evoenergy

Application Number: Sch 2.2(a)(ii)

Sheet: Sch 2.2(a)(ii)

Signed: Sch 2.2(a)(ii) Date: 03 May 2022

Contact Phone: 6293 5770

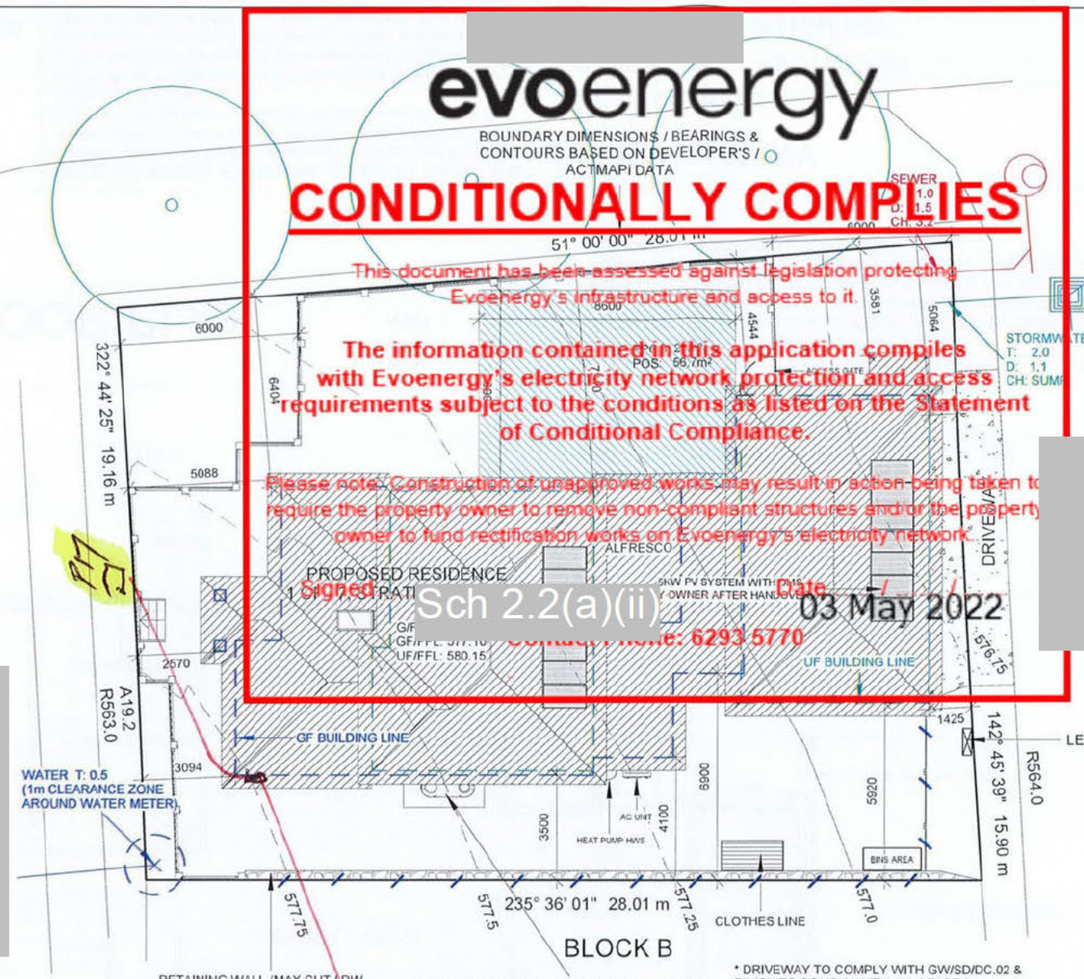
DRAWINGS TAKE PRECEDENCE OVER GENERAL DRAWINGS.
*DO NOT SCALE DRAWINGS - ALL DIMENSIONS IN "mm".
*BUILDER TO CHECK ALL DIMENSIONS FOR SITE PRIOR TO COMMENCEMENT OF ANY WORKS, PRODUCING SHOP DRAWINGS OF FABRICATING COMPONENTS.
*BUILDER TO CHECK DOORS/WINDOWS DIMENSIONS BEFORE ORDERING FROM FLOOR PLAN AND ELEVATIONS.
*ALUMINIUM FRAMED DOORS/WINDOWS WITH OPENING STYLES IN ACCORDANCE WITH ELEVATIONS AND FROM APPROVED MANUFACTURER UNO.
*LINTELS TO TRUSS MANUFACTURERS TABLES, ROOF TRUSSES TO MANUFACTURER'S SPECIFICATION.
*ALL CONSTRUCTION WORK TO BE DONE IN ACCORDANCE WITH BCA AND RELEVANT AUSTRALIAN STANDARDS AND DEVELOPMENT CODES.
*TERMITE PROTECTION TO COMPLY WITH AS1694 'PHYSICAL BARRIERS' & AS3660 'APPENDIX D' AND TO ACT BUILDING CONTROL BUILDING NOTE NO3, FRAMING TO AS1684 'NATIONAL TIMBER FRAMING CODE' AND SUPPLIMENTS, HARDWOOD TO AS.2796, ELECTRICAL TO AS.3000, PLUMBING TO AS3500, CONCRETE TO AS.3600, BRICKWORK TO AS.3700, 'SAA MASONRY CODE' AND AS.1640 'SAA BRICKWORK CODE', STRUCTURAL STEEL TO AS.1170 & AS.4100, WET SEAL TO AS.3740 AND .
*SMOKE ALARMS CONNECTED TO MAINS POWER SUPPLY, WITH BATTERY BACKUP, ARE TO BE INSTALLED IN ACCORDANCE WITH AS3786.

*BLOCK BOUNDARIES, CONTOURS, SERVICES AND EASEMENTS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION.
*CONFIRM ALL LEVELS AND CONTOURS ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION. BUILDER IS RESPONSIBLE TO ENSURE ALL INFORMATION SHOWN HERE REGARDING LEVELS ARE ACCURATE AND REPRESENTS EXISTING ON SITE LEVELS.
*THE FFLs ARE SUBJECT TO CHANGE AND ARE UP TO BUILDERS DISCRETION TO BE VERIFIED ON SITE, MAXIMUM CHANGE UNDER 340 mm, TO BE CONFIRMED BY CERTIFIER.
*LOCATION OF CUTS ARE INDICATIVE ONLY AND TO BE VERIFIED ON SITE. THEREFORE, ALL CUTS & FFL TO BE VERIFIED ON SITE BY A REGISTERED SURVEYOR.
*0.3 M CUT APPROX AT LINE OF HOUSE - SITE TO BE LEVELED / GRADED TO ALLOW FOR SURFACE DRAINAGE AS PER BCA.
*RETAINING WALL TO BE BUILT ENSURING DRAINAGE AS PER RELEVANT CODES/BCA V2. HEIGHTS AND ALL LEVELS TO SUIT SITE CONDITIONS. FINAL HEIGHTS TO BE CONFIRMED BY BUILDER ON SITE.

*SEDIMENT & EROSION CONTROL TO COMPLY WITHIN THE BEST PRACTICE GUIDELINES - PREVENT SOULTION FOR RESIDENTIAL BUILDING SITES MARCH 2006 AND ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE ACT, MARCH 2011.
*BUILDER TO PROVIDE CRUSHED GRANITE OR AGGREGATES AT ACCESS POINT TO SITE DURING CONSTRUCTION

1. SITE PLAN

1 : 200



RETAINING WALL (MAX CUT / RW HT: 1.5m WITH IN 1.5m OF BOUNDARIES) AND STEPS TO SITE CONDITION

* MIN 4000L RAINWATER TANK,50% OR 100m² OF ROOF AREA, WHICHEVER IS THE LESSER, IS CONNECTED TO THE TANK.
* TANK IS CONNECTED TO ATLEAST A TOILET, LAUNDRY COLD WATER AND ALL EXTERNAL TAPS, AS PER ACT TERRITORY PLAN.
*THE CONNECTION WILL REQUIRE A PUMP WHERE IT CANNOT BE ELEVATED SUFFICIENTLY TO GIVE ADEQUATE PRESSURE.

* DRIVEWAY TO COMPLY WITH GW/SD/DC.02 & FINISH TO COMPLY WITH ALL LEASE & DEVELOPMENT CONDITIONS AND RELEVANT LOCAL CODES
* IF LEVELS & CONTOURS ARE DIFFERENT ON SITE FROM THE DRAWING BUILDER TO PROVIDE CONTOUR PLAN & REPORT BACK TO THE DESIGNER TO ADJUST LEVELS ACCORDINGLY.
* NO PART OF CUT SHOULD ENCROACH OUT OF THE BOUNDARY OR EASEMENT

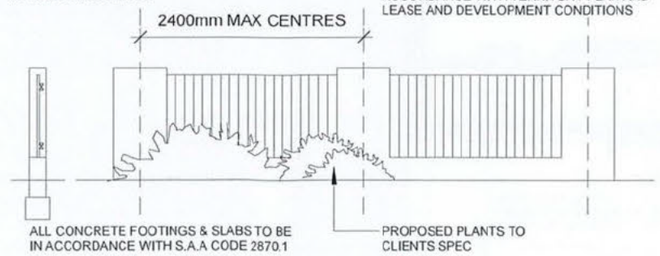
POINT OF ENTRY & METER BOX
Sch CONDUIT TO PIT AT BOUNDARY

AC UNITS MUST BE INSTALLED AS PER PART 5 OF THE HOUSING DEVELOPMENT REQUIREMENTS. AC UNITS MUST BE ONE (OR MORE) OF THE FOLLOWING:
* Reverse cycle air conditioning that achieves a minimum
  o Energy Efficiency Ratio (EER) of 3.5 for the cooling cycle
  o Coefficient of Performance (COP) of 3.5 for the heating cycle
* Air conditioning with a cooling cycle only that achieves a minimum Energy Efficiency Ratio (EER) of 3.5
  o ducted evaporative cooling with a self-closing damper
  o ground source heat pump

NOISE AFFECTED BLOCK - TO COMPLY WITH:
* AS/NZS 2107:2000 - Acoustics – Recommended design sound levels and reverberation times for building interiors (the relevant satisfactory recommended interior design sound level)
*AS/NZS 3671 - Acoustics – Road Traffic Noise Intrusion Building Siting and Design and Ginninderry Noise Management Plan

710 x 230 BRICK PIERS TO BE PAINTED RESIDENCE COLOUR OR BRICKWORK TO MATCH RESIDENCE

COURTYARD WALL TO BE CONSTRUCTED IN ACCORDANCE WITH TERRITORY PLAN AND LEASE AND DEVELOPMENT CONDITIONS

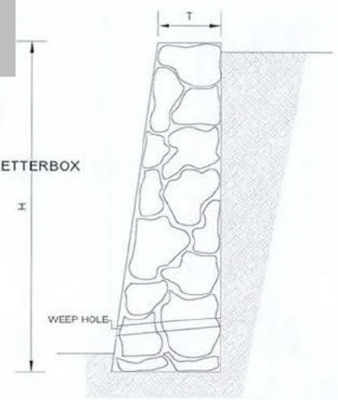


IMPORTANT BLOCK INFORMATION
BLOCK SIZE: 567 m² (RZ3)
OPEN SPACE MIN: 290.2 m²
(60% - 50.0m²)
MAX GFA (50%): 283.5 m²
PPOS: 24 m²
POS: 56.7m² (6m FOR AN AREA NOT LESS THAN 10% OF THE BLOCK AREA AND TOTAL AREA OF HARD LANDSCAPE NOT TO EXCEED 50% AREA OF P.O.S.)

SITE AREA	
OPEN SPACE	404.38 m²
Footprint	133.25 m²
Total	537.63 m²

Construction Area

Number	Name	Area
1	Sch 2.2(a)(ii)	132.87 m²
2		61.79 m²
3		58.42 m²
4		29.74 m²
5		36.01 m²
6		13.38 m²
7		4.05 m²
8		2.80 m²
9		4.40 m²
10		6.12 m²
Grand total		349.58 m²



Ww	H	Wf	T
300	900	350	300
500	1500	600	350
600 MAX	1800	700	350
700	2100	800	400

ROCK RETAINING WALL

* TIMBER SLEEPER / STONE RETAINING WALL (RW) AND STEPS TO SITE CONDITION, RELEVANT CODES AND DEVELOPERS GUIDELINES
* SUBSOIL DRAINAGE SYSTEMS: AG PIPE / WATERPROOFING, COMPLIANCE TO RELEVANT CODES/AS/BCA
* AGRI DRAIN TO PRVENT SURFACE WATER ENTRY AS PER BCA V2, Part 3.1.2/AS 4654.2-2012

Virk Building Design Services
Email: virk.bds@gmail.com Mob: 0425677755

NOTE: The drawings are indicative only and are required to be verified / confirmed by the owner and/or builder and engineer and/or certifier in accordance with the relevant Building Legislation/Regulations, Housing Development Codes, NCC, Australian Standards, etc.
Virk BDS will not be held liable / responsible in any form by any party whatsoever for any design or structural component, notation or accuracy of documentation herein. Client / Builder accepts Plans and responsibility once plans are accepted for approvals.

Sch 2.2(a)(ii)

RESIDENCE

SUBURB: STRATHNAIRN

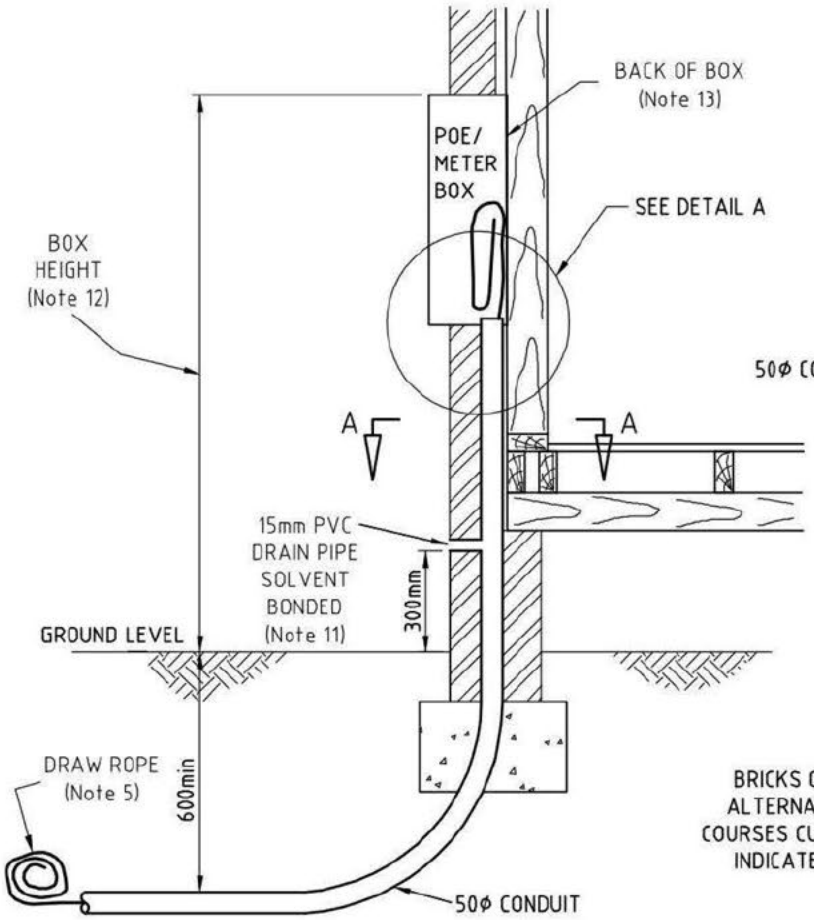
SITE PLAN — FOR APPROVAL

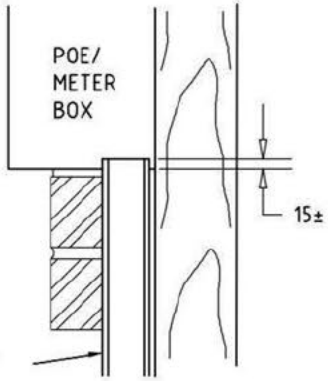
Project number	211201
Date	6/3/22
Drawn by	B.Virk
Checked by	Client

A100

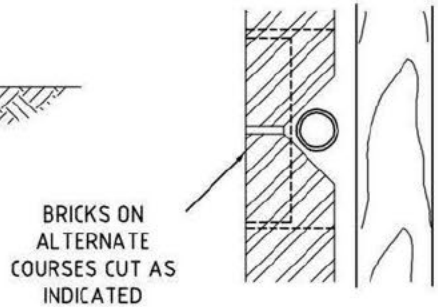
Scale 1 : 200 on A3

6/03/2022 4:49:25 PM





DETAIL A



SECTION A-A

NOTES:

1. ALL POINTS OF ENTRY & CONDUITS ROUTES SHALL BE DETERMINED BY THE SERVICE MARKER OR BE AS SHOWN ON THE APPROVED BUILDING PLAN OR APPROVED CONDUIT REQUEST DRAWING
2. A MARKER PEG SHALL BE PROVIDED TO INDICATE THE END OF THE CONDUIT.
3. CONDUIT ENDS SHALL BE PLUGGED OR CAPPED TO PREVENT THE ENTRY OF FOREIGN MATERIAL
4. THE CONDUIT SHALL ENTER THE POE/METER BOX AS INDICATED ON THIS DRAWING.
5. A CONTINUOUS DRAW ROPE OF MINIMUM 6mm DIAMETER WITH 600mm SPARE AT EACH END SHALL BE PROVIDED IN EACH CONDUIT.
6. THE CONDUIT SHALL NOT CONTAIN ELBOWS AND BENDS SHALL HAVE A MINIMUM BENDING RADIUS OF 450mm.
7. THE SUM OF CONDUIT BEND ANGLES SHALL NOT EXCEED 90° IN A SINGLE RUN.
8. THE POE/METER BOX SHALL HAVE SUFFICIENT SPACE FOR THREE SERVICES FUSES AND A SERVICE NEUTRAL LINK
9. THE CONDUIT AND POE/METER BOX SHALL BE ISOLATED FROM THE TIMBER FRAME WITH DAMP-PROOF MATERIAL.
10. THE CONDUIT SHALL BE 50mmØ AND SHALL BE CATEGORY "A" HEAVY DUTY RIGID ORANGE CONDUIT TO AS2053.
11. SEE DRAWING 8912-03 AND THE SERVICE AND INSTALLATION RULES FOR DRAINAGE DETAILS WHERE REQUIRED.
12. INSTALLATION HEIGHT FOR:
    POE BOX (DOMESTIC INSTALLATION) 2300mm - 2800mm TO TOP OF BOX
    METER BOX (DOMESTIC INSTALLATION) 1500mm - 2000mm TO TOP OF BOX
13. HOLES CREATED IN THE BACK OF THE BOX (TO ACCOMMODATE OUT-GOING CABLES) SHALL BE SEALED WITH SILICON SEALANT OR A SIMILAR SEALANT.

ADDITIONAL REFERENCES:

EVOENERGY SERVICE AND INSTALLATION RULES
EVOENERGY CONDUIT TECHNICAL STANDARDS (SM11106)

No	Revision	Date	Checked	Approved
M	UPDATED FOR POWER OF CHOICE REFORMS	2/11/2017	Sch 2.2(a)(ii)	
L	NOTE 13 ADDED	23/10/2013	RS	BS
K	DRAIN PIPE DETAILS AMENDED	10/04/2013	EA	BS
N	LOGO AND REFERENCES UPDATED TO EVOENERGY	8/01/2018	Sch 2.2(a)(ii)	

Drawn: Designed: A-NNR
Checked:
Approved: A-NNR
Project No:

evoenergy

UNDERGROUND SERVICE
CONDUIT REQUIREMENTS

Scale: Date: 16/03/1999 Sheet No:
Work Pack No: File:
Status: Current
A3 8912-02 Rev N

evoenergy

Gas Networks

STATEMENT OF

CONDITIONAL COMPLIANCE

For Residential except High Rise

Application No: 200963 **Drawings in set:** 1

Block: **Section:**

Suburb: Strathnairn

This application has been assessed against legislation protecting Evoenergy's gas infrastructure and access to it.

This application is approved subject to compliance with the following conditions:

- [x] The location and area allocated for gas regulating and metering equipment is to comply with Evoenergy Gas Service and Installation Rules.
- [x] Development is to comply with minimum separation requirements to underground assets
  - 300mm minimum clearance from major plastic and steel gas mains and steel gas services
  - 150mm minimum clearance from other plastic gas mains and services
- [x] A metering equipment upgrade may be required. A licensed gas fitter should verify loads and metering equipment capacities.
- [x] If a meter relocation or service pipe relocation is required in order to comply with Evoenergy standards, please contact your gas retailer and book a meter relocation. Only people accredited by Evoenergy can carry out this work.
- [ ] Other:

Please note:

- [x] WARNING: Evoenergy underground gas pipes may be in or adjacent to this block. Evoenergy Asset Location Advice may be required. Call 1100.
- [x] Development and Building Applications will need to include any proposed Evoenergy works
- [x] If Evoenergy approval conditions are not met, a breach of the law may result.
- [x] Separate applications are required for water & sewerage, electricity and communication network services.
- [x] Construction of unapproved works may result in action being taken to require the property owner to remove non-compliant structures and/or the property owner to fund rectification works on Evoenergy's gas network
- [x] Any attached reticulation or servicing plan is preliminary only. Contact Evoenergy for final plans prior to the commencement of any construction activity

For further information please phone Sch 2.2(a)(ii)

evoenergy

Application Number
2022/000

Sheet
6 of 6

IMPORTANT NOTES:
THE REQUIREMENT OF REGULATIONS TAKE PRECEDENCE OVER THE DRAWINGS. DETAIL DRAWINGS TAKE PRECEDENCE OVER GENERAL DRAWINGS.
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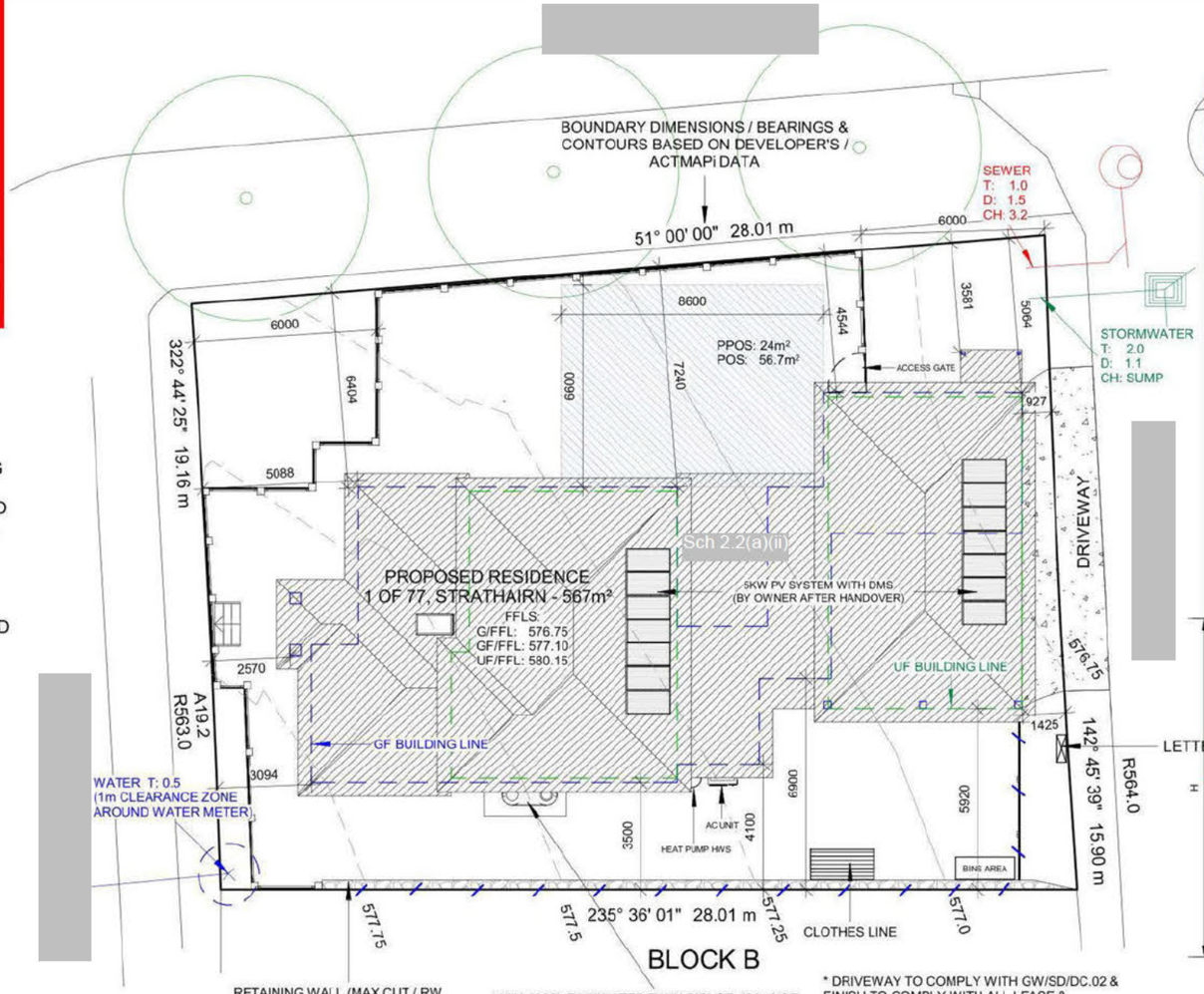

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  o Coefficient of Performance (COP) of 3.5 for the heating cycle
* Air conditioning with a cooling cycle only that achieves a minimum Energy Efficiency Ratio (EER) of 3.5
  o ducted evaporative cooling with a self-closing damper
  o ground source heat pump

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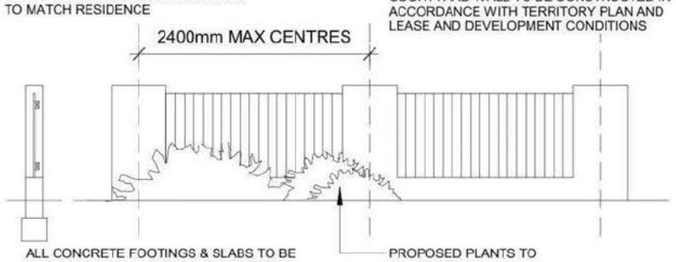

ALL CONCRETE FOOTINGS & SLABS TO BE IN ACCORDANCE WITH S.A.A CODE 2870.1

PROPOSED PLANTS TO CLIENTS SPEC

IMPORTANT BLOCK INFORMATION
BLOCK SIZE: 567 m² (RZ3)
OPEN SPACE MIN: 290.2 m²
PPOS: 24 m²
POS: 56.7 m² (10% FOR AN AREA NOT LESS THAN 10% OF THE BLOCK AREA AND TOTAL AREA OF HARD LANDSCAPE NOT TO EXCEED 50% AREA OF P.O.S.)

evoenergy
Gas Networks
CONDITIONALLY COMPLIES
This document has been assessed against legislation protecting Evoenergy's infrastructure and access to it

The information contained in this application complies with Evoenergy's gas network protection and access requirements subject to the conditions as listed on the Statement of Conditional Compliance.

Please note: Construction of unapproved works may result in action being taken to require the property owner to remove non-compliant structures and/or the property owner to fund rectification works on Evoenergy's gas network.

Signed ..... Sch 2.2(a)(ii) Date ..... Sch 2.2(a)(ii) 2022
Contact Phone Sch 2.2

SITE AREA	
OPEN SPACE	404.38 m²
Footprint	133.25 m²
Total	537.63 m²

Construction Area		
Number	Name	Area
1		132.87 m²
2		61.79 m²
3		58.42 m²
4		29.74 m²
5		36.01 m²
6		13.38 m²
7		4.05 m²
8		2.80 m²
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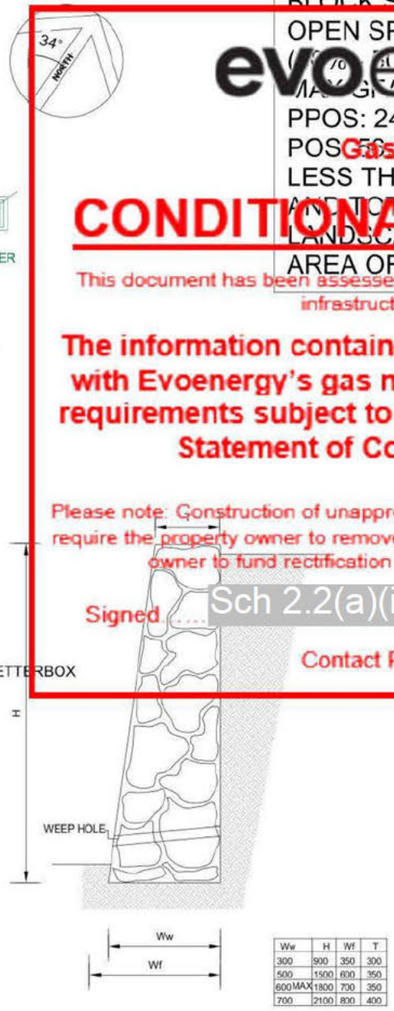
10		6.12 m²
Grand total		349.58 m²



Ww	H	Wf	T
300	900	350	300
500	1500	600	350
600 MAX	1800	700	350
700	2100	800	400

ROCK RETAINING WALL

* TIMBER SLEEPER / STONE RETAINING WALL (RW) AND STEPS TO SITE CONDITION, RELEVANT CODES AND DEVELOPERS GUIDELINES
* SUBSOIL DRAINAGE SYSTEMS: AG PIPE / WATERPROOFING, COMPLIANCE TO RELEVANT CODES/AS/ BCA
* AGRI DRAIN TO PRVENT SURFACE WATER ENTRY AS PER BCA V2, Part 3.1.2/AS 4654.2-2012

1 1. SITE PLAN
1 : 200

Virk Building Design Services
Email: virk.bds@gmail.com Mob: 0425677755

NOTE: The drawings are indicative only and are required to be verified / confirmed by the owner and/or builder and engineer and/or certifier in accordance with the relevant Building Legislation/Regulations, Housing Development Codes, NCC, Australian Standards, etc.
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Sch 2.2(a)(ii)
RESIDENCE
SUBURB: STRATHNAIRN

SITE PLAN — FOR APPROVAL

Project number	211201
Date	6/3/22
Drawn by	B.Virk
Checked by	Client

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Scale 1 : 200 on A3

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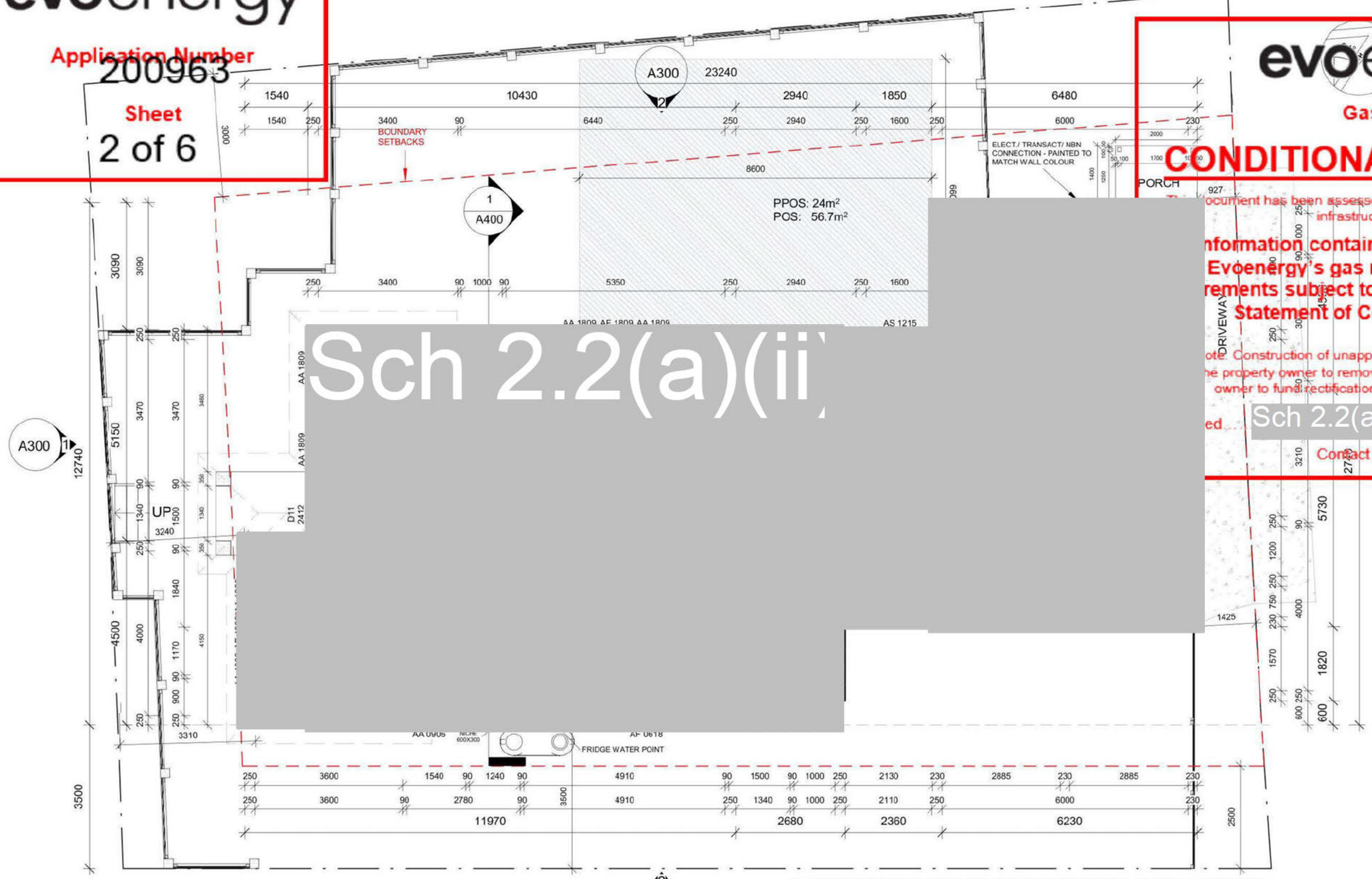
evoenergy

Application Number
200963

Sheet
2 of 6



evoenergy

Gas Networks

CONDITIONALLY COMPLIES

This document has been assessed against legislation protecting Evoenergy's infrastructure and access to it

Information contained in this application complies Evoenergy's gas network protection and access requirements subject to the conditions as listed on the Statement of Conditional Compliance.

Note: Construction of unapproved works may result in action being taken to the property owner to remove non-compliant structures and/or the property owner to fund rectification works on Evoenergy's gas network.

Sch 2.2(a)(ii)

Date: 13 Apr 2022

Contact Phone: Sch 2.2(a)(ii)

SITE AREA	
OPEN SPACE	404.88 m²
Footprint	133.25 m²
Total	537.63 m²

GFA		
Number	Name	Area
1	GF Living	132.87 m²
2	UF Living	61.79 m²
3	Surv Unit	58.42 m²
4	Garage	29.74 m²
Grand total		282.83 m²

Construction Area		
Number	Name	Area
1	Sch 2.2(a)(ii)	132.87 m²
2		61.79 m²
3		58.42 m²
4		29.74 m²
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7		4.05 m²
8		2.80 m²
9		4.40 m²
10		6.12 m²
Grand total		349.58 m²

2. GROUND FLOOR PLAN

1 : 100

- ALL MECHNICAL VENTILATION TO BE DUCTED DIRECTLY TO OUTSIDE ROOF SPACE IN ACCORDANCE WITH BCA V2 PART 3.8.7.4
- FLOW RATE OF MECHINCAL SYSTEMS TO COMPLY WITH BCA V2 3.8.7.3
- UPPER FLOOR WINDOWS TO BE RESTRICTED IN ACCORDANCE WITH BCA V2 3.9.2.6
- ALL WINDOWS AND SLIDERS AS PER AS2047 & AS1288 AND DOUBLE GLAZED
- FLOOR DRAINS IN ALL WET AREAS / BLACONY / OUTDOOR AS REQUIRED
- ALL INTERNAL DOORS HEIGHT: 2040mm

Virk Building Design Services

Email: virk.bds@gmail.com Mob: 0425677755

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RESIDENCE

SUBURB: STRATHNAIRN

GROUND FLOOR PLAN FOR APPROVAL

Project number	211201
Date	6/3/22
Drawn by	B.Virk
Checked by	Client

A200

Scale 1 : 100 on A3

6/03/2022 4:49:26 PM

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Application Number
200963

Sheet
3 of 6

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Gas Networks

CONDITIONALLY COMPLIES

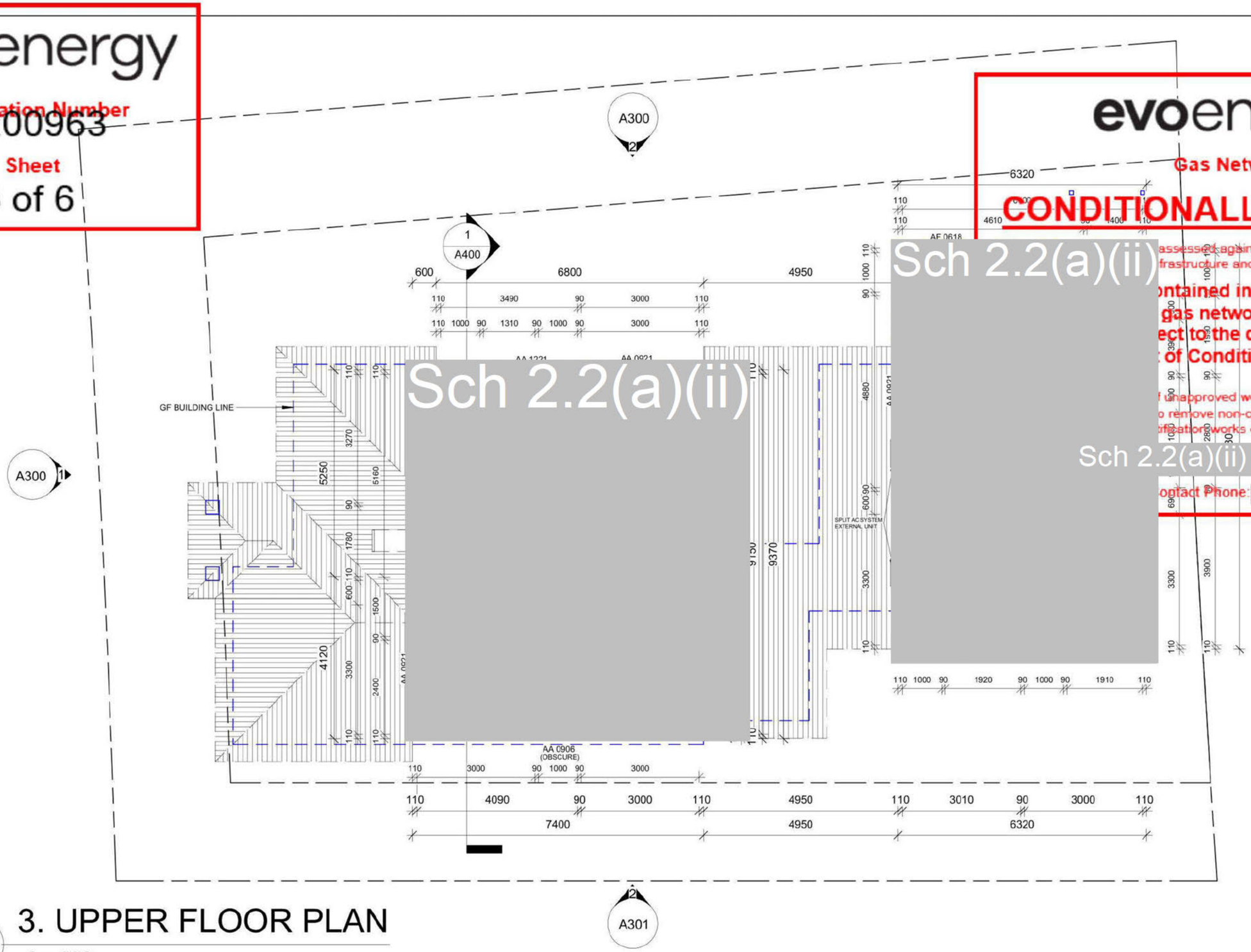
assessed against legislation protecting Evoenergy's
frastructure and access to it

ontained in this application complies
gas network protection and access
ect to the conditions as listed on the
of Conditional Compliance.

f unapproved works may result in action being taken to
o remove non-compliant structures and/or the property
ification works on Evoenergy's gas network.

Date: 13 Apr 2022

ontact Phone: Sch 2.2(a)(ii)



1 3. UPPER FLOOR PLAN

1 : 100

Virk Building Design Services

Email: virk.bds@gmail.com Mob: 0425677755

NOTE: The drawings are indicative only and are required to be verified / confirmed by the owner and/or builder and engineer and/or certifier in accordance with the relevant Building Legislation/Regulations, Housing Development Codes, NCC, Australian Standards, etc.
Virk BDS will not be held liable / responsible in any form by any party whatsoever for any design or structural component, notation or accuracy of documentation herein. Client / Builder accepts Plans and responsibility once plans are accepted for approvals.

Sch 2.2(a)(ii)

RESIDENCE

SUBURB: STRATHNAIRN

UPPER FLOOR PLAN FOR APPROVAL

Project number	211201	A201	
Date	6/3/22		
Drawn by	B.Virk		
Checked by	Client	Scale	1 : 100 on A3

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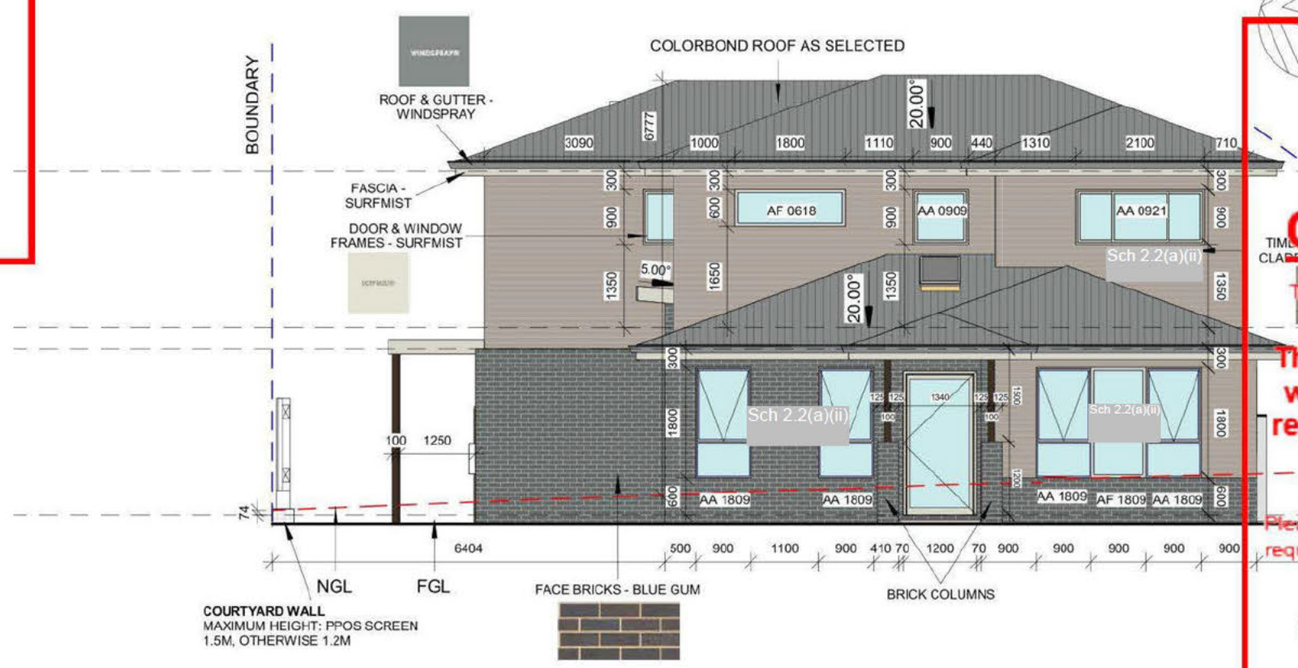
Application Number
200963

Sheet
4 of 6

BUILDING ENVELOPE / SOLAR ACCESS



1 Elevation 1
1 : 100

evoenergy
Gas Networks

CONDITIONALLY COMPLIES

This document has been assessed against legislation protecting Evoenergy's infrastructure and access to it

The information contained in this application complies with Evoenergy's gas network protection and access requirements subject to the conditions as listed on the Statement of Conditional Compliance.

Please note: Construction of unapproved works may result in action being taken to require the property owner to remove non-compliant structures and/or the property owner to fund rectification works on Evoenergy's gas network.

Signed Sch 2.2(a)(ii) Date 13 Apr 2022

Contact Phone: Sch 2.2(a)(ii)

BUILDING ENVELOPE / SOLAR ACCESS

2 Elevation 2
1 : 100

Virk Building Design Services

Email: virk.bds@gmail.com Mob: 0425677755

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Sch 2.2(a)(ii)

RESIDENCE

SUBURB: STRATHNAIRN

ELEVATION 1&2

FOR APPROVAL

Project number	211201	A300	
Date	6/3/22		
Drawn by	B.Virk		
Checked by	Client	Scale	1 : 100 on A3

6/03/2022 4:49:27 PM

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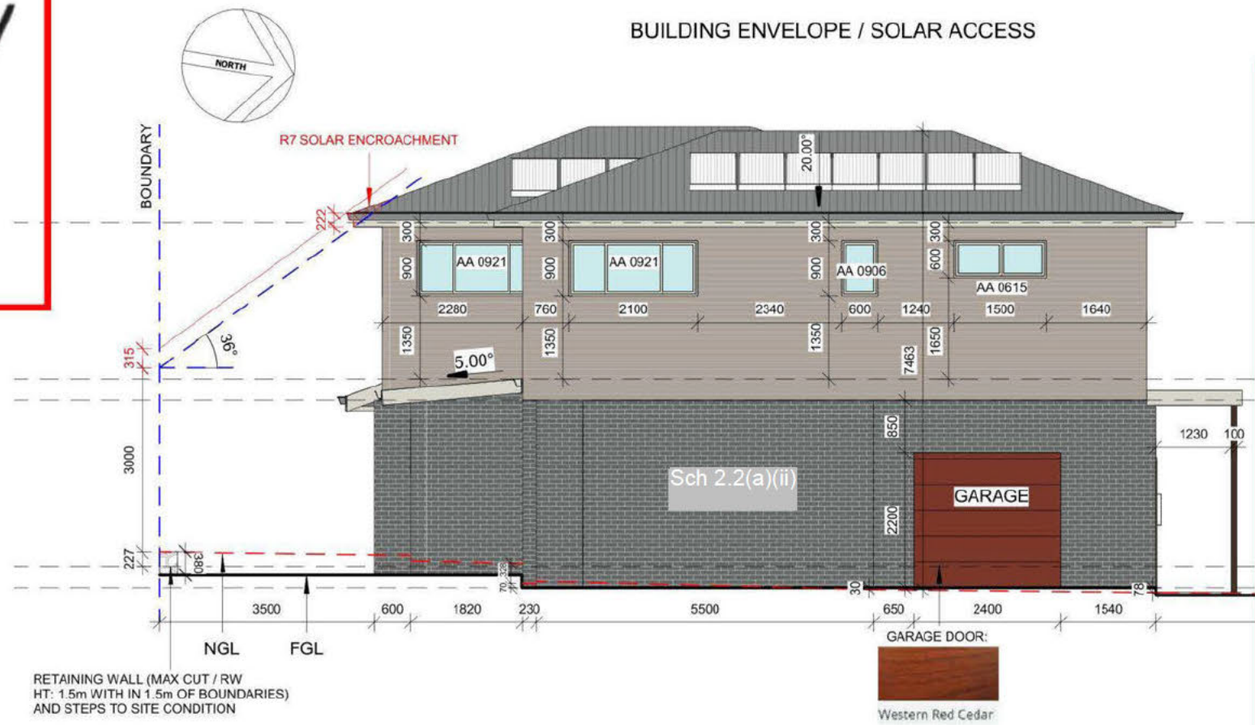
Application Number
200963

Sheet
5 of 6

BUILDING ENVELOPE / SOLAR ACCESS



1 Elevation 3
1 : 100

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Gas Networks

CONDITIONALLY COMPLIES

This document has been assessed against legislation protecting Evoenergy's infrastructure and access to it

The information contained in this application complies with Evoenergy's gas network protection and access requirements subject to the conditions as listed on the Statement of Conditional Compliance.

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COURTYARD WALL
MAXIMUM HEIGHT: PP
1.5M, OTHERWISE 1.2M

Signed: Sch 2.2(a)(ii) Date: 13 Apr 2022

Contact Phone: Sch 2.2(a)(ii)

BUILDING ENVELOPE / SOLAR ACCESS

2 Elevation 4
1 : 100

Virk Building Design Services

Email: virk.bds@gmail.com Mob: 0425677755

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Sch 2.2(a)(ii)

RESIDENCE

SUBURB: STRATHNAIRN

ELEVATION 3&4

FOR APPROVAL

Project number	211201	A301
Date	6/3/22	
Drawn by	B.Virk	
Checked by	Client	Scale 1 : 100 on A3

6/03/2022 4:49:27 PM

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Application Number: Sch 2.2(a)(ii)

Sheet: 6 of 6

WINDOWS / DOORS
* ALL MATERIAL, FLASHING, FRAMES, GLAZING, FLY SCREENS, ETC TO CONFORM TO AS2047 / AS1288 / RELEVANT CODES / BEST TRADE PRACTICES.
* ENSURE CORRECT OPERATION OF WINDOWS & SLIDING DOORS, ENSURING CORRECT PROTECTION FROM THE WATER.
* ALL ALUMINIUM DOORS AND WINDOWS TO BE ALUMINIUM IMPROVED.

ELECTRICAL:
* ALL ELECTRICAL WORK, CONNECTIONS AND INSTALLATION FOR FULL SATISFACTORY OPERATION IN ACCORDANCE WITH AUTHORITY REQUIREMENTS, RELEVANT CODES, REGULATIONS AND AS DIRECTED BY THE BUILDER.
* LIGHTING TO COMPLY WITH CLAUSE 3.12.5.5 OF BCA.
* DOWNLIGHTS INSTALLED WITH APPROVED NON-VENTILATED COVER OR SHIELD ALLOWING INSTALLATION OF INSULATION TO SIDES AND TOP.
* SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH BCA , BUILDING NOTE 19 & TO COMPLY WITH AS3786. SMOKE ALARMS TO BE CONNECTED MAIN POWER WITH BATTERY BACKUP AND WIRED, IN ACCORDANCE WITH AS3000.

WATER HEATER: HOT WATER SUPPLY SYSTEM TO COMPLY WITH CLAUSE 3.12.5.6 OF BCA V2.

FOOTINGS:
* ALL CONCRETE FOOTINGS AND SLABS TO BE IN ACCORDANCE WITH S.A.A. CODE 2870.1 & ENGINEER'S DESIGN / SPECIFICATIONS.
* CONTINUOUS DAMPPROOF MEMBRANE UNDER SLAB.
* DAMPROOF COURSE AT BEARER SEATING LEVELS, STEPPED CAVITY FLASHING WITH WEEP HOLES AT 1200MM CENTERS TO THE EXTERNAL BRICK SKIN AT GROUND FLOOR LEVEL, UNDER WINDOW SILLS AND BRICKWORK ABOVE WINDOWS.

BRICKWORK:
* MASONARY STONE / BRICKWORK AS SELECTED, GENERALLY 230 X 110 X76 MM BRICKS BONDED IN STRETCHER BOND.
* MORTAR TO COMPLY WITH THE REQUIREMENTS OF RELEVANT CODES & AUSTRALIAN STANDARDS. COLOUR TO NOT BE WHITE OR OFF WHITE.
* MASONRY ARTICULATION REQUIRED (VERTICAL ARTICULATION JOINTS) IN ACCORDANCE WITH BCA V2 3.3.5.13

LINTELS FOR BRICKWORK. ALL BEAMS & LINTELS AS PER ENGINEER'S DESIGN / SPECIFICATION & MANUFACTURER'S TABLE.

MATERIAL & FINISHES TO BE CONFIRMED BY THE CLIENT

TIMBER STUD WORK:
*ALL TIMBER WORK TO COMPLY WITH AS 1684.2 "RESIDENTIAL TIMBER FRAMED CONSTRUCTION"
*90X35MM PINE STUDS AT 450 MM CENTERS TO ALL LOAD - BEARING WALLS & AT 600 MM CENTERS TO NON LOAD-BEARING WALLS
*90X35MM PINE PLATE & NOGGING AND PROVIDE SECOND 90X45 MM TOP PLATE TO ALL LOAD -BEARING WALLS
*PROVIDE 90X45 F8 STUDS TO BOTH SIDES OF OPENING CARRYING LINTELS F8 TIMBER TO WALLS SUPPORTING TRUSSES WITH SPANS GREATER THAN 6.0 M
*50X38 MM CEILING BATTENS AT 450 MM CANTERS.
*10 MM PLASTER BOARD INTERNAL WALL & CEILING *LINING FIBROUS CEMENT SHEET LINING TO EAVES.

INSULATION SCHEDULE (NCC-2016 PART3.12):
*R 4.0 CEILING INSULATION + R1.3 BLANKET/SARKING
*R 2.0 WALL INSULATION + BUILDING WRAPS
*R 2.0 INSULATION TO INTERNAL WET AREA WALLS
*R 2.0 FLOOR INSULATION
*ALL WINDOWS / SLIDERS TO BE DOUBLE GLAZED
*HEAVY DRAPES WITH PELMETS, WEATHER STRIPS TO EXTERNAL DOORS & SEAL EXHAUST FANS

ROOFING:
*TRUSSES AT 600mm CENTERS, FIXED TO MANUFACTURERS SPECIFICATIONS.
*LINTEL SIZE TO TRUSS MANUFACTURERS CHART.
* METAL FASCIA & GUTTER AS SELECTED.
*PLASTER INTERNAL LINING/WALL FRAMING TO ALL ROOMS TO BE COVERED JOINTS BEING BACKED WITH EITHER NOGGINGS OR STUDS AS REQUIRED BY MANUFACTURER.
*ALL ELEMENTS TO BE FIXED FIRMLY FIXED.
*PLASTERBOARD 10MM THICK AVAILABLE & CEILING LINING.
*FIBROUS CEMENT SHEET WALL LINING TO WET AREAS.
*PROVIDE CORNICE AS SELECTED WILL BE FIXED AT INTERSECTION OF ALL BEAMS AND WALL JUNCTIONS WITH CEILINGS.
*PROVIDE ROOF LIGHTS & VENTILATION TO COMPLY WITH THE NCC.
*ROOF PLUMBING, FLASHING ETC AS NECESSARY TO COMPLY WITH RELEVANT AUSTRALIAN STANDARDS.

WATERPROOFING:
*WET AREA WATERPROOFING AS 3740 - 2010 AND AMDT1 - 2012, AND BCA V2:
*EXTERNAL / BALCONIES WATERPROOFING: AS 4654 - 2012 AND BCA V2: 3.8.1.3

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Gas Networks

CONDITIONALLY COMPLIES

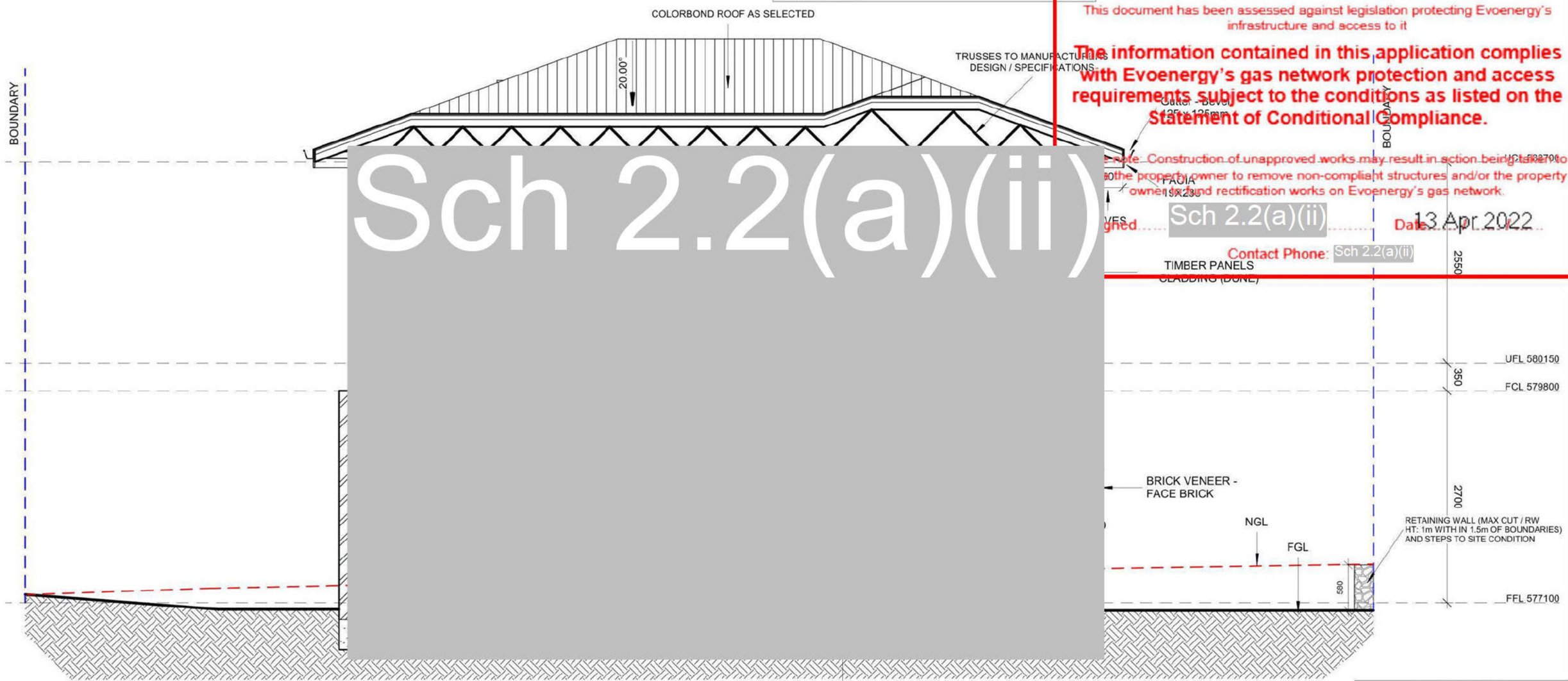
This document has been assessed against legislation protecting Evoenergy's infrastructure and access to it

The information contained in this application complies with Evoenergy's gas network protection and access requirements subject to the conditions as listed on the Statement of Conditional Compliance.

Note: Construction of unapproved works may result in action being taken to the property owner to remove non-compliant structures and/or the property owner to fund rectification works on Evoenergy's gas network.

Signed: Sch 2.2(a)(ii) Date: 13 Apr 2022

Contact Phone: Sch 2.2(a)(ii)



Sch 2.2(a)(ii)

1 Section A
1 : 50

NOISE AFFECTED BLOCK - TO COMPLY WITH:
* AS/NZS 2107:2000 - Acoustics – Recommended design sound levels and reverberation times for building interiors (the relevant satisfactory recommended interior design sound level)
*AS/NZS 3671 - Acoustics – Road Traffic Noise Intrusion Building Siting and Design and Ginninderry Noise Management Plan

Virk Building Design Services

Email: virk.bds@gmail.com Mob: 0425677755

NOTE: The drawings are indicative only and are required to be verified / confirmed by the owner and/or builder and engineer and/or certifier in accordance with the relevant Building Legislation/Regulations, Housing Development Codes, NCC, Australian Standards, etc.
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Sch 2.2(a)(ii)

RESIDENCE

SUBURB: STRATHNAIRN

SECTION A — FOR APPROVAL

Project number	211201	A400	
Date	6/3/22		
Drawn by	B.Virk		
Checked by	Client	Scale	1 : 50 on A3

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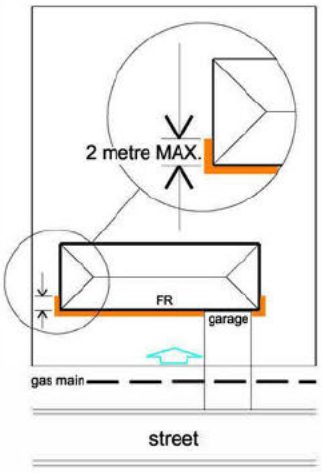
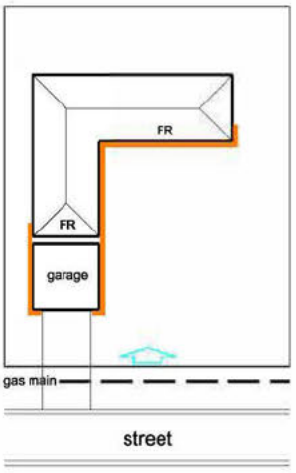
MAY 2009

Jemena

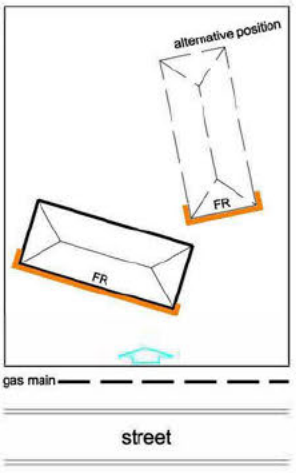
DOMESTIC GAS METER LOCATION REFERENCE DRAWINGS



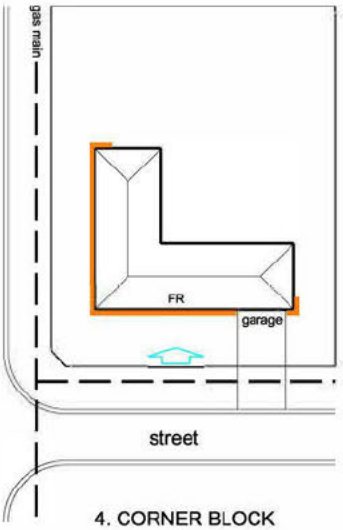
1. TYPICAL SITUATION



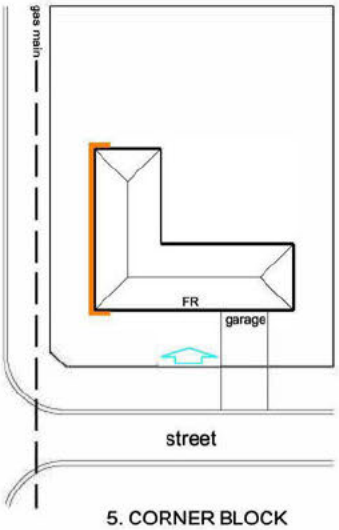
2. DETACHED GARAGE AT FRONT



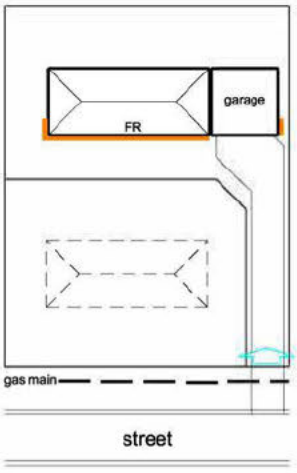
3. ANGLED HOUSE



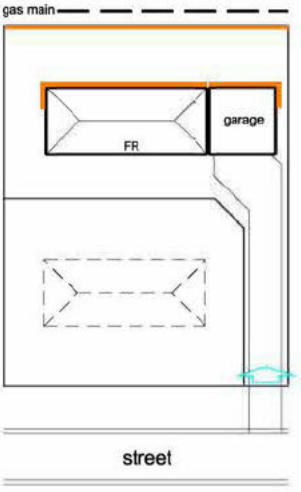
4. CORNER BLOCK
GAS ON TWO SIDES



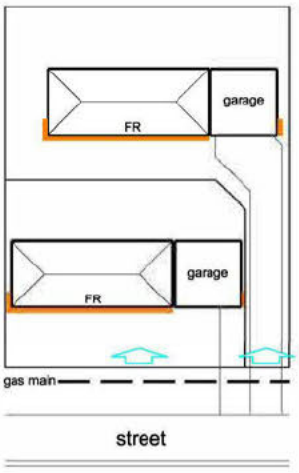
5. CORNER BLOCK
GAS ON ONE SIDE



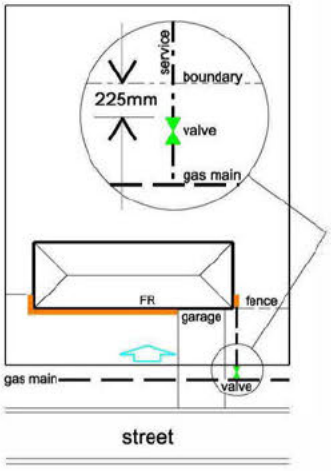
6. BATTLE-AXE BLOCK
GAS AT FRONT



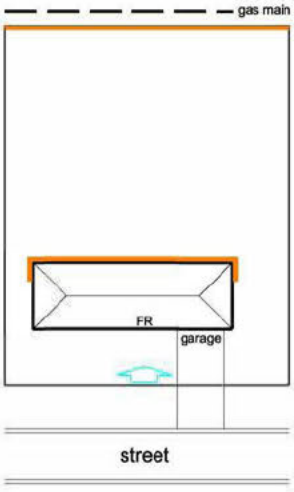
7. BATTLE-AXE BLOCK
GAS AT REAR



8. DUAL OCCUPANCY



9. METER BEHIND LOCKABLE
GATE, FENCE, OR BARRIER



10. MAIN AT REAR OF BLOCK

FR =
Deemed as FRONT

Acceptable meter locations

Property address position

LEGEND:

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Gas Networks

Gas Metering Equipment

Prohibited Locations

Metering equipment must not be installed in the following locations unless specifically approved by Evoenergy:

(a) a bedroom;

(b) a lift shaft or lift motor room;

(c) a room specifically intended for electrical switchgear;

(d) a fire-isolated stairway or passage;

(e) a fire hydrant duct or hose reel cabinet;

(f) sprinkler or hydrant pump room;

(g) near a source of ignition;

(h) in a position that would obstruct egress from a building;

(i) in a position where the meter would be subject to physical damage unless adequately protected;

(j) in an area where excessive temperatures or sudden excessive changes in temperature may occur;

(k) in an area of excessive vibration;

(l) in the foundation area under a building;

(m) in a cavity wall, unless installed in a ventilated enclosure which meets the requirements of Evoenergy, and the cavity is sealed;

(n) in a position where access for reading or maintenance is restricted;

(o) in an unventilated position; or

(p) on the ground, a floor which is frequently wetted or on a floor which contains material which may corrode the meter.

For further information please phone Sch 2.2(a)(ii)

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'STATEMENT OF COMPLIANCE'

INFORMATION SHEET

The following requirements must be included in an application that is made under the Planning and Development Act 2007 and/or the Building Act 2004 to Evoenergy when seeking an Electricity & Gas Networks 'statement of compliance'.

General Requirements for all Development Applications

Provide plans which are to include the following:

- ☐ A designated scale, for example 1:500, 1:200, 1:100, 1:50 with Bar Scale
- ☐ Proposed and existing structures including basements, driveways, gates, fencing, sheds, rainwater tanks and retaining walls
- ☐ Accurately located and dimensioned Evoenergy electricity & gas assets within the block and those located within 5 metres of any boundary of the block (Contact Dial-Before-You-Dig on 1100 for asset maps)
- ☐ Dimensioned distance of all structures that are within 5 metres of Evoenergy electricity & gas assets
- ☐ Any electricity or gas easements on the block
- ☐ Elevations & sections of proposed structures

Specific Requirements for Type of Development

Single Dwelling/Dual Occupancy

- ☐ As per General Requirements above

Multiple Unit and High Rise residential

- ☐ As per General Requirements above
- ☐ Number of units
- ☐ Number of bedrooms per unit
- ☐ Detailed Maximum Demand Calculation as per AS 3000 (electricity)
- ☐ Detailed MJ load of the installation and appliances (gas)
- ☐ Net Floor Area of common areas and their use
- ☐ Net Floor area of Basement and form of ventilation
- ☐ Type of cooking, space & water heating and cooling (gas, electric etc)
- ☐ Details of central hot water installation

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Non-Residential & Mixed Use

- ☐ As per General Requirements above
- ☐ Type of development (office, retail, warehouse, industrial etc)
- ☐ Timing of the development
- ☐ Staging of the development
- ☐ Net useable floor areas and their usage
- ☐ Net floor area of Basement and form of ventilation
- ☐ Type of cooking, space & water heating and cooling (gas, electric etc)
- ☐ A list of the load components of the proposed installation with their maximum demands, diversity factors, etc
- ☐ Information on load management system (if applicable)
- ☐ Duty cycle of any large equipment or duty cycle of an industrial process
- ☐ Details of any substantial intermittent and fluctuating loads
- ☐ Details of any large single phase loads
- ☐ Details of any loads likely to cause substantial harmonics
- ☐ Details of any loads which are likely to have poor power factors
- ☐ Any seasonal factors, i.e. seasonal variation of load
- ☐ Main factors affecting level of demand
- ☐ Removal of any part of an existing installation
- ☐ Any planned future augmentations or upgrades
- ☐ Any on site emergency back up arrangements
- ☐ Details of large starting motors and voltage drop limitations
- ☐ Detailed Maximum Demand Calculation as per AS 3000 (electricity)
- ☐ Detailed MJ load of the installation and appliances (gas)
- ☐ Type B gas appliance details
- ☐ Number of units
- ☐ Number of bedrooms per unit

Demolitions

- ☐ **Warning: You must contact Evoenergy prior to commencement of demolition works**

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For further information

Information about any of the requirements raised in this document can be obtained by contacting the following:

Evoenergy Electricity Networks: 6293 5770

Evoenergy Gas Networks: 6203 0640

Please note: Separate applications are required for Icon water, water & sewerage networks; and to other utility providers such as stormwater or telecommunications.

To lodge an electricity or gas compliance application:

Bring your drawings to the Networks Service Centre; or:

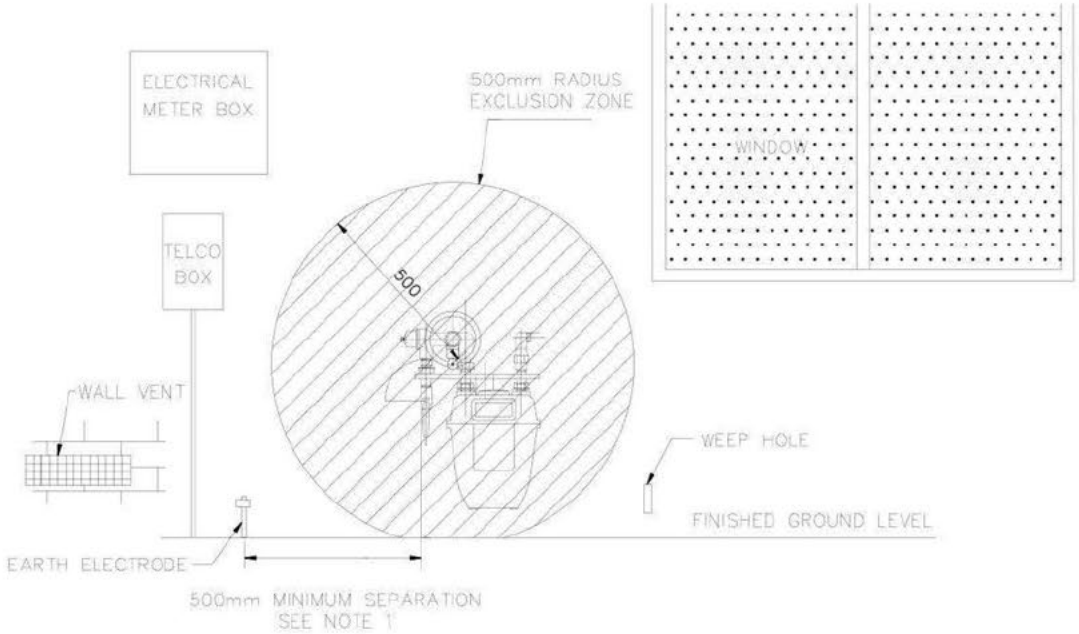
Send electronically to Evoenergy: email: devapp@evoenergy.com.au

The protocols for submitting an electronic application are:

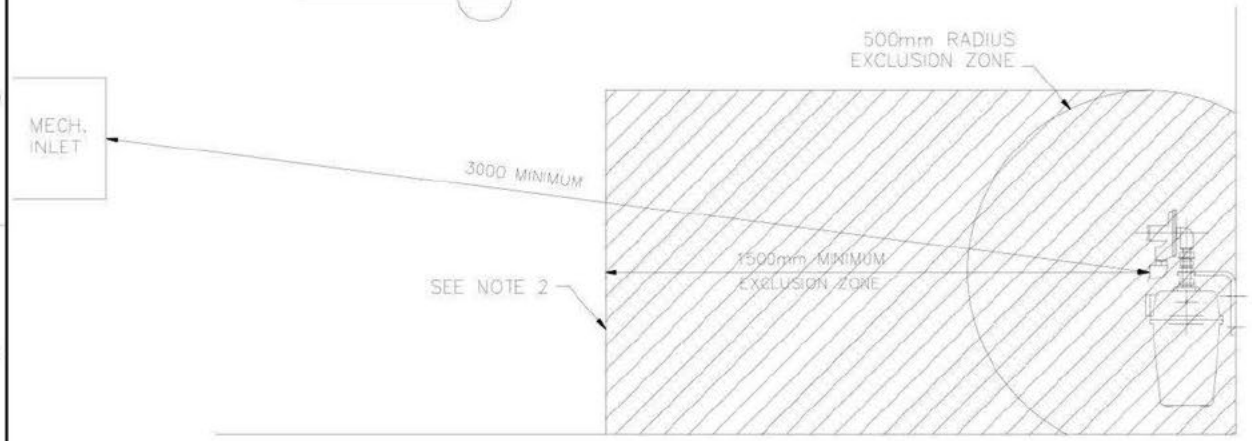
- Drawings in A3 format (each PDF to be no larger than 2 megabytes in size).
- Send one email for each application.
- Each PDF can contain multiple drawings however if you have more than 5 PDFs in an application, please send multiple emails (i.e. part 1, part 2 etc..)

NOTES:

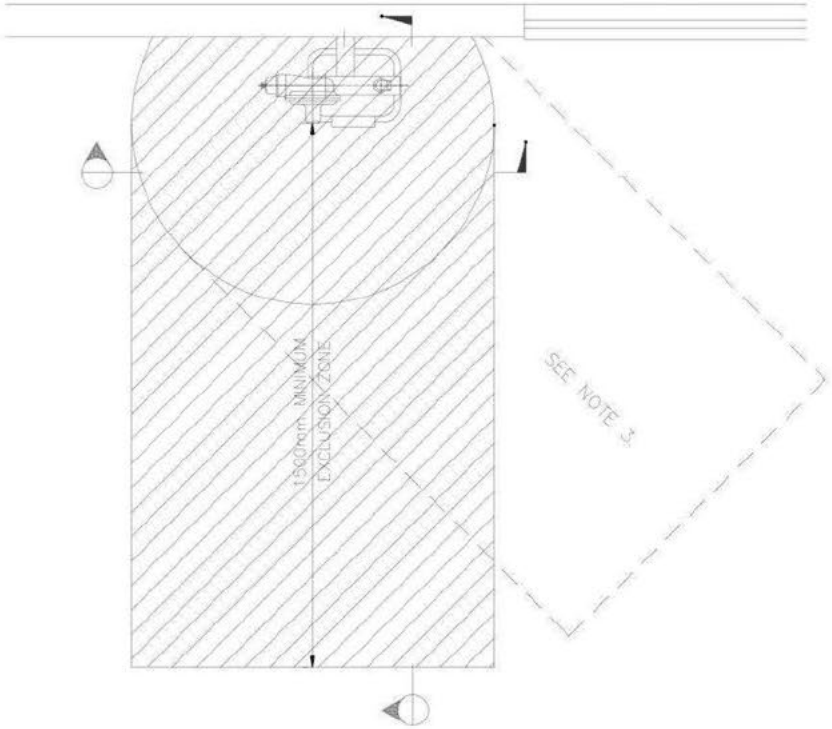
1. SEPARATION FROM EARTHING ELECTRODE TO COPPER RISER SHALL BE 500MM MINIMUM – REFER AS5601 cl 4.10.5
2. OBSTRUCTIONS WITHIN 1.5 METRES OF VENT TERMINAL IN DIRECTION OF DISCHARGE WILL RESULT IN A LARGER EXCLUSION ZONE BEING APPLIED – REFER AS5601 cl 4.7.11
3. DIRECTION OF DISCHARGE OF VENT TERMINAL DETERMINES ORIENTATION OF EXCLUSION ZONE.



ELEVATION 1



ELEVATION 2



PLAN VIEW

SYM	REVISION	PROJECT ENGINEER	DATE	DRAWN	DATE	CHECKED	DATE	PROJECT MANAGER	DATE	CLIENT	DATE
1	JEMENA LOGO			Sch 2.2(a)(ii)	25.11.08			Sch 2.2(a)(ii)	25.11.08		
0	ISSUED FOR REVIEW				23.11.05				30.11.05		

CLIENT

Jemena

GAS NETWORKS

EXCLUSION ZONE
DOMESTIC METER INSTALLATION
AS5601 REQUIREMENTS

SCALE	DRAWING NUMBER	REVISION

icon WATER

STATEMENT OF CONDITIONAL ACCEPTANCE

Application No: 200963 **Suburb:** Strathnairn **Block/Section**

Applcn Type: Single residential/New Construction Inclusions : Garage

Attached Plans
Strathnairn Referral Plans.pdf

Conditions of Acceptance
All Icon Water Valves, Hydrants, Meters and Maintenance Holes/Pits must have 24/7 access by Icon Water and Emergency Services. The developer must provide Icon Water 24/7 access to the construction site. The developer is to obtain Icon Water padlocks which must be installed in a daisy chain fashion at each entry and exit point of the construction site. No stockpiles, Temporary structures or equipment is to be located within the pipe protection envelope.
Icon Water assets shall be protected for the duration of the construction works from short term load shedding from construction machinery or vibration and groundwater ingress or infiltration. Any damage to Icon assets resulting from the construction works shall be repaired by Icon Water at the contractors expense. Access to Icon Water's assets including sewer structures, manholes, hydrants and valves is to be maintained for the duration of the construction works.
Lessee must install private sewer riser at the sewer tie to ground level as part of this approval
Location of the water meter is to be clear of driveways and footpaths with a 1m radius unhindered access maintained. If required, relocation of the water service is to be undertaken by Icon Water at the lessee's cost. Relocations further than 1.5m laterally require a Hydraulic plan to be approved by Icon prior to applying for the relocation. Evidence of this being performed and constructed is to be forwarded to Icon Water before the certificate of occupation is issued.
Other
Maintain water tie clearance and sewer tie protection zone (clear of driveway, landscaping and structures including mailbox and courtyard/retaining walls)

Please Note:

- Separate applications are required for ActewAGL electricity and gas networks.
- Any failure to accurately show existing or proposed structures may result in damage and costs for which the property owner will be liable. Damage to network assets must be reported to Icon Water.
- Utility conditions may also apply to minor structures and landscaping works that may not have been depicted in this document. Consultation with Icon Water is advised if such structures and landscaping are planned.
- Icon Water recommends setbacks provided for equipment access to water or sewerage network assets are kept free of obstruction by the property owner.
- Construction of works without the approval of Icon Water may result in connection to Icon Water's water and sewerage networks being denied and /or action being taken to require the property owner to remove non-compliant services (e.g. sanitary drains) or structures.

WARNING
Failure to comply with these conditions is likely to result in interference with an Icon Water sewer or water asset. Part 5 of the Utilities (Technical Regulation) Act 2014 applies, which indicates a person who interferes with a utility asset may be subject to prosecution. The current maximum penalty is 200 penalty units, imprisonment for two years, or both. In addition the land-holder can be ordered at their expense to stop the interference, which may involve removal of the building work or that part of the building work that is causing, or is likely to cause interference.

Comments:

Signed Sch 2.2(a)(ii) **Date** 19 Apr 2022

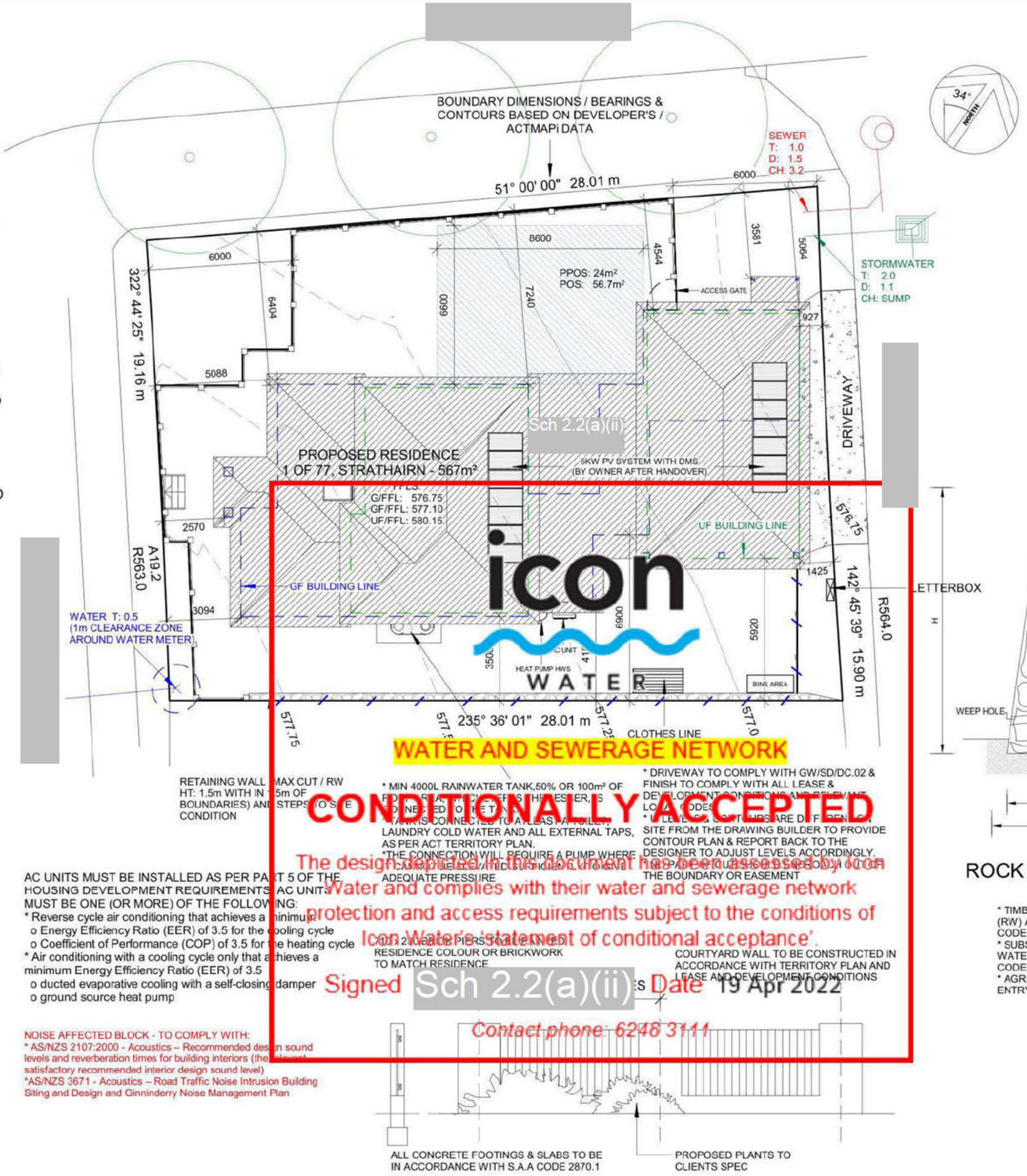
For further information please phone Icon Water 6248 3111.

Application Number
Sheet
1 of 1

IMPORTANT NOTES:
*THE REQUIREMENT OF REGULATIONS TAKES PRECEDENCE OVER THE DRAWINGS. DETAIL DRAWINGS TAKE PRECEDENCE OVER GENERAL DRAWINGS.
*DO NOT SCALE DRAWINGS - ALL DIMENSIONS IN "mm".
*BUILDER TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION WORKS, PRODUCING SHOP DRAWINGS OR FABRICATING COMPONENTS.
*BUILDER TO CHECK DOORS/WINDOWS DIMENSIONS BEFORE ORDERING ON FLOOR PLAN AND ELEVATIONS.
*ALUMINIUM FRAMED DOORS/WINDOWS WITH OPENING STYLES IN ACCORDANCE WITH ELEVATIONS AND FROM APPROVED MANUFACTURER UNO.
*LINTELS TO TRUSS MANUFACTURERS TABLES, ROOF TRUSSES TO MANUFACTURER'S SPECIFICATION.
*ALL CONSTRUCTION WORK TO BE DONE IN ACCORDANCE WITH BCA AND RELEVANT AUSTRALIAN STANDARDS AND DEVELOPMENT CODES.
*TERMITE PROTECTION TO COMPLY WITH AS1694 'PHYSICAL BARRIERS' & AS3660 'APPENDIX D' AND TO ACT BUILDING CONTROL BUILDING NOTE NO3, FRAMING TO AS1684 'NATIONAL TIMBER FRAMING CODE' AND SUPPLIMENTS, HARDWOOD TO AS.2796, ELECTRICAL TO AS.3000, PLUMBING TO AS3500, CONCRETE TO AS.3600, BRICKWORK TO AS.3700, 'SAA MASONRY CODE' AND AS.1640 'SAA BRICKWORK CODE', STRUCTURAL STEEL TO AS.1170 & AS.4100, WET SEAL TO AS.3740 AND .
*SMOKE ALARMS CONNECTED TO MAINS POWER SUPPLY, WITH BATTERY BACKUP, ARE TO BE INSTALLED IN ACCORDANCE WITH AS3786.

*BLOCK BOUNDARIES, CONTOURS, SERVICES AND EASEMENTS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION.
*CONFIRM ALL LEVELS AND CONTOURS ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION. BUILDER IS RESPONSIBLE TO ENSURE ALL INFORMATION SHOWN HERE REGARDING LEVELS ARE ACCURATE AND REPRESENTS EXISTING ON SITE LEVELS.
*THE FFLs ARE SUBJECT TO CHANGE AND ARE UP TO BUILDERS DISCRETION TO BE VERIFIED ON SITE, MAXIMUM CHANGE UNDER 340 mm, TO BE CONFIRMED BY CERTIFIER.
*LOCATION OF CUTS ARE INDICATIVE ONLY AND TO BE VERIFIED ON SITE. THEREFORE, ALL CUTS & FFL TO BE VERIFIED ON SITE BY A REGISTERED SURVEYOR.
*0.3 M CUT APPROX AT LINE OF HOUSE - SITE TO BE LEVELED / GRADED TO ALLOW FOR SURFACE DRAINAGE AS PER BCA.
*RETAINING WALL TO BE BUILT ENSURING DRAINAGE AS PER RELEVANT CODES/BCA V2. HEIGHTS AND ALL LEVELS TO SUIT SITE CONDITIONS. FINAL HEIGHTS TO BE CONFIRMED BY BUILDER ON SITE.

*SEDIMENT & EROSION CONTROL TO COMPLY WITHIN THE BEST PRACTICE GUIDELINES - PREVENT SOULTION FOR RESIDENTIAL BUILDING SITES MARCH 2006 AND ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE ACT, MARCH 2011.
*BUILDER TO PROVIDE CRUSHED GRANITE OR AGGREGATES AT ACCESS POINT TO SITE DURING CONSTRUCTION



AC UNITS MUST BE INSTALLED AS PER PART 5 OF THE HOUSING DEVELOPMENT REQUIREMENTS. AC UNITS MUST BE ONE (OR MORE) OF THE FOLLOWING:
* Reverse cycle air conditioning that achieves a minimum
o Energy Efficiency Ratio (EER) of 3.5 for the cooling cycle
o Coefficient of Performance (COP) of 3.5 for the heating cycle
* Air conditioning with a cooling cycle only that achieves a minimum Energy Efficiency Ratio (EER) of 3.5
o ducted evaporative cooling with a self-closing damper
o ground source heat pump

NOISE AFFECTED BLOCK - TO COMPLY WITH:
* AS/NZS 2107:2000 - Acoustics – Recommended design sound levels and reverberation times for building interiors (the relevant satisfactory recommended interior design sound level)
*AS/NZS 3671 - Acoustics – Road Traffic Noise Intrusion Building Siting and Design and Ginninderry Noise Management Plan

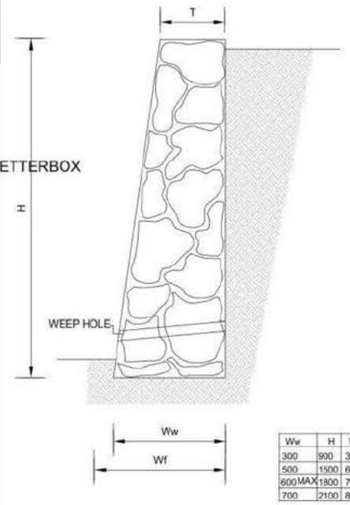
CONDITIONALLY ACCEPTED
The design depicted in this document has been assessed by Icon Water as complying with their water and sewerage network protection and access requirements subject to the conditions of Icon Water's 'statement of conditional acceptance'.
Signed Sch 2.2(a)(ii) Date 19 Apr 2022
Contact phone: 6248 3111

IMPORTANT BLOCK INFORMATION
BLOCK SIZE: 567 m² (RZ3)
OPEN SPACE MIN: 290.2 m²
(60% - 50.0m²)
MAX GFA (50%): 283.5 m²
PPOS: 24 m²
POS: 56.7m² (6m FOR AN AREA NOT LESS THAN 10% OF THE BLOCK AREA AND TOTAL AREA OF HARD LANDSCAPE NOT TO EXCEED 50% AREA OF P.O.S.)

SITE AREA	
OPEN SPACE	404.38 m²
Footprint	133.25 m²
Total	537.63 m²

Construction Area

Number	Name	Area
1	Sch 2.2(a)(ii)	132.87 m²
2		61.79 m²
3		58.42 m²
4		29.74 m²
5		36.01 m²
6		13.38 m²
7		4.05 m²
8		2.80 m²
9		4.40 m²
10		6.12 m²
Grand total		349.58 m²



Ww	H	Wf	T
300	900	350	300
500	1500	600	350
600 MAX	1800	700	350
700	2100	800	400

ROCK RETAINING WALL

* TIMBER SLEEPER / STONE RETAINING WALL (RW) AND STEPS TO SITE CONDITION, RELEVANT CODES AND DEVELOPERS GUIDELINES
* SUBSOIL DRAINAGE SYSTEMS: AG PIPE / WATERPROOFING, COMPLIANCE TO RELEVANT CODES/AS/ BCA
* AGRI DRAIN TO PRVENT SURFACE WATER ENTRY AS PER BCA V2, Part 3.1.2/AS 4654.2-2012

1 1. SITE PLAN
1 : 200

Virk Building Design Services
Email: virk.bds@gmail.com Mob: 0425677755

NOTE: The drawings are indicative only and are required to be verified / confirmed by the owner and/or builder and engineer and/or certifier in accordance with the relevant Building Legislation/Regulations, Housing Development Codes, NCC, Australian Standards, etc.
Virk BDS will not be held liable / responsible in any form by any party whatsoever for any design or structural component, notation or accuracy of documentation herein. Client / Builder accepts Plans and responsibility once plans are accepted for approvals.

Sch 2.2(a)(ii)
RESIDENCE
SUBURB: STRATHNAIRN

SITE PLAN — FOR APPROVAL

Project number	211201
Date	6/3/22
Drawn by	B.Virk
Checked by	Client

A100
Scale 1 : 200 on A3

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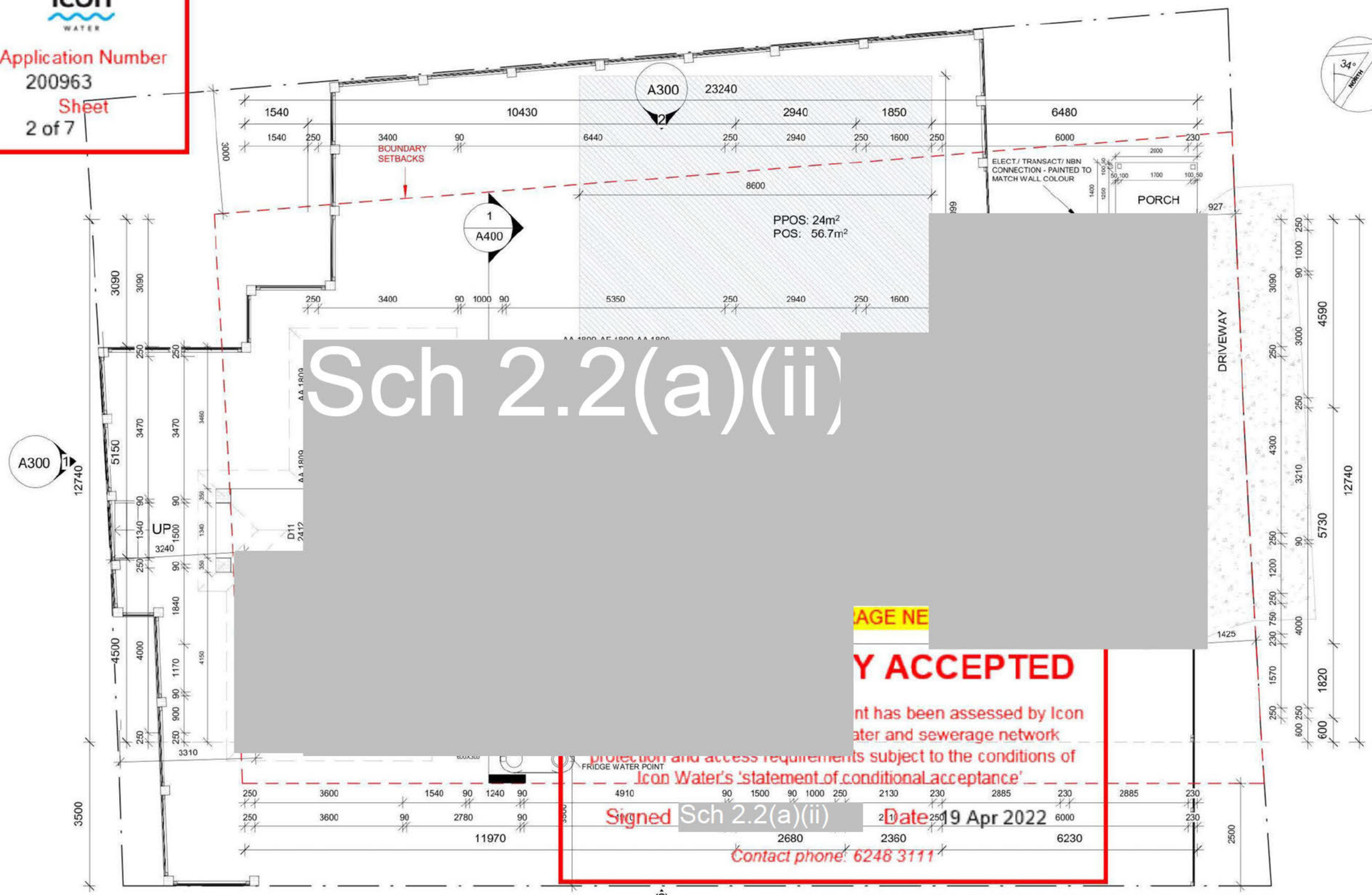
Application Number
200963
Sheet
2 of 7



Sch 2.2(a)(ii)

AGE NE

Y ACCEPTED

nt has been assessed by Icon
ater and sewerage network
ts subject to the conditions of
Icon Water's 'statement of conditional acceptance'

Signed Sch 2.2(a)(ii) Date 19 Apr 2022

Contact phone: 6248 3111

SITE AREA	
OPEN SPACE	404.38 m²
Footprint	133.25 m²
Total	537.63 m²

GFA		
Number	Name	Area
1	Sch 2.2(a)(ii)	132.87 m²
2		61.79 m²
3		58.42 m²
4		29.74 m²
Grand total		282.83 m²

Construction Area		
Number	Name	Area
1	Sch 2.2(a)(ii)	132.87 m²
2		61.79 m²
3		58.42 m²
4		29.74 m²
5		36.01 m²
6		13.38 m²
7		4.05 m²
8		2.80 m²
9		4.40 m²
10		6.12 m²
Grand total		349.58 m²

2. GROUND FLOOR PLAN

1 : 100

- ALL MECHNICAL VENTILATION TO BE DUCTED DIRECTLY TO OUTSIDE ROOF SPACE IN ACCORDANCE WITH BCA V2 PART 3.8.7.4
- FLOW RATE OF MECHINCAL SYSTEMS TO COMPLY WITH BCA V2 3.8.7.3
- UPPER FLOOR WINDOWS TO BE RESTRICTED IN ACCORDANCE WITH BCA V2 3.9.2.6
- ALL WINDOWS AND SLIDERS AS PER AS2047 & AS1288 AND DOUBLE GLAZED
- FLOOR DRAINS IN ALL WET AREAS / BLACONY / OUTDOOR AS REQUIRED
- ALL INTERNAL DOORS HEIGHT: 2040mm

Virk Building Design Services

Email: virk.bds@gmail.com Mob: 0425677755

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Sch 2.2(a)(ii)

RESIDENCE

SUBURB: STRATHNAIRN

GROUND FLOOR PLAN FOR APPROVAL

Project number	211201
Date	6/3/22
Drawn by	B.Virk
Checked by	Client

A200

Scale 1 : 100 on A3

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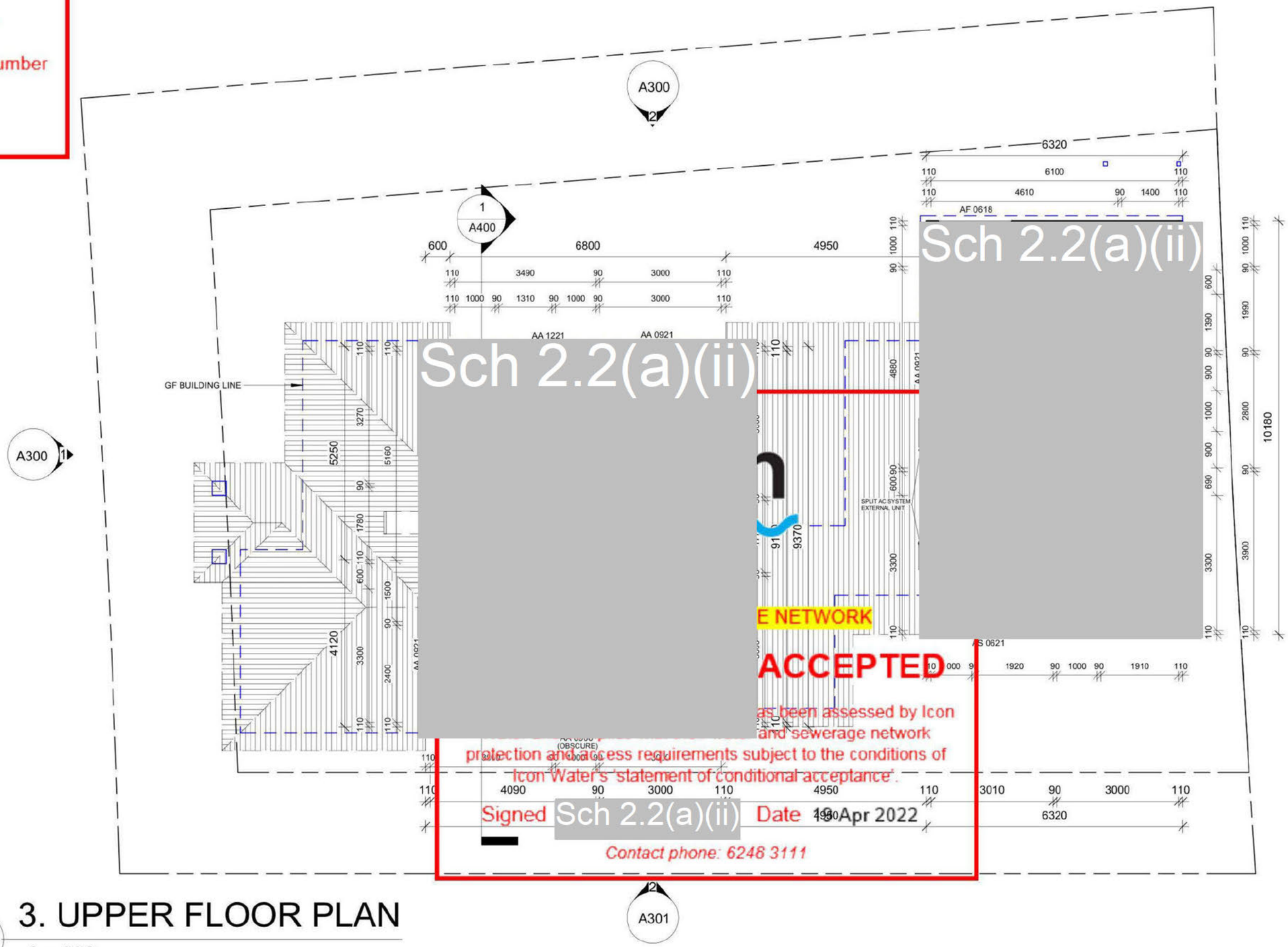
Application Number
200963
Sheet
3 of 7



3. UPPER FLOOR PLAN

1 : 100

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Sch 2.2(a)(ii)

RESIDENCE

SUBURB: STRATHNAIRN

UPPER FLOOR PLAN — FOR APPROVAL

Project number	211201
Date	6/3/22
Drawn by	B.Virk
Checked by	Client

A201

Scale 1 : 100 on A3

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Application Number
200963
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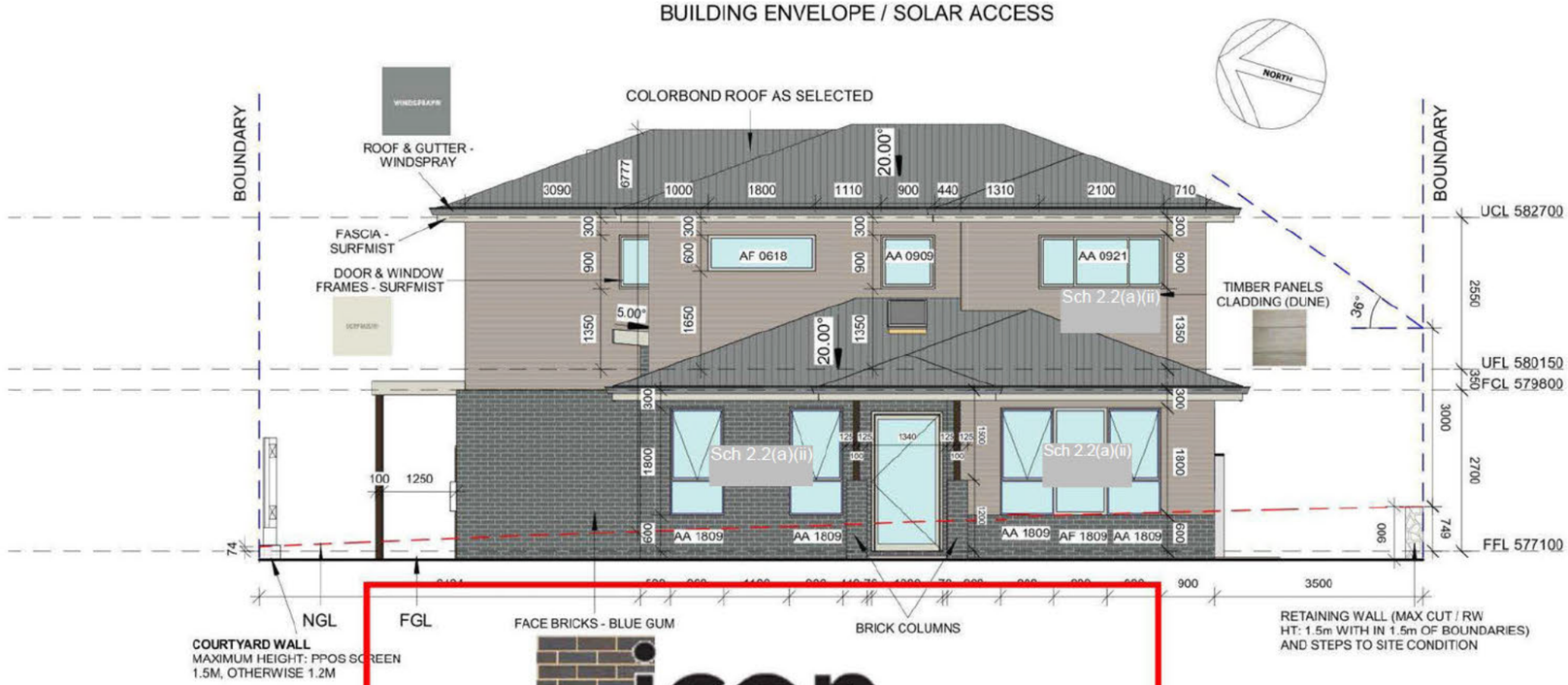
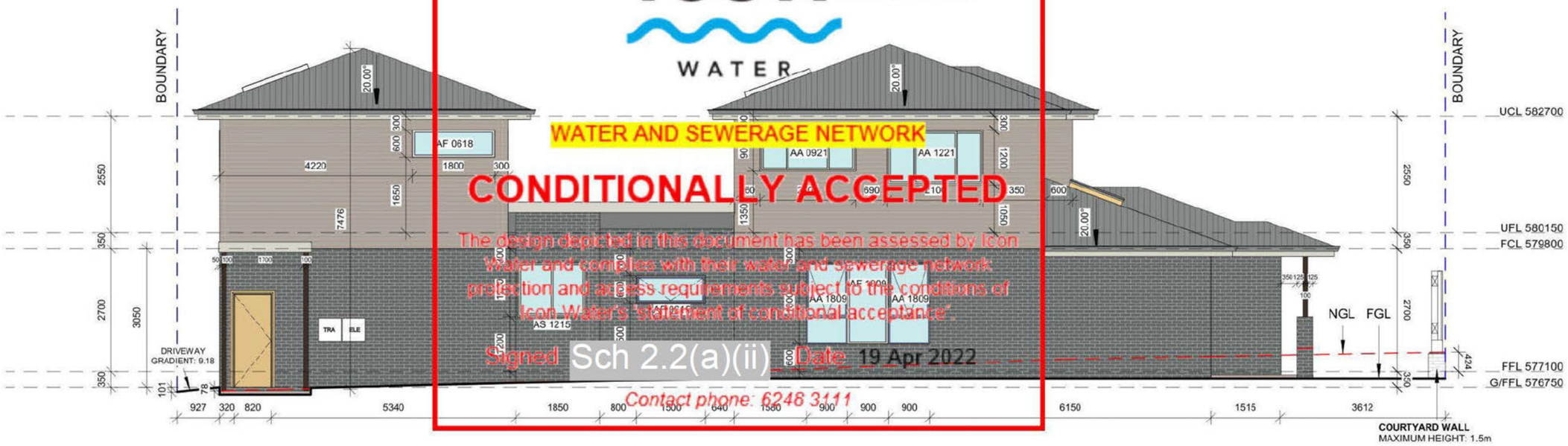
4 of 7

BUILDING ENVELOPE / SOLAR ACCESS



1 Elevation 1
1 : 100



2 Elevation 2
1 : 100

WATER AND SEWERAGE NETWORK
CONDITIONALLY ACCEPTED
The design depicted in this document has been assessed by Icon Water and complies with their water and sewerage network protection and access requirements subject to the conditions of Icon Water's statement of conditional acceptance.
Signed Sch 2.2(a)(ii) Date 19 Apr 2022
Contact phone: 6248 3111

Virk Building Design Services
Email: virk.bds@gmail.com Mob: 0425677755

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Sch 2.2(a)(ii)
RESIDENCE
SUBURB: STRATHNAIRN

ELEVATION 1&2 — FOR APPROVAL

Project number	211201	A300
Date	6/3/22	
Drawn by	B.Virk	
Checked by	Client	Scale 1 : 100 on A3

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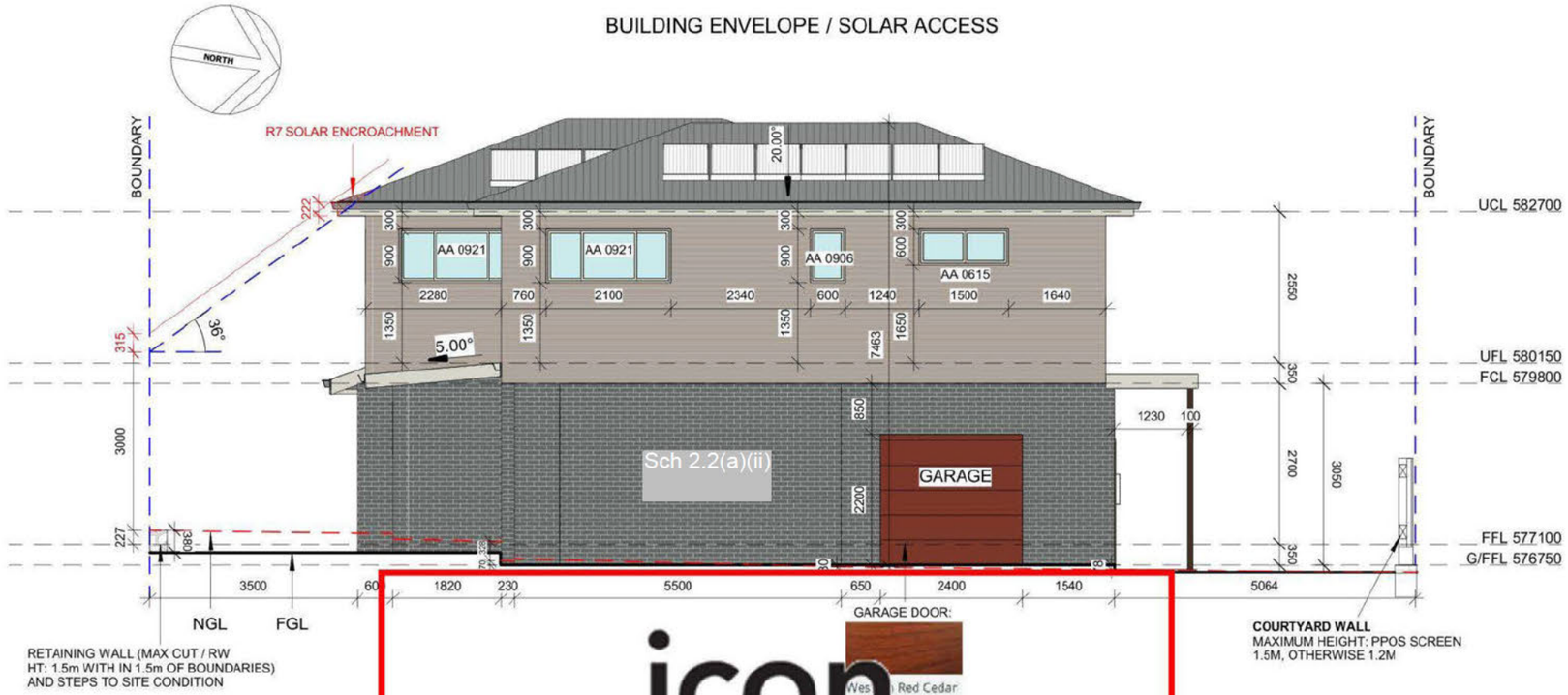
icon WATER

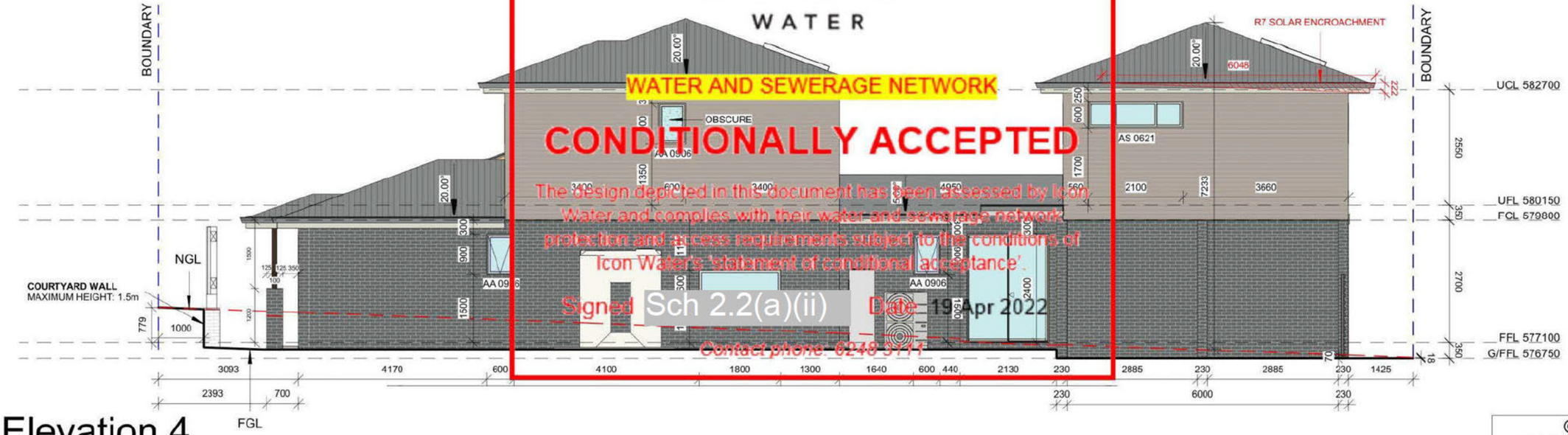
Application Number
200963
Sheet
5 of 7

BUILDING ENVELOPE / SOLAR ACCESS



1 Elevation 3
1 : 100

BUILDING ENVELOPE / SOLAR ACCESS



2 Elevation 4
1 : 100

icon WATER

WATER AND SEWERAGE NETWORK

CONDITIONALLY ACCEPTED

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Signed Sch 2.2(a)(ii) Date 19 Apr 2022

Contact phone: 6248 3111

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Sch 2.2(a)(ii)

RESIDENCE

SUBURB: STRATHNAIRN

ELEVATION 3&4

FOR APPROVAL

Project number	211201	A301	
Date	6/3/22		
Drawn by	B.Virk		
Checked by	Client	Scale	1 : 100 on A3

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Application Number
2009
Sheet
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WINDOWS / DOORS:
* MATERIALS. FIXING, FRAMES, GLAZING, FLY SCREENS, ETC TO CONFORM TO AS2047 / AS1288 / RELEVANT CODES / BEST TRADE PRACTICES.
* ENSURE CORRECT OPERATION OF WINDOWS, SLIDING DOORS, ENSURING CORRECT PROTECTION FROM THE WATER.
* ALL ALUMINIUM DOORS AND WINDOWS TO BE ALUMINIUM IMPROVED.

ELECTRICAL:
* ALL ELECTRICAL MATERIALS, CONNECTIONS AND INSTALLATION FOR FULL SATISFACTORY OPERATION IN ACCORDANCE WITH AUTHORITY REQUIREMENTS, RELEVANT CODES / REGULATIONS AND AS DIRECTED BY THE BUILDER.
* LIGHTING TO COMPLY WITH CLAUSE 3.12.5.5 OF BCA.
* DOWNLIGHTS INSTALLED WITH APPROVED NON-VENTILATED COVER OR SHIELD ALLOWING INSTALLATION OF INSULATION TO SIDES AND TOP.
* SMOKE ALARMS ARE TO BE INSTALLED IN ACCORDANCE WITH BCA , BUILDING NOTE 19 & TO COMPLY WITH AS3786. SMOKE ALARMS TO BE CONNECTED MAIN POWER WITH BATTERY BACKUP AND WIRED, IN ACCORDANCE WITH AS3000.

WATER HEATER IN HOT WATER SUPPLY SYSTEM TO COMPLY WITH CLAUSE 3.12.5.6 OF BCA V2.

FOOTINGS:
* ALL CONCRETE FOOTINGS AND SLABS TO BE IN ACCORDANCE WITH S.A.A. CODE 2870.1 & ENGINEER'S DESIGN / SPECIFICATIONS.
* CONTINUOUS DAMPPROOF MEMBRANE UNDER SLAB.
* DAMPROOF COURSE AT BEARER SEATING LEVELS, STEPPED CAVITY FLASHING WITH WEEP HOLES AT 1200MM CENTERS TO THE EXTERNAL BRICK SKIN AT GROUND FLOOR LEVEL, UNDER WINDOW SILLS AND BRICKWORK ABOVE WINDOWS.

BRICKWORK:
* MASONARY STONE / BRICKWORK AS SELECTED, GENERALLY 230 X 110 X76 MM BRICKS BONDED IN STRETCHER BOND.
* MORTAR TO COMPLY WITH THE REQUIREMENTS OF RELEVANT CODES & AUSTRALIAN STANDARDS. COLOUR TO NOT BE WHITE OR OFF WHITE.
* MASONRY ARTICULATION REQUIRED (VERTICAL ARTICULATION JOINTS) IN ACCORDANCE WITH BCA V2 3.3.5.13

LINTELS FOR BRICKWORK. ALL BEAMS & LINTELS AS PER ENGINEER'S DESIGN / SPECIFICATION & MANUFACTURER'S TABLE.

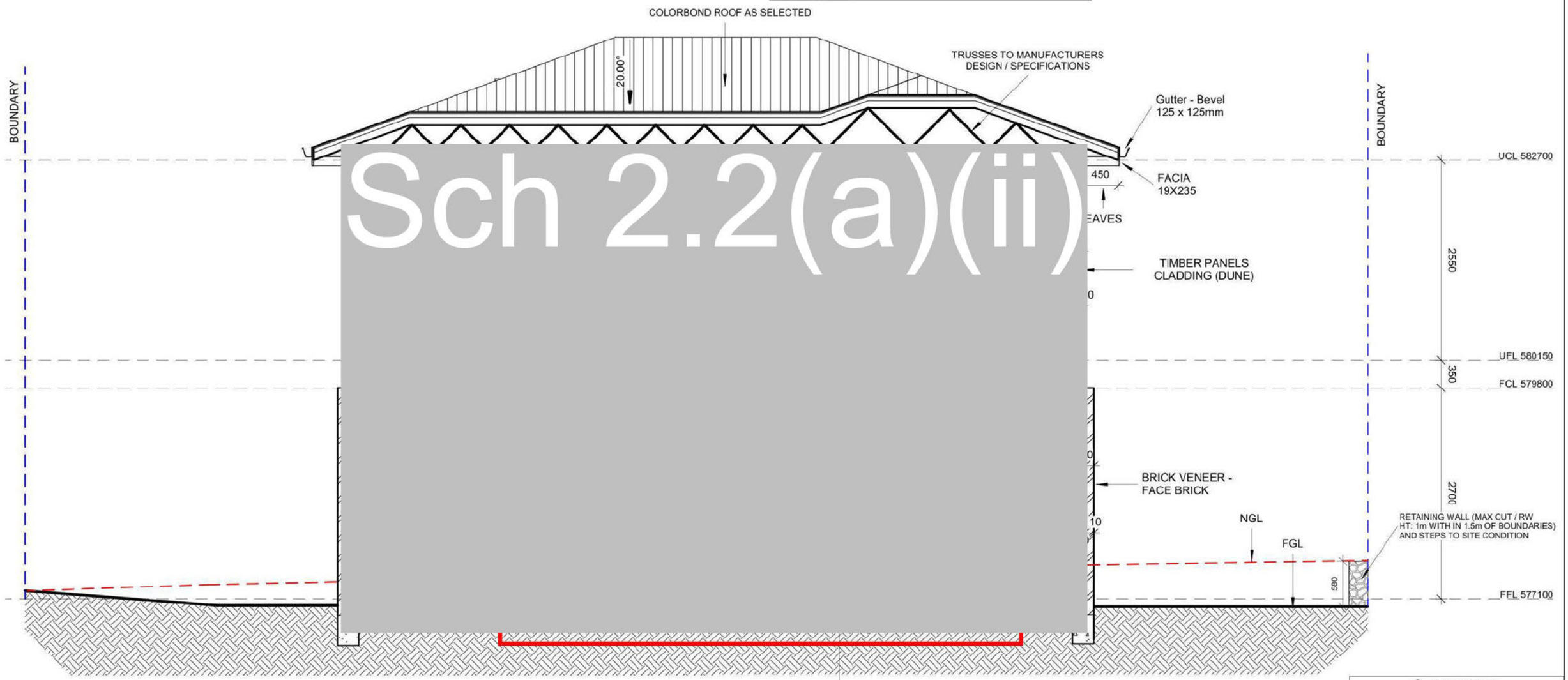
MATERIAL & FINISHES TO BE CONFIRMED BY THE CLIENT

TIMBER STUD WORK:
*ALL TIMBER WORK TO COMPLY WITH AS 1684.2 "RESIDENTIAL TIMBER FRAMED CONSTRUCTION"
*90X35MM PINE STUDS AT 450 MM CENTERS TO ALL LOAD - BEARING WALLS & AT 600 MM CENTERS TO NON LOAD-BEARING WALLS
*90X35MM PINE PLATE & NOGGING AND PROVIDE SECOND 90X45 MM TOP PLATE TO ALL LOAD -BEARING WALLS
*PROVIDE 90X45 F8 STUDS TO BOTH SIDES OF OPENING CARRYING LINTELS F8 TIMBER TO WALLS SUPPORTING TRUSSES WITH SPANS GREATER THAN 6.0 M
*50X38 MM CEILING BATTENS AT 450 MM CANTERS.
*10 MM PLASTER BOARD INTERNAL WALL & CEILING *LINING FIBROUS CEMENT SHEET LINING TO EAVES.

INSULATION SCHEDULE (NCC-2016 PART3.12):
*R 4.0 CEILING INSULATION + R1.3 BLANKET/SARKING
*R 2.0 WALL INSULATION + BUILDING WRAPS
*R 2.0 INSULATION TO INTERNAL WET AREA WALLS
*R 2.0 FLOOR INSULATION
*ALL WINDOWS / SLIDERS TO BE DOUBLE GLAZED
*HEAVY DRAPES WITH PELMETS, WEATHER STRIPS TO EXTERNAL DOORS & SEAL EXHAUST FANS

ROOFING:
*TRUSSES AT 600mm CENTERS, FIXED TO MANUFACTURERS SPECIFICATIONS.
*LINTEL SIZE TO TRUSS MANUFACTURERS CHART.
* METAL FASCIA & GUTTER AS SELECTED.
*PLASTER INTERNAL LININGS WALL FRAMING TO ALL ROOMS TO BE COVERED JOINTS BEING BACKED WITH EITHER NOGGINGS OR STUDS AS REQUIRED BY MANUFACTURER.
*ALL ELEMENTS TO BE SECURELY FIXED.
*PLASTER BOARD (MIN 10MM THICK) WALL & CEILING LINING.
*FIBROUS CEMENT SHEET WALL LINING TO WET AREAS.
*PROVIDE CORNICE, AS SELECTED SHALL BE FIXED AT INTERSECTION OF ALL BEAMS AND WALL JUNCTIONS WITH CEILINGS.
*PROVIDE ROOF LIGHTS & VENTILATION TO COMPLY WITH THE NCC.
*ROOF PLUMBING, FLASHING, ETC AS NECESSARY, TO COMPLY WITH RELEVANT AUSTRALIAN STANDARDS.

WATERPROOFING:
*WET AREAS WATERPROOFING: AS 3740 – 2010 AND AMDT 1 – 2012, AND BCA V2: 3.8.1.2
*EXTERNAL / BALCONIES WATERPROOFING: AS 4654 – 2012 AND BCA V2: 3.8.1.3



Sch 2.2(a)(ii)

1 Section A
1 : 50

NOISE AFFECTED BLOCK - TO COMPLY WITH:
* AS/NZS 2107:2000 - Acoustics – Recommended design sound levels and reverberation times for building interiors (the relevant satisfactory recommended interior design sound level)
*AS/NZS 3671 - Acoustics – Road Traffic Noise Intrusion Building Siting and Design and Ginninderry Noise Management Plan

Virk Building Design Services
Email: virk.bds@gmail.com Mob: 0425677755

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Sch 2.2(a)(ii)

RESIDENCE

SUBURB: STRATHNAIRN

SECTION A — FOR APPROVAL

Project number	211201	A400
Date	6/3/22	
Drawn by	B.Virk	
Checked by	Client	Scale 1 : 50 on A3

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FACT SHEET

icon WATER

Small water meter installation guide for Plumbers and Developers

Application Number
200963

Sheet
7 of 7

Introduction

This guide sets out the minimum requirements that apply for new 20mm meter installations in the ACT.

These minimum requirements include:

- Ensure meter is on correct block and section.
- The water meter must be installed within 14 days of collection from Icon Water.
- Meters and services must not be installed in drive ways, retaining walls or footpaths (unless approval has been obtained from Icon Water - Development Services).
- Pressure reducing valves (PRV) must not be installed in the meter box.
- Risers installed upstream and downstream of the meter must be copper.
- Clearance requirements for the meter and meter box are provided in the diagram below.

Please refer to Icon Water standards for further details:

iconwater.com.au/Developers-and-Renovators/Water-and-Sewerage-Service-Standards-and-Guidelines

Failed installations

Make sure the following does not occur when installing the meter.

All newly installed meters will be inspected by Icon Water.

Incorrect box level

Incorrect meter height

No copper risers

PRV in box

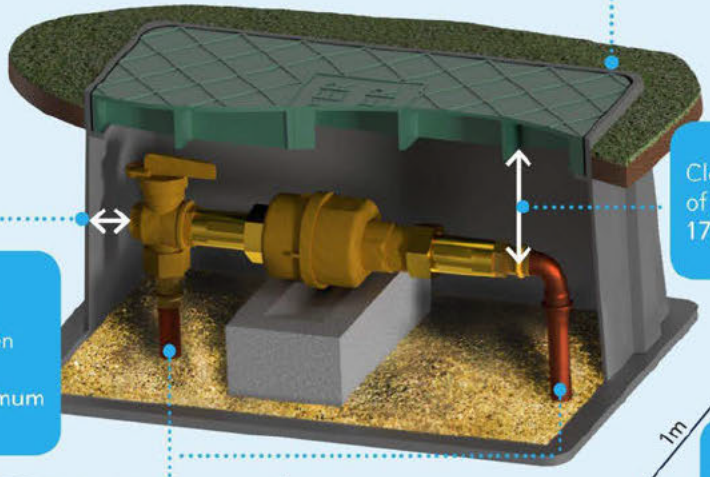
In driveway (unapproved)

No clearance for Ball valve

DN20 meter installation

This diagram shows the minimum required clearances for new meter installations.

Please check the ☑ following installation requirements.



Top of meter box to be: flush with grass or paved area, or 50-100mm above garden beds.

Clearance from centre of pipe to bottom of lid – 170 min – 240mm max

Clearance between ball valve handle (in fully open or closed position) and meter box – **25mm minimum**

Provide **1m clearance** around the meter box to enable Icon Water access for reading and maintenance

No PRV in the box

Copper risers up and down stream (min 300 mm)

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