



ACT
Government

Chief Minister, Treasury and
Economic Development

Freedom of Information Disclosure Log Publication Coversheet

The following information is provided pursuant to section 28 of the *Freedom of Information Act 2016*.

Application Details	
Ref. No.	CMTEDDFOI 2024-028
Date of Application	29 January 2024
Date of Decision	19 March 2024
Processing time (in working days)	35
Fees	Waived
Decision on Access	Partial Release
Information Requested (summary)	Information about a property in Hughes.
Publication Details	
Original application	<input checked="" type="checkbox"/> Published <input type="checkbox"/> N/A
Decision notice	<input checked="" type="checkbox"/> Published <input type="checkbox"/> N/A
Documents and schedule	<input checked="" type="checkbox"/> Published <input type="checkbox"/> N/A
Decision made by Ombudsman	N/A
Additional information identified by Ombudsman	No
Decision made by ACAT	No
Additional information identified by ACAT	No

From: [EPSDFOI](#)
To: [CMTEDD FOI](#)
Subject: FW: Formal Information Request under the Freedom of Information Act 2016 - FOI 24/006955
Date: Monday, 29 January 2024 9:35:20 AM

OFFICIAL

Good afternoon team

Could you please advise if you accept full transfer of the below FOI request?

Kind regards

Sophie Bell | Information Governance Officer

Phone: 02 6205 8386 | Email: epsdfoi@act.gov.au

Legal Policy and Information Access | Environment, Planning and Sustainable Development Directorate | ACT Government

480 Northbourne Avenue, Dickson | GPO Box 158, Canberra ACT 2601 | www.act.gov.au

I acknowledge the Ngunnawal people as traditional custodians of the ACT and recognise any other people or families with connection to the lands of the ACT and region. I acknowledge and respect their continuing culture and the contribution they make to the life of this city and this region.

From [REDACTED]

Sent: Friday, January 26, 2024 7:56 AM

To: EPSDFOI <EPSDFOI@act.gov.au>

Subject: Re: Formal Information Request under the Freedom of Information Act 2016 - FOI 24/006955

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Dear Information Governance Officer Sophie,

The 'applications for approvals' that I refer too is approved applications, plans and documentation for construction.

Thank you,

Sincerely,

[REDACTED]

On 19 Jan 2024, at 11:42 am, EPSDFOI <EPSDFOI@act.gov.au> wrote:

OFFICIAL

Dea [REDACTED]

Thank you for submitting an application to the Environment, Planning and Sustainable Development Directorate (EPSDD) on 18 January 2024, in which you sought access to information under the *Freedom of Information Act 2016* (the Act).

Could you please confirm '*applications for approvals*' refers to only planning and/or construction?

Please Note: Under section 34(4) of the *Freedom of Information Act 2016*, processing of your application has been suspended and will resume once we have received clarification from you to enable us to identify the documents you are seeking. If no response is received within 6 weeks of this request (by 4 March 2024), EPSDD will no longer deal with your application and a new application will be required.

Kind regards

Sophie | Information Governance Officer

Phone: 02 6205 8386 | Email: epsdfoi@act.gov.au

Legal Policy and Information Access | Environment, Planning and Sustainable Development Directorate | ACT Government

480 Northbourne Avenue, Dickson | GPO Box 158, Canberra ACT 2601 | www.act.gov.au

I acknowledge the Ngunnawal people as traditional custodians of the ACT and recognise any other people or families with connection to the lands of the ACT and region. I acknowledge and respect their continuing culture and the contribution they make to the life of this city and this region.

From [REDACTED]

Sent: Thursday, January 18, 2024 1:40 PM

To: EPSDFOI <EPSDFOI@act.gov.au>

Subject: Formal Information Request under the Freedom of Information Act 2016

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Date : 18/01/2024

Subject : Freedom of Information Request

Dear Environment, Planning and Sustainable Development Directorate-Planning
F.O.I Officer

I am writing to formally request access to information under the provisions of the
Freedom of Information Act 2016.

The details of my request are as follows:

1. Request Details

I am seeking information relating to any applications for approvals concerning the
property located at [REDACTED]

2. Timeframe

Specifically, I am interested in any applications and documented information from
February 2019 to current date relating to 36 Brand Street Hughes ACT 2605 (Block 3
Section 6 Hughes).

3. Documents Requested

I request copies of the following documents related to the aforementioned
applications;

- Emails
- File Notes
- Notes of telephone conversations
- Plans
- Evo Energy Plans and Documents
- Icon Plans and Document

4. Parties Involved

Please include information involving the following parties:

- Applicant [REDACTED]
- Representatives from the Environment, Planning and Sustainable
Development Directorate-Planning
- Any third party associated with the applications for approval
- Nominated Private Building Certifier

I appreciate your attention to this request and look forward to hearing from you.

Sincerely,

[REDACTED]

This email, and any attachments, may be confidential and also privileged. If you are not the intended recipient, please notify the sender and delete all copies of this transmission along with any attachments immediately. You should not copy or use it for any purpose, nor disclose its contents to any other person.



FREEDOM OF INFORMATION REQUEST – NOTICE OF DECISION

I refer to your application under section 30 of the *Freedom of Information Act 2016* (the Act), transferred by Environment, Planning and Sustainable Development Directorate to the Chief Minister, Treasury and Economic Development Directorate (CMTEDD) on 29 January 2024.

Specifically, you have sought access to the following information:

“1. Request Details

I am seeking information regarding [redacted] property located at [redacted]

2. Timeframe

Specifically, I am interested in any applications and documented information from February 2019 to current date relating to 36 Brand Street Hughes ACT 2605 (Block 3 Section 6 Hughes).

3. Documents Requested

I request copies of the following documents related to the aforementioned applications;

- *Emails*
- *File Notes*
- *Notes of telephone conversations*
- *Plans*
- *Evo Energy Plans and Documents*
- *Icon Plans and Document*

4. Parties Involved

Please include information involving the following parties:

- *Applicant [redacted]*
- *Representative [redacted] ment*
Directorate-Planning
- *Any third party associated with the applications for approval*
- *Nominated Private Building Certifier”*

Authority

I am an Information Officer appointed by the CMTEDD Director-General under section 18 of the Act to deal with access applications made under Part 5 of the Act.

Timeframes

In accordance with section 40 of the Act, CMTEDD is required to provide a decision on your access application within 30 days.

As this matter required third party consultation, the decision due date was extended by 15 working days, in accordance with section 40(2) of the Act.

Therefore, a decision is due by **4 April 2024**.

Decision on access

Searches of CMTEDD records have identified 22 documents within the scope of your request.

I have decided to grant **partial access** to 19 documents.

The records identified as relevant to your application are listed in the schedule enclosed at **Attachment A**. This provides a description of each document that falls within the scope of your request and the access decision for each of those documents.

Release of documents

The information being released to you is provided at **Attachment B**.

Statement of Reasons

In accordance with section 54(2) of the Act a statement of reasons outlining my decisions is below. In reaching my access decisions, I have taken the following into account:

- the Act
- the information that falls within the scope of your request
- third party views
- *Human Rights ACT 2004*
- *Territory Privacy Principles*

As a decision maker, I am required to determine whether the information within scope is in the public interest to release. To make this decision, I am required to:

- assess whether the information would be contrary to public interest to disclose as per **Schedule 1** of the Act.
- perform the public interest test as set out in section 17 of the Act by balancing the factors favouring disclosure and factors favouring non-disclosure in **Schedule 2** of the Act.

Public Interest Test

The Act has a presumption in favour of disclosure. As a decision maker I am required to decide where, on balance, public interest lies. As part of this process, I must consider factors favouring disclosure and non-disclosure.

In *Hogan v Hinch* (2011) 243 CLR 506, [31] French CJ stated that when 'used in a statute, the term [public interest] derives its content from "the subject matter and the scope and purpose" of the enactment in which it appears'. Section 17(1) of the Act sets out the test, to be applied to determine whether disclosure of information would be contrary to the public interest. These factors are found in subsection 17(2) and Schedule 2 of the Act.

Schedule 2: Factors to be considered when deciding the public interest.

Taking into consideration the information contained in the documents found to be within the scope of your request, I have identified that the following public interest factors are relevant to determine if release of the information contained within these documents is within the 'public interest'.

Factors favouring disclosure (Section 2.1)

- *Section 2.1(a)(iii) - inform the community of the government's operations, including the policies, guidelines and codes of conduct followed by the government in its dealings with members of the community.*
- *Section 2.1(a)(viii) - reveal the reason for a government decision and any background or contextual information that informed the decision.*

I consider the release of this information could reasonably inform the public regarding the guidelines followed by the government regarding applications for property approvals. In addition, release of this information would reasonably provide a contextual basis for revealing the reasons behind a government decision on its dealing with members of the community regarding building applications.

I am satisfied that these factors favouring disclosure carry some weight. However, these factors are to be balanced against the factors favouring nondisclosure.

Factors favouring nondisclosure (Section 2.2)

- *Section 2.2(a)(ii) - prejudice the protection of an individual's right to privacy or any other right under the Human Rights Act 2016.*
- *Section 2.2(a)(xi) - prejudice trade secrets, business affairs or research of an agency or person.*
- *Section 2.2(a)(xiii) - prejudice the competitive commercial activities of an agency.*

Having reviewed the information, I consider that the protection of an individual's right to privacy, is a significant factor. Release of information concerning names of the owner and the internal plan of their house could reasonably prejudice their right to not have their privacy, family, home, or correspondence interfered with unlawfully or arbitrarily, as outlined in section 12 of the *Human Rights Act 2004*.

I have also considered the personal information of other individuals referred to in the information who have not consented to the release of their information at the time it was collected. This personal information was collected for a particular purpose therefore as per the *Territory Privacy Principle 6.1* we cannot disclose their personal information for another purpose.

Personal information of individuals working within the ACT Public Service is generally not considered to prejudice the protection of an individual's right to privacy. However, their signature is redacted as this information is not publicly available, as it could or would reasonably be expected to prejudice their right to privacy under the *Human Rights Act 2004*.

Businesses undertaking development activities in the ACT may expect that any sensitive business information they provide to the Government will be held in confidence. I have considered that the release of information containing the fees paid for services would prejudice the competitive commercial activities of the business, as this could provide

their competitors in the industry an advantage. I have also considered that some information being released could reasonable be expected to prejudice business affairs of the owner regarding their property as some information might be perceived negatively by the public.

Having applied the test outlined in section 17 of the Act and deciding that release of some information contained in the documents is not in the public interest to release, I have chosen to redact this specific information in accordance with section 50(2). Noting the pro-disclosure intent of the Act, I am satisfied that redacting only the information that I believe is not in the public interest to release will ensure that the intent of the Act is met and will provide you with access to the majority of the information held by CMTEDD within the scope of your request.

Charges

Processing charges are applicable for this request because the total number of pages to be released to you exceeds the charging threshold of 50 pages. However, the charges have been waived.

Online publishing – Disclosure Log

Under section 28 of the Act, CMTEDD maintains an online record of access applications called a [disclosure log](#).

Your original access application and my decision will be published on the CMTEDD disclosure log. Your personal contact details will not be published.

Ombudsman Review

My decision on your access request is a reviewable decision as identified in Schedule 3 of the Act. You have the right to seek Ombudsman review of this outcome under section 73 of the Act within 20 working days from the day that my decision is provided to you, or a longer period allowed by the Ombudsman.

We recommend using this form [Applying for an Ombudsman Review](#) to ensure you provide all of the required information. Alternatively, you may write to the Ombudsman at:

The ACT Ombudsman
GPO Box 442
CANBERRA ACT 2601

Via email: actfoi@ombudsman.gov.au

ACT Civil and Administrative Tribunal (ACAT) Review

Under section 84 of the Act, if a decision is made under section 82(1) on an Ombudsman review, you may apply to the ACAT for review of the Ombudsman decision. Further information may be obtained from the ACAT at:

ACT Civil and Administrative Tribunal
GPO Box 370
Canberra City ACT 2601
Telephone: (02) 6207 1740
<http://www.acat.act.gov.au/>

Should you have any queries in relation to your request please contact the Information Access Team by telephone on 6207 7754 or email CMTEDDFOI@act.gov.au.

Yours sincerely,



Katharine Stuart
Information Officer
Chief Minister, Treasury and Economic Development Directorate

15 March 2024



ACT
Government

Chief Minister, Treasury and
Economic Development

FREEDOM OF INFORMATION REQUEST SCHEDULE

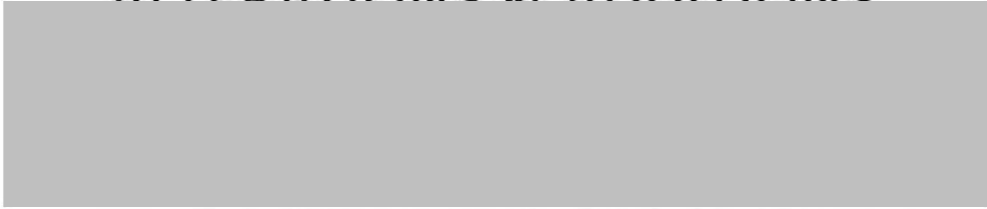
WHAT ARE THE PARAMETERS OF THE REQUEST	Reference NO.
<p>1. Request Details I am seeking information relating to any applications for approvals concerning the property located at [REDACTED]</p> <p>2. Timeframe Specifically, I am interested in any applications and documented information from February 2019 to current date relating to 36 Brand Street Hughes ACT 2605 (Block 3 Section 6 Hughes).</p> <p>3. Documents Requested I request copies of the following documents related to the aforementioned applications;</p> <ul style="list-style-type: none"> • <i>Emails</i> • <i>File Notes</i> • <i>Notes of telephone conversations</i> • <i>Plans</i> • <i>Evo Energy Plans and Documents</i> • <i>Icon Plans and Document</i> <p>4. Parties Involved Please include information involving the following parties;</p> <ul style="list-style-type: none"> • <i>Applicant 36 Brand Street Hughes ACT 2605 (Block 3 Section 6 Hughes)</i> • <i>Representatives from the Environment, Planning and Sustainable Development Directorate-Planning</i> • <i>Any third party associated with the applications for approval</i> • <i>Nominated Private Building Certifier</i> 	<p>CMTEDDFOI 2024-028</p>

Ref No	Page number	Date	Status	Reason for Exemption	Online Release Status
1	1-21		Partial	Sch 2 s2.2 (a)(ii) Sch 2 s2.2 (a)(xi)	Yes
2	22-25		Partial	Sch 2 s2.2 (a)(ii) Sch 2 s2.2 (a)(xi)	Yes
3	26-27		Partial	Sch 2 s2.2 (a)(ii)	Yes

4	28-30	Assessment Against Single Dwelling Housing Development Code		Partial	Sch 2 s2.2 (a)(ii)	Yes
5	31-33	Lessee Declaration Form – Tree Requirements to comply with single dwelling housing development code		Partial	Sch 2 s2.2 (a)(ii)	Yes
6	34-35	Notice of Decision		Partial	Sch 2 s2.2 (a)(ii)	Yes
7	36-37	Form 7A - Information for adjoining resident about proposed exempt development. Form 7B – Summary of written information for building certifier – compliance with exemption criteria – Planning & Development Regulation		Partial	Sch 2 s2.2 (a)(ii)	Yes
8	38	Hughes Precinct Map		Full		Yes
9	39-41	Block Dimensions Report		Full		Yes
10	42	Building Approval Fees and Levies Tax Invoice		Partial	Sch 2 s2.2 (a)(ii)	Yes
11	43-44	Building Approval	26 November 2023	Partial	Sch 2 s2.2 (a)(xiii)	Yes
12	45-53	Appointment of Builder & Application for Commencement Notice	26 November 2023	Partial	Sch 2 s2.2 (a)(ii) Sch 2 s2.2 (a)(xiii)	Yes
13	54-55	Building Commencement Notice	26 November 2023	Partial	Sch 2 s2.2 (a)(ii) Sch 2 s2.2 (a)(xiii)	Yes
14	56-62	Appointment of a Certifier Application for Building Approval		Partial	Sch 2 s2.2 (a)(ii) Sch 2 s2.2 (a)(xiii)	Yes
15	63-70	Residential Energy Rating		Partial	Sch 2 s2.2 (a)(ii)	Yes
16	71-85	Alterations & Additions A Documentation – Annual Thermal Performance		Partial	Sch 2 s2.2 (a)(ii) Sch 2 s2.2 (a)(xi)	Yes
17	86-92	Inspection Report - Presheet	29 January 2024	Partial	Sch 2 s2.2 (a)(ii)	Yes
18	93	Certificate of Site Classification	11 June 2023	Partial	Sch 2 s2.2 (a)(ii)	Yes
19	94-102	EvoEnergy - Conditional Compliance – Electricity Networks	2 November 2023	Partial	Sch 2 s2.2 (a)(ii)	Yes
20	103-111	Icon Water – Statement of Conditional Acceptance	2 November 2023	Partial	Sch 2 s2.2 (a)(ii)	Yes

21	112-118	EvoEnergy – Conditional Compliance – Gas Networks	25 October 2023	Partial	Sch 2 s2.2 (a)(ii)	Yes
22	119	Hughes Canberra ACT - Plan		Full		Yes
Total No of Docs						
22						

ALTERATIONS & ADDITIONS



BA DOCUMENTATION



CONTENTS

SHEET No.	DRAWING TITLE
G WD00-00	COVER SHEET
G WD00-01	GENERAL NOTES
G WD00-03	SITE PLAN
G WD00-02	FINISHES
G WD00-05	DEMOLITION - GROUND
G WD00-10	NEW WORKS - GROUND
G WD00-30	FURNITURE - GROUND
G WD01-05	DEMOLITION - FIRST
G WD01-10	NEW WORKS - FIRST
G WD01-30	FURNITURE - FIRST
G WD01-40	CEILING PLAN - FIRST
G WD01-41	ROOF PLAN - FIRST
G WD01-50	ELEVATIONS 01
G WD01-51	ELEVATIONS 02
G WD01-52	TYPICAL SECTION
G WD01-60	WINDOW SCHEDULE
G WD00-70	WET AREA DETAILS

AREA SCHEDULE

AREA	m ²
BLOCK	984m ²
EXISTING FIRST	145m ²
ADDITIONS FIRST	13m ²
EXISTING GROUND	126m ² incl stair
TOTAL	284m²
PLOT RATIO ACHIEVED	28%

01 SITE PLAN
SCALE NTS

TITLE
WDPL00-00
COVER SHEET

DRAWING REVISIONS

Rev.	Description	Date	Rev.	Description	Date
A	Issue for Information	01.11.22	D	Issue for BA	14.11.23
B	Issue for BA	04.10.23	E	Issue for BA	16.11.23
C	Issue for BA	26.10.23			

Drawn AC
Approved AC
Creation date 12.02.2019
Project No G
Scale 1:100 @ A3
Revision E

Sch 2.2(a)(ii)

ALTERATIONS & ADDITIONS

Comply with regulations and by-laws of authorities with jurisdiction over the works and including those relating to water supply, gas, sewerage, health and electricity. Give all notices and pay fees required by the authorities. All work to comply with the Building Code of Australia and relevant Australian Standards and Local Building Regulations. Work shown or described on the drawings or in the schedule is to be carried out whether drawn and not specified or vice versa. The requirements of regulations take precedence over the drawings. Written dimensions take precedence over scaled drawings. Detail drawings take precedence over general drawings. Check all dimensions on site before commencing construction or producing shop drawings or fabricating components. NOTE: drawings of the existing, including ground lines are approximate and are for general information only and should be verified on site. Proposals: submit proposals for action to be taken with respect to existing services before starting this work. Before practical completion, clean throughout, including interior and exterior surfaces exposed to view. Vacuum carpeted and soft surfaces. Clean debris from site, roofs, gutters, down pipes and drainage systems. Remove waste, surplus materials and rubbish from site. Builder to allow for drainage plan. Concrete slabs and footings to NCC 2022 4.2. and AS2870-2011 All footings to be taken down to solid ground. Framing to NCC 2019 3.4.3.0 and AS1684.2-2021 'National Timber Framing Code'. Tie downs and bracing to 'National Timber Framing Code' and in accordance with local wind loading requirements. AS 1684.2-2021 and AS 1684.3-202 Brickwork to NCC 2022 5.6.2 and AS3700 – 2018 'SAA Masonry' Lintels to truss manufacturers tables to comply with NCC 2022 5.6.7 and AS4440 Structural Steel to NCC 2022 6.3.2 and AS1170.2-2021 Termite protection to comply with NCC 2022 3.4 and AS3660.1-2000. Smoke alarms to NCC 2022 9.55 and AS3786-2014 Wet areas to comply with NCC 2022 10.2 and AS 3740/2021 Lighting to comply with NCC 10.5.1 natural light & NCC 10.5.2 artificial light. Water heater in a hot water supply system to comply with NCC 2022 Clause 13.7.7 (noting this refers to Part B2 NCC vol 3 Plumbing code) and AS/NZS 3500:2021

EXISTING TREES:
ENSURE CONSTRUCTION EQUIPMENT CAN PASS BENEATH LOWEST LIMB THROUGH DRIVEWAY ACCESS. ENSURE LIFTING EQUIPMENT CAN CLEAR HEIGHT AND WIDTH OF TREE CROWN WITHOUT CAUSING DAMAGE TO CROWN WHERE APPROVED TRENCHING EXPOSES TREE ROOTS THIS IS TO OCCUR ON ONE SIDE OF THE TREE ONLY; DO NOT SEVER LARGE ROOTS CLOSER THAN HALF WAY FROM THE DRIP LINE TO THE TRUNK. ALL ROOTS MUST BE CUT CLEANLY WITH EQUIPMENT SPECIFICALLY DESIGNED TO CUT ROOTS OR PRUNING EQUIPMENT. ROOTS EXPOSED DURING EXCAVATION MUST BE PROTECTED BY KEEPING LIGHTLY WATERED OR COVER WITH HESSIAN WHICH MUST BE KEPT MOIST. WATER TREES WHICH HAVE HAD A DISTURBANCE IN THEIR ROOT ZONE. THE AMOUNT AND FREQUENCY OF WATERING NEEDS TO BE ADAPTED TO THE TREES REQUIREMENTS AND BASED ON SEASONAL CONDITIONS.

EROSION AND SEDIMENT CONTROL NOTES:
1. THE CONTRACTOR SHALL ENSURE THAT CONSTRUCTION ACTIVITIES DO NOT PROMOTE EROSION HAZARDS AND SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID ALL UNSOUND WORK PRACTICES.
2. WHEN CONSTRUCTION IS HALTED BY WET WEATHER, HOLIDAYS, OR OTHER SHUTDOWNS THE SITE SHALL BE LEFT IN A STABLE CONDITION AND BE MADE SAFE TO THE PUBLIC AND OTHERS AT ALL TIMES.

3. ALL POLLUTION CONTROL MEASURES MUST BE OPERATIONAL PRIOR TO INITIATING WORKS IN THE CONTRIBUTING CATCHMENT, AND SHALL BE MAINTAINED DURING CONSTRUCTION. ADDITIONAL CONTROLS SHALL BE INSTALLED BY THE CONTRACTOR IF CONSIDERED NECESSARY BY THE SUPERINTENDENT.
4. ALL EROSION CONTROL WORKS SHALL BE REMOVED ON COMPLETION OF THE WORKS AS DIRECTED BY THE SUPERINTENDENT AND ALL SEDIMENT MATERIALS REMOVED TO AN APPROVED LOCATION OR TIP.
5. ALL TRUCK AND OTHER PLANT REMOVING SPOIL FROM THE SITE MUST BE COVERED TO AVOID ALL DUST AND DEPOSITION OF MATERIAL. ANY SOIL/DEBRIS CARRIED ONTO ROADWAY BY VEHICLES SHALL BE SWEEPED CLEAR AT END OF EACH WORKING DAY OR IMMEDIATELY IF RAIN PENDING.
6. SILT FENCES ARE TO BE CONSTRUCTED ON THE DOWN HILL SIDE OF ALL WORKS INCLUDING STOCKPILE AREAS.
7. WHEREVER POSSIBLE SPOIL SHALL NOT BE PLACED WHERE IT IS LIKELY TO FALL OR BE WASHED ONTO THE ROAD, GUTTERS OR DRAINS SPOIL SHALL BE PLACED UP HILL OF AND AWAY FROM ROADS, GUTTERS OR DRAINS. SILT FENCES ARE TO BE PLACED AROUND STOCKPILES TO ACT AS SEDIMENT CONTROLS.
8. AFTER BACK FILLING, EXCESS SPOIL SHALL BE REMOVED AND DISPOSED OF OFF SITE AT CONTRACTORS EXPENSE.
9. ENVIRONMENT PROTECTION AND HERITAGE MUST BE ADVISED PRIOR TO SPOIL LEAVING SITE QUANTITY, SOIL TYPE AND DESTINATION DETAILS REQUIRED.
10. A TRENCH OR EXCAVATION MAY ONLY BE PUMPED OUT WHERE THE SEDIMENT LEVEL IS LESS THAN 60mg/L. IF THE SEDIMENT LEVEL IS GREATER THAN PRIOR TO DISCHARGE, THE DAM MUST BE DOSED WITH EITHER ALUM OR GYPSUM AND ALLOWED TO SETTLE UNTIL THE DISCHARGE IS LESS THAN 60mg/L.
11. ENVIRONMENT PROTECTION AND HERITAGE TO BE NOTIFIED PRIOR TO ANY WATER BEING DISCHARGED FROM SITE.
12. EXISTING TREES FENCED NOT TO BE DAMAGED.
13. CONSTRUCT TEMPORARY CONSTRUCTION EXIT.
14. ANY STORM WATER PITS INDICATED SHALL HAVE GRAVEL FILTER ROLLS PROVIDED AT KERB INLETS UNTIL ADJACENT WORKS ARE STABILISED. FILTER ROLLS ARE TO BE MAINTAINED TO ENSURE OPTIMAL PERFORMANCE.
15. CONTRACTOR TO CONTACT TAMS ON 6207 6046 AFTER SITE FENCE HAS BEEN INSTALLED FOR INSPECTION.
16. WATER DAMPING TO BE USED FOR DUST SUPPRESSION DURING WORKS GENERATING SIGNIFICANT DUST AND ON WINDY DAYS. AREAS OF DISTURBED SOIL TO BE KEPT TO A MINIMUM.

SITE WORKS:
1. ALL EXCAVATION AND LEVELS TO BE CHECKED ON SITE BY SURVEYOR.
2. SITE FENCE TO BE PROVIDED WITH GATE FOR SITE ACCESS. 1.8m HIGH CHAIN MESH FENCE.
3. SILT BARRIER WHERE NECESSARY TO PREVENT RUNOFF FROM SITE.
4. ALL SITE AMENITIES TO BE PROVIDED.
5. DRAINAGE TO BE INSTALLED TO SUIT ACTEWAGL SERVICES PLAN.
6. ALL FILL ON THE BLOCK TO BE COMPACTED SUFFICIENTLY TO SUPPORT STRUCTURAL WORKS SPECIFIED BY ENGINEER.

SLAB, FOOTINGS AND RETAINING WALLS:
ALL TO BE SPECIFIED AND DETAILED BY ENGINEER AND READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS. ANY DISCREPANCIES ARE TO BE ADDRESSED IMMEDIATELY WITH ENGINEER AND ARCHITECT.

STRUCTURAL STEEL:
ENGINEER TO SPECIFY AND DETAIL ALL STRUCTURAL STEEL AND TIMBER BEAMS, POST AND WALL BRACING. MUST BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS. ANY DISCREPANCIES ARE TO BE ADDRESSED IMMEDIATELY WITH ENGINEER AND ARCHITECT.

MASONRY CONSTRUCTION:
1. BRICKWORK TO BE INSTALLED WITH SPECIFIED MORTAR JOINTS FOR FACE BRICK.
2. ALL BRICKWORK TO HAVE WEEP HOLES PROVIDED AS PER AUSTRALIAN STANDARDS.
3. WEEP HOLES TO COMPLY WITH RELEVANT BUSH FIRE RATING FOR THE PROPOSED BLOCK.
4. SUB FLOOR VENTILATION TO BE PROVIDED WHERE NECESSARY AND BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS FOR SIZE PER AREA OF SUB FLOOR.
5. MORTAR MIX TO BE CORRECT CONSISTENCY AND QUANTITIES FOR ADEQUATE STRUCTURAL SUPPORT OF WALL LENGTHS AND HEIGHTS.
6. BRICK TIES TO BE INSTALLED AT MINIMUM SPACING AND TIES TO BE INSTALLED AND FIXED OFF TO FRAMEWORK.
7. CONTROL JOINTS TO BE PROVIDED IN BRICKWORK IN APPROPRIATE LOCATIONS OR AS SPECIFIED BY ENGINEER.
8. KNOCK OUT BRICK TO BE PROVIDED EVERY 2m FOR WASH OUT OF CAVITY AFTER WALLS ARE BUILT.
9. DAMP PROOF COURSE AND FLASHING TO BE INSTALLED APPROPRIATELY AND AS PER WALL FRAMING CODES.
10. WATERPROOFING TO ALL WALLS TO BE BACK FILLED WITH EARTH. REFER TO ENGINEERS SPECIFICATIONS FOR DETAILS.

WALL FRAMING AND TRUSS CONSTRUCTION:
1. ALL TIMBER FRAMING TO BE IN ACCORDANCE WITH AUSTRALIAN TIMBER FRAMING CODE.
2. PREFABRICATED WALL FRAMING TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS AND DETAILS.
3. ROOF TRUSSES TO MANUFACTURERS SPECIFICATIONS.
4. ROOF TRUSSES TO BE INSTALLED TO MANUFACTURERS DETAILS AND SPECIFICATIONS.
5. BRACING AND FIXINGS AS PER ENGINEERS AND FRAMING MANUFACTURERS SPECIFICATIONS.
6. WALL FRAMES TO BE SUFFICIENTLY BOLTED TO SLAB AT MINIMUM 1200mm c/s.
7. REFER TO ROOF PLAN, ELEVATIONS OR SECTION FOR ROOF PITCH AND CLADDING SPECIFICATIONS.

ROOF CLADDING:
1. REFER TO ROOF PLAN, ELEVATIONS OR SECTION FOR ROOF CLADDING SPECIFICATIONS, PITCH AND GUTTER DETAILS.
2. ROOF DETAILS MUST BE READ IN CONJUNCTION WITH MANUFACTURERS INSTALLATION SPECIFICATIONS.
3. ALL FIXINGS TO BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

4. BATTEN SPACING TO SUIT RELEVANT ROOFING TYPE AND MANUFACTURERS SPECIFICATIONS.
5. FLASHING TO BE INSTALLED IN ALL APPROPRIATE AREAS AND SEALED WITH WEATHERPROOF SEALANT.
6. ROOF DRAINAGE TO HAVE A MINIMUM OF 50% OF THE ROOF AREA CONNECTED TO WATER TANK.
7. ALL OTHER ROOF DRAINAGE TO BE CONNECTED TO STORM WATER AS PER DRAINAGE PLAN PROVIDED BY PLUMBER AND DRAINER.
8. ANY SKYLIGHTS TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS AND DETAILS AND SEALED APPROPRIATELY.
9. ANY ROOF VENTILATORS TO BE INSTALLED TO MANUFACTURERS SPECIFICATION AND DETAIL AND SEALED APPROPRIATELY.

WET AREA DETAILS:
1. DESIGN OF WET AREAS AS PER ARCHITECTURAL PLANS OR AS SEPARATE SPECIFIC DESIGNS BY INTERIOR DESIGNER.
2. FINAL LAYOUT OF DRAINAGE POINTS TO BE FINALISED BEFORE CONSTRUCTION.
3. DAVCO WATER PROOFING SYSTEM OR SIMILAR TO ALL WET AREAS.
4. WATERPROOFING TO ENTIRE SHOWER RECESS AND ANY HOB UP TO 1800mm HIGH.
5. WATERPROOF FLOORS TO A MINIMUM OF 1500mm RADIUS FROM SHOWER HEAD.
6. ALL HOB'S TO BE FULLY WATERPROOFED.
7. BATH WALL TO BE WATERPROOFED MINIMUM OF 1500mm ABOVE BATH.
8. ALL PENETRATIONS TO BE SEALED AND WATERPROOFED.
9. ALL WATERPROOFING TO BE INSTALLED BY CERTIFIED INSTALLER AND CERTIFICATE TO BE SUPPLIED UPON COMPLETION.
10. PRODUCT USED TO MEET AUSTRALIAN STANDARD COMPLIANCE AND AT INSTALLERS DISCRETION.

WINDOWS:
1. FULL CONSTRUCTION COST AND BUILDER TO BE SELECTED PRIOR TO MANUFACTURE.
2. WINDOWS ARE TO COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND SUPPLIED TO MATCH THE SPECIFICATIONS IN THE ENERGY RATING REPORT.
3. WINDOW SIZES AND TYPE AS PER PLANS AND ELEVATIONS.
4. WINDOWS TO COMPLY WITH RELEVANT BUSH FIRE PRONE AREAS. CHECK PRIOR TO MANUFACTURE.

INTERNAL GLAZING DETAILS:
1. SHOWER SCREENS TO BE SEMI FRAMELESS UNLESS OTHERWISE SPECIFIED BY OWNER AND BUILDER UPON CONTRACT SPECIFICATION.
2. BALUSTRADES AS SPECIFIED ON PLANS OR AS PER OWNERS REQUEST AS STATED IN THE FINAL BUILDING CONTRACT.
3. INTERNAL GLAZED TO MANUFACTURERS SPECIFICATION.

FIRE SAFETY:
1. SMOKE ALARMS TO BE INSTALLED BY ELECTRICIAN IN APPROPRIATE SPOTS TO COMPLY WITH RELEVANT FIRE SAFETY CODES.
2. BUSH FIRE PRONE AREAS ARE AS PER LEASE AND DEVELOPMENT CONDITIONS AND MUST BE READ IN CONJUNCTION WITH THIS SPECIFICATION.

3. ALL BUILDING PERIMETER SEALING TO COMPLY WITH BUSH FIRE PRONE ZONE REQUIREMENTS.

SAFE MOVEMENT AND ACCESS:
1. STAIRS AS PER ARCHITECTURAL PLANS.
2. FINAL STAIR DETAILING BY ENGINEER OR STAIR MANUFACTURER.

ENERGY EFFICIENCY DETAILS:
ENERGY RATING TO BE SUPPLIED BY LICENSED ENERGY RATING PROVIDER AND STAMPED ON PLANS.

WATER SUPPLY AND DRAINAGE:
PLAN TO BE PROVIDED BY PLUMBING AND DRAINAGE COMPANY SELECTED BY BUILDER.

SERVICES PLAN:
1. THIS PLAN IS NOT PRACTICAL TO BE DETAILED UNTIL OWNER HAS SELECTED A BUILDER AND HAS A COSTING WITH INCLUSIONS SPECIFIED FOR THE CONTRACT.
2. AIR CONDITIONAL UNIT LOCATION TO BE RECOMMENDED BY SUPPLIER ONCE SELECTED BY BUILDER AND UNIT TYPE SPECIFIED.
3. WATER TANK LOCATION AS PER PLAN.

MECHANICAL:
1. ALL MECHANICAL VENTILATION TO BE DUCTED DIRECTLY NCC 2019 Vol 2 Amendment 1 3.8.5 TO OUTSIDE ROOF SPACE IN ACCORDANCE WITH NCC 2022 10.8.2
2. FLOW RATE OF MECHANICAL SYSTEMS TO COMPLY WITH NCC 2022 10.8.3
3. UPPER FLOOR WINDOWS TO BE RESTRICTED IN ACCORDANCE NCC 2022 11.3.7 & 11.3.8

Building Approval
Is issued under section 28 of the Building Act 2004
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26/11/2023 Licenced No: 2019937

<p>TITLE WDPL00-01 GENERAL NOTES</p>	<p>DRAWING REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Rev.</th> <th>Description</th> <th>Date</th> <th>Rev.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>Issue for Information</td> <td>01.11.22</td> <td>D</td> <td>Issue for BA</td> <td>14.11.23</td> </tr> <tr> <td>B</td> <td>Issue for BA</td> <td>04.11.23</td> <td></td> <td></td> <td></td> </tr> <tr> <td>C</td> <td>Issue for BA</td> <td>26.11.23</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	Rev.	Description	Date	Rev.	Description	Date	A	Issue for Information	01.11.22	D	Issue for BA	14.11.23	B	Issue for BA	04.11.23				C	Issue for BA	26.11.23				<p>Drawn AC Approved AC Creation date 12.02.2019 Project No G Scale NTS Revision D</p>	<p>Sch 2.2(a)(ii)</p>
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ALTERATIONS & ADDITIONS



FINISHES - EXTERNAL

BR1
BRICK FINISH TYPE 01
EXISTING BRICK
- WARM WHITE



BR2
BRICK FINISH TYPE 02
BRICK BAGGED / RENDER
- WARM WHITE



SW1
STONE WALL
DRY STACK - BLUE STONE



TB1
TIMBER BALUSTRADE
REFURBISH EXISTING - NEW TO MATCH EXISTING
- MONUMENT



RF1
CLIP LOCK ROOFING
- MONUMENT



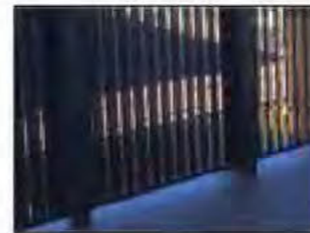
W00
GLAZING
- BLACK MATT



TL1
BLUESTONE TILE
- 600x300



TB2
TIMBER SLATTED SCREEN
- MONUMENT



RF2
PAINT EXISTING ROOF
- MONUMENT



GT1
GUTTER
- MONUMENT



EXISTING ROLLER GARAGE DOOR
- MONUMENT



TB3
TIMBER PERGOLA
REFURBISH EXISTING - NEW TO MATCH EXISTING
- MONUMENT



TITLE
WDPL00-02
EXTERNAL FINISHES



DRAWING REVISIONS

Rev.	Description	Date	Rev.	Description	Date
A	Issue for Information	01.11.22	D	Issue for BA	24.11.23
B	Issue for BA	04.10.23			
C	Issue for BA	26.10.23			

Drawn AC
Approved AC
Creation date 12.02.2019
Project No G
Scale NTS
Revision D

Sch 2.2(a)(ii)

GENERAL LEGEND

-  INDICATES EXISTING BUILT STRUCTURE
-  INDICATES EKXTENT OF EXISTING DWELLING

AREA SCHEDULE

AREA	m ²
BLOCK	984m ²
EXISTING FIRST	145m ²
ADDITIONS FIRST	13m ²
EXISTING GROUND	126m ² incl stair
TOTAL	284m²
PLOT RATIO ACHEIVED	28%
POS 60% (min 590.4m ²)	821m ²
PLANTING AREA (min 295.2m ²)	449m ²
SOFT LANDSCAPE	

EPA Note

"the development will comply with the ACT Environment Protection Authority, Environment Protection Guidelines for Construction and Land Development in the ACT"

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01 SITE PLAN
 - SCALE 1:200

TITLE WDPL00-03 SITE PLAN		DRAWING REVISIONS <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Rev.</th> <th>Description</th> <th>Date</th> <th>Rev.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>Issue for BA</td> <td>26.10.23</td> <td></td> <td></td> <td></td> </tr> <tr> <td>B</td> <td>Issue for BA</td> <td>14.11.23</td> <td></td> <td></td> <td></td> </tr> <tr> <td>C</td> <td>Issue for BA</td> <td>16.11.23</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	Rev.	Description	Date	Rev.	Description	Date	A	Issue for BA	26.10.23				B	Issue for BA	14.11.23				C	Issue for BA	16.11.23				Drawn Approved Creation date Project No Scale Revision AC AC 12.02.2019 G 1:100 @ A3 C	Sch 2.2(a)(ii)
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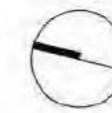
Sch 2.2(a)(ii)

Sch 2.2(a)(ii)

- GENERAL LEGEND**
-  INDICATES EXISTING BUILT STRUCTURE
 -  INDICATES EXTENT OF BASE BUILDING NOT INCLUDED IN SCOPE OF WORKS
- DEMOLITION LEGEND**
-  INDICATES EXTENT OF HOUSE / GARAGE TO BE DEMOLISHED IN PREPERATION FOR NEW WORKS. COORDINATE SETOUT WITH NEW WORKS. REFER TO SERVICES DRAWINGS FOR ADDITIONAL INFORMATION. .
 -  INDICATES EXTENT OF SLAB, DECKING, WINDOWS AND LANDSCAPE TO BE DEMOLISHED IN PREPERATION FOR NEW WORKS. COORDINATE SETOUT WITH NEW WORKS. REFER TO SERVICES DRAWINGS FOR ADDITIONAL INFORMATION. .

Sch 2.2(a)(xi)



01 DEMOLITION PLAN / GROUND
 - SCALE 1:100



TITLE WDPL00-05 DEMOLITION - GROUND	[Redacted]	DRAWING REVISIONS				Drawn AC Approved AC Creation date 12.02.2019 Project No G Scale 1:100 @ A3 Revision E	Sch 2.2(a)(ii)
		Rev.	Description	Date	Rev.		
		A	Issue for Information	01.11.22	D	Issue for BA	14.11.23
		B	Issue for BA	04.10.23	E	Issue for BA	16.11.23
		C	Issue for BA	26.10.23			

Sch 2.2(a)(ii)

GENERAL LEGEND

-  INDICATES EXISTING BUILT STRUCTURE
-  INDICATES EXTENT OF BASE BUILDING NOT INCLUDED IN SCOPE OF WORKS



NEW WORKS LEGEND

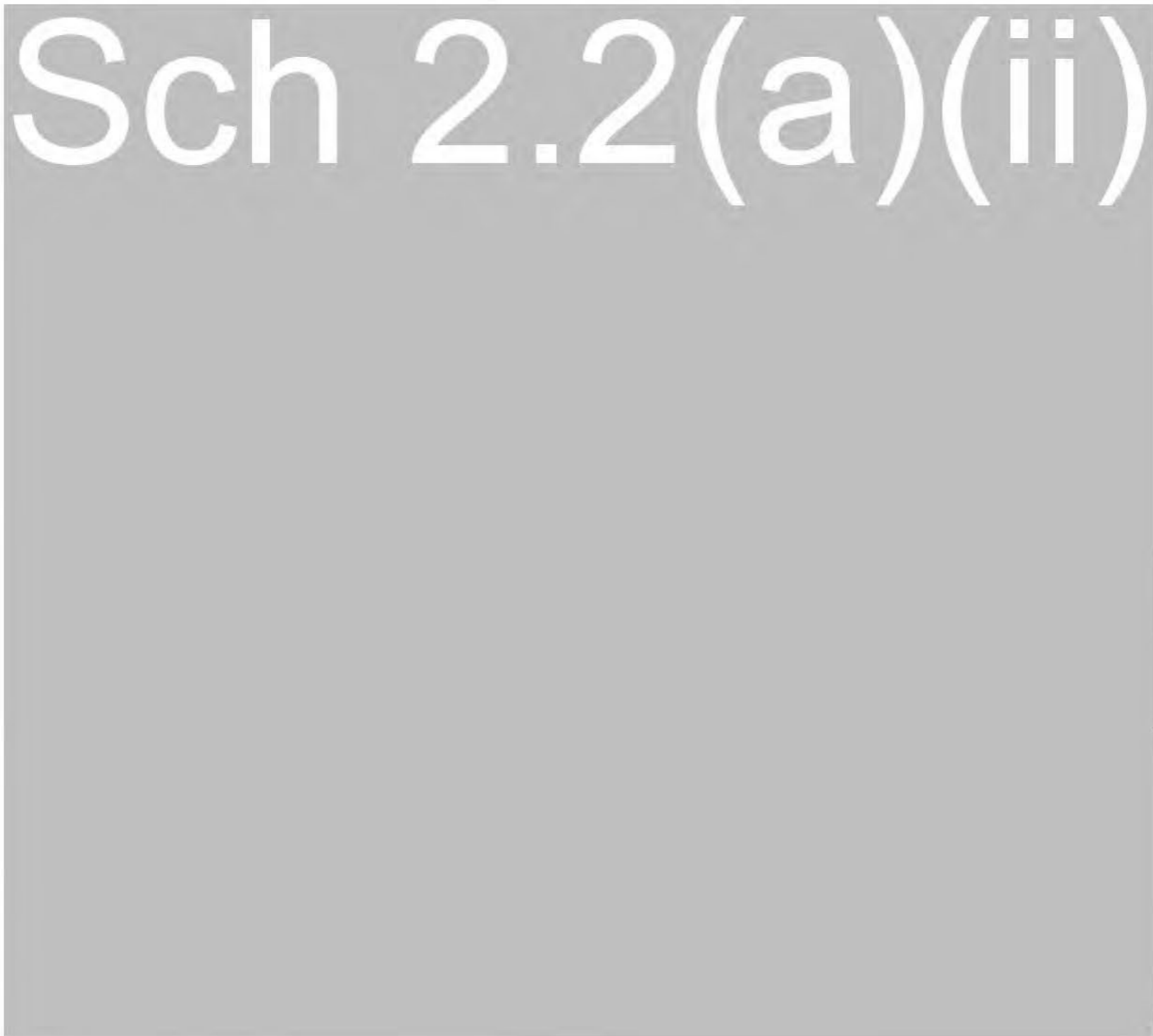
-  270mm DOUBLE BRICK WITH 5mm RENDER/BAG EACH SIDE.
-  110mm SINGLE BRICK WITH 5mm RENDER/BAG EACH SIDE.
-  110mm TIMBER FRAMED WALL 90mm STUD - 10mm PASTERBOARD.
- SA = SMOKE ALARM

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01 NEW WORKS PLAN / GROUND
 - SCALE 1:100



TITLE WDPL00-10 NEW WORKS - GROUND	PROJECT 	DRAWING REVISIONS <table border="1" style="width: 100%; border-collapse: collapse; font-size: small;"> <thead> <tr> <th>Rev.</th> <th>Description</th> <th>Date</th> <th>Rev.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>Issue for Information</td> <td>01.11.22</td> <td>D</td> <td>Issue for BA</td> <td>14.11.23</td> </tr> <tr> <td>B</td> <td>Issue for BA</td> <td>04.10.23</td> <td></td> <td></td> <td></td> </tr> <tr> <td>C</td> <td>Issue for BA</td> <td>26.10.23</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	Rev.	Description	Date	Rev.	Description	Date	A	Issue for Information	01.11.22	D	Issue for BA	14.11.23	B	Issue for BA	04.10.23				C	Issue for BA	26.10.23				Drawn AC Approved AC Creation date 12.02.2019 Project No G Scale 1:100 @ A3 Revision D	Sch 2.2(a)(ii) 
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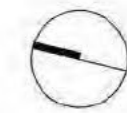
GENERAL LEGEND



-  INDICATES EXISTING BUILT STRUCTURE
-  INDICATES EXTENT OF BASE BUILDING NOT INCLUDED IN SCOPE OF WORKS

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 Sch 2.2(a)(ii)

26/11/2023 Licenced No: 2019937

01 FURNITURE PLAN / GROUND
 - SCALE 1:100



TITLE WDPL00-30 FURNITURE - GROUND	PROJECT 	DRAWING REVISIONS			Drawn Approved Creation date Project No Scale Revision	AC AC 12.02.2019 G 1:100 @ A3 D	Sch 2.2(a)(xi) 	
		Rev.	Description	Date				Rev.
		A	Issue for Information	01.11.22	D	Issue for BA	14.11.23	
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Sch 2.2(a)(ii)


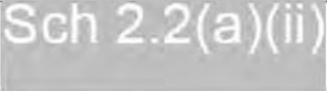
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 CBS Residential Certifiers Pty Ltd
 Sch 2.2(a)(ii)
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- GENERAL LEGEND**
-  INDICATES EXISTING BUILT STRUCTURE
 -  INDICATES EXTENT OF BASE BUILDING NOT INCLUDED IN SCOPE OF WORKS
- DEMOLITION LEGEND**
-  INDICATES EXTENT OF HOUSE / GARAGE TO BE DEMOLISHED IN PREPERATION FOR NEW WORKS. COORDINATE SETOUT WITH NEW WORKS. REFER TO SERVICES DRAWINGS FOR ADDITIONAL INFORMATION.
 -  INDICATES EXTENT OF SLAB, DECKING, WINDOWS AND LANDSCAPE TO BE DEMOLISHED IN PREPERATION FOR NEW WORKS. COORDINATE SETOUT WITH NEW WORKS. REFER TO SERVICES DRAWINGS FOR ADDITIONAL INFORMATION.






Sch 2.2(a)(xi)

01 DEMOLITION PLAN / FIRST
 SCALE 1:100



TITLE WDPL01-05 DEMOLITION - FIRST	PROJECT 	DRAWING REVISIONS <table border="1"> <thead> <tr> <th>Rev.</th> <th>Description</th> <th>Date</th> <th>Rev.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>Issue for Information</td> <td>01.11.22</td> <td>D</td> <td>Issue for BA</td> <td>14.11.23</td> </tr> <tr> <td>B</td> <td>Issue for BA</td> <td>04.10.23</td> <td></td> <td></td> <td></td> </tr> <tr> <td>C</td> <td>Issue for BA</td> <td>26.10.23</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	Rev.	Description	Date	Rev.	Description	Date	A	Issue for Information	01.11.22	D	Issue for BA	14.11.23	B	Issue for BA	04.10.23				C	Issue for BA	26.10.23				Drawn AC Approved AC Creation date 12.02.2019 Project No G Scale 1:100 @ A3 Revision D	
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- GENERAL LEGEND**
-  INDICATES EXISTING BUILT STRUCTURE
 -  INDICATES EXTENT OF BASE BUILDING NOT INCLUDED IN SCOPE OF WORKS
- NEW WORKS LEGEND**
-  270mm DOUBLE BRICK WITH 5mm RENDER/BAG EACH SIDE.
 -  110mm SINGLE BRICK WITH 5mm RENDER/BAG EACH SIDE.
 -  100mm TIMBER FRAMED WALL, 90mm STUD - 10mm PASTERBOARD.
 - SA = SMOKE ALARM

Balcony / Porch Waterproofing is to be installed in accordance with BCA 2019 Volume 2 Part 3.8.1 and AS 4654.1-2 2012

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UT NEW WORKS PLAN / FIRST
 SCALE 1:100



TITLE WDPL01-10 NEW WORKS - FIRST	PROJECT <div style="background-color: grey; height: 15px; width: 100%;"></div>	DRAWING REVISIONS <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Rev.</th> <th>Description</th> <th>Date</th> <th>Rev.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>Issue for Information</td> <td>01.11.22</td> <td>D</td> <td>Issue for BA</td> <td>14.11.23</td> </tr> <tr> <td>B</td> <td>Issue for BA</td> <td>04.10.23</td> <td></td> <td></td> <td></td> </tr> <tr> <td>C</td> <td>Issue for BA</td> <td>26.10.23</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	Rev.	Description	Date	Rev.	Description	Date	A	Issue for Information	01.11.22	D	Issue for BA	14.11.23	B	Issue for BA	04.10.23				C	Issue for BA	26.10.23				Drawn Approved Creation date Project No Scale Revision AC AC 12.02.2019 G 1:100 @ A3 D	<div style="background-color: grey; padding: 5px; display: inline-block;">Sch 2.2(a)(ii)</div>
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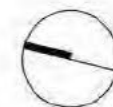
Sch 2.2(a)(ii)

GENERAL LEGEND

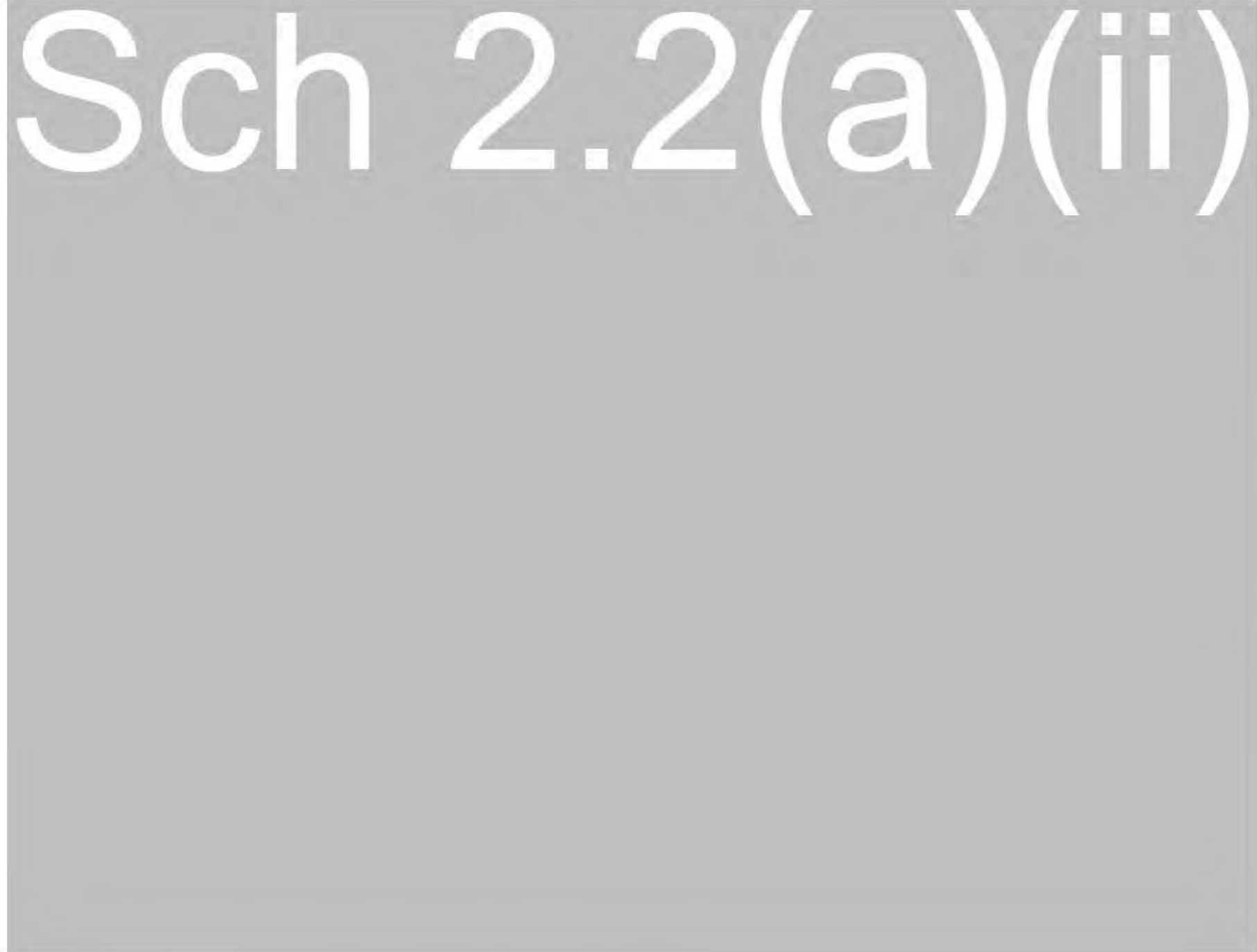
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01 FURNITURE PLAN / FIRST
 - SCALE 1:100



TITLE WDPL01-30 FURNITURE - FIRST	PROJECT [REDACTED]	DRAWING REVISIONS			Drawn AC Approved AC Creation date 12.02.2019 Project No G Scale 1:100 @ A3 Revision D	Sch 2.2(a)(ii)
		Rev. A	Description Issue for Information	Date 01.11.22		
		Rev. B	Description Issue for BA	Date 04.10.23		
		Rev. C	Description Issue for BA	Date 26.10.23		



GENERAL LEGEND

-  INDICATES EXISTING BUILT STRUCTURE
-  INDICATES EXTENT OF BASE BUILDING NOT INCLUDED IN SCOPE OF WORKS

CEILING LEGEND

SA = SMOKE ALARM


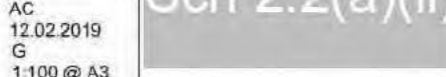
- MECHANICAL:
1. ALL MECHANICAL VENTILATION TO BE DUCTED DIRECTLY IN ACCORDANCE WITH MCC 2022 10.8.2
 2. FLOW RATE OF MECHANICAL SYSTEMS TO COMPLY WITH MCC 2022 10.8.3
 3. UPPER FLOOR WINDOWS TO BE RESTRICTED IN ACCORDANCE NCC 2022 11.3.7 & 11.3.8

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01 REFLECTED CEILING PLAN / FIRST
 - SCALE 1:100



TITLE WDPL01-30 RCP - FIRST	PROJECT 	DRAWING REVISIONS <table border="1" style="width: 100%; border-collapse: collapse; font-size: small;"> <thead> <tr> <th>Rev.</th> <th>Description</th> <th>Date</th> <th>Rev.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>Issue for Information</td> <td>01.11.22</td> <td>D</td> <td>Issue for BA</td> <td>14.11.23</td> </tr> <tr> <td>B</td> <td>Issue for BA</td> <td>04.10.23</td> <td></td> <td></td> <td></td> </tr> <tr> <td>C</td> <td>Issue for BA</td> <td>26.10.23</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	Rev.	Description	Date	Rev.	Description	Date	A	Issue for Information	01.11.22	D	Issue for BA	14.11.23	B	Issue for BA	04.10.23				C	Issue for BA	26.10.23				Drawn AC Approved AC Creation date 12.02.2019 Project No G Scale 1:100 @ A3 Revision D	Sch 2.2(a)(ii) 
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Sch 2.2(a)(ii)

GENERAL LEGEND

-  INDICATES EXISTING BUILT STRUCTURE
-  INDICATES EXTENT OF BASE BUILDING NOT INCLUDED IN SCOPE OF WORKS

ROOF LEGEND



- RF1 COLORBOND TRIMDEK ROOF SHEETING
COLORBOND - MONUMENT
- RF2 EXISTING ROOF PAINT - MONUMENT
- GT1 COLORBOND GUTTER ROUND PROFILE
COLORBOND - MONUMENT
- DP DOWNPIPE. FINAL LOCATIONS AND OVER FLOWS TBC

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01 ROOF PLAN
 - SCALE 1:100



TITLE WDPL01-41 ROOF PLAN	PROJECT 	DRAWING REVISIONS <table border="1" style="width: 100%; border-collapse: collapse; margin-top: 5px;"> <thead> <tr> <th>Rev.</th> <th>Description</th> <th>Date</th> <th>Rev.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>Issue for Information</td> <td>01.11.22</td> <td>D</td> <td>Issue for BA</td> <td>14.11.23</td> </tr> <tr> <td>B</td> <td>Issue for BA</td> <td>04.10.23</td> <td></td> <td></td> <td></td> </tr> <tr> <td>C</td> <td>Issue for BA</td> <td>26.10.23</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	Rev.	Description	Date	Rev.	Description	Date	A	Issue for Information	01.11.22	D	Issue for BA	14.11.23	B	Issue for BA	04.10.23				C	Issue for BA	26.10.23				Drawn AC Approved AC Creation date 12.02.2019 Project No G Scale 1:100 @ A3 Revision D	
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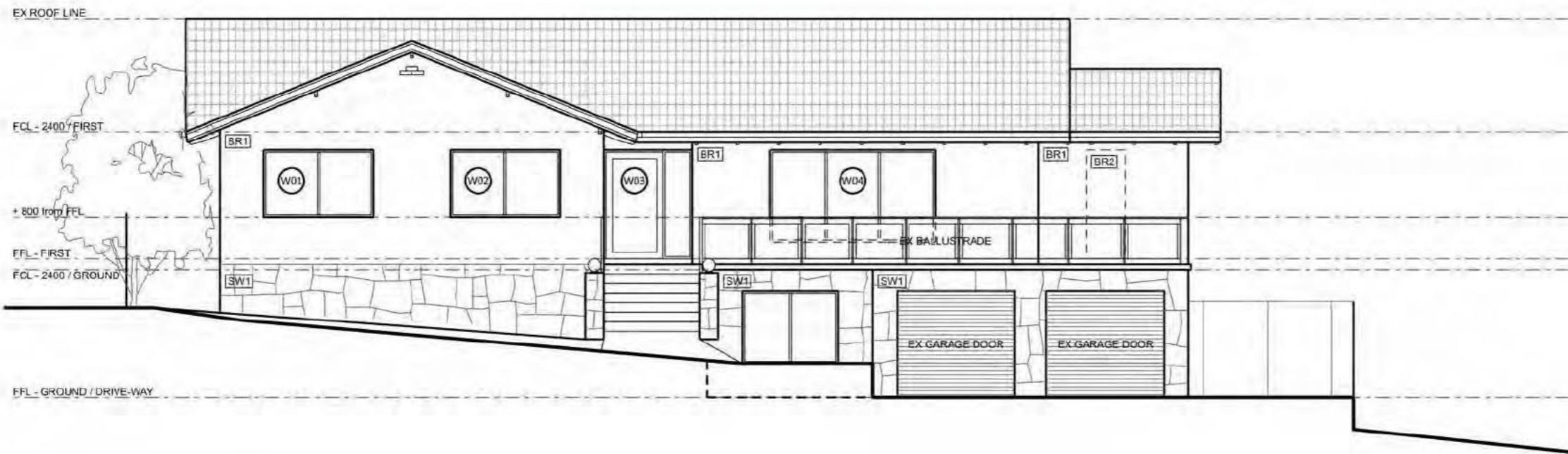


GENERAL LEGEND

-  INDICATES EXISTING BUILT STRUCTURE
-  INDICATES EXTENT OF BASE BUILDING NOT INCLUDED IN SCOPE OF WORKS

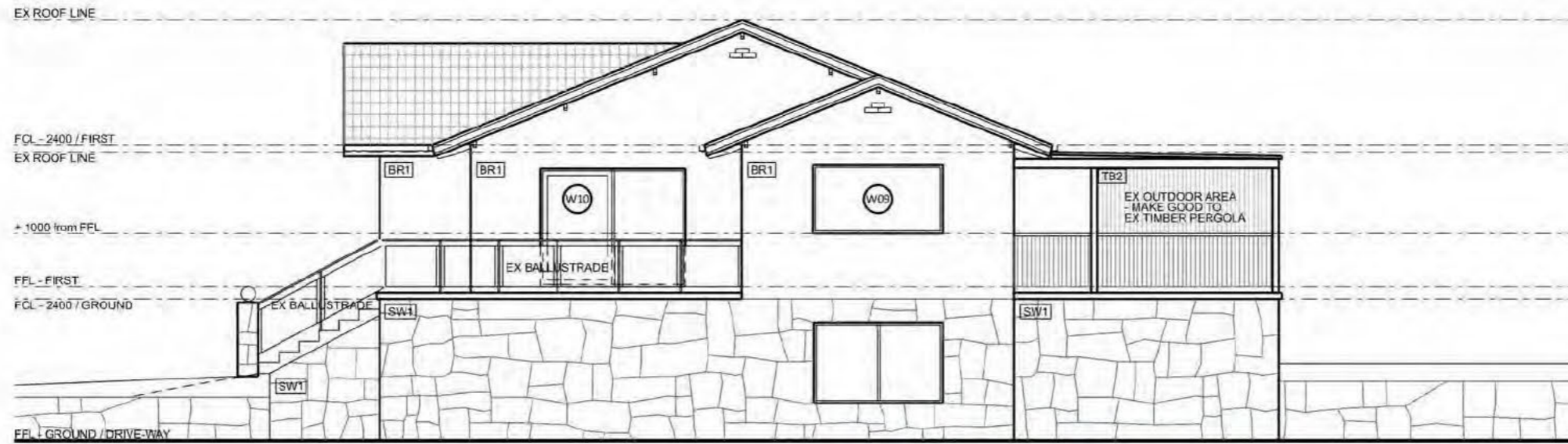
02 NORTH ELEVATION
SCALE 1:100

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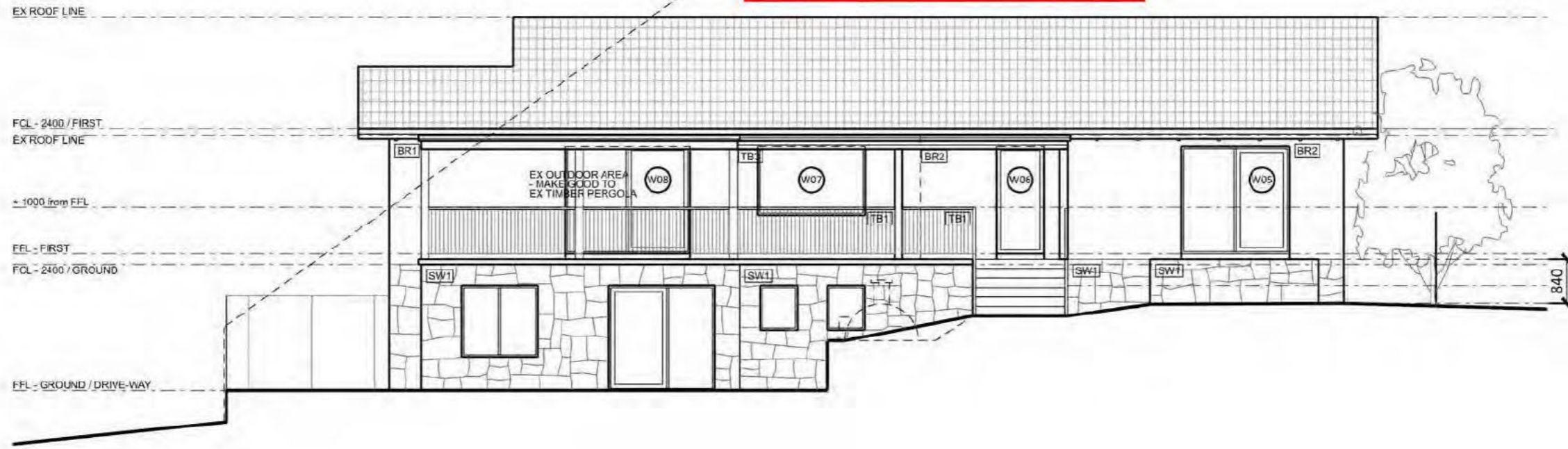
01 WEST ELEVATION
SCALE 1:100

TITLE WDPL01-50 ELEVATIONS	PROJECT [REDACTED]	DRAWING REVISIONS <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Rev.</th> <th>Description</th> <th>Date</th> <th>Rev.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>Issue for Information</td> <td>01.11.22</td> <td>D</td> <td>Issue for BA</td> <td>14.11.23</td> </tr> <tr> <td>B</td> <td>Issue for BA</td> <td>04.10.23</td> <td></td> <td></td> <td></td> </tr> <tr> <td>C</td> <td>Issue for BA</td> <td>26.10.23</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	Rev.	Description	Date	Rev.	Description	Date	A	Issue for Information	01.11.22	D	Issue for BA	14.11.23	B	Issue for BA	04.10.23				C	Issue for BA	26.10.23				Drawn AC Approved AC Creation date 12.02.2019 Project No G Scale 1:100 @ A3 Revision D	Sch 2.2(a)(ii) [REDACTED]
Rev.	Description	Date	Rev.	Description	Date																							
A	Issue for Information	01.11.22	D	Issue for BA	14.11.23																							
B	Issue for BA	04.10.23																										
C	Issue for BA	26.10.23																										



02 SOUTH ELEVATION
SCALE 1:100



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01 EAST ELEVATION
SCALE 1:100

TITLE WDPL01-51 ELEVATIONS	PROJECT	DRAWING REVISIONS <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Rev.</th> <th>Description</th> <th>Date</th> <th>Rev.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>Issue for Information</td> <td>01.11.22</td> <td>D</td> <td>Issue for BA</td> <td>14.11.23</td> </tr> <tr> <td>B</td> <td>Issue for BA</td> <td>04.10.23</td> <td></td> <td></td> <td></td> </tr> <tr> <td>C</td> <td>Issue for BA</td> <td>26.10.23</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	Rev.	Description	Date	Rev.	Description	Date	A	Issue for Information	01.11.22	D	Issue for BA	14.11.23	B	Issue for BA	04.10.23				C	Issue for BA	26.10.23				Drawn AC Approved AC Creation date 12.02.2019 Project No G Scale 1:100 @ A3 Revision D	Sch 2.2(a)(ii)
Rev.	Description	Date	Rev.	Description	Date																							
A	Issue for Information	01.11.22	D	Issue for BA	14.11.23																							
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Sch 2.2(a)(ii)

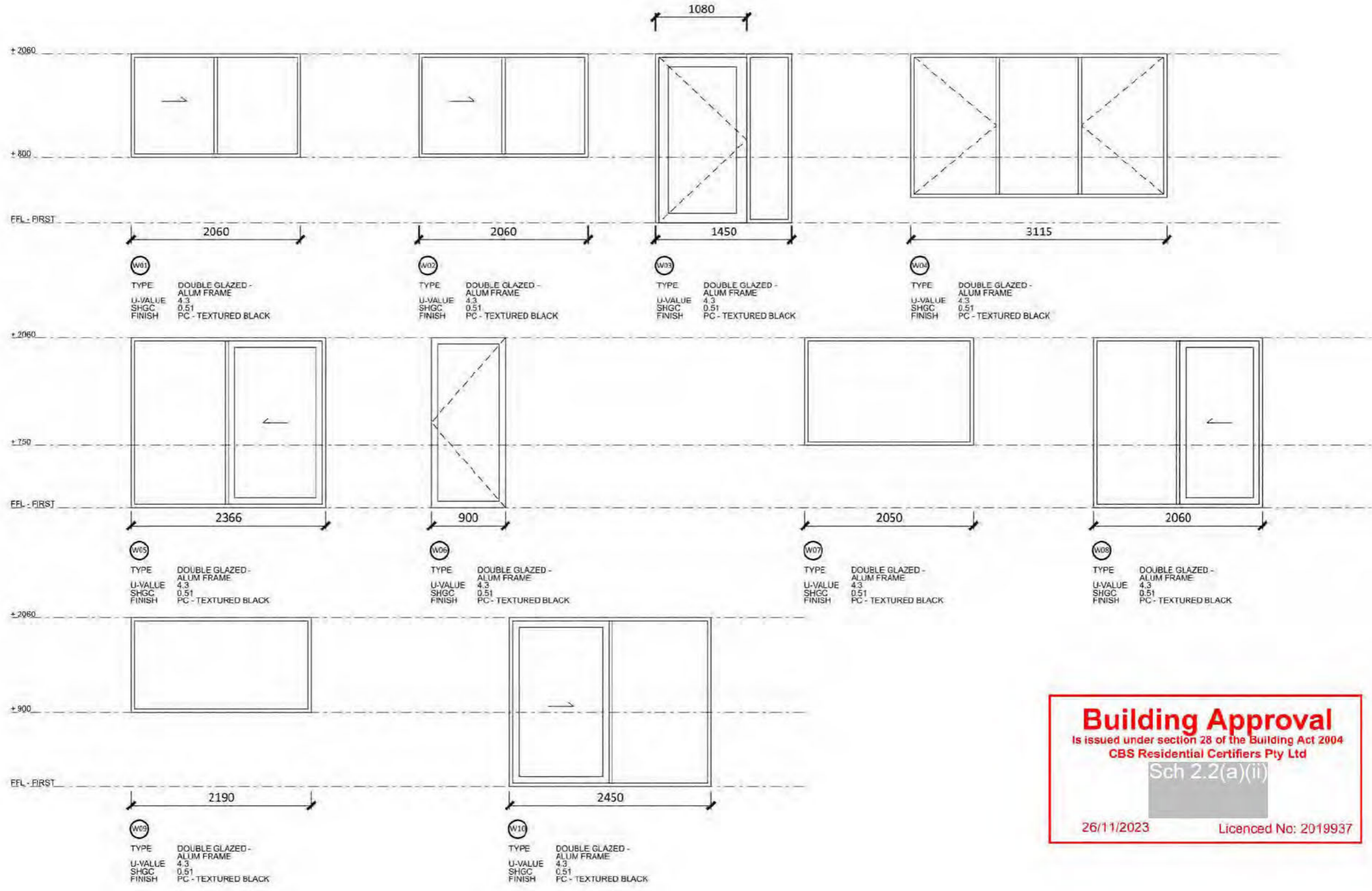
GENERAL LEGEND
 INDICATES EXISTING BUILT STRUCTURE
 INDICATES EXTENT OF BASE BUILDING NOT INCLUDED IN SCOPE OF WORKS

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 Sch 2.2(a)(ii)
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01 TYPICAL SECTION
 - SCALE 1:100

- ENERGY REQUIREMENTS - TO NEW AND EXISTING.**
- INSTALL R2.5 50mm BRADFORD INSULATION BATTES BETWEEN STUDS & NOGGINGS TO ALL EXTERNAL STUD WALLS & R0.7 WALL WRAP SARKING TO EXTERNAL FACE OF WALL FRAMES INCLUDING GARAGE PERIMETER WALLS.
 - INSTALL R5.0 BRADFORD INSULATION BATTES TO CEILINGS INCLUDING GARAGE.
 - INSTALL R1.75 50mm XPS INSULATION BOARD TO UNDERSIDE & EDGES OF ALL CONCRETE FLOOR SLABS.
 - INSTALL R2.5 ROCKWOOL SOUNDSCREEN INSULATION BATTES TO INTERNAL STUD WALLS AROUND ENSUITE & ALL BATHROOMS WALLS.
 - INSTALL R2.5 INSULATION BATTES TO ALL WALLS ADJOINING SUBFLOOR OR ROOF SPACE.
 - INSTALL R2.7 90mm BRADFORD INSULATION BATTES TO STUD WALLS BETWEEN GARAGE & LIVING AREAS.
 - PROVIDE WEATHER SEAL TO ALL EXTERNAL DOORS.
 - INSTALL R2.5 90mm BRADFORD INSULATION BATTES BETWEEN ANY GROUND AND UPPER LEVEL FLOOR STRUCTURE.

TITLE WDPL01-52 TYPICAL SECTION	PROJECT 	DRAWING REVISIONS <table border="1"> <thead> <tr> <th>Rev.</th> <th>Description</th> <th>Date</th> <th>Rev.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>Issue for BA</td> <td>16.11.23</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	Rev.	Description	Date	Rev.	Description	Date	A	Issue for BA	16.11.23				Drawn AC Approved AC Creation date 12.02.2019 Project No G Scale 1:100 @ A3 Revision A	Sch 2.2(a)(ii)
Rev.	Description	Date	Rev.	Description	Date											
A	Issue for BA	16.11.23														



TITLE WDPL01-60 WINDOW SCHEDULE	PROJECT [REDACTED]	DRAWING REVISIONS				Drawn AC Approved AC Creation date 12.02.2019 Project No G Scale 1:100 @ A3 Revision D	Sch 2.2(a)(ii) [REDACTED]
		Rev. A Description Issue for Information Date 01.11.22	Rev. B Description Issue for BA Date 04.10.23	Rev. C Description Issue for BA Date 26.10.23	Rev. D Description Issue for BA Date 14.11.23		

Sch 2.2(a)(ii)

Shower Areas
 Enclosed and unenclosed (including shower over bath) must consider the following:

- **Floor** of the shower area must be waterproof - including any hob or stepdown.
- **Walls** to be water resistant to not less than 1800 mm above finished floor level and waterproof > not less than 150 mm above floor substrate; or > not less than 25 mm above maximum retained water level; and
- **Wall junctions and joints** to be waterproof not less than 40 mm either side of the junction.
- **Wall/floor junctions** to be waterproof.
- **Penetrations** to be waterproof - Protection caps must be removed prior to waterproofing

Outside shower areas

- **Floor concrete** and compressed fibre-cement sheet flooring must be water resistant.
- **Timber floors** including particleboard, plywood and other timber-based flooring materials must be waterproof.
- **Wall/floor junctions** must be waterproof.
- **Bathroom entry** to be waterproof min 25mm above finished floor surface.
- **The doorway waterstop** requires the base to be sealed to floor and upstand flush with finished floor surface

Areas adjacent to baths and spas (vessel)

- **Floor** concrete, compressed fibre-cement and fibre-cement sheet - must be water resistant.
- **Timber floors** including particleboard, plywood and other timber-based flooring materials - must be waterproof.
- **Walls** water resistant to a height of not less than 150 mm above the vessel, for the extent of the vessel, where the vessel is within 75 mm of a wall. All exposed surfaces below vessel lip - must be water resistant.
- **Wall junctions and joints** to be water resistant when located within 150 mm above a vessel for the extent of the vessel.
- **Wall/floor junctions** to be water resistant for the extent of the vessel.
- **Penetrations** tap and spout penetrations to be waterproof where they occur in horizontal surfaces. Protection caps must be removed prior to waterproofing

Inserted baths and spas

- **Floor** Waterproof shelf area, incorporating waterstop under the bath lip.
- **Wall** to be waterproof to not less than 150 mm above the lip of the bath or spa; and
- no requirement under bath.
- **Wall junctions and joints** within 150 mm above bath or spa; and no requirement under bath.
- **Penetrations** tap and spout penetrations to be waterproof where they occur in horizontal surfaces. Protection caps must be removed prior to waterproofing

Laundries and WCs

- **Floor** required to be water resistant.
- **Wall/floor junctions** required to be water resistant.

Walls adjoining sink, basin or laundry tub (vessel)

- **Walls** to be water resistant to a height of not less than 150 mm above the vessel, for the extent of the vessel, where the vessel is within 75 mm of a wall.
- **Wall junctions** waterproof where a vessel is fixed to a wall.
- **Penetrations** Waterproof where they occur in surfaces required to be waterproof or water resistant.

Materials — waterproof
 The following materials used in waterproofing systems are deemed to be waterproof:

- Stainless steel.
- Flexible waterproof sheet flooring material with waterproof joints.
- Membranes complying with AS/NZS 4858.
- Waterproof sealant.

Materials — water resistant substrates
 The following materials are deemed to be water resistant:

For walls:

- Concrete complying with AS 3600, treated to resist moisture movement.
- Cement render, treated to resist moisture movement.
- Compressed fibre-cement sheeting manufactured in accordance with AS/NZS 2908.2
- Water resistant plasterboard sheeting.
- Masonry in accordance with AS 3700, treated to resist moisture movement.

For floors:

- Concrete complying with AS 3600.
- Concrete slabs complying with AS 2870.
- Compressed fibre-cement sheeting manufactured in accordance with AS/NZS 2908.2 and supported on a structural floor.

Materials — water resistant surface materials
 The following surface materials are deemed to be water resistant:

For walls:

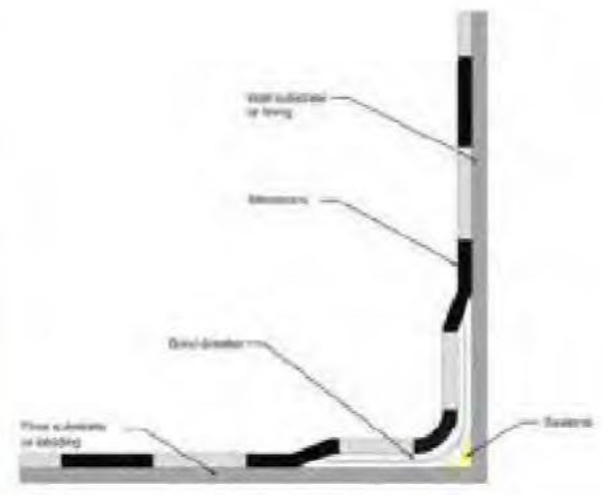
- Thermosetting laminate.
- Pre-decorated compressed fibre-cement sheeting manufactured in accordance with AS 2908.2.
- Tiles when used in conjunction with a compliant substrate systems.
- Water resistant flexible sheet wall material with sealed joints when used in conjunction with a compliant substrate system.
- Sanitary grade acrylic linings.

Recommendations
 It is recommended building certifiers ensure adequate documentation is submitted with the building approval as required under *Building Act 2004 Section 28A & Section 151 - Residential Construction*.
 Builders should supervise and inspect waterproofing to ensure compliance prior to proceeding to tiling and fitout.
Enforcement Action
 Where identified, insufficient or incorrect waterproofing of wet areas and lack of documentation may result in the issuance of a Stop Work Notice in accordance with section 53 of the *Building Act 2004*, and formal licencing action including issuing of demerit points in accordance with section 55 of the *Construction Occupations (Licensing) Act 2004*

Installation
 Installation of the waterproofing to the internal wet areas and external areas to be carried out in accordance with Australian Standard 3740-2021 and the Building Code of Australia Volume 2, clause H4D2
 The product used complies with AS/NZS 4654.1:2012;
 The installation is in accordance with AS/NZS 4654.2:2012.

Water proof product or compound u
 Fillet and bond breaker used :
 Number of coats applied :

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 Sch 2.2(a)(ii)
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TYPICAL BOND BREAKER CLASS II

TITLE WDPL01-70 WET AREA DETAILS	PROJECT [REDACTED]	DRAWING REVISIONS <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Rev.</th> <th>Description</th> <th>Date</th> <th>Rev.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>Issue for BA</td> <td>14.11.23</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	Rev.	Description	Date	Rev.	Description	Date	A	Issue for BA	14.11.23				Drawn AC Approved AC Creation date 12.02.2019 Project No G Scale 1:100 @ A3 Revision A	Sch 2.2(a)(ii)
Rev.	Description	Date	Rev.	Description	Date											
A	Issue for BA	14.11.23														

GENERAL NOTES

- G1 These drawings shall be read in conjunction with other consultants' drawings and specifications and with other such written instructions as may be issued during the course of the Contract. Any discrepancy shall be referred to the Engineer before proceeding with the work.
G2 All dimensions are in millimetres, U.N.O. (unless noted otherwise).
G3 No dimension shall be obtained by scaling the drawings.
G4 All levels and setting out dimensions shown on the drawings shall be checked on site prior to the commencement of the work.
G5 During construction the structure shall be maintained in a stable condition and no part shall be overstressed.
G6 Damp-proofing & sealing details shall be in accordance with Architect's details. All joints in concrete elements shall be suitably sealed or damp-proofed.

FOUNDATIONS

- F1 Refer Slab Design Criteria for classification of site
F2 All foundations must be stable and uniform throughout
F3 Footings shall be placed centrally under walls and columns, U.N.O.

LOADING

- L1 Superimposed floor loads are generally in accordance with AS 1170.1 or as noted in Table L4.
L2 Wind loads are in accordance with AS/NZS 1170.2 as follows: Region : A Terrain category 3 wind classification N2
L3 Earthquake loads are in accordance with AS 1170.4 as follows: a = 0.08 S = 1.0 I = 1.0, U.N.O.
L4 Live loads & additional dead loads: (to AS/NZS 1170.1)

Table with 3 columns: Area subject to loading, Live Load (Uniform, Point), and Add. Dead Load. Rows include Floors - Internal, Floors - External & Garage, and Roof Areas.

MASONRY

- M1 All workmanship and materials shall be in accordance with AS 3700.
M2 Characteristic compressive strength of masonry (fuc) = 24 MPa

Table with 4 columns: Mortar, Salt Attack Resistance Grade, Built In Component, and Min. Cover to Reinforcement & Tendons in Grouted Cavities. Rows include M2, M3, and M4.

- M3 All masonry walls supporting slabs and beams shall have a pre-greased two layer galvanised steel slip joint between concrete and masonry.
M4 All masonry walls supporting or supported by concrete floors shall be provided with vertical joints to match any control joints in the concrete.
M5 Non load bearing walls shall be separated from concrete above by 12 mm thick closed cell polyethylene strip.
M6 Provide vertical control joints at 8 metres maximum centres, and 4 metres maximum from corners in masonry walls, and between new & existing brickwork.
M7 Masonry retaining walls are to be backfilled with either of the following material:
- Coarse grained soil with low silt content
- Residual soil containing stones
- Fine silty sand
- Granular materials with low clay content

REINFORCED CONCRETE

- C1 All workmanship and materials shall be in accordance with AS 3600 current edition, except where varied by the contract documents.
C2 Concrete quality shall be as follows (subject to note C4 being satisfied):

Table with 5 columns: Element, Slump mm, Max. Agg. Size mm, Cement Type, and f'c at 28 Days MPa. Rows include Footings, Slabs on Ground, and Suspended Floors.

- C3 Engineer to approve any admixtures used in concrete mix.
C4 Cover to reinforcement shall be obtained by the use of approved bar chairs. All chairs to be placed at 750 maximum centres.
C5 Minimum clear concrete cover to reinforcement including ties and stirrups (other than residential slabs on ground or footings) shall be as follows (mm):

Table with 6 columns: Exposure Classification, Concrete Strength (f'c) (20 MPa, 25 MPa, 32 MPa, 40 MPa, >50 MPa). Rows include A1, A2, B1, B2, and C.

For bracketed figures refer to AS 3600 current edition table 4.10.3.2

- C6 Residential slab on ground and footings cover requirements. (Minimum concrete grade N20)
- Unprotected ground: 40 mm
- External exposure: 40 mm
- Membrane in contact with ground: 30 mm
- Internal surface: 20 mm
- Strip & pad footing: 40 mm
C7 All concrete shall be mechanically vibrated. Vibrators shall not be used to spread concrete.
C8 Sizes of concrete elements do not include thickness of applied finishes.
C9 No holes or chases other than those shown on the structural drawings shall be made in concrete members without the prior approval of the Engineer.
C10 Construction joints where not shown shall be located to the approval of the Engineer.
C11 Curing of all concrete is to be achieved by keeping surfaces continuously wet for a period of 3 days, and prevention of loss of moisture for a total of 7 days followed by gradual drying out. Approved sprayed on compounds may be used where no floor finishes are proposed. Polythene sheeting or wet hessian may be used if protected from wind and traffic.
C12 Construction support propping is to be left in place where needed to avoid overstressing the structure due to construction loading. No masonry or partition walls are to be constructed on suspended levels until all propping is removed and the slab has absorbed its dead load deflection.
C13 Conduits, pipes, etc. shall only be placed in the middle one third of slab depth and spread at not less than 3 diameters.
C14 Reinforcement symbols:
N - Denotes deformed grade 500 normal ductility reinforcing bars to AS/NZS 4671
R - Denotes plain round grade 250 normal ductility reinforcing bars to AS/NZS 4671
SL - Denotes deformed grade 500 low ductility reinforcing mesh to AS/NZS 4671.
RL - Denotes deformed grade 500 low ductility reinforcing mesh to AS/NZS 4671.
L-TM - Denotes deformed grade 500 low ductility trench mesh to AS/NZS 4671.

- C15 Reinforcement is represented diagrammatically; it is not necessarily shown in true projection.
C16 Splices in reinforcement shall be made only in positions shown or otherwise approved by the Engineer.
C17 Fabric reinforcement shall have splices made so that the overlap, measured between the outermost transverse wires of each sheet of fabric, is not less than the spacing of those wires plus 25 mm.
C18 Welding of reinforcement shall not be permitted unless shown on the structural drawings or approved by the Engineer.

STRUCTURAL STEEL

- S1 All workmanship and materials shall be in accordance with AS 4100, AS 1163, AS 1554.1 and AS/NZS 4600.
S2 The structural design has been based on the following steel grades, U.N.O.; Hot rolled universal beams, columns, channels & angles: 300PLUS
Circular, square & rectangular hollow sections: C350/C450LO
Cold formed open DuraGal profiles: C400/C450LO
Cold formed lipped Cee & Zed purlins: G550/G500/G450
S3 The structural design has been based on MBPMA nominal size Cee & Zed lipped purlins. All purlin profiles shall be in accordance with the MBPMA specifications.
S4 Qualifications of welding procedures and personnel shall conform to Section 4 of AS 1554.1. Non destructive testing of welds shall include 100% visual inspection and additional testing as shown on the drawings.
All welds shall be 6 mm continuous fillet type SP, U.N.O. All butt welds shall be complete penetration in accordance with AS 1554.1, U.N.O.
Commercial bolts to AS 1111, snug tightened
High strength structural bolts to AS 1562, snug tightened
High strength structural bolts to AS 1562, fully tensioned bearing joint to AS 1511
High strength structural bolts to AS 1562, fully tensioned friction joint to AS 1511
All bolts shall be M16 8.8/S, with a minimum of 2 bolts per connection, U.N.O.
S7 High strength TF & TB bolts shall be installed using approved load indicator washers, or in accordance with the part turn method nominated in AS 4100.
S8 Gusset plates shall be 10 mm thick, grade 300PLUS steel, U.N.O.
S9 Concrete encased steelwork shall be wrapped with SL41 fabric and shall have a minimum of 50 mm cover, U.N.O.
S10 Steelwork not encased shall have the following surface treatment:

Table with 2 columns: Exposure Classification, Steelwork Protection Required. Rows include A1/A2, B1, and B2.

- S11 Where sealed tube members are hot dip galvanised, the fabricator shall provide drill holes as necessary.
S12 All transport and erection damage, site welds etc., shall be reinstated to an equivalent finish to adjacent steelwork.

SITE PREPARATION FOR SLABS ON GROUND

- P1 Strip topsoil containing organic matter. Proof roll fill sub grade and remove any soft zones.
P2 Where additional fill is required to the underside of slabs on ground, non cohesive materials such as sand and gravel dust shall be placed by "controlled" compaction in horizontal layers of 200 mm (loose) maximum depth. This fill shall be compacted to at least 95% of Standard Maximum Dry Density (SMDD).
P3 For slabs on ground, sand 50 mm approximate thickness is to be spread as a levelling layer and well watered down.
P4 Damp-proofing membrane unpunctured and taped at laps, is to be placed over the sand, sufficient membrane being provided at edges to return under brickwork. Where no brickwork, tape membrane to side of footing below ground.

FOUNDATION MAINTENANCE

FOUNDATION SOILS : All soils are affected by water. Silts are weakened by water and some sands can settle if heavily watered, but most problems arise on clay foundations. Clays swell and shrink due to changes in moisture content and the potential amount of the movement is implied in the site classification in Australian Standard AS2870, which is specified as follows:

- A Stable (Non-reactive).
S Slightly Reactive.
M Moderately Reactive.
H Highly Reactive.
E Extremely Reactive.

CLASS A & S SITES : Sands, silts and clays shall be protected from becoming extremely wet by adequate attention to site drainage and prompt repair of plumbing leaks.

CLASS M, H & E SITES : Sites classified as M, H, or E shall be maintained at essentially stable moisture conditions and extremes of wetting and drying prevented. This will require attention to the following :

Drainage of the site : The site shall be graded or drained so that water cannot pond against or near the house. The ground immediately adjacent to the house shall be graded to a uniform fall of 50 mm minimum away from the house over the first metre. The sub floor space for houses with suspended floors shall be graded or drained to prevent ponding where this may affect the performance of the footing system. The site drainage requirements shall be maintained for the economic life of the building.

Limitations on gardens : The development of the gardens shall not interfere with the drainage requirements or the sub floor ventilation and weep hole drainage systems. Garden beds adjacent to the house should be avoided. Care should be taken to avoid over watering of gardens close to the house footings.

Restrictions on trees and shrubs : Planting of trees should be avoided near the foundation of a house or neighbouring house on reactive sites as they can cause damage due to drying of the clay at substantial distances. To reduce, but not eliminate, the possibility of damage, tree planting should be restricted to a distance from the house of :

- 1.50 x mature height for Class E sites
1.00 x mature height for Class H sites
0.75 x mature height for Class M sites

Where rows or groups of trees are involved, the distance from the building should be increased. Removal of trees from the site can also cause similar problems.

Repair of leaks : Leaks in plumbing, including storm water and sewerage drainage should be repaired promptly.

The level to which these measures are implemented depends on the reactivity of the site. The measures apply mainly to masonry houses and masonry veneer houses. For frame houses clad with timber or sheathing, lesser precautions may be appropriate.

BONDEK/CONDECK FORMWORK

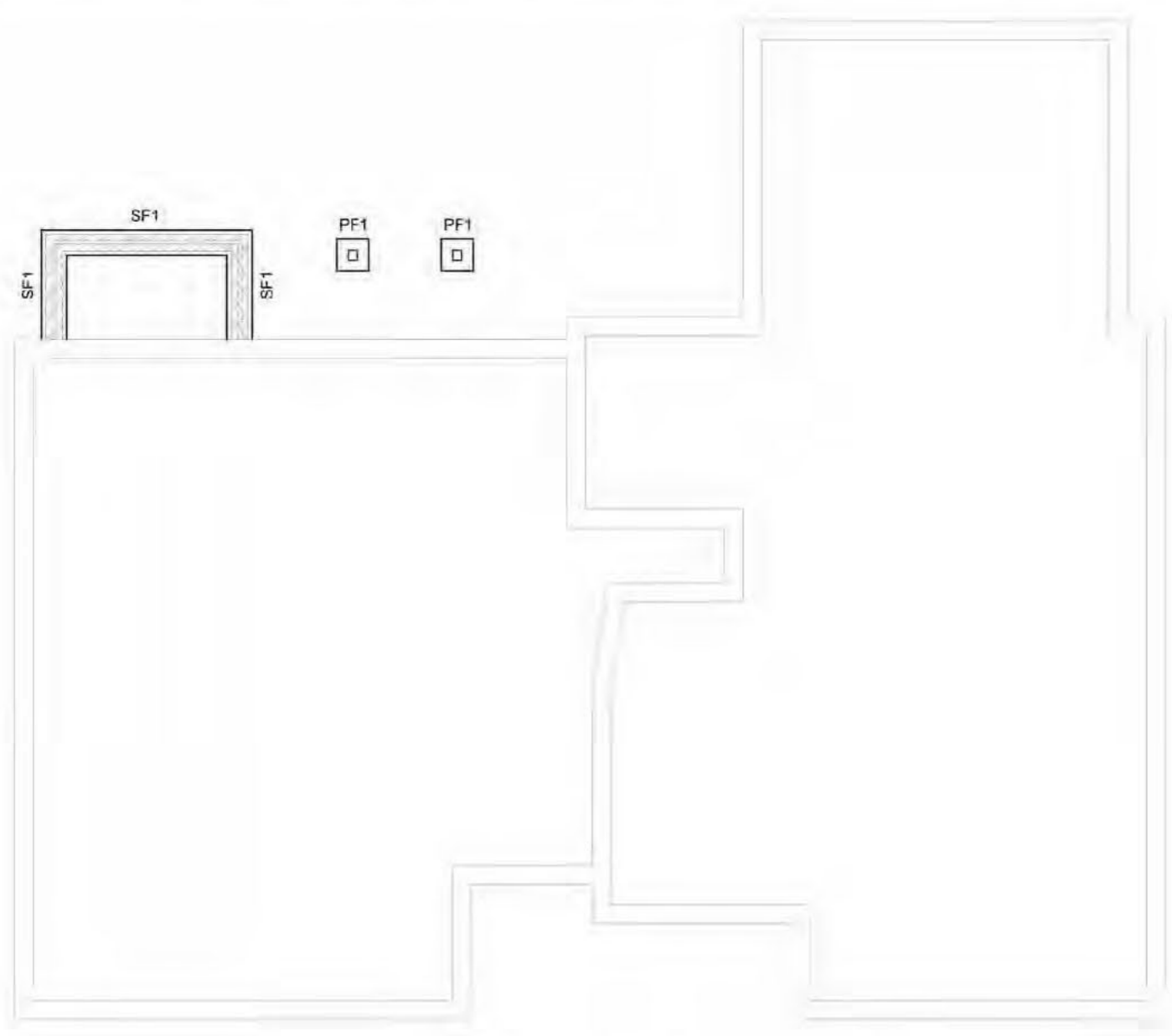
- B1 U.N.O. BONDEK/CONDECK PANELS SHALL BE 1.00Mmm BMT
B2 PANELS ARE TO BE SECURELY FIXED OR HELD DOWN TO PREVENT DISPLACEMENT DUE TO CONSTRUCTION LOADING OR WIND UPLIFT PRIOR TO CONCRETING
B3 FIX PANELS TO STEELWORK BY PUDDLE WELDING DRIVE PINS OR OTHER SUITABLE METHODS. SLIP JOINTS SHALL BE LOCATED AS SHOWN
B4 FIXING TO MASONRY IS NOT NECESSARY PROVIDED CONCRETE IS PLACED IMMEDIATELY AFTER PANELS ARE LAID. TOP COURSE OF BRICKWORK IS TO BE STRAIGHT AND LEVEL. IF REQUIRED, PROVIDE LAYER OF SMOOTH HARD MORTAR SLIP JOINTS SHALL BE PROVIDED AT ALL MASONRY U.N.O.

- B6 GREASE OR ANY OTHER SUBSTANCE WILL NEED TO BE REMOVED TO ENSURE CLEAN BONDING SURFACE, ANY PONDED RAINWATER SHOULD BE REMOVED BY BLOWING OR SWEEPING. FASTENING OF SIDE LAP JOINTS SHALL BE IN ACCORDANCE WITH LYSAGHT PUBLICATIONS, AND GENERALLY ONE No. 10-24x16mm SELF-DRILLING TAPPING SCREW IS REQUIRED. MID-SPAN FOR SUPPORT SPACING OF 2750mm OR GREATER. FOR POINT LOADS RATINGS OR EXPOSED SOFFITS ADDITIONAL FIXING MAY BE REQUIRED
B7 U.N.O PROPPING SHALL BE IN ACCORDANCE WITH LYSAGHT PUBLICATIONS
B8 PROPS SHALL NOT BE REMOVED UNTIL CONCRETE HAS REACHED SUFFICIENT STRENGTH

LEGEND

Legend symbols and descriptions: DENOTES LOAD BEARING BRICK WALL OVER, DENOTES CORE FILLED BLOCK WALL OVER, DENOTES NON LOAD BEARING WALL OVER, DENOTES NON LOAD BEARING WALL UNDER, DENOTES LOAD BEARING MASONRY WALL UNDER, DENOTES LOAD BEARING 190 DINCEL WALL, DENOTES LOAD BEARING STUD WALL OVER, DENOTES SLAB PENETRATION, DENOTES SLAB STEP DEPTH, DENOTES MINIMUM SLAB DEPTH, DENOTES SLAB DATUM, DENOTES STEEL BEAM 150mm BELOW SLAB DATUM, DENOTES SAWN JOINT. REFER TO DETAILS, DENOTES KEY JOINT. REFER TO DETAILS, DENOTES DOUBLE STUD, DENOTES TRIPLE STUD, DENOTES F11x4.5 THICK PLYWOOD SHEET STRUCTURAL BRACING. REFER TO TIMBER FRAMING CODE FOR FIXING, DENOTES 30x0.8 METAL STRAP CROSS BRACING. REFER TO TIMBER FRAMING CODE AS1684 FOR FIXING, DENOTES CONTINUOUS STEEL COLUMN, DENOTES STEEL COLUMN OVER, DENOTES STEEL COLUMN UNDER, DENOTES STEEL COLUMN UNDER & OVER.

Project information footer including ACT CONSULTING ENGINEERS logo, scale bar (0m to 2.5m), revision table, project name 'Sch 2.2(a)(ii) PROPOSED ADDITION', drawing title 'GENERAL NOTES', scale '1:100', date '10.05.2023', and drawing number 'S000'.



ELEMENT	STRENGTH f _c	MAX SIZE AGG. mm	SLUMP mm	CEMENT TYPE	ADMIXTURE
CONCRETE QUALITY					
FOOTINGS	20	20	80	GP	-

REFER TO GENERAL NOTES FOR REINFORCEMENT COVER

FOOTING SCHEDULE			
MARK	DESCRIPTION	SIZE	COMMENTS
SF1	STRIP FOOTING	500 D x 300 W	L11TM-200 TOP & BTM + 400mm 11TM CLIP SPACER
PF1	PAD FOOTING	500 D x 500 x 500 W	MASS CONCRETE

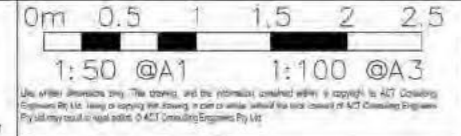
NOTE:
SITE CLASSIFICATION "M" AS DETERMINED BY ACT CONSULTING ENGINEER.
REFER TO SITE CLASSIFICATION PREPARED BY ACTCE.

FOOTING PLAN

1:100

NOTES:

1. ALL FOOTINGS TO BEAR ON SAME STRATA & ON NATURAL SOLID GROUND OTHERWISE BORED PIERS MAY BE REQUIRED UNDER.
2. ARTICULATE ALL BRICKWORK & DRAINAGE TO BCA



REV	REVISION	DATE	DESIGNED	DRAWN	APPROVED	CLIENT
A	FORBA	25.05.2023	AN	UH	XX	Sch 2.2(a)(ii)

PROJECT: PROPOSED ADDITION

SITE ADDRESS: [Redacted]

SCALE: 1:100	DATE: 25.05.2023	DWG No: S100
PROJECT No: 204341	REVISION: X	
DRAWING TITLE: FOOTING PLAN		

Sch 2.2(a)(ii)

STEEL & TIMBER MEMBER SCHEDULE			
MARK	DESCRIPTION	SIZE	COMMENTS
SC1	STEEL COLUMN	89 x 89 x 3.5 SHS	
SB1	STEEL BEAM	150 PFC	
SB2	STEEL BEAM	150 PFC	
WP	WALL PLATE	100 x 100 x 6 E.A M12 @ 600 Ctrs	BOLTED TO BRICKWORK

NOTE:
 TRUSS LAYOUT TO BE FORWARDED TO ACT CONSULTING ENGINEERS BEFORE COMMENCEMENT OF WORK ON SITE

DO NOT LOAD INTERNAL WALLS WITHOUT PERMISSION OF A STRUCTURAL ENGINEER

TIMBER TRUSSES, ROOF BRACING, WALL FRAMING, LINTELS
 WALL BRACING AND EXISTING ROOF SUPPORT TRUSSES BY FRAMING COMPANY.

NOTE:
 ARCHITECT/ BUILDER TO CHECK THE CLEARANCE, LEVELS AND LAYOUT OF STRUCTURAL STEEL MEMBERS BEFORE COMMENCEMENT ON SITE

NOTE:
 1- DO NOT DEMOLISH LOAD BEARING WALLS BEFORE CONTACTING OUR OFFICE.
 2- BUILDER CAN ENGAGE OUR OFFICE FOR ALTERNATIVE SUPPORT STRUCTURE.


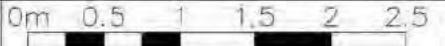
ELEMENT	STRENGTH	MAX SIZE	SLUMP	CEMENT	ADMIXTURE
CONCRETE QUALITY	f _c	AGG. mm	mm	TYPE	
SLAB ON BONDEK	32	20	80	GP	

BONDEK NOTES

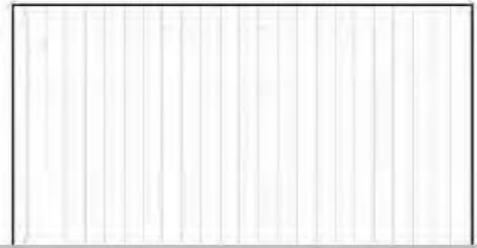
← DENOTES 1.00 BMT BONDEK SLAB SPAN DIRECTION (BY LYSAGHTS OR APPROVED EQUIVALENT)

⊙120 ALL SLABS TO BE 120 THICK WITH SL82 MESH TOP THROUGHOUT LAID LAST WITH 40 COVER PLUS EXTRA REINFORCEMENT AS NOTED ON PLAN

UPPER FLOOR TIMBER MARKING PLAN
 1:100

 <p>LEVEL 1, 5 TORRENS STREET BRADSON, ACT 2612 WWW.ACTE.COM.AU - OFFICE@ACTE.COM.AU - 02 8133 9871</p>	 1:50 @A1 1:100 @A3 <small>Use metric dimensions only. The metric and the (optional) imperial units are copyright to ACT Consulting Engineers Pty Ltd. Any use or copying of this drawing in part or whole without the prior consent of ACT Consulting Engineers Pty Ltd is strictly prohibited.</small>	REV	REVISION	DATE	DESIGNED	DRAWN	APPROVED	CLIENT	PROJECT	SCALE	DATE	DWG NO
		A	FORBA	25/05/2023	AN	UH	XX	Sch 2.2(a)(ii)	PROPOSED ADDITION	1:100	25/05/2023	S101
DRAWING TITLE: UPPER FLOOR TIMBER MARKING PLAN												

Sch 2.2(a)(ii)



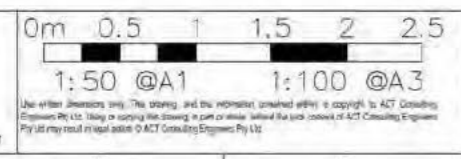
STEEL & TIMBER MEMBER SCHEDULE			
MARK	DESCRIPTION	SIZE	COMMENTS
SC1	STEEL COLUMN	89 x 89 x 3.5 SHS	
SB1	STEEL BEAM	200 PFC	

NOTE:
 TRUSS LAYOUT TO BE FORWARDED TO ACT CONSULTING ENGINEERS BEFORE COMMENCEMENT OF WORK ON SITE
 DO NOT LOAD INTERNAL WALLS WITHOUT PERMISSION OF A STRUCTURAL ENGINEER
 TIMBER TRUSSES, ROOF BRACING, WALL FRAMING, LINTELS
 WALL BRACING AND EXISTING ROOF SUPPORT TRUSSES BY FRAMING COMPANY.

NOTE:
 ARCHITECT/ BUILDER TO CHECK THE CLEARANCE, LEVELS AND LAYOUT OF STRUCTURAL STEEL MEMBERS BEFORE COMMENCEMENT ON SITE

NOTE:
 1- DO NOT DEMOLISH LOAD BEARING WALLS BEFORE CONTACTING OUR OFFICE.
 2- BUILDER CAN ENGAGE OUR OFFICE FOR ALTERNATIVE SUPPORT STRUCTURE.

ROOF SUPPORT STRUCTURE
 1:100



REV	REVISION	DATE	DESIGNED	DRAWN	APPROVED
A	FORBA	25.05.2023	AN	UH	XX

CLIENT: Sch 2.2(a)(ii)	PROJECT: PROPOSED ADDITION	SITE ADDRESS:	SCALE: 1:100	DATE: 25.05.2023	DWG No: S102
DRAWING TITLE: ROOF SUPPORT STRUCTURE			PROJECT No: 25-0341	REVISION: X	

Sch 2.2(a)(xi)

Project Details

Site Address

Client

Client Contact

Client Phone

Sch 2.2(a)(ii)

Expected Commencement Date

Expected Completion Date

Quantity

Regulatory Notification

28/11/2023

30/11/2023

Sch 2.2(a)(xi)

Sch 2.2(a)(ii)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)



To be completed by the appointed Building Certifier and submitted to the Construction Occupations Registrar within 7 days of issue

Lease/Site Details

Block [redacted] Division [redacted]

Unit No [redacted] Street Address [redacted]

Building Approval Application and Site Work Details

This notice is issued in relation to the site work shown in the plans submitted as part of the application for a building approval dated made by the following applicants:

Sch 2.2(a)(ii)

on: ~~date~~ 24/10/2023

This notice applies to all site work in that application for which there is there is no—

- (a) exemption assessment D notice stating that the site work is exempt development issued for the work not more than 3 months before the day the application was made;
(b) exemption declaration under the Planning and Development Regulation 2008, schedule 1, section 1.100A (1) (b) or section 1.100AB (1) (b) made by the planning and land authority; or
(c) current development approval issued in relation to the site work.

NOTE: Site work is development that is—

- (a) building work; and
(b) work other than building work that—
(i) physically affects the place (the building site) where the building work is being carried out; and
(ii) if not carried out at the building site, is carried out near, and connected with, the building site.

Examples: putting up temporary fencing, installing measures for erosion control, building a house, damaging or removing a significant tree, laying paving for driveways and parking areas, installing landscaping, site clearing and excavation, erecting site signage, erecting a pergola

Building Certifier Details Please Print

Surname Sch 2.2(a)(ii) First Name [redacted]

Company Name CBS Residential Certifiers Pty Ltd

Licence Number 2019937 Contact Number (02) 62539911

Postal Address PO Box 76

Suburb Mitchell State ACT Postcode 2911

Building Certifier Statement

I state that:

- the plans for the building work to which the application for building approval relates show all the information necessary to establish that the site work is exempt development under the *Planning and Development Act 2007*, section 133; and
- the site work is exempt development; and
- I have assessed that the site work is exempt development for the following reasons and in accordance with the following provisions of the *Planning and Development Regulation 2008* and Territory Plan Codes:

Building work(s) are exempt as per the following section of Schedule 1

1.100 Development on Old Residential Land

Please list any further information that may be relevant in deciding that the works are exempt under Schedule 1

Amended Building work(s) are exempt as per the following section of Schedule 1

Please attach additional information if required

Building Certifier Signature
(or nominee)

Sch 2.2(a)(ii)

Date of
Issue

26/11/2023

Giving false or misleading information is a serious offence

Privacy Notice

Access Canberra will collect personal and financial information (e.g. postal address and invoice numbers) where you choose to provide this information. The information requested in each case is required to complete the transaction. The information collected through the online version of the transaction is equivalent to the information collected using the alternate channels such as through an [Access Canberra Service Centre](#).

If you choose not to provide personal information when completing one or more of these activities, you may not be able to complete that activity. If you choose not to participate in these activities, your choice will in no way affect your ability to browse these websites and online facilities.

Access Canberra will not share information about you with other government agencies or other organisations without your permission, unless:

- it is necessary to provide you with a service that you have requested;
- it is required or authorised by law;
- where permitted general situations exist, such as to lessen or prevent a threat to life, health or safety; to assist with the location of a missing person; or to investigate suspected unlawful activity or serious misconduct relating to our function.

For further information regarding Access Canberra, Chief Minister, Treasury and Economic Development Directorate Privacy policy, please visit: https://www.act.gov.au/privacy/full_privacy

CONTACT INFORMATION

Email:

ACTPLAdevelopmentBA@act.gov.au

Post:

Access Canberra
Building Services
Shopfront Mitchell
GPO Box 158
Canberra, ACT 2601

In Person:

Please visit
www.act.gov.au/accessCBB
Or call **132281** to find an
Access Canberra Service
Centre.

ASSESSMENT AGAINST SINGLE DWELLING HOUSING DEVELOPMENT CODE

*Planning and Development Act 2007
 Planning and Development Regulation 2008*

PROPOSAL

Block/Section/Suburb: [REDACTED]
Address of Development: [REDACTED]
CBS Project no: R230752
Scope of Building Works: Additions and alterations
Zoning: RZ1
Block Size: m²

APPLICANT/CONTACT DETAILS

Name of the builder/contact/applicant: [REDACTED]
Email: [REDACTED]

ASSESSMENT

An assessment of the proposed building works has been undertaken against the ACT *Territory Plan 2008* and the Single Dwelling Housing Development Code (SDHDC) and the relevant precinct codes (if applicable).

No.	ITEM	COMMENTS	STATUS
1	SDHDC ASSESSMENT COMPLETE		
	ITEM	COMMENTS	STATUS
1.1	SDHDC Assessment determined works status	No site plan was provided, so assessment is not complete.	Complies
	ITEM	COMMENTS	STATUS
1.2	Block Size & Details	Block size 984m ² large RZ1 Original Approval 1963	Complies
2	ELEMENT 1 - BUILDING & SITE CONTROLS		
	ITEM	COMMENTS	STATUS
2.1	Rule 1: Plot Ratio (Large Blocks Only)	29%	Complies
2.2	Rule 2: Number of Storeys		Complies
2.3	Rule 3: Attics - Standard Blocks (RZ1)		Not Applicable
2.4	Rule 4: Basement Carparking - Standard Blocks (Rz1)		Not Applicable
2.5	Rule 5: Building Height		Complies
	ITEM	COMMENTS	STATUS
2.6	Rule 6: Building Envelope	Via existing conditions	Complies
	ITEM	COMMENTS	STATUS
2.7	Rule 7: Solar Building Envelope	Side 35° sun angle 36° via existing conditions	Complies
2.8	Rule 9: Garage Building Envelope (Mid-sized & Compact)		Not Applicable
2.9	Rule 10: Bushfire Prone		Not Applicable
	ITEM	COMMENTS	STATUS
2.10	Rule 11: Front Boundary Setbacks	Table 2A	Complies
	ITEM	COMMENTS	STATUS
2.11	Rule 12: Side & Rear Setbacks	Table 5:	Complies
2.12	Rule 13: Setbacks less than 900mm		Not Applicable
2.13	Rule 14: Garage Wall Length (Large Blocks Only)		Not Applicable

Project No.: R230752

Limited liability by a scheme approved under professional legislation

*CBS Residential Certifiers Pty Ltd
 ABN 66635944044 ACT Lic No. 2019937
 CBS Commercial Certifiers Pty Ltd
 ABN 85635944124 ACT Lic No. 2019938*

2.14	Rule 15: <900mm Setback Wall Length (Mid-sized Blocks Only)	Not Applicable	
2.15	Rule 16: Allowable Encroachments - Side & Rear	Not Applicable	
2.16	Rule 17: Allowable Encroachments - Front	Not Applicable	
2.17	Rule 18: Allowable Encroachments - Envelopes	Not Applicable	
2.18	Rule 19: Surveillance Blocks	Not Applicable	
2.19	Rule 20: Cut & Fill	Complies	
2.20	Rule 21: Blocks 500 and 550m2	Not Applicable	
3	ELEMENT 2 - LEASE & DEVELOPMENT CONDITIONS		
3.1	Rule 22: Lease and Development Conditions	Complies	
4	ELEMENT 3 - BUILDING DESIGN		
4.1	Rule 23: Materials and Finishes	Complies	
	ITEM	COMMENTS	STATUS
4.2	Rule 24: Fencing - Large & Mid Sized Blocks	Existing conditions	Complies
4.3	Rule 25: Courtyard Wall - Large Blocks		Not Applicable
4.4	Rule 26: Courtyard Walls - Mid Sized Blocks		Not Applicable
4.5	Rule 27 - Courtyard Walls Compact Blocks		Not Applicable
4.6	Rule 28: Front Fences Compact Blocks		Not Applicable
5	ELEMENT 4 - PARKING & SITE ACCESS		
5.1	Rule 29: Pedestrian Access	Not Applicable	
	ITEM	COMMENTS	STATUS
5.2	Rule 30: Vehicle Access	Via existing verge crossing	Complies
	ITEM	COMMENTS	STATUS
5.3	Rule 31: Parking Spaces	Via existing garage.	Complies
	ITEM	COMMENTS	STATUS
5.4	Rule 32: Parking Spaces Dimensions	Via existing garage.	Complies
	ITEM	COMMENTS	STATUS
5.5	Rule 33: Parking space location	Via garage	Complies
5.6	Rule 34: Ramp access basement behind building line - RZ1 & RZ2		Not Applicable
5.7	Rule 35: Verge carparking		Not Applicable
5.8	Rule 36: Garage Width		Complies
6	ELEMENT 5 - AMENITY		
	ITEM	COMMENTS	STATUS
6.1	Rule 37: Solar Access	Via existing lower floor lounge.	Complies
6.2	Rule 38: Private Open Space - Large Blocks (Post 1 Jan 2020)		Not Applicable
	ITEM	COMMENTS	STATUS
6.3	Rule 38A: Private Open Space - Large Blocks (Pre 1 Jan 2020)	984x.6=590.4m ² POS required, 821m ² achieved. 984x.3=295.2m ² planting area required, 327m ² identified.	Complies
6.4	Rule 39: Private Open Space - Mid Sized (Post 1 Jan 2020)		Not Applicable
6.5	Rule 39A: Private Open Space - Mid Size Blocks (Pre 1 Jan 2020)		Not Applicable
6.6	Rule 40: Private Open Space - Compact Blocks (Post 1 Jan 2020))		Not Applicable
6.7	Rule 40a: Private Open Space - Compact Blocks (Pre 1 Jan 2020)		Not Applicable
	ITEM	COMMENTS	STATUS
6.8	Rule 40B: Site Coverage	948x.4=678.8m ² maximum permitted site coverage, 240m ² proposed site coverage.	Complies
	ITEM	COMMENTS	STATUS

Project No.: R230752

Limited liability by a scheme approved
under professional legislation

CBS Residential Certifiers Pty Ltd
ABN 66635944044 ACT Lic No. 2019937
CBS Commercial Certifiers Pty Ltd
ABN 85635944124 ACT Lic No. 2019938

6.9	Rule 40C: Tree Planting	The existing trees will meet the requirements for this size block and the declaration is attached.	Complies
	ITEM	COMMENTS	STATUS
6.10	Rule 41: Principal Private Open Space	Via existing conditions.	Complies
6.11	Rule 42: Noise Attenuation - External Sources		Not Applicable
7	ELEMENT 6 - ENVIRONMENT		
7.1	Rule 43: Water Sensitive Urban Design		Not Applicable
7.2	Rule 44: Heritage		Not Applicable
	ITEM	COMMENTS	STATUS
7.3	Rule 45: Tree Protection	Via TPU approval	Complies
7.4	Rule 46: Erosion & Sediment (<0.3ha)		Complies
7.5	Rule 47: Erosion & Sediment (>0.3ha)		Not Applicable
8	ELEMENT 7 - SERVICES		
8.1	Rule 48: Construction Waste Management - All Zones		Not Applicable
8.2	Rule 49: Utilities - All Zones		Complies

Should you have any queries in relation to the submission of the requested information, please contact Sch 2.2(a)(ii)

Sch 2.2(a)(ii)

Yours sincerely,

Sch 2.2(a)(ii)

Dated: 26/11/2023



ACT
Government

Environment, Planning and
Sustainable Development

Lessee Declaration Form – Tree requirements to comply with the Single Dwelling Housing Development Code (SDHDC)

This form is to be completed and signed by the lessee/s of the block or authorised person/s acting on behalf of the lessee/s.

Type of block	Tree requirements (see table over page)	Check ✓ applicable
Compact	One small tree	
Mid size	Two small trees	
Large (less than or equal to 800m ²)	One small tree and one medium tree	
Large (more than 800m ²)	One medium tree and one large tree	✓
Large (each additional 800m ² block area)	One additional large tree or two additional medium trees for each additional 800m ² block area	

Species name/s Autumn blaze maple and Aristocrat Callery Pear.

I/we, Sch 2.2(a)(ii) the Lessee/s (or
authorised person/s) of block Sch 2.2(a)(ii)
section Sch 2.2(a)(ii)

Declare that I/we have or will plant the above tree/s on the above block in accordance with Rule R40C of the Single Dwelling Housing Development Code.

Signed Sch 2.2(a)(ii)



Date _____

Tree sizes and associated planting requirements

Tree size	Mature height	Minimum canopy diameter	Minimum soil surface area dimension	Minimum pot size (litres)*	Minimum soil volume
Small Tree	5-8m	4m	3m	45**	18m ³
Medium Tree	8-12m	6m	5m	75**	42m ³
Large Tree	>12m	8m	7m	75**	85m ³

Notes:

For the purposes of this table, a tree is defined as a woody perennial plant suitable for the Canberra climate. Any new trees cannot be a plant described in schedule 1 of the Pest Plants and Animals (Pest Plants) Declaration 2015 (No 1) or any subsequent declaration made under section 7 of the Pest Plants and Animals Act 2005, unless the tree is included on the ACT tree register.

*Minimum pot size refers to the container size of new trees prior to planting.

**The maximum pot size for small, medium and large eucalyptus sp. trees if selected is 45 litres, with maximum height at planting of 2.5m and maximum trunk caliper of 3cm.

For more details see the Plant a Tree in Your Canberra Garden guide:

https://suburbanland.act.gov.au/uploads/ckfinder/files/pdf/1_About/Sustainability/Plant%20a%20Tree%20in%20Your%20Canberra%20Garden.pdf

Interpretation service

ENGLISH	If you need interpreting help, telephone:
ARABIC	إذا احتجت لمساعدة في الترجمة الشفوية ، إتصل برقم الهاتف :
CHINESE	如果你需要传译员的帮助，请打电话：
CROATIAN	Ako trebate pomoć tumača telefonirajte:
GREEK	Αν χρειάζεστε διερμηνέα τηλεφωνήσετε στο
ITALIAN	Se avete bisogno di un interprete, telefonate al numero:
MALTESE	Jekk għandek bżonn l-għajnuna t'interpretu, ċempel:
PERSIAN	اگر به ترجمه شفاهی احتیاج دارید به این شماره تلفن کنید:
PORTUGUESE	Se você precisar da ajuda de um intérprete, telefone:
SERBIAN	Ако вам је потребна помоћ преводиоца телефонирајте:
SPANISH	Si necesita la asistencia de un intérprete, llame al:
TURKISH	Tercümana ihtiyacınız varsa lütfen telefon ediniz:
VIETNAMESE	Nếu bạn cần một người thông-ngôn hãy gọi điện-thoại:

TRANSLATING AND INTERPRETING SERVICE

131 450

Canberra and District - 24 hours a day, seven days a week



ACT
Government

Transport Canberra
and City Services

Sch 2.2(a)(ii)

NOTICE OF DECISION
Tree Protection Act 2005

Dear Sch 2.2(a)(ii)

This letter is notice of the Conservator of Flora and Fauna's decision regarding an application for a proposed activity under the *Tree Protection Act 2005* (the Act) at **38 BRAND STREET, HUGHES**. The notice is issued in accordance with section 26(2) of the Act. The location of the relevant tree/s and reasons are set out in the attached Conservator's decision, dated **24 November 2023**.

Where approval for an activity has been granted, it is a condition of approval that the activity cannot commence before **Thursday 14 December 2023** and is to be completed as soon as practicable after commencement, but in any case, no later than **Thursday 14 December 2028**. If the approved activity is not carried out before this date a new application or request for extension needs to be submitted to the Tree Protection Unit for this activity to occur.

The Conservator's Decision (attached) is internally reviewable. You may apply for reconsideration of the decision under section 107 of the Act. The application must be in writing and must set out the grounds upon which reconsideration of the decision is sought.

An electronic (Application for Reconsideration) "Smartform" is available to download via the [Access Canberra website](https://forms.act.gov.au/smartforms/servlet/SmartForm.html?formCode=1096) link: <https://forms.act.gov.au/smartforms/servlet/SmartForm.html?formCode=1096>. The application must be made within **14 days** of the date of this notice by **Monday 11 December 2023**. An application for internal review will suspend any regular activity on tree/s subject to the reconsideration appeal. The review process may take 60 days and may confirm, vary or set aside the first decision.

If you do not agree with the reconsidered decision, you may apply to the *ACT Civil and Administrative Tribunal* for review of the decision. You may also seek review of the decision under the *Administrative Decisions (Judicial Review) Act 1989*. You may also contact the *ACT Ombudsman* if you have concerns about the decision.

If you would like to discuss any aspect of the application, please contact the Tree Protection Unit on telephone (02) 6205 2891 during business hours.

Yours sincerely

Sch 2.2(a)(ii)

Mark Diehm
Assistant Director, Tree Protection Unit
Delegate of the Conservator of Flora and Fauna
City Presentation, Urban Treescapes
Transport Canberra and City Services Directorate
24 November 2023

CONSERVATOR'S DECISION
Tree Protection Act 2005

Applicant(s): Sch 2.2(a)(ii)

Address of Activity

Application

Tree(s) 1 & 2: Various sp.

TREE ADDRESS: 38 BRAND STREET

LOCATION ON BLOCK: Alongside the southern boundary.

DECISION SUMMARY:

The request for approval of groundwork within the tree protection zone of these trees is granted subject to the condition(s) listed below.

There must be strict compliance with these conditions, failure to do so may constitute an offence against the Tree Protection Act 2005 which may attract a court imposed penalty of up to \$80,000 for an individual and up to \$405,000 for a corporation.

As provided in Section 27 of the Tree Protection Act 2005, this approval takes effect on the date stated in the notice ('Notice of Decision').

TREE DAMAGING ACTIVITY: GROUNDWORK

CONSERVATOR'S DECISION: GRANTED WITH CONDITIONS

CONDITIONS:

1. Excavation for footings within the tree protection zones shall not be closer than 4.5m from the trunk of the trees and be undertaken by hand.
2. If root pruning/removal is required, roots shall be cut cleanly (not pulled, torn or ripped).
3. Services that may need to be installed shall not occur within 4.5 m from the tree trunks unless otherwise approved in writing by the Conservator.
4. Exposed roots shall be kept damp and backfilled as soon as possible.
5. Recommended that mulching and irrigation within the Tree Protection Zones be undertaken during the period of development to sustain the tree, particularly over the summer months.

BASIS FOR DECISION:

The groundwork will have minimal impact on the trees if the groundwork complies with the conditions stated in the approval.

Please note that a new application to undertake a tree damaging activity may need to be sought if Conditions cannot be met and if details lodged with your development application (and subsequent amendments) differ to those lodged with this application.

Sch 2.2(a)(ii)

Delegate of the Conservator

24 November 2023

READ CONDITION(S) CAREFULLY



ACT
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Environment, Planning and
Sustainable Development

Planning and Development Act 2007, 5425

Form 7A - Information for adjoining resident about proposed exempt development

- to be completed by the proponent and provided to each adjoining resident

Why are you receiving this information?

The exemption criteria for demolition and development of single dwellings on land that has previously had a house built on it requires that information about the proposed development is provided to you as an adjoining resident. Development can be exempt from the need for a development application (DA) if it meets specified criteria. This type of development is known as 'DA exempt development'.

If you are a tenant please consider forwarding a copy of this information and the plans to the lessee or their managing agent.

What you should receive

1. information sheet (Form 7A) explaining that development is proposed for the site indicated below; and
2. If the proposed development is a single dwelling a copy of each site plan and elevation plan.
A copy of the floor plan is not required to be provided to you.
If the proposed development is only for the demolition of a single dwelling no plans are required to be provided.

What this means for you

The information sheet and attached plans (if required) have been provided for your information only. Prior to any construction commencing, a private building certifier must confirm the development proposal meets the DA exemption criteria.

If the proposal meets all of the DA exemption requirements:

- no DA is required and there is no public notification or right of merit review; and
- a building approval can be granted and work can commence without any further notice.

If you have any questions about the proposed development please contact the nominated person which may be the proponent, builder or building certifier. They can discuss the proposal with you.

Single dwelling Demolition Please tick

Nominated person contact details

Name

Sch 2.2(a)(ii)

Email

Role Builder, Certifier, Owner Builder etc- Please specify

Builder

NOTE: If the building certifier determines the proposed development does not meet the DA exemption requirements a DA will have to be lodged by the proponent and you will be notified during the public consultation phase of the DA process.


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 Environment, Planning and
Sustainable Development

Planning and Development Act 2007, S425
**Form 7B - Summary of written information for building certifier –
compliance with exemption criteria - Planning & Development
Regulation - to be completed by the proponent and provided to the building certifier**
What this form is for

You should complete this form (Form 7B) if you are proposing to:

- demolish a single residential dwelling (s1.100B); and
- construct a code compliant single residential dwelling on old residential land (s1.100 or s1.100A)

 If you are proposing to do this type of development you are required under section 1.19, schedule 1, *Planning and Development Regulation 2008* to give written information about the proposal to each adjoining resident.

Process

1. Complete the form "Information for adjoining resident about proposed exempt development" (Form 7A) and if required attach a copy of the site plan and a copy of elevation plan. Give a copy of the completed form and plans to each adjoining resident. You can do this by placing in the letterbox, by-hand, by email etc.
2. Complete the details below. A copy of Form 7A including any attachments and this form (Form 7B) are required to be included in your application for building approval.

Information for building certifier – compliance with *Planning and Development Regulation 2008*

 The information below is provided to demonstrate that s1.19, s1.100, s1.100A and s1.100B (as applicable), schedule 1, *Planning and Development Regulation 2008* has been complied with.

 Proponent
Name/s:

Sch 2.2(a)(ii)

Bl

Sch 2.2(a)(ii)

Unit No.

St

Date 1/11/23

Date

The following adjoining residences have been provided with a copy of Form 7A and if required the site plan/s and elevation/s plans.

Adjoining residences Street address – please print	Method and date of delivery			
	Letterbox	In person	Other – please state	Date
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/> met B handed	1/11/23
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/> met B handed	1/11/23
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> left in door	1/11/23
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/> met B handed	1/11/23
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/> Met B handed	1/11/23
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/> met B handed	1/11/23

If there is insufficient space please attach a separate sheet.

Privacy Notice

 The personal information on this form is provided to the Planning and Sustainable Development Directorate (EPSDD) to enable the processing of your application. The collection of personal information is authorised by the *Planning and Development Act 2007*. If all or some of the personal information is not collected EPSDD cannot process your application. The personal information you provide may be disclosed where the Directorate reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. EPSDD's Information Privacy Policy contains information about how you may access or seek to correct your personal information held by EPSDD, and how you may complain about an alleged breach of the Territory Privacy Principles. The EPSDD Information Privacy Policy can be found at www.environment@act.gov.au
Contact Details:

 Environment, Planning and Sustainable Development Directorate
Customer Service Centres
GPO Box 158, Canberra City 2601
16 Challis Street Dickson ACT 2602

 Business Hours: 8.30am to 4.30pm weekdays (excluding Public Holidays)
Phone: (02) 6207 1923
Email: epdcustomerservices@act.gov.au
Website: www.planning.act.gov.au

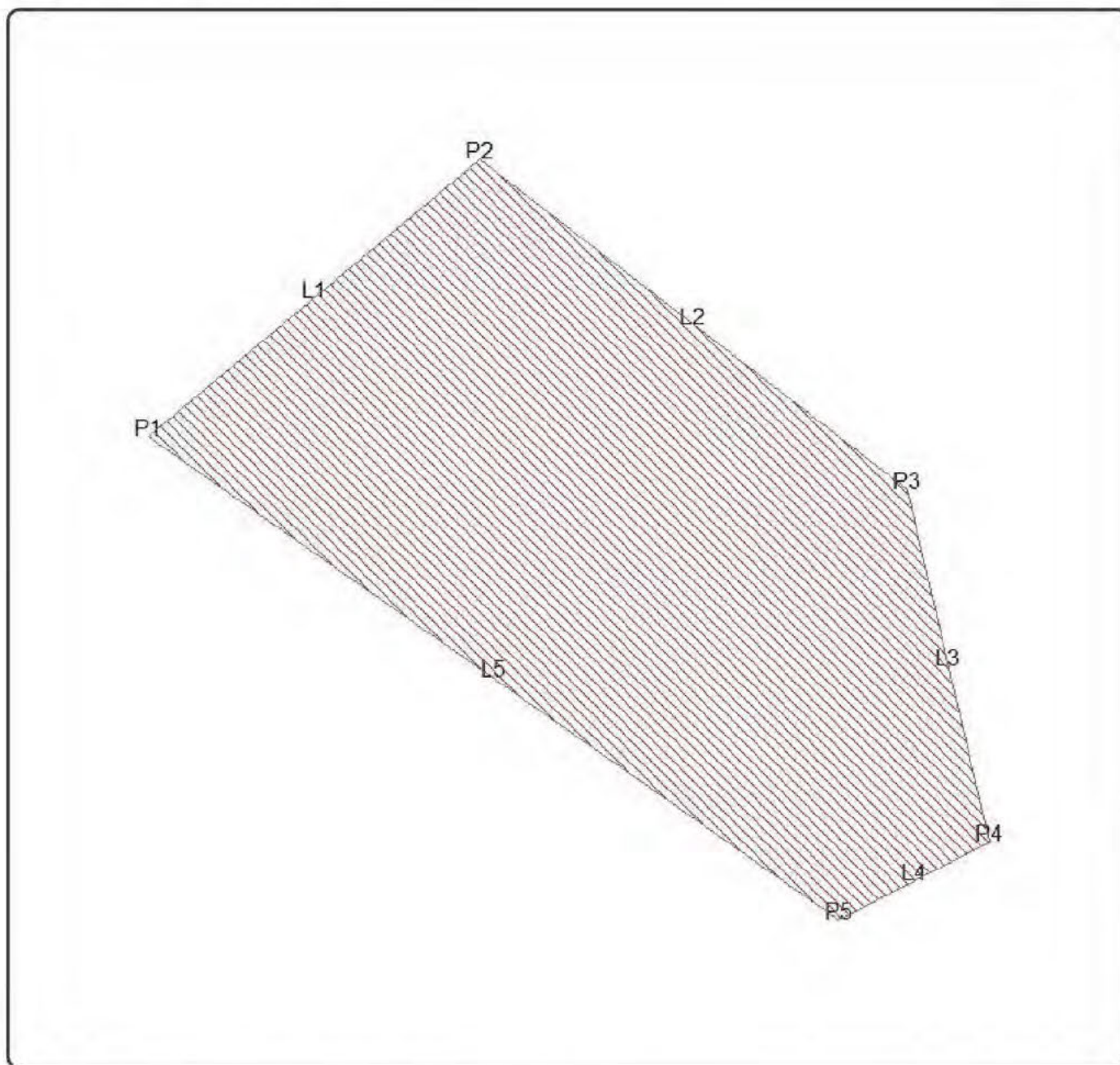




BLOCK DIMENSIONS REPORT

ACTmapi

Projection:




Note All dimensions displayed in MGA94 Zone 55. Please be aware that a scale factor is required if converting dimensions to ACT (Stromlo) Grid coordinates. The map is a user generated static output from an Internet mapping site and is for reference only. Data that appear on this map may or may not be accurate, current or otherwise reliable. Refer to Deposited Plan for legal dimensions of parcel.



ACT
Government

BLOCK DIMENSIONS REPORT

ACTmapi

Projection: 



Note

All dimensions displayed in MGA94 Zone 55. Please be aware that a scale factor is required if converting dimensions to ACT (Stromlo) Grid coordinates. The map is a user generated static output from an internet mapping site and is for reference only. Data that appear on this map may or may not be accurate, current or otherwise reliable. Refer to Deposited Plan for legal dimensions of parcel.



BLOCK DIMENSIONS REPORT

ACTmapi

Projection: GDA 2020 MGA Zone 55



Building Approval Fees and Levies Tax Invoice

TO THE PAYEE

Sch 2.2(a)(ii)

Access Canberra Land, Planning and Building Services

ABN 16 479 763 216
8 Darling Street Mitchell
GPO Box 158 ACT 2601
Access Canberra Homepage: www.act.gov.au/accesscbr

Invoice Date: 29/11/2023 Time: 9:34:10 AM

Invoice Number: Sch 2.2(a)(ii)

Block - Section - Division - District	Building Levy	Training Levy	Fees Paid	Total
				Sch 2.2(a)(ii)
Total				Sch 2.2(a)(ii)

No GST applies to these fees and levies.

PAYMENT REQUIRED WITHIN 14 DAYS OF INVOICE ISSUE DATE

Payment Options



Billers Code: 584508
Ref: 3100827744

Telephone & Internet Banking - BPAY®

Call your bank, credit union or building society to make this payment from your cheque, savings or credit card account. More info: www.bpay.com.au

Access
Canberra

Internet

To pay online by credit card (MasterCard or Visa), click on the "Building and Construction Fees and Levies" online payment form located at
<https://forms.act.gov.au/smartforms/servlet/SmartForm.html?formCode=1009-actbuilding&tmFormVersion>

Access
Canberra

Phone

Telephone (02) 6207 1923 8.30am - 4.30pm Mon - Fri and have your credit card details handy (MasterCard and Visa).

Access
Canberra

In Person

Access Canberra Land, Planning and Building Services Shopfront Only: 8.30am – 4.30pm Mon – Fri. Cash, Cheque, EFTPOS, Credit card (Mastercard and Visa). CashLink Code – 34 0075



Building Act 2004, S151
Building Approval

Project ID: [REDACTED]

PART A - PROJECT DETAILS

Unit	Block	Section	Division (Suburb)	District	Jurisdiction
[REDACTED]	[REDACTED]	[REDACTED]	[REDACTED]	[REDACTED]	[REDACTED]

PART B - WORKS REQUIRING BUILDING APPROVAL

Item of building work to which this Building Approval relates:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
1a	Additions	DA EXEMPT-RESIDENCE		NA	2	12.00	Sch 2.2(a)(xiii)
1a	Alterations	DA EXEMPT-RESIDENCE		NA	2	1.00	
10a	New	DA EXEMPT-PERGOLA		NA	2	26.00	
10a	New	DA EXEMPT-CARPORT		NA	1	17.00	

The following work is exempt from development approval:

- Single residential and extensions in existing areas

PART C - CERTIFIERS DECLARATION

I declare that in issuing this building approval under section 28 of the Building Act 2004:

- I am satisfied on reasonable grounds that the plans meet each applicable approval requirement under section 29 and is not prevented from being issued under section 30 or section 30A
- I have supplied all documents as required under 3.3 Building Act 2004
- I have prepared a notice (building approval certificate) certifying what approval requirements apply to the application and why the building approval is not prevented from being issued; and
- I have given the building approval certificate to the applicant.

In performing services as a certifier in relation to the work detailed in this application I am not in breach of my entitlement to act as a certifier in accordance with the Building Act 2004.

Full Name	Address	License Number	Expiry Date
CBS RESIDENTIAL CERTIFIERS PTY LTD	PO Box 76 MITCHELL ACT 2911	2019937	9/09/2024

Date Issued : 26/11/2023

NOTES

Utilities

This application must also be accompanied by a Statement of Compliance from each relevant utility provider (for water, sewerage, electricity and stormwater) which confirms that the location and nature of earthworks, utility connections, proposed buildings, pavements and landscape features comply with utility standards, access provisions and asset clearance zones.

Note 1: If there is no stormwater easement or Territory owned stormwater pipes located within the property boundary, a "Statement of Compliance" for stormwater from TAMS (Asset Acceptance) is not required to be obtained.

Note 2: Where there is conflict between planning and utility requirements, the utility requirements take precedence over other codified or merit provisions.

Utilities – Demolition Only

This application must be accompanied by a Statement of Endorsement for utilities (including water, sewerage, electricity and stormwater) stating that:

- all network infrastructure on or immediately adjacent to the site has been identified on the plan
- all potentially hazardous substances and conditions (associated with or resulting from the demolition process) that may constitute a risk to utility services have been identified
- all required network disconnections have been identified and the disconnection works comply with utility requirements
- all works associated with the demolition comply with and are in accordance with utility asset access and protection requirements

Note: The documentation provided to the utility provider for endorsement must be consistent with the documentation that forms part of a development approval or the documentation verified as exempt from requiring development approval by a licensed certifier.

Asbestos Advice

If documents accompanying building approval do not include an asbestos assessment report as per the Building Act 2004, the building approval must have an Asbestos Advice attached as per the Act

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.



APPOINTMENT OF BUILDER & APPLICATION FOR COMMENCEMENT NOTICE

Building Act 2004, S151

In completing this form the owner is authorising the builder nominated below to apply to the appointed certifier to issue a Commencement Notice for the works detailed in this application form.

PART A PROJECT DETAILS

Block

Street

Certifier Name

CBS Residential Certifiers Pty Ltd

Description of Building Works relevant to this application-If more than 6 items please attach further details

1	Top floor refurbishment
2	new pergola & carport
3.	
4	

PART B OWNER DETAILS – Please Print

All owners must be listed

Owner 1 will be considered the contact person in relation to this application

Company Details

Owner 1

Sch 2.2(a)(ii)

Owner 2

Owner 3

Owner 4

Postal Address

Suburb

Phone Number Business Hours

EMAIL ADDRESS

Sch 2.2(a)(ii)

PART C APPOINTMENT OF BUILDER

I/we the owner/s have appointed the person whose details appear below as the builder in relation to the building works described in this form

Licence Holders Name as it appears on licence card Olive Tree Construction PL

Licence Number 2010611 Class A Expiry Date 23/04/24

List any conditions or endorsements on licence nil

EMAIL ADDRESS Sch 2.2(a)(ii)

PART D NOMINEE'S DETAILS
If the builder is a company or partnership provide details of the Nominee who will supervise the building

Nominee's Name Sch 2.2(a)(ii)

Licence Number Sch 2.2(a)(ii) Class Sch 2.2(a)(xi)

Signature of Nominee Sch 2.2(a)(ii) Date 23/10/23

PART E OWNER SIGNATURE/S - all owners must sign this form

Owner 1 Sch 2.2(a)(ii) 24/10/2023
Signature DATE:

Owner 2 _____ Signature DATE:

Owner 3 _____ Signature DATE:

Owner 4 _____ Signature DATE:

PART F BUILDER APPLICATION TO CERTIFIER FOR COMMENCEMENT NOTICE

I hereby apply to the building certifier listed above for a commencement notice for the works detailed in Part A of this form in accordance with the Building Act 2004.

- A site sign was **not** required to be displayed prior to making this application.
- A site sign **was** required to be displayed prior to making this application and I declare that a compliant sign was

Sch 2.2(a)(ii) 23/10/23

There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

PART G INSURANCE OR FIDELITY CERTIFICATE

For residential building work please provide details of insurance where applicable

Insurance Provider Master Builder Fidelity Fund Policy No Sch 2.2(a)(ii) Date Issued 10/10/23



Certificate number
Fund Reference Number

Sch 2.2(a)(xi)

Certificate

Date Issued: 10/10/2023

This Certificate is not underwritten by the ACT Government nor by the Master Builders Association (ACT)

This Certificate applies to one dwelling only.

The contract price, or value of the work, is: Sch 2.2(a)(xi)

The builder's *estimated* construction period is from: 10/10/2023 to 30/04/2024.

Variations of up to 10% of the contract price are automatically included.

This Certificate is issued subject to the requirements of the **ACT Building Act 2004** and section 91, and in accordance with the terms and conditions set out in the Master Builders Fidelity Fund Trust Deed.

Builder's Name: **Olive Tree Constructions Pty Ltd**

Builder's Licence No: **2010611**

Type of project, (ie speculative, contract or project management): **Contract**

For the construction of: **extension/renovation**

Special conditions: **n/a**

Name of Owner(s): Sch 2.2(a)(ii)

Instructions to Builder:

This original certificate **MUST** be given to the home owner. Please photocopy for building approval purposes and for your records.

For variations in excess of 10% of the contract price, contact the Master Builders Fidelity Fund Manager on (02) 6175 5995.

Signature

Sch 2.2(a)(ii)

This certificate is issued by the Master Builders Fidelity Fund and any enquiries regarding claims against this certificate must be directed to the Master Builders Fidelity Fund c/- MBA - ACT at 1 Iron Knob Street, Fyshwick ACT 2609, telephone (02) 6280 9119.

Please read the important information overleaf regarding this Certificate.

EXTREMELY IMPORTANT:

Please read the following carefully:

Contract:

The owner and the builder must enter into a written contract that clearly defines the scope of the works to be performed by the builder. This contract must be similar to the standard form of contract as set out by the Master Builders Association or the Housing Industry Association or the Royal Australian Institute of Architects.

General Conditions of Cover:

Subject to the requirements of the ACT Building Act 2004 ('the Act') and the conditions of approval of this Fidelity Certificate, cover will be provided to the owner of the land where the work is to be carried out unless the construction is undertaken by the entity who owns the land or whose subsidiary or related company owns the land. The Fidelity Certificate does not provide cover to the owner where the owner of the land is a developer as defined in the Act, but it does cover the developer's successors in title.

The sum covered under the Fidelity Certificate in respect of each dwelling that forms part of the work is \$85,000, or an amount equal to the cost of the work, whichever is the lesser. The Fidelity Fund is not liable for the first \$500 of each claim.

Losses Covered by the Fidelity Fund:

Payments from the Fidelity Fund will only be made if a valid Fidelity Certificate has been issued in accordance with the Act. A claim against the Fidelity Fund will be subject to the premise that Section 90(1)(i) of the Act is satisfied.

Statutory Warranty Period:

The statutory warranty period changed with effect from 9 September 2003:

- (a) for projects where the plans were approved by the Building Certifier prior to 9 September 2003, the statutory warranty period is five years after the date when a Certificate of Occupancy is issued for the building work.
- (b) for projects where the plans were approved by the Building Certifier on and after 9 September 2003:
 - (i) in relation to a non-structural element, the statutory period is two years from the day the work is completed, or the day the contract relating to the work ends, whichever is the later.
 - (ii) in relation to a structural element, the statutory period is six years from the day the work is completed, or the day the contract relating to the work ends, whichever is the later.

Subject to the requirements of the Act, the ACT Building (General) Regulations 2008, and the conditions of approval of this Fidelity Certificate, the period of cover is 5 years after the day a certificate of occupancy is issued for the work.

Progress Payments and Deposits:

The owner is not entitled to recover from the Fidelity Fund any amount by which the amount paid exceeds the cost of the work done, except if the owner has paid a deposit on the work and the cost of any work done is less than the amount of the deposit. The owner is not entitled to claim more than \$10,000 for loss of deposit paid to a builder.

Time for Lodging a Claim:

The owner, after becoming aware of the existence of grounds for a claim, must within 90 days lodge such a claim with the Fidelity Fund.

Assessment of Claims:

- (a) Claims will be assessed only after completion of the Master Builders Fidelity Fund Claim form and relevant documents. The trustees will have the discretion to obtain an independent assessment and decisions by the trustees are generally made within 90 days.
- (b) If more than one request is made in relation to a Fidelity Certificate, the total amount that can be paid to an owner must not exceed the amount stated in this Fidelity Certificate and in accordance with the Act.
- (c) The trustees may pay the amount to whomever the trustees think fit to satisfy the claim under the Fidelity Certificate.



Building Act 2004, S151

Application for Building Commencement Notice

Project **Sch 2.2(a)(ii)**

Licensed builders must use this form to apply to the building certifier for a commencement notice in accordance with the Building Act 2004. An application can only be made if the building approval has been issued for the building work. A commencement notice must be issued by the building certifier before any building work can commence.

PART A - PROJECT DETAILS

Building approval issue date: 26/11/2023

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
Full Name		Address		License Number	Expiry Date
CBS RESIDENTIAL CERTIFIERS PTY LTD		PO Box 76 MITCHELL ACT 2911		2019937	9/09/2024

Description of work to which application for Commencement Notice relates:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
1a	Additions	DA EXEMPT-RESIDENCE		NA	2	12.00	Sch 2.2(a)(xi)
1a	Alterations	DA EXEMPT-RESIDENCE		NA	2	1.00	
10a	New	DA EXEMPT-PERGOLA		NA	2	26.00	
10a	New	DA EXEMPT-CARPORT		NA	1	17.00	

Insurance provider: MBFF

Policy number:

Issue date: 26/11/2023

PART B - BUILDERS DETAILS

License holder's name: OLIVE TREE CONSTRUCTION PTY LTD

License number: 2010611

License Expiry Date: 23/04/2024

Business Address: 7 MOOYI PLACE GIRALANG ACT 2617

Phone Number: 62539781

Signature of builder:

_____ / /

(Individual, director for company or partner for partnership)

If the builder is a company or partnership provide details of the nominee who will supervise the building work.

Nominee's name:

Sch 2.2(a)(ii)

License number:

License Expiry Date:

Nominee's signature
(if different to above):

/ /

PART C - OWNER/LESSEE DETAILS

Sch 2.2(a)(ii)

ADVISORY NOTE: Owners please ensure you have a written contract with the builder named in this application.
For residential building work requiring home owner insurance ensure that the same builders name is shown on the insurance policy.

PART D - OWNER/S OR AGENT SIGNATURE/S

Name	Signature	Date
Sch 2.2(a)(ii)		

NOTE: You may only make this application as an authorised agent on behalf of the owners of the property if you have appropriate written authorisation from ALL the owners and attach it to this application. This also applies if you are a part owner or joint owner making an application on behalf of the owners.

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.

PART E - BUILDER APPLICATION TO CERTIFIER FOR COMMENCEMENT NOTICE

I hereby apply to the building certifier listed above for a commencement notice for the works detailed in Part A of this form in accordance with the Building Act 2004.

- A site sign was NOT required to be displayed prior to making this application.
- A site sign WAS required to be displayed prior to making this application and I declare that a compliant sign was erected and displayed for the required period.

Signature of
Builder/Nominee:

/ /

NOTE: There are penalties for deliberately giving false and misleading information. Access Canberra or the Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.



Building Act 2004, S151

Application for Building Commencement Notice

Project ID: Sch 2.2(a)(ii)

Licensed builders must use this form to apply to the building certifier for a commencement notice in accordance with the Building Act 2004. An application can only be made if the building approval has been issued for the building work. A commencement notice must be issued by the building certifier before any building work can commence.

PART A - PROJECT DETAILS

Building approval issue date: 26/11/2023

Unit	Block	Section	District (Suburb)	Division	Jurisdiction

Full Name	Address	License Number	Expiry Date
CBS RESIDENTIAL CERTIFIERS PTY LTD	PO Box 76 MITCHELL ACT 2911	2019937	9/09/2024

Description of work to which application for Commencement Notice relates:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
1a	Additions	DA EXEMPT-RESIDENCE		NA	2	12.00	Sch 2.2(a)(xiii)
1a	Alterations	DA EXEMPT-RESIDENCE		NA	2	1.00	
10a	New	DA EXEMPT-PERGOLA		NA	2	26.00	
10a	New	DA EXEMPT-CARPORT		NA	1	17.00	

Insurance provider: MBFF

Policy number: [REDACTED]

Issue date: 26/11/2023

PART B - BUILDERS DETAILS

License holder's name: OLIVE TREE CONSTRUCTION PTY LTD

License number: 2010611

License Expiry Date: 23/04/2024

Business Address: 7 MOOYI PLACE GIRALANG ACT 2617

Phone Number: 62539781

Builder Applied on: 29/11/2023 9:37:41 AM

If the builder is a company or partnership provide details of the nominee who will supervise the building work.

Nominee's name: Sch 2.2(a)(ii)
License number:
License Expiry Date:
Nominee's signature (if different to above): _____ / /

PART C - OWNER/LESSEE DETAILS

Name	Address
Sch 2.2(a)(ii)	

ADVISORY NOTE: Owners please ensure you have a written contract with the builder named in this application. For residential building work requiring home owner insurance ensure that the same builders name is shown on the insurance policy.

PART D - OWNER/S OR AGENT SIGNATURE/S

Name	Signature	Date
Sch 2.2(a)(ii)		

NOTE: You may only make this application as an authorised agent on behalf of the owners of the property if you have appropriate written authorisation from ALL the owners and attach it to this application. This also applies if you are a part owner or joint owner making an application on behalf of the owners.

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PART E - BUILDER APPLICATION TO CERTIFIER FOR COMMENCEMENT NOTICE

I hereby apply to the building certifier listed above for a commencement notice for the works detailed in Part A of this form in accordance with the Building Act 2004.

- A site sign was NOT required to be displayed prior to making this application.
- A site sign WAS required to be displayed prior to making this application and I declare that a compliant sign was erected and displayed for the required period.

Signature of Builder/Nominee: _____ / /

NOTE: There are penalties for deliberately giving false and misleading information. Access Canberra or the Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.



Building Act 2004, S151

Building Commencement Notice

Project ID [REDACTED]

PART A - PROJECT DETAILS

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
[REDACTED]					

Certifier's Details

Full Name	Address	License Number	Expiry Date
CBS RESIDENTIAL CERTIFIERS PTY LTD	PO Box 76 MITCHELL ACT 2911	2019937	9/09/2024

Building approval issue date: 26/11/2023

Building Commencement Notice Required for:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Area (m2)	Cost of Works (\$)
1a	Additions	DA EXEMPT-RESIDENCE		NA	12.00	Sch 2.2(a)(xiii)
1a	Alterations	DA EXEMPT-RESIDENCE		NA	1.00	[REDACTED]
10a	New	DA EXEMPT-PERGOLA		NA	26.00	[REDACTED]
10a	New	DA EXEMPT-CARPORT		NA	17.00	[REDACTED]

PART B - BUILDERS DETAILS

License holder's name: OLIVE TREE CONSTRUCTION PTY LTD

License number: 2010611

License Expiry Date: 23/04/2024

Business Address: 7 MOOYI PLACE GIRALANG ACT 2617

Phone Number: 62539781

If the builder is a company or partnership provide details of the nominee who will supervise the building work

Nominee's name:

License number:

License Expiry Date:

Sch 2.2(a)(ii)

PART C - CERTIFIER'S DECLARATION

Issue date of commencement notice: 29/11/2023

Name of Certifier Issuing Notice: CBS RESIDENTIAL CERTIFIERS PTY LTD

Declaration:

This commencement notice is issued in accordance with the Building Act 2004, to the licensed builder stated above authorising the commencement of the stated building work. The issue of this commencement notice indicates that I am satisfied that the builders license authorises the work in the building approval. Where applicable for residential building work, I have been provided with a residential building insurance policy or fidelity certificate.

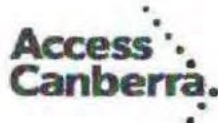
PLEASE NOTE:

A copy of the application for this commencement notice, this notice and where applicable the residential building insurance policy or fidelity certificate, must be given to the construction occupations registrar within one (1) week of the issue date.

This building commencement notice will end if-

- (a) for residential building work- the work is no longer insured; or
- (b) the building approval for the work ends

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.



APPOINTMENT OF A CERTIFIER APPLICATION FOR BUILDING APPROVAL

Building Act 2004, S151

This form is to be completed by the Owner/s of the land to which the building work relates.

PART A PROJECT DETAILS

Block

Street

Description of Building Works relevant to this application-if more than 4 items please attach further details

Describe each item of building work in this building approval	BCA Occupancy Class	BCA Construction Type	Area (m ²)	Number of Storeys	Cost of Works (refer to building cost Sch 2.2(a)(xiii))
¹ Additions to residence	1a	N/A	12	2	
² Alterations to residence	1a	N/A	1	2	
³ Pergola	10a	N/A	26	2	
⁴ Carport	10a	N/A	17	1	

Applicable approved requirements and reasons why building approval is not prevented from being issued

Is all work exempt from development approval?

YES Attach assessment for exempt development checklist (if applicable)

NO Provide reason/s or description of work: _____

Description of Attachments compliant with Division 3.3 Building Act 2004

Please attach any additional documentation not listed below

- Building Approval Plans
- Referrals, consultations & consents outcomes
- Asbestos Advice - If documents accompanying building approval do not include an asbestos assessment report as per the Building Act 2004, the building approval must have an AA attached as per the Act

PART B OWNER'S DETAILS - Please Print

All owners must be listed

Owner 1 will be considered the contact person in relation to this application

Company Details

ACN/ABN Number

Owner 1

Sch 2.2(a)(ii)

Owner 2

Owner 3

Owner 4

Approved form AF2016-85 approved by David Middlemiss, Construction Occupations Deputy Registrar on 10 August 2016 under section 151 of the Building Act 2004 and revokes AF2016-80.

PART B continued

OWNER/S DETAILS – Please Print

Postal Address:
Suburb:
Phone Number Business Hours:
EMAIL ADDRESS:

Sch 2.2(a)(ii)

PART C

APPOINTMENT OF CERTIFIER

As required under the Building ACT 2004 I/we hereby advise that I/we the owner/s have appointed the person whose details appear below as the certifier in relation to the building works described in this form

Company Details	CBS Residential Certifiers Pty Ltd		
Name of Certifier	Sch 2.2(a)(ii)	ABN/ ACN	66 635 944 044
Postal Address	PO Box 76		
Suburb	Mitchell	State	ACT Postcode 2911
Phone Number Business Hours	6253 9911	Mobile	
EMAIL ADDRESS	thai@cbscanberra.com.au		

PART D

APPLICATION FOR BUILDING APPROVAL

I/we the Owner/s of the abovementioned property hereby apply under Section 26 of the *Building Act 2004* to the certifier named above to issue a building approval for the building work described in this form. I/we have provided the certifier with information and documentation required to issue a building approval as specified in the *Building (General) Regulation 2008*.

PART E

AUTHORITY TO ACCESS BUILDING FILE

I/we hereby authorise the certifier to access the building file for the property which is the subject of this application for the purposes of obtaining information relevant to the issuing of a building approval and associated processes.

PART F

OWNER/S SIGNATURE/S

1st Owner's Signature	Sch 2.2(a)(ii)	Date	24/10/23
2nd Owner's Signature		Date	
3rd Owner's Signature		Date	
4th Owner's Signature		Date	

NOTE: There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

Approved form AF2016-85 approved by David Middlemiss, Construction Occupations Deputy Registrar on 10 August 2016 under section 151 of the *Building Act 2004* and revokes AF2016-80.

Authorised by the ACT Parliamentary Counsel—also accessible at www.legislation.act.gov.au

Sch 2.2(a)(ii)

BUILDING APPROVAL CERTIFICATE**Location:** Block [REDACTED]**Description of Building Work:** Additions & Alterations to Residence**BCA Occupancy Class:** 1a & 10a**BCA Construction Type:** N/A**Number of Storeys:** 2**Building Approval.**

Your application for building approval satisfies the Building Act 2004. Building approval is issued under s.28 of the Building Act 2004.

All work must comply with the:

1. Building Act 2004; and
2. National Construction Code 2022 Volume Vol. 2; and
3. National Construction Code 2019 Volume Vol. 2 for items under transitional arrangements.

This approval expires three years from the date of this approval or at the expiry of the development approval, whichever occurs first.

Commencement

Building work may begin on the issue of the Building Commencement Notice.

Sincerely,

Sch 2.2(a)(ii)

Building Surveyor Limited
CBS Residential Certifiers Pty Ltd
26 November 2023

Sch 2.2(a)(ii)

If a home was built before 1990 it may contain dangerous asbestos material



Identify where asbestos materials might be. Five common places are:



If a home was built before 1990 it may contain dangerous asbestos material



Assess the risk

A licensed asbestos assessor can help identify asbestos in your home and its condition.

Asbestos materials become dangerous when:



Broken or in poor
condition



Damaged
accidentally



Disturbed during
renovation or repairs



Loose fill asbestos
insulation



Manage asbestos safely

- Monitor the condition of asbestos in your home
- Inform tradespeople of locations of asbestos in your home
- Avoid disturbing or damaging asbestos if working on your home
- Engage a licensed asbestos removalist to remove asbestos

If you suspect your home
contains loose fill asbestos
insulation, contact Access
Canberra.

For more information, visit www.worksafe.act.gov.au or call Access Canberra contact centre - 13 22 81
if you need interpreting help, telephone the Translating and Interpreting Service on 131 450

*Advice based on the Asbestos Safety
and Eradication Agency's residential
asbestos disclosure research.



Building Act 2004, S151

Appointment of a Certifier and Application for Building Approval

Project ID:

This form is to be completed by the Owner/s of the land to which the building work relates

PART A - PROJECT DETAILS

Unit	Block	Section	District (Suburb)	Division	Jurisdiction

PART B - OWNER DETAILS

Name	Address	Email Address
Sch 2.2(a)(ii)		

PART C - APPOINTMENT OF CERTIFIER

As required under the Building ACT 2004 I/we hereby advise that I/we the owner/s have appointed the person whose details appear below as the certifier in relation to the building works described in this form

Full Name	Address	License Number	Expiry Date
CBS RESIDENTIAL CERTIFIERS PTY LTD	PO Box 76 MITCHELL ACT 2911	2019937	9/09/2024

PART D - APPLICATION FOR BUILDING APPROVAL

I/we the owners of the abovementioned property hereby apply to the certifier named above to issue a building approval under Section 26 of the Building Act 2004 for the building works detailed in the following table

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
1a	Additions	DA EXEMPT-RESIDENCE		NA	2	12.00	Sch 2.2(a)(xiii)
1a	Alterations	DA EXEMPT-RESIDENCE		NA	2	1.00	
10a	New	DA EXEMPT-PERGOLA		NA	2	26.00	
10a	New	DA EXEMPT-CARPORT		NA	1	17.00	

I/we have provided the certifier with the information and documentation required to issue a building approval as specified in the Building (General) Regulation 2008.

PART E - AUTHORITY TO ACCESS BUILDING FILE

I/we hereby authorise the certifier to access the building file held by Access Canberra for the property which is the subject of this application for the purposes of obtaining information relevant to the issuing of a building approval and associated processes.

PART F - OWNER/S SIGNATURE/S

Name	Signature	Date
Sch 2.2(a)(ii)		

APPLICATION FOR BUILDING APPROVAL REQUIREMENTS

Building (General) Regulations 2008

Where relevant the following information **MUST** be included in either the application or the plans accompanying the application for building approval:

General Requirements

- Estimated Cost of Works -as per Building (General) (Cost of Building Work) Determination 2011
- if the proposed building work to be carried out at or near a street or place that is open to or used by the public the application must contain details of the precautions proposed to be taken to protect the safety of people using the street or place while the building work is carried out
- the area of the parcel of land to which this application relates
- the class of the building according to the intended use of the building as proposed to be erected or altered;
- if applicable what fire-resisting construction type (under the building code) the building as proposed to be erected or altered will be.

Note: Fire-resisting construction type may not be applicable if an alternative solution under the building code is used.

- for an application relating to the erection of a class 1 building the site classification of the parcel of land
- for an application relating to the alteration of a class 1 building if the alteration will increase the building load carried by foundation material beyond the building load carried by the foundation before the alteration.

- the site classification of the parcel of land

- for an application relating to the alteration of a building the class and type of fire-resisting construction of the existing building classified under the building code and the materials used in the existing building

Note Fire-resisting construction type may not be applicable if an alternative solution under the building code is used.

- the number of storeys of the building as proposed to be erected or altered;
- the number of new dwellings (if any) created by the proposed building work;
- the floor area of the proposed building or proposed new part of the building;
- the materials to be used in the frame, floor, walls and roof of the proposed building or proposed new part of the building
- if a performance requirement of the building code is to be complied with by use of an alternative solution under the code -

(i) the performance requirement; and

(ii) the alternative solution; and

(iii) each assessment method used to show that the alternative solution complies with the performance requirement;

- if the building code does not state a standard of work in relation to any part of the proposed building work and it is intended to carry out that part of the proposed building work in accordance with a standard of work stated in another document -

(i) the nature of the proposed building work; and

(ii) the title of the document; and

(iii) each assessment method used to show that the proposed building work complies with the standard of work stated in the document.

Removal or demolition of building/s

- Details of the methods to be used in carrying out the proposed building work, including a work plan stated or set out in AS 2601 (Demolition of structures), as in force from time to time;
- the number of dwellings (if any) to be demolished.

Asbestos

- The application must include a description of the method proposed to be used to remove the bonded asbestos sheeting from the building.

- the application must include the following information:

(i) the method proposed to be used to remove the asbestos;

(ii) the approximate amount and kind of asbestos to be removed;

(iii) the equipment proposed to be used to remove the asbestos, including any personal protective equipment;

(iv) details of a program, prepared in accordance with the asbestos removal code, for monitoring airborne asbestos to be followed during the removal.

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.



Residential Energy Rating — Non-Accredited 2DT3K3U9QS-01

This rating report has been completed by a rater (non-accredited assessor)*. For more details see the NatHERS House Energy Rating Scheme (NatHERS) website www.nathers.gov.au.

About the rating NatHERS software models expected thermal energy loads using information on design and construction, climate and common patterns of household use. The software does not take into account appliances apart from the airflow impacts from ceiling fans.

Star rating 6.3

Annual thermal performance

Total 149 MJ/m², Heating 123.9 MJ/m², Cooling 25.1 MJ/m²

Property

Address

Lot/DP number -

NCC Class Class 1a

Type Alteration

Verification

To verify this certificate, scan the QR code or visit <https://www.fr5.com.au/QRCodeLanding?PublId=2DT3K3U9QS-01>. When using either link, ensure you are visiting www.FR5.com.au.

Plans

Main plan -

Prepared by -

Construction and environment

Assessed floor area (m²)* Exposure type

Conditioned* 187.6 suburban

Unconditioned* 49

NatHERS climate zone

Total 236.6

24 Canberra Airport

Garage 31.6

Rater*

Sch 2.2(a)(ii)

Declaration of interest Declaration completed: no conflicts

National Construction Code (NCC) requirements

The NCC's requirements for NatHERS-rated houses are detailed in 3.12.0(a)(i) and 3.12.5 of the NCC Volume Two. For apartments the requirements are detailed in J0.2 and J5 to J8 of the NCC Volume One.

In NCC 2019, these requirements include minimum star ratings and separate heating and cooling load limits that need to be met by buildings and apartments through the NatHERS assessment. Requirements additional to the NatHERS assessment that must also be satisfied include, but are not limited to: insulation installation methods, thermal breaks, building sealing, water heating and pumping, and artificial lighting requirements. The NCC and NatHERS Heating and Cooling Load Limits (Australian Building Codes Board Standard) are available at www.abcb.gov.au.

State and territory variations and additions to the NCC may also apply.

*Raters (non-accredited assessors) are not required to have any formal qualifications, insurance, ongoing professional development or quality assurance checks on their ratings. This is distinct from NatHERS accredited assessors who are required to have qualifications, ongoing professional development and have quality assurance checks on their ratings.

* Refer to glossary.

Rating report check

Ensure the dwelling is designed and then built as per the rating report. While you need to check the accuracy of the whole rating report, the following spot check covers some important items impacting the dwelling's rating.

Genuine rating report

Does this rating report match the one available at the web address or QR code in the verification box on the front page?
Does the set of stamped plans for the dwelling have a rating report number on the stamp that matches this rating report?

Any questions or concerns about this report should be directed to the rater in the first instance. If the rater is unable to address these questions or concerns, the state or territory building code authority should be contacted.

Ceiling penetrations*

Does the 'number' and 'type' of ceiling penetrations (e.g. downlights, exhaust fans, etc) shown on the stamped plans or installed, match what is shown in this rating report?

Windows

Does the installed window meet the substitution tolerances (SHGC and U-value) and window type, of the window shown on this rating report? Substituted values must be based on the Australian Fenestration Rating Council (AFRC) protocol.

Apartment entrance doors

Does the 'External Door Schedule' show apartment entrance doors? Please note that an 'external door' between the modelled dwelling and a shared space, such as an enclosed corridor or foyer, should not be included in the assessment (because it overstates the possible ventilation) and would invalidate the rating report.

Exposure*

Has the appropriate exposure level (terrain) been applied? For example, it is unlikely that a ground-floor apartment is 'exposed' or a top floor high-rise apartment is 'protected'.

Provisional* values

Have provisional values been used in the assessment and, if so, noted in 'additional notes' below?

Additional Notes

Window and glazed door *type and performance*

Default* windows					
Window ID	Window Description	Maximum U-value*	SHGC*	Substitution tolerance ranges	
				SHGC lower limit	SHGC upper limit
ALM-004-01 A	Aluminium B DG Air Fill Clear-Clear	4.8	0.59	0.56	0.62
Custom* windows					
Window ID	Window Description	Maximum U-value*	SHGC*	Substitution tolerance ranges	
				SHGC lower limit	SHGC upper limit
No Data Available					

Window and glazed door *Schedule*

* Refer to glossary.

Location	Window ID	Window no.	Height (mm)	Width (mm)	Window type	Opening %	Orientation	Window shading device*
WC	ALM-004-01 A	Opening 26	600	700	awning	90.0	ENE	No
Bath	ALM-004-01 A	Opening 25	600	700	awning	90.0	ENE	No
Living	ALM-004-01 A	Opening 24	1200	2100	sliding	45.0	NNW	No
Living	ALM-004-01 A	Opening 23	2100	2400	sliding	30.0	ENE	No
Bed	ALM-004-01 A	Opening 22	1200	1500	sliding	45.0	ENE	No
Bed	ALM-004-01 A	Opening 21	1200	2100	sliding	45.0	SSE	No
Bed	ALM-004-01 A	Opening 20	1200	1800	sliding	100.0	WSW	No
Bed	ALM-004-01 A	Opening 12	2100	2400	sliding	30.0	ENE	No
Bed	ALM-004-01 A	Opening 2	1160	2060	sliding	45.0	WSW	No
ENS	ALM-004-01 A	Opening 1	1160	2060	sliding	45.0	WSW	No
Family	ALM-004-01 A	Opening 4	2100	300	fixed	0.0	WSW	No
Family	ALM-004-01 A	Opening 5	2100	300	fixed	0.0	WSW	No
Family	ALM-004-01 A	Opening 6	1800	3115	awning	20.0	WSW	No
Family	ALM-004-01 A	Opening 7	2100	2450	sliding	30.0	SSE	No
Family	ALM-004-01 A	Opening 8	1160	2190	fixed	0.0	SSE	No
Family	ALM-004-01 A	Opening 9	2100	2060	sliding	30.0	ENE	No
Family	ALM-004-01 A	Opening 10	1300	2190	fixed	0.0	ENE	No

Roof window type and performance value

Default* roof windows					
Window ID	Window Description	Maximum U-value*	SHGC*	Substitution tolerance ranges	
				SHGC lower limit	SHGC upper limit
No Data Available					
Custom* roof windows					
Window ID	Window Description	Maximum U-value*	SHGC*	Substitution tolerance ranges	
				SHGC lower limit	SHGC upper limit
No Data Available					

Roof window schedule

Location	Window ID	Window no.	Opening %	Area (m ²)	Orientation	Outdoor shade	Indoor shade
No Data Available							

Skylight type and performance

* Refer to glossary.

Skylight ID	Skylight description
GEN-04-004a	DC: Double Clear

Skylight schedule

Location	Skylight ID	Skylight No.	Skylight shaft length (mm)	Area (m ²)	Orientation	Outdoor shade	Diffuser	Skylight shaft reflectance
Bath	GEN-04-004a	Element 1	1000	0.4	N	None	No	0.75

External door schedule

Location	Height (mm)	Width (mm)	Opening %	Orientation
Garage	2100	2100	100.0	WSW
Garage	2100	2100	100.0	WSW
L'dry	2100	900	100.0	ENE
Family	2100	1020	100.0	WSW

External wall type

Wall ID	Wall type	Solar absorptance	Wall shade (colour)	Bulk insulation (R-value)	Reflective wall wrap*
1	FR5 - Brick Veneer	0.5	Medium	Glass fibre batt: R2.0 (R2.0)	No
2	FR5 - Internal Plasterboard Stud Wall	0.5	Medium		No
3	FR5 - Internal Plasterboard Stud Wall	0.5	Medium	Glass fibre batt: R2.0 (R2.0)	No
4	FR5 - Brick Cavity	0.5	Medium	Glass fibre batt: R2.0 (R2.0)	No

External wall schedule

Location	Wall ID	Height (mm)	Width (mm)	Orientation	Horizontal shading feature* maximum projection (mm)	Vertical shading feature (yes/no)
WC	1	2400	943	ENE	0	Yes
Bath	2	2400	126	SSE	0	Yes
Bath	1	2400	1271	ENE	0	Yes
Living	1	2400	4448	NNW	0	Yes
Living	2	2400	137	NNW	0	No
Living	1	2400	323	ENE	0	Yes
Living	1	2400	2973	ENE	0	No
Bed	1	2400	4115	SSE	0	Yes
Bed	1	2400	2356	ENE	0	No
Bed	1	2400	4572	SSE	0	No
Bed	1	2400	615	ENE	0	Yes
Garage	3	2400	260	NNW	0	Yes
Garage	1	2400	1203	NNW	0	Yes

* Refer to glossary.

Garage	1	2400	5453	WSW	0	No
Garage	1	2400	5608	SSE	0	No
Bed	2	2400	306	N	0	Yes
Bed	1	2400	2800	WSW	0	Yes
Bed	4	2400	4253	NNW	370	No
Bed	4	2400	3770	ENE	340	No
L'dry	4	2400	2722	ENE	346	No
Bed	4	2400	3288	NNW	416	No
Bed	4	2400	3776	WSW	340	No
Bed	4	2400	2161	SSE	340	Yes
ENS	4	2400	2700	WSW	363	No
ENS	4	2400	2414	NNW	340	No
Family	4	2400	2078	WSW	971	Yes
Family	4	2400	611	NNW	0	Yes
Family	4	2400	5906	WSW	360	Yes
Family	4	2400	4493	SSE	340	Yes
Family	4	2400	2821	WSW	340	Yes
Family	4	2400	4107	SSE	340	No
Family	4	2400	10826	ENE	346	No

Internal wall type

Wall ID	Wall type	Area (m ²)	Bulk insulation
1	FR5 - Brick Veneer	22	Glass fibre batt: R2.0 (R2.0)
2	FR5 - Internal Plasterboard Stud Wall	110.9	
3	FR5 - Internal Plasterboard Stud Wall	23.6	Glass fibre batt: R2.0 (R2.0)
4	FR5 - Internal Plasterboard Stud Wall	13.2	

Floor type

Location	Construction	Area (m ²)	Sub-floor ventilation	Added insulation (R-value)	Covering
WC	FR5 - CSOG: Slab on Ground	1.5	Enclosed	R0.0	none
Bath	FR5 - CSOG: Slab on Ground	4.9	Enclosed	R0.0	none
Living	FR5 - CSOG: Slab on Ground	15.8	Enclosed	R0.0	none
Living	FR5 - CSOG: Slab on Ground	12.6	Enclosed	R0.0	none
Bed	FR5 - CSOG: Slab on Ground	9.7	Enclosed	R0.0	none
Bed	FR5 - CSOG: Slab on Ground	11.5	Enclosed	R0.0	none
Garage	FR5 - CSOG: Slab on Ground	14.1	Enclosed	R0.0	none
Garage	FR5 - CSOG: Slab on Ground	17.5	Enclosed	R0.0	none
Bed	FR5 - CSOG: Slab on Ground	12	Enclosed	R0.0	none
Stair	FR5 - CSOG: Slab on Ground	3.3	Enclosed	R0.0	none

* Refer to glossary.

Bed	FR5 - Timber	16.3	Enclosed	R2.0	Timber (Mountain ash)
L'dry	FR5 - Timber	4.5	Enclosed	R2.0	Timber (Mountain ash)
Bath	FR5 - Timber	5.7	Enclosed	R2.0	Timber (Mountain ash)
Bed	FR5 - Timber	24.3	Enclosed	R2.0	Timber (Mountain ash)
ENS	FR5 - Timber	6.5	Enclosed	R2.0	Timber (Mountain ash)
Family	FR5 - Timber	66	Enclosed	R0.0	Timber (Mountain ash)
Family	FR5 - Timber	20	Enclosed	R2.0	Timber (Mountain ash)

Ceiling type

Location	Construction material/type	Bulk insulation R-value (may include edge batt values)	Reflective wrap*
WC	FR5 - Timber	R0.0	No
Bath	FR5 - Timber	R0.0	No
Living	FR5 - Timber	R0.0	No
Living	Plasterboard	R5.0	No
Bed	Plasterboard	R5.0	No
Bed	FR5 - Timber	R0.0	No
Garage	FR5 - Timber	R0.0	No
Garage	Plasterboard	R5.0	No
Bed	FR5 - Timber	R0.0	No
Stair	FR5 - Timber	R0.0	No
Bed	Plasterboard	R5.0	No
L'dry	Plasterboard	R5.0	No
Bath	Plasterboard	R5.0	No
Bed	Plasterboard	R5.0	No
ENS	Plasterboard	R5.0	No
Family	Plasterboard	R5.0	No
Family	Plasterboard	R5.0	No

Ceiling penetrations*

Location	Quantity	Type	Diameter (mm)	Sealed/unsealed
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* Refer to glossary.

Bath	1	Exhaust Fans	200	Sealed
ENS	1	Exhaust Fans	200	Sealed
Family	1	Exhaust Fans	200	Sealed

Ceiling fans

Location	Quantity	Diameter (mm)
No Data Available		

Roof type

Construction	Added insulation (R-value)	Solar absorptance	Roof shade
Disc:Attic-Discontinuous	0.0	0.5	Medium

Explanatory Notes

About this report

A residential energy rating is a comprehensive, dynamic computer modelling evaluation of a home, using the floorplans, elevations and specifications to estimate an energy load. It addresses the building layout, orientation and fabric (i.e. walls, windows, floors, roofs and ceilings), but does not cover the water or energy use of appliances or energy production of solar panels.

Ratings are based on a unique climate zone where the home is located and are generated using standard assumptions, including occupancy patterns and thermostat settings. The actual energy consumption of a home may vary significantly from the predicted energy load, as the assumptions used in the rating will not match actual usage patterns. For example, the number of occupants and personal heating or cooling preferences will vary.

While the figures are an indicative guide to energy use, they can be used as a reliable guide for comparing different dwelling designs and to demonstrate that the design meets the energy efficiency requirements in the National Construction Code. Homes that are energy efficient use less energy, are warmer on cool days, cooler on hot days and cost less to run. The higher the star rating the more thermally efficient the dwelling is.

Raters

Raters (non-accredited assessors) may not have completed a recognised software training course, do not have quality assurance checks conducted through NatHERS processes, do not have any ongoing training requirements **and are not supported or recognised under NatHERS**.

Any questions or concerns about this report should be directed to the rater in the first instance. If the rater is unable to address these questions or concerns, the state or territory building code authority should be contacted.

Disclaimer

The format of the energy rating report was developed by the NatHERS Administrator. However the content of each individual rating report is entered and created by the rater. It is the responsibility of the rater who prepared this rating report to use NatHERS accredited software correctly and follow the NatHERS Technical Notes to produce the rating report.

The predicted annual energy load in this rating report is an estimate based on an assessment of the building by the rater. It is not a prediction of actual energy use, but may be used to compare how other buildings are likely to perform when used in a similar way.

Information presented in this report relies on a range of standard assumptions (both embedded in NatHERS accredited software and made by the rater who prepared this report), including assumptions about occupancy, indoor air temperature and local climate.

Not all assumptions that may have been made by the rater while using the NatHERS accredited software tool, are

* Refer to glossary.

presented in this report. Further details or data files may be available from the rater.

Glossary

Annual energy load	the predicted amount of energy required for heating and cooling, based on standard occupancy assumptions.
Assessed floor area	the floor area modelled in the software for the purpose of the NatHERS assessment. Note, this may not be consistent with the floor area in the design documents.
Ceiling penetrations	features that require a penetration to the ceiling, including downlights, vents, exhaust fans, rangehoods, chimneys and flues. Excludes fixtures attached to the ceiling with small holes through the ceiling for wiring, e.g. ceiling fans; pendant lights, and heating and cooling ducts.
Conditioned	a zone within a dwelling that is expected to require heating and cooling based on standard occupancy assumptions. In some circumstances it will include garages.
Custom windows	windows listed in NatHERS software that are available on the market in Australia and have a WERS (Window Energy Rating Scheme) rating.
Default windows	windows that are representative of a specific type of window product and whose properties have been derived by statistical methods.
Entrance door	these signify ventilation benefits in the modelling software and must not be modelled as a door when opening to a minimally ventilated corridor in a Class 2 building.
Exposure category - exposed	terrain with no obstructions e.g. flat grazing land, ocean-frontage, desert, exposed high-rise unit (usually above 10 floors).
Exposure category - open	terrain with few obstructions at a similar height e.g. grasslands with few well scattered obstructions below 10m, farmland with scattered sheds, lightly vegetated bush blocks, elevated units (e.g. above 3 floors).
Exposure category - suburban	terrain with numerous, closely spaced obstructions below 10m e.g. suburban housing, heavily vegetated bushland areas.
Exposure category - protected	terrain with numerous, closely spaced obstructions over 10 m e.g. city and industrial areas.
Horizontal shading feature	provides shading to the building in the horizontal plane, e.g. eaves, verandahs, pergolas, carports, or overhangs or balconies from upper levels.
National Construction Code (NCC) Class	the NCC groups buildings by their function and use, and assigns a classification code. NatHERS software models NCC Class 1, 2 or 4 buildings and attached Class 10a buildings. Definitions can be found at www.abcb.gov.au .
Opening Percentage	the openability percentage or operable (moveable) area of doors or windows that is used in ventilation calculations.
Provisional value	an assumed value that does not represent an actual value. For example, if the wall colour is unspecified in the documentation, a provisional value of 'medium' must be modelled. Acceptable provisional values are outlined in the NatHERS Technical Note and can be found at www.nathers.gov.au
Reflective wrap (also known as foil)	can be applied to walls, roofs and ceilings. When combined with an appropriate airgap and emissivity value, it provides insulative properties.
Roof window	for NatHERS this is typically an operable window (i.e. can be opened), will have a plaster or similar light well if there is an attic space, and generally does not have a diffuser.
Shading device	a device fixed to windows that provides shading e.g. window awnings or screens but excludes eaves.
Shading features	includes neighbouring buildings, fences, and wing walls, but excludes eaves.
Solar heat gain coefficient (SHGC)	the fraction of incident solar radiation admitted through a window, both directly transmitted as well as absorbed and subsequently released inward. SHGC is expressed as a number between 0 and 1. The lower a window's SHGC, the less solar heat it transmits.
Skylight (also known as roof lights)	for NatHERS this is typically a moulded unit with flexible reflective tubing (light well) and a diffuser at ceiling level.
U-value	the rate of heat transfer through a window. The lower the U-value, the better the insulating ability.
Unconditioned	a zone within a dwelling that is assumed to not require heating and cooling based on standard occupancy assumptions.
Vertical shading features	provides shading to the building in the vertical plane and can be parallel or perpendicular to the subject wall/window. Includes privacy screens, other walls in the building (wing walls), fences, other buildings, vegetation (protected or listed heritage trees).

* Refer to glossary.

ALTERATIONS & ADDITIONS

BA DOCUMENTATION

CONTENTS

SHEET No.	DRAWING TITLE
G WD00-00	COVER SHEET
G WD00-01	GENERAL NOTES
G WD00-03	SITE PLAN
G WD00-02	FINISHES
G WD00-05	DEMOLITION - GROUND
G WD00-10	NEW WORKS - GROUND
G WD00-30	FURNITURE - GROUND
G WD01-05	DEMOLITION - FIRST
G WD01-10	NEW WORKS - FIRST
G WD01-30	FURNITURE - FIRST
G WD01-40	CEILING PLAN - FIRST
G WD01-41	ROOF PLAN - FIRST
G WD01-51	ELEVATIONS 01
G WD01-52	ELEVATIONS 02
G WD01-60	WINDOW SCHEDULE

AREA SCHEDULE

AREA	m ²
BLOCK	984m ²
EXISTING FIRST	145m ²
ADDITIONS FIRST	13m ²
EXISTING GROUND	126m ² incl stair
TOTAL	284m²
PLOT RATIO ACHIEVED	28%



TITLE WDPL00-00 COVER SHEET		DRAWING REVISIONS			Drawn AC Approved AC Creation date 12.02.2019 Project No G Scale 1:100 @ A3 Revision C	Sch 2.2(a)(ii)	
		Rev.	Description	Date			Rev.
		A	Issue for Information	01.11.22			
		B	Issue for BA	04.10.23			
		C	Issue for BA	26.10.23			

ALTERATIONS & ADDITIONS

**GENERAL NOTES:
(MUST BE READ IN CONJUNCTION WITH
RELEVANT BUILDING CODES, HOUSING
CODES, LEASE AND DEVELOPMENT
CONDITIONS AND SERVICES
DOCUMENTATION) - NCC 2022**

ALL CONSTRUCTION WORK MUST BE CONTAINED WITHIN THE SITE EXCEPT FOR THE APPROVED SERVICE CONNECTIONS TO THE VERGE AND DRIVEWAY/VERGE CROSSINGS.

NOTIFICATION OF COMPLIANCE:
PRIOR TO THE COMMENCEMENT OF SITE WORK CONTACT CITY OPERATIONS TO OBTAIN A CERTIFICATE OF COMPLIANCE FOR THE LANDSCAPE MANAGEMENT PROTECTION PLAN.

SITE ACCESS:
HEAVY VEHICLES MUST EXIT SITE VIA TEMPORARY CONSTRUCTION EXITS SHOWN. ACCESS GATES TO THE SITE MUST SWING IN.

EXISTING TREES:
ENSURE CONSTRUCTION EQUIPMENT CAN PASS BENEATH LOWEST LIMB THROUGH DRIVEWAY ACCESS. ENSURE LIFTING EQUIPMENT CAN CLEAR HEIGHT AND WIDTH OF TREE CROWN WITHOUT CAUSING DAMAGE TO CROWN WHERE APPROVED TRENCHING EXPOSES TREE ROOTS THIS IS TO OCCUR ON ONE SIDE OF THE TREE ONLY; DO NOT SEVER LARGE ROOTS CLOSER THAN HALFWAY FROM THE DRIP LINE TO THE TRUNK. ALL ROOTS MUST BE CUT CLEANLY WITH EQUIPMENT SPECIFICALLY DESIGNED TO CUT ROOTS OR PRUNING EQUIPMENT. ROOTS EXPOSED DURING EXCAVATION MUST BE PROTECTED BY KEEPING LIGHTLY WATERED OR COVER WITH HESSIAN WHICH MUST BE KEPT MOIST. WATER TREES WHICH HAVE HAD A DISTURBANCE IN THEIR ROOT ZONE. THE AMOUNT AND FREQUENCY OF WATERING NEEDS TO BE ADAPTED TO THE TREES REQUIREMENTS AND BASED ON SEASONAL CONDITIONS. A QUALIFIED LANDSCAPE ARCHITECT/HORTICULTURIST SHALL BE EMPLOYED TO OVERSEE WORK TO THE VERGE (REFER TO CITY MANAGEMENT LMPP GUIDELINES).

TRENCHING:
IF TRENCHING IS TO OCCUR WITHIN THE VERGE OBTAIN APPROVAL FROM CITY OPERATIONS BEFORE WORK COMMENCES.

EROSION AND SEDIMENT CONTROL NOTES:
1. THE CONTRACTOR SHALL ENSURE THAT CONSTRUCTION ACTIVITIES DO NOT PROMOTE EROSION HAZARDS AND SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID ALL UNSOUND WORK PRACTICES.
2. WHEN CONSTRUCTION IS HALTED BY WET WEATHER, HOLIDAYS, OR OTHER SHUTDOWNS THE SITE SHALL BE LEFT IN A STABLE CONDITION AND BE MADE SAFE TO THE PUBLIC AND OTHERS AT ALL TIMES.

3. ALL POLLUTION CONTROL MEASURES MUST BE OPERATIONAL PRIOR TO INITIATING WORKS IN THE CONTRIBUTING CATCHMENT, AND SHALL BE MAINTAINED DURING CONSTRUCTION, ADDITIONAL CONTROLS SHALL BE INSTALLED BY THE CONTRACTOR IF CONSIDERED NECESSARY BY THE SUPERINTENDENT.
4. ALL EROSION CONTROL WORKS SHALL BE REMOVED ON COMPLETION OF THE WORKS AS DIRECTED BY THE SUPERINTENDENT AND ALL SEDIMENT MATERIALS REMOVED TO AN APPROVED LOCATION OR TIP.
5. ALL TRUCK AND OTHER PLANT REMOVING SPOIL FROM THE SITE MUST BE COVERED TO AVOID ALL DUST AND DEPOSITION OF MATERIAL. ANY SOIL/DEBRIS CARRIED ONTO ROADWAY BY VEHICLES SHALL BE SWEEPED CLEAR AT END OF EACH WORKING DAY OR IMMEDIATELY IF RAIN PENDING.
6. SILT FENCES ARE TO BE CONSTRUCTED ON THE DOWN HILL SIDE OF ALL WORKS INCLUDING STOCKPILE AREAS.
7. WHEREVER POSSIBLE SPOIL SHALL NOT BE PLACED WHERE IT IS LIKELY TO FALL OR BE WASHED ONTO THE ROAD, GUTTERS OR DRAINS SPOIL SHALL BE PLACED UP HILL OF AND AWAY FROM ROADS, GUTTERS OR DRAINS. SILT FENCES ARE TO BE PLACED AROUND STOCKPILES TO ACT AS SEDIMENT CONTROLS.
8. AFTER BACK FILLING, EXCESS SPOIL SHALL BE REMOVED AND DISPOSED OF OFF SITE AT CONTRACTORS EXPENSE.
9. ENVIRONMENT PROTECTION AND HERITAGE MUST BE ADVISED PRIOR TO SPOIL LEAVING SITE QUANTITY, SOIL TYPE AND DESTINATION DETAILS REQUIRED.
10. A TRENCH OR EXCAVATION MAY ONLY BE PUMPED OUT WHERE THE SEDIMENT LEVEL IS LESS THAN 60mg/L. IF THE SEDIMENT LEVEL IS GREATER THAN PRIOR TO DISCHARGE, THE DAM MUST BE DOSED WITH EITHER ALUM OR GYPSUM AND ALLOWED TO SETTLE UNTIL THE DISCHARGE IS LESS THAN 60mg/L.
11. ENVIRONMENT PROTECTION AND HERITAGE TO BE NOTIFIED PRIOR TO ANY WATER BEING DISCHARGED FROM SITE.
12. EXISTING TREES FENCED NOT TO BE DAMAGED.
13. CONSTRUCT TEMPORARY CONSTRUCTION EXIT.
14. ANY STORM WATER PITS INDICATED SHALL HAVE GRAVEL FILTER ROLLS PROVIDED AT KERB INLETS UNTIL ADJACENT WORKS ARE STABILISED. FILTER ROLLS ARE TO BE MAINTAINED TO ENSURE OPTIMAL PERFORMANCE.
15. CONTRACTOR TO CONTACT TAMS ON 6207 6045 AFTER SITE FENCE HAS BEEN INSTALLED FOR INSPECTION.
16. WATER DAMPING TO BE USED FOR DUST SUPPRESSION DURING WORKS GENERATING SIGNIFICANT DUST AND ON WINDY DAYS. AREAS OF DISTURBED SOIL TO BE KEPT TO A MINIMUM.

- SITE WORKS:**
1. ALL EXCAVATION AND LEVELS TO BE CHECKED ON SITE BY SURVEYOR.
 2. SITE FENCE TO BE PROVIDED WITH GATE FOR SITE ACCESS. 1.8m HIGH CHAIN MESH FENCE.
 3. SILT BARRIER WHERE NECESSARY TO PREVENT RUNOFF FROM SITE.
 4. ALL SITE AMENITIES TO BE PROVIDED.
 5. DRAINAGE TO BE INSTALLED TO SUIT ACTEWAGL SERVICES PLAN.
 6. ALL FILL ON THE BLOCK TO BE COMPACTED SUFFICIENTLY TO SUPPORT STRUCTURAL WORKS SPECIFIED BY ENGINEER.

SLAB, FOOTINGS AND RETAINING WALLS:
ALL TO BE SPECIFIED AND DETAILED BY ENGINEER AND READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS. ANY DISCREPANCIES ARE TO BE ADDRESSED IMMEDIATELY WITH ENGINEER AND ARCHITECT.

STRUCTURAL STEEL:
ENGINEER TO SPECIFY AND DETAIL ALL STRUCTURAL STEEL AND TIMBER BEAMS, POST AND WALL BRACING. MUST BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS. ANY DISCREPANCIES ARE TO BE ADDRESSED IMMEDIATELY WITH ENGINEER AND ARCHITECT.

- MASONRY CONSTRUCTION:**
1. BRICKWORK TO BE INSTALLED WITH SPECIFIED MORTAR JOINTS FOR FACE BRICK.
 2. ALL BRICKWORK TO HAVE WEEP HOLES PROVIDED AS PER AUSTRALIAN STANDARDS.
 3. WEEP HOLES TO COMPLY WITH RELEVANT BUSH FIRE RATING FOR THE PROPOSED BLOCK.
 4. SUB FLOOR VENTILATION TO BE PROVIDED WHERE NECESSARY AND BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS FOR SIZE PER AREA OF SUB FLOOR.
 5. MORTAR MIX TO BE CORRECT CONSISTENCY AND QUANTITIES FOR ADEQUATE STRUCTURAL SUPPORT OF WALL LENGTHS AND HEIGHTS.
 6. BRICK TIES TO BE INSTALLED AT MINIMUM SPACING AND TIES TO BE INSTALLED AND FIXED OFF TO FRAMEWORK.
 7. CONTROL JOINTS TO BE PROVIDED IN BRICKWORK IN APPROPRIATE LOCATIONS OR AS SPECIFIED BY ENGINEER.
 8. KNOCK OUT BRICK TO BE PROVIDED EVERY 2m FOR WASH OUT OF CAVITY AFTER WALLS ARE BUILT.
 9. DAMP PROOF COURSE AND FLASHING TO BE INSTALLED APPROPRIATELY AND AS PER WALL FRAMING CODES.
 10. WATERPROOFING TO ALL WALLS TO BE BACK FILLED WITH EARTH. REFER TO ENGINEERS SPECIFICATIONS FOR DETAILS.

- WALL FRAMING AND TRUSS CONSTRUCTION:**
1. ALL TIMBER FRAMING TO BE IN ACCORDANCE WITH AUSTRALIAN TIMBER FRAMING CODE.
 2. PREFABRICATED WALL FRAMING TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS AND DETAILS.
 3. ROOF TRUSSES TO MANUFACTURERS SPECIFICATIONS.
 4. ROOF TRUSSES TO BE INSTALLED TO MANUFACTURERS DETAILS AND SPECIFICATIONS.
 5. BRACING AND FIXINGS AS PER ENGINEERS AND FRAMING MANUFACTURERS SPECIFICATIONS.
 6. WALL FRAMES TO BE SUFFICIENTLY BOLTED TO SLAB AT MINIMUM 1200mm c/s.
 7. REFER TO ROOF PLAN, ELEVATIONS OR SECTION FOR ROOF PITCH AND CLADDING SPECIFICATIONS.

- ROOF CLADDING:**
1. REFER TO ROOF PLAN, ELEVATIONS OR SECTION FOR ROOF CLADDING SPECIFICATIONS, PITCH AND GUTTER DETAILS.
 2. ROOF DETAILS MUST BE READ IN CONJUNCTION WITH MANUFACTURERS INSTALLATION SPECIFICATIONS.
 3. ALL FIXINGS TO BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

4. BATTEN SPACING TO SUIT RELEVANT ROOFING TYPE AND MANUFACTURERS SPECIFICATIONS.
5. FLASHING TO BE INSTALLED IN ALL APPROPRIATE AREAS AND SEALED WITH WEATHERPROOF SEALANT.
6. ROOF DRAINAGE TO HAVE A MINIMUM OF 50% OF THE ROOF AREA CONNECTED TO WATER TANK.
7. ALL OTHER ROOF DRAINAGE TO BE CONNECTED TO STORM WATER AS PER DRAINAGE PLAN PROVIDED BY PLUMBER AND DRAINER.
8. ANY SKYLIGHTS TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS AND DETAILS AND SEALED APPROPRIATELY.
9. ANY ROOF VENTILATORS TO BE INSTALLED TO MANUFACTURERS SPECIFICATION AND DETAIL AND SEALED APPROPRIATELY.

- WET AREA DETAILS:**
1. DESIGN OF WET AREAS AS PER ARCHITECTURAL PLANS OR AS SEPARATE SPECIFIC DESIGNS BY INTERIOR DESIGNER.
 2. FINAL LAYOUT OF DRAINAGE POINTS TO BE FINALISED BEFORE CONSTRUCTION.
 3. DAVCO WATER PROOFING SYSTEM OR SIMILAR TO ALL WET AREAS.
 4. WATERPROOFING TO ENTIRE SHOWER RECESS AND ANY HOB UP TO 1800mm HIGH.
 5. WATERPROOF FLOORS TO A MINIMUM OF 1500mm RADIUS FROM SHOWER HEAD.
 6. ALL HOB'S TO BE FULLY WATERPROOFED.
 7. BATH WALL TO BE WATERPROOFED MINIMUM OF 150mm ABOVE BATH.
 8. ALL PENETRATIONS TO BE SEALED AND WATERPROOFED.
 9. ALL WATERPROOFING TO BE INSTALLED BY CERTIFIED INSTALLER AND CERTIFICATE TO BE SUPPLIED UPON COMPLETION.
 10. PRODUCT USED TO MEET AUSTRALIAN STANDARD COMPLIANCE AND AT INSTALLERS DISCRETION.

- WINDOWS:**
1. FULL CONSTRUCTION COST AND BUILDER TO BE SELECTED PRIOR TO MANUFACTURE.
 2. WINDOWS ARE TO COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND SUPPLIED TO MATCH THE SPECIFICATIONS IN THE ENERGY RATING REPORT.
 3. WINDOW SIZES AND TYPE AS PER PLANS AND ELEVATIONS.
 4. WINDOWS TO COMPLY WITH RELEVANT BUSH FIRE PRONE AREAS. CHECK PRIOR TO MANUFACTURE.

- INTERNAL GLAZING DETAILS:**
1. SHOWER SCREENS TO BE SEMI FRAMELESS UNLESS OTHERWISE SPECIFIED BY OWNER AND BUILDER UPON CONTRACT SPECIFICATION.
 2. BALUSTRADES AS SPECIFIED ON PLANS OR AS PER OWNERS REQUEST AS STATED IN THE FINAL BUILDING CONTRACT.
 3. INTERNAL GLAZED TO MANUFACTURERS SPECIFICATION.

- FIRE SAFETY:**
1. SMOKE ALARMS TO BE INSTALLED BY ELECTRICIAN IN APPROPRIATE SPOTS TO COMPLY WITH RELEVANT FIRE SAFETY CODES.
 2. BUSH FIRE PRONE AREAS ARE AS PER LEASE AND DEVELOPMENT CONDITIONS AND MUST BE READ IN CONJUNCTION WITH THIS SPECIFICATION.

3. ALL BUILDING PERIMETER SEALING TO COMPLY WITH BUSH FIRE PRONE ZONE REQUIREMENTS.

SAFE MOVEMENT AND ACCESS:

1. STAIRS AS PER ARCHITECTURAL PLANS.
2. FINAL STAIR DETAILING BY ENGINEER OR STAIR MANUFACTURER.

ENERGY EFFICIENCY DETAILS:
ENERGY RATING TO BE SUPPLIED BY LICENSED ENERGY RATING PROVIDER AND STAMPED ON PLANS.

WATER SUPPLY AND DRAINAGE:
PLAN TO BE PROVIDED BY PLUMBING AND DRAINAGE COMPANY SELECTED BY BUILDER.

SERVICES PLAN:

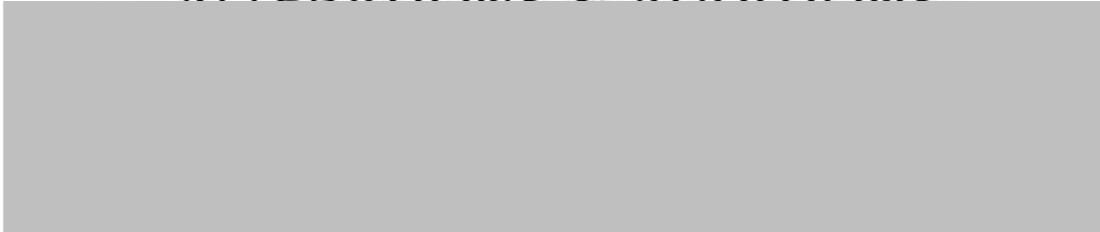
1. THIS PLAN IS NOT PRACTICAL TO BE DETAILED UNTIL OWNER HAS SELECTED A BUILDER AND HAS A COSTING WITH INCLUSIONS SPECIFIED FOR THE CONTRACT.
2. AIR CONDITIONAL UNIT LOCATION TO BE RECOMMENDED BY SUPPLIER ONCE SELECTED BY BUILDER AND UNIT TYPE SPECIFIED.
3. WATER TANK LOCATION AS PER PLAN.

MECHANICAL:

1. ALL MECHANICAL VENTILATION TO BE DUCTED DIRECTLY TO OUTSIDE ROOF SPACE IN ACCORDANCE WITH BCA V2 3.8.7.4
2. FLOW RATE OF MECHANICAL SYSTEMS TO COMPLY WITH BCA V2 3.8.7.3
3. UPPER FLOOR WINDOWS TO BE RESTRICTED IN ACCORDANCE BCA V2 3.9.2.6

<p>TITLE WDPL00-01 GENERAL NOTES</p>	<p>PROJECT [REDACTED]</p>	<p>DRAWING REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Rev.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>Issue for Information</td> <td>01.11.22</td> </tr> <tr> <td>B</td> <td>Issue for BA</td> <td>04.11.23</td> </tr> <tr> <td>C</td> <td>Issue for BA</td> <td>26.11.23</td> </tr> </tbody> </table>	Rev.	Description	Date	A	Issue for Information	01.11.22	B	Issue for BA	04.11.23	C	Issue for BA	26.11.23	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Rev.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	Rev.	Description	Date				<p>Drawn AC Approved AC Creation date 12.02.2019 Project No G Scale NTS Revision C</p>	<p>Sch 2.2(a)(ii)</p>
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ALTERATIONS & ADDITIONS



FINISHES - EXTERNAL

BR1
BRICK FINISH TYPE 01
EXISTING BRICK
- WARM WHITE



BR2
BRICK FINISH TYPE 02
BRICK BAGGED / RENDER
- WARM WHITE



SW1
STONE WALL
DRY STACK - BLUE STONE



TB1
TIMBER BALUSTRADE
REFURBISH EXISTING - NEW TO MATCH EXISTING
- MONUMENT



RF1
CLIP LOCK ROOFING
- MONUMENT



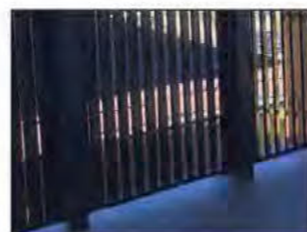
W00
GLAZING
- BLACK MATT



TL1
BLUESTONE TILE
- 600x300



TB2
TIMBER SLATTED SCREEN
- MONUMENT



RF2
PAINT EXISTING ROOF
- MONUMENT



GT1
GUTTER
- MONUMENT



EXISTING ROLLER GARAGE DOOR
- MONUMENT



TB3
TIMBER PERGOLA
REFURBISH EXISTING - NEW TO MATCH EXISTING
- MONUMENT



TITLE
WDPL00-02
EXTERNAL FINISHES

PROJECT
[Redacted]

DRAWING REVISIONS

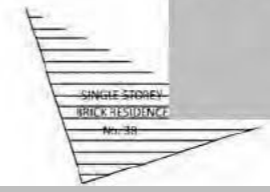
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Rev.	Description	Date

Drawn	AC
Approved	AC
Creation date	12.02.2019
Project No	G
Scale	NTS
Revision	C

DESIGN
Aron Copeland
M 0402 004 382
E aaron@capeziocopeland.com

Star rating 6.3
 Annual thermal performance
 Total 149 MJ/m²,
 Heating 123.9 MJ/m²,
 Cooling 25.1 MJ/m²
 Sch 2.2(a)(ii)



GENERAL LEGEND

- INDICATES EXISTING BUILT STRUCTURE
- INDICATES EXTENT OF BASE BUILDING NOT INCLUDED IN SCOPE OF WORKS



LE	m ²
	984m ²
F	145m ²
RST	13m ²
UND	126m ² incl stair
	284m ²
CHEIVED	28%
IMENT ust comply nent Protection Authority, ection Guidelines for d Land Development in 2007.	

TITLE WDPL00-03 SITE PLAN	PROJECT 	DRAWING REVISIONS			Drawn AC Approved AC Creation date 12.02.2019 Project No G Scale 1:100 @ A3 Revision A	Sch 2.2(a)(ii)
		Rev. A Description Issue for BA	Date 26.10.23	Rev. Description Date		




Star rating 6.3
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 Total 149 MJ/m²,
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 Sch 2.2(a)(ii)

- GENERAL LEGEND**
-  INDICATES EXISTING BUILT STRUCTURE
 -  INDICATES EXTENT OF BASE BUILDING NOT INCLUDED IN SCOPE OF WORKS
- DEMOLITION LEGEND**
-  INDICATES EXTENT OF HOUSE / GARAGE TO BE DEMOLISHED IN PREPERATION FOR NEW WORKS. COORDINATE SETOUT WITH NEW WORKS. REFER TO SERVICES DRAWINGS FOR ADDITIONAL INFORMATION.
 -  INDICATES EXTENT OF SLAB, DECKING, WINDOWS AND LANDSCAPE TO BE DEMOLISHED IN PREPERATION FOR NEW WORKS. COORDINATE SETOUT WITH NEW WORKS. REFER TO SERVICES DRAWINGS FOR ADDITIONAL INFORMATION.



01 DEMOLITION PLAN / GROUND
 SCALE 1:100

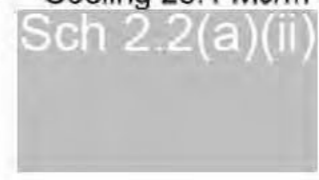


TITLE WDPL00-05 DEMOLITION - GROUND	PROJECT 	DRAWING REVISIONS			Rev. Description Date	Rev. Description Date	Drawn AC Approved AC Creation date 12.02.2019 Project No G Scale 1:100 @ A3 Revision C	Sch 2.2(a)(ii)
		Rev.	Description	Date				
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Sch 2.2(a)(ii)


Star rating 6.3
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Cooling 25.1 MJ/m²



- GENERAL LEGEND**
-  INDICATES EXISTING BUILT STRUCTURE
 -  INDICATES EXTENT OF BASE BUILDING NOT INCLUDED IN SCOPE OF WORKS
- NEW WORKS LEGEND**
-  270mm DOUBLE BRICK WITH 5mm RENDER/BAG EACH SIDE.
 -  110mm SINGLE BRICK WITH 5mm RENDER/BAG EACH SIDE.
 -  110mm TIMBER FRAMED WALL: 90mm STUD - 10mm PASTERBOARD.
 - SA = SMOKE ALARM

01 NEW WORKS PLAN / GROUND
SCALE 1:100



TITLE WDPL00-10 NEW WORKS - GROUND	PROJECT 	DRAWING REVISIONS			Rev. Description Date	Rev. Description Date	Drawn AC Approved AC Creation date 12.02.2019 Project No G Scale 1:100 @ A3 Revision C	Sch 2.2(a)(ii)
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Sch 2.2(a)(ii)

GENERAL LEGEND
INDICATES EXISTING BUILT STRUCTURE
INDICATES EXTENT OF BASE BUILDING NOT INCLUDED IN SCOPE OF WORKS

01 FURNITURE PLAN / GROUND
SCALE 1:100





TITLE WDPL00-30 FURNITURE - GROUND	PROJECT	DRAWING REVISIONS			Drawn AC Approved AC Creation date 12.02.2019 Project No G Scale 1:100 @ A3 Revision C	Sch 2.2(a)(ii)	
		Rev.	Description	Date			Rev.
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Star rating 6.3
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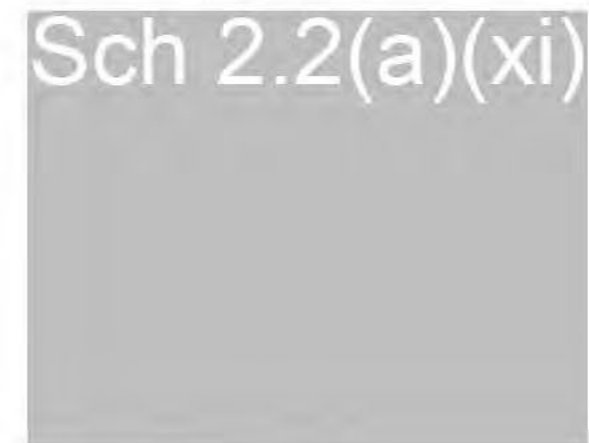
Sch 2.2(a)(ii)

GENERAL LEGEND

-  INDICATES EXISTING BUILT STRUCTURE
-  INDICATES EXTENT OF BASE BUILDING NOT INCLUDED IN SCOPE OF WORKS


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-  INDICATES EXTENT OF SLAB, DECKING, WINDOWS AND LANDSCAPE TO BE DEMOLISHED IN PREPARATION FOR NEW WORKS. COORDINATE SETOUT WITH NEW WORKS. REFER TO SERVICES DRAWINGS FOR ADDITIONAL INFORMATION.



01 DEMOLITION PLAN / FIRST
 SCALE 1:100




TITLE WDPL01-05 DEMOLITION - FIRST	PROJECT 	DRAWING REVISIONS			Drawn AC Approved AC Creation date 12.02.2019 Project No G Scale 1:100 @ A3 Revision C	Sch 2.2(a)(ii)	
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Sch 2.2(a)(ii)

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Sch 2.2(a)(ii)


GENERAL LEGEND


 INDICATES EXISTING BUILT STRUCTURE

 INDICATES EXTENT OF BASE BUILDING NOT INCLUDED IN SCOPE OF WORKS

NEW WORKS LEGEND

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 110mm SINGLE BRICK WITH 5mm RENDER/BAG EACH SIDE.


 100mm TIMBER FRAMED WALL, 90mm STUD - 10mm PASTERBOARD.

SA = SMOKE ALARM

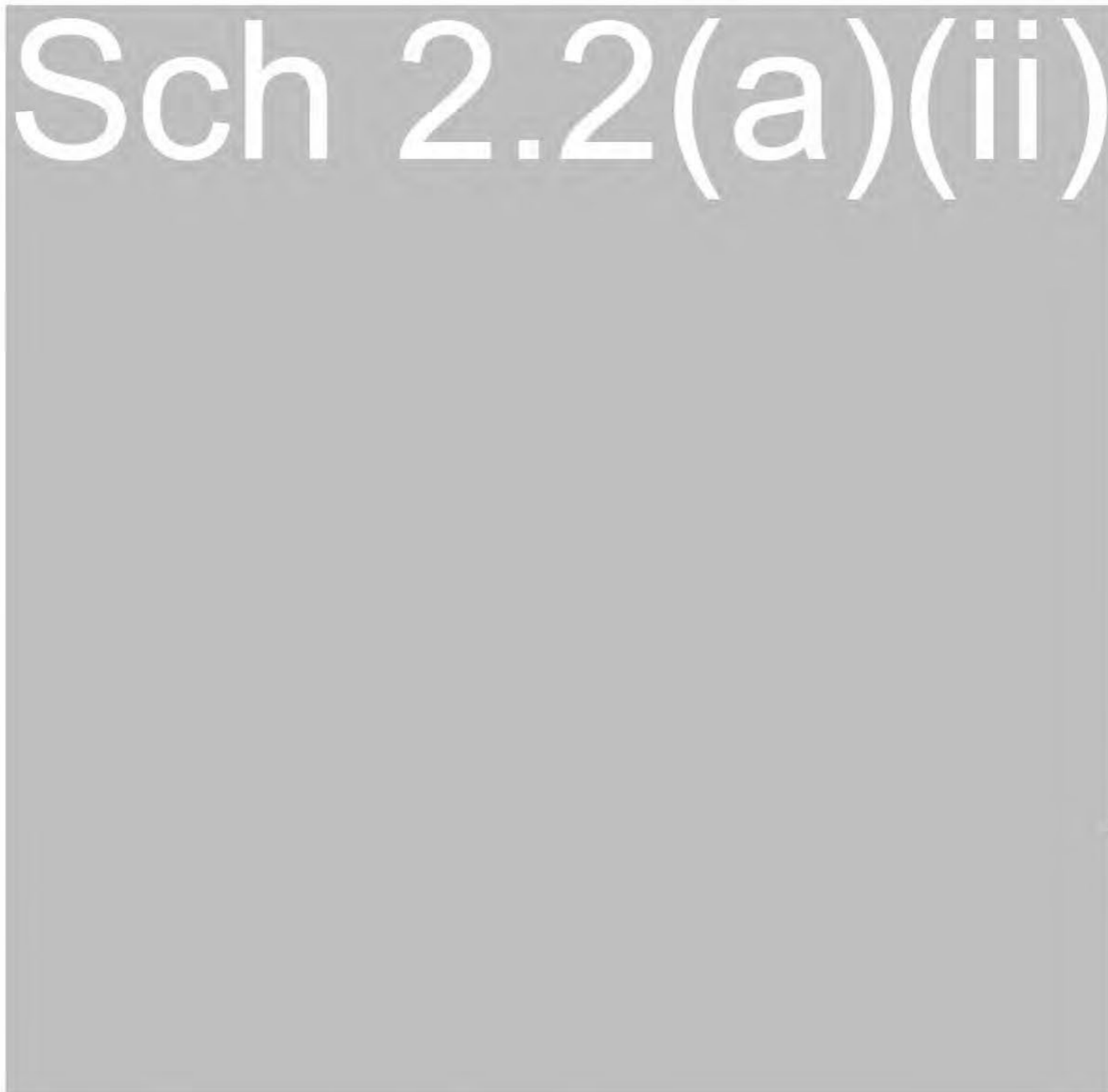
Balchmy / Patch Waterproofing is to be installed in accordance with BCA 2019 Volume 2 Part 3.8.1 and AS 4654.1-2 2012

01 NEW WORKS PLAN / FIRST
 SCALE 1:100



TITLE WDPL01-10 NEW WORKS - FIRST	PROJECT 	DRAWING REVISIONS			Drawn AC Approved AC Creation date 12.02.2019 Project No G Scale 1:100 @ A3 Revision C	Sch 2.2(a)(ii)
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Sch 2.2(a)(ii)



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Sch 2.2(a)(ii)

GENERAL LEGEND

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01 FURNITURE PLAN / FIRST
SCALE 1:100




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Sch 2.2(a)(ii)

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Sch 2.2(a)(ii)

GENERAL LEGEND

 INDICATES EXISTING BUILT STRUCTURE



 INDICATES EXTENT OF BASE BUILDING NOT INCLUDED IN SCOPE OF WORKS

CEILING LEGEND

SA = SMOKE ALARM

01 REFLECTED CEILING PLAN / FIRST
 SCALE 1:100





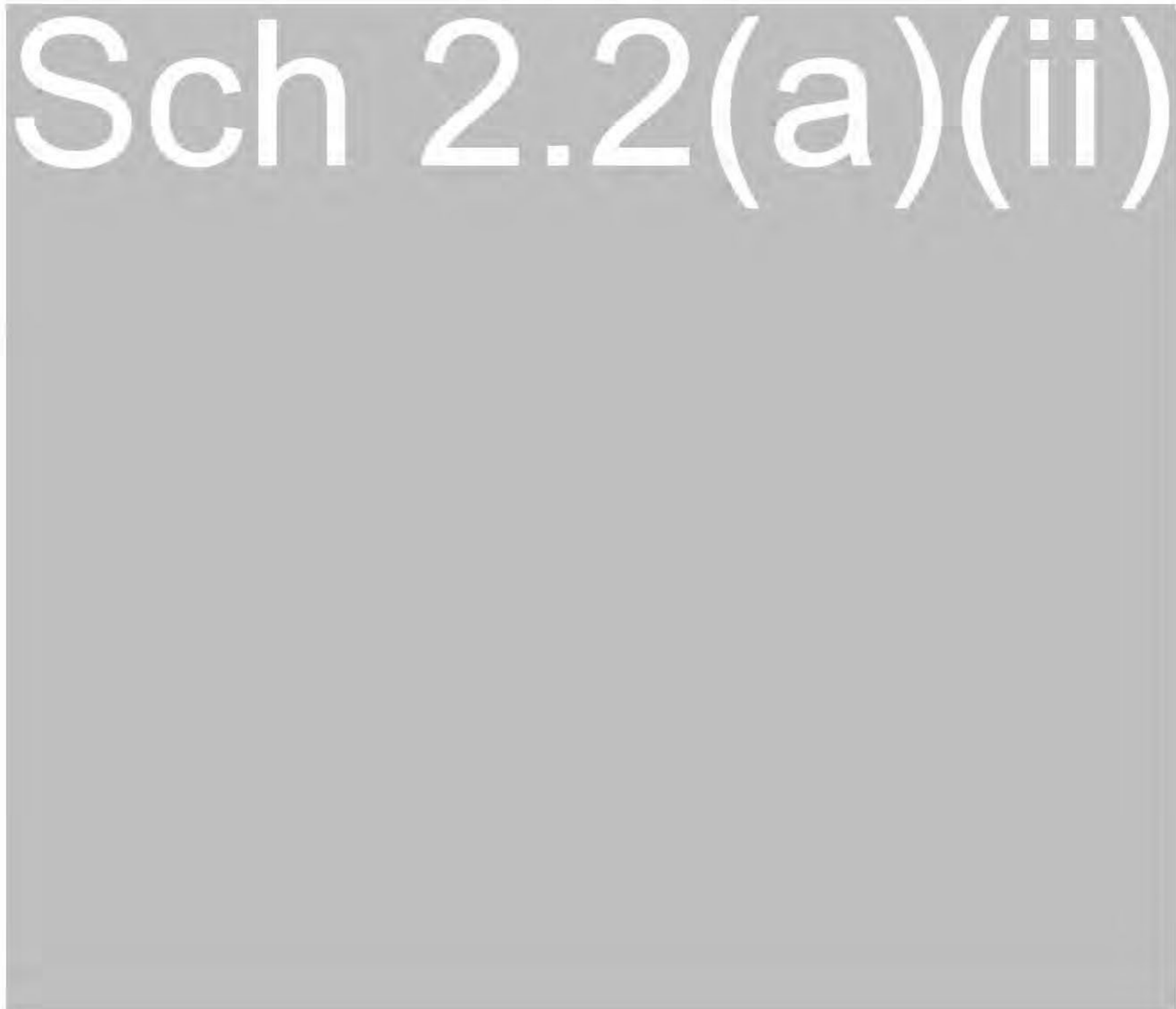
TITLE WDPL01-30 RCP - FIRST	PROJECT 	DRAWING REVISIONS <table border="1"> <thead> <tr> <th>Rev.</th> <th>Description</th> <th>Date</th> <th>Rev.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>Issue for Information</td> <td>01.11.22</td> <td></td> <td></td> <td></td> </tr> <tr> <td>B</td> <td>Issue for BA</td> <td>04.10.23</td> <td></td> <td></td> <td></td> </tr> <tr> <td>C</td> <td>Issue for BA</td> <td>26.10.23</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	Rev.	Description	Date	Rev.	Description	Date	A	Issue for Information	01.11.22				B	Issue for BA	04.10.23				C	Issue for BA	26.10.23				Drawn AC Approved AC Creation date 12.02.2019 Project No G Scale 1:100 @ A3 Revision C	Sch 2.2(a)(ii) 
Rev.	Description	Date	Rev.	Description	Date																							
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Sch 2.2(a)(ii)

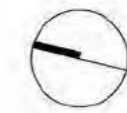
Star rating 6.3
 Annual thermal performance
 Total 149 MJ/m²,
 Heating 123.9 MJ/m²,
 Cooling 25.1 MJ/m²



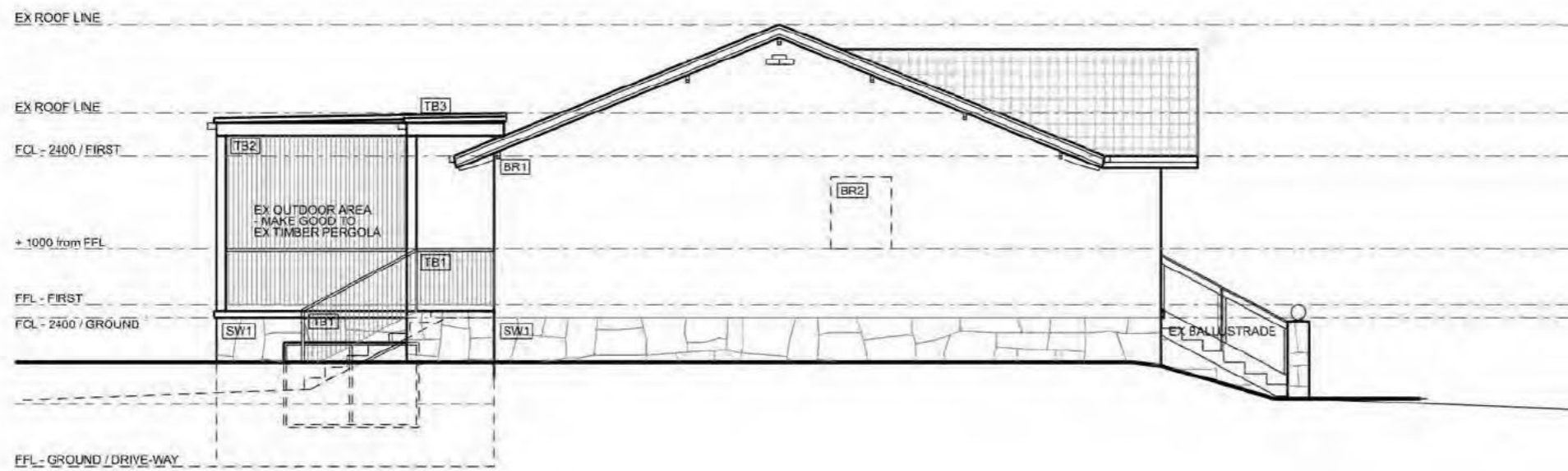
- GENERAL LEGEND**
-  INDICATES EXISTING BUILT STRUCTURE
 -  INDICATES EXTENT OF BASE BUILDING NOT INCLUDED IN SCOPE OF WORKS
- ROOF LEGEND**
- RF1 COLORBOND TRIMDEK ROOF SHEETING
COLORBOND - MONUMENT
 - RF2 EXISTING ROOF PAINT - MONUMENT
 - GT1 COLORBOND GUTTER ROUND PROFILE
COLORBOND - MONUMENT
 - DP DOWNPIPE.
FINAL LOCATIONS AND OVER FLOWS TBC
 - RW RAINWATER HEAD.
FINAL LOCATIONS AND OVER FLOWS TBC



01 ROOF PLAN
 - SCALE 1:100



TITLE WDPL01-41 ROOF PLAN	PROJECT	DRAWING REVISIONS			Rev. Description Date	Rev. Description Date	Drawn AC Approved AC Creation date 12.02.2019 Project No G Scale 1:100 @ A3 Revision C	Sch 2.2(a)(ii)
		Rev. Description Date A Issue for Information 01.11.22 B Issue for BA 04.10.23 C Issue for BA 26.10.23						



GENERAL LEGEND
 ■ INDICATES EXISTING BUILT STRUCTURE
 ■ INDICATES EXTENT OF BASE BUILDING NOT INCLUDED IN SCOPE OF WORKS

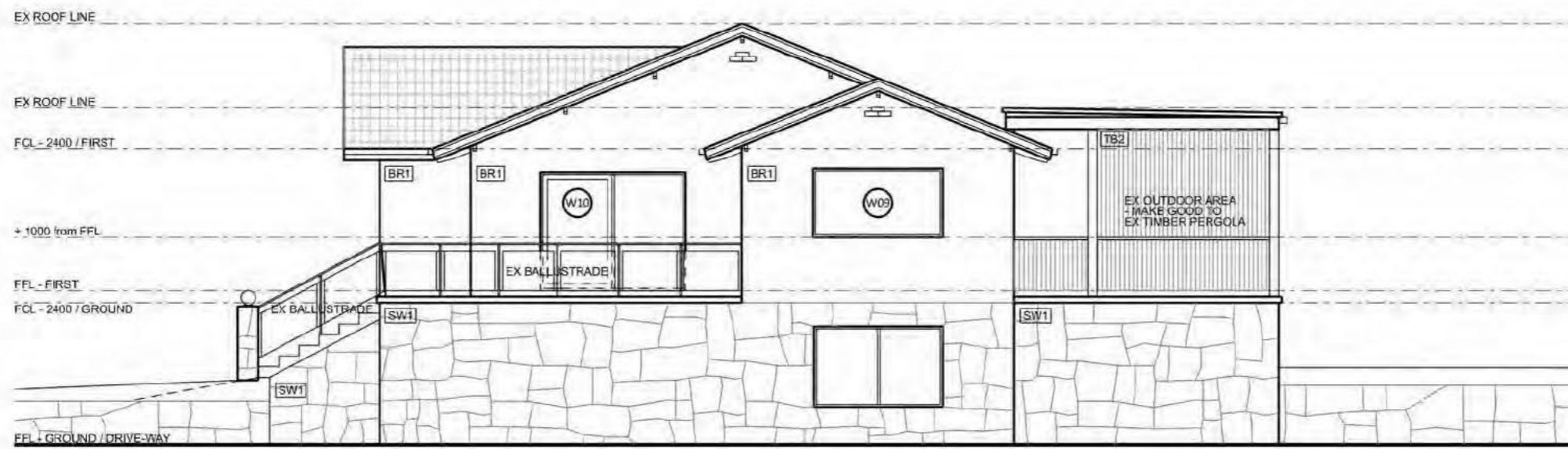
Star rating 6.3
 Annual thermal performance
 Total 149 MJ/m²,
 Heating 123.9 MJ/m²,
 Cooling 25.1 MJ/m²
 Sch 2.2(a)(ii)

01 NORTH ELEVATION
 SCALE 1:100



01 WEST ELEVATION
 SCALE 1:100

TITLE WDPL01-50 ELEVATIONS	PROJECT [REDACTED]	DRAWING REVISIONS			Drawn AC Approved AC Creation date 12.02.2019 Project No G Scale 1:100 @ A3 Revision C	Sch 2.2(a)(ii)
		Rev.	Description	Date		
		A	Issue for Information	01.11.22		
		B	Issue for BA	04.10.23		
		C	Issue for BA	26.10.23		

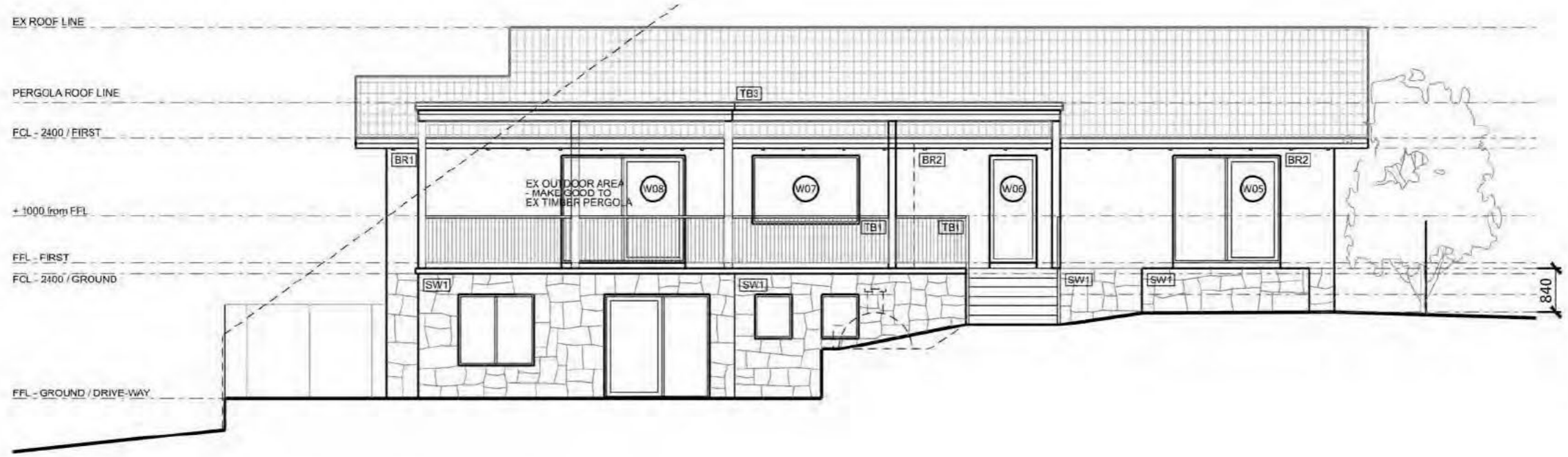


GENERAL LEGEND

- INDICATES EXISTING BUILT STRUCTURE
- INDICATES EXTENT OF BASE BUILDING NOT INCLUDED IN SCOPE OF WORKS

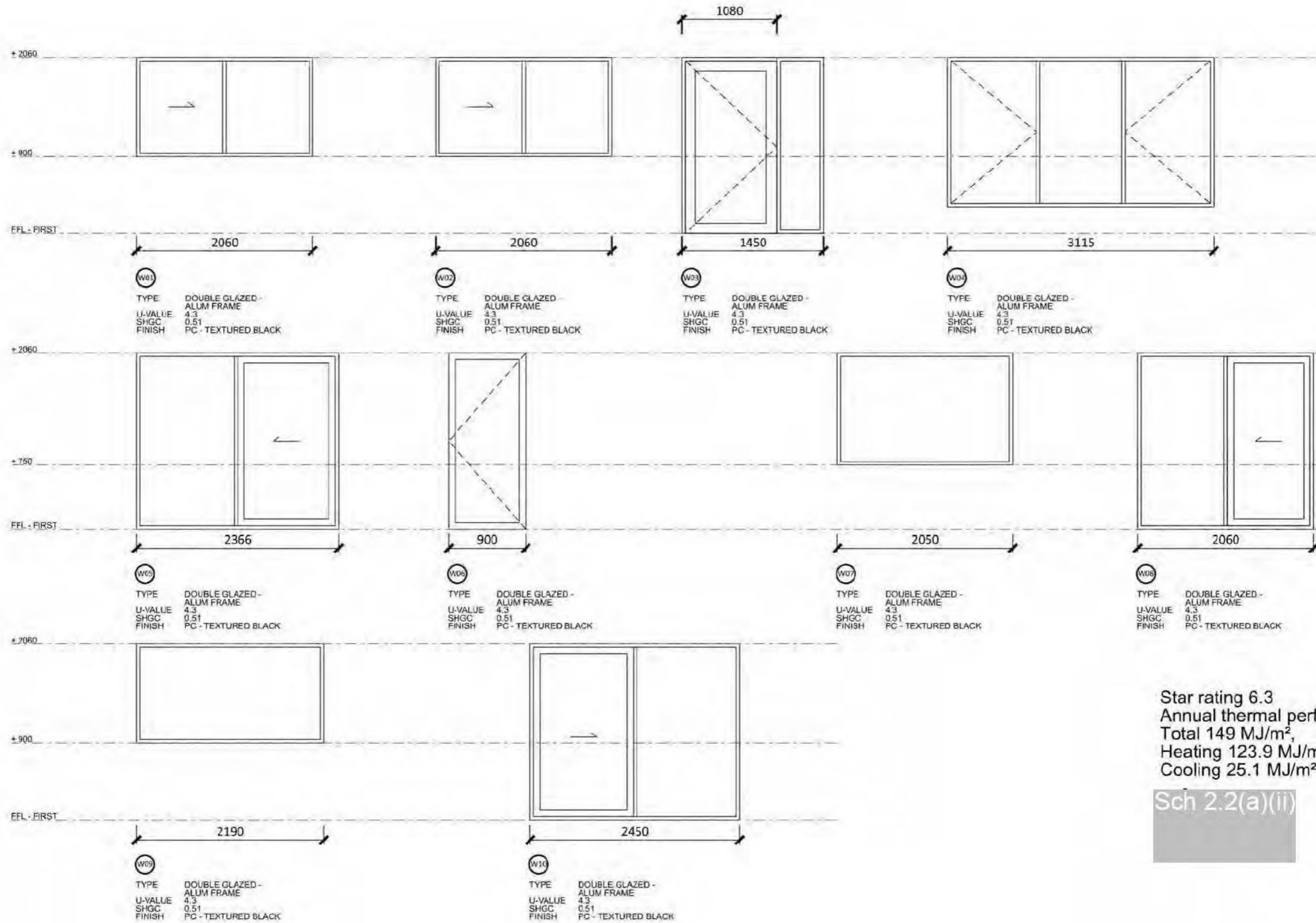
Star rating 6.3
 Annual thermal performance
 Total 149 MJ/m²,
 Heating 123.9 MJ/m²,
 Cooling 25.1 MJ/m²
 Sch 2.2(a)(ii)

01 SOUTH ELEVATION
 SCALE 1:100



01 EAST ELEVATION
 SCALE 1:100

TITLE WDPL01-51 ELEVATIONS	PROJECT [REDACTED]	DRAWING REVISIONS				Drawn AC Approved AC Creation date 12.02.2019 Project No G Scale 1:100 @ A3 Revision B	Sch 2.2(a)(ii)
		Rev. Description Date A Issue for Information 01.11.22 B Issue for BA 04.10.23 C Issue for BA 26.10.23	Rev. Description Date				



Star rating 6.3
 Annual thermal performance
 Total 149 MJ/m²,
 Heating 123.9 MJ/m²,
 Cooling 25.1 MJ/m²

Sch 2.2(a)(ii)

TITLE WDPL01-60 WINDOW SCHEDULE	PROJECT	DRAWING REVISIONS			Drawn	AC
		Rev.	Description	Date	Approved	AC
		A	Issue for Information	01.11.22	Creation date	12.02.2019
		B	Issue for BA	04.10.23	Project No	G
	C	Issue for BA	26.10.23	Scale	1:100 @ A3	
		Rev.	Description	Date	Revision	C

Sch 2.2(a)(ii)

Inspection Report - Presheet

PROPOSAL

Building Approval Number: B20234645
Description of Work(s): Additions and alterations
Builder: Olive Tree Construction Pty Ltd
CBS Reference: R230752

INSPECTION DETAILS

Inspection Stage: Presheet
Inspection date and time: 29/01/2024 02:00 PM
Appointed Certifier: CBS Residential Certifiers Pty Ltd
ACT Licence No: 2019937

INSPECTION SUMMARY

An inspection of the building work has been carried out:

As a result of that inspection, I hereby certify that the building work complies with section 42 of the Building Act 2004 and may proceed.

INSPECTION RESULTS

The areas inspected and the overall outcome of the inspection are listed below, together with any specific defects noted or documents required.

Inspection Area	Inspection Outcome	Reinspections
1. Presheet	Satisfactory (minor issues) subject to documents being provided	No re-inspections required for this inspection.

REQUIRED DOCUMENTS

The following documentation is required to be provided. Note this list is not exhaustive and other items may be requested at a later date:

1. Engineers Certificate – Required

Additional Inspection Notes: NB. Provided engineer certificate for structural changes

SIGNED BY:

Sch 2.2(a)(ii)

29/01/2024

Sch 2.2(a)(xi)

Minimum Documentation Requirements Definitions and Checklist

The preferred format of documents and plans is in portable document format (.pdf).

The preferred electronic size of plans is A3 and other documents A4.

Required 'plans' are to be fully dimensioned and to the scales as identified below and must contain a drawing title block which includes the site details, revision number, designers name and correct plan name in accordance with AS1100.

Required 'details' can be included in plans and/or specifications.

Submission Requirement	Required Information	Checklist
<u>Form – Minimum Documentation Requirements for Building Approval Lodgement Checklist</u>	Fully completed form: Minimum Documentation Requirements Definitions and Checklist. (This form)	<input checked="" type="checkbox"/> Supplied as stand alone or in document <hr/> <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
<u>Form – Appointment of Certifier</u>	Fully completed form: Appointment of a certifier application for building approval.	<input checked="" type="checkbox"/> Supplied as stand alone or in document <hr/> <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
<u>Asbestos Removal Control Plan</u>	Prepared in accordance with Code of practice for the safe removal of Asbestos National Occupational Health and Safety Commission 2 nd Edition (NOHSC: 2002(2005))	<input type="checkbox"/> Supplied as stand alone or in document <hr/> <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use
<u>Development Approval</u>	Each Plan, Drawing and document, including the notice of decision, which formed part of the development approval.	<input type="checkbox"/> Supplied as stand alone or in document <hr/> <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use
<u>Estimate of the Cost of the Building Work</u>	As calculated in accordance with Building (General) (Cost of Building Work) Determination.	<input checked="" type="checkbox"/> Supplied as stand alone or in document <hr/> <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
<u>Alternative Solutions</u>	All calculations, reports, certificates and manufacturer's information together with a written proposition to support a building solution which is not in accordance with the Deemed-to-Satisfy provisions of the National Construction Code.	<input type="checkbox"/> Supplied as stand alone or in document <hr/> <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use
<u>Site Plan</u>	<ul style="list-style-type: none"> Scale not less than 1:200 	<input checked="" type="checkbox"/> Supplied as stand alone or in document

	<ul style="list-style-type: none"> the title boundaries, dimensions and directions including the north point, of the land the position and dimensions of any easement or services on the land the position and dimensions of the proposed building or structure (retaining walls, swimming pools, garages, etc.) or building work on the land Driveways and parking areas and crossovers Finished floor levels relative to site datum Finished site levels relative to the Australian height datum The relationship of the proposed building or building work to the boundaries of the land The position of any buildings on adjoining properties within 3m of the boundary of the land Detailed contours of the land at 0.25m intervals over the building site referenced to a project site datum Earthworks (excavations or fill levels relative to the Australian Height datum, and compaction details) and associated soil and water management strategies The position of any existing building, structure or trees on the land and the purpose for which the building or structure is used All utility connection points including electrical, stormwater, sewerage, water and telecommunication/data 	<input type="checkbox"/> _____ Not required <input type="checkbox"/> Office Use
Floor Plan	<ul style="list-style-type: none"> Scale not less than 1:100 A plan for each floor including any trafficable subfloor areas Dimensions Key to sections cross referenced to relevant drawing and sheet number Finished floor levels related to Australian Height Datum Identification of the existing building Identification of all rooms (existing and proposed) 	<input checked="" type="checkbox"/> Supplied as stand alone or in document <input type="checkbox"/> _____ Not required <input type="checkbox"/> Office Use
Elevation Plan	<ul style="list-style-type: none"> Scale of not less than 1:100 Dimensioned heights including overall heights Proposed external materials referenced to a materials schedule Finished floor levels and ceiling levels Natural and finished ground levels related to Australian Height Datum Floor to ceiling heights 	<input checked="" type="checkbox"/> Supplied as stand alone or in document <input type="checkbox"/> _____ Not required <input type="checkbox"/> Office Use

<p>Section Details – Wall, Floor Ceiling & Roof</p>	<ul style="list-style-type: none"> • Scale of not less than 1:100 • Finished floor levels and ceiling levels • Natural and finished ground levels related to <hr/> Australian Height Datum • Floor to ceiling heights • Long section of any proposed basement ramp <hr/> showing gradients • Section of any sub floor areas 	<input checked="" type="checkbox"/> Supplied as stand alone or in document <hr/> <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
<p>Demolition Plan</p>	<ul style="list-style-type: none"> • Scale not less than 1:200 • the title boundaries, dimensions and directions including the north point, of the land • the position and dimensions of any easement or utility tie or service points on the land • the position and dimensions of the proposed buildings or structures to be demolished • The relationship of the proposed demolition to the boundaries of the land • The position of any buildings on adjoining properties within 3m of the boundary of the land • The position of any existing building, structure or trees and the purpose for which the building or structure is used • Identification of erosion and sediment control measures 	<input checked="" type="checkbox"/> Supplied as stand alone or in document <hr/> <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
<p>Footings and Concrete Slab Details</p>	<ul style="list-style-type: none"> • Section of any sub floor areas • Dimensioned plan and construction details of footings including penetrations, step down details and placement of reinforcement <hr/> including cover • Nominated founding depth and description of founding material • Dimensioned plan and construction details of slabs including levels, falls or gradients • Construction details of penetrations, step downs in beams, set downs in slabs and placement details of reinforcement including cover • Slab preparation including materials, thicknesses, compaction requirements, vapour barrier specifications and installation details • Concrete strength, slump, finishing and curing requirements • Specifications and installation details of <hr/> proprietary and other systems 	<input checked="" type="checkbox"/> Supplied as stand alone or in document <hr/> <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
<p>Retaining Wall Details</p>	<ul style="list-style-type: none"> • Dimensioned plan showing position of retaining wall, drainage, founding levels and heights • Dimensioned construction details • Drainage, tanking and protection details • Backfill specifications • Concrete mix, slump, reinforcement placement Washout requirements 	<input type="checkbox"/> Supplied as stand alone or in document <hr/> <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use

	<ul style="list-style-type: none"> • Specifications and installation details of proprietary and other systems 	
<u>Masonry Construction Details</u>	<ul style="list-style-type: none"> • Show unreinforced, reinforced or earthwall construction • Identify structural and non-structural walls • Specify dimensions of engaged and isolated piers • Reinforcing specified for reinforced walls • Identify fire rating requirement • Masonry unit sizes and bond patterns and tooling of joints • Specification of brick ties and anchorages • Mortar specification • Cavity dimension and clean out specification • Knockout blocks for washout • Control joint location and detail • Sub floor vents. Location and Size per metre • Specify lintels and bond beams • Sub floor bracing (masonry shear walls) • Weatherproofing and waterproofing details • Flashings, damp proof course and weep holes • Weep hole guards (insects, bushfire prone areas) 	<input type="checkbox"/> Supplied as stand alone or in document <hr/> <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use
<u>Framing (including trusses) and Construction Details</u>	<ul style="list-style-type: none"> • Framing drawings or schedules to indicate each structural member, dimensions, orientation, material, grade and size, spacing and span • Joint, support and bearing details • Show minimum clearances to ground level of flooring system members • Fire rating construction details • Bracing, tie downs and fixings • Roof pitch, eave / overhang details • Show location of roof mounted solar panels, hot water service or air conditioners 	<input type="checkbox"/> Supplied as stand alone or in document <hr/> <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use
<u>Roof Cladding Details</u>	<ul style="list-style-type: none"> • Sheeting or tile specification including: <ul style="list-style-type: none"> ○ Roof pitch ○ Batten spacing ○ Fixing requirements ○ Flashing details ○ Roof drainage ○ Bushfire sealing requirements • Roof lights • Roof ventilators 	<input checked="" type="checkbox"/> Supplied as stand alone or in document <hr/> <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
<u>Exterior Cladding and Material Details</u>	<ul style="list-style-type: none"> • Cladding system description, manufacturer, material, pattern and colour, cavity detailing • Fixings, flashings and other details • Sub floor ventilation • Bushfire protection requirements 	<input type="checkbox"/> Supplied as stand alone or in document <hr/> <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use
<u>Wet area details</u>	<ul style="list-style-type: none"> • Specify material and system • Wet areas specification (extent and system 	<input checked="" type="checkbox"/> Supplied as stand alone or in document <hr/>

	<p>e.g. membrane, manufacturer and type)</p> <ul style="list-style-type: none"> • Location and design of wet areas 	<input type="checkbox"/> Not required <input type="checkbox"/> Office Use
<u>Windows and Glazing Details</u>	<ul style="list-style-type: none"> • Window system description, manufacturer, frame material and energy rating • Glazing specification • Bushfire prone areas requirements • Opening size for ventilation calculation • Other glazing <ul style="list-style-type: none"> ○ Internal glazing specifications including wet area glazing, shower screens, doors ○ Balustrade system specification (glass and fixings) ○ Overhead glazing, roof lights 	<input checked="" type="checkbox"/> Supplied as stand alone or in document <hr/> <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
<u>Fire Safety Details</u>	<ul style="list-style-type: none"> • Smoke alarms location and type • Bushfire prone areas specifications • Fire separation details • Penetration sealing specifications (building perimeter) 	<input checked="" type="checkbox"/> Supplied as stand alone or in document <hr/> <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
<u>Safe Movement and access (including stairs and ramps) Details</u>	<ul style="list-style-type: none"> • Construction – type, material and proprietary system • Balustrade construction, spacing and handrails • Clearance height above stair nosings • Winders detail • Dimensions of landings, risers and goings • Section through the stairs • Method of construction, including aperture size, non-slip requirements • Ramp slope and surface finish 	<input type="checkbox"/> Supplied as stand alone or in document <hr/> <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use
<u>Swimming Pools and Spas Details (including fencing/barriers)</u>	<ul style="list-style-type: none"> • Construction details, waterproofing, drainage, pool water recirculation and filtration systems • Pool safety barrier details and height • Openings, gates and latches 	<input type="checkbox"/> Supplied as stand alone or in document <hr/> <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use
<u>Energy Efficiency Details</u>	<ul style="list-style-type: none"> • Building fabric thermal efficiency specification <ul style="list-style-type: none"> ○ walls, ceiling, floors and roof ○ Insulation location and R value ○ Sarking vapour permeability • Window energy specification • Energy rating documentation • Building sealing • Air movement control strategies • Pipe and services insulation • Glazing calculator to be supplied if a Deemed-To-Satisfy solution • Under slab or slab edge insulation 	<input checked="" type="checkbox"/> Supplied as stand alone or in document <hr/> <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
<u>Water Supply and Drainage</u>	<ul style="list-style-type: none"> • An interim sanitary drainage plan • A plan that identifies the location of all 	<input checked="" type="checkbox"/> Supplied as stand alone or in document <hr/>

<u>Plan</u>	relevant water supply and drainage points to the building <ul style="list-style-type: none"> • Surface and sub-surface site drainage including location of on-site waste water management systems including land application area • Levels of overflow relief gully (ORG) rim relative to the lowest sanitary plumbing fixture outlet and the surrounding finished surface level • Levels of invert to existing and proposed drainage services at point of connection to approved disposal system 	<input type="checkbox"/> Not required <input type="checkbox"/> Office Use
<u>Services Plan</u>	<ul style="list-style-type: none"> • A plan that identifies the location of all relevant internal and external electrical points in or on the building, lighting, plant and mechanical, for example air-conditioning, evaporative cooling, exhaust fans, water heaters, fixed appliances and water tanks (including connection) 	<input type="checkbox"/> Supplied as stand alone or in document <hr/> <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use
Building Certifier: CBS Residential Certifiers Pty Ltd Date: 29/11/2023		ESDD Customer Service Officer: _____ Date: _____

11/6/23

CERTIFICATE OF SITE CLASSIFICATION

Name of Lessee / Owner of the Site Sch 2.2(a)(ii)	[Redacted]
Job Number [Redacted]	
Description of Building Work Additions	

In investigation of the site to determine the classification,
I used the following procedure:

Existing building records and local knowledge of soil conditions

Classification of foundation material - AS 2870.1 Clause 2.1.1

Foundation

Moderately reactive clay sites

Class (as per AS2870) - M

Declaration

As a practicing professional structural engineer, I am a competent person with knowledge and experience of site investigation and classification.

Sch 2.2(a)(ii)

02 6103 0671



office@actce.com.au



www.actce.com.au



14/160 Lysaght Street, Mitchell ACT 2911





Electricity Networks

STATEMENT OF

CONDITIONAL COMPLIANCE

Application No: 214997 Suburb: [REDACTED]

Appcn Type: Single residential/Addition Inclusions : Alteration/Addition

This application is approved subject to compliance with the following conditions:

Conditions

A Minimum of 1.0M clearance is required within the block boundary for the proposed or existing Meter Box.

Construction work methods must consider the impact of erecting and working from scaffolding in proximity to existing and proposed Evoenergy assets.

Components/Structures must comply with the attached Evoenergy document 'PO 07475 - Scaffolding Work Near Overhead Powerlines' and also Worksafe ACT requirements.

Development is to comply with minimum clearances to overhead conductors and poles. Ref Evoenergy Drawing 3811-004

Proposed and existing development is to comply with minimum 1.5m machinery access clear of obstacles and vegetation to assets within or adjacent to the block. The development must maintain existing access arrangements to Evoenergy assets that located within or adjacent to the block at all time.

- No development activity shall be undertaken
 - a) within an electricity easement or,
 - b) that restricts access to Evoenergy asset/s

The location of the proposed or existing Point of Entry/ Meter Box is to comply with Evoenergy's Service and Installation rules.

Please Note

- WARNING Evoenergy underground assets may be in or adjacent to this block. It is your responsibility to ascertain the location of such assets.
- Development and Building Applications will need to include any proposed Evoenergy works.
- If Evoenergy approval conditions are not met, a breach of the law may result.
- Separate applications are required for water & sewerage and communication network services.
- Construction of unapproved works may result in action being taken to require the property owner to remove non-compliant structures and/or the property owner to fund rectification works on Evoenergy's electricity network.
- Any attached reticulation or servicing plan is preliminary only. Contact Evoenergy for final plans prior to the commencement of any construction activity.
- A failure of this application to show accurately located electricity assets may result in damage and costs for which the proponent will be liable. Damage to network assets must be reported to Evoenergy.

Comments:

Sch 2.2(a)(ii)


Date 02 Nov 2023

For further information please phone Evoenergy Electricity Networks: 6293 5770

Sch 2.2(a)(ii)

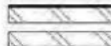



GENERAL LEGEND


 INDICATES EXISTING BUILT STRUCTURE


 INDICATES EXTENT OF BASE BUILDING NOT INCLUDED IN SCOPE OF WORKS

NEW WORKS LEGEND

 270mm DOUBLE BRICK WITH 5mm RENDER/BAG EACH SIDE.

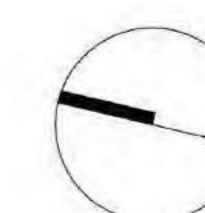
 400mm DRY STONE BLADE WALL


 110mm SINGLE BRICK WITH 5mm RENDER/BAG EACH SIDE.

 100mm TIMBER FRAMED WALL. 90mm STUD - 10mm PASTERBOARD.

2900

01 NEW WORKS PLAN / GROUND
- SCALE 1:100





<p>TITLE WDPL00-10 NEW WORKS - GROUND</p>	<p>PROJECT </p>	<p>DRAWING REVISIONS</p> <table border="1"> <thead> <tr> <th>Rev.</th> <th>Description</th> <th>Date</th> <th>Rev.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>Issue for Information</td> <td>01.11.22</td> <td></td> <td></td> <td></td> </tr> <tr> <td>B</td> <td>Issue for BA</td> <td>04.10.23</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	Rev.	Description	Date	Rev.	Description	Date	A	Issue for Information	01.11.22				B	Issue for BA	04.10.23				<p>Drawn AC Approved AC Creation date 12.02.2019 Project No G Scale 1:100 @ A3 Revision B</p>	<p>Sch 2.2(a)(ii)</p>
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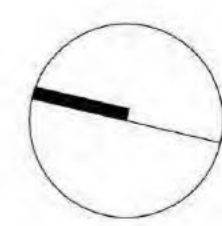
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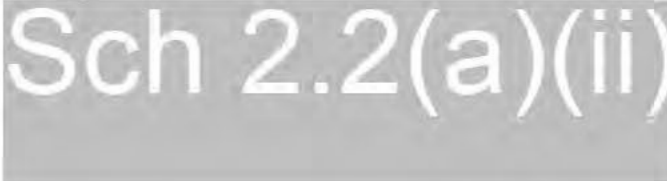


GENERAL LEGEND

-  INDICATES EXISTING BUILT STRUCTURE
-  INDICATES EXTENT OF BASE BUILDING NOT INCLUDED IN SCOPE OF WORKS



01 FURNITURE PLAN / GROUND
- SCALE 1:100



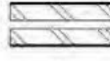


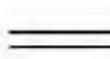
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Sch 2.2(a)(ii)

GENERAL LEGEND

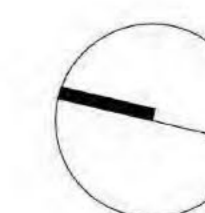
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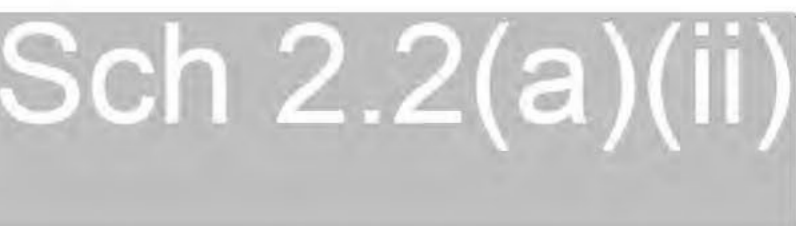
NEW WORKS LEGEND

-  270mm DOUBLE BRICK WITH 5mm RENDER/BAG EACH SIDE.
-  400mm DRY STONE BLADE WALL
-  110mm SINGLE BRICK WITH 5mm RENDER/BAG EACH SIDE.
-  100mm TIMBER FRAMED WALL. 90mm STUD - 10mm PASTERBOARD.





01 NEW WORKS PLAN / FIRST
- SCALE 1:100



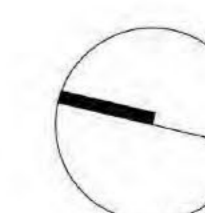
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Sch 2.2(a)(ii)

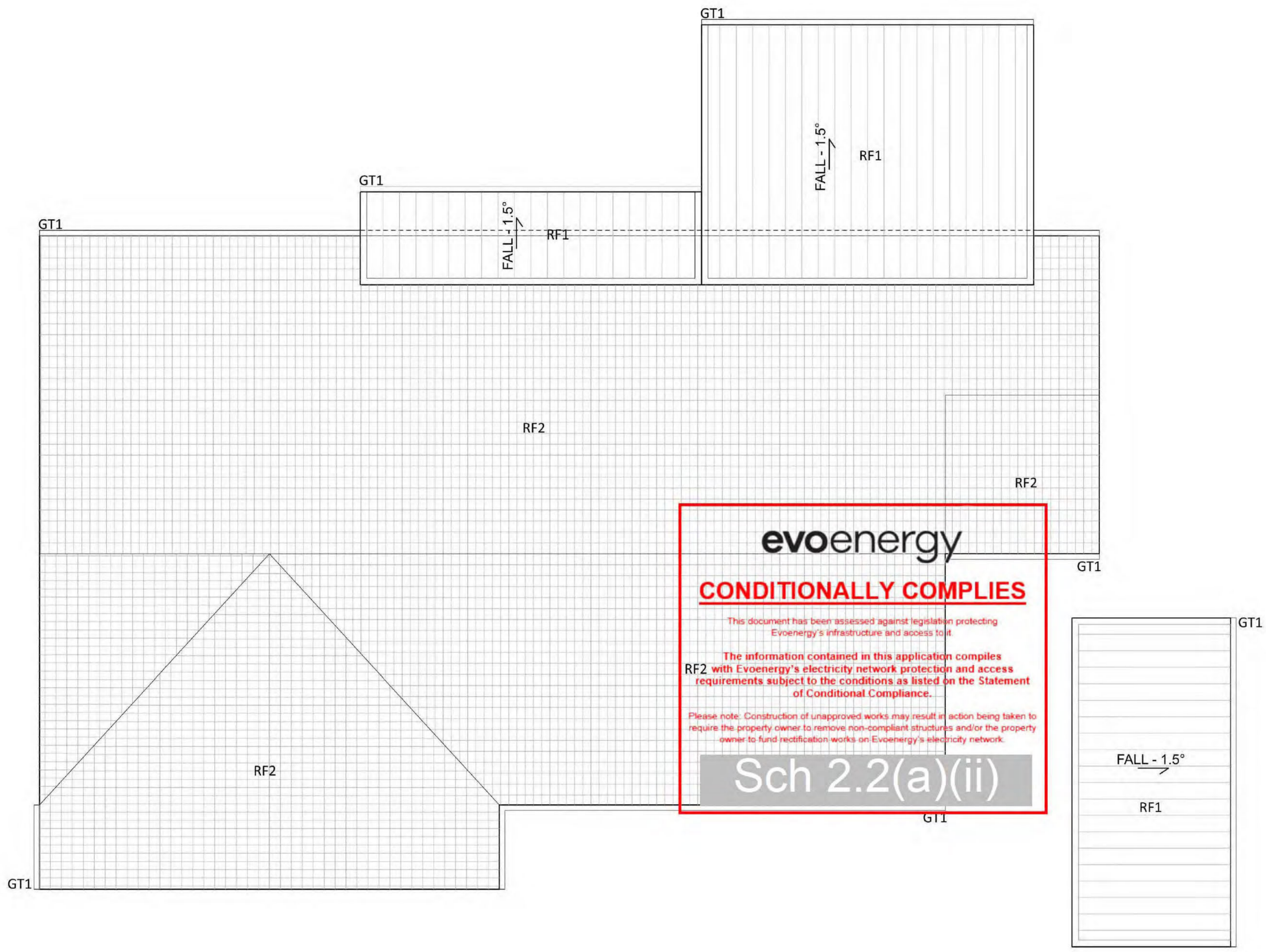
GENERAL LEGEND

-  INDICATES EXISTING BUILT STRUCTURE
-  INDICATES EXTENT OF BASE BUILDING NOT INCLUDED IN SCOPE OF WORKS

01 FURNITURE PLAN / FIRST
 - SCALE 1:100



<p>TITLE WDPL01-30 FURNITURE - FIRST</p>	<p>PROJECT </p>	<p>DRAWING REVISIONS</p> <table border="1"> <thead> <tr> <th>Rev.</th> <th>Description</th> <th>Date</th> <th>Rev.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>Issue for Information</td> <td>01.11.22</td> <td></td> <td></td> <td></td> </tr> <tr> <td>B</td> <td>Issue for BA</td> <td>04.10.23</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	Rev.	Description	Date	Rev.	Description	Date	A	Issue for Information	01.11.22				B	Issue for BA	04.10.23				<p>Drawn AC Approved AC Creation date 12.02.2019 Project No G Scale 1:100 @ A3 Revision B</p>	<p>Sch 2.2(a)(ii)</p>
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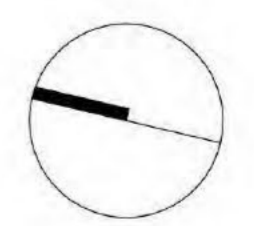
GENERAL LEGEND

- INDICATES EXISTING BUILT STRUCTURE
- INDICATES EXTENT OF BASE BUILDING NOT INCLUDED IN SCOPE OF WORKS

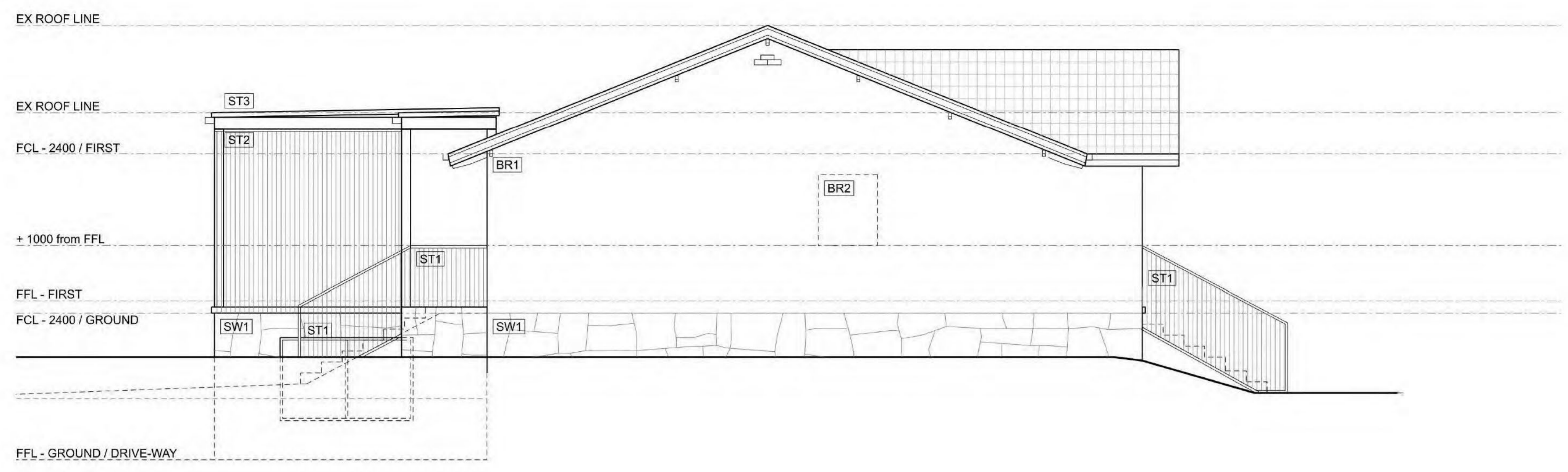
ROOF LEGEND

- RF1 COLORBOND TRIMDEK ROOF SHEETING
COLORBOND - MONUMENT
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FINAL LOCATIONS AND OVER FLOWS TBC



01 ROOF PLAN
SCALE 1:100



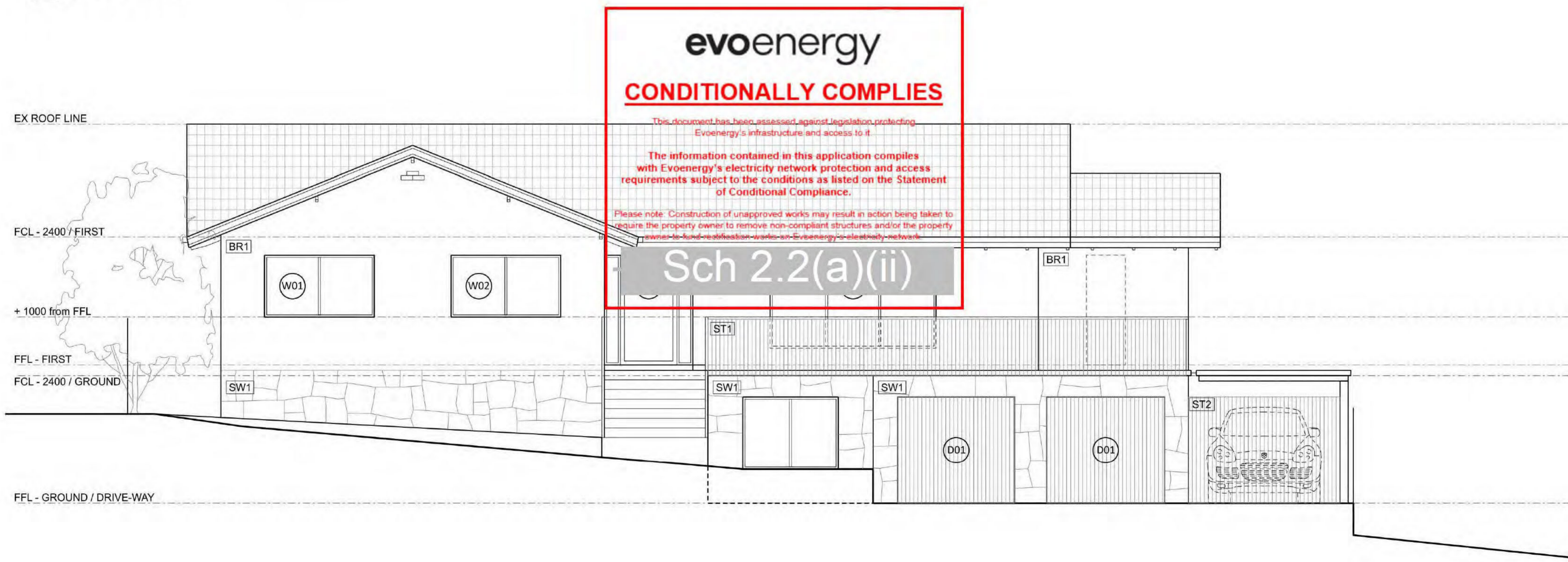
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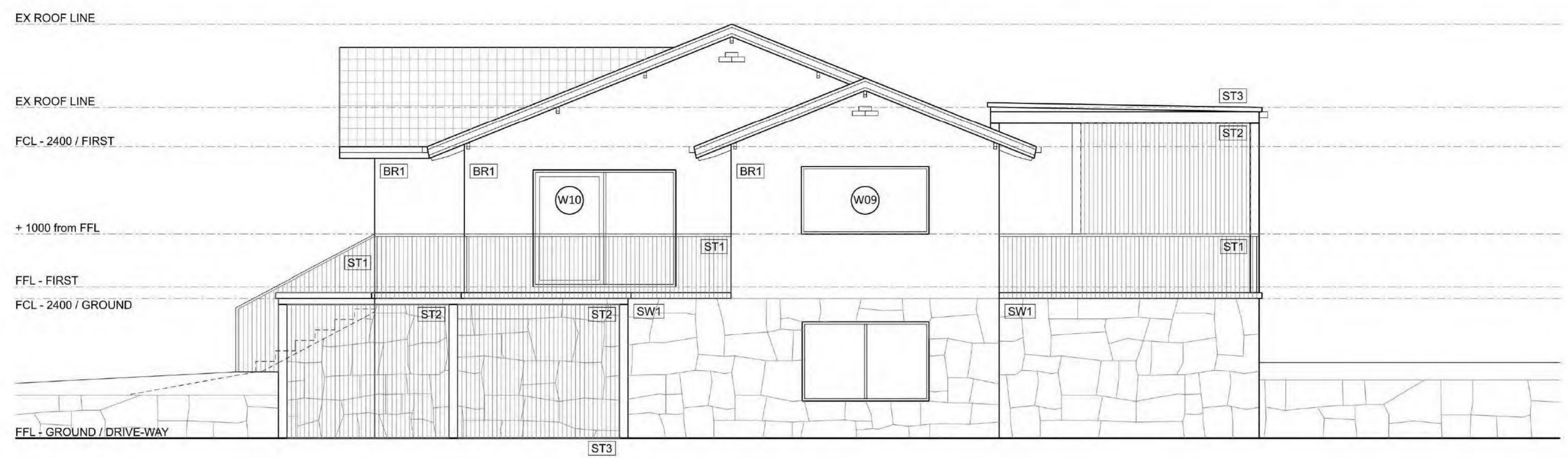
01 NORTH ELEVATION
SCALE 1:100





01 WEST ELEVATION
SCALE 1:100

Sch 2.2(a)(ii)

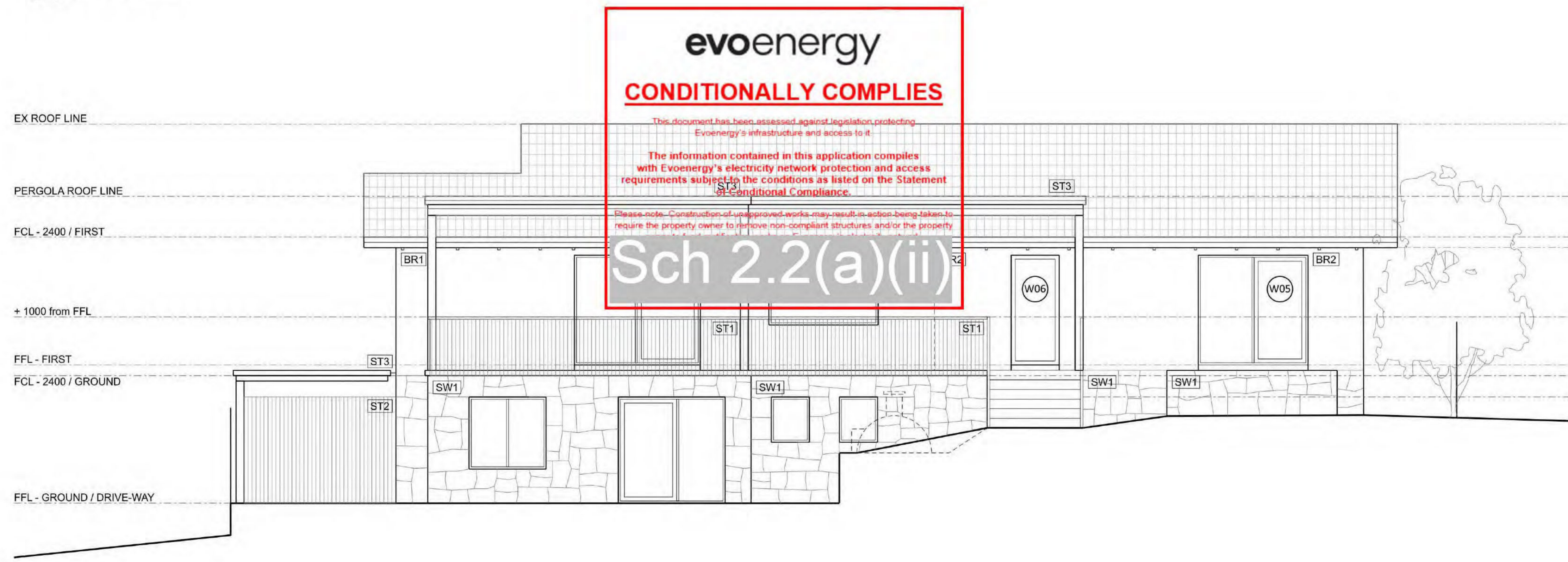
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01 SOUTH ELEVATION
SCALE 1:100



01 EAST ELEVATION
SCALE 1:100

TITLE WDPL01-51 ELEVATIONS	PROJECT 	DRAWING REVISIONS			Drawn Approved Creation date Project No Scale Revision	AC AC 12.02.2019 G 1:100 @ A3 B	Sch 2.2(a)(ii)
		Rev.	Description	Date			
		A	Issue for Information	01.11.22			
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STATEMENT OF CONDITIONAL ACCEPTANCE

Application No: [REDACTED]

Applcn Type: Single residential/Addition Inclusions : Alteration/Addition

Attached Plans

Conditions of Acceptance

A sewer maintenance structure is located on this block. Unobstructed 24 hour - 7 day a week access a minimum 1.5m wide is to be maintained across the land to the asset.

All Icon Water Valves, Hydrants, Meters and Maintenance Holes/Pits must have 24/7 access by Icon Water and Emergency Services. The developer must provide Icon Water 24/7 access to the construction site. The developer is to obtain Icon Water padlocks which must be installed in a daisy chain fashion at each entry and exit point of the construction site. No stockpiles, Temporary structures or equipment is to be located within the pipe protection envelope.

As per Criterion 1 - Easement and other access Clearances of the Planning and Development Regulation 2008. No structures are to be built over Icon Water easements, pipe protection envelopes or access passages without Icon Water's written approval. In accordance with this provision, access is to be maintained across land in these areas

Icon Water assets shall be protected for the duration of the construction works from short term load shedding from construction machinery or vibration and groundwater ingress or infiltration. Any damage to Icon assets resulting from the construction works shall be repaired by Icon Water at the contractors expense. Access to Icon Water's assets including sewer structures, manholes, hydrants and valves is to be maintained for the duration of the construction works.

Other

Protection of water and sewer networks to be in accordance with the attached checklist

This conditional acceptance is only in relation to proposed internal alterations, existing structures do not form part of this acceptance.

Please Note:

- ❖ Separate applications are required for ActewAGL electricity and gas networks.
- ❖ Any failure to accurately show existing or proposed structures may result in damage and costs for which the property owner will be liable. Damage to network assets must be reported to Icon Water.
- ❖ Utility conditions may also apply to minor structures and landscaping works that may not have been depicted in this document. Consultation with Icon Water is advised if such structures and landscaping are planned.
- ❖ Icon Water recommends setbacks provided for equipment access to water or sewerage network assets are kept free of obstruction by the property owner.
- ❖ Construction of works without the approval of Icon Water may result in connection to Icon Water's water and sewerage networks being denied and /or action being taken to require the property owner to remove non-compliant services (e.g. sanitary drains) or structures.

WARNING

Failure to comply with these conditions is likely to result in interference with an Icon Water sewer or water asset. Part 5 of the Utilities (Technical Regulation) Act 2014 applies, which indicates a person who interferes with a utility asset may be subject to prosecution. The current maximum penalty is 200 penalty units, imprisonment for two years, or both. In addition the land-holder can be ordered at their expense to stop the interference, which may involve removal of the building work or that part of the building work that is causing, or is likely to cause interference.

Comments:

Sch 2.2(a)(ii)

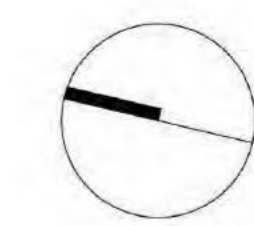
For further information please phone Icon Water Sch 2.2(a)(ii)

Sch 2.2(a)(ii)



- GENERAL LEGEND**
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01 NEW WORKS PLAN / GROUND
- SCALE 1:100



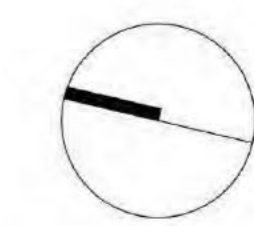
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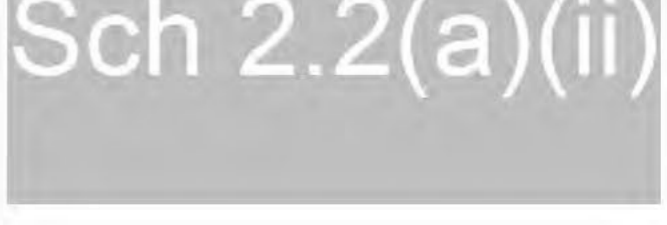
Sch 2.2(a)(ii)



GENERAL LEGEND
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01 FURNITURE PLAN / GROUND
 - SCALE 1:100





TITLE WDPL00-30 FURNITURE - GROUND	PROJECT 	DRAWING REVISIONS <table border="1"> <thead> <tr> <th>Rev.</th> <th>Description</th> <th>Date</th> <th>Rev.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>Issue for Information</td> <td>01.11.22</td> <td></td> <td></td> <td></td> </tr> <tr> <td>B</td> <td>Issue for BA</td> <td>04.10.23</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	Rev.	Description	Date	Rev.	Description	Date	A	Issue for Information	01.11.22				B	Issue for BA	04.10.23				Drawn AC Approved AC Creation date 12.02.2019 Project No G Scale 1:100 @ A3 Revision B	
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Sch 2.2(a)(ii)

GENERAL LEGEND

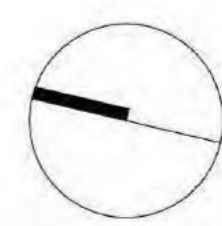
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01 NEW WORKS PLAN / FIRST
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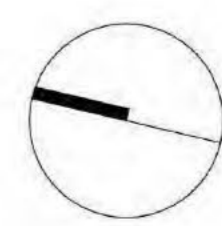



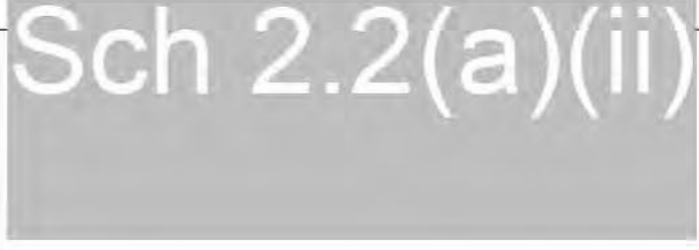
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					Creation date	12.02.2019	
					Project No	G	
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					Revision	B	

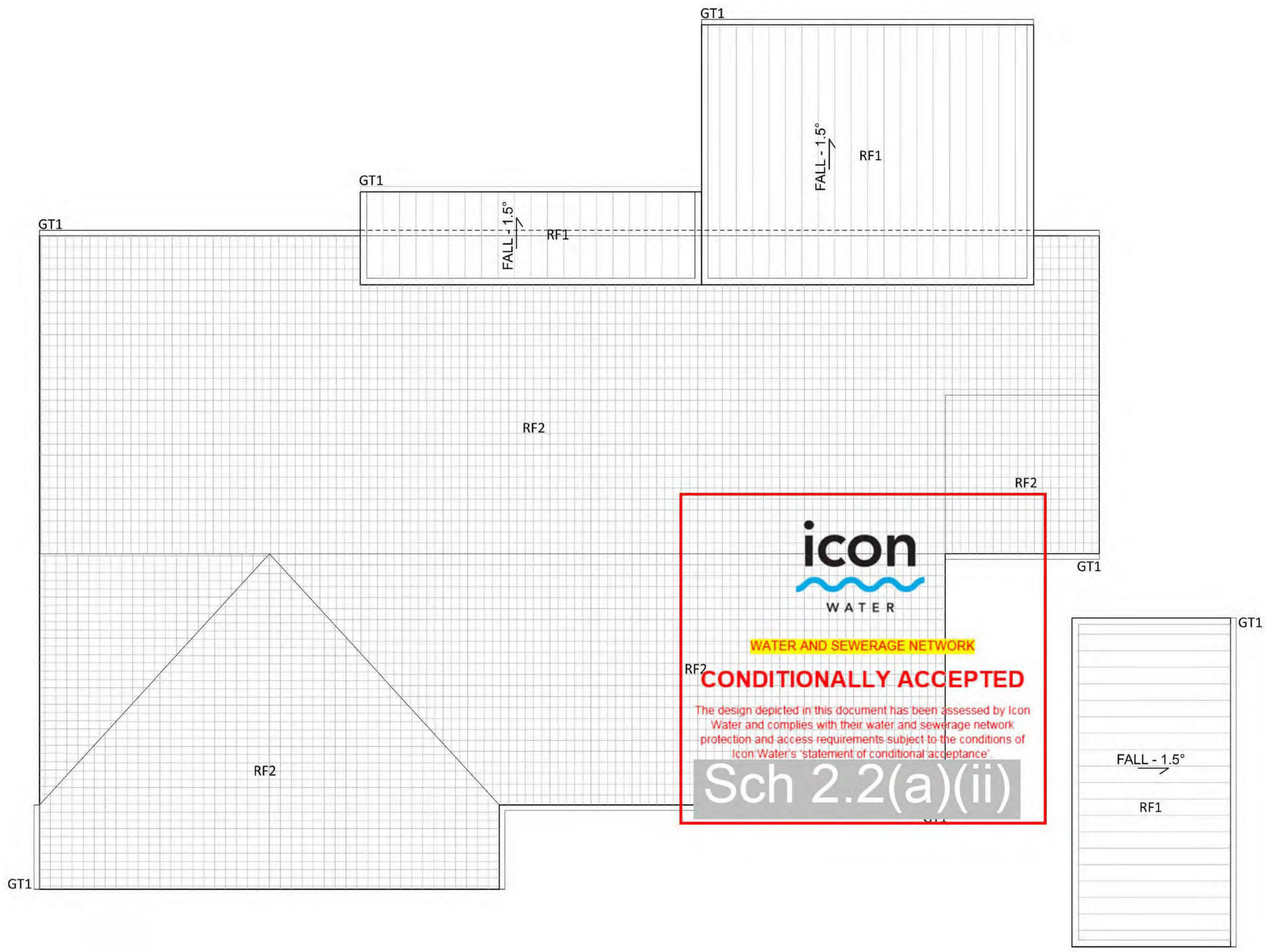


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01 FURNITURE PLAN / FIRST
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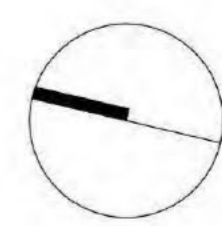
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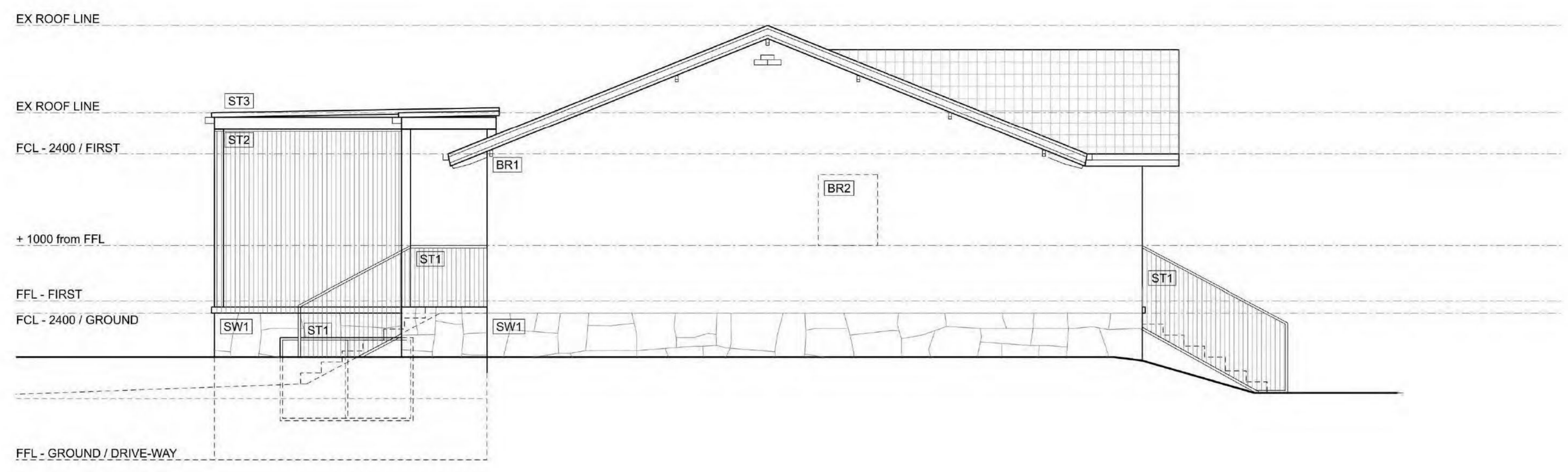
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COLORBOND - MONUMENT
 - DP DOWNPIPE.
FINAL LOCATIONS AND OVER FLOWS TBC
 - RW RAINWATER HEAD.
FINAL LOCATIONS AND OVER FLOWS TBC



WATER AND SEWERAGE NETWORK
CONDITIONALLY ACCEPTED
The design depicted in this document has been assessed by Icon Water and complies with their water and sewerage network protection and access requirements subject to the conditions of Icon Water's 'statement of conditional acceptance'.
Sch 2.2(a)(ii)

01 ROOF PLAN
SCALE 1:100

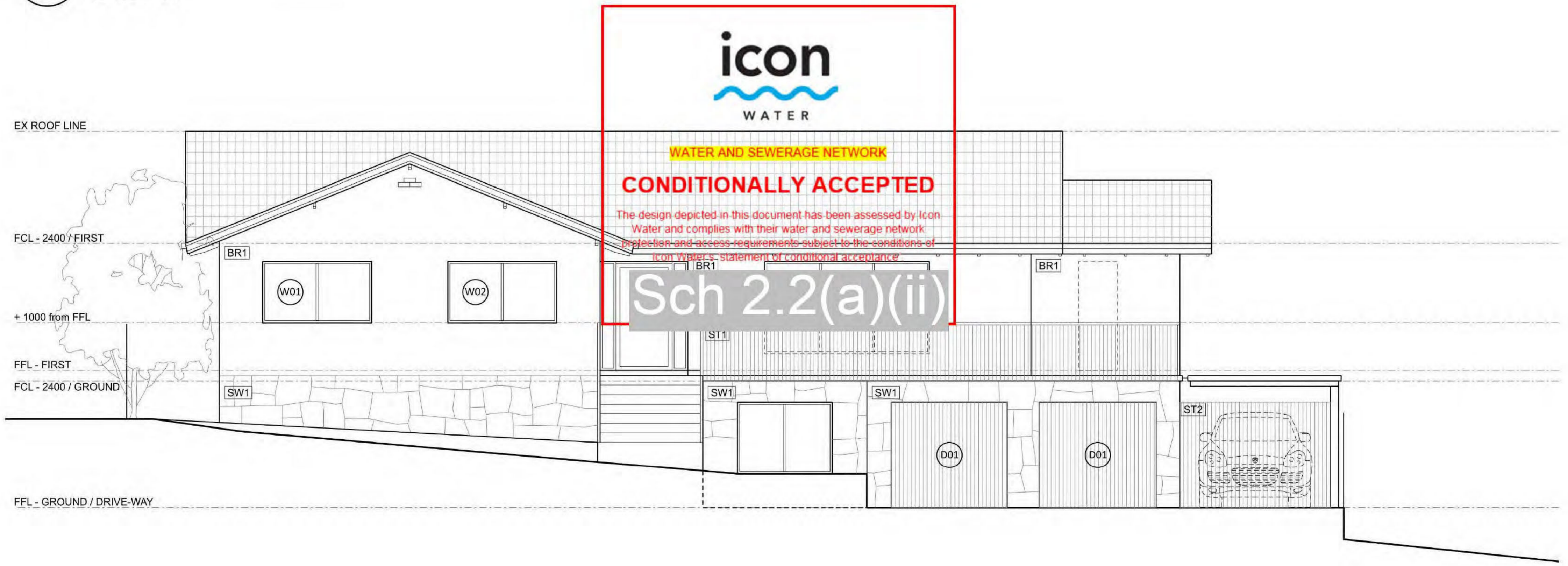


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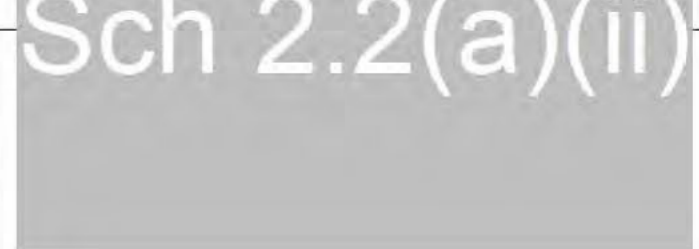


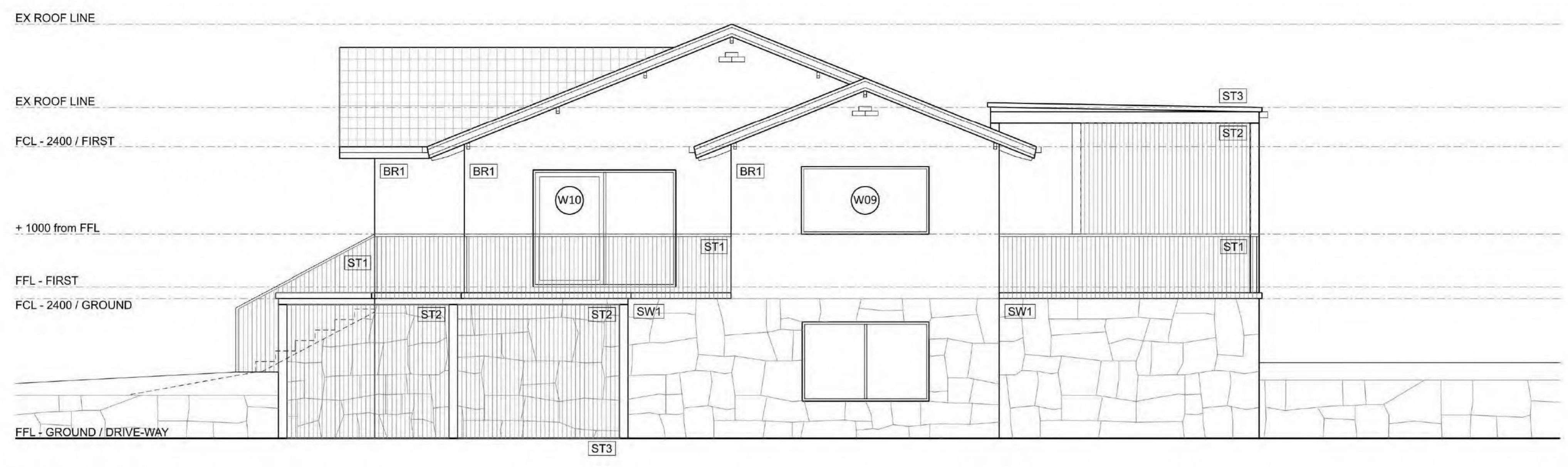
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01 NORTH ELEVATION
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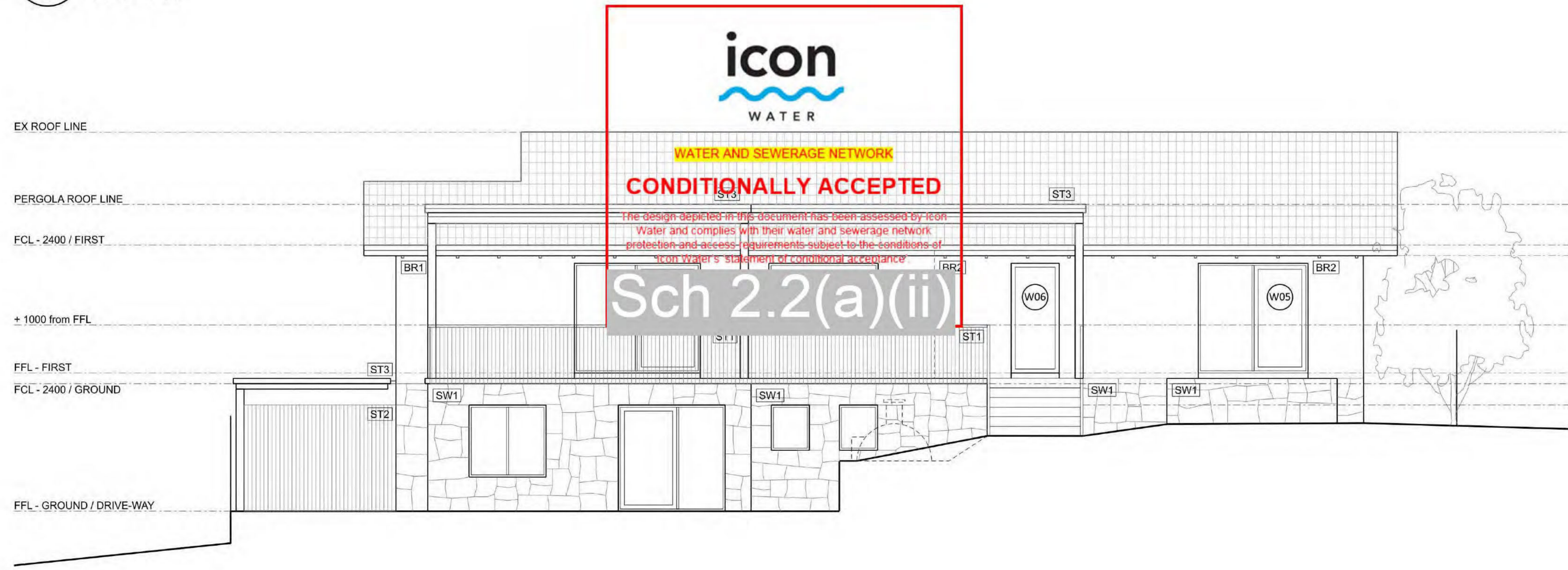
01 WEST ELEVATION
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TITLE WDPL01-50 ELEVATIONS	PROJECT 	DRAWING REVISIONS			Drawn AC Approved AC Creation date 12.02.2019 Project No G Scale 1:100 @ A3 Revision B	
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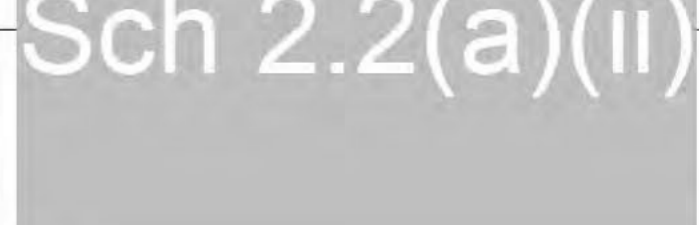


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01 SOUTH ELEVATION
 - SCALE 1:100



01 EAST ELEVATION
 - SCALE 1:100

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Gas Networks

STATEMENT OF

CONDITIONAL COMPLIANCE

For Residential except High Rise

Application No: 214997

Drawings in set: 4

This application has been assessed against legislation protecting Evoenergy's gas infrastructure and access to it.

This application is approved subject to compliance with the following conditions:

- The location and area allocated for gas regulating and metering equipment is to comply with Evoenergy Gas Service and Installation Rules.
- Development is to comply with minimum separation requirements to underground assets
 - 300mm minimum clearance from major plastic and steel gas mains and steel gas services
 - 150mm minimum clearance from other plastic gas mains and services
- A metering equipment upgrade may be required. A licensed gas fitter should verify loads and metering equipment capacities.
- If a meter relocation or service pipe relocation is required in order to comply with Evoenergy standards, please contact your gas retailer and book a meter relocation. Only people accredited by Evoenergy can carry out this work.

Other:

Please note:

- WARNING:** Evoenergy underground gas pipes may be in or adjacent to this block. Evoenergy Asset Location Advice may be required. Call 1100.
- Development and Building Applications will need to include any proposed Evoenergy works
- If Evoenergy approval conditions are not met, a breach of the law may result.
- Separate applications are required for water & sewerage, electricity and communication network services.
- Construction of unapproved works may result in action being taken to require the property owner to remove non-compliant structures and/or the property owner to fund rectification works on Evoenergy's gas network
- Any attached reticulation or servicing plan is preliminary only. Contact Evoenergy for final plans prior to the commencement of any construction activity

For further information please phone

Sch 2.2(a)(ii)

Sch 2.2(a)(ii)

evoenergy
Gas Networks

CONDITIONALLY COMPLIES

This document has been assessed against legislation protecting Evoenergy's infrastructure and access to it

The information contained in this application complies with Evoenergy's gas network protection and access requirements subject to the conditions as listed on the Statement of Conditional Compliance.

Sch 2.2(a)(ii)

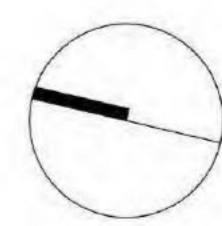
GENERAL LEGEND


 INDICATES EXISTING BUILT STRUCTURE

 INDICATES EXISTING BUILT STRUCTURE WHICH MAY RESULT IN ACTION BEING TAKEN TO REQUIRE THE PROPERTY OWNER TO REMOVE NON-COMPLIANT STRUCTURES AND/OR THE PROPERTY OWNER TO FUND RECTIFICATION WORKS ON Evoenergy's gas network

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SCALE 1:100



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Sch 2.2(a)(ii)

evoenergy
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GENERAL LEGEND

INDICATES EXISTING BUILT STRUCTURE
Please note: Construction of unapproved works may result in action being taken to require the property owner to remove non-compliant structures and/or the property

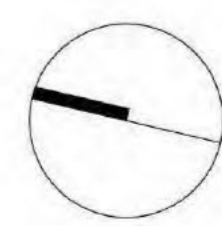
INFORMATION

NEW WORKS LEGEND

- 270mm DOUBLE BRICK WITH 5mm RENDER/BAG EACH SIDE.
- 400mm DRY STONE BLADE WALL
- 110mm SINGLE BRICK WITH 5mm RENDER/BAG EACH SIDE.
- 100mm TIMBER FRAMED WALL. 90mm STUD - 10mm PASTERBOARD.



01 NEW WORKS PLAN / FIRST
- SCALE 1:100



<p>TITLE WDPL01-10 NEW WORKS - FIRST</p>	<p>PROJECT </p>	<p>DRAWING REVISIONS</p> <table border="1"> <thead> <tr> <th>Rev.</th> <th>Description</th> <th>Date</th> <th>Rev.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>Issue for Information</td> <td>01.11.22</td> <td></td> <td></td> <td></td> </tr> <tr> <td>B</td> <td>Issue for BA</td> <td>04.10.23</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	Rev.	Description	Date	Rev.	Description	Date	A	Issue for Information	01.11.22				B	Issue for BA	04.10.23				<p>Drawn AC Approved AC Creation date 12.02.2019 Project No G Scale 1:100 @ A3 Revision B</p>	<p>Sch 2.2(a)(ii)</p>
Rev.	Description	Date	Rev.	Description	Date																	
A	Issue for Information	01.11.22																				
B	Issue for BA	04.10.23																				

CONDITIONALLY COMPLIES

This document has been assessed against legislation protecting Evoenergy's infrastructure and access to it

The information contained in this application complies with Evoenergy's gas network protection and access requirements subject to the conditions as listed on the Statement of Conditional Compliance.

GENERAL LEGEND



INDICATES EXISTING BUILT STRUCTURE
Please note, Construction of unapproved works may result in action being taken to require the property owner to remove non-compliant structures and/or the property owner to modify or maintain Evoenergy's gas network



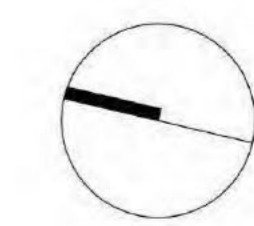
INDICATES EXISTING BUILT STRUCTURE

Sch 2.2(a)(ii)

Sch 2.2(a)(ii)



01 FURNITURE PLAN / FIRST
- SCALE 1:100



<p>TITLE WDPL01-30 FURNITURE - FIRST</p>	<p>PROJECT [Redacted]</p>	<p>DRAWING REVISIONS</p> <table border="1"> <thead> <tr> <th>Rev.</th> <th>Description</th> <th>Date</th> <th>Rev.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>Issue for Information</td> <td>01.11.22</td> <td></td> <td></td> <td></td> </tr> <tr> <td>B</td> <td>Issue for BA</td> <td>04.10.23</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	Rev.	Description	Date	Rev.	Description	Date	A	Issue for Information	01.11.22				B	Issue for BA	04.10.23				<p>Drawn AC Approved AC Creation date 12.02.2019 Project No G Scale 1:100 @ A3 Revision B</p>	<p>Sch 2.2(a)(ii)</p>
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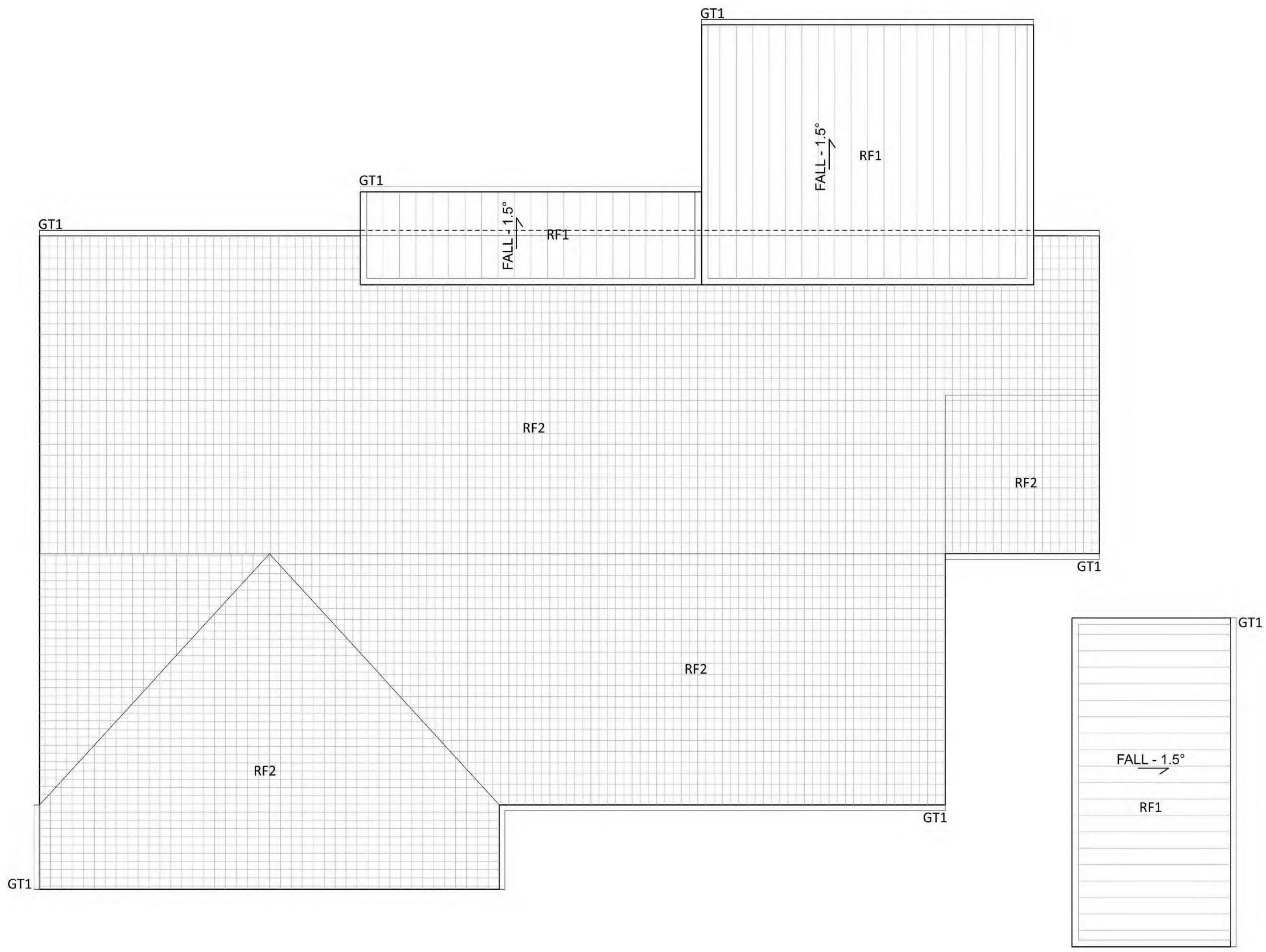
GENERAL LEGEND

INDICATES EXISTING BUILT STRUCTURE
Please note: Construction of unapproved works may result in action being taken to require the property owner to remove non-compliant structures and/or the property owner to rectify the structure to meet Evoenergy's gas network requirements.
INDICATES EXTENSION OF BASE BUILDING

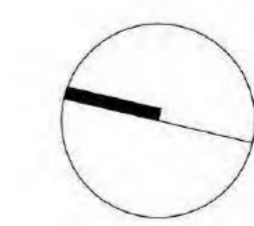
Sch 2.2(a)(ii)

ROOF LEGEND

- RF1 COLORBOND TRIMDEK ROOF SHEETING
COLORBOND - MONUMENT
- RF2 EXISTING ROOF PAINT - MONUMENT
- GT1 COLORBOND GUTTER ROUND PROFILE
COLORBOND - MONUMENT
- DP DOWNPIPE.
FINAL LOCATIONS AND OVER FLOWS TBC
- RW RAINWATER HEAD.
FINAL LOCATIONS AND OVER FLOWS TBC



01 ROOF PLAN
SCALE 1:100



TITLE WDPL01-41 ROOF PLAN	PROJECT [REDACTED]	DRAWING REVISIONS				Drawn Approved Creation date Project No Scale Revision	AC AC 12.02.2019 G 1:100 @ A3 B	Sch 2.2(a)(ii)
		Rev.	Description	Date	Rev.			
		A	Issue for Information	01.11.22	B	Issue for BA	04.10.23	

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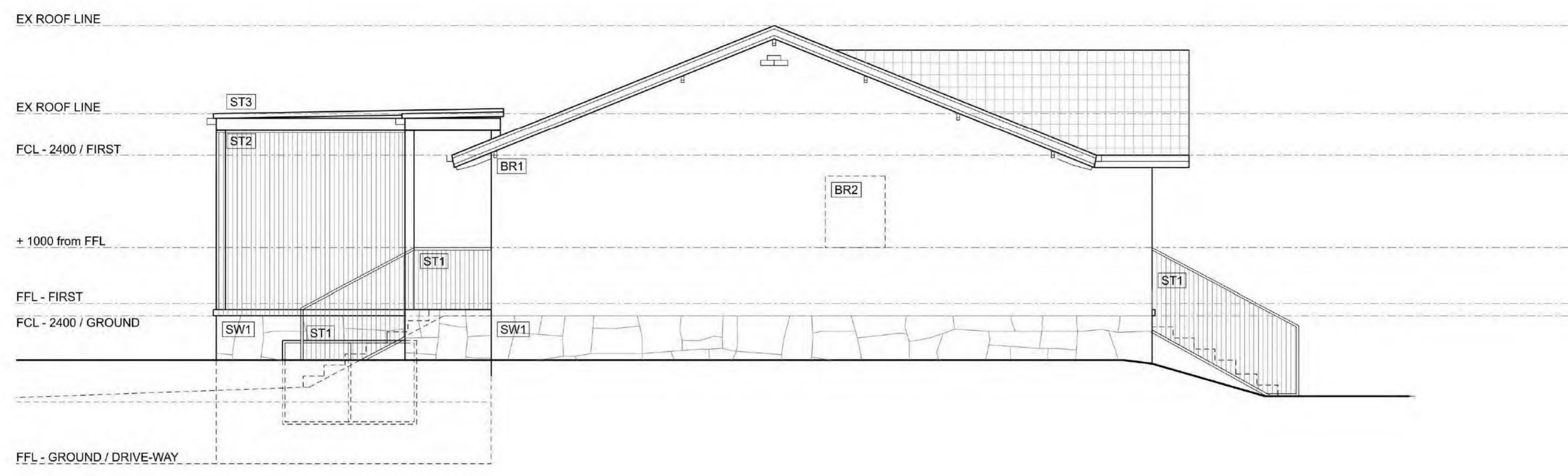
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GENERAL LEGEND

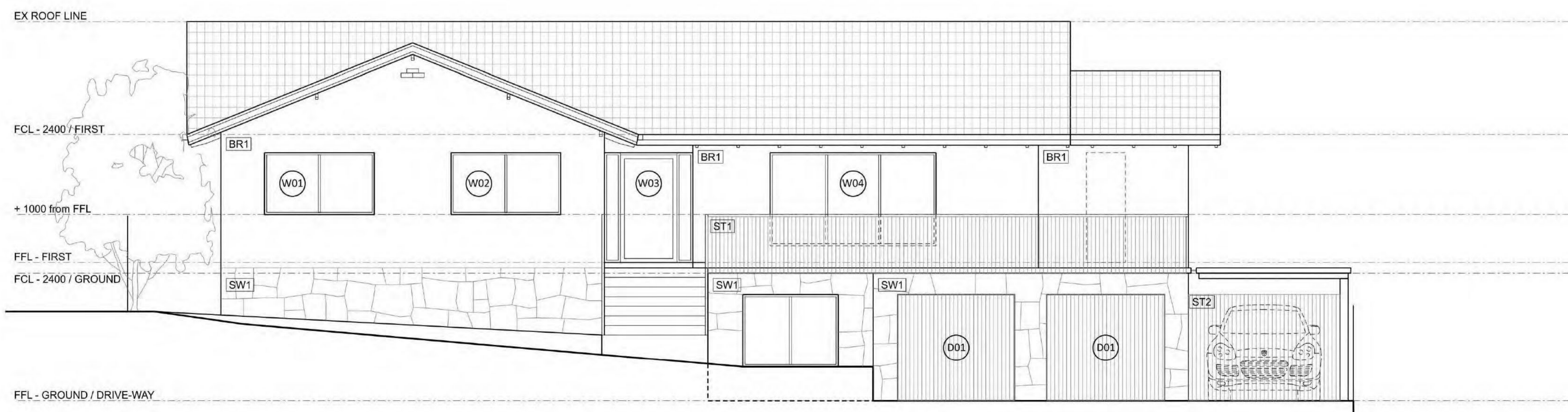


INDICATES EXISTING BUILT STRUCTURE
Please note: Construction of unapproved works may result in action being taken to require the property owner to remove non-compliant structures and/or the property

Sch 2.2(a)(ii)



01 NORTH ELEVATION
SCALE 1:100



01 WEST ELEVATION
SCALE 1:100

TITLE
WDPL01-50
ELEVATIONS

PROJECT
[Redacted]

DRAWING REVISIONS					
Rev.	Description	Date	Rev.	Description	Date
A	Issue for Information	01.11.22			
B	Issue for BA	04.10.23			

Drawn AC
Approved AC
Creation date 12.02.2019
Project No G
Scale 1:100 @ A3
Revision B

Sch 2.2(a)(ii)

This document has been assessed against legislation protecting Evoenergy's infrastructure and access to it

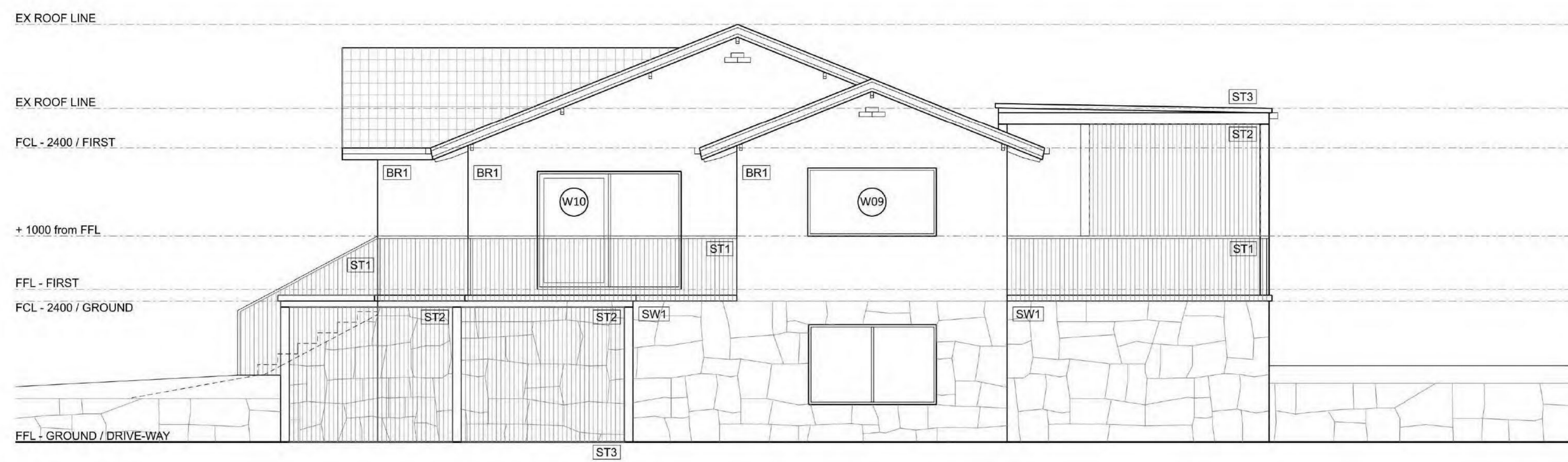
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GENERAL LEGEND

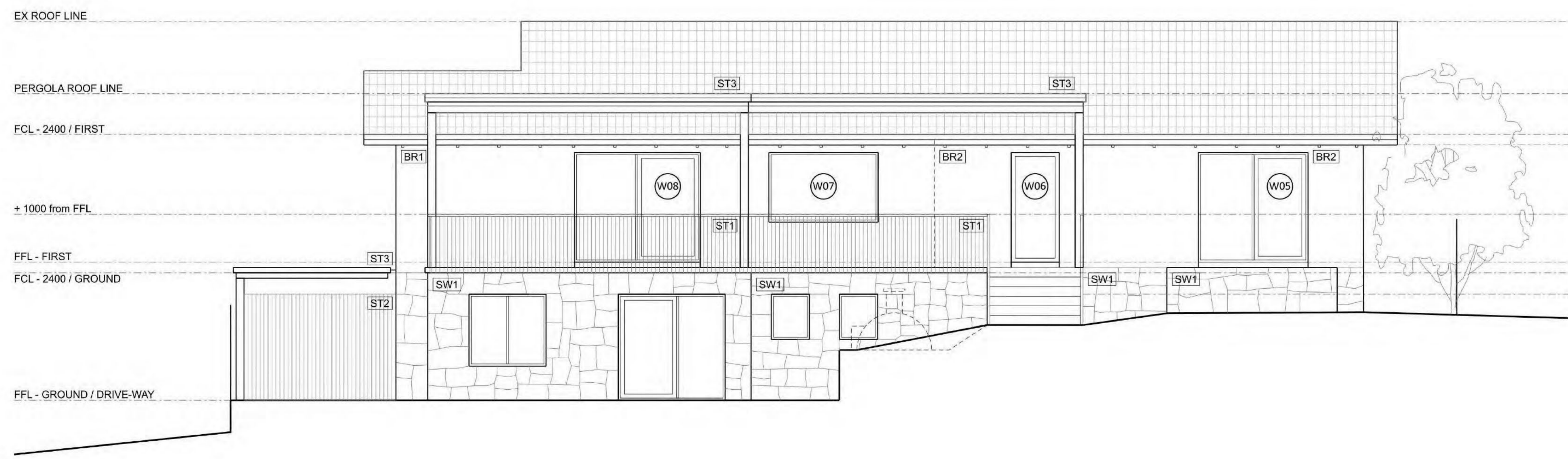
INDICATES EXISTING BUILT STRUCTURE
Please note: Construction of unapproved works may result in action being taken to require the property owner to remove non-compliant structures and/or the property owner to rectify the structures to comply with Evoenergy's gas network protection and access requirements.

INDICATES EXTENT OF GAS NETWORK

Sch 2.2(a)(ii)



01 SOUTH ELEVATION
SCALE 1:100



01 EAST ELEVATION
SCALE 1:100

TITLE
WDPL01-51
ELEVATIONS

PROJECT
[Redacted]

DRAWING REVISIONS					
Rev.	Description	Date	Rev.	Description	Date
A	Issue for Information	01.11.22			
B	Issue for BA	05.10.23			

Drawn AC
Approved AC
Creation date 12.02.2019
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Revision B

Sch 2.2(a)(ii)

