

Belconnen Farm Conservation Management Plan



Prepared by

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For

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EMA

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28 March 2014
FINAL



ACT Heritage Council

Notice of Approval of Conservation Management Plan under Section 110 of the *Heritage Act 2004*

The Heritage Council (the Council) has approved this Conservation Management Plan, Final Draft, Issue 8, 8 August 2013 (CMP) for Belconnen Farm on 26 March 2014.

Qualifications

In approving the CMP, the Council is satisfied that the Conservation Policies contained therein are appropriate to provide for the ongoing conservation of the heritage place. However, at this time it does not fully approve all aspects. In particular, the Council does not fully agree with:

- the assessment of significance; and
- Policy 5.3, and the management guideline to implement a Precinct Code to protect views from the heritage place.

The Council will use the CMP as a basis for any advice it needs to provide, along with its own expert view.

This approval is current for a period of five years from the date of approval.

Anna Gurnhill
A/c Secretary (as delegate for)
ACT HERITAGE COUNCIL

26 March, 2014

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EXECUTIVE SUMMARY

BACKGROUND

Belconnen Farm was included on the ACT Heritage Register in August 2011. To assist the owners to conserve and manage Belconnen Farm in the short and long term especially as there are potential planning changes to West Belconnen this Conservation Management Plan has been commissioned.

SIGNIFICANCE

Belconnen Farm is a significant farm group with the succession of buildings, remnant layout, cumulative plantings and various archaeological resources which all contribute to an understanding of the use and development of the place since the 1830s.

There is a special association with Captain Charles Sturt, noted explorer of much of the land through the Murrumbidgee River area. Sturt was granted the initial allocation of land as a reward for his explorations.

The c1850 stone cottage built by Charles Campbell, who was an important land holder in the area, demonstrates a commitment and permanence in rural settlement from this period as an effective way of managing his large land holding. The careful selection of the site beside two creeks, one with a spring, illustrates a sound understanding of farming. The location and orientation of the stone cottage to the Brindabellas and the outstanding views provides the cottage and its setting with a strong aesthetic presence.

Belconnen Farm is a notable example of an important part of Australia's rural development and settlement by being part of the post-World War I Soldier Settlement Scheme. Belconnen Farm, with the careful stewardship of Austin Sheppard developed into a well-run and viable farm which expanded in the 1920s despite the depression. After World War II and extensions of the lease, the ongoing viability was reinforced with further expansion of the Homestead by noted Canberra architect Ken Oliphant and construction of another cottage for the station hand.

There are significant components such as the Monterey Pine and edible fig, both extremely rare in the ACT at the time (c1850), that are an integral part of the history of the site. The archaeological remnants of yards, fences and former structures, plantation and windbreaks demonstrate an evolution of both the farm and farming practice from the 1850s.

OVERALL CONSERVATION OBJECTIVE

The overall conservation objective presented in the following policies is to ensure that the heritage value of Belconnen Farm is conserved. The preservation of essential existing fabric is of high importance but change to permit an ongoing operation as a farm or other viable use is possible provided heritage values are not adversely affected. Maintenance of key views and elements of a rural setting are also important.

CONSERVATION OBJECTIVES

1. To ensure that any decisions or actions which will impact on the significance of the place are based upon professional conservation planning principles.
2. To provide for appropriate ongoing active use of the place and provide, if possible, accessibility to the public.
3. To maximize the retention of the cultural significance of Belconnen Farm site.
4. To retain the existing and historical forms, details and character of the place while allowing ongoing effective use of tenanted facilities. Changes are possible but within certain controls. This includes work:

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- Essential for the ongoing conservation or retention of conservation values, or
 - To ensure the economic viability of the facility change to the place including upgrading may be required to accommodate a new use but will require individual assessment of impact.
5. On the basis of the Australia ICOMOS Charter for Places of Cultural Significance (The Burra Charter), ensure the proper conservation of the Belconnen Farm cultural landscape, where vestiges of the 19th and early 20th century layout, plantings and views of exceptional, high or some cultural significance are conserved, maintained and interpreted.

NB. For the sake of this review, the Belconnen Farm cultural landscape is defined as that part of the former estate that relates most crucially to the setting of the stone cottage including traditional views from it.

6. To ensure that appropriate records are made before changes to the place.
7. To enhance community understanding and awareness of the history and significance of the place through implementing an interpretation Strategy.
8. Maintain archaeological control on all work where it may affect an item of significance.
9. To ensure there is an appropriate management structure in place to advise conservation of the place and define who is responsible for management and conservation of the place.

CONSERVATION WORKS

Critical conservation works are required to the Stone cottage, Shearers' Quarters and Exterior of Woolshed. Other buildings require ongoing maintenance. The landscape also requires ongoing maintenance, weed management and arboricultural review of the significant old Monterey Pine and *Ficus carica*.

1.0 INTRODUCTION

1.1 Background

In October 2011 Eric Martin and Associates were engaged to prepare a Conservation Management Plan (CMP) for the recently heritage listed Belconnen Farm as the owners wanted more specific and detailed information on the conservation and management of the place especially with potential planning changes to West Belconnen.

1.2 Brief

The overall objective of brief is to prepare a CMP that is an effective and practical document for the ongoing management of the heritage values of the place. The CMP is to be consistent with ACT Heritage Unit Standard Brief for CMPs and ICOMOS Guidelines including the Burra Charter (a copy of the brief, which is a return submission to the client) is included as Appendix F.

1.3 Methodology

The methodology used is as briefed and includes:

Documentary Evidence

- Prepare a history of the farm and in particular the site and associated structures and details.

Physical evidence

- Prepare a detailed description of the setting, the site and all the elements within the site including a comment on changes, condition and integrity.

Analysis and Statement of Significance

- Undertake an analysis including a comparative analysis and then prepare a statement of significance for the site and elements.
- Prepare a statement of significance for the site.

Opportunities and Constraints

- Set down the requirements of authorities, stakeholders, owners and those arising from the statement of significance.

Conservation Policies

- Prepare detailed policies related to the significance of the place, use, potential changes, management, interpretation and any other related issues.

Management

- Outline management responsibilities including any maintenance works that may be required to the site or its elements.

1.4 Site

The study site is the area defined in the existing heritage citation which is part of Block 1605 in the District of Belconnen (refer Figures Figure 1 and Figure 2).

The elements on the site have been referred to using the names used in the heritage citation and identified in Figure 2 with the exception that the term 'Stone Cottage' is used for the earliest building (referred to by several names in the citation) and there is conjecture about names of parts of the shearers' quarters. The whole of the farm including the listed area is referred to as Belconnen Farm.

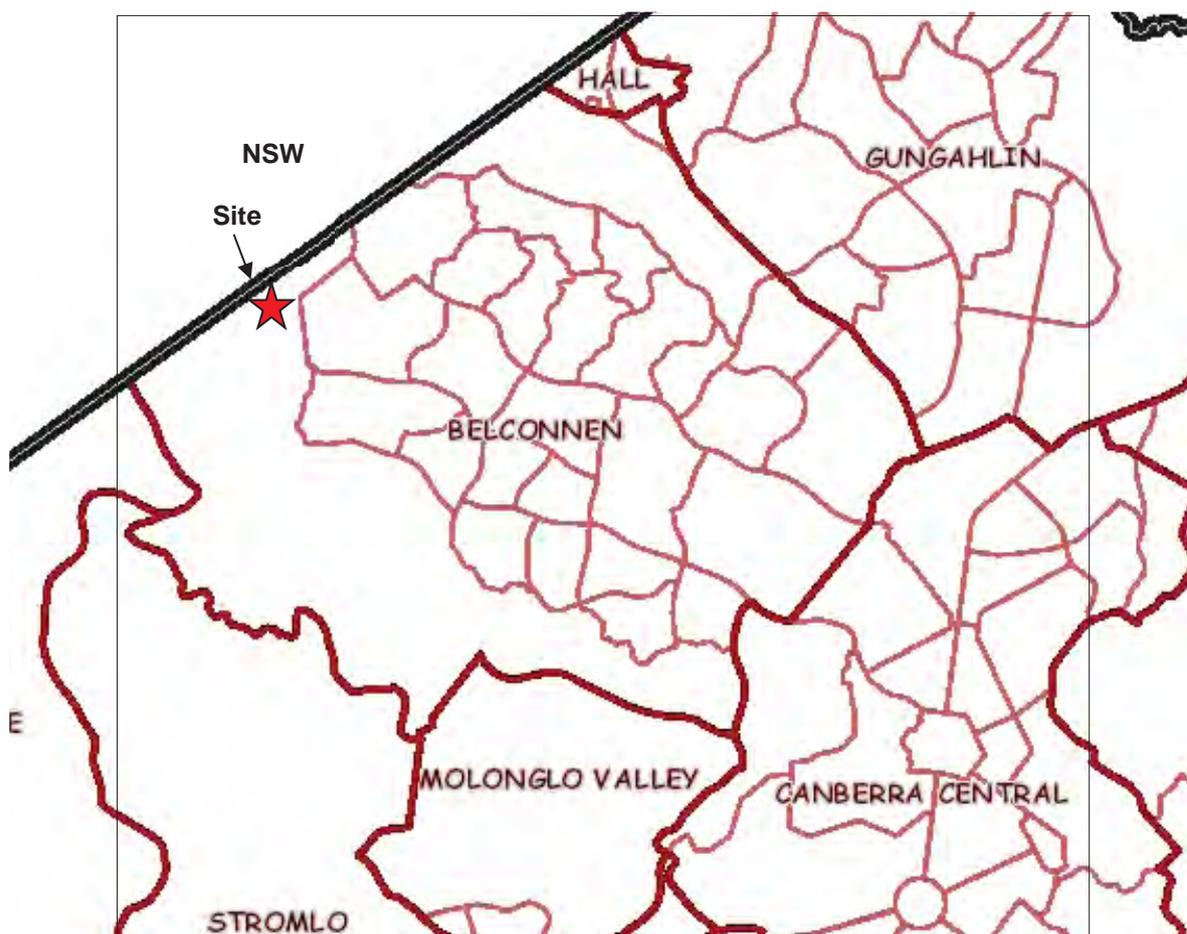


Figure 1: Location Plan

Source: ACTMapi, accessed February 2012

http://www.actmapi.act.gov.au/SilverlightViewer_1_2/Viewer.html?Viewer=ACTMAPI Online Maps

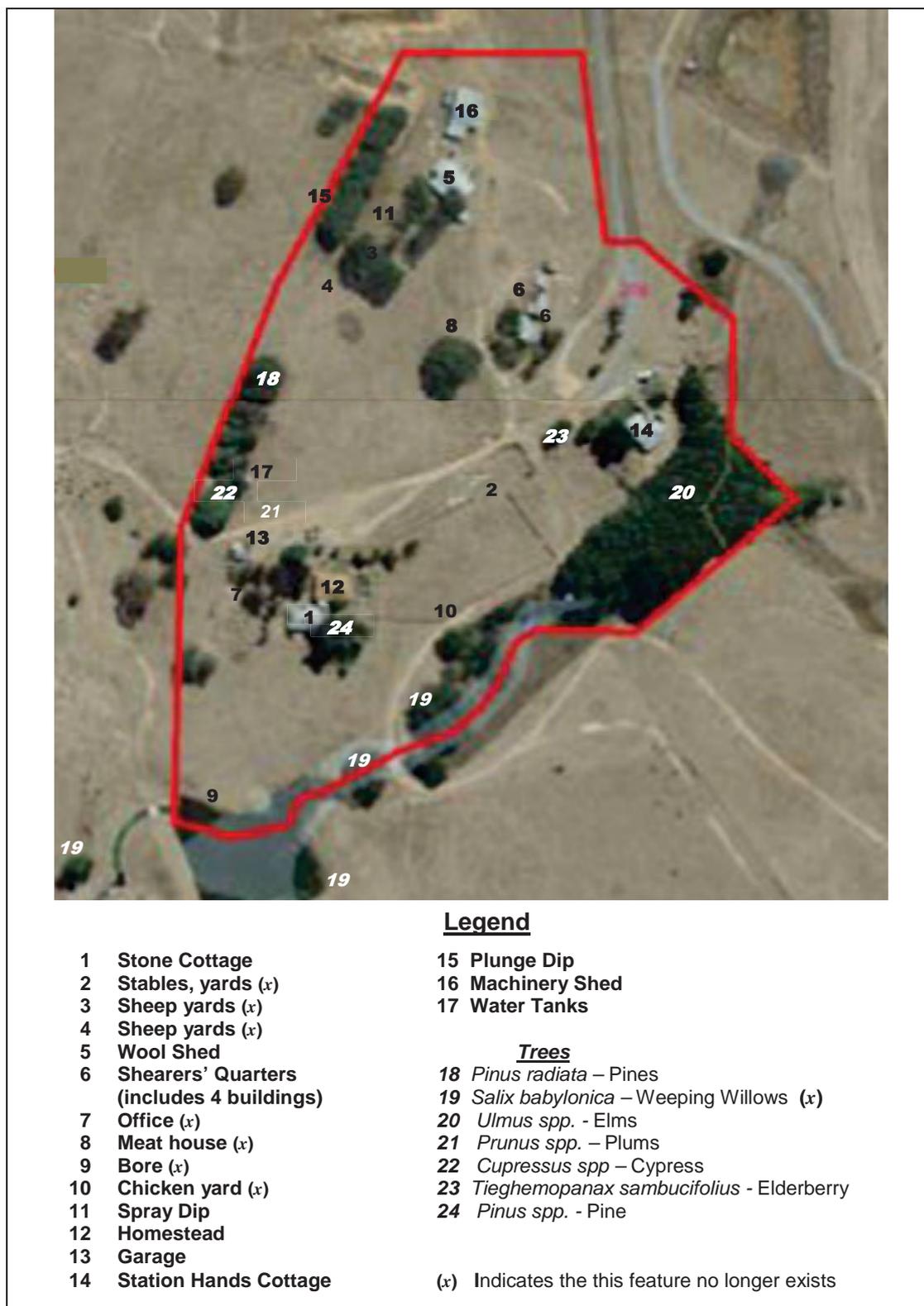


Figure 2: Site Plan

Source: ACT Heritage Citation NI 2011-494, Belconnen Farm, 25 August 2011

DRAFT**1.5 Existing Status**

The site was listed on the ACT Heritage Register on 25 August 2011 (Notifiable Instrument – NI 2011 – 494). (Copy of Citation included as Appendix B)

Included on the National Trust of Australia (ACT) list of classified places in 1995.

1.6 Authorship

The CMP has been prepared by the following team:

Project Manager and Conservation architects:	Eric Martin and Associates Eric Martin
Historian and Archaeologist:	Dr Peter Dowling
Landscape:	Geoffrey Britton

All photographs are by Eric Martin & Associates unless identified otherwise.

1.7 Acknowledgements

We wish to thank:

- _____ of the Riverview Group who is the main instigator for the CMP and arranged access to the properties and information.
- Current occupiers of the places who kindly enabled access to their leased premises including _____
- _____ of AT Adams Consulting for planning advice and input in Section 5.7 and Attachment D.

1.8 Limitations

The building condition has been assessed from a detailed inspection without invasive treatment and did not include concealed sub floor or ceiling spaces or services. Access inside the former shearers' quarters and kitchen of the shearers' quarters was not possible due to inability to contact the tenant.

1.9 Definitions

The following definitions apply to this report:

- Belconnen Farm - the whole of the study area and the historic site.
- Individual Buildings – as per the ACT Heritage Citation except the stone cottage is used and Shearers' Quarters has been rationalized to the four separate buildings (quarters, store, shearers' quarters and former kitchen) (refer Section 3.3).

2.0 DOCUMENTARY EVIDENCE

2.1 Introduction

This section provides the history of the site and its development over time.

2.2 Aboriginal History

Archaeological investigations have revealed a Pleistocene antiquity of Indigenous occupation in the Southern Highlands of Eastern Australia, centring on the Murrumbidgee River and tributaries. Excavations at Birrigai Rock Shelter in Tidbinbilla Nature Reserve have produced evidence of relatively discrete phases of occupation of the shelter dating to c21,000 BP (Flood et al. 1987).

A first phase of occupation, beginning in c21,000 BP, was of low intensity use of the site which was maintained through to c3,000 BP, when occupational intensity increased dramatically. This increase in Indigenous occupation is reflected in many other places in the Southern Highlands. Around c100 BP the evidence of occupation, charcoal from fires and artefact density decreases. This period sees the onset of European impact on the landscape and the subsequent impacts on Indigenous cultural and economic practices.

The archaeological investigation at the Birrigai Rock Shelter has revealed a deep antiquity for human use of this area of the highlands. Apart from Flood's work in the 1980s and theses by several ANU students, there has been little detailed archaeological research undertaken in the ACT since, and our knowledge of the period from the Pleistocene to European arrival is sparse. Most subsequent archaeological work in the ACT has been development-driven, consisting mainly of non-intrusive surface surveys. The results have, however, revealed many areas, especially in the lower valleys and along river and creek corridors that have great research potential. This knowledge vacuum is extraordinary, given the known antiquity of human occupation and the scope for further rigorous scientific investigation. Additionally, the ACT has some of the most important mires and swamps in Australia, and can provide invaluable data regarding the palaeoecology of the region (Brockwell & Dowling 2010).

2.3 Indigenous occupation in Belconnen area

It may be assumed that the Molonglo River, Ginninderra Creek and Murrumbidgee River corridor were important precontact Indigenous resource zones that attracted a considerable level of hunter-gatherer occupation. The importance of these zones have been demonstrated by archaeological surveys where over two hundred Aboriginal sites including open camps sites, stone quarries, scarred trees and ceremonial sites had been recorded by the early 1990s (Navin Officer 2004; Klaver 1993).

Archaeological surveys conducted along sections of the lower Molonglo suggests that gentle slopes, spurs and alluvial flats along the water corridors will exhibit the highest archaeological potential (Navin Officer 2004). The results of previous surveys in the vicinity of the Molonglo-Murrumbidgee junction and post-bushfire surveys also indicate the importance of spur lines leading to water corridors in steeper terrain (refer Table 1 below). The most common Indigenous sites recorded are the numerous but small surface scatters of stone artefacts.

An archaeological assessment of the Murrumbidgee River Corridor within the ACT was undertaken in the early 1980s (Barz and Winston-Gregson 1981, 1982). During this study the field survey was extended to encompass the banks of the Molonglo near its confluence with the Murrumbidgee, including landscape units within Block 1605 adjacent to the Belconnen Farm heritage area. The general survey findings indicated that Aboriginal sites throughout the Murrumbidgee corridor environment, with both riverine and non-riverine oriented economic activities being reflected. However, the survey showed a strong positive association between the concentrations of sites with distance from water sources. The nearer the main water source (for example the Murrumbidgee and Molonglo Rivers) the higher were the concentration of sites. Such an association is indicative of a high economic exploitation of resources within river valleys and permanent water sources.

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Table 1 displays Indigenous sites recorded in the Belconnen District within Block 1605 and area in the vicinity of the Belconnen Farm heritage area and the Murrumbidgee and Molonglo River corridors. The sites were identified by an ACT Heritage Register sites search (ACT Heritage Unit).

One Indigenous site (BSAS1) has been located within the heritage area of Belconnen Farm. It consists of a small surface scatter of two stone artefacts. Both artefacts have been described as 'green chert flakes, one with possible retouch on edge'. The artefacts were located during a supervised survey by University of Canberra students in 1992. One artefact was located on a track leading down-slope from the cattle yards; the other exposed on a track approximately ten metres west of the homestead garage.

Two other isolated artefacts (single artefacts) have been located on Block 1605; two half-hand size river pebbles (one broken) south west of the heritage area 8-10 metres from Spring Creek. These sites while being in areas disturbed by farming and vehicle activity are most likely associated with Indigenous activities association with food resource collecting along Spring Creek. No other sites have been located within or immediately adjacent to the Belconnen Farm heritage area.

Several other Indigenous sites have been located in the wider area of Belconnen Farm. All but one are open artefact scatters and all are within or on the perimeter of the Murrumbidgee River and Molonglo River corridors. The open sites range from small isolated artefacts to one scatter containing 18 artefacts. One site (MRC123) is a rock shelter south east of the Belconnen Farm homestead on a small creek line leading to the Murrumbidgee River. This site, located by Bartz and Winston-Gregson (1981) during the Murrumbidgee Corridor survey, was described as containing surface stone artefacts with a potential to contain archaeological cultural deposits.

The type and distribution of the Indigenous sites is indicative of the area along the Murrumbidgee River and lower Molonglo River being used as a focus for hunter-gather economic resource exploitation. While the size of the sites in terms of numbers of artefacts exposed on the surface is small (the largest recorded being 18 artefacts) many of them may represent larger sub-surface scatters not detected by the surveys. None of the sites so far located have been excavated.

Refer to Appendix G for definitions of Archaeological sites.

Table 1: Indigenous archaeological sites located in the Belconnen District east of the Murrumbidgee River in the vicinity of Belconnen Farm (ACT Heritage Register site search).

Note: Location references to Indigenous archaeological sites are restricted under the ACT Heritage Act. Locations references can be obtained with permission from the ACT Heritage Council).

Site name	Block	Type	Description	Date located
BELCONNEN FARM HERITAGE AREA				
BSAS1	1605	Artefact scatter	A scatter of two stone artefacts, both green chert flakes, one with possible retouch on edge.	1992
South West of the Heritage Area				
BSIF1	1605	Isolated artefact	A broken half of a hand size river stone observed on eastern bank of Spring Creek, eight metres from Spring Creek on the track.	1992
BSIF2	1605	Isolated artefact	Half a hand sized river pebble, flattened in shape. Located on the western bank of Spring Creek, ten metres from the creek.	1992
SOUTH EAST OF HERITAGE AREA				
CLWB33	1563	Open scatter	Twenty eight artefacts. May be part of continuous scatter with CLWB36.	2003
CLWB36	1563	Artefact scatter	Sixteen artefacts. May be part of continuous scatter with CLWB33.	2003
CLWB35	1563	Artefact scatter	Scatter located on a lower to mid slope.	2003
CLWB34	1563	Artefact scatter	Eight artefacts located on the mid-crest of a slope.	2003
BS1	1563	Artefact scatter	Eight artefact scatter on a granite outcrop on a terrace above Murrumbidgee River. Site extends into Murrumbidgee River Corridor. Three flakes and a number of river cobbles.	?
CLSN3	1518	Isolated artefact	Single artefact located on the lower slope of a creek margin.	2003
MRC123	1518	Rock shelter	A rock shelter with surface stone artefacts and potential to contain cultural deposits.	1981
CLSN2	1518	Artefact scatter	Open scatter of six artefacts located on the lower slope of a creek margin.	2003
CLSN4	1409	Artefact scatter	Open scatter of two artefacts on lower slope of a creek margin. Artefacts relocated 5m NW.	2003

Site name	Block	Type	Description	Date located
CLSN1	1332	Isolated artefact	Single artefact located mid-slope near a drainage line. Artefact relocated 5m north beside dam on drainage line.	2003
MRC122	1518	Artefact scatter	An open artefact scatter located 250 metres east of the Murrumbidgee River on the South bank of a major tributary.	1981
CR1	1518	Artefact scatter	Open scatter of stone artefacts on a northwest terminal spur of a major ridge line (Pine Ridge) within the Murrumbidgee corridor.	1980
CR2	1518	Artefact scatter	Open scatter of stone artefacts located on a northwest terminal spur of a major ridge line (Pine Ridge) within the Murrumbidgee Corridor.	1980
VICINITY OF MOLONGLO AND MURRUMBIDGEE RIVER JUNCTION				
MH1	1603	Artefact scatter	The site comprises a small low density artefact scatter of four artefacts exposed in an area that has been ripped and replanted with eucalypts.	2004
LMWQCIF3	1553	Isolated artefact	An isolated find located near the lower gate of the Lower Molonglo Water Control Centre. Site may be upper extent of MRC121.	1992
MRC121	1553	Artefact scatter	A scatter of eighteen flaked stone artefacts scattered along an unformed farm track on a slope leading down to the Molonglo River.	1981
LMWQCIF2	1558	Isolated artefact	A single stone artefact located on the southern side of the crest of a steep slope on a walking track within the Murrumbidgee River Corridor.	1992
LMWQCC Site1	1553	Artefact scatter	An open scatter of 13 artefacts located in exposed ground on a ridgeline leading to the Molonglo River. Site has potential to be more extensive.	1992
LMWQCIF1	1553	Isolated artefact	Isolated artefact A single stone artefact located on a small exposure of bedrock on the southern slope of a steep valley. Most likely been transported down slope in eroding sediments.	1992

Site name	Block	Type	Description	Date located
IF25	1602	Isolated artefact	Isolated artefact. A single artefact find located on a steep SW facing slope below the terminal end of a ridgeline spur above an ephemeral watercourse draining to the Molonglo River.	1994

2.4 European settlement History

2.4.1 Initial exploration

In the early years of the 1820s European explorers reached what is now the Australian Capital Territory. Dr Charles Throsby, a former Naval Surgeon turned landholder and explorer, his nephew Charles Throsby Smith, guided by his convict overseer, Joseph Wilde, and James Vaughn reached the Molonglo River and the wide valley it flowed through. They were on their way to find the Murrumbidgee River. After several setbacks, Throsby reached the River in 1821. Throsby and his party were the first Europeans to see the Murrumbidgee River.

Following his explorations Throsby wrote of the country he had crossed:

...perfectly sound, well watered, with extensive meadows of rich land on either side of the rivers; contains very fine limestone, in quantities perfectly inexhaustible, slate sand-stone and granite fit for building, with sufficient timber for every useful purpose; and, from the appearance of the country, an unbounded extent to the westwards (Throsby Australian Magazine June 1821).

Certainly overstating the natural resources available, Throsby's description of the land he saw had an element of accuracy ('extensive meadows') and when it was published in the Australian Magazine in 1821 it triggered much interest among the Sydney entrepreneurs. More tantalizing news of favourable lands and profits to be made came soon after.

Following the Throsby expedition, Captain Mark Currie, accompanied by the reliable Joseph Wilde and Brigade Major Ovens, reached the Molonglo River and turned south, reaching the Murrumbidgee in 1823. Alan Cunningham and his party were the next to pass through the area in April 1824. Cunningham's objective was to make a detailed botanical inspection of the lands already seen by Throsby and Currie. He followed the Molonglo and Murrumbidgee Rivers, covering some of the ground which Currie had crossed the previous year (Havard 1956; Lee-Scarlett 1968).

Throsby, Currie and Cunningham reported back to the Colonial Government on the open and well-watered lands they crossed; suitable, they claimed, for sheep and cattle grazing. At that time there were great opportunities for those with an entrepreneurial flair and the financial backing to achieve their aims to invest in tracts of land recently found on the western slopes of the Great Dividing Range. A rush to claim these lands began. European settlement began on the flood plains and slopes above the Molonglo River in what is today the central area of Canberra, and spread quickly south towards Tuggeranong and north to the lands bordering Ginninderra Creek and the Murrumbidgee River.

2.4.2 The Charles Sturt period

Following his explorations along the Darling and Murray Rivers systems (1828-1830) and government postings, Charles Sturt returned to England in poor health. While undergoing treatment he published an account of his journeys, and after many petitions to the New South Wales Government for recompense, he was promised a grant of 5,000

acres (2,024 ha). The promised grant came with a condition that he sold his military commission and renounced all other rights arising from his military service. Sturt's decision to resign from the military was no doubt based on his continuing ill health, poor eyesight and strained financial situation (Gibbney, Cumpston 1951, Beale 1979).

Sturt and his wife returned to New South Wales in 1835. On 17 April 1835 Sturt wrote to his brother William: You are aware that the Government gave me a 5,000 acre grant of land, but I have not as yet made my selection, being puzzled as to the locality (Cumpston 1951)

Just a few days later it would appear that Sturt had made up his mind on where to select his land. On 21 April he wrote again:

I am on the eve of making a journey to select my acres. The country to the south is described by several people as most beautiful. As soon as I get my land I shall stock it with 1,000 sheep and 150 to 200 head of fine cattle. As a beginning, that, I think, will do very well; and a trip once or twice a year to see my establishment will be a pleasure to me.
(Cumpston 1951)



Figure 3: Charles Sturt

Source:

http://www.cheltenham4u.co.uk/thepark_history.asp?area=The+Park%2C+Tivoli

On 5 June an order was issued by the Governor for the promised grant of land. Just after their arrival back in the Colony the Sturts purchased an additional 1,950 acres (789 ha) near Mittagong where they settled. Sturt may have made a journey to the area of Ginninderra to select his granted land.

Sturt's wife, Charlotte, wrote in her biography:

Sturt delayed for some time to select his land and the Survey Office in Sydney warned him they would cancel his grant if he did not exercise it within a given time. This notice found him lying ill at Yarralumla, so on hearsay and in haste, he chose his grant at Ginningdera [sic] near Queanbeyan, a block surrounded on three sides by the water of the Murrumbidgee, the Queanbeyan [actually the Molonglo] and the Ginningdera. The land, however, is not good, and has suffered heavily from flood (cited in Cumpston 1951).

Writing many years later, Charlotte Sturt may have exaggerated the flooding of the land. While the Murrumbidgee and Molonglo Rivers and Ginninderra Creek would have regularly flooded, much of the land Sturt selected was and is today above the floodplains of these waterways.

Whether he did actually inspect the area, or relied on the recommendations of contacts in the district, the land he selected for his grant was a good choice. The 5,000 acres was a gently sloping area of land with sheltering ridges. The selection fronted on to the permanent water sources of the Murrumbidgee River, and was bounded in the north by Ginninderra Creek and in the south by the Molonglo River. Small drainage creeks and springs added to the water availability of the land (Figure 4).

The selection was surveyed by Robert Huddle, the Deputy Surveyor General for the Colony, on 25 November, 1835 and gazetted on 8 February, 1836. Sturt was asked by the Colonial Secretary to name his grant for the title deed:

In reply to your communication requesting to be informed by what name I would wish the 5000 acre grant confirmed on me by the Government to be designated that the same may be entered in the Title Deed which His Excellency the

Governor had directed to be prepared. I have to express my wish that it may be called "Grange" (AO NSW Microfilm No. 1185).

With the name of the property duly recorded the land was finally granted to Sturt on 3 February 1837.

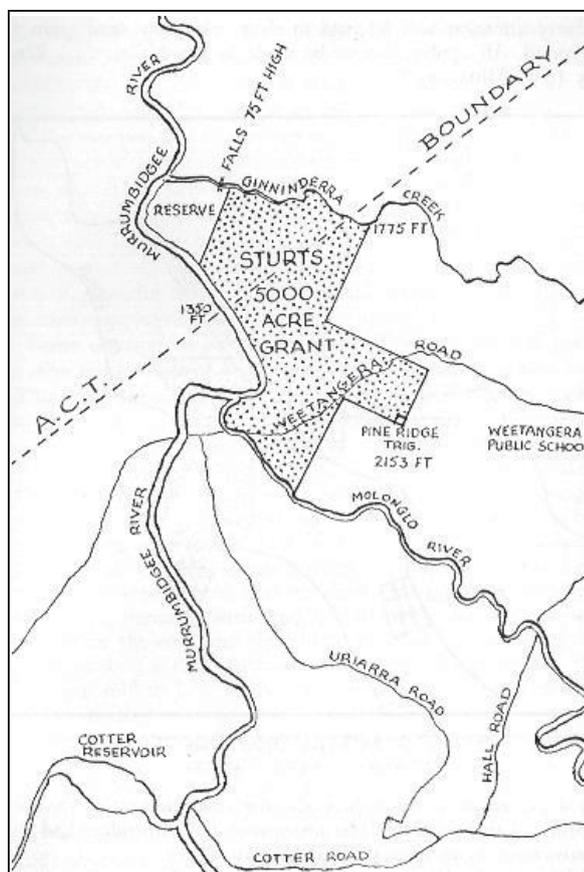


Figure 4: The location of Sturt's land grant, later named 'Belconnen'. Note how the ACT-NSW border has cut through the original grant leaving the northern section under NSW legislation and retained in private ownership, and the southern section under Commonwealth legislation to be compulsorily resumed (after Cumpston 1951).

Source: JHL Cumpston, *Charles Sturt. His Life and Journeys of Exploration*, 1951, Georgian House, Melbourne

Judging by the letter he had written to his brother on 17 April, Sturt most likely had no intention of actually building and living on the Ginninderra land grant. By 1836 he and his wife had purchased and settled on a property between Bowral and Mittagong. Sturt was to hold title of the 'Grange' for just a year. On 26 February 1838, he sold the whole 5,000 acres to Charles Campbell. There is no record of Sturt returning the Ginninderra region and he saw out his last years in Australia in Adelaide; living in a modest house he named 'Grange'.

However, the figure of Charles Sturt has been prominent in Australia's history, particularly for his explorations in the Murrumbidgee and Murray River Corridors and into the desert centre of the continent. His name has been given to a suburb in Adelaide, a University in New South Wales, and several municipal streets and roads, including the major highway linking South Australia, Victoria and the Hume Highway in New South Wales. Sturt's association, however fleeting it was, with the land along the

Murrumbidgee was locally and officially recognised into the early nineteenth century with 'Sturt's Grant' being marked on the 1915 Feature Map produced by the Federal Capital Territory. Today, the Sturt association is still recognised by the naming of Sturt Island in the Murrumbidgee Corridor.

2.4.3 The Campbell Period

Charles Campbell had come to the district to manage his fathers (Robert Campbell) station at Duntroon in 1835. He briefly assumed responsibility for the management of George Thomas Palmer's Ginninderra Estate, marrying Palmer's daughter, Catherine, in 1837. Following the sale of Sturt's acres, Charles Campbell arranged to buy his father-in-law's Ginninderra property with a down payment and the balance being paid by instalments. The deal did not last long, and Palmer resumed possession when his son-in-law could not keep up the payments. A drought, along with falling wool and stock prices were the main causes. However, Charles and Catherine managed to hold on to Belconnen even though they moved back into the family home at Duntroon (Gillespie 1992). Belconnen became an outstation to the Duntroon estate.

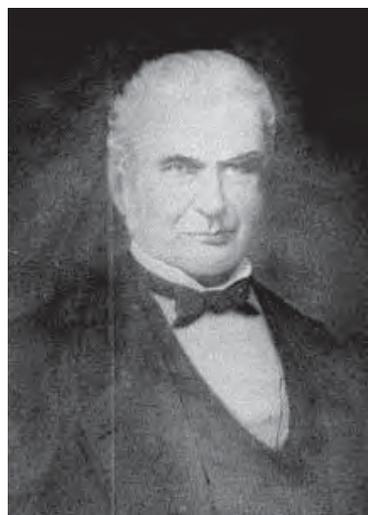


Figure 5: Charles Campbell

Source: State Library of New South Wales GPO 1 178509

Campbell did not keep the name of 'Grange' for his new acquisition and soon after purchase the land was named 'Belconnen'. The origin of this name is not entirely clear however

"It is thought that Campbell gave it this name following an incident on the property when an Indigenous man used the word "Belconnor", meaning "I cannot find".¹

The name, like many Indigenous terms adopted by Europeans, has been spelled as 'Belconnel,' 'Belconon' and 'Belcomon'. The name was largely limited to the property and was not applied to the present area of Belconnen until after the Naval Transmitting Station, built nearby in 1938/9, adopted the name.

Campbell's staff set to work clearing the native vegetation, opening up the land for sheep grazing. Campbell may also have planted exotic species. A two-room stone dwelling was built during the Campbell period, most probably to accommodate an on-site overseer to manage the property. There is some uncertainty over the age of this first building (Barrow 1998); one source (NCDC 1988) suggests it was built early in the Campbell period between 1835 and 1850. However the early date in this range can be discounted. Sturt acquired the property in 1837 and there is no record either of a building on the site before that time or of Sturt building, or even planning to build, prior to selling in 1838. Other sources (Barz & Winston-Gregson 1982; ACT National Trust) suggest the dwelling was built later in the 1880s. A period of construction sometime between the 1850s (favoured by the ACT Heritage Council) and the 1880s is plausible given that Charles Campbell began developing the property to graze sheep soon after he acquired it.

Living in the Ginninderra district in the 1830s and 1840s meant an isolated and confined lifestyle. A census taken in 1841 showed the only inhabitants of the area were from

¹ Shepherd, ARN, 2005 *Personal Communication*, p7 of notes held on the heritage registration for Belconnen Farm compiled by the ACT Heritage Unit.

Palmer's holdings, Charnwood and Glenwood Stations and the Campbell holding of Belconnen. The total population was just over one hundred and approximately seventy five percent were males. The isolation was especially telling for the women, but there were some opportunities for socialising. The main social events in these times were visiting other families and the Sunday church services. Catherine Campbell, while living at Duntroon, often visited her father's property (Gillespie 1992) and most likely, accompanied by her husband Charles, visited their Belconnen holding.

By the end of the 1870s the Ginninderra region began to show signs of development, with the population increasing following the passing of the Crown Land Acts (Roberson Land Acts) of 1861. Most of the properties in the area were small, ranging from 40 to 400 acres (16-161 ha), although when Crace purchased Charnwood he held around 20,000 acres (8093 ha).

Charles Campbell's son, Frederick, took over the management of the Duntroon estate, including the Belconnen outstation, in 1877 when his father was overseas (Gillespie 1992). The second son of Charles and Catherine, Frederick was born at Duntroon in 1846, the same year his grandfather, Robert, died. Frederick was born with a cleft-lip and experienced difficulties with his speech throughout his life. Embarrassed by his speech and having problems with his studies at Sydney University, Frederick decided to try life on the land (Newman 2007). He worked as a jackaroo in Queensland; and later in 1873, with financial help from his uncle, purchased land near Walgett. Frederick experienced financial problems and sold out two years later. He accepted an offer from his uncle, George Campbell, to manage Duntroon estate, which he did for five years. Duntroon had become the centre for an elite rural society of established and wealthy landowners and professionals. Frederick, now just in his thirties, did not fit easily into this society, most likely because of his speech difficulties, and did not often entertain, but nonetheless liked to be recognised by the local communities as a Campbell. In 1878 he married into the elite society. His wife, Frances Wright, was the daughter of James and Mary (nee Davis) Wright of Lanyon and Cuppacumbalong.



Figure 6: Frederick Campbell

Source: <http://nla.gov.au/nla.pic-an24219385>

In 1882 Frederick (or Fred as he was more widely known) finalised the purchase of Yarralumla Estate. At that time, Yarralumla consisted of a collection of land grants and conditional purchases accumulated by Augustus Gibbes. The land parcels were not adjoining and there was no single marked boundary to the estate. To consolidate the estate holdings Frederick bought land areas lying between his scattered titles with the object of clearly delineating the Yarralumla Estate. The Belconnen lands, which had passed to Frederick following the death of his father, were incorporated in the Yarralumla Estate (Newman 2007). The total estate, now 39,000 acres (16,783 ha), also included land on the south side of the Molonglo, incorporating the present 'Huntly' lands.

Frederick employed overseers and staff for his holdings. Richard Vest was one; he most likely lived in the stone cottage from 1882 to 1888. Other employees living and working on the Belconnen lands were of Scottish descent, including D. MacDonald from 1888 to 1889 and Duncan McInnes from 1890 to 1904. Fencing, stables and yards were erected during the 1880s to 1890s by James Kilby and Evan Cameron (ACT Heritage Council). The Campbell family, starting with Robert Campbell who established Duntroon, had a tradition of assisting Scottish migrants to Australia and employing them on their holdings.

By the beginning of the 20th century Belconnen was prospering. The farm included the stone overseer's cottage with slab attachments, animal enclosures including a stockyard, poultry run, pig sty and a stable close to the cottage. There were also large sheep yards to the south and another house and woolshed to the north. The land was used for sheep and crops of oats, barley and wheat but within the first three decades of the 1900s the situation was to change.

Following the Federation of the Australian colonies in 1901, and the selection of the Canberra area as the site of the new Federal Capital in 1908, the Federal government was anxious to accurately survey the new Capital Territory. Under the guidance of Charles Scrivener who was appointed Director of the Lands and Survey Department, the surveying of the border began in 1910. The first section to be surveyed was along a direct bearing between the summits of Mount Coree and One Tree Hill. This section now forms the only straight-line border of the ACT. The survey line cut through Campbell's Belconnen property putting the southern two-thirds of the land within the new Federal Territory and subject to compulsorily resumption (Figures 7 and 9). Campbell was left with the northern third of the property within New South Wales and under his ownership. As well as Belconnen, all of the Duntroon estate lands within the borders of the Federal Capital Territory were to be subject to government acquisition. Campbell was also to lose his family home of Yarralumla, which became home to Australia's Governors General.

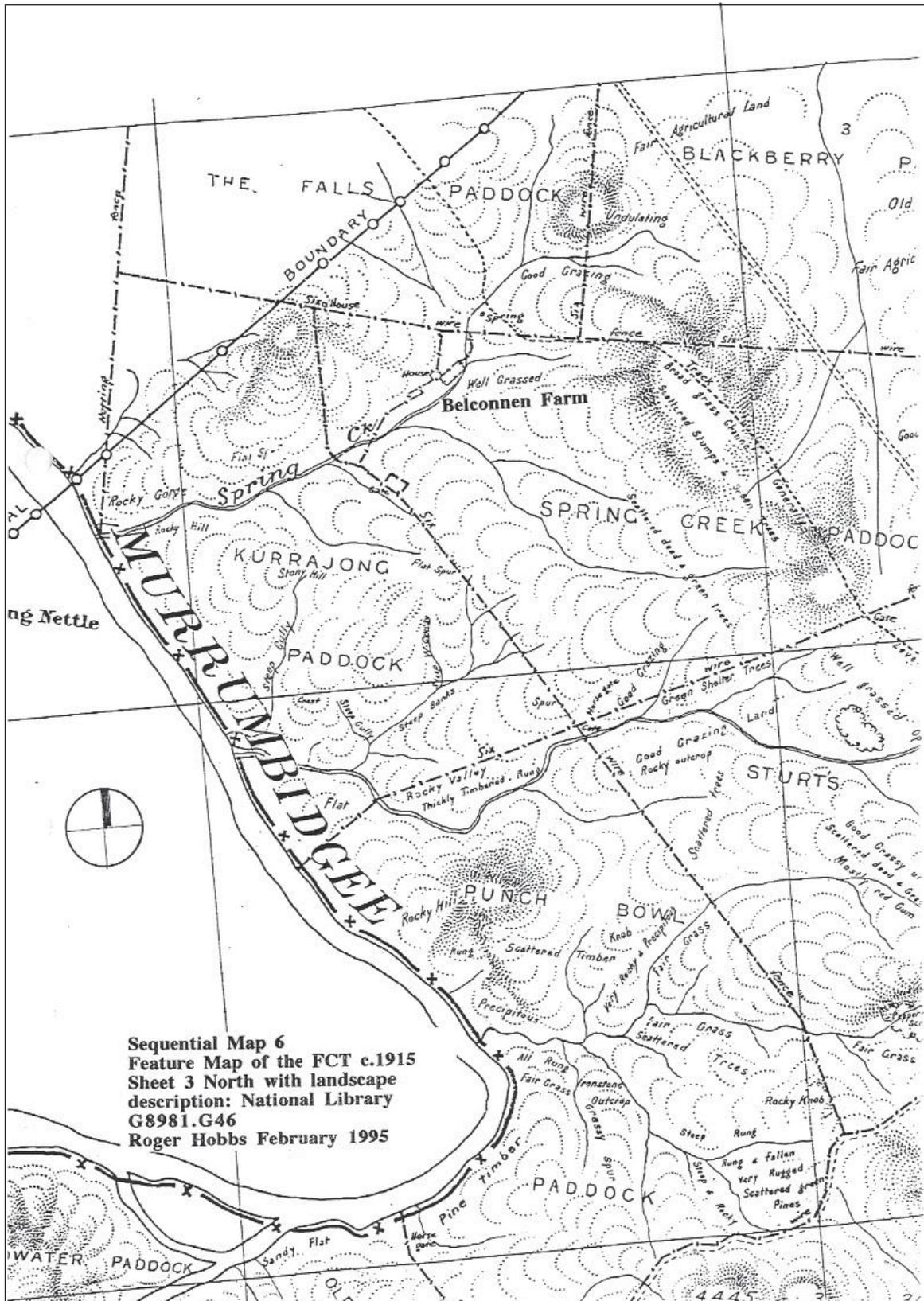


Figure 8: Feature Map of the Federal Capital Territory c1915

Source: Roger Hobbs, February 1995

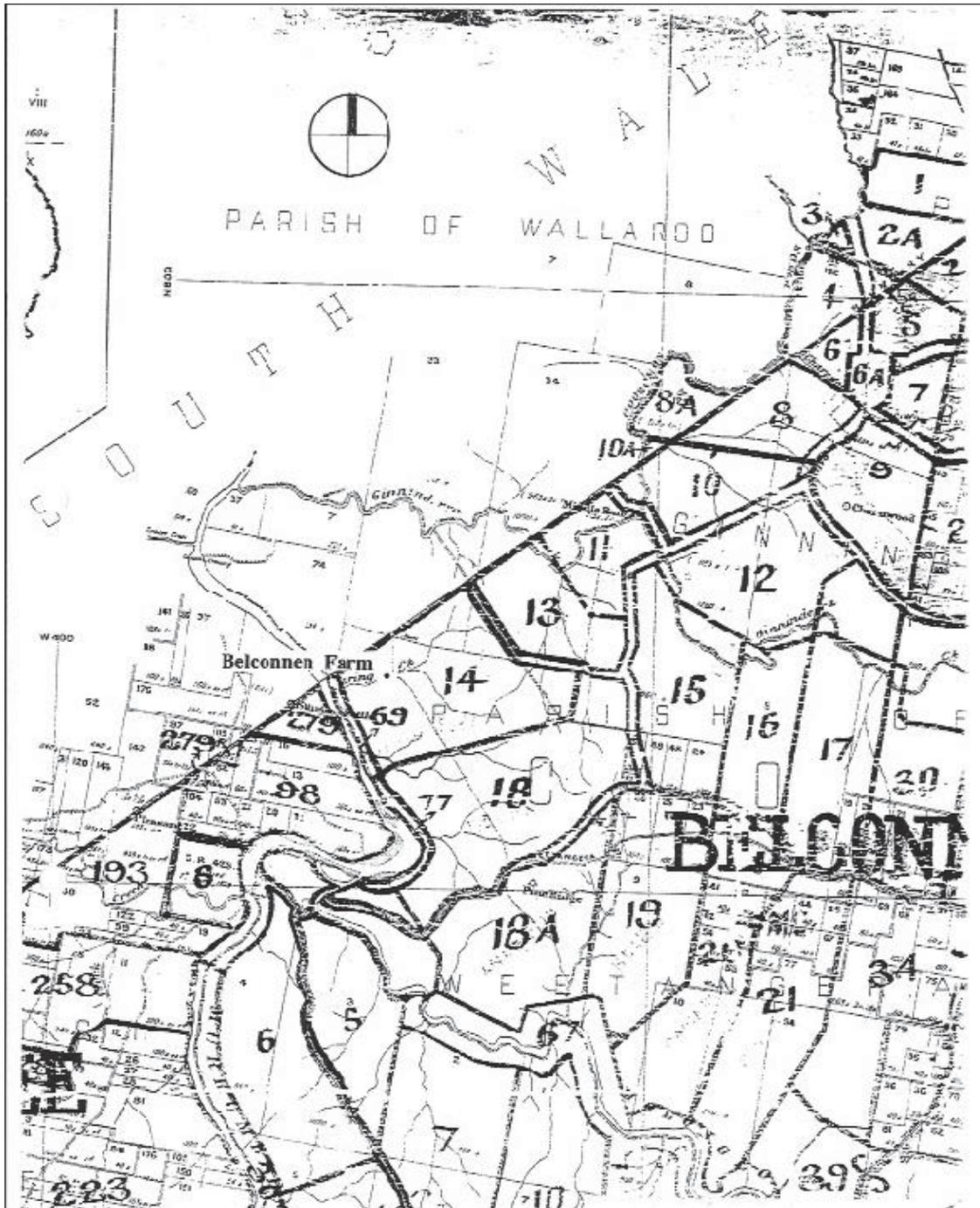


Figure 9: Section of Federal Capital Territory map showing the subdivision of Belconnen following government acquisition and subdivision. The original Sturt and Campbell holding was subdivided into Blocks 14, 18 and 18a. The present Belconnen Farm is within Block 14.

Source: ACT National Trust Files

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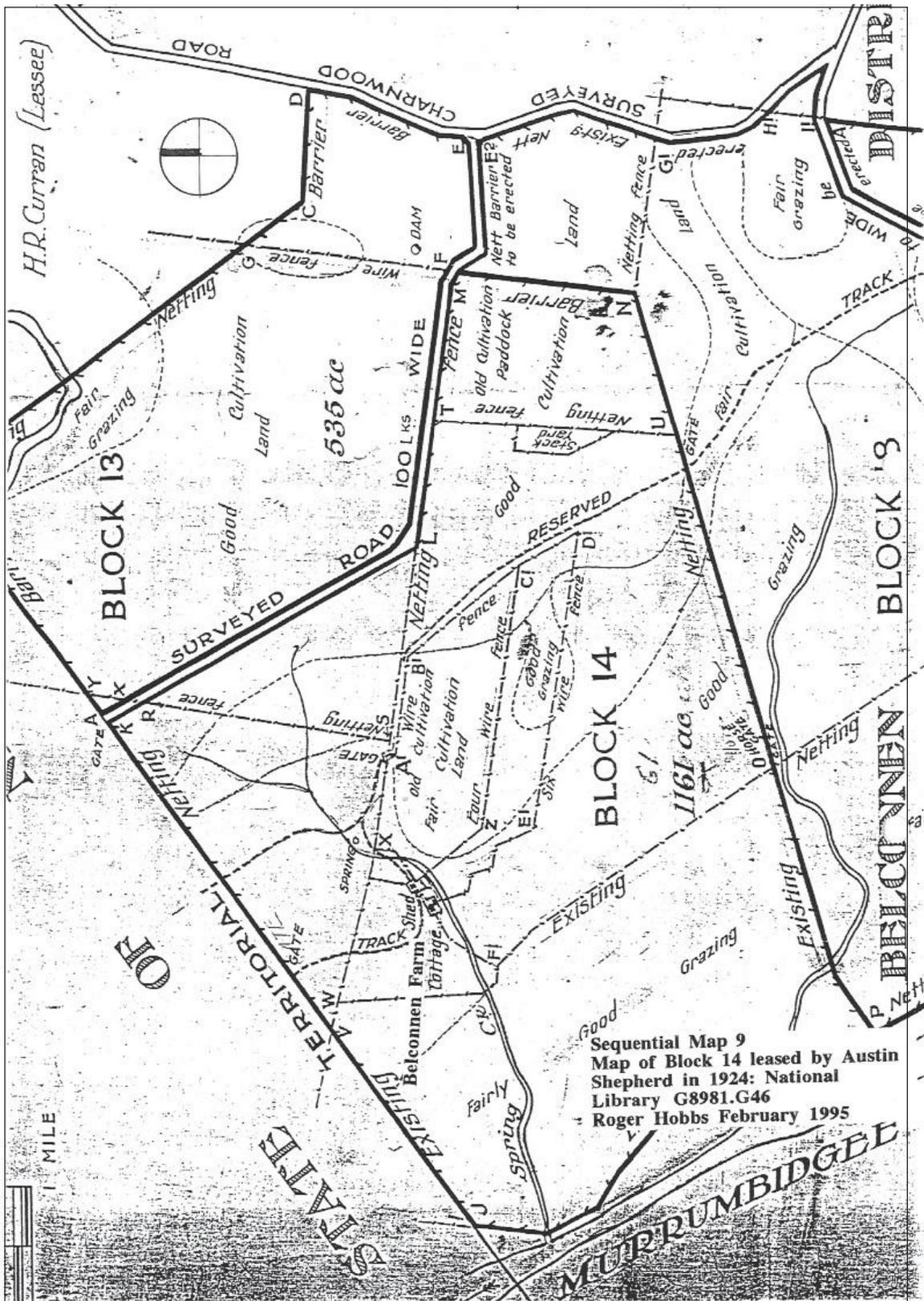


Figure 10: Map of Block 14 leased by Austin Shepherd in 1924.

Source: Roger Hobbs, February 1995

Frederick Campbell was most distressed and angered by the impending government acquisitions. Referring to the Belconnen land, he wrote to Scrivener in August 1912 wishing to retain the 626 acres (253 ha) that remained of Sturt's original lease: *It is my Ewe Lamb, and I hope the Commonwealth Government will be satisfied to leave me that much of Sturt's 5000 acre grant and not drive me altogether out of my native district* (NAA A371.1).

The estate lands were acquired by the Federal Government and Frederick Campbell moved away from Yarralumla and the Federal Capital. He died in 1928. The Canberra Times wrote in its obituary:

Mr Campbell's association with Yarralumla dated from 1881, when he bought that property from the Gibbes family. Yarralumla comprised about 8,000 acres, and when he received his father's property at Belconnen on the latter's death, in 1888, he owned about 20,000 acres freehold. Under his direction Yarralumla became a model station. Heavy forest land was converted into grazing and cultivation paddocks, marshy country was dried by about 500 miles of drains, and the whole area was made practically rabbit-proof. The clip, from Merinos of Boonoke and Wanganella extraction, became one of the most valuable in the State.

Mr Campbell resided at Yarralumla until it was resumed as a residence for the Governor-General, and then left to control Cooinbil, a property he had acquired in Riverina. During his residence in the present Federal Territory he took a keen interest in all local affairs. For many years he was a member of the Queanbeyan pastures Protection Board, and for some time also was president of the local branch of the Farmers' and Settlers' Association.

2.4.4 Belconnen and the Soldier Settlement Period

Following the Federal Government acquisition of the Yarralumla estate in 1913, the rural lands within the new Federal Capital Territory were subdivided and advertised for lease under the instructions of the first administrator, Colonel David Miller. Miller managed to acquire the present Belconnen subdivision. Three rooms for shearers and a galvanized iron laundry were built on the property. It is thought (ACT Heritage Council) that Miller's son, Selwyn, occupied these buildings with one of the Colonel's workers occupying a tent to the south west of the stone cottage. Selwyn Miller worked the property during the years of the First World War and up to 1922 when he and his family left the district. In January 1916 it was reported that he had produced 700 bags of wheat from a 70 acres (28.3 ha) crop and 300 tons (272 tonnes) of oaten and wheaten hay from a paddock of 100 acres (40.4 ha) (ACT Heritage Council).

In 1922 the former Sturt land grant and Campbell holding was subdivided into Blocks 14, 18, and 18a (Figure 10). The present Belconnen Farm heritage area was within Block 14 (Figure 11). From 1922, following the departure of the Millers, the lease of Belconnen Farm (Block 14) was held by the Hyles family. Following the First World War and the introduction of a Soldier Settlement programme, Block 14 was leased to Austin Shepherd in 1924.

Corporal Austin Nugent Shepherd (7252) served in 5th Field Artillery Brigade in Sinai and Palestine during the First World War. Following his return to Australia he applied for a land holding under the Soldier Settlement Scheme. On 16 November 1924, Shepherd signed a lease for 25 years for the 1,162 acres (470 ha) comprising Block 14. Shepherd later acquired a lease on Block 16 for 620 acres (251 ha). Shepherd set about improving the land under the terms of the lease, building a woolshed and yards using material from Duntroon, together with a machinery shed and shearers' accommodation. Unlike many returned service men who took up Soldier Settlement blocks, Shepherd knew a thing or two about farming. He graduated from the Hawkesbury Agricultural College as Dux of his year, and following his service during the First World War he had worked as a field officer for the Department of Agriculture in the Murrumbidgee Irrigation Area.

Despite his education and agricultural experience, Shepherd had a long struggle on his hands to provide for his family from his holdings. Soil erosion on the slopes of Block 14 was a major problem. Contour banks had to be constructed to maintain the topsoil. Noxious weeds and rabbit infestation also took a great deal of labour and expense to control, although there was government assistance with these problems. Suitable fencing had to be maintained under the terms of his lease. Shepherd persistently lobbied the Federal authorities (Figure 11) through lawyers and local government members over the conditions and requirements of the lease: rental increases, rental arrears, rental reduction and concessions, tenant rights to improvements, public road access and financial assistance under the Repatriation Scheme for Soldier Settlers were a constant concern and topics of many letters to the Department of Interior Archives (ACT TL1257).

While Shepherd's grievances, opinions and requests were heard by the Federal Government there was always the inevitable bureaucratic counter following inspections and assessments of his holdings and the improvements he had made (Figure 11).

*Belconnen,
Weetangerra,
Via Hall
11 September, 1941*

*The Hon. The Minister
Dept. of Interior
Canberra
Dear Sir*

In connection with the rental paid by me on Blocks 14 and 16 Belconnen I hereby ask for a revision of the rental as stated in a letter received recently from the Department.

Under present conditions with restriction of production and the rising costs and adverse season and scarcity of labour I ask for a concession in reduction of rental.

During the past winter I have fed sheep with over £200 worth of fodder.

I might state that I have spent over £3 an acre on much of my lease in pasture improvement. This was the only portion of my lease that carried stock maintaining condition during the present winter.

One lease Block 16 both during last and the present winter has only carried 2 sheep to 3 acres.

I might state that being one of the original 25 years leases I am not entitled to reassessment at present but when the rent was fixed some five years ago I appealed against the rate but did not get redress although I believe the interest rate on the capital value of the land was reduced from 5% to 4½%.

*Yours faithfully
A.N. Shepherd*

Figure 11: Letter written by Austin Shepherd stating some of his grievances with the Department of the Interior over the management of his holdings.

Source: Archives ACT

T.L.1257/120-121-122

Dept of the Interior

TENANT RIGHT; BLOCK 14 BELCONNEN

Block 14 Belconnen comprises 1,162 acres, leased to Mr. A. N. Shepherd at a rental of £225.2.9 per annum, equivalent to 3/10½d. per acre for the period 1.9.24 to 31.8.49.

The area is well fenced into 10 main and several smaller paddocks, watered by 5 dams aggregating 1,350 cub. yds.

Pasture improvement has been well established on about 350 acres and about 70m acres have been placed under cultivation this season to oats and wheat.

All stock are in excellent condition and the last stock return shows 6 horses, 28 cattle 2167 sheep.

Lessee purchased all the original improvements on this block and has since been granted tenant right in other improvements, all of which have been recently valued by Messrs. Gates and Tracey as follows:-

Pasture Improvement (Est)	£1,050
All Fencing	590
Paddock, sheep yards	10
Old Residence	200
Woolshed and Appointments	500
Hay and grain shed	70
Garage (G.I.)	40
Car Shed	40
Shearers' Quarters	50
Yards and dip	140
Fruit trees	100
Crops	175
Dams	135

The present total value of improvements in which the lessee has been granted tenant rights is £3,140, made up as follows:-

Buildings etc	£950
Fencing	590
Yards and dip	140
Dams	135
Fruit trees	100
Crops	175
Pasture Improvement	1,050
	£3,140

This represents a value of £1,815 in structural improvements, including dams.

As the house on the above block is old and white ant ridden and reaching a stage where the dwelling is no longer reasonably habitable, the lessee proposes to erect a new dwelling for which plans have been drawn by Architect K. Oliphant, top cost about £1,400 in which the Lessee desires tenant right.

It is the lessee's intention to demolish the whole of the existing old dwelling, valued at £200, except 2 rooms build of stone around the new dwelling will be erected.

A new dwelling is considered an essential improvement of a permanent nature and though the lessee has 4 years only unexpired it is reasonable to assume that an extension will be granted to 1958 to coincide with the expiration date of the majority of Rural Leases.

Owing to the location and topography of the land, the possibility of it being required for Commonwealth purposes appears remote.

It is therefore considered that tenant right should be granted and in estimating the value on a productive basis, the following factors have been given consideration in the examples stated:-

EXAMPLE "A"

<i>Estimated Annual net Returns</i>	-	
<i>1162 sheep return say 6/-d, wool</i>		<i>£349</i>
<i>70% of lamb from the ewe portion representing 2.3rd of flock</i>		
<i>= Est 600 fat lambs at 15/-d.</i>		<i>£450</i>
<i>Crop returns</i>		<i>£170</i>
TOTAL		£969

Outgoings

*8% on tenant right improvements
(which Comprises approved tenant right £3,140,
plus proposed tenant right value in
new dwelling not exceeding £700)*

£308

EXAMPLE "B"

This property on the basis of 1 sheep per acre at £4.10. "sheep-acres value" would have an estimated value of £5,229, with a 25% tenant right value of £1,307.

EXAMPLE "C"

However, with pasture improvement and good management the property could carry with lambs and large stock the equivalent of 1,500 sheep which is comparable with a property of 1,500 acres carrying 1 sheep per acre.

The value of a 1,500 acre property on the basis of 1 sheep to the acre on a similar sheep area value (£4.10.0) would be £6,750.

A property worth £6,750 could carry a tenant right value to lease of £1,688, on a 25% basis.

The balances from examples "B" and "C", £1,307 and £1,683 respectively, give a mean of £1,497.

The lessee at present has tenant right in structural improvements estimated at £950, and after allowing for £200 on old dwelling plus £700 tenant right in the proposed dwelling, the total tenant right structural value would then be £1,450.

It would appear, therefore, on these examples, that the lessee could be granted tenant right in this improvement to an amount not exceeding £700.

On 5.4.1940, the Secretary approved on papers T.L.3750 a recommendation that it be the policy of the Government to fix a maximum amount for which tenant right will be granted in the case of any rural lease in the A.C.T. and that such amount be arrived at on the following basis:-

- (a) Residence, other out-buildings including woolshed and house water supply: 25% of the improved value of the land (Government improvements only) calculated at the commencement of the lease or at date of last re-appraisal.*
- (b) The value of fencing, ground tanks, contour banks or drains in connection with soil erosion, Lucerne or standing crops and/or pasture work covered by the two year limit in the case of withdrawals for public purposes not to be included in (a), but any application under any of these headings to be dealt with on its merits by the Officer in Charge.*

On T.L.2450 Mr. Ellerman, valuer, during the one and only re-appraisal of this block, showed the improved capital value of the above block of 1,162 acres as £4.0.0 per acre, equivalent to £4,648.

The maximum tenant right, therefore allowable being £1,162.

The lessee has at present been granted tenant right to the value of £950 in structural and after allowing £200 for the old building to be demolished, would be equivalent to £750 leaving a balance of £412, representing the maximum amount of tenant right that could be granted.

It is pointed out, however, that Mr. Shepherd runs this homestead block in conjunction with Block 16 Belconnen of 652 acres on which exists a small hut only and that his income would be augmented by returns from this block

*(Signed)
(J.E.Morrow)
15/11/45.*

Figure 12: A report by the Department of Interior following an inspection of the Belconnen holding leased by Austin Shepherd.

Note: The first page of the report gives a valuation of the improvements made by Shepherd

Source: Archives ACT

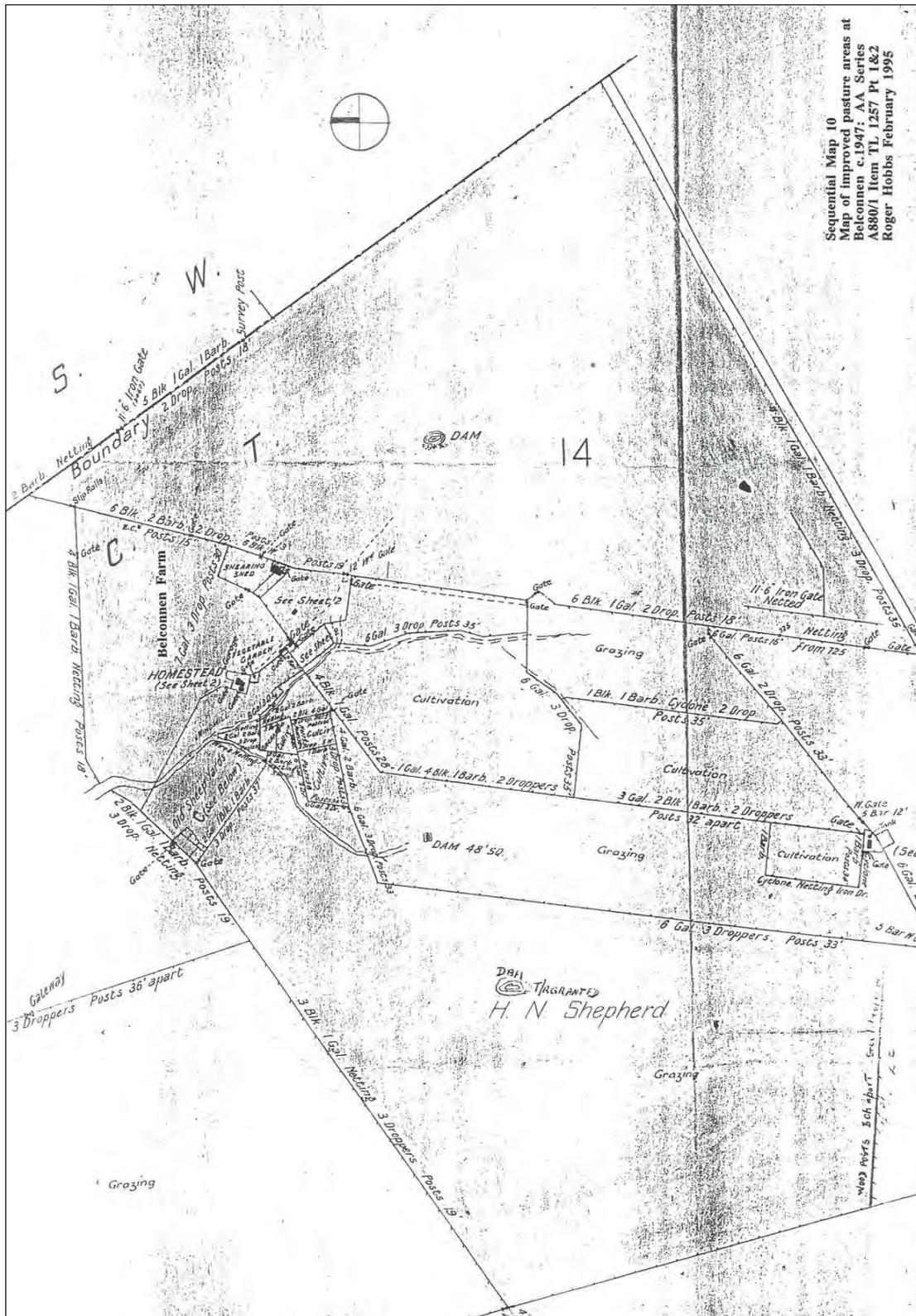


Figure 13: Map of improved pasture areas c1947

Source: Roger Hobbs, February 1995

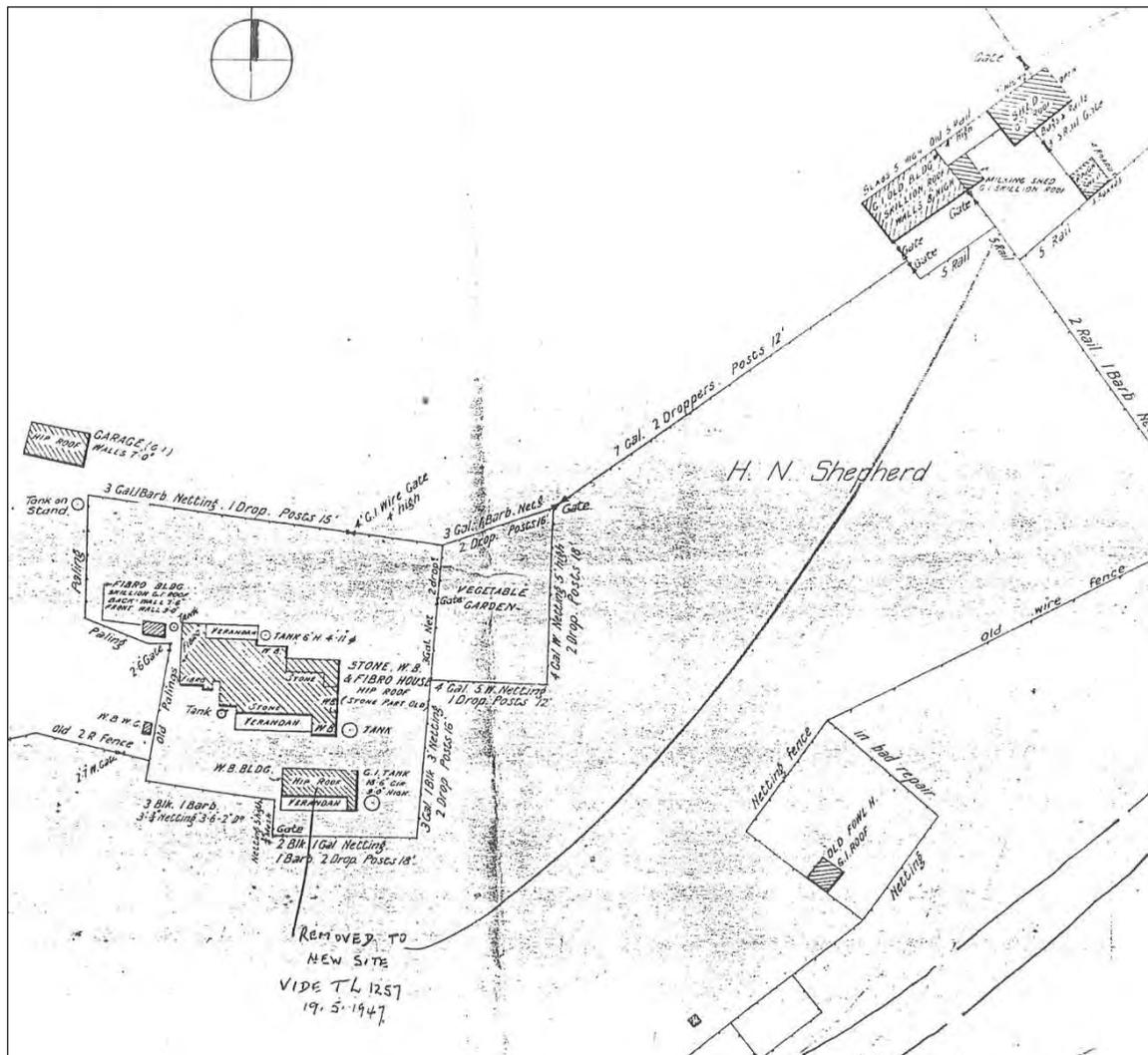


Figure 14: Map of Homestead Areas at Belconnen c1949

Source: Roger Hobbs, February 1995

Austin Shepherd ran merino sheep (up to 1,500 head in good years) and short horn cattle, and continued to crop the better land for oats, phalaris and clover much as Frederick Campbell had done. Shepherd also grew the first successful crop of rice using seed imported from America (ACT Heritage Council) (refer Figure 13).

However despite his problems with the government over the property, Shepherd managed to make a success of the lease where many other Soldier Settlers failed. It was most likely Shepherd's sound pastoral management and the skills first developed during his agricultural studies, which made him successful. In 1948, towards the end of the term of the initial twenty-five year lease, the Surveyor General's Department made a decision to grant extensions to all the expiring pastoral leases in the Belconnen district until June 1958, subject to re-appraisal under conditions which provided for the destruction of rabbits and noxious weeds together with general maintenance of fencing and dams. Shepherd applied, and following a favourable inspection report, was granted an extension of his lease on Block 14 (ACT Archives).

Shortly after 1945 Austin Shepherd commissioned a new house from well-known architect Ken Oliphant. The poor quality additions to the stone house were demolished (refer Figure 14). This

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was designed but what was constructed differed slightly (refer Figures Figure 15, Figure 16 and Figure 42). The reason for selecting Ken Oliphant is unclear. The house was completed in 1950.

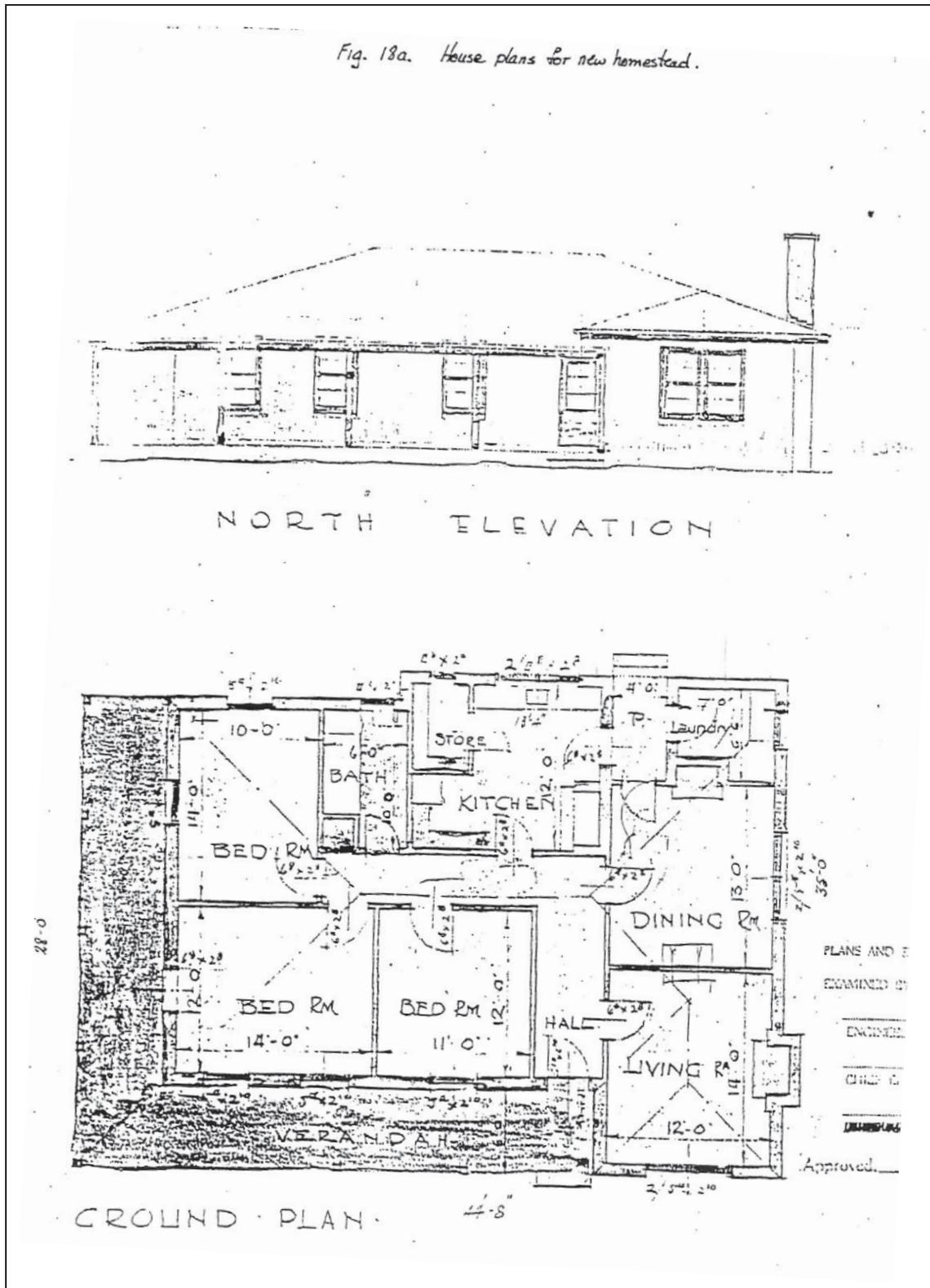


Figure 15: Oliphant House

Source: Roger Hobbs, February 1995

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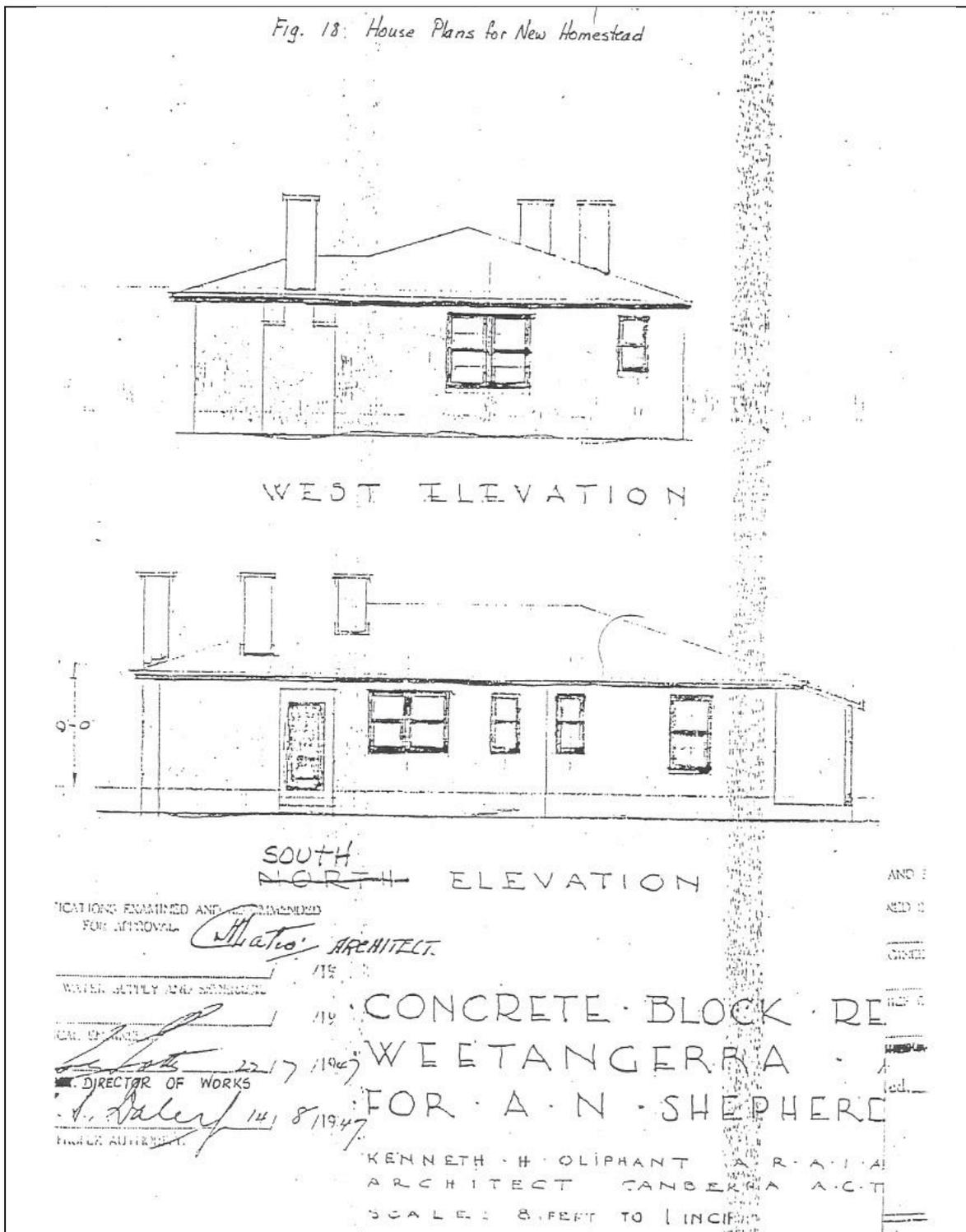


Figure 16: Oliphant House

Source: Roger Hobbs, February 1995

Following further lease extensions, Austin Shepherd handed over the lease and management of the property to his son, Robert in 1962. Robert Shepherd had ownership of a motor trading outlet (Shepherd Ford) and in 1976 the property was sub-leased to Peter Canharn of the adjoining Strathnairn property. The habitable buildings on the property were sublet as residences.

On 29 March 2004 Blocks 1605 and 1606, Belconnen District, comprising 678 hectares, was leased to Corkhill Bros. Pty Ltd for ninety-nine years. The land is still used for cropping and grazing, although the latter is now restricted to a few head of cattle. Sheep are no longer grazed on the current property; the shearing shed and shearers' quarters are no longer used. The cottages are now tenanted and none of the buildings now relate to the functional farm operation.

Suburbia is now spreading towards the open pastures and the Belconnen tip is encroaching upon former cereal cropping land along Spring Creek. However, despite the ever-dominating urban environment on its boundary, Belconnen Farm continues today as a rural property. From the time Charles Sturt selected the land, through to its pastoral development, first by the Campbells, then by the Shepherds and those who followed, the fields surrounding the present Belconnen Farm homestead have been consistently cropped and grazed. Sturt's selection of this land for his 5,000-acre grant, bordered on three sides by watercourses, was well chosen.

2.5 Belconnen Farm Time Lines

1835	Charles Sturt was granted 5,000 acres (2024 ha) land from the NSW Government in recognition of his exploration of the Murray & Murrumbidgee Rivers and to recompense for the financial costs borne by him.
	Sturt, probably with the recommendation by Murray of Yarralumla Station or Campbell of Duntroon, selects land with access to the Murrumbidgee and Molonglo Rivers.
	November- Sturt's selection surveyed by Deputy Surveyor General for NSW, Robert Hoddle.
1836	February – Sturt's selected grant gazetted.
1837	February – Sturt formally gains ownership of the land and names it 'The Grange'.
1838	Sturt sells the land he was granted to Charles Campbell of Duntroon. Sturt never takes up residence on the grant. The property is named by Campbell, 'Belconnen', reputedly after hearing the word spoken by an Indigenous acquaintance.
1830s -1880s	Campbell has a two-roomed stone house overlooking a small creek fed by a spring (Spring Creek). The house still stands today.
c1850s - 1913	A succession of overseers manages the property as part of the large Duntroon Estate. Some of the overseers were, Richard Vest, D. McDonald & Duncan McInnes. This arrangement continues up to the time the property was resumed by the Commonwealth.
1877	Charles Campbell's son Frederick takes over management of the Duntroon Estate including the Belconnen Outstation.
1882	Frederick finalises the purchase of Yarralumla Estate and includes Belconnen.
1888	Charles Campbell dies. Fredrick Campbell takes over full ownership and control of the Yarralumla estate.
1910	Surveying of the Federal Capital Border begins with a straight line survey from Mt Coree to One Tree Hill. This border cuts through the property. The northern third of the original Sturt grant remains in NSW but the southern two-thirds are in the new Federal Capital Territory (ACT) and under Federal ownership.
1913	The lands within the newly established border are formally resumed by the Commonwealth Government.
1913	Controversy arises when the Minister for Home Affairs, King O'Malley, allows Colonel David Miller, the Administer for the Federal Capital Territory, to acquire a lease on the Belconnen property. Control was subsequently passed to Miller's son, Selwin.
1913 – 1922	Millers improved the property with workers cottages.

1922-24	Hyles family holds lease.
1924	1162 acres (470 hectares) of the property was leased to Austin Shepherd under the Soldier Settlement Scheme.
1930s	A weatherboard school added to the stone house and a fibro cement dining room. Shepherd builds a new woolshed and yards with materials sourced from Duntroon together with a machinery shed and shearers' accommodation.
1948	Original 25 year lease extended for another ten years.
1950	Additions to stone house demolished and a three bedroom house designed by Oliphant and built by G.W. Furlonger added to property. Decorated cement bricks were manufactured on site.
1958	Fibro extension added to the house.
1962	Austin Shepherd retires and his son, 'Bob' takes over management. Merino sheep, cattle, wheat and rye were the major produce.
1970s	Bob Shepherd takes up a car dealership, Shepherd Ford. Belconnen property is rented to and managed in conjunction with the neighbouring property, 'Strathnairn', by Peter Canham.
2003	Bushfires devastate much of the parks, rural areas and suburbs of the ACT. Belconnen Farm manages to avoid the destruction.
2004	Lease on Belconnen taken up by Corkhill Bros, who maintain a cropping and beef cattle herd.
2011	Belconnen Farm (Part of Block 1605, District of Belconnen) is placed on the ACT Heritage Register under the Heritage Act, 2004. A heritage area is designated taking in the homestead area and outlying structures and plantings.

2.6 Summary of Structures

Date	Structure	Comments
Campbell Period		
c1830s - 1880	Residence (Stone Cottage)	Stone walls, corrugated iron roof, timber verandah and supports. The date of construction is undetermined. There is no evidence for it being built during Sturt's brief ownership. However, a later date between 1850s and 1880s during the Campbell period is the most plausible.
1890s	Stables and yards	Slab, galvanised iron, morticed post and rail. Built by James Kilby and Evan Cameron for Campbell. Rebuilt in 1960s.
c1900	Sheep yards	Timber 4 post and rail.
Miller Period		
1913 – 1922	Shearers' quarters	Three rooms & laundry – galvanized iron Jarrah timber, galvanised iron and fibro cement sheet <ul style="list-style-type: none"> - Sleeping (moved 1947) - Kitchen - Shower
Shepherd Period		
1930s	Office	Corrugated iron and fibro cement.
1936	Sheep yards	Sawn timber
1936	Woolshed	Woolshed -sawn timber, corrugated iron – built with

Date	Structure	Comments
		material coming from Duntroon.
c1940	Bore	Steel windmill and casing, south of homestead on Spring Creek.
c1940	Chicken yard	Wire netting, corrugated iron.
1945	Stone cottage	Cottager was deemed 'uninhabitable' due to damage to timber structures from white ants. Damaged elements removed and residence extended with addition of weather-board rooms and fibro extension to the west.
1945	Homestead	Plans by K.H. Oliphant considered 'not extravagant' by Property and Survey Branch and approval granted to build new (present) residence.
1947	Spray sheep dip	Corrugated iron, steel.
1947	Shearers' Quarters	Shepherd applies to move the accommodation building and make improvements to the kitchen and other subsidiary buildings.
1950	Homestead	Present homestead - concrete and terracotta tiles – constructed.
1950s	Garage	Modifications to garage -corrugated iron, timber.
1959	Station Hands Cottage	Fibro cement, corrugated iron.
1960	Meat house	Corrugated iron, timber.
1960s	Plunge dip	Concrete
1970s	Machinery Shed	Corrugated iron, timber, extended later.
1970s	Water tanks	Concrete, corrugated iron.

2.7 Summary of Plantings

Date	Plantings
Campbell Period	
19 th century	Willows (creek embellishment)
19 th century	Hawthorns (live fences/hedging)
19 th century	Black Locusts (fodder plants/honey production)
19 th century	English Elms
19 th century	Monterey Pine (at stone cottage)
Shepherd Period	
Interwar period	Orchard near stone cottage (incl. cherries and quinces)
Interwar period	Edible fig tree next to stone cottage
1930s - 1940s	Orchard on eastern side of Spring creek (now gone)
1930s - 1940s	Cypress windbreak west of shearing shed
1940s	Monterey Pine windbreak opposite former stables site
1950s	Golden Cypress near Oliphant homestead
1960s	Cypress windbreak north of garage
Present Period	
Later 1980s – 1990s	Plantings around the shearers' quarters.

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2.8 Landscape: Review of Documentary Evidence

The purpose of this review of documentary material is to determine, as much as possible, what the place was like in its earlier phases and then, by comparing these characteristics with current evidence, establish a basic site development chronology that then helps to inform the assessment of significance and consequent recommendations. To do this, available archival records are analysed below and obvious site developments are noted.

However there is a general paucity of archival ground photography – either from the 19th century or earlier 20th century - for Belconnen Farm such that a review of archival material is mostly limited to mapped information and a few aerial photographic records from the latter half of the 20th century.

2.8.1 Robert Dixon Plan, 1837

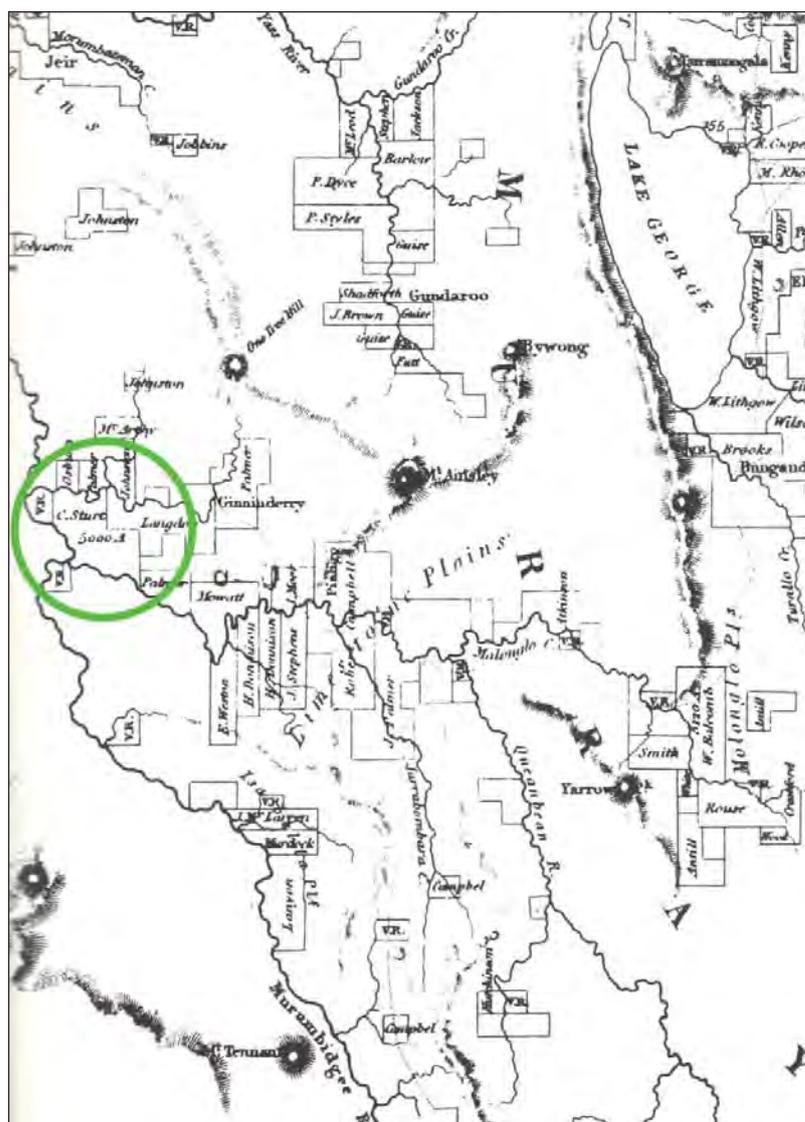


Figure 17: Robert Dixon Plan 1837

Source: Gillespie, 1991, p.17

Charles Sturt's 1835 grant of 5,000 acres ('Grange') is noted on Robert Dixon's 1837 plan showing the *Extent of Settlement on the Limestone Plains*. At this scale the accuracy of the area shown is open to question but it does clearly indicate that the grant

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was most favourably located between the Murrumbidgee River, the Molonglo River and Ginninderra Creek enabling the use of their network of tributaries.

The plan also indicates the proximity of Palmer and Campbell grants as well as landmark features such as 'One Tree Hill' and 'Mt Ainsley'. Parts of the former grant boundaries are still delineated by the three principal drainage lines. Remarkably, at least three of the other grant boundary lines are still discernible across the current landscape by way of fence lines, roads and plantations.

2.8.2 1904 Parish of Weetangera Map

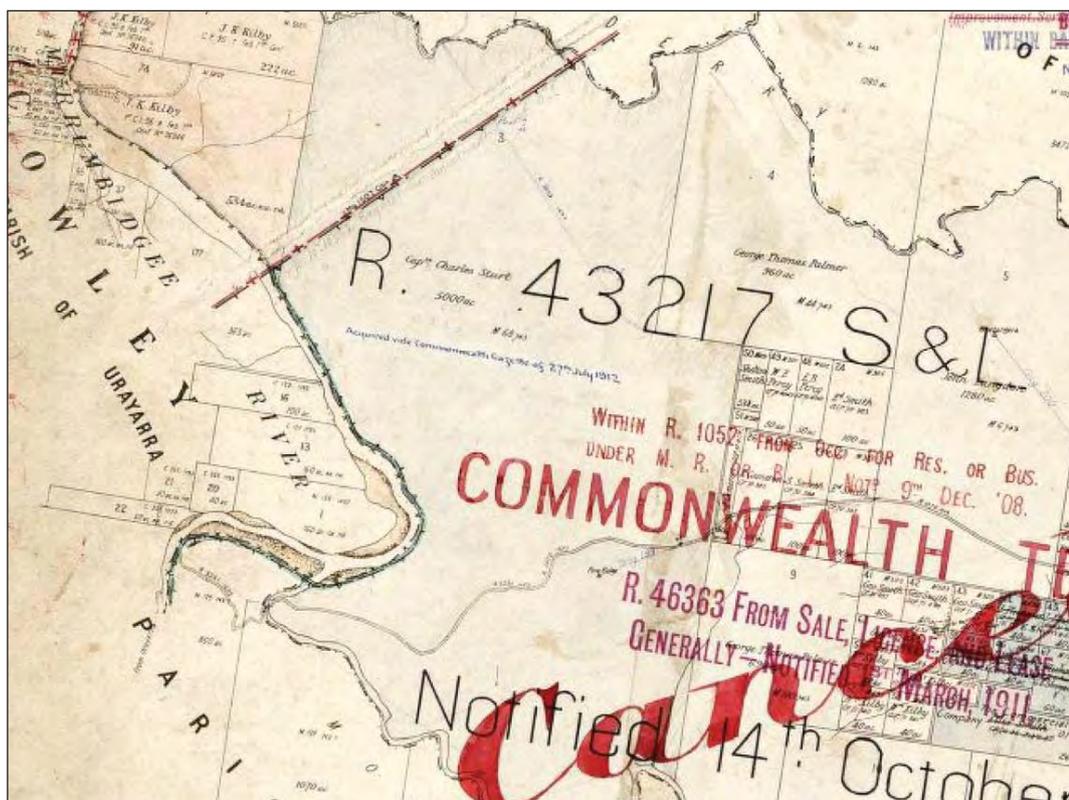


Figure 18: 1904 Parish of Weetangera Map

Source: <http://parishmaps.lands.nsw.gov.au/pmap.html>

As late as 1904 the Charles Sturt grant is still noted under his name despite the land being in Campbell ownership since 1837. The grant area is more accurately shown on the Parish of Weetangera map and there is also a note stating that the land was "acquired vide Commonwealth Gazette etc. 27th July 1912".

The current Belconnen Farm site is located in the vicinity of the large 'R.' before 'Capt. Charles Sturt 5000ac' indicating the sites close proximity to the ACT-NSW border and the Murrumbidgee River. Nearby the distinctive bend in the Parkwood Road is shown which enables the later leasing Block 14 to be visualised. Further to the south is the old Weetangera Road leading to the area known as The Junction (between the Molonglo and Murrumbidgee rivers).

2.8.3 1913-1914 FCT Topographical Map (National Library of Australia, G8980)

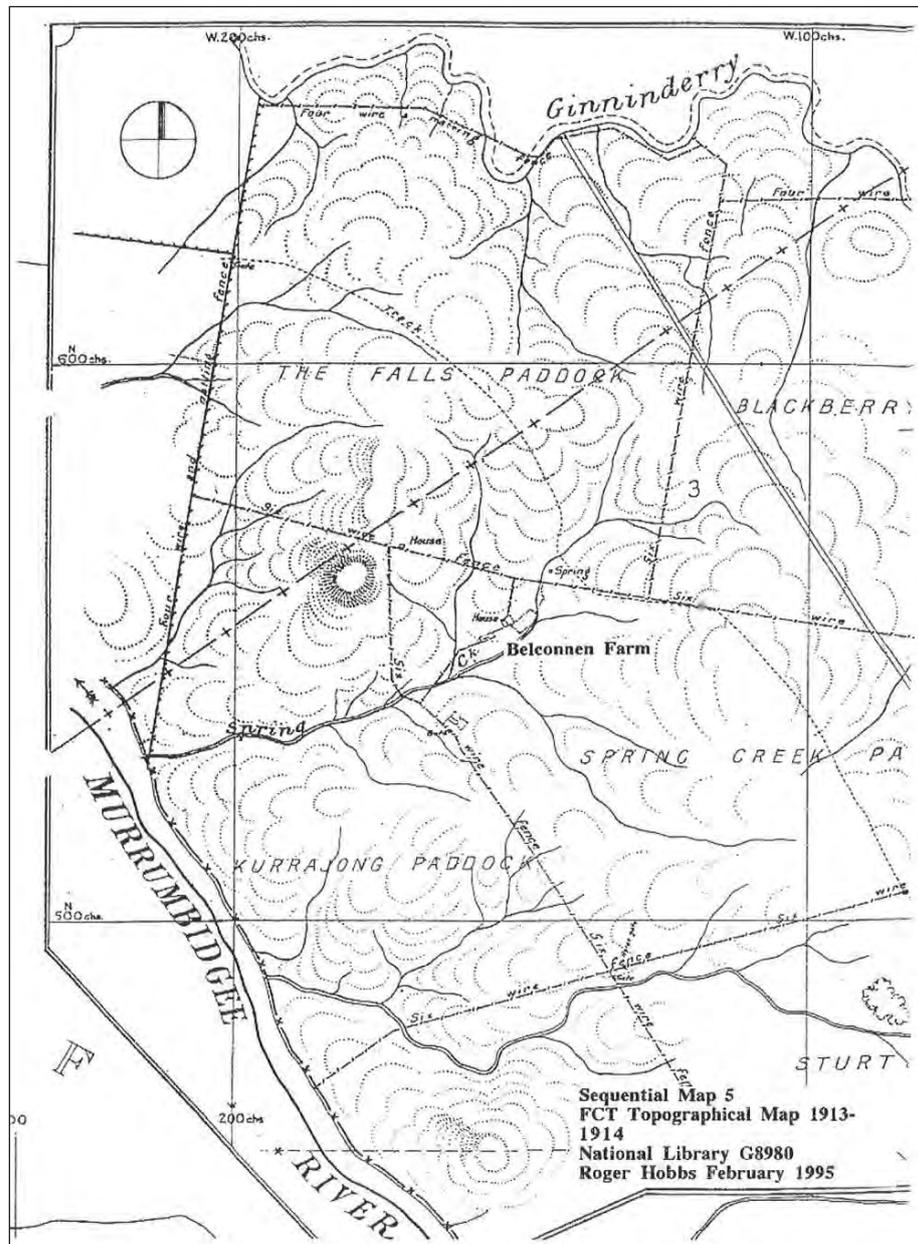


Figure 19: FCT Topographical Map 1913-1914

Source: Roger Hobbs February 1995

The broader landscape context of the Belconnen Farm core is shown on this early survey plan where the close traditional relationship of the earlier buildings to Spring Creek is clearly evident. 19th century paddock divisions are noted with the large rectilinear area of 'The Falls Paddock' to the north being arbitrarily subdivided by the imposed State-Territory border.

To the southwest of the farm group another generous area, bordering the Murrumbidgee River, is fenced as the 'Kurrajong Paddock' – indicating that *Brachychiton populneus* was a feature in the area in the 19th century – and the 'Spring Creek Paddock' is shown encompassing the farm group up to Parkwood Road.

The alignment of the old netted, four-wire fence that formed the western boundary of Sturt's original 1835 grant and later defined the limit of Belconnen Farm under the Campbells up to 1912 is still very clearly evident within the present landscape. The alignment of the old six-wire fence that divided the 'Kurrajong' and 'The Falls' paddocks is also partly evident though only a short length remains fenced and, importantly, it is this section that extends from the ACT-NSW boundary line across to the large machinery shed and current entry road.

Similarly, part of the old six-wire fence alignment that separated the former 'Kurrajong' and Spring Creek' paddocks is also still discernible with a very short section still fenced. This adjoins the other old fence line to northwest of the stone cottage and just to the east of the border and a local rise. The 1913-1914 plan records the location of an earlier house in this area and, across Spring Creek, the plan also notes an area of small enclosures with a gated access off the main fence line. Current aerial photography still suggests some possible evidence for these structures.

A spring – the basis of the eponymous creek - is noted along the creek line to the northeast of the stone cottage and nearby there are a few smaller enclosures.

On the basis of an overlay analysis of the plan with a current aerial photograph, and allowing for the scale of the plan and paper distortion it seems that the current fence layout between the northern workers cottage and the stone cottage may not follow that shown on the survey plan. Former enclosures associated with the demolished stables appear to be shown on the 1913-1914 plan and would offer, through archaeological interpretation, clues for the earlier farm layout down to the stone cottage.

2.8.4 1914 Yarralumla Estate Leasing Terms for Belconnen (NLA, Canberra G8981.G46)

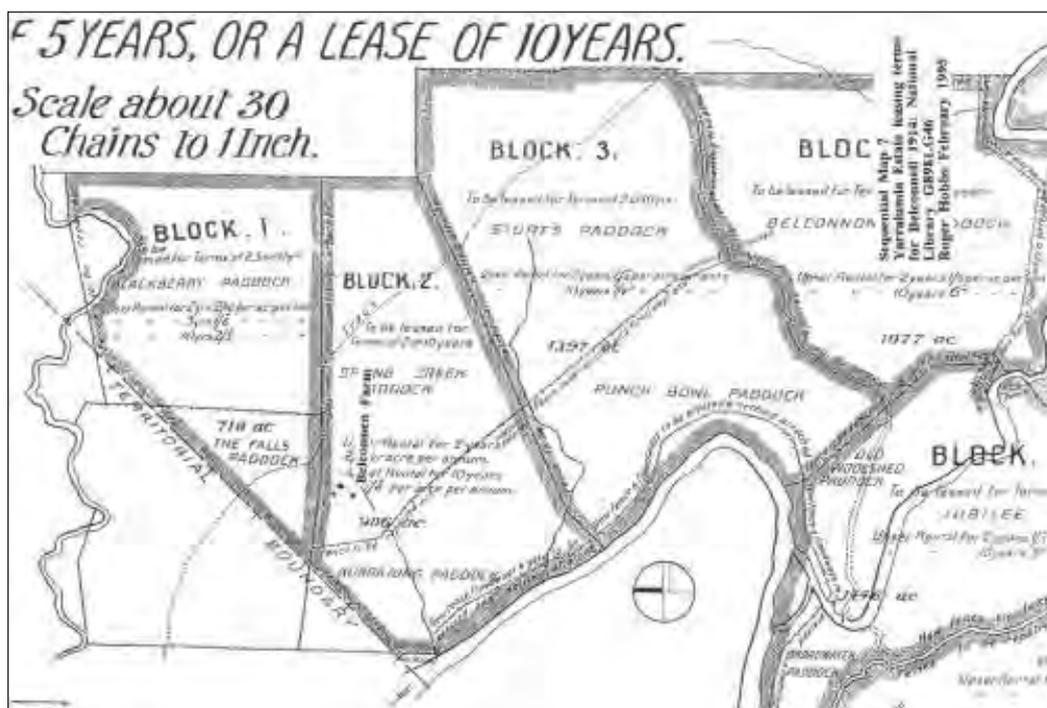


Figure 20: Federal Territory Map 1914

Source: Roger Hobbs February 1995

On this plan the Belconnen Farm group is located within the Federal Capital Territory designated lease Block 2 where the old estate fence alignments are retained but the actual fences are noted as needing "...to be repaired and netting to be attached" as a condition of the lease. Block 2 contained the 'Spring Creek' and Kurrajong' paddocks.

2.8.5 c1915 Feature Map of the FCT Sheet 3 North (NLA G8981.G46)

Appearing to be based on the 1913-1914 survey plan, this c1915 plan provides valuable additional information about the landscape, its condition and agricultural suitability (refer Figure 10). The plan also notes a former house near the fence junction of 'The Falls', 'Kurrajong' and 'Spring Creek' paddocks, the small enclosure south of the creek at the fence dividing the 'Kurrajong' and 'Spring Creek' paddocks and the other enclosures around the former stables and outbuildings.

The plan describes the 'Kurrajong' paddock as having flat spurs and occasional rocky or stony hills and, where Spring Creek nears the Murrumbidgee River, there is the more dramatic description of a 'rocky gorge'. Within the 'Spring Creek' paddock the pastures are described as being 'well grassed' though with either 'scattered stumps & green trees' or 'scattered dead & green trees' confirming that the general landscape was largely cleared with only a few trees for shelter or visual respite.

A track is shown to the east running through the 'Spring Creek' paddock (and parallel to the line of the Parkwood Road), then following a fence line until passing through just above the farm's spring source before continuing north towards the former Kilby land within NSW. The same line of access may have also served as the entry to the Belconnen Farm homestead. The West Belconnen Landfill site has now subsumed much of this same area northeast of the farm group.

As with the previous 1913-1914 survey plan the other label of 'house' is positioned close to the location of the 1890s stables rather than where the actual stone cottage is located (which is further to the southwest at the end of the small rectangular enclosure).

2.8.6 1924 Block 14 Leasing Plan (NLA G8981.G46)

About ten years after the initial leasing plan, this next plan of Belconnen Farm notes that the lease area is now known as Block 14 which was leased to the former serviceman Austin Shepherd (refer Figure 8). The main fences - with alignments remaining unchanged from the 19th century - are described as being netted indicating that the earlier proposed work of repairing and securing the old fences had been carried out.

The access road shown to the former Kilby land to the northwest is again shown on this plan however there is now shown an additional track that diverges from the former road and enters the Belconnen Farm core area from below the spring source (which is marked) and leads to the farm buildings before turning north and heading to the border fence.

Where the previous plans had put the label 'house' next to the stables complex this plan corrects this by having 'shed' in this location and adding 'cottage' where the existing stone cottage is located although it also shows a rectangular enclosure with two structures within it. The other house previously noted to the northwest, and beyond the old east-west fence (near the 'W'), is not noted implying that it had been removed sometime between c1915 and 1924.

Reflecting the general agricultural context of the farm, the plan describes the land within the old 'Kurrajong' paddock as 'fairly good grazing' while the land to the east within the old 'Spring Creek' paddock is described as a mixture of 'good' and 'fair grazing' land with areas of 'fair cultivation land' (either side of upper Spring Creek) also noting it as 'old cultivation'.

This plan, unlike those preceding, also notes two additional fence lines within the 'Spring Creek' paddock running parallel with the old east-west fence line. One is fenced with four wires and the other with six wires. At its western end the latter fence negotiates a tributary of Spring Creek by running in a series of 'zig-zags' before heading across the creek and up to the stone cottage enclosure while the other fence simply changes course and runs directly up to the former stables area. Interestingly, the alignments of both these fences at the western end are still apparent in the present landscape.

2.8.7 1954 Oblique Aerial



Figure 21: 1954 Oblique Aerial Photo

Source: National Archives of Australia, A7973/1 INT436/2

In the absence of other available images of Belconnen Farm this oblique aerial view represents the earliest photography of any kind. It is taken from the southwest with the farm group just within the lower part of the frame. The line of the ACT-NSW border, almost parallel with the edge of the image, is clearly shown to the left running straight to 'One Tree Hill' near Hall.

Ginninderra Creek meanders across the middle of the photograph from right (east) to left (west) and just under this is the oblique-aligned part of Parkwood Road. A separate track is visible from off Parkwood Road eventually curving around to enter the Belconnen Farm group site. Other tracks appear at the lower left side of the image, one of which heads for the border with an unidentified structure located along it near the border.

At the right side of the image two parallel lines are visible with the upper one being a continuation of the alignment of the easterly part of Parkwood Road. This appears to be the old east-west fence alignment dividing the previous 'Spring Creek' and 'The Falls' paddocks. In the lower right corner another fence line is just visible that accords with part of the four-wire fence line noted on the 1924 leasing plan.

Just below this there is also just visible part of the six-wire fence that 'zig-zags' around the Spring Creek tributary. Also in this vicinity, and still on the eastern side of Spring Creek, is an orchard.

Near the farm group, Spring Creek is shown dominated by the dense copse of elms with a procession of willows continuing downstream and a similar line of willows on the tributary creek opposite the stone cottage. To the east of the cottage the large pine is shown as a very substantial tree looming over the stone cottage and, nearby, the large edible fig tree is also shown to be substantial even in 1954.

The 1950 homestead building lies beyond the stone cottage and another structure appears to be next to the cottage off its western verandah before a dense block of trees that shields the western side of the cottage group. A small structure (presumably the present garage) is shown outside the enclosure of trees.

Further up the access track the former stables and outbuilding group is located before another group of trees and the station hands cottage next to the elm copse. To the left of these there is a line of pines in front of the shearers quarters group of structures and, further up the spur, there is another farm structure next to the pair of elms with the shearing shed beyond this and a line of windbreak trees further to the west. Unfortunately the frame just omits the area east of the creek where a small enclosure is shown on the earlier plans so it is not known, without some archaeological investigation, if structures were associated with this area.

Only sporadic woodland trees appear throughout the landscape visible in this photograph - until well past Ginninderra Creek where there is relatively dense tree cover - confirming the generally open appearance of the Belconnen Farm area.

2.8.8 Sketch off 1972 aerial photography (NLA, I55/16/451, Uriarra CAS 664, Run 122)

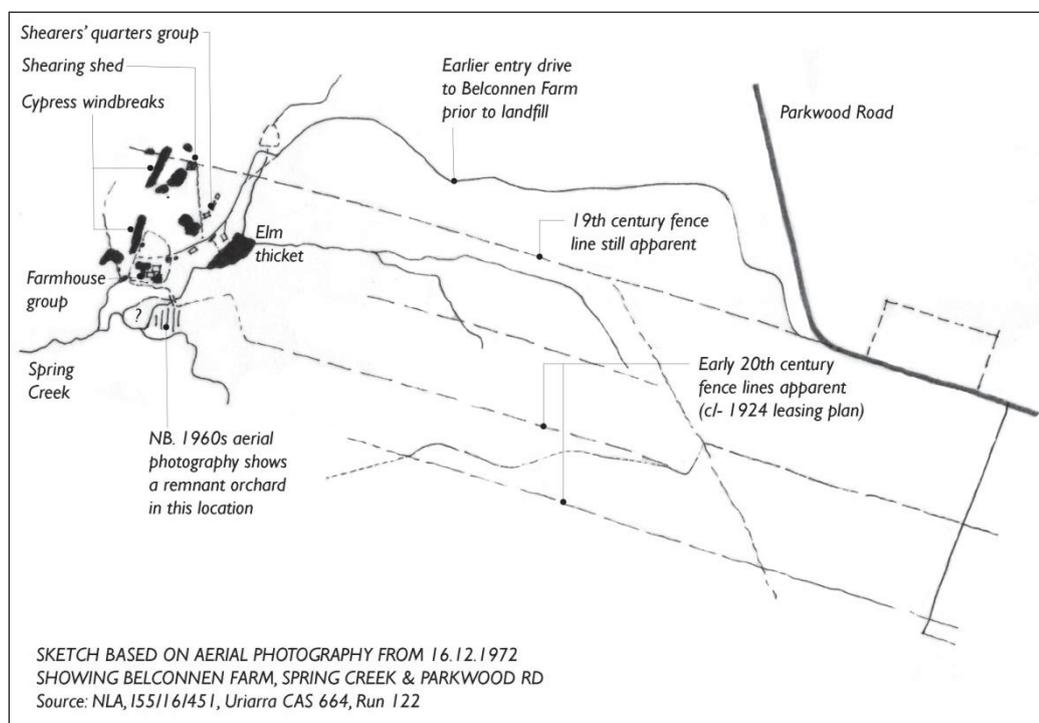


Figure 22: Sketch based on aerial photography from 16 December 1972 showing Belconnen Farm, Spring Creek and Parkwood Road.

Source: NLA, 155/16/451, Uriarra CAS 664, Run 122.

The above image is a basic sketch made from a 1972 aerial photograph. It confirms the access track off Parkwood Road as well as several fence lines parallel with the eastern part of Parkwood Road. It shows the access track entering the farm site from across Spring Creek and just below a small dam.

Within the farm core the sketch also confirms the following:

- * the large copse of elms at Spring Creek;
- * a crossing of the creek near the stone cottage;
- * the large pine next to the stone cottage;
- * the 1950 homestead;
- * the block of trees (mostly orchard trees) to the west;
- * the concrete water tank to the north of the cottage orchard;
- * the windbreak next to the water tank;
- * the former stables;
- * a block of pines north of the stables;
- * the station hands cottage west of the elm copse;
- * the shearers' quarters group northeast of the pines; and
- * a group comprising elms, Black Locust copse, western windbreak and the shearing shed.

Another smaller structure appears to the north of the shearing shed in the vicinity of the present large machinery shed.

2.8.9 1985 Aerial Photograph



Figure 23: 1985 Aerial Photograph

Source: NLA, Belconnen CAC/C 2777, Run 2, Frame 35

By 1985 the entry to the farm core has been brought around the western end of the West Belconnen Landfill site which has begun to encroach on Spring Creek and its tributaries although part of the earlier access road is still visible below the perimeter road of the tip area. A new access road or farm road is shown approaching the core area from the east and the old east-west fence line is still visible emerging from the landfill site and running towards the ACT-NSW border.

East of the creek the fence layout shown in the 1924 leasing plan is just visible partly accentuated by another farm road that runs along one of the fence lines. By 1985 the large machinery shed is shown with a straight access road and the former stables structure is clearly visible. Next to the stables is a long windbreak that has now been reduced to only two Monterey Pines and, nearby, the main shearers' quarters building is shown with no mature vegetation around it.

To the south of the shearing shed there is a dense copse of Black Locust with mature elms. To the south and at the western side is the coniferous windbreak and an area of cultivation beyond. Further west, another tributary of Spring Creek is visible running north-south past the homestead enclosure.

The line of the windbreak next to the shearing shed is continued further south where it is picked up by the second coniferous windbreak protecting the stone cottage and homestead from the northwest. The enclosure around the farmstead group appears much as it is at present though there seem to be more plantings along the front fence of the 1950 homestead building. A small structure is shown just to the south of the elm thicket immediately south of the creek.

2.8.10 2004 - 2009 Colour Aerial Photography



Figure 24: 2009 Aerial Photograph

Source: Google Earth Historical Imagery

Even though this aerial photography is very recent the differences between the images reveals important changes to the site and these are briefly described. The first photograph in the sequence is from March 2004 at a stage when the landfill has subsumed part of Spring Creek and a northern tributary with a large dam only metres from the elm thicket. Contrasting with the 1985 image the main shearers' quarters building is shown with numerous plantings around it (indicating considerable planting activity within 20 years), the small structure south of the elm copse has gone and the old stables group and its associated fenced enclosures is clearly legible.

By March 2005 a large dam has been built across Spring Creek to the south of the stone cottage and homestead group with a conspicuous concrete spillway arcing around to the continuation of the creek below. The February 2006 photography shows much the same information including the old stables group (including fenced enclosures inscribing considerable detailed layout).

By 2009 the stables have gone along with virtually the entire detailed enclosure layout associated with the site. There are also considerably fewer pines in the former windbreak opposite the stables – probably attributable to about a decade of dry weather throughout the 2000s - and even less trees in front of the station hands cottage next to the elm copse.

3.0 PHYSICAL EVIDENCE

3.1 Setting

4.1.1 Description of the Site

Current access to Belconnen Farm is via the former refuse tip (West Belconnen Landfill) at the end of Parkwood Road (an extension of Southern Cross Drive). This is a more circuitous entry compared with the earlier entry shown on the 1954 aerial photography and has been necessitated by the location and subsequent expansion of the tip area. The current access road does appear to eventually join the earlier one to the east of the large northern machinery shed.

Belconnen Farm is sited over a largely open, undulating, grassy landscape incised by the tributary system of Spring Creek that drains to the southwest into the Murrumbidgee River. Spring Creek derives its name from the spring located along the creek line to the immediate south of the landfill. In fact the whole of the local area either side of the Murrumbidgee River corridor is noted on early 20th century maps as having numerous such natural springs.

There are several dams along the course of Spring Creek and as the creek approaches the Murrumbidgee River the landforms become more pronounced with steeper slopes and much outcropping along the shoulders fronting the river corridor. Belconnen Farm would have benefited from this close proximity to natural springs, creeks and the river. Of the larger locally indigenous vegetation within Belconnen Farm all are Blakely's Red Gum (*Eucalyptus blakelyi*) of which several old trees seem to remain in each paddock.

The early stone cottage is impressively sited on a spur overlooking Spring Creek with a vista down the creek line towards the Murrumbidgee River channel and a panoramic sweep across the many high ranges to the southwest that form a key part of the characteristic backdrop to Canberra. Distinctive topographic features visible from the cottage include the local Pig Hill to the southwest and various peaks within the Brindabella system.

Neighbouring farm groups lie nearby including *Strathnairn* to the southeast, *Parkwood* to the north and, across the Murrumbidgee River, *Woodstock* to the southwest.

Introduced vegetation at Belconnen Farm is varied and includes some plantings that likely date to the 19th century. One of the most distinctive features of the farm group is the large, dense copse of elm trees (*Ulmus* sp.) along Spring Creek to the east of (behind) the post-war workers cottage. The copse extends downstream to roughly opposite the site of the former 1890s stables group (refer Figure 25).



Figure 25: Panorama looking to the former West Belconnen Landfill area in the background with the large Elm thicket within the Spring Creek to the right. On the left are two Monterey Pines with the shearers' quarters behind.

Source: G Britton, 2012

Beyond the elms, and still along the creek line, are scattered willows (probably *Salix babylonica*), some of which have attained considerable size and, possibly, age. The willows extend down the creek and either side of a dam built about 2004. (Figure 27) The creek corridor also contains other cultural species with the propensity to become environmental weeds such as Common Hawthorn (*Crataegus monogyna*), St John's Wort (*Hypericum perforatum*), Giant Mullein (*Verbascum thapsis*) and some Briar Rose (*Rosa rubiginosa*) (refer Figure 27).



Figure 26: View of Spring Creek just below the farmhouse precinct (right) where willows dominate the creek edges around the c2004 dam.

Source: G Britton, 2012



Figure 27: A Briar Rose (*Rosa rubiginosa*) at Spring Creek below the c2004 dam – one of numerous weed species throughout the farm area.

Source: G Britton, 2012

A large Monterey Pine (*Pinus radiata*) lies to the immediate east of the stone cottage and next to its south eastern corner is a large edible fig tree (*Ficus carica*). Both the pine and fig tree have attained impressive stature and appear to have been associated with the cottage for many decades (refer Figure 29) Also just to the south of the cottage, and beyond the fence, are two Kentish Red Cherry trees (*Prunus cerasus*).



Figure 28: View of the stone cottage with the large *Ficus carica* at the end of the southern verandah with the old Monterey Pine behind. Two Kentish Red Cherries lie outside the present fenced enclosure suggesting that the cherries were once within a different enclosure as part of an earlier Cottage layout. Willows indicate the location of Spring Creek beyond.

Source: G Britton, 2012

To the west and northwest of the stone cottage are numerous older plantings including a line of four quince trees (*Cydonia oblonga*), numerous Kentish Red Cherries, a hawthorn and a Black Locust (*Robinia pseudoacacia*). Along the fence line extending across the front of the 1950 homestead is a line of plantings including Desert Cypress (*Cupressus arizonica*), *Tamarix* sp., *Nerium oleander*, another hawthorn, a Golden Cypress (likely contemporary with the homestead) and another cherry tree (refer Figure 28).



Figure 29: Panorama with the 1950 homestead in front of the old pine and the stone cottage behind the Desert Cypress and orchard trees. The Golden Cypress, Oleander and Tamarisk are probably contemporary with the homestead.

Source: G Britton, 2012

To the west, beyond the immediate fence enclosing the homestead, there are several groups of Black Locusts, occasional hawthorns sharing paddocks with a few pairs of remnant red gums. North of the garage and car sheds is a windbreak of Desert Cypresses extending past the concrete water tank. Further up the slope there is another line of cypresses that runs to the western side of the shearing shed and later machinery shed. Both west and east of the latter cypress windbreak are further groups of Black Locusts.

South of the woolshed are two large elms along a fence line and further east of the same fence are two Monterey Pines that are near the line of shearers' quarters sited along contours around the lower part of a spur. Within the immediate grounds of the shearers' quarters and former kitchen there is a small garden with a surprisingly diverse range of plantings from the last several decades (refer Figure 30). Regenerating poplars (*Populus* spp.) and hawthorns persist at the creek edge upstream of the elm copse.



Figure 30: View to shearers' quarters with the shearing shed further up the ridge to the right. The garden to the left comprises plantings generally from the mid-1980s and onwards.

Source: G Britton, 2012

Farm access roads appear to be mostly of recent layout. There is a notable timber picket fence of premade panels around the paddock to the northeast of the homestead.

Along its south western edge Belconnen Farm site is bounded by the Woodstock Nature Reserve which is administered by the ACT Government. The reserve extends from the ACT-NSW border south along the Murrumbidgee River to the Uriarra Crossing.

3.2 Landscape

3.2.1 Vestiges of Pre-European Landscape

Of the landscape that would have been present at the time of the first European incursions into the northern Limestone Plains in the 19th century, those intrinsic attributes that remain include the eroded and weathered landforms, the dendritic drainage patterns, rocky gorges, sporadic persistent woodland trees with a riparian vegetation community closer to the main drainage corridors and, in a broader context, extensive views connecting the site with the distant mountain ranges beyond.

In the vicinity of the present Belconnen Farm, and where landforms are unaltered by recent large scaled landfill, the old topography mainly consists of flat spurs on the higher elevations and gently undulating forms where creeks and successive tributaries have incised the less resistant areas. While not featuring a series of dramatic waterfalls such as those at the nearby Ginninderra Creek there is considerable outcropping along Spring Creek as it approaches the Murrumbidgee River. The Belconnen-Ginninderra area is also known to be of considerable geological interest.

Much of the land that comprised the southern half of Sturt's original grant area has been described as a Tableland Dry Tussock Grassland with Tableland Riparian Woodland along the Murrumbidgee River (and into the larger tributary creeks such as Spring Creek) and patchy areas of Tableland Grassy Woodland (with red gum and Yellow Box) and Tableland Woodland (with *Callitris endlicheri*).²

Around the farm the only notable survivors of the earlier tree component of the indigenous vegetation are occasional Blakely's Red Gums (*Eucalyptus blakelyi*) functioning as isolated reference points. Despite the effects of earlier clearing, long-term erosion, grazing, compaction and widespread weed species such as hawthorn and St John's Wort, Spring Creek remains a feature of the Belconnen Farm landscape and offers a basis for a restored riparian vegetation type enabling further biological and visual richness.

² Environment and Recreation, TAMS, 2007, p29

3.2.2 Campbell Phase (19th century to early 20th century)

Apart from the stone cottage and former stables group (now an archaeological site) other obvious or likely remaining introductions to Belconnen Farm during the long Campbell family phase of ownership include part of the 19th century fence layout; the old Monterey Pine next to the stone cottage; and the initial plantings of Black Locust, English Elm, Common Hawthorn and Weeping Willow. It is also likely that dams would have been built during this phase however these are more difficult to confirm without archaeological intervention (and in the absence of documentary proof).

An important and enduring legacy of the introduction of the stone cottages is that it was sited to exploit views to the southwest that range from the foreground creek gully to distant mountains. Panoramic views from the southern verandah, for example, continue to reveal a picturesque landscape composition of considerable scenic distinction (refer Figure 31). Other parts of the site also provide impressive prospects of extensive panoramas across the Canberra region (refer Figure 31).



Figure 31: A panorama from the southern verandah of the stone cottage as an example of the important traditional views out to the distant Brindabella Range. Excepting the power lines etc this would be similar to the impressive scenic views apparent from the area when the farm was being established in the mid 19th century.

Source: G Britton, 2012



Figure 32: Panoramic view back to the Homestead from the ridge to the west. The foreground illustrates some of the weed species within the farm paddocks – St John's Wort, Scotch Thistle, Fleabane and Giant Mullein. Beyond these, the farm appears to have changed little over a century and a half.

Source: G Britton, 2012

Remnant early fencing layout includes the junction of current fences to the west of the large machinery shed and just before the ACT border. The early fence arrangement was the basis of division for 'The Falls Paddock' (to the north) from the 'Kurrajong Paddock' (south, bordering the Murrumbidgee River) and the 'Spring Creek Paddock'. The former stables archaeological site may still reveal important information about earlier site layout from the stables area down to the homestead as well as interpreting the early farm use in conjunction with the stone cottage.

The large pine next to the stone cottage would be of a similar size to a tree that, until recently, was along the former entry avenue of Tuggeranong Homestead (but where the massive base and stump have been retained). In the latter case the tree was part of the 1891 pine plantings that Andrew Cunningham undertook at the birth of his first son. Both this and the Belconnen tree have large girths with the lower cluster of major branches swelling out considerably past the actual tree base (refer Figure 33 and Figure 34). Compared with later pine plantings at the site, the stone cottage example has a very open, spreading canopy indicative of considerable age. At the very least the tree would be about 100 years old though likely even older.



Figure 33: The impressively large Monterey Pine (*Pinus radiata*) behind the edible fig with the stone cottage nearby to gauge the scale.

Source: G Britton, 2012



Figure 34: The massive base of the old pine tree that is comparable to a similar pine recently removed from Tuggeranong Homestead known to have been planted in 1891.

Source: G Britton, 2012

An enduring feature of the farm landscape is the large thicket of elms (probably *Ulmus procera*) that dominates part of the creek line. Without detailed documentary evidence or specific physical evidence (such as dendrochronological analysis) it is difficult to determine the age of the oldest trees however the 1954 oblique aerial photography clearly shows the copse to include trees of substantial stature. This suggests that the copse had been in this location anywhere from between 30-40 years at least to, more likely, some decades longer (refer Figure 35).



Figure 35: View along the current entry drive with the station hands cottage (middle) and the massive elm copse behind. Young pines enclose the cottage with several hawthorns leading the way to the homestead.

Source: G Britton, 2012

It is also unknown if this location was where the species was originally introduced to the site. If they had spread there from elsewhere on the site then the original stock would

certainly date to the 19th century. Some of the remnant 19th century plantings at Yarralumla (Government House) include old elms at the parade lawn. It is possible that, under the common ownership of Frederick Campbell, elms were introduced to Belconnen from the Yarralumla trees or to both places at the same time.

During the 19th century it was usual for estate owners to embellish a lake, pond, marsh, river or creek – in fact any aquatic opportunity - with species such as willows and poplars (and sometimes a range of smaller ornamental species) to ensure the landscape scenery conformed to picturesque taste and accepted aesthetic expectations. Spring Creek is well endowed with Weeping Willows and it is likely that this species was introduced as part of the 19th century development of the estate.

Similarly, hawthorns – now regarded as a nuisance species, especially in a riparian context – are a peculiarly 19th century horticultural preoccupation within Australia. It is likely these were originally introduced to the site partly as an ornamental and, more likely, for hedging as they make very effective windrows and ‘live fences’ as was their principal function in Britain as a part of traditional hedgerows. Where the plants were effectively ‘laid-down’ or pleached they formed very effective barriers for livestock and, as a means of saving on the costs of normal fencing, could be an effective solution where frugality was a priority (such as the 1840s depression).

The Black Locusts are another potentially problematic species with a propensity to spread well beyond their original locations. It is also not known when they were introduced to Belconnen Farm other than that they were a typical choice in many 19th century gardens and farm estates. An old tree remains close to the northern enclosing fence at Mugga Mugga cottage and may have had a connexion with Duntroon for which the cottage was an outstation.

Black Locusts were certainly used ornamentally and their flowers are useful near apiaries but they were also used as fodder trees where the nutritional value of the leaves can be as high as alfalfa (*Medicago sativa* L.) which made them feasible for commercial feed production, silage, and hay or leaf meal. Groups of these trees are now located throughout the farm though none seem to be very old which suggests that, like the hawthorn, the present copses and individuals have spread of their own accord from where they were originally planted (refer Figure 36 and Figure 37).



Figure 36: A copse of Black Locust (*Robina pseudoacacia*) near the hill to the west of the garage.

Source: G Britton, 2012



Figure 37: View west to the copse of Black Locusts behind the woolshed with a pair of English Elms (*Ulmus procera*) to the left.

Source: G Britton, 2012

It is very likely that during the Campbell phase of ownership there would have been an orchard somewhere in the vicinity of the stone cottage. This may have been where large fruit trees remain to the west of the homestead or it could have been located in the area between the stone cottage and the former stables or further down the slope closer to the creek. Without more detailed documentary evidence this will necessarily remain undetermined.

Additionally, as the mid-1910s FCT plans indicated a second residence up until the 1924 leasing plan (when no additional house is shown) it is possible that the area may remain a site of archaeological prospect. The presence of a house in the mid-1910s possibly means that it was built in the 19th century and if it was a basic farm manager's residence and built largely of timber there may be very little, if any, evidence remaining. However if the structure had substantial footings some evidence may remain.

3.2.3 Shepherd Phase (Much of the 20th century)

After a brief period of short leases following the government acquisition of Belconnen Farm from Frederick Campbell the next lengthy phase of occupation was with the Shepherd family as lessees. Apart from most of the remaining buildings including the 1950 Kenneth Oliphant homestead, notable introductions to the landscape from this phase (or immediately prior to this) include fencing layout to the east of the creek (noted on the 1924 leasing plan), at least one orchard, various coniferous windbreaks and, possibly, the edible fig tree (refer Figure 38 and Figure 39).



Figure 38: This line of Quince trees (*Cydonia oblonga*) is to the west of the cottage.

Source: G Britton, 2012



Figure 39: One of a number of Kentish Red Cherry trees (*Prunus cerasus*) near the stone cottage.

Source: G Britton, 2012

The 1954 aerial photography confirms that mature fruit trees were already around the western side of the stone cottage at this time as well as an orchard across the creek on a flat area between Spring Creek and a tributary (evidence of where this second orchard

was located appears on the current aerial photography as regular tones across the ground). Allowing for the poor resolution of the image after enlargement, the latter trees appear to be between 10 to 20 years old while those next to the homestead may be older. In the absence of further documentation to the contrary it is suggested that Austin Shepherd had planted both orchards.

The 1924 leasing plan notably shows two new fences across the creek within the old 'Spring Creek Paddock' that ran parallel to Parkwood Road and, almost 90 years later, most of the northern fence alignment is still visible (despite the landfill covering part of it) while the western returns of both fence alignments are readily apparent today.

As with the western side of the farm where some of the 19th century paddock layout is still retained, on the eastern side of the farm there is encapsulated some of the early 20th century paddock layout.

Plantings to the north of the 1950 homestead are likely contemporary with it. The Golden Cypress at the northeast corner of the homestead enclosure was a popular choice during the 1950s and a similar situation remains at the Tuggeranong Homestead where the McCormack family's 1949 homestead also has a contemporary drive loop and entry gates with a pair of Golden Cypresses along with flanking Roman Cypresses.

Austin Shepherd had also been responsible for the planting of several windbreaks as the 1954 photography shows two of these as relatively young plantings – probably from the 1930s or 1940s (refer Figure 40). The earliest may have been the line of cypresses to the west of the woolshed with the line of pines opposite the former stables area shortly after. All that remains of this latter shelterbelt are two pines.



Figure 40: Cypress windbreak past the garage (left) with one of the few remnant red gums visible in the background (right).

Source: G Britton, 2012

A further cypress windbreak was added to the north of the garage by the early 1970s. More recently, the northern part of this last windbreak has been removed. Although the windbreaks are relatively recent additions and are no longer as intact as they were even in the 1990s, the trees are appropriate in this cultural rural context and contribute to the traditional character of the farm. They also interpret a traditional agricultural function as shelter plantations.

3.2.4 Present Period (1980s – present)

Following the Shepherd tenure further changes to the site are evident through late 20th century and early 21st century aerial photography. These include the addition of the large machinery shed to the north of the farm group, the appearance of new farm roads between Belconnen Farm and the neighbouring Strathnairn property (due to joint management by the same lessee), the construction of the large dam along Spring Creek in about 2004, the general attrition of windbreak plantings, the appearance of a cottage garden around the sub-tenanted shearers' quarters and the demise, by 2009, of the old stables group (refer Figure 41).



Figure 41: One of the old rebated posts from the former stables area which should now be regarded as an archaeological site.

Source: G Britton, 2012

Belconnen Farm remains a very open site with almost no upper canopy vegetation beyond the farm core. It does, however, retain a number of important components that interpret its 19th century establishment as a farm and its continued development as a productive agricultural enterprise including both 19th century and early 20th century fencing layout, surviving plantings from the same period and, perhaps most remarkably, the stone cottage with its continuing visual connexions to the rural and wild landscapes beyond that have changed little since the area was initially farmed.

3.3 Buildings



Figure 42: Site Plan showing Buildings and Structures covered in this Report

Source: ACT Heritage Citation NI 2011-494, Belconnen Farm, 25 August 2011

DRAFT

3.3.1. Homestead**3.3.1.1. GENERAL**

A single-storey concrete block residence with a terracotta tiled roof with a later extension to the south (refer Figure 16 and Figure 43).

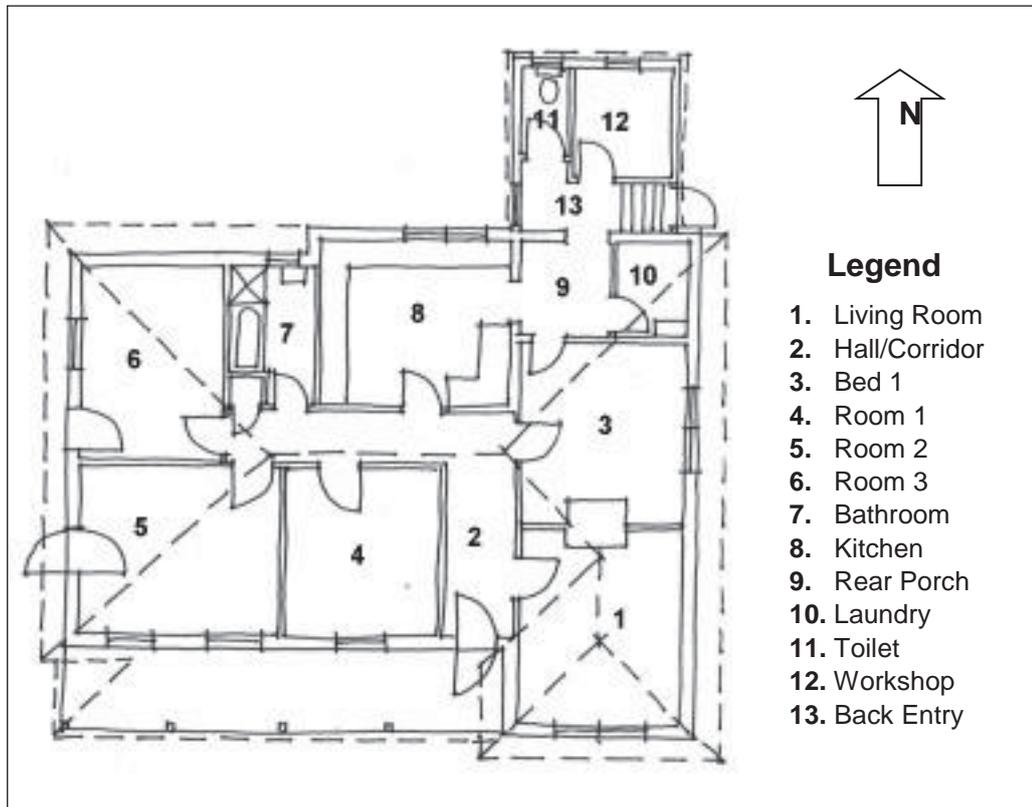


Figure 43: Homestead Floor Plan

Source: Eric Martin & Associates, 2012

3.3.1.2. EXTERNAL

The walls are concrete block with textured pattern. The rear extension is lined with painted flat sheet.

The roof is marseille pattern terra cotta tiles and said to be of Indian manufacture and quiet thin and brittle. The rear section has a low pitched metal roof. The verandah to the north has painted timber posts and unfinished timber floor.

The chimneys are face brick with the TV antenna added to one.

Refer to interior section for windows and doors but generally windows are timber framed double hung and doors timber framed and glazed.

CONDITION: The building is in reasonable condition except the roof which is in poor condition with cracked tiles and patch repairs.

COMMENT: The building is substantially a c1950 building with a later addition to the rear.

DRAFT



Figure 44: From North East



Figure 45: From West



Figure 46: From South

3.3.1.3. INTERNAL

- **General**

This description generally applies to the interior except wet areas. Other details or differences are identified in the description of each room.

Timber floor clear finished with timber skirting and bead. Rendered walls with painted timber picture rail. Fibrous plaster ceiling with coved cornices. Timber framed double hung windows with two light sashes. Clear finished. Flush panelled door with clear finish and art deco influenced hardware. Clear finished architraves and doorframe.

- **Living Room**

Brick fireplace with small bricks and clear finished timber mantel and tiled hearth. Central light and modern electrics.

CONDITION: Crack in wall above door. Ceiling heavily deteriorated due to leaks. Other finishes worn.

COMMENT: Finishes generally reflect the original c1950 building with the only real change the electrics.

DRAFT



Figure 47: Living Room



Figure 48: Living Room

- **Hall/Corridor**

There is no window and the door is a five light timber framed glazed door.

Central light with modern electrics.

CONDITION: Ceiling is deteriorated due to leaks and other finishes are worn.

COMMENT: Finishes generally reflect the original c1950 building with the only real change the electrics.

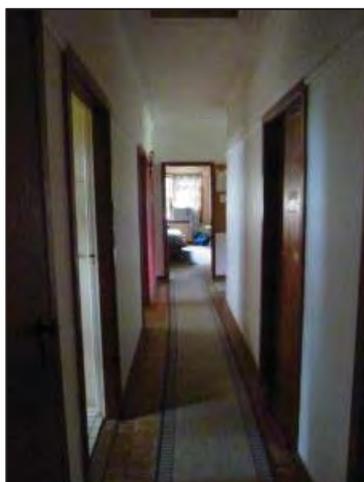


Figure 49: Corridor



Figure 50: Hall

- **Bed One**

Brick fireplace with small bricks and a clear finished timber mantel and tiled hearth with a timber border.

Central light with modern electrics.

CONDITION: In reasonable condition.

COMMENT: Finishes generally reflect the original c1950 building with the only real change the electrics.

DRAFT



Figure 51: Bed 1



Figure 52: Bed 1

- **Room 1**

Carpet has been added to timber floor.

Central light and modern electrics.

CONDITION: Ceiling is deteriorated due to leaks and other finishes are worn.

COMMENT: Finishes generally reflect the original c1950 building with the only real change the electrics.



Figure 53: Room 1

- **Room 2**

Carpet has been added to timber floor.

The external door is a five light timber framed glazed door.

Central light with modern electrics.

CONDITION: In reasonable condition.

COMMENT: Finishes generally reflect the original c1950 building with the only real change the electrics.

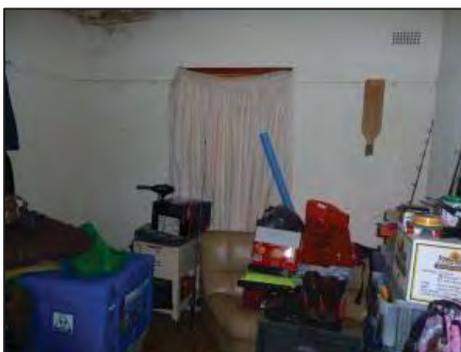


Figure 54: Room 2

- **Room 3**

Carpet has been added to timber floor.

The external door is a five light timber framed glazed door.

Central light with modern electrics.

A floor mounted slow combustion wood heater has been added.

CONDITION: Ceiling is deteriorated due to leaks and other finishes worn.

COMMENT: Finishes generally reflect the original c1950 building with the only real change the electrics. The heater is a later addition.

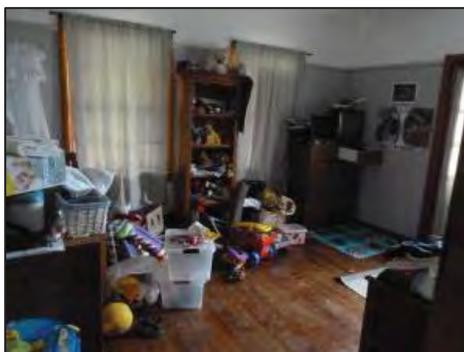


Figure 55: Room 3

- **Bathroom**

Tiled floor with rendered walls.

The flat sheet ceiling has a cove cornice.

The timber panelled double hung windows have two light sashes and painted finish.

The flush panelled door has a paint finish to the bathroom and clear finish to corridor and art deco influenced hardware.

The bath and basin are green porcelain.

The shower is a painted finish.

Central light with modern electrics.

DRAFT

CONDITION: In reasonable condition although shower area is deteriorated.

COMMENT: Finishes generally reflect the original c1950 building with the only real change the electrics. The heater is a later addition.

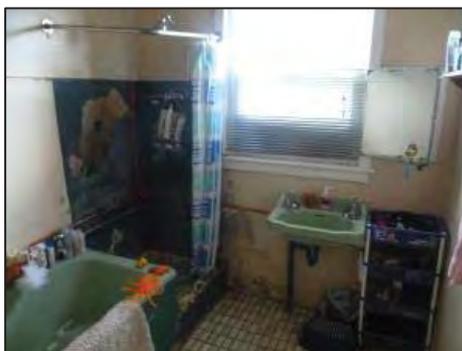


Figure 56: Bathroom

- **Kitchen**

The timber floor is covered with vinyl and walls are rendered.

The ceiling is fibrous plaster with a cove cornice.

The timber framed double hung windows have two light sashes and paint finish.

The door is a flush panelled door with painted finish.

The architraves are painted.

Cupboards with fittings (sink, cooker,) are old styled with a newer laminate top and splashback.

CONDITION: In reasonable condition although worn.

COMMENT: The cupboards are old but are unlikely to be original and vinyl and laminate are more recent finishes.



Figure 57: Kitchen



Figure 58: Kitchen



Figure 59: Kitchen

- **Rear Porch**

The timber floor is covered with vinyl and walls are rendered.

The ceiling is flat sheet with cover strips and bead cornices.

Central light with modern electrics.

Opening to rear entry with painted architraves to doors.

CONDITION: In reasonable condition although worn.

COMMENT: The vinyl is a more recent finish but the other finishes, except electrics, reflect the original c1950 building.



Figure 60: Rear Porch

- **Laundry**

The floor is concrete and walls rendered.

The ceiling is flat sheet with cover strips and bead cornice.

There is a laundry tub.

Central light with modern electrics.

The flush panelled door has a paint finish including the architraves. Hardware is a knob handle.

DRAFT

The timber panel double hung windows as two light sashes and paint finish.

CONDITION: In reasonable condition although worn.

COMMENT: Finishes generally reflect the original c1950 building with the only real change the electrics.



Figure 61: Laundry

- **Toilet**

The timber floor is clear finished with timber skirting.

Walls are lined with flat sheet and painted with a painted timber framed glass louvre window.

The flush panelled door has paint finish and knob handle.

The toilet is porcelain and cistern plastic.

Central light with modern electrics.

CONDITION: In reasonable condition although worn.

COMMENT: A later addition but quite old.



Figure 62 Toilet

- **Workshop**

The timber floor is unfinished. Skirting is painted.

Walls are lined with flat sheet with a timber framed double hung window with single light sashes and paint finish.

Door is flush panelled and painted with knob handle.

A timber workbench has been added.

Central light with modern electrics.

CONDITION: In reasonable condition although worn.

COMMENT: A later addition but quite old.

**Figure 63: Workshop**

- **Back Entry**

The upper level is timber floor with a clear finish and stairs and landing at base are concrete.

The walls to the addition are flat sheet and the original house side concrete block.

A timber framed double hung window and single light sashes and paint finish.

The rear door is flush panel with paint finish.

Central light with modern electrics.

CONDITION: In reasonable condition although worn.

COMMENT: A later addition but quite old.

DRAFT



Figure 64: Back Entry

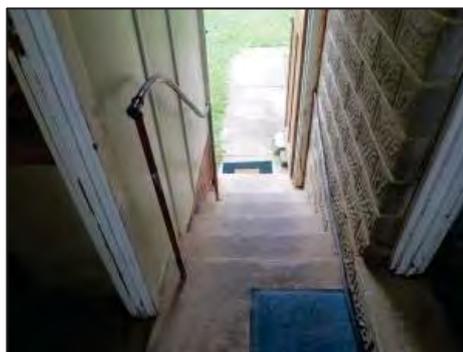


Figure 65: Back Entry

3.3.2. Stone Cottage

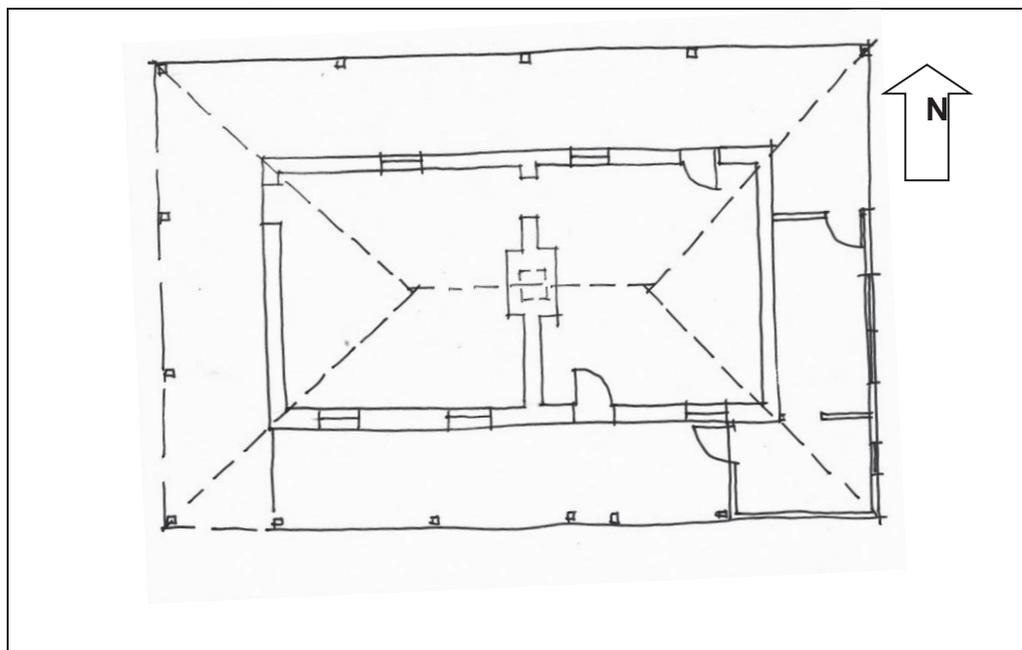


Figure 66: Stone Cottage Floor Plan

Source: Eric Martin & Associates, 2012

3.3.2.1 EXTERIOR

The stone cottage has a hipped corrugated galvanised roof with timber framed verandah to all sides. The western half of the verandah floor is missing and posts are propped up. The south east corner of the verandah is enclosed with a timber framed and weatherboard lined addition. The central chimney is brick with fine detailing above roof. Refer to interior for doors and windows but generally windows are timber framed double hung and doors vary.

CONDITION: The verandah floor is in poor condition and substantially collapsed. The other finishes are worn but in the reasonable condition.

COMMENT: The basic structure and finishes are original including the later verandah enclosure.

DRAFT



Figure 67: From North West



Figure 68: From North



Figure 69: From East



Figure 70: From South

3.3.2.2 INTERIOR

- **Main Section**

Floor is native pine butted floorboards.

Walls are rendered with paint finish.

Ceiling is timber with paint finish.

The skirting is an added timber and not original.

Window and door surrounds are timber lined.

Windows are timber framed double hung with nine light sashes to west room (original) and single light sashes to East Room (replacement).

Doors vary and include: timber painted glazed door, three panelled door and timber ledged door. Doors are painted and include rimlock hardware with knobs. The fireplace is brick with modest timber surround and mantle (none appear original).

Electrics are central light and modern and there are some lights to the verandah.



Figure 71: East Room



Figure 72: West Room



Figure 73: West Room

- **Verandah Rooms**

There are two rooms.

The floor is timber and ceiling is plywood panels with cover strips and timber bead cornice. Walls at timber lined.

The south-east room has a fixed six light timber framed window and the east room a timber framed casement window.

Doors are timber framed ledged and braced with paint finish.

Electrics are a central light and modern.



Figure 74: East Verandah Room



Figure 75: East Verandah Room



Figure 76: South East Verandah Room

3.3.3. Machinery Shed

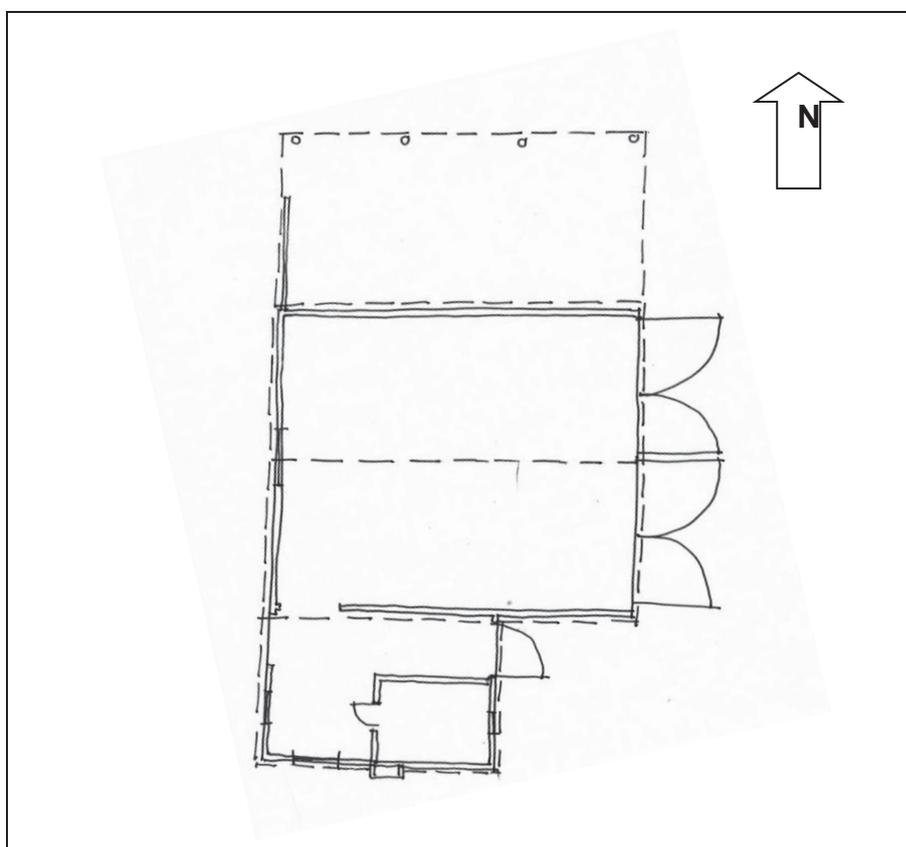


Figure 77: Machinery Shed Floor Plan

Source: Eric Martin & Associates, 2012

The shed is still framed with steel trusses to form a gable roof with skillion addition to the south and a covered open section to the north. The walls and roof are lined with corrugated galvanised iron with the skillion section in galvanised tray roofing. The floor is dirt with loosely laid particle board to the main section and tongue and grooved to the south end. The large doors on the east are corrugated metal but include a section at the base with mesh.

Windows vary with a sliding to the main section and an awning and fixed windows to the awning section on the south.

DRAFT

Electrics are modern and some work benches have been added.

CONDITION: The shed is in reasonable condition although showing signs of age and includes minor damage and deterioration.

COMMENT: The main shed is said to be c1970 and the awning and open section c1990 with little change since construction.



Figure 78: From South West



Figure 79: From East



Figure 80: Main Shed



Figure 81: South Section

3.3.4. Woolshed

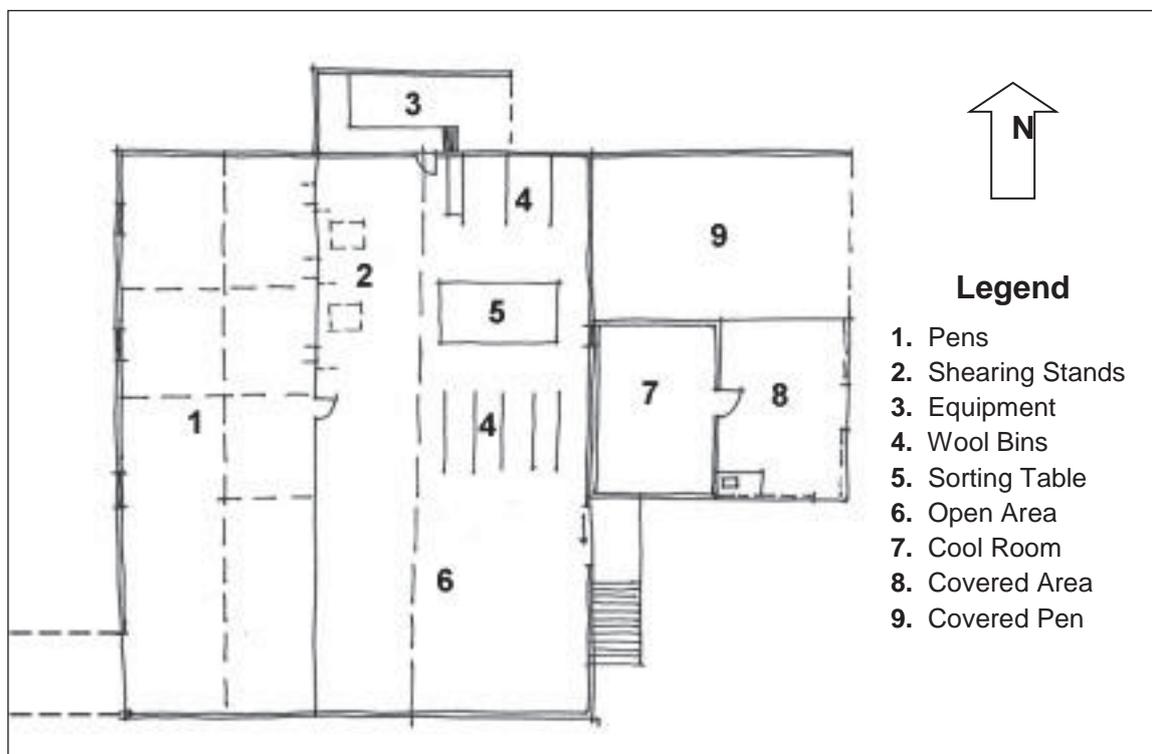


Figure 82: Woolshed Floor Plan

Source: Eric Martin & Associates, 2012

- **Main Section**

Roof has timber trusses with steel cable bottom tie. Lower half is painted.

Walls are timber framed.

Timber floor with tongue and groove in Shearing area and slats in pens.

Corrugated galvanised iron lined roof and walls.

Timber wall to pens with horizontal tongue and groove boards.

Timber sorting bench and bins remain.

Skylights over shearing area.

Timber landing and stairs to equipment at North end. (Ladder has steel handrails and stringer.)

Sheep pens on ground, upper pens at main floor level.

Sliding timber ledged and braced door to external landing.

Back race deteriorated and door damaged.

Windows are six light timber framed sashes which lift vertical.

DRAFT

Electrics and lights are modern.

CONDITION: Good condition except landing to external stairs which are deteriorated and unsafe.

COMMENT: The shed appears to be in working order although not used for several years.

ADDITIONS: A skillion roof section has been added to the east side of the woolshed with rooms at ground level.

Roof is corrugated galvanised iron and includes a galvanised quadrant gutter which has a damaged downpipe that is not connected to the tank.

Timber framed and lined cool room with horizontal boards and sheet metal to floor.

Outside has a concrete floor, Colorbond dividing wall to northern half and timber framed shade cloth lined other walls, with external corrugated galvanised iron cladding to south. A timber framed sink with Dux hot water unit over remain.

Northern half has a dirt floor, timber framed and corrugated galvanised iron lined wall external and pipe framed chicken wire clad gate to opening.

There is a CGI tank on brick stand on north-east corner. Slabs for other tanks also on north side. A large metal tank is on the south and an old timber tank stand.

CONDITION: This section is in reasonable condition with some deterioration and damage.

COMMENT: This is a later addition and usage is not clear.



Figure 83: From South East



Figure 84: From North West



Figure 85: East side



Figure 86: Wool Bins and Shearing

Stands



Figure 87: Pens



Figure 88: Shearing Stands and Sorting Table

3.3.5. Quarters

It may have been a cooks or married or overseers quarters and is not clearly identified in the heritage citation.

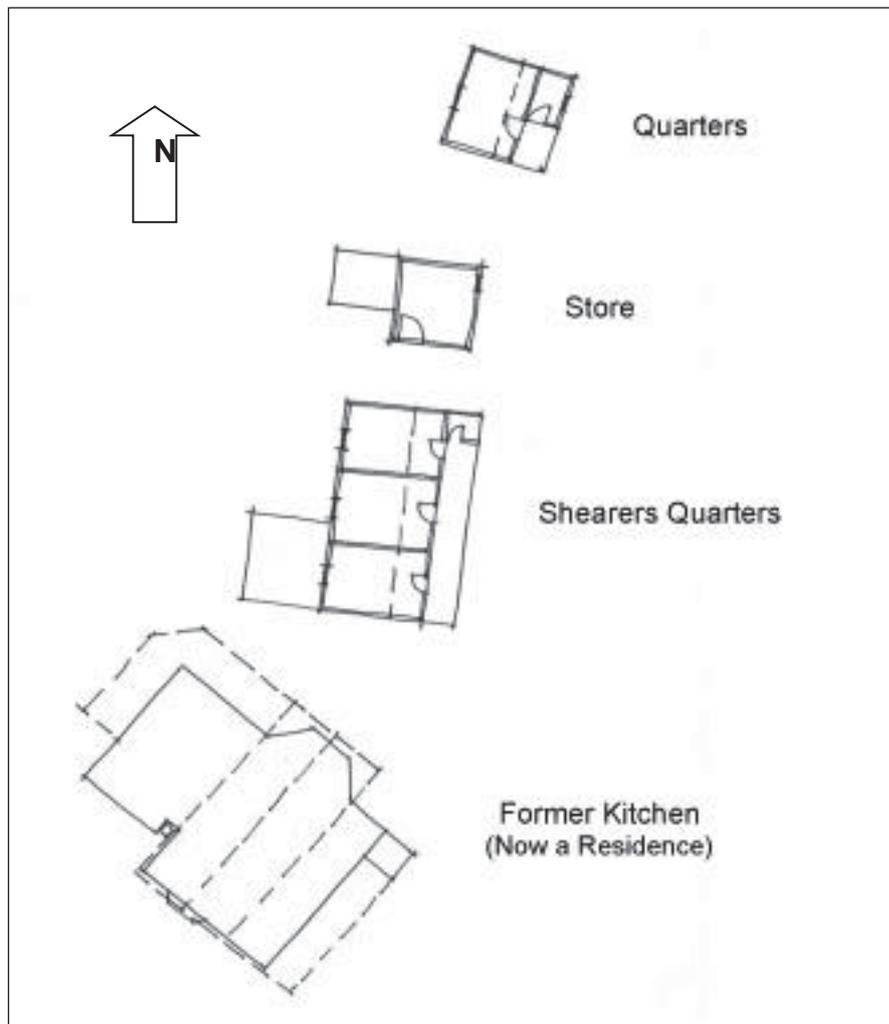


Figure 89: Plan of Shearers' Quarters Group

Source: Eric Martin & Associates, 2012

DRAFT

Timber framed building with gabled corrugated galvanised iron roof and quad gutter. Two rooms of different size and a small verandah.

Walls lined with lower half weatherboards and upper half flat sheet with cover strips.

Two pane window to small room and six light double hung to large room sheeted over externally.

Four panelled doors with rimlock.

Lined internally (walls and ceiling with boards) Profiled timber skirting and architraves.

Set up on blocks and timber stirrups. Probably relocated here.

Electrics are modern.

CONDITION: Roof rusty, sheeting lifting, gutters rusted out and in poor condition, part eaves collapsed and weatherboards cracked and holed in places.

Verandah floor in very poor condition.

COMMENT: Was the original supervisors shearers' quarters and appears to be mainly original finishes.



Figure 90: From South East



Figure 91: From South West



Figure 92: Interior

DRAFT**3.3.6. Store**

This may have been a shower originally.

Timber frame painted corrugated galvanised iron lined skillion wall and corrugated galvanised iron roofed.

Small store with a metal tray addition (Playhouse).

Small window with fixed light.

Timber ledged and braced door with knob handles and rim lock.

Concrete slab and dividing wall lined with corrugated galvanised iron.

One window with four light covered by additional sheet on west and two light on east.

Modern electrics.

CONDITION: Reasonable condition with deterioration of exposed elements and slab cracked.

COMMENT: The store is probably not the age of the other shearers' quarters buildings but is quite old.



Figure 93: From North West



Figure 94: From North East



Figure 95: Interior

3.3.7. Shearers' Quarters

Referred to as Sleeping Quarters in heritage citation.

Timber framed three room shearers' quarters with verandah on east and end enclosed for toilet.

Walls lined with scalloped weatherboards.

Doors ledged and braced.

Verandah timber framed.

Roof gable shaped with corrugated galvanised iron lining and quad gutters.

Windows north four light sash and single light sash below.

Three windows on west which are two light double hung. Some glass is broken and some boarded-up.

One light window on south.

Timber framed open skillion corrugated metal roofed section to west with no gutter. Vine is over south end.

CONDITION: End of verandah collapsed.
Gutter damaged.
Paint poor.
Roof sheeting rusty and lifting in places.
Windows in poor condition.

COMMENT: These appear to be an original with little change.



Figure 96: From North East



Figure 97: From West

3.3.8. Former Kitchen (now a residence)

Referred to as Cooks House in heritage citation. The kitchen in the heritage citation may refer to the original part of this building but it is unclear.

Timber framed building which has been extended to west and north.

Original building appears to have been scalloped weatherboards in gable form. Additions are a lower gable and skillion, each side and a verandah on east.

Roofing is generally corrugated galvanised iron with no gutter but a quad gutter on west side.

DRAFT

Walls are flat sheet and plywood lined with vertical and horizontal central boards on east.

Timber framed windows are fixed awning. Bay windows exist to north and south. Verandah to part of north and west side is virtually on ground. Verandah on east is timber and now only partly roofed.

East door timber framed glass.

Air conditioning unit in one window on north.

One brick chimney and one metal flue.

CONDITION: Roof rusty but appears to be sound.

All paint is in poor condition and timber deteriorated.

Verandah in poor condition especially the east side which is partly burnt out and west side is collapsed.

COMMENT: The building has been substantially modified and altered but the original core structure remains.



Figure 98: From North West



Figure 99: From South West



Figure 100: From North East



Figure 101: From East

3.3.9. Station Hands Cottage

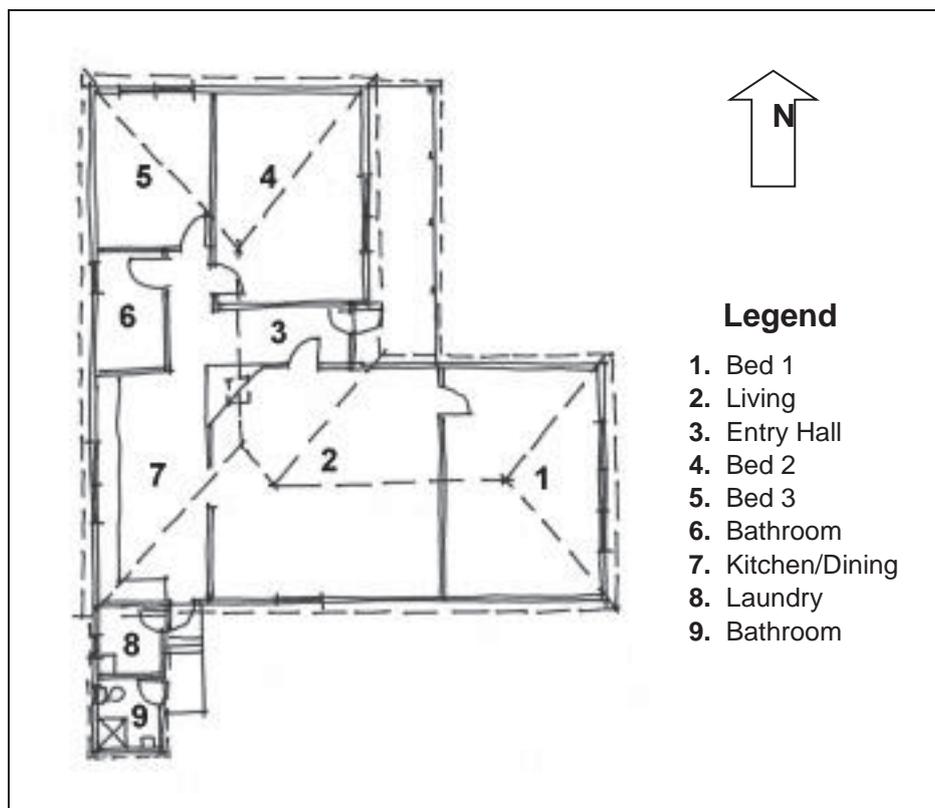


Figure 102: Station Hands Cottage Floor Plan

Source: Eric Martin & Associates, 2012

Refurbished to be a flat sheet clad cottage with cover strips and a hipped colour bond roof with quad gutter and circular downpipes. Set above a brick base with a concrete verandah.

Windows are timber framed double hung with paint finish with an aluminium slider at rear.

Front door has an aluminium powder coated security screen door and a painted flush panel door. Back doors are half glazed with timber panel in base. Security screen door to back door.

Brick chimney with TV antenna.

External toilet is connected to the house and is flat sheet lined with concrete floor and basin and WC pan.

Kitchen and laundry have a tiled floor and other areas are timber clear finished.

Walls are flat sheet with mid-height cover strip.

Ceilings plasterboard with cove cornice.

New fitout and electrics.

CONDITION: Good condition.

DRAFT

COMMENT: The original cottage (1959) remains in basic form but finishes and interior were upgraded in 2011.



Figure 103: From South



Figure 104: From North East



Figure 105: Living Room

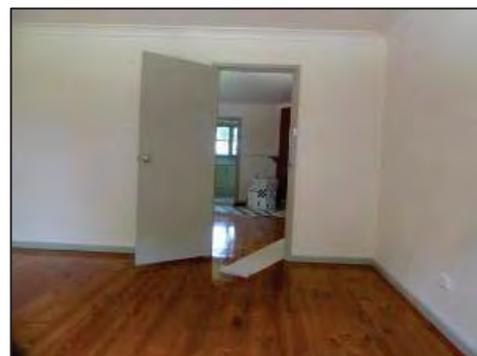


Figure 106: Bed 1

3.3.10. Garage

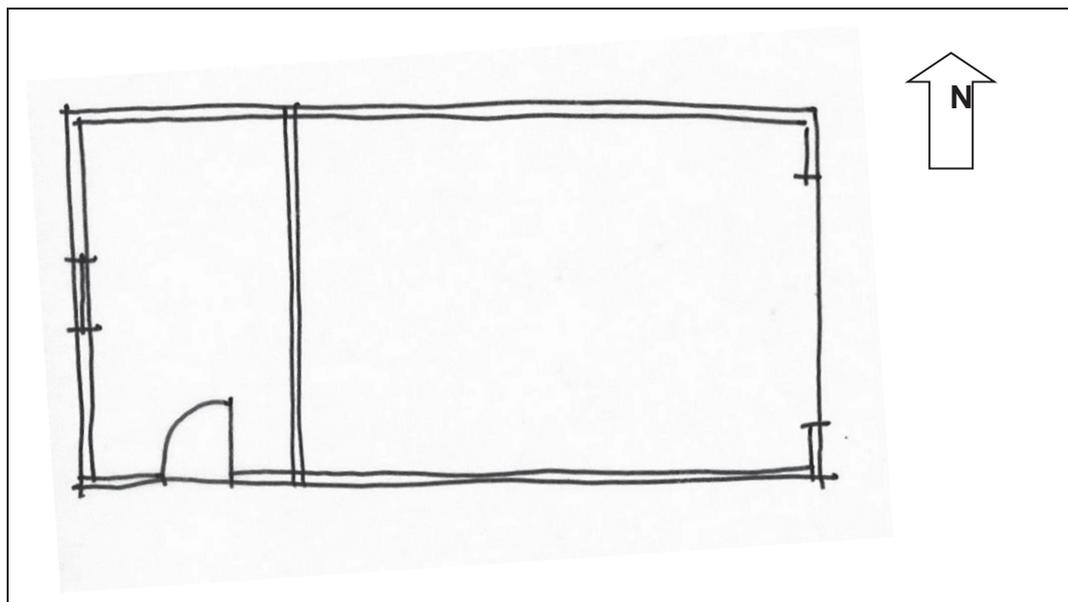


Figure 107: Garage Plan

Source: Eric Martin & Associates, 2012

Timber framed gable roofed structure with corrugated galvanised iron cladding.

DRAFT

Section at back is a store with ledge door, timber floor and four light window. Electric light provided.

Dirt floored to main section and no doors.

CONDITION: Window is in very poor condition.

Door is in fair condition.

Section of timber is eaten out with borers.

Holes in some wall cladding and damaged at door way.

COMMENT: The building appears to be original (c1950s) and contemporary with the Homestead.



Figure 108: From North West



Figure 109: From South East



Figure 110: Store



Figure 111: Garage

3.3.11. Plunge Dip

A concrete pit with weld mesh fence around it with a section of fence including corrugated metal. The pit is in quite good condition.



Figure 112: Plunge Dip



Figure 113: Plunge Dip

3.3.12. Spray Dip

The location of the galvanised spray dip is now a collection of timber post and rail fences in fair condition.



Figure 114: Spray Dip

4.0 ANALYSIS AND STATEMENT OF SIGNIFICANCE

4.1 Criteria

4.1.1 ACT Heritage Criteria

The following criteria are specified in Section 10 of the Heritage Act 2004 as that to be adopted for assessing places in the ACT for the Heritage Places Register.

A place or object has heritage significance if it satisfies 1 or more of the following criteria (the heritage significance criteria):

- (a) it demonstrates a high degree of technical or creative achievement (or both), by showing qualities of innovation, discovery, invention or an exceptionally fine level of application of existing techniques or approaches;
- (b) it exhibits outstanding design or aesthetic qualities valued by the community or a cultural group;
- (c) it is important as evidence of a distinctive way of life, taste, tradition, religion, land use, custom, process, design or function that is no longer practiced, is in danger of being lost or is of exceptional interest;
- (d) it is highly valued by the community or a cultural group for reasons of strong or special religious, spiritual, cultural, educational or social associations;
- (e) it is significant to the ACT because of its importance as part of local Aboriginal tradition;
- (f) it is a rare or unique example of its kind, or is rare or unique in its comparative intactness;
- (g) it is a notable example of a kind of place or object and demonstrates the main characteristics of that kind;
- (h) it has strong or special associations with a person, group, event, development or cultural phase in local or national history;
- (i) it is significant for understanding the evolution of natural landscapes, including significant geological features, landforms, biota or natural processes;
- (j) it has provided, or is likely to provide, information that will contribute significantly to a wider understanding of the natural or cultural history of the ACT because of its use or potential use as a research site or object, teaching site or object, type locality or benchmark site;
- (k) for a place—it exhibits unusual richness, diversity or significant transitions of flora, fauna or natural landscapes and their elements;
- (l) for a place—it is a significant ecological community, habitat or locality for any of the following:
 - (i) the life cycle of native species;
 - (ii) rare, threatened or uncommon species;
 - (iii) species at the limits of their natural range;
 - (iv) distinct occurrences of species.

4.1.2 HERCON Criteria³

The following assessment criteria have been accepted by ACT Heritage as an industry standard.

- Criterion A** Importance to the course, or pattern, of our cultural or natural history.
- Criterion B** Possession of uncommon, rare or endangered aspects of ACT cultural or natural history.
- Criterion C** Potential to yield information that will contribute to an understanding of our cultural or natural history.
- Criterion D** Importance in demonstrating the principal characteristics of a class of our cultural or natural places or environments.
- Criterion E** Importance in exhibiting particular aesthetic characteristics.
- Criterion F** Importance in demonstrating a high degree of creative or technical achievement at a particular period.
- Criterion G** Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions.
- Criterion H** Special association with the life or works of a person, or group of persons, of importance in our history.

4.1.2. Comparison

The Council of Australian Governments (COAG) has agreed that all States and Territories will progressively adopt the HERCON criterion to ensure consistency in heritage assessment. It is likely that the ACT will modify its criteria following the review of the ACT Heritage Act.

The following table correlates the two sets of criteria but the analysis in this section references the ACT Heritage Criteria.

HERCON Model Criteria	ACT Heritage Criteria 2004
	A place or object has heritage significance if it satisfies one or more of the following criteria (the heritage significance criteria):
(a) Importance to the course or pattern of our cultural or natural history.	(c) it is important as evidence of a distinctive way of life, taste, tradition, religion, land use, custom, process, design or function that is no longer practised, is in danger of being lost, or is of exceptional interest;
	(h) it has strong or special associations with a person, group, event, development or cultural phase in local or national history;
	(i) it is significant for understanding the evolution of natural landscapes, including significant geological features, landforms, biota or natural processes;

³ This was based on *Information Note, Heritage Council, Criteria for the Assessment of Cultural Heritage Significance*, Heritage Council of Victoria, August, 2008 and since amended to be generic.

HERCON Model Criteria	ACT Heritage Criteria 2004
	<ul style="list-style-type: none"> (k) for a place— it exhibits unusual richness, diversity or significant transitions of flora, fauna or natural landscapes and their elements; (i) for a place—it is a significant ecological community, habitat or locality for any of the following: <ul style="list-style-type: none"> (i) the life cycle of native species; (ii) rare, threatened or uncommon species; (iii) species at the limits of their natural range; (iv) district occurrences of species.
(b) Possession of uncommon rare or endangered aspects of our cultural or natural history	(f) it is a rare or unique example of its kind, or is rare or unique in its comparative intactness;
(c) Potential to yield information that will contribute to an understanding of our cultural or natural history	(j) it has provided, or is likely to provide, information that will contribute significantly to a wider understanding of the natural or cultural history of the ACT because of its use or potential use as a research site or object, teaching site or object, type locality or benchmark site;
(d) Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments.	(g) it is a notable example of a kind of place of object and demonstrates the main characteristics of that kind;
(e) Importance in exhibiting particular aesthetic characteristics.	(b) it exhibits outstanding design or aesthetic qualities valued by the community or a cultural group;
(f) Importance in demonstrating a high degree of creative or technical achievement at a particular period.	1. it demonstrates a high degree of technical or creative achievement (or both), by showing qualities of innovation, discovery, invention or an exceptionally fine level of application of existing techniques or approaches.
(g) Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of the continuing and developing cultural traditions.	<ul style="list-style-type: none"> (d) it is highly valued by the community or a cultural for reasons of strong or special religious spiritual, cultural, educational or social associations; (e) it is significant to the ACT because of its importance as part of local Aboriginal tradition;
(h) Special association with the life or works of a person, or group of persons, of importance in our history.	(h) it has strong or special associations with a person, group, event, development or cultural phase in local or national history;

4.2 Archaeological

4.2.1 Introduction

There needs to be some qualification in assigning such areas as archaeologically sensitive. Figure 24 shows a 2009 satellite image of the landscape surrounding the homestead and within the heritage listed area. The image reveals extensive cultivation around the homestead. Recent ploughing is visible to the north, northwest and east of the homestead and former plough lines are visible to the west, southwest, south and east. These areas have been under cropping and grazing activities most likely from as early as the 1830s to the present time. During on-site investigations of the area in 2012 the field to the southeast of the homestead was being ploughed prior to planting.

Such extensive and long-term ploughing and cropping activities in these areas would have disturbed much of the archaeological integrity and original context of surface and subsurface sites. The archaeological sensitivity for the area, particularly within the heritage boundary is then greatly reduced.

The overall assessment of archaeological sensitivity of Belconnen Farm is low for both Indigenous and European activities.

4.2.2 Archaeological Significance

As indicated above, the sites within Block 1605 including site BSAS1 within the Belconnen Farm heritage listed area are assessed as being of low archaeological significance. Within the larger context of the other sites in the vicinity they may form part of a more extensive site complex extending from the Murrumbidgee corridor and along water courses leading to higher land away from the main river thalweg. In such a case their archaeological significance may then be assessed at a medium level. However, further and more intensive investigation would be needed to ascertain the full archaeological significance.

4.2.3 Indigenous Sites in General

All Indigenous archaeological sites are considered to be of high significance to local Indigenous groups in the ACT. As such they require that all sites be protected as much as possible from potential direct impacts resulting from any further development.

4.3 Site and Landscape

The following outline considers those aspects of the Belconnen Farm site that contribute to an understanding of the cultural significance of the remnant landscape (refer Figures 115, 116 and 117).

DRAFT

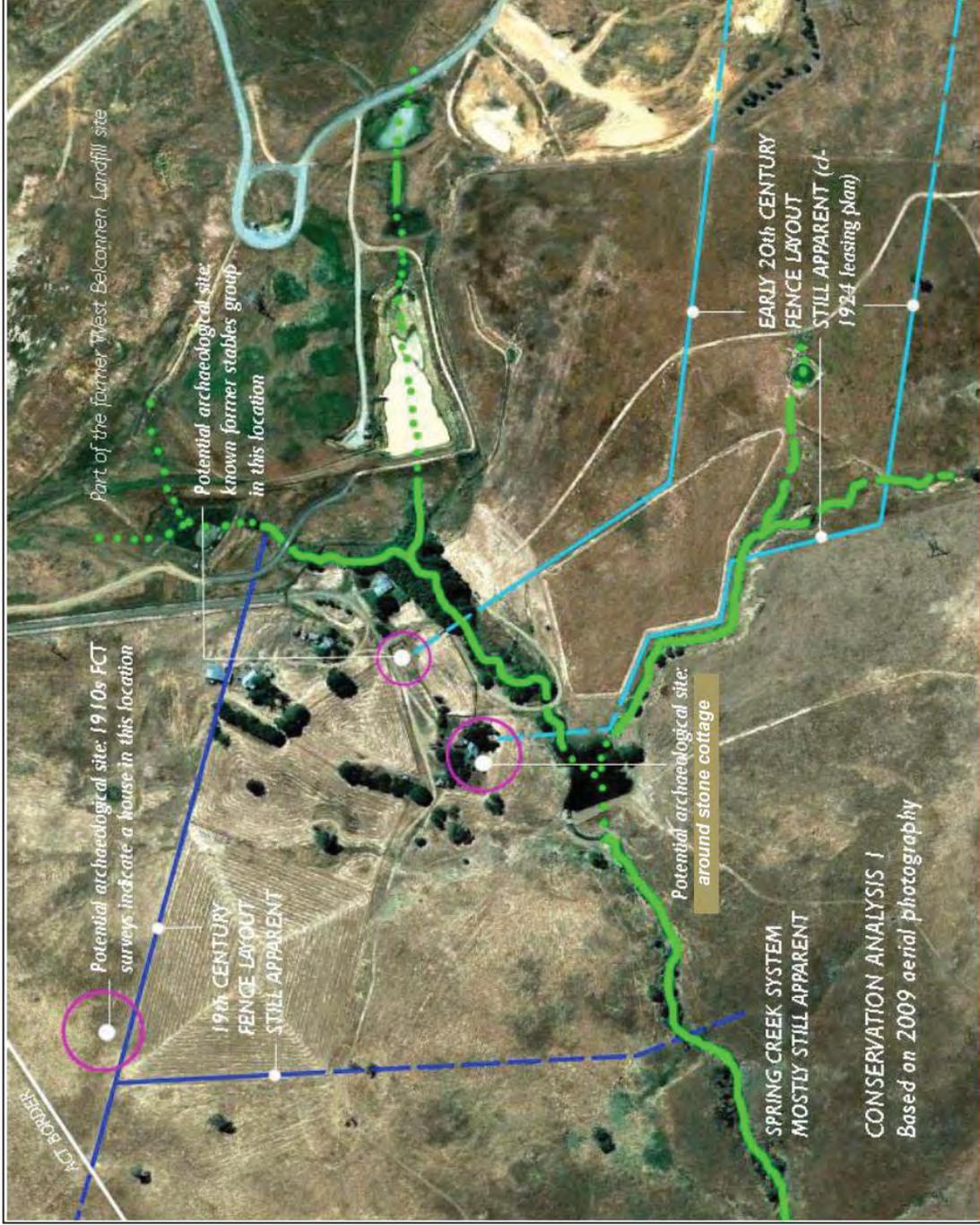


Figure 115: Overlay over Google Earth Historical Image

Source: Google Earth with annotations by Geoffrey Britton



Figure 116: Overlay over Google Earth Historical Image

Source: Google Earth with annotations by Geoffrey Britton



Figure 117: Overlay over Google Earth Historical Image

Source: Google Earth with annotations by Geoffrey Britton

4.3.1 Historical Value

Within Belconnen Farm the old Monterey Pine (*Pinus radiata*) and edible fig (*Ficus carica*) are particularly significant on account of their rarity at this age within the ACT. Their value is further enhanced by remaining closely associated with the stone cottage in which context they have continued for many decades providing an important part of immediate and traditional setting of the stone cottages. In the case of the pine the two have been associated for well over 100 years.

Other components of Belconnen Farm that hold value from a historical perspective include the fence alignments that interpret the named main paddock divisions within the farm that were established in the 19th century during the Campbell period (as shown on early FCT surveys) and the early 20th century (as shown on the 1924 leasing plan) and the general site of the former 19th century stables group as this was an important component of the cottage setting.

There is also a collective value attached to Belconnen Farm as a whole where the succession of buildings, remnant layout, cumulative plantings (including orchard remnants) and various archaeological resources contribute to an understanding of the use and development of the place over 170 years.

4.3.2 Aesthetic Value

Despite its proximity to urbanised areas to the east and the impact of the landfill site to the north east, the Belconnen Farm still retains a strong sense of being a rural cultural landscape where agricultural activities such as grazing and cropping have continued since its establishment in the Colonial period.

Beyond the nearby suburban and industrial indicators (such as the landfill and power lines) the traditional setting for the farm of open rolling hills and spurs culminating in distant high mountain ranges remains largely as it was since the mid-19th century.

Of particular note are the outstanding scenic views to the southwest from the stone cottage that remain to be appreciated since the stone cottage was built. The prospect of these impressive views has changed little in all of this time.

Although the issue of setting for the stone cottage overlaps with historical value, other landscape elements that contribute to the essential setting of this important building include the old pine and edible fig and also the fruit trees and other plantings surrounding the stone cottage. Other plantings beyond the immediate stone cottage grounds are also relevant to the setting and these include the thicket of elms, willows along Spring Creek as well as the actual creek as these have all had a long association with the cottage and contribute to the landscape character that defines the context of the stone cottage.

4.3.3 Scientific Value

There is likely to be archaeological research potential vested in the site where extant layout, structures and archaeological resources may contribute to an understanding of the organisation, functioning and development of Belconnen Farm as part of one of Canberra's early agricultural estates as well as its continued agricultural development as part of the post-WW 1 soldier settlement scheme. This particularly applies to the stone cottage and the former stables.

The older plantings, especially the Monterey pine, edible fig tree and elms, may also have value to horticultural botany and, at the lower end of the site; remnant locally indigenous riparian vegetation would hold ecological value as part of the Murrumbidgee River corridor system.

4.4 Background Information for Comparative Analysis

This section brings together information on ACT places to assist in a comparative analysis which is summarised in Section 4.5.

4.4.1. Nineteenth Century Homesteads

There were a large number of homesteads in the Canberra Region in 1900 (refer Figure 118). The plan at Figure 118 does not include Belconnen Farm.

Estates	Duntroon	c1830	
	Lanyon	c1835	
	Tuggeranong	c1840	
	Well Station	c1850	
	Booromba/Braeside/ Blytheburn	C1850	
	Gold Creek	c1860	
	Gungahlin Homestead	1861	
	London Bridge	c1870	
	Elm Grove	c1880	
	Lambrigg	c1880	
	Horse Park	c1865	
	Smaller Properties	Woden Homestead	c1840
		Gungaderra	c1865
Rose Cottage		c1865	
Hill Station		c1870	

It is worth drawing comparisons with the more complete surviving homesteads in order to assess the significance of Belconnen Farm. Surviving pre Federal Territory homesteads and a brief description one outlined below:

- **Gold Creek – Gungahlin**

Gold Creek was established in the mid/late 19th century. The original sections of the main residence building date from this period. The Homestead building is a single storey structure with walls of varying forms of masonry construction and hipped corrugated iron roofs. Later additions have substantially altered the residence. The land is now enclosed by residential and urban development. The residence is vacant and in poor condition and gardens are run down. Its future is being considered.

- **Gungahlin Homestead – Gungahlin**

Selected by William Davis under the Robertson Land Act in 1861 located approximately seven kilometres south west of Horse Park, Gungahlin Homestead was owned by relatives (grandparents) of Richard Grace who leased Gungaderra in the 1930s-1950s. The properties were physically joined at the south west corner of the Gungaderra lease.

Gungahlin in its prime was a much larger property (than Gungaderra) and had a large impressive 2 storey residence and numerous supporting buildings. Many of the outbuildings have since been demolished but a core of buildings around a courtyard beside the residence has been conserved. From the 1950s to 2011 CSIRO occupied the site and erected numerous laboratory, office and support buildings, around the core of historic buildings. It is currently vacant.

A relatively large portion of land has been preserved around Gungahlin Homestead, and includes the historic tree lined carriageway. The preserved land will not be built on. Gungahlin is bordered to the south, east and west by major roadways. Gungahlin Homestead (residence) was used as an office building. The preserved historic

outbuildings were also used for office or recreational functions. The recent uses of the site make interpretation of its rural past difficult.

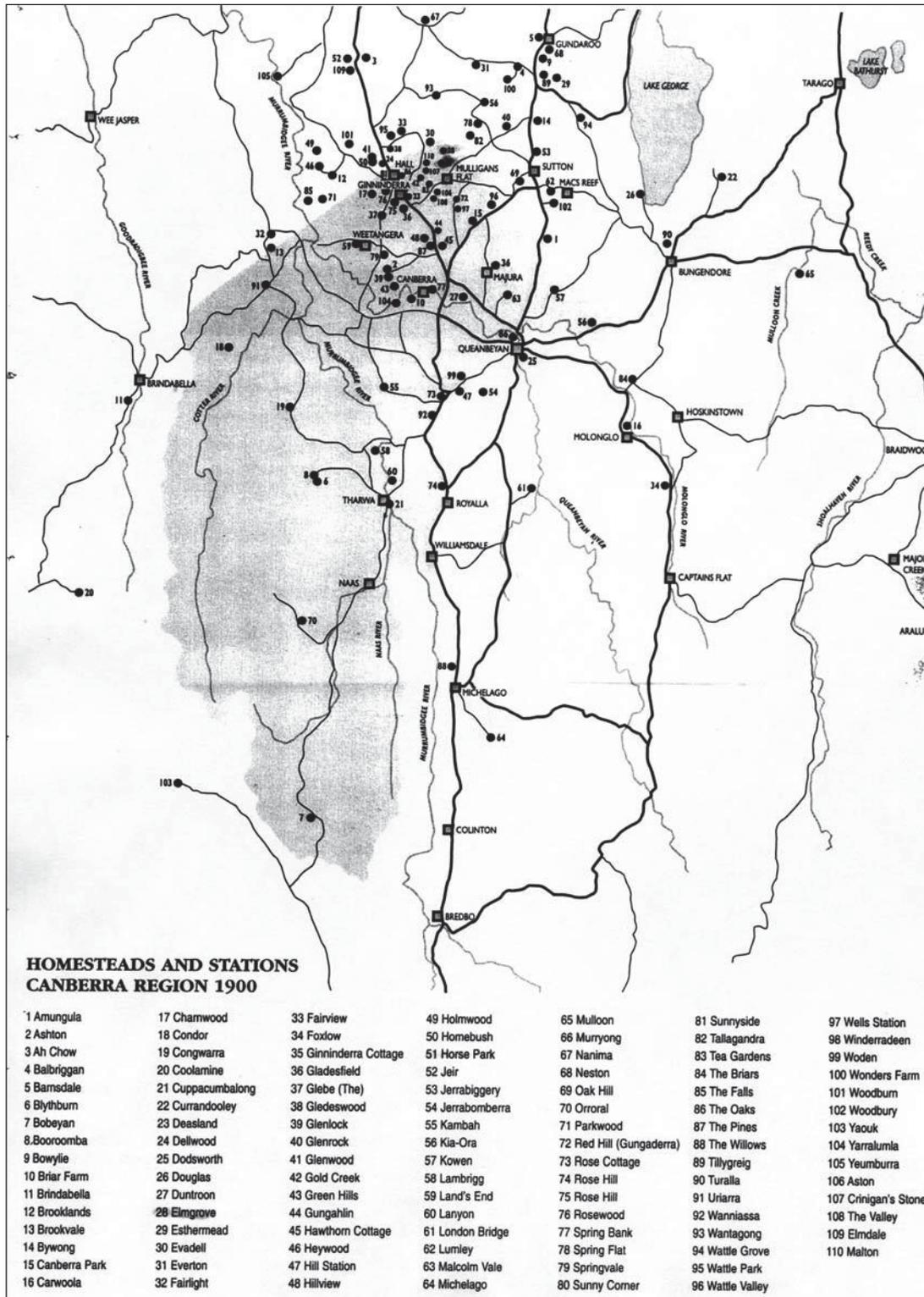


Figure 118: Canberra Region 19th Century Homesteads

Source: Gillespie, L *Canberra: 1820-1913*, Canberra AGPS Press, 1991

- **Well Station – Gungahlin**

Well Station Precinct includes a residence and rural structures dating from the 1850s to 1930s.

The buildings are constructed from a broad range of materials and construction techniques. As a group they provide valuable evidence of early construction techniques and developments in the district. The property was once one of the larger estates in the northern area of the ACT. The property is still occupied and the outbuildings used for farming purposes.

The Well Station Homestead presently has an area of land retained for the House Paddock which includes the outbuildings. A rural landscape outlook remains to the south and east, but the land adjoining the heritage curtilage on the north and west has been developed for residential use over the past few years substantially compromising its rural context. Well Station is currently one of the most intact farm building collections in the Gungahlin area and is of particular interest for its timber and pise construction.

- **Elm Grove – Gungahlin (Bonner)**

Elm Grove Homestead Precinct is a surviving remnant of the region's small, densely settled holdings in the nineteenth and twentieth century. The Homestead Precinct has evolved over time and shows different building types and associated farming structures typical of each era. Elm Grove is the only remaining working property within the Gungahlin area, which still operates in a rural lifestyle similar to that of families in the 1850s.

James Gillespie and his wife Isabella established Elm Grove in the 1880s. They lived on the property for close to 60 years until their deaths in 1926 and 1938; respectively Elm Grove Homestead is most strongly associated with the local Gillespie family. The land includes the original Elm Grove homestead, garden, exotic tree plantings, home paddock and farm outbuildings. From its first settlement, Elm Grove was primarily farmed for sheep grazing to produce fine merino wool and for cropping hay. The Elm Grove Homestead consists of a weatherboard house with a corrugated iron roof. The original dwelling was constructed around 1882 and was severely damaged by fire in 1911. It was later rebuilt and extended with renovations. Elm Grove was continuously occupied and farmed by the Gillespie family for about 100 years from initial purchase in the 1880s. In 1986 Paul and Marjorie Carmody purchased the lease from the Gillespie family and remain the current lessees.

- **Gungaderra**

Gungaderra Homestead dates from the initial building of a slab hut in the 1860s. The present single storey main homestead was built in the early 19th century using pise construction with outbuildings, additions and extensions being constructed over the next 50 years of timber, brick and Pise. While later additions have substantially altered the building, pise buildings are becoming rare in the ACT, and this is the last remaining substantial pise construction homestead in the north of Canberra. The homestead Precinct has been reduced in the past 2 years with several buildings demolished. Only the Homestead and Machinery Shed survive as conserved buildings within a modern older persons complex. The land around the precinct has been developed for residential and school uses, so it no longer has any rural context. Gungaderra property was only a small land holding at its peak but has historical association with Well Station and Gungaderra Homestead.

- **Woden Homestead – Hume**

This still operational farming Precinct in southern Canberra contains buildings dating from the 1830s. It is still occupied by relatives of the Campbell family (of Duntroon) who established the property and the residence is noted as the oldest residential building in

the ACT still in its original use. The property is still relatively remote from urban development, except the light industrial suburb of Hume which adjoins its southern boundary at the Monaro Highway.

The home is a single story building of brick construction.

- **Hill Station – Hume**

A small surviving group of rural buildings including a pise (part) homestead and timber outbuildings. The buildings are now used as a restaurant and gallery and located within a light industrial suburb. A small parcel of land adjoins the building however interpretation of the agricultural past is not possible.

- **Rose Cottage - Gilmore**

A small surviving group of rural buildings including a pise homestead and kitchen dating from the 1860s, a woolshed and sheep dip. The buildings are now used as a restaurant and function centre with several additional buildings added from the 1980s to develop it as a function and craft centre. The site is located at the intersection of two major roads but is still located within a semi-rural setting.

- **Horse Park – Jacka**

This is an operational farm on the northern edge of the town of Gungahlin within the suburb of Jacka. The property contains a group of farm buildings of varying forms of construction dating from the 19th century. The buildings have minor alterations, but a high degree of integrity and are generally in good condition. The property presently retains a semi-rural outlook, but urban development has commenced around the property and compromising its setting. A large parcel of land will be retained for the property.

- **Lanyon**

Lanyon is a grazing property thirty kilometres south of Canberra on the banks of the Murrumbidgee River. The countryside reflects evidence of Aboriginal occupation, and the landscape and buildings form a document of mid—nineteenth century to late—twentieth century rural development and architectural expression. The homestead, gardens, associated courtyard structures, (including stables, blacksmith's shop, barracks, and dairy), the barn, and more remote cottages, are all remarkably intact, and are conserved and refurbished to interpret many aspects of pastoral life for both specialist scholars and public visitors.

Lanyon homestead complex is an outstanding example of both the adaptive qualities of vernacular architecture and of the variety of activities needed to sustain existence in remote areas. The range of building materials, the differing styles, the alterations and additions which have taken place over more than one hundred and fifty years, and the fact that the complex still retains its original rural context, make Lanyon a place of great historic significance⁴.

- **Duntroon**

Duntroon House is outstanding amongst the early buildings in the Canberra district. The imposing stone structure of the two-storey Gothic wing dominates the earlier spread of the colonial homestead lying in the shadows of the surrounding verandah. Steeply pitched red metal roofs tie the building into a unified whole.

The heritage significance of Duntroon extends far beyond the house through its expansive gardens, the Military College and into the wider Canberra region. The key to

⁴ "The Heritage of the Australian Capital Territory," Garrett R and Hyndes D National Trust of Australia ACT 1992

its wide and diverse significance lies in its history which spans the earliest settlement in the district to the most recent planning and architecture.

The area has a wealth of landscape heritage in the gardens. Significant trees are represented in the various patterns of the gardens and a massive cork oak.

The beginnings of the story of Duntroon lie with Robert Campbell a prominent merchant in early 19th century Sydney. In 1825 Campbell was granted 4000 acres of land on the Limestone Plains This grant became the nucleus of Duntroon Estate just five years after the first white explorers had camped there. Additional grants were presented in 1827 and the 1830s. The first substantial homestead was constructed in 1833, a typical Georgian single storey building with surrounding verandah and separate kitchen block. Robert Campbell's influence in the district was substantial. Garden development commenced in 1854, the two-storey extension was added to the original house in 1862 and the guard houses marking the entries to the home paddock were built.⁵

Duntroon has no rural context now except for remnant parts such as the Barn and Dairy which are outside the Royal Military College.

There is certainly a strong association with the Campbells for the Belconnen property. Charles Campbell bought it from Sturt in 1838 and it became part of the Duntroon holdings, and later in 1877 when his son Frederick took over management of the Duntroon estate he also managed Belconnen. Fredrick held the property until it was acquired under by the Federal government in 1913 – An association lasting 75 years.

The present heritage listed area of Duntroon is confined mainly as the area of the military college today. But this area should be seen as the head station of a very large grazing and farming estate with contiguous and non-contiguous properties spread throughout the Canberra Valley from Tuggeranong Valley to Ginninderra and Belconnen. The Belconnen Farm was part of this estate and very strongly associated with the Campbell family.

Although not mentioned in the history, the late Charles Campbell expressed an interest in the property in conversations exploring the history of the site⁶. Campbell wanted to know the origin of the name, Belconnen, and he was very much aware that it was part of his family heritage and perceived the property as part of the Duntroon Estate and intimately linked with the present heritage listed area of Duntroon). Although the Belconnen Farm and homestead is nowhere near as grand as the present Duntroon heritage area it is no less connected with the Duntroon Estate and the pioneer Campbell family.

- **Tuggeranong Homestead**

Tuggeranong Homestead Precinct is a large homestead group of structures which contains buildings dating from 1837 through to 2010. It contains a comprehensive collection of ancillary farming buildings of varying construction. The Tuggeranong Homestead Precinct is preserved within a large pastoral land curtilage. Residential development adjoins all boundaries of the site. The homestead is used as a conference and function centre and some of the buildings are not used. Some of the land is used for agisting horses. As the buildings have seen little alteration and remain in a parcel of pastoral land, Tuggeranong Homestead Precinct can be readily interpreted as a former farm Precinct.

- **Lambrigg**

Lambrigg represents an historical cultural landscape directly associated with William Farrer. Although little remains in the original form from Farrer's agricultural experiments

⁵ Garrett R and Hyndes D, *The Heritage of the Australian Capital Territory*, National Trust of Australia ACT, 1992

⁶ Personal Communication, P. Dowling, c2010

a strong historic sense of place remains at Lambrigg. This is evident in the laboratory and surrounding paddocks where Farrer worked on genetic selection for his wheat varieties. It is also evident in the homestead where he lived for a time and where he certainly spent his last years in residence.

Lambrigg continues to be an operational farm.

- **Booroomba/Braeside/Blythburn**

Booroomba Station (incorporating Braeside and Blythburn and adjacent ploughlands) provides important, rare and intact evidence of a pastoral property dating from the 1840s to the present, representing the earliest period of European settlement of the region.

The Station provides a well preserved record of the district in the nineteenth century, and tells of a working property with remaining physical fabric dating from the 1840s and continuing to the present. It is important as evidence of a distinctive way of life no longer practiced, providing evidence of an early European settlement in the region. The rural landscape demonstrates nineteenth century farming traditions and processes.

The Blythburn homestead is unusual as a documented example of a nineteenth century rural pastoral property owned and managed by a female, with female assistance.

The property is a notable example of a nineteenth century pastoral property, exhibiting evidence of the pattern of family holdings and familial ties and connections in close proximity to one another. These continue to be an operational farm.

- **London Bridge**

Built c1870 to 1900 for John McNamara, with additions for E. & J. Noonan.

The homestead group, in an L-shaped layout, comprises a sapling and mud two-room block, a rubble stone two-room block with outside oven, a two-room slab block, a 1928 one-room weatherboard addition and a 1940s fibro addition. Slab-walled outbuildings and remains of a rare lever arm woolpress and posts of a woolshed survive.

This rare example of a vernacular homestead group is well sited in an appropriate pastoral landscape. It has been progressively added to from about 1870, and exhibits an unusual range of construction techniques.⁷

4.4.2. Soldier Settlements

The following details are from Navin Officer Report.⁸

The Soldier Settlement Scheme was established by the Federal Government in 1915 to encourage voluntary recruitment, to provide employment for returned servicemen and to increase post-war primary production. (p6)

Land for Soldier Settlement was acquired by the subdivision of Crown land, by the purchase and subdivision of large estates and by purchase of individual farms. In the ACT parts of the Yarralumla, Duntroon, Lanyon, Tuggeranong and Charnwood estates were subdivided for soldier settlement on a leasehold system. (p6) The scheme commenced in 1919 and Ainslie, Majura and Jerrabomberra Tuggeranong were the only subdivisions exclusively for soldier settlement and were allocated in 1919 and taken up in 1920. Later subdivisions were open to the general public. The scheme was largely regarded as a failure due to the lack of experience and capital. (p6)

⁷ Garrett R and Hyndes D, *The Heritage of the Australian Capital Territory*, National Trust of Australia ACT, 1992, p49

⁸ Navin Officer Heritage Consultants, 2001, *A Comparative Assessment of the Cultural Heritage Values of Surviving Soldier Settlement Properties within the ACT*. Report to Purdon Associates Pty Ltd.

Most leases were eventually resumed for the development of Canberra but some still operated as viable rural enterprises (p7). Of particular note are:

1. Callum Brae Block 4 Section 102 Symonston

372 acres secured by Hector Gordon McIntosh in 1920 who then purchased two adjoining leases making a viable farm of 1531 acres. A number of structures remain including house (1923-25), forestry hut, red shed, shearing shed and yards (1920), workshop (1920), sheep yards and dip (1924). The place is still an operating farm for fine Merinos. It is nominated to ACT Heritage Register. (p8)

2. Pine Island Block 2 Section 46 Pine Island

856 acres granted to Darcy Mark Thompson in 1920. House (1920) and garage constructed and farm used mainly for wheat growing and later fat lamb production. It was resumed by the Government in 1975 and is now used as a Parks and Conservation Service residence. (p12)

3. Fassifern Block 1267 Belconnen

594 acres taken up by William Leslie Allison in 1923 who built a house in 1926 but later that year surrendered the lease. The lease was taken up by William Avery who extended the house, added a woolshed, dairy and cowshed. In 1994 it was operating as an equestrian centre, the homestead was demolished in 1999 and the block is currently unleased. (p13)

4. Belconnen Farm Block 1514 Belconnen

The original farm was subdivided into 4 blocks and 1162 acres was claimed by Austin Shepherd in 1926 he then purchased adjacent blocks (1934) of 650 acres and ran Merinos, cattle and cropped wheat and oats. Still used for grazing but buildings separately leased. (p15) It is on ACT Heritage Register.

5. Pine Ridge Block 173 Belconnen

The Belconnen Station was subdivided in 1924 and ownership was either HN Kerr or KP Anderson. A weatherboard house was built in 1927/8. The farm was subdivided into 3 blocks in 2000. Currently nominated to ACT Heritage Register. (p16)

6. Huntly Blocks 412, 413, 426, 429 and 432 Stromlo

Blocks were allocated in 1926 and the blocks consolidated in 1932-3 and a house was constructed. John Gale purchased it in 1956 and still operates the farm. It is listed on ACT Heritage Register. (p17)

The comparative analysis by Navin Officer rated the significance of the five surviving properties in order of Callum Brae, Belconnen Farm, Pine Island, Pine Ridge and then Huntley. (p28)

4.4.3. Woolsheds

The following table provides a comparison of the construction date and development of the Woolsheds (surviving) in the ACT.

No	Woolshed	Date of Construction	Construction Phase	Stands	Extended
1	Duntroon	1833 not used since 1911	1		
2	Booroomba	1860 rebuilt 1990			
3	Naas	1890 earliest confirmed date	2	3	1905, 1920s, 1960s
4	Kowen	1890	1	6	1954

No	Woolshed	Date of Construction	Construction Phase	Stands	Extended
5	Gooroowa	1890s?	1	2	
6	Lambrigg	1890s? destroyed 1952			
7	Cuppacumbalong	1893 replaced an earlier shed	3	12 to 5	1920s
8	Naas Valley	1900 circa			
9	Rose Hill	1900 pre near Royalla			
10	Yarralumla	1904 not used since 1964	3	20	Not used
11	Horse Park	1905-07	2	3	
12	Gold Creek	1906 rebuilt in 1955 after fire	3	3	1964
13	Royalla	1907	2	6 to 4	1953
14	Glenferrie	1920s	2	2	1930s, 1960s
15	Guisies Flat	1920s			
16	Lands End	1920s			
17	The Willows	1920s			
18	Strathnairn	1920s			
19	Urambi	1920s			
20	Tuggeranong	1929 & 1952 two sheds	2/3	2/3	Replaced 19 th century sheds demolished 1928
21	Orroral	1929-1930			
22	The Old Place	1929	1	4	1940s
23	Avonley	1930s	3?	4	1968
24	Kambah	1930s now a community centre			
25	Hall Woolshed	1930s	?	2	
26	Bellview	1930s			
27	Fitzs Hill	1930s or 1940s	3?	3 to 2	1950s
28	The Rivers	1932	2?	3	1960s?
29	Willowvale	1932 an 1890s shed relocated			
30	Deasland	1935	3?	4	?
31	Belconnen	1936	3?	3	1947
32	Glencoe	1937	2	2	1947 1950
33	Lanyon	1938 but a woolshed in the 1830s?			
34	Elmgrove	1940s			
35	Long Flat	1940s	3	3 to 1	
36	Huntly	1948	3	3	1961
37	Spring Valley	1950 circa	3	3	1960s
38	Top Naas	1955	3	3 to 2	1961
39	Burraburroo	1957			
40	Balineen	1958 an earlier			

No	Woolshed	Date of Construction	Construction Phase	Stands	Extended
		shed moved			
41	Pine Island	1960	3	2	
42	Reedy Creek	1984	3	2	

Table 1: Woolsheds listed by date of construction. Stands given as 3 to 2 or 2 to 3 indicate where a shed has been reduced or increased in shearing capacity. Phase refers phase of construction.

Source: Hobbs, Roger The ACT Pastoral Heritage: Woolsheds and Their Contribution to a Cultural Landscape, Draft, 1993

4.4.4. Associations

The associations as regard to Belconnen Farm are Charles Sturt and the Campbells. While Sturt only owned the property for a year and never lived there it has the historical link in that he chose the area and that his association with the property has been held in local memory since then till now. It also represents the practice by the NSW Colonial Government of rewarding prominent people and people who led the way in expanding the boundaries and fortunes of the Colony with land grants.

The Campbell association was strong. First with Charles Campbell by purchasing the property from Sturt in 1838 and managing it as part of the growing Duntroon Estate; later in 1877 Charles' son Frederick, took over the management of the Duntroon Estate, including Belconnen. When most people contemplate or write about 'Duntroon' they think about the present Duntroon homestead and immediate grounds of RMC. Not many realise that Duntroon was a large estate with properties spread throughout the present ACT – Belconnen, Woden, Gungahlin, Tuggeranong, Naas and outside of the ACT borders. The Campbells held Belconnen till purchased by the Commonwealth in 1913, a period of 75 years.

The association with Shepherd is probably more to do with a very successful Soldier Settlement property (one of the few – another in the ACT being Callum Brae). The soldier settlement scheme was largely unsuccessful in a number of ways but there are a few shining exceptions – Belconnen Farm being one. This is probably largely because of Shepherd's good education in agriculture prior to his service in the First World War, and his ability in putting his knowledge to good management practices. Also the land was fertile as we see today it is still being cropped. Shepherd was also able to purchase further nearby land thereby increasing his original soldier settlement holding. Other soldier settlers did not have the finances to buy further properties and had to exist on mainly subsistence returns from their land which were not very successfully in the main.

4.4.5. Oliphant

Kenneth H Oliphant is a significant Architect in Canberra who practiced in Canberra for 1926 -1965. His work is detailed in a report by Peter Freeman⁹

4.5 Comparative Analysis

This assessment is an overall analysis of the information in Section 4.4.

Belconnen Farm retains only the stone cottage from the nineteenth century with all the other elements from the twentieth century. The fact that the stone cottage was constructed to manage this part of the Campbell property illustrates how larger properties were developed and managed in the nineteenth century when distance and travel methods were a greater difficulty.

⁹ Peter Freeman, *Kenneth H. Oliphant: his life and work*, Canberra, Peter Freeman Pty Ltd, 1996

The wool shed (1936) and shearers' quarters (c1920) Homestead (c1950) and Station Hands Cottage (1959) related to Soldier Settlement period.

There were many soldier settlement subdivisions in the Federal Capital Territory after World War I,¹⁰ and Belconnen Farm remains as one of the five that survived as farms to today with Callum Brae being the only one considered to be a better example.

The woolshed is one of a number in the region and is of relatively modest size with three stands and nothing of rare or unique features but it was an integral part of the operating farm.

In the Context Study of ACT Rural Complexes,¹¹ Belconnen Farm was ranked as a medium quality example of a rural complex in the ACT with eight others rated high (Lanyon, Tuggeranong, Well Station, Booroomba, Callum Brae, Glenburn, Horse Park, Huntly) with Elm Grove not included.

Belconnen Homestead is not rated as one of Oliphant's better designs by Freeman having been done later in his career when he was not at the forefront of his profession.

The stone cottage is one of a number of mid-19th-century stone cottages remaining in Canberra. It has been extended and modified and then the extension removed. The core that remains as an important reminder of the first settlement and history of the site.

Social value relates to the association with communities and the role a place has had within the community. There is nothing in the history or development of Belconnen Farm that suggests that Belconnen Farm played a significant part in the community.

The associations of Belconnen Farm have been with notable Australians such as Charles Sturt and Charles Campbell and notable local people such as Frederick Campbell and Ken Oliphant. The Belconnen Community, the National Trust of Australia (ACT) and the Canberra Community in general have a strong interest in Belconnen Farm which is illustrated by the strong support for Heritage listing of the place. However, Belconnen Farm has not played a significant role in Canberra community life.

It is interesting to note that the current buildings and the heritage listed area has nothing to do with the management and operation of the productive part of the existing Belconnen Farm property. They are tenanted to a range of individuals for private accommodation and use.

4.6 Australian Historic Themes

Australian Historic Themes that apply to Belconnen Farm include:

- 3.9 Farming for Commercial Profit.
- 3.11 Altering the environment.
 - 3.11.2 Reclaiming land.
- 4.5 Making settlements to serve rural Australia.
- 5.8 Working on the land.
- 8.12 Living in and around Australian homes.
- 8.14 Living in the country and rural settlement

4.7 Assessment against Criteria

- a) ***it demonstrates a high degree of technical or creative achievement (or both), by showing qualities of innovation, discovery, invention or an exceptionally fine level of application of existing techniques or approaches;***

The homestead demonstrates a competent design by Oliphant without showing any high degree of innovation and creativity.

¹⁰ P Fanner CDMS March 1996

¹¹ Michael Pearson, *Context Study of ACT Rural Complexes*, November 2002

The Woolshed also demonstrates a competent rural design but it does not show innovation or exceptional qualities.

Belconnen Farm and elements does not meet this criterion.

b) *it exhibits outstanding design or aesthetic qualities valued by the community or a cultural group;*

The principal aesthetic values relate to the rural setting of Belconnen Farm where agricultural activities have continued since establishment in the colonial period. There are outstanding scenic views to the south-west from the stone cottage.

The community or cultural groups having a strong interest in Belconnen Farm are the Belconnen Community, the National Trust and Canberra Community as evidenced by the continued interest and support for its Heritage listing.

Overall, while the aesthetic qualities are high, the evidence of community value is not available so this criterion is not met.

c) *it is important as evidence of a distinctive way of life, taste, tradition, religion, land use, custom, process, design or function that is no longer practiced, is in danger of being lost or is of exceptional interest;*

Belconnen Farm is important in demonstrating a way of life, from the initial settlement in the mid nineteenth century at the junction of two creeks, one with a permanent spring, as a means to manage this part of the large Campbell property and then as a successful soldier settlement property post World War 1.

The site as selected and orientation of the stone cottage were to benefit from the outstanding scenic views to the south west.

There is also a collective value attached to the farm group as a whole where the succession of buildings, remnant layout, cumulative plantings (including orchard remnants) and various archaeological resources contribute to an understanding of the use and development of the place over 170 years.

The stone cottage indicates a degree of permanence by the Campbell family in settlement of the area and a means to manage their large property.

The soldier settlement phase is of particular interest as one of a very few successful survivors of a distinctive way of life in the ACT. The construction of buildings (woolshed and shearers' quarters) in the 1920s and 1930s demonstrate a well-run and managed farm despite the depression of the 1920s. The lease was extended in 1948 and the new Homestead constructed in 1950 demonstrates the continued viability of the farm and desire for newer accommodation. The construction of the Station Hands Cottage in 1959 demonstrates an ongoing viable farm and the need for additional staff for effective management of it.

Belconnen Farm meets this criterion.

d) *it is highly valued by the community or a cultural group for reasons of strong or special religious, spiritual, cultural, educational or social associations;*

There is no evidence to support a claim against this criterion.

e) *it is significant to the ACT because of its importance as part of local Aboriginal tradition;*

There is some interest in the aboriginal sites in the area but it is considered to be of low significance and not meeting this criterion.

- f) ***it is a rare or unique example of its kind, or is rare or unique in its comparative intactness;***

The rarity of Belconnen Farm relates to the collective value as a farm of a number of components that are uncommon in the ACT including the stone cottage, the 1936 operational Woolshed and c1920 shearers' quarters, the soldier settlement phase, a rural cottage designed by prominent architect Ken Oliphant. These elements have evolved and changed to meet changing circumstances over the life of the farm.

Belconnen Farm meets this criterion.

- g) ***it is a notable example of a kind of place or object and demonstrates the main characteristics of that kind;***

Belconnen Farm is most notable as a soldier settlement farm was viable and has survived. The viability was due to good management by Shepherd and expansion. The elements of the farm that remain illustrate and demonstrate the evolution of the farm and its essential characteristics.

Belconnen Farm meets this criterion.

- h) ***it has strong or special associations with a person, group, event, development or cultural phase in local or national history;***

The associated value is strong on several levels. The association with the Soldier Settlement scheme is very important as one of the few successful farms in the ACT.

The association with noted explorer Sturt, who was granted the land as a reward for his exploration of NSW is not strong or special.

The association with Charles and Frederick Campbell is strong as it was part of their Duntroon Estate for 75 years. There was probably no specially association with Belconnen by the Campbells.

There is a lesser Association with Oliphant as the homestead is not one of his more notable designs.

Belconnen Farm meets the criterion for its strong association with Charles and Frederick Campbell.

- i) ***it is significant for understanding the evolution of natural landscapes, including significant geological features, landforms, biota or natural processes;***

Belconnen Farm does not meet this criterion.

- j) ***it has provided, or is likely to provide, information that will contribute significantly to a wider understanding of the natural or cultural history of the ACT because of its use or potential use as a research site or object, teaching site or object, type locality or benchmark site;***

There is likely to be archaeological research potential vested in the site where extant layout, structures and archaeological resources may contribute to an understanding of the organisation, functioning and development of Belconnen Farm as part of one of Canberra's early agricultural estates as well as its continued

agricultural development as part of the post-WW 1 soldier settlement scheme. This particularly applies to the stone cottage and the former stables precincts.

The older plantings, especially the Monterey Pine, edible fig tree and elms, may also have value to horticultural botany and, at the lower end of the site; remnant locally indigenous riparian vegetation would hold ecological value as part of the Murrumbidgee River corridor system.

Belconnen Farm meets this criterion for the evidence that may be revealed of past structures and the horticultural research value of the older plantings.

k) for a place—it exhibits unusual richness, diversity or significant transitions of flora, fauna or natural landscapes and their elements;

Belconnen Farm is a modified landscape and does not meet this criterion.

l) for a place—it is a significant ecological community, habitat or locality for any of the following:

- (i) the life cycle of native species;**
- (ii) rare, threatened or uncommon species;**
- (iii) species at the limits of their natural range;**
- (iv) distinct occurrences of species.**

There is no evidence to indicate the Belconnen Farm meets this criterion.

4.8 Statement of significance

Belconnen Farm is a significant farm group with the succession of buildings, remnant layout, cumulative plantings and various archaeological resources which all contribute to an understanding of the use and development of the place since the 1830s.

There is a special association with Captain Charles Sturt, noted explorer of much of the land through the Murrumbidgee River area. Sturt was granted the initial allocation of land as a reward for his explorations.

The c1850 stone cottage built by Charles Campbell, who was an important land holder in the area, demonstrates a commitment and permanence in rural settlement from this period as an effective way of managing his large land holding. The careful selection of the site beside two creeks, one with a spring, illustrates a sound understanding of farming. The location and orientation of the stone cottage to the Brindabellas and the outstanding views provides the cottage and its setting with a strong aesthetic presence.

Belconnen Farm is a notable example of an important part of Australia's rural development and settlement by being part of the post-World War I Soldier Settlement Scheme. Belconnen Farm, with the careful stewardship of Austin Sheppard developed into a well-run and viable farm which expanded in the 1920s despite the depression. After World War II and extensions of the lease, the ongoing viability was reinforced with further expansion of the Homestead by noted Canberra architect Ken Oliphant and construction of another cottage for the station hand.

There are significant components such as the Monterey Pine and edible fig, both extremely rare in the ACT at the time (c1850), that are an integral part of the history of the site. The archaeological remnants of yards, fences and former structures, plantation and windbreaks demonstrate an evolution of both the farm and farming practice from the 1850s.

4.9 Significance of Elements

The following details help clarify the relative degrees of significance associated with the site, buildings and landscape. They are divided as suggested by JS Kerr in the Conservation Plan into the following levels:

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- **Exceptional**
- **Considerable or High**
- **Some or Contributory**
- **Little**
- **Intrusive or Non-Contributory or neutral**

Elements that are exceptional, considerable and some are considered intrinsic to the significance of the place. However all elements contribute to the significance of the site and need to be carefully considered for conservation and in any potential change.

The assessment is based on the contributions of the elements to the integrity and significance of the site and its significance.

Tolerance of change is applied to elements to identify the extent to which they retain and/or provide important evidence of the site's significance in their existing form, fabric, function and/or location.

Tolerance for Change	Application to Belconnen Farm
Little Tolerance	<p>The key attribute (form, fabric, function and/or location) embodies the heritage significance of the component and its contribution to the Farm. It retains a high degree of intactness with only very minor alterations that do not detract from significance.</p> <p>The key attribute should be retained and conserved through maintenance and restoration.</p>
Moderate	<p>The key attribute (form, fabric, function and/or location) only partly embodies the heritage significance of the component and the site, or has been considerably modified.</p> <p>The key attribute should be retained and conserved. There is greater opportunity for change with less adverse impact.</p>
High	<p>The key attribute (form, fabric, function and/or location) has little heritage significance to the component or the overall site.</p>

Site Component	Level of Significance	Tolerance for Change
Homestead	High	Moderate
Homestead extension	Little	Moderate
Homestead interior	Some	Moderate
Stone Cottage		
Original elements	High	Little
Verandah enclosure	High	Moderate
Non original elements	Little	High
Machinery Shed	Little	High
Woolshed		
Main Building	High	Moderate
East Side addition	Some	Moderate
Shearers' quarters		
Quarters	High	Little

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Site Component	Level of Significance	Tolerance for Change
Store	Little	High
Shearers' Quarters	High	Moderate
Former Kitchen (residence)	Some	High
Station Hands Cottages	Little	High
Garage	Some	Moderate
Tanks	Some	Little
Sheep dip	High	Little
Sheep wash	High	Little
Overall landscape context/setting	High	Moderate/Low
19 th & early 20 th century fence layout	Neutral	Little
Current fence layout	Little	High
Old <i>Pinus radiata</i> next to the stone cottage	Exceptional	Little
Old <i>Ficus carica</i> next to the stone cottage	Exceptional	Little
Traditional Views from cottage to southwest including to distant ranges	Exceptional	Little
Former stables site	High	Little
Traditional relationship between earliest plantings and stone cottage	High	Little
Remnant fruit trees near the stone cottage (former orchard – cherry, quince, fig)	High	Little
Remnant woodland trees (red gums)	High	Little
Indigenous grasses, forbs, herbs and ferns	High	Little
Indigenous riparian vegetation	High	Little
2 x Cypress windbreaks to west of group	Some	Little
Remnant pine windbreak near former stables	Some	Little
Elm thicket at Spring Creek & pair of elms Southwest of shearing shed	High	Little
Willows within farm core	High	Moderate
Willows beyond farm core	Intrusive	High (remove)
Hawthorns within farm core	Some	Moderate
Hawthorns beyond farm core	Intrusive	High (remove)
Black Locusts within farm core	Some	Moderate
Black Locusts beyond farm core fringe	Some/Little	High (remove)
Plantings associated with 1950 homestead	Some/Little	Moderate/High
Gardens attached to shearers' quarters	Little	Moderate
c2004 dam at Spring Creek	Neutral	High
c2004 concrete spillway for dam	Little	High
Present access through recycling site	Intrusive	High
Former Landfill site & infrastructure (dams)	Intrusive	High

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Site Component	Level of Significance	Tolerance for Change
High voltage power lines within viewscape	Intrusive	High
Environmental weeds throughout farm site	Intrusive	High
Existing roads and tracks	Some	Moderate
Original track from south	Some	Moderate
<i>Archaeological</i>		
Creek and drainage lines	High	Little
Lower to mid slopes above water sources	Little	Moderate
Ridge lines	Little	Moderate
Sites of former buildings	High	Little

5.0 OPPORTUNITIES AND CONSTRAINTS

This section outlines the requirements set down by legislation and those that arise from either the Statement of Significance or stakeholders who have an interest in, but no legislative control over the place. This will place certain constraints and opportunities on the place, which are set down in the policies in Section 6.

5.1 ACT Heritage Council

The place is listed on the ACT Heritage Register and is protected under the ACT Heritage Act 2004. All work that would require a DA or BA and is not exempt that may be proposed on Belconnen Farm should be forwarded to the ACT Heritage Council for comment. Refer also to Section 5.7 Planning Controls and Section 5.8 Building Controls.

5.2 There are no existing Specific Requirements under the heritage listing but there are Heritage Guidelines adopted under Section 27 of the Heritage Act 2004 which are applicable to the conservation of Belconnen Farm. National Capital Authority (NCA)

The NCA has no interest or authority in Belconnen Farm.

5.3 National Trust of Australia (ACT)

The National Trust of Australia (ACT) has no statutory authority, but is a community interest group whose views are generally held in high regard by the local authorities, other stakeholders and key interest groups.

Belconnen Farm has been included on the National Trust of Australia (ACT) list of Classified Places. The National Trust is likely to take an interest in the future use, preservation and conservation of Belconnen Farm. Therefore they should be consulted for their opinion on proposed major changes to significant fabric or additions to the place.

5.4 Burra Charter

The Australian ICOMOS Charter for places of cultural significance (the Burra Charter), as adopted in November 1999 provides specific guidelines for the treatment of places of cultural significance (refer Appendix E).

This study has been prepared in accordance with those principles. The Charter provides specific guidance for physical and procedural actions that should occur in relation to significant places. Full details of each article are detailed in the Burra Charter and a summary of the principles of each article are outlined below but details of the implementation and policies as they relate to Belconnen Farm are detailed in Section 6.

- The significant elements of the site should be conserved and managed in a manner which does not place the item at risk (Article 2).
- Conservation works and changes on the site should be based upon a policy of minimal intrusion and change and should not distort an appreciation of the original fabric (Article 3).
- Conservation works should be based upon best practice using traditional techniques in preference to modern adaptations (Article 4).
- Conservation and future use to consider all aspects and relative degrees of significance (Article 5).
- The use of the buildings should as far as possible remain as originally constructed farm buildings (Article 7).

- The setting of the building is important and needs to be conserved with no new detached un-associated construction or other action which detracts from its heritage value (Article 8).
- All buildings should be conserved and retained in their current location (Article 9).
- Contents which contribute to the cultural significance should be identified and retained (Articles 10 & 11).
- Conservation, interpretation and management of a place should be facilitated in a manner which provides for the participation of people for whom the place has special association and meanings (Article 12).
- Co-existence of cultural values to be respected (Article 13).
- Conservation, preservation, restoration, reconstruction, interpretation and adaptation are all part of the ongoing conservation of the place and should follow accepted processes (Article 14–25).
- This study is part of the Conservation process. More detailed studies of the site may be necessary before any new major conservation works occur (Article 26).
- The impact on the significance should be considered before any change occurs (Article 27).
- Existing significant fabric should be recorded before disturbance occurs. Disturbance of significant fabric may occur in order to provide evidence needed for the making of decisions on the conservation of the place (Article 28).
- The decision making procedure and individuals responsible for policy should be identified (Article 29).
- Appropriate direction and supervision should be maintained through all phases of the work and implemented by people with appropriate knowledge and skills (Article 30).
- A log of new evidence and additional decisions should be kept (Article 31).
- Copies of all reports and records relating to the significance and conservation of the place should be placed in a permanent archive and be made publicly available (Article 32).
- Significant items from the site should be recorded, catalogued & protected (Article 33).
- Adequate resources be provided for conservation work (Article 34).

5.5 Arising from the Statement of Significance

The general requirements are listed below but must be read in the context of the policies in Section 6 to ensure heritage significance is conserved:

- Elements of significance must be retained, conserved and maintained in accordance with the Burra Charter. Changes may be considered provided a careful assessment of impact or heritage values, significant fabric is conserved and careful recording occurs.
- Elements of little significance should be conserved and maintained as part of the place.
- Elements identified as intrusive should be removed if and when practicable to reduce the adverse impact on the overall significance of the place or to conserve elements of greater significance.
- Elements that are neutral should remain but can be removed after careful recording.

Belconnen Farm including its buildings, farm structures and its mature landscape should be retained. The significance of the site can be maintained by ongoing active/sympathetic use and effective maintenance.

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There is a need to ensure adequate protection of the items of significance by means of appropriate maintenance and ongoing protective care.

Significant fabric should be retained as far as possible but upgrading is possible within the constraints set out in the Conservation Management Plan.

Interpretation of the site should be developed further for the benefit of all visitors.

The 19th and 20th century fence alignments to be acknowledged in any future development design.

5.6 Owner Expectations and Requirements

The owner wants to maintain the heritage listed area as a viable operation which may mean some change to meet changing circumstances and requirements. The ongoing operation of the farm is unlikely to have any demands on the buildings in the heritage listed area.

The owners are aware of the planning controls and opportunities being considered for the area. They are exploring the possible outcomes from this potential lease and related issues are discussed in Section 5.7 below.

5.7 Planning Controls

5.7.1 Introduction

Under the ACT Territory Plan, the area is currently zoned NUZ3 – Hills Ridges and Buffer zones which has the following zone objectives:

- a) Conserve the environmental integrity of the hill system as a visual backdrop and a unified landscape setting for Canberra.
- b) Provide opportunities for appropriate recreational uses.
- c) Conserve the significant cultural and natural heritage resources and a diversity of natural habitats and wildlife corridors.
- d) Provide predominantly open buffer spaces for the visual separation of towns and to provide residents with easy access to hills, ridges and buffer areas and associated recreation facilities.
- e) Provide opportunities for appropriate environmental education and scientific research activities.

Where applications for development approval in areas subject to a heritage citation are received by the ACT Planning and Land Authority, the Authority is required (under the Planning and Development Act 2007) to refer these to the ACT Heritage Council for advice. On receipt of such an application the ACT Heritage Council will ordinarily assess the proposal against the requirements of the relevant heritage citation and conservation management plan (where one exists) and advise the ACT Planning and Land Authority accordingly. Where the conservation management plan consists of simple and unambiguous principles for use of the land and for the design and siting of any developments on the land then this process can be simple and effective.

In order to ensure that the principles set out in the management plan will be adequately implemented this chapter provides planning controls that can be incorporated in future planning approval processes that may take place over the site.

5.7.2 Statutory Control over Rural Use

The Belconnen Farm is currently part of a larger rural lease (Block 1605 Belconnen) which is managed as a cattle grazing property with incidental cropping.

Block 1605 is currently held under a rural lease for the purpose of “agriculture” (a copy of the lease is included in Appendix H). The lease requires that a “rural lease management plan” be prepared by the lessee and approved by the territory to specify detailed requirements for the management of the property. The management plan controls the day to day running of the property. Substantive changes such as the removal or installation of buildings or infrastructure or new uses would require additional approval via a development application process under the Planning and Development Act.

The rural lease management plan should be amended to accommodate the requirements of the heritage Citation and the principles set out in this conservation management plan. The land management agreement that is currently in place is in the form of an agreement entered into between the lessee and the Territory. The agreement is based on a standard pro forma land management agreement that applies to rural leases across the ACT. The agreement includes provision for heritage matters at part 3.8, where sites of heritage significance are identified, and then at part 4.9, which allows for the insertion of an action plan for the management, preservation, and any other necessary matters related to the heritage sites.

It will be necessary to amend the agreement to include provision for the Belconnen Farm site in Sections 3.8 and 4.9.

5.7.3 Statutory Control if Land Re-zoned

The Belconnen Farm is included in a larger area of West Belconnen that has been identified as a “future urban investigation area” in the Canberra Strategic Plan published in July 2012. It is understood that, based on current knowledge, urban residential is likely to proceed at some time over block 1605. It is therefore necessary and timely that a conservation management plan should have regard to the possibility of urban development in the vicinity of the Belconnen Farm Heritage Precinct.

The Belconnen Farm Heritage Site includes 6 different buildings and the windbreaks identified in the heritage citation as well as other features such as fence lines and possible archaeological sites. Future use and development of the site must be carefully managed and this will best be achieved by way of a master planning approach. In order to achieve this it is proposed that this conservation management plan will be implemented by way of a “Precinct Code” that would be put in place as part of a comprehensive rezoning of the larger area. The precinct plan will cover the heritage site (approx. 7ha, page 13 of the citation), the area that relates to the rural outlook over the Murrumbidgee River, and areas adjoining the site where special planning considerations are applicable.

A draft precinct code has been prepared for incorporation in the ACT Territory Plan when and if block 1605 is subject to rezoning in line with the recommendations of the Canberra Strategic Plan. (It would be incorporated in the Plan at Section 10.2 “Other Precinct Codes” and thereby have statutory effect.)

The draft precinct plan consists of a written statement and two maps. A copy of the document as completed to date is attached at Attachment D.

5.8 Building Controls

These will apply which means that proposed building work will require planning approval and a building approval to ensure compliance with the National Construction Code (NCC) Volume 1 and Volume 2 - Building Code of Australia (BCA). This is a normal process and is no different with the heritage listing except that under the *Heritage Act* (refer Section 5.2 above) additional controls will apply.

As the buildings are to continue to be used there are stated requirements for an acceptable level of health, safety and amenity, which are defined in the NCC (Vol 1 & 2 BCA).

If no new work is proposed there is no requirement to change anything.

5.9 Moral Rights

Moral rights are personal to the architect of the works and include:

- the right of attribution of authorship;
- the right to take action against false attribution of authorship; and
- the right of integrity and authoring.

The right of attribution lasts 50 years after the death of the architect which will be in 2025.

The owner is required to notify the original designer that alterations to or demolition of the building is proposed. The notification must give the original designer 3 weeks to decide if they wish to:

- make a record of the building before alteration or demolition (usually a photographic record); and/or
- consult 'in good faith' with the owner about the alterations or demolition.

If the original designer does not respond to the notice within the period of 3 weeks the owner may proceed immediately with the proposed alterations or demolition.

If the original designer notifies the owner within the initial 3 week period that it wishes to make a record of the building or consult with the owner regarding the proposed alterations or demolition, the owner must allow a further period of 3 weeks for making the record and or conducting the consultation.

If the Architect has died then consultations are through the company, estate or trust if such exist.

As none of the designers of the pre 1950s building are known from research for this CMP, other than Ken Oliphant, this will only apply to works if the designers can be identified.

6.0 CONSERVATION POLICY

6.1 Introduction

The purpose of the conservation policy is to guide the ongoing protective care of places or items of significance. The policies should be sufficiently flexible to recognise the constraints and requirements, accommodate compatible change, and at the same time enable the character and significance of the place to be retained and conserved. In general, the policy is followed by an explanation to clarify and assist in its understanding.

This policy relates only to the heritage listed area of Belconnen Farm unless specifically expressed otherwise.

6.2 Overall Conservation Objective

The overall conservation objective presented in the following policies is to ensure that the heritage value of Belconnen Farm is conserved. The preservation of essential existing fabric is of high importance but change to permit an ongoing operation as a farm or other viable use is possible provided heritage values are not adversely affected. Maintenance of key views and elements of a rural setting are also important.

6.3 Features Intrinsic to Significance

The features considered intrinsic to the significance of Belconnen Farm are those rated as of exceptional high or some significance in Section 4.9.

6.4 Conservation Planning Practice

CONSERVATION OBJECTIVE 1: *To ensure that any decisions or actions which will impact on the significance of the place are based upon professional conservation planning principles.*

Policy 1.1 *The statement of significance detailed in Clause 4.8 should be adopted as the basis for guiding the ongoing management and change to the site.*

To implement this, the owners need to endorse and the ACT Heritage Council approve the Conservation Management Plan including the Statement of Significance.

Policy 1.2 *All works which will impact on the buildings or site should be undertaken in accordance with the principles of the Australia ICOMOS Charter for Places of Cultural Significance (the Burra Charter).*

It is important that experienced conservation practitioners and tradespeople are involved in any future proposals for Belconnen Farm and that sound conservation principles are applied to any work.

Further explanation of some of these issues is included in Section 5.4.

Policy 1.3 *The policies and associated commentary in this section should be endorsed as a guide for the future of Belconnen Farm.*

For the ongoing protective care of any heritage asset including Belconnen Farm, there needs to be an accepted position which guides the future of the place. The owners need to endorse and the ACT Heritage Council approve the CMP and associated policies.

Where proposed work is in accordance with the CMP then there is unlikely to be any effect on the heritage significance of the place. Where significant elements identified as exceptional, high or of some significance (refer Section 4.9) is affected by a proposal, and then the proposal should be

referred to the ACT Heritage Council for comment and advice. Irrespective of whether it complies with the CMP, any works other than maintenance, may need approval from the ACT Planning and Land Authority (with advice from the ACT Heritage Council) and a Building Certifier.

6.5 Use of the Place

CONSERVATION OBJECTIVE 2: *To provide for appropriate ongoing active use of the place and retain its accessibility to the public.*

Policy 2.1 *Belconnen Farm to continue to use all elements of the site as actively as possible.*

This means all buildings to be kept in good repair and tenanted where practicable.

The stone cottage needs work to make it usable and this is strongly encouraged.

Use of the facilities for rural activities is encouraged and could include reuse of the woolshed for shearing.

Grazing of open areas can continue.

The shearers' quarters need work to upgrade elements to make it more usable.

Uses that conserved the buildings but may not be directly related to rural activities is possible provided heritage values are not adversely affected.

Policy 2.2 *Belconnen Farm be available for community inspection and use.*

This desirably should be at least annually such as in the Heritage Festival and if a more active use of the woolshed could be arranged it is strongly supported. This needs to consider the safety, privacy and security of all tenants.

6.6 Retention of Cultural Significance

CONSERVATION OBJECTIVE 3: *To maximize the retention of the cultural significance of Belconnen Farm.*

Policy 3.1 *Belconnen Farm should be conserved.*

As a significant place, it is important to ensure that ongoing maintenance and management occurs to ensure that significant buildings, setting and site are kept in reasonable condition.

Policy 3.2 *Items of significance must be conserved.*

Refer Sections 4.9 and 6.3 for what is included under this heading.

The items listed as significant must be retained and conserved in accordance with the Burra Charter. Adaptation or changes can occur if it has minimal impact on the cultural significance of the place. However any action needs to consider Policy 1.3 above and correct procedures for any work.

Policy 3.3 *Items of little significance should be conserved if feasible and maintained as part of the place.*

The items of little significance can be changed to suit ongoing needs for the place. Existing elements should be recorded prior to any change and the impact on the other elements of significance be minimised.

Where changes occur, reconstruction of original details is appropriate and preferred where known otherwise sympathetic details are acceptable.

Policy 3.4 *Items considered intrusive should be removed when the opportunity permits.*

In any general maintenance or upgrading the items considered intrusive should be considered for removal so that the significance of the place or site is enhanced.

Policy 3.5 *Items considered neutral should preferably be retained but can be removed after careful recording.*

Recording is to include plans, elevations and photographic evidence.

Records are to be held at the ACT Heritage Library.

Policy 3.6 *Buildings should have a program implemented to appropriately conserve the fabric by regular inspections and maintenance.*

This will include annual inspection and ongoing maintenance as required.

The buildings are in variable condition at present so this action is essential if the buildings are to be appropriately conserved.

This will ensure the ongoing protective care of the buildings.

Any works that result in changes to the fabric or details of the place should be referred to the ACT Heritage Council for advice.

Policy 3.7 *The demolition of all or part of features intrinsic to the significance (refer Sections 4.9 and 6.3 above) shall not be permitted except in exceptional circumstances.*

Prior to any demolition works being approved to an identified heritage element it must be demonstrated that:

- (i) The element is so structurally unsound as to be beyond reasonable economic repair. The application must include a professional structural assessment in support of demolition; or
- (ii) The existing condition of the element poses a significant health or safety risk that is beyond reasonable economic repair. The application must include a professional structural or health assessment in support of demolition.

Not meeting current structural requirements is no reason for demolition. If sections require demolition for any reason, reconstruction to existing details is generally recommended but in all situations any works that result in changes to the fabric or details of the place should be referred to the ACT Heritage Council for advice.

Policy 3.8 *There is to be no upgrading that involves changes to any significant fabric without prior consultation with and approval by the ACT Heritage Council*

Removal or change to fabric of significance (refer 4.9 and 6.3) should be minimised. New work should not affect items of significance. In areas of lower significance or intrusive elements there may be opportunities to improve the interpretation of the buildings or setting.

This does not prevent on-going maintenance.

Upgrading works should reflect or be sympathetic to original details.

Policy 3.9 *The buildings shall be repaired and maintained provided there is no significant impact to features intrinsic to the significance.*

Generally maintenance must be done to retain the original fabric, and if any element is deteriorating it must be maintained for appropriate conservation.

Maintenance may also result in some original material in poor condition being replaced.

Poor condition means rotten and decayed. It does not mean damaged as a result of its age.

The original areas of some buildings (such as the stone cottage) are old and the patina that exists is part of its history.

Wholesale replacement to new condition is not acceptable. Essential replacement however is acceptable but when replacing original fabric new details should match original details without conjecture. When replacing non-original fabric the options are to return the building to a known earlier state, replacing it to match existing details or adding new material in a sympathetic way.

The general approach is to replace like with like, but minimising the extent such as replacing only deteriorated sections.

Repainting and the like shall follow sound conservation principles and occur at regular intervals.

The use of second hand material to maintain the overall patina is acceptable.

6.7 Managing Changes to the Place

CONSERVATION OBJECTIVE 4: *To retain the existing and historical forms, details and character of the place while allowing ongoing effective use of tenanted facilities. Changes are possible but within certain controls. This includes work:*

- Essential for the ongoing conservation or retention of conservation values, or
- To ensure the economic viability of the facility change to the place including upgrading may be required to accommodate a new use but will require individual assessment of impact.

Policy 4.1 *Changes to the buildings and setting are possible but the changes should not adversely affect the significance of the building or its setting. There is to be no upgrading that involves changes to any significant fabric without prior consultation with the ACT Heritage Council (and approval from the Council as required).*

The policies in Sections 6.5 and 6.6 give guidelines on what opportunities for change to the significant fabric exist.

Areas previously upgraded can be further changed in the future if the need arises. Removal of significant fabric (refer Sections 4.9 and 6.3) should be avoided. New work should not intrude into the significant spaces.

Upgrading works should reflect or be sympathetic to original details.

Policy 4.2 *Sympathetic alterations and minor additions are possible.*

Some degree of alteration and addition is possible provided that:

- basic form of the structures remains understandable (or earlier known plan reinstated) and
- new elements are sympathetic to original (not necessarily replicate changes) and
- changes are limited to less significant fabric and
- they do not adversely affect the significance and
- any required approvals are obtained.

Additions to the stone cottage are to be minimal.

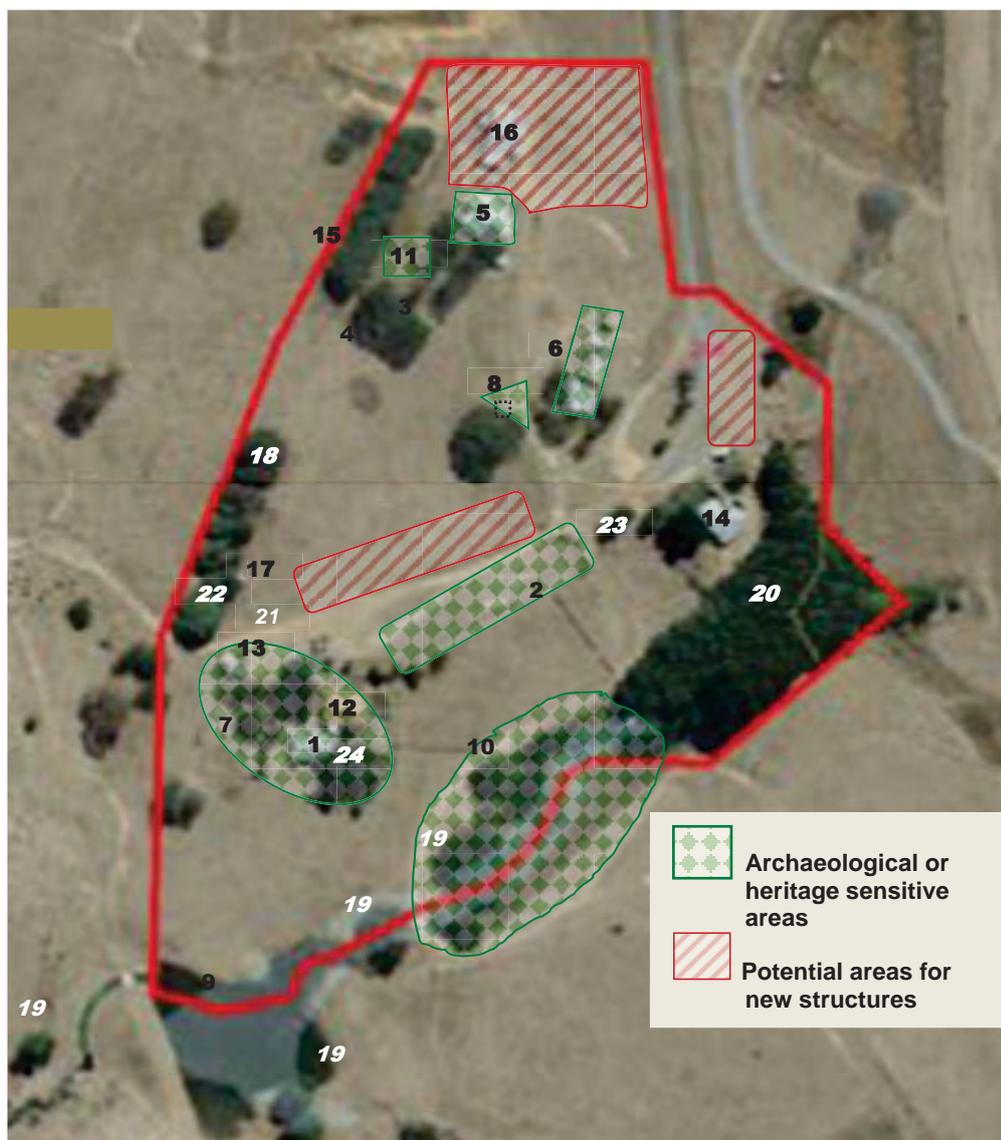
No work shall adversely affect significance.

Policy 4.3 New buildings on the site may be considered and will require a separate submission to the ACT Planning and Land Authority and ACT Heritage Council unless specific exemptions apply.

The significance is in the collection as it has evolved to date but new elements may be considered. The site has evolved and changed with changing demands so some additional structures may be considered if within the context of a farm type complex. Any new structures to be of a rural shed type or sympathetic to the existing structures and located in non-sensitive areas. New development to be strictly limited. Potential areas of development are included in Figure 119. Minor additions to existing structures or new structures to make existing facilities operational are possible (e.g. modest garage for residences, toilets for woolshed if a community facility).

The scale and materials are to reflect the rural character of the existing structures.

The only exemptions under the Planning and Development Regulation 2007 are Class 10 buildings. However it is important that for even Class 10 buildings there needs to be no adverse impact on the heritage values of the place and advice should be sought from the ACT Heritage Council to confirm this.



Legend

- 1 Stone Cottage
- 2 Stables, yards (x)
- 3 Sheep yards (x)
- 4 Sheep yards (x)
- 5 Wool Shed
- 6 Shearers' Quarters (includes 4 buildings)
- 7 Office (x)
- 8 Meat house (x)
- 9 Bore (x)
- 10 Chicken yard (x)
- 11 Spray Dip
- 12 Homestead
- 13 Garage
- 14 Station Hands Cottage

- 15 Plunge Dip
- 16 Machinery Shed
- 17 Water Tanks

Trees

- 18 *Pinus radiata* – Pines
- x *Salix babylonica* – Weeping Willow (x)
- 20 *Ulmus spp.* - Elms
- 21 *Prunus spp.* – Plums
- 22 *Cupressus spp* – Cypress
- 23 *Tieghemopanax sambucifolius* - Elderberry
- 24 *Pinus spp.* - Pine

(x) Indicates the this feature no longer exists

Figure 119: Site Plan Showing Archaeologically Sensitive Areas & Potential Development Areas

Source: ACT Heritage Citation NI 2011-494, Belconnen Farm, 25 August 2011

Policy 4.4 *Temporary structures are possible but must preserve and protect all significant elements, archaeologically sensitive areas and the significance of the place.*

Any temporary structure must not affect the significance of the place.

All elements of the site to be protected during the installation, use and removal of temporary structures.

Temporary structures shall not remain in place for more than 2 months unless prior approval is given.

Temporary structures are not to be located on any sensitive areas (refer Figure 119).

Policy 4.5 *Conflicting policies or possible differences to the policies to be implemented by a defined process.*

The suggested process is:

- Clearly setting out the differences of the proposal with reference to the CMP.
- Defining the objectives of the action proposed.
- Articulating a full range of options to meet the objectives and the impact on the heritage values of each.
- Try to reach a conclusion of the best action to meet the objectives and minimising the impact on heritage values.
- Presenting the information to ACT Heritage Council for comment and decision.

Should this situation arise, advice should be sought from an experienced conservation practitioner.

6.8 Conservation of Site

CONSERVATION OBJECTIVE 5: *On the basis of the The Australia ICOMOS Charter for Places of Cultural Significance (the Burra Charter), ensure the proper conservation of the Belconnen Farm cultural landscape, where vestiges of the 19th and early 20th century layout, plantings and views of exceptional, high or some cultural significance are conserved, maintained and interpreted.*

NB. For the sake of this review, the Belconnen Farm cultural landscape is defined as that part of the former estate that relates most crucially to the setting of the stone cottage (the heritage listed precinct) plus traditional views from it. The setting and traditional views are discussed below.

In this section the policies for each are defined and the comments that follow relate to each of the policies in each subsection.

6.8.1 Setting

Policy 5.1 *Ensure the conservation of those natural and cultural landscape components that comprise the traditional setting of the stone cottage.*

Policy 5.2 *The view identified from the stone cottage out to the distant ranges but including middle ground and foreground views of the cultural landscape are considered a part of the setting of the stone cottage and important in the interpretation of the stone cottage and should be conserved.*

Policy 5.3 *No further major utility structures (such as power lines) of a visually intrusive nature should be permitted to run across the stone cottage's critical outlook corridor and, should the opportunity arise in the future, the existing power line structures should be removed from within this critical outlook corridor.*

Although other built fabric at Belconnen Farm is of cultural value the stone cottage remains as one of the key components of the site and to which other early European cultural components relate. The cottage was located on a flat spur overlooking Spring Creek with a prospect out over the farm to the southwest that still includes the high mountain ranges many kilometres away.

It is important to retain these traditional views from the stone cottage site as well as those components of the farm that directly relate to the stone cottage such as natural features that have influenced the original site selection, related farm structures and layout and the various added landscape elements with a long association to the stone cottage. All of these landscape components contribute to the setting of the stone cottage as the historic centre of the farm.

In relation to the immediate context of the stone cottage those landscape elements of most importance include the old pine and edible fig trees, the surrounding fruit trees and other older plantings in the vicinity of the fenced enclosure and the former stables site. The latter element is included in relation to the cottage as the evidence retained at this point is of relevance to an understanding of the earlier organisation and function of the farm core that was centred on the cottage.

Spring Creek was the main natural feature in relation to which the stone cottage was located and even though the landfill site has subsumed the headwaters of the creek, most of the old catchment is still intact and the traditional direct connection between the creek and the stone cottage remains.

As well as the site's natural features and cultural fabric and layout, the traditional viewscape must also be taken into account as a key part of the setting. The view is an important reason for the location, aspect and form of the stone cottage. Elements that influence the setting are identified on Figure 120.

The original setting for the stone cottage included an access road to the south. This should be mapped and if any opportunity arises to re-establish this as a link it should be actioned.

Those areas beyond the heritage listed area will require special planning controls (refer Section 7).

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Figure 120: Belconnen Farm Setting

Source: Google Earth Image with annotation by Geoffrey Britton

6.8.2 Earlier Layout and Archaeology

Policy 5.4 *Ensure the evidence of earlier layout at Belconnen Farm is conserved and, where possible, undertake the reconstruction of known earlier layout between the stone cottage and the station hands cottage if feasible uses can be found.*

Policy 5.5 *The 19th and 20th century fence and track alignments should be acknowledged in any future development design.*

6.8.3 Indigenous Vegetation

Some of the following are outside the Belconnen Farm site so consideration and suggestions are included which should be directed to the relevant owner/authority.

Policy 5.6 *Ensure the conservation of persistent locally indigenous vegetation within Belconnen Farm site, encourage the ongoing regeneration of such vegetation (including the planned eradication of undesirable exotic species) and allow for the regeneration of native trees and larger shrubs.*

Policy 5.7 *Consider commissioning an experienced grassland botanist or ecologist to review the status of Belconnen Farm site grasslands and provide more specialised advice on balancing the management of grazing with long-term grassland conservation.*

Policy 5.8 *Suggest that those parts of the site adjoining the Woodstock Nature Reserve including the lower section of Spring Creek that is regarded*

as a part of the riparian system of the Murrumbidgee River corridor be conserved.

Policy 5.9 Suggest that the appropriate treatment of the remainder of Spring Creek and its tributary system is consistent with the aims of ecological management for the riparian system downstream.

The original Belconnen Farm falls within a broad area described as being a largely grass-dominated indigenous vegetation type (Tableland Dry Tussock Grassland) although there are also indicators of a former grassy woodland type with the remnant red gums (*Eucalyptus blakelyi*) and the early name of the southern paddock as 'Kurrajong' indicating the presence of *Brachychiton populneus* in the past.

It would be highly desirable to maintain the majority of the farm landscape as healthy grassland while encouraging more regeneration of woodland trees. Yet throughout the site there are various persistent environmental weeds and it would be desirable to control, if not eradicate, these. They include volunteer hawthorns, Black Locusts, willows as well as lower and more widespread species such as St Johns Wort (*Hypericum perforatum*), Giant Mullein (*Verbascum thapsis*), Scotch Thistle (*Onopordum acanthium* L.), fleabane (*Conyza* sp.) and, to a much lesser extent, Briar Rose (*Rosa rubiginosa*).

With careful management it would be possible to control these nuisance species and enable the successful recolonisation and maintenance of desirable indigenous species. To assist in this a review of the status of existing ground cover across the site should be undertaken by an experienced grassland botanist or ecologist with a view to providing more specialised advice on balancing the management of grazing with grassland conservation.

That edge of the original Belconnen Farm that adjoins the Murrumbidgee River also carries ecological value as part of an acknowledged riparian corridor. The lower parts of Spring Creek should be considered a part of this zone. In this context all of Spring Creek should be managed in a way that respects the need to conserve indigenous riparian flora and fauna.

Areas beyond the Heritage listed site will require supporting planning controls (refer Section 7).

6.8.4 Cultural Vegetation

Policy 5.10 Ensure the conservation of all exotic vegetation of assessed exceptional, high and some significance.

Policy 5.11 Consider regarding the area generally bounded by the various buildings within Belconnen Farm as an exotic zone where those existing plantings and exotic species may be permitted while excluding such vegetation beyond this zone with the exceptions in Policies 5.13 – 5.15.

Policy 5.12 Black Locust trees within the 'exotic zone' of the farm site, and those few areas just to the west of this zone where older examples remain, should be conserved with all other plants – existing and future – removed.

Policy 5.13 Hawthorns have cultural relevance to the site and may be early introductions for the purpose of 'live fences' and should be conserved

where they are within the 'exotic zone' (the Heritage listed area). Beyond this zone all plants – existing and future – should be removed.

Policy 5.14 *The willows are likely also an early site introduction and should be conserved where they are located along Spring Creek or its tributaries but above, or adjacent, the c2004 dam. Where willows occur below the dam they should be removed.*

Policy 5.15 *Generally, as a management guide, the dam wall and spillway should be seen as a 'neutral zone', vegetated only by a dense covering of indigenous grasses with the zone above being appropriate for exotic species (such as willows, poplars and elms) and the zone below as only appropriate for locally indigenous riparian vegetation in order to protect the ecological integrity of the Murrumbidgee River riparian corridor.*

Policy 5.16 *As a high management priority commission an arboricultural review of the old Monterey Pine near the stone cottage to assess its general health and safety status as well as determine strategies for maintaining its viability and long-term conservation.*

Policy 5.17 *Undertake also an arboricultural review of the Ficus carica and other old fruit trees in the vicinity of the stone cottage with a view to enhancing their long-term viability and conservation.*

Within Belconnen Farm there are many introduced plant species that carry either some or considerable cultural value and, in the case of those of exceptional and high significance, should be conserved. Foremost of these are the massive old Monterey Pine and the old edible fig tree near the stone cottage as well as the nearby fruit trees and the elm copse and willows at the creek.

However some of these species as well as others within the vicinity of the built structures at the site are known to have a propensity to become nuisance species by readily spreading well beyond where they were originally planted. Such species include hawthorns, Black Locusts, Monterey Pine and, to some extent, even Desert Cypress, Kentish Red Cherry and English Elm.

While it is desirable to conserve these species within the heritage listed area it is also desirable to confine them to this area and limit or, ideally, prevent their potential spread beyond this area. To date, the most prolific species beyond the vicinity of the ring of built structures have been hawthorn and Black Locusts with some willows advancing down Spring Creek.

A further level of philosophical complexity is added in this case as the hawthorns also provide much needed protection and cover for small birds while the Black Locusts offer valuable shade in summer (in the general absence of many woodland trees) and, potentially, fodder for cattle. A balance clearly needs to be struck between controlling the otherwise irresistible spread of these species and removing them from outside Belconnen Farm.

In the case of the hawthorns and Black Locusts, where they occur at present within the heritage listed area they should be retained as some of these plants are reaching many decades of growth. Those Black Locusts just outside of the heritage listed area – such as to the immediate west of the northern cypress windbreak and just outside the present fence – and

even the small isolated copse further to the west also be retained in these locations.

Beyond these exemptions the Black Locusts should be removed and maintained free of further seedlings and similarly for the hawthorns beyond the heritage listed area. With the removal of the hawthorns from along Spring Creek they should be replaced immediately with locally indigenous Australian Blackthorn (*Bursaria spinosa*) as an alternate form of shelter for small fauna.

In the case of the willows this is potentially an early introduction to the site and it is desirable to retain the older willows and all of those along Spring Creek from around the elm thicket down to, and around, the new dam as well as those along the tributaries of Spring Creek above the new dam. Those trees beyond the dam should be removed to avoid the risk of propagatory material being conveyed down into the Murrumbidgee River system and Woodstock Nature Reserve.

The zone that includes the dam wall and spillway should be maintained as dense native grasses with no trees while the creek line below this should be maintained as an indigenous riparian zone where exotic plant incursions are removed. Those riparian zones above the new dam could be regarded as a cultural zone where exotic species are permitted.

As the old Monterey Pine is one of the most valuable plantings remaining at Belconnen Farm, and has considerable value within the ACT, it is highly desirable that its continued viability is enhanced with sound arboricultural management. To assist in its appropriate conservation the tree should be the subject of a review for ongoing safety and general health by an arborist with demonstrated experience in the conservation of sites of high cultural significance.

The edible fig tree too has reached a remarkable stature and should also be considered an asset within a Territory-wide context. The fig tree, the quinces and older fruit trees should all be the subject of an arboricultural review with a principal objective to enhance the long-term viability of the plants.

Those areas beyond the heritage listed area will require supporting planning controls (refer Section 7).

6.9 Recording of Change

CONSERVATION OBJECTIVE 6: *To ensure that appropriate records are made before changes to the place.*

Policy 6.1 *Original details and finishes must be recorded prior to any major refurbishment or alterations. Recording should be undertaken by a heritage specialist and recording data retained by the owner as well as providing a copy to the ACT Heritage Council and ACT Heritage Library.*

Correct conservation process is to record by means of drawings and photographs buildings or details before they changed. These should be archived with ACT Heritage Library and the ACT Heritage Council.

Any evidence uncovered during the execution of the work should similarly be recorded.

6.10 Interpretation

CONSERVATION OBJECTIVE 7: *To enhance community understanding and awareness of the history and significance of the place through implementing an Interpretation Strategy.*

Policy 7.1 *Interpretation of the site should be promoted by means of making the Conservation Management Plan with its history and significance widely available.*

As the place is private without public access, the only means to expand exposure of the farm is making the CMP readily available. However, if the area was to be more available for community access and use additional signs could be placed at entrances to and on site at key buildings. Signs similar to the Canberra Tracks system would be appropriate.

Policy 7.2 *If the place is made more publicly accessible then interpretative signage should be installed.*

6.11 Archaeological Control

CONSERVATION OBJECTIVE 8: *Maintain archaeological control on all work to conserve archaeological remnants.*

Policy 8.1 *Maintain archaeological control on all work where it may affect an item of significance or an area of archaeological sensitivity.*

There is some known archaeological interest in the site due to a known fact of early structures and landscape elements existing and potential indigenous interest (refer Figure 119). The policy provided above restrict site disturbance. If any ground disturbance is likely in areas of archaeological interest then there needs to be an archaeological watching brief for any work in the area.

Archaeological sensitivity can be succinctly defined as predicted areas within a landscape where there is a potential for surface or subsurface remains of former human structures or activities retaining contextual form and from which relevant information can be obtained. Assessments of the archaeological sensitivity of an area can be based on the known locations of sites (for example the remains of former built structures or stone artefacts) or predictions based on nearby site locations, landform variables and land use. The assessment of archaeological sensitivity is typically expressed as a range from low, medium to high.

The resulting predicted areas of archaeological sensitivity require testing, both through additional archaeological surveys and/or subsurface archaeological investigation.

Indigenous

Based on previously recorded locations of Indigenous sites (Table 1) the archaeological sensitive areas for the Belconnen Farm heritage area is:

- Within 10-20 metres of creek and drainage lines;
- Lower to mid-slopes above water sources; and
- Ridge lines.

European

Areas of particular archaeological sensitivity for European activities would be within and around the areas of highest working activities. For example:

- The homestead area;
- Other residential areas;
- Infrastructure associated with the workings of the property; and
- Sites of former buildings. (Note also Policy 5.6)

Refer also Figure 2 and Figure 14.

6.12 Management

CONSERVATION OBJECTIVE 9: *To ensure there is an appropriate management structure in place to achieve conservation of the place and define who is responsible for management and conservation of the place.*

Policy 9.1 *Private individuals can continue to own and manage the place and lease it to ensure ongoing use and occupation.*

It has operated this way successfully to date and there is no reason to change it.

Policy 9.2 *The lease with each tenant for the place to reference the Heritage Significance and associated controls on the buildings and landscape to ensure ongoing conservation.*

This will need to include reference to a CMP endorsed by the ACT Heritage Council and the ACT Heritage Register Citation. This will strengthen and acknowledge the special significance of the place.

Policy 9.3 *The lease with each tenant clearly define responsibilities for regular inspections and ongoing preservation of the place as per Section 7.7.2.*

This is essential to ensure appropriate conservation (refer Section 7.7.2 for more details).

Policy 9.4 *The lease with each tenant should require the place be available for public access to a minimum level such as annually.*

The community interest in the place is important and needs to be continued.

Policy 9.5 *The oversight of the place is the responsibility of the leaseholder. Any potential lease changes will require consultation with ACT Government which needs to consider the heritage value of the place.*

This is needed to ensure appropriate conservation of the place.

The lease file needs to clearly indicate that the place is heritage listed and include a copy of the approved CMP.

Any consideration of changes to the lease must be in consultation with the ACT Heritage Council (who must also hold a copy of the approved CMP).

Policy 9.6 *Existing heritage registers and information sheets be updated with information in this report by providing a copy of this CMP to ACT Heritage Council, National Trust of Australia (ACT) and ACT Heritage Library.*

It is important that information about heritage assets are kept up to date and consistent. With the advantage of a conservation plan the opportunity is available to update all existing information.

Policy 9.7 Appropriate controls be placed on any future development around the heritage listed area so that appropriate controls are in place to protect the heritage values of Belconnen Farm. Refer Section 7 for more details.

7.0 MANAGEMENT

7.1 General

What follows are suggested management issues through which the conservation policy is capable of being implemented. This includes day-by-day management, decision-making responsibilities, and the means by which regular maintenance is provided to maintain the cultural heritage values of the place.

The following strategy is recommended to ensure the maintenance of the cultural significance of the place, that the fabric is properly cared for and adequate provision is made for care and maintenance, and some interpretation for the understanding of the place is achieved.

There is also comment on the possible future urban expansion in the area (refer Section 5.7).

7.2 Objectives

The management policies can be summarised as a series of objectives for the management of the place which include:

- Conservation of the significant fabric and spaces.
- Interpretation of the buildings and landscape and significance of the place.
- Control over use.
- Commitment to on-going upkeep and maintenance of the buildings and landscape.

7.3 Ownership/Management Responsibility

Continuation of the ownership by private individual or company.

The land management agreement attached to the lease needs to be reviewed and recognize the heritage listed area and this CMP and the policies within and outside the heritage listed area.

7.4 Heritage Registers

ACT Heritage Council should update the details on the ACT Heritage Register to those within the approved CMP.

7.5 Updating of CMP

Regular review and updating are part of the conservation process. If more information and detail come to hand a review is desirable to ensure the CMP suits the current needs of the time. The review will also include the Management in which the effectiveness of the current proposal can be assessed. A review every 5 - 10 years is recommended.

7.6 Procedures for Work

A clear procedure should be adopted for maintenance and unforeseen possibilities. Professional advice should be sought and the approval of the ACT Heritage Council may be required before proceeding.

7.6.1 General Work and Maintenance

As an item of work is being considered, the following process is suggested for each element that may be affected:

- | | |
|-------------------------------------|--------------------------------------------|
| Check integrity | The element existed when originally built. |
| Determine the level of significance | Refer Section 4.9. |

Follow general policies for conservation

Generally change is not supported (Policy 4.1) and maintenance to be minimum necessary to conserve the fabric but policies guiding work on items on different levels of significance are defined in Section 6.

7.6.2 Unforeseen Events

If an unforeseen event or proposal occurs then the procedure to follow is:

- Check this CMP to see if any policy provides clear advice. If so act accordingly.
- If there is no clear advice within the CMP to deal with the issue, consider the significance of the place and/or element and seek advice from a Conservation Practitioner.
- Put proposal to the ACT Heritage Council, and other authorities if required, to meet legislative requirements.
- Amend the CMP as necessary.

If there appears to be conflicting policies that apply to any proposal then no action should proceed without professional advice and clarification by the relevant heritage authority.

7.7 Buildings

7.7.1. General

It is essential that the buildings be well maintained. This will require, from time to time, replacement of deteriorated elements. This can occur provided the same details are replicated or a better outcome may be to restore/reconstruct original details. This includes such items as:

1. Replacing rotten timber.
2. Replacing rusted gutters and downpipes.

It is also required that no materials be replaced unless essential and all work to be carefully undertaken and executed to a first class workmanship standard. This process will ensure the best long term preservation of the place.

Temporary stabilisation by the addition of new elements is possible if this preserves existing fabric in a cost effective way and the addition is obvious on inspection and can ultimately be removed.

There will be occasions when elements will require replacement (e.g. taps, light fittings). When this occurs replacements to match the existing if at all possible even with the use of second hand material. If not possible a sympathetic replacement to be added (one which is of similar design) and details are to be recorded.

In many instances the use of second hand materials is possible and appropriate given the history of re-use of materials on site.

7.7.2. Inspections

A regular check of the buildings and landscape by experienced conservation practitioners should occur to ensure it is appropriately maintained. The list below outlines what should occur for all of the individual buildings:

A bi annual inspection (each 6 months) should include:

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- Inspect roof, gutters and downpipes to ensure that the building is waterproof and rainwater is effectively discharged away from the building. Clean gutters as necessary.
- Inspect the whole building to ensure that there is no borer or rodent activity, including implementation of treatments as necessary to reduce the risk of future borer / rodent infestation.
- Any current pest control program shall be confirmed and improved as required.

An annual inspection should include the following items:

- Inspect all trees and identify any work to ensure their conservation.
- Inspect windows and doors to ensure that they are intact and operate correctly.
- Inspect the exterior of the buildings generally to ensure that they maintain their structural soundness.
- Inspect all painted surfaces to ensure that they remain in sound condition. This particularly applies to the exterior and timber surfaces.
- Inspect fences to ensure they are in good condition.
- Inspect all services (plumbing, sewer, water supply, gas, electrical) to ensure they are operating correctly and safely.
- Inspect the interior of the buildings to ensure they maintain their structural soundness and weatherproofness. Secure loose/squeaky floorboards.
- Discussions with anyone associated with use and management of the place including grounds staff, managers and operators to list any items they have noticed.

Any maintenance work identified from inspections should be programmed for rectification. As and when required the stormwater and sewer lines should be cleaned out to ensure their ongoing and effective use. Any work that would require a DA or BA should be referred to the ACT Heritage Council for comment (refer Policy 3.6 and 4.3).

7.8 Grounds Maintenance

7.8.1. Horticultural Management

Horticultural tasks are an important part of the process of maintaining the integrity of the site and should be carried out, under instruction, by competent people with experience working in the context of landscapes of high cultural significance.

7.8.2. Maintenance Manual

As part of the long term management of the site, a comprehensive maintenance manual should be devised in association with current lessee and should include (but not be limited to) the following:

- Cyclical maintenance
- Gardens of Homestead, and Stone Cottage, Shearers' Quarters
- Trees
- Edgings
- Beds
- Orchards
- Vegetables/kitchen garden
- Weeding
- Monitoring surface water drainage system away from the buildings
- Propagation of key plantings, when needed, in order to maintain genetic continuity of original plantings
- Maintaining driveway and path gravelling, monitoring runoff and clearing gravel and other material from around drainage grates

- Repairing fences as required.

7.9 Interpretation

Interpretation of the site should be promoted to reinforce the significance of the site. This should include the following items recommendations presented in Policy Section 6.10.

7.10 Conservation Work

Conservation and Management works will be required to the buildings on an ongoing basis. The condition report in Section 3 identifies the general need.

Essential conservation works are required to:

- Stone Cottage particularly verandah
- Shearers' Quarters (all buildings)
- Woolshed external timber races, stairs and platforms
- Homestead roof replacement/repair and internal repair
- Weed management (refer Section 6.8.4)
- Arboricultural review of old Monterey Pine and *Ficus Carica*.

7.11 Safety

Consistent with its any use of the site needs to be made safe and associated risks minimised. This particularly applies to the woolshed and verandahs of shearers' quarters which need work to enable it to be accessed.

This includes regular inspection and pruning of mature trees under the guidance of a suitably experienced arborist.

7.12 Visitor Access

The current operation is as a private place and tenanted building visitation needs to be controlled, but is encouraged on a limited and controlled basis.

7.13 Further Research

There is limited information or details of early structures and landscape so further research into these areas would be useful.

7.14 Planning Management

The Heritage Act has effect within the heritage listed area. However for the conservation of the heritage values of the site there needs to be planning controls beyond the heritage listed area to protect views and the like. These are best implemented by separate Precinct Code as recommended in Attachment D.

Appendix A: References

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Appendix B: ACT Heritage Register Citation

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Belconnen Farm Registration August 2011

Australian Capital Territory

Heritage (Decision about Registration for Belconnen Farm, Belconnen) Notice 2011

Notifiable Instrument NI 2011 -494

made under the

***Heritage Act 2004* section 42 Notice of Decision about Registration**

1. Revocation

This instrument replaces NI 2011-102

2. Name of instrument

This instrument is the Heritage (Decision about Registration for Belconnen Farm, Belconnen) Notice 2011 -

3. Registration details of the place

Registration details of the place are at [Attachment A](#): Register entry for Belconnen Farm, Belconnen.

4. Reason for decision

The ACT Heritage Council has decided that Belconnen Farm, Belconnen meets one or more of the heritage significance criteria at s 10 of the *Heritage Act 2004*. The register entry is at [Attachment A](#).

5. Date of Registration

25 August 2011

Jennifer O'Connell
Acting Secretary
ACT Heritage Council
25 August 2011

DRAFT

Belconnen Farm Registration August 2011

 <p>ACT Heritage Council</p>	<p>AUSTRALIAN CAPITAL TERRITORY</p> <p>HERITAGE REGISTER (Registration Details)</p> <p>Place No:</p>
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For the purposes of s. 41 of the *Heritage Act 2004*, an entry to the heritage register has been prepared by the ACT Heritage Council for the following place:

Belconnen Farm, Belconnen

(Part) Block 1605, District of Belconnen

DATE OF REGISTRATION

Notified: 25 August 2011 Notifiable Instrument: 2011-494

Copies of the Register Entry are available for inspection at the ACT Heritage Unit. For further information please contact:

The Secretary
ACT Heritage Council
GPO Box 158, Canberra, ACT 2601

Telephone: 13 22 81 Facsimile: (02) 6207 2229

Belconnen Farm Registration August 2011

IDENTIFICATION OF THE PLACE

Belconnen Farm, (Part) Block 1605, District of Belconnen

STATEMENT OF HERITAGE SIGNIFICANCE

This statement refers to the Heritage Significance of the place as required in s12(d) of the *Heritage Act 2004*.

Belconnen Farm is of significance as a rare example of its kind, as important evidence of a process of conversion of exceptional interest, for strong and special associations with a person and cultural phase, and as a notable example of its kind of place.

The 1850s stone cottage at Belconnen Farm is a rare example of a reasonably intact permanent and substantial building within the ACT dating from this time, as one of only six stone residences/homesteads of this type. The place is also a rare example of a continuous working rural property within the ACT, dating from the 1850s. Its rural outlook remains evocative of this function.

Belconnen Farm also has a special association with the soldier settlement scheme within the ACT, and is a rare example of a successful soldier settler lease within both the ACT and nationally, testament to the skills and experience of lessee Austen Shepherd and his family. Belconnen Farm is also one of few properties in the ACT which has an association with the soldier settlement scheme which remains evident through the built structures today.

The property's settlement in the 1850s, and its subsequent occupation and use through the austere periods of soldier settlement and the Depression, and the later emergence from these periods in the 1930s demonstrate the growth and development of a distinctive process of conversion from a nineteenth century rural settlement, to an early twentieth century soldier settlement lease and later twentieth century adaptation, reflecting economic and other influences of the different periods. These phases remain evident in the built fabric of the place today.

Belconnen Farm is a notable example of a successful WWI Soldier Settlement lease. The re-use of the original stone cottage during this period, and the construction of simple outbuildings using basic, often recycled materials, demonstrates the principal characteristics of Soldier Settlement leases where capital was limited and economy, ingenuity and hard work were essential for survival.

Belconnen Farm also has a special association with well known Australian explorer, Captain Charles Sturt, who explored much of the land through the Murrumbidgee and Murray River areas in 1829 and 1830. In 1837, as reward for his explorations, Sturt chose this land on the junction of the Molonglo and Murrumbidgee Rivers, as his entitlement.

Other theme-related registrations

Other places in the ACT related to the soldier settlement scheme and registered on the ACT Heritage Register include:

- Callum Brae Precinct, Narrabundah Lane Symonston
- Huntly, District of Stromlo

FEATURES INTRINSIC TO THE HERITAGE SIGNIFICANCE OF THE PLACE

Belconnen Farm Registration August 2011

The attributes listed below are assessed as features intrinsic to the heritage significance of the place:

- the 1850s stone residence
- the 1930s woolshed
- the 1930s shearers' quarters
- the 1950s house
- the 1950s station hand's cottage
- the 1970s machinery shed
- the windbreaks of *Pinus radiata* (Radiata or Monterey pine), *Cupressus spp.* (Cypresses), the grove of *Ulmus spp.* (Elms) to the east of the worker's cottage, the stand of *Prunus spp.* (Plums) to the west of the 1950s house and the line of *Tieghemopanax sambucifolius* (Elderberry) along the road that passes between the buildings.
- the rural outlook over the Murrumbidgee River

APPLICABLE HERITAGE GUIDELINES

The Heritage Guidelines adopted under s27 of the *Heritage Act 2004* are applicable to the conservation of Belconnen Farm.

The guiding conservation objective is that Belconnen Farm, (Part) Block 1605, District of Belconnen, shall be conserved and appropriately managed in a manner respecting its heritage significance and the features intrinsic to that heritage significance, and consistent with a sympathetic and viable use or uses. Any works that have a potential impact on significant fabric (and / or other heritage values) shall be guided by a professionally documented assessment and conservation policy relevant to that area or component (i.e. a Statement of Heritage Effects – SHE).

REASON FOR PROVISIONAL REGISTRATION

Belconnen Farm, (Part) Block 1605, District of Belconnen has been assessed against the heritage significance criteria and been found to have heritage significance when assessed against four criteria under the ACT Heritage Act.

ASSESSMENT AGAINST THE HERITAGE SIGNIFICANCE CRITERIA

Pursuant to s.10 of the *Heritage Act 2004*, a place or object has heritage significance if it satisfies one or more of the following criteria. Significance has been determined by research as accessed in the references below. Future research may alter the findings of this assessment.

- (a) **it demonstrates a high degree of technical or creative achievement (or both), by showing qualities of innovation, discovery, invention or an exceptionally fine level of application of existing techniques or approaches;**

The place is assessed as not meeting this criterion.

- (b) **it exhibits outstanding design or aesthetic qualities valued by the community or a cultural group;**

The place is assessed as not meeting this criterion.

Belconnen Farm Registration August 2011

- (c) it is important as evidence of a distinctive way of life, taste, tradition, religion, land use, custom, process, design or function that is no longer practised, is in danger of being lost or is of exceptional interest;**

Belconnen Farm is important as evidence of a distinctive process of exceptional interest. The land has been used as a rural property from the 1850s demonstrating a process of conversion from its rural beginnings to a soldier settlement lease and subsequent twentieth century adaptation. It is of exceptional interest for its demonstration of growth and development, reflecting the broader economic environment within which it operated at different times throughout its use and occupation.

The original 1850s stone cottage demonstrates the wealth and intended permanence of the Campbell family who owned the Duntroon Estate. The reuse of this building upon the granting of a Soldier Settler lease in 1927 to Austen Shepherd is evidence of the experience of Soldier Settlement in the ACT, including the improvisation and 'making-do' with available shelter and materials.

This period of occupation as a soldier settler lease is important as evidence of a distinctive way of life and land use of exceptional interest, as one of only five identified examples in the ACT which continue to demonstrate the soldier settlement lease established in the ACT under the WWI FCT Soldier Settlement Scheme which operated from 1920 – 1927. Most of the leases issued under this scheme have been resumed for urban development or absorbed into larger existing rural properties.

The construction of new buildings on the property in the 1930s, including a substantial woolshed, demonstrates an emergence out of the Depression, and greater certainty in tenure.

The construction of a second homestead and station hand's residence in the 1950s demonstrates the continuing occupation and adaptation of the property.

The siting of the homestead precinct at the junction of two creeks with permanent springs and the hierarchy and relationship of the associated buildings and plantings illustrate nineteenth and twentieth century rural traditions and the way of life on an isolated property.

Belconnen Farm meets this criterion.

- (d) it is highly valued by the community or a cultural group for reasons of strong or special religious, spiritual, cultural, educational or social associations;**

The place is assessed as not meeting this criterion.

- (e) it is significant to the ACT because of its importance as part of local Aboriginal tradition**

This criterion is not applicable.

- (f) it is a rare or unique example of its kind, or is rare or unique in its comparative intactness**

Belconnen Farm is a rare example of its kind, being a property within the ACT which demonstrates the development and different phases of occupation as a continuing rural property since its earliest European settlement in the 1850s. Within the ACT there are few examples of such rural properties with this same longevity of use and layers of history. The rural outlook is evocative of the place's history as a continuous working rural property dating from the 1850s.

The 1850s stone cottage at Belconnen Farm is of significance as a rare example of its kind, being a stone building and residence dating from the 1850s. Within the ACT, there are few

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comparable buildings dating from this time or earlier. Comparable examples include stone outbuildings at Lanyon, the Woden Homestead and the Tuggeranong Homestead Barn, as well as the stone residences of Blundell's Cottage, Majura House, Mugga Mugga, Horse Park Homestead, Oaks Estate Homestead.

Belconnen Farm is also a rare example within the ACT of a soldier settlement lease which retains an ability to demonstrate that period of use and occupation through its built structures, including the stone cottage and outbuildings constructed in the 1930s. It is one of only six relatively intact FCT Soldier Settlement properties identified in the ACT and one of only five still operating as a rural lease largely within the original soldier settlement boundaries.

Belconnen Farm differs to other soldier settler leases in the ACT through the use and adaptation of existing infrastructure on the lease. The continuing use of the property by family members of the original soldier settler, and their subsequent further development of the property and its built infrastructure is rare in the ACT context.

Belconnen Farm meets this criterion.

(g) it is a notable example of a kind of place or object and demonstrates the main characteristics of that kind

Belconnen Farm is a notable example of a successful WWI FCT Soldier Settlement lease which typically began as a small, economically non-viable block but which, in this case, was rapidly expanded into a viable operation by the acquisition of adjacent unsuccessful soldier settlement leases. Most of the Soldier Settlement leases in the ACT, and elsewhere, failed.

Belconnen Farm including its outbuilding precinct containing small, simple structures built by the lessee himself using basic, often recycled materials demonstrates the principal characteristics of Soldier Settlement leases where capital was limited and economy, ingenuity and hard work were essential for survival.

Belconnen Farm meets this criterion.

(h) it has strong or special associations with a person, group, event, development or cultural phase in local or national history

Belconnen Farm has a strong and special association with the WWI Soldier Settlement Scheme which operated in the FCT from 1920 to 1927, being granted as a lease to Austen Shepherd. The WWI Soldier Settlement scheme is important to both national and ACT history, being a key initiative of government following World War I to encourage voluntary recruitment, provide employment for returned servicemen and to increase post-war primary production. The special association results from the success of Belconnen Farm as a soldier settler lease, where many others failed – testament to the farming skills of Shepherd - and for the length of association which Shepherd's family have had with this land.

Belconnen Farm is of significance for its special association with Captain Charles Sturt who explored the Murrumbidgee and Murray Rivers in the early 1800s. Sturt's exploration is important in national history, resulting in the settlement of land to the west of the Great Dividing Range. For this accomplishment, Sturt was entitled to a grant of 5,000 acres. He chose this area, on the junction of the Molonglo and Murrumbidgee in 1837. Though Sturt never occupied or farmed the land, the association is special as there are no other places within the ACT which are associated with Sturt. The views over the Murrumbidgee today are reminiscent of the time when Sturt selected this land.

Belconnen Farm meets this criterion for the above reasons.

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The property also has an association with the Campbells of Duntroon and their network of properties in the area, as Belconnen Farm was in their ownership from 1838 to 1911. The property is linked with the first Administrator of the Commonwealth, Colonel David Miller who leased it after the 1913 subdivision. These associations are noteworthy though do not meet this criterion as being strong or special.

- (i) it is significant for understanding the evolution of natural landscapes, including significant geological features, landforms, biota or natural processes**

This criterion is not applicable.

- (j) it has provided, or is likely to provide, information that will contribute significantly to a wider understanding of the natural or cultural history of the ACT because of its use or potential use as a research site or object, teaching site or object, type locality or benchmark site**

The place is assessed as not meeting this criterion.

- (k) for a place—it exhibits unusual richness, diversity or significant transitions of flora, fauna or natural landscapes and their elements**

This criterion is not applicable.

- (l) for a place—it is a significant ecological community, habitat or locality for any of the following:**

- (i) the life cycle of native species;**
- (ii) rare, threatened or uncommon species;**
- (iii) species at the limits of their natural range;**
- (iv) distinct occurrences of species.**

This criterion is not applicable.

The place is assessed as not being significant in relation to the following criteria: a, b, d, e, i, j, k, and l.

SUMMARY OF THE PLACE HISTORY AND PHYSICAL DESCRIPTION

HISTORY

Early History

Captain Charles Sturt was entitled to a grant of 5,000 acres (2,023 hectares) from the Crown for his exploration of the Murrumbidgee and Murray Rivers from November 1829 to May 1830, one of the most notable journeys of exploration in Australia. From a colony chiefly bound to the coastal plains, the vision of the colony was lifted to the vast reaches of land lying beyond the Great Dividing Range as far as the mouth of the Murray where the colony of South Australia was to be founded, its settlement directly influenced by Sturt's reports of the region.

Sturt did not take up a grant of land immediately. He was posted to Norfolk Island and then returned to England to convalesce from the effects of his journey of exploration. In 1837 he made a visit to Murray of Yarralumla. On that visit Sturt chose as his grant a site at the junction of the Molonglo and Murrumbidgee Rivers. He named the property 'The Grange'. It is not recorded that he visited the site but it is possible that he did, particularly as the land leading up to it on either side of the Molonglo was held by

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'Yarralumla' and by acquaintances of the Murrays. Tradition has it that he visited Fairlight on the eastern banks of the Murrumbidgee opposite 'The Grange' where he is said to have planted seeds of trees including a Medlar. (Pers. Com. Peter Webb). However he never occupied the land or farmed it.

In 1838 Charles Campbell of Duntroon acquired the land and farmed it, naming it 'Belconnen'. It is thought that Campbell gave it this name after an incident at the property when an aboriginal man used the word 'Belconnor', meaning 'I cannot find' (Shepherd, 2005). Campbell then decided to use that term for the property. The name has been variously spelt as Belconnel, Belconon or Belcomon. The property adjoined the districts known as Ginninderra and Weetangera. The general area was not known as Belconnen until the name was applied to the naval transmitting station when it was built nearby in 1938/9.

Campbell had a two-roomed stone house built at 'Belconnen' c. 1850 (Shepherd, 2005).

From 1877 Frederick Campbell, Charles' son, managed Duntroon in his father's absence overseas. On Charles' death in 1888 the estate passed to Frederick. In 1881 Frederick Campbell acquired 'Yarralumla' adding 'Belconnen' to it. In the 1880s 'Yarralumla' (including the land on the south of the Molonglo, the present 'Huntly' and 'Belconnen') was cleared and divided into 86 paddocks. The total estate was 39,000 acres (16,783 hectares).

The land was used for sheep and crops, oats, barley and wheat. Richard Vest, employed as an overseer on Yarralumla, is thought to have lived at Belconnen from 1882 to 1888. Other employees of Frederick Campbell to have lived there include D. McDonald from 1888-89 and Duncan McInnes from 1890-1904. Fencing, stables and yards were erected in 1880-90 and later the property was connected to Yarralumla by a private telephone line.

In July 1893 a deposit of galena (the natural mineral form of lead sulphide) was found on the property but has not been exploited, nor its worth ascertained.

By 1911 'Belconnen' included the stone house and a slab sided detached kitchen with an iron roof and stone chimney, attached by a small timber room to the two-roomed house. Animal enclosures, including a stockyard, poultry run and pig sty and a stable were close to the house. There were large sheep-yards to the south and a house and woolshed to the north.

The woolshed was in the part of the property remaining in New South Wales after resumption and was later moved around 1928-1930 (Shepherd, 2005).

'Yarralumla' including 'Belconnen' was resumed by the Commonwealth in 1913. It was subdivided and was advertised for lease 'under instructions from Colonel David Miller, Administrator'. Miller was the first administrator of the new Federal Capital Territory. He himself acquired 'Belconnen'. Three rooms for shearers and a galvanized iron laundry were built near the stone house. This is thought to have been occupied by Miller's son Selwyn and a worker, with Colonel Miller occupying a tent to the south west of the stone house. Selwyn worked the property and in January 1916 it was reported that he had produced 700 bags of wheat from a 70 acre crop and 300 tons of oaten and wheaten hay from a paddock of 100 acres. Colonel Miller left the district in 1921 but continued to lease the property till 1922 when Selwyn and his family left the district.

From 1st September 1924 Blocks 14 of 1230 acres, (470 hectares) and, later Block 16 of 620 acres (251 hectares) were rented and later leased by Austen Shepherd under soldier settler arrangements.

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Figure 1: Plan Showing Federal Capital Land available for lease, 1919.
Shepherd's leases are highlighted in green.
National Library of Australia MAP G8984.C3G46 1920

Soldier Settlement contextual history

In 1915 the Federal Government implemented the Soldier Settlement Scheme to encourage voluntary recruitment, to provide employment for returned servicemen and to increase post-war primary production. The scheme can be summarised as:

- the Commonwealth Government would supply loan funds to the States and Territories for a maximum £500 per soldier settler (later increased to £625);
- the States and Territories would make land available for sale to returned soldiers and would administer the scheme;
- There would be an initial period of low interest charges to settlers;
- The settlers would be paid sustenance during the establishment period; and
- The State would organise training facilities for settlers with no farming experience (Navin Officer, 2001: 6).

In 1919 land was made available in the FCT for settlement of returned Australian soldiers as a repatriation scheme. As happened elsewhere throughout Australia, large landholdings were resumed by the government and subdivided for closer settlement including for soldier settlement. In the FCT, this land included areas at Yarralumla (including 'Belconnen'), Duntroon, Lanyon, Tuggeranong and Charnwood (Pfanner, 1999: 11).

Returned soldiers signed a very detailed lease agreement when they accepted a block, including issues about rental, filling in rabbit burrows and subletting (Pfanner, 1999: 13).

Life on most of the soldier settlement leases appears to have been difficult. Most of the settlers had little capital and many had no previous farming experience (Navin Officer, 2001: 6).

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Soon after taking up their leases, it was usual for the soldier settlers to undertake fencing works, sink dams and place stock on their land (Pfanner, 1999: 14). In the FCT, soldier settlers were given an advance of £500 to £625 for these purposes. The settlers were also responsible for rabbit eradication and control of noxious weeds. In addition, Government officials undertook regular inspections (Navin Officer, 2001: 6).

Bad seasons in the late 1920s and the Depression soon meant that many soldier settlers struggled to pay back their advance.

Lessees gave up their blocks, many compulsorily, as the land was needed for other purposes (Pfanner, 1999: 22).

In general terms, the Soldier Settler Schemes across Australia were considered to have failed. This is due to a number of factors, including 'small non-viable blocks on poor land which were unsuitable for farming, over-capitalisation due to the high price of stock and equipment, lack of previous farming experience, a fall in farm commodity prices in the critical years between 1920 and 1924 when soldier settlers were trying to establish their properties, and continued decline in the rural sector from 1924 and throughout the Depression' (Navin Officer, 2001: 6).

In the ACT, a greater flexibility in the leasehold system enabled struggling lessees to transfer or consolidate their leases, thereby saving the scheme in the ACT from total failure. Most of these leases were eventually resumed for the development of Canberra (Navin Officer, 2001: 7).

'Belconnen'

(Shepherd, 2005 is the source of much of the following information).

Austen Shepherd was born in 1887 and grew up on the family properties, Wheeo, Crookwell NSW and Teneriffe, Goulburn NSW. He trained as an agronomist at Hawkesbury Agricultural College, NSW. He worked for a period at Leeton. In 1915 Shepherd enlisted in a battery from Albury and served in Egypt and France achieving the rank of staff sergeant and was awarded the Meritorious Service Medal in 1919. He returned to Leeton in 1920 as a field officer for the NSW Department of Agriculture. While there he grew the first successful crop of rice using seed imported from the USA.

The land he applied for in the ACT was not specifically reserved for soldier settlers but they were given preference if they applied for it. Austen Shepherd did not receive the associated soldier settler grant until 1927. Later Shepherd also acquired the lease of nearby Block 16 from the Shooberts. Shepherd ran strong wool crossbreds and cattle and cropped wheat and oats. He was also one of the first to use pasture improvement techniques to increase production.

Shepherd succeeded where some other soldier settlers failed most probably because of his expertise and experience and the back up of other family properties.

Shepherd's daughter Jean Nugent Shepherd was born in Leeton. She was three when they moved to 'Belconnen'. His son Austen Robert Nugent Shepherd (Bob) was born three weeks before they moved there in 1925.

In 1936 a new woolshed and yards were built of materials sourced from Duntroon. Shearers' quarters were moved from near the stone house and re-erected beside the cook's house in 1938. By the 1930s the stone house had been extended with a weatherboard schoolroom to the north east and a large fibro-cement extension to the west comprising a sitting dining room, a verandah later enclosed and an office.

Initially the two Shepherd children were taught from correspondence courses by their mother. Later they went as boarders to Canberra Grammar and Canberra Girls' Grammar respectively. Bob later transferred to St Patrick's School in Goulburn. When Bob left school he worked on the property. Jean

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worked in the Customs Department. Both enlisted in the 2nd World War, Bob into the Navy and Jean into the coastal defences.

Initially Jean worked in Tamworth after the war where she married John McLennan. Austen Shepherd leased the property Spring Valley at Stromlo for Jean in 1947. Bob assisted on 'Belconnen', worked on another Shepherd property near Goulburn and at Adelong and assisted Jean on 'Spring Valley' after her husband died. Bob married Roma Gilmour, a distant connection of the poet Dame Mary Gilmour.

After the war, plans for a new homestead were designed by the architect Kenneth H. Oliphant. The building application was first submitted on 11 July 1947 and was approved one month later but the building permit was not issued until 26 May 1950. The builder was G.W. Furlonger (Peter Freeman Pty Ltd 1996). The concrete blocks were made by the men on the property and Bob assisted with moving the large amount of sand needed to make them.

In 1962 Bob, now a Canberra businessman, took over the lease of 'Belconnen' from his father who retired to live in Campbell, ACT. He ran merinos and cattle and grew wheat, rye and improved pasture. Bob established Shepherd Ford in the district of Belconnen in 1976. The property was rented to Peter Canham of the adjoining Strathnairn property and three houses were sublet as residences. The land was gradually encroached on for the Belconnen tip which has covered the cereal cropping area and the property has been reduced to 470 hectares.

In 2003 the lease was acquired by Corkhill Bros who continue to raise beef, though renting out the cottages.

Extraordinarily the fires of 1939, 1952 and 2003 missed this property.

DESCRIPTION

Historical boundaries of the property no longer remain intact (See Figure 1, above). The current Block boundary is a result of more recent developments in the area.

Exotic trees provide wind breaks around the stone cottage, and ornamental trees were planted for decorative effect beside the 1950s house and the track through the group of structures. From parts of the homestead precinct there are spectacular views of the hills on the other side of the Murrumbidgee, the Baldy Range, the Wombat Ridge and the Brindabellas.

Three groups of structures are linked by the original track into the property. The homestead group contains a stone house c. 1850, the 1950s house and a galvanized iron garage. It has a single Pine (*Pinus radiata*) beside the stone house, a windbreak of Radiata pine (*Pinus radiata*) and a grove of *Prunus spp.*

The stone house has 50 centimeter rubble stone walls, marked by twentieth century additions and changes. It is surrounded by a timber verandah, part of which has been enclosed to make two weatherboard rooms. Further additions by the Shepherds in the 1920s-30s were removed after the 1950s house was built. The building retains its original plasterwork, Baltic pine ceilings, 4x4 pane timber sash windows with brick soldier arches and sills, pine linings to the internal reveals of openings and brick fireplaces and chimney. A new door was opened in the western corner in the 1930s.

The verandah roof and support posts are in need of repair. The two original stone rooms are in fair condition. The rooms are more spacious than those in Blundell's cottage and Mugga Mugga Cottage, but it is a smaller house than the other Campbell house, The Oaks and the more extensive 'Duntroon'. It is more comparable in size and design to the original small (three room) stone house built by Mowatt at 'Yarralumla' (Coulthard-Clark, C.D., 1988).

Belconnen Farm Registration August 2011

The 1950s house, of patterned concrete brick with tiled roof, and a timber verandah is a plain structure reflecting none of Oliphant's more typical designs. Shepherd believes his father asked Oliphant for the very plain external design. It is a three bedroom house with separate lounge room and dining room leading off a central passageway. The kitchen opens onto a back lobby and the laundry in turn opens off that. The house has its back to the main (southerly) view over the Murrumbidgee but the front verandah, lounge and two bedrooms are oriented to the north for winter sun. The roof, of tiles from India, has never been satisfactory (Shepherd, 2005). The building is in fair condition, except for the front verandah which is in poor condition.

A woolshed, shearers' quarters, an ablutions/laundry building and machinery shed form a functional group and are located to the north-north-east of the homestead group. The materials for each of these are described in Attachment A. They were constructed by the Shepherd family in the 1930s. The cook's house is the most southerly of the set of buildings. The three room shearers' quarters to the north of the cook's house were possibly built by Miller and originally lay to the east of the stone house. They were moved by Bob Shepherd and re-erected by carpenters in their current site. A wind break of Cypress (*Cupressus spp.*) and Pines (*Pinus spp.*) shelter the group. The plantings date from the 1960s. A worker's house built in the 1950s lies on the other side of the road into the property. It and two of the structures in the shearers' quarters contain asbestos. These buildings are in fair to poor condition.

Also on the property is a fibro and galvanized iron station hands' cottage. Construction details for the ancillary structures are at Appendix A.

Elms (*Ulmus spp.*) obscure the tip face from the site to the north. Kentish cherries (*Prunus spp.*) possibly planted by Campbell, Austen Shepherd's orchard and vegetable garden and most garden plants have disappeared. (Shepherd, 2005)

Although all these structures are in discrete groups they are visually linked within a tilted saucer shaped slope of land that faces south and south west to the Brindabellas and other ranges.

The property had a well that has disappeared under a retention pond associated with the Belconnen tip. It lay about 200 metres from the stone house to the north. Water from a spring on Spring Creek opposite the stone house was pumped to a tank beside the house.

Despite the Belconnen tip to the north which is partly screened from the buildings by trees and power lines crossing the property on the far side of Spring Creek the landscape setting of Belconnen Farm to the north, west and south retains the nineteenth century landscape patterns established by Frederick Campbell. Changes made since 1913 other than those referred to above have reinforced these patterns and have not compromised the dramatic views from the property buildings.

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 Belconnen Farm Registration August 2011

Shepherd, A.R.N.

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-

Belconnen Farm Registration August 2011

SITE PLANS AND MAPS



The Belconnen Farm boundary, for the purposes of this citation, includes a contained area around the main homestead and outbuildings group. It is defined by the cultural boundaries of mature trees to the west and south east, a creek line to the southern boundary, by the land title to the east, and a straight line drawn from across the northern boundary at right angles, as illustrated by the solid red line.

Belconnen Farm Registration August 2011



Aerial image showing creek lines and land title boundary.
 The solid green and yellow lines represent easements on the land.

Belconnen Farm Registration August 2011

IMAGES



1850s stone cottage



rural views over the Murrumbidgee River



1930s woolshed exterior



1930s woolshed interior



1920s/1930s shearer's quarters including sleeping quarters, kitchen, and shower room.

Belconnen Farm Registration August 2011



1950s house



1950s station-hand's cottage



1970s machinery shed

Images taken 9 November 2010.

Belconnen Farm Registration August 2011

NON-STATUTORY BACKGROUND INFORMATION

ATTACHMENT A

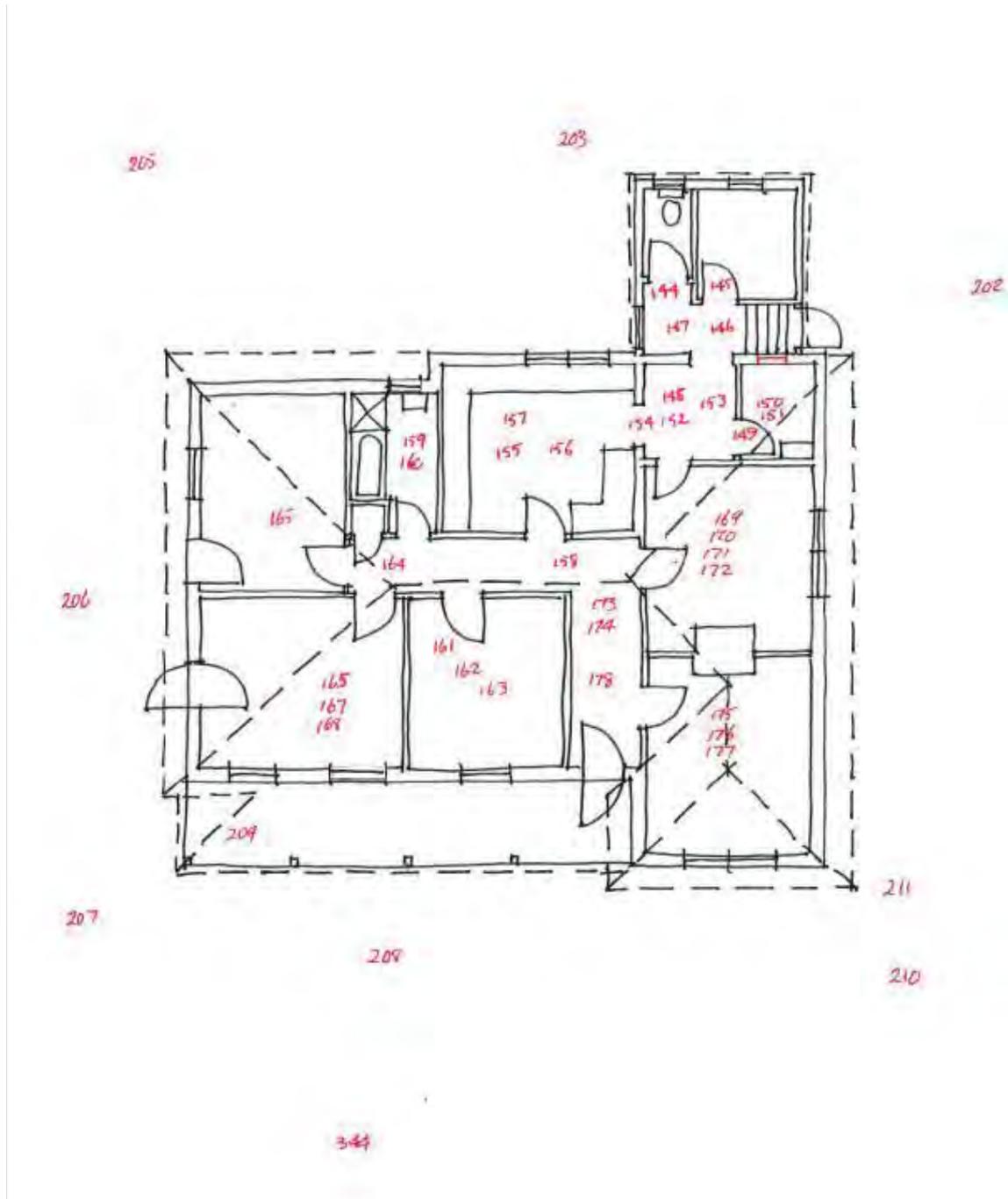
Site Inventory and Key to Plan of Site.

1	Residence	c. 1850	Stone, galvanised iron, timber
x	Stables, yards	1894	Slab, galvanised iron, morticed post and rail: rebuilt 1960s. The 1898 shed was x built by James Kilby and Evan Cameron. The year is cut into one of the corner posts. The two men were paid forty pounds for supplying the material and their labour.
x	Sheep yards	c. 1900	Timber, post and rail
x	Sheep yards	1936	Sawn timber from Black Mountain. Built by Bob Shepherd. Bricks from General Legge's place.
5	Woolshed	1936	Sawn timber and galvanised iron from the old Duntroon mess
6	Shearers' quarters		Jarra timber, galvanised iron and fibro cement sheet
	(a) sleeping	c.1920 (moved 1947).	Originally built by Miller.
	(b) kitchen	c.1938	
	(c) shower	c.1938	
x	(d) cook's house.	C 1938	Bay window built c.1980/90
x	Office	c.1930	Galvanised iron and fibro cement ???
x	Meat house	c.1938	Galvanised iron & timber
x	Bore	c.1940	Steel windmill and casing
x	Chicken yard	c.1940	Wire netting, galvanised iron
11	Spray dip	c.1947	Galvanised iron, steel
12	Homestead	1950	Concrete block (coloured) and terracotta tile
13	Garage	1950s	Galvanised iron and timber
14	Station hand's cottage	1959	Fibro cement and galvanised iron
15	Plunge dip	1960s	Concrete
16	Machinery shed	1970s	Galvanised iron and timber
17	Water tanks	1972	Concrete and galvanised iron
Trees	Botanical name		Common name
18	<i>Pinus radiata</i>		Pine, Radiata pine, Monterey pine
19	<i>Salix babylonica</i>		Weeping willow
20	<i>Ulmus spp.</i>		Elms
21	<i>Prunus spp.</i>		Plum
22	<i>Cupressus spp.</i>		Cypress
23	<i>Tieghemopanax sambucifolius</i>		Elderberry
24	<i>Pinus spp.</i>		Pine

An x indicates that this feature no longer exists.

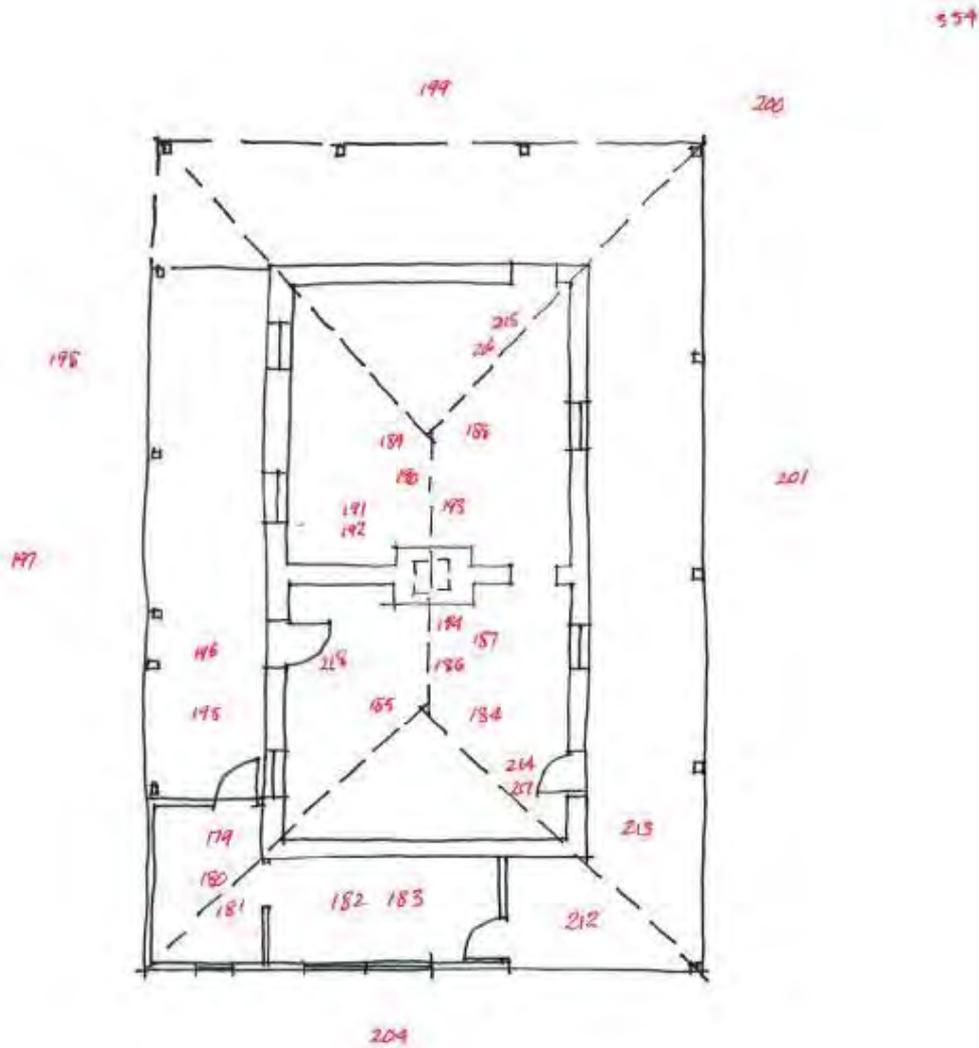
Appendix C: Photographs

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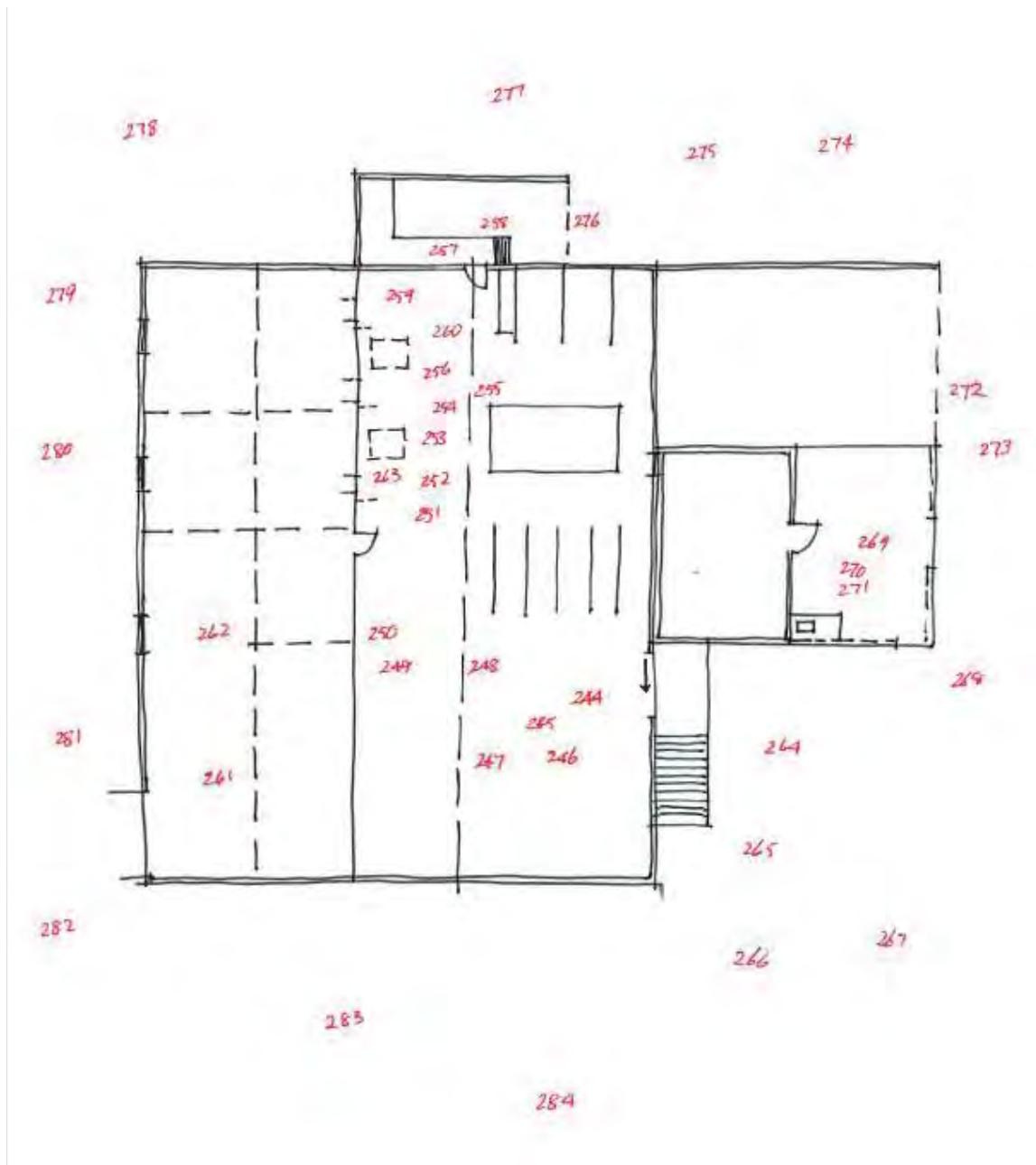
OLIPHANT HOUSE

Note: The numbers in above and following diagrams relate to photograph numbers on following pages.

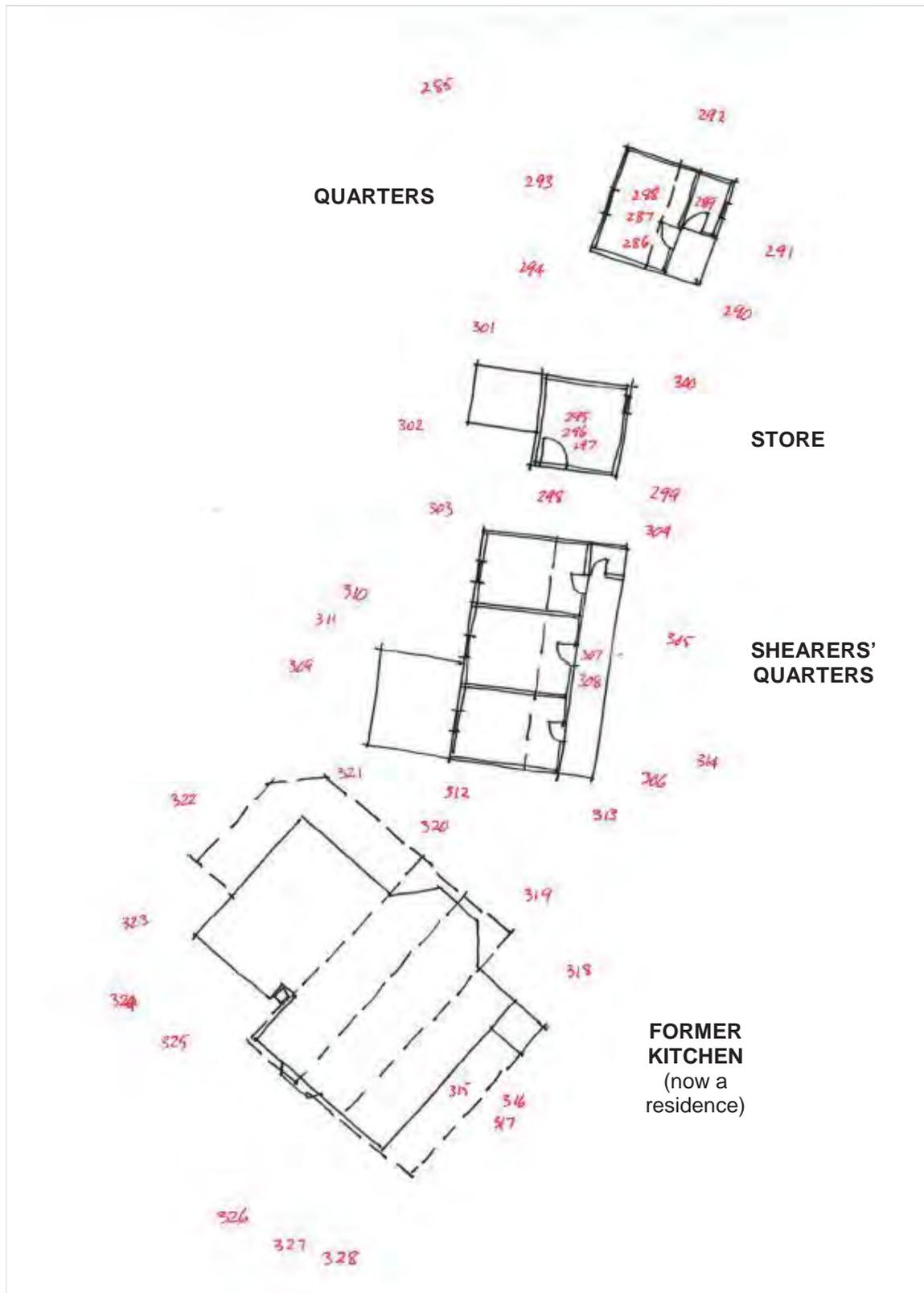


STONE COTTAGE

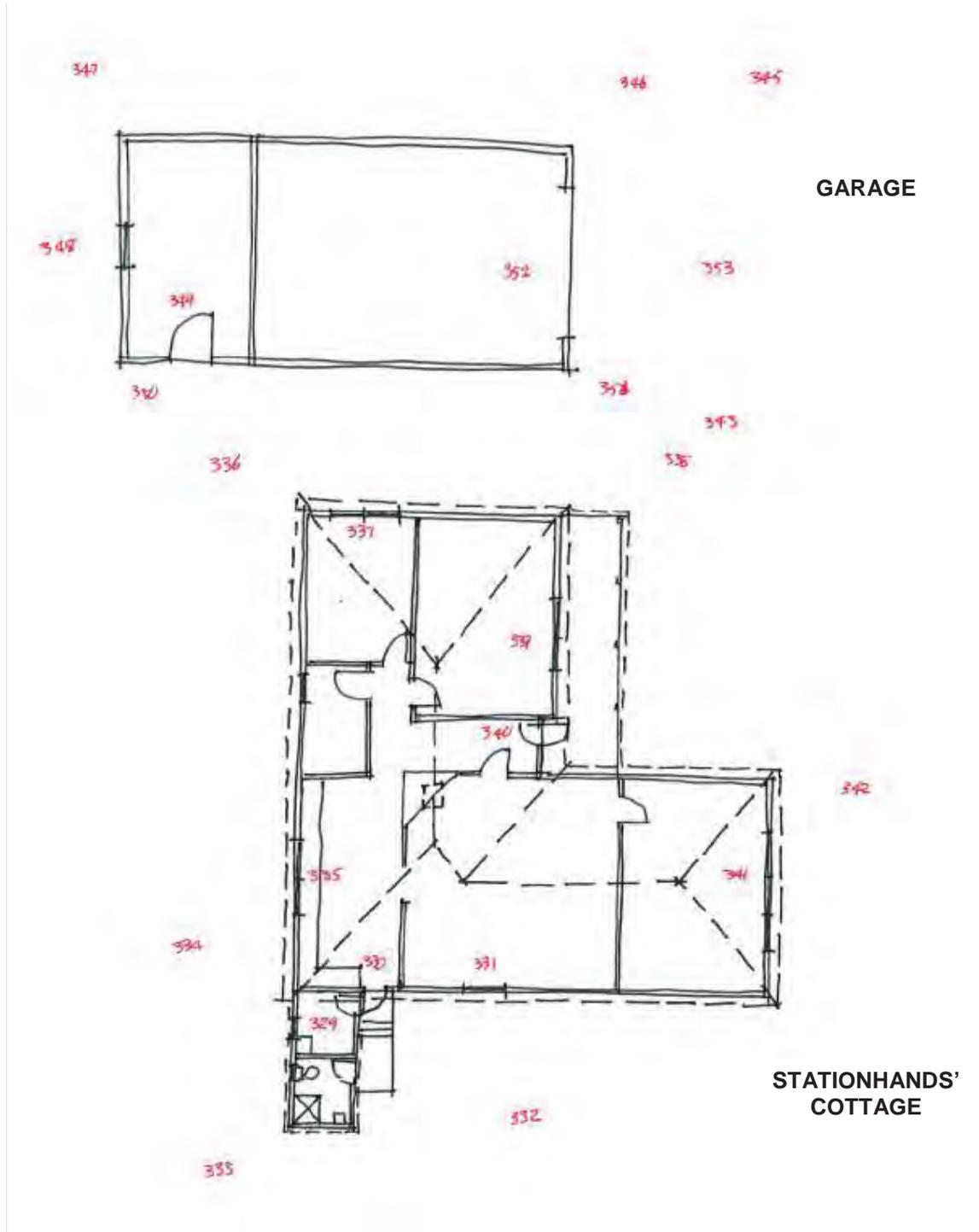
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WOOLSHED



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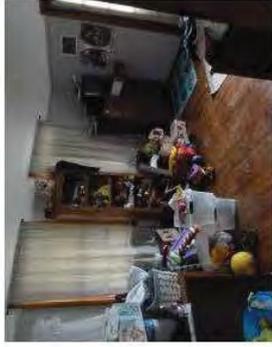
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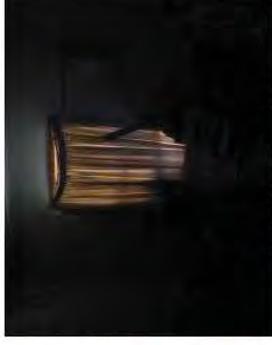
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Sturt Cottage

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Oliphant Cottage

20111215 Photos
Sturt Cottage



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Machinery Shed

Oliphant Cottage



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Shearing Shed

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Shearers' Quarters



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Former Kitchen



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CottageP1070329 (2).JPG



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20111215 Photos
Oliphant Cottage



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Tank



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Garage



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Sturt Cottage

Appendix D: Belconnen Farm, Draft Heritage Precinct Code

A decorative graphic in the top left corner, consisting of a dark olive green shape that tapers from a square at the top to a point at the bottom.

DRAFT

Belconnen Farm Draft Heritage Precinct Code

prepared for:

Riverview

January 2013

1. Background

This draft precinct code has been prepared to provide for the management of future use and development of land related to the Belconnen Farm Site; the farm site is the subject of a Heritage Citation entered on the ACT heritage register on 25 August 2011. Subsequent to the listing a conservation management plan has been commissioned by the lessee and prepared by Eric Martin and Associates in August 2012. The conservation management plan has further refined the details of the citation (this has led to a recommendation for the citation to be amended) and provided a detailed plan for the future management of the site.

The management plan has identified the need for some actions to be taken outside the limits of the Belconnen farm site area as it is identified for the citation; land that is outside the identified heritage site area is outside the purview of the Heritage Act and consequently the implementation of the management plan recommendations outside the heritage site area is to be achieved by way of controls under the territory plan and specifically by way of this precinct plan.

It is proposed that this draft precinct code become a code under the territory plan.

2. Draft Precinct Code

2.1. Introduction

The precinct code covers different components of the Belconnen farm heritage site and environs as identified in the citation, and additional areas referred to in the conservation management plan. These are delineated on Figure 1 and provided for separately in this code. They are as follows:

- Heritage site – Belconnen Farm Site as identified in the heritage citation
- Outlook corridor – Area identified in the conservation management plan as being integral to the preservation of the vista from the stone cottage to the Brindabella range, as mentioned in the heritage citation.
- Cottage precinct - An area to the south west of the heritage site that is close to and on or below the same AHD contour level as the stone cottage has been identified as the “cottage precinct”. Because of its proximity to the cottage, activities in this area likely to impact on the immediate precincts of the stone cottage.
- Adjoining site - The area to the north of the site is visually separated from much of the heritage site but is the closer part of the original farm land. This heritage should be recognised in future development of this area
- Screen trees - On the southern side of the outlook corridor in the immediate vicinity of the heritage precinct.

DRAFT**2.2. Heritage site:**

The heritage site to be managed in accord with the Conservation Management Plan:

(Insert reference to plan title and date of endorsement by heritage unit when available)

2.3. Outlook corridor:

As shown on Figure 1.

Landuse to be managed to ensure the retention of the outlook from the stone cottage to the Brindabella range. Landuse to be rural or rural in character. Roads and minor infrastructure are permissible.

2.4. Cottage precinct:

As shown on Figure 1.

Uses will be limited to rural and community uses to preserve the character of the precinct as being the same as that within the heritage site.

Pedestrian and cycle access into the heritage precinct shall be maximised.

Future development of block 1605 may include road access through the cottage precinct and provide for the re-instatement of the original access to the stone cottage from the south east.

2.5. Adjoining site:

As shown on figure 1.

Pedestrian and cycle access into the heritage precinct shall be maximised.

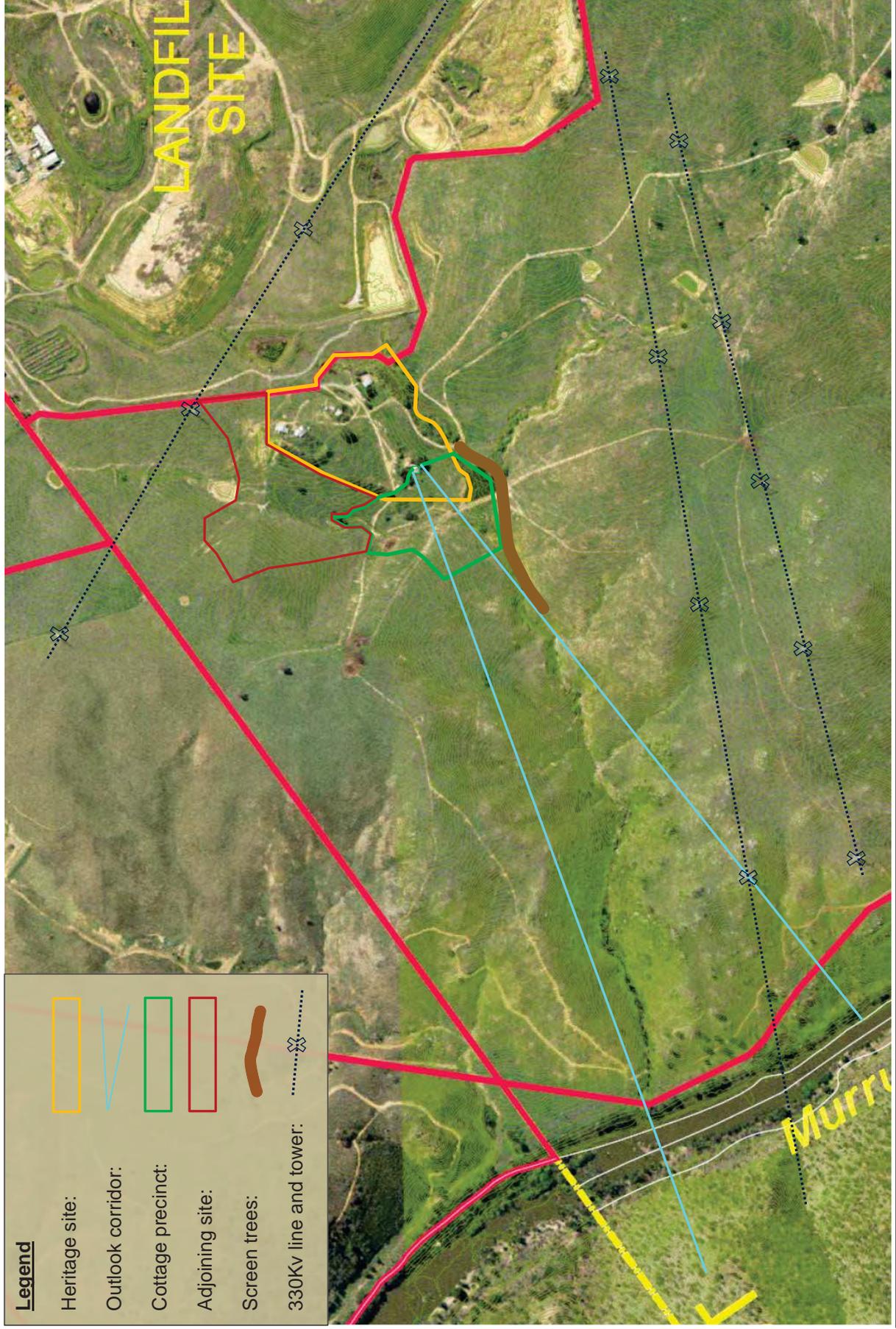
Built form design shall incorporate architectural elements to achieve a design theme that is reflective of the heritage values of the architecture of the heritage precinct.

2.6. Screen trees:

As shown on figure 1.

Any development of Block 1605 in the vicinity of the heritage site for urban purposes shall include screen trees to be planted to extend the *Ulmus* plantation and frame the left hand view from the stone cottage.

Belconnen Farm Heritage Site Precinct Code



DRAFT

**Appendix E: Australia ICOMOS Charter for Places of Cultural Significance
(The Burra Charter)**

The Burra Charter

(The Australia ICOMOS Charter for Places of Cultural Significance)

Preamble

Considering the International Charter for the Conservation and Restoration of Monuments and Sites (Venice 1964), and the Resolutions of the 5th General Assembly of the International Council on Monuments and Sites (ICOMOS) (Moscow 1978), the Burra Charter was adopted by Australia ICOMOS (the Australian National Committee of ICOMOS) on 19 August 1979 at Burra, South Australia. Revisions were adopted on 23 February 1981, 23 April 1988 and 26 November 1999.

The Burra Charter provides guidance for the conservation and management of places of cultural significance (cultural heritage places), and is based on the knowledge and experience of Australia ICOMOS members.

Conservation is an integral part of the management of places of cultural significance and is an ongoing responsibility.

Who is the Charter for?

The Charter sets a standard of practice for those who provide advice, make decisions about, or undertake works to places of cultural significance, including owners, managers and custodians.

Using the Charter

The Charter should be read as a whole. Many articles are interdependent. Articles in the Conservation Principles section are often further developed in the Conservation Processes and Conservation Practice sections. Headings have been included for ease of reading but do not form part of the Charter.

The Charter is self-contained, but aspects of its use and application are further explained in the following Australia ICOMOS documents:

- Guidelines to the Burra Charter: Cultural Significance;

- Guidelines to the Burra Charter: Conservation Policy;
- Guidelines to the Burra Charter: Procedures for Undertaking Studies and Reports;
- Code on the Ethics of Coexistence in Conserving Significant Places.

What places does the Charter apply to?

The Charter can be applied to all types of places of cultural significance including natural, indigenous and historic places with cultural values.

The standards of other organisations may also be relevant. These include the Australian Natural Heritage Charter and the Draft Guidelines for the Protection, Management and Use of Aboriginal and Torres Strait Islander Cultural Heritage Places.

Why conserve?

Places of cultural significance enrich people's lives, often providing a deep and inspirational sense of connection to community and landscape, to the past and to lived experiences. They are historical records, that are important as tangible expressions of Australian identity and experience. Places of cultural significance reflect the diversity of our communities, telling us about who we are and the past that has formed us and the Australian landscape. They are irreplaceable and precious.

These places of cultural significance must be conserved for present and future generations.

The Burra Charter advocates a cautious approach to change: do as much as necessary to care for the place and to make it useable, but otherwise change it as little as possible so that its cultural significance is retained.

Articles**Article 1. Definitions**

For the purposes of this Charter:

- 1.1 *Place* means site, area, land, landscape, building or other work, group of buildings or other works, and may include components, contents, spaces and views.
- 1.2 *Cultural significance* means aesthetic, historic, scientific, social or spiritual value for past, present or future generations.
Cultural significance is embodied in the *place* itself, its *fabric*, *setting*, *use*, *associations*, *meanings*, records, *related places* and *related objects*.
Places may have a range of values for different individuals or groups.
- 1.3 *Fabric* means all the physical material of the *place* including components, fixtures, contents, and objects.
- 1.4 *Conservation* means all the processes of looking after a *place* so as to retain its *cultural significance*.
- 1.5 *Maintenance* means the continuous protective care of the *fabric* and *setting* of a *place*, and is to be distinguished from repair. Repair involves restoration or reconstruction.
- 1.6 *Preservation* means maintaining the *fabric* of a *place* in its existing state and retarding deterioration.
- 1.7 *Restoration* means returning the existing *fabric* of a *place* to a known earlier state by removing accretions or by reassembling existing components without the introduction of new material.
- 1.8 *Reconstruction* means returning a *place* to a known earlier state and is distinguished from *restoration* by the introduction of new material into the *fabric*.
- 1.9 *Adaptation* means modifying a *place* to suit the existing use or a proposed use.
- 1.10 *Use* means the functions of a place, as well as the activities and practices that may occur at the place.
- 1.11 *Compatible use* means a use which respects the *cultural significance* of a *place*. Such a use involves no, or minimal, impact on cultural significance.
- 1.12 *Setting* means the area around a *place*, which may include the visual catchment.
- 1.13 *Related place* means a place that contributes to the *cultural significance* of another place.

Explanatory Notes

The concept of place should be broadly interpreted. The elements described in Article 1.1 may include memorials, trees, gardens, parks, places of historical events, urban areas, towns, industrial places, archaeological sites and spiritual and religious places.

The term cultural significance is synonymous with heritage significance and cultural heritage value.

Cultural significance may change as a result of the continuing history of the place.

Understanding of cultural significance may change as a result of new information.

Fabric includes building interiors and sub-surface remains, as well as excavated material.

Fabric may define spaces and these may be important elements of the significance of the place.

The distinctions referred to, for example in relation to roof gutters, are:

- maintenance — regular inspection and cleaning of gutters;
- repair involving restoration — returning of dislodged gutters;
- repair involving reconstruction — replacing decayed gutters.

It is recognised that all places and their components change over time at varying rates.

New material may include recycled material salvaged from other places. This should not be to the detriment of any place of cultural significance.

Articles

1.14 *Related object* means an object that contributes to the *cultural significance* of a *place* but is not at the place.

1.15 *Associations* mean the special connections that exist between people and a *place*.

1.16 *Meanings* denote what a *place* signifies, indicates, evokes or expresses.

1.17 *Interpretation* means all the ways of presenting the *cultural significance* of a *place*.

Conservation Principles**Article 2. Conservation and management**

2.1 *Places of cultural significance* should be conserved.

2.2 The aim of *conservation* is to retain the *cultural significance* of a *place*.

2.3 *Conservation* is an integral part of good management of *places of cultural significance*.

2.4 *Places of cultural significance* should be safeguarded and not put at risk or left in a vulnerable state.

Article 3. Cautious approach

3.1 *Conservation* is based on a respect for the existing *fabric, use, associations* and *meanings*. It requires a cautious approach of changing as much as necessary but as little as possible.

3.2 Changes to a *place* should not distort the physical or other evidence it provides, nor be based on conjecture.

Article 4. Knowledge, skills and techniques

4.1 *Conservation* should make use of all the knowledge, skills and disciplines which can contribute to the study and care of the *place*.

4.2 Traditional techniques and materials are preferred for the *conservation* of significant *fabric*. In some circumstances modern techniques and materials which offer substantial conservation benefits may be appropriate.

Explanatory Notes

Associations may include social or spiritual values and cultural responsibilities for a place.

Meanings generally relate to intangible aspects such as symbolic qualities and memories.

Interpretation may be a combination of the treatment of the fabric (e.g. maintenance, restoration, reconstruction); the use of and activities at the place; and the use of introduced explanatory material.

The traces of additions, alterations and earlier treatments to the fabric of a place are evidence of its history and uses which may be part of its significance. Conservation action should assist and not impede their understanding.

The use of modern materials and techniques must be supported by firm scientific evidence or by a body of experience.

Articles**Article 5. Values**

5.1 *Conservation of a place* should identify and take into consideration all aspects of cultural and natural significance without unwarranted emphasis on any one value at the expense of others.

5.2 Relative degrees of *cultural significance* may lead to different *conservation* actions at a place.

Article 6. Burra Charter process

6.1 The *cultural significance* of a *place* and other issues affecting its future are best understood by a sequence of collecting and analysing information before making decisions. Understanding cultural significance comes first, then development of policy and finally management of the place in accordance with the policy.

6.2 The policy for managing a place must be *based* on an understanding of its *cultural significance*.

6.3 Policy development should also include consideration of other factors affecting the future of a *place* such as the owner's needs, resources, external constraints and its physical condition.

Article 7. Use

7.1 Where the *use* of a place is of *cultural significance* it should be retained.

7.2 A *place* should have a *compatible* use.

Article 8. Setting

Conservation requires the retention of an appropriate visual *setting* and other relationships that contribute to the *cultural significance* of the *place*.

New construction, demolition, intrusions or other changes which would adversely affect the setting or relationships are not appropriate.

Explanatory Notes

Conservation of places with natural significance is explained in the Australian Natural Heritage Charter. This Charter defines natural significance to mean the importance of ecosystems, biological diversity and geodiversity for their existence value, or for present or future generations in terms of their scientific, social, aesthetic and life-support value.

A cautious approach is needed, as understanding of cultural significance may change. This article should not be used to justify actions which do not retain cultural significance.

The Burra Charter process, or sequence of investigations, decisions and actions, is illustrated in the accompanying flowchart.

The policy should identify a use or combination of uses or constraints on uses that retain the cultural significance of the place. New use of a place should involve minimal change, to significant fabric and use; should respect associations and meanings; and where appropriate should provide for continuation of practices which contribute to the cultural significance of the place.

Aspects of the visual setting may include use, siting, bulk, form, scale, character, colour, texture and materials.

Other relationships, such as historical connections, may contribute to interpretation, appreciation, enjoyment or experience of the place.

Articles	Explanatory Notes
<p>Article 9. Location</p> <p>9.1 The physical location of a <i>place</i> is part of its <i>cultural significance</i>. A building, work or other component of a place should remain in its historical location. Relocation is generally unacceptable unless this is the sole practical means of ensuring its survival.</p> <p>9.2 Some buildings, works or other components of <i>places</i> were designed to be readily removable or already have a history of relocation. Provided such buildings, works or other components do not have significant links with their present location, removal may be appropriate.</p> <p>9.3 If any building, work or other component is moved, it should be moved to an appropriate location and given an appropriate use. Such action should not be to the detriment of any <i>place</i> of <i>cultural significance</i>.</p> <p>Article 10. Contents</p> <p>Contents, fixtures and objects which contribute to the <i>cultural significance</i> of a <i>place</i> should be retained at that place. Their removal is unacceptable unless it is: the sole means of ensuring their security and <i>preservation</i>; on a temporary basis for treatment or exhibition; for cultural reasons; for health and safety; or to protect the place. Such contents, fixtures and objects should be returned where circumstances permit and it is culturally appropriate.</p> <p>Article 11. Related places and objects</p> <p>The contribution which <i>related places</i> and <i>related objects</i> make to the <i>cultural significance</i> of the <i>place</i> should be retained.</p> <p>Article 12. Participation</p> <p><i>Conservation, interpretation</i> and management of a <i>place</i> should provide for the participation of people for whom the place has special <i>associations</i> and <i>meanings</i>, or who have social, spiritual or other cultural responsibilities for the place.</p> <p>Article 13. Co-existence of cultural values</p> <p>Co-existence of cultural values should be recognised, respected and encouraged, especially in cases where they conflict.</p>	<p>For some places, conflicting cultural values may affect policy development and management decisions. In this article, the term cultural values refers to those beliefs which are important to a cultural group, including but not limited to political, religious, spiritual and moral beliefs. This is broader than values associated with cultural significance.</p>
The Burra Charter, 1999	Australia ICOMOS Inc 5

Articles**Explanatory Notes****Conservation Processes****Article 14. Conservation processes**

Conservation may, according to circumstance, include the processes of: retention or reintroduction of a *use*; retention of *associations* and *meanings*; *maintenance*, *preservation*, *restoration*, *reconstruction*, *adaptation* and *interpretation*; and will commonly include a combination of more than one of these.

There may be circumstances where no action is required to achieve conservation.

Article 15. Change

- 15.1 Change may be necessary to retain *cultural significance*, but is undesirable where it reduces cultural significance. The amount of change to a *place* should be guided by the *cultural significance* of the place and its appropriate *interpretation*.
- 15.2 Changes which reduce *cultural significance* should be reversible, and be reversed when circumstances permit.
- 15.3 Demolition of significant *fabric* of a *place* is generally not acceptable. However, in some cases minor demolition may be appropriate as part of *conservation*. Removed significant fabric should be reinstated when circumstances permit.
- 15.4 The contributions of all aspects of *cultural significance* of a *place* should be respected. If a place includes *fabric*, *uses*, *associations* or *meanings* of different periods, or different aspects of cultural significance, emphasising or interpreting one period or aspect at the expense of another can only be justified when what is left out, removed or diminished is of slight cultural significance and that which is emphasised or interpreted is of much greater cultural significance.

When change is being considered, a range of options should be explored to seek the option which minimises the reduction of cultural significance.

Reversible changes should be considered temporary. Non-reversible change should only be used as a last resort and should not prevent future conservation action.

Article 16. Maintenance

Maintenance is fundamental to *conservation* and should be undertaken where *fabric* is of *cultural significance* and its maintenance is necessary to retain that *cultural significance*.

Articles**Article 17. Preservation**

Preservation is appropriate where the existing *fabric* or its condition constitutes evidence of *cultural significance*, or where insufficient evidence is available to allow other *conservation* processes to be carried out.

Article 18. Restoration and reconstruction

Restoration and *reconstruction* should reveal culturally significant aspects of the *place*.

Article 19. Restoration

Restoration is appropriate only if there is sufficient evidence of an earlier state of the *fabric*.

Article 20. Reconstruction

20.1 *Reconstruction* is appropriate only where a *place* is incomplete through damage or alteration, and only where there is sufficient evidence to reproduce an earlier state of the *fabric*. In rare cases, reconstruction may also be appropriate as part of a use or practice that retains the *cultural significance* of the place.

20.2 *Reconstruction* should be identifiable on close inspection or through additional *interpretation*.

Article 21. Adaptation

21.1 *Adaptation* is acceptable only where the adaptation has minimal impact on the *cultural significance* of the place.

21.2 *Adaptation* should involve minimal change to significant fabric, achieved only after considering alternatives.

Article 22. New work

22.1 New work such as additions to the *place* may be acceptable where it does not distort or obscure the *cultural significance* of the place, or detract from its *interpretation* and appreciation.

22.2 New work should be readily identifiable as such.

Explanatory Notes

Preservation protects fabric without obscuring the evidence of its construction and use. The process should always be applied:

- where the evidence of the fabric is of such significance that it should not be altered;
- where insufficient investigation has been carried out to permit policy decisions to be taken in accord with Articles 26 to 28.

New work (e.g. stabilisation) may be carried out in association with preservation when its purpose is the physical protection of the fabric and when it is consistent with Article 22.

Adaptation may involve the introduction of new services, or a new use, or changes to safeguard the place.

New work may be sympathetic if its siting, bulk, form, scale, character, colour, texture and material are similar to the existing fabric, but imitation should be avoided.

Articles**Article 23. Conserving use**

Continuing, modifying or reinstating a significant *use* may be appropriate and preferred forms of *conservation*.

Article 24. Retaining associations and meanings

- 24.1 Significant *associations* between people and a *place* should be respected, retained and not obscured. Opportunities for the *interpretation*, commemoration and celebration of these associations should be investigated and implemented.
- 24.2 Significant *meanings*, including spiritual values, of a *place* should be respected. Opportunities for the continuation or revival of these meanings should be investigated and implemented.

Article 25. Interpretation

The *cultural significance* of many places is not readily apparent, and should be explained by *interpretation*. Interpretation should enhance understanding and enjoyment, and be culturally appropriate.

Conservation Practice**Article 26. Applying the Burra Charter process**

- 26.1 Work on a *place* should be preceded by studies to understand the place which should include analysis of physical, documentary, oral and other evidence, drawing on appropriate knowledge, skills and disciplines.
- 26.2 Written statements of *cultural significance* and policy for the *place* should be prepared, justified and accompanied by supporting evidence. The statements of significance and policy should be incorporated into a management plan for the place.
- 26.3 Groups and individuals with *associations* with a place as well as those involved in its management should be provided with opportunities to contribute to and participate in understanding the *cultural significance* of the place. Where appropriate they should also have opportunities to participate in its *conservation* and management.

Article 27. Managing change

- 27.1 The impact of proposed changes on the *cultural significance* of a *place* should be analysed with reference to the statement of significance and the policy for managing the place. It may be necessary to modify proposed changes following analysis to better retain cultural significance.
- 27.2 Existing *fabric*, *use*, *associations* and *meanings* should be adequately recorded before any changes are made to the *place*.

Explanatory Notes

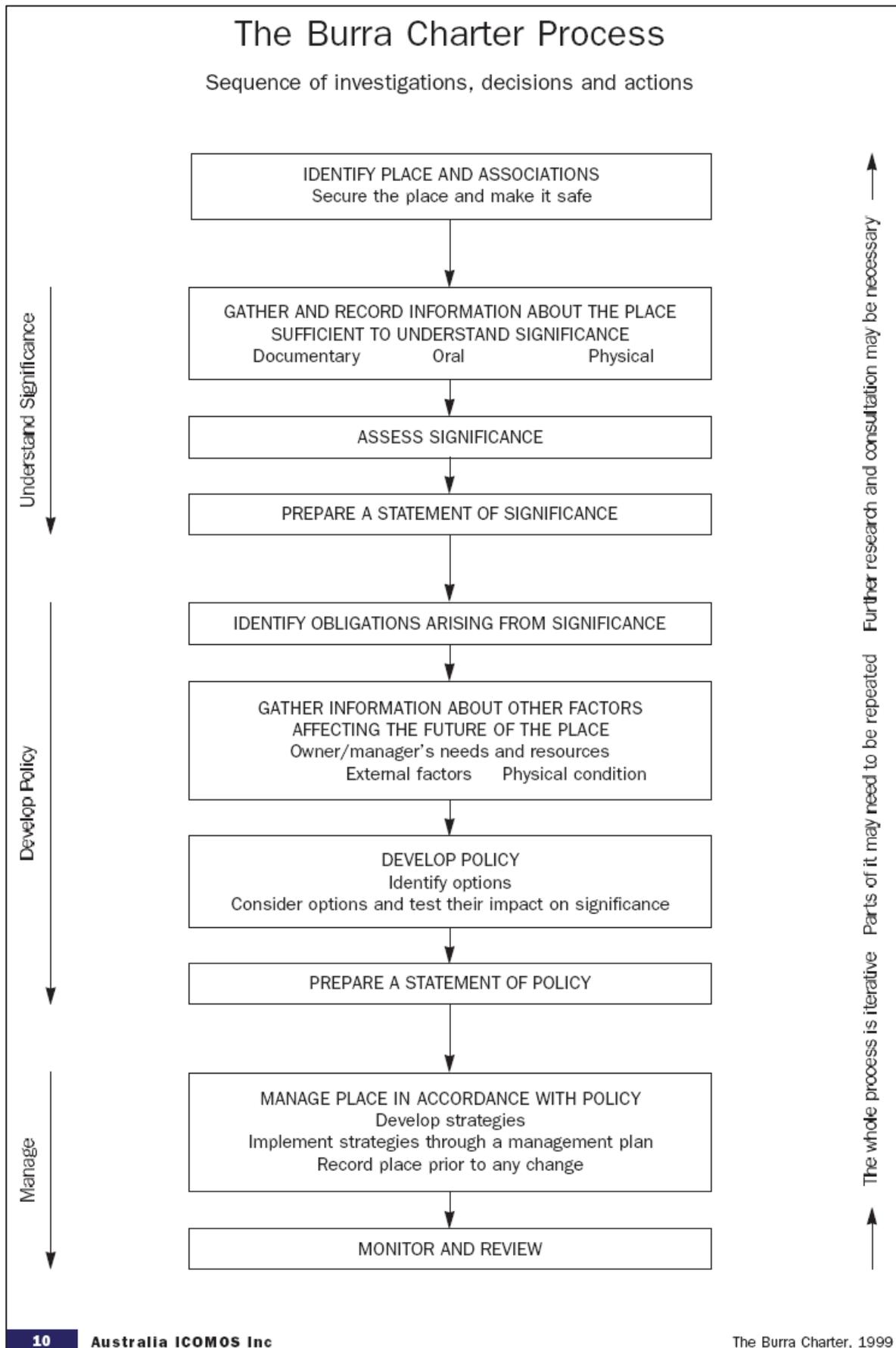
These may require changes to significant fabric but they should be minimised. In some cases, continuing a significant use or practice may involve substantial new work.

For many places associations will be linked to use.

The results of studies should be up to date, regularly reviewed and revised as necessary.

Statements of significance and policy should be kept up to date by regular review and revision as necessary. The management plan may deal with other matters related to the management of the place.

Articles	Explanatory Notes
<p>Article 28. Disturbance of fabric</p> <p>28.1 Disturbance of significant <i>fabric</i> for study, or to obtain evidence, should be minimised. Study of a <i>place</i> by any disturbance of the fabric, including archaeological excavation, should only be undertaken to provide data essential for decisions on the <i>conservation</i> of the place, or to obtain important evidence about to be lost or made inaccessible.</p> <p>28.2 Investigation of a <i>place</i> which requires disturbance of the <i>fabric</i>, apart from that necessary to make decisions, may be appropriate provided that it is consistent with the policy for the place. Such investigation should be based on important research questions which have potential to substantially add to knowledge, which cannot be answered in other ways and which minimises disturbance of significant fabric.</p> <p>Article 29. Responsibility for decisions</p> <p>The organisations and individuals responsible for management decisions should be named and specific responsibility taken for each such decision.</p> <p>Article 30. Direction, supervision and implementation</p> <p>Competent direction and supervision should be maintained at all stages, and any changes should be implemented by people with appropriate knowledge and skills.</p> <p>Article 31. Documenting evidence and decisions</p> <p>A log of new evidence and additional decisions should be kept.</p> <p>Article 32. Records</p> <p>32.1 The records associated with the <i>conservation</i> of a <i>place</i> should be placed in a permanent archive and made publicly available, subject to requirements of security and privacy, and where this is culturally appropriate.</p> <p>32.2 Records about the history of a <i>place</i> should be protected and made publicly available, subject to requirements of security and privacy, and where this is culturally appropriate.</p> <p>Article 33. Removed fabric</p> <p>Significant <i>fabric</i> which has been removed from a <i>place</i> including contents, fixtures and objects, should be catalogued, and protected in accordance with its <i>cultural significance</i>.</p> <p>Where possible and culturally appropriate, removed significant fabric including contents, fixtures and objects, should be kept at the place.</p> <p>Article 34. Resources</p> <p>Adequate resources should be provided for conservation.</p> <p><i>Words in italics are defined in Article 1.</i></p>	<p>The best conservation often involves the least work and can be inexpensive.</p>
The Burra Charter, 1999	Australia ICOMOS Inc 9



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Appendix F: Brief



The Beehive Group Pty Ltd (Trustee) T/A
Eric Martin & Associates

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PO Box 4699 KINGSTON ACT 2604

Suite 10, 68 Jardine Street KINGSTON ACT 2604 AUSTRALIA

Eric Martin ACT Architect Reg No 376

11M7

26 September 2011

The Riverview Group
26 Bougainville St,
GRIFFITH, ACT, 2603

Attn:

BELCONNEN FARM CONSERVATION AND MANAGEMENT PLAN

We are pleased to offer our services to provide a new CMP for Belconnen Farm.

1. METHODOLOGY

The CMP will follow the guidelines set down by Australia ICOMOS and ACT Heritage and include:

- Documentary evidence;
- Physical evidence;
- Assessment of Significance and Statement of Significance;
- Opportunities and constraints;
- Conservation Policy; and
- Management Policy.

This can be expanded upon or details of the guidelines provided to expand on the content within each section.

2. PROPOSED TEAM

Conservation Architects Eric Martin & Associates

A profile of Eric Martin and Associates and CV's are attached.

**Cultural Landscape
Consultant**

Archaeologist & Historian Dipetaia Research

At this stage we have not included a person to assist with determining social significance as we believe this would be low. We have allowed for EMA to prepare some details relevant to these areas but the authorities may require further details. Should this arise, we may need to seek further advice from suitable consultants.

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AS/NZS ISO 9001
Certified

Davis Langdon Certification Services

ACCESS ARCHITECTURE CONSERVATION HERITAGE

ABN: 31 790 687 011
ACN: 085 224 942

Fax: 02 6260 6413
Phone: 02 6260 6395

www.emaa.com.au
emaa@emaa.com.au

Note: The remainder of the submission was related to previous experience, fees and program and is not included here.

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Appendix G: Definition of Archaeological Sites and ACT Heritage AOT Requirements

Archeology Definitions:

Site Types

A site is defined as any material evidence of past Aboriginal activity that remains within a context or place that can be reliably related to that activity. Frequently encountered site types within southeastern Australia include open artefact scatters, coastal and freshwater middens, and rockshelter sites including occupation deposit and/or rock art, grinding groove sites and scarred trees. For the purposes of this section, only the methodologies used in the identification of these site types are outlined.

Most Aboriginal sites in the Canberra region are identified by the presence of three main categories of artefacts: stone artefacts situated on or in a sedimentary matrix, marks located on or in rock surfaces, and scars on trees. Artefacts situated within, or on, a sedimentary matrix in an open context are classed as a site when two or more occur no more than 60 metres away from any other constituent artefact. The 60 metre specification relates back to the definition of an isolated find (refer above). In a rockshelter, a site is defined as one or more artefacts occurring within or immediately adjacent to the sheltered space. Unlike a single artefact in an open context, a rockshelter provides a probable occupational focus to the interpretation of a single artefact and can therefore be considered to be indicative of a site. An exception would be a single artefact which may have been deposited in the shelter through natural processes.

Any location containing one or more marks of Aboriginal origin on rock surfaces is classed as a site. Marks typically consist of grinding features such as grinding grooves for hatchet heads, and rock art such as engravings, drawings or paintings. The boundaries of these sites are defined according to the spatial extent of the marks, or the extent of the overhang, depending on which is most applicable to the spatial and temporal integrity of the site (Navin Officer 2004).

Isolated Artifact (isolated find)

An isolated artefact is a single stone artefact, not located within a rock shelter, and which occurs without any associated evidence of Aboriginal occupation within a radius of 60 metres. Isolated finds may be indicative of:

- random loss or deliberate discard of a single artefact,
- the remnant of a now dispersed and disturbed artefact scatter,
- an otherwise obscured or sub-surface artefact scatter.

Except in the case of the latter, isolated artefacts are considered to be constituent components of the background scatter present within any particular landform. The distance used to define an isolated artefact varies according to the survey objectives, the incidence of ground surface exposure, the extent of ground surface disturbance, and estimates of background scatter or background discard densities. In the absence of baseline information relating to background scatter densities, the defining distance for an isolated artefact must be based on methodological and visibility considerations. Given the varied incidence of ground surface exposure and deposit disturbance within the study area, and the lack of background baseline data, the specification of 60 metres is considered to be an effective parameter for surface survey methodologies. This distance provides a balance between detecting fine scale patterns of Aboriginal occupation and avoiding environmental biases caused by ground disturbance or high ground surface exposure rates. The 60 metre parameter has provided an effective separation of low density artefact occurrences in similar southeast Australian topographies outside of semi-arid landscapes. (Navin Officer 2004)

Artifact scatter (Background scatter)

Artefact or background scatter is a term used generally by archaeologists to refer to artefacts which cannot be usefully related to a place or focus of past activity (except for the net accumulation of single artefact losses).

There is, however, no single concept for background discard or 'scatter', and therefore no agreed definition. The definitions in current use are based on the postulated nature of prehistoric activity, and often they are

phrased in general terms and do not include quantitative criteria. Commonly agreed is that background discard occurs in the absence of 'focused' activity involving the production or discard of stone artefacts in a particular location. An example of unfocused activity is occasional isolated discard of artefacts during travel along a route or pathway. Examples of 'focussed activity' are camping, knapping and heat -eating stone, cooking in a hearth, and processing food with stone tools.

In practical terms, over a period of thousands of years an accumulation of 'unfocused' discard may result in an archaeological concentration that may be identified as a 'site'. Definitions of background discard comprising only qualitative criteria do not specify the numbers (numerical flux) or 'density' of artefacts required to discriminate site areas from background discard (Navin Officer 2004).

Indigenous Definitions

Under the Act Indigenous heritage places are defined as:

Aboriginal place means a place of particular significance to Aboriginal people because of either or both of the following:

- (a) Aboriginal tradition;
- (b) the history, including contemporary history, of Aboriginal people.

Aboriginal object means an object of particular significance to Aboriginal people because of either or both of the following:

- (a) Aboriginal tradition;
- (b) the history, including contemporary history, of Aboriginal people.

Reporting an Aboriginal Place and/or object

The Heritage Act requires reporting of discovery of an Aboriginal place and/or object within five working days after the day of the discovery by the person who discovers the place or object, submitted in writing to the Heritage Council. This does not apply to a person who has a traditional Aboriginal affiliation with the land where the place or object was discovered. As soon as practicable after its discovery is reported, the Heritage Council consults with each Representative Aboriginal Organization (RAO) in relation to the place or object, and then decides whether it is to be Provisionally Registered. It also consults on whether it will declare the information about the location or nature of an Aboriginal place or object to be Restricted i.e. this information will not be made publicly available to avoid an adverse effect on its heritage significance. Once declared Restricted, it is an offence to knowingly publish without approval any restricted information about a place or object. There are exemptions to this offence for persons with a traditional affiliation.

Protection of Aboriginal places/objects

The Heritage Act makes it an offence to engage in conduct that causes damage to, disturbs or destroys an Aboriginal place or object. There are some exemptions to this offence. This is also one of the offences for which a Heritage Order may be sought to restrain a person from causing material harm to the heritage significance of a place or object. A proposed development may be affected by Heritage Guidelines relating to the heritage significance of an Aboriginal place or object. When this is the case, the relevant authority consults each RAO as well as considering any further comments by the Heritage Council about the development.

Heritage Agreements may also be put in place to protect and conserve an Aboriginal place or object.

Government Obligations

Public authorities are required under the Heritage Act to identify and manage Aboriginal heritage places or objects (along with non-Aboriginal heritage places or objects) for which they are responsible. The Heritage Act also provides that each Aboriginal object owned by the Territory is kept in a repository declared by the Minister after consulting, and considering the views of the ACT Heritage Council and each RAO.

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Appendix H: Lease: Blocks 1605 and 1606 District of Belconnen

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Sections 167, 186C & D
of the Land Act apply

Entered in Register Book Vol 1681 Folio 93

Andrew Taylor
Registrar-General



22 APR 2004

ORIGINAL

AUSTRALIAN CAPITAL TERRITORY

LAND (PLANNING AND ENVIRONMENT) ACT 1991

Australian Capital Territory (Planning and
Land Management) Act 1988 "(C'th) ss 29, 30 and 31"

LESSEE

LAND

TERM

LEASE GRANTED pursuant to the Land (Planning and Environment) Act 1991 and the Regulations thereunder on the twenty ninth day of March Two thousand and four WHEREBY THE PLANNING AND LAND AUTHORITY ("the Authority") ON BEHALF OF THE COMMONWEALTH OF AUSTRALIA ("the Commonwealth") in exercising its functions grants to **CORKHILL BROS PTY LIMITED** A.C.N. **008 431 043** of 72 Maryborough Street Fyshwick in the Australian Capital Territory ("the Lessee") ALL THAT piece or parcel of land situate in the Australian Capital Territory containing an area of **678.22 hectares** or thereabouts and being **Blocks 1605 and 1606 District of Belconnen** as delineated on **Deposited Plan Number 10,006** in the Registrar-Generals office at Canberra in the said Territory ("the land") RESERVING unto the Territory all minerals and the right to use flow and control of ground water under the land TO HOLD unto the Lessee for a term of **ninety nine years** commencing on the sixteenth day of March Two thousand and four ("the date of commencement of the lease") to be used by the Lessee for the purpose set forth in Clause 3(a) of this lease only YIELDING AND PAYING THEREFOR UPON AND SUBJECT TO the covenants conditions and agreements hereinafter contained.

NOT RECORDED
REGISTRATION
DATE 20/04/04
10:00 AM

- INTERPRETATION 1. IN THIS LEASE unless the contrary intention appears:
- (a) "agriculture" means broad acre animal farming, crop and pasture production, and horticulture for commercial wholesale production, but does not include animal husbandry or any cultivation or animal farming carried out primarily for the personal enjoyment of, or consumption by, the owner(s) or occupant(s) of land;
 - (b) "ancillary" means associated with and directly related to, but incidental and subordinate to the predominant use;
 - (c) "animal husbandry" means any form of animal production that either takes place within the confines of a building or buildings where livestock are reared in confined areas excluding any husbandry carried out mainly for the personal enjoyment of, or consumption by, the owner(s) or occupier(s) of the land;
 - (d) "approved purpose" means one or more of roads dams bridges transport corridors transport infrastructure conservation and urban expansion or development;
 - (e) "Authority" means the Planning and Land Authority established by section 7 of the Planning and Land Act 2002;
 - (f) "building" means any building or structure, as those terms are defined in section 222 of the Land (Planning and Environment) Act 1991, which requires approval under Part 6 of that Act;
 - (g) "child", in relation to a Lessee, includes a son or daughter of the Lessee's partner;
 - (h) "de facto relationship" means the relationship between two people (whether of a different or the same sex) who, although not married to each other, live in a relationship like the relationship between a married couple;
 - (i) "discharge amount" means an amount determined in accordance with section 186E of the Land (Planning and Environment) Act 1991;
 - (j) "dwelling" means a building or part of a building used as a self contained residence which must include:
 - food preparation facilities;
 - a bath or shower; and
 - a closet pan and wash basin.

It includes *outbuildings* and works normal to a dwelling;

- (k) "horticulture" means the use of land for intensive plant production such as fruit vegetable or flower production (including berries and vines);
- (l) "Lessee" shall -
- (i) where the Lessee consists of one person be deemed to include the Lessee and the executors administrators and assigns of the Lessee;
 - (ii) where the Lessee consists of two or more persons be deemed to include in the case of a tenancy in common the said persons and each of them and their and each of their executors administrators and assigns and in the case of a joint tenancy be deemed to include the said persons and each of them and their and each of their assigns and the executors administrators and assigns of the survivor of them; and
 - (iii) where the Lessee is a corporation be deemed to include such corporation and its successors and assigns;
- (m) "partner", in relation to a Lessee, means the Lessee's spouse or a person with whom the Lessee is in a de facto relationship;
- (n) "premises" means the land building and all other improvements on the land;
- (o) "Territory" means -
- (i) when used in a geographical sense the Australian Capital Territory, and
 - (ii) when used in any other sense the body politic established by section 7 of the Australian Capital Territory (Self-Government) Act 1988 (C'th);
- (p) "Territory owned improvements" means the improvements referred to in the First Schedule of this lease;
- (q) words in the singular include the plural and vice versa;
- (r) words importing one gender include the other genders.

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2. THE LESSEE COVENANTS WITH THE COMMONWEALTH as follows:
- RENT (a) That the Lessee shall pay to the Authority rent at the rate of five cents per annum if and when demanded payable within one month of the date of any demand made by the Authority relating thereto and served on the Lessee;
- GOODS AND SERVICES TAX (b) That in addition to any other moneys payable under or in respect of this lease the Lessee shall pay to the Authority upon demand an amount equal to the amount payable by the Authority for GST in respect of this lease (where "GST" has the meaning the term has in the A New Tax System (Goods and Services Tax) Act 1999 (C'th) as amended from time to time);
- MANNER OF PAYMENT OF RENT (c) That any rent or other moneys payable by the Lessee to the Authority under this lease shall be paid to such person as may be authorised by the Authority for that purpose at Canberra in the said Territory without any deduction whatsoever.
3. THE LESSEE FURTHER COVENANTS WITH THE COMMONWEALTH as follows:
- PURPOSE (a) To use the premises only for the purpose of agriculture not including the agistment of horses and ancillary thereto keeping a maximum of eight (8) horses for personal use and three (3) dwellings;
- ASSIGNMENT AND SUB-LETTING (b) That the Lessee shall not assign sub-let transfer or part with possession ("proposed assignment") of the whole or any portion of the premises unless each of the following is fulfilled:
- (i) in the case of a proposed assignment within ten years of the date of the commencement of this lease and unless the proposed assignee is the Lessee's partner or child, the Lessee has paid to the Authority the discharge amount;
- (ii) in all cases the assignee sub-lessee or transferee has a land management agreement approved by the Territory; and
- (iii) in all cases the Authority has previously granted its consent in writing to the proposed assignment
- in accordance with the applicable provisions of the Land (Planning and Environment) Act 1991 and shall not otherwise deal with the land except pursuant to the provisions of that Act;

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- | | | |
|------------------------------------|-----|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| ACCESS | (c) | That the Lessee shall permit any person or persons duly authorised by the Authority with such equipment as is necessary or convenient to enter upon across and through the land at all reasonable times; |
| TREES | (d) | That the Lessee shall not cut down fell ringbark or otherwise injure or destroy (or suffer to permit the same) any live tree or tree-like plant on the land without the previous consent in writing of the Territory; |
| FIREWOOD | (e) | That the Lessee shall not take suffer or permit the taking of firewood off the land without the previous consent in writing of the Authority; |
| SIGNS | (f) | That the Lessee shall not display or permit to be displayed on the premises any advertisement sign or hoarding without the previous consent in writing of the Authority; |
| CLEAN AND TIDY | (g) | That the Lessee shall at all times keep the premises clean tidy and free from debris rubbish and other unsightly or offensive matter PROVIDED ALWAYS THAT should the Lessee fail to do so the Authority may at the cost of the Lessee cause any matter or thing to be removed from the premises and restore the premises to a clean and tidy condition; |
| BUILDING
SUBJECT TO
APPROVAL | (h) | That the Lessee shall not without the previous approval in writing of the Authority erect any building on the land or make any structural alterations to the premises; |
| REPAIR | (i) | That the Lessee shall at all times during the said term maintain repair and keep in repair the premises to the satisfaction of the Authority; |
| FAILURE
TO REPAIR | (j) | If and whenever the Lessee is in breach of the Lessee's obligations to maintain repair and keep in repair the premises the Authority may by notice in writing to the Lessee specifying the repairs and maintenance needed require the Lessee to effect the necessary work in accordance with the notice. If the Authority is of the opinion that a building or some other improvement on the land is beyond reasonable repair the Authority may by notice in writing to the Lessee require the Lessee to remove the building or improvement and may require the Lessee to construct a new building or improvement in place of that removed within the time specified in the notice. If the Lessee does not carry out the required work within the time specified by the Authority any person or persons duly |

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authorised by the Authority with such equipment as is necessary may enter the premises and carry out the necessary work and all costs and expenses incurred by the Authority in carrying out the work shall be paid by the Lessee to the Authority on demand and from the date of such demand until paid shall for all purposes of this lease be a debt due and payable to the Authority by the Lessee;

- | | | |
|-------------------------|-----|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| RIGHT OF INSPECTION | (k) | Subject to the provisions of the <u>Land (Planning and Environment) Act 1991</u> or any Statute Ordinance or Regulation substituted therefor to permit any person or persons authorised by the Authority to enter and inspect the premises at all reasonable times and in any reasonable manner; |
| RATES AND CHARGES | (l) | To pay all rates charges and other statutory outgoings assessed levied or payable in respect of the premises as and when the same fall due; |
| COMPLY WITH LEGISLATION | (m) | The Lessee shall comply with every Act Statute Ordinance and Regulation applicable to the premises. |
| QUIET ENJOYMENT | 4. | THE COMMONWEALTH COVENANTS WITH THE LESSEE as follows:

That the Lessee paying all moneys due and observing and performing the covenants and stipulations on the part of the Lessee to be observed and performed shall quietly enjoy the premises without interruption by the Authority or any person lawfully claiming from or under or in trust for the Authority. |
| TERMINATION | 5. | IT IS MUTUALLY COVENANTED AND AGREED as follows:

(a) That if-

(i) any rent or other moneys payable under this lease shall remain unpaid for three months next after the date appointed for payment thereof (whether such rent shall have been formally demanded or not); or

(ii) the said land is at anytime not used for a period of one year for the purpose for which this lease is granted; or |

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- (iii) the Lessee shall fail to observe or perform any other of the covenants herein contained on the part of the Lessee to be observed or performed and shall have failed to remedy such breach within a period of six months from the date of service on the Lessee of a notice in writing from the Authority specifying the nature of such breach

the Authority on behalf of the Commonwealth may terminate this lease but without prejudice to any claim which the Authority or the Commonwealth may have against the Lessee in respect of any breach of the covenants on the part of the Lessee to be observed or performed;

ACCEPTANCE
OF RENT

- (b) That acceptance of rent or other moneys by the Authority during or after any period referred to in Clauses 5(a) (i), (ii) or (iii) of this lease shall not prevent or impede the exercise by the Authority of the powers conferred upon it by the said Clauses;

WITHDRAWAL

- (c) That –

- (i) the withdrawal provisions of this lease apply only to the area or areas shown by hachure on the plan annexed hereto;
- (ii) if the whole or any portion or portions of the land shown on the attached plan shall at any time be required by the Commonwealth or the Authority for an Approved Purpose the Authority may withdraw that land from this lease by giving a notice ("Notice of Withdrawal") to the Lessee. The Notice of Withdrawal shall specify:
- (A) that land is being withdrawn from the lease pursuant to this clause;
- (B) the portion or portions of land being withdrawn from the lease ("Land Withdrawn"); and
- (C) the date the withdrawal of land is to be effective ("Withdrawal Date") which shall not be less than three months after the date on which the Notice of Withdrawal is given to the Lessee;
- (iii) as soon as practicable after the Withdrawal Date, the Authority must:
- (A) make or cause to be made a plan for lodging at the Registrar-General's Office at Canberra delineating the Land Withdrawn;

- (B) provide the Lessee with a copy of the plan as conclusive evidence of the Land Withdrawn; and
- (C) give notice to the Lessee requesting the Lessee to produce the Lessee's copy of the lease or Certificate of Title at the Registrar-General's Office for registration of the withdrawal AND the Lessee shall within fourteen days after receiving the notice and at the Lessee's own expense comply with the notice;
- (iv) if the whole or any portion or portions of the land is withdrawn the Lessee shall be entitled to:
- (A) compensation from the Authority in respect of the Land Withdrawn calculated in accordance with Clause 5(d) of this lease; and
- (B) compensation from the Authority for improvements on the Land Withdrawn determined in accordance with the Land (Planning and Environment) Act 1991 and as if this lease had expired in respect of the Land Withdrawn;

COMPENSATION (d) (i)
FOR
WITHDRAWAL

Within fourteen days of the Withdrawal Date the Authority shall pay the Lessee compensation in respect of the Land Withdrawn calculated in accordance with the formula:

$$C = \frac{A}{B} \times \left(P \times \frac{D3}{D1} + DA \times \frac{D3}{D2} \right)$$

Where:

C is the compensation payable;
A is the area of the land withdrawn;
B is the area of the land comprised in this lease on the day prior to the Withdrawal Date;
P is the consideration paid by the lessee when this lease was granted for the land component of this lease;
DA is any discharge amount paid;
D1 is the CPI last published prior to the date of commencement of this lease;
D2 is the CPI last published prior to the payment of any discharge amount;
D3 is the CPI last published prior to the Withdrawal Date; and

"CPI" means the Consumer Price Index All Groups for Canberra published by the Australian Bureau of Statistics. If there is any suspension or discontinuance of the publication of the Consumer Price Index then CPI will be such index as is determined by the President for the time being of the Australian Property Institute ACT Division or his nominee as reflecting movements in the cost of living in Canberra. That determination will be final and binding on the Lessee and the Authority and the costs of that determination will be borne equally by the Lessee and the Authority;

- (ii) the Authority may deduct from any moneys payable to the Lessee under this clause the amount of any loss, damage or expense suffered by the Authority by reason of the Lessee's breach of, or non-compliance with, any of the covenants of this lease on the part of the Lessee to be observed or complied with including (but not limited to) any moneys which may be due and payable by the Lessee to the Authority in accordance with this lease;

MINERALS (e) That the Authority hereby reserves the right to authorise any person or persons to enter upon the land to mine work win recover and remove minerals and to do all things necessary or convenient for those purposes;

PIPELINES AND TRANSMISSION LINES (f) That -

- (i) rights to construct maintain and operate pipelines and transmission lines in under on over across and through the land together with the right to authorise any person or persons to enter upon the land to construct maintain or operate pipelines and transmission lines and to do all things necessary or convenient for those purposes are reserved to the Authority;
- (ii) the Lessee shall permit any person or persons duly authorised by the Authority with such equipment as is necessary or convenient to enter upon the land at all reasonable times and survey construct inspect repair maintain or operate any pipeline or transmission line; and

West Belconnen European Cultural Heritage Report

**NSW Land:
Lot 1, 2, 3 and 7**



Prepared by

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For

The Riverview Group

EMA

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**ISSUE 3
13108
17 February 2014
FINAL DRAFT**

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1.0 INTRODUCTION

1.1 Background

The Riverview Group are developing a proposal for rezoning land in West Belconnen and adjacent NSW for residential development. To assist this task they have requested research and investigation into the area and preparation of a report on European Heritage. The overall site includes four distinct areas divided by ACT and NSW land and land ownership.

1.2 Brief

A summary of the brief is outlined below with a full copy in Attachment 1. The initial brief was expanded to include ACT Land Blocks 1605 and 1606.

1.2.1 Site

The site for this study is:

- Lot 1 NSW 91.8 ha
- Lot 2 NSW 80 ha
- Lot 3 NSW 80 ha
- Lot 7 NSW 80 ha

Refer Figure 1 for a plan of the overall site. The area included in this report (NSW land) is shown in Figure 2 and Figure 3.

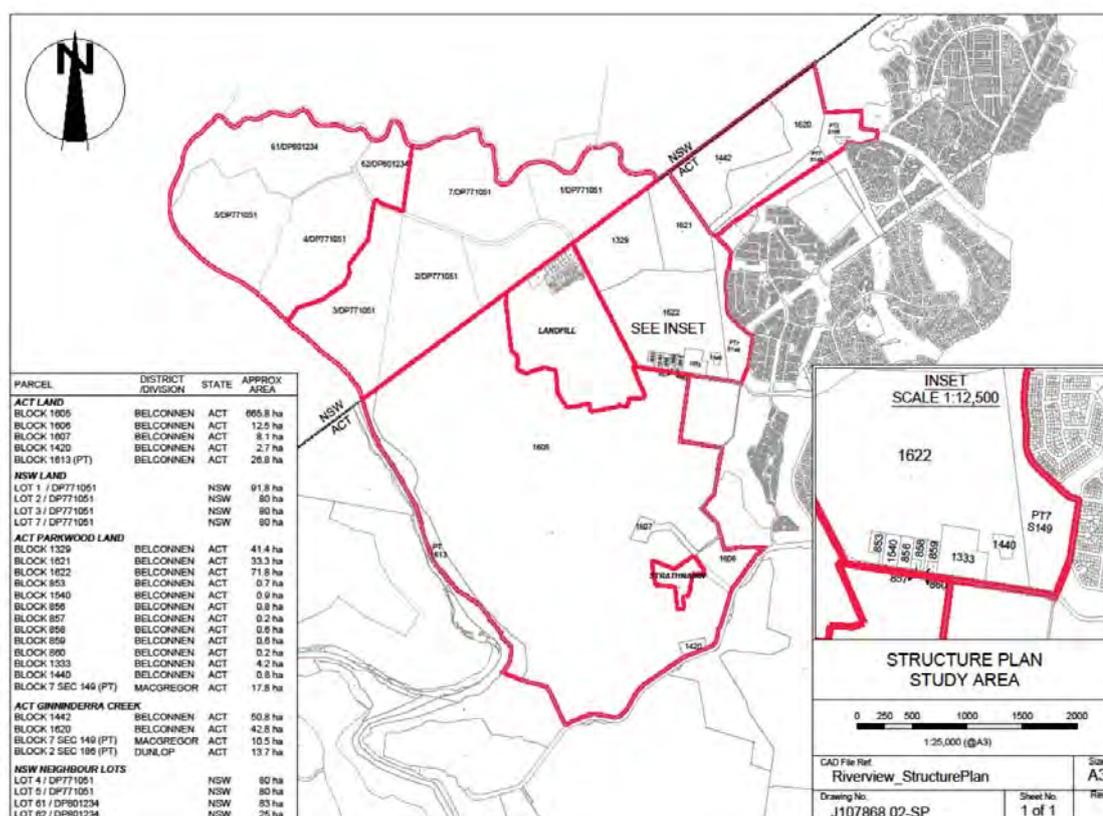


Figure 1: Plan of Overall Site

Source: The Riverview Group

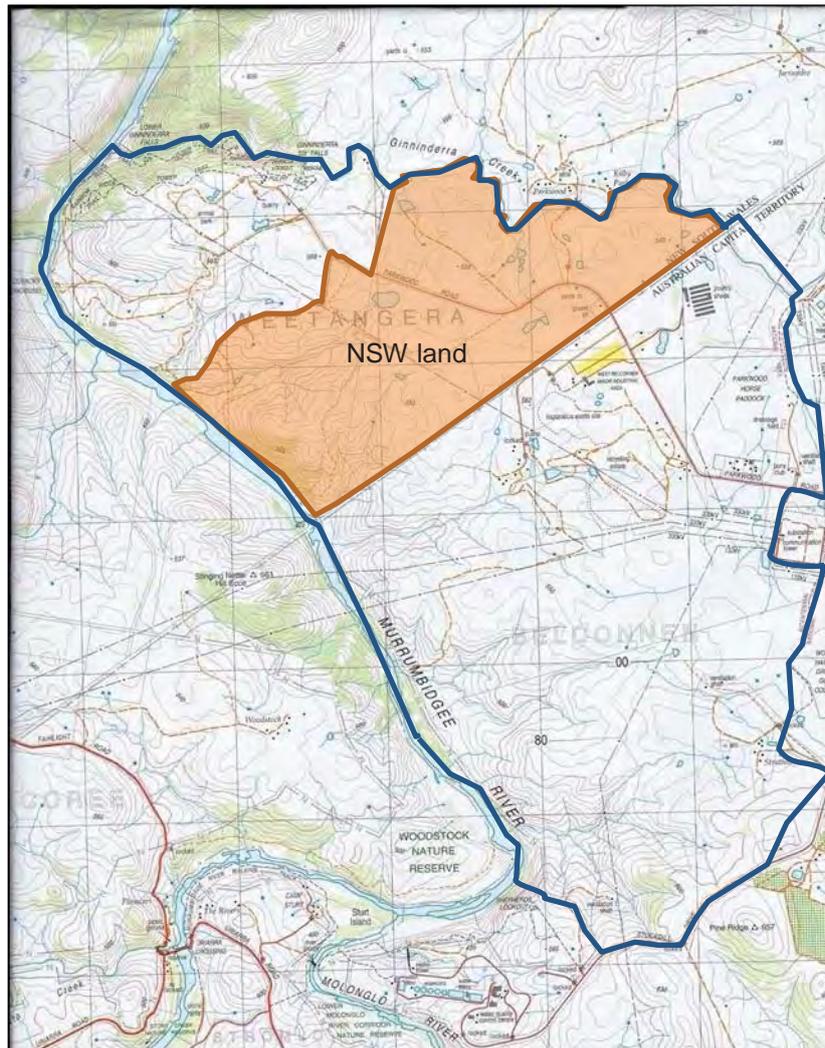


Figure 2: Plan of NSW Land

Source:



Figure 3: Aerial View of NSW Land

Source: Google Earth accessed 4 December 2013, annotated by EMA 2014

1.2.2 Task Description

To undertake necessary research and investigations and prepare a report on the European heritage of the study area.

The report to identify any features that are of heritage interest and provide an assessment of appropriate options for the future management of such features in the context of urban development.

Report to provide a commentary on the European heritage of the study area that may inform future social and cultural planning for the proposed new community.

Report to provide sufficient information to substantiate proposals to rezone the land for urban development including the identification of any requirements for heritage management or protection that should be incorporated into rezoning proposals.

1.2.3 Methodology

The study adopts the principles and practices of Australia ICOMOS and will include:

- Introduction
- Historical background
- Physical evidence and a
- Assessment of significance.

If any significant item is identified then an appropriate statement of significance, opportunities and constraints, conservation policies and management issues will be prepared. If significance does not reach threshold for heritage registration there may be recommendations that guide future development. These will be defined in this report.

1.3 Authorship

The report has been a collaborative effort by:

1.4 Current Status

No part of the NSW land is listed on any heritage register or nominated for heritage listing.

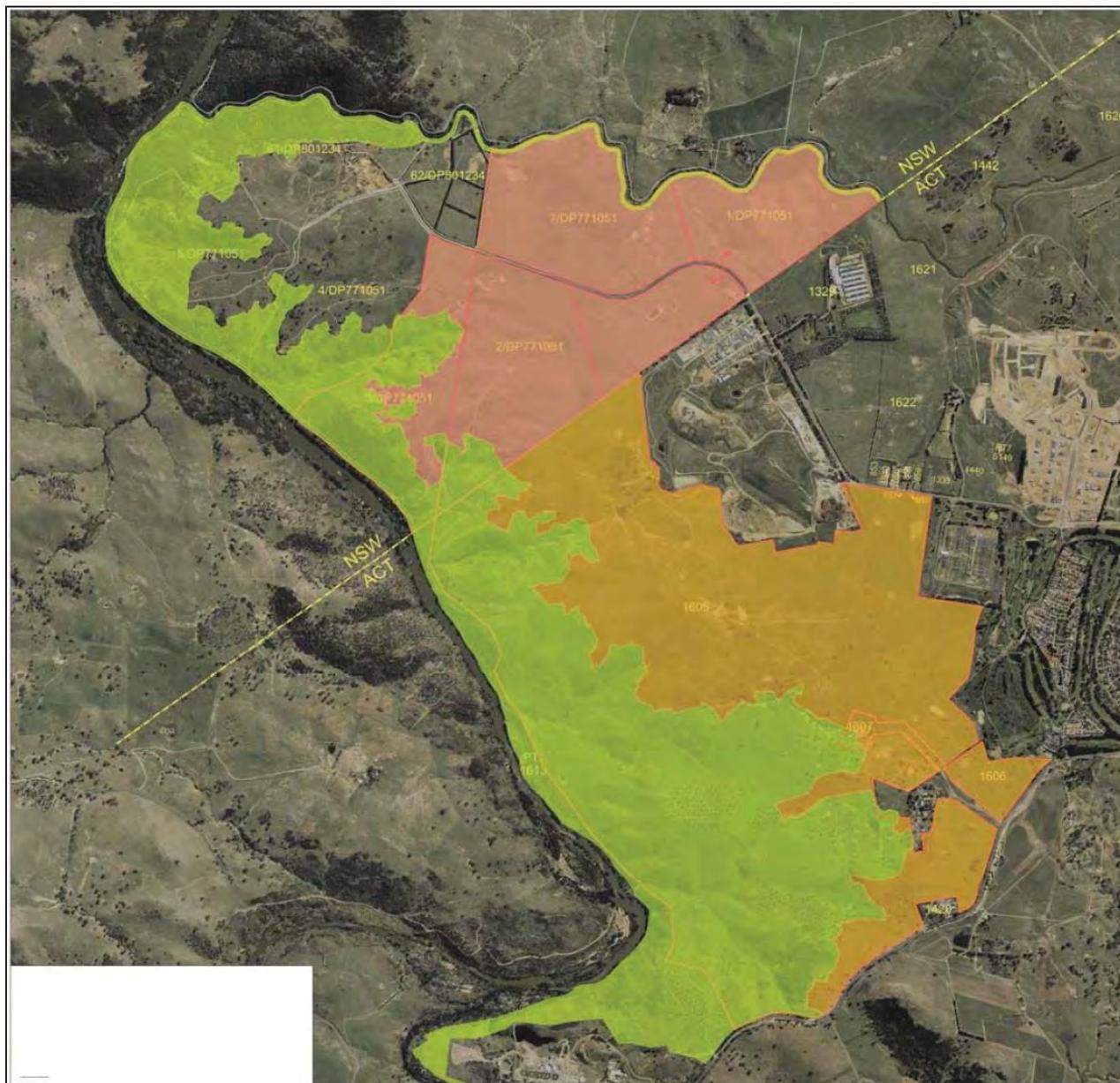
1.5 Acknowledgement

We appreciated the assistance of Riverview Group who arranged or assisted access to the site and the individual owners/tenants of land who permitted site access.

1.6 Limitations

The report is restricted to European Cultural aspects. Indigenous Heritage is being assessed by from Biosis and natural heritage values by

It is worth noting that as a result of natural values a redefined river corridor has been established and this is included as Figure 4.



- D PROPOSED URBAN AREA
- D RIVERINE NSW LAND
- D PROPOSED RIVER CORRIDOR

Figure 4: Site Plan showing Proposed River Corridor

Source: The Riverview Group Knight Frank, J107868.02
 Cadstral Mapping Metadata Rev C (26 September 2013)

2.0 HISTORICAL BACKGROUND

2.1 European Exploration and Settlement

In the early years of the 1820s European explorers reached what is now the Australian Capital Territory. Dr Charles Throsby, a former Naval Surgeon turned landholder and explorer, his nephew Charles Throsby Smith, guided by his convict overseer, Joseph Wilde, and James Vaughn reached the Molonglo River and the wide valley it flowed through. They were on their way to find the Murrumbidgee River. After several setbacks, Throsby reached the River in 1821. Throsby and his party were the first Europeans to see the Murrumbidgee River.

Following his explorations Throsby wrote of the country he had crossed:

...perfectly sound, well watered, with extensive meadows of rich land on either side of the rivers; contains very fine limestone, in quantities perfectly inexhaustible, slate sand-stone and granite fit for building, with sufficient timber for every useful purpose; and, from the appearance of the country, an unbounded extent to the westwards¹

Certainly overstating the natural resources available, Throsby's description of the land he saw had an element of accuracy ('extensive meadows') and when it was published in the *Australian Magazine* in 1821 it triggered much interest among the Sydney entrepreneurs. More tantalizing news of favourable lands and profits to be made came soon after.

Following the Throsby expedition, Captain Mark Currie, accompanied by the reliable Joseph Wilde and Brigade Major Ovens, reached the Molonglo River and turned south, reaching the Murrumbidgee in 1823. Alan Cunningham and his party were the next to pass through the area in April 1824. Cunningham's objective was to make a detailed botanical inspection of the lands already seen by Throsby and Currie. He followed the Molonglo and Murrumbidgee Rivers, covering some of the ground which Currie had crossed the previous year².

Throsby, Currie and Cunningham reported back to the Colonial Government on the open and well-watered lands they crossed; suitable, they claimed, for sheep and cattle grazing. At that time there were great opportunities for those with an entrepreneurial flair and the financial backing to achieve their aims to invest in tracts of land recently found on the western slopes of the Great Dividing Range. A rush to claim these lands began. European settlement began on the flood plains and slopes above the Molonglo River in what is today the central area of Canberra, and spread quickly south towards Tuggeranong and north to the lands bordering Ginninderra Creek and the Murrumbidgee River.

2.2 Early Settlement

Robert Campbell, a prominent person in the commercial sphere of Sydney, was well connected to the high social circles of the early colony through his family background and his wife Sophia, who was the sister of John Palmer the Commissary-General and First Fleet arrival on the Governor Philip's Ship *HMS Sirius*. Campbell had received a land grant from the Governor of NSW to compensate for the loss of one of his ships and in 1825 he had established a property at Pialligo on the Molonglo River with James Ainslie as manager. The property was later named 'Duntroon', after the Campbell family properties in Scotland. Robert Campbell most likely informed Palmer of the opportunities available for grazing interests in the newly explored area of the colony. John Palmer and his son, George Thomas Palmer, lost little time in establishing land – John in the area of Jerrabomberra adjoining Campbell's holdings and George Thomas further north in rolling plains bordering Ginninderra Creek know to the indigenous people *Ginninginninderry* in 1826³.

These frontier properties were well beyond formal control of the colonial administration and formal possession of lands often lagged behind actual possession. George Thomas Palmer, although grazing the lands since 1826, did not submit a request for permission to purchase the land from the colony until 18 May 1829.

¹ Throsby in *Australian Magazine* June 1821

² Havard 1956

³ Gillespie 1991, p6.

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I beg to request that you will be pleased to submit to His Excellency Governor Darling, my desire to obtain his permission (when the boundary may be extended) for the occupation of an extent of land (not within the line of its present demarcation) about seven miles distant to the northward of the property of Mr Campbell senior, in the vicinity of Limestone Plains, as it is my intention if allowed, to purchase to the full extent of the regulation which I understand to be nine thousand six hundred acres[3885 ha]⁴

Palmer then submitted a formal application for land on 14 December:

With reference to that part of the Land Regulations (bearing dates the 1st August, 1831) headed "Leases", I beg to state that I am desirous of renting fifteen sections of land situated at Ginninderra [sic] in the neighbourhood of that quarter of the country commonly called the Limestone Plains and forming part of the quantity which I formerly made application to rent with a view to purchase⁵.

The tyranny of distance affected the colonial administration in far off Sydney and a muddling bureaucracy initially allocated the desired lands to Mr John Cartwright. An annoyed Palmer then pointed out that he had occupied the lands for several years, had erected several expensive buildings and installed an overseer. The confusion was quickly cleared up in Palmer's favour by the Colonial Secretary and the lands he requested were formally granted in 1831 five years after he had first taken up the land.

It would appear that none of Palmer's local lands were surveyed before occupation, although Assistant Surveyor Robert Dixon and his party had been in the district in 1829. Palmer's holdings were eventually surveyed in 1832, by Robert Hoddle and in 1836 by James Larmer.

Palmer's holdings in the Ginninderra district included:

- Portions 4, 8, 9, 10 & 94 – Parish of Weetangera – 4,321 acres (1749 ha)
- Portions 4 & 34 – Parish of Wallaroo – 2,205 acres (892 ha)
- Portions 20 [Palmerville], 21, 22, & 23 – Parish of Canberra – 2,640 acres (1068)⁶.

Further land grants were to be given in the larger area of Ginninderra but many were to absentee owners who speculated but never settled the area [p. 9]. One such 'speculator' was John Langdon who obtained a grant of 1, 280 acres (518 ha), never lived on it, and disposed of it to George Palmer in 1834 in exchange for 445 ewes [p.9]. By this time Palmer was in formal possession of at least 4,227 ha of land and utilising further land areas primarily for grazing in the Ginninderra Creek area.

Another more well-known speculator was Captain Charles Sturt who acquired property ('Belconnen') with frontage on the Murrumbidgee as a reward for his explorations along the Murray and Murrumbidgee Rivers. But, he sold it to Fredrick Campbell within one year. Fredrick Campbell also purchased 640 (259 ha) acres of land on Ginninderra Creek from George Popham in 1836 steadily increasing his land holdings in the area. By the late 1830s the Campbell estate north of the Molonglo River and in the vicinity of Ginninderra Creek totalled almost 6,900 hectares By this time Palmer was in formal possession of at least 4,227 ha of land and utilising further land areas primarily for grazing.

Yet another absentee owner was Alick Osborne, a Royal Navy Surgeon, who obtained 987 acres (399 ha) on Ginninderra Creek at its junction with the Murrumbidgee. He sold the land for £1,200 to Thomas Southwell, who named the property 'Parkwood' and immediately took up residence on it and stayed!

The pattern of absentee land owners selling their land grants to the larger land holders continued. One exception, however, was Henry Hall who received a grant of 3,742 acres (1514 ha) in the parish of Wallaroo and established his homestead there in 1833. His property, Charnwood was surveyed in Aril 1836.

⁴ *Ibid* p.6

⁵ *Ibid* p.7

⁶ Land Titles Office, NSW, Plans M6.743, M44.743, M48.743, M50.743, M98.743, M100.743; Gillespie 1991 p.8.

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Following a census taken in 1841 the only habitations in the Ginninderra district appear to have been those Palmer (Palmerville), Hall (Charnwood), Glenwood, and Campbell (Belconnen). An example of the population in the area at this time can be derived from two properties:

Population in the Ginninderra district from 1841 census⁷:

Property	Population
Palmerville	47 males, 21 females (total 68) 15 were convicts 6 were ticket-of-leave employees
Charnwood	24 males, 8 females (total 32) 11 were convicts (10 male, 1 female) 3 were ticket-of-leave employees

But by the end of the 1850s the majority of the land north and south of Ginninderra Creek either side of the present ACT-NSW border was held by a handful of wealthy owners including Campbell, Palmer, Southwell and Hall, most of whom held lands elsewhere (refer Figure 5).

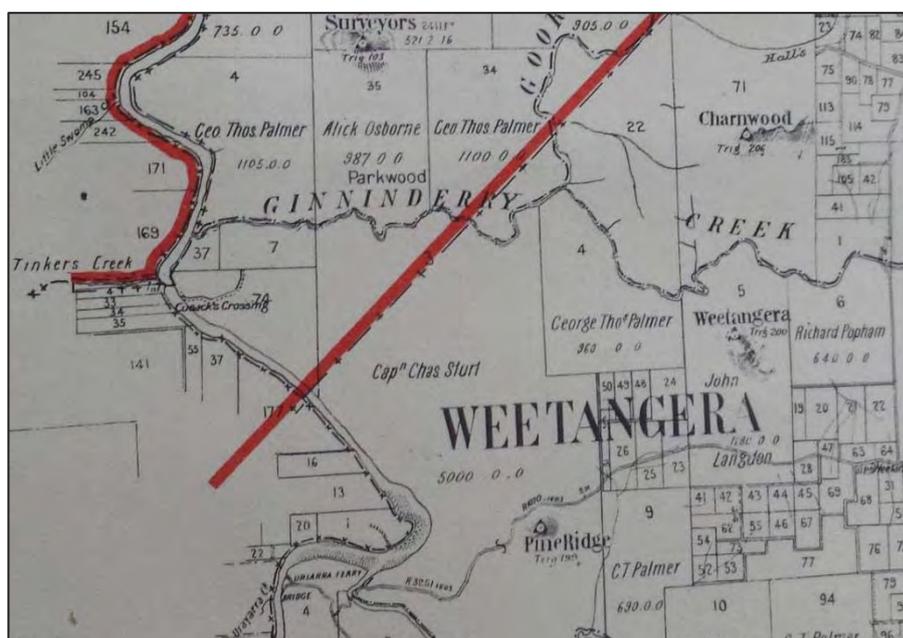


Figure 5: c1910 Map

This map re-published as c1910 Map shows lands held by George Palmer (on both sides of the border), Alick Osborne (Block 36, Parkwood) and land attributed to Captain Charles Sturt. By the time this map was re drawn with the ACT/NSW border Sturt had sold his land to Fredrick Campbell, and Osborne had sold his to Thomas Southwell.

Source:

2.3 The Charles Sturt period

Following his explorations along the Darling and Murray Rivers systems (1828-1830) and government postings, Charles Sturt returned to England in poor health. While undergoing treatment he published an account of his journeys, and after many petitions to the New South Wales Government for recompense, he was promised a grant of 5,000 acres (2,024 ha). The promised grant came with a condition that he gave up his military commission and renounced all other rights arising from his military service. Sturt's

⁷ Gillespie 1991 p.12

decision to resign from the military was no doubt based on his continuing ill health, poor eyesight and strained financial situation⁸.

Sturt and his wife returned to New South Wales in 1835. On 17 April 1835 Sturt wrote to his brother William: *You are aware that the Government gave me a 5,000 acre grant of land, but I have not as yet made my selection, being puzzled as to the locality.*

Just a few days later it would appear that Sturt had made up his mind on where to select his land. On 21 April he wrote again:

I am on the eve of making a journey to select my acres. The country to the south is described by several people as most beautiful. As soon as I get my land I shall stock it with 1,000 sheep and 150 to 200 head of fine cattle. As a beginning, that, I think, will do very well; and a trip once or twice a year to see my establishment will be a pleasure to me⁹.

On 5 June an order was issued by the Governor for the promised grant of land. Just after their arrival back in the Colony the Sturts purchased an additional 1,950 acres (789 ha) near Mittagong where they settled. Sturt may have made a journey to the area of Ginninderra to select his granted land.

Sturt's wife, Charlotte, wrote in her biography:

Sturt delayed for some time to select his land, and the Survey Office in Sydney warned him they would cancel his grant if he did not exercise it within a given time. This notice found him lying ill at Yarralumla, so on hearsay and in haste, he chose his grant at Ginningdera [sic] near Queanbeyan, a block surrounded on three sides by the water of the Murrumbidgee, the Queanbeyan [actually the Molonglo] and the Ginningdera. The land, however, is not good, and has suffered heavily from floods¹⁰).

Writing many years later, Charlotte Sturt may have exaggerated the flooding of the land. While the Murrumbidgee and Molonglo Rivers and Ginninderra Creek would have regularly flooded, much of the land Sturt selected was and is today above the floodplains of these waterways.

Whether he did actually inspect the area, or relied on the recommendations of contacts in the district, the land he selected for his grant was a good choice. The 5,000 acres was a gently sloping area of land with sheltering ridges. The selection fronted on to the permanent water sources of the Murrumbidgee River, and was bounded in the north by Ginninderra Creek and in the south by the Molonglo River. Small drainage creeks and springs added to the water availability of the land (Figure 6).

The selection was surveyed by Robert Hoddle, the Deputy Surveyor General for the Colony, on 25 November, 1835 and gazetted on 8 February, 1836. Sturt was asked by the Colonial Secretary to name his grant for the title deed:

In reply to your communication requesting to be informed by what name I would wish the 5000 acre grant confirmed on me by the Government to be designated that the same may be entered in the Title Deed which His Excellency the Governor had directed to be prepared. I have to express my wish that it may be called "Grange"¹¹.

With the name of the property duly recorded the land was finally granted to Sturt on 3 February 1837.

Judging by the letter he had written to his brother on 17 April, Sturt most likely had no intention of actually building and living on the Ginninderra land grant. By 1836 he and his wife had purchased and settled on a property between Bowral and Mittagong. Sturt was to hold title of the 'Grange' for just a year. On 26 February 1838, he sold the whole 5,000 acres to Charles Campbell. There is no record of Sturt returning to the Ginninderra region and he saw out his last years in Australia in Adelaide; living in a modest house he named 'Grange' before returning to England in 1853.

⁸ Cumpston 1951; Beale 1979

⁹ Cumpston 1951

¹⁰ Cited in Cumpston 1951

¹¹ Archives Office NSW Microfilm No. 1185 cited in Gillespie 1992.

However, the figure of Charles Sturt has been prominent in Australia's history, particularly for his explorations in the Murrumbidgee and Murray River Corridors and into the desert centre of the continent. His name has been given to a suburb in Adelaide, a University in New South Wales, and several municipal streets and roads, including the major highway linking South Australia, Victoria and the Hume Highway in New South Wales. Sturt's association, however fleeting it was, with the land along the Murrumbidgee was locally and officially recognised into the early nineteenth century with 'Sturt's Grant' being marked on the 1915 Feature Map produced by the Federal Capital Territory. Today, the Sturt association is still recognised by the naming of Sturt Island in the Murrumbidgee Corridor

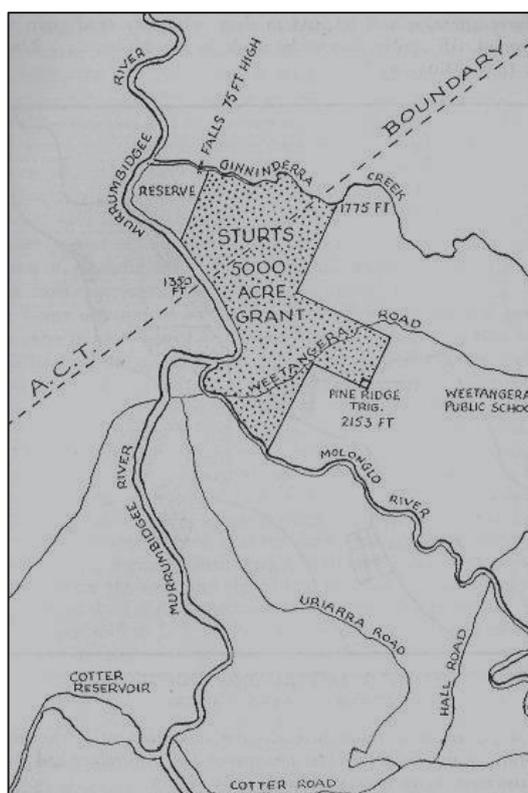


Figure 6: The location of Sturt's 5,000 acre land grant, later named 'Belconnen' located between the Murrumbidgee River in the south and Ginninderra Creek to the north.

The ACT-NSW border cut through the original grant leaving the northern section under NSW legislation and retained in private ownership, and the southern section under Commonwealth legislation to be compulsorily resumed¹². The NSW land is depicted as a reserve area in the north from Ginninderra Falls and the northern section of Sturt's grant (later purchased by Fredrick Campbell).

Source: Cumpston, 1957.

¹² Cumpston 1951

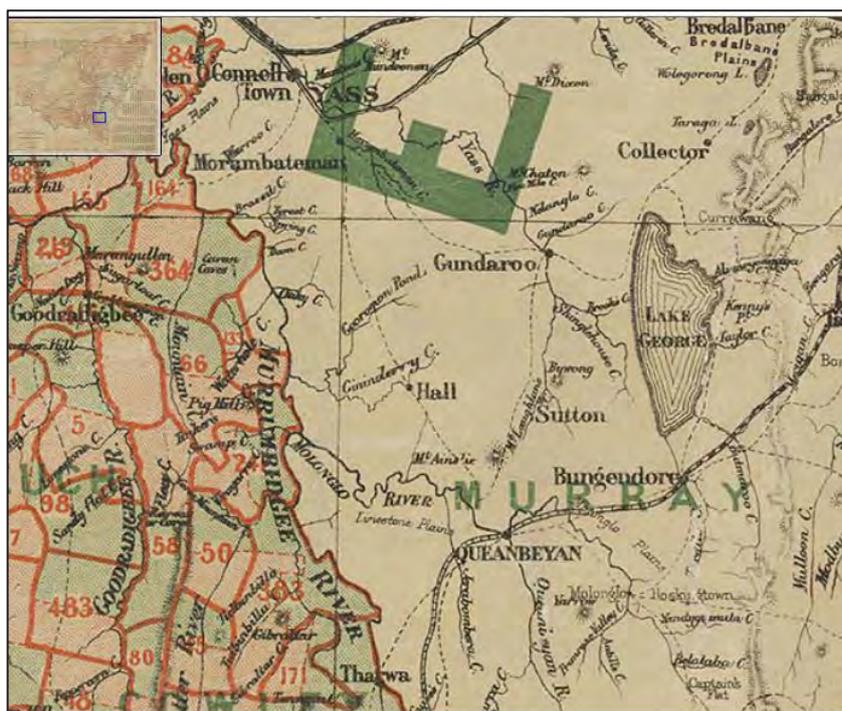


Figure 7: The 1886 Index map of New South Wales shows the pastoral holdings following the 1884 Crown lands Act prepared by the Surveyor General's Office. The site, south of Ginninderra Creek and the surrounding land east of the Murrumbidgee, is not yet subdivided.

Source:

2.4 The Southwell Period

In 1829 Alick Osborne applied for land along the Ginninderra area and was eventually given 987 acres (400 ha) bordering Ginninderra Creek near the confluence with the Murrumbidgee River. Osborne was a surgeon in the Royal Navy and, like many in the military serving in the New South Wales colony, saw good opportunities to speculate in the lands becoming available in the table lands west of the Great Divide. Osborne most likely used his purchase primarily for grazing but never established himself in the area. He was to sell the land within ten years to the Southwell family and in so starting a long-term association with the land.



Figure 8: Thomas and Mary (Croxton nee Roffe) Southwell

Source: Gillespie 1988a. P. 8



Figure 9: This map, republished c. 1910 after the Federal Capital Territory border survey, shows the rural holdings of the Weetangera and Canberra regions. The study area region in the Weetangera Shire between the Murrumbidgee River and Ginninderra Creek has been surveyed into large open grazing lots compared to other smaller lots to the south. (The map is based on an earlier parish survey as the neighbouring lot labelled under the ownership the ownership of Capt. Charles Sturt was sold to Campbell in February 1838).

Source:



Figure 9: An expanded section of the same map shows the study area (south of Ginninderra Creek) as part of the 987 acres granted to Alick Osborne and part of George Thomas Palmer's 1105 ha grant.

Source:

Thomas and Eliza Southwell, with two children, arrived in Sydney from England in November 1838. Thomas soon found employment in Sydney and worked for more than a year saving sufficient funds and means to enable the family to venture out in the countryside of the colony where they could eventually purchase land. Two years later, 1840, the Southwells were in the Ginninderra district. Their place of residence was at Palmerville, the settlement established by George Thomas Palmer on Ginninderra Creek. By 1843 the family, now growing, were living in the area in a temporary residence just north of the Ginninderra Falls. The small residence was a simple dwelling with walls and roof of stringy bark, and an earthen floor. Thomas Southwell established himself as a teamster and provided carrying services for the landholders in the district¹³.

On 28 August, 1854, Thomas Southwell, purchased Alick Osborne's 987 acre property on Ginninderra Creek for the sum of £1500, a large sum of money in that time. He named the property 'Parkwood' after the wood where he had resided in England. On the north side of Ginninderra Creek he soon built a slab and bark house for his family along with a barn, established an orchard and planted weeping willows on either side of the Creek. There appears to have been no building infrastructure built on the southern side of Ginninderra Creek but in 1863 Southwell began to construct a more substantial brick residence north of the Creek for his growing family¹⁴.

Thomas and his family cultivated wheat, oats, rye, corn, potatoes and other vegetable and fruit crops on their property together with hops and tobacco¹⁵. Samuel Southwell, Thomas and Eliza's son, recounted the farming experience in the 1840-60s.

My early knowledge of things generally in this district are that times were very bad for people on the land and for all people who were trying to lead an honest life.

The only method to break up the land for farming pursuits was by single furrow plough and bullocks. Reaping with sickle and thrashing by flail. Waiting for suitable wind to clean the grain. With a very good market running wheat worth from 1/6 to 2/1 [shillings/pence] per bushel [,] hay worth very little and very little grown. Potatoes and corn were grown but no market at all for such products. Good fat cattle now worth up to £20 – per head were then only worth about £2 – horses very scarce and draughts were out of the question.

Nearly every squatter carried on boiling down works, to use up the surplus fat stock because there was no market for the stock. Very few had any sheep here in those days. Wages were very low £20 per annum was then a fair wage. Young men received about 5/- weekly as farm labourer. I saw a new bullock dray sold in the market for the sum of £10 – worth from £40 to £60 now.

Later in years after the diggings broke out in Bendigo – Ballarat and other places all was changed in the matter of produce and wages. Wheat went up to 16/- per bushel and many carriers were employed to convey wheat to the Sydney market and elsewhere which appears to have been the turning of the tide with men on the land. Since then to now the times have been somewhat better or worse. Just as the circumstances and seasons have occurred and occasioned.¹⁶

In 1882 the larger landholders in the Ginninderra region, Edward Crace and Fredrick Campbell, embarked on a large-scale fencing programme of their properties. Prior to this time properties were largely unfenced and often the exact boundaries were uncertain. This situation necessitated the employment of shepherds to control the sheep flocks during the day and yarding them at night to reduce the risk of them straying or falling prey to wild dogs and dingoes. Fencing large areas solved this problem to a large extent and was seen as financially expedient.

But fencing caused other problems. The smaller selectors had often the need to use the established tracks across the properties of Crace and Campbell to get to their own holdings. This was made even more a necessity because the holdings in the Ginninderra area were bordering or spanning rivers such as

¹³ Gillespie 1988b

¹⁴ Gillespie 1988 p. 13.

¹⁵ *Ibid*

¹⁶ Samuel Southwell, 1920, cited in Winch 1982 P.23.

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NSW Land**

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the Murrumbidgee and Molonglo or smaller but often impassable water ways such as Ginninderra Creek, particularly in the lower gorge reaches. The programme of fencing by Crace and Campbell cut off these access routes along the tracks and caused bitter disputes which led in many cases to legal disputes over rights of access. Two of the Southwell family, Joshua and his cousin John Southwell appeared in court cases brought about by Crace. Joshua was fined for damaging a fence and gate belonging to Crace and John appeared in court charged by Crace with illegal trespass. He had previously been in court on a similar incident involving right of access and trespass¹⁷. While these cases seem trivial they were very costly to defend by the smaller land owners and in the case of Joshua Southwell and several others led to financial ruin and insolvency¹⁸.

The Southwells were a religious family. Thomas became well known for his evangelistic activities in the district. A strong supporter of the Wesleyan faith Thomas became known as the 'father of Methodism' throughout the wider region. Soon after his arrival in Ginninderra he commenced holding bible readings and prayers in his home twice daily. Neighbours gathered to hear his sermons, and by 1848 regular services were being held at Thomas and Eliza's home. In 1880 the Southwells commenced construction of the stone 'Parkwood Church' still standing on the northern bank of Ginninderra Creek.

The land holding by the Southwells in the area is shown in Figure 11.

Eliza Southwell died in 1852 at the birth of her ninth child, Jabez, and is buried together with Jabez in St John's Churchyard, Reid (Anglican), it being the only consecrated ground at the time. Thomas remarried to Mary Croxton (nee Rolfe), a widow with two children, and commenced a second family of another nine children¹⁹.

Thomas Southwell together with three brothers and a nephew who emigrated from England have established one of the largest family dynasties in Australia who can trace their origins back to the early pioneering days in rural southeast Australia. Reunions of the family originating from Thomas Southwell still gather and celebrate their ancestor's arrival in the Ginninderra region of the ACT²⁰.

Thomas Southwell died in 1881. Following his death, Parkwood was subdivided between his four eldest sons in acknowledgement of their part in establishing Parkwood. However, the youngest son, Mark, bought his brothers out and he remained there until 1905 when a severe bushfire burnt out most of the property. Parkwood was then sold to Edwin Davis and for five years (1905-1910) out of family hands until James Kilby (a descendant) purchased it. As James' brothers, Clyde, Bruce and Cleon progressively moved back to Parkwood, the property was run by Kilby Bros. Cleon retired and left his share of the property to his brother Robert.²¹

The property remained with the family until 1969 when Robert Southwell, son of Cleon, sold all but 40 acres (16 ha) to Matthew Abell & Co, Hardwicke Stud. Since 1984 the property has been in the ownership of E Notaris of Canberra²².

[PD to comment on recent ownership of NSW land and current ownership by
Corkhills (Riverview Group)]

¹⁷ Coulthard-Clark 1990, p. 27

¹⁸ Gillespie 1988b

¹⁹ Australian Heritage Database, www.environment.gov.au

²⁰ The Southwell Family Society <http://southwellfamilyociety.org/>, Accessed 23-11-13

²¹ Gillespie 1998b

²² Australian Heritage Database *op cit*

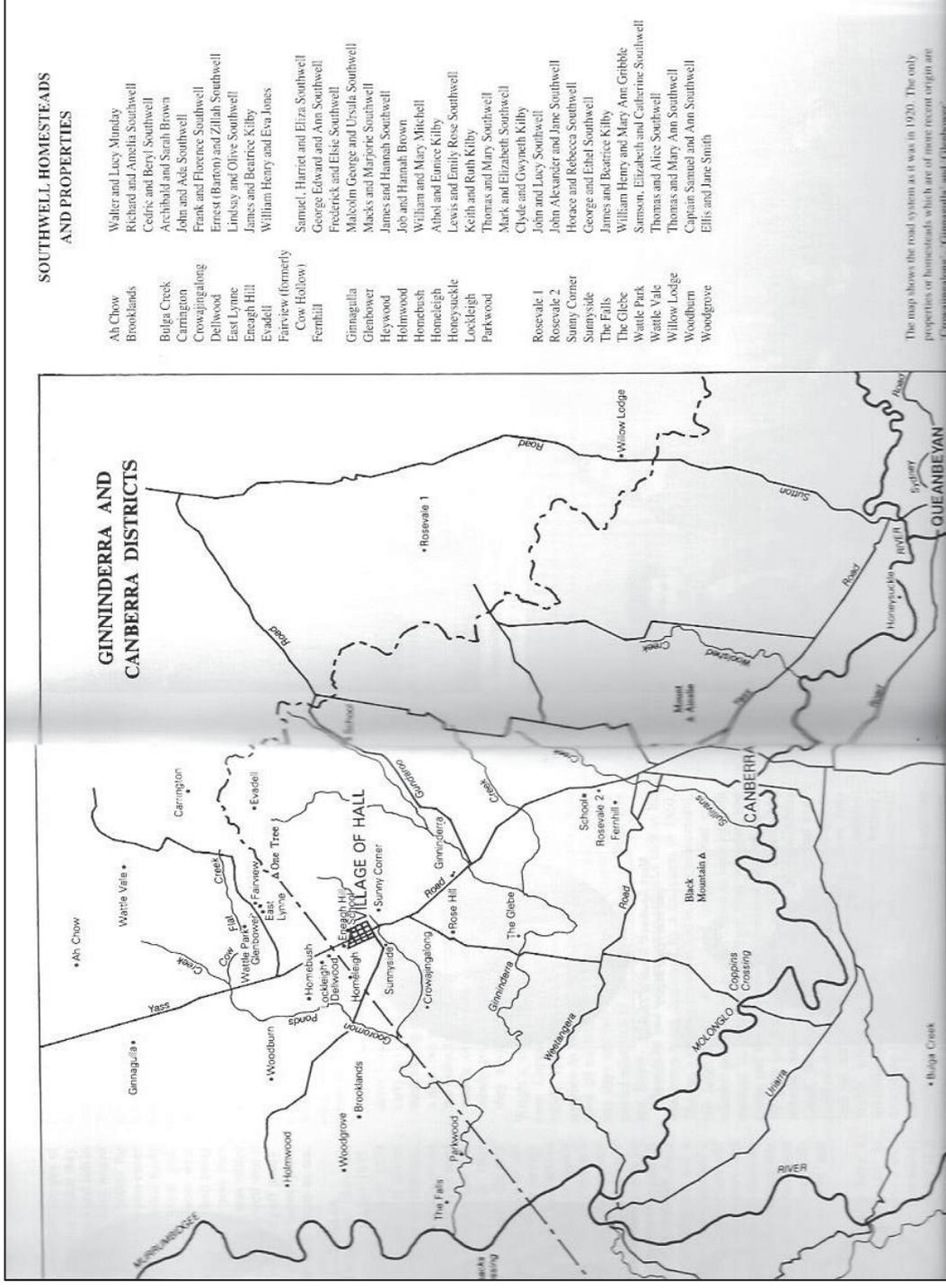


Figure 11: Area of Southwell family and relatives holdings and properties in the ACT and NSW (Gillespie 1988b)

3.0 PHYSICAL EVIDENCE

3.1 Setting/Landscape

This study area encompasses a largely open, undulating and predominantly grassy landscape that is bounded by the ACT-NSW border to the east, Ginninderra Creek to the north and the Murrumbidgee River to the southwest. The western boundary initially follows the eastern-most pine shelterbelt at 'Ginninderry' fronting Ginninderra Creek then turns along the Parkwood Road before following a meandering line to the southwest down to the Murrumbidgee River.

Numerous dams are dotted throughout the site with a principal, more westerly, creek draining in a southwesterly direction to the Murrumbidgee River. Another, smaller, creek just to the west of the border also drains to the river. Parkwood Road divides the site into generally gentler, flatter country to the north and a much more incised, rolling landscape – particularly at the main creek - to the south. Views from the land south of Parkwood Road lead to the Murrumbidgee River valley and across over undulating country culminating in the rugged forested ranges of the Brindabella system along the horizon.

Remnant woodland within the study area, of the Blakely's Red Gum (*Eucalyptus blakelyi*) – Yellow Box (*E. melliodora*) alliance, persists mainly around the principal creek valley and on the precipitous river-facing slopes further south. Exotic vegetation is prominently represented by the lines of relatively young Monterey Pine (*Pinus radiata*) adjoining the study area to the northwest and sporadic willows along Ginninderra Creek.

There are no farmhouse groups within the study area though there are several important early homesteads in the vicinity. Foremost of these, and prominent from Parkwood Road after crossing the border, is the *Parkwood* complex of structures with its compact associated exotic vegetation (refer Figure 12 and Figure 13) and the closely associated *Kilby Park* (refer Figure 14) both to the north just across Ginninderra Creek. A chain of cleared hills picturesquely forms a backdrop to views of *Parkwood* and *Kilby Park*. To the east within the ACT, and hardly visible from the study area, is the *Belconnen Farm* group.

The West Belconnen Resource Management Centre (WBRMC) dominates views along part of the border with the ACT while there otherwise appear to be no obvious divisions between land on either side of the border or other NSW lands further west with the landscape generally forming one continuum.



Figure 12: The Parkwood homestead group with its characteristic exotic vegetation and backdrop of cleared hills viewed from just past the NSW side of the ACT border. Parkwood Road is in the foreground.

Source: Geoffrey Britton, 2013



Figure 13: Panoramic view of the northern part of the study area with its flatter, gentler topography looking towards the *Parkwood* homestead group (left) and nearby *Kilby Park* (right). Ginninderra Creek (with characteristic willows) is in the middleground extending from the left-side edge across to the right then returning past *Kilby Park* to its right before crossing the ACT border. All of this landscape forms part of the traditional setting for these two homestead groups.

Source: Geoffrey Britton, 2013



Figure 14: Detail view of *Kilby Park* with Ginninderra Creek in the foreground and middleground at right.

Source: Geoffrey Britton, 2013



Figure 15: Panorama looking south from Parkwood across Ginninderra Creek and the grassed ridge of the northern part of the study area with typical views of the enclosing western mountain ranges beyond.

3.2 Evolution of the Cultural Landscape

Enduring intrinsic attributes of the landscape that would have been present at the time of the first European incursions into the northern 'Limestone Plains' in the 19th century include the eroded and weathered landforms, the dendritic drainage patterns, rocky gorges, sporadic persistent woodland trees with a riparian vegetation community closer to the main drainage corridors and, in a broader context, extensive views connecting the site with the distant mountain ranges beyond.

Where creeks and their tributaries have incised through the undulating landscape they have exposed rocky terrain of mainly volcanic origin. This is especially noticeable as the creeks approach the Murrumbidgee River. The broader Belconnen-Ginninderra area is also known to be of considerable geological and geomorphological interest.²³

Land included within the study area adjoins that within the ACT that has been described as a Tableland Dry Tussock Grassland with Tableland Riparian Woodland along the Murrumbidgee River (and into the larger tributary creeks such as Spring Creek) and patchy areas of Tableland Grassy Woodland with Blakely's Red Gum and Yellow Box) and Tableland Woodland with Black Cypress Pine (*Callitris endlicheri*).²⁴

The northern two thirds of the study area fall within an area that was once part of Charles Sturt's 1837 land grant. The western boundary of this grant is actually still delineated within the present landscape and is interpreted by way of a fence alignment extending from Ginninderra Creek to the lower part of the ACT border as it approaches Spring Creek (within the ACT). The northern-most part of this alignment is further reinforced visually by one of the pine shelterbelts at 'Ginninderry'. The grant boundary line soon became the western boundary line of Charles Campbell from 1838 and it was likely during the Campbell period (1838-1912) that it was initially fenced. (As late as 1904, the map for the Parish of Weetangera still noted the Charles Sturt grant area under his name.) The pine windbreaks forming the northwest boundary of the study area were planted from the 1980s and all of the larger dams were also constructed after this time.

Aerial photography from 1985 shows Parkwood Road with a different alignment to that which presently remains. The current road alignment has smoothed out into broad engineered curves the earlier more abrupt alignment of tight curves and short sections of straight road. The meandering access road to *Parkwood* and *Kilby Park* from off the realigned Parkwood Road appears to be much older.

²³ Geological Society of Australia, *A Geological Guide to the Canberra Region and Namadgi National Park*, GSA Canberra Division, 2008; Geosciences Australia, Geology & Geophysics, Geological maps 1:100,00 series, Canberra Sheet 1992 and Brindabella Sheet 1979; Department of Urban Services, *Murrumbidgee River Corridor Management Plan*, Conservation Series No. 12, Australian Capital Territory Government, 1998, p. 74

²⁴ Environment and Recreation, Territory and Municipal Services, *ACT Aquatic Species and riparian Zone Conservation Strategy*, Action Plan No. 29, TAMS, Canberra, 2007, p. 29



Figure 16: Aerial Photograph, 1985

Source: NLA Belconnen CAC/C 2777 Run 2 Frame 035, 1985

3.3 Structures

There are a few structures in the NSW land site as outlined below. Their location is shown in Figure 17.

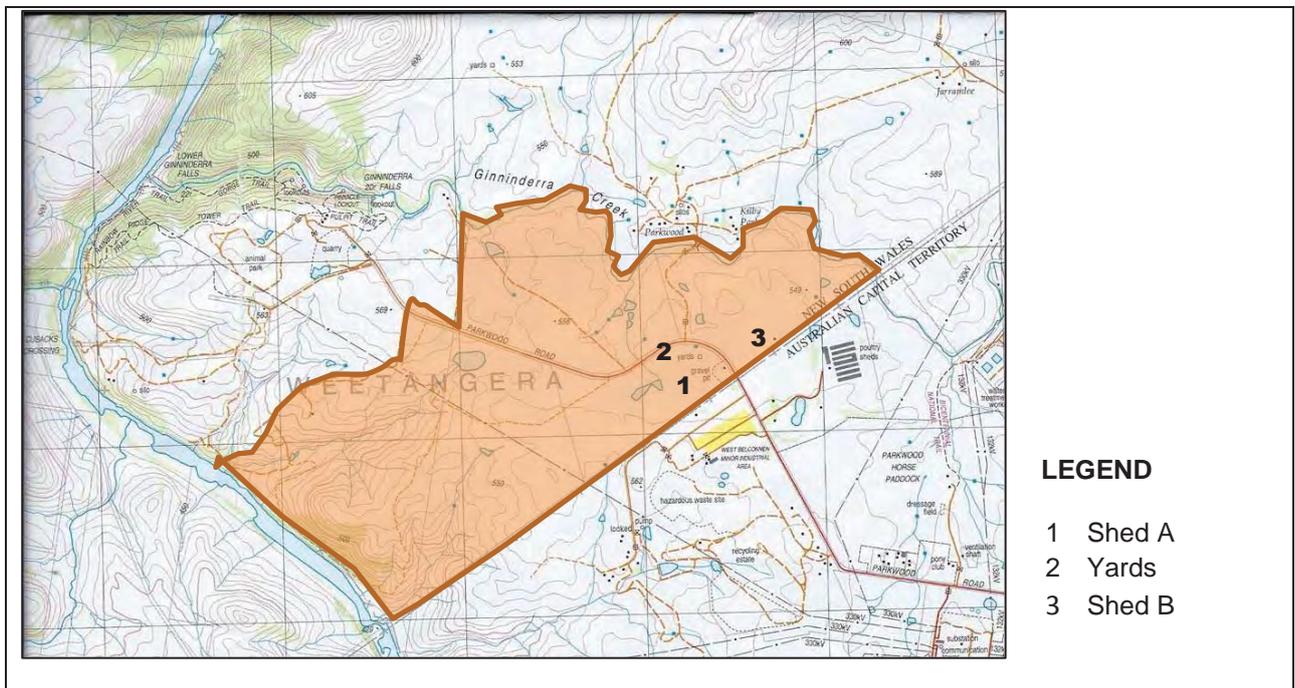


Figure 17

Source:

- 3.3.1 **Shed A** Timber framed corrugated galvanized metal clad building in two sections and a small adjacent shed.



3.3.2 Yards Post and rail timber yards and race.



3.3.3 Shed B Colourbond farm shed with gable roof and large tank. Site is fenced.





4.0 ASSESSMENT

4.1 Criteria

To establish the significance of West Belconnen it is necessary to analyse the information from the preceding sections. The analysis is against the criteria for the NSW Heritage Register²⁵ as the place is located in NSW.

The criteria that are currently applicable for the NSW Heritage Register are those specified in Part 3A of the NSW Heritage Act (as amended in 1998): The State Heritage Register is established for listing of items of environmental heritage²⁶ which are of state heritage significance²⁷.

To be assessed for listing on the State Heritage Register an item will, in the opinion of the Heritage Council of NSW, meet one or more of the following criteria²⁸:

- a) an item is important in the course, or pattern, of NSW's cultural or natural history;
- b) an item has strong or special association with the life or works of a person, or group of persons, of importance in NSW's cultural or natural history;
- c) an item is important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in NSW;
- d) an item has strong or special association with a particular community or cultural group in NSW for social, cultural or spiritual reasons;
- e) an item has potential to yield information that will contribute to an understanding of NSW's cultural or natural history;
- f) an item possesses uncommon, rare or endangered aspects of NSW's cultural or natural history;
- g) an item is important in demonstrating the principal characteristics of a class of NSW's
 - cultural or natural places; or
 - cultural or natural environments.

An item is not to be excluded from the Register on the ground that items with similar characteristics have already been listed on the Register.

4.2 Assessment

4.2.1 Historical Value

Within the NSW lands comprising lots 1, 2, 3 and 7 there remains evidence of the earliest permanent phase of development from Charles Sturt's 1837 land grant and Charles Campbell's Belconnen estate (1838-1912). This is principally manifest by way of the extant fence line between Ginninderra Creek and the ACT border that marked the western boundary of the grant and the estate. (Note that Figure 6 is not correct and the detail is in Figure 10).

The study area also holds value as retaining part of the earlier entry road to Parkwood and Kilby Park as well as the track to Cusack's Crossing. The northern section of the study area forms an integral part of the traditional visual setting of the early farms of Parkwood and Kilby Park.

4.2.2 Aesthetic Value

Considerable aesthetic value is attached to the NSW lands comprising lots 1, 2, 3 and 7 where the site adjoins the Murrumbidgee River valley and Ginninderra Creek and also in those more rugged

²⁵ <http://www.heritage.nsw.gov.au/docs/criteria.pdf>

²⁶ **environmental heritage** means those places, buildings, works, relics, moveable objects, and precincts, of state or local heritage significance (Section 4, *Heritage Act, 1977*).

²⁷ **state heritage significance**, in relation to a place, building, work, relic, moveable object or precinct, means significance to the State in relation to the historical, scientific cultural, social, archaeological, architectural, natural or aesthetic value of the item (Section 4A(1), *Heritage Act, 1977*).

²⁸ Guidelines for the application of these criteria may be published by the NSW Heritage Office

parts of the principal creek line. The site also retains impressive views to the distant high mountain ranges such that these should be regarded as a part of the site's scenic landscape setting.

4.2.3 Social value

The master planning of the area has involved considerable consultation from a very wide range of stakeholders. This has revealed that the edges of the study area adjoining the Murrumbidgee River corridor hold considerable value for a broad community of interest. Some of this community interest in the site has been expressed through the media²⁹ and in proposals for a Murrumbidgee-Ginninderra National Park concept that would adjoin and continue the Woodstock Nature Reserve across the ACT border³⁰.

4.2.4 Scientific Value

Archaeological research potential is covered by others.

Indigenous flora and fauna research potential covered by others.

Parts of the study site would hold ecological value as a part of the Murrumbidgee River corridor system where there would also be educational value for geology and geomorphology.

4.2.5 Overview

The natural values associated with the Murrumbidgee have been assessed by others and a river corridor defined to protect these values (refer Figure 4).

Our assessment of the remaining part of NSW land heritage values is:

Site Component	Grade of Significance
• 1837 Sturt grant boundary/Campbell estate western boundary line (interpreted by the existing fence line)	High
• Traditional setting/curtilage for Parkwood & Kilby Park	High
• Traditional views to distant ranges	High
• Traditional views to Murrumbidgee River valley	High
• Indigenous woodland & riparian vegetation within river corridor	High
• Early access toward Cusack's Crossing	Moderate
• Earlier (unsealed) access to Parkwood & Kilby Park	Moderate
• Willows within Ginninderra Creek	Moderate
• Associational values with Southwell and Kilby families	Moderate
• Indigenous woodland & riparian vegetation outside river corridor	Low
• Monterey Pines adjoining site to the northwest	Low
• Buildings and Structures	Low
• Views into West Belconnen Resource Management Centre site	Intrusive
• Environmental weeds throughout	Intrusive

²⁹ <http://www.smh.com.au/travel/blogs/yowie-man/ginninderra-falls-for-all-of-us-20120711-21veg.html>

³⁰ Ginninderra Falls Association, Murrumbidgee-Ginninderra Gorges National Park: A proposal, no date, pdf downloaded from www.parliament.act.gov.au/.../04_Ginninderra_Falls_Association.pdf

4.3 Conclusion

There is no part of the NSW land outside the proposed river corridor that meets the threshold of satisfying any of the criteria for listing on the NSW Heritage Register or the Heritage Schedule to the Yass Valley LEP 2013.

However there are elements of the NSW land that should be retained, interpreted and integrated into any future development of the area. These include:

- The western boundary of Sturt/Campbell land.
- The alignment of the original access road to Parkwood/Kilby Park.
- Some tree planting along Ginninderra Creek to protect views from Parkwood/Kilby Park
- Retention of vistas/views to distant ranges and the Murrumbidgee River valley.
- The ACT border alignment.

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Attachment 1 Brief

REQUEST FOR FEE SUBMISSION

For

EUROPEAN HERITAGE SERVICES

For

**BLOCKS 1605, 1606, 1607 & 1420
Part BLOCK 1613
DIVISION OF BELCONNEN ACT**

ACT PARKWOOD

**BLOCKS 853, 856, 857, 558, 859, 860, 1329,
1333, 1440, 1621, 1622 & Part BLOCK 7 Sec 149**

NSW LAND

**LOTS 1, 2, 3 & 7
DP771051, Parish of WEETANGERA,
SHIRE OF YASS VALLEY, NSW**

NSW NEIGHBOURS LOTS

LOTS 4, 5, 61, & 62

Date of Issue: JULY 2013

Prepared by

Riverview Group
P.O. Box 3908
Manuka ACT. 2603

REQUEST FOR FEE SUBMISSION

1.0 BACKGROUND

The ACT site includes all of Blocks 1605 and 1606 Belconnen District. It is bounded:

- On the east by Stockdill Drive and the Belconnen Magpies Golf Course (a portion of which was recently rezoned for residential development)
- On the south by the Murrumbidgee River
- On the west by the ACT border
- On the north by the Canberra substation, Parkwood road and the Belconnen landfill site.

ACT Blocks Lots 1605 and 1606 are currently held by Corkhill entities as a rural lease the area of this land is 670ha. The Corkhill Group through entity Reid & Stevens P/L also owns 330ha of land in NSW Blocks Lots 1, 2, 3 & 7 which is adjacent to the rural lease land. This land, together with an area of neighbouring NSW land lots 4, 61 & 62 which is approximately 270ha is bounded by the Murrumbidgee River and Ginninderra Creek; it is a “peninsula” that is only accessible from the ACT.

Immediately to the north of the site, across Parkwood Road, is an area of territory land which is largely unleased and undeveloped but which has possible urban potential and has been identified as such in the ACT Planning Strategy. This land is bounded by Parkwood Road, West Macgregor, Ginninderra creek and the Parkwood Egg farm.

On the 15 May 2013 Corkhill, Reid & Stevens and ACT Government signed a Heads of Agreement which requires the following:-

- a) The parties have agreed to develop land in accordance with project objectives to ACT.
- b) Reid & Stevens can develop NSW land into residential, commercial lots at a prescribed time.
- c) Riverview Group part of the Corkhill Group act as Development/ Project Managers acting on behalf of the ACT Government through their agency Land Development Agency to develop ACT land for residential uses for Blocks 1605 & 1606.

Riverview Group has commenced the rezoning process and the attached request for fee submission is the first stage.

2.0 PROJECT OBJECTIVES

The fee submission shall be aware of the project objectives which are attached in annexure A.

3.0 THE SERVICES

The Consultant must provide the Services described in Schedule B attached scope of works.

4.0 PERFORMANCE OF THE SERVICES

4.1 Professional Services

The Consultant must perform the Services with the degree of professional skill, care and diligence expected of a consultant experienced in providing the same or similar services. The Consultant acknowledges that Riverview Group is reliance upon the Consultant's representation that it has the skill, experience and ability to provide the Services.

4.2 Nominated Personnel

The Consultant must provide details in fee submission of the relevant personnel proposed to perform the Services. This includes and not limited to Curriculum Vitae but maybe also references.

5.0 RIVERVIEW GROUP ROLE

Riverview Group is the appointed Development/ Project managers for the project and all instructions will be via Riverview Group only.

The Principal shall be the Land Development Agency for ACT land and Reid & Stevens for NSW Land. The Principal in both cases will be responsible for the payment of all consultants' invoices.

6.0 SCOPE OF RESPONSIBILITY

The Consultant indemnifies Riverview Group, LDA & Reid & Stevens against all claims, liability or loss in respect of personal injury (including death) to any person or damage to any property (other than the Project) arising out of or in connection with the Services, to the extent that the same is due to the negligence or default of the Consultant or its employees, agents or contractors.

The Consultant will be liable for the care of all drawings, specifications and other documents prepared by the Consultant or entrusted to it by Riverview Group or LDA until they are returned by the Consultant to Riverview Group.

7.0 VALUE FOR MONEY

The consultant in the fee submission must provide statement where there company fee submission provides LDA with value for money for the services. Refer to Schedule E item 7.

8.0 INSURANCES

8.1 Public Liability

The Consultant must effect and maintain public liability insurance with a limit of indemnity of not less than the amount stated in Schedule C to this Agreement.

8.2 Employees and Agents

The Consultant must effect and maintain insurance against any liability which may arise at common law or by virtue of any relevant workers or accident compensation legislation, in respect of any person employed by the Consultant in connection with the Services.

8.3 Professional Indemnity

The Consultant must effect and maintain professional indemnity insurance with a limit of indemnity of not less than the amount stated in Schedule C to this Agreement in respect of legal liability arising from a breach of professional duty or negligence whether that duty is owed in contract or otherwise by reason of any act error or omission by the Consultant or its employees, agents or contractors.

9.0 WORK HEALTH AND SAFETY ACT 2011 (WHS)

The Consultant fee submission must provide and allow for all the requirements of the WH&S ACT 2011.

10.0 ACT & NSW Statutory Requirement

The Consultant fee submission must allow for relevant statutory requirement by the Federal, ACT & NSW governments.

11.0 ACT PROCUREMENT Act 2001

The requirements of the ACT Procurement Act are included in fee submissions.

12.0 ACT BUILDING AND CONSTRUCTION INDUSTRY (SECURITY OF PAYMENTS) ACT. 2009

The requirements of the ACT Building and Construction Payments (Security of Payments) Act are included in fee submissions.

13.0 QUALITY

The Consultant must prepare and implement to the satisfaction of Riverview Group a quality assurance system for the Services and include in the fee submission.

14.0 CONFIDENTIALLY AGREEMENT

The Consultant must be prepared to sign a confidentially agreement attached to Annexure D if fee submission successful.

15.0 CONFLICT OF INTEREST

The Consultant must declare in fee submission any matter connected with the performance of the Services, which could give rise to an actual or potential conflict of interest.

16.0 FEES AND PAYMENT

16.1 The fee submission for the Services is to be lump sum with any assumptions, clarifications or exclusions to be clearly defined.

16.2 The fee submission for services shall include all disbursements.

16.3 Provide with fee submission any hourly rates that maybe applicable for change of scope works.

16.4 Fee submission shall be fixed for a period of 120 days.

16.5 At monthly intervals the Consultant may submit a tax invoice for the Fees due and the GST thereon for Services provided accompanied by information sufficient to allow Riverview Group to verify each invoice to its satisfaction. The tax invoice must contain be addressed as follows:

1) ACT LAND
Land Development Agency
c/- Riverview Group
P.O. BOX 463
WAHROONGA NSW 2076

2) ACT PARKWOOD LAND
Land Development Agency
c/- Riverview Group
P.O. BOX 463
WAHROONGA NSW 2076

3) NSW LAND
Reid & Stevens Pty Ltd
c/- Riverview Group
P.O. BOX 463
WAHROONGA NSW 2076

SCHEDULE A

Find attached Project objective for West Belconnen ACT - Corkhill



The Belconnen Project Sustainability Vision

“Creating a sustainable community of international significance in the Nation’s capital.”

The Riverview Group, working with the ACT and NSW Governments, will develop the site at Belconnen to achieve a vision of inspiring sustainable living, development practice and awareness. Achieving a high quality of life for the people living at Belconnen is at the heart of our project planning and design.

We will create a community that exemplifies World’s Best Practice in its design, construction and long-term liveability. As a model of sustainable community living it will be a place and community that can be showcased throughout Australia and internationally.



Project objectives:

To achieve our Vision we will challenge conventional industry thinking. We will employ practices, processes and systems that embody innovation and design excellence.

This project has been conceived and will be delivered on a fully integrated and audited triple bottom line basis.

Our project will:

- » Be sustainable over time, socially, economically and ecologically (with a low and reducing ecological footprint)
- » Respond to the local and global environment
- » Provide for future beneficial change to occur in design, infrastructure and regulatory mechanisms
- » Be cost effective, replicable and measurable
- » Act as a new model that others can follow.

Guiding Principles for Sustainable Results

The principles below will direct decision-making by all project management, sub-consultants and referral agencies in the delivery and development of the Belconnen site. They reflect national priorities and Federal, State and Territory Government policies on housing affordability, climate change and environmental protection.

PARTNERING PRINCIPLES

- Ptnr 1. Partnering is essential to this project and the scale and timeframe will allow for positive partnerships to grow and thrive
- Ptnr 2. Partnering with public agencies is a cornerstone of our approach
- Ptnr 3. Engaging the community in design and governance is fundamental to the delivery of the project.
- Ptnr 4. Designing the project for community ownership and ultimate community control
- Ptnr 5. Supporting community housing through public and private partnering arrangements
- Ptnr 6. Collaborating with research and educational institutions to drive innovation.

EVALUATION PRINCIPLES

- Eva 1. Identifying and delivering realistic and costed initiatives
- Eva 2. Providing independent peer review of project proposals and project outcomes
- Eva 3. Using recognised international and national benchmarks for sustainability performance to publicly report and raise awareness of project outcomes
- Eva 4. Empowering resident and community monitoring and management of sustainability performance
- Eva 5. Encouraging a culture of continuous improvement.

ECOLOGICAL PRINCIPLES

- Eco 1. Acknowledging the intrinsic value of all species and the special role and regional significance of the Murrumbidgee river corridor and Gininnderra Creek
- Eco 2. Respecting and supporting the ecosystem functions of air, soil and water, recognising the importance of living and non-living environmental resources
- Eco 3. Reducing greenhouse gas emissions through innovative products and place design, material selection and service provision
- Eco 4. Recognising our natural ecological limits and minimising our resource, water and energy consumption
- Eco 5. Using existing local infrastructure to deliver efficient renewable services and reusable resources
- Eco 6. Enhancing local opportunities for food production and production of materials
- Eco 7. Fostering a deep sense of respect for and connection to the land, flora and fauna.

SOCIAL AND CULTURAL PRINCIPLES

- Soc 1. Respecting and honouring Aboriginal and non-Aboriginal cultural, historical and spiritual values, including integrating with the existing rich, social fabric of Belconnen
- Soc 2. Designing for social equity, affordability, diversity and interdependence, honouring differences and catering for the needs of individuals through all stages of life
- Soc 3. Maximising health, safety and comfort of the built environment to provide enduring quality of life
- Soc 4. Instilling awareness and supporting education of sustainability values, technology and lifestyles
- Soc 5. Using creative and robust design solutions to create a continuing sense of place and beauty that inspires, affirms and ennobles
- Soc 6. Designing neighbourhoods that support and encourage community interactions through imaginative, functional and enjoyable public spaces

ECONOMIC PRINCIPLES

- Econ 1. Delivering a financial return to the ACT Government recognising their sovereign interest in the land
- Econ 2. Recognising the opportunities provided by the project's scale and low capital base to achieve high-level sustainability outcomes while delivering profitability to joint venture partners
- Econ 3. Building on existing local infrastructure
- Econ 4. Ensuring long-term economic viability through design excellence and community building
- Econ 5. Minimising obsolescence through design of enduring component life cycle, allowing for disassembly and change
- Econ 6. Integrating with the Belconnen commercial, retail and employment networks
- Econ 7. Growing a formal and informal green economy that fosters local jobs and builds regional learning around green innovation and technology

SCHEDULE B

GENERAL SCOPE

The scope of the Project is as attached Riverview Group Pty Ltd Scope of Works.

West Belconnen Project*“Creating a Sustainable Community of International Significance in the Nation’s Capital”***Research and report on European heritage****Consultancy Scope of Works**

Consultancy name:

European Heritage

Timeframe:

August – October 2013

Task study area:

See attached plan

<u>Parcel</u>	<u>State</u>	<u>Approx. Area</u>
---------------	--------------	---------------------

ACT Land

Block 1605	ACT	665.8 ha
Block 1606	ACT	12.5 ha.
Block 1607	ACT	8.1 ha
Block 1420	ACT	2.7 ha
Pt block 1613	ACT	26.8 ha

NSW Land

Lot 1	NSW	91.8 ha
Lot 2	NSW	80 ha
Lot 3	NSW	80 ha
Lot 7	NSW	80 ha

ACT Parkwood Land

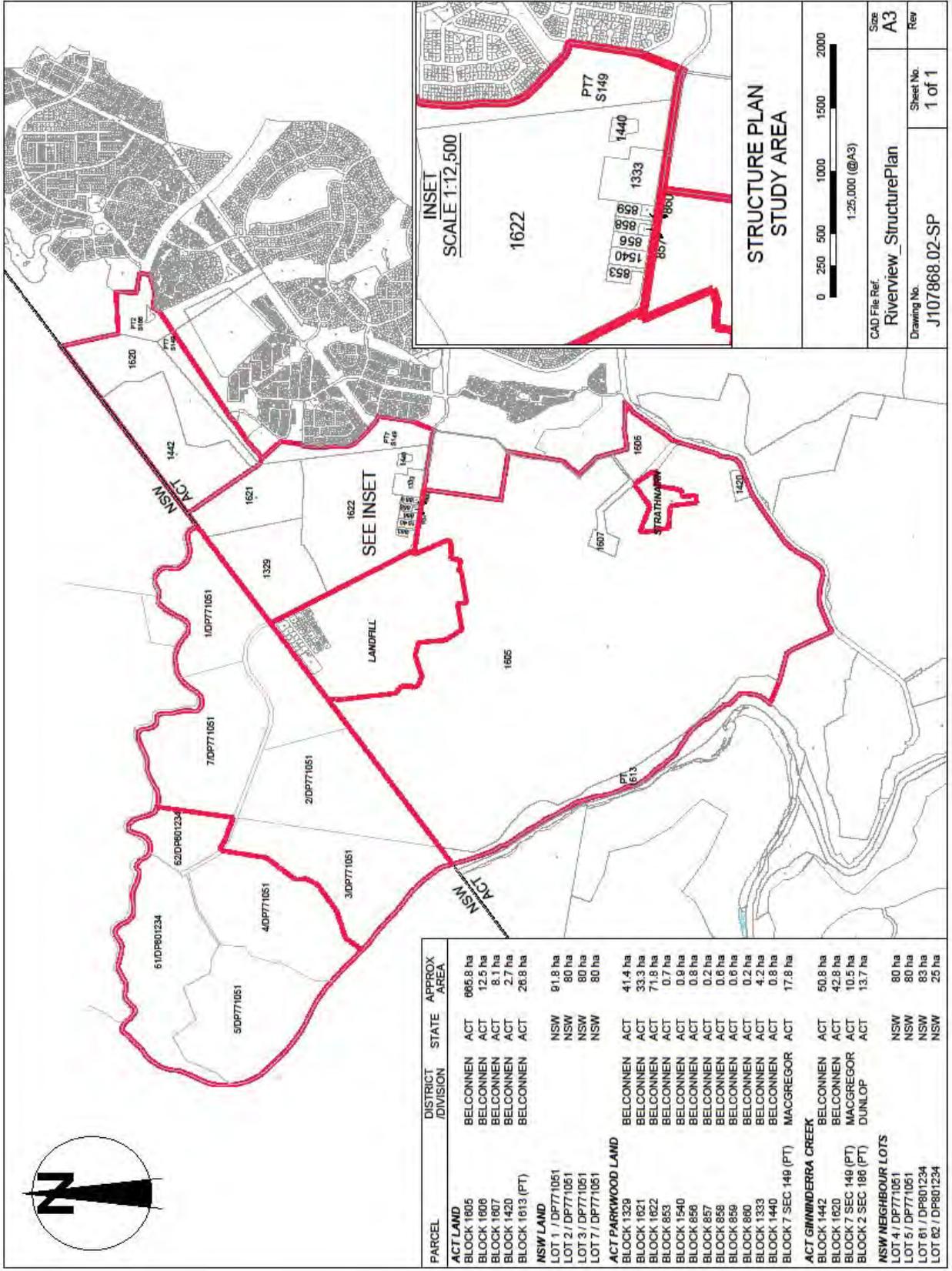
Block 1329	ACT	41.4 ha
Block 1621	ACT	33.3 ha
Block 1622	ACT	71.8 ha
Block 853	ACT	0.7 ha
Block 1540	ACT	0.9 ha
Block 856	ACT	0.8 ha
Block 857	ACT	0.2 ha
Block 858	ACT	0.6 ha
Block 859	ACT	0.6 ha
Block 860	ACT	0.2 ha
Block 1333	ACT	4.2 ha
Block 1440	ACT	0.8 ha
Pt Block 7 Sec 149 Macgregor		20 ha

ACT Ginninderra Creek

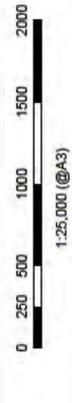
Block 1442	ACT	50.8 ha
Block 1620	ACT	42.8 ha
Pt. Bl. 7 Sec 149 Macgregor		10.5 ha
Pt. Bl. 2 Sec 186 Dunlop		13.7

	<p>NSW Neighbour lots</p> <table border="0"> <tr> <td>Lot 4</td> <td>NSW</td> <td>80 ha</td> </tr> <tr> <td>Lot 5</td> <td>NSW</td> <td>80 ha</td> </tr> <tr> <td>Lot 61</td> <td>NSW</td> <td>83 ha</td> </tr> <tr> <td>Lot 62</td> <td>NSW</td> <td>25 ha</td> </tr> </table> <p>ACT Rural Block Belconnen 1332 (Strathnairn) excluded.</p>	Lot 4	NSW	80 ha	Lot 5	NSW	80 ha	Lot 61	NSW	83 ha	Lot 62	NSW	25 ha
Lot 4	NSW	80 ha											
Lot 5	NSW	80 ha											
Lot 61	NSW	83 ha											
Lot 62	NSW	25 ha											
<p>Background:</p>	<p>The proposal is for the development of the land for residential and related purposes. Of the total area approximately 50% of the ACT land and a lesser proportion of the NSW land is expected to be zoned for river corridor or conservation purposes. The balance of the land is anticipated to yield approximately 4,500 dwellings in the ACT and 3,500+ in NSW.</p> <p>Development is intended to commence at Stockdill Drive (the eastern boundary of the site), and initially extend westward in stages to the ACT/NSW border. Assuming a sales rate of approximately 400 dwellings per year the project will extend over a period of approximately eleven years following commencement of sales. A commencement date for the development of the NSW land is not yet determined.</p> <p>Detailed resolution of the site design, numbers and sizes of blocks, provisions for schools, other community facilities, open space and the like will be subject to the outcomes of a structure planning process and subsequent detailed design for each stage. The first step will be the preparation of a structure plan; this will be a substantial document including plans and supporting technical reports that will provide the basis for proposals for rezoning the land under the Territory and National Capital plans.</p> <p>For the ACT land it will be necessary to achieve rezoning under the Territory Plan and the National Capital Plan, which in turn will require certain environmental approvals to be in place, and development approval for a first stage subdivision. The NSW land will also require rezoning under the Yass valley Shire planning Scheme.</p>												
<p>Task description:</p>	<p>To undertake necessary research and investigations and prepare a report on the European heritage of the study area, incorporating the works completed to date as set out in the background documents listed below.</p> <p>Report to identify any features that are of heritage interest and provide an assessment of appropriate options for the future management of such features in the context of urban development.</p> <p>Report to provide a commentary on the European heritage of the study area that may inform future social and cultural planning for the proposed new community.</p> <p>Report to provide sufficient information to substantiate proposals to rezone the land for urban development including the identification of</p>												

	<p>any requirements for heritage management or protection that should be incorporated into rezoning proposals.</p> <p>Design process</p> <ul style="list-style-type: none"> • Design process to include design workshop/s with the consultant team that will be facilitated by the consultation consultant. Allow three days. <p>Consultation</p> <ul style="list-style-type: none"> • Design process to include public consultation, allow 3 days for participation in public consultation, to be facilitated by consultation consultant . <p>Liaison may be required with agencies as follows (allow 2 X meetings with each):</p> <ul style="list-style-type: none"> • NSW state heritage agencies • ACT heritage unit
Background information	<p>NSW AREA NEAR WEST BELCONNEN Advice on Heritage Matters Eric Martin and Associates 17 February 2011</p> <p>BELCONNEN WEST BLOCKS 1605 & 1606 Advice on Heritage Matters Eric Martin and Associates 28 February 2011</p> <p>BELCONNEN FARM CONSERVATION & MANAGEMENT PLAN Eric Martin and Associates To be finalised shortly</p>
Task Components	<p>Due to differing ownership arrangements this task is to be completed and invoiced in parts; fee submissions should be divided similarly as follows:</p> <ul style="list-style-type: none"> • ACT land • NSW land • NSW Neighbours lots • ACT Parkwood & Ginninderra Creek land



**STRUCTURE PLAN
STUDY AREA**



CAD File Ref.	Riverview_StructurePlan	Size	A3
Drawing No.	J107868.02-SP	Sheet No.	1 of 1
		Rev	

PARCEL	DISTRICT / DIVISION	STATE	APPROX AREA
ACT LAND			
BLOCK 1805	BELCONNEN ACT		665.8 ha
BLOCK 1806	BELCONNEN ACT		12.5 ha
BLOCK 1807	BELCONNEN ACT		8.1 ha
BLOCK 1420	BELCONNEN ACT		2.7 ha
BLOCK 1813 (PT)	BELCONNEN ACT		26.8 ha
NSW LAND			
LOT 1 / DP771051	NSW		81.8 ha
LOT 2 / DP771051	NSW		80 ha
LOT 3 / DP771051	NSW		80 ha
LOT 7 / DP771051	NSW		80 ha
ACT PARKWOOD LAND			
BLOCK 1329	BELCONNEN ACT		41.4 ha
BLOCK 1821	BELCONNEN ACT		33.3 ha
BLOCK 1822	BELCONNEN ACT		71.8 ha
BLOCK 853	BELCONNEN ACT		0.7 ha
BLOCK 1540	BELCONNEN ACT		0.9 ha
BLOCK 856	BELCONNEN ACT		0.8 ha
BLOCK 857	BELCONNEN ACT		0.2 ha
BLOCK 858	BELCONNEN ACT		0.6 ha
BLOCK 859	BELCONNEN ACT		0.6 ha
BLOCK 880	BELCONNEN ACT		0.2 ha
BLOCK 1333	BELCONNEN ACT		4.2 ha
BLOCK 1440	BELCONNEN ACT		0.8 ha
BLOCK 7 SEC 149 (PT)	MACGREGOR ACT		17.8 ha
ACT GIMMIDERRA CREEK			
BLOCK 1442	BELCONNEN ACT		50.8 ha
BLOCK 1820	BELCONNEN ACT		42.8 ha
BLOCK 7 SEC 149 (PT)	MACGREGOR ACT		10.5 ha
BLOCK 2 SEC 186 (PT)	DUNLOP ACT		13.7 ha
NSW NEIGHBOUR LOTS			
LOT 4 / DP771051	NSW		80 ha
LOT 5 / DP771051	NSW		80 ha
LOT 81 / DP801234	NSW		83 ha
LOT 82 / DP801234	NSW		25 ha

SCHEDULE C

MISCELLANEOUS ITEMS

1. Date of commencement of Services:

July 2013.....
(Clause 1.2)

Date by which Services must be completed:

.....As per contractors program for Defect Liability Period sign off and final account
(Clause 1.2)

Services to be carried out in accordance with programme titled:

As required
(Clause 12)

2. **Public liability** insurance with

.....

- Limit of cover (if nothing stated - \$20,000,000):

.....

- Policy number: Expiry Date:.....

3. **Professional indemnity** insurance with

.....

- Limit of cover (if nothing stated - \$10,000,000):

.....

- Policy number..... Expiry Date:.....

- The insurance to be maintained under clause 5.3 must provide that there is at least one automatic reinstatement per annum of the limit of liability.

4. Product Liability insurance with

.....

- Limit of cover (if nothing stated - \$20,000,000):

.....

- Policy number..... Expiry Date:.....

- The insurance to be maintained under clause 5.3 must provide that there is at least one automatic reinstatement per annum of the limit of liability

5. Workers Compensation insurance with

.....

- Policy number..... Expiry Date:.....

- The insurance to be maintained under clause 5.3 must provide that there is at least one automatic reinstatement per annum of the limit of liability

SCHEDULE D

CONFIDENTIALLY AGREEMENT

DEED OF CONFIDENTIALITY

THIS DEED is made on 2013

BY:

of

(Confidant)

IN FAVOUR OF:

LAND DEVELOPMENT AGENCY ABN 20 419 925 579 of TransACT House, 470 Northbourne Avenue, Dickson ACT 2602 (**LDA**)

BACKGROUND

- A. Information to be provided by the LDA or to be made available to the Confidant will include confidential or personal information belonging to, or in the possession of, the LDA.
- B. The LDA and the Confidant agree that it is necessary to take all reasonable steps (including the execution of this Deed) to ensure that the LDA's confidential information is kept confidential.

IT IS AGREED AS FOLLOWS:

1. Interpretation

1.1 The following definitions apply in this Deed unless the context otherwise requires.

“confidential information” means the kind of information that:

- (1) is or relates to documents, submissions, consultations, policies, strategies, practices and procedures of the LDA which are by their nature confidential;
- (2) is notified (whether in writing or not) by the LDA to the Confidant as confidential;
- (3) the Confidant knows or ought to know is confidential; or
- (4) is personal information,

but does not include information which:

- (5) is or becomes public knowledge other than by breach of this Deed;
- (6) has been independently developed or acquired by the Confidant; or
- (7) has been notified in writing by the LDA to the Confidant as being not confidential.

“**Territory**” means:

- (1) when used in a geographical sense, the Australian Capital Territory; and
- (2) when used in any other sense, the body politic established under the *Australian Capital Territory (Self-Government) Act 1988* (Cth).

1.2 In this Deed, unless the context otherwise requires:

- (1) words in the singular number include the plural and vice versa; and references to legislation or to provisions in legislation include references to amendments or re-enactments of them and to all regulations and instruments issued under the legislation;
- (2) clause headings are for convenient reference only and have no effect on the interpretation of the provisions to which they refer; and
- (3) a reference to a “person” includes a body corporate.

2. Non-disclosure of confidential information

- 2.1 The Confidant must not, at any time during or after the provision of the Services, without the prior written consent of the LDA, nor at any time after the expiration of this Deed, disclose the confidential information to any person nor remove the confidential information from the possession or premises of the LDA.
- 2.2 The LDA may grant or withhold its consent for purposes of clause 3.1 in its absolute and unfettered discretion. If the LDA grants its consent, it may impose conditions on that consent and the Confidant must comply with those conditions.
- 2.3 The Confidant will maintain strict confidentiality regarding the confidential information.
- 2.4 The obligations of the Confidant under this Deed will not be taken to have been breached where the confidential information is legally required to be disclosed.
- 2.5 The Confidant must immediately deliver to the LDA all documents in his/her control containing the confidential information as soon as they are demanded by the LDA (whether in writing or not).

3. Restrictions on use

The Confidant will use the confidential information only for the purposes of undertaking the Services, and as otherwise directed by the LDA.

4. Indemnity

The Confidant will indemnify and keep indemnified the LDA, its employees and agents in the event of all claims, costs and expenses made against any of them in respect of injury, loss or any damage suffered by any person as a consequence of the Confidant breaching this Deed, except to the extent to which a relevant claim arises out of the act or omission of the LDA.

5. Legal proceedings

The Confidant acknowledges that the LDA may take legal proceedings against the Confidant or third parties if there is any actual, threatened or suspected breach of this Deed, including proceedings for an injunction to restrain such breach.

6. Governing law

This Deed is governed and construed in accordance with the law for the time being in force in the Territory and the parties submit to the non-exclusive jurisdiction of the Courts of the Territory.

SIGNED as a Deed on the date written on page 1.

.....)
Print Name in Full)	Signature of Confidant
)	
in the presence of:)	
)	
)	
.....)	
Signature of witness)	

.....
Name of witness

SCHEDULE E

1. FEE SUBMISSION

1.1. Fee Calculation General

The remuneration of the Consultant is the total of the amounts referred to in Clause 1.2 below. All amounts are GST exclusive.

1.2. Fee Breakdown

- ACT LAND :-
- PARKWOOD (LDA) :-
- NSW LAND (REID & STEVENS P/L) :-
- NSW LAND (Neighbours) :-

2. Hourly Rates

The following hourly rates shall be used as a basis for valuation of any additional approved works for which an hourly rate reimbursement basis is agreed to be appropriate. These rates shall remain fixed until Project completion:

Director	-	\$ 0.00
Associate Director	-	\$ 0.00
Senior Architect	-	\$ 0.00
Architect	-	\$ 0.00
Technician	-	\$ 0.00
CAD Operator	-	\$ 0.00
Administration	-	\$ 0.00

Fee inclusive of support staff and costs and expenses

The Consultant's remuneration is inclusive of the cost of all necessary clerical and supportive staff (such as clerks and stenographers) and all statutory and other costs (such as payroll tax, holiday pay, sickness benefits, long service leave, superannuation, and fringe benefits tax). The Consultant shall at its own expense provide all necessary facilities such as office accommodation, telephone, and facsimile services required for the performance of its obligations under this deed.

7. VALUE FOR MONEY

The fee submission shall include a details and statement regarding Value for money for LDA for the services being provided.

- i) The Consultant must detail their proposed methodology including:-
 - a) Purpose, role and subject matter;
 - b) Proposed study strategy, consultation tools and method;
 - c) Value added features

- ii) Demonstrate record of consultancy experience and competencies to relevant studies:-
 - a) Previous work of similar type;
 - b) Project resources details;
 - c) Reference from three previous clients undertaking similar roles on similar size project.

- iii) The Consultant to provide individual consultant skills and experience for similar projects:-
 - a) Provide resumes for each consultant team member proposed for scope of works including and not limited to qualifications, skills and experience;
 - b) Availability of nominated consultants team members for the scope of works;
 - c) Structure proposed by your consultant team for the project;

- iv) The Consultant to demonstrate support resources for delivery of the scope of works within the proposed timeframe:-
 - a) As per clause 4 Program provide detailed program of tasks;
 - b) Provide an indication of the relationship between time, scoped task and team members;
 - c) Capacity and resources to respond to critical matters at short notices or adjust delays.

- v) The consultant to demonstrate how life cycles costs will be considered in the scope of works

- vi) The Consultant to provide details that they understand the obligations of the Project Objectives and provide details how they will manage their scope of works to assess compliance or review of these Project Objectives.

8. FEE SUBMISSION

The fee submission shall be submitted by the 26/07/13.

The fee submission can be issued by mail, fax or email to the following:-

Mail :- Riverview Group
P.O. BOX 463
WAHROONGA NSW 2076

Fax :-

Email:-

9. CONTACT POINT

West Belconnen European Cultural Heritage Report

ACT Parkwood Land:

Blocks 853, 856, 857, 858, 859, 860, 1329, 1333, 1440, 1540, 1621, 1622 and Part Macgregor Block 7 Section 149



Prepared by

Eric Martin and Associates

For

The Riverview Group

EMA

ERIC MARTIN & ASSOCIATES
ARCHITECTS

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ISSUE 3

13108

17 February 2014

FINAL DRAFT

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1.0 INTRODUCTION

1.1 Background

The Riverview Group are developing a proposal for rezoning land in West Belconnen and adjacent NSW for residential development. To assist this task they have requested research and investigation into the area and preparation of a report on European Heritage. The overall site includes four distinct areas divided by ACT and NSW land and land ownership.

1.2 Brief

1.2.1 Site

A summary of the brief is outlined below with a full copy in Attachment 1. The initial brief was expanded to include ACT Land Blocks 1605 and 1606.

The site for this study includes ACT Parkwood Land Blocks 853, 856, 857, 858, 859, 860, 1329, 1333, 1440, 1540, 1621, 1622 and part McGregor Block 7 Section 149 (refer Figure 1 for a plan of the overall site). The area included in this report (Parkwood Land) report is shown in Figure 2 and Figure 3.

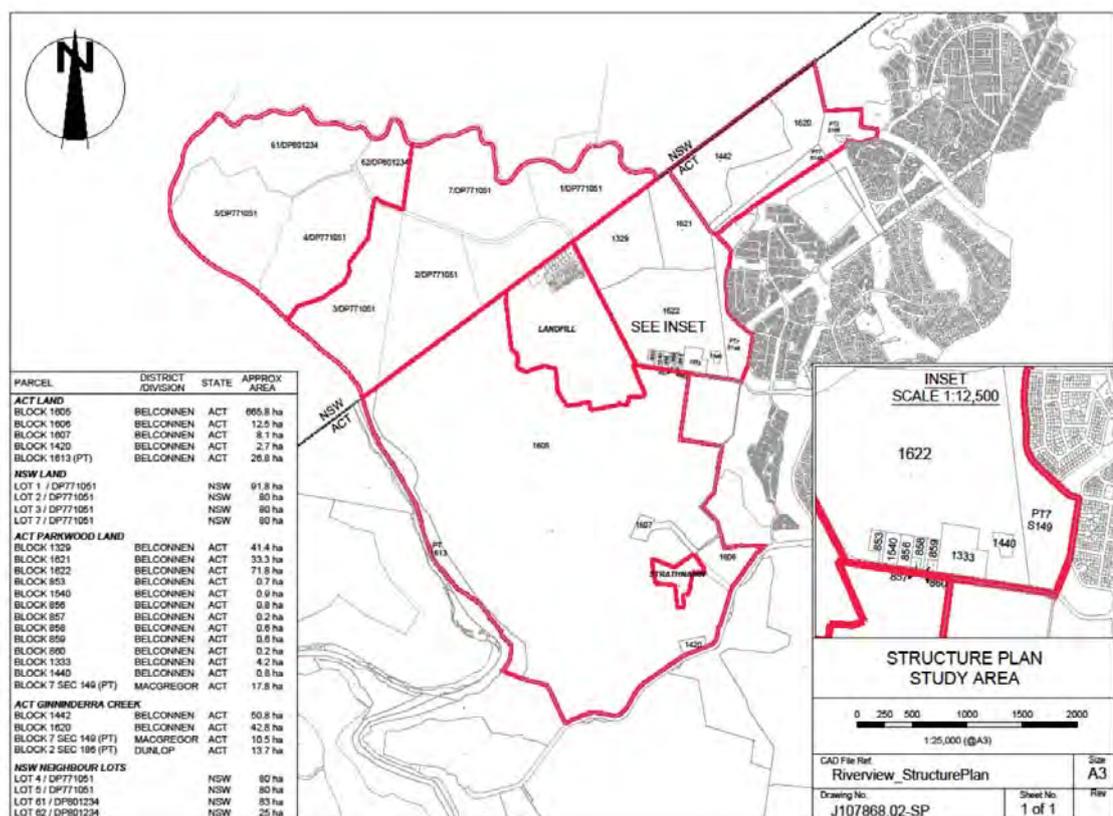


Figure 1: Overall Site

Source: The Riverview Group, 2013

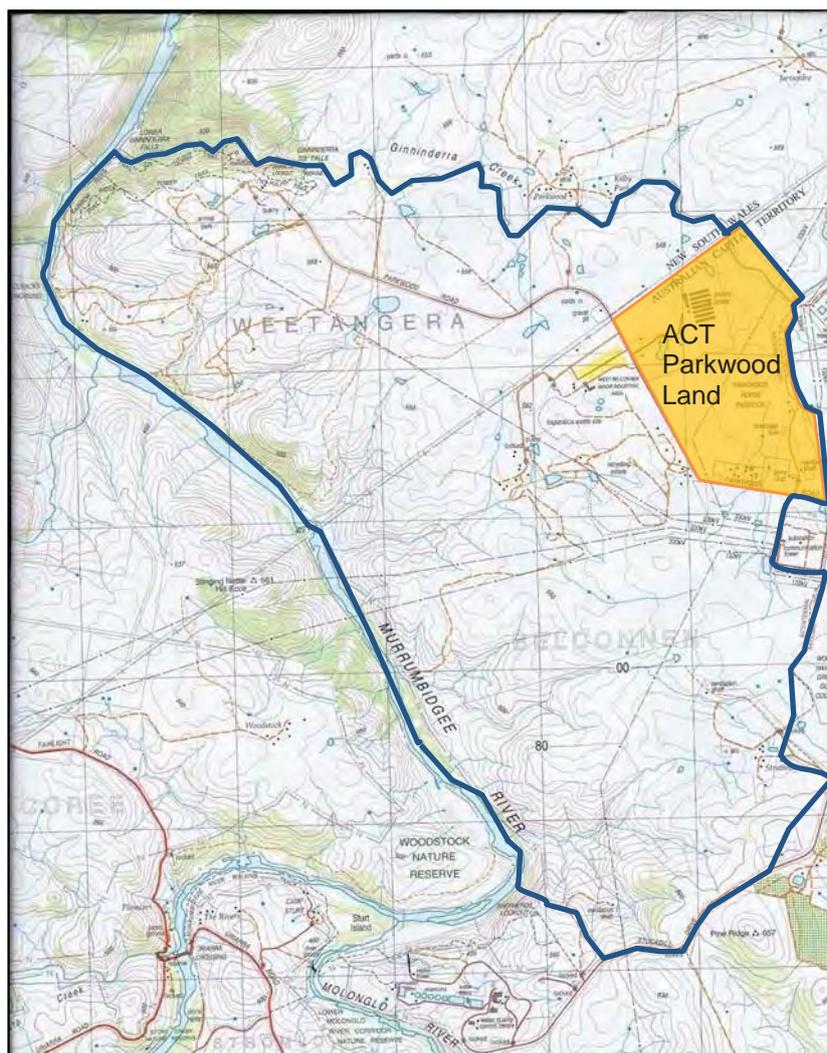


Figure 2: Site Plan showing Parkwood Land

Source:



Figure 3: Aerial View of Parkwood Land

Source: Google Earth accessed 4 December 2013

1.2.2 Task Description

To undertake necessary research and investigations and prepare a report on the European heritage of the study area.

The report to identify any features that are of heritage interest and provide an assessment of appropriate options for the future management of such features in the context of urban development.

Report to provide a commentary on the European heritage of the study area that may inform future social and cultural planning for the proposed new community.

Report to provide sufficient information to substantiate proposals to rezone the land for urban development including the identification of any requirements for heritage management or protection that should be incorporated into rezoning proposals.

1.2.3 Methodology

The study adopts the principles and practices of Australia ICOMOS and will include:

- Introduction
- Historical background
- Physical evidence; and
- Assessment of significance.

If any item is identified as significant, then an appropriate statement of significance, opportunities and constraints, conservation policies and management issues will be prepared. If significance does not reach threshold for heritage registration there may be recommendations that guide future development. These will be defined in this report.

1.3 Authorship

The report has been a collaborative effort by:

1.4 Current Status

No part of the Parkwood land site is listed on any heritage register or nominated for heritage listing.

1.5 Acknowledgement

We appreciated the assistance of [REDACTED] of Riverview Group who arranged or assisted access to the site and the individual owners/tenants of land who permitted site access.

Unless otherwise stated photographs were taken by Eric Martin & Associates in 2013.

1.6 Limitations

The report is restricted to European Cultural aspects. Indigenous Heritage is being assessed by [REDACTED] from Biosis and natural heritage values by [REDACTED]

It is worth noting that as a result of natural values a redefined river corridor has been established and this is included as Figure 4. However this does not affect the Parkwood land site.

Access to Parkwood Eggs (Blocks 1329 and 1621) was restricted due to bird flu controls, so details are as observed from adjacent boundaries.

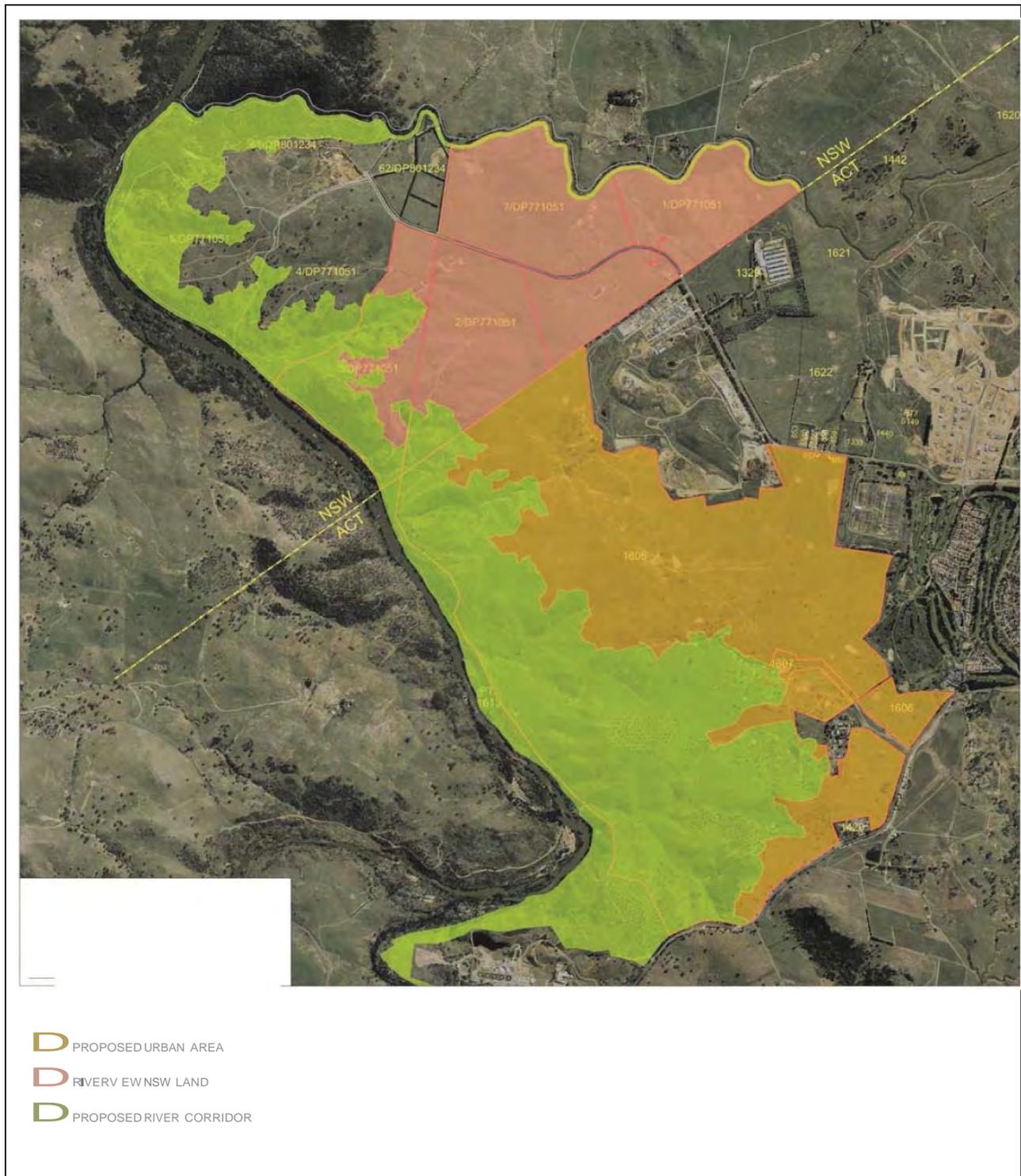


Figure 4: Site Plan showing Proposed River Corridor

Source: The Riverview Group Knight Frank, J107868.02
Cadstral Mapping Metadata Rev C (26 September 2013)

2.0 HISTORICAL BACKGROUND

2.1 European Settlement

In the early years of the 1820s European explorers reached what is now the Australian Capital Territory. Dr Charles Throsby, a former Naval Surgeon turned landholder and explorer, his nephew Charles Throsby Smith, guided by his convict overseer, Joseph Wilde, and James Vaughn reached the Molonglo River and the wide valley it flowed through. They were on their way to find the Murrumbidgee River. After several setbacks, Throsby reached the River in 1821. Throsby and his party were the first Europeans to see the Murrumbidgee River.

Following his explorations Throsby wrote of the country he had crossed:

...perfectly sound, well watered, with extensive meadows of rich land on either side of the rivers; contains very fine limestone, in quantities perfectly inexhaustible, slate sand-stone and granite fit for building, with sufficient timber for every useful purpose; and, from the appearance of the country, an unbounded extent to the westwards¹

Certainly overstating the natural resources available, Throsby's description of the land he saw had an element of accuracy ('extensive meadows') and when it was published in the *Australian Magazine* in 1821 it triggered much interest among the Sydney entrepreneurs. More tantalizing news of favourable lands and profits to be made came soon after.

Following the Throsby expedition, Captain Mark Currie, accompanied by the reliable Joseph Wilde and Brigade Major Ovens, reached the Molonglo River and turned south, reaching the Murrumbidgee in 1823. Alan Cunningham and his party were the next to pass through the area in April 1824. Cunningham's objective was to make a detailed botanical inspection of the lands already seen by Throsby and Currie. He followed the Molonglo and Murrumbidgee Rivers, covering some of the ground which Currie had crossed the previous year².

Throsby, Currie and Cunningham reported back to the Colonial Government on the open and well-watered lands they crossed; suitable, they claimed, for sheep and cattle grazing. At that time there were great opportunities for those with an entrepreneurial flair and the financial backing to achieve their aims to invest in tracts of land recently found on the western slopes of the Great Dividing Range. A rush to claim these lands began. European settlement began on the flood plains and slopes above the Molonglo River in what is today the central area of Canberra, and spread quickly south towards Tuggeranong and north to the lands bordering Ginninderra Creek and the Murrumbidgee River.

2.2 Early Settlement

Robert Campbell, a prominent person in the commercial sphere of Sydney, was well connected to the high social circles of the early colony through his family background and his wife Sophia, who was the sister of John Palmer the Commissary-General and First Fleet arrival on the Governor Philip's Ship *HMS Sirius*. Campbell had received a land grant from the Governor of NSW to compensate for the loss of one of his ships and in 1825 he had established a property at Pialligo on the Molonglo River with James Ainslie as manager. The property was later named 'Duntroon', after the Campbell family properties in Scotland. Robert Campbell most likely informed Palmer of the opportunities available for grazing interests in the newly explored area of the colony. John Palmer and his son, George Thomas Palmer, lost little time in establishing land – John in the area of Jerrabomberra adjoining Campbell's holdings and George Thomas further north in rolling plains bordering Ginninderra Creek know to the indigenous people *Ginninginninderry* in 1826³.

These frontier properties were well beyond formal control of the colonial administration and formal possession of lands often lagged behind actual possession. George Thomas Palmer, although grazing the lands since 1826, did not submit a request for permission to purchase the land from the colony until 18 May 1829.

¹ Throsby in *Australian Magazine*, June 1821.

² Havard, 1956; Lee-Scarlett, 1968.

³ Gillespie, 1991, p6.

I beg to request that you will be pleased to submit to His Excellency Governor Darling, my desire to obtain his permission (when the boundary may be extended) for the occupation of an extent of land (not within the line of its present demarcation) about seven miles distant to the northward of the property of Mr Campbell senior, in the vicinity of Limestone Plains, as it is my intention if allowed, to purchase to the full extent of the regulation which I understand to be nine thousand six hundred acres[3885 ha]⁴

Palmer then submitted a formal application for land on 14 December:

With reference to that part of the Land Regulations (bearing dates the 1st August, 1831) headed "Leases", I beg to state that I am desirous of renting fifteen sections of land situated at Ginninderra [sic] in the neighbourhood of that quarter of the country commonly called the Limestone Plains and forming part of the quantity which I formerly made application to rent with a view to purchase⁵.

The tyranny of distance affected the colonial administration in far off Sydney and a muddling bureaucracy initially allocated the desired lands to Mr John Cartwright. An annoyed Palmer then pointed out that he had occupied the lands for several years, had erected several expensive buildings and installed an overseer. The confusion was quickly cleared up in Palmer's favour by the Colonial Secretary and the lands he requested were formally granted in 1831 five years after he had first taken up the land.

It would appear that none of Palmer's local lands were surveyed before occupation, although Assistant Surveyor Robert Dixon and his party had been in the district in 1829. Palmer's holdings were eventually surveyed in 1832, by Robert Hoddle and in 1836 by James Larmer.

Palmer's holdings in the Ginninderra district included:

Portions 4, 8, 9, 10 & 94 – Parish of Weetangera – 4,321 acres (1749 ha)

Portions 4 & 34 – Parish of Wallaroo – 2,205 acres (892 ha)

Portions 20 [Palmerville], 21, 22, & 23 – Parish of Canberra – 2,640 acres (1068)⁶.

Further land grants were to be given in the larger area of Ginninderra but many were to absentee owners who speculated but never settled the area [p. 9]. One such 'speculator' was John Langdon who obtained a grant of 1, 280 acres (518 ha), never lived on it, and disposed of it to George Palmer in 1834 in exchange for 445 ewes [p.9]. By this time Palmer was in formal possession of at least 4,227 ha of land and utilising further land areas primarily for grazing in the Ginninderra Creek area.

Another more well-known speculator was Captain Charles Sturt who acquired property ('Belconnen') with frontage on the Murrumbidgee as a reward for his explorations along the Murray and Murrumbidgee Rivers. But, he sold it to Fredrick Campbell within one year. Fredrick Campbell also purchased 640 acres (259 ha) of land on Ginninderra Creek from George Popham in 1836 steadily increasing his land holdings in the area. By the late 1830s the Campbell estate north of the Molonglo River and in the vicinity of Ginninderra Creek totalled almost 6,900 hectares. By this time Palmer was in formal possession of at least 4,227 ha of land and utilising further land areas primarily for grazing.

Yet another absentee owner was Alick Osborne, a Royal Navy Surgeon, who obtained 987 acres (399 ha) on Ginninderra Creek at its junction with the Murrumbidgee. He sold the land for £1,200 to Thomas Southwell, who named the property 'Parkwood' and immediately took up residence on it and stayed! The pattern of absentee land owners selling their land grants to the larger land holders continued. One exception, however, was Henry Hall who received a grant of 3,742 acres (1514 ha) in the parish of Wallaroo and established his homestead there in 1833. His property, Charnwood was surveyed in April 1836.

Following a census taken in 1841 the only habitations in the Ginninderra district appear to have been those Palmer (Palmerville), Hall (Charnwood), Glenwood, and Campbell (Belconnen). An example of the population in the area at this time can be derived from two properties⁷:

⁴ *Ibid*, p.6.

⁵ *Ibid*, p.7.

⁶ Land Titles Office, NSW, Plans M6.743, M44.743, M48.743, M50.743, M98.743 & M100.743; Gillespie, 1991, p.8.

⁷ Gillespie, 1991, p12.

Property	Population
Palmerville	47 males, 21 females (total 68) 15 were convicts 6 were ticket-of-leave employees
Charnwood	24 males, 8 females (total 32) 11 were convicts (10 male, 1 female) 3 were ticket-of-leave employees

But, by the end of the 1850s the majority of the land north and south of Ginninderra Creek either side of the present ACT-NSW border was held by a handful of wealthy owners including Campbell, Palmer, Southwell and Hall, most of whom held lands elsewhere (refer Figure 5).

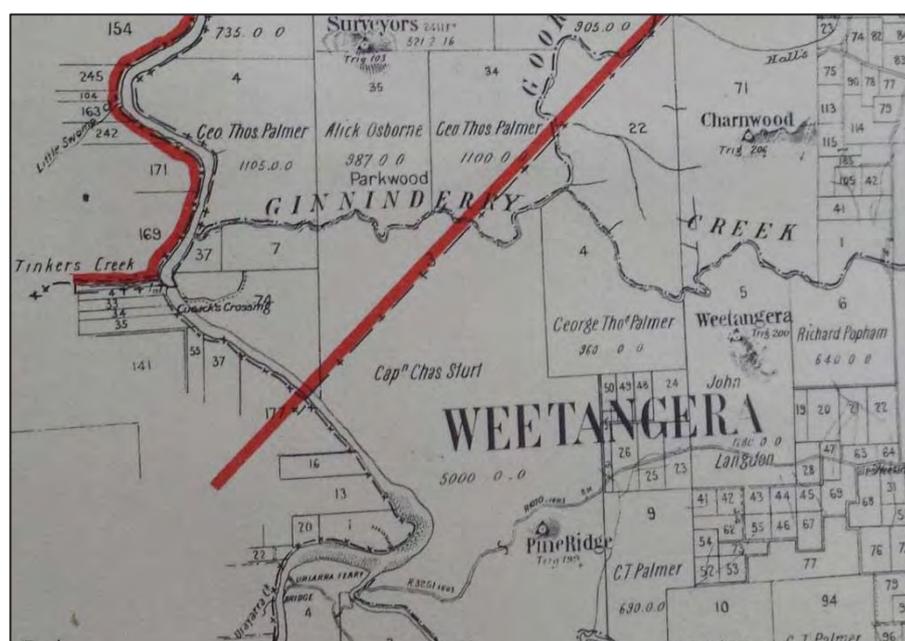


Figure 5: c1910 Map

This map re-published as c1910 Map shows lands held by George Palmer (on both sides of the border), Alick Osborne (Block 36, Parkwood) and land attributed to Captain Charles Sturt. By the time this map was re drawn with the ACT/NSW border Sturt had sold his land to Fredrick Campbell, and Osborne had sold his to Thomas Southwell.

Source:

2.3 The Charles Sturt period

Following his explorations along the Darling and Murray Rivers systems (1828-1830) and government postings, Charles Sturt returned to England in poor health. While undergoing treatment he published an account of his journeys, and after many petitions to the New South Wales Government for recompense, he was promised a grant of 5,000 acres (2,024 ha). The promised grant came with a condition that he gave up his military commission and renounced all other rights arising from his military service. Sturt's decision to resign from the military was no doubt based on his continuing ill health, poor eyesight and strained financial situation⁸.

Sturt and his wife returned to New South Wales in 1835. On 17 April 1835 Sturt wrote to his brother William: *You are aware that the Government gave me a 5,000 acre grant of land, but I have not as yet made my selection, being puzzled as to the locality.*

⁸ Cumpston, 1951; Beale, 1979.

Just a few days later it would appear that Sturt had made up his mind on where to select his land. On 21 April he wrote again:

I am on the eve of making a journey to select my acres. The country to the south is described by several people as most beautiful. As soon as I get my land I shall stock it with 1,000 sheep and 150 to 200 head of fine cattle. As a beginning, that, I think, will do very well; and a trip once or twice a year to see my establishment will be a pleasure to me⁹.

On 5 June an order was issued by the Governor for the promised grant of land. Just after their arrival back in the Colony the Sturts purchased an additional 1,950 acres (789 ha) near Mittagong where they settled. Sturt may have made a journey to the area of Ginninderra to select his granted land.

Sturt's wife, Charlotte, wrote in her biography:

Sturt delayed for some time to select his land, and the Survey Office in Sydney warned him they would cancel his grant if he did not exercise it within a given time. This notice found him lying ill at Yarralumla, so on hearsay and in haste, he chose his grant at Ginningdera [sic] near Queanbeyan, a block surrounded on three sides by the water of the Murrumbidgee, the Queanbeyan [actually the Molonglo] and the Ginningdera. The land, however, is not good, and has suffered heavily from floods).¹⁰

Writing many years later, Charlotte Sturt may have exaggerated the flooding of the land. While the Murrumbidgee and Molonglo Rivers and Ginninderra Creek would have regularly flooded, much of the land Sturt selected was and is today above the floodplains of these waterways.

Whether he did actually inspect the area, or relied on the recommendations of contacts in the district, the land he selected for his grant was a good choice. The 5,000 acres was a gently sloping area of land with sheltering ridges. The selection fronted on to the permanent water sources of the Murrumbidgee River, and was bounded in the north by Ginninderra Creek and in the south by the Molonglo River. Small drainage creeks and springs added to the water availability of the land (Figure 6).

The selection was surveyed by Robert Hoddle, the Deputy Surveyor General for the Colony, on 25 November, 1835 and gazetted on 8 February, 1836. Sturt was asked by the Colonial Secretary to name his grant for the title deed:

In reply to your communication requesting to be informed by what name I would wish the 5000 acre grant confirmed on me by the Government to be designated that the same may be entered in the Title Deed which His Excellency the Governor had directed to be prepared. I have to express my wish that it may be called "Grange"¹¹.

With the name of the property duly recorded the land was finally granted to Sturt on 3 February 1837.

⁹ Cumpston, 1951.

¹⁰ Cited in Cumpston, 1951.

¹¹ Archives Office, NSW, Microfilm No. 1185 cited in Gillespie 1992.

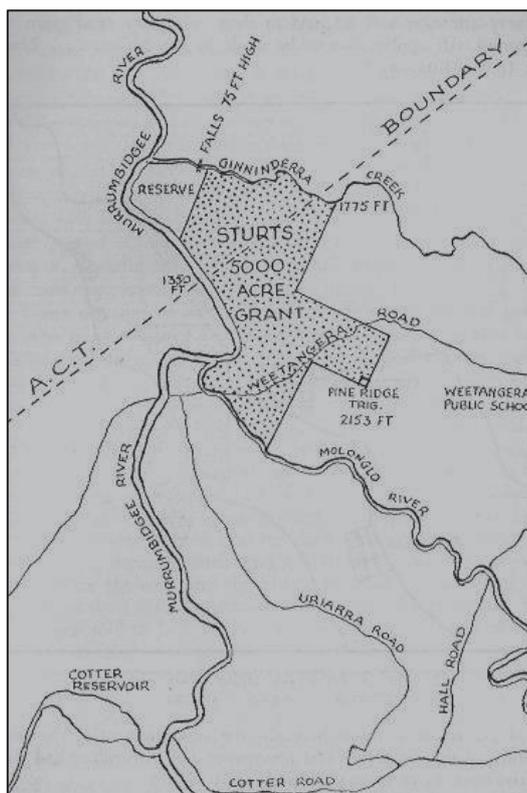


Figure 6: The location of Sturt's land grant, later named 'Belconnen'.

Note how the ACT-NSW border has cut through the original grant leaving the northern section under NSW legislation and retained in private ownership, and the southern section under Commonwealth legislation to be compulsorily resumed¹².

Source: Cumpston, 1951

Judging by the letter he had written to his brother on 17 April, Sturt most likely had no intention of actually building and living on the Ginninderra land grant. By 1836 he and his wife had purchased and settled on a property between Bowral and Mittagong. Sturt was to hold title of the 'Grange' for just a year. On 26 February 1838, he sold the whole 5,000 acres to Charles Campbell. There is no record of Sturt returning to the Ginninderra region and he saw out his last years in Australia in Adelaide; living in a modest house he named 'Grange' before returning to England in 1853.

However, the figure of Charles Sturt has been prominent in Australia's history, particularly for his explorations in the Murrumbidgee and Murray River Corridors and into the desert centre of the continent. His name has been given to a suburb in Adelaide, a University in New South Wales, and several municipal streets and roads, including the major highway linking South Australia, Victoria and the Hume Highway in New South Wales. Sturt's association, however fleeting it was, with the land along the Murrumbidgee was locally and officially recognised into the early nineteenth century with 'Sturt's Grant' being marked on the 1915 Feature Map produced by the Federal Capital Territory. Today, the Sturt association is still recognised by the naming of Sturt Island in the Murrumbidgee Corridor.

2.4 The Campbell Period

Charles Campbell had come to the district to manage his father's (Robert Campbell) station at Duntroon in 1835. He briefly assumed responsibility for the management of George Thomas Palmer's Ginninderra Estate, marrying Palmer's daughter, Catherine, in 1837. Following the sale of Sturt's acres, Charles Campbell arranged to buy his father-in-law's Ginninderra property with a down payment and the balance being paid by instalments. The deal did not last long, and Palmer resumed possession when his son-in-law could not keep up the payments. A drought, along with falling wool and stock prices were the main

¹² Cumpston, 1951

causes. However, Charles and Catherine managed to hold on to Belconnen even though they moved back into the family home at Duntroon¹³. Belconnen became an outstation to the Duntroon estate.

Campbell did not keep the name of 'Grange' for his new acquisition, and soon after purchase the land was named 'Belconnen'. The origin of this name is not entirely clear but it has been suggested¹⁴ that Campbell gave it this name following an incident on the property when an Indigenous male used a similar sounding word, meaning "I cannot find". The name, like many Indigenous terms adopted by Europeans, has been spelled as 'Belconnel,' 'Belconon' and 'Belcomon'. The name was largely limited to the property and was not applied to the present area of Belconnen until after the Naval Transmitting Station, built nearby in 1938/9, adopted the name.

Campbell's staff set to work clearing the native vegetation, opening up the land for sheep grazing. Campbell may also have planted exotic species. A two-room stone dwelling was built during the Campbell period, most probably to accommodate an on-site overseer to manage the property. There is some uncertainty over the age of this first building¹⁵; one source¹⁶ suggests it was built early in the Campbell period between 1835 and 1850. However the early date in this range can be discounted. Sturt acquired the property in 1837 and there is no record either of a building on the site before that time or of Sturt building, or even planning to build, prior to selling in 1838. Other sources¹⁷ suggest the dwelling was built later in the 1880s. A period of construction sometime between the 1850s (favoured by the ACT Heritage Council) and the 1880s is plausible given that Charles Campbell began developing the property to graze sheep soon after he acquired it.

Living in the Ginninderra district in the 1830s and 1840s meant an isolated and confined lifestyle. A census taken in 1841 showed the only inhabitants of the area were from Palmer's holdings, Charnwood and Glenwood Stations and the Campbell holding of Belconnen. The total population was just over one hundred and approximately seventy five percent were males. The isolation was especially telling for the women, but there were some opportunities for socialising. The main social events in these times were visiting other families and the Sunday church services. Catherine Campbell, while living at Duntroon, often visited her father's property¹⁸ and most likely, accompanied by her husband Charles, visited their Belconnen holding.

By the end of the 1870s the Ginninderra region began to show signs of development, with the population increasing following the passing of the Crown Land Acts (Roberson Land Acts) of 1861. Most of the properties in the area were small, ranging from 40 to 400 acres (16-161 ha), although when Crace purchased Charnwood he held around 20,000 acres (8093 ha).

Charles Campbell's son, Frederick, took over the management of the Duntroon estate, including the Belconnen outstation, in 1877 when his father was overseas¹⁹ (Gillespie 1992). The second son of Charles and Catherine, Frederick was born at Duntroon in 1846, the same year his grandfather, Robert, died. Frederick was born with a cleft-lip and experienced difficulties with his speech throughout his life. Embarrassed by his speech and having problems with his studies at Sydney University, Frederick decided to try life on the land²⁰. He worked as a jackaroo in Queensland; and later in 1873, with financial help from his uncle, purchased land near Walgett. Frederick experienced financial problems and sold out two years later. He accepted an offer from his uncle, George Campbell, to manage Duntroon estate, which he did for five years. Duntroon had become the centre for an elite society of established and wealthy landowners. Frederick, now just in his thirties, did not fit easily into this society, most likely because of his speech difficulties, and did not often entertain. But, nonetheless, he liked to be recognised by the local communities as a Campbell. In 1878 he married into the elite society. His wife, Francis Wright, was the daughter of James and Mary (nee Davis) Wright of Lanyon and Cuppacumbalong. In 1882 Frederick (or Fred as he was more widely known) finalised the purchase of Yarralumla Estate. At that time, Yarralumla consisted of a collection of land grants and conditional purchases accumulated by Augustus Gibbes. The land parcels were not adjoining and there was no single marked boundary to the estate. To consolidate the estate holdings Frederick bought land areas lying between his scattered titles

¹³ Gillespie, 1992.

¹⁴ Shepherd, 2005.

¹⁵ Barrow, 1998.

¹⁶ NCDC, 1988.

¹⁷ Barz & Winston-Gregson, 1982; ACT National Trust.

¹⁸ Gillespie, 1992.

¹⁹ *ibid*

²⁰ Newman, 2007.

with the object of clearly delineating the Yarralumla Estate. The Belconnen lands, which had passed to Frederick following the death of his father, were incorporated in the Yarralumla Estate. The total estate, now 39,000 acres (16,783 ha), also included land on the south side of the Molonglo, incorporating the present 'Huntly' lands.

Frederick employed overseers and staff for his holdings. Richard Vest was one; he most likely lived in the stone cottage from 1882 to 1888. Other employees living and working on the Belconnen lands were of Scottish descent, including D. MacDonald from 1888 to 1889 and Duncan McInnes from 1890 to 1904. Fencing, stables and yards were erected during the 1880s to 1890s by James Kilby and Evan Cameron (ACT Heritage Council). The Campbell family, starting with Robert Campbell who established Duntroon, had a tradition of assisting Scottish migrants to Australia and employing them on their holdings.

By the beginning of the 20th century Belconnen was prospering. The farm included the stone overseers' cottage with slab attachments, animal enclosures including a stockyard, poultry run, pig sty and a stable close to the cottage. There were also large sheep yards to the south and another house and woolshed to the north. The land was used for sheep and crops of oats, barley and wheat but within the first three decades of the 1900s the situation was to change.

Following the Federation of the Australian colonies in 1901, and the selection of the Canberra area as the site of the new Federal Capital in 1908, the Federal government was anxious to accurately survey the new Capital Territory. Under the guidance of Charles Scrivener who was appointed Director of the Lands and Survey Department, the surveying of the border began in 1910. The first section to be surveyed was along a direct bearing between the summits of Mount Coree and One Tree Hill. This section now forms the only straight-line border of the ACT. The survey line cut through Campbell's Belconnen property putting the southern two-thirds of the land within the new Federal Territory and subject to compulsorily resumption. Campbell was left with the northern third of the property within New South Wales and under his ownership. As well as Belconnen, all of the Duntroon estate lands within the borders of the Federal Capital Territory were to be subject to government acquisition. Campbell was also to lose his family home of Yarralumla, which became home to Australia's Governors' General.

Frederick Campbell was most distressed and angered by the impending government acquisitions. Referring to the Belconnen land, he wrote to Scrivener in August 1912 wishing to retain the 626 acres (253 ha) that remained of Sturt's original lease:

It is my Ewe Lamb, and I hope the Commonwealth Government will be satisfied to leave me that much of Sturt's 5000 acre grant and not drive me altogether out of my native district²¹.

The estate lands were acquired by the Federal Government and Frederick Campbell moved away from Yarralumla and the Federal Capital. He died in 1928. The *Canberra Times* wrote in its obituary:

Mr Campbell's association with Yarralumla dated from 1881, when he bought that property from the Gibbes family. Yarralumla comprised about 8,000 acres, and when he received his father's property at Belconnen on the latter's death, in 1888, he owned about 20,000 acres freehold. Under his direction Yarralumla became a model station. Heavy forest land was converted into grazing and cultivation paddocks, marshy country was dried by about 500 miles of drains, and the whole area was made practically rabbit-proof. The clip, from Merinos of Boonoke and Wanganella extraction, became one of the most valuable in the State.

Mr Campbell resided at Yarralumla until it was resumed as a residence for the Governor-General, and then left to control Cooinbil, a property he had acquired in Riverina. During his residence in the present Federal Territory he took a keen interest in all local affairs. For many years he was a member of the Queanbeyan pastures Protection Board, and for some time also was president of the local branch of the Farmers' and Settlers' Association²².

²¹ NAA A371.1

²² *Canberra Times*, 1928.

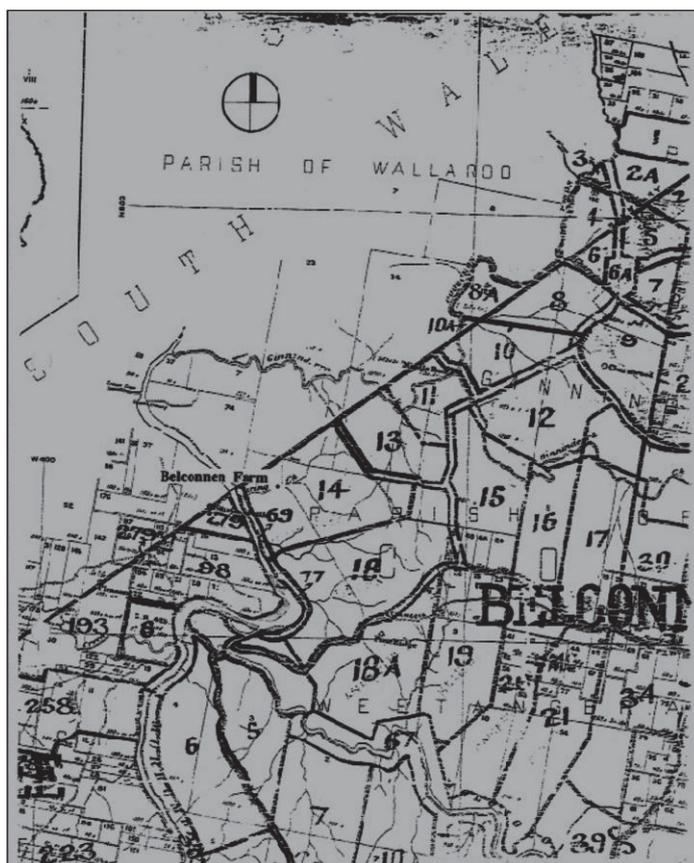


Figure 7: Section of Federal Capital Territory map showing the subdivision of Belconnen following government acquisition and subdivision. The original Sturt and Campbell holding was subdivided into Blocks 14, 18 and 18a. The Parkwood land is within blocks 14 & 18²³.

Source: National Trust Classification Files

²³ National Trust (ACT) Classification Files.

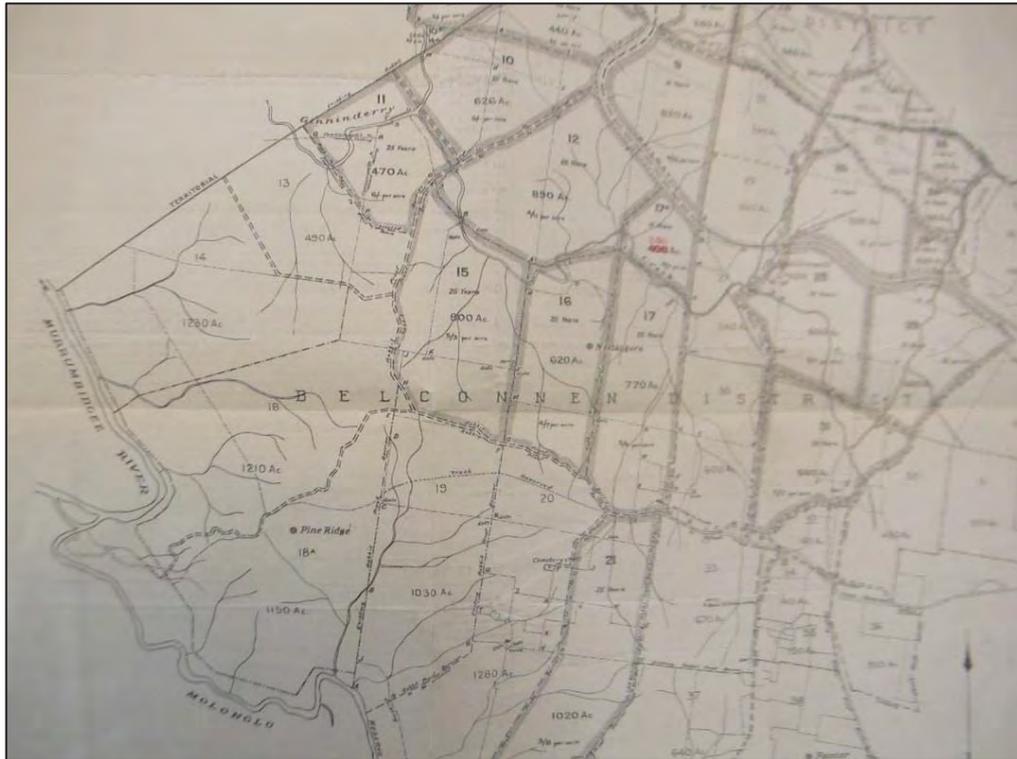


Figure 8: The breakup of land areas along the northern border of ACT following Federation. The study area (top and middle left), mostly comprising Belconnen Farm, has been retained in large grazing blocks.

Source: Boundary of Weetangera Parish since 1909, Original map date 1904, NSW Department of Lands.

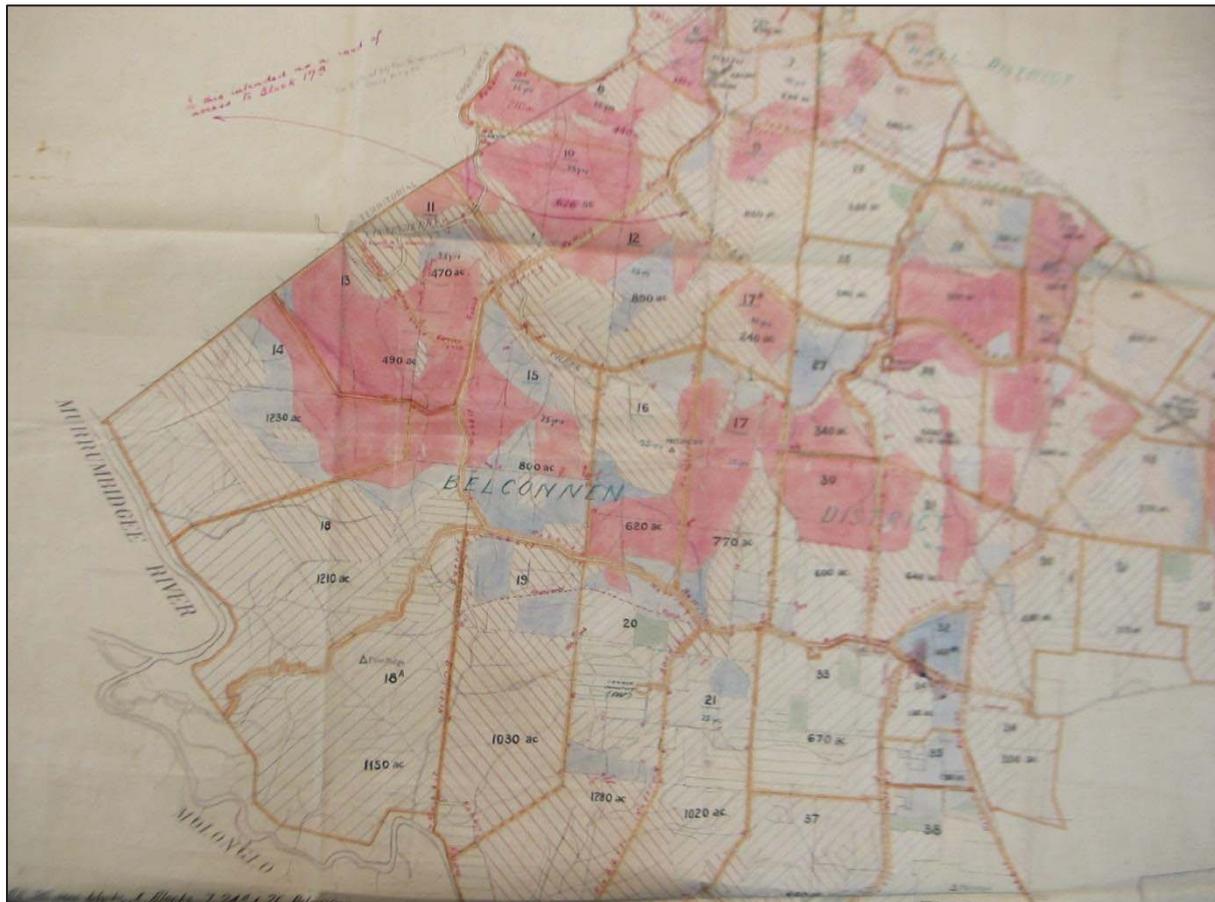


Figure 9: Grazing properties in the northern section of the Federal Capital Territory. The study area is encompassed within Blocks 14 (11230 acres) and block 15 (1210 acres) with a reserve area at the junction of the Molonglo and Murrumbidgee Rivers.

Source: Map of Belconnen District, Boundary of Weetangera Parish since 1909, Original map date 1904, NSW Department of Lands c. 1910.

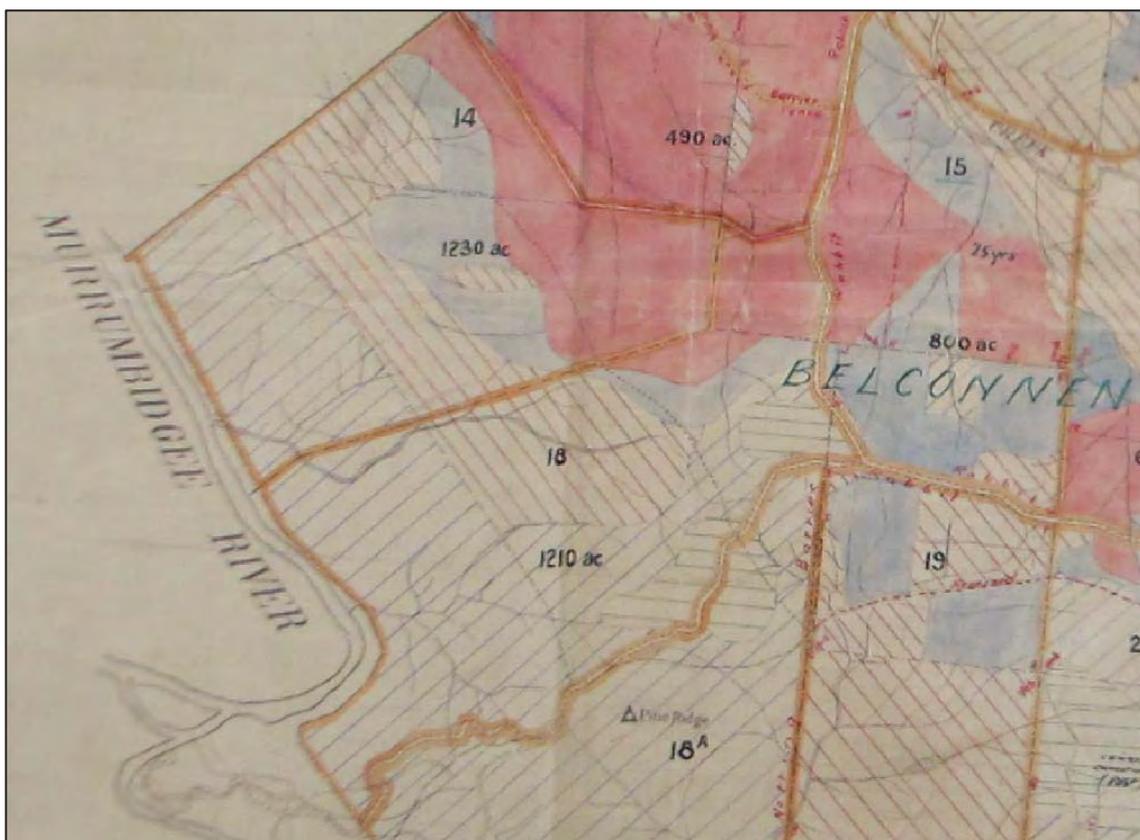


Figure 10: The Parkwood land is encompassed within Blocks 14 (11230 acres) and block 15 (1210 acres) with a reserve area at the junction of the Molonglo and Murrumbidgee Rivers

Source: *Map of Belconnen District, Boundary of Weetangera Parish since 1909, Original map date 1904, NSW Department of Lands c. 1910*

The area as detailed in the 1913 maps is shown in Figure 11.

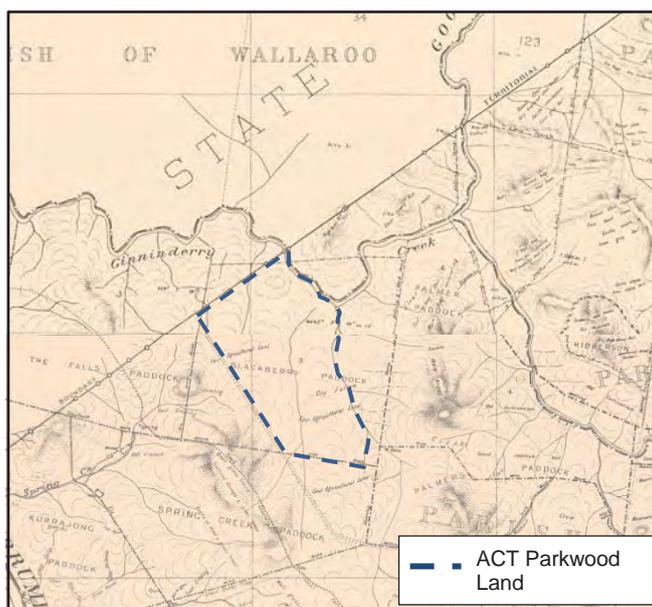


Figure 11: The area as detailed in the 1913 Survey maps.

Source: *Federal Territory Survey Map 1913, Sheet 2 and 3, <http://www.nla.gov.au/apps/cdview/?pi=nla.map-vn1658523-s3-vv> and <http://www.nla.gov.au/apps/cdview/?pi=nla.map-vn1658523-s4-v>*

2.5 Belconnen and the Soldier Settlement Period

Following the Federal Government acquisition of the Yarralumla estate in 1913, the rural lands within the new Federal Capital Territory were subdivided and advertised for lease under the instructions of the first administrator, Colonel David Miller. Miller managed to acquire the present Belconnen subdivision. Three rooms for shearers and a galvanized iron laundry were built on the property. It is thought²⁴ (ACT Heritage Council) that Miller's son, Selwyn, occupied these buildings with one of the Colonel's workers occupying a tent to the south west of the stone cottage. Selwyn Miller worked the property during the years of the First World War and up to 1922 when he and his family left the district. In January 1916 it was reported that he had produced 700 bags of wheat from a 70 acres (28.3 ha) crop and 300 tons (272 tonnes) of oaten and wheaten hay from a paddock of 100 acres (40.4 ha) (ACT Heritage Council).

In 1922 the former Sturt land grant and Campbell holding was subdivided into Blocks 14, 18, and 18a (Figure 6). The present Belconnen Farm heritage area was within Block 14. From 1922, following the departure of the Millers, the lease of Belconnen Farm (Block 14) was held by the Hyles family. Following the First World War and the introduction of a Soldier Settlement programme, Block 14 was leased to Austin Shepherd.

Corporal Austin Nugent Shepherd (7252) served with the 5th Field Artillery Brigade in Sinai and Palestine during the First World War. Following his return to Australia he applied for a land holding under the Soldier Settlement Scheme. On 16 November 1924, Shepherd signed a lease for 25 years for the 1,162 acres (470 ha) comprising Block 14. Shepherd later acquired a lease on Block 16 for 620 acres (251 ha). Shepherd set about improving the land under the terms of the lease, building a woolshed and yards using material from Duntroon, together with a machinery shed and shearers' accommodation. Unlike many returned service men who took up Soldier Settlement blocks, Shepherd knew a thing or two about farming. He had graduated from the Hawkesbury Agricultural College as Dux of his year, and following his service during the First World War he had worked as a field officer for the Department of Agriculture in the Murrumbidgee Irrigation Area.

Despite his education and agricultural experience, Shepherd had a long struggle on his hands to provide for his family from his holdings. Soil erosion on the slopes of Block 14 was a major problem. Contour banks had to be constructed to maintain the topsoil. Noxious weeds and rabbit infestation also took a great deal of labour and expense to control, although there was government assistance with these problems. Suitable fencing had to be maintained under the terms of his lease. Shepherd persistently lobbied the Federal authorities (Figure 7) through lawyers and local government members over the conditions and requirements of the lease: rental increases, rental arrears, rental reduction and concessions, tenant rights to improvements, public road access and financial assistance under the Repatriation Scheme for Soldier Settlers were a constant concern and topics of many letters to the Department of Interior Archives²⁵.

While Shepherd's grievances, opinions and requests were heard by the Federal Government there was always the inevitable bureaucratic counter following inspections and assessments of his holdings and the improvements he had made.

Austin Shepherd wrote to the Minister of the Interior stating some of the grievances he felt he had with the Department of the Interior over the management of his holdings (Archives ACT).

*Belconnen,
Weetangerra,
Via Hall*

*11 September, 1941
The Hon. The Minister
Dept. of Interior
Canberra*

Dear Sir

²⁴ ACT Heritage Council.

²⁵ ACT TL1257

In connection with the rental paid by me on Blocks 14 and 16 Belconnen I hereby ask for a revision of the rental as stated in a letter received recently from the Department.

Under present conditions with restriction of production and the rising costs and adverse season and scarcity of labour I ask for a concession in reduction of rental.

During the past winter I have fed sheep with over £200 worth of fodder.

I might state that I have spent over £3 an acre on much of my lease in pasture improvement. This was the only portion of my lease that carried stock maintaining condition during the present winter.

One lease Block 16 both during last and the present winter has only carried 2 sheep to 3 acres.

I might state that being one of the original 25 years leases I am not entitled to reassessment at present but when the rent was fixed some five years ago I appealed against the rate but did not get redress although I believe the interest rate on the capital value of the land was reduced from 5% to 4½%.

Yours faithfully

A.N. Shepherd

The Department of Interior reported as below following an inspection of the Belconnen holding leased by Austin Shepherd. (Note: the first page of the report gives a valuation of the improvements made by Shepherd.)

T.L.1257/120-121-122

Dept of the Interior

TENANT RIGHT; BLOCK 14 BELCONNEN

Block 14 Belconnen comprises 1,162 acres, leased to Mr. A. N. Shepherd at a rental of £225.2.9 per annum, equivalent to 3/10½d. per acre for the period 1.9.24 to 31.8.49.

The area is well fenced into 10 main and several smaller paddocks, watered by 5 dams aggregating 1,350 cub. yds.

Pasture improvement has been well established on about 350 acres and about 70m acres have been placed under cultivation this season to oats and wheat.

All stock are in excellent condition and the last stock return shows 6 horses, 28 cattle 2167 sheep.

Lessee purchased all the original improvements on this block and has since been granted tenant right in other improvements, all of which have been recently valued by Messrs Gates and Tracey as follows:-

<i>Pasture Improvement (Est)</i>	<i>£1,050</i>
<i>All Fencing</i>	<i>590</i>
<i>Paddock, sheep yards</i>	<i>10</i>
<i>Old Residence</i>	<i>200</i>
<i>Woolshed and Appointments</i>	<i>500</i>
<i>Hay and grain shed</i>	<i>70</i>
<i>Garage (G.I.)</i>	<i>40</i>
<i>Car Shed</i>	<i>40</i>
<i>Shearers quarters</i>	<i>50</i>
<i>Yards and dip</i>	<i>140</i>
<i>Fruit trees</i>	<i>100</i>
<i>Crops</i>	<i>175</i>
<i>Dams</i>	<i>135</i>

The present total value of improvements in which the lessee has been granted tenant rights is £3,140, made up as follows:-

Buildings etc	£950
Fencing	590
Yards and dip	140
Dams	135
Fruit trees	100
Crops	175
Pasture Improvement	<u>1,050</u>
	<u>£3,140</u>

This represents a value of £1,815 in structural improvements, including dams.

As the house on the above block is old and white ant ridden and reaching a stage where the dwelling is no longer reasonably habitable, the lessee proposes to erect a new dwelling for which plans have been drawn by Architect K. Oliphant, top cost about £1,400 in which the Lessee desires tenant right.

It is the lessee's intention to demolish the whole of the existing old dwelling, valued at £200, except 2 rooms build of stone around the new dwelling will be erected.

A new dwelling is considered an essential improvement of a permanent nature and though the lessee has 4 years only unexpired it is reasonable to assume that an extension will be granted to 1958 to coincide with the expiration date of the majority of Rural Leases.

Owing to the location and topography of the land, the possibility of it being required for Commonwealth purposes appears remote.

It is therefore considered that tenant right should be granted and in estimating the value on a productive basis, the following factors have been given consideration in the examples stated:-

EXAMPLE "A"

<u>Estimated Annual net Returns</u> -	
1162 sheep return say 6/-d, wool	£349
70% of lamb from the ewe portion representing 2.3 rd of flock	
= Est 600 fat lambs at 15/-d.	£450
Crop returns	<u>£170</u>
TOTAL	<u>£969</u>

Outgoings

8% on tenant right improvements (which Comprises approved tenant right £3,140, plus proposed tenant right value in new dwelling not exceeding £700)	£308
--------------------------------------------------------------------------------------------------------------------------------------------------------------	------

EXAMPLE "B"

This property on the basis of 1 sheep per acre at £4.10. "sheep-acres value" would have an estimated value of £5,229, with a 25% tenant right value of £1,307.

EXAMPLE "C"

However, with pasture improvement and good management the property could carry with lambs and large stock the equivalent of 1,5000 sheep which is comparable with a property of 1,500 acres carrying 1 sheep per acre.

The value of a 1,500 acre property on the basis of 1 sheep to the acre on a similar sheep area value (£4.10.0) would be £6,750.

A property worth £6,750 could carry a tenant right value to lease of £1,688, on a 25% basis.

The balances from examples "B" and "C", £1,307 and £1,683 respectively, give a mean of £1,497.

The lessee at present has tenant right in structural improvements estimated at £950, and after allowing for £200 on old dwelling plus £700 tenant right in the proposed dwelling, the total tenant right structural value would then be £1,450.

It would appear, therefore, on these examples, that the lessee could be granted tenant right in this improvement to an amount not exceeding £700.

On 5.4.1940, the Secretary approved on papers T.L.3750 a recommendation that it be the policy of the Government to fix a maximum amount for which tenant right will be granted in the case of any rural lease in the A.C.T. and that such amount be arrived at on the following basis:-

- (a) Residence, other out-buildings including woolshed and house water supply: 25% of the improved value of the land (Government improvements only) calculated at the commencement of the lease or at date of last re-appraisal.*
- (b) The value of fencing, ground tanks, contour banks or drains in connection with soil erosion, lucerne or standing crops and/or pasture work covered by the two year limit in the case of withdrawals for public purposes not to be included in (a), but any application under any of these headings to be dealt with on its merits by the Officer in Charge.*

On T.L.2450 Mr. Ellerman, valuer, during the one and only re-appraisal of this block, showed the improved capital value of the above block of 1,162 acres as £4.0.0 per acre, equivalent to £4,648.

The maximum tenant right, therefore allowable being £1,162.

The lessee has at present been granted tenant right to the value of £950 in structural and after allowing £200 for the old building to be demolished, would be equivalent to £750 leaving a balance of £412, representing the maximum amount of tenant right that could be granted.

It is pointed out, however, that Mr. Shepherd runs this homestead block in conjunction with Block 16 Belconnen of 652 acres on which exists a small hut only and that his income would be augmented by returns from this block

*(Signed)
(J.E.Morrow)
15/11/45.*

Austin Shepherd ran merino sheep (up to 1,500 head in good years) and short horn cattle, and continued to crop the better land for oats, phalaris and clover much as Frederick Campbell had done. Shepherd also grew the first successful crop of rice using seed imported from America²⁶.

However he saw his problems with the government over the property, Shepherd managed to make a success of the lease where many other Soldier Settlers failed. It was most likely Shepherd's sound pastoral management and the skills first developed during his agricultural studies, which made him successful. In 1948, towards the end of the term of the initial twenty-five year lease, the Surveyor General's Department made a decision to grant extensions to all the expiring pastoral leases in the Belconnen district until June 1958, subject to re-appraisal under conditions which provided for the destruction of rabbits and noxious weeds together with general maintenance of fencing and dams. Shepherd applied, and following a favourable inspection report, was granted an extension of his lease on Block 14²⁷ (ACT Archives).

²⁶ ACT Heritage Council

²⁷ ACT Archives

Following further lease extensions, Austin Shepherd handed over the lease and management of the property to his son, Robert. Robert Shepherd had ownership of a motor trading outlet (Shepherd Ford) and in 1976 the property was sub-leased to Peter Canharn of the adjoining Strathnairn property. The habitable buildings on the property were sublet as residences.

On 29 March 2004 Blocks 1605 and 1606, Belconnen District, comprising 678 hectares, was leased to Corkhill Bros. Pty Ltd for ninety-nine years. The land is still used for cropping and grazing, although the latter is now restricted to a few head of cattle. Sheep are no longer grazed on the current property; the shearing shed and shearers quarters are no longer used.

Suburbia is now spreading towards the open pastures and the Belconnen tip is encroaching upon former cereal cropping land along Spring Creek. However, despite the ever-dominating urban environment on its boundary, Belconnen Farm continues today as a rural property. From the time Charles Sturt selected the land, through to its pastoral development, first by the Campbells, then by the Shepherds and those who followed, the fields surrounding the present Belconnen Farm homestead have been consistently cropped and grazed. Sturt's selection of this land for his 5,000-acre grant, bordered on three sides by watercourses, was well chosen.

2.6 District of Belconnen

The District of Belconnen was defined in the Australian Capital Territory Districts Ordinance gazetted on 31 March 1966. By that time the provision of basic urban infrastructure, telephone services, electricity, sewers, stormwater and water supplies had commenced. Some roads had been constructed and the basic street layout of the suburb of Aranda was completed. In June, 1966, the district was officially inaugurated by the Minister for the Interior, John (Doug) Anthony, with a ceremony at a commemoration stone laid in the Aranda playing fields. The following year, 1967, saw the first residential leases in Aranda offered for lease at auction, detailed planning and provision of initial infrastructure for the Belconnen Town Centre, and a decision made to create a lake on Ginninderra Creek. Further suburbs of Bruce, Cook, Higgins, Latham, Page and Scullin were gazetted in 1968. By 1971, several schools had been opened, further suburbs gazetted, a hospital planned and the population of the district reached 19,900. Five years later further development of the suburbs of Florey, Giralang Spence, Evatt, Flynn, McGregor and Charnwood were well underway extending the district to the northwest and toward the ACT/NSW border area. The Belconnen District had become the primary growth area of Canberra.²⁸

In November, 1975, the blocking of supply and the implications of a dismissal of the Whitlam Government saw a loss of development confidence by the private and public sectors and development in the Belconnen District slowed. One effect of the political crisis was that it brought to halt recent talks about cross-border urban development. However, the various governing bodies of the ACT and NSW were to maintain the concept of joint cross-border urban development for the next decades until the second decade of the twenty-first century when the planning phase reached the current point.²⁹

Nevertheless, the development of the Belconnen District continued and by the end of the 1970s twenty-five suburbs had been gazetted and either occupied or under final development. By 1981 the population of the Belconnen District was 76,300 which has now increased to 92,400 living in 35,600 dwellings.³⁰

During the development of the Belconnen District in early 1970s the west Belconnen Landfill area was established to provide a local facility for the growing number of residents. In the 1990s, sustainable development came to prominence with the ACT government and waste management with an emphasis on recycling and reduction became a priority. Parkwood Road Recycling Estate was opened as a small industrial estate located on Parkwood Road next to the site of the old Belconnen land Fill. The recycling estate is managed by the ACT Property Group providing light industrial sites on the estate to businesses involved in recycling and resource recovery activities - Canberra Sand and Gravel Landscape Centre, No Waste Wood Buster and Parkwood Recycling Centre currently occupy the estate.

The other major light industry operating in the study area is Pace Eggs Pty Ltd. Pace Eggs was established in 1978 and operates the Parkwood Eggs as the only commercial egg production facility in

²⁸ Rhynehart, B. *Belconnen's History* <http://www.belconnen.org.au/belhist.htm> (Accessed 5-12-13)

²⁹ *ibid*

³⁰ Department of Environment Land and Planning, *Canberra's Suburb and Street Names, Belconnen*, Canberra

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the ACT. Because of a growing trend towards free-range and barn-laid eggs in recent years the ACT passed legislation banning cage egg production imparting heavy restrictions on the production of Parkwood Eggs. Under the legislation the facility was given four years to convert to barn egg production. The ACT government agreed to purchase a 24 hectare subdivision of the Parkwood Eggs facility that was deemed surplus to the facility's requirements. Rezoning of this land for further light industry use is now in progress.³¹

Other small commercial business operate on land sections off Parkwood Road - a veterinary surgery (Angel of Mercy Veterinary Hospital) at 138 Parkwood Road; pet boarding centre (Best Friend Pet Centre) at 140 Parkwood Road has been in operation since 1970; Belconnen Landscape Supplies and The Garden centre at 148 Parkwood Road has been operating since the early 1980s under different names and ownership; and the Belconnen Pony Club leases land from the ACT government.

³¹ Canberra Times <http://www.canberratimes.com.au/act-news/cage-egg-farm-destocked-after-lucrative-deal-20130702-2paf2.html#ixzz2mZrimwyk> (Accessed 5-12-13).

3.0 PHYSICAL EVIDENCE

3.1 Setting/Landscape

3.1.1 Description of the ACT Parkwood Lands

The Parkwood land is bounded by the ACT-NSW border to the northwest; Parkwood Road to the southwest and south; the suburb of Macgregor to the east; and rural block division to the northeast.

The cultural landscape included in this study site all falls within an area that was once part of the former Charles Sturt grant of 1837 then, from 1838, the Campbell estate of Belconnen. Almost all of the area subsequently became Block 13 of the post-WW I soldier settler leasehold farms. A review of archival material, such as early 20th century surveys and aerial photography, indicates that the site has been managed as a largely cleared landscape since the 19th century.

The site remains a mostly open and generally flat, grassy landscape bordering the Ginninderra Creek floodplain. In acknowledgement of the severe winds that the area may experience, several pine (*Pinus radiata*) shelterbelts characterise the site along with dense Eucalypt plantations around the Parkwood Eggs property.

Farm groups in the vicinity of the site include *Belconnen Farm* (the subject of a separate detailed CMP study of 2012) to the southwest of the adjacent WBRMC landfill, *Strathnairn* to the south and *Parkwood* and *Kilby Park* to the northwest. Industrial land uses at the WBRMC site and at the electricity substation across Parkwood Road dominate views to the southeast and south respectively while major powerlines (330 kV and 132 kV) and pylons impinge on views within the site.

3.1.2 Evolution of the Cultural Landscape

Much of the land that comprised the southern half of Charles Sturt's original grant area has been described as Tableland Dry Tussock Grassland with Tableland Riparian Woodland along the major drainage system (including Ginninderra Creek).³²

From the middle of the 19th century and through much of the 20th century the Parkwood land has been used principally for broad acre agriculture with some cropping. Only in the latter part of the 20th century have parts of the former Sturt grant area been used for industrial purposes.

The site includes a section of Ginninderra Creek that remains as a traditional boundary marker of Charles Sturt's 1837 land grant and the subsequent Campbell family estate of Belconnen (1838-1912). At the eastern edge of the site there remains a north-south fence line, reinforced by a line of pines that interprets part of the eastern boundary of Sturt's old 1837 grant area and that of the former Belconnen estate. The fence line falls within part of Block 7 Section 149 adjoining housing along Eccles Circuit in Macgregor.

Figure 12 is an annotated oblique aerial photograph of 1954 showing the study area between Parkwood Road and Ginninderra Creek as well as part of the Belconnen Farm area (below Parkwood Road). The figure shows part of a right of way (noted on the 1904 parish map and that has now become part of Parkwood Road) through the former Campbell estate leading to the Southwell/Kilby property Parkwood on the other side of Ginninderra Creek. A later, more easterly, section of Parkwood Road (extreme right middle of the image where it bends) aligns with an earlier fence line from the Campbell estate period.

³² Environment and Recreation, Territory and Municipal Services, *ACT Aquatic Species and riparian Zone Conservation Strategy*, Action Plan No. 29, TAMS, Canberra, 2007, p. 29

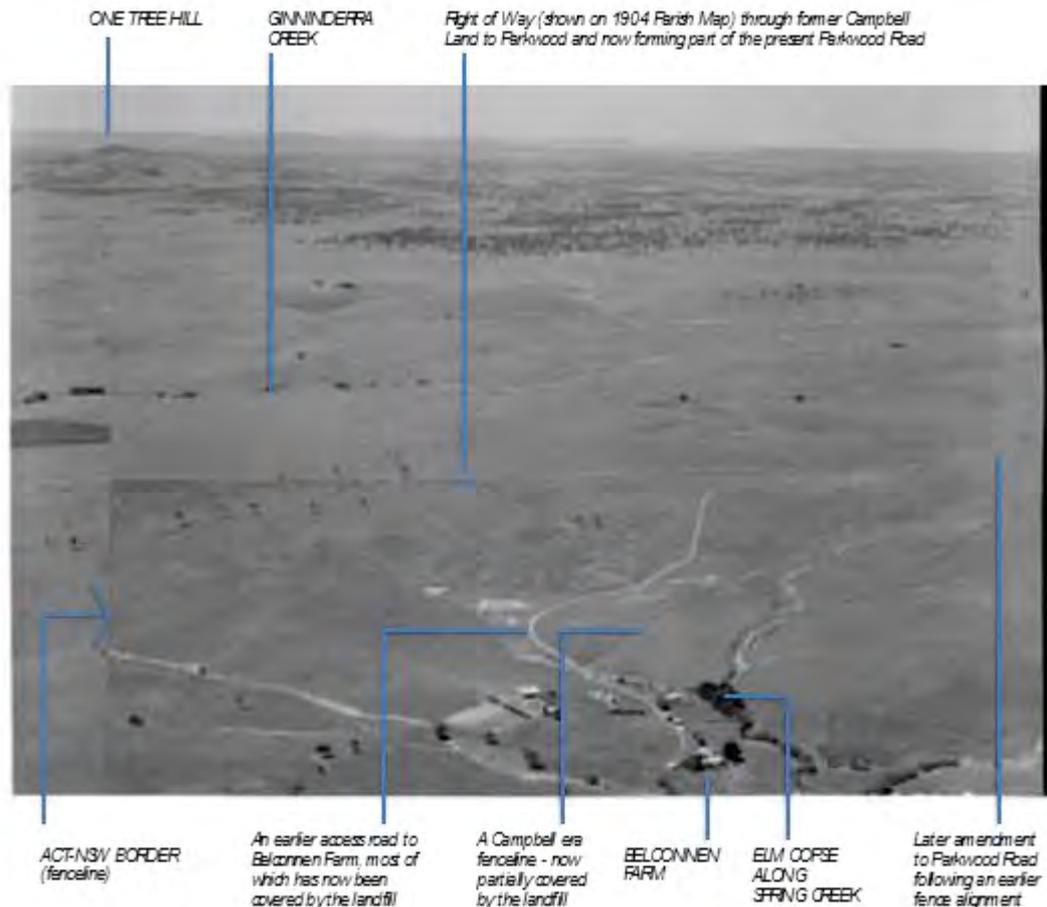


Figure 12: 1954 oblique aerial photograph across the study area (between Parkwood Road and Ginninderra Creek) and Belconnen Farm

Source: NAA Barcode 11714039

Apart from the occasional vegetation within Ginninderra Creek and sporadic woodland trees, Figure 12 shows the Parkwood land to be totally cleared of trees. The present pine shelterbelts and dense tree plantations have all been introduced since the 1960s with many since the 1980s (refer Figure 13).



Figure 13: 1985 aerial photograph of the study area and its, as yet, largely cleared nature.

Source: NLA Belconnen CAC/C 2777 Run 2 Frame 035, 1985

3.2 Structures

There are several structures in the study area as outlined below. Their location is shown in Figure 14.

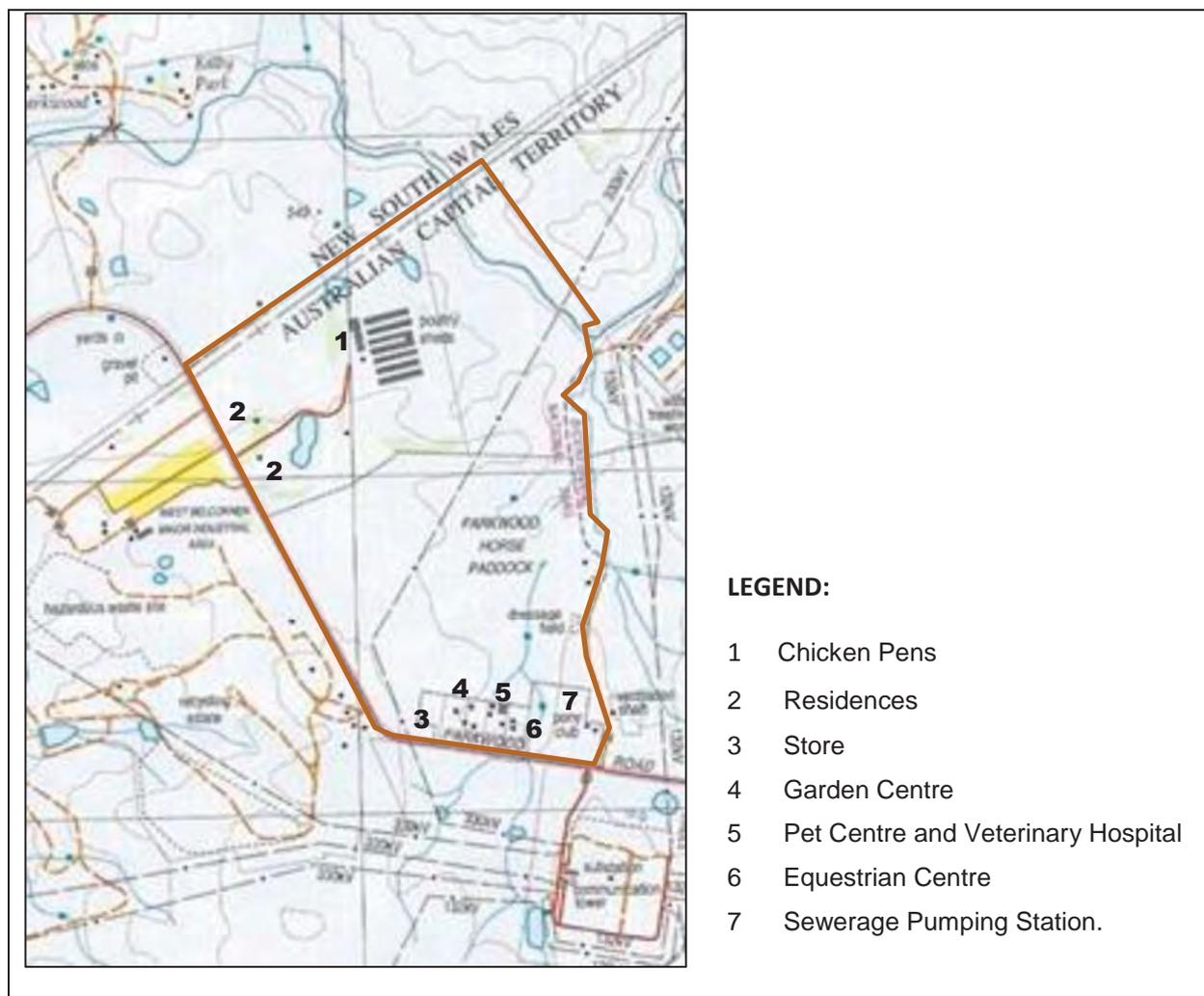


Figure 14: Site Plan showing Major Structures/Features

Source:

3.2.1 Chicken Pens (c1990)

Large Colorbond industrial sheds with concrete surround.



3.2.2 Residences (c1980)

Two tan brick cottages with brown concrete tiled roofs, brown anodized aluminum framed sliding windows. The cottages have minimal landscape but do include some shrubs, trees and lawn around the house with open grassland beyond.



3.2.3 Store (c1990) Tan brick steel framed store and shelter with metal low pitched roof. All set within a bitumen yard with galvanised chain wire fence.



3.2.4 Garden Centre (c1980) "The Garden" garden centre includes a rendered building with gable concrete tiled roof and aluminum framed windows. There is a large gravel car park and landscaped surrounds. There is a metal shed with metal tray gable roof and aluminum framed windows to bulk supply yard. Other garden sheds and timber pergolas are within the yards/centre.



3.2.5 Pet Centre and Veterinary Hospital

The Pet Centre is a single story tan painted brick building with low pitched metal tray roof.

The Veterinary Hospital is a two story tan brick building with a brown concrete tiled skillion roof to each side and brown aluminum framed windows. It is set within yards and landscape with a galvanised wire fence and metal yards and shelters. Roads and parking spaces are bitumen paved and there is a stone wall at the entry.



3.2.6 Equestrian Centre

There is an open equestrian area on the western side and three buildings with adjacent yards. The buildings are: a small tan coloured brick with metal tray gable roof; a small metal clad building with a low-pitched metal gable roof; and a small galvanised metal garden shed. These are set within the area with metal pipe fences and landscape.



3.2.7 Sewerage Pumping Station

This consists of a metal shed around a pump and vent pipes.



4.0 ASSESSMENT

4.1 Criteria

4.1.1 ACT Heritage Criteria

The following criteria are specified in Section 10 of the Heritage Act 2004 as that to be adopted for assessing places in the ACT for the Heritage Places Register.

A place or object has heritage significance if it satisfies 1 or more of the following criteria (the heritage significance criteria):

- (a) it demonstrates a high degree of technical or creative achievement (or both), by showing qualities of innovation, discovery, invention or an exceptionally fine level of application of existing techniques or approaches;
- (b) it exhibits outstanding design or aesthetic qualities valued by the community or a cultural group;
- (c) it is important as evidence of a distinctive way of life, taste, tradition, religion, land use, custom, process, design or function that is no longer practiced, is in danger of being lost or is of exceptional interest;
- (d) it is highly valued by the community or a cultural group for reasons of strong or special religious, spiritual, cultural, educational or social associations;
- (e) it is significant to the ACT because of its importance as part of local Aboriginal tradition;
- (f) it is a rare or unique example of its kind, or is rare or unique in its comparative
- (g) it is a notable example of a kind of place or object and demonstrates the main characteristics of that kind;
- (h) it has strong or special associations with a person, group, event, development or cultural phase in local or national history;
- (i) it is significant for understanding the evolution of natural landscapes, including significant geological features, landforms, biota or natural processes;
- (j) it has provided, or is likely to provide, information that will contribute significantly to a wider understanding of the natural or cultural history of the ACT because of its use or potential use as a research site or object, teaching site or object, type locality or benchmark site;
- (k) for a place—it exhibits unusual richness, diversity or significant transitions of flora, fauna or natural landscapes and their elements;
- (l) for a place—it is a significant ecological community, habitat or locality for any of the following:
 - (i) the life cycle of native species;
 - (ii) rare, threatened or uncommon species;
 - (iii) species at the limits of their natural range;
 - (iv) distinct occurrences of species.

4.1.2 HERCON Criteria

The following assessment criteria have been included in the draft amendments to ACT Heritage Act.

- Criterion 1** Importance to the course or pattern of the ACT's cultural or natural history
- Criterion 2** Has uncommon, rare or endangered aspects of the ACT's cultural or natural history
- Criterion 3** Potential to yield information that will contribute to an understanding of the ACT's cultural or natural history
- Criterion 4** Importance in demonstrating the principal characteristics of a class of cultural or natural places or objects
- Criterion 5** Importance in exhibiting particular aesthetic characteristics valued by the ACT community or a cultural group in the ACT
- Criterion 6** Importance in demonstrating a high degree of creative or technical achievement for a particular period
- Criterion 7** Has a strong or special association with the ACT community, or a cultural group in the ACT for social, cultural or spiritual reasons (for example, a place or object that has a strong or special association for Aboriginal people in the ACT because it is part of their continuing or developing cultural tradition)
- Criterion 8** Has a special association with the life or work of a person, or people, important to the history of the ACT.

4.2 Assessment

4.2.1 Historical Value

The only element within ACT Parkwood land of some historic interest is the southern section of Parkwood Road, Ginninderra Creek and the eastern edge of ACT Parkwood land are part of the historic boundary of Charles Sturt's 1837 grant and Charles Campbell's eastern estate boundary (within part of Block 7 Section 149 adjoining housing along Eccles Circuit in Macgregor) (refer Section 3.1.2).

The only other aspect of some historic reference is the existing road along the west side of the Parkwood land which follows the historic road to Southwell/Kilby property Parkwood on the other side of Ginninderra Creek.

The pine plantations and division of blocks relate to the mid to late twentieth century development.

4.2.2 Aesthetic Value

The Parkwood land is relatively open grassland with residential boundary to the east (Macgregor), the WBRMC to the west and a range of unremarkable buildings. The site is traversed by high voltage powerlines. There is little aesthetic value with the Parkwood land except for traditional longer distant views to the adjacent hills and mountain ranges.

4.2.3 Social Value

The master planning of the area has involved considerable consultation from a very wide range of stakeholders. This has revealed no specific social value in this land, although there is some interest in maintaining public access along Ginninderra Creek which borders part of Parkwood land.

4.2.4 Scientific Value

Archaeological research potential is covered by others.

Indigenous flora and fauna research potential covered by others.

There is no known other scientific value with Parkwood land.

4.2.6 Overview

An assessment of Parkwood land heritage values is:

ACT Land Site Component	Grade of Significance
1837 Sturt, and later Campbell, historic boundary retained in the present fence line within Block 7 Section 149 (pt)	High
Ginninderra Creek section with study area	High
Section of Parkwood road interpreting former right of way through the former Campbell property	High
ACT-NSW border line (ex- Charles Scrivener)	High
Pine shelterbelts	Low
Recent plantations around Parkwood Eggs	Low
Buildings	Low
Views of WBRMC landfill site & infrastructure	Intrusive
High voltage power lines within viewscape	Intrusive
Environmental weeds throughout site	Intrusive

4.3 Conclusion

There is no part of the Parkwood land that meets the threshold of satisfying any of the criteria for listing on the ACT Heritage Register.

There are elements of the Parkwood land that should be retained and interpreted as part of the history of the area. These include:

- Parkwood Road
 - The southern section being part of the boundary of Sturt and Campbell's land.
 - As the road/right of way to the Southwell/Kilby property, Parkwood.
- Ginninderra Creek
 - As a natural element and also part of the boundary of Sturt and Campbell's land.
- ACT broader alignment.
- The short section of fence line marking the historic boundary of Charles Sturt's 1837 grant and Charles Campbell's eastern estate boundary (within part of Block 7 Section 149 adjoining housing along Eccles Circuit in Macgregor).

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Shepherd, A.R.N.	2005	Personal communications, quoted in ACT Government 2011 Heritage (Decision about Registration for Belconnen Farm, Belconnen) Notice 2011.
Throsby. C.,	1821	<i>Australian Magazine</i> , June edition 1821, published letter to Governor Macquarie.

Attachment 1 Brief

REQUEST FOR FEE SUBMISSION

For

EUROPEAN HERITAGE SERVICES

For

**BLOCKS 1605, 1606, 1607 & 1420
Part BLOCK 1613
DIVISION OF BELCONNEN ACT**

ACT PARKWOOD

**BLOCKS 853, 856, 857, 558, 859, 860, 1329,
1333, 1440, 1621, 1622 & Part BLOCK 7 Sec 149**

NSW LAND

**LOTS 1, 2, 3 & 7
DP771051, Parish of WEETANGERA,
SHIRE OF YASS VALLEY, NSW**

NSW NEIGHBOURS LOTS

LOTS 4, 5, 61, & 62

Date of Issue: JULY 2013

Prepared by

Riverview Group
P.O. Box 3908
Manuka ACT. 2603

REQUEST FOR FEE SUBMISSION

1.0 BACKGROUND

The ACT site includes all of Blocks 1605 and 1606 Belconnen District. It is bounded:

- On the east by Stockdill Drive and the Belconnen Magpies Golf Course (a portion of which was recently rezoned for residential development)
- On the south by the Murrumbidgee River
- On the west by the ACT border
- On the north by the Canberra substation, Parkwood road and the Belconnen landfill site.

ACT Blocks Lots 1605 and 1606 are currently held by Corkhill entities as a rural lease the area of this land is 670ha. The Corkhill Group through entity Reid & Stevens P/L also owns 330ha of land in NSW Blocks Lots 1, 2, 3 & 7 which is adjacent to the rural lease land. This land, together with an area of neighbouring NSW land lots 4, 61 & 62 which is approximately 270ha is bounded by the Murrumbidgee River and Ginninderra Creek; it is a “peninsula” that is only accessible from the ACT.

Immediately to the north of the site, across Parkwood Road, is an area of territory land which is largely unleased and undeveloped but which has possible urban potential and has been identified as such in the ACT Planning Strategy. This land is bounded by Parkwood Road, West Macgregor, Ginninderra creek and the Parkwood Egg farm.

On the 15 May 2013 Corkhill, Reid & Stevens and ACT Government signed a Heads of Agreement which requires the following:-

- a) The parties have agreed to develop land in accordance with project objectives to ACT.
- b) Reid & Stevens can develop NSW land into residential, commercial lots at a prescribed time.
- c) Riverview Group part of the Corkhill Group act as Development/ Project Managers acting on behalf of the ACT Government through their agency Land Development Agency to develop ACT land for residential uses for Blocks 1605 & 1606.

Riverview Group has commenced the rezoning process and the attached request for fee submission is the first stage.

2.0 PROJECT OBJECTIVES

The fee submission shall be aware of the project objectives which are attached in annexure A.

3.0 THE SERVICES

The Consultant must provide the Services described in Schedule B attached scope of works.

4.0 PERFORMANCE OF THE SERVICES

4.1 Professional Services

The Consultant must perform the Services with the degree of professional skill, care and diligence expected of a consultant experienced in providing the same or similar services. The Consultant acknowledges that Riverview Group is reliance upon the Consultant's representation that it has the skill, experience and ability to provide the Services.

4.2 Nominated Personnel

The Consultant must provide details in fee submission of the relevant personnel proposed to perform the Services. This includes and not limited to Curriculum Vitae but maybe also references.

5.0 RIVERVIEW GROUP ROLE

Riverview Group is the appointed Development/ Project managers for the project and all instructions will be via Riverview Group only.

The Principal shall be the Land Development Agency for ACT land and Reid & Stevens for NSW Land. The Principal in both cases will be responsible for the payment of all consultants' invoices.

6.0 SCOPE OF RESPONSIBILITY

The Consultant indemnifies Riverview Group, LDA & Reid & Stevens against all claims, liability or loss in respect of personal injury (including death) to any person or damage to any property (other than the Project) arising out of or in connection with the Services, to the extent that the same is due to the negligence or default of the Consultant or its employees, agents or contractors.

The Consultant will be liable for the care of all drawings, specifications and other documents prepared by the Consultant or entrusted to it by Riverview Group or LDA until they are returned by the Consultant to Riverview Group.

7.0 VALUE FOR MONEY

The consultant in the fee submission must provide statement where there company fee submission provides LDA with value for money for the services. Refer to Schedule E item 7.

8.0 INSURANCES

8.1 Public Liability

The Consultant must effect and maintain public liability insurance with a limit of indemnity of not less than the amount stated in Schedule C to this Agreement.

8.2 Employees and Agents

The Consultant must effect and maintain insurance against any liability which may arise at common law or by virtue of any relevant workers or accident compensation legislation, in respect of any person employed by the Consultant in connection with the Services.

8.3 Professional Indemnity

The Consultant must effect and maintain professional indemnity insurance with a limit of indemnity of not less than the amount stated in Schedule C to this Agreement in respect of legal liability arising from a breach of professional duty or negligence whether that duty is owed in contract or otherwise by reason of any act error or omission by the Consultant or its employees, agents or contractors.

9.0 WORK HEALTH AND SAFETY ACT 2011 (WHS)

The Consultant fee submission must provide and allow for all the requirements of the WH&S ACT 2011.

10.0 ACT & NSW Statutory Requirement

The Consultant fee submission must allow for relevant statutory requirement by the Federal, ACT & NSW governments.

11.0 ACT PROCUREMENT Act 2001

The requirements of the ACT Procurement Act are included in fee submissions.

12.0 ACT BUILDING AND CONSTRUCTION INDUSTRY (SECURITY OF PAYMENTS) ACT. 2009

The requirements of the ACT Building and Construction Payments (Security of Payments) Act are included in fee submissions.

13.0 QUALITY

The Consultant must prepare and implement to the satisfaction of Riverview Group a quality assurance system for the Services and include in the fee submission.

14.0 CONFIDENTIALLY AGREEMENT

The Consultant must be prepared to sign a confidentially agreement attached to Annexure D if fee submission successful.

15.0 CONFLICT OF INTEREST

The Consultant must declare in fee submission any matter connected with the performance of the Services, which could give rise to an actual or potential conflict of interest.

16.0 FEES AND PAYMENT

16.1 The fee submission for the Services is to be lump sum with any assumptions, clarifications or exclusions to be clearly defined.

16.2 The fee submission for services shall include all disbursements.

16.3 Provide with fee submission any hourly rates that maybe applicable for change of scope works.

16.4 Fee submission shall be fixed for a period of 120 days.

16.5 At monthly intervals the Consultant may submit a tax invoice for the Fees due and the GST thereon for Services provided accompanied by information sufficient to allow Riverview Group to verify each invoice to its satisfaction. The tax invoice must contain be addressed as follows:

1) ACT LAND
Land Development Agency
c/- Riverview Group
P.O. BOX 463
WAHROONGA NSW 2076

2) ACT PARKWOOD LAND
Land Development Agency
c/- Riverview Group
P.O. BOX 463
WAHROONGA NSW 2076

3) NSW LAND
Reid & Stevens Pty Ltd
c/- Riverview Group
P.O. BOX 463
WAHROONGA NSW 2076

SCHEDULE A

Find attached Project objective for West Belconnen ACT - Corkhill



The Belconnen Project Sustainability Vision

“Creating a sustainable community of international significance in the Nation’s capital.”

The Riverview Group, working with the ACT and NSW Governments, will develop the site at Belconnen to achieve a vision of inspiring sustainable living, development practice and awareness. Achieving a high quality of life for the people living at Belconnen is at the heart of our project planning and design.

We will create a community that exemplifies World’s Best Practice in its design, construction and long-term liveability. As a model of sustainable community living it will be a place and community that can be showcased throughout Australia and internationally.



Project objectives:

To achieve our Vision we will challenge conventional industry thinking. We will employ practices, processes and systems that embody innovation and design excellence.

This project has been conceived and will be delivered on a fully integrated and audited triple bottom line basis.

Our project will:

- » Be sustainable over time, socially, economically and ecologically (with a low and reducing ecological footprint)
- » Respond to the local and global environment
- » Provide for future beneficial change to occur in design, infrastructure and regulatory mechanisms
- » Be cost effective, replicable and measurable
- » Act as a new model that others can follow.

Guiding Principles for Sustainable Results

The principles below will direct decision-making by all project management, sub-consultants and referral agencies in the delivery and development of the Belconnen site. They reflect national priorities and Federal, State and Territory Government policies on housing affordability, climate change and environmental protection.

PARTNERING PRINCIPLES

- Ptnr 1. Partnering is essential to this project and the scale and timeframe will allow for positive partnerships to grow and thrive
- Ptnr 2. Partnering with public agencies is a cornerstone of our approach
- Ptnr 3. Engaging the community in design and governance is fundamental to the delivery of the project.
- Ptnr 4. Designing the project for community ownership and ultimate community control
- Ptnr 5. Supporting community housing through public and private partnering arrangements
- Ptnr 6. Collaborating with research and educational institutions to drive innovation.

EVALUATION PRINCIPLES

- Eva 1. Identifying and delivering realistic and costed initiatives
- Eva 2. Providing independent peer review of project proposals and project outcomes
- Eva 3. Using recognised international and national benchmarks for sustainability performance to publicly report and raise awareness of project outcomes
- Eva 4. Empowering resident and community monitoring and management of sustainability performance
- Eva 5. Encouraging a culture of continuous improvement.

ECOLOGICAL PRINCIPLES

- Eco 1. Acknowledging the intrinsic value of all species and the special role and regional significance of the Murrumbidgee river corridor and Gininnderra Creek
- Eco 2. Respecting and supporting the ecosystem functions of air, soil and water, recognising the importance of living and non-living environmental resources
- Eco 3. Reducing greenhouse gas emissions through innovative products and place design, material selection and service provision
- Eco 4. Recognising our natural ecological limits and minimising our resource, water and energy consumption
- Eco 5. Using existing local infrastructure to deliver efficient renewable services and reusable resources
- Eco 6. Enhancing local opportunities for food production and production of materials
- Eco 7. Fostering a deep sense of respect for and connection to the land, flora and fauna.

SOCIAL AND CULTURAL PRINCIPLES

- Soc 1. Respecting and honouring Aboriginal and non-Aboriginal cultural, historical and spiritual values, including integrating with the existing rich, social fabric of Belconnen
- Soc 2. Designing for social equity, affordability, diversity and interdependence, honouring differences and catering for the needs of individuals through all stages of life
- Soc 3. Maximising health, safety and comfort of the built environment to provide enduring quality of life
- Soc 4. Instilling awareness and supporting education of sustainability values, technology and lifestyles
- Soc 5. Using creative and robust design solutions to create a continuing sense of place and beauty that inspires, affirms and ennobles
- Soc 6. Designing neighbourhoods that support and encourage community interactions through imaginative, functional and enjoyable public spaces

ECONOMIC PRINCIPLES

- Econ 1. Delivering a financial return to the ACT Government recognising their sovereign interest in the land
- Econ 2. Recognising the opportunities provided by the project's scale and low capital base to achieve high-level sustainability outcomes while delivering profitability to joint venture partners
- Econ 3. Building on existing local infrastructure
- Econ 4. Ensuring long-term economic viability through design excellence and community building
- Econ 5. Minimising obsolescence through design of enduring component life cycle, allowing for disassembly and change
- Econ 6. Integrating with the Belconnen commercial, retail and employment networks
- Econ 7. Growing a formal and informal green economy that fosters local jobs and builds regional learning around green innovation and technology

SCHEDULE B

GENERAL SCOPE

The scope of the Project is as attached Riverview Group Pty Ltd Scope of Works.

West Belconnen Project*“Creating a Sustainable Community of International Significance in the Nation’s Capital”***Research and report on European heritage****Consultancy Scope of Works**

Consultancy name:

European Heritage

Timeframe:

August – October 2013

Task study area:

See attached plan

<u>Parcel</u>	<u>State</u>	<u>Approx. Area</u>
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ACT Land

Block 1605	ACT	665.8 ha
Block 1606	ACT	12.5 ha.
Block 1607	ACT	8.1 ha
Block 1420	ACT	2.7 ha
Pt block 1613	ACT	26.8 ha

NSW Land

Lot 1	NSW	91.8 ha
Lot 2	NSW	80 ha
Lot 3	NSW	80 ha
Lot 7	NSW	80 ha

ACT Parkwood Land

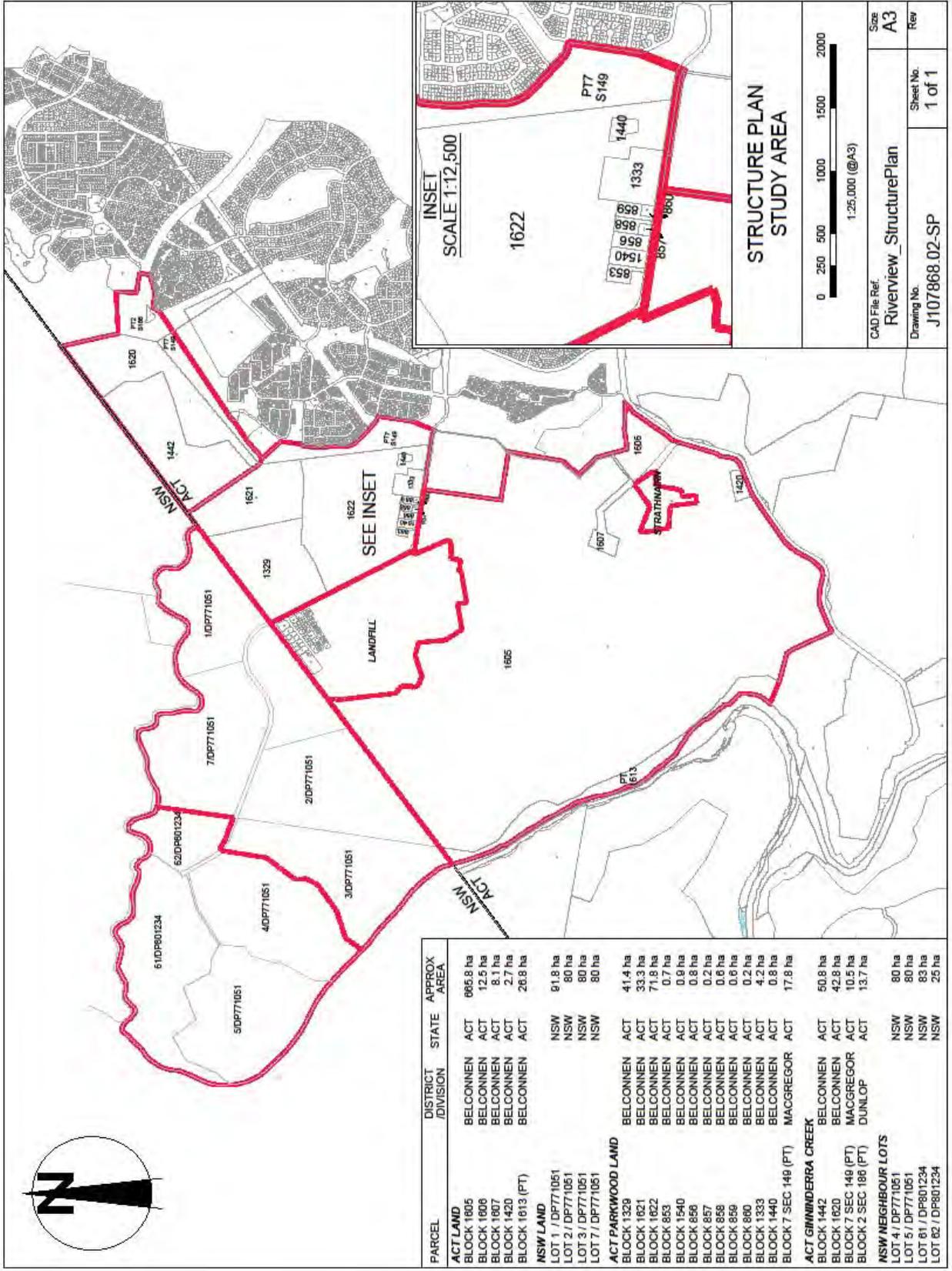
Block 1329	ACT	41.4 ha
Block 1621	ACT	33.3 ha
Block 1622	ACT	71.8 ha
Block 853	ACT	0.7 ha
Block 1540	ACT	0.9 ha
Block 856	ACT	0.8 ha
Block 857	ACT	0.2 ha
Block 858	ACT	0.6 ha
Block 859	ACT	0.6 ha
Block 860	ACT	0.2 ha
Block 1333	ACT	4.2 ha
Block 1440	ACT	0.8 ha
Pt Block 7 Sec 149 Macgregor		20 ha

ACT Ginninderra Creek

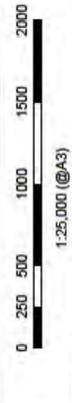
Block 1442	ACT	50.8 ha
Block 1620	ACT	42.8 ha
Pt. Bl. 7 Sec 149 Macgregor		10.5 ha
Pt. Bl. 2 Sec 186 Dunlop		13.7

	<p>NSW Neighbour lots</p> <table border="0"> <tr> <td>Lot 4</td> <td>NSW</td> <td>80 ha</td> </tr> <tr> <td>Lot 5</td> <td>NSW</td> <td>80 ha</td> </tr> <tr> <td>Lot 61</td> <td>NSW</td> <td>83 ha</td> </tr> <tr> <td>Lot 62</td> <td>NSW</td> <td>25 ha</td> </tr> </table> <p>ACT Rural Block Belconnen 1332 (Strathnairn) excluded.</p>	Lot 4	NSW	80 ha	Lot 5	NSW	80 ha	Lot 61	NSW	83 ha	Lot 62	NSW	25 ha
Lot 4	NSW	80 ha											
Lot 5	NSW	80 ha											
Lot 61	NSW	83 ha											
Lot 62	NSW	25 ha											
<p>Background:</p>	<p>The proposal is for the development of the land for residential and related purposes. Of the total area approximately 50% of the ACT land and a lesser proportion of the NSW land is expected to be zoned for river corridor or conservation purposes. The balance of the land is anticipated to yield approximately 4,500 dwellings in the ACT and 3,500+ in NSW.</p> <p>Development is intended to commence at Stockdill Drive (the eastern boundary of the site), and initially extend westward in stages to the ACT/NSW border. Assuming a sales rate of approximately 400 dwellings per year the project will extend over a period of approximately eleven years following commencement of sales. A commencement date for the development of the NSW land is not yet determined.</p> <p>Detailed resolution of the site design, numbers and sizes of blocks, provisions for schools, other community facilities, open space and the like will be subject to the outcomes of a structure planning process and subsequent detailed design for each stage. The first step will be the preparation of a structure plan; this will be a substantial document including plans and supporting technical reports that will provide the basis for proposals for rezoning the land under the Territory and National Capital plans.</p> <p>For the ACT land it will be necessary to achieve rezoning under the Territory Plan and the National Capital Plan, which in turn will require certain environmental approvals to be in place, and development approval for a first stage subdivision. The NSW land will also require rezoning under the Yass valley Shire planning Scheme.</p>												
<p>Task description:</p>	<p>To undertake necessary research and investigations and prepare a report on the European heritage of the study area, incorporating the works completed to date as set out in the background documents listed below.</p> <p>Report to identify any features that are of heritage interest and provide an assessment of appropriate options for the future management of such features in the context of urban development.</p> <p>Report to provide a commentary on the European heritage of the study area that may inform future social and cultural planning for the proposed new community.</p> <p>Report to provide sufficient information to substantiate proposals to rezone the land for urban development including the identification of</p>												

	<p>any requirements for heritage management or protection that should be incorporated into rezoning proposals.</p> <p>Design process</p> <ul style="list-style-type: none"> • Design process to include design workshop/s with the consultant team that will be facilitated by the consultation consultant. Allow three days. <p>Consultation</p> <ul style="list-style-type: none"> • Design process to include public consultation, allow 3 days for participation in public consultation, to be facilitated by consultation consultant . <p>Liaison may be required with agencies as follows (allow 2 X meetings with each):</p> <ul style="list-style-type: none"> • NSW state heritage agencies • ACT heritage unit
Background information	<p>NSW AREA NEAR WEST BELCONNEN Advice on Heritage Matters Eric Martin and Associates 17 February 2011</p> <p>BELCONNEN WEST BLOCKS 1605 & 1606 Advice on Heritage Matters Eric Martin and Associates 28 February 2011</p> <p>BELCONNEN FARM CONSERVATION & MANAGEMENT PLAN Eric Martin and Associates To be finalised shortly</p>
Task Components	<p>Due to differing ownership arrangements this task is to be completed and invoiced in parts; fee submissions should be divided similarly as follows:</p> <ul style="list-style-type: none"> • ACT land • NSW land • NSW Neighbours lots • ACT Parkwood & Ginninderra Creek land



**STRUCTURE PLAN
STUDY AREA**



CAD File Ref.	Riverview_StructurePlan	Size	A3
Drawing No.	J107868.02-SP	Sheet No.	1 of 1
		Rev	

PARCEL	DISTRICT / DIVISION	STATE	APPROX AREA
ACT LAND			
BLOCK 1805	BELCONNEN ACT		665.8 ha
BLOCK 1806	BELCONNEN ACT		12.5 ha
BLOCK 1807	BELCONNEN ACT		8.1 ha
BLOCK 1420	BELCONNEN ACT		2.7 ha
BLOCK 1813 (PT)	BELCONNEN ACT		26.8 ha
NSW LAND			
LOT 1 / DP771051	NSW		81.8 ha
LOT 2 / DP771051	NSW		80 ha
LOT 3 / DP771051	NSW		80 ha
LOT 7 / DP771051	NSW		80 ha
ACT PARKWOOD LAND			
BLOCK 1329	BELCONNEN ACT		41.4 ha
BLOCK 1821	BELCONNEN ACT		33.3 ha
BLOCK 1822	BELCONNEN ACT		71.8 ha
BLOCK 853	BELCONNEN ACT		0.7 ha
BLOCK 1540	BELCONNEN ACT		0.9 ha
BLOCK 856	BELCONNEN ACT		0.8 ha
BLOCK 857	BELCONNEN ACT		0.2 ha
BLOCK 858	BELCONNEN ACT		0.6 ha
BLOCK 859	BELCONNEN ACT		0.6 ha
BLOCK 880	BELCONNEN ACT		0.2 ha
BLOCK 1333	BELCONNEN ACT		4.2 ha
BLOCK 1440	BELCONNEN ACT		0.8 ha
BLOCK 7 SEC 149 (PT)	MACGREGOR ACT		17.8 ha
ACT GIMMIDERRA CREEK			
BLOCK 1442	BELCONNEN ACT		50.8 ha
BLOCK 1820	BELCONNEN ACT		42.8 ha
BLOCK 7 SEC 149 (PT)	MACGREGOR ACT		10.5 ha
BLOCK 2 SEC 186 (PT)	DUNLOP ACT		13.7 ha
NSW NEIGHBOUR LOTS			
LOT 4 / DP771051	NSW		80 ha
LOT 5 / DP771051	NSW		80 ha
LOT 81 / DP801234	NSW		83 ha
LOT 82 / DP801234	NSW		25 ha

SCHEDULE C

MISCELLANEOUS ITEMS

1. Date of commencement of Services:

July 2013.....
(Clause 1.2)

Date by which Services must be completed:

.....As per contractors program for Defect Liability Period sign off and final account
(Clause 1.2)

Services to be carried out in accordance with programme titled:

As required
(Clause 12)

2. **Public liability** insurance with

.....

- Limit of cover (if nothing stated - \$20,000,000):

.....

- Policy number: Expiry Date:.....

3. **Professional indemnity** insurance with

.....

- Limit of cover (if nothing stated - \$10,000,000):

.....

- Policy number..... Expiry Date:.....

- The insurance to be maintained under clause 5.3 must provide that there is at least one automatic reinstatement per annum of the limit of liability.

4. Product Liability insurance with

.....

- Limit of cover (if nothing stated - \$20,000,000):

.....

- Policy number..... Expiry Date:.....

- The insurance to be maintained under clause 5.3 must provide that there is at least one automatic reinstatement per annum of the limit of liability

5. Workers Compensation insurance with

.....

- Policy number..... Expiry Date:.....

- The insurance to be maintained under clause 5.3 must provide that there is at least one automatic reinstatement per annum of the limit of liability

SCHEDULE D

CONFIDENTIALLY AGREEMENT

DEED OF CONFIDENTIALITY

THIS DEED is made on 2013

BY:

of

(Confidant)

IN FAVOUR OF:

LAND DEVELOPMENT AGENCY ABN 20 419 925 579 of TransACT House, 470 Northbourne Avenue, Dickson ACT 2602 (**LDA**)

BACKGROUND

- A. Information to be provided by the LDA or to be made available to the Confidant will include confidential or personal information belonging to, or in the possession of, the LDA.
- B. The LDA and the Confidant agree that it is necessary to take all reasonable steps (including the execution of this Deed) to ensure that the LDA's confidential information is kept confidential.

IT IS AGREED AS FOLLOWS:

1. Interpretation

1.1 The following definitions apply in this Deed unless the context otherwise requires.

“confidential information” means the kind of information that:

- (1) is or relates to documents, submissions, consultations, policies, strategies, practices and procedures of the LDA which are by their nature confidential;
- (2) is notified (whether in writing or not) by the LDA to the Confidant as confidential;
- (3) the Confidant knows or ought to know is confidential; or
- (4) is personal information,

but does not include information which:

- (5) is or becomes public knowledge other than by breach of this Deed;
- (6) has been independently developed or acquired by the Confidant; or
- (7) has been notified in writing by the LDA to the Confidant as being not confidential.

“**Territory**” means:

- (1) when used in a geographical sense, the Australian Capital Territory; and
- (2) when used in any other sense, the body politic established under the *Australian Capital Territory (Self-Government) Act 1988* (Cth).

1.2 In this Deed, unless the context otherwise requires:

- (1) words in the singular number include the plural and vice versa; and references to legislation or to provisions in legislation include references to amendments or re-enactments of them and to all regulations and instruments issued under the legislation;
- (2) clause headings are for convenient reference only and have no effect on the interpretation of the provisions to which they refer; and
- (3) a reference to a “person” includes a body corporate.

2. Non-disclosure of confidential information

- 2.1 The Confidant must not, at any time during or after the provision of the Services, without the prior written consent of the LDA, nor at any time after the expiration of this Deed, disclose the confidential information to any person nor remove the confidential information from the possession or premises of the LDA.
- 2.2 The LDA may grant or withhold its consent for purposes of clause 3.1 in its absolute and unfettered discretion. If the LDA grants its consent, it may impose conditions on that consent and the Confidant must comply with those conditions.
- 2.3 The Confidant will maintain strict confidentiality regarding the confidential information.
- 2.4 The obligations of the Confidant under this Deed will not be taken to have been breached where the confidential information is legally required to be disclosed.
- 2.5 The Confidant must immediately deliver to the LDA all documents in his/her control containing the confidential information as soon as they are demanded by the LDA (whether in writing or not).

3. Restrictions on use

The Confidant will use the confidential information only for the purposes of undertaking the Services, and as otherwise directed by the LDA.

4. Indemnity

The Confidant will indemnify and keep indemnified the LDA, its employees and agents in the event of all claims, costs and expenses made against any of them in respect of injury, loss or any damage suffered by any person as a consequence of the Confidant breaching this Deed, except to the extent to which a relevant claim arises out of the act or omission of the LDA.

5. Legal proceedings

The Confidant acknowledges that the LDA may take legal proceedings against the Confidant or third parties if there is any actual, threatened or suspected breach of this Deed, including proceedings for an injunction to restrain such breach.

6. Governing law

This Deed is governed and construed in accordance with the law for the time being in force in the Territory and the parties submit to the non-exclusive jurisdiction of the Courts of the Territory.

SIGNED as a Deed on the date written on page 1.

.....)
Print Name in Full)	Signature of Confidant
)	
in the presence of:)	
)	
)	
.....)	
Signature of witness)	

.....
Name of witness

SCHEDULE E

1. FEE SUBMISSION

1.1. Fee Calculation General

The remuneration of the Consultant is the total of the amounts referred to in Clause 1.2 below. All amounts are GST exclusive.

1.2. Fee Breakdown

- ACT LAND :-
- PARKWOOD (LDA) :-
- NSW LAND (REID & STEVENS P/L) :-
- NSW LAND (Neighbours) :-

2. Hourly Rates

The following hourly rates shall be used as a basis for valuation of any additional approved works for which an hourly rate reimbursement basis is agreed to be appropriate. These rates shall remain fixed until Project completion:

Director	-	\$ 0.00
Associate Director	-	\$ 0.00
Senior Architect	-	\$ 0.00
Architect	-	\$ 0.00
Technician	-	\$ 0.00
CAD Operator	-	\$ 0.00
Administration	-	\$ 0.00

Fee inclusive of support staff and costs and expenses

The Consultant's remuneration is inclusive of the cost of all necessary clerical and supportive staff (such as clerks and stenographers) and all statutory and other costs (such as payroll tax, holiday pay, sickness benefits, long service leave, superannuation, and fringe benefits tax). The Consultant shall at its own expense provide all necessary facilities such as office accommodation, telephone, and facsimile services required for the performance of its obligations under this deed.

7. VALUE FOR MONEY

The fee submission shall include a details and statement regarding Value for money for LDA for the services being provided.

- i) The Consultant must detail their proposed methodology including:-
 - a) Purpose, role and subject matter;
 - b) Proposed study strategy, consultation tools and method;
 - c) Value added features

- ii) Demonstrate record of consultancy experience and competencies to relevant studies:-
 - a) Previous work of similar type;
 - b) Project resources details;
 - c) Reference from three previous clients undertaking similar roles on similar size project.

- iii) The Consultant to provide individual consultant skills and experience for similar projects:-
 - a) Provide resumes for each consultant team member proposed for scope of works including and not limited to qualifications, skills and experience;
 - b) Availability of nominated consultants team members for the scope of works;
 - c) Structure proposed by your consultant team for the project;

- iv) The Consultant to demonstrate support resources for delivery of the scope of works within the proposed timeframe:-
 - a) As per clause 4 Program provide detailed program of tasks;
 - b) Provide an indication of the relationship between time, scoped task and team members;
 - c) Capacity and resources to respond to critical matters at short notices or adjust delays.

- v) The consultant to demonstrate how life cycles costs will be considered in the scope of works

- vi) The Consultant to provide details that they understand the obligations of the Project Objectives and provide details how they will manage their scope of works to assess compliance or review of these Project Objectives.

8. FEE SUBMISSION

The fee submission shall be submitted by the 26/07/13.

The fee submission can be issued by mail, fax or email to the following:-

Mail :- Riverview Group
P.O. BOX 463
WAHROONGA NSW 2076

Fax :- 02 9487 6172

Email:- steve@abshop.com.au

9. CONTACT POINT

STEPHEN CHARLTON MOBILE: 0412 272 537

PHONE: 02 9487 4293
EMAIL: steve@abshop.com.au