



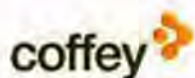
GEOTECHNICAL INVESTIGATION

Due Diligence Assessment: Block 13 Section 28,
Rivett, ACT

Land Development Agency

GEOTFYSH09656AA-01

23 July 2013



23 July 2013

Land Development Agency
c/- Mott Macdonald Pty Ltd,
Units 11 & 12, 1st Floor, Block C, Trevor Pearcey House,
28-30 Traeger Court,
Bruce, ACT 2617

Attention: Mike Breen

Dear Mike,

RE: Geotechnical Investigation

Due Diligence Assessment: Block 13 Section 28, Rivett, ACT

Coffey Pty Ltd (Coffey) is pleased to present the results of our geotechnical and contamination investigation for the Due Diligence Assessment at Block 13, Section 28 Rivett, ACT.

If you have any questions related to the report, or we can be of any further assistance, please do not hesitate to contact the undersigned on (02) 6260 7288.

For and on behalf of Coffey Pty Ltd

Project Geotechnical Engineer

Distribution: Original held by Coffey Pty Ltd
Electronic copy to Mott Macdonald and Land Development Agency

CONTENTS

1	INTRODUCTION	1
2	SCOPE OF WORK	1
2.1	Geotechnical Investigation	1
3	GEOTECHNICAL INVESTIGATION	1
3.1	Desk Top Study and Walkover Survey	1
3.1.1	Topography and Drainage	1
3.1.2	Local Geology and Soils	2
3.1.3	Regional Hydrogeology and Groundwater Usage	2
3.1.4	Review of Coffey Archives	2
3.2	Fieldwork	2
3.3	Subsurface Conditions	3
3.4	Groundwater	3
3.5	Laboratory Testing	4
3.5.1	Particle Size Distribution Tests	4
3.6	Moisture Content	4
3.7	Atterberg Limit Tests	4
4	DISCUSSION AND RECOMMENDATIONS	4
4.1	Earthworks	4
4.1.1	Excavation Conditions	4
4.1.2	Suitability of On-Site Materials for use an Engineered Fill	5
4.1.3	Unsupported Batters (Temporary or Permanent)	5
4.2	Site Classification	5
5	PHASE 1 CONTAMINATION ASSESSMENT	5
6	LIMITATIONS	6

Important Information about your Coffey Report

Figures

Figure 1 – Investigation Location Plan

CONTENTS

Appendices

Appendix A: Site Photos

Appendix B: Test Pit Logs and Explanatory Notes and DCP Test Results

Appendix C: Laboratory Test Reports

1 INTRODUCTION

This report presents the results of a Geotechnical Investigation and Phase 1 Preliminary Contamination Assessment (the investigation) carried out by Coffey at Block 13, Section 28, Rivett, ACT. The investigation forms part of a Due Diligence Assessment of the site being undertaken by Mott Macdonald Pty Ltd.

The investigation was commissioned by Mott Macdonald Pty Ltd on behalf of the Land Development Agency and was undertaken in general accordance with our proposal GEOTFYSH09656AAP-01, dated 30 May 2013.

Block 13, Section 28, Rivett is located adjacent to the Rivett Neighbourhood Oval and the Rivett Shops, off Bangalay Crescent. The approximate area of the block is 3,750m².

The objective of the combined assessment was to assess subsurface conditions at the site and provide comments and recommendations on the following;

- Subsurface conditions, including groundwater conditions within the depth of exploration;
- Excavation conditions;
- Re-use of the site won materials as engineered fill and placement procedures;
- Site classification.

2 SCOPE OF WORK

2.1 Geotechnical Investigation

The scope of work for the geotechnical investigation comprised the following:

- Review of published geological maps and other published data covering the study area;
- Review of geotechnical data held by Coffey from investigations on sites adjacent to the study area, if available;
- Site walkover by a geotechnical engineer to assess potential constraints;
- Excavation of 5 test pits to a maximum depth of 2.75m or refusal using a 3t rubber track excavator;
- Dynamic Cone Penetrometer Testing adjacent to each test pit.
- Laboratory testing comprising 3 No. Particle Size Distribution Tests, 3 No. Atterberg Limits Tests and 3 No. moisture content determinations.

3 GEOTECHNICAL INVESTIGATION

3.1 Desk Top Study and Walkover Survey

3.1.1 Topography and Drainage

The western portion of the Site slopes gently to the east; from the higher western portion adjoining the Rivett Shops car park and Rivett Place. The Site grades to relatively level with minor surface

undulations in the east where it meets the Rivett Sports field and amenities. Topographical information provided in ACT Planning and Land Authority's online interactive mapping service (ACTmapi) indicates the Site lies at an elevation between 606 to 609m above Australian Height Datum (AHD).

Municipal stormwater pits were observed in the Rivett Shops car park to the west of the Site and in the Sports field car park to the north. Some infiltration of surface water is expected to occur within the unsealed and vegetated portions of Site, with runoff diverted to municipal stormwater system. Ultimately, surface water runoff is delivered to Weston Creek (approx. 950m east of Site) via the municipal stormwater system.

Vegetation at the site comprises sparse grass cover and some mature trees around the lot boundaries.

Photographs from the walkover survey are reproduced in Appendix A.

3.1.2 Local Geology and Soils

The 1:50,000 Geology Map of Canberra, Queanbeyan and Environs (Russell 1980) indicates that the Site is underlain Silurian age Deakin Volcanics comprising various tuffs, rhyolite, rhyodacites and agglomerates.

Jenkins (2000) describes the soils of the Site as the transferral landscape *Burra*, with soils identified as typically shallow well drained Rudosols (Lithosols) and Tenosols (Lithosols/Earthy Sands) on crests and upperslopes with moderately deep, moderately well drained Red Kurosols (Red Podzolic soils) and Red Kandosols (Red Earths) on mid- to lower-slopes. Moderately deep, slowly to moderately well drained Brown Chromosols (Yellow Podsolics Soils) and Brown Kandosols (Yellow Earths) are prevalent along drainage lines.

3.1.3 Regional Hydrogeology and Groundwater Usage

The 1:100,000 scale hydrogeological map *Hydrogeology of the Australian Capital Territory* (Evans 1984) indicates the site is located on late Silurian Deakin Volcanics comprising various tuffs, rhyolite, rhyodacites and agglomerates. Water quality tends to be variable to poor with dissolve solids concentration less than 500mg/l and a water yield of 0.5-1.0l/s.

The nearest surface water receptor is Weston Creek which is located approximate 950m to the east of the Site. Groundwater levels are inferred to be at a depth approximately similar or slightly higher than the average surface level of Weston Creek (at approximately RL 590m AHD) and are likely to flow in an easterly to north-easterly direction.

3.1.4 Review of Coffey Archives

A review of archives retained by Coffey found no records of previous investigations and studies carried out by Coffey in the vicinity of the study area.

3.2 Fieldwork

Fieldwork for the investigation was carried out on 4 July 2013 and comprised the excavation of five test pits (TP01 to TP05) to a maximum depth of 1.3m within the investigation area. Based on the initial scope of work, the test pits were to be excavated to a maximum depth of 2.75m, however, during excavation of the test pits, they were terminated on very slow progress within extremely weathered rock.

DCP Tests were carried out adjacent to each test pit to assess the in situ density of the sub-strata. These indicated a medium dense to dense layer in the upper 150mm to 300mm, underlain by very dense to hard sands and/or clays. The tests refused between 750mm and 900mm below existing ground surface.

The approximate locations of the test pits are shown in Figure 1.

A Coffey Geoscientist was present during drilling operations to log materials encountered and photograph the recovered samples. Engineering logs of the test pits together with explanation sheets are presented in Appendix B.

3.3 Subsurface Conditions

Table 1 below provides a summary of the subsurface conditions observed in the test pits.

Table 1 - Summary of Subsurface Conditions Encountered in Test Pits

Material / Origin	Description	Range of Depth to top of Unit (m)	Range of Depth to Base of Unit (m)
Fill	Clayey SAND, fine to coarse grained, brown, medium plasticity clay, assessed loose, with some foreign material.	0.0	0.2 to 0.3
Fill	SAND, fine to medium grained, pale grey with some medium plasticity clay, assessed medium dense. Encountered in TP02 only.	0.2	0.4
Fill	Clay, low to high plasticity, black – red/brown, with some fine grained sand, charcoal and gravel, assessed soft to stiff, encountered in TPs 04 and 05 only.	0.3	0.4 to 0.45
Residual Soil	CLAY, sandy CLAY, medium to high plasticity, with occasional fine to coarse grained sand, black, red/brown, orange/brown, assessed stiff to hard, encountered in all test pits	0.2 to 0.45	0.6 to 0.9
XW Rock	Clayey SAND, gravelly SAND, fine to coarse grained sand, fine to coarse grained angular to subangular gravel, medium plasticity clay, assessed dense to very dense.	0.4 to 0.9	unknown

3.4 Groundwater

Groundwater seepages were not observed during excavation of the test pits. It should be noted that groundwater conditions may vary due to seasonal variations, in particular following heavy or prolonged rainfall.

3.5 Laboratory Testing

3.5.1 Particle Size Distribution Tests

Table 2 presents a summary of the Particle Size Distribution test results on soil samples taken from the test pits. The laboratory test reports are presented in Appendix C.

Table 2 – Summary of Particle Size Distribution test results

Sample Location	Depth (m)	Clay/Silt (%)	Sand (%)	Gravel (%)
TP1	0.3 – 0.4	59	37	4
TP1	0.9 – 1.0	60	37	3
TP4	1.0 – 1.2	61	43	6

3.6 Moisture Content

Table 3 presents a summary of the moisture content test results on soil samples taken from the test pits. The laboratory test reports are presented in Appendix C.

Table 3 – Summary of Moisture Content Test Results

Test Location	Depth (m)	Moisture Content (%)
TP1	0.3 – 0.4	13.0
TP1	0.9 – 1.0	12.6

3.7 Atterberg Limit Tests

Table 4 presents a summary of the Atterberg Limit test results on soil samples taken from the test pits. The laboratory test reports are presented in Appendix C.

Table 4 – Summary of Atterberg Limits Test Results

Test Location	Depth (m)	Plastic Limit	Liquid Limit	Plasticity Index	Linear Shrinkage (%)
TP1	0.3 – 0.4	21	53	32	15.5
TP1	0.9 – 1.0	17	30	13	6.5
TP4	1.0 – 1.2	19	41	22	12.5

4 DISCUSSION AND RECOMMENDATIONS

4.1 Earthworks

4.1.1 Excavation Conditions

Based on the subsurface conditions encountered in the boreholes, it is expected that shallow excavations should encounter fill, and residual soils. Shallow excavations of the soil materials should be able to be carried out using tracked excavators of greater than 5 tonne capacity. Larger excavators may be required to excavate into the extremely weathered materials.

Trafficability over the fill and residual soils, if exposed during and following periods of significant rainfall, may be difficult for wheeled vehicles.

Groundwater was not observed during test pitting. It is expected that groundwater conditions may change seasonally and after wet periods. Groundwater seepage may be expected both within the fill and along the fill and residual soil interfaces.

4.1.2 Suitability of On-Site Materials for use as Engineered Fill

The residual and extremely weathered materials should generally be suitable for re-use as Engineered Fill, provided unsuitable materials such as organics, waste or oversized particles are removed. The existing fill materials will generally not be suitable for re-use as fill.

4.1.3 Unsupported Batters (Temporary or Permanent)

If required, where there is sufficient area on site, the following temporary and permanent unsupported batters may be adopted:

	<u>Temporary Batter Slopes</u>	<u>Permanent Batter Slopes</u>
Fill	1 (V) : 2 (H)	1 (V) : 3 (H)
Residual Soils (clayey)	1 (V) : 1 (H)	1 (V) : 2.5 (H)

Surface water should be diverted away from the crests of any excavations by catch drains. Permanent slopes exposing soils should be vegetated to reduce the potential for scour and erosion. The above batters assume surcharge loads are kept well clear of batter crests.

Notwithstanding the above recommended batter slopes, there may be unfavourable conditions within the exposed materials which may require further treatment, such as laying back or covering with mesh. Accordingly, it is recommended that any unsupported batters be viewed by Coffey at regular stages during construction and immediately after rainfall to assess any such requirements for stabilising measures.

4.2 Site Classification

Based on our assessment and Australian Standard (AS2870-2011) "Residential slabs and footings" a site classification of **M**, with an assessed characteristic surface movement (y_s) in the range of less than 20mm is considered appropriate for this site.

If more than 400mm of uncontrolled fill or 400mm of fill material other than sand is present on or remains beneath the footings or if the depth of excavation within the building area extends more than 500mm below the current surface, the above site classification must be reassessed.

The site classifications presented above are provided on the basis that the performance expectations set out in Appendix B of AS2870-2011 are acceptable.

5 PHASE 1 CONTAMINATION ASSESSMENT

Coffey Environments Australia has carried out a preliminary Contamination Assessment and the report will be submitted separately.

6 LIMITATIONS

The geotechnical model and recommendations in this report are based on a limited number of test locations. The test pit logs describe subsurface conditions only at the specific test locations. Ground conditions can vary over relatively close distances and a geotechnical engineer should be engaged at the construction stage to assess whether site conditions are consistent with design assumptions.

The attached document following this report entitled "Important Information about Your Coffey Report" presents additional information on the uses and limitations of this report.

Important information about your **Coffey Report**

As a client of Coffey you should know that site subsurface conditions cause more construction problems than any other factor. These notes have been prepared by Coffey to help you interpret and understand the limitations of your report.

Your report is based on project specific criteria

Your report has been developed on the basis of your unique project specific requirements as understood by Coffey and applies only to the site investigated. Project criteria typically include the general nature of the project; its size and configuration; the location of any structures on the site; other site improvements; the presence of underground utilities; and the additional risk imposed by scope-of-service limitations imposed by the client. Your report should not be used if there are any changes to the project without first asking Coffey to assess how factors that changed subsequent to the date of the report affect the report's recommendations. Coffey cannot accept responsibility for problems that may occur due to changed factors if they are not consulted.

Subsurface conditions can change

Subsurface conditions are created by natural processes and the activity of man. For example, water levels can vary with time, fill may be placed on a site and pollutants may migrate with time. Because a report is based on conditions which existed at the time of subsurface exploration, decisions should not be based on a report whose adequacy may have been affected by time. Consult Coffey to be advised how time may have impacted on the project.

Interpretation of factual data

Site assessment identifies actual subsurface conditions only at those points where samples are taken and when they are taken. Data derived from literature and external data source review, sampling and subsequent laboratory testing are interpreted by geologists, engineers or scientists to provide an opinion about overall site conditions, their likely impact on the proposed development and recommended actions. Actual conditions may differ from those inferred to exist, because no professional, no matter how qualified, can reveal what is hidden by

earth, rock and time. The actual interface between materials may be far more gradual or abrupt than assumed based on the facts obtained. Nothing can be done to change the actual site conditions which exist, but steps can be taken to reduce the impact of unexpected conditions. For this reason, owners should retain the services of Coffey through the development stage, to identify variances, conduct additional tests if required, and recommend solutions to problems encountered on site.

Your report will only give preliminary recommendations

Your report is based on the assumption that the site conditions as revealed through selective point sampling are indicative of actual conditions throughout an area. This assumption cannot be substantiated until project implementation has commenced and therefore your report recommendations can only be regarded as preliminary. Only Coffey, who prepared the report, is fully familiar with the background information needed to assess whether or not the report's recommendations are valid and whether or not changes should be considered as the project develops. If another party undertakes the implementation of the recommendations of this report there is a risk that the report will be misinterpreted and Coffey cannot be held responsible for such misinterpretation.

Your report is prepared for specific purposes and persons

To avoid misuse of the information contained in your report it is recommended that you confer with Coffey before passing your report on to another party who may not be familiar with the background and the purpose of the report. Your report should not be applied to any project other than that originally specified at the time the report was issued.

Important information about your Coffey Report

Interpretation by other design professionals

Costly problems can occur when other design professionals develop their plans based on misinterpretations of a report. To help avoid misinterpretations, retain Coffey to work with other project design professionals who are affected by the report. Have Coffey explain the report implications to design professionals affected by them and then review plans and specifications produced to see how they incorporate the report findings.

Data should not be separated from the report*

The report as a whole presents the findings of the site assessment and the report should not be copied in part or altered in any way.

Logs, figures, drawings, etc. are customarily included in our reports and are developed by scientists, engineers or geologists based on their interpretation of field logs (assembled by field personnel) and laboratory evaluation of field samples. These logs etc. should not under any circumstances be redrawn for inclusion in other documents or separated from the report in any way.

Geoenvironmental concerns are not at issue

Your report is not likely to relate any findings, conclusions, or recommendations about the potential for hazardous materials existing at the site unless specifically required to do so by the client. Specialist equipment, techniques, and personnel are used to perform a geoenvironmental assessment. Contamination can create major health, safety and environmental risks. If you have no information about the potential for your site to be contaminated or create an environmental hazard, you are advised to contact Coffey for information relating to geoenvironmental issues.

Rely on Coffey for additional assistance

Coffey is familiar with a variety of techniques and approaches that can be used to help reduce risks for all parties to a project, from design to construction. It is common that not all approaches will be necessarily dealt with in your site assessment report due to concepts proposed at that time. As the project progresses through design towards construction, speak with Coffey to develop alternative approaches to problems that may be of genuine benefit both in time and cost.

Responsibility

Reporting relies on interpretation of factual information based on judgement and opinion and has a level of uncertainty attached to it, which is far less exact than the design disciplines. This has often resulted in claims being lodged against consultants, which are unfounded. To help prevent this problem, a number of clauses have been developed for use in contracts, reports and other documents. Responsibility clauses do not transfer appropriate liabilities from Coffey to other parties but are included to identify where Coffey's responsibilities begin and end. Their use is intended to help all parties involved to recognise their individual responsibilities. Read all documents from Coffey closely and do not hesitate to ask any questions you may have.

* For further information on this aspect reference should be made to 'Guidelines for the Provision of Geotechnical Information in Construction Contracts' published by the Institution of Engineers Australia, National Headquarters, Canberra, 1987.

Figures



**Rivett Block 13
Section 28**

1: 1,432



DISCLAIMER

The map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current or otherwise reliable.

24-May-2013

Page 1 of 2



ACT
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**Rivett Block 13
Section 28**

1: 1,432



DISCLAIMER

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24-May-2013

Page 2 of 2



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Legend

- 2004 Contours - 10m
- 2004 Contours - 5m
- 2004 Contours - 1m
- Registered Sections
- Approved Sections
- Proposed Sections
- Electrical Easements
- Gas Easements
- Right of Way Easements
- Sewer Easements
- Stormwater Easements
- Telecommunications Easements
- Water Easements
- Water Feature Polygons
- Water Feature Lines
- Urban Registered Blocks
- Rural Registered Blocks
- Stratum Registered Blocks
- Urban Approved Blocks
- Rural Approved Blocks
- Stratum Approved Blocks
- Urban Proposed Blocks
- Rural Proposed Blocks
- Rural Occupied Blocks
- Class B Units
- 2012 Aerial Photography
 - Red: Band_1
 - Green: Band_2
 - Blue: Band_3

Appendix A

Site Photos



Site Photo 1 – General View Looking Towards Rivett Shops from Near Clubhouse



Site Photo 2 – General View Looking South Towards Church


drawn	CMC		client:	Land Development Agency	
approved	JT		project:	Due Diligence Assessment: Block 13 Section 28, Rivett, ACT	
date	19/7/2013		title:	SITE PHOTOS	
scale	NTS		project no:	GEOTFYSH09656AA-01	Page: 1
original size	A4				



Site Photo 3 – General View Looking North Towards Clubhouse



Site Photo 4 – General View Looking North Towards Care Home

drawn	CMC		client: Land Development Agency	
approved	JT		project: Due Diligence Assessment: Block 13 Section 28, Rivett, ACT	
date	19/7/2013		title: SITE PHOTOS	
scale	NTS		project no: GEOTFYSH09657AA-01	
original size	A4		Page: 2	

Appendix B

Engineering Test Pit Logs and Explanatory Notes and DCP Test Results

Soil Description Explanation Sheet (1 of 2)

DEFINITION:

In engineering terms soil includes every type of uncemented or partially cemented inorganic or organic material found in the ground. In practice, if the material can be remoulded or disintegrated by hand in its field condition or in water it is described as a soil. Other materials are described using rock description terms.

CLASSIFICATION SYMBOL & SOIL NAME

Soils are described in accordance with the Unified Soil Classification (USCS) as shown in the table on Sheet 2.

PARTICLE SIZE DESCRIPTIVE TERMS

NAME	SUBDIVISION	SIZE
Boulders		>200 mm
Cobbles		63 mm to 200 mm
Gravel	coarse	20 mm to 63 mm
	medium	6 mm to 20 mm
	fine	2.36 mm to 6 mm
Sand	coarse	600 µm to 2.36 mm
	medium	200 µm to 600 µm
	fine	75 µm to 200 µm

MOISTURE CONDITION

- Dry** Looks and feels dry. Cohesive and cemented soils are hard, friable or powdery. Uncemented granular soils run freely through hands.
- Moist** Soil feels cool and darkened in colour. Cohesive soils can be moulded. Granular soils tend to cohere.
- Wet** As for moist but with free water forming on hands when handled.

CONSISTENCY OF COHESIVE SOILS

TERM	UNDRAINED STRENGTH S_u (kPa)	FIELD GUIDE
Very Soft	<12	A finger can be pushed well into the soil with little effort.
Soft	12 - 25	A finger can be pushed into the soil to about 25mm depth.
Firm	25 - 50	The soil can be indented about 5mm with the thumb, but not penetrated.
Stiff	50 - 100	The surface of the soil can be indented with the thumb, but not penetrated.
Very Stiff	100 - 200	The surface of the soil can be marked, but not indented with thumb pressure.
Hard	>200	The surface of the soil can be marked only with the thumbnail.
Friable	-	Crumbles or powders when scraped by thumbnail.

DENSITY OF GRANULAR SOILS

TERM	DENSITY INDEX (%)
Very loose	Less than 15
Loose	15 - 35
Medium Dense	35 - 65
Dense	65 - 85
Very Dense	Greater than 85

MINOR COMPONENTS

TERM	ASSESSMENT GUIDE	PROPORTION OF MINOR COMPONENT IN:
Trace of	Presence just detectable by feel or eye, soil properties little or no different to general properties of primary component.	Coarse grained soils: <5% Fine grained soils: <15%
With some	Presence easily detected by feel or eye, soil properties little different to general properties of primary component.	Coarse grained soils: 5 - 12% Fine grained soils: 15 - 30%

SOIL STRUCTURE

ZONING	CEMENTING
Layers: Continuous across exposure or sample.	Weakly cemented: Easily broken up by hand in air or water.
Lenses: Discontinuous layers of lenticular shape.	Weakly cemented: Effort is required to break up the soil by hand in air or water.
Pockets: Ineg. or inclusions of different material.	

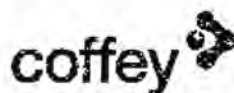
GEOLOGICAL ORIGIN

WEATHERED IN PLACE SOILS

- Extremely weathered material** Structure and fabric of parent rock visible.
- Residual soil** Structure and fabric of parent rock not visible.

TRANSPORTED SOILS

- Aeolian soil** Deposited by wind.
- Alluvial soil** Deposited by streams and rivers.
- Colluvial soil** Deposited on slopes (transported downslope by gravity).
- Fill** Man made deposit. Fill may be significantly more variable between tested locations than naturally occurring soils.
- Lacustrine soil** Deposited by lakes.
- Marine soil** Deposited in ocean basins, bays, beaches and estuaries.



Soil Description Explanation Sheet (2 of 2)

SOIL CLASSIFICATION INCLUDING IDENTIFICATION AND DESCRIPTION

FIELD IDENTIFICATION PROCEDURES (Excluding particles larger than 60 mm and basing fractions on estimated mass)				USC	PRIMARY NAME		
COARSE GRAINED SOILS More than 50% of material less than 60 mm is larger than 0.075 mm	More than half of coarsest fraction is larger than 2.0 mm	GRAVELS (Little or no fines)	CLEAN GRAVELS	GW	GRAVEL		
			GRAVELS WITH FINES (Appreciable amount of fines)	GP	GRAVEL		
			GRAVELS WITH FINES (Non-plastic fines (for identification procedures see MI below))	GM	SILTY GRAVEL		
		SANDS (Appreciable amount of fines)	More than half of coarsest fraction is smaller than 2.0 mm	CLEAN SANDS (Little or no fines)	SANDS	SW	SAND
					SANDS WITH FINES (Predominantly one size or a range of sizes with some intermediate sizes missing)	SP	SAND
				SANDS WITH FINES (Non-plastic fines (for identification procedures see ML below))	SM	SILTY SAND	
FINE GRAINED SOILS More than 50% of material less than 60 mm is smaller than 0.075 mm (A 0.075 mm particle is about the smallest particle visible to the naked eye)	SILTS & CLAYS Liquid limit less than 50 or water than 50	IDENTIFICATION PROCEDURES ON FRACTIONS <0.2 mm					
		DRY STRENGTH	DELTANCY	TOUGHNESS			
		None to Low	Quick to slow	None	ML	SILT	
		Medium to High	None	Medium	CL	CLAY	
		Low to medium	Slow to very slow	Low	OL	ORGANIC SILT	
		Low to medium	Slow to very slow	Low to medium	ML	SILT	
		High	None	High	CH	CLAY	
		Medium to High	None	Low to medium	OH	ORGANIC CLAY	
		HIGHLY ORGANIC SOILS			Readily identified by color, odor, sogginess and frequently by fibrous texture.	PI	PEAT

* Low plasticity - Liquid Limit W_L less than 35%. * Medium plasticity - W_L between 35% and 60%.

COMMON DEFECTS IN SOIL

TERM	DEFINITION	DIAGRAM	TERM	DEFINITION	DIAGRAM
PARTING	A surface or crack across which the soil has little or no tensile strength. Parallel or sub-parallel to layering (eg bedding). May be open or closed.		SOFTENED ZONE	A zone in clayey soil, usually adjacent to a defect in which the soil has a higher moisture content than elsewhere.	
JOINT	A surface or crack across which the soil has little or no tensile strength but which is not parallel or sub-parallel to layering. May be open or closed. The term 'fissure' may be used for irregular joints <0.2 m in length.		TUBE	Tubular cavity. May occur singly or as one of a large number of separate or inter-connected tubes. Walls often coated with clay or strengthened by denser packing of grains. May contain organic matter.	
SHEARED ZONE	Zone in clayey soil with roughly parallel near planar, curved or undulating boundaries containing closely spaced, smooth or slickensided, curved intersecting joints which divide the mass into angular or wedge shaped blocks.		TUBE CAST	Roughly cylindrical elongated body of soil formed from the soil mass in which it occurs. In some cases the soil which makes up the tube cast is cemented.	
SHEARED SURFACE	A near planar, curved or undulating, smooth, polished or slickensided surface in clayey soil. The polished or slickensided surface indicates that movement (in many cases very little) has occurred along this surface.		INFILLED SFAM	Sheet or wall like body of soil substance or mass with roughly planar to irregular near parallel boundaries which cuts through a soil mass. Formed by infilling of open joints.	

Engineering Log - Excavation

Excavation No. **TP01**
 Sheet 1 of 1
 Project No: **GEOTFYSH09656AA**
 Date started: **4.7.2013**
 Date completed: **4.7.2013**
 Logged by: **SB**
 Checked by: **CMC/ND**

Client: **Land Development Agency**
 Principal:
 Project: **Due Diligence Assessment: Block 13, Section 28, Rivett, ACT**
 Test pit location: **Refer to Figure 1**

equipment type and model: 5 Tonne Pit Orientation: Easting: 689310 m R.L. Surface:
 excavation dimensions: 0.7m long 2.5m wide Northing: 6073338 m datum: UTM 55H

excavation information				material substance									
method	penetration	support	water	notes samples, tests, etc	depth RL	depth metres	graphic log	classification symbol	material	moisture condition	consistency/density index	pocket penetrometer kPa	structure and additional observations
1	2	3							soil type: plasticity or particle characteristics, colour, secondary and minor components.			100 200 300 400	
E		N							FILL: Clayey SAND , fine to coarse grained, brown, medium plasticity clay	D	S		FILL
				TP1-1				CI	CLAY , medium plasticity, black with some white and grey sand, with some fine to coarse grained sand	<Wp	VSt/H		RESIDUAL PID = 0.0
				TP1-2									PID = 0.0
				DS		0.5			SANDSTONE , very low to low strength	D	H		EXTREMELY TO HIGHLY WEATHERED ROCK
						1.0			Test pit TP01 terminated at 0.8m				Test Pit terminated on Very Slow progress
						1.5							

Sketch

method N natural exposure X existing excavation BH backhoe bucket B bulldozer blade R ripper E excavator	support S shoring N nil penetration 1 2 3 4 no resistance ranging to refusal water water level on date shown water inflow water outflow	notes, samples, tests U ₅₀ undisturbed sample 50mm diameter U ₆₃ undisturbed sample 63mm diameter D disturbed sample V vane shear (kPa) Bs bulk sample E environmental sample R refusal	classification symbols and soil description based on unified classification system moisture D dry M moist W wet Wp plastic limit W _L liquid limit	consistency/density index VS very soft S soft F firm St stiff VSt very stiff H hard Fb friable VL very loose L loose MD medium dense D dense VD very dense
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TESTPIT GEOTFYSH09656AA.GPJ COFFEY.GDT 18.7.13

Form GEO 5.2 Issue 3 Rev.2

Engineering Log - Excavation

Client: **Land Development Agency**

Principal:

Project: **Due Diligence Assessment: Block 13, Section 28, Rivett, ACT**

Test pit location: **Refer to Figure 1**

Excavation No. **TP02**

Sheet 1 of 1

Project No: **GEOTFYSH09656AA**

Date started: **4.7.2013**

Date completed: **4.7.2013**

Logged by: **SB**

Checked by: **CMC/ND**

equipment type and model: 5 Tonne Pit Orientation: Easting: 689283 m R.L. Surface:
excavation dimensions: 0.7m long 2.5m wide Northing: 6073338 m datum: UTM 55H

excavation information				material substance									
method	penetration	support	water	notes samples, tests, etc	depth RL	depth metres	graphic log	classification symbol	material	moisture condition	consistency/density index	pocket penetrometer	structure and additional observations
1	2	3							soil type: plasticity or particle characteristics, colour, secondary and minor components.			100 200 300 400	
E		N							FILL: Clayey SAND , fine to medium grained, pale black, medium plasticity clay	D	L		FILL
				TP2-1				SW	SAND , fine to medium grained, pale grey, with some medium plasticity clay	M	MD		PID = 0.0
				TP2-2				CH	Sandy CLAY , medium to high plasticity, red/brown/orange, fine to coarse grained sand	=Wp	VSt		PID = 0.0
				DS		0.5							RESIDUAL SOIL
								SC	Clayey SAND , fine to coarse grained, grey/brown, medium plasticity clay	D	VD		Tree root observed at 0.7m
						1.0			Test pit TP02 terminated at 0.9m				EXTREMELY WEATHERED ROCK
						1.5							Test Pit terminated on Very Slow progress

Sketch

method N natural exposure X existing excavation BH backhoe bucket B bulldozer blade R ripper E excavator	support S shoring N nil penetration 1 2 3 4 no resistance ranging to refusal water water level on date shown water inflow water outflow	notes, samples, tests U ₅₀ undisturbed sample 50mm diameter U ₆₃ undisturbed sample 63mm diameter D disturbed sample V vane shear (kPa) Bs bulk sample E environmental sample R refusal	classification symbols and soil description based on unified classification system moisture D dry M moist W wet W _p plastic limit W _L liquid limit	consistency/density index VS very soft S soft F firm St stiff VSt very stiff H hard Fb friable VL very loose L loose MD medium dense D dense VD very dense
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Engineering Log - Excavation

Client: **Land Development Agency**

Principal:

Project: **Due Diligence Assessment: Block 13, Section 28, Rivett, ACT**

Test pit location: **Refer to Figure 1**

Excavation No. **TP03**

Sheet 1 of 1

Project No: **GEOTFYSH09656AA**

Date started: **4.7.2013**

Date completed: **4.7.2013**

Logged by: **SB**

Checked by: **CMC/ND**

equipment type and model: 5 Tonne Pit Orientation: Easting: 689270 m R.L. Surface:
excavation dimensions: 0.7m long 2.5m wide Northing: 6073317 m datum: UTM 55H

excavation information					material substance							
method	penetration	support	water	notes samples, tests, etc	depth RL metres	graphic log	classification symbol	material soil type: plasticity or particle characteristics, colour, secondary and minor components.	moisture condition	consistency/density index	pocket penetrometer kPa	structure and additional observations
1	2	3									100 200 300 400	
N		N		TP3-1	0.5		CH	FILL: Clayey SAND , fine to coarse grained, black, medium plasticity clay, with some foreign material	M	L		FILL
		None Encountered		TP3-2			CH	CLAY , high plasticity, red/brown, some fine grained sand	<Wp	St		RESIDUAL SOIL PID = 0.0
							SC	Clayey SAND , fine to medium grained, grey/brown, medium plasticity clay	D	D/D/D		EXTREMELY WEATHERED ROCK
					1.0			Test pit TP03 terminated at 0.8m				Tree root observed at 0.8m Test Pit terminated on Very Slow progress
					1.5							

Sketch

method N natural exposure X existing excavation BH backhoe bucket B bulldozer blade R ripper E excavator	support S shoring N nil penetration 1 2 3 4 no resistance ranging to refusal water water level on date shown water inflow water outflow	notes, samples, tests U ₅₀ undisturbed sample 50mm diameter U ₆₃ undisturbed sample 63mm diameter D disturbed sample V vane shear (kPa) Bs bulk sample E environmental sample R refusal	classification symbols and soil description based on unified classification system moisture D dry M moist W wet Wp plastic limit W _L liquid limit	consistency/density index VS very soft S soft F firm St stiff VSt very stiff H hard Fb friable VL very loose L loose MD medium dense D dense VD very dense
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Engineering Log - Excavation

Excavation No. **TP04**
 Sheet 1 of 1
 Project No: **GEOTFYSH09656AA**
 Date started: **4.7.2013**
 Date completed: **4.7.2013**
 Logged by: **SB**
 Checked by: **CMC/ND**

Client: **Land Development Agency**
 Principal:
 Project: **Due Diligence Assessment: Block 13, Section 28, Rivett, ACT**
 Test pit location: **Refer to Figure 1**

equipment type and model: 5 Tonne Pit Orientation: Easting: 689297 m R.L. Surface:
 excavation dimensions: 0.7m long 2.5m wide Northing: 6073327 m datum: UTM 55H

excavation information				material substance								
method	penetration	support	water	notes samples, tests, etc	depth metres	graphic log	classification symbol	material	moisture condition	consistency/density index	pocket penetrometer kPa	structure and additional observations
	1 2 3				RL			soil type: plasticity or particle characteristics, colour, secondary and minor components.			100 200 300 400	
N		N						FILL: Clayey SAND , fin eto coarse grained, brown, medium plasticity, with some foreign material	D	L		FILL
				TP4-1			CL	CLAY , low to medium plasticity, black, with some fine grained sand, gravel and charcoal	<Wp	S		PID = 0.0
				TP4-2	0.5		CH	Sandy CLAY , medium to high plasticity, red/brown, fine to medium grained sand	=Wp	St		RESIDUAL SOIL
				Bs								
					1.0		SW	Gravelly SAND , fine to coarse grained, brown/orange/grey/red, fine to coarse grained, angular to subangular gravel	D/M	D		EXTREMELY WEATHERED ROCK PID = 0.0
								Test pit TP04 terminated at 1.3m				Test Pit terminated on Very Slow progress
					1.5							

Sketch

method N natural exposure X existing excavation BH backhoe bucket B bulldozer blade R ripper E excavator	support S shoring N nil penetration 1 2 3 4 no resistance ranging to refusal water water level on date shown water inflow water outflow	notes, samples, tests U ₅₀ undisturbed sample 50mm diameter U ₆₃ undisturbed sample 63mm diameter D disturbed sample V vane shear (kPa) Bs bulk sample E environmental sample R refusal	classification symbols and soil description based on unified classification system moisture D dry M moist W wet W _p plastic limit W _L liquid limit	consistency/density index VS very soft S soft F firm St stiff VSt very stiff H hard Fb friable VL very loose L loose MD medium dense D dense VD very dense
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Form GEO 5.2 Issue 3 Rev.2 TESTPIT GEOTFYSH09656AA.GPJ COFFEY.GDT 18.7.13

Engineering Log - Excavation

Excavation No. **TP05**
 Sheet 1 of 1
 Project No: **GEOTFYSH09656AA**
 Date started: **4.7.2013**
 Date completed: **4.7.2013**
 Logged by: **SB**
 Checked by: **CMC/ND**

Client: **Land Development Agency**
 Principal:
 Project: **Due Diligence Assessment: Block 13, Section 28, Rivett, ACT**
 Test pit location: **Refer to Figure 1**

equipment type and model: 5 Tonne Pit Orientation: Easting: 689310 m R.L. Surface:
 excavation dimensions: 0.7m long 2.5m wide Northing: 6073326 m datum: UTM 55H

excavation information				material substance									
method 1 2 3	penetration	support water	notes samples, tests, etc	depth metres	graphic log	classification symbol	material soil type: plasticity or particle characteristics, colour, secondary and minor components.	moisture condition	consistency/ density index	pocket penetrometer			structure and additional observations
										100 kPa	200 kPa	300 kPa		400 kPa
		N	TP5-1				FILL: Clayey SAND , fine to coarse grained, black, medium plasticity clay, with some foreign material	M	L				FILL
		None Encountered	TP5-1	0.5		CH	CLAY , high plasticity, red/brown, some fine grained sand	<Wp	St				RESIDUAL PID = 0.0
						SC	Clayey SAND , fine to medium grained, grey/brown, medium plasticity clay, with some fine to coarse grained gravel	D	D/D				EXTREMELY WEATHERED ROCK Tree root observed at 0.6m PID = 0.0
				1.0			Test pit TP05 terminated at 0.8m						Test Pit terminated on Very Slow progress
				1.5									

Sketch

method N natural exposure X existing excavation BH backhoe bucket B bulldozer blade R ripper E excavator	support S shoring N nil penetration 1 2 3 4 no resistance ranging to refusal water water level on date shown water inflow water outflow	notes, samples, tests U ₅₀ undisturbed sample 50mm diameter U ₆₃ undisturbed sample 63mm diameter D disturbed sample V vane shear (kPa) Bs bulk sample E environmental sample R refusal	classification symbols and soil description based on unified classification system moisture D dry M moist W wet W _p plastic limit W _L liquid limit	consistency/density index VS very soft S soft F firm St stiff VSt very stiff H hard Fb friable VL very loose L loose MD medium dense D dense VD very dense
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Job No GEOTFYSH09656AA

AS1289 F3.2 - 1984 Dynamic Cone Penetrometer Test

Sheet **1** of **2**

Client	<i>Land Development Agency</i>	Office	<i>Fyshwick</i>
Principal		Date	<i>4/07/2013</i>
Project	<i>Due Diligence Assessment</i>	By	<i>SB</i>
Location	<i>Block 13 Section 28, Rivett, ACT</i>	Checked	<i>CMC</i>

Test No.	1	Test No.	2	Test No.	3	Test No.	4
Test Location:	Adj. TP01	Test Location:	Adj. TP02	Test Location:	Adj. TP03	Test Location:	Adj. TP04
RL:		RL:		RL:		RL:	
Depth	Blows	Depth	Blows	Depth	Blows	Depth	Blows
0.15	6	0.15	7	0.15	4	0.15	7
0.30	7	0.30	14	0.30	12	0.30	12
0.45	22	0.45	25	0.45	28	0.45	19
0.60	28	0.60	38	0.60	27	0.60	27
0.75	R	0.75	R	0.75	34	0.75	34
0.90		0.90		0.90	R	0.90	R
1.05		1.05		1.05		1.05	
1.20		1.20		1.20		1.20	
1.35		1.35		1.35		1.35	
1.50		1.50		1.50		1.50	

Job No GEOTFYSH09656AA

AS1289 F3.2 - 1984 Dynamic Cone Penetrometer Test

Sheet **2** of **2**

Client	<i>Land Development Agency</i>	Office	<i>Fyshwick</i>
Principal		Date	<i>4/07/2013</i>
Project	<i>Due Diligence Assessment</i>	By	<i>SB</i>
Location	<i>Block 13 Section 28, Rivett, ACT</i>	Checked	<i>CMC</i>

Test No.	5	Test No.		Test No.		Test No.	
Test Location:	Adj. TP05	Test Location:		Test Location:		Test Location:	
RL:		RL:		RL:		RL:	
Depth	Blows	Depth	Blows	Depth	Blows	Depth	Blows
0.15	4	0.15		0.15		0.15	
0.30	17	0.30		0.30		0.30	
0.45	22	0.45		0.45		0.45	
0.60	29	0.60		0.60		0.60	
0.75	R	0.75		0.75		0.75	
0.90		0.90		0.90		0.90	
1.05		1.05		1.05		1.05	
1.20		1.20		1.20		1.20	
1.35		1.35		1.35		1.35	
1.50		1.50		1.50		1.50	

Appendix C

Laboratory Test Reports



Coffey Testing Pty Ltd
ABN 92 114 364 046
16 Mildura Street
Fyshwick ACT 2609

Phone: +61 2 6260 7288
Fax: +61 2 6260 7211


Report No: FYSH13S-01219-1
Issue No: 1

Material Test Report

Client: Coffey Geotechnics Pty Ltd (Fyshwick)
P.O. Box 152
Fyshwick ACT 2609

Principal:
Project No.: INFOFYSH00507AA
Project Name: GEOTFYSH09656AA - Due Diligence Rivett
Lot No.: TRN:

Accredited for compliance with ISO/IEC 17025.



The results of the tests, calibrations and/or measurements included in this document are traceable to Australian/national standards.

[Signature]
Approved Signatory: Rod Wilkins
(Senior Geotechnician)
NATA Accredited Laboratory Number: 431
Date of Issue: 22/07/2013

Sample Details

Sample ID: FYSH13S-01219
Client Sample:
Date Sampled: 05/07/2013
Source: Test Pit
Material: Natural Material
Specification: AS Grading
Sampling Method: Submitted by client
Project Location: Rivett, ACT
Sample Location: TP1: 0.9m to 1.0m

Particle Size Distribution

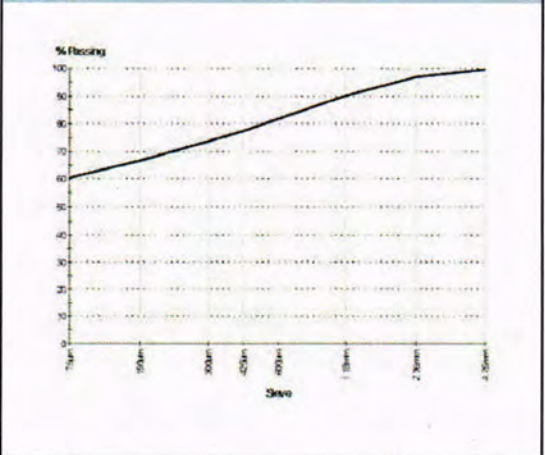
Method: AS 1289.3.6.1
Drying by: Oven
Date Tested: 17/07/2013
Note: Sample Washed

Sieve Size	% Passing	Limits
4.75mm	100	
2.36mm	97	
1.18mm	90	
600µm	82	
425µm	77	
300µm	74	
150µm	67	
75µm	60	

Other Test Results

Description	Method	Result	Limits
Moisture Content (%)	AS 1289.2.1.1	12.6	
Sample History	AS 1289.1.1	Oven-dried	
Preparation	AS 1289.1.1	Dry Sieved	
Linear Shrinkage (%)	AS 1289.3.4.1	6.5	
Mould Length (mm)		254	
Crumbling		No	
Curling		No	
Cracking		No	
Liquid Limit (%)	AS 1289.3.1.2	30	
Method		One Point	
Plastic Limit (%)	AS 1289.3.2.1	17	
Plasticity Index (%)	AS 1289.3.3.1	13	

Chart



Comments

N/A



Coffey Testing Pty Ltd
ABN 92 114 364 046
16 Mildura Street
Fyshwick ACT 2609

Phone: +61 2 6260 7288
Fax: +61 2 6260 7211


Material Test Report

Report No: FYSH13S-01220-1
Issue No: 1


Client: Coffey Geotechnics Pty Ltd (Fyshwick)
P.O. Box 152
Fyshwick ACT 2609

Principal:
Project No.: INFOFYSH00507AA
Project Name: GEOTFYSH09656AA - Due Diligence Rivett
Lot No.: TRN:

Accredited for compliance with ISO/IEC 17025.



The results of the tests, calibrations and/or measurements included in this document are traceable to Australian/national standards.

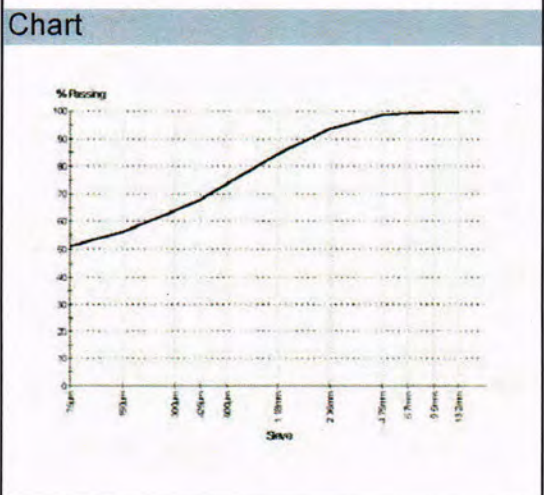


Approved Signatory: Rod Wilkins
(Senior Geotechnician)
NATA Accredited Laboratory Number: 431
Date of Issue: 22/07/2013

Sample Details	
Sample ID:	FYSH13S-01220
Client Sample:	
Date Sampled:	05/07/2013
Source:	Test Pit
Material:	Natural Material
Specification:	AS Grading
Sampling Method:	Submitted by client
Project Location:	Rivett, ACT
Sample Location:	TP4: 1.0m to 1.2m

Particle Size Distribution		
Method:	AS 1289.3.6.1	
Drying by:	Oven	
Date Tested:	17/07/2013	
Note:	Sample Washed	
Sieve Size	% Passing	Limits
13.2mm	100	
9.5mm	100	
6.7mm	99	
4.75mm	99	
2.36mm	94	
1.18mm	84	
600µm	74	
425µm	68	
300µm	64	
150µm	56	
75µm	51	

Other Test Results			
Description	Method	Result	Limits
Moisture Content (%)	AS 1289.2.1.1		
Sample History	AS 1289.1.1	Oven-dried	
Preparation	AS 1289.1.1	Dry Sieved	
Linear Shrinkage (%)	AS 1289.3.4.1	12.5	
Mould Length (mm)		254	
Crumbling		No	
Curling		Yes	
Cracking		No	
Liquid Limit (%)	AS 1289.3.1.2	41	
Method		One Point	
Plastic Limit (%)	AS 1289.3.2.1	19	
Plasticity Index (%)	AS 1289.3.3.1	22	



Comments
N/A



Coffey Testing Pty Ltd
ABN 92 114 364 046
16 Mildura Street
Fyshwick ACT 2609

Phone: +61 2 6260 7288
Fax: +61 2 6260 7211

Material Test Report

Report No: FYSH13S-01221-1
Issue No: 1

Client: Coffey Geotechnics Pty Ltd (Fyshwick)
P.O. Box 152
Fyshwick ACT 2609

Principal:
Project No.: INFOFYSH00507AA
Project Name: GEOTFYSH09656AA - Due Diligence Rivett
Lot No.: TRN:

Accredited for compliance with ISO/IEC 17025.

The results of the tests, calibrations and/or measurements included in this document are traceable to Australian/national standards.



Approved Signatory: Rod Wilkins
(Senior Geotechnician)
NATA Accredited Laboratory Number: 431
Date of Issue: 22/07/2013

Sample Details

Sample ID: FYSH13S-01221
Client Sample:
Date Sampled: 05/07/2013
Source: Test Pit
Material: Natural Material
Specification: AS Grading
Sampling Method: Submitted by client
Project Location: Rivett, ACT
Sample Location: TP1: 0.3m to 0.4m

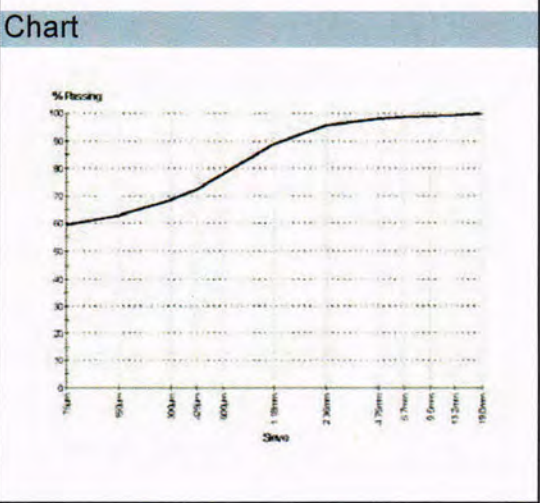
Particle Size Distribution

Method: AS 1289.3.6.1
Drying by: Oven
Date Tested: 17/07/2013
Note: Sample Washed

Sieve Size	% Passing	Limits
19.0mm	100	
13.2mm	99	
9.5mm	99	
6.7mm	99	
4.75mm	98	
2.36mm	96	
1.18mm	89	
600µm	78	
425µm	72	
300µm	68	
150µm	63	
75µm	59	

Other Test Results

Description	Method	Result	Limits
Moisture Content (%)	AS 1289.2.1.1	13.0	
Sample History	AS 1289.1.1	Oven-dried	
Preparation	AS 1289.1.1	Dry Sieved	
Linear Shrinkage (%)	AS 1289.3.4.1	15.5	
Mould Length (mm)		254	
Crumbling		No	
Curling		Yes	
Cracking		No	
Liquid Limit (%)	AS 1289.3.1.2	53	
Method		One Point	
Plastic Limit (%)	AS 1289.3.2.1	21	
Plasticity Index (%)	AS 1289.3.3.1	32	

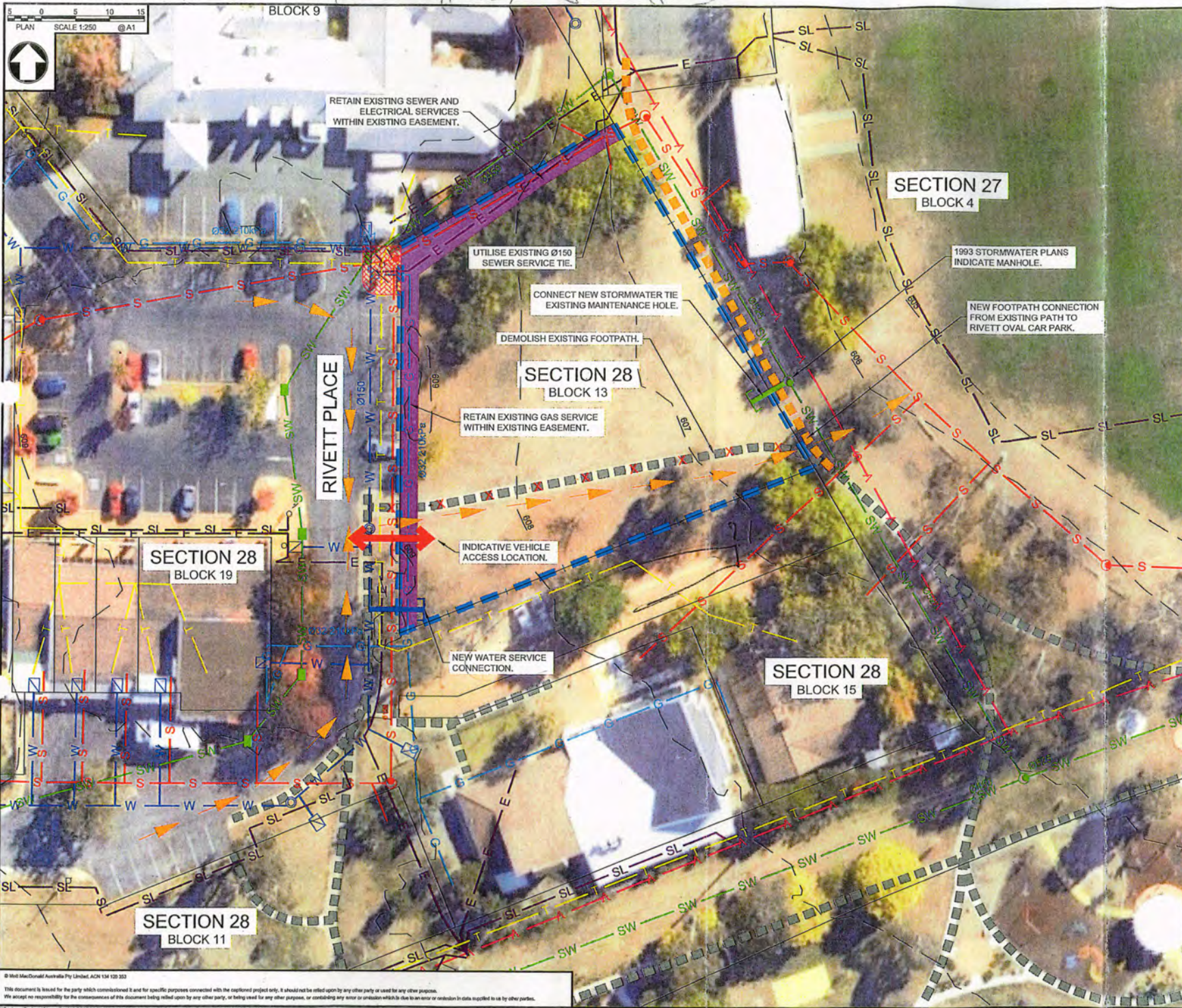


Comments

N/A

Mac Tres Ref. (Chris Yell, Lingen or Peri)

1247



EXISTING SERVICES

- S ○ SEWER, MAINTENANCE HOLE
- SW ○ STORMWATER, SUMP, MAINTENANCE HOLE
- W ○ WATER, STOP VALVE, HYDRANT
- G ○ GAS
- E ○ ELECTRICITY (UNDERGROUND)
- △ ○ ELECTRICITY (OVERHEAD)
- SL ○ STREET LIGHTING
- T ○ TELSTRA
- TR ○ TRANSACT

EXISTING FEATURES

- 610 1.0m CONTOUR (AGTMAP1 12/07/2013)
- MINOR OVERLAND FLOW PATH (TBC WITH SURVEY)
- BOUNDARY BLOCK 13
- SERVICE EASEMENT
- FOOTPATH

PROPOSED FEATURES

- INDICATIVE VEHICLE ACCESS LOCATION
- FOOTPATH
- DEMOLISH EXISTING FOOTPATH
- VERGE PAVING
- STORMWATER TIE
- WATER SERVICE CONNECTION

NOTE:
EXISTING SERVICES HAVE BEEN COMPILED FROM SUPPLIED DATA. THE PRINCIPAL DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION.

P1	22.07.2013	NC	PRELIMINARY	MB	MB
Rev	Date	Drawn	Description	CHK'd	App'd

Mott MacDonald

Units 11 and 12, Field Floor
Block C, Trevor Peary House
20-22 Trarigon Court
Stroma ACT 2917
Australia
T +61 (0)2 6253 1555
F +61 (0)2 6253 1656
www.mottmac.com.au

Land Development Agency

Title
PROPOSED SERVICES PLAN
RIVETT SECTION 28 BLOCK 13

Designed	N.Cortese	Eng check	M.Breen
Drawn	N.Cortese	Coordination	M.Breen
Dwg check	M.Breen	Approved	M.Breen
Scale at A1	1:250	Status	PRE
		Rev	P1

Drawing Number
MMD-311006-C-DR-CC05-SP-0002

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C:\Users\Project311006\Documents\CAD\4_ Working drawings\CH\A\mmd\Design\MMD-311006-DR-CC05-SP-0002.dwg Jul 25, 2013 - 4:39PM 65567

Carson, Lucia

From:
Sent: Monday, 22 July 2013 4:21 PM
To: Jatheendran, Lingam
Cc: Breen, Mike J; Carson, Lucia; Grdur, Michael;
Subject: RE: TaMS Query - Rivett Section 28 Block 13
Attachments: MMD-311006-C-DR-CC05-SP-0002 [P1].pdf

Now with attachment.

From:
Sent: 22 July 2013 3:50 PM
To: Jatheendran, Lingam (Lingam.Jatheendran@act.gov.au)
Cc: Breen, Mike J; Lucia Carson (Lucia.Carson@act.gov.au); Grdur, Michael (Michael.Grdur@act.gov.au);
Subject: RE: TaMS Query - Rivett Section 28 Block 13

Hi Lingam,

...thankyou for your response. Mott MacDonald have prepared a proposed services plan (refer attached) for inclusion into the Site Investigation report on the following basis:

1. Stormwater Tie
Mott MacDonald have identified that there is an existing public 525dia stromwater line outside the eastern boundary of the Site within adjacent Section 27 Block 4 – Urban Open Space. This existing stormwater line is located on the low side of the Site. It is considered appropriate for the service tie for Section 28 Block 13 to connect into the existing manhole along this line at the lower eastern corner of the block as shown on the proposed services plan attached.
2. Path Connection
The existing footpath through the Site currently provides access from Rivett shops to the path network within the open space system as well as neaby playground facilities. It is proposed that the existing footpath through the Site be removed and offsite pedestrian facilities be improved by providing footpath continuity to the existing carpark servicing the oval. It is anticipated that the existing footpath south of the development Site could be utilised to access the path network and the playground from the Rivett shops.
3. Vehicle Access
An indicative location for vehicle access has been shown on the proposed service plan. This location is clear of the existing 90 degree parking spaces adjacent to the western boundary of the Site. This proposed driveway location is also clear of the circulation isle of the carpark which serves Rivett shops. Note that the indicative location will provide for a similar arrangement to the existing access driveway for Section 28 Block 15 which is adjacent to the Site.

Rivett Place is a public road and is classified as an access street. There is no visual indication of pavement failure within Rivett Place and it is therefore considered appropriate that waste vehicles utilise Rivett Place to service the waste requirements of the proposed development. The road width of Rivett Place at the proposed access is approximately 7.5m and the verge is approximately 5.5m. It is anticipated that this width should allow a waste vehicle entering the development Site to be perpendicular at the block boundary.

Kind regards,

Civil Engineer
Mott MacDonald

Units 11 & 12, First Floor, Block C, Trevor Pearcey House,
28-30 Traeger Court, Bruce ACT 2617 Australia
www.mottmac.com |

T +61 (0)2 6253 1555 | F +61 (0)2 6253 1666 |
E info@mottmac.com

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From: Jatheendran, Lingam [<mailto:Lingam.Jatheendran@act.gov.au>]
Sent: 18 July 2013 3:26 PM
To:
Cc: Grdur, Michael; Arul, Adrian; Breen, Mike J
Subject: RE: TaMS Query - Rivett Section 28 Block 13

Hi

You have to carry out further investigation in relation to (1) existing storm water network in the vicinity to identify possible connection, (2) the current use of the existing footpath and the impact of removing them 3) identify the safe location for vehicular access and the impact on other facilities in the vicinity, (4) any other territory plan issues etc

Please note that TAMS has no knowledge of the subject site, it is the responsibility of the consultant to investigate all the issues in consultation with LDA. TAMS will provide comments once a report is produced.

Regards

Lingam Jatheendran
Chief Engineer
Asset Acceptance Section | Operational Support Branch | Directorate Services Division
Territory & Municipal Services Directorate (TAMS) | ACT Government

☎ **Ph: (02) 6207 6592** | 📠 **Fax: (02) 6207 7484**

"Great Services - Quality Assets - Better Lifestyles"



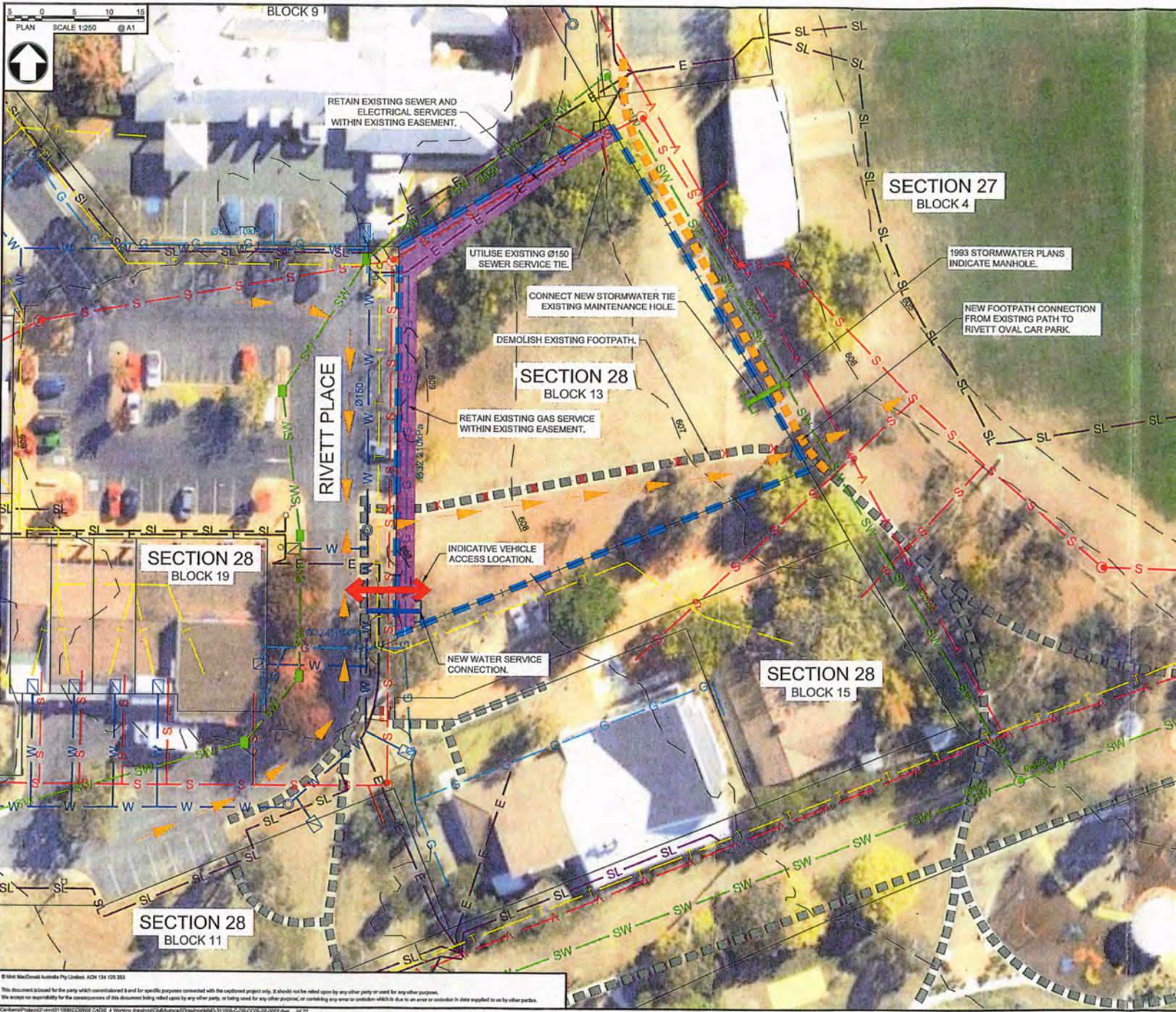
From:
Sent: Friday, 28 June 2013 12:10 PM
To: Jatheendran, Lingam
Cc: Grdur, Michael; Breen, Mike J
Subject: TaMS Query - Rivett Section 28 Block 13

Hi Lingham,

Mott MacDonald is undertaking a Site Investigation Report on behalf the LDA for Rivett Section 28 Block 13. Mott MacDonald is not currently aware of any proposed development for the site however it is listed as a Community Facilities Zone under the Territory Plan.

The following is a brief explanation of the current stormwater and access arrangements indicated on the drawings:

- No stormwater tie for Block 13;
- No vehicular access for Block 13;



EXISTING SERVICES

- S SEWER, MAINTENANCE HOLE
- SW STORMWATER, SLUMP, MAINTENANCE HOLE
- W WATER, STOP VALVE, HYDRANT
- G GAS
- E ELECTRICITY (UNDERGROUND)
- A ELECTRICITY (OVERHEAD)
- SL STREET LIGHTING
- T TELSTRA
- TR TRANSACT

EXISTING FEATURES

- 610 1.0m CONTOUR (ACTMAP 1267/2013) MINOR OVERLAND FLOW PATH (TBC WITH SURVEY)
- BOUNDARY BLOCK 13
- SERVICE EASEMENT
- FOOTPATH

PROPOSED FEATURES

- INDICATIVE VEHICLE ACCESS LOCATION
- FOOTPATH
- DEMOLISH EXISTING FOOTPATH
- STORMWATER TIE
- WATER SERVICE CONNECTION

NOTE:
EXISTING SERVICES HAVE BEEN COMPILED FROM SUPPLIED DATA. THE PRINCIPAL DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION.

P1	22.07.2013	NC	PRELIMINARY	MB	MB
Rev	Date	Drawn	Description	City/d	App'd

Mott MacDonald

Units 11 and 12, First Floor
Block C, Trevor Penney House
28-30 Tenney Court
Bruce, ACT 2617
Australia
T +61 (0)2 6251 1555
F +61 (0)2 6251 1666
W www.mottmac.com.au

Client

Land Development Agency

**PROPOSED SERVICES PLAN
RIVETT SECTION 28 BLOCK 13**

Designed	N.Cortese	Eng check	M.Breen
Drawn	N.Cortese	Coordination	M.Breen
Design check	M.Breen	Approved	M.Breen
Scale at A1	Status	Rev	
1:250	PRE	P1	

Drawing Number
MMD-311006-C-DR-CC05-SP-0002

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P:\C:\mmd\p1\00111006\CC0502 CADW, A Working Drawing\CHP\Australasia\mmd\311006-C-DR-CC05-SP-0002.dwg Jul 25, 2013 3:09PM mcdm

Carson, Lucia

From:
Sent: Monday, 22 July 2013 3:50 PM
To: Jatheendran, Lingam
Cc: Breen, Mike J; Carson, Lucia; Grdur, Michael;
Subject: RE: TaMS Query - Rivett Section 28 Block 13

Hi Lingam,

Thankyou for your response. Mott MacDonald have prepared a proposed services plan (refer attached) for inclusion into the Site Investigation report on the following basis:

1. **Stormwater Tie**
Mott MacDonald have identified that there is an existing public 525dia stromwater line outside the eastern boundary of the Site within adjacent Section 27 Block 4 – Urban Open Space. This existing stormwater line is located on the low side of the Site. It is considered appropriate for the service tie for Section 28 Block 13 to connect into the existing manhole along this line at the lower eastern corner of the block as shown on the proposed services plan attached.
2. **Path Connection**
The existing footpath through the Site currently provides access from Rivett shops to the path network within the open space system as well as neaby playground facilities. It is proposed that the existing footpath through the Site be removed and offsite pedestrian facilities be improved by providing footpath continuity to the existing carpark servicing the oval. It is anticipated that the existing footpath south of the development Site could be utilised to access the path network and the playground from the Rivett shops.
3. **Vehicle Access**
An indicative location for vehicle access has been shown on the proposed service plan. This location is clear of the existing 90 degree parking spaces adjacent to the western boundary of the Site. This proposed driveway location is also clear of the circulation isle of the carpark which serves Rivett shops. Note that the indicative location will provide for a similar arrangement to the existing access driveway for Section 28 Block 15 which is adjacent to the Site.

Rivett Place is a public road and is classified as an access street. There is no visual indication of pavement failure within Rivett Place and it is therefore considered appropriate that waste vehicles utilise Rivett Place to service the waste requirements of the proposed development. The road width of Rivett Place at the proposed access is approximately 7.5m and the verge is approximately 5.5m. It is anticipated that this width should allow a waste vehicle entering the development Site to be perpendicular at the block boundary.

Kind regards,

Civil Engineer
Mott MacDonald

Units 11 & 12, First Floor, Block C, Trevor Pearcey House,
28-30 Traeger Court, Bruce ACT 2617 Australia
www.mottmac.com |

T +61 (0)2 6253 1555 | F +61 (0)2 6253 1666 |
E [|](mailto:) [|](mailto:)

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From: Jatheendran, Lingam [<mailto:Lingam.Jatheendran@act.gov.au>]
Sent: 18 July 2013 3:26 PM
To:
Cc: Grdur, Michael; Arul, Adrian; Breen, Mike J
Subject: RE: TaMS Query - Rivett Section 28 Block 13

Hi

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Please note that TAMS has no knowledge of the subject site, it is the responsibility of the consultant to investigate all the issues in consultation with LDA. TAMS will provide comments once a report is produced.

Regards

Lingam Jatheendran
Chief Engineer
Asset Acceptance Section | Operational Support Branch | Directorate Services Division
Territory & Municipal Services Directorate (TAMS) | ACT Government

h: (02) 6207 6592 | f: (02) 6207 7484

"Great Services - Quality Assets - Better Lifestyles"



From:
Sent: Friday, 28 June 2013 12:10 PM
To: Jatheendran, Lingam
Cc: Grdur, Michael; Breen, Mike J
Subject: TaMS Query - Rivett Section 28 Block 13

Hi Lingham,

ott MacDonald is undertaking a Site Investigation Report on behalf the LDA for Rivett Section 28 Block 13. ott MacDonald is not currently aware of any proposed development for the site however it is listed as a Community Facilities Zone under the Territory Plan.

The following is a brief explanation of the current stormwater and access arrangements indicated on the drawings:

- No stormwater tie for Block 13;
- No vehicular access for Block 13;
- A footpath through the site linking a trunk path and play ground to Rivett shops.

Could you please review the sketch attached and provide in-principal approval for:

- Stormwater maintenance hole and service tie;
- The demolition of a footpath through Block 13;
- A new footpath connection to the Rivett Oval car park; and
- Location of proposed vehicular access to the site

Please do not hesitate to contact me should you require anything further.

Kind Regards,

purged draft report received 26.9.13

121

Sale of Professional Services Invoice



FOR THE ATTENTION OF Lucia Carson
LAND DEVELOPMENT AGENCY
GPO BOX 158
CANBERRA ACT 2601

Mott MacDonald
Units 11 & 12, First Floor
Block C, Trevor Pearcey Hse
28-30 Traeger Court
Bruce
ACT 2617
Australia

Port payment for SIR
sent to finance today 29.7.13

T +61 2 6253 1555
F +61 2 6253 1666

Invoice No	IN00007327	ABN No	13134120353	Date	19 July 2013
Customer PO Ref		Customer Contact		Customer ABN No	
Our Reference	311006	Our Contact		Customer No	L500904
				Page	1 of 1

Project Description Rivett - Block 13 Section 28 - Purchase Order No L13399

AUD

TAX INVOICE (Summary Attached)

PROFESSIONAL SERVICE FEE

LAND DEVELOPMENT AGENCY - ACCOUNTS PAYABLE					
Entity	Cost Centre	Account	Int Trading	Project	Agency
150	16714				
Amount			PO No. L13399		
Goods/Services Received:					
Name (print please)			Signature		
Lucia Carson					
Delegated Authorisation (print please)			Signature		
A. CHAPPENI					
Designation			Date		
SOGB			29/7/13		
FINANCIAL USE ONLY					
Description					
Tax Code: 10% AP Free Exempt Outside Scope Capital 10% Capital Free Other - IT, ITCap. NABN					

Net Value

Zero Rated Goods ABN 0.00%
Other Rated Goods 10.00%

GST Amount
Gross Value AUD

"This is a payment claim made under the "Building and Construction Industry (Security of Payment) Act 2009 (ACT)"
Payment terms within 30 days from date of invoice. Payment to be received no later than 18th August 2013

Please quote our Invoice Number as your remitter name and make payment to our bank account -
canberra@mottmac.com.au or mail cheque to Unit 11 & 12, 1st Flr, Blk C, 28-30 Traeger Court, Bruce ACT 2617.

Mott MacDonald Aust Pty Ltd
Registered in Australia ABN 13134120353

19/07/2013
Inv No 7327
311006CC05
MB

TAX INVOICE SUMMARY

Attention: Lucia Carson

Re: Rivett - Block 13 Section 28

To: Professional services in connection with engineering services for the above project in accordance with our proposal dated 5 June 2013. Purchase Order No L13399

Progress Claim No. 2

Item	Fee	Completed	Total Claimed	Previously Claimed	This Claim
Site Investigation Report		80%			
Submission of SI servicing proposals to ACTEW		80%			
Traffic Statement		80%			
Liaison/Meetings LDA		80%			
Admission & disbursements costs		80%			
Management of Subconsultants		80%			
Subconsultants					
Tree Assessment (To be Invoiced by EnviroLinks)		0%			
Environmental assessment Phase 1 (To be invoiced by Colfeys)		0%			
Geotech Desktop Assessment (To be invoiced by Colfeys)		0%			
TOTAL FEE					
TOTAL GST					
TOTAL AMOUNT					

Total Amount (including GST) Due this Invoice

Carson, Lucia

From: Carson, Lucia
Sent: Wednesday, 10 July 2013 11:14 AM
To: Carson, Lucia
Subject: FW: GEOTFYSH09656AA & GEOTFYSH09657AA - Rivett and Gordon Combined Assessments: Schedule to Complete Works

File under Rivett.

From:
Sent: Wednesday, 10 July 2013 9:41 AM
To: Breen, Mike J; Carson, Lucia
Subject: FW: GEOTFYSH09656AA & GEOTFYSH09657AA - Rivett and Gordon Combined Assessments: Schedule to Complete Works

Mike/Lucia,
 I have now received the schedule for completion for the due diligence studies for Gordon and Rivett. Since the contamination studies dictate the programme, the geotechnical components will be completed in tandem with the contamination works.

Associate Geotechnical Engineer

16 Mildura Street,
 Fyshwick ACT 2609

t: +61 2 6260 7288
 f: +61 2 6260 7211
 m:



From:
Sent: Tuesday, 9 July 2013 3:28 PM
To:
Cc: Stephen Buck
Subject: GEOTFYSH09656AA & GEOTFYSH09657AA - Rivett and Gordon Combined Assessments: Schedule to Complete Works

As discussed, please find our proposed schedule for the preparation of the contaminated assessment component of the Gordon and Rivett Combined Assessments in the table below.

Actions	Date Commenced	Date Completed	Comments
Initiate Desk Study Searches and site history review	17/6/13	5/7/13	Complete
Site Walkover	Rivett	5/7/13	
	Gordon	4/7/13	
Soil/surface water sampling	Rivett	5/7/13	
	Gordon	4/7/13	
Laboratory analyses	9/7/13	16/7/13	Underway
Report Preparation	5/7/13	16/7/13	Underway
Report provided	19/7/13	19/7/13	

Regards,

Senior Environmental Consultant

16 Mildura Street,
Fyshwick,
ACT 2602

t: 02 6260 7288
m: 0408 985 346



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CILDISCL0005

✓ 117
Carson, Lucia

From: Grdur, Michael
Sent: Monday, 1 July 2013 10:34 AM
To: Carson, Lucia
Subject: FW: TaMS Query - Rivett Section 28 Block 13
Attachments: TaMS Query - Rivett Section 28 Block 13.pdf

Michael Grdur, Project Manager
Urban Renewal Branch

Phone: 02 6205 3546 | Fax: 02 6207 6110 | Email: Michael.Grdur@act.gov.au
Level 7 TransACT House, 470 Northbourne Avenue, Dickson ACT 2602

From:
Sent: Friday, 28 June 2013 12:10 PM
To: ; Jatheendran, Lingam
Grdur, Michael; Breen, Mike J
Subject: TaMS Query - Rivett Section 28 Block 13

Hi Lingham,

Mott MacDonald is undertaking a Site Investigation Report on behalf the LDA for Rivett Section 28 Block 13. Mott MacDonald is not currently aware of any proposed development for the site however it is listed as a Community Facilities Zone under the Territory Plan.

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- No stormwater tie for Block 13;
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- A footpath through the site linking a trunk path and play ground to Rivett shops.

Could you please review the sketch attached and provide in-principal approval for:

- Stormwater maintenance hole and service tie;
- The demolition of a footpath through Block 13;
- new footpath connection to the Rivett Oval car park; and
- location of proposed vehicular access to the site

Please do not hesitate to contact me should you require anything further.

Kind Regards,

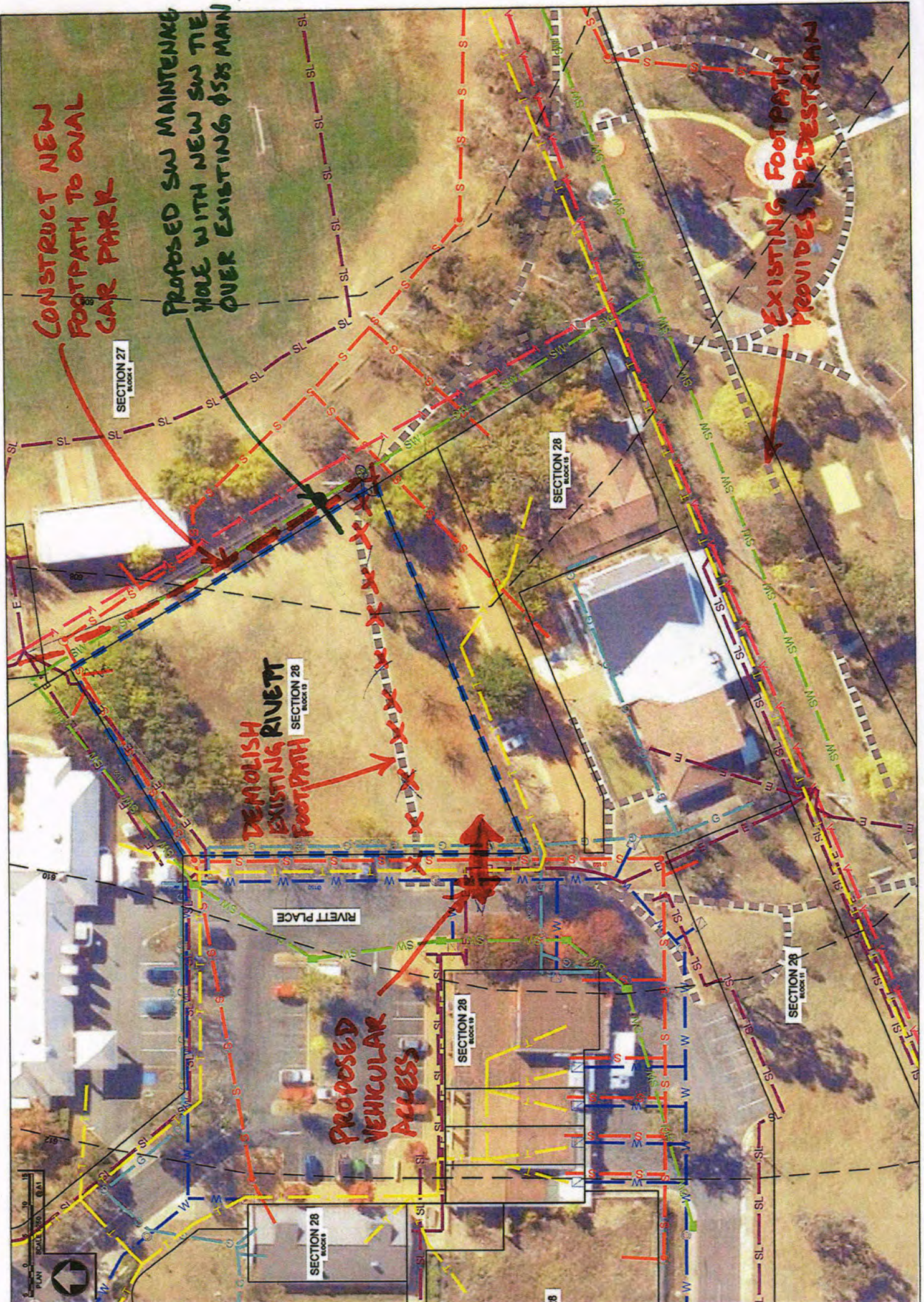
Civil Design Drafter

Mott MacDonald

Units 11 & 12, First Floor, Block C, Trevor Pearcey House,
28-30 Traeger Court, Bruce ACT 2617 Australia
www.mottmac.com

T +61 (0)2 6253 1555 | F +61 (0)2 6253 1666
E Michael.Grdur@act.gov.au

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Sale of Professional Services Invoice



FOR THE ATTENTION OF Lucia Carson
 LAND DEVELOPMENT AGENCY
 GPO BOX 158
 CANBERRA ACT 2601

LDA
 - 2 JUL 2013
 MAILING MAIL

Mott MacDonald
 Units 11 & 12, First Floor
 Block C, Trevor Pearcey Hse
 28-30 Traeger Court
 Bruce
 ACT 2617
 Australia

T +61 2 6253 1555
 F +61 2 6253 1666

Sent to finance for payment 22.7.2013 (Draft report received).

Invoice No	IN00007203	ABN No	13134120353	Date	28 June 2013
Customer PO Ref		Customer Contact		Customer ABN No	
Our Reference	311006	Our Contact	Michael Filardo	Customer No	L500904
				Page	1 of 1

Subject Description Rivett - Block 13 Section 28 - Purchase Order No L13399 AUD

TAX INVOICE (Summary Attached)

PROFESSIONAL SERVICE FEE

LAND DEVELOPMENT AGENCY - ACCOUNTS PAYABLE					
Entity	Cost Centre	Accounts	Int Trading	Project	Agency
150	16714				
Amount			PO No. L13399		
Goods/Services Received					
Name (print please)			Signature		
Lucia Carson			<i>[Signature]</i>		
Payment Approved					
Delegated Name (print please)			Signature		
Carmen Maddy			<i>[Signature]</i>		
Designated			Date		
FINANCE USE ONLY					
Description					
Tax Code: 10% AP Free Exempt Outside Scope Capital 10% Capital Free Other - IT, ITCap. NABN					

Net Value

Zero Rated Goods ABN 0.00%
 Other Rated Goods 10.00%

GST Amount
 Gross Value AUD

"This is a payment claim made under the "Building and Construction Industry (Security of Payment) Act 2009 (ACT)"
 Payment terms within 30 days from date of invoice. Payment to be received no later than 28th July 2013

Please quote our Invoice Number as your remitter name and make payment to our bank account -

canberra@mottmac.com.au or mail cheque to Unit 11 & 12, 1st Flr, Blk C, 28-30 Traeger Court, Bruce Mott MacDonald Aust Pty Ltd
 ACT 2617. Registered in Australia ABN 13134120353

26/06/2013
Inv No 7203
311006CC05
MB

TAX INVOICE SUMMARY

Attention: **Lucia Carson**

Re: **Rivett - Block 13 Section 28**

To: Professional services in connection with engineering services for the above project in accordance with our proposal dated 5 June 2013. **Purchase Order No L13399**

Progress Claim No.

1

Item	Fee	Completed	Total Claimed	Previously Claimed	This Claim
Site Investigation Report		33%			
Submission of SI servicing proposals to ACTEW		0%			
Traffic Statement		0%			
Liaison/Meetings LDA		0%			
Admission & disbursements costs		0%			
Management of Subconsultants		0%			
Subconsultants					
Tree Assessment (EnviroLinks)		0%			
Environmental assessment Phase 1 (Coffeys)		0%			
Geotech Desktop Assessment (Coffeys)		0%			
TOTAL FEE					
TOTAL GST					
TOTAL AMOUNT					

Total Amount (including GST) Due this Invoice



ACT
Government

Land Development Agency
CANBERRA FIRST

ABN: 20 419 925 579

Purchase Order

Send To
MOTT MADONALD AUSTRALIA PTY LTD UNIT 11 & 12 1ST FLOOR, BLOCK C TRAEGER COURT BRUCE, ACT 2617

Deliver To
Level 6 TransACT House 470 Northbourne Avenue Dickson ACT 2602

Invoice To
Level 6 TransACT House 470 Northbourne Avenue Dickson ACT 2602

Order Number: L13399

Please quote this number on all deliveries and invoices.
Please supply the undermentioned goods/services in accordance with the terms and conditions.

Supplier No: 78330	Buyer: K WILSON	Creation Date: 06-JUN-2013
Contact:		Payment Terms: 30 Days
Phone: (02) 62531555		

Notes: Rivett Block 13 Section 28-SIR-Due Diligence	Page: 1 of 1
--	---------------------

Item	Description	Qty	Unit	Unit Price	Unit Total (Ex GST)
1	Rivett Block 13 Section 28-SIR-Due Diligence	0	DOLLAR	1.00	

Karen Wilson
Finance Officer

Person Authorised to Sign

Signature

06-JUN-2013

Date

Total Exclusive of GST:

Total Inclusive of GST, where applicable:

Enquiries to:

Kaz Wilson
Phone: (02) 6205 1168
Email: karen.wilson@act.gov.au

Carson, Lucia

From:
Sent: Friday, 28 June 2013 3:09 PM
To: Carson, Lucia
Cc: Breen, Mike J
Subject: JUNE INVOICE 7203 FOR RIVETT BLOCK 13 SECTION 28
Attachments: 20130628150417119.pdf

Good afternoon Lucia

Please find attached our June invoice for the abovementioned project. Please note original will be sent in the post.

Kind Regards

Accounts/Administration

Mott MacDonald

Units 11 & 12, 1st Flr, Block C, Trevor Pearcey House,
28-30 Traeger Court, Bruce ACT 2617 Australia
www.mottmac.com

T +61 (0)2 6253 1555 | F +61 (0)2 6253 1666
E carson.lucia@mottmac.com

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Sale of Professional Services Invoice



FOR THE ATTENTION OF Lucia Carson
LAND DEVELOPMENT AGENCY
GPO BOX 158
CANBERRA ACT 2601

Mott MacDonald
Units 11 & 12, First Floor
Block C, Trevor Pearcey Hse
28-30 Traeger Court
Bruce
ACT 2617
Australia

T +61 2 6253 1555
F +61 2 6253 1666

Invoice No	IN00007203	ABN No	13134120353	Date	28 June 2013
Customer PO Ref		Customer Contact		Customer ABN No	
Our Reference	311006	Our Contact	Michael Filardo	Customer No	L500904
				Page	1 of 1

Project Description Rivett – Block 13 Section 28 – Purchase Order No L13399 **AUD**
TAX INVOICE (Summary Attached)
PROFESSIONAL SERVICE FEE

Net Value

Zero Rated Goods ABN 0.00%
Other Rated Goods 10.00%

GST Amount Gross Value AUD

"This is a payment claim made under the *Building and Construction Industry (Security of Payment) Act 2009 (ACT)*"
Payment terms within 30 days from date of invoice. Payment to be received no later than 28th July 2013

Please quote our Invoice Number as your remitter name and make payment to our bank account – . Please email remittance to canberra@mottmac.com.au or mail cheque to Unit 11 & 12, 1st Flr, Blk C, 28-30 Traeger Court, Bruce Mott MacDonald Aust Pty Ltd ACT 2617. Registered in Australia ABN 13134120353

Copy given to Josh.

Invoice Received via email
19.6.13 Sent to Finance 110
19.6.13.



MEMORANDUM OF PROFESSIONAL FEES
TAX INVOICE ABN: 64 078 436 478

5/61 Dundas Court PHILLIP ACT
2606
PO Box 88 WARAMANGA ACT
2611
P 02 6281 6066
eld@envirolinks.com.au
www.envirolinks.com.au
ABN 64 078 436 478

Invoice No: 2013 067 Ref No: 1317/1
Date: 19 June 2013

Land Development Agency
Level 7 TransACT House
470 Northbourne Avenue
DICKSON ACT 2602

Attn: Lucia Carson [lucia.carson@act.gov.au]

Purchase Order Number: L13407

RE: Rivett Block 13 Section 28 - Tree Assessment
PROFESSIONAL SERVICES: 12 June 2013 TO 19 June 2013

TASK 1: TREE ASSESSMENT
(Agreed Fee: 0% Previously Claimed: 100% Complete)

SUB-TOTAL
LESS PREVIOUSLY CLAIMED (excluding GST)

SUB-TOTAL
GST Payable this claim

TOTAL DUE THIS CLAIM
Terms 21 days from date on Invoice

Landscape Architect

For cheque payment: Please detach this section and return with cheque to:
- Enviro Links Design Pty Ltd, PO Box 88, WARAMANGA ACT 2611

For EFT payment:

- Remittance advice much appreciated: Please fax (02) 6281 6055 or email details of payment to
jamie@envirolinks.com.au

Invoice No: 2013 067 Amount: incl. GST Date: 19 June 2013

LAND DEVELOPMENT AGENCY - ACCOUNTS PAYABLE					
Entity	Cost Centre	Accounts	Int Tracking	Project	Agency
150	16714				
Amount			PO No. L13407		
Goods/Services Received					
Name (print please)			Signature		
Lucia Carson			<i>[Signature]</i>		
Payment Approved					
Delegated (print please)			Signature		
GARRY TRAVIS			<i>[Signature]</i>		
Designation: PROJECT MANAGER			Date: 19 JUNE 13		
FINANCE USE ONLY					
Description:					
Tax Code: 10% AP Free Exempt Outside Scope Capital 10% Capital Free Other - IT, ITCap NASN					

Carson, Lucia

From: Carson, Lucia
Sent: Wednesday, 19 June 2013 10:52 AM
To: Travis, Garry
Subject: Updates for Kambah Block 1 Section 443, Kambah Block 1 Section 239, Gordon Block 2 Section 517, Rivett Block 13 Section 28
Attachments: FW: 1317 Gordon & Rivett - Tree Assessment ; Letter Authorising Searches.pdf; Tree Assessment Gordon B2 S517.pdf

Garry,

As discussed this morning these are the updates for each of the above sites.

Rivett Block 13 Section 28

108
Geotech & Contamination are been undertaken by Coffey Geotechnics Pty Ltd. I have forwarded purchase order number directly to Chris Corcoran at Coffeys for them to forward invoice directly to LDA.

I received an email requesting us to forward a written authorisation from LDA for them to undertake searches and to review Dangerous Substance records held by the Office fo Regulatory Services. I did so and have attached above for your information. The request for authorisation was for both Rivett Block 13 Section 28 and Gordon Block 2 Section 517.

Tree Assessment has been undertaken by Envirolinks design and once again purchase order has been forwarded directly to Jason Kocmar at Envirolinks Design. The Tree Assessment has been done and forwarded to us. I have saved in the G:/Drive and attached above for your information.

SIR is been undertaken by Mott MacDonald, and the purchase order number has also been forwarded directly to Mike Breen at Mott MacDonald. In a previous e-mail I requested Mike to let me know when we could expect their preliminary report and as yet he has not advised me!

Regards,

Lucia Carson
Project Officer
Site Preparation
Land Development Agency
Economic Development Directorate
Level 7 TransACT House
470 Northbourne Avenue
DICKSON ACT 2602
T: 6207 9604

F: 6207 7324
E: lucia.carson@act.gov.au

LAND DEVELOPMENT AGENCY
Canberra First



ACT
Government
Economic Development

 Land
Development
Agency
CANBERRA FIRST

ABN 204 199 255 79
TransACT House
470 Northbourne Avenue
Dickson ACT 2602
GPO Box 158 Canberra ACT 2601
Phone: (02) 6205 0600
Fax: (02) 6207 5101
Email: lda@act.gov.au
Web: lda.act.gov.au

ORS WorkCover
255 Canberra Avenue
FYSHWICK

Dear Sir / Madam,

Re: Block 2, Section 517, Gordon


Block 13, Section 28, Rivett

This letter is to introduce Coffey environments Australia Pty Ltd (Coffey Environments) as the company contracted to undertake a Phase 1 Preliminary Site Investigation at the site located at Block 2, Section 517, Gordon and Block 13, Section 28, Rivett both in the ACT.

Coffey Environments are authorised to act on behalf of Mott MacDonald, the agents appointed by the Land Development Agency with respect to researching the history of the property and identifying any potential land contamination issues. In particular we provide consent to Coffey to conduct a search of the ORS dangerous goods data base on our behalf.

Please direct all queries relating to this search to our contact on 02 6260 7288 or via email at lda@act.gov.au

Kind Regards,



Lucia Carson

Carson, Lucia

From: Carson, Lucia
Sent: Monday, 17 June 2013 9:14 AM
To: 'Breen, Mike J'
Subject: FW: Letter of Consent - Authority to initiate Preliminary Geotechnical & Contamination Assessments for Gordon Block 2 Section 517 & Rivett Block 13 Section 28
Attachments: 20130617085644644.pdf

Good morning Mike,

Please find attached above the letter authorising you undertake searches and to review Dangerous Substance records held by the Office of Regulatory Services.

If you require further assistance, please do not hesitate to contact me.

Many thanks & regards,

Lucia Carson
Project Officer
Site Preparation
Land Development Agency
Economic Development Directorate
Level 7 TransACT House
470 Northbourne Avenue
DICKSON ACT 2602
T: 6207 9604
F: 6207 7324
E:lucia.carson@act.gov.au

LAND DEVELOPMENT AGENCY
Canberra First



ACT
Government
Economic Development

Land Development Agency
CANBERRA FIRST

ABN 204 199 255 79
TransACT House
470 Northbourne Avenue
Dickson ACT 2602
GPO Box 158 Canberra ACT 2601
Phone: (02) 6205 0600
Fax: (02) 6207 5101
Email: lda@act.gov.au
Web: lda.act.gov.au

ORS WorkCover
255 Canberra Avenue
FYSHWICK

Dear Sir / Madam,

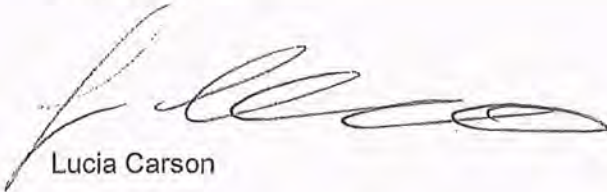
Re: Block 2, Section 517, Gordon
Block 13, Section 28, Rivett

This letter is to introduce Coffey environments Australia Pty Ltd (Coffey Environments) as the company contracted to undertake a Phase 1 Preliminary Site Investigation at the site located at Block 2, Section 517, Gordon and Block 13, Section 28, Rivett both in the ACT.

Coffey Environments are authorised to act on behalf of Mott MacDonald, the agents appointed by the Land Development Agency with respect to researching the history of the property and identifying any potential land contamination issues. In particular we provide consent to Coffey to conduct a search of the ORS dangerous goods data base on our behalf.

Please direct all queries relating to this search to our contact on 02 6260 7288 or via email at

Kind Regards,



Lucia Carson

Carson, Lucia

From: Breen, Mike J
Sent: Friday, 14 June 2013 5:55 PM
To: Carson, Lucia
Subject: Gordon and Rivett Preliminary Geotechnical and Contamination Assessments: Letter of Authority to initiate Searches
Attachments: Letter of Consent - Dangerous Goods Search (2).docx

Lucia

Part of Coffeys environmental scope of works for the ground contamination desk study is to review Dangerous Substance records held by the Office of Regulatory Services.

Typically these records relate to the former or current storage/uses of substances such as fuels and other potentially contaminative materials on a particular property.

For Coffey to undertake these searches, we require written authorisation from the LDA.

To make things efficient Coffey have developed a letter template which is normally forward to clients at the start of the assessment process.

Using the attachment please prepare letter in LDA letterhead and email return signed PDF.

These searches are typically on the critical path and your assistance in this matter is appreciated.

Thanks

Mike Breen

14/06/13

ORS WorkCover
255 Canberra Avenue
FYSHWICK ACT 2609

Dear Sir or Madam,

Re: Block 2, Section 517, Gordon

Block 13, Section 28, Rivett

This letter is to introduce Coffey Environments Australia Pty Ltd (Coffey Environments) as the company contracted to undertake a Phase 1 Preliminary Site Investigation at the site located at Block 2, Section 517, Gordon and Block 13, Section 28, Rivett both in the ACT.

Coffey Environments are authorised to act on behalf of Mott Macdonald, the agents appointed by the Land Development Agency with respect to researching the history of the property and identifying any potential land contamination issues. In particular we provide consent for Coffey to conduct a search of the ORS dangerous goods data base on our behalf.

Please direct all queries relating to this search to our contact of on 02 6260 7288 or via email at

Kind Regards,

[Insert Signature of Authorising Officer]

[Insert Name of Authorising Officer]

Carson, Lucia

From: Carson, Lucia
Sent: Thursday, 13 June 2013 4:22 PM
To: Carson, Lucia
Subject: FW: Gordon Block 2 Section 517 - SIR - & Rivett Block 13 Section 28 - SIR
Attachments: P.O. Form Geotech & Contam. Gordon B2 S517.pdf; Purchase Order for Rivett B13 S 28.pdf; General Terms & Cond. Back of P.O..pdf

Copy for Rivett Block 13 S28

From: Carson, Lucia **On Behalf Of** LDA, Planning & Design
Sent: Thursday, 13 June 2013 4:14 PM
To: 'Chris Corcoran'
Subject: RE: Gordon Block 2 Section 517 - SIR - & Rivett Block 13 Section 28 - SIR

Good afternoon Chris,

Thank you for your proposal for geotech and contamination assessments, for Gordon Block 2 Section 517 and Rivett Block 13 Section 28.

LDA would like to proceed with the work as detailed in your proposal. When invoicing LDA, your invoice must show the LDA Purchase Order Number which, is attached above.

When ready to do so, you can forward your invoice directly to me.

Regards,

Lucia Carson
Project Officer
Site Preparation
Land Development Agency
Economic Development Directorate
Level 7 TransACT House
470 Northbourne Avenue
DICKSON ACT 2602
T: 6207 9604
5207 7324
lucia.carson@act.gov.au

LAND DEVELOPMENT AGENCY
Canberra First

From:
Sent: Wednesday, 12 June 2013 8:05 AM
To: Carson, Lucia
Cc: Breen, Mike J
Subject: FW: Gordon Block 2 Section 517 - SIR - & Rivett Block 13 Section 28 - SIR

Good Morning Lucia,
As requested, I attach a copy of our proposal.
I will discuss the timeline for delivery with our environments team leader and get back to you regarding a completion date.

Associate Geotechnical Engineer

16 Mildura Street,
Fyshwick ACT 2609

t: +61 2 6260 7288
f: +61 2 6260 7211
m:



From: Breen, Mike J
Sent: Tuesday, 11 June 2013 2:26 PM
To: [redacted]
Cc: Jon Thompson
Subject: FW: Gordon Block 2 Section 517 - SIR - & Rivett Block 13 Section 28 - SIR

Chris
Further to below (refer last paragraph) need to provide a firm date for delivery of contamination/geotech reporting.
Please advise
e Breen

From: Breen, Mike J
Sent: 11 June 2013 11:13
To: [redacted]
Cc: [redacted]
Subject: Gordon Block 2 Section 517 - SIR - & Rivett Block 13 Section 28 - SIR

Chaps
As requested below please forward their fee proposals for Gordon Block 2 Section 517 and Rivett Block 13 Section 28 directly to Lucia Carson at LDA on Lucia.Carson@act.gov.au.
Mike Breen

-----Original Message-----
From: Carson, Lucia [<mailto:Lucia.Carson@act.gov.au>]
Sent: 11 June 2013 11:00
To: Breen, Mike J
Subject: FW: P.O. No.: L13401 for Gordon Block 2 Section 517 - SIR - Due Diligence & P. O. No.: L13399 for Rivett Block 13 Section 28 - SIR - Due Diligence

Hi,

Thank you for your proposals for due diligence for Gordon Block 2 Section 517 and Rivett Block 13 Section 28.

We would like you to proceed with the work as contained in your proposal.

Attached above are separate Purchase Order No's, which you are required to show when, sending your invoices for the Site Investigation Reports for Gordon Block 2 Section 517 and Rivett Block 13 Section 28.

Could I also ask that you contact EnviroLinks and Coffeys and request that they forward their fee proposals for Gordon Block 2 Section 517 and Rivett Block 13 Section 28 directly to me. I can then request our finance area to raise purchase order numbers, for work to be undertaken for both sites.

I would also ask that you advise me of dates by which I can expect your draft reports. I understand that geotech and contamination testing and reporting may take a little longer however, as I am required to keep to a deadline I will require a firm date.

Regards,

Lucia Carson
Project Officer
Site Preparation
Land Development Agency
Economic Development Directorate
Level 7 TransACT House
470 Northbourne Avenue
DICKSON ACT 2602
T: 6207 9604
F: 6207 7324
E:lucia.carson@act.gov.au

LAND DEVELOPMENT AGENCY
Canberra First

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CILDISCL0005



ACT
Government

Land
Development
Agency
CANBERRA FIRST

ABN: 20 419 925 579

Purchase Order

Send To
COFFEY GEOTECHNICS PTY LTD PO BOX 5544 WEST CHATSWOOD, NSW 1515

Deliver To
Level 6 TransACT House 470 Northbourne Avenue Dickson ACT 2602

Invoice To
Level 6 TransACT House 470 Northbourne Avenue Dickson ACT 2602

Order Number: L13411

Please quote this number on all deliveries and invoices.
Please supply the undermentioned goods/services in accordance with the terms and conditions.

Supplier No: 27739	Buyer: K WILSON	Creation Date: 13-JUN-2013
Contact: ACCOUNTS		Payment Terms: 14 Days
Phone: 1300300019		

Notes: Rivett B13 S28 Geotech and contamination assessment part of due diligence	Page: 1 of 1
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Item	Description	Qty	Unit	Unit Price	Unit Total (Ex GST)
1	Rivett B13 S28 Geotech and contamination assessment part of due diligence	0	DOLLAR	1.00	

Karen Wilson
Finance Officer

Total Exclusive of GST:

Person Authorised to Sign

Total Inclusive of GST, where applicable:

Enquiries to:

Kaz Wilson
Phone: (02) 6205 1168
Email: karen.wilson@act.gov.au

Signature

13-JUN-2013

Date

ACT GOVERNMENT PURCHASE ORDER
GENERAL TERMS AND CONDITIONS FOR SUPPLY OF GOODS OR SERVICES

INVOICE/QUOTE PRICE	The Price of goods or services includes: 1. All taxes, duties and other imposts for which the Supplier is liable; and 2. All amounts payable for the use of patents, copyright, registered designs, royalties, trade marks and other intellectual property rights.
GOODS	All goods supplied pursuant to this Order shall be new and unused unless otherwise specified.
SERVICES	All services provided pursuant to this Order shall be in accordance with the specification. The Supplier shall indemnify the Territory against all suits, claims and actions arising in any way whether directly or indirectly for the performance of the services.
TERMS OF PAYMENT	Payment will be made only on a correctly rendered invoice. Invoices which fail to correctly quote the Purchase Order number or are otherwise incorrect may be returned unpaid. Payment is due 30 days from receipt of invoice or acceptance of goods, whichever is later. Early settlement will be considered for discounts offered but without prejudice to the standard 30 day payment period.
PACKAGING & MARKING	All goods must be suitably packed at the Supplier's expense to ensure delivery in good order and condition. Each item shall be marked indicating the Territory order number and full delivery point details.
PRICE VARIATIONS	No price variations will be accepted, unless the Supplier has notified the Contact Officer and that officer has accepted the variation.
SPECIFICATION	All goods or services supplied against the Order shall be free from defects in materials and workmanship and at least of merchantable quality and shall conform to any specifications and descriptions set out on the Order.
DELIVERY	All goods or services are to be delivered at the time and place detailed in the Purchase Order. Delivery will be Free Into Store unless otherwise specified.
INSPECTION & ACCEPTANCE	All goods are subject to check and inspection before acceptance, which shall take place at the Territory's delivery point and the Territory may reject any goods supplied incorrectly, damaged in excess of quantities specified on this order, or otherwise found not to be in accordance with these terms and conditions. If the Territory rejects any goods, the Supplier must, at no expense to the Territory, remove the goods and, at the Territory's sole discretion: 1. Replace the rejected goods; 2. Refund any payment for the rejected goods; or 3. Repair the goods to the satisfaction of the Territory.
CANCELLATION	The Territory reserves the right to cancel this Order in whole or in part if delivery is not made by the due delivery date specified in the Order or if the Supplier is in breach of any other term or condition of the Order or if the Supplier becomes insolvent or any formal action is taken against the Supplier in respect of insolvency.
TITLE AND RISK	Risk of loss or damage to goods and title shall pass to the Territory on acceptance by the Territory.
INDEMNITY - INTELLECTUAL PROPERTY RIGHTS	The Supplier indemnifies the Territory against all loss, damage or expense arising in respect of any action or claim for alleged infringement of any patent, copyright, registered design, royalty, trade mark or any other intellectual property rights, by reason of the purchase, possession or use of the goods.
HAZARDOUS MATERIALS	The Supplier shall provide material safety data sheets for any hazardous substances to be supplied against this Purchase Order.
ASSIGNMENT	The Supplier must not, without consent in writing from the Territory, assign the Supplier's rights under the Contract.
APPLICABLE LAW	The Order will be governed by and construed in accordance with the laws in force in the Australian Capital Territory.
ENTIRE AGREEMENT	These terms & conditions constitute the entire agreement of the parties in relation to purchase of the goods or services specified in this Purchase Order and all other agreements warranties and representations are excluded, except for: 1. Any request for tender issued by the Territory in relation to the goods or services; or 2. Any formal contract executed by both parties prior to the date of this Purchase Order.

J 9.7

Carson, Lucia

From: Carson, Lucia
Sent: Thursday, 13 June 2013 12:08 PM
To:
Subject: RE: Gordon Block 2 Section 517 - SIR - & Rivett Block 13 Section 28 - SIR

Morning

Yes thank you. Looking forward to receiving the reports.

Regards

Lucia

From:
Sent: Thursday, 13 June 2013 9:04 AM
Carson, Lucia
Subject: RE: Gordon Block 2 Section 517 - SIR - & Rivett Block 13 Section 28 - SIR

Thanks Lucia.

We will proceed with the TA's.
Should have them complete early next week. Does this fit into your program?

Regards,

BLArch
Landscape Architect
Unit 5, 61 Dundas Court, Phillip ACT 2606
PO Box 68 Waramanga ACT 2611
P 02 6281 6056 | F 02 6281 6055
www.envirolinks.com.au



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CELEBRATING 15 YEARS OF DESIGN SUCCESS 1997-2012

- 2012 AILA ACT Landscape Architecture **Award for Urban Design** [City Edge Urban Renewal]
- 12 AILA ACT Landscape Architecture **Award for Land Management** [North Canberra Urban Waterways Initiative]
- 2 Stormwater NSW **New South Wales Award for Excellence in Infrastructure** [North Canberra Urban Waterways Initiative]

From: Carson, Lucia [<mailto:Lucia.Carson@act.gov.au>]
Sent: Wednesday, 12 June 2013 2:04 PM
To:
Subject: FW: Gordon Block 2 Section 517 - SIR - & Rivett Block 13 Section 28 - SIR

Afternoon

Thank you for your proposals for Tree Assessments for Gordon Block 2 Section 517 and Rivett Block 13 Section 28.

LDA would like to proceed with the work as detailed in your proposal. When invoicing LDA, your invoice must show the LDA Purchase Order Number which, is attached above.

When ready to do so, you can forward your invoices to me directly.

Regards,

Lucia Carson
Project Officer
Site Preparation
Land Development Agency
Economic Development Directorate
Level 7 TransACT House
470 Northbourne Avenue
DICKSON ACT 2602
T: 6207 9604
F: 6207 7324
E:lucia.carson@act.gov.au

LAND DEVELOPMENT AGENCY
Canberra First

From:
Sent: Tuesday, 11 June 2013 11:51 AM
Carson, Lucia
mike.breen@mottmac.com.au
Subject: Gordon Block 2 Section 517 - SIR - & Rivett Block 13 Section 28 - SIR

Lucia,

As requested please find attached fee proposal to undertake the tree assessment for the above mentioned sites.

Regards,

BLArch	Landscape Architect	Unit 5, 61 Dundas Court, Phillip ACT 2606 PO Box 88 Warramanga ACT 2611 P 02 6281 6065 F 02 6281 6055 www.envirolinks.com.au	 <p>envirolinks design LANDSCAPE · WATER · GOLF VEGETATION MANAGEMENT ENVIRONMENT · ECO RESORTS</p>
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✓ 95

Carson, Lucia

From:
Sent: Thursday, 13 June 2013 9:04 AM
To: Carson, Lucia
Subject: RE: Gordon Block 2 Section 517 - SIR - & Rivett Block 13 Section 28 - SIR

Tree Assessment

Thanks Lucia.

We will proceed with the TA's.
Should have them complete early next week. Does this fit into your program?

Regards,

BLArch
Landscape Architect
Unit 5, 61 Dundas Court, Philip ACT 2606
PO Box 88 Warramanga ACT 2611
P 02 6281 0066 | F 02 6281 0055
www.envirolinks.com.au



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- 2012 Stormwater NSW **New South Wales Award for Excellence in Infrastructure** [North Canberra Urban Waterways Initiative]

From: Carson, Lucia [<mailto:Lucia.Carson@act.gov.au>]
Sent: Wednesday, 12 June 2013 2:04 PM
To:
Subject: FW: Gordon Block 2 Section 517 - SIR - & Rivett Block 13 Section 28 - SIR

Afternoon

Thank you for your proposals for Tree Assessments for Gordon Block 2 Section 517 and Rivett Block 13 Section 28.

LDA would like to proceed with the work as detailed in your proposal. When invoicing LDA, your invoice must show the LDA Purchase Order Number which, is attached above.

When ready to do so, you can forward your invoices to me directly.

Regards,

Lucia Carson
Project Officer
Site Preparation
Land Development Agency
Economic Development Directorate
Level 7 TransACT House
470 Northbourne Avenue
DICKSON ACT 2602
T: 6207 9604
F: 6207 7324
E: lucia.carson@act.gov.au

LAND DEVELOPMENT AGENCY
Canberra First

From: _____
Sent: Tuesday, 11 June 2013 11:51 AM
To: Carson, Lucia
Cc: _____
Subject: Gordon Block 2 Section 517 - SIR - & Rivett Block 13 Section 28 - SIR

Lucia,

As requested please find attached fee proposal to undertake the tree assessment for the above mentioned sites.

Regards,

Landscape Architect BLArch	Unit 5, 61 Dundas Court, Phillip ACT 2606 PO Box 88 Waramanga ACT 2611 P 02 6281 6066 F 02 6281 6055 www.envirolinks.com.au	 <p>envirolinks design LANDSCAPE · WATER · GOLF VEGETATION MANAGEMENT ENVIRONMENT · ECO RESORTS</p>
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- 2012 Stormwater NSW **New South Wales Award for Excellence in Infrastructure** [North Canberra Urban Waterways Initiative]

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ACT
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CANBERRA FIRST

93

ABN: 20 419 925 579

Purchase Order

Send To
COFFEY GEOTECHNICS PTY LTD PO BOX 5544 WEST CHATSWOOD, NSW 1515

Deliver To
Level 6 TransACT House 470 Northbourne Avenue Dickson ACT 2602

Invoice To
Level 6 TransACT House 470 Northbourne Avenue Dickson ACT 2602

Order Number: L13411

Please quote this number on all deliveries and invoices.
Please supply the undermentioned goods/services in accordance with the terms and conditions.

Supplier No: 27739	Buyer: K WILSON	Creation Date: 13-JUN-2013
Contact: ACCOUNTS		Payment Terms: 14 Days
Phone: 1300300019		

Notes: Rivett B13 S28 Geotech and contamination assessment part of due diligence	Page: 1 of 1
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Item	Description	Qty	Unit	Unit Price	Unit Total (Ex GST)
1	Rivett B13 S28 Geotech and contamination assessment part of due diligence	0	DOLLAR	1.00	

Karen Wilson
Finance Officer

Total Exclusive of GST:

Total Inclusive of GST, where applicable:

Person Authorised to Sign

Enquiries to:

Kaz Wilson
Phone: (02) 6205 1168
Email: karen.wilson@act.gov.au

Signature

13-JUN-2013

Date

ACT GOVERNMENT PURCHASE ORDER
GENERAL TERMS AND CONDITIONS FOR SUPPLY OF GOODS OR SERVICES

INVOICE/QUOTE PRICE	The Price of goods or services includes: 1. All taxes, duties and other imposts for which the Supplier is liable; and 2. All amounts payable for the use of patents, copyright, registered designs, royalties, trade marks and other intellectual property rights.
GOODS	All goods supplied pursuant to this Order shall be new and unused unless otherwise specified.
SERVICES	All services provided pursuant to this Order shall be in accordance with the specification. The Supplier shall indemnify the Territory against all suits, claims and actions arising in any way whether directly or indirectly for the performance of the services.
TERMS OF PAYMENT	Payment will be made only on a correctly rendered invoice. Invoices which fail to correctly quote the Purchase Order number or are otherwise incorrect may be returned unpaid. Payment is due 30 days from receipt of invoice or acceptance of goods, whichever is later. Early settlement will be considered for discounts offered but without prejudice to the standard 30 day payment period.
PACKAGING & MARKING	All goods must be suitably packed at the Supplier's expense to ensure delivery in good order and condition. Each item shall be marked indicating the Territory order number and full delivery point details.
PRICE VARIATIONS	No price variations will be accepted, unless the Supplier has notified the Contact Officer and that officer has accepted the variation.
SPECIFICATION	All goods or services supplied against the Order shall be free from defects in materials and workmanship and at least of merchantable quality and shall conform to any specifications and descriptions set out on the Order.
DELIVERY	All goods or services are to be delivered at the time and place detailed in the Purchase Order. Delivery will be Free Into Store unless otherwise specified.
INSPECTION & ACCEPTANCE	All goods are subject to check and inspection before acceptance, which shall take place at the Territory's delivery point and the Territory may reject any goods supplied incorrectly, damaged in excess of quantities specified on this order, or otherwise found not to be in accordance with these terms and conditions. If the Territory rejects any goods, the Supplier must, at no expense to the Territory, remove the goods and, at the Territory's sole discretion: 1. Replace the rejected goods; 2. Refund any payment for the rejected goods; or 3. Repair the goods to the satisfaction of the Territory.
CANCELLATION	The Territory reserves the right to cancel this Order in whole or in part if delivery is not made by the due delivery date specified in the Order or if the Supplier is in breach of any other term or condition of the Order or if the Supplier becomes insolvent or any formal action is taken against the Supplier in respect of insolvency.
TITLE AND RISK	Risk of loss or damage to goods and title shall pass to the Territory on acceptance by the Territory.
INDEMNITY - INTELLECTUAL PROPERTY RIGHTS	The Supplier indemnifies the Territory against all loss, damage or expense arising in respect of any action or claim for alleged infringement of any patent, copyright, registered design, royalty, trade mark or any other intellectual property rights, by reason of the purchase, possession or use of the goods.
HAZARDOUS MATERIALS	The Supplier shall provide material safety data sheets for any hazardous substances to be supplied against this Purchase Order.
ASSIGNMENT	The Supplier must not, without consent in writing from the Territory, assign the Supplier's rights under the Contract.
APPLICABLE LAW	The Order will be governed by and construed in accordance with the laws in force in the Australian Capital Territory.
ENTIRE AGREEMENT	These terms & conditions constitute the entire agreement of the parties in relation to purchase of the goods or services specified in this Purchase Order and all other agreements warranties and representations are excluded, except for: 1. Any request for tender issued by the Territory in relation to the goods or services; or 2. Any formal contract executed by both parties prior to the date of this Purchase Order.



92

LAND DEVELOPMENT AGENCY PURCHASE ORDER REQUEST FORM

Document Type	PURCHASE ORDER or AMENDMENT (DELETE ONE)	INSERT ORDER NUMBER	INSERT CONTRACT NUMBER
	SELECTED SUPPLIER		LDA ADDRESS
Name	Coffey	Section	Urban Releases
Address	16 Mildura Street, Fyshwick ACT 2609	Street Address	Level 7 TransACT House 470 Northbourne Ave Dickson ACT 2602
ABN Number	93 056 929 483		
Contact)		
		Postal Address	GPO Box 158 CANBERRA ACT 2601
Procurement Methodology	Single Select		

					ACCOUNTING FLEXFIELD					
LINE	DESCRIPTION	AMOUNT (exc GST)	GST	TOTAL (inc GST)	Entity	Cost Centre	Account	Int-Trading	Project	Agency Code
	Geotech & Contamination Assessment - Part of Due diligence for Rivett B13 S28				150	16714	111537	.		.
	.				150	.	.	.	.	.
	.				150	.	.	.	.	.
	.				150	.	.	.	.	.
	.				150	.	.	.	.	.
ORDER TOTAL:										

Requests/Comments: Requests/Comments

APPROVING OFFICER <small>(signature and name)</small>	Date	REQUESTING OFFICER <small>(signature and name)</small>	Tel
Name: Graham Mundy 	12.06.2013	Name: Lucia Carson 	Phone: 6207 9604

Carson, Lucia

From:
Sent: Wednesday, 12 June 2013 8:05 AM
To: Carson, Lucia
Cc: Breen, Mike J
Subject: FW: Gordon Block 2 Section 517 - SIR - & Rivett Block 13 Section 28 - SIR
Attachments: GF9656AAP-02 Final.pdf

Good Morning Lucia,
As requested, I attach a copy of our proposal.
I will discuss the timeline for delivery with our environments team leader and get back to you regarding a completion date.

Associate Geotechnical Engineer

16 Mildura Street,
Fyshwick ACT 2609

t: +61 2 6260 7288
+61 2 6260 7211



From: Breen, Mike J
Sent: Tuesday, 11 June 2013 2:26 PM
To:
Cc: Jon Thompson
Subject: FW: Gordon Block 2 Section 517 - SIR - & Rivett Block 13 Section 28 - SIR

Further to below (refer last paragraph) need to provide a firm date for delivery of contamination/geotech reporting.
Please advise
Mike Breen

om: Breen, Mike J
Sent: 11 June 2013 11:13
To:
Cc:
Subject: Gordon Block 2 Section 517 - SIR - & Rivett Block 13 Section 28 - SIR

Chaps
As requested below please forward their fee proposals for Gordon Block 2 Section 517 and Rivett Block 13 Section 28 directly to Lucia Carson at LDA on Lucia.Carson@act.gov.au.
Mike Breen

-----Original Message-----

From: Carson, Lucia [<mailto:Lucia.Carson@act.gov.au>]
Sent: 11 June 2013 11:00
To: Breen, Mike J
Subject: FW: P.O. No.: L13401 for Gordon Block 2 Section 517 - SIR - Due Diligence & P. O. No.: L13399 for Rivett Block 13 Section 28 - SIR - Due Diligence

Mike,

Thank you for your proposals for due diligence for Gordon Block 2 Section 517 and Rivett Block 13 Section 28.

We would like you to proceed with the work as contained in your proposal.

Attached above are separate Purchase Order No's, which you are required to show when, sending your invoices for the Site Investigation Reports for Gordon Block 2 Section 517 and Rivett Block 13 Section 28.

Could I also ask that you contact EnviroLinks and Coffeys and request that they forward their fee proposals for Gordon Block 2 Section 517 and Rivett Block 13 Section 28 directly to me. I can then request our finance area to raise purchase order numbers, for work to be undertaken for both sites.

I would also ask that you advise me of dates by which I can expect your draft reports. I understand that geotech and contamination testing and reporting may take a little longer however, as I am required to keep to a deadline I will require a firm date.

Regards,

Lucia Carson
Project Officer
Site Preparation
Land Development Agency
Economic Development Directorate
Level 7 TransACT House
1 Northbourne Avenue
DICKSON ACT 2602
T: 6207 9604
F: 6207 7324
E:lucia.carson@act.gov.au

LAND DEVELOPMENT AGENCY
Canberra First

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CILDISCL0005



Fyshwick
16 Mildura Street
ACT 2609 Australia
t: +61 2 6260 7288
f: +61 2 6260 7211
coffey.com

Mott Macdonald Pty Ltd
Attention: Mr Mike Breen
Units 11 & 12, First Floor
Block C, Trevor Pearcey House
28-30 Traeger Court.
Bruce ACT 2617

30 May 2013

Dear Mike,

**RE: Technical and Fee Proposal for Geotechnical and Contamination Assessment:
Block 2 Section 517 Gordon and Block 13 Section 28 Rivett, ACT**

1 INTRODUCTION

Further to your recent e-mail request, Coffey Geotechnics Pty Ltd (Coffey) is pleased to provide a technical and fee proposal for Geotechnical and Ground Contamination assessment services to support the due diligence assessment of the land comprising Block 2, Section 517 Gordon and Block 13 Section 28 Rivett, ACT.

Based on the site plans provided in your email dated 24 May 2013, Coffey understand the following:

Block 13 Section 28 Rivett, ACT

- The site covers an area of approximately 50m by 75m;
- The site is bounded by Rivett Oval and Club House to the east, residential properties to the south, Rivett Shops and carpark to the west and 1-7 Rivett Place to the north;
- The site is generally covered with grass with some trees along the boundary. A footpath crosses the site towards the southern end;
- The site is undulating, generally rising towards the south.

2 OBJECTIVES

Coffey understands the objective of this assignment is to provide geotechnical and contamination assessment information to permit due diligence to be carried out for each site.

To achieve the objectives of the assignment, the following documents are to be provided for each site:

- Stage 1 Site Investigation Report – summary report describing existing site features and characteristics and a preliminary consideration of likely capacity constraints;

- Geotechnical Investigation Report – report containing results of site testing and geotechnical assessment; and
- Contamination Report - Phase 1 report containing desktop assessment of likely contamination risks. (Some testing for contamination to be undertaken during the geotechnical investigations.) A Phase 2 Report will be carried out under Stage 2 investigations subject to the outcome of Phase 1. The report will contain outcomes of sampling and analysis of identified or likely contamination sites.

3 SCOPE OF WORK

Coffey proposes to undertake the following scope of works:

3.1 Project Planning, Management and Occupational Health & Safety

The project will be planned, scheduled and managed by an experienced Coffey geotechnical engineer/ environmental scientist under the technical direction of a Coffey Principal Scientist/Engineer.

Coffey will prepare a Site Safety Plan (SSP) addressing Coffey's field-related activities. This SSP will be prepared in accordance with the Coffey Health, Safety, Security and Environment (HSSE) management system, and will be made available for review in advance of works commencing on site.

Coffey has made allowances to prepare a brief Sampling Analysis Quality Plan (SAQP), which would outline the rationale and scope of investigation and environmental testing. This document will be forwarded to the ACT EPU for review and approval to facilitate the in-situ beneficial reuse/waste classification assessments.

3.2 Geotechnical Assessment

3.2.1 Desktop Study and Walkover

The proposed scope of work for the geotechnical review of each site comprises:

- Review of published geological maps and other published data covering the study area;
- Review of geotechnical data held by Coffey from investigations on sites adjacent to the study area;
- Site walkover by a geotechnical engineer to assess potential constraints;

3.2.2 Fieldwork and Testing

The proposed field investigation work for each site comprises:

- Excavation of 5 test pits to a maximum depth of 2.75m or refusal using a rubber tired excavator;
- Dynamic Cone Penetrometer Testing adjacent to each test pit.

The fieldwork will be supervised and logged by a Coffey geotechnical engineer who will take soil samples for laboratory testing and visual description. A Coffey environmental scientist will obtain samples for the Phase 1 Contamination Assessment.

The test pits will be reinstatement using the excavated material and compacted using the excavator bucket. Note that the reinstated surface will be slightly mounded to allow for future settlement.

3.2.3 Laboratory Testing

The following laboratory testing for the geotechnical assessment is proposed for each site. Laboratory testing will be carried out at our NATA accredited laboratory in Fyshwick:

- 3 No. Particle Size Distribution tests for granular soils or 3 No. Atterberg limits tests for cohesive soils, and
- 3 No. moisture content determination tests.

3.3 Phase 1 Preliminary Contamination Assessment (with preliminary sampling/testing)

Coffey proposes to undertake the following scope in accordance with Act Government (Nov 2011) *Information Sheet 7 - Guidance for undertaking preliminary contamination investigations for development purposes* to address the relevant project objectives for each site:

- A preliminary desk study to assess site conditions and identify potential areas of environmental concern (AEC) and contaminants of potential concern (COPC), comprising:
 - Review of local published geology, hydrogeology and hydrology;
 - Review of historic aerial photographs held by Surveying and Spatial Data, Environment and Sustainable Development Directorate (ESDD);
 - Contaminated Land Search of records held by the Environment Protection Authority (EPA), ESDD;
 - Review of Office of Regulatory Services records;
 - Bore search of records held by the Environment Protection and Water Regulation, ESDD;
 - Review of historic plans and/or records held by other ACT Government and Commonwealth Government Departments;
 - Review of current and former uses of the site;
 - Discussions with current and past land managers (if practicable), lessees and site users;
- A site visit to visually assess potential sources of contamination, indications of ground disturbance (such as filling activities) and other visual/olfactory indications of potential contamination, observe surrounding land uses, topography, drainage, nearby sensitive environments, to add to potential AECs and COPCs.
- Coffey has also allowed to collect and analyse selected soil samples from some the geotechnical test pits proposed to be excavated. At this stage we have allowed for preliminary analysis of the following for each site:
 - 3 samples for Total Petroleum Hydrocarbons (TPH), Benzene, Toluene, Ethylbenzene, Xylenes (BTEX), Polycyclic Aromatic Hydrocarbons (PAH); Organochlorine pesticides (OCP), Organophosphorus Pesticides (OPP);
 - 5 samples for heavy metals (arsenic, cadmium, chromium, copper, lead, mercury, nickel and zinc) and asbestos.

Coffey will prepare a Preliminary Contamination Investigation report in general accordance with the requirements set out within the Contaminated Sites Environment Protection Policy, Environment Protection Authority (ACT EPA 2009) and Contaminated Sites: Guidelines for Consultants Reporting on Contaminated Sites (NSW OEH, 2011). The report will set out recommendations for further ground investigations, where potentially significant ground contamination issues are identified.

Coffey will liaise with EPA to obtain written endorsement of the Phase 1 study, assuming that the EPA has minor comments only.

3.4 Phase 2 Contamination Assessment: Provisional Scope

Where contamination issues are identified through the initial studies outlined above, Coffey will recommend further ground investigation to assess. To ensure that these investigations are focused on the specific issues identified during the first pass of works, the scope of these investigations (if required) will be confirmed following the completion of the Geotechnical Review and Phase 1 Preliminary Site Investigation.

In consideration of the ground condition information currently available and our knowledge of the area, Coffey assess that uncontrolled fill is a probable contamination issue for both sites. Test pitting is recommended as this enables a better appreciation of the fill materials present at the sites.

Coffey outline below a provisional scope and associated budget for ground investigation, laboratory testing and reporting to enhance our understanding of ground contamination issues at each site:

- Preparation of a Sampling Analysis Quality Plan (SAQP) for review and endorsement by ACT EPU.
- Allow excavation of the following additional test pits at each of the sites to enhance the characterisation of ground contamination conditions and enable the recovery of representative soil samples for chemical testing:
 - Rivett – additional 6 test pits
 - Gordon – additional 10 test pits
- Chemical analysis of soil for Chemicals of Potential Concern identified during Phase 1.
- Laboratory analysis of soil samples for material classification purposes.
- Preliminary assessment of potential beneficial reuse (BRU) or disposal options for waste spoil and virgin excavated natural material (VENM)
- Phase 2 contamination assessment interpretative reporting including preliminary BRU or disposal options for waste spoil and VENM.

Please note that the above scope of works should be considered provisional at this stage and subject to the completion of the initial studies outlined in Sections 3.2 and 3.3.

4 KEY STAFF

Coffey is able to provide a committed project team with relevant experience and capability to deliver all aspects of this commission. The team will be led by [redacted] as Project Principal for Geotechnics and [redacted] as Project Director for Environments, [redacted] as Project Manager, Chris Corcoran as Geotechnical Specialist and [redacted] as the Designated Field Staff. [redacted] will be the main point of contact with [redacted] responsible for co-ordinating all aspects of the commission to ensure successful and timely project delivery.

5 QUALITY CONTROL/ASSURANCE

Works by Coffey will be undertaken in general accordance with our:

- Business Management System (BMS) which is third-party certified to ISO9001:2008; and

- Health, Safety, Security and Environment Management System.

Coffey's products (reports, technical advice, recommendations, etc) undergo review by an internal Coffey Authorised Reviewer prior to release of the product. The review process includes an assessment of the products against the project's objectives and inputs.

6 TIMEFRAME

Coffey are able to commence work on these services within two week from the date of receipt of your acceptance of this proposal. Coffey estimate the Phase 1 Preliminary Contamination Investigation and Geotechnical Review will be delivered in draft format within 3 to 4 weeks depending on response times from consultees.

Programme for the ground investigation works and associated reporting is estimated to be between 7 to 9 weeks depending on scope, traffic management and site access permissions, and sub-contractor availability.

7 ESTIMATE OF FEES

Our proposed fee and costs to undertake the above scope of work are as follows:

Table 1: Proposed Fees and Costs for Phase 1

Activity	Fees & Costs
Project planning, management & OH&S	
Geotechnical Desk Study and Walkover Survey	
a) Block 2 Section 17 Gordon	
b) Block 13 Section 28 Rivett	
Geotechnical Investigation – includes fieldwork, geotechnical laboratory testing and reporting	
a) Block 2 Section 17 Gordon	
b) Block 13 Section 28 Rivett	
Phase 1 Contamination Assessment (based on sampling from test pits excavated as part of the Geotechnical Investigation) – includes testing and reporting	
a) Block 2 Section 17 Gordon	
b) Block 13 Section 28 Rivett	
	Total (ex. GST)
	GST
	Total (incl. GST)

Coffey propose the following provisional cost estimates to undertake the ground investigation works set out within Section 3.4.

Table 2: Provisional Estimate of Costs for Phase 2 Contamination Assessment Works

Item	Provisional Estimate
Ground Investigation & Assessment Services	

Coffey propose to provide a firm, lump sum fee proposal for ground investigation and assessment services (Phase 2) following the completion of the initial Phase 1 Preliminary Contamination Investigation and Geotechnical Assessment.

8 OFFER AND ACCEPTANCE

Coffey offers to undertake the proposed Phase 1 works for lump sum of _____) (excluding GST) in accordance with the Coffey's Consultancy Agreement (version Jan 2012). A copy of these terms is enclosed herein.

Coffey's offer is valid for a period of 30 days from the date of this proposal.

To accept Coffey's offer, please provide written advice to proceed and sign and return the attached Consultancy Agreement.

9 CLOSURE

We trust this meets your immediate requirements. If you do have any further questions, please do not hesitate to contact the undersigned.

For and on behalf of Coffey Geotechnics Pty Ltd

Associate Geotechnical Engineer

Attachment A: Consultancy Agreement (version Jan 2012)

Carson, Lucia

From: Carson, Lucia
Sent: Wednesday, 12 June 2013 2:04 PM
To:
Subject: FW: Gordon Block 2 Section 517 - SIR - & Rivett Block 13 Section 28 - SIR
Attachments: 1317_Rivett 28of 13 & Gordon 2 of 517 fp_11.06.2013.pdf; Purchase Order Tree Assess. Gordon B2 S517.pdf; Purchase Order Tree Assess. Rivett B13 S28.pdf

Afternoon

Thank you for your proposals for **Tree Assessments** for **' and Rivett Block 13 Section 28.**

LDA would like to proceed with the work as detailed in your proposal. When invoicing LDA, your invoice must show the LDA Purchase Order Number which, is attached above.

When ready to do so, you can forward your invoices to me directly.

Regards,

Lucia Carson
Project Officer
Site Preparation
Land Development Agency
Economic Development Directorate
Level 7 TransACT House
470 Northbourne Avenue
DICKSON ACT 2602
T: 6207 9604
F: 6207 7324
E: lucia.carson@act.gov.au

LAND DEVELOPMENT AGENCY
Canberra First

m:
Sent: Tuesday, 11 June 2013 11:51 AM
To: Carson, Lucia
Cc: u
Subject: Gordon Block 2 Section 517 - SIR - & Rivett Block 13 Section 28 - SIR

Lucia,

As requested please find attached fee proposal to undertake the tree assessment for the above mentioned sites.

Regards,

BLArch
E: blarch@envirolinks.com.au

Landscape Architect
Unit 5, 61 Dundas Court, Phillip ACT 2608
PO Box 88 Warramangli ACT 2611
P 02 6281 6066 | F 02 6281 6055
www.envirolinks.com.au



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2012 AILA ACT Landscape Architecture **Award for Land Management** [North Canberra Urban Waterways Initiative]
2012 Stormwater NSW **New South Wales Award for Excellence in Infrastructure** [North Canberra Urban Waterways Initiative]



Rivett Block 13 Section 28 & Gordon Block 2 Section 517

Landscape Management Fee Proposal

ISSUE 1_ 11 June 2013

Client:

Land Development Agency
Level 7 TrasACT House
470 Northbourne Avenue
DICKSON ACT 2602

Attn: Lucia Carson [lucia.carson@act.gov.au]

C/C
Mott Macdonald Hughes Trueman
Unit 11 & 12, First Floor, Block C
Trevor Pearcey House, 28-30 Traeger Court
BRUCE ACT 2617

Attn: Mike Breen



Unit 5, 61 Dundas Court
PHILLIP ACT 2606
POBx 88 Waramanga ACT 2611
P 02 6281 6066
F 02 6281 6055
eld@envirolinks.com.au
www.envirolinks.com.au
ABN 64 078 436 478

CONTENTS

- 1.0 Introduction
- 2.0 Project Scope
- 3.0 Project Tasks & Fee Proposal
- 4.0 Hourly Rates
- 5.0 Who we are
- 6.0 Administration

1.0 INTRODUCTION:

Enviro Links Design (ELD) Landscape Architects / Vegetation Managers are pleased to forward a fee proposal to undertake the Tree Assessment for Rivett Block 13 Section 28 & Gordon Block 2 Section 517

2.0 PROJECT SCOPE OF WORKS

The proposed Scope of work in the Enviro Links Design (ELD) fee proposal comprises:

- Tree Assessment of 15 trees being up to 7 No. individual trees and 1 No. offsite tree group(8 trees) at Gordon Block 2 Section 517
- Tree Assessment of up to 25 No. individual trees at Rivett Block 13 Section 28



Figure 1_ Scope of Tree Assessment Gordon



Figure 2_ Scope of Tree Assessment Rivett

3.0 PROJECT TASKS AND FEE PROPOSAL

TASK 1: Tree Assessment

Preparation of tree assessment plan incorporating relevant information on plan with a schedule to:

- Individually assess the existing trees within the site boundary and trees with trunks +/- 2m from boundary but tree crowns certainly extend over boundary.

Full tree assessment service by the cost effective ELD method used for numerous past DA's / site investigations by ELD suitable to lodge to ESDD, NCA or TaMS TreeScapes Unit as appropriate. Fee proposal based on survey information on tree location by others.

The provided individual tree information as applicable is:

- **identification code** (No.); **trunk circumference**; **height** (metres); **crown spread** (metres) by a ELD;
- **species**; **tree health**; **trunks per tree or copse**;
- any **management action** which may be advisable e.g. pruning, remove deadwood, mistletoe, fungal growth, cavities etc;
- **management / value status** (exceptional, high, medium, poor, low).

SUPPORT REPORT (often incorporated on Plan) Incorporating

- the criteria of **Schedule rankings and other assessment parameters** including relevant notes on each tree or group as observed;
- **up to 6 No. captioned photos** over the two full sites of key groups of trees (multiple trees per photo) or individual trees; and
- an **overall landscape character and tree description brief report** of the sites totalling say ½ page (max) often incorporated onto the plans to support the captioned photos will give a good indication of tree significance. This report shall contain broad references of tree vegetation impact on overall site character, landscape and brief ecological values as applicable.

Fee Proposal [Gordon]

Fee Proposal [Rivett]

EXCLUSIONS

Additional exclusions in the landscape architectural input to those nominated above are outlined below and can all be undertaken by additional negotiation if required:

- Specialist Arborist coring, probing, excavation, dissection or laboratory analysis of any tree.
- More comprehensive assessment elements eg Growth stage, Risk/ S.U.L.E Assessment, Tree by Tree Photographic records)
- Ecological, Heritage, Cultural or similar related assessments.
- Approval process envisaged as reasonably straight forward so the above fee excludes any liaison / meetings allowance with ACTPLA or Urban Treescapes Unit.
- Tree Protection plans monitoring for compliance in the construction phase or related amendments in either design or construction stages.

4.0 HOURLY RATES

Enviro Links Design would be pleased to offer additional services by hourly rates or negotiation if redesign due to significant layout modifications, an expanded extent of services or attendance at additional meetings is requested. Equally fees can be lowered by negotiation if the required extent of works or level of service is reduced.

Hourly rates (2013 add 4% for 2014 input) if applicable are as follows:

Managing Director / Landscape Architect (J.Dawson)

Landscape Architect (J. Kocmar)

Landscape Architect / Environmental Science (J. Norton)

5.0 WHO WE ARE.....ENVIRO LINKS DESIGN

Enviro Links Design is a Canberra based firm established in 1997 to provide a professional, integrated consulting service in the fields of Landscape Architecture, Water Sensitive Urban Design, Environmental Planning, Vegetation Management and Sporting / Leisure Facilities Design.

Enviro Links Design is an experienced yet innovative firm with a contemporary approach to design across the full spectrum of landscape architecture. The Canberra based practice offers the expertise gained from a variety of projects throughout Australia and the Asia-Pacific, from large integrated developments to small sites, and from mainstream landscape services to 'one-off' special projects.

Landscape Architecture is the cornerstone of the practice and the core educational training of our designers. Our experience since 1981 ranges from tropical to alpine; coastal to highland; and urban to bushland environments. Many of these projects have been at diverse major institutional complexes at both the initial establishment phase or later upgrading / refurbishing / enlarging phases.

Water Sensitive Urban Design and other environmental initiatives: Enviro Links Design has considerable capacity in the delivery of innovative Water Sensitive Urban Design initiatives, and will apply specialist Award winning in-house knowledge of sustainable natural systems into site solutions for all projects where feasible.

Vegetation / Environmental Management: Pre-development tree assessments, construction management plans and general Vegetation Management and Planting Plans to guide long term site improvement both on greenfield sites and importantly on existing properties being refurbished.

Environmental Services: Our recognition of the landscape character and values of a site and how to sensitively integrate built and natural elements assists sustainability objectives and successful approvals / outcomes for assessment, planning and design.

Enviro Links Design Awards since 2006:

- 2012 Stormwater NSW **New South Wales Award for Excellence in Infrastructure** for the North Canberra Urban Waterways Initiative undertaken primarily in 2008 – 2012.
- 2012 Australian Institute of Landscape Architects (AILA) ACT Landscape Architecture **Award for Land Management** for the North Canberra Urban Waterways Initiative
- 2012 AILA ACT Landscape Architecture **Award for Urban Design** for the City Edge urban renewal
- 2008 AILA ACT **Award for Land Management** for the Myall Shores Eco-Resort Master Plan, Landscape Design, Review of Environmental Factors (REF), Environmental Management Plan (EMP) and Maintenance Guidelines REF undertaken primarily in 2003 - 2005.
- 2008 AILA ACT **Award for Design in Landscape Architecture** for the University of Canberra Innovations Centre (UCIC) project constructed in 2003.
- 2006 AILA ACT ACTEW **Award for Water Sensitive Urban Design** (Institutional) also for the UCIC project.



6.0 ADMINISTRATION

PRE-QUALIFICATION status of CLA, CLA – D, CEV, CEV-D and CS

Enviro Links Design is Pre-qualified with the ACT Government for the following Consultant services until 13 March 2014 (Certificate No. PQ ACT A 367):

- Landscape Architectural services with superintendence (**CLA**),
- Landscape Architectural design services (**CLA – D**),
- Environmental services with superintendence (**CEV**),
- Environmental design services (**CEV-D**); and
- Study services (**CS**).

INSURANCES:

- Professional Indemnity (Resource Underwriting: \$5m any one claim. \$25m in the aggregate) Policy No. 11NTH0092585965523 – expire 27.7.2013
- Public Liability (AMP for GIO: \$10m) Policy No. AMY0028299 - expires 8.8.2013.
- Workers compensation: G10 Policy No.9 W01796H-expires 8.8.2013

Thank you for the opportunity to contribute to these projects and we look forward to working with you on these projects. Please do not hesitate to contact the undersigned if you require clarification or further assistance.

Yours faithfully



J R Dawson *BLA RLA-AILA MSAGCA MEIANZ*
Managing Director
Enviro Links Design Pty Ltd



ACT
Government

Land
Development
Agency
CANBERRA FIRST

ABN: 20 419 925 579

Purchase Order

Send To
ENVIRO LINKS DESIGN PTY LTD PO BOX 88 WARAMANGA, ACT 2611

Deliver To
Level 6 TransACT House 470 Northbourne Avenue Dickson ACT 2602

Invoice To
Level 6 TransACT House 470 Northbourne Avenue Dickson ACT 2602

Order Number: L13407

Please quote this number on all deliveries and Invoices.
Please supply the undermentioned goods/services in accordance with the terms and conditions.

Supplier No: 30349	Buyer: K WILSON	Creation Date: 12-JUN-2013
Contact:		Payment Terms: 30 Days
Phone: (02) 62816066		

Notes: Rivett Block 13 Section 28-Tree Assessment part of due diligence undertaken by Mott McDonald	Page: 1 of 1
---	--------------

Item	Description	Qty	Unit	Unit Price	Unit Total (Ex GST)
1	Rivett Block 13 Section 28-Tree Assessment part of due diligence undertaken by Mott McDonald	0	DOLLAR	1.00	

Karen Wilson
Finance Officer

Total Exclusive of GST:

Person Authorised to Sign

Total Inclusive of GST, where applicable:

Enquiries to:

Kaz Wilson
Phone: (02) 6205 1168
Email: karen.wilson@act.gov.au

12-JUN-2013

Signature

Date



ACT
Government

Land
Development
Agency
CANBERRA FIRST

86

ABN: 20 419 925 579

Purchase Order

Send To
ENVIRO LINKS DESIGN PTY LTD PO BOX 88 WARAMANGA, ACT 2611

Deliver To
Level 6 TransACT House 470 Northbourne Avenue Dickson ACT 2602

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Phone: (02) 62816066		

Notes: Rivett Block 13 Section 28-Tree Assessment part of due diligence undertaken by Mott McDonald **Page:** 1 of 1

Item	Description	Qty	Unit	Unit Price	Unit Total (Ex GST)
1	Rivett Block 13 Section 28-Tree Assessment part of due diligence undertaken by Mott McDonald	0	DOLLAR	1.00	
<p>Job No 143-2013</p> <p>Project No - LDA-13-143</p>					

Karen Wilson
Finance Officer

Total Exclusive of GST:

Person Authorised to Sign

Total Inclusive of GST, where applicable:

Enquiries to:

Kaz Wilson
Phone: (02) 6205 1168
Email: karen.wilson@act.gov.au


Signature

12-JUN-2013
Date

85

Carson, Lucia

From: Carson, Lucia
Sent: Tuesday, 11 June 2013 11:00 AM
To: 'Breen, Mike J'
Subject: FW: P.O. No.: L13401 for Gordon Block 2 Section 517 - SIR - Due Diligence & P. O. No.: L13399 for Rivett Block 13 Section 28 - SIR - Due Diligence
Attachments: 20130611100438528.pdf

Mike,

Thank you for your proposals for due diligence for Gordon Block 2 Section 517 and Rivett Block 13 Section 28.

We would like you to proceed with the work as contained in your proposal.

Attached above are separate Purchase Order No's, which you are required to show when, sending your invoices for the Site Investigation Reports for Gordon Block 2 Section 517 and Rivett Block 13 Section 28.

Could I also ask that you contact EnviroLinks and Coffeys and request that they forward their fee proposals for Gordon Block 2 Section 517 and Rivett Block 13 Section 28 directly to me. I can then request our finance area to raise purchase order numbers, for work to be undertaken for both sites.

I would also ask that you advise me of dates by which I can expect your draft reports. I understand that geotech and contamination testing and reporting may take a little longer however, as I am required to keep to a deadline I will require a firm date.

Regards,

Lucia Carson
Project Officer
Site Preparation
Land Development Agency
Economic Development Directorate
Level 7 TransACT House
Northbourne Avenue
CANBERRA ACT 2602
T: 6207 9604
F: 6207 7324
E:lucia.carson@act.gov.au

LAND DEVELOPMENT AGENCY
Canberra First

LAND DEVELOPMENT AGENCY PURCHASE ORDER REQUEST FORM

Document Type

PURCHASE ORDER or AMENDMENT (DELETE ONE)

INSERT ORDER NUMBER

INSERT CONTRACT NUMBER

SELECTED SUPPLIER

LDA ADDRESS

Name: Envirolinks Design
 Address: Unit 5, 61 Dundas Court, PHILLIP ACT 2606
 ABN Number: 64 078 436 478
 Contact: 1

Section: Urban Releases
 Street Address: Level 7 TransACT House
 470 Northbourne Ave
 Dickson ACT 2602

Postal Address: GPO Box 158
 CANBERRA ACT 2601

Procurement Methodology: Single Select

ACCOUNTING FLEXFIELD

LINE	DESCRIPTION	AMOUNT (exc GST)	GST	TOTAL (Inc GST)	Entity	Cost Centre	Account	Int Trading	Project	Agency Code
	Rivett Block 13 Section 28 - Tree Assessment - Part of Due Diligence undertaken by Mott McDonald				150	16714	11537			
					150					
					150					
					150					
					150					

ORDER TOTAL:

Requests/Comments: Requests/Comments

APPROVING OFFICER (signature and name)

Name: Hazel Chappell

Date

11.06.2013

REQUESTING OFFICER (signature and name)

Name: Lucia Carson

Tel

Phone: 6207 9604

Project No. LDA-13-143

Carson, Lucia

From: Tuesday, 11 June 2013 11:51 AM
Sent: Carson, Lucia
To:
Cc:
Subject: Gordon Block 2 Section 517 - SIR - & Rivett Block 13 Section 28 - SIR
Attachments: 1317_ Rivett 28of 13 & Gordon 2 of 517 fp_11.06.2013.pdf

Lucia,

As requested please find attached fee proposal to undertake the tree assessment for the above mentioned sites.

Regards,

BLArch
Landscape Architect
Unit 5, 61 Dundas Court, Phillip ACT 2606
PO Box 88 Waramanga ACT 2611
P 02 6281 6066 | F 02 6281 6055
www.envirolinks.com.au



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- 2012 AILA ACT Landscape Architecture **Award for Land Management** [North Canberra Urban Waterways Initiative]
- 2012 Stormwater NSW **New South Wales Award for Excellence in Infrastructure** [North Canberra Urban Waterways Initiative]



Rivett Block 13 Section 28 & Gordon Block 2 Section 517

Landscape Management Fee Proposal

ISSUE 1_ 11 June 2013

Client:

Land Development Agency
Level 7 TrasACT House
470 Northbourne Avenue
DICKSON ACT 2602

Attn: Lucia Carson [lucia.carson@act.gov.au]

C/C
Mott Macdonald Hughes Trueman
Unit 11 & 12, First Floor, Block C
Trevor Pearcey House, 28-30 Traeger Court
BRUCE ACT 2617

Attn: Mike Breen



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eld@envirolinks.com.au
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ABN 64 078 436 478

CONTENTS

- 1.0 Introduction
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- 5.0 Who we are
- 6.0 Administration

1.0 INTRODUCTION:

Enviro Links Design (ELD) Landscape Architects / Vegetation Managers are pleased to forward a fee proposal to undertake the Tree Assessment for Rivett Block 13 Section 28 & Gordon Block 2 Section 517

2.0 PROJECT SCOPE OF WORKS

- The proposed Scope of work in the Enviro Links Design (ELD) fee proposal comprises:
- Tree Assessment of 15 trees being up to 7 No. individual trees and 1 No. offsite tree group(8 trees) at Gordon Block 2 Section 517
 - Tree Assessment of up to 25 No. individual trees at Rivett Block 13 Section 28



Figure 1_ Scope of Tree Assessment Gordon



Figure 2_ Scope of Tree Assessment Rivett

3.0 PROJECT TASKS AND FEE PROPOSAL

TASK 1: Tree Assessment

Preparation of tree assessment plan incorporating relevant information on plan with a schedule to:

- Individually assess the existing trees within the site boundary and trees with trunks +/- 2m from boundary but tree crowns certainly extend over boundary.

Full tree assessment service by the cost effective ELD method used for numerous past DA's / site investigations by ELD suitable to lodge to ESDD, NCA or TaMS TreeScapes Unit as appropriate. Fee proposal based on survey information on tree location by others.

The provided individual tree information as applicable is:

- **identification code** (No.); **trunk circumference**; **height** (metres); **crown spread** (metres) by a ELD;
- **species**; **tree health**; **trunks per tree or copse**;
- any **management action** which may be advisable e.g. pruning, remove deadwood, mistletoe, fungal growth, cavities etc;
- **management / value status** (exceptional, high, medium, poor, low).

SUPPORT REPORT (often incorporated on Plan) Incorporating

- the criteria of **Schedule rankings and other assessment parameters** including relevant notes on each tree or group as observed;
- **up to 6 No. captioned photos** over the two full sites of key groups of trees (multiple trees per photo) or individual trees; and
- an **overall landscape character and tree description brief report** of the sites totalling say ½ page (max) often incorporated onto the plans to support the captioned photos will give a good indication of tree significance. This report shall contain broad references of tree vegetation impact on overall site character, landscape and brief ecological values as applicable.

Fee Proposal [Gordon]

Fee Proposal [Rivett]

EXCLUSIONS

Additional exclusions in the landscape architectural input to those nominated above are outlined below and can all be undertaken by additional negotiation if required:

- Specialist Arborist coring, probing, excavation, dissection or laboratory analysis of any tree.
- More comprehensive assessment elements eg Growth stage, Risk/ S.U.L.E Assessment, Tree by Tree Photographic records)
- Ecological, Heritage, Cultural or similar related assessments.
- Approval process envisaged as reasonably straight forward so the above fee excludes any liaison / meetings allowance with ACTPLA or Urban Treescapes Unit.
- Tree Protection plans monitoring for compliance in the construction phase or related amendments in either design or construction stages.

4.0 HOURLY RATES

Enviro Links Design would be pleased to offer additional services by hourly rates or negotiation if redesign due to significant layout modifications, an expanded extent of services or attendance at additional meetings is requested. Equally fees can be lowered by negotiation if the required extent of works or level of service is reduced.

Hourly rates (2013 add 4% for 2014 input) if applicable are as follows:

Managing Director / Landscape Architect (J.Dawson)
 Landscape Architect (J. Kocmar)
 Landscape Architect / Environmental Science (J. Norton)

5.0 WHO WE ARE.....ENVIRO LINKS DESIGN

Enviro Links Design is a Canberra based firm established in 1997 to provide a professional, integrated consulting service in the fields of Landscape Architecture, Water Sensitive Urban Design, Environmental Planning, Vegetation Management and Sporting / Leisure Facilities Design.

Enviro Links Design is an experienced yet innovative firm with a contemporary approach to design across the full spectrum of landscape architecture. The Canberra based practice offers the expertise gained from a variety of projects throughout Australia and the Asia-Pacific, from large integrated developments to small sites, and from mainstream landscape services to 'one-off' special projects.

Landscape Architecture is the cornerstone of the practice and the core educational training of our designers. Our experience since 1981 ranges from tropical to alpine; coastal to highland; and urban to bushland environments. Many of these projects have been at diverse major institutional complexes at both the initial establishment phase or later upgrading / refurbishing / enlarging phases.

Water Sensitive Urban Design and other environmental initiatives: Enviro Links Design has considerable capacity in the delivery of innovative Water Sensitive Urban Design initiatives, and will apply specialist Award winning in-house knowledge of sustainable natural systems into site solutions for all projects where feasible.

Vegetation / Environmental Management: Pre-development tree assessments, construction management plans and general Vegetation Management and Planting Plans to guide long term site improvement both on greenfield sites and importantly on existing properties being refurbished.

Environmental Services: Our recognition of the landscape character and values of a site and how to sensitively integrate built and natural elements assists sustainability objectives and successful approvals / outcomes for assessment, planning and design.

Enviro Links Design Awards since 2006:

- 2012 Stormwater NSW **New South Wales Award for Excellence in Infrastructure** for the North Canberra Urban Waterways Initiative undertaken primarily in 2008 – 2012.
- 2012 Australian Institute of Landscape Architects (AILA) ACT Landscape Architecture **Award for Land Management** for the North Canberra Urban Waterways Initiative
- 2012 AILA ACT Landscape Architecture **Award for Urban Design** for the City Edge urban renewal
- 2008 AILA ACT **Award for Land Management** for the Myall Shores Eco-Resort Master Plan, Landscape Design, Review of Environmental Factors (REF), Environmental Management Plan (EMP) and Maintenance Guidelines REF undertaken primarily in 2003 - 2005.
- 2008 AILA ACT **Award for Design in Landscape Architecture** for the University of Canberra Innovations Centre (UCIC) project constructed in 2003.
- 2006 AILA ACT ACTEW **Award for Water Sensitive Urban Design** (Institutional) also for the UCIC project.





6.0 ADMINISTRATION

PRE-QUALIFICATION status of CLA, CLA – D, CEV, CEV-D and CS

Enviro Links Design is Pre-qualified with the ACT Government for the following Consultant services until 13 March 2014 (Certificate No. PQ ACT A 367):

- Landscape Architectural services with superintendence (**CLA**),
- Landscape Architectural design services (**CLA – D**),
- Environmental services with superintendence (**CEV**),
- Environmental design services (**CEV-D**); and
- Study services (**CS**).

INSURANCES:

- Professional Indemnity (Resource Underwriting: \$5m any one claim. \$25m in the aggregate) Policy No. 11NTH0092585965523 – expire 27.7.2013
- Public Liability (AMP for GIO: \$10m) Policy No. AMY0028299 - expires 8.8.2013.
- Workers compensation: G10 Policy No.9 W01796H-expires 8.8.2013

Thank you for the opportunity to contribute to these projects and we look forward to working with you on these projects. Please do not hesitate to contact the undersigned if you require clarification or further assistance.

Yours faithfully

J R Dawson *BLA RLA-AILA MSAGCA MEIANZ*
Managing Director
Enviro Links Design Pty Ltd



ACT
Government

Land
Development
Agency
CANBERRA FIRST

76

Purchase Order

ABN: 20 419 925 579

Send To
MOTT MADONALD AUSTRALIA PTY LTD UNIT 11 & 12 1ST FLOOR, BLOCK C TRAEGER COURT BRUCE, ACT 2617

Deliver To
Level 6 TransACT House 470 Northbourne Avenue Dickson ACT 2602

Invoice To
Level 6 TransACT House 470 Northbourne Avenue Dickson ACT 2602

Order Number: L13399

Please quote this number on all deliveries and invoices.
Please supply the undermentioned goods/services in accordance with the terms and conditions.

Supplier No: 78330	Buyer: K WILSON	Creation Date: 06-JUN-2013
Contact:		Payment Terms: 30 Days
Phone: (02) 62531555		

Notes: Rivett Block 13 Section 28-SIR-Due Diligence	Page: 1 of 1
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Item	Description	Qty	Unit	Unit Price	Unit Total (Ex GST)
1	Rivett Block 13 Section 28-SIR-Due Diligence	0	DOLLAR	1.00	

Karen Wilson
Finance Officer

Person Authorised to Sign

Signature

06-JUN-2013

Date

Total Exclusive of GST:

Total Inclusive of GST, where applicable:

Enquiries to:

Kaz Wilson
Phone: (02) 6205 1168
Email: karen.wilson@act.gov.au

**ACT GOVERNMENT PURCHASE ORDER
GENERAL TERMS AND CONDITIONS FOR SUPPLY OF GOODS OR SERVICES**

INVOICE/QUOTE PRICE	The Price of goods or services includes: 1. All taxes, duties and other imposts for which the Supplier is liable; and 2. All amounts payable for the use of patents, copyright, registered designs, royalties, trade marks and other intellectual property rights.
GOODS	All goods supplied pursuant to this Order shall be new and unused unless otherwise specified.
SERVICES	All services provided pursuant to this Order shall be in accordance with the specification. The Supplier shall indemnify the Territory against all suits, claims and actions arising in any way whether directly or indirectly for the performance of the services.
TERMS OF PAYMENT	Payment will be made only on a correctly rendered invoice. Invoices which fail to correctly quote the Purchase Order number or are otherwise incorrect may be returned unpaid. Payment is due 30 days from receipt of invoice or acceptance of goods, whichever is later. Early settlement will be considered for discounts offered but without prejudice to the standard 30 day payment period.
PACKAGING & MARKING	All goods must be suitably packed at the Supplier's expense to ensure delivery in good order and condition. Each item shall be marked indicating the Territory order number and full delivery point details.
PRICE VARIATIONS	No price variations will be accepted, unless the Supplier has notified the Contact Officer and that office has accepted the variation.
SPECIFICATION	All goods or services supplied against the Order shall be free from defects in materials and workmanship and at least of merchantable quality and shall conform to any specifications and descriptions set out on the Order.
DELIVERY	All goods or services are to be delivered at the time and place detailed in the Purchase Order. Delivery will be Free Into Store unless otherwise specified.
INSPECTION & ACCEPTANCE	All goods are subject to check and inspection before acceptance, which shall take place at the Territory's delivery point and the Territory may reject any goods supplied incorrectly, damaged in excess of quantities specified on this order, or otherwise found not to be in accordance with these terms and conditions. If the Territory rejects any goods, the Supplier must, at no expense to the Territory, remove the goods and, at the Territory's sole discretion: 1. Replace the rejected goods; 2. Refund any payment for the rejected goods; or 3. Repair the goods to the satisfaction of the Territory.
CANCELLATION	The Territory reserves the right to cancel this Order in whole or in part if delivery is not made by the due delivery date specified in the Order or if the Supplier is in breach of any other term or condition of the Order or if the Supplier becomes insolvent or any formal action is taken against the Supplier in respect of insolvency.
TITLE AND RISK	Risk of loss or damage to goods and title shall pass to the Territory on acceptance by the Territory.
INDEMNITY - INTELLECTUAL PROPERTY RIGHTS	The Supplier indemnifies the Territory against all loss, damage or expense arising in respect of any action or claim for alleged infringement of any patent, copyright, registered design, royalty, trade mark or any other intellectual property rights, by reason of the purchase, possession or use of the goods.
HAZARDOUS MATERIALS	The Supplier shall provide material safety data sheets for any hazardous substances to be supplied against this Purchase Order.
ASSIGNMENT	The Supplier must not, without consent in writing from the Territory, assign the Supplier's rights under the Contract.
APPLICABLE LAW	The Order will be governed by and construed in accordance with the laws in force in the Australian Capital Territory.
ENTIRE AGREEMENT	These terms & conditions constitute the entire agreement of the parties in relation to purchase of the goods or services specified in this Purchase Order and all other agreements warranties and representations are excluded, except for: 1. Any request for tender issued by the Territory in relation to the goods or services; or 2. Any formal contract executed by both parties prior to the date of this Purchase Order.



Mott MacDonald

ABN: 13134120353

CC: 16714

311006
5 June 2013

Land Development Agency
Level 6, TransACT House,
470 Northbourne Avenue,
DICKSON, ACT 2602

Attention: Lucia Carson

Dear Sir,

SITE INVESTIGATIONS – VARIOUS SITES - RIVETT BLOCK 13 SECTION 28 & GORDON BLOCK 2 SECTION 517

We are pleased to submit our proposal and plan for the provision of civil engineering services for the above project.

BASIS OF PROPOSAL

Our proposal and fee is based upon the following:

- LDA invitation email dated 23/5/13.
- Subsequent LDA email of 24/5/13

PROJECT OBJECTIVE

To determine the suitability of the blocks for development, to determine any constraints to development and the approximate cost of servicing the site.

SCOPE OF WORK

Scope of Civil Services Included	Civil Services Not Included
<p>The scope of work will be limited to the following:</p> <ul style="list-style-type: none"> • Current site servicing • Servicing works required • Submission to Actew Water to obtain in principle approval for water and sewer connections • Easement requirements • Vehicular access • Verge works required • Identification of overland flow corridors & potential flood issues • Tree Assessment • Environmental Assessment (Phase 1) • Geotech Investigation • Traffic Statement • Constraints to the development of the site • Cost Estimates 	<p>The following services are not contained within the scope of work:</p> <ul style="list-style-type: none"> • Flood analysis • Traffic modelling • Traffic counts • Parking assessment • Assessment noise issues • Heritage assessment • Ecological assessment • CCTV services • Site survey including tree dimensions • TAMS approval to driveway locations • Fire safety • Environmental clearances • Aborist tree inspections • Approvals for tree removals

T: 6253-1555 F: 6253-1666





PROJECT INPUTS

Inputs to be provided by others include

- DBYD services information to be sourced by Mott MacDonald

DELIVERABLES – PROJECT OUTPUTS

The output from this investigation will include a report and attached site plan indicating all existing services and proposed hydraulic services.

TIMING/PROGRAM

Completed draft report to be available six weeks from the date of your approval and advice to proceed. Within this timeframe the Phase 1 Preliminary Contamination Assessment and Geotechnical Desktop Review will be completed. However, the completion of the geotech and contamination testing and reporting is not likely to be completed until 9 weeks from the date of advice to proceed. The timing for this project may be delayed depending on the response time of service authorities in supplying network service plans, weather and plant availability for on site investigations.

FEE

The lump sum fee for the scope of work described above is as follows:

SERVICE DESCRIPTION	13/28 RIVETT
Site Investigation Report	
Submission of SI servicing proposals to ACTEW	
Traffic Statement	
Liaison/Meetings LDA	
Administration & disbursements costs	
Management of Subconsultants	
Subconsultants	
Tree Assessment (EnviroLinks)	
Environmental Assessment Phase 1 (Coffeys)	
Geotech Desktop Assessment (Coffeys)	
TOTAL FEE (not including GST)	
GST	
TOTAL AMOUNT	

The fee is based on the following assumptions :

- The above fee is not inclusive of any authority fees and charges costs that may be incurred in obtaining service information, any such costs will be billed as an extra.
- If during the course of the project the scope of works needs to be increased to properly investigate the site eg because of a significant constraint to development that requires further investigation, our fees will be subject to appropriate increase. Any fee variation of this type will be forwarded to your office for approval prior to proceeding.



- If during the course of the investigation it is found that additional subconsultants are required for the project a fee for management of the sub consultants will be required to cover briefing, liaison, supplying base plans and existing services information, coordination and review of their output.
- If additional work beyond the SI submission is required in response agency comments on the draft prescribed conditions then this will be charged on a time basis.
- At this stage it is assumed that there are no services located within the sites that may cause a constraint to development. If services are found during the investigation such that additional work is required to liaise with service authorities, attend site with service authorities to locate services then this will be charged on a time basis.

TRAFFIC STATEMENT

The scope of work included in the preparation of the traffic statement will be as follows :

- Review all available traffic reports and data
- Observations of existing traffic conditions during peak periods
- Determine traffic implications of development on surrounding roads including qualitative assessment of the performance of existing intersections.
- Consider options available for site access arrangements and determine the most suitable access point for development
- Commentary on related traffic issues – pedestrians and public transport

The following are not contained within the scope of work:

- Quantitative assessment of the adjacent roads and intersections.
- Computer simulated traffic modelling of existing or proposed intersections and road network
- Manual or automated traffic volume counts on roads, accesses or intersections.

We trust that you will find our proposal acceptable and we look forward to working with you on this project. Please do not hesitate to contact the undersigned if you require clarification or further assistance.

Yours faithfully

Mike Breen
Technical Director
Mott MacDonald

LAND DEVELOPMENT AGENCY PURCHASE ORDER REQUEST FORM

Document Type	PURCHASE ORDER or AMENDMENT (DELETE ONE)	INSERT ORDER NUMBER	INSERT CONTRACT NUMBER
	SELECTED SUPPLIER		LDA ADDRESS
Name	Insert Name: Mott McDonald	Section	Urban Releases
Address	Insert Address: Units 11 & 12, First Floor, Block C, Trevor Pearcey House, 28-30 Traeger Court, Bruce ACT 2617	Street Address	Level 7 TransACT House 470 Northbourne Ave Dickson ACT 2602
ABN Number	Insert ABN: 13134120353		
Contact	Insert Contact Name: Mike Breen		
		Postal Address	GPO Box 158 CANBERRA ACT 2601
Procurement Methodology	Single Select		

Job No: LDA B4-2013

					ACCOUNTING FLEXFIELD					
LINE	DESCRIPTION	AMOUNT (exc GST)	GST	TOTAL (inc GST)	Entity	Cost Centre	Account	Int Trading	Project	Agency Code
	Rivett Block 13 Section 28 - SIR - Due Diligence				150	16714	111537	.	.	.
	.				150	.	.	.	.	.
	.				150	.	.	.	.	.
	.				150	.	.	.	.	.
	.				150	.	.	.	.	.
ORDER TOTAL:										

Requests/Comments: Requests/Comments

APPROVING OFFICER (signature and name)	Date	REQUESTING OFFICER (signature and name)	Tel
 Name: Hazel Chappell	05.06.2013	 Name: Lucia Carson	6207 9604

172