

01 BLOCK D GROUND LEVEL PLAN

REV	DATE	AMENDMENTS	CHK
2	13.11.03	IA ISSUE 2 car parking numbers added	
3	20.07.04	Units added as per Notice of Decision FOOTPATH LEVELS as per Notice of Decision	
4	03.00.05	FLOOR LEVELS REVISED TENANCY SETOUT REVISED TENANCY ACCESS REVISED CARPARK LAYOUT REVISED LIFT AND STAIR ARRANGEMENT REVISED AIR RISER ADDED WALKWAY & STAIRS ADDED LETTERBOX LOCATION REVISED BICYCLE STORE LOCATION REVISED	

REV	DATE	AMENDMENTS	CHK
5	22.02.05	10. EXIT GATE ADDED 20. LETTER BOX LOCATION REVISED	

RESTIGE BUILDING SERVICES PTY LTD
 ACT LIC 6345 NSW LIC 94191C
 PO BOX 309 EYSHWICK ACT 2609
 PH: 02 6257 7206 FAX: 02 6257 7205

STILLICK CONSULTANTS
 SUITE 15/11 HUNGATE ST LEWISBURGH NSW
 PH: 02 6257 7206 FAX: 02 6257 7205

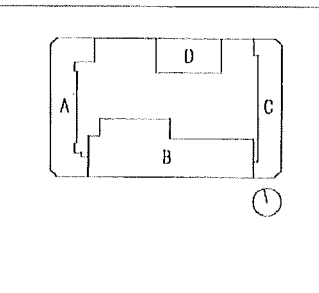
ACCUSING ENGINEERS
 SUITE 3, 6, 9 OFFICE EAST BRIDGEWAY NSW
 PH: 02 6257 7206 FAX: 02 6257 7205

ARCHITECTURAL CONSULTANTS
 SUITE 10/18 JARVIS ST GUNGAHLIN ACT 2901
 PH: 02 6257 7206 FAX: 02 6257 7205

DESIGN SERVICES
 BLIGH VOI FERR FIELD

CONSTRUCTION DOCUMENTS
dezignteam
 ARCHITECTURAL CONSULTANTS

TRAFFIC ENGINEER
 HUGHES THURMAN



PROJECT: **GUNGALIN SQUARE - S10 GUNGALIN**

CLIENT: SECTION 10 GUNGALIN PTY LTD

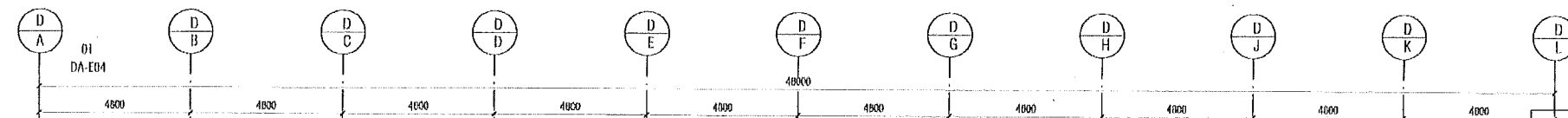
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SCALE: 1:100 @ A1

DATE: JUN 2005

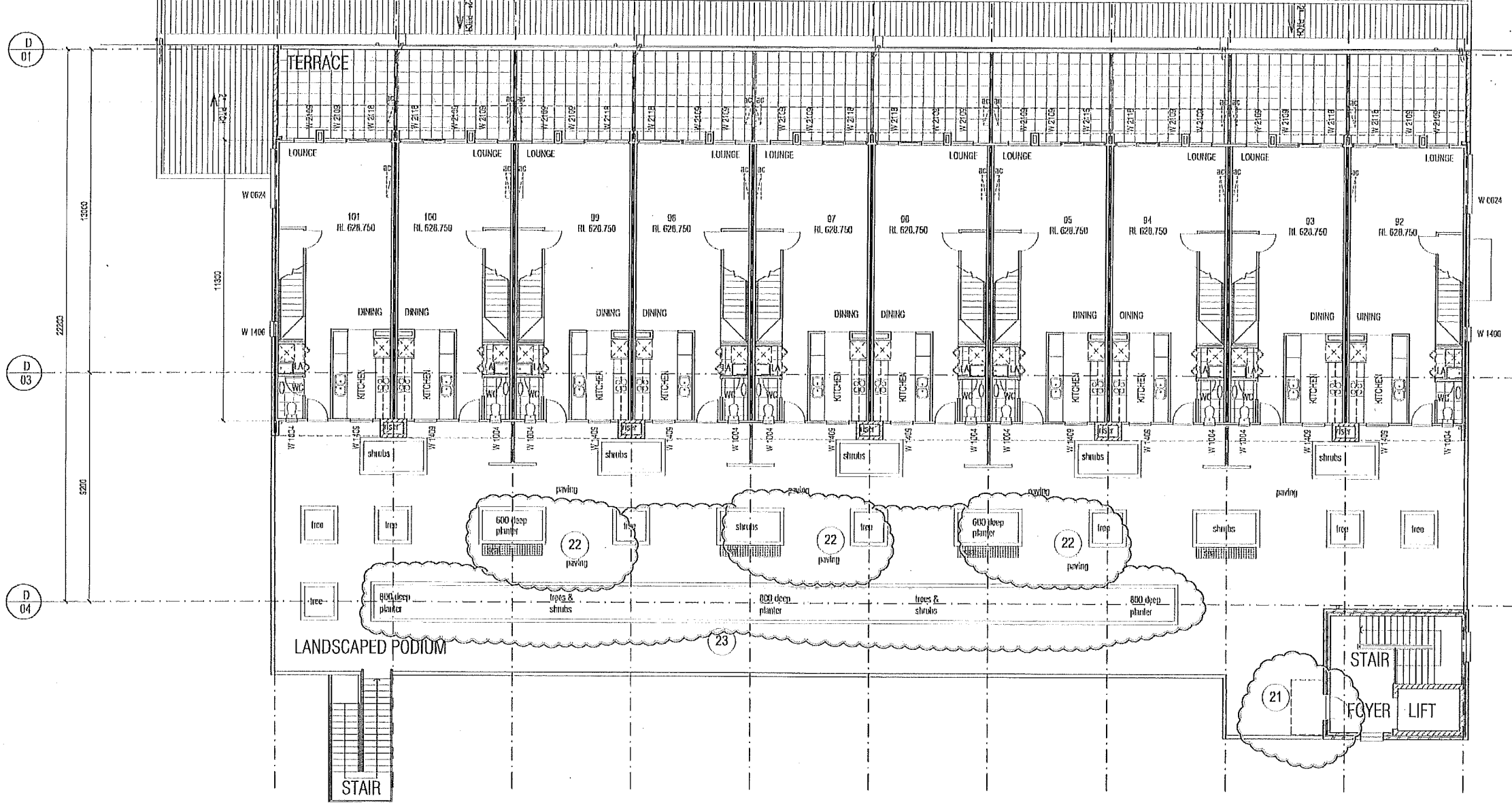
PROJECT NO: 332-DH DA-D-01

REV: 5



LAND (PLANNING AND ENVIRONMENT) ACT 1991
APPROVAL AMENDED
 PURSUANT TO SECTION 247
 IN RESPECT OF THE NOTATED
 AMENDMENTS ONLY
 Delegate name THARA BORAIAH
 Date 12/5/2006

STREET AWNING BELOW



INSULATION REQUIREMENTS
 Units 92, 93, 94, 95, 96, 97, 98, 99, 100, 101
 Walls - c/w walls to R 1.5
 Ceiling - to R 4.0 and s/skillion
 Sealed type exhaust fans
 Gaps and cracks to be sealed

NOTES
 Dimensions to structural faces
 All unit doors to be morticed with a security viewing lens
 Toilet doors to comply with FZ 5 of the BCA
 Wall areas water proofed to AS 3740
 Mechanically Ventilate sanitary areas to AS 1669
 External Glazing to comply with AS 2047
 Fire alarms / detectors to comply with AS 2220 Emergency
 Warning and Intercommunication Systems in Buildings
 Portable fire extinguishers and Fire Blankets as per AS 2444
 Emergency lighting throughout as per AS 2203.1
 Exit Signs and Exit Direction signs as per 2203.1
 Floor finishes to comply with AS 3961 and AS 4560
 Clothes dryers to be installed in all units
 Dual flush toilets and water saving shower rose to all units

D1 BLOCK D LEVEL 1 / PODIUM PLAN

REV	DATE	AMENDMENTS	CHK
2	28.11.03	DA RE ISSUE	
3	22.07.04	AG DRINKS & CI OFF'S DRAWING NOTE as per Notice of Decision	
4	03.06.05	LANDSCAPE PODIUM REVISED	
4.1		LIFT & STAIR FOYER REVISED	
4.2		LIFT AND STAIR ROOF REVISED	
4.3		EXHAUST & ELECTRICAL RISERS ADDED	
4.4		STAIR PROVIDED	
4.5			
5	28.07.05	BALCONY WALL RELOCATED 300mm AWAY FROM BOUNDARY - GFA REDUCED	
5.1			
6	22.02.06	21, CORNER AWNING IS LOCATED 22, PODIUMS PAVING IS PLACED WITH CONCRETE PAVING 23 PLANTER BOX REVISED	

REV	DATE	AMENDMENTS	CHK

RESTIGE BUILDING SERVICES
 PTY LTD
 ACT LIC 6345 ACN 082 078 153
 NSW LIC 94191C
 PO BOX 300 Fyshwick ACT 2609
 8/145 GLADSTONE ST. Fyshwick
 Ph: (02) 9220 1222 Fax: (02) 9220 1216

SELLICK CONSULTANTS
 ARCHITECTS
 1/115-117 LINDSAY ST SYDNEY NSW 2000
 Ph: (02) 9220 1222 Fax: (02) 9220 1216

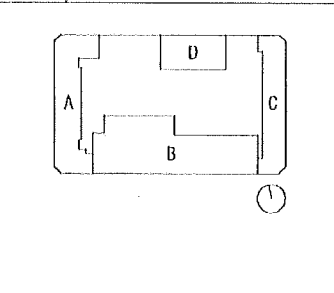
ACKOSTING LOGIC
 ARCHITECTS
 1/115-117 LINDSAY ST SYDNEY NSW 2000
 Ph: (02) 9220 1222 Fax: (02) 9220 1216

ERIC MARTIN AND ASSOCIATES
 ARCHITECTS
 1/115-117 LINDSAY ST SYDNEY NSW 2000
 Ph: (02) 9220 1222 Fax: (02) 9220 1216

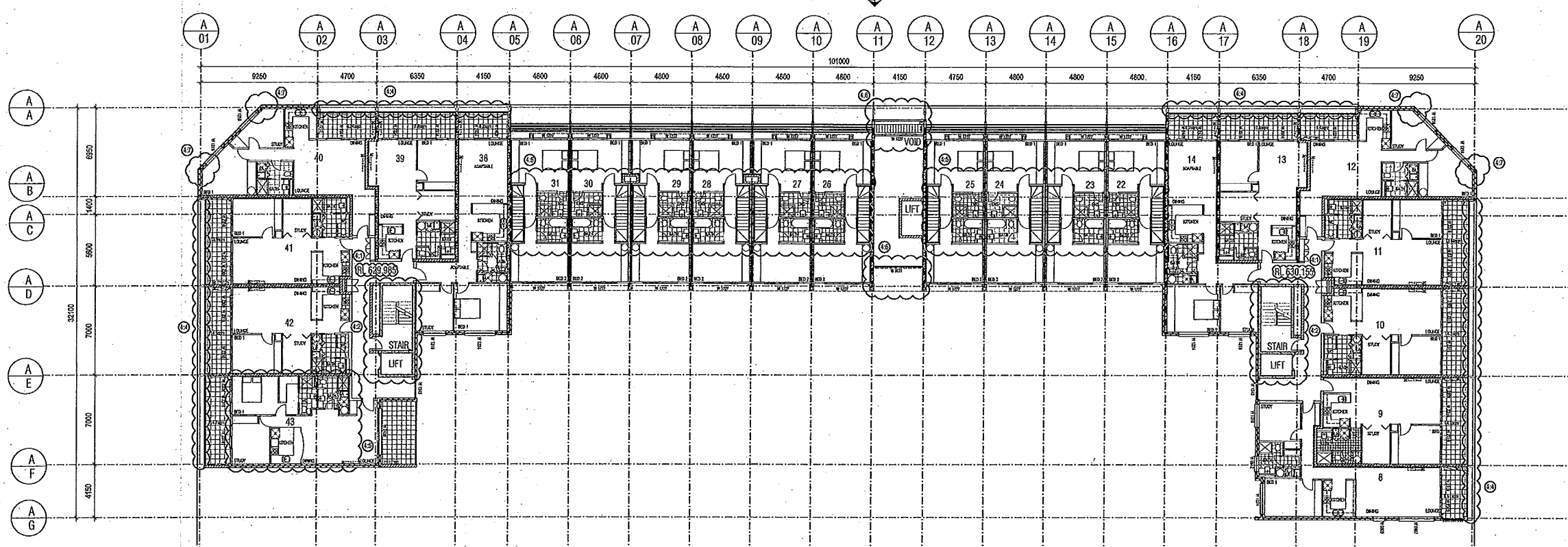
BLIGH VOLLER FIELD
 ARCHITECTS
 1/115-117 LINDSAY ST SYDNEY NSW 2000
 Ph: (02) 9220 1222 Fax: (02) 9220 1216

deziqnteam
 ARCHITECTURAL VISUALISATION
 PO BOX 5020, MARRICKVILLE NSW 2122
 Ph: (02) 9220 1222 Fax: (02) 9220 1216

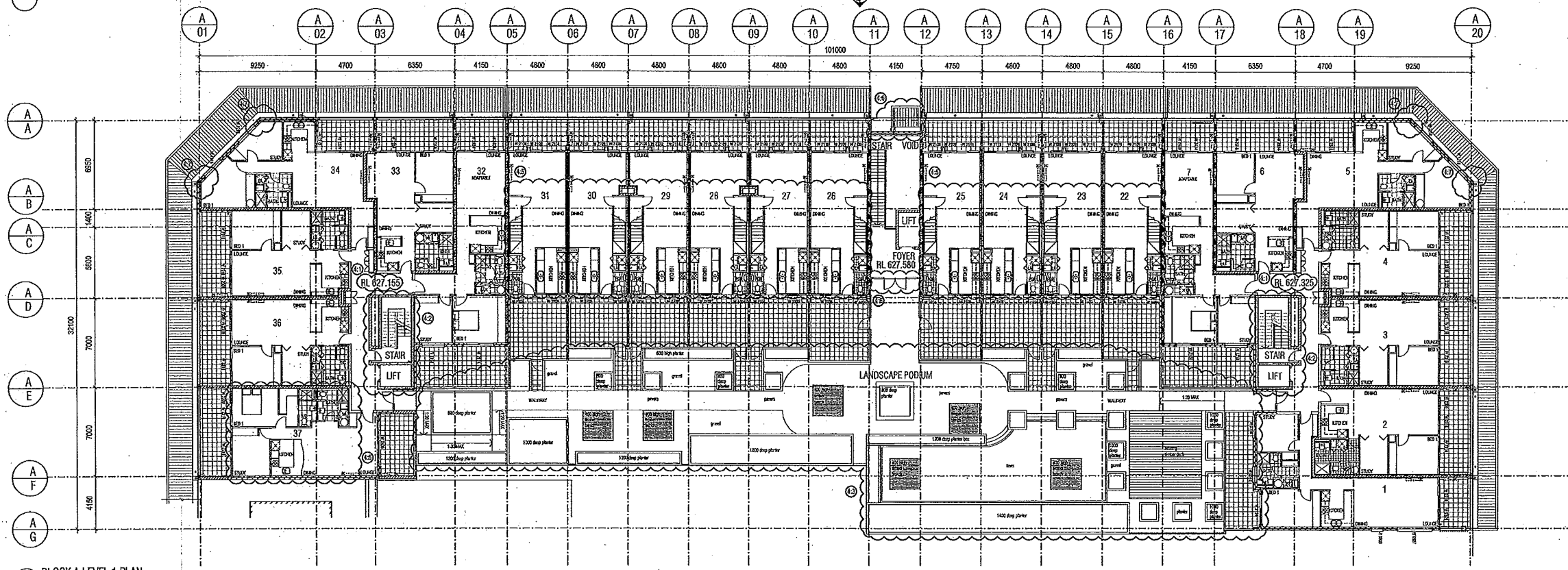
HUGHES TRUMAN
 CONSULTANTS
 1/115-117 LINDSAY ST SYDNEY NSW 2000
 Ph: (02) 9220 1222 Fax: (02) 9220 1216



GUNGAHLIN SQUARE - S10 GUNGAHLIN
 SECTION 10 GUNGAHLIN PTY LTD
 BLOCK D LEVEL 1 PLAN
 SCALE 1:200 @ A1
 DATE JULY 2005
 DRAWN BY 332-GUN
 CHECKED BY DA-D-D02
 SHEET 6



02 BLOCK A LEVEL 2 PLAN



01 BLOCK A LEVEL 1 PLAN

INSULATION REQUIREMENTS

Unit 1
 Floor - unshored floor areas to R 1.0
 Walls - clad walls to R 2.0
 BV walls to R 2.0
 Sealed type exhaust fans
 Gaps and cracks to be sealed

Units 2, 3, 4, 5, 6, 9, 10, 11, 12, 13, 33, 34, 35, 36, 39, 40, 41, 42
 Walls - clad walls to R 1.5
 Sealed type exhaust fans
 Gaps and cracks to be sealed

Units 7, 32, 38
 Floor - unshored floor areas to R .8
 Walls - clad walls to R 1.5
 Brick veneer walls to R 1.5
 Sealed type exhaust fans
 Gaps and cracks to be sealed

Units 8, 14, 43
 Walls - clad walls to R 1.5
 Brick veneer walls to R 1.5
 Sealed type exhaust fans
 Gaps and cracks to be sealed

Units 22, 23, 24, 25, 26, 27, 28, 29, 30, 31
 Walls - clad walls to R 1.5
 Ceiling - to R 4.0 and ceiling
 Sealed type exhaust fans
 Gaps and cracks to be sealed

NOTES

Dimensions to structural faces
 All unit doors to be mounted with a security viewing lens
 Toilet doors to comply with F2.5 of the BCA
 Wet areas water proofed to AS 3740
 Mechanically Ventilate sanitary area to AS 1688
 External Glazing to comply with AS 2047
 Fire alarms / detectors to comply with AS 2220 Emergency Warning and Intercommunication Systems in Buildings
 Portable fire extinguishers and Fire Blankets as per AS 2444
 Emergency lighting throughout as per AS 2293.1
 Exit Signs and Exit Direction signs as per 2293.1
 Floor finishes to comply with AS 3681 and AS 4586
 Clothes dryers to be installed in all units
 Dual flush toilets and water saving shower rose to all units

LAND (PLANNING AND ENVIRONMENT) ACT 1991
APPROVAL AMENDED
 PURSUANT TO SECTION 247
 IN RESPECT OF THE NOMINATED
 AMENDMENTS ONLY

Delegate name: RAVI SINGH
 Date: 16/8/2005

Works Outside the Lease Boundary
 not included in this Approval

REV	DATE	AMENDMENTS
1	07.11.03	DA ISSUE
2	02/20/03	DA ISSUE 2
3	22.07.04	AC UNITS & CLOTHES DRYER NOTE as per Notice of Decision
4	03.05.05	FLOOR LEVELS REVISED
4.1		LIFT & STAIR ARRANGEMENT REVISED
4.2		LANDSCAPE PODIUM REVISED
4.3		BALLUSTRADE SETBACK FROM BOUNDARY REVISED
4.4		UNIT INTERNAL WALL SETOUT REVISED
4.5		FOYER WALL SETBACK REVISED
4.6		BRICK FINIS DELETED

CHK	REV DATE	AMENDMENTS	CHK

RESTIGE BUILDING SERVICES PTY LTD ACN 082 878 153
 ACT LIC 6345 NSW LIC 94191C
 PO BOX 309 Fyshwick ACT 2609
 87145 GLADSTONE ST. Fyshwick
 PH: 6280 8222 FAX: 6280 8215

STRUCTURAL, CIVIL & WASTE ENGINEERS
 SUITE 15/18 1/6 HENNESSY ST BRADSHAW ACT 2612
 PH: 02 6287 2106 FAX: 02 6287 2003

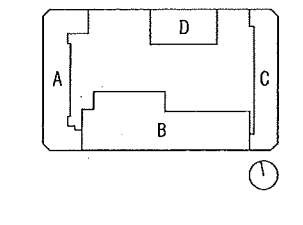
SELICK CONSULTANTS
 ACUSTIC ENGINEER
 SUITE 3, 5-9 GUNN PLACE ROSEBERY NSW 2018
 PH: 02 9260 6366 FAX: 02 9260 6413

ACCESSIBILITY CONSULTANT
 ERIC MARTIN AND ASSOCIATES
 SUITE 10 88 ARADINE ST WENTWORTH ACT 2048
 PH: 02 9260 6366 FAX: 02 9260 6413

BLIGH VOLLER FIELD
 BRISBANE DISTRICT COUNCIL MELBOURNE
 BLIGH VOLLER FIELD PTY LTD ACN 091241230
 1/11, 1/12 & 1/13 BULLING LANE LONDON CIRCUS
 CAMDEN ACT 2601 AUSTRALIA
 GPO BOX 98 11 CAMDEN ACT 2601 AUSTRALIA
 TELEPHONE 02 6281 8888 FACSIMILE 02 6281 4958
 www.blighvollerfield.com.au

deziqnteam
 ARCHITECTURAL PROJECTS
 PO Box 3368 Wankarem ACT 2903
 PH: 02 62907444
 fax: 02 62907244
 ABN 53 065 578 061
 email: info@deziqnteam.com.au

HUGHES TRUMAN
 CONSTRUCTION DOCUMENTS
 PO BOX 6130 WESTON ACT 2615
 PH: (02) 6288 6130



PROJECT: GUNGAHLIN SQUARE - S10 GUNGAHLIN

CLIENT: SECTION 10 GUNGAHLIN PTY LTD

DRAWING TITLE: BLOCK A - LEVEL 1 & 2 PLAN

SCALE: 1:200 @ A1

DATE: JUN 2005

PROJECT NO: 332-GUN

DATE: JUN 2005

REVISED: DA-A-002

NO. OF SHEETS: 4

LAND (PLANNING AND ENVIRONMENT) ACT 1991
APPROVAL AMENDED
 PURSUANT TO SECTION 247
 IN RESPECT OF THE NOMINATED
 AMENDMENTS ONLY
 Delegate name: RAVI SINGH
 Date: 16/8/2005

Works Outside the Lease Boundary
 not included in this Approval

INSULATION REQUIREMENTS

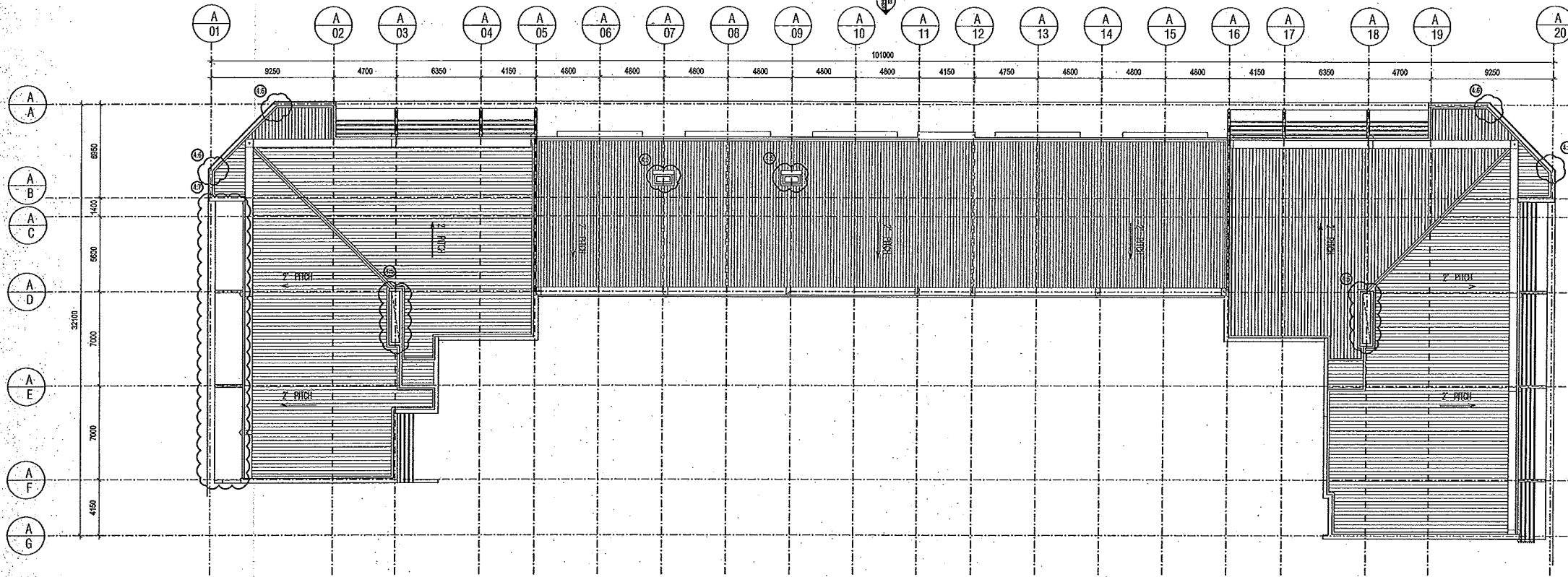
Units 15, 21, 44
 Walls - clad walls to R 1.5
 Brick veneer walls to R 1.5
 Ceiling - to R 4.0 and insulation
 Sealed type exhaust fans
 Gaps and cracks to be sealed

Units 16, 17, 19, 20, 45, 46, 47, 48,
 Walls - clad walls to R 1.5
 Ceiling - to R 4.0 and insulation
 Sealed type exhaust fans
 Gaps and cracks to be sealed

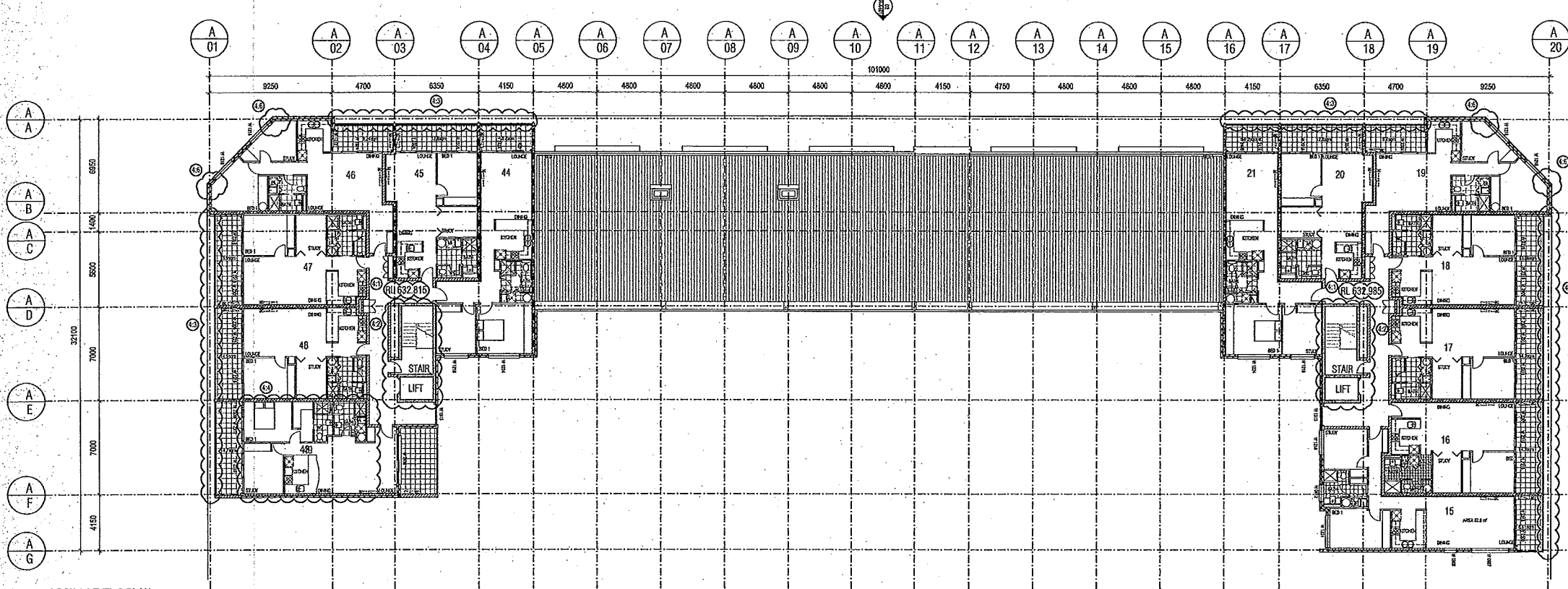
Unit 49
 Walls - clad walls to R 2.0
 Brick veneer walls to R 2.0
 Ceiling - to R 4.5 and insulation
 Sealed type exhaust fans
 Gaps and cracks to be sealed

NOTES

- Dimensions to structural faces
- All unit doors to be mounted with a security viewing lens
- Toilet doors to comply with F2.5 of the BCA
- Wet areas water proofed to AS 3740
- Mechanically Ventilate sanitary area to AS 1668
- External Glazing to comply with AS 2047
- Fire alarms / detectors to comply with AS 2220 Emergency Warning and Intercommunication Systems in Buildings
- Portable fire extinguishers and Fire Blankets as per AS 2444
- Emergency lighting throughout as per AS 2293.1
- Exit Signs and Exit Direction signs as per 2293.1
- Floor finishes to comply with AS 3661 and AS 4566
- Clothes dryers to be installed in all units
- Dual flush toilets and water saving shower rose to all units



02 BLOCK A ROOF LEVEL PLAN



01 BLOCK A LEVEL 3 PLAN

REV	DATE	AMENDMENTS
1	07.11.03	DA ISSUE
2	02.02.04	DA ISSUE 2
3	22.07.04	AC UNITS & CLOTHES DRYER NOTE as per Notice of Decision
4	03.05.05	FLOOR LEVELS REVISED
4.1		LIFT & STAIR ARRANGEMENT REVISED
4.2		BALUSTRADE SETBACK FROM BOUNDARY REVISED
4.3		UNIT INTERNAL WALL SETOUT REVISED
4.4		KITCHEN / TOILET EXHAUST RISERS ADDED
4.5		BRICK FINIS DELETED
4.6		PERGOLA REMOVED
4.7		

CHK REV DATE AMENDMENTS

CHK

RESTIGE BUILDING SERVICES PTY LTD ACN 062 878 153
 ACT LIC 6345 NSW LIC 94191C
 PO BOX 309 Fyshwick ACT 2609
 8145 GLADSTONE ST. Fyshwick NSW
 PH: 6280 8222 FAX: 6280 8215

STRUCTURAL, CIVIL & WASTE ENGINEERS
 SUITE 15/16 14 LINDSAY ST BRADSHAW ACT 2612
 PH: 6287 2306 FAX: 6287 2303

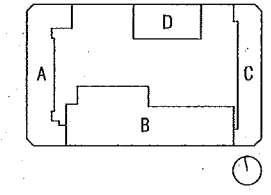
SELICK CONSULTANTS
 ACUSTIC ENGINEER
 SUITE 3, 64 OWING PLACE ROSEBERY NSW 2018
 PH: 6280 5336 FAX: 6280 5413

ACCESSIBILITY CONSULTANT
 ERIC MARTIN AND ASSOCIATES
 SUITE 19 68 JARVIS ST KINGSFORD ACT 2604
 PH: 6280 5336 FAX: 6280 5413

BLIGH VOLLER NIELD
 DESIGN ARCHITECT
 1/100 WINDY BEND RD 151 LINDHOLM CIRCUIT
 GUNGAHLIN ACT 2905
 GPO BOX 1813 GUNGAHLIN ACT 2901 AUSTRALIA
 TEL: 6281 6200 FAX: 6281 6204
 www.blighvoller.com.au

CONSTRUCTION DOCUMENTATION
dezignteam
 ARCHITECTURAL PRODUCTIVITY
 PO Box 3005, Murrumbidgee ACT 2803
 PH: 02 62877444 FAX: 02 62877444
 PH: 02 62877444
 ABN 33 065 578 051
 email: wwwick@dezignteam.com.au

EXAFR ENGINEER
HUGHES TRUMAN
 COOLAHAN OFFICES 87/871 STREET WESTON
 PH: 6281 6130



PROJECT
GUNGAHLIN SQUARE - S10 GUNGAHLIN

CLIENT
SECTION 10 GUNGAHLIN PTY LTD

PROJECT TITLE
BLOCK A - LEVELS 3 & 800F

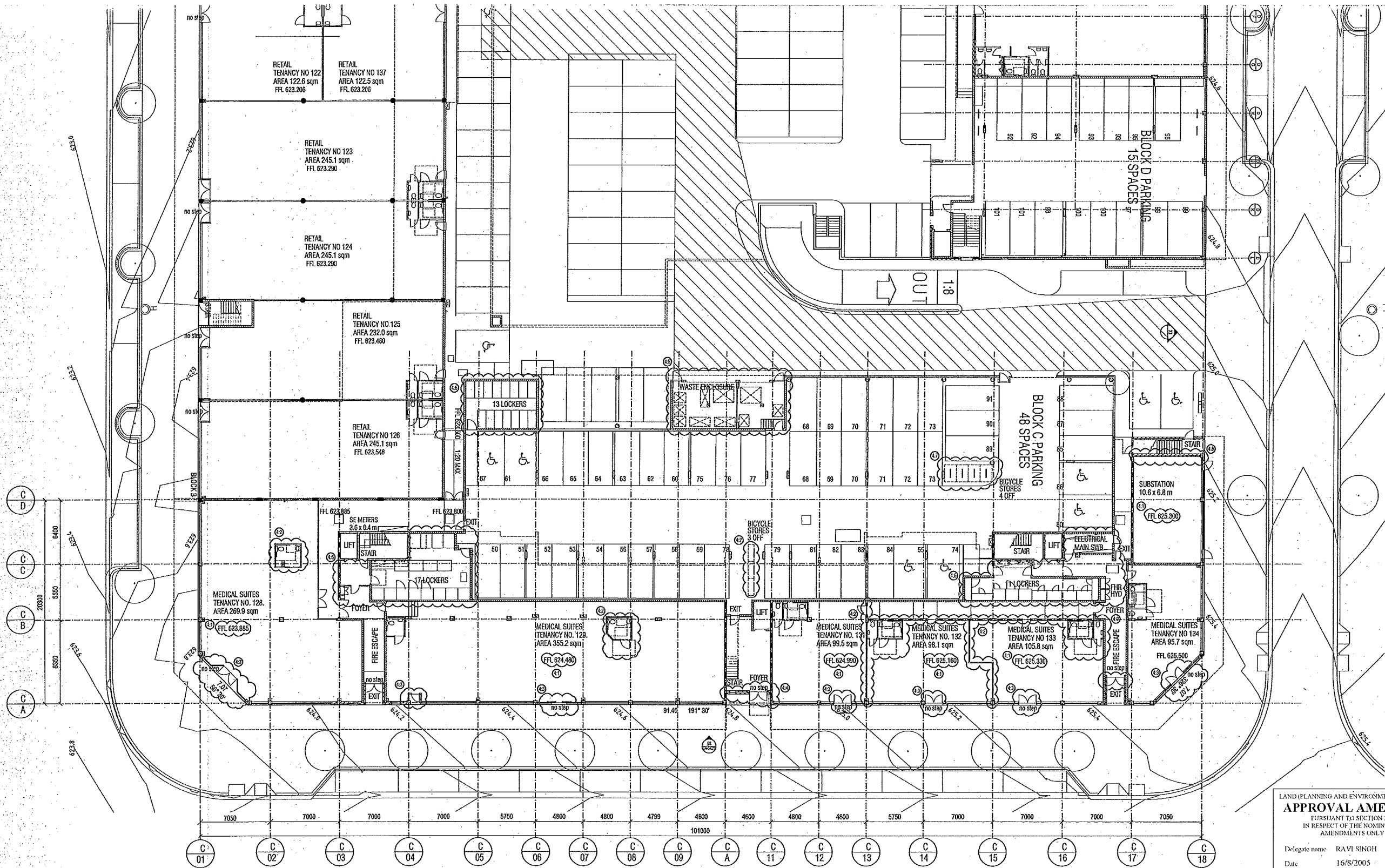
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1:200 @ A1

DATE
JUN 2005

PROJECT NO
332-GUN

DWG NO
DA-A-D03

SHEET NO
4



EAST STREET

LAND (PLANNING AND ENVIRONMENT) ACT 1991
APPROVAL AMENDED
 PURSUANT TO SECTION 247
 IN RESPECT OF THE NOMINATED
 AMENDMENTS ONLY
 Delegate name: RAVI SINGH
 Date: 16/8/2005

Works Outside the Lease Boundary
 not included in this Approval

01 BLOCK C GROUND LEVEL PLAN

REV	DATE	AMENDMENTS	CHK	REV	DATE	AMENDMENTS	CHK
2	13.11.03	DA ISSUE 2 car parking numbers added					
3	22.07.04	FLOOR LEVELS ALTERED TO SUIT REVISED FOOTPATH LEVELS as per Notice of Decision					
4	03.06.05	FLOOR LEVELS REVISED TENANCY SETOUT REVISED FOYER WALL SETBACK REVISED WASTE ENCLOSURE REVISED LOCKER SETOUT REVISED BICYCLE STORES SETOUT REVISED SUBSTATION WALL EXTENDED					

RESTIGE BUILDING SERVICES PTY LTD ACN 082 878 153
 ACT LIC 6345 NSW LIC 94191C
 PO BOX 309 Fyshwick ACT 2500
 8/145 GLADSTONE ST. FISHWICK
 PH: 6280 8222 FAX: 6280 8215

STRUCTURAL CIVIL & WASTE ENGINEERS
 SELLICK CONSULTANTS
 ACUSTIC ENGINEER
 ACUSTIC LOGIC
 ACCESSORY CONSULTANT
 AND ASSOCIATES

SITE 15/16 14 MARGRAVE ST BRADSHAW ACT 2012
 PH (02) 8297 2966 FAX (02) 8247 2203

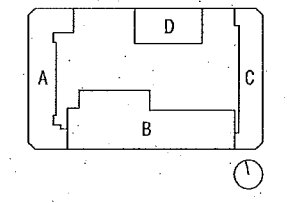
SITE 3 & 6-8 CROWE PLACE ROSEBERY NSW 2048
 PH 0418 413 233

SITE 10-14 JARDINE ST KINGSTON ACT 2604
 PH 02 6364 4355 FAX (02) 6340 8412

BLIGH VOLLER NIELD
 BISHOP CHAMBERLAIN ARCHITECTURE
 BISHOP CHAMBERLAIN ARCHITECTURE
 1/11 PRINCE ROAD, SYDNEY NSW 2008
 (02) 9231 4444
 1/11 PRINCE ROAD, SYDNEY NSW 2008
 (02) 9231 4444
 1/11 PRINCE ROAD, SYDNEY NSW 2008
 (02) 9231 4444

CONSTRUCTION DOCUMENTATION
dezignteam
 ARCHITECTURAL PROJECTS
 PO Box 3700, Macquarie ACT 2903
 PH 02 62007444
 FAX 02 62007441
 ABN 53 055 574 061
 email: info@dezignteam.com.au

TRAFFIC ENGINEER
 HUGHES TRUMAN
 COODAN OFFICES 8/251 STREET WESTON
 PH (02) 6248 6130



PROJECT
GUNGAHLIN SQUARE - S10 GUNGAHLIN

CLIENT
 SECTION 10 GUNGAHLIN PTY LTD

DRAWING TITLE
BLOCK C - GROUND LEVEL PLAN

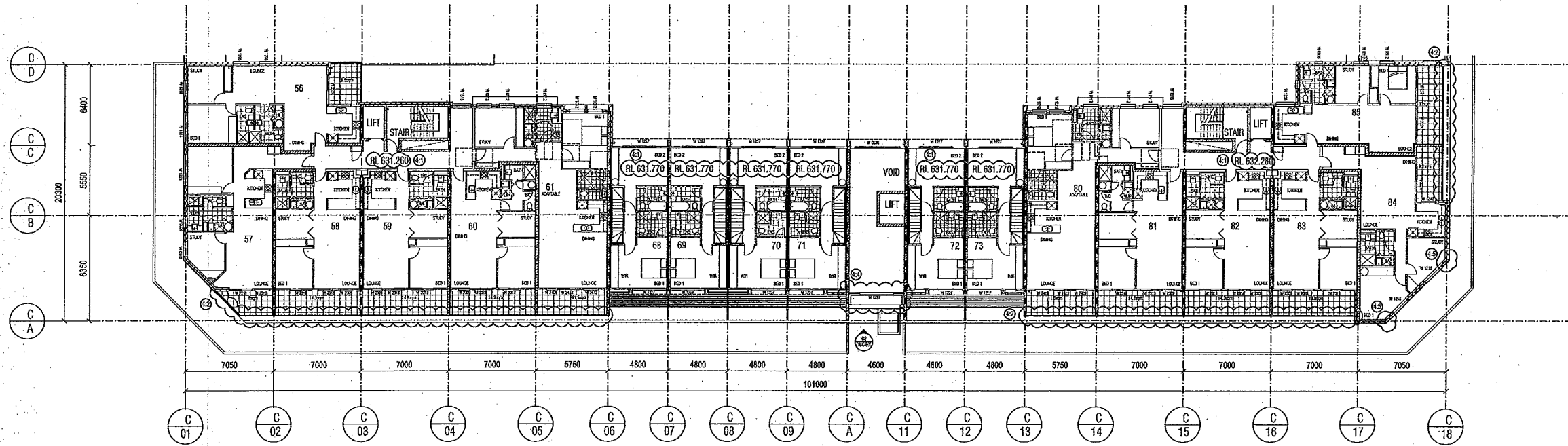
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DATE
 JUN 2005

PROJECT NO
 332-GUN

DWG NO
 DA-C-001

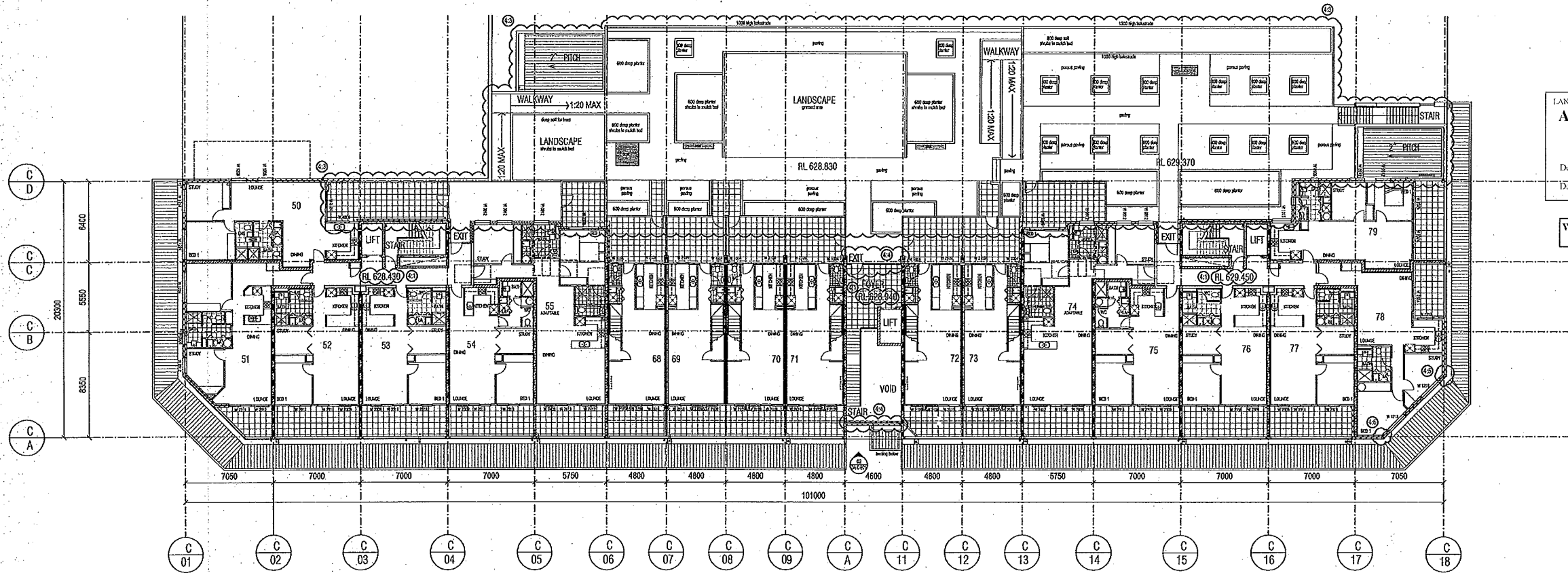
ISSUE
 4



02 BLOCK C LEVEL 2 PLAN

- INSULATION REQUIREMENTS**
- Units 50, 51, 52, 53, 57, 58, 59, 60, 75, 78, 80, 81, 82, 83, 84, 85
Walls - clad walls to R 1.5
Sealed type exhaust fans
Gaps and cracks to be sealed
 - Units 56, 61
Walls - clad walls to R 1.5
Brick veneer walls to R 1.5
Sealed type exhaust fans
Gaps and cracks to be sealed
 - Units 68, 69, 70, 71, 72, 73
Walls - clad walls to R 1.5
Ceiling - to R 4.0 and siltation
Sealed type exhaust fans
Gaps and cracks to be sealed
 - Units 65
Walls - clad walls to R 1.5
Brick veneer walls to R 1.5
 - Floors - unshared to R .8
Sealed type exhaust fans
Gaps and cracks to be sealed
 - Units 54, 76, 77, 79
Floor - unshared floor areas to R .8
Walls - clad walls to R 1.5
Sealed type exhaust fans
Gaps and cracks to be sealed

- NOTES**
- Dimensions to structural faces
 - All unit doors to be mounted with a security viewing lens
 - Toilet doors to comply with F2.5 of the BCA
 - Wet areas water proofed to AS 3740
 - Mechanically Ventilate sanitary area to AS 1688
 - External Glazing to comply with AS 2287
 - Fire alarms / detectors to comply with AS 2220 Emergency Warning and Intercommunication Systems In Buildings
 - Portable fire extinguishers and Fire Blankets as per AS 2444
 - Emergency lighting throughout as per AS 2293.1
 - Exit Signs and Exit Direction signs as per 2293.1
 - Floor finishes to comply with AS 3881 and AS 4588
 - Clothes dryers to be installed in all units
 - Dual flush toilets and water saving shower rose to all units



01 BLOCK C LEVEL 1 PLAN

LAND (PLANNING AND ENVIRONMENT) ACT 1991
APPROVAL AMENDED
PURSUANT TO SECTION 247
IN RESPECT OF THE NOMINATED
AMENDMENTS ONLY
Delegate name RAVI SINGH
Date 16/8/2005

Works Outside the Lease Boundary
not included in this Approval

REV	DATE	AMENDMENTS	CHK
1	07.11.03	DA ISSUE	
2	02.02.04	DA ISSUE 2	
3	22.07.04	AC UNITS & CLOTHES DRYER NOTE as per Notice of Decision	
4	03.08.05	FLOOR LEVELS REISED BALUSTRADE SETBACK FROM BOUNDARY REVISED LANDSCAPE PODIUM REVISED FOYER WALL SETBACK REVISED BRICK FINIS REMOVED	

REV	DATE	AMENDMENTS	CHK

RESTIGE BUILDING SERVICES PTY LTD ACN 082 878 153
ACT LIC 6345 NSW LIC 94191C
PO BOX 309 Fyshwick ACT 2609
8145 GLADSTONE ST. Fyshwick PH: 6280 8222 FAX: 6280 8215

SELICK CONSULTANTS SUITE 15/16 14 LINDSAY ST BRADROCK ACT 2612
PH: 02 6257 7700 FAX: 02 6247 2203

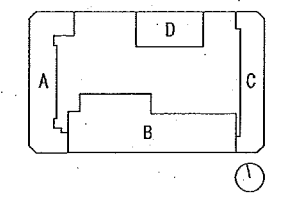
ACOUSTIC LOGIC SUITE 3, 6-8 CRENSHAW PLACE ROSEBURY NSW 2018
PH: 02 9618 4133

ACCESSIBILITY CONSULTANT SUITE 10 68 JARDINE ST KINGSTON ACT 2604
PH: 02 620 2295 FAX: 02 620 6413

BLIGH VOLLER NIELD
BLIGH VOLLER NIELD PTY LTD ACN 110 778 070
LV 1 STONEY BUILDING 131 LINDOON CREEK
CANBERRA ACT 2611 AUSTRALIA
TELEPHONE 02 628 8988 FACSIMILE 02 628 4558
www.bvnl.com.au

dezynteam ARCHITECTURAL PROJECTS
PO Box 3050, Marukta ACT 2603
PH: 02 62627494 Fax: 02 62607044
SUITE 10 68 JARDINE ST KINGSTON ACT 2604
PH: 02 620 2295 FAX: 02 620 6413

HUGHES TRUMAN
COOLMAN OFFICES BRIDGES STREET WESTERN
PH: 02 6284 6130



GUNGALIN SQUARE - S10 GUNGALIN
OWNER SECTION 10 GUNGALIN PTY LTD

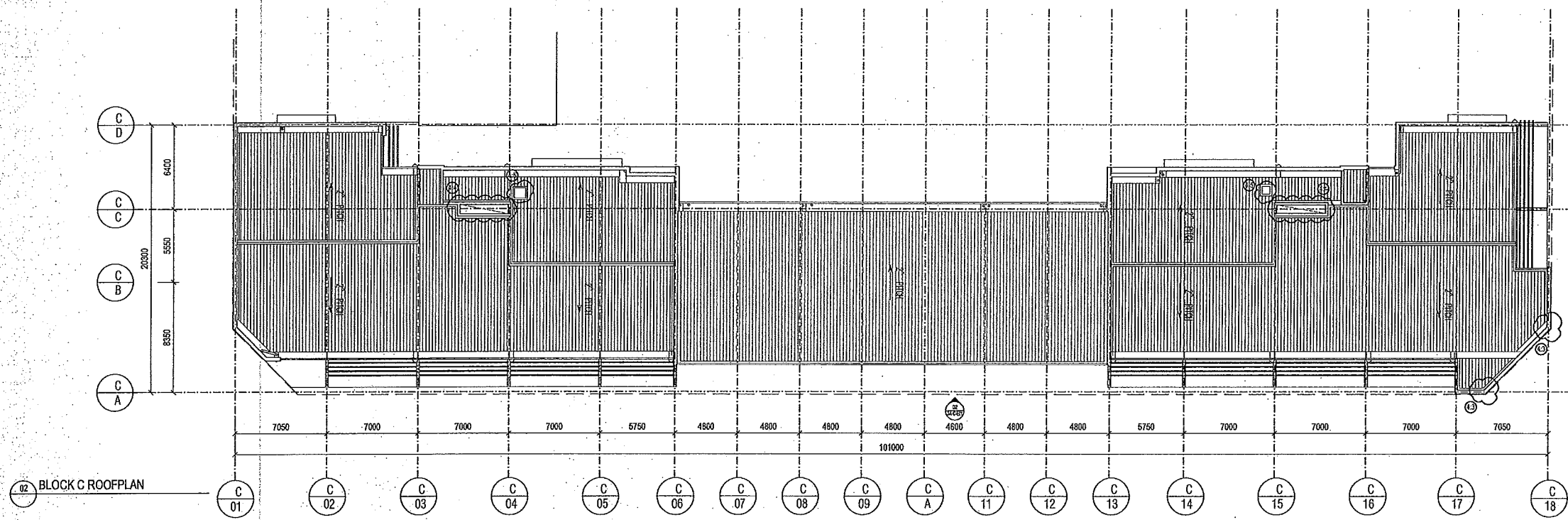
DRAWING TITLE: **BLOCK C - LEVELS 1&2**

SCALE: 1:200 @ A1

DATE: JUN 2005

PROJECT NO: 332-GUN

ISSUE: 4



02 BLOCK C ROOFPLAN

INSULATION REQUIREMENTS

Units 63, 64, 65, 66, 68, 87, 89, 90
 Walls - clad walls to R 1.5
 Ceiling - to R 4.0 and siltation
 Sealed type exhaust fans
 Gaps and cracks to be sealed

Unit 62
 Walls - clad walls to R 2.0
 Brick veneer walls to R 2.0
 Sealed type exhaust fans
 Gaps and cracks to be sealed

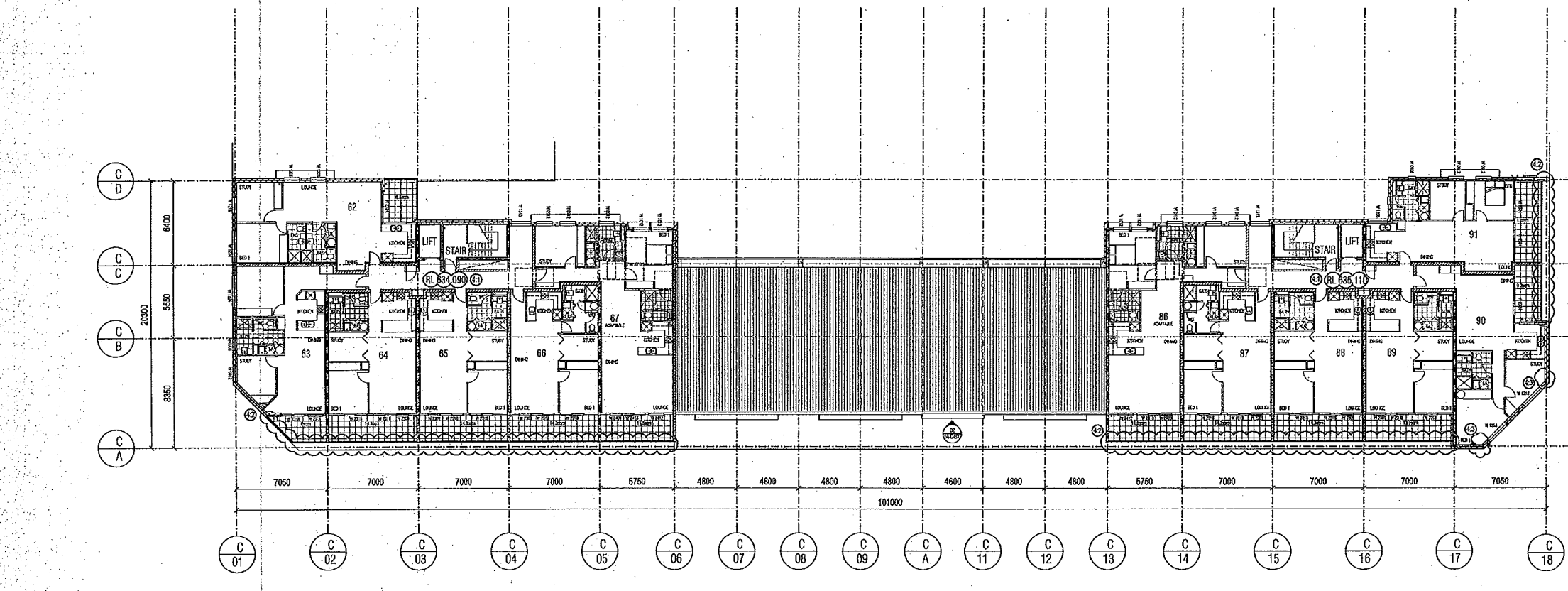
Units 67, 86
 Walls - clad walls to R 1.5
 Brick veneer walls to R 1.5
 Ceiling - to R 4.0 and siltation
 Sealed type exhaust fans
 Gaps and cracks to be sealed

Unit 91
 Walls - clad walls to R 2.0
 Ceiling - to R 4.5 and siltation
 Sealed type exhaust fans
 Gaps and cracks to be sealed

LAND (PLANNING AND ENVIRONMENT) ACT 1991
APPROVAL AMENDED
 PURSUANT TO SECTION 247
 IN RESPECT OF THE NOMINATED
 AMENDMENTS ONLY

Delegate name: RAVI SINGH
 Date: 16/8/2005

Works Outside the Lease Boundary
 not included in this Approval



01 BLOCK C LEVEL 3 PLAN

NOTES

Dimensions to structural faces
 All unit doors to be mounted with a security viewing lens
 Toilet doors to comply with F2.5 of the BCA
 Wet areas water proofed to AS 3740
 Mechanically Ventilate sanitary areas to AS 1668
 External Glazing to comply with AS 2047
 Fire alarms / detectors to comply with AS 2220 Emergency Warning and Intercommunication Systems in Buildings
 Portable fire extinguishers and Fire Blankets as per AS 2444
 Emergency lighting throughout as per AS 2293.1
 Exit Signs and Exit Direction signs as per 2293.1
 Floor finishes to comply with AS 3681 and AS 4586
 Clothes dryers to be installed in all units
 Dual flush toilets and water saving shower rose to all units

REV	DATE	AMENDMENTS	CHK	REV	DATE	AMENDMENTS	CHK
1	07.11.03	DA ISSUE					
2	02.02.04	DA-ISSUE 2					
3	22.07.04	AC UNITS & CLOTHES DRYER NOTE as per Notice of Decision					
4	03.06.05	FLOOR LEVELS REVISED BALUSTRADE SETBACK FROM BOUNDARY REVISED BRICK FINIS REMOVED KITCHEN & TOILET EXHAUST RISERS ADDED ACCESS HATCHES ADDED					

RESTIGE BUILDING SERVICES PTY LTD ACN 082 878 153
 ACT LIC 6345 NSW LIC 94191C
 PO BOX 309 Fyshwick ACT 2609
 8/145 GLADSTONE ST. Fyshwick
 PH: 6280 8222 FAX: 6280 8215

STRUCTURAL CIVIL & WASTE ENGINEERS
SELLICK CONSULTANTS
 ACUSTIC ENGINEER
ACOUSTIC LOGIC
 ACCESSIBILITY CONSULTANT
ERIC MARTINI AND ASSOCIATES

SITE 15/16 14 LINDSAY ST BRADSON ACT 2912
 PH (02) 6357 2306 FAX (02) 6347 2923

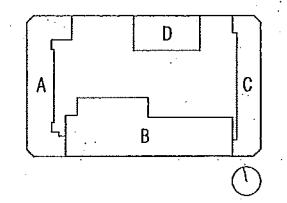
SITE 3, 6-9 CRUICK PLACE ROSEBURY NSW 2018
 PH (04) 813 223

SITE 10/68 BALANCE ST KINGSTON ACT 2604
 PH (02) 6360 6355 FAX (02) 6360 6413

DESIGN ARCHITECT
BLIGH VOLLER NIELD
 1/111 STREET BALDWIN ST BRADSON ACT 2912
 CANBERRA ACT 2611 AUSTRALIA
 PHONE (02) 6287 7444 FAX (02) 6287 7444
 www.bvnl.com.au

CONSTRUCTION DOCUMENTATION
dezignteam
 ARCHITECTURAL PROJECTS
 PO Box 3063, Manuka ACT 2603
 PH (02) 6260 7444
 Fax 02 6260 7444
 ALEN 83 065 978 051
 email: www.dezignteam.com.au

TRAFFIC ENGINEER
HUGHES TRUMAN
 COOLMANN OFFICES 64/67 STREET WESTON
 PH (02) 6258 9133



GUNGAHLIN SQUARE - S10 GUNGAHLIN

CLIENT
SECTION 10 GUNGAHLIN PTY LTD

DRAWING TITLE
BLOCK C - LEVELS 3&ROOF

SCALE
 1:200 @ A1

DATE
 JUN 2005

PROJECT NO
 332-GUN

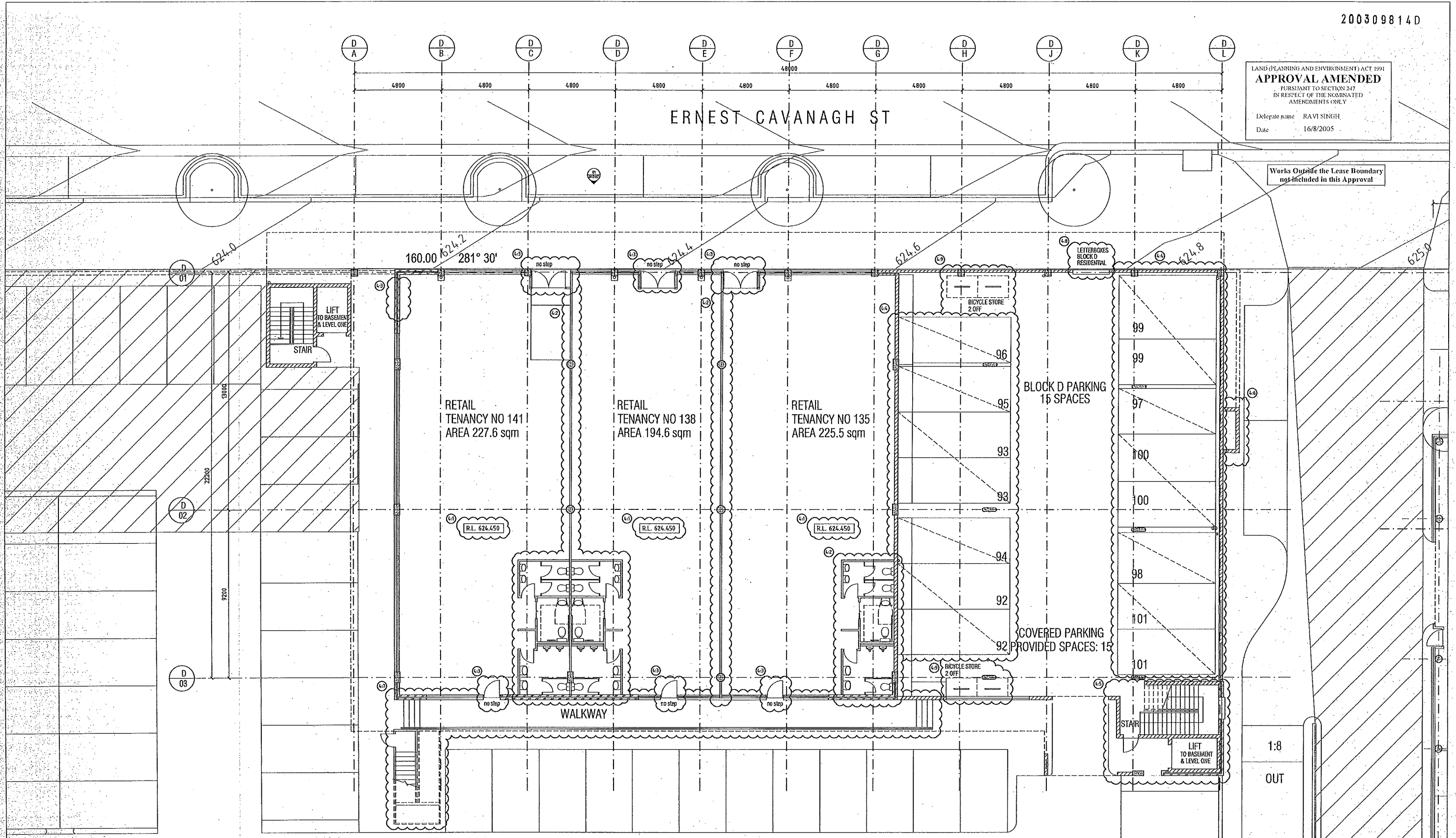
DATE
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DA-C-003

LAND (PLANNING AND ENVIRONMENT) ACT 1991
APPROVAL AMENDED
 PURSUANT TO SECTION 247
 IN RESPECT OF THE NOMINATED
 AMENDMENTS ONLY
 Delegate name: RAVI SINGH
 Date: 16/8/2005

ERNEST CAVANAGH ST

Works Outside the Lease Boundary
 not included in this Approval



01 BLOCK D GROUND LEVEL PLAN

REV	DATE	AMENDMENTS
2	13.11.03	DA ISSUE 2 car parking numbers added
3	20.07.04	Lifts added as per Notice of Decision FOOTPATH LEVELS as per Notice of Decision
4	03.06.05	FLOOR LEVEL REVISED TENANCY SETOUT REVISED TENANCY ACCESS REVISED CARPARK LAYOUT REVISED LIFT AND STAIR ARRANGEMENT REVISED AIR RISER ADDED WALKWAY & STAIR ADDED LETTERBOX LOCATION REVISED BICYCLE STORE LOCATION REVISED

CHK	REV DATE	AMENDMENTS

CHK

RESTIGE BUILDING SERVICES PTY LTD ACN 082 878 153
 ACT LIC 6345 NSW LIC 94191C
 PO BOX 309 SYDNEY NSW 1585
 8/145 CLADSTONE ST, SYDNEY NSW 1585
 PH: 6280 8222 FAX: 6280 8215

STRUCTURAL CIVIL & WASTE ENGINEERS
 SELLICK CONSULTANTS
 ACUSTIC ENGINEER
 ACOUSTIC LOGIC
 ACCESSIBILITY CONSULTANT
 ERIC MARTIN AND ASSOCIATES

SUITE 15/15 64 LONGHOLE ST BARDONIA ACT 2612
 PH: (08) 6297 2106
 FAX: (08) 6297 2263

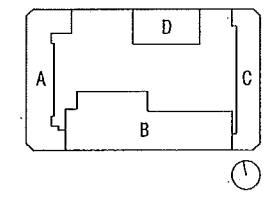
SUITE 5, 6 & 7 OSWINE PLACE ROSEBURY NSW 2198
 PH: 0418 413 233

SUITE 10 63 AVENUE ST PONSFORD ACT 2904
 PH: (02) 6300 6335
 FAX: (02) 6300 6413

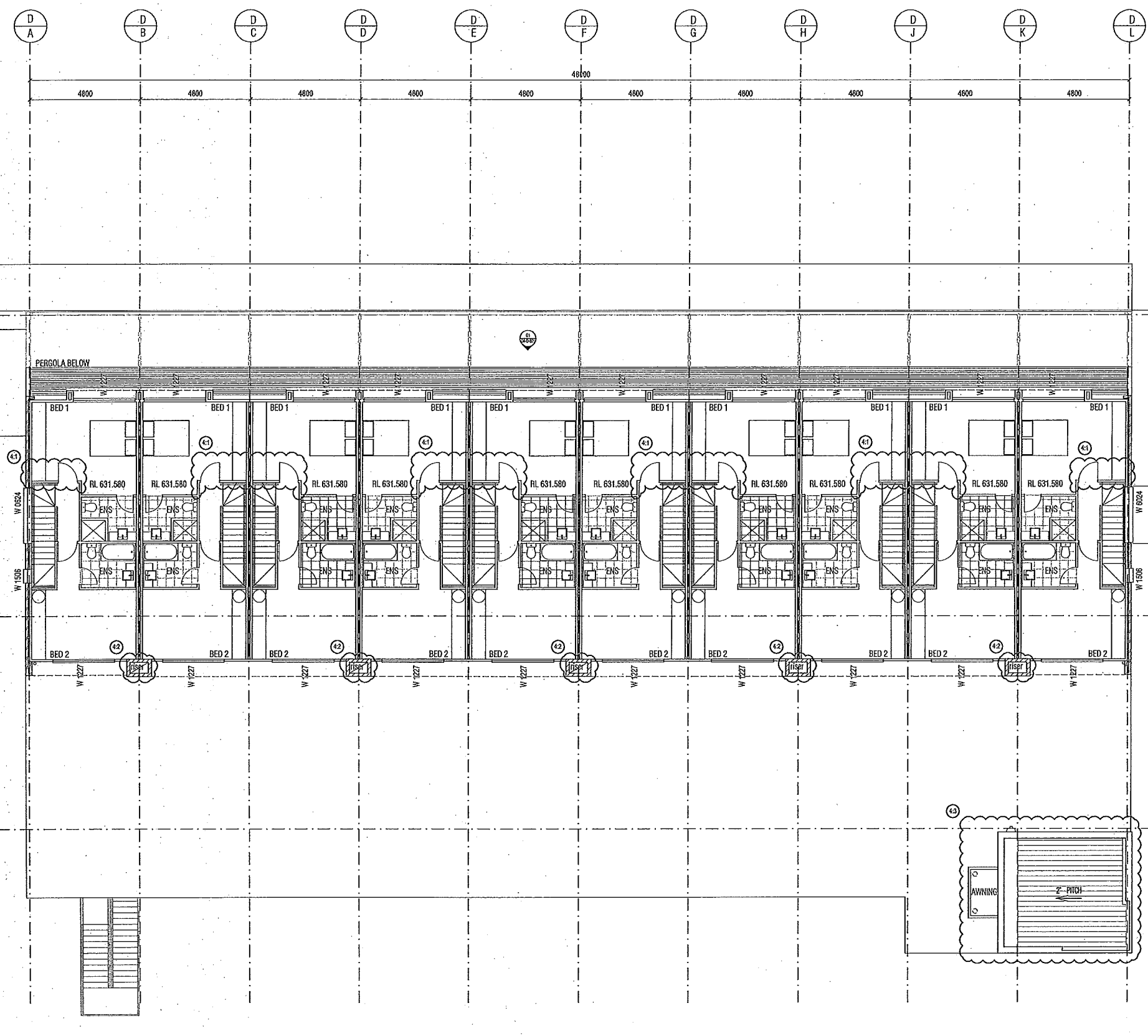
BLIGH VOLLER NIELD
 BLIGH VOLLER NIELD PTY LTD ACN 018 724 100
 1/11 BROADWAY BRISBANE QLD 4000
 GUNGAHLIN ACT 2905
 8/100 BROADWAY BRISBANE QLD 4000
 TEL: (07) 3251 1111 FAX: (07) 3251 1111

CONSTRUCTION DOCUMENTATION
dezignteam
 ARCHITECTURAL PHOTOGRAPHY
 PH: (02) 8207 1444
 FAX: (02) 8207 1444
 AHN 33 053 578 051
 6/101 WILSON ST SYDNEY NSW 2000

TRAFFIC ENGINEER
 RUGHES TRUMAN
 COOLEMAN OFFICES BRIERLEY STREET WESTON
 PH: (02) 8764 6133



PROJECT: GUNGAHLIN SQUARE - S10 GUNGAHLIN
 CLIENT: SECTION 10 GUNGAHLIN PTY LTD
 DRAWING TITLE: BLOCK D GROUND LEVEL PLAN
 SCALE: 1:100 @ A1
 DATE: JUN 2005
 PROJECT NO: 332-GUN
 DRAWING NO: DA-D-001
 ISSUE: 4



LAND (PLANNING AND ENVIRONMENT) ACT 1991
APPROVAL AMENDED
 PURSUANT TO SECTION 247
 IN RESPECT OF THE NOMINATED
 AMENDMENTS ONLY

Delegate name RAVI SINGH
 Date 16/8/2005

Works Outside the Lease Boundary
 not included in this Approval

NOTES

- Dimensions to structural faces
- All unit doors to be mounted with a security viewing lens
- Toler doors to comply with F2.5 of the BCA
- Wet areas water proofed to AS 3740
- Mechanically Ventilate sanitary areas to AS 1688
- External Glazing to comply with AS 2047
- Fire alarms / detectors to comply with AS 2220 Emergency Warning and Intercommunication Systems in Buildings
- Portable fire extinguishers and Fire Blankets as per AS 2444
- Emergency lighting throughout as per AS 2293.1
- Exit Signs and Exit Direction signs as per 2293.1
- Floor finishes to comply with AS 3661 and AS 4588
- Clothes dryers to be installed in all units
- Dual flush toilets and water saving shower rose to all units

01 BLOCK D LEVEL 2 PLAN

REV	DATE	AMENDMENTS	CHK
2	28.11.03	DA RE-ISSUE	
3	22.07.04	CLOTHES DRYER NOTE as per Notice of Decision	
4.1	03.06.05	UNIT INTERNAL WALL SETOUT REVISED	
4.2		EXHAUST & ELECTRICAL RISERS ADDED	
4.3		LIFT AND STAIR ROOF REVISED	

REV	DATE	AMENDMENTS	CHK

RESTIGE BUILDING SERVICES PTY LTD ACN 082 878 153
 ACT LIC 6345 NSW LIC 94191C
 PO BOX 309 Fyshwick ACT 2609
 8145 GLADSTONE ST. Fyshwick
 PH: 6280 8222 FAX: 6280 8215

STRUCTURAL CIVIL & WASTE ENGINEERS
 SUITE 15/18 14 LINDSAY ST BRADSHAW ACT 2812
 PH (02) 6337 2706 FAX (02) 6347 2203

SELICK CONSULTANTS
 ACOUSTIC ENGINEER
 SITES 3, 4-6 DUNWELL PLACE ROSEBERY NSW 2018
 PH 6118 418 013

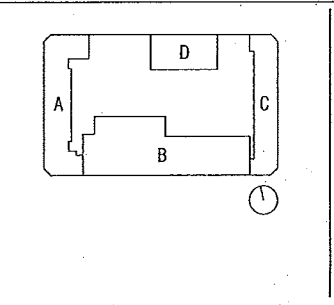
ACOUSTIC LOGIC
 ACOUSTIC ENGINEER
 SUITE 10/68 JARDINE ST KOGONIA ACT 2604
 PH (02) 6380 8585 FAX (02) 6380 8413

BLIGH VOLLER WIELD

BUSINESS DEVELOPMENT CONSULTANTS
 BLIGH VOLLER WIELD PTY LTD ACN 100 178 339
 SUITE 1/300Y BRIDGE ST LINDHURST ACT 2620
 PH (02) 6329 7444 FAX (02) 6329 7444
 TEL (02) 6329 7444
 A/N 30 033 578 061
 email: wv@blighvollerwield.com.au

CONSTRUCTION COORDINATION
dezignTEAM ARCHITECTURAL PROJECTS
 PO Box 3000, Macquarie ACT 2603
 PH 02 63567444 FAX 02 63567444
 A/N 30 033 578 061
 email: wv@blighvollerwield.com.au

TRAFFIC ENGINEER
HUGHES TRUMAN
 COOLEMAN OFFICES BRIDLE STREET WESTON
 PH (02) 6288 6130



PROJECT
GUNGAHLIN SQUARE - S10 GUNGAHLIN

CLIENT
 SECTION 10 GUNGAHLIN PTY LTD

OFFICE TITLE
BLOCK D LEVEL 2 PLAN

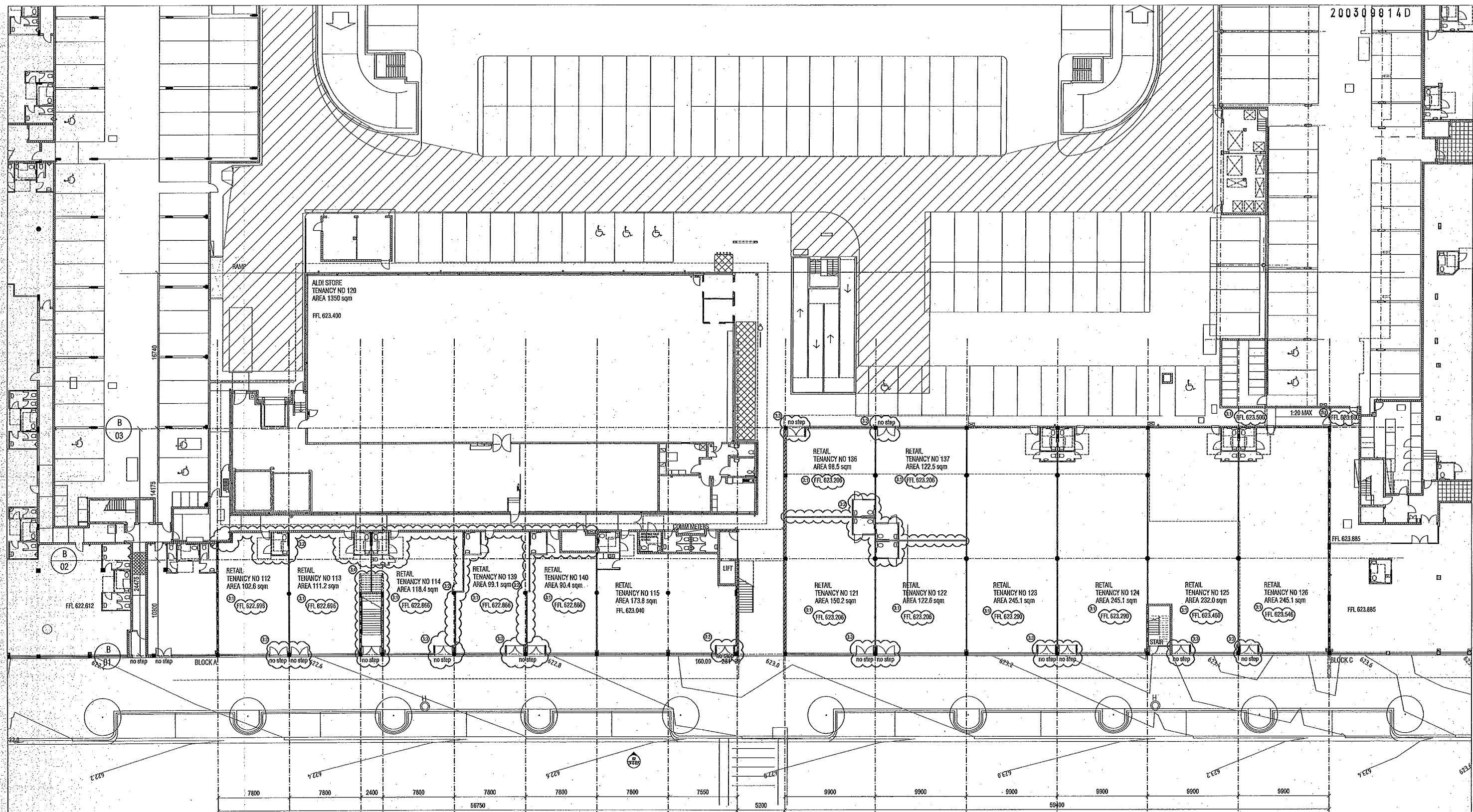
SCALE
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DATE
 JUN 2005

PROJECT NO
 332-GUN

DWG NO
 DA-D-003

NO. OF SHEETS
 4



101 BLOCK B GROUND FLOOR PLAN

REV	DATE	AMENDMENTS	CHK
2	22.07.04	FLOOR LEVELS TO SUIT REVISED FOOTPATH LEVELS as per Notice of Decision	
3	03.06.05	FLOOR LEVELS REVISED	
3.1		TENANCY SETOUT REVISED	
3.2		TENANCY ACCESS REVISED	
3.3		TENANCY ACCESS REVISED	
3.4		STAIR ARRANGEMENT REVISED	

LAND (PLANNING AND ENVIRONMENT) ACT 1991
APPROVAL AMENDED
 PURSUANT TO SECTION 247
 IN RESPECT OF THE NOMINATED
 AMENDMENTS ONLY

Delegate name: RAVI SINGH
 Date: 16/8/2005

Works Outside the Lease Boundary not included in this Approval

RESTIGE BUILDING SERVICES PTY LTD ACN 082 878 153
 ACT LIC 6345 NSW LIC 94191C
 PO BOX 309 FYSHWICK ACT 2609
 8/148 GLADSTONE ST. FYSHWICK ACT 2609
 PH: 6230 6222 FAX: 6230 6215

STRUCTURAL, CIVIL & WASTE ENGINEERS
 SUEITE 15/16 14 LINDSAYE ST BRADBOURNE ACT 2912
 PH: 08 8357 2726 FAX: (08) 8307 2030

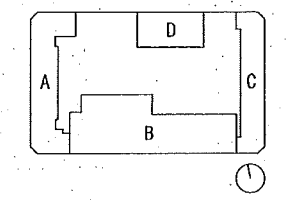
SELICK CONSULTANTS
 ACUSTIC ENGINEER
 ACUSTIC LOGIC
 SUEITE 6-8 CRUICK SHAW PLACE ROSEBERRY NSW 2018
 PH: 02 9418 4133

ACCESSIBILITY CONSULTANT
 ERIC MARTIN AND ASSOCIATES
 SUEITE 10 68 JARDINE ST KINGSTON ACT 2604
 PH: (02) 6200 6176 FAX: (02) 6106 9415

DESIGN ARCHITECT
BLIGH VOLLER NIELD
 BUSHANE DEWAY CAMPBELL TERRACE
 10/11 DORSET BUILDING 101 LOYD KNOX DRIVE
 CANBERRA ACT 2601 AUSTRALIA
 GPO BOX 218 CANBERRA ACT 2601 AUSTRALIA
 TELEPHONE: 615 6241 8008 FACSIMILE: 615 6234 6658
 www.bvnl.com.au

CONSTRUCTION DOCUMENTATION
dezignteam
 ARCHITECTURAL PROJECTS
 PO BOX 9500, Marzba ACT 2603
 PH: 02 62927444 FAX: 02 62927444
 SUEITE 02 62927444
 AIN 33 045 578 091
 email: www@dezignteam.com.au

TRAFFIC ENGINEER
HUGHES TRUMAN
 COOLEMAN OFFICES BRIDLEY STREET WESTON
 PH: (02) 4264 6130

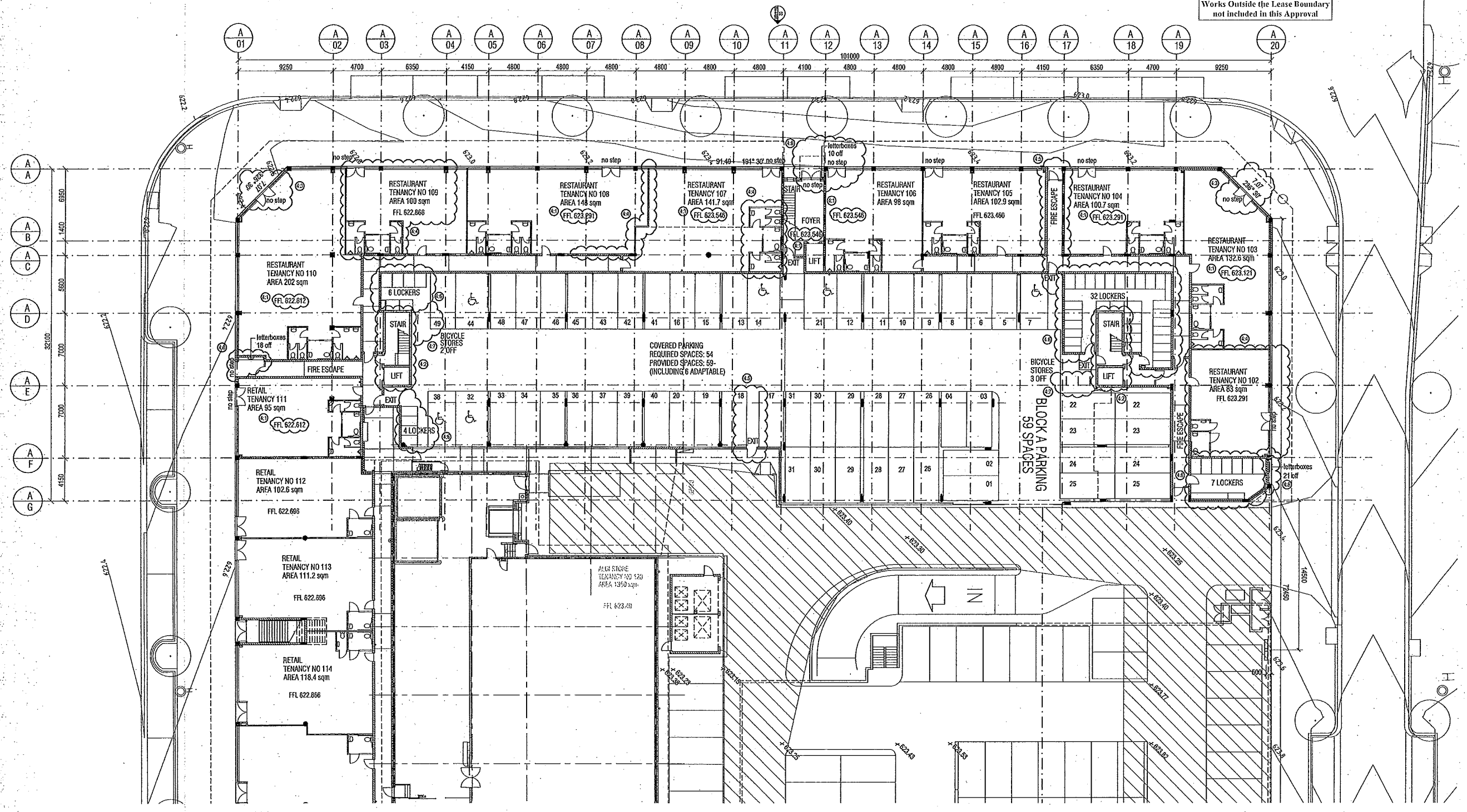


PROJECT: GUNGAHLIN SQUARE - S10 GUNGAHLIN
 CLIENT: SECTION 10 GUNGAHLIN PTY LTD
 DRAWING TITLE: BLOCK B - GROUND FLOOR PLAN
 SCALE: 1:200 @ A1
 DATE: JUN 2005
 PROJECT NO: 332-GUN
 DRAWING NO: DA-B-001
 SHEET NO: 3

TOWN SQUARE

LAND (PLANNING AND ENVIRONMENT) ACT 1991
APPROVAL AMENDED
 PURSUANT TO SECTION 247
 IN RESPECT OF THE NOMINATED
 AMENDMENTS ONLY
 Delegate name: RAVI SINGH
 Date: 16/8/2005

Works Outside the Lease Boundary
 not included in this Approval



01 BLOCK A GROUND LEVEL PLAN

REV	DATE	AMENDMENTS	CHK
2	13.11.03	DA ISSUE 2 car parking numbers added	
3	07.06.04	FLOOR LEVELS AMENDED TO SUIT FOOTPATH LEVELS as per Notice of Decision	
4	03.08.05	FLOOR LEVELS REAISED LIFT & STAIR ARRANGEMENT REVISED TENANCY ACCESS REVISED TENANCY SETOUT REVISED PROVISION FOR EXIT REVISED LOCKER SETOUT REVISED BICYCLE STORES SETOUT REVISED LETTERBOX SETOUT REVISED	

REV	DATE	AMENDMENTS	CHK

RESTIGE BUILDING SERVICES PTY LTD ACN 082 878 153
 ACT LIC 6345 NSW LIC 94191C
 PO BOX 309 Fyshwick ACT 2609
 6745 GLADSTONE ST. Fyshwick
 PH: 6260 8222 FAX: 6260 8215

STRUCTURAL, CIVIL & WASTE ENGINEERS
 SELICK CONSULTANTS SUITE 15/16 14 LODGEMORE ST BRADROCK ACT 2612
 PH (02) 6257 3706 FAX (02) 6217 2203

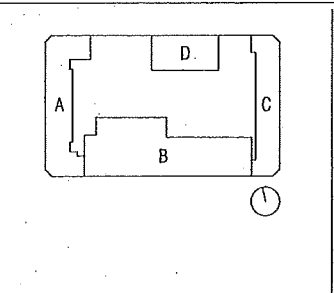
ACOUSTIC ENGINEER
 ACUSTIC LOGIC SUITE 5, 6-8 GREVE PLACE ROSEBURY NSW 2018
 PH (02) 8338 4322

ACCESSIBILITY CONSULTANT
 ERIC MARTIN AND ASSOCIATES SUITE 10 68 JARVIS ST KINGSTON ACT 2604
 PH (02) 4180 8250 FAX (02) 8306 9417

DESIGN ARCHITECT
BLIGH VOLLER NIELD
 10/115 BELMONT PIKE BELMONT NSW 2160
 PH (02) 8220 7444 FAX (02) 8220 7444
 1/1 STURDY BUILDING 121 LONDON CIRCLE
 CANBERRA ACT 2601 AUSTRALIA
 PH (02) 6218 0200 FAX (02) 6218 0200
 TELEPHONE 613 6249 8888 FACSIMILE 613 6249 404
 www.blighvoller.com.au

CONSTRUCTION DOCUMENTATION
dezignteam
 ARCHITECTURAL PHOTOGRAPHERS
 PO Box 3960, Manly ACT 2603
 PH (02) 6220 7444 FAX (02) 6220 7444
 AHN 33 045 578 051
 email: warrick@dezignteam.com.au

TRAFFIC ENGINEER
FLUGHES TRUMAN
 COOLBURN OFFICES BRIDLEY STREET WAGSWORTH
 PH (07) 6258 6130



PROJECT
GUNGALIN SQUARE - S10 GUNGALIN

CLIENT
 SECTION 10 GUNGALIN PTY LTD

DRAWING TITLE
 BLOCK A GROUND LEVEL PLAN

SCALE
 1:200 @ A1

DATE
 JUN 2005

PROJECT NO
 332-GUN

DWG NO
 DA-A-001

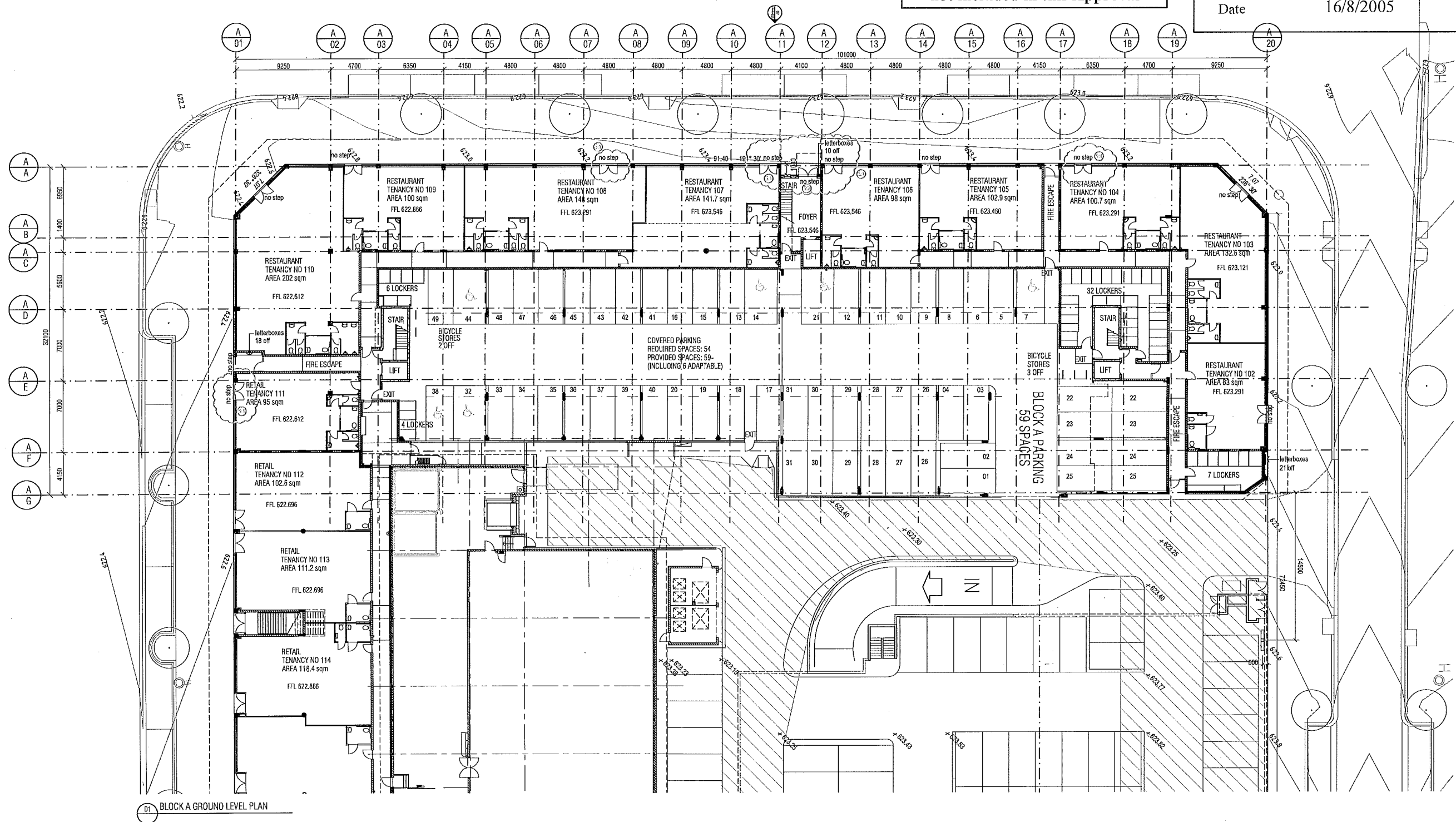
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TOWN SQUARE

Works Outside the Lease Boundary
not included in this Approval

LAND (PLANNING AND ENVIRONMENT) ACT 1991
APPROVAL AMENDED
PURSUANT TO SECTION 247
IN RESPECT OF THE NOMINATED
AMENDMENTS ONLY

Delegate name RAVI SINGH
Date 16/8/2005



D1 BLOCK A GROUND LEVEL PLAN

REV	DATE	AMENDMENTS	CHK
2	13.11.03	DA ISSUE 2 car parking numbers added	
3	07.06.04	FLOOR LEVELS AMENDED TO SUIT FOOTPATH LEVELS as per Notice of Decision	
4	03.06.05	FLOOR LEVELS REVISED LIFT & STAIR ARRANGEMENT REVISED TENANCY ACCESS REVISED TENANCY SETOUT REVISED PROVISION FOR EXIT REVISED LOCKER SETOUT REVISED BICYCLE STORES SETOUT REVISED LETTERBOX SETOUT REVISED	

REV	DATE	AMENDMENTS	CHK
5	28.07.05	DOUBLE EXIT DOORS SHOWN FOYER WALL SETBACK REVISED GRID DIMENSION & NUMBERS	
5.1			
5.2			
5.2			

RESTIGE BUILDING SERVICES PTY LTD ACN 082 878 153
ACT LIC 6345 NSW LIC 94191C
PO BOX 309 Fyshwick ACT 2609
8/145 GLADSTONE ST. Fyshwick
PH: 6260 8222 FAX: 6260 8216

STRUCTURAL, ENGL & MASH ENGINEERS
SELICK CONSULTANTS
ACOUSTIC ENGINEER
ACOUSTIC LOGIC
ACCESSIBILITY CONSULTANT
ERIC MARTIN AND ASSOCIATES

SITE 19/18 11 LINDALE ST BRISBANE ACT 6212
PH: 02 6271 2105 FAX: 02 6271 2023

SITE 6-8 DRYDEN PLACE ROSEBURY NSW 2151
PH: 02 414 413 233

SITE 19/18 11 LINDALE ST BRISBANE ACT 6212
PH: 02 6271 2105 FAX: 02 6271 2023

DESIGN AND COST
BLIGH VOLLER NIELD

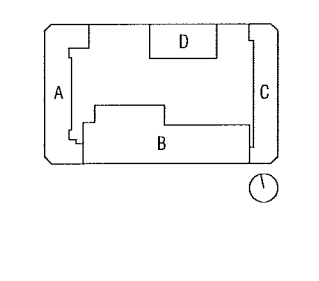
DESIGN AND COST CONSULTANTS
BLIGH VOLLER NIELD PTY LTD
SUITE 10/100 WINDMILL DRIVE
11/111 WINDMILL DRIVE
GUNGALIN ACT 2911
PH: 02 6267 2111 FAX: 02 6267 2111
WWW.BVNL.COM.AU

DESIGN AND COST CONSULTANTS
dezignteam
ARCHITECTURAL PROJECTS

PO Box 3000, Warragamba ACT 2603
PH: 02 6267 2111
BL: 02 6267 2111
ARN: 33 085 578 061
email: warragamba@dezignteam.com.au

TRAFFIC ENGINEER
HUGHES TRUMAN

COULSON OFFICES BERRY STREET WESTON
PH: 02 628 6130



PROJECT
GUNGALIN SQUARE - S10 GUNGALIN

CLIENT
SECTION 10 GUNGALIN PTY LTD

DRAWING TITLE
BLOCK A GROUND LEVEL PLAN

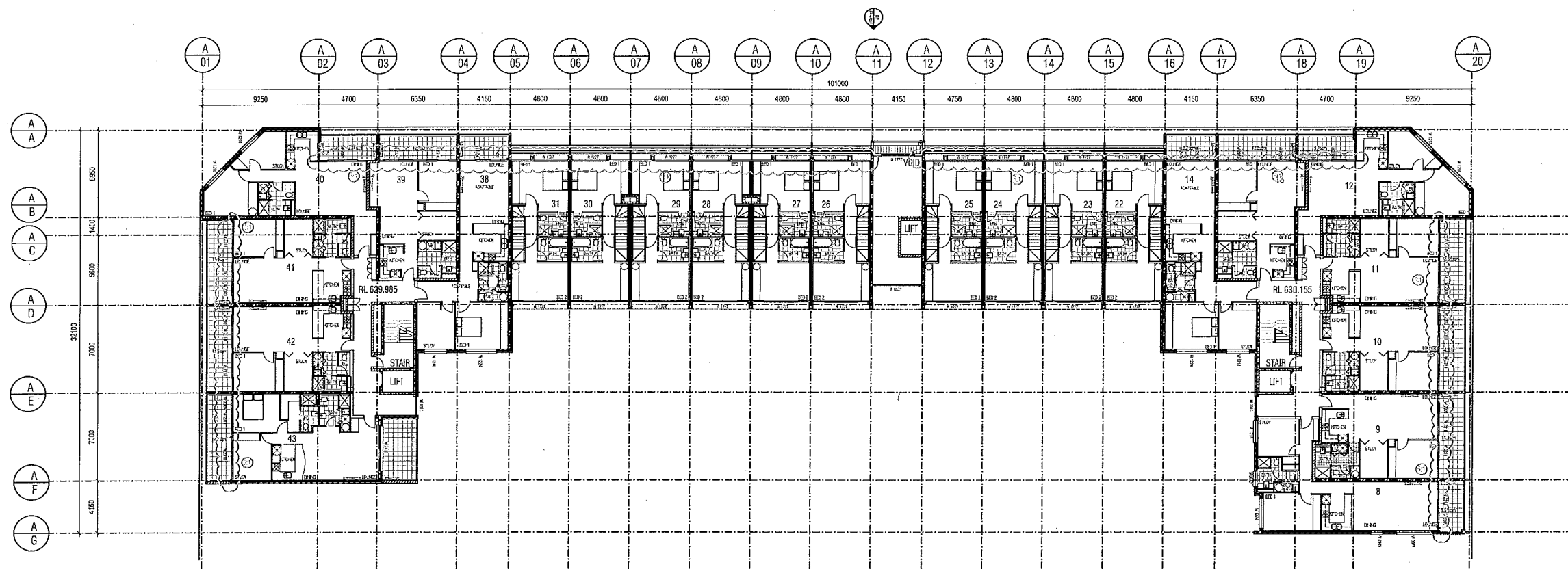
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DATE
JULY 2005

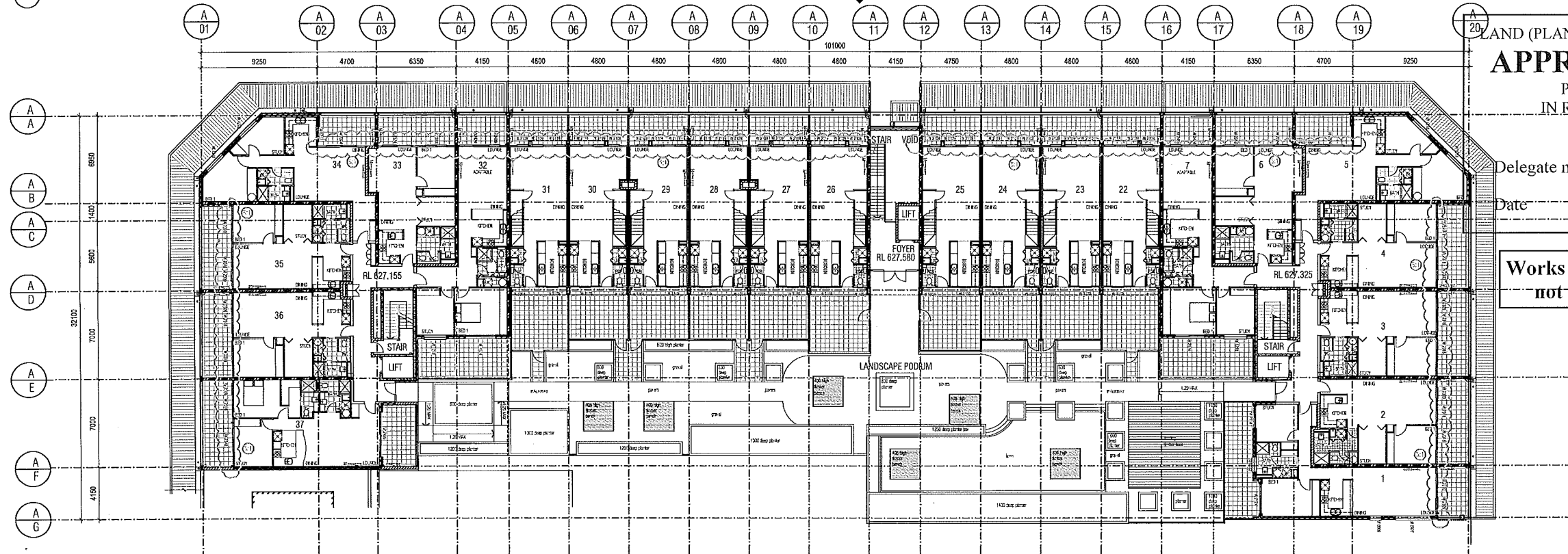
PROJECT NO
332-GUN

DRAWING NO
DA-A-001

REVISION NO
5



02 BLOCK A LEVEL 2 PLAN



01 BLOCK A LEVEL 1 PLAN

INSULATION REQUIREMENTS

Unit 1
 Floor - unshared floor areas to R 1.0
 Walls - clad walls to R 2.0
 BV walls to R 2.0
 Sealed type exhaust fans
 Gaps and cracks to be sealed

Units 2, 3, 4, 5, 6, 9, 10, 11, 12, 13
 33, 34, 35, 36, 39, 40, 41, 42
 Walls - clad walls to R 1.5
 Sealed type exhaust fans
 Gaps and cracks to be sealed

Units 7, 32, 38
 Floor - unshared floor areas to R 1.8
 Walls - clad walls to R 1.5
 Brick veneer walls to R 1.5
 Sealed type exhaust fans
 Gaps and cracks to be sealed

Units 8, 14, 43
 Walls - clad walls to R 1.5
 Brick veneer walls to R 1.5
 Sealed type exhaust fans
 Gaps and cracks to be sealed

Units 22, 23, 24, 25, 26, 27, 28, 29, 30, 31
 Walls - clad walls to R 1.5
 Ceiling - to R 4.0 and stiltation
 Sealed type exhaust fans
 Gaps and cracks to be sealed

NOTES

Dimensions to structural faces
 All unit doors to be mounted with a security viewing lens
 Toilet doors to comply with F2.5 of the BCA
 Wet areas water proofed to AS 3740
 Mechanically Ventilate sanitary area to AS 1668
 External Glazing to comply with AS 2047
 Fire alarms / detectors to comply with AS 2220 Emergency Warning and Intercommunication Systems in Buildings
 Portable fire extinguishers and Fire Blankets as per AS 2444
 Emergency lighting throughout as per AS 2293.1
 Exit Signs and Exit Direction signs as per 2293.1
 Floor finishes to comply with AS 3861 and AS 4586
 Clothes dryers to be included in all units
 Dual flush toilets and water saving shower rose to all units

LAND (PLANNING AND ENVIRONMENT) ACT 1991
APPROVAL AMENDED
 PURSUANT TO SECTION 247
 IN RESPECT OF THE NOMINATED
 AMENDMENTS ONLY

Delegate name RAVI SINGH
 Date 16/8/2005

**Works Outside the Lease Boundary
 not included in this Approval**

REV	DATE	AMENDMENTS	CHK
1	07.11.03	DA ISSUE	
2	02.02.03	DA-ISSUE 2	
3	22.07.04	AC UNITS & CLOTHES DRYER NOTE as per Notice of Decision	
4	03.06.05	FLOOR LEVELS REVISED LIFT & STAIR ARRANGEMENT REVISED LANDSCAPE PODIUM REVISED BALUSTRADE SETBACK FROM BOUNDARY REVISED UNIT INTERNAL WALL SETOUT REVISED FOYER WALL SETBACK REVISED BRICK FINIS DELETED	
5	28.07.05	BALCONY WALL RELOCATED 300mm AWAY FROM BOUNDARY - GFA REDUCED GRID DIMENSIONS & NUMBERS	

REV	DATE	AMENDMENTS	CHK

RESTIGE BUILDING SERVICES PTY LTD ACN 082 878 153
 ACT LIC 6345 NSW LIC 94191C
 PO BOX 309 Fyshwick ACT 2609
 8145 GLADSTONE ST. Fyshwick NSW
 PH: 6280 8222 FAX: 6280 8215

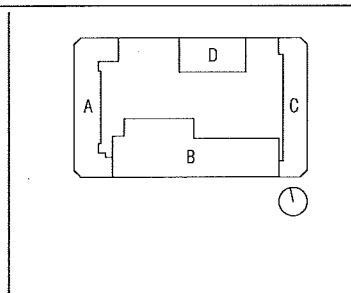
STRUCTURAL, CIVIL & WASTE ENGINEERS
 SELLS CONSULTANTS
 ACUSTIC ENGINEER
 ACUSTIC LOGIC
 ACCESSIBILITY CONSULTANT
 ERIC MARTIN AND ASSOCIATES

DESIGN ARCHITECT
BLIGH VOLLER NIELD

RESERVE STREET CANYON RIVERINA NSW
 BLIGH VOLLER NIELD PTY LTD ACN 134 339
 1/111 TROTTER BUILDING 211 BRIDGEMAN STREET
 CANBERRA ACT 2607 AUSTRA
 602 62607446
 602 62607444
 602 62607444
 602 62607444
 602 62607444

CONSTRUCTION DOCUMENTATION
dezignteam
 ARCHITECTURAL PROJECTS
 PO Box 3090, Manilla ACT 2603
 PH: 02 53007444
 602 62607444
 602 62607444
 602 62607444
 602 62607444

TRAFFIC ENGINEER
HUGHES TRUMAN
 COOPERATION OFFICES 80/81 STREET WESTON
 PH: 02 6280 6130



PROJECT
GUNGAHLIN SQUARE - S10 GUNGAHLIN

CLIENT
 SECTION 10 GUNGAHLIN PTY LTD

DRAWING TITLE
BLOCK A - LEVEL 1 & 2 PLAN

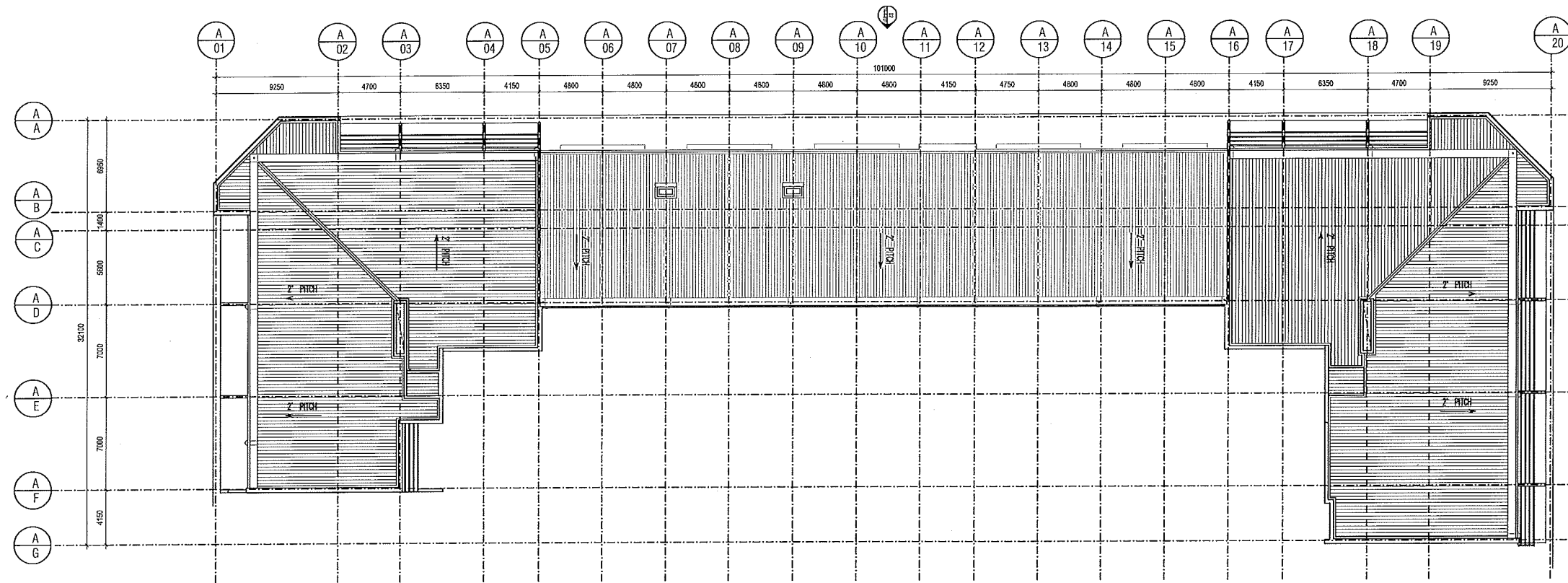
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DATE
 JULY 2005

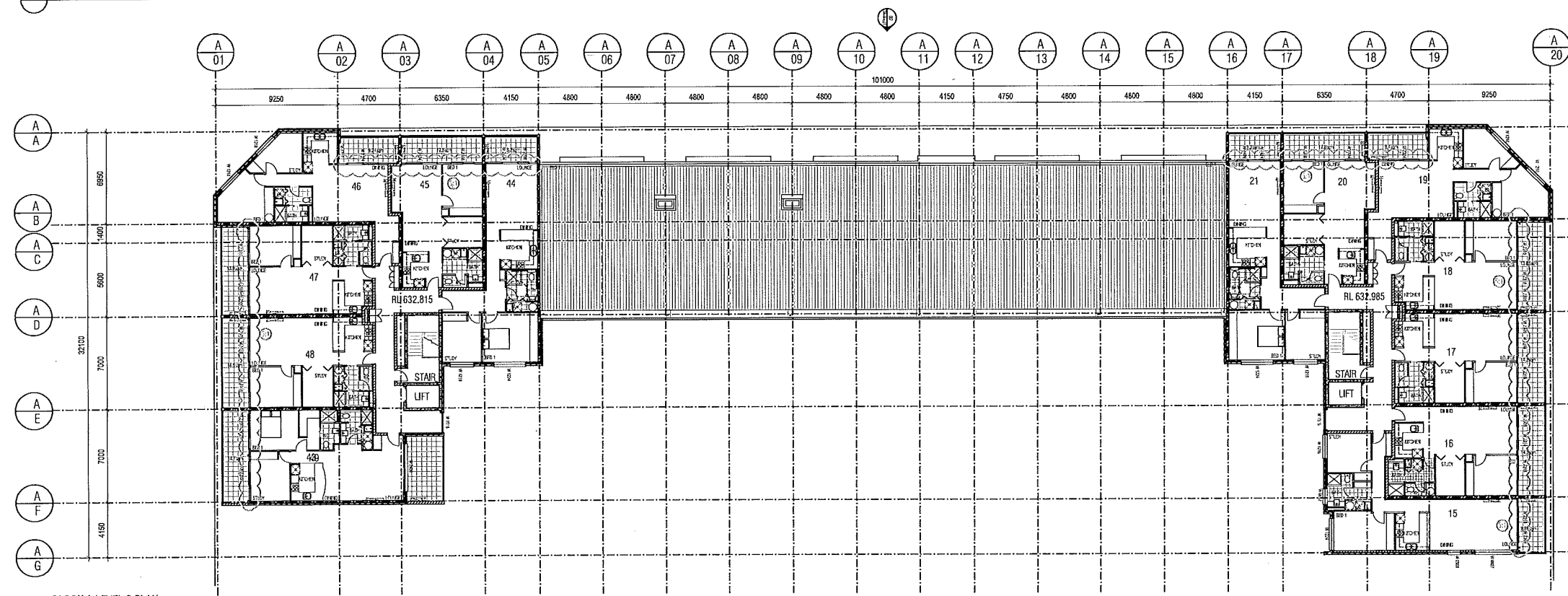
PROJECT NO
 332-GUN

DATE
 DA-A-D02

NO
 5



02 BLOCK A ROOF LEVEL PLAN



01 BLOCK A LEVEL 3 PLAN

LAND (PLANNING AND ENVIRONMENT) ACT 1991
APPROVAL AMENDED
 PURSUANT TO SECTION 247
 IN RESPECT OF THE NOMINATED
 AMENDMENTS ONLY

Delegate name RAVI SINGH
 Date 16/8/2005

**Works Outside the Lease Boundary
 not included in this Approval**

INSULATION REQUIREMENTS

Units 15, 21, 44
 Walls - clad walls to R 1.5
 Brick veneer walls to R 1.5
 Ceiling - to R 4.0 and siltation
 Sealed type exhaust fans
 Gaps and cracks to be sealed

Units 16, 17, 19, 20, 45, 46, 47, 48,
 Walls - clad walls to R 1.5
 Ceiling - to R 4.0 and siltation
 Sealed type exhaust fans
 Gaps and cracks to be sealed

Unit 49
 Walls - clad walls to R 2.0
 Brick veneer walls to R 2.0
 Ceiling - to R 4.5 and siltation
 Sealed type exhaust fans
 Gaps and cracks to be sealed

NOTES

Dimensions to structural faces
 All unit doors to be mounted with a security viewing lens
 Toilet doors to comply with F2.5 of the BCA
 Wet areas water proofed to AS 3740
 Mechanically Ventilate sanitary area to AS 1668
 External Glazing to comply with AS 2047
 Fire alarms / detectors to comply with AS 2220 Emergency
 Warning and Intercommunication Systems in Buildings
 Portable fire extinguishers and Fire Blankets as per AS 2444
 Emergency lighting throughout as per AS 2293.1
 Exit Signs and Exit Direction signs as per 2293.1
 Floor finishes to comply with AS 3661 and AS 4586
 Clothes dryers to be installed in all units
 Dual flush toilets and water saving shower rose to all units

REV	DATE	AMENDMENTS	CHK
1	07.11.03	DA ISSUE	
2	02.02.04	DA-ISSUE 2	
3	22.07.04	AC UNITS & CLOTHES DRYER NOTE as per Notice of Decision	
4	03.06.05	FLOOR LEVELS REVISED LIFT & STAIR ARRANGEMENT REVISED BALUSTRADE SETBACK FROM BOUNDARY REVISED UNIT INTERNAL WALL SETOUT REVISED KITCHEN / TOILET EXHAUST RISERS ADDED BRICK FINIS DELETED PERGOLA REMOVED	
5	28.07.05	BALCONY WALL RELOCATED 300mm AWAY FROM BOUNDARY - GFA REDUCED GRIDS DIMENSIONS & NUMBERS	

REV	DATE	AMENDMENTS	CHK

RESTIGE BUILDING SERVICES PTY LTD
 ACN 082 878 153
 ACT LIC 6345 NSW LIC 94191C
 PO BOX 309 Fyshwick ACT 2609
 8145 GLADSTONE ST. Fyshwick
 PH: 02 6260 9222 FAX: 02 6260 8215

STRUCTURAL, CIVIL & WASTE ENGINEERS

SELICK CONSULTANTS
 ACUSTIC ENGINEER

ACUSTIC LOGIC
 ACUSTIC ENGINEER

ACCESSIBILITY CONSULTANT
 ERIC MARTIN AND ASSOCIATES

DESIGN ARCHITECT
BLIGH VOLLER NIELD

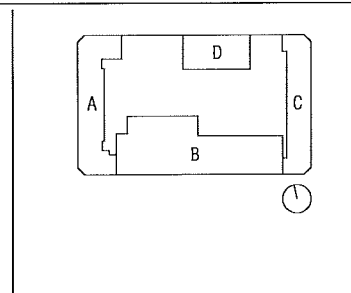
DESIGNER: BLIGH VOLLER NIELD PTY LTD
 10/11 SPURWAY BUILDING, 171 LONDON STREET
 CANBERRA ACT 2601 AUSTRALIA
 TELEPHONE: 02 6229 8338 FACSIMILE: 02 6227 6634
 WWW.BVND.COM.AU

CONSTRUCTION DOCUMENTATION
dezignteam
 ARCHITECTURAL PROJECTS

PO Box 3079, Manly ACT 2603
 PH: 02 62674164
 FAX: 02 62674164
 AIN: 33 035 878 031
 email: warden@dezignteam.com.au

TRAFFIC ENGINEER
HUGHES TRUMAN

COOLEMAN OFFICES: 89 RYRIE STREET WESTON
 PH: (02) 6288 6130



PROJECT
GUNGAHLIN SQUARE - S10 GUNGAHLIN

CLIENT
 SECTION 10 GUNGAHLIN PTY LTD

DRAWING FILE
 BLOCK A - LEVELS 3 & ROOF

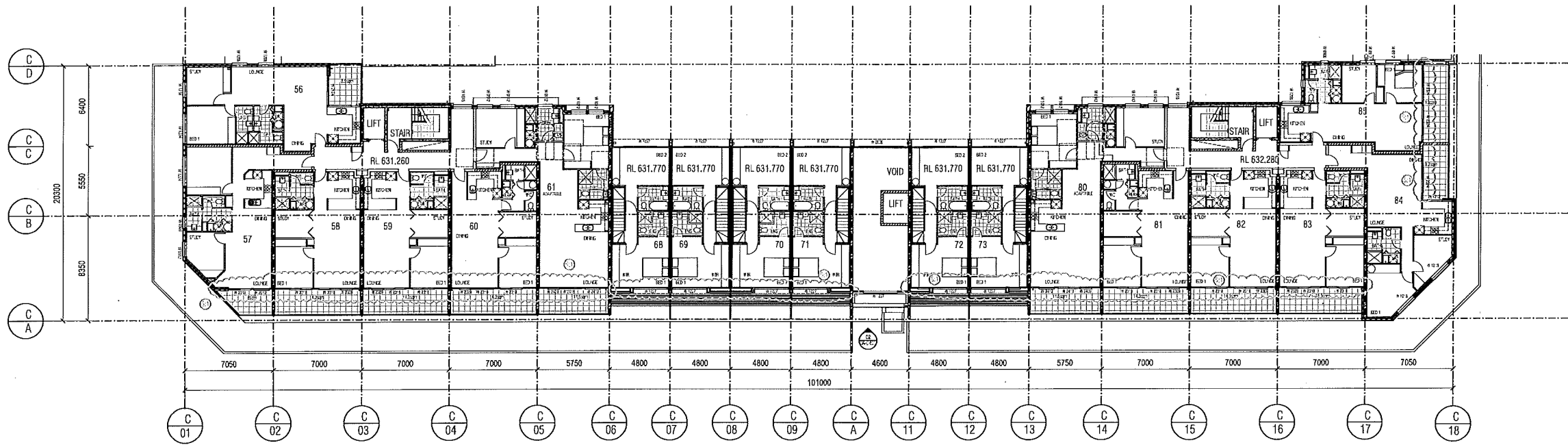
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DATE
 JULY 2005

PROJECT NO
 332-GUN

DATE
 DA-A-003

NO
 5



02 BLOCK C LEVEL 2 PLAN

INSULATION REQUIREMENTS

Units 50, 51, 52, 53, 57, 58, 59, 60, 75, 78
 80, 81, 82, 83, 84, 85
 Walls - clad walls to R 1.5
 Sealed type exhaust fans
 Gaps and cracks to be sealed

Units 56, 61
 Walls - clad walls to R 1.5
 Brick veneer walls to R 1.5
 Sealed type exhaust fans
 Gaps and cracks to be sealed

Units 68, 69, 70, 71, 72, 73
 Walls - clad walls to R 1.5
 Ceiling - to R 4.0 and stillation
 Sealed type exhaust fans
 Gaps and cracks to be sealed

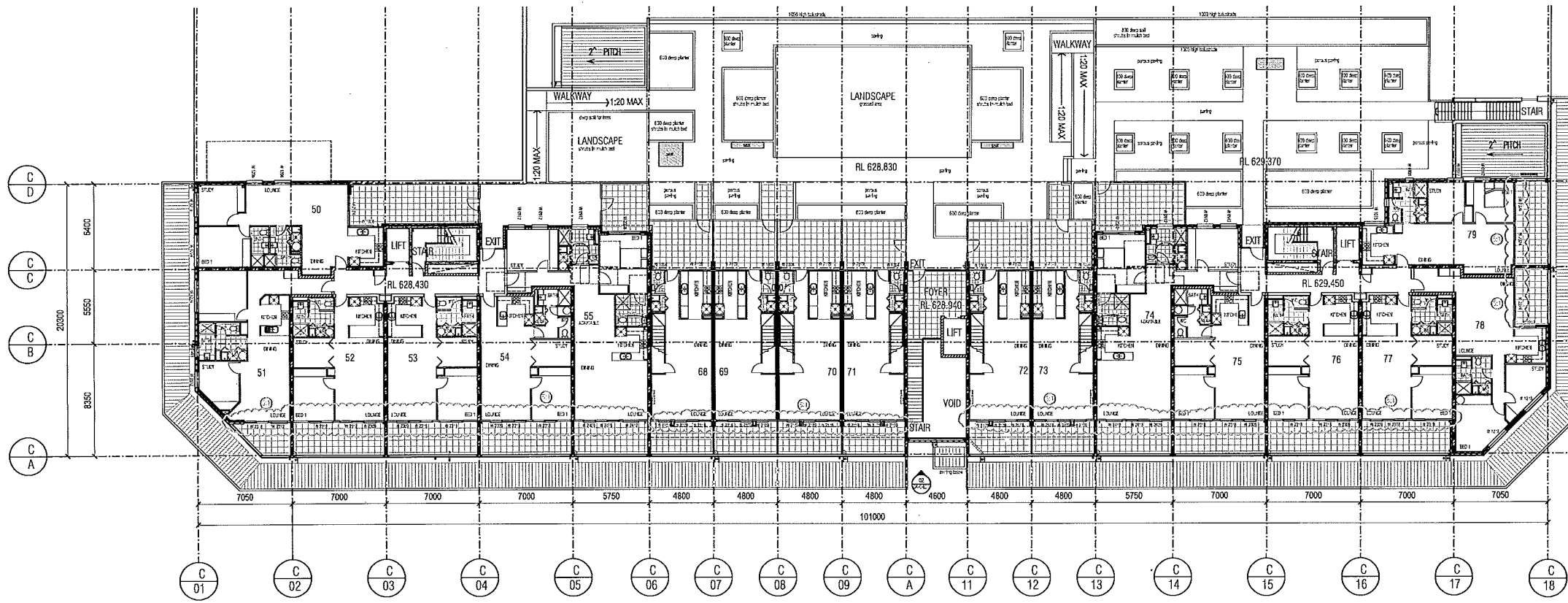
Units 65
 Walls - clad walls to R 1.5
 Brick veneer walls to R 1.5
 Floors - unshared to R .8
 Sealed type exhaust fans
 Gaps and cracks to be sealed

Units 54, 76, 77, 79
 Floor - unshared floor areas to R .8
 Walls - clad walls to R 1.5
 Sealed type exhaust fans
 Gaps and cracks to be sealed

NOTES

Dimensions to structural faces
 All unit doors to be mounted with a security viewing lens
 Toilet doors to comply with F2.5 of the BCA
 Wet areas water proofed to AS 3740
 Mechanically Ventilate sanitary area to AS 1668
 External Glazing to comply with AS 2047
 Fire alarms / detectors to comply with AS 2220 Emergency Warning and Intercommunication Systems in Buildings
 Portable fire extinguishers and Fire Blankets as per AS 2444
 Emergency lighting throughout as per AS 2293.1

Exit Signs and Exit Direction signs as per 2293.1
 Floor finishes to comply with AS 3661 and AS 4586
 Clothes dryers to be installed in all units
 Dual flush toilets and water saving shower rose to all units



01 BLOCK C LEVEL 1 PLAN

LAND (PLANNING AND ENVIRONMENT) ACT 1991
APPROVAL AMENDED
 PURSUANT TO SECTION 247
 IN RESPECT OF THE NOMINATED
 AMENDMENTS ONLY

Delegate name RAVI SINGH
 Date 16/8/2005

**Works Outside the Lease Boundary
 not included in this Approval**

REV	DATE	AMENDMENTS	CHK
1	07.11.03	DA ISSUE	
2	02.02.04	DA-ISSUE 2	
3	22.07.04	AC UNITS & CLOTHES DRYER NOTE as per Notice of Decision	
4	03.06.05	FLOOR LEVELS REVISED BALUSTRADE SETBACK FROM BOUNDARY REVISED LANDSCAPE PODIUM REVISED FOYER WALL SETBACK REVISED BRICK FINIS REMOVED	
5	28.07.05	BALCONY WALL RELOCATED 300mm AWAY FROM BOUNDARY - GFA REDUCED	

REV	DATE	AMENDMENTS	CHK

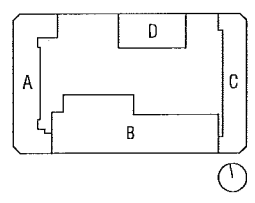
RESTIGE BUILDING SERVICES PTY LTD
 ACN 082 878 153
 ACT LIC 6345 NSW LIC 94191C
 PO BOX 309 Fyshwick ACT 2609
 8149 GLADSTONE ST. Fyshwick ACT 2609
 PH 6280 8222 FAX 6280 8216

STRUCTURAL, CIVIL & WASTE ENGINEERS
 SELICK CONSULTANTS
 ACUSTIC ENGINEER
 ACUSTIC LOGIC
 ACCESSIBILITY CONSULTANT
 ERIC MARTIN AND ASSOCIATES

DESIGN ARCHITECT
BLIGH VOLLER FIELD
 8/100 COLLEGE ST. ACT 2609
 PH 6280 7444 FAX 6280 7244
 1/100 COLLEGE ST. ACT 2609
 PH 6280 7444 FAX 6280 7244
 1/100 COLLEGE ST. ACT 2609
 PH 6280 7444 FAX 6280 7244

CONSTRUCTION COORDINATION
dezignteam
 ARCHITECTURAL PROJECTS
 PO BOX 3054, Werris Creek ACT 2603
 PH 6280 7444 FAX 6280 7244
 ARN 33 045 578 061
 email wazels@dezignteam.com.au

TRAFFIC ENGINEER
HUGHES TRUMAN
 COOLEMAN OFFICES 81/81 STREET WESTON
 PH 075 6388 8130



PROJECT
GUNGAHLIN SQUARE - S10 GUNGAHLIN
 CLIENT
 SECTION 10 GUNGAHLIN PTY LTD

DRAWING TITLE
BLOCK C - LEVELS 1&2

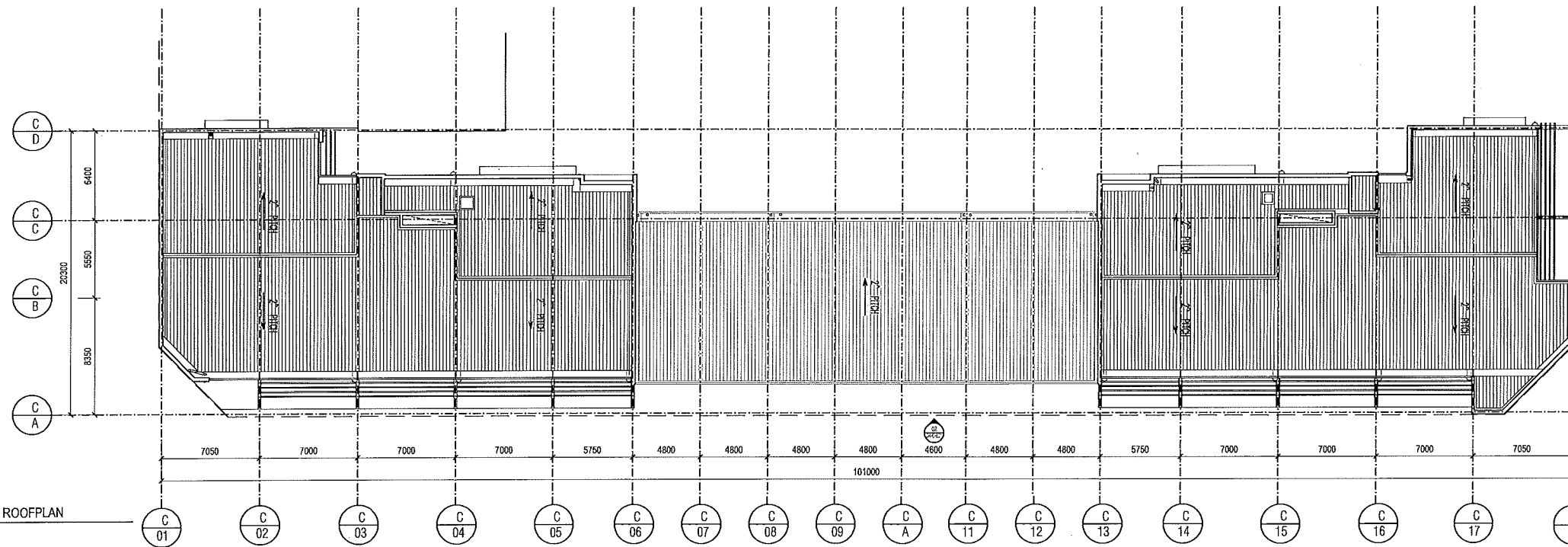
SCALE
 1:200 @ A1

DATE
 JULY 2005

PROJECT NO
 332-GUN

DRAWING NO
 DA-C-002

PAGE
 5



INSULATION REQUIREMENTS

Units 63, 64, 65, 66, 68, 67, 69, 90
 Walls - clad walls to R 1.5
 Ceiling - to R 4.0 and siltation
 Sealed type exhaust fans
 Gaps and cracks to be sealed

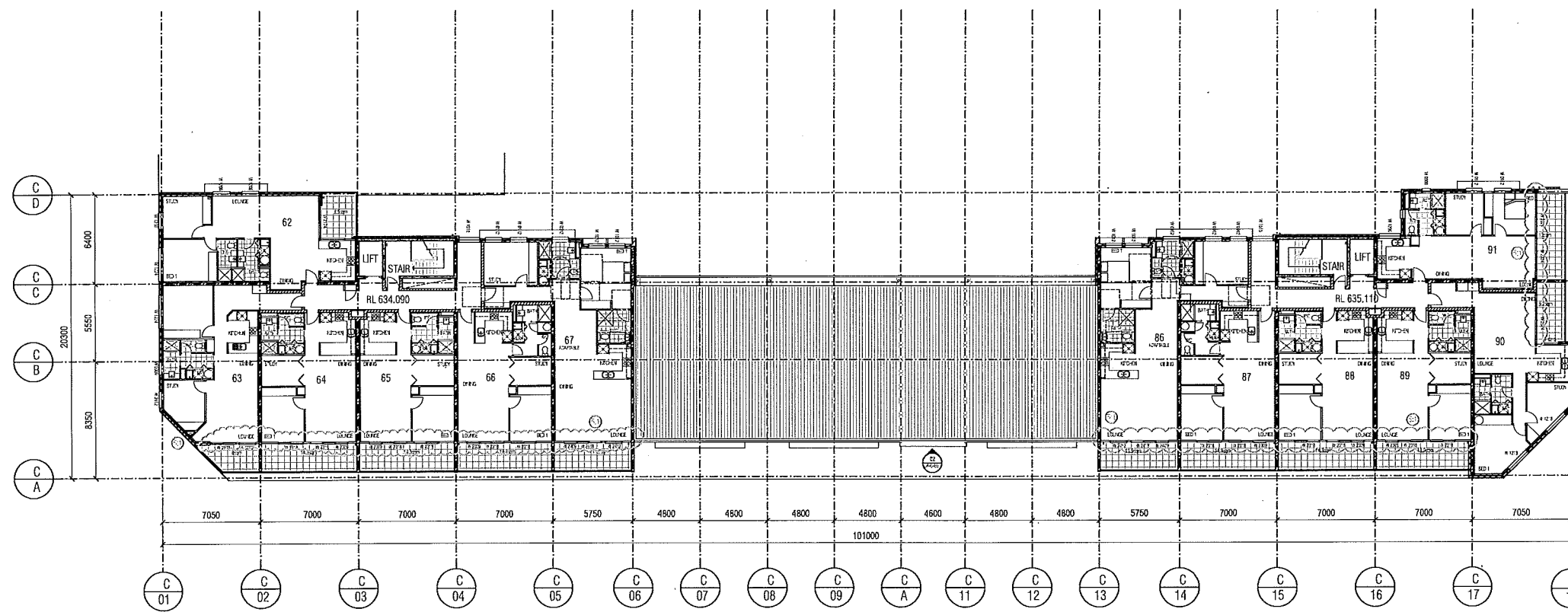
Unit 62
 Walls - clad walls to R 2.0
 Brick veneer walls to R 2.0
 Sealed type exhaust fans
 Gaps and cracks to be sealed

Units 67, 86
 Walls - clad walls to R 1.5
 Brick veneer walls to R 1.5
 Ceiling - to R 4.0 and siltation
 Sealed type exhaust fans
 Gaps and cracks to be sealed

Unit 91
 Walls - clad walls to R 2.0
 Ceiling - to R 4.5 and siltation
 Sealed type exhaust fans
 Gaps and cracks to be sealed

LAND (PLANNING AND ENVIRONMENT) ACT 1991
APPROVAL AMENDED
 PURSUANT TO SECTION 247
 IN RESPECT OF THE NOMINATED
 AMENDMENTS ONLY

Delegate name RAVI SINGH
 Date 16/8/2005



**Works Outside the Lease Boundary
 not included in this Approval**

NOTES

Dimensions to structural faces
 All unit doors to be mounted with a security viewing lens
 Toilet doors to comply with F2.5 of the BCA
 Wet areas water proofed to AS 3740
 Mechanically Ventilate sanitary area to AS 1668
 External Glazing to comply with AS 2047
 Fire alarms / detectors to comply with AS 2220 Emergency
 Warning and Intercommunication Systems in Buildings
 Portable fire extinguishers and Fire Blankets as per AS 2444
 Emergency lighting throughout as per AS 2283.1
 Exit Signs and Exit Direction signs as per 2283.1
 Floor finishes to comply with AS 3681 and AS 4586
 Clothes dryers to be installed in all units
 Dual flush toilets and water saving shower rose to all units

02 BLOCK C ROOFPLAN

01 BLOCK C LEVEL 3 PLAN

REV	DATE	AMENDMENTS	CHK	REV	DATE	AMENDMENTS	CHK
1	07.11.03	DA ISSUE					
2	02.02.04	DA-ISSUE 2					
3	22.07.04	AC UNITS & CLOTHES DRYER NOTE as per Notice of Decision					
4	03.06.05	FLOOR LEVELS REVISED BALUSTRADE SET BACK FROM BOUNDARY REVISED BRICK FINIS REVOKED KITCHEN & TOILET EXHAUST RISERS ADDED ACCESS HATCHES ADDED					
5	26.07.05	BALCONY WALL RELOCATED 300mm AWAY FROM BOUNDARY - GFA REDUCED					

RESTIGE BUILDING SERVICES PTY LTD ACN 082 878 153
 ACT LIC 6345 NSW LIC 94191C
 PO BOX 309 Fyshwick ACT 2609
 8/145 GLADSTONE ST. Fyshwick
 Ph: 6260 6222 Fax: 6260 6215

STRUCTURAL, CIVIL & PASTE ENGINEERS
 SELICK CONSULTANTS SUITE 3 6-9 CRENSHAW ST BRADROCK ACT 2612
 Ph: (02) 6257 2105 Fax: (02) 6247 2203

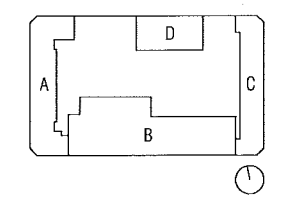
ACOUSTIC ENGINEER
 ACUSTIC LOGIC SUITE 3 6-9 CRENSHAW PLACE ROSBERRY NSW 2013
 Ph: 6418 413 233

ACCESSORY CONSULTANT
 ERIC MARTIN AND ASSOCIATES SUITE 10 64 JAGGERS ST WYSTON ACT 2051
 Ph: (02) 6263 6373 Fax: (02) 6260 6413

DESIGN ARCHITECT
BLIGH VOLLER NIELD
 2/247 GUNGAHLIN SQUARE BRADROCK ACT 2612
 Ph: (02) 6260 7444 Fax: (02) 6260 7444

CONSTRUCTION DOCUMENTATION
dezignteam
 ARCHITECTURAL PROJECTS
 PO Box 3020, Manly ACT 2603
 Ph: 6260 7444 Fax: 6260 7444
 ASB 33 055 578 061
 email: w@dezignteam.com.au

TRAFFIC ENGINEER
 HUGHES TRUMAN
 CONSULTANTS OFFICES 6/101 STREET BRADROCK ACT 2612
 Ph: (02) 6260 6100



PROJECT
GUNGAHLIN SQUARE - S10 GUNGAHLIN

SUBJECT
 SECTION 10 GUNGAHLIN PTY LTD

DRAWING TITLE
BLOCK C - LEVELS 3&ROOF

SCALE
 1:200 @ A1

DATE
 JULY 2005

PROJECT NO
 332-GUN

DATE
 DA-C-003

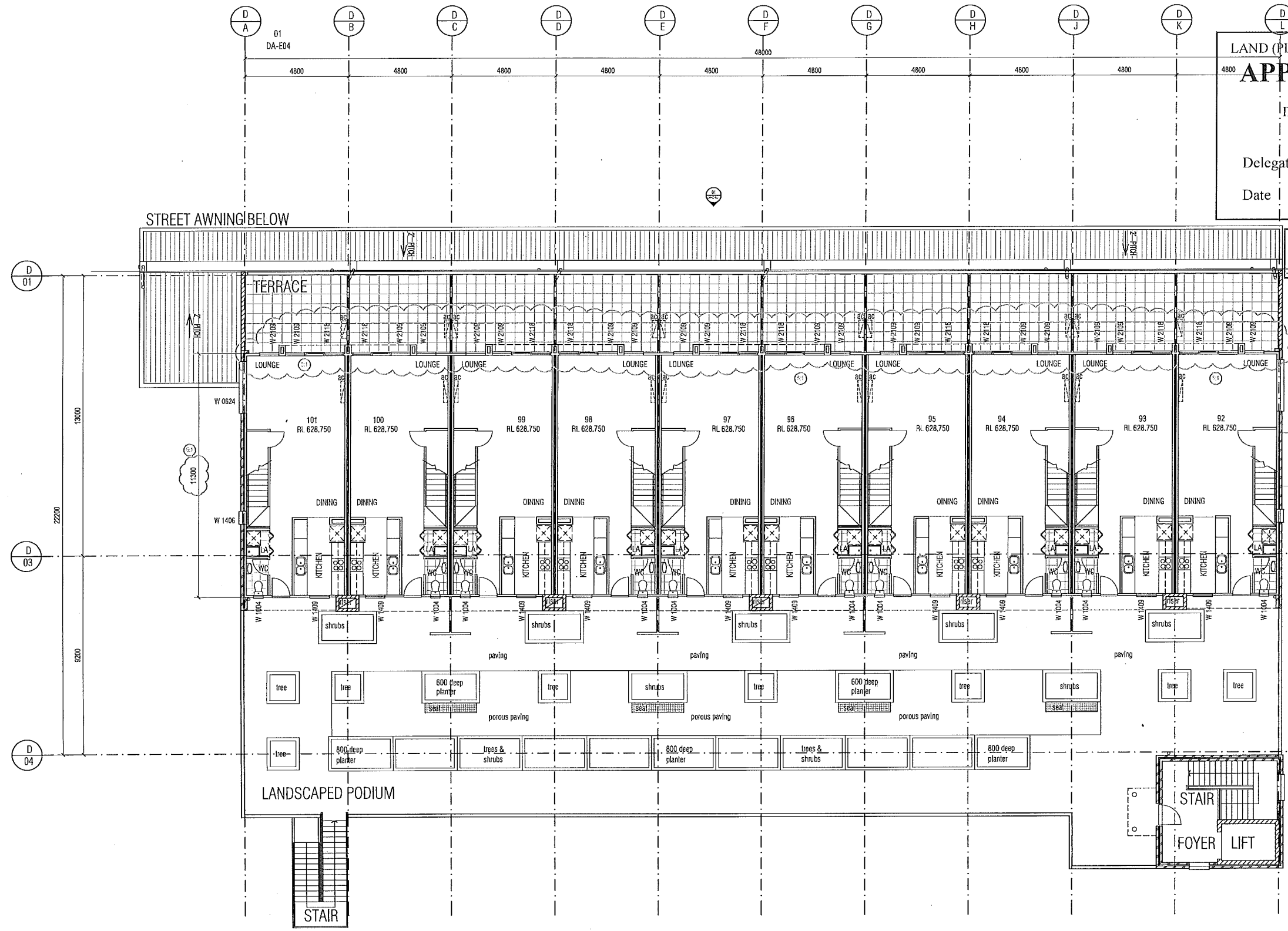
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LAND (PLANNING AND ENVIRONMENT) ACT 1991
APPROVAL AMENDED

PURSUANT TO SECTION 247
 IN RESPECT OF THE NOMINATED
 AMENDMENTS ONLY

Delegate name RAVI SINGH
 Date 16/8/2005

**Works Outside the Lease Boundary
 not included in this Approval**



INSULATION REQUIREMENTS

Units 92, 93, 94, 95, 96, 97, 98, 99, 100, 101
 Walls - clad walls to R 1.5
 Ceiling - to R 4.0 and stiltion
 Sealed type exhaust fans
 Gaps and cracks to be sealed

NOTES

Dimensions to structural faces
 All unit doors to be mounted with a security viewing lens
 Toilet doors to comply with F2.5 of the BCA
 Wet areas water proofed to AS 3740
 Mechanically Ventilate sanitary area to AS 1668
 External Glazing to comply with AS 2047
 Fire alarms / detectors to comply with AS 2220 Emergency
 Warning and Intercommunication Systems in Buildings
 Portable fire extinguishers and Fire Blankets as per AS 2444
 Emergency lighting throughout as per AS 2293.1
 Exit Signs and Exit Direction signs as per 2293.1
 Floor finishes to comply with AS 3661 and AS 4586
 Clothes dryers to be installed in all units
 Dual flush toilets and water saving shower rose to all units

01 BLOCK D LEVEL 1 / PODIUM PLAN

REV	DATE	AMENDMENTS	CHK
2	28.11.03	DA RE-ISSUE	
3	22.07.04	AC UNITS & CLOTHES DRYER NOTE as per Notice of Decision	
4	03.06.05	LANDSCAPE PODIUM REVISED LIFT & STAIR FOYER REVISED LIFT AND STAIR ROOF REVISED EXHAUST & ELECTRICAL RISERS ADDED STAIR PROVIDED	
5	28.07.05	BALCONY WALL RELOCATED 300mm AWAY FROM BOUNDARY - GFA REDUCED	

REV	DATE	AMENDMENTS	CHK

RESTIGE BUILDING SERVICES PTY LTD ACN 082 878 153
 ACT LIC 6345 NSW LIC 94191C
 PO BOX 309 Fyshwick ACT 2609
 8/145 GLADSTONE ST. Fyshwick
 Ph: 02 6280 9222 Fax: 02 6280 9215

STRUCTURAL, CIVIL & WASTE ENGINEERS
 SELICK CONSULTANTS
 ACUSTIC ENGINEER
 ACUSTIC LOGIC
 ACCESSIBILITY CONSULTANT
 ERIC MARTIN AND ASSOCIATES

SUITE 19/16 H LONSDALE ST BRADBOURNE ACT 2612
 Ph: (02) 6257 2105 Fax: (02) 6247 2203

SUITE 3 & 6 DRYNE PLACE FISHERY NSW 2118
 Ph: 0412 413 333

SUITE 10/68 JARVIS ST WAGSWORTH ACT 2601
 Ph: (02) 6280 9222 Fax: (02) 6280 9415

DESIGN ARCHITECT
BLIGH VOLLER NIELD

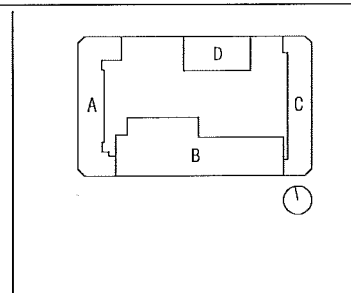
RESUME TRICKET CAROLINA WILSON
 BLIGH VOLLER NIELD PTY LTD ACN 074 330
 1/11 VICTORIA BUILDING 170 GUNGAHLIN STREET
 GUNGAHLIN ACT 2911 AUSTRALIA
 TELEPHONE 011 6243 8888 FACSIMILE 011 6247 6666
 WWW.BVNL.COM.AU

CONSTRUCTION DOCUMENTATION
dezignteam
 ARCHITECTURAL PROJECTS

PO Box 3050, Manly ACT 2603
 Ph: 02 62671444
 fax: 02 62672444
 AIN: 33 045 878 061
 email: info@dezignteam.com.au

TRAFFIC ENGINEER
HUGHES TRUMAN

COOLEMAN OFFICES 65 FERLY STREET MUSTERS
 Ph: (02) 6256 6130



PROJECT
GUNGAHLIN SQUARE - S10 GUNGAHLIN

CLIENT
 SECTION 10 GUNGAHLIN PTY LTD

DRAWING TITLE
 BLOCK D LEVEL 1 PLAN

SCALE
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DATE
 JULY 2005

PROJECT NO
 332-GUN

DWG NO
 DA-D-002

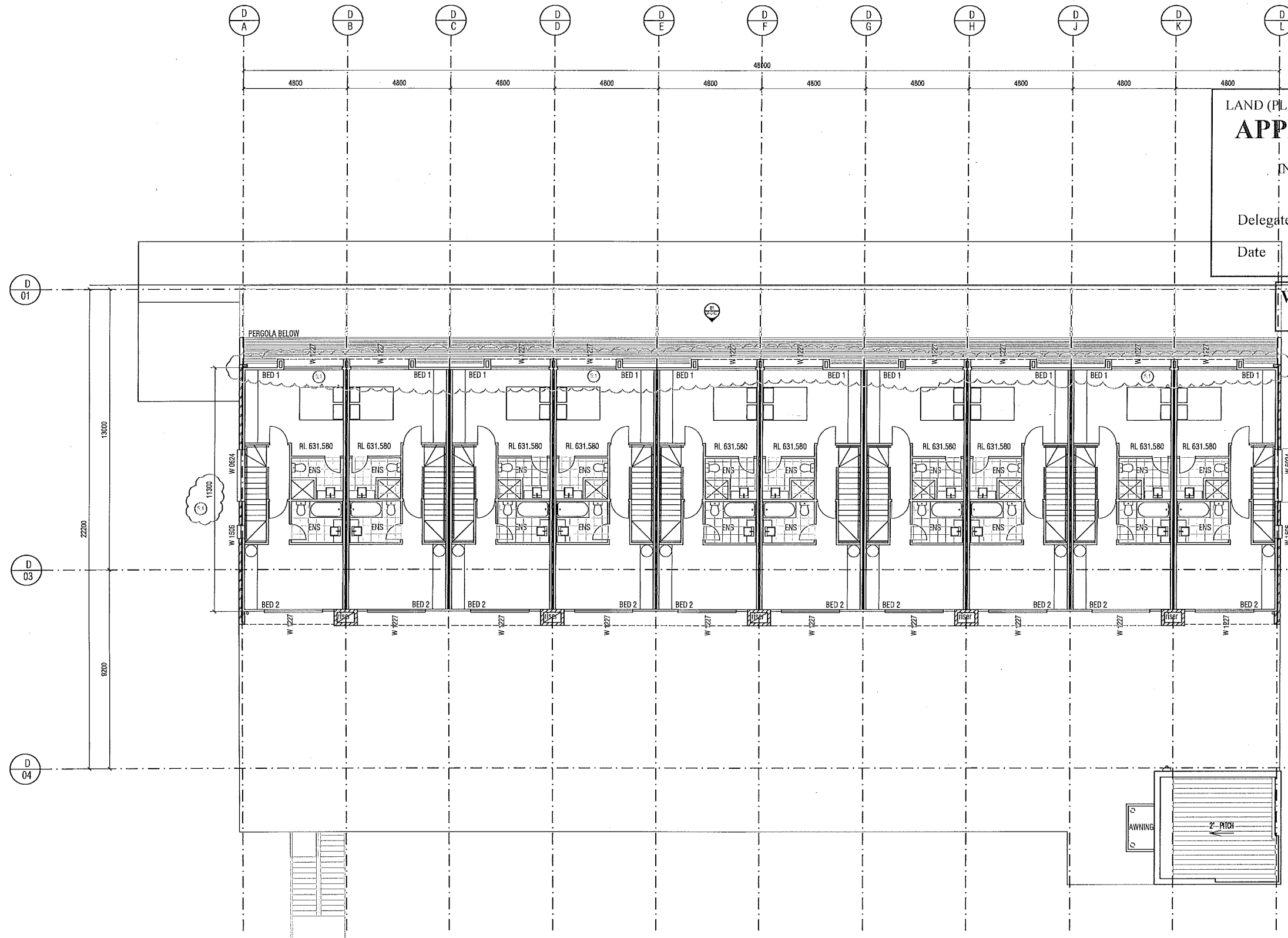
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LAND (PLANNING AND ENVIRONMENT) ACT 1991
APPROVAL AMENDED
 PURSUANT TO SECTION 247
 IN RESPECT OF THE NOMINATED
 AMENDMENTS ONLY

Delegate name RAVI SINGH

Date 16/8/2005

**Works Outside the Lease Boundary
 not included in this Approval**



- NOTES**
- Dimensions to structural faces
 - All unit doors to be mounted with a security viewing lens
 - Toilet doors to comply with F2.5 of the BCA
 - Wet areas water proofed to AS 3740
 - Mechanically Ventilate sanitary area to AS 1668
 - External Glazing to comply with AS 2047
 - Fire alarms / detectors to comply with AS 2220 Emergency Warning and Intercommunication Systems in Buildings
 - Portable fire extinguishers and Fire Blankets as per AS 2444
 - Emergency lighting throughout as per AS 2293.1
 - Exit Signs and Exit Direction signs as per 2293.1
 - Floor finishes to comply with AS 3661 and AS 4588
 - Clothes dryers to be installed in all units
 - Dual flush toilets and water saving shower rose to all units

01 BLOCK D LEVEL 2 PLAN

REV	DATE	AMENDMENTS	CHK
2	28.11.03	DA RE-ISSUE	
3	22.07.04	CLOTHES DRYER NOTE as per Notice of Decision	
4	03.06.05	UNIT INTERNAL WALL SETOUT REVISED	
4.1		EXHAUST & ELECTRICAL RISERS ADDED	
4.2		LIFT AND STAIR ROOF REVISED	
4.3			
5	28.07.05	BALCONY WALL RELOCATED 300mm AWAY FROM BOUNDARY - GFA REDUCED	
5.1			

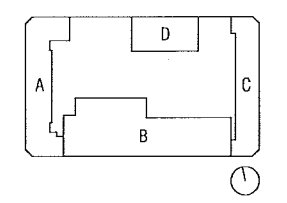
RESTIGE BUILDING SERVICES PTY LTD ACN 082 878 153
 ACT LIC 6345 NSW LIC 94191C
 PO BOX 309 Fyshwick ACT 2609
 8145 GLADSTONE ST. Fyshwick VIC 3206
 PH: 02 8280 8222 FAX: 02 8280 8215

SELICK CONSULTANTS
 ACUSTIC ENGINEER
 ACUSTIC LOGIC
 SUITE 10 63 JARVIS ST PYRGONIA ACT 2604
 PH (02) 6262 6395 FAX (02) 6262 6413

BLIGH VOLLER NIELD
 DESIGN ARCHITECT
 680'gh Voller Nield
 1/111 KENNEDY BUILDING 111 KENNEDY STREET
 CANBERRA ACT 2601 AUSTRA
 GPO BOX 333 CANBERRA ACT 2601 AUSTRALIA
 TEL: 02 616 8113 FAX: 02 616 8113
 EMAIL: info@bvnl.com.au

dezignteam
 ARCHITECTURAL PROJECTS
 PO Box 3060, Manilla ACT 2863
 PH 02 5267444
 FAX 02 5267244
 ABN 33 065 878 061
 email: info@dezignteam.com.au

HUGHES TRUMAN
 TRAFFIC ENGINEER
 600/601A OFFICES 65 SPYGLASS STREET WESTON
 PH (02) 6288 6100



PROJECT
 GUNGAHLIN SQUARE - S10 GUNGAHLIN

CLIENT
 SECTION 10 GUNGAHLIN PTY LTD

DRAWING TITLE
 BLOCK D LEVEL 2 PLAN

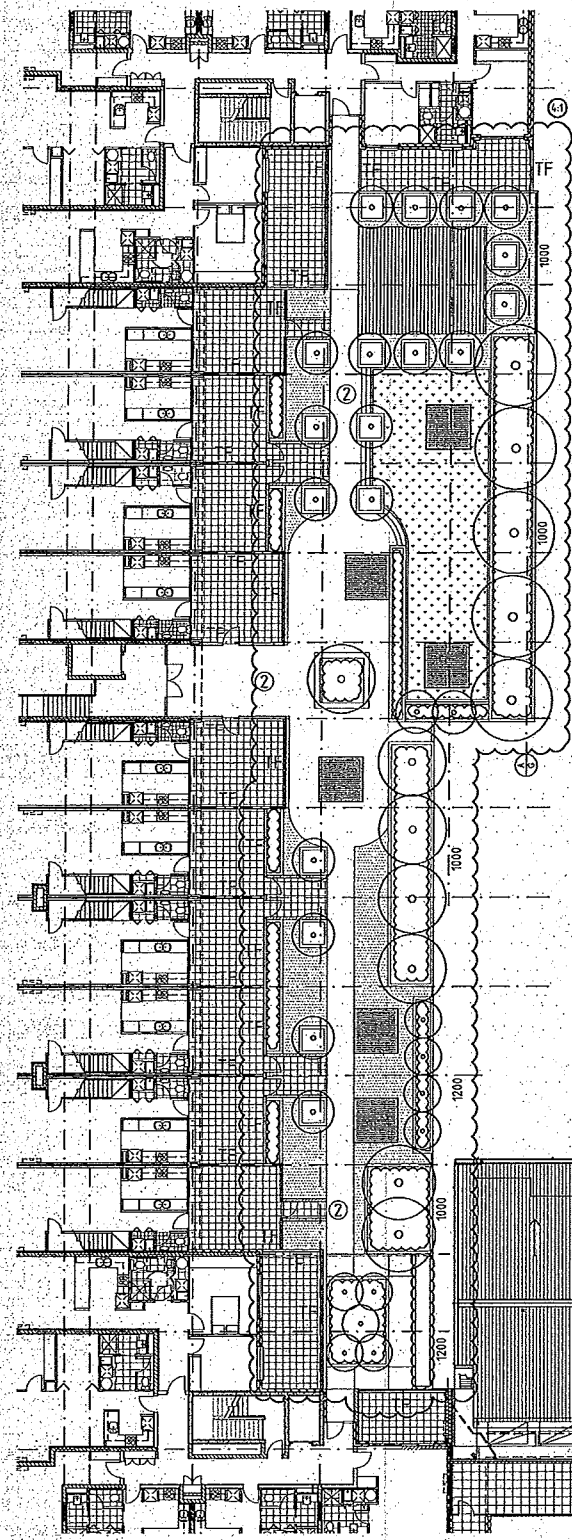
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DATE
 JULY 2005

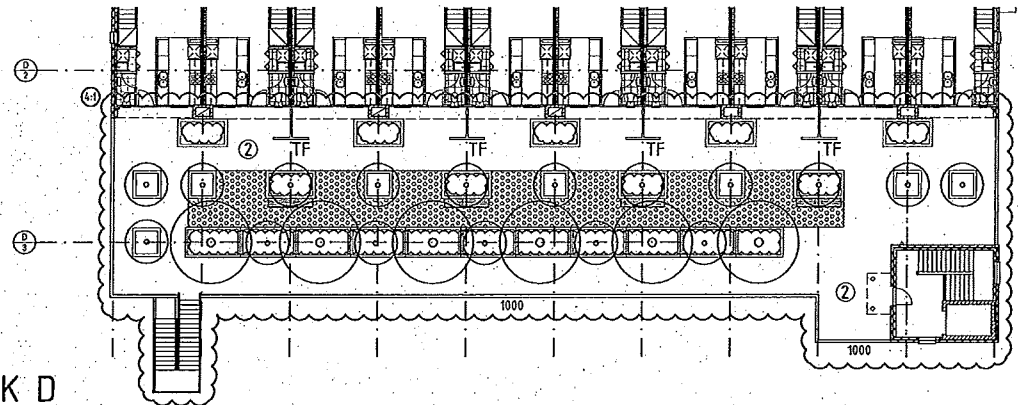
PROJECT NO
 332-GUN

ENCLAVE
 DA-D-003

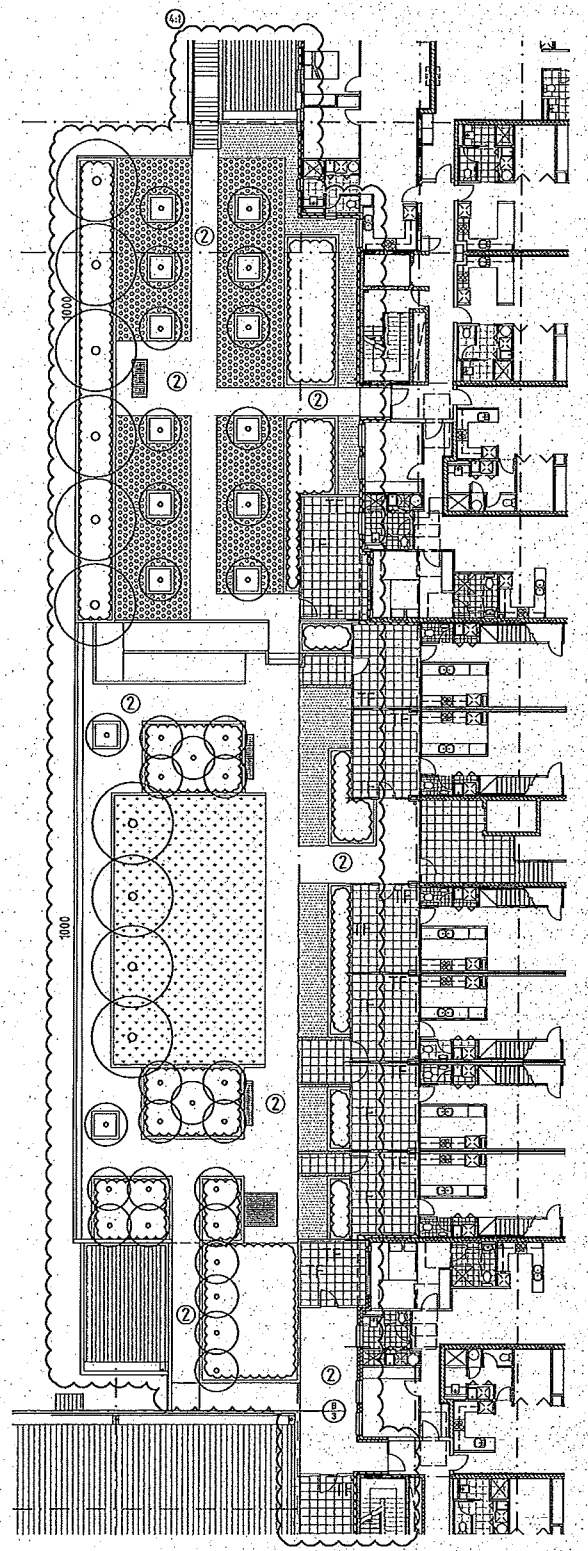
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BLOCK A



BLOCK D



BLOCK C

LEGEND

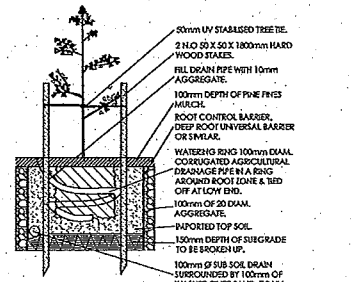
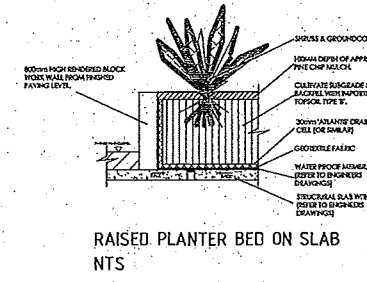
- PAVING TYPE 1
PRECAST CONCRETE PAVERS (NON SLIP FINISH)
- PAVING TYPE 2
PRECAST CONCRETE PAVERS charcoal (NON SLIP FINISH)
- PAVING TYPE 3
POROUS PAVING
- TIMBER FLOATING DECK
- PAVING EDGE TO MATCH PAVING TYPE 2
- HARDWOOD TIMBER SEATING
- 1000 PLANTER BOX / BALUSTRADE LEVEL ABOVE FFL
- PROPOSED SHRUB AND GROUND COVER (REFER SCHEDULE)
- PROPOSED TREE PLANTING (REFER SCHEDULE)
- IRRIGATED LAWN
- GRAVEL TYPE 1
- TF
TIMBER FENCE - PAINTED 1800 HIGH

SUGGESTED PLANT SPECIES

TREES	SPECIES	CONTAINER SIZE/HEIGHT
HIBBERSON ST	ULMUS - AMERICANA	2.5M
ERNEST CAVANAGH STREET	PYRUS USSURIENSIS	2.5M
TOWN SQUARE	FRAXINUS ORNIUS	2.5M
NEW STREET	PLATANUS X CHILENSIS	2.5M
OTHERS	ACER SP.	2.0M TRUNK
	STANDARD VARIETY	
	PYRUS 'CAPITAL'	2.0M
	PYRUS 'CANTILEER'	2.0M
	OLEA SP.	2.0M
SHRUB / GROUND COVER	SPECIES	CONTAINER SIZE/HEIGHT
	LOMANDRA LONGIFOLIA	150MM
	WESTRINGIA 'WHYABIE GEM'	150MM
	PHORRHUM TENAX	200MM
	DIETES SP.	100MM
	ROSMARINUS SP.	150MM
	AJUGA SP.	150MM
	LOROPETULUM CHINESE PINK	150MM

NOTES

- REFER TO DUS DESIGN STANDARDS FOR URBAN INFRASTRUCTURE AND THE STANDARD SPECIFICATION FOR URBAN SPECIFICATION INFRASTRUCTURE WORKS.
- * THE CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL SERVICES WITH RELEVANT AUTHORITIES PRIOR TO PLANTING.
 - * NO TREE PLANTING SHALL BE CARRIED OUT WITHIN 5.0M OF OVERHEAD POWERLINES, 2.0M OF WATERMANS, 3.0M OF SEWERLINES, OR 1.0M OF STORMWATER LINES.
 - * ALL PLANTING LAYOUTS ARE TO BE APPROVED BY THE SUPERINTENDENT PRIOR TO PLANTING.
 - * ALL SHRUB PLANTED AREAS ARE TO BE MULCHED WITH 100mm DEPTH OF FINE FINES MULCH. ALL PLANTING BED AREAS ARE TO BE SLIGHTLY RAISED ABOVE NATURAL SURFACE TO PROVIDE FREE DRAINAGE ALL SHRUB BEDS AND GRASS AREAS UNLESS OTHERWISE INDICATED ARE TO BE PAVER EDGED, TOP OF PAVER EDGES TO BE FLUSH WITH TURF.
 - * MULCH BED AREAS SHOULD NOT EXCEED A 1:3 GRADE.
 - * GRASSSED AREAS SHOULD NOT EXCEED A 1:4 GRADE.
 - * FOR MASS PLANTING IN MULCH BED AREAS CULTIVATE THE SUB GRADE TO A DEPTH OF 300mm.
 - * DECIDUOUS TREES SHOULD HAVE TWO STAKES 50X50X1800mm DRIVEN 600mm INTO THE GROUND AND TWO TIES BRACING TREE AGAINST EXCESSIVE MOVEMENT IN THE WIND. TIES SHOULD BE HESSIAN WEBBING TIED AT SAME HEIGHT AS LOW AS PRACTICAL (APPROX 1/3 THE HEIGHT OF TREE STOCK).
 - * GRAVEL AREAS SHOULD NOT EXCEED A 1:100 GRADE.
 - * CARRY OUT TURING WHERE SHOWN ON PLANS IN ACCORDANCE WITH LG AS3.3 OF LANDSCAPE DESIGN AND CONSTRUCTION GUIDELINES, UNLESS SPECIFIED OTHERWISE. SEED MIX TYPE SHOULD BE AS FOLLOWS:
- | IRRIGATED AREAS MIX DETAILS | AFFLUENT RATE (kg/ha) |
|-----------------------------|-----------------------|
| Tall Fescue | 180 |
| Kentucky Blue Grass | 60 |
| O'Connor's Showbushy Clover | 15 |
| | 255 |
- * PAVING SHOULD BE LAID TO MANUFACTURER'S SPECIFICATIONS.
 - * ALL OFF SITE WORKS OR AREAS OF DISTURBANCE ARE TO BE REINSTATED TO THE APPROPRIATE GOVERNMENT DEPARTMENTAL STANDARDS, AND INSPECTED AT VARIOUS STAGES FOR APPROVAL BY THE APPROPRIATE AUTHORITIES.
 - * ALL LANDSCAPE PLANS PRESENTED ASSUME THAT ALL BASE INFORMATION IS ACCURATE AND TO SCALE. THE CONTRACTOR SHOULD CHECK LANDSCAPE PLANS PRESENTED FOR ANY DISCREPANCIES WITH THE EXISTING SITE CONDITIONS OR OTHER DRAWINGS PRESENTED PRIOR TO ANY CONSTRUCTION WORK TAKING PLACE. IF DISCREPANCIES DO OCCUR THESE SHOULD BE HIGHLIGHTED AT ONCE TO THE SUPERINTENDENT PRIOR TO ANY CONSTRUCTION WORK TAKING PLACE.
 - * THESE LANDSCAPE PLANS ASSUME ALL LANDSCAPED AREAS WILL BE IRRIGATED AUTOMATICALLY TO APPROPRIATE STANDARDS.
 - * FOR MORE DETAIL REFER TO THE PROJECT ARCHITECTS, AND ENGINEERS DRAWINGS.
 - * INCLUDE SUB-SOIL DRAINS IN AREAS INDICATED. SUB-SOIL DRAINS SHALL CONNECT INTO STORMWATER & BE COVERED WITH FILTER FABRIC. DRAINS SHOULD BE SURROUNDED WITH A MINIMUM 100MM OF F.C.R. OR WASHED SAND.
 - * PLANTING SHOWN REFLECTS THE DESIGN INTENT, EXACT NUMBERS AND LOCATIONS WILL REQUIRE CORROBORATION ON SITE BY THE SUPERINTENDENT - IN THE CASE THAT WALL LOCATIONS/ PAVING PLATFORM ETC ARE ALTERED ON SITE FROM THE BASE INFORMATION PROVIDED FOR THE LANDSCAPE DRAWINGS
 - * CONSOLIDATION: PERIOD TO BE 13 WEEKS



NOTE:
FOR LOCATION OF TREE PLANTING ON VERGE AND VERGE DETAILS
REFER TO CIVIL ENGINEERS DRAWINGS

LAND (PLANNING AND ENVIRONMENT) ACT 1991
APPROVAL AMENDED
PURSUANT TO SECTION 247
IN RESPECT OF THE NOMINATED
AMENDMENTS ONLY

Delegate name: RAVI SINGH
Date: 16/8/2005

Works Outside the Lease Boundary
not included in this Approval

REV	DATE	AMENDMENTS	CHK
02	22/11/03	1. TREES ADDED TO BLOCK D 2. RAMPS ADDED TO BLOCK C 3. FENCE ADDED TO BLOCK A,C,D 4. NOTES ADDED 5. SEAT ADDED TO BLOCK A	
03	25/11/03	1. DISABLED RAMPS REVISED	
4.1	07/06/05	LANDSCAPE LAYOUT REVISED	
4.2		LANDSCAPE MATERIAL REVISED	

REV	DATE	AMENDMENTS	CHK

RESTIGE BUILDING SERVICES PTY LTD
ACN 082 878 153
ACT LIC 6345 NSW LIC 94101C
P.O. BOX 309 PYRMONT ACT 2009
8/145 GLADSTONE ST. Fyshwick
PH: 6280 8222 FAX: 6280 8215

STRUCTURAL CIVIL & WASTE ENGINEERS
SULLICK CONSULTANTS
ACOUSTIC ENGINEER
ACUSTIC LOGIC
ACCESSIBILITY CONSULTANT
ERIC MARTIN AND ASSOCIATES

SUITE 14/6 14 LONGGATE ST BRUNNICK ACT 2912
PH (02) 9227 2706 FAX (02) 9227 2203

SUITE 4, 6-8 CRANE PLACE ROSEBERRY NSW 2058
PH 0413 413 233

SUITE 18 68 JARDINE ST KINGSTON ACT 2604
PH (02) 6200 6205 FAX (02) 6200 6413

BLIGH VOLLER NIELD

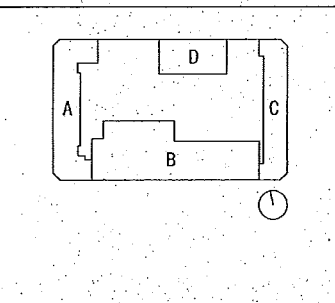
DESIGN ARCHITECTS
BLIGH VOLLER NIELD PTY LTD
1/11 STREET BUILDING 111 GUNGAHLIN CIRCUM
GUNGAHLIN ACT 2905
GPO BOX 2117 GUNGAHLIN ACT 2905
TELEPHONE 62 828 8888 FAX 62 828 8888
GUNGAHLIN@BVN.COM.AU

CONSTRUCTION OCCUPATION
dezignteam
ARCHITECTURAL PROJECTS

PO BOX 3005, Manuka ACT 2603
ph. 02 62907444
fax 02 62907244
ASN 33 065 578 061
email: www.dezignteam.com.au

TRUSTEES ENGINEER
HUGHES TRUMAN

COOLDHAM OFFICES BRIDLEY STREET WESTON
PH (02) 6288 8130



PROJECT
GUNGAHLIN SQUARE - S10 GUNGAHLIN

CLIENT
SECTION 10 GUNGAHLIN PTY LTD

DRAWING TITLE
LANDSCAPE PLAN

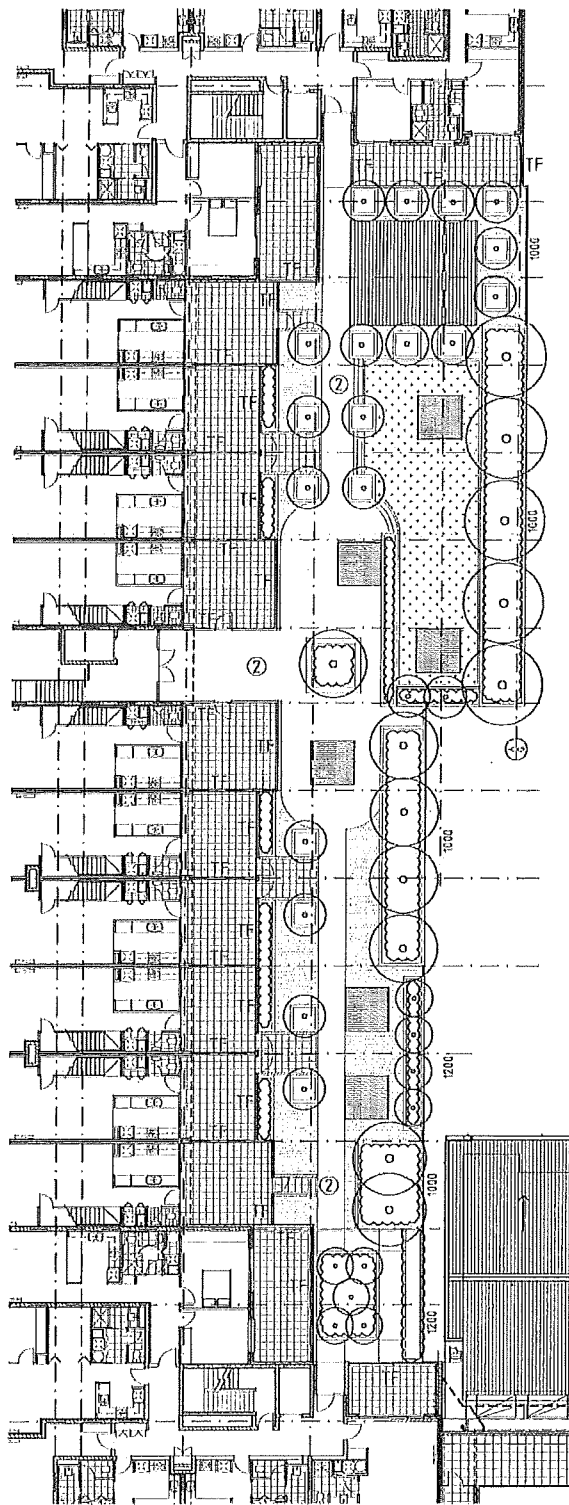
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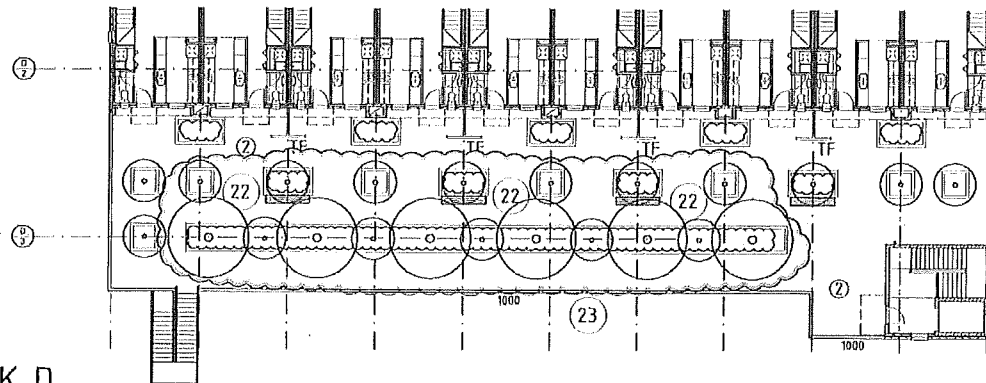
PROJECT NO
332-GUN

DRAWING NO
DA-LANDSCAPE

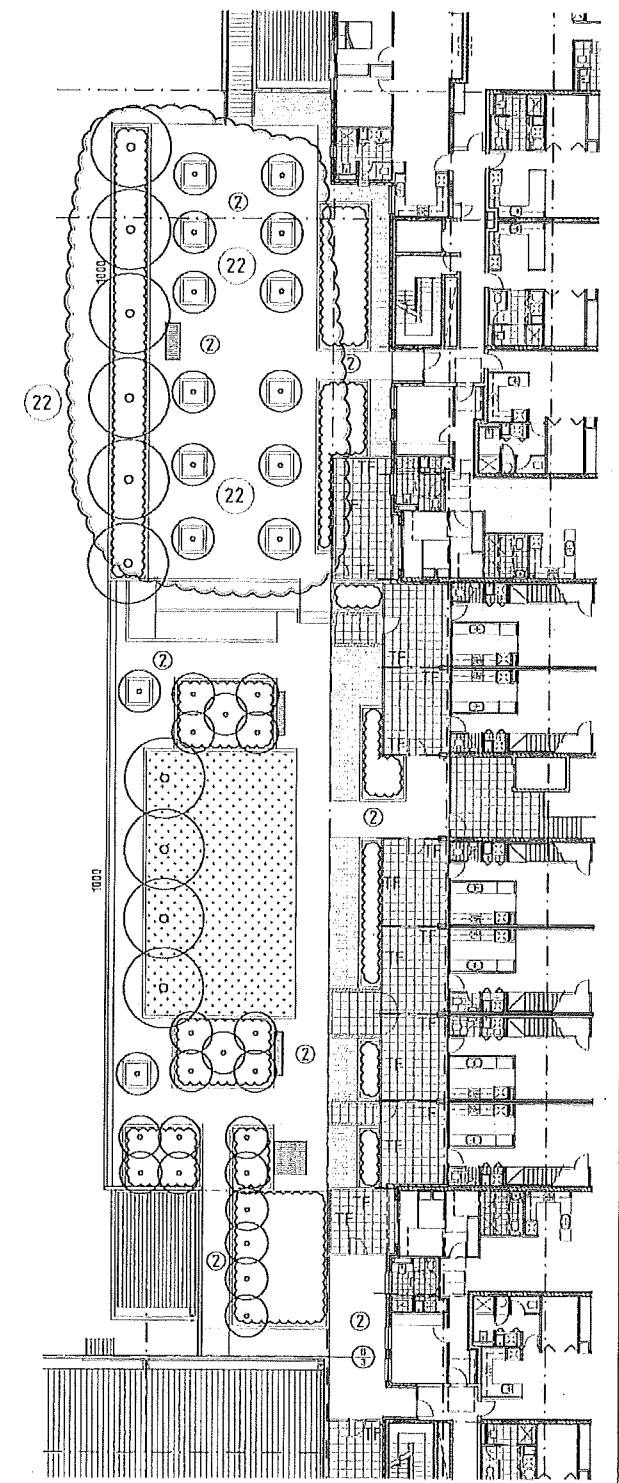
SCALE
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BLOCK A



BLOCK D



BLOCK C

LEGEND

- PAVING TYPE 1
PRECAST CONCRETE PAVERS
(NON SLIP FINISH)
- PAVING TYPE 2
PRECAST CONCRETE PAVERS (charcoal)
(NON SLIP FINISH)
- PAVING TYPE 3
POROUS PAVING (22)
- TIMBER FLOATING DECK
- PAVING EDGE TO MATCH
PAVING TYPE 2
- HARDWOOD TIMBER SEATING
- PLANTER BOX / BALUSTRADE LEVEL
ABOVE FFL
- PROPOSED SHRUB AND
GROUND COVER
(REFER SCHEDULE)
- PROPOSED TREE PLANTING
(REFER SCHEDULE)
- IRRIGATED LAWN
- GRAVEL TYPE 1
8mm PEACH GRAVEL (26)
- TIMBER FENCE- PAINTED
1000 HIGH

SUGGESTED PLANT SPECIES

TREES	SPECIES	CONTAINER SIZE/HEIGHT
HENDERSON ST	ULMUS AMERICANA	2.5M
ERNEST CAVANAGH STREET	PYRUS URSURENSIS	2.5M
TOWN SQUARE	FRAXINUS QUINUS	2.5M
NEW STREET	PLATANUS X CHLINSIS	2.5M
OTHERS	ACER SP STANDARD VARIETY	2.0M TRUNK
	PYRUS 'CAPITAL'	2.0M
	PYRUS 'CANTILEER'	2.0M
	OLEA SP.	2.0M
SHRUB / GROUND COVER	SPECIES	CONTAINER SIZE/HEIGHT
	LOHANDIA LONGIFOLIA	150MM
	WESTRINGIA 'WYNYABIE GEM'	150MM
	PHORRHUM TENAX	200MM
	DIETES SP.	100MM
	ROSHARINUS SP.	150MM
	AJUGA SP.	150MM
	LOROPETULUM CHINESE PINK	150MM

NOTES

REFER TO CIVIL DESIGN STANDARDS FOR URBAN INFRASTRUCTURE AND THE STANDARD SPECIFICATION FOR URBAN SPECIFICATION INFRASTRUCTURE WORKS.

* THE CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL SERVICES WITH RELEVANT AUTHORITIES PRIOR TO PLANTING.

* NO TREE PLANTING SHALL BE CARRIED OUT WITHIN 5.0M OF OVERHEAD POWERLINES, 2.0M OF WATERMANS, 3.0M OF SEWERLINES, OR 1.0M OF STEAMWATER LINES.

* ALL PLANTING LAYOUTS ARE TO BE APPROVED BY THE SUPERINTENDENT PRIOR TO PLANTING.

* ALL SHRUB PLANTED AREAS ARE TO BE ANCHORED WITH 100mm DEPTH OF COTTAGE MULCH. ALL PLANTING BED AREAS ARE TO BE SLIGHTLY RAISED ABOVE NATURAL SURFACE TO PROVIDE FREE DRAINAGE. ALL SHRUB BEDS AND GRASS AREAS ARE TO BE SLOPED OTHERWISE AWAY TO PAVEMENT. TOP OF PAVEMENT EDGES IS TO BE FLUSH WITH SURF.

* MATCHED AREAS SHOULD NOT EXCEED A 1:3 GRADE.

* GRASSED AREAS SHOULD NOT EXCEED A 1:4 GRADE.

* FOR MASS PLANTING IN MATCHED AREAS CULTIVATE THE SOIL GRADE TO A DEPTH OF 300mm.

* DECIDUOUS TREES SHOULD HAVE TWO STAGES SOMERSETDOWN GROVEN 400mm INTO THE GROUND AND TWO THIS BRANCHES TRIF ACANT EXCESSIVE MOVEMENT IN THE WIND. THIS SHOULD BE HERMAN WEAVER BED AT SAME HEIGHT AS LOW AS PRACTICAL (APPROX 1/3 THE HEIGHT OF TREE STOCK).

* GRAVEL AREAS SHOULD NOT EXCEED A 1:100 GRADE.

* CARRY OUT TESTING WHERE SHOWN ON PLANS IN ACCORDANCE WITH TEST METHOD SECTION 247 LANDSCAPE DESIGN AND CONSTRUCTION GUIDELINES UNLESS SPECIFICALLY NOTED IN RESPECT OF THE NOMINATED AMENDMENTS ONLY.

INDICATED AREAS MIX DETAILS APPLICATION RATE:

(g/m ²)	
Tuff Fescue	100
Kentucky Blue Grass	60
O'Connor's Strawberry Clover	15
	250

* PAVING SHOULD BE LAID TO MANUFACTURERS SPECIFICATIONS.

* ALL OFF SITE WORKS OR AREAS OF DISTURBANCE ARE TO BE REINSTATED TO THE APPROPRIATE GOVERNMENT DEPARTMENTAL STANDARDS, AND INSPECTED AT VARIOUS STAGES FOR APPROVAL BY THE APPROPRIATE AUTHORITIES.

* ALL LANDSCAPE PLANS PRESENTED ASSUME THAT ALL BASE INFORMATION IS ACCURATE AND TO SCALE. THE CONTRACTOR SHOULD CHECK LANDSCAPE PLANS PRESENTED FOR ANY DISCREPANCIES WITH THE EXISTING SITE CONDITIONS OR OTHER DRAWINGS PRESENTED PRIOR TO ANY CONSTRUCTION WORK TAKING PLACE. IF DISCREPANCIES DO OCCUR THESE SHOULD BE HIGHLIGHTED AT ONCE TO THE SUPERINTENDENT PRIOR TO ANY CONSTRUCTION WORK TAKING PLACE.

* THESE LANDSCAPE PLANS ASSUME ALL LANDSCAPED AREAS WILL BE IRRIGATED AUTOMATICALLY TO APPROPRIATE STANDARDS.

* FOR MORE DETAIL REFER TO THE PROJECT ARCHITECTS, AND ENGINEERS DRAWINGS.

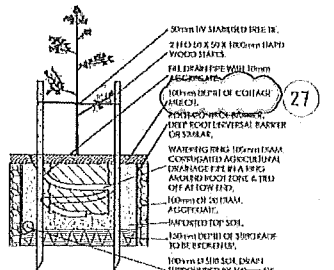
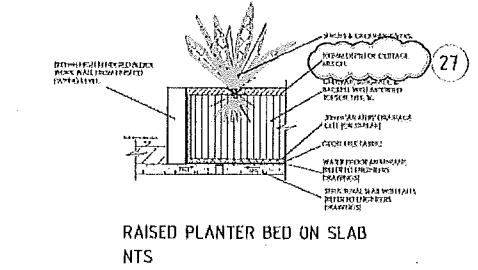
* INCLUDE SUB-SOIL DRAINAGE IN AREAS INDICATED. SUB-SOIL DRAINAGE SHALL CONDUIT INTO STORMWATER A. BE COVERED WITH FILTER FABRIC. DRAINS SHOULD BE SURROUNDED WITH A MINIMUM 100MM OF F.C.R OR WASHED SAND.

* PLANTING SHOWS WHERE THE DESIGN INTENT, EXACT DIMENSIONS AND LOCATIONS WILL REQUIRE CONFIRMATION ON SITE BY THE SUPERINTENDENT. IN THE CASE THAT WALL LOCATIONS/PAVING PLATFORM ETC ARE ALTERED ON SITE FROM THE BASE INFORMATION PROVIDED FOR THE LANDSCAPE DRAWINGS.

* CONSULTATION PERIOD TO BE 13 WEEKS

LAND (PLANNING AND ENVIRONMENT) ACT 1991
APPROVAL AMENDED
 IN RESPECT OF THE NOMINATED
 AMENDMENTS ONLY

Delegate name: THARA BORALAH
 Date: 12/5/2006



NOTE:
FOR LOCATION OF TREE PLANTING ON VERGE AND VERGE DETAILS
REFER TO CIVIL ENGINEERS DRAWINGS

REV	DATE	AMENDMENTS
02	22/11/03	1. TREES ADDED TO BLOCK D 2. DAMPS ADDED TO BLOCK C 3. FENCE ADDED TO BLOCK A, C, D 4. NOTES ADDED 5. SEAT ADDED TO BLOCK A
03	25/11/03	1. DISABLED DAMPS REVISED
4	07/04/05	LANDSCAPE LAYOUT REVISED
4:1		LANDSCAPE MATERIAL REVISED
4:2		

REV	DATE	AMENDMENTS
5	22.02.06	22. POROUS PAVING REPLACED WITH CONCRETE PAVERS 23. PLANTER BOX REVISED 26. GRAVEL NOMINATED AS 8mm PEACH GRAVEL 27. MULCH TYPE REVISED TO COTTAGE MULCH

RESTIGE BUILDING SERVICES PTY LTD
 ACN 082 878 153
 ACT LIC 0346 NSW LIC 04191C
 PO BOX 309 Fyshwick ACT 2099
 8746 CLARENDON ST. Fyshwick
 PH: 02 920 8222 FAX: 02 920 8215

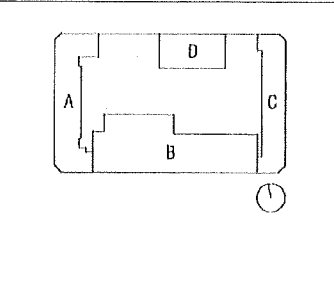
SENIOR DESIGNER & BUILT CONTRACTOR
 STYLISH CONSULTANTS
 PROJECT MANAGER
 ARCHITECTING CONSULTANT
 ERIC MARTIN AND ASSOCIATES

DATE: 12/05/06
 TIME: 10:00 AM
 FAX: 02 920 8215

BLIGH VON LER NIELD
 CIVIL ENGINEER
 10/100 ROYAL AVENUE
 GUNGAHLIN NSW 2908
 PH: 02 920 8215
 FAX: 02 920 8215

dezignteam
 ARCHITECTURE, INTERIORS
 PO BOX 3009, MARRICKVILLE NSW 2204
 PH: 02 9550 4444
 FAX: 02 9550 4444

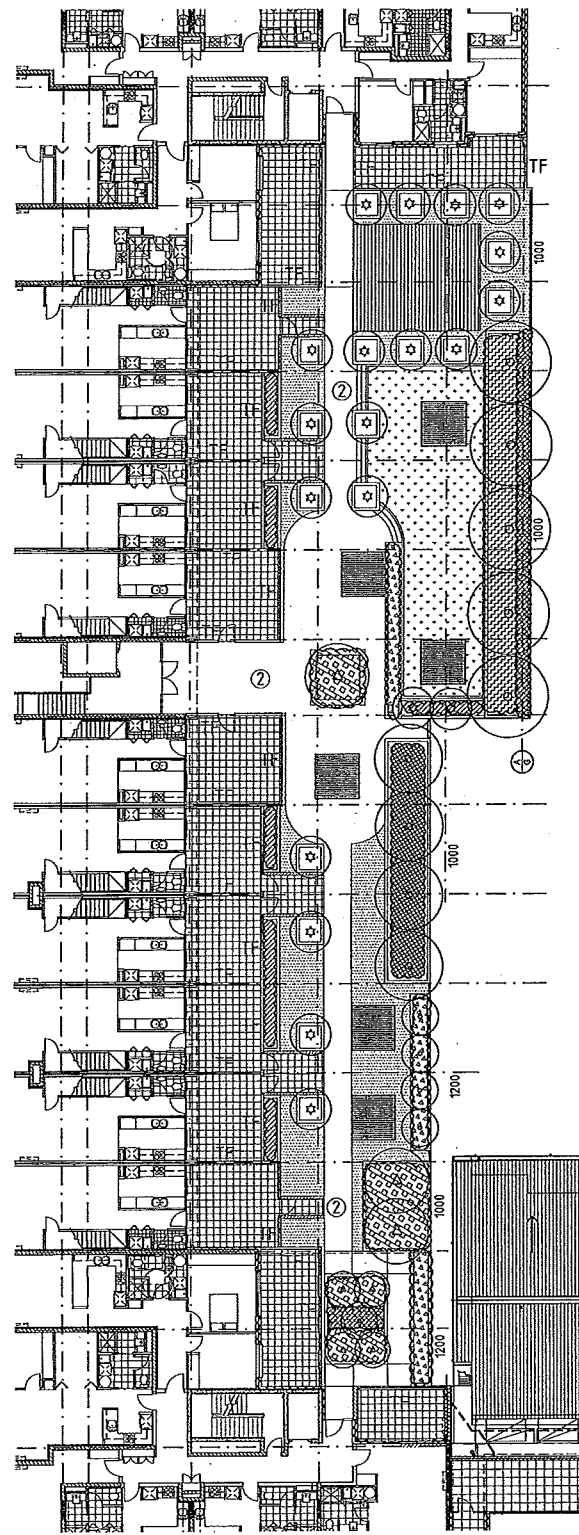
HUGHES TRIMMAN
 CIVIL ENGINEER
 10/100 ROYAL AVENUE
 GUNGAHLIN NSW 2908
 PH: 02 920 8215



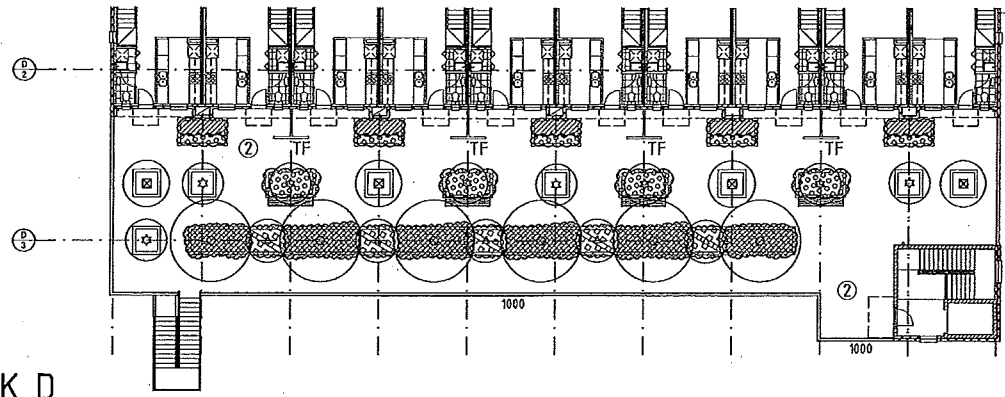
GUNGAHLIN SQUARE - S10 GUNGAHLIN
 SECTION 10 GUNGAHLIN PTY LTD

DATE: 12/05/06
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 CHECKED: [Signature]
 DATE: JUN 2005
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 CHECKED: [Signature]
 DATE: 5

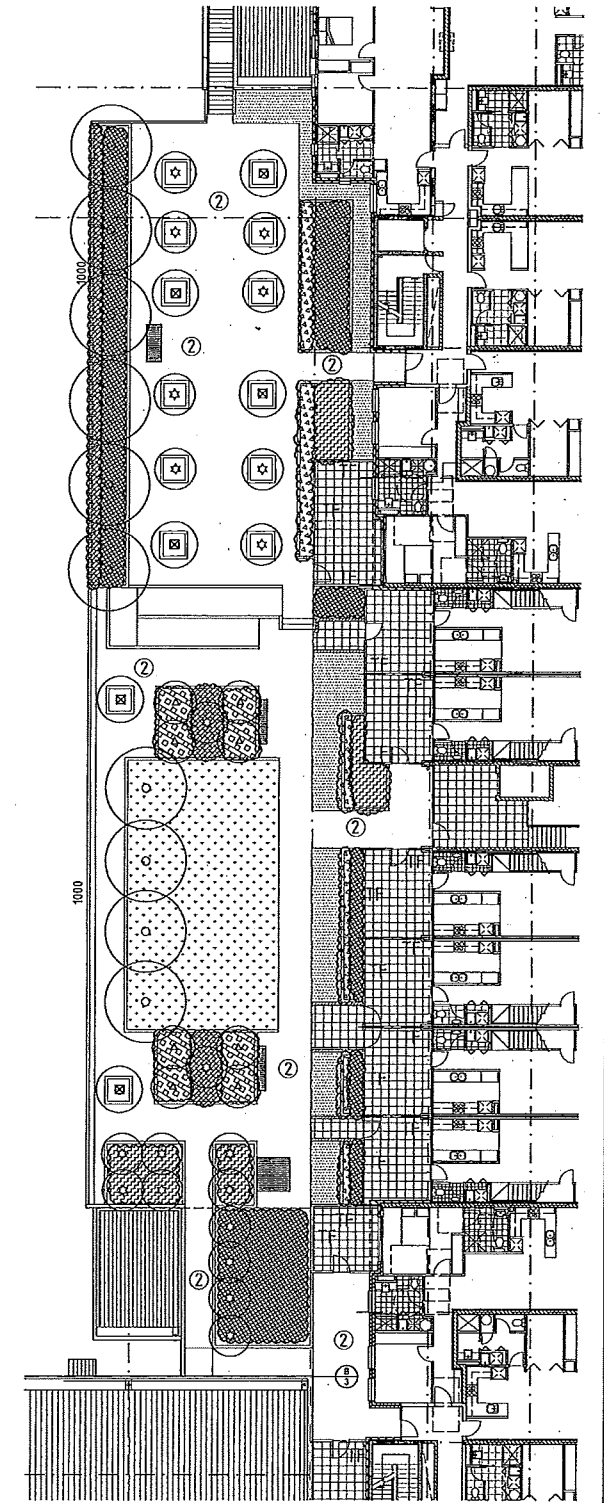
PROJECT NO: 332-GUN
 TITLE: DA - LANDSCAPE



BLOCK A



BLOCK D



BLOCK C

LEGEND

- PAVING TYPE 1
PRECAST CONCRETE PAVERS
(NON SLIP FINISH)
- PAVING TYPE 2
PRECAST CONCRETE PAVERS charcoal
(NON SLIP FINISH)
- TIMBER FLOATING DECK
- PAVING EDGE TO MATCH
PAVING TYPE 2
- HARDWOOD TIMBER SEATING
- 1000
PLANTER BOX / BALUSTRADE LEVEL
ABOVE FFL
- PROPOSED SHRUB AND
GROUND COVER
(REFER SCHEDULE)
- PROPOSED TREE PLANTING
(REFER SCHEDULE)
- IRRIGATED LAWN
- GRAVEL TYPE 1
8mm PEACH GRAVEL
- TF
TIMBER FENCE- PAINTED
1800 HIGH

PLANT SPECIES
FOR VERGE TREES SEE DRAWING 701

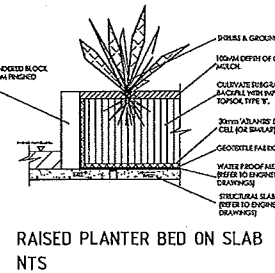
TREES	SPECIES	HEIGHT
	ACER SP STANDARD VARIETY	2.0M TRUNK
	PYRUS 'CAPITAL'	2.0M
	PYRUS 'CANTILEER'	2.0M
	OLEA SP.	2.0M

SHRUB /
GROUND COVER

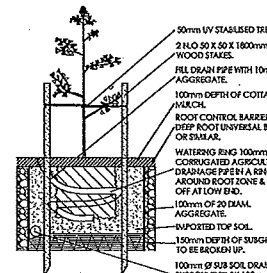
SPECIES	CONTAINER SIZE	SPACING
LOMANDRA LONGIFOLIA	150MM	@ 300mm centres
WESTRINGIA 'WYNABBIE GEM'	150MM	@ 500mm centres
PHORMIUM TENAX	200MM	@ 300mm centres
DIETES SP.	100MM	@ 250mm centres
ROSMARINUS SP.	150MM	@ 500mm centres
AJUGA SP.	150MM	@ 250mm centres
LOROPETULUM CHINESE PINK	150MM	5 per Olea

NOTES

- REFER TO DIS DESIGN STANDARDS FOR URBAN INFRASTRUCTURE AND THE STANDARD SPECIFICATION FOR URBAN SPECIFICATION INFRASTRUCTURE WORKS.
 - * THE CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL SERVICES WITH RELEVANT AUTHORITIES PRIOR TO PLANTING.
 - * NO TREE PLANTING SHALL BE CARRIED OUT WITHIN 5.0M OF OVERHEAD POWERLINES, 2.0M OF WATERMANS, 3.0M OF SEWERLINES, OR 1.0M OF STORMWATER LINES.
 - * ALL PLANTING LAYOUTS ARE TO BE APPROVED BY THE SUPERINTENDENT PRIOR TO PLANTING.
 - * ALL SHRUB PLANTED AREAS ARE TO BE MULCHED WITH 100mm DEPTH OF COTTAGE MULCH. ALL PLANTING BED AREAS ARE TO BE SLIGHTLY RAISED ABOVE NATURAL SURFACE TO PROVIDE FREE DRAINAGE. ALL SHRUB BEDS AND GRASS AREAS UNLESS INDICATED OTHERWISE ARE TO BE PAVER EDGED, TOP OF PAVER EDGE IS TO BE FLUSH WITH TURF.
 - * MULCH BED AREAS SHOULD NOT EXCEED A 1:3 GRADE.
 - * GRASSED AREAS SHOULD NOT EXCEED A 1:4 GRADE.
 - * FOR MASS PLANTING IN MULCH BED AREAS CULTIVATE THE SUB GRADE TO A DEPTH OF 300mm.
 - * DECIDUOUS TREES SHOULD HAVE TWO STAKES 300X30X1800mm DRIVEN 600mm INTO THE GROUND AND TWO TIES BRACING TREE AGAINST EXCESSIVE MOVEMENT IN THE WIND. TIES SHOULD BE HESSIAN WEBBING TIED AT SAME HEIGHT AS LOW AS PRACTICAL (APPROX 1/3 THE HEIGHT OF TREE STOCK).
 - * GRAVEL AREAS SHOULD NOT EXCEED A 1:100 GRADE.
 - * CARRY OUT TURNING WHERE SHOWN ON PLANS IN ACCORDANCE WITH LG A3.3 OF LANDSCAPE DESIGN AND CONSTRUCTION GUIDELINES, UNLESS SPECIFIED OTHERWISE. SEED MIX TYPE SHOULD BE AS FOLLOWS:
- | IRRIGATED AREAS MIX DETAILS | APPLICATION RATE (kg/ha) |
|------------------------------|--------------------------|
| Tall Fescue | 180 |
| Kentucky Blue Grass | 60 |
| O'Connor's Strawberry Clover | 15 |
| | 255 |
- * PAVING SHOULD BE LAID TO MANUFACTURER'S SPECIFICATIONS.
 - * ALL OFF SITE WORKS OR AREAS OF DISTURBANCE ARE TO BE REINSTATED TO THE APPROPRIATE GOVERNMENT DEPARTMENTAL STANDARDS, AND INSPECTED AT VARIOUS STAGES FOR APPROVAL BY THE APPROPRIATE AUTHORITIES.
 - * ALL LANDSCAPE PLANS PRESENTED ASSUME THAT ALL BASE INFORMATION IS ACCURATE AND TO SCALE. THE CONTRACTOR SHOULD CHECK LANDSCAPE PLANS PRESENTED FOR ANY DISCREPANCIES WITH THE EXISTING SITE CONDITIONS OR OTHER DRAWINGS PRESENTED PRIOR TO ANY CONSTRUCTION WORK TAKING PLACE. IF DISCREPANCIES DO OCCUR THESE SHOULD BE HIGHLIGHTED AT ONCE TO THE SUPERINTENDENT PRIOR TO ANY CONSTRUCTION WORK TAKING PLACE.
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 - * PLANTING SHOWN REFLECTS THE DESIGN INTENT, EXACT NUMBERS AND LOCATIONS WILL REQUIRE CONFIRMATION ON SITE BY THE SUPERINTENDENT - IN THE CASE THAT WALL LOCATIONS / PAVING PLATFORM ETC. ARE ALTERED ON SITE FROM THE BASE INFORMATION PROVIDED FOR THE LANDSCAPE DRAWINGS.
 - * CONSOLIDATION: PERIOD TO BE 13 WEEKS



RAISED PLANTER BED ON SLAB NTS



TREE UP TO 2.5M WITH ROOT CONTROL BARRIER NTS

NOTE:
FOR LOCATION OF TREE PLANTING ON VERGE AND VERGE DETAILS
REFER TO CIVIL ENGINEERS DRAWINGS

LAND (PLANNING AND ENVIRONMENT) ACT 1997
APPROVAL AMENDED
PURSUANT TO SECTION 217
IN RESPECT OF THE NOMINATED
AMENDMENTS ONLY
Delegate name: MICHAELA WATTS
Date: 29/5/2006

REV	DATE	AMENDMENTS	CHK
02	22/11/03	1. TREES ADDED TO BLOCK D 2. RAMPS ADDED TO BLOCK C 3. FENCE ADDED TO BLOCK A,C,D 4. NOTES ADDED 5. SEAT ADDED TO BLOCK A	
03	25/11/03	1. DISABLED RAMPS REVISED	
4	07/06/05	LANDSCAPE LAYOUT REVISED	
4:1		LANDSCAPE MATERIAL REVISED	
4:2			

REV	DATE	AMENDMENTS	CHK
5	22.02.06	22. POROUS PAVING REPLACED WITH CONCRETE PAVERS 23. PLANTER BOX REVISED 26. GRAVEL NOMINATED AS 8mm PEACH GRAVEL 27. MULCH TYPE REVISED TO COTTAGE MULCH	
6	01.05.06	1. PLANT TYPE LOCATIONS & CENTRES SHOWN	

RESTIGE BUILDING SERVICES PTY LTD
ACN 082 878 153
ACT LIC 6345 NSW LIC 94191C
PO BOX 309 Fyshwick ACT 2609
8/145 CLARISTONE ST. Fyshwick
PH: 6280 8222 FAX: 6280 8215

STRUCTURAL, CIVIL & WASTE ENGINEERS
SELICK CONSULTANTS
ACOUSTIC ENGINEER
ACOUSTIC LOGIC
ACCESSIBILITY CONSULTANT
ERIC MARTIN AND ASSOCIATES

SUITE 16/18 14 LANESDALE ST BRADSHAW ACT 812
PH (02) 8257 2700 FAX (02) 8247 2201

SUITE 3, 6 & 7 CHERRY PLACE ROSEBERY NSW 2018
PH 9418 1133

SUITE 10/88 WARDON ST KINGSTON ACT 2604
PH (02) 8200 9326 FAX (02) 8200 6413

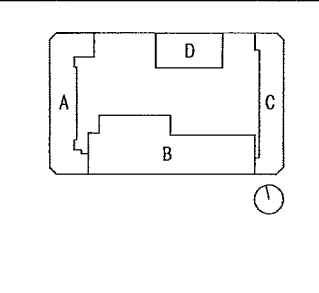
DESIGN ARCHITECT
BLIGH VOLLER NIELD

DESIGNER
BLIGH VOLLER NIELD PTY LTD
BLIGH VOLLER NIELD PTY LTD ACN 010 714 128
1/1 SPYGLASS BUILDING 121 LA COCH DRIFT
DARWIN ACT 081 000000
GPO BOX 2810 DARWIN ACT 081 000000
TEL (08) 811 4111 FAX (08) 811 4111
www.bvnl.com.au

CONSTRUCTION DOCUMENTATION
dezignteam
ARCHITECTURAL PROJECTS

TRAFFIC ENGINEER
HUGHES TRUMAN

COOLAHN OFFICES 84/85 STURDY STREET WESTON
PH (07) 4284 6130



PROJECT
GUNGAHLIN SQUARE - S10 GUNGAHLIN

CLIENT
SECTION 10 GUNGAHLIN PTY LTD

DRAWING TITLE
LANDSCAPE PLAN

SCALE
1:200

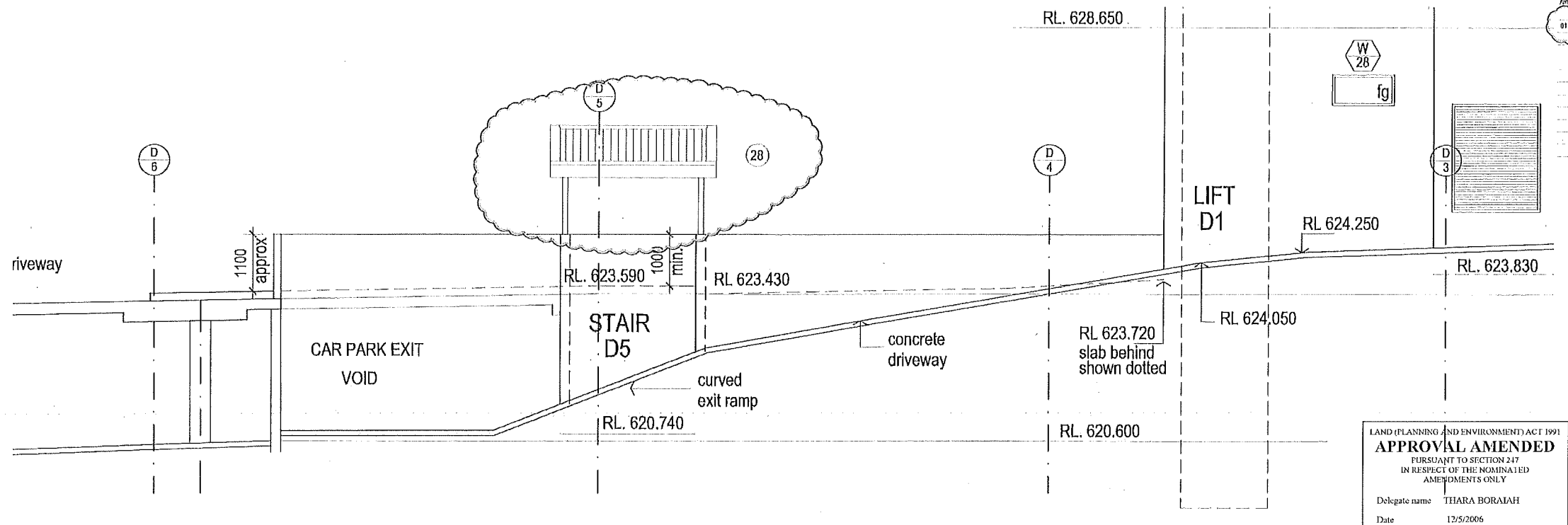
DRAWN
DATE
MAY 2006

PROJECT NO
332-GUN

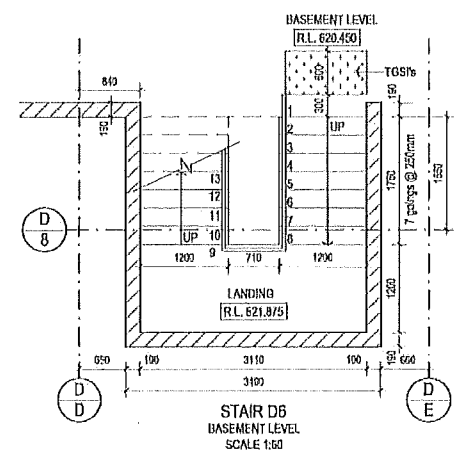
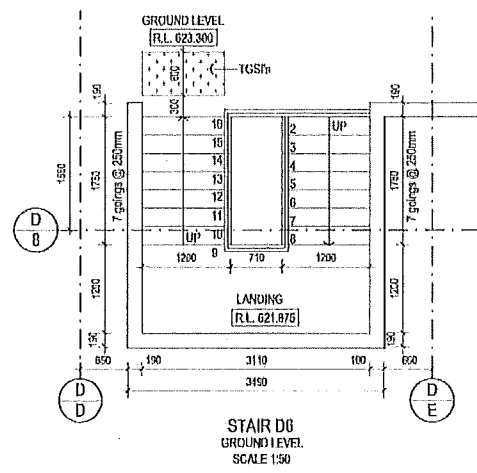
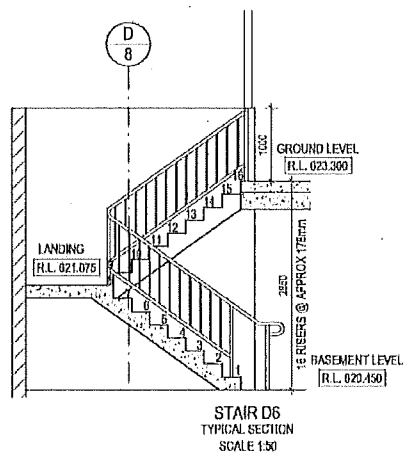
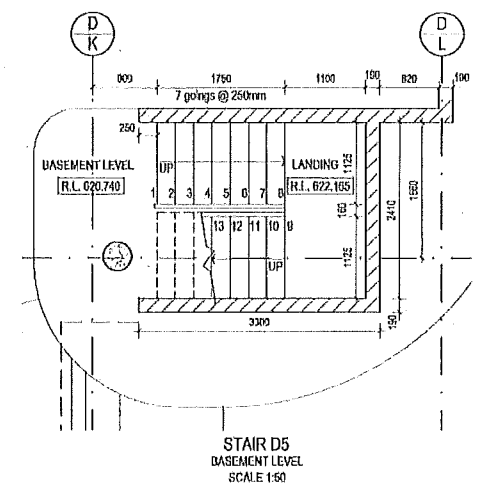
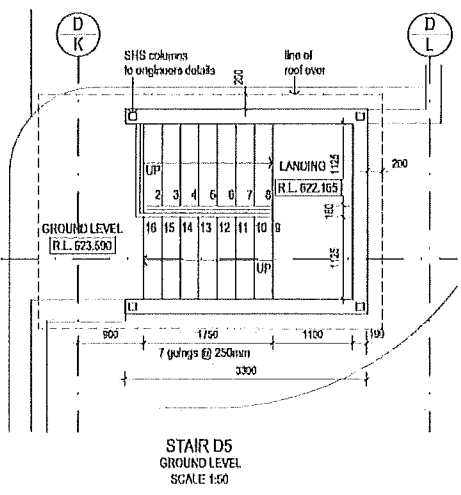
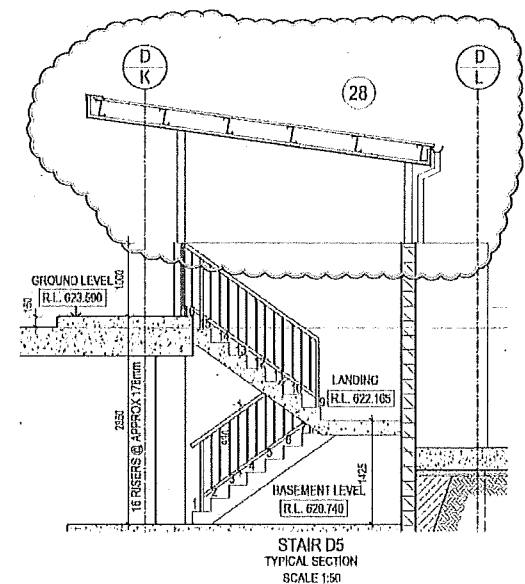
DRAWING NO
DA-LANDSCAPE

SHEET NO
6

PA PERMITS/ISSUES	
01 22/02/06	28 STAIR ROOF ADDED



LAND (PLANNING AND ENVIRONMENT) ACT 1991
APPROVAL AMENDED
 PURSUANT TO SECTION 247
 IN RESPECT OF THE NOMINATED
 AMENDMENTS ONLY
 Delegate name: THARA BORAIHA
 Date: 12/5/2006



CUSTOM PLUMBING SERVICES PTY. LTD.
 2111 CLAYTON ST. LEONARD
 NSW ACT 2073
 PH: 02 6200 0071 FAX: 02 6200 0071
Custom Plumbing

ACOUSTIC LOGIC
 SUITE 3
 6-8 BELMONT RD. BIRKENHEAD NSW 1504
 PH: 02 9294 9071 FAX: 02 9294 9071

ERIC MARTIN & ASSOCIATES
 SUITE 10
 68 JARVIS ST. WAGGA WAGGA NSW 2671
 PH: 02 6200 0071 FAX: 02 6200 0071

SELLICK CONSULTANTS
 SUITE 1A/18
 181 OXFORD ST. LEONARD NSW 2073
 PH: 02 6200 0071 FAX: 02 6200 0071

BLIGH VOLLER FIELD
 LEVEL 1 OVERLAY BUILDING
 171 LONDON STREET LEONARD NSW 2071

dezignteam
 ARCHITECTURAL PROJECTS
 APT 21/105 578 RD
 PORTS LANE, MARRICKVILLE NSW 2122
 PH: 02 9200 1111 FAX: 02 9200 1111
 www.dezignteam.com.au

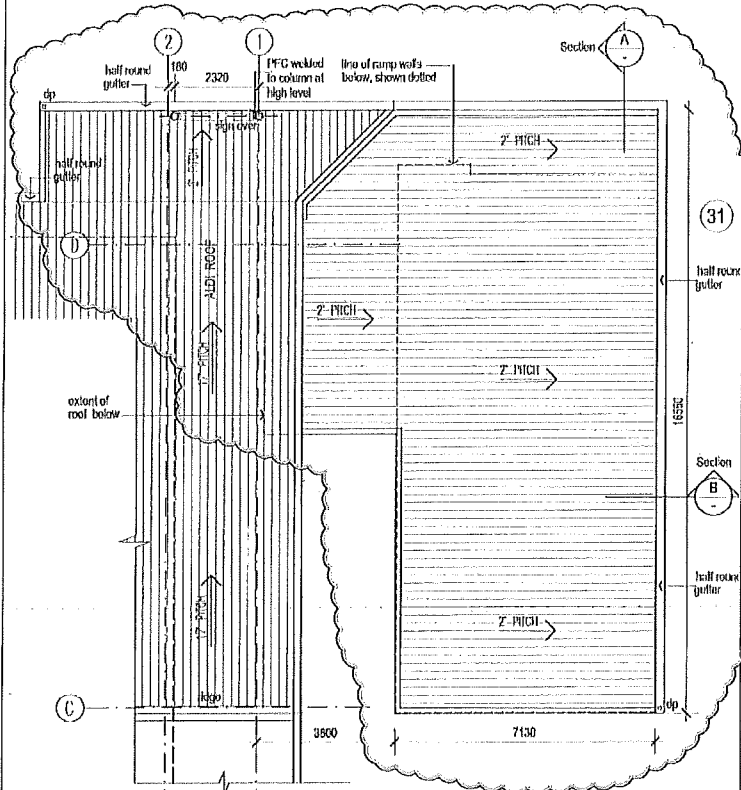
RESTIGE BUILDING SERVICES
 PTY LTD ACN 082 878 153
 ACT LIC 6345 NSW LIC 94191C
 PO BOX 309 WAGGA WAGGA NSW 2671
 PH: 02 6200 0222 FAX: 02 6200 0215

GUNGAHLIN SQUARE
 SECTION 10
 GUNGAHLIN PTY. LTD.
 BLOCK 1 SECTION 10
 GUNGAHLIN ACT

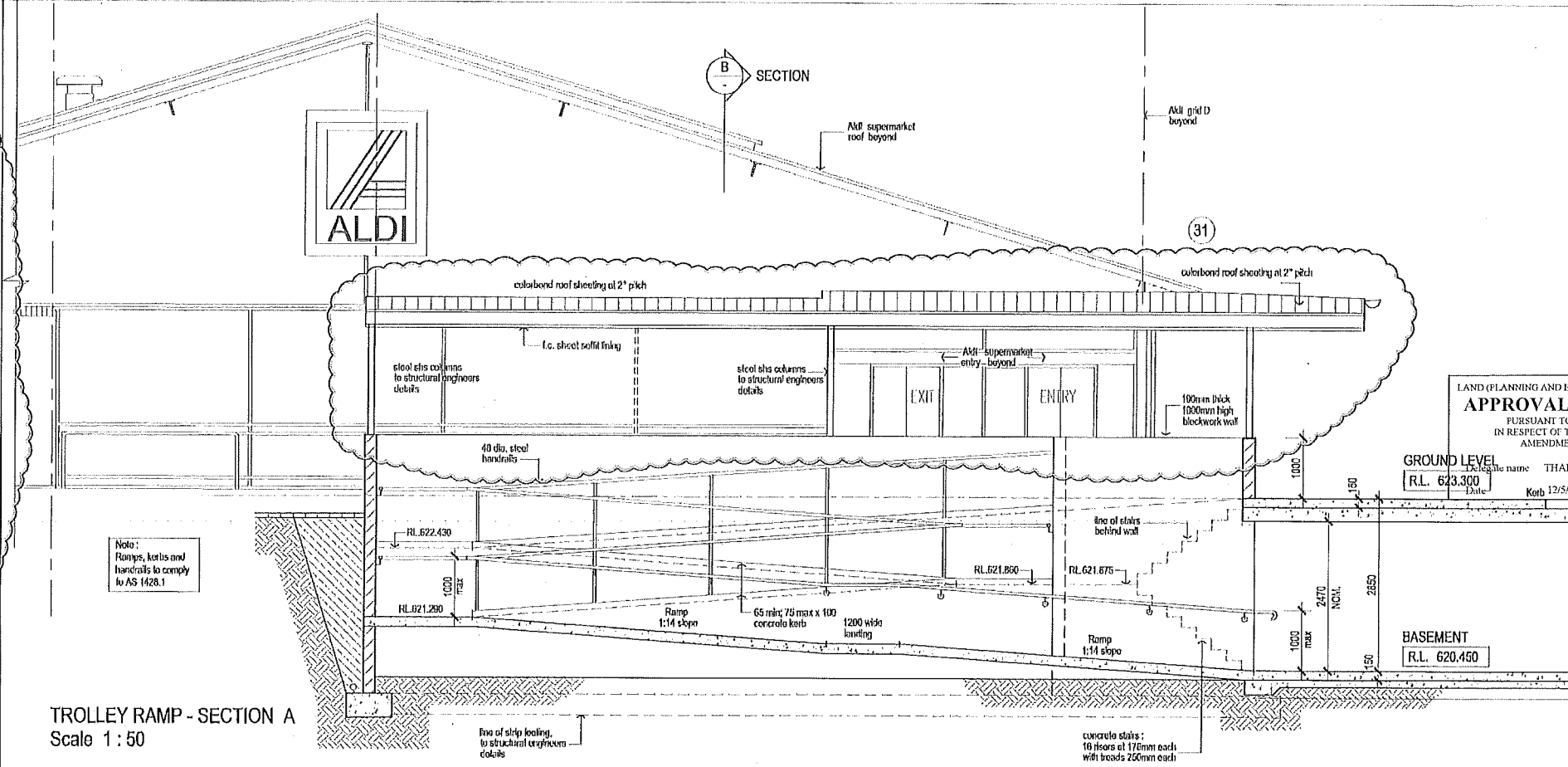
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 STAIR D5 & D6
 18.03.05
 332GUN D419 01
 1:50 @ A1
 1:100 @ A1

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<input type="checkbox"/> HQSD	<input type="checkbox"/> TENDER
<input checked="" type="checkbox"/> DA	<input type="checkbox"/> FOR CONSTRUCTION

01	22/02/06	DA SUBMISSION ISSUE
01	22/02/06	AL RAMP OVER TROLLEY RAMP REVISED

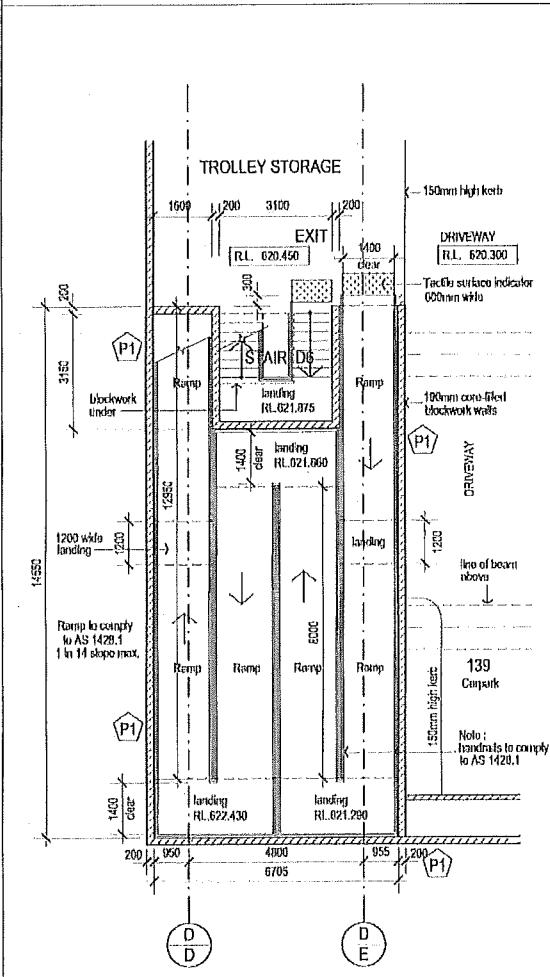


TROLLEY RAMP - ROOF PLAN

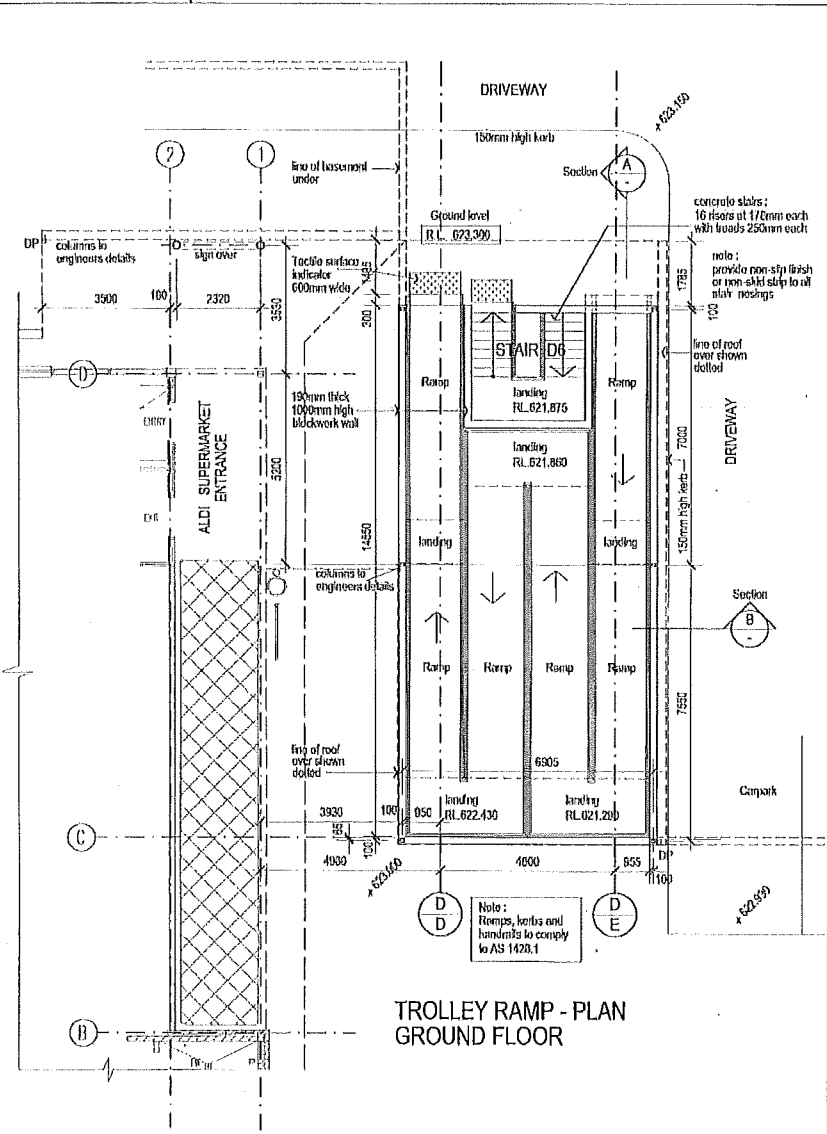


TROLLEY RAMP - SECTION A
Scale 1:50

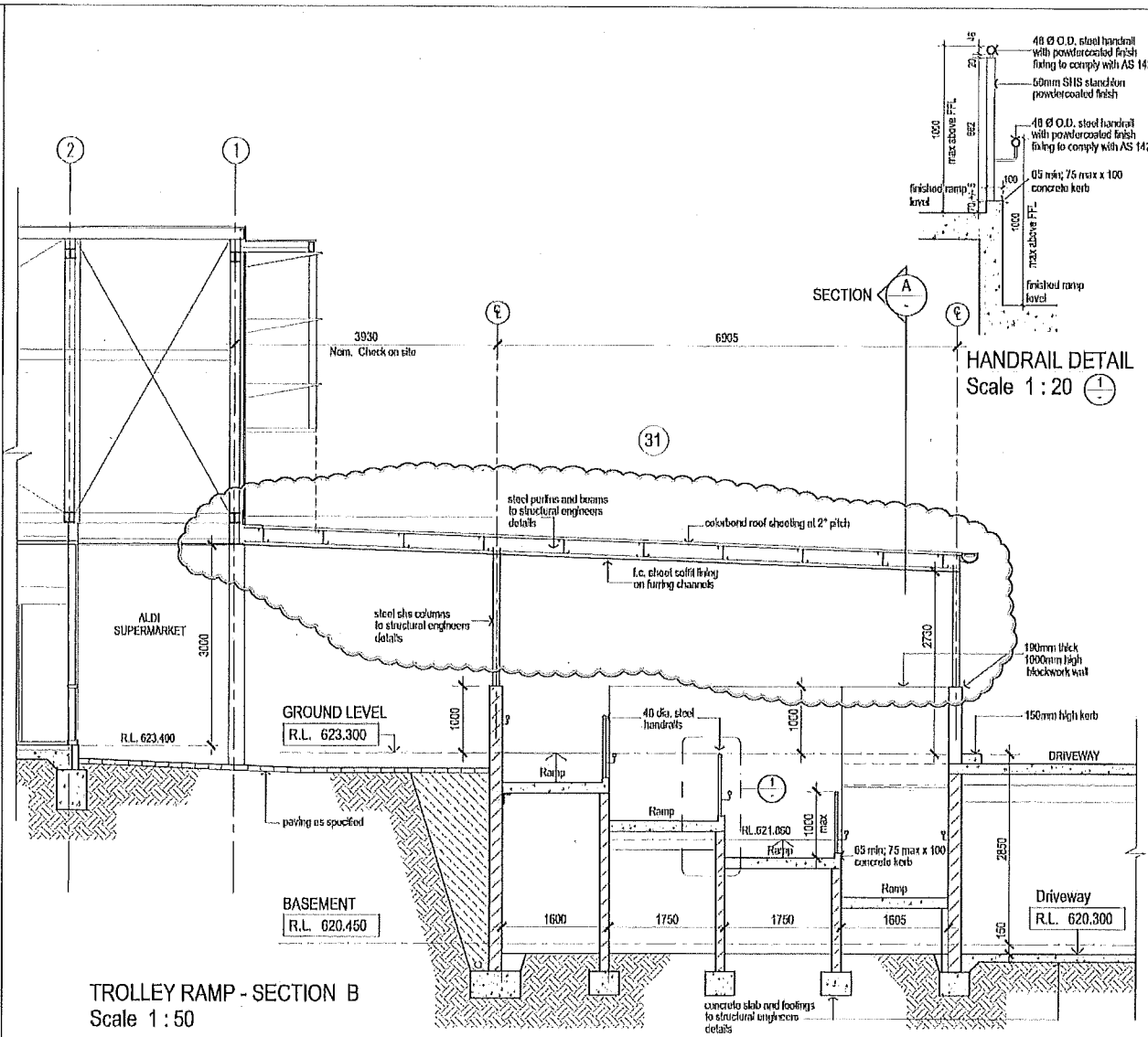
LAND (PLANNING AND ENVIRONMENT) ACT 1991
APPROVAL AMENDED
 PURSUANT TO SECTION 247
 IN RESPECT OF THE NOMINATED
 AMENDMENTS ONLY
 Project name: THARA BORALIAH
 R.L. 623.300
 Date: 12/5/2006



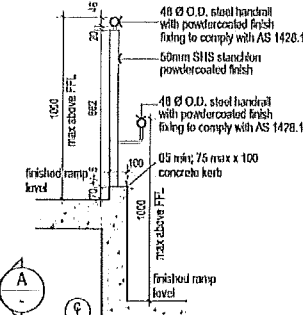
TROLLEY RAMP - PLAN
BASEMENT Scale 1:100



TROLLEY RAMP - PLAN
GROUND FLOOR Scale 1:50



TROLLEY RAMP - SECTION B
Scale 1:50



HANDRAIL DETAIL
Scale 1:20

INTERIOR PLUMBING
CUSTOM PLUMBING SERVICES PTY. LTD.
 27 HIGGINS DRIVE, EPPING NSW 1510
 PH: 02 9639 1111
 www.customplumbing.com.au

ACoustic ENGINEER
ACOUSTIC LOGIC
 SUITE 10
 6-9 CREWELL ROAD, NEWCASTLE NSW 1590
 PH: 02 4929 0999
 www.acousticlogic.com.au

AGENCY CONSULTANT
ERIC MARTIN & ASSOCIATES
 SUITE 10
 6-9 CREWELL ROAD, NEWCASTLE NSW 1590
 PH: 02 4929 0999
 www.ericmartin.com.au

STRUCTURAL & CIVIL ENGINEERS
SELICK CONSULTANTS
 SUITE 10
 14 LONGWELL ROAD, NEWCASTLE NSW 1590
 PH: 02 4929 0999
 www.slick.com.au

DESIGN ARCHITECT
BLIGH VOLLER FIELD
 1/151 SYDNEY ROAD, NEWCASTLE NSW 1590
 PH: 02 4929 0999
 www.bvfield.com.au

ARCHITECTURAL DOCUMENTATION
dezignteam
 ARCHITECTURAL PROJECTS
 SUITE 10
 6-9 CREWELL ROAD, NEWCASTLE NSW 1590
 PH: 02 4929 0999
 www.dezignteam.com.au

RESTIGE BUILDING SERVICES
 PTY LTD
 ACT LIC 63416 NSW LIC 04191C
 PO BOX 300
 80/85 GLEBESTONE ST. SYDNEY NSW 1510
 PH: 02 9222 0222 FAX: 02 9222 0216

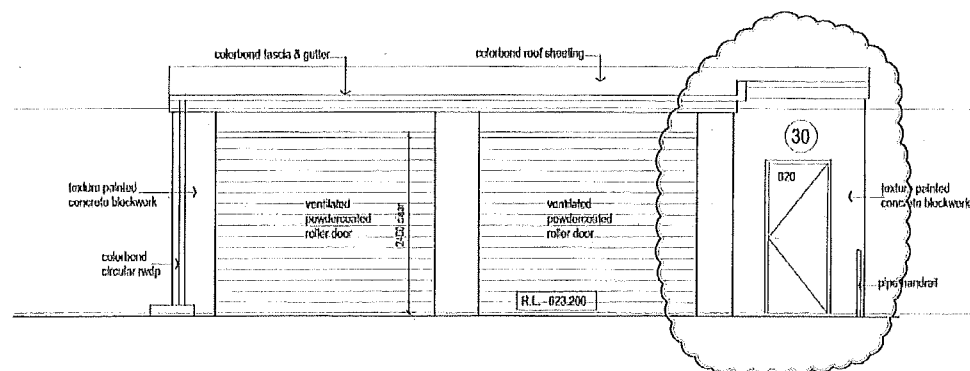
GUNGAHLIN SQUARE
 SECTION 10
 GUNGAHLIN PTY. LTD.
 BLOCK 1 SECTION 10
 GUNGAHLIN ACT

BLOCK 'D' TROLLEY RAMP DETAILS
 Date: 05.10.2004
 Scale: 1:100 @ A1 UNO.

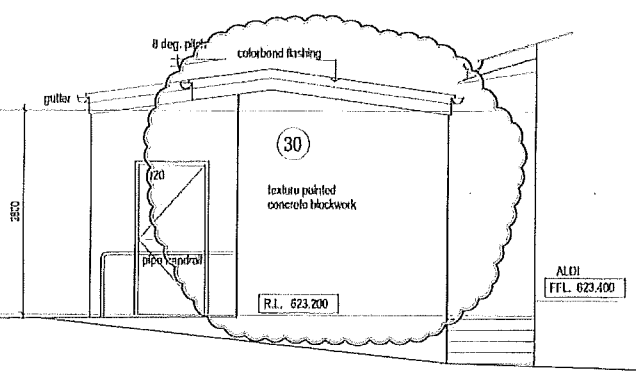
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<input type="checkbox"/> HOSD	<input type="checkbox"/> TENDER
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Revisions

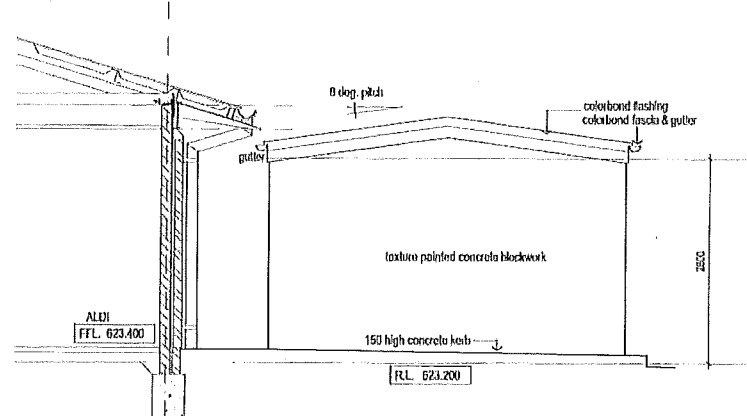
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02	22.02.06	DA SUBMITTED FOR REVIEW
		2ND REVIEW OK'ED
		3RD JANITORING STORES ADDED



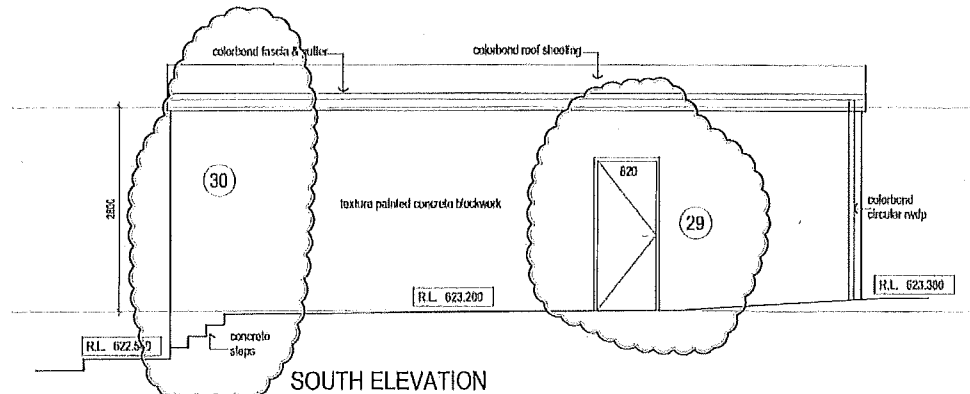
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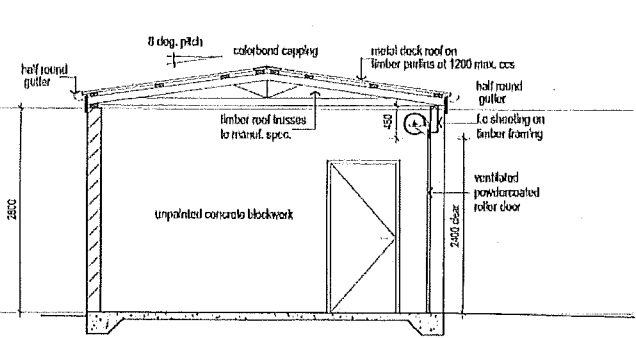
WEST ELEVATION



EAST ELEVATION

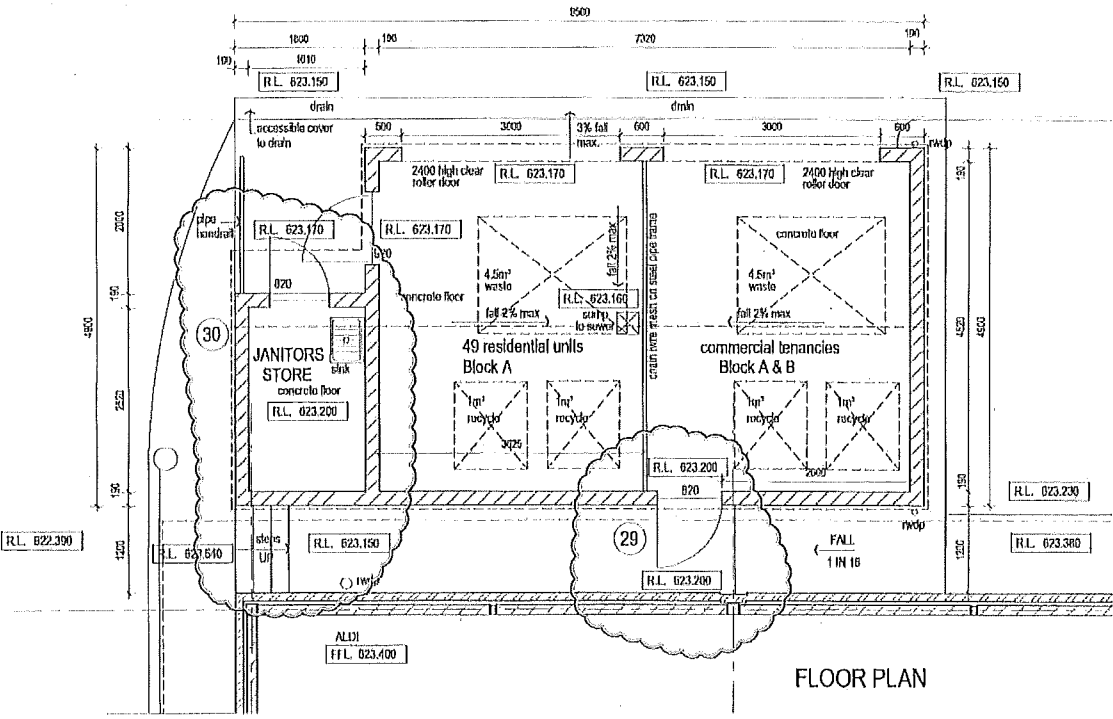


SOUTH ELEVATION



TYPICAL SECTION

LAND (PLANNING AND ENVIRONMENT) ACT 1991
APPROVAL AMENDED
 PURSUANT TO SECTION 247
 IN RESPECT OF THE NOMINATED
 AMENDMENTS ONLY
 Delegate name THARA BORAIAH
 Date 12/5/2006



FLOOR PLAN

PROFESSIONAL ENGINEER
CUSTOM PLUMBING SERVICES PTY. LTD.
 2/110 CLARKE ST. FISHWICK
 5041 SA. ACT 5008
 ph. 08 8250 9200 fax 08 8250 9211

PROFESSIONAL ENGINEER
ACUSTIC LOGIC
 SUITE 1
 8 - 8 CH. WIL. PL. NORTH RIVER ACT 2814
 ph. 08 8250 9200 fax 08 8250 9211

ACCREDITED COMPANY
ERIC MARTIN & ASSOCIATES
 SUITE 10
 100 JAMES ST. MINGHAM ACT 2801
 ph. 02 6790 8200 fax 02 6790 8410

STRUCTURAL & CIVIL ENGINEERS
SELICK CONSULTANTS
 SUITE 15 & 16
 110 CANNON ST. MELBOURNE ACT 3000
 ph. 02 9247 2700 fax 02 9247 2000

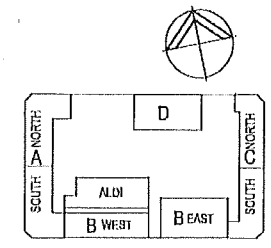
DESIGN ARCHITECT
BLIGH VOLLER NIELD
 LEVEL 11 MURRAY BUILDING
 125 LINDSAY STREET GARDENBA ACT 2015

ARCHITECTURAL DOCUMENTATION
dezignteam
 ARCHITECTURAL PROJECTS
 AREA 33 005 878 001
 PO BOX 200, MERRICK ACT 2400
 ph. 08 8250 9211
 fax 08 8250 9211
 email: www.kidztoys.com.au

RESTIGE
BUILDING SERVICES
 PTY LTD ACN 002 878 153
 ACT LIC 6345 NSW LIC 94191C
 PO BOX 300 FISHWICK ACT 2800
 1015 CLARKE ST. FISHWICK
 PH. 0820 9222 FAX: 0820 0215

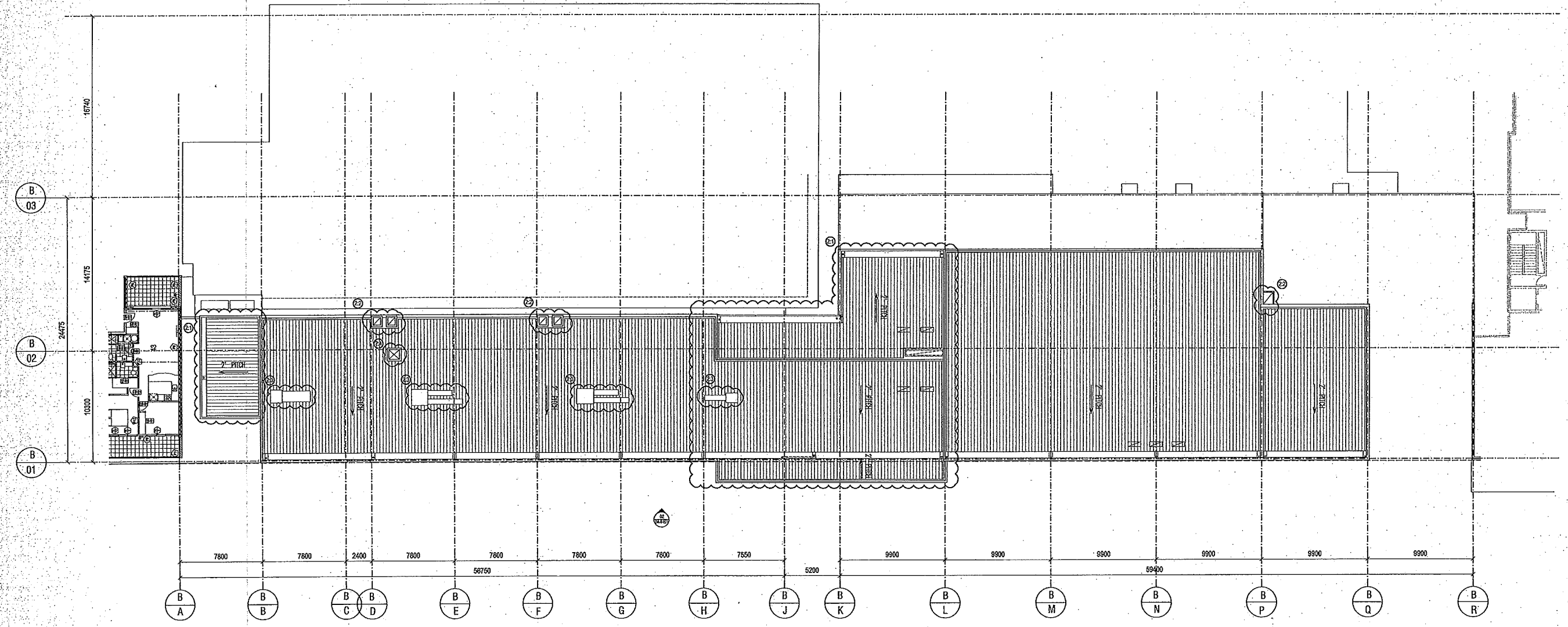
GUNGAHLIN SQUARE
 SECTION 10
 GUNGAHLIN PTY. LTD.
 BLOCK 1 SECTION 10
 GUNGAHLIN ACT

GARBAGE ENCLOSURE No. 1
 PLANS & ELEVATIONS
 date: 02.02.06
 scale: 1:100 (A1)
 1:100 (A3)
 332GUN 603 02
 PRELIMINARY REVIEW
 HQSD TENDER
 DA FOR CONSTRUCTION



LAND (PLANNING AND ENVIRONMENT) ACT 1991
APPROVAL AMENDED
 PURSUANT TO SECTION 247
 IN RESPECT OF THE NOMINATED
 AMENDMENTS ONLY
 Delegate name: RAVI SINGH
 Date: 16/8/2005

Works Outside the Lease Boundary
 not Included in this Approval



01 BLOCK B ROOF LEVEL PLAN

REV	DATE	AMENDMENTS
1	03.06.05	ROOF SETOUT REVISED
2-1		DUCT RISERS ADDED
2-2		AC UNITS PROVIDED
2-3		ACCESS HATCH PROVIDED
2-4		

CHK	REV	DATE	AMENDMENTS	CHK

RESTIGE BUILDING SERVICES PTY LTD ACN 082 878 153 NSW LIC 94191C
 PO BOX 309 Fyshwick ACT 2609
 87145 GLADSTONE ST. Fyshwick VIC 3206
 PH: 6280 8222 FAX: 6280 8215

STRUCTURAL CIVIL & WASTE ENGINEERS
 SELLUCK CONSULTANTS SUITE 15/16 14 LONGDALE ST BRANDON ACT 2812
 PH: (08) 927 7706 FAX: (08) 927 2020

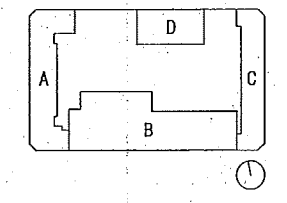
ACOUSTIC ENGINEER
 ACUSTIC LOGIC SUITE 6, 6-8 OSWINE PLACE ROSEBERY VIC 3108
 PH: 9418 413 231

ACCESSIBILITY CONSULTANT
 ERIC MARTIN AND ASSOCIATES SUITE 10/68 AVONDALE ST KINGSTON ACT 2604
 PH: (02) 6360 6363 FAX: (02) 6360 9413

DESIGN ARCHITECT
BLIGH VOLLER NIELD
 BRIDGEWAY STREET, CANBERRA AUSTRALIA
 BLIGH VOLLER NIELD PTY LTD ACN 114 124 110
 1/11, 1 BROADWAY BUILDING 321 LINDSON DRIVE
 CANBERRA ACT 2601 AUSTRALIA
 GPO BOX 2619 CANBERRA ACT 2601 AUSTRALIA
 TELEPHONE: 616 6242 8668 FACSIMILE: 616 6254 4958
 www.bvnl.com.au

CONSTRUCTION DOCUMENTATION
dezignteam
 ARCHITECTURAL PROJECTS
 PO Box 9900, Manuka ACT 2603
 PH: 02 62072444 Fax: 02 62072441
 A/RN: 33 085 578 061
 email: wwwick@dezignteam.com.au

TRAFFIC ENGINEER
HUGHES TRUMAN
 COOLEMAN OFFICES BRISBAY STREET WILSON
 PH: (02) 6238 8130



PROJECT: **GUNGAHLIN SQUARE - S10 GUNGAHLIN**

CLIENT: SECTION 10 GUNGAHLIN PTY LTD

DRAWING TITLE: **BLOCK B - ROOF LEVEL PLAN**

SCALE: 1:200 @ A1

DATE: JUN 2005

PROJECT NO: 332-GUN

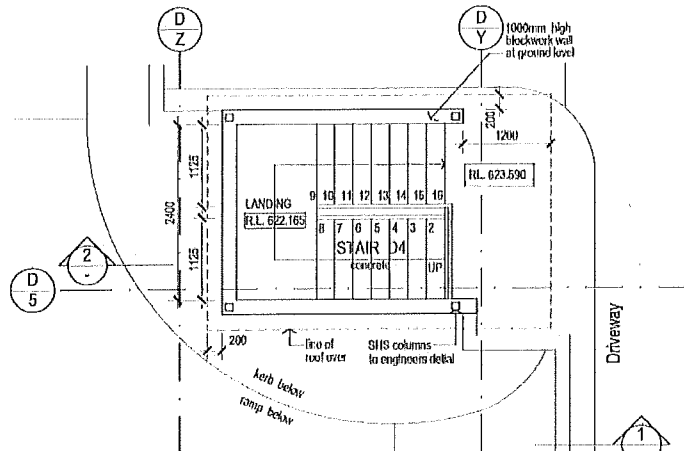
DWG NO: DA-B-003

ISSUE: 2

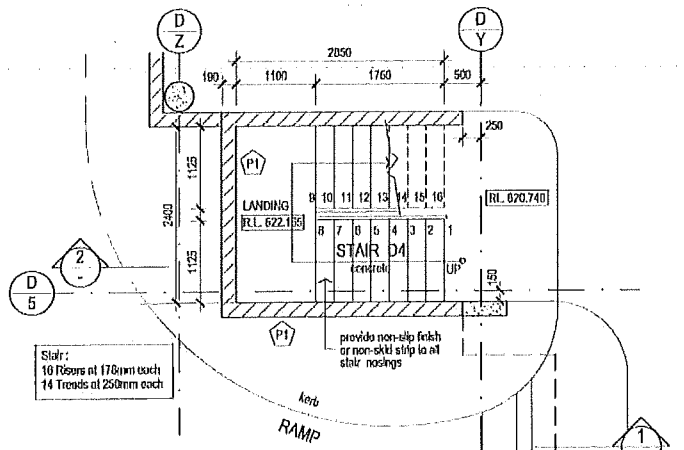
SEE FOLLOWING DRAWINGS IN PRECEDENCE TO THIS SET. CHECK ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK.

(C) This drawing remains the property of the Designer. Any form of reproduction of this drawing without the prior written permission of the Designer is prohibited.	
DA	DA
01	23. STAIR ROOM ADDED
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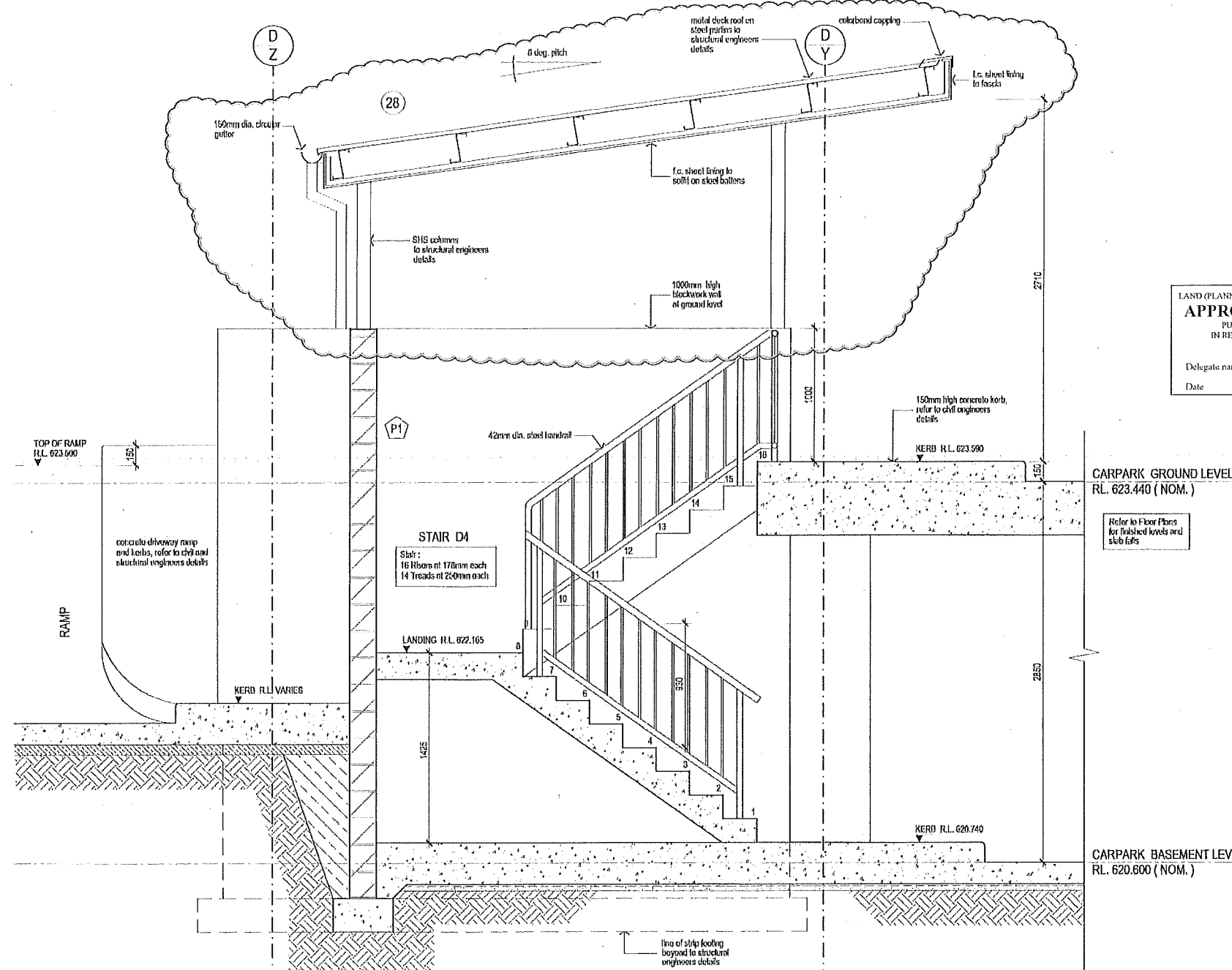
LAND (PLANNING AND ENVIRONMENT) ACT 1991
APPROVAL AMENDED
 PURSUANT TO SECTION 247
 IN RESPECT OF THE NOMINATED
 AMENDMENTS ONLY
 Delegate name THARA BORALAH
 Date 12/5/2006



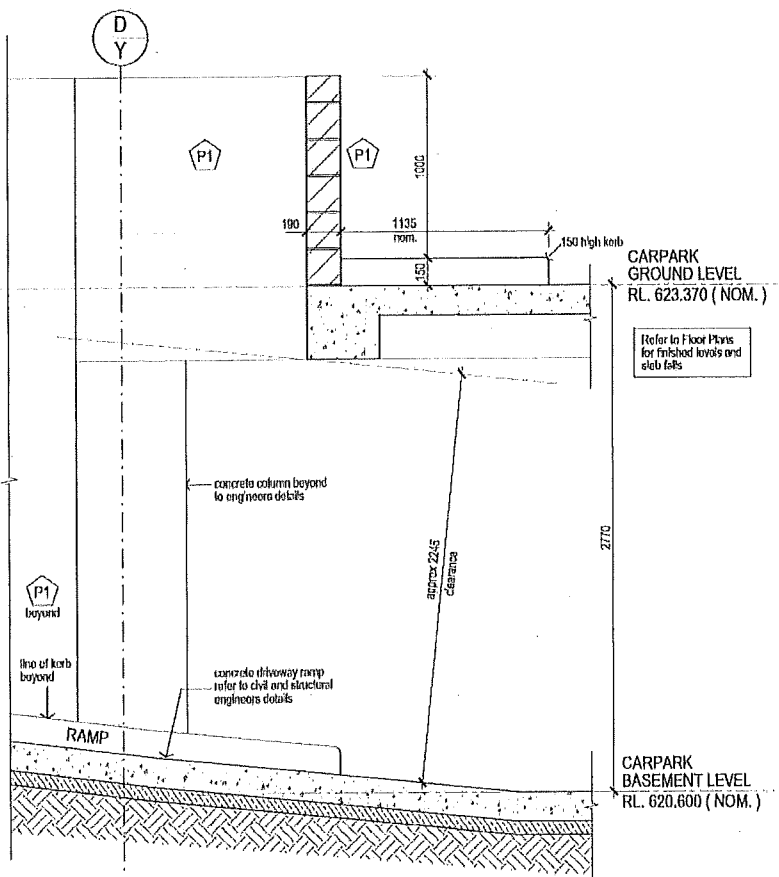
STAIR D4 - GROUND FLOOR PLAN
 BLOCK D - ZONE 1 Scale 1 : 50



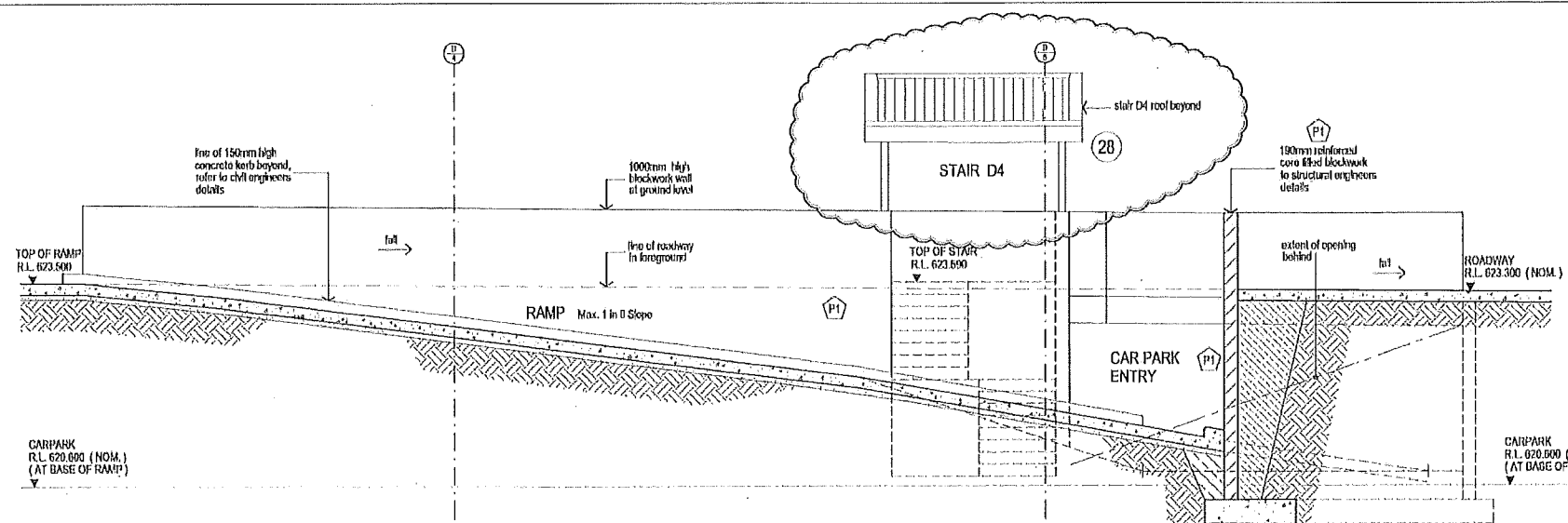
STAIR D4 - BASEMENT PLAN
 BLOCK D - ZONE 1 Scale 1 : 50



SECTION 2 - CARPARK STAIR D4
 BLOCK D - ZONE 1 Scale 1 : 20



SECTION 1 - CARPARK ENTRY RAMP
 BLOCK D - ZONE 1 Scale 1 : 20



SECTION 3 - CARPARK ENTRY RAMP
 BLOCK D - ZONE 1 Scale 1 : 50

PLUMBING SERVICES
CUSTOM PLUMBING SERVICES PTY. LTD.
 2/14 CLAREMONT ST. SYDNEY NSW 2018
 PH: 02 9571 5077 FAX: 02 9571 3111
 Custom Plumbing

ACOUSTIC ENGINEER
ACOUSTIC LOGIC
 SUITE 2
 8-12 CECIL ST. MOSMANN NSW 2088
 PH: 02 9571 5077 FAX: 02 9571 3111

ACCESSIBILITY CONSULTANT
ERIC MARTIN & ASSOCIATES
 SUITE 10
 80 WINDSOR ST. MOSMANN NSW 2088
 PH: 02 9571 5077 FAX: 02 9571 5143

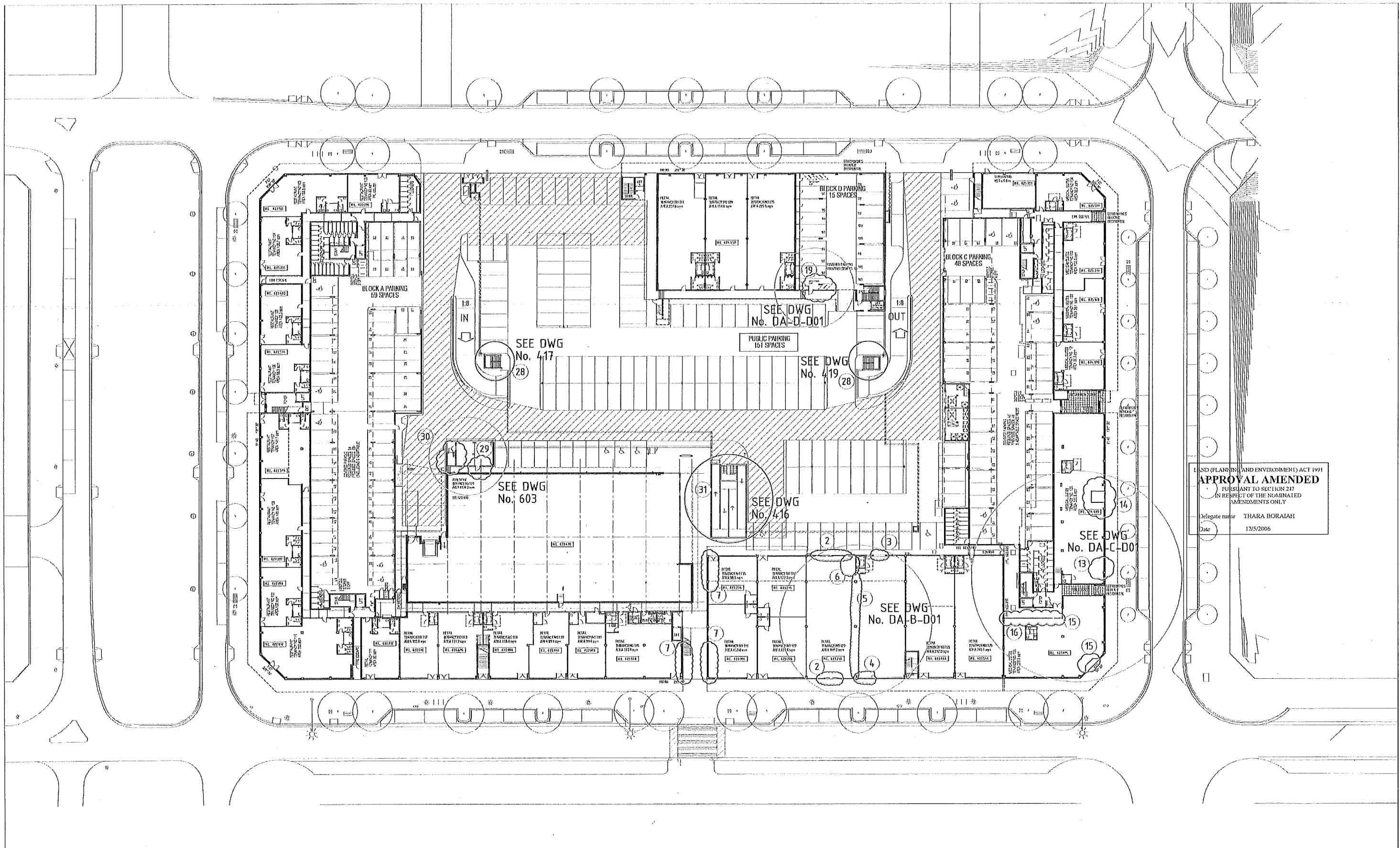
STRUCTURAL & CIVIL ENGINEERS
SELICK CONSULTANTS
 SUITE 15 & 17
 11 LONGGATE ST. BRANDON NSW 2262
 PH: 02 9751 2700 FAX: 02 9751 2702

DESIGN ARCHITECT
BLIGH VOLLER NIELD
 LEVEL 1 STONEY RUN 1990
 101 LORRISON STREET GUNGAHLIN NSW 2015

ARCHITECTURAL DOCUMENTATION
dezignteam
 ARCHITECTURAL PROJECTS
 4/24 STANLEY ST
 170 DRUMM ST. MOSMANN NSW 2088
 PH: 02 9571 5077
 FAX: 02 9571 3111
 email: team@dezignteam.com.au

RESTIGE BUILDING SERVICES
 PTY LTD
 ACT LIC 6345 NSW LIC 84191C
 170 DRUMM ST. MOSMANN NSW 2088
 1745 GLADSTONE ST. GUNGAHLIN NSW 2015
 PH: 02 9571 5077 FAX: 02 9571 3111

GUNGAHLIN SQUARE
 SECTION 10
 GUNGAHLIN PTY. LTD.
 BLOCK 1 SECTION 10
 GUNGAHLIN ACT
BLOCK 'D'
 DETAIL SECTIONS
 date: 11.10.2001
 scale: 1:20 & 1:50 @ A1
 PRELIMINARY REVIEW
 HQSD TENDER
 DA FOR CONSTRUCTION



LAND (PLANNING AND ENVIRONMENT) ACT 1991
APPROVAL AMENDED
 PURSUANT TO SECTION 247
 IN RESPECT OF THE NOMINATED
 AMENDMENTS ONLY.
 Delegate name THARA BORALAH
 Date 12/5/2006

REV	DATE	AMENDMENTS
1	07.11.03	DA ISSUE
2	02.02.04	DA RE-ISSUE
3	22.07.04	NEW STREET PARKING ARRANGEMENT FLOOR LEVEL ADJUSTED TO SIFT REVISION FOOTPATH LEVELS as per Notice of Decision
4	03.06.05	FLOOR LEVELS REVISED WASTE ENCLOSURES REVISED CARPARK FACILITY REVISED PROVISION FOR EXT REVISED NO. OF PUBLIC CARPARKS REVISED THE HYDRANT BOOSTER
4.1		
4.2		
4.3		
4.4		
4.5		
4.6		

REV	DATE	AMENDMENTS
5	22.02.05	2. NEW SLIDING ENTRY DOORS ADDED 3. NEW BOLLER DOOR ADDED 4. NEW WINDOWS TO REPLACE DOORS 5. DELETE DIVING WALL 6. DELETE TONELIS 7. GLAZING REPLACED WITH GLAZINGWORK 13. ENTRY DOOR DELETED 14. SLIDING DOOR & AIR LOCK DELETED 15. NEW SLIDING ENTRY DOOR IN LINE OF SWING DOOR 16. INTERNAL WALL LOCATION REVISED 19. EXT GATE ADDED 20. STAIR ROOF ADDED 29. CARPARK ENCLOSURE DOOR RELOCATED 30. JANITORS STORE ADDED 31. ROOF OVER TROLLEY RAMP REVISED

RESTIGE BUILDING SERVICES PTY LTD
 ACN 002 878 153
 ACT LIC G345 NSW LIC 94191C
 PO BOX 309 Fyshwick ACT 2600
 8/145 GLADSTONE ST. Fyshwick
 PH: 0290 6222 FAX: 0290 6216

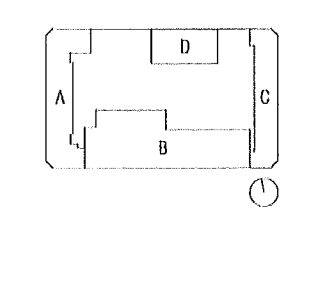
SEALING CONSULTANTS
 DATE 12/18/04 LICENSE NO 01 FLOOR PLAN 2017
 11/02/04 2015
 11/02/04 2015

ACUSTIC LOGIC
 DATE 10/06/04 ACT LIC 2011
 11/02/04 2015
 11/02/04 2015

BLIGH VOLLER NIELD
 ARCHITECTURAL PRACTICE

dezignteam
 ARCHITECTURAL PRACTICE

PO Box 2616, Marand ACT 2603
 ph. 02 8707444
 fax 02 8707744
 jim@dezignteam.com.au
 www.dezignteam.com.au



PROJECT
GUNGAGHLIN SQUARE - S10 GUNGAGHLIN

ISSUED
 SECTION 10 GUNGAGHLIN PLY LTD

PROPOSAL
 SITE PLAN - GROUND FLOOR

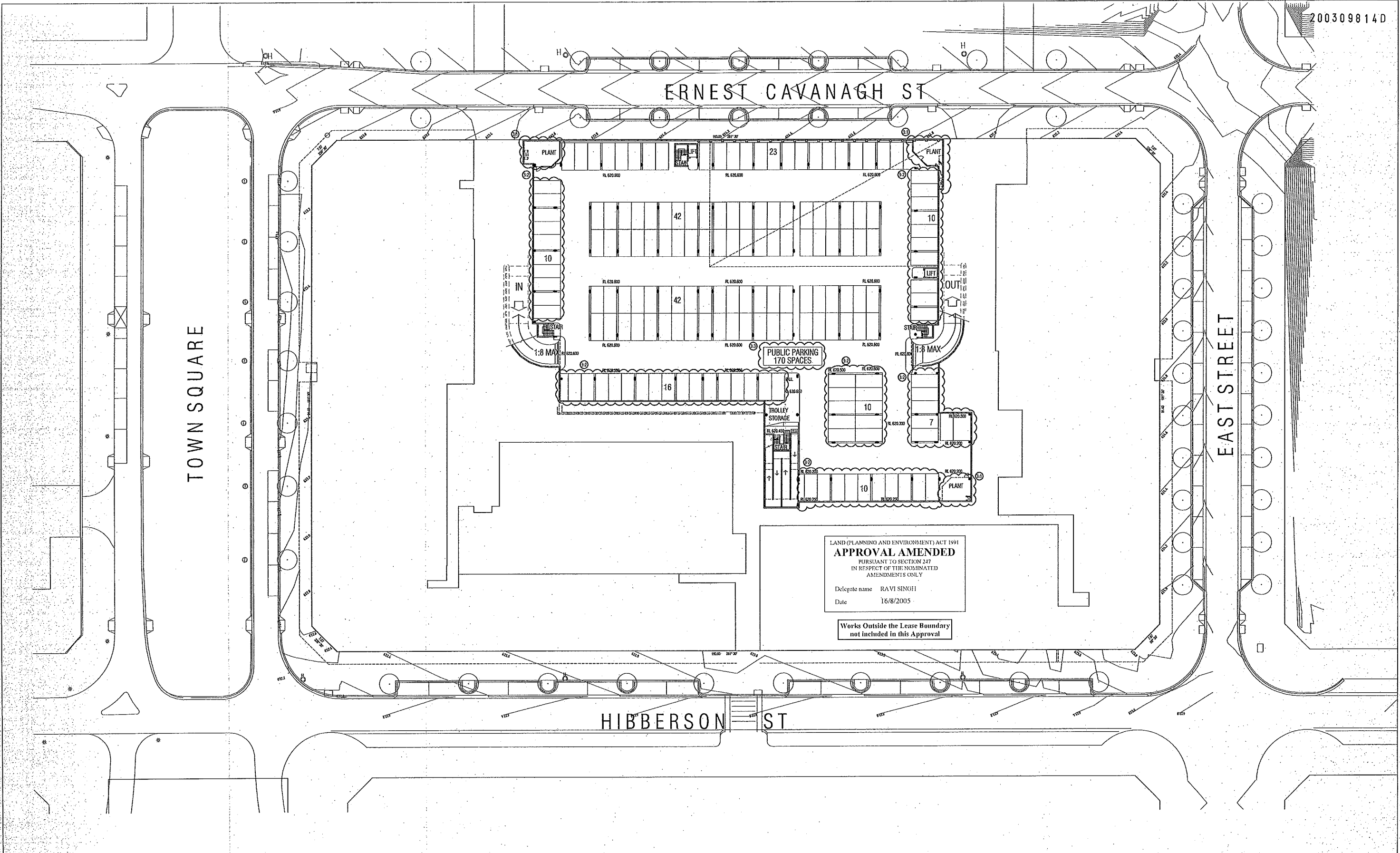
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DATE
 JUN 2005

PROJECT NO
 332-GUN

ISSUE NO
 DA-D01

PAGE NO
 5



LAND (PLANNING AND ENVIRONMENT) ACT 1991
APPROVAL AMENDED
 PURSUANT TO SECTION 247
 IN RESPECT OF THE NOMINATED
 AMENDMENTS ONLY
 Delegate name RAVI SINGH
 Date 16/8/2005

Works Outside the Lease Boundary
 not included in this Approval

REV.	DATE	AMENDMENTS	CHK
1	30.01.04	PARKING SPACES ADDED - ISSUE FOR DA	
2	20.07.04	LIFTS ADDED AS PER NOTICE OF DECISION	
3	03.06.05	PLANTS ROOMS ADDED CARPARK LAYOUT REVISED NO. OF PUBLIC CARPARKS REVISED	

REV.	DATE	AMENDMENTS	CHK

RESTIGE BUILDING SERVICES PTY LTD ACN 082 878 163
 ACT LIC 6346 NSW LIC 94191C
 PO BOX 309 Fyshwick ACT 2609
 8145 GLADSTONE ST. Fyshwick VIC 3206
 PH: 6280 8222 FAX: 6280 8215

STRUCTURAL, CIVIL & WASTE ENGINEERS
 SELICK CONSULTANTS
 ACUSTIC ENGINEER
 ACUSTIC LOGIC
 ACCESSIBILITY CONSULTANT
 ERIC MARTIN AND ASSOCIATES

SITE 15/16 14 LINDSAY ST BRADSHAW ACT 2912
 PH (02) 6357 2700 FAX (02) 6347 2002

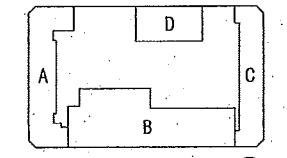
SITE 3, 4-9 ORENCE PLACE ROSEBERY NSW 2018
 PH 0410 413 233

SITE 10 68 ARLINE ST WINDSTON ACT 2904
 PH (02) 6360 0333 FAX (02) 6360 6113

CONSTRUCTION DOCUMENTATION
deziqnteam
 ARCHITECTURAL PROJECTISTS

PO Box 3302, Manly NSW ACT 2023
 PH 02 62607444
 PH 02 62607244
 ABN 53 065 578 061
 email: www.deziqnteam.com.au

TRAINED ENGINEER
HUGHES TRUMAN
 COULMAN OFFICES BRADLEY STREET WESTON
 PH (02) 6238 6130



PROJECT
GUNGAHLIN SQUARE - S10 GUNGAHLIN
 CLIENT
 SECTION 10 GUNGAHLIN PTY LTD

DRAWING TITLE
 SITE PLAN - BASEMENT LEVEL

SCALE
 1:350 @ A1

DATE
 JUN 2005

ISSUE
 3

PROJECT NO
 332-GUN

DWG NO
 DA-000