









9 TABBARA CRES

PROPOSED NEW DRIVEWAY TO COMPLY WITH ACT 2004 (SEE PL. 04/2004) (PROVIDE TYPICAL DETAILS) & LEASE DEVELOPMENT CONDITIONS

**ACE** APPROVED WITH CONDITIONS

Sign: *[Signature]*  
Date: 18.10.12

Refer to information sheet on Services and Verge Management with the Crace Pattern Book on verge protection measures during construction of your home.

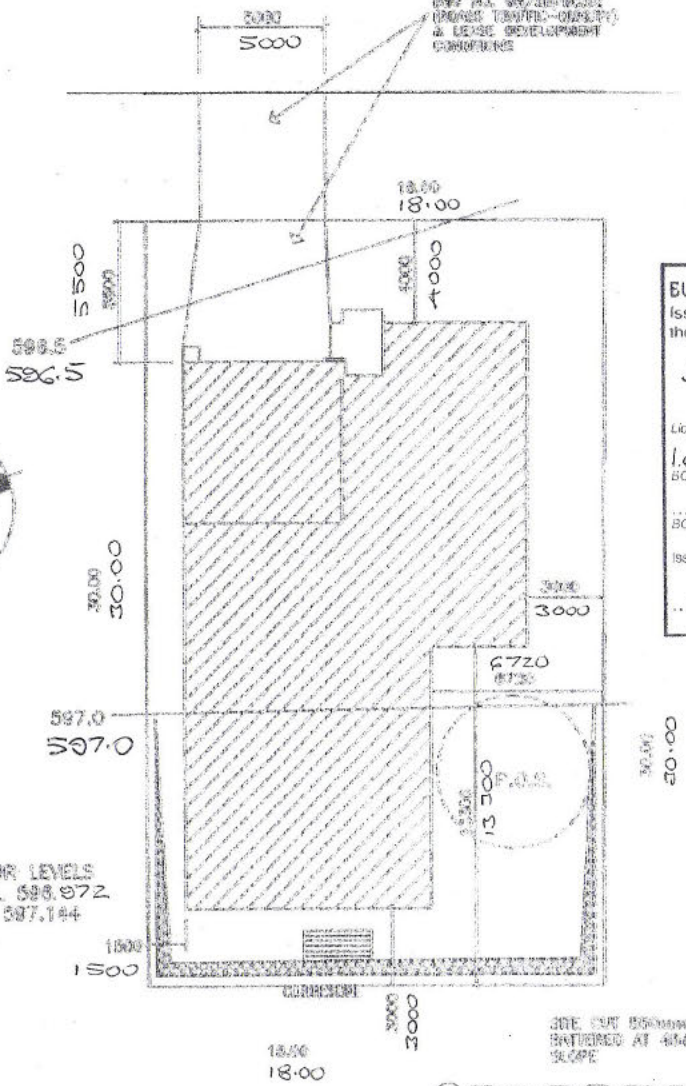
Front retaining wall to be stone, masonry or concrete blocks. Timber sleepers and cement look-a-like sleepers are not permitted beyond the building line.

The driveway over the verge is to match the footpath material and finish as per the Crace Pattern Book.

**BUILDING APPROVAL**  
Issued under s 23 of the Building Act 2004.  
**JOHN BATES**  
Certifier Name  
Lic No: 19984383  
1.a(i), 10a, 10b  
BCA Compliance Class  
BCA Type of Construction  
Issue date: 14.04/13  
*[Signature]*  
Certifier signature

1 = 9

BLOCK AREA - 540 m<sup>2</sup>  
GFA - 258.7 m<sup>2</sup>  
PLOT RATIO - 47.9 %



FINISHED FLOOR LEVELS  
GARAGE - FFL 596.972  
LIVING - FFL 597.144

**GENERAL NOTES**  
CARRY OUT ALL WORK IN COMPLIANCE WITH THE RELEVANT SAA CODES OF PRACTICE IN THE BEST TRADESMAN-LIKE MANNER TO THE APPROVAL OF THE SUPERINTENDENT AND AUTHORITIES HAVING JURISDICTION OVER THE WORKS INCLUDING BUT NOT RESTRICTED TO:  
A) ACT GOVERNMENT  
B) BUILDING CODE OF AUSTRALIA AND THE ACT APPENDIX  
C) ACT ELECTRICITY AND WATER  
D) AS1884 TIMBER FRAMING CODE AND AS FURTHER SPECIFIED.  
ALL DIMENSIONS MUST BE VERIFIED ON SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.  
USE FIGURED DIMENSIONS ONLY. DO NOT SCALE OFF THE DRAWING  
SURVEYOR TO CONFIRM EASEMENT LOCATIONS PRIOR TO COMMENCEMENT OF ANY WORKS.

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AXIS DESIGN & DRAFTING ACCEPTS NO RESPONSIBILITY OR LIABILITY FOR ANY STRUCTURAL COMPONENTS, NOTATION OR ACCURACY OF DOCUMENTATION HEREIN. CLIENT / BUILDERS ACCEPTS PLANS & RESPONSIBILITIES ONCE PLANS ARE SUBMITTED FOR APPROVALS.



**Axis Design and Drafting**  
PH. 02429550 FAX 02429661  
UNIT 1/30 ESSINGTON ST MITCHELL ACT

PROJECT  
**PROPOSED NEW WORK**

BLOCK: 4  
SECTION: 80  
DIVISION: CRACE

FOR Sch 2.2.2(a)(ii)

DRAWING TITLE  
**WORKING DRAWINGS**

DRAWN BY  
**ZELJKO**

CHECKED BY

DATE  
**24.9.2012**

SCALE  
**1:200**

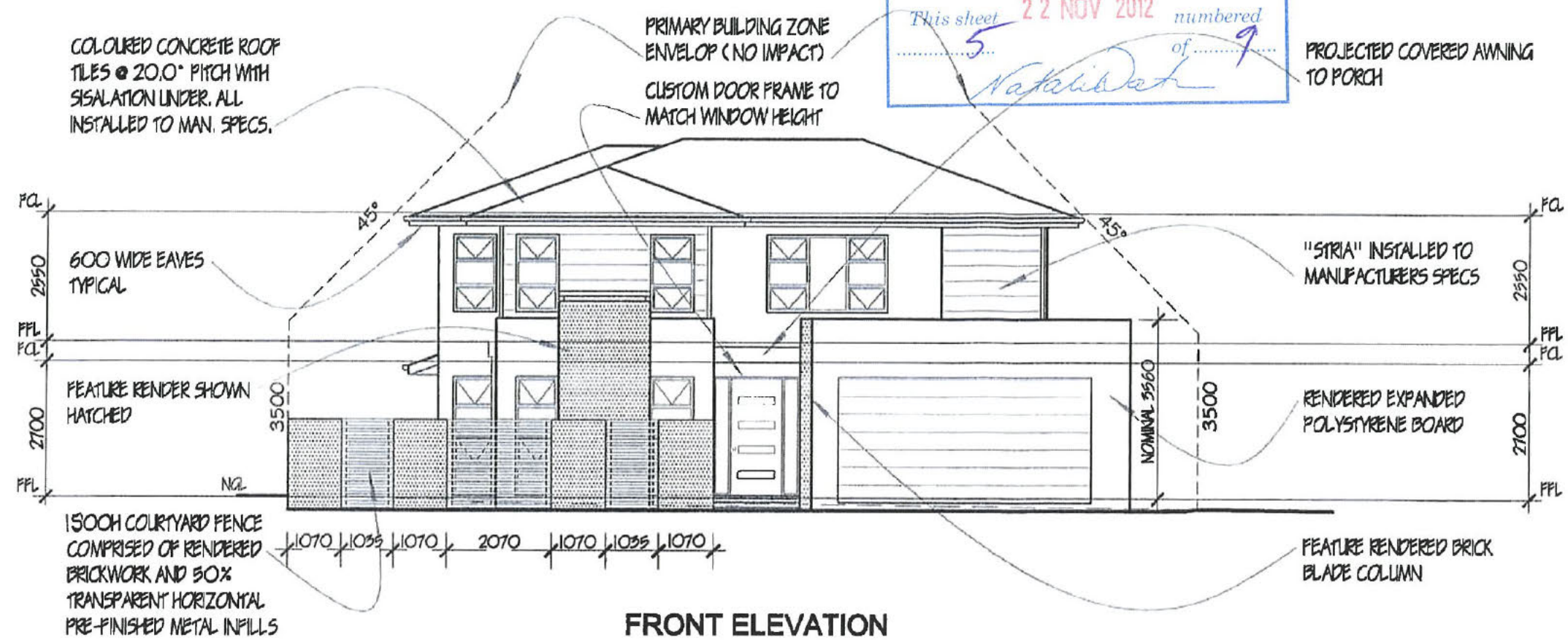
DRAWING No.

DATE

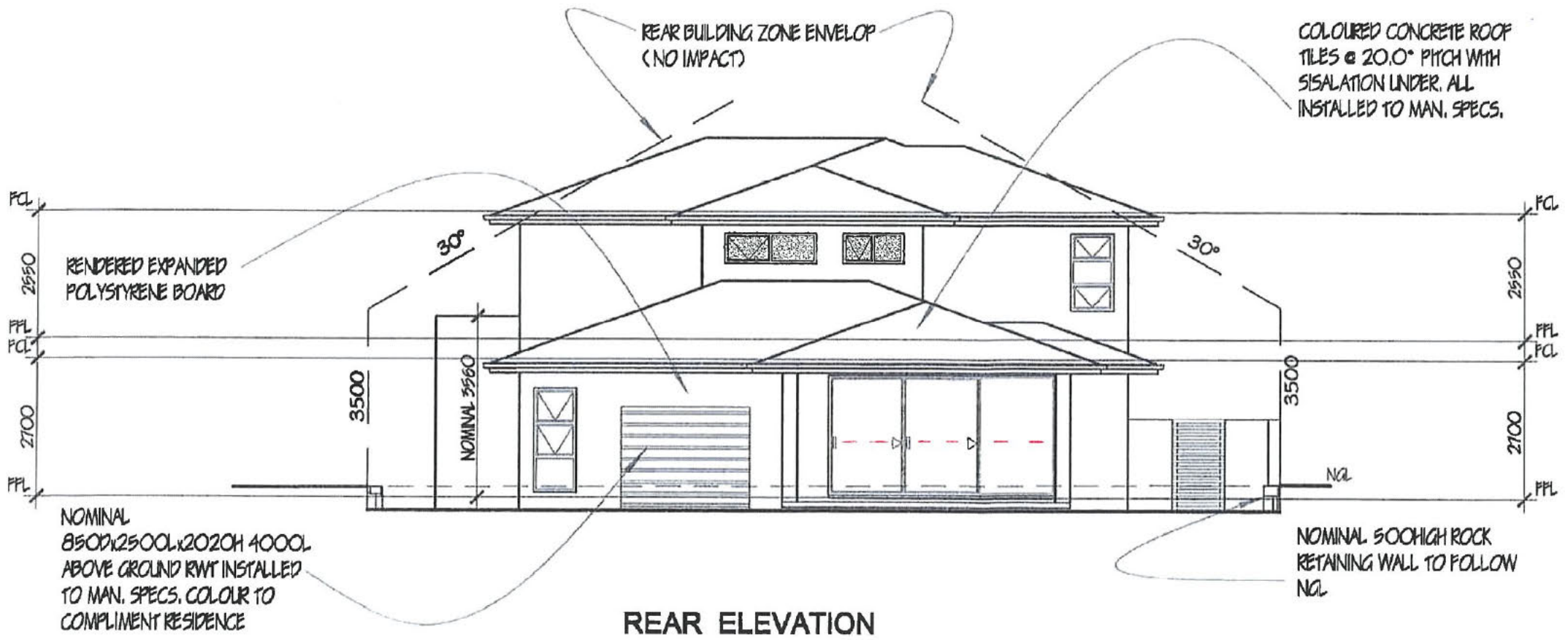
SHEET OF **1**



**Natalie Watson** Lic. No: 200428123  
 Building Approval issued under section 28 of  
 the Building Act 2004  
 This sheet **2 2 NOV 2012** numbered  
 .....5..... of .....9.....  
*Natalie Watson*



**FRONT ELEVATION**



**REAR ELEVATION**

**NOTES:**  
 PROVIDE FLASHING FROM WALLS TO ROOF AS  
 REQUIRED

**scinergy**  
 Building thermal performance assessor: Jenny Edwards  
 ACT Building Assessor (Class A - Energy Efficiency) Lic No. 2011198  
 Sign: *J Edwards* Rating: 6 ★  
 Date: 24/7/2012  
 PO Box 366, Curtin ACT 2605  
 jenny@scinergy.com.au 0424 635 082

**today's homes** and lifestyle  
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 HIA HOME IDEAS CENTRE  
 Suites 1 & 3 28 Colle street Fyshwick ACT 2608  
 P : (02) 6228 3234 F : (02) 6280 8108

**PROPOSED RESIDENCE ON**  
 block : **5** section : **80**  
 suburb : **CRACE**

FOR **Sch 2 2.2(a)(ii)**

SHEET TITLE			SCALE
<b>ELEVATIONS</b>			<b>1 : 100</b>
PROJECT CODE <b>DPC0515</b>	SHEET No <b>6 OF 8</b>	DATE <b>16/07/12</b>	DRAWN <b>M.P</b>
AREAS m <sup>2</sup>			
LIVING UPPER :	PATIO :		
LIVING LOWER :	PORCH :		
GARAGE :	PERGOLA :		
VERANDAH :	DECK :		
ALFRESCO :	BALCONY :		
PORTICO :	TOTAL AREA :		

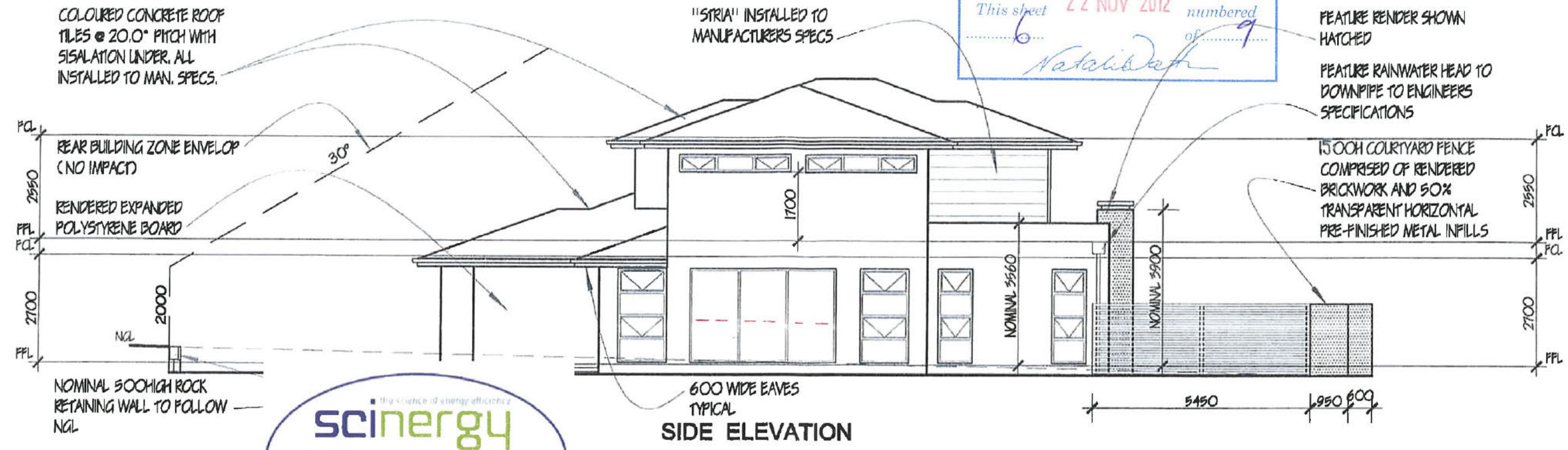
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 michaelpdesigner@hotmail.com  
 P : 02 6228 3218  
 M : 0410 628 576  
 ABN 98 268 442 510

**Michael Piscoone**  
 Architectural  
 DESIGNER

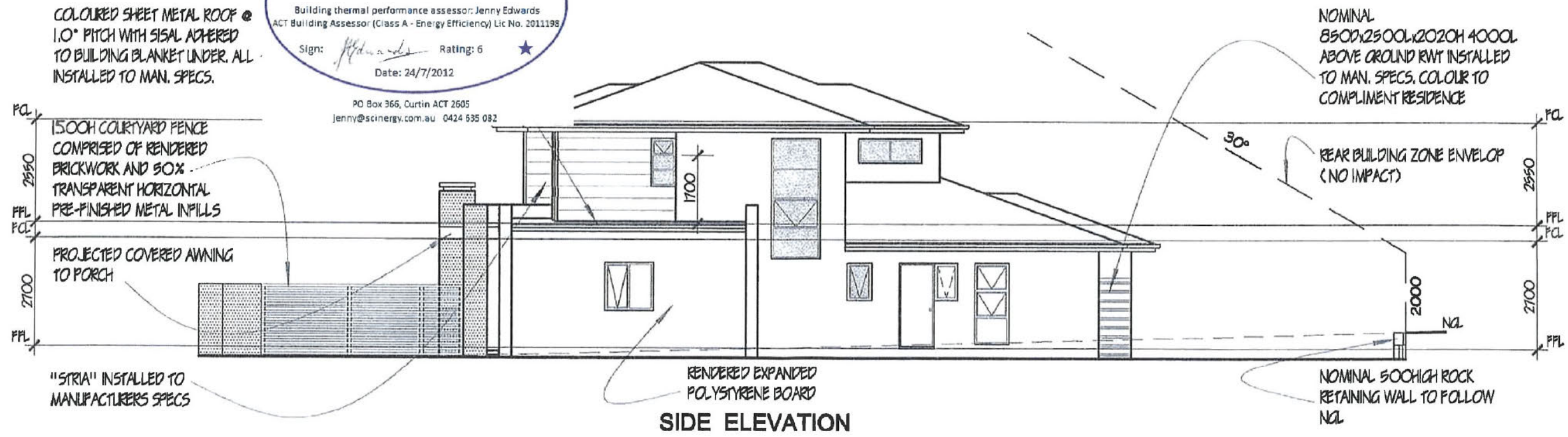


**Natalie Watson** Lic. No: 200428123  
 Building Approval issued under section 28 of the Building Act 2004  
 This sheet **22 NOV 2012** numbered **6** of **9**  
*Natalie Watson*



**scinergy**  
 the science of energy efficiency  
 Building thermal performance assessor: Jenny Edwards  
 ACT Building Assessor (Class A - Energy Efficiency) Lic No. 2011198  
 Sign: *Jenny Edwards* Rating: 6  
 Date: 24/7/2012

PO Box 366, Curtin ACT 2605  
 jenny@scinergy.com.au 0424 635 082



**NOTES:**  
 PROVIDE FLASHING FROM WALLS TO ROOF AS REQUIRED

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SHEET TITLE		SCALE	
ELEVATIONS		1 : 100	
PROJECT CODE	SHEET No	DATE	DRAWN
DPC0515	7 OF 8	16/07/12	M.P

**PROPOSED RESIDENCE ON**  
 block : **5** section : **80**  
 suburb : **CRACE**  
 FOR **Sch 2 2.2(a)(ii)**  
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- AREAS m<sup>2</sup>
- LIVING UPPER :
  - LIVING LOWER :
  - GARAGE :
  - VERANDAH :
  - PORTICO :
  - PATIO :
  - PORCH :
  - PERGOLA :
  - BALCONY :
  - AL-FRESCO :
  - TOTAL AREA :

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ABN 38 265 442 810

Michael Piscone  
 Architectural  
 DESIGNER



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 Building Approval issued under section 28 of  
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 This sheet 22 NOV 2012 numbered  
 7 of 9  
*Natalie Watson*



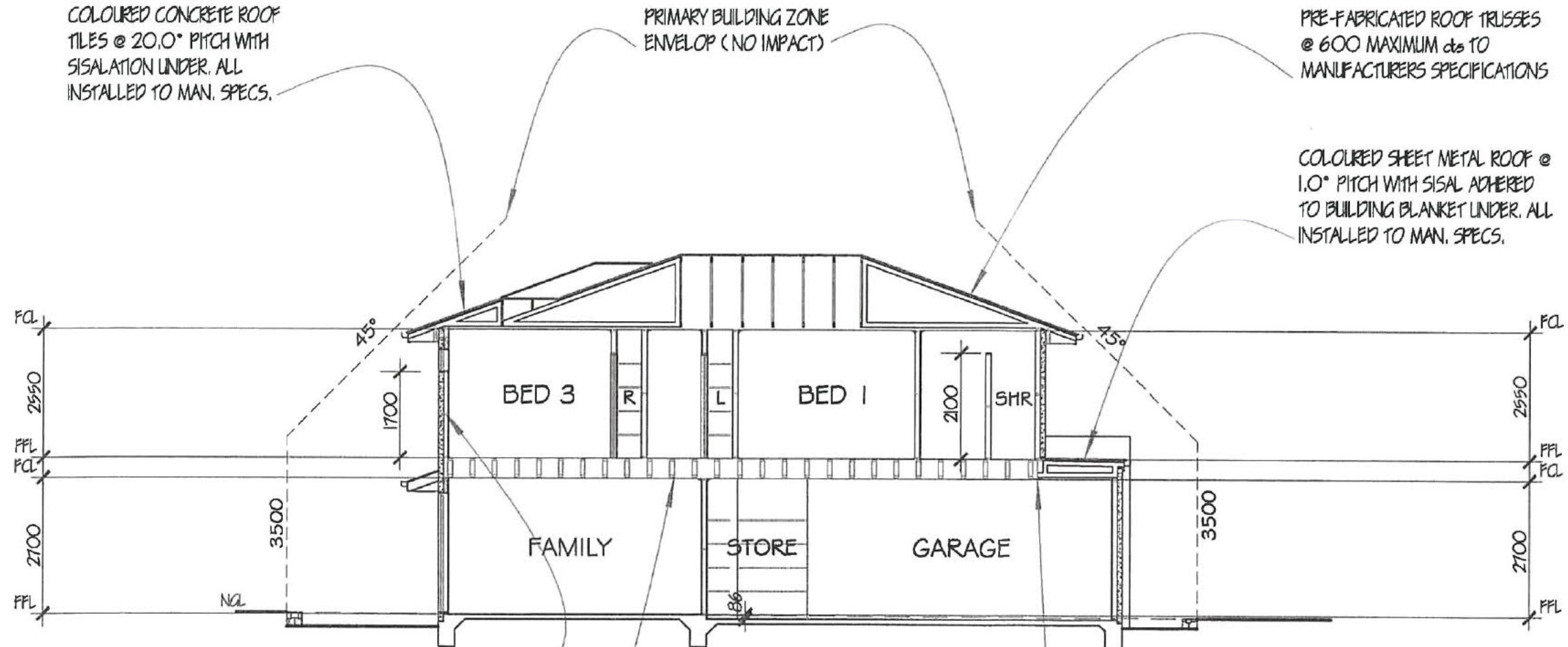
PO Box 366, Curtin ACT 2605  
 jenny@scinergy.com.au 0424 635 082

NOTES:  
 ALL WORK MUST BE CARRIED OUT IN ACCORDANCE WITH THE  
 CURRENT VERSION OF THE BCA AND THE RELEVANT AUTHORITIES  
 REQUIREMENTS

INSULATION:  
 EXTERNAL WALLS - R2.0 BATT'S PLUS R0.5 PERFORATED  
 SISALATION  
 INTERNAL GARAGE WALLS - R2.0 BATT'S  
 CEILING - R5.0 BATT'S  
 CONCRETE TILED ROOF - SISALATION UNDER  
 CONCRETE SLAB - POLYSTYRENE WAFFLE PODS WITH SLAB  
 POURED IN-SITU  
 INSULATION BETWEEN FLOORS - R2.0  
 WEATHERSTRIPS TO ALL EXTERNAL DOORS  
 NO UNSEALED VENTED DOWNLIGHTS  
 SELF-SEALING DAMPERS TO ALL EXHAUST FANS

PRE-FABRICATED ROOF TRUSSES  
 @ 600 MAXIMUM cts TO  
 MANUFACTURERS SPECIFICATIONS

COLOURED SHEET METAL ROOF @  
 1.0° PITCH WITH SISAL ADHERED  
 TO BUILDING BLANKET UNDER. ALL  
 INSTALLED TO MAN. SPECS.



COLOURED CONCRETE ROOF  
 TILES @ 20.0° PITCH WITH  
 SISALATION UNDER. ALL  
 INSTALLED TO MAN. SPECS.

PRIMARY BUILDING ZONE  
 ENVELOP (NO IMPACT)

PERFORATED SISALATION TO  
 WALLS INSTALLED TO  
 MANUFACTURERS SPECIFICATIONS

"POSI-STRUTS" @ CENTRES TO  
 MANUFACTURERS SPECS.

ALL CONCRETE SLABS AND  
 FOOTINGS SHALL BE DETERMINED  
 BY SITE CLASSIFICATION AND  
 THE BCA

STEEL LINTELS TO ENGINEERS  
 SPECIFICATIONS

\* PROVIDE TERMITE  
 PROTECTION IN ACCORDANCE  
 WITH THE CURRENT VERSION OF  
 THE BCA

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PROPOSED RESIDENCE ON  
 block : 5 section : 80  
 suburb : CRACE

Sch 2 2.2(a)(ii)

SHEET TITLE SECTION SCALE  
 1 : 100

PROJECT CODE	SHEET No	DATE	DRAWN
DPC0515	8 OF 8	16/07/12	M.P

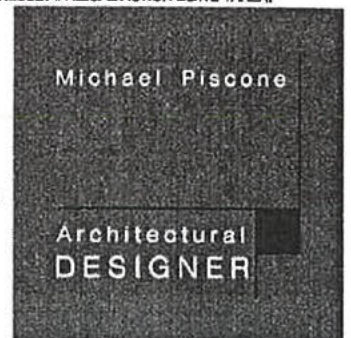
AREAS m <sup>2</sup>	
LIVING UPPER:	PATIO :
LIVING LOWER:	PORCH :
GARAGE :	PERGOLA :
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SECTION AA



# WAFFLE SLAB PLAN

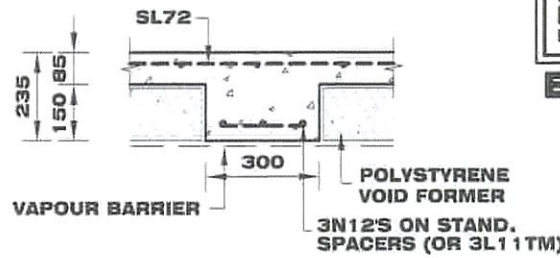
## "M" CLASS

### LEGEND

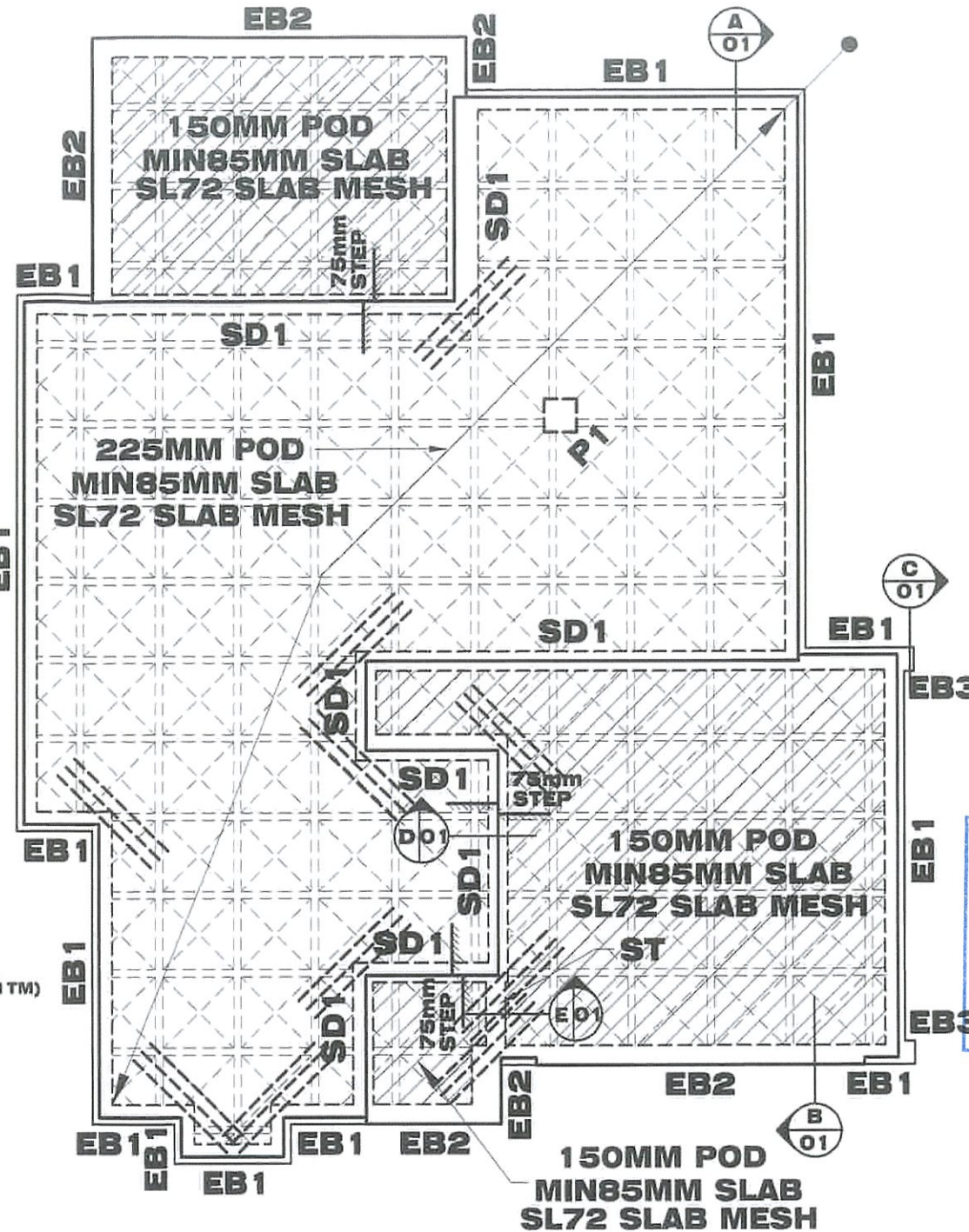
-  1 STANDARD 1090X1090 POD
-  CRACK CONTROL BARS : 3N12 OR 3L11TM , 2000mm LONG TIED TO UNDERSIDE OF SLAB MESH
-  Ø300mm CONCRETE PIERS TO ROCK
-  DENOTES STARTING POINT FOR POD LAYOUT.
- P1 : 500X500 CUT-OFF IN POD FOR STEEL COLUMNS**

### NOTES

- ALL WORK CARRIED OUT, AND MATERIALS USED IN RELATION TO THIS WAFFLE SLAB DESIGN IS TO BE IN ACCORDANCE WITH CURRENT AUSTRALIAN STANDARDS.
- ALL VEGETATION AND TOP SOIL IS TO BE REMOVED WITHIN BUILDING ENVELOPE. BEARING STRATA TO BE UNIFORM THROUGHOUT BUILDING PLATFORM AND IS TO BE ROLLED AND PREPARED IN ACCORDANCE WITH A.S 3798.
- ALL FOOTINGS ARE TO BE FOUNDED ON NATURAL GROUND AND ALL BRICK WORK & DRAINAGE IS TO BE ARTICULATED TO COMPLY WITH THE CURRENT B.C.A.
- BUILDER IS TO ISSUE CSIRO REPORT TO HOME OWNER GUIDE TO HOMEOWNERS ON FOUNDATION MAINTENANCE AND FOOTING PERFORMANCE.

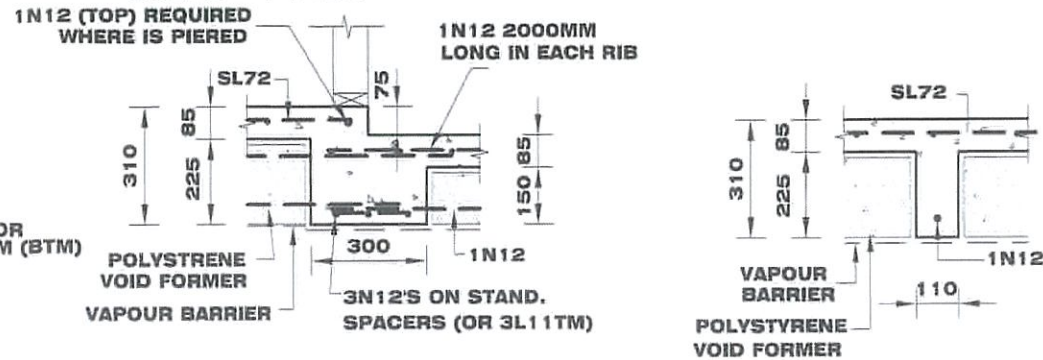


**STANDARD SLAB THICKENING SECTION**  
SCALE = 1:20

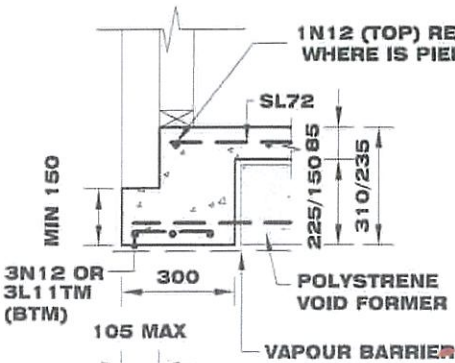


### FOOTING & SLAB LAYOUT

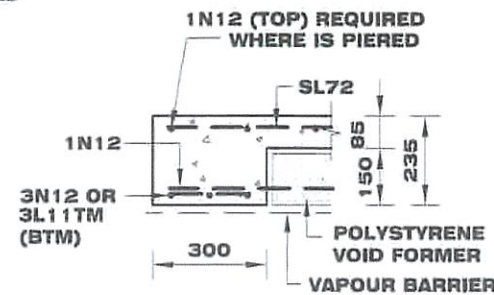
SCALE = 1 : 100



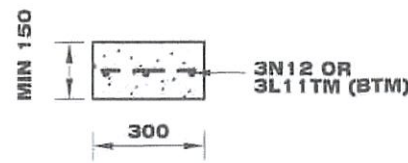
**STANDARD INTERNAL RIB (GARAGE SIMILAR)**  
SCALE = 1:20



BEARING ONTO NATURAL STRATA OR PIERS(SEE NOTES)  
**STANDARD EDGE BEAM EB1 SECTION**  
SCALE = 1:20



BEARING ONTO NATURAL STRATA OR PIERS(SEE NOTES)  
**STANDARD EDGE BEAM EB2 SECTION**  
SCALE = 1:20



BEARING ONTO NATURAL STRATA OR PIERS(SEE NOTES)  
**STANDARD EDGE BEAM EB3 SECTION**  
SCALE = 1:20

BEARING ONTO NATURAL STRATA OR PIERS(SEE NOTES)  
**BEAM SD1 75mm STEPDOWN SECTION**  
SCALE = 1:20

NOTE: THE LONG TERM SITE MANAGEMENT & MAINTENANCE OF THIS PROPERTY MUST BE IN ACCORDANCE WITH APPENDIX B OF AS2870-2011. THIS MAINTENANCE IS THE RESPONSIBILITY OF THE HOME OWNER (REFER TO CSIRO BROCHURE - FOUNDATION MAINTENANCE & FOOTING PERFORMANCE: A HOMEOWNER'S GUIDE)

NOTE: BUILDER TO CONFIRM SEWER DOES NOT AFFECT DWELLING BEFORE COMMENCING WORK ONSITE. CONTACT THIS OFFICE IF OTHERWISE

NOTE: BUILDER TO CONFIRM EASEMENT DOES NOT AFFECT DWELLING BEFORE COMMENCING WORK ONSITE. CONTACT THIS OFFICE IF OTHERWISE

**STEELWORK NOTES**  
ALL STRUCTURAL STEELWORK IS TO BE IN ACCORDANCE WITH THE CURRENT A.S. CODES.  
ALL CIRCULAR PIPES, SQUARE HOLLOW SECTIONS, RECTANGULAR HOLLOW SECTIONS TO BE GRADE 350.  
ALL REMAINING STRUCTURAL STEEL TO BE GRADE 300 EXCEPT PLATES TO BE GRADE 250 U.N.O.  
ALL WELDS (UNLESS OTHERWISE NOTED) TO BE 6MM CONTINUOUS FILLET.  
ALL BUTT WELDS TO BE FULL SIZE OF CONNECTING PARTS.  
ALL STRUCTURAL STEELWORK IS TO BE GIVEN ONE COAT OF ZINC CHROMATE PRIMER BEFORE LEAVING THE WORKSHOP.  
(IF NOT CONCRETE ENCASED).  
REMOVE ALL MILL SCALE, RUST AND GREASE BEFORE PAINTING.  
ALL CONCRETE ENCASED STEELWORK IS TO BE WRAPPED WITH 3.2MM GAUGE WIRE AT 100MM CENTRES OR EQUIVALENT AND IS TO HAVE A MIN. 50MM COVER ALL AROUND.  
CEMENT WASH ALL CONCRETE ENCASED STEELWORK.  
WHERE BRICK WALLS ABUT OR PASS STANCHIONS WELD OR POWER FASTEN BRICK TIES TO STANCHIONS EVERY 6 BRICK COARSE.  
**CONCRETE NOTES**  
TYPE A CEMENT TO BE USED IN ALL CONCRETE.  
ALL CONCRETE WORK TO BE IN ACCORDANCE WITH THE CURRENT A.S. CODES.  
CONCRETE FC TO BE 20 MPa FOR PIERS, STRIP FOOTINGS AND SLABS ON GROUND, 25MPa FOR REMAINDER U.N.O.  
CONCRETE FILLING TO WALLS TO BE 20MPa WITH 10MM AGGREGATE AND 80MM SLUMP.  
'R' REFERS TO PLAIN ROUND STRUCTURAL GRADE BARS WITH FS<sub>y</sub> = 230MPa.  
'N' REFERS TO 500PLUS GRADE REINFORCING BARS WITH FS<sub>y</sub> = 500MPa.  
'FABRIC' REFERS TO ONEMESH HIGH TENSILE WELDED WIRE MESH WITH FS<sub>y</sub> = 500MPa.  
LAP ALL FABRIC TO MANUFACTURER'S SPECIFICATIONS.  
STAGGER LAPS IN FABRIC TO PREVENT FOUR THICKNESS OF FABRIC OCCURRING IN EITHER TOP OR BOTTOM REINFORCEMENT.  
CONCRETE COVER TO MAIN REINFORCEMENT TO BE: STRIP FOOTINGS AND FOOTING BEAMS: 50MM-65MM TOP AND SIDES-50MM, COLUMNS: ALL AROUND 50MM. CONCRETE BEAMS: ALL ROUND 40MM.  
SLABS ON COMPACTED FILL: TOP-25MM.  
ALL INTERNAL SUSPENDED SLABS AND STAIRS: TOP AND BOTTOM - 20MM (EXPOSURE CLASSIFICATION A1).  
ALL EXTERNAL SUSPENDED SLABS AND STAIRS: TOP AND BOTTOM - 30MM (EXPOSURE CLASSIFICATION A2).  
SLAB THICKNESS DOES NOT INCLUDE FLOOR FINISH.  
ALL CONCRETE TO BE PLACED USING VIBRATORS.  
BRICKWORK SUPPORTING SLABS TO HAVE A DAMP PROOF MEMBRANE BETWEEN THE BRICKWORK AND THE CONCRETE.  
WHERE CONCRETE SLABS ABUT BRICK WALLS PLACE 10MM BITUMINOUS CANEITE BETWEEN THE TWO SURFACES. 40MM MAX COMPACTED FILL UNDER SLABS. TO AS.2870 WHERE FILL EXCEEDS 400MM IN DEPTH SEEK ENGINEERING ADVICE FOR PIERS AND SLAB REINFORCEMENT DETAILS.

**Natalie Watson** Lic. No: 200428123  
Building Approval issued under section 28 of the Building Act 2004  
This sheet 22 NOV 2012 numbered 8 of 9  
*Natalie Watson*

ISSUE DESCRIPTION	DATE	CHECKED
<b>PIERRE DRAGH CONSULTING ENGINEERS</b> email: pdragh@gmail.com PO BOX 336 HALL ACT 2618 Ph: 0438 625 440		

CLIENT  
**TODAYS HOMES**

PROJECT  
**PROPOSED RESIDENCE BLOCK 5 SECTION 80 CRACE**

TITLE  
**FOOTING & SLAB LAYOUT**

DESIGNED BY KZ	SCALE AS SHOWN @ A3
DRAWN BY SJ	JOB NO.
AUTHORISED	DRAWING NO. <b>S01 OF 02</b>
17-10-2012	



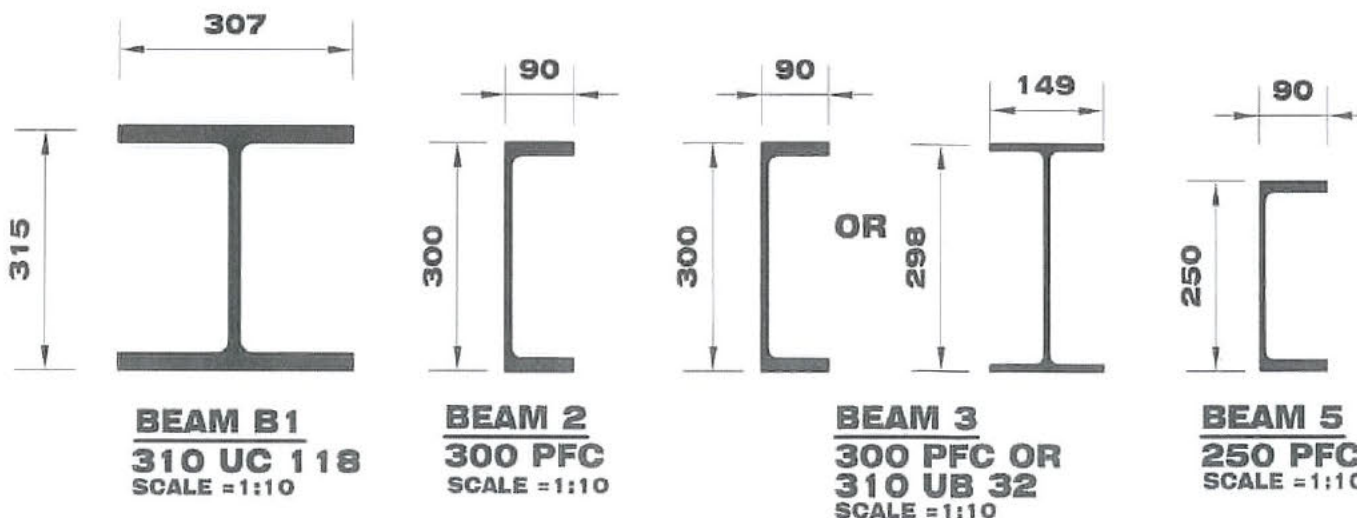
MEMBER SCHEDULE		
MARK	SIZE	REMARKS
B1	310 UC 118 @ JOIST LEVEL	
B2	300 PFC	-
B3	300 PFC OR 310 UB 32 @ JOIST LEVEL	
B4	3X300X45 LVL @ JOIST LEVEL	
B5	250 PFC	-
B6	2X300X45 LVL @ JOIST LEVEL	
B7	300X45 LVL @ JOIST LEVEL	
B8	200X45 LVL	-
B9	2X200X45 LVL	-
B10	2X300X45 LVL	-
C1	89X89X5 SHS	-
C2	2X89X89X5 SHS	-
DS	2X90X45	DOUBLE STUD
TS	3X90X45	TRIPLE STUD
4S	4X90X45	FOUR STUD
J1	HYJOIST 300X90 @ 300mm CTS MAX	
J2	HYJOIST 300X45 @ 450mm CTS MAX	

# Sch 2 2.2(a)(ii)



## BEAM & JOIST LAYOUT

SCALE = 1 : 100



**STEELWORK NOTES**  
 ALL STRUCTURAL STEELWORK IS TO BE IN ACCORDANCE WITH THE CURRENT A.S. CODES.  
 ALL CIRCULAR PIPES, SQUARE HOLLOW SECTIONS, RECTANGULAR HOLLOW SECTIONS TO BE GRADE 350.  
 ALL REMAINING STRUCTURAL STEEL TO BE GRADE 300 EXCEPT PLATES TO BE GRADE 250 U.N.O.  
 ALL WELDS (UNLESS OTHERWISE NOTED) TO BE 6MM CONTINUOUS FILLET.  
 ALL BUTT WELDS TO BE FULL SIZE OF CONNECTING PARTS.  
 ALL STRUCTURAL STEELWORK IS TO BE GIVEN ONE COAT OF ZINC CHROMATE PRIMER BEFORE LEAVING THE WORKSHOP. (IF NOT CONCRETE ENCASED).  
 REMOVE ALL MILL SCALE, RUST AND GREASE BEFORE PAINTING.  
 ALL CONCRETE ENCASED STEELWORK IS TO BE WRAPPED WITH 3.2MM GAUGE WIRE AT 100MM CENTRES OR EQUIVALENT AND IS TO HAVE A MIN. 50MM COVER ALL AROUND.  
 CEMENT WASH ALL CONCRETE ENCASED STEELWORK.  
 WHERE BRICK WALLS ABUT OR PASS STANCHIONS WELD OR POWER FASTEN BRICK TIES TO STANCHIONS EVERY 6 BRICK COARSE.  
**CONCRETE NOTES**  
 TYPE A CEMENT TO BE USED IN ALL CONCRETE.  
 ALL CONCRETE WORK TO BE IN ACCORDANCE WITH THE CURRENT A.S. CODES.  
 CONCRETE FC TO BE 20 MPa FOR PIERS, STRIP FOOTINGS AND SLABS ON GROUND, 25MPa FOR REMAINDER U.N.O.  
 CONCRETE FILLING TO WALLS TO BE 20MPa WITH 10MM AGGREGATE AND 80MM SLUMP.  
 'R' REFERS TO PLAIN ROUND STRUCTURAL GRADE BARS WITH FSY = 230MPa.  
 'N' REFERS TO 500PLUS GRADE REINFORCING BARS WITH FSY = 500MPa.  
 'FABRIC' REFERS TO ONE MESH HIGH TENSILE WELDED WIRE MESH WITH FSY = 500MPa.  
 LAP ALL FABRIC TO MANUFACTURERS SPECIFICATIONS.  
 STAGGER LAPS IN FABRIC TO PREVENT FOUR THICKNESS OF FABRIC OCCURRING IN EITHER TOP OR BOTTOM REINFORCEMENT.  
 CONCRETE COVER TO MAIN REINFORCEMENT TO BE:  
 STRIP FOOTINGS AND FOOTING BEAMS: 65MM  
 TOP AND SIDES-50MM, COLUMNS: ALL AROUND 50MM.  
 CONCRETE BEAMS: ALL AROUND 40MM  
 SLABS ON COMPACTED FILL: TOP-25MM,  
 ALL INTERNAL SUSPENDED SLABS AND STAIRS: TOP AND BOTTOM - 20MM (EXPOSURE CLASSIFICATION A1).  
 ALL EXTERNAL SUSPENDED SLABS AND STAIRS: TOP AND BOTTOM - 30MM (EXPOSURE CLASSIFICATION A2).  
 SLAB THICKNESS DOES NOT INCLUDE FLOOR FINISH.  
 ALL CONCRETE TO BE PLACED USING VIBRATORS.  
 BRICKWORK SUPPORTING SLABS TO HAVE A DAMP PROOF MEMBRANE BETWEEN THE BRICKWORK AND THE CONCRETE.  
 WHERE CONCRETE SLABS ABUT BRICK WALLS PLACE 10MM BITUMINOUS CEMENTITE BETWEEN THE TWO SURFACES, 40MM MAX COMPACTED FILL UNDER SLABS, TO AS 2570 WHERE FILL EXCEEDS 400MM IN DEPTH SEEK ENGINEERING ADVICE FOR PIERS AND SLAB REINFORCEMENT DETAILS.

Natalie Watson Lic. No: 200428123  
 Building Approval issued under section 28 of the Building Act 2004  
 This sheet 22 NOV 2012 numbered 9 of 9  
*Natalie Watson*

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CLIENT <b>TODAYS HOMES</b>		
PROJECT <b>PROPOSED RESIDENCE BLOCK 5 SECTION 80 CRACE</b>		
TITLE <b>BEAM &amp; JOIST LAYOUT</b>		
DESIGNED BY KZ	SCALE AS SHOWN @ A3	
DRAWN BY SJ	JOB NO.	
AUTHORISED	DRAWING NO. <b>S02 OF 02</b>	
17-10-2012		









APPROVED

Sig: .....  
Date: 05/11/12

- NOTES:
- 600x800 MANHOLE TO BE LOCATED ON SITE
  - PROVIDE SMOKE ALARMS IN ACCORDANCE WITH THE CURRENT VERSION OF THE BCA
  - WINDOW KEY:  
DG - DOUBLE GLAZED
  - STEEL POSTS TO ENGINEERS SPECIFICATIONS
  - STEEL BEAMS TO ENGINEERS SPECIFICATIONS

the science of energy efficiency

**scinergy**

Building thermal performance assessor: Jenny Edwards  
ACT Building Assessor (Class A - Energy Efficiency) Lic No. 2011198

Sig: *J Edwards* Rating: 6  
Date: 24/7/2012

PO Box 366, Curtin ACT 2605  
jenny@scinergy.com.au 0424 635 082

**today's homes** LICENCED BUILDER  
and lifestyle PO Box 302 Fyshwick ACT 2609  
todayshomes.com.au

HIA HOME IDEAS CENTRE  
Suites 1 & 3 28 Colle street Fyshwick ACT 2609  
P: (02) 6228 3234 F: (02) 6280 8108

**PROPOSED RESIDENCE ON**  
block : 5 section : 80  
suburb : CRACE  
FOR  
**Sch 2 2.2(a)(ii)**

SHEET TITLE		SCALE	
LOWER FLOOR PLAN		1 : 100	

PROJECT CODE	SHEET No	DATE	DRAWN
DPC0515	4 OF 8	16/07/12	M.P

AREAS m <sup>2</sup>			
LIVING UPPER:	103.1	PATIO :	N/A
LIVING LOWER:	125.4	PORCH :	3.8
GARAGE :	41.3	PERGOLA :	N/A
VERANDAH :	N/A	DECK :	N/A
ALFRESCO :	21.1	BALCONY :	N/A
PORTICO :	N/A	TOTAL AREA :	294.7

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Fyshwick ACT 2609

PO Box 232 Jemabomberra  
NSW 2618

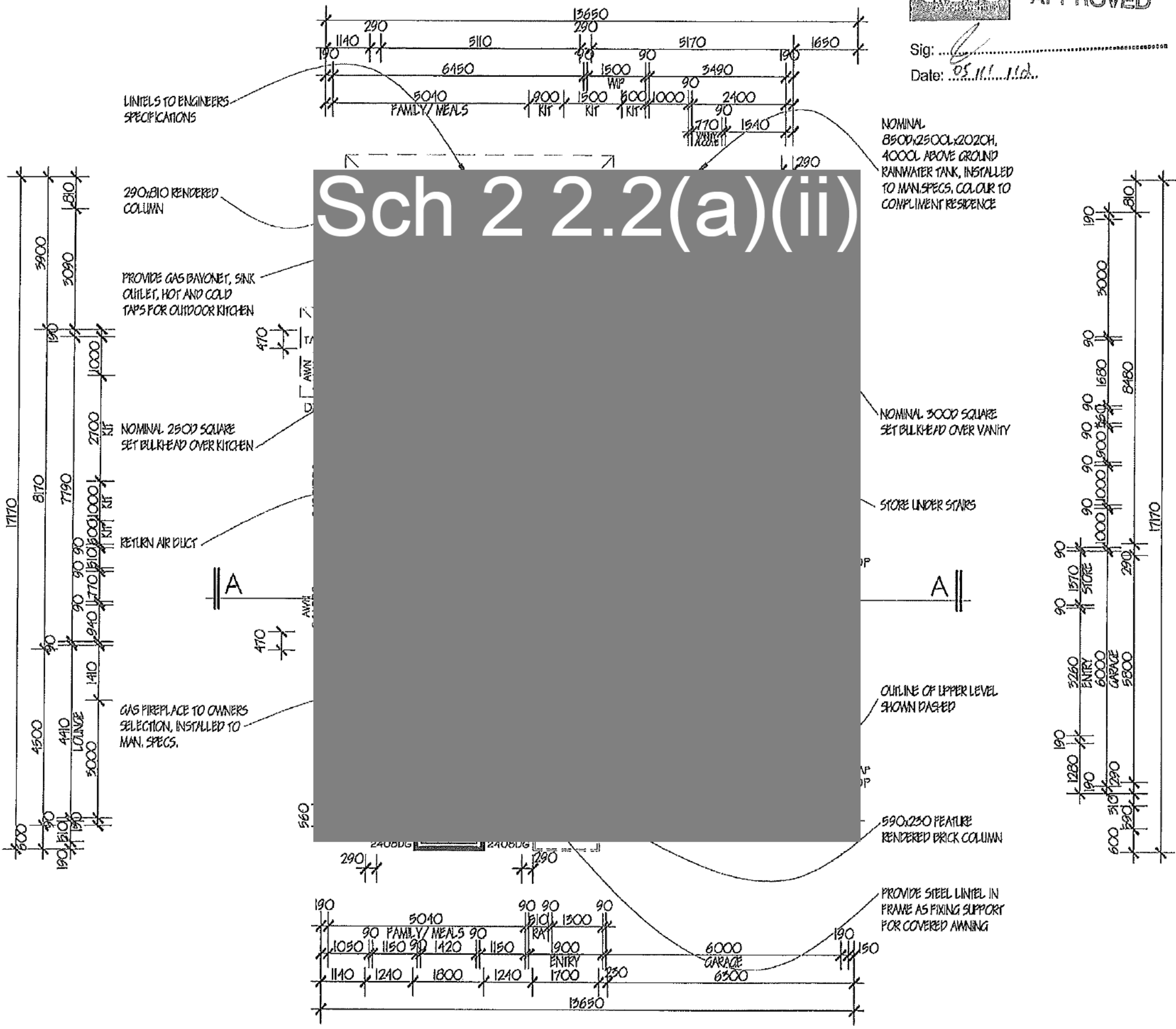
michaelpdesigner@hotmail.com

P : 02 8228 3218  
M : 0410 628 578

ABN 88 285 442 310

Michael Piscoone

Architectural DESIGNER







APPROVED

NOTES:  
 600/600 MANHOLE TO BE LOCATED ON SITE  
 PROVIDE SMOKE ALARMS IN ACCORDANCE WITH THE CURRENT VERSION OF THE BCA  
 WINDOW KEY:  
 DG - DOUBLE GLAZED

Sig: *[Signature]*  
 Date: 05.11.12

the science of energy efficiency  
**scinergy**  
 Building thermal performance assessor: Jenny Edwards  
 ACT Building Assessor (Class A - Energy Efficiency) Lic No. 2011198  
 Sign: *[Signature]* Rating: 6 ★  
 Date: 24/7/2012

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PROPOSED RESIDENCE ON  
 block : 5 section :80  
 suburb : CRACE

Sch 2 2.2(a)(ii)

SHEET TITLE		SCALE	
UPPER FLOOR PLAN		1 : 100	

PROJECT CODE	SHEET No	DATE	DRAWN
DPC0515	5 OF 8	16/07/12	M.P

AREAS m <sup>2</sup>			
LIVING UPPER :	103.1	PATIO :	N/A
LIVING LOWER :	125.4	PORCH :	3.8
GARAGE :	41.3	PERGOLA :	N/A
VERANDAH :	N/A	DECK :	N/A
ALFRESCO :	21.1	BALCONY :	N/A
PORTICO :	N/A	TOTAL AREA :	294.7

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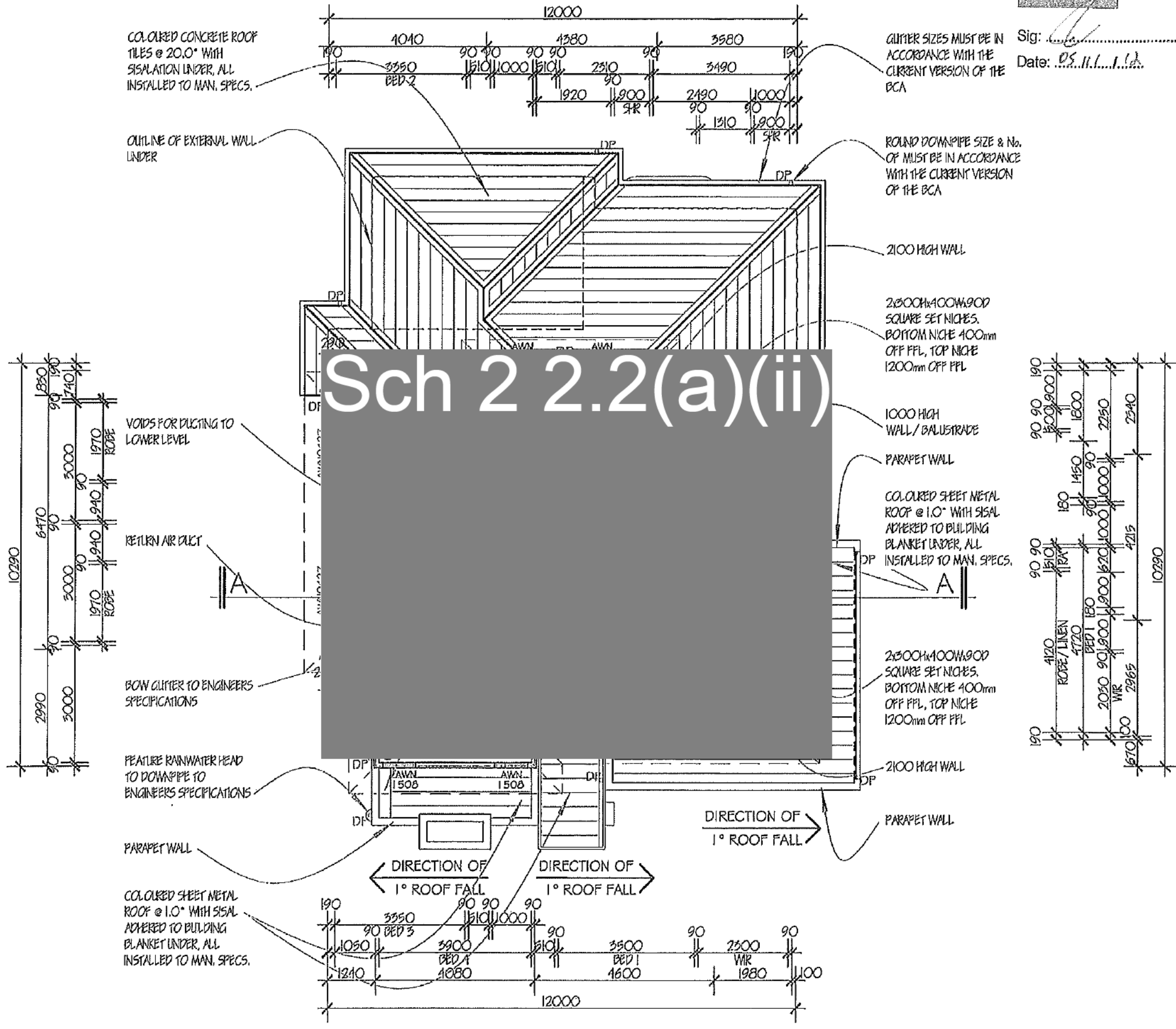
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 M : 0410 628 578  
 ABN 38 265 442 310

Michael Piscoone  
 Architectural  
 DESIGNER



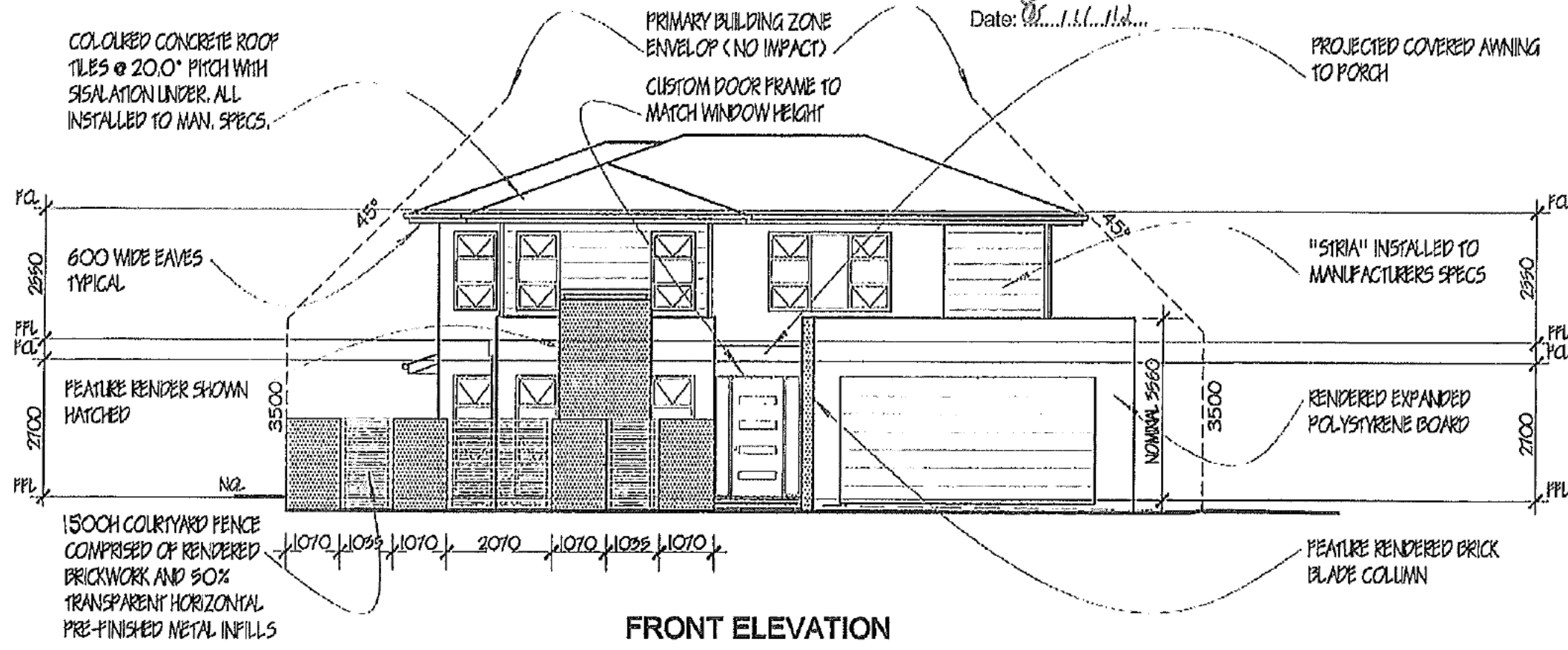




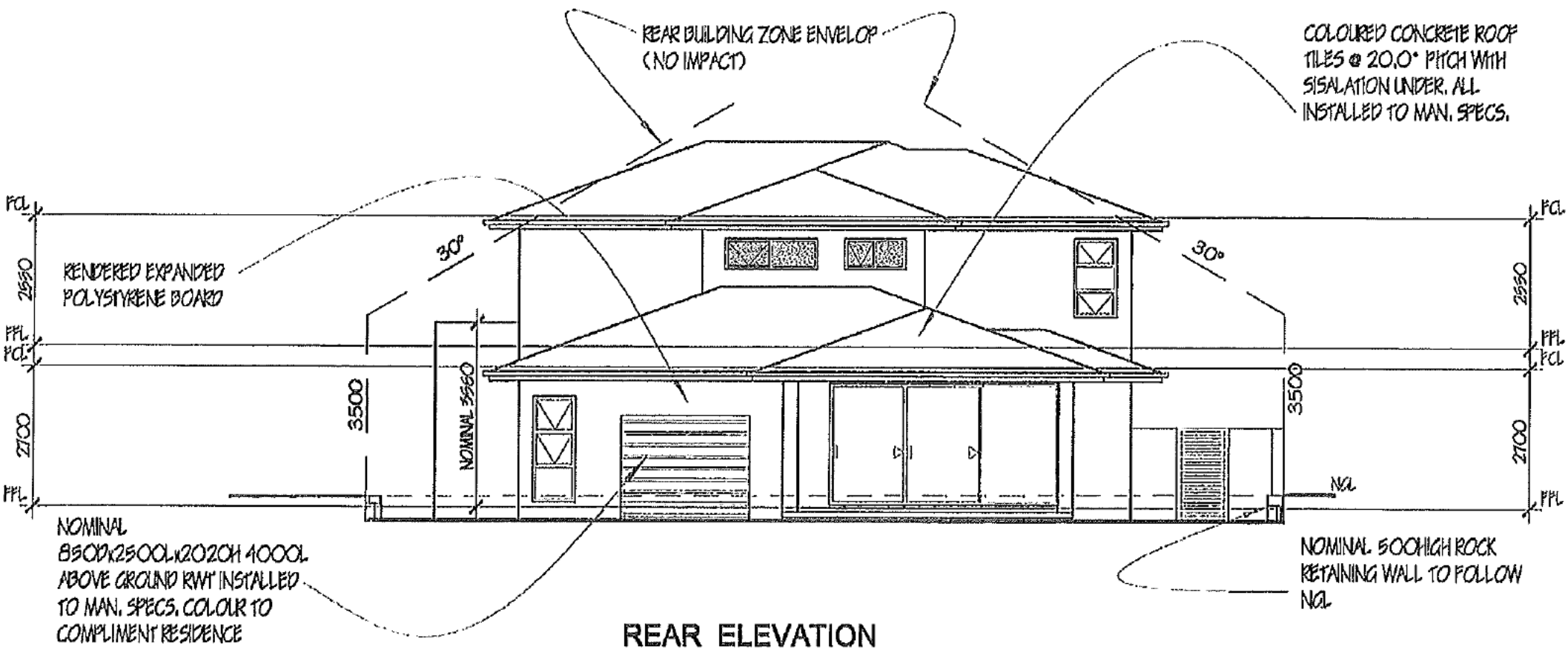
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Sig: *[Signature]*

Date: 16/07/12



FRONT ELEVATION



REAR ELEVATION

NOTES:  
PROVIDE FLASHING FROM WALLS TO ROOF AS REQUIRED

**scinergy**  
Building thermal performance assessor: Jenny Edwards  
ACT Building Assessor (Class A - Energy Efficiency) Lic No. 2011198  
Sign: *[Signature]* Rating: 6 ★  
Date: 24/7/2012  
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PROPOSED RESIDENCE ON  
block : 5 section : 80  
suburb : CRACE

FOR Sch 2 2.2(a)(ii)

SHEET TITLE		SCALE	
ELEVATIONS		1:100	
PROJECT CODE	SHEET No	DATE	DRAWN
DPC0515	6 OF 8	16/07/12	M.P

AREAS m <sup>2</sup>	
LIVING UPPER:	PATIO :
LIVING LOWER:	PORCH :
GARAGE :	PERGOLA :
VERANDAH :	DECK :
ALFRESCO :	BALCONY :
PORTICO :	TOTAL AREA :

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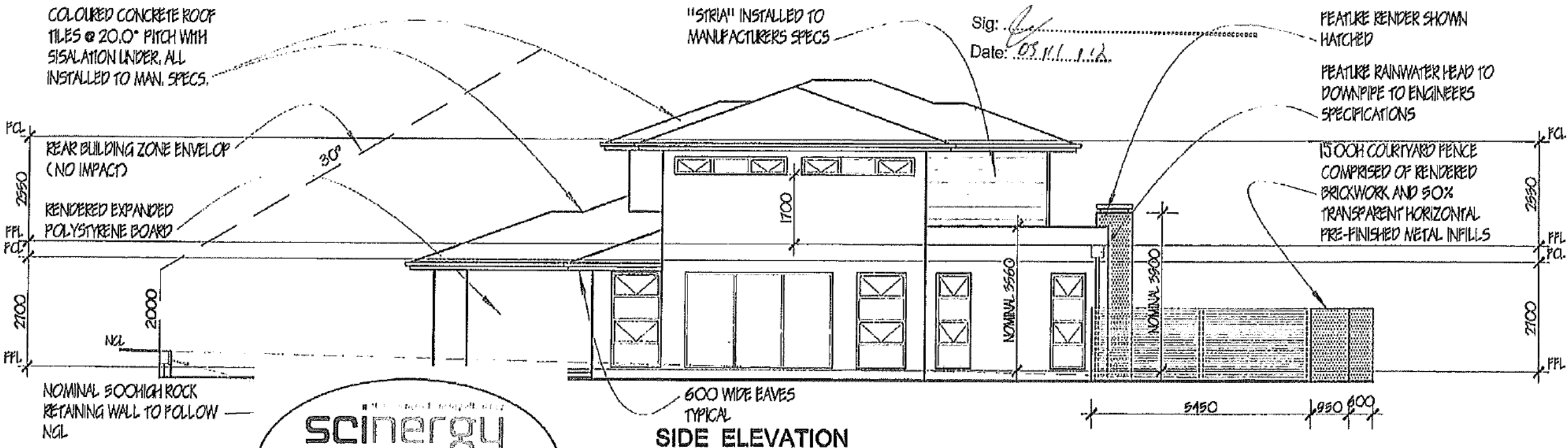
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Sulista 1 & 3 28 Colle street  
Fyshwick ACT 2609  
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NSW 2319  
michaelpdesigner@hotmail.com  
P : 02 6228 3218  
M : 0410 620 676  
ABN 59 265 442 610

**Michael Piscone**  
Architectural  
DESIGNER

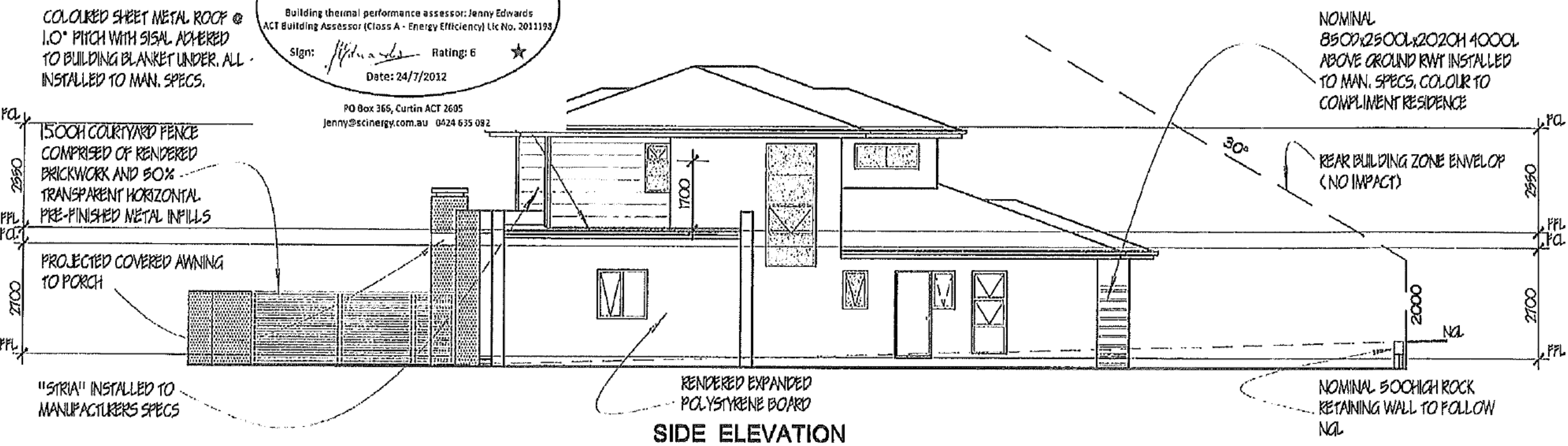


**APPROVED**

Sig: *[Signature]*  
Date: 05/11/12



**scinergy**  
Building thermal performance assessor: Jenny Edwards  
ACT Building Assessor (Class A - Energy Efficiency) Lic No. 2011198  
Sign: *[Signature]* Rating: 6 ★  
Date: 24/7/2012  
PO Box 366, Curtin ACT 2605  
Jenny@scinergy.com.au 0424 635 082



**NOTES:**  
PROVIDE FLASHING FROM WALLS TO ROOF AS REQUIRED

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P: (02) 6228 3234 F: (02) 6293 8108  
SHEET TITLE  
**ELEVATIONS**  
SCALE  
1 : 100  
PROJECT CODE  
DPC0515  
SHEET No  
7 OF 8  
DATE  
16/07/12  
DRAWN  
M.P.

**PROPOSED RESIDENCE ON**  
block : 5 section : 80  
suburb : CRACE  
FOR Sch 2 2.2(a)(ii)  
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- AREAS m<sup>2</sup>  
LIVING UPPER :  
LIVING LOWER :  
GARAGE :  
VERANDAH :  
PORTICO :  
PATIO :  
PORCH :  
PERGOLA :  
BALCONY :  
AL-FRESCO :  
TOTAL AREA :

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michael.piscone@hotmail.com  
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M: 0410 628 578  
ABN 98 265 442 810

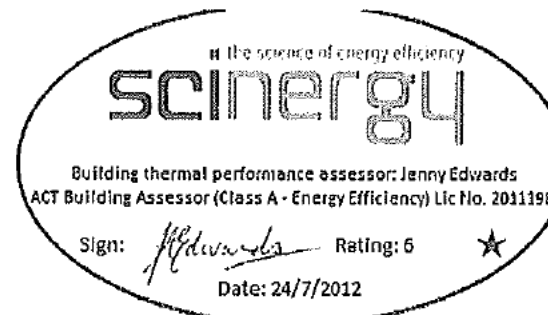
**Michael Piscone**  
Architectural  
DESIGNER





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Sig: *[Signature]*  
Date: 05/11/12



Building thermal performance assessor: Jenny Edwards  
ACT Building Assessor (Class A - Energy Efficiency) Lic No. 2011198

Sig: *[Signature]* Rating: 5 ★  
Date: 24/7/2012

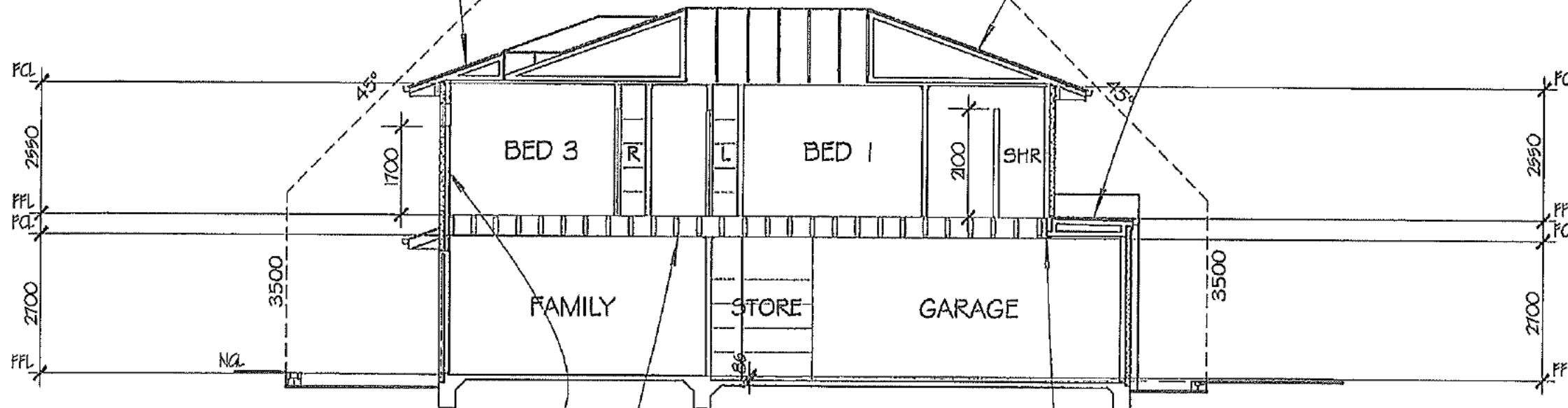
PO Box 366, Curtin ACT 2605  
jenny@scinergy.com.au 0424 635 082

PRE-FABRICATED ROOF TRUSSES  
@ 600 MAXIMUM cts TO  
MANUFACTURERS SPECIFICATIONS

COLOURED SHEET METAL ROOF @  
1.0° PITCH WITH SISAL ADHERED  
TO BUILDING BLANKET UNDER. ALL  
INSTALLED TO MAN. SPECS.

COLOURED CONCRETE ROOF  
TILES @ 20.0° PITCH WITH  
SISALATION UNDER. ALL  
INSTALLED TO MAN. SPECS.

PRIMARY BUILDING ZONE  
ENVELOP (NO IMPACT)



PERFORATED SISALATION TO  
WALLS INSTALLED TO  
MANUFACTURERS SPECIFICATIONS

"POST-STRLTS" @ CENTRES TO  
MANUFACTURERS SPECS.

ALL CONCRETE SLABS AND  
FOOTINGS SHALL BE DETERMINED  
BY SITE CLASSIFICATION AND  
THE BCA

STEEL LINTELS TO ENGINEERS  
SPECIFICATIONS

\* PROVIDE TERMITE  
PROTECTION IN ACCORDANCE  
WITH THE CURRENT VERSION OF  
THE BCA

NOTES:  
ALL WORK MUST BE CARRIED OUT IN ACCORDANCE WITH THE  
CURRENT VERSION OF THE BCA AND THE RELEVANT AUTHORITIES  
REQUIREMENTS

INSULATION:  
EXTERNAL WALLS - R2.0 BATTs PLUS R0.5 PERFORATED  
SISALATION  
INTERNAL GARAGE WALLS - R2.0 BATTs  
CEILING - R5.0 BATTs  
CONCRETE TILED ROOF - SISALATION UNDER  
CONCRETE SLAB - POLYSTYRENE WAFFLE PODS WITH SLAB  
POURED IN-SITU  
INSULATION BETWEEN FLOORS - R2.0  
WEATHERSTRIPS TO ALL EXTERNAL DOORS  
NO UNSEALED VENTED DOWNLIGHTS  
SELF-SEALING DAMPERS TO ALL EXHAUST FANS

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PROPOSED RESIDENCE ON  
block : 5 section : 80  
suburb : CRACE

FOR  
Sch 2 2.2(a)(ii)

SHEET TITLE			SCALE
SECTION			1 : 100
PROJECT CODE	SHEET No	DATE	DRAWN
DPC0515	8 OF 8	16/07/12	M.P

AREAS m <sup>2</sup>	
LIVING UPPER :	PATIO :
LIVING LOWER :	PORCH :
GARAGE :	PERGOLA :
VERANDAH :	DECK :
ALFRESCO :	BALCONY :
PORTICO :	TOTAL AREA :

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michaelpisoone@hotmail.com

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M : 0410 520 570

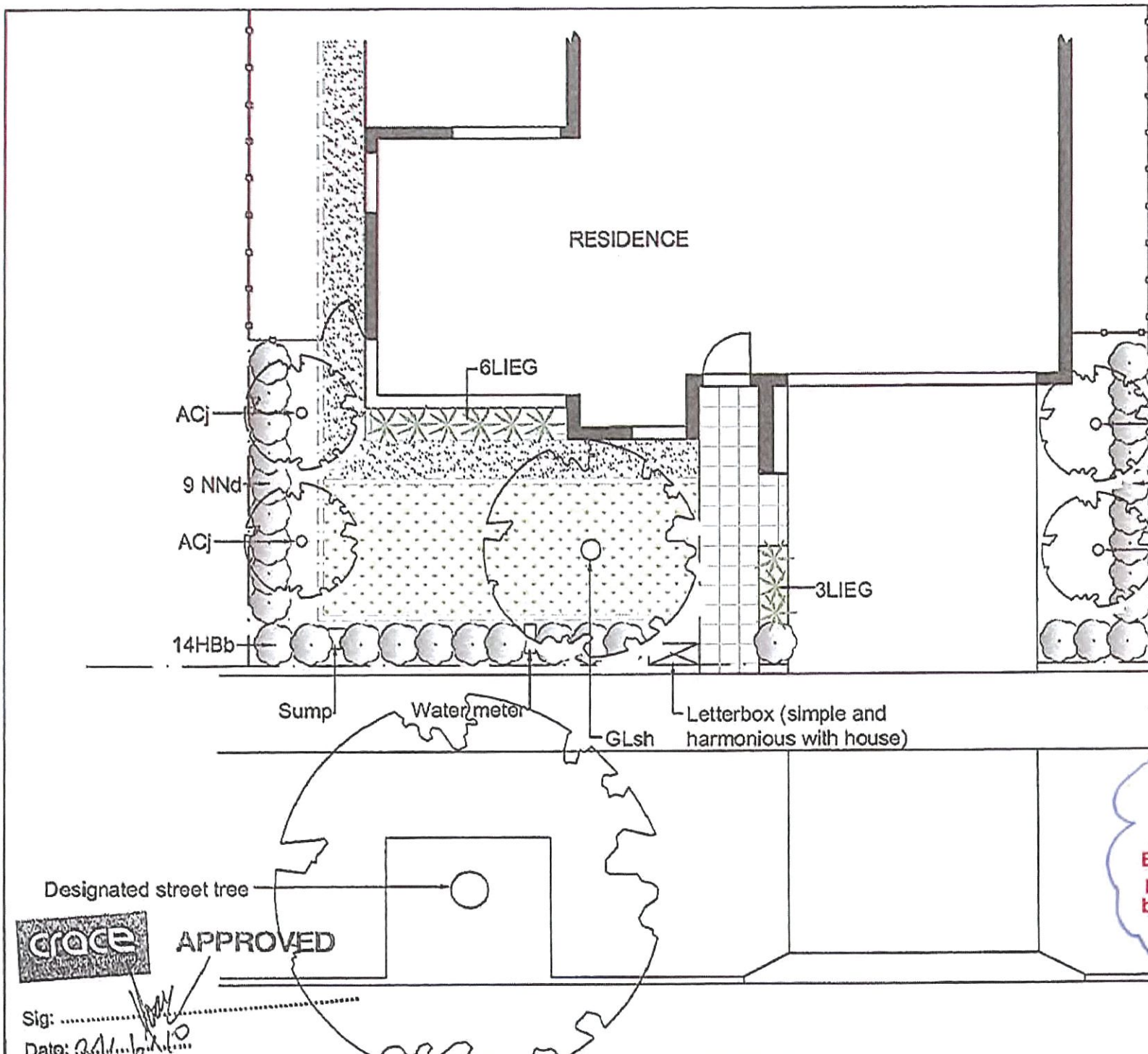
ABN 88 285 442 810

Michael Pisoone

Architectural  
DESIGNER

SECTION AA



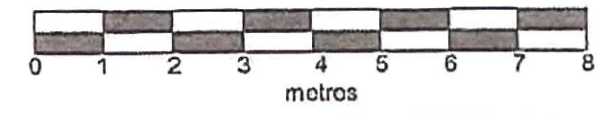
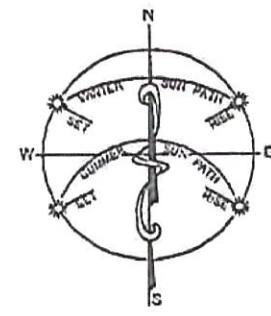


PLANT SCHEDULE					
CODE	NUMBER REQUIRED	BOTANICAL NAME	COMMON NAME	MATURE PLANT SIZE	SPACING
<b>Medium Trees</b>					
GLsh	1	<i>Glodisia triacanthos</i> 'Shademast'	Honey Locust	12m x 12m	
<b>Small Trees / Large Shrubs</b>					
ACj	4	<i>Acer japonicum</i>	Japanese Maple	5m x 5m	
<b>Small Shrubs (Hedging to frontage)</b>					
HbB	14	<i>Hebe</i> 'Blue Gem'	Hebe	1m x 1m	3 per m2
NNd	18	<i>Nandina domestica</i>	Sacred Bamboo	1.7m x 1m	3 per m2
<b>Grasses</b>					
LIEG	9	<i>Liriope</i> 'Evergreen Giant'	Evergreen Giant Lily	0.4m x 0.7m	6 per m2
<b>Turf</b>					
	20sq m		Legend Couch		Turf

General notes:  
 1. Use dark or earthy toned mulches (no coloured mulches)  
 2. Paver colours should complement the house colours

Driveway over the Verge and turfing the Verge with Legend Couch is the responsibility of the purchaser

The use of brightly coloured gravel in large proportions to the front landscaping, under the Front Vertical Edge, or directly to street frontage is not permitted. Natural earthy toned organic bark or woodchip mulch is to be used as per the Crace Pattern Book



grace APPROVED

Sig: \_\_\_\_\_  
 Date: 2/11/10

LEGEND			
	Proposed Trees		Proposed Strappy leaved Plants
	Proposed Shrubs		Lawn
	Paved areas (400 x 400 Colour TBA)		Crushed granite
	Fence & gates		Paver edging (115 x 230 Colour TBA)

**Pangea Designs**

11 Lambert Street, Lyneham ACT 2602  
 ph: (02) 6249 7629  
 nhopkins@grapevine.com.au

Drawing title  
 Landscape plan

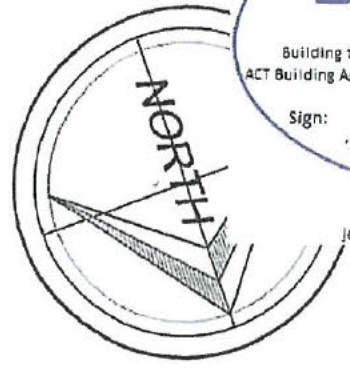
Project  
 Typical Plan for Front Garden  
 of 18-20m wide block in Crace ACT  
 Option 1

Scale  
 1:100 @ A3

Date: 5/06/10  
 Drawn: NH  
 Checked: HS  
 Sheet: 1 of 1



**scinergy**  
 Building thermal performance assessor: Jenny Edwards  
 ACT Building Assessor (Class A - Energy Efficiency) Lic No. 2011395  
 Sign: [Signature] Rating: 6  
 Date: 24/7/2012



PO Box 365, Curtin ACT 2605  
 Jenny@scinergy.com.au 0424 635 082

500mm APPROX. SITE CUT. NO PART OF CUT SHALL ENCRUSH ON/ OVER BOUNDARIES. PROVIDE 500mm HIGH RETAINING WALL TO FOLLOW NGL

NOMINAL LOCATION OF SWIMMING POOL. SEPARATE RELEVANT AUTHORITY APPROVAL. SUPPLY AND INSTALLATION ALL BY OWNER

90% UPVC STORMWATER LINES CONNECTED INTO ABOVEGROUND RAINWATER TANK

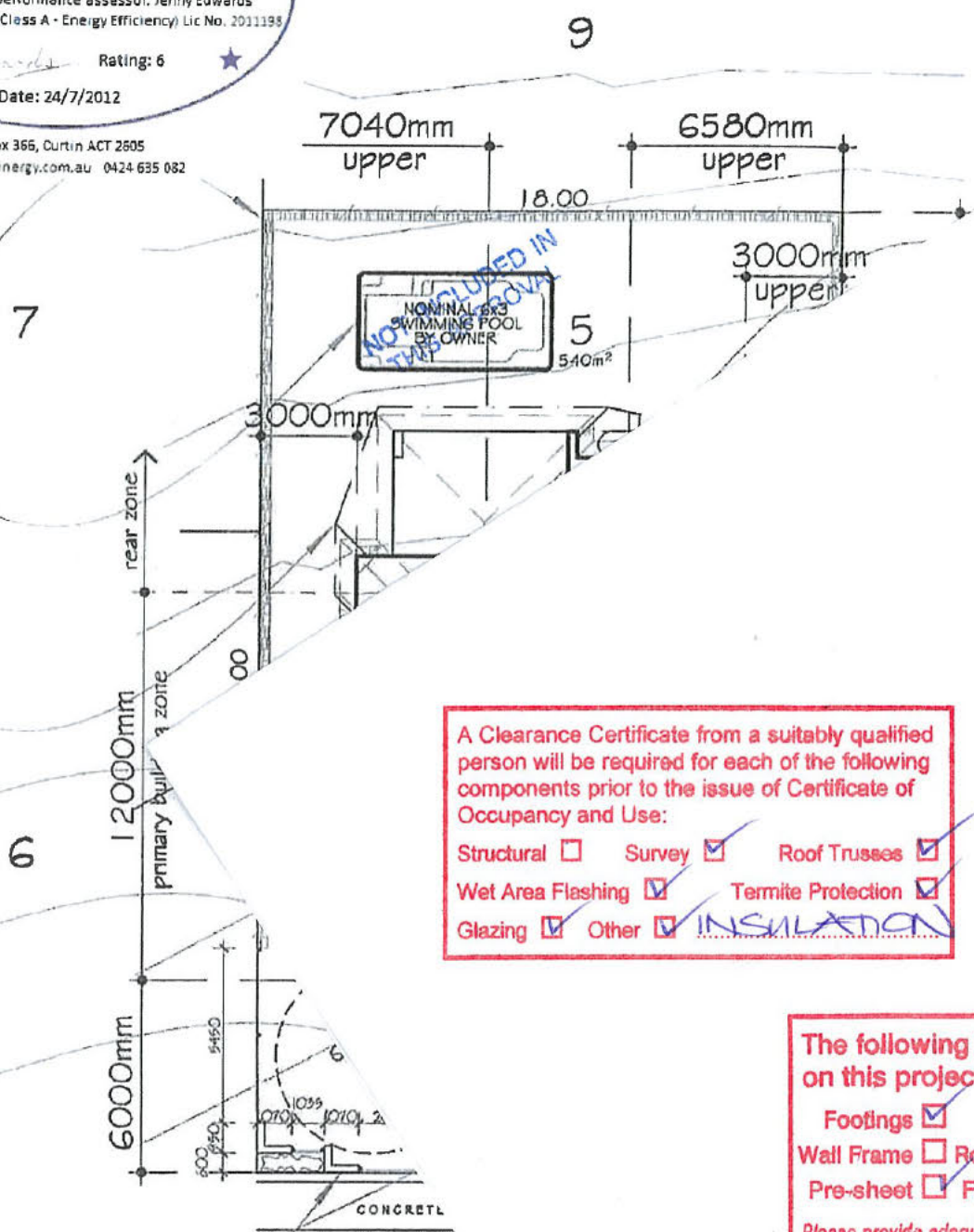
PROPOSED RESIDENCE  
 UPPER FFL : 600.046  
 LOWER FFL : 596.950  
 FGL : 596.700  
 GARAGE FFL : 596.864

NOMINAL 2400W GATES

PROTECT WATER SERVICE DURING CONSTRUCTION WITH STAKES AND CHAIN MESH FENCE

1500H COURTYARD FENCE COMPRISED OF RENDERED BRICKWORK AND 50% TRANSPARENT HORIZONTAL PRE-FINISHED METAL INFILLS

FRONT LANDSCAPE TO COMPLY WITH "TYPICAL PLAN FOR FRONT GARDEN OF 18m-20m WIDE BLOCK : OPTION 1" AS PREPARED BY PETER HUDSON - PANGEA DESIGNS.  
 A MINIMUM OF 50% OF THE POS TO BE RETAINED AS PLANTING AREA.



A Clearance Certificate from a suitably qualified person will be required for each of the following components prior to the issue of Certificate of Occupancy and Use:

Structural  Survey  Roof Trusses   
 Wet Area Flashing  Termite Protection   
 Glazing  Other  INSULATION

The following inspections are required on this project:

Footings  Slab/s  Floor Frame   
 Wall Frame  Roof Frame  S/W   
 Pre-sheet  Final  Other  .....

Please provide adequate notice when booking inspections

**Survey Certificate Required**

Provide house siting survey to the Certifier at bearer & joist or slab level before proceeding in accordance with Section 43(2)(a)(i) of the Building Act

**DA-EXEMPT BUILDING WORK**  
 Complies with Section 1.100AA of Schedule 1 of the Planning & Development Regulation 2008 (Compliant Single Dwellings - New Residential Land)

**PLOT RATIO**  
 MAXIMUM GROSS BUILDING AREA: 50% OF 540m<sup>2</sup> = 270m<sup>2</sup>  
 ACHIEVED: 269.8m<sup>2</sup> ÷ 540m<sup>2</sup> = 49.9%  
 ABN 82 085 174 889  
 LICENCED BUILDER  
 PO Box 302 Fyshwick ACT 2609  
 todayshomes.com.au

**ACT Metropolitan Building Certifiers P/L**  
 Building Approval: Building Approval, or part thereof, issued under Section 28 of the Building Act 2004.  
 Class of Occupancy: 1a/1/1/10a Type of Construction: -  
 Project No: 12/0763 Licence No: 200428123  
 Signature: [Signature] 22/11/12  
 This Set of Plans Contains 9 Sheets, No 1 to 9  
 This approval expires on ..... OR  3 years from the above date provided work is commenced within 3 years of the date of the DA approval

**NOTES:**  
**RZ1 - SUBURBAN ZONE**  
 SINGLE DWELLING HOUSING DEVELOPMENT CODE  
 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS WILL TAKE PRECEDENCE. WORKING DRAWINGS MUST BE READ IN CONJUNCTION WITH ENGINEERS AND SURVEY DETAILS AND ANY OTHER RELEVANT DRAWINGS. ANY DISCREPANCIES SHALL BE RESOLVED BEFORE THE ORDERING AND/OR PLACING OF ANY MATERIALS. DESIGNER ACCEPTS NO RESPONSIBILITY FOR MISINTERPRETED DRAWINGS AND/OR CONSTRUCTION ERRORS.

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THE DEVELOPMENT WILL COMPLY WITH THE ACT ENVIRONMENT PROTECTION AUTHORITY, ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND DEVELOPMENT IN THE ACT, AUGUST 2007.

FINISHED LEVELS SHALL HAVE A TOLERANCE OF +/- 150mm  
 SEWER SUMPS TO BE LOCATED ON SITE

**todayshomes**  
 style  
 ACT 2609

**SCH 2 2.2(a)(ii)**  
 80

**SITE PLAN** SCALE 1:200

PROJECT CODE	SHEET No	DATE	DRAWN
DPC0515	3 OF 8	16/07/12	M.P

AREAS m <sup>2</sup>	
LIVING UPPER:	PATIO :
LIVING LOWER:	PORCH :
GARAGE :	PERGOLA :
VERANDAH :	DECK :
ALFRESCO :	BALCONY :
PORTICO :	TOTAL AREA :

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 NSW 2619  
 michael@designer@hotmail.com  
 P : 02 6228 3218  
 M : 0410 628 678  
 ABN 98 268 442 310

**Michael Piscone**  
 Architectural  
 DESIGNER

NOMINAL LETTER BOX LOCATION, TO COMPLIMENT RESIDENCE

DRIVEWAY OVER VERGE TO COMPLY WITH DOMESTIC STANDARD DRAWING No. D55-01. MAINTAIN 5m WIDTH TO FRONT BOUNDARY

7 TABBARA





**Natalie Watson** Lic. No: 200428123  
 Building Approval issued under section 28 of  
 the Building Act 2004  
 This sheet **2 22 NOV 2012** numbered  
**2** of **9**  
*Natalie Watson*

SW  
 T - INFORMATION  
 D - NOT  
 CH - AVAILABLE

SEW  
 T - INFORMATION  
 D - NOT  
 CH - AVAILABLE

**NOTES:**  
**RZ1 - SUBURBAN ZONE**  
 SINGLE DWELLING HOUSING DEVELOPMENT CODE  
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THE DEVELOPMENT WILL COMPLY WITH THE ACT ENVIRONMENT PROTECTION  
 AUTHORITY, ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND  
 LAND DEVELOPMENT IN THE ACT, AUGUST 2007.

ALL NOMINATED LEVELS SHALL HAVE A TOLERANCE OF +/- 150mm  
 STORMWATER PUMPS TO BE LOCATED ON SITE

**OPEN SPACE:**  
 REQUIRED:  
 60% OF 540m<sup>2</sup> = 324m<sup>2</sup>  
 ACHIEVED  
 540m<sup>2</sup> - 166.7m<sup>2</sup> = 373.3m<sup>2</sup> ✓

**PLOT RATIO**  
 MAXIMUM GROSS BUILDING AREA:  
 50% OF 540m<sup>2</sup> = 270m<sup>2</sup>  
 ACHIEVED:  
 269.8m<sup>2</sup> ÷ 540m<sup>2</sup> = 49.9% ✓

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 and lifestyle  
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 P: (02) 6228 3234 F: (02) 6280 8108

**PROPOSED RESIDENCE ON**  
 block : **5** section : **80**  
 suburb : **GRACE**

FOR  
**Sch 2 2.2(a)(ii)**

SHEET TITLE **SITE PLAN** SCALE **1 : 200**

PROJECT CODE	SHEET No	DATE	DRAWN
DPC0515	3 OF 8	16/07/12	M.P

AREAS m <sup>2</sup>	
LIVING UPPER :	PATIO :
LIVING LOWER :	PORCH :
GARAGE :	PERGOLA :
VERANDAH :	DECK :
ALFRESCO :	BALCONY :
PORTRICO :	TOTAL AREA :

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 NSW 2619  
 michaelpdesigner@hotmail.com  
 P : 02 6228 3218  
 M : 0410 529 578  
 ABN 38 265 442 310



500mm APPROX. SITE CUT. NO PART  
 OF CUT SHALL ENCROACH ON/ OVER  
 BOUNDARIES. PROVIDE 500mm HIGH  
 RETAINING WALL TO FOLLOW NGL

NOMINAL LOCATION OF SWIMMING  
 POOL. SEPARATE RELEVANT AUTHORITY  
 APPROVAL, SUPPLY AND INSTALLATION  
 ALL BY OWNER

90<sup>o</sup> UPVC STORMWATER  
 LINES CONNECTED INTO  
 ABOVEGROUND RAINWATER TANK

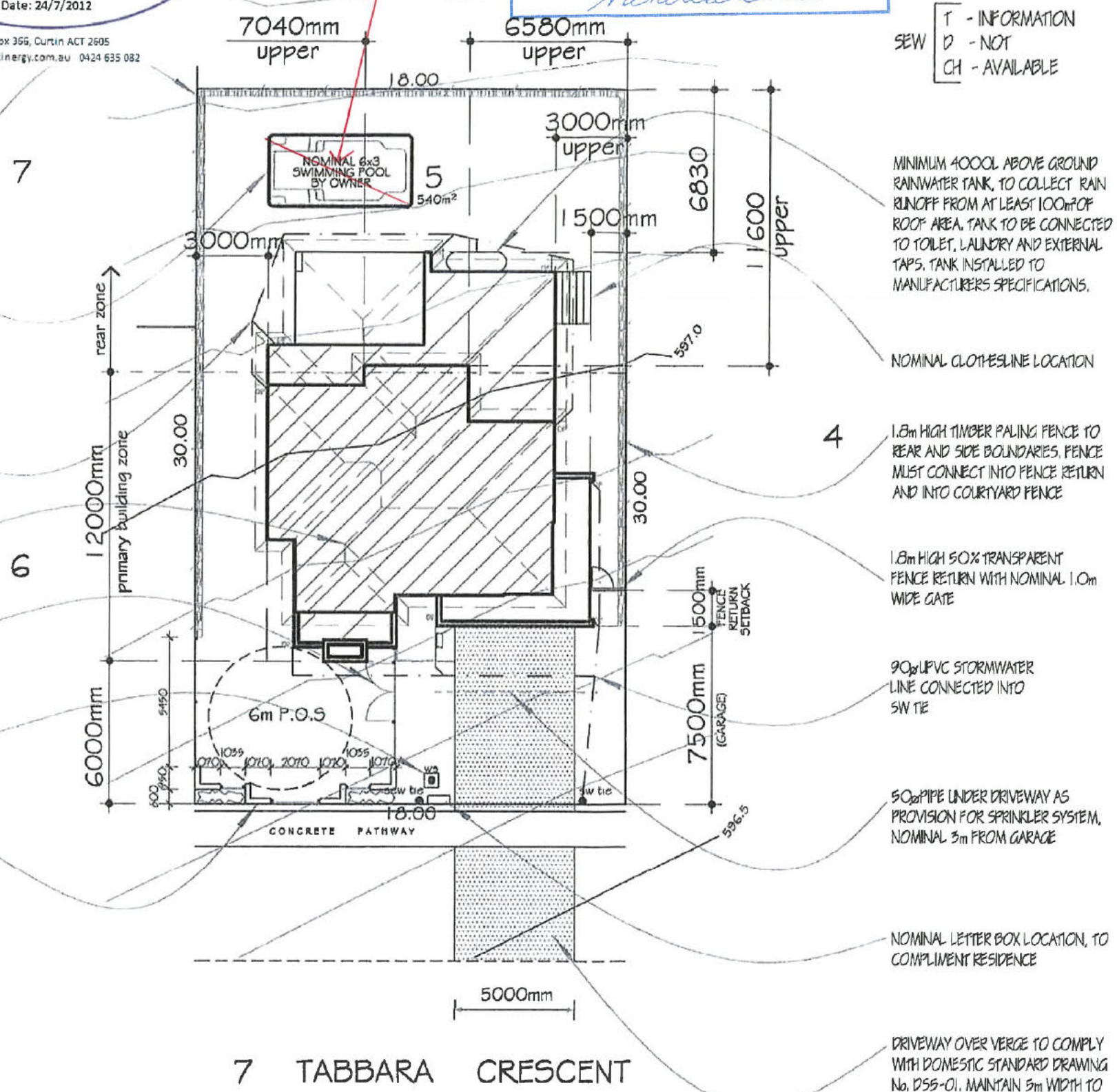
PROPOSED RESIDENCE  
 UPPER FFL : 600.046  
 LOWER FFL : 596.950  
 FGL : 596.700  
 GARAGE FFL : 596.864

NOMINAL 2400W GATES

PROTECT WATER SERVICE DURING  
 CONSTRUCTION WITH STAKES AND CHAIN  
 MESH FENCE

1500H COURTYARD FENCE COMPRISED  
 OF RENDERED BRICKWORK AND 50%  
 TRANSPARENT HORIZONTAL  
 PRE-FINISHED METAL INFILLS

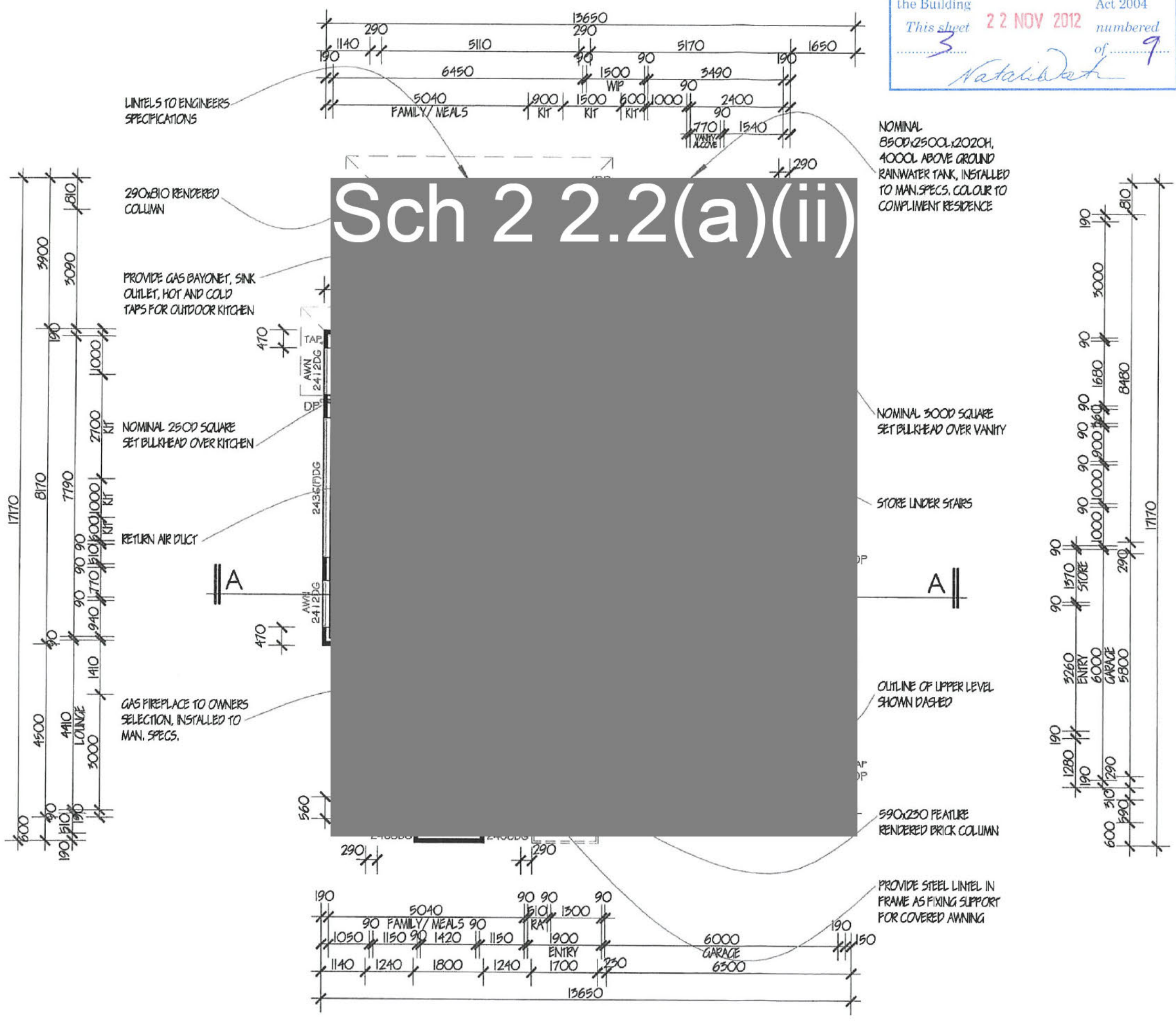
FRONT LANDSCAPE TO  
 COMPLY WITH 'TYPICAL PLAN  
 FOR FRONT GARDEN OF  
 18m-20m WIDE BLOCK :  
 OPTION 1' AS PREPARED BY  
 PETER HUDSON - PANGEA  
 DESIGNS.  
 A MINIMUM OF 50% OF THE  
 POS TO BE RETAINED AS  
 PLANTING AREA.



7 TABBARA CRESCENT



**Natalie Watson** Lic. No: 200428123  
 Building Approval issued under section 28 of the Building Act 2004  
 This sheet **22 NOV 2012** numbered **3** of **9**  
*Natalie Watson*



- NOTES:**
- 600x600 MANHOLE TO BE LOCATED ON SITE
  - Ⓢ PROVIDE SMOKE ALARMS IN ACCORDANCE WITH THE CURRENT VERSION OF THE BCA
  - WINDOW KEY:  
DG - DOUBLE GLAZED
  - ▣ STEEL POSTS TO ENGINEERS SPECIFICATIONS
  - STEEL BEAMS TO ENGINEERS SPECIFICATIONS



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 jenny@scinergy.com.au 0424 635 082  
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 HIA HOME IDEAS CENTRE  
 Suites 1 & 3 28 Collicie street Fyshwick ACT 2608  
 P: (02) 6228 3234 F: (02) 6260 8108

**PROPOSED RESIDENCE ON**  
 block : **5** section : **80**  
 suburb : **CRACE**

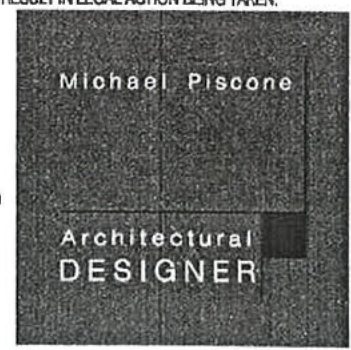
FOR **Sch 2 2.2(a)(ii)**  
 SHEET TITLE: **LOWER FLOOR PLAN** SCALE: **1:100**

PROJECT CODE	SHEET No	DATE	DRAWN
DPC0515	4 OF 8	16/07/12	M.P

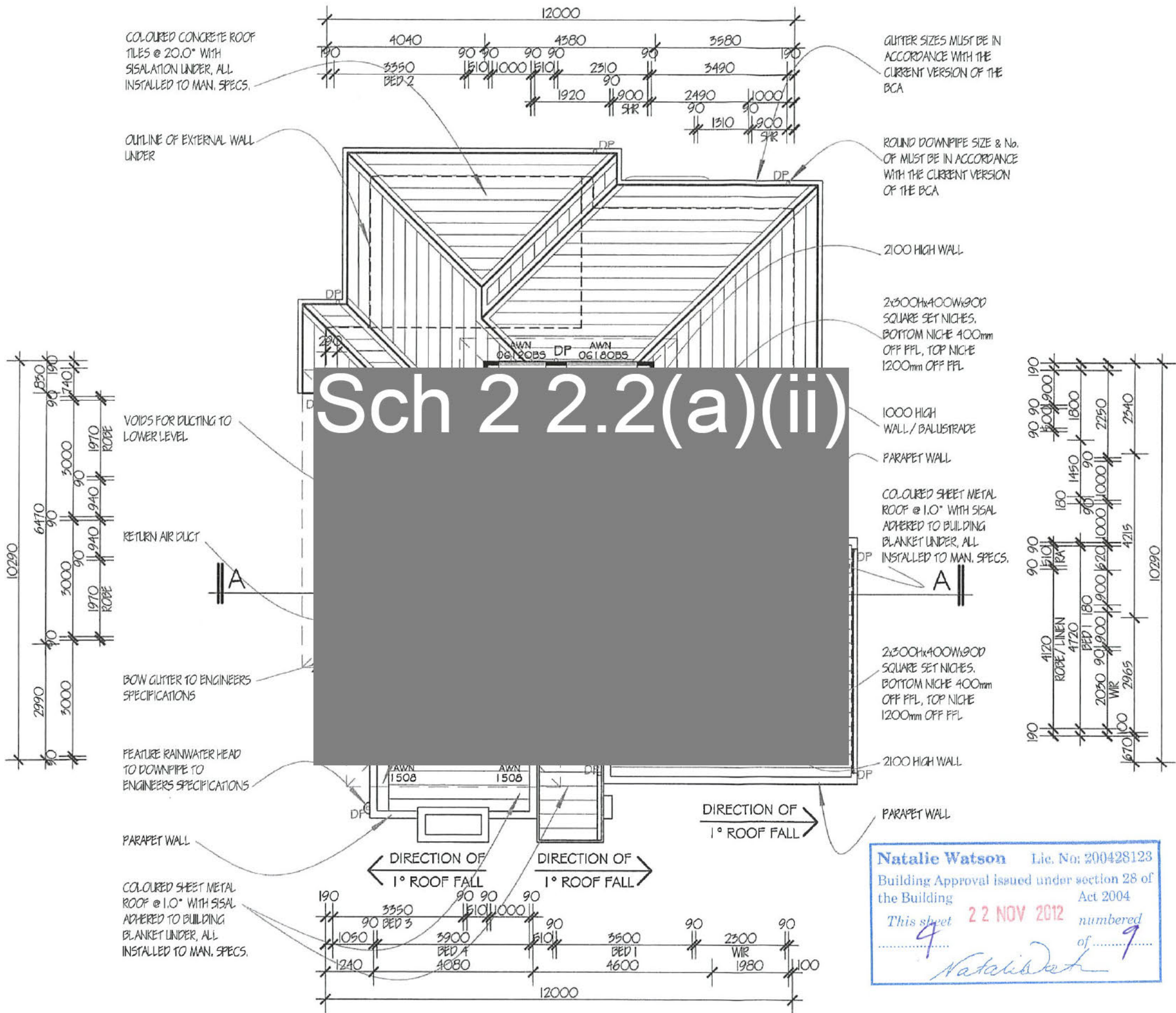
AREAS m <sup>2</sup>	
LIVING UPPER :	103.1
LIVING LOWER :	125.4
GARAGE :	41.3
VERANDAH :	N/A
ALFRESCO :	21.1
PORTICO :	N/A
PATIO :	N/A
PORCH :	3.8
PERGOLA :	N/A
DECK :	N/A
BALCONY :	N/A
TOTAL AREA :	294.7

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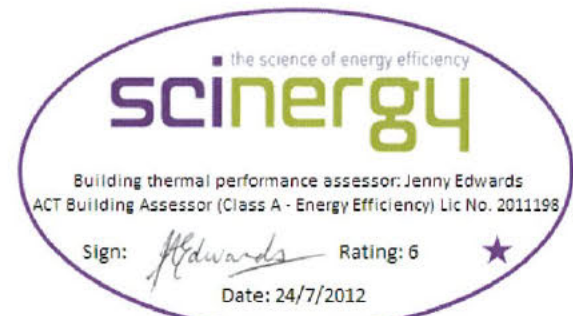
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 michaelpiscoone@hotmail.com  
 P : 02 6228 3218  
 M : 0410 626 678  
 ABN 88 265 442 310







NOTES:  
 600x600 MANHOLE TO BE LOCATED ON SITE  
 (S) PROVIDE SMOKE ALARMS IN ACCORDANCE WITH THE CURRENT VERSION OF THE BCA  
 WINDOW KEY:  
 DG - DOUBLE GLAZED



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 jenny@scinergy.com.au 0424 635 082



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PROPOSED RESIDENCE ON  
 block : 5 section : 80  
 suburb : CRACE

Sch 2 2.2(a)(ii)

SHEET TITLE: UPPER FLOOR PLAN SCALE: 1:100

PROJECT CODE	SHEET No	DATE	DRAWN
DPC0515	5 OF 8	16/07/12	M.P

AREAS m <sup>2</sup>	
LIVING UPPER :	103.1
LIVING LOWER :	125.4
GARAGE :	41.3
VERANDAH :	N/A
ALFRESCO :	21.1
PORTICO :	N/A
PATIO :	N/A
PORCH :	3.8
PERGOLA :	N/A
DECK :	N/A
BALCONY :	N/A
TOTAL AREA :	294.7

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**Natalie Watson** Lic. No: 200428123  
 Building Approval issued under section 28 of the Building Act 2004  
 This sheet 22 NOV 2012 numbered 4 of 9  
*Natalie Watson*

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 NSW 2619

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ABN 38 285 442 310





5/80 crace

RZ1 - SINGLE DWELLING HOUSING DEVELOPMENT CODE  
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**CONDITIONALLY COMPLIES**

The information contained in this application complies with ActewAGL's gas network protection and access requirements subject to the conditions as listed on the Statement of Conditional Compliance.

Please note: Construction of unapproved works may result in action being taken to require the property owner to remove non-compliant structures and/or the property owner to fund reconstruction works on ActewAGL's gas network.

Signed: **Steve Donnelly** Date: 24 Oct 2012

Contact Phone: 6228 8640

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PROPOSED RESIDENCE ON  
block : 5 section : 80  
suburb : CRACE

Sch 2 2.2(a)(ii)

SHEET TITLE		SCALE	
SITE PLAN		1 : 200	
PROJECT CODE	SHEET No	DATE	DRAWN
DPC0515	3 OF 8	16/07/12	M.P

AREAS m <sup>2</sup>	
LIVING UPPER :	PATIO :
LIVING LOWER :	PORCH :
GARAGE :	PERGOLA :
VERANDAH :	DECK :
ALFRESCO :	BALCONY :
PORTICO :	TOTAL AREA :

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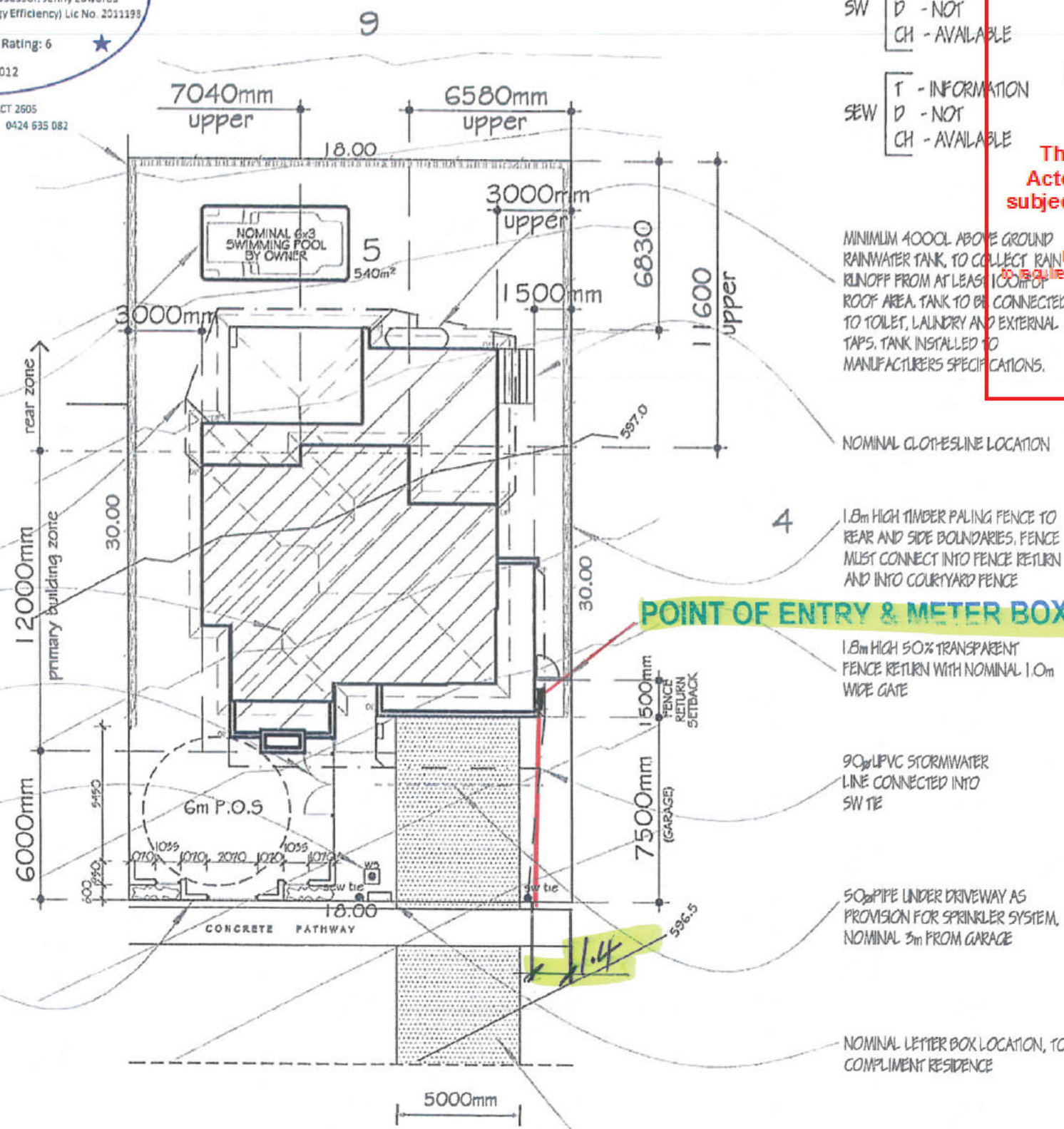
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M : 0410 528 678

ABN 58 285 442 810



500mm APPROX. SITE CUT, NO PART OF CUT SHALL ENCRONCH ON/ OVER BOUNDARIES. PROVIDE 500mm HIGH RETAINING WALL TO FOLLOW NO.

NOMINAL LOCATION OF SWIMMING POOL. SEPARATE RELEVANT AUTHORITY APPROVAL, SUPPLY AND INSTALLATION ALL BY OWNER

90°UPVC STORMWATER LINES CONNECTED INTO ABOVEGROUND RAINWATER TANK

PROPOSED RESIDENCE  
UPPER PFL : 600.046  
LOWER PFL : 596.950  
FGL : 596.700  
GARAGE PFL : 596.864

NOMINAL 2400W GATES

PROTECT WATER SERVICE DURING CONSTRUCTION WITH STAKES AND CHAIN MESH FENCE

1500H COURTYARD FENCE COMPRISED OF RENDERED BRICKWORK AND 50% TRANSPARENT HORIZONTAL PRE-FINISHED METAL INFILLS

FRONT LANDSCAPE TO COMPLY WITH 'TYPICAL PLAN FOR FRONT GARDEN OF 18m-20m WIDE BLOCK : OPTION 1' AS PREPARED BY PETER HUDSON - PANGEA DESIGNS. A MINIMUM OF 50% OF THE POS TO BE RETAINED AS PLANTING AREA.

SW T - INFORMATION  
D - NOT  
CH - AVAILABLE

SEW T - INFORMATION  
D - NOT  
CH - AVAILABLE

MINIMUM 4000L ABOVE GROUND RAINWATER TANK TO COLLECT RAIN RUNOFF FROM AT LEAST 100M<sup>2</sup> OF ROOF AREA. TANK TO BE CONNECTED TO TOILET, LAUNDRY AND EXTERNAL TAPS. TANK INSTALLED TO MANUFACTURERS SPECIFICATIONS.

NOMINAL CLOTHESLINE LOCATION

1.8m HIGH TIMBER PALING FENCE TO REAR AND SIDE BOUNDARIES. FENCE MUST CONNECT INTO FENCE RETURN AND INTO COURTYARD FENCE

1.8m HIGH 50% TRANSPARENT FENCE RETURN WITH NOMINAL 1.0m WIDE GATE

90°UPVC STORMWATER LINE CONNECTED INTO SW TE

500PIPE UNDER DRIVEWAY AS PROVISION FOR SPRINKLER SYSTEM. NOMINAL 5m FROM GARAGE

NOMINAL LETTER BOX LOCATION, TO COMPLIMENT RESIDENCE

DRIVEWAY OVER VERGE TO COMPLY WITH DOMESTIC STANDARD DRAWING No. D55-01. MAINTAIN 5m WIDTH TO FRONT BOUNDARY

7 TABBARA CRESCENT



NOTES:

SEDIMENT CONTROLS MUST BE IN PLACE PRIOR TO COMMENCEMENT OF ALL EROSION WORKS AND CHECKED DAILY.

SEDIMENT CONTROLS MUST BE RETAINED UNTIL REVEGETATION IS FULLY ESTABLISHED AFTER ALL WORK HAS BEEN COMPLETED.

## CONDITIONALLY COMPLIES

This document has been assessed against legislation protecting ActewAGL's infrastructure and access to it

The information contained in this application complies with ActewAGL's gas network protection and access requirements subject to the conditions as listed on the Statement of Conditional Compliance

Please note: Construction of unapproved works may result in action being taken to require the property owner to remove non-compliant structures and/or the property owner to fund rectification works on ActewAGL's gas network

Signed... Steve Donnelly ..... Date 24 Oct 2012

Contact Phone: 6203 0640

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P: (02) 6228 3234 F: (02) 6280 8108

PROPOSED RESIDENCE ON  
block : 5 section : 80  
suburb : CRACE  
FOR  
Sch 2 2.2(a)(ii)

SHEET TITLE EROSION SEDIMENT CONTROL PLAN SCALE 1 : 200

PROJECT CODE DPC0515	SHEET No 1 OF 8	DATE 16/07/12	DRAWN M.P
-------------------------	--------------------	------------------	--------------

AREAS m <sup>2</sup>	
LIVING UPPER :	PATIO :
LIVING LOWER:	PORCH :
GARAGE :	PERGOLA :
VERANDAH :	DECK :
ALFRESCO :	BALCONY :
PORTICO :	TOTAL AREA :

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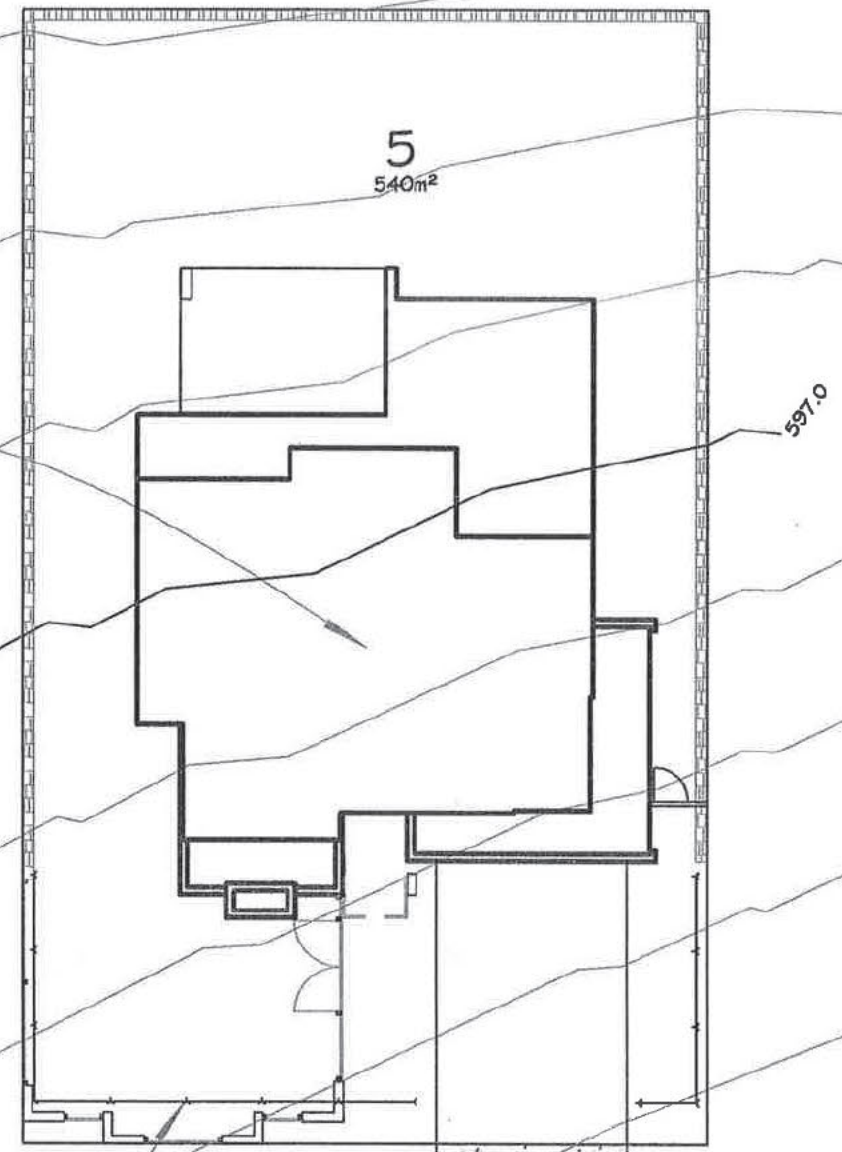
michaelpdesigner@hotmail.com

P : 02 6228 3218  
M : 0410 528 576

ABN 38 265 442 810

Michael Piscone

Architectural  
DESIGNER



PROPOSED RESIDENCE  
UPPER FFL : 600.046  
LOWER FFL : 596.950  
FGL : 596.700  
GARAGE FFL : 596.864

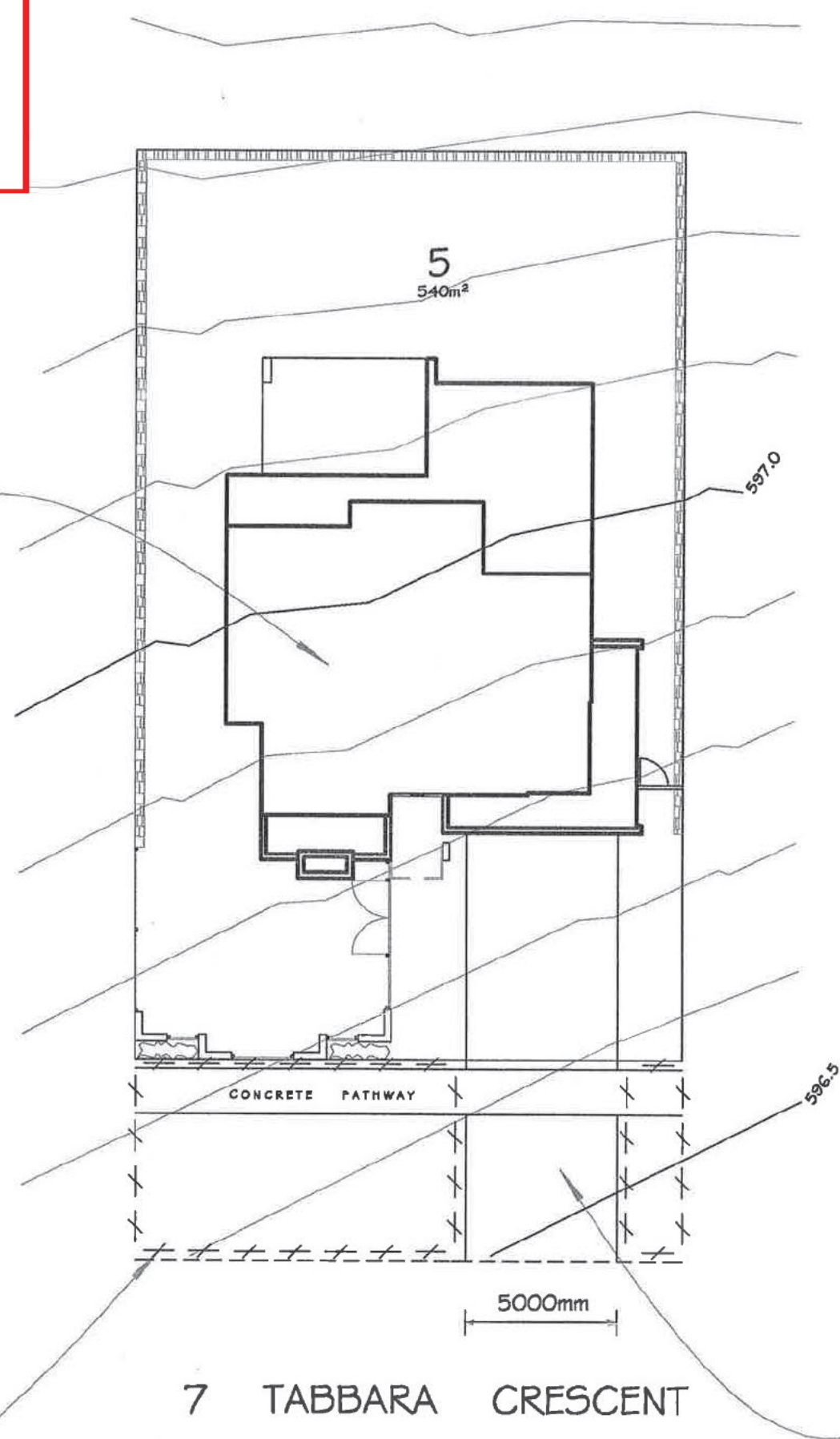
TO PREVENT TRANSFER OF SEDIMENT TO VERGE/ ROADWAY AND ADJOINING PROPERTY(S), PROVIDE TEMPORARY SEDIMENT CONTROL GEOTEXTILE FENCE; FIXED TO STAK PICKETS AT MAXIMUM 2m CENTRES AND 600 DEEP.

PROPOSED DRIVEWAY ENTRY OVER VERGE AS STABILISED ACCESS POINT/ CROSSOVER. TO PREVENT TRANSFER OF SOIL TO ROADWAY. PROVIDE RECYCLED CRUSHED CONCRETE TO DEPTH OF 150-200mm WITH AN UNDERLAY OF HEAVY DUTY GEOTEXTILE FABRIC.

5000mm

7 TABBARA CRESCENT





PROPOSED RESIDENCE  
 UPPER FFL : 600.046  
 LOWER FFL : 596.950  
 FGL : 596.700  
 GARAGE FFL : 596.864

1800 HIGH CHAIN MESH

7 TABBARA CRESCENT

NOTES:  
 VERGE MANAGEMENT GUIDELINES :  
 INSTALL 1800 HIGH CHAIN MESH TO BE SUPPORTED BY 2400mm HIGH CONCRETE WALLS TO BE RETAINED WITHIN THE BLOCK AS SHOWN  
 PENDING TO BE ERECTED ON COMMENCEMENT OF SITE WORK AND REMOVED UPON COMPLETION OF CONSTRUCTION AND COMMENCEMENT OF VERGE RESTORATION  
 ENSURE ADEQUATE WATER IS APPLIED TO THE ROOT ZONE OF RETAINED VEGETATION  
 ALL WORKS TO BE IN ACCORDANCE WITH THE "CONSERVATION AND PROTECTION OF VEGETATION ACT 1991"  
 THIS DOCUMENT HAS BEEN PREPARED IN ACCORDANCE WITH THE "CONSERVATION AND PROTECTION OF VEGETATION ACT 1991"  
 PROTECTING VEGETATION THROUGHOUT CONSTRUCTION AS PER THE BASIC SPECIFICATION

**CONDITIONALLY COMPLIES**

The information contained in this application complies with ActewAGL's gas network protection and safety requirements subject to the conditions as listed on the Statement of Conditional Compliance

Please note: Construction of the proposed works may require the property owner to require the property owner to remove non-compliant structures and/or the property owner to fund re-landscaping works on ActewAGL's gas network

Signed... Steve Donnelly Date: 24 Oct 2012

NO CARPARKING OR EQUIPMENT PARKING PERMITTED ON VERGES  
 NO CONSTRUCTION MATERIAL TO BE STORED ON VERGES OR UNDER DROPLINE OF RETAINED TREES

the science of energy efficiency

**scinergy4**

Building thermal performance assessor: Jenny Edwards  
 ACT Building Assessor (Class A - Energy Efficiency) Lic No. 2011198

Sign: *J Edwards* Rating: 6 ★  
 Date: 24/7/2012

PO Box 366, Curtin ACT 2605  
 jenny@scinergy.com.au 0424 635 082

OUTLINE OF PROPOSED DRIVEWAY ENTRY OVER VERGE AS CONSTRUCTION ACCESS. REFER TO EROSION SEDIMENT CONTROL PLAN FOR MEASURES TO PREVENT TRANSFER OF SOIL TO ROADWAY

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PROPOSED RESIDENCE ON  
 block : 5 section : 80  
 suburb : CRACE  
 FOR  
 Sch 2 2.2(a)(ii)

SHEET TITLE		SCALE	
VERGE MANAGEMENT PLAN		1 : 200	
PROJECT CODE	SHEET No	DATE	DRAWN
DPC0515	2 OF 8	16/07/12	M.P

AREAS m <sup>2</sup>	
LIVING UPPER :	PATIO :
LIVING LOWER :	PORCH :
GARAGE :	PERGOLA :
VERANDAH :	DECK :
ALFRESCO :	BALCONY :
PORTICO :	TOTAL AREA :

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Michael Piscone  
 Architectural  
 DESIGNER



500mm APPROX. SITE CUT. NO PART OF CUT SHALL ENCROACH ON/ OVER BOUNDARIES. PROVIDE 500mm HIGH RETAINING WALL TO FOLLOW NGL

NOMINAL LOCATION OF SWIMMING POOL. SEPARATE RELEVANT AUTHORITY APPROVAL, SUPPLY AND INSTALLATION ALL BY OWNER

90° UPVC STORMWATER LINES CONNECTED INTO ABOVEGROUND RAINWATER TANK

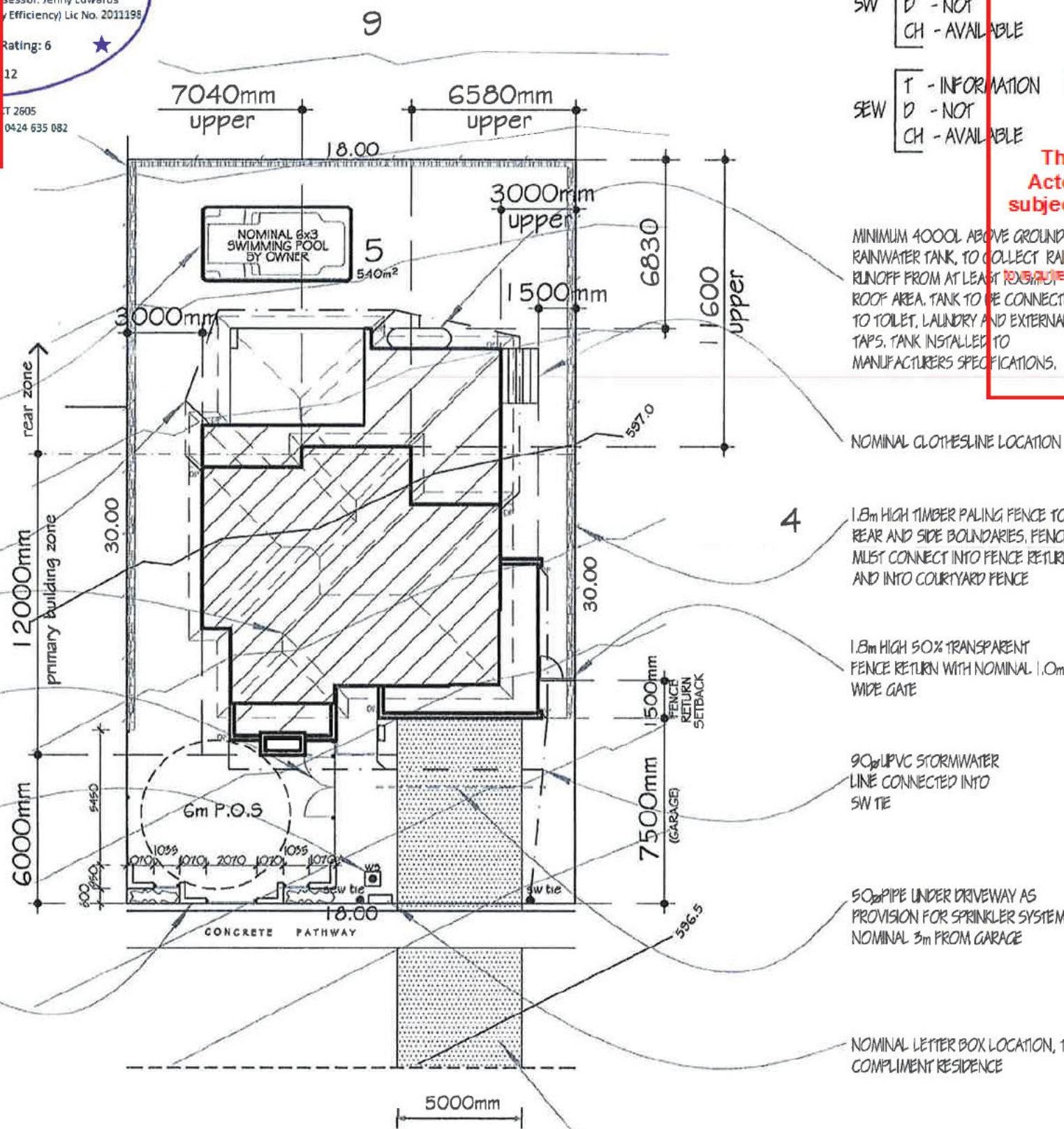
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A MINIMUM OF 50% OF THE POS TO BE RETAINED AS PLANTING AREA.



7 TABBARA CRESCENT

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D - NOT  
CH - AVAILABLE
- SEW T - INFORMATION  
D - NOT  
CH - AVAILABLE

**ActewAGL**  
Gas Networks

**CONDITIONALLY COMPLIES**

The information contained in this application complies with ActewAGL's gas network protection and access requirements subject to the conditions as listed on the Statement of Conditional Compliance.

NOTES:  
RZ1 - SINGLE DWELLING HOUSING DEVELOPMENT CODE  
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This document has been assessed against legislation providing ActewAGL's infrastructure an enhanced level of protection. ACTEWAGL'S INFRASTRUCTURE IS AN ESSENTIAL SERVICE. CONTOUR INFORMATION ONLY. DESIGNER ACCEPTS NO RESPONSIBILITY IF CONTOUR INFORMATION IS NOT ACCURATE.  
Please note: Construction of non-compliant structures and/or the property owner to fund the relocation works on ActewAGL's gas network.

OPEN SPACE:  
60% OF 540m<sup>2</sup> = 324m<sup>2</sup> ✓  
ACHIEVED  
540m<sup>2</sup> - 166.7m<sup>2</sup> = 373.3m<sup>2</sup> ✓

PLOT RATIO:  
MAXIMUM GROSS BUILDING AREA  
90% OF 540m<sup>2</sup> = 486m<sup>2</sup> ✓  
ACHIEVED  
269.8m<sup>2</sup> = 540m<sup>2</sup> - 49.9% ✓

Signed: *Steve Donnelly* Date: 24 Oct 2012  
Contact Phone: 6203 0640

ABN: 02 086 474 880  
LICENCED BUILDER  
PO Box 302 Fyshwick ACT 2609  
todayshomes.com.au

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and lifestyle  
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PROPOSED RESIDENCE ON  
block : 5 section : 80  
suburb : CRACE

FOR Sch 2 2.2(a)(ii)

SHEET TITLE		SCALE	
SITE PLAN		1 : 200	
PROJECT CODE	SHEET No	DATE	DRAWN
DPC0515	3 OF 8	16/07/12	M.P

AREAS m <sup>2</sup>	
LIVING UPPER :	PATIO :
LIVING LOWER :	PORCH :
GARAGE :	PERGOLA :
VERANDAH :	DECK :
ALFRESCO :	BALCONY :
PORTICO :	TOTAL AREA :

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MINIMUM 4000L ABOVE GROUND RAINWATER TANK, TO COLLECT RAIN RUNOFF FROM AT LEAST 25% OF ROOF AREA. TANK TO BE CONNECTED TO TOILET, LAUNDRY AND EXTERNAL TAPS. TANK INSTALLED TO MANUFACTURERS SPECIFICATIONS.

NOMINAL CLOTHESLINE LOCATION

1.8m HIGH TIMBER PALING FENCE TO REAR AND SIDE BOUNDARIES. FENCE MUST CONNECT INTO FENCE RETURN AND INTO COURTYARD FENCE

1.8m HIGH 50% TRANSPARENT FENCE RETURN WITH NOMINAL 1.0m WIDE GATE

90° UPVC STORMWATER LINE CONNECTED INTO SW TIE

50° PIPE UNDER DRIVEWAY AS PROVISION FOR SPRINKLER SYSTEM, NOMINAL 3m FROM GARAGE

NOMINAL LETTER BOX LOCATION, TO COMPLIMENT RESIDENCE

DRIVEWAY OVER VERGE TO COMPLY WITH DOMESTIC STANDARD DRAWING No. D55-01. MAINTAIN 5m WIDTH TO FRONT BOUNDARY











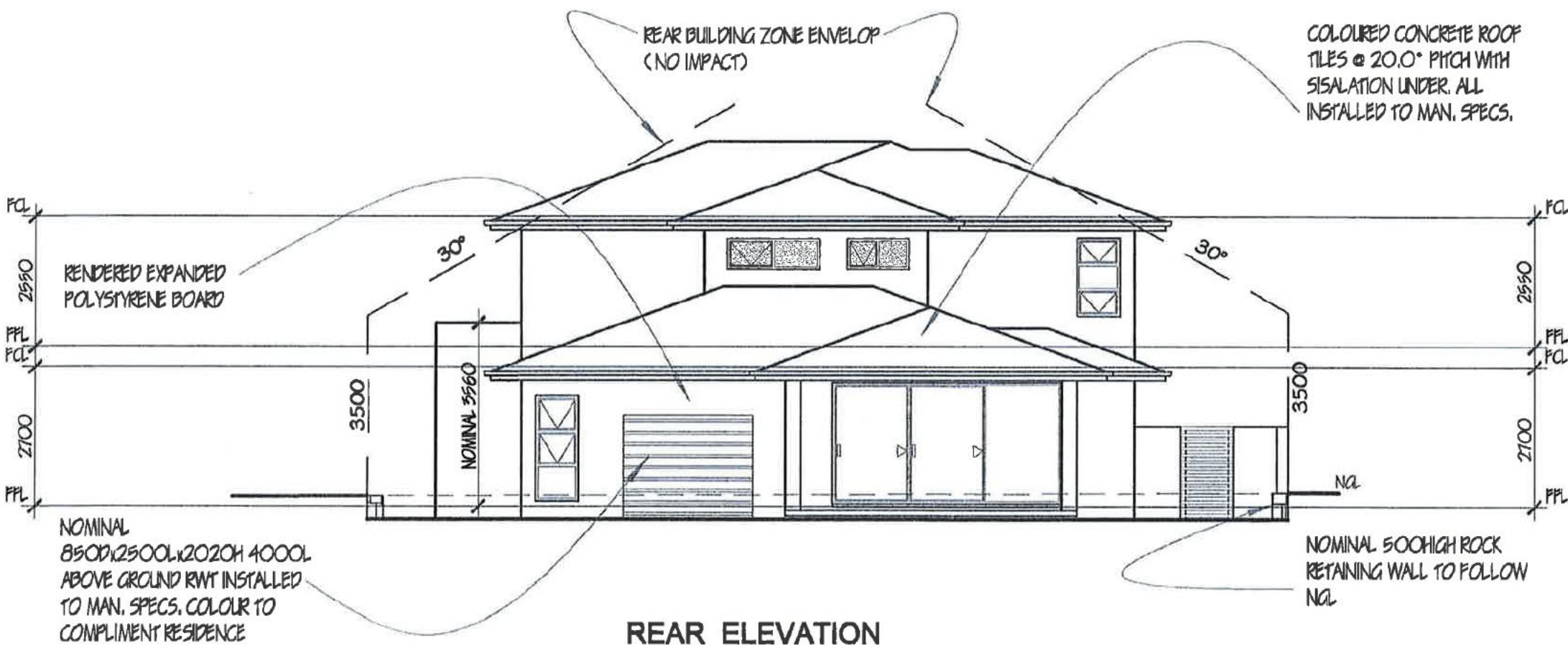
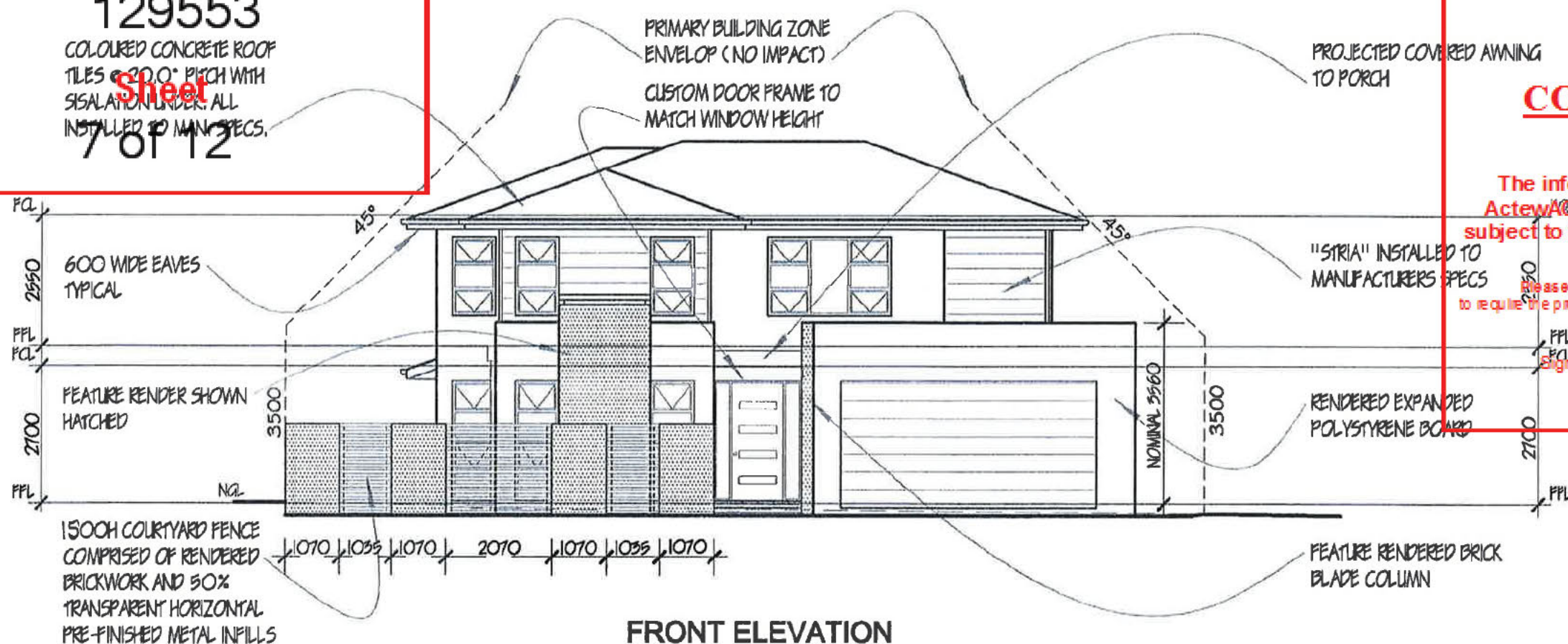
application number

129553

COLOURED CONCRETE ROOF  
TILES @ 20.0° PITCH WITH  
SISALATION UNDER. ALL  
INSTALLED TO MAN. SPECS.

Sheet

7 of 12



NOTES:  
PROVIDE ActewAGL COPY AS  
REQUIRED

Gas Networks

**CONDITIONALLY COMPLIES**

This document has been assessed against legislation protecting ActewAGL's infrastructure and access to it

The information contained in this application complies with ActewAGL's gas network protection and access requirements subject to the conditions as listed on the Statement of Conditional Compliance

Sign: *Jenny Edwards* Rating: 6  
Date: 24/7/2012

Please note: Construction of unapproved work may result in action being taken to require the property owner to remove non-compliant structures and/or the property owner to fund rectification work on ActewAGL's gas network

Signed: Steve Donnelly Date: 24 Oct 2012

Contact Phone: 6203 0640

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Suites 1 & 3 28 Colle street Fyshwick ACT 2609  
P: (02) 6228 3234 F: (02) 6280 8108

PROPOSED RESIDENCE ON  
block : 5 section :80  
suburb :CRACE

FOR Sch 2 2.2(a)(ii)

SHEET TITLE	ELEVATIONS		SCALE
			1 : 100

PROJECT CODE	SHEET No	DATE	DRAWN
DPC0515	6 OF 8	16/07/12	M.P

AREAS m <sup>2</sup>	
LIVING UPPER :	PATIO :
LIVING LOWER :	PORCH :
GARAGE :	PERGOLA :
VERANDAH :	DECK :
ALFRESCO :	BALCONY :
PORTICO :	TOTAL AREA :

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NSW 2619

micheelpdesigner@hotmail.com

P : 02 6228 3218  
M : 0410 628 578

ABN 99 265 442 810

Michael Piscone  
Architectural  
DESIGNER



application number

129553  
Sheet

8 of 12

REAR BUILDING ZONE ENVELOP (NO IMPACT)

RENDERED EXPANDED POLYSTYRENE BOARD

NOMINAL 500 HIGH ROCK RETAINING WALL TO FOLLOW NGL

COLOURED SHEET METAL ROOF @ 1.0° PITCH WITH SISAL ADHERED TO BUILDING BLANKET UNDER. ALL INSTALLED TO MAN. SPECS.



PO Box 366, Curtin ACT 2605  
jenny@scinergy.com.au 0424 635 082

"STRIA" INSTALLED TO MANUFACTURERS SPECS

600 WIDE EAVES  
TYPICAL  
SIDE ELEVATION

**ActewAGL**  
HATCHED  
Gas Networks  
FEATURE RAINWATER HEAD TO NOMINALLY TO ENGINEERS SPECIFICATIONS  
**CONDITIONALLY COMPLIES**

This document has been assessed against legislation protecting gas networks infrastructure and access to it

The information contained in this application complies with ActewAGL's gas network protection and access requirements subject to the conditions as listed on the Statement of Conditional Compliance

Please note: Construction of unapproved work may result in action being taken to require the property owner to remove non-compliant structures and/or the property owner to fund rectification works on ActewAGL's gas network

Signed: Steve Donnelly Date: 28 Oct 2012

Contact Phone: 6203 0640

1500H COURTYARD FENCE COMPRISED OF RENDERED BRICKWORK AND 50% TRANSPARENT HORIZONTAL PRE-FINISHED METAL INFILLS

PROJECTED COVERED AWNING TO PORCH

"STRIA" INSTALLED TO MANUFACTURERS SPECS

RENDERED EXPANDED POLYSTYRENE BOARD

SIDE ELEVATION

NOMINAL 8500x2500x2020H 4000L ABOVE GROUND RWT INSTALLED TO MAN. SPECS. COLOUR TO COMPLIMENT RESIDENCE

REAR BUILDING ZONE ENVELOP (NO IMPACT)

NOMINAL 500 HIGH ROCK RETAINING WALL TO FOLLOW NGL

NOTES:  
PROVIDE FLASHING FROM WALLS TO ROOF AS REQUIRED

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P: (02) 6228 3234 F: (02) 6260 8106

SHEET TITLE		SCALE	
ELEVATIONS		1:100	
PROJECT CODE	SHEET No	DATE	DRAWN
DPC0515	7 OF 8	16/07/12	M.P

PROPOSED RESIDENCE ON  
block : 5 section : 80  
suburb : CRACE

FOR Sch 2 2.2(a)(ii)

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- AREAS m<sup>2</sup>
- LIVING UPPER :
- LIVING LOWER :
- GARAGE :
- VERANDAH :
- PORTICO :
- PATIO :
- PORCH :
- PERGOLA :
- BALCONY :
- AL-FRESCO :
- TOTAL AREA :

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michaelpdesigner@hotmail.com

P : 02 6228 3218  
M : 0410 528 576

ABN 98 265 442 810





COLOURED CONCRETE ROOF  
TILES @ 20.0° PITCH WITH  
SISALATION UNDER. ALL  
INSTALLED TO MAN. SPECS.

Building thermal performance assessor: Jenny Edwards  
ACT Building Assessor (Class A - Energy Efficiency) Lic No. 2011198  
Sign: *J Edwards* Rating: 6 ★  
Date: 24/7/2012  
PO Box 366, Curtin ACT 2605  
jenny@scinergy.com.au 0424 635 082

NOTES:  
ALL WORK MUST BE CARRIED OUT IN ACCORDANCE WITH THE  
CURRENT VERSION OF THE BUILDING RELEVANT AUTHORITIES  
REQUIREMENTS

**Gas Networks**  
EXTERNAL WALLS - R2.0 BATTIS PLUS R0.5 PERFORATED  
SISALATION  
INTERNAL GARAGE WALLS - R2.0 BATTIS  
CEILING R2.0 BATTIS  
CONCRETE TILED ROOF - SISALATION UNDER  
PERFORATED

**CONDITIONALLY COMPLIES**

This document has been assessed against legislation  
protecting ActewAGL's infrastructure and access to it

The information contained in this application complies with  
ActewAGL's gas network protection and access requirements  
subject to the conditions as listed on the Statement of Conditional  
Compliance

WEATHERSTRIP ON SURFACE DOORS  
NO UNSEALED VENTED DOWNLIGHTS

Please note: Construction of unapproved work may result in action being taken  
to require the property owner to rectify non-compliant structures and/or the property owner to fund  
rectification works on ActewAGL's gas network

Signed: **Steve Donnelly** Date: **24 Oct 2012**

Contact Phone: 6203 0640

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PROPOSED RESIDENCE ON  
block : **5** section : **80**  
suburb : **CRACE**

FOR  
**Sch 2 2.2(a)(ii)**

SHEET TITLE	SECTION	SCALE
		1 : 100

PROJECT CODE	SHEET No	DATE	DRAWN
DPC0515	8 OF 8	16/07/12	M.P

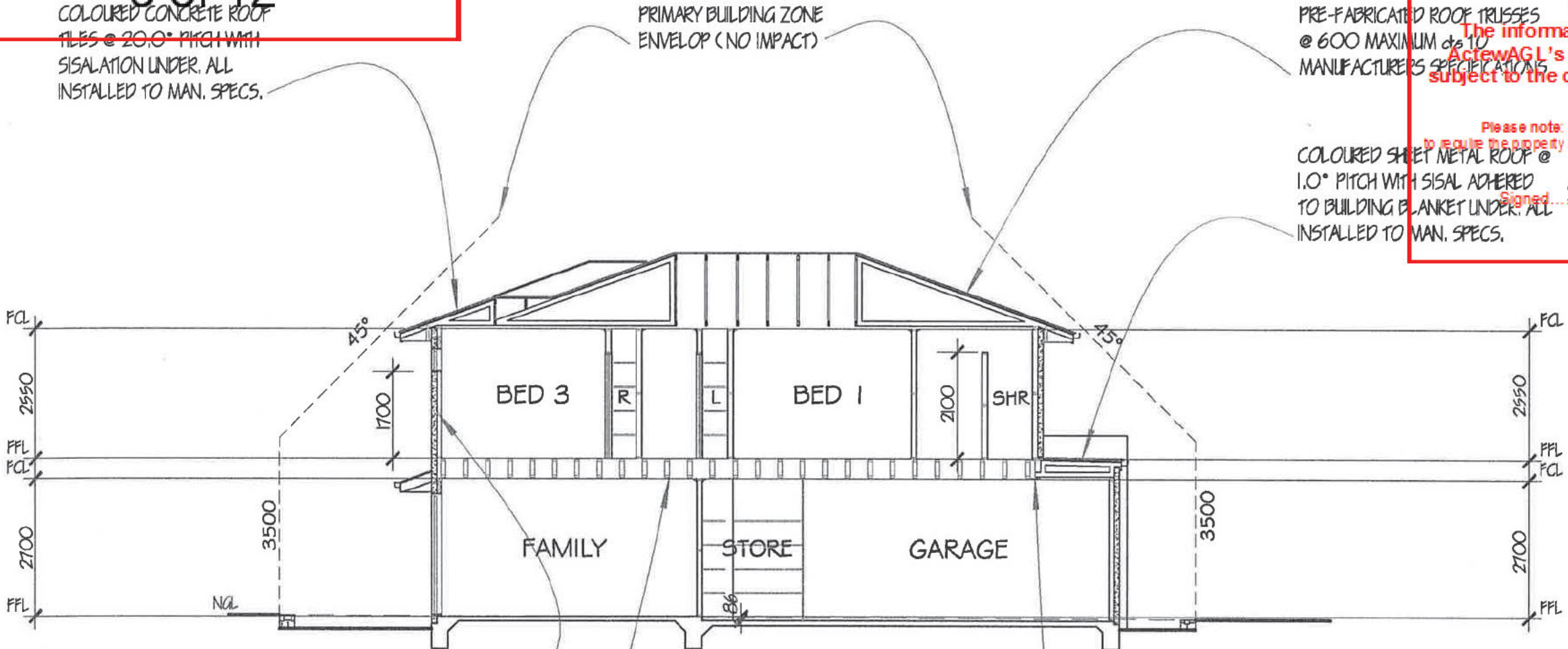
AREAS m <sup>2</sup>	
LIVING UPPER :	PATIO :
LIVING LOWER :	PORCH :
GARAGE :	PERGOLA :
VERANDAH :	DECK :
ALFRESCO :	BALCONY :
PORTICO :	TOTAL AREA :

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michaelpiscone@hotmail.com  
P : 02 6228 3218  
M : 0410 626 576  
ABN 38 265 442 810

Michael Piscone  
Architectural  
DESIGNER



PRIMARY BUILDING ZONE  
ENVELOP (NO IMPACT)

PRE-FABRICATED ROOF TRUSSES  
@ 600 MAXIMUM @ 10°  
MANUFACTURERS SPECIFICATIONS

COLOURED SHEET METAL ROOF @  
1.0° PITCH WITH SISAL ADHERED  
TO BUILDING BLANKET UNDER. ALL  
INSTALLED TO MAN. SPECS.

PERFORATED SISALATION TO  
WALLS INSTALLED TO  
MANUFACTURERS SPECIFICATIONS

"POST-SPLITS" @ CENTRES TO  
MANUFACTURERS SPECS.

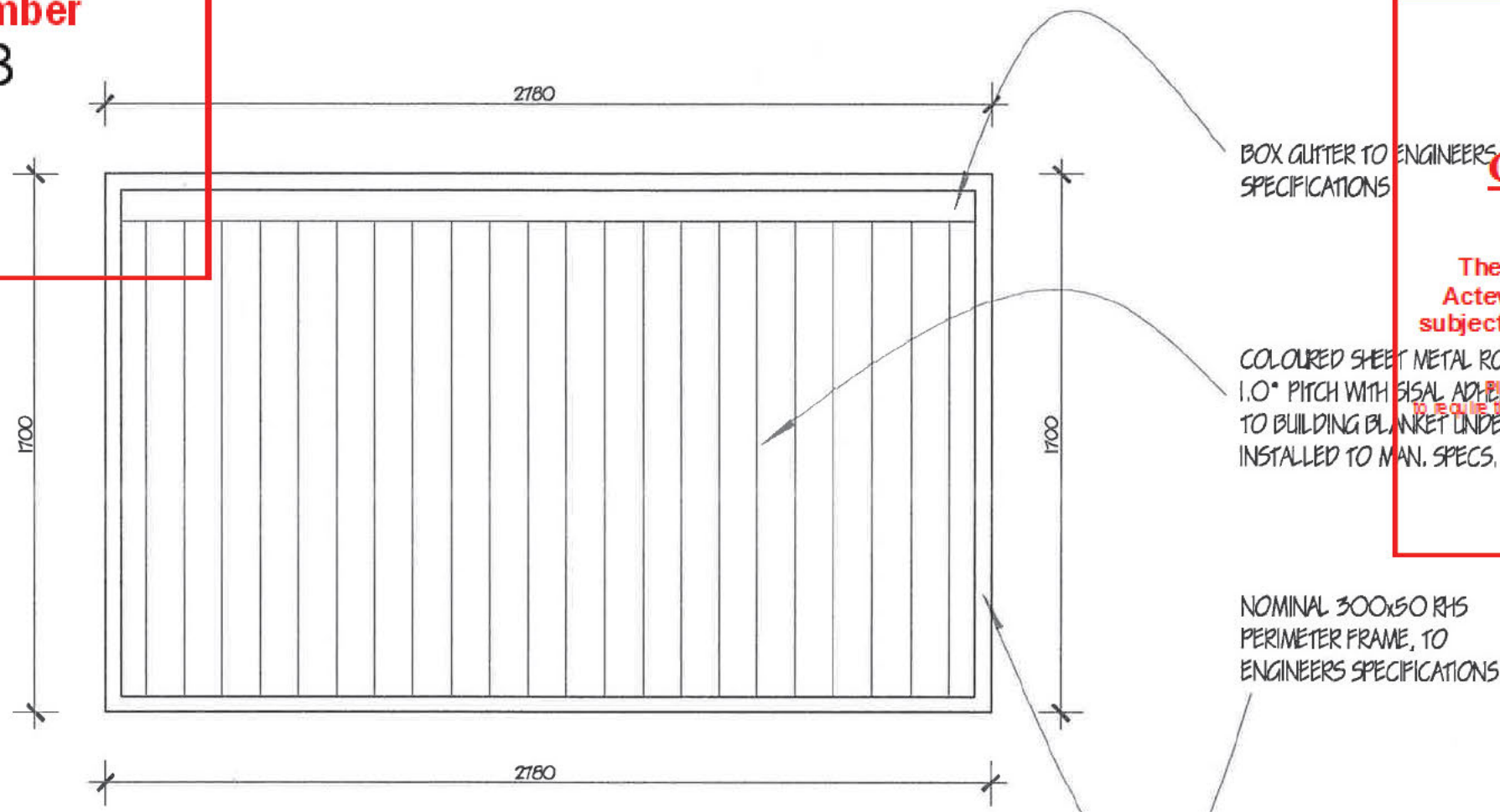
ALL CONCRETE SLABS AND  
FOOTINGS SHALL BE DETERMINED  
BY SITE CLASSIFICATION AND  
THE BCA

STEEL LINTELS TO ENGINEERS  
SPECIFICATIONS

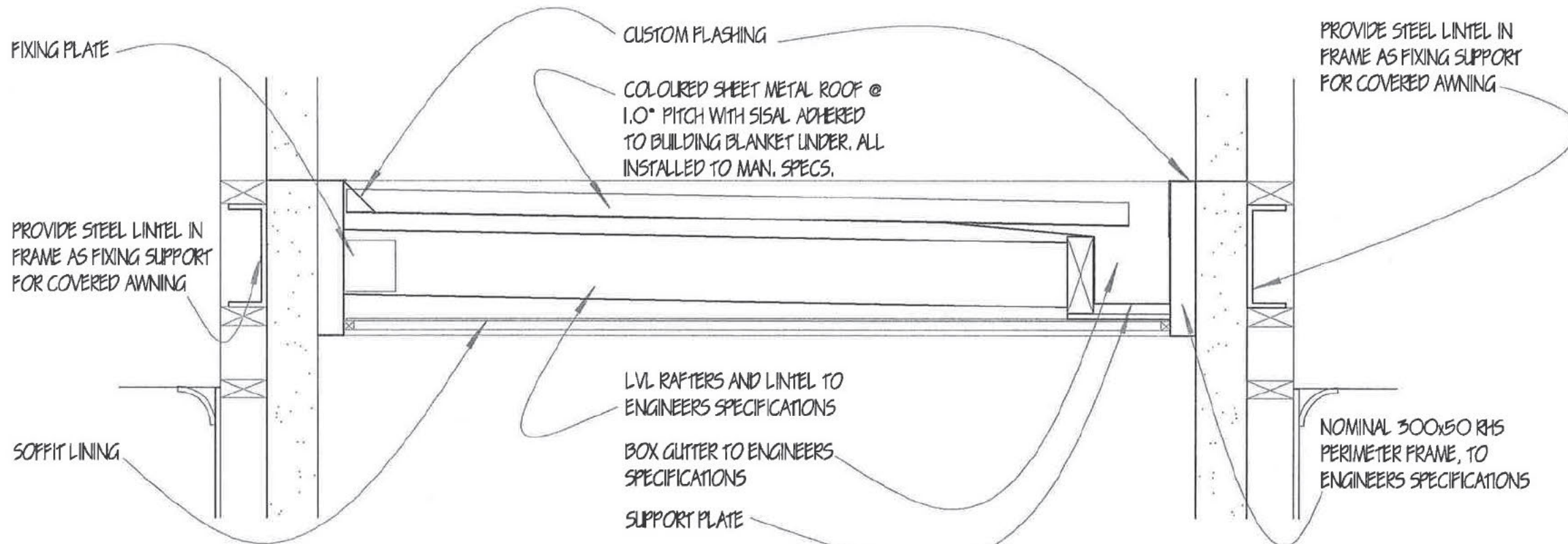
\* PROVIDE TERMITE  
PROTECTION IN ACCORDANCE  
WITH THE CURRENT VERSION OF  
THE BCA

SECTION AA





PORCH AWNING PLAN DETAIL SCALE - 1: 20



PORCH AWNING SECTION DETAIL SCALE - 1: 10

NOTES:

MEASUREMENTS SHOWN WITHOUT TOLERANCES. BUILDER/ MANUFACTURER TO VERIFY AND ALLOW SUITABLE TOLERANCES FOR FINISHING TO FIT, PRIOR TO FABRICATION

**Gas Networks**

**CONDITIONALLY COMPLIES**

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Please note: Construction of unapproved works may result in action being taken to require the property owner to remove non-compliant structures and/or the property owner to fund rectification works on ActewAGL's gas network

Signed... Steve Donnelly... Date 24 Oct 2012

Contact Phone: 6203 0640

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PROPOSED RESIDENCE ON  
 block : 5 section : 80  
 suburb : CRACE

FOR  
 Sch 2 2.2(a)(ii)

SHEET TITLE	DETAILS	SCALE
		1 : 10

PROJECT CODE	SHEET No	DATE	DRAWN
DPC0515	1 OF 2	16/07/12	M.P

AREAS m <sup>2</sup>	
LIVING UPPER :	PATIO :
LIVING LOWER :	PORCH :
GARAGE :	PERGOLA :
VERANDAH :	DECK :
ALFRESCO :	BALCONY :
PORTICO :	TOTAL AREA :

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ABN 38 266 442 310



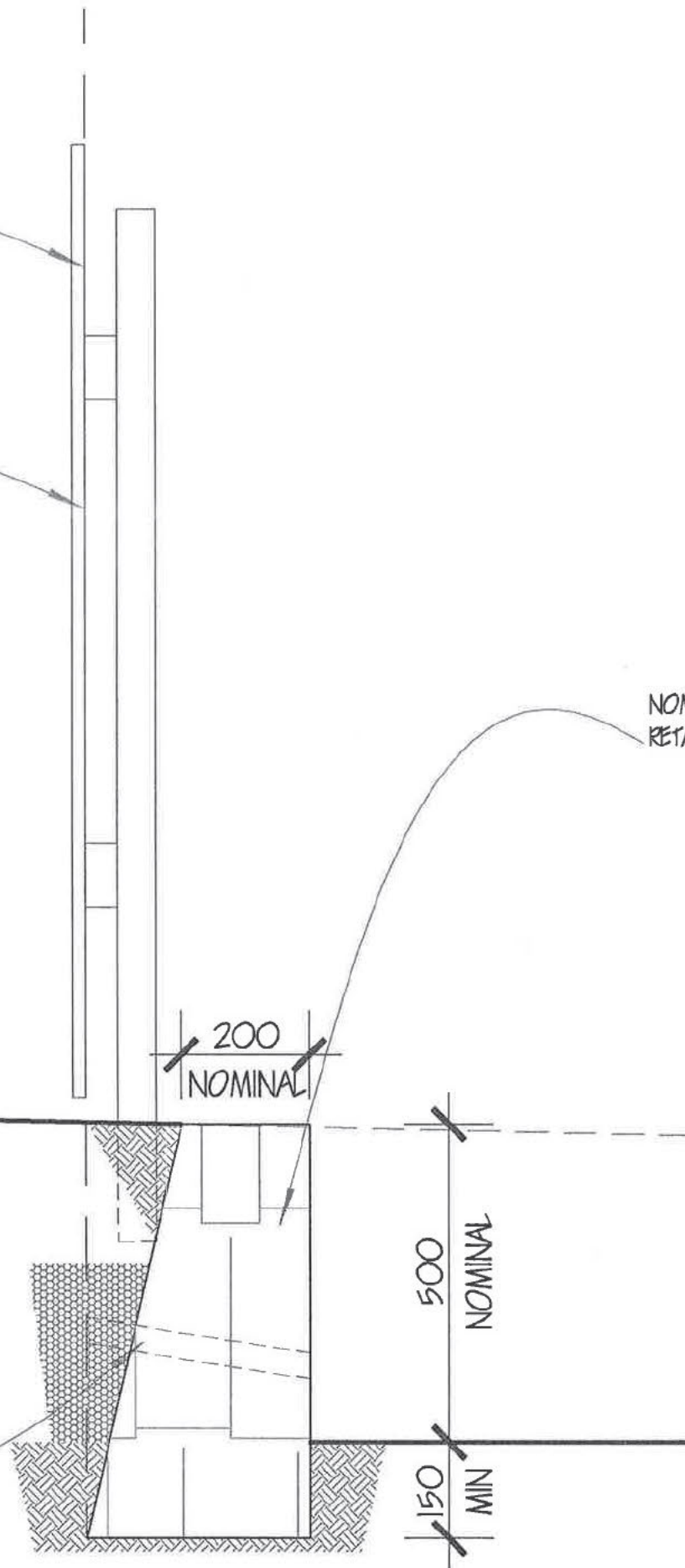


BOUNDARY LINE

EXISTING BOUNDARY FENCE TO BE RETAINED AND UPGRADED AS REQUIRED

NOMINAL 500 HIGH ROCK RETAINING WALL TO FOLLOW NGL

40 $\phi$  PVC PIPE AS WEEPHOLES @ 1800 NOMINAL CENTRES. PROVIDE BLUE METAL SCREENINGS OF NOMINAL 10 $\phi$  AS SHOWN. ALTERNATE : PROVIDE AGRICULTURAL LINE @ BASE OF WALL



RETAINING WALL DETAIL

NOTES:

ALL WORK MUST BE CARRIED OUT IN ACCORDANCE WITH THE CURRENT VERSION OF THE RELEVANT AUTHORITIES REQUIREMENTS

ROCK RETAINING WALLS TO BE DESIGNED AND VERIFIED BY ENGINEER

**CONDITIONALLY COMPLIES**

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Signed... Steve Donnelly ..... Date 24 Oct 2012

Contact Phone: 6203 0640

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PROPOSED RESIDENCE ON  
 block : 5 section : 80  
 suburb : CRACE  
 FOR  
 Sch 2 2.2(a)(ii)

SHEET TITLE			SCALE
DETAILS			1 : 10
PROJECT CODE	SHEET No	DATE	DRAWN
DPC0515	2 OF 2	16/07/12	M.P
AREAS m <sup>2</sup>			
LIVING UPPER :	PATIO :		
LIVING LOWER:	PORCH :		
GARAGE :	PERGOLA :		
VERANDAH :	DECK :		
ALFRESCO :	BALCONY :		
PORTICO :	TOTAL AREA :		

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michaelpiscone@hotmail.com

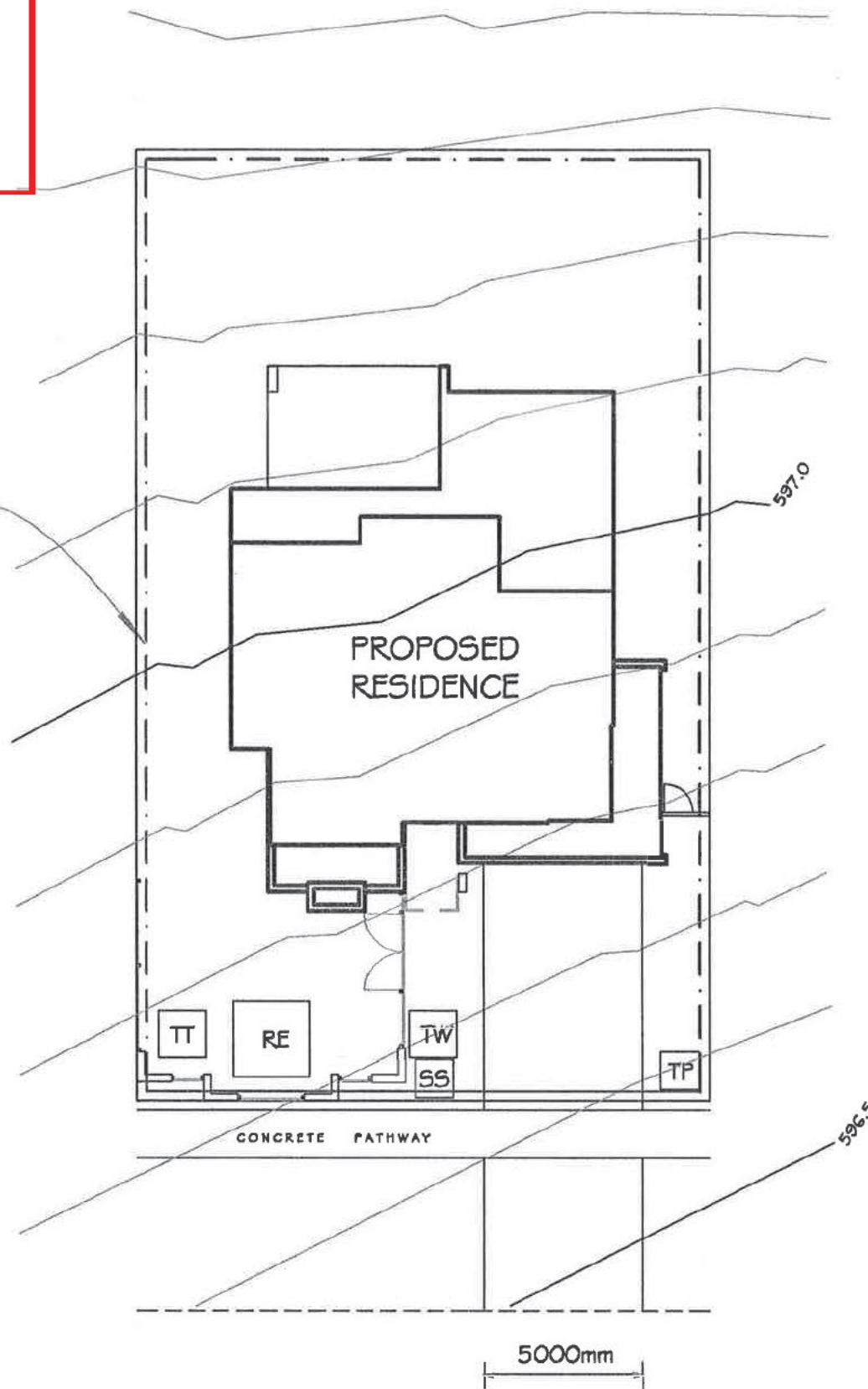
P : 02 6228 3218  
 M : 0410 526 576

ABN 38 265 442 310





TEMPORARY FENCING



7 TABBARA CRESCENT

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NOTES:

DESIGNER ACCEPTS NO RESPONSIBILITY FOR BUILDER/  
CONTRACTOR'S OR ANY OTHER PERSON'S SAFETY.  
ANY PERSON(S) WHO ENTERS CONSTRUCTION SITE, DOES  
SO AT OWN RISK.

LEGEND:

FF - FINISH LEVEL  
SS - SITE SIGN

TT - TEMPORARY TOILET  
TP - TEMPORARY POWER

**CONDITIONALLY COMPLIES**

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Signed... Steve Donnelly ..... Date 24 Oct 2012

Contact Phone: 6203 0640

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PROPOSED RESIDENCE ON  
block : 5 section : 80  
suburb : CRACE  
FOR  
Sch 2 2.2(a)(ii)

SHEET TITLE: SITE SAFETY PLAN SCALE: 1 : 200

PROJECT CODE	SHEET No	DATE	DRAWN
DPC0515	1 OF 1	16/07/12	M.P

AREAS m <sup>2</sup>	
LIVING UPPER :	PATIO :
LIVING LOWER:	PORCH :
GARAGE :	PERGOLA :
VERANDAH :	DECK :
ALFRESCO :	BALCONY :
PORTICO :	TOTAL AREA :

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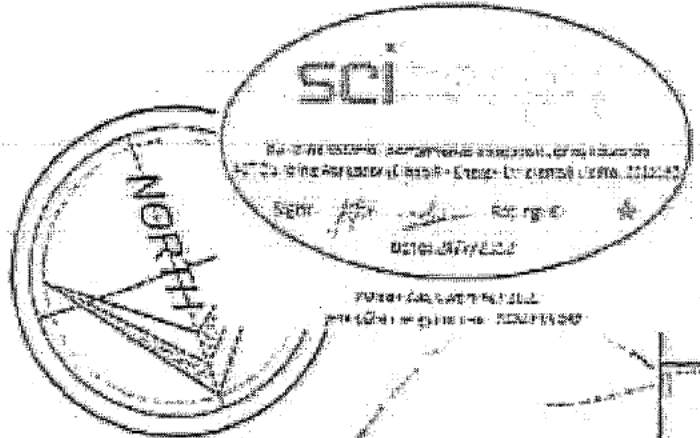
ABN 38 265 442 310





Swimming Pool ONLY  
BCA OCCUPANCY CLASS 10b.

BA DWG 1/2



OK CR

**CAPITAL CERTIFIERS**  
15 MAY 2013  
Date Issued  
**BUILDING APPROVAL**  
Issued under s.28 of the Building Act 2004  
**CAPITAL CERTIFIERS PTY LTD**  
COLA.LIC. 2012 818  
ACN: 158 851 239

- T - INFORMATION
- D - NOT
- GH - AVAILABLE
- T - INFORMATION
- D - NOT
- GH - AVAILABLE

900mm APPROX ARE OUTSIDE OF CURB WALL ENCROACH ON/ OVER BOUNDARY. PROVIDE 900mm HIGH RETAINING WALL TO FOLLOWING.

NOMINAL LOCATION OF SWIMMING POOL. SEPARATE RELEVANT AUTHORITY APPROVAL, SUPPLY AND TEST LATER ALL BY OWNER.

SCHEMATIC STORMWATER LINES CONNECTED INTO ADJACENT MAINWATER TANK.

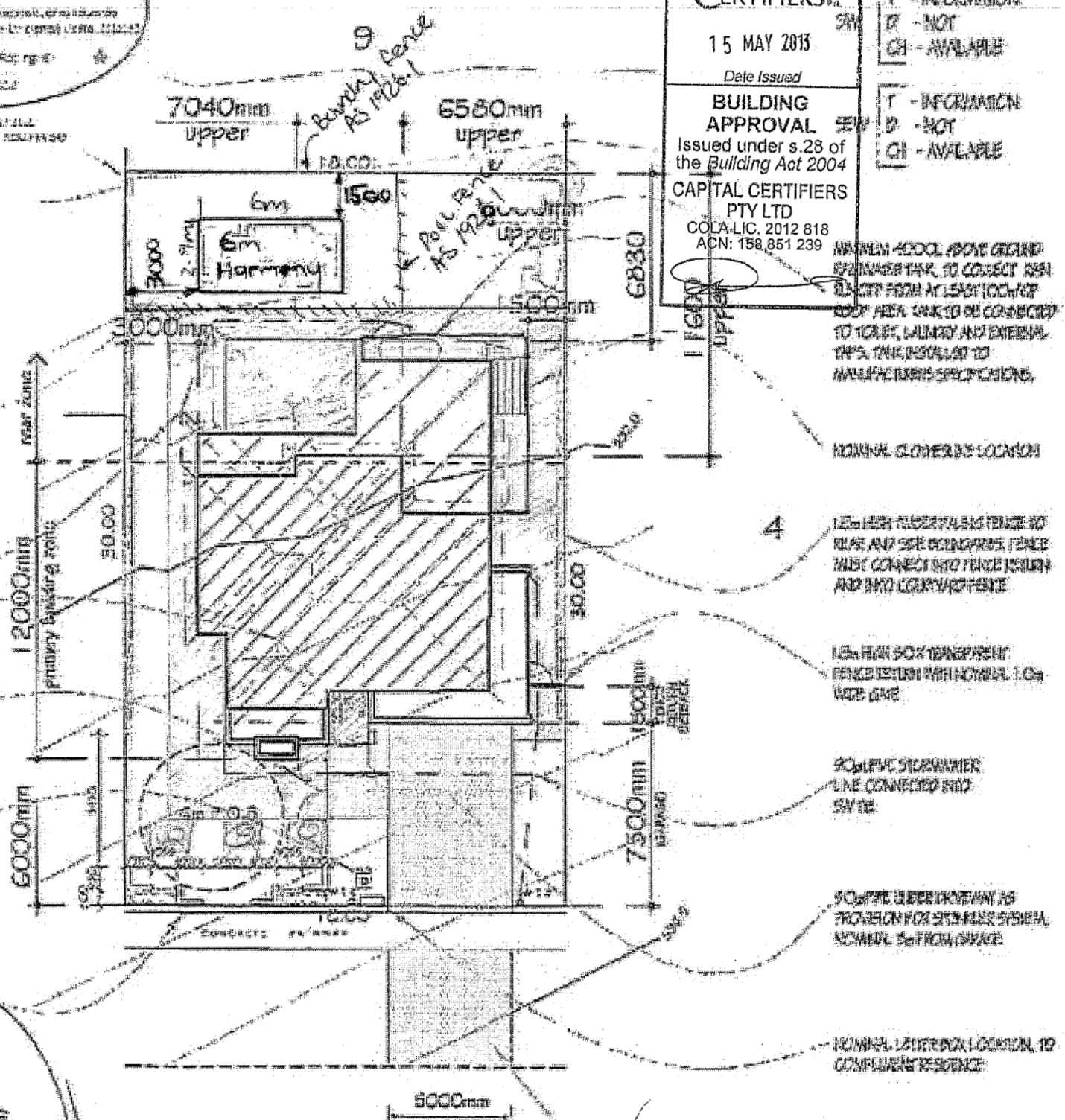
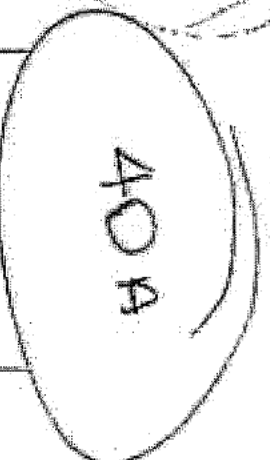
PROPOSED RESIDENCE  
UPPER FFL: 500.046  
LOWER FFL: 506.950  
FSL: 506.700  
GRADE FFL: 506.664

NOMINAL 2400mm GABLE

PROTECT WATER SERVICES DURING CONSTRUCTION WITH TRENCHES AND GRAN MASTIFFENCE.

1500mm COURTYARD FENCE COMPRISED OF KENNESLED PNEUMATIC AND 50% TRANSPARENT HORIZONTAL FIBRE-REINFORCED POLYESTER.

FRONT LANDSCAPE TO COMPLY WITH TYPICAL PLAN FOR FRONT GARDEN OF 18m-20m WIDE BLOCK; OPTION 1\* AS PREPARED BY PETER HUDSON - PANGEA DESIGNS. A MINIMUM OF 50% OF THE FOS TO BE RETAINED AS PLANTING AREA.



MAXIMUM 4000mm ABOVE GROUND SWAMPWATER TANK TO COLLECT RAIN RUN OFF FROM AT LEAST 100% OF ROOF AREA. TANK TO BE CONSTRUCTED TO TOLER, LAUNDRY AND EXTERNAL TAPS. TANK SHALL BE TO MANUFACTURERS SPECIFICATIONS.

NOMINAL GLOVERBOX LOCATION

1.5m HIGH TUBER FLEXIBLE FENCE TO REAR AND SIDE BOUNDARIES. FENCE MUST BE CONNECTED INTO TRENCH INSURANCE AND INTO COURTYARD FENCE.

1.5m HIGH 50% TRANSPARENT FENCE TO REAR WITH NOMINAL 1.0m WIRE GATE.

SCHEMATIC STORMWATER LINE CONNECTED INTO SW TIE.

SCHEMATIC UNDERDRAINAGE AS PROVISION FOR STEELING SYSTEM. NOMINAL 50mm FROM GARAGE.

NOMINAL UTILITY BOX LOCATION TO COMPLY WITH RESIDENCE.

DRAINAGE OVER VERGE TO COMPLY WITH DOMESTIC STANDARD DRAINAGE. NO DEP-OL MINIMUM 50mm TO FRONT BOUNDARY.

**NOTES:**  
**RZ1 - SUBURBAN ZONE**  
SMALLEST DEVELOPMENT CODE  
DO NOT SCALE DRAWINGS. ALL DIMENSIONS SHALL TAKE PRECEDENCE. VERTICAL DIMENSIONS SHALL BE IN MILLIMETERS UNLESS OTHERWISE STATED. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE STATED. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE STATED. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE STATED.  
THESE PLANS ARE FOR INFORMATION ONLY. THE DEVELOPER ACCEPTS NO LIABILITY FOR ANY ERRORS OR OMISSIONS.  
THE DEVELOPER SHALL COMPLY WITH THE ACT AND REGULATIONS CONCERNING BUILDING APPROVALS AND CONSTRUCTION.  
ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE STATED.  
SCHEMATIC STORMWATER LINE CONNECTED INTO SW TIE.  
SCHEMATIC UNDERDRAINAGE AS PROVISION FOR STEELING SYSTEM. NOMINAL 50mm FROM GARAGE.  
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1500mm COURTYARD FENCE COMPRISED OF KENNESLED PNEUMATIC AND 50% TRANSPARENT HORIZONTAL FIBRE-REINFORCED POLYESTER.

PROPOSED RESIDENCE ON  
block: 5 section: 80  
suburb: CRACE

Sch 2 2.2(a)(ii)  
SHEET TITLE: SITE PLAN  
SCALE: 1:200

PROJECT CODE	SHEET no	DATE	DRAWN
DPC0515	3 OF 8	18/07/12	M.P

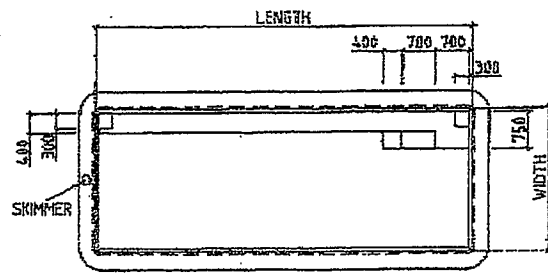
AREA (m <sup>2</sup> )	PATIO
LIVING UPPER	POORIT
LIVING LOWER	PERGOLA
GARAGE	DECK
VERANDAH	BALCONY
ALFRESCO	TOTAL AREA
PORTICO	

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PO Box 222, Jamunahome NSW 2018  
Tel: 02 9226 4423  
Fax: 02 9226 4423

7 TABBARA CRESCENT



001/001

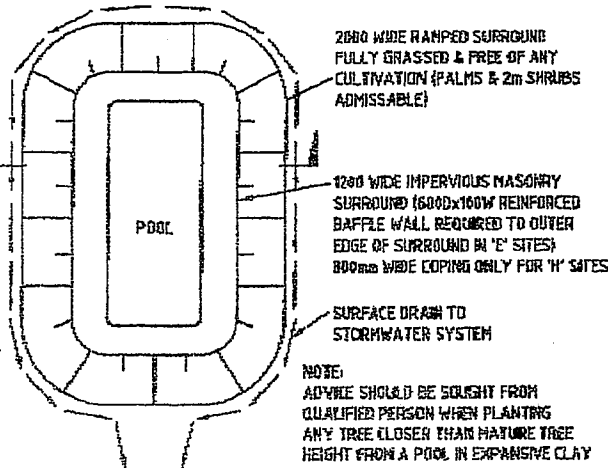


**POOL PLAN - HARMONY**  
1:800

LENGTH	WIDTH	MAX. DEPTH	MIN. DEPTH
5.0m	2.9m	1.565m	1.29m
6.0m	2.9m	1.630m	1.29m
7.0m	2.9m	1.695m	1.29m
8.0m	2.9m	1.760m	1.29m

BALSA RIBS ON WALLS AT 600 CRS. GENERALLY 3 400 CRS. WHERE POOL WALL IS GREATER THAN 1600 HIGH

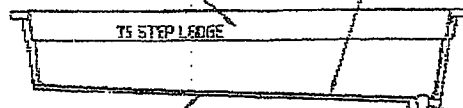
**BALSA RIBS**  
1:50



**EXPANSIVE CLAY SOILS PROVISION PLAN**  
1:200

NOTE: ADVICE SHOULD BE SOUGHT FROM QUALIFIED PERSON WHEN PLANTING ANY TREE CLOSER THAN MATURE TREE HEIGHT FROM A POOL IN EXPANSIVE CLAY

5mm FIBREGLASS WALL LAMINATE STIFFENED AS DETAIL BELOW. THICKEN TO 8mm AROUND STEP LEDGE & 9mm AROUND BOTTOM EDGING



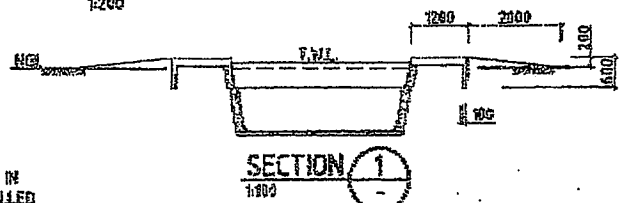
**LONGITUDINAL SECTION**  
1:100



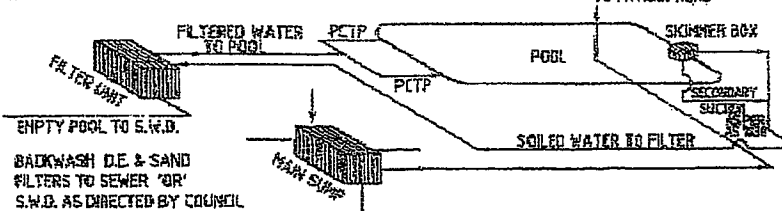
**CROSS SECTION**  
1:100

HYDROSTATIC VALVE IN 600x600x600 SUMP FILLED WITH 20mm SCREENINGS

EMPTY POOL TO S.W.D.  
BACKWASH D.E. & SAND FILTERS TO SEWER "OR" S.W.D. AS DIRECTED BY COUNCIL

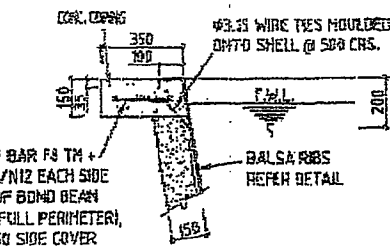


**SECTION 1**  
1:800

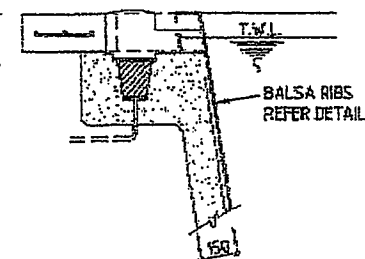


**WATER RETICULATION FLOW DIAGRAM**  
NTS

ALL FILTRATION PIPES TO BE 40mm (1.5") PVC CLASS 9 PIPE & ALL FITTINGS CLASS 10 TO AS 1875



**COPING DETAIL**  
1:50



**SKIMMER BOX DETAIL**  
1:50

**GRP SHELL MANUFACTURE**

- A. THE FIBREGLASS SHELL SHALL BE MANUFACTURED IN ACCORDANCE WITH AS 1838 (PREMOULDED FIBRE REINFORCED PLASTIC SWIMMING POOLS)
- B. MATERIALS:
  - (a). RESINS SHALL BE TYPE B POLYESTER (N.A.O.)
  - (b). REINFORCEMENT SHALL BE CLASS 'E' GLASS FIBRE, MIN. GLASS CONTENT OF TOTAL SHELL THICKNESS - 30% BY WEIGHT
- C. SHELL SHALL BE SPRAY MOULDED WITH:
  - (a). 0.5mm GEL COAT (MPG)
  - (b). 1.2 - 1.5mm BARRIER COAT (VINYL ESTER)
  - (c). STRUCTURAL LAYER WHICH WILL GIVE TOTAL BARRIER/STRUCTURAL THICKNESS NOMINATED ON DRAWING
  - (d). 0.2mm FLO COAT
- D. ALL LAYERS SHALL BE ROLLED OUT TO COMPLETELY BOND REINFORCING & RESINS & EXPEL AIR
- E. STRUCTURAL LAMINATE SHALL HAVE:
  - (a). FLEXURAL STRENGTH OF 110 MPa
  - (b). TENSILE STRENGTH OF 60 MPa
  - (c). MODULUS ELASTICITY OF 6200 MPa

**FOUNDATIONS**

- A. POOL HAS BEEN DESIGNED FOR FULLY-IN-GROUND INSTALLATION. INSTALL SUBDRAINS AS REC'D. IN BATTERS ABOVE POOL.
- B. THE POOL IS SUITABLE FOR INSTALLATION IN ROCK, SAND, GRAVEL & STEEP CLAY. WHERE POOL IS TO BE INSTALLED IN VERY SOFT CLAY, SILTY CLAY OR SILTS, ENGINEERING ADVICE SHALL BE OBTAINED TO CATER FOR LATERAL PRESSURE.
- C. ALL TOPSOIL & ORGANIC MATTER UNDER POOL FLOOR IS TO BE REMOVED. THE DESIGN REQUIRES THAT THE FOUNDATION MATERIAL IS TO BE UNIFORM SOUND NATURAL GROUND WITH A MINIMUM BEARING CAPACITY OF 50 KPa.
- D. FOR INSTALLATION OF POOL IN EXPANSIVE SOIL, REFER 'EXPANSIVE CLAY PROVISIONS PLAN' DETAIL

**INSTALLATION**

- A. THE POOL SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF AS 1838 & THIS SPECIFICATION.
- B. WALLS SHALL BE BACKFILLED WITH 10:1 SAND/CEMENT MIX PLACED AT A RATE TO MATCH POOL FILLING & DAMPED AFTER COMPLETION.
- C. CONCRETE TO CONCOURSE SHALL BE 20 MPa MIN. WITH 20mm AGGREGATE & 85:15 SLUMP - TYPE A CEMENT, COMPACT CONCRETE THOROUGHLY AROUND SKIMMER & UNDER COPING FLANGE.
- D. REINFORCING STEEL:
  - N12 - 12mm DEFORMED BAR TO AS 1838
  - RF62 - WELDED WIRE FABRIC TO AS 1304
- E. TOLERANCES SHALL BE IN ACCORDANCE WITH AS 1838
- F. PLUMBING SHALL BE #40 PRESSURE LINES & #50 SUCTION LINES CLASS 9 PIPE & CLASS 10 FITTINGS. PRIME ALL JOINTS BEFORE APPLYING SOLVENT.

**OPERATION**

- A. THE POOL SHELL MAY BE DAMAGED IF THE POOL WATER IS DROPPED BELOW NORMAL OPERATING LEVEL. CONSULT THE INSTALLATION CONTRACTOR PRIOR TO EMPTYING THE POOL.

**CAPITAL CERTIFIERS**  
15 MAY 2013  
Date issued  
**BUILDING 2/2 APPROVAL**  
Issued under s.28 of the Building Act 2004  
**CAPITAL CERTIFIERS PTY LTD**  
COLA LIC. 2012 818  
ACN: 158 851 239

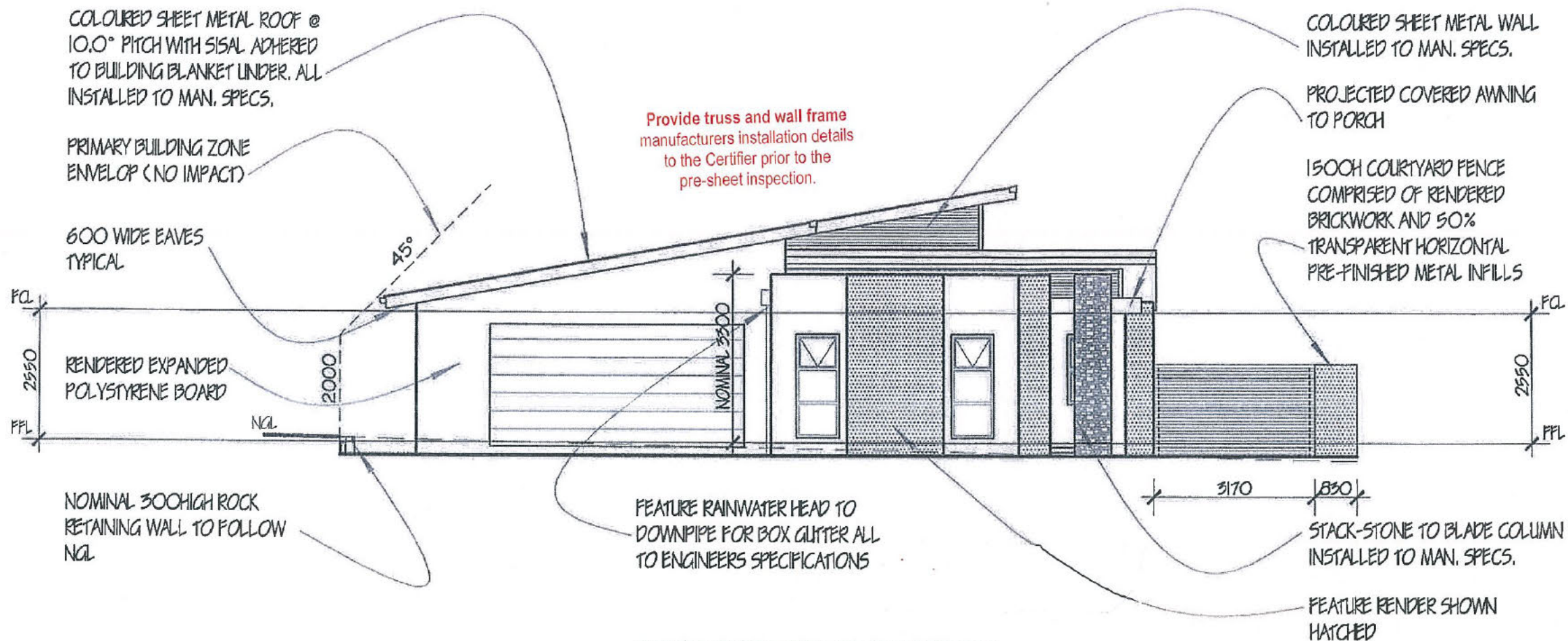
LEISURE POOLS

11/08/2008 10:51 FAX 0798077486

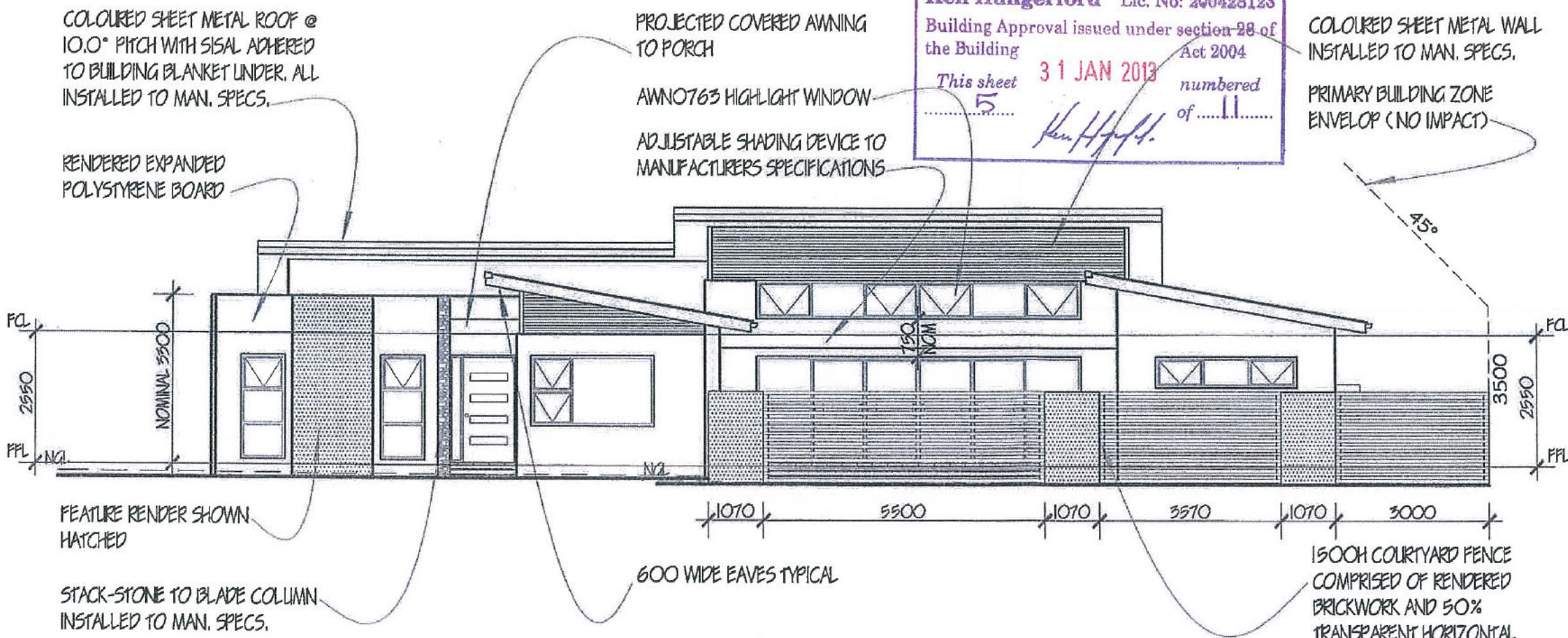
**POWER ENGINEERING**  
DESIGN & CONSTRUCTION OF SWIMMING POOLS  
Design: LEVEL 5 J BOSTON COURT VANDY LANE QLD 4227  
Phone: 07 5578 8088  
Fax: 07 5578 9428  
PO BOX 550 ROCKDALE QLD 4226 AUSTRALIA  
PHONE: 07 5578 8088  
FAX: 07 5578 9428

PROJECT		STRUCTURAL DETAILS FIBREGLASS SWIMMING POOL "HARMONY"	
DATE	SEPT '09	DATE	07.09.09
DESIGNED	RJS	CLIENT	Leisure Pools
DRAWN	BPC	ADDRESS	4 COMPUTER ROAD YASBARI QLD 4332 Ph: 07 5507 4332 Fax: 07 5507 2666
SCALE	AS SHOWN	DRAWING NO.	89111 / HAR - 1 OF 1
SIGNED		REV.	0.





FRONT(EAST) ELEVATION



FRONT (NORTH) ELEVATION

NOTES:  
PROVIDE FLASHING FROM WALLS TO ROOF AS REQUIRED

BERS PRO ENERGY RATING

7.5 STARS

*Dwykes*

DENIS WYLKS  
ACCREDITED ASSESSOR 2011456  
A.C.T.  
ABN 84 087 564 458

3/9/2012

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PROPOSED RESIDENCE ON  
block : 6 section : 80  
suburb : CRACE

FOR Sch 2 2.2(a)(ii)

SHEET TITLE ELEVATIONS SCALE 1 : 100

PROJECT CODE	SHEET No	DATE	DRAWN
DPC0518	6 OF 8	27/08/12	M.P

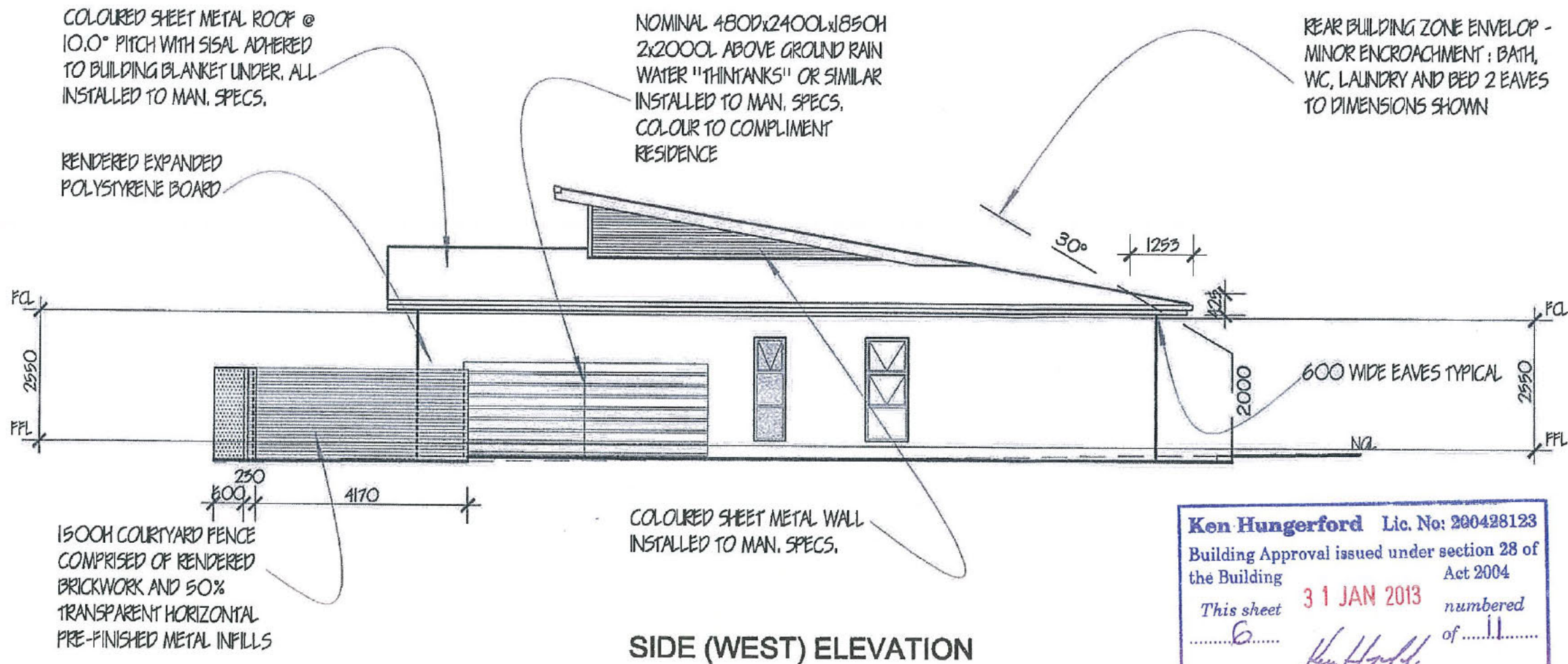
AREAS m <sup>2</sup>	
LIVING UPPER :	PATIO :
LIVING LOWER :	PORCH :
GARAGE :	PERGOLA :
VERANDAH :	DECK :
ALFRESCO :	BALCONY :
PORTICO :	TOTAL AREA :

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NSW 2619  
michael.piscone@hotmail.com  
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M : 0410 626 576  
ABN 98 265 442 310

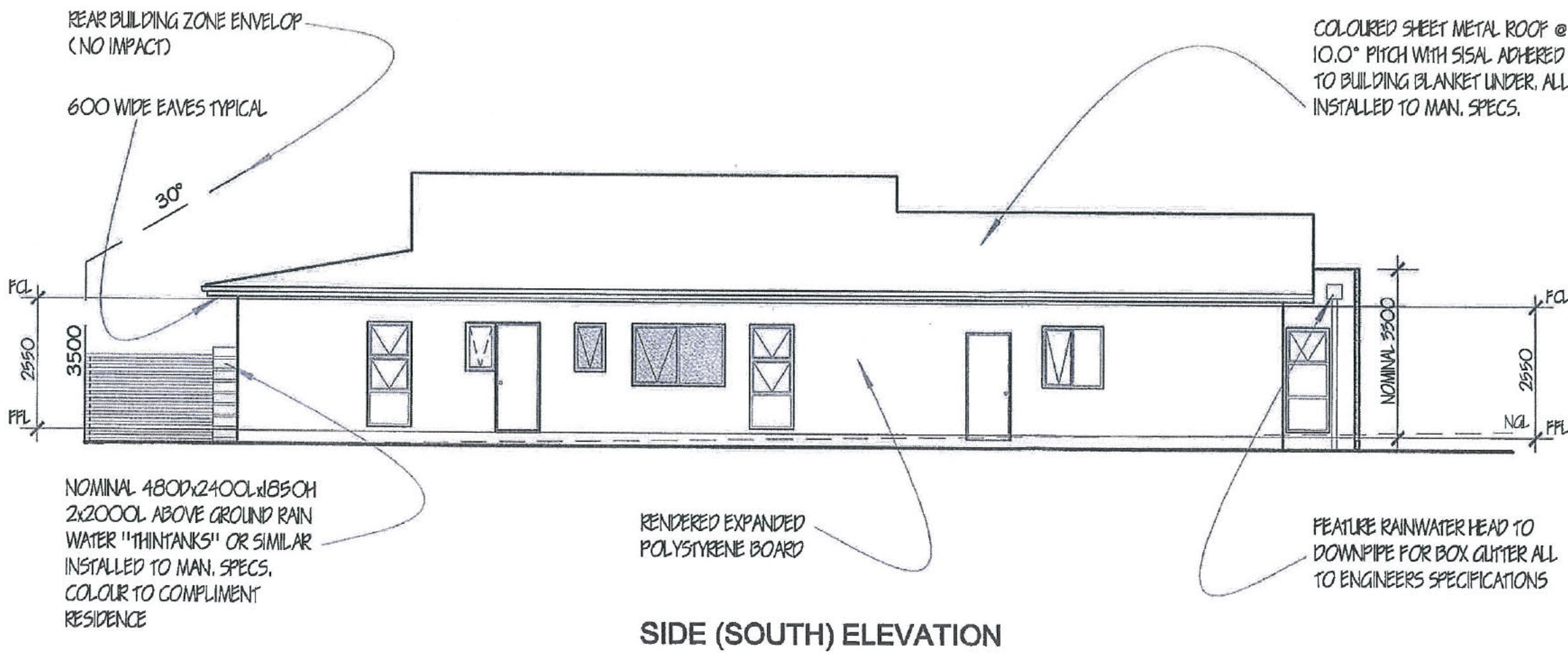
Michael Piscone  
Architectural  
DESIGNER





SIDE (WEST) ELEVATION

**Ken Hungerford** Lic. No: 200428123  
 Building Approval issued under section 28 of the Building Act 2004  
 This sheet **31 JAN 2013** numbered of **11**  
*Ken Hungerford*



SIDE (SOUTH) ELEVATION

NOTES:  
 PROVIDE FLASHING FROM WALLS TO ROOF AS REQUIRED

**BERS PRO ENERGY RATING**

**7.5 STARS**

*Duykx*  
**DENIS WYLKS**  
**ACCREDITED ASSESSOR 2011456**  
**A.C.T.**  
**ABN 84 087 564 458**

**3/9/2012**

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**PROPOSED RESIDENCE ON**  
 block : **6** section : **80**  
 suburb : **CRACE**

FOR  
**Sch 2 2.2(a)(ii)**  
 SHEET TITLE **ELEVATIONS** SCALE **1 : 100**

PROJECT CODE	SHEET No	DATE	DRAWN
DPC0518	7 OF 8	27/08/12	M.P

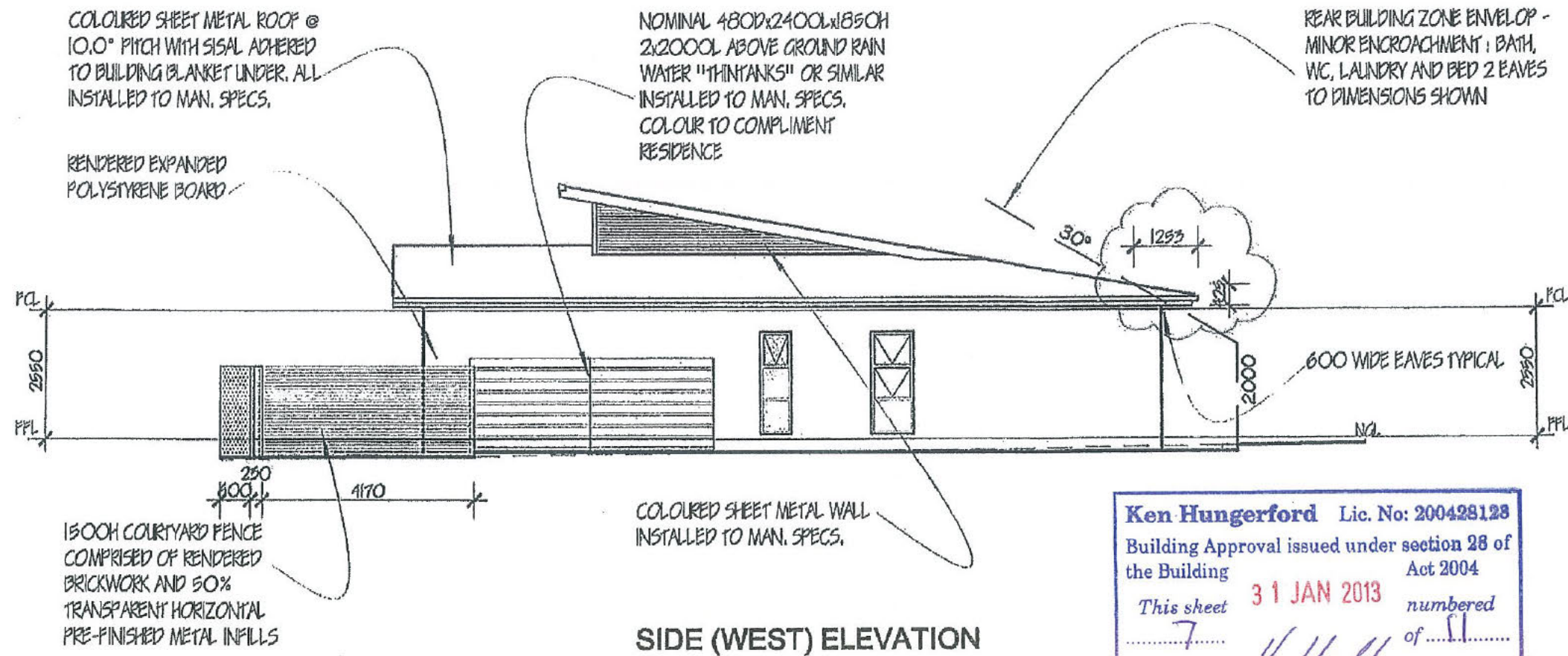
AREAS m <sup>2</sup>	
LIVING UPPER :	PATIO :
LIVING LOWER :	PORCH :
GARAGE :	PERGOLA :
VERANDAH :	DECK :
ALFRESCO :	BALCONY :
PORTICO :	TOTAL AREA :

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 ABN 88 265 442 810

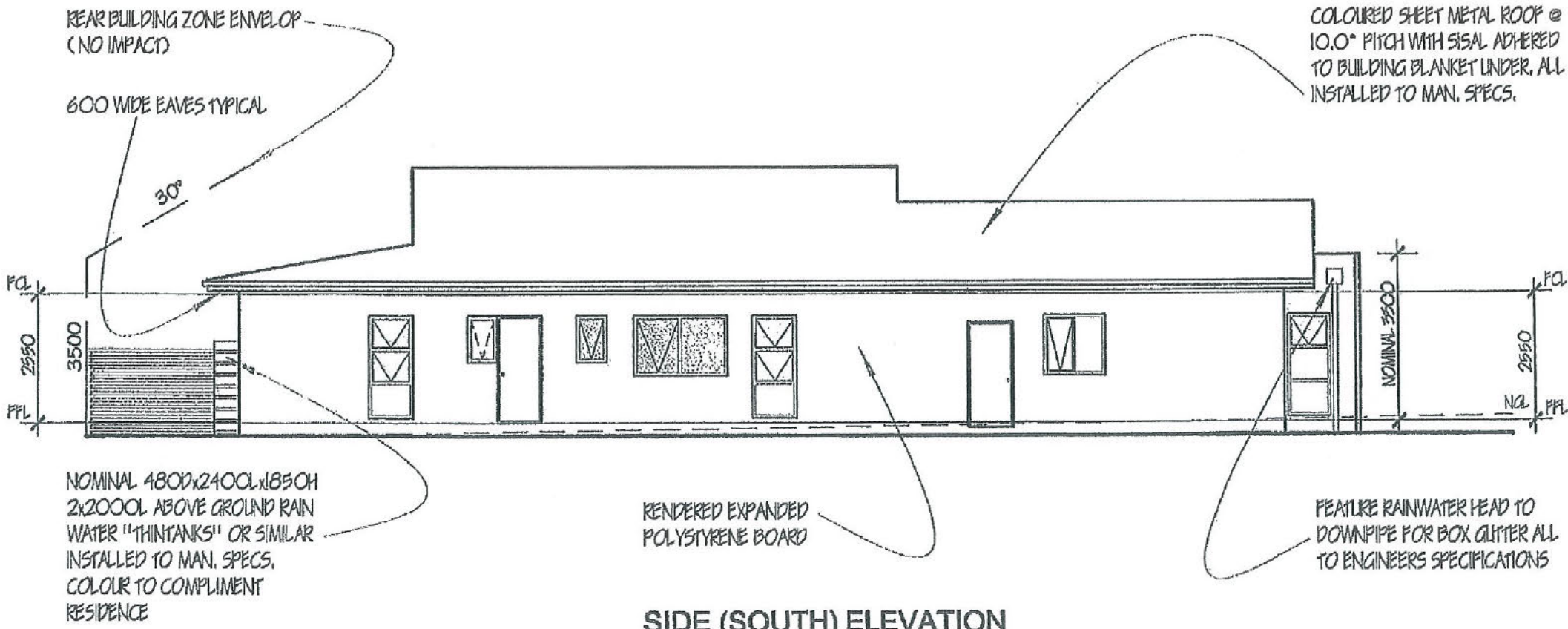
**Michael Piscone**  
 Architectural  
 DESIGNER





**SIDE (WEST) ELEVATION**

**Ken Hungerford** Lic. No: 200428128  
 Building Approval issued under section 28 of the Building Act 2004  
 This sheet **31 JAN 2013** numbered **7** of **11**  
*Ken Hungerford*



**SIDE (SOUTH) ELEVATION**

**NOTES:**  
 PROVIDE FLASHING FROM WALLS TO ROOF AS REQUIRED

Planning & Development Regulation 2008  
 Section 1.100A  
**APPROVED**  
*[Signature]*  
 Delegate of the ACT Planning and Land Authority  
 29.1.13.

Planning & Development Regulation 2008  
 Section 1.100A(2)  
**DECLARATION**  
 of Extended Distance  
 Max 425mm extension of Bed B  
 (Laundry/WC/Bath into building)  
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**PROPOSED RESIDENCE ON**  
 block : **6** section : **80**  
 suburb : **CRACE**  
 FOR **Sch 2 2.2(a)(ii)**

SHEET TITLE			SCALE
ELEVATIONS			1 : 100
PROJECT CODE	SHEET No	DATE	DRAWN
DPC0518	7 OF 8	27/08/12	M.P
AREAS m <sup>2</sup>			
LIVING UPPER :	PATIO :		
LIVING LOWER :	PORCH :		
GARAGE :	PERGOLA :		
VERANDAH :	DECK :		
ALFRESCO :	BALCONY :		
PORTICO :	TOTAL AREA :		

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 ABN 88 285 442 610

**Michael Piscone**  
 Architectural  
 DESIGNER



**Ken Hungerford Lic. No: 200428128**  
 Building Approval issued under section 28 of  
 the Building Act 2004  
 This sheet **31 JAN 2013** numbered  
 0 of 11  
*Ken Hungerford*

**NOTES:**  
 ALL WORK MUST BE CARRIED OUT IN ACCORDANCE WITH THE  
 CURRENT VERSION OF THE BCA AND THE RELEVANT AUTHORITIES  
 REQUIREMENTS

**INSULATION:**  
 EXTERNAL WALLS - R2.0 BATTS PLUS R0.5 PERFORATED  
 SISALATION  
 INTERNAL GARAGE WALLS - R2.0 BATTS  
 CEILING - R4.0 BATTS  
 SHEET METAL ROOF - R1.0 SISAL ADHERED TO BUILDING  
 BLANKET  
 CONCRETE SLAB - POLYSTYRENE WAFFLE PODS WITH SLAB  
 POURED IN-SITU  
 WEATHERSTRIPS TO ALL EXTERNAL DOORS  
 NO UNSEALED VENTED DOWNLIGHTS  
 SELF-SEALING DAMPERS TO ALL EXHAUST FANS

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**PROPOSED RESIDENCE ON**  
 block : **6** section : **80**  
 suburb : **CRACE**  
 FOR **Sch 2 2.2(a)(ii)**

SHEET TITLE		SCALE	
SECTION		1 : 100	
PROJECT CODE	SHEET No	DATE	DRAWN
DPC0518	8 OF 8	27/08/12	M.P

AREAS m <sup>2</sup>	
LIVING UPPER :	PATIO :
LIVING LOWER :	PORCH :
GARAGE :	PERGOLA :
VERANDAH :	DECK :
ALFRESCO :	BALCONY :
PORCHICO :	TOTAL AREA :

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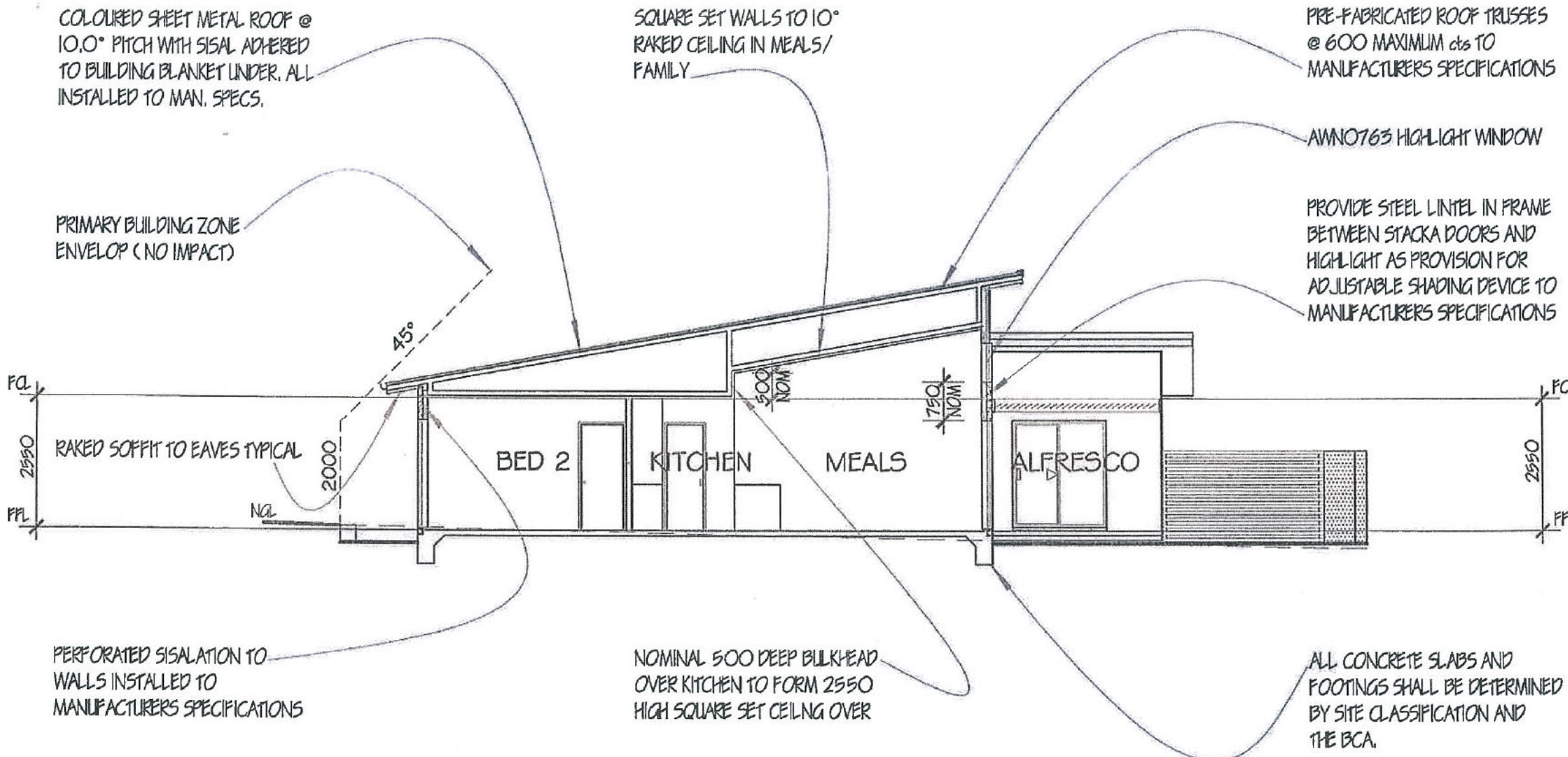
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ABN 38 285 442 310



**BERS PRO ENERGY RATING**

**7.5 STARS**

*Denylks*

**DENIS WYLKS**  
**ACCREDITED ASSESSOR 2011456**  
**A.C.T.**  
**ABN 84 087 564 458**

**3/9/2012**

**SECTION AA**

COLOURED SHEET METAL ROOF @  
 10.0° PITCH WITH SISAL ADHERED  
 TO BUILDING BLANKET UNDER. ALL  
 INSTALLED TO MAN. SPECS.

SQUARE SET WALLS TO 10°  
 RAKED CEILING IN MEALS/  
 FAMILY

PRE-FABRICATED ROOF TRUSSES  
 @ 600 MAXIMUM cts TO  
 MANUFACTURERS SPECIFICATIONS

AMN0763 HIGHLIGHT WINDOW

PROVIDE STEEL LINTEL IN FRAME  
 BETWEEN STACKA DOORS AND  
 HIGHLIGHT AS PROVISION FOR  
 ADJUSTABLE SHADING DEVICE TO  
 MANUFACTURERS SPECIFICATIONS

PRIMARY BUILDING ZONE  
 ENVELOP (NO IMPACT)

RAKED SOFFIT TO EAVES TYPICAL

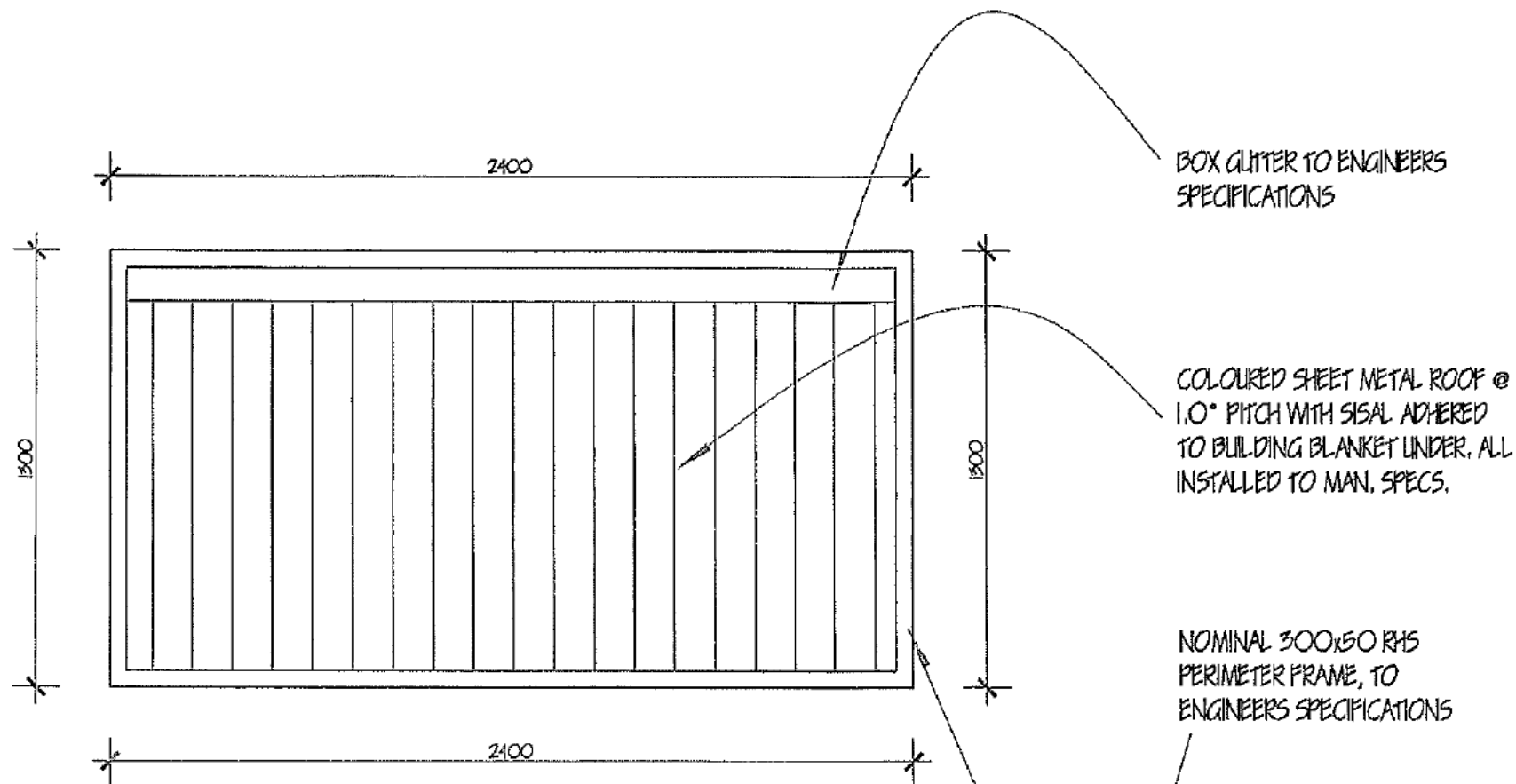
PERFORATED SISALATION TO  
 WALLS INSTALLED TO  
 MANUFACTURERS SPECIFICATIONS

NOMINAL 500 DEEP BULKHEAD  
 OVER KITCHEN TO FORM 2550  
 HIGH SQUARE SET CEILING OVER

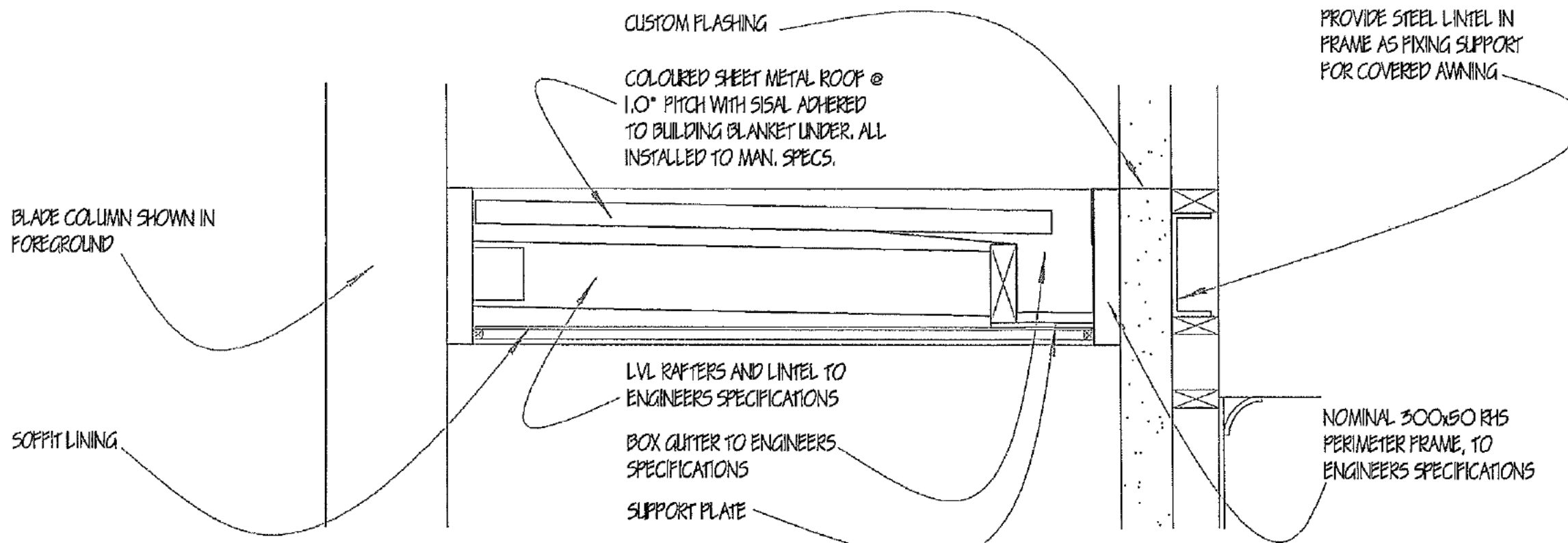
ALL CONCRETE SLABS AND  
 FOOTINGS SHALL BE DETERMINED  
 BY SITE CLASSIFICATION AND  
 THE BCA.

\* PROVIDE TERMITE  
 PROTECTION IN ACCORDANCE  
 WITH THE CURRENT VERSION OF  
 THE BCA





PORCH AWNING PLAN DETAIL SCALE - 1: 20



PORCH AWNING SECTION DETAIL SCALE - 1: 10

NOTES:  
MEASUREMENTS SHOWN WITHOUT TOLERANCES. BUILDER/ MANUFACTURER MUST MEASURE ON SITE AND ALLOW SUITABLE TOLERANCES FOR AWNING TO FIT, PRIOR TO FABRICATION

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PROPOSED RESIDENCE ON  
block : 6 section : 80  
suburb : CRACE

FOR Sch 2 2.2(a)(ii)

SHEET TITLE			SCALE
DETAILS			AS SHOWN
PROJECT CODE	SHEET No	DATE	DRAWN
DPC0518	1 OF 2	27/08/12	M.P

AREAS m <sup>2</sup>	
LIVING UPPER :	PATIO :
LIVING LOWER :	PORCH :
GARAGE :	PERGOLA :
VERANDAH :	DECK :
ALFRESCO :	BALCONY :
PORTICO :	TOTAL AREA :

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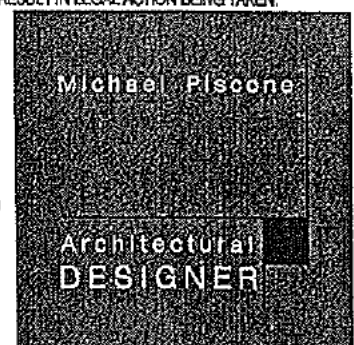
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NGW 2619

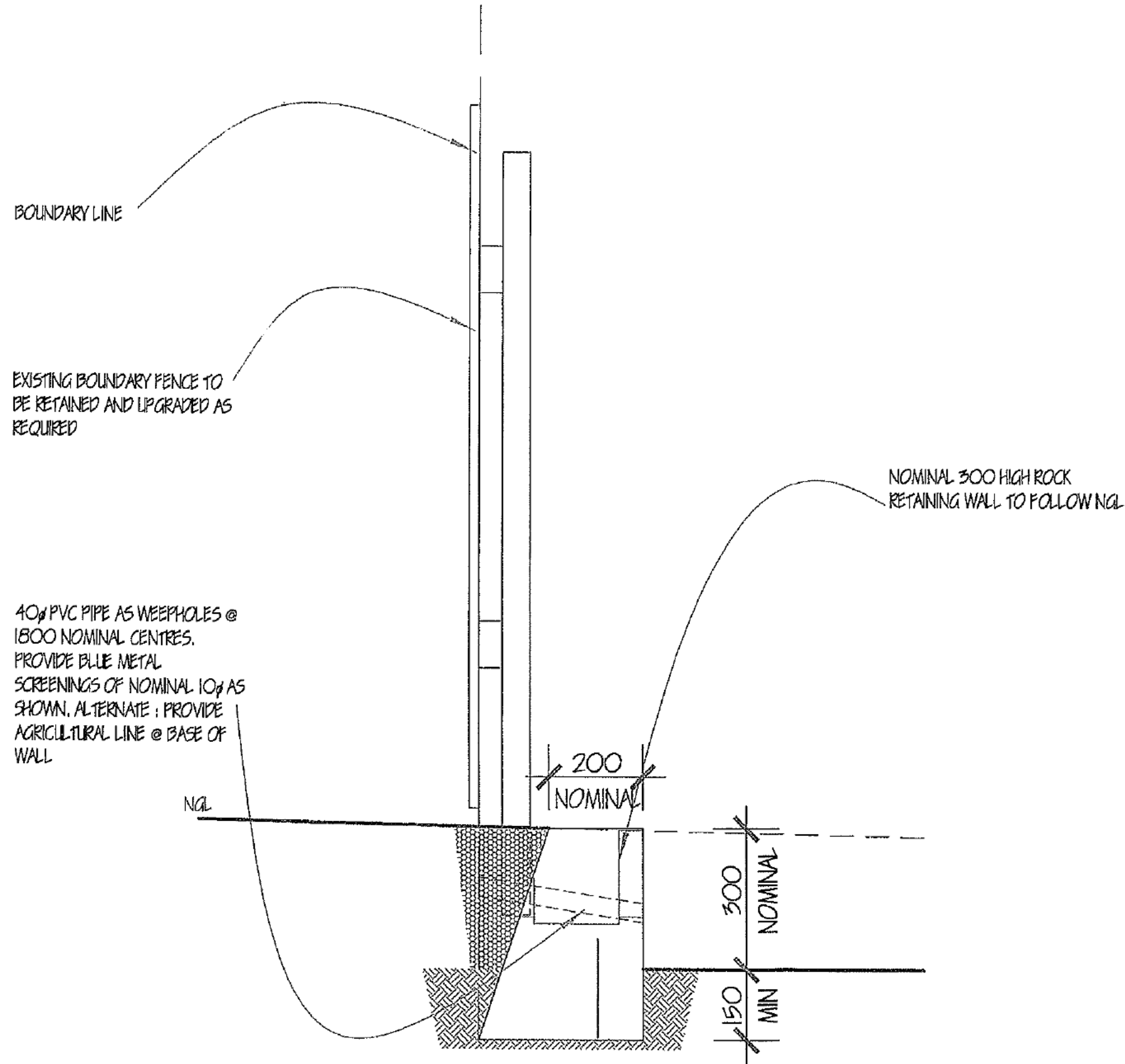
michaelpdesigner@hotmail.com

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M : 0410 626 578

ABN 38 265 442 310







RETAINING WALL DETAIL

NOTES:  
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 ROCK RETAINING WALL TO BE VERIFIED BY ENGINEER

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PROPOSED RESIDENCE ON  
 block : 6 section : 80  
 suburb : CRACE

FOR  
**Sch 2 2.2(a)(ii)**

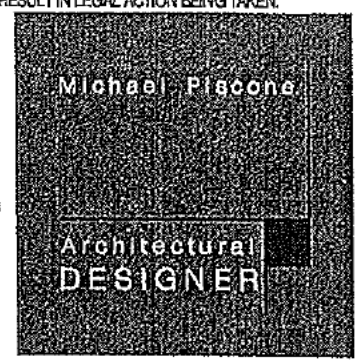
SHEET TITLE			SCALE
DETAILS			1 : 10

PROJECT CODE	SHEET No	DATE	DRAWN
DPC0518	2 OF 2	27/08/12	M.P

AREAS m <sup>2</sup>	
LIVING UPPER :	PATIO :
LIVING LOWER :	PORCH :
GARAGE :	PERGOLA :
VERANDAH :	DECK :
ALFRESCO :	BALCONY :
PORTICO :	TOTAL AREA :

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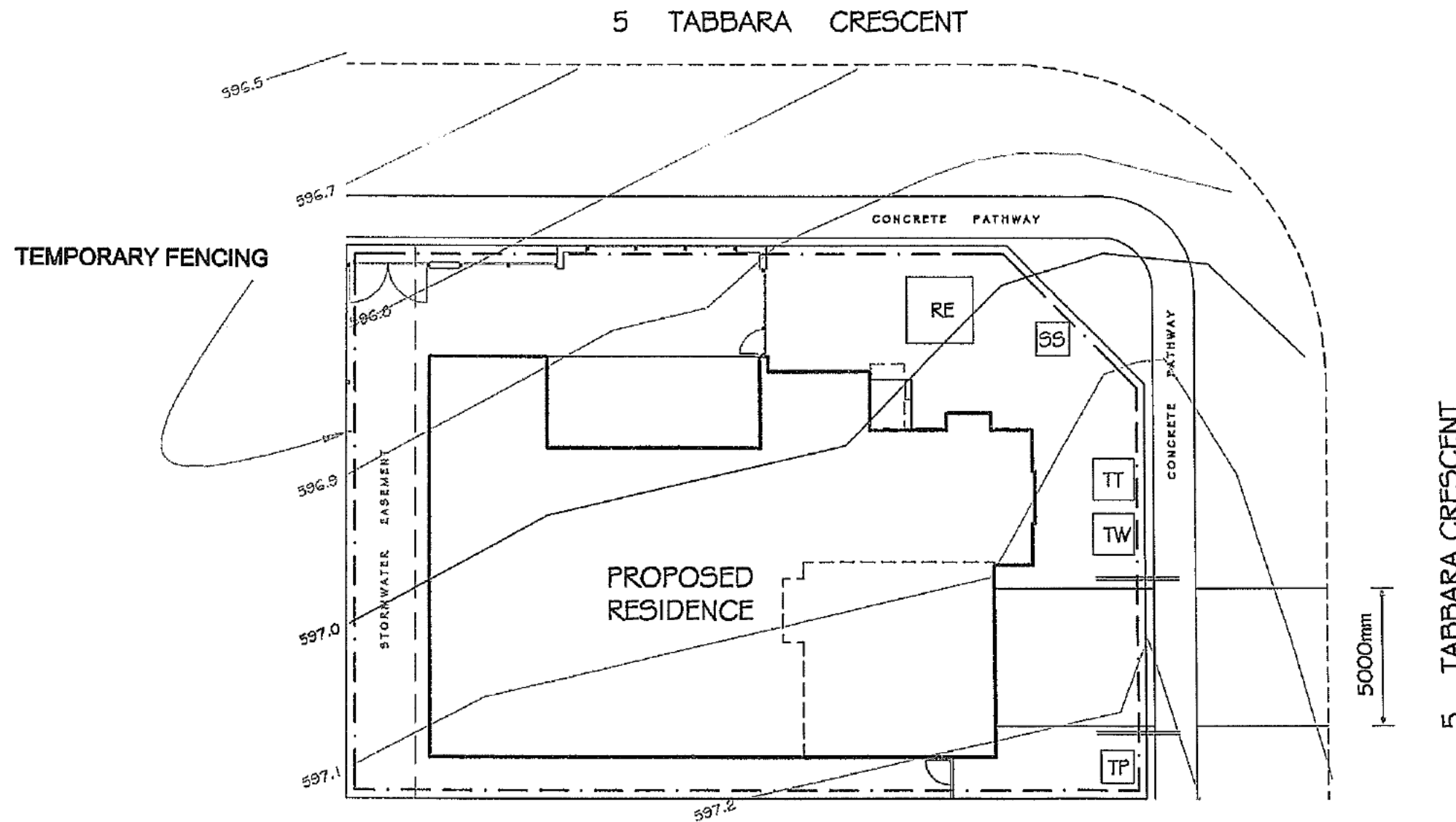
**NOTES:**

DESIGNER ACCEPTS NO RESPONSIBILITY FOR BUILDER/  
CONTRACTORS AND OR ANY OTHER PERSON(S) SAFETY.  
ANY PERSON(S) WHO ENTRIES CONSTRUCTION SITE, DOES  
SO AT OWN RISK.

**LEGEND :**

- RE - RUBBISH ENCLOSURE
- SS - SITE SIGN
- TP - TEMPORARY POWER
- TT - TEMPORARY TOILET
- TW - TEMPORARY WATER

**SITE MANAGER :**



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**PROPOSED RESIDENCE ON**  
 block : **6** section : **80**  
 suburb : **CRACE**  
 FOR  
**Sch 2 2.2(a)(ii)**

SHEET TITLE: **SITE SAFETY PLAN** SCALE: **1 : 200**

PROJECT CODE	SHEET No	DATE	DRAWN
DPC0518	1 OF 1	27/08/12	M.P

AREAS m <sup>2</sup>	
LIVING UPPER :	PATIO :
LIVING LOWER :	PORCH :
GARAGE :	PERGOLA :
VERANDAH :	DECK :
ALFRESCO :	BALCONY :
PORTICO :	TOTAL AREA :

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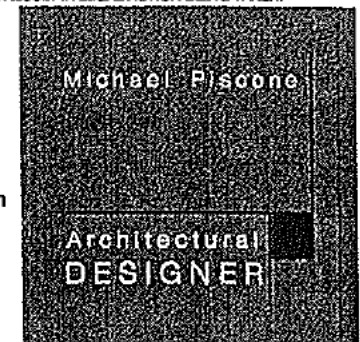
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ABN 38 285 442 310



**THIS DRAWING NOT FOR APPROVAL, BUILDERS REFERENCE ONLY**



**DA-EXEMPT BUILDING WORK**  
Complies with Section 1A.10 & 1A.11  
of Schedule 1A of the Planning and  
Development Regulation 2008  
(Vertical & Horizontal Tolerances)

**ACT Metropolitan Building Certifiers P/L**

**Amended Approval:** Amendment to Building Approval, or  
part thereof, issued under Section 32 of the Building Act 2004.

Class of Occupancy: 1a(i)+10a Type of Construction: .....

Project No: 13/0019 Licence No: 200428123

Signature: [Signature] 22/5/13

This Set of Plans Contains 2 Sheets, No 1 to 2

This approval expires on .....

Approved in respect of the nominated amendments:

1. Setback Revised to Reflect the Survey

FRONT LANDSCAPE TO  
COMPLY WITH 'TYPICAL PLAN  
FOR FRONT GARDEN OF  
CORNER BLOCK: OPTION 1'  
AS PREPARED BY PETER  
HUDSON - PANGEA DESIGNS.

A MINIMUM OF 50% OF THE  
POS TO BE RETAINED AS  
PLANTING AREA.

**NOTES:**  
**RZ1 - SUBURBAN ZONE**

SINGLE DWELLING HOUSING DEVELOPMENT CODE  
DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS WILL TAKE PRECEDENCE.  
WORKING DRAWINGS MUST BE READ IN CONJUNCTION WITH ENGINEERS AND  
SURVEY DETAILS AND ANY OTHER RELEVANT DRAWINGS. ANY DISCREPANCIES  
SHALL BE RESOLVED BEFORE THE ORDERING AND/OR PLACING OF ANY  
MATERIALS. DESIGNER ACCEPTS NO RESPONSIBILITY FOR MISINTERPRETED  
DRAWINGS AND/OR CONSTRUCTION ERRORS.

FINISHED FLOOR LEVELS AND CONTOURS ARE BASED ON DEVELOPERS  
CONTOUR INFORMATION ONLY. DESIGNER ACCEPTS NO RESPONSIBILITY IF  
DEVELOPERS CONTOURS DO NOT MATCH SURVEYED CONTOURS BY  
REGISTERED SURVEYOR.

THE DEVELOPMENT WILL COMPLY WITH THE ACT ENVIRONMENT PROTECTION  
AUTHORITY, ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND  
LAND DEVELOPMENT IN THE ACT, AUGUST 2007.

ALL NOMINATED LEVELS SHALL HAVE A TOLERANCE OF +/- 150mm

STORMWATER PUMPS TO BE LOCATED ON SITE

OPEN SPACE:	FLOR RATIO
REQUIRED:	MAXIMUM GROSS BUILDING AREA:
60% OF 568m <sup>2</sup> = 340.8m <sup>2</sup>	50% OF 568m <sup>2</sup> = 284m <sup>2</sup>
ACHIEVED:	ACHIEVED:
568m <sup>2</sup> - 268.5m <sup>2</sup> = 299.5m <sup>2</sup> ✓	268.5m <sup>2</sup> + 568m <sup>2</sup> = 473% ✓

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ACT 2609

**PROPOSED RESIDENCE ON**  
block : **6** section : **80**  
suburb : **CRACE**

FOR  
**Sch 2 2.2(a)(ii)**

SHEET TITLE: **SITE PLAN** SCALE: **1:200**

PROJECT CODE	SHEET No	DATE	DRAWN
DPC0518	3 OF 8	27/08/12	M.P

AREAS m <sup>2</sup>	
LIVING UPPER:	PATIO :
LIVING LOWER:	PORCH :
GARAGE :	PERGOLA :
VERANDAH :	DECK :
ALFRESCO :	BALCONY :
PORTICO :	TOTAL AREA :

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ABN 38 265 442 810

Michael Piscone  
Architectural  
DESIGNER

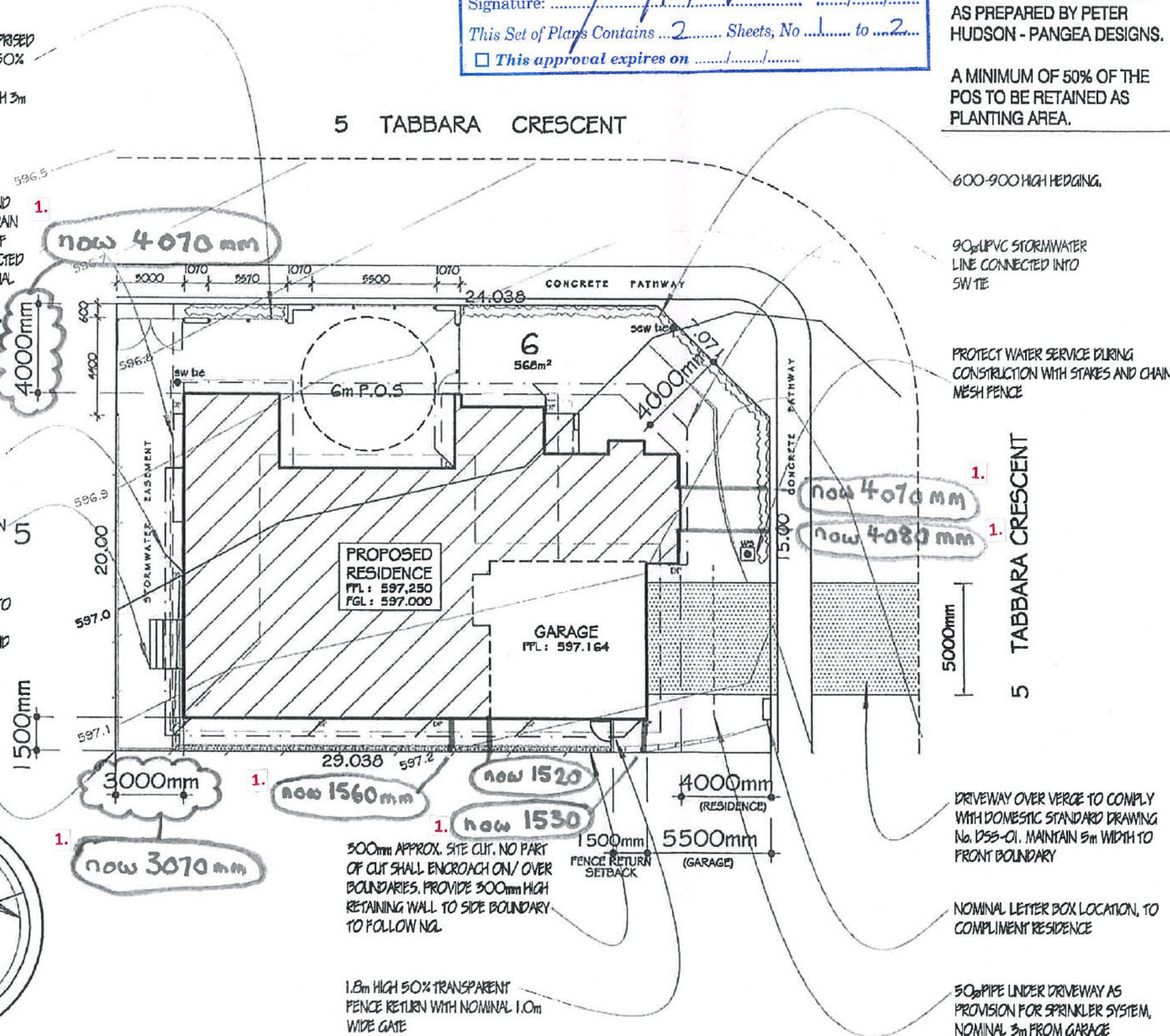
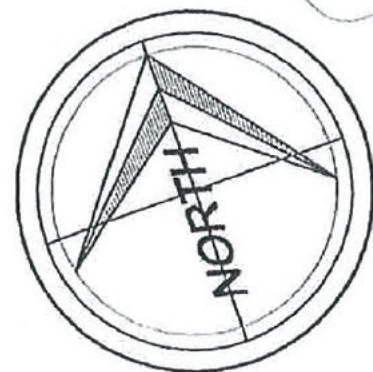
1500H COURTYARD FENCE COMPRISED  
OF RENDERED BRICKWORK AND 50%  
TRANSPARENT HORIZONTAL  
PRE-FINISHED METAL INFILLS WITH 3m  
WIDE GATES

MINIMUM 4000L ABOVE GROUND  
RAINWATER TANK, TO COLLECT RAIN  
RUNOFF FROM AT LEAST 100m<sup>2</sup> OF  
ROOF AREA. TANK TO BE CONNECTED  
TO TOILET, LAUNDRY AND EXTERNAL  
TAPS. TANK INSTALLED TO  
MANUFACTURERS SPECIFICATIONS.

90UPVC STORMWATER  
LINES CONNECTED INTO  
ABOVEGROUND RAINWATER TANK

NOMINAL CLOTHESLINE LOCATION

1.8m HIGH TIMBER PALING FENCE TO  
SIDE BOUNDARIES. FENCE MUST  
CONNECT INTO FENCE RETURN AND  
INTO COURTYARD FENCE










# WAFFLE SLAB PLAN

## "M" CLASS

### LEGEND

-  1 STANDARD 1090X1090 POD
-  3N12 OR 3L11TM, 2000mm LONG, TIED TO UNDERSIDE OF SLAB MESH
-  Ø300mm CONCRETE PIERS TO MIN 500mm INTO NATURAL GROUND
-  Ø300mm CONCRETE PIERS TO INVERT LEVEL OF PIPE OR TO ROCK, MIN 1300mm INTO NAURAL GROUND
-  DENOTES STARTING POINT FOR POD LAYOUT.

### NOTES

- ALL WORK CARRIED OUT, AND MATERIALS USED IN RELATION TO THIS WAFFLE SLAB DESIGN IS TO BE IN ACCORDANCE WITH CURRENT AUSTRALIAN STANDARDS.
- ALL VEGETATION AND TOP SOIL IS TO BE REMOVED WITHIN BUILDING ENVELOPE. BEARING STRATA TO BE UNIFORM THROUGHOUT BUILDING PLATFORM AND IS TO BE ROLLED AND PREPARED IN ACCORDANCE WITH A.S 3798.
- ALL FOOTINGS ARE TO BE FOUNDED ON NATURAL GROUND AND ALL BRICK WORK & DRAINAGE IS TO BE ARTICULATED TO COMPLY WITH THE CURRENT B.C.A.
- BUILDER IS TO ISSUE CSIRO REPORT TO HOME OWNER GUIDE TO HOMEOWNERS ON FOUNDATION MAINTENANCE AND FOOTING PERFORMANCE.

**NOTE: THE LONG TERM SITE MANAGEMENT & MAINTENANCE OF THIS PROPERTY MUST BE IN ACCORDANCE WITH APPENDIX B OF AS2870-2011. THIS MAINTENANCE IS THE RESPONSIBILITY OF THE HOME OWNER (REFER TO CSIRO BROCHURE - FOUNDATION MAINTENANCE & FOOTING PERFORMANCE: A HOMEOWNERS GUIDE)**

**NOTE: BUILDER TO CONFIRM SEWER DOES NOT AFFECT DWELLING BEFORE COMMENCING WORK ONSITE. CONTACT THIS OFFICE IF OTHERWISE**

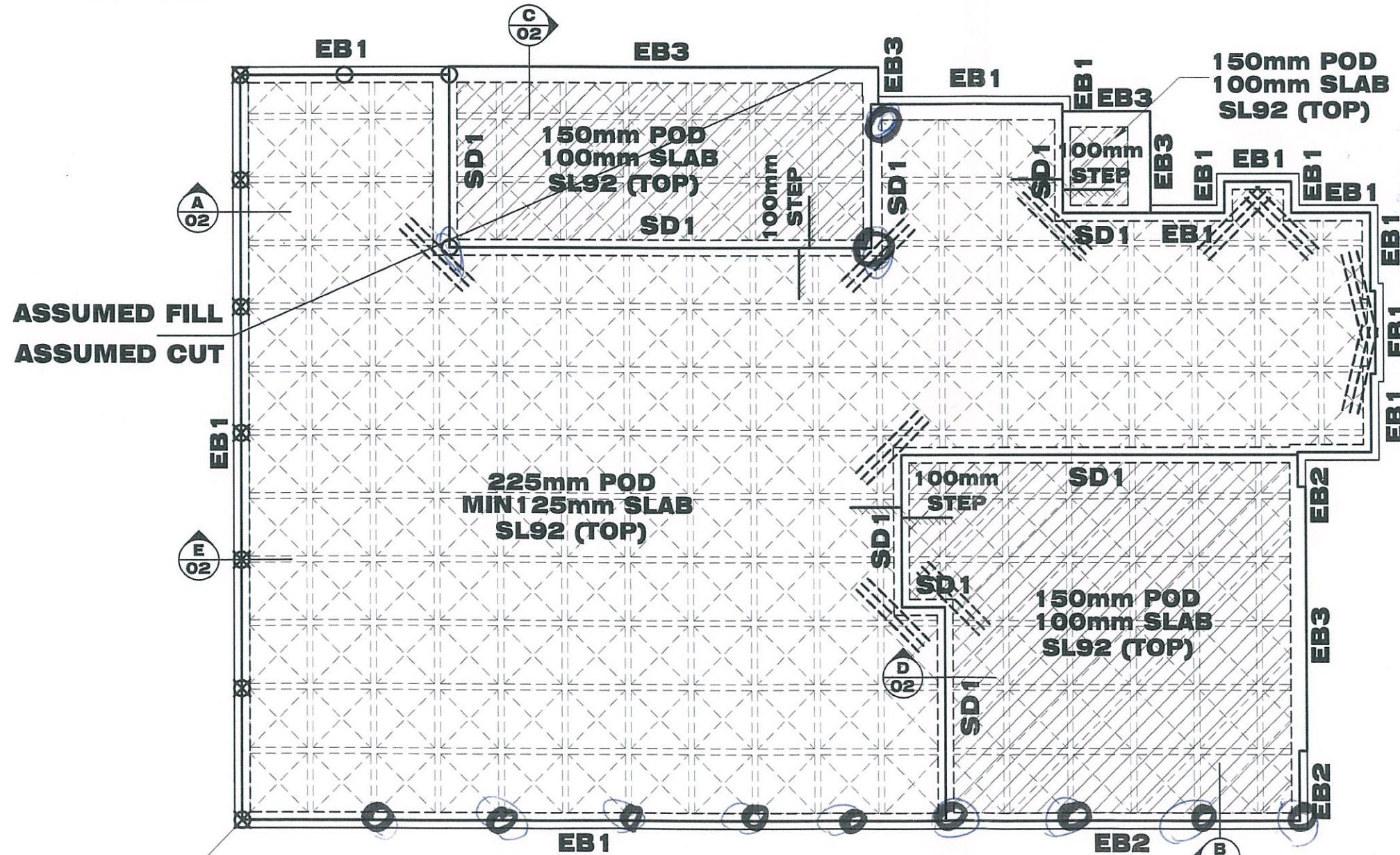
**NOTE: BUILDER TO CONFIRM EASEMENT DOES NOT AFFECT DWELLING BEFORE COMMENCING WORK ONSITE. CONTACT THIS OFFICE IF OTHERWISE**

### STEELWORK NOTES

- ALL STRUCTURAL STEELWORK IS TO BE IN ACCORDANCE WITH THE CURRENT A.S. CODES.
- ALL CIRCULAR PIPES, SQUARE HOLLOW SECTIONS, RECTANGULAR HOLLOW SECTIONS TO BE GRADE 350.
- ALL REMAINING STRUCTURAL STEEL TO BE GRADE 300 EXCEPT PLATES TO BE GRADE 250 U.N.C.
- ALL WELDS (UNLESS OTHERWISE NOTED) TO BE 6MM CONTINUOUS FILLET.
- ALL BUTT WELDS TO BE FULL SIZE OF CONNECTING PARTS.
- ALL STRUCTURAL STEELWORK IS TO BE GIVEN ONE COAT OF ZINC CHROMATE PRIMER BEFORE LEAVING THE WORKSHOP. (IF NOT CONCRETE ENCASED).
- REMOVE ALL MILL SCALE, RUST AND GREASE BEFORE PAINTING.
- ALL CONCRETE ENCASED STEELWORK IS TO BE WRAPPED WITH 3.2MM GAUGE WIRE AT 100MM CENTRES OR EQUIVALENT AND IS TO HAVE A MIN. 50MM COVER ALL AROUND.
- CEMENT WASH ALL CONCRETE ENCASED STEELWORK.
- WHERE BRICK WALLS ABUT OR PASS STANCHIONS WELD OR POWER FASTEN BRICK TIES TO STANCHIONS EVERY 6 BRICK COARSE.

### CONCRETE NOTES

- TYPE A CEMENT TO BE USED IN ALL CONCRETE.
- ALL CONCRETE WORK TO BE IN ACCORDANCE WITH THE CURRENT A.S. CODES.
- CONCRETE FC TO BE 20 MPa FOR PIERS, STRIP FOOTINGS AND SLABS ON GROUND, 25MPa FOR REMAINDER U.N.C.
- CONCRETE FILLING TO WALLS TO BE 20MPa WITH 10MM AGGREGATE AND 80MM SLUMP.
- 'R' REFERS TO PLAIN ROUND STRUCTURAL GRADE BARS WITH FSY = 230MPa.
- 'N' REFERS TO 500PLUS GRADE REINFORCING BARS WITH FSY = 500MPa.
- 'FABRIC' REFERS TO ONEMESH HIGH TENSILE WELDED WIRE MESH WITH FSY = 500MPa.
- LAP ALL FABRIC TO MANUFACTURERS SPECIFICATIONS. STAGGER LAPS IN FABRIC TO PREVENT FOUR THICKNESS OF FABRIC OCCURING IN EITHER TOP OR BOTTOM REINFORCEMENT.
- CONCRETE COVER TO MAIN REINFORCEMENT TO BE: STRIP FOOTINGS AND FOOTING BEAMS; BTM-65MM TOP AND SIDES-50MM, COLUMNS; ALL AROUND 50MM. CONCRETE BEAMS; ALL ROUND 40MM
- SLABS ON COMPACTED FILL: TOP-25MM.
- ALL INTERNAL SUSPENDED SLABS AND STAIRS; TOP AND BOTTOM - 20MM (EXPOSURE CLASSIFICATION A1).
- ALL EXTERNAL SUSPENDED SLABS AND STAIRS; TOP AND BOTTOM - 30MM (EXPOSURE CLASSIFICATION A2).
- SLAB THICKNESS DOES NOT INCLUDE FLOOR FINISH.
- ALL CONCRETE TO BE PLACED USING VIBRATORS.
- BRICKWORK SUPPORTING SLABS TO HAVE A DAMP PROOF MEMBRANE BETWEEN THE BRICKWORK AND THE CONCRETE.
- WHERE CONCRETE SLABS ABUT BRICK WALLS PLACE 10MM BITUMINOUS CEMENT BETWEEN THE TWO SURFACES. 40MM MAX COMPACTED FILL UNDER SLABS. TO AS.2870 WHERE FILL EXCEEDS 40MM IN DEPTH SEEK ENGINEERING ADVICE FOR PIERS AND SLAB REINFORCEMENT DETAILS.



## FOOTING & SLAB LAYOUT

SCALE = 1 : 100

**NOTE: PLEASE SEE S02 FOR FOOTING DETAILS**

**Ken Hungerford Lic. No: 200428123**  
 Amended Approval issued under section 32 of the Building Act 2004  
 This sheet 2 of 2 dated 22 MAY 2013  
 numbered 2

*Additional piers required due to drainage.*  
 18-3-13

ISSUE DESCRIPTION DATE CHECKED

**PIERRE DRAGH CONSULTING ENGINEERS**  
 email : pdragh@gmail.com  
 PO BOX 336 HALL ACT 2618 Ph: 0438 625 440

CLIENT  
**TODAY'S HOMES**

PROJECT  
**PROPOSED RESIDENCE BLOCK 6 SECTION 80 CRACE**

TITLE  
**FOOTING & SLAB LAYOUT**

DESIGNED BY KZ  
 DRAWN BY MZA  
 AUTHORISED

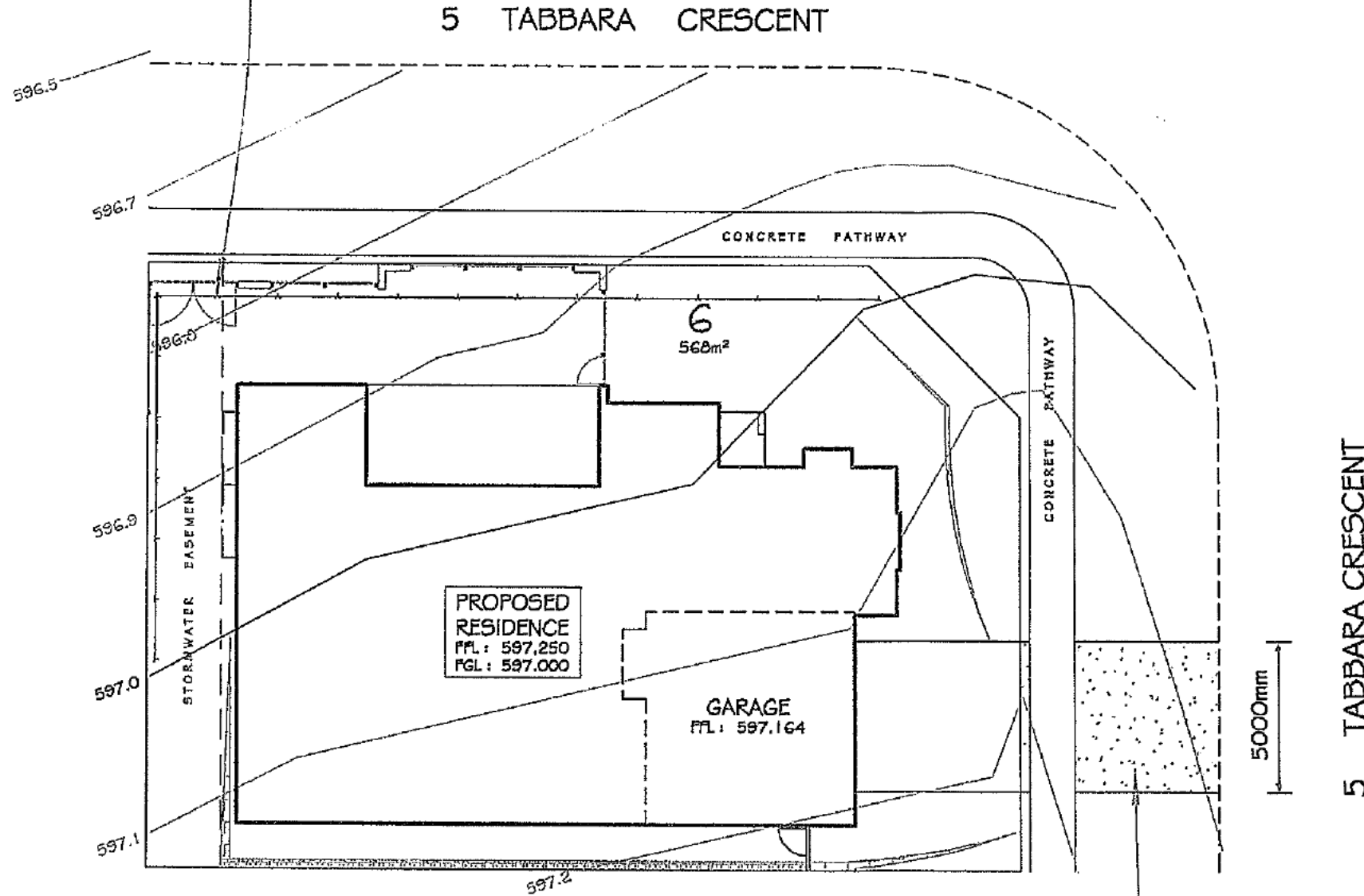
SCALE  
**AS SHOWN @ A3**  
 JOB NO.

DRAWING NO.  
**S01 OF 03**

04-02-2013



TO PREVENT TRANSFER OF SEDIMENT TO VERGE / ROADWAY AND ADJOINING PROPERTY(S), PROVIDE TEMPORARY SEDIMENT CONTROL GEOTEXTILE FENCE, FIXED TO STAK PICKETS AT MAXIMUM 2m CENTRES AND 600 DEEP.



5000mm

5 TABBARA CRESCENT

**NOTES:**  
 SEDIMENT CONTROLS MUST BE IN PLACE PRIOR TO COMMENCEMENT OF ANY BUILDING WORKS AND CHECKED DAILY.  
 SEDIMENT CONTROLS MUST BE RETAINED UNTIL REVEGETATION IS FULLY ESTABLISHED AFTER BUILDING HAS BEEN COMPLETED

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 todayshomes.com.au

HIA HOME IDEAS CENTRE  
 Suits 1 & 3 28 Collic street Fyshwick ACT 2609  
 P : (02) 6228 3234 F : (02) 6280 8108

**PROPOSED RESIDENCE ON**  
 block : **6** section : **80**  
 suburb : **CRACE**  
 FOR **Sch 2 2.2(a)(ii)**

SHEET TITLE: **EROSION SEDIMENT CONTROL PLAN** SCALE: **1 : 200**

PROJECT CODE	SHEET No	DATE	DRAWN
DPC0518	1 OF 8	27/08/12	M.P

AREAS m²	
LIVING UPPER :	PATIO :
LIVING LOWER :	PORCH :
GARAGE :	PERGOLA :
VERANDAH :	DECK :
ALFRESCO :	BALCONY :
PORTICO :	TOTAL AREA :

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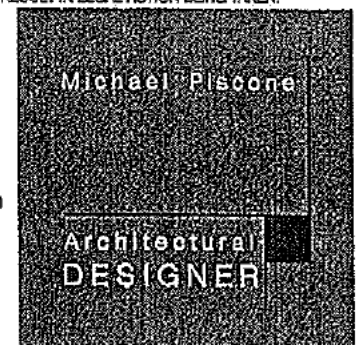
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 Fyshwick ACT 2609

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 NSW 2618

michaelpdesigner@hotmail.com

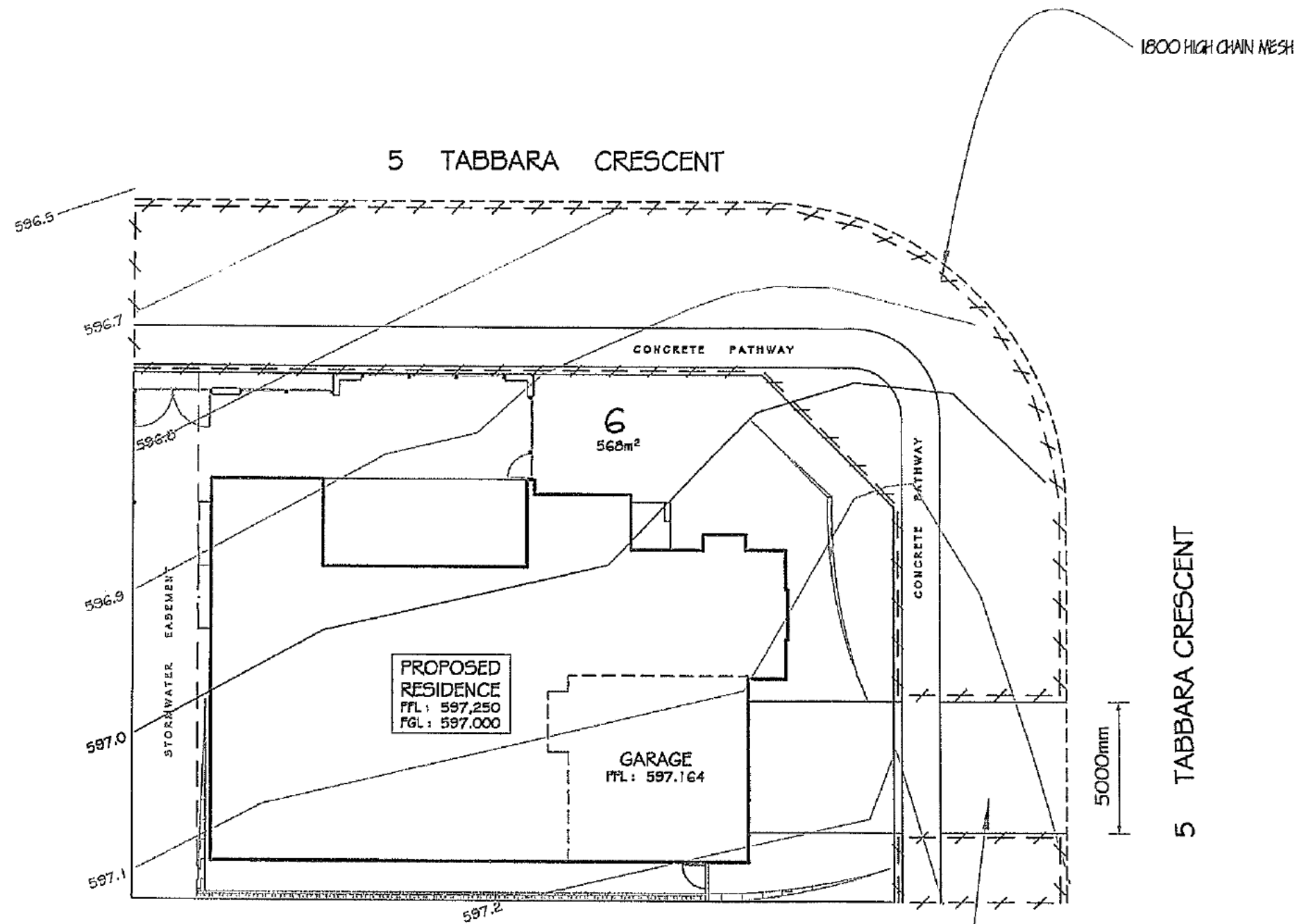
P : 02 6228 3218  
 M : 0410 528 575

ABN 36 265 442 610



PROPOSED DRIVEWAY ENTRY OVER VERGE AS STABILISED ACCESS POINT / CROSSOVER. TO PREVENT TRANSFER OF SOIL TO ROADWAY. PROVIDE RECYCLED CRUSHED CONCRETE TO DEPTH OF 150-200mm WITH AN UNDERLAY OF HEAVY DUTY GEOTEXTILE FABRIC.





**NOTES:**

- VERGE MANAGEMENT GUIDELINES:**
- INSTALL 1800mm HIGH CONTINUOUS CHAIN MESH FENCE SUPPORTED BY 2400mm HIGH STAR METAL POSTS AROUND VERGES AND EXISTING VEGETATION TO BE RETAINED WITHIN THE BLOCK AS SHOWN
  - FENCING TO BE ERRECTED ON COMMENCEMENT OF SITE WORK AND REMOVED UPON COMPLETION OF CONSTRUCTION AND COMMENCEMENT OF VERGE RESTORATION
  - ENSURE ADEQUATE WATER IS APPLIED TO THE ROOT ZONE OF RETAINED VEGETATION THROUGHOUT THE CONSTRUCTION PERIOD
  - ALL WORK IS TO BE IN ACCORDANCE WITH THE "CANBERRA LANDSCAPE AND THE BASIC SPECIFICATION FOR ROADS HYDRAULICS AND LANDSCAPE, JULY 1991"
  - MAKE GOOD ANY DAMAGE TO EXISTING GRASS VERGES. REINSTATE AS PER THE BASIC SPECIFICATION
  - BUILDER MUST ENSURE THAT ANY DISTURBANCES TO THE VERGE GROUND COVER, TREES, PATHS, KERBS, ROADWAYS OR SERVICES OCCURRING FROM EITHER CONSTRUCTION WORKS OR STORAGE OF MACHINERY/ MATERIALS DURING THE CONSTRUCTION WORKS ARE RECTIFIED TO THE SATISFACTION OF RELEVANT AUTHORITIES
  - UPON COMPLETION OF CONSTRUCTION, VERGES SHOULD STILL HAVE ESTABLISHED PERM AND GRASS COVER. TOPSOIL IS NOT TO BE REMOVED AND LEVELS NOT TO BE CHANGED
  - NO CARPARKING OR EQUIPMENT PARKING PERMITTED ON VERGES
  - NO STORAGE SHEDS, AWNINGS OR BILLBOARDS TO BE ERRECTED ON VERGES
  - NO CONSTRUCTION MATERIAL TO BE STORED ON VERGES OR UNDER DRAPELINE OF RETAINED TREES

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 P: (02) 6228 3234 F: (02) 6280 8108

**PROPOSED RESIDENCE ON**  
 block : 6 section : 80  
 suburb : CRACE

FOR  
**Sch 2 2.2(a)(ii)**

SHEET TITLE <b>VERGE MANAGEMENT PLAN</b>			SCALE <b>1 : 200</b>
PROJECT CODE <b>DPC0518</b>	SHEET No <b>2 OF 8</b>	DATE <b>27/08/12</b>	DRAWN <b>M.P</b>

AREAS m <sup>2</sup>	
LIVING UPPER :	PATIO :
LIVING LOWER :	PORCH :
GARAGE :	PERGOLA :
VERANDAH :	DECK :
ALFRESCO :	BALCONY :
PORTICO :	TOTAL AREA :

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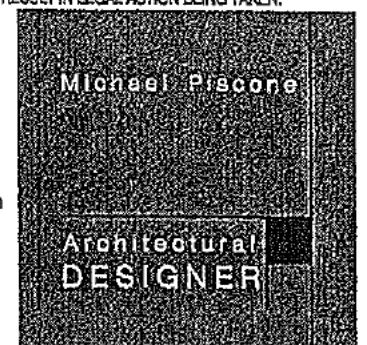
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 Fyshwick ACT 2609

PO Box 232 Jerrabomberra  
 NSW 2619

michaeldesigner@hotmail.com

P : 02 6228 3218  
 M : 0410 626 578

ABN 38 265 442 310





7.5 STARS

*Dwylls*  
**DENIS WYLKS**  
 ACCREDITED ASSESSOR 2011456  
 A.C.T.  
 ABN 84 087 564 458

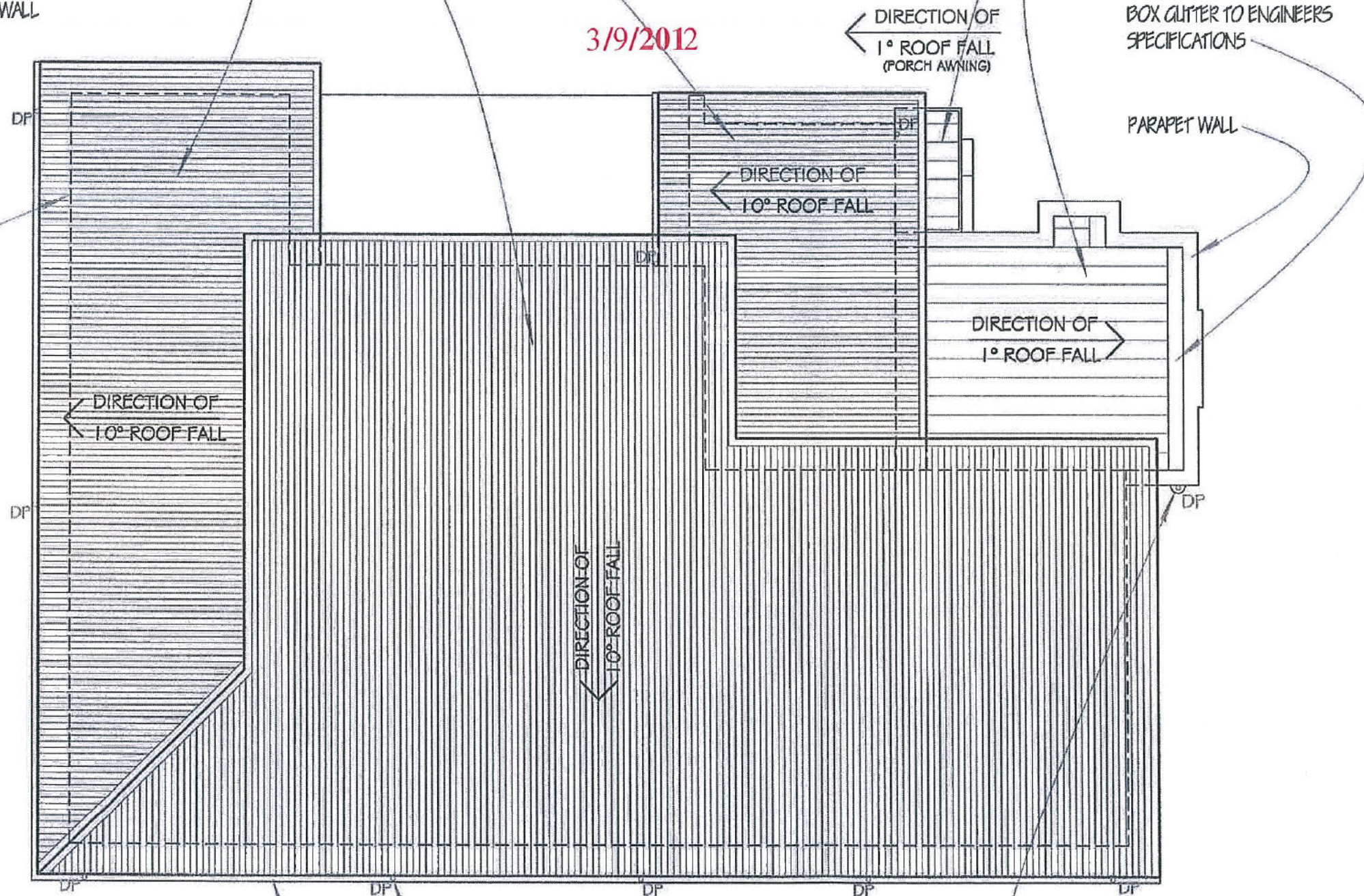
3/9/2012

COLOURED SHEET METAL ROOF @ 10.0° PITCH WITH SISAL ADHERED TO BUILDING BLANKET UNDER. ALL INSTALLED TO MANUFACTURERS SPECIFICATIONS

OUTLINE OF EXTERNAL WALL UNDER

COLOURED SHEET METAL ROOF @ 1.0° PITCH WITH SISAL ADHERED TO BUILDING BLANKET UNDER. ALL INSTALLED TO MANUFACTURERS SPECIFICATIONS

BOX GUTTER TO ENGINEERS SPECIFICATIONS



NOTES:  
 ALL DOWNPIPES (INCLUDING No. OF) AND GUTTER / VALLEY SIZES MUST BE DETERMINED / CONFIRMED BY ENGINEER. ENGINEER MUST ALSO DETERMINE IF ANY ADDITIONAL DOWNPIPES REQUIRE RAINWATER HEADS AND SIZE OF.  
 PROVIDE WHIRLY BIRDS TO ROOF, INSTALLED TO MANUFACTURERS SPECIFICATIONS. No. AS REQUIRED

**Ken Hungerford** Lic. No: 200428123  
 Building Approval issued under section 28 of the Building Act 2004  
 This sheet **31 JAN 2013** numbered **4** of **11**  
*Ken Hungerford*

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 P: (02) 6228 3234 F: (02) 6260 8108

PROPOSED RESIDENCE ON  
 block : **6** section : **80**  
 suburb : **CRACE**

FOR  
**Sch 2 2.2(a)(ii)**

SHEET TITLE <b>ROOF PLAN</b>			SCALE <b>1 : 100</b>
PROJECT CODE <b>DPC0518</b>	SHEET No <b>5 OF 8</b>	DATE <b>27/08/12</b>	DRAWN <b>M.P</b>

AREAS m <sup>2</sup>	
LIVING UPPER :	PATIO :
LIVING LOWER :	PORCH :
GARAGE :	PERGOLA :
VERANDAH :	DECK :
ALFRESCO :	BALCONY :
PORTICO :	TOTAL AREA :

ROUND DOWNPIPE SIZE AND No. OF, MUST BE IN ACCORDANCE WITH THE CURRENT VERSION OF THE BCA

GUTTER SIZES MUST BE IN ACCORDANCE WITH THE CURRENT VERSION OF THE BCA

FEATURE RAINWATER HEAD TO DOWNPIPE, ALL TO ENGINEERS SPECIFICATIONS

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**Michael Piscone**  
 Architectural  
 DESIGNER



# WAFFLE SLAB PLAN

## "M" CLASS

### LEGEND

-  1 STANDARD 1090X1090 POD
-  3N12 OR 3L11TM, 2000mm LONG, TIED TO UNDERSIDE OF SLAB MESH
-  Ø300mm CONCRETE PIERS TO MIN 500mm INTO NATURAL GROUND
-  Ø300mm CONCRETE PIERS TO INVERT LEVEL OF PIPE OR TO ROCK, MIN 1300mm INTO NAURAL GROUND
-  DENOTES STARTING POINT FOR POD LAYOUT.

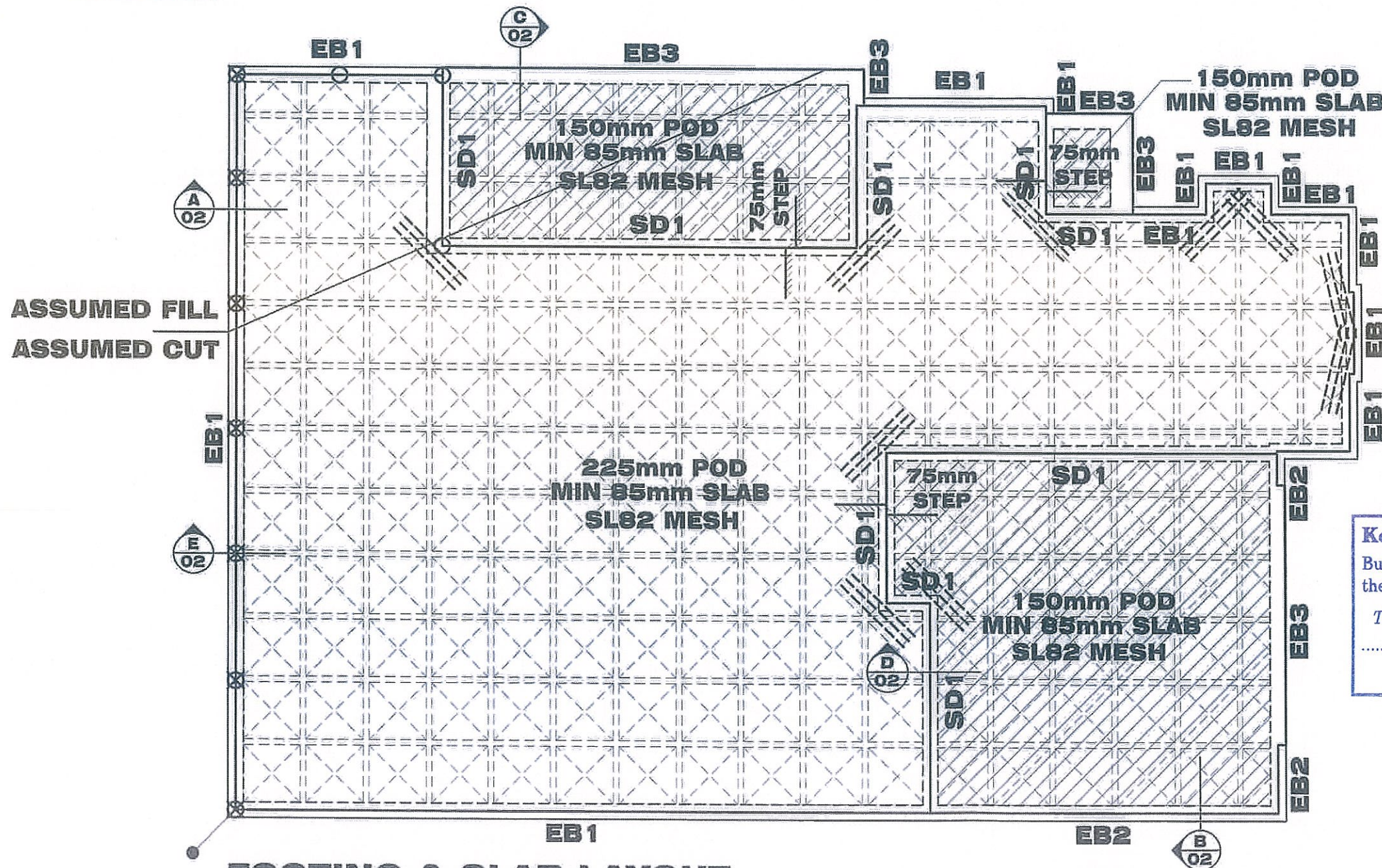
### NOTES

- ALL WORK CARRIED OUT, AND MATERIALS USED IN RELATION TO THIS WAFFLE SLAB DESIGN IS TO BE IN ACCORDANCE WITH CURRENT AUSTRALIAN STANDARDS.
- ALL VEGETATION AND TOP SOIL IS TO BE REMOVED WITHIN BUILDING ENVELOPE. BEARING STRATA TO BE UNIFORM THROUGHOUT BUILDING PLATFORM AND IS TO BE ROLLED AND PREPARED IN ACCORDANCE WITH A.S 3798.
- ALL FOOTINGS ARE TO BE FOUNDED ON NATURAL GROUND AND ALL BRICK WORK & DRAINAGE IS TO BE ARTICULATED TO COMPLY WITH THE CURRENT B.C.A.
- BUILDER IS TO ISSUE CSIRO REPORT TO HOME OWNER GUIDE TO HOMEOWNERS ON FOUNDATION MAINTENANCE AND FOOTING PERFORMANCE.

**NOTE: THE LONG TERM SITE MANAGEMENT & MAINTENANCE OF THIS PROPERTY MUST BE IN ACCORDANCE WITH APPENDIX B OF AS2870-2011. THIS MAINTENANCE IS THE RESPONSIBILITY OF THE HOME OWNER (REFER TO CSIRO BROCHURE - FOUNDATION MAINTENANCE & FOOTING PERFORMANCE: A HOMEOWNER'S GUIDE)**

**NOTE: BUILDER TO CONFIRM SEWER DOES NOT AFFECT DWELLING BEFORE COMMENCING WORK ONSITE. CONTACT THIS OFFICE IF OTHERWISE**

**NOTE: BUILDER TO CONFIRM EASEMENT DOES NOT AFFECT DWELLING BEFORE COMMENCING WORK ONSITE. CONTACT THIS OFFICE IF OTHERWISE**



## FOOTING & SLAB LAYOUT

SCALE = 1 : 100

**NOTE: PLEASE SEE S02 FOR FOOTING DETAILS**

31 STEELWORK NOTES  
 ALL STRUCTURAL STEELWORK IS TO BE IN ACCORDANCE WITH THE CURRENT A.S. CODES.  
 ALL CIRCULAR PIPES, SQUARE HOLLOW SECTIONS, RECTANGULAR HOLLOW SECTIONS TO BE GRADE 350.  
 ALL REMAINING STRUCTURAL STEEL TO BE GRADE 300 EXCEPT PLATES TO BE GRADE 250 U.N.O.  
 ALL WELDS (UNLESS OTHERWISE NOTED) TO BE 6MM CONTINUOUS FILLET.  
 ALL BUTT WELDS TO BE FULL SIZE OF CONNECTING PARTS.  
 ALL STRUCTURAL STEELWORK IS TO BE GIVEN ONE COAT OF ZINC CHROMATE PRIMER BEFORE LEAVING THE WORKSHOP. (IF NOT CONCRETE ENCASED).  
 REMOVE ALL MILL SCALE, RUST AND GREASE BEFORE PAINTING.  
 ALL CONCRETE ENCASED STEELWORK IS TO BE WRAPPED WITH 3.2MM GAUGE WIRE AT 100MM CENTRES OR EQUIVALENT AND IS TO HAVE A MIN. 80MM COVER ALL AROUND.  
 CEMENT WASH ALL CONCRETE ENCASED STEELWORK WHERE BRICK WALLS ABUT OR PASS STANCHIONS WELD OR PAPER FASTEN BRICK TIES TO STANCHIONS EVERY 6 BRICK COARSE.  
**CONCRETE NOTES**  
 TYPE A CEMENT TO BE USED IN ALL CONCRETE.  
 ALL CONCRETE WORK TO BE IN ACCORDANCE WITH THE CURRENT A.S. CODES.  
 CONCRETE FC TO BE 20 MPa FOR PIERS, STRIP FOOTINGS AND SLABS ON GROUND, 25MPa FOR REMAINDER U.N.O.  
 CONCRETE FILLING TO WALLS TO BE 20MPa WITH 10MM AGGREGATE AND 80MM SLUMP.  
 'R' REFERS TO PLAIN ROUND STRUCTURAL GRADE BARS WITH FSY = 230MPa.  
 'N' REFERS TO 500PLUS GRADE REINFORCING BARS WITH FSY = 500MPa.  
 'FABRIC' REFERS TO ONEMESH HIGH TENSILE WELDED WIRE MESH WITH FSY = 500MPa.  
 LAP ALL FABRIC TO MANUFACTURER'S SPECIFICATIONS. STAGGER LAPS IN FABRIC TO PREVENT FOUR THICKNESS OF FABRIC OCCURRING IN EITHER TOP OR BOTTOM REINFORCEMENT.  
 CONCRETE COVER TO MAIN REINFORCEMENT TO BE: STRIP FOOTINGS AND FOOTING BEAMS; 60MM TOP AND SIDES-50MM, COLUMNS: ALL AROUND 50MM.  
 CONCRETE BEAMS: ALL ROUND 40MM SLABS ON COMPACTED FILL: TOP-25MM.  
 ALL INTERNAL SUSPENDED SLABS AND STAIRS: TOP AND BOTTOM 20MM (EXPOSURE CLASSIFICATION A1).  
 ALL EXTERNAL SUSPENDED SLABS AND STAIRS: TOP AND BOTTOM 30MM (EXPOSURE CLASSIFICATION A2).  
 SLAB THICKNESS DOES NOT INCLUDE FLOOR FINISH.  
 ALL CONCRETE TO BE PLACED USING VIBRATORS.  
 BRICKWORK SUPPORTING SLABS TO HAVE A DAMP PROOF MEMBRANE BETWEEN THE BRICKWORK AND THE CONCRETE. WHERE CONCRETE SLABS ABUT BRICK WALLS PLACE 10MM BITUMINOUS CANEITE BETWEEN THE TWO SURFACES. 40MM MAX COMPACTED FILL UNDER SLABS. TO AS.2870 WHERE FILL EXCEEDS 400MM IN DEPTH SEEK ENGINEERING ADVICE FOR PIERS AND SLAB REINFORCEMENT DETAILS.

ISSUE/DESCRIPTION DATE CHECKED

**PIERRE DRAGH CONSULTING ENGINEERS**  
 email : pdragh@gmail.com  
 PO BOX 336  
 HALL ACT 2618  
 Ph: 0438 625 440

CLIENT  
**TODAY'S HOMES**

PROJECT  
**PROPOSED RESIDENCE  
 BLOCK 6 SECTION 80  
 CRACE**

TITLE  
**FOOTING & SLAB LAYOUT**

DESIGNED BY  
 KZ  
 DRAWN BY  
 MZA  
 AUTHORISED

SCALE  
 AS SHOWN @ A3  
 JOB NO.

DRAWING NO.  
**S01 OF 03**

17-12-2012

**Ken Hungerford Lic. No: 200428128**

Building Approval issued under section 28 of the Building Act 2004

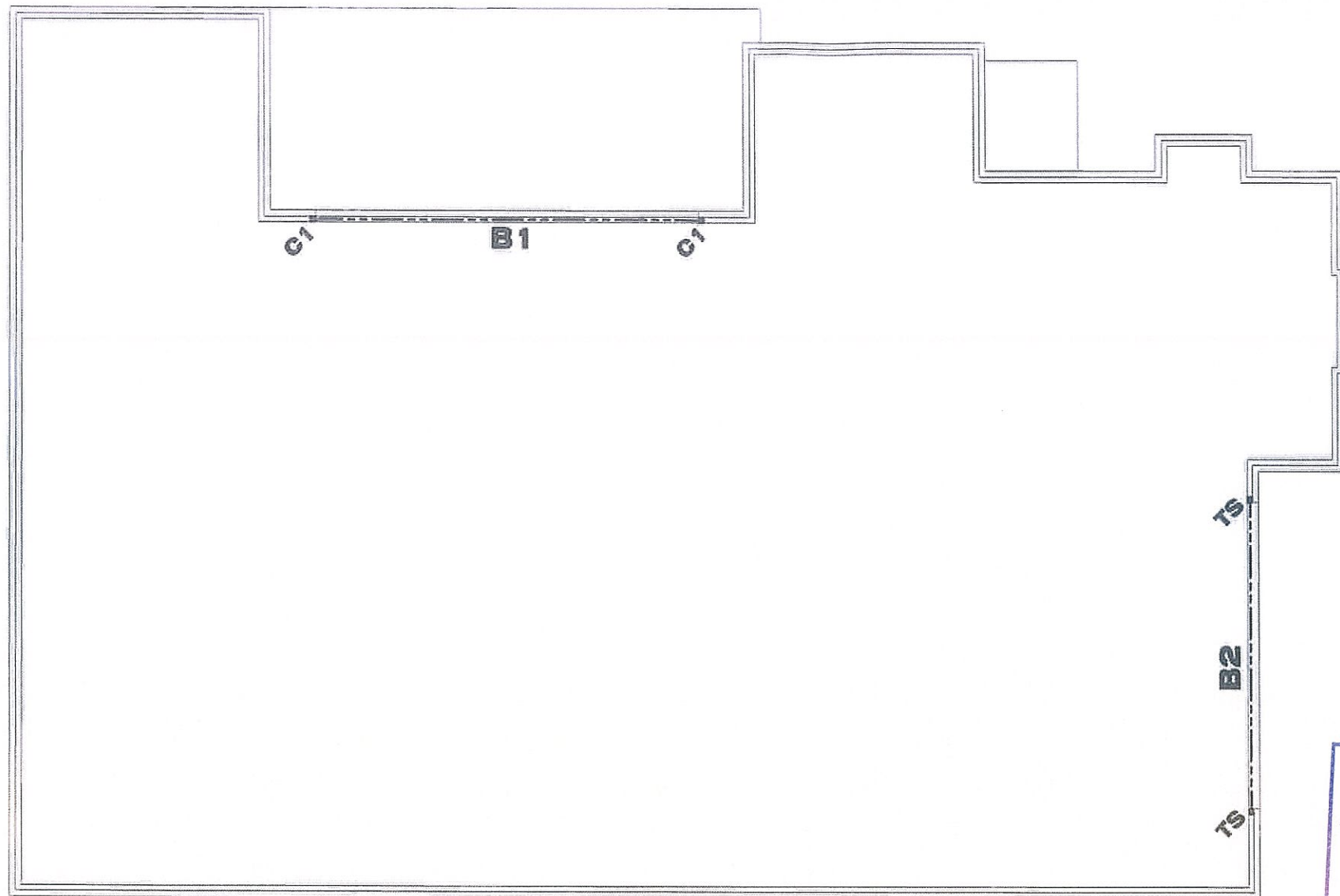
This sheet 31 JAN 2013 numbered of ...

9  
*Ken Hungerford*



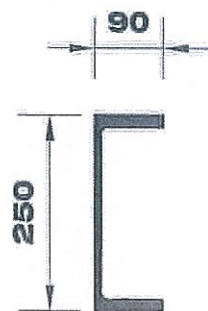






# ROOF BEAM LAYOUT

SCALE = 1 : 100



**BEAM B1**  
250 PFC  
SCALE 1:10

MEMBER SCHEDULE		
MARK	SIZE	REMARKS
B1	250 PFC ABOVE BOTH DOOR AND HIGHLIGHT WINDOW WELDED TO COLUMNS	
B2	2X300X45 LVL	-
C1	89X89X6 SHS ALL THE WAY UP, BOLTED TO TOP PLATE	
TS	3X90X45	TRIPLE STUD

**Ken Hungerford** Lic. No: 200428128  
 Building Approval issued under section 28 of the Building Act 2004  
 This sheet 31 JAN 2013 numbered of 11  
*Ken Hungerford*

ALL STRUCTURAL STEELWORK IS TO BE IN ACCORDANCE WITH THE CURRENT A.S. CODES.  
 ALL CIRCULAR PIPES, SQUARE HOLLOW SECTIONS, RECTANGULAR HOLLOW SECTIONS TO BE GRADE 350.  
 ALL REMAINING STRUCTURAL STEEL TO BE GRADE 300 EXCEPT PLATES TO BE GRADE 250 U.N.D.  
 ALL WELDS (UNLESS OTHERWISE NOTED) TO BE 6MM CONTINUOUS FILLET.  
 ALL BUTT WELDS TO BE FULL SIZE OF CONNECTING PARTS.  
 ALL STRUCTURAL STEELWORK IS TO BE GIVEN ONE COAT OF ZINC CHROMATE PRIMER BEFORE LEAVING THE WORKSHOP.  
 (IF NOT CONCRETE ENCASED).  
 REMOVE ALL MILL SCALE, RUST AND GREASE BEFORE PAINTING.  
 ALL CONCRETE ENCASED STEELWORK IS TO BE WRAPPED WITH 3.2MM GAUGE WIRE AT 100MM CENTRES OR EQUIVALENT AND IS TO HAVE A MIN. 50MM COVER ALL AROUND.  
 CEMENT WASH ALL CONCRETE ENCASED STEELWORK.  
 WHERE BRICK WALLS ABUT OR PASS STANCHIONS WELD OR POWER FASTEN BRICK TIES TO STANCHIONS EVERY 6 BRICK COARGES.

**CONCRETE NOTES**  
 TYPE A CEMENT TO BE USED IN ALL CONCRETE.  
 ALL CONCRETE WORK TO BE IN ACCORDANCE WITH THE CURRENT A.S. CODES.  
 CONCRETE FC TO BE 20 MPa FOR PIERS, STRIP FOOTINGS AND SLABS ON GROUND, 25MPa FOR REMAINDER U.N.D.  
 CONCRETE FILLING TO WALLS TO BE 20MPa WITH 10MM AGGREGATE AND 80MM SLUMP.  
 'R' REFERS TO PLAIN ROUND STRUCTURAL GRADE BARS WITH FS<sub>y</sub> = 230MPa.  
 'N' REFERS TO 500PLUS GRADE REINFORCING BARS WITH FS<sub>y</sub> = 500MPa.  
 'FABRIC' REFERS TO ONEMESH HIGH TENSILE WELDED WIRE MESH WITH FS<sub>y</sub> = 500MPa.  
 LAP ALL FABRIC TO MANUFACTURERS SPECIFICATIONS.  
 STAGGER LAPS IN FABRIC TO PREVENT FOUR THICKNESS OF FABRIC OCCURRING IN EITHER TOP OR BOTTOM REINFORCEMENT.  
 CONCRETE COVER TO MAIN REINFORCEMENT TO BE:  
 STRIP FOOTINGS AND FOOTING BEAMS; 60MM-65MM  
 TOP AND SIDES-50MM, COLUMNS; ALL AROUND 50MM.  
 CONCRETE BEAMS; ALL ROUND 40MM  
 SLABS ON COMPACTED FILL; TOP-25MM.  
 ALL INTERNAL SUSPENDED SLABS AND STAIRS; TOP AND BOTTOM 20MM (EXPOSURE CLASSIFICATION A1).  
 ALL EXTERNAL SUSPENDED SLABS AND STAIRS; TOP AND BOTTOM 30MM (EXPOSURE CLASSIFICATION A2).  
 SLAB THICKNESS DOES NOT INCLUDE FLOOR FINISH.  
 ALL CONCRETE TO BE PLACED USING VIBRATORS.  
 BRICKWORK SUPPORTING SLABS TO HAVE A DAMP PROOF MEMBRANE BETWEEN THE BRICKWORK AND THE CONCRETE.  
 WHERE CONCRETE SLABS ABUT BRICK WALLS PLACE 10MM BITUMINOUS CANEITE BETWEEN THE TWO SURFACES, 40MM MAX COMPACTED FILL UNDER SLABS, TO AS.2570 WHERE FILL EXCEEDS 400MM IN DEPTH SEEK ENGINEERING ADVICE FOR PIERS AND SLAB REINFORCEMENT DETAILS.

ISSUE	DESCRIPTION	DATE	CHECKED

**PIERRE DRAGH CONSULTING ENGINEERS**  
 email : pdragh@gmail.com  
 PO BOX 336  
 HALL ACT 2618  
 Ph: 0438 625 440

CLIENT  
**TODAY'S HOMES**

PROJECT  
**PROPOSED RESIDENCE BLOCK 6 SECTION 80 CRACE**

TITLE  
**ROOF BEAM LAYOUT**

DESIGNED BY KZ	SCALE AS SHOWN @ A3
DRAWN BY MZA	JOB NO.
AUTHORISED	DRAWING NO. <b>S03 OF 03</b>

17-12-2012



7.5 STARS

*Dyorks*  
**DENIS WYLKES**  
 ACCREDITED ASSESSOR 2011456

A.C.T.  
 ABN 84 087 564 458

3/9/2012

SW  I - INFORMATION  
 D - NOT  
 CH - AVAILABLE

SEW  I - INFORMATION  
 D - NOT  
 CH - AVAILABLE

5 TABBAP

**DA-EXEMPT AMENDMENT**  
 Complies with **Section 1.100**  
 Compliant single dwellings of  
 Schedule 1 of the *Planning and*  
*Development Regulation 2008.*

**ACT Metropolitan Building Certifiers P/L**  
**Building Approval:** Building Approval, or part thereof, issued under Section 28 of the Building Act 2004.  
 Class of Occupancy: 1a(i) Type of Construction: -  
 Project No: 13/0014 Licence No: 200428123  
 Signature: [Signature] 31/1/13  
 This Set of Plans Contains 11 Sheets, No 1 to 11  
 This approval expires on 31/1/13 OR  3 years from the above date provided work is commenced within 2 years of the date of the DA approval

**SURVEY CERTIFICATE REQUIRED:**  
 Section 43(2)(a)(i) of the *Building Act* requires that a house siting survey be provided to the Certifier at slab, or bearer and joist, level before proceeding with the project.

The following inspections are required on this project:

Footings  Slab/s  Floor Frame   
 Wall Frame  Roof Frame  S/W   
 Pre-sheet  Final  Other  Piers...  
 Please provide adequate notice when booking inspections

A Clearance Certificate from a suitably qualified person will be required for each of the following components prior to the issue of Certificate of Occupancy and Use:

Structural  Survey  Roof Trusses   
 Wet Area Flashing  Termite Protection   
 Glazing  Other  Insulation.....

**NOTES:**  
**RZ1 - SUBURBAN ZONE**  
 SINGLE DWELLING HOUSING DEVELOPMENT CODE  
 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS WILL TAKE PRECEDENCE. WORKING DRAWINGS MUST BE READ IN CONJUNCTION WITH ENGINEERS AND SURVEY DETAILS AND ANY OTHER RELEVANT DRAWINGS. ANY DISCREPANCIES SHALL BE RESOLVED BEFORE THE ORDERING AND/OR PLACING OF ANY MATERIALS. DESIGNER ACCEPTS NO RESPONSIBILITY FOR MISINTERPRETED DRAWINGS AND/OR CONSTRUCTION ERRORS.

FINISHED FLOOR LEVELS AND CONTOURS ARE BASED ON DEVELOPERS CONTOUR INFORMATION ONLY. DESIGNER ACCEPTS NO RESPONSIBILITY IF DEVELOPERS CONTOURS DO NOT MATCH SURVEYED CONTOURS BY REGISTERED SURVEYOR.

THE DEVELOPMENT WILL COMPLY WITH THE ACT ENVIRONMENT PROTECTION AUTHORITY, ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE ACT, AUGUST 2007.

ALL NOMINATED LEVELS SHALL HAVE A TOLERANCE OF +/- 150mm

STORMWATER SUMP(S) TO BE LOCATED ON SITE

<b>OPEN SPACE:</b>	<b>PLOT RATIO</b>
REQUIRED:	MAXIMUM GROSS BUILDING AREA:
60% OF 568m <sup>2</sup> = 340.8m <sup>2</sup>	50% OF 568m <sup>2</sup> = 284m <sup>2</sup>
ACHIEVED	ACHIEVED:
568m <sup>2</sup> - 268.5m <sup>2</sup> = 299.5m <sup>2</sup> ✓	268.5m <sup>2</sup> ÷ 568m <sup>2</sup> = 47.3% ✓

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**PROPOSED RESIDENCE ON**  
 block : **6** section : **80**  
 suburb : **CRACE**

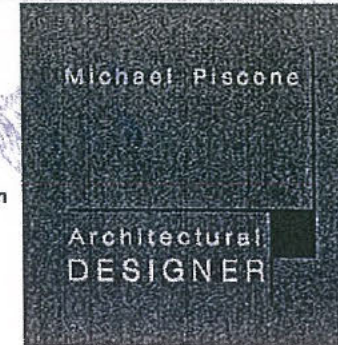
FOR **Sch 2 2.2(a)(ii)**  
 SHEET TITLE **SITE PLAN** SCALE **1:200**

PROJECT CODE	SHEET No	DATE	DRAWN
DPC0518	3 OF 8	27/08/12	M.P

AREAS m <sup>2</sup>	
LIVING UPPER :	PATIO :
LIVING LOWER:	PORCH :
GARAGE :	PERGOLA :
VERANDAH :	DECK :
ALFRESCO :	BALCONY :
PORTICO :	TOTAL AREA :

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 ABN 38 265 442 910



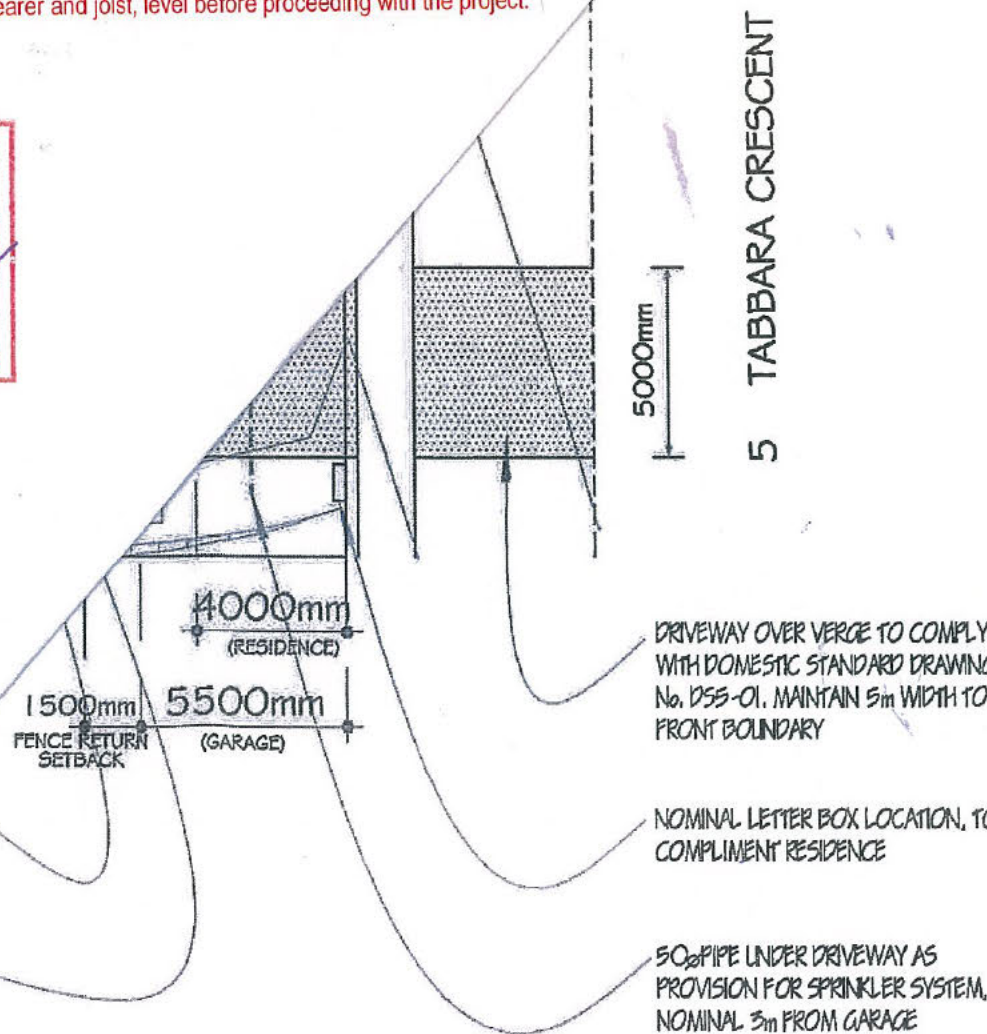
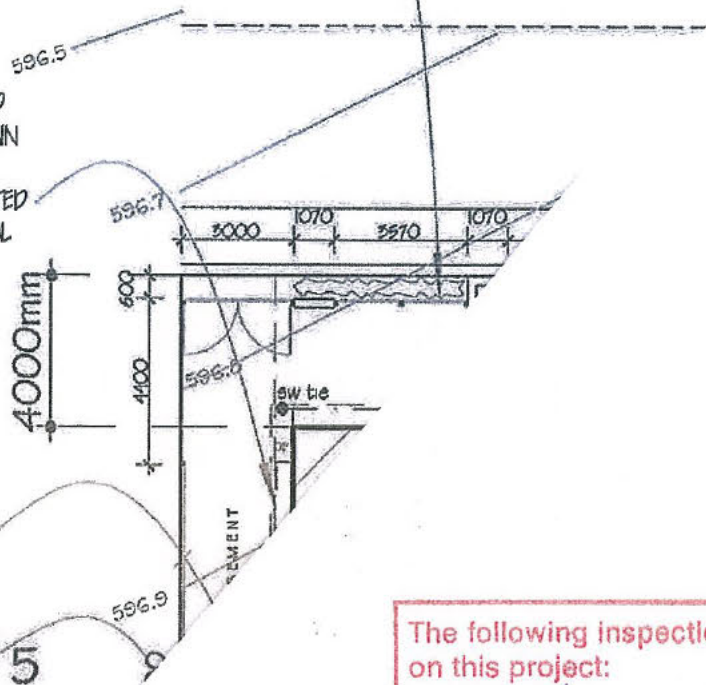
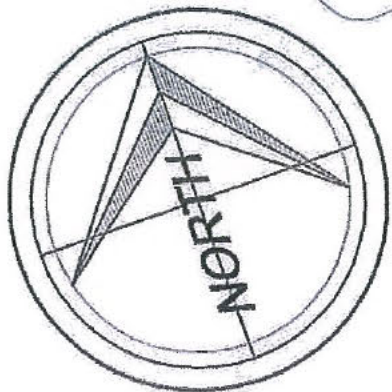
1500H COURTYARD FENCE COMPRISED OF RENDERED BRICKWORK AND 50% TRANSPARENT HORIZONTAL PRE-FINISHED METAL INFILLS WITH 5m WIDE GATES

MINIMUM 400CL ABOVE GROUND RAINWATER TANK TO COLLECT RAIN RUNOFF FROM AT LEAST 100m<sup>2</sup> OF ROOF AREA. TANK TO BE CONNECTED TO TOILET, LAUNDRY AND EXTERNAL TAPS. TANK INSTALLED TO MANUFACTURERS SPECIFICATIONS.

90°PVC STORMWATER LINES CONNECTED INTO ABOVEGROUND RAINWATER TANK

NOMINAL CLOTHESLINE LOCATION

1.8m HIGH TIMBER PALING FENCE TO SIDE BOUNDARIES. FENCE MUST CONNECT INTO FENCE RETURN AND INTO COURTYARD FENCE



DRIVEWAY OVER VERGE TO COMPLY WITH DOMESTIC STANDARD DRAWING No. DSS-01. MAINTAIN 5m WIDTH TO FRONT BOUNDARY

NOMINAL LETTER BOX LOCATION, TO COMPLEMENT RESIDENCE

50°PIPE UNDER DRIVEWAY AS PROVISION FOR SPRINKLER SYSTEM, NOMINAL 3m FROM GARAGE



7.5 STARS

*Dwykes*  
**DENIS WYLKS**  
**ACCREDITED ASSESSOR 2011456**  
 A.C.T.  
**ABN 84 087 564 458**

3/9/2012

SW T - INFORMATION  
 D - NOT  
 CH - AVAILABLE

SEW T - INFORMATION  
 D - NOT  
 CH - AVAILABLE

**Ken Hungerford** Lic. No: 800428128  
 Building Approval issued under section 28 of the Building Act 2004  
 This sheet 31 JAN 2013 numbered 2 of 11  
*Ken Hungerford*

FRONT LANDSCAPE TO COMPLY WITH "TYPICAL PLAN FOR FRONT GARDEN OF CORNER BLOCK : OPTION 1" AS PREPARED BY PETER HUDSON - PANGEA DESIGNS.

A MINIMUM OF 50% OF THE POS TO BE RETAINED AS PLANTING AREA.

**NOTES:**

**RZ1 - SUBURBAN ZONE**

SINGLE DWELLING HOUSING DEVELOPMENT CODE  
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THE DEVELOPMENT WILL COMPLY WITH THE ACT ENVIRONMENT PROTECTION AUTHORITY, ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE ACT, AUGUST 2007.

ALL NOMINATED LEVELS SHALL HAVE A TOLERANCE OF +/- 150mm

STORMWATER SLUPS TO BE LOCATED ON SITE

<b>OPEN SPACE:</b>	<b>PLOT RATIO</b>
REQUIRED :	MAXIMUM GROSS BUILDING AREA :
60% OF 568m <sup>2</sup> = 340.8m <sup>2</sup>	50% OF 568m <sup>2</sup> = 284m <sup>2</sup>
ACHIEVED :	ACHIEVED :
568m <sup>2</sup> - 268.5m <sup>2</sup> = 299.5m <sup>2</sup> ✓	268.5m <sup>2</sup> ÷ 568m <sup>2</sup> = 47.3% ✓

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**PROPOSED RESIDENCE ON**

block : 6 section : 80  
 suburb : CRACE

FOR Sch 2 2.2(a)(ii)

SHEET TITLE: **SITE PLAN** SCALE: **1 : 200**

PROJECT CODE	SHEET No	DATE	DRAWN
DPC0518	3 OF 8	27/08/12	M.P

AREAS m <sup>2</sup>	
LIVING UPPER :	PATIO :
LIVING LOWER:	PORCH :
GARAGE :	PERGOLA :
VERANDAH :	DECK :
ALFRESCO :	BALCONY :
PORTICO :	TOTAL AREA :

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ABN 38 288 442 310

Michael Piscone

Architectural  
 DESIGNER

5 TABBARA CRESCENT

1500H COURTYARD FENCE COMPRISED OF RENDERED BRICKWORK AND 50% TRANSPARENT HORIZONTAL PRE-FINISHED METAL INFILLS WITH 3m WIDE GATES

MINIMUM 400L ABOVE GROUND RAINWATER TANK TO COLLECT RAIN RUNOFF FROM AT LEAST 100m<sup>2</sup> OF ROOF AREA. TANK TO BE CONNECTED TO TOILET, LAUNDRY AND EXTERNAL TAPS. TANK INSTALLED TO MANUFACTURERS SPECIFICATIONS.

90° UPVC STORMWATER LINES CONNECTED INTO ABOVEGROUND RAINWATER TANK

NOMINAL CLOTHESLINE LOCATION

1.8m HIGH TIMBER PALING FENCE TO SIDE BOUNDARIES. FENCE MUST CONNECT INTO FENCE RETURN AND INTO COURTYARD FENCE

600-900 HIGH HEDGING.

90° UPVC STORMWATER LINE CONNECTED INTO SW TIE

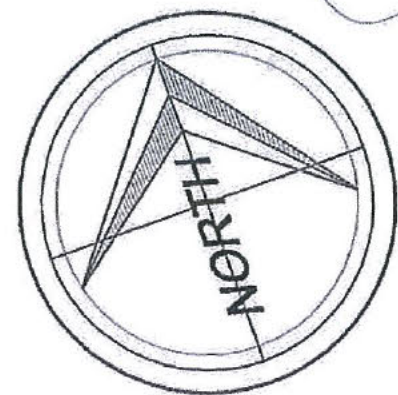
PROTECT WATER SERVICE DURING CONSTRUCTION WITH STAKES AND CHAIN MESH FENCE

5 TABBARA CRESCENT

DRIVEWAY OVER VERGE TO COMPLY WITH DOMESTIC STANDARD DRAWING No. D55-01. MAINTAIN 5m WIDTH TO FRONT BOUNDARY

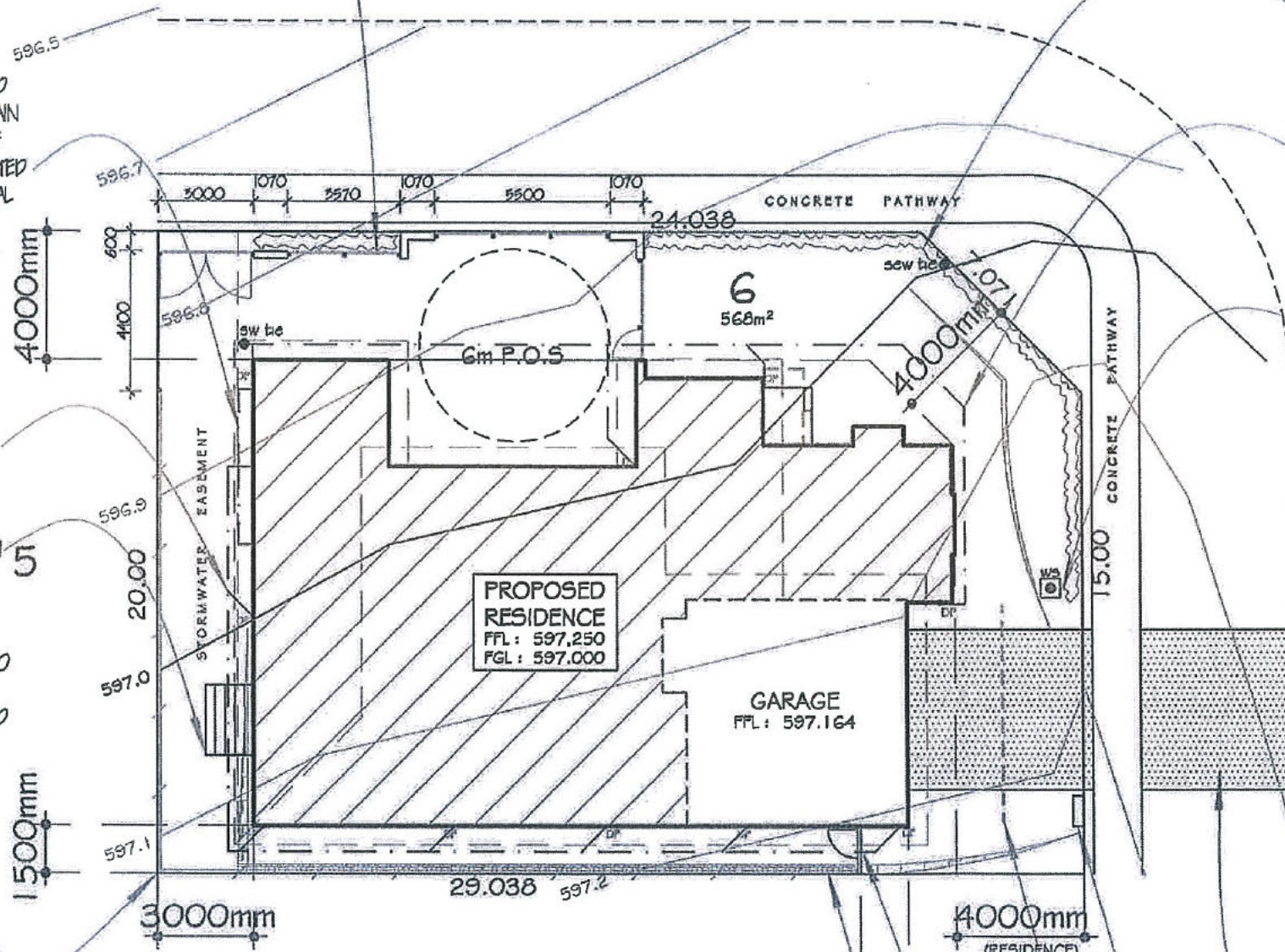
NOMINAL LETTER BOX LOCATION, TO COMPLIMENT RESIDENCE

50° PIPE UNDER DRIVEWAY AS PROVISION FOR SPRINKLER SYSTEM, NOMINAL 3m FROM GARAGE

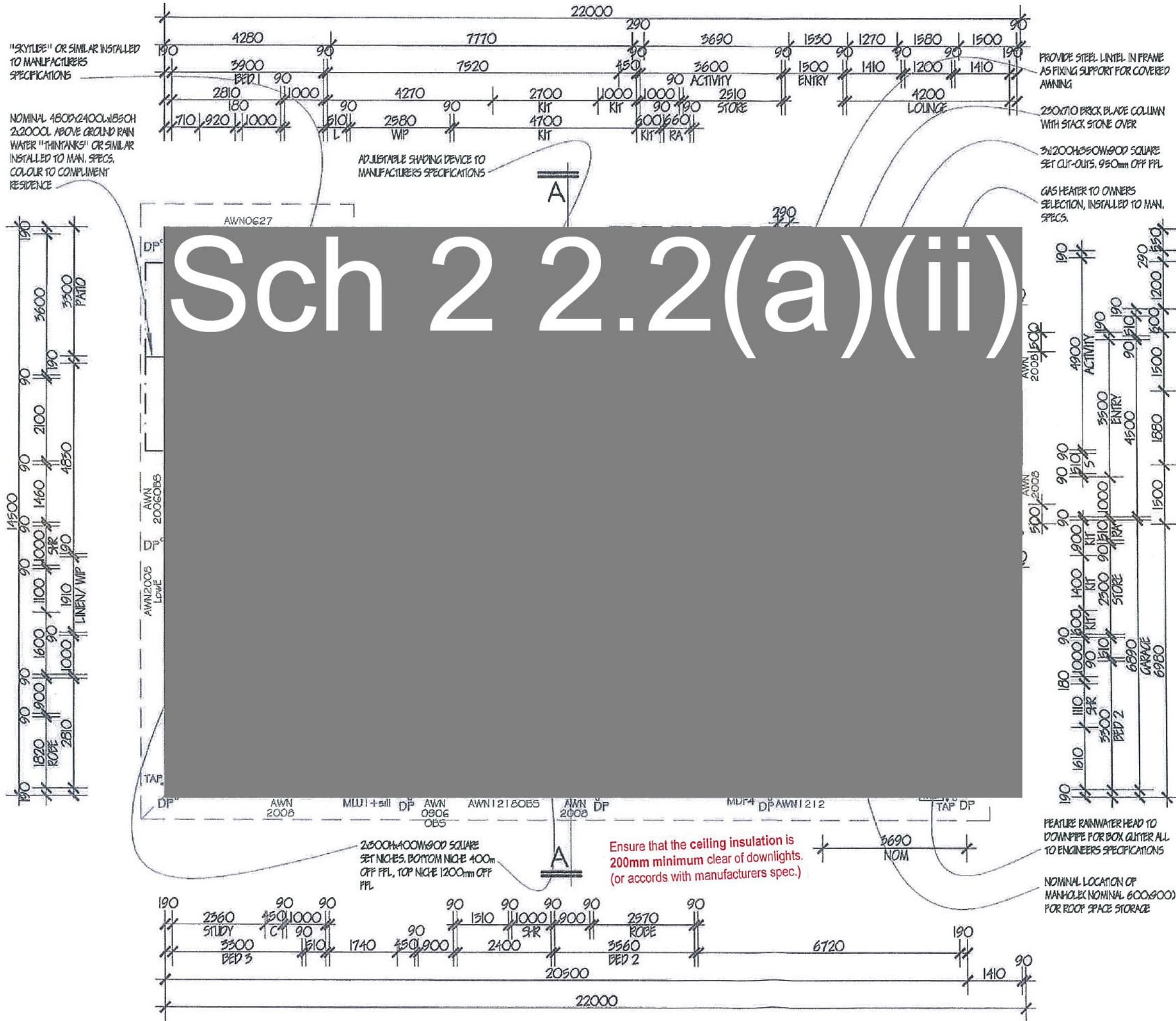


300mm APPROX. SITE CUT. NO PART OF CUT SHALL ENCROACH ON/ OVER BOUNDARIES. PROVIDE 300mm HIGH RETAINING WALL TO SIDE BOUNDARY TO FOLLOW NGL

1.8m HIGH 50% TRANSPARENT FENCE RETURN WITH NOMINAL 1.0m WIDE GATE







NOTES:  
 ADDITIONAL 600x600 MANHOLE TO BE LOCATED ON SITE, IF REQUIRED

Ⓢ PROVIDE SMOKE ALARMS IN ACCORDANCE WITH THE CURRENT VERSION OF THE BCA

ALL WINDOWS DOUBLE GLAZED  
**BERS PRO ENERGY RATING**  
 SQUARE SET WALLS TO CEILING IN FAMILY, MEALS AND KITCHEN

**7.5 STARS**

*Denys*

**DENIS WYLKS**  
 ACCREDITED ASSESSOR 201456  
 A.C.T.  
 ABN 84 087 564 458

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**PROPOSED RESIDENCE ON**  
 block : **6** section : **80**  
 suburb : **CRACE**

FOR **Sch 2 2.2(a)(ii)**

SHEET TITLE		SCALE	
FLOOR PLAN		1 : 100	
PROJECT CODE	SHEET No	DATE	DRAWN
DPC0518	4 OF 8	27/08/12	M.P

AREAS m <sup>2</sup>	
LIVING UPPER :	N/A
LIVING LOWER :	215.1
GARAGE :	50.6
VERANDAH :	N/A
ALFRESCO :	25.6
PORTICO :	N/A
PATIO :	N/A
PORCH :	2.8
PERGOLA :	N/A
DECK :	N/A
BALCONY :	N/A
TOTAL AREA :	294.1

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 michael.piscone@hotmail.com  
 P : 02 6228 3218  
 M : 0410 628 578  
 ABN 38 285 442 310

Michael Piscone  
 Architectural  
 DESIGNER

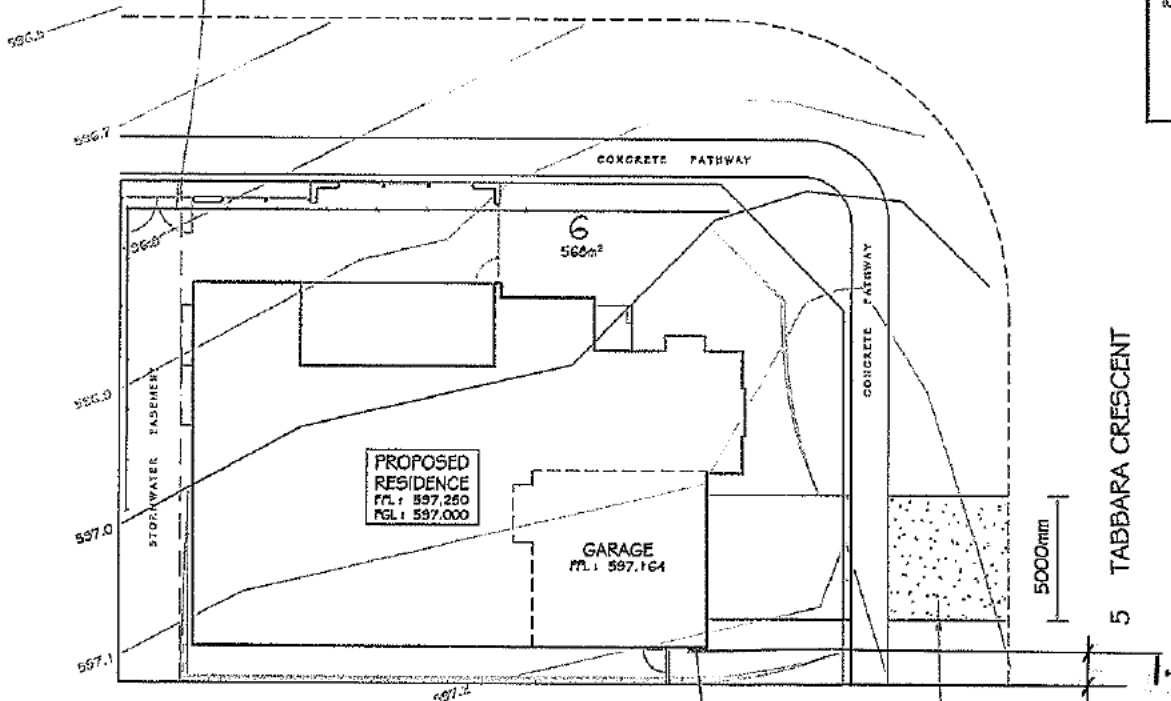


application number  
130099

Sheet

TO PREVENT TRANSFER OF SEDIMENT TO VERGE, ROADWAY AND ADJOINING PROPERTY(S), PROVIDE TEMPORARY SEDIMENT CONTROL GEOTEXTILE FENCE FINED TO STAR PICKETS AT MAXIMUM 2m CENTRES AND 600 DEEP.

5 TABBARA CRESCENT



POINT OF ENTRY & METER BOX

PROPOSED DRIVEWAY ENTRY OVER VERGE AS STABILISED ACCESS POINT / CROSSOVER. TO PREVENT TRANSFER OF SOIL TO ROADWAY. PROVIDE RECYCLED CRUSHED CONCRETE TO DEPTH OF 150-200mm WITH AN UNDERLAY OF HEAVY DUTY GEOTEXTILE FABRIC.

6/80 Crace

NOTES:

SEDIMENT CONTROLS MUST BE IN PLACE PRIOR TO COMMENCEMENT OF ANY BUILDING WORKS AND CHECKED DAILY

Gas Networks  
SEDIMENT CONTROLS MUST BE RETAINED UNTIL

**CONDITIONALLY COMPLIES**

PERMANENT SEDIMENT CONTROL  
This document has been assessed against legislation protecting ActewAGL's infrastructure and access to it

The information contained in this application complies with ActewAGL's gas network protection and access requirements subject to the conditions as listed on the Statement of Conditional Compliance

Please note. Construction of unapproved works may result in action being taken to require the property owner to remove non-compliant structures and/or the property owner to fund restoration works on ActewAGL's gas network

Signed: Steve Donnelly Date: 13/Nov/2012

Contact Phone: 6203 2840

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PROPOSED RESIDENCE ON  
 block : 6 section : 80  
 suburb : CRACE

FOR Sch 2 2.2(a)(ii)

SHEET TITLE EROSION SEDIMENT CONTROL PLAN SCALE 1 : 200

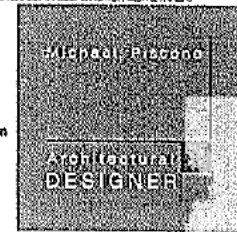
PROJECT CODE DPC0518	SHEET No 1 OF 8	DATE 27/08/12	DRAWN M.P
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AREAS m <sup>2</sup>		
LIVING UPPER:	PATIO :	
LIVING LOWER:	PORCH :	
GARAGE :	PERGOLA :	
VERANDAH :	DECK :	
ALFRESCO :	BALCONY :	
PORTRICO :	TOTAL AREA :	

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 M : 0410 628 576  
 AEN 52 266 442 810





LEGEND WHERE APPLICABLE

- PROPOSED WATER SERVICE (COLD WATER)
- PROPOSED WATER SERVICE (HOT WATER)
- PROPOSED WATER SERVICE (WARM WATER)
- EXISTING UPVC SEWER SERVICE
- PROPOSED UPVC SEWER SERVICE

# PLAN OF HYDRAULIC SERVICES

OWNER Sch 2 2.2(a)(ii)

DRAINAGE PLAN No \_\_\_\_\_

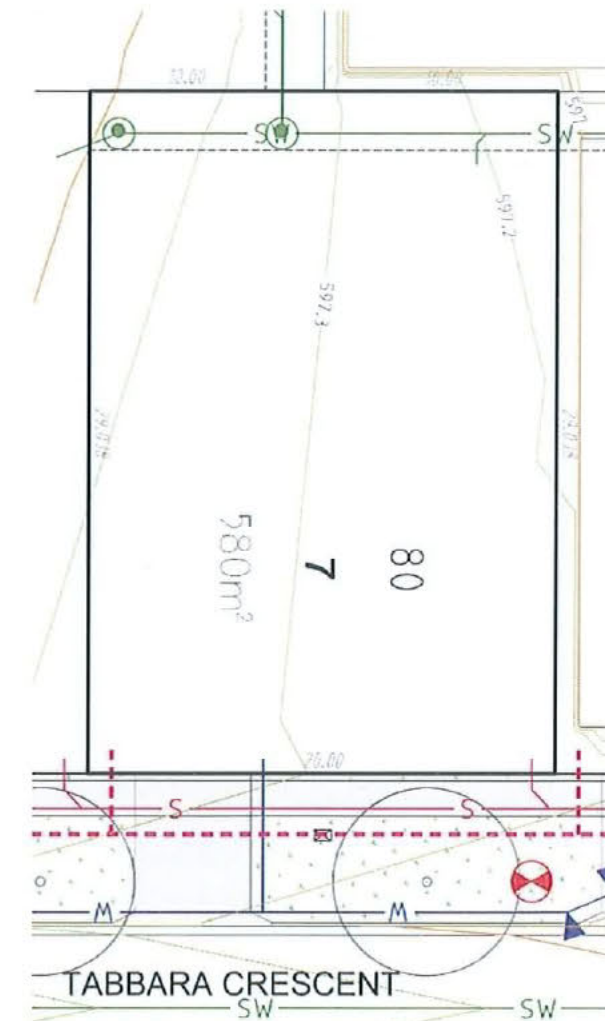
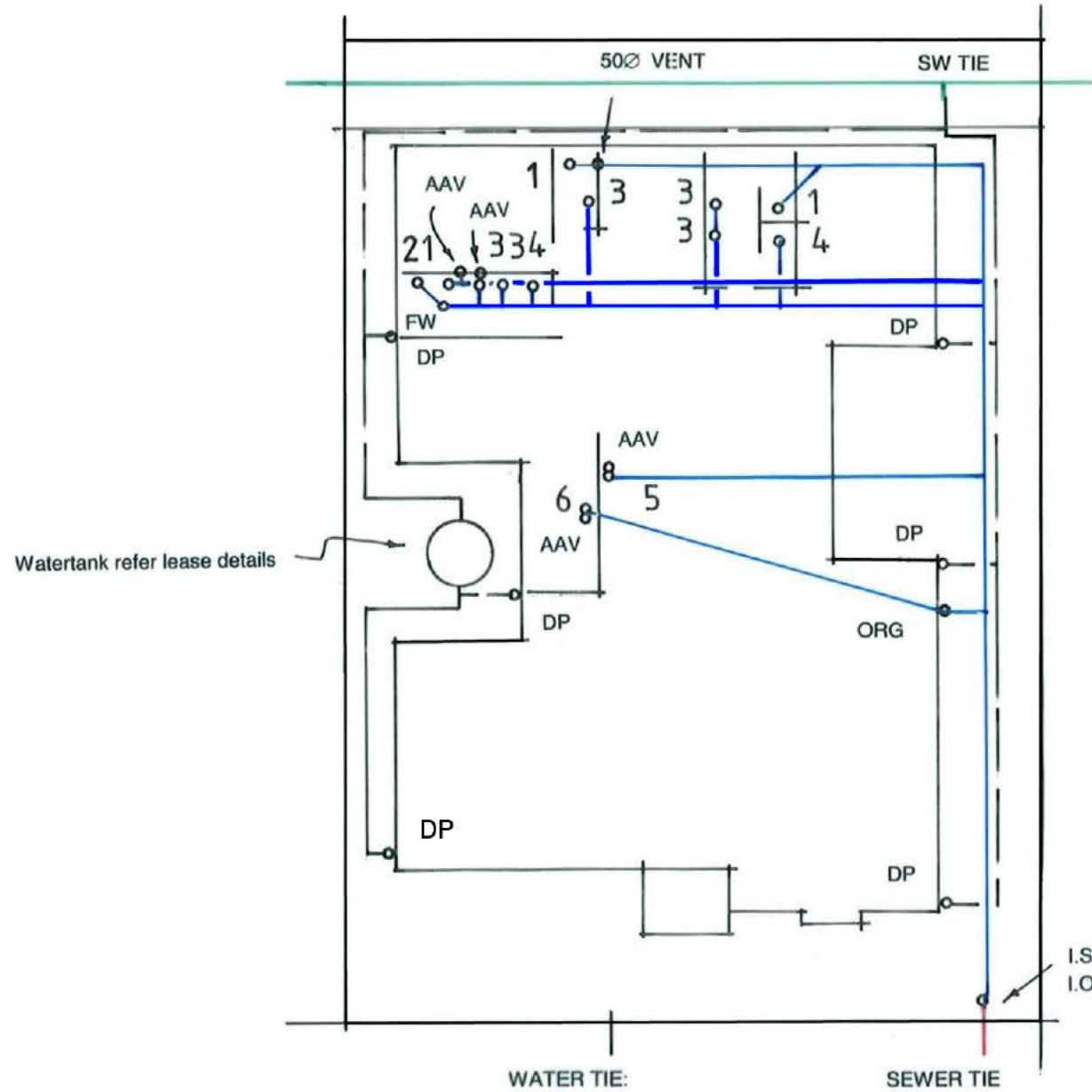
BLOCK 7 SECTION 80 CRACE

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REFERENCES				FIXTURES					
V.C.P	VITRIFIED CLAY PIPE	D.T	DISCONNECTOR TRAP	T.D.	TUNDISH	1.	WATER CLOSET ( 3 )	7.	URINAL ( 0 )
S.V.P	SOIL VENT PIPE	I.O	INSPECTION OPENING	G.T	GULLY TRAP	2.	BATH ( 1 )	8.	CLN'S SINK ( 0 )
U.P.V.C	UNPLASTICISED POLYVINYL CHLORIDE	E.J	EXPANSION JOINT	V.P.	VENT PIPE	3.	BASIN ( 5 )	9.	BIDET ( 0 )
D.I.C.L	DUCTILE IRON CEMENT LINED	W.S	WATER SERVICE	F.W.	FLOOR WASTE	4.	SHOWER ( 4 )	11.	DISHWASHER ( 0 )
O.R.G	OVERFLOW RELIEF GULLY	I.S	INSPECTION SHAFT	J.U.	JUMP UP	5.	SINK ( 1 )	13.	WASHER ( 0 )
F.G.L	FINISHED GROUND LEVEL	H.C	HOSECOCK	E.V.	EDUCT VENT	6.	LAUNDRY TUB ( 1 )	15.	COOKING OVEN ( 0 )
		F.F.L	FINISHED FLOOR LEVEL	S.T	SILT TRAP				
		S.V	STOPVALVE	B.T	BUCKET TRAP				

ALL WORK TO BE IN ACCORDANCE WITH THE CANBERRA SEWERAGE AND WATER SUPPLY REGULATIONS. THIS PLAN TO BE READ IN CONJUNCTION WITH APPROVED ARCHITECTURAL PLANS. THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH A.S 3500, NATIONAL PLUMBING AND DRAINAGE CODE. ORG TO BE A HEIGHT OF 150mm BELOW LOWEST FIXTURE TO BE DRAINED & A MINIMUM 75mm ABOVE F.G.L.(50mm IN PAVED AREAS, GRADED FROM O.R.G.)

- NOTES
1. ALL NEW SEWER DRAINS ARE 100Ø UPVC UNLESS NOTED.
  2. ALL NEW SW IS 90Ø PVC EXCEPT 100Ø LINE FROM TIE TO FIRST JUNCTION & UNDER SLABS.
  3. PORTION OF DRAIN MARKED 'X' NOT TO BE LAID UNTIL CONFIRMATION FROM ACTEW THAT MAIN IS AVAILABLE FOR CONNECTION.



○ SERVICE TIE/EXISTING HYDRAULICS  
DO NOT SCALE. USE WRITTEN DIMENSIONS

SW NOTE: PROVIDE 100 DIAMETER PIPE TO THE FIRST JUNCTION AND UNDER BUILDINGS UNLESS NOTED OTHERWISE. GREASE LINES SHOWN IN ORANGE LINES. PROPOSED WASTE PLUMBING SHOWN IN YELLOW LINES. PROPOSED SOIL AND DRAINS TO BE LAID SHOWN IN BLUE LINES. DRAINS DELETED SHOWN BY RED 'X'. EXISTING DRAINS SHOWN IN GREEN LINES. PROVIDE INSPECTION OPENINGS ON EACH WC BRANCH OF INTERVALS OF NOT MORE THAN 30m SPACED EQUIDISTANT IMMEDIATELY UP & DOWNSTREAM OF ALL JUMP UPS. VITRIFIED CLAY PIPES TO BE IN ACCORDANCE WITH AS1693 & AS A164. UPVC PIPES TO BE IN ACCORDANCE WITH AS1260. PROVIDE FIRE STOP COLLARS TO ALL UPVC PENETRATIONS OF FIRE RATED FLOORS AND WALLS. THIS BASE DRAINAGE PLAN REMAINS THE PROPERTY OF THE ARCHITECTURAL DESIGN STUDIO & IS NOT TO BE COPIED WITHOUT THE EXPRESS WRITTEN PERMISSION OF ANTHONY BURR. WHILST EVERY PRECAUTION IS TAKEN TO ENSURE THE ACCURACY OF THE NOTES &/OR DRAWINGS NO RESPONSIBILITY &/OR LIABILITY WILL BE ACCEPTED FOR ANY ERRORS &/OR OMISSIONS IN THE TEXT &/OR DRAWINGS. IT IS THE CONTRACTORS RESPONSIBILITY TO ESTABLISH THE LOCATION OF ALL EXISTING SERVICES & THE SUITABILITY OF THE DESIGN PRIOR TO COMMENCING CONSTRUCTION. CHECK POSITION OF TIE PRIOR TO COMMENCING CONSTRUCTION. INSPECTION SHAFT TO BE LOCATED AT THE PROPERTY BOUNDARY IS TO BE RAISED TO GROUND LEVEL IN ACCORDANCE WITH PLUMBING NOTE 3.



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Project: 2012/HYD3 Scale 1:200 Design by Anthony Burr

S T R E E T





LEGEND WHERE APPLICABLE

- PROPOSED UPVC SEWER SERVICE
- EXISTING SEWER SERVICE
- SEWER MAIN
- - - PROPOSED UPVC STORMWATER SERVICE
- STORMWATER MAIN

# PLAN OF HYDRAULIC SERVICES

DRAINAGE PLAN No \_\_\_\_\_

OWNER **Sch 2 2.2(a)(ii)**

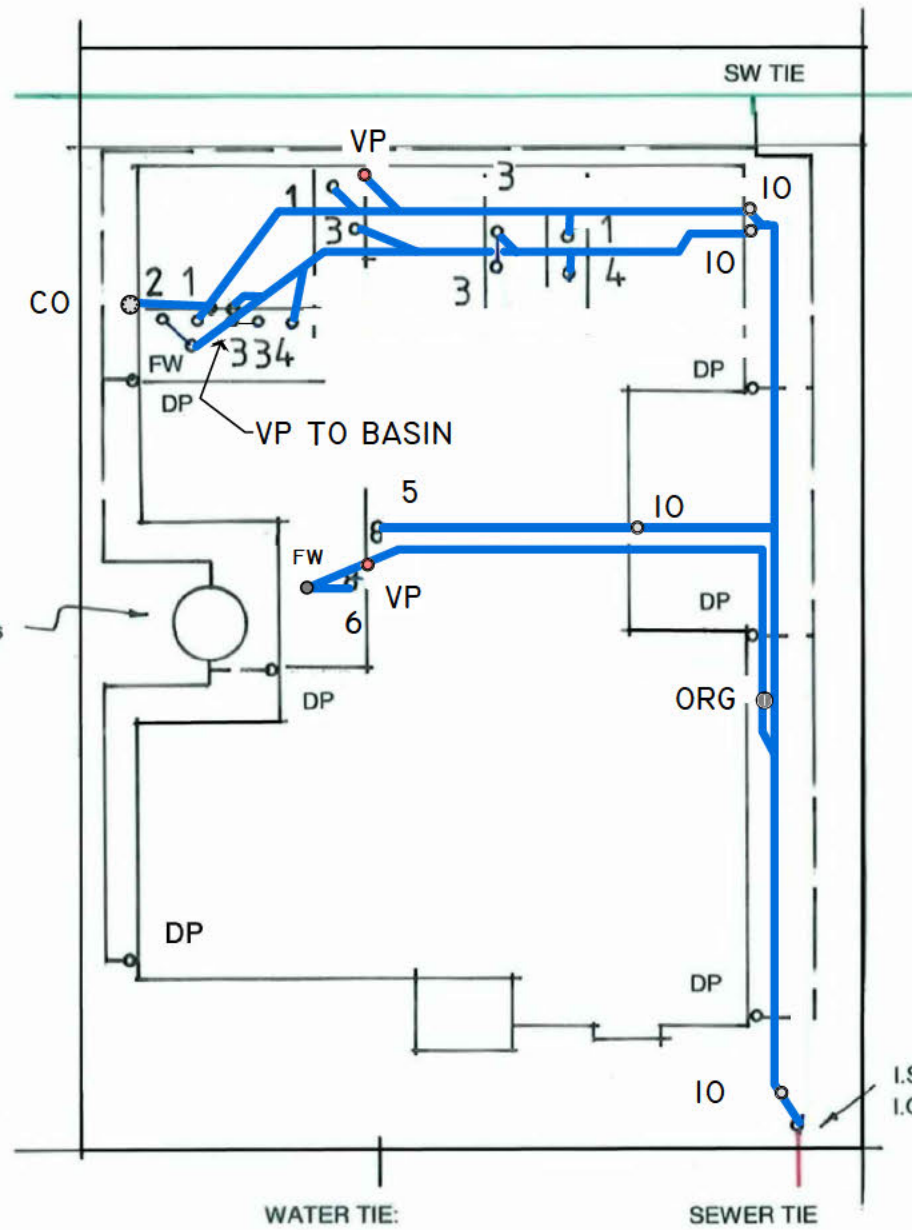
BLOCK 7 SECTION 80 CRACE

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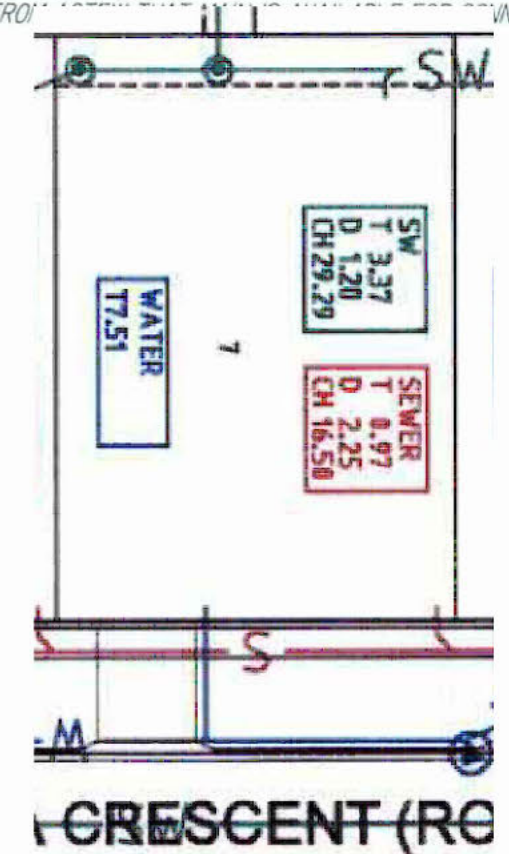
REFERENCES				FIXTURES					
V.C.P	VITRIFIED CLAY PIPE	D.T	DISCONNECTOR TRAP	T.D	TUNDISH	1. WATER CLOSET	( 3 )	7. URINAL	( 0 )
S.V.P	SOIL VENT PIPE	I.O	INSPECTION OPENING	G.T	GULLY TRAP	2. BATH	( 1 )	8. CLN'S SINK	( 0 )
U.P.V.C	UNPLASTICISED POLYVINYL CHLORIDE	E.J	EXPANSION JOINT	V.P	VENT PIPE	3. BASIN	( 5 )	9. BIDET	( 0 )
D.I.C.L	DUCTILE IRON CEMENT LINED	I.S	INSPECTION SHAFT	F.W	FLOOR WASTE	4. SHOWER	( 4 )	11. DISHWASHER	( 0 )
O.R.G	OVERFLOW RELIEF GULLY	H.C	HOSECOCK	J.U	JUMP UP	5. SINK	( 1 )	13. WASHER	( 0 )
F.G.L	FINISHED GROUND LEVEL	F.F.L	FINISHED FLOOR LEVEL	E.V	EDUCT VENT	6. LAUNDRY TUB	( 1 )	15. COOKING OVEN	( 0 )
		S.V	STOPVALVE	S.T	SILT TRAP				
		B.T	BUCKET TRAP						

ALL WORK TO BE IN ACCORDANCE WITH THE CANBERRA SEWERAGE AND WATER SUPPLY REGULATIONS. THIS PLAN TO BE READ IN CONJUNCTION WITH APPROVED ARCHITECTURAL PLANS. THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH A.S 3500, NATIONAL PLUMBING AND DRAINAGE CODE. ORG TO BE A HEIGHT OF 150mm BELOW LOWEST FIXTURE TO BE DRAINED & A MINIMUM 75mm ABOVE F.G.L.(50mm IN PAVED AREAS, GRADED FROM O.R.G.)

- NOTES**
1. ALL NEW SEWER DRAINS ARE 100Ø UPVC UNLESS NOTED.
  2. ALL NEW SW IS 90Ø PVC EXCEPT 100Ø LINE FROM TIE TO FIRST JUNCTION & UNDER SLABS.
  3. PORTION OF DRAIN MARKED 'X' NOT TO BE LAID UNTIL CONFIRMATION FROM \_\_\_\_\_ INJECTION.

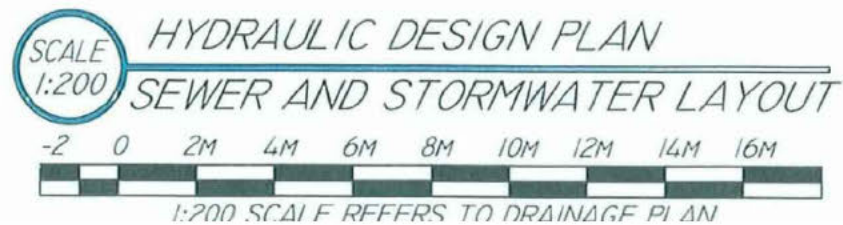


WORK  
AS  
EXECUTED



**SERVICE TIE/EXISTING HYDRAULICS**  
DO NOT SCALE. USE WRITTEN DIMENSIONS  
PLEASE NOTE: ON THE TIE IMAGE, RED LINES INDICATE SEWERAGE, GREEN LINES INDICATE STORM WATER AND BLUE LINES INDICATE WATER SUPPLY.

S T R E E T



SW NOTE: PROVIDE 100 DIAMETER PIPE TO THE FIRST JUNCTION AND UNDER BUILDINGS UNLESS NOTED OTHERWISE. GREASE LINES SHOWN IN ORANGE LINES. PROPOSED WASTE PLUMBING SHOWN IN YELLOW LINES. PROPOSED SOIL AND DRAINS TO BE LAID SHOWN IN BLUE LINES. DRAINS DELETED SHOWN BY RED "X". EXISTING DRAINS SHOWN IN GREEN LINES. PROVIDE INSPECTION OPENINGS ON EACH WC BRANCH OF INTERVALS OF NOT MORE THAN 30m SPACED EQUIDISTANT IMMEDIATELY UP & DOWNSTREAM OF ALL JUMP UPS. VITRIFIED CLAY PIPES TO BE IN ACCORDANCE WITH AS1693 & AS A164. UPVC PIPES TO BE IN ACCORDANCE WITH AS1260. PROVIDE FIRE STOP COLLARS TO ALL UPVC PENETRATIONS OF FIRE RATED FLOORS AND WALLS. THIS BASE DRAINAGE PLAN REMAINS THE PROPERTY OF THE ARCHITECTURAL DESIGN STUDIO & IS NOT TO BE COPIED WITHOUT THE EXPRESS WRITTEN PERMISSION OF ANTHONY BURR. WHILE EVERY PRECAUTION IS TAKEN TO ENSURE THE ACCURACY OF THE NOTES &/OR DRAWINGS NO RESPONSIBILITY &/OR LIABILITY WILL BE ACCEPTED FOR ANY ERRORS &/OR OMISSIONS IN THE TEXT &/OR DRAWINGS. IT IS THE CONTRACTORS RESPONSIBILITY TO ESTABLISH THE LOCATION OF ALL EXISTING SERVICES & THE SUITABILITY OF THE DESIGN PRIOR TO COMMENCING CONSTRUCTION. CHECK POSITION OF TIE PRIOR TO COMMENCING CONSTRUCTION. INSPECTION SHAFT TO BE LOCATED AT THE PROPERTY BOUNDARY IS TO BE RAISED TO GROUND LEVEL IN ACCORDANCE WITH PLUMBING NOTE 3.

**DESIGN STUDIO**

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Project: 2013/FEBR Scale 1:200 Design by **Anthony Burr**



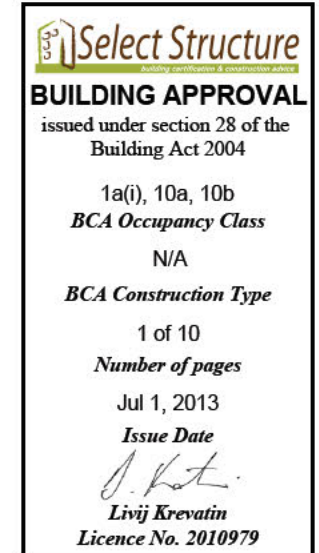
# DRAWING REGISTER

Drawing List			
Sheet No	Sheet Name	Drawn By	Checked By
000	COVER PAGE	MY	M.Q
100	SITE PLAN		
101	LANDSCAPE PLAN		
200	GROUND FLOOR		
201	UPPER FLOOR		
300	ELEVATIONS		
301	ELEVATION & SECTION		

THIS PAGE FOR ASSESSMENT

# PROJECT DETAILS

CLIENT: IMAGINE BUILDING  
 PROJECT NAME: PROPOSED RESIDENCE  
  
 BLOCK: 8  
 SECTION: 80  
 SUBURB: CRACE  
  
 JOB NO: 05463-A  
 PRINT DATE: 05.06.13



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