



ACT
Government

Chief Minister, Treasury and
Economic Development

Freedom of Information Disclosure Log Publication Coversheet

The following information is provided pursuant to section 28 of the *Freedom of Information Act 2016*.

Application Details	
Ref. No.	CMTEDDFOI 2026-065
Date of Application	26 March 2026
Date of Decision	29 May 2026
Processing time (in working days)	44
Fees	Waived
Decision on Access	Partial Release
Information Requested (summary)	All documents including communication between CMTEDD, Sport and Recreation or Venues ACT, or the Minister for Sport and Recreation and the Australian Sports Commission relating to safety concerns at the Canberra Stadium.
Publication Details	
Original application	<input checked="" type="checkbox"/> Published <input type="checkbox"/> N/A
Decision notice	<input checked="" type="checkbox"/> Published <input type="checkbox"/> N/A
Documents and schedule	<input checked="" type="checkbox"/> Published <input type="checkbox"/> N/A
Decision made by Ombudsman	N/A
Additional information identified by Ombudsman	N/A
Decision made by ACAT	N/A
Additional information identified by ACAT	N/A



From: [REDACTED]

Sent: Thursday, 26 March 2026 11:41 AM


To: CMTEDD FOI <CMTEDDFOI@act.gov.au>

Subject: RE: CMTEDDFOI 2026-065 - Freedom of Information request - Clarification request

Hi Emma

Thank you for the emails. I've discussed the clarification suggestions with [REDACTED] and he agrees to the addition of Venues ACT to both CMTEDDFOI 2026-065 and -066. As for the timeframe, he has suggested from 21 October 2024 to 25 March 2026.

Please let me know if you require an additional reply to the clarification request on CMTEDDFOI 2026-066.



From: CMTEDD FOI <CMTEDDFOI@act.gov.au>

Sent: Thursday, 26 March 2026 11:15 AM

To: [REDACTED] CMTEDD FOI <CMTEDDFOI@act.gov.au>

Subject: RE: CMTEDDFOI 2026-065 - Freedom of Information request - Clarification request

OFFICIAL

Good morning [REDACTED]

This email is to advise you that we have received your request and to clarify the scope of this request.

Can you please advise of a timeframe for the request. Eg last two years or since xx date. This will give clear search parameters as it is currently open-ended.

Would you also like us to include Venues ACT in the scope? As stadium management falls under them. I have highlighted in yellow the additions or where more information is needed.

All documents including communication between CMTEDD, Sport and Recreation or Venues ACT, or the Minister for Sport and Recreation and the Australian Sports Commission relating to safety concerns at the Canberra Stadium for [please specify timeframe]

Please do not hesitate to contact me on the below number should you need to discuss.

Kind regards

Emma

Emma Hotham (she/her) | Director, CMTEDD FOI

Phone: 02 6207 0811 | emma.hotham@act.gov.au

Chief Minister, Treasury and Economic Development Directorate | **ACT Government**

Level 1, 220 London Circuit, Canberra City | GPO Box 158 Canberra ACT 2601 | www.act.gov.au

From: no-reply@act.gov.au <no-reply@act.gov.au>

Sent: Thursday, 26 March 2026 9:48 AM

To: CMTEDD FOI <CMTEDDFOI@act.gov.au>

Subject: CMTEDDFOI 2026-065 - Freedom of Information request

Caution: This email originated from outside of the ACT Government. Do not click links or open attachments unless you recognise the sender and know the content is safe.

Please find online enquiry details below. Please ensure this enquiry is responded to within fourteen working days.

Your details

All fields are optional, however an email address OR full postal address must be provided for us to process your request. An email address and telephone contact number will assist us to contact you quickly if we need to discuss your request.

Title:

First Name:

Last Name:

Business/Organisation:

Address:

Suburb:

Postcode:

State/Territory:

Phone/mobile:

Email address:

Request for information

(Please provide as much detail as possible, for example subject matter and relevant dates, and also provide details of documents that you are not interested in.)

Under the Freedom of Information Act 2016 I want to access the following document/s (*required field):

All documents including communication between CMTEDD, Sport and Recreation, or the Minister for Sport and Recreation and the Australian Sports Commission relating to safety concerns at the Canberra Stadium.

I do not want to access the following documents in relation to my request::

Thank you.
Freedom of Information Coordinator



FREEDOM OF INFORMATION REQUEST – NOTICE OF DECISION

I refer to your application under section 30 of the *Freedom of Information Act 2016* (the Act), received by the Chief Minister, Treasury and Economic Development Directorate (CMTEDD) on 26 March 2026.

Specifically, you have sought access to the following information:

“All documents including communication between CMTEDD, Sport and Recreation, or the Minister for Sport and Recreation and the Australian Sports Commission relating to safety concerns at the Canberra Stadium.”

On 20 April 2026, your office clarified the scope of your request and agreed to the points below.

1. The reference to “safety concerns” relates specifically to matters associated with the **condition, structural integrity, or built-asset safety of Canberra Stadium?**
2. That the scope should exclude incident-based matters occurring within the stadium and instead focus on safety concerns associated with the **physical condition of Canberra Stadium itself.**

This included refining the scope in this way to exclude material such as:

- individual patron incidents requiring emergency services,
- operational matters unrelated to the stadium’s condition, and
- minor facilities issues (for example, blocked amenities or routine maintenance matters).

Authority

I am an Information Officer appointed by the CMTEDD Director-General under section 18 of the Act to deal with access applications made under Part 5 of the Act.

Timeframes

In accordance with section 40 of the Act, CMTEDD is required to provide a decision on your access application within 30 days.

As this matter required third party consultation, the decision due date was extended by 15 working days, in accordance with section 40(2) of the Act.

Therefore, a decision is due by **3 June 2026**.

Decision on access

Searches of CMTEDD records have identified 26 documents within the scope of your request.

I have decided to grant **full access** to six documents, grant **partial access** to 19 documents and **exempt** one document.

The records identified as relevant to your application are listed in the schedule enclosed at **Attachment A**. This provides a description of each document that falls within the scope of your request and the access decision for each of those documents.

Release of documents

The information being released to you is provided at **Attachment B**.

Statement of Reasons

In accordance with section 54(2) of the Act a statement of reasons outlining my decisions is below. In reaching my access decisions, I have taken the following into account:

- the Act
- the information that falls within the scope of your request
- third party views
- information that falls under CMTEDDFOI 2026-067
- publicly available information
- *Human Rights Act 2004*

As a decision maker, I am required to determine whether the information within scope is in the public interest to release. To make this decision, I am required to:

- assess whether the information would be contrary to public interest to disclose as per **Schedule 1** of the Act.
- perform the public interest test as set out in section 17 of the Act by balancing the factors favouring disclosure and factors favouring nondisclosure in **Schedule 2** of the Act.

Exemptions claimed

Schedule 1: Information taken to be contrary to the public interest.

Section 1.6 Cabinet information

Under section 1.6(1)(a) of the Act, information that has been submitted, or that a Minister proposes to submit, to Cabinet for its consideration and that was brought into existence for that purpose and section 1.6(1)(d) information the disclosure of which would reveal any deliberation of Cabinet (other than through the official publication of a Cabinet decision) of Schedule 1 of the Act, is considered Cabinet information and is exempt from release. The purpose of this exemption is to maintain the confidentiality of the Cabinet process and to uphold the principle of collective ministerial responsibility.

This exemption was discussed in *The Commonwealth v Northern Land Council* [1993] HCA 24; (1993) 176 CLR 604 (21 April 1993). Paragraph 6 of the decision states that:

... it has never been doubted that it is in the public interest that the deliberations of Cabinet should remain confidential in order that the members of Cabinet may exchange differing views and at the same time maintain the principle of collective responsibility for any decision which may be made.

One document that you have requested falls within Schedule 1, section 1.6 of the Act as it is information which has been brought into existence to guide Cabinet in its decision making and assist it in its deliberations. It is reasonable to consider that the disclosure of this material would or could reveal those deliberations. Therefore, this document is exempt from release under the Act.

Public Interest Test

The Act has a presumption in favour of disclosure. As a decision maker I am required to decide where, on balance, public interest lies. As part of this process, I must consider factors favouring disclosure and nondisclosure.

In *Hogan v Hinch* (2011) 243 CLR 506, [31] French CJ stated that when 'used in a statute, the term [public interest] derives its content from "the subject matter and the scope and purpose" of the enactment in which it appears'. Section 17(1) of the Act sets out the test, to be applied to determine whether disclosure of information would be contrary to the public interest. These factors are found in subsection 17(2) and Schedule 2 of the Act.

Schedule 2: Factors to be considered when deciding the public interest.

Taking into consideration the information within scope of your request, I have identified that the following public interest factors are relevant to determine if release of the information contained within these documents is within the 'public interest'.

Factors favouring disclosure (Section 2.1)

- *Section 2.1(a)(i) - promote open discussion of public affairs and enhance the government's accountability.*
- *Section 2.1(a)(ii) - contribute to positive and informed debate on important issues or matters of public interest.*
- *Section 2.1(a)(viii) - reveal the reason for a government decision and any background or contextual information that informed the decision.*

Having reviewed the material within scope, I have placed considerable weight on the principles of openness, transparency, and accountability embedded in the Act. The disclosure of the requested information is intended to enhance public understanding of government operations and provide clear insight into the basis for administrative decision-making. The subject matter of your request concerns issues of public importance, and disclosure will assist the community to engage in positive and informed debate.

I am satisfied that these factors favouring disclosure carry some weight. However, these factors are to be balanced against the factors favouring nondisclosure.

Factors favouring nondisclosure (Section 2.2)

- *Section 2.2(a)(ii) - prejudice the protection of an individual's right to privacy or any other right under the Human Rights Act 2004.*

- *Section 2.2(a)(xi) - prejudice trade secrets, business affairs or research of an agency or person.*
- *Section 2.2(b)(v) - the information is about unsubstantiated allegations of misconduct or unlawful, negligent or improper conduct and disclosure of the information could prejudice the fair treatment of an individual.*

Having reviewed the information, I consider that the protection of an individual's right to privacy, especially in the course of dealings with the ACT Government is a significant factor as the parties involved have provided their personal information for the purposes of working with the ACT Government. This, in my opinion, outweighs the benefit which may be derived from releasing the personal information of the individual's involved in this matter.

Individuals are entitled to expect that the personal information they have supplied as part of this process will be dealt with in a manner that protects their privacy. Considering the type of information to be withheld from release, I am satisfied that the factors in favour of release can still be met while protecting the personal information of the individuals involved. I therefore weigh the factor for nondisclosure more highly than the factor in favour of release in this instance. As a result, I have decided that release of this information (names, phone numbers, email addresses, and identifying details of individuals not employed by the ACT Public Service) could prejudice their right to privacy under the *Human Rights Act 2004*.

Release of information concerning individuals working within the ACT Public Service is generally not considered to prejudice the protection of an individual's right to privacy. However, where mobile phone numbers may be used for home and work purposes, this information is redacted, as it could or would reasonably be expected to prejudice an individual's right to privacy under the *Human Rights Act 2004*.

I have also considered the impact of disclosing information which relates to business affairs. In the case of *Re Mangan and The Treasury* [2005] AATA 898 the term 'business affairs' was interpreted as meaning 'the totality of the money-making affairs of an organisation or undertaking as distinct from its private or internal affairs'. Schedule 2 section 2.2(a)(xi) allows for government information to be withheld from release if disclosure of the information could reasonably be expected to prejudice the trade secrets, business affairs or research of an agency or person. The information withheld from release could reasonably be expected to unfairly prejudice the business affairs of third parties, along with unwanted commercial implications.

Some information within scope includes material relating to unsubstantiated allegations of improper conduct concerning identifiable individuals. Disclosure of this information could risk causing unwarranted personal or professional harm, including distress or damage to standing, without a proper evidentiary basis.

Having applied the test outlined in section 17 of the Act and deciding that release of some information contained in the documents is not in the public interest to release, I have chosen to redact this specific information in accordance with section 50(2). Noting the pro-disclosure intent of the Act, I am satisfied that redacting only the information that I believe is not in the public interest to release will ensure that the intent of the Act is met and will provide you with access to the majority of the information held by CMTEDD within the scope of your request.

Charges

Under section 107(2)(e) of the Act, a fee must be waived if the applicant is a member of the Legislative Assembly.

Online publishing – Disclosure Log

Under section 28 of the Act, CMTEDD maintains an online record of access applications called a [disclosure log](#).

Your original access application and my decision will be published on the CMTEDD disclosure log. Your personal contact details will not be published.

Ombudsman Review

My decision on your access request is a reviewable decision as identified in Schedule 3 of the Act. You have the right to seek Ombudsman review of this outcome under section 73 of the Act within 20 working days from the day that my decision is provided to you, or a longer period allowed by the Ombudsman.

We recommend using this form [Applying for an Ombudsman Review](#) to ensure you provide all of the required information. Alternatively, you may write to the Ombudsman at:

The ACT Ombudsman
GPO Box 442
CANBERRA ACT 2601

Via email: actfoi@ombudsman.gov.au

ACT Civil and Administrative Tribunal (ACAT) Review

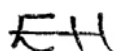
Under section 84 of the Act, if a decision is made under section 82(1) on an Ombudsman review, you may apply to the ACAT for review of the Ombudsman decision. Further information may be obtained from the ACAT at:

ACT Civil and Administrative Tribunal
GPO Box 370
Canberra City ACT 2601
Telephone: (02) 6207 1740

<http://www.acat.act.gov.au/>

Should you have any queries in relation to your request please contact the CMTEDD FOI Team by telephone on 6207 7754 or email CMTEDDFOI@act.gov.au.

Yours sincerely



Emma Hotham

Information Officer

Chief Minister, Treasury and Economic Development Directorate

29 May 2026



ACT
Government

Chief Minister, Treasury and
Economic Development

FREEDOM OF INFORMATION REQUEST SCHEDULE

WHAT ARE THE PARAMETERS OF THE REQUEST

Reference NO.

"All documents including communication between CMTEDD, Sport and Recreation or Venues ACT, or the Minister for Sport and Recreation and the Australian Sports Commission relating to safety concerns at the Canberra Stadium from 21 Oct 2024 to 25 March 2026."

CMTEDDFOI 2026-065

Ref No	Page number	Description	Date	Status	Reason for Exemption	Online Release Status
1	1-3	CM26 32916 Talking points - New stadium	--/03/2026	Full	N/A	Yes
2	4-5	FW Coaches Box Incident - GIO Stadium - Update	25/03/2026	Partial	Sch 2 s2.2 (a)(ii)	Yes
3	6	FW GIO Stadium	25/03/2026	Partial	Sch 2 s2.2 (a)(ii) Sch 2 s2.2 (a)(xi)	Yes
4	7-8	FW GIO STADIUM BRUCE ACT SOUTH WESTERN ENTRY OVERHEAD BEAM	14/05/2025	Partial	Sch 2 s2.2 (a)(ii)	Yes
5	9-10	GIO STADIUM BRUCE ACT – SOUTH WEST ENTRY OVERHEAD BEAM REPORT	14/05/2025	Partial	Sch 2 s2.2 (a)(ii)	Yes
6	11-13	GIO STADIUM BRUCE ACT SOUTHERN BEAM PICS	Undated	Full	N/A	Yes
7	14-15	FW Height Safety Equipment	20/03/2026	Partial	Sch 2 s2.2 (a)(ii)	Yes
8	16-17	FW Work Place Visit - 00007428	24/03/2026	Partial	Sch 2 s2.2 (a)(ii)	Yes
9	18	00007428 - WPV Report	23/03/2026	Full	N/A	Yes
10	19	GIO- GIO Stadium Canberra key talking points 2026		Full	N/A	Yes
11	20-21	RE Canterbury Bulldogs head coach hand injury - south coaches box.	20/03/2026	Partial	Sch 2 s2.2 (a)(ii)	Yes
12	22-23	RE Coaches Box Incident - GIO Stadium	24/03/2026	Partial	Sch 2 s2.2 (a)(ii) Sch 2 s2.2 (a)(xi)	Yes
13	24-26	Image Attachment		Full	N/A	Yes

14	27-28	RE Coaches Box Incident - GIO Stadium response	25/03/2026	Partial	Sch 2 s2.2 (a)(ii) Sch 2 s2.2 (a)(xi)	Yes
15	29-32	RE GIO Stadium	25/03/2026	Partial	Sch 2 s2.2 (a)(ii) Sch 2 s2.2 (a)(xi)	Yes
16	33-34	RE Information required	25/03/2026	Partial	Sch 2 s2.2 (a)(ii)	Yes
17	35	RE Information required part 3	25/03/2026	Partial	Sch 2 s2.2 (a)(ii)	Yes
18	36-115	2020_0257_GIO Stadium - Condition & Lifecycle Report - Draft V.02 150121	15/01/2021	Partial	Sch 2 s2.2 (a)(ii)	Yes
19	116-118	RE Infrastructure Canberra PGI Work Order 303486 Confirmation	20/03/2026	Partial	Sch 2 s2.2 (a)(ii) Sch 2 s2.2 (a)(xi)	Yes
20	119-121	RE Match Day 20032026	20/03/2026	Partial	Sch 2 s2.2 (a)(ii) Sch 2 s2.2 (a)(xi)	Yes
21	122-123	RE Match Day 20032026(1)	20/03/2026	Partial	Sch 2 s2.2 (a)(ii) Sch 2 s2.2 (b)(v) Out of Scope	Yes
22	124-126	RE Water ingress GIO Stadium	20/03/2026	Partial	Sch 2 s2.2 (a)(ii) Sch 2 s2.2 (a)(xi)	Yes
23	127-129	RE Works at GIO Stadium	23/03/2026	Partial	Sch 2 s2.2 (a)(ii)	Yes
24	130	URGENT - Glazier - GIO Stadium - Western Stand - Southern Coaches Box	20/03/2026	Partial	Sch 2 s2.2 (a)(ii)	Yes
25	131	Urgent dot points - Stadium Condition Assessment	25/03/2026	Full	N/A	Yes
26	1-200	Document 1		Exempt	Sch 1 1.6	No
Total No of Docs						
26						

Talking Points

Issue

Date: March 2026

Subject: New stadium in Bruce

Key Messages:

1. The location for a new stadium in Bruce has not been determined.
2. The ACT Government is nearing completion with ongoing ecological testing on the CIT site in Bruce to ensure the seasonal cycle has been captured. Once complete, this work will inform a decision about the future of stadium infrastructure in the Territory.
- 3.2. The ACT Government continues to work closely with the Federal Government on the Bruce Sport, Health and Education precinct to develop an integrated mixed-use urban renewal precinct.
4. There is a cross-government working group taking place on Thursday, 26 March to progress planning on the Bruce Sport, Health and Education precinct. These discussions will contribute to future decisions concerning a new stadium.
- 5.3. Venues Canberra undertakes regular strategic asset management planning for the GIO Stadium, which includes reporting on current condition assessment.

Talking points

Maintenance

- While planning for a new stadium continues, the ACT Government is committed to ensuring GIO Stadium Canberra remains safe, functional and fit-for-purpose for all users.
- Venues Canberra maintains the stadium and performs capital works to ensure compliance, safety and a comfortable space for patrons, while planning for a new stadium continues.
- The following maintenance is planned to be carried out for the remainder of 2025-26:
 - Auto gates and door servicing
 - Monthly fire monitoring
 - Monthly fire protection tests
 - Bi-annual gutter cleaning


- Quarterly HVAC servicing
- 6-monthly CO2 calibration testing
- Monthly lift and GSM servicing
- 6-monthly water treatment
- Plumbing including inspections and annual backflow and thermostatic mixing valves inspections
- Annual roof safety systems and certification
- Annual lighting protection system inspections
- Kitchen equipment 6 monthly.

Venue strengths

- GIO Stadium Canberra is widely regarded as having one of the best playing surfaces in the country.
- This is regularly acknowledged in rugby union commentary and by players, particularly during high-performance matches.
- The playing surface at GIO Stadium Canberra is known for its resilience and ability to perform in all conditions, including wet and challenging weather—ensuring high-quality, fast-paced rugby.
- 2026 has presented Canberra with some unusual and erratic weather and the curating team has worked to prepare our venues to present our hirers with the best possible playing surfaces.
- The venue has played host to several major events including matches for the Rugby World Cup in 2003, the Masters Games in 2003, ANZAC NRL Test in 2013, AFC Asian Cup Australia 2015 matches, British and Irish matches in 2013 and 2025, Rugby League World Cup 2017, various NRL and Super Rugby finals, Freestyle Kings, concerts and more.
- GIO Stadium Canberra continues to be trusted by major codes to host national and international fixtures.
- That confidence reflects the quality of delivery, playing conditions, and overall event experience.

Issues (not for distribution)

- During the Raiders v Bulldogs match on Thursday, 19 March 2026, a window shattered in the coaches box at GIO Stadium.

- 
- Following this incident, Venues Canberra notified WorkSafe ACT and arranged for a site inspection to be conducted.
 - WorkSafe ACT carried out an inspection on Monday, 23 March 2026.
 - No PIN (provisional improvement notice) has been issued. WorkSafe ACT have requested internal reports be forwarded if undertaken.

Action Officer: Jacqui Harris

Cleared by: Annie de la Rue

Out of Scope

From: Siwakoti, Sundar <Sundar.Siwakoti@worksafe.act.gov.au>

Sent: Wednesday, 25 March 2026 7:55 AM

To: Rando, Jared <Jared.Rando@act.gov.au>

Cc: Gray, Adam <Adam.Gray@act.gov.au>; De Boni, Andrew <Andrew.deBoni@act.gov.au>

Subject: Re: Coaches Box Incident - GIO Stadium

Hi Jared and Andrew,

Thank you for providing the additional contact details. I have noted you as the primary contact for this workplace visit, as you were the only representative present and therefore would have received the Workplace Visit Summary.

Thank you also to Andrew for supplying the additional photographs, which appear to show a likely contributing factor to the incident. Jared also raised this matter during the workplace visit. We reviewed the available CCTV footage at the time; however, the recording was unclear and did not assist in determining the cause. At this stage, I am satisfied that no further review of the CCTV footage is required.

To ensure our records are complete, please provide the following:

- Details of the newly installed glass, including the manufacturer's specifications and the purchase receipt, so we can verify the exact type of glass installed.
- Thank you for installing the signage on the window, as this will help prompt patrons to use the window safely. However, based on the circumstances of the incident, a more effective control measure would be to replace the remaining original window glass in the other coaches box. The incident demonstrates a foreseeable risk of recurrence.
If you intend to retain the same type of glass, please ensure a risk assessment is completed, addressing the incident and the potential for similar events. Replacing the existing glass with a safer alternative—such as tempered or safety glass—would provide a higher level of risk control.
- If an internal investigation is underway, please provide a copy of the report once completed. Undertaking such an investigation is a positive step toward identifying root causes and preventing similar incidents.
- If an internal investigation has already been completed, please also provide a copy for our records.

Please let me know if you have any further questions.

Kind regards,

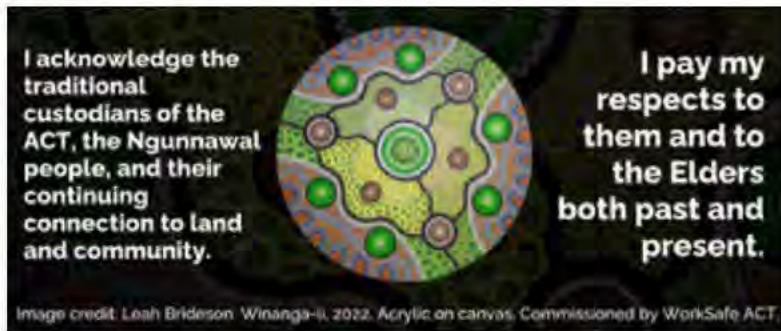
Sundar Siwakoti | Senior Inspector – General Industries

P: 132 281 | [Sch 2 2\(a\)\(ii\)](#) E : sundar.siwakoti@worksafe.act.gov.au

Office of the Work Health and Safety Commissioner

GPO Box 158 Canberra ACT 2601

WORKSAFEACT



From: Rando, Jared <Jared.Rando@act.gov.au>

Sent: 23 March 2026 12:34 PM

To: Siwakoti, Sundar <Sundar.Siwakoti@worksafe.act.gov.au>

Cc: Gray, Adam <Adam.Gray@act.gov.au>; De Boni, Andrew <Andrew.deBoni@act.gov.au>

Subject: Coaches Box Incident - GIO Stadium

Hi Sundar,

Thanks for stopping by today. Adam (cc'd) is the Senior Director here for Operations, Safety and Security and Andrew (cc'd) is the Senior Director for Infrastructure.

Adam is in the GIO office tomorrow so we can forward you all the information pertaining to the incident then if that's ok.

In the meantime, if you need anything additional please reach out to the three of us.

Regards,

Jared

Jared Rando | Venue Manager – GIO Stadium

Phone (02) 6256 6709 | **Sch 2.2(a)(ii)** | **Email** Jared.Rando@act.gov.au |

GPO Box 158 Canberra City ACT 2601

Out of Scope

From: Elkins, Matthew

Sent: Wednesday, 25 March 2026 5:36 PM

To: Orr, Melissa ; De Boni, Andrew ; Gray, Adam ; Bonny, Carly ; Rando, Jared

Cc: Bailey, Daniel ; Austin, Stassi

Subject: GIO Stadium

OFFICIAL

Hi All

I know there is a lot happening but I just wanted to share a consolidated list we are progressing

- Post review of the Southern Radio box and Southern Coaches box **Sch 2 2(a)(ii)** are undertaking works to replace the frame and window channel. To make safe in the period between works happening there will be a piece of non-operable glass installed. **Andrew clarified works yesterday at 5.48pm. Plus further info at 11.57am today**
- Adam once you have completed a risk assessment of the operable glass in the coaches and commentary boxes can you please share with this group and work safe. **Done**
- Jared please install signage and SOPs re use of the operable windows in each coach's and commentary boxes. Please confirm with this group when done. **Done**
- Andrew please ask the Glazier once they have attended site to provide a written report about the glass surfaces in the venue. **Glazier has attended, provided verbal report – Andrew has sent the info to the certifier**
- With the works done on the concourse can we please test this when appropriate. **Current rain has been used as testing – as noted no leaks from current rainfall. Bin has been put in changeroom for overnight and will be checked and removed prior to game**
- There is a bag over one of what I assume is an EWIS speakers in the Brumbies change room if this isn't serving an agreed purpose can this please be removed. **Done**
- Can we please paint the roof section in the Brumbies change room where there has been water ingress. **To be done tomorrow**
- There is mud walked through the far Southern Change room can we please ensure the cleaners manage this. **Mud is gone**

I am working from Melbourne tomorrow and Friday but will be contactable please call if you need anything

Thanks

Matt

Matthew Elkins | Executive Branch Manager; Venues Canberra |

Phone 6256 6708 | **Sch 2 2(a)(ii)** Email matthew.elkins@act.gov.au |

PO Box 666 JAMISON ACT 2614

Out of Scope

From: [REDACTED] Sch 2.2(a)(ii)
Sent: Wednesday, 14 May 2025 12:51 PM
To: De Boni, Andrew <Andrew.deBoni@act.gov.au>
Subject: GIO STADIUM BRUCE ACT – SOUTH WESTERN ENTRY OVERHEAD BEAM

Caution: This email originated from outside of the ACT Government. Do not click links or open attachments unless you recognise the sender and know the content is safe.

Hi Andrew,

Please find enclosed report on the beam as per our inspection yesterday.

Sch 2.2(a)(ii)

Compendium Design Pty Ltd

ABN 24 163 286 164 16 mobile Sch 2.2(a)(ii)
compendiumdesignpl@gmail.com

14 May 2025

Compendium Design Pty Ltd

ABN 24 163 286 164

compendiumdesignpl@gmail.com

Sch 2.2(a)(iii)

Venues Canberra
PO Box 666
Jamison Centre ACT 2614

Attention: Mr Andrew DeBoni

Dear Andrew

GIO STADIUM BRUCE ACT – SOUTH WESTERN ENTRY OVERHEAD BEAM

I refer to your request to inspect the reinforced concrete overhead beam at the south western entry.

The scope of works consists of site inspection, observations, reason for concrete cracking and staining, photographic evidence, public safety and remedial works.

The roof inspection was carried out by Compendium Design Pty Ltd on 13 May 2025.

Observations & Reasons

The observations arising from the inspection are as follows (also refer to the attached photographic documentation):

- There has been substantial water staining observed at the soffit of reinforcement concrete overhead beam at the south western entry caused by ponding and spilling rain water at the seating area above due to blocked existing floor sump
- There has been longitudinal cracking and light concrete spalling observed at the soffit of the beam cast in-situ against precast concrete stepped seating panel
- There is an existing about 50mm diameter floor sump with stainless steel grated cover installed at the northern end of the beam and cored open about 80mm diameter hole at the southern end of the beam
- The seating floor over the beam is flat with heavy deposit of siltation related to rain
- There has been a small fragment of concrete that does not match the colour and texture of the overhead beam reported to fall down on public



Aerial View on Stadium

Public Safety

The degree of concrete cracking and spalling is small and it does not represent any danger to the public at this stage. The beam soffit to be monitored at 1-year intervals.

Remedial Works

- Cleaning the bottom seating from siltation
- Cleaning existing floor sump
- Coring additional 80mm diameter sump in the middle and providing grated cover
- Provide grated cover for the existing cored sump

Should you have any queries regarding the above matter please do not hesitate to contact the undersigned.

Yours faithfully
Compendium Design Pty Ltd

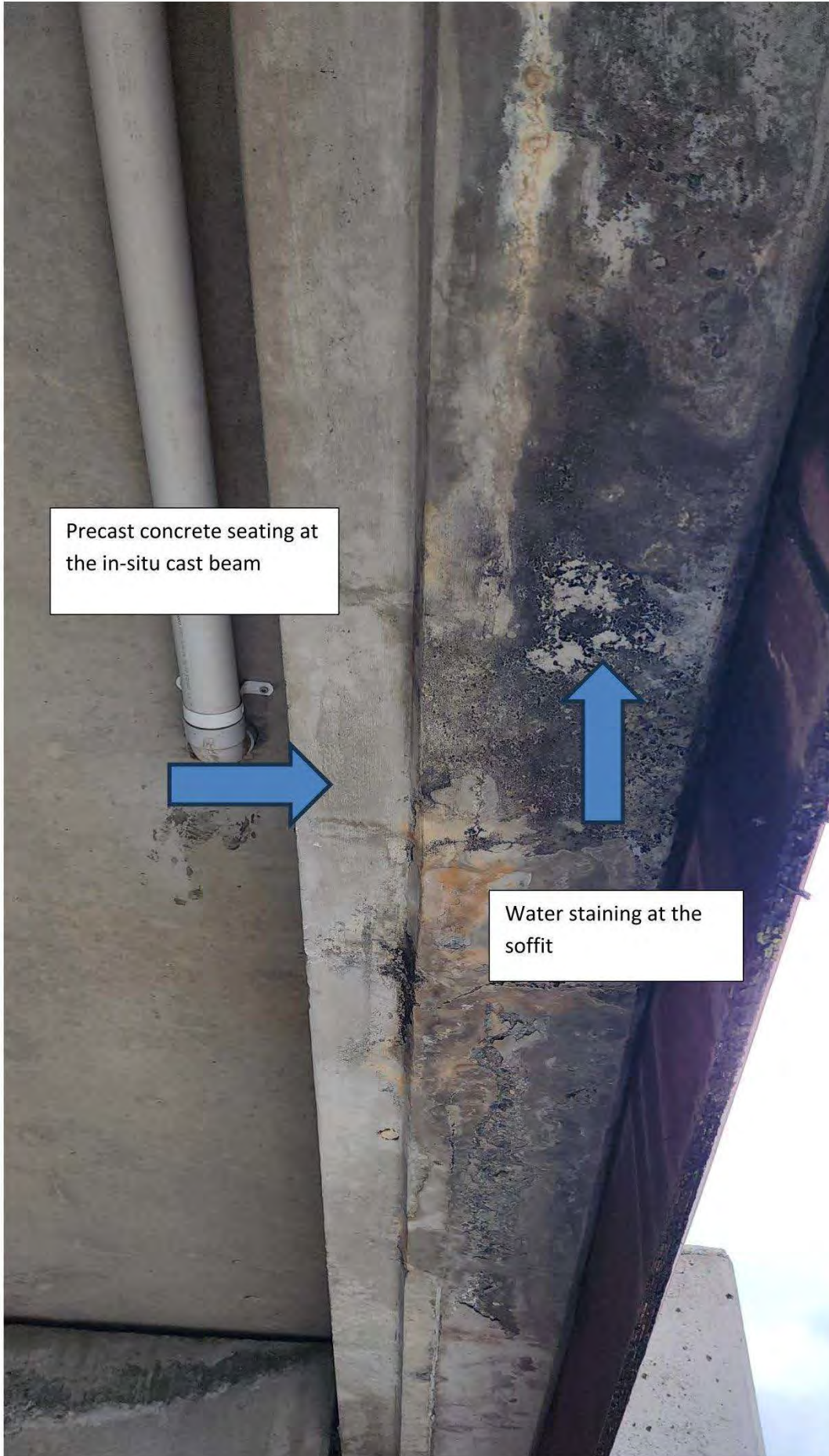
Sch 2.2(a)(ii)

GIO STADIUM BRUCE ACT – SOUTHERN ENTRY OVERHEAD BEAM



Concrete spalling and longitudinal cracking at the soffit of in-situ cast beam at the south-west

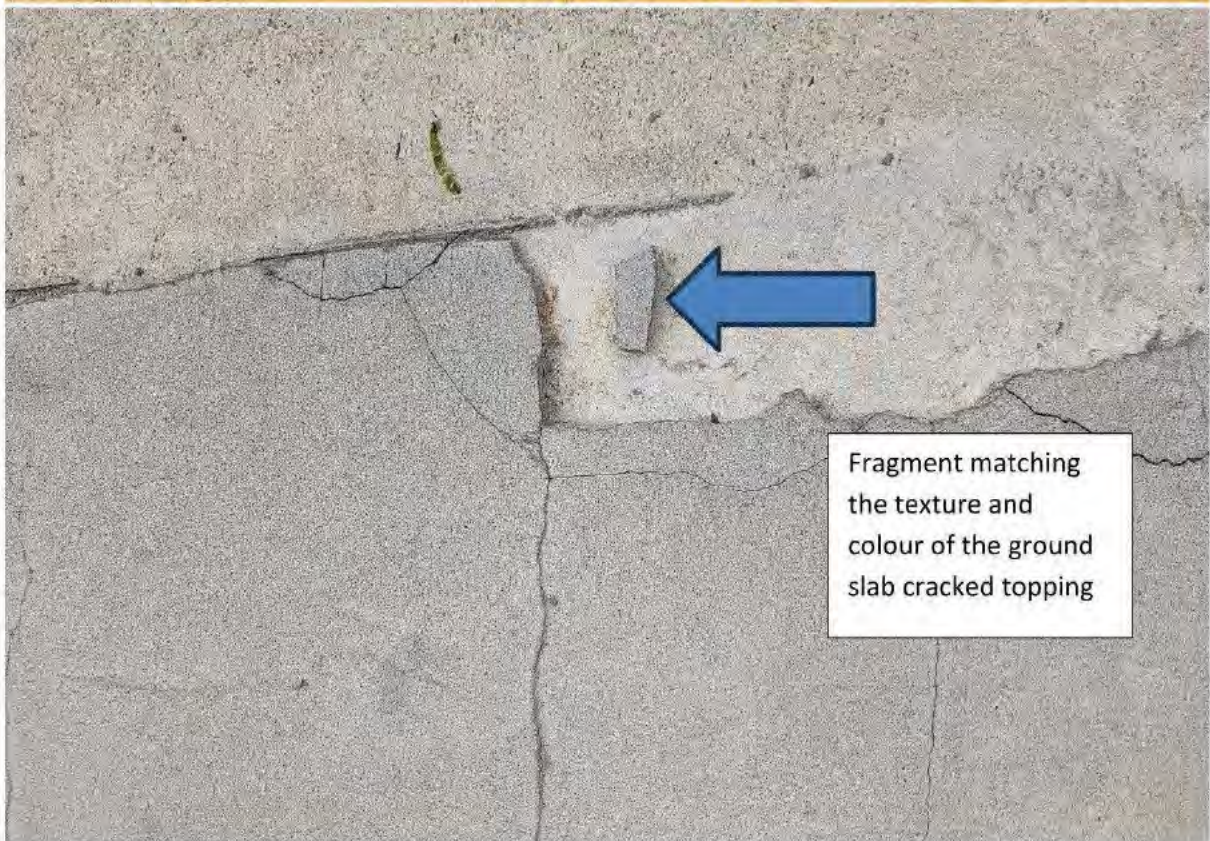
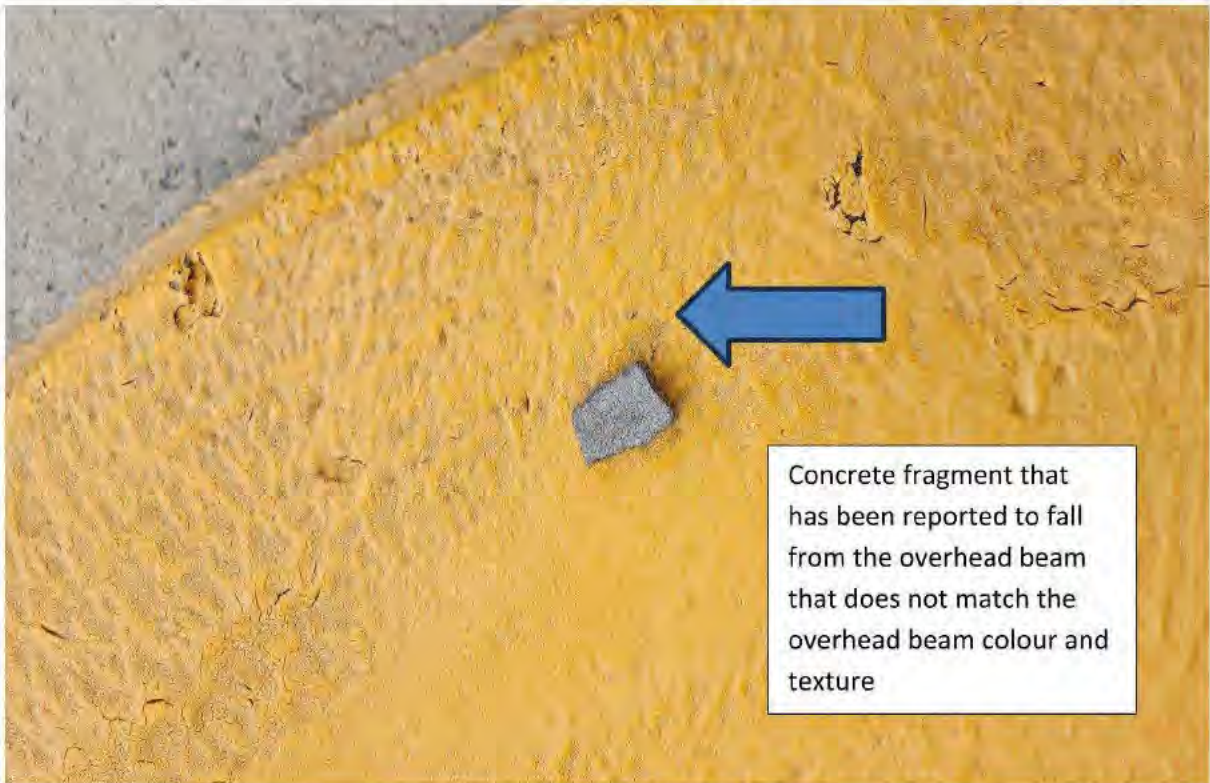
GIO STADIUM BRUCE ACT – SOUTHERN ENTRY OVERHEAD BEAM



Precast concrete seating at the in-situ cast beam

Water staining at the soffit

GIO STADIUM BRUCE ACT – SOUTHERN ENTRY OVERHEAD BEAM



Out of Scope

From: Elkins, Matthew <Matthew.Elkins@act.gov.au>

Sent: Friday, 20 March 2026 12:46 PM

To: De Boni, Andrew <Andrew.deBoni@act.gov.au>; Rando, Jared <Jared.Rando@act.gov.au>; Gray, Adam <Adam.Gray@act.gov.au>

Cc: Bailey, Daniel <Daniel.Bailey@act.gov.au>

Subject: Height Safety Equipment

OFFICIAL

Hi All

Appreciating this report is in Draft but with recognition of the associated risk effective immediately

- No access to West Grandstand roof- Please lock out access on all access points and put appropriate signage on any access point notifying no access in line with legislated protocols.
- No access to East Grandstand roof - Please lock out access on all access points and put appropriate signage on any access point notifying no access in line with legislated protocols.
- No access to West Ticket box roof - Please lock out access on all access points and put appropriate signage on any access point notifying no access in line with legislated protocols.
- No access to East Ticket box roof - Please lock out access on all access points and put appropriate signage on any access point notifying no access in line with legislated protocols.
- No access to internal climbing the light towers - Please lock out access on all access points and put appropriate signage on any access point notifying no access in line with legislated protocols.
- No access to internal climbing Tri – Vision - Please lock out access on all access points and put appropriate signage on any access point notifying no access in line with legislated protocols.

Please action as a priority and notify once complete.

Andrew can we please book these works to be completed as a priority.

Thanks

Matt

Matthew Elkins | Executive Branch Manager, Venues Canberra |
Phone 6256 6708 | [Sch 2.2\(a\)\(ii\)](#) Email matthew.elkins@act.gov.au |
PO Box 666 JAMISON ACT 2614



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Out of Scope

From: Rando, Jared <Jared.Rando@act.gov.au>

Sent: Tuesday, 24 March 2026 2:26 PM

To: Gray, Adam <Adam.Gray@act.gov.au>; Elkins, Matthew <Matthew.Elkins@act.gov.au>; De Boni, Andrew <Andrew.deBoni@act.gov.au>

Subject: FW: Work Place Visit - 00007428

FYI

Jared Rando | Venue Manager – GIO Stadium

Phone (02) 6256 6709 | **Sch 2.2(a)(ii)** | **Email** Jared.Rando@act.gov.au |

GPO Box 158 Canberra City ACT 2601

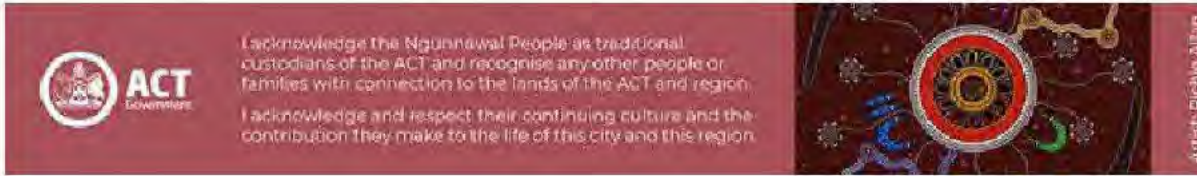


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From: WorkSafe ACT <worksafe@worksafe.act.gov.au>
Sent: Tuesday, 24 March 2026 1:50 PM
To: Robertson, Alex <Alex.Robertson@act.gov.au>; Rando, Jared <Jared.Rando@act.gov.au>
Cc: Siwakoti, Sundar <Sundar.Siwakoti@worksafe.act.gov.au>
Subject: Work Place Visit - 00007428

You don't often get email from worksafe@worksafe.act.gov.au. [Learn why this is important](#)

Caution: This email originated from outside of the ACT Government. Do not click links or open attachments unless you recognise the sender and know the content is safe.

Hi,
Please see
attached

PDFs to view a copy of your Work Place Visit Report.

Inspection number: 00007428
Date of Visit: 10:55 AM 23/03/2026
Lead Inspector: Inspector WSACT-00047
Company Name: CMTEDD VENUES CANBERRA

If you have any specific questions in relation to this Work Place Visit Report, please email the Inspector cc'd into this email.;

For any further information please contact WorkSafe on:
Telephone: (02) 6207 3000
Facsimile: (02) 6205 0336
Email: worksafe@worksafe.act.gov.au

WORKPLACE VISIT REPORT

Initial Information:

Inspection number: 00007428
Lead inspector: Inspector WSACT-00047
Additional accompanying inspectors: Yes
Inspector WSACT-00056
Date and time visit commenced: 10:55 AM 23/03/2026
Primary Legislation visit conducted under: Work Health and Safety Act 2011

Entity Information:

Type of entity: Directorate
Name of individual or registered company: CMTEDD VENUES CANBERRA
ABN: 88078876508
Industry group: Other
Address: Flemington Road, Mitchell ACT 2911
Contact name: Jared Rando
Contact number:
Contact email: jared.rando@act.gov.au

Details of Visit:

Address: Battye Street, Bruce ACT 2617
Notification of entry to the workplace was conducted under the legislation referenced in the initial information of this workplace visit report to:
Notification to entry additional information : Venue Manager

Inspector Notes:

WorkSafe ACT inspector(s) WSACT-00056 and WSACT-00047 attended your workplace on 10:55 AM 23/03/2026.

Inspector(s) identified and recorded the entity information in their contemporaneous notes as per the Entity Information listed above, if this is incorrect, please contact the lead inspector.

As per the Details of Visit, inspectors notified of their entry under the listed legislation and notified the relevant person on the date and time noted in the Initial Information.

If the inspection identified any breaches, you will be notified by the lead inspector.

If you received regulatory notices, it is important you read the back of each notice as it contains important information regarding your rights in relation to that notice.

If you need to contact the inspector that visited your workplace, please email the inspector cc'd into the email that this report was attached to.

Disclaimer:

The issues identified during this visit are only indicative of non-compliance with the *Work Health and Safety Act 2011*, the *Work Health and Safety Regulation 2011*, the *Dangerous Substances Act 2004*, the *Workers Compensation Act 1951*, the *Scaffolding and Lifts Act 1912*, the *Machinery Act 1949*, the *Dangerous Goods (Road Transport) Act 2019*, the *Labour Hire Licensing Act 2020*, the *Workplace Privacy Act 2011*, the *Long Service Leave Act 1976*, and/or the *Fuels Rationing Act 2019* on the date of the visit. If compliance is identified during the visit, it does not remove the obligation of any person to comply with any further requirement of the above mentioned Acts and Regulations.

Privacy Notice:

Any information collected during the workplace visit is for the purpose of the *Work Health and Safety Act 2011*, the *Work Health and Safety Regulations 2011*, the *Dangerous Substances Act 2004*, the *Workers Compensation Act 1951*, the *Scaffolding and Lifts Act 1912*, the *Machinery Act 1949*, the *Dangerous Goods (Road Transport) Act 2019*, the *Labour Hire Licensing Act 2020*, the *Workplace Privacy Act 2011*, the *Long Service Leave Act 1976*, and/or the *Fuels Rationing Act 2019* and is in accordance with the *Information Privacy Act 2014*. WorkSafe ACT prevents any unreasonable intrusion into a person's privacy in accordance with the *Privacy Act 1988 (C'Wlth)* and *Information Privacy Act 2014*. WorkSafe ACT provides identifiable information which can be disclosed to other law enforcement agencies and authorised organisations that have legal authority to request information under prescribed circumstances.

GIO Stadium Canberra- Talking Points

Maintenance and Repair

- The ACT Government is undertaking investigations at GIO Stadium Canberra to understand short to medium term maintenance requirements while the longer-term future of the stadium is considered.
- This work began in early 2026 as part of strategic asset management planning.
- The ACT Government continues to work with the Federal Government on the Bruce Sport, Health and Education precinct to develop an integrated mixed-use urban renewal precinct. These discussions will contribute to future decisions concerning a new stadium.
- While planning for a new stadium continues, the ACT Government is committed to ensuring GIO Stadium Canberra remains safe, functional and fit-for-purpose for all users.
- Venues Canberra maintains the stadium and performs capital works to ensure compliance, safety and a comfortable space for patrons, while planning for a new stadium continues.
- Gates, door servicing, fire monitoring, gutter cleaning, HVAC operation, lifts, water, plumbing, roof safety systems, lighting and catering equipment remain key focus areas the regular scheduled maintenance of the venue for the remainder of 2026.

Venue strengths

- In 2025 GIO Stadium hosted 20 football matches including fixtures in both the NRL and Super Rugby finals series, Ricky Martin, the Socceroos, Matildas and Freestyle Kings.
- GIO Stadium Canberra is widely regarded as having one of the best playing surfaces in the country.
- The playing surface at GIO Stadium Canberra is known for its resilience and ability to perform in all conditions, including wet and challenging weather—ensuring high-quality, fast-paced rugby.
- 2026 has presented Canberra with some unusual and erratic weather and it is a credit to the curating team for the work they have done to prepare the venue to present our hirers with the best possible playing surfaces.
- The venue has played host to several major events and continues to be trusted by major codes to host national and international fixtures.
- That confidence reflects the quality of delivery, playing conditions, and overall event experience.

Recent incident- background only

- During the Raiders v Bulldogs match on Thursday 19 March 2026, a window broke in the coaches box at GIO Stadium Canberra.
- Venues Canberra notified WorkSafe ACT and arranged for a site inspection to be conducted which was completed.
- The window was subsequently repaired ahead of the match that day between the ACT Brumbies and Chiefs.

From: "Gray, Adam" <Adam.Gray@act.gov.au>
Sent: 20/03/2026 2:01 PM
To: "Robertson, Alex" <Alex.Robertson@act.gov.au>; "Elkins, Matthew" <Matthew.Elkins@act.gov.au>; "Rando, Jared" <Jared.Rando@act.gov.au>; "De Boni, Andrew" <Andrew.deBoni@act.gov.au>
Subject: RE: Canterbury Bulldogs head coach hand injury - south coaches box.

OFFICIAL

Thanks Alex. I followed up with WorkSafe this morning and they confirmed that they had received the report. I questioned whether it was in fact notifiable which I don't believe it does and while WorkSafe didn't provide a definitive answer it doesn't appear to meet the threshold i.e. death, loss of limb, immediate transport to hospital, head injury, serious laceration etc., etc.

That said, I think it was good practice to do so as we are seen as being a responsible PCBU and being conservative in these situations is prudent to do. I advised that we had made the area safe and were in the process of replacing the glass as the space needs to be used tonight for the Brumbies match and advised that pictures had been taken of the area. They were comfortable with our process and will follow up with me if needed.

Regards

Adam

Adam Gray | Senior Director, Operations

Agency Security Advisor

Phone (02) 625 66714 | **Sch 2.2(a)(ii)** | Email adam.gray@act.gov.au |

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I acknowledge and respect their continuing culture and the contribution they make to the life of this city and this region.



Artist: Richie Allen

From: Robertson, Alex <Alex.Robertson@act.gov.au>

Sent: Friday, 20 March 2026 12:46 AM

To: Gray, Adam <Adam.Gray@act.gov.au>; Elkins, Matthew <Matthew.Elkins@act.gov.au>; Rando, Jared <Jared.Rando@act.gov.au>; De Boni, Andrew <Andrew.deBoni@act.gov.au>

Subject: Canterbury Bulldogs head coach hand injury - south coaches box.

OFFICIAL

Hi team,

Following the incident tonight (broken window bulldogs coach injury) Matt has asked me to contact worksafe in case this incident is in fact notifiable. In order to do this in line with CMTEDD requirements I have had to lodge a Safety Portal report as well, so please keep an eye out for that if it lands in your inbox as it goes through the chain.

It appears to be a notifiable under the section "serious laceration" being that it may have required stitches (which we believe he has received) to stem bleeding. I have lodged an initial report [PC-0000003362v](#) as I'll be off for a few days this report has Jared and Matts contact details on it.

I have indicated that rather than preserve the scene, it needed to be cleaned up to prevent further hazard to staff and public in the area and to continue operation of the event. Hopefully that is sufficient.

Best Regards,

Alex Robertson | Assistant Director Safety, Security, and Emergency Management
Venues Canberra WHS Coordinator

Phone (02) 625 66715 | [Sch 2.2\(a\)\(ii\)](#) | Email alex.robertson@act.gov.au
GPO Box 158 Canberra City ACT 2601



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From: "Rando, Jared" <Jared.Rando@act.gov.au>
Sent: 24/03/2026 3:16 PM
To: "Siwakoti, Sundar" <Sundar.Siwakoti@worksafe.act.gov.au>
Cc: "Gray, Adam" <Adam.Gray@act.gov.au>; "De Boni, Andrew" <Andrew.deBoni@act.gov.au>
Subject: RE: Coaches Box Incident - GIO Stadium
Attachments: IMG_0144.jpeg, IMG_0141.jpeg, IMG_0142.jpeg

Hi Sundar,

For your records, please see attached the images of the signage which was installed on the window by the [Sch 2.2\(a\)\(iii\)](#)

[Sch 2.2\(a\)\(xi\)](#)

We have installed signs noting not to install signage in the glass track since along with the arrows indicating the correct way to open the windows.

We have downloaded the CCTV footage we have of the incident. Due to the size, in order to get you a copy it will need to be downloaded to a USB directly from the security workstation. If you're around the area at any point, just let us know and we can download it for you. You'll just need a USB drive for it to be copied to.

Regards,

Jared

Jared Rando | Venue Manager – GIO Stadium

Phone (02) 6256 6709 | [Sch 2.2\(a\)\(ii\)](#) | Email Jared.Rando@act.gov.au |
GPO Box 158 Canberra City ACT 2601



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I acknowledge and respect their continuing culture and the contribution they make to the life of this city and this region.



Artist: Richie Allan

From: Rando, Jared

Sent: Monday, 23 March 2026 12:34 PM

To: Siwakoti, Sundar <Sundar.Siwakoti@worksafe.act.gov.au>

Cc: Gray, Adam <Adam.Gray@act.gov.au>; De Boni, Andrew <Andrew.deBoni@act.gov.au>

Subject: Coaches Box Incident - GIO Stadium

Hi Sundar,

Thanks for stopping by today. Adam (cc'd) is the Senior Director here for Operations, Safety and Security and Andrew (cc'd) is the Senior Director for Infrastructure.

Adam is in the GIO office tomorrow so we can forward you all the information pertaining to the incident then if that's ok.

In the meantime, if you need anything additional please reach out to the three of us.

Regards,

Jared

Jared Rando | Venue Manager – GIO Stadium

Phone (02) 6256 6709 | [Sch 2.2\(a\)\(ii\)](#) | Email Jared.Rando@act.gov.au |

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I acknowledge and respect their continuing culture and the contribution they make to the life of this city and this region.

Artist: Richie Allan

KUMHO TYRE

KUMHO TYRE

KUMHO TYRE







From: "De Boni, Andrew"
Sent: 25/03/2026 8:48 AM
To: "Siwakoti, Sundar" <Sundar.Siwakoti@worksafe.act.gov.au>; "Rando, Jared" <Jared.Rando@act.gov.au>
Cc: "Gray, Adam" <Adam.Gray@act.gov.au>
Subject: RE: Coaches Box Incident - GIO Stadium

Hi Sundar,

Sch 2.2(a)(xi) have replaced the pane with Laminated glass as that was the only glass that could be installed in such a tight time frame. I will contact them and ask for copies of the receipt as the invoice will be sent to iCBR – not Venues Canberra.

The glass that was broken was tempered safety glass just not laminated. I am in the process of gaining a quotation for tempered and laminated glass. Regardless of the type of glass installed there is always a risk of it breaking if the required force is applied to it.

I don't believe we are performing a formal investigation into this incident.

Thanks,

Andrew

Andrew De Boni | Senior Director – Venue Infrastructure and Capital Works |
Phone 6213 0701 | Sch 2.2(a)(ii) Email andrew.deboni@act.gov.au |
PO Box 158 Canberra City ACT 2601

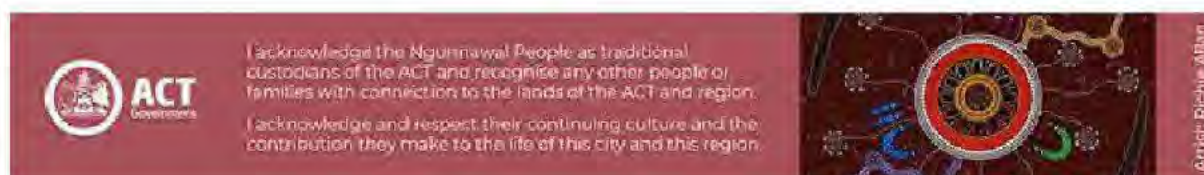


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From: Siwakoti, Sundar <Sundar.Siwakoti@worksafe.act.gov.au>
Sent: Wednesday, 25 March 2026 7:55 AM
To: Rando, Jared <Jared.Rando@act.gov.au>
Cc: Gray, Adam <Adam.Gray@act.gov.au>; De Boni, Andrew <Andrew.deBoni@act.gov.au>
Subject: Re: Coaches Box Incident - GIO Stadium

Hi Jared and Andrew,

Thank you for providing the additional contact details. I have noted you as the primary contact for this workplace visit, as you were the only representative present and therefore would have received the Workplace Visit Summary.

Thank you also to Andrew for supplying the additional photographs, which appear to show a likely contributing factor to the incident. Jared also raised this matter during the workplace visit. We reviewed the available CCTV footage at the time; however, the recording was unclear and did not assist in determining the cause. At this stage, I am satisfied that no further review of the CCTV footage is required.

To ensure our records are complete, please provide the following:

- Details of the newly installed glass, including the manufacturer's specifications and the purchase receipt, so we can verify the exact type of glass installed.
- Thank you for installing the signage on the window, as this will help prompt patrons to use the window safely. However, based on the circumstances of the incident, a more effective control measure would be to replace the remaining original window glass in the other coaches box. The incident demonstrates a foreseeable risk of recurrence. If you intend to retain the same type of glass, please ensure a risk assessment is completed, addressing the incident and the potential for similar events. Replacing the existing glass with a safer alternative—such as tempered or safety glass—would provide a higher level of risk control.
- If an internal investigation is underway, please provide a copy of the report once completed. Undertaking such an investigation is a positive step toward identifying root causes and preventing similar incidents.
- If an internal investigation has already been completed, please also provide a copy for our records.

Please let me know if you have any further questions.

Kind regards,

Sundar Siwakoti | Senior Inspector – General Industries

P: 132 281 | [Sch 2 2\(a\)\(ii\)](#) | E : sundar.siwakoti@worksafe.act.gov.au

Office of the Work Health and Safety Commissioner

GPO Box 158 Canberra ACT 2601

WORKSAFEACT



From: Rando, Jared <Jared.Rando@act.gov.au>

Sent: 23 March 2026 12:34 PM

To: Siwakoti, Sundar <Sundar.Siwakoti@worksafe.act.gov.au>

From: "De Boni, Andrew" <Andrew.deBoni@act.gov.au>
Sent: 25/03/2026 2:32 PM
To: "Elkins, Matthew" <Matthew.Elkins@act.gov.au>; "Orr, Melissa" <Melissa.Orr@act.gov.au>; "Bonny, Carly" <Carly.Bonny@act.gov.au>; "Gray, Adam" <Adam.Gray@act.gov.au>
Cc: "Bailey, Daniel" <Daniel.Bailey@act.gov.au>
Subject: RE: GIO Stadium
Categories: EO

OFFICIAL

Hi Matt,

They looked at both radio boxes and the coaches boxes. I inspected the windows in the media/broadcast room and most of the windows are locked with the exception of one. All timbers seems ok in those.

Thanks,

Andrew

Andrew De Boni | Senior Director – Venue Infrastructure and Capital Works |
Phone 6213 0701 | **Sch 2.2(a)(ii)** | **Email** andrew.deboni@act.gov.au |
PO Box 158 Canberra City ACT 2601

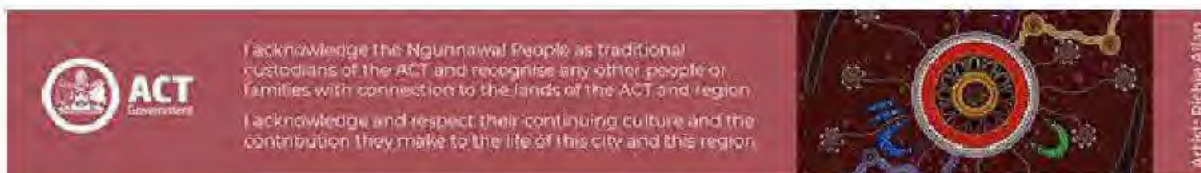


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From: Elkins, Matthew
Sent: Wednesday, 25 March 2026 2:30 PM
To: De Boni, Andrew ; Orr, Melissa ; Bonny, Carly ; Gray, Adam
Cc: Bailey, Daniel
Subject: RE: GIO Stadium

OFFICIAL

Thanks Andrew

Just confirming Sch 2 2(a)(ii) reviewed all window frames for the commentary and coaches boxes and it was only the timbers in this box that needs to be replaced.

Thanks

Matt

Matthew Elkins | Executive Branch Manager; Venues Canberra |
Phone 6256 6708 | Sch 2 2(a)(ii) | Email matthew.elkins@act.gov.au |
GPO Box 158 Canberra City ACT 2601



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From: De Boni, Andrew <Andrew.deBoni@act.gov.au>
Sent: Wednesday, 25 March 2026 2:26 PM
To: Elkins, Matthew <Matthew.Elkins@act.gov.au>; Orr, Melissa <Melissa.Orr@act.gov.au>; Bonny, Carly <Carly.Bonny@act.gov.au>; Gray, Adam <Adam.Gray@act.gov.au>
Cc: Bailey, Daniel <Daniel.Bailey@act.gov.au>
Subject: RE: GIO Stadium

OFFICIAL

Hi All,

Monarch has attended and measured up the timber that needs replacing under the track. This requires removing the frame and glazing to the radio box and coaches box at the Southern end.

This work will not be done by the weekend. The aim will be to perform in the break after Sunday's game.

Once the glazier has attended I will advise but it is most likely that the glazing in the radio box will not be operable on the weekend. I will make sure the Brumbies and Raiders are made aware.

Thanks,

Andrew

Andrew De Boni | Senior Director – Venue Infrastructure and Capital Works |
Phone 6213 0701 | Sch 2 2(a)(ii) | Email andrew.deboni@act.gov.au |
PO Box 158 Canberra City ACT 2601

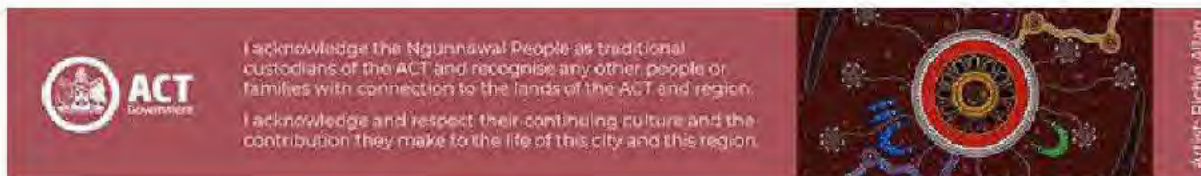


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From: Elkins, Matthew <Matthew.Elkins@act.gov.au>

Sent: Wednesday, 25 March 2026 1:44 PM

To: De Boni, Andrew <Andrew.deBoni@act.gov.au>; De Boni, Andrew <Andrew.deBoni@act.gov.au>; Orr, Melissa <Melissa.Orr@act.gov.au>; Bonny, Carly <Carly.Bonny@act.gov.au>

Cc: Bailey, Daniel <Daniel.Bailey@act.gov.au>

Subject: RE: GIO Stadium

OFFICIAL

Sorry further to this can we please include in the SOP instructions for the installation of signage in the coaches box windows.

Thanks

Matt

Matthew Elkins | Executive Branch Manager; Venues Canberra |

Phone 6256 6708 | [Sch 2.2\(a\)\(ii\)](#) | Email matthew.elkins@act.gov.au |

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From: Elkins, Matthew

Sent: Wednesday, 25 March 2026 1:43 PM

To: De Boni, Andrew <Andrew.deBoni@act.gov.au>; De Boni, Andrew <Andrew.deBoni@act.gov.au>; Orr, Melissa <Melissa.Orr@act.gov.au>; Bonny, Carly <Carly.Bonny@act.gov.au>

Cc: Bailey, Daniel <Daniel.Bailey@act.gov.au>

Subject: GIO Stadium

Hi All

Thanks for works done to make safe the coach's box at GIO Stadium last week.

Just confirming the following works are in train over the next couple of days

- Andrew has booked Sch 2.2(a)(ii) building to attend site on Wednesday 25/03/2026 and review the appropriate and safe structure of the Window frames in the Coaches and Media boxes
- Andrew has booked a glazier to attend site Thursday 26/03/2026 and review appropriate glass is installed in public areas of GIO Stadium
- Adam will conduct a risk assessment of the use of operable windows in Coaches and Media boxes
- Jared will install SOP and associated signage required as identified through Riska Assessment.

Thanks

Matt

Matthew Elkins | Executive Branch Manager; Venues Canberra |
 Phone 6256 6708 | Sch 2.2(a)(ii) | Email matthew.elkins@act.gov.au |
 PO Box 666 JAMISON ACT 2614



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 I acknowledge and respect their continuing culture and the contribution they make to the life of this city and this region.



Artist: Pichie Allan

From: "De Boni, Andrew" <Andrew.deBoni@act.gov.au>
Sent: 25/03/2026 12:46 PM
To: "Elkins, Matthew" <Matthew.Elkins@act.gov.au>; "Gray, Adam" <Adam.Gray@act.gov.au>; "Orr, Melissa" <Melissa.Orr@act.gov.au>; "Bonny, Carly" <Carly.Bonny@act.gov.au>
Cc: "Bailey, Daniel" <Daniel.Bailey@act.gov.au>
Subject: RE: Information required
Categories: EO

OFFICIAL

Hi All,

A Glazier is attending GIO on Friday and will advise on the type of glass in each area of the stadium. This information will then be provided to CBS certifiers who will advise if the type of glass is appropriate for the space.

Verbal advice is that the glass being used is appropriate.

Thanks,

Andrew

Andrew De Boni | Senior Director – Venue Infrastructure and Capital Works |
Phone 6213 0701 | **Sch 2.2(a)(ii)** **Email** andrew.deboni@act.gov.au |
PO Box 158 Canberra City ACT 2601

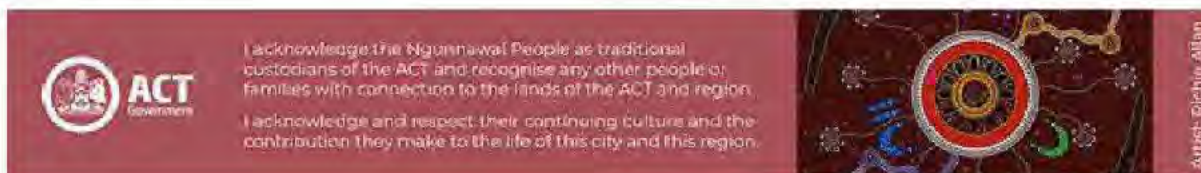


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[Manuka](#)



From: Elkins, Matthew
Sent: Wednesday, 25 March 2026 8:51 AM
To: Gray, Adam ; De Boni, Andrew ; Orr, Melissa ; Bonny, Carly
Cc: Bailey, Daniel
Subject: Information required

OFFICIAL

Hi All

Can you please share with this group as soon as possible

2021 GIO Stadium Condition Assessment report

Out of scope

2026 GIO Stadium Event Risk Assessment

Thanks

Matt

Matthew Elkins | Executive Branch Manager; Venues Canberra |
Phone 6256 6708 | [Sch 2.2\(a\)\(ii\)](#) | Email matthew.elkins@act.gov.au |
PO Box 666 JAMISON ACT 2614



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Artist: Riche Allan

From: "De Boni, Andrew" <Andrew.deBoni@act.gov.au>
Sent: 25/03/2026 8:53 AM
To: "Elkins, Matthew" <Matthew.Elkins@act.gov.au>; "Gray, Adam" <Adam.Gray@act.gov.au>; "Orr, Melissa" <Melissa.Orr@act.gov.au>; "Bonny, Carly" <Carly.Bonny@act.gov.au>
Cc: "Bailey, Daniel" <Daniel.Bailey@act.gov.au>
Subject: RE: Information required
Attachments: 2020_0257_GIO Stadium - Condition & Lifecycle Report - Draft V.02 150121.pdf

OFFICIAL

Condition Assessment attached.

Andrew De Boni | Senior Director – Venue Infrastructure and Capital Works |
Phone 6213 0701 | **Sch 2.2(a)(ii)** Email andrew.deboni@act.gov.au |
PO Box 158 Canberra City ACT 2601

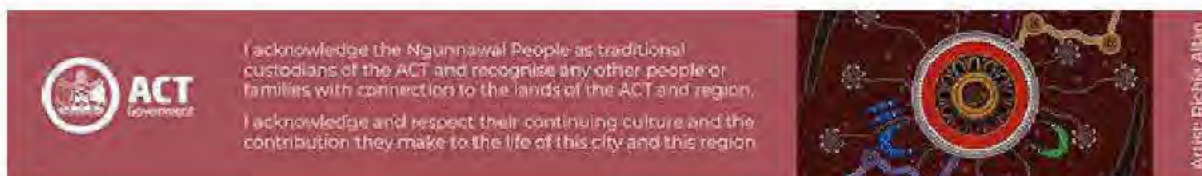


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Cc: Bailey, Daniel <Daniel.Bailey@act.gov.au>
Subject: Information required

OFFICIAL

Hi All

Can you please share with this group as soon as possible

2021 GIO Stadium Condition Assessment report

Out of scope

FACILITY CONDITION & LIFECYCLE FORECAST REPORT

Site: GIO Stadium

Prepared For: Venues Canberra

Issue Date: 15 January 2021

Document Control: Draft V.02



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Document Control

Project Reference:	2020_0257
Project Type:	Condition Assessment & CAPEX Forecasting
Client:	Venues Canberra
Client Representative:	Andrew De Boni
Client Role:	Senior Director

Prepared By:	Sch 2.2(a)(ii)
Reviewed By:	Sch 2.2(a)(ii)

Document Version:	Draft V.02
Issued To:	Andrew De Boni, Venues Canberra (via email)
Date Issued:	15 January 2021

Company Name	AssetWize Pty Ltd
Company Representative	Sch 2.2(a)(i)
Email	Sch 2.2(a)(i)
Mobile	Sch 2.2(a)(i)

Executive Summary



1.0. Executive Summary

This report serves to provide Venues Canberra with an understanding of the current condition of GIO Stadium, together with 10-year lifecycle forecasts to address issues identified. The following key matters have been summarised below:

We understand the facility was originally constructed circa 1977 with the West Grandstand and the Tri-Vision understood to form the main original components to the site. The site was redeveloped in 1998 with the primary part of the redevelopment comprising the construction of the East Grandstand and, we presume, the inner bowl. The West Grandstand was noted as being refurbished at the same time as part of the site redevelopment.

Recent developments to the site include the construction of East and West Ticketing Offices, two additional video replay screens and merchandise corporate sheds as well as the installation of new perimeter fencing. We note the remainder of the site has generally appeared to remain untouched and/or consistent to the original 1998 construction and / or refurbishment. As such, considerable lifecycle replacement works are anticipated for the site over the next 10-Year period. Key items identified include;

- Extensive cracking noted to concrete concourse areas to the perimeter of the inner Bowl, with potential movement cracking noted to concrete floors within the West L2 toilet amenities.
- Cracking/spalling damage to grandstands and terraces, most notably the East Grandstand, requiring further investigation prior to repair.
- Widespread degradation of sealant expansion joints to grandstands and terraces, enabling water entry and damage internally in areas.
- Localized roof areas are damaged and/or are reaching end of life and are recommended for replacement.
- Potential drainage issues associated with the lower level of the West L6 Grandstand, enabling water entry and subsequent damage.
- Sitewide lifecycle replacement of electrical main switchboards and distribution boards (DB).
- A large number of mechanical services (HVAC) plant throughout has exceeded or will reach end of life and will require replacement.
- Typical end of life lifecycle replacement will be required for fire indicator panels and general domestic hot water services plant throughout.
- Considerations for full replacement/overhaul of external food concessions structures and equipment to the site.
- Internal areas and floors appear to have been redecorated/refurbished at different periods historically. As such, the majority of floors are recommended to be refurbished at differing stages throughout the next 10 years. Some areas have been recommended to include lighting and fire warning / detection system upgrades as part of redecoration/refurbishment works.
- General toilet amenities and commercial kitchen areas are in a mix of poor-to-fair condition and will require full refurbishment over the reporting period.
- General repairs have also been identified to a number of buildings for rectification during the reporting period.
- Some potential redundant plant remains to the site. Confirmation is required as to whether such plant is still in use or can be removed.
- Asbestos is confirmed to the West Stand fascia cladding 'Top of Entry Stairs' to L4 and presumed to electrical switchboards within the North Food Concession and East Stand Ticket Booth the field/site.

1.1. Summary Table of 10 Year Budget Forecast Total

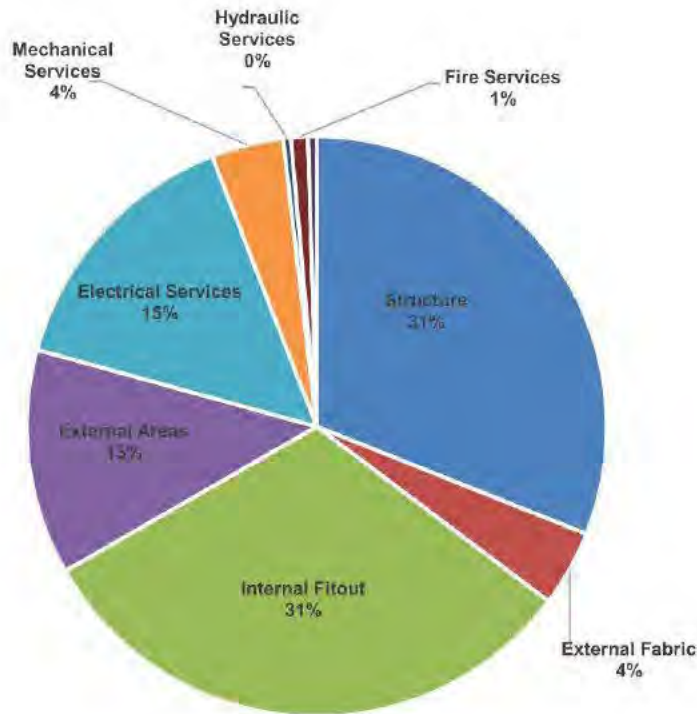
Below is a summary table of the forecasted budget costs anticipated over the next 10-year period, exclusive of prelims, design fees, GST.

Building	Budget CAPEX Costs
West Mal Meninga Stand	\$2,772,500
East Gregan – Larkham Stand	\$1,780,900
North & South Terraces & Concessions	\$301,100
Inner Bowl	\$34,100
External Grounds & General	\$1,176,300
Sport Lighting Towers	\$551,700
Public Toilets	\$860,000
Ticketing Offices	\$47,800
Merchandise & Corporate Suite	\$-
Tri-Vision	\$1,600,000
Video Replay Screens	\$23,500
Slab & Concessions	\$27,900
Maintenance Sheds & Ops Area	\$18,600
OB Compound	\$8,500
Field of Play	\$-
	\$9,202,900

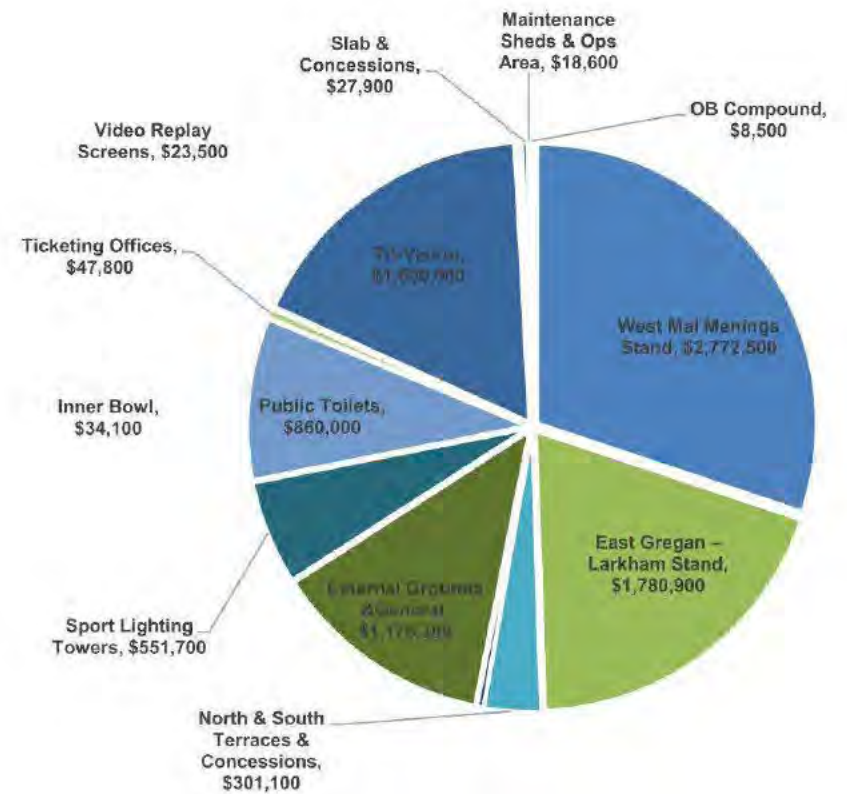
1.2. 10-Year Forecast

The below pie charts provide an indication of the anticipated expenditure for the asset over the next 10 years by component group level and by area.

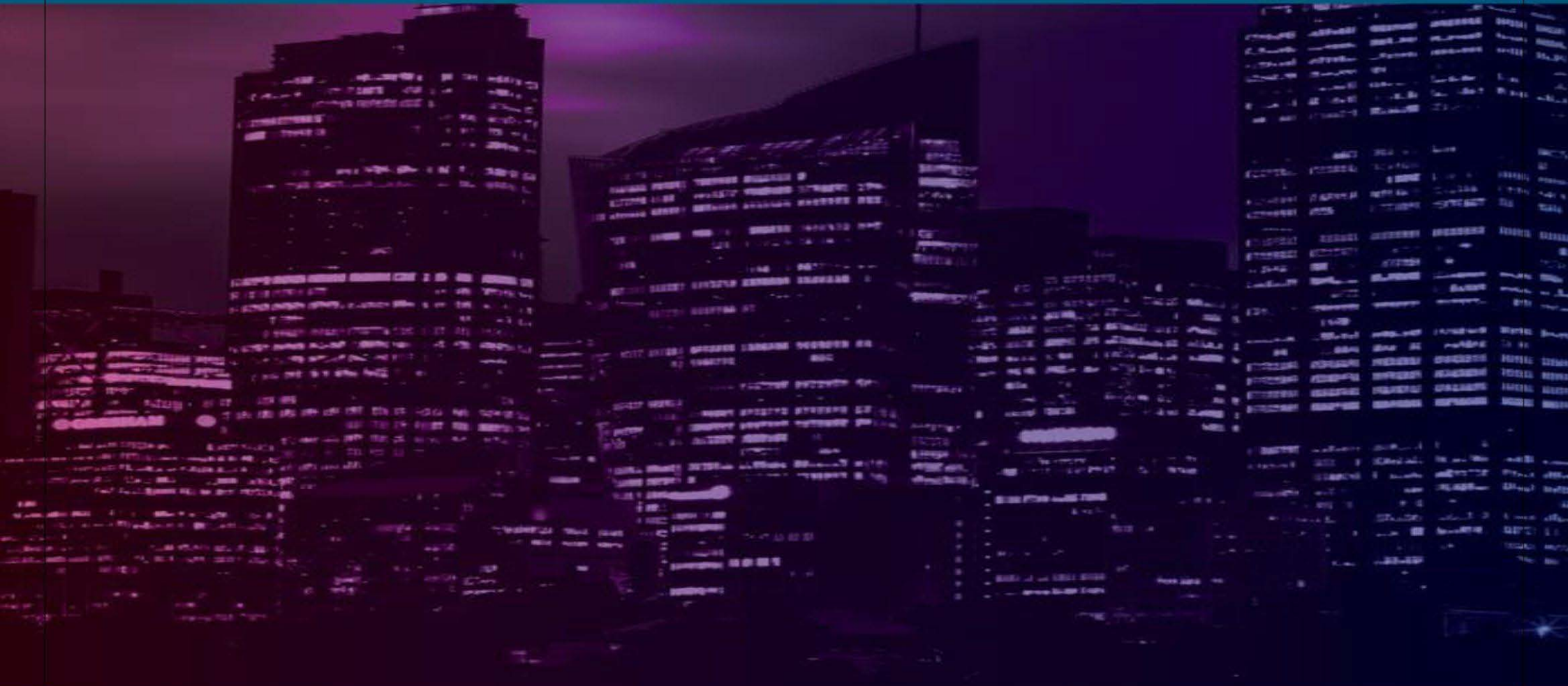
10 Year Forecast - Component Group



10 Year Forecast - Area



Project Overview



2.0. Project Overview

2.1. Extent of Instruction

AssetWize were instructed by Venues Canberra (VC) to proceed with a Condition Assessment and CAPEX forecast in relation to the grounds, building fabric, structure and the building services installations at GIO Stadium.

Venues Canberra required a condition assessment report to understand the condition of the asset and to understand the extent of any recommended capital works that may be required over the next 10-year period. Venues Canberra are also seeking advice relative to their existing planned maintenance procedures to assist in their ongoing management and maintenance of the facility.

Instruction to proceed with this audit was provided by Andrew De Boni, Senior Director – Venues Canberra, via email acceptance on 3rd November 2020.

The findings in this report are based on a combination of documentation review, and our site visit undertaken on 9th & 14th December 2020.

2.2. Scope and Approach

Our key objective was to provide an assessment of the facility's condition and to develop a capex forecast relating to any recommended works that should be considered over the next 10-year period relative to the grounds, building fabric and structure and the building services installations. A review of existing planned maintenance regimes was also required to provide advice on any maintenance shortfalls and areas for improvement. This has been delivered through site inspections and documentation review. The findings of our condition assessment include reporting by exception on any defects sighted, as well as key asset life cycle position resulting in the need to expend budget.

AssetWize undertook the following approach:

- Desktop review of building plans asset registers and other relevant existing information prior to and after inspections.
- Visual, non-destructive inspections of all accessible areas of the facility to;
 - Record any major backlog maintenance or defects that pose serious safety concerns or considerable risks.
 - Assess the condition of the grounds, building fabric, structure and services.
 - Assess existing planned maintenance programs for the site and provide commentary on potential shortfalls and areas for improvement.
- Provision of a 10-Year Forecast for the facility, outlining the anticipated capital expenditure over the next 10 years.

2.3. General Description

Address	Battye Street, Bruce ACT 2617
Description	<p>The facility is a large sized, stadium complex centred around a multi-use rugby field recessed below ground level. The facility comprises two main multi-level grandstands and terrace areas.</p> <p>The site has two primary entrances via recently constructed east and west Ticketing Offices.</p> <p>Temporary food concession structures are provided throughout the concourse areas of the facility.</p> <p>An original 'Trivision' video replay screen is installed to the north of the stadium, with more recently constructed video replay screens also provided to the north and south.</p> <p>Maintenance sheds are located to the south of the site. External public toilet blocks are situated at four locations to the perimeter of the complex. Grounds generally comprise concrete slab hardstands with areas of loose-laid gravel. Newly installed metal palisade fencing and two sets of automatic entry gates secure the site. The facility has an approximate Capacity of circa 25,000 PAX</p>
Year Constructed	Circa 1977
Site Area	Circa 83,700m ²

2.4. Inspection Details

Site Inspection was undertaken as per the below methodology;

- Inspection of the site was undertaken during multiple site visits on Wednesday 9th and Monday 14th December 2020. Weather conditions at the time of our inspections were predominantly fine and dry.
- Site inspections were a visual, non-invasive survey only.
- Photos were taken using a digital camera and iPad, a small selection of which are included within this report. No drone photography has been during our inspection.

2.5. Areas Not Accessed

The following spaces were unable to be accessed or were excluded from the site audit:

- Roof area of East Grandstand.
- Internal Mechanical Plant Room to the East Ticketing Office.
- East Grandstand – L4 – Treasury Room.
- Internal areas of Food Concession's; K4, K5 & K10.
- Internal area of Tri-Vision.
- Internal areas of North Video Replay Screen.

NOTE: Representative samples of repetitive areas were undertaken such as Concourse Food Concession and Bar Areas as well as Corporate Suites.

2.6. Documentation Reviewed

The following documentation relating to the subject premises was provided by Venues Canberra for review prior to inspection and delivery of this report:

- Stadium Redevelopment Architectural Plans for the East Stand, dated 1997.
- High level site/grandstand layout plans.
- Existing Asset Register.
- Existing Planned Maintenance Work Plan for the site.
- Emergency Lighting Defect Record, undated.
- West Stand, Level 3 Office AC Audit Report, dated October 2019.
- Preventative Maintenance Register for HVAC Equipment, dated May 2020.
- Test & Tag Reports for the site, dated 2020.
- Boiler Plantroom Upgrade Specification, dated May 2018.
- Asbestos Management Plan & Register, dated April 2017.
- General Site Layout Plan.

2.7. Lifecycle Cost Considerations

The following considerations and conditions have been allowed for as part of the 10-Year Forecasting component of this report:

- Onsite discussions with the Andrew De Boni of Venues Canberra who has a good working knowledge of the site.
- High-level budget costs have also been provided for key plant, equipment and building fabric which are anticipated to require lifecycle replacement within the next 10-year period.
- Some elements/structures to the site are understood to, or may be subject to, heritage protection. 'Heritage' status has potentially significant implications on the ability to undertake required repair or lifecycle replacement works, and/or result in increased costs in undertaking such works. Budget cost sums provided within the CAPEX have factored in increased cost rates to account for any recommended works for known or presumed heritage listed assets on site. We note that potential works will be subject to approval by the ACT Heritage Council and further advice should be sought from a suitably qualified heritage consultant prior to undertaking any recommended works noted below and within the CAPEX forecast.
- Where information has not been provided relative to construction details, plans, dates for construction and specifications, AssetWize have relied upon discussions with facility staff and the client representative and made reasonable qualified assumptions as to construction details where necessary in relation to age and condition.
- Where concealed building services are presumed to be installed on site, yet not directly sighted or referenced from mechanical services drawings, we have provided indicative allowances for their lifecycle replacement where recommended.
- Lifecycle replacement of building components has been determined on expected life expectancy in relation to the building's and component's age of installation or construction. Where dates have not been readily provided or able to be verified, the age of construction of a building or date of installation of a component has been taken from the asset information provided by Venues Canberra.
- Where recommendations for upgrades of particular building services have been made, such works have been proposed on the basis of a like-for-like replacement, to existing Australian standards only. Should major refurbishment works be undertaken to the building concurrently with any recommended services upgrades, then the works may trigger a need to comply with the most current Australian Standards and/or BCA.
- Various assumptions regarding the construction material and methodology where necessary. These estimates are not intended to be a specification or design and therefore AssetWize cannot be held liable for any works implemented by any party without full design first being undertaken and statutory consents being obtained first before proceeding with the works.
- The budget estimates are derived from cost pricing books, recent cost comparable information, benchmarks (m2) and contractor's estimates. These are based on current market rates as of September 2020 and exclude escalation. As a minimum, 4% escalation per annum should be added to the estimate for every year the program extends past the initial December 2020 costs.

- Costs in relation to recommendations for further investigations have been provided based on recent project costs obtained from sub-consultants within the past twelve months.
- Further, detailed cost estimation is required to be undertaken prior to procuring the works to ensure design and scope remains in line with the budget.
- The costs are high level only for budget purposes and are reflective of the nature and purpose of the assignment and the information available to AssetWize. Budget estimates are provided as a guide as to the likely order of cost for the said item(s) specifically stated. Where an item is not stated or specifically identified it is to be assumed to be excluded from any budget estimates.
- Budgets costs exclude contractors' preliminaries, overheads and profit, contingencies, professional design fees, project management fees, statutory fees, price escalation, etc. Any costs with the relocation, temporary accommodation and or loss of business to any tenants resulting in building works. All costs are exclusive of GST.
- Costs in relation to the planned maintenance review are informed through the application of the results of the evaluation of several Preventive Maintenance (PM) tender responses for portfolio Facilities Maintenance (FM) contracts over the last five years. These tender responses relate to large portfolios throughout Australia but predominantly relate to NSW facilities. The tender responses include for both required statutory planned maintenance and proposed 'above-industry-norm' additional maintenance programs, including (in most cases) Industry Best Practice Preventative Maintenance works and frequencies.
- The planned maintenance review has been undertaken solely upon review of the existing ACT PG Works Plan document, together with the site's Asset Register. We have provided high-level assumptions in relation to the approximate number/count of specific building components where the number/count has been excluded from the Asset Register. A detailed, full asset register, combined with total count of items is required to provide a more detailed, accurate estimate of planned maintenance works cost ranges.
- The following exclusions apply;
 - o Engineers/Consultants fees for further investigations, project management of works and replacement of underground services.
 - o Contractor's margin and profit.
 - o Any costs with the relocation, temporary accommodation and or loss of business to any tenants resulting in building works.
 - o Contracts or any other legal documentation.
 - o Detailed lease review and fit-outs or any specific requirement with regard to performance or design requirements to be provided by the facility.
 - o Development Fees, Project Management Fees, Other Professional Fees.

2.8. Report Exclusions

The following exclusions apply:

- Our inspection comprised a visual, non-destructive or testing, walkthrough site inspection of the facility to allow commentary on the facility's condition, and reporting by exception on any defects sighted, supported with photographs.
- The external condition investigation was conducted ground level only. No comment has been provided in relation to the field turf.
- We have not undertaken any work of a specific engineering nature, such as engineering calculations, structural analysis, testing or measurements including as to load, design or adequacy. The report only reflects our interpretation of the condition of the building as apparent from the inspection.
- Building services were visually inspected where exposed to view only. No internal inspections were undertaken of plant, equipment and machinery or where services are covered up or hidden by the building structural element or finishes.
- The report is limited to the defined scope of work as detailed in the AssetWize accepted scope of work and fee proposal and, unless specifically noted otherwise in the report, our report specifically excludes review of the services design capacity, review of tenant fit-out's and their effect of services performance, lease obligations as between the lessor and lessee and code compliance or of any specific tenant requirements with regard to performance or design requirements to be provided by the building.
- In preparing this report AssetWize has relied upon (and assumed as accurate) information (or absence thereof) relative to the building provided by the Client and or current owner. Unless otherwise stated in the report, AssetWize has not verified the accuracy or completeness of any such information. No certification, warranty or guarantee, whether express or implied, is made with respect to the data reported or to the findings, observations and conclusions expressed in this report.
- Where the report has been issued as a draft, it must be understood that the draft can be subject to subsequent change/revision as additional information becomes available or as AssetWize sees fit to advise the Client. No reliance shall be placed on draft reports as they may be significantly different from the subsequent or final report issued.
- The report has been prepared for the sole use and benefit of the party named in this report. It may not be transmitted, reprinted or so otherwise distributed to any third party without the written consent which must be signed by a Director of AssetWize Pty Ltd. AssetWize Pty Ltd accepts no liability or responsibility whatsoever in respect of any use or reliance upon this report by any third party. Where written consent and assignment (which may be withheld in the absolute discretion of AssetWize) is given that consent will only be effective where the quoted assignment fee has been paid.

2.9. Reporting Terminology

The inspection and reporting of the condition of assets and building components has been undertaken in accordance with the Institute of Public Works Engineering Australasia (IPWEA) *'Building Condition & Performance Assessment Guidelines'* guidance note, which has been summated in the below tables.

Condition Rating Definitions		
1	Very Good Condition	Up to 45% of serviceable life consumed. Sound structure. No evidence of deterioration to fabric. All services components operable and well maintained. Maintenance well maintained. No customer concerns. EG: As new condition, working order and functionality.
2	Good Condition	Between 45% to 90% of serviceable life consumed. Functionally sound structure, Minor wear and tear to fabric. All services components operable. Increased maintenance inspection required. Minimal influence on customers. EG: In good working order, condition and functionality as originally intended / designed.
3	Fair Condition	Between 45% to 90% of serviceable life consumed. Adequate structure, some evidence of movement, minor cracking. Fabric appearance affected by cracking, staining, or breached by weatherproofing. Occasional outages, breakdowns or blockages to services. Regular and programmed maintenance essential. Minor restrictions on customer use. EG: Showing some wear and tear but still in fair working order, condition and functionality as originally intended / designed.
4	Poor Condition	Between 45% to 90% of serviceable life consumed. Structure functioning but with problems, foundation movement, some significant cracking. Fabric damaged, weakened or displaced, appearance is cracked, stained or of poor quality. Services failures are common. Frequent maintenance inspections essential. Regular customer complaints. EG: Element, finish or material has major or serious defects.
5	Very Poor Condition	Up to 90% of serviceable life consumed. Structure has serious problems, concerns held for integrity of structure. Fabric is badly damaged or weakened. Appearance affected by cracking, staining overflows, leakage or damage. Services components are inoperable or unsafe. Minimum life expectancy, requiring urgent replacement in-lieu of maintenance. Not suitable for use. EG: Item no longer able to provide its intended condition or function or to operate as originally intended / designed.

Where stated within this report, timeframes refer to the following periods.

Timeframe Definitions	
Immediate Term	1 Year
Short Term	2 – 3 Years
Medium Term	4 – 6 Years
Long Term	7 – 10 Years

2.10. ACT Government Risk Matrix & Priority for Attention Methodology

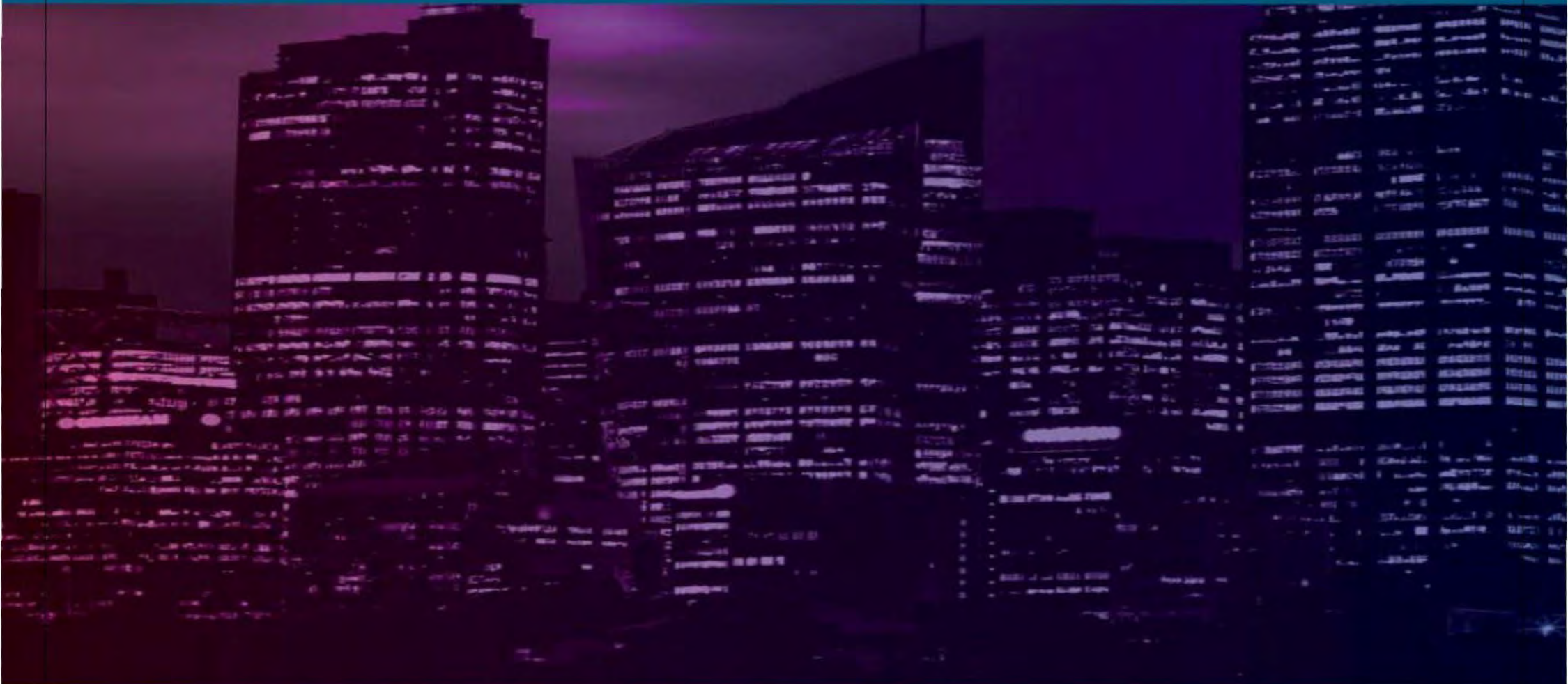
Risk ratings have been calculated by determining the combined potential likelihood and consequence of building related condition and compliance issues using the below 'ACT Government Risk Matrix' management information.

Likelihood	Consequence				
	Insignificant	Minor	Moderate	Major	Catastrophic
Almost Certain	Medium	High	High	Extreme	Extreme
Likely	Medium	Medium	High	High	Extreme
Possible	Low	Medium	Medium	High	Extreme
Unlikely	Low	Medium	Medium	High	High
Rare	Low	Low	Medium	Medium	High

Prioritisation for addressing building related condition and compliance issues have been based upon the below 'Priority for Attention / Action' risk matrix.

Priority for Attention / Action	
Priority	Suggested Timing of Treatment
Extreme	Short Term – normally within one month* Detailed action plan required.
High	Medium Term – normally within three months. Needs senior management attention.
Medium	Normally within 1 year. Specify management responsibility.
Low	Ongoing control as part of a management system. Manage by routine procedures.

Condition Assessment Findings



3.0. Condition Assessment Findings

3.1. West Mal Meninga Stand & Outbuildings

3.1.1. Description

The West 'Mal Meninga' Stand is understood to be one of the facility's original structures, built circa 1977.

The structure consists of five internal levels and the top level (L6) grandstand seating area. L4 accommodates the two lounges, food concessions and WC amenities. A separate broadcast area/suite is provided on L4. L3 (ground level) comprises corporate suites, office accommodation, commercial kitchen, lounges and a function area. L2 (concourse) provides for food and beverage concessions as well as toilet amenities, the main switch room, first aid room and store areas. Player change rooms, shower amenities medical rooms and plant/store rooms are provided within L1 (field level). A single passenger lift provides access between all levels. Internal staircases provide safe egress between the levels to the external ground level.

We understand the structure has been subject to internal refurbishment at differing stages since construction, with the most significant refurbishment undertaken as part of 1998 stadium redevelopment works. L3 appears to have been subject to refurbishment/redecoration in more recent years.

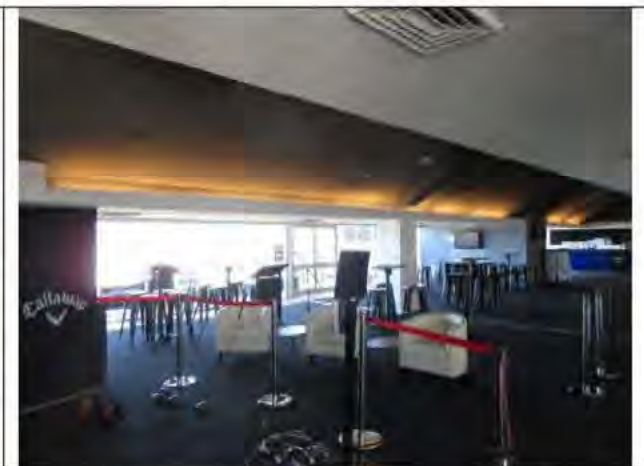
Asset Age: Circa 1977



General view of West Mal Meninga Stand.



General view of west elevation to West Stand.



General view of interior to L4 – West Lounge - South.

3.1.2. Structure

3.1.2.1. Description:

- The building’s foundations were concealed and unable to be sighted at the time of inspection and no as-built structural drawings have been provided for review.
- The superstructure is presumed to comprise a combination of steel and reinforced concrete columns, supporting reinforced concrete slabs and the L6 grandstand/terraced seating area.
- Structural walls are a combination of reinforced concrete panels and concrete blockwork construction.
- The roof structure comprises a steel framed, suspended presumed reinforced concrete roof.

3.1.2.2. Condition Overview & Key Issues:

Component Type	General Condition	Issue	Risk	Priority
Building Structure	Fair	<ul style="list-style-type: none"> - Sealant expansion joints to the grandstand appear generally in fair condition. However, lifecycle replacement is recommended in the long term. - Localised instances of cracked concrete within the L6 grandstand, prevalent to top level seating areas are recommended for repair in year 1. - Minor stepped cracking, indicative of minor building movement, noted along mortar joints to blockwork walls noted to the north of the west elevation. Cracking is recommended to be monitored for any changes in size and magnitude. 	Medium	High

3.1.3. External Fabric

3.1.3.1. General:

- The main suspended, steel framed roof comprises presumed reinforced concrete which drain to perimeter guttering to the north, east and south. Eaves to the suspended roof over the grandstand comprise typical 'bondex' exposed steel.
- Profiled metal sheet clad roofs with internal metal gutters are provided over L3 office and kitchen areas, L4 food concession and toilet areas and L4 broadcast and coaches boxes. Polycarbonate roof skylights are installed to the L4 toilet amenity roofs.
- Steel framed, polycarbonate covered roof canopies are provided at L4 level to the west elevation and at L2 level above the east concourse.
- Facades predominantly comprise painted blockwork masonry to L2 concourse. Windows and doors are of single glazed, powder coated aluminium framed construction.
- Fibre cement sheets are installed to the front of the L6 Grandstand and to the exterior of the L4 coaches' boxes. Heavy duty carpet/synthetic turf flooring is applied to the L6 open corporate boxes.
- Public seating comprises plastic seats fixed to steel framing which in turn are fastened to the concrete with dynabolts.

3.1.3.2. Condition Overview & Key Issues:

Component Type	General Condition	Issue	Risk	Priority
Main Roof Area	Fair	<ul style="list-style-type: none"> - Roof appears to be in fair condition although is displaying signs of wear commensurate with its age. Water staining / subsequent cement salt staining and minor early corrosion are apparent to the underside of the roof and are recommended to be washed down in the short term. - Consideration should be given to installing roof coverings of the existing roof structure with sheet metal roofing to prolong its serviceable life and prevent further water entry/staining below. An allowance has been made for a design/feasibility report for re-roofing. - Surface corrosion noted to steel structural connection anchors which support the suspended roof structure. Allow to treat and recoat steel anchors and bracing/tension rods in the short term. - NOTE: The roofs are recommended to be inspected and washed down annually as part of a regular maintenance program. 	Low	Medium
Auxiliary Areas Roof	Poor-to-Fair	<ul style="list-style-type: none"> - Sheet metal roofs and internal gutters over the toilet and food concession blocks to L4 are in poor condition with areas of crimped/punctured rib profiles, inadequate cap flashing details, gutter depths and corrosion to internal gutters. Lifecycle replacement (including skylights) is recommended within the short term (note, adjacent fibre-cement sheet cladding sheets are noted as asbestos containing materials (ACM's). Replacement of this cladding should be carefully undertaken by qualified contractors prior to undertaking roof works. 	Medium	Medium

Component Type	General Condition	Issue	Risk	Priority
		<ul style="list-style-type: none"> Polycarbonate roof sheets over L2 concourse will require lifecycle replacement within the reporting period. Polycarbonate roof sheets over the L4 west elevation will require lifecycle replacement towards the end of the reporting period. 		
Facades	Fair	<ul style="list-style-type: none"> Curved, blue painted fibre-cement sheet cladding sheets installed above the north and south L4 lounge entries are noted as asbestos containing materials (ACM's). Given the age of the ACM, and recommendation to undertake directly adjacent roof works, the cladding should be removed, and disposed of by suitably qualified contractors and replaced with non-ACM equivalent cladding. Rubber gaskets to the rear glazed balustrades to the top of the terrace stands display areas of shrinkage and have deteriorated/displaced in areas. Allow to replace gaskets in Year 1. Glazing gaskets to the aluminium framed windows serving the east L3 (ground) office walls and L4 broadcast area display signs of shrinkage with open gaps evident. Replacement of all gaskets should be considered within the next 5 years. Sealant to the angled windows to L4 lounge areas should be considered for overhaul within the next 5 years. Water damage was sighted within the L4 event control room, video referee rooms and L3 corporate suites located along the eastern perimeter of the floor. It has been reported that water entry occurs following periods of significant rain. This appears to be linked to the base/lowest row of the L6 grandstand above where no apparent adequate drainage provisions appear to exist, enabling water to overflow into areas below. Allow for a hydraulic engineer to inspect and provide advice in relation to adequacy of existing drainage and provide remedial solutions. Redecoration of external walls to the Grandstand (concrete blockwork walls, columns, and fibre-cement cladding) should be undertaken within the next 5-10 years. NOTE: Facades/external walls would benefit from regular annual washing down to remove staining as part of a regular maintenance program. 	Medium	Medium
L6 Grandstand Finishes	Fair	<ul style="list-style-type: none"> Loosely fixed steel handrails to concrete stairs situated throughout the L6 grandstand are recommended to be re-fixed in the immediate short term. Heavy duty carpet/synthetic turf flooring to the open box areas is considered to be in fair condition. Lifecycle replacement should be considered in the medium term. 	Medium	High
Public Seating	Good	<ul style="list-style-type: none"> No major issues sighted. NOTE: Allow for provision of increased inventory of seats to improve efficiency in replacement maintenance when required. 	Low	Low

3.1.4. Internal Fabric

3.1.4.1. Description:

- Internally, the building has five levels generally comprising the following;
 - i. Level 6 Grandstand Coaches Boxes** – ‘Small lined coaches’ boxes with plastic seating.
 - a. Internal finishes generally comprise painted plasterboard walls and ceilings, and carpet.
 - ii. Level 4 Broadcast Area** – ‘TV/Radio commentary boxes and camera deck with meeting room/kitchenette area.’
 - a. Internal finishes generally comprise painted plasterboard walls and ceilings, and carpet flooring. A small, timber framed kitchenette is provided within the meeting room area.
 - iii. Level 4** – Two large lounges / function spaces with associate bars, video refer rooms, food concessions and WC amenities.
 - a. Internal finishes generally comprise concrete floors, carpet floor linings and painted plasterboard walls and ceilings.
 - b. WC’s comprise painted rendered walls and ceramic floor tiles. Food concession and quick service bar areas are lined with ceramic wall and floor tiles. Ceilings are painted plasterboard. These areas are typically served with commercial cooking and refrigeration equipment, stainless steel benchtops and dedicated cool rooms.
 - iv. Level 3** – Offices, Corporate Suites, Commercial Kitchen and Sports Lounges with male and female amenities and external corporate box seating.
 - a. Internal finishes are painted plasterboard and carpet flooring. Ceilings are a mix of plasterboard and suspended grids with tile inserts.
 - b. A large commercial kitchen is provided to the floor and is served with typical commercial equipment including large dishwasher, steam and gas ovens and rangehoods as well as cool rooms/freezers. The kitchen is lined with ceramic wall and floor tiles. No documentation has been sighted in relation to any current user/operator licences for the commercial kitchen.
 - c. WC amenities are lined with ceramic wall and floor tiles. Lift motor room and plant rooms are also provided to the floor.
 - v. Level 2** – Concourse with food and beverage concessions/stalls, male, female and accessible amenities, main switch room, first aid, store areas.
 - a. Toilets comprise painted rendered blockwork walls and ceramic floor tiles. Food concession areas are lined with ceramic wall and floor tiles. Ceilings are painted plasterboard. These areas have commercial cooking and refrigeration equipment and stainless-steel benchtops.
 - vi. Level 1** – Player and referee change rooms with shower and toilet amenities, mechanical plant rooms, first aid and store areas.
 - a. Ground level change rooms comprise painted blockwork walls and heavy-duty carpet flooring. Showers and toilet amenities comprise ceramic wall and floor tiles. The first aid room is laid with vinyl sheet flooring.

3.1.4.2. Condition Overview & Key Issues:

Component Type	General Condition	Issue	Risk	Priority
Level 6 Grandstand Coaches Boxes Interior	Poor	<ul style="list-style-type: none"> Linings are generally in fair-to-poor condition. The boxes have no adequate ventilation or cooling provisions. Allow to fully refurbish coaches' boxes, including upgrading lighting and fire detection/warning systems in conjunction with refurbishment of the L4 Broadcast Area in Year 1. Consideration should be given to installing split system air-conditioning and ventilation. 	Low	High
L4 Broadcast Area Interior	Poor	<ul style="list-style-type: none"> Broadcast area is in poor condition, has been subject to ongoing water entry and subsequent damage and displays general degradation to painted finishes. Full refurbishment of the broadcast area, including upgrading lighting and fire detection/warning systems and overhauling the kitchenette are recommended in the short term (excludes replacement of split system air-conditioning systems). The works should be actioned following investigation and execution of water ingress issues associated with the L6 grandstand above. 	Medium	High
L4 Interior	Fair	<ul style="list-style-type: none"> Minor stepped cracking noted to mortar joints to concrete blockwork walls adjacent to the south food concessions. Allow to repaint. Water damaged internal wall and ceiling linings within the video referee rooms and FIP room should be repaired following investigation and execution of water ingress issues associated with the L6 grandstand above. General lounge areas are considered to be in good condition. Lifecycle redecoration of the floor, including upgrade of lighting, emergency lighting is recommended in the long term. Bar refurbishment, including upgrade of associated catering equipment should be undertaken concurrently with redecoration in the long term. Small kitchen is in poor-to-fair condition. Refurbishment should be undertaken in the medium term. Minor cracking damage to internal rendered walls should be repaired in year 1. Food concessions are generally in fair condition. Refurbishment, including overhaul of associated equipment should be undertaken within the next 5-10 years. Toilet amenities are generally in fair condition and should be considered for refurbishment within the next 10 years. The accessible WC's / baby change rooms are non-compliant in relation to accessible circulation and fixtures and upgrades to achieve compliance should be undertaken as part of the refurbishment works. 	Medium	Medium
L3 Interior	Good	<ul style="list-style-type: none"> Internal finishes are generally considered to be in good condition. Commercial kitchen appears of circa late 1990's construction and is considered to be in fair condition. Lifecycle refurbishment will be required within the next 5-10 years. Cellar will require refurbishment within the next 10 years. 	Low	Low

Component Type	General Condition	Issue	Risk	Priority
		<ul style="list-style-type: none"> Water ingress and subsequent damage was noted within the Long Room which is consistent with Rugby Lounge to L2 and appears associated with the potential drainage issues to the L6 grandstand above. It is anticipated the leak will be addressed following investigation of the grandstand in year 1. Allow to replace damaged ceiling linings in year 1. Heavy duty carpet/synthetic turf flooring to the open box areas is considered to be in fair condition. Lifecycle replacement should be considered in the medium term. Full redecoration of the floor, including upgrade of lighting is recommended for the corporate suites, office areas, lounges and corridor should be considered towards the end of the reporting period. The toilet amenities throughout are generally in good condition and no refurbishment is anticipated during the term. 		
L2 Interior	Poor	<ul style="list-style-type: none"> Potential structural movement cracking was noted within the south section of the floor, within the male and female toilets. Further investigation is recommended to be undertaken by a structural engineer to determine causation and extent of cracking and should be tied in with recommended investigation of adjacent concourse cracking. Water ingress directly above the main switchboard within the main switch room is linked to the potential drainage issues to the L6 grandstand above and has been temporarily addressed via the installation of a drip tray. It is anticipated the leak will be addressed following investigation of the grandstand in year 1. Toilet amenities display areas of damage in the form of cracked tiles, likely due to the movement cracking noted above. Refurbishment should be considered in year 4 following investigation and rectification of structural movement cracking. Works could be undertaken on a staged basis. The accessible WC's / baby change rooms are non-compliant in relation to accessible circulation and fixtures and upgrades to achieve compliance should be undertaken as part of the refurbishment works. Food concessions and quick service bars are generally in fair-to-poor condition with damaged ceiling linings evident to K6 concession. Refurbishment, including associated equipment should be undertaken within the next 5-10 years on a staged basis. 	Medium	High
L1 Interior	Fair-to-Good	<ul style="list-style-type: none"> Generally, in fair-to-good condition throughout, subject to water ingress issues to the change rooms and hallway associated with cracking/concrete to the concourse above. Further investigation of the cracking has been recommended as part of separate works to the Inner Bowl. Water leaks should be monitored until investigation and repairs have been complete. Minor spalling damage to a concrete ceiling slab and stepped cracking to a section of blockwork wall within the hallway should be rectified in Year 1. 	Low	Low

Component Type	General Condition	Issue	Risk	Priority
		<ul style="list-style-type: none"> <li data-bbox="696 244 1787 304">– WC/Shower areas have been recently refurbished with no expenditure anticipated for these areas over the reporting period. <li data-bbox="696 331 1787 392">– The medical room and testing room areas have finishes and fittings which appear to be reaching the end of their lives. Redecoration should be considered within the next 5 years. <li data-bbox="696 419 1787 501">– Heavy duty carpet flooring to hallways are generally in fair condition although will require replacement within the reporting period. Internal redecoration of the floor is recommended towards the end of the reporting period. 		

3.1.5. External Areas

3.1.5.1. Description:

- Two concrete framed staircases with steel balustrading are provided to the west of the grandstand. No stair nosings are installed to the stairs.

3.1.5.2. Condition Overview & Key Issues:

Component Type	General Condition	Issue	Risk	Priority
Hardstands / Stairs	Fair	– No treaded nosings are installed. Allow to install new, securely aluminium treaded nosings in year 1.	Medium	High

3.1.6. Building Services

3.1.6.1. Electrical Services Description:

- The electrical services are mixed age and condition.
- The Power distribution incorporates a Main Switch Board, Generator temporary supply board and transfer switching and Distribution Boards throughout the building. This equipment was generally installed in 1999 and will exceed the anticipated economic life cycle within the reporting period.
- The report developed by AECOM dated 16 November 2020 identified that that the site would benefit from infrastructure improvements that would better support the provision / connection of back-up power connection to deal with power failure situation. Recommendations provided by AECOM associated with back-up generator connections need to be considered as part of future strategy for the site. AssetWize have reviewed this information and provided recommendations that combine the AECOM and our finding from site as single Capex forecast. In summary.
 - MSB – temporary generator sub cabling is derated to 383 Amps and the manual transfer switch is rated at 400 Amps resulting in non-compliant installation. Furthermore, no power cable connection hatch is provided in the switch room door. Provision of new generator connection cubicle together with sealed connection to the MSB is recommended. This work should be undertaken in the short term.
 - MSB – Record drawings are not current. When work is undertaken on the MSB these should be updated.
- The report developed by AECOM dated 16 November 2020 highlighted areas of concern with the substation locations and ages. Information prepared by AECOM has been reviewed and included within this report. In summary.
 - Substation 4114 - location poses risk of flooding. Allowance to replace with new pad mounted unit is provided in the medium term.
 - Substation 4114 – non-dedicated design of substation for the GIO site results in a risk that failures may emanate from other sites. On the basis that the substation is renewed with a pad unit above flood levels this risk should be reviewed and ideally mitigated through any new design and discussion / agreement with Evo Energy.
 - Substation S2653 – age of 43 years (1977 install) of 50-year anticipated life cycle results in the need to plan for replacement in the medium to long term.
- The Main Switch Board and twin supply board for the Stand is approaching the end of its useful economic lifecycle within the reporting period. Lifecycle replacement should be considered in conjunction with the AECOM report findings and to align with the need to undertake work relatively quickly. AssetWize recommend the upgrade of the MSB prior to the end of life which would be toward the end of the 10-year reporting period
- The older Distribution Boards will require life cycle replacement in the medium to long term.
- General lighting predominantly comprises ceiling mounted and recessed fluorescent battens, wall lights and recessed downlights. External lighting is provided via eave mounted fluorescent battens, wall lights and flood lights. Emergency lighting is provided by a combination illuminated exit running man signs and 'spit fire' LED fittings. This equipment was noted as operational and, in a fair, -to-good condition. An allocation of funds to cover the upgrade the external flood lights to LED.
- Emergency lighting to the L6 grandstand area is provided via suspended, retractable fluorescent luminaires.
- Six television screens are installed to the soffit above the L6 grandstand.

3.1.6.2. Mechanical Services Description:

- The mechanical services are of mixed age and condition.
- The changing rooms on Level 1 have a ducted system provided with a dedicated Air Handling Unit (the age of which was unable to be confirmed but presumed greater than 10 years old. The kitchen on Level 2 has dedicated commercial grade range hood provided above the fryer bank. This equipment is in fair condition and with good maintenance it is not anticipated it will require replacement in the reporting term.
- The cool room on Level 2 is in fair to good condition. It is not anticipated that this will require replacement within the reporting period.
- The Kitchen on Level 3 has a dedicated commercial grade range hood provided. This equipment is in fair to good condition and with good maintenance it is not anticipated that it will require replacement in the reporting period.
- Two (2) deep fat fryer exhaust hoods are provided on Level 4. This equipment is in a fair to good condition and would be approaching the end of its economic useful life within the reporting period.
- Three cool room provided on Level 3 are in a good well-maintained condition. No allowance is provided relating these within the reporting period.
- In relation the Cool rooms at site, allowances have provided for the replacement of Compressors and evaporators over time.
- Seven (7) Variable Refrigerant Volume (VRV) manufactured by Daikin are provided with indoor fan coil units. This equipment is considered to be in good condition, and it is not anticipated that these will require replacement in the reporting period.
- Level 4 has a small cool room. This appears in good condition and it is not anticipated any work will be required on this in the reporting period.
- Four (4) Carrier Heat pump units are located at site. These units are old. It would appear redundant in lieu of the installation of the Daikin VRV system. If in use, replacement is recommended in the medium term. This will need to be confirmed with facility management.
- The toilet areas have air extraction systems provided. These are mixed age. Due to the restively small fan sizes these are likely run to fail, low cost and therefore it is anticipated these will be replaced as a maintenance item.

3.1.6.3. Hydraulic Services Description:

- The hydraulic services are generally in fair to good condition overall.
- Domestic hot water is provided by gas-fired water heaters. Two (2) of these units are older (1998) and will require replacement in the short term. The two (2) gas fired units installed in 2018 will not require replacement in the reporting period.
- A gas fired boiler is provided at ground floor level. This is new system (installed circa 2018) and will not require attention in the reporting period.
- A number of instantaneous hot water units are provided at site.

- Two (2) 'Hydroboil' units are provided. These are in good condition.
- Sanitary fixtures and fittings throughout both buildings include toilet pan's and cisterns and wash hand basins. A stainless-steel cleaner's sink and tapware are installed.

3.1.6.4. Fire Services Description:

- The property has a fire detection and EWIS system throughout. This incorporates a smoke detection, EWIS speakers, WIP phones and emergency break glass point. The main Fire Indicator Panel (FIP) for all the site is in West Stand Ground Level Entry. A second panel is located on Level 4 of the West Stand. Although the system is in a good condition an allowance is provided to replace the FIPs in the long term due to life cycle.
- Portable suppression equipment is provided. Tag and test are dated June 2020

3.1.6.5. Vertical Transportation Services Description:

- The grandstand is served by a passenger lift. No information has been sighted in relation to any historic upgrade works having been undertaken. Further information is required to determine whether any lifecycle replacement works will be required over the next 10 years.

3.1.6.6. Condition Overview & Key Issues:

Component Type	General Condition	Issue	Risk	Priority
Power Distribution	Fair	– No major issues noted. Lifecycle replacement of Distribution Boards recommended in long term.	Low	Low
Power Distribution	Poor	– AECOM recommended works to Substation. 4114 in the medium term.	Medium	Medium
Power Distribution	Poor	– AECOM recommended works to Substation. S2653 in the medium to long term.	Medium	Medium
Power Distribution	Fair	– No major issues noted. MSB lifecycle replacement and AECOM Report recommended work in the medium term, including provision of new generator connection cubicle together with sealed connection to the MSB.	Medium	High
General Lighting	Fair	– No major issues noted. Lifecycle replacement of lighting in grandstand.	Low	Medium
Emergency Lighting	Good	– No major issues noted.	Low	Low
Air Conditioning Systems	Poor to Fair	– There are a number of Daikin split systems utilising R22 refrigerant plus some older system that need to be replaced with alternative systems due to being phased out. An allowance is provided to replace a number of these systems within the reporting period.	Low	Medium
Air Conditioning Systems	Fair	– Some older Carrier Heat Pump units will require replacement within the reporting period, subject to confirmation from client regarding their operation.	Low	Low
Air-Conditioning Systems	Fair	– Allowances provided for the replacement of cool room compressors and evaporators over time.	Medium	Medium
HVAC	Poor	– Allowance provided to upgrade kitchen ventilation exhaust on Level 4, in conjunction with roof replacement works in the short term.	Low	Medium
Sanitary Fixtures	Fair to Good	– Toilet fixtures including handbasins, are in mixed condition throughout the levels, although generally in fair condition and reaching the ends of their serviceable lives. Lifecycle replacement should be considered concurrently with the full refurbishment of toilet amenity areas.	Low	Medium
Domestic Hot Water	Fair to Good	– No major issues noted. Lifecycle replacement of the older gas fired water heaters recommended in the immediate short term. – Instantaneous water boilers have been allowed for lifecycle replacement within the medium term due to failure.	Medium	High
Fire Detection	Good	– No major issues noted. Allowance provided for FIP replacement in the long term.	Low	Low
Fire Suppression	Good	– No major issues noted.	Low	Low
Lifts	Good	– No major issues observed.	Low	Low

3.2. East Gregan – Larkham Stand & Outbuildings

3.2.1. Description

The East ‘Gregan – Larkham’ Stand was constructed as the major component/addition in the stadium redevelopment in 1998. Review of structural drawings indicate a pre-existing structure was altered and extended as part of the construction.

The structure flanks the eastern side of the field/complex and comprises four internal levels and the top level (L6) grandstand seating area.

L5 accommodates the ‘East Lounge’ and amenities, L4 (ground level) primarily accommodates the catering area and L3 comprises corporate suites and a separate sports lounge/function area. L2 (concourse) provides for food and beverage concessions as well as toilet amenities, the main switch room, first aid room and store areas. A goods lift serves L2 to L4 with a passenger lift providing access between L2-L5. Internal staircases provide safe egress between the levels to the external ground level.

We understand through discussions with facility management that no significant refurbishment works have been undertaken to the stand since its original construction.

Asset Age: Circa 1998



General view of East Gregan-Larkham Stand.



General view of east elevation to East Stand.



General view of interior to L5 – East Lounge.

3.2.2. Structure

3.2.2.1. Description:

- The building’s foundations were concealed and unable to be sighted at the time of inspection.
- The superstructure comprises a combination of steel and reinforced concrete columns, supporting reinforced concrete slabs and the L6 grandstand/terraced seating area.
- Structural walls are a combination of reinforced concrete panels, concrete blockwork and shotcrete wall construction.
- The roof structure comprises a steel framed, suspended roof.

3.2.2.2. Condition Overview & Key Issues:

Component Type	General Condition	Issue	Risk	Priority
Building Structure	Fair	<ul style="list-style-type: none"> - Sealant expansion joints to the grandstand have deteriorated and will require replacement in Year 2 as part of stadium-wide joint replacement works. <p>We note the recent failure of the expansion joint located between Bay’s 28 & 29 which had resulted in water entry and damage to internal linings within L3 Corporate Suite 1. Recent replacement of the sealant joint has been completed, together with a metal over flashing sealed over the top of the joint (to both sides of grandstand at Bay’s 25 & 29). We recommend a structural engineer be engaged to comment on the joint detail to the grandstand structure in this location and assess the potential and extent for possible differential movement that may be occurring, as well as provide a suitable long term weathertight remedial solution to address this detail.</p> <ul style="list-style-type: none"> - Evidential water entry and subsequent spalling damage noted at various locations to the structure, particularly to the podium above L2 concourse and at junctions to stairwells from L4. Allow to repair affected areas of spalling in in the short term. A structural engineer should be engaged to comment on direct source of water ingress and provide long term remedial solutions to prevent future occurrences of spalling. 	Medium	High

3.2.3. External Fabric

3.2.3.1. General:

- The roof is covered with profiled metal sheets which drain to internal box guttering. Eaves to the suspended roof over the grandstand are lined with profiled metal sheets.
- A small, profiled metal sheet clad roof is installed over the L5 – East Lounge to the rear of the grandstand.
- Facades predominantly comprise painted blockwork masonry to L2 concourse. Windows and doors to the exterior of the L5 East Lounge are of single glazed, powder coated aluminium framed construction.
- Fibre cement sheets are installed to the front and rear perimeter of the L6 Grandstand and to the north and south elevations of the L5 East Lounge. Plasterboard ceiling linings are installed to the podium above the L2 concourse. Painted metal floor panels are provided to the L6 open corporate boxes.
- Public seating comprises plastic seats fixed to steel framing which in turn are fastened to the concrete with dynabolts.

3.2.3.2. Condition Overview & Key Issues:

Component Type	General Condition	Issue	Risk	Priority
Roof Area	Fair	<ul style="list-style-type: none"> - We were unable to gain access to the main roof at the time of our inspection. However, we understand no current issues exist or have been reported by facilities management. - Water damage was sighted to internal ceiling linings within the L5 East Lounge. Further investigation of the small east roof area above the lounge should be undertaken in Year 1 to confirm and eliminate source of leak in year 1. Replacement of sealants to roof penetrations, flashings and the internal gutter should also be undertaken concurrently. - NOTE: The roofs are recommended to be inspected and washed down annually as part of a regular maintenance program. 	Low	Medium
Facades	Fair	<ul style="list-style-type: none"> - Sections of timber fascia boards to the east above the East Lounge have deteriorated and are recommended to be replaced. - Glazing gaskets to the aluminium framed windows serving the east lounge should be considered for overhaul within the next 10 years. - Redecoration of external walls to the Grandstand (concrete blockwork walls, painted concrete podium and plasterboard linings, steel columns, fascia boards and fibre-cement cladding) should be undertaken within the next 5-10 years. - NOTE: Facades/external walls would benefit from regular annual washing down to remove staining as part of a regular maintenance program. 	Medium	Medium

Component Type	General Condition	Issue	Risk	Priority
L6 Grandstand Finishes	Fair	<ul style="list-style-type: none"> Fibre-cement sheet cladding installed to the front and rear of the L6 grandstand is generally in fair condition with minor instances of cracked sheet corners noted. Replacement should be undertaken in the short term. Painted steel flooring to the open box areas is considered to be in fair condition. Lifecycle replacement should be considered in Year 5. 	Low	Low
Public Seating	Good	<ul style="list-style-type: none"> No major issues sighted. NOTE: Allow for provision of increased inventory of seats to improve efficiency in replacement maintenance when required. 	Low	Low

3.2.4. Internal Fabric

3.2.4.1. Description:

- Internally, the building has four levels generally comprising the following;
 - vii. Level 5** – ‘East Lounge’ area with bar and male and female amenities.
 - a. Internal finishes generally comprise painted plasterboard walls and ceilings, and carpet to the lounge area.
 - b. The bar is lined with painted plasterboard ceiling, decorative timber-effect wall linings and ceramic floor tiles and includes commercial refrigeration and dishwashing equipment.
 - c. WC amenities are lined with ceramic wall and floor tiles.
 - viii. Level 4** – Ground Level catering services complete with multiple walk-in cool stores / freezers, commercial kitchen and catering office space.
 - a. Internal finishes generally comprise concrete floors, blockwork walls with limited sections of painted plasterboard walls. Large, motorised tilt panel doors and a hoist/dock leveller are installed to the loading dock areas to the south of the floor.
 - b. Catering offices are provided to the south and comprise carpet floors tiles and painted plasterboard walls and ceilings. A large commercial kitchen and mini kitchen areas are provided to the north of the floor. The large kitchen is served with the following commercial equipment including large dishwasher, steam and gas ovens and rangehoods are provided. The kitchen is lined with ceramic wall and floor tiles. Multiple walk-in cool rooms/freezers are provided throughout the floor. No documentation has been sighted in relation to any current user/operator licences for the commercial kitchen.
 - c. Plant rooms are also provided to the floor and house electrical and hot water services.
 - ix. Level 3** – Corporate Suites/Boxes, Sports Lounge/Function area with male and female amenities and external corporate box seating.
 - a. Internal finishes generally comprise painted plasterboard and blockwork walls and ceilings and carpet floor coverings. The bar is lined with decorative timber-effect wall linings and ceramic floor tiles and includes commercial refrigeration and dishwashing equipment.
 - b. WC amenities are lined with ceramic wall and floor tiles.
 - x. Level 2** – Concourse with food and beverage concessions/stalls, male, female and accessible amenities, main switch room, first aid, store areas.
 - a. Toilets comprise painted rendered blockwork walls and localised ceramic wall tiles.
 - b. Food concession and quick service bar areas are lined with ceramic wall and floor tiles. Ceilings are painted plasterboard. These areas are typically served with commercial cooking and refrigeration equipment, stainless steel benchtops and dedicated cool rooms.
- Multiple central internal concrete framed staircase provides access between all levels and egress to the exterior at Ground Level.

3.2.4.2. Condition Overview & Key Issues:

Component Type	General Condition	Issue	Risk	Priority
L5 Interior	Fair	<ul style="list-style-type: none"> Water damaged section of plasterboard ceiling lining to East Lounge. An allowance has been made to investigate and eliminate the source of the leak. The bar area appears to be reaching the end of its serviceable life. However, refurbishment could be delayed and undertaken as part of a wider refurbishment of the floor in Year 6 (excluding WCs). Works recommended to include the upgrade of electrical, lighting as well as kitchen equipment is recommended within the next 5-10 years. The toilet amenities are in good condition. Lifecycle refurbishment of finishes and fittings should be considered towards the end of the reporting period. 	Low	Low
L4 Interior	Poor	<ul style="list-style-type: none"> Commercial kitchen appears of original construction and is considered to be in poor condition with widespread degradation of linings and equipment noted. Lifecycle refurbishment will be required within the next 5 years, including new ceiling linings. Spalling damage to the east loading dock and exposed reinforcing to Hot Water Room are recommended to be addressed in year 1. Lifecycle replacement of the shutter door motors should be undertaken in the immediate short term. Caterers amenities should be considered for full refurbishment, including sanitary fixtures within the next 5 years. Full redecoration of the floor, including upgrade of lighting, emergency lighting and fire detection/warning systems, replacement of floor tiles is recommended in the short term. External toilet amenities should be considered for refurbishment within the next ten years. 	Medium	Medium
L3 Interior	Fair	<ul style="list-style-type: none"> Internal finishes are generally considered to be in fair condition. Water ingress and subsequent damage was noted within Corporate Suite 1, directly below a previously failed expansion/control joint in the concrete grandstand structure above. Allow to repair in Year 1 following investigation of joints from structural engineer. Full redecoration of the floor, including the corporate suites sports bar and hallways should be considered within the next 5-10 years. Approximately 50% of the existing emergency lighting should be upgraded as part of the redecoration. Toilet amenities behind the sports bar are generally in good condition. Lifecycle refurbishment should be considered in long term. 	Low	Low

Component Type	General Condition	Issue	Risk	Priority
L2 Interior	Poor	<ul style="list-style-type: none"> <li data-bbox="696 244 1787 304">– Water entry and spalling damage noted to the concrete stairwells between L3 & L2 are recommended to be addressed in year 1. <li data-bbox="696 331 1787 443">– Toilet amenities are recommended for lifecycle refurbishment within the next 5 years. Works could be undertaken on a staged basis. The accessible WC's / baby change rooms are non-compliant in relation to accessible circulation and fixtures and upgrades to achieve compliance should be undertaken as part of the refurbishment works. <li data-bbox="696 470 1787 557">– Food concessions and quick service bars are generally in fair-to-poor condition with damaged ceiling linings evident to K2 concession. Refurbishment of food concessions, including associated equipment should be undertaken within the next 5-10 years on a staged basis. 	Low	Medium

3.2.5. External Areas

3.2.5.1. Description:

- Two concrete framed staircases with steel balustrading and direct-fixed stair nosings are provided to the east of the grandstand.

3.2.5.2. Condition Overview & Key Issues:

Component Type	General Condition	Issue	Risk	Priority
Hardstands Stairs	Fair	– Treaded nosings are poorly fixed to the concrete substrate and were seen to be loose in areas. Allow to remove existing tread and replace with new, securely aluminium treaded nosings in year 1.	Medium	High

3.2.6. Building Services

3.2.6.1. Electrical Services Description:

- The electrical services are mixed age and condition.
- The Power distribution incorporates a Main Switch Board, Generator temporary supply board and Distribution Boards throughout the building. This equipment was installed in 1999 and will exceed the anticipated economic life cycle within the reporting period.
- The Main Switch Board (MSB) is exhibiting signs of aging. As highlighted in AECOM report dated 16 November 2020 also highlights that this Board does not have a temporary back-up power connection. Allowance is provided to replace the MSB with the provision for temporary back-up power interconnection included in the medium term.
- The Distribution Boards will require life cycle replacement in the medium term.
- General lighting predominantly comprises ceiling mounted incandescent downlights and fluorescent batten light fittings. Halogen downlights are installed to corporate suites. External lighting is provided via a combination of LED and presumed sodium flood lights. Emergency lighting is provided by a combination LED and fluorescent illuminated exit signs and 'spit fire' LED fittings. This equipment was noted as operational and in a fair to good condition.
- Five television screens are installed to the soffit above the L6 grandstand.

3.2.6.2. Mechanical Services Description:

- The mechanical services are of mixed age and condition.
- Two (2) Multi City Mitsubishi VRV systems are provided to the Level 3 Sports Lounge. This system is relatively new and will not require replacement within the reporting period.
- Three (3) VRV systems manufactured by Daikin are provided with indoor fan coil units. This equipment is in fair to good condition, and it is not anticipated that these will require replacement in the reporting period.
- A small number of wall mounted comfort cooling systems are provided to supplement the VRV system. Allowance is provided to replace one of these systems in the medium term.
- The kitchen on Level 4 has dedicated commercial grade range hood provided. This equipment is in fair condition and with good maintenance it is not anticipated it will require replacement in the reporting term.
- A number of cool rooms (9No.) are provided within the property. These are mixed condition but generally fair to good. Allowances are provided for the replacement of Compressors and evaporators over time.
- The Kitchen on Level 3 has a dedicated commercial grade range hood provided. This equipment is in fair to good condition and with good maintenance it is not anticipated that it will require replacement in the reporting period.

- The toilet areas have air extraction systems provided. These are mixed age. Due to the relatively small fan sizes these are likely run to fail, low cost and therefore it is anticipated these will be replaced as a maintenance item.
- The loading dock and the garbage area have dedicated exhaust systems provided. Allowance is provided in the medium term to replace one of these fans.

3.2.6.3. Hydraulic Services Description:

- The hydraulic services are generally in fair condition overall.
- Domestic hot water is provided by a combination of electric and gas-fired water heaters. Three (3) of the gas fired units are older (circa 2000) and will require replacement in the short term. The small electric unit and the recently installed (2019) gas unit will not need to be replaced in the reporting period.
- Sanitary fixtures and fittings throughout both buildings include toilet pan's and cisterns and wash hand basins. A stainless-steel cleaner's sink and tapware are installed.

3.2.6.4. Fire Services Description:

- The structure has a fire detection and EWIS system throughout. This incorporates a smoke detection, EWIS speakers, WIP phones and emergency break glass points throughout. The main Fire Indicator Panel (FIP) for all the site is in West Stand Ground Level Entry. The East Stand has a FIP that is linked to the West FIP providing local East Stand alert and control. Although the system is in a good condition an allowance is provided to replace the FIP in the long term due to life cycle.
- Portable suppression equipment is provided. Tag and test are dated June 2020.

3.2.6.5. Vertical Transportation Services Description:

- A goods lift serves L2 to L4 with a passenger lift providing access between L2 to L5. No information has been sighted in relation to any historic upgrade works having been undertaken. Further information is required to determine whether any lifecycle replacement works will be required over the next 10 years.

3.2.6.6. Condition Overview & Key Issues:

Component Type	General Condition	Issue	Risk	Priority
Power Distribution	Fair	– Allowance is provided to replace the MSB with the provision for temporary back-up power interconnection (as highlighted in AECOM report) included in the medium term.	Medium	Medium
Power Distribution	Fair	– Allowance is provided to replace DBs due to end of lifecycle.	Medium	Medium
General Lighting	Good	– No major issues noted.	Low	Low
Emergency Lighting	Good	– No major issues noted.	Low	Low
Security System	Good	– No major issues noted.	Low	Low
Air Conditioning Systems	Fair	– No major issues noted. Replacement of older split system will be required in medium term.	Low	Low
HVAC	Fair-to-Good	– Cool rooms. Allowances are provided for the replacement of compressors and evaporators over time.	Low	Medium
HVAC	Fair	– The loading dock and the garbage area have dedicated exhaust systems provided. Allowance is provided in the medium term to replace one of these fans.	Low	Low
Sanitary Fixtures	Fair-to-Good	– Toilet fixtures including handbasins, are in mixed condition throughout the levels, although generally in fair condition and reaching the ends of their serviceable lives. Lifecycle replacement should be considered concurrently with the full refurbishment of toilet amenity areas.	Low	Medium
Domestic Hot Water	Poor	– No major issues noted. Life cycle replacement of 3 gas fired water heaters in the short to medium term.	Low	Medium
Fire Detection	Fair	– No major issues noted. Lifecycle replacement of smoke detection and EWIS systems should be considered where areas are to be refurbished within the next 10 years. Long term replacement of the FIP allowance provided.	Low	Medium
Fire Suppression	Good	– No major issues noted.	Low	Low
Lifts	Good	– No major issues observed.	Low	Low

3.3. North & South Terraces & Food Concessions

3.3.1. North and South Terraces

3.3.1.1. Description:

- The north and south terraces flank the ends of the West Grandstand and comprise reinforced concrete terraced seating supported by reinforced concrete columns.
- The top perimeter of both terraces are bound by steel balustrading/fencing with wire mesh screens/panelling.
- Both stands have fire suppression in the form of fire hose reels.
- External lighting is installed to the front perimeter walls of both terraces.

3.3.1.2. Condition Overview & Key Issues:

Component Type	General Condition	Issue	Risk	Priority
Structure	Poor	<ul style="list-style-type: none"> - Sealant expansion joints throughout both terraces has deteriorated. Replacement of joints should be undertaken in Year 2. - Instances of cracking noted in various areas to the terraces. The south terrace displayed areas of damaged concrete and spalling with exposed steel reinforcing evident. Repairs should be undertaken in the short term. 	Medium	High
Seating	Fair	<ul style="list-style-type: none"> - No major issues sighted. General UV deterioration noted to seating. NOTE: Allow for provision of increased inventory of seats to improve efficiency in replacement 	Low	Low
Fencing	Poor	<ul style="list-style-type: none"> - Wire mesh screens/panels to the rear balustrading/fencing to both terraces are corroded and recommended for replacement in the short term. 	Medium	High
General Lighting	Fair	<ul style="list-style-type: none"> - Lifecycle replacement of the concourse lighting to the base of the terraces should be considered in the next 10 years. 	Low	Low
Fire Suppression	Fair	<ul style="list-style-type: none"> - Lifecycle replacement of the fire hose reel cabinets should be considered within the next 5 to 10 years. 	Low	Low



General view of South Terrace



Damaged concrete and exposed steel reinforcing.



Degrading sealant expansion joints to the South Terrace.



General view of North Terrace



Rear balustrading/fencing to the top of the terraces corroded.



Typical luminaire to base of terraces.

3.3.2. Food Concessions K4, K5, K9 & K10

3.3.2.1. Description:

- Two sets of converted, refrigerated containers serve as food concession stalls to each of the north and south terraces.
- Each containers is covered with sheet metal roofing and drain to perimeter internal metal gutters. External kitchen exhausts are installed to the roofs. Fibre-cement cladding is installed to the perimeter of each container at high level.
- The structures typically contain commercial cooking equipment including gas ovens/fryers, refrigerators and rangehoods/exhausts. Stainless steel benchtops, sinks and basins are also installed complete with cold water supply. Domestic hot water is provided to each container via 50L electric water storage tanks.
- The containers have internal cool stores / freezers with external compressors/condensers. Installation/manufacture dates were unable to be confirmed. An external cool store is provided between K9 & K10.
- Power to the containers is distributed via individual domestic switchboards. General lighting is provided with fluorescent batten fittings. Emergency lighting comprises external illuminated exit signs.
- Portable fire suppression is provided via external fire hose reels and fire extinguishers and fire blankets internally.

3.3.2.2. Condition Overview & Key Issues:

Component Type	General Condition	Issue	Risk	Priority
K9 & K10	Poor	<ul style="list-style-type: none"> - Food Concession containers are dated 1988 and are generally considered to be in poor condition overall. Fibre-cement sheet cladding and eaves are damaged in areas and generally at end of life. Roof sheets appear impacted and crimped with evidence of water ingress to eaves sighted. Fluorescent lighting fittings are at end of life. External compressor equipment will require lifecycle replacement within the reporting period and internal finishes are starting to deteriorate. Given their respective condition and the age of the containers and associated equipment, full overhaul/replacement should be considered within the next 5 to 10 years. Replacement includes lining of new refrigerated container, provision of electrical distribution/lighting, hot water tanks, internal lining, external cladding and new commercial cooking equipment. 	Medium	High



General view of K5 Food Concession.



Degradation of coating and minor surface corrosion to container walls.



Typical external compressor/condenser serving Food Concessions.



General view of K9 Food Concession.



Damaged FC cladding to K9 Food Concession.



Internal view of K9 Food Concession.

3.4. Inner Bowl

3.4.1. Description

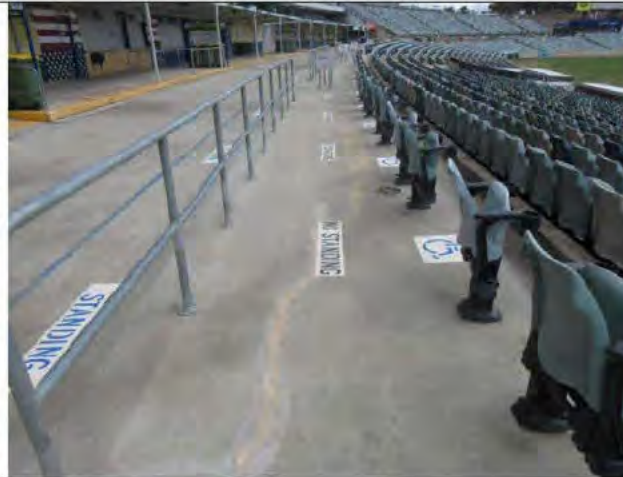
- The Inner Bowl consists of the lowest section of terraced seating bounding the field which are understood to have been installed circa 1998 as part of the stadium redevelopment with the construction, replacing a pre-existing running track.
- The building's foundations were concealed at the time of inspection.
- Superstructure comprises reinforced concrete terraced structure supported by reinforced concrete columns. Internal field-level corridors, store areas, an AHU room and first aid room are situated beneath the West section of the inner bowl and concourse.

3.4.1.1. Condition Overview & Key Issues:

Component Type	General Condition	Issue	Risk	Priority
Structure	Poor	<ul style="list-style-type: none"> - Sealant expansion joints throughout the inner bowl have deteriorated. Replacement of joints should be undertaken in Year 2. - Instances of cracked stair treads were sighted to stairs, prevalent to the east section of the inner bowl. The extent of cracking poses a risk to potential spalling damage and should be repaired in the short term. - The concrete concourse to the top perimeter of the inner bowl is in poor condition with widespread cracking of varying size and magnitude and associated water ingress noted to internal areas below. We understand structural investigations have recently been commissioned by Venues Canberra to ascertain the causation and identify possible remedial recommendations in relation to the cracking. Any remedial recommendations and associated costs provided following these investigations should be considered and included as part of the CAPEX plan. 	Medium	High
Perimeter Walls	Fair	<ul style="list-style-type: none"> - Sealant expansion joints between sections of reinforced concrete perimeter fencing have degraded. Allow to clean out and replace sealants in the short term. 	Low	Medium
Seating	Fair	<ul style="list-style-type: none"> - No major issues sighted. General UV deterioration noted to seating. NOTE: Allow for provision of increased inventory of seats to improve efficiency in replacement 	Low	Low



View of west section of Inner Bowl.



Cracking to top level of inner bowl to the West, adjacent to the L2 Concourse.



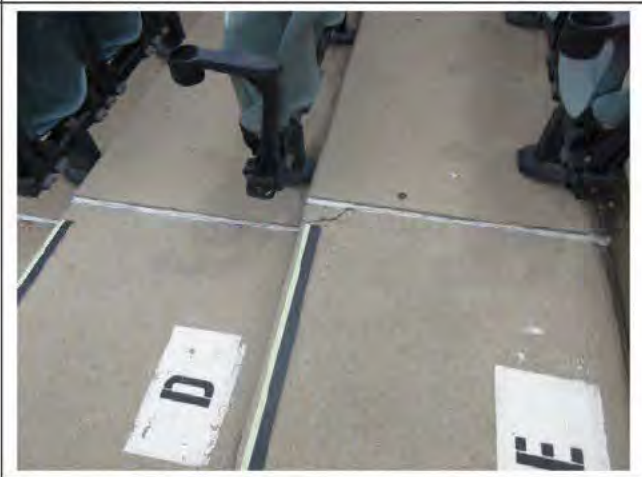
Cracking and evidential historic repairs to north-west corner of concourse.



Typical example of deteriorated sealant expansion joints.



Deteriorating sealant to perimeter concrete wall expansion joint



Cracking and potential of spalling damage to north section of Inner Bowl.

3.5. External Amenities & Grounds

3.5.1. Access & Hardstands

3.5.1.1. Description:

- Site hardstands predominantly comprise concrete slabs. Loose laid gravel is applied to the wider perimeter areas of the stadium.
- The site is secured with recently installed metal palisade fencing. Primary access to the site is provided via automatic gates to the west and east, adjacent to the Ticketing Offices. Proximity swipe keypad / intercom access systems are provided to steel bollards adjacent to the west and east entry gates.
- A solar array comprising six steel podiums, each supporting twelve panels is situated to the south and are understood to serve the West Grandstand.
- Multiple information sign totems are installed throughout the site.
- The fire hydrant stop valve and booster connection point is located to the south-west perimeter of the site, adjacent to the incoming gas mains meter and regulators.

3.5.1.2. Condition Overview & Key Issues:

Component Type	General Condition	Issue	Risk	Priority
Hardstands	Fair	- Hardstands are in varying degrees of age and condition, with areas of cracking noted, prevalent to the West of the site with localised recent targeted repairs also evident. West hardstands appear to be subject to increased vehicle traffic. Therefore, consideration should be given to a program of staged hardstand replacement/resurfacing towards the end of the reporting period, commencing with the areas to the western side of the site. Remainder of the hardstands should be considered for replacement shortly following the reporting period.	Medium	Medium
Fencing / Gates	Good	- No major issues sighted. Lifecycle replacement of the keypad/intercom access systems should be considered within the next 5 years. - Regular maintenance of the gate motors and tracks is recommended.	Low	Low
Solar Array	Fair	- No major issues noted or reported.	Low	Low
Signage	Fair	- Signs to the west of the site appear to have deteriorated due to UV exposure and should be considered for replacement in the medium term.	Low	Low
Hydrant Stop & Booster	N/A	- N/A – Unable to be inspected.	N/A	N/A
Other	Fair	- Gas metering and regulators are presumed at least 22 years old and should be considered for replacement within the next 5-10 years.	Medium	Medium
DDA Compliance	N/A	- Potential non-compliances exist in relation to DDA Accessibility, particularly with respect to toilet amenities, access to buildings and general access throughout the site. Allow for a site-wide accessibility audit to be commissioned in Year 1 to assist with future building upgrades and improvements.	Medium	High

3.5.2. Sport Lighting Towers

3.5.2.1. Description:

- Four painted steel framed light towers are installed to the perimeter of the north-east, north-west, south-east and south-west corners of the complex at ground level. Each light tower has an internal switch room at their base comprising dedicated main switch boards, all fed from the East Stand MSB. switchboard and three control panel distribution boards. Temporary generator connections are provided for each light tower MSB via transfer switches.
- We understand the light towers were upgraded in 1998.

3.5.2.2. Condition Overview & Key Issues:

Component Type	General Condition	Issue	Risk	Priority
Light Towers	Fair	- No major issues sighted. However, internal switchgear is understood to be circa 22 years old. Lifecycle replacement of the main switchboards and associated lighting control systems should be considered in Year 8. - NOTE: Cost included West Stand switchboard replacement works.	Medium	Medium
General	Fair	- This nature of lighting is specialist and will witness lighting technology and controls improvements in time. To incorporate a review of the available options available to Venues ACT, we have included a fee to undertake a feasibility / options review report on the lighting installations in the short term. On the basis that it is considered suitable to progress, an allowance to design and implement design options in the medium term. High level capital allocation has also been provided to undertake the prospective works in the medium term.	Medium	Medium
Decoration	Fair	- Painted finish is in fair condition. Redecoration should be considered within the next 5-10 years.	Low	Low



Typical light tower.



Typical view of switchboard serving light towers.



Typical light tower MSB Control section.

3.5.3. Public Toilets

3.5.3.1. Description:

- Four freestanding toilet blocks are provided to north-west, north-east, south-west and south-east of the stadium. The blocks are understood to be of original 1977 construction and are constructed from concrete blockwork and clad with fibre-cement sheet cladding, timber framed windows and covered with profiled metal sheet roofing which drain to internal gutters.
- Each block accommodates male, female and accessible toilet amenities with stainless steel urinals, wash basins, toilet cubicle partitions and ceramic pans with concealed cisterns. The blocks are lined internally with fibre-cement ceiling linings and limited ceramic wall tiles. Power is distributed via presumed original switchboards. Lighting comprises original recessed incandescent fittings. Emergency LED spitfire lights are installed.

3.5.3.2. Condition Overview & Key Issues:

Component Type	General Condition	Issue	Risk	Priority
General	Poor	- Original toilet blocks are basic and dated. External components are generally damaged or in poor in condition. Sanitary fixtures are generally in fair condition. However, consideration should be given to fully refurbishing the toilet blocks, including new fixtures, roof coverings, repairs to facades and upgrades to electrical equipment. Accessible WC's have non-compliant circulation spaces and sanitary fixtures which should be considered as part of the refurbishment scope. Blocks are recommended to be fully refurbished within the next 5-10 year.	Medium	Medium



General Photo of North-West Toilet Block



Typical fibre-cement cladding and sheet metal roofing to Toilet Blocks.



Typical Interior view of Female WC's

3.5.4. Ticketing Offices

3.5.4.1. Description:

- The east and west entry gates are reached served with a Ticketing Office Building with the West Office was constructed circa 2014 and the East Office in 2013.
- Both buildings are generally of the same construction and configuration and comprise a combination of concrete blockwork, vertical sheet metal cladding and painted fibre cement sheet wall linings with aluminium framed windows and solid core timber doors. Roller shutters of varying sizes are installed to both blocks. Roofs comprises profiled metal sheets which drain to internal box gutters. Internal linings comprise a mix of painted plasterboard and suspended grid and tile ceilings, plasterboard wall linings and vinyl and carpet tile flooring.
- Each building is served by a single DB. An Uninterruptible Power Supply (UPS) and dedicated DB are provided within the west office. General lighting typically comprises a mix of recessed LED downlights and fluorescent batten and troffer fittings. External lighting comprises recessed troffer lighting to eaves. Emergency lighting is provided via LED spitfires and illuminated exit signs.
- Air conditioning is provided via ducted split system 7.1kW AC units. Condensers are installed within the external mech plant rooms.
- Both buildings have fire detection and Early Warning Intercom Systems (EWIS) throughout. These incorporate smoke detection and EWIS Speakers. Portable suppression equipment is provided via fire extinguishers.

3.5.4.2. Condition Overview & Key Issues:

Component Type	General Condition	Issue	Risk	Priority
Structure	Good	- No major issues noted.	Low	Low
External Fabric	Good	- No major issues noted. Minor damage noted to West Office eaves. Allow to redecorate external painted walls and eaves to the East Office in 2028 and the West Office in 2029.	Low	Low
Internal Fabric	Good	- Numerous ceiling tiles within the West Ticketing Office are water damaged. Allow to investigate both the concealed AC ducting and roof coverings/internal gutter to confirm source of leak, prior to replacing affected tiles in Year 1. - Allow to redecorate internal walls, ceilings and floors to the East Office in 2028 and the West Office in 2029.	Medium	Medium
General Lighting	Good	- No major issues sighted.	Low	Low
Air Conditioning	Good	- Condensers are dated circa 2012/2013. Lifecycle replacement should be considered 2027 and 2028, respectively.	Low	Low
Fire Suppression	Good	- No major issues sighted.	Low	Low
Fire Detection	Good	- No major issues sighted.	Low	Low



General view of West Ticketing Office.



Interior sales office to West Ticketing Office.



Moisture damaged ceiling tiles to West Ticketing Office.



AC Condensers serving the West Ticketing Office.



General view of East Ticketing Office.



Interior sales office to East Ticketing Office.

3.5.5. Merchandise & Corporate Suite Buildings

3.5.5.1. Description:

- Both the west Merchandise and South Merchandise & Corporate Suite buildings are understood to have been recently installed circa 2019.
- The buildings comprise insulated panel construction with single glazed, aluminium windows.
- Split system air-conditioning systems are provided to each building.
- Power is distributed via domestic switchboards. General lighting comprises track lighting to the west Merchandise. Recessed LED lighting and illuminated 'running man' exit signs are provided to the South Merchandise.

3.5.5.2. Condition Overview & Key Issues:

Component Type	General Condition	Issue	Risk	Priority
West Merchandise	Very Good	- No major issues noted. No CAPEX anticipated over the next 10 years.	Low	Low
South Merchandise	Very Good	- No major issues noted. No CAPEX anticipated over the next 10 years.	Low	Low



West Merchandise Structure.



South Merchandise Structure.



Interior view of Corporate Suite area to the South Merchandise Structure.

3.5.6. Tri-Vision Scoreboard

3.5.6.1. Description:

- The Tri-Vision is the original scoreboard / screen constructed circa 1977 and situated to the north of the site.
- The structure comprises a painted steel frame and is clad with non-insulated presumed steel panel cladding. Internal steel walkway platforms are provided internally for servicing/maintenance. Vertical aluminium louvres, which operate via electric motors, open and close to display the score.
- The screen is understood to be served via a single distribution board supplied by the adjacent North Eastern Main Switchboard.
- Four floodlights are installed to the base of the structure to illuminate the screen.

3.5.6.2. Condition Overview & Key Issues:

Component Type	General Condition	Issue	Risk	Priority
General	Poor	- The scoreboard appears to have reached the end of its serviceable life and is considered to be in poor condition with widespread degradation noted to the majority of building components. We understand the scoreboard is largely non-utilized. Consideration should be given to fully replacing the structure or removing all together. A high-level cost has been provided for replacement.	Medium	Medium



Front Face to Tri-Vision Screen.



East (Rear) elevation of Tri-Vision Screen.



View of base to Tri-Vision.

3.5.7. Video Replay Screens

3.5.7.1. Description:

- The north video screen is understood to be 20 years old and comprises a steel frame structure with aluminium and sheet metal cladding. Roller shutters are provided below the screen to the ground level store area. Power is distributed via a dedicated DB installed in 2000.
- The south video screen has just been constructed in 2020 and comprises a steel frame structure. Roller shutters are provided below the screen to the ground level store area. Access into the screen is via stainless steel hooped access ladder. Power is distributed via a newly installed DB.
- Access to the screens is via stainless steel hooped access ladders. Both screens are controlled from the West Grandstand L4 Event Control room.

3.5.7.2. Condition Overview & Key Issues:

Component Type	General Condition	Issue	Risk	Priority
North Screen	Fair	<ul style="list-style-type: none"> - Painted steel columns display early minor surface corrosion, requiring treating and repainting. - The DB is 20 years old. Lifecycle replacement is recommended in 10 years. - Roller shutters should continue to be serviced and tracks lubricated as part of a regular maintenance program. 	Low	Low
South Screen	Very Good	<ul style="list-style-type: none"> - No major issues noted. The screen was constructed in 2020. Consideration should be given to redecorating the steel structure towards the end of the reporting period. 	Low	Low



General Photo of the North Video Screen.



DB serving the North Video Screen.



New South Video Replay Screen.

3.5.8. Slab & Concessions Area

3.5.8.1. Description:

- The 'Slab' area located to the south of the site comprises a concrete hardstand with two 17m2 converted shipping containers used for food / bar service. Fire hose reels serve the Slab area.
- The 'Slab Box' is a container comprising commercial fryer and rangehood/exhaust. The container is served with fluorescent lighting, fire extinguisher, fire blanket and a wall mounted AC unit. The roof comprises profiled metal sheets with exhaust fan and roof vent. A 50L electric water storage heater serves the container.
- The 'Slab Bar' is a refrigerated container with external condenser/compressor comprising commercial bar and refrigeration equipment. The container is served with fluorescent lighting, smoke detector, fire extinguisher, fire blanket and a split system air conditioner. A 50L electric water storage heater, manufactured 2016, serves the container.
- Power to both containers is distributed via domestic switchboards fed from the adjacent external kiosk DB.

3.5.8.2. Condition Overview & Key Issues:

Component Type	General Condition	Issue	Risk	Priority
Slab Box	Poor	- The container is in poor condition overall. The roof is poor and has enabled significant water entry causing water damage to internal linings. AC unit is damaged and in very poor condition. Given the extent of damage and the age and condition of associated equipment, the containers should be replaced within the next 2 years. Replacement includes lining of new container, provision of electrical distribution/lighting, new AC, hot water tank and new commercial cooking equipment.	Medium	High
Slab Bar	Fair	- No major issues sighted. The condensing unit and condenser/compressor are in fair condition and should be considered for replacement within the next 10 years.	Low	Medium
Hardstand	Fair	- Fire hose reel cabinets are in poor condition. Replacement recommended in Year 3. - Minor corrosion to sections of the steel balustrade requires treating in the short term. - Minor cracking to concrete hardstand noted. Continue to monitor.	Low	Low



Hardstand to 'Slab' Area.



Hardstand and Fire Hose Reel Cabinet to 'Slab' Area.



Exterior and Roof to Slab Box.



Interior of Slab Box.



Slab Bar.



Interior of Slab Bar.

3.5.9. Maintenance Sheds, Operations Area & Curators Store

3.5.9.1. Description:

- The Operations (Op's) Area was constructed circa 2015 and comprises a large black sheet metal clad shed with roller shutters. The Op's area is enclosed with sheet metal fencing. The area includes converted refrigerated containers. Domestic Hot Water is provided to the area via a 50L electric water storage heater, manufactured 2015. Power is distributed to the shed and containers via a small domestic switchboard, fed from the West MSB.
- Maintenance shed is of steel and timber framed construction and clad with sheet metal. Power is distributed via a domestic switchboard and fluorescent batten lighting is provided internally. The building is in fair condition. Steel framed canopies are provided to north-east of the maintenance shed.

3.5.9.2. Condition Overview & Key Issues:

Component Type	General Condition	Issue	Risk	Priority
Op's Shed	Good	- No major issues sighted.	Low	Low
Op's Area	Fair	- No major issues sighted. Refrigerated containers are of mixed age and condition. The electric water storage heater has a lifecycle of 15 years and should be replaced in 10 years.	Low	Low
Maintenance Sheds	Fair	- One roller shutter is damaged, requiring immediate replacement. - Roof insulation is recommended to be replaced in the short term. - Minor cracking noted to the concrete floor should be monitored.	Low	Medium
Canopy	Fair	- Damaged barge flashing to a canopy is recommended to be repaired. - Steel frame to canopies should be treated for corrosion, prior to repainting.	Low	Low



Operations Shed.



Main Maintenance Shed.



Interior of Maintenance Shed.

3.5.10. OB Compound

3.5.10.1. Description:

- The Outside Broadcasting (OB) Compound is located to the north-west of the site and is constructed from concrete blockwork, with localised painted steel posts and five smaller roller shutters to the front elevation. The OB Compound houses video networking equipment and connection points.
- Power is distributed via a single DB located which supplies separate smaller sub-distribution boards. A separate temporary generator connection point is provided adjacent to the DB. General lighting comprises fluorescent battens internally and externally. Emergency lighting are fluorescent light fittings.

3.5.10.2. Condition Overview & Key Issues:

Component Type	General Condition	Issue	Risk	Priority
Structure / Fabric	Fair	- Steel posts to the front of the compound display varying levels of corrosion. Treat and repaint within the next 3 years - Roller shutters should be considered for lifecycle replacement within the reporting period.	Medium	High
Power Distribution	Fair	- No major issues identified.	Low	Low
General Lighting	Good	- No major issues sighted. Replacement of the sole external fluorescent batten with a more energy efficient LED equivalent should be considered within the next five years.	Low	Low
Canopy	Good	- The adjacent canopy is considered to be in fair-to-good condition. No major issues sighted.	Low	Low



General view of OB Compound.



Corrosion to steel columns.



Internal view of OB Compound.

3.5.11. Field of Play

3.5.11.1. Description:

- Grassed playing field, bounded by a reinforced concrete walls with sealant expansion joints.

3.5.11.2. Condition Overview & Key Issues:

Component Type	General Condition	Issue	Risk	Priority
General	N/A	- No major issues sighted in relation to field of play areas. Further comment should be sought from suitably qualified turf specialists in relation to the playing field.	N/A	N/A

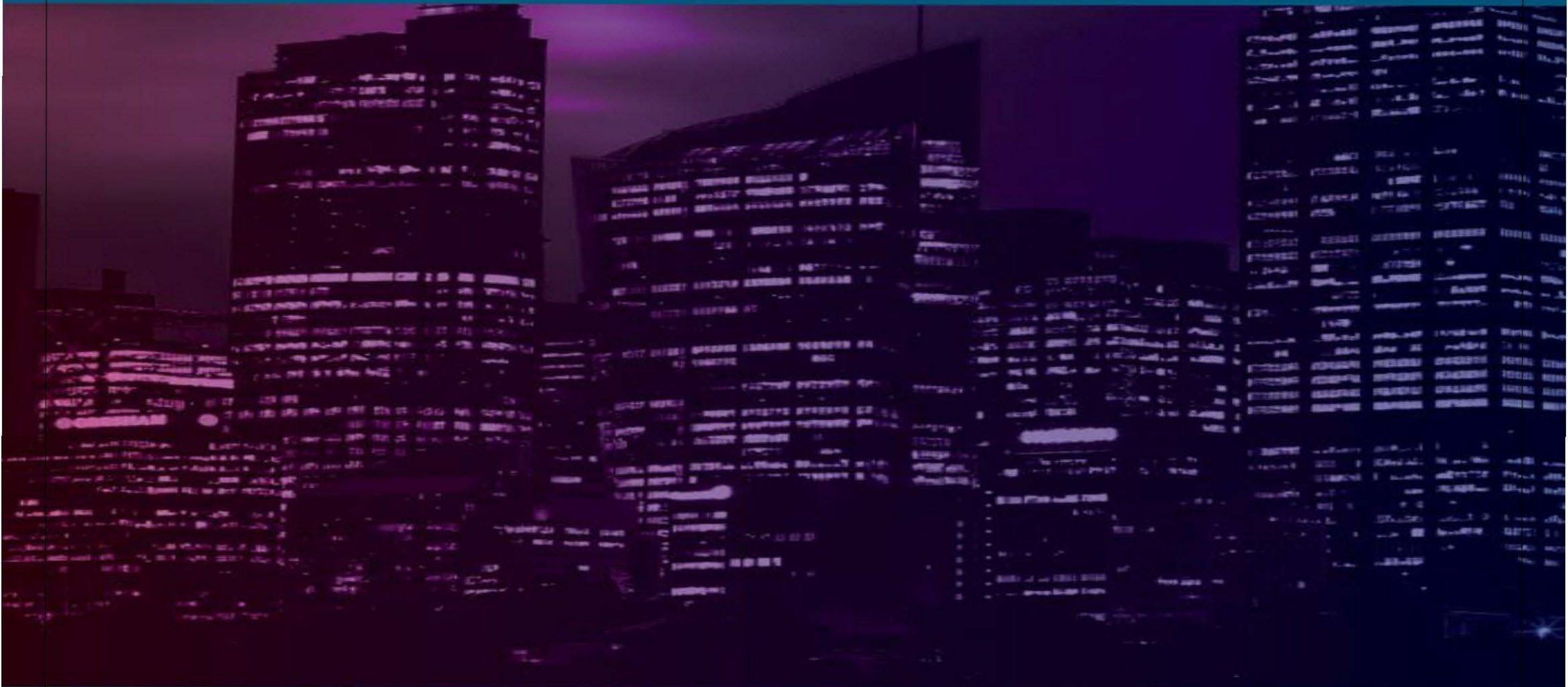


General view of turf.



General view of turf from West Grandstand Roof.

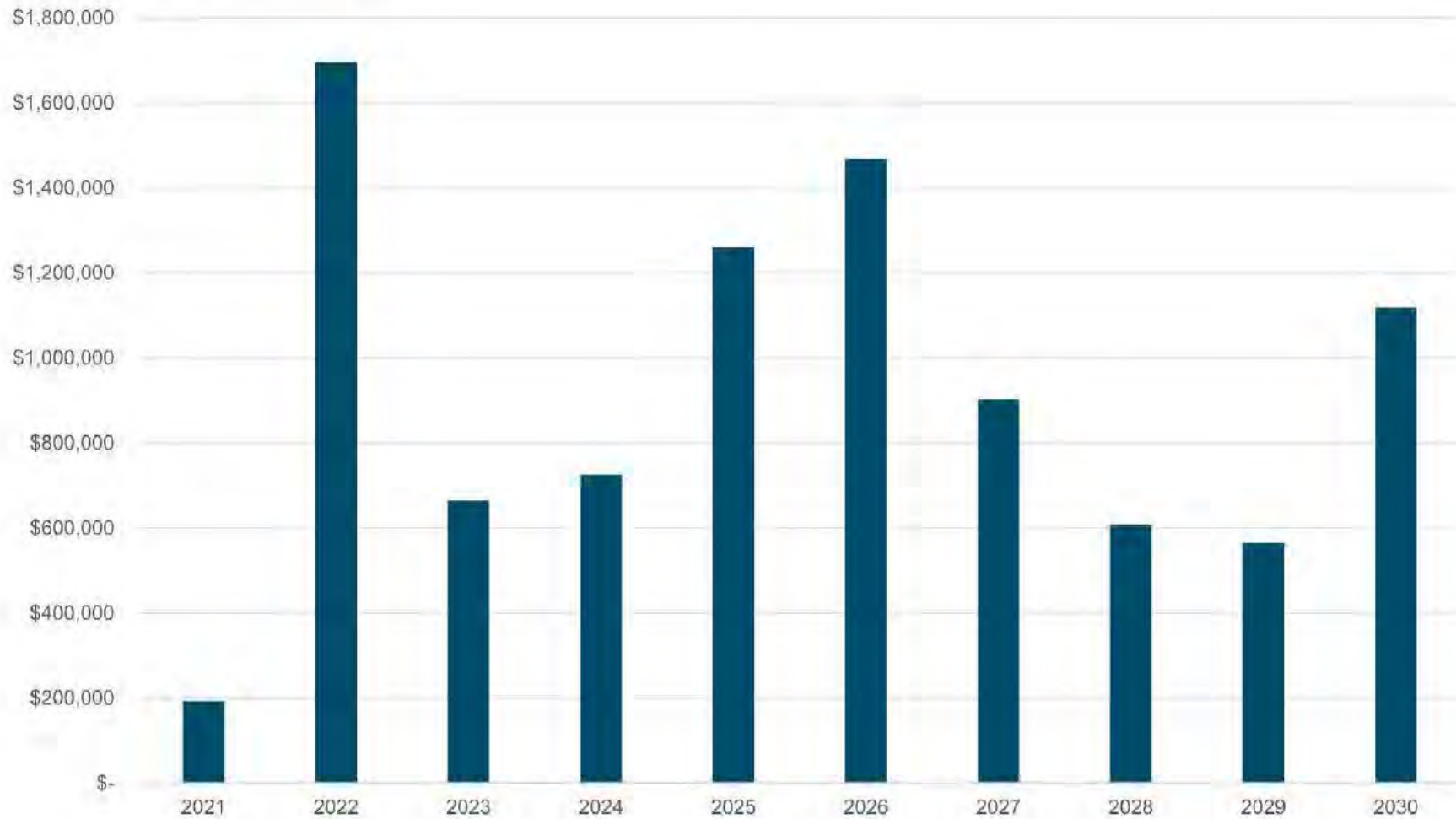
CAPEX Forecast Summary



4.0. CAPEX Forecast Summary

4.1. 10-Year Forecast Summary

The below bar chart summarizes the anticipated spread of expenditure for the asset over the next 10 years. Please refer to the full 10-Year CAPEX forecast in **Appendix A** for further details.



Planned Maintenance Review



5.0. Planned Maintenance Review

5.1. Overview

The table on the following pages provides an overview of the current planned maintenance (PM) regimes in place for the facility. The table also provides further considerations for improving planned maintenance works by way of increased frequencies for inspections/works and costs or potential variations to the approach to maintaining each component.

The review of planned maintenance procedures comprised an assessment of the ACT PG Works Plan document for the site, against the existing asset register. The ACT PG Works Plan lists all the existing PM works/contracts and associated costs in place.

5.2. Summary

The existing planned maintenance allowances listed in the ACT PG Works Plan appear to be relatively insufficient in relation to the extent of the site and its use as a public sporting facility. Furthermore, the ACT PG Works Plan does not clearly detail the extent of PM works/inspections/servicing that are being undertaken, nor the exact areas on the site that are to be included (existing contracts state either 'Main Building' or 'Kitchens'). We have presumed 'Main Building' refers to the two main (east and west) grandstands only.

We would consider that the cost allowances for required statutory PM works such as inspection/tagging of emergency lighting, fire detection and protection services are minimal. Additionally, existing non-statutory PM for components such as automatic doors/gates, roller shutters and air-conditioning services appear light.

Existing PM contracts should be reviewed to ensure all components and structures, including all buildings on site are included in the provision / pricing of PM works moving forward.

Lastly, a number of building components and elements do not appear subject to regular maintenance works / PM works, such as inspection and cleaning of building facades and roofs etc. The absence of such works can lead to accelerated deterioration of building fabrics and components which may lead to increased or fast-tracked unplanned capital expenditure requirements. New PM contracts should be initiated to account for such works.

The attached table provides an indication of our assessment of the recommended planned maintenance works, including comment on the existing PM works (ACT PG Works Plan Document), together with a high-level budget estimate of the cost range for each associated item of work.

Component	Component Group	Services Per Year	Statutory PM?	Applicable Standard	Current ACT PG Works Plan Cost	Extent of Works	Suggested PM Works Amendments	Recommended Maintenance Cost Range Per Year
Access Control System	Security	1	No - Industry Practice	-	\$0	No costs / works currently provided for.	Allow for quarterly inspections for the east and west grandstands plus two ticketing offices.	\$4,000 - \$7,000
Air Handling Unit / Supply Air Fan	HVAC	12	No - Industry Practice	AS/NZS 3666.2 Air-handling and Water Systems of Buildings - Microbial Control Part 2: Operation and Maintenance	Form part of \$41,450 cost for annual kitchen exhaust duct cleaning, quarterly HVAC service of Mitsubishi Unit to L3, annual refrigeration service and monthly and annual boiler servicing. refrigeration servicing.	Quarterly Servicing of Mitsubishi Unit to East Stand.	Allow for monthly inspections and servicing, including cleaning of filters.	\$800 - \$1,200
Automatic Doors	Mechanical	12	No - Industry Practice	-	Form part of \$2,330 for annual roller door and quarterly auto-gates & door servicing.	Quarterly Servicing of Auto Gates & Doors (exact locations not specified).	Allow for monthly inspections and servicing of automatic doors, gates and associated motors to the site (allow 1no. Auto door to East Stand, plus 2no. Auto gates to east and west entrances).	\$2,000 - \$2,500
Backflow Prevention Devices	Hydraulics	1	Yes	AS/NZS 2845.3 Water Supply - Backflow Prevention Devices - Field Testing and Maintenance of Testable Devices	Form part of \$8,990 cost for 6 Monthly HWS inspections and Backflow & TMV Annual Inspections.	Annual Inspection - 9x Backflow Devices	Existing contract cost appears light. Existing contract should be reviewed / revised to ensure all devices are accounted for.	\$2,300 - \$2,600
Boiler	Mechanical	1, 6 & 12	Yes	AS 2593 Boilers - Safety Management and Supervision Systems AS/NZS 3788 Pressure Equipment - In-service Inspection	Form part of \$41,450 cost for annual kitchen exhaust duct cleaning, quarterly HVAC service of Mitsubishi Unit to L3, annual refrigeration service and monthly and annual boiler servicing. refrigeration servicing.	Monthly / 6 Monthly / Annual Inspections	Allow for monthly, 6-monthly and annual inspections of the Boiler to the East Stand.	\$2,500 - \$3,000
Catering Equipment	Electrical	1	Yes	AS/NZS 3000 AS/NZS 3500.4 Plumbing and Drainage - Heated Water Services	\$30,150	Annual inspection and tagging of catering equipment for Kitchens K1-K12. Bi-annual servicing of catering equipment for the two main kitchens in the grandstands.	Presumed existing Works Plan Contract for electrical appears to relate to servicing of catering equipment. Presume this cost also includes inspection and tagging of all 18no. water boiling units to the kitchens. Existing cost appears to be sufficient.	\$29,000 - \$33,000
CCTV System	Electrical	4	No - Industry Practice	-	\$0	No costs / works currently provided for.	Allow for quarterly inspections for the site.	\$4,900 - \$5,300
Condensing	HVAC	12	No - Industry Practice	-	Presumed form part of \$41,450 cost for annual kitchen exhaust duct cleaning, quarterly HVAC service of Mitsubishi Unit to L3, annual refrigeration service and monthly and annual boiler servicing. refrigeration servicing.	Quarterly Mechanical Service	Existing contract cost appears slightly light and should be reviewed / revised to ensure all devices are accounted for. Allows for servicing of 9no. Units to the site.	\$6,500 - \$6,800
Cool Room	HVAC	4	No - Industry Practice	-	Form part of \$41,450 cost for annual kitchen exhaust duct cleaning, quarterly HVAC service of Mitsubishi Unit to L3, annual refrigeration service and monthly and annual boiler servicing. refrigeration servicing.	Presumed annual Refrigeration Servicing to all Cool Stores. Extent of works and number of cool rooms not specified.	Existing contract cost appears slightly light and should be reviewed / revised to ensure all devices are accounted for. Servicing inspections recommended to be quarterly. Allow for approx. 31no. Cool rooms across the site, as per Asset Register.	\$4,600 - \$5,000
Electric Hot Water Heater	Hydraulics	2	No - Industry Practice	AS/NZS 3500.4 Plumbing and Drainage - Heated Water Services	Form part of \$8,990 cost for 6 Monthly HWS inspections and Backflow & TMV Annual Inspections.	6 Monthly Inspections - Circa 5 units on site (as per existing asset register).	Existing contract should be reviewed / revised to ensure all devices are accounted for.	\$300 - \$500
Electrical - Distribution Board	Electrical	1	No - Industry Practice	AS/NZS 3000	\$0	No costs / works currently provided for.	Allow for annual inspections of switchboards to the site.	\$5,300 - \$6,000
Electrical - Residual Current Device	Electrical	1	No - Industry Practice	AS/NZS 3760 In-service Safety Inspection and Testing of Electrical Equipment	\$0	No costs / works currently provided for.	Allow for 6-monthly inspections and testing of RCD's to the site.	\$2,200 - \$2,800
Emergency and Exit Lighting	Fire	2	Yes	AS/NZS 2293.2 Emergency Escape Lighting and Exit Signs for Buildings Part 2: Inspection and Maintenance	\$2,690	Monthly / 6 Monthly Inspections - Main Building	Existing contract states for 'Main Building' only, although cost appears appropriate for the site. Ensure contract allows for all buildings on site, including the ticketing offices and new merchandise shop/corporate suite buildings.	\$3,200 - \$3,600
Exhaust Fan	HVAC	4	No - Industry Practice	AS 1851 Routine Service of Fire Protection Systems and Equipment AS 1851.6, AS 3666	Form part of \$41,450 cost for annual kitchen exhaust duct cleaning, quarterly HVAC service of Mitsubishi Unit to L3, annual refrigeration service and monthly and annual boiler servicing. refrigeration servicing.	Quarterly Servicing of Exhaust Fans - Main Building.	Allow for quarterly cleaning/servicing of fans (6no. to site). Presumed accounts for all fans to site and excludes toilet exhaust fans.	\$300 - \$500
External Walls, Facades & Structure	Structure & Fabric	1	No - Industry Practice	-	\$0	No costs / works currently provided for.	Allow for annual washing down of external walls, windows and structures to the site to remove any debris accumulations.	\$17,000 - \$21,000

Component	Component Group	Services Per Year	Statutory PM?	Applicable Standard	Current ACT PG Works Plan Cost	Extent of Works	Suggested PM Works Amendments	Recommended Maintenance Cost Range Per Year
Fans	HVAC	4	No - Industry Practice	AS 1851.6, AS 3666	Form part of \$41,450 cost for annual kitchen exhaust duct cleaning, quarterly HVAC service of Mitsubishi Unit to L3, annual refrigeration service and monthly and annual boiler servicing. refrigeration servicing.	Quarterly Servicing of Ventilation Fans - Main Building.	Allow for quarterly cleaning/servicing of ventilation fans (4no. to site), Presumed accounts for all fans to site.	\$300 - \$500
Fan Coil Unit	HVAC	12	No - Industry Practice	AS 1851.6, AS 3666	Presumed form part of \$41,450 cost for annual kitchen exhaust duct cleaning, quarterly HVAC service of Mitsubishi Unit to L3, annual refrigeration service and monthly and annual boiler servicing. refrigeration servicing.	Quarterly Mechanical Service	Allow for monthly inspections and servicing of fan coil units to the site and/or all units. Asset Register indicates 20no. units. However, recent PPM job card indicates 39no. units total.	\$12,000 - \$16,000
Fencing	Security	1	No - Industry Practice	-	\$0	No costs / works currently provided for.	Allow for annual inspection of the perimeter fencing.	\$400 - \$600
Fire Detection & Protection	Fire	1, 2 & 12	Yes	AS 1851 Routine Service of Fire Protection Systems and Equipment	Presume forms part of \$6,380 cost for Monthly Fire Protection System inspections to the Main Building (presume entire site).		Annual inspection and testing of break glass alarms, bi-annual inspection/tagging of fire blankets / extinguishers/hose reels/ hydrants, bi-annual testing of smoke & thermal detectors and monthly inspections of the fire indicator panels and sprinkler systems. Existing contract should be reviewed / revised to ensure all devices are accounted for. Presume current cost for 'Main Building' accounts for the entire site.	\$3,400 - \$4,200
Gas Hot Water Heater	Hydraulics	12	Yes	AS/NZS 3500.4 Plumbing and Drainage - Heated Water Services	Form part of \$8,990 cost for 6 Monthly HWS inspections and Backflow & TMV Annual Inspections.	6 Monthly Inspections - Circa 5 units on site (as per existing asset register).	Existing contract should be reviewed / revised to ensure all devices are accounted for. Allow to include tank within L3 Media Centre	\$1,600 - \$1,900
General Lighting	Electrical	4	No - Industry Practice	-	\$0	No costs / works currently provided for.	Allow for quarterly inspections and testing of the general lighting to all buildings to the site (excludes the sports lighting towers).	\$3,800 - \$4,600
Hazardous Goods Cabinet	Mechanical	1	No - Industry Practice	-	\$0	No costs / works currently provided for.	Allow for annual inspections of the hazardous goods storage shed.	\$100 - \$200
Heat Exchangers	Mechanical	2	No - Industry Practice	-	\$0	No costs / works currently provided for.	Allow for bi-annual inspection and servicing of the heat exchanger to the East Stand.	\$80 - \$200
Heating Hot Water Pump	Hydraulics	2	No - Industry Practice	-	\$0	No costs / works currently provided for.	Allow for bi-annual inspection and servicing of the hot water heating pumps to the site.	\$150 - \$300
Kitchen Exhaust Hood	HVAC	12	Yes	AS 1851 Routine Service of Fire Protection Systems and Equipment AS 1851.6, AS 3666	Form part of \$41,450 cost for annual kitchen exhaust duct cleaning, quarterly HVAC service of Mitsubishi Unit to L3, annual refrigeration service and monthly and annual boiler servicing. refrigeration servicing.	Annual Service - Duct Cleaning to all Kitchen Exhausts (approx. 5no.)	Allows for 5no. Kitchen exhaust fans as per Asset Register and most recent PPM works card (presume these are primary kitchen exhaust fans and exclude majority of Food Concessions exhausts).	\$12,000 - \$14,000
Ladder	Mechanical	1	Yes	AS/NZS 1891.4 Industrial Fall-Arrest Systems and Devices Part 4: Selection, Use and Maintenance	\$0	No costs / works currently provided for.	Allow for annual inspections and tagging for the roof access ladders to the grandstand roofs.	\$1,500 - \$1,700
Lift	Mechanical	4	Yes	AS 1735.1:2016 Lifts, Escalators & Moving Walks	\$20,920	Quarterly Lift Servicing - Main Building	Presume relates to all lifts to both stands. Cost appears high. Recommend reviewing/negotiating contract with existing provider as recommended cost for all lift maintenance inspections are anticipated to be less than existing contract.	\$10,200 - \$15,200
Packaged AC Unit	HVAC	12	No - Industry Practice	-	Presumed form part of \$41,450 cost for annual kitchen exhaust duct cleaning, quarterly HVAC service of Mitsubishi Unit to L3, annual refrigeration service and monthly and annual boiler servicing. refrigeration servicing.	Quarterly Mechanical Service	Existing contract cost appears slightly light and should be reviewed / revised to ensure all devices are accounted for. Allows for servicing of 5no. Units to the site.	\$2,500 - \$2,700
Roller Doors	Mechanical	4	No - Industry Practice	-	Form part of \$2,330 for annual roller door and quarterly auto-gates & door servicing.	Annual Servicing of 1x Roller Door (location not specified).	Existing contract cost appears light and does not factor in entire site and/or all units. Existing contract should be reviewed / revised to ensure all devices are accounted for. Allow for quarterly inspections and servicing of all roller doors throughout the site (including to the video screen and the ticketing offices).	\$3,800 - \$4,600

Component	Component Group	Services Per Year	Statutory PM?	Applicable Standard	Current ACT PG Works Plan Cost	Extent of Works	Suggested PM Works Amendments	Recommended Maintenance Cost Range Per Year
Roof & Gutters	Structure & Fabric	1	No - Industry Practice	-	\$4,030	6-Monthly Gutter Cleaning to the Main Building.	Cost allows for removal of leaves / gutter cleaning to the 'Main Building'. Presume this only relates to the grandstand roofs. Cost should be increased to allow for washing down of all roofs to the site annually. including gutter cleaning.	\$12,000 - \$16,000
Security Management System	Electrical	4	No - Industry Practice	-	\$0	No costs / works currently provided for.	Allow for quarterly inspections of the alarm system to the West Stand (and presumed East Stand system).	\$1,600 - \$1,800
Solar Inverter	Electrical	1	No - Industry Practice	-	\$0	No costs / works currently provided for.	Allow for annual inspection and servicing of solar inverter serving the concourse array.	\$150 - \$250
Split System Air Conditioner	HVAC	12	No - Industry Practice	-	Presumed form part of \$41,450 cost for annual kitchen exhaust duct cleaning, quarterly HVAC service of Mitsubishi Unit to L3, annual refrigeration service and monthly and annual boiler servicing. refrigeration servicing.	Quarterly Mechanical Service	Existing contract cost appears slightly light and should be reviewed / revised to ensure all devices are accounted for. Allows for servicing of 5no. Units to the site.	\$9,000 - \$9,400
Thermostatic Mixing Valve	Hydraulics	1	Yes	AS 4032.3-2004 Water Supply - Valves for the control of heated water supply temperatures	Form part of \$8,990 cost for 6 Monthly HWS inspections and Backflow & TMV Annual Inspections.	Annual Inspection - 40x TMV's	Existing contract cost appears light. Existing contract only accounts for 19no. TMV's, asset register indicates 40-No. Contract should be reviewed / revised to ensure all devices are accounted for.	\$15,000 - \$18,000
Toilet Exhaust Fans	Electrical	4	No - Industry Practice	AS 1851.6, AS 3666	Form part of \$41,450 cost for annual kitchen exhaust duct cleaning, quarterly HVAC service of Mitsubishi Unit to L3, annual refrigeration service and monthly and annual boiler servicing. refrigeration servicing.	Quarterly Servicing of Toilet Exhaust Fans - Main Building.	Allow for quarterly cleaning/servicing of fans (10no. to site). Presumed accounts for all toilet exhaust fans to site.	\$1,300 - \$1,600
Water Treatment	Hydraulics	4	No - Industry Practice	-	\$340	6 Monthly Water Treatment - Closed Loops	Allow for quarterly treatments.	\$400 - \$600

APPENDICES



Appendix A – 10-Year CAPEX Forecast



AREA	SUB-AREA	COMPONENT TYPE	LOCATION	REMEDIAL WORKS REQUIRED	CONDITION	RISK	PRIORITY	CODE	Immediate	Short-Term		Medium-Term			Long Term				Total
									(Within Year 1)	2022	2023	2024	2025	2026	2027	2028	2029	2030	
West Mal Meninga Stand	West External	Structure	Grandstand	Lifecycle replacement of sealant expansion joints to the concrete grandstand area.	Fair	Medium	High	CAP								\$ 14,700.00			\$ 14,700.00
West Mal Meninga Stand	West External	Structure	Grandstand	Repair localised instances of cracked concrete within the L6 grandstand, prevalent to top level seating areas.	Fair	Medium	High	R&M	\$ 2,000.00										\$ 2,000.00
West Mal Meninga Stand	West External	External Fabric	Roof	Wash down underside of main roof to remove corrosive and salt-based staining/	Fair	Low	Medium	R&M		\$ 4,200.00									\$ 4,200.00
West Mal Meninga Stand	West External	External Fabric	Roof	Allow for a design/feasibility report for re-roofing / providing supplementary roof coverings to the existing roof.	Fair	Low	Medium	CAP	\$ 18,000.00										\$ 18,000.00
West Mal Meninga Stand	West External	External Fabric	Roof	Allow to treat and recoat steel anchors and bracing/tension rods to suspended roof structure.	Fair	Low	Low	R&M		\$ 14,600.00									\$ 14,600.00
West Mal Meninga Stand	West External	External Fabric	Auxiliary Roofs	Lifecycle replacement of sheet metal roofs and internal gutters over the toilet and food concession blocks to L4 (including skylights).	Poor	Medium	Medium	CAP			\$ 115,800.00								\$ 115,800.00
West Mal Meninga Stand	West External	External Fabric	Auxiliary Roofs	Lifecycle replacement of polycarbonate roof sheets over L2 Concourse.	Fair	Low	Low	CAP										\$ 36,000.00	\$ 36,000.00
West Mal Meninga Stand	West External	External Fabric	Auxiliary Roofs	Lifecycle replacement of polycarbonate roof sheets over the L4 west elevation.	Fair	Low	Low	CAP								\$ 10,000.00			\$ 10,000.00
West Mal Meninga Stand	West External	External Fabric	Façade	Allow for a suitably qualified asbestos removalist contractor to remove and dispose of the curved, blue painted fibre-cement sheet cladding sheets installed above the north and south L4 lounge entries, prior to installing new fibre-cement cladding.	Fair	High	Medium	CAP	\$ 6,500.00										\$ 6,500.00
West Mal Meninga Stand	West External	External Fabric	Façade	Lifecycle replacement of the rubber gaskets to the rear glazed balustrades to the top of the terrace stands	Poor	Medium	Medium	CAP	\$ 15,600.00										\$ 15,600.00
West Mal Meninga Stand	West External	External Fabric	Façade	Lifecycle replacement of the gaskets to the aluminium framed windows serving the east L3 (ground) office walls and L4 broadcast area.	Fair	Low	Low	CAP		\$ 7,000.00									\$ 7,000.00
West Mal Meninga Stand	West External	External Fabric	Façade	Lifecycle replacement of sealant to the angled windows to L4 lounge areas.	Fair	Low	Low	R&M			\$ 4,900.00								\$ 4,900.00
West Mal Meninga Stand	West External	External Fabric	Façade	Allow for a hydraulic engineer to inspect L6 grandstand and provide advice in relation to adequacy of existing drainage and provide remedial solutions.	Fair	Medium	Medium	CAP	\$ 10,000.00										\$ 10,000.00
West Mal Meninga Stand	West External	External Fabric	Façade	Lifecycle redecoration of external walls to the grandstand.	Fair	Low	Low	R&M				\$ 15,400.00							\$ 15,400.00
West Mal Meninga Stand	West External	External Fabric	Façade	Allow to inspect and re-secure loose fixed steel handrails to concrete stairs situated throughout the L6 grandstand.	Fair	Medium	High	R&M	\$ 2,100.00										\$ 2,100.00
West Mal Meninga Stand	West External	External Fabric	Façade	Lifecycle replacement of heavy duty carpet/synthetic turf flooring to the open box area.	Fair	Low	Low	CAP						\$ 36,700.00					\$ 36,700.00
West Mal Meninga Stand	West Level 6 – Grandstand & Open Boxes	Internal Fitout	Level 6 Coaches Boxes	Allow to fully refurbish coaches' boxes, including upgrading lighting and fire detection/warning systems in conjunction with refurbishment of the L4 Broadcast Area in Year 1, including installing AC and ventilation provisions.	Poor	Low	High	CAP	\$ 13,000.00										\$ 13,000.00
West Mal Meninga Stand	West Level 4 – Lounges & Broadcast Area	Internal Fitout	Level 4 Broadcast Area	Allow for full refurbishment of the broadcast area, including upgrading lighting and fire detection/warning systems and overhauling the kitchenette	Poor	Medium	High	CAP	\$ 19,700.00										\$ 19,700.00
West Mal Meninga Stand	West Level 4 – Lounges & Broadcast Area	Internal Fitout	Level 4 - Concessions	Allow to repoint minor stepped cracking to mortar joints to concrete blockwork walls adjacent to the south food concession.	Fair	Low	Low	R&M	\$ 400.00										\$ 400.00
West Mal Meninga Stand	West Level 4 – Lounges & Broadcast Area	Internal Fitout	Level 4 - General	Allow to repair water damaged internal wall and ceiling linings within the video referee rooms and FIP room, following investigation and execution of water ingress issues associated with the L6 grandstand above.	Poor	Medium	Medium	CAP	\$ 1,900.00										\$ 1,900.00
West Mal Meninga Stand	West Level 4 – Lounges & Broadcast Area	Internal Fitout	Level 4 - General	Lifecycle redecoration of the general floor, including upgrade of lighting, emergency lighting.	Fair	Low	Low	CAP								\$ 132,800.00			\$ 132,800.00
West Mal Meninga Stand	West Level 4 – Lounges & Broadcast Area	Internal Fitout	Level 4 - Bar	Lifecycle refurbishment of the bar area, including upgrade of associated catering equipment.	Fair	Low	Low	CAP							\$ 42,600.00			\$ 42,600.00	
West Mal Meninga Stand	West Level 4 – Lounges & Broadcast Area	Internal Fitout	Level 4 - Kitchen	Refurbishment of the small kitchen, including associated equipment.	Fair	Low	Low	CAP					\$ 29,700.00					\$ 29,700.00	
West Mal Meninga Stand	West Level 4 – Lounges & Broadcast Area	Internal Fitout	Level 4 - Kitchen	Repair minor cracking damage to internal rendered walls to the small kitchen.	Poor	Low	Low	R&M	\$ 600.00										\$ 600.00
West Mal Meninga Stand	West Level 4 – Lounges & Broadcast Area	Internal Fitout	Level 4 - Concessions	Lifecycle refurbishment of food concessions, including associated equipment.	Fair	Low	Low	CAP						\$ 77,100.00				\$ 77,100.00	
West Mal Meninga Stand	West Level 4 – Lounges & Broadcast Area	Internal Fitout	Level 4 - Toilets	Lifecycle refurbishment of toilet blocks, including sanitary fixtures and provisions to accommodate compliant accessible WC circulation spaces and fixtures.	Fair	Low	Low	CAP						\$ 159,300.00				\$ 159,300.00	
West Mal Meninga Stand	West Level 3 – (Ground Level) – Corporate Suites & Lounges	Internal Fitout	Level 3 - Kitchen	Refurbishment of the large commercial kitchen, including associated equipment.	Fair	Medium	Medium	CAP					\$ 210,000.00						\$ 210,000.00

AREA	SUB-AREA	COMPONENT TYPE	LOCATION	REMEDIAL WORKS REQUIRED	CONDITION	RISK	PRIORITY	CODE	Immediate	Short-Term		Medium-Term			Long Term				Total	
									(Within Year 1)	2022	2023	2024	2025	2026	2027	2028	2029	2030		
West Mal Meninga Stand	West Level 3 – (Ground Level) – Corporate Suites & Lounges	Internal Fitout	Level 3- Cellar	Lifecycle refurbishment of the cellar.	Fair	Low	Low	CAP						\$ 5,200.00					\$ 5,200.00	
West Mal Meninga Stand	West Level 3 – (Ground Level) – Corporate Suites & Lounges	Internal Fitout	Level 3 - Lounges	Allow to replace damaged ceiling linings within the Long Room, associated with the potential drainage issues to the L6 grandstand above. It is anticipated the leak will be addressed following investigation of the grandstand in year 1.	Poor	Medium	Medium	R&M	\$ 600.00										\$ 600.00	
West Mal Meninga Stand	West Level 3 – (Ground Level) – Corporate Suites & Lounges	Internal Fitout	Level 3 - Open Boxes	Lifecycle replacement of the heavy duty carpet/synthetic turf flooring to the open box areas.	Fair	Low	Low	CAP						\$ 26,200.00					\$ 26,200.00	
West Mal Meninga Stand	West Level 3 – (Ground Level) – Corporate Suites & Lounges	Internal Fitout	Level 3 - General	Full redecoration of the floor, including upgrade of lighting is recommended for the corporate suites, office areas, lounges and corridor.	Good	Low	Low	CAP										\$ 268,600.00	\$ 268,600.00	
West Mal Meninga Stand	West Level 2 – Concourse – Food & Beverage	Internal Fitout	Level 2 - Toilets	Lifecycle refurbishment of toilet blocks, including sanitary fixtures and provisions to accommodate compliant accessible WC circulation spaces and fixtures.	Fair	Low	Low	CAP				\$ 168,700.00							\$ 168,700.00	
West Mal Meninga Stand	West Level 2 – Concourse – Food & Beverage	Internal Fitout	Level 2 - Concessions	Lifecycle refurbishment of food concessions, including associated equipment.	Fair	Low	Low	CAP				\$ 179,600.00							\$ 179,600.00	
West Mal Meninga Stand	West Level 2 – Concourse – Food & Beverage	Internal Fitout	Level 2 - Concessions	Lifecycle refurbishment of quick service bars, including associated equipment.	Fair	Low	Low	CAP						\$ 36,200.00					\$ 36,200.00	
West Mal Meninga Stand	West Level 1 – (Field Level) – Changerooms	Internal Fitout	Level 1 - General	Repair minor spalling damage to a concrete ceiling slab and stepped cracking to a section of blockwork wall within the hallway.	Poor	Medium	Medium	R&M	\$ 1,000.00										\$ 1,000.00	
West Mal Meninga Stand	West Level 1 – (Field Level) – Changerooms	Internal Fitout	Level 1 - Medical Rooms	Lifecycle redecoration of the medical room and testing room areas.	Fair	Low	Low	CAP				\$ 3,800.00							\$ 3,800.00	
West Mal Meninga Stand	West Level 1 – (Field Level) – Changerooms	Internal Fitout	Level 1 - General	Lifecycle redecoration of the general floor.	Fair	Low	Low	CAP						\$ 76,400.00					\$ 76,400.00	
West Mal Meninga Stand	West General	External Areas	Stairs	Allow to install new, securely aluminium treaded nosings to external stairs.	Poor	Medium	High	CAP	\$ 7,300.00										\$ 7,300.00	
West Mal Meninga Stand	West General	Electrical Services	General	Lifecycle replacement of Distribution Boards.	Fair	Low	Low	CAP										\$ 140,000.00	\$ 140,000.00	
West Mal Meninga Stand	West General	Electrical Services	General	AECOM recommended works to Substation 41114.	Poor	Medium	Medium	CAP				\$ 200,000.00							\$ 200,000.00	
West Mal Meninga Stand	West General	Electrical Services	General	AECOM recommended works to Substation S2653.	Poor	Medium	Medium	CAP						\$ 100,000.00					\$ 100,000.00	
West Mal Meninga Stand	West General	Electrical Services	General	Lifecycle replacement of the Main Switchboard together with recommended AECOM works in relation to provision of new generator etc.	Fair	Medium	High	CAP						\$ 160,000.00					\$ 160,000.00	
West Mal Meninga Stand	West Level 6 – Grandstand & Open Boxes	Electrical Services	General	Lifecycle replacement of general lighting in grandstand, including upgrading to LED.	Fair	Low	Medium	CAP						\$ 15,000.00					\$ 15,000.00	
West Mal Meninga Stand	West General	Mechanical Services	General	Staged lifecycle replacement of split system AC units utilizing R22 refrigerant, plus other systems requiring replacement.	Poor	Low	Medium	CAP		\$ 35,000.00		\$ 10,000.00				\$ 35,000.00			\$ 80,000.00	
West Mal Meninga Stand	West General	Mechanical Services	General	Carrier heaty pump units are presumed to still be in operation despite newly installed VRV units. Allow for lifecycle replacement of these units.	Fair	Low	Low	CAP						\$ 200,000.00					\$ 200,000.00	
West Mal Meninga Stand	West General	Mechanical Services	Cool Rooms	Staged lifecycle replacement of cool room compressors and evaporators.	Fair	Medium	Medium	CAP		\$ 6,000.00		\$ 6,000.00			\$ 10,000.00				\$ 22,000.00	
West Mal Meninga Stand	West General	Mechanical Services	L4 - Roofs	Lifecycle replacement of kitchen exhausts to L4 roof areas.	Poor	Low	Medium	CAP			\$ 6,500.00								\$ 6,500.00	
West Mal Meninga Stand	West General	Hydraulic Services	General	Lifecycle replacement of 1998 gas fired water boilers.	Fair	Medium	High	CAP	\$ 13,000.00										\$ 13,000.00	
West Mal Meninga Stand	West General	Hydraulic Services	General	Lifecycle replacement of instantaneous water boilers throughout.	Fair	Low	Low	CAP				\$ 1,800.00							\$ 1,800.00	
West Mal Meninga Stand	West General	Fire Services	General	Allowance provided for FIP replacement in the long term.	Good	Low	Low	CAP									\$ 60,000.00		\$ 60,000.00	
East Gregan – Larkham Stand	East External	Structure	Grandstand	Lifecycle replacement of sealant expansion joints to the concrete grandstand area.	Poor	Medium	High	CAP		\$ 7,500.00									\$ 7,500.00	
East Gregan – Larkham Stand	East External	Structure	Grandstand	Engage a structural engineer to comment on the joint detail to the grandstand structure in this location (where sealant joint has failed - between Bay's 28 & 29) and assess the potential and extent for possible differential movement that may be occurring, as well as provide a suitable long term watertight remedial solution to address this detail. Engineer to also comment on direct source of water ingress and spalling in relation to the podium above L2 concourse and at junctions to stairwells from L4 and provide long term remedial solutions to prevent future occurrences of spalling.	Fair	Medium	High	CAP	\$ 15,000.00											\$ 15,000.00
East Gregan – Larkham Stand	East External	Structure	General	Allow to repair affected areas of spalling at various locations to the structure, particularly to the podium above L2 concourse and at junctions to stairwells from L4.	Fair	Medium	High	R&M		\$ 8,000.00									\$ 8,000.00	

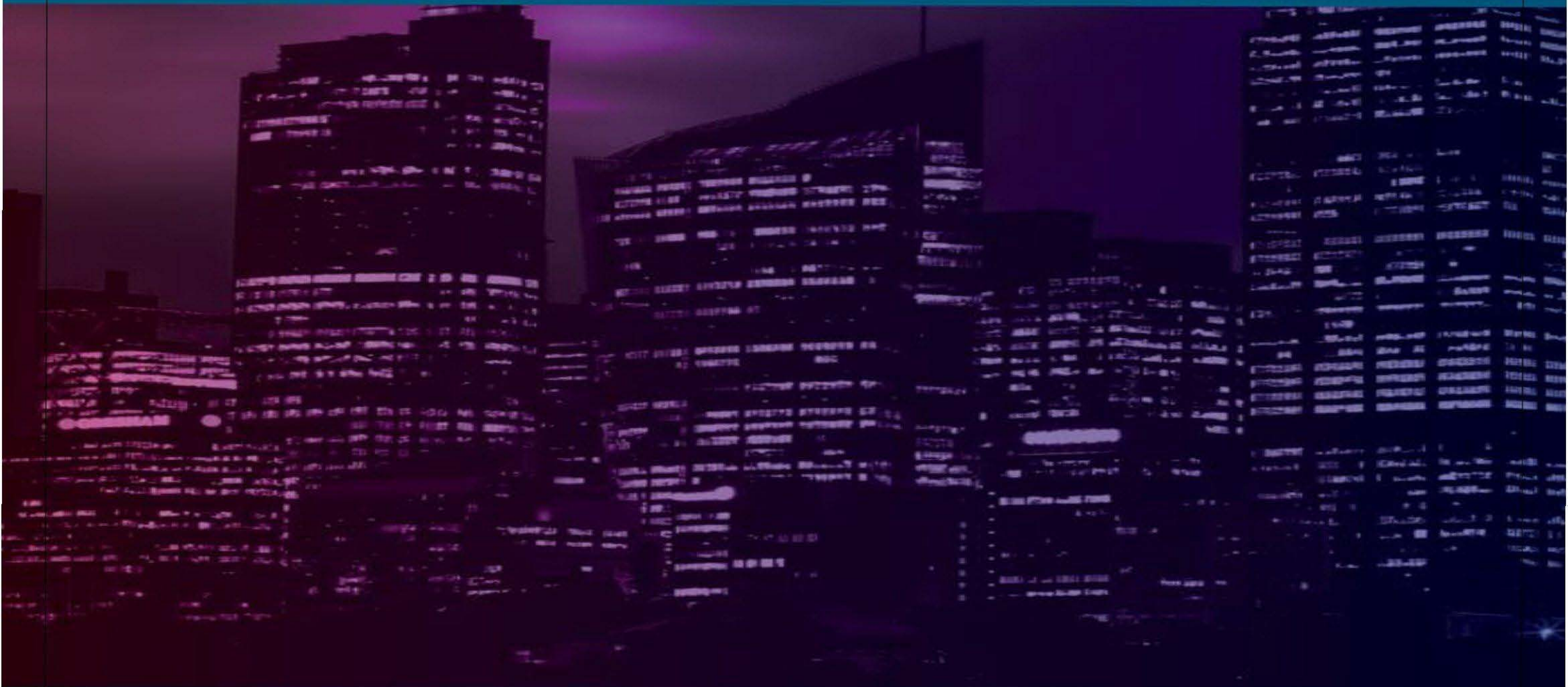
AREA	SUB-AREA	COMPONENT TYPE	LOCATION	REMEDIAL WORKS REQUIRED	CONDITION	RISK	PRIORITY	CODE	Immediate	Short-Term		Medium-Term			Long Term				Total	
									(Within Year 1)	2022	2023	2024	2025	2026	2027	2028	2029	2030		
East Gregan - Larkham Stand	East External	External Fabric	Roof	Allow to investigate small east roof area above the lounge to confirm and eliminate source of leak internally. Allow for the replacement of sealants to roof penetrations, flashings and the internal gutter.	Fair	Low	Low	R&M	\$ 1,300.00											\$ 1,300.00
East Gregan - Larkham Stand	East External	External Fabric	Façade	Replace decayed sections of timber fascia boards to the east of the East Lounge.	Poor	Low	Low	R&M	\$ 500.00											\$ 500.00
East Gregan - Larkham Stand	East External	External Fabric	Façade	Lifecycle replacement of the gaskets to the aluminium framed windows serving the east lounge.	Good	Low	Low	CAP								\$ 4,800.00				\$ 4,800.00
East Gregan - Larkham Stand	East External	External Fabric	Façade	Lifecycle redecoration of external walls to the grandstand.	Fair	Low	Low	R&M				\$ 21,800.00								\$ 21,800.00
East Gregan - Larkham Stand	East External	External Fabric	Façade	Lifecycle replacement of fibre-cement sheet cladding to the front and rear of the L6 grandstand.	Fair	Low	Low	CAP		\$ 9,200.00										\$ 9,200.00
East Gregan - Larkham Stand	East Level 6 - Grandstand & Open Boxes	External Fabric	Façade	Redecoration of painted steel flooring to the open box areas to the L6 Grandstand.	Fair	Low	Low	R&M				\$ 5,900.00								\$ 5,900.00
East Gregan - Larkham Stand	East Level 5 - East Lounge	Internal Fitout	Level 5 - East Lounge	Lifecycle refurbishment of the east lounge, including bar areas, electrical, lighting and associated kitchen equipment.	Fair	Low	Low	CAP					\$ 77,000.00							\$ 77,000.00
East Gregan - Larkham Stand	East Level 5 - East Lounge	Internal Fitout	Level 5 - Toilets	Lifecycle refurbishment of toilet blocks, including sanitary fixtures.	Good	Low	Low	CAP										\$ 35,600.00		\$ 35,600.00
East Gregan - Larkham Stand	East Level 4 - Kitchen & Amenities	Internal Fitout	Level 4- Kitchen	Refurbishment of the large commercial kitchen, including associated equipment.	Poor	Medium	Medium	CAP		\$ 257,300.00										\$ 257,300.00
East Gregan - Larkham Stand	East Level 4 - Kitchen & Amenities	Internal Fitout	Level 4 - General	Repair spalling damage to concrete ceiling slab within the east loading dock and exposed reinforcing to Hot Water Room.	Poor	Medium	High	R&M	\$ 1,100.00											\$ 1,100.00
East Gregan - Larkham Stand	East Level 4 - Kitchen & Amenities	Internal Fitout	Level 4 - General	Lifecycle replacement of the shutter door motors	Poor	Medium	Medium	CAP	\$ 2,400.00											\$ 2,400.00
East Gregan - Larkham Stand	East Level 4 - Kitchen & Amenities	Internal Fitout	Level 4 - Caterers	Lifecycle refurbishment of the caterer's WC amenities.	Poor	Low	Medium	CAP		\$ 24,400.00										\$ 24,400.00
East Gregan - Larkham Stand	East Level 4 - Kitchen & Amenities	Internal Fitout	Level 4 - General	Full redecoration of the floor, including upgrade of lighting, emergency lighting and fire detection/warning systems and replacement of floor tiles.	Fair	Low	Medium	R&M		\$ 155,600.00										\$ 155,600.00
East Gregan - Larkham Stand	East Level 4 - Kitchen & Amenities	Internal Fitout	Level 4 - Toilets	Lifecycle refurbishment of external toilet blocks, including sanitary fixtures.	Fair	Low	Low	CAP						\$ 84,300.00						\$ 84,300.00
East Gregan - Larkham Stand	East Level 3 - Corporate Suites & Sports Lounge	Internal Fitout	Level 3 - Corporate Suites	Allow to repair damaged linings within Corporate Suite 1, directly below a previously failed expansion/control joint in the concrete grandstand structure.	Fair	Medium	High	R&M	\$ 2,200.00											\$ 2,200.00
East Gregan - Larkham Stand	East Level 3 - Corporate Suites & Sports Lounge	Internal Fitout	Level 3 - General	Full redecoration of the floor, including the corporate suites & toilets, sports bar and associated catering equipment and the hallway	Fair	Low	Low	CAP				\$ 206,200.00								\$ 206,200.00
East Gregan - Larkham Stand	East Level 3 - Corporate Suites & Sports Lounge	Internal Fitout	Level 3 - Toilets	Lifecycle refurbishment o/w's behind the sports bar, including sanitary fixtures.	Good	Low	Low	CAP									\$ 25,300.00			\$ 25,300.00
East Gregan - Larkham Stand	East Level 2 - Concourse - Food & Beverage	Internal Fitout	Level 2 - Stairs	Inspect and repair water entry and spalling damage noted to the concrete stairwells between L3 & L2.	Poor	Medium	Medium	R&M	\$ 1,100.00											\$ 1,100.00
East Gregan - Larkham Stand	East Level 2 - Concourse - Food & Beverage	Internal Fitout	Level 2 - Toilets	Lifecycle refurbishment of toilet blocks, including sanitary fixtures and provisions to accommodate compliant accessible WC circulation spaces and fixtures.	Fair	Low	Low	CAP				\$ 206,200.00								\$ 206,200.00
East Gregan - Larkham Stand	East Level 2 - Concourse - Food & Beverage	Internal Fitout	Level 2 - Concessions	Lifecycle refurbishment of food concessions, including associated equipment.	Fair	Low	Low	CAP			\$ 223,400.00									\$ 223,400.00
East Gregan - Larkham Stand	East Level 2 - Concourse - Food & Beverage	Internal Fitout	Level 2 - Concessions	Lifecycle refurbishment of quick service bars, including associated equipment.	Fair	Low	Low	CAP					\$ 111,700.00							\$ 111,700.00
East Gregan - Larkham Stand	East General	External Areas	Stairs	Allow to install new, securely aluminium treaded nosings to external stairs.	Poor	Medium	High	CAP	\$ 3,600.00											\$ 3,600.00
East Gregan - Larkham Stand	East General	Electrical Services	General	Lifecycle replacement of the Main Switchboard together with recommended AECOM works in relation to provision of back-up power interconnection etc.	Fair	Medium	Medium	CAP				\$ 110,000.00								\$ 110,000.00
East Gregan - Larkham Stand	East General	Electrical Services	General	Lifecycle replacement of distribution boards due to end of lifecycle.	Fair	Medium	Medium	CAP				\$ 100,000.00								\$ 100,000.00
East Gregan - Larkham Stand	East General	Mechanical Services	General	Lifecycle replacement of older AC split system.	Fair	Low	Low	CAP					\$ 4,000.00							\$ 4,000.00
East Gregan - Larkham Stand	East General	Mechanical Services	Cool Rooms	Staged lifecycle replacement of cool room compressors and evaporators.	Fair	Medium	Medium	CAP		\$ 8,000.00		\$ 8,000.00			\$ 12,000.00					\$ 28,000.00
East Gregan - Larkham Stand	East General	Mechanical Services	General	Lifecycle replacement of one of the dedicated exhaust system serving the loading dock and garbage area.	Fair	Low	Low	CAP			\$ 2,500.00									\$ 2,500.00

AREA	SUB-AREA	COMPONENT TYPE	LOCATION	REMEDIAL WORKS REQUIRED	CONDITION	RISK	PRIORITY	CODE	Immediate	Short-Term		Medium-Term			Long Term				Total
									(Within Year 1)	2022	2023	2024	2025	2026	2027	2028	2029	2030	
East Gregan – Larkham Stand	East General	Hydraulic Services	General	Lifecycle replacement of 3 gas fired water heaters.	Poor	Low	Medium	CAP			\$ 20,000.00								\$ 20,000.00
East Gregan – Larkham Stand	East General	Fire Services	General	Allowance provided for FIP replacement in the long term.	Good	Low	Low	CAP										\$ 25,000.00	\$ 25,000.00
North & South Terraces & Concessions	General	Structure	General	Lifecycle replacement of sealant expansion joints to the concrete grandstand area.	Poor	Medium	High	CAP				\$ 8,800.00							\$ 8,800.00
North & South Terraces & Concessions	General	Structure	General	Repair instances of cracking and spalling to various areas of the terraces.	Poor	Medium	Medium	R&M		\$ 2,900.00									\$ 2,900.00
North & South Terraces & Concessions	General	Other	General	Allow to replace corroding wire mesh panels to the rear balustrading/fencing to both terraces.	Poor	Medium	High	CAP			\$ 13,800.00								\$ 13,800.00
North & South Terraces & Concessions	General	Electrical Services	General	Lifecycle replacement of the concourse lighting to the base of the terraces.	Fair	Low	Low	CAP								\$ 9,600.00			\$ 9,600.00
North & South Terraces & Concessions	General	Fire Services	General	Lifecycle replacement of the fire hose reel cabinets.	Fair	Low	Low	CAP						\$ 1,200.00					\$ 1,200.00
North & South Terraces & Concessions	South Concessions	Structure	K4 - Concession	Full overhaul/replacement of food concession structure, to include replacement of lining new refrigerated container, provision of electrical distribution/lighting, hot water tanks, internal lining, external cladding and new commercial cooking equipment	Poor	Medium	High	CAP					\$ 66,200.00						\$ 66,200.00
North & South Terraces & Concessions	South Concessions	Structure	K5 - Concession	Full overhaul/replacement of food concession structure, to include replacement of lining new refrigerated container, provision of electrical distribution/lighting, hot water tanks, internal lining, external cladding and new commercial cooking equipment	Poor	Medium	High	CAP					\$ 66,200.00						\$ 66,200.00
North & South Terraces & Concessions	North Concessions	Structure	K9 - Concession	Full overhaul/replacement of food concession structure, to include replacement of lining new refrigerated container, provision of electrical distribution/lighting, hot water tanks, internal lining, external cladding and new commercial cooking equipment	Poor	Medium	High	CAP				\$ 66,200.00							\$ 66,200.00
North & South Terraces & Concessions	North Concessions	Structure	K10 - Concession	Full overhaul/replacement of food concession structure, to include replacement of lining new refrigerated container, provision of electrical distribution/lighting, hot water tanks, internal lining, external cladding and new commercial cooking equipment	Poor	Medium	High	CAP				\$ 66,200.00							\$ 66,200.00
Inner Bowl	General	Structure	General	Lifecycle replacement of sealant expansion joints to the concrete grandstand area.	Poor	Medium	High	CAP		\$ 20,300.00									\$ 20,300.00
Inner Bowl	General	Structure	General	Repair instances of cracked stair treads, prevalent to the east section of the inner bowl.	Poor	Medium	High	R&M			\$ 11,400.00								\$ 11,400.00
Inner Bowl	General	External Areas	General	Replace deteriorated sealant joints to perimeter concrete walls bounding the field.	Fair	Medium	Medium	CAP		\$ 2,400.00									\$ 2,400.00
External Grounds & General	General	External Areas	General	Allow for staged replacement of concrete hardstand towards the end of the reporting period, commencing with the areas to the western side of the site.	Fair	Medium	Medium	CAP								\$ 282,500.00	\$ 282,500.00	\$ 564,900.00	\$ 1,129,900.00
External Grounds & General	General	External Areas	General	Lifecycle replacement of the keypad/intercom access systems to the gate entries.	Fair	Low	Low	CAP					\$ 8,300.00						\$ 8,300.00
External Grounds & General	General	External Areas	West	Lifecycle replacement of the 4No. Sign totems to the west of the site.	Fair	Low	Low	CAP				\$ 4,400.00							\$ 4,400.00
External Grounds & General	General	Hydraulic Services	West	Lifecycle replacement of the mains gas meter and regulators, located to the west of the site.	Fair	Medium	Medium	CAP						\$ 3,700.00					\$ 3,700.00
External Grounds & General	General	Other	Site	Allow for a site-wide accessibility audit to be commissioned in Year 1 to assist with future building upgrades and improvements.	Fair	Medium	High	CAP	\$ 30,000.00										\$ 30,000.00
Sport Lighting Towers	General	External Areas	General	Lifecycle replacement of the main switchboards and associated lighting control systems. NOTE: Cost included West Stand switchboard replacement works.	Fair	Medium	Medium	CAP								\$ -			\$ -
Sport Lighting Towers	General	External Fabric	General	Allow to redecorate exterior of light tower structures in the long term.	Fair	Low	Low	R&M									\$ 29,200.00		\$ 29,200.00
Sport Lighting Towers	General	Electrical Services	Light Towers	Allow for a Feasibility / options review report on the lighting installations in Year 3, prior to proceeding with design options in the medium term. Following this, high level capital allocation to undertake potential prospective works has been allowed for in the medium term.	Fair	Medium	High	CAP			\$ 7,500.00		\$ 15,000.00	\$ 500,000.00					\$ 522,500.00
Public Toilets	North General	Structure	North-West	Allow to fully refurbish/overhaul the toilet block, including clouding new fixtures, roof coverings, repairs to facades and upgrades to electrical equipment as well as addressing existing non-compliant accessible WCs.	Poor	Medium	Medium	CAP					\$ 215,000.00						\$ 215,000.00
Public Toilets	North General	Structure	North-East	Allow to fully refurbish/overhaul the toilet block, including clouding new fixtures, roof coverings, repairs to facades and upgrades to electrical equipment as well as addressing existing non-compliant accessible WCs.	Poor	Medium	Medium	CAP						\$ 215,000.00					\$ 215,000.00
Public Toilets	South General	Structure	South-West	Allow to fully refurbish/overhaul the toilet block, including clouding new fixtures, roof coverings, repairs to facades and upgrades to electrical equipment as well as addressing existing non-compliant accessible WCs.	Poor	Medium	Medium	CAP						\$ 215,000.00					\$ 215,000.00
Public Toilets	South General	Structure	South-East	Allow to fully refurbish/overhaul the toilet block, including clouding new fixtures, roof coverings, repairs to facades and upgrades to electrical equipment as well as addressing existing non-compliant accessible WCs.	Poor	Medium	Medium	CAP							\$ 215,000.00				\$ 215,000.00
Ticketing Offices	West General	External Fabric	West Ticket Office	Allow to redecorate external painted walls and eaves.	Good	Low	Low	R&M									\$ 6,500.00		\$ 6,500.00

AREA	SUB-AREA	COMPONENT TYPE	LOCATION	REMEDIAL WORKS REQUIRED	CONDITION	RISK	PRIORITY	CODE	Immediate	Short-Term		Medium-Term			Long Term				Total	
									(Within Year 1)	(Years 1-2)		(Years 3-5)			(Years 6-10)					
									2021	2022	2023	2024	2025	2026	2027	2028	2029	2030		
Ticketing Offices	East General	External Fabric	East Ticket Office	Allow to redecorate external painted walls and eaves.	Good	Low	Low	R&M									\$ 4,500.00			\$ 4,500.00
Ticketing Offices	West General	Internal Fitout	West Ticket Office	Allow to investigate both the concealed AC ducting and roof coverings/internal gutter to confirm source of leak which is causing damage to ceiling tiles within the West Ticketing Office , prior to replacing affected tiles in Year 1.	Good	Medium	Medium	R&M	\$ 1,200.00											\$ 1,200.00
Ticketing Offices	East General	Internal Fitout	East Ticket Office	Allow to redecorate internal walls, ceilings and floors.	Good	Low	Low	R&M									\$ 5,600.00			\$ 5,600.00
Ticketing Offices	West General	Internal Fitout	West Ticket Office	Allow to redecorate internal walls, ceilings and floors.	Good	Low	Low	R&M										\$ 9,000.00		\$ 9,000.00
Ticketing Offices	West General	Mechanical Services	West Ticket Office	Lifecycle replacement of AC condensers.	Good	Low	Low	CAP									\$ 14,000.00			\$ 14,000.00
Ticketing Offices	East General	Mechanical Services	East Ticket Office	Lifecycle replacement of AC condenser.	Good	Low	Low	CAP							\$ 7,000.00					\$ 7,000.00
Tri-Vision	North General	Structure	General	High level allowance for the full replacement of the Trivision structure. Further consideration should be given in relation to retaining the structure given the recent installation of another video replay screen to the site.	Poor	Medium	Medium	CAP		\$ 1,600,000.00										\$ 1,600,000.00
Video Replay Screens	North General	Structure	North Screen	Allowance for treating and repainting painted steel columns top base of screen structure.	Fair	Low	Low	R&M			\$ 700.00									\$ 700.00
Video Replay Screens	North General	Electrical Services	North Screen	Lifecycle replacement of the electrical DB given it is 20 years old.	Fair	Low	Medium	CAP											\$ 10,000.00	\$ 10,000.00
Video Replay Screens	South General	Structure	South Screen	Allow for redecorating the steel structure towards the end of the reporting period .	Good	Low	Low	R&M											\$ 12,800.00	\$ 12,800.00
Slab & Concessions	South General	Structure	Slab Box	Full overhaul/replacement of slab box container, to include replacement of lining new container, provision of electrical distribution/lighting, new AC, hot water tank and new commercial cooking equipment.	Poor	Medium	Medium	CAP	\$ 20,400.00											\$ 20,400.00
Slab & Concessions	South General	Mechanical Services	Slab Bar	Lifecycle replacement of cool room compressor and evaporator.	Fair	Medium	Medium	CAP							\$ 6,000.00					\$ 6,000.00
Slab & Concessions	South General	Fire Services	Hardstand	Lifecycle replacement of the fire hose reel cabinets.	Fair	Low	Low	CAP			\$ 1,200.00									\$ 1,200.00
Slab & Concessions	South General	External Areas	Hardstand	Treat minor corrosion to sections of the steel balustrade.	Fair	Low	Low	R&M			\$ 300.00									\$ 300.00
Maintenance Sheds & Ops Area	South General	Hydraulic Services	Op's Area	Lifecycle replacement of the electric water storage tank.	Good	Low	Low	CAP											\$ 900.00	\$ 900.00
Maintenance Sheds & Ops Area	South General	External Fabric	Maintenance Shed	Replace damaged roller shutter to the Maintenance shed.	Poor	Low	Medium	R&M	\$ 2,200.00											\$ 2,200.00
Maintenance Sheds & Ops Area	South General	Internal Fitout	Maintenance Shed	Replace degraded roof insulation to the Maintenance Shed.	Poor	Low	Low	R&M		\$ 8,900.00										\$ 8,900.00
Maintenance Sheds & Ops Area	South General	External Fabric	Maintenance Canopy	Replace damaged barge flashing to canopy.	Fair	Low	Low	R&M			\$ 600.00									\$ 600.00
Maintenance Sheds & Ops Area	South General	Structure	Maintenance Canopy	Treat steel frame to canopy, prior to repainting.	Fair	Low	Low	R&M		\$ 6,000.00										\$ 6,000.00
OB Compound	North General	Structure	General	Treat steel columns/posts to the south elevation of the building, prior to repainting.	Fair	Medium	High	R&M			\$ 1,000.00									\$ 1,000.00
OB Compound	North General	External Fabric	General	Lifecycle replacement of small roller shutters.	Fair	Low	Low	CAP								\$ 7,000.00				\$ 7,000.00
OB Compound	North General	Electrical Services	General	Lifecycle replacement of external light fitting with a more energy efficient LED equivalent.	Fair	Low	Low	CAP						\$ 500.00						\$ 500.00
									Total Capex	\$ 176,400.00	\$ 1,651,200.00	\$ 490,700.00	\$ 725,400.00	\$ 1,217,100.00	\$ 1,468,400.00	\$ 903,500.00	\$ 597,500.00	\$ 520,300.00	\$ 1,106,300.00	\$ 8,856,800.00
									Total Repairs and Maintenance	\$ 16,300.00	\$ 44,600.00	\$ 174,500.00	\$ -	\$ 43,100.00	\$ -	\$ -	\$ 10,100.00	\$ 44,700.00	\$ 12,800.00	\$ 346,100.00
									TOTALS	\$ 192,700.00	\$ 1,695,800.00	\$ 665,200.00	\$ 725,400.00	\$ 1,260,200.00	\$ 1,468,400.00	\$ 903,500.00	\$ 607,600.00	\$ 565,000.00	\$ 1,119,100.00	\$ 9,202,900.00

NOTES:
 (1) Costs are for budget purposes only and would need to be borne out by receipt of detailed design estimating and costing.
 (2) Costs are exclusive of GST.
 (3) Costs exclude professional design, prelims, PM ,statutory fees etc.

Appendix B – General Report Limitations



- Our inspection comprised a visual, non-destructive or testing, walkthrough site inspection of the building(s) to allow commentary on the standard of construction and general quality of workmanship, and reporting by exception on any defects sighted, including compliance issues, supported with photographs.
- We have not allowed for or visited the local Council to review their property or building records.
- Parts of the building built in, covered up or otherwise made inaccessible during construction, alteration or fitting-out, have not been inspected. This generally relates to ceiling voids, wall cavities and service risers. Therefore, we do not warrant or suggest that such elements are free from defect or infestation.
- The external condition investigation was conducted from roof and ground level only. No abseiling roped access, boom lift access or remote drone investigation was undertaken (unless specifically stated and detailed in the report).
- Where we make reference to the presumed or potential existence of any ACP (aluminium composite panels) in the construction, we have not undertaken any testing or other investigations to the said ACP's to assess as to whether the panels have potential flammable cores. AssetWize Pty Ltd is not qualified to make any such assessments and any references to ACP's in the report do not purport to indicate views as to panel composition or flammability. Any additional investigations/testing considered necessary by the Client should be undertaken by a specialist qualified consultant engaged direct by the Client.
- Where a vendor has undertaken reports that a potential purchaser(s) may be able to rely on then we recommend that these be made available and assigned to a purchaser subject to legal advice as to the assignment provisions and any limitations.
- We confirm that a Pest Control inspection by a licensed specialist was not included in this brief.
- We have not undertaken any work of a specific engineering nature, such as engineering calculations, structural analysis, testing or measurements including as to load, design or adequacy. The report only reflects our interpretation of the condition of the building as apparent from the inspection.
- Building services were visually inspected where exposed to view only. No internal inspections were undertaken of plant, equipment and machinery or where services are covered up or hidden by the building structural element or finishes. Building services were not tested and no design calculations were undertaken.
- The report is limited to the defined scope of work as detailed in the AssetWize the accepted scope of work and fee proposal and, unless specifically noted otherwise in the report, our report specifically excludes review of the services design capacity, review of tenant fit-out's and their effect of services performance, lease obligations as between the lessor and lessee and code compliance or of any specific tenant requirements with regard to performance or design requirements to be provided by the building.
- In preparing this report AssetWize has relied upon (and assumed as accurate) information (or absence thereof) relative to the building provided by the Client and or current owner. Unless otherwise stated in the report, AssetWize has not verified the accuracy or completeness of any such information. No certification, warranty or guarantee, whether express or implied, is made with respect to the data reported or to the findings, observations and conclusions expressed in this report. Further, such data, findings, observations and conclusions are based solely upon site conditions, information provided at the time of the inspection.

- Where a variety of multiple units are inspected, a random selection of each type of unit was inspected and used for the basis for this report.
- The report has been prepared for the sole use and benefit of the party named in this report. It may not be transmitted, reprinted or so otherwise distributed to any third party without the written consent which must be signed by a Director of AssetWize Pty Ltd. AssetWize Pty Ltd accepts no liability or responsibility whatsoever in respect of any use or reliance upon this report by any third party. Where written consent and assignment (which may be withheld in the absolute discretion of AssetWize) is given that consent will only be effective where the quoted assignment fee has been paid.
- Sections within this report may contain additional limitations relevant to the particular professional disciplines. Such limitations need to be viewed in addition to any other stated limitations.
- All cost estimates provided within this report are unless otherwise stated subject to the following;
 - The costs are high level only for budget purposes, and are reflective of the nature and purpose of the assignment and the information available to AssetWize. Budget estimates are provided as a guide as to the likely order of cost for the said item(s) specifically stated. Where an item is not stated or specifically identified it is to be assumed to be excluded from any budget estimates;
 - Cost exclude contractors preliminaries, overheads and profit, contingencies, professional design fees, project management fees, statutory fees and price escalation.
 - Costs are exclusive of GST.
- Where the report has been issued as a draft, it must be understood that the draft can be subject to subsequent change/revision as additional information becomes available or as AssetWize sees fit to advise the Client. No reliance shall be placed on draft reports as they may be significantly different from the subsequent or final report issued.

ASSETWIZE


Level 15,
60 Margaret Street,
Sydney NSW 2000.
Phone (02) 9299 6970



From: "iCBR, Response" <iCBR.Response@act.gov.au>
Sent: 20/03/2026 9:18 AM
To: "De Boni, Andrew" <Andrew.deBoni@act.gov.au>
Subject: RE: Infrastructure Canberra PGI Work Order 303486 Confirmation

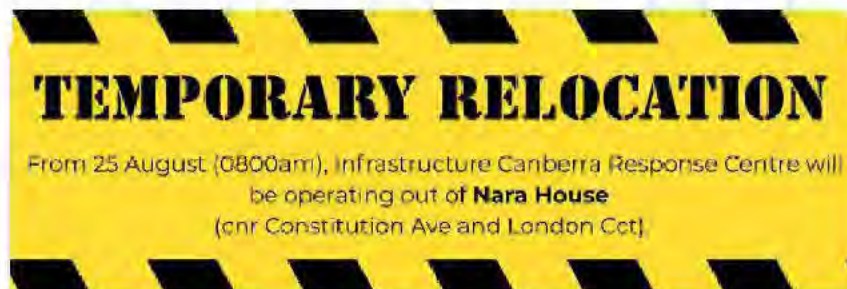
OFFICIAL

Good morning Andrew,

 glass did say they would give you a call, reach out if you have had no contact by 9:30

thanks

Peter Spalding
Intake and Works Allocation Officer | Delivery – Places and Spaces
P 6205 2295 | E Peter.Spalding@act.gov.au
Infrastructure Canberra | ACT Government
GP O Box 158 Canberra ACT 2601



From: De Boni, Andrew <Andrew.deBoni@act.gov.au>
Sent: Friday, 20 March 2026 8:53 AM
To: iCBR, Response <iCBR.Response@act.gov.au>
Subject: RE: Infrastructure Canberra PGI Work Order 303486 Confirmation


OFFICIAL

Hi Team,

Thanks for progressing. Can you please stress with the glazier the urgency and ask them to give me a call when they can.

Cheers,

Andrew

Andrew De Boni | Senior Director – Venue Infrastructure and Capital Works |
Phone 6213 0701 | Mobile  | Email andrew.deboni@act.gov.au |

PO Box 158 Canberra City ACT 2601

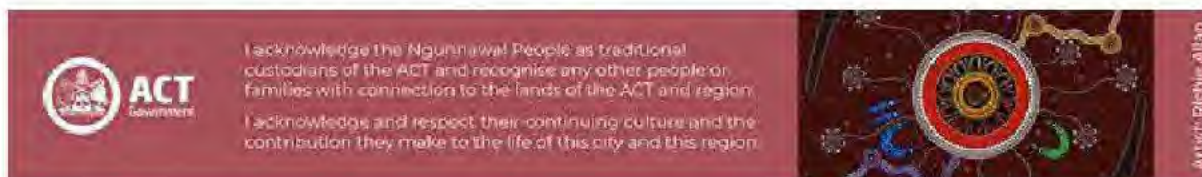


ACT
Government

Chief Minister, Treasury and
Economic Development

venues canberra

[Exhibition Park In Canberra](#) | [GIO Stadium Canberra](#) | [Manuka Oval/Corroboree Group Oval](#)
[Manuka](#)



From: iCBR, Response <iCBR.Response@act.gov.au>
Sent: Friday, 20 March 2026 8:52 AM
To: De Boni, Andrew <Andrew.deBoni@act.gov.au>
Subject: Infrastructure Canberra PGI Work Order 303486 Confirmation

Infrastructure Canberra PGI is pleased to inform you that your work order request has been logged into the Infrastructure Canberra PGI's work order management system as a Urgent (4 Hours) request.

A technician has been requested to attend. Please advise if the technician does not arrive within the aforementioned timeframe.

The details of this request are detailed below:

Work Order No. : 303486

Agency Reference : .

Building : Canberra Stadium (GIO Stadium)

Exact Location : southern coaches box in the western stand at GIO Stadium.

Works Requested : please attend and replace sliding glass window that has been broken in the southern coaches box in the western stand at GIO Stadium.

Requested By : Andrew De Boni

Email Address : andrew.deboni@act.gov.au Date Created : 20/03/2026 08:52

Note: iCBR PGI strive to attend to Urgent requests: within 4 working hours, Priority requests: within 3 working days, Normal: within 10 working days.

Working hours - 8am to 5pm - Monday to Friday - Excluding Public Holidays.

Please advise iCBR PGI immediately if you are experiencing delays that exceed these terms of service; 02 6213 0700

Regards,

Infrastructure Canberra PGI

From: "Febo, Vanessa" <Vanessa.Febo@act.gov.au>
Sent: 20/03/2026 9:58 AM
To: "Elkins, Matthew" <Matthew.Elkins@act.gov.au>; "Gray, Adam" <Adam.Gray@act.gov.au>; "Rando, Jared" <Jared.Rando@act.gov.au>; "De Boni, Andrew" <Andrew.deBoni@act.gov.au>; "Robertson, Alex" <Alex.Robertson@act.gov.au>
Cc: "Bonny, Carly" <Carly.Bonny@act.gov.au>; "Orr, Melissa" <Melissa.Orr@act.gov.au>; "Bailey, Daniel" <Daniel.Bailey@act.gov.au>
Subject: RE: Match Day 20/03/2026

OFFICIAL

Hi all

Update on the below as at 9:45am post our catch up:

1. **Broken Glass – Coaches box**

- Glazier will be on site from 11am at GIO Stadium Canberra to commence repair/make safe.
- VC will request information on how the incident may have occurred, noting this may not be possible to provide.
- VC will also request the glazier identify any other potential risks in coaches box areas or media areas.
- Alex has commenced reporting of the notifiable incident with WorkSafe- for Adam to progress. Jared/Adam to seek incident reports from the NRL, Bulldogs and Certis Security for the review.
- Brumbies to be updated of progress ahead of this evenings' fixture- Matt

2. **Water ingress in players facilities**

- DFPG has arrive to GIO Stadium Canberra (9.40am) to investigate options for changeroom leaks
- VC to explore additional options for leaks around the venue- noting works can't progress until the affected areas are dry

Out of Scope

Please advise if this is not accurate- thank you
Ness

Vanessa Febo | Assistant Director, Major Events and Communication | Venues Canberra
Phone (02) 620 52579 | **Email** vanessa.febo@act.gov.au |
GPO Box 158 Canberra City ACT 2601



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From: Elkins, Matthew <Matthew.Elkins@act.gov.au>

Sent: Friday, 20 March 2026 7:34 AM

To: Gray, Adam <Adam.Gray@act.gov.au>; Rando, Jared <Jared.Rando@act.gov.au>; De Boni, Andrew <Andrew.deBoni@act.gov.au>; Robertson, Alex <Alex.Robertson@act.gov.au>

Cc: Febo, Vanessa <Vanessa.Febo@act.gov.au>; Bonny, Carly <Carly.Bonny@act.gov.au>; Orr, Melissa <Melissa.Orr@act.gov.au>; Bailey, Daniel <Daniel.Bailey@act.gov.au>

Subject: Match Day 20/03/2026

OFFICIAL

Hi All

Firstly I appreciate the work of the team over last night and understand the tight turn around we have but we have some key items to address today.

1. Brocken Glass sliding window in the away teams coaches box
 - a. Due to the nature of the injury sustained I believe this is a notifiable incident, Alex has commenced the reporting noting he is on leave today Adam can you please continue the process including confirming with worksafe we can continue to repair for tonight. As part of the review can we please seek incident reports from NRL, Bulldogs, [REDACTED] security.
 - b. Andrew please book a glazier to attend site and i) provide professional advice on what might have caused the glass to shatter, ii) review remaining glass in both commentary and coaches box to ensure there is no like risk iii) once confirmed we please commence works from worksafe replace the glass panel.
2. Water ingress in players facilities
 - a. I appreciate there is numerous points of water entry but as a priority can we close of or divert water entering the players facility.
 - b. Andrew I will arrange a meeting with Annie to see if we can bring forward the appropriate components of the Asset Management plan to prioritise works.

Out of Scope

I will put a quick meeting in for this morning to discuss.

Thanks

Matt

Matthew Elkins | Executive Branch Manager; Venues Canberra |

Phone 6256 6708 | [Sch 2.2\(a\)\(ii\)](#) | Email matthew.elkins@act.gov.au |

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I acknowledge and respect their continuing culture and the contribution they make to the life of this city and this region.



Artist: Richie Allan

From: "De Boni, Andrew" <Andrew.deBoni@act.gov.au>
Sent: 20/03/2026 8:38 AM
To: "Elkins, Matthew" <Matthew.Elkins@act.gov.au>; "Gray, Adam" <Adam.Gray@act.gov.au>; "Rando, Jared" <Jared.Rando@act.gov.au>; "Robertson, Alex" <Alex.Robertson@act.gov.au>
Cc: "Febo, Vanessa" <Vanessa.Febo@act.gov.au>; "Bonny, Carly" <Carly.Bonny@act.gov.au>; "Orr, Melissa" <Melissa.Orr@act.gov.au>; "Bailey, Daniel" <Daniel.Bailey@act.gov.au>
Subject: RE: Match Day 20/03/2026

OFFICIAL

Hi All,

Sch 2.2(b)(v)

Thanks,

Andrew

Andrew De Boni | Senior Director – Venue Infrastructure and Capital Works |
Phone 6213 0701 | **Sch 2.2(a)(ii)** Email andrew.deboni@act.gov.au |
PO Box 158 Canberra City ACT 2601



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Sent: Friday, 20 March 2026 7:34 AM
To: Gray, Adam <Adam.Gray@act.gov.au>; Rando, Jared <Jared.Rando@act.gov.au>; De Boni, Andrew <Andrew.deBoni@act.gov.au>; Robertson, Alex <Alex.Robertson@act.gov.au>
Cc: Febo, Vanessa <Vanessa.Febo@act.gov.au>; Bonny, Carly <Carly.Bonny@act.gov.au>; Orr, Melissa <Melissa.Orr@act.gov.au>; Bailey, Daniel <Daniel.Bailey@act.gov.au>
Subject: Match Day 20/03/2026

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I will put a quick meeting in for this morning to discuss.

Thanks

Matt

Matthew Elkins | Executive Branch Manager; Venues Canberra |
Phone 6256 6708 Sch 2.2(a)(ii) Email matthew.elkins@act.gov.au |
PO Box 666 JAMISON ACT 2614



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From: "De Boni, Andrew" <Andrew.deBoni@act.gov.au>
Sent: 20/03/2026 9:30 AM
To: "Elkins, Matthew" <Matthew.Elkins@act.gov.au>; "Bailey, Daniel" <Daniel.Bailey@act.gov.au>; "Orr, Melissa" <Melissa.Orr@act.gov.au>; "Febo, Vanessa" <Vanessa.Febo@act.gov.au>
Subject: RE: Water ingress GIO Stadium

OFFICIAL

Dale from Sch 2.2(a)(ii) will be onsite shortly and will investigate options for changeroom leak

Andrew De Boni | Senior Director – Venue Infrastructure and Capital Works |
Phone 6213 0701 | Sch 2.2(a)(ii) Email andrew.deboni@act.gov.au |
PO Box 158 Canberra City ACT 2601



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From: Elkins, Matthew <Matthew.Elkins@act.gov.au>
Sent: Friday, 20 March 2026 8:28 AM
To: De Boni, Andrew <Andrew.deBoni@act.gov.au>; Bailey, Daniel <Daniel.Bailey@act.gov.au>; de la Rue, Annie <Annie.delaRue@act.gov.au>; Spring, Harriet <Harriet.Spring@act.gov.au>
Subject: RE: Water ingress GIO Stadium

OFFICIAL

Thanks Andrew it would be valuable to update this understanding with the most recent report undertaken.

Thanks

Matt

Matthew Elkins | Executive Branch Manager; Venues Canberra |
Phone 6256 6708 | Sch 2.2(a)(ii) Email matthew.elkins@act.gov.au |

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From: De Boni, Andrew <Andrew.deBoni@act.gov.au>

Sent: Friday, 20 March 2026 8:23 AM

To: Elkins, Matthew <Matthew.Elkins@act.gov.au>; Bailey, Daniel <Daniel.Bailey@act.gov.au>; de la Rue, Annie <Annie.delaRue@act.gov.au>; Spring, Harriet <Harriet.Spring@act.gov.au>

Subject: RE: Water ingress GIO Stadium

OFFICIAL

Hi Matt,

We know what the issue is. We performed a heap of work in 2021 to the inner concourse which now needs redoing and we have a report for the majority of cracking to the stadium. iCBR have the project and I am awaiting them to start it which I will push today.

Thanks,

Andrew

Andrew De Boni | Senior Director – Venue Infrastructure and Capital Works |
Phone 6213 0701 | [Sch 2.2\(a\)\(ii\)](#) Email andrew.deboni@act.gov.au |
PO Box 158 Canberra City ACT 2601



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Artist: Richie Allan

-----Original Appointment-----

From: Elkins, Matthew <Matthew.Elkins@act.gov.au>

Sent: Friday, 20 March 2026 7:40 AM

To: Bailey, Daniel; de la Rue, Annie; Spring, Harriet; De Boni, Andrew

Subject: Water ingress GIO Stadium

When: Friday, 20 March 2026 10:00 AM-10:30 AM (UTC+10:00) Canberra, Melbourne, Sydney.

Where: Microsoft Teams Meeting

Hi Annie and Harriet

Can we please discuss escalating access the condition assessment with consideration to water ingress.

Thanks

Matt

Microsoft Teams meeting

Join:

Out of scope



Meeting ID: Out of scope

Passcode: Out of scope

[Need help?](#) | [System reference](#)

For organizers: [Meeting options](#)



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From: "Gray, Adam" <Adam.Gray@act.gov.au>
Sent: 23/03/2026 1:46 PM
To: "Elkins, Matthew" <Matthew.Elkins@act.gov.au>; "De Boni, Andrew" <Andrew.deBoni@act.gov.au>; "Orr, Melissa" <Melissa.Orr@act.gov.au>; "Bonny, Carly" <Carly.Bonny@act.gov.au>
Cc: "Bailey, Daniel" <Daniel.Bailey@act.gov.au>
Subject: RE: Works at GIO Stadium

OFFICIAL

Hi Matt

Please see my responses below in red.

Regards

Adam

Adam Gray | Senior Director, Operations

Agency Security Advisor

Phone (02) 625 66714 | **Sch 2.2(a)(ii)** | Email adam.gray@act.gov.au |

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Artist: Richie Allan

From: Elkins, Matthew <Matthew.Elkins@act.gov.au>

Sent: Monday, 23 March 2026 12:53 PM

To: De Boni, Andrew <Andrew.deBoni@act.gov.au>; Gray, Adam <Adam.Gray@act.gov.au>; Orr, Melissa <Melissa.Orr@act.gov.au>; Bonny, Carly <Carly.Bonny@act.gov.au>

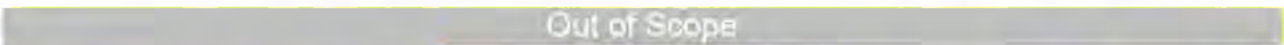
Cc: Bailey, Daniel <Daniel.Bailey@act.gov.au>

Subject: Works at GIO Stadium

OFFICIAL

Hi All

As you can appreciate there will considerable attention on GIO over the next week can I please ask

- 
- Andrew I understand we have a contractor booked for Tuesday to look at the Western Inner concourse in relation to treating water ingress into sub-levels. Can you please advise
 - Works that will be undertaken to manage before the next match day on Friday 27 March
 - Any larger capital works to be undertaken and the timeline for completion. Please note these works are a priority fix and we will seek additional funding if required to complete.
- As you may have read the CEO of the Raiders has claimed that he/they identified safety issues re the glass panels in the coaches area. While I can't find a record of the Raiders raising these issues it would be prudent to seek an engineer prior to Fridays match day to provide an assessment of safe and appropriate installation and operation of
 - Glass panels back of the grandstand
 - Glass panels on the open Boxes
 - Glass windows on the Coaches and commentary boxes
 - Glass walls and doors on the hospitality suites and lounges
 - Glass extension to the balcony fronts on the Suites and Lounges.
 - Roof sections between hospitality level and inner concourse
 - Roof sections between the split section of the western grandstand.

Out of Scope

Thanks

Matt

Matthew Elkins | Executive Branch Manager; Venues Canberra |
Phone 6256 6708 | [Sch 2.2\(a\)\(ii\)](#) | Email matthew.elkins@act.gov.au |
PO Box 666 JAMISON ACT 2614



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Artist: Richie Allan

From: "De Boni, Andrew"
Sent: 20/03/2026 8:24 AM
To: "iCBR, Response" <iCBR.Response@act.gov.au>
Cc: "Rando, Jared" <Jared.Rando@act.gov.au>; "Thomson, Jeremy" <Jeremy.Thomson@act.gov.au>; "Brown, Hayden" <Hayden.Brown@act.gov.au>
Subject: URGENT - Glazier - GIO Stadium - Western Stand - Southern Coaches Box

Hi Team,

Can you please arrange for a glazier to replace the sliding glass window that has been broken in the southern coaches box in the western stand at GIO Stadium.

As we have a game tonight it will need to be replaced today.

Thanks,

Andrew

Andrew De Boni | Senior Director – Venue Infrastructure and Capital Works |
Phone 6213 0701 | **Sch 2.2(a)(ii)** Email andrew.deboni@act.gov.au |
PO Box 158 Canberra City ACT 2601



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Artist: Richie Allan

From: "Bradley, Kellie" <Kellie.Bradley@act.gov.au>
Sent: 25/03/2026 10:55 AM
To: "Elkins, Matthew" <Matthew.Elkins@act.gov.au>; "De Boni, Andrew" <Andrew.deBoni@act.gov.au>; "Febo, Vanessa" <Vanessa.Febo@act.gov.au>; "Orr, Melissa" <Melissa.Orr@act.gov.au>
Cc: "Austin, Stassi" <Stassi.Austin@act.gov.au>
Subject: Urgent dot points - Stadium Condition Assessment
Importance: High

OFFICIAL

Hi all,

SIC updated their standard dot points on the new stadium for the CM to include info about the stadium condition assessment.

[Record CM26/32916: Talking points - New stadium](#)

Can someone please include some dot points on the next steps once we receive this report? Or is that something SIC should add?

Daniel asked that a dot point be included about WorkSafe attending the stadium earlier this week.

I've added something but can someone please add some detail about WorkSafe's inspection/what the outcome was?

I've also listed some planned maintenance for the stadium. Can someone please check that it's accurate and update as necessary.

We need to get this over to CMO ASAP today.

Thank you!

Kind Regards

Kellie Bradley

Executive Officer to Daniel Bailey, Executive Group Manager, Operations
Economic Development | Chief Minister, Treasury and Economic Development Directorate
Kellie.Bradley@act.gov.au