



PLANNING AND DEVELOPMENT ACT 2007
APPROVAL GRANTED
 PURSUANT TO SECTION 46
 Date: 21/2/2017

EXTERNAL LIGHTING LEGEND

- WALL MOUNTED FURNER LIGHT
- WALL MOUNTED DECORATIVE BUSHY LIGHT
- LETTER PANEL (LMP)
- LED STREET LIGHT ON 6m HIGH POLE
- CEILING MOUNTED FLUORESCENT LIGHT
- POINT OF ENTRY (POE) 1MSD + UP

REFER TO EXTERNAL LIGHTING PLAN FOR DETAILS / SPECIFICATIONS

BUILDING APPROVAL
 Approved under Section 28
 of the ACT Building Act 2004
 Date: -2 JUN 2017
 Shahrokh K. Vaziri
 Principal Building Certifier, Lic. No: 19926208

EER NOTES

- 225mm WAFFLE PODS TO CONCRETE SLAB UNO
- R2 WALL INSULATION TYPICAL
- SINGLE GLAZING TO ALL WINDOWS
- PROVIDE SEALS TO ALL EXTERNAL DOORS, WINDOW & EXTERNAL EXHAUST FANS
- BARKING TO UNDERSIDE OF METAL ROOFS
- NO BARKING TO UNDERSIDE OF TILE UNLESS DESIGNATED SUB-FIRE BAL. 1.05 OR HIGHER

WASTE & RECYCLING NOTES

WASTE ENCLOSURE

1 ENCLOSURE PROPOSED

1500L RECYCLING GENERATED PER WEEK
 2 OFF 1100L HOPPERS FOR RECYCLING PROVIDED

6400L WASTE GENERATED PER WEEK
 2 OFF 300L HOPPERS FOR WASTE PROVIDED - TO BE EMPTIED ONCE A WEEK

LETTERBOX NOTES

LETTERBOXES ARE TO BE NUMBERED VERTICALLY TOP TO BOTTOM IN ACCORDANCE WITH AUSTRALIAN STANDARDS.

THIS IS TO ENSURE THE POSTMAN DOES NOT NEED TO DOUBLE-BACK OR DISMOUNT FROM THEIR BIKE TO DEPOSIT THE LETTERS INTO MAILBOXES.

LETTERBOX LOCATION IS DESIGNATED WITH AN 'LB'

SITE STATISTICS

SITE AREA	1802m ²
GFA	
ORIGINAL FLOOR GFA	1815m ²
FIRST FLOOR GFA	1870m ²
SECOND FLOOR GFA	1237m ²
TOTAL GFA	4822m ²
PLOT RATIO	2.68
PROVIDED PLOT RATIO	78%
PERMISSIBLE PLOT RATIO	100%

PARADE REQUIREMENTS

1 SPACE PER 1 BED UNIT	0
15 SPACES PER 2 BED UNIT	36
2 SPACES PER 3 BED UNIT	30
1 VISITOR SPACE PER 4 UNITS	8.75
TOTAL CARSPACES REQUIRED	76

PROVIDED:

1 SPACE PER 1 BED UNIT	0
15 SPACES PER 2 BED UNIT	37
2 SPACES PER 3 BED UNIT	20
VISITOR SPACES PROVIDED (ON SITE)	8
VISITOR SPACES PROVIDED (OFF SITE)	2
TOTAL CARSPACES PROVIDED	77

SITE PLAN NOTES

- (1) BLOCK BEARINGS, LENGTHS & CONTOURS TO BE CONFIRMED BY SURVEYOR BEFORE ANY CONSTRUCTION HAS STARTED.
- (2) NO CUT, FILL OR RETAINING WALLS ARE TO ENCRUMB ANY PART OF THE EASEMENT.
- (3) ALL LANDSCAPING, RETAINING WALLS & EXTERNAL PAVING BY OWNER.
- (4) EXTERNAL FINISHES & COLOURS TO BE IN ACCORDANCE WITH LEASE & DEVELOPMENT CONDITIONS / RESIDENTIAL ZONES - DOUBLE DWELLING HOUSING DEVELOPMENT CODE.
- (5) A MINIMUM OF 50% OF THE PRIVATE OPEN SPACE IS TO BE RETAINED AS PLANTING AREA.
- (6) EROSION & SEDIMENT CONTROL: THE DEVELOPMENT WILL COMPLY WITH THE ACT ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION & LAND DEVELOPMENT ON THE ACT 2007.

GFA SUMMARY

U1	112.8 m ²
U2	104.1 m ²
U3	102.2 m ²
U4	104.2 m ²
U5	103.0 m ²
U6	100.5 m ²
U7	102.2 m ²
U8	104.1 m ²
U9	100.0 m ²
U10	104.2 m ²
U11	100.0 m ²
U12	113.4 m ²
U13	100.0 m ²
U14	102.4 m ²
U15	100.0 m ²
U16	106.1 m ²
U17	103.8 m ²
U18	102.7 m ²
U19	111.2 m ²
U20	112.1 m ²
U21	106.0 m ²
U22	111.7 m ²
U23	132.0 m ²
U24	129.0 m ²
U25	128.0 m ²
U26	130.5 m ²
U27	132.0 m ²
U28	81.0 m ²
U29	78.2 m ²
U30	81.4 m ²
U31	77.9 m ²
U32	78.7 m ²
U33	77.2 m ²
U34	78.3 m ²
U35	83.7 m ²
U36	78.1 m ²
U37	83.7 m ²
U38	78.3 m ²
U39	83.8 m ²
U40	83.8 m ²
UNIT Foyer	26.6 m ²
TOTAL	4868.2 m²

COURT YARD WALL TYPES LEGEND

- CS1: 1.2m HIGH BOUNDARY WALL WITH GREEN MESH PLANTING
- CS2: COURT YARD WALL

FLOOR PLAN LEGEND

- AWD ALUMINUM WINDOWS AND DOORS
- BTH BATH TUB
- CFB COLORBOND FASCIA AND GUTTER
- CONC CONCRETE STEEL TROUSER FINISH
- CPT 100% WOOL CARPET OR RUBBER UNDERLAY
- CL PARALINE CLOTHES LINE WITH PRIVACY SCREEN WHERE VISIBLE TO STREET
- CRT CONCRETE ROOF TILES
- CSO CAVITY FLOORING DOOR
- DP DOWNPIPE
- DR DRYER PROVISION
- DW DRYER PROVISION
- F FRIDGE PROVISION
- FBK FACE BRICKWORK - SEE FINISHER SCHEDULE
- FDL FINISHED GROUND LEVEL
- FV FLOOR WASTE WITH SUITABLE CAMBER
- GAB GAS METER LOCATION
- HB HAND BASIN
- HP HEAT PUMP - EXCHANGE UNIT PER LDA REQD
- HWS HOT WATER SERVICE
- IR IRONING CABINET
- LS LETTERBOX
- MB METER BOARD LOCATION
- MR MIRROR WITH RECESSED MIRROR CABINET
- NGL NATURAL GROUND LEVEL
- OHC OVER HEAD CURTAIN
- OV OVEN
- PTY PANTRY
- RH RANGEHOOD
- SK SKYLIGHT
- SHR ALUMINUM AND GLASS SHOWER SCREEN
- SPH RECESSED SOAP HOLDER
- LAU LAUNDRY TUB
- TAP TAPWARE
- TLE NON-SLIP CERAMIC FLOOR TILES
- TR TOWEL RAIL
- V VANITY UNIT
- WC TOILET SUITE
- WMW WASHING MACHINE PROVISION
- RWT RAINWATER TANK

REFER TO DRAWING 24 FOR ALL AREAS OF UNITS
 REFER TO DRAWING 14 FOR SECTION AND ELEVATION REFERENCES - NOTES ELEVATION NUMBER AND DRAWING SHEET REFERENCE

SITE PLAN LEGEND

- CL PARALINE CLOTHES LINE
- DP DOWNPIPE
- GAB GAS METER LOCATION
- F1 1.8m HIGH COURT YARD WALL WITH BASE
- F2 1.8m HIGH PARKING BOUNDARY FENCE
- F3 1.8m HIGH PICKET FENCE (NO BASE WALL)
- F4 1.2m HIGH POOL FENCE
- HWS HOT WATER SERVICE
- MB METER BOX LOCATION
- POE PRINCIPAL PRIVATE OPEN SPACE
- TAP HOSECOCK
- OB5 OBSCURE GLASS
- LB LETTER BOX

Client Name: **DI IULIO BUILDING**

Project Name: **PROPOSED MULTI UNIT DEVELOPMENT**

Project Address: **B3 S16, MONCREIFF ACT**

Drawing Title: **OVERALL SITE PLAN**

Project Architect: **FKA**

Design Architect: **BDH**

Checked: **FKA**

Project No: **1818**

Scale: **As Indicated**

Commenced: **SEPT 15**

Print Date: **15/11/2016 12:08:44 PM**

Project Phase: **DA**

04

1 SITE PLAN
 1: 250





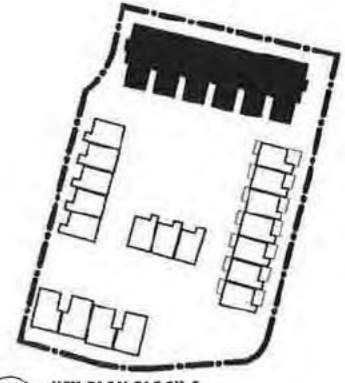
ROOM LEGEND	
1	KITCHEN
2	LIVING
3	DINING
4	BEDROOM
5	BATHROOM
6	LAUNDRY
7	STAIR
8	ROBE
9	LINEAL
10	DRYER
11	STOVE
12	BALCONY
13	ENSUITE
14	WATER CLOSET
15	STUDY/ART
16	PURPOSE ROOM ENTRY

PLANNING ACT DEVELOPMENT ACT 2007
APPROVAL GRANTED
 PERMITANT TO SECTION 167
 Planning No. - A1111111111
 Date: 21/2/2017

FLOOR PLAN LEGEND	
AWD	ALUMINIUM WINDOWS AND DOORS
BTH	BATH TUB
CFG	COLORBOND FACIA AND GUTTER
COND	CONCRETE STEEL TROWEL FINISH
CPT	100% WOOL CARPET ON RUBBER UNDERLAY
CL	PARALINE CLOTHESLINE WITH PRIVACY
CR	SCREEN WHERE VISIBLE TO STREET
CRT	CONCRETE ROOF TILES
CSD	CAVITY SLINGING DOOR
DR	DOWNPIPES
DW	DRYER PROVISION
DW	DISHWASHER PROVISION
F	FRIDGE PROVISION
FBK	FACE BRICKWORK - SEE FINISHES SCHEDULE
FGL	FINISHED GROUND LINE
FW	FLOOR WASTE WITH SUITABLE CAMBER
GAS	GAS METER LOCATION
HB	HAND BASIN
HP	HEAT PUMP - EXCHANGE UNIT PER LDA REQD
HWS	HOT WATER SYSTEM
PS	PRIVACY SCREEN
LB	LETTERBOX
MR	METER BOARD LOCATION
MR	MIRROR WITH RECESSED MEDICINE CABINET
NGL	NATURAL GROUND LINE
OHD	OVER HEAD CUPBOARD
OVI	OVER ENTRY
PTY	RANTRY
RH	RANGEHOOD
SK	SKYLIGHT
SHR	ALUMINIUM AND GLASS SHOWER SCREEN
SPH	RECESSED SOAP HOLDER
T	LAUNDRY TUB
TAP	TAPWARE
TLE	NON-SLIP CERAMIC FLOOR TILES
TR	TOWEL RAIL
V	VANITY UNIT
WC	TOILET SUITE
WM	WASHING MACHINE PROVISION
RWT	RAINWATER TANK

SITE STATISTICS	
SITE AREA	5922m²
GFA	
GROUND FLOOR GFA:	1815m²
FIRST FLOOR GFA:	1570m²
SECOND FLOOR GFA:	1227m²
TOTAL GFA:	4622m²
PLOT RATIO	78%
PROVIDED PLOT RATIO:	80%
PERMISSIBLE PLOT RATIO:	80%
SITE COVER	
BUILDING FOOTPRINT:	1815m²
DRIVEWAY AREA:	1650m²
DEEP ROOT PLANTING AREA:	1325m²
DEEP ROOT PLANTING PERCENTAGE:	27%
GOE (EXCL DRIVEWAYS):	1170m²
PARKING REQUIREMENTS	
1 SPACE PER 1 BED UNIT:	0
1.5 SPACES PER 2 BED UNIT:	36
2 SPACES PER 3 BED UNIT:	30
1 VISITOR SPACE PER 4 UNITS:	8
TOTAL CARSPACES REQUIRED:	74
PROVIDED	
1 SPACE PER 1 BED UNIT:	0
1.5 SPACES PER 2 BED UNIT:	37
2 SPACES PER 3 BED UNIT:	36
VISITOR SPACES PROVIDED (ONSITE):	8
VISITOR SPACES PROVIDED (OFFSITE):	2
TOTAL CARSPACES PROVIDED:	77

BUILDING APPROVAL
 Approved under Section 23
 of the ACT Building Act 2004
 Date: - 2 JUN 2017
 Shahrokh K. Vaziri
 Principal Building Certifier, Lic. No. 10926208



REVISIONS	
No.	Description
1	ISSUED FOR PERMIT
2	ISSUED FOR CONSTRUCTION

Client Name:
DI IULIO BUILDING

Project Name:
PROPOSED MULTI UNIT DEVELOPMENT

Project Address:
B3 S16, MONCREIFF ACT

Drawing Title:
BLOCK A - FLOOR PLANS

Project Architect:	FKA
Design Architect:	BDH
Checked:	FKA
Project No.:	1616
Scale:	As Indicated
Commenced:	SEPT 16
Print Date:	13/11/2016 12:08:46 PM
Project Phase:	DA



1 BLOCK A - GFL
1: 100

2 BLOCK A - 1FL
1: 100

SITE STATISTICS	
SITE AREA	5802m ²
GFA	
GROUND FLOOR GFA:	1915m ²
FIRST FLOOR GFA:	1570m ²
SECOND FLOOR GFA:	1327m ²
TOTAL GFA:	4812m ²
PLOT RATIO	79%
PERMISSIBLE PLOT RATIO:	80%
SITE COVER	
BUILDING FOOTPRINT:	1915m ²
DRIVEWAY AREA:	1892m ²
DEEP ROOT PLANTING AREA:	1327m ²
DEEP ROOT PLANTING PERCENTAGE:	22%
COB (EXCL DRIVEWAYS):	1172m ²
PARKING REQUIREMENTS	
1 SPACE PER 1 BED UNIT:	0
1.5 SPACES PER 2 BED UNIT:	36
2 SPACES PER 3 BED UNIT:	30
1 VISITOR SPACE PER 4 UNITS:	4.76
TOTAL CARSPACES REQUIRED:	76
PROVIDED	
1 SPACE PER 1 BED UNIT:	0
1.5 SPACES PER 2 BED UNIT:	37
2 SPACES PER 3 BED UNIT:	30
VISITOR SPACES PROVIDED (OFFSITE):	9
TOTAL CARSPACES PROVIDED (OFFSITE):	2
TOTAL CARSPACES PROVIDED:	77

- EER NOTES**
- 225mm WATTLE PODE TO CONCRETE GLASS UNO
 - R.0 CEILING INSULATION
 - R2 WALL INSULATION TYPICAL
 - GRADE OR ABOVE TO ALL WINDOWS
 - PROVIDE SEALS TO ALL EXTERNAL DOORS, WINDOWS & EXTERNAL EXHAUST FANS
 - CARPENS TO UNDERSIDE OF METAL ROOFS
 - NO SARKING TO UNDERSIDE OF TILE/SLATES DESIGNATED BUSHFIRE BAL 12.5 OF HIGHER

- ELEVATION LEGEND**
- A/C AIR CONDITIONER UNIT
 - AWD POWDERCOATED ALUMINIUM FRAMED WINDOWS AND DOORS
 - CB CUSTOM ORB PROFILE COLORBOND
 - CFG COLORBOND FACIA AND GUTTERS
 - CGD COLORBOND ROLLER DOOR
 - CS1 CLADDING - STAIN HORIZONTAL WITH PAINTED FINISH
 - CS2 CLADDING - AXON VERTICAL WITH PAINTED FINISH
 - CL CLOTHES LINE
 - OB8 OBTURE GLASS WINDOW
 - DP DOWNPIPES
 - FB FACE BRICKWORK
 - FEL FINISHED FLOOR LEVEL
 - FGL FINISHED GROUND LEVEL
 - SK SKYLIGHT
 - GAG GAS METER LOCATION
 - HWS HOT WATER SYSTEM
 - LB LETTERBOXES
 - MB METER BOX LOCATION
 - MRS METAL ROOF SHEETING
 - NGL NATURAL GROUND LEVEL
 - OG8 OPAQUE GLASS BALUSTRADE
 - PB POWDERCOATED ALUMINIUM
 - POP PREFINISHED CLADDING PANEL
 - PGL POWDERCOATED METAL PERGOLA
 - RWF1 RENDERED AND PAINTED MASONRY WALL
 - RWF2 RENDERED AND PAINTED MASONRY WALL
- NOTE: REFER TO EXTERNAL FINISHES SCHEDULES FOR COLOUR VERIFICATIONS.

PLANNING AND DEVELOPMENT ACT 2007
APPROVAL GRANTED
 PURSUANT TO SECTION 165
 Delegate name: AJITH BUDDHADASA
 Date: 21/2/2017

BUILDING APPROVAL
 Approved under Section 23
 of the ACT Building Act 2004
 Date: -2 JUN 2017
 Shahrokh K. Vaziri
 Principal Building Certifier, Lic. No: 19928208

ELEVATION NOTES

- (1) ALL WORKS TO BE IN ACCORDANCE WITH BCA
- (2) VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION
- (3) CONCRETE FOOTINGS AND SLABS TO AS 2870
- (4) TIMBER FRAME TO AS 1684
- (5) IMPROVED ALUMINIUM SLIDING WINDOWS TO MANUFACTURERS SPECIFICATION
- (6) ELECTRICAL WORK TO AS 3000
- (7) FINISHES COLOURS AS SELECTED BY BUILDER

Rev	Date	Description	By	Check
1	10/1/15	BLOCK A ELEVATIONS - UPDATE SET BASED ON CIVIL SET. ON APPLICATION GET		
2	12/1/15	UPDATE SET		



1 **BLOCK A - NORTH ELEVATION**
1 : 100



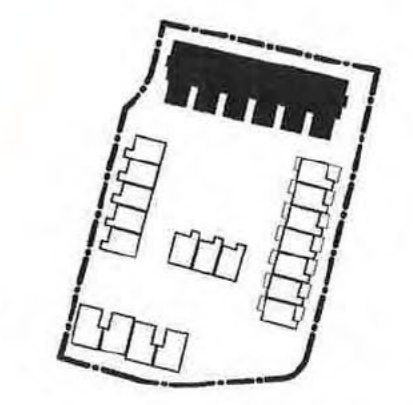
2 **BLOCK A - SOUTH ELEVATION**
1 : 100



3 **BLOCK A - EAST ELEVATION**
1 : 100



4 **BLOCK A - WEST ELEVATION**
1 : 100



5 **KEY PLAN BLOCK A**
1 : 1000

SCALE BAR 1:1000

Client Name: **DI IULIO BUILDING**

DI IULIO

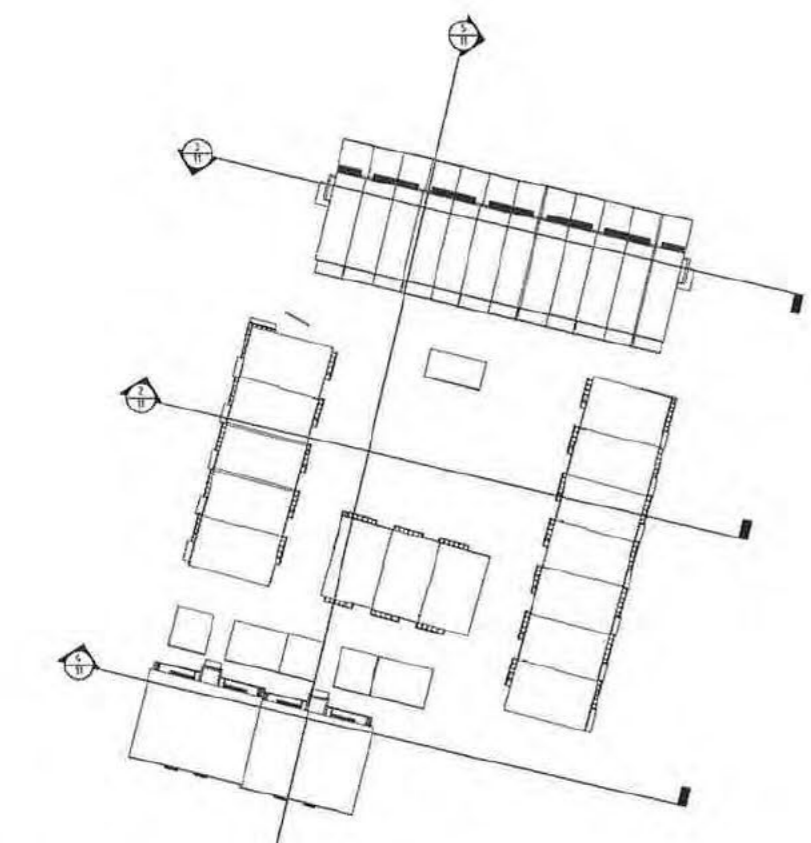
Project Name: **PROPOSED MULTI UNIT DEVELOPMENT**

Project Address: **B3 S16, MONCREIFF ACT**

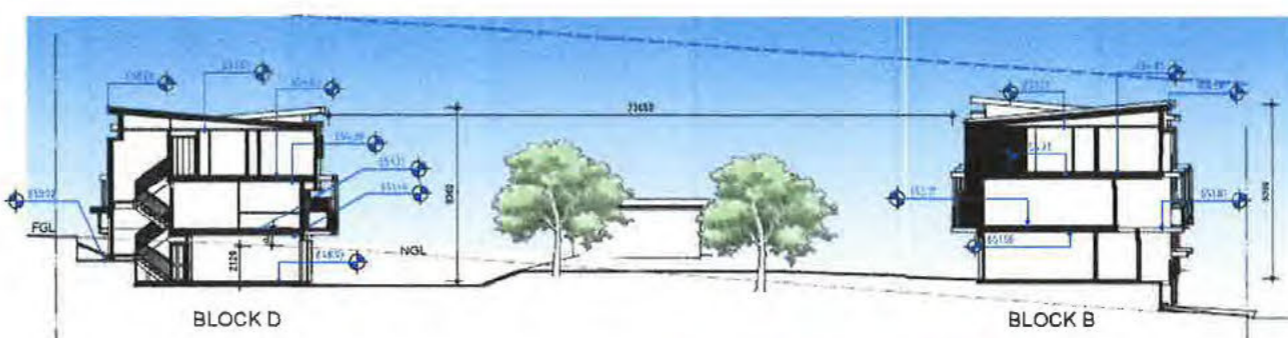
Drawing Title: **BLOCK A - ELEVATIONS**

Project Architect:	FKA
Design Architect:	BDH
Checked:	FKA
Project No:	1818
Scale:	As Indicated
Commenced:	SEPT 15
Print Date:	13/11/2015 12:06:50 PM
Project Phase:	DA

13



1 SITE PLAN
1:500
SCALE BAR 1500



2 SECTION 1
1:200

PLANNING AND DEVELOPMENT ACT 2007
APPROVAL GRANTED
PURSUANT TO SECTION 185
Delegate name: AJITHI DEVEDHARASA
Date: 21/2/2017



3 SECTION 2
1:200



4 SECTION 3
1:200

- SECTION NOTES**
- ALL CONSTRUCTION METHODS, INSTALLATION AND MATERIALS TO COMPLY WITH THE B.A. relevant AUSTRALIAN STANDARDS, LOCAL AUTHORITIES REQUIREMENTS AND APPLICABLE CODES.
- EDGE SLAB**
INTERNAL BEAM CONCRETE RAFT SLAB TO AS2010 REFER TO ENGINEER'S SPECIFICATIONS
- RAFT SLAB POLYETHYLENE 1000 FORMER REFER TO EER NOTES AND ENGINEER'S SPECIFICATIONS FOR DEPTH 600
- RAFT SLAB VAPOR BARRIER TO COMPLY WITH AS278
- EXTERNAL WALLS**
90MM STUD 18MM CAVITY 110 ERICI WINDRES CONSTRUCTION TO AS1564 AND AS1708 INSULATION TO AS1640 REFER TO EER NOTES FOR RATING
- INTERNAL PLASTER BOARD 1200 TYPICAL
- FLASHINGS, WEAP HEADS OPC AND ARTICULATION JOINTS TO AS3700
- INTERNAL WALLS**
TIMBER STUD FRAME TO AS 184 PLASTER BOARD WALL 1200 TYPICAL
- CEILING**
PLASTER BOARD CEILING LINING TYPICAL CEILING INSULATION TO AS2599 REFER TO EER NOTES FOR RATING.
- EAVES**
FC SHEETING TO EAVES 50FF TO AS1564
- OUTSIDE AND FASIA**
COLOUR BOND STEEL EAVES FASIA AND GUTTER PROFILE INSTALLED TO MANUFACTURERS SPECIFICATIONS
- ROOF STRUCTURE**
TIMBER ROOF TRUSSES SPACED AT 600MM MAX. TO MANUFACTURERS DESIGN AND INSTALLATION SPECIFICATIONS CONCRETE ROOF TILES TO AS3906

SITE STATISTICS

SITE AREA	5802m²
GFA	1815m²
GROUND FLOOR GFA:	1673m²
FIRST FLOOR GFA:	125m²
SECOND FLOOR GFA:	462m²
TOTAL GFA:	
PERMITTED PLOT RATIO:	78%
PERMISSIBLE PLOT RATIO:	80%
SITE COVER	1815m²
BUILDING FOOTPRINT:	1682m²
DRIVEWAY AREA:	162m²
DEEP ROOT PLANTING AREA:	132m²
DEEP ROOT PLANTING PERCENTAGE:	23%
COS (EXCL DRIVEWAYS):	1170m²

LETTERBOX NOTES

LETTERBOXES ARE TO BE NUMBERED VERTICALLY TOP TO BOTTOM IN ACCORDANCE WITH AUSTRALIAN STANDARDS. THIS IS TO ENSURE THE POSTMAN DOES NOT NEED TO DOUBLE BACK OR DISMOUNT FROM THEIR BIKE TO DEPOSIT THE LETTERS INTO MAILBOXES. LETTERBOX LOCATION IS DENOTED WITH AN 'LB'

WASTE & RECYCLING NOTES

WASTE ENCLOSURE

1 ENCLOSURE PROPOSED

1500 RECYCLING GENERATED PER WEEK

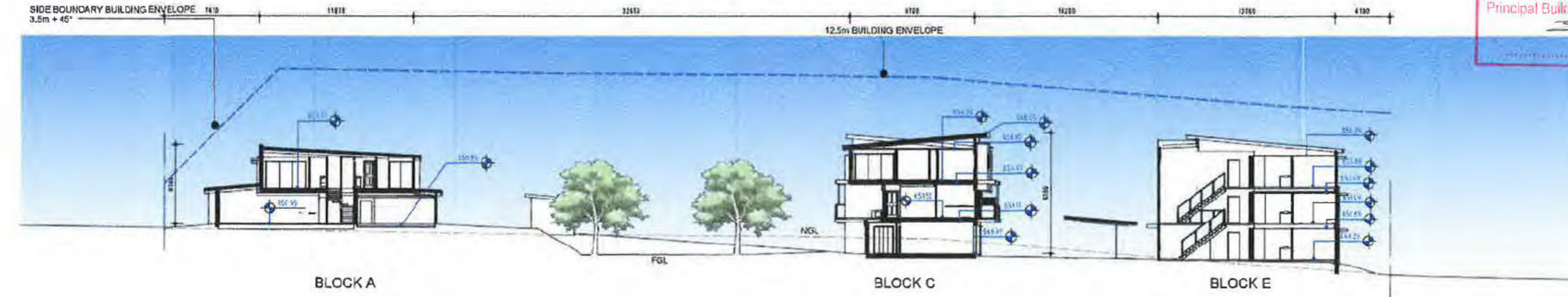
2 OFF 1100H HOPPERS FOR RECYCLING PROVIDED

6400 WASTE GENERATED PER WEEK

2 OFF 3000 HOPPERS FOR WASTE PROVIDED - TO BE EMPTIED ONCE A WEEK

EER NOTES

- 225mm WAFFLE PODS TO CONCRETE SLAB AND
- R2 CEILING INSULATION
- R2 WALL INSULATION TYPICAL
- SINGLE GLAZING TO ALL WINDOWS
- PROVIDE SEALS TO ALL EXTERNAL DOORS, WINDOWS & EXTERNAL EXHAUST FANS
- PARKING TO UNDERSIDE OF METAL ROOFS
- NO PARKING TO UNDERSIDE OF TILE UNLESS DESIGNATED BUS-HIRE BAL 12.5 OR HIGHER



5 NS LONG SECTION
1:200

BUILDING APPROVAL
Approved under Section 28 of the ACT Building Act 2004
Date: - 0 JUN 2017
Shahzad H. Vaziri
Principal Building Certifier Lic. No: 15926

Client Name:	
DI IULIO BUILDING	DI IULIO
Project Name:	PROPOSED MULTI UNIT DEVELOPMENT
Project Address:	B3 S16, MONCREIFF ACT
11/43	

Drawing Title: SITE SECTIONS

Project Architect:	FKA	NORTH
Design Architect:	BDH	
Checked:	FKA	
Project No:	1518	
Scale:	As Indicated	
Commenced:	SEPT 15	
Print Date:	13/11/2015 12:06:38 PM	
Project Phase:	DA	

11