



ACT
Government

Environment and Planning

ACT Heritage FILE NOTE/CONVERSATION RECORD

Date: 15 January 2015

SUBJECT:	2 Fitzroy Street, Forrest	
Block: 8	Section: 35	Division/District: Forrest

CONVERSATION WITH THE FOLLOWING PARTY		
<input checked="" type="checkbox"/> Over telephone <input type="checkbox"/> Meeting at Unit Offices <input type="checkbox"/> Other		
Name	Position	Contact Details
Tomislav Kasunic		[REDACTED]

Identified heritage status of place:

- unregistered
- nominated
- interim
- registered

ISSUES DISCUSSED & ADVICE PROVIDED:

- Provided copy of Entry to the ACT Heritage Register.
- Explained provisions of heritage listing
- Explained DA process including:
 - referral to Council
 - appeals process

I rang Tomislav Kasunic at 2:06pm at Kascon Constructions. The call went to messagebank so I left a message.

Tomislav Kasunic rang at 4:04 pm to return my phone message. I explained that I had looked at 2 Fitzroy Street, Forrest today in response to advice that additional work was being undertaken on the roof of the building. Noting that there was a heritage

direction to cease construction of the new steel structure on the roof of the building, I questioned what was happening.

Mr Kasunic advised that the work related to repair of the door to the terrace over the garage that had been the subject of an earlier complaint and not to the structure on the roof. I noted that I thought that the work involved steel construction. Mr Kasunic assured me that it was timber being cut. He also advised that the work was being done on the main roof as the terrace over the garage was being waterproofed this morning in preparation for installing a new timber deck. The work was being done on the main roof as the equipment had been set up there rather than at ground level.

I advised Mr Kasunic that I would make a note of this for the file.



















AREA ANALYSIS

TOTAL SITE AREA = 608.00m²

PROPOSED RESIDENTIAL ADDITION = 25.32m²

PROPOSED GARAGE AREA = 28.07 m²

EXISTING RESIDENTIAL AREA=164.64 m²

OUTDOOR TERRACE AREA = 15.49 m²

TOTAL RESIDENTIAL FLOOR AREA = 218.03 m²

ROOF GARDEN AREA = 61.24 m²

VERGE MANAGEMENT NOTES *

INSTALL 1800MM HIGH TEMPORARY FENCING WITH CONCRETE FEET OR INSTALL 1800mm CHAIN MESH FENCE SUPPORTED BY 2400mm TALL STAR STEEL POSTS AROUND VERGES AND EXISTING VEGETATION.

FENCING TO BE ERECTED ON COMMENCEMENT OF SITE WORK AND REMOVED AT COMPLETION OF CONSTRUCTION AND COMMENCEMENT OF VERGE RESTORATION. THE FENCE IS TO REMAIN CONTINUOUS THROUGHOUT PROJECT, EXCEPT WHERE APPROVED SERVICE INSTALLATION OCCURS.

ENSURE ADEQUATE WATER IS APPLIED TO THE ROOT ZONE OF RETAINED TREES THROUGHOUT THE CONSTRUCTION PERIOD.

ALL WORK IS TO BE IN ACCORDANCE WITH THE 'CANBERRA LANDSCAPE GUIDELINES' & THE BASIC SPECIFICATIONS FOR ROADS HYDRAULICS AND LANDSCAPE. JULY 1991.

MAKE GOOD ANY DAMAGE TO EXISTING GRASS VERGES, REINSTATE AS PER BASIC SPECIFICATIONS.

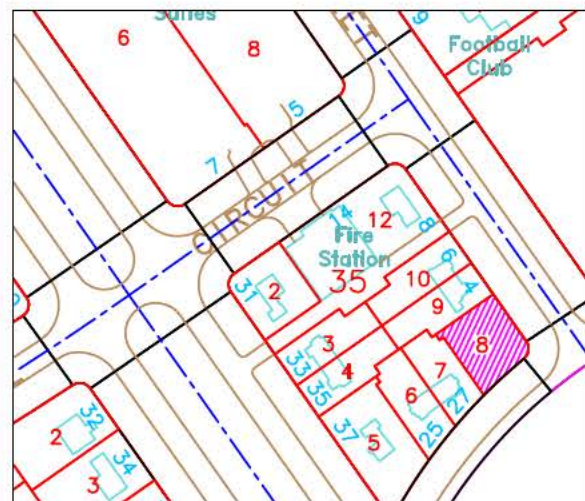
IT IS THE RESPONSIBILITY OF THE BUILDER TO ENSURE THAT ANY DISTURBANCES TO THE VERGE GROUND COVER, TREES, PATHS, KERB, ROAD WAYS OR SERVICES OCCURRING FROM EITHER CONSTRUCTION WORKS OR STORAGE OF MACHINERY DURING THE CONSTRUCTION WORKS ARE RECTIFIED TO THE SATISFACTION OF RELEVANT AUTHORITIES.

AT THE COMPLETION OF CONSTRUCTION, VERGES SHOULD STILL HAVE ESTABLISHED DRYLAND GRASS COVER. TOPSOIL IS NOT TO BE REMOVED AND LEVELS NOT TO BE CHANGED.

NO CAR PARKING OR EQUIPMENT PARKING PERMITTED ON VERGES OR UNDER DRIPLINE OF RETAINED TREES.

NO SITE SHEDS, STORAGE SHEDS, SITE AMENITIES OR BILLBOARDS TO BE ERECTED ON VERGES OR UNDER DRIPLINE OF RETAINED TREES.

NO CONSTRUCTION MATERIAL TO BE STORED ON VERGES OR UNDER DRIPLINE OF RETAINED TREES.



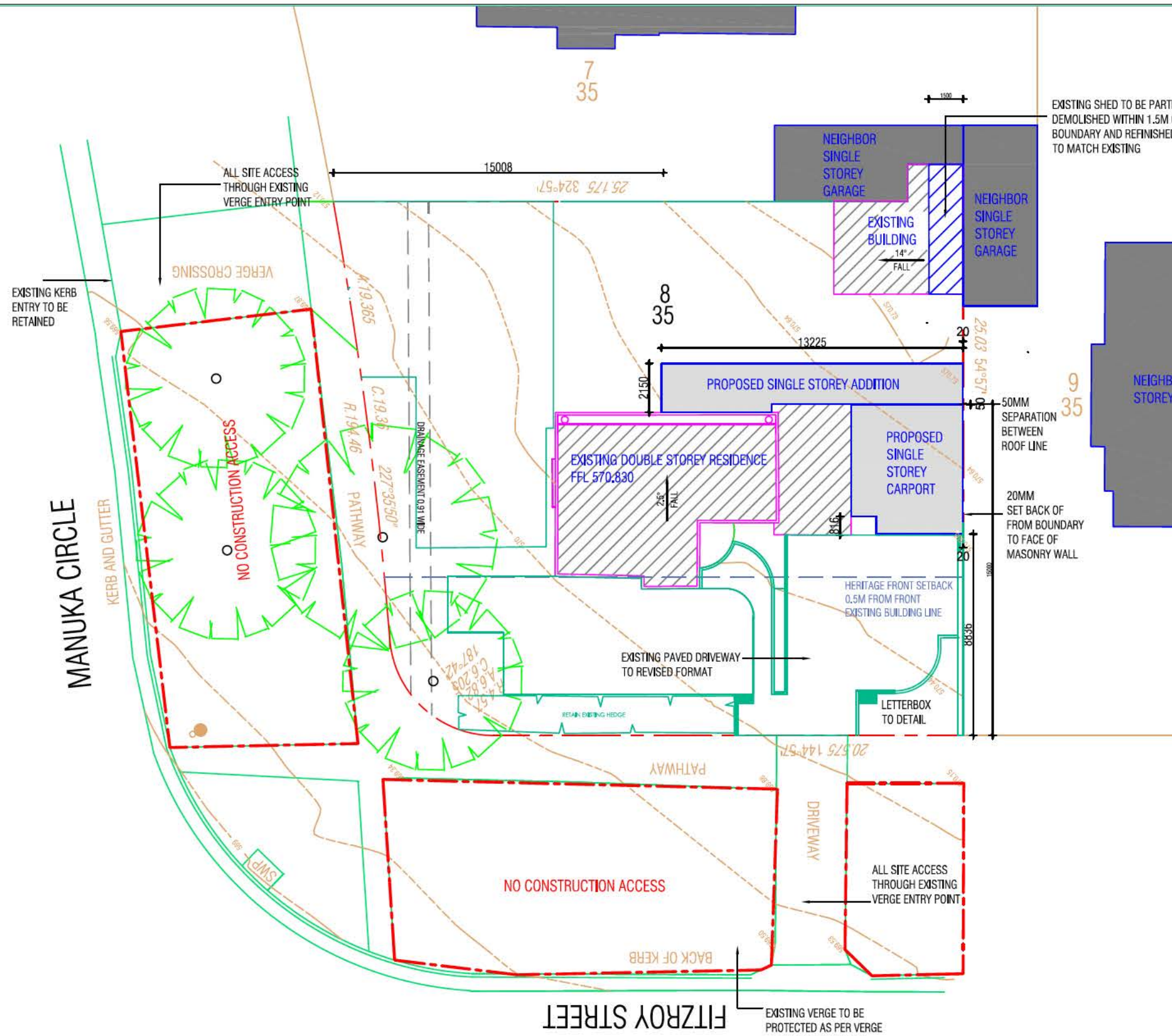
LOCATION PLAN NTS

SEDIMENT & EROSION CONTROL *

THE DEVELOPMENT WILL COMPLY WITH THE ACT ENVIRONMENTAL PROTECTION AUTHORITY, ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE ACT, AUGUST 2007.

PROVIDE CONTROL MEASURE IN ACCORDANCE WITH TERRITORY & MUNICIPAL SERVICES GUIDELINES

INSTALL & MAINTAIN ALL EROSION & SEDIMENT CONTROL MEASURES DEALIED FOR THE DURATION OF CONSTRUCTION



PROPOSED SITE PLAN 1:200

REVISION	DESCRIPTION	DATE
A	DA	14.08.14

All dimensions must be verified on site by the contractor before the commencement of work or production of shop drawings. All dimensions are in millimeters unless otherwise stated. Do not scale drawings.

KASCON
Registration No: 1108

CLIENT
GEORGE

PROJECT
8/35F

BLOCK 8, SECTION 35
FORREST ACT
PROJECT NO.
BLK8SEC35 - FORREST



DRAWING
SITE PLAN





DATE 20.01.15
SCALE AS SHOWN @ A3
DRAWN TK

DEVELOPMENT APPROVAL

DRAWING No.
A01

REVISION	DESCRIPTION	DATE
A	DA	14.08.14

All dimensions must be verified on site by the contractor before the commencement of work or production of shop drawings. All dimensions are in millimeters unless otherwise stated. Do not scale drawings.

-  EXISTING TREE TO BE REMOVED AND DEMOLISHED
-  EXISTING TREE TO BE RETAINED
-  NON HERITAGE - EXISTING STRUCTURE TO BE DEMOLISHED
-  NON HERITAGE - EXISTING HARD SURFACES TO BE DEMOLISHED



KASCON

Registration No: 1108

CLIENT
GEORGE

PROJECT
8/35F

**BLOCK 8, SECTION 35
FORREST ACT**

PROJECT No.
BLK8SEC35 - FORREST



DRAWING
DEMOLITION PLAN

DATE **14.08.14**
SCALE **1:200 @ A3**
DRAWN **TK**

**DEVELOPMENT
APPROVAL**

DRAWING No.

A02

REVISION	DESCRIPTION	DATE
A	DA	14.08.14

All dimensions must be verified on site by the contractor before the commencement of work or production of shop drawings. All dimensions are in millimeters unless otherwise stated. Do not scale drawings.

KASCON

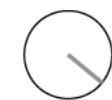
Registration No: 1108

CLIENT
GEORGE

PROJECT
8/35F

**BLOCK 8, SECTION 35
FORREST ACT**

PROJECT No.
BLK8SEC35 - FORREST



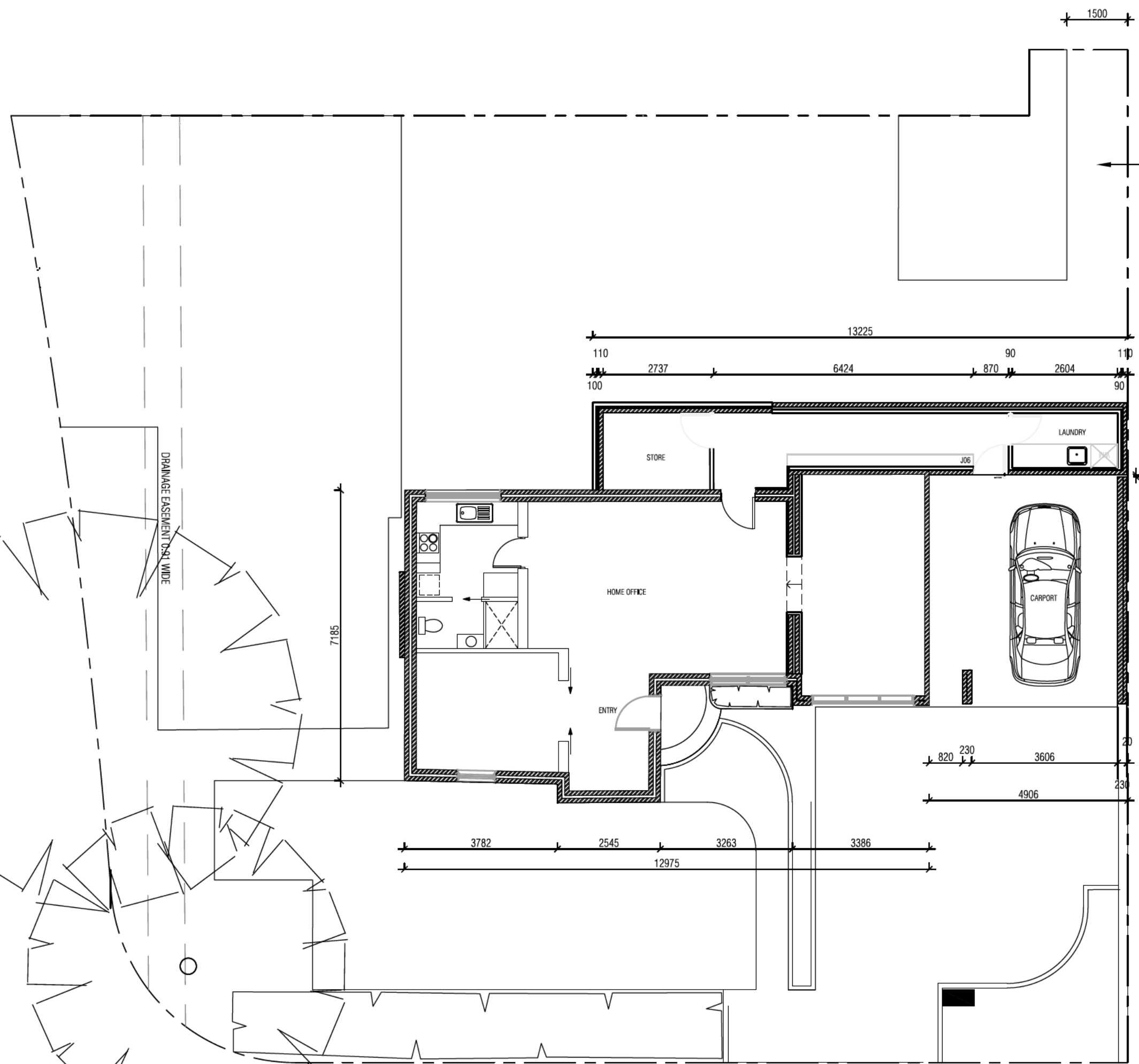
DRAWING
FLOOR PLAN

DATE **14.08.14**
SCALE **1:100 @ A3**
DRAWN **TK**

**DEVELOPMENT
APPROVAL**

DRAWING No.

A03



PROPOSED DEMOLITION
OF PART OF THE
EXISTING SHED

DRAINAGE EASEMENT 0.91 M WIDE

7185

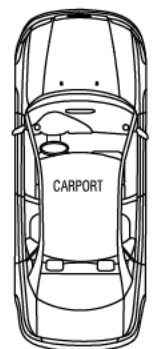
13225
110 2737 6424 870 2604 110
100 90

50 50 90 105
1362 1777
55
4836 5661
824

3782 2545 3263 3386
12975

820 230 3606 20
4906 230

1500



LAUNDRY

STORE

HOME OFFICE

ENTRY

820

230

3606

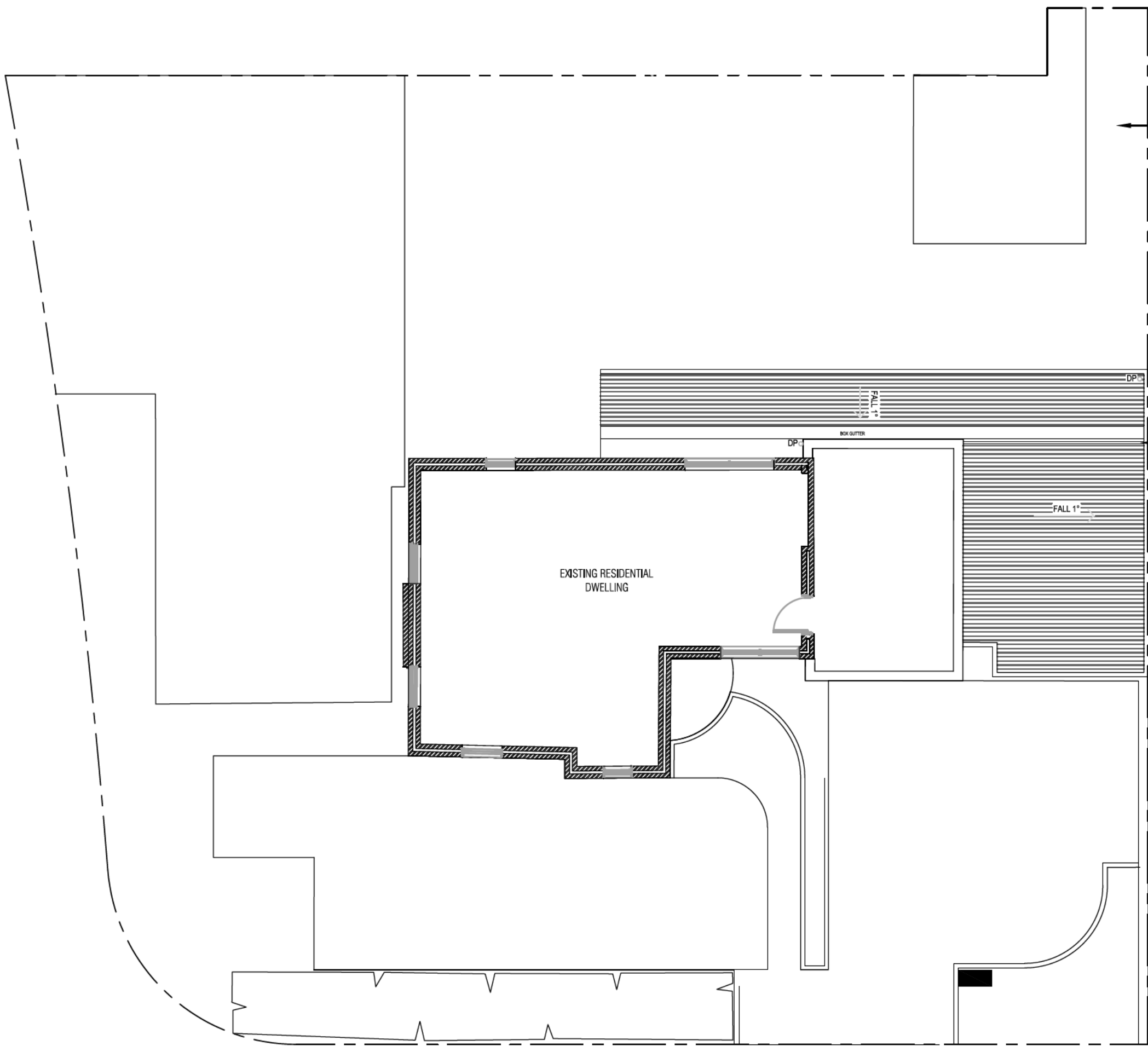
20

4906

230



1500



REVISION	DESCRIPTION	DATE
A	DA	14.08.14

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KASCON

Registration No: 1108

CLIENT
GEORGE

PROJECT
8/35F

**BLOCK 8, SECTION 35
FORREST ACT**

PROJECT No.
BLK8SEC35 - FORREST



DRAWING
FIRST FLOOR PLAN

DATE **14.08.14**
SCALE **1:100 @ A3**
DRAWN **TK**

**DEVELOPMENT
APPROVAL**

DRAWING No.

A04

REVISION	DESCRIPTION	DATE
A	DA	14.08.14

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KASCON

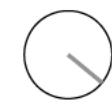
Registration No: 1108

CLIENT
GEORGE

PROJECT
8/35F

**BLOCK 8, SECTION 35
FORREST ACT**

PROJECT No.
BLK8SEC35 - FORREST



DRAWING
ELEVATIONS

DATE **14.08.14**
SCALE **1:100 @ A3**
DRAWN **TK**

**DEVELOPMENT
APPROVAL**

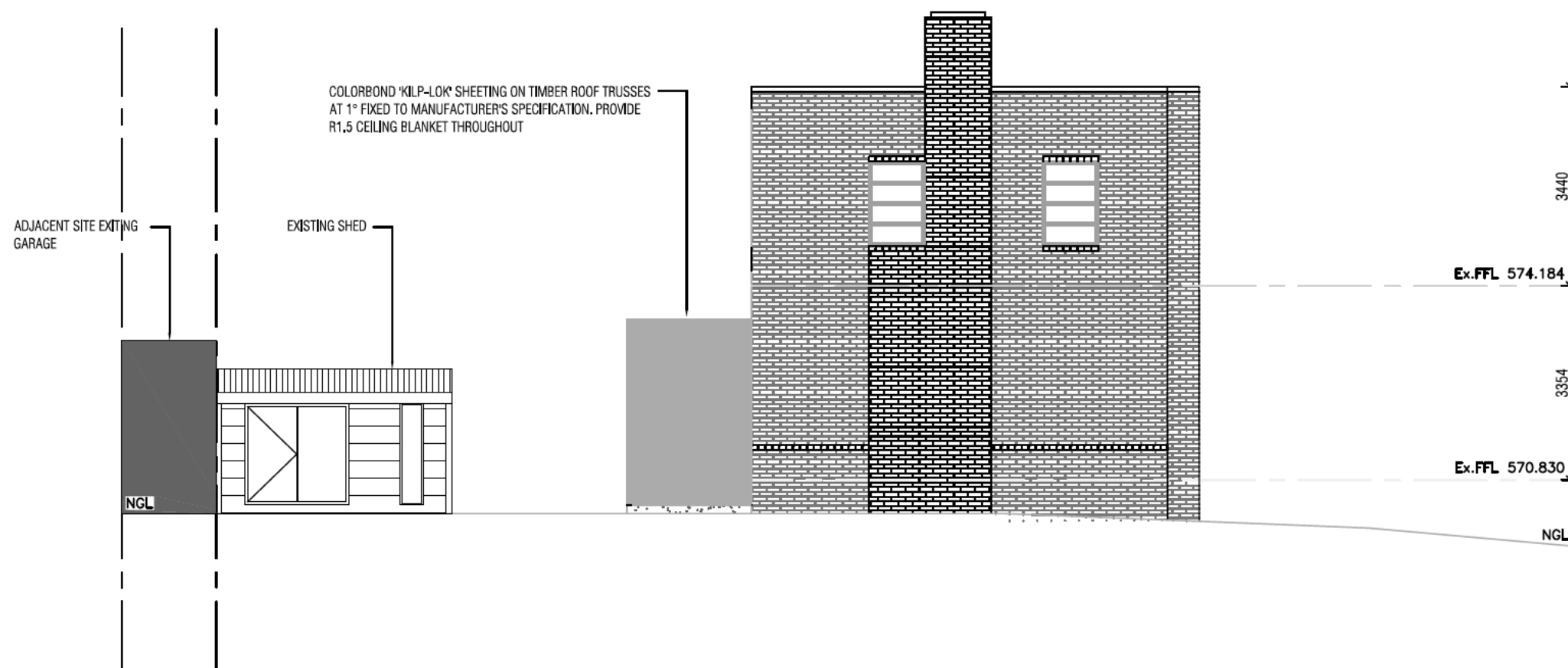
DRAWING No.

A05

NORTH EAST ELEVATION



EAST WEST ELEVATION



REVISION	DESCRIPTION	DATE
A	DA	14.08.14

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KASCON

Registration No: 1108

CLIENT
GEORGE

PROJECT
8/35F

**BLOCK 8, SECTION 35
FORREST ACT**

PROJECT No.
BLK8SEC35 - FORREST



DRAWING
ELEVATIONS

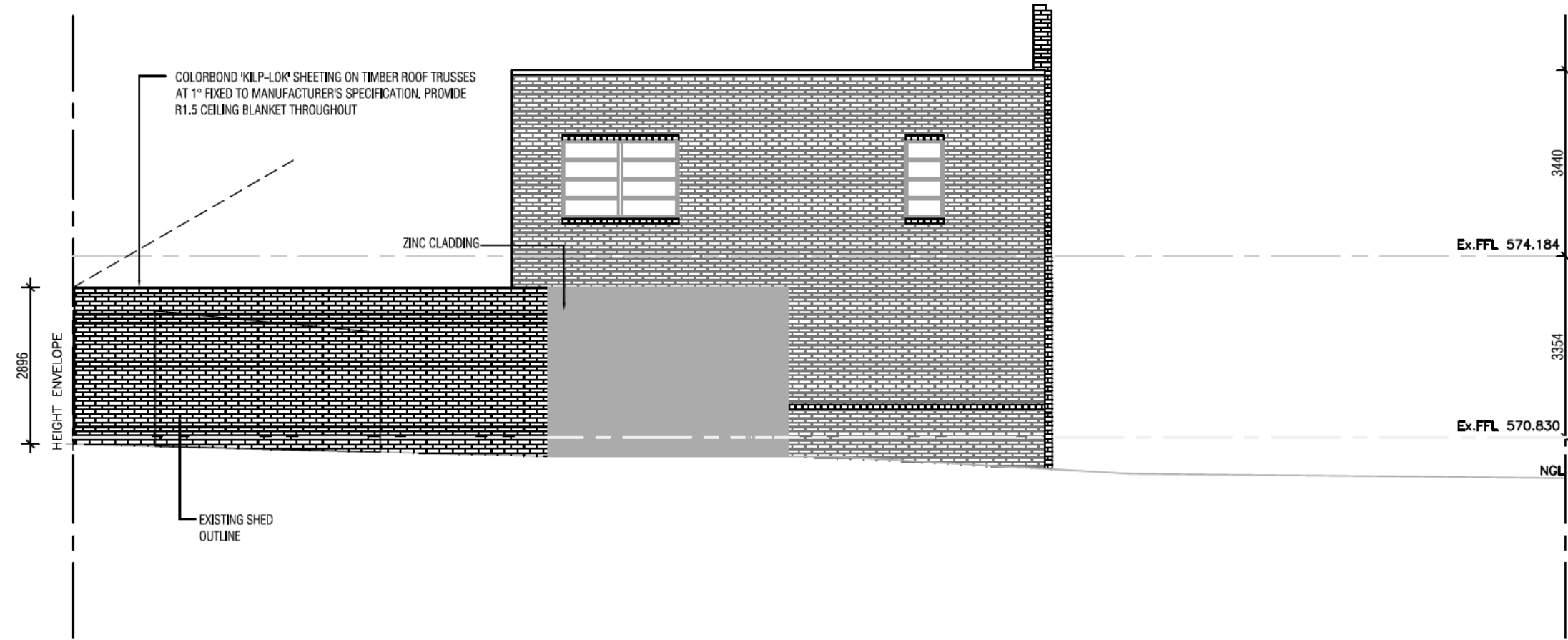
DATE **14.08.14**
SCALE **1:100 @ A3**
DRAWN **TK**

**DEVELOPMENT
APPROVAL**

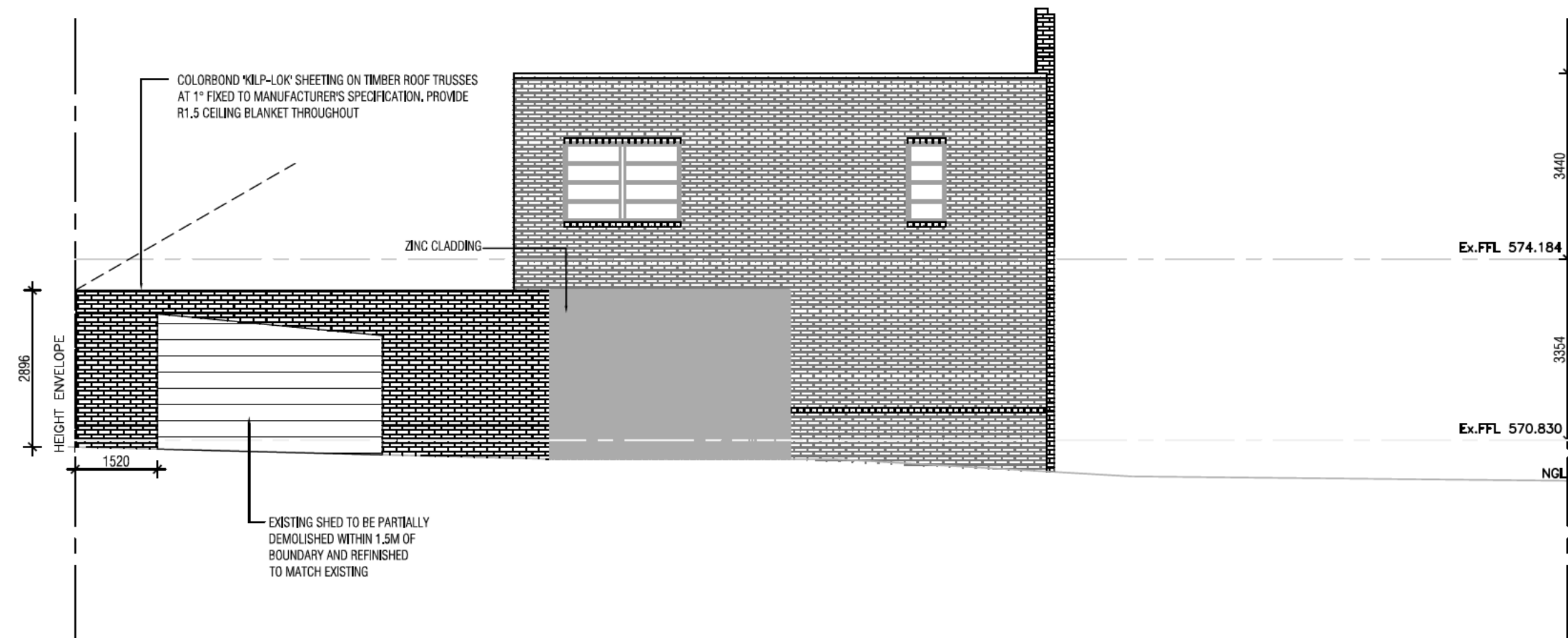
DRAWING No.

A06

SOUTH WEST ELEVATION

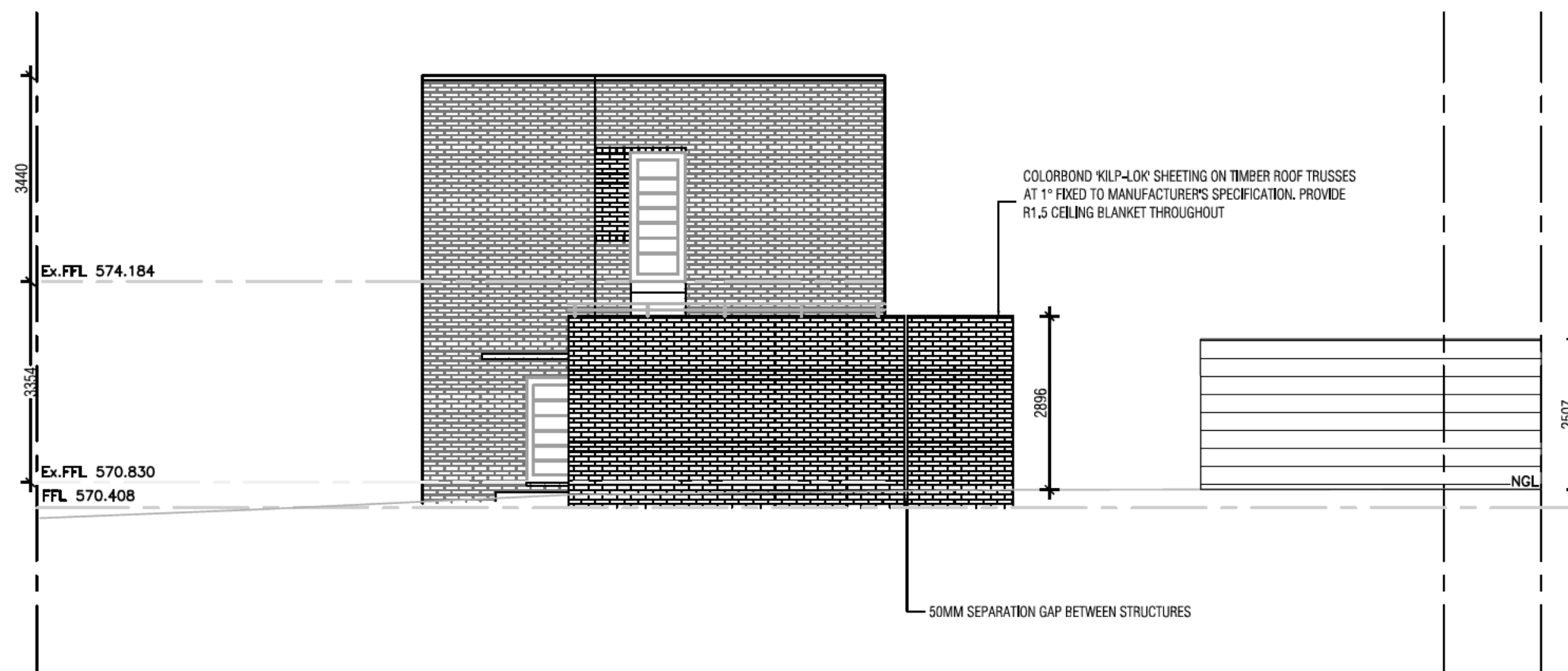


WEST NORTH ELEVATION



REVISION	DESCRIPTION	DATE
A	DA	14.08.14

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KASCON

Registration No: 1108

CLIENT
GEORGE

PROJECT
8/35F

**BLOCK 8, SECTION 35
FORREST ACT**

PROJECT No.
BLK8SEC35 - FORREST



DRAWING
ELEVATIONS

DATE **14.08.14**
SCALE **1:100 @ A3**
DRAWN **TK**

**DEVELOPMENT
APPROVAL**

DRAWING No.

A07

KASCON

EXISTING MATERIALS



FACE BRICK



WINDOWS

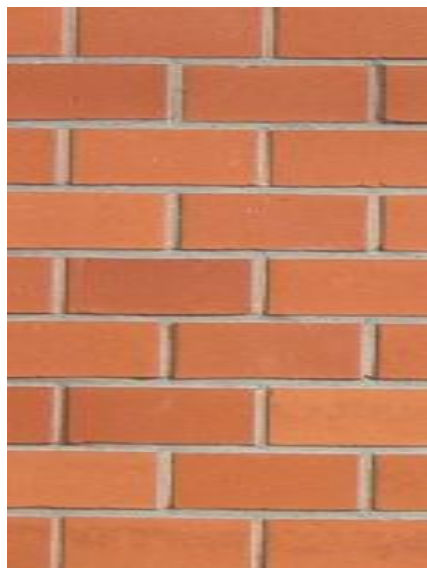


STEEL WORK



GUTTERS/RAIN HEADS

PROPOSED MATERIALS FOR ADDITIONS



FACE BRICK



TIMBER CLADDING



ZINC CLADDING



ACT
Government

Environment and Planning

ACT Heritage FILE NOTE/CONVERSATION RECORD

Date: 9 February 2015

SUBJECT:	2 Fitzroy Street, Forrest – new carport and laundry	
Block: 8	Section: 35	Division/District: Forrest

CONVERSATION WITH THE FOLLOWING PARTY		
<input type="checkbox"/> Over telephone <input type="checkbox"/> Meeting at Unit Offices <input checked="" type="checkbox"/> Other at a meeting on 6 Feb 2015		
Name	Position	Contact Details
Dianne Firth	Deputy Chair, ACT Heritage Council	

Identified heritage status of place:

- unregistered
- nominated
- interim
- registered – Forrest Fire Station Precinct

ISSUES DISCUSSED & ADVICE PROVIDED:

Discussed the proposed new carport and laundry addition for the above property as shown in drawings emailed to the DA Taskforce on 6 Feb 2015 with Dianne Firth. Ms Firth made the following comments:

- It is not clear how the first floor will be accessed. Previous versions of this proposal indicated an external stair.
- The front and side setbacks of the carport are of concern, making it too bulky and creating the possibility of boundary to boundary development. This is not consistent with the character and original planning of the precinct.

AREA ANALYSIS

TOTAL SITE AREA = 608.00m²

GROUND RESIDENTIAL ADDITION = 26.73m²

PROPOSED GARAGE AREA = 21.07 m²

EXISTING RESIDENTIAL AREA=164.64 m²

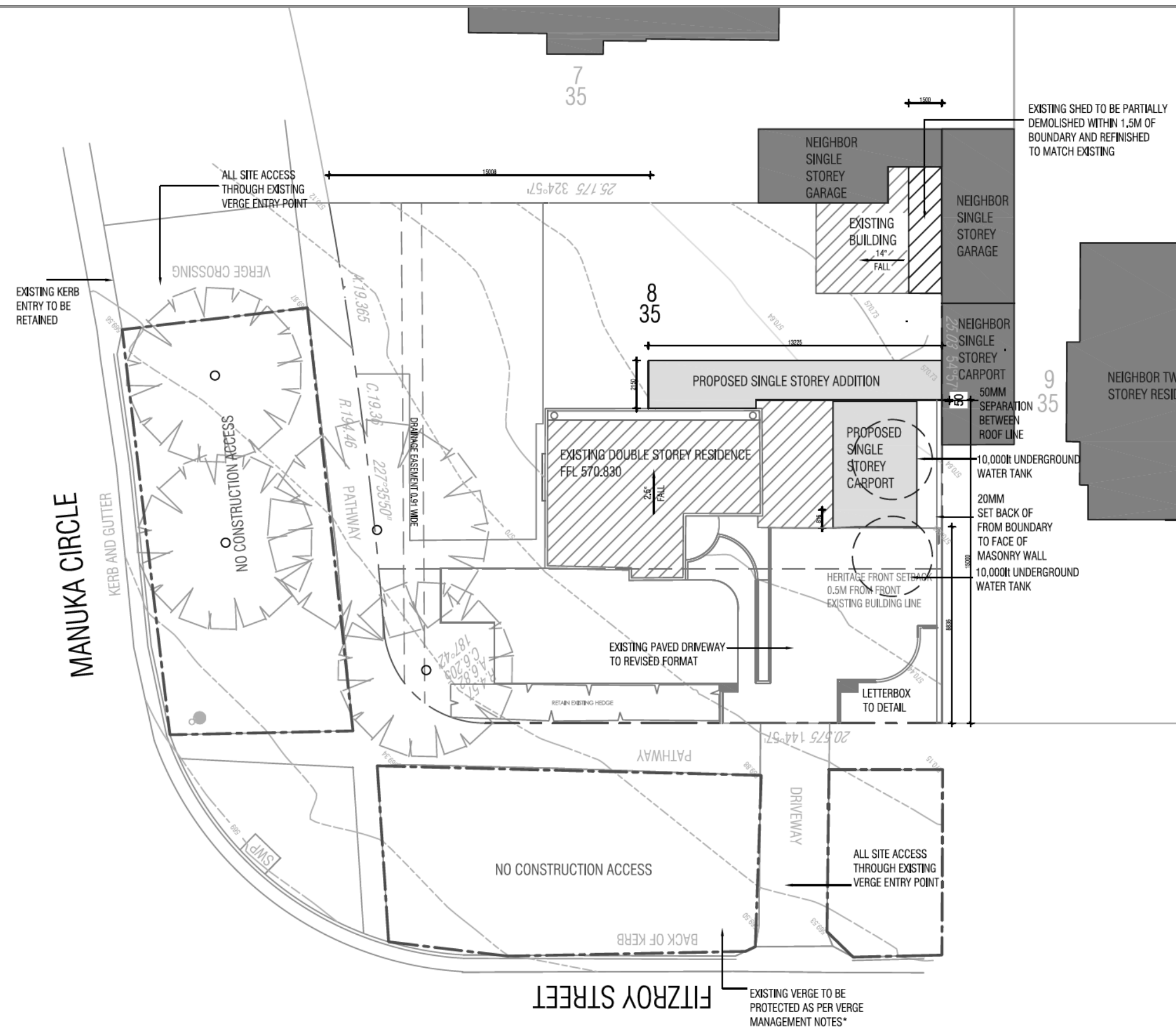
TOTAL RESIDENTIAL FLOOR AREA = 212.44 m²

VERGE MANAGEMENT NOTES *

- INSTALL 1800MM HIGH TEMPORARY FENCING WITH CONCRETE FEET OR INSTALL 1800mm CHAIN MESH FENCE SUPPORTED BY 2400mm TALL STAR STEEL POSTS AROUND VERGES AND EXISTING VEGETATION.
- FENCING TO BE ERECTED ON COMMENCEMENT OF SITE WORK AND REMOVED AT COMPLETION OF CONSTRUCTION AND COMMENCEMENT OF VERGE RESTORATION. THE FENCE IS TO REMAIN CONTINUOUS THROUGHOUT PROJECT, EXCEPT WHERE APPROVED SERVICE INSTALLATION OCCURS.
- ENSURE ADEQUATE WATER IS APPLIED TO THE ROOT ZONE OF RETAINED TREES THROUGHOUT THE CONSTRUCTION PERIOD.
- ALL WORK IS TO BE IN ACCORDANCE WITH THE 'CANBERRA LANDSCAPE GUIDELINES' & THE BASIC SPECIFICATIONS FOR ROADS HYDRAULICS AND LANDSCAPE. JULY 1991.
- MAKE GOOD ANY DAMAGE TO EXISTING GRASS VERGES, REINSTATE AS PER BASIC SPECIFICATIONS.
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- NO SITE SHEDS, STORAGE SHEDS, SITE AMENITIES OR BILLBOARDS TO BE ERECTED ON VERGES OR UNDER DRIPLINE OF RETAINED TREES.
- NO CONSTRUCTION MATERIAL TO BE STORED ON VERGES OR UNDER DRIPLINE OF RETAINED TREES.



LOCATION PLAN NTS



SEDIMENT & EROSION CONTROL *

- THE DEVELOPMENT WILL COMPLY WITH THE ACT ENVIRONMENTAL PROTECTION AUTHORITY, ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE ACT, AUGUST 2007.
- PROVIDE CONTROL MEASURE IN ACCORDANCE WITH TERRITORY & MUNICIPAL SERVICES GUIDELINES
- INSTALL & MAINTAIN ALL EROSION & SEDIMENT CONTROL MEASURES DETAILED FOR THE DURATION OF CONSTRUCTION

PROPOSED SITE PLAN 1:200

REVISION	DESCRIPTION	DATE
A	DA	14.08.14

All dimensions must be verified on site by the contractor before the commencement of work or production of shop drawings. All dimensions are in millimeters unless otherwise stated. Do not scale of drawings.

KASCON

Registration No: 1108

CLIENT
GEORGE

PROJECT
8/35F

BLOCK 8, SECTION 35 FORREST ACT

PROJECT No.
BLK8SEC35 - FORREST



DRAWING
SITE PLAN





DATE **20.01.15**
SCALE **AS SHOWN @ A3**
DRAWN **TK**

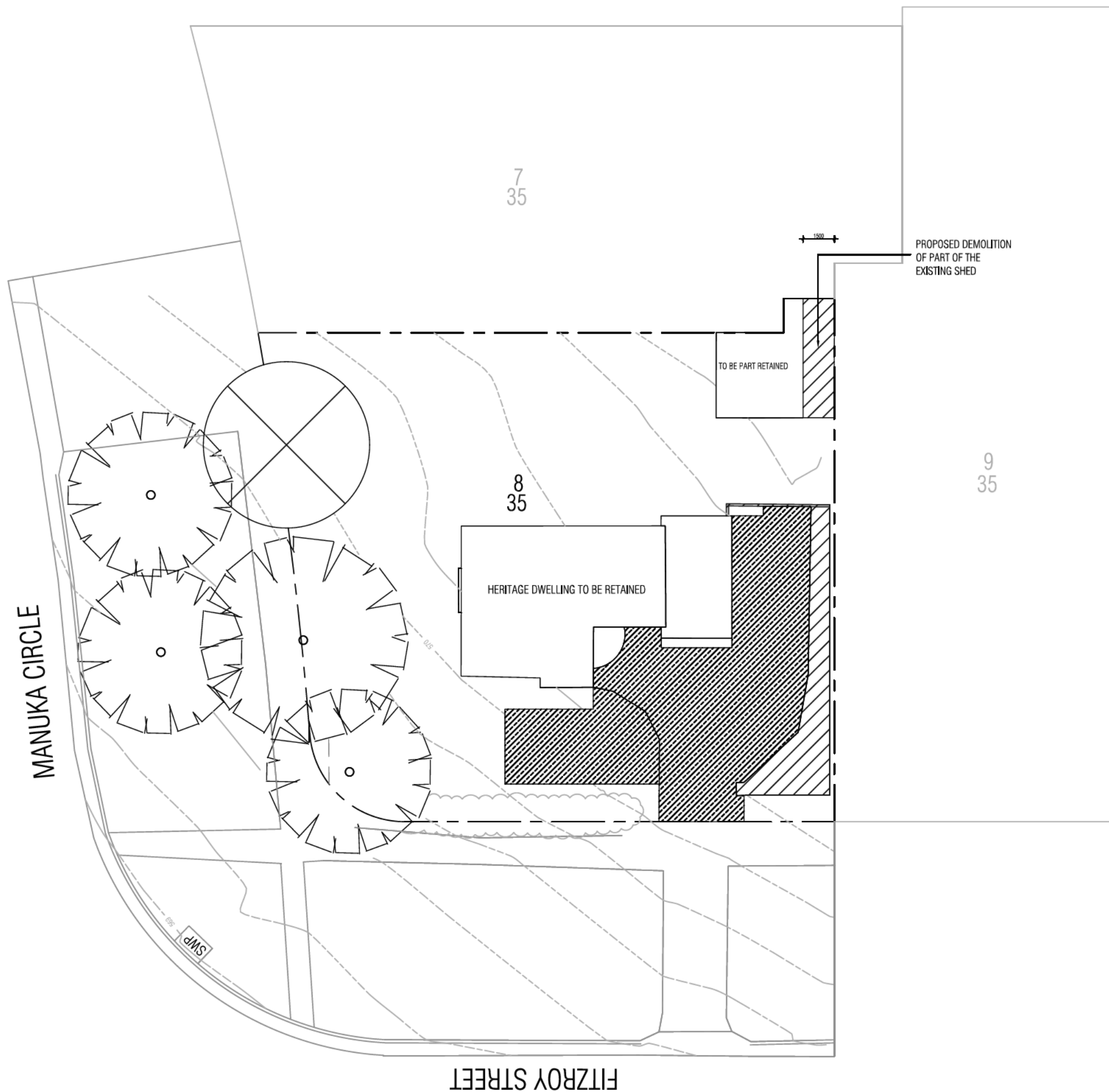
DEVELOPMENT APPROVAL

DRAWING No.
A01

REVISION	DESCRIPTION	DATE
A	DA	14.08.14

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 EXISTING TREE TO BE REMOVED AND DEMOLISHED
 EXISTING TREE TO BE RETAINED
 NON HERITAGE - EXISTING STRUCTURE TO BE DEMOLISHED
 NON HERITAGE - EXISTING HARD SURFACES TO BE DEMOLISHED



KASCON

Registration No: 1108

CLIENT
GEORGE

PROJECT
8/35F

**BLOCK 8, SECTION 35
FORREST ACT**

PROJECT No.
BLK8SEC35 - FORREST



DRAWING
DEMOLITION PLAN

DATE **14.08.14**
SCALE **1:200 @ A3**
DRAWN **TK**

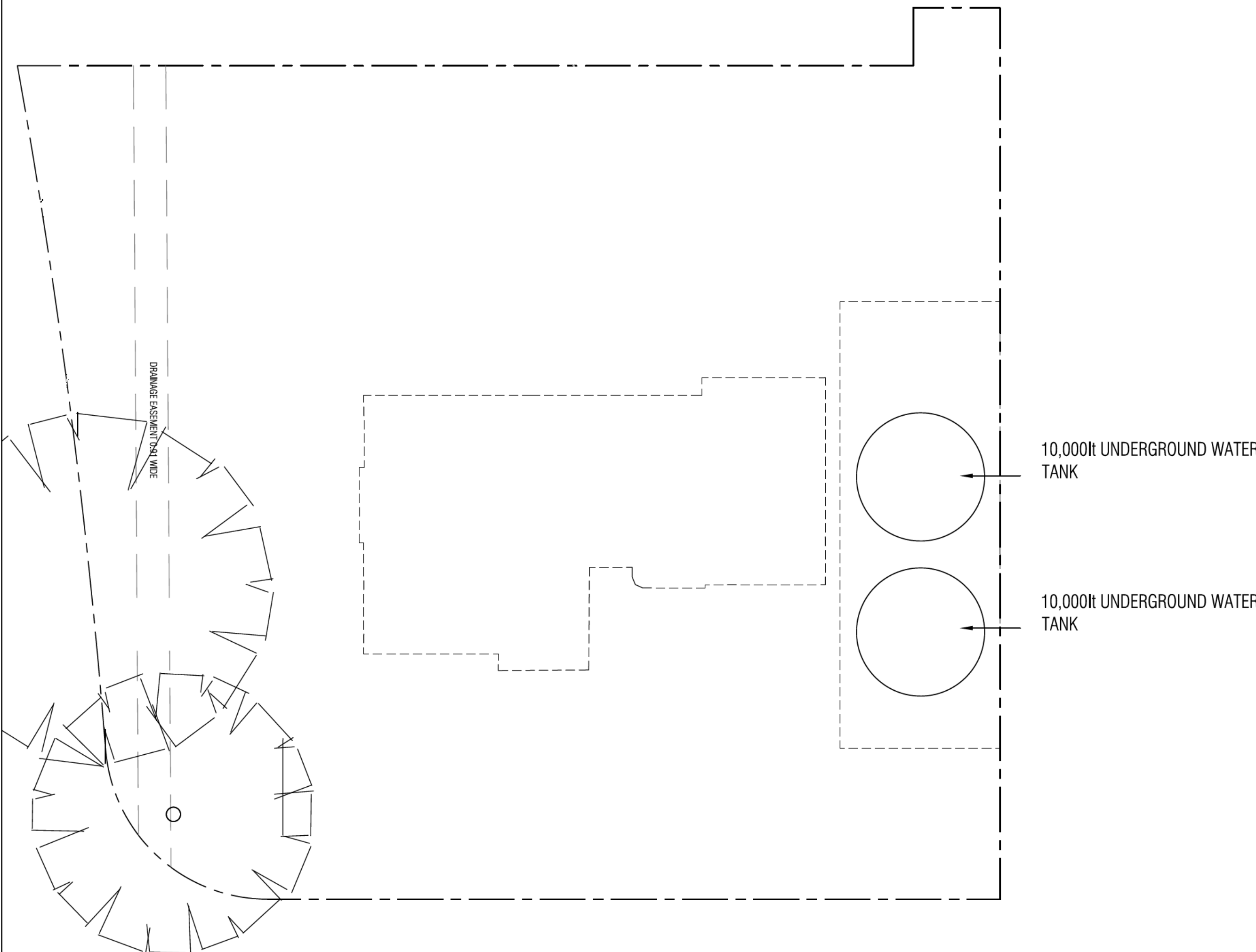
**DEVELOPMENT
APPROVAL**

DRAWING No.

A02

REVISION	DESCRIPTION	DATE
A	DA	14.08.14

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KASCON

Registration No: 1108

CLIENT
GEORGE

PROJECT
8/35F

**BLOCK 8, SECTION 35
FORREST ACT**

PROJECT No.
BLK8SEC35 - FORREST



DRAWING
BASEMENT PLAN

DATE **14.08.14**
SCALE **1:100 @ A3**
DRAWN **TK**

**DEVELOPMENT
APPROVAL**

DRAWING No.

A03B

REVISION	DESCRIPTION	DATE
A	DA	14.08.14

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KASCON

Registration No: 1108

CLIENT
GEORGE

PROJECT
8/35F

**BLOCK 8, SECTION 35
FORREST ACT**

PROJECT No.
BLK8SEC35 - FORREST

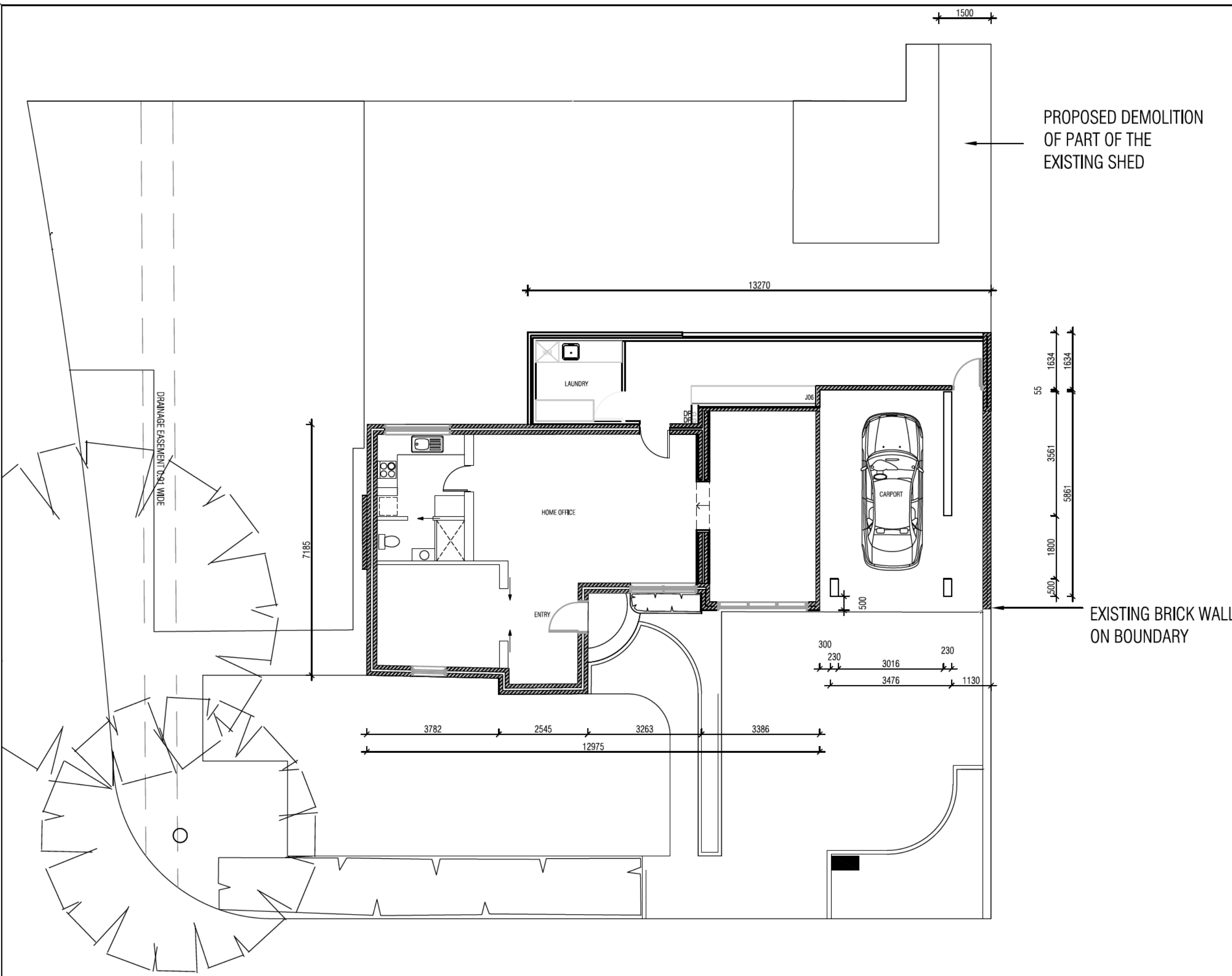
DRAWING
FLOOR PLAN

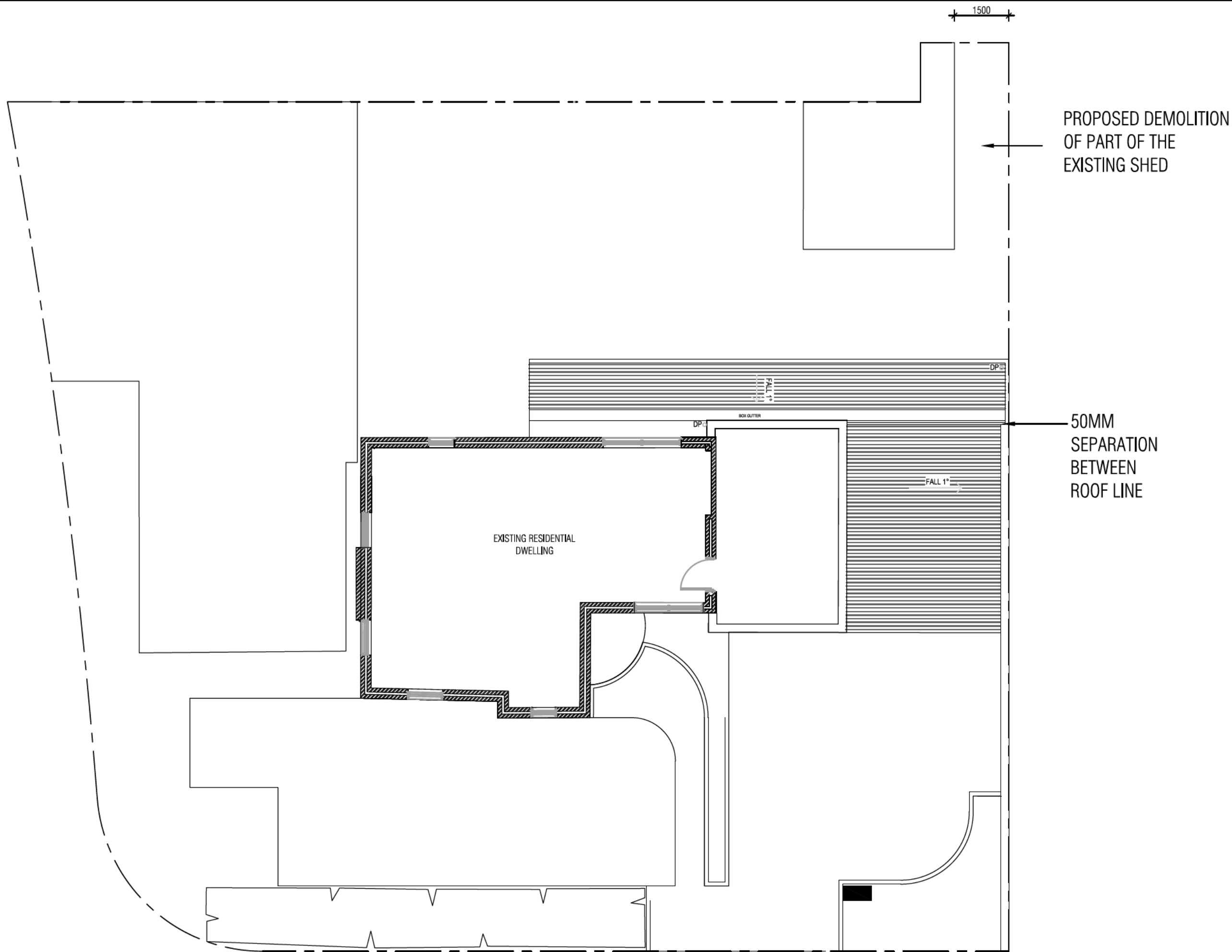
DATE **14.08.14**
SCALE **1:100 @ A3**
DRAWN **TK**

**DEVELOPMENT
APPROVAL**

DRAWING No.

A03





REVISION	DESCRIPTION	DATE
A	DA	14.08.14

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KASCON

Registration No: 1108

CLIENT
GEORGE

PROJECT
8/35F

**BLOCK 8, SECTION 35
FORREST ACT**

PROJECT No.
BLK8SEC35 - FORREST



DRAWING
FIRST FLOOR PLAN

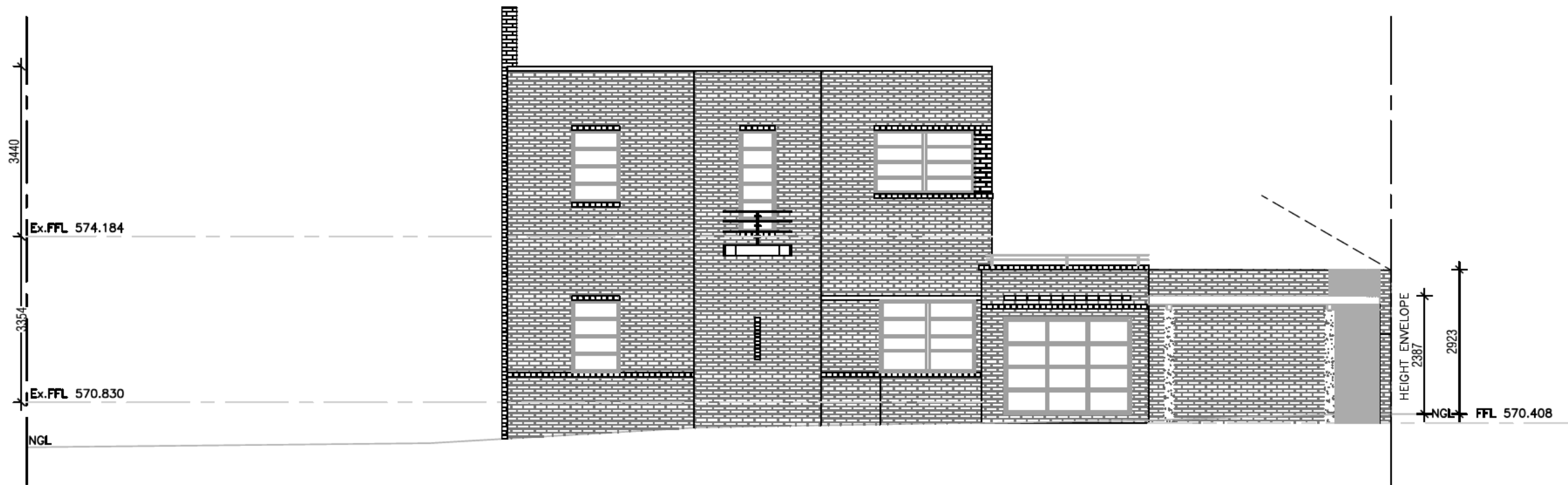
DATE **14.08.14**
SCALE **1:100 @ A3**
DRAWN **TK**

**DEVELOPMENT
APPROVAL**

DRAWING No.

A04

NORTH EAST ELEVATION



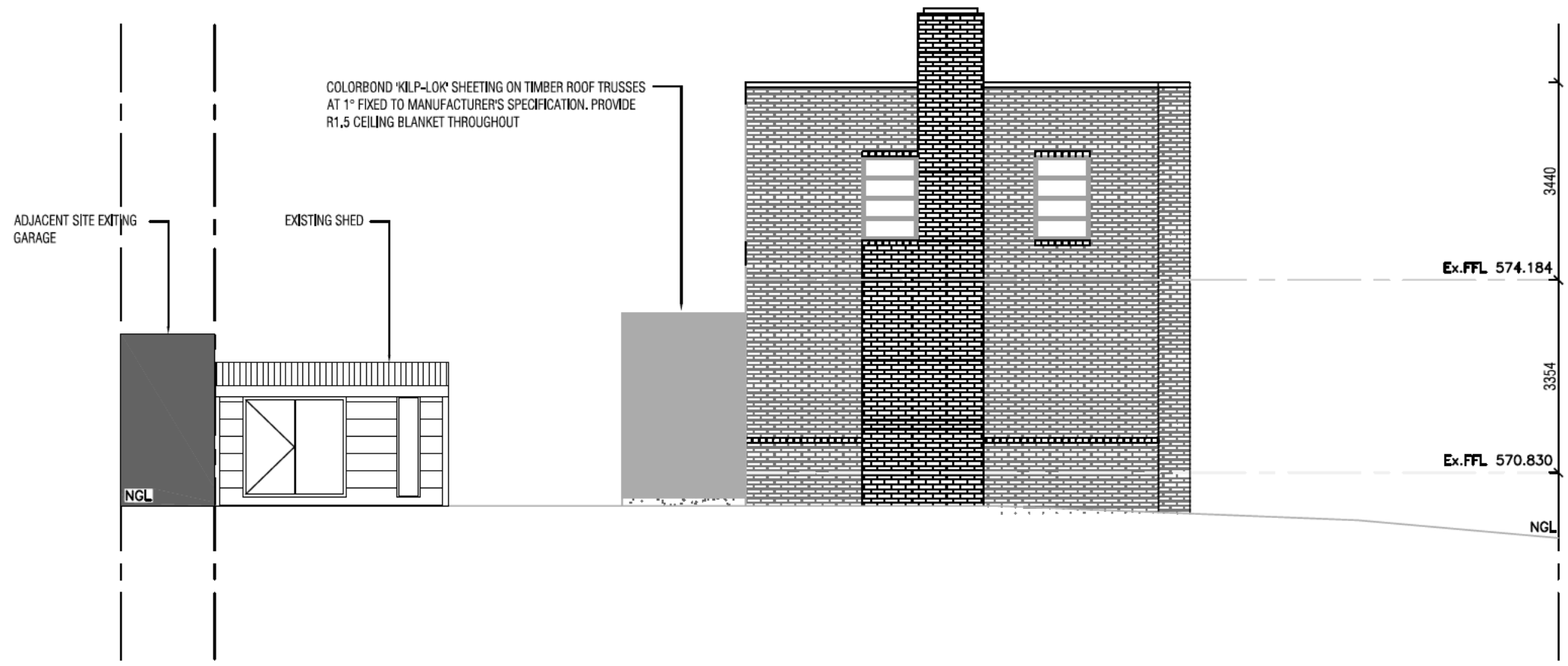
REVISION	DESCRIPTION	DATE
A	DA	14.08.14

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KASCON

Registration No: 1108

EAST WEST ELEVATION



CLIENT
GEORGE

PROJECT
8/35F

BLOCK 8, SECTION 35 FORREST ACT

PROJECT No.
BLK8SEC35 - FORREST



DRAWING
ELEVATIONS

DATE **14.08.14**
SCALE **1:100 @ A3**
DRAWN **TK**

DEVELOPMENT APPROVAL

DRAWING No.

A05

REVISION	DESCRIPTION	DATE
A	DA	14.08.14

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KASCON

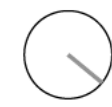
Registration No: 1108

CLIENT
GEORGE

PROJECT
8/35F

**BLOCK 8, SECTION 35
FORREST ACT**

PROJECT No.
BLK8SEC35 - FORREST



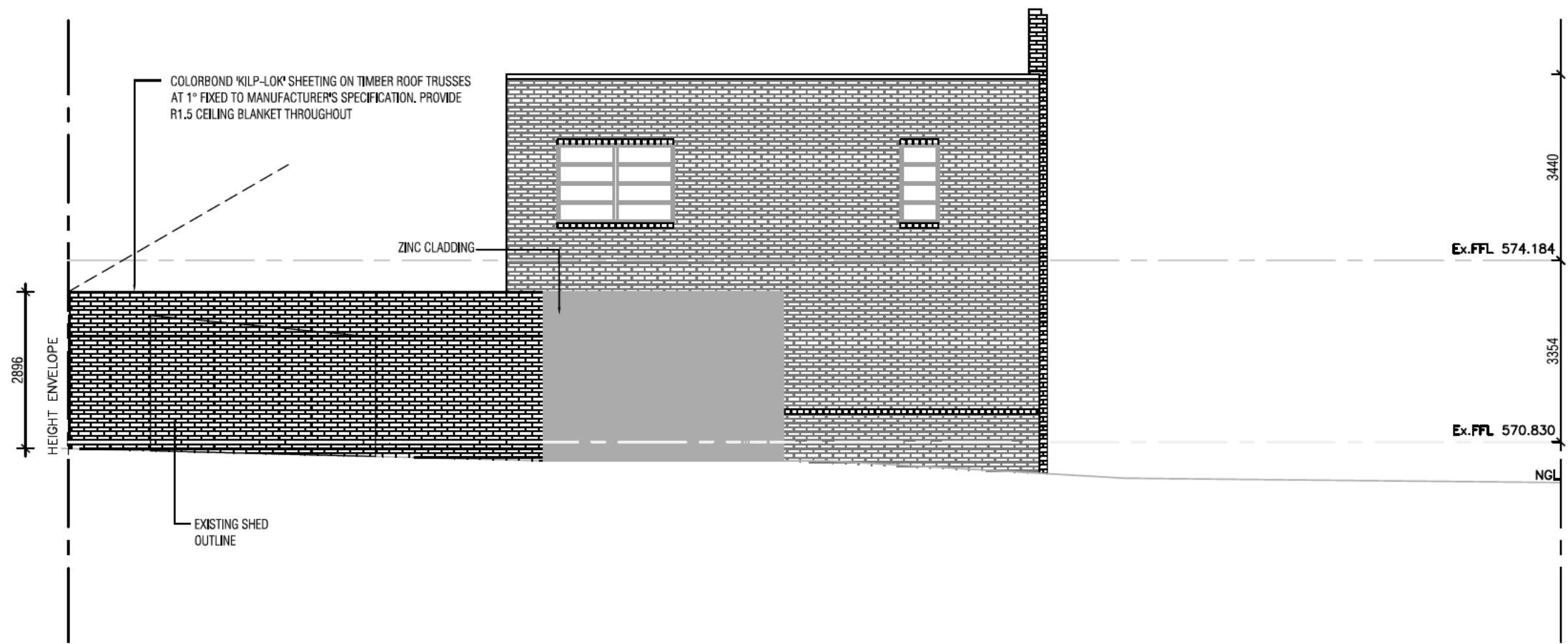
DRAWING
ELEVATIONS

DATE **14.08.14**
SCALE **1:100 @ A3**
DRAWN **TK**

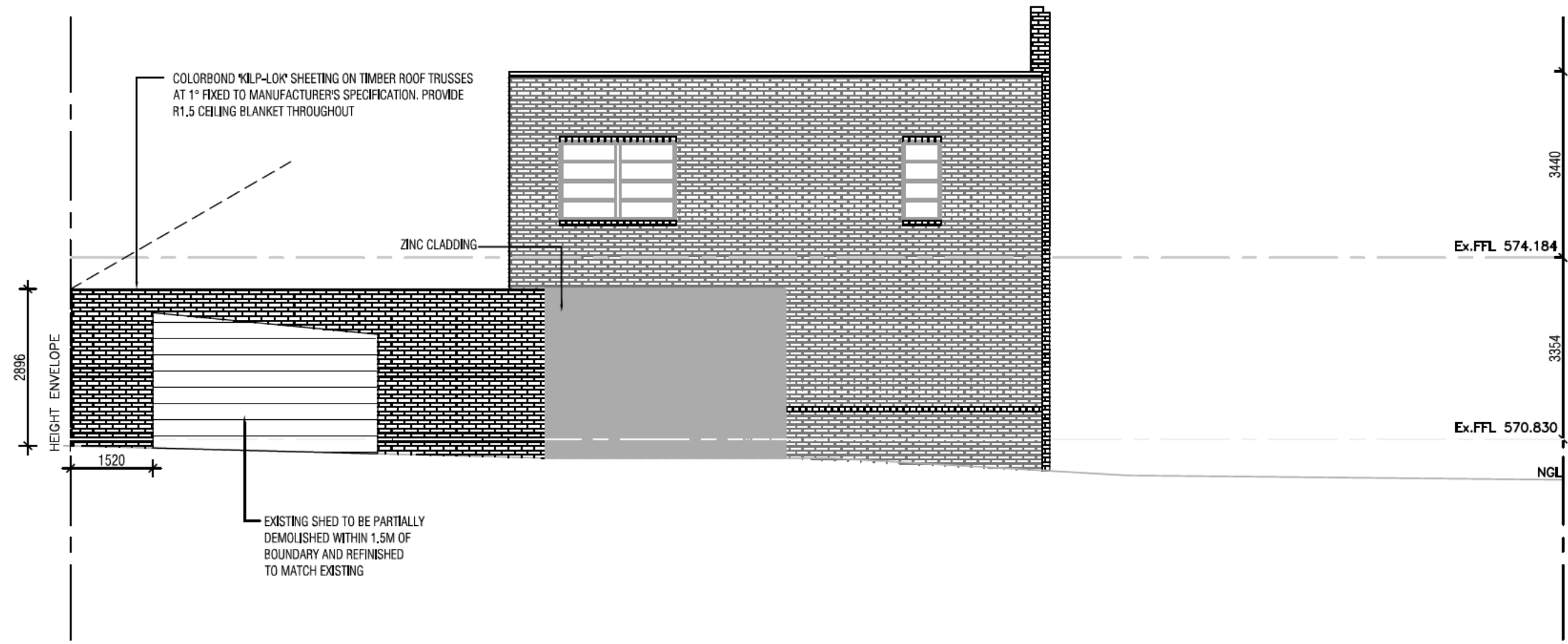
**DEVELOPMENT
APPROVAL**

DRAWING No.
A06

SOUTH WEST ELEVATION

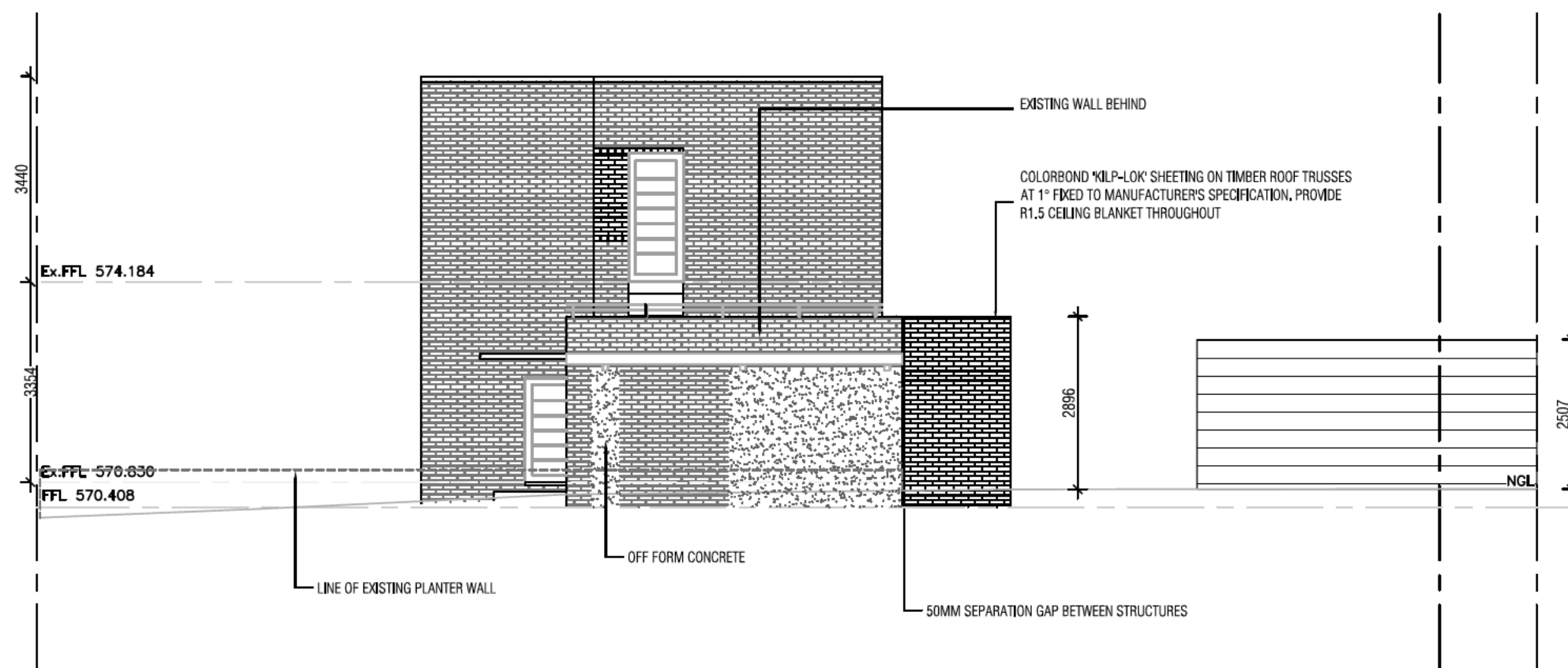


WEST NORTH ELEVATION



REVISION	DESCRIPTION	DATE
A	DA	14.08.14

All dimensions must be verified on site by the contractor before the commencement of work or production of shop drawings. All dimensions are in millimeters unless otherwise stated. Do not scale drawings.



KASCON

Registration No: 1108

CLIENT
GEORGE

PROJECT
8/35F

**BLOCK 8, SECTION 35
FORREST ACT**

PROJECT No.
BLK8SEC35 - FORREST



DRAWING
ELEVATIONS

DATE **14.08.14**
SCALE **1:100 @ A3**
DRAWN **TK**

**DEVELOPMENT
APPROVAL**

DRAWING No.

A07

EXISTING MATERIALS



FACE BRICK



WINDOWS

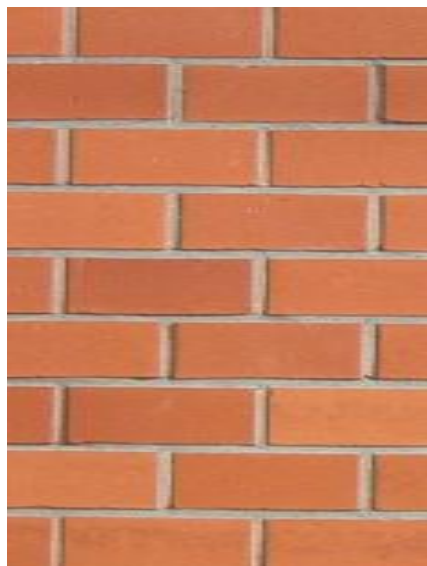


STEEL WORK



GUTTERS/RAIN HEADS

PROPOSED MATERIALS FOR ADDITIONS



FACE BRICK



TIMBER CLADDING



ZINC CLADDING

JAN VAN DER VEEN
Structural Engineer

ACT Heritage
GPO Box 158
Canberra City ACT 2601

Contact
Jan Van Der Veen

Direct Line
[REDACTED]

Our Reference
8.35FS

STRUCTURAL ENGINEERING ADVICE

To Whom It May Concern,

Block 8 Section 35 Forrest – Excavation and structures adjacent to existing dwelling

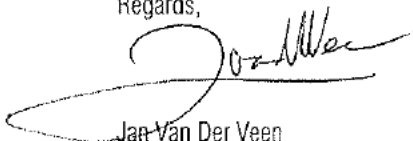
Upon assessment of the works reflected by the architectural drawings prepared by Kascon, A01 – A07 dated 20/01/2015. I can certify that the works in particular excavation for the underground structures will not affect the current heritage structure.

ACT geotechnical engineers have provided me with a soil classification as well as "as built" advice on the existing foundations.

With the above I have been able to calculate that the excavation will be outside of the zone of influence for the foundations thereby not undermining the structural stability of the existing foundations/wall. Furthermore, all of the additions above ground being the carport and rear laundry/entry will not affect the existing heritage building.

The owners have engaged me to provide structural engineering for the entire project, however I have been advised to hold off on documenting the final design until approved/endorsed plans have been provided by ACT heritage. Upon successful endorsement, I will ensure that all structural design is sensitive to the existing heritage structure.

Regards,



Jan Van Der Veen
Structural Engineer
C.Eng M.I. Struct.E.M.I.E (Aust)

AREA ANALYSIS

TOTAL SITE AREA = 608.00m²

GROUND RESIDENTIAL ADDITION = 26.73m²

PROPOSED GARAGE AREA = 21.07 m²

EXISTING RESIDENTIAL AREA=164.64 m²

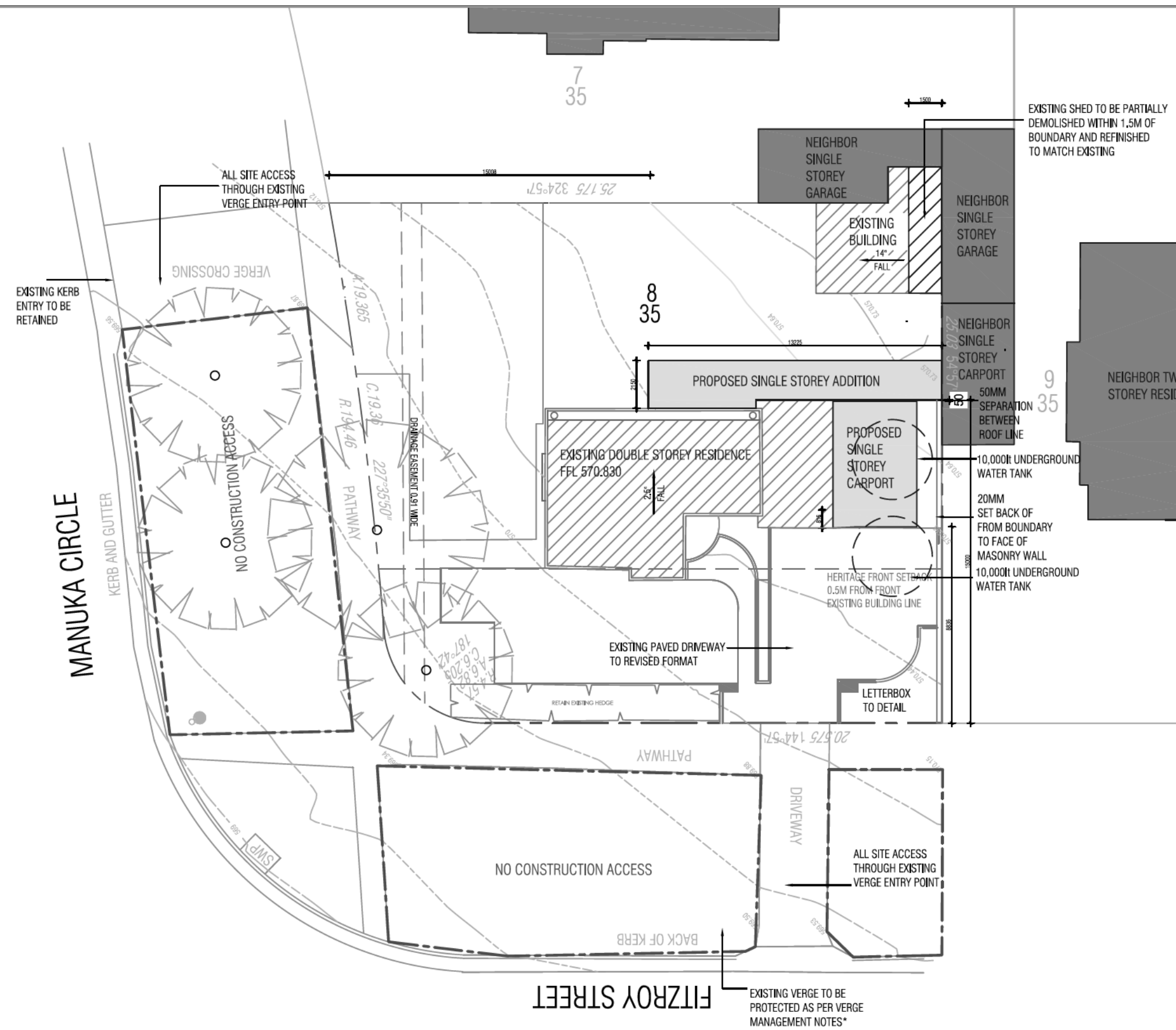
TOTAL RESIDENTIAL FLOOR AREA = 212.44 m²

VERGE MANAGEMENT NOTES *

INSTALL 1800MM HIGH TEMPORARY FENCING WITH CONCRETE FEET OR INSTALL 1800mm CHAIN MESH FENCE SUPPORTED BY 2400mm TALL STAR STEEL POSTS AROUND VERGES AND EXISTING VEGETATION.
 FENCING TO BE ERECTED ON COMMENCEMENT OF SITE WORK AND REMOVED AT COMPLETION OF CONSTRUCTION AND COMMENCEMENT OF VERGE RESTORATION. THE FENCE IS TO REMAIN CONTINUOUS THROUGHOUT PROJECT, EXCEPT WHERE APPROVED SERVICE INSTALLATION OCCURS.
 ENSURE ADEQUATE WATER IS APPLIED TO THE ROOT ZONE OF RETAINED TREES THROUGHOUT THE CONSTRUCTION PERIOD.
 ALL WORK IS TO BE IN ACCORDANCE WITH THE 'CANBERRA LANDSCAPE GUIDELINES' & THE BASIC SPECIFICATIONS FOR ROADS HYDRAULICS AND LANDSCAPE. JULY 1991.
 MAKE GOOD ANY DAMAGE TO EXISTING GRASS VERGES, REINSTATE AS PER BASIC SPECIFICATIONS.
 IT IS THE RESPONSIBILITY OF THE BUILDER TO ENSURE THAT ANY DISTURBANCES TO THE VERGE GROUND COVER, TREES, PATHS, KERB, ROAD WAYS OR SERVICES OCCURRING FROM EITHER CONSTRUCTION WORKS OR STORAGE OF MACHINERY DURING THE CONSTRUCTION WORKS ARE RECTIFIED TO THE SATISFACTION OF RELEVANT AUTHORITIES.
 AT THE COMPLETION OF CONSTRUCTION, VERGES SHOULD STILL HAVE ESTABLISHED DRYLAND GRASS COVER. TOPSOIL IS NOT TO BE REMOVED AND LEVELS NOT TO BE CHANGED.
 NO CAR PARKING OR EQUIPMENT PARKING PERMITTED ON VERGES OR UNDER DRIPLINE OF RETAINED TREES.
 NO SITE SHEDS, STORAGE SHEDS, SITE AMENITIES OR BILLBOARDS TO BE ERECTED ON VERGES OR UNDER DRIPLINE OF RETAINED TREES.
 NO CONSTRUCTION MATERIAL TO BE STORED ON VERGES OR UNDER DRIPLINE OF RETAINED TREES.



LOCATION PLAN NTS



SEDIMENT & EROSION CONTROL *

THE DEVELOPMENT WILL COMPLY WITH THE ACT ENVIRONMENTAL PROTECTION AUTHORITY, ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE ACT, AUGUST 2007.
 PROVIDE CONTROL MEASURE IN ACCORDANCE WITH TERRITORY & MUNICIPAL SERVICES GUIDELINES
 INSTALL & MAINTAIN ALL EROSION & SEDIMENT CONTROL MEASURES DETAILED FOR THE DURATION OF CONSTRUCTION

PROPOSED SITE PLAN 1:200

REVISION	DESCRIPTION	DATE
A	DA	14.08.14

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KASCON

Registration No: 1108

CLIENT
GEORGE

PROJECT
8/35F

BLOCK 8, SECTION 35 FORREST ACT

PROJECT No.
BLK8SEC35 - FORREST







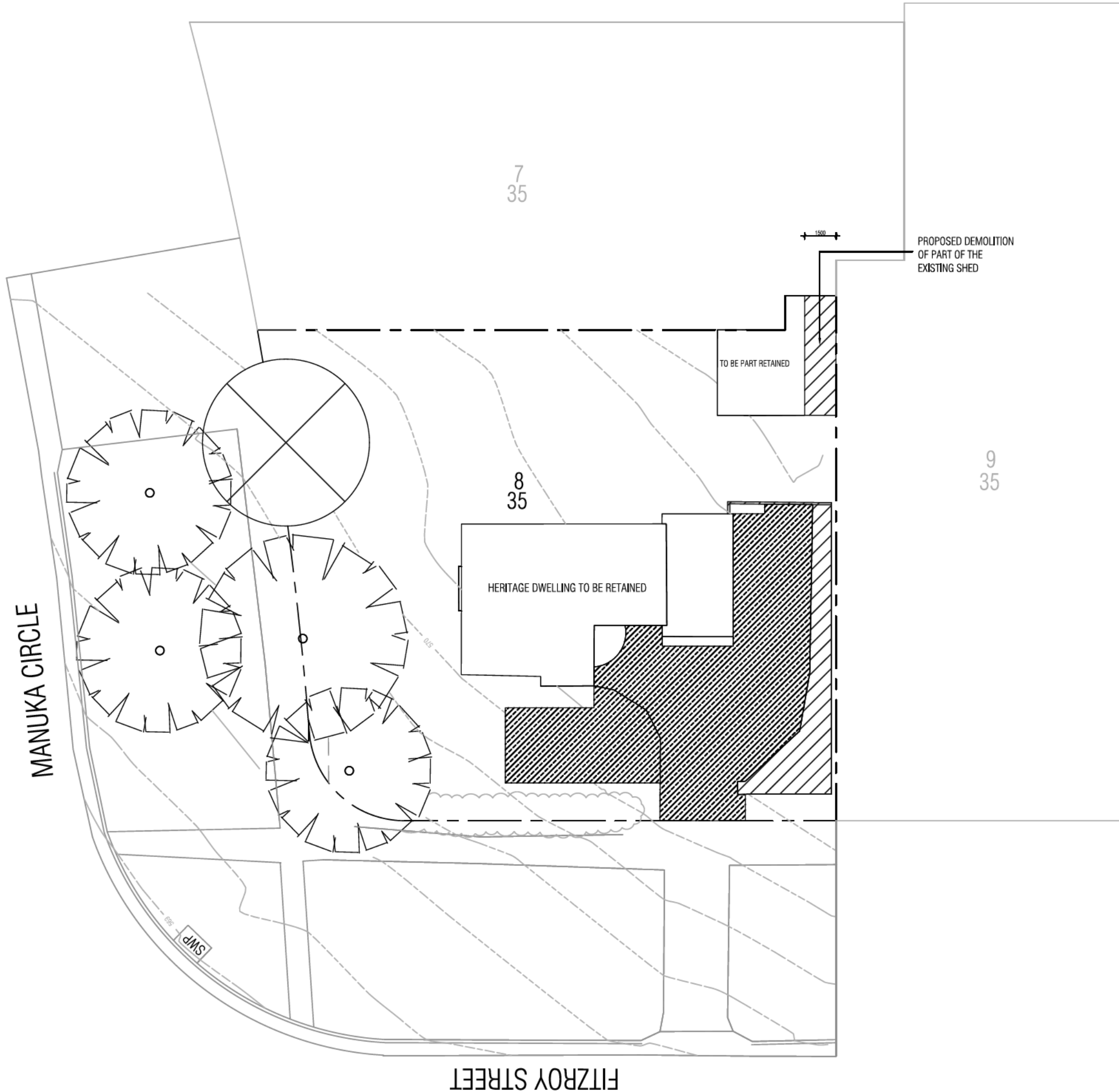
DRAWING
SITE PLAN

DATE **20.01.15**
SCALE **AS SHOWN @ A3**
DRAWN **TK**

DEVELOPMENT APPROVAL

DRAWING No.
A01

 EXISTING TREE TO BE REMOVED AND DEMOLISHED
 EXISTING TREE TO BE RETAINED
 NON HERITAGE - EXISTING STRUCTURE TO BE DEMOLISHED
 NON HERITAGE - EXISTING HARD SURFACES TO BE DEMOLISHED



REVISION	DESCRIPTION	DATE
A	DA	14.08.14

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KASCON

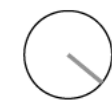
Registration No: 1108

CLIENT
GEORGE

PROJECT
8/35F

**BLOCK 8, SECTION 35
FORREST ACT**

PROJECT No.
BLK8SEC35 - FORREST



DRAWING
DEMOLITION PLAN

DATE **14.08.14**
SCALE **1:200 @ A3**
DRAWN **TK**

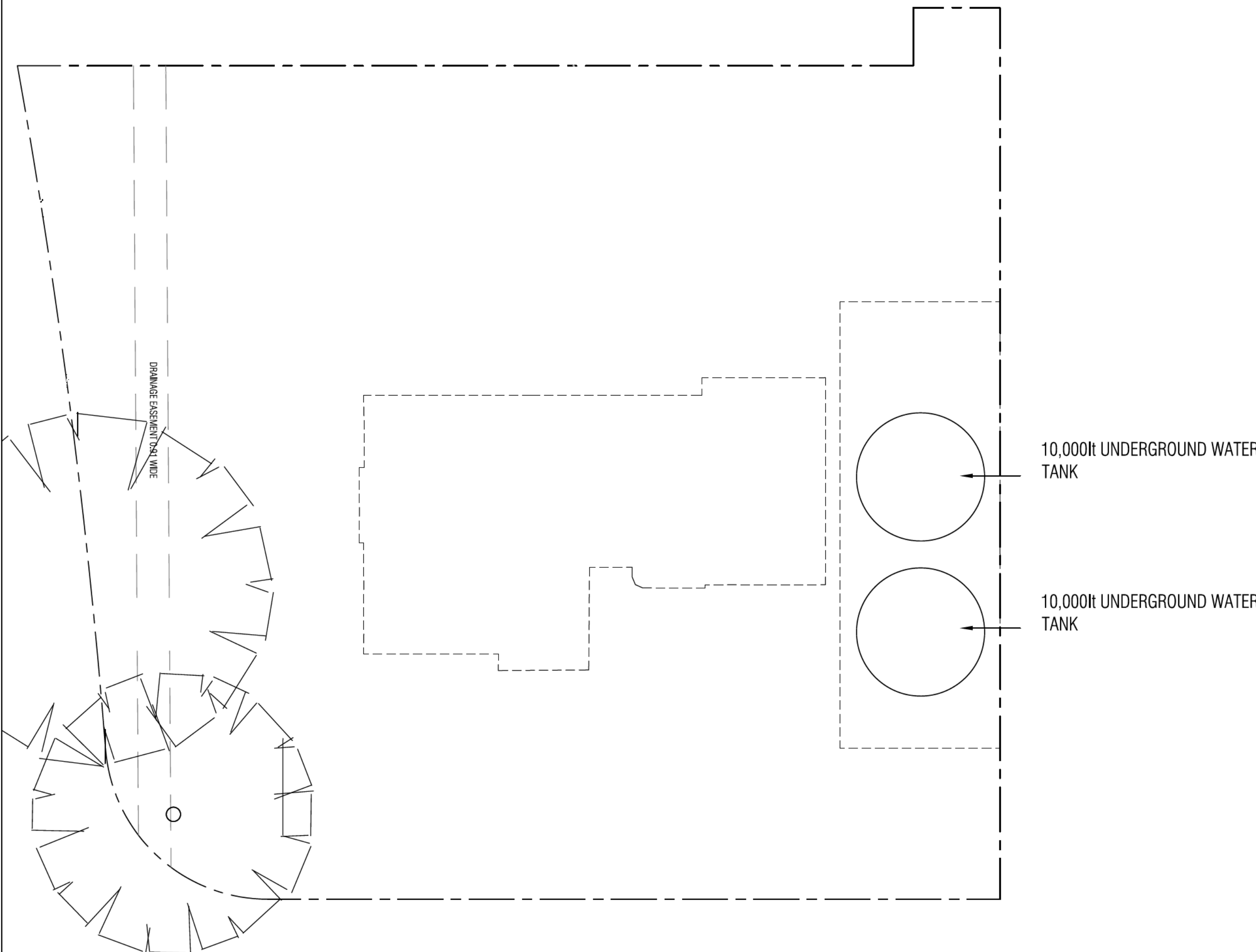
**DEVELOPMENT
APPROVAL**

DRAWING No.

A02

REVISION	DESCRIPTION	DATE
A	DA	14.08.14

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KASCON

Registration No: 1108

CLIENT
GEORGE

PROJECT
8/35F

**BLOCK 8, SECTION 35
FORREST ACT**

PROJECT No.
BLK8SEC35 - FORREST



DRAWING
BASEMENT PLAN

DATE **14.08.14**
SCALE **1:100 @ A3**
DRAWN **TK**

**DEVELOPMENT
APPROVAL**

DRAWING No.

A03B

REVISION	DESCRIPTION	DATE
A	DA	14.08.14

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KASCON

Registration No: 1108

CLIENT
GEORGE

PROJECT
8/35F

**BLOCK 8, SECTION 35
FORREST ACT**

PROJECT No.
BLK8SEC35 - FORREST



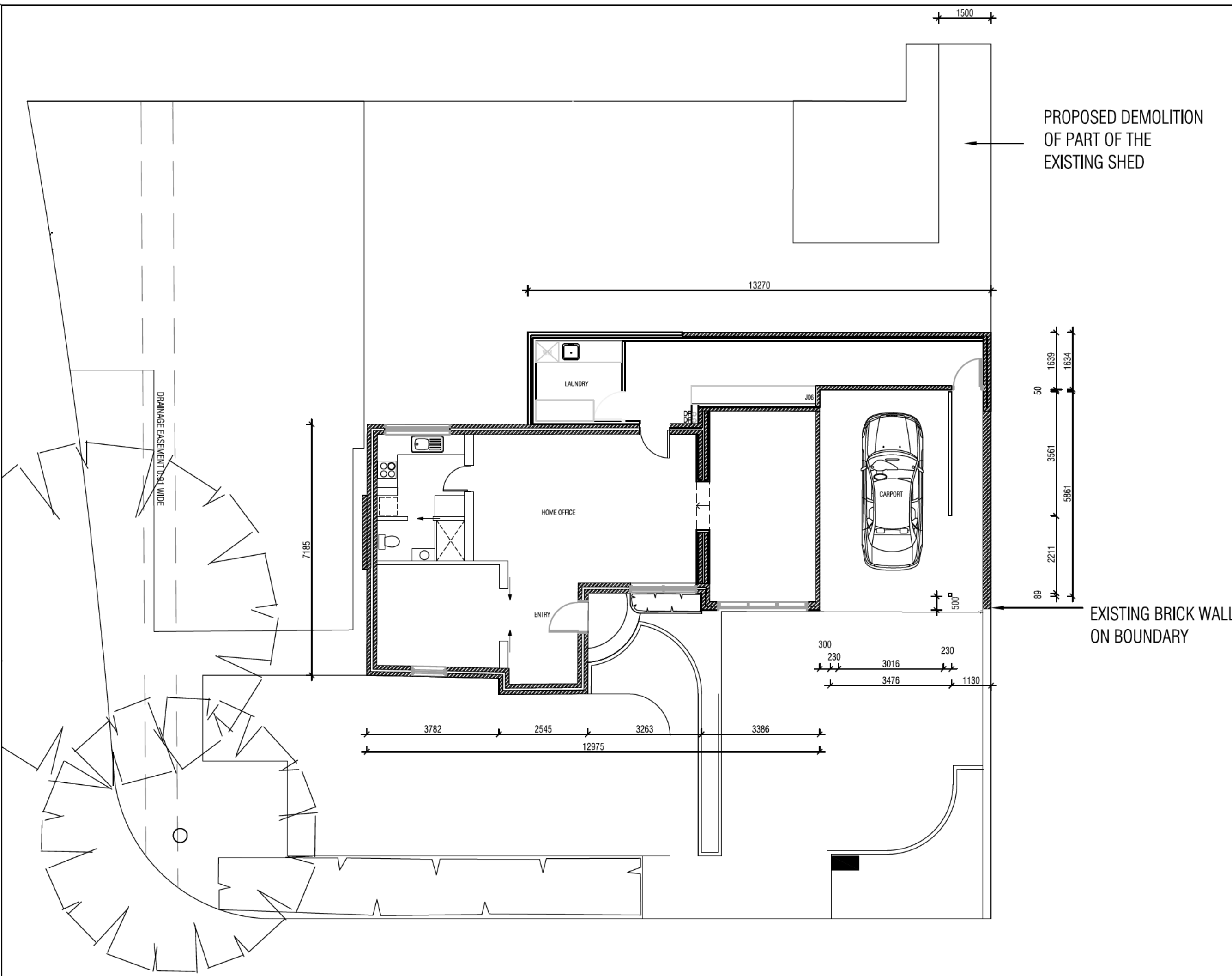
DRAWING
FLOOR PLAN

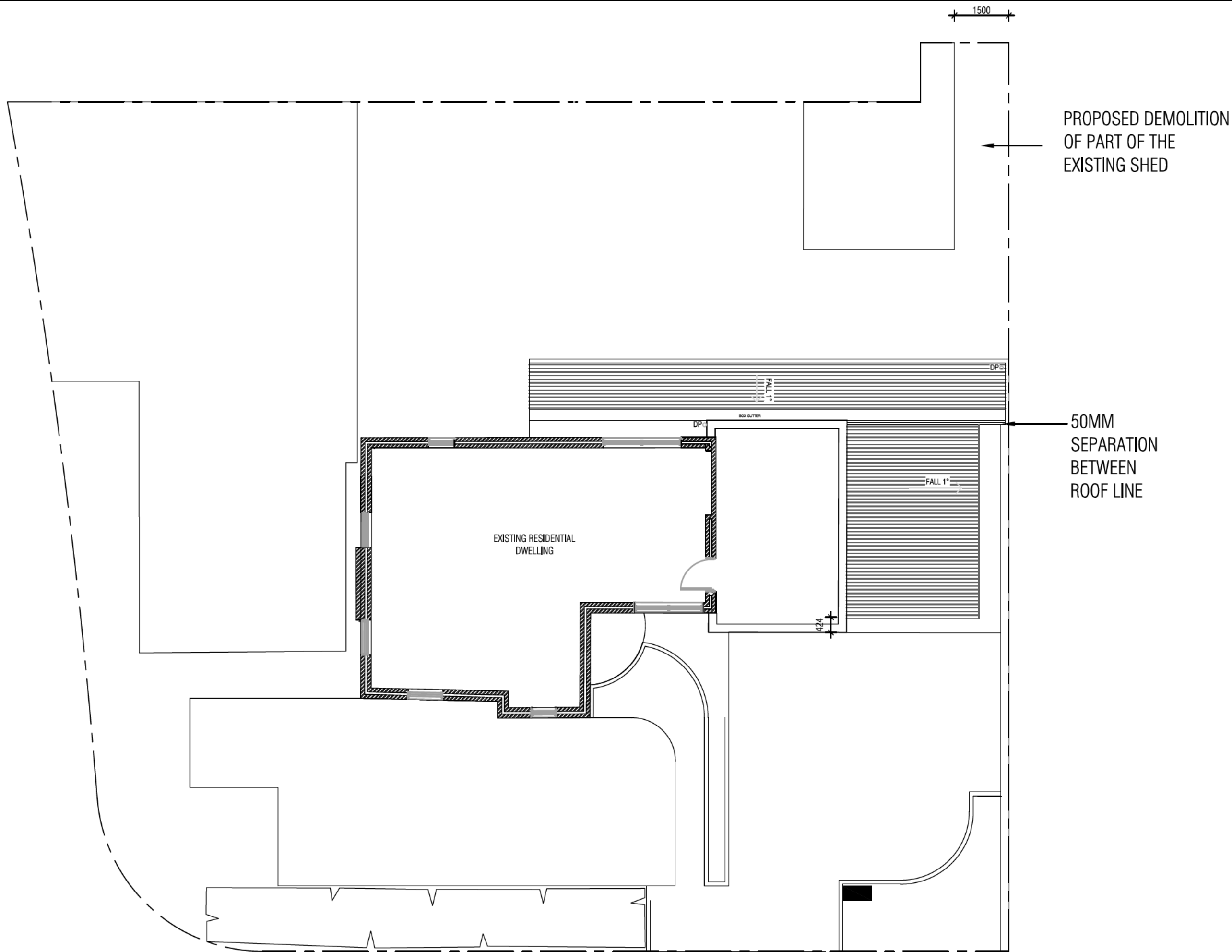
DATE **14.08.14**
SCALE **1:100 @ A3**
DRAWN **TK**

**DEVELOPMENT
APPROVAL**

DRAWING No.

A03





REVISION	DESCRIPTION	DATE
A	DA	14.08.14

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PROPOSED DEMOLITION
OF PART OF THE
EXISTING SHED

50MM
SEPARATION
BETWEEN
ROOF LINE

KASCON

Registration No: 1108

CLIENT
GEORGE

PROJECT
8/35F

**BLOCK 8, SECTION 35
FORREST ACT**

PROJECT No.
BLK8SEC35 - FORREST



DRAWING
FIRST FLOOR PLAN

DATE **14.08.14**
SCALE **1:100 @ A3**
DRAWN **TK**

**DEVELOPMENT
APPROVAL**

DRAWING No.
A04

REVISION	DESCRIPTION	DATE
A	DA	14.08.14

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KASCON

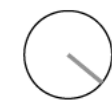
Registration No: 1108

CLIENT
GEORGE

PROJECT
8/35F

**BLOCK 8, SECTION 35
FORREST ACT**

PROJECT No.
BLK8SEC35 - FORREST



DRAWING
ELEVATIONS

DATE **14.08.14**
SCALE **1:100 @ A3**
DRAWN **TK**

**DEVELOPMENT
APPROVAL**

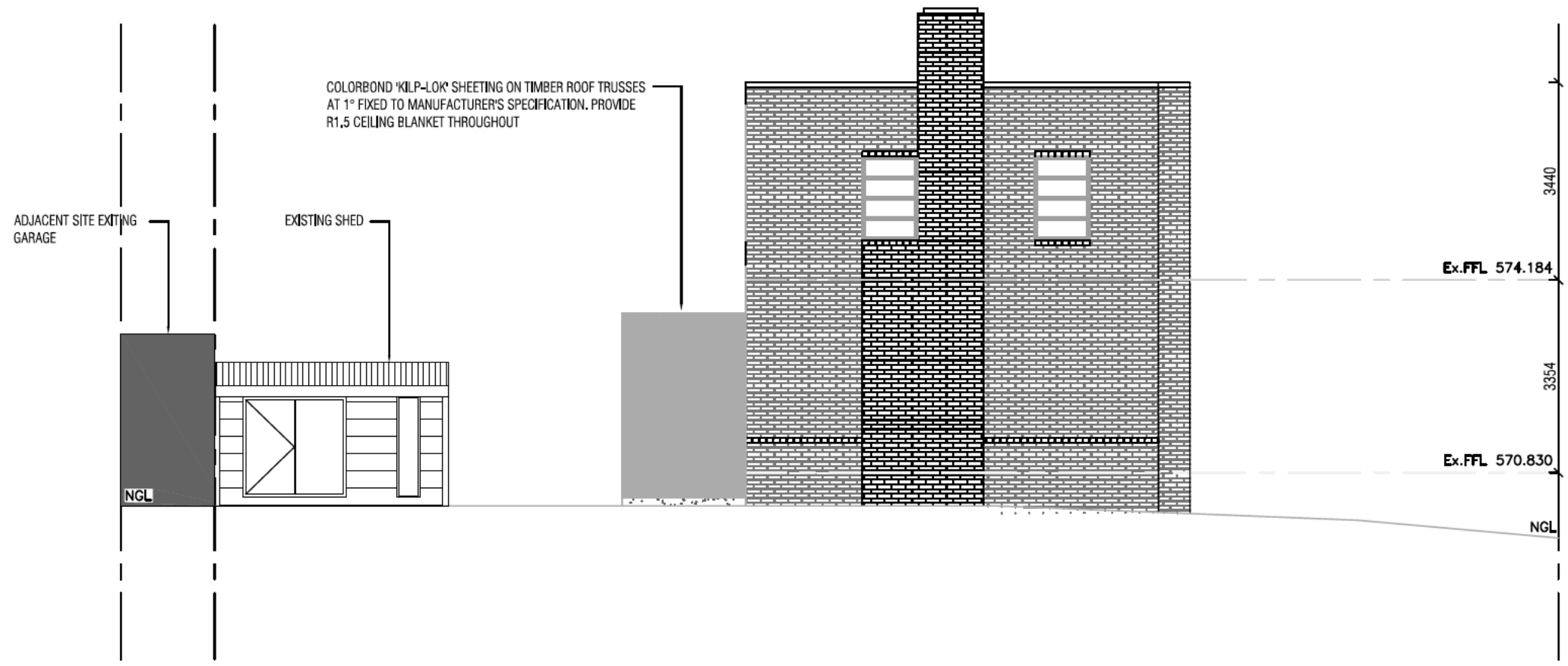
DRAWING No.

A05

NORTH EAST ELEVATION



EAST WEST ELEVATION



REVISION	DESCRIPTION	DATE
A	DA	14.08.14

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KASCON

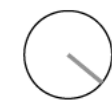
Registration No: 1108

CLIENT
GEORGE

PROJECT
8/35F

**BLOCK 8, SECTION 35
FORREST ACT**

PROJECT No.
BLK8SEC35 - FORREST



DRAWING
ELEVATIONS

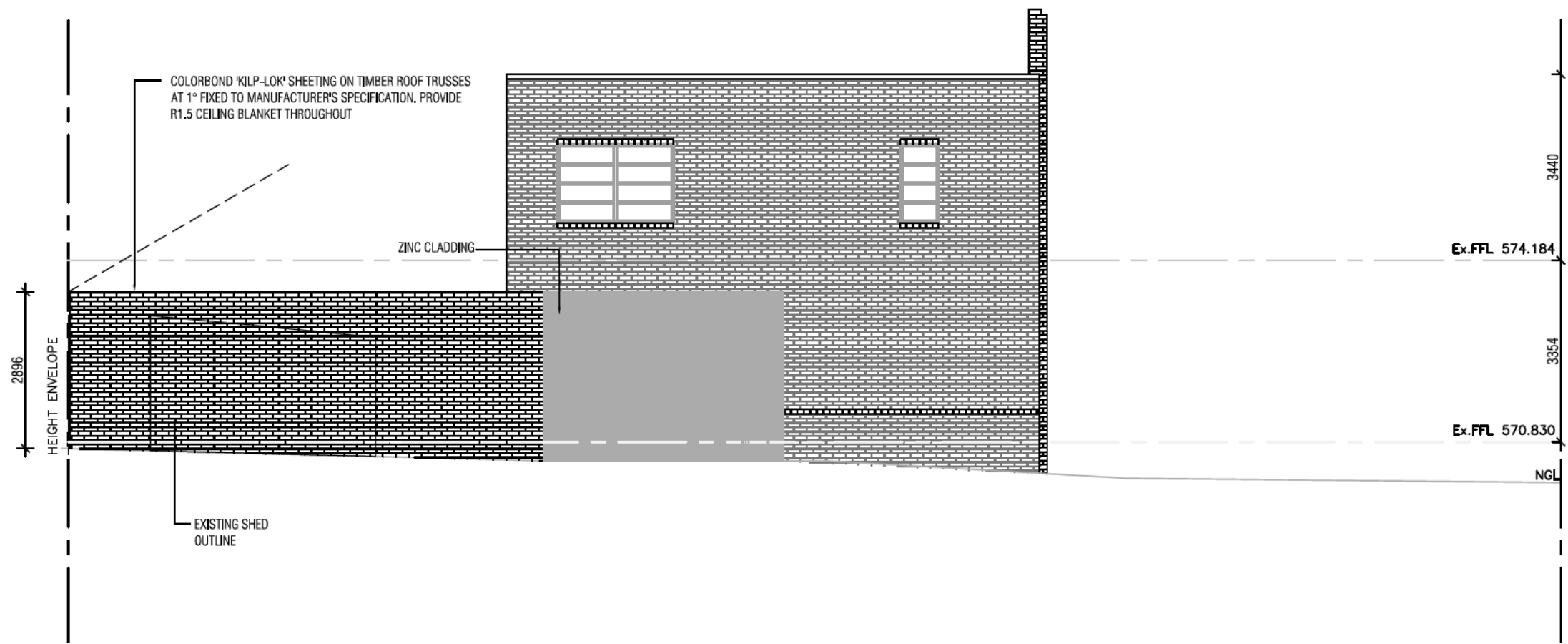
DATE **14.08.14**
SCALE **1:100 @ A3**
DRAWN **TK**

**DEVELOPMENT
APPROVAL**

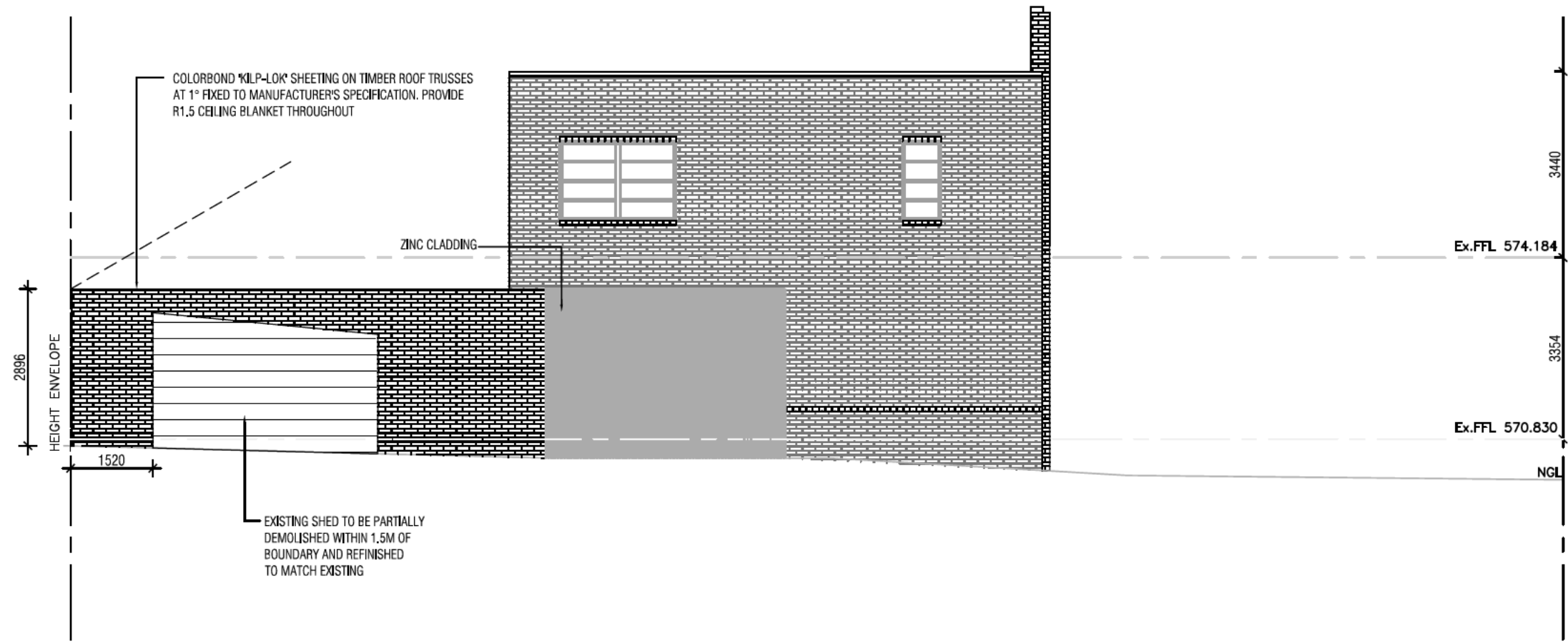
DRAWING No.

A06

SOUTH WEST ELEVATION

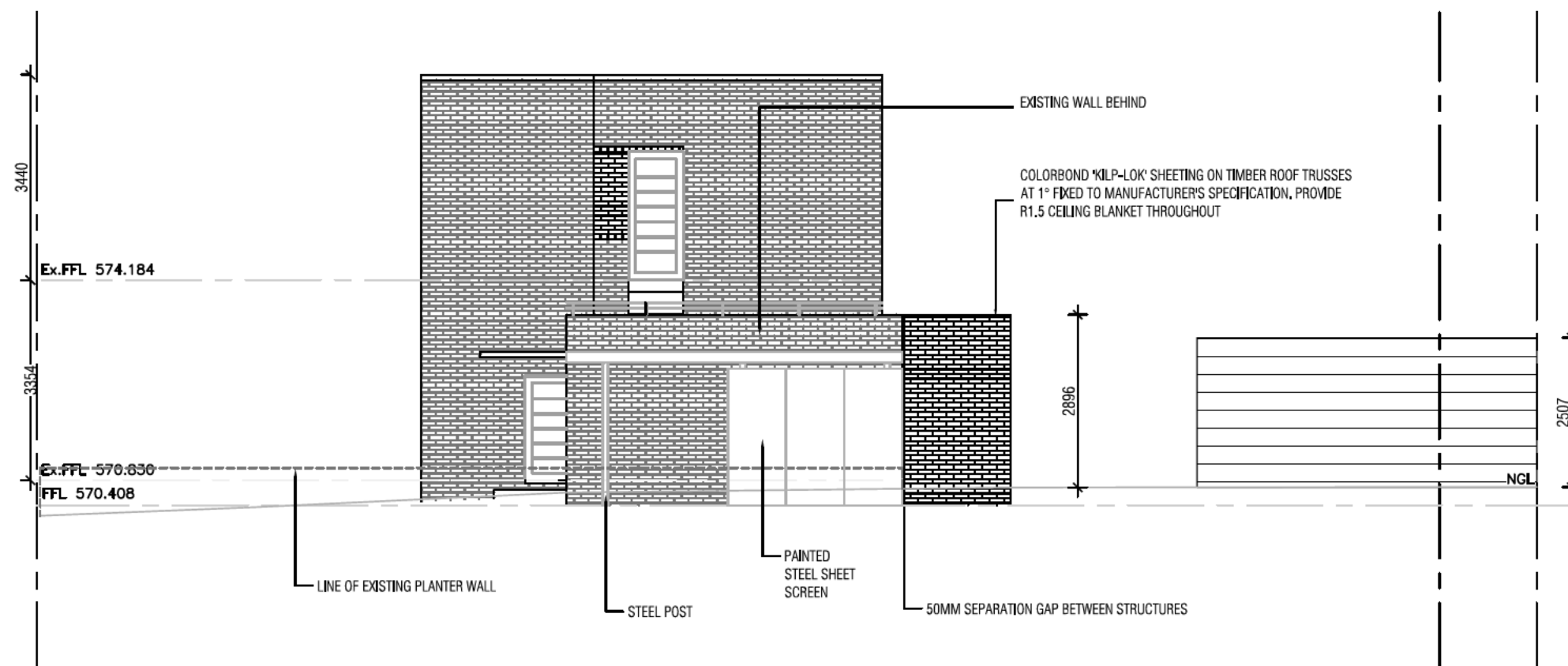


WEST NORTH ELEVATION



REVISION	DESCRIPTION	DATE
A	DA	14.08.14

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KASCON

Registration No: 1108

CLIENT
GEORGE

PROJECT
8/35F

**BLOCK 8, SECTION 35
FORREST ACT**

PROJECT No.
BLK8SEC35 - FORREST



DRAWING
ELEVATIONS

DATE **14.08.14**
SCALE **1:100 @ A3**
DRAWN **TK**

**DEVELOPMENT
APPROVAL**

DRAWING No.

A07

EXISTING MATERIALS



FACE BRICK



WINDOWS

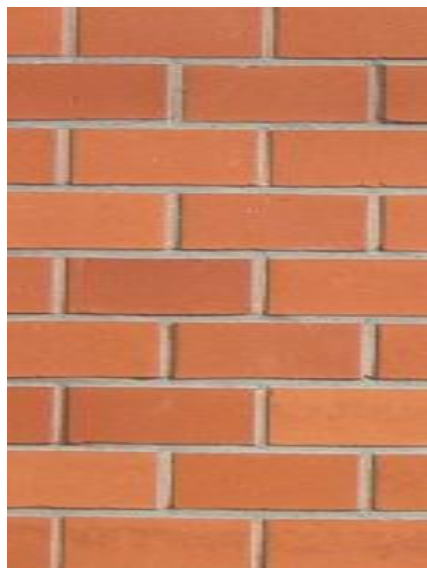


STEEL WORK



GUTTERS/RAIN HEADS

PROPOSED MATERIALS FOR ADDITIONS



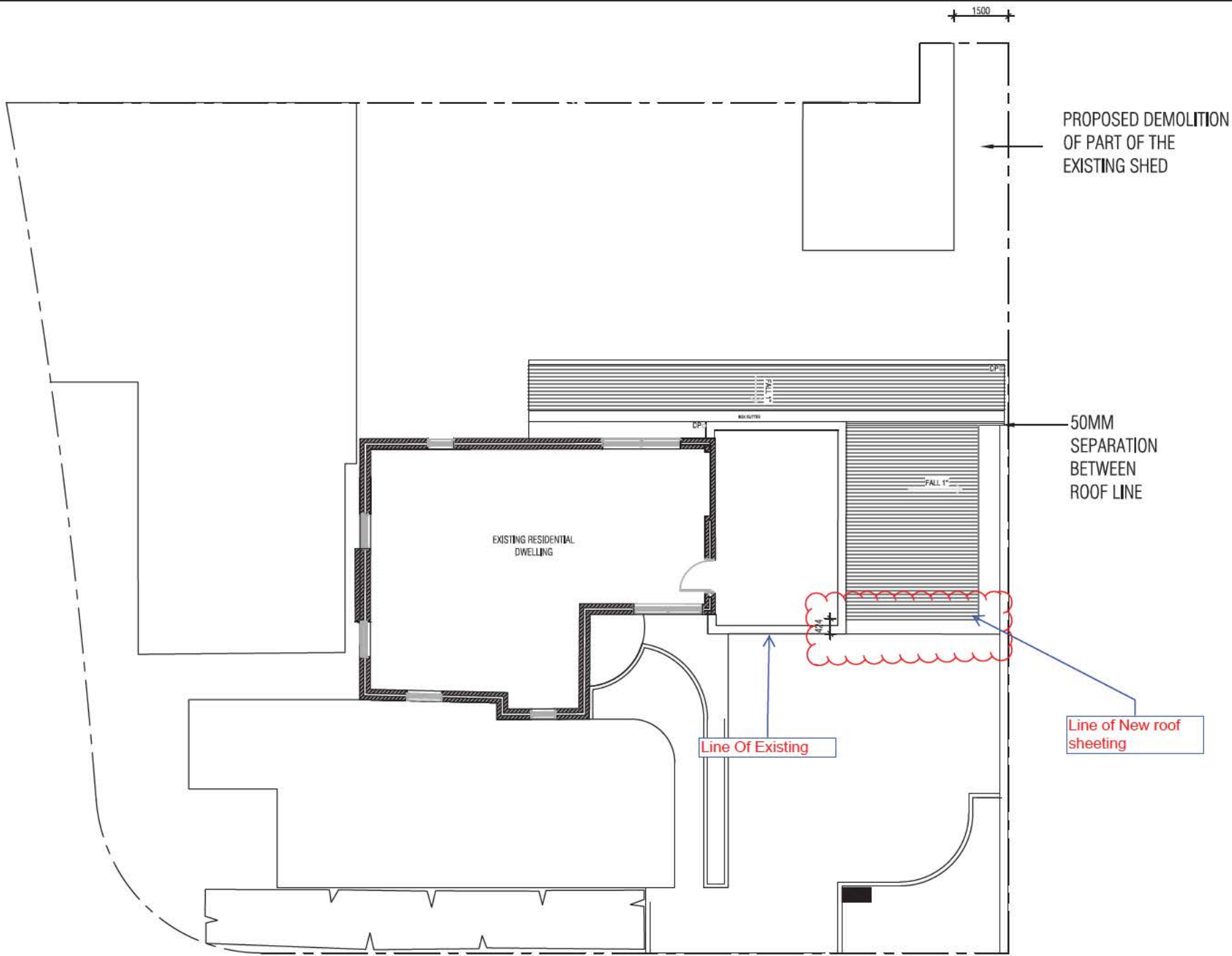
FACE BRICK



TIMBER CLADDING



ZINC CLADDING



REVISION	DESCRIPTION	DATE
A	DA	14.08.14

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KASCON

Registration No: 1108

CLIENT
GEORGE

PROJECT
8/35F

**BLOCK 8, SECTION 35
FORREST ACT**
PROJECT No.
BLK8SEC35 - FORREST



DRAWING
FIRST FLOOR PLAN

DATE **14.08.14**
SCALE **1:100 @ A3**
DRAWN **TK**

**DEVELOPMENT
APPROVAL**

DRAWING No.
A04

AREA ANALYSIS

TOTAL SITE AREA = 608.00m²

GROUND RESIDENTIAL ADDITION = 26.73m²

PROPOSED GARAGE AREA = 21.07 m²

EXISTING RESIDENTIAL AREA=164.64 m²

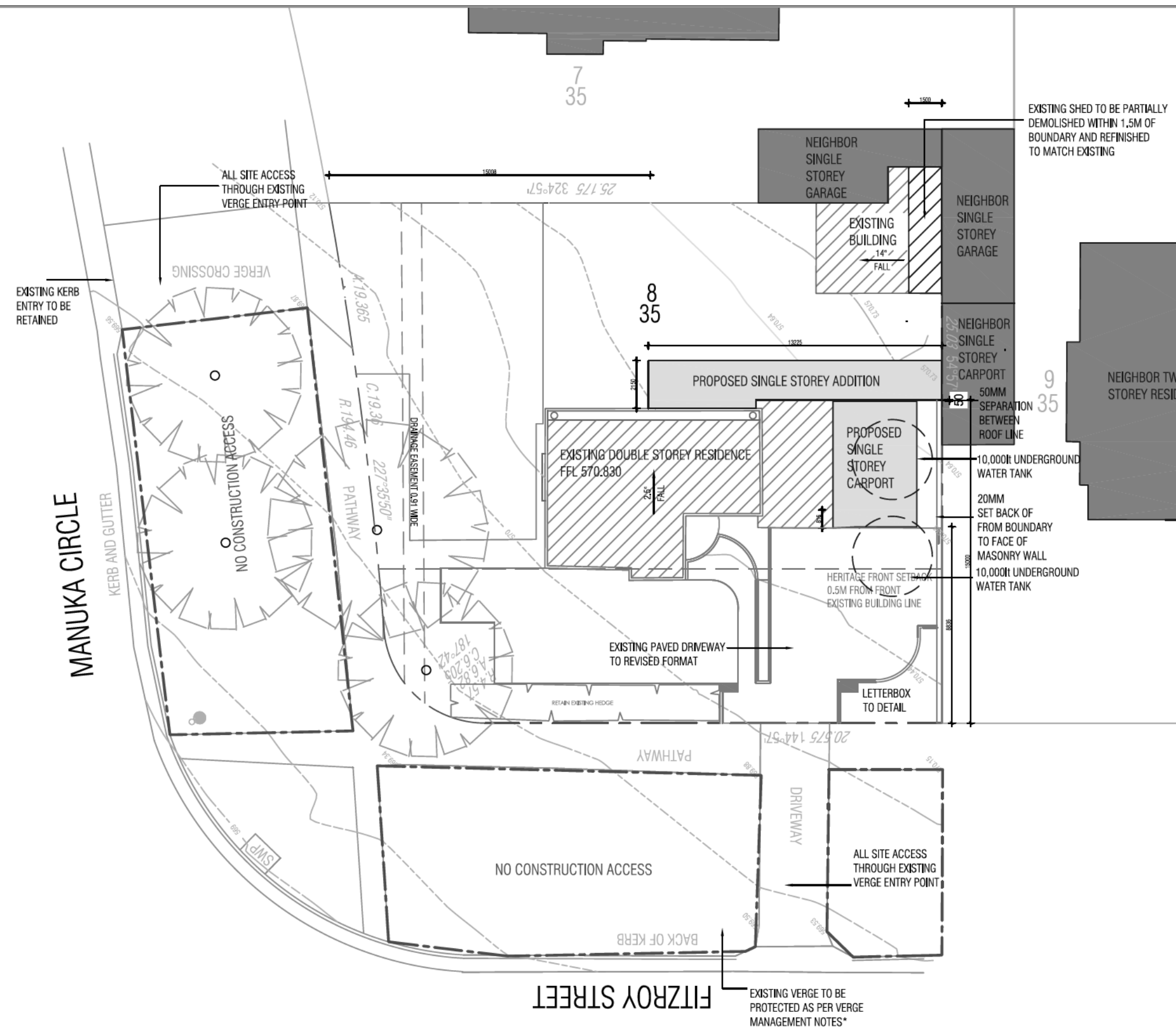
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VERGE MANAGEMENT NOTES *

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LOCATION PLAN NTS



SEDIMENT & EROSION CONTROL *

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PROPOSED SITE PLAN 1:200

REVISION	DESCRIPTION	DATE
A	DA	14.08.14

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KASCON

Registration No: 1108

CLIENT
GEORGE

PROJECT
8/35F

BLOCK 8, SECTION 35 FORREST ACT

PROJECT No.
BLK8SEC35 - FORREST



DRAWING
SITE PLAN





DATE **20.01.15**
SCALE **AS SHOWN @ A3**
DRAWN **TK**

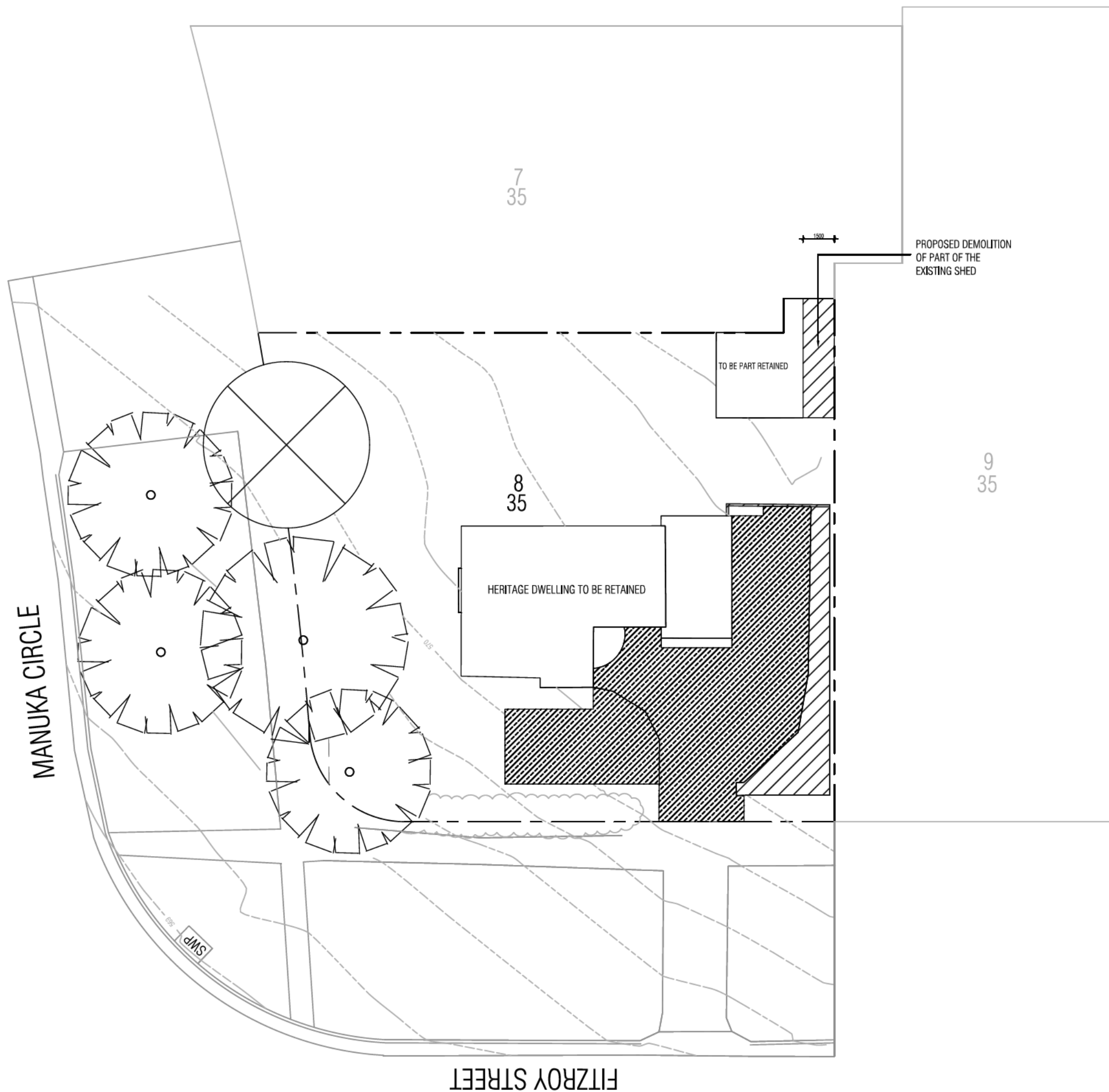
DEVELOPMENT APPROVAL

DRAWING No.
A01

REVISION	DESCRIPTION	DATE
A	DA	14.08.14

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-  EXISTING TREE TO BE REMOVED AND DEMOLISHED
-  EXISTING TREE TO BE RETAINED
-  NON HERITAGE - EXISTING STRUCTURE TO BE DEMOLISHED
-  NON HERITAGE - EXISTING HARD SURFACES TO BE DEMOLISHED



KASCON

Registration No: 1108

CLIENT
GEORGE

PROJECT
8/35F

**BLOCK 8, SECTION 35
FORREST ACT**

PROJECT No.
BLK8SEC35 - FORREST



DRAWING
DEMOLITION PLAN

DATE **14.08.14**
SCALE **1:200 @ A3**
DRAWN **TK**

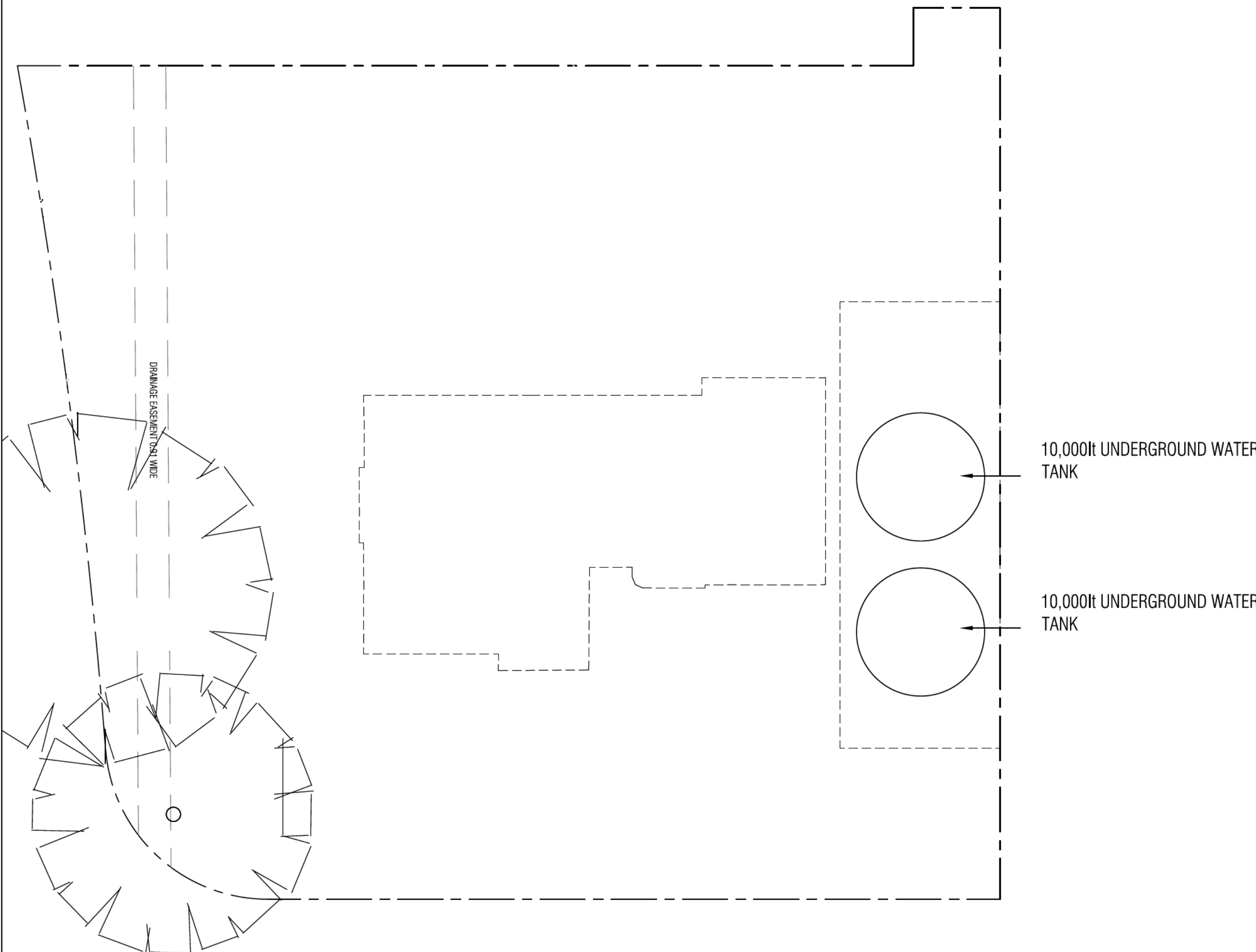
**DEVELOPMENT
APPROVAL**

DRAWING No.

A02

REVISION	DESCRIPTION	DATE
A	DA	14.08.14

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KASCON

Registration No: 1108

CLIENT
GEORGE

PROJECT
8/35F

**BLOCK 8, SECTION 35
FORREST ACT**

PROJECT No.
BLK8SEC35 - FORREST



DRAWING
BASEMENT PLAN

DATE **14.08.14**
SCALE **1:100 @ A3**
DRAWN **TK**

**DEVELOPMENT
APPROVAL**

DRAWING No.

A03B

REVISION	DESCRIPTION	DATE
A	DA	14.08.14

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KASCON

Registration No: 1108

CLIENT
GEORGE

PROJECT
8/35F

**BLOCK 8, SECTION 35
FORREST ACT**

PROJECT No.
BLK8SEC35 - FORREST

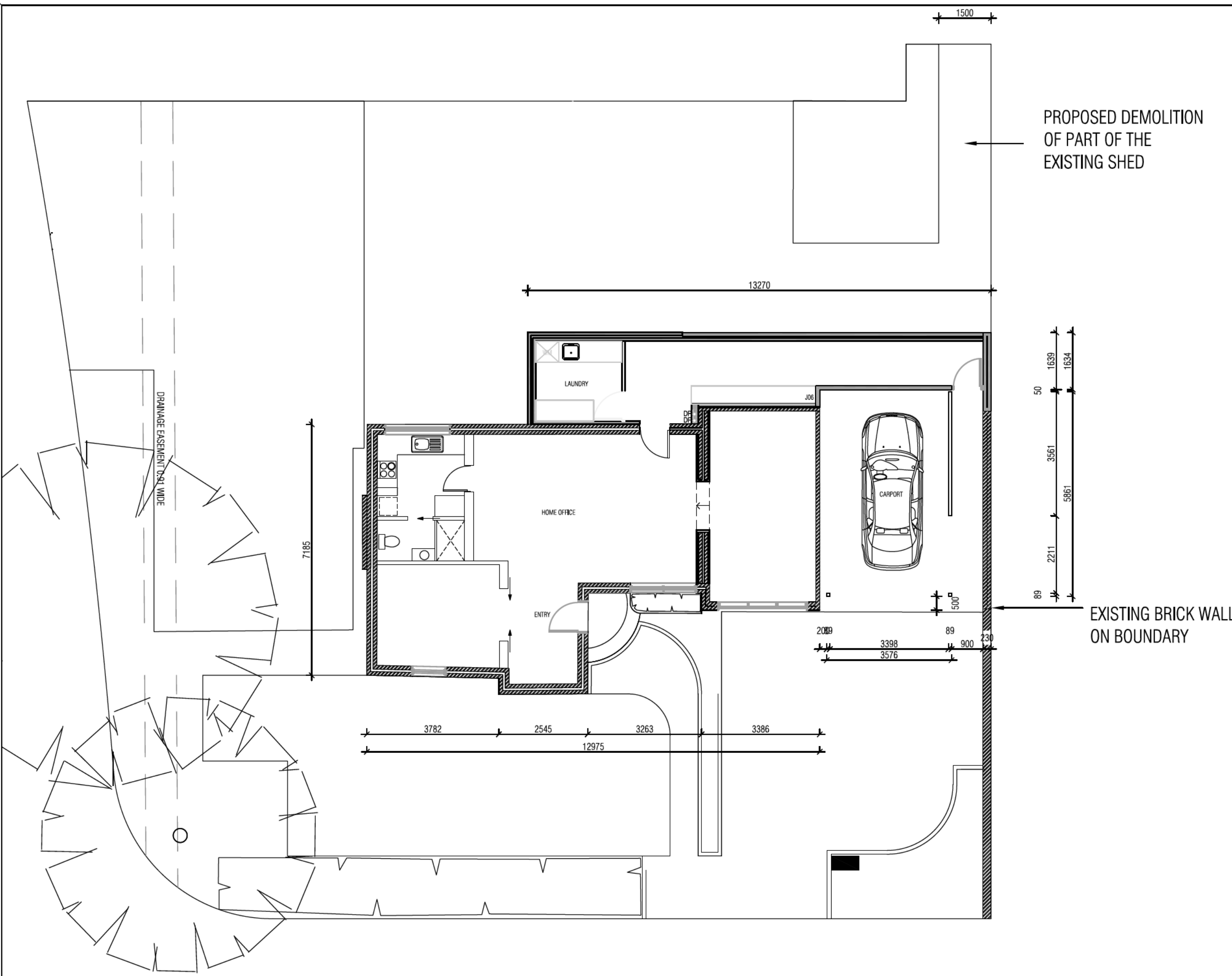
DRAWING
FLOOR PLAN

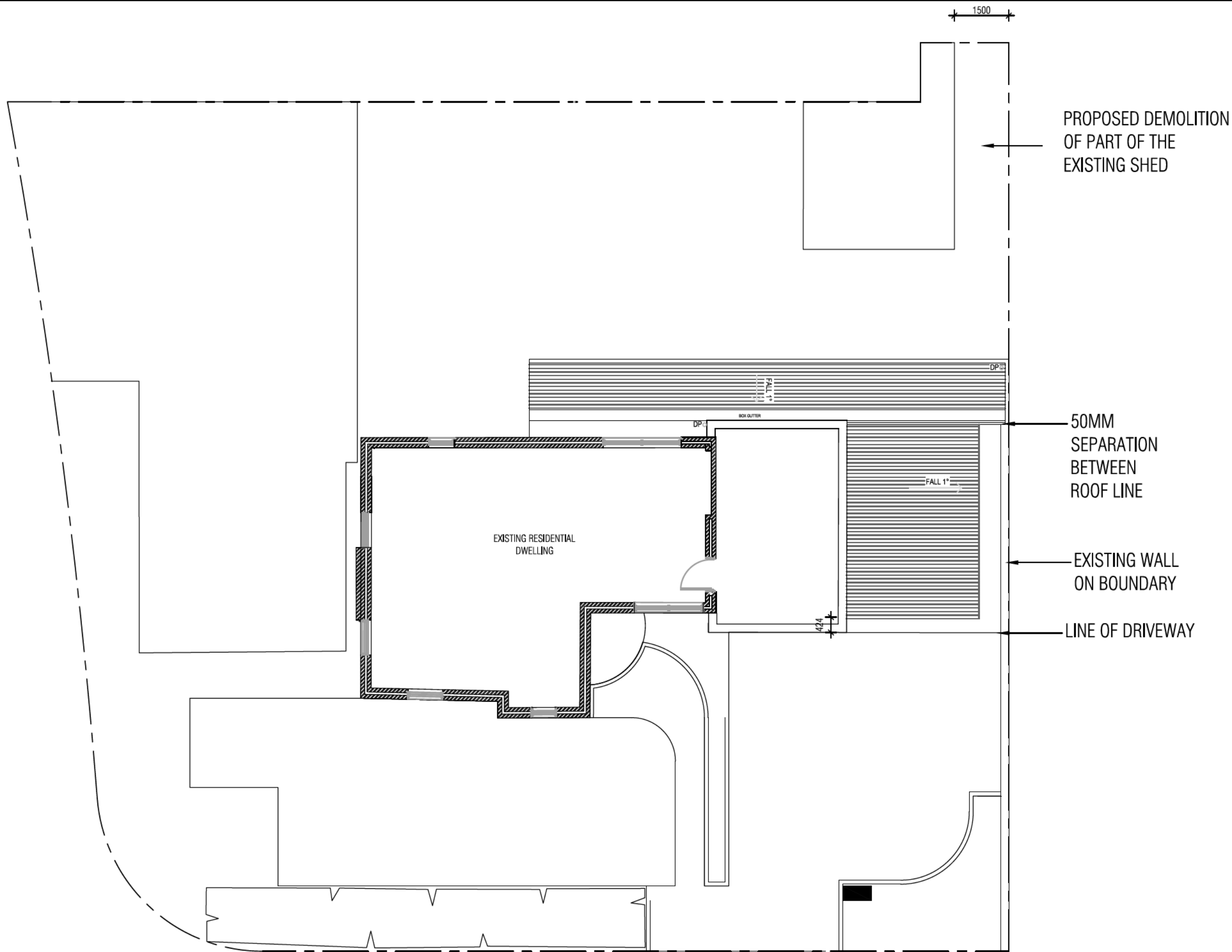
DATE **14.08.14**
SCALE **1:100 @ A3**
DRAWN **TK**

**DEVELOPMENT
APPROVAL**

DRAWING No.

A03





REVISION	DESCRIPTION	DATE
A	DA	14.08.14

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KASCON

Registration No: 1108

CLIENT
GEORGE

PROJECT
8/35F

**BLOCK 8, SECTION 35
FORREST ACT**

PROJECT No.
BLK8SEC35 - FORREST



DRAWING
FIRST FLOOR PLAN

DATE **14.08.14**
SCALE **1:100 @ A3**
DRAWN **TK**

**DEVELOPMENT
APPROVAL**

DRAWING No.

A04

NORTH EAST ELEVATION



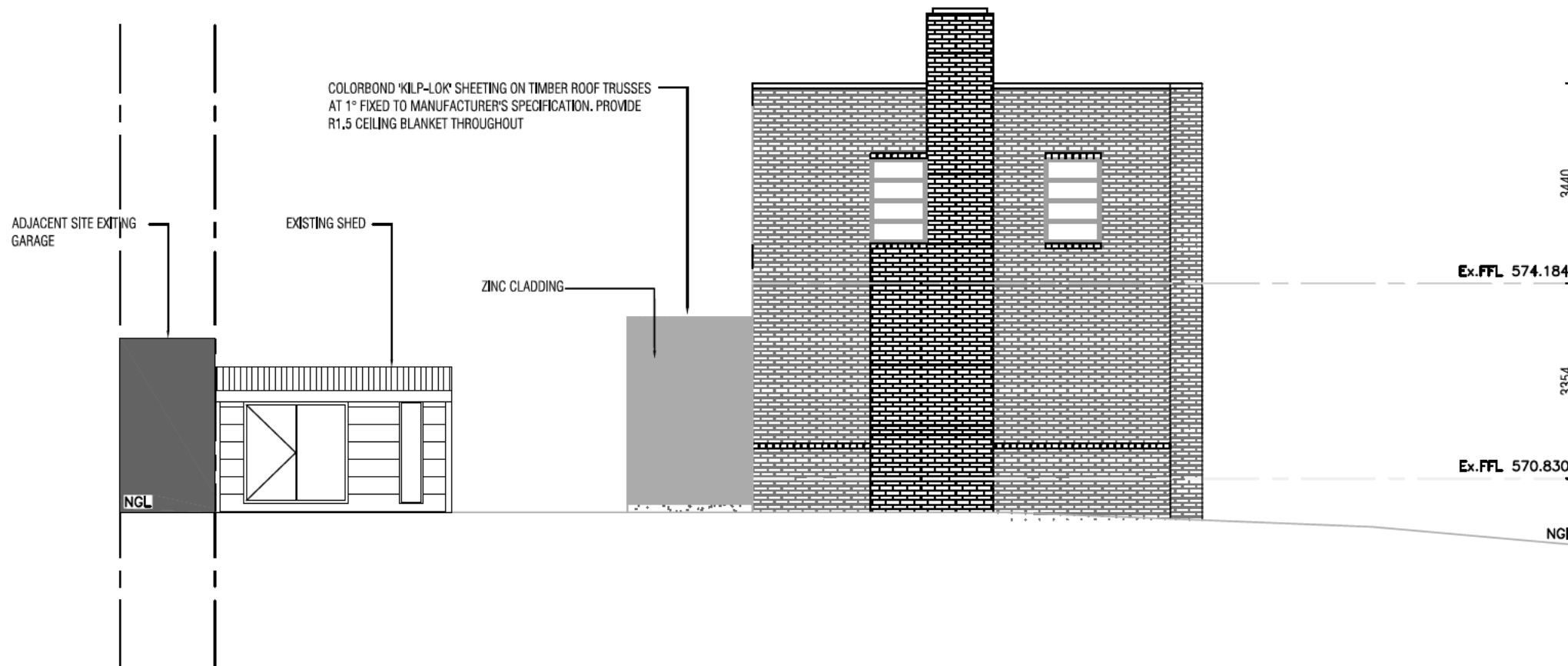
REVISION	DESCRIPTION	DATE
A	DA	14.08.14

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KASCON

Registration No: 1108

SOUTH WEST ELEVATION



CLIENT

GEORGE

PROJECT

8/35F

**BLOCK 8, SECTION 35
FORREST ACT**

PROJECT No.

BLK8SEC35 - FORREST



DRAWING

ELEVATIONS

DATE **14.08.14**
SCALE **1:100 @ A3**
DRAWN **TK**

**DEVELOPMENT
APPROVAL**

DRAWING No.

A05

REVISION	DESCRIPTION	DATE
A	DA	14.08.14

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KASCON

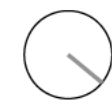
Registration No: 1108

CLIENT
GEORGE

PROJECT
8/35F

**BLOCK 8, SECTION 35
FORREST ACT**

PROJECT No.
BLK8SEC35 - FORREST



DRAWING
ELEVATIONS

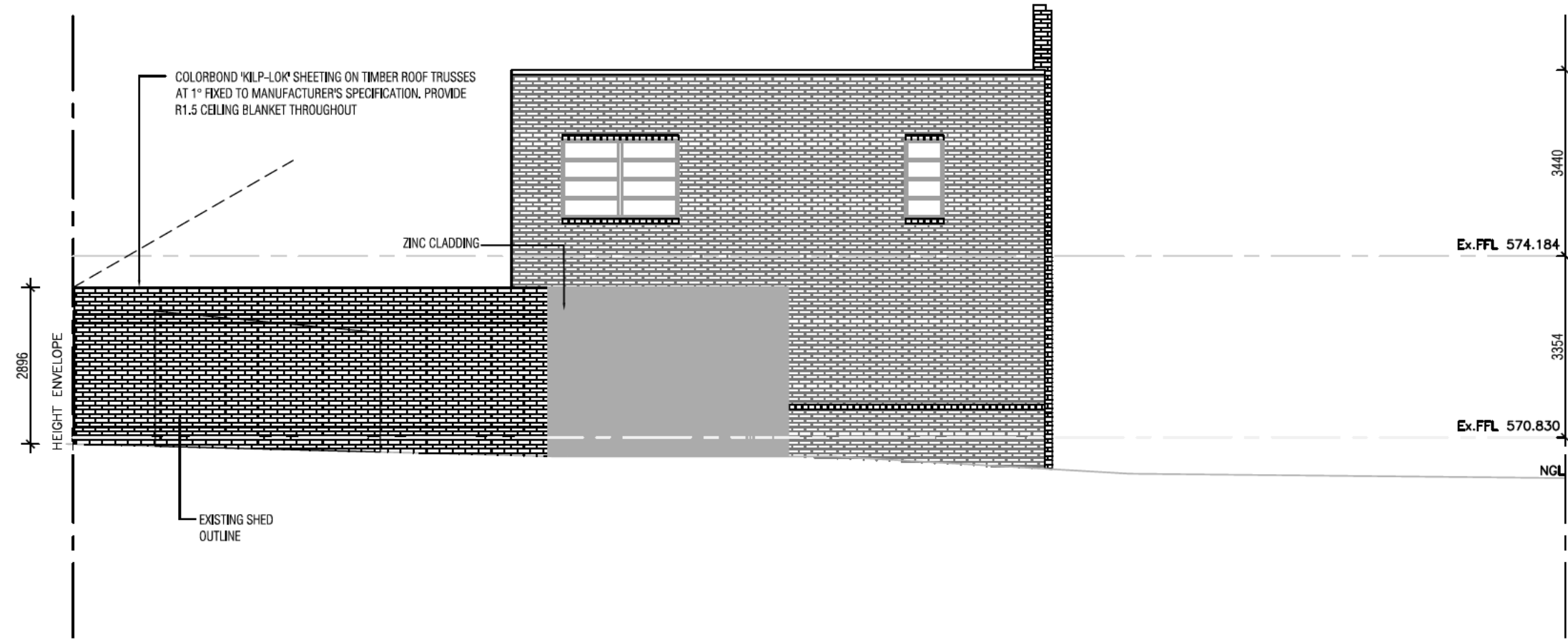
DATE **14.08.14**
SCALE **1:100 @ A3**
DRAWN **TK**

**DEVELOPMENT
APPROVAL**

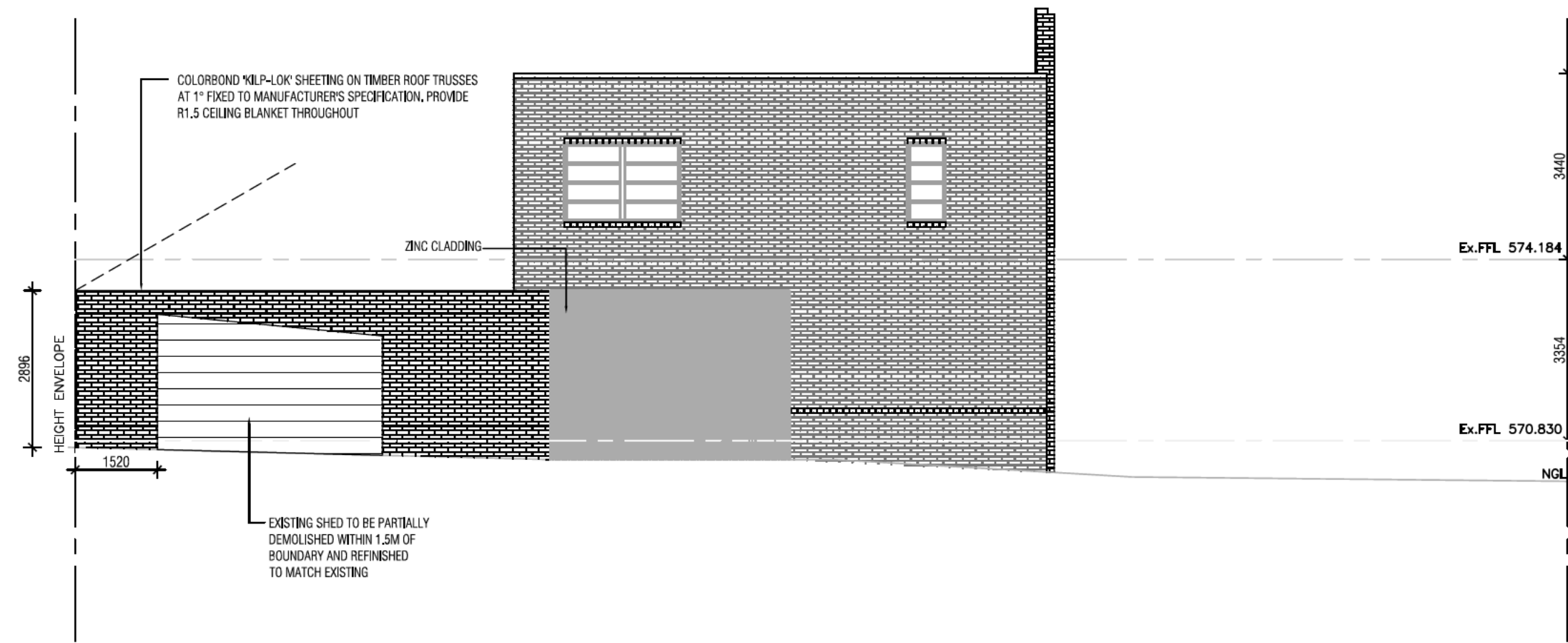
DRAWING No.

A06

SOUTH WEST ELEVATION



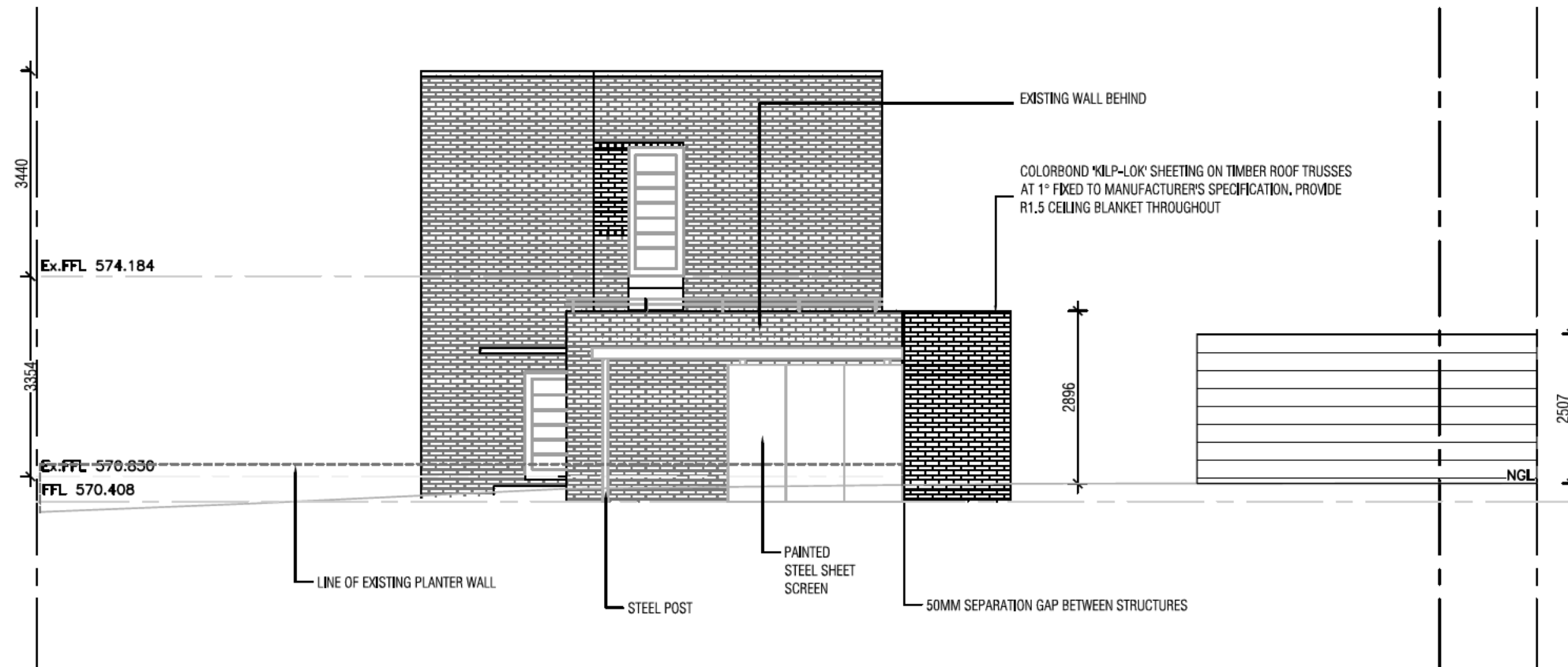
SOUTH WEST ELEVATION



NORTH WEST ELEVATION

REVISION	DESCRIPTION	DATE
A	DA	14.08.14

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KASCON

Registration No: 1108

CLIENT
GEORGE

PROJECT
8/35F

**BLOCK 8, SECTION 35
FORREST ACT**

PROJECT No.
BLK8SEC35 - FORREST



DRAWING
ELEVATIONS

DATE **14.08.14**
SCALE **1:100 @ A3**
DRAWN **TK**

**DEVELOPMENT
APPROVAL**

DRAWING No.

A07

EXISTING MATERIALS



FACE BRICK



WINDOWS

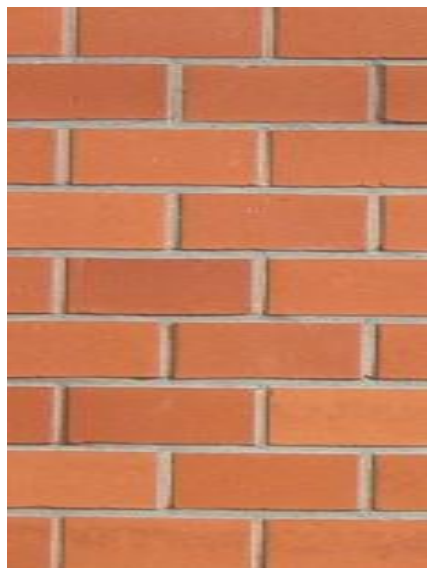


STEEL WORK



GUTTERS/RAIN HEADS

PROPOSED MATERIALS FOR ADDITIONS



FACE BRICK



TIMBER DOOR



ZINC CLADDING

AREA ANALYSIS

TOTAL SITE AREA = 608.00m²

GROUND RESIDENTIAL ADDITION = 26.73m²

PROPOSED GARAGE AREA = 21.07 m²

EXISTING RESIDENTIAL AREA=164.64 m²

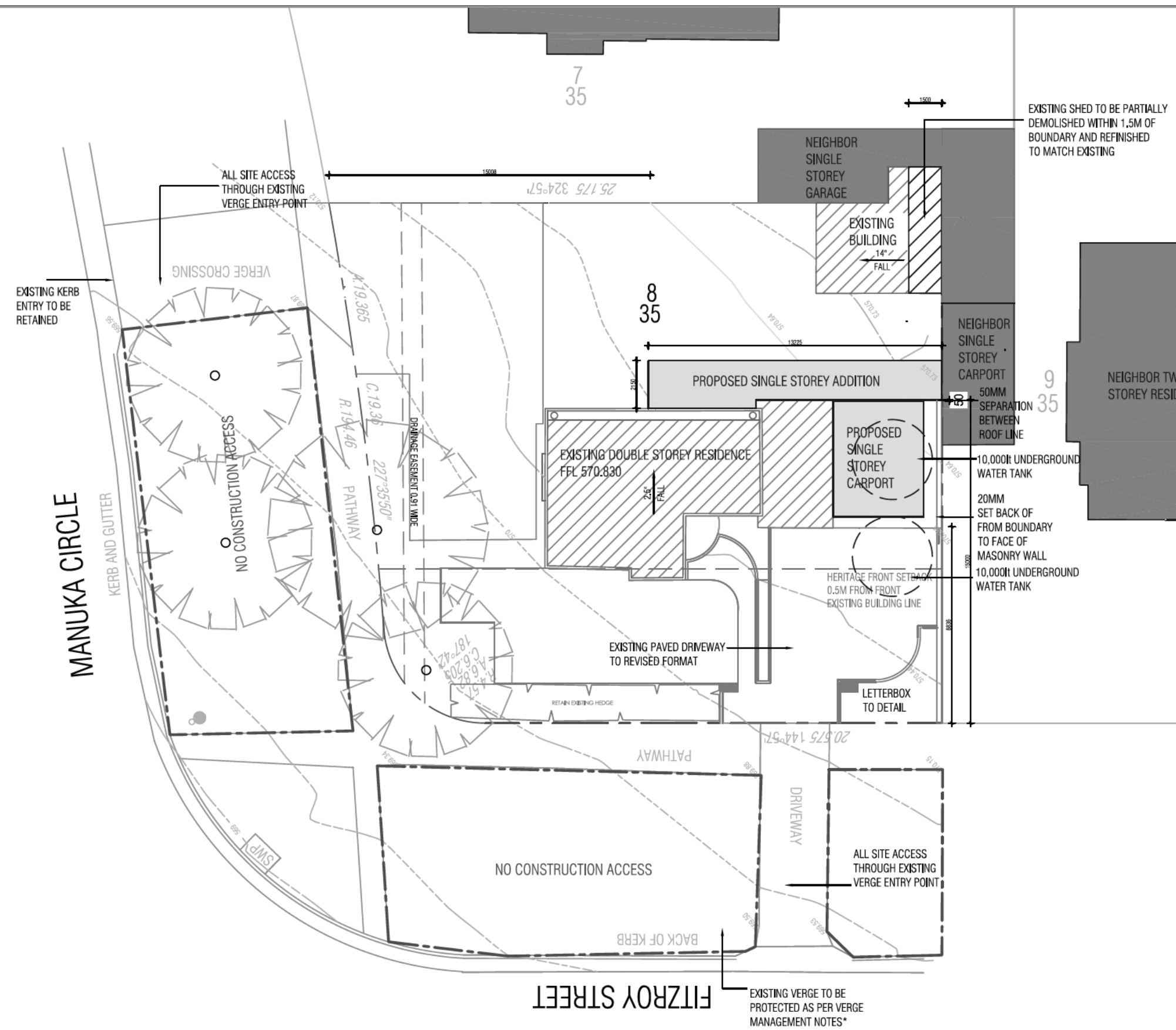
TOTAL RESIDENTIAL FLOOR AREA = 212.44 m²

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- IT IS THE RESPONSIBILITY OF THE BUILDER TO ENSURE THAT ANY DISTURBANCES TO THE VERGE GROUND COVER, TREES, PATHS, KERB, ROAD WAYS OR SERVICES OCCURRING FROM EITHER CONSTRUCTION WORKS OR STORAGE OF MACHINERY DURING THE CONSTRUCTION WORKS ARE RECTIFIED TO THE SATISFACTION OF RELEVANT AUTHORITIES.
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- NO CAR PARKING OR EQUIPMENT PARKING PERMITTED ON VERGES OR UNDER DRIPLINE OF RETAINED TREES.
- NO SITE SHEDS, STORAGE SHEDS, SITE AMENITIES OR BILLBOARDS TO BE ERECTED ON VERGES OR UNDER DRIPLINE OF RETAINED TREES.
- NO CONSTRUCTION MATERIAL TO BE STORED ON VERGES OR UNDER DRIPLINE OF RETAINED TREES.



LOCATION PLAN NTS



SEDIMENT & EROSION CONTROL *

- THE DEVELOPMENT WILL COMPLY WITH THE ACT ENVIRONMENTAL PROTECTION AUTHORITY, ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE ACT, AUGUST 2007.
- PROVIDE CONTROL MEASURE IN ACCORDANCE WITH TERRITORY & MUNICIPAL SERVICES GUIDELINES
- INSTALL & MAINTAIN ALL EROSION & SEDIMENT CONTROL MEASURES DETAILED FOR THE DURATION OF CONSTRUCTION

PROPOSED SITE PLAN 1:200

REVISION	DESCRIPTION	DATE
A	DA	14.08.14

All dimensions must be verified on site by the contractor before the commencement of work or production of shop drawings. All dimensions are in millimeters unless otherwise stated. Do not scale drawings.

KASCON

Registration No: 1108

CLIENT
GEORGE

PROJECT
8/35F

BLOCK 8, SECTION 35 FORREST ACT

PROJECT No.
BLK8SEC35 - FORREST



DRAWING
SITE PLAN

DATE **20.01.15**
SCALE **AS SHOWN @ A3**
DRAWN **TK**





DEVELOPMENT APPROVAL

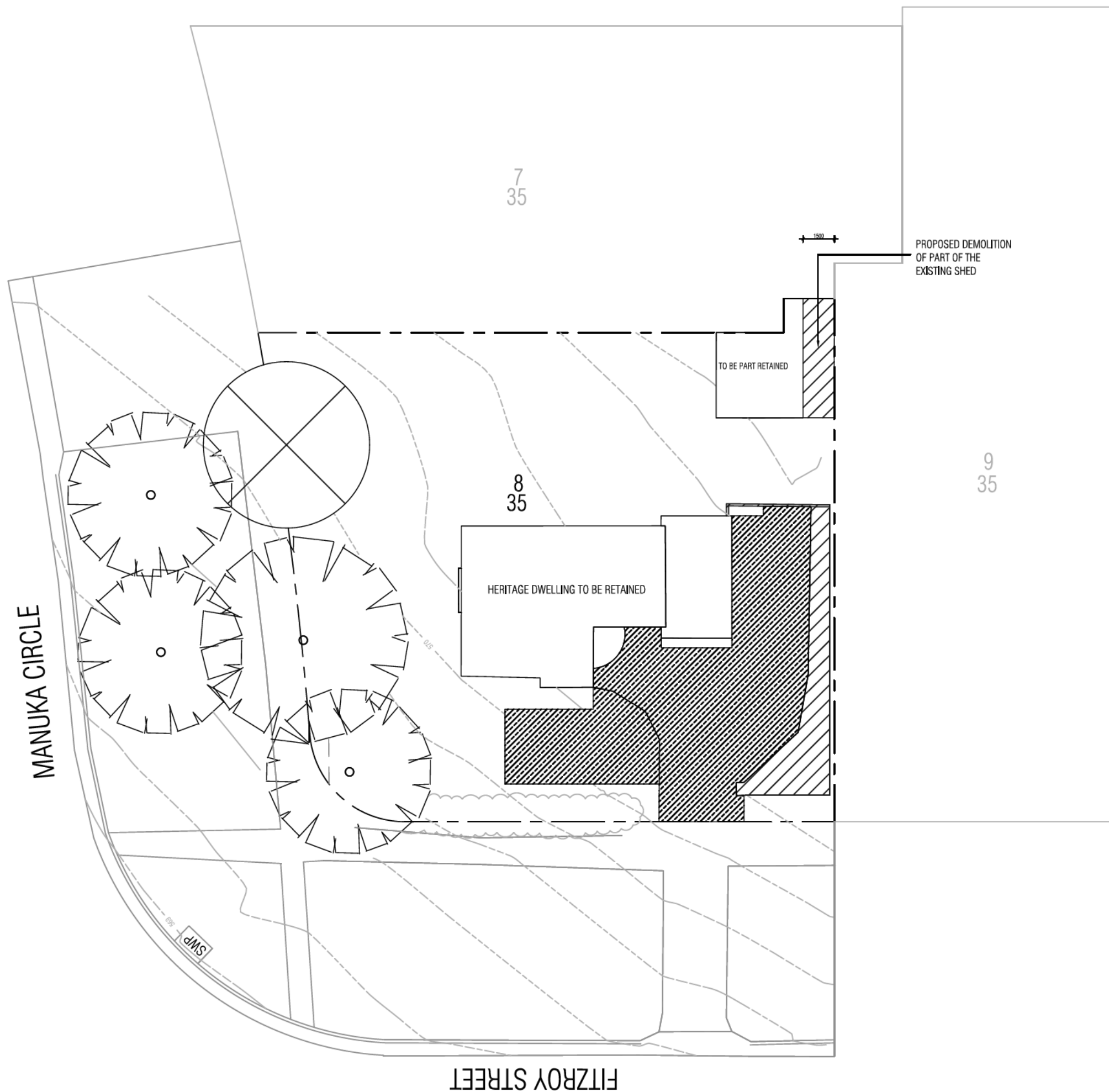
DRAWING No.

A01

REVISION	DESCRIPTION	DATE
A	DA	14.08.14

All dimensions must be verified on site by the contractor before the commencement of work or production of shop drawings. All dimensions are in millimeters unless otherwise stated. Do not scale of drawings.

-  EXISTING TREE TO BE REMOVED AND DEMOLISHED
-  EXISTING TREE TO BE RETAINED
-  NON HERITAGE - EXISTING STRUCTURE TO BE DEMOLISHED
-  NON HERITAGE - EXISTING HARD SURFACES TO BE DEMOLISHED



KASCON

Registration No: 1108

CLIENT
GEORGE

PROJECT
8/35F

**BLOCK 8, SECTION 35
FORREST ACT**

PROJECT No.
BLK8SEC35 - FORREST



DRAWING
DEMOLITION PLAN

DATE **14.08.14**
SCALE **1:200 @ A3**
DRAWN **TK**

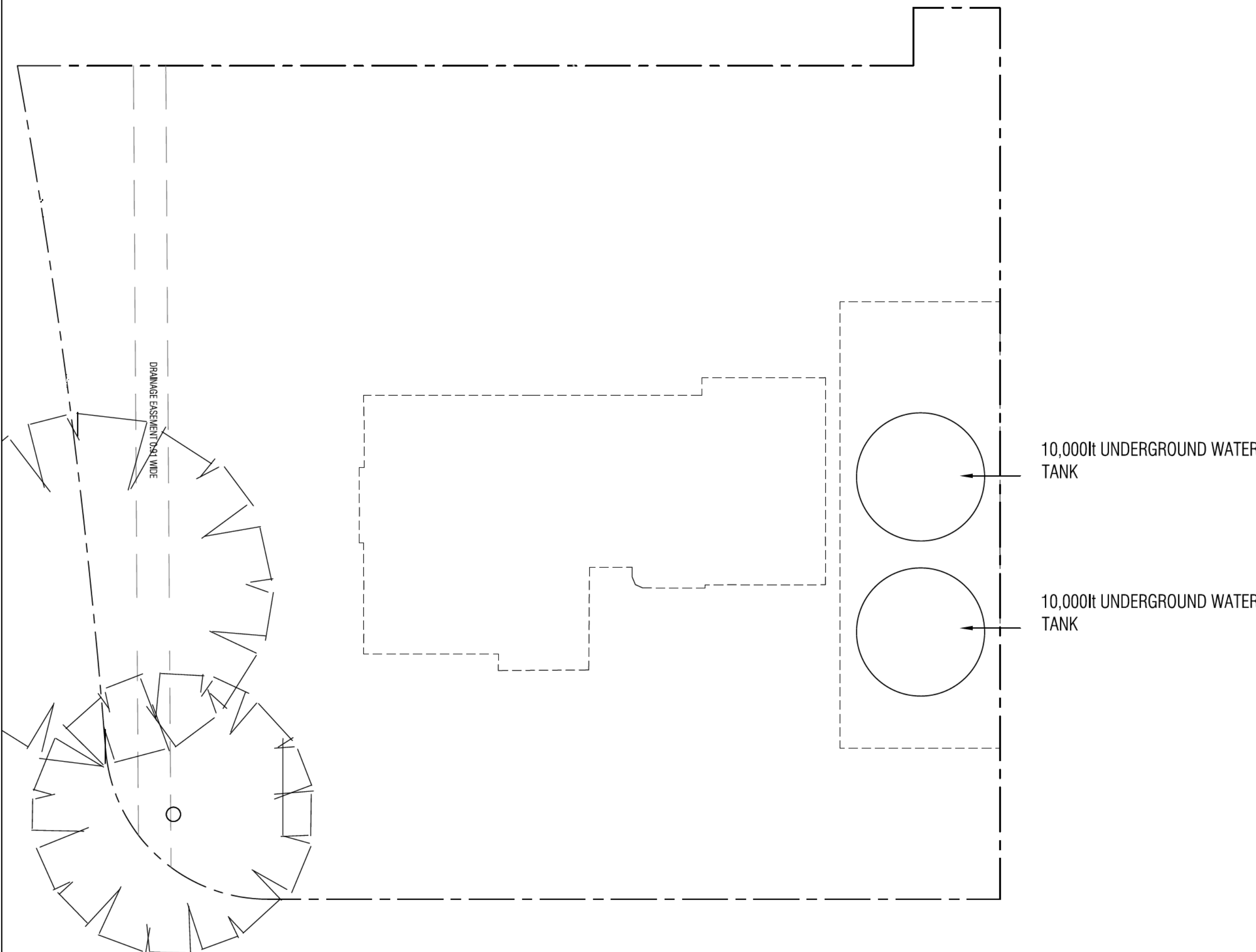
**DEVELOPMENT
APPROVAL**

DRAWING No.

A02

REVISION	DESCRIPTION	DATE
A	DA	14.08.14

All dimensions must be verified on site by the contractor before the commencement of work or production of shop drawings. All dimensions are in millimeters unless otherwise stated. Do not scale drawings.



KASCON

Registration No: 1108

CLIENT
GEORGE

PROJECT
8/35F

**BLOCK 8, SECTION 35
FORREST ACT**

PROJECT No.
BLK8SEC35 - FORREST



DRAWING
BASEMENT PLAN

DATE **14.08.14**
SCALE **1:100 @ A3**
DRAWN **TK**

**DEVELOPMENT
APPROVAL**

DRAWING No.

A03B

REVISION	DESCRIPTION	DATE
A	DA	14.08.14

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KASCON

Registration No: 1108

CLIENT
GEORGE

PROJECT
8/35F

**BLOCK 8, SECTION 35
FORREST ACT**

PROJECT No.
BLK8SEC35 - FORREST

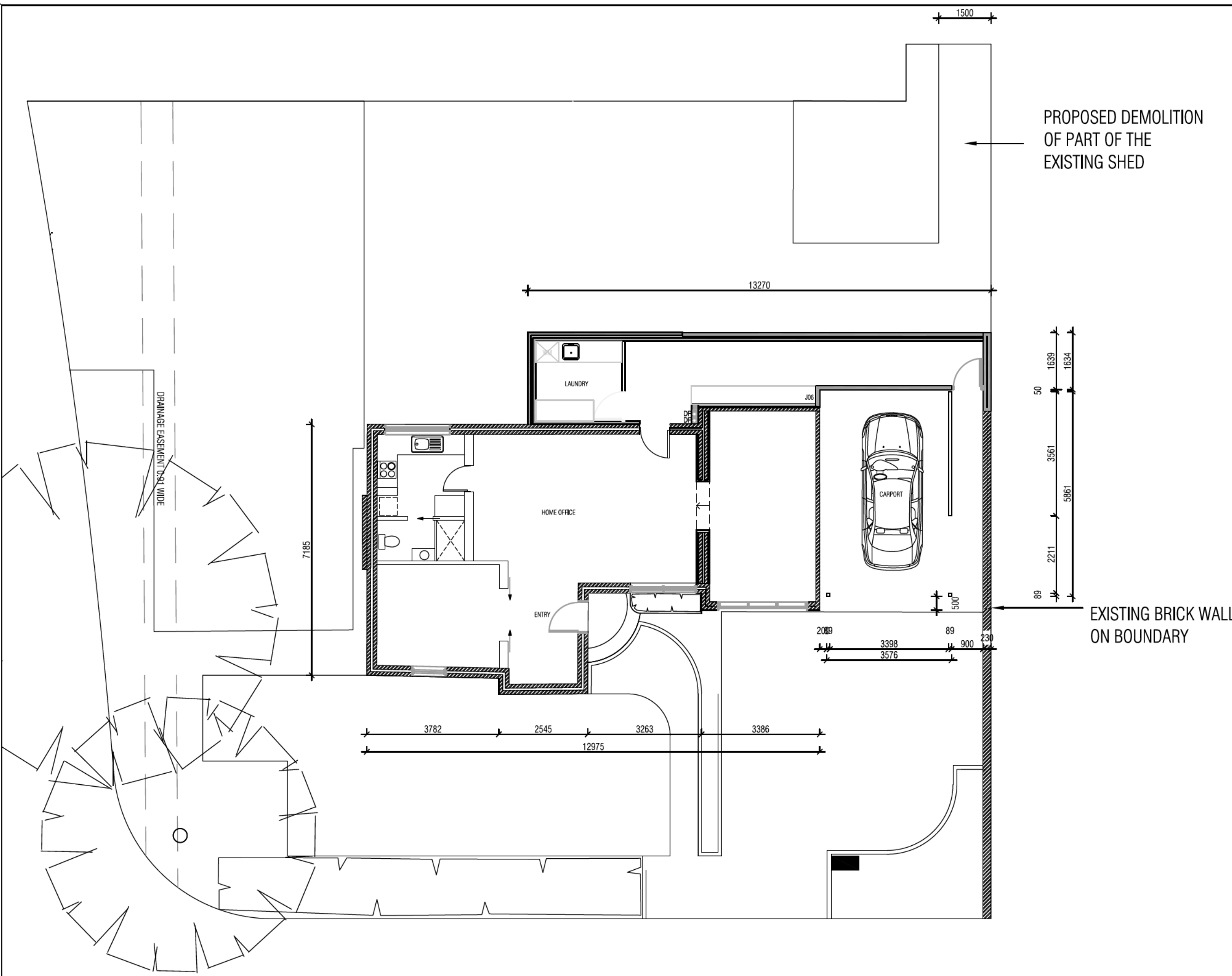
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FLOOR PLAN

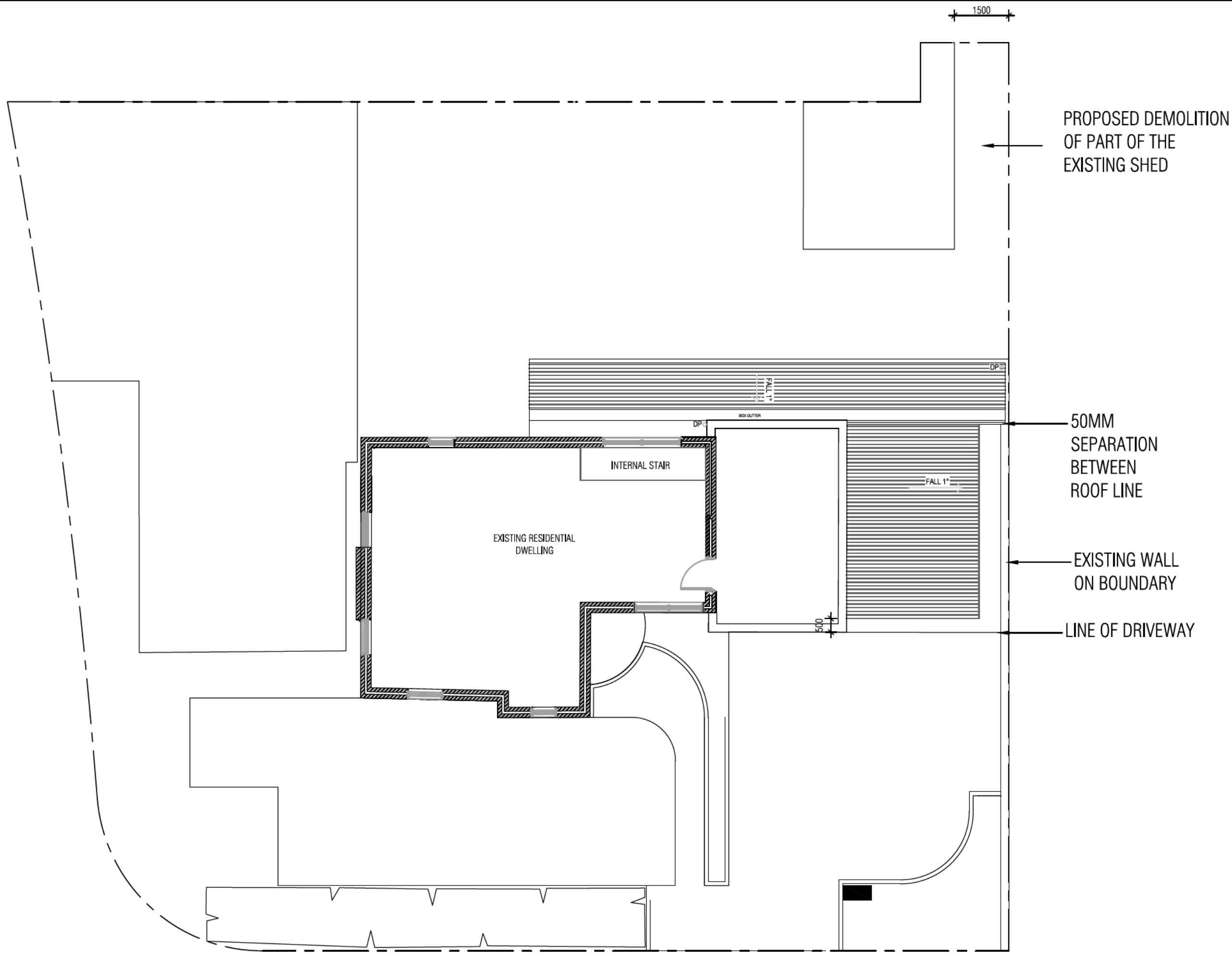
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DRAWN **TK**

**DEVELOPMENT
APPROVAL**

DRAWING No.

A03





REVISION	DESCRIPTION	DATE
A	DA	14.08.14

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KASCON

Registration No: 1108

CLIENT
GEORGE

PROJECT
8/35F

**BLOCK 8, SECTION 35
FORREST ACT**

PROJECT No.
BLK8SEC35 - FORREST



DRAWING
FIRST FLOOR PLAN

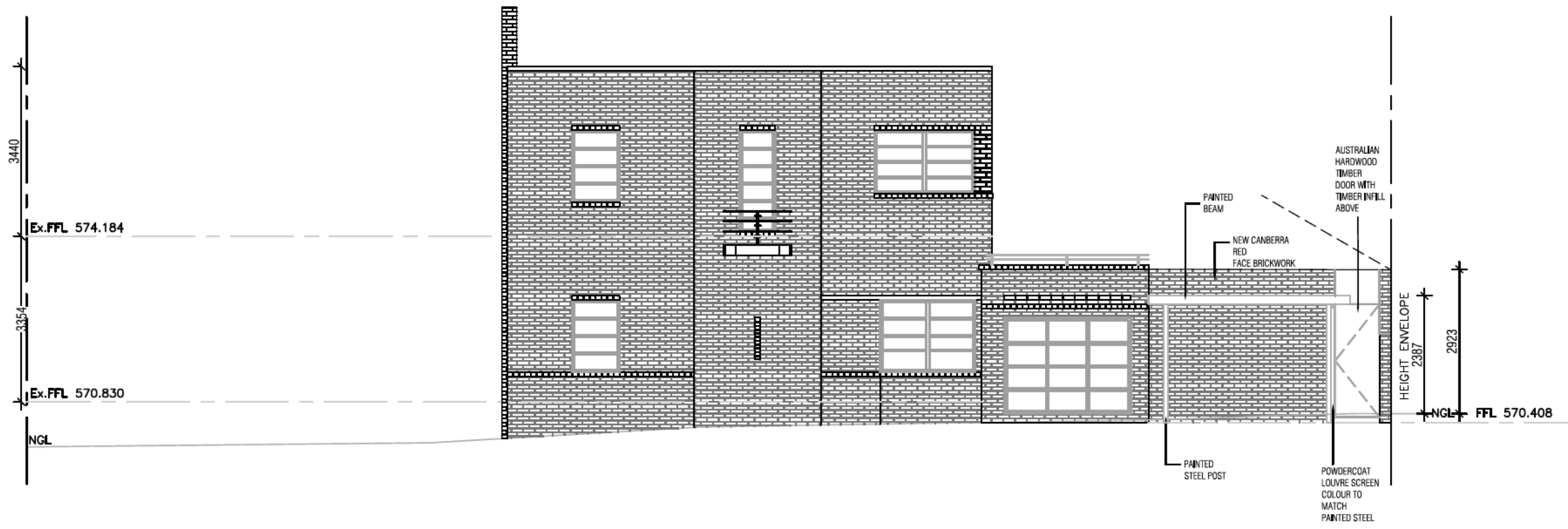
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DRAWN **TK**

**DEVELOPMENT
APPROVAL**

DRAWING No.

A04

NORTH EAST ELEVATION



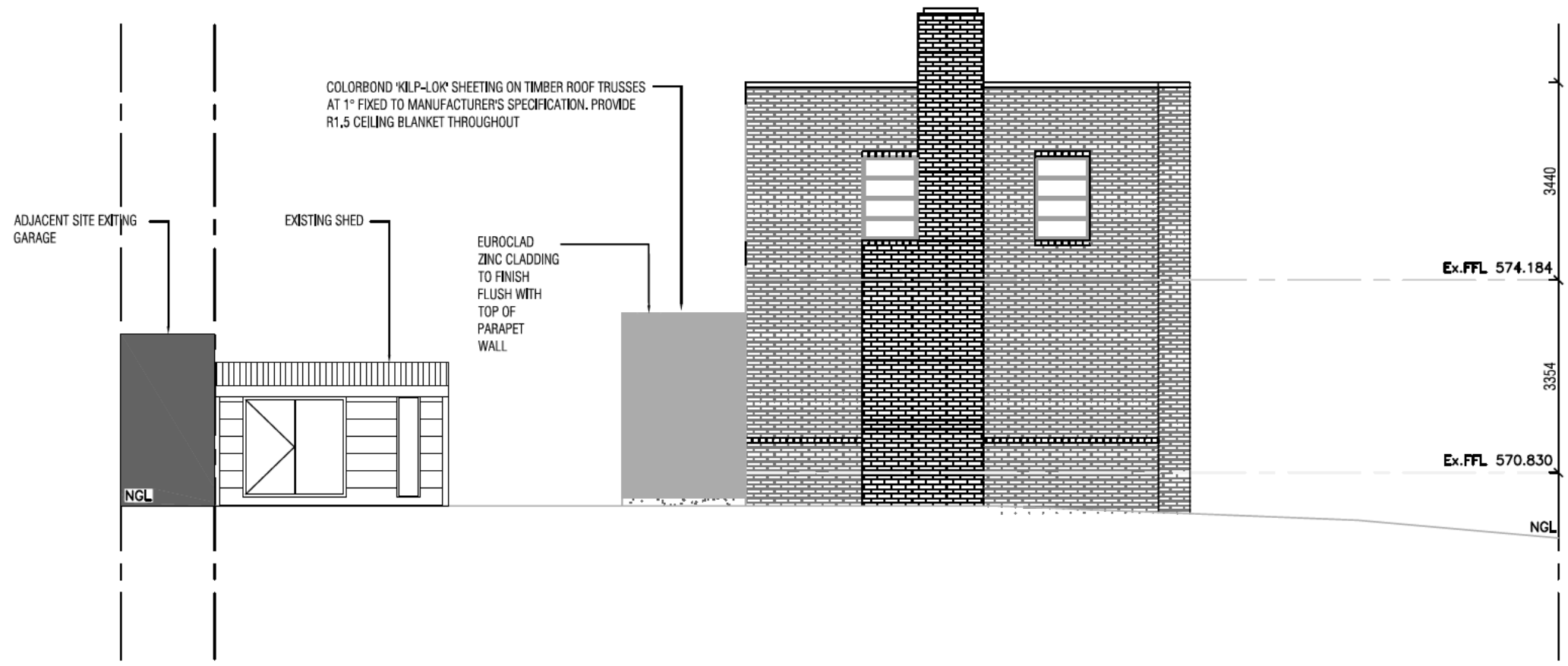
REVISION	DESCRIPTION	DATE
A	DA	14.08.14

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KASCON

Registration No: 1108

SOUTH EAST ELEVATION



CLIENT
GEORGE

PROJECT
8/35F

BLOCK 8, SECTION 35 FORREST ACT

PROJECT No.
BLK8SEC35 - FORREST



DRAWING
ELEVATIONS

DATE **14.08.14**
SCALE **1:100 @ A3**
DRAWN **TK**

DEVELOPMENT APPROVAL

DRAWING No.

A05

REVISION	DESCRIPTION	DATE
A	DA	14.08.14

All dimensions must be verified on site by the contractor before the commencement of work or production of shop drawings. All dimensions are in millimeters unless otherwise stated. Do not scale of drawings.

KASCON

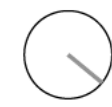
Registration No: 1108

CLIENT
GEORGE

PROJECT
8/35F

**BLOCK 8, SECTION 35
FORREST ACT**

PROJECT No.
BLK8SEC35 - FORREST



DRAWING
ELEVATIONS

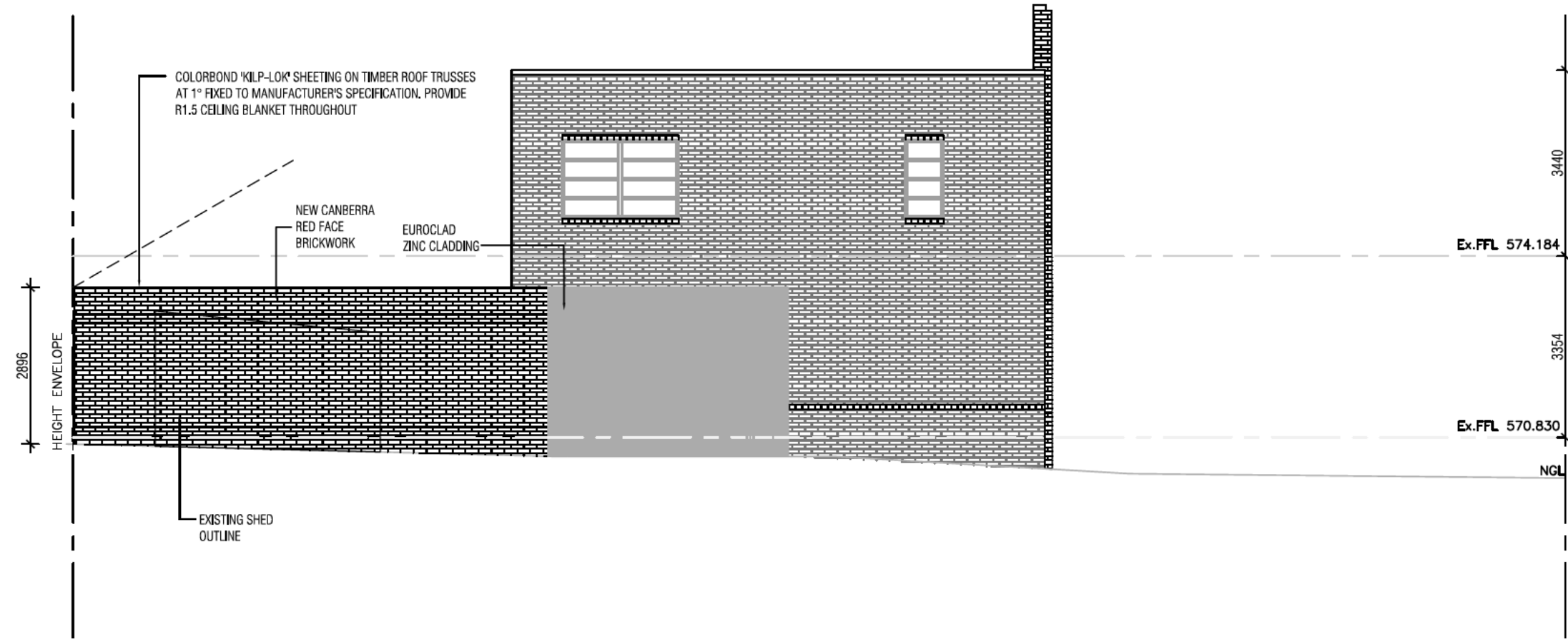
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SCALE **1:100 @ A3**
DRAWN **TK**

**DEVELOPMENT
APPROVAL**

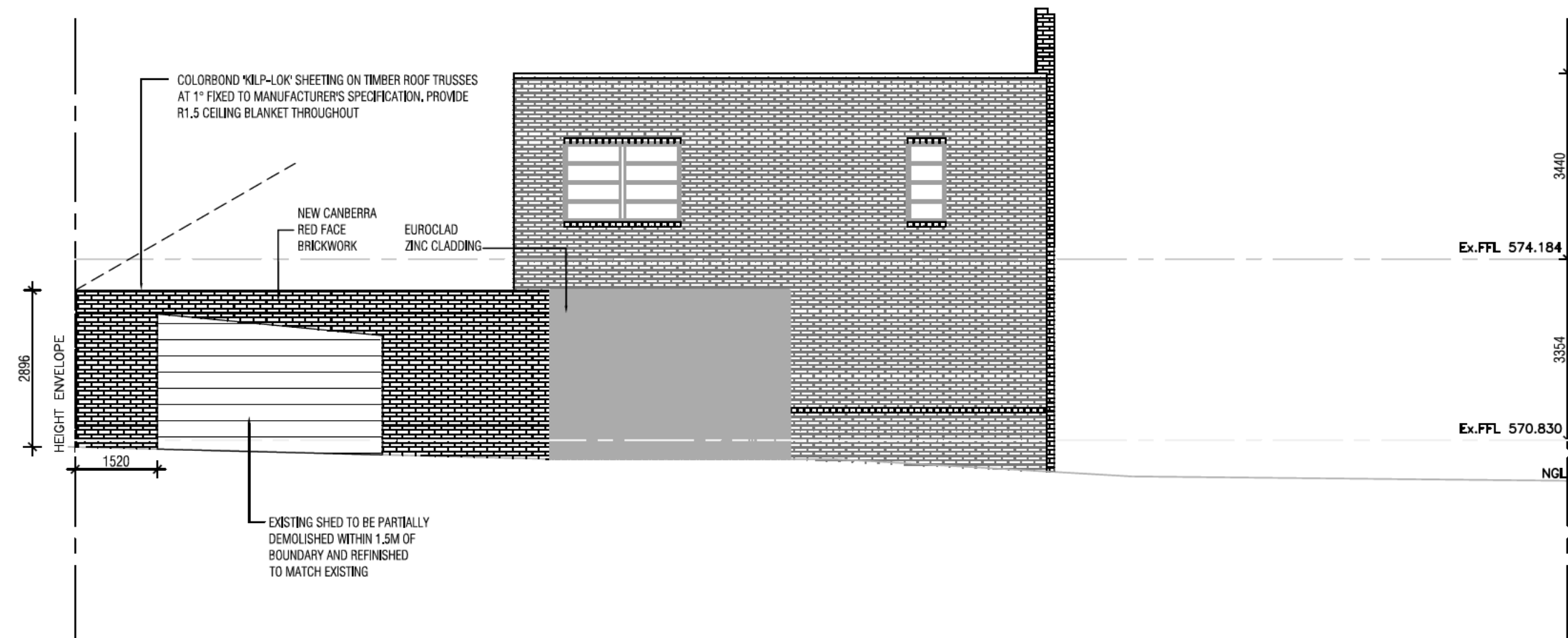
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A06

SOUTH WEST ELEVATION



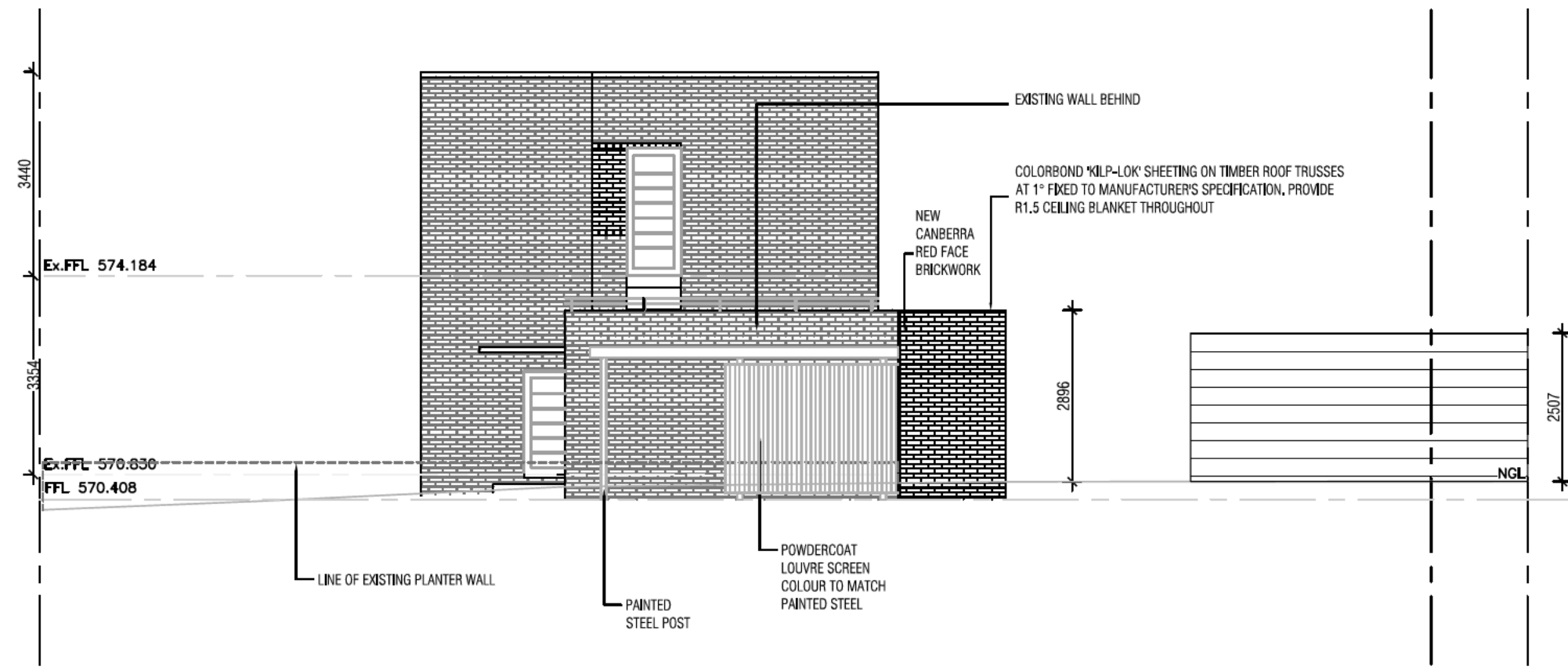
SOUTH WEST ELEVATION



NORTH WEST ELEVATION

REVISION	DESCRIPTION	DATE
A	DA	14.08.14

All dimensions must be verified on site by the contractor before the commencement of work or production of shop drawings. All dimensions are in millimeters unless otherwise stated. Do not scale drawings.



KASCON

Registration No: 1108

CLIENT
GEORGE

PROJECT
8/35F

**BLOCK 8, SECTION 35
FORREST ACT**

PROJECT No.
BLK8SEC35 - FORREST



DRAWING
ELEVATIONS

DATE **14.08.14**
SCALE **1:100 @ A3**
DRAWN **TK**

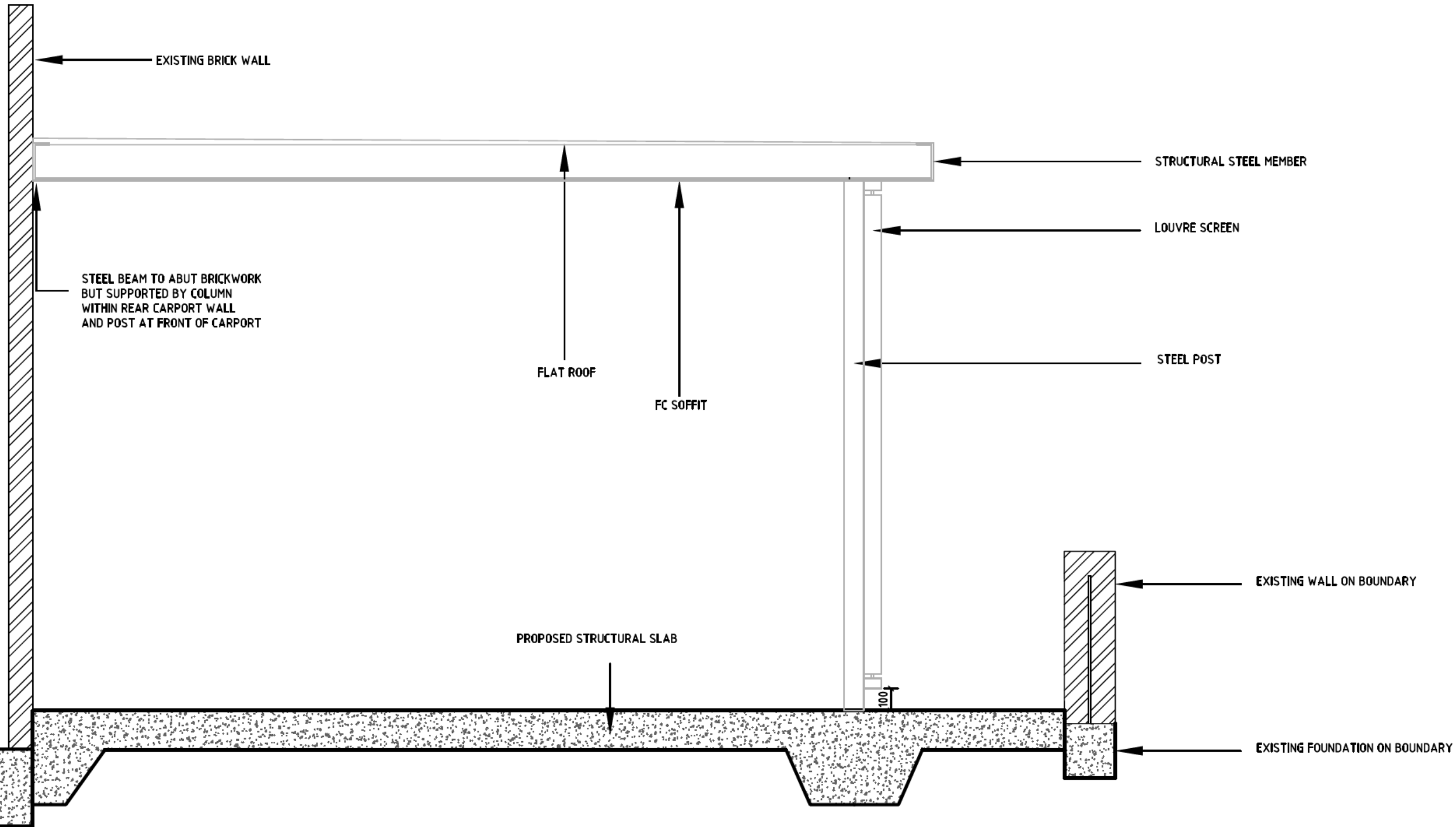
**DEVELOPMENT
APPROVAL**

DRAWING No.
A07

CARPORT SECTION

REVISION	DESCRIPTION	DATE
A	DA	14.08.14

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KASCON

Registration No: 1108

CLIENT
GEORGE

PROJECT
8/35F

**BLOCK 8, SECTION 35
FORREST ACT**

PROJECT No.
BLK8SEC35 - FORREST



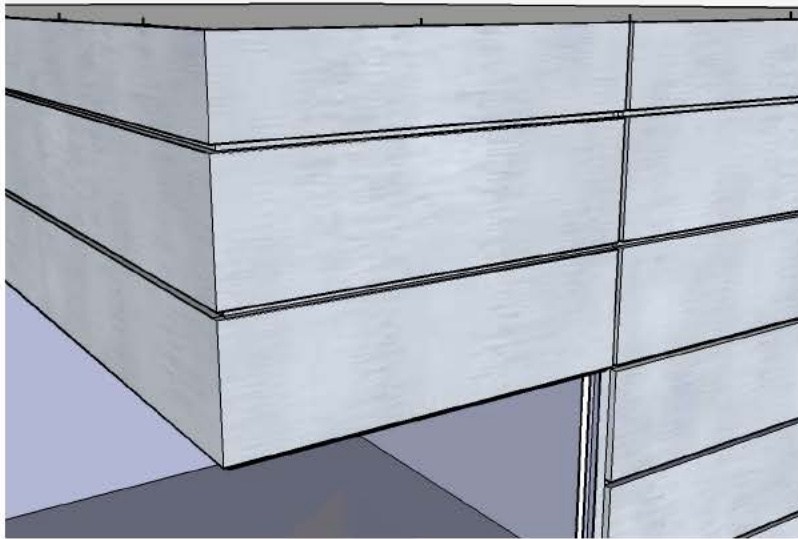
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SECTION

DATE **14.08.14**
SCALE **1:100 @ A3**
DRAWN **TK**

**DEVELOPMENT
APPROVAL**

DRAWING No.

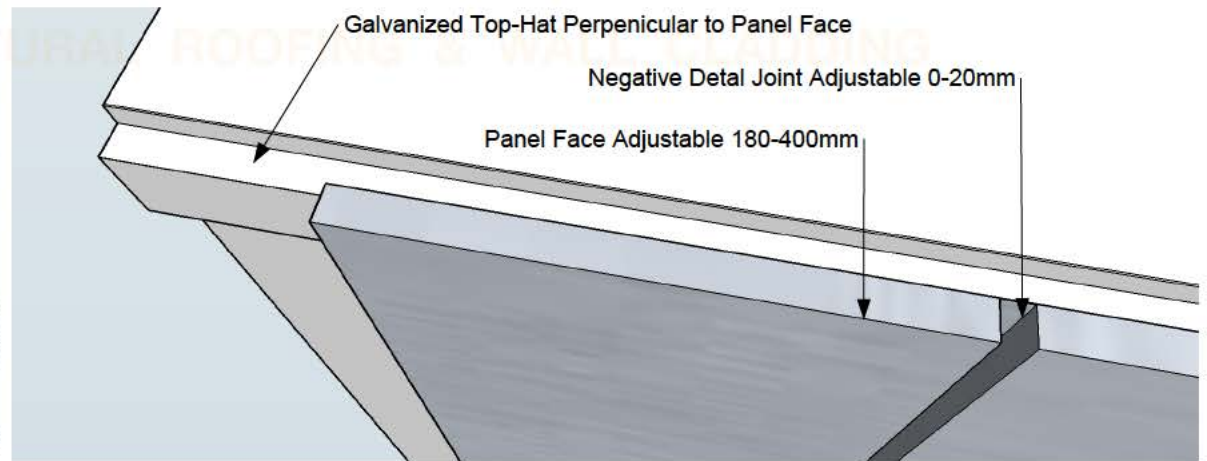
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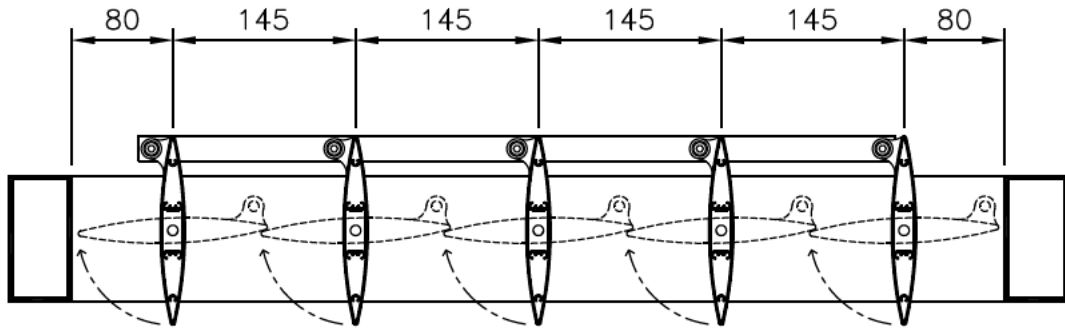


Horizontal Panel

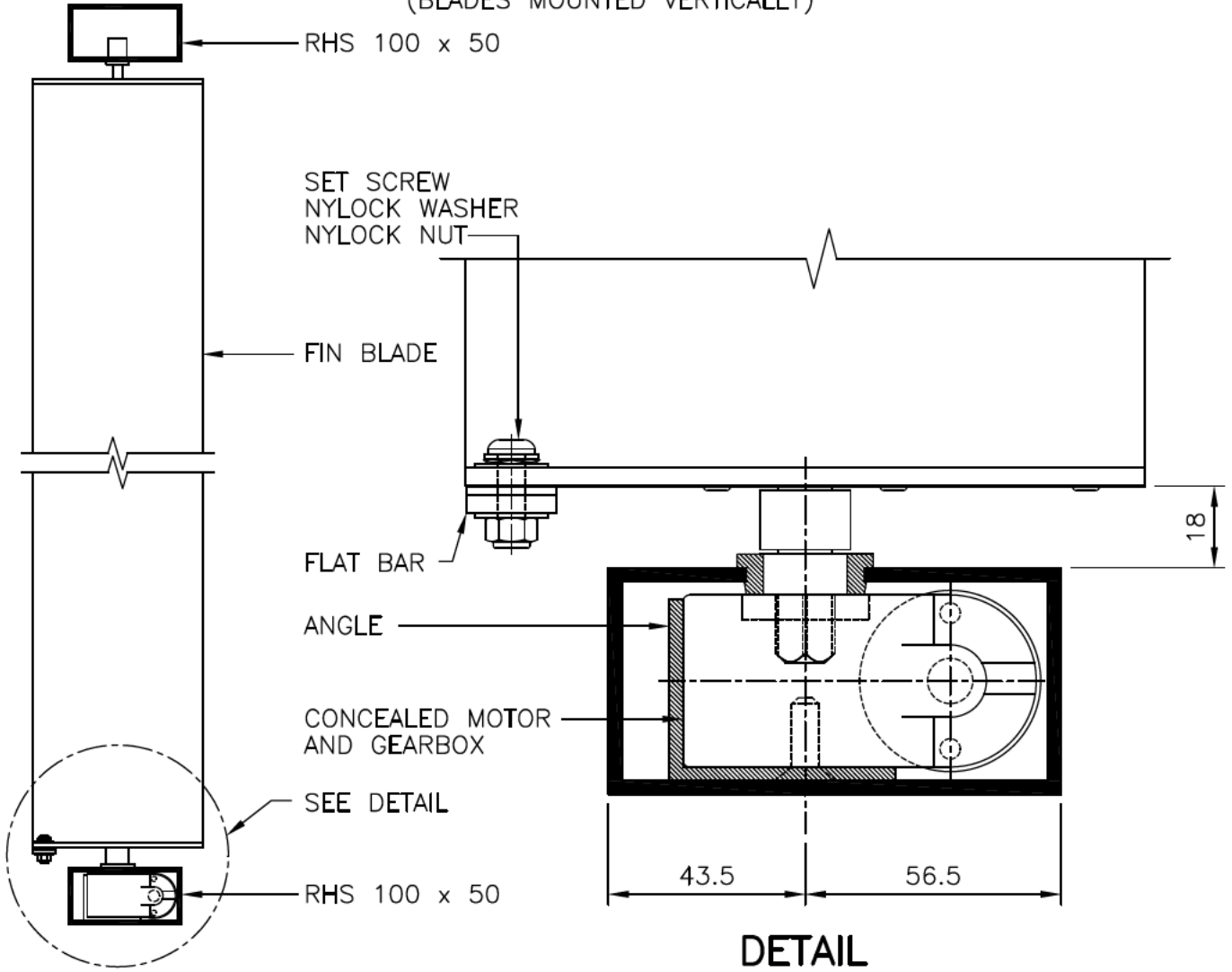


Vertical Panel



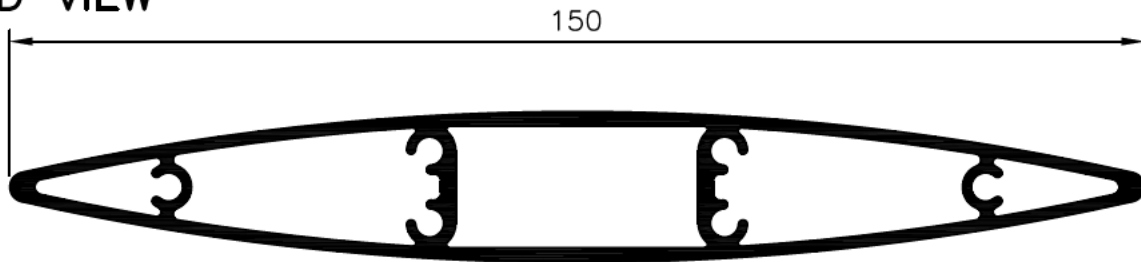


PLAN SECTION
(BLADES MOUNTED VERTICALLY)



END VIEW

DETAIL



MF150 BLADE

MF150
ELLIPTICAL FIN – MOTORISED
BLADES CAN ALSO BE MOUNTED HORIZONTALLY
ALSO AVAILABLE FOR MF90, 200, 300, 400, 600 AND 800

www.maximlouvres.com.au
maxim
louvres
DWG No.: MF150-MOTORISED
DWG DATE: 16-02-2011

EXISTING MATERIALS



FACE BRICK



WINDOWS

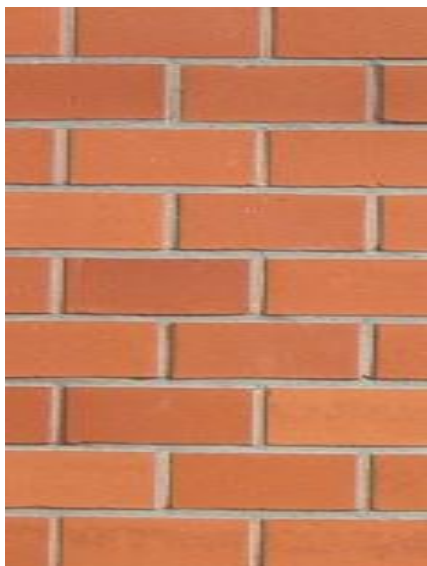


STEEL WORK



GUTTERS/RAIN HEADS

PROPOSED MATERIALS FOR ADDITIONS



FACE BRICK



AUSTRALIAN HARDWOOD TIMBER DOOR



ZINC CLADDING



PRIVACY SCREENS



ACT Heritage Council

HERITAGE ADVICE
Under Part 10 of the Heritage Act 2004

ACT Planning Ref: Forrest 8-35
Heritage Ref: Pamela Hubert
Contact Officer: 24 March 2015
Received:
Due date:

TO: ACT planning and land authority
Environment and Planning Directorate
EPDCustomerServices@act.gov.au

cc. Tomislav Kasunic



Ted Streatfeild
Resolution Planning



Table with 4 columns: Block, Section, Division / District, Heritage Place. Row 1: 8, 35, Forrest, Forrest Fire Station Precinct

Status of Place: Registered Heritage Place
Description of Works: Residential - single dwelling alts + additions
Council Advice provided by: Secretary / ACT Heritage Manager

Pursuant to s.148(1) of the Planning and Development Act 2007 and part 10 of the Heritage Act 2004, the ACT Heritage Council (the Council) advises that:

- Insufficient information supplied...
no perceived heritage issues...
unlikely to detrimentally impact...
will have a detrimental impact...
will have a significant adverse impact...

NOTES:

This advice has been provided on the following documents:

- Drawing A01, A02, 03, A03B, A04, A05, A06, A07, A08 for project 8/35F by Kascon...
Drawing Euroclad panel details stamped and annotated...

- Drawing *MF150 Elliptical Fin – Motorised* stamped and annotated “Received 24/3/15 ACT Heritage” and stamped “Heritage Advice Provided”;
- Drawing indicating finishes by Kascon, stamped and annotated “Received 24/3/15 ACT Heritage” and stamped “Heritage Advice Provided”; and
- Undated letter from Jan Van Der Veen to ACT Heritage, stamped and annotated “Received 6/3/15 ACT Heritage” and stamped “Heritage Advice Provided”.

The proposal includes a carport addition to the northwest side of the original garage and an addition to the southwest of the original building. Two below ground rainwater tanks are also proposed.

The garage has been designed to be a lightweight reversible structure to minimise visual impacts and to minimise potential impacts to original building fabric. It has been setback sufficiently from the street facing wall of the original garage to allow the form of the original building to be clearly legible from the public realm.

The addition to the southwest is well setback from the street facing wall. The use of zinc cladding to the wall facing Manuka Circle, while not consistent with the heritage guidelines for the Forrest Fire Station precinct, has been accepted by the DA Taskforce of the Council.

An engineer has provided advice confirming that the proposed rainwater tanks will not undermine the structural stability of the existing building.

The Council does not object to the proposed works subject to the following condition:

1. The metal framing and screen for the carport is to have a powdercoat finish matching the colour of the zinc cladding.
2. The setback of the roof of the carport from the adjacent street facing wall of the original garage is 500mm exclusive of construction tolerances that would be permitted under part 1A.2 of Schedule 1 of the *Planning and Development Regulation 2008*.
3. An engineer is to provide certification that the proposed excavation will not detrimentally impact the structural stability of buildings on adjacent blocks.

Jennifer O'Connell
**A/g Secretary (as delegate for),
ACT Heritage Council**

April 2015



ACT Heritage Council

File ref: Forrest 8-35
Contact Officer: Pamela Hubert
Date Received: 24 March 2015
Date Due:

Tomislav Kasunic
[REDACTED]

Dear Mr Kasunic

Heritage Advice – Forrest Section 35 Block 8

Please find attached a copy of advice to the ACT planning and land authority, Environment and Planning Directorate (the Planning Authority), regarding proposed works at Forrest Section 35 Block 8.

The Heritage Council (the Council) notes that Section 1.14 of the Planning and Development Regulation (the Regulation), that provides the following criteria for exempt development in relation to heritage places.

(1) A development must not contravene—

- (a) the *Heritage Act 2004*; or
- (b) the *Tree Protection Act 2005*; or
- (c) the *Environment Protection Act 1997*.

Note Other applicable laws must also be complied with (see s 1.4).

(2) A development (other than a class 10 building or structure) must not—

- (a) be located at a place or on an object included in the heritage register or under a heritage agreement; or
- (b) cause any part of a building or structure (other than a class 10 building or structure) to be located at a place or on an object included in the heritage register or under a heritage agreement.

The Council has also received an opinion from the Planning Authority that the proposed works might not be exempt development noting that the proposed carport has a plan area of more than 10 metres square and is located less than 15 metres from the front boundary of the block (refer to schedule 1, part 1.3, division .3.2, section 1.45 of the Regulation).

It is recommended that you contact the Planning Authority for advice on whether a development application will be required for the proposed works.

Yours sincerely

Jennifer O'Connell
**A/g Secretary (as delegate for),
ACT Heritage Council**

April 2015

cc. Ted Streatfeild
Resolution Planning




ACT Heritage Council

HERITAGE ADVICE
Under Part 10 of the *Heritage Act 2004*

ACT Planning Ref: Forrest 8-35
Heritage Ref: Pamela Hubert
Contact Officer: 24 March 2015
Received:
Due date:

TO: ACT planning and land authority
Environment and Planning Directorate
EPDCustomerServices@act.gov.au

cc. Tomislav Kasunic



Ted Streatfeild
Resolution Planning



Block:	Section:	Division / District:	Heritage Place:
8	35	Forrest	Forrest Fire Station Precinct

Status of Place: Registered Heritage Place
Description of Works: Residential - single dwelling alts + additions
Council Advice provided by: Secretary / ACT Heritage Manager

Pursuant to s.148(1) of the *Planning and Development Act 2007* and part 10 of the *Heritage Act 2004*, the ACT Heritage Council (the Council) advises that:

- there is **insufficient information** supplied with this application and further information is required.
- there are **no perceived heritage issues** with this application and a detailed assessment is not required.
- due to the nature or minor scope of the works / lack of visibility from the street the proposed development is **unlikely to detrimentally impact** upon the heritage values of the place and a detailed assessment is not required.
- the proposed development is **unlikely to detrimentally impact** upon the heritage values of the place on the basis of the attached heritage impact assessment.
- the proposed development **will have a detrimental impact** upon the heritage values of the place, unless the conditions below are complied with.
- the proposed development **will have a detrimental impact** upon the heritage values of the place on the basis of the attached heritage assessment, and to prevent such impact would require change to the fundamental nature or concept of the development.
- the proposed development **will have a significant adverse impact** under section 124A of the *Planning and Development Act 2007*.

NOTES:

This advice has been provided on the following documents:

- Drawing *A01, A02, 03, A03B, A04, A05, A06, A07, A08* for project 8/35F by Kascon, all stamped and annotated "Received 24/3/15 ACT Heritage" and stamped "Heritage Advice Provided";
- Drawing *Euroclad panel details* stamped and annotated "Received 24/3/15 ACT Heritage" and stamped "Heritage Advice Provided";

- Drawing *MF150 Elliptical Fin – Motorised* stamped and annotated “Received 24/3/15 ACT Heritage” and stamped “Heritage Advice Provided”;
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The proposal includes a carport addition to the northwest side of the original garage and an addition to the southwest of the original building. Two below ground rainwater tanks are also proposed.


The garage has been designed to be a lightweight reversible structure to minimise visual impacts and to minimise potential impacts to original building fabric. It has been setback sufficiently from the street facing wall of the original garage to allow the form of the original building to be clearly legible from the public realm.

The addition to the southwest is well setback from the street facing wall. The use of zinc cladding to the wall facing Manuka Circle, while not consistent with the heritage guidelines for the Forrest Fire Station precinct, has been accepted by the DA Taskforce of the Council.

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The Council does not object to the proposed works subject to the following condition:

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2. The setback of the roof of the carport from the adjacent street facing wall of the original garage is 500mm exclusive of construction tolerances that would be permitted under part 1A.2 of Schedule 1 of the *Planning and Development Regulation 2008*.
3. An engineer is to provide certification that the proposed excavation will not detrimentally impact the structural stability of buildings on adjacent blocks.


 Jennifer O'Connell
 A/g Secretary (as delegate for),
 ACT Heritage Council

/ April 2015



ACT Heritage Council

File ref: Forrest 8-35
Contact Officer: Pamela Hubert
Date Received: 24 March 2015
Date Due:

Tomislav Kasunic
[REDACTED]

Dear Mr Kasunic

Heritage Advice – Forrest Section 35 Block 8

Please find attached a copy of advice to the ACT planning and land authority, Environment and Planning Directorate (the Planning Authority), regarding proposed works at Forrest Section 35 Block 8.

The Heritage Council (the Council) notes that Section 1.14 of the Planning and Development Regulation (the Regulation), that provides the following criteria for exempt development in relation to heritage places.

(1) A development must not contravene—

- (a) the *Heritage Act 2004*; or
- (b) the *Tree Protection Act 2005*; or
- (c) the *Environment Protection Act 1997*.

Note Other applicable laws must also be complied with (see s 1.4).

(2) A development (other than a class 10 building or structure) must not—

- (a) be located at a place or on an object included in the heritage register or under a heritage agreement; or
- (b) cause any part of a building or structure (other than a class 10 building or structure) to be located at a place or on an object included in the heritage register or under a heritage agreement.

The Council has also received an opinion from the Planning Authority that the proposed works might not be exempt development noting that the proposed carport has a plan area of more than 10 metres square and is located less than 15 metres from the front boundary of the block (refer to schedule 1, part 1.3, division .3.2, section 1.45 of the Regulation).

It is recommended that you contact the Planning Authority for advice on whether a development application will be required for the proposed works.

Yours sincerely



Jennifer O'Connell
**A/g Secretary (as delegate for),
ACT Heritage Council**

1 April 2015

cc. Ted Streatfeild
Resolution Planning





ACT Heritage Council

Clearance Form

Advice prepared by: Pamela Hubert Designation: Team leader

Proposal: Carport, laundry + underground tanks
Impact / Concern: Colour of metalwork structural integrity
Recommendation: No objection subject to conditions
Signature: P.K. Hubert Date: 30/3/2015

Checked by: Jennifer Dunn Designation: Cons Off

Comment: Agree
Signature: J. Dunn Date: 1/4/2015

Chair / Deputy Chair / Secretary: Designation:

Comment:
Signature: JOC Date: 1/4/2015

AREA ANALYSIS

TOTAL SITE AREA = 608.00m²

GROUND RESIDENTIAL ADDITION = 26.73m²

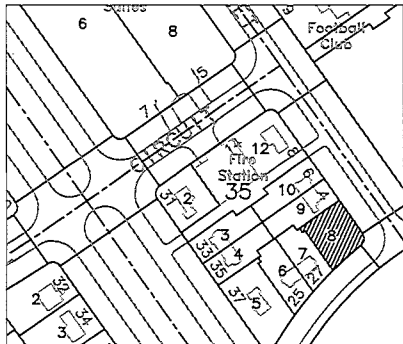
PROPOSED GARAGE AREA = 21.07 m²

EXISTING RESIDENTIAL AREA=164.64 m²

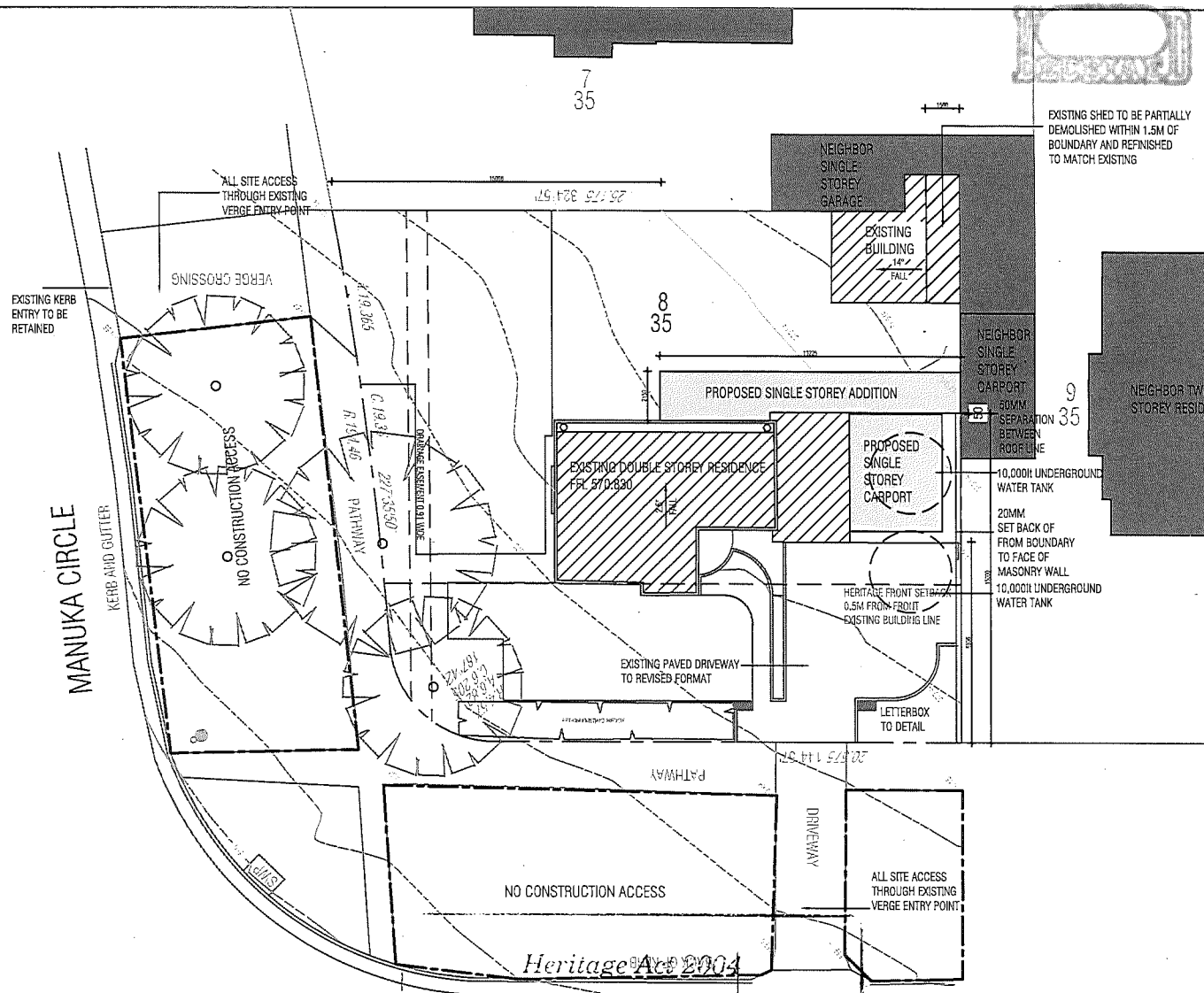
TOTAL RESIDENTIAL FLOOR AREA = 212.44 m²

VERGE MANAGEMENT NOTES *

INSTALL 1800MM HIGH TEMPORARY FENCING WITH CONCRETE FEET OR INSTALL 1800mm CHAIN MESH FENCE SUPPORTED BY 2400mm TALL STAR STEEL POSTS AROUND VERGES AND EXISTING VEGETATION.
 FENCING TO BE ERECTED ON COMMENCEMENT OF SITE WORK AND REMOVED AT COMPLETION OF CONSTRUCTION AND COMMENCEMENT OF VERGE RESTORATION. THE FENCE IS TO REMAIN CONTINUOUS THROUGHOUT PROJECT, EXCEPT WHERE APPROVED SERVICE INSTALLATION OCCURS.
 ENSURE ADEQUATE WATER IS APPLIED TO THE ROOT ZONE OF RETAINED TREES THROUGHOUT THE CONSTRUCTION PERIOD.
 ALL WORK IS TO BE IN ACCORDANCE WITH THE 'CANBERRA LANDSCAPE GUIDELINES' & THE BASIC SPECIFICATIONS FOR ROADS HYDRAULICS AND LANDSCAPE, JULY 1991.
 MAKE GOOD ANY DAMAGE TO EXISTING GRASS VERGES, REINSTATE AS PER BASIC SPECIFICATIONS.
 IT IS THE RESPONSIBILITY OF THE BUILDER TO ENSURE THAT ANY DISTURBANCES TO THE VERGE GROUND COVER, TREES, PATHS, KERB, ROADWAYS OR SERVICES OCCURRING FROM EITHER CONSTRUCTION WORKS OR STORAGE OF MACHINERY DURING THE CONSTRUCTION WORKS ARE RECTIFIED TO THE SATISFACTION OF RELEVANT AUTHORITIES.
 AT THE COMPLETION OF CONSTRUCTION, VERGES SHOULD STILL HAVE ESTABLISHED DRYLAND GRASS COVER. TOPSOIL IS NOT TO BE REMOVED AND LEVELS NOT TO BE CHANGED.
 NO CAR PARKING OR EQUIPMENT PARKING PERMITTED ON VERGES OR UNDER DRIPLINE OF RETAINED TREES.
 NO SITE SHEDS, STORAGE SHEDS, SITE AMENITIES OR BILLBOARDS TO BE ERECTED ON VERGES OR UNDER DRIPLINE OF RETAINED TREES.
 NO CONSTRUCTION MATERIAL TO BE STORED ON VERGES OR UNDER DRIPLINE OF RETAINED TREES.



LOCATION PLAN NTS



REVISED	DESCRIPTION	DATE
A	DA	14.08.14

All dimensions must be verified on site by the contractor before the commencement of work or production of shop drawings. All dimensions are in millimeters unless otherwise stated. Do not scale of drawings.

KASCON

Registration No: 1108

CLIENT
GEORGE

PROJECT
8/35F

BLOCK 8, SECTION 35
FORREST ACT
PROJECT No.
BLK8SEC35 - FORREST

DRAWING
SITE PLAN

DATE 20.01.15
SCALE AS SHOWN @ A3
DRAWN TK

DEVELOPMENT
APPROVAL
DRAWING No.

A01

SEDIMENT & EROSION CONTROL *

THE DEVELOPMENT WILL COMPLY WITH THE ACT ENVIRONMENTAL PROTECTION AUTHORITY, ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE ACT, AUGUST 2007.
 PROVIDE CONTROL MEASURE IN ACCORDANCE WITH TERRITORY & MUNICIPAL SERVICES GUIDELINES
 INSTALL & MAINTAIN ALL EROSION & SEDIMENT CONTROL MEASURES DEAILED FOR THE DURATION OF CONSTRUCTION

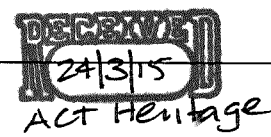
HERITAGE ADVICE PROVIDED





PROPOSED SITE PLAN 1:200

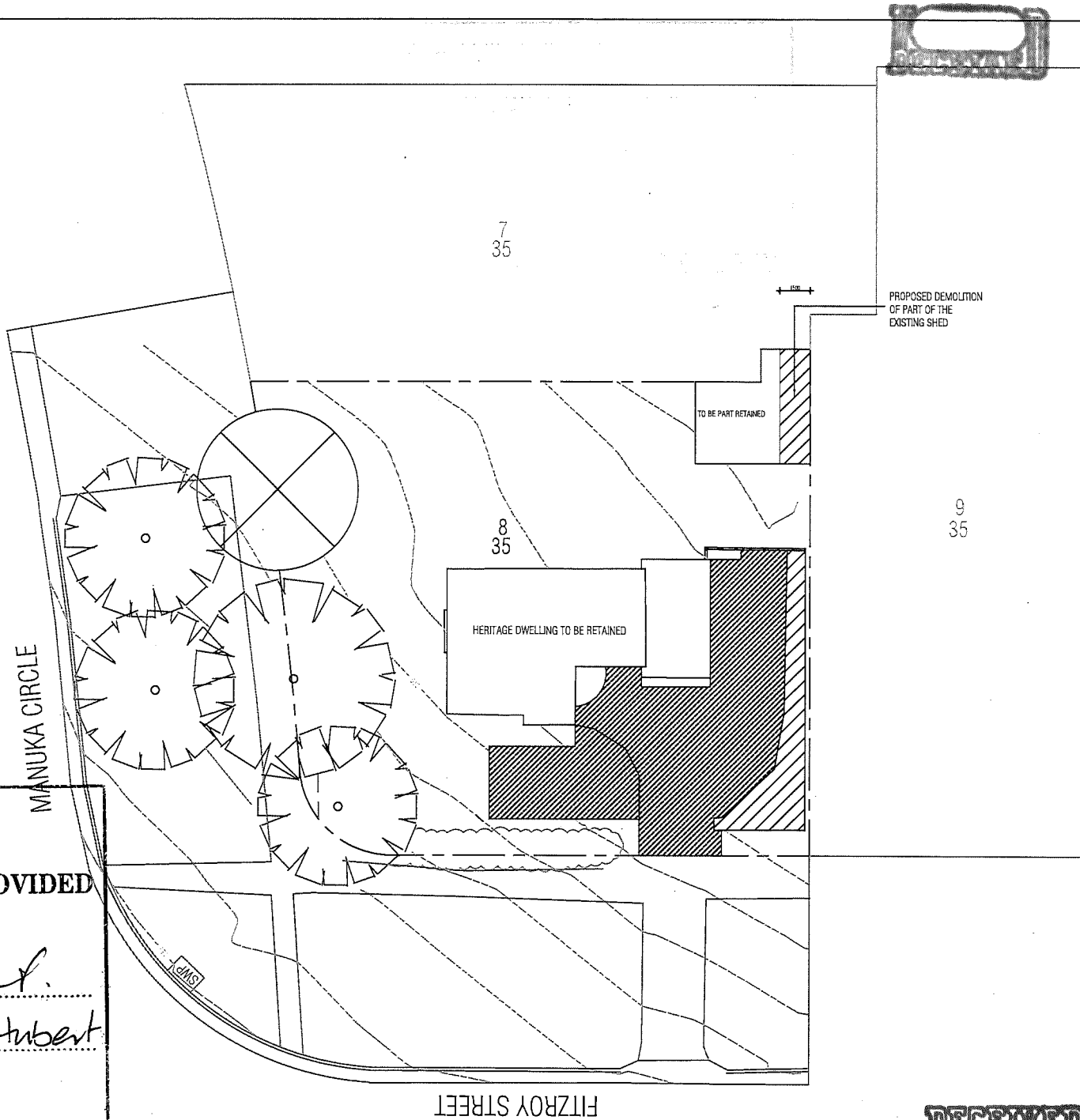
Signed: *P. K. Hubert*

Heritage Officer: *Pamela Hubert*

Date: *31 March 2015*



-  EXISTING TREE TO BE REMOVED AND DEMOLISHED
-  EXISTING TREE TO BE RETAINED
-  NON HERITAGE - EXISTING STRUCTURE TO BE DEMOLISHED
-  NON HERITAGE - EXISTING HARD SURFACES TO BE DEMOLISHED



REVISED	DESCRIPTION	DATE
A	DA	14.08.14

All dimensions must be verified on site by the contractor before the commencement of work or production of shop drawings. All dimensions are in millimetres unless otherwise stated. Do not scale of drawings.

KASCON

Registration No: 1108

CLIENT
GEORGE

PROJECT
8/35F

BLOCK 8, SECTION 35
FORREST ACT
PROJECT No.
BLK8SEC35 - FORREST



DRAWING
DEMOLITION PLAN

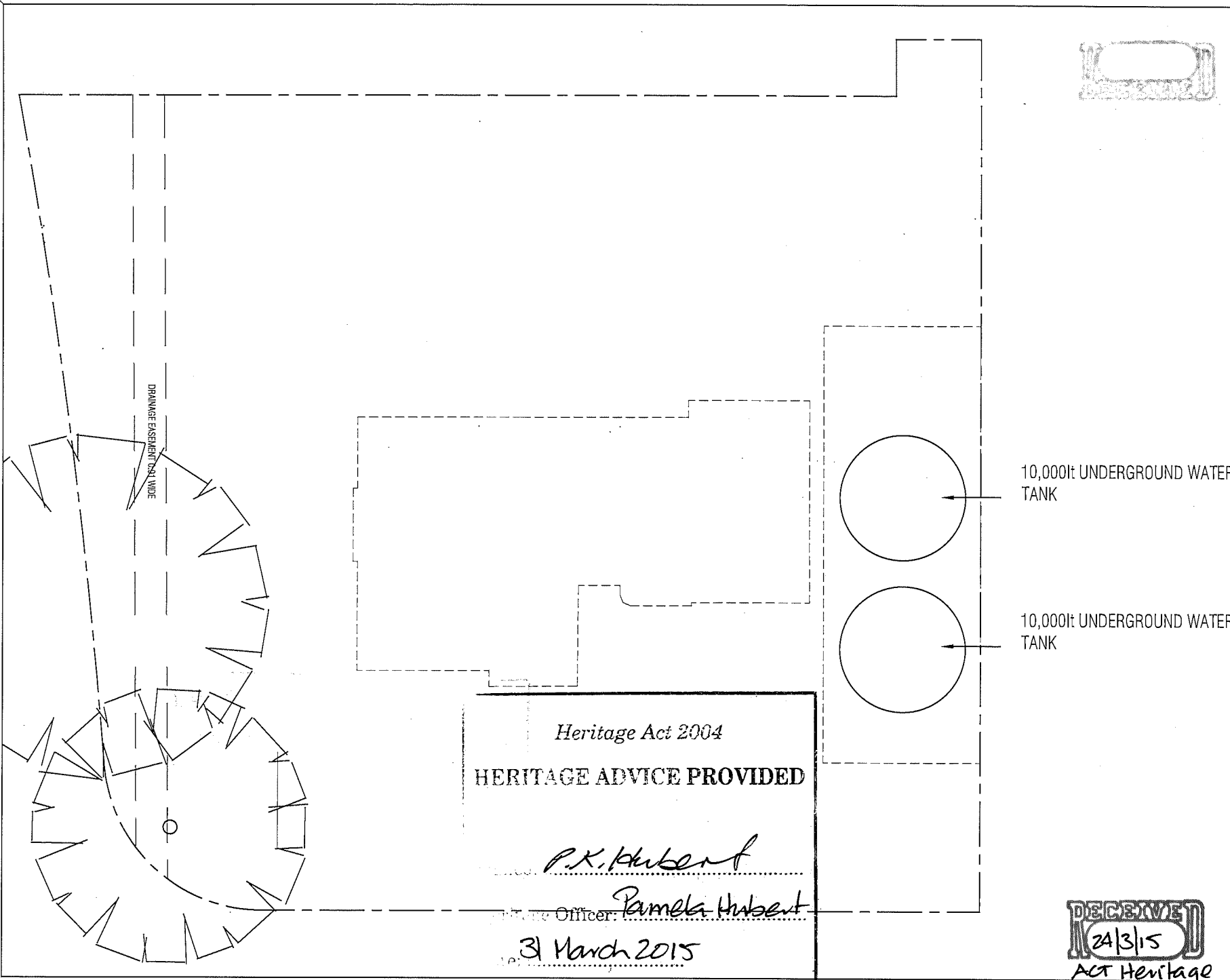
DATE 14.08.14
SCALE 1:200 @ A3
DRAWN TK

DEVELOPMENT
APPROVAL
DRAWING No.

A02

Heritage Act 2004
HERITAGE ADVICE PROVIDED
Signed: *P.K. Hubert*
Heritage Officer: *Pamela Hubert*
Date: *31 March 2015*





REVISION	DESCRIPTION	DATE
A	DA	14.08.14

All dimensions must be verified on site by the contractor before the commencement of work or production of shop drawings. All dimensions are in millimetres unless otherwise stated. Do not scale drawings.

KASCON

Registration No: 1108

CLIENT
GEORGE

PROJECT
8/35F

BLOCK 8, SECTION 35
FORREST ACT
PROJECT No.
BLK8SEC35 - FORREST

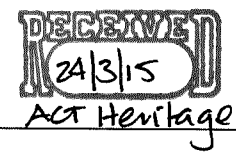


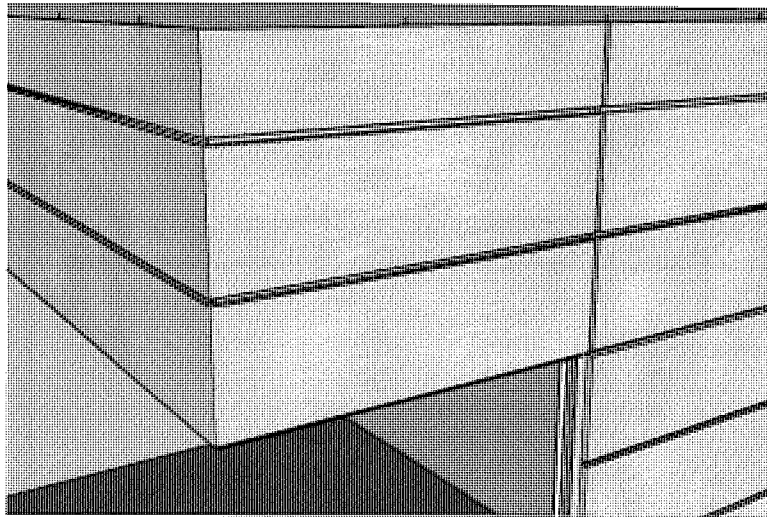
DRAWING
BASEMENT PLAN

DATE 14.08.14
SCALE 1:100 @ A3
DRAWN TK

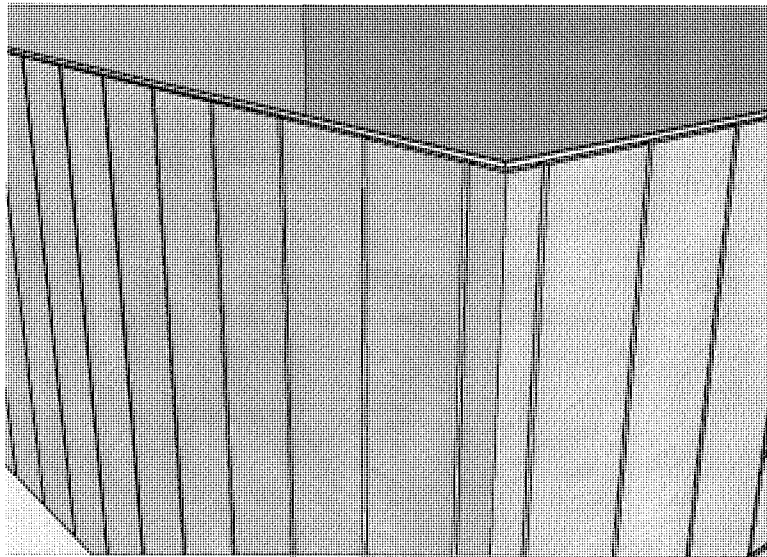
DEVELOPMENT
APPROVAL
DRAWING No.

A03B

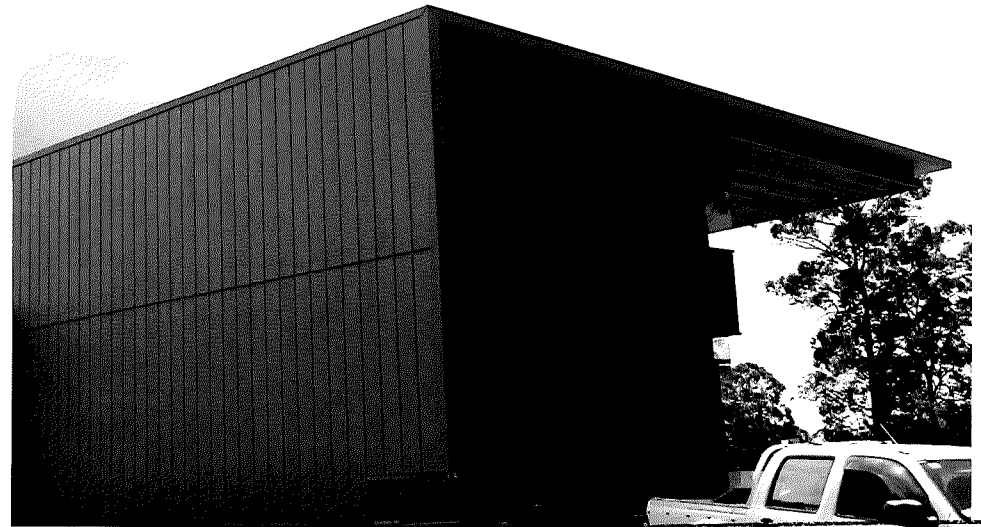




Horizontal Panel



Vertical Panel



Heritage Act 2004

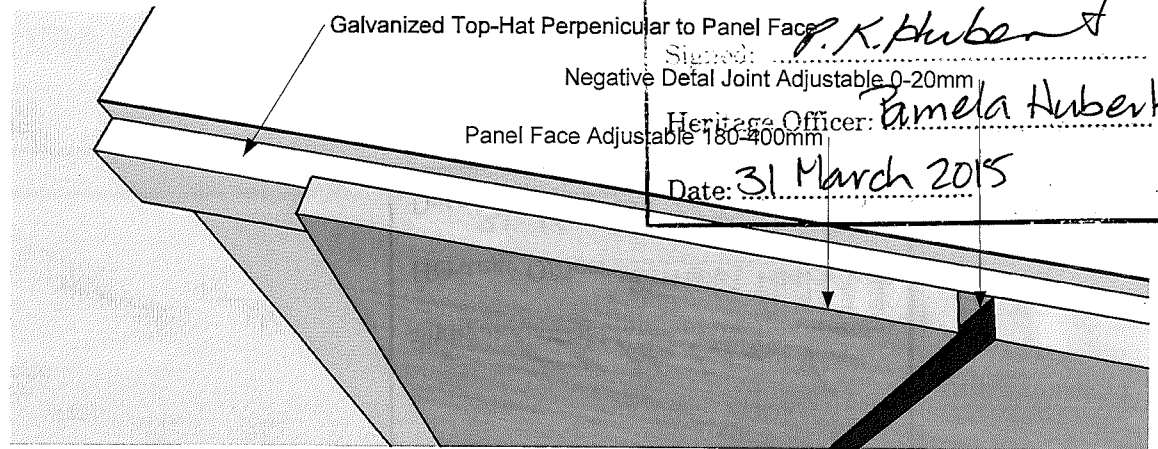
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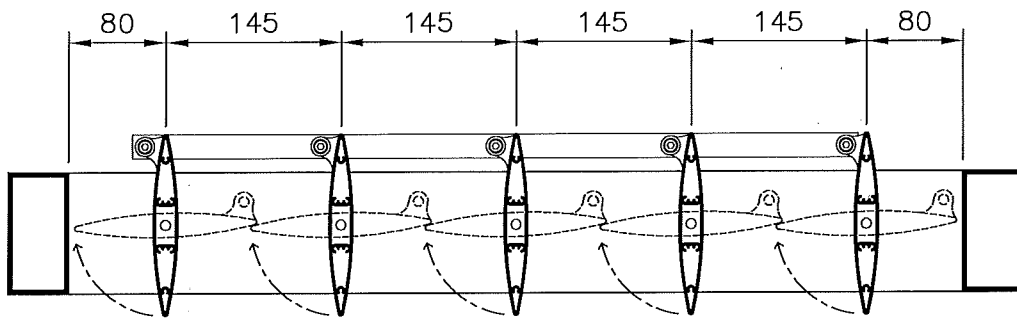
Signed: *P. K. Hubert*

Negative Detail Joint Adjustable 0-20mm

Heritage Officer: *Amela Hubert*

Date: *31 March 2015*



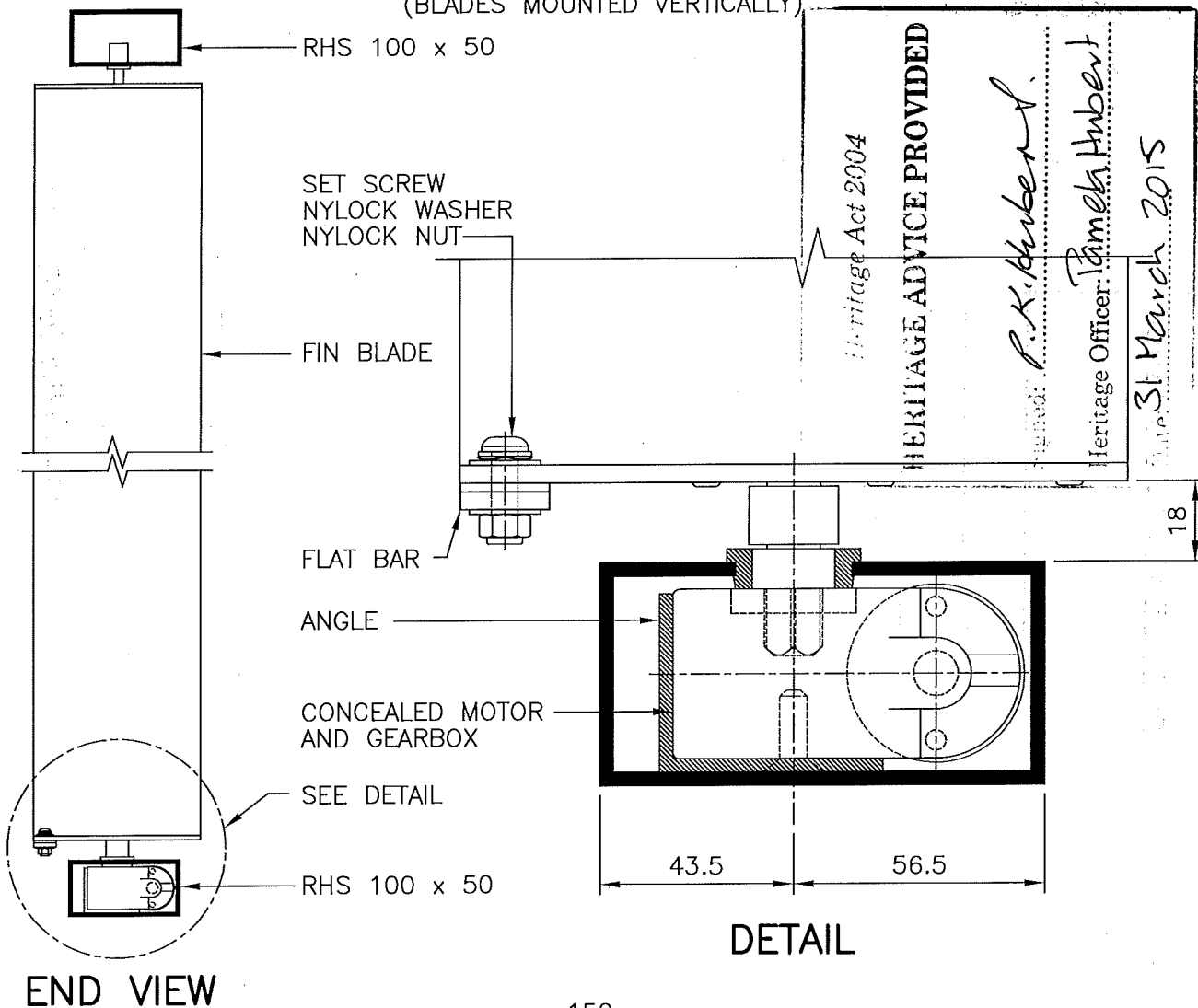


PLAN SECTION

(BLADES MOUNTED VERTICALLY)

PERFORMED
 24/3/15

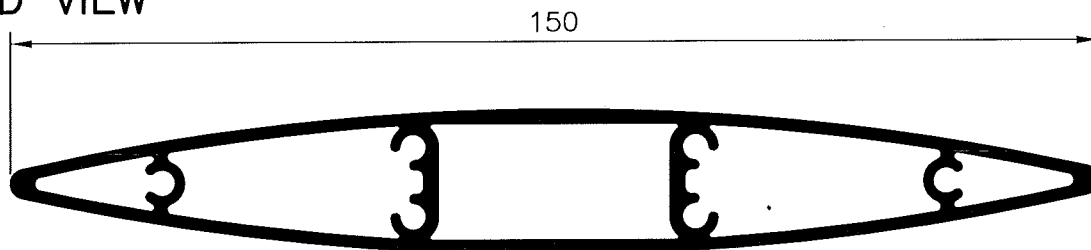
ACT Heritage



Heritage Act 2004
HERITAGE ADVICE PROVIDED
 Prepared: *P. K. Hubert*
 Heritage Officer: *Tamela Hubert*
 Date: *31 March 2015*

END VIEW

DETAIL



MF150 BLADE

MF150
ELLIPTICAL FIN – MOTORISED
 BLADES CAN ALSO BE MOUNTED HORIZONTALLY
 ALSO AVAILABLE FOR MF90, 200, 300, 400, 600 AND 800

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 louvres
 DWG No.: MF150-MOTORISED
 DWG DATE: 16-02-2011

Heritage Act 2004

HERITAGE ADVICE PROVIDED

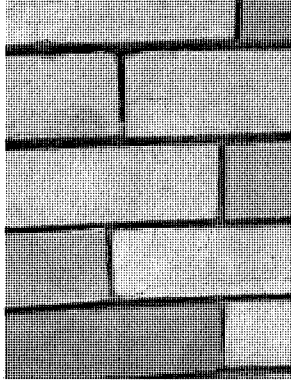
Signed: *P.K. Hubert*

Heritage Officer: *Pamela Hubert*

31 March 2015

KASCON

EXISTING MATERIALS



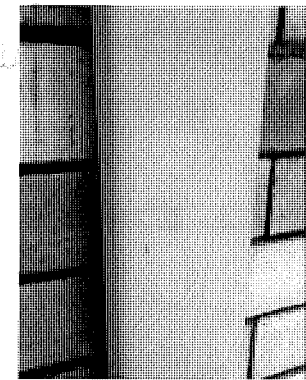
FACE BRICK



WINDOWS

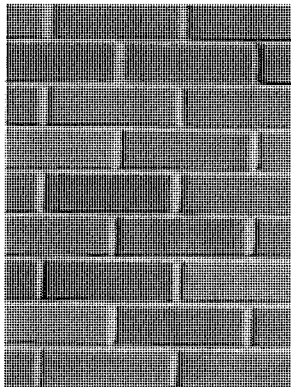


STEEL WORK

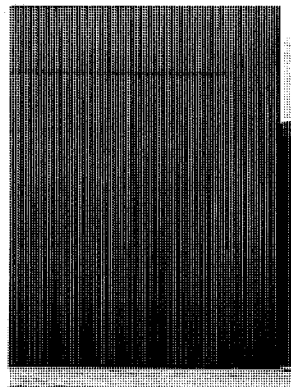


GUTTERS/RAIN HEADS

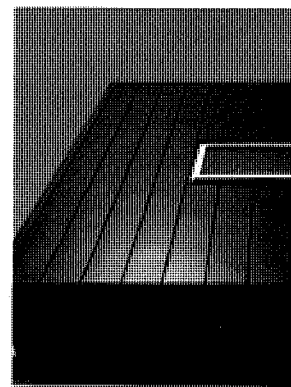
PROPOSED MATERIALS FOR ADDITIONS



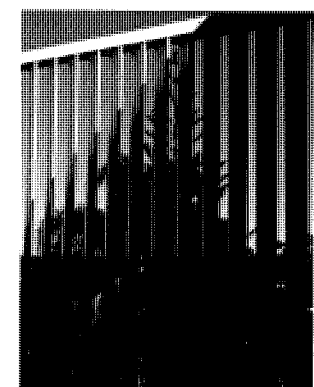
FACE BRICK



AUSTRALIAN HARDWOOD TIMBER DOOR

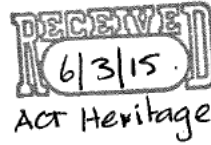


ZINC CLADDING



PRIVACY SCREENS

RECEIVED
24/3/15
Act Heritage



JAN VAN DER VEEN
Structural Engineer

ACT Heritage
GPO Box 158
Canberra City ACT 2601

Contact
Jan Van Der Veen

Direct Line

Our Reference
8.35FS

STRUCTURAL ENGINEERING ADVICE

To Whom It May Concern,

Block 8 Section 35 Forrest – Excavation and structures adjacent to existing dwelling

Upon assessment of the works reflected by the architectural drawings prepared by Kascon, A01 – A07 dated 20/01/2015. I can certify that the works in particular excavation for the underground structures will not affect the current heritage structure.

ACT geotechnical engineers have provided me with a soil classification as well as "as built" advice on the existing foundations.

With the above I have been able to calculate that the excavation will be outside of the zone of influence for the foundations thereby not undermining the structural stability of the existing foundations/wall. Furthermore, all of the additions above ground being the carport and rear laundry/entry will not affect the existing heritage building.

The owners have engaged me to provide structural engineering for the entire project, however I have been advised to hold off on documenting the final design until approved/endorsed plans have been provided by ACT heritage. Upon successful endorsement, I will ensure that all structural design is sensitive to the existing heritage structure.

Regards,

Jan Van Der Veen
Structural Engineer
C.Eng M.I. Struct.E.M.I.E (Aust)

<i>Heritage Act 2004</i>
HERITAGE ADVICE PROVIDED
Signed: <i>P.K. Hubert</i>
Heritage Officer: <i>Pamela Hubert</i>
Date: <i>31 March 2015</i>

27 May 2015.

Discussed issues with Rueben Gaze, Investigations team, Construction Services.

Rueben advised that he would investigate further noting that while a carport and water tanks could be considered exempt works under Planning regulations, the proposed laundry addition is not a Class 10 structure and would require DA approval. ACT Heritage confirmed that the excavation appeared to be in the vicinity of the proposed laundry to the rear of the existing dwelling. Also advised that ACT Heritage had advised proponent to seek further advice from ACT Planning Authority in relation to DA requirements.

Rueben also advised that shipping containers may be permitted for up to 12 months in front yards.







YOU CAN DO ANYTHING IN A ROYAL WOLF

RWC U 977873

45HW



KASCON

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ACT
Government

Environment and Planning

ACT Heritage FILE NOTE/CONVERSATION RECORD

Date: 25 May 2015

SUBJECT:	Tree removal, Shipping containers and unapproved works	
Block: 8	Section: 35	Division/District: Forrest

Observed two shipping containers on block, one on driveway on Manuka Circle side of block and one on block between house and Manuka Circle, directly under large tree. Container under the tree appears to contain tools, area up to this container has been paved.

Materials (sand) on Fitzroy Street verge, other materials including temp fencing, bobcat and trades vehicles on Manuka Circle verge.

Excavator operating in rear yard.

No development approval for any of the works. ACT Heritage advised proponent that they should seek advice from the ACT planning Authority regarding the proposed new carport and laundry.

FURTHER ACTION:

- Follow up with Chris Corsini – Urban Treescapes
- Advise City Rangers of materials on the verge
- Contact Construction Services, Rueben Gaze – no development approval for works

Jennifer Dunn
Conservation Officer
ACT Heritage



ACT
Government

Chief Minister, Treasury and
Economic Development

Ms Pamela Hubert
ACT Heritage
GPO BOX 158
Canberra ACT 2601

Dear Ms HUBERT

Block 8 Section 35 FORREST – Controlled Activity Complaint

I refer to your complaint submitted to Construction Services on 3 November 2014 regarding the above block. Your complaint has been investigated and your concerns have been addressed.

It is considered that the conduct complained about is no longer a controlled activity as identified in Schedule 2 of the *Planning and Development Act 2007* (the Act).

In accordance with section 345 (1) (a) of the Act, Construction Services has determined that no further action is required in relation to your complaint because the structure has the required development approval.

Construction Services is satisfied that no further action is necessary in relation to the complaint.

Should you have any questions in relation to this matter please contact the Investigation Team on 6207 3022 or email actplalru@act.gov.au.

Yours sincerely

Sam Sharifi
Investigation Team
Construction Services

30 June 2015



ACT
Government

Chief Minister, Treasury and
Economic Development

Ms Pamela Hubert
ACT Heritage Unit
GPO Box 158
Canberra ACT 2601

Dear Ms HUBERT

Block 8 Section 35 FOERRST – Controlled Activity Complaint

I refer to your complaint submitted to Construction Services on 12 July 2013 regarding the above block. Your complaint has been investigated and it is considered that the conduct complained about is no longer a controlled activity as identified in Schedule 2 of the *Planning and Development Act 2007* (the Act).

In accordance with section 345 (1) (a) of the Act, Construction Services has determined that no further action is required in relation to your complaint because the unapproved structure specifically the galvanised fence has been removed.

Construction Services is satisfied that no further action is necessary in relation to the complaint.

Should you have any questions in relation to this matter please contact the Investigation Team on 6207 3022 or email actplalru@act.gov.au.

Yours sincerely

Sam Sharifi
Investigation Team
Construction Services

06 July 2015



ACT Heritage Council

HERITAGE ADVICE

Under Part 10 of the *Heritage Act 2004*

ACT Planning Ref: DA 2015 28116
Heritage Ref: Forrest 8-35
Contact Officer: Jennifer Dunn
Received: 12 August 2015
Due date: 2 September 2015

TO: ACT planning and land authority
Environment and Planning Directorate
EPDCustomerServices@act.gov.au

Block:	Section:	Division / District:	Heritage Place:
8	35	Forrest	Forrest Fire Station Precinct

Status of Place: Registered Heritage Place
Description of Works: Residential - single dwelling alts + additions
Council Advice provided by: Secretary / ACT Heritage Manager

Pursuant to s.148(1) of the *Planning and Development Act 2007* and part 10 of the *Heritage Act 2004*, the ACT Heritage Council (the Council) advises that:

- the proposed development **will have a detrimental impact** upon the heritage values of the place on the basis of the attached heritage assessment, and to prevent such impact would require change to the fundamental nature or concept of the development.
- the proposed development **will have a significant adverse impact** under section 124A of the *Planning and Development Act 2007*.

NOTES:

Block 8 Section 35 Forrest is located within the Forrest Fire Station precinct which is entered to the ACT Heritage Register. The proposal includes a two storey addition to the south west corner of the existing dwelling, a carport to the Manuka Circle (south west) elevation and attached car accommodation to the Fitzroy Street (north east) elevation and associated landscaping comprising plantings and hardstand parking areas.

The proposed carport to the south west elevation (Manuka Circle) appears to have been designed to be a lightweight reversible structure to minimise visual impacts and has been setback sufficiently to allow the form of the original building to be clearly legible from the public realm.

The addition to the south west is well setback from the street facing wall. The use of zinc cladding to the wall facing Manuka Circle, while not consistent with the heritage guidelines for the Forrest Fire Station precinct, has previously been accepted by the DA Taskforce of the ACT Heritage Council (the Council).

The proposed large single pane strip window to the south west elevation and the frameless corner window to the upper floor of the north east and north west elevation are not consistent with Specific Requirement iii(f) of the Guidelines for the Precinct which states: “*The roof pitch, walls, materials, window types and materials shall be as similar to the existing dwelling as is feasible*”. Whilst timber windows are not opposed the overall form and appearance of the windows is not complimentary to the existing architectural style of the dwelling. The use of horizontal glazing bars, spaced to match existing original windows would not be opposed.

The proposed 2950mm high brick wall to the boundary with Block 9 Section 35 (4 Fitzroy Street) and proposed carport is not supported. Whilst the Council previously provided support for a carport to this side of the existing dwelling, that carport was not located on the side boundary and provided

visual separation between the existing dwelling and the boundary. The proposed carport in conjunction with the brick wall do not provide the required visual separation.

Changes of the following order are required to mitigate the current impacts:

1. The use of horizontal glazing bars to the proposed large single pane strip window and upper level frameless corner window spaced to match existing original windows;
2. Reconfiguration of the Fitzroy Street elevation carport to provide visual separation between the existing dwelling and the side boundary; and
3. Deletion of the proposed 2950mm high brick wall on the side boundary with Block 9 Section 35Forrest (4 Fitzroy Street)

The Council is willing to consider a revised proposal that addresses these concerns.

Fiona Moore
A/g Secretary (as delegate for),
ACT Heritage Council

September 2015



ACT Heritage Council

HERITAGE ADVICE
Under Part 10 of the Heritage Act 2004

ACT Planning Ref: DA 2015 28116
Heritage Ref: Forrest 8-35
Contact Officer: Jennifer Dunn
Received: 12 August 2015
Due date: 2 September 2015

TO: ACT planning and land authority
Environment and Planning Directorate
EPDCustomerServices@act.gov.au

Table with 4 columns: Block, Section, Division / District, Heritage Place. Row 1: 8, 35, Forrest, Forrest Fire Station Precinct

Status of Place: Registered Heritage Place
Description of Works: Residential - single dwelling alts + additions
Council Advice provided by: Secretary / ACT Heritage Manager

Pursuant to s.148(1) of the Planning and Development Act 2007 and part 10 of the Heritage Act 2004, the ACT Heritage Council (the Council) advises that:

- Checked box: the proposed development will have a detrimental impact upon the heritage values of the place...
Unchecked box: the proposed development will have a significant adverse impact under section 124A of the Planning and Development Act 2007.

NOTES:

Block 8 Section 35 Forrest is located within the Forrest Fire Station precinct which is entered to the ACT Heritage Register. The proposal includes a two storey addition to the south west corner of the existing dwelling, a carport to the Manuka Circle (south west) elevation and attached car accommodation to the Fitzroy Street (north east) elevation and associated landscaping comprising plantings and hardstand parking areas.

The proposed carport to the south west elevation (Manuka Circle) appears to have been designed to be a lightweight reversible structure to minimise visual impacts and has been setback sufficiently to allow the form of the original building to be clearly legible from the public realm.

The addition to the south west is well setback from the street facing wall. The use of zinc cladding to the wall facing Manuka Circle, while not consistent with the heritage guidelines for the Forrest Fire Station precinct, has previously been accepted by the DA Taskforce of the ACT Heritage Council (the Council).

The proposed large single pane strip window to the south west elevation and the frameless corner window to the upper floor of the north east and north west elevation are not consistent with Specific Requirement iii(f) of the Guidelines for the Precinct which states: 'The roof pitch, walls, materials, window types and materials shall be as similar to the existing dwelling as is feasible'. Whilst timber windows are not opposed the overall form and appearance of the windows is not complimentary to the existing architectural style of the dwelling. The use of horizontal glazing bars, spaced to match existing original windows would not be opposed.

The proposed 2950mm high brick wall to the boundary with Block 9 Section 35 (4 Fitzroy Street) and proposed carport is not supported. Whilst the Council previously provided support for a carport to this side of the existing dwelling, that carport was not located on the side boundary and provided

visual separation between the existing dwelling and the boundary. The proposed carport in conjunction with the brick wall do not provide the required visual separation.

Changes of the following order are required to mitigate the current impacts:

1. The use of horizontal glazing bars to the proposed large single pane strip window and upper level frameless corner window spaced to match existing original windows;
2. Reconfiguration of the Fitzroy Street elevation carport to provide visual separation between the existing dwelling and the side boundary; and
3. Deletion of the proposed 2950mm high brick wall on the side boundary with Block 9 Section 35Forrest (4 Fitzroy Street)

The Council is willing to consider a revised proposal that addresses these concerns.



Fiona Moore
**A/g Secretary (as delegate for),
ACT Heritage Council**

2 September 2015



ACT Heritage Council

Clearance Form

Advice prepared by: Jennifer Dunn Designation: cons off

Proposal: Two storey rear addition w/ strip windows, carports to side boundaries
Impact / Concern: form of windows carport location, lack of visual separation, brick wall on boundary -
Recommendation: Not supported

Signature: J. Dunn Date: 1 / 9 / 2015

Checked by: Meaghan Russell Designation: Conservation Officer (Archaeology)

Comment: Agreed.
Signature: M Russell Date: 02/09/2015

Chair / Deputy Chair / Secretary: Fiona Moore Designation: A/g Manager

Comment: Suggested minor edits. Agree w recommendation.
Signature: F Moore Date: 2 / 9 / 2015



ACT Heritage Council

HERITAGE ADVICE

Under Part 10 of the *Heritage Act 2004*

ACT Planning Ref: DA 2015 28116 S 141
A
Heritage Ref: Forrest 8-35
Contact Officer: Jennifer Dunn
Received: 8 Sept 2015
Due date: 23 Sept 2015

TO: ACT planning and land authority
Environment and Planning Directorate
EPDCustomerServices@act.gov.au

Block:	Section:	Division / District:	Heritage Place:
8	35	Forrest	Forrest Fire Station Precinct

Status of Place: Registered Heritage Place
Description of Works: Residential - single dwelling alts + additions
Council Advice provided by: Secretary / ACT Heritage Manager

Pursuant to s.148(1) of the *Planning and Development Act 2007* and part 10 of the *Heritage Act 2004*, the ACT Heritage Council (the Council) advises that:

the proposed development **will have a detrimental impact** upon the heritage values of the place, unless the following condition is complied with

NOTES:

Block 8 Section 35 Forrest is located within the Forrest Fire Station precinct which is entered to the ACT Heritage Register. Further to previous ACT Heritage Council advice of 2 September 2015, the current proposal comprises removal of the brick wall to the side boundary with Block 9 Section 35 (4 Fitzroy Street) and the inclusion of horizontal glazing bars to the strip windows to the upper floor of the north east and north west elevations. These works are not opposed.

Whilst the carport to the Fitzroy Street elevation has been redesigned to provide a light weight structure, its siting on the side boundary is not supported. Retention of some visual separation between the dwelling and the side boundary is required to ensure that the overall development is not perceived as wall to wall development across the block.

As the Fitzroy Street elevation is the main frontage of the dwelling, retention of some visual separation between the dwelling and the side boundary and a reconfiguration of the carport off the side boundary is required. The impact of the proposed carport may be mitigated subject to the following condition:

1. Reconfiguration of the Fitzroy Street elevation carport to provide visual separation between the existing dwelling and the side boundary

The Council is willing to consider a revised proposal that addresses these concerns.

Fiona Moore
A/g Secretary (as delegate for),
ACT Heritage Council

September 2015



ACT Heritage Council

HERITAGE ADVICE

Under Part 10 of the *Heritage Act 2004*

ACT Planning Ref: DA 2015 28116 S 141
A
Heritage Ref: Forrest 8-35
Contact Officer: Jennifer Dunn
Received: 8 Sept 2015
Due date: 23 Sept 2015

TO: ACT planning and land authority
Environment and Planning Directorate
EPDCustomerServices@act.gov.au

Block:	Section:	Division / District:	Heritage Place:
8	35	Forrest	Forrest Fire Station Precinct

Status of Place: Registered Heritage Place
Description of Works: Residential - single dwelling alts + additions
Council Advice provided by: Secretary / ACT Heritage Manager

Pursuant to s.148(1) of the *Planning and Development Act 2007* and part 10 of the *Heritage Act 2004*, the ACT Heritage Council (the Council) advises that:

the proposed development **will have a detrimental impact** upon the heritage values of the place, unless the following condition is complied with

NOTES:


Block 8 Section 35 Forrest is located within the Forrest Fire Station precinct which is entered to the ACT Heritage Register. Further to previous ACT Heritage Council advice of 2 September 2015, the current proposal comprises removal of the brick wall to the side boundary with Block 9 Section 35 (4 Fitzroy Street) and the inclusion of horizontal glazing bars to the strip windows to the upper floor of the north east and north west elevations. These works are not opposed.

Whilst the carport to the Fitzroy Street elevation has been redesigned to provide a light weight structure, its siting on the side boundary is not supported. Retention of some visual separation between the dwelling and the side boundary is required to ensure that the overall development is not perceived as wall to wall development across the block.

As the Fitzroy Street elevation is the main frontage of the dwelling, retention of some visual separation between the dwelling and the side boundary and a reconfiguration of the carport off the side boundary is required. The impact of the proposed carport may be mitigated subject to the following condition:

1. Reconfiguration of the Fitzroy Street elevation carport to provide visual separation between the existing dwelling and the side boundary

The Council is willing to consider a revised proposal that addresses these concerns.


Fiona Moore
A/g Secretary (as delegate for),
ACT Heritage Council

18 September 2015



ACT Heritage Council

Clearance Form

Advice prepared by: Jennifer Dunn Designation: Cons Off

Proposal: Amendments - horizontal glazing bars to strip windows, deletion of brick wall.
Impact / Concern: Siting of Fitzroy St carport - no visual separation
Recommendation: Resiting of carport required
Signature: J. Dunn Date: 17/9/2015

Checked by: Meghan Russell Designation: Conservation Officer (Archaeology)
Comment: Agree
Signature: MRussell Date: 17/09/2015

Chair / Deputy Chair / Secretary: Fiona Moore Designation: A/g Manager
Comment: Minor edits. - Agreed.
Signature: F Moore Date: 18/9/2015

**MINUTES OF ACT HERITAGE COUNCIL MEETING 74
24 SEPTEMBER 2015**

DATE: 24 September 2015

VENUE: Executive Boardroom, Level 3, Dame Pattie Menzies House (South), Dickson

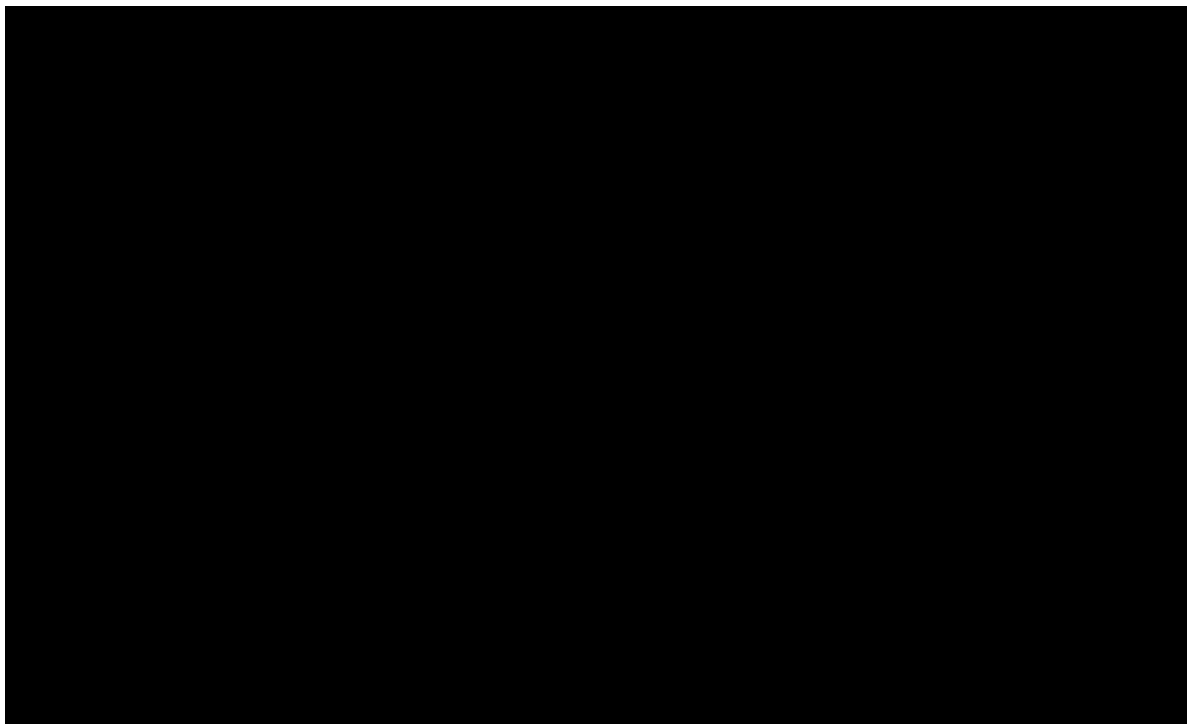
ATTENDED BY:

Members	Time In	Time Out
Mr David Flannery (Chair)	9.30	12.00
Dr Dianne Firth (Deputy Chair)	9.30	12.00
Mr Philip Nizette	absent	
Mr Gary Shipp	9.30	12.00
Mr George Bailey	9.30	12.00
Mr Doug Williams	absent	
Dr Hanna Jaireth	9.30	12.00
Dr Mary Hutchison	9.30	12.00
Mr John Kenworthy	9.30	12.00
Chief Planning Executive Ms Dorte Ekelund	9.30	12.00
Conservator of Flora and Fauna Dr Annie Lane	absent	

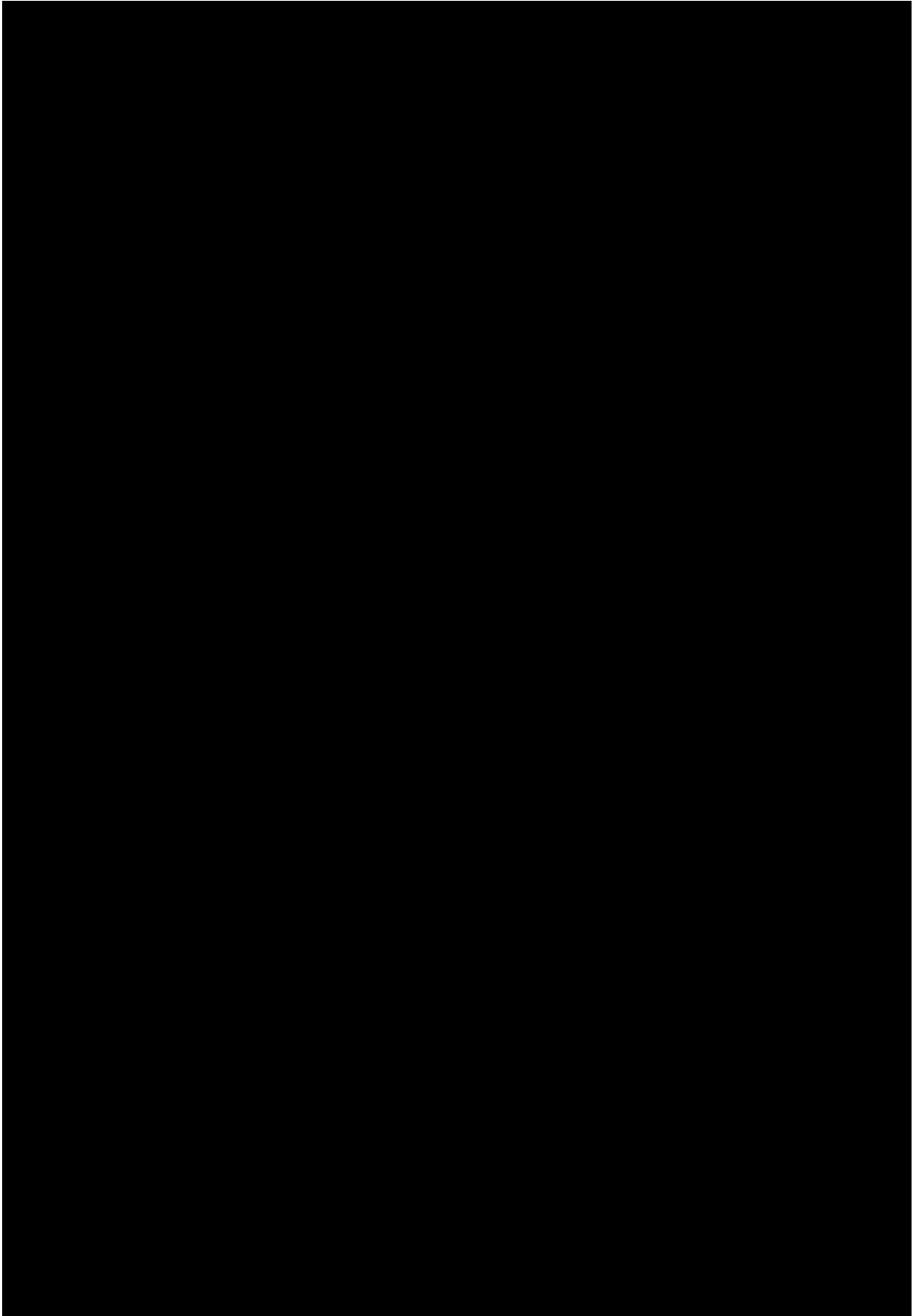
A/g Secretary: Ms Fiona Moore

In Attendance: Ms Jennifer O'Connell, Ms Anna Gurnhill, Ms Meaghan Russell,
Mr Richard Hekimian, Ms Daisy Chaston (part).

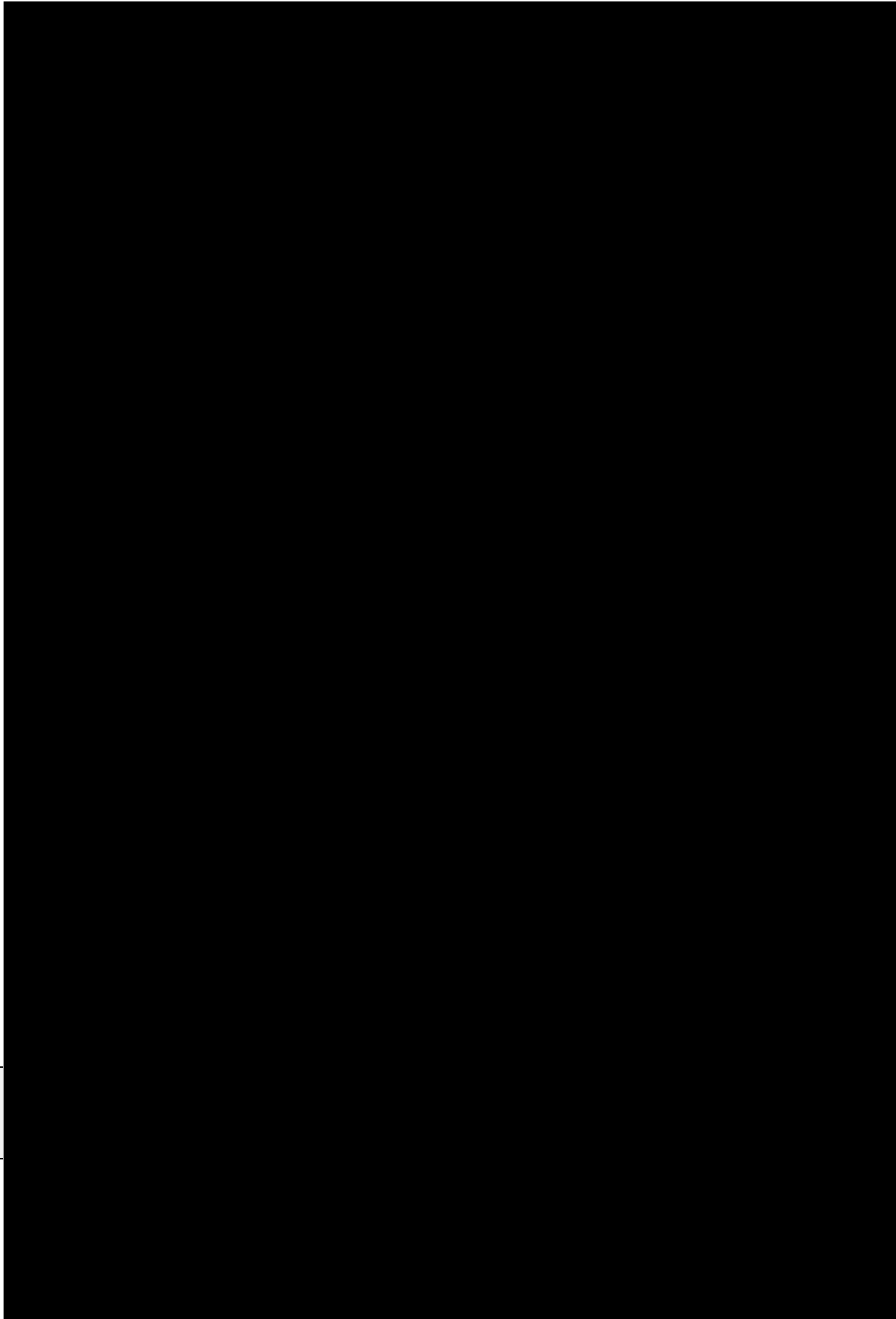
Minutes: Ms Adriana Lulic



**MINUTES OF ACT HERITAGE COUNCIL MEETING 74
24 SEPTEMBER 2015**

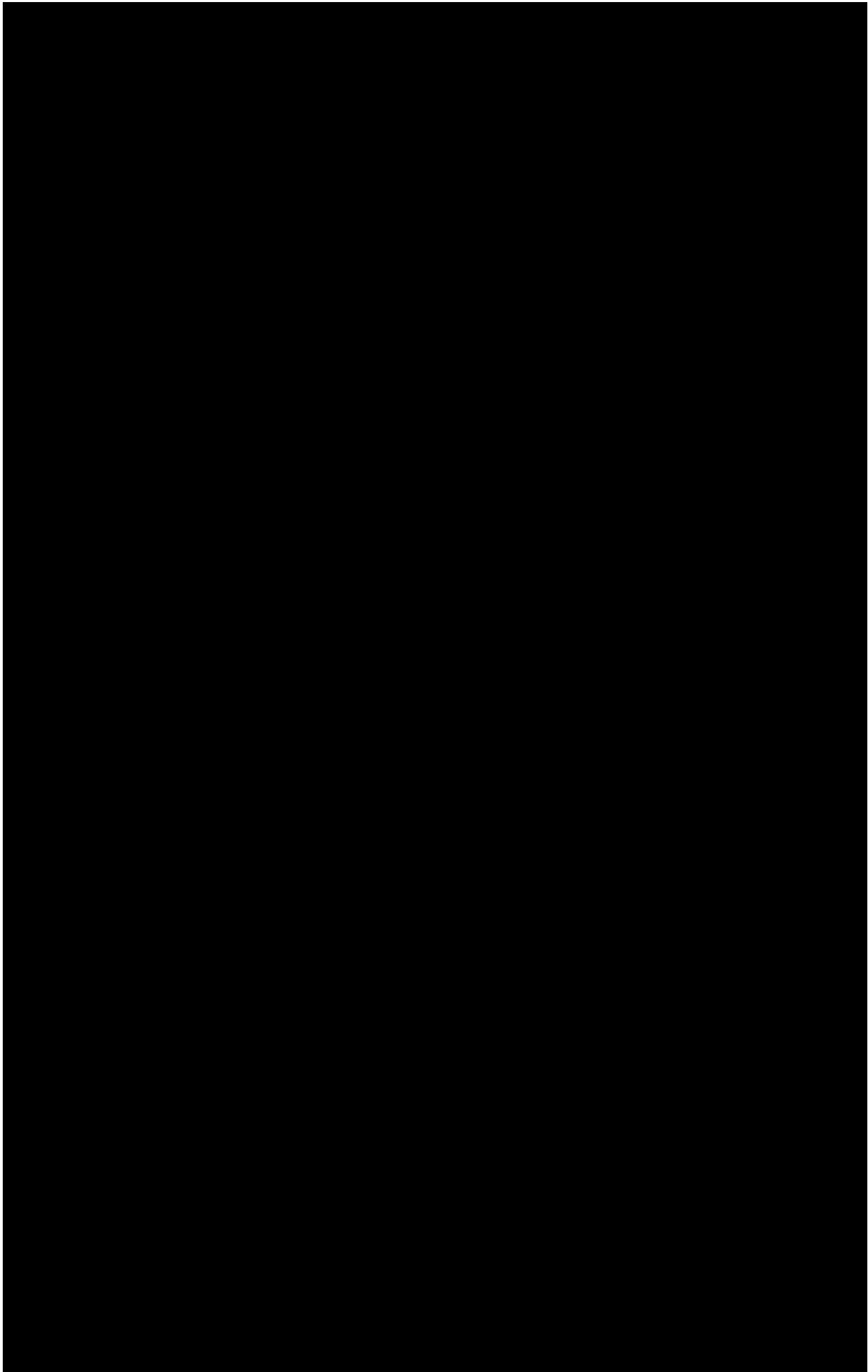


**MINUTES OF ACT HERITAGE COUNCIL MEETING 74
24 SEPTEMBER 2015**



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**MINUTES OF ACT HERITAGE COUNCIL MEETING 74
24 SEPTEMBER 2015**



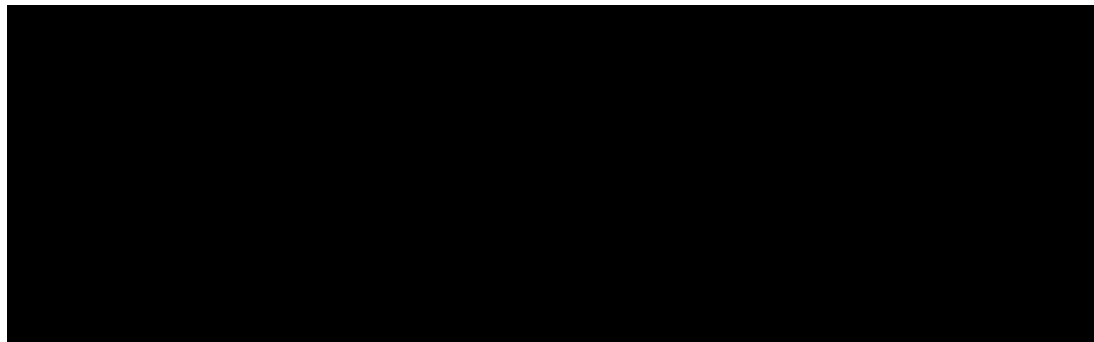
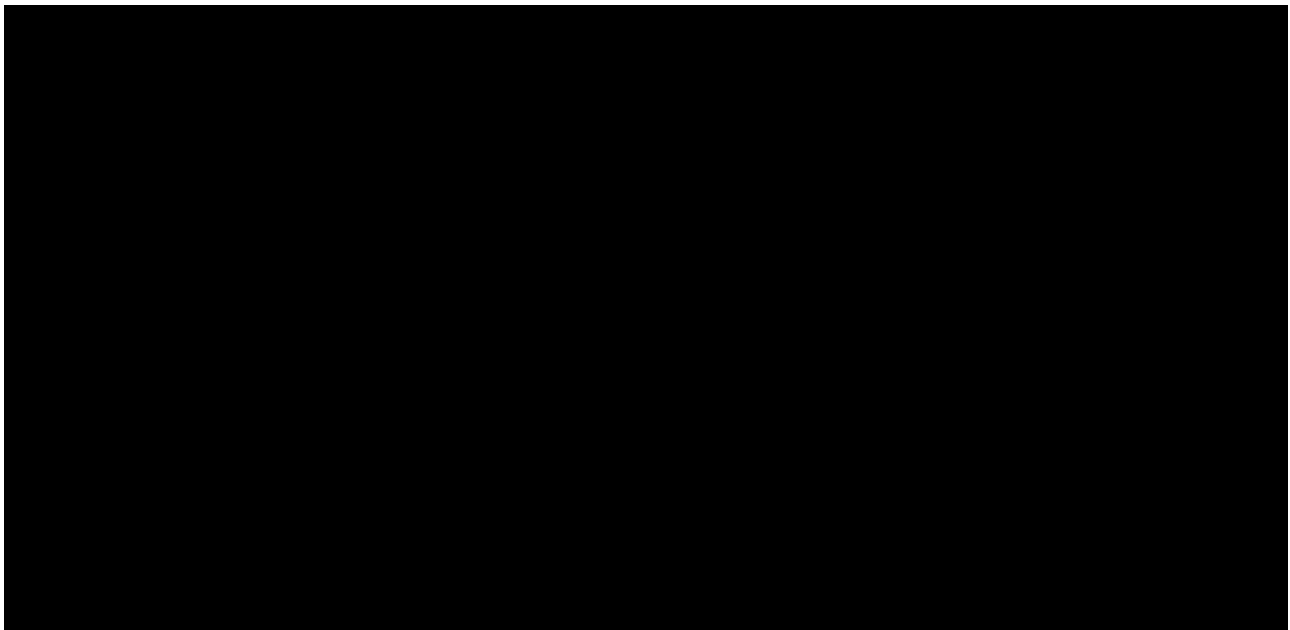
**MINUTES OF ACT HERITAGE COUNCIL MEETING 74
24 SEPTEMBER 2015**



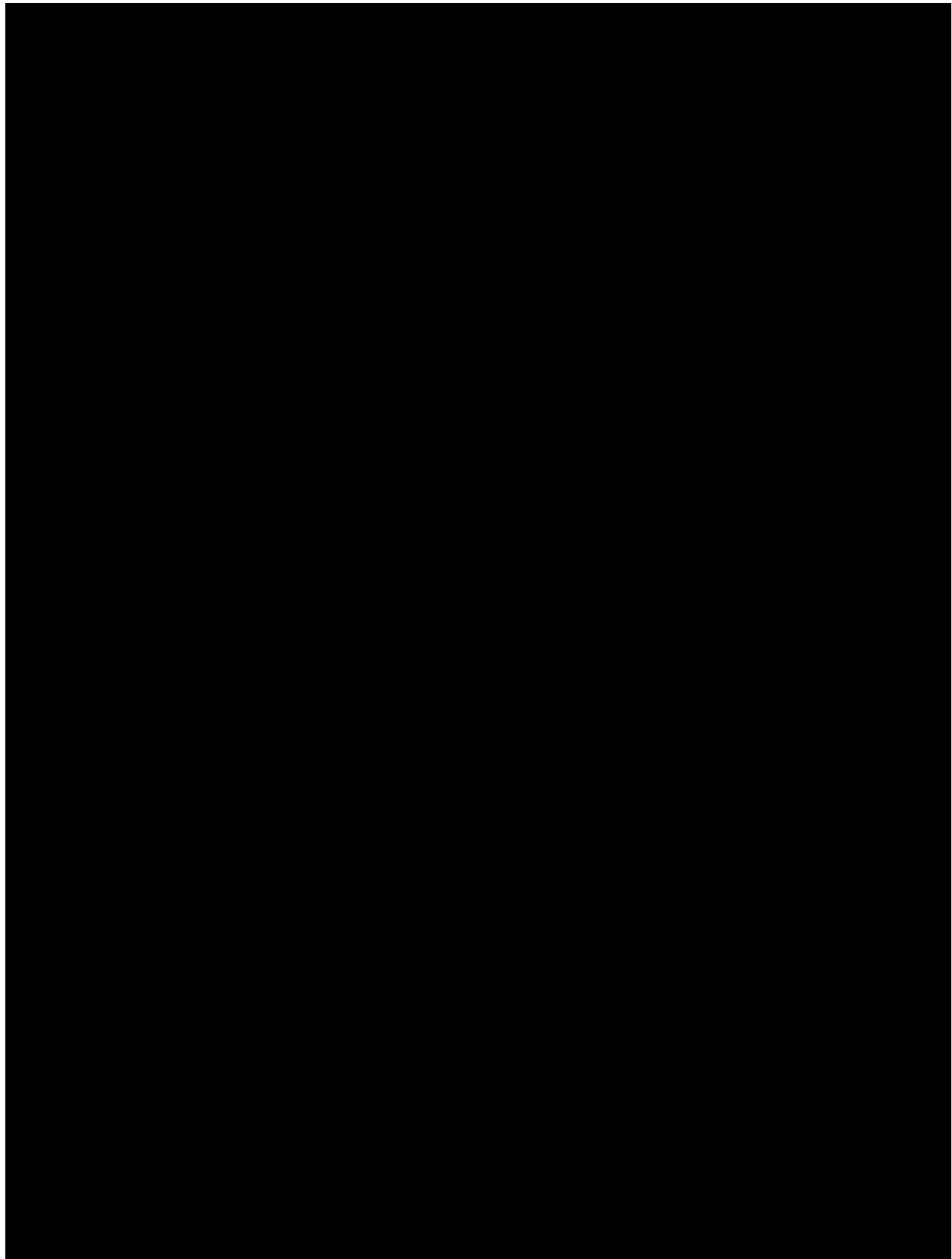
5.3 Development applications (historical heritage places) – Ms Dunn

Council noted the agenda paper.

As outlined in the report, Ms Russell provided an update on Council's concerns on a Development Application submitted for 2 Fitzroy Street, Forrest, which includes a carport that does not provide the required visual separation between the existing dwelling and the side boundary.



**MINUTES OF ACT HERITAGE COUNCIL MEETING 74
24 SEPTEMBER 2015**



Meeting concluded at 12.00pm.



ACT Heritage Council

HERITAGE ADVICE

Under Part 10 of the *Heritage Act 2004*

ACT Planning Ref: DA 2015 28116 –
S141 B
Heritage Ref: Forrest 8-35
Contact Officer: Jennifer Dunn
Received: 7 Oct 2015
Due date: 28 Oct 2015

TO: ACT planning and land authority
Environment and Planning Directorate
EPDCustomerServices@act.gov.au

Block:	Section:	Division / District:	Heritage Place:
8	35	Forrest	Forrest Fire Station Precinct

Status of Place: Registered Heritage Place
Description of Works: Residential - single dwelling alts + additions
Council Advice provided by: Secretary / ACT Heritage Manager

Pursuant to s.148 (1) of the *Planning and Development Act 2007* and part 10 of the *Heritage Act 2004*, the ACT Heritage Council (the Council) advises that:

- there are **no perceived heritage issues** with this application and a detailed assessment is not required.
- the proposed development **will have a significant adverse impact** under section 124A of the *Planning and Development Act 2007*.

NOTES:

Block 8 Section 35 Forrest is located within the Forrest Fire Station precinct which is entered to the ACT Heritage Register. The proposal includes revisions to the previous application and comprise additional landscaping and revised siting of the Fitzroy Street carport.

Drawings AO2 (Site Plan/Verge Management Plan) and AO3 (Ground Floor Plan) dated 24 September 2015 indicate that additional planting is to be introduced between the proposed carport and the boundary with Block 9 Section 35 Forrest (the side boundary). Further, the proposed carport is to be sited 750mm off the side boundary. The proposed planting and revised siting of the carport is not opposed by the ACT Heritage Council.

Fiona Moore
**A/g Secretary (as delegate for),
ACT Heritage Council**

October 2015



ACT Heritage Council

HERITAGE ADVICE Under Part 10 of the *Heritage Act 2004*

ACT Planning Ref: DA 2015 28116 –
S141 B
Heritage Ref: Forrest 8-35
Contact Officer: Jennifer Dunn
Received: 7 Oct 2015
Due date: 28 Oct 2015

TO: ACT planning and land authority
Environment and Planning Directorate
EPDCustomerServices@act.gov.au

Block:	Section:	Division / District:	Heritage Place:
8	35	Forrest	Forrest Fire Station Precinct

Status of Place: Registered Heritage Place
Description of Works: Residential - single dwelling alts + additions
Council Advice provided by: Secretary / ACT Heritage Manager

Pursuant to s.148 (1) of the *Planning and Development Act 2007* and part 10 of the *Heritage Act 2004*, the ACT Heritage Council (the Council) advises that:

- there are **no perceived heritage issues** with this application and a detailed assessment is not required.
- the proposed development **will have a significant adverse impact** under section 124A of the *Planning and Development Act 2007*.

NOTES:

Block 8 Section 35 Forrest is located within the Forrest Fire Station precinct which is entered to the ACT Heritage Register. The proposal includes revisions to the previous application and comprise additional landscaping and revised siting of the Fitzroy Street carport.

Drawings AO2 (Site Plan/Verge Management Plan) and AO3 (Ground Floor Plan) dated 24 September 2015 indicate that additional planting is to be introduced between the proposed carport and the boundary with Block 9 Section 35 Forrest (the side boundary). Further, the proposed carport is to be sited 750mm off the side boundary. The proposed planting and revised siting of the carport is not opposed by the ACT Heritage Council.

Fiona Moore
A/g Secretary (as delegate for),
ACT Heritage Council

8 October 2015



ACT Heritage Council

Clearance Form

Advice prepared by: Jennifer Dunn Designation: Cons. Off.

Proposal: REVISIONS - revised carport, siting 750mm of boundary (as discussed w preponent on 23.9.15) →

Impact / Concern: NIL

Recommendation: Support.

Signature: J. Dunn Date: 6/10/2015

Checked by: Sam Hossaini Designation: Cons. Officer

Comment:

Signature: [Signature] Date: 07/10/2015

Chair / Deputy Chair / Secretary: Fiona Moore Designation: A/g. Manager

Comment:

Agreed.

Signature: [Signature] Date: 7/10/2015



ACT Heritage Council

HERITAGE ADVICE

Under Part 10 of the *Heritage Act 2004*

ACT Planning Ref: DA 2015 28116 S 141
B
Heritage Ref: Forrest 8-35
Contact Officer: Jennifer Dunn
Received: 12 Oct 2015
Due date: ASAP

TO: ACT planning and land authority
Environment and Planning Directorate
EPDCustomerServices@act.gov.au

Block:	Section:	Division / District:	Heritage Place:
8	35	Forrest	Forrest Fire Station Precinct

Status of Place: Registered Heritage Place
Description of Works: Other- landscape screening to existing roof top terrace
Council Advice provided by: Secretary / ACT Heritage Manager

Pursuant to s.148(1) of the *Planning and Development Act 2007* and part 10 of the *Heritage Act 2004*, the ACT Heritage Council (the Council) advises that:

there are **no perceived heritage issues** with this application and a detailed assessment is not required.

NOTES:

Block 8 Section 35 Forrest is located within the Forrest Fire Station precinct which is entered to the ACT Heritage Register.

The current revision comprises 1.8m high evergreen landscape screening in trough planters to the northwest side of the existing roof top terrace, to address privacy concerns. The proposed works are unlikely to detrimentally impact upon the heritage values of the place and are not opposed by the Council.

Fiona Moore
**A/g Secretary (as delegate for),
ACT Heritage Council**

13 October 2015



ACT Heritage Council

HERITAGE ADVICE

Under Part 10 of the *Heritage Act 2004*

ACT Planning Ref: DA 2015 28116 S 141
B
Heritage Ref: Forrest 8-35
Contact Officer: Jennifer Dunn
Received: 12 Oct 2015
Due date: ASAP

TO: ACT planning and land authority
Environment and Planning Directorate
EPDCustomerServices@act.gov.au

Block:	Section:	Division / District:	Heritage Place:
8	35	Forrest	Forrest Fire Station Precinct

Status of Place: Registered Heritage Place
Description of Works: Other- landscape screening to existing roof top terrace
Council Advice provided by: Secretary / ACT Heritage Manager

Pursuant to s.148(1) of the *Planning and Development Act 2007* and part 10 of the *Heritage Act 2004*, the ACT Heritage Council (the Council) advises that:

there are **no perceived heritage issues** with this application and a detailed assessment is not required.

NOTES:

Block 8 Section 35 Forrest is located within the Forrest Fire Station precinct which is entered to the ACT Heritage Register.

The current revision comprises 1.8m high evergreen landscape screening in trough planters to the northwest side of the existing roof top terrace, to address privacy concerns. The proposed works are unlikely to detrimentally impact upon the heritage values of the place and are not opposed by the Council.

Fiona Moore
A/g Secretary (as delegate for),
ACT Heritage Council

13 October 2015



ACT Heritage Council

Clearance Form

Advice prepared by: Jennifer Dunn Designation: Cons Off

Proposal: Landscape screen to NW side of terrace
Impact / Concern: NIL
Recommendation: Support
Signature: J. Dunn Date: 13/10/2015

Checked by: Sam Hosseini Designation: Cons officer

Comment: Agree
Signature: [Signature] Date: 13/10/2015

Chair / Deputy Chair / Secretary: Fiona Moore Designation: A/g. Manager

Comment: Agreed.
Signature: [Signature] Date: 13/10/2015



ACT Heritage Council
Clearance Form

Advice prepared by: Jennifer Dunn Designation: cons Off

Proposal: Landscape screening to roof top terrace

Impact / Concern: NIL

Recommendation: SUPPORT

Signature: J. Dunn Date: 13/10 / / 2015

Checked by: Sam Hosseini Designation: Cons Officer

Comment:

Agree

Signature: [Signature] Date: 14/10 / / 2015

Chair / Deputy Chair / Secretary: Fiona Moore Designation: A/g Manager

Comment:

Agree

Signature: [Signature] Date: 14/10 / / 2015



ACT Heritage Council

HERITAGE ADVICE

Under Part 10 of the *Heritage Act 2004*

ACT Planning Ref: DA 2015 28116 -
S 1414 F
Heritage Ref: Forrest 8-35
Contact Officer: Jennifer Dunn
Received: 13 Oct 2015
Due date: 3 Nov 2015

TO: ACT planning and land authority
Environment and Planning Directorate
EPDCustomerServices@act.gov.au

Block:	Section:	Division / District:	Heritage Place:
8	35	Forrest	Forrest Fire Station Precinct

Status of Place: Registered Heritage Place
Description of Works: Other- landscape screening to existing roof top terrace
Council Advice provided by: Secretary / ACT Heritage Manager


Pursuant to s.148(1) of the *Planning and Development Act 2007* and part 10 of the *Heritage Act 2004*, the ACT Heritage Council (the Council) advises that:

there are **no perceived heritage issues** with this application and a detailed assessment is not required.

NOTES:

Block 8 Section 35 Forrest is located within the Forrest Fire Station precinct which is entered to the ACT Heritage Register.

The current revision comprises 1.8m high evergreen landscape screening in trough planters to the northwest side of the existing roof top terrace, to address privacy concerns. The proposed works are unlikely to detrimentally impact upon the heritage values of the place and are not opposed by the Council.


Fiona Moore
A/g Secretary (as delegate for),
ACT Heritage Council
14 October 2015

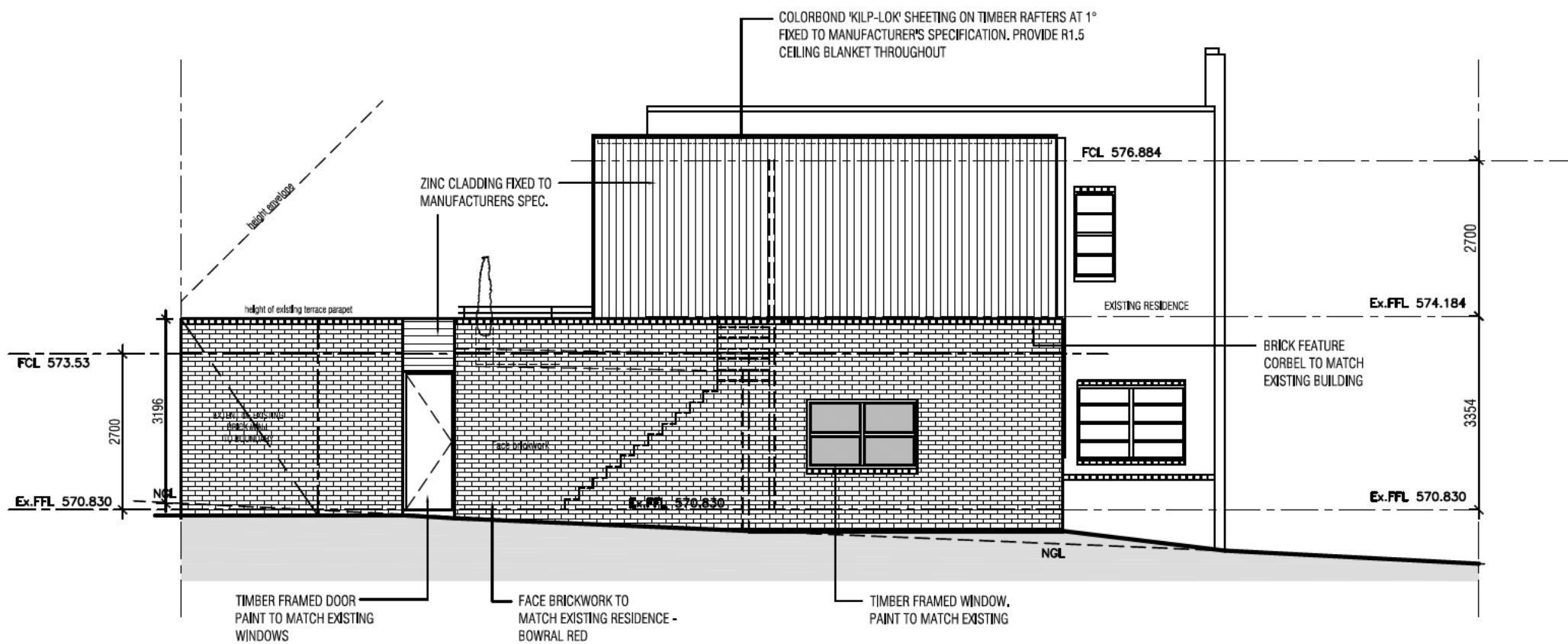
REVISION	DESCRIPTION	DATE
A	ISSUED FOR DA	17.7.15
B	RE-ISSUED FOR DA	27.7.15
C	DA ISSUE - HERITAGE	3.9.15
D	DA ISSUE - HERITAGE	24.9.15
	PLANTER BED ADDED TO CARPORT AND ROOF	
E	SCREEN ADDED TO TERRACE	12.10.15

All dimensions must be verified on site by the contractor before the commencement of work or production of shop drawings. All dimensions are in millimeters unless otherwise stated. Do not scale of drawings.

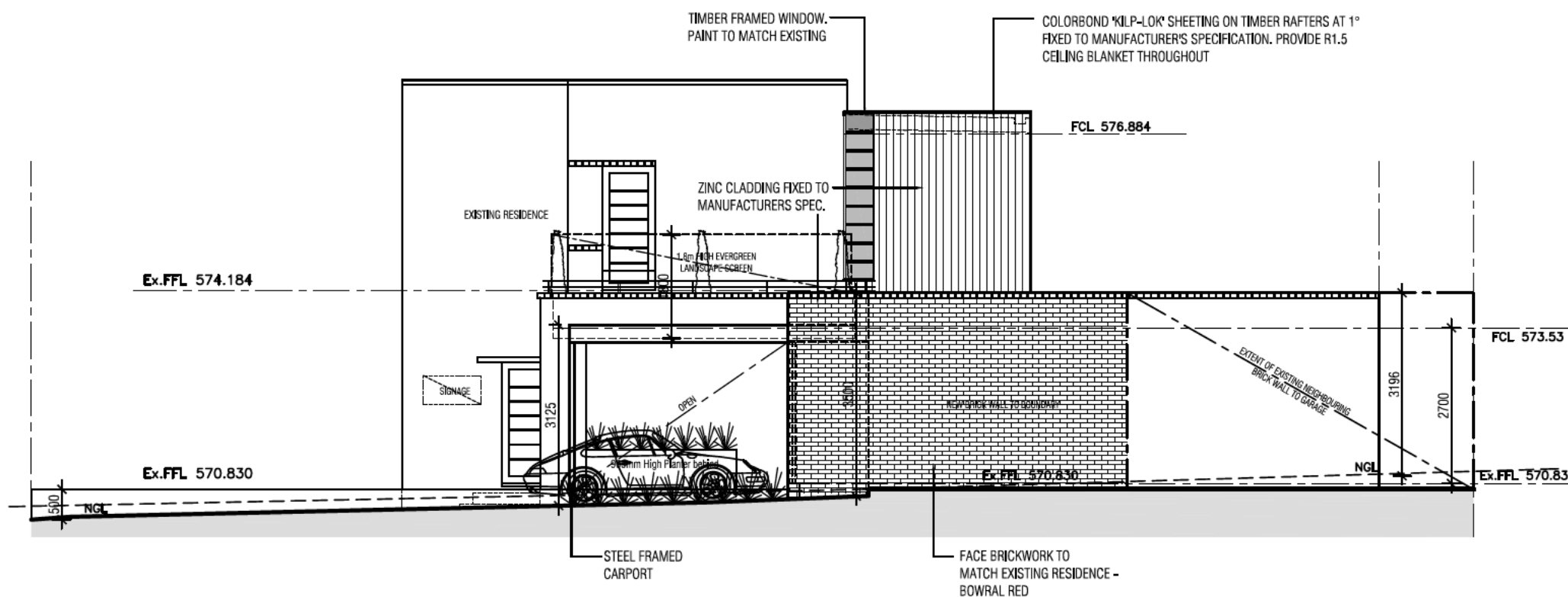


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 E info@kasunicandco.com.au

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SOUTH WEST ELEVATION



NORTH WEST ELEVATION

CLIENT

GEORGE

PROJECT

8/35F

BLOCK 8, SECTION 35 FORREST ACT

PROJECT No.

BLK8SEC35 - FORREST

DRAWING

ELEVATIONS

DATE **12.10.15 (E)**

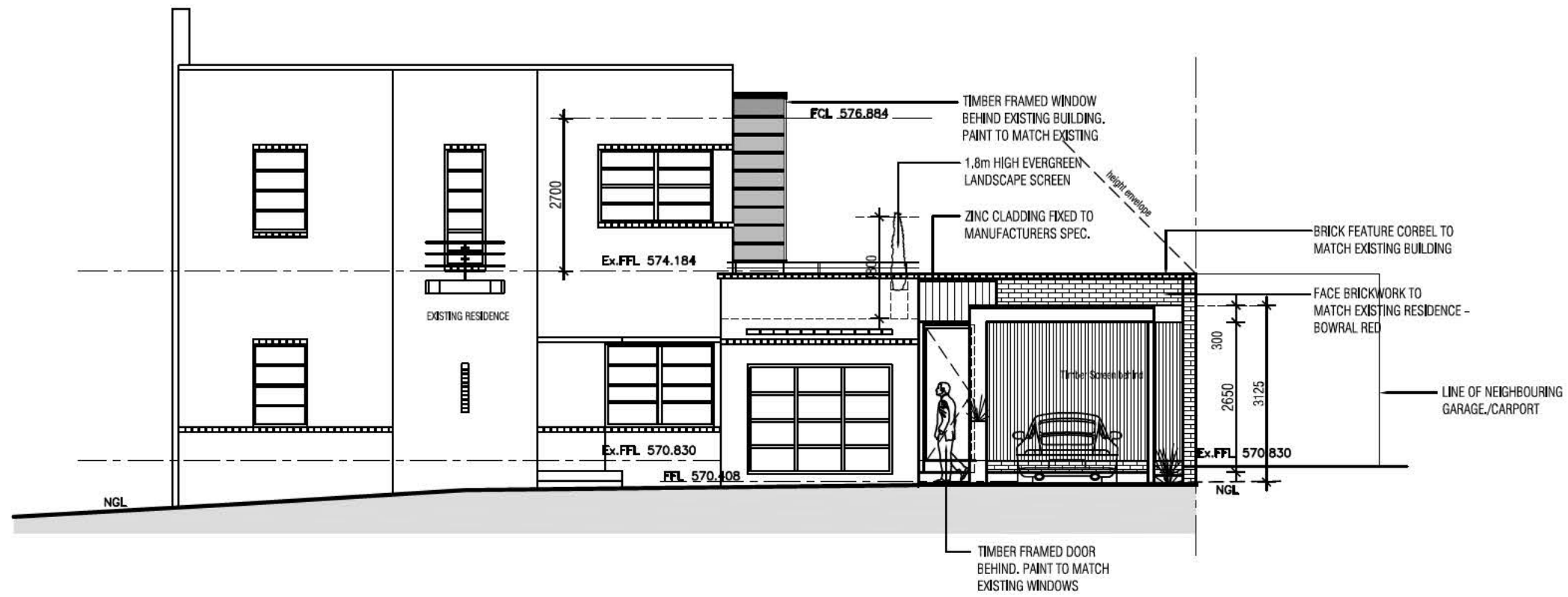
SCALE **1:100 @ A3**

DRAWN **DK**

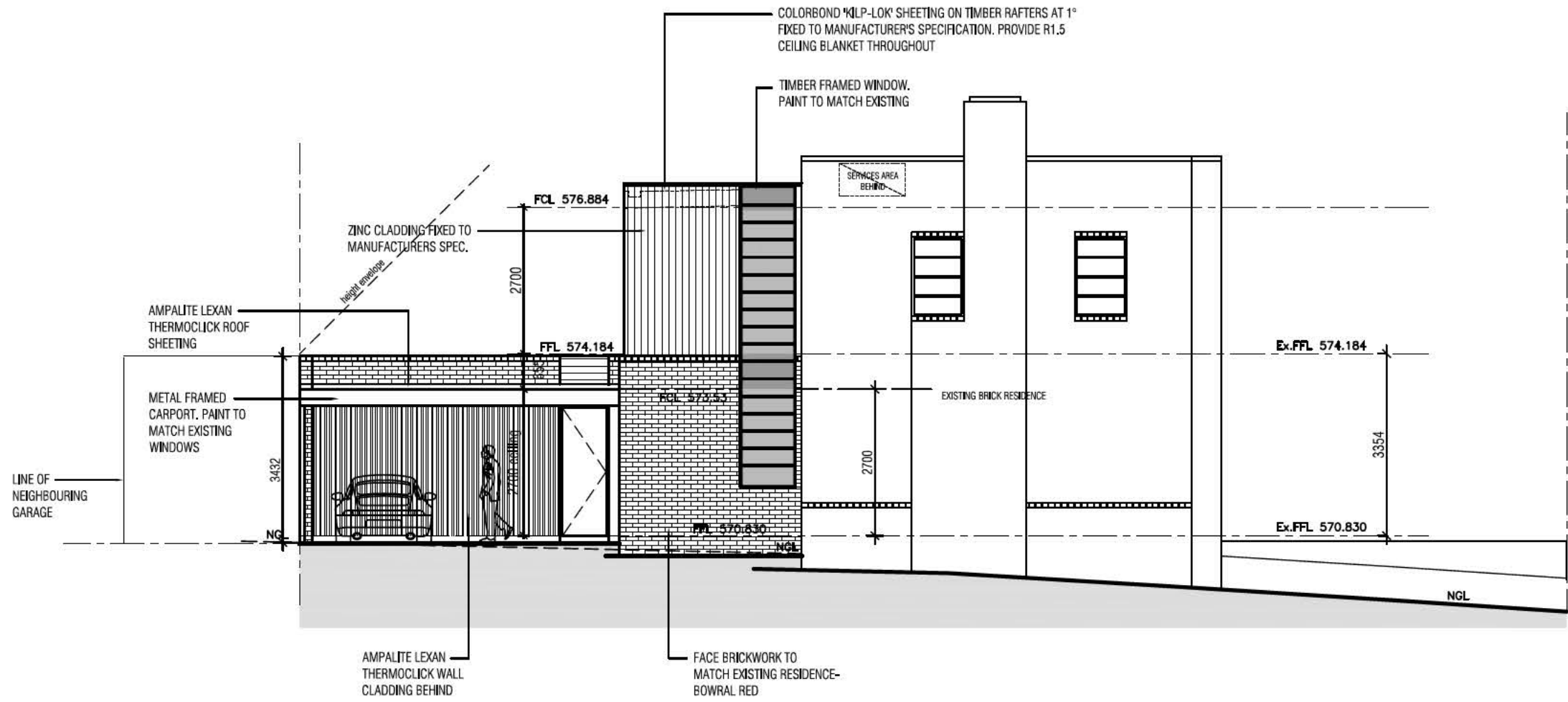
DEVELOPMENT APPROVAL

DRAWING No.

A07



NORTH EAST ELEVATION



SOUTH EAST ELEVATION

REVISION	DESCRIPTION	DATE
A	ISSUED FOR DA	17.7.15
B	RE-ISSUED FOR DA	27.7.15
C	DA ISSUE - HERITAGE CHANGES MADE	3.9.15
D	DA ISSUE - HERITAGE PLANTER BED ADDED TO CARPORT AND ROOF	24.9.15
E	SCREEN ADDED TO TERRACE	12.10.15

All dimensions must be verified on site by the contractor before the commencement of work or production of shop drawings. All dimensions are in millimeters unless otherwise stated. Do not scale of drawings.



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CLIENT
GEORGE

PROJECT
8/35F

BLOCK 8, SECTION 35
 FORREST ACT

PROJECT No.
BLK8SEC35 - FORREST

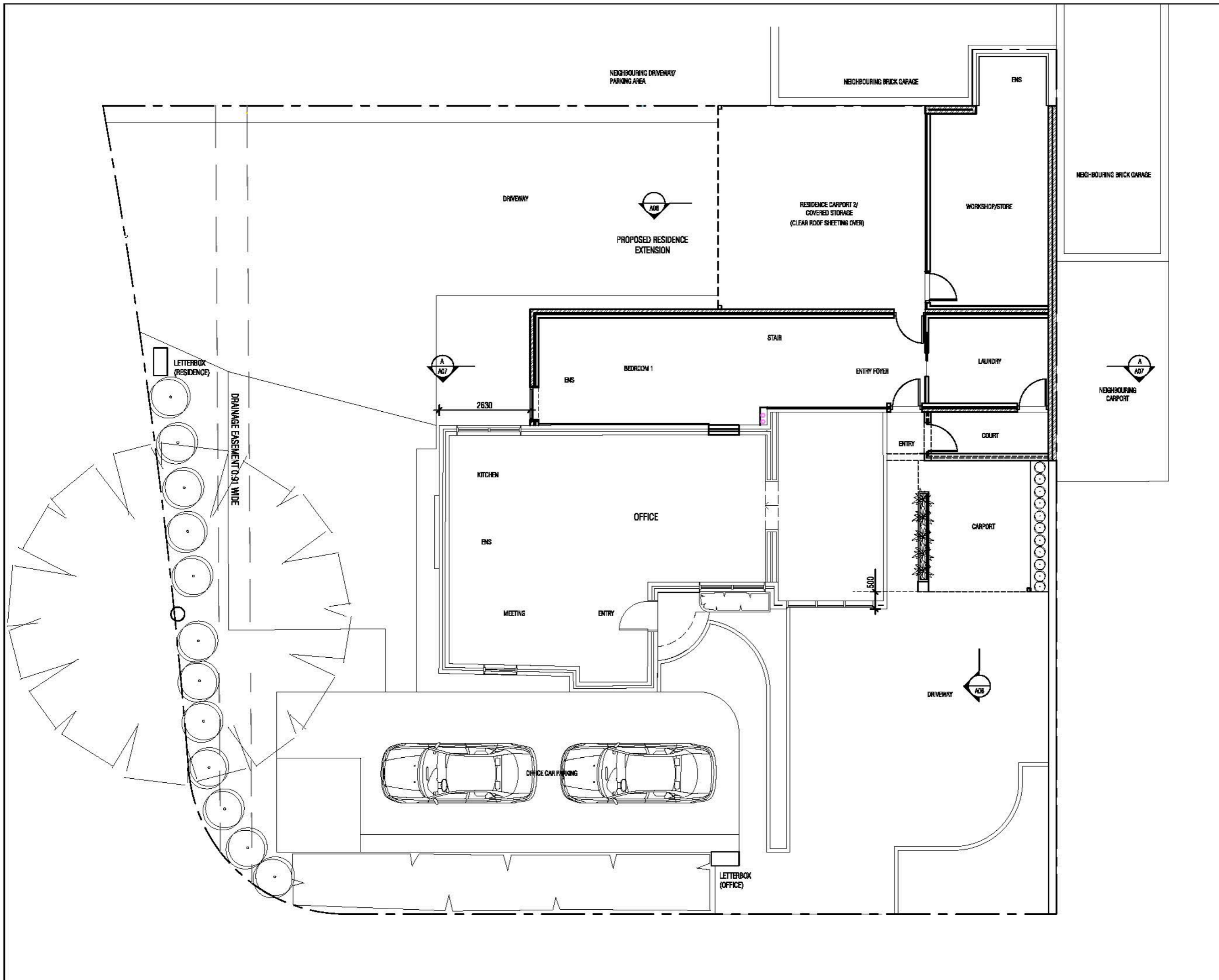
DRAWING
ELEVATIONS

DATE **12.10.15 (E)**
 SCALE **1:100 @ A3**
 DRAWN **DK**

DEVELOPMENT APPROVAL

DRAWING No.

A06



REVISION	DESCRIPTION	DATE
A	ISSUED FOR DA	17.7.15
B	RE-ISSUED FOR DA	27.7.15
C	DA ISSUE - HERITAGE CHANGES MADE	8.9.15
D	DA ISSUE - HERITAGE PLANTER BED ADDED TO CARPORT AND ROOF SCREEN ADDED TO TERRACE	22.9.15
E		12.10.15

All dimensions must be verified on site by the contractor before the commencement of work or production of shop drawings. All dimensions are in millimeters unless otherwise stated. Do not scale of drawings.



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CLIENT
GEORGE

PROJECT
8/35F

BLOCK 8, SECTION 35
 FORREST ACT
 PROJECT No.
BLK8SEC35 - FORREST

DRAWING
**PUBLIC NOTIFICATION
 PLAN - GROUND**

DATE 12.10.15 (E)
 SCALE 1:100 @ A3
 DRAWN DK

**DEVELOPMENT
 APPROVAL**

DRAWING No.

A13