



HAVE YOUR SAY HAWKER GROUP CENTRE DRAFT MASTER PLAN

RECEIVED
DATE 8/12/2011 BY EDD
L. P. 2011

The Economic Development Directorate (EDD) is hosting a number of community drop-in sessions to present the Hawker Group Centre Draft Master Plan to seek community comment.

The purpose of the Master Plan is to establish a planning framework for the future development of the Hawker Group Centre. The Draft Master Plan has been developed by the Economic Development Directorate in conjunction with the Hawker Project Reference Group (PRG) made up of community representatives, Hawker traders, and other key stakeholder representatives.

Now that you have reviewed the material presented at the information display, we would appreciate your comments.

Your views are valued and will be taken into account in finalising matters in relation to the sale and future development of the land.

1. How often do you visit the Centre (tick below)?

Daily 2-3 times /week Weekly Occasionally

2. Did you come here today specifically to visit the display?

Yes No

3. The following statements refer to proposals in the draft MASTER PLAN. Using the scale of 1 to 5 where 1=strongly agree and 5=strongly disagree, please rate the extent to which you agree or disagree with each statement. (Please by circle the appropriate number below).

	Strongly agree	Agree	Neither agree/disagree	Disagree	Strongly disagree	Don't know
A bigger supermarket will better meet resident's needs	1	2	3	4	5	<input type="checkbox"/>
The location proposed for the supermarket is appropriate	1	2	3	4	5	<input type="checkbox"/>
I like the location of the additional shops	1	2	3	4	5	<input type="checkbox"/>
I like that the plan provides for additional cafés and more outdoor dining	1	2	3	4	5	<input type="checkbox"/>
Parking will continue to be available and accessible	1	2	3	4	5	<input type="checkbox"/>
Pedestrian access from the undercroft parking via the travelator to the plaza will be convenient	1	2	3	4	5	<input type="checkbox"/>
The higher buildings should be located near Belconnen Way	1	2	3	4	5	<input type="checkbox"/>
The proposed heights for new development are appropriate	1	2	3	4	5	<input type="checkbox"/>
The new plaza will be an attractive meeting point in the centre	1	2	3	4	5	<input type="checkbox"/>
I like the retention of the playground in the plaza	1	2	3	4	5	<input type="checkbox"/>
Residential apartments in the centre will increase housing choice for residents	1	2	3	4	5	<input type="checkbox"/>
Housing over commercial and retail will enliven the centre	1	2	3	4	5	<input type="checkbox"/>
Some parts of Hawker Place should be renamed	1	2	3	4	5	<input type="checkbox"/>
The proposals will make the Hawker centre a more attractive place to visit	1	2	3	4	5	<input type="checkbox"/>
I would visit the centre more frequently if the master plan was implemented	1	2	3	4	5	<input type="checkbox"/>

235



HAVE YOUR SAY HAWKER GROUP CENTRE DRAFT MASTER PLAN

4. What are the main features of the plans on display that you believe will improve the Hawker Centre?

LEAVE

5. Are there aspects of the plans on display that you dislike? If so, what are they?

6. Any further comments?

Leave as is

7. In what suburb do you live?..... *PAGE*

Gender: Male Female

Age:
<20 yrs 51-60 yrs
21-30yrs 61-70yrs
31-40 yrs 71+ yrs
41-50yrs

*I prefer not to answer
This question*

THANK YOU FOR YOUR COMMENTS

Additional information may be obtained by visiting the Economic Development Directorate (EDD) website:
www.economicdevelopment.act.gov.au

Telephone inquiries may be directed to Ms Kathleen Pooley in EDD's Community Engagement Unit on 6205 4056.

PLEASE DROP INTO THE BOX PROVIDED or RETURN TO SENIOR MANAGER COMMUNICATIONS AND
MEDIA ECONOMIC DEVELOPMENT DIRECTORATE BY

COB 31 JANUARY 2012

Mail: GPO Box 158, Canberra ACT 2601 or Email: EDDCommunity@act.gov.au

234



HAVE YOUR SAY

HAWKER GROUP CENTRE

DRAFT MASTER PLAN

RECEIVED
 DATE 8/12/2011 BY EDP In-Person

The Economic Development Directorate (EDD) is hosting a number of community drop-in sessions to present the Hawker Group Centre Draft Master Plan to seek community comment.

The purpose of the Master Plan is to establish a planning framework for the future development of the Hawker Group Centre. The Draft Master Plan has been developed by the Economic Development Directorate in conjunction with the Hawker Project Reference Group (PRG) made up of community representatives, Hawker traders, and other key stakeholder representatives.

Now that you have reviewed the material presented at the information display, we would appreciate your comments.

Your views are valued and will be taken into account in finalising matters in relation to the sale and future development of the land.

1. How often do you visit the Centre (tick below)?

Daily 2-3 times /week Weekly Occasionally

2. Did you come here today specifically to visit the display?

Yes No

3. The following statements refer to proposals in the draft MASTER PLAN. Using the scale of 1 to 5 where 1=strongly agree and 5=strongly disagree, please rate the extent to which you agree or disagree with each statement. (Please by circle the appropriate number below).

	Strongly agree	Agree	Neither agree/ disagree	Disagree	Strongly disagree	Don't know
A bigger supermarket will better meet resident's needs	1	2	3	4	5	<input type="checkbox"/>
The location proposed for the supermarket is appropriate	1	2	3	4	5	<input type="checkbox"/>
I like the location of the additional shops	1	2	3	4	5	<input type="checkbox"/>
I like that the plan provides for additional cafés and more outdoor dining	1	2	3	4	5	<input type="checkbox"/>
Parking will continue to be available and accessible	1	2	3	4	5	<input type="checkbox"/>
Pedestrian access from the undercroft parking via the travelator to the plaza will be convenient	1	2	3	4	5	<input type="checkbox"/>
The higher buildings should be located near Belconnen Way	1	2	3	4	5	<input type="checkbox"/>
The proposed heights for new development are appropriate	1	2	3	4	5	<input type="checkbox"/>
The new plaza will be an attractive meeting point in the centre	1	2	3	4	5	<input type="checkbox"/>
I like the retention of the playground in the plaza	1	2	3	4	5	<input type="checkbox"/>
Residential apartments in the centre will increase housing choice for residents	1	2	3	4	5	<input type="checkbox"/>
Housing over commercial and retail will enliven the centre	1	2	3	4	5	<input type="checkbox"/>
Some parts of Hawker Place should be renamed	1	2	3	4	5	<input type="checkbox"/>
The proposals will make the Hawker centre a more attractive place to visit	1	2	3	4	5	<input type="checkbox"/>
I would visit the centre more frequently if the master plan was implemented	1	2	3	4	5	<input type="checkbox"/>

PTO

233



ACT
Government

Economic Development

HAVE YOUR SAY HAWKER GROUP CENTRE DRAFT MASTER PLAN

4. What are the main features of the plans on display that you believe will improve the Hawker Centre?

I support the increased utilisation of the vacant car-parking spaces and increased trading on the weekends at the Hawker shops.

5. Are there aspects of the plans on display that you dislike? If so, what are they?

No, I like all of the aspects of the plans presented.

6. Any further comments?

I support this development proposal and look forward to seeing this project implemented.

7. In what suburb do you live? Hawker

Gender: Male Female

Age:

<20 yrs 51-60 yrs

21-30yrs 61-70yrs

31-40 yrs 71+ yrs

41-50yrs

THANK YOU FOR YOUR COMMENTS

Additional information may be obtained by visiting the Economic Development Directorate (EDD) website:

www.economicdevelopment.act.gov.au

Telephone inquiries may be directed to Ms Kathleen Pooley in EDD's Community Engagement Unit on 6205 4056.

PLEASE DROP INTO THE BOX PROVIDED or RETURN TO SENIOR MANAGER COMMUNICATIONS AND MEDIA ECONOMIC DEVELOPMENT DIRECTORATE BY

COB 31 JANUARY 2012

Mail: GPO Box 158, Canberra ACT 2601 or Email: EDDCommunity@act.gov.au

232



HAVE YOUR SAY HAWKER GROUP CENTRE DRAFT MASTER PLAN

RECEIVED
DATE 8/12/2011 BY EDD
In-Review

The Economic Development Directorate (EDD) is hosting a number of community drop-in sessions to present the Hawker Group Centre Draft Master Plan to seek community comment.

The purpose of the Master Plan is to establish a planning framework for the future development of the Hawker Group Centre. The Draft Master Plan has been developed by the Economic Development Directorate in conjunction with the Hawker Project Reference Group (PRG) made up of community representatives, Hawker traders, and other key stakeholder representatives.

Now that you have reviewed the material presented at the information display, we would appreciate your comments.

Your views are valued and will be taken into account in finalising matters in relation to the sale and future development of the land.

1. How often do you visit the Centre (tick below)?

Daily 2-3 times /week Weekly Occasionally

2. Did you come here today specifically to visit the display?

Yes No

3. The following statements refer to proposals in the draft MASTER PLAN. Using the scale of 1 to 5 where 1=strongly agree and 5=strongly disagree, please rate the extent to which you agree or disagree with each statement. (Please by circle the appropriate number below).

	Strongly agree	Agree	Neither agree/disagree	Disagree	Strongly disagree	Don't know
A bigger supermarket will better meet resident's needs	1	2	3	4	5	<input type="checkbox"/>
The location proposed for the supermarket is appropriate	1	2	3	4	5	<input type="checkbox"/>
I like the location of the additional shops	1	2	3	4	5	<input type="checkbox"/>
I like that the plan provides for additional cafés and more outdoor dining	1	2	3	4	5	<input type="checkbox"/>
Parking will continue to be available and accessible	1	2	3	4	5	<input type="checkbox"/>
Pedestrian access from the undercroft parking via the travelator to the plaza will be convenient	1	2	3	4	5	<input type="checkbox"/>
The higher buildings should be located near Belconnen Way	1	2	3	4	5	<input type="checkbox"/>
The proposed heights for new development are appropriate	1	2	3	4	5	<input type="checkbox"/>
The new plaza will be an attractive meeting point in the centre	1	2	3	4	5	<input type="checkbox"/>
I like the retention of the playground in the plaza	1	2	3	4	5	<input type="checkbox"/>
Residential apartments in the centre will increase housing choice for residents	1	2	3	4	5	<input type="checkbox"/>
Housing over commercial and retail will enliven the centre	1	2	3	4	5	<input type="checkbox"/>
Some parts of Hawker Place should be renamed	1	2	3	4	5	<input type="checkbox"/>
The proposals will make the Hawker centre a more attractive place to visit	1	2	3	4	5	<input type="checkbox"/>
I would visit the centre more frequently if the master plan was implemented	1	2	3	4	5	<input type="checkbox"/>

motherhood!

231



ACT
Government

Economic Development

HAVE YOUR SAY

HAWKER GROUP CENTRE

DRAFT MASTER PLAN

4. What are the main features of the plans on display that you believe will improve the Hawker Centre?

There aren't any. A previous publication cited "underutilised parking". If this was to be believed, why not resume the section of car park adjacent to KFC, convert it to "park and ride", introduce a commuter bus service from Hawker to the City on Belconnen Way. This would take cars off the road, and condense the local retail parking.

5. Are there aspects of the plans on display that you dislike? If so, what are they?

I dislike the way the whole scheme has been proposed and produced, giving the impression that the government will do what it likes, regardless of public opinion.

6. Any further comments?

You propose to disrupt local amenity for the next 30 YEARS in a perfectly workable village centre. It would finish up looking like Woden.

7. In what suburb do you live?

Wetangera.

Gender: Male Female

Age:

<20 yrs

21-30yrs

31-40 yrs

41-50yrs

51-60 yrs

61-70yrs

71+ yrs

THANK YOU FOR YOUR COMMENTS

Additional information may be obtained by visiting the Economic Development Directorate (EDD) website:
www.economicdevelopment.act.gov.au

Telephone inquiries may be directed to Ms Kathleen Pooley in EDD's Community Engagement Unit on 6205 4056.

PLEASE DROP INTO THE BOX PROVIDED or RETURN TO SENIOR MANAGER COMMUNICATIONS AND MEDIA ECONOMIC DEVELOPMENT DIRECTORATE BY

COB 31 JANUARY 2012

Mail: GPO Box 158, Canberra ACT 2601 or Email: EDDCommunity@act.gov.au

230



HAVE YOUR SAY HAWKER GROUP CENTRE DRAFT MASTER PLAN

RECEIVED
DATE 8/12/2011 BY EDD
In-Per

The Economic Development Directorate (EDD) is hosting a number of community drop-in sessions to present the Hawker Group Centre Draft Master Plan to seek community comment.

The purpose of the Master Plan is to establish a planning framework for the future development of the Hawker Group Centre. The Draft Master Plan has been developed by the Economic Development Directorate in conjunction with the Hawker Project Reference Group (PRG) made up of community representatives, Hawker traders, and other key stakeholder representatives.

Now that you have reviewed the material presented at the information display, we would appreciate your comments.

Your views are valued and will be taken into account in finalising matters in relation to the sale and future development of the land.

1. How often do you visit the Centre (tick below)?

Daily 2-3 times /week Weekly Occasionally

2. Did you come here today specifically to visit the display?

Yes No

3. The following statements refer to proposals in the draft MASTER PLAN. Using the scale of 1 to 5 where 1=strongly agree and 5=strongly disagree, please rate the extent to which you agree or disagree with each statement. (Please by circle the appropriate number below).

	Strongly agree	Agree	Neither agree/ disagree	Disagree	Strongly disagree	Don't know
A bigger supermarket will better meet resident's needs	1	2	3	4	5	<input type="checkbox"/>
The location proposed for the supermarket is appropriate	1	2	3	4	5	<input type="checkbox"/>
I like the location of the additional shops	1	2	3	4	5	<input type="checkbox"/>
I like that the plan provides for additional cafés and more outdoor dining	1	2	3	4	5	<input type="checkbox"/>
Parking will continue to be available and accessible	1	2	3	4	5	<input type="checkbox"/>
Pedestrian access from the undercroft parking via the travelator to the plaza will be convenient	1	2	3	4	5	<input type="checkbox"/>
The higher buildings should be located near Belconnen Way	1	2	3	4	5	<input type="checkbox"/>
The proposed heights for new development are appropriate	1	2	3	4	5	<input type="checkbox"/>
The new plaza will be an attractive meeting point in the centre	1	2	3	4	5	<input type="checkbox"/>
I like the retention of the playground in the plaza	1	2	3	4	5	<input type="checkbox"/>
Residential apartments in the centre will increase housing choice for residents	1	2	3	4	5	<input type="checkbox"/>
Housing over commercial and retail will enliven the centre	1	2	3	4	5	<input type="checkbox"/>
Some parts of Hawker Place should be renamed	1	2	3	4	5	<input type="checkbox"/>
The proposals will make the Hawker centre a more attractive place to visit	1	2	3	4	5	<input type="checkbox"/>
I would visit the centre more frequently if the master plan was implemented	1	2	3	4	5	<input type="checkbox"/>

229



HAVE YOUR SAY HAWKER GROUP CENTRE DRAFT MASTER PLAN

4. What are the main features of the plans on display that you believe will improve the Hawker Centre?

No features of plans impress me

5. Are there aspects of the plans on display that you dislike? If so, what are they?

*Yes. Enclosing an area which is open
planned at present and functional*

6. Any further comments?

*Strongly against redevelopment in this
area. Consider it a retrograde step.*

7. In what suburb do you live? *Hawker*

Gender: Male Female

Age:
<20 yrs 51-60 yrs
21-30yrs 61-70yrs
31-40 yrs 71+ yrs
41-50yrs

THANK YOU FOR YOUR COMMENTS

Additional information may be obtained by visiting the Economic Development Directorate (EDD) website:
www.economicdevelopment.act.gov.au

Telephone inquiries may be directed to Ms Kathleen Pooley in EDD's Community Engagement Unit on 6205 4056.

PLEASE DROP INTO THE BOX PROVIDED or RETURN TO SENIOR MANAGER COMMUNICATIONS AND
MEDIA ECONOMIC DEVELOPMENT DIRECTORATE BY

COB 31 JANUARY 2012

Mail: GPO Box 158, Canberra ACT 2601 or Email: EDDCommunity@act.gov.au

228



HAVE YOUR SAY HAWKER GROUP CENTRE DRAFT MASTER PLAN

RECEIVED
DATE 8/12/2011 BY EDD In-Person

The Economic Development Directorate (EDD) is hosting a number of community drop-in sessions to present the Hawker Group Centre Draft Master Plan to seek community comment.

The purpose of the Master Plan is to establish a planning framework for the future development of the Hawker Group Centre. The Draft Master Plan has been developed by the Economic Development Directorate in conjunction with the Hawker Project Reference Group (PRG) made up of community representatives, Hawker traders, and other key stakeholder representatives.

Now that you have reviewed the material presented at the information display, we would appreciate your comments.

Your views are valued and will be taken into account in finalising matters in relation to the sale and future development of the land.

1. How often do you visit the Centre (tick below)?

Daily 2-3 times /week Weekly Occasionally

2. Did you come here today specifically to visit the display?

Yes No

3. The following statements refer to proposals in the draft MASTER PLAN. Using the scale of 1 to 5 where 1=strongly agree and 5=strongly disagree, please rate the extent to which you agree or disagree with each statement. (Please by circle the appropriate number below).

	Strongly agree	Agree	Neither agree/disagree	Disagree	Strongly disagree	Don't know
A bigger supermarket will better meet resident's needs	1	2	3	4	5	<input type="checkbox"/>
The location proposed for the supermarket is appropriate	1	2	3	4	5	<input type="checkbox"/>
I like the location of the additional shops	1	2	3	4	5	<input type="checkbox"/>
I like that the plan provides for additional cafés and more outdoor dining	1	2	3	4	5	<input type="checkbox"/>
Parking will continue to be available and accessible	1	2	3	4	5	<input type="checkbox"/>
Pedestrian access from the undercroft parking via the travelator to the plaza will be convenient	1	2	3	4	5	<input type="checkbox"/>
The higher buildings should be located near Belconnen Way	1	2	3	4	5	<input type="checkbox"/>
The proposed heights for new development are appropriate	1	2	3	4	5	<input type="checkbox"/>
The new plaza will be an attractive meeting point in the centre	1	2	3	4	5	<input type="checkbox"/>
I like the retention of the playground in the plaza	1	2	3	4	5	<input type="checkbox"/>
Residential apartments in the centre will increase housing choice for residents	1	2	3	4	5	<input type="checkbox"/>
Housing over commercial and retail will enliven the centre	1	2	3	4	5	<input type="checkbox"/>
Some parts of Hawker Place should be renamed	1	2	3	4	5	<input type="checkbox"/>
The proposals will make the Hawker centre a more attractive place to visit	1	2	3	4	5	<input type="checkbox"/>
I would visit the centre more frequently if the master plan was implemented	1	2	3	4	5	<input type="checkbox"/>

PTO



HAVE YOUR SAY HAWKER GROUP CENTRE DRAFT MASTER PLAN

4. What are the main features of the plans on display that you believe will improve the Hawker Centre?

.....
.....
.....
.....

5. Are there aspects of the plans on display that you dislike? If so, what are they?

.....
.....
.....
.....

6. Any further comments?

WHERE ARE PEDESTRIAN CROSSINGS?
4 SCHOOLS IN THE AREA -
WHERE ARE PUBLIC TOILETS

7. In what suburb do you live? HAWKER (FOR 40 yrs) Love the shop front

Gender: Male Female

Age:
<20 yrs 51-60 yrs
21-30yrs 61-70yrs
31-40 yrs 71+ yrs
41-50yrs

THANK YOU FOR YOUR COMMENTS

Additional information may be obtained by visiting the Economic Development Directorate (EDD) website:
www.economicdevelopment.act.gov.au

Telephone inquiries may be directed to Ms Kathleen Pooley in EDD's Community Engagement Unit on 6205 4056.

PLEASE DROP INTO THE BOX PROVIDED or RETURN TO SENIOR MANAGER COMMUNICATIONS AND
MEDIA ECONOMIC DEVELOPMENT DIRECTORATE BY

COB 31 JANUARY 2012

Mail: GPO Box 158, Canberra ACT 2601 or Email: EDDCommunity@act.gov.au

226



ACT
Government
Economic Development

HAVE YOUR SAY

HAWKER GROUP CENTRE

DRAFT MASTER PLAN

RECEIVED
DATE 3/12/2011 BY EDD
L. Perren

The Economic Development Directorate (EDD) is hosting a number of community drop-in sessions to present the Hawker Group Centre Draft Master Plan to seek community comment.

The purpose of the Master Plan is to establish a planning framework for the future development of the Hawker Group Centre. The Draft Master Plan has been developed by the Economic Development Directorate in conjunction with the Hawker Project Reference Group (PRG) made up of community representatives, Hawker traders, and other key stakeholder representatives.

Now that you have reviewed the material presented at the information display, we would appreciate your comments.

Your views are valued and will be taken into account in finalising matters in relation to the sale and future development of the land.

1. How often do you visit the Centre (tick below)?

Daily 2-3 times /week Weekly Occasionally

2. Did you come here today specifically to visit the display?

Yes No

3. The following statements refer to proposals in the draft MASTER PLAN. Using the scale of 1 to 5 where 1=strongly agree and 5=strongly disagree, please rate the extent to which you agree or disagree with each statement. (Please by circle the appropriate number below).

	Strongly agree	Agree	Neither agree/disagree	Disagree	Strongly disagree	Don't know
A bigger supermarket will better meet resident's needs.	1	2	3	4	5	<input type="checkbox"/>
The location proposed for the supermarket is appropriate	1	2	3	4	5	<input type="checkbox"/>
I like the location of the additional shops	1	2	3	4	5	<input type="checkbox"/>
I like that the plan provides for additional cafés and more outdoor dining	1	2	3	4	5	<input type="checkbox"/>
Parking will continue to be available and accessible	1	2	3	4	5	<input type="checkbox"/>
Pedestrian access from the undercroft parking via the travelator to the plaza will be convenient	1	2	3	4	5	<input type="checkbox"/>
The higher buildings should be located near Belconnen Way	1	2	3	4	5	<input type="checkbox"/>
The proposed heights for new development are appropriate	1	2	3	4	5	<input type="checkbox"/>
The new plaza will be an attractive meeting point in the centre	1	2	3	4	5	<input type="checkbox"/>
I like the retention of the playground in the plaza	1	2	3	4	5	<input type="checkbox"/>
Residential apartments in the centre will increase housing choice for residents	1	2	3	4	5	<input type="checkbox"/>
Housing over commercial and retail will enliven the centre	1	2	3	4	5	<input type="checkbox"/>
Some parts of Hawker Place should be renamed	1	2	3	4	5	<input type="checkbox"/>
The proposals will make the Hawker centre a more attractive place to visit	1	2	3	4	5	<input type="checkbox"/>
I would visit the centre more frequently if the master plan was implemented	1	2	3	4	5	<input type="checkbox"/>

PTO



HAVE YOUR SAY HAWKER GROUP CENTRE DRAFT MASTER PLAN

4. What are the main features of the plans on display that you believe will improve the Hawker Centre?

.....
.....
.....
.....
.....

ARE YOU JOKING?

5. Are there aspects of the plans on display that you dislike? If so, what are they?

.....
.....
.....
.....
.....

All of them

6. Any further comments?

.....
.....
.....

7. In what suburb do you live?.....

Gender: Male Female

Age:
<20 yrs 51-60 yrs
21-30yrs 61-70yrs
31-40 yrs 71+ yrs
41-50yrs

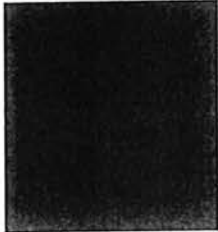
THANK YOU FOR YOUR COMMENTS

Additional information may be obtained by visiting the Economic Development Directorate (EDD) website:
www.economicdevelopment.act.gov.au

Telephone inquiries may be directed to Ms Kathleen Pooley in EDD's Community Engagement Unit on 6205 4056.

PLEASE DROP INTO THE BOX PROVIDED or RETURN TO SENIOR MANAGER COMMUNICATIONS AND
MEDIA ECONOMIC DEVELOPMENT DIRECTORATE BY
COB 31 JANUARY 2012
Mail: GPO Box 158, Canberra ACT 2601 or Email: EDDCommunity@act.gov.au

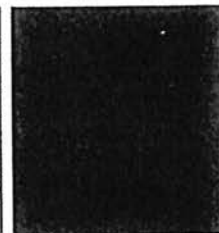
RECEIVED	
DATE	BY



Hawker Group Centre Draft Master Plan

Status crap. An expensively produced but idiotic piece of Spin-Doctoring in an endeavour to win over thinking people to the government's plan to inconvenience the local populace for 20-30 years.

It's all about money, dressed up as progress.



ACT
Government
Economic Development

GPO Box 158 Canberra ACT 2601
www.economicdevelopment.act.gov.au

HAWKER GROUP CENTRE

DRAFT MASTER PLAN

FACTS AND FIGURES

PURPOSES

Master plan guided by a Project Reference Group

- A Project Reference Group (PRG) has guided the master plan and has met on 21 occasions during 2011.
- The PRG consists of:
 - Friends of Hawker Village (3 members);
 - Traders from businesses with Hawker (4 members);
 - Belconnen Community Council (2 members);
 - Christ Church, Hawker (1 member)
 - Council of the Ageing (ACT)
 - Government Architect
 - Chaired by David Dawes (Director General – EDD)

20 year plan for Hawker as part of draft ACT Planning Strategy

- The draft ACT Planning Strategy proposes:
 - 50% of new housing in established urban areas;
 - Urban intensification in and around group centres with mixed use buildings around 4 to 6 storeys.
- Plan shows a 20 year vision of the centre;
- Will develop in stages. *? Handley*

20 yⁿ Disruptive

Vision retains village character while providing for it to renew and grow

- Vision supported by the PRG:
 - Thriving centre serving Hawker, Weetangera, Page and Scullin;
 - Maintain village character; *NOT*
 - Convenient to access diverse goods and services, to meet and socialise; *?*
 - Exemplar of design excellence in sustainable urban renewal

Providing ample, easy to access parking

- Increase in public parking from existing 348 spaces to 359 (in the short term) and approximately 560 (in the longer term);
- Parking more accessible and better distributed throughout the centre to serve eastern and western parts of the centre; *It's only 100m or so long!!*
- Combination of easy access surface parking and undercroft parking – single level undercroft parking beneath new supermarket with access to new public square by travelator;
- Surface parking for disabled, seniors and parents with prams adjacent the new public square;
- In addition to public parking each development to provide parking in accordance with ACT Parking Standards.

Previously described as UNDERUTILISED



HAWKER GROUP CENTRE

DRAFT MASTER PLAN

FACTS AND FIGURES

Creating the opportunity for a full line supermarket

- Retail studies identify that the centre could and should grow retail space by 2,500 square metres including a larger 'full-line' supermarket;
- The supermarket wants to grow to serve the community better; *! EVIDENCE?!*
- Independent surveys identify that over 51% of the Hawker community identify Jamison as their main centre for weekly shopping.
- Strong support for larger supermarket, more diverse services, cafes, restaurants *where from?*

Present < MKT was doubled in size about 2 yrs ago.

Allow existing businesses to expand

- Existing businesses want to grow;
- The existing centre does not allow businesses to grow; *EVIDENCE??*
- Need to attract new businesses.

Reinforcing Hawker as a community meeting place

- New public square as a central community gathering place;
- New playground in public square with embedded play opportunities; *PADDING!!*
- Significantly enhanced outdoor dining opportunities;
- New playground in public square with embedded play opportunities;
- Square and streets activated by cafes restaurants and retail shops and overlooked by commercial and residential uses
- upgraded streetscapes;

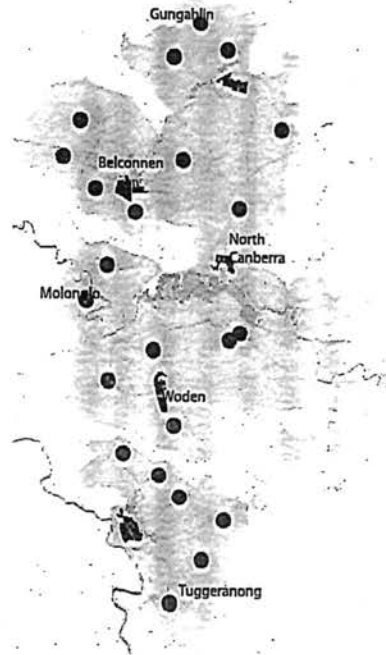
Providing opportunities for a greater housing diversity

- Diversity of new housing within the centre;
- Live work and shop top housing;
- Enhance activity and safety within the public domain;
- Reduced use of cars. *! BY NEARLY DOUBLING PARKING in "Long term" ??*



Hawker Group Centre
Draft ACT Planning Strategy

"Key Target: In the next 5 years, 50% of new housing will be within the established urban area of Canberra."



Group Centre Locations
Creating opportunities for increased density and dispersed employment by capitalising on the existing structure of the centres and inter-town transport connections.



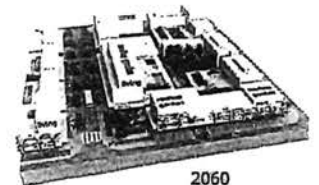
Maps indicating how urban intensification can occur over time in the metropolitan area along rapid transitways linking town and group centres.



2011



2030



2060

Urban intensification in and around group centres will be characterised by mixed use buildings around 4 to 6 storeys in the centres and residential development up to 4 storeys in the adjacent blocks.



Enhancing the commercial viability of our centres by encouraging mixed use developments can provide affordable locations for new businesses and enterprises.



Improving everyone's mobility and creating more choices in travel by integrating investment in Canberra's transport networks with the land uses it serves.



Valuing the land by using it efficiently, protecting and enhancing areas of good biodiversity and agricultural production.



Providing new opportunities for lifestyle choices by renewing group and local centres as the hub of community life.



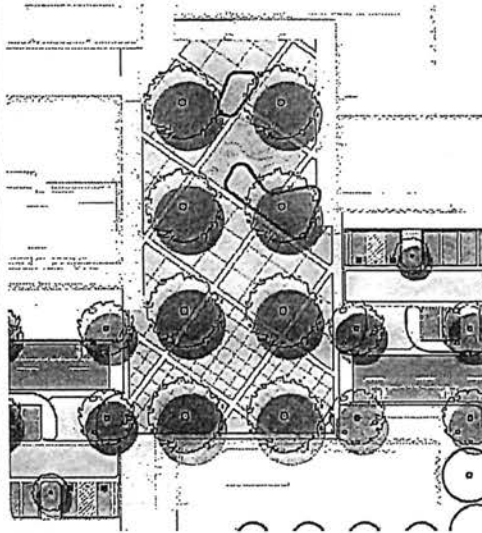
Economic Development

Vision

“Hawker Group Centre will be a thriving Centre serving the Belconnen community and especially the suburbs of Hawker, Weetangera, Page and Scullin.

The Centre will maintain its unique village character, as a convenient gathering place for the community to access a diverse range of goods and services, to conduct business or work, to meet and socialise.

The Centre will be an exemplar for design excellence in sustainable urban renewal.”



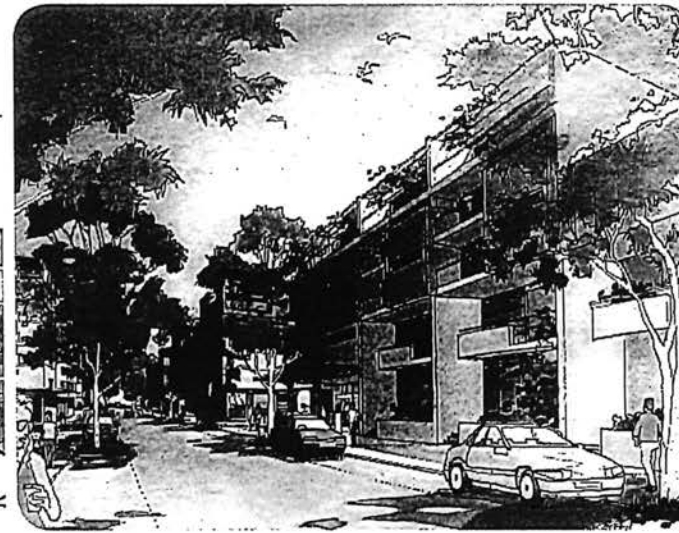
Environmental Sustainability

- 5.1 To reduce energy consumption
- 5.2 To reduce waste generation
- 5.3 To reduce water use and improve downstream water quality



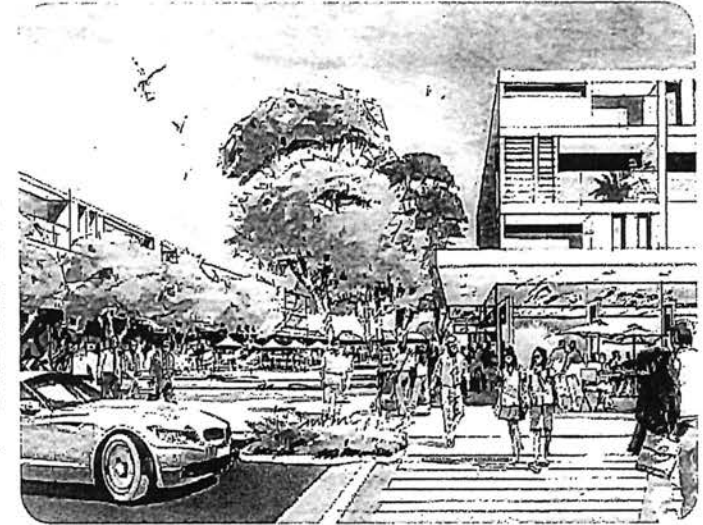
Character & Amenity

- 1.1 To build upon the Centre's relaxed village character and slower pace
- 1.2 To ensure the Centre is visible and easy to navigate
- 1.3 To provide high quality public spaces which are engaging, comfortable and amenable for all users
- 1.4 To ensure landscape contributes to the creation of a high quality public realm
- 1.5 To enhance safety within the Centre



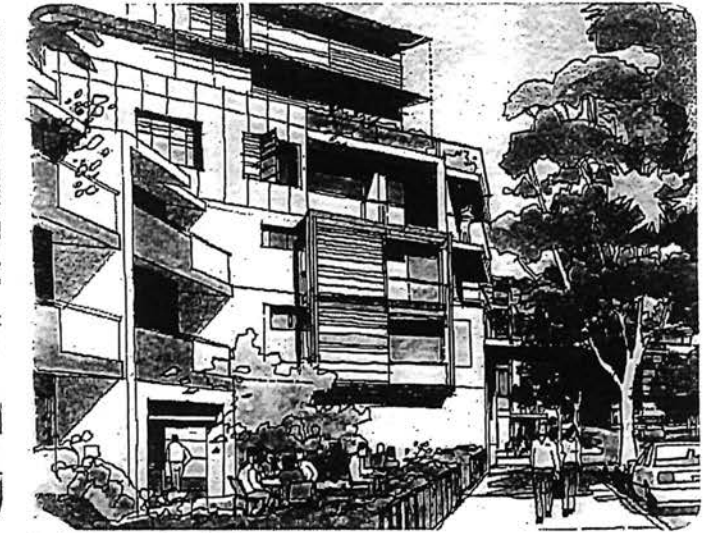
Accessibility

- 3.1 To allow all users, travelling by car, bus, cycle or on foot to move around the Centre comfortably and safely
- 3.2 To optimise parking opportunities
 - provide parking that is easy to find, convenient and well organised
 - provide parking which is safe and accessible



Economic Sustainability

- 2.1 To support sustainable commercial and retail growth, providing opportunity for existing businesses to expand and new businesses to establish
- 2.2 To strengthen the appeal of the Centre for existing and new users
- 2.3 To strengthen the mix of uses within the Centre
- 2.4 To promote activity which encourages seven day trading within the Centre



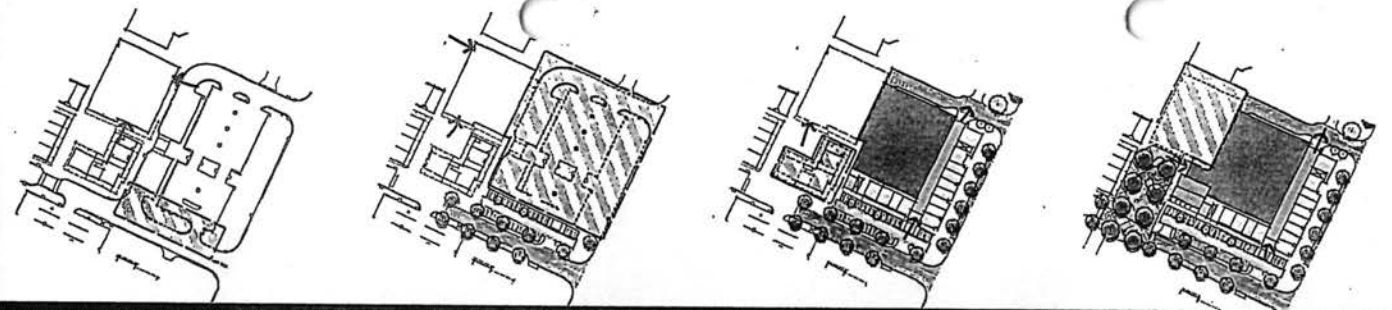
Built Form & Land Use

- 4.1 To reinforce commercial and retail uses as the predominant activities within the Centre
- 4.2 To strengthen the integration of the Centre with the surrounding neighbourhood
- 4.3 To ensure high quality built form
- 4.4 To provide a diversity of housing choices within the Centre to accommodate the changing needs of the local community

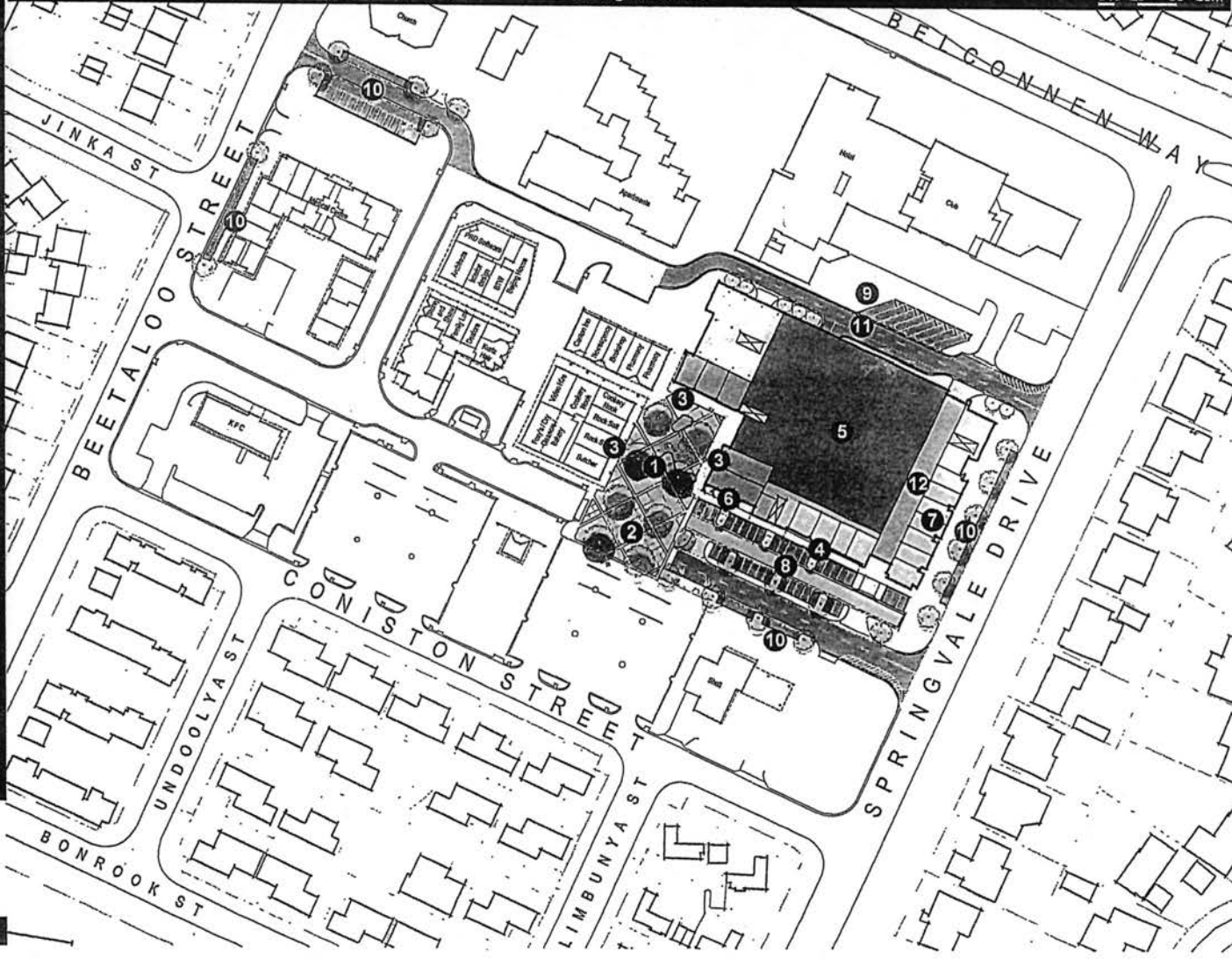


0 5 10 25 40m

Hawker Group Centre
Possible short term



Notional construction staging to minimise impact on parking and access to existing businesses



- 1 Public Plaza**
Central public gathering place for community use, with opportunities for alfresco dining, children's play and public seating.
- 2 Shared Zone**
Pedestrian friendly zone extending from the public plaza to the opposite side of Hawker Place, while providing for slow moving through traffic.
- 3 Active Retail Frontages**
Prioritise active retail frontages to the public plaza and pedestrian walkways, with business entries, glazed shopfronts, awnings for weather protection and consistent building alignment at ground level.
- 4 Active Commercial Frontages**
Prioritise active commercial frontages along key streets, with business entries, glazed shopfronts, awnings for weather protection and consistent building alignment at ground level.
- 5 Supermarket**
Full line supermarket with entry from public plaza.
- 6 Travelator to Carpark**
Travelator providing convenient connection between undercroft parking and public plaza.
- 7 Mixed Use Residential**
A diverse range of housing types integrated throughout the Centre, including 'live / work' and 'shop top housing'.
- 8 Convenient Surface Parking**
'Short-stay' off-street surface parking adjacent to Hawker Place, separated from through traffic and in direct proximity to shops and services.
- 9 Long Vehicle Parking**
Dedicated parking bays for trade vehicles.
- 10 Kerbside Parking**
'Short-stay' on-street parking in direct proximity to shops and services, within defined indented bays separated from the traffic lane.
- 11 New Street Connection**
New street connection through to Springvale Drive to improve street network and carpark and service access at lower level.
- 12 Improved Servicing**
Servicing, delivery and waste activity, vehicles and storage removed from pedestrian areas and relocated to take access from secondary streets. Supermarket servicing activity contained within internal loading dock.

- Supermarket
- Core Retail
- Retail Services & Professional Offices
- Community Uses
- Medical Services
- Residential





Hawker Group Centre
Possible medium term



- 1 Public Plaza**
Central public gathering place for community use, with opportunities for alfresco dining, children's play and public seating.
- 2 Shared Zone**
Pedestrian friendly zone extending from the public plaza to the opposite side of Hawker Place, while providing for slow moving through traffic.
- 3 Active Retail Frontages**
Prioritise active retail frontages to the public plaza and pedestrian walkways, with business entries, glazed shopfronts, awnings for weather protection and consistent building alignment at ground level.
- 4 Active Commercial Frontages**
Prioritise active commercial frontages along key streets, with business entries, glazed shopfronts, awnings for weather protection and consistent building alignment at ground level.
- 5 Supermarket**
Full line supermarket with entry from public plaza.
- 6 Travelator to Carpark**
Travelator providing convenient connection between undercroft parking and public plaza.
- 7 Mixed Use Residential**
A diverse range of housing types integrated throughout the Centre, including 'live / work' and 'shop top housing'.
- 8 Convenient Surface Parking**
'Short-stay' off-street surface parking along the length of Hawker Place, separated from through traffic and in direct proximity to shops and services.
- 9 Kerbside Parking**
'Short-stay' on-street parking in direct proximity to shops and services, within defined indented bays separated from the traffic lane.
- 10 Long Vehicle Parking**
Dedicated parking bays for trade vehicles.
- 11 New Street Connection**
New street connection through to Springvale Drive to improve street network and carpark and service access at lower level.
- 12 Improved Servicing**
Servicing, delivery and waste activity, vehicles and storage removed from pedestrian areas and relocated to take access from secondary streets. Supermarket servicing activity contained within internal loading dock.

- Supermarket
- Core Retail
- Retail Services & Professional Offices
- Community Uses
- Medical Services
- Residential



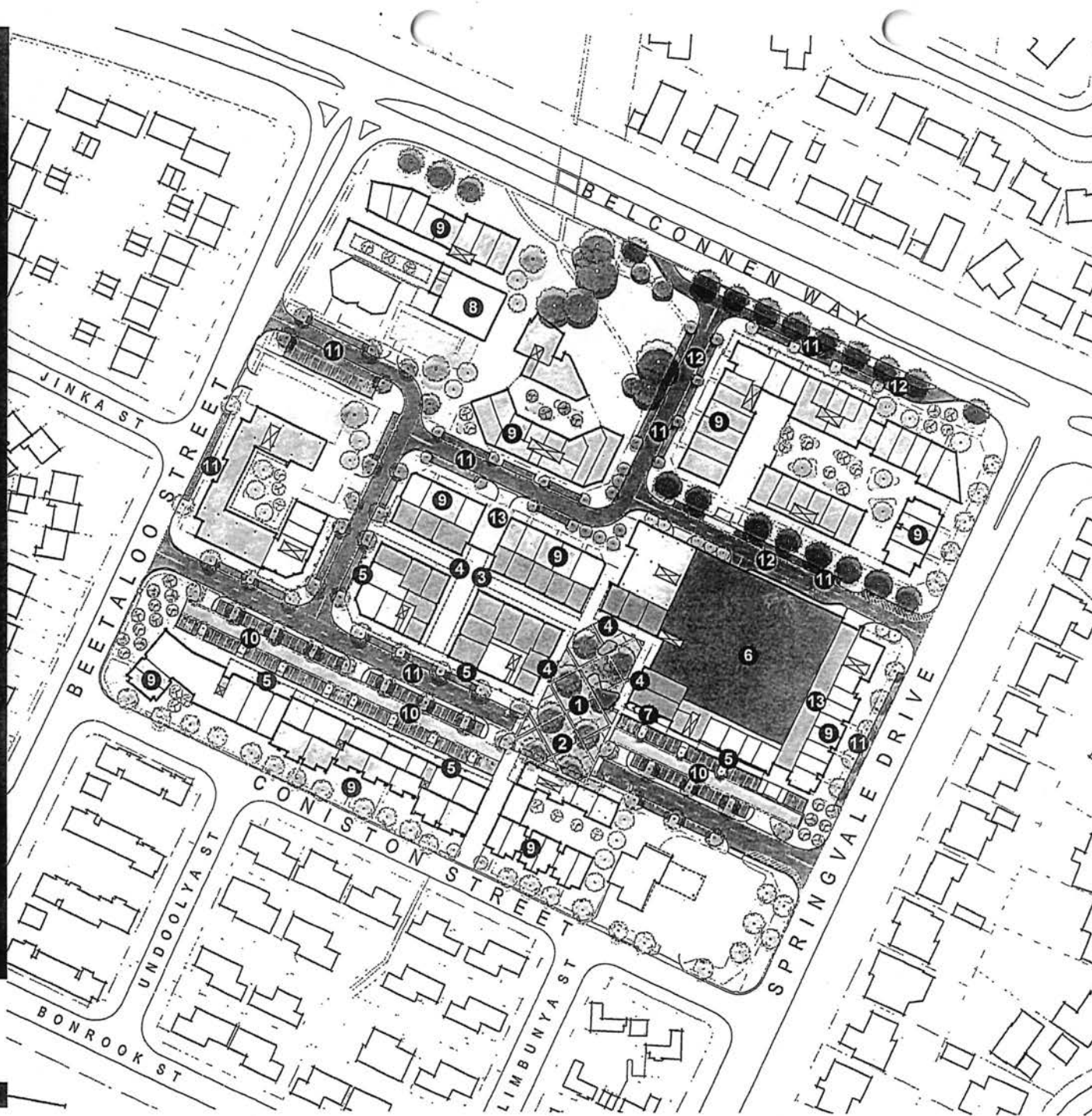


0 5 10 25 40m

Hawker Group Centre Illustrative Masterplan 2040



ACT
Government
Economic Development



1 Public Plaza

Central public gathering place for community use, with opportunities for alfresco dining, children's play and public seating.

2 Shared Zone

Pedestrian friendly zone extending from the public plaza to the opposite side of Hawker Place, while providing for slow moving through traffic.

3 Pedestrian Walkways

Existing network of pedestrian walkways enhanced and extended to provide regular width and alignment, and improved weather protection.

4 Active Retail Frontages

Prioritise active retail frontages to the public plaza and pedestrian walkways, with business entries, glazed shopfronts, awnings for weather protection and consistent building alignment at ground level.

5 Active Commercial Frontages

Prioritise active commercial frontages along key streets, with business entries, glazed shopfronts, awnings for weather protection and consistent building alignment at ground level.

6 Supermarket

Full line supermarket with entry from public plaza.

7 Travelator to Carpark

Travelator providing convenient connection between undercroft parking and public plaza.

8 Community Uses

Allow for future expansion of existing Church, including possible complementary uses such as community hall, childcare or residential care.

9 Mixed Use Residential

A diverse range of housing types integrated throughout the Centre, including 'live / work' and 'shop top housing'.

10 Convenient Surface Parking

'Short-stay' off-street surface parking along the length of Hawker Place, separated from through traffic and in direct proximity to shops and services.

11 Kerbside Parking

'Short-stay' on-street parking in direct proximity to shops and services, within defined indented bays separated from the traffic lane.

12 New Street Connections

New street connections through to Belconnen Way and Springvale Drive to improve street network, carpark and service access at lower level, and to provide edge road to open space.

13 Improved Servicing

Servicing, delivery and waste activity, vehicles and storage removed from pedestrian areas and relocated to take access from secondary streets. Supermarket servicing activity contained within internal loading dock.

Supermarket

Core Retail

Retail Services & Professional Offices

Community Uses

Medical Services

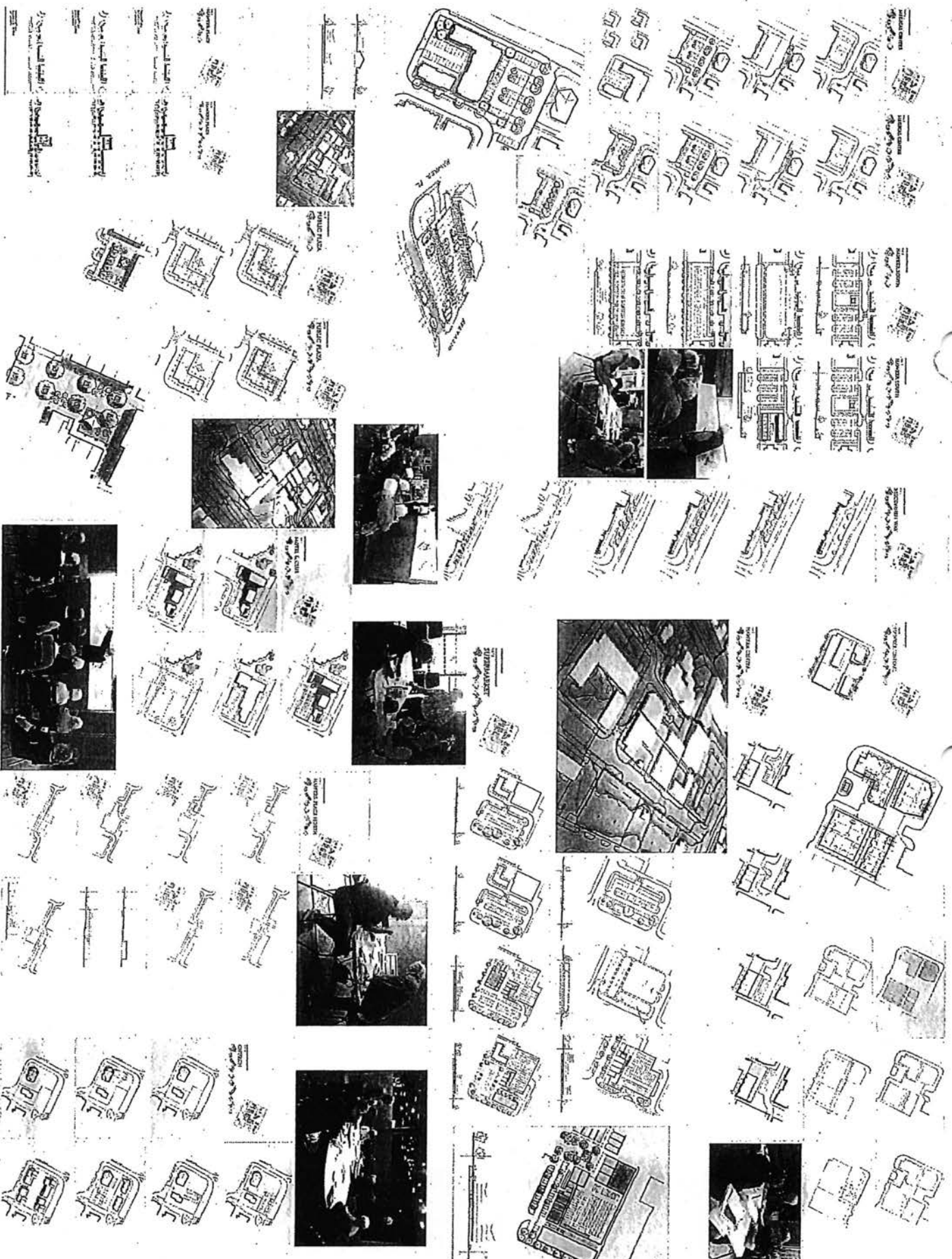
Residential



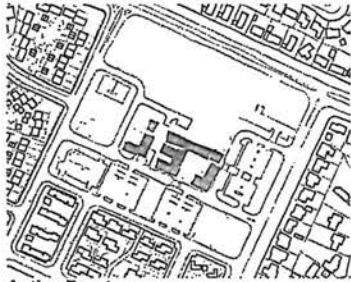
Hawker Group Centre Project Reference Group



Economic Development



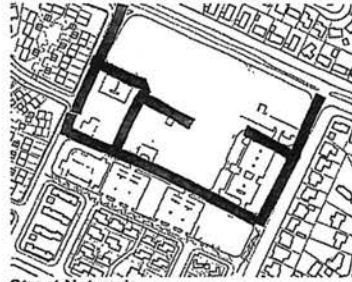
Hawker Group Centre PRG Workshop Options



Active Frontage

ACT Government Architect
 One representative from Belconnen Community Council
 One representative from Friends of Hawker Village
 One representative from local small business retailers

Workshop PRG Group A

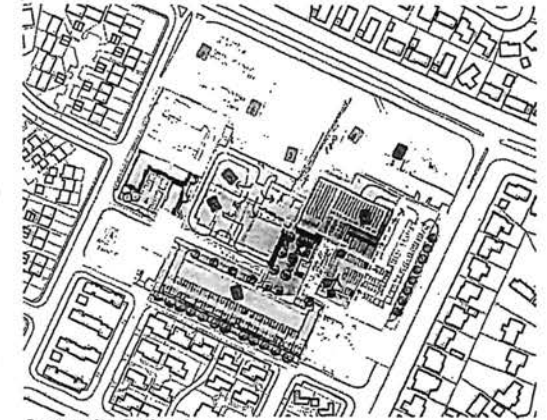


Street Network

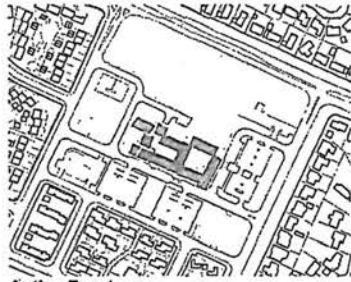
Facilitators
 One representative from the Land Development Agency
 One representative from The Expert Client



Building Heights



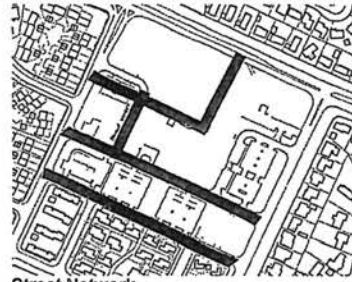
Composite Option A



Active Frontage

One representative from Christ Church
 One representative from Council of the Ageing ACT
 One representative from Friends of Hawker Village
 One representative from local small business retailers

Workshop PRG Group B

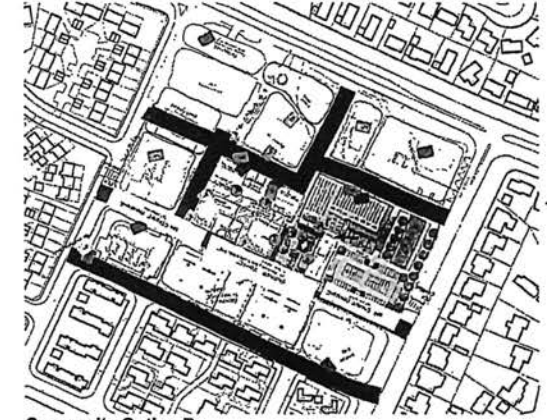


Street Network

Facilitators
 One representative from the Land Development Agency
 One representative from The Expert Client



Building Heights



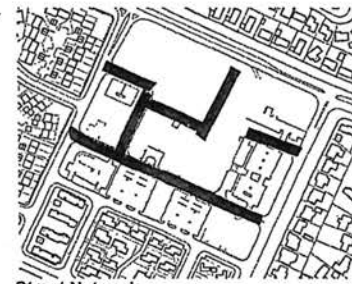
Composite Option B



Active Frontage

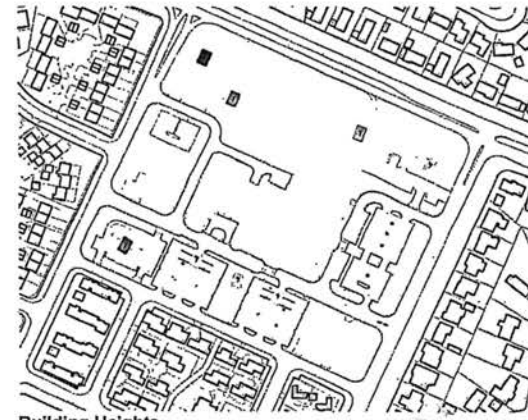
One representative from Belconnen Community Council
 One representative from Friends of Hawker Village
 One representative from local small business professionals
 One representative from local small business retailers

Workshop PRG Group C

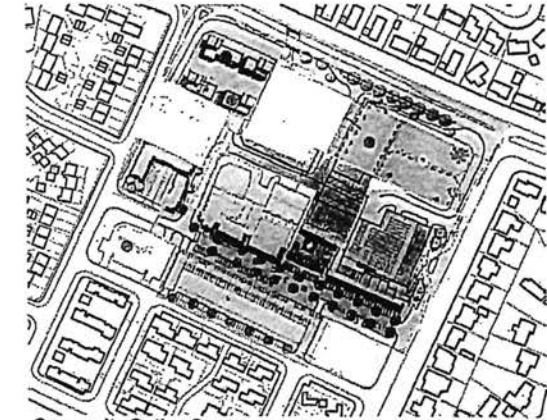


Street Network

Facilitators
 One representative from the Land Development Agency
 One representative from The Expert Client



Building Heights



Composite Option C



HAVE YOUR SAY HAWKER GROUP CENTRE DRAFT MASTER PLAN

RECEIVED
DATE 7/12/2011 BY EDD In-Person

The Economic Development Directorate (EDD) is hosting a number of community drop-in sessions to present the Hawker Group Centre Draft Master Plan to seek community comment.

The purpose of the Master Plan is to establish a planning framework for the future development of the Hawker Group Centre. The Draft Master Plan has been developed by the Economic Development Directorate in conjunction with the Hawker Project Reference Group (PRG) made up of community representatives, Hawker traders, and other key stakeholder representatives.

Now that you have reviewed the material presented at the information display, we would appreciate your comments.

Your views are valued and will be taken into account in finalising matters in relation to the sale and future development of the land.

1. How often do you visit the Centre (tick below)?

Daily 2-3 times /week Weekly Occasionally

2. Did you come here today specifically to visit the display?

Yes No

3. The following statements refer to proposals in the draft MASTER PLAN. Using the scale of 1 to 5 where 1=strongly agree and 5=strongly disagree, please rate the extent to which you agree or disagree with each statement. (Please by circle the appropriate number below).

	Strongly agree	Agree	Neither agree/disagree	Disagree	Strongly disagree	Don't know
A bigger supermarket will better meet resident's needs	1	2	3	4	5	<input type="checkbox"/>
The location proposed for the supermarket is appropriate	1	2	3	4	5	<input type="checkbox"/>
I like the location of the additional shops	1	2	3	4	5	<input checked="" type="checkbox"/>
I like that the plan provides for additional cafés and more outdoor dining	1	2	3	4	5	<input checked="" type="checkbox"/>
Parking will continue to be available and accessible	1	2	3	4	5	<input type="checkbox"/>
Pedestrian access from the undercroft parking via the travelator to the plaza will be convenient	1	2	3	4	5	<input type="checkbox"/>
The higher buildings should be located near Belconnen Way	1	2	3	4	5	<input type="checkbox"/>
The proposed heights for new development are appropriate	1	2	3	4	5	<input type="checkbox"/>
The new plaza will be an attractive meeting point in the centre	1	2	3	4	5	<input checked="" type="checkbox"/>
I like the retention of the playground in the plaza	1	2	3	4	5	<input type="checkbox"/>
Residential apartments in the centre will increase housing choice for residents	1	2	3	4	5	<input checked="" type="checkbox"/>
Housing over commercial and retail will enliven the centre	1	2	3	4	5	<input type="checkbox"/>
Some parts of Hawker Place should be renamed	1	2	3	4	5	<input checked="" type="checkbox"/>
The proposals will make the Hawker centre a more attractive place to visit	1	2	3	4	5	<input checked="" type="checkbox"/>
I would visit the centre more frequently if the master plan was implemented	1	2	3	4	5	<input type="checkbox"/>

PTO



HAVE YOUR SAY HAWKER GROUP CENTRE DRAFT MASTER PLAN

4. What are the main features of the plans on display that you believe will improve the Hawker Centre?

.....
.....
.....
.....

5. Are there aspects of the plans on display that you dislike? If so, what are they?

Not enough on-street parking
Buildings too high
.....
.....

6. Any further comments?

.....
.....
.....

7. In what suburb do you live? *Wagga Wagga*

Gender: Male Female

Age:
<20 yrs 51-60 yrs
21-30yrs 61-70yrs
31-40 yrs 71+ yrs
41-50yrs

THANK YOU FOR YOU COMMENTS

Additional information may be obtained by visiting the Economic Development Directorate (EDD) website:
www.economicdevelopment.act.gov.au

Telephone inquiries may be directed to Ms Kathleen Pooley in EDD's Community Engagement Unit on 6205 4056.

PLEASE DROP INTO THE BOX PROVIDED or RETURN TO SENIOR MANAGER COMMUNICATIONS AND
MEDIA ECONOMIC DEVELOPMENT DIRECTORATE BY

COB 31 JANUARY 2012

Mail: GPO Box 158, Canberra ACT 2601 or Email: EDDCommunity@act.gov.au

211



HAVE YOUR SAY HAWKER GROUP CENTRE DRAFT MASTER PLAN

RECEIVED
DATE 7/12/2011 BY EDD In-person

The Economic Development Directorate (EDD) is hosting a number of community drop-in sessions to present the Hawker Group Centre Draft Master Plan to seek community comment.

The purpose of the Master Plan is to establish a planning framework for the future development of the Hawker Group Centre. The Draft Master Plan has been developed by the Economic Development Directorate in conjunction with the Hawker Project Reference Group (PRG) made up of community representatives, Hawker traders, and other key stakeholder representatives.

Now that you have reviewed the material presented at the information display, we would appreciate your comments.

Your views are valued and will be taken into account in finalising matters in relation to the sale and future development of the land.

1. How often do you visit the Centre (tick below)?

Daily 2-3 times /week Weekly Occasionally

2. Did you come here today specifically to visit the display?

Yes No

3. The following statements refer to proposals in the draft MASTER PLAN. Using the scale of 1 to 5 where 1=strongly agree and 5=strongly disagree, please rate the extent to which you agree or disagree with each statement. (Please by circle the appropriate number below).

	Strongly agree	Agree	Neither agree/disagree	Disagree	Strongly disagree	Don't know
A bigger supermarket will better meet resident's needs	1	2	3	4	5	<input type="checkbox"/>
The location proposed for the supermarket is appropriate	1	2	3	4	5	<input type="checkbox"/>
I like the location of the additional shops	1	2	3	4	5	<input type="checkbox"/>
I like that the plan provides for additional cafés and more outdoor dining	1	2	3	4	5	<input type="checkbox"/>
Parking will continue to be available and accessible	1	2	3	4	5	<input type="checkbox"/>
Pedestrian access from the undercroft parking via the travelator to the plaza will be convenient	1	2	3	4	5	<input type="checkbox"/>
The higher buildings should be located near Belconnen Way	1	2	3	4	5	<input type="checkbox"/>
The proposed heights for new development are appropriate	1	2	3	4	5	<input type="checkbox"/>
The new plaza will be an attractive meeting point in the centre	1	2	3	4	5	<input type="checkbox"/>
I like the retention of the playground in the plaza	1	2	3	4	5	<input type="checkbox"/>
Residential apartments in the centre will increase housing choice for residents	1	2	3	4	5	<input type="checkbox"/>
Housing over commercial and retail will enliven the centre	1	2	3	4	5	<input type="checkbox"/>
Some parts of Hawker Place should be renamed	1	2	3	4	5	<input type="checkbox"/>
The proposals will make the Hawker centre a more attractive place to visit	1	2	3	4	5	<input type="checkbox"/>
I would visit the centre more frequently if the master plan was implemented	1	2	3	4	5	<input type="checkbox"/>

PTO

210



HAVE YOUR SAY HAWKER GROUP CENTRE DRAFT MASTER PLAN

4. What are the main features of the plans on display that you believe will improve the Hawker Centre?

More cafes / RESTAURANTS

5. Are there aspects of the plans on display that you dislike? If so, what are they?

N/A

6. Any further comments?

7. In what suburb do you live? *Hawker*

Gender: Male Female

Age:
<20 yrs 51-60 yrs
21-30yrs 61-70yrs
31-40 yrs 71+ yrs
41-50yrs

THANK YOU FOR YOU COMMENTS

Additional information may be obtained by visiting the Economic Development Directorate (EDD) website:
www.economicdevelopment.act.gov.au

Telephone inquiries may be directed to Ms Kathleen Pooley in EDD's Community Engagement Unit on 6205 4056.

PLEASE DROP INTO THE BOX PROVIDED or RETURN TO SENIOR MANAGER COMMUNICATIONS AND MEDIA ECOMONIC DEVELOPMENT DIRECTORATE BY
COB 31 JANUARY 2012
Mail: GPO Box 158, Canberra ACT 2601 or Email: EDDCommunity@act.gov.au

209



RECEIVED
DATE 7/12/2011 BY EDD In-person

104

HAVE YOUR SAY HAWKER GROUP CENTRE DRAFT MASTER PLAN

The Economic Development Directorate (EDD) is hosting a number of community drop-in sessions to present the Hawker Group Centre Draft Master Plan to seek community comment.

The purpose of the Master Plan is to establish a planning framework for the future development of the Hawker Group Centre. The Draft Master Plan has been developed by the Economic Development Directorate in conjunction with the Hawker Project Reference Group (PRG) made up of community representatives, Hawker traders, and other key stakeholder representatives.

Now that you have reviewed the material presented at the information display, we would appreciate your comments.

Your views are valued and will be taken into account in finalising matters in relation to the sale and future development of the land.

1. How often do you visit the Centre (tick below)?

Daily 2-3 times /week Weekly Occasionally

2. Did you come here today specifically to visit the display?

Yes No

3. The following statements refer to proposals in the draft MASTER PLAN. Using the scale of 1 to 5 where 1=strongly agree and 5=strongly disagree, please rate the extent to which you agree or disagree with each statement. (Please by circle the appropriate number below).

	Strongly agree	Agree	Neither agree/disagree	Disagree	Strongly disagree	Don't know
A bigger supermarket will better meet resident's needs	1	2	3	4	5	<input type="checkbox"/>
The location proposed for the supermarket is appropriate	1	2	3	4	5	<input type="checkbox"/>
I like the location of the additional shops	1	2	3	4	5	<input type="checkbox"/>
I like that the plan provides for additional cafés and more outdoor dining	1	2	3	4	5	<input type="checkbox"/>
Parking will continue to be available and accessible	1	2	3	4	5	<input type="checkbox"/> of free
Pedestrian access from the undercroft parking via the travelator to the plaza will be convenient	1	2	3	4	5	<input type="checkbox"/>
The higher buildings should be located near Belconnen Way	1	2	3	4	5	<input type="checkbox"/>
The proposed heights for new development are appropriate	1	2	3	4	5	<input type="checkbox"/>
The new plaza will be an attractive meeting point in the centre	1	2	3	4	5	<input type="checkbox"/>
I like the retention of the playground in the plaza	1	2	3	4	5	<input type="checkbox"/>
Residential apartments in the centre will increase housing choice for residents	1	2	3	4	5	<input type="checkbox"/>
Housing over commercial and retail will enliven the centre	1	2	3	4	5	<input type="checkbox"/>
Some parts of Hawker Place should be renamed	1	2	3	4	5	<input type="checkbox"/>
The proposals will make the Hawker centre a more attractive place to visit	1	2	3	4	5	<input type="checkbox"/>
I would visit the centre more frequently if the master plan was implemented	1	2	3	4	5	<input type="checkbox"/> of improved

PTO

208



HAVE YOUR SAY HAWKER GROUP CENTRE DRAFT MASTER PLAN

4. What are the main features of the plans on display that you believe will improve the Hawker Centre?

⑩ New Supermarket
- More parking and free
- More cheaps
- More services like lawyers etc.

5. Are there aspects of the plans on display that you dislike? If so, what are they?

- Housing in commercial area
- Implementation is not known.

6. Any further comments?

7. In what suburb do you live? *HAWKER*

Gender: Male Female

Age:
<20 yrs 51-60 yrs
21-30yrs 61-70yrs
31-40 yrs 71+ yrs
41-50yrs

THANK YOU FOR YOU COMMENTS

Additional information may be obtained by visiting the Economic Development Directorate (EDD) website:
www.economicdevelopment.act.gov.au

Telephone inquiries may be directed to Ms Kathleen Pooley in EDD's Community Engagement Unit on 6205 4056.

PLEASE DROP INTO THE BOX PROVIDED or RETURN TO SENIOR MANAGER COMMUNICATIONS AND MEDIA ECONOMIC DEVELOPMENT DIRECTORATE BY
COB 31 JANUARY 2012
Mail: GPO Box 158, Canberra ACT 2601 or Email: EDDCommunity@act.gov.au

207



HAVE YOUR SAY

HAWKER GROUP CENTRE

DRAFT MASTER PLAN

RECEIVED	
DATE 7/12/2011	BY EDD In-Person

The Economic Development Directorate (EDD) is hosting a number of community drop-in sessions to present the Hawker Group Centre Draft Master Plan to seek community comment.

The purpose of the Master Plan is to establish a planning framework for the future development of the Hawker Group Centre. The Draft Master Plan has been developed by the Economic Development Directorate in conjunction with the Hawker Project Reference Group (PRG) made up of community representatives, Hawker traders, and other key stakeholder representatives.

Now that you have reviewed the material presented at the information display, we would appreciate your comments.

Your views are valued and will be taken into account in finalising matters in relation to the sale and future development of the land.

1. How often do you visit the Centre (tick below)?

Daily 2-3 times /week Weekly Occasionally

2. Did you come here today specifically to visit the display?

Yes No

3. The following statements refer to proposals in the draft MASTER PLAN. Using the scale of 1 to 5 where 1=strongly agree and 5=strongly disagree, please rate the extent to which you agree or disagree with each statement. (Please by circle the appropriate number below).

	Strongly agree	Agree	Neither agree/ disagree	Disagree	Strongly disagree	Don't know
A bigger supermarket will better meet resident's needs	(1)	2	3	4	5	<input type="checkbox"/>
The location proposed for the supermarket is appropriate	(1)	2	3	4	5	<input type="checkbox"/>
I like the location of the additional shops	(1)	2	3	4	5	<input type="checkbox"/>
I like that the plan provides for additional cafés and more outdoor dining	(1)	2	3	4	5	<input type="checkbox"/>
Parking will continue to be available and accessible	1	2	(3)	4	5	<input type="checkbox"/>
Pedestrian access from the undercroft parking via the travelator to the plaza will be convenient	(1)	2	3	4	5	<input type="checkbox"/>
The higher buildings should be located near Belconnen Way	1	(2)	3	4	5	<input type="checkbox"/>
The proposed heights for new development are appropriate	1	2	(3)	4	5	<input type="checkbox"/>
The new plaza will be an attractive meeting point in the centre	1	(2)	3	4	5	<input type="checkbox"/>
I like the retention of the playground in the plaza	(1)	2	3	4	5	<input type="checkbox"/>
Residential apartments in the centre will increase housing choice for residents	1	(2)	3	4	5	<input type="checkbox"/>
Housing over commercial and retail will enliven the centre	1	(2)	3	4	5	<input type="checkbox"/>
Some parts of Hawker Place should be renamed	1	(2)	3	4	5	<input type="checkbox"/>
The proposals will make the Hawker centre a more attractive place to visit	1	(2)	3	4	5	<input type="checkbox"/>
I would visit the centre more frequently if the master plan was implemented	1	2	(3)	4	5	<input type="checkbox"/>



HAVE YOUR SAY

HAWKER GROUP CENTRE

DRAFT MASTER PLAN

4. What are the main features of the plans on display that you believe will improve the Hawker Centre?

larger supermarket

.....

.....

.....

5. Are there aspects of the plans on display that you dislike? If so, what are they?

Too much high rise.

.....

.....

.....

6. Any further comments?

Would like to see a bigger playground

.....

.....

7. In what suburb do you live? *Hawker*

Gender: Male Female

Age:

<20 yrs	<input type="checkbox"/>	51-60 yrs	<input type="checkbox"/>
21-30yrs	<input type="checkbox"/>	61-70yrs	<input checked="" type="checkbox"/>
31-40 yrs	<input type="checkbox"/>	71+ yrs	<input type="checkbox"/>
41-50yrs	<input type="checkbox"/>		

THANK YOU FOR YOU COMMENTS

Additional information may be obtained by visiting the Economic Development Directorate (EDD) website:
www.economicdevelopment.act.gov.au

Telephone inquiries may be directed to Ms Kathleen Pooley in EDD's Community Engagement Unit on 6205 4056.

PLEASE DROP INTO THE BOX PROVIDED or RETURN TO SENIOR MANAGER COMMUNICATIONS AND MEDIA ECONOMIC DEVELOPMENT DIRECTORATE BY

COB 31 JANUARY 2012

Mail: GPO Box 158, Canberra ACT 2601 or Email: EDDCommunity@act.gov.au



HAVE YOUR SAY HAWKER GROUP CENTRE DRAFT MASTER PLAN

RECEIVED
DATE 7/12/2011 BY EDD In-Person

The Economic Development Directorate (EDD) is hosting a number of community drop-in sessions to present the Hawker Group Centre Draft Master Plan to seek community comment.

The purpose of the Master Plan is to establish a planning framework for the future development of the Hawker Group Centre. The Draft Master Plan has been developed by the Economic Development Directorate in conjunction with the Hawker Project Reference Group (PRG) made up of community representatives, Hawker traders, and other key stakeholder representatives.

Now that you have reviewed the material presented at the information display, we would appreciate your comments.

Your views are valued and will be taken into account in finalising matters in relation to the sale and future development of the land.

1. How often do you visit the Centre (tick below)?

Daily 2-3 times /week Weekly Occasionally

2. Did you come here today specifically to visit the display?

Yes No

3. The following statements refer to proposals in the draft MASTER PLAN. Using the scale of 1 to 5 where 1=strongly agree and 5=strongly disagree, please rate the extent to which you agree or disagree with each statement. (Please by circle the appropriate number below).

	Strongly agree	Agree	Neither agree/disagree	Disagree	Strongly disagree	Don't know
A bigger supermarket will better meet resident's needs	1	2	3	4	5	<input type="checkbox"/>
The location proposed for the supermarket is appropriate	1	2	3	4	5	<input type="checkbox"/>
I like the location of the additional shops	1	2	3	4	5	<input type="checkbox"/>
I like that the plan provides for additional cafés and more outdoor dining	1	2	3	4	5	<input type="checkbox"/>
Parking will continue to be available and accessible	1	2	3	4	5	<input type="checkbox"/>
Pedestrian access from the undercroft parking via the travelator to the plaza will be convenient	1	2	3	4	5	<input type="checkbox"/>
The higher buildings should be located near Belconnen Way	1	2	3	4	5	<input type="checkbox"/>
The proposed heights for new development are appropriate	1	2	3	4	5	<input type="checkbox"/>
The new plaza will be an attractive meeting point in the centre	1	2	3	4	5	<input type="checkbox"/>
I like the retention of the playground in the plaza	1	2	3	4	5	<input type="checkbox"/>
Residential apartments in the centre will increase housing choice for residents	1	2	3	4	5	<input type="checkbox"/>
Housing over commercial and retail will enliven the centre	1	2	3	4	5	<input type="checkbox"/>
Some parts of Hawker Place should be renamed	1	2	3	4	5	<input type="checkbox"/>
The proposals will make the Hawker centre a more attractive place to visit	1	2	3	4	5	<input type="checkbox"/>
I would visit the centre more frequently if the master plan was implemented	1	2	3	4	5	<input type="checkbox"/>

Too Small



ACT
Government

Economic Development

HAVE YOUR SAY HAWKER GROUP CENTRE DRAFT MASTER PLAN

4. What are the main features of the plans on display that you believe will improve the Hawker Centre?

Increased professional rooms
— scope for medical specialists
More car parks

5. Are there aspects of the plans on display that you dislike? If so, what are they?

Insufficient green space +
play grounds away from the shops

6. Any further comments?

At present Belconnen has empty
shops especially at Jamitov + local smaller
centres, and Canberra small business
is not doing well (see last week's Canberra Times)
so increase small shops carefully

7. In what suburb do you live?

Wetayesa (Springvale Drive)

Gender: Male Female

Age:
<20 yrs 51-60 yrs
21-30yrs 61-70yrs
31-40 yrs 71+ yrs
41-50yrs

THANK YOU FOR YOUR COMMENTS

Additional information may be obtained by visiting the Economic Development Directorate (EDD) website:
www.economicdevelopment.act.gov.au

Telephone inquiries may be directed to Ms Kathleen Pooley in EDD's Community Engagement Unit on 6205 4056.

PLEASE DROP INTO THE BOX PROVIDED or RETURN TO SENIOR MANAGER COMMUNICATIONS AND
MEDIA ECONOMIC DEVELOPMENT DIRECTORATE BY

COB 31 JANUARY 2012

Mail: GPO Box 158, Canberra ACT 2601 or Email: EDDCommunity@act.gov.au

RECEIVED
DATE 6/12/2011 BY ONLINE SUBMISSION

Lowe, Holly

From: Pooley, Kathleen
Sent: Wednesday, 7 December 2011 10:21 AM
To: Lowe, Holly
Subject: FW: Hawker Group Centre - Draft Master Plan Online Comments

Kathleen Pooley | Senior Manager
Phone 02 62054056 | Fax 02 62070123
Communications and Media | Economic Development Directorate | **ACT Government**
Level 2 Telstra House 490 Northbourne Avenue Dickson ACT 2602
GPO Box 158 Canberra ACT 2601 | www.economicdevelopment.act.gov.au

From: McKeveitt, Anne **On Behalf Of** EDD, Webmaster
Sent: Wednesday, 7 December 2011 10:20 AM
To: Pooley, Kathleen
Subject: FW: Hawker Group Centre - Draft Master Plan Online Comments

From: eddwebmaster@act.gov.au [<mailto:eddwebmaster@act.gov.au>]
Sent: Tuesday, 6 December 2011 4:04 PM
To: EDD, Webmaster
Subject: Hawker Group Centre - Draft Master Plan Online Comments

Below are the comments provided through an online submission.

- How often do you visit the Centre?: 2-3 times/week
- Did you come here today specifically to visit the display?: Yes

- The following statements refer to proposals in the draft Master Plan.:
A bigger supermarket will better meet resident's needs: Neither agree/disagree (3); The location proposed for the supermarket is appropriate: Neither agree/disagree (3); I like the location of the additional shops: Neither agree/disagree (3); I like that the plan provides for additional cafés and more outdoor dining: Disagree (4); Parking will continue to be available and accessible: Agree (2); Pedestrian access from the undercroft parking via the travelator to the plaza will be convenient: Agree (2); The higher buildings should be located near Belconnen Way: Neither agree/disagree (3); The proposed heights for new development are appropriate: Neither agree/disagree (3); The new plaza will be an attractive meeting point in the centre: Neither agree/disagree (3); I like the retention of the playground in the plaza: Neither agree/disagree (3); Residential

apartments in the centre will increase housing choice for residents: Neither agree/disagree (3); Housing over commercial and retail will enliven the centre: Disagree (4); Some parts of Hawker Place should be renamed : Neither agree/disagree (3); The proposals will make the Hawker centre a more attractive place to visit: Neither agree/disagree (3); I would visit the centre more frequently if the master plan was implemented: Disagree (4)

- 4. What are the main features of the plans on display that you believe will improve the Hawker Centre?:

The long term planning (20 year period) was OK, but I question the need for an expanded group centre at all without significant new housing nearby that is suitable for families.

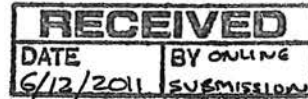
- Are there aspects of the plans on display that you dislike? If so, what are they?:

Provision of more shops, cafes and restaurants. Why would a business wish to set up in Hawker when there is so much competition from Jamison, Belconnen and Kippax shops. The shopping survey done in July 2011 indicated that an enlarged Hawker shopping centre would be unlikely to attract more customers. Hawker had a Commonwealth Bank branch years ago, but it was closed and is now the Village Bakery. Also, several cafes have opened and closed over the years. I do not think that housing over more shops will improve the centre or encourage an "active" streetscape (commercial premises under apartments at Jamison and Kippax have been empty for several years).

- Any other comments?:

I have been a resident of Hawker since January 1973. I know several families resident in Hawker/Weetangera who have never shopped in Hawker and do not intend to do so. Complaints about parking availability/dangers are not justified, nor are those about increased traffic. It is good to see the sporting fields being used, and more attention should be given to promoting the three govt. schools in Hawker. For more housing, could the high school oval (I believe not maintained or used for years) be resumed for family housing? Some proportion of any new units constructed should be required to have 3 bedrooms and adequate space for 2 adults + 2 children.

- In what suburb do you live?: Hawker
- Gender: Female
- Age group: 71+ yrs



100

Lowe, Holly

From: Pooley, Kathleen
Sent: Wednesday, 7 December 2011 10:20 AM
To: Lowe, Holly
Subject: FW: Hawker Group Centre - Draft Master Plan Online Comments

Kathleen Pooley | Senior Manager
Phone 02 62054056 | Fax 02 62070123
Communications and Media | Economic Development Directorate | **ACT Government**
Level 2 Telstra House 490 Northbourne Avenue Dickson ACT 2602
GPO Box 158 Canberra ACT 2601 | www.economicdevelopment.act.gov.au

From: McKeveatt, Anne **On Behalf Of** EDD, Webmaster
Sent: Wednesday, 7 December 2011 10:20 AM
To: Pooley, Kathleen
Subject: FW: Hawker Group Centre - Draft Master Plan Online Comments

From: eddwebmaster@act.gov.au [<mailto:eddwebmaster@act.gov.au>]
Sent: Tuesday, 6 December 2011 12:03 PM
To: EDD, Webmaster
Subject: Hawker Group Centre - Draft Master Plan Online Comments

Below are the comments provided through an online submission.

- How often do you visit the Centre?: Weekly
- Did you come here today specifically to visit the display?: Yes

- The following statements refer to proposals in the draft Master Plan.:
A bigger supermarket will better meet resident's needs: Neither agree/disagree (3); The location proposed for the supermarket is appropriate: Agree (2); I like the location of the additional shops: Neither agree/disagree (3); I like that the plan provides for additional cafés and more outdoor dining: Neither agree/disagree (3); Parking will continue to be available and accessible: Agree (2); Pedestrian access from the undercroft parking via the travelator to the plaza will be convenient: Agree (2); The higher buildings should be located near Belconnen Way: Disagree (4); The proposed heights for new development are appropriate: Strongly agree (1); The new plaza will be an attractive meeting point in the centre: Neither agree/disagree (3); I like the retention of the playground in the plaza: Strongly agree (1); Residential apartments in the centre will

increase housing choice for residents: Neither agree/disagree (3); Housing over commercial and retail will enliven the centre: Agree (2); Some parts of Hawker Place should be renamed : Neither agree/disagree (3); The proposals will make the Hawker centre a more attractive place to visit: Neither agree/disagree (3); I would visit the centre more frequently if the master plan was implemented: Neither agree/disagree (3)

- 4. What are the main features of the plans on display that you believe will improve the Hawker Centre?:

I don't really believe that planning bureaucracies can 'improve' anything. At best, they seem to restrain developers, but that just pushes up land prices. whether this plan succeeds or fails probably owes more to future economic conditions in Belconnen, rather than your plan. I will not mourn the demise of the vast surface carparks.

- Are there aspects of the plans on display that you dislike? If so, what are they?:

Currently, buses use Hawker Place. If you cut Hawker Place in two with the new plaza, where will the buses go? I like tall residential buildings, because it might reduce the pressure for redevelopment in my street in Page (which is RZ2). Then again, I wouldn't choose to live in a high-rise myself, so am not sure what motivates other people to do so. With so many huge residential towers underway in Belconnen Town Centre, is there really enough demand for high rise in Hawker? Or would these new Hawker apartments get bought up by ACT Housing?

- Any other comments?:

A full line supermarket seems odd: We already have 2 in Belconnen and 1 in Jamison. Is there really enough demand for another full line supermarket?. If this big supermarket went ahead, I would shop there instead of at Jamison/Belconnen if the prices were the same. The undercroft parking would be an attraction (when compared with using surface car parks at Jamison).

- In what suburb do you live?:

Page

- Gender:

Male

- Age group:

31-40 yrs

RECEIVED	
DATE	BY ONLINE
6/12/2011	SUBMISSION

Lowe, Holly

From: Pooley, Kathleen
Sent: Wednesday, 7 December 2011 10:20 AM
To: Lowe, Holly
Subject: FW: Hawker Group Centre - Draft Master Plan Online Comments

Kathleen Pooley | Senior Manager
 Phone 02 62054056 | Fax 02 62070123
 Communications and Media | Economic Development Directorate | **ACT Government**
 Level 2 Telstra House 490 Northbourne Avenue Dickson ACT 2602
 GPO Box 158 Canberra ACT 2601 | www.economicdevelopment.act.gov.au

From: McKeveatt, Anne **On Behalf Of** EDD, Webmaster
Sent: Wednesday, 7 December 2011 10:19 AM
To: Pooley, Kathleen
Subject: FW: Hawker Group Centre - Draft Master Plan Online Comments

From: eddwebmaster@act.gov.au [<mailto:eddwebmaster@act.gov.au>]
Sent: Tuesday, 6 December 2011 12:00 PM
To: EDD, Webmaster
Subject: Hawker Group Centre - Draft Master Plan Online Comments

Below are the comments provided through an online submission.

- How often do you visit the Centre?: Daily
- Did you come here today specifically to visit the display?: No

• The following statements refer to proposals in the draft Master Plan.:

A bigger supermarket will better meet resident's needs: Strongly disagree (5); The location proposed for the supermarket is appropriate: Strongly disagree (5); I like the location of the additional shops: Disagree (4); I like that the plan provides for additional cafés and more outdoor dining: Agree (2); Parking will continue to be available and accessible: Agree (2); Pedestrian access from the undercroft parking via the travelator to the plaza will be convenient: Don't Know (6); The higher buildings should be located near Belconnen Way: Strongly disagree (5); The proposed heights for new development are appropriate: Strongly disagree (5); The new plaza will be an attractive meeting point in the centre: Agree (2); I like the retention of the playground in the plaza: Agree (2); Residential apartments in the centre will increase housing choice for

residents: Strongly disagree (5); Housing over commercial and retail will enliven the centre: Strongly disagree (5); Some parts of Hawker Place should be renamed : Strongly disagree (5); The proposals will make the Hawker centre a more attractive place to visit: Don't Know (6); I would visit the centre more frequently if the master plan was implemented: Don't Know (6)

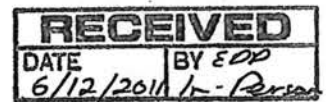
- 4. What are the main features of the plans on display that you believe will improve the Hawker Centre?: I suppose I will be seen as negative but I think that a spruce up would serve the local area much better than what it being proposed. Do the proposers live in the area or not.
- Are there aspects of the plans on display that you dislike? If so, what are they?: I really disagree with either Woolworths or Coles being added to the village. IGA/Shoprite have been in Hawker certainly since I moved to Page in 1975 and has served the needs of the area extremely well. There is NO NEED for 2 supermarkets in such a small area.
- Any other comments?: I again will be seen as negative but do we really need high rise apartments in the area it appears that every open space is being created into high rise making us just like every other capital city in the country. Why can't we be unique?
- In what suburb do you live?: Page
- Gender: Female
- Age group: 61-70 yrs



HAVE YOUR SAY

HAWKER GROUP CENTRE

DRAFT MASTER PLAN



The Economic Development Directorate (EDD) is hosting a number of community drop-in sessions to present the Hawker Group Centre Draft Master Plan to seek community comment.

The purpose of the Master Plan is to establish a planning framework for the future development of the Hawker Group Centre. The Draft Master Plan has been developed by the Economic Development Directorate in conjunction with the Hawker Project Reference Group (PRG) made up of community representatives, Hawker traders, and other key stakeholder representatives.

Now that you have reviewed the material presented at the information display, we would appreciate your comments.

Your views are valued and will be taken into account in finalising matters in relation to the sale and future development of the land.

1. How often do you visit the Centre (tick below)?

Daily 2-3 times /week Weekly Occasionally

2. Did you come here today specifically to visit the display?

Yes No

3. The following statements refer to proposals in the draft MASTER PLAN. Using the scale of 1 to 5 where 1=strongly agree and 5=strongly disagree, please rate the extent to which you agree or disagree with each statement. (Please by circle the appropriate number below).

	Strongly agree	Agree	Neither agree/disagree	Disagree	Strongly disagree	Don't know
A bigger supermarket will better meet resident's needs	1	2	③	4	5	<input type="checkbox"/>
The location proposed for the supermarket is appropriate	1	②	3	4	5	<input type="checkbox"/>
I like the location of the additional shops	①	2	3	4	5	<input type="checkbox"/>
I like that the plan provides for additional cafés and more outdoor dining	①	2	3	4	5	<input type="checkbox"/>
Parking will continue to be available and accessible	①	2	3	4	5	<input type="checkbox"/>
Pedestrian access from the undercroft parking via the travelator to the plaza will be convenient	1	②	3	4	5	<input type="checkbox"/>
The higher buildings should be located near Belconnen Way	1	2	③	4	5	<input type="checkbox"/>
The proposed heights for new development are appropriate	1	②	3	4	5	<input type="checkbox"/>
The new plaza will be an attractive meeting point in the centre	1	②	3	4	5	<input type="checkbox"/>
I like the retention of the playground in the plaza	1	2	3	4	⑤	<input type="checkbox"/>
Residential apartments in the centre will increase housing choice for residents	1	2	3	④	5	<input type="checkbox"/>
Housing over commercial and retail will enliven the centre	1	②	3	4	5	<input type="checkbox"/>
Some parts of Hawker Place should be renamed	①	2	3	4	5	<input type="checkbox"/>
The proposals will make the Hawker centre a more attractive place to visit	1	②	3	4	5	<input type="checkbox"/>
I would visit the centre more frequently if the master plan was implemented	1	②	3	4	5	<input type="checkbox"/>



HAVE YOUR SAY HAWKER GROUP CENTRE DRAFT MASTER PLAN

4. What are the main features of the plans on display that you believe will improve the Hawker Centre?

- ~~A plan~~ densification of the precinct.
- Hopefully a more lively cafe/^{restaurant} precinct.
- Removal of the ugly surface parking areas.

5. Are there aspects of the plans on display that you dislike? If so, what are they?

- The communal plaza will be too small to facilitate all the suggested uses.
- The service station does not appear to have been included.
- The master plan is confined to the shops; there are two large open areas (1) at back of Belconnen HS & (2) Hawker College that are now not maintained which could be medium density housing.

6. Any further comments?

- Please move quickly so the new super market is done within next 5 years, as this will spur on the developments on the other surface car parks which will then push redevelopment of existing retail areas!

7. In what suburb do you live? Scullin.

Gender: Male Female

Age:

<20 yrs <input type="checkbox"/>	51-60 yrs <input type="checkbox"/>
21-30 yrs <input type="checkbox"/>	61-70 yrs <input checked="" type="checkbox"/>
31-40 yrs <input type="checkbox"/>	71+ yrs <input type="checkbox"/>
41-50 yrs <input type="checkbox"/>	

THANK YOU FOR YOUR COMMENTS

Additional information may be obtained by visiting the Economic Development Directorate (EDD) website:
www.economicdevelopment.act.gov.au

Telephone inquiries may be directed to Ms Kathleen Pooley in EDD's Community Engagement Unit on 6205 4056.

PLEASE DROP INTO THE BOX PROVIDED or RETURN TO SENIOR MANAGER COMMUNICATIONS AND MEDIA ECONOMIC DEVELOPMENT DIRECTORATE BY

COB 31 JANUARY 2012

Mail: GPO Box 158, Canberra ACT 2601 or Email: EDDCommunity@act.gov.au



HAVE YOUR SAY HAWKER GROUP CENTRE DRAFT MASTER PLAN

RECEIVED
DATE 6/12/2011 BY EOD In-Person

The Economic Development Directorate (EDD) is hosting a number of community drop-in sessions to present the Hawker Group Centre Draft Master Plan to seek community comment.

The purpose of the Master Plan is to establish a planning framework for the future development of the Hawker Group Centre. The Draft Master Plan has been developed by the Economic Development Directorate in conjunction with the Hawker Project Reference Group (PRG) made up of community representatives, Hawker traders, and other key stakeholder representatives.

Now that you have reviewed the material presented at the information display, we would appreciate your comments.

Your views are valued and will be taken into account in finalising matters in relation to the sale and future development of the land.

1. How often do you visit the Centre (tick below)?

Daily 2-3 times /week Weekly Occasionally

2. Did you come here today specifically to visit the display?

Yes No

3. The following statements refer to proposals in the draft MASTER PLAN. Using the scale of 1 to 5 where 1=strongly agree and 5=strongly disagree, please rate the extent to which you agree or disagree with each statement. (Please by circle the appropriate number below).

	Strongly agree	Agree	Neither agree/disagree	Disagree	Strongly disagree	Don't know
A bigger supermarket will better meet resident's needs	1	2	3	4	5	<input type="checkbox"/>
The location proposed for the supermarket is appropriate	1	2	3	4	5	<input type="checkbox"/>
I like the location of the additional shops	1	2	3	4	5	<input type="checkbox"/>
I like that the plan provides for additional cafés and more outdoor dining	1	2	3	4	5	<input type="checkbox"/>
Parking will continue to be available and accessible	1	2	3	4	5	<input type="checkbox"/>
Pedestrian access from the undercroft parking via the travelator to the plaza will be convenient	1	2	3	4	5	<input type="checkbox"/>
The higher buildings should be located near Belconnen Way	1	2	3	4	5	<input type="checkbox"/>
The proposed heights for new development are appropriate	1	2	3	4	5	<input type="checkbox"/>
The new plaza will be an attractive meeting point in the centre	1	2	3	4	5	<input type="checkbox"/>
I like the retention of the playground in the plaza	1	2	3	4	5	<input type="checkbox"/>
Residential apartments in the centre will increase housing choice for residents	1	2	3	4	5	<input type="checkbox"/>
Housing over commercial and retail will enliven the centre	1	2	3	4	5	<input type="checkbox"/>
Some parts of Hawker Place should be renamed	1	2	3	4	5	<input type="checkbox"/>
The proposals will make the Hawker centre a more attractive place to visit	1	2	3	4	5	<input type="checkbox"/>
I would visit the centre more frequently if the master plan was implemented	1	2	3	4	5	<input type="checkbox"/>



HAVE YOUR SAY HAWKER GROUP CENTRE DRAFT MASTER PLAN

4. What are the main features of the plans on display that you believe will improve the Hawker Centre?

- * Potential for dining options I can walk to
- * A visual improvement to a very run down & disconnected set of buildings

5. Are there aspects of the plans on display that you dislike? If so, what are they?

- * Public Plaza to include alfresco dining, playground & seating would appear to make this area too congested limiting opportunity for community gatherings
- * Vehicular access to all mixed use residential is not indicated on MP, but could create issues as this "use" is spread throughout centre, eg on Belconnen Wy/Bataloo corner.

6. Any further comments?

- * Access onto Belconnen Way via Bataloo & Springvale is already hazardous, especially when ongoing access to Chewing's is taken into account - will traffic lights be required at all 3 intersections ???
- * Current CIA owner subjected clients & staff to appalling conditions while expanded his shop a lengthy period a shop was exposed to outside air as roof incomplete for a long time & OHS was non-existent, lets not have this again!

7. In what suburb do you live?

Scullin

Gender: Male Female

Age:

<20 yrs	<input type="checkbox"/>	51-60 yrs	<input type="checkbox"/>
21-30yrs	<input type="checkbox"/>	61-70yrs	<input checked="" type="checkbox"/>
31-40 yrs	<input type="checkbox"/>	71+ yrs	<input type="checkbox"/>
41-50yrs	<input type="checkbox"/>		

THANK YOU FOR YOU COMMENTS

Additional information may be obtained by visiting the Economic Development Directorate (EDD) website: www.economicdevelopment.act.gov.au

Telephone inquiries may be directed to Ms Kathleen Pooley in EDD's Community Engagement Unit on 6205 4056.

PLEASE DROP INTO THE BOX PROVIDED or RETURN TO SENIOR MANAGER COMMUNICATIONS AND MEDIA ECONOMIC DEVELOPMENT DIRECTORATE BY

COB 31 JANUARY 2012

Mail: GPO Box 158, Canberra ACT 2601 or Email: EDDCommunity@act.gov.au

193



HAVE YOUR SAY HAWKER GROUP CENTRE DRAFT MASTER PLAN

RECEIVED
DATE 5/12/2011 BY EDD In Person

The Economic Development Directorate (EDD) is hosting a number of community drop-in sessions to present the Hawker Group Centre Draft Master Plan to seek community comment.

The purpose of the Master Plan is to establish a planning framework for the future development of the Hawker Group Centre. The Draft Master Plan has been developed by the Economic Development Directorate in conjunction with the Hawker Project Reference Group (PRG) made up of community representatives, Hawker traders, and other key stakeholder representatives.

Now that you have reviewed the material presented at the information display, we would appreciate your comments.

Your views are valued and will be taken into account in finalising matters in relation to the sale and future development of the land.

1. How often do you visit the Centre (tick below)?

Daily 2-3 times /week Weekly Occasionally

2. Did you come here today specifically to visit the display?

Yes No

3. The following statements refer to proposals in the draft MASTER PLAN. Using the scale of 1 to 5 where 1=strongly agree and 5=strongly disagree, please rate the extent to which you agree or disagree with each statement. (Please by circle the appropriate number below).

	Strongly agree	Agree	Neither agree/disagree	Disagree	Strongly disagree	Don't know
A bigger supermarket will better meet resident's needs	1	2	3	4	5	<input type="checkbox"/>
The location proposed for the supermarket is appropriate	1	2	3	4	5	<input type="checkbox"/>
I like the location of the additional shops	1	2	3	4	5	<input type="checkbox"/>
I like that the plan provides for additional cafés and more outdoor dining	1	2	3	4	5	<input type="checkbox"/>
Parking will continue to be available and accessible	1	2	3	4	5	<input type="checkbox"/>
Pedestrian access from the undercroft parking via the travelator to the plaza will be convenient	1	2	3	4	5	<input type="checkbox"/>
The higher buildings should be located near Belconnen Way	1	2	3	4	5	<input type="checkbox"/>
The proposed heights for new development are appropriate	1	2	3	4	5	<input type="checkbox"/>
The new plaza will be an attractive meeting point in the centre	1	2	3	4	5	<input type="checkbox"/>
I like the retention of the playground in the plaza	1	2	3	4	5	<input type="checkbox"/>
Residential apartments in the centre will increase housing choice for residents	1	2	3	4	5	<input type="checkbox"/>
Housing over commercial and retail will enliven the centre	1	2	3	4	5	<input type="checkbox"/>
Some parts of Hawker Place should be renamed	1	2	3	4	5	<input type="checkbox"/>
The proposals will make the Hawker centre a more attractive place to visit	1	2	3	4	5	<input type="checkbox"/>
I would visit the centre more frequently if the master plan was implemented	1	2	3	4	5	<input type="checkbox"/>

they shouldn't be built



ACT
Government

Economic Development

HAVE YOUR SAY HAWKER GROUP CENTRE DRAFT MASTER PLAN

4. What are the main features of the plans on display that you believe will improve the Hawker Centre?

BIGGER SQUARE

5. Are there aspects of the plans on display that you dislike? If so, what are they?

Distraction of village atmosphere, enlarged super market, no demonstrated need for more shops, shading of open areas, underground parking, destruction of above ground parking despite petition, more shops, + plus more residences but less ~~seem~~ parking, no green spaces, 6 story buildings out of scale with rest of centre

6. Any further comments?

Hawker is only technically a group centre its development was sensibly curtailed because of proximity of Kippax, Jamieson, and the town centre. I see no need to change this policy.

7. In what suburb do you live? HAWKER

Gender: Male Female

Age:
<20 yrs 51-60 yrs
21-30yrs 61-70yrs
31-40 yrs 71+ yrs
41-50yrs

Pretty soon there will be a glut of units which will lead to slums. The concept of a road with shops on both sides is unnecessary. The extra road in from Belway is just silly and dangerous.

THANK YOU FOR YOUR COMMENTS

Additional information may be obtained by visiting the Economic Development Directorate (EDD) website: www.economicdevelopment.act.gov.au

Telephone inquiries may be directed to Ms Kathleen Pooley in EDD's Community Engagement Unit on 6205 4056.

PLEASE DROP INTO THE BOX PROVIDED or RETURN TO SENIOR MANAGER COMMUNICATIONS AND MEDIA ECONOMIC DEVELOPMENT DIRECTORATE BY

COB 31 JANUARY 2012

Mail: GPO Box 158, Canberra ACT 2601 or Email: EDDCommunity@act.gov.au

There is plenty of housing choice in HAWKER

95

RECEIVED	
DATE 5/12/2011	BY EDD ONLINE SUBMISSION

Lowe, Holly

From: Pooley, Kathleen
Sent: Monday, 5 December 2011 4:31 PM
To: Lowe, Holly
Subject: FW: Hawker Group Centre - Draft Master Plan Online Comments

Kathleen Pooley | Senior Manager
 Phone 02 62054056 | Fax 02 62070123
 Communications and Media | Economic Development Directorate | **ACT Government**
 Level 2 Telstra House 490 Northbourne Avenue Dickson ACT 2602
 GPO Box 158 Canberra ACT 2601 | www.economicdevelopment.act.gov.au

From: McKeveatt, Anne **On Behalf Of** EDD, Webmaster
Sent: Monday, 5 December 2011 4:24 PM
To: Pooley, Kathleen
Subject: FW: Hawker Group Centre - Draft Master Plan Online Comments

From: eddwebmaster@act.gov.au [<mailto:eddwebmaster@act.gov.au>]
Sent: Monday, 5 December 2011 4:34 PM
To: EDD, Webmaster
Subject: Hawker Group Centre - Draft Master Plan Online Comments

Below are the comments provided through an online submission.

- How often do you visit the Centre?: Daily
- Did you come here today specifically to visit the display?: Yes

- The following statements refer to proposals in the draft Master Plan.:
 A bigger supermarket will better meet resident's needs: Strongly agree (1); The location proposed for the supermarket is appropriate: Strongly agree (1); I like the location of the additional shops: Strongly agree (1); I like that the plan provides for additional cafés and more outdoor dining: Strongly agree (1); Parking will continue to be available and accessible: Strongly agree (1); Pedestrian access from the undercroft parking via the travelator to the plaza will be convenient: Strongly agree (1); The higher buildings should be located near Belconnen Way: Strongly agree (1); The proposed heights for new development are appropriate: Strongly agree (1); The new plaza will be an attractive meeting point in the centre: Strongly agree (1); I like the retention of the playground in the plaza: Strongly agree (1); Residential apartments in the centre will increase



housing choice for residents: Strongly agree (1); Housing over commercial and retail will enliven the centre: Strongly agree (1); Some parts of Hawker Place should be renamed : Neither agree/disagree (3); The proposals will make the Hawker centre a more attractive place to visit: Strongly agree (1); I would visit the centre more frequently if the master plan was implemented: Agree (2)

- 4. What are the main features of the plans on display that you believe will improve the Hawker Centre?: Additional shops and residential apartments, landscaping, extra parking spaces.
- Are there aspects of the plans on display that you dislike? If so, what are they?: No - I think it is a good plan.
- Any other comments?: My family and friends are all in favour of the plan provided there is adequate parking - which I am led to believe will be the case. I want Hawker Centre to prosper, not go the way of my local shops (i.e. Scullin) which are dying a slow death.
- In what suburb do you live?: Scullin
- Gender: Male
- Age group: 41-50 yrs



HAVE YOUR SAY

HAWKER GROUP CENTRE

DRAFT MASTER PLAN

9A

RECEIVED
 DATE 3/12/2011 BY EDD
 In-Person

The Economic Development Directorate (EDD) is hosting a number of community drop-in sessions to present the Hawker Group Centre Draft Master Plan to seek community comment.

The purpose of the Master Plan is to establish a planning framework for the future development of the Hawker Group Centre. The Draft Master Plan has been developed by the Economic Development Directorate in conjunction with the Hawker Project Reference Group (PRG) made up of community representatives, Hawker traders, and other key stakeholder representatives.

Now that you have reviewed the material presented at the information display, we would appreciate your comments.

Your views are valued and will be taken into account in finalising matters in relation to the sale and future development of the land.

1. How often do you visit the Centre (tick below)?

Daily 2-3 times /week Weekly Occasionally

2. Did you come here today specifically to visit the display?

Yes No

3. The following statements refer to proposals in the draft MASTER PLAN. Using the scale of 1 to 5 where 1=strongly agree and 5=strongly disagree, please rate the extent to which you agree or disagree with each statement. (Please by circle the appropriate number below).

	Strongly agree	Agree	Neither agree/disagree	Disagree	Strongly disagree	Don't know
A bigger supermarket will better meet resident's needs	1	2	3	4	(5)	<input type="checkbox"/>
The location proposed for the supermarket is appropriate	1	2	3	4	(5)	<input type="checkbox"/>
I like the location of the additional shops	1	2	3	4	(5)	<input type="checkbox"/>
I like that the plan provides for additional cafés and more outdoor dining	1	2	3	4	(5)	<input type="checkbox"/>
Parking will continue to be available and accessible	1	2	3	4	(5)	<input type="checkbox"/>
Pedestrian access from the undercroft parking via the travelator to the plaza will be convenient	1	2	3	4	(5)	<input type="checkbox"/>
The higher buildings should be located near Belconnen Way	1	2	3	4	5	<input checked="" type="checkbox"/>
The proposed heights for new development are appropriate	1	2	3	4	(5)	<input type="checkbox"/>
The new plaza will be an attractive meeting point in the centre	1	2	3	4	(5)	<input type="checkbox"/>
I like the retention of the playground in the plaza	1	2	3	4	(5)	<input type="checkbox"/>
Residential apartments in the centre will increase housing choice for residents	1	2	3	4	(5)	<input type="checkbox"/>
Housing over commercial and retail will enliven the centre	1	2	3	4	(5)	<input type="checkbox"/>
Some parts of Hawker Place should be renamed	1	2	3	4	(5)	<input type="checkbox"/>
The proposals will make the Hawker centre a more attractive place to visit	1	2	3	4	(5)	<input type="checkbox"/>
I would visit the centre more frequently if the master plan was implemented	1	2	3	4	(5)	<input type="checkbox"/>

188



HAVE YOUR SAY HAWKER GROUP CENTRE DRAFT MASTER PLAN

4. What are the main features of the plans on display that you believe will improve the Hawker Centre?

None

5. Are there aspects of the plans on display that you dislike? If so, what are they?

To Many Flats, No Parking

6. Any further comments?

7. In what suburb do you live?..... *Hawker*

Gender: Male Female

Age:
<20 yrs 51-60 yrs
21-30yrs 61-70yrs
31-40 yrs 71+ yrs
41-50yrs

THANK YOU FOR YOU COMMENTS

Additional information may be obtained by visiting the Economic Development Directorate (EDD) website:
www.economicdevelopment.act.gov.au

Telephone inquiries may be directed to Ms Kathleen Pooley in EDD's Community Engagement Unit on 6205 4056.

PLEASE DROP INTO THE BOX PROVIDED or RETURN TO SENIOR MANAGER COMMUNICATIONS AND MEDIA ECONOMIC DEVELOPMENT DIRECTORATE BY
COB 31 JANUARY 2012
Mail: GPO Box 158, Canberra ACT 2601 or Email: EDDCommunity@act.gov.au

187



HAVE YOUR SAY HAWKER GROUP CENTRE DRAFT MASTER PLAN

RECEIVED
DATE 3/12/2011 BY EDD In-Review

The Economic Development Directorate (EDD) is hosting a number of community drop-in sessions to present the Hawker Group Centre Draft Master Plan to seek community comment.

The purpose of the Master Plan is to establish a planning framework for the future development of the Hawker Group Centre. The Draft Master Plan has been developed by the Economic Development Directorate in conjunction with the Hawker Project Reference Group (PRG) made up of community representatives, Hawker traders, and other key stakeholder representatives.

Now that you have reviewed the material presented at the information display, we would appreciate your comments.

Your views are valued and will be taken into account in finalising matters in relation to the sale and future development of the land.

1. How often do you visit the Centre (tick below)?

Daily 2-3 times /week Weekly Occasionally

2. Did you come here today specifically to visit the display?

Yes No

3. The following statements refer to proposals in the draft MASTER PLAN. Using the scale of 1 to 5 where 1=strongly agree and 5=strongly disagree, please rate the extent to which you agree or disagree with each statement. (Please by circle the appropriate number below).

	Strongly agree	Agree	Neither agree/disagree	Disagree	Strongly disagree	Don't know
A bigger supermarket will better meet resident's needs	1	2	3	4	5	<input type="checkbox"/>
The location proposed for the supermarket is appropriate	1	2	3	4	5	<input type="checkbox"/>
I like the location of the additional shops	1	2	3	4	5	<input type="checkbox"/>
I like that the plan provides for additional cafés and more outdoor dining	1	2	3	4	5	<input type="checkbox"/>
Parking will continue to be available and accessible	1	2	3	4	5	<input type="checkbox"/>
Pedestrian access from the undercroft parking via the travelator to the plaza will be convenient	1	2	3	4	5	<input type="checkbox"/>
The higher buildings should be located near Belconnen Way	1	2	3	4	5	<input type="checkbox"/>
The proposed heights for new development are appropriate	1	2	3	4	5	<input type="checkbox"/>
The new plaza will be an attractive meeting point in the centre	1	2	3	4	5	<input type="checkbox"/>
I like the retention of the playground in the plaza	1	2	3	4	5	<input type="checkbox"/>
Residential apartments in the centre will increase housing choice for residents	1	2	3	4	5	<input type="checkbox"/>
Housing over commercial and retail will enliven the centre	1	2	3	4	5	<input type="checkbox"/>
Some parts of Hawker Place should be renamed	1	2	3	4	5	<input type="checkbox"/>
The proposals will make the Hawker centre a more attractive place to visit	1	2	3	4	5	<input type="checkbox"/>
I would visit the centre more frequently if the master plan was implemented	1	2	3	4	5	<input type="checkbox"/>