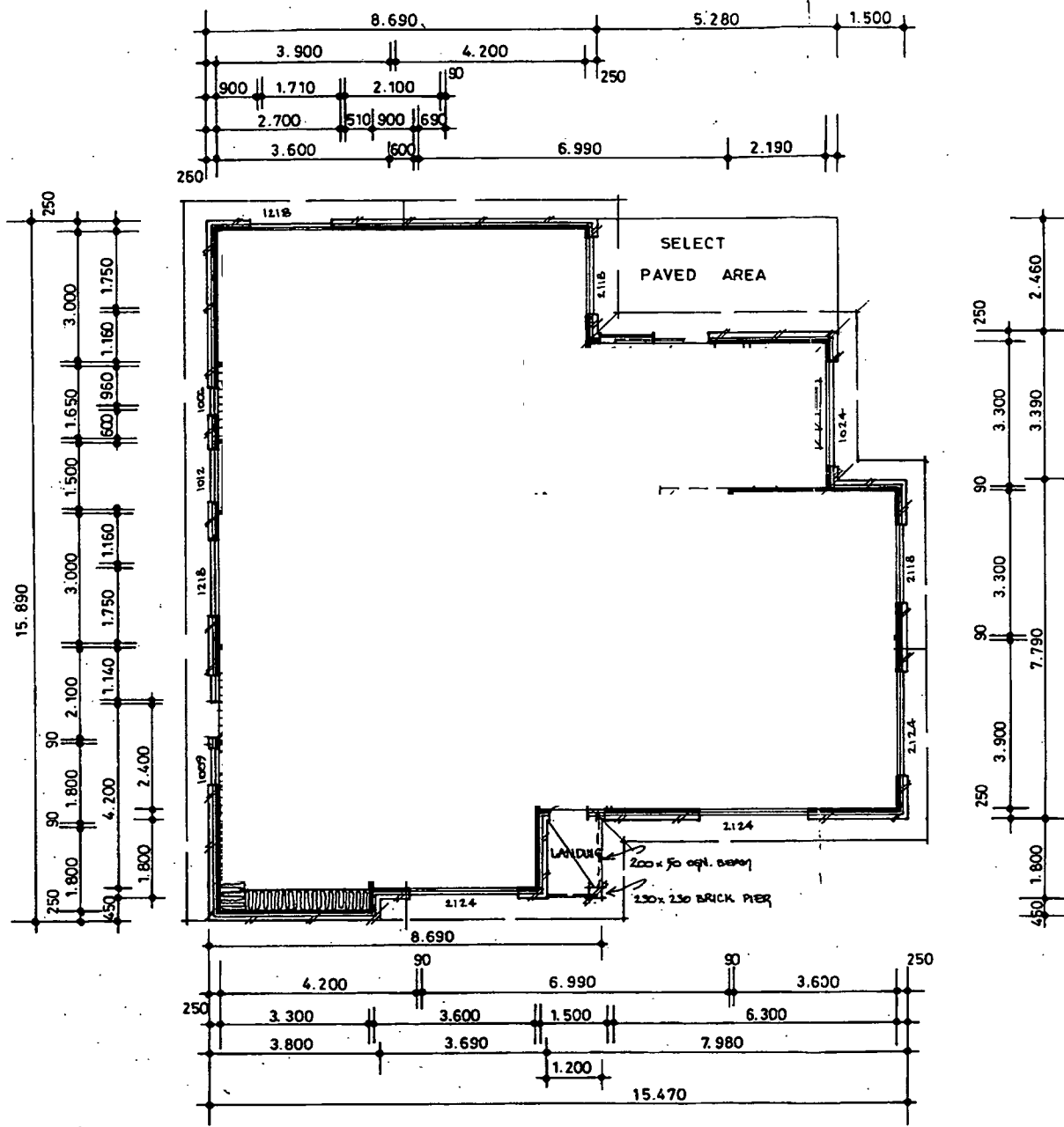


1181
P/A 10/8



ACT BORDER CONTROL
24 AUG/1990
Lodge
Sent
☐ TPA
☐ Don Works
☒ WATER SEW

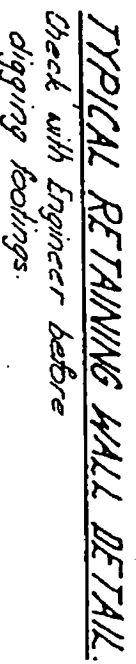
CANBERRA SEWERAGE AND WATER SUPPLY REGULATIONS
THIS PLAN INCLUDES WORK SUBJECT TO THE REGULATIONS WHICH MUST BE CARRIED OUT BY A LICENSED PLUMBER/DRAINER.

FLOOR PLAN

FLOOR AREA = 204.4m²

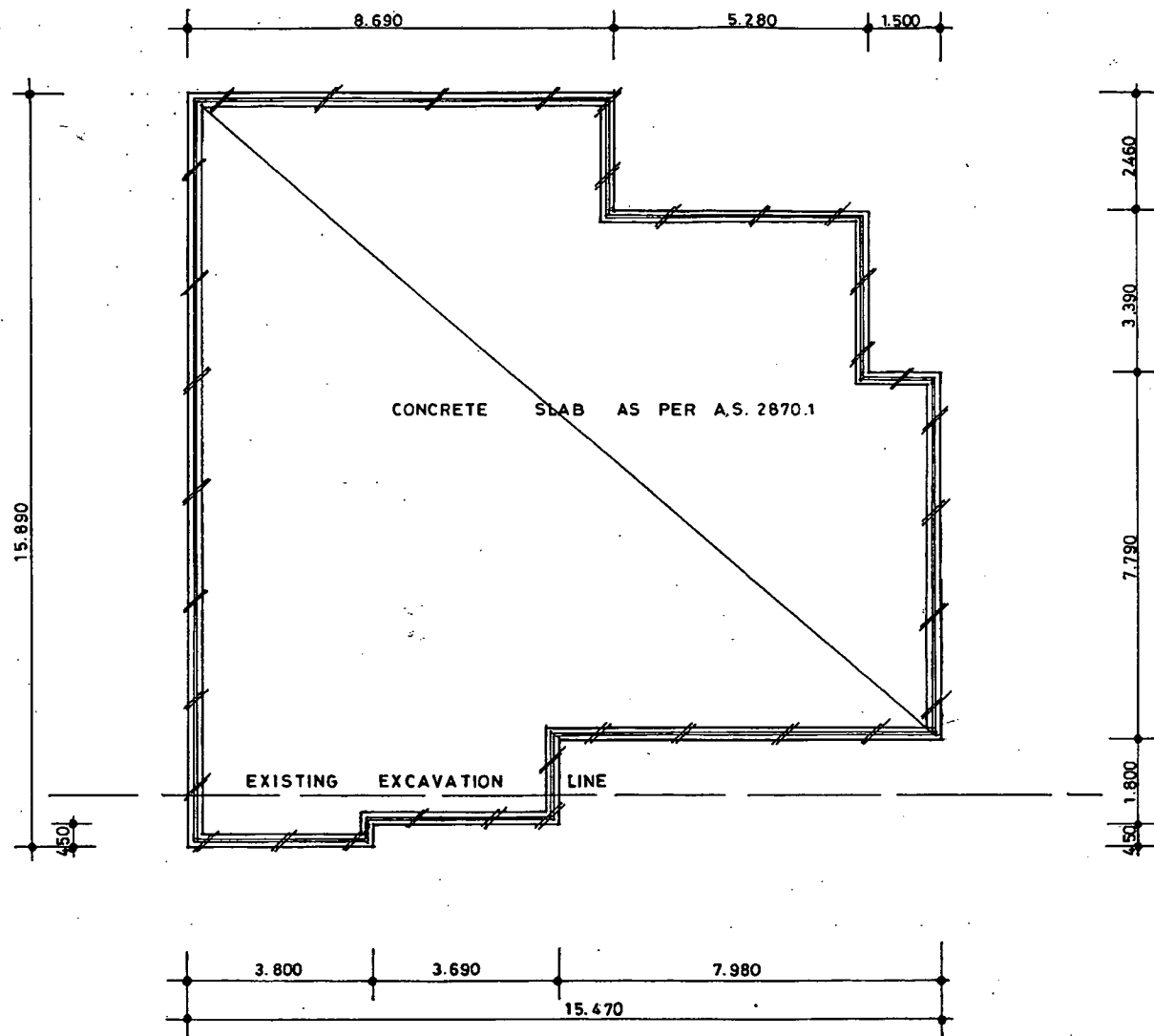
project DUAL OCCUPANCY - FLOOR PLAN		 INHOME CONSULTANCY Home Plans Designed & Drawn 2961544 CALL US OR VISIT OUR WEBSITE FOR COMPLETE DOMESTIC PLANNING SERVICES
job address BLOCK 21, SECTION 84, O'CONNOR		
sheet 1 of 4	scale 1:100	date Aug. 90

APPROVED
3 SEP 1990
LEASE ADMIN



See Architectural drawings for location and extent of retaining wall.
**ALTERNATIVE RETAINING WALLS ON
BLOCK 21. SECTION 84. O'CONNOR. A.C.T**

Client -	K.S. SEULTE and ASSOCIATES Pty. Ltd. Consulting Civil & Structural Engineers, Suite 15, 14 Lansdowne St. Bradston, A.C.T. GPO. Box 1664, Canberra. City. 2601.
DATE	August 1990
SCALE	1:20
CURTAIN	1
DRAWING NO.	7327-87-1



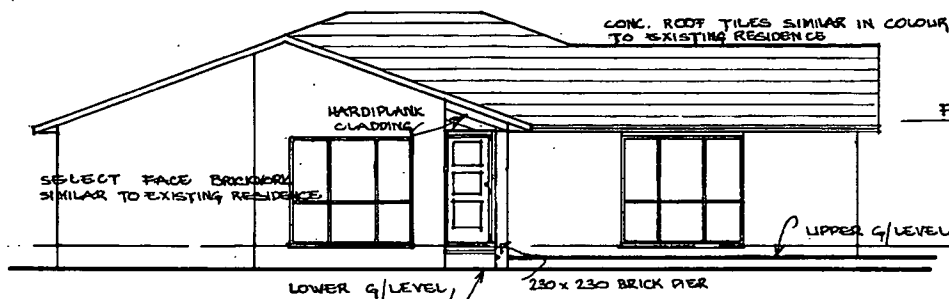
FOUNDATION LAYOUT

APPROVED
3 SEP 1990
LEASE ADMIN

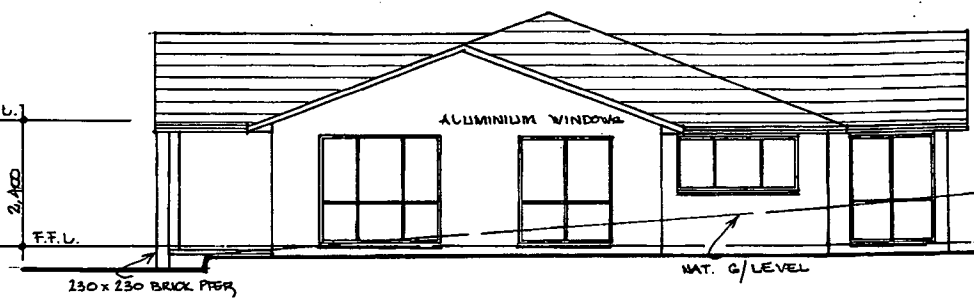
project FOUNDATION LAYOUT		
job address BLOCK 21, SECTION 84, O'CONNOR		
sheet 2 of 4	scale 1:100	date AUG. 90



INHOME
CONSULTANCY
- Estate Plans Designed & Drawn -
2931544
MEMBER OF THE GROUP OF COMPANIES OF THE INHOME GROUP

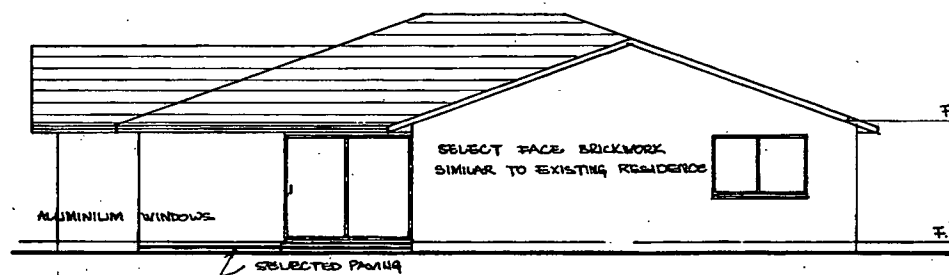


FRONT ELEVATION

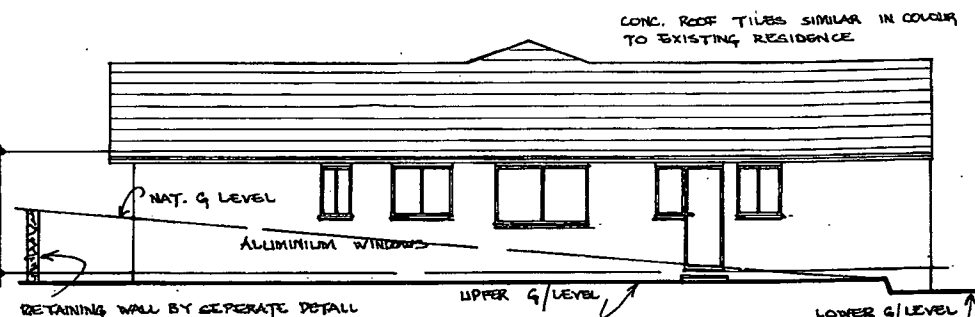


NORTH ELEVATION

APPROVED
3 SEP 1990
LEASE ADMIN

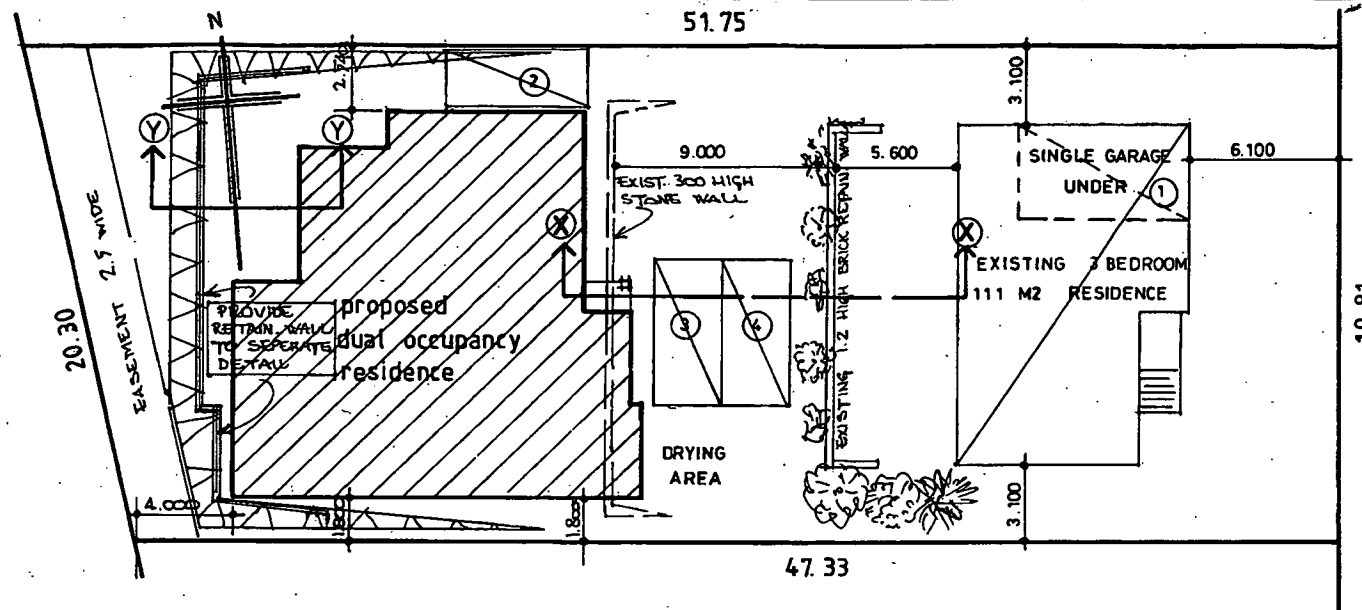


REAR ELEVATION



SOUTH ELEVATION

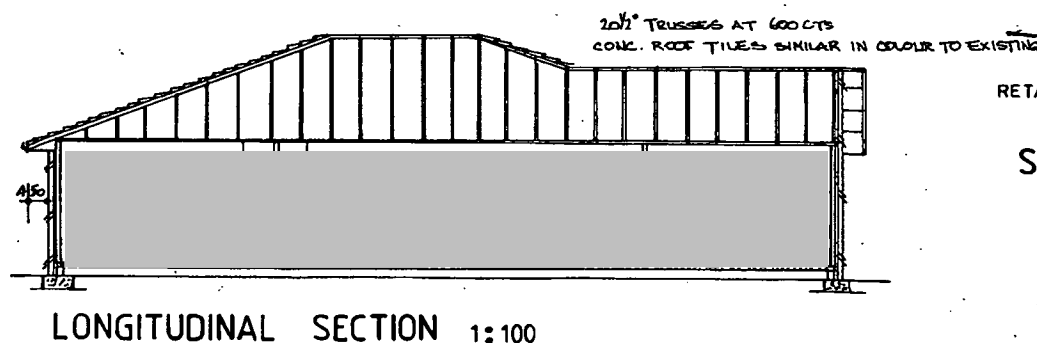
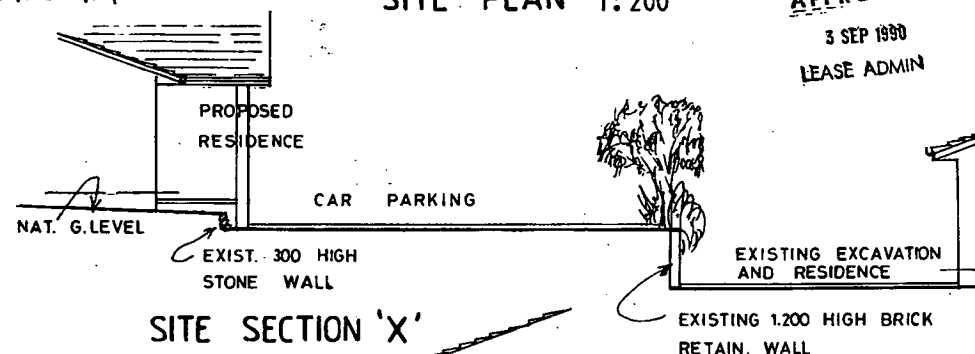
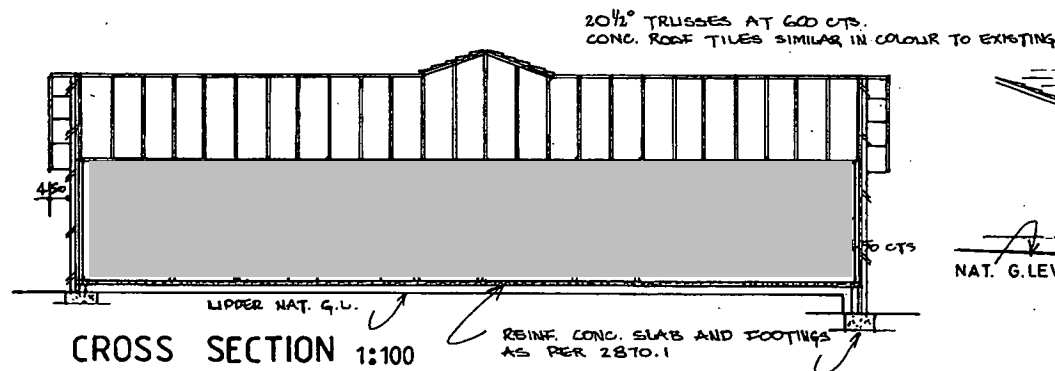
project DUAL OCCUPANCY ELEVATIONS			 INHOMES CONSULTANCY Home Prices Designed & Drawn 2931544 GROUP NO 30 BRISTOL ST. WARRINGTON WA9 3PS 0902055 0902055 0902055 0902055
job address BLOCK 21, SECTION 84; O'CONNOR			
sheet 3 of 4	scale 1: 100	date Aug. 90	



SITE AREA = 981.5 m²
 PLOT RATIO .34
 4 CARPARKS SHOWN

SITE PLAN 1:200

APPROVED
 3 SEP 1990
 LEASE ADMIN



SITE SECTION 'Y'

SITE SECTION 'Y'

SECTIONS & SITE PLAN

job address
 BLOCK 21, SECTION 84,
 O'CONNOR

sheet 4 of 4

scale
 as shown

date
 Aug. 90

INHOME
CONSULTANCY
 Home Plans Designed & Drawn
2961544
DESIGN BY AN ARCHITECT AT VICTORIA ROAD
 CONSULTANTS ARCHITECTS & ENGINEERS

APPROVED IN RESPECT OF NOMINATED
AMENDMENTS No's - / - ONLY, ANY OTHER
VARIATIONS TO THE ORIGINALLY APPROVED
PLAN ARE NOT APPROVED.

THIS APPROVAL DOES NOT SUPERSEDE THE
REQUIREMENTS OF THE BUILDING CODE OF
AUSTRALIA

BUILDING WORK SHALL BE CONSTRUCTED IN
ACCORDANCE WITH THE APPROVED PLANS THE
BUILDING-MANUAL ACT, THE NOTIFICATIONS MADE
ON THE PLANS AND ANY MATTERS SPECIFIED
ON THE BUILDING PERMIT. THE APPROVAL OF
PLANS OR THE GRANT OF A BUILDING PERMIT
DOES NOT AFFECT THE OPERATION OF ANY
OTHER LAW IN THE TERRITORY, NOR DOES IT
AUTHORISE THE USE OF THE LAND CONTRARY
TO A PROVISION, COVENANT OR CONDITION
OF LEASE.

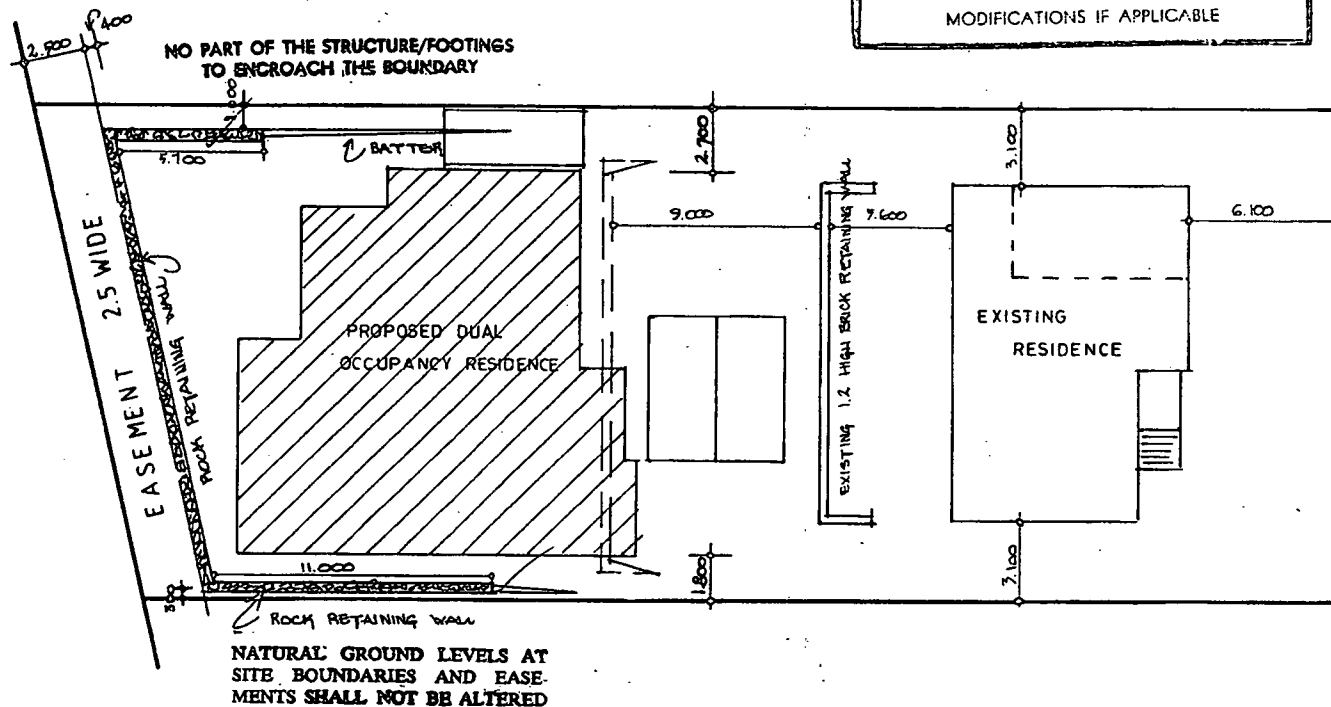
MODIFICATIONS IF APPLICABLE

PLANS/FILE No. 1151/D

Received Building Section 4

21 NOV 1990

ACT Administration



AMENDED SITE PLAN SHOWING REVISED EXCAVATION
AND ROCK RETAINING WALL LOCATION

SCALE 1:200

AMENDED PLAN

Project
AMENDED EXCAVATION PLAN

Job
BLOCK 21, SECTION 84,
O'CONNOR

Sheet 1 of 1

Scale 1:200

Date NOV. 90

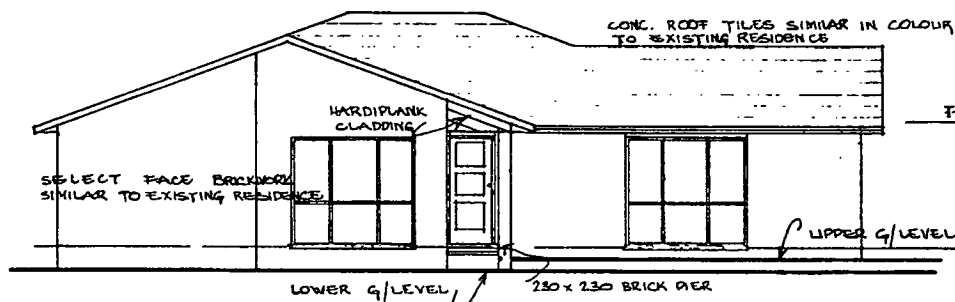
21 NOV 1990
21 NOV 1990

PLANS/FILE No. 1151/D

Received Building Section

21 NOV 1990

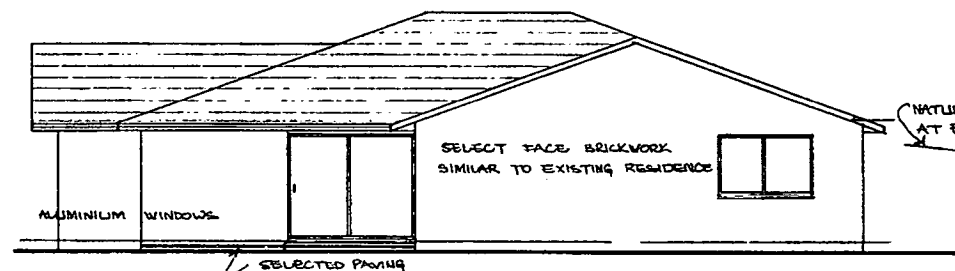
ACT Administration



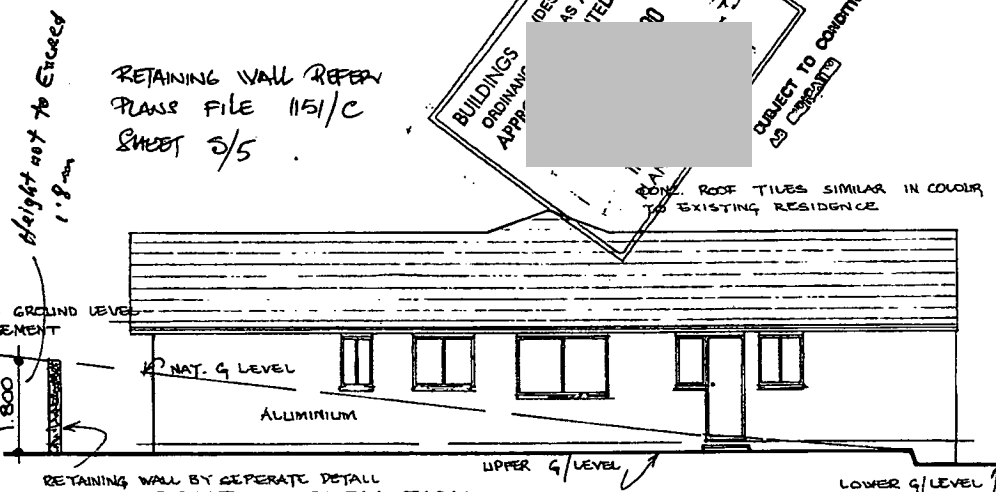
FRONT ELEVATION



NORTH ELEVATION



REAR ELEVATION



SOUTH ELEVATION

16 AMENDED SOUTH ELEVATION
SHOWING NEW NATURAL
GROUND LEVEL AND
RETAINING WALL HEIGHT.

PROJECT DUAL OCCUPANCY ELEVATIONS

BLOCK 21, SECTION 84,
O'CONNOR

sheet 3 of 4

1:100

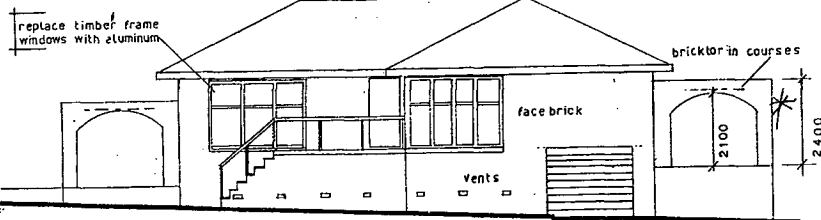
Aug. 90

60 1151/D
30/11/90
21/11/90

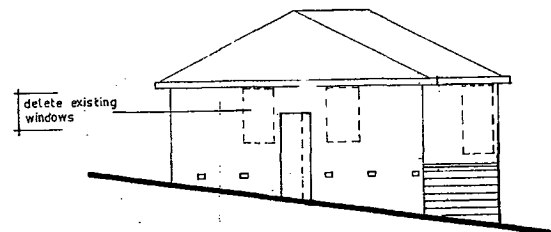
BUILDING WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS THE BUILDING MANUAL ACT, THE NOTATIONS MADE ON THE PLANS AND ANY MATTERS SPECIFIED ON THE BUILDING PERMIT. THE APPROVAL OF PLANS OR THE GRANT OF A BUILDING PERMIT DOES NOT AFFECT THE OPERATION OF ANY OTHER LAW IN THE TERRITORY, NOR DOES IT AUTHORISE THE USE OF THE LAND CONTRARY TO A PROVISION, COVENANT OR CONDITION OF LEASE.

MODIFICATIONS IF APPLICABLE

angle over garage door
127 x 75 x 10
230 bearing ends

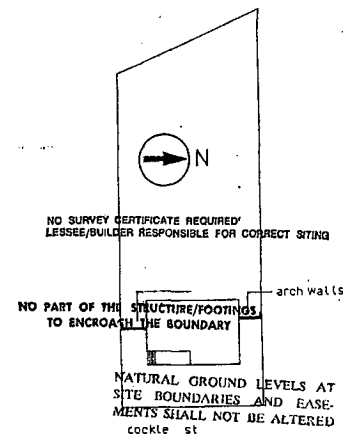


EAST ELEVATION



SOUTH ELEVATION

APPROVED FOR CONSTRUCTION BY THE HOLDER OF A CLASS " " LICENCE.
CLASS OF OCCUPANCY: RESIDENCE I
NGS X
12/3/89



SITE

PLANS/FILE No. 1151/10
Received Building Section
- 9 MAR 1981
Dept. of the Capital Territory

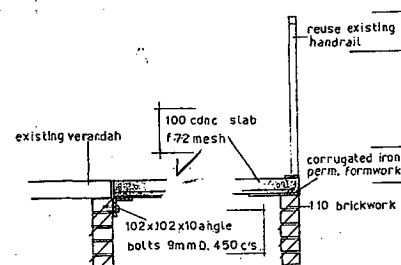
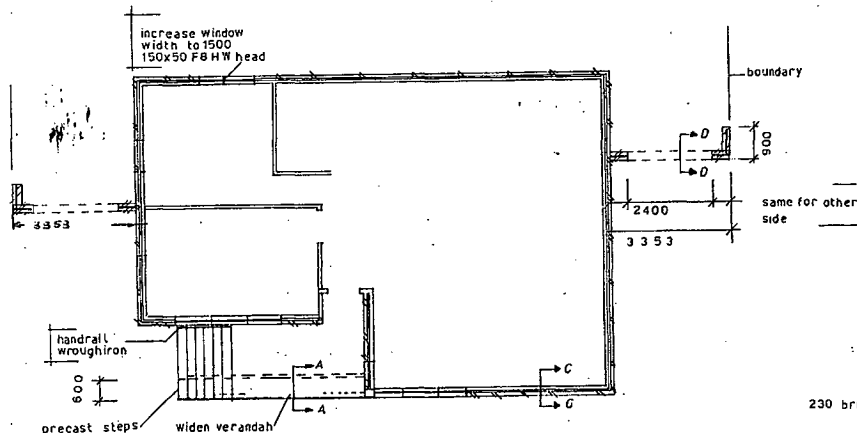
ALTERATIONS

- 1 Change windows
- 2 Delete 3 existing windows
- 3 Increase glize 1 window
- 4 Increase verandah size
- 5 Clad exterior walls brickwork

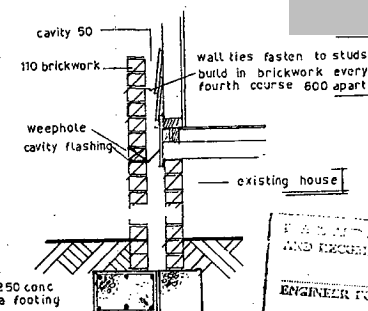
NOTES

- All work to be carried out in accordance with building manual
- footings to solid ground

BUILDINGS (DESIGN AND SITING)
ORDINANCE 1984 AS AMENDED
APPROVAL GRANTED



(A)



(B)

230 brickwork

380 x 250 conc 20mpa footing
2 layers F8tm 3 bars per layer tied 6mm spacer 1200 c's

(D)

FOOTINGS TO BE TAKEN DOWN TO SOLID GROUND

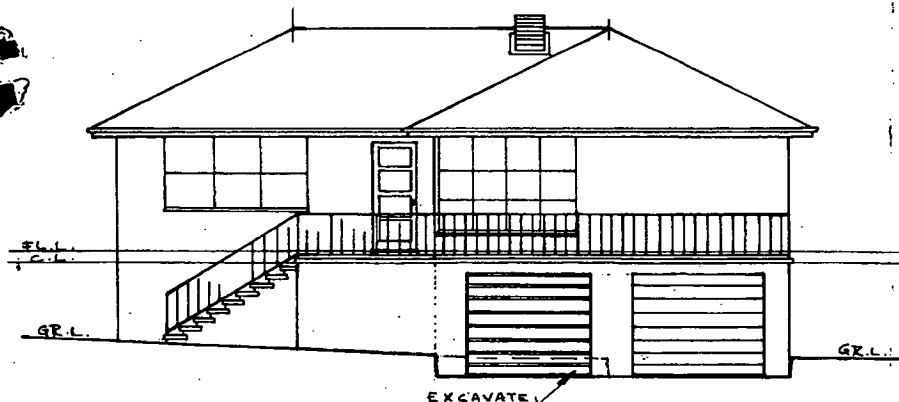
ALL WORK SPECIFICATIONS EXAMINED AND RECOMMENDED FOR APPROVAL BY
ENGINEER FOR WATER SUPPLY AND SEWERAGE 1/19
CHIEF ELECTRICAL ENGINEER 1/19
STRUCTURAL ENGINEER 1/19

PROPOSED ALTERATION TO
BLK 21 SEC 84 O'CONNOR
FOR N

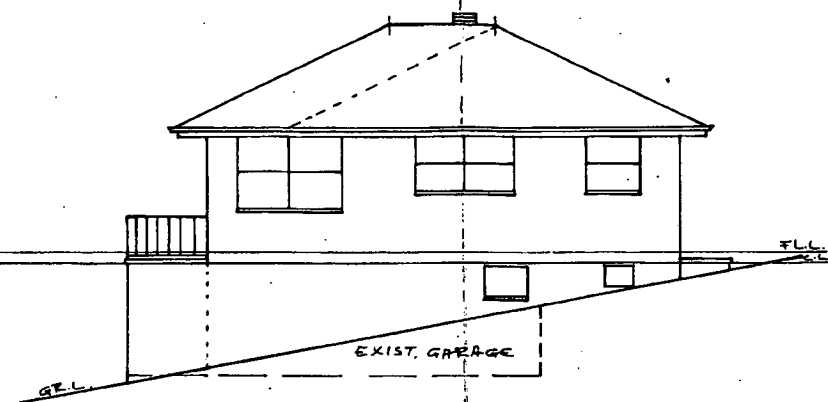
SCALES PLAN, ELE. 1:100

DETAIL SEC. 1:20

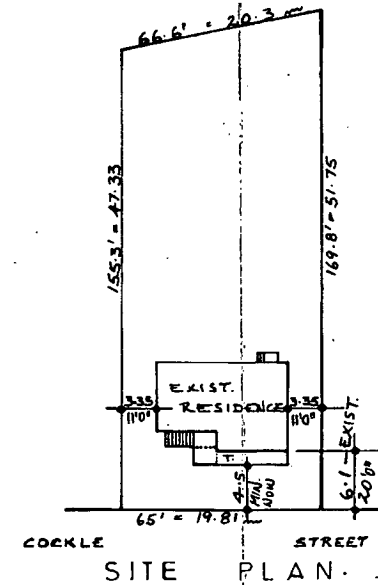
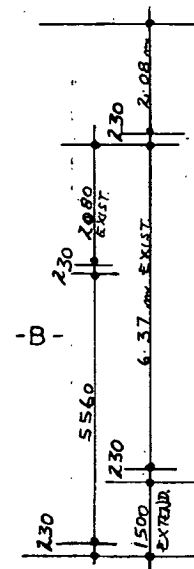
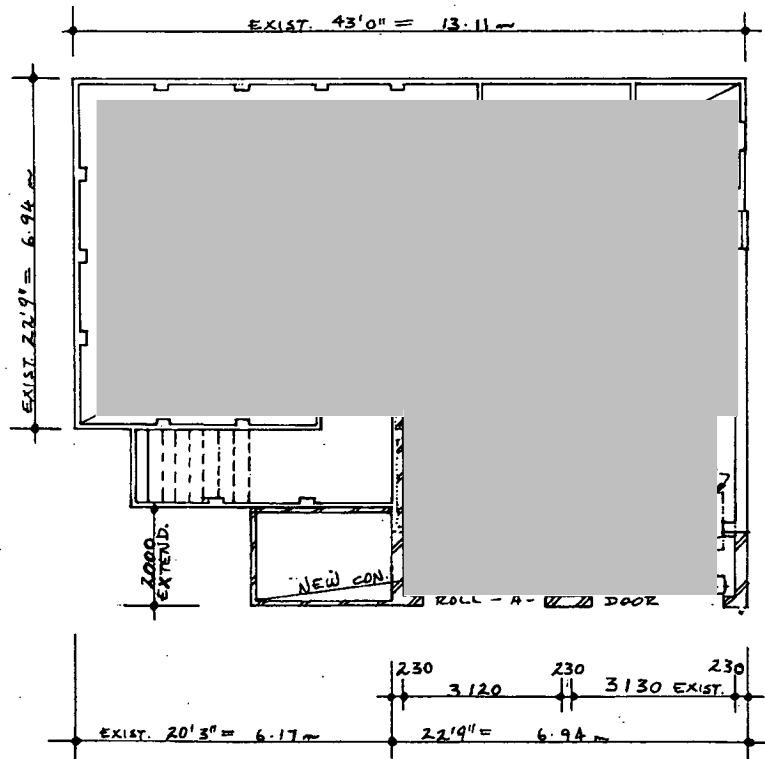
SITE 1:500



FRONT ELEVATION



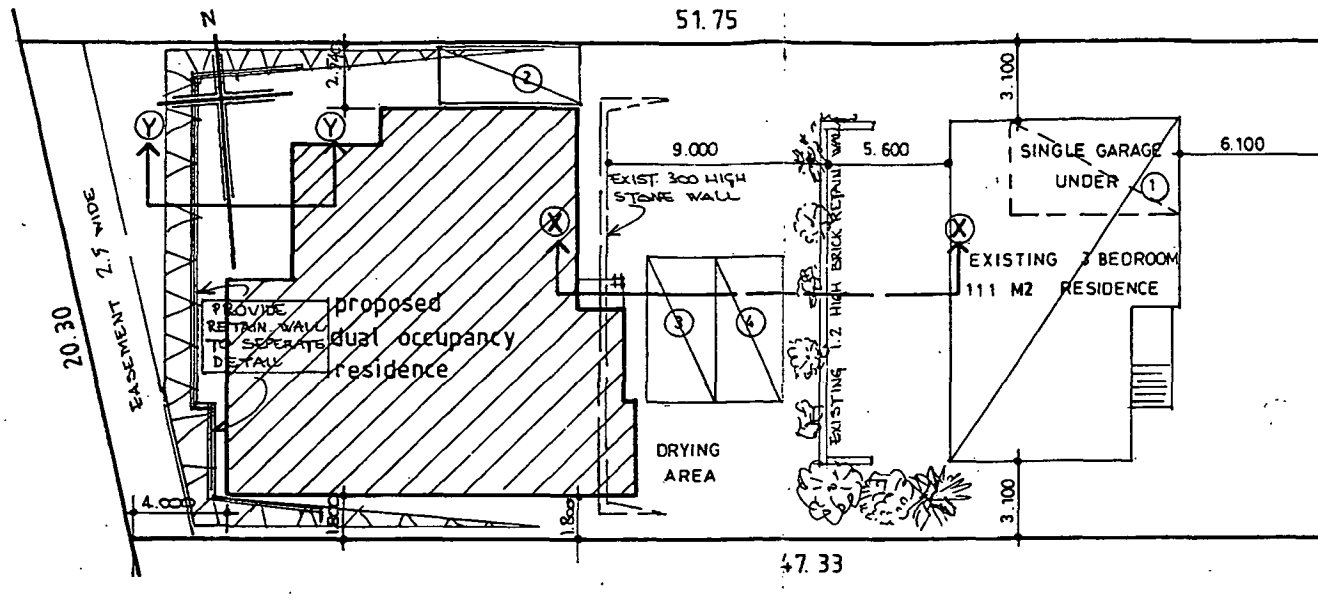
SIDE ELEVATION -B-



Note: 4.5m IS REQUESTED FROM FRONT BOUNDARY TO FRONT OF GARAGE. SO THAT THE SECOND GARAGE COULD BE BUILT UNDERNEATH AS SHOWN HERE ON.

N. C. D. C.
APPLN No. 29876
DATE 1-5-7

PRELIMINARY DRAWING FOR PROPOSED GARAGE
on: BLOCK 21, SECTION 84, O'CONNOR A.C.T.
for: _____
scales: 1:100 & 1:500



S/W
Chad
JHP
30/8/20

COCKLE STREET

D. DAVIES

ACT BUILDING CONTROL

Lodged 24 AUG 1990

Sent/...../.....

to 181

☐ ITPA ☐ Gen Works

☐ Elect ☐ Water

☐ Struct ☐ Redevel

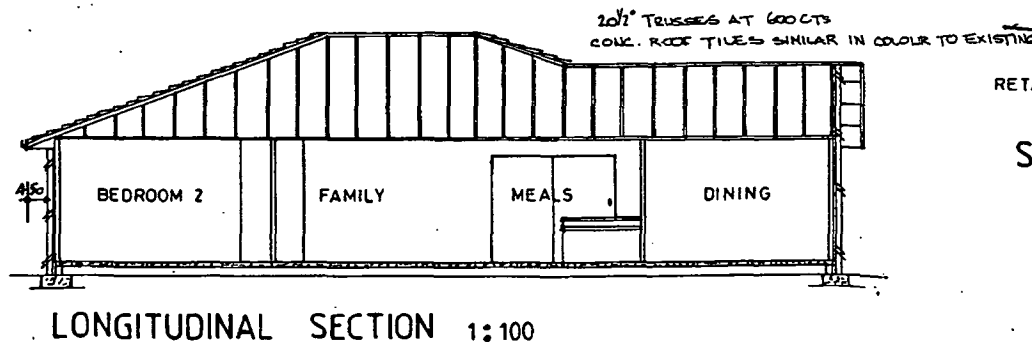
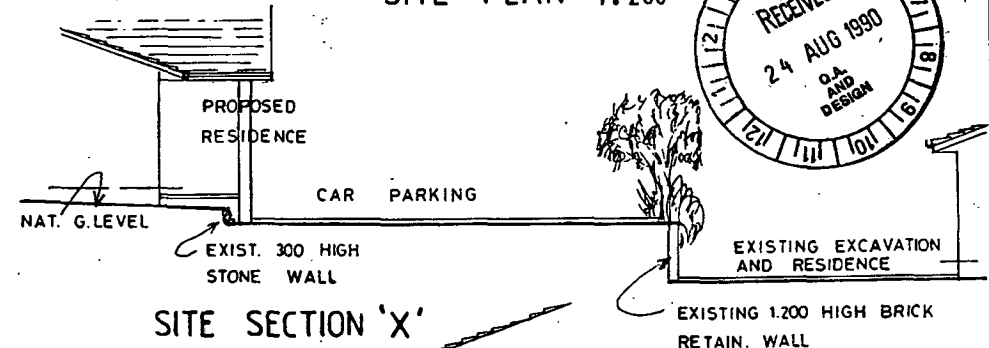
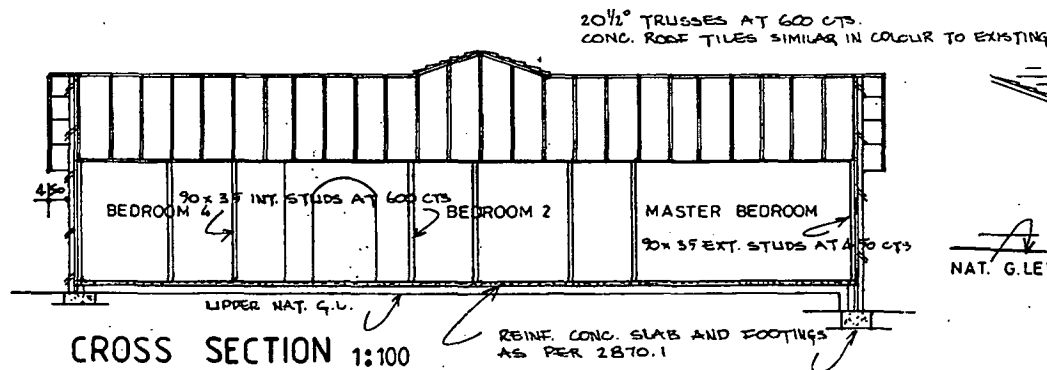
☒ Other S.W. J T O A S

DUE 31 AUG 1990

SITE AREA = 984.5 m²

PLOT RATIO .34

4 CARPARKS SHOWN



Site Section 'Y'

SECTIONS & SITE PLAN

Project

Job address

BLOCK 21, SECTION 84,
O'CONNOR

sheet 4 of 4

scale as shown

date Aug. 90

INHOME
CONSULTANCY

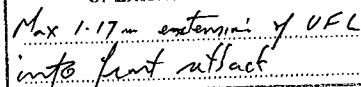
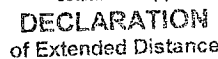
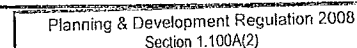
2961544

drawn by an employee of INHOME who
holds a current professional registration

ALL DIMENSIONS AND LEVELS SHALL BE CONFIRMED ON SITE PRIOR TO COMMENCEMENT OF WORKS.
ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH *BUILDING CODE OF AUSTRALIA*.
ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.
MATERIALS, FINISHES, COLOURS, FIXTURES AND FITTINGS, WINDOWS AND DOORS, SHALL BE IN ACCORDANCE WITH SCHEDULES.

 = LINE OF BOUNDARY SETBACKS

AREA (sq.m.)	
SITE:	872
EXISTING:	
L.F.L	83
U.F.L	175
SUB TOTAL	258
ADDITIONS:	
L.F.L	9
U.F.L 1	75.5
U.F.L 2	23
SUB TOTAL	107.5
TOTAL G.F.A	365.5
PLOT RATIO	42%



Rev	Description	By	Date
P1	Concept plans	JM	12.09.11
P2	Preliminary plans for ACTPLA approval	JM	27.09.11
A	ACTPLA SUBMISSION	JM	30.09.11
B	ACTPLA SUBMISSION	JM	06.10.11
C	1N ACTPLA SUBMISSION	JM	12.10.11
D	1N ACTPLA SUBMISSION	JM	13.10.11

CLIENT

PROJECT

PROJECT ADDRESS

CLIENT APPROVAL

PROJECT BUILDER
INSTYLE

ARCHITECT
ALAN MORSCHER

JOB No.
1173

DRAWING TITLE
SITE PLAN

DWG No.
A01

DATE :31.05.11

SCALE :1:200@A3

DESIGN BY:AM

DRAWN BY :JM

CHECKED:AM

REVISION : D

CLIENT APPROVAL

NAME: ...

DATE: _____

SIGNATURE: _____

Archertec

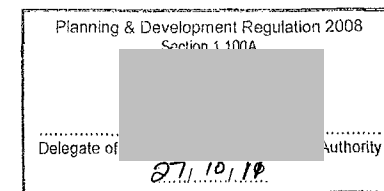
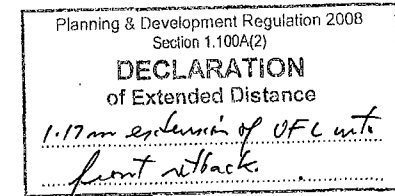
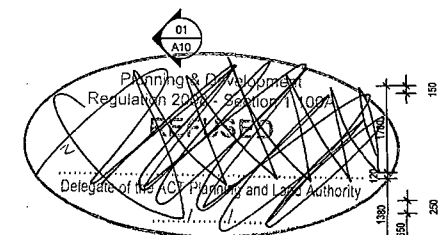
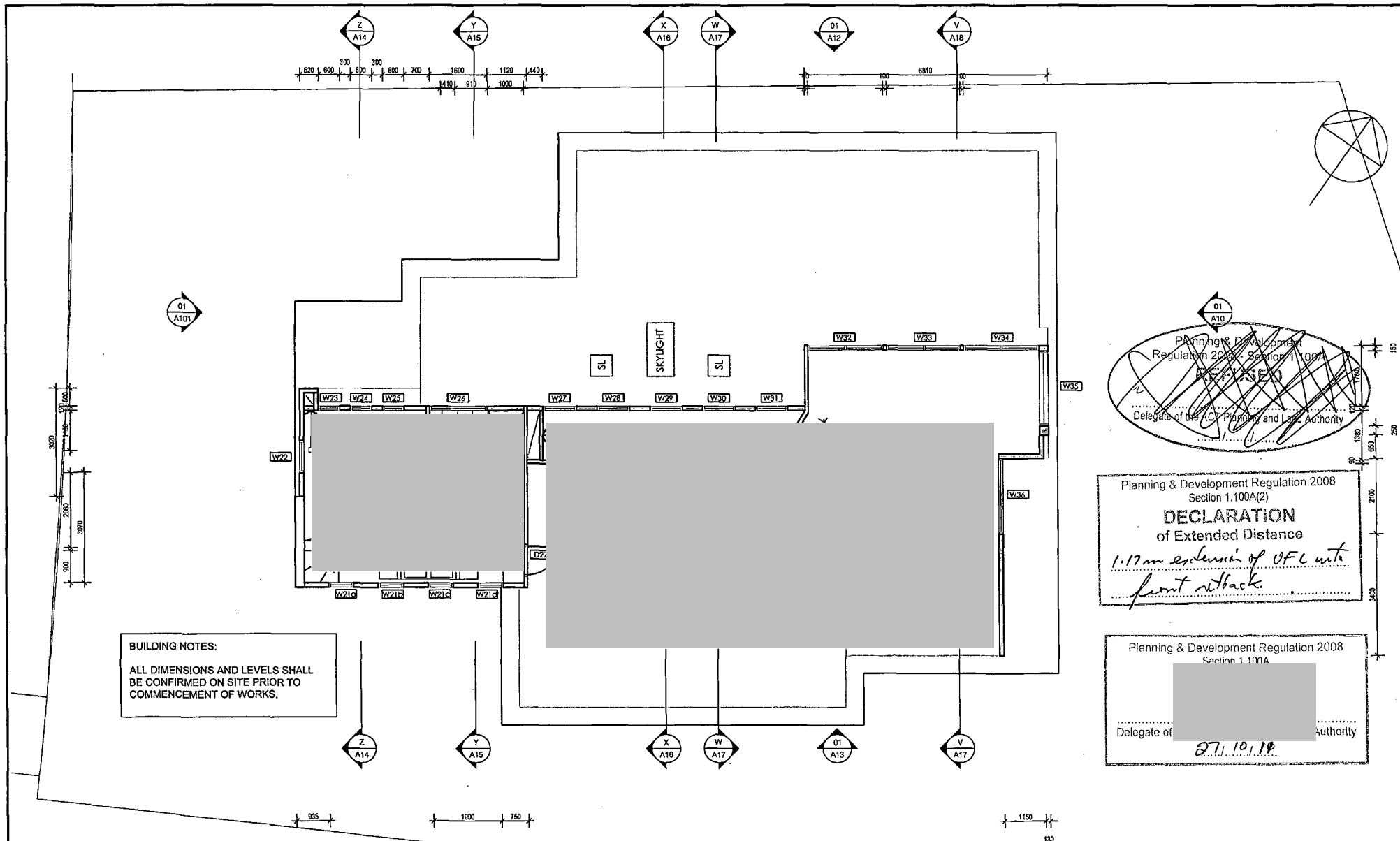
INTERIORS

The contractor must verify all dimensions and check measure on site before commencing any building work, joinery construction or creating shop drawings.

All work to be done in accordance with relevant Australian Standards, Building Codes of Australia and Local Authorities' Regulations.

All work to be executed in the most tradesmanlike manner and to the satisfaction of the Project Manager.

If there are any discrepancies with the building information provided, please contact the Project Manager immediately.



Do not scale drawings. All dimensions are in millimetres unless otherwise stated.

The contractor must verify all dimensions and check measure on site before commencing any building work, joinery construction or creating shop drawings.

All work to be done in accordance with relevant Australian Standards, Building Codes of Australia and Local Authority Regulations.

All work to be executed in the most tradesmanlike manner and to the satisfaction of the Project Manager.

If there are any discrepancies with the building information provided, please contact the Project Manager immediately.

Rev	Description	By	Date
A	ACTPLA SUBMISSION	JM	30.09.11
B	ACTPLA SUBMISSION	JM	06.10.11
C	ACTPLA SUBMISSION	JM	13.10.11

CLIENT	PROJECT	PROJECT ADDRESS
PROJECT BUILDER	RENOVATION & EXTENSION	BLOCK 37/SECTION 84 O'CONNOR
INSTYLE	ARCHITECT	ALAN MORSCHER
JOB No. 1173	DRAWING TITLE	DWG No. A07
	UPPER FLOOR LEVEL 2 PLAN	
DATE :31.05.11	SCALE :1:100@A3	DESIGN BY:AM
		DRAWN BY:JM
		CHECKED:AM
		REVISION : C

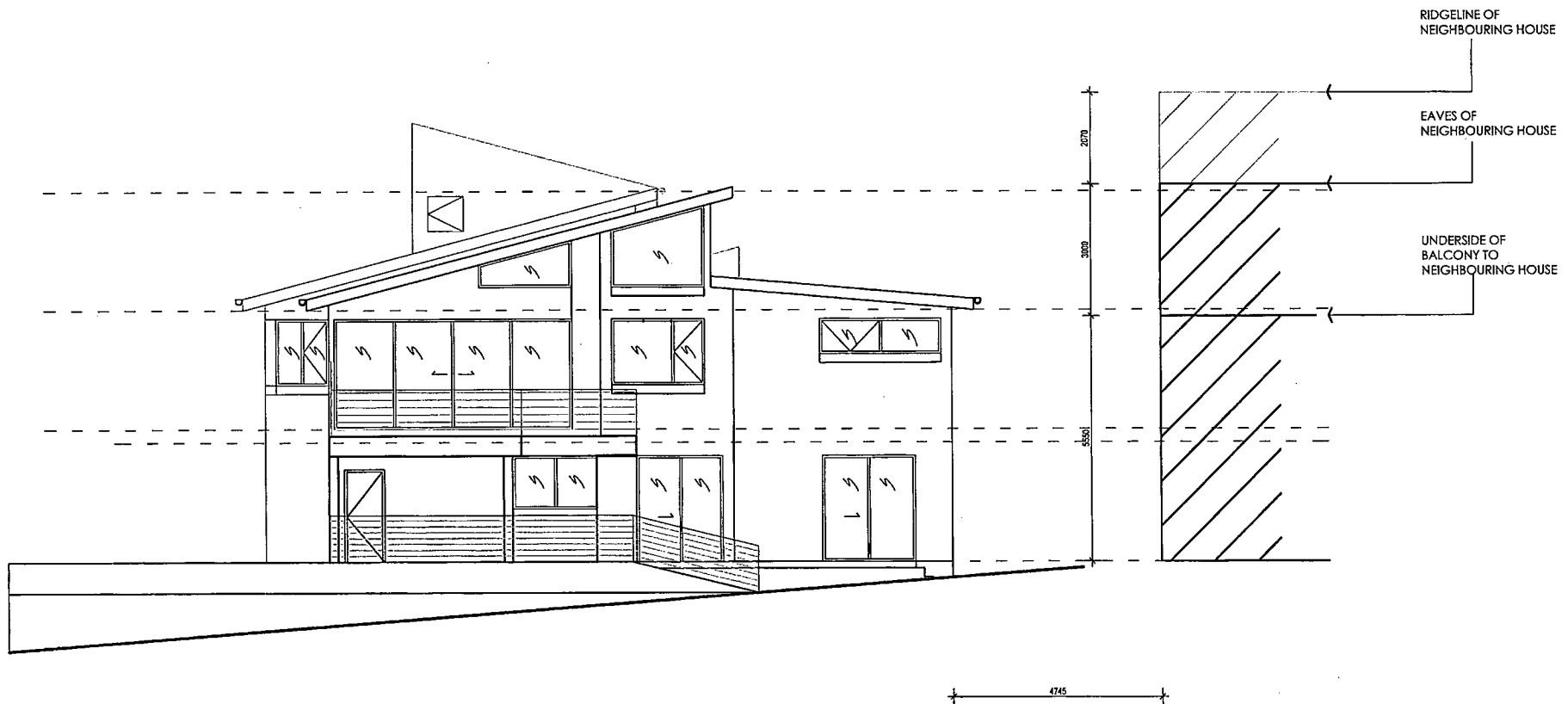
CLIENT APPROVAL

NAME: [REDACTED]

DATE: [REDACTED]

SIGNATURE: [REDACTED]

Archertec
INTERIORS



BUILDING NOTES:
ALL DIMENSIONS AND LEVELS SHALL BE CONFIRMED ON SITE PRIOR TO COMMENCEMENT OF WORKS.

DIMENSIONS AND LEVELS OF NEIGHBOURING HOUSE TAKEN FROM SITE SURVEY COMPLETED BY PAPAS & ASSOC 24.05.11

LEGEND



AREA ENCRDACHING 7.5M SETBACK ABOVE MAIN ROOF LINE



AREA ENCRDACHING 7.5M SETBACK BELOW MAIN ROOF LINE



FORM & LOCATION OF ADJACENT HOUSE

Do not scale drawings. All dimensions are in millimetres unless otherwise stated.

The contractor must verify all dimensions and check measure on site before commencing any building work, joinery construction or creating shop drawings.

All work to be done in accordance with relevant Australian Standards, Building Codes of Australia and Local Authority Regulations.

All work to be executed in the most tradesmanlike manner and to the satisfaction of the Project Manager.

If there are any discrepancies with the building information provided, please contact the Project Manager immediately.

REVISIONS

Rev	Description	By	Date
A	1N ACTPLA SUBMISSION	JM	12.10.11

PROJECT
RENOVATION & EXTENSION

OR

INSTITUTE

PROJECT ADDRESS
BLOCK 37/SECTION 84 O'CONNOR

ARCHITECT
ALAN MORSCHER

CLIENT APPROVAL

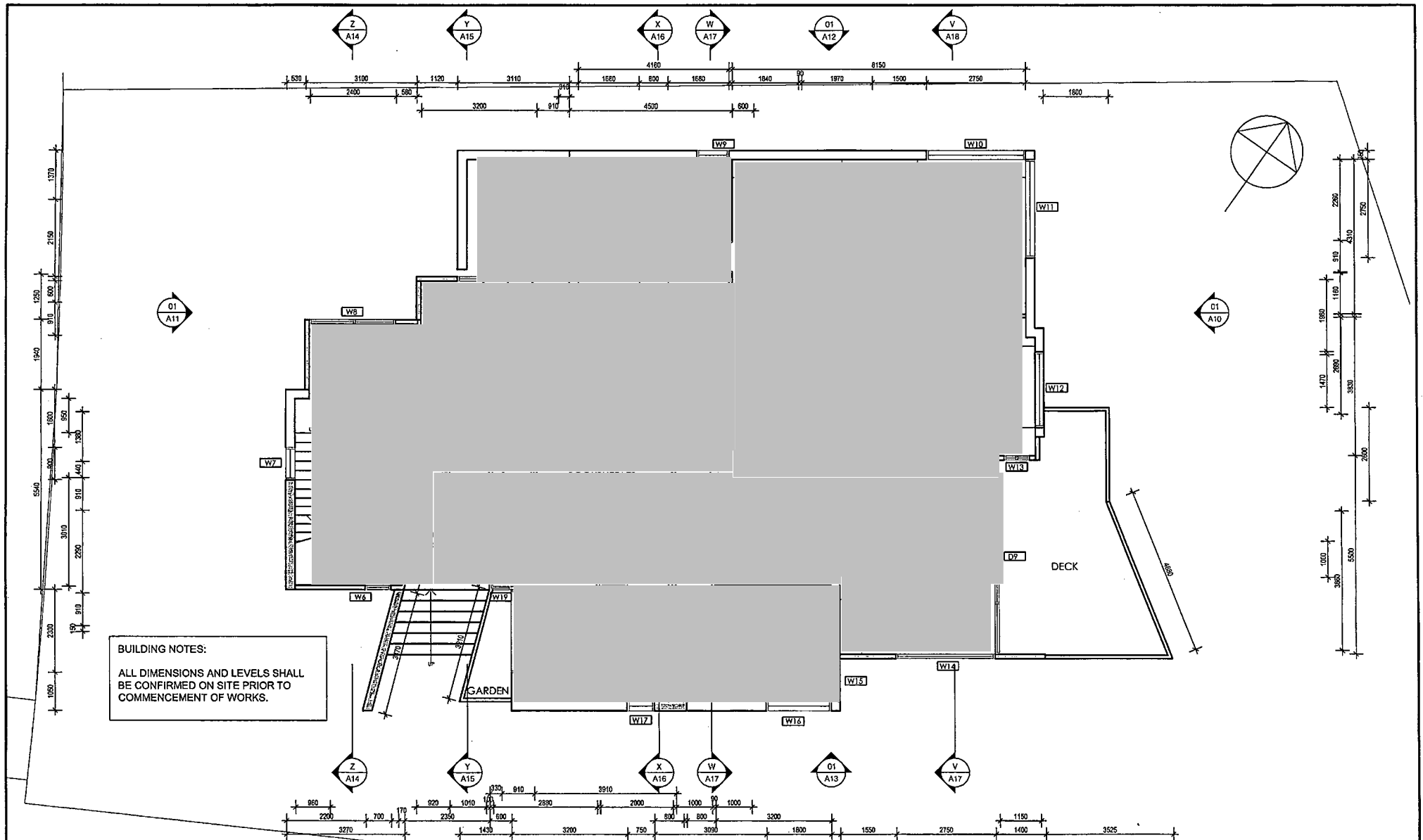
NAME:

DATE:

SIGNATURE:

Archertec
INTERIORS

JOB No. 1173
DRAWING TITLE NORTH EAST EXTERNAL ELEVATION - BOUNDARY/SETBACK INFORMATION
DWG No. A23
DATE : 31.05.11 SCALE : 1:100@A3 DESIGN BY: AM DRAWN BY: JM CHECKED: AM REVISION : A



Do not scale drawings. All dimensions are in millimetres unless otherwise stated.

The contractor must verify all dimensions and check measure on the before commencing any building work. Joinery construction or creating shop drawings.

All work to be done in accordance with relevant Australian Standards, Building Codes of Australia and Local Authority Regulations.

All work to be executed in the most tradesmanlike manner and to the satisfaction of the Project Manager.

If there are any discrepancies with the building information provided, please contact the Project Manager immediately.

REVISIONS			
Rev	Description	By	Date
A	ACTPLA SUBMISSION	JM	30.09.11
B	ACTPLA SUBMISSION	JM	06.10.11

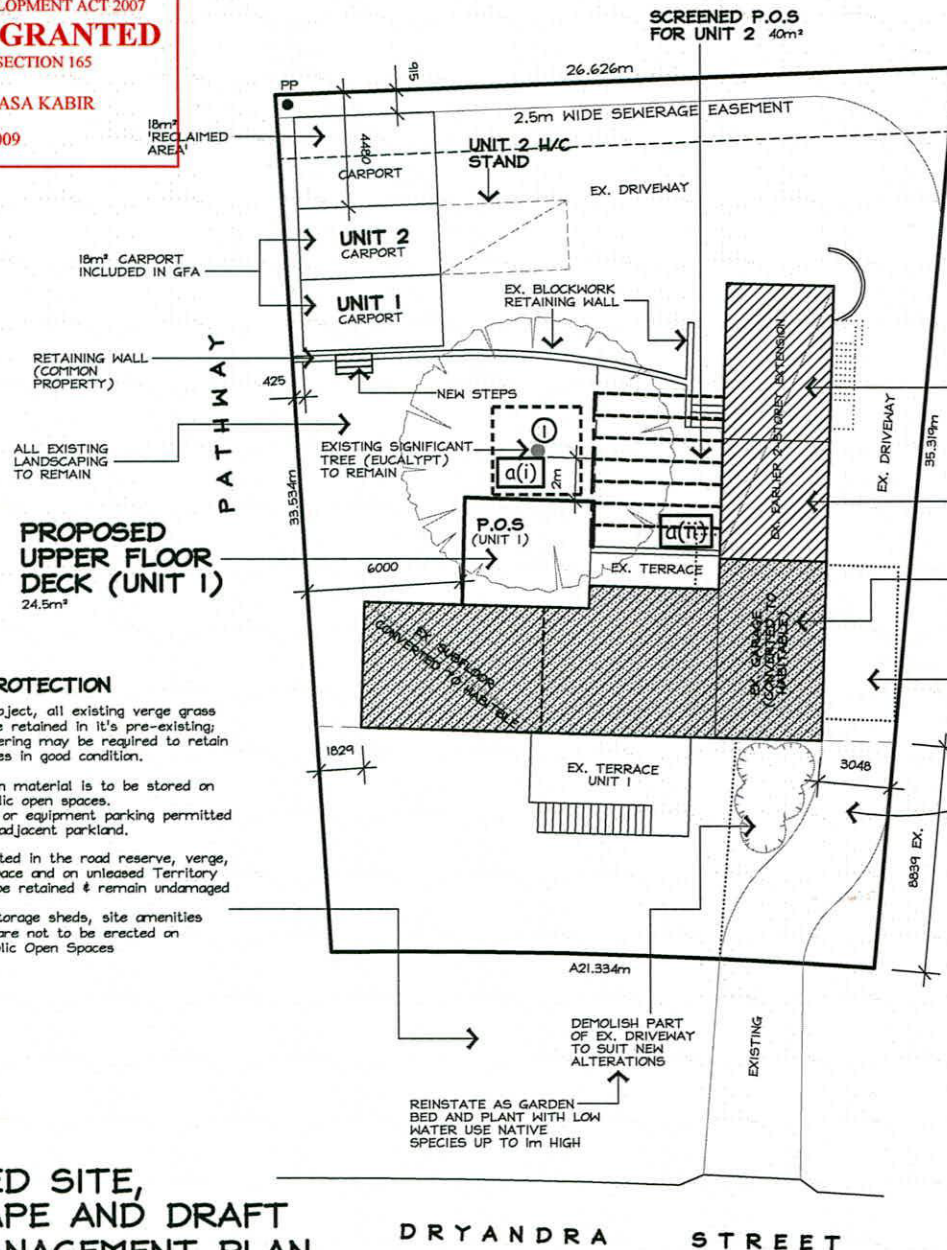
CLIENT		PROJECT	PROJECT ADDRESS
[REDACTED]		RENOVATION & EXTENSION	BLOCK 37/SECTION 84 O'CONNOR
PROJECT BUILDER		ARCHITECT	
INSTYLE		ALAN MORSCHER	
JOB No.	DRAWING TITLE	DWG No.	
1173	UPPER FLOOR LEVEL 1 PLAN	A06	
DATE : 31.05.11	SCALE : 1:100@A3	DESIGN BY : AM	DRAWN BY : JM
		CHECKED : AM	REVISION : B

CLIENT APPROVAL	
DATE:	
SIGNATURE:	

PLANNING AND DEVELOPMENT ACT 2007
APPROVAL GRANTED
 PURSUANT TO SECTION 165

Delegate name **MANTASA KABIR**

Date **4/12/2009**



VERGE PROTECTION

During the project, all existing verge grass cover must be retained in it's pre-existing condition. Watering may be required to retain grass and trees in good condition.

No construction material is to be stored on verges or public open spaces. No carparking or equipment parking permitted on verges or adjacent parkland.

All trees located in the road reserve, verge, public open space and on unleased Territory land, are to be retained & remain undamaged

Site sheds, storage sheds, site amenities or billboards are not to be erected on verges or Public Open Spaces



PROPOSED SITE, LANDSCAPE AND DRAFT TREE MANAGEMENT PLAN

1:200

BLOCK: 38

SECTION: 84

O'CONNOR

ADDITIONAL INFORMATION

- (a)(i) INDICATE THE UPPER FLOOR LEVEL BALCONY OF UNIT 1 AT TWO METERS FROM THE TREE TRUNK (AS PER TREE PROTECTION UNIT ADVICE)
- (a)(ii) THE PROPOSED 1.8m HIGH FIN WALL ON THE NORTH-EAST SIDE OF UNIT 1 EXTENDED TO THE END OF THE NEW PROPOSED PERGOLA TO PREVENT OVERLOOKING
- (b) THE CONCRETE ROOF OVER UNIT 2 TO BE NOT ACCESSIBLE
- (c) THE COLOURS AND/OR MATERIALS USED SHALL MATCH THE EX. DWELLING AND SHALL NOT BE WHITE OR OFF-WHITE AND AVOID GLARE

UNIT 2

EXISTING ENCLOSED VERANDAH (SUNROOM) OVER TO BE DEMOLISHED 29m² TERRACE FUNCTION TO BE REMOVED - ROOF ONLY OVER UNIT 2 (NOT TO BE ACCESSIBLE)

UNIT 1 (UPPER LEVEL)

EXISTING CARPORT TO BE DEMOLISHED 17m² (AREA TO BE RECLAIMED)

EXISTING CONCRETE TO BE TRIMMED TO SUIT

EROSION AND SEDIMENT CONTROL

- Ensure that the development complies with 'Best Practice Guidelines - Prevent Pollution from Residential Building Sites - March 2006

WASTE MANAGEMENT

- Ensure that the development complies with Territory and Municipal Services stating that waste facilities and management associated with development are in accordance with the Development Control Code for Best Practice Waste Management in the ACT 1999

RECLAIMABLE AREAS

REAR CARPORTS:	14.0m²
SOUTHERN C'PORT:	17.0m²
SUNROOM + LINK:	29.0m²
TOTAL RECLAIMABLE:	307.0m²

SUMMARY OF NEW AREAS

MODIFIED UNIT 1 GFA:	196.0m²
MODIFIED UNIT 2 GFA:	75.0m²
18m PER DWELLING C'PORT:	36.0m²
NEW TOTAL GFA:	307.0m²
NEW PLOT RATIO:	37.57%

BUILDING NOTES

ALL DIMENSIONS TO BE CHECKED ON SITE BEFORE COMMENCING ANY WORK. USE WRITTEN DIMENSIONS ONLY. DO NOT SCALE OFF DRAWINGS

ALL BUILDING WORK TO COMPLY WITH B.C.A & RELEVANT SUPPLEMENTS

ALL TIMBER FRAMING TO COMPLY WITH AS1684 & RELEVANT SUPPLEMENTS

ALL NEW PLUMBING TO BE CARRIED OUT BY A LICENSED PLUMBER AND IS TO BE IN ACCORDANCE WITH THE CANBERRA SEWERAGE AND WATER SUPPLY REGULATIONS

ALL AREAS TO BE MADE GOOD BY BUILDER WHERE DISTURBED BY NEW WORK

INSTALL SMOKE DETECTORS WHERE REQUIRED AND IN ACCORDANCE WITH AS3876

ALL TIMBER TO BE EXPOSED TO ELEMENTS TO BE ENTIRELY SEALED WITH APPROPRIATE PRODUCT TO MAN. SPEC BEFORE CONSTRUCTION AND MAINTAINED TO MAN. SPECIFICATIONS

MAINTAIN EXIST. STRUCTURE IN STABLE CONDITION AT ALL TIMES PARTICULARLY DURING CONSTRUCTION

DRAFT TREE MANAGEMENT PLAN

No.	TYPE	ACTION
1	EUCALYPT SIGNIFICANT	TO REMAIN AND TO BE PROTECTED DURING CONSTRUCTION WITH 1.8m HIGH CHAIN MESH FENCE

ADDITIONAL INFORMATION

LAWFULLY CONSTRUCTED WORKS AND PROPOSED REINSTATEMENT OF DUAL OCCUPANCY TO:

BLOCK: 38

SECTION: 84 O'CONNOR

Carmody by Design



Gina Carmody

DWN: A.KWONG G.CARMODY

SCALE: 1:200 DATE: 30 NOV 09

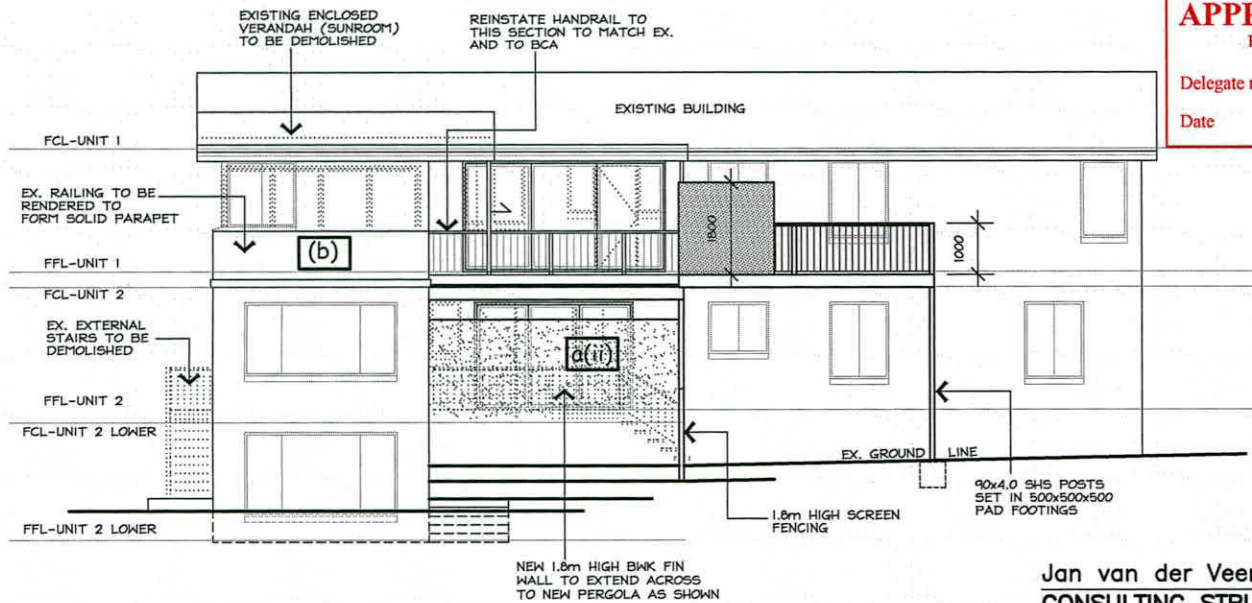
DWG No.: 0748 SHEET: 1 OF 6

8

PLANNING AND DEVELOPMENT ACT 2007
APPROVAL GRANTED
 PURSUANT TO SECTION 165

Delegate name **MANTASA KABIR**

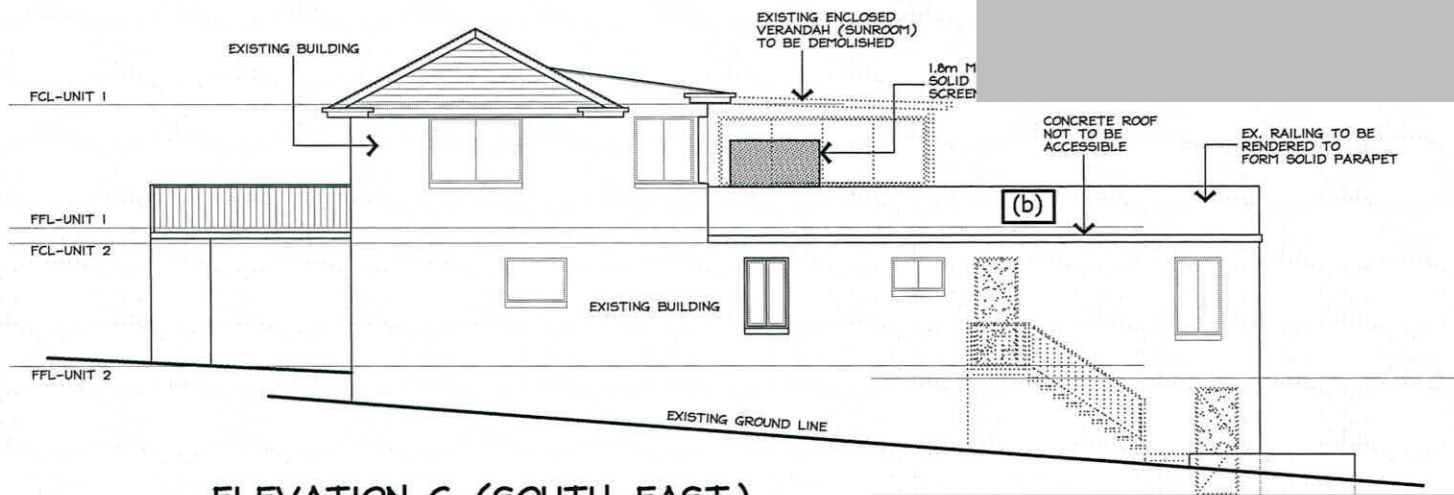
Date **4/12/2009**



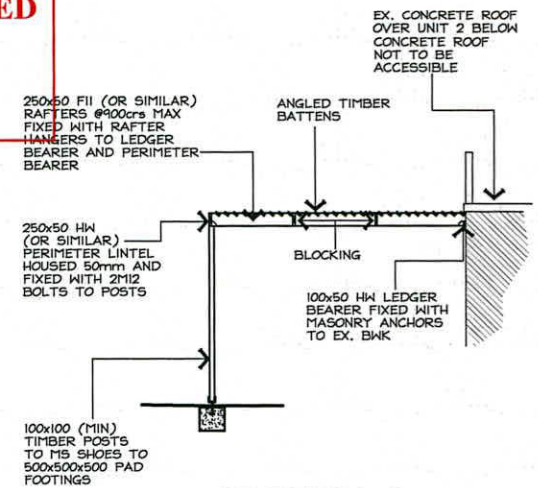
ELEVATION D (NORTH-EAST)

(c)

ALL NEW COLOURS AND/OR EXTERNAL MATERIALS USED SHALL MATCH THE EXISTING DWELLING AND SHALL NOT BE WHITE OR OFF-WHITE AND AVOID GLARE



ELEVATION C (SOUTH-EAST)



SECTION A

Jan van der Veen C.Eng M.I.Struct.E.M.I.E (Aust)
CONSULTING STRUCTURAL ENGINEER

GROUND LINES SHOWN ARE ACCURATELY DEPICTED AS MEASURED ON SITE

ADDITIONAL INFORMATION
LAWFULLY CONSTRUCTED WORKS AND PROPOSED REINSTATEMENT OF DUAL OCCUPANCY TO:
BLOCK: 38
SECTION: 84 O'CONNOR
CLIENT: J. SMITH

Carmody by Design

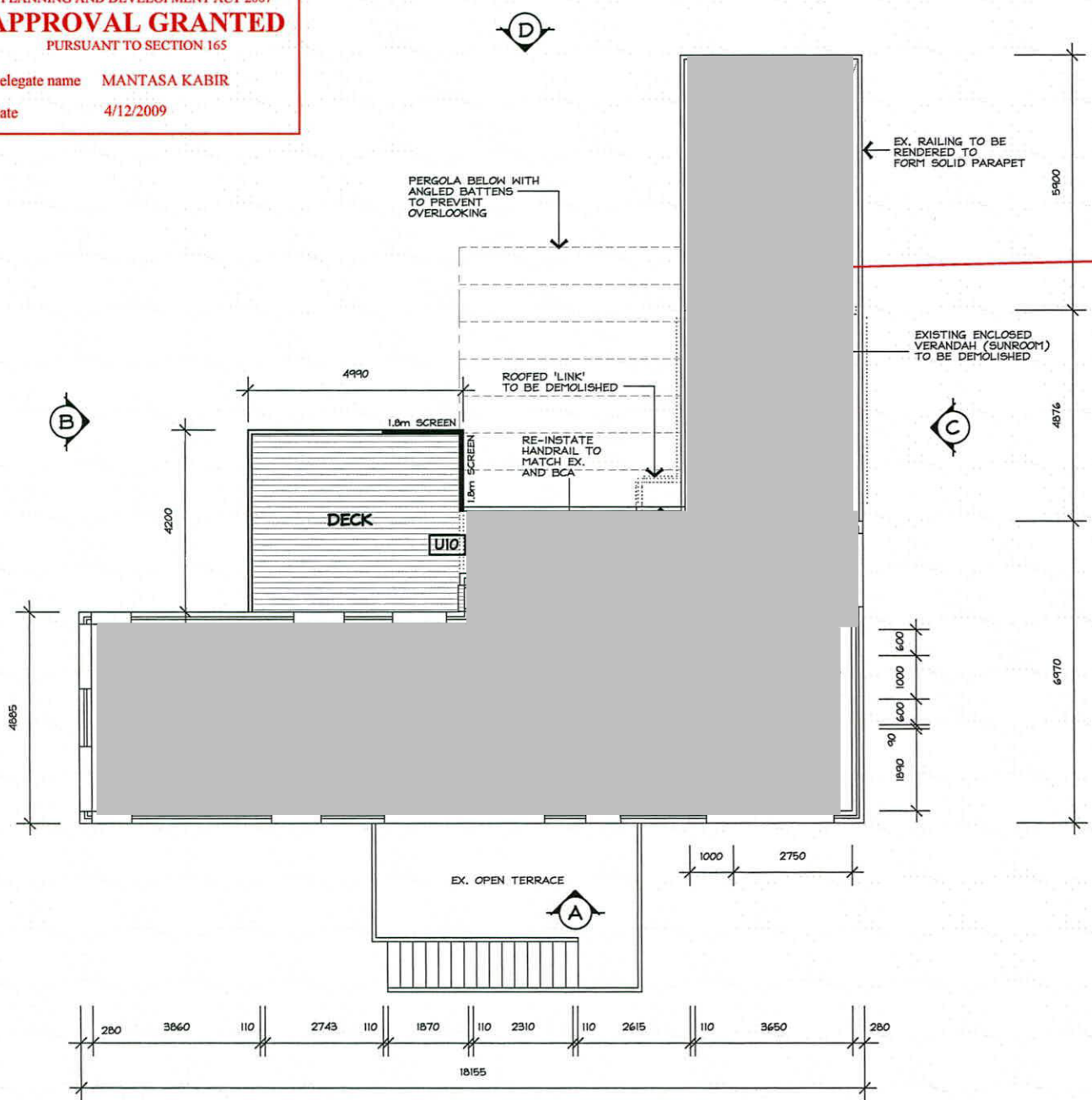


Gina Carmody

DWN: A.KWONG G.CARMODY
 SCALE: 1:100 DATE: 30 NOV 09
 DWG No.: **0748** SHEET: 6 OF 6

PLANNING AND DEVELOPMENT ACT 2007
APPROVAL GRANTED
 PURSUANT TO SECTION 165

Delegate name MANTASA KABIR
 Date 4/12/2009



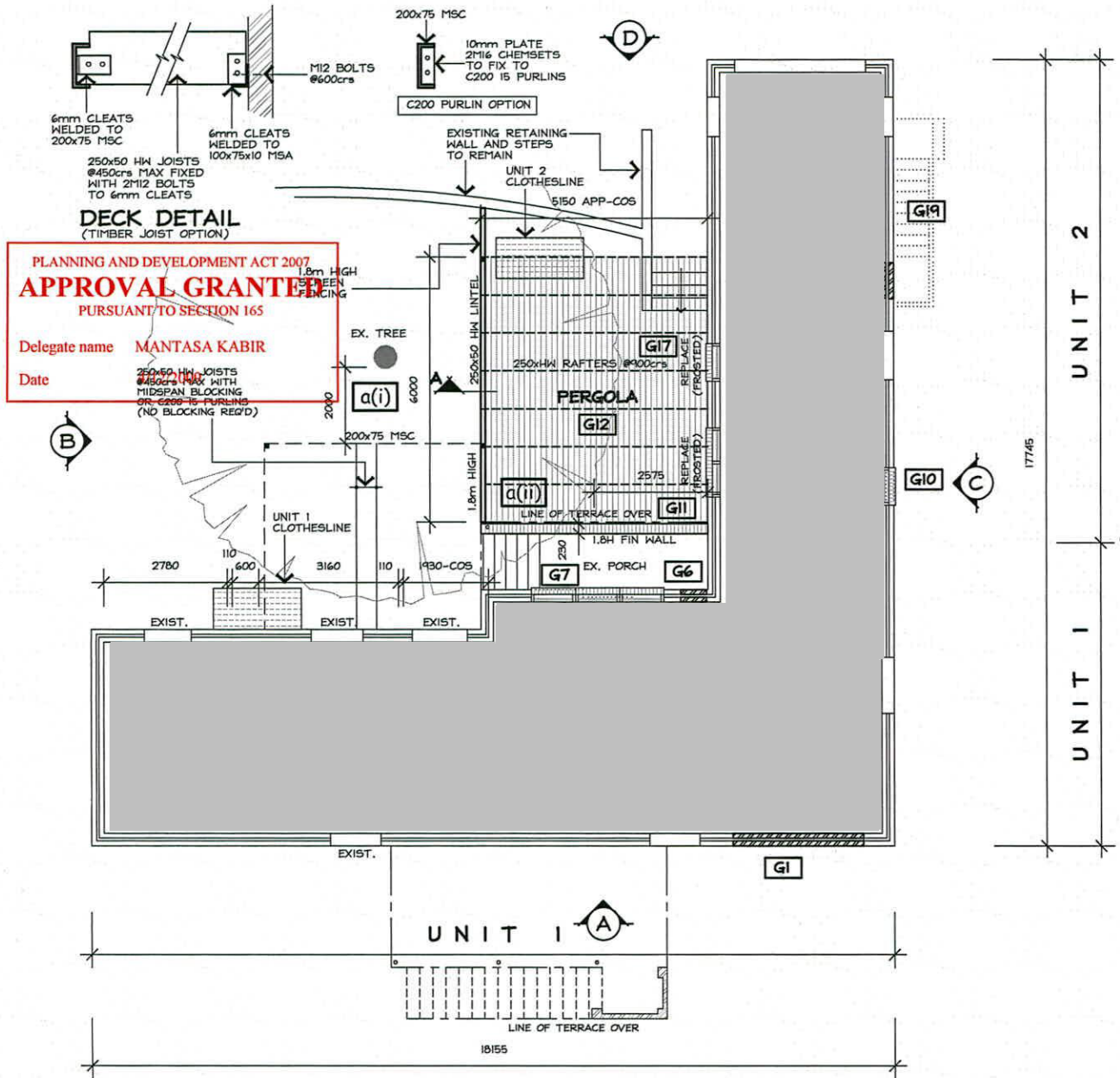
- ALTERATIONS TO EXISTING**
 - U1 DEMOLISH EX. STAIR AND WALLS SURROUNDING EXISTING MEALS AREA AND RE-SUPPORT TO AS1684.
 - U2 DEMOLISH EX. KITCHEN AND MAKE GOOD AND RENEW CEILING TO COMPLETE KITCHEN/MEALS/LIVING
 - U3 REMOVE EX. DOOR AND WINDOW UNITS AND PROVIDE NEW LINTELS OVER TO FORM OPENINGS TO SUIT NEW SLIDING DOOR UNIT AND MAKE GOOD
 - U4 DEMOLISH EX. FLOOR TO FORM NEW STAIRWELL TO DOWNSTAIRS
 - U5 RELOCATE KITCHEN, NEW DRAINAGE AS REQ'D AND MAKE GOOD
 - U6 DEMOLISH INTERNAL WALL AND BUILD NEW STUDWALL TO FORM WIR AS SHOWN
 - U7 NEW DOORWAY TO HALL AS SHOWN
 - U8 DEMOLISH EX. GLAZED/ROOFED LINK
 - U9 DEMOLISH EX. VERANDAH/SUNROOM AND INFILL EX. HANDRAIL AND RENDER TO FORM PARAPET. ENSURE DRAINAGE TO BCA CONCRETE ROOF NOT TO BE ACCESSIBLE
 - U10 REMOVE RAILING AND BUILD NEW TIMBER DECK AS SHOWN

ADDITIONAL INFORMATION
LAWFULLY CONSTRUCTED
WORKS AND PROPOSED
REINSTATEMENT OF
DUAL OCCUPANCY TO:
BLOCK: 38
SECTION: 84 O'CONNOR

Carmody by Design

Gina Carmody

PROPOSED UPPER FLOOR NOTIFICATION PLAN - UNIT 1



ALTERATIONS

- G1 REMOVE EX. GARAGE DOOR AND BRICK UP AND RENDER TO MATCH EXISTING
- G2 BUILD NEW STAIRWELL TO UPSTAIRS
- G3 CONVERT EX. GARAGE TO BEDROOM AS SHOWN. PROVIDE WPM TO BCA
- G4 BRICK UP EX. OPENING AND RENDER TO MATCH EX.
- G5 REMOVE EX. STAIRWELL NAD MAKE GOOD AND DEMOLISH EX. L'DRY
- G6 REMOVE EX. WINDOW AND BRICK UP TO MATCH EXISTING
- G7 REMOVE EX. WINDOW AND DOOR AND DEMOLISH WALL TO FORM NEW DOORWAY. INSTALL NEW WINDOW UNIT TO SUIT
- G8 KNOCK THROUGH EX. BRICKWORK AND EXCAVATE SUBFLOOR TO FORM BED 3 AND BED 4 AND BATHROOM AS SHOWN. NEW TIMBER FLOOR TO BCA
- G9 NEW DRAINAGE AND BATHROOM FITOUT TO BCA. NEW BHK WALLS AS SHOWN
- G10 DEMOLISH EX. BHK AND INSTALL NEW WINDOW AND MAKE GOOD
- G11 CREATE NEW MASONRY FIN WALL TO BCA - 1800mm HIGH AS SHOWN - TO EXTEND TO PERGOLA AS SHOWN
- G12 NEW PERGOLA AS DRAWN
- G13 DEMOLISH EX. ENSUITE AND DEMOLISH FLOOR TO PROVIDE INTERNAL STAIR TO LOWER LEVEL AND MAKE GOOD
- G14 DEMOLISH WALL AND BUILD NEW ROBE TO BEDROOM
- G15 PROVIDE FROSTED GLAZED WINDOW TO EX. REVEALS
- G16 REMOVE EX. KITCHEN AND FORM NEW ENSUITE AS SHOWN AND MAKE GOOD
- G17 REMOVE EX. WINDOW AND INSTALL FROSTED GLAZED UNIT TO EX. REVEALS
- G18 CONSTRUCT NEW STUDWALL AND PROVIDE NEW DOORWAY FROM BEDROOM AS SHOWN
- G19 DEMOLISH EX. STAIR AND MAKE GOOD

ADDITIONAL INFORMATION

**LAWFULLY CONSTRUCTED
WORKS AND PROPOSED
REINSTATEMENT OF
DUAL OCCUPANCY TO:**

BLOCK: 38

SECTION: 84 O'CONNOR

CLIENT

Carmody by Design



Gina Carmody

DWN: A.KWONG G.CARMODY

SCALE: 1:100 DATE: 30 NOV 09

DWG No.: **0748** SHEET: 3 OF 6

PROPOSED GROUND FLOOR NOTIFICATION PLAN

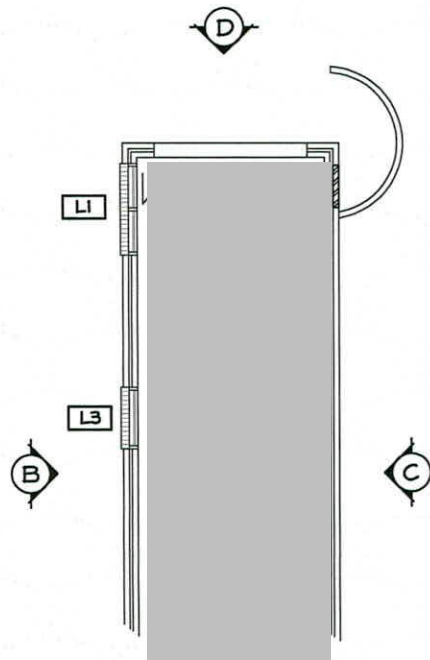
ALTERATIONS

- L1 DEMOLISH EX. WALL AND INSTALL NEW SD UNIT AS SHOWN
- L2 BRICK UP EX. DOORWAY AND REMOVE EXTERNAL STAIR AND LANDING AND MAKE GOOD
- L3 DEMOLISH EX. WALL AND FORM NEW WINDOW UNIT AS SHOWN
- L4 DEMOLISH EX. L'DRY AND MAKE GOOD
- L5 DEMOLISH EX. ENSUITE AND DEMOLISH SUBFLOOR WALLS TO FORM ENTRY TO NEW STAIR AS SHOWN, CONVERT EX. SUBFLOOR SPACE TO BCA TO FORM KITCHEN AND PANTRY AS SHOWN, MAKE GOOD

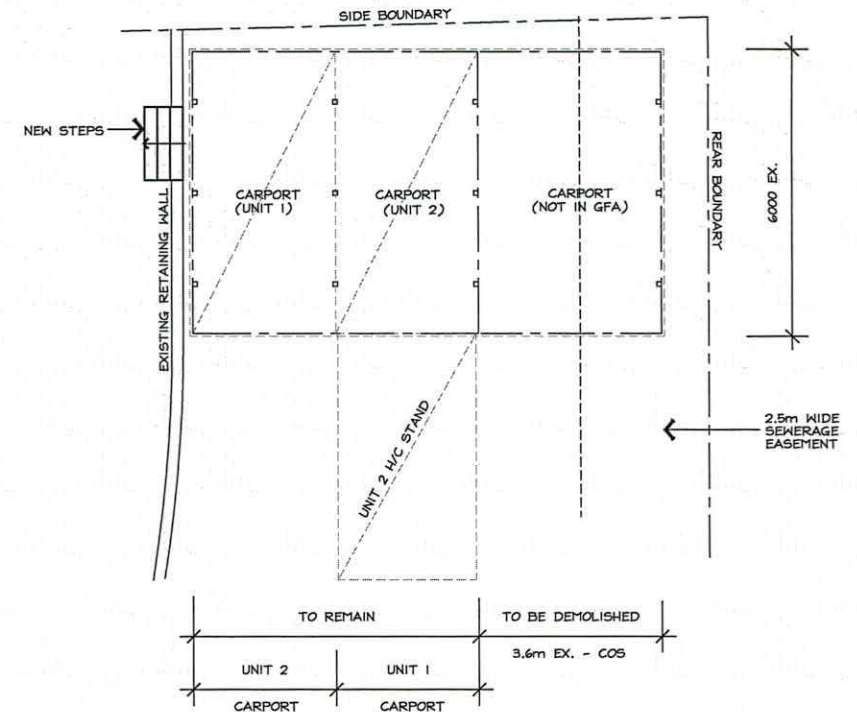
PLANNING AND DEVELOPMENT ACT 2007
APPROVAL GRANTED
 PURSUANT TO SECTION 165

Delegate name MANTASA KABIR

Date 4/12/2009



LOWER FLOOR NOTIFICATION PLAN - UNIT 2



CARPORT NOTIFICATION PLAN

GROUND LINES SHOWN ARE
 ACCURATELY DEPICTED AS
 MEASURED ON SITE

ADDITIONAL INFORMATION

Carmody by Design



Gina Carmody

LAWFULLY CONSTRUCTED
 WORKS AND PROPOSED
 REINSTATEMENT OF
 DUAL OCCUPANCY TO:

BLOCK: 38

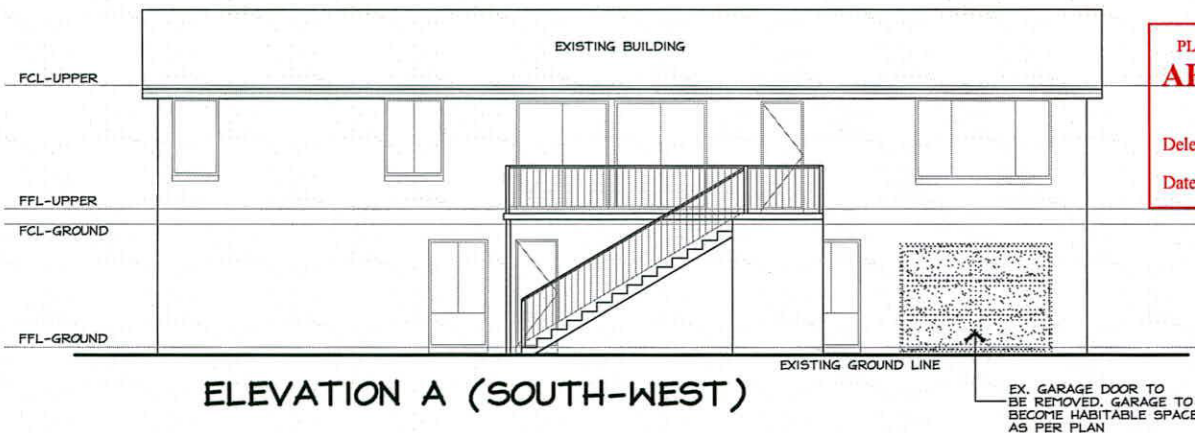
SECTION: 84 O'CONNOR

CLIENT:

DWN: A.KWONG G.CARMODY

SCALE: 1:100 DATE: 30 NOV 09

DWG No.: 0748 SHEET: 4 OF 6



ELEVATION A (SOUTH-WEST)

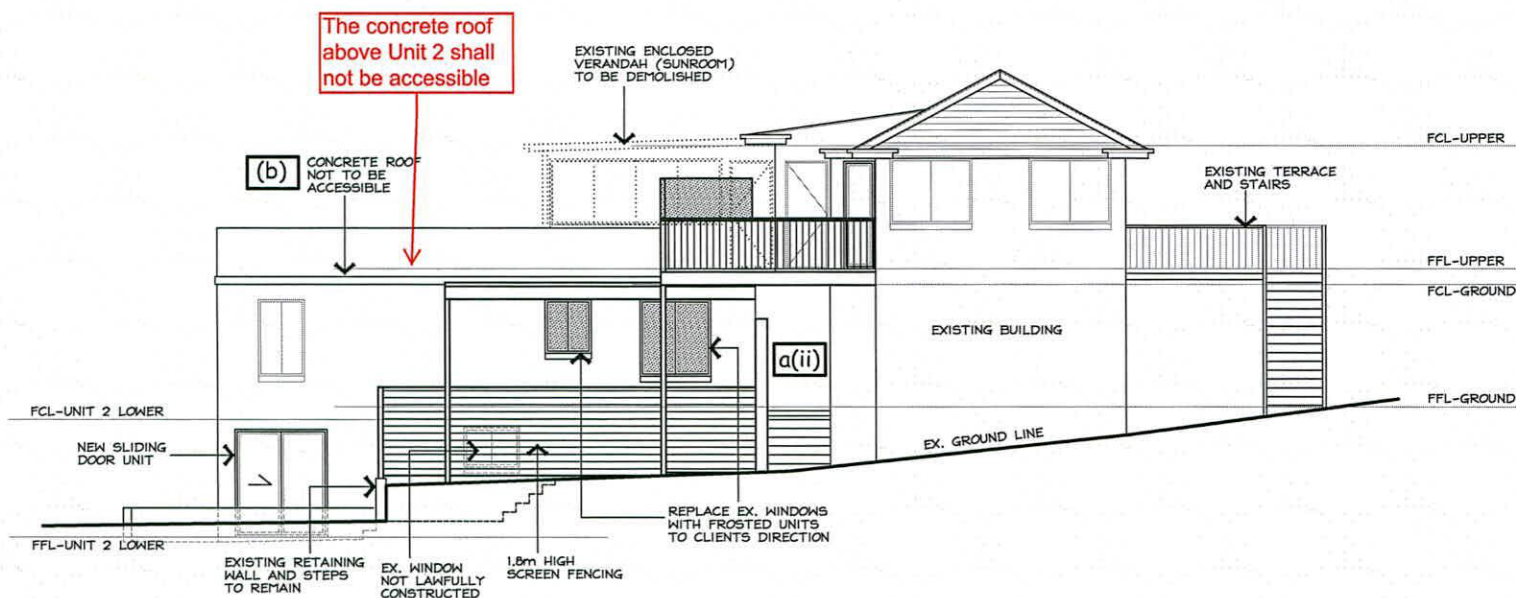
PLANNING AND DEVELOPMENT ACT 2007
APPROVAL GRANTED
 PURSUANT TO SECTION 165

Delegate name **MANTASA KABIR**

Date **4/12/2009**

(c)

ALL NEW COLOURS AND/OR EXTERNAL MATERIALS USED SHALL MATCH THE EXISTING DWELLING AND SHALL NOT BE WHITE OR OFF-WHITE AND AVOID GLARE



ELEVATION B (NORTH-WEST)

GROUND LINES SHOWN ARE ACCURATELY DEPICTED AS MEASURED ON SITE

ADDITIONAL INFORMATION
LAWFULLY CONSTRUCTED
WORKS AND PROPOSED
REINSTATEMENT OF
DUAL OCCUPANCY TO:

BLOCK: 38

SECTION: 84 O'CONNOR

CLIENT:

Carmody by Design



Gina Carmody

DWN: A.KWONG G.CARMODY

SCALE: 1:100 DATE: 30 NOV 09

DWG No.: **0748** SHEET: 5 OF 6



Ms Gina Carmody
Carmody By Design
[REDACTED]

Dear Ms Carmody

BLOCK 38 SECTION 84 O'CONNOR
Application Number: 200915454
Lessee: [REDACTED]

I refer to the Notice of Decision dated 24 November 2009 concerning the above application.

A formal error has been identified where the Notice of Decision did not contain conditional approval for a variation to the Crown lease to specify two (2) dwellings.

Consequently, in accordance with section 196 of the *Planning and Development Act 2007*, the Notice of Decision dated 24 November 2009 is formally corrected as follows:

THE DECISION

The decision is corrected to include the approval, subject to conditions, of the variation to the Crown lease purpose clause to permit two (2) dwellings.

A. ADMINISTRATIVE / PROCESS CONDITIONS

A1. APPROVAL NOT TO TAKE EFFECT

This approval **does not take effect** until the Change of Use Charge has been determined by the Planning and Land Authority.

A2. COMPLETION OF DEVELOPMENT

The approved additions and alterations to the existing dual occupancy development shall be completed within twelve (12) months after the date that this approval takes effect.

Under section 184 of the Act, the applicant may apply to the ACT Planning and Land Authority to extend the prescribed period to finish the development, but an application must be made within the original period specified for completion.

A3. INSTRUMENT OF VARIATION

That the lessee accept the variation substantially in accordance with the Draft Instrument of Variation at **Attachment 1** and shall do all that is necessary to ensure that the Instrument of Variation giving effect to this approval is registered at the Office of Regulatory Services within 28 days of being notified that the Instrument of Variation is available for registration, or within such further time as may be approved by the ACT Planning and Land Authority.

B. ADVISORY NOTES

B1. CHANGE OF USE CHARGE

Prior to the registration of the Instrument of Variation, the lessee must, as is required under the *Planning and Development Act 2007*, pay any assessed Change of Use Charge. Once advised of the charge, the charge must be paid within 28 days or within such further time as may be approved by the ACT Planning and Land Authority.

B3. APPROVAL EXPIRES

For approvals that involve a lease variation, there is no provision under the *Planning and Development Act 2007* to extend the timeframe for compliance with the approval beyond 2 years after the date this approval takes effect.

The remaining conditions of approval set out in the previous Notice of Decision will continue to apply.

The date of effect of the correction to the approval is the date of this letter.

If you would like to discuss this matter further please telephone Elise Gill on 6205 5328.

Yours sincerely



Ben Green
Delegate of the
Planning and Land Authority

17 November 2011



LAND TITLES
OFFICE OF REGULATORY SERVICES
Department of Justice and Community Safety



APPLICATION TO VARY A CROWN LEASE

Form 044 - AVCL

Land Titles Act 1925

The Minister or the Delegate of the ACT Planning and Land Authority (the Authority) has agreed to vary the lease as described below, subject to the mortgages, encumbrances and other instruments affecting the land including any created by dealings lodged for registration prior to the lodging of this document. (Note – This form cannot be used to vary a Unit within a Registered Units Plan)

LODGING PARTY DETAILS

Name	Postal Address	Contact Telephone Number
------	----------------	--------------------------

TITLE AND LAND DETAILS

Volume & Folio	District/Division	Section	Block
467:4	O'CONNOR	84	38

FULL NAME OF REGISTERED PROPRIETOR/S (Surname Last)
(ACN required for all companies)

FULL POSTAL ADDRESS

Victoria Ivy Smith

640 Tantawangalo Lane Candello NSW 2550

LEGISLATIVE PROVISION TO VARY CROWN LEASE

I, Irma Sare, being a delegate of the Planning and Land Authority, APPLY to you to register the variation which has been made to the Crown lease of the land described. An approval of the Variation of Lease is submitted herewith in accordance with Section 72A of the Land Titles Act 1925

DETAILS OF DELETED CLAUSES (no longer applicable after registration)

N/A

DETAILS OF VARIATION

**AUSTRALIAN CAPITAL TERRITORY
PLANNING AND DEVELOPMENT ACT 2007
VARIATION OF A LEASE**

Under the *Planning and Development Act 2007* I, Irma Sare approve the variation of Crown lease specified hereunder:

PARTICULARS OF VARIATION-

ADDED PROVISIONS

replace the full stop (".") at the end of clause 3(h) with a semi-colon (";") and insert the following clauses:

3(i) That in this lease the expression "dwelling"

(i) means a class 1 building, or a self-contained part of a class 2 building, that:

(A) includes the following that are accessible from within the building, or the self-contained part of the building:

(1) not more than 2 kitchens;

(2) at least 1 bath or shower;

(3) at least 1 toilet pan; and

(B) does not have access from another building that is either a class 1 building or the self-contained part of a class 2 building; and preparation facilities; and

(ii) includes any ancillary parts of the building and any class 10a buildings associated with the building;

3(j) That in this lease the expression "multi-unit housing" means the use of land for more than one dwelling and includes but is not limited to dual occupancy housing and triple occupancy housing;

FORMER PROVISIONS

1(g) To use the said land for residential purposes only;

AMENDED PROVISIONS

1(g) To use the land for the purpose of:

(i) a single dwelling; or

(ii) multi-unit housing of not more than two (2) dwellings;

Attachment 1 to Formal Correction – DA 200915454

EXECUTION BY ACT PLANNING AND LAND AUTHORITY	
Signed by the person duly authorised by ACT Planning and Land Authority (Please print full name of authorised signatory) Irma Sare SENIOR OFFICER GRADE C POSITION NUMBER 13612 Dated -	Print full name and address of witness ACT Planning and Land Authority Dame Pattie Menzies House 16 Challis Street Dickson ACT 2602 Signature of witness Dated -

OFFICE USE ONLY			
Lodged by		Certificate of title lodged	
Data entered by		Certificates attached to title	
Registered by		Attachments / Annexures	
Registration date		Production number	



Notice of decision

Under Part 7 of the *Planning and Development Act 2007*

Merit track

22

DA NO: 200915454		DATE LODGED: 8/09/2009
DATE OF DECISION: 24 November 2009		
BLOCK: 38	SECTION: 84	SUBURB: O'CONNOR
STREET NO AND NAME: 78 & 78A Dryandra Street O'Connor		
APPLICANT: Carmody Bv Design		
LESSEE [REDACTED]		

THE DECISION

This application was lodged in the merit track. Pursuant to section 113(2) of the *Planning and Development Act 2007*, the application must be assessed according to the provisions relevant to merit track applications.

I, Mantasa Kabir, delegate of the ACT Planning and Land Authority, pursuant to section 162 of the Act, hereby **approve subject to conditions** the proposal for:

- addition and alteration to the existing approved dual occupancy development; including
- internal alteration of the existing dwellings;
- proposed new upper level deck to unit 1 on the north-western side; and
- proposed new pergola and Private Open Space(POS) for unit 2 on the north-eastern side of the dual occupancy;
- new access door from unit 2 to the POS;
- conversion of an existing garage on the south to a habitable room; and
- addition of a hard stand and reclaiming the garage area under existing roofline of the carports at the rear of the dwelling;

in accordance with the plans, drawings and other documents and items submitted with the application and endorsed as forming part of this approval.

This decision is subject to the conditions of approval at **PART 1** being satisfied.

PART 2 sets out the Reasons for the Decision

PART 3 is the Consultation and Entity Referral Report.

PART 4 contains administrative information relating to the determination.

DELEGATE & CONTACT OFFICER

Mantasa Kabir

[REDACTED]
Delegate of the ACT Planning and Land Authority
24/11/2009

Phone: (02) 6207 2360
Email: mantasa.kabir@act.gov.au

PART 1

CONDITIONS OF APPROVAL

This application is approved subject to the following conditions being satisfied. Some conditions of approval will require attention before the approved drawings will be released by the Authority, others before work commences or before the completion of building work.

A. ADMINISTRATIVE / PROCESS CONDITIONS

A1. FURTHER INFORMATION

Within 28 days from the date of this decision, or within such further time as may be approved in writing by the ACT Planning and Land Authority, the applicant shall lodge with ACT Planning and Land Authority for approval:

(a) revised drawings, based on the relevant drawings submitted as part of the application showing:

- (i) plans indicating the upper floor level balcony of unit 1 at two meters from the tree trunk (*refer to the Tree Protection Unit advice*)
- (ii) the proposed 1.8m high fin wall on the North-east side of Unit 1 extended to the end of the new proposed pergola (*till the end of the stairs*) to prevent over-looking in POS of Unit 2;

(b) that the concrete roof over unit 2 be not accessible;

(c) that colours and/or external materials used shall match the existing dwelling and shall not be white or off-white and avoid glare.

B. PRIOR TO CONSTRUCTION

B1. SEDIMENT AND EROSION CONTROL

That prior to any construction commencing on-site the applicant/lessee must submit two copies of the sediment and erosion control plan to Environment Protection Authority for approval;

B2. TREE PROTECTION

Tree protection fencing, if required, shall be erected prior to the commencement of any work on the site.

B3. VERGE MANAGEMENT

This plan is to be approved and implemented before the commencement of works, including demolition, on the site and is to be in accordance with the *City Management Guidelines for the Protection of Public Landscape Assets Adjacent to Development Works-REF-04*.

C. DURING CONSTRUCTION

C1. SEDIMENT AND EROSION CONTROL

All unsurfaced entry and exit points must be consolidated with crushed aggregate or similar extending from the road kerb to the building line.

Temporary sediment controls – comprising, as a minimum, geotextile silt fencing along the lowest points of the site and hay bale filters as required – are to be installed and maintained at least daily to prevent sediment from reaching the stormwater mains system.

C2. TREE PROTECTION

The applicant/lessee shall protect and maintain all existing trees and shrubs located on the subject site, on adjoining blocks overhanging the subject site, on the verge and unleased Territory land immediately adjacent, except for those specifically identified for removal in the approved drawings and a Tree Management Plan.

C3. VERGE MANAGEMENT

During building work (including demolition) for both stages all existing vegetation (trees, shrubs and grass) located on the verge and unleased Territory land immediately adjacent to the development shall be managed, protected and maintained in accordance with a Landscape Management Plan approved by the Asset Acceptance Manager, Asset Management Services Group, Department of Territory and Municipal Services

C4. WASTE MANAGEMENT

All building waste is to be stored on the site in suitable receptacles and collected regularly. The lessee is to take all reasonable steps to ensure that waste, particularly wind borne litter, does not affect adjoining or adjacent properties.

Refer to Appendix 1 for information about approvals that may be required for construction.

PART 2 REASONS FOR THE DECISION

The application satisfactorily meets the requirements for approval. The application was approved because, based on the documentation and in the form modified by the imposed conditions, it was considered to meet:

- the relevant code, being the Multi Unit Dwelling Development Code

The key issues identified in the assessment are the requirements of the Tree Protection Unit, overlooking and impact on the privacy of the adjoining block. Conditions have been imposed to address the key issues and ensure that the proposal is consistent with the Territory Plan and the *Planning and Development Act 2007*.

EVIDENCE

Application No. 200915454

File No. 200915454

The Territory Plan zone – RZ1; Suburban Zone

The Development Codes – Multi Unit Dwelling Development Code

Current Crown Lease – Volume 56 Folio 5561

Entity advice

PART 3 PUBLIC NOTIFICATION AND ENTITY ADVICE

PUBLIC NOTIFICATION

Pursuant to Division 7.3.4 of the Act, the application was publicly notified from 18 Sep 2009 to 12 Oct 2009. No written representations were received during the public consultation.

ENTITY ADVICE

Pursuant to Division 7.3.3 of the Act, the application was referred to entities and advice was received. The referral entities' comments are as follows. A response to the advice is provided as appropriate.

CONSERVATOR OF FLORA AND FAUNA

On 18 Sep 2009 advice was received from the Conservator of Flora and Fauna in relation to the proposal. The advice states that the proposal is not supported.

On 14 Oct 2009 further information is requested from the applicant, to obtain endorsement from the Conservator. Revised drawings received are sent to the Tree Protection for comment.

On 11 November 2009 advice was received from the Conservator of Flora and Fauna in relation to the proposal. The advice states that the proposal is not supported if there is any activity within 2 meters of the tree trunk on the upper level.

Matters raised have been incorporated as either conditions of approval.

ActewAGL (Electricity Networks)

On 15 Sep 2009 advice was received from ActewAGL Electricity Networks in relation to the proposal. The advice states that the proposal is supported.

ActewAGL (Water and Sewerage Networks)

On 17 Sep 2009 advice was received from ActewAGL Water and Sewerage Networks in relation to the proposal. The advice states that the proposal is supported.

PART 4 ADMINISTRATIVE INFORMATION

DATE THAT THIS APPROVAL TAKES EFFECT

This approval is effective from the day after the date of this notice. The effective date for development applications approved subject conditions could be adjusted if the approval is reconsidered by the ACT Planning and Land Authority or if an application is made to the ACT Civil and Administrative Tribunal.

Pursuant to section 184 of the Act, this approval will expire if:

- the development or any stage of the development is not started within two years after the day the approval takes effect;
- the development is not finished two years after the day the development begins; or
- the development approval relates to land comprised in a lease that requires the development to be completed on a stated date – the date stated in the lease for completion of the development, or the approval is revoked under section 189 of the Act.

INSPECTION OF THE APPLICATION AND DECISION

A copy of the application and the decision are available on the public register. The register can be inspected between 8:30am and 4:30pm weekdays at the ACT Planning and Land Authority Dickson Customer Service Centre at 16 Challis Street, Dickson, ACT.

RECONSIDERATION OF THE DECISION

If the applicant is not satisfied with the decision to approve the application subject to conditions, they are entitled to apply to the ACT Planning and Land Authority for reconsideration within 20 working days of being told of this decision or within any longer period allowed by the ACT Planning and Land Authority.

Application forms and further information about reconsideration are available from the ACT Planning and Land Authority's website and Customer Service Centres. The delegate of the Authority reconsidering the decision must be different from, and senior to, the original decision maker. An application for reconsideration does not prevent an application for a review of the same decision being made to the ACT Civil and Administrative Tribunal.

REVIEW BY THE ACT CIVIL AND ADMINISTRATIVE TRIBUNAL (ACAT)

Decisions that are reviewable by the ACAT are identified in Schedule 1 of the *Planning and Development Act 2007*, except for those precluded under Schedule 3 of the *Planning and Development Regulation 2008* – Matters exempt from third-party ACAT review.

APPENDIX 1

CONTACT DETAILS OF RELEVANT AGENCIES

ACT Health - health protection	Website: www.health.act.gov.au Telephone: (02) 6205 1700
ACT Planning and Land Authority - list of certifiers for building approval - demolition information - asbestos information	Website: www.actpla.act.gov.au Telephone: (02) 6207 1923 or (02) 6207 1687
Department of Territory and Municipal Services - tree damaging activity approval - water resources - heritage - use of verges or other unleased Territory land - works on unleased Territory land - design acceptance - damage to public assets	Website: www.tams.act.gov.au Telephone: 132 281 Telephone for asset acceptance: (02) 6207 6594
Department of Environment, Climate Change, Energy and Water - environment protection	Website: www.environment.act.gov.au Telephone: (02) 62076251 for Environment Protection Authority (EPA)
Utilities - Telstra (networks) - TransACT (networks) - ActewAGL - Electricity reticulation	Telephone: (02) 9397 2090 Telephone: (02) 6229 8000 Telephone: 1100 Telephone: (02) 6293 5738

ADVICE TO APPLICANT

SUBMISSION OF REVISED DRAWINGS AND DOCUMENTATION

If a condition of approval requires the applicant to lodge revised drawings and/or documentation with the ACT Planning and Land Authority for approval under section 165 of the *Planning and Development Act 2007* the submission shall be made with a completed application Form 11 for Section 144 & 197 Amendments and Satisfying Conditions of Approval (S.165).

FURTHER APPROVALS FOR CONSTRUCTION

The Notice of Decision grants development approval, but does not cover building approval or approvals which may be required during construction, which commonly include the following.

BUILDING APPROVAL

Most building work requires building approval to ensure it complies with building laws such as the Building Code of Australia. If this applies to this proposal, the lessee should engage a private building certifier to assess and approve the building plans before construction begins. A list of licensed certifiers and information about building approval is available from the ACT Planning and Land Authority's website and Customer Service Centres.

PERMITTED VARIATIONS TO APPROVED DEVELOPMENT

Under section 35 of the Planning and Development Regulation 2008 the development as built may vary from the approved development in accordance with section 35 and the permitted construction tolerances and other permitted variations identified in Schedule 1A of that regulation.

Note 1 The development may still need building approval, or further building approval, under the *Building Act 2004*

Note 2 The development must also comply with the lease for the land on which it is carried out.

"TREE DAMAGING ACTIVITY" APPROVAL

A Tree Management Plan under the *Tree Protection Act 2005* is required for approval where it is proposed to undertake groundwork within the tree protection zone of a protected tree or likely to cause damage to, or remove, any trees defined as protected trees by that Act. More information is available from the Department of Territory and Municipal Services.

USE OF VERGES OR OTHER UNLEASED TERRITORY LAND

In accordance with the *Roads and Public Places Act 1937*, road verges and other unleased Territory land must not be used for the carrying out of works, including the storage of materials or waste, without prior approval of the Territory. Approval can be obtained from the Department of Territory and Municipal Services.

WORKS ON UNLEASED TERRITORY LAND – DESIGN AND OPERATIONAL ACCEPTANCE

In accordance with the *Roads and Public Places Act 1937*, no work can be undertaken on unleased Territory land without the approval of the Territory. Such approval must be obtained from the Manager Asset Acceptance, Asset Services Group, TAMS by way of:

1. a certificate of design acceptance prior to the commencement of any work and
2. a certificate of operational acceptance on completion of all works to be handed over to TAMS

Works on unleased Territory land may include the construction or upgrading of driveway verge crossings, public footpaths, roads, street lighting, stormwater works, waste collection amenities, street signs and line marking, road furniture and landscaping.

A certificate of compliance under s296 of the *Planning and Development Act 2007*, may not be issued unless a certificate of design acceptance **AND** a certificate of operational acceptance have both been obtained from TAMS.

CONSTRUCTION REQUIREMENTS

The following information are some key requirements that apply to building work in the Territory. Other requirements may apply to this development.

DEMOLITION AND ASBESTOS MANAGEMENT

Demolition and asbestos management must be undertaken in accordance with the *Building Act 2004* (including the Building Code of Australia) and the *Dangerous Substances Act 2004*. Information about demolition and asbestos management is available from the ACT Planning and Land Authority's web site and Customer Service Centres.

ENVIRONMENT PROTECTION

All building work must be undertaken in accordance with the *Environment Protection Act 1997*, particularly but not exclusively in relation to noise and pollution control. More information is available from the Department of Environment, Climate Change, Energy and Water.

REPAIR OF DAMAGE TO PUBLIC ASSETS

The applicant/lessee is held responsible for all damage to ACT Government assets (including footpaths) caused by the development and they must properly repair any damage to those assets. Before work commences, they should notify the Department of Territory and Municipal Services of any existing damage to public facilities.

UTILITY ASSETS RETENTION

The lessee should obtain a plant location advice from ActewAGL to avoid conflict with existing plant or electrical easements. The lessee will be responsible for the costs associated with the relocation of assets, if necessary. The lessee is to ensure that the water service and water meter are retained in position and in good condition. ActewAGL water meters are accountable items and must not be removed from the site or otherwise disposed of.

WATER RESTRICTIONS AND FILLING OF NEW POOLS, PONDS AND FOUNTAINS

Water restrictions or permanent water conservation measures may be in force in the ACT and may prohibit or affect the filling of new pools, ponds and fountains using potable (tap) water drawn from ACTEW Corporation Limited's potable water supply system. Applicants wishing to use water drawn from the potable water supply system to fill a new pool, pond or fountain are advised to first contact ACTEW 's Water conservation office on (02) 62483131. Where water restrictions or permanent water conservation measures would otherwise prevent or affect the filling of a new pool, pond or fountain, it might be possible to obtain an exemption to fill the pool, pond or fountain using potable water.

DRAINAGE

The Building Code of Australia contains provisions affecting surface drainage and the height of finished floor levels. These may apply to this proposal.

REVIEW OF THE DECISION

The following notes are provided in accordance with regulation 7 of the *ACT Civil and Administrative Tribunal Regulation 2009*. Refer to the Review by the ACT Civil and Administrative Tribunal (ACAT) section of the Notice of Decision for information about its relevance to this development application.

CONTACT DETAILS

The review authority is the ACT Civil and Administrative Tribunal (ACAT).

Location	Contact details
ACT Civil and Administrative Tribunal ACT Magistrates Court Building Knowles Place CANBERRA CITY ACT 2601	Website: www.courts.act.gov.au Email: tribunal@act.gov.au Telephone: (02) 6207 1740 Facsimile: (02) 6205 4855 Post: GPO Box 370, CANBERRA, ACT, 2601 Document exchange: DX 5691

POWERS OF THE ACAT

The ACAT is an independent body. It can review on their merits a large number of decisions made by ACT Government ministers, officials and statutory authorities. The ACAT can agree with, change or reject the original decision, substitute its own decision or send the matter back to the decision maker for reconsideration in accordance with ACAT recommendations.

APPLICATIONS TO THE ACAT

To apply for a review, obtain an application form from the ACAT. If you are applying on behalf of an organisation or association of persons, whether incorporated or not, the Tribunal in deciding whether to support this application will consider the effect of the decision being reviewed on the interests of the organisation or association in terms of its objects or purposes. A copy of the relevant documents will be required to be lodged with the Tribunal.

TIME LIMITS FOR APPLICATIONS

The time limit to make a request for a review is 28 days from receiving this Notice of decision. The time limit can be extended in some circumstances. Check with the ACAT for more details.

FEES

Applications to the ACAT, including an application to be joined as a party to a proceeding, require payment of a fee of not less than \$178 (the Tribunal Registry will advise of the current fee), unless you are receiving legal or financial assistance from the ACT Attorney-General. You can apply to have the fee waived on the grounds of hardship, subject to approval (refer to section 22T of the *ACT Civil and Administrative Tribunal Act 2008*). Decisions to grant assistance are made on the grounds of hardship and that it is reasonable, in all the circumstances, for the assistance to be granted. Write to: The Chief Executive, ACT Department of Justice and Community Safety, GPO Box 158, CANBERRA ACT 2601. Ask the ACAT for more details.

TIME LIMITS FOR REVIEWS OF DECISIONS

The ACAT is required to decide appeals in land and planning and tree protection cases within 120 days after the lodging of the appeal, unless that period is extended by the ACAT upon it being satisfied that it is in the interests of justice to do so.

FORMS OF LEGAL, FINANCIAL AND OTHER ADVICE AND ASSISTANCE

The following organisations can provide advice and assistance if you are eligible:

- ACT Attorney-General, write to The Chief Executive, ACT Department of Justice and Community Safety, GPO Box 158, CANBERRA, ACT, 2601;
- the ACT Legal Aid Office, telephone 1300 654314;
- Legal Advice Bureau, telephone (02) 6247 5700;
- ACT Council of the Ageing, telephone (02) 6282 3777;
- Welfare Rights and Legal Centre, telephone (02) 6247 2177; and
- Environmental Defender's Office (ACT), telephone (02) 6247 9420.

AWARDING OF COSTS

You will have to pay any costs involved in preparing or presenting your case. The ACAT also has the power to award costs against a party if the party contravenes a direction of the ACAT and the ACAT considers it in the interests of justice to make such an order. This power is in addition to the power of the ACAT to strike out a party and to dismiss an application for failure to comply with the ACAT's directions.

ACCESS TO DOCUMENTS ABOUT THE DECISION

You may apply for access to any documents you consider relevant to this decision under the ACT Freedom of Information Act 1989. Information about Freedom of information requests is available on the ACT Planning and Land Authority's web site or by contacting us by phone on (02) 6207 1923.

PROCEDURES OF THE ACAT

The procedures of the ACAT are outlined on the ACAT's website, including in the Guide to the Land and Planning Division and the Guide to the Hearing. Contact the ACAT for alternative ways to access information about the ACAT's procedures.

TRANSLATION AND INTERPRETER SERVICES

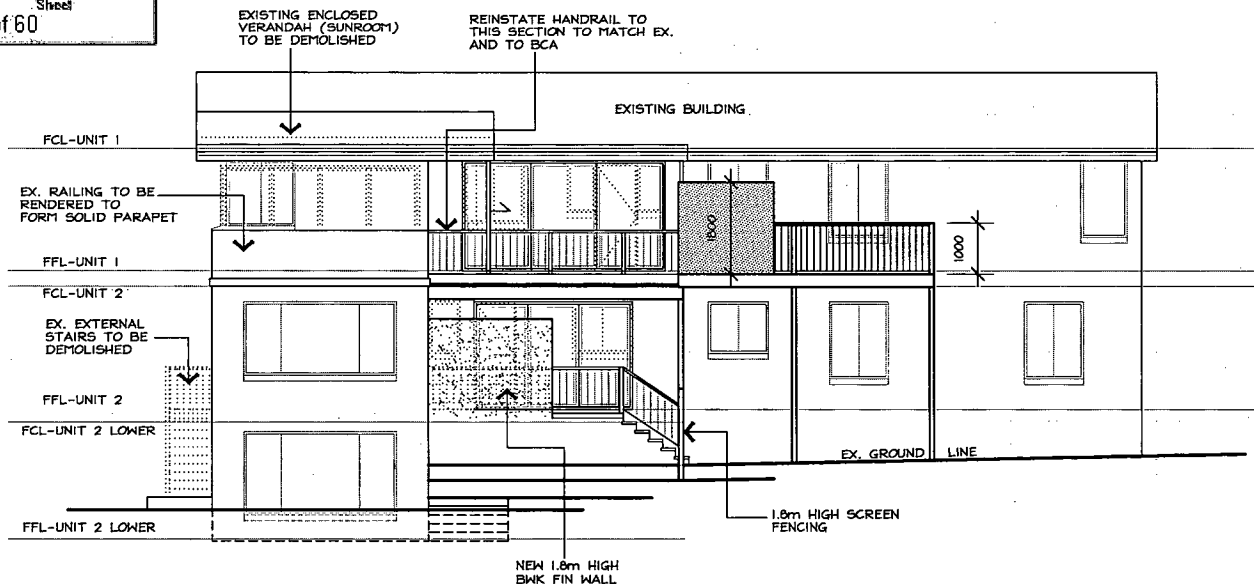
The ACT Government's translation and interpreter service runs 24 hours a day, every day of the week. Telephone 131 450.

ENGLISH	If you need interpreting help, telephone:
ARABIC	إذا احتجت لمساعدة في الترجمة الشفوية ، إتصل برقم الهاتف :
CHINESE	如果你需要传译员的帮助，请打电话：
CROATIAN	Ako trebate pomoć tumača telefonirajte:
GREEK	Αν χρειάζεστε διερμηνέα τηλεφωνήστε στο
ITALIAN	Se avete bisogno di un interprete, telefonate al numero:
MALTESE	Jekk għandek bżonn l-għajhuna t'interpretu, ċempel:
PERSIAN	اگر به ترجمه شفاهی احتیاج دارید به این شماره تلفن کنید:
PORTUGUESE	Se você precisar da ajuda de um intérprete, telefone:
SERBIAN	Ako vam je potrebna pomoć prevodioca telefonirajte:
SPANISH	Si necesita la asistencia de un intérprete, llame al:
TURKISH	Tercümana ihtiyacımız varsa lütfen telefon ediniz:
VIETNAMESE	Nếu bạn cần một người thông-ngôn hãy gọi điện-thoại:

TRANSLATING AND INTERPRETING SERVICE

131 450

Canberra and District - 24 hours a day, seven days a week



ELEVATION D (NORTH-EAST)

ActewAGL acts as agent for ACTEW Corporation

ActewAGL

WATER AND SEWERAGE NETWORK

APPROVED

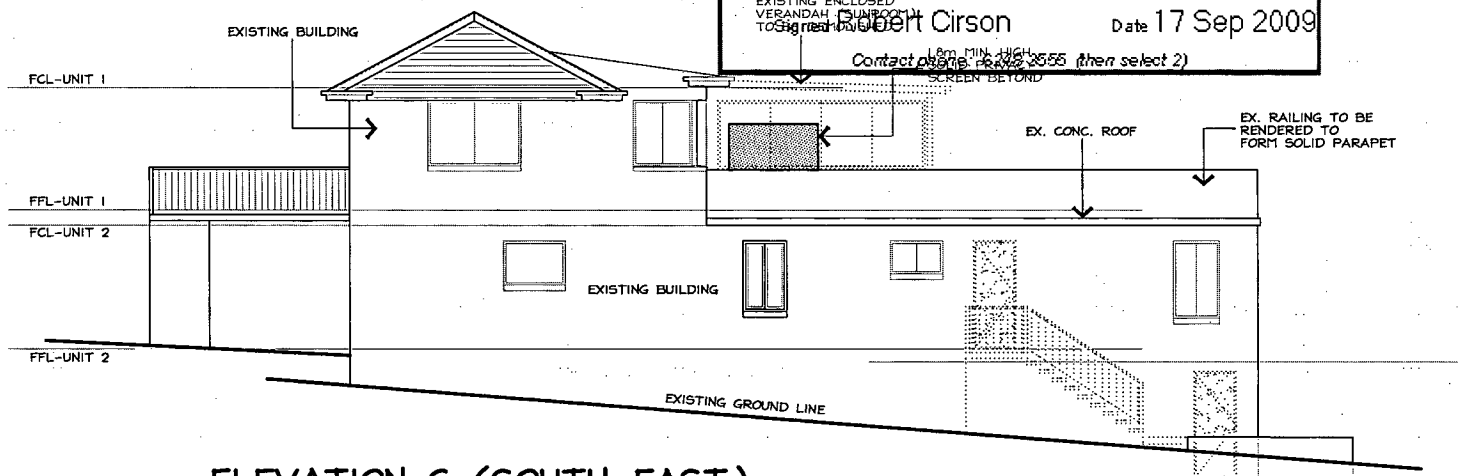
The design depicted in this document has been assessed by ActewAGL and complies with ACTEW's water and sewerage network protection and access requirements

refer to ActewAGL's 'statement of compliance' for additional advice

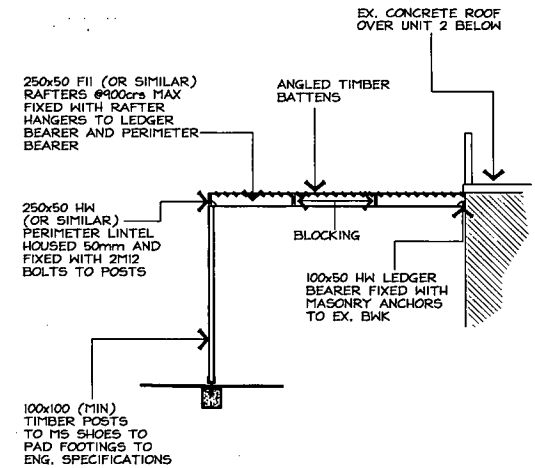
Robert Cirson

Date 17 Sep 2009

Contact phone 06 225 3555 (then select 2)



ELEVATION C (SOUTH-EAST)



SECTION A

GROUND LINES SHOWN ARE ACCURATELY DEPICTED AS MEASURED ON SITE

LAWFULLY CONSTRUCTED WORKS AND PROPOSED REINSTATEMENT OF DUAL OCCUPANCY TO:

BLOCK: 38

SECTION: 84 O'CONNOR

CLIENT:

Carmody by Design



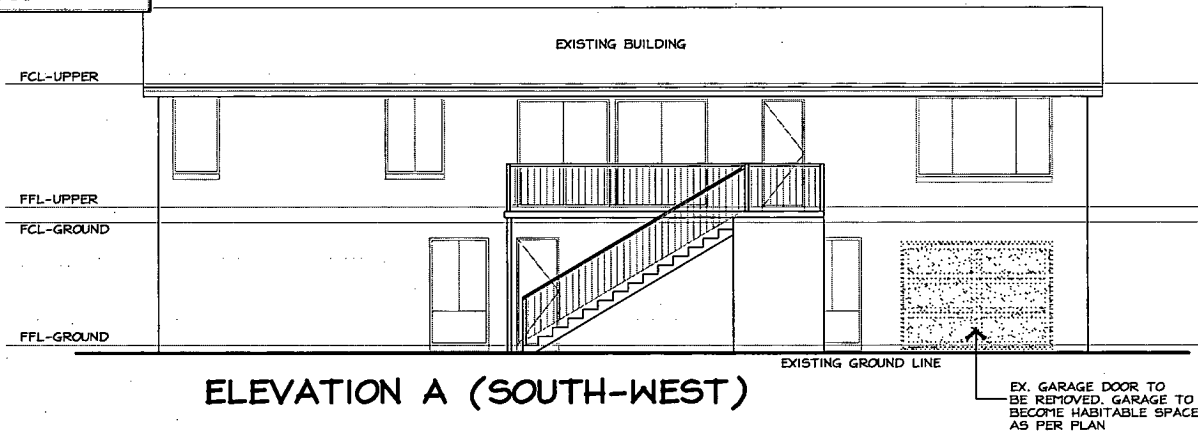
Gina Carmody

DWN: A.KWONG G.CARMODY

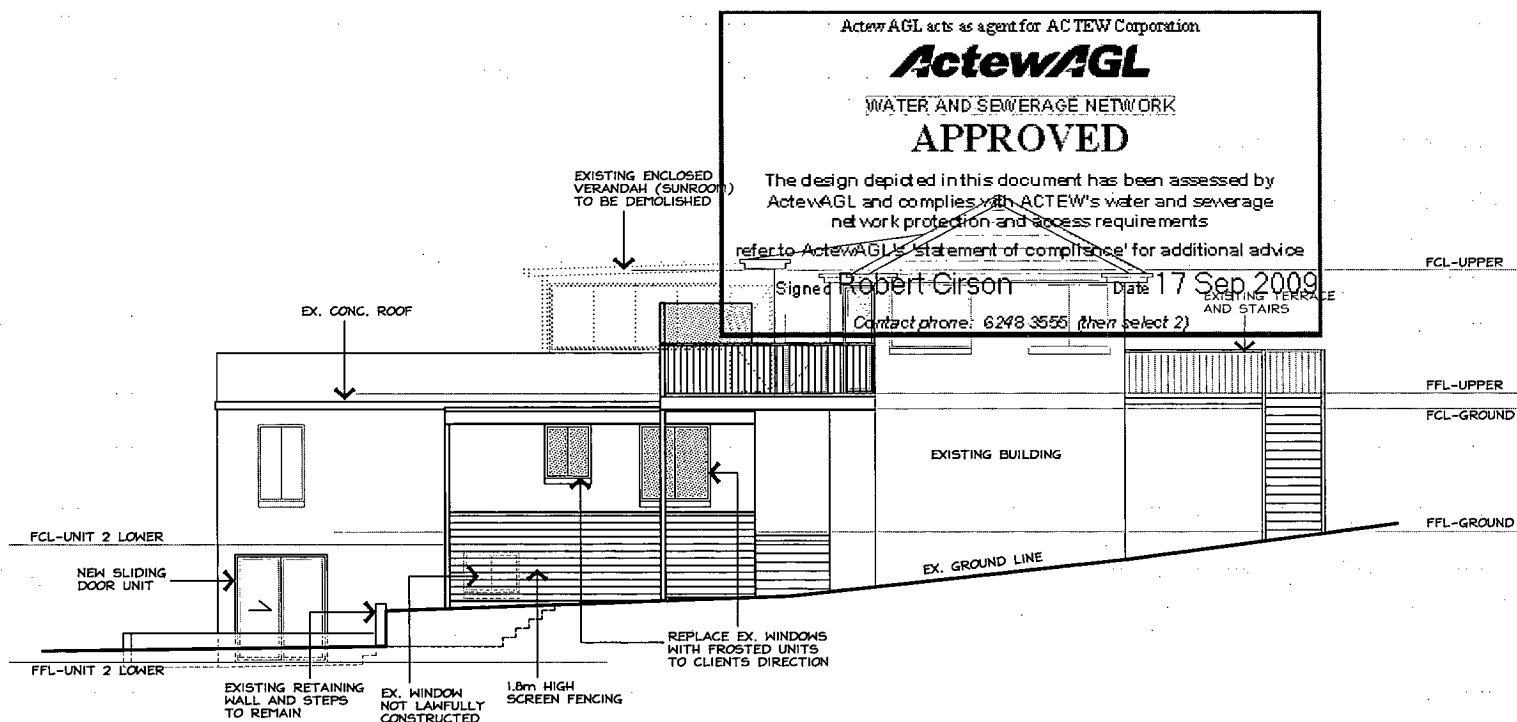
SCALE: 1:100 DATE: 17 AUG 09

DWG No.: 0748 SHEET: 10 OF 11

23



ELEVATION A (SOUTH-WEST)



ELEVATION B (NORTH-WEST)

GROUND LINES SHOWN ARE
ACCURATELY DEPICTED AS
MEASURED ON SITE

**LAWFULLY CONSTRUCTED
WORKS AND PROPOSED
REINSTATEMENT OF
DUAL OCCUPANCY TO:**
BLOCK: 38
SECTION: 84 O'CONNOR
CLIENT:

Carmody by Design

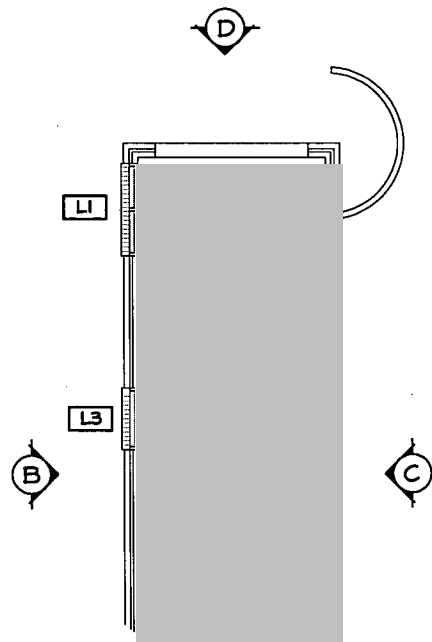


Gina Carmody

DWN: A.KWONG G.CARMODY
SCALE: 1:100 DATE: 17 AUG 09
DWG No.: 0748 SHEET: 9 OF 11

NOTES

- WALL AND INSTALL NEW SD UNIT AS SHOWN
- L2 BRICK UP EX. DOORWAY AND REMOVE EXTERNAL STAIR AND LANDING AND MAKE GOOD
 - L3 DEMOLISH EX. WALL AND FORM NEW WINDOW UNIT AS SHOWN
 - L4 DEMOLISH EX. L'DRY AND MAKE GOOD
 - L5 DEMOLISH EX. ENSUITE AND DEMOLISH SUBFLOOR WALLS TO FORM ENTRY TO NEW STAIR AS SHOWN. CONVERT EX. SUBFLOOR SPACE TO BCA TO FORM KITCHEN AND PANTRY AS SHOWN. MAKE GOOD



LOWER FLOOR NOTIFICATION PLAN - UNIT 2

ActewAGL acts as agent for ACTEW Corporation.

ActewAGL

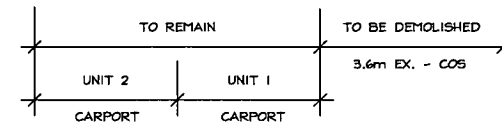
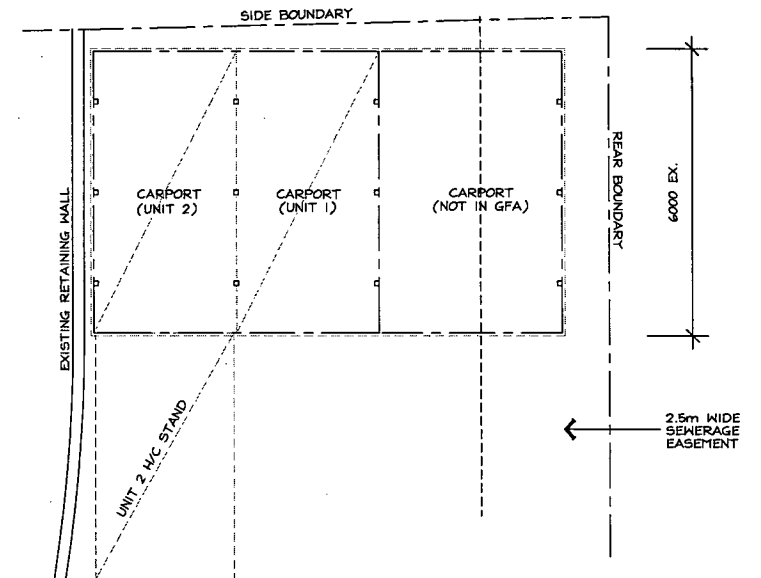
WATER AND SEWERAGE NETWORK

APPROVED

The design depicted in this document has been assessed by ActewAGL and complies with ACTEW's water and sewerage, network protection and access requirements refer to ActewAGL's 'statement of compliance' for additional advice

Signed Robert Cirson Date 17 Sep 2009

Contact phone: 6248 3555 (then select 2)



CARPORT NOTIFICATION PLAN

GROUND LINES SHOWN ARE ACCURATELY DEPICTED AS MEASURED ON SITE

Carmody by Design



Gina Carmody

LAWFULLY CONSTRUCTED WORKS AND PROPOSED REINSTATEMENT OF DUAL OCCUPANCY TO:

BLOCK: 38

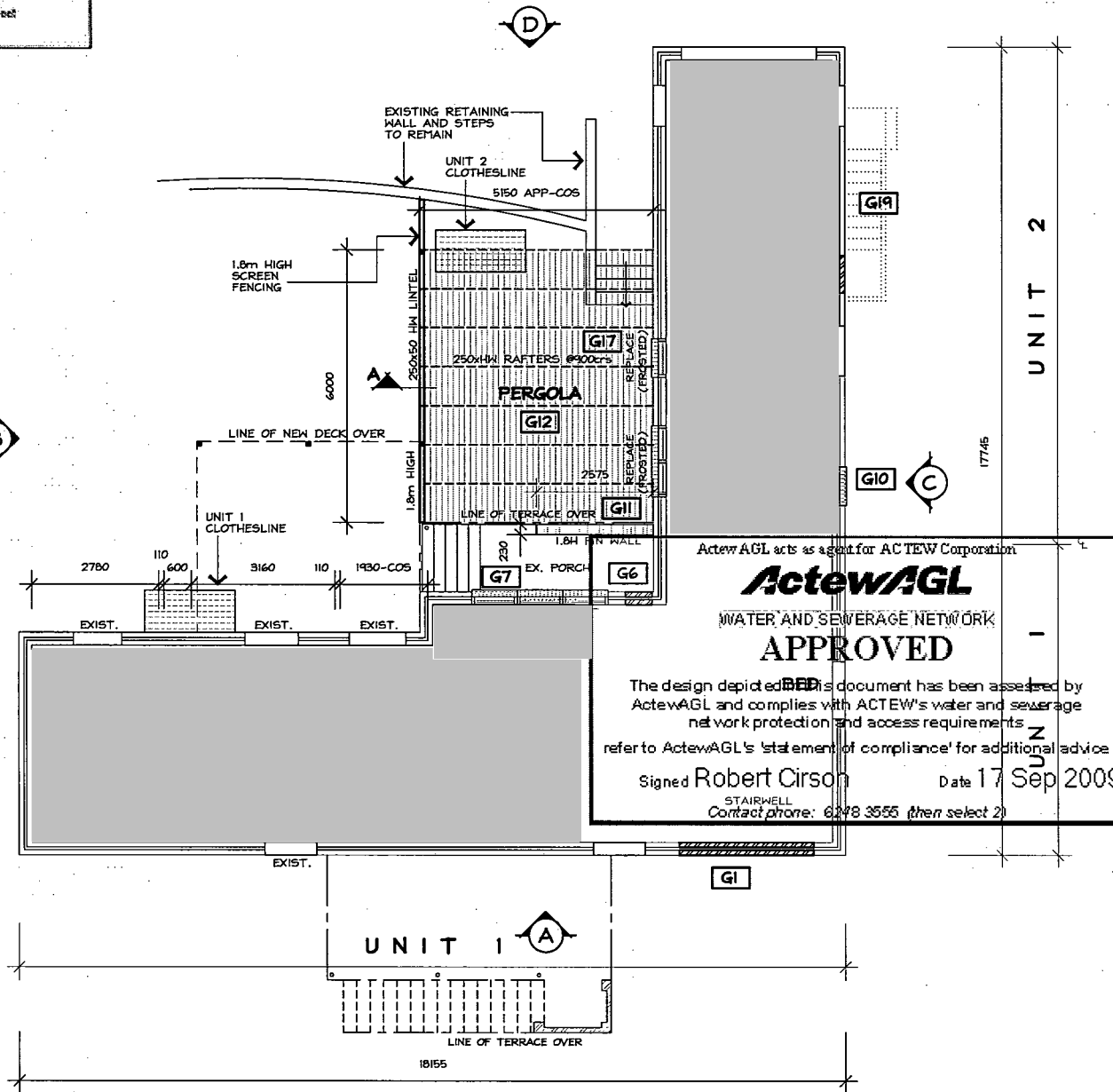
SECTION: 84 O'CONNOR

CLIENT:

DWN: A.KWONG G.CARMODY

SCALE: 1:100 DATE: 17 AUG 09

DWG No.: **0748** SHEET: 8 OF 11



ALTERATIONS

- G1 REMOVE EX. GARAGE DOOR AND BRICK UP AND RENDER TO MATCH EXISTING
- G2 BUILD NEW STAIRWELL TO UPSTAIRS
- G3 CONVERT EX. GARAGE TO BEDROOM AS SHOWN. PROVIDE WPM TO BCA
- G4 BRICK UP EX. OPENING AND RENDER TO MATCH EX.
- G5 REMOVE EX. STAIRWELL. NAD MAKE GOOD AND DEMOLISH EX. L'DRY
- G6 REMOVE EX. WINDOW AND BRICK UP TO MATCH EXISTING
- G7 REMOVE EX. WINDOW AND DOOR AND DEMOLISH WALL TO FORM NEW DOORWAY. INSTALL NEW WINDOW UNIT TO SUIT
- G8 KNOCK THROUGH EX. BRICKWORK AND EXCAVATE SUBFLOOR TO FORM BED 3 AND BED 4 AND BATHROOM AS SHOWN. NEW TIMBER FLOOR TO BCA
- G9 NEW DRAINAGE AND BATHROOM FITOUT TO BCA. NEW BHK WALLS AS SHOWN
- G10 DEMOLISH EX. BHK AND INSTALL NEW WINDOW AND MAKE GOOD
- G11 CREATE NEW MASONRY FIN WALL TO BCA - 1800mm HIGH AS SHOWN
- G12 NEW PERGOLA AS DRAWN
- G13 DEMOLISH EX. ENSUITE AND DEMOLISH FLOOR TO PROVIDE INTERNAL STAIR TO LOWER LEVEL AND MAKE GOOD
- G14 DEMOLISH WALL AND BUILD NEW ROBE TO BEDROOM
- G15 PROVIDE FROSTED GLAZED WINDOW TO EX. REVEALS
- G16 REMOVE EX. KITCHEN AND FORM NEW ENSUITE AS SHOWN AND MAKE GOOD
- G17 REMOVE EX. WINDOW AND INSTALL FROSTED GLAZED UNIT TO EX. REVEALS
- G18 CONSTRUCT NEW STUDWALL AND PROVIDE NEW DOORWAY FROM BEDROOM AS SHOWN
- G19 DEMOLISH EX. STAIR AND MAKE GOOD

LAWFULLY CONSTRUCTED WORKS AND PROPOSED REINSTATEMENT OF DUAL OCCUPANCY TO:

BLOCK: 38

SECTION: 84 O'CONNOR

CLIENT:

Carmody by Design



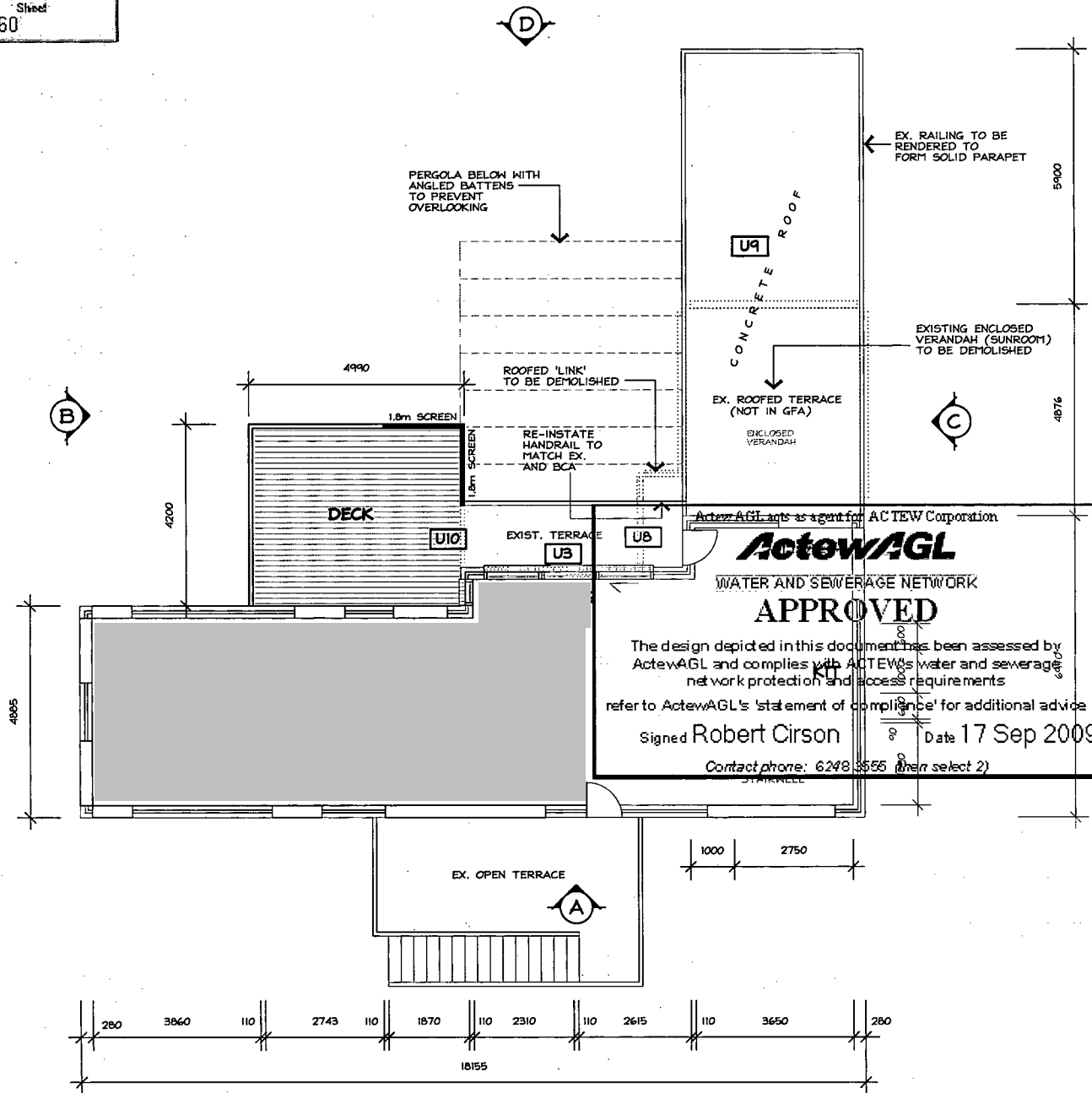
Gina Carmody

DWN: A.KWONG G.CARMODY

SCALE: 1:100 DATE: 17 AUG 09

DWG No.: 0748 SHEET: 7 OF 11

PROPOSED GROUND FLOOR NOTIFICATION PLAN



PROPOSED UPPER FLOOR NOTIFICATION PLAN - UNIT 1

ALTERATIONS TO EXISTING

- U1 DEMOLISH EX. STAIR AND WALLS SURROUNDING EXISTING MEALS AREA AND RE-SUPPORT TO AS1684.
- U2 DEMOLISH EX. KITCHEN AND MAKE GOOD AND RENEW CEILING TO COMPLETE KITCHEN/MEALS/LIVING
- U3 REMOVE EX. DOOR AND WINDOW UNITS AND PROVIDE NEW LINTELS OVER TO FORM OPENINGS TO SUIT NEW SLIDING DOOR UNIT AND MAKE GOOD
- U4 DEMOLISH EX. FLOOR TO FORM NEW STAIRWELL TO DOWNSTAIRS
- U5 RELOCATE KITCHEN, NEW DRAINAGE AS REQ'D AND MAKE GOOD
- U6 DEMOLISH INTERNAL WALL AND BUILD NEW STUDWALL TO FORM HIR AS SHOWN
- U7 NEW DOORWAY TO HALL AS SHOWN
- U8 DEMOLISH EX. GLAZED/ROOFED LINK
- U9 DEMOLISH EX. VERANDAH/SUNROOM AND INFILL EX. HANDRAIL AND RENDER TO FORM PARAPET. ENSURE DRAINAGE TO BCA
- U10 REMOVE RAILING AND BUILD NEW TIMBER DECK AS SHOWN

LAWFULLY CONSTRUCTED WORKS AND PROPOSED REINSTATEMENT OF DUAL OCCUPANCY TO:

BLOCK: 38
SECTION: 84 O'CONNOR

Carmody by Design



Gina Carmody

DWN: A.KWONG G.CARMODY
SCALE: 1:100 DATE: 17 AUG 09
DWG No.: 0748 SHEET: 6 OF 11

ACT Planning and Land Authority

Challis St

Dickson ACT 2602

Dear Sir/Madam

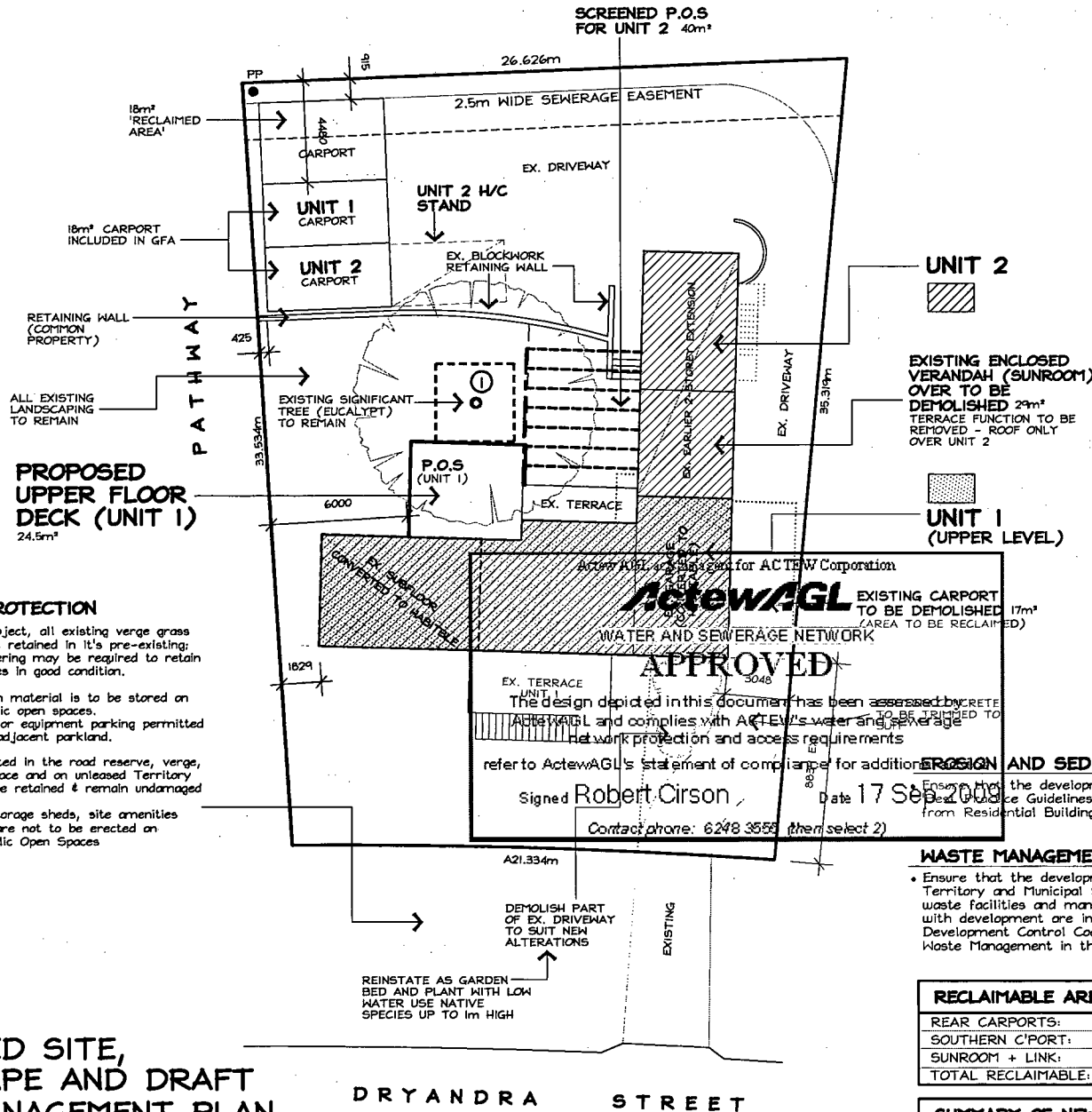
INTERESTED PARTIES IN BLOCK 38 SECTION 84 O'CONNOR

The existing property is owned by [REDACTED] and a mortgage
with the [REDACTED] is secured to the property.

Kind regards

Gina Carmody

ActewAGL
WATER AND SEWERAGE NETWORK
APPROVED
The design depicted in this document has been assessed by
ActewAGL and complies with ACTEW's water and sewerage
network protection and access requirements
refer to ActewAGL's 'statement of compliance' for additional advice
Signed Robert Cirson Date 17 Sep 2009
Contact phone: 6248 3555 (then select 2)



BUILDING NOTES

ALL DIMENSIONS TO BE CHECKED ON SITE BEFORE COMMENCING ANY WORK. USE WRITTEN DIMENSIONS ONLY. DO NOT SCALE OFF DRAWINGS

ALL BUILDING WORK TO COMPLY WITH B.C.A & RELEVANT SUPPLEMENTS

ALL TIMBER FRAMING TO COMPLY WITH AS1684 & RELEVANT SUPPLEMENTS

ALL NEW PLUMBING TO BE CARRIED OUT BY A LICENSED PLUMBER AND IS TO BE IN ACCORDANCE WITH THE CANBERRA SEWERAGE AND WATER SUPPLY REGULATIONS

ALL AREAS TO BE MADE GOOD BY BUILDER WHERE DISTURBED BY NEW WORK

INSTALL SMOKE DETECTORS WHERE REQUIRED AND IN ACCORDANCE WITH AS3876

ALL TIMBER TO BE EXPOSED TO ELEMENTS TO BE ENTIRELY SEALED WITH APPROPRIATE PRODUCT TO MAN. SPEC BEFORE CONSTRUCTION AND MAINTAINED TO MAN. SPECIFICATIONS

MAINTAIN EXIST. STRUCTURE IN STABLE CONDITION AT ALL TIMES PARTICULARLY DURING CONSTRUCTION

DRAFT TREE MANAGEMENT PLAN		
No.	TYPE	ACTION
1	EUCALYPT SIGNIFICANT	TO REMAIN AND TO BE PROTECTED DURING CONSTRUCTION WITH 1.8m HIGH CHAIN MESH FENCE

LAWFULLY CONSTRUCTED WORKS AND PROPOSED REINSTATEMENT OF DUAL OCCUPANCY TO:

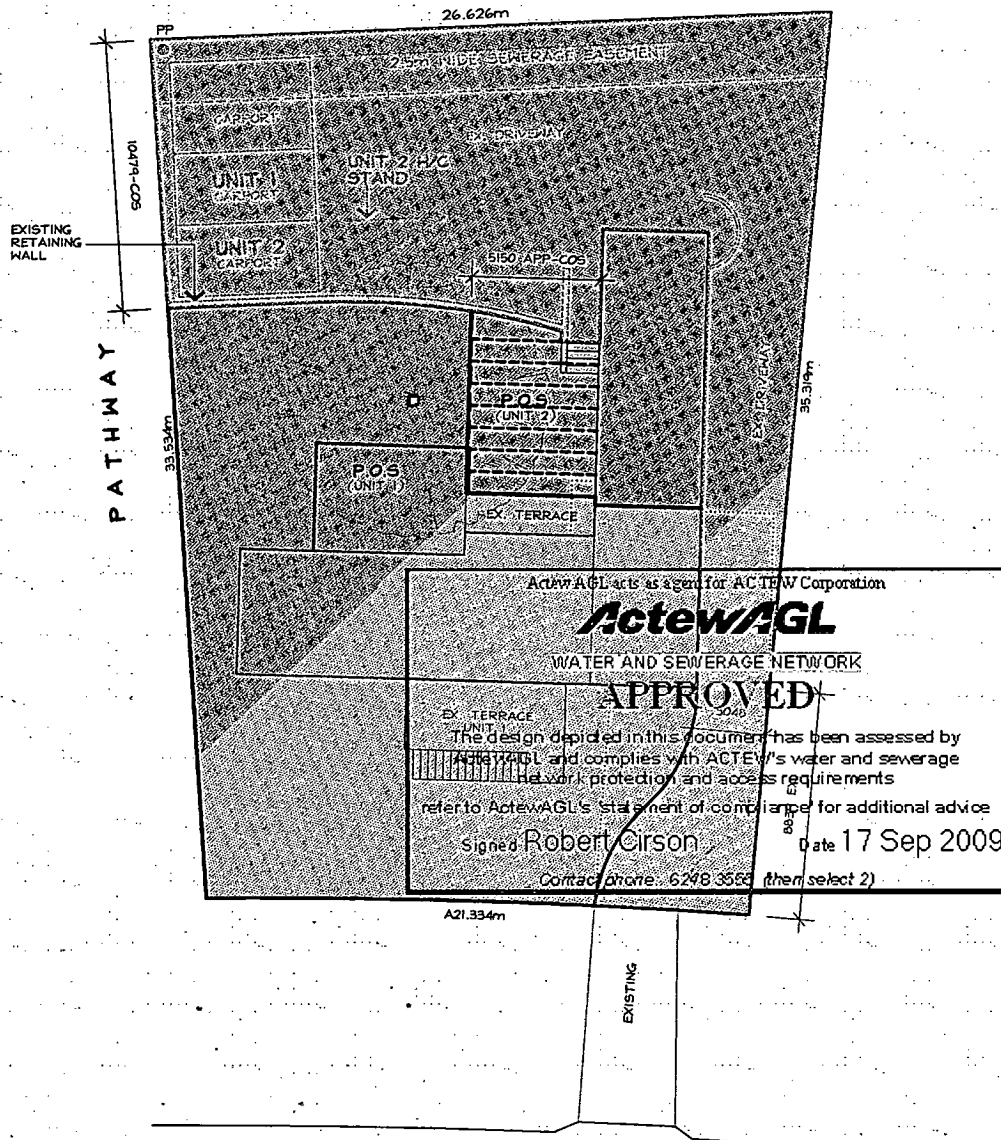
BLOCK: 38
SECTION: 84 O'CONNOR

Carmody by Design



Gina Carmody

DWN: A.KWONG G.CARMODY
SCALE: 1:200 DATE: 17 AUG 09
DWG No.: 0748 SHEET: 5 OF 11



BLOCK SIZE: 817m²

PROPOSED UNIT TITLE PLAN

1:200

BLOCK: 38

SECTION: 84

O'CONNOR

-

LAWFULLY CONSTRUCTED
WORKS AND PROPOSED
REINSTATEMENT OF
DUAL OCCUPANCY TO:

BLOCK: 38

SECTION: 84 O'CONNOR

Carmody by Design



· Gina Carmody ·

DWN: A.KWONG G.CARMODY

SCALE: 1:200 DATE: 17 AUG 09

DWG No.: **0748** SHEET: 11 OF 11

JUSTIFICATION OF RULE 1

BLOCK 38 SECTION 84 O'CONNOR

The original dual occupancy was approved and lawfully constructed prior to 1 September 2003 and we therefore wish to unit title the dwellings, in accordance with R1(b). Whilst some alteration and reconfigurations to the dwellings are proposed, the original plot ratio has not been exceeded and the original double brick wall separation of the two units has been maintained. The proposal is sympathetic to the original dual occupancy. The dwellings have been occupied separately for many years and there will be no increase in impact to neighbours but the unit titling of the properties will provide the opportunity for a range of people within the community to enter the inner north housing market. Large dwellings no longer meet the requirements of the demographics of the area, the two smaller dwellings are better suited to this inner north area, particularly with the university being close by.

ActewAGL acts as agent for ACTEW Corporation

ActewAGL

WATER AND SEWERAGE NETWORK

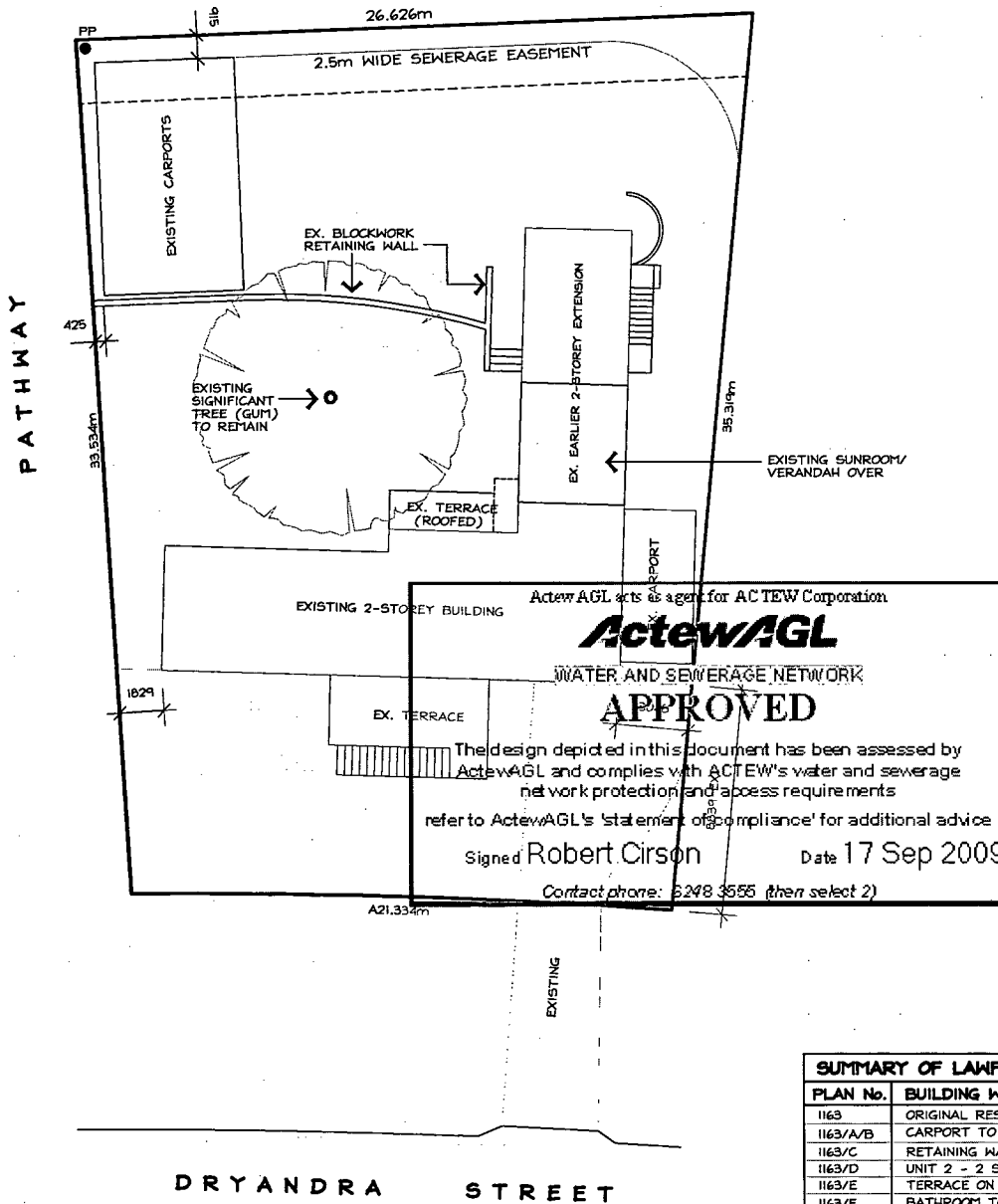
APPROVED

The design depicted in this document has been assessed by ActewAGL and complies with ACTEW's water and sewerage network protection and access requirements
refer to ActewAGL's 'statement of compliance' for additional advice

Signed Robert Cirson

Date 17 Sep 2009

Contact phone: 6248 3555 (then select 2)



EXISTING
SITE PLAN

BLOCK SIZE: 817m²

1:200
BLOCK: 38
SECTION: 84
O'CONNOR

BUILDING NOTES

ALL DIMENSIONS TO BE CHECKED ON SITE BEFORE COMMENCING ANY WORK. USE WRITTEN DIMENSIONS ONLY. DO NOT SCALE OFF DRAWINGS

ALL BUILDING WORK TO COMPLY WITH B.C.A & RELEVANT SUPPLEMENTS

ALL TIMBER FRAMING TO COMPLY WITH AS1684 & RELEVANT SUPPLEMENTS

ALL NEW PLUMBING TO BE CARRIED OUT BY A LICENSED PLUMBER AND IS TO BE IN ACCORDANCE WITH THE CANBERRA SEWERAGE AND WATER SUPPLY REGULATIONS

ALL AREAS TO BE MADE GOOD BY BUILDER WHERE DISTURBED BY NEW WORK

INSTALL SMOKE DETECTORS WHERE REQUIRED AND IN ACCORDANCE WITH AS3876

ALL TIMBER TO BE EXPOSED TO ELEMENTS TO BE ENTIRELY SEALED WITH APPROPRIATE PRODUCT TO MAN, SPEC BEFORE CONSTRUCTION AND MAINTAINED TO MAN. SPECIFICATIONS

MAINTAIN EXIST. STRUCTURE IN STABLE CONDITION AT ALL TIMES PARTICULARLY DURING CONSTRUCTION

LAWFULLY CONSTRUCTED WORKS AND PROPOSED REINSTATEMENT OF DUAL OCCUPANCY TO:

BLOCK: 38
SECTION: 84 O'CONNOR

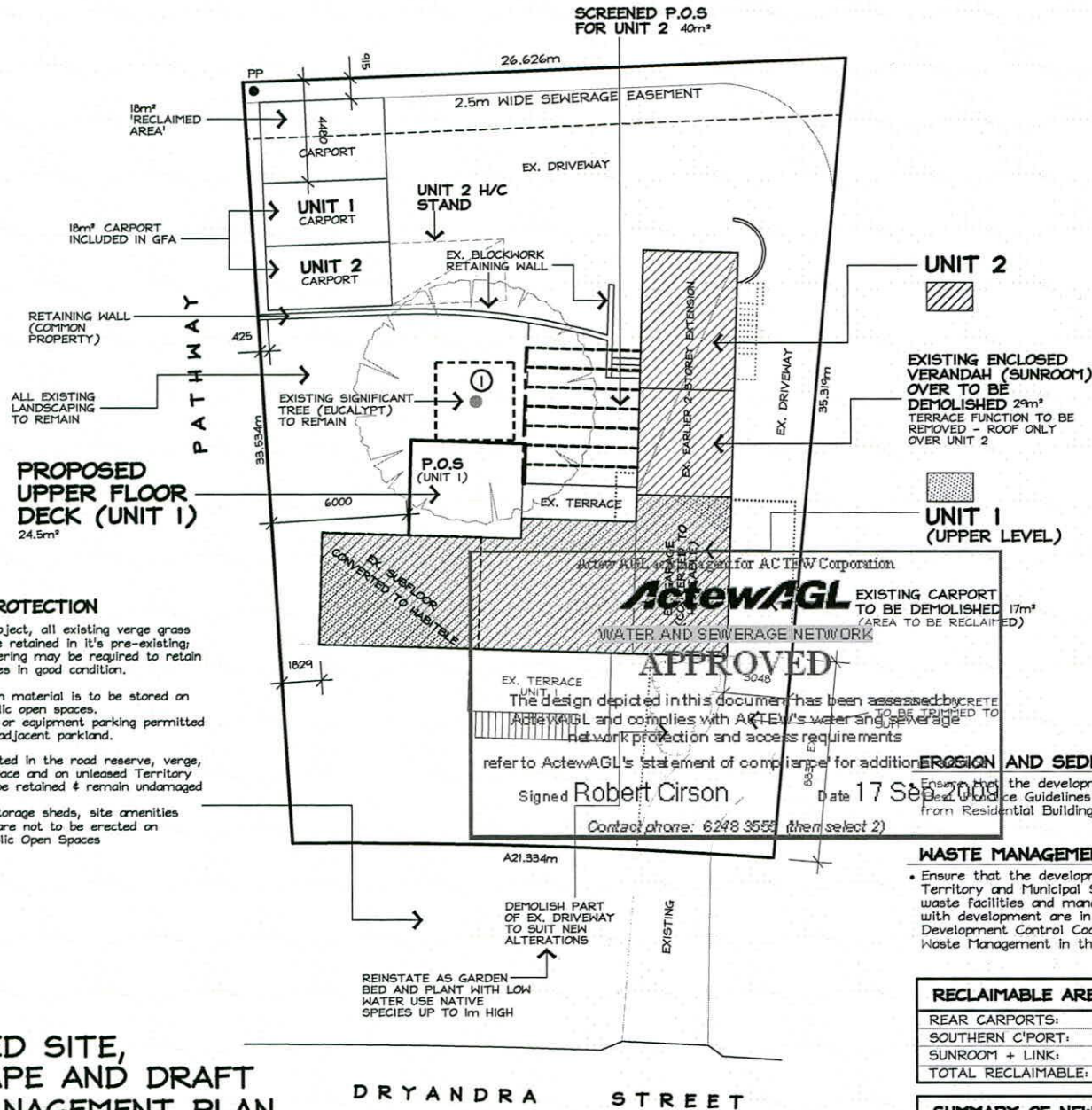
Carmody by Design



Gina Carmody

SUMMARY OF LAWFULLY CONSTRUCTED AREAS		
PLAN No.	BUILDING WORK	AREA
1163	ORIGINAL RESIDENCE	170.0m ²
1163/A/B	CARPORT TO SOUTH SIDE	17m ²
1163/C	RETAINING WALLS TO NORTH BDY	NOT IN GFA
1163/D	UNIT 2 - 2 STOREY EXTENSION	65.1m ²
1163/E	TERRACE ON TOP OF UNIT 2	NOT IN GFA
1163/F	BATHROOM TO UNIT 2	2.8m ²
1163/G	CARPORTS - NOT CONSTRUCTED	N/C
1163/H	CARPORTS - NOT CONSTRUCTED	N/C
1163/I	EXISTING CARPORTS	50m ²
1163/J	SUNROOM + LINK	29.0m ²
EXISTING TOTAL AREA:		333.9m ²
EXISTING PLOT RATIO:		40.87%

DWN: A.KWONG G.CARMODY
SCALE: 1:200 DATE: 17 AUG 09
DWG No.: 0748 SHEET: 1 OF 11



BUILDING NOTES

ALL DIMENSIONS TO BE CHECKED ON SITE BEFORE COMMENCING ANY WORK. USE WRITTEN DIMENSIONS ONLY. DO NOT SCALE OFF DRAWINGS

ALL BUILDING WORK TO COMPLY WITH B.C.A & RELEVANT SUPPLEMENTS

ALL TIMBER FRAMING TO COMPLY WITH AS1684 & RELEVANT SUPPLEMENTS

ALL NEW PLUMBING TO BE CARRIED OUT BY A LICENSED PLUMBER AND IS TO BE IN ACCORDANCE WITH THE CANBERRA SEWERAGE AND WATER SUPPLY REGULATIONS

ALL AREAS TO BE MADE GOOD BY BUILDER WHERE DISTURBED BY NEW WORK

INSTALL SMOKE DETECTORS WHERE REQUIRED AND IN ACCORDANCE WITH A53876

ALL TIMBER TO BE EXPOSED TO ELEMENTS TO BE ENTIRELY SEALED WITH APPROPRIATE PRODUCT TO MAN. SPEC BEFORE CONSTRUCTION AND MAINTAINED TO MAN. SPECIFICATIONS

MAINTAIN EXIST. STRUCTURE IN STABLE CONDITION AT ALL TIMES PARTICULARLY DURING CONSTRUCTION

DRAFT TREE MANAGEMENT PLAN

No.	TYPE	ACTION
1	EUCALYPT SIGNIFICANT	TO REMAIN AND TO BE PROTECTED DURING CONSTRUCTION WITH 1.8m HIGH CHAIN MESH FENCE

LAWFULLY CONSTRUCTED WORKS AND PROPOSED REINSTATEMENT OF DUAL OCCUPANCY TO:

BLOCK: 38

SECTION: 84 O'CONNOR

Carmody by Design



Gina Carmody

DWN: A.KWONG G.CARMODY

SCALE: 1:200 DATE: 17 AUG 09

DWG No.: 0748 SHEET: 5 OF 11

VERGE PROTECTION

During the project, all existing verge grass cover must be retained in it's pre-existing condition. Watering may be required to retain grass and trees in good condition.

No construction material is to be stored on verges or public open spaces.
No carparking or equipment parking permitted on verges or adjacent parkland.

All trees located in the road reserve, verge, public open space and on unleased Territory land, are to be retained & remain undamaged

Site sheds, storage sheds, site amenities or billboards are not to be erected on verges or Public Open Spaces



PROPOSED SITE, LANDSCAPE AND DRAFT TREE MANAGEMENT PLAN

1:200

BLOCK: 38

SECTION: 84

O'CONNOR

WASTE MANAGEMENT

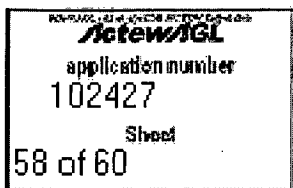
- Ensure that the development complies with Territory and Municipal Services stating that waste facilities and management associated with development are in accordance with the Development Control Code for Best Practice Waste Management in the ACT 1999

RECLAIMABLE AREAS

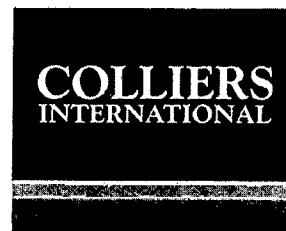
REAR CARPORTS:	14.0m ²
SOUTHERN C'PORT:	17.0m ²
SUNROOM + LINK:	29.0m ²
TOTAL RECLAIMABLE:	307.0m ²

SUMMARY OF NEW AREAS

MODIFIED UNIT 1 GFA:	196.0m ²
MODIFIED UNIT 2 GFA:	75.0m ²
18m PER DWELLING C'PORT:	36.0m ²
NEW TOTAL GFA:	307.0m ²
NEW PLOT RATIO:	37.57%



Quality
Endorsed
Company
ISO 9001 Lic 6350
SNI Global



Colliers International
Consultancy and Valuation Pty Limited
ABN 88076848112
Ground Floor
21 - 23 Marcus Clarke Street
Canberra ACT 2600
Australia
GPO Box 449 Canberra ACT 2601
Tel 61 2 6257 2121 Fax 02 6257 2937

26 August 2009

The Director
ACTPLA
Dame Pattie Menzies House
16 Challis Street
Dickson ACT 2602

PUBLIC NOTIFICATION

Dear Sir/Madam

Block 38 Section 84, O'Connor
78 Dryandra Street

INSTRUCTIONS

We refer to instructions to complete a valuation assessment for Change of Use charge purposes for the above mentioned property.

This valuation report is assessed in accordance with the requirements of Section 276 of the Planning and Development Act 2007.

BRIEF DESCRIPTION

The subject site comprises a 817 square metre block that is developed with a two storey property comprising of a one (1) bedroom plus study unit with laundry and brick single garage under, and a one (1) bedroom unit with second bathroom and laundry under. Additional improvements include three car carport, enclosed and open verandahs and established grounds.

Signed Robert Cirson

Date 17 Sep 2009

VALUATION ASSESSMENT

In accordance with Section 276 and 277 of the Planning and Development Act 2007, the Crown Lessee is required to pay a Change of Use charge for the variation of a Crown Lease where it adds value.

The following is a summary of our assessment for the proposed variation.

We note that should the approval process result in approval conditions that have an effect on these values, we reserve the right to alter this assessment.

'After' Value (V1)

Less 'Before' Value (V2)

Added Value

Change of Use charge @ 50%

Our Knowledge is your Property

Block 38 Section 84, O'Connor
August 2009

Our Change of Use charge assessment to allow the variation of the existing residential purpose clause and amalgamate four sites to permit two (2) dwellings is therefore

If you have any further queries, please do not hesitate to call the writer.

Yours sincerely,
Colliers International Consultancy and Valuation Pty Limited

L. Notaras AAPI
Certified Practising Valuer
Consultancy and Valuation Pty Ltd
Registered Valuer in N.S.W. No. 6684

ActewAGL acts as agent for ACTEW Corporation

ActewAGL

WATER AND SEWERAGE NETWORK

APPROVED

The design depicted in this document has been assessed by
ActewAGL and complies with ACTEW's water and sewerage
network protection and access requirements
refer to ActewAGL's 'statement of compliance' for additional advice

Signed Robert Cirson Date 17 Sep 2009

Contact phone: 6248 3555 (then select 2)



ActewAGL
Always.

ActewAGL House 221 London Circuit Canberra ACT 2600 • GPO Box 366 Canberra ACT 2601
Telephone 13 14 93 Facsimile 02 6249 7237 www.actewagl.com.au

20th March 2009

Re: G95/267/15-550

Cc: Gina Carmody (Carmody by Design)

Dear I

Re: Carport & Retaining wall Block 38 Section 84 Suburb O Connor

The application to infringe the 2.5m sewer easement at the rear of the block for the existing carport and retaining wall as to the drawings submitted is conditionally approved. This approval is subject to the strict conditions set out below and of the Network Protection Requirements.

- ActewAGL**
WATER AND SEWERAGE NETWORK
APPROVED
- (a) Access to the service main and manholes must be provided at all times.
- (b) Lessee accepts responsibility for removal and reinstatement if required by ACTEW Corporation and at the lesser cost. The owner is responsible for the dismantling of mountable structures in non-emergency (planned) situations where ActewAGL give more than seven days notice to move the structure. ActewAGL will dismantle the structure in an emergency or where it is not possible to agree within the required time frame for the owner to carry out the work. ActewAGL will not reimburse owners the costs for dismantling and reinstating demountable structures.
- (c) The structure is not to be altered or enclosed in any way and access is to be maintained. *Contact phone: 6248 3555 (then select 2)*
- (d) The footings do not impose a load on the pipe. Expansion joints in concrete over sewer easement.
- (f) An original of this letter is to be provided to your building certifier with instructions to ensure it is placed on the ACTPLA building file, or a copy of the letter is to be placed on the ACTPLA building file by the lessee.

If you require any further information you may contact me on 6242 1164

Yours Sincerely

E Milczarek
Network Protection Officer



REMOVE GARAGE DOOR & REPLACE WITH WINDOW



BUILDING MANUAL



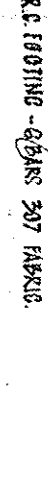
doi:10.1371/journal.pone.0142040.g001



100



SLAVE: 11 55

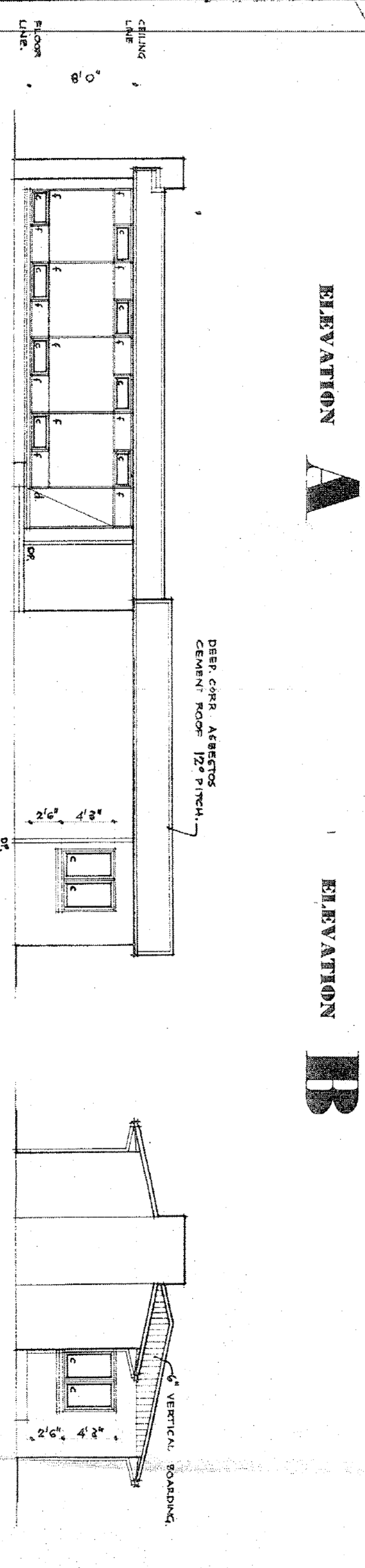


33

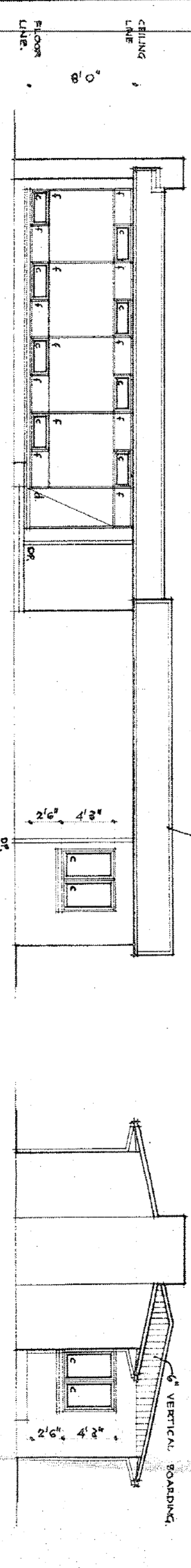
BEKRAHOMELAH

55.

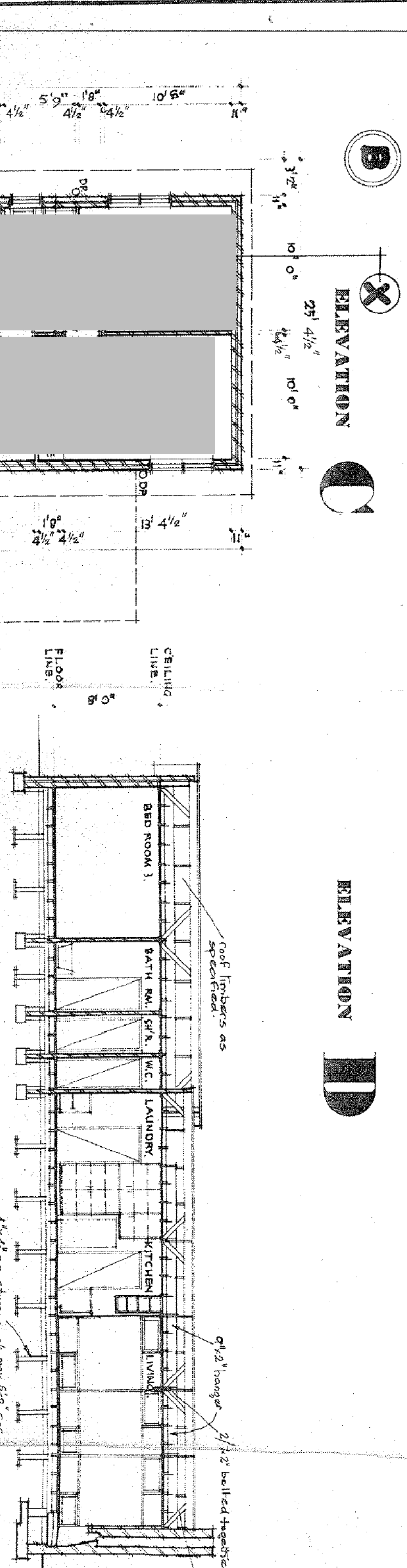
STRUCTURAL DETAILS: HALF INCH



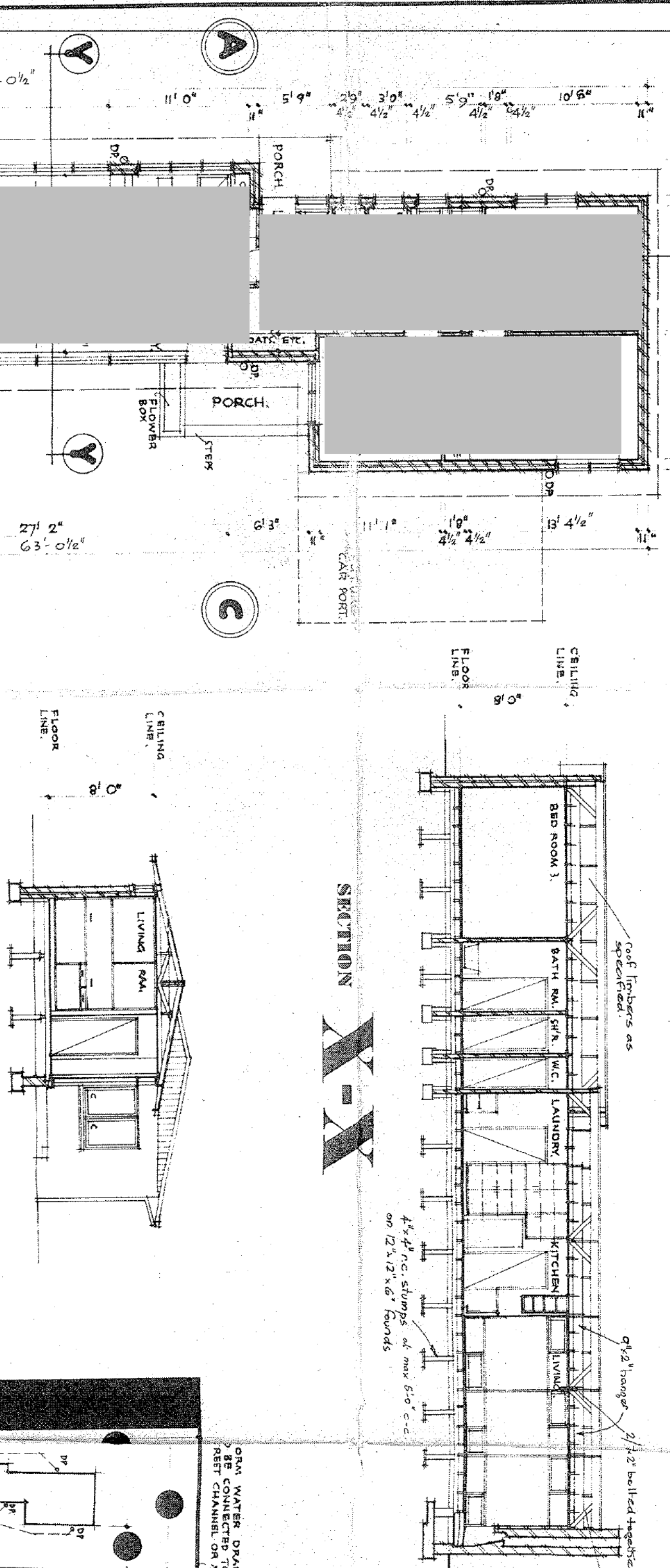
ELEVATION



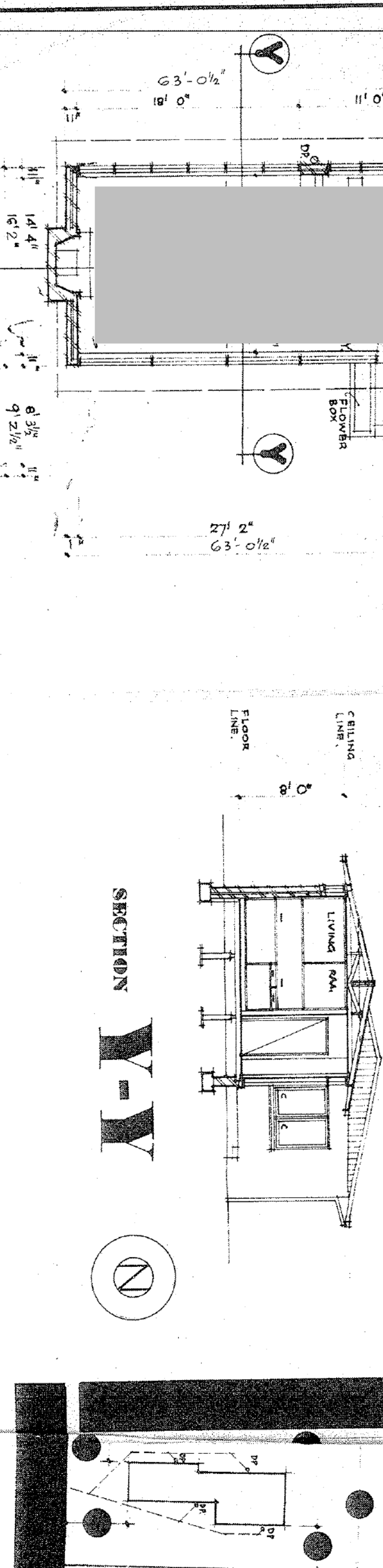
RELEVATION



SECTION X



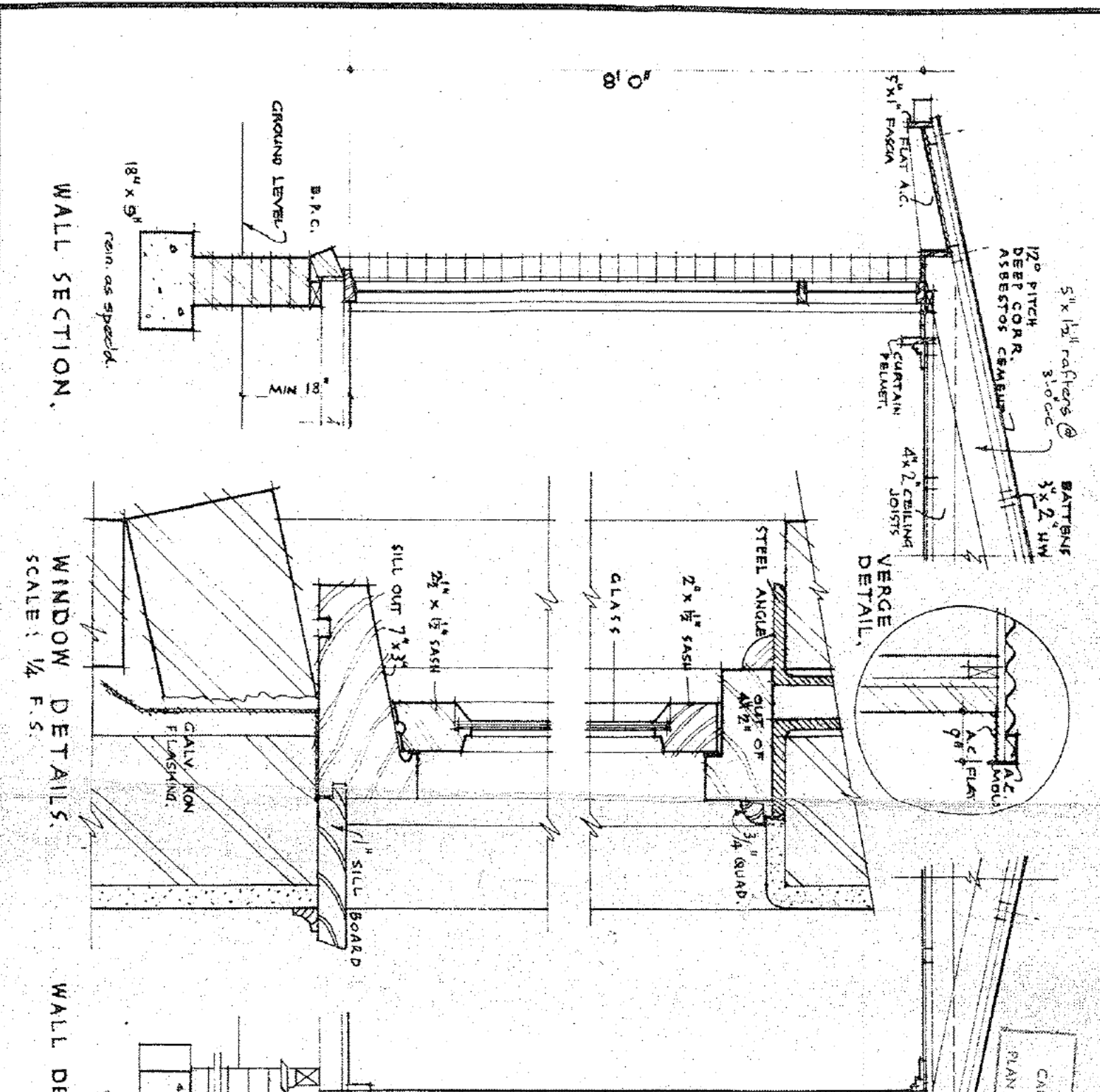
SECTION



AREA: 1,157 SQUARE FEET

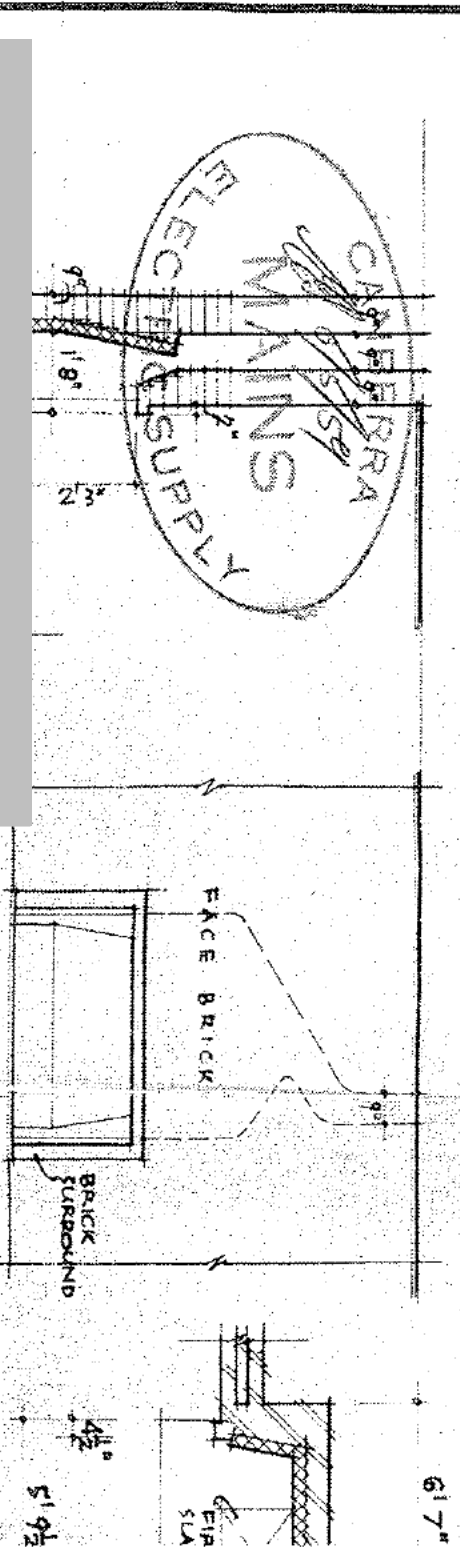
Block PLAN

One in 10 Party Head

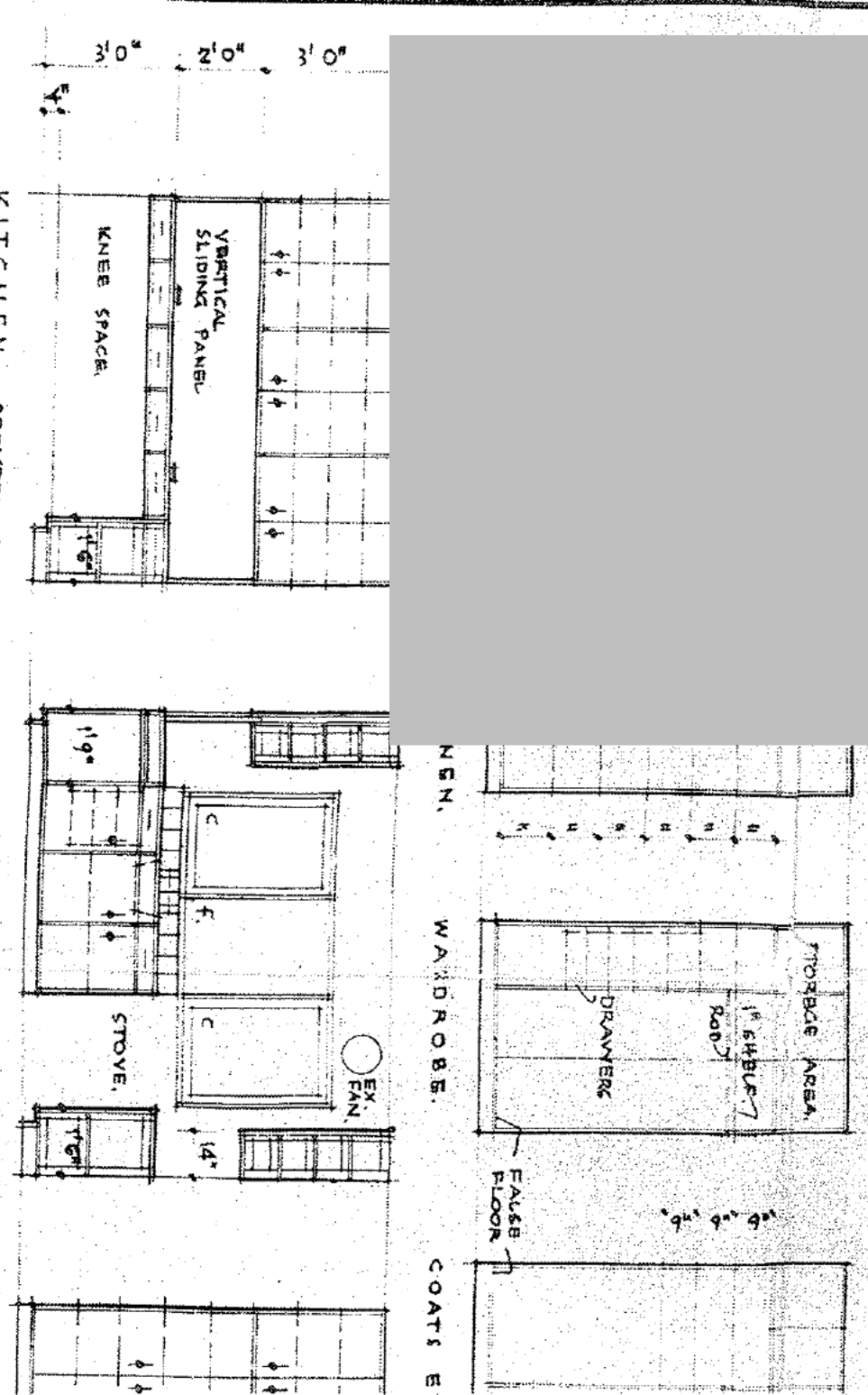


WINDOW DETAILS

WALL DE



PLAN:



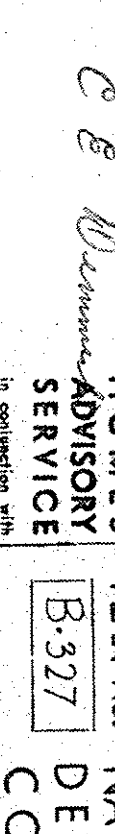
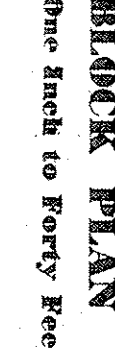
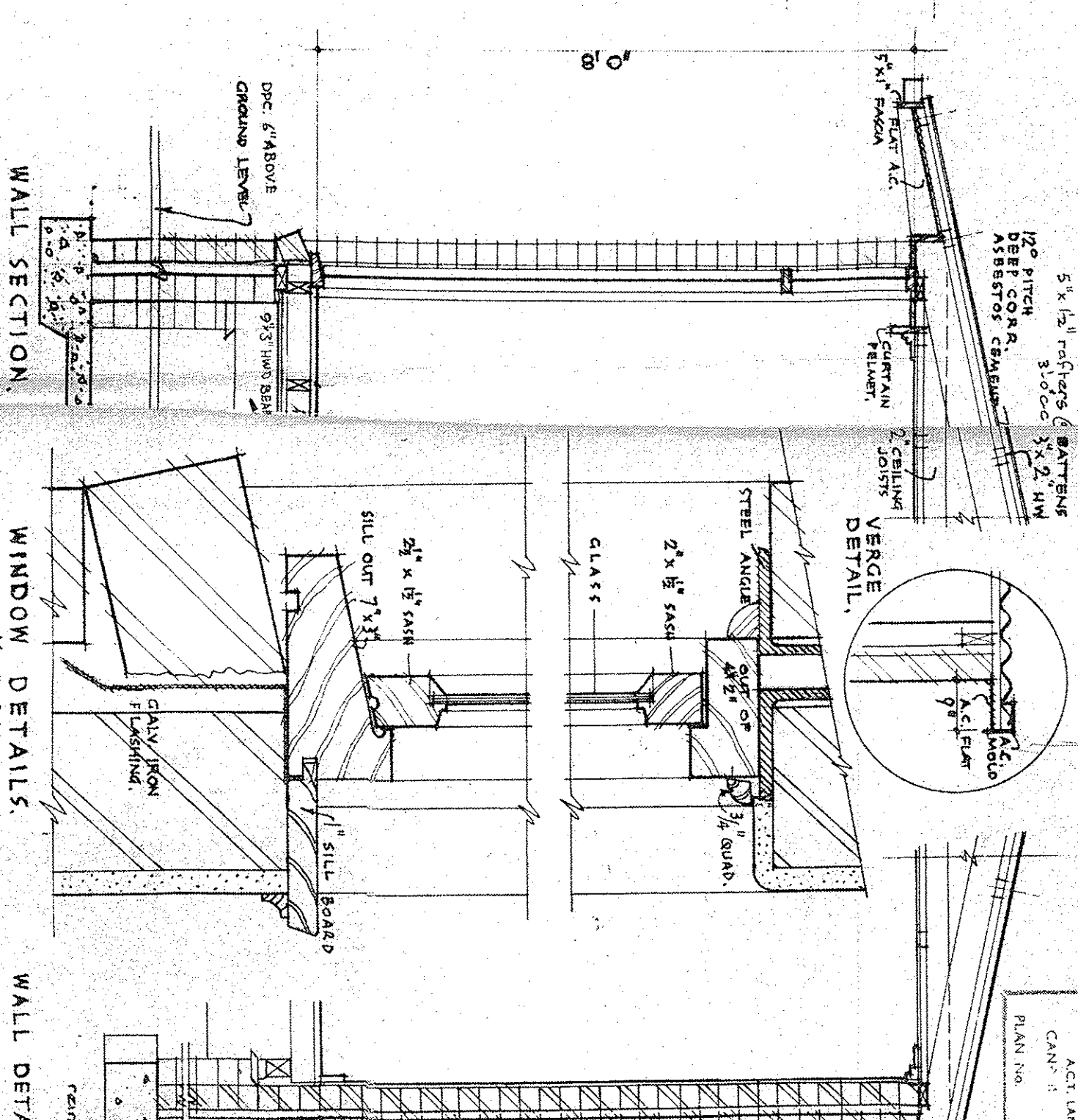
UPBOARD DETAILS: QUARTER IN

HOUSE OF 1988 O'Connor
 This is the drawing referred to in our agreement dated
 Builder
 Witness
 Witness
 TO SPECIFICATION AND SCHEDULING AND TERMS
 HOMES PLAN No. NA
 ADVISORY
 SERVICE
 V-327
 DE
 CC
 Small House Service of the Department of Housing and Urban Development

ELEVATION



WALL DETAIL



Have at 1184 Glenview For C E Homes
 This is the drawing referred to in our agreement dated
 Builder Proprietor
 Witness Witness
 REVER TO SPECIFICATION AND SEVENTIES AND LATELY BEGIAN
 PLAN No. NA
 DE
 CC
 B-327
 In connection with
 Small House Service of the Boy
 Cornett