as provided by section 39 of the Building Ordinance 1972, this application must be made by the holder of a Builder's Licence.

Section 1 Block No 14 Section 102 Suburb KAMBRAH 4 Approved Plan No. 35944/C

Applicant's Name (BLOCK LETTERS) DIAMOND HOMES Address 04 ADPERM 67.54 P.O. Box 49 Lyons 2606

Lessee's Name (BLOCK LETTERS) me and J. Quigley Address 1 FELTUN PL. KAMBRAH

Type of construction and class of occupancy to be shown as indicated in the Building Manual

Type of construction	Class of occupancy	Permissible Floor Load (Not applicable to buildings of class I and X occupancy)	Contract or Estimated Price (Excluding Land)
IV	I		24 \$ 13,508.00

Description of building EXTENSION TO RESIDENCE 25

Description of Work Please place a (✓) in the appropriate square

Type of work

New building  Additions to existing building  Alterations to existing building  Other (specify).....

Main material used in outside walls

Bricks/masonry blocks  Timber/weatherboard  Concrete  Asbestos cement sheets  Other (specify).....

Main material of building frame

Timber  Brick  Metal  Concrete  Other (specify).....

Main material of roof

Terra-cotta tiles  Cement tiles  Asbestos cement sheets  Galvanised iron  Other (specify).....

Main materials of floors

Timber  Concrete  Metal  Earth  Other (specify).....

Class of builder's licence held by applicant B	Total number of storeys including the ground floor, excluding the basement	1	Total floor area in square meters 27 30.4
	Number of Residential Units	1	

Applicant's Signature [Signature] 17/12/82

OFFICE USE ONLY	FEES DUE		APPLICATION APPROVED Deputy Building Controller [Signature]
	Total Fees Payable	\$	
	TOTAL FEE PAID	\$ 67.54	Permit No. 48125
	Licence No. D.103	B	



Department of the Capital Territory  
 POST OFFICE BOX 158, CANBERRA ACT 260  
 BUILDING SECTION  
 North Building, Civic Offices  
 London Circuit, 491355

Received FILE No. 17 DEC 1982  
 Building Section  
 Dept. of the Capital Territory

34

# APPLICATION FOR APPROVAL OF PLANS

BL 1/6 (7/80)

Cash Register Imprint

03 ADPLAN 67.54

Name of Applicant <i>DIAMOND HOMES</i>	Address <i>P.O. Box 49 Lyons</i>
	Phone <i>303391</i> Postcode <i>2606</i>

Name of lessee / owner of parcel of land <i>ma &amp; mas J. QUIGLEY</i>	Address (show P.O. Box No. if any) <i>1 FELTUS PL. KAMBRAH.</i>
	Phone Postcode

Description of the building work  
*EXTENSION TO RESIDENCE*

Description of land on which the building work is to be carried out	Block <i>14</i>	Section <i>102</i>	Division <i>KAMBRAH</i>
---	--------------------	-----------------------	----------------------------

To be specified in accordance with the appropriate classification in the Building Manual.	Type of construction <i>IV</i>	Cost <i>\$13 508.00</i>
	Class of occupancy <i>1</i>	Total floor area where applicable <i>30.4 m<sup>2</sup></i>

This application is for:  
 ( please tick appropriate box )

New work     Amendment to approved plan     Amendment to plan not yet approved     Details

I hereby apply for approval of the attached plans

*M. J. Stone* *17, 12, 82*  
 signature of applicant date

To be completed if application made otherwise than by the lessee / owner, his solicitor or architect.

I hereby authorise the abovenamed applicant of the address indicated to make this application on my behalf

*M. J. Quigley* *6, 12, 82*  
 signature of lessee / owner date

FOR OFFICE USE ONLY	<input checked="" type="checkbox"/> New work	Plans numbered <i>35944/C</i>	Class of licence required <i>C</i>
	<input type="checkbox"/> Amendment to approved plan	Area NO SURVEY CERTIFICATE REQUIRED LESSEE/BUILDER RESPONSIBLE FOR CORRECT SITING	Valuation
	<input type="checkbox"/> Amendment to plan not yet approved	Total fees payable <i>67.54</i>	
	<input type="checkbox"/> Details	Plans <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Not approved	
	Notify applicant new permit required <input checked="" type="checkbox"/> endorse existing permit	<i>M. Brodie</i> <i>23, 12, 82</i> Deputy Building Controller date	
Permit fee required			

35944 Permit 12/2/80  
REQUEST FOR INSPECTION 82

Block

Section

Division

14

102

Kambodh

Inspection  
Stage  
Required:

Final

Whether ready:

Yes/No

Permit  
Holder:

White

Date  
Inspection  
Required:

Date booked: 2/2

Time: P

Booked by  
(Initials)

Phone/Counter

N<sup>o</sup> 137665

FINAL INSPECTION REPORT BL2/16(10/75)

Department of the Capital Territory  
Building Section

Block <b>14</b>	Section <b>102.</b>	Division <b>Kambah</b>
--------------------	------------------------	---------------------------

Building Work **Metal. Carport @ Shed**

Approved Plan No. <b>35944/B</b>	And Amendments
----------------------------------	----------------

Construction Type (for commercial building work)	Occupancy Class	Number of Storeys (for commercial building work)
--	-----------------	---

Permit Number **24922**

PERMIT HOLDER (if not clear from file)

FOLIO **30**

Name **P. E. White**

Address **PO-Box 12. Fyshwick ACT. 2609**

LESSEE (if not clear from file)

FOLIO

Name

Address

CLEARANCES	Required	Folio.	Comments
Plumbing	<input checked="" type="checkbox"/>	<input type="text"/>	
Electrical	<input checked="" type="checkbox"/>	<input type="text"/>	
Survey	<input checked="" type="checkbox"/>	<input type="text"/>	
Fire	<input checked="" type="checkbox"/>	<input type="text"/>	
Health	<input checked="" type="checkbox"/>	<input type="text"/>	
Technical	<input checked="" type="checkbox"/>	<input type="text"/>	
Other	<input checked="" type="checkbox"/>	<input type="text"/>	

The above building work is considered fit for occupation and use pursuant to Part V of the Building Ordinance 1972.

Comments

Special Fencing Erected  Not Erected  Not Required

**28/2/80** Date

*[Signature]* Building Inspector

POSTING

Collection

..... Lessee

..... Builder



PERMIT TO CARRY OUT BUILDING WORK

BL1/9 (1/78)

Permit No.

24922

Date of Issue

14/280

Block

Section

Suburb

14 102 Kambah

THIS PERMIT WILL LAPSE

12

months after date of issue unless otherwise extended by the Building Controller. Application for extension must be made before permit lapses and extension fee paid otherwise a new permit is necessary and full permit fee payable. If work is not commenced no refund is payable unless permit is surrendered before it lapses.

ISSUED TO:

Permit Holder Details

Initials	Surname
D.C.	White

Address

P.O. Box 12  
Fyshwick ACT 2609

Nominee (if applicable)

Initials	Surname

CLASS OF BUILDERS LICENCE

D

Plan No.

35944B

Register Folio No.

0115

Cost \$

87000

Type of Building Construction

Description of Work

metal Carport & shed

Class of Occupancy

ENDORSEMENTS Under Section 36

Inspections - Each stage specified overleaf which applies to the building work must be inspected before proceeding beyond that stage. Stages may be grouped as indicated overleaf.

"NO SURVEY CERTIFICATE REQUIRED."

LESSEE/BUILDER RESPONSIBLE FOR CORRECT SITING

FINAL INSPECTION ONLY REQUIRED

The building work shall be carried out in accordance with the approved plans, the Building Manual A.C.T., the notations made on the plans and subject to the provisions of the Building Ordinance 1972. The approval of plans or the grant of a building permit does not affect the operation of any other law in the Territory nor does it authorise the use of the land contrary to a provision, covenant or condition of the Crown Lease.

*[Signature]*  
Deputy Building Controller

## INSPECTION OF BUILDINGS

INSPECTIONS are necessary at the STAGES of construction listed below for all buildings as applicable.  
INSPECTIONS REQUESTS must be made to the BUILDING SECTION (49.1355) giving 48 hours notice, before 12.30pm (or 4 working days notice if in writing).

At the time of the request, the PERMIT HOLDER is to nominate:

- BLOCK, SECTION, DIVISION of site;
- NAME of Permit Holder;
- the STAGE of inspection required;
- WHEN inspection is required (date only);

If the Inspector has not called within 48 hours of the time requested, the Building Section should be notified  
**INCORRECT INFORMATION GIVEN WHEN BOOKING INSPECTIONS WILL CAUSE DELAYS.**

INSTRUCTIONS issued by the Building Inspector must be complied with, **WORK MUST NOT PROCEED** beyond each stage until it has been passed, satisfactory, by the Inspector.

SURVEYS must be carried out by a qualified Surveyor and the certificate lodged with Building Section **BEFORE** the building proceeds above damp-proof course level irrespective of inspection stages, unless endorsed upon the building permit or the approved plans to the contrary.

### INSPECTION STAGES

1. EXCAVATIONS for footings before any reinforcement or mass concrete is placed.
2. REINFORCEMENT, when formwork is complete, before any concrete is placed (check clear heights - floor slab to floor slab).
3. DAMP-PROOFING, tanking and flashings, slip-joint material, before covering or building in.
4. STRUCTURAL STEELWORK before building in, covering, encasing, plastering, lining or coating.
5. STORMWATER DRAINAGE, site drainage before backfilling including D.P.'s before building in, and agricultural pipes.
6. FLOOR FRAMING before floors are laid or underside is lined.
7. SUSPENDED CEILING supports and false ceilings before those ceilings are fixed or lined, including fire barriers.
8. ROOF FRAMING before ceilings are lined or roof covering fixed.
9. TIMBER FRAMED WALLS before sheeting or lining.
10. FIRE PROTECTIVE ENCASING, plastering, lining or coating before covering or building in.
11. PRECAST CONCRETE UNIT CONNECTIONS between those units and the structural steel frame of the buildings before covering or building in.
12. DUCT SYSTEMS before covering or building in.
13. FINAL when building is completed in accordance with all requirements.

GROUPING OF INSPECTION STAGES is permitted as follows, unless otherwise indicated in the permit.

### DWELLINGS

- Group A (Footings): INSPECTIONS 1 AND 2 - When EXCAVATIONS are complete and REINFORCEMENT placed.
- Group B (Pre-sheet): INSPECTIONS 3, 4, 5, 6, 7, 8, 9, - When wall, floor and roof frame work is erected and electrical wiring and water pipes fixed. Roof covering may be complete and linings applied to one side of frames PROVIDED IT IS REASONABLY POSSIBLE TO INSPECT ALL STRUCTURAL ELEMENTS, FLASHINGS AND DAMP-PROOF COURSES:  
and including -  
INSPECTIONS 10, 11 AND 12 - If applicable.
13. FINAL when building work is complete.

NOTE: SEPARATE INSPECTION will be necessary for FLOOR FRAMING where the clearance under the bearers is less than 1.5m. Alternatively, the flooring should not be laid before inspection.

### GARAGES, CARPORTS

- Group A: INSPECTIONS 1 AND 2 - When EXCAVATIONS are completed and REINFORCEMENT placed.
- Group B: INSPECTIONS 8 AND 9 - When wall and roof framework is erected and before internal linings are applied (if applicable).  
PROVIDED IT IS REASONABLY POSSIBLE TO INSPECT ALL STRUCTURAL ELEMENTS.
13. FINAL inspection when complete.

### GARAGES, CARPORTS, OUTBUILDINGS (prefabricated metal construction, only).

13. FINAL inspection only is required UNLESS NOTED OTHERWISE on the approved drawings or on the building permit.

### SWIMMING POOLS

- Group A: INSPECTIONS 1 AND 2 - a) when excavations are complete and reinforcement is placed before any concrete is placed or sprayed.  
b) when frames are installed and any reinforcement is placed if applicable.  
c) when prefabricated pools (fibreglass pools) are installed and any reinforcement is placed (if applicable).
13. FINAL - when construction is complete and safety fencing and self closing gates have been erected and before the pool has been filled or used.

IT IS AN OFFENCE TO OCCUPY OR USE OR TO PERMIT ANOTHER PERSON TO OCCUPY OR USE A BUILDING OR ADDITION TO A BUILDING UNLESS A CERTIFICATE OF FITNESS UNDER SECTION 53 OF THE BUILDING ORDINANCE HAS BEEN ISSUED.

APPLICATION FOR BUILDING PERMIT

NOTE: Except as provided by section 39 of the Building Ordinance 1972 this application must be made by the holder of a Builder's Licence.

PLANS/FILE No. \_\_\_\_\_

Description of Land

1	Block No	Section
	14	102.

Subm	Received	Building Section	4
1326	11/92	1065	
NOV 1979			
KAMBAN			
Dept. of the Capital Territory			

Approved Plan No.
2000ND REGPT
35947/B

Applicant's Name (BLOCK LETTERS)

P. C. WHITE

Address

P.O. Box 124 Fishwick.

Lessee's Name (BLOCK LETTERS)

J. P. QUIGLEY

Address

1 FEITUS Pl. KAMBAN

Type of construction and class of occupancy to be shown as indicated in the Building Manual

Type of construction	Class of occupancy
	X

Permissible Floor Load (Not applicable to buildings of class I and X occupancy)

--

Contract or Estimated Price (Excluding Land)

24	\$ 870.00
----	-----------

Description of building

Garport & Shed

25	
----	--

Description of Work Please place a (✓) in the appropriate square

Type of work

- New building  
  Additions to existing building  
  Alterations to existing building  
  Other (specify).....

Main material used in outside walls

- Bricks/masonry blocks  
  Timber/weatherboard  
  Concrete  
  Asbestos cement sheets  
  Other (specify) *Steel Shuts*

Main material of building frame

- Timber  
  Brick  
 Metal  
 Concrete  
 Other (specify).....

Main material of roof

- Terra-cotta tiles  
 Cement tiles  
 Asbestos cement sheets  
 Galvanised iron  
 Other (specify) *Steel decking*

Main materials of floors

- Timber  
 Concrete  
 Metal  
 Earth  
 Other (specify).....

Class of builder's licence held by applicant	D
--	---

Total number of storeys including the ground floor, excluding the basement	1
Number of Residential Units	

Total floor area in square meters	27	31.025
-----------------------------------	----	--------

Applicant's Signature.....

*[Signature]*

14/11/79

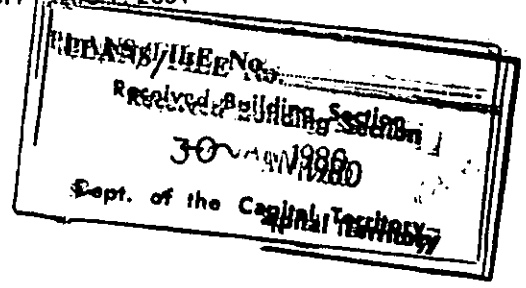
OFFICE USE ONLY	FEES DUE		APPLICATION APPROVED		
	Total Fees Payable	\$	20.00	Deputy Building Controller..... <i>[Signature]</i>	
	TOTAL FEE PAID	\$			
	Licence No.	24922		Date	28
		Receipt No.	Permit No.		24922



# Department of the Capital Territory

POST OFFICE BOX 158, CANBERRA CITY, A.C.T. 2601

Telephone: 491355  
In reply please quote: 35944  
Your Reference:



Dear Sir/Madam

BLOCK 4 SECTION 102 DIVISION *Kambah*

Some information is needed before approval can be given to the plans and specifications submitted in connection with the erection of *Carport & Toolshed* on the above block.

The information should be submitted to the Building Section in two copies within 4 weeks of the date of this letter.

No fees are payable for this submission.

Yours faithfully

*[Signature]*  
for Director Building

Information required:-

*P. E. White  
P.O. Box 12  
Fyshwick ACT 2609  
7. 12. 79.*

*The toolshed is to be resited to meet the requirement as requested by the Department of Housing & Construction. Please lodge an amended site plan.*



# National Capital Development Commission

220 Northbourne Ave., Canberra, A.C.T. P.O. Box 373 Canberra City 2601, Australia  
Telephone: 46 8211 Area Code: 062 Telegrams: Comdev Canberra Telex: 62673  
All correspondence to be addressed to The Secretary and Manager.

In reply please quote **Building Section**

Dear Sir/Madam,

BLOCK 14 SECTION 102 DIVISION *Lambton*

Your proposal lodged for approval of *a carpet* on the above block would appear to conflict with the Commission's Design and Siting Policies.

*Please indicate the distance between front of carpet and front boundary.*

Our Delegate is located at the Building Section, City Manager's Office, Department of the Capital Territory on the First Floor, North Building, Civic Offices in London Circuit, Canberra City, Telephone 46 ~~2035~~ *8040*.

If you could arrange to call at any time between the hours of 9.00 a.m. and 12.00 p.m. Monday to Friday and ask for *Mr. J. J. ...* of the Commission, he/she will be pleased to discuss the matter further with you.

Yours faithfully,

*K. J. Curtis*  
K. J. CURTIS  
SECRETARY AND MANAGER

*P. G. White*

Department of the Capital Territory  
Building Section

PLANS/FILE No. \_\_\_\_\_  
Received Building Section  
30 JAN 1980  
Dept. of the Capital Territory

20/1/80

76.

Form 4  
Australian Capital Territory  
Building Ordinance 1972  
Regulation 21

APPLICATION FOR APPROVAL OF PLANS AND SPECIFICATIONS

BL 1/6 (4/77)

Name of Applicant <i>McWhite</i>	Address <i>P.O. Box 12 Lysham</i>
-------------------------------------	--------------------------------------

Name of lessee / owner of parcel of land <i>J. P. Dingley</i>	Address (Show P.O. Box No. if any) <i>1 Little St Lambton</i>
--	--

Description of the building work	<i>Information as requested.</i>		
----------------------------------	----------------------------------	--	--

Description of land on which the building work is to be carried out.	Block <i>14</i>	Section <i>10 21</i>	Division <i>Lambton</i>
--	--------------------	-------------------------	----------------------------

To be specified in accordance with the appropriate classification in the Building Manual.	Type of Construction	Cost \$
	Class of occupancy	Total floor area where applicable.

This application is for

(Please tick appropriate box)

New work       Amendment to approved plan       Amendment to plan not yet approved       Details

I hereby apply for approval of the attached plans and specifications.

*McWhite*      *29.1.80*  
Signature of Applicant      Date

To be completed if application made otherwise than by the lessee/owner, his solicitor or architect.

I hereby authorise the abovenamed applicant of the address indicated to make this application on my behalf.

*See # 24*  
Signature of lessee/owner      Date

FOR OFFICE USE ONLY	Area	Plans Numbered <i>35944/B</i>	Building Covenant <i>\$ AREA</i>
	Valuation \$	Plans <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Not Approved	<i>8 FEB 1980</i>
	Total Fees Payable <i>Fee paid</i>		
	Receipt/Docket No.	Deputy Building Controller	Date



# Department of the Capital Territory

28

POST OFFICE BOX 158, CANBERRA CITY, A.C.T. 2601

Telephone: 491355  
In reply please quote: 350144  
Your Reference:

Dear Sir/Madam

BLOCK 14 SECTION 102 DIVISION *Kambah*

Some information is needed before approval can be given to the plans and specifications submitted in connection with the erection of *Carport & Toolshed* on the above block.

The information should be submitted to the Building Section in two copies within 4 weeks of the date of this letter.

No fees are payable for this submission.

Yours faithfully

*[Signature]*  
for Director Building

Information required:-

*P. E. White*

*P.O. Box 12*

*Fyshwick ACT 2609*

*7. 12. 79.*

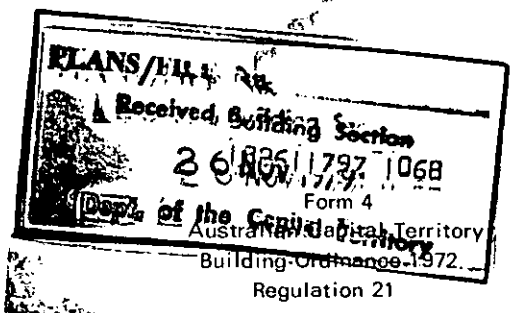
*The toolshed is to be resited to clear the easement as requested by the Department of Housing & Construction*

*Please lodge an amended site plan.*

*No action 7/1*

26  
11/18

Department of the Capital Territory  
Building Section



1500ND RECP

APPLICATION FOR APPROVAL OF PLANS AND SPECIFICATIONS

BL 1/6 (4/77)

Name of Applicant <i>R. White</i>	Address <i>P.O. Box 124 Lyshornck</i>
--------------------------------------	--

Name of lessee / owner of parcel of land <i>J.P. Quigley</i>	Address (Show P.O. Box No. if any) <i>1 Lutins Pl. Kambah.</i>
---	---

Description of the building work <i>Carport &amp; Shed.</i>			
Description of land on which the building work is to be carried out.	Block <i>14</i>	Section <i>102.</i>	Division <i>Kambah.</i>
	Type of Construction <i>Shed.</i>		Cost <i>\$ 810.00</i>
To be specified in accordance with the appropriate classification in the Building Manual.	Class of occupancy <i>X.</i>		Total floor area where applicable. <i>31.025 sqm</i>

This application is for

(Please tick appropriate box)

New work       Amendment to approved plan       Amendment to plan not yet approved       Details

I hereby apply for approval of the attached plans and specifications.

*R. White*      *19.11.79*  
Signature of Applicant      Date

To be completed if application made otherwise than by the lessee/owner, his solicitor or architect.

I hereby authorise the abovenamed applicant of the address indicated to make this application on my behalf.

*Joseph P. Quigley*      *19.11.79*  
Signature of lessee/owner      Date

FOR OFFICE USE ONLY	Area	Plans Numbered <i>35944/A.</i>	Building Covenant \$
	Valuation \$	Plans <input type="checkbox"/> Approved <input type="checkbox"/> Not Approved <i>SUPERSEDED</i>	Deputy Building Controller Date
	Total Fees Payable <i>\$15.00</i>		
	Receipt/Docket No.		



35944 (2)

REGISTERED OFFICE:  
ELECTRICITY HOUSE,  
221-223 LONDON CIRCUIT,  
CANBERRA CITY, A.C.T. 2601

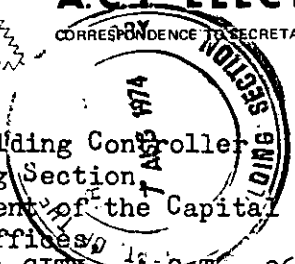


# A.C.T. ELECTRICITY AUTHORITY

CORRESPONDENCE TO SECRETARY, P.O. BOX 366, CANBERRA CITY, A.C.T. 2601

TELEPHONE 483111

IN REPLY PLEASE QUOTE:



The Building Controller  
Building Section  
Department of the Capital Territory,  
Civic Offices  
CANBERRA CITY, A.C.T. 2601

059142

Dear Sir,

## CERTIFICATE OF ELECTRICAL COMPLETION

Building erected on

Block 14 Section 102 District HAMBAN

It is hereby certified that the electrical installation has been inspected and approved for connection to the electricity supply mains.

Electrician CUVES

Licence No. 37

Yours faithfully,

*W.E. Bolton*

W.E. BOLTON

Chief Engineer

7 AUG 1974

INSPECTOR'S FINAL REPORT (RESIDENTIAL)

91

To the Building Controller

B. V. RESIDENCE

The.....  
has/have been erected in accordance with sub-section (4) of  
Section 53 of the A.C.T. Building Ordinance 1972 and is/are  
considered fit for occupation and use.

Reference Plan No. 35944.....and amendments...../// / / /

Comments

Special fencing erected ....  
not erected ....

A. M. Schmid  
Building Inspector  
118 174

Certificates Plumbing folio...19...Survey folio...11...  
Electrical folio...03...~~Gas Heater~~ folio...016...

For Office Use

Name of Permit Holder Address.....  
E Doelker .....

Name of Lessee Address.....  
Fritz A. C. C. C. C. .....

Building B V Res.....Block...14...Section...100...  
Division...Kambah

Type of Construction.....Class of Occupancy.....  
Permit Number...20637A...Approved Plan No...35944...  
and Amendment...../// / / /

Original to Builder/Lessee  
Information copy of Builder  
Lessee  
Advice to Commr. for Housing  
War Service Homes  
Architect

[Signature]  
Deputy Building Controller  
11

Original Received by...M. Kola...  
No.....16322

718174

35944  
20  
8/11/74

# REQUEST FOR INSPECTION

Block

Section

Division

14

102

KAMBAH

Inspection  
required

Door steps  
FINISH screens M.C.

Builder:  
(block letters)

DOERBEAL

Date booked: 31-7-74

Time: 11.59am

Booked by:  
(initials)

DM

Phone/Counter

Inspection satisfactory

.....  
Building Inspector

date / /  
.....

## REQUEST FOR INSPECTION

Block	Section	Division
14	102	KAMBAH

Inspection  
required

FINAL

Builder:  
(block letters)

DOEBEAL

Date booked: 31.7.74

Time: 11.59am

Booked by:  
(initials)

DM

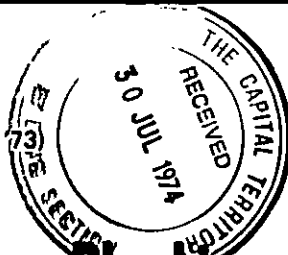
Phone/Counter

Inspection satisfactory

Building Inspector

date / /

35944 19  
PA 217/74



ED4 (July 73)

DEPARTMENT OF WORKS

Drainage Plan No. 24 507

Sanitary Plumbing and Drainage Work—Inspector's Report

OWNER	LOCATION OF PROPERTY	DATE OF FINAL TEST
FAIRLANE CANBERRA P/L	BLOCK 14 SECTION 102 KAMARAH.	29.7.74.

Builder FAIRLANE CANBERRA P/L  
 Licensed Plumber P. BRADLEY 3762  
 Working Plumbers \_\_\_\_\_  
 Assistants \_\_\_\_\_ Drainer P. BRADLEY 30339  
 Drain Tested and Passed 20.5.74 Date Closet Connected \_\_\_\_\_ Meter Number M 29873

Correct statement of work done under the above approval—

*Water Services Sanitary Plumbing*

*Sanitary Drainage safe plan*

*Dated. 8.4.74*

I hereby certify that the Plumbing Work has been carried out in accordance with the <sup>original</sup> ~~amended~~ Plan and has passed all tests.

*J. Shonaghan*  
Plumbing Inspector

Date 29.7.74

CERTIFIED

*W. Steel*

Engineer  
Water Supply and Sewerage 30 JUL 1974

OWNER FAIRLANE CANBERRA P/L

BLOCK 13-15 SECTION 102 KAMBAH A.C.T.

REFERENCE

D.T. Disconnecter Trap.	S.P.D. Stoneware Pipe Drain.	I.C. Inspection Chamber.	F.T. Floor Trap.
E.V. Educt Vent	C.I.P. Cast Iron Pipe	M.H. Man Hole	S.V.P. Soil Vent Pipe
G.T. Gully Trap	I.O. Inspection Opening	V.P. Ventilating Pipe	V.R. Vertical Riser.
F.P. Fixed Point	E.J. Expansion Joint		

NOTE: All work to be executed in accordance with Canberra Sewerage & Water Supply Regulations

SCALE METRIC 1:500

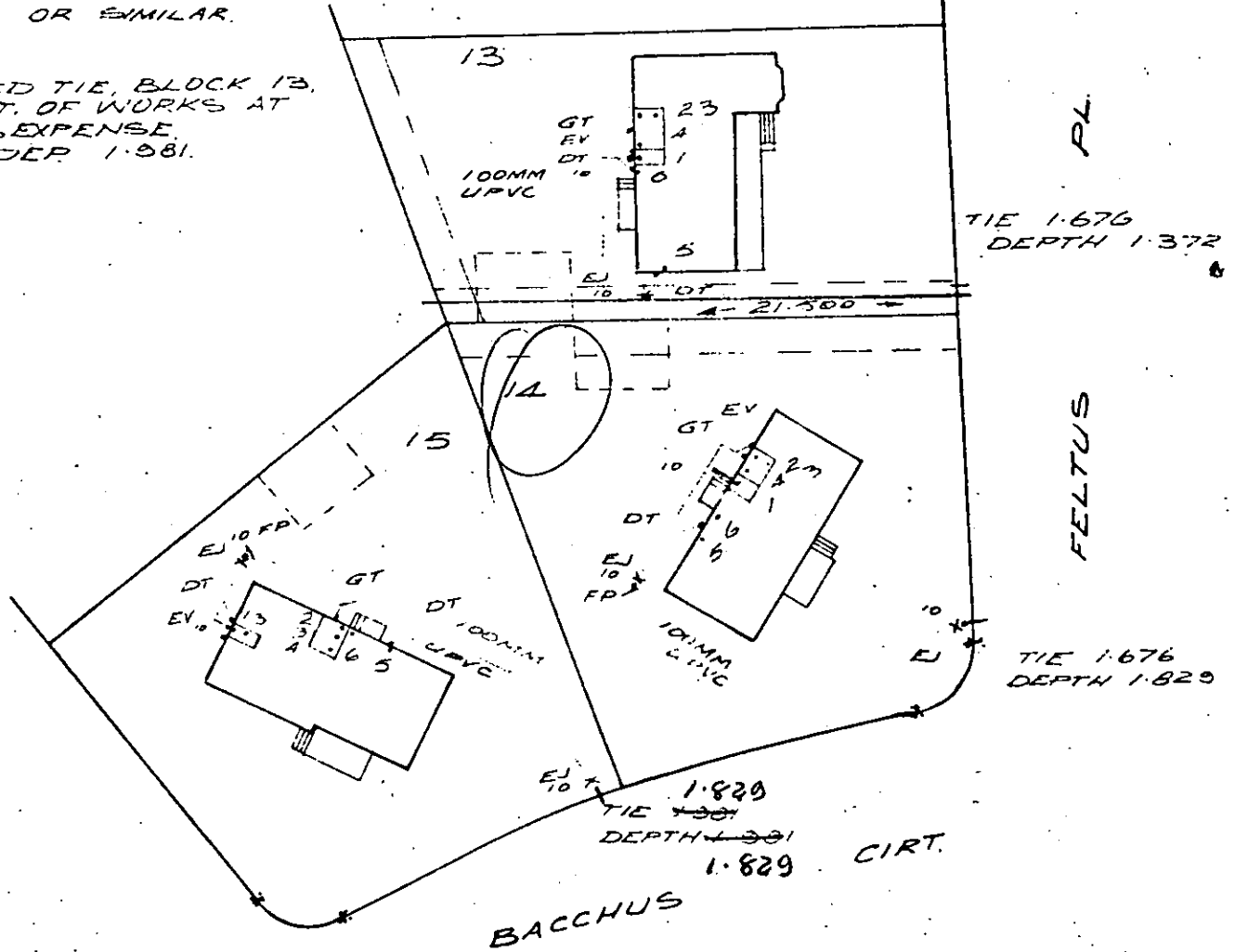
U.P.V.C. UNPLASTICISED POLY VINYL CHLORIDE  
 DRAINS TO BE LAID IN U.P.V.C PIPE AND FITTINGS  
 IN ACCORDANCE WITH A.S.A C.A 67-1972.  
 MIN. COVER OVER DRAIN 600MM. (2'0")  
 X- EXPANSION JOINT-TO BE SLEEVED WITH  
 POLYTHENE AND TAPED ONTO PIPE.  
 I.F.P. FIXED POINT TO BE DRIVEN THROUGH  
 TRENCH BOTTOM 150MM. BEDDING MIN 75MM.  
 QUARRY FINES OR SIMILAR.  
 DRAINS TO BE COVERED WITH 150MM QUARRY  
 FINES OR SIMILAR.



FIXTURES

1. WATER CLOSET
2. BATH
3. BASIN
4. SHOWER
5. SINK
6. TROUGHS

PROPOSED TIE, BLOCK 13,  
 BY DEPT. OF WORKS AT  
 OWNER'S EXPENSE.  
 APP. DEP. 1-981.



**NOTES** DRAINS TO BE LAID ARE SHOWN IN BLUE LINES. THIS PLAN TO BE READ IN CONJUNCTION WITH APPROVED ARCHITECTURAL PLANS AND SPECIFICATIONS.  
 DRAINS TO BE DELETED SHOWN BY RED X. EXISTING DRAINS SHOWN IN GREEN LINES.  
 POSITION OF BRANCH TO BE LOCATED BEFORE ANY WORK IS COMMENCED.

Designed by: G. MOORE & N. SMITH. Phone 95 9236  
 Plumbing & Drainage Consultants

DRAWN

G. Moore

REF H225

SEWERAGE ENGINEER

5.4.74

REQUEST FOR INSPECTION 17

Block

Section

Division

14

102 Karbah

Inspection  
required

Pitches

Builder:  
(block letters)

Joeben

Date booked:

27.6.74

Time:

12.10

Booked by:  
(initials)

LDles

Phone/Counter

Inspection satisfactory

.....  
Building Inspector

date

/ /

16  
**REQUEST FOR INSPECTION**

**Block**

14

**Section**

102 Kambour

**Division**

**Inspection  
required**

S/W  
Presheat Porches

**Builder:  
(block letters)**

Doebem

**Date booked:**

21.6.74

**Time:**

12:15

**Booked by:  
(initials)**

LSes

**Phone/Counter**

**Inspection satisfactory**

.....  
**Building Inspector**

**date**

/ /



35944  
PA 5/6/74  
16

**REQUEST FOR INSPECTION**

**Block**

14

**Section**

102

**Division**

Kambah

**Inspection  
required**

Roof

**Builder:  
(block letters)**

Doben

**Date booked:**

6.6.74

**Time:**

12.05

**Booked by:  
(initials)**

LS65

**Phone/Counter**

**Inspection satisfactory**

.....  
**Building Inspector**

**date**

/ /

PA275

Block

Section

Division

14

102 Kamban

Inspection required

Roof

Builder:  
(block letters)

Joben

Date booked:

29.5.74

Time:

12.15

Booked by:  
(initials)

LABS

Phone/Counter

Inspection satisfactory

PEAK TRUSS

Building Inspector

date

/ /

35944B

## REQUEST FOR INSPECTION

AC 3/5

  
Block

Section

Division

14

102

Kambah

Inspection  
required

Wet area

Builder:  
(block letters)

Osberl

Date booked:

24.5.74

Time:

12.25

Booked by:  
(initials)

SP

Phone/Counter

Inspection satisfactory

.....  
Building Inspector

date

/ /

## REQUEST FOR INSPECTION

12

Block

Section

Division

14

102 Kambah

Inspection  
required

Floor

Builder:  
(block letters)

Doverl

Date booked:

3/5/74

Time:

11:00

Booked by:  
(initials)

LAL

Phone/Counter

Inspection satisfactory

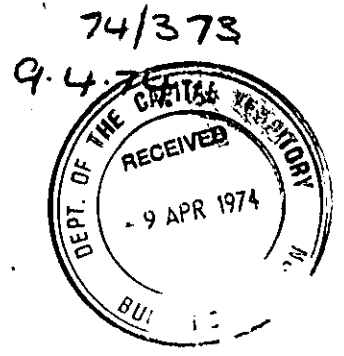
.....  
Building Inspector

date

/ /  
.....

Deputy Crown Solicitor's Office,  
Commissioner for Housing  
Conveyancing Sub Office,  
Akuna House, Akuna Street,  
Canberra City. A.C.T. 2601

Building Controller,  
Department of the Capital Territory,  
P.O. Box 158,  
Canberra City. A.C.T. 2601



Dear Sir,

Transfer and Mortgage of Lease  
Block 14 Section 102 Division Kambah.  
Lessee : Dale Quigley

I act for the Transferee/Mortgagee in the proposed Transfer/  
Mortgage of the abovementioned Block and would be pleased to receive the  
following information :-

1. Has a Certificate of Fitness/Completion been issued in respect of the said Block and if so for which buildings?
2. Has an application been made since the purchase from the Commonwealth OR since the issue of the Certificate of Fitness/Completion to alter or add to the dwelling or to erect any outbuildings?
3. Have any Permits been issued for building work and if so

*Residence still in the course of construction.*

*No*

*yes*

Date	Details	Certificate of Fitness/Completion	Date
14.3.74	Brick Venet Residence	not yet issued.	

4. Date of Survey Report/s?
5. Do Survey Report/s show fences?
6. Do Survey Report/s disclose any encroachments?

*Not yet provided.*  
*N/A*  
*N/A*

*[Signature]*  
for Director (Building)  
10 APR 1974

.....*J. Brown*.....  
Senior Legal Officer  
Commissioner for Housing Conveyancing  
Sub Office  
9.4.74

## REQUEST FOR INSPECTION

Block

Section

Division

14

102

Kambah

Inspection  
required

pointing

Builder:  
(block letters)

Robson

Date booked: 28/3/74

Time: 10.45

Booked by:  
(initials)

PC

Phone/Counter

Inspection satisfactory

Building Inspector

date / /

BLOCK SECTION FILE NO.

KERB KERB GUTTER CROSSOVER

FOOTINGS 330x230 RIF no 8 mesh job 3/4/74

D.P.C. CHECK SURVEY Satisfactory 6/5

FLOOR FRAME prepared for P/B SS flooring job 7/5/74

WALL FRAME radiata job

ROOF FRAME Insulation approved 3/6/74  
Gauges right between trusses & peak trusses job

PRE SHEETING satisfactory job 26/6/74

FLASHINGS

FLOOR front porch ~~concrete~~ N/R job 7/5/74  
wet area swap RIF 7/8 mesh job 27/5/74

TERRACE see above in file RIF no 8 F 7/8 mesh job 24/5/74


SLABS front porch floor RIF 7/8 mesh job 1/7/74

STORMWATER lines in corrug. job 27/6/74

MISCELLANEOUS

PERMIT TO CARRY OUT BUILDING WORK

BL1/9 (8/72)

Issued to (Nominees name if applicable) <b>E. DOEBERL</b>		Class of Builders Licence <b>B</b>
Address <b>22 Patcy St. Campbell.</b>		
Description of Building Work <b>Brick Veneer Residence</b>		
Plan Number <b>35944</b>	Cost <b>\$ 19,600</b>	
To be carried out on		
Block <b>14</b>	Section <b>102</b>	Suburb <b>KAMBRAH.</b>
Lessee of Block		
Address of Lessee		
<ul style="list-style-type: none"><li>• The building work is to be carried out in accordance with the approved plans and specifications and with the provisions of the Building Ordinance 1972.</li><li>• <del>This Permit is valid for a period not exceeding 3 years from date of issue unless otherwise extended by the Building Controller.</del></li></ul>		
ENDORSEMENTS (Under S. 36 (1)-(4) and S. 41 (1))		
<p>THIS PERMIT WILL EXPIRE 12 MONTHS AFTER THE DATE OF ISSUE SHOWN BELOW, OR IF YOU CEASE TO BE THE HOLDER OF A BUILDER'S LICENCE (whichever occurs first).</p>		
<b>14 / 3 / 74</b>		 Deputy Building Controller

SEE ATTACHMENT FOR REQUIREMENTS REGARDING  
INSPECTION OF BUILDINGS DURING CONSTRUCTION

Nº 20637/A



**APPLICATION FOR PERMIT TO ERECT, ALTER OR ADD TO A BUILDING ON**

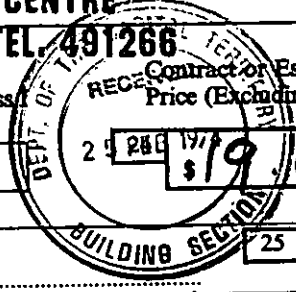
1	Block No.	Section	Suburb	4	Approved Plan No.
	14	102	KAMBATH		35944

Applicants Name (BLOCK LETTERS) **E. DOEBERL**  
 Address **22 PATEY ST., CAMPBELL, A.C.T.**

Lessees Name (BLOCK LETTERS)  
 Address **CINEMA CENTRE**

**FAIRLANE CANBERRA PTY, LTD.** **SUITE 17 TEL. 491266**

Type of construction and class of occupancy to be shown as indicated in the Building Manual	Type of construction	Class of occupancy	Permissible Floor Load (Not applicable to buildings of class I and X occupancy)	Contract or Estimated Price (Excluding Land)
	5	1		\$19,600.



Type of Building **B/V Residence**

Description of Work Please place a tick (✓) in the appropriate square

Type of work

New building     Additions to existing building     Alterations to existing building     Other (specify) \_\_\_\_\_

Main material used in outside walls

Bricks/masonry blocks     Timber/weatherboard     Concrete     Asbestos cement sheets     Other (specify) \_\_\_\_\_

Main material of building frame

Timber     Brick     Steel     Concrete     Other (specify) \_\_\_\_\_

Main material of roof

Terra-cotta tiles     Cement tiles     Asbestos cement sheets     Corrugated iron     Other (specify) \_\_\_\_\_

Main materials of floors

Timber     Concrete     Steel     Earth     Other (specify) \_\_\_\_\_

Number of residential units	1	Number of storeys (including the ground floor)	1	Total floor area in sq m	116.340 <sup>m<sup>2</sup></sup>
-----------------------------	---	--	---	--------------------------	----------------------------------

Number of storeys below ground level		No. of storeys exceeding 10,000 sq ft each	
--------------------------------------	--	--	--

Applicant's Signature *E. Doberl* **18.12.74**

<b>OFFICE USE ONLY</b>	<b>FEES DUE</b>		<b>NOTICE OF INTENTION TO COMMENCE WORK RECEIVED</b>		
	Total Fees Payable	\$	<b>APPROVED</b>		
	Less amount previously paid	\$	<b>APPLICATION APPROVED</b>		
	<b>TOTAL FEE PAID</b>	\$	<b>DEPUTY BUILDING CONTROLLER UNDER BUILDING ORDINANCE 1972</b>		
Licence No.	<b>B</b>	<b>2174</b>	Receipt No.	<b>235</b>	
			Date	<b>28 14, 3, 74</b>	
			Permit No.	<b>20637/A</b>	

PLAN NO 35944 |

LODGED 25 | 2 | 74

APPROVED 11 | 3 | 74

NOB.

P.U.A.C. 12/3/74.

The approved plan  
survey handed to .....

Signature *Sam Kolar* 12/3/74

SUBJECT:

BUILDER'S LICENCES

The Building Ordinance, 1972, provides for 4 classes of licence, "A", "B", "C" and "D".

2. The limitations imposed upon the holders in regard to the type of work which may be carried out under each class are as follows:

CLASS "A"

No limitations.

CLASS "B"

- (i) Buildings up to but not exceeding 3 storeys may be erected, including in addition a basement, an attic and a mezzanine (as defined in Clause 101 of the Building Manual, but governed by clauses 2410 and 2725 respectively in the latter two cases);
- (ii) Excluding buildings of more than one storey, (including in addition a basement) which depend for their support above the first storey on a structural steel or reinforced concrete frame;
- (iii) Particular attention is drawn to the limitations imposed by Clauses 505-508 of the Building Manual.

CLASS "C"

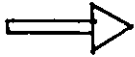
- (i) Buildings not exceeding one storey, including in addition a basement and an attic (see (i) above);
- (ii) Excluding any buildings which:
  - (a) depend for their support on a structural steel or reinforced concrete frame;
  - (b) incorporate suspended structural steel beams and reinforced concrete beams exceeding 10 feet in span; and
  - (c) incorporate suspended reinforced concrete slabs exceeding 10 feet in span.

CLASS "D"

- (i) Buildings such as out-buildings, pre-fabricated buildings and pre-fabricated steel buildings not exceeding one storey;
- (ii) Fences, retaining walls not exceeding 4 feet in height and ornamental ponds.

3. Class B, C and D licensees may in addition carry out building work which does not affect an integral part of the structure of a building.

Applicable to the average type of residential building.



35944

14  
Res

102

Kambah

Fairlane Camb

Feed

E Doberl

CWronsk

$\frac{11}{3}$   
74

Building Controller,  
Building Branch.

BLOCK 14 SECTION 102 Lambay

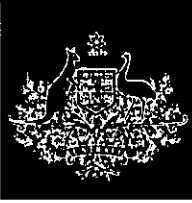
There is no objection to the proposal outlined in  
plan No. 35944.

*L. J. Ayres*  
for (R.J. Corrigan)  
Assistant Secretary  
(Land Administration)

4/3/74

TELEGRAMS 'INBUR'  
TELEPHONE

POST OFFICE BOX 12  
CANBERRA, A.C.T. 2600



COMMONWEALTH OF AUSTRALIA

**NEWS AND INFORMATION BUREAU**  
DEPARTMENT OF THE INTERIOR

REFERENCE:

[The main body of the document contains extremely faint and illegible text, appearing as scattered noise and light grey smudges across the page.]



Department of the Capital Territory  
Building Section

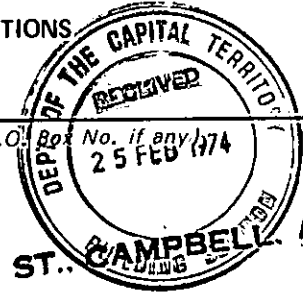
*JA 22/2/74*

Form 4  
Australian Capital Territory  
Building Ordinance 1972  
Regulation 21

*(Handwritten initials)*

APPLICATION FOR APPROVAL OF PLANS AND SPECIFICATIONS

BL1/6 (3/73)



Name of Applicant  <b>E. DOEBERL.</b>	Address (Show P.O. Box No. if any) <b>22 PATEY ST. CAMPBELL ACT</b>
---	---

Name of lessee/owner of parcel of land  <b>FAIRLANE CANBERRA PTY. LTD.</b>	Address  <b>CINEMA CENTRE SUITE 17 TEL. 491266</b>
--	--

Description of land on which the building work is to be carried out.	Block <b>17 14</b>	Section <b>102</b>	Division <b>KAMBATH.</b>
To be specified in accordance with the appropriate classification in the Building Manual.	Type of Construction <b>5</b>		Cost <b>\$19,600.-</b>
	Class of Occupancy <b>1</b>		Total Floor Area where applicable <b>116.340m<sup>2</sup></b>

This application is for:-  
(Please tick (✓) appropriate box)

New work       Amendment to approved plan       Amendment to plan not yet approved

I hereby apply for approval of the attached plans and specifications.

**18/2/74.**      *(Signature)*  
Date      Signature of Applicant

To be completed if application made otherwise than by the lessee/owner, his solicitor or architect.

I hereby authorise the abovenamed applicant of the address indicated to make this application on my behalf.

\_\_\_\_\_  
Date      Signature of lessee/owner

FOR OFFICE USE ONLY	Squareage for Fees <b>13</b>	Plans Numbered <b>3594.4</b>	Building Covenant <b>\$5,530</b>
	Total Fees Payable <b>39</b>	Plans <input checked="" type="checkbox"/> Approved <i>c</i> <input type="checkbox"/> Not approved	
	Receipt/Docket No. <b>235</b>	<i>(Signature)</i> (Deputy Building Controller) <b>11/3/74</b> Date	



①

1	2	3	4	5	6	7
Division	Section	Block	Price Range of buildings	Special Conditions See Key Page 4 of Sale Conditions	Sale Price	Unimproved Value as at 1.1.1970
			\$		\$	\$

SALE PLAN 2470

Kambah	102	9	10,000 min	A	5,425	2,600
		10	10,000 - 30,000	A	5,215	2,500
		11	10,000min	A, F1	7,000	3,300
		12	10,000min	A, F1	6,370	3,000
		13	10,000- 30,000	A	5,250	2,500
		14	10,000min	A	5,530	2,600
		15	10,000min	A	5,600	2,700
		16	10,000- 30,000	A	5,250	2,500
		17	10,000min	A, F1	5,425	2,600
		18	10,000min	A, F1	5,670	2,700
		19	10,000min	A	5,775	2,700
		20	10,000min	A	5,425	2,600

OWNER FAIRLANE CANBERRA P/L

BLOCK 13-15 SECTION 102 KAMBAH A.C.T.

REFERENCE

D.T. Disconnector Trap	S.P.D. Stoneware Pipe Drain	I.C. Inspection Chamber	F.T. Floor Trap
E.V. Educt Vent	C.I.P. Cast Iron Pipe	M.H. Man Hole	S.V.P. Soil Vent Pipe
G.T. Gully Trap	I.O. Inspection Opening	V.P. Ventilating Pipe	V.R. Vertical Riser
F.P. Fixed Point	E.J. Expansion Joint		

NOTE: All work to be executed in accordance with Canberra Sewerage & Water Supply Regulations

SCALE METRIC 1:500

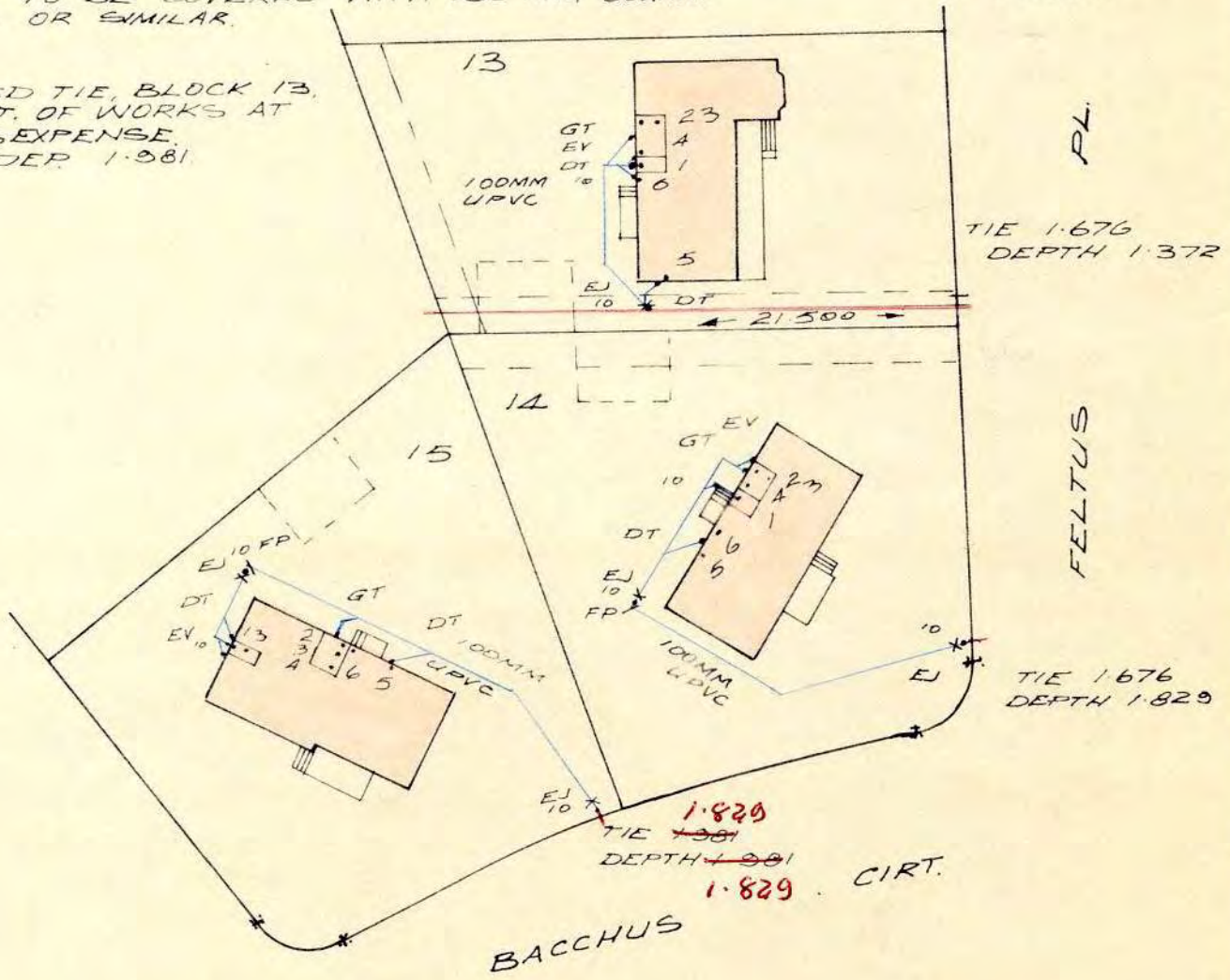
UPVC UNPLASTICISED POLY VINYL CHLORIDE DRAINS TO BE LAID IN UPVC PIPE AND FITTINGS IN ACCORDANCE WITH A.S.A. CA 67-1972. MIN. COVER OVER DRAIN 600MM. (2'0") X- EXPANSION JOINT - TO BE SLEEVED WITH POLYTHENE AND TAPED ONTO PIPE. 1 F.P. FIXED POINT TO BE DRIVEN THROUGH TRENCH BOTTOM 150MM. BEDDING MIN 75MM. QUARRY FINES OR SIMILAR. DRAINS TO BE COVERED WITH 150MM QUARRY FINES OR SIMILAR.

FIXTURES

1. WATER CLOSET
2. BATH
3. BASIN
4. SHOWER
5. SINK
6. TROUGHS



PROPOSED TIE, BLOCK 13, BY DEPT. OF WORKS AT OWNER'S EXPENSE. APP. DEP. 1-981.



NOTES DRAINS TO BE LAID ARE SHOWN IN BLUE LINES. THIS PLAN TO BE READ IN CONJUNCTION WITH APPROVED ARCHITECTURAL PLANS AND SPECIFICATIONS. DRAINS TO BE DELETED SHOWN BY RED X. EXISTING DRAINS SHOWN IN GREEN LINES. POSITION OF BRANCH TO BE LOCATED BEFORE ANY WORK IS COMMENCED.

Designed by: G. MOORE & N. SMITH. Phone 95 9236  
Plumbing & Drainage Consultants

DRAWN G. Moore REF H225

*W. Todd*  
SEWERAGE ENGINEER  
5.4.74



# PLAN OF SANITARY & STORMWATER DRAINAGE

Designed to AS3500 Drainage Plan Number: 24507

WAE

Owner: Mr & Mrs Desmond

Block: 14 Section: 102

Suburb: Kambah

## FIXTURES

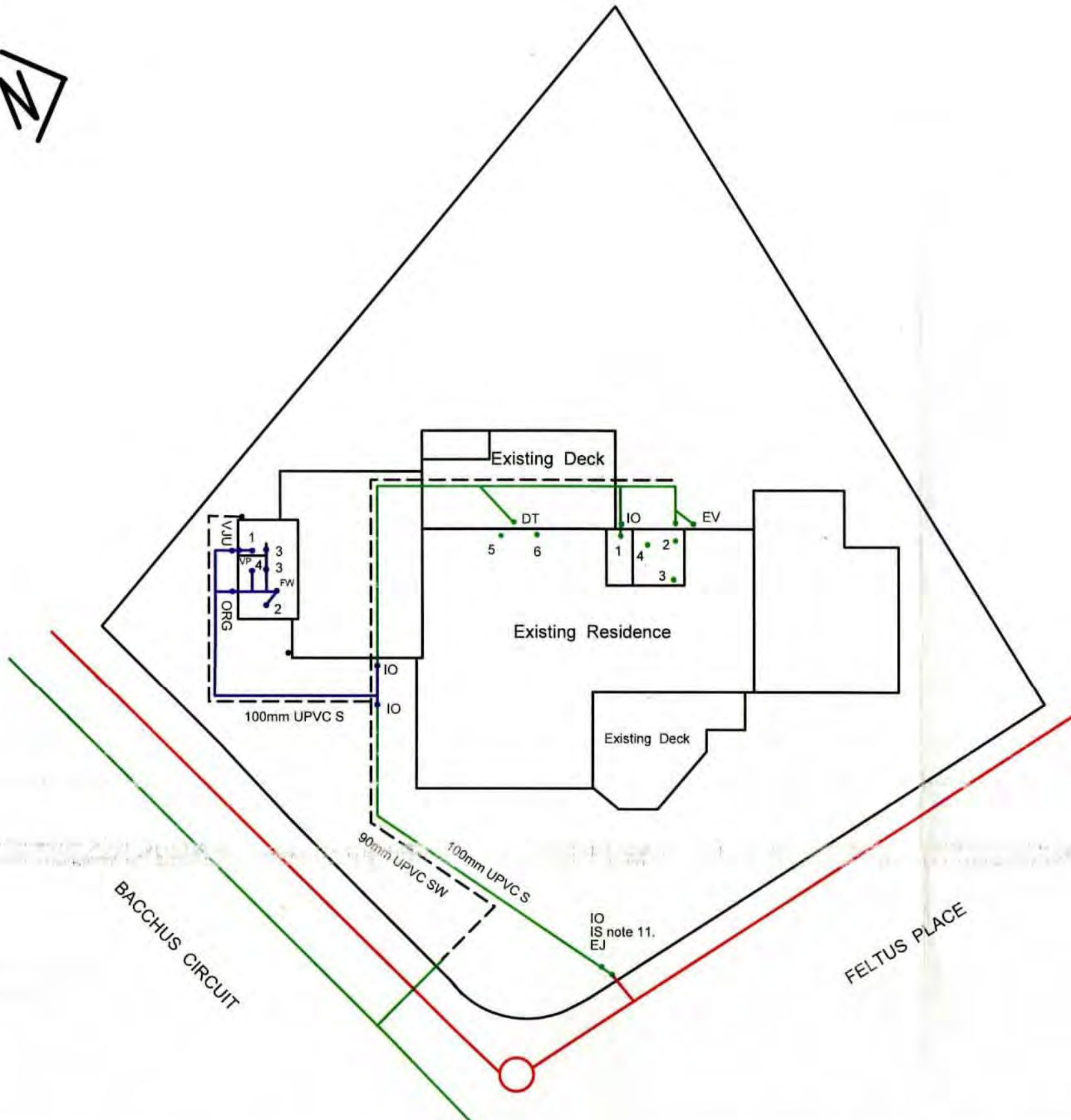
1 WC	(2)	7 Urinal	(-)
2 Bath	(2)	8 Cleaner's sink	(-)
3 Basin	(3)	9 Bidet	(-)
4 Shower	(2)	11 Dishwasher	(-)
5 Kitchen sink	(1)	12 Washing machine	(-)
6 Laundry trough	(1)		

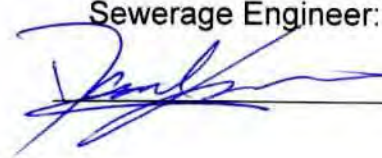
## REFERENCE

CO	Clear out	DP	Downpipe
FW	Floor waste	GT	Gully trap
IO	Inspection Opening	IS	Inspection shaft
MH	Manhole	ORG	Overflow relief gully
SMH	Sewer manhole	SVP	Soil vent pipe
UPVC	Unplasticised Polyvinyl Chloride		
VCP	Vitrified Clay Pipe	VJU	Vertical jump up
VP	Vent pipe	WS	Waste stack

## NOTES

- Drains to be laid are shown in blue lines.
- Existing drains 'x'ed in red are to be removed.
- Existing drains are shown in green lines.
- Sewer mains are shown in red lines.
- Water mains are shown in blue lines.
- Stormwater mains are shown in green lines.
- Sewer and stormwater ties to be located on site prior to commencement of work.
- Copper pipes to comply with AS 1432-1973 table 2 type B tubes.
- UPVC drains to comply with AS 2032 and the Canberra Code of Practice.
- ORG levels to comply with AS3500.2 clause 4.6.6.6, and 4.6.6.7.
- IS at property boundary to be raised to ground level.
- Any stormwater drains laid under the concrete floor construction must be 100mm.
- Cover to comply with AS3500.3.2.-1998.
- This plan to be read in conjunction with approved building plans and specifications.
- All work to comply with Canberra Sewerage and Water Supply Regulations.



Sewer tie 1.676 Depth 1.829 Ch 4.5	<b>SCALE 1:200</b>	Stormwater tie 2.85 Depth 1.2 Ch 4.5	<b>JIM TAYLOR PLUMBING</b> PO BOX 7065, CMC ACT 2610 Phone: 6161 2511 Fax: 6162 2501 Designed: November 2013	Sewerage Engineer:  25-7-2014
--	--------------------	--	---	---

