

Certificate of Electrical Safety

Electricity Safety Act 1971 Section 6

Phone: (02) 6207 1923 Fax: (02) 6207 1925



Part 1: Customer Details

Name of customer: Sch 2 2.2(a)(ii) Phone: Sch 2 2.2(a)(ii)

Building no. _____ Floor/Level _____ Unit/Shop no. _____

Street address _____ Postcode _____

Suburb: FORREST Section _____ Block _____

Is a Certificate of Occupancy required? YES NO Building project no. _____

Part 2: Category (Please select one)

Residential Commercial

Part 3: Type of work (Please select one)

New (Installations where metered for the first time) Addition Alteration

Temporary supply Hazardous High voltage

Part 4: Installation (Please select one)

Normal Temporary supply Perm/Temp supply Street lights Traffic lights

Education Public lights House power Area lighting

Part 5: Work load details

Qty	Item	Qty	Load	Item	Qty	Load	Item
	Lights			Hot plates			Direct heating
	Ceiling fans			Walloven			Off peak heating
	Single socket-outlets			Walloven/Hot plates			Air conditioning
	Double socket-outlets			Range	1	18 kW	Air conditioning reverse cycle
	Multiple socket-outlets			Continuous hot water			Spa
	15A socket-outlets			Quick recovery hot water			Sauna
	20A socket-outlets			Off peak hot water			Pool heater
	Smoke detectors			Instantaneous hot water			Motors
	Exhaust fans			Tastics			Solar booster
	Safety switches			Street lights			
				3 phase socket-outlets			

Consumer mains _____ mm Main switchboard Distribution board

Main earth location _____ Earth bond location _____

Other load details: 6kW ELEMENTS ON A/C
(If insufficient space please attach list)

Part 6: Certification

To ACT Planning and Land Authority, I hereby notify that the installation work described in this notice has been tested in accordance with AS/NZS 3017 by the following persons and complies with AS/NZS 3000, SAA Wiring Rules. (The tester must sign this certification).

Work tested by:

Unrestricted Electrician: SIMON HICKS

COLA Licence no.: 200112281 Date tested: 1/1

Signature: _____

Employer (Electrical Contractor/Unrestricted Electrician if applicable)

Name of employer: _____

COLA Licence no.: _____

Telephone no.: _____

Office use only

E 20091571 INSPF

Handwritten: 23/4/10

Handwritten: 4.3.09 / 8-4-10 mm

Handwritten: Limited access to roof space.

Certificate of Electrical Safety - Submission confirmation

Your submission has been successful. Please keep a copy of this receipt for your records.

Date and time

10 Dec 2018 8:52:52 AM

Reference code

7XJLHF

Access Canberra
ABN 16 479 763 216

GPO Box 158
Canberra ACT 2601

13 22 81

Certificate of Electrical Safety



Customer Details

Organisation
 Name
 Contact number

Address of Work Site

Suburb/District Section Block Unit Floor or level
 Address

Work Details

Work tested by Expiry
 Name Contact
 Certificate of Occupancy required?
 Building project number Installation type
 Category & type of work

Item	QTY	Item	QTY	Load	Item	QTY	Load
Lights	<input type="text" value="102"/>	Hot plates	<input type="text" value=""/>	<input type="text" value=""/>	Direct heating	<input type="text" value=""/>	<input type="text" value=""/>
Ceiling fans	<input type="text" value=""/>	Range	<input type="text" value=""/>	<input type="text" value=""/>	Off peak heating	<input type="text" value=""/>	<input type="text" value=""/>
Single socket-outlets	<input type="text" value="11"/>	Wall oven	<input type="text" value=""/>	<input type="text" value=""/>	Air conditioning	<input type="text" value=""/>	<input type="text" value=""/>
Double socket-outlets	<input type="text" value="59"/>	Wall oven/hot plates	<input type="text" value="1"/>	<input type="text" value="28"/>	Air con reverse cycle	<input type="text" value=""/>	<input type="text" value=""/>
Multiple socket-outlets	<input type="text" value=""/>	Continuous hot water	<input type="text" value=""/>	<input type="text" value=""/>	Spa	<input type="text" value=""/>	<input type="text" value=""/>
15A socket-outlets	<input type="text" value=""/>	Quick recovery hot water	<input type="text" value=""/>	<input type="text" value=""/>	Sauna	<input type="text" value=""/>	<input type="text" value=""/>
20A socket-outlets	<input type="text" value=""/>	Off peak hot water	<input type="text" value=""/>	<input type="text" value=""/>	Pool heater	<input type="text" value=""/>	<input type="text" value=""/>
Smoke detectors	<input type="text" value="4"/>	Instantaneous hot water	<input type="text" value="2"/>	<input type="text" value="1"/>	Motors	<input type="text" value=""/>	<input type="text" value=""/>
Exhaust fans	<input type="text" value=""/>	Tastics	<input type="text" value=""/>	<input type="text" value=""/>	Renewable energy generation (PV)	<input type="text" value=""/>	<input type="text" value=""/>
Safety switches	<input type="text" value="22"/>	Street lights	<input type="text" value=""/>	<input type="text" value=""/>	Battery Storage	<input type="text" value=""/>	<input type="text" value=""/>
		3 phase socket-outlets	<input type="text" value=""/>	<input type="text" value=""/>			

Consumer mains Main switchboard Distribution board

Additional comments

Earth electrode location

Equipotential bond location

I hereby notify that the installation work described in this certificate has been tested in accordance with AS/NZS 3017 and that the work complies with AS/NZS 3000, SAA Wiring Rules; and that I will send a copy of the Certificate of Electrical Safety to the customer within fourteen days as required by the Electricity Safety Act 1971.

Date tested Submission date

Certificate of Electrical Safety - Submission confirmation

Your submission has been successful. Please keep a copy of this receipt for your records.

Date and time

22 Jan 2019 11:01:13 AM

Reference code

96TK95

Access Canberra
ABN 16 479 763 216

GPO Box 158
Canberra ACT 2601

13 22 81

Certificate of Electrical Safety



Customer Details

Organisation
 Name
 Contact number

Address of Work Site

Suburb/District	Section	Block	Unit	Floor or level
FORREST				

Address

Work Details

Work tested by Expiry
 Name Contact
 Certificate of Occupancy required?
 Building project number Installation type
 Category & type of work

Item	QTY	Item	QTY	Load	Item	QTY	Load
Lights	<input type="text"/>	Hot plates	<input type="text"/>	<input type="text"/>	Direct heating	<input type="text"/>	<input type="text"/>
Ceiling fans	<input type="text"/>	Range	<input type="text"/>	<input type="text"/>	Off peak heating	<input type="text"/>	<input type="text"/>
Single socket-outlets	<input type="text"/>	Wall oven	<input type="text"/>	<input type="text"/>	Air conditioning	<input type="text" value="1"/>	<input type="text" value="16"/>
Double socket-outlets	<input type="text"/>	Wall oven/hot plates	<input type="text"/>	<input type="text"/>	Air con reverse cycle	<input type="text" value="2"/>	<input type="text" value="16"/>
Multiple socket-outlets	<input type="text"/>	Continuous hot water	<input type="text"/>	<input type="text"/>	Spa	<input type="text"/>	<input type="text"/>
15A socket-outlets	<input type="text"/>	Quick recovery hot water	<input type="text"/>	<input type="text"/>	Sauna	<input type="text"/>	<input type="text"/>
20A socket-outlets	<input type="text"/>	Off peak hot water	<input type="text"/>	<input type="text"/>	Pool heater	<input type="text"/>	<input type="text"/>
Smoke detectors	<input type="text"/>	Instantaneous hot water	<input type="text"/>	<input type="text"/>	Motors	<input type="text"/>	<input type="text"/>
Exhaust fans	<input type="text"/>	Tastics	<input type="text"/>	<input type="text"/>	Renewable energy generation (PV)	<input type="text"/>	<input type="text"/>
Safety switches	<input type="text"/>	Street lights	<input type="text"/>	<input type="text"/>	Battery Storage	<input type="text"/>	<input type="text"/>
		3 phase socket-outlets	<input type="text"/>	<input type="text"/>			

Consumer mains Main switchboard Distribution board

Additional comments
 Earth electrode location
 Equipotential bond location

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Date tested Submission date

Certificate of Electrical Safety - Submission confirmation

Your submission has been successful. Please keep a copy of this receipt for your records.

Date and time

18 Dec 2018 8:20:38 PM

Reference code

YTTLH7

Access Canberra
ABN 16 479 763 216

GPO Box 158
Canberra ACT 2601

13 22 81

Certificate of Electrical Safety



Customer Details

Organisation
 Name
 Contact number

Address of Work Site

Suburb/District	Section	Block	Unit	Floor or level
FORREST				

Address

Work Details

Work tested by Expiry
 Name Contact
 Certificate of Occupancy required?
 Building project number Installation type
 Category & type of work Addition

Item	QTY	Item	QTY	Load	Item	QTY	Load
Lights	<input type="text"/>	Hot plates	<input type="text"/>	<input type="text"/>	Direct heating	<input type="text"/>	<input type="text"/>
Ceiling fans	<input type="text"/>	Range	<input type="text"/>	<input type="text"/>	Off peak heating	<input type="text"/>	<input type="text"/>
Single socket-outlets	<input type="text"/>	Wall oven	<input type="text"/>	<input type="text"/>	Air conditioning	<input type="text"/>	<input type="text"/>
Double socket-outlets	<input type="text"/>	Wall oven/hot plates	<input type="text"/>	<input type="text"/>	Air con reverse cycle	<input type="text"/>	<input type="text"/>
Multiple socket-outlets	<input type="text"/>	Continuous hot water	<input type="text"/>	<input type="text"/>	Spa	<input type="text"/>	<input type="text"/>
15A socket-outlets	<input type="text"/>	Quick recovery hot water	<input type="text"/>	<input type="text"/>	Sauna	<input type="text"/>	<input type="text"/>
20A socket-outlets	<input type="text"/>	Off peak hot water	<input type="text"/>	<input type="text"/>	Pool heater	<input type="text"/>	<input type="text"/>
Smoke detectors	<input type="text"/>	Instantaneous hot water	<input type="text"/>	<input type="text"/>	Motors	<input type="text"/>	<input type="text"/>
Exhaust fans	<input type="text"/>	Tastics	<input type="text"/>	<input type="text"/>	Renewable energy generation (PV)	<input type="text"/>	<input type="text"/>
Safety switches	<input type="text"/>	Street lights	<input type="text"/>	<input type="text"/>	Battery Storage	<input type="text"/>	<input type="text"/>
		3 phase socket-outlets	<input type="text"/>	<input type="text"/>			

Consumer mains Main switchboard Distribution board

Additional comments

Earth electrode location

Equipotential bond location

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Date tested Submission date

Certificate of Electrical Safety - Submission confirmation

Your submission has been successful. Please keep a copy of this receipt for your records.

Date and time

19 Sep 2017 8:46:39 AM

Reference code

K8G8ZY

Access Canberra
ABN 16 479 763 216

GPO Box 158
Canberra ACT 2601

13 22 81

Certificate of Electrical Safety



Customer Details

Organisation
 Name
 Contact number

Address of Work Site

Suburb/District Section Block Unit Floor or level
 Address

Work Details

Work tested by Expiry
 Name Contact
 Certificate of Occupancy required?
 Installation type
 Category & type of work

Item	QTY	Item	QTY	Load	Item	QTY	Load
Lights	<input type="text"/>	Hot plates	<input type="text"/>	<input type="text"/>	Direct heating	<input type="text"/>	<input type="text"/>
Ceiling fans	<input type="text"/>	Range	<input type="text"/>	<input type="text"/>	Off peak heating	<input type="text"/>	<input type="text"/>
Single socket-outlets	<input type="text"/>	Wall oven	<input type="text"/>	<input type="text"/>	Air conditioning	<input type="text"/>	<input type="text"/>
Double socket-outlets	<input type="text" value="1"/>	Wall oven/hot plates	<input type="text"/>	<input type="text"/>	Air con reverse cycle	<input type="text"/>	<input type="text"/>
Multiple socket-outlets	<input type="text"/>	Continuous hot water	<input type="text"/>	<input type="text"/>	Spa	<input type="text"/>	<input type="text"/>
15A socket-outlets	<input type="text"/>	Quick recovery hot water	<input type="text"/>	<input type="text"/>	Sauna	<input type="text"/>	<input type="text"/>
20A socket-outlets	<input type="text"/>	Off peak hot water	<input type="text"/>	<input type="text"/>	Pool heater	<input type="text"/>	<input type="text"/>
Smoke detectors	<input type="text"/>	Instantaneous hot water	<input type="text"/>	<input type="text"/>	Motors	<input type="text"/>	<input type="text"/>
Exhaust fans	<input type="text"/>	Tastics	<input type="text"/>	<input type="text"/>	Renewable energy generation (PV)	<input type="text"/>	<input type="text"/>
Safety switches	<input type="text" value="1"/>	Street lights	<input type="text"/>	<input type="text"/>	Battery Storage	<input type="text"/>	<input type="text"/>
		3 phase socket-outlets	<input type="text"/>	<input type="text"/>			

Consumer mains Main switchboard Distribution board

Additional comments
 Earth electrode location
 Equipotential bond location

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Date tested Submission date

Certificate of Electrical Safety - Submission confirmation

Your submission has been successful. Please keep a copy of this receipt for your records.

Date and time

03 Dec 2018 8:50:07 PM

Reference code

P6PH6S

Access Canberra
ABN 16 479 763 216

GPO Box 158
Canberra ACT 2601

13 22 81

Certificate of Electrical Safety



Customer Details

Organisation
 Name
 Contact number

Address of Work Site

Suburb/District Section Block Unit Floor or level
 Address

Work Details

Work tested by Expiry
 Name Contact
 Certificate of Occupancy required?
 Installation type
 Category & type of work

Item	QTY	Item	QTY	Load	Item	QTY	Load
Lights	<input type="text"/>	Hot plates	<input type="text"/>	<input type="text"/>	Direct heating	<input type="text"/>	<input type="text"/>
Ceiling fans	<input type="text"/>	Range	<input type="text"/>	<input type="text"/>	Off peak heating	<input type="text"/>	<input type="text"/>
Single socket-outlets	<input type="text"/>	Wall oven	<input type="text"/>	<input type="text"/>	Air conditioning	<input type="text"/>	<input type="text"/>
Double socket-outlets	<input type="text" value="1"/>	Wall oven/hot plates	<input type="text"/>	<input type="text"/>	Air con reverse cycle	<input type="text"/>	<input type="text"/>
Multiple socket-outlets	<input type="text"/>	Continuous hot water	<input type="text"/>	<input type="text"/>	Spa	<input type="text"/>	<input type="text"/>
15A socket-outlets	<input type="text"/>	Quick recovery hot water	<input type="text"/>	<input type="text"/>	Sauna	<input type="text"/>	<input type="text"/>
20A socket-outlets	<input type="text"/>	Off peak hot water	<input type="text"/>	<input type="text"/>	Pool heater	<input type="text"/>	<input type="text"/>
Smoke detectors	<input type="text"/>	Instantaneous hot water	<input type="text"/>	<input type="text"/>	Motors	<input type="text"/>	<input type="text"/>
Exhaust fans	<input type="text"/>	Tastics	<input type="text"/>	<input type="text"/>	Renewable energy generation (PV)	<input type="text"/>	<input type="text"/>
Safety switches	<input type="text" value="1"/>	Street lights	<input type="text"/>	<input type="text"/>	Battery Storage	<input type="text"/>	<input type="text"/>
		3 phase socket-outlets	<input type="text"/>	<input type="text"/>			

Consumer mains Main switchboard Distribution board

Additional comments
 Earth electrode location
 Equipotential bond location

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Date tested Submission date



Certificate of Electrical Safety - Tax receipt

This transaction will appear on your credit card statement as ACCESS CANB INTERNET.

Date and time	Reference code	Payment receipt number	Total amount paid
22 Jan 2019 7:31:17 AM	R64WDP	2349480587	\$28.00

Access Canberra
ABN 16 479 763 216

GPO Box 158
Canberra ACT 2601

13 22 81

Certificate of Electrical Safety



Customer Details

Name

Contact number

Address of Work Site

Suburb/District	Section	Block	Unit	Floor or level
FORREST				

Address

Work Details

Work tested by

Expiry

Name

Contact

Certificate of Occupancy required?

Installation type

Category & type of work

Item	QTY	Item	QTY	Load	Item	QTY	Load
Lights	<input type="text"/>	Hot plates	<input type="text"/>	<input type="text"/>	Direct heating	<input type="text"/>	<input type="text"/>
Ceiling fans	<input type="text"/>	Range	<input type="text"/>	<input type="text"/>	Off peak heating	<input type="text"/>	<input type="text"/>
Single socket-outlets	<input type="text"/>	Wall oven	<input type="text"/>	<input type="text"/>	Air conditioning	<input type="text"/>	<input type="text"/>
Double socket-outlets	<input type="text"/>	Wall oven/hot plates	<input type="text"/>	<input type="text"/>	Air con reverse cycle	<input type="text"/>	<input type="text"/>
Multiple socket-outlets	<input type="text"/>	Continuous hot water	<input type="text"/>	<input type="text"/>	Spa	<input type="text"/>	<input type="text"/>
15A socket-outlets	<input type="text"/>	Quick recovery hot water	<input type="text"/>	<input type="text"/>	Sauna	<input type="text"/>	<input type="text"/>
20A socket-outlets	<input type="text"/>	Off peak hot water	<input type="text"/>	<input type="text"/>	Pool heater	<input type="text"/>	<input type="text"/>
Smoke detectors	<input type="text"/>	Instantaneous hot water	<input type="text"/>	<input type="text"/>	Motors	<input type="text"/>	<input type="text"/>
Exhaust fans	<input type="text"/>	Tastics	<input type="text"/>	<input type="text"/>	Renewable energy generation (PV)	<input type="text"/>	<input type="text"/>
Safety switches	<input type="text"/>	Street lights	<input type="text"/>	<input type="text"/>	Battery Storage	<input type="text"/>	<input type="text"/>
		3 phase socket-outlets	<input type="text"/>	<input type="text"/>			

Consumer mains Main switchboard Distribution board

Earth electrode location

Equipotential bond location

I hereby notify that the installation work described in this certificate has been tested in accordance with AS/NZS 3017 and that the work complies with AS/NZS 3000, SAA Wiring Rules; and that I will send a copy of the Certificate of Electrical Safety to the customer within fourteen days as required by the Electricity Safety Act 1971.

Date tested

Submission date

Certificate of Electrical Safety - Submission confirmation

Your submission has been successful. Please keep a copy of this receipt for your records.

Date and time

12 Feb 2019 12:28:24 PM

Reference code

XKPJZF

Access Canberra
ABN 16 479 763 216

GPO Box 158
Canberra ACT 2601

13 22 81

Certificate of Electrical Safety



Customer Details

Name

Contact number

Address of Work Site

Suburb/District	Section	Block	Unit	Floor or level
FORREST				

Address

Work Details

Work tested by

Expiry

Name

Contact

Licensed Electrical Contractor

Licence number

Expiry date

Certificate of Occupancy required?

Installation type

Category & type of work

Item	QTY	Item	QTY	Load	Item	QTY	Load
Lights	<input type="text"/>	Hot plates	<input type="text"/>	<input type="text"/>	Direct heating	<input type="text"/>	<input type="text"/>
Ceiling fans	<input type="text"/>	Range	<input type="text"/>	<input type="text"/>	Off peak heating	<input type="text"/>	<input type="text"/>
Single socket-outlets	<input type="text"/>	Wall oven	<input type="text"/>	<input type="text"/>	Air conditioning	<input type="text"/>	<input type="text"/>
Double socket-outlets	<input type="text"/>	Wall oven/hot plates	<input type="text"/>	<input type="text"/>	Air con reverse cycle	<input type="text"/>	<input type="text"/>
Multiple socket-outlets	<input type="text"/>	Continuous hot water	<input type="text"/>	<input type="text"/>	Spa	<input type="text"/>	<input type="text"/>
15A socket-outlets	<input type="text"/>	Quick recovery hot water	<input type="text"/>	<input type="text"/>	Sauna	<input type="text"/>	<input type="text"/>
20A socket-outlets	<input type="text"/>	Off peak hot water	<input type="text"/>	<input type="text"/>	Pool heater	<input type="text"/>	<input type="text"/>
Smoke detectors	<input type="text"/>	Instantaneous hot water	<input type="text"/>	<input type="text"/>	Motors	<input type="text"/>	<input type="text"/>
Exhaust fans	<input type="text"/>	Tastics	<input type="text"/>	<input type="text"/>	Renewable energy generation (PV)	<input type="text" value="1"/>	<input type="text" value="7.59"/>
Safety switches	<input type="text"/>	Street lights	<input type="text"/>	<input type="text"/>	Battery Storage	<input type="text" value="1"/>	<input type="text" value="10"/>
		3 phase socket-outlets	<input type="text"/>	<input type="text"/>			

Consumer mains Main switchboard Distribution board

Earth electrode location

Equipotential bond location

I hereby notify that the installation work described in this certificate has been tested in accordance with AS/NZS 3017 and that the work complies with AS/NZS 3000, SAA Wiring Rules; and that I will send a copy of the Certificate of Electrical Safety to the customer within fourteen days as required by the Electricity Safety Act 1971.

Date tested

Submission date

Plumbing, Drainage and Gas Minor Works - Submission confirmation

Your submission has been successful. Please keep a copy of this receipt for your records.

Date and time

27 Feb 2019 11:38:19 AM

Reference code

FCWRVL

Access Canberra
ABN 16 479 763 216

GPO Box 158
Canberra ACT 2601

Phone: 13 22 81

Hydraulic certificate of compliance

Property details

Work notice number **019764**

Suburb/District

FORREST

Section

Block

Address

Building project no

Licencee's details

Licence number **2015461**

Expiry date **05/08/2021**

Given name **Kalvin**

Family name **Hicks**

Contact phone number **0260247188**

Email **sales@hickshydraulics.com**

Work details

Minor work type **Gas installation**

Work undertaken **Alter**

Date work took place **2019-02-14**

Appliances

Bayonet (external)

Ducted heater (internal)

Pool/Spa heater

Bayonet (internal)

Hydronic Boiler **1**

Space heater (flued)

Cooker

HWS Continuous (external)

Space heater (flueless)

Cook-top

HWS Continuous (internal)

Wall furnace

Decorative log fire

HWS Storage (external)

Wall oven

Ducted heater (external)

HWS Storage (internal)

Description of work **Installed Hydronic In-Floor Heating pipework connected to a Gas Condensing Boiler.**

Owner/client name **Darren Robertson**

Date **27/02/2019**

In respect to authorised work carried out by me (the Licensee) at the above property, I certify that:

- The work that has been completed is in accordance with the relevant Act, *Water and Sewerage Act 2000*, *Gas Safety Act 2000*
- The completed installation has been tested and meets the requirements of the *Water and Sewerage Act 2000* and *Gas Safety Act 2000*
- The work complies with relevant Australian Standards AS/NZS 3500, AS 5601, AS 1596 and AS 3814
- The gas appliances have been tested and operates in accordance with the manufacturer's instruction; and
- A compliance indicator has been attached (if required) and the system including the appliance/s is safe to use and complies with the gas legislation.

Sanitary Drainage Plans: Residential Receipt/Tax invoice

This transaction will appear on your credit card statement as ACCESS CANB INTERNET.

Date and time

19 Jan 2017 1:52:00 PM

Reference code

FHPY77

Payment receipt number

1871758826

Quantity	Description of service	Unit value	GST	Total
1	Sanitary Drainage Plans: Residential FORREST 23	\$20.91	\$2.09	\$23.00
			Total amount paid	\$23.00
			Total amount includes GST of	\$2.09

Environment and Planning Directorate
ABN 68 367 113 536

GPO Box 158
Canberra ACT 2601

Telephone: 02 6207 1923

Property details

Suburb/District *

FORREST

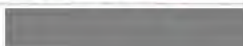
Section *



Block *



Address line 1 *



Suburb

FORREST

State

ACT

Postcode

2603

Requestor details

Title

Sch 2 2.2(a)(ii)

Given name *

Sch 2 2.2(a)(ii)

Family name *

Sch 2 2.2(a)(ii)

Contact phone number *

Sch 2 2.2(a)(ii)

Email address *

Sch 2 2.2(a)(ii)



ACT
Government

Plumbing and/or Drainage Work Licensee's Certificate of Compliance

The applicant must provide all relevant information in BLOCK LETTERS

Draining Plan No

Notice No.
122359

Block	Section	Building Approval No
<input type="text"/>	<input type="text"/>	<input type="text"/>

Street Address	Suburb	Postcode
<input type="text"/>	Forrest	<input type="text"/>

OWNER DETAILS	Surname	Title/First Name	Phone No
	Sch 2 2.2(a)(ii)	<input type="text"/>	<input type="text"/>
Street Address		Suburb	Postcode
<input type="text"/>		<input type="text"/>	<input type="text"/>

BUILDER	Surname	Title/First Name	Mobile Number	Phone No
	Preferred Builders	<input type="text"/>	<input type="text"/>	02811181

LICENSEE DETAILS	Surname	Title/First Name	Phone No
	Royal	Joshua Ian	Sch 2 2.2(a)(ii)
	Street Address	Suburb	Postcode
	Sch 2 2.2(a)(ii)	Sch 2 2.2(a)(ii)	2605
Licence Number	Expiry Date	Signature of Licensee	Date
199815841	20/7/18	Sch 2 2.2(a)(ii)	13/12/17

WORK OF SANITARY PLUMBING/DRAINAGE/IRRIGATION/WATER

Description of work

Plumbing + Drainage to house.
Extensions + Renos

PLUMBING/WATER/DRAINAGE INSPECTION FEE

Plumbing	Drainage	Water	Extra Fixtures	Total Fixtures	Total Amount
<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>
Meter Size	Meter Number	Date of Plan Recorded	Name of Authorising Officer		
<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>		

OFFICE USE ONLY - Inspection Details

Name of Plan Certifier Plan Certified

The work shown on drainage plan No inspected on has been installed and complies with the ACT Water and Sewerage Act 2000 and Water and Sewerage Regulation 2001.

Drainage plan received Plumbing Certification received Drainage Certification received Other Certification or commissioning

I certify that all required Plumbing and Drainage Certification has been received and completed.

Signed Date

Access Canberra

Ground Floor, Mitchell Business Centre, 8 Darling Street, MITCHELL
GPO Box 1908, Canberra ACT 2601. Telephone: (02) 6207 6907. Email: drainageplans@act.gov.au Web Site: www.accesscanberra.act.gov.au

Distribution: White - Office, Pink - Owner, Yellow - Office, Green - Licensee

Hydraulic Start of Work Notice - Submission confirmation

Your submission has been successful. Please keep a copy of this receipt for your records.

Date and time

12 Feb 2018 12:24:27 PM

Reference code

WDC8XM

Access Canberra
ABN 16 479 763 216

GPO Box 158
Canberra ACT 2601

Phone: 13 22 81



ACT
Government

Commencement Notice for Plumbing and/or Drainage Work

Licensee's Certificate of Compliance

Block <input type="text"/>	Section <input type="text"/>	Suburb <input type="text"/>	Building project number B20173707	Permit number 9099816
Street address FORREST, ACT, 2603				

Owner details

Full name/organisation <input type="text"/>	Phone number <input type="text"/>
--	--------------------------------------

Builder details

Full name Paul Kerr	Phone number 0262811181
Organisation <input type="text"/>	Preferred builders <input type="text"/>

Licensee details

Full name/organisation Kalvin Hicks	Phone number Sch 2 2.2(a)(ii)	Email sales@hickshydraulics.com
Licence number 2015461	Expiry date 04-08-2018	

Work of sanitary plumbing/drainage/irrigation/water

Description of work
Install Hydronic infloor heating in alfresco area

Plumbing/water/drainage inspection fee

Plumbing	Drainage	Irrigation	Extra fixtures	Total fixtures	Total amount	Date	Authorising officer
\$0.00	<input type="text"/>	<input type="text"/>	0	\$0.00	\$0.00	12 Feb 2018	<input type="text"/>

OFFICE USE ONLY – Inspection Details

Name of Plan Certifier <input type="text"/>	Plan certified <input type="text"/>
--	--

The work shown on 'drainage plan' No..... inspected on/....../..... has been installed and complies with the ACT Water and Sewerage Act 2000 and Water and Sewerage Regulation 2001

Drainage plan received Plumbing Certification received Drainage Certification received Other Certification

I certify that all required Plumbing and Drainage Certification has been received and completed.

Signed <input type="text"/>	Date <input type="text"/>
--------------------------------	------------------------------



ACT
Government

Licensee's Certificate of Compliance

Block <input type="text"/>	Section <input type="text"/>	Suburb FORREST	Building project number B20173707	Permit number 9099816
-------------------------------	---------------------------------	-------------------	--------------------------------------	--------------------------

Street address

Owner details

Full name/organisation <input type="text"/>	Phone number <input type="text"/>
--	--------------------------------------

Builder details

Full name Paul Kerr	Phone number 0262811181
Organisation <input type="text"/>	
Preferred builders <input type="text"/>	

Licensee details

Full name/organisation Kalvin Hicks	Phone number Sch 2 2.2(a)(ii)
Email <input type="text"/>	
Licence number 2015461	Expiry date 04-08-2018

Work of sanitary plumbing/drainage/irrigation/water

Description of work

Plumbing/water/drainage inspection fee

Plumbing	Drainage	Irrigation	Extra fixtures	Total fixtures	Total amount
\$0.00	<input type="text"/>	<input type="text"/>	0	\$0.00	\$0.00

Meter size <input type="text"/>	Meter number <input type="text"/>	Date of plan recorded <input type="text"/>	Name of the authorising <input type="text"/>
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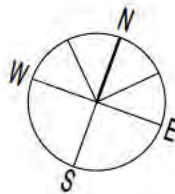
- In respect of authorised work carried out by me at the above mentioned property, I certify that:
 - The work has been completed in accordance with the permit issued by Access Canberra;
 - The completed work has been tested as required by Access Canberra;
 - The work complies with the relevant codes, standards and regulations under the ACT Water and Sewerage Act 2000 as determined by Access Canberra.
- If any defect is found in the work carried out by me within the period of twelve (12) months from the date of completion, and the inspector for plumbing and drainage certifies that the defect is due to non-compliance with the codes and standards as determined by Access Canberra then I undertake to rectify such work at my sole expense if so directed by Access Canberra.

Signature of licensee <input type="text"/>	Date <input type="text"/>
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PROPOSED SITE PLAN


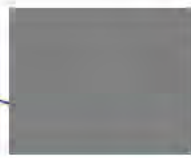
SCALE 1:200
 SITE AREA 1316.5m²
 EXISTING (RETAINED) HOUSE AREA - 138m²
 PROPOSED EXTENSION AREA - 188m²
 CARPORT AREA - 36m²
 TOTAL 362m² (362m² ALLOWABLE 27%)
 PROPOSED PLOT RATIO - 27.5%
 LANDSCAPE AREA - 771m² (58.5%)
 MINIMUM REQUIRED 526.6m² (40%)
 FRONT PORCH & PATHWAYS - 41m²
 DRIVEWAY AREA - 82.5m²
 STUDIO PAVED AREA - 7.5m²
 REAR TERRACE AREA - 53m²
 TOTAL HOUSE & CARPORT AREA - 361.5m²
 TOTAL NOM-LANDSCAPED AREA - 545.5m²

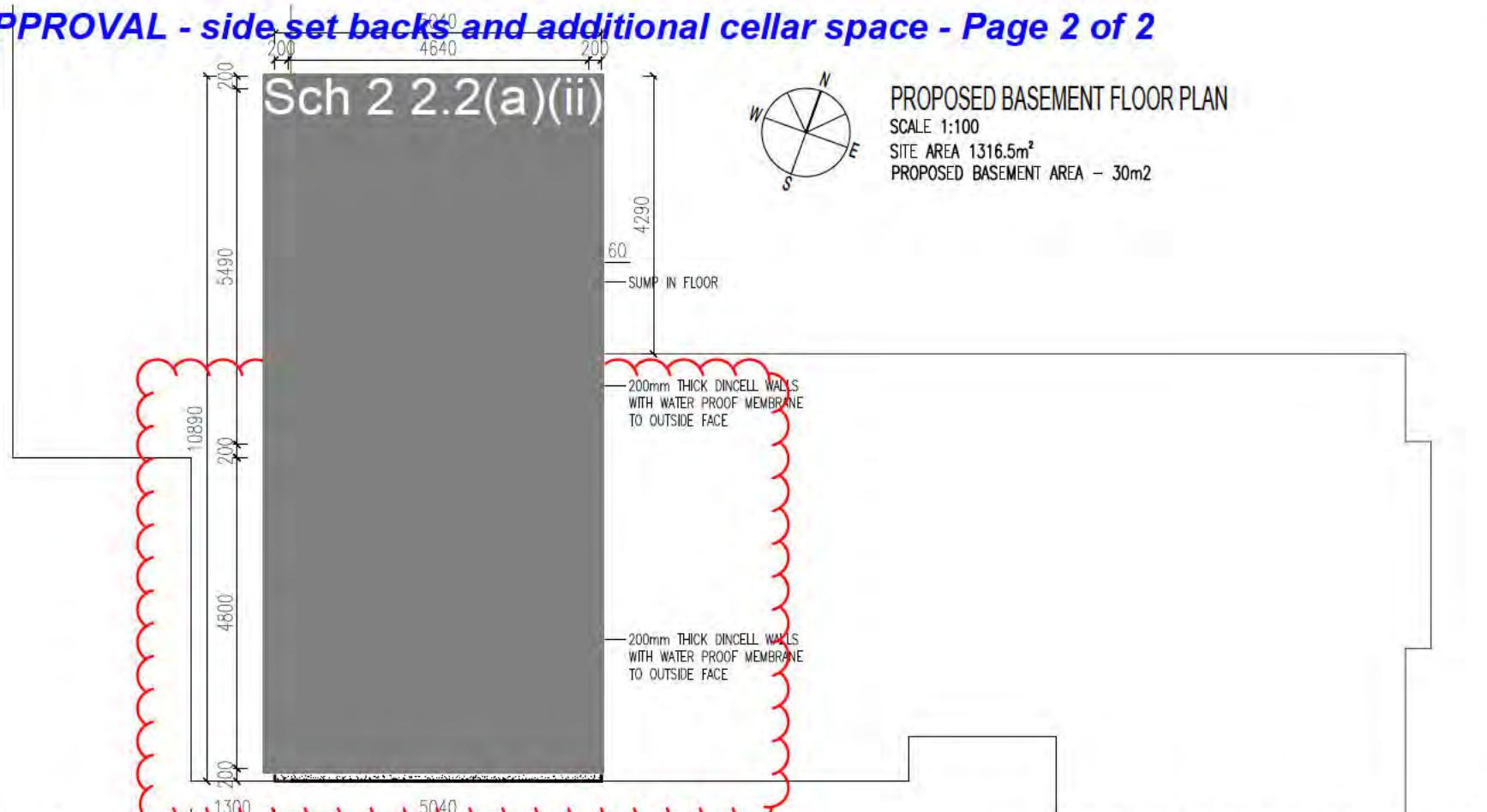


AMENDED BUILDING APPROVAL
 Issued under S32 of the Building Act
 2004

Adam Davidson
 COLA Lic No. 2010141
 Amended building approval in respect
 to change in side set backs and cellar

Issue Date: 14/02/2019
 NCC Occupancy Class: 1a & 10a
 NCC Construction Type: n/a

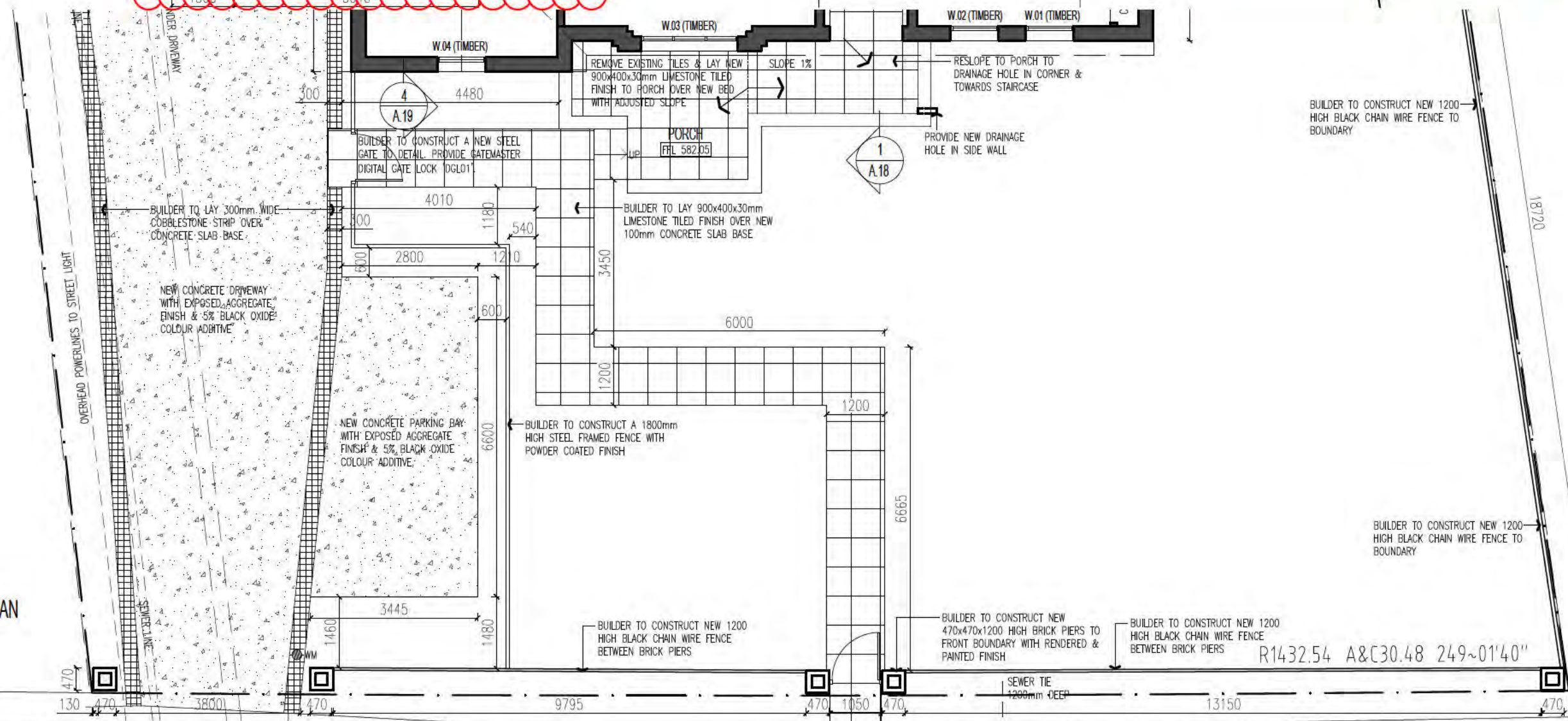





AMENDED BUILDING APPROVAL
 Issued under S32 of the Building Act
 2004

Adam Davidson
 COLA Lic No. 2010141
 Amended building approval in respect
 to change in side set backs and cellar

Issue Date: 14/02/2019
 NCC Occupancy Class: 1a & 10a
 NCC Construction Type: n/a




PROPOSED FRONT LANDSCAPE PLAN
 SCALE 1:100

BUILDING APPROVAL
 Issued under S28 of the Building Act 2004

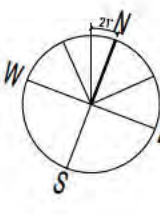
Adam Davidson
 License No. 2010141

Alterations and additions including carport

Issue Date 6/09/2017
 NCC Occupancy Class 1a&10a
 NCC Construction Type n/a




EXISTING SITE PLAN
 SCALE: 1:200
 SITE AREA: 1316.5m²
 EXISTING FLOOR AREA: 153.3m²
 GARAGE: 39m²
 TOTAL: 192.3m²





BUILDING APPROVAL
 Issued under S28 of the Building Act 2004

Adam Davidson
 License No. 2010141

Alterations and additions including carport

Issue Date 6/09/2017
 NCC Occupancy Class 1a&10a
 NCC Construction Type n/a

DEMOLISH EXISTING BRICK GARAGE & STORE ROOM

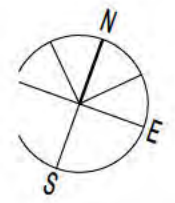
STORMWATER MANHOLE

Sch 2 2.2(a)(ii)

CONCRETE DRIVEWAY
 FFL 581.90

332~4'20" 44.605

150~43'20" 44.665



EXISTING FLOOR PLAN
 SCALE 1:100
 SITE AREA 1316.5m²
 EXISTING FLOOR AREA - 153.3m²
 EXISTING SHED AREA - 39m²
 TOTAL 192.3m²

PORCH
 FFL 582.05



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 MOB 0410 123 410 paul@plarchitects.com.au
 6/25 BENTHAM ST YARRALUMLA ACT 2600

DRAWING TITLE
 Sch 2 2.2(a)(ii)

STREET ADDRESS
 FORREST ACT

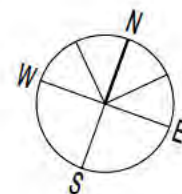
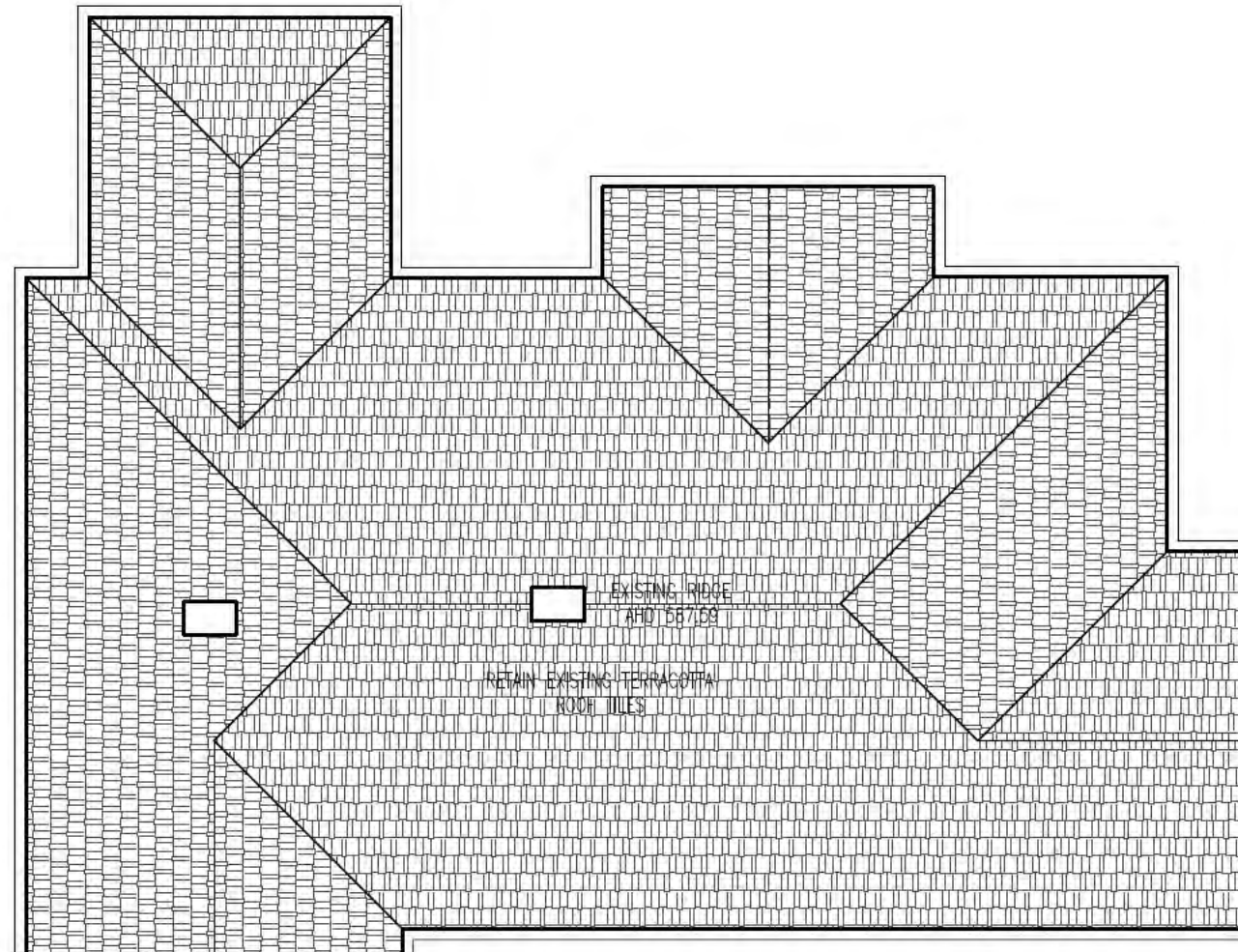
BLOCK/SECTION
 FORREST ACT

CLIENT
 Sch 2 2.2(a)(ii)

DATE
 30.08.17

SCALE
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DRAWING NO
 A.04



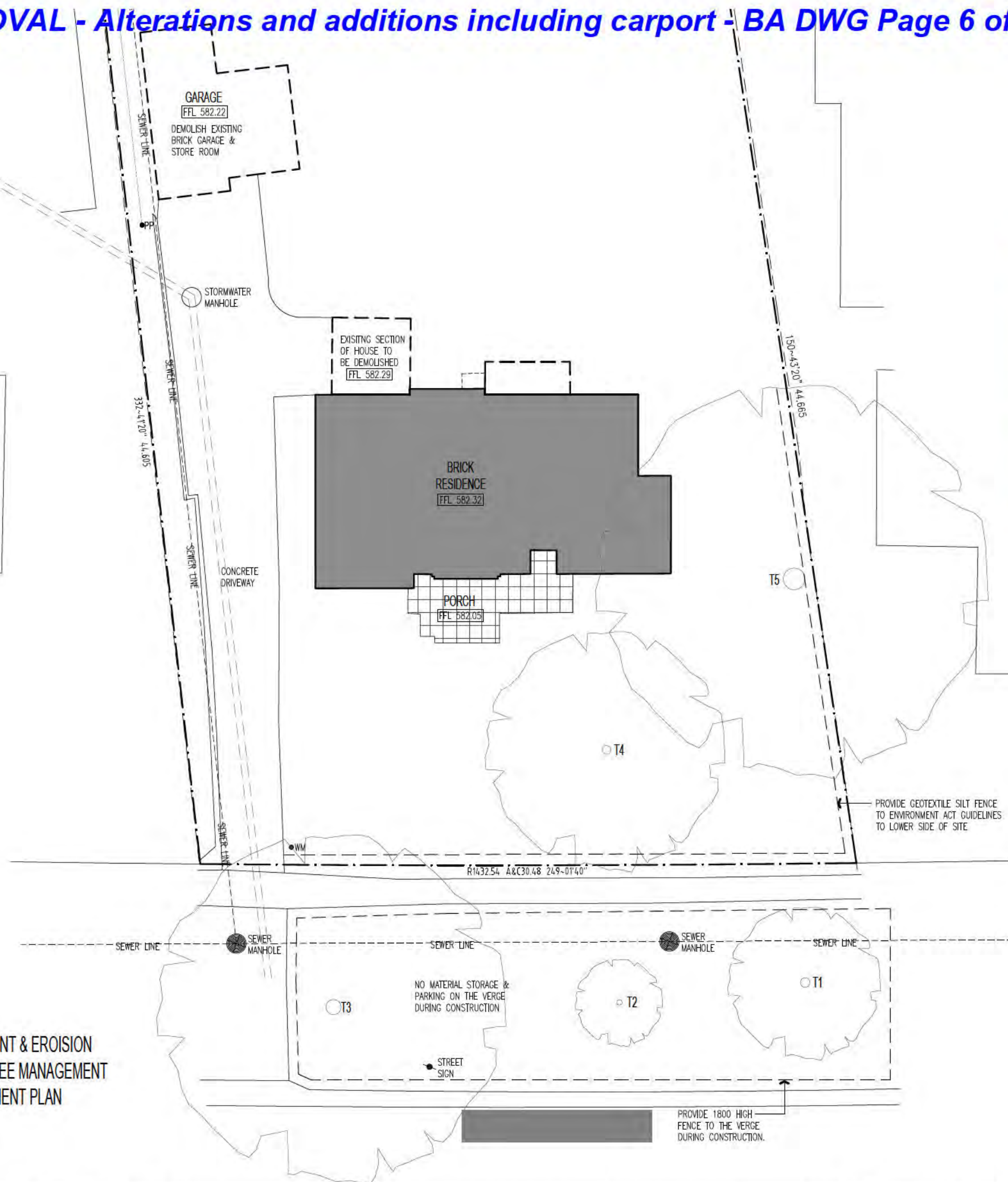
EXISTING ROOF PLAN
SCALE 1:100

BUILDING APPROVAL
Issued under S28 of the Building Act 2004

Adam Davidson
License No. 2010141

Alterations and additions including carport

Issue Date 6/09/2017
NCC Occupancy Class 1a&10a
NCC Construction Type n/a

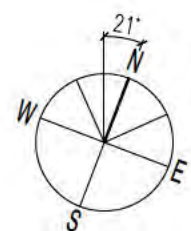


BUILDING APPROVAL
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Adam Davidson
 License No. 2010141

Alterations and additions including carport

Issue Date 6/09/2017
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 NCC Construction Type n/a



PROPOSED SEDIMENT & EROSION CONTROL PLAN, TREE MANAGEMENT & VERGE MANAGEMENT PLAN
 SCALE: 1:200
 SITE AREA: 1316.5m²

DEMOLITION NOTES

UTILITIES

- ALL NETWORK INFRASTRUCTURE ON OR IMMEDIATELY ADJACENT THE SITE HAS BEEN IDENTIFIED ON THE UTILITIES PLAN
- ALL POTENTIALLY DANGEROUS SUBSTANCES AND CONDITIONS (ASSOCIATED WITH OR RESULTING FROM THE DEMOLITION PROCESS) THAT MAY CONSTITUTE A RISK TO UTILITY SERVICES HAVE BEEN IDENTIFIED
- ALL REQUIRED NETWORK DISCONNECTIONS HAVE BEEN IDENTIFIED AND THE DISCONNECTION WORKS COMPLY WITH UTILITY REQUIREMENTS
- ALL WORKS ASSOCIATED WITH THE DEMOLITION COMPLY WITH AND ARE TO BE IN ACCORDANCE WITH UTILITY ASSET ACCESS AND PROTECTION REQUIREMENTS.
- DISCONNECT AND CAP ALL SERVICES TO UTILITY REQUIREMENTS 3.0m FROM THE TIE POINT.
- MAINTAIN EXISTING STORMWATER TIES.

DEMOLITION PROCEDURE

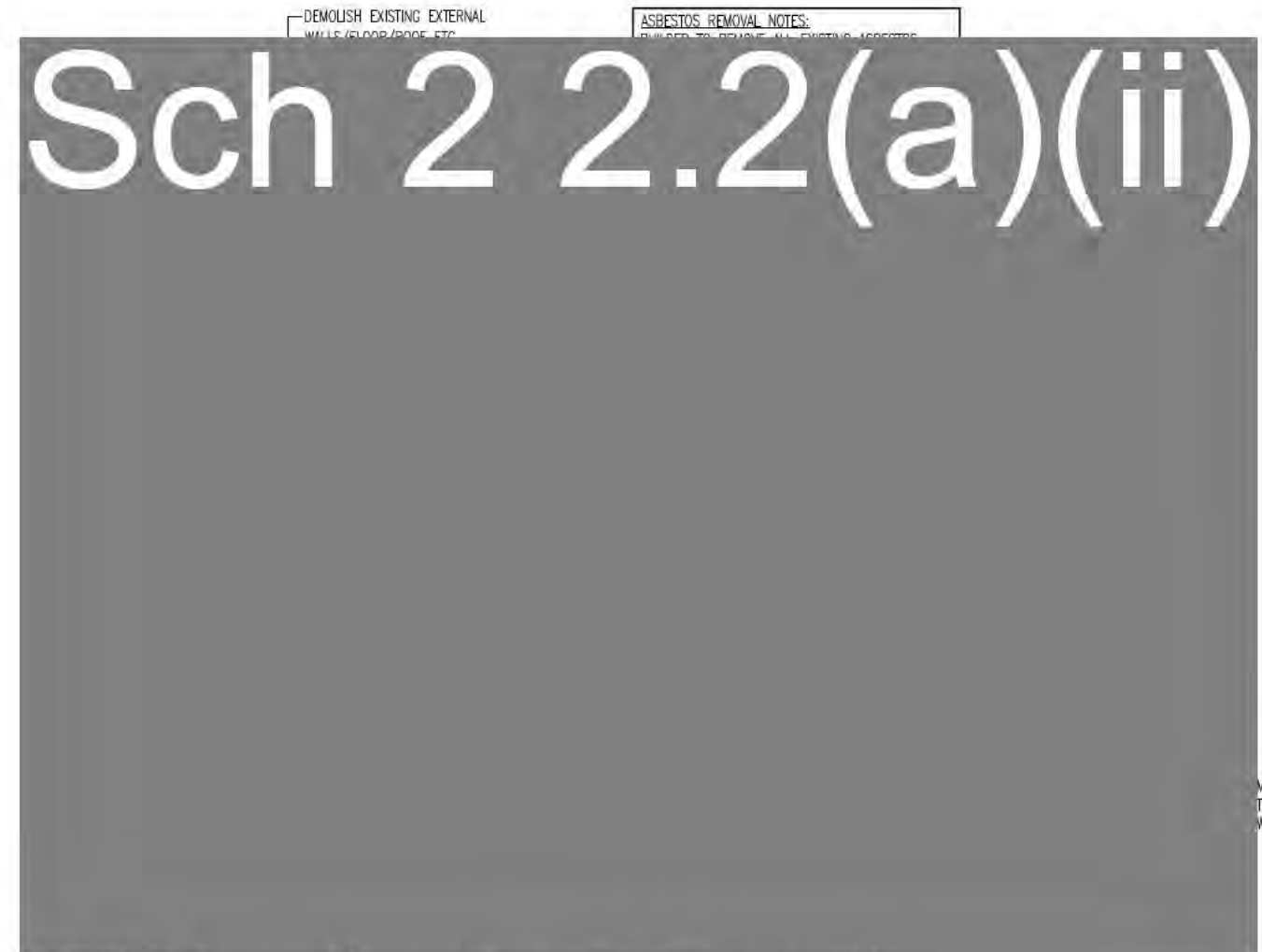
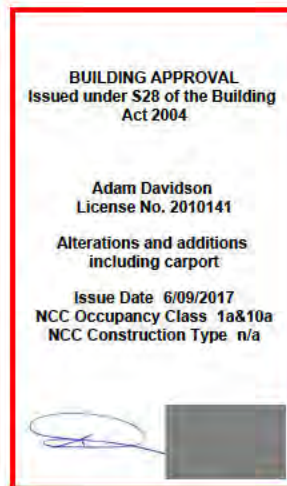
- ASBESTOS FIBRE SHEETING & ANY OTHER ASBESTOS MATERIAL TO BE IDENTIFIED AND REMOVED BY A LICENSED CONTRACTOR PRIOR TO DEMOLITION.
- DISMANTLE ROOF TRUSSES AND TIMBER FRAMING AND BEAMS FOR SALVAGE AND REUSE WHERE POSSIBLE.
- REMOVE GLASS AND WINDOWS FOR REUSE
- BRICKS TO BE CLEANED & STACKED FOR REUSED ONSITE & ANY UNUSED BRICKS AT END OF JOB TO BE RECYCLED OR CRUSHED AND RECYCLED
- RECYCLE GYPROCK SHEETING
- CONCRETE (SLABS, VERANDAHs, PATHS, DRIVEWAYS ETC) TO BE TAKEN TO AN APPROVED CONCRETE RECYCLER.
- STOCKPILE SITE TOPSOIL FOR REUSE IN THE NEW WORKS WHERE POSSIBLE
- VEGETATION. REMOVE TREES TO BE REMOVED WITHOUT DISTURBANCE TO THOSE TREES TO BE RETAINED. PROTECT ALL VEGETATION TO BE RETAINED FROM DAMAGE DURING DEMOLITION AND SITE CLEARING.
- POLLUTION - AS PER ABOVE AND TO ACT POLLUTION CONTROL LAWS.
- TEMPORARY TRAFFIC MANAGEMENT PLAN TO BE IN PLACE PRIOR TO DEMOLITION
- SITE FENCING AND SEDIMENT AND EROSION CONTROL MEASURES TO BE IN PLACE PRIOR TO DEMOLITION

EXISTING SERVICES

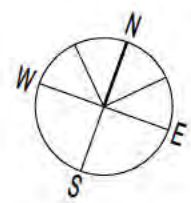
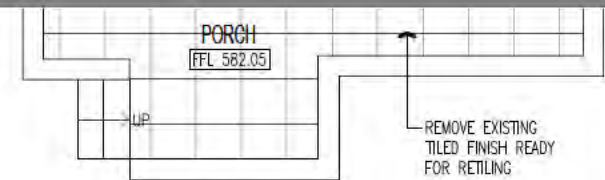
- ELECTRICITY TO BE DISCONNECTED AS PER ACTEW REQUIREMENTS AND RECONNECTED WITH A TEMPORARY SUPPLY.
- SEWER AND STORMWATER TO BE CAPPED TO UTILITY REQUIREMENTS.
- TEMPORARY WATER SUPPLY TO BE MAINTAINED.
- TEMPORARY PHONE LINE TO BE MAINTAINED.

- TEMPORARY CONNECTIONS TO BE TO UTILITY REQUIREMENTS.

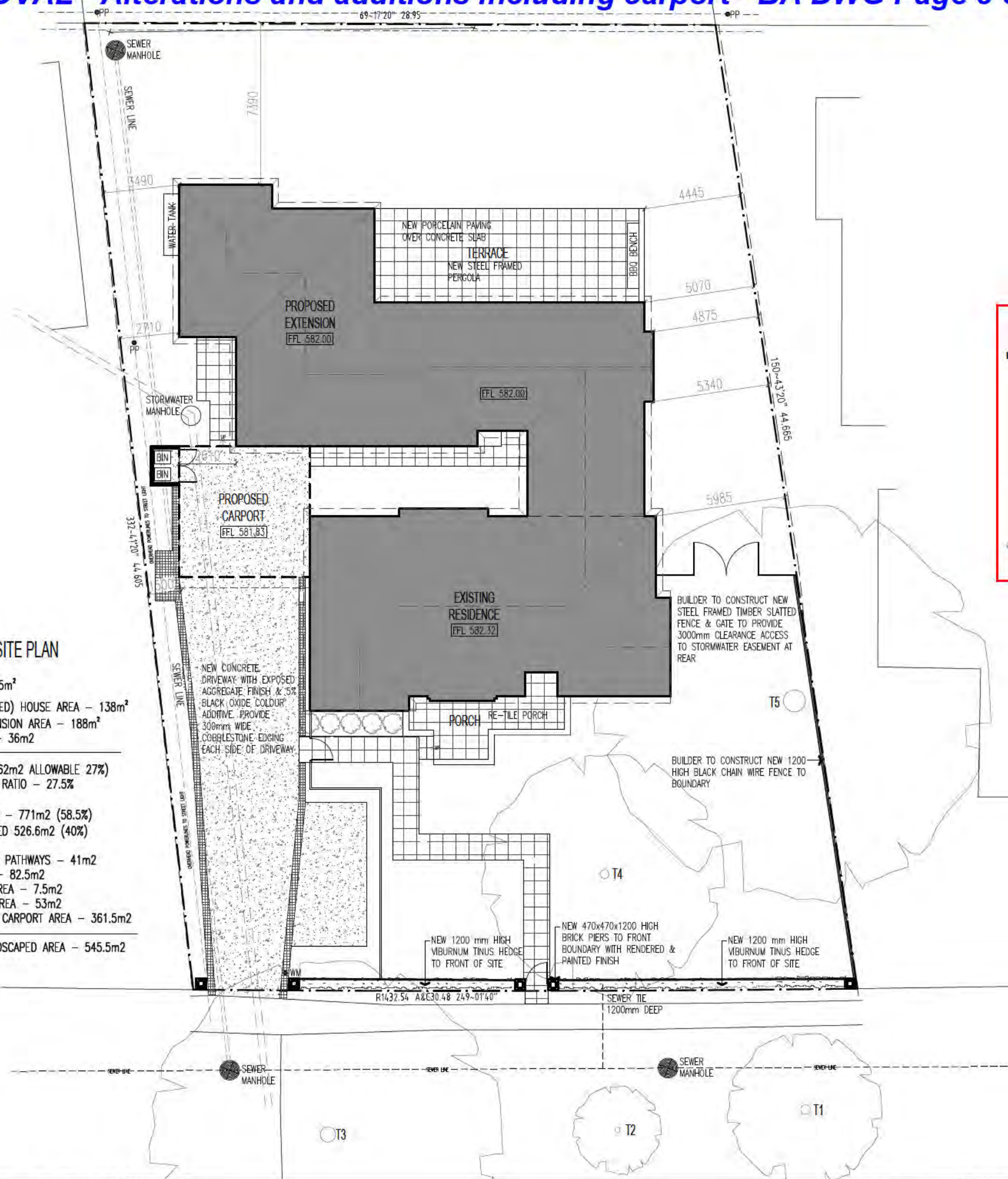
- DEMOLITION MATERIAL TO BE SEPARATED INTO SEPARATE STREAMS TO ENSURE EASY ACCESS BY RECYCLING ORGANISATIONS, BUILDERS AND SUBCONTRACTORS.



REMOVE & REPLACE EXISTING SINGLE GLAZED WINDOWS WITH NEW PAINTED TIMBER WINDOW FRAMES WITH DOUBLE GLAZED CLEAR GLASS PANELS TYPICALLY IN EXISTING PART OF HOUSE



PROPOSED DEMOLITION PLAN
SCALE 1:100
SITE AREA 1316.5m²

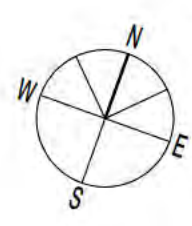


BUILDING APPROVAL
 Issued under S28 of the Building Act 2004

Adam Davidson
 License No. 2010141

Alterations and additions including carport

Issue Date 6/09/2017
 NCC Occupancy Class 1a&10a
 NCC Construction Type n/a



PROPOSED SITE PLAN

SCALE 1:200

SITE AREA 1316.5m²

EXISTING (RETAINED) HOUSE AREA - 138m²

PROPOSED EXTENSION AREA - 188m²

CARPORT AREA - 36m²

TOTAL 362m² (362m² ALLOWABLE 27%)

PROPOSED PLOT RATIO - 27.5%

LANDSCAPE AREA - 771m² (58.5%)

MINIMUM REQUIRED 526.6m² (40%)

FRONT PORCH & PATHWAYS - 41m²

DRIVEWAY AREA - 82.5m²

STUDIO PAVED AREA - 7.5m²

REAR TERRACE AREA - 53m²

TOTAL HOUSE & CARPORT AREA - 361.5m²

TOTAL NOM-LANDSCAPED AREA - 545.5m²



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 6/25 BENTHAM ST YARRALUMLA ACT 2600

DRAWING TITLE
 R00000D000000000

STREET ADDRESS
 FORREST ACT

BLOCK/SECTION
 BLOCK SECTION
 FORREST ACT

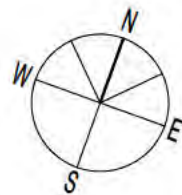
CLIENT
 Sch 2.2.2(a)(ii)

DATE
 30.08.17

SCALE
 1:200

DRAWING
 A.08

Sch 2 2.2(a)(ii)



PROPOSED GROUND FLOOR PLAN

SCALE 1:100

SITE AREA 1316.5m²

EXISTING (RETAINED) HOUSE AREA - 138m²

PROPOSED EXTENSION AREA - 188m²

CARPORT AREA - 36m²

TOTAL 362m² (362m² ALLOWABLE 27%)

PROPOSED PLOT RATIO - 27.5%

LANDSCAPE AREA - 771m² (58.5%)

MINIMUM REQUIRED 526.6m² (40%)

FRONT PORCH & PATHWAYS - 41m²

DRIVEWAY AREA - 82.5m²

STUDIO PAVED AREA - 7.5m²

REAR TERRACE AREA - 53m²

TOTAL HOUSE & CARPORT AREA - 361.5m²

TOTAL NOM-LANDSCAPED AREA - 545.5m²



BUILDING APPROVAL
Issued under S28 of the Building Act 2004

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NCC Construction Type n/a

RENDER NOTES:
PROVIDE A TERRAZINE STIPLED RENDER FINISH TO ALL NEW & EXISTING RENDERED WALLS.

NEW COBBLESTONE PAVING OVER 100mm THICK CONCRETE SLAB BASE

* Studio not to be used as a separate dwelling



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BLOC SECTION FORREST ACT

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Sch 2 2.2(a)(ii)

DATE

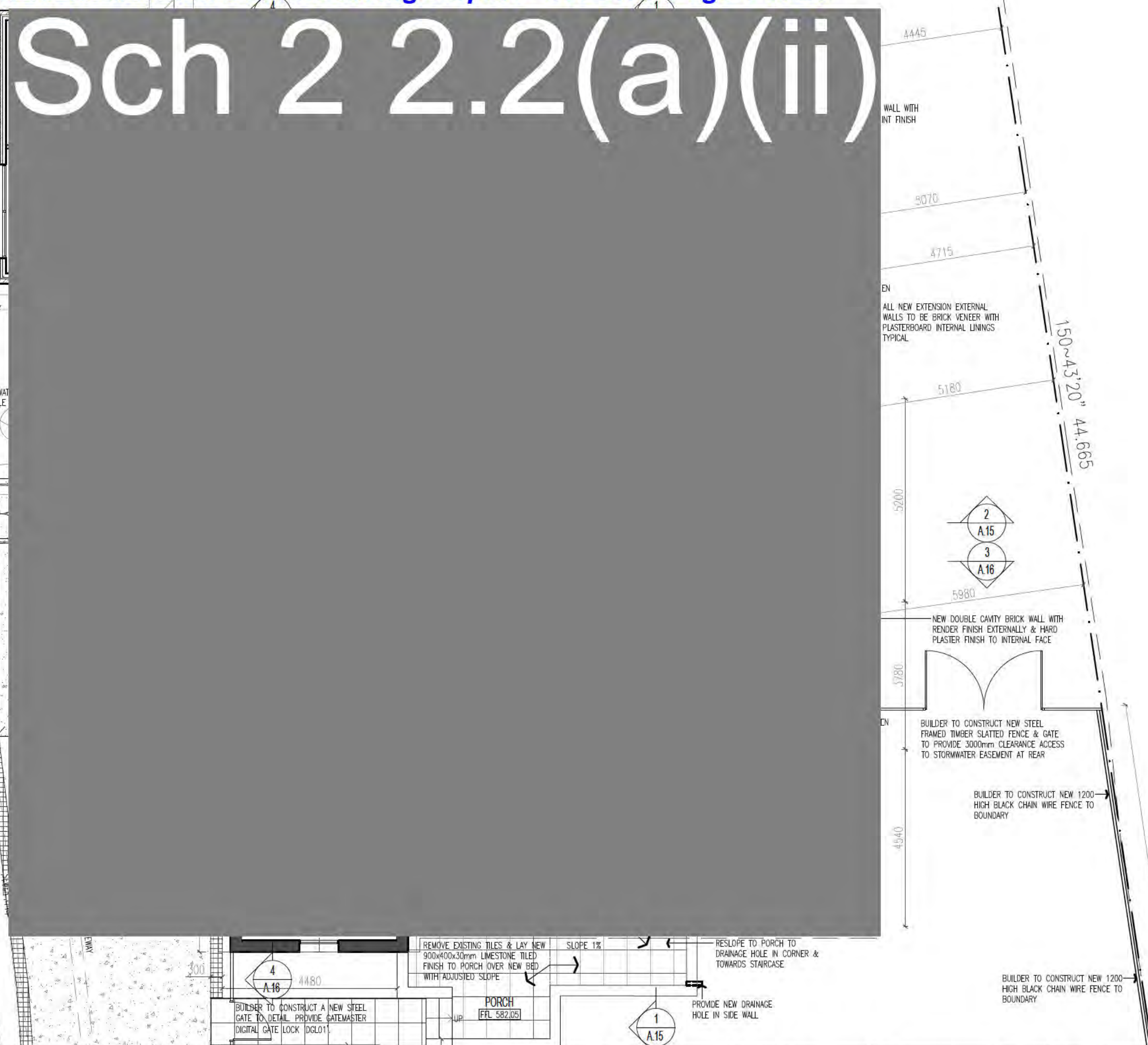
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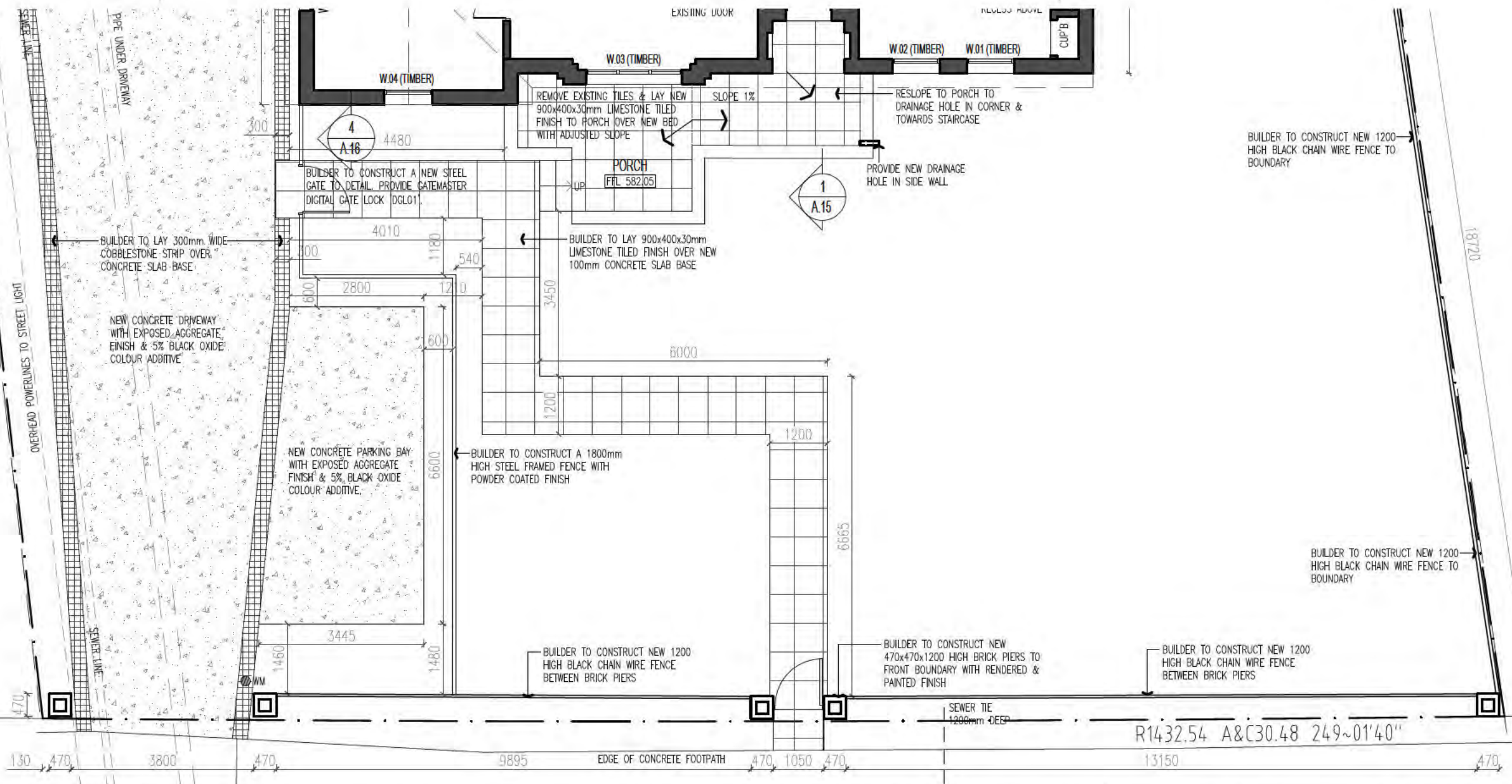
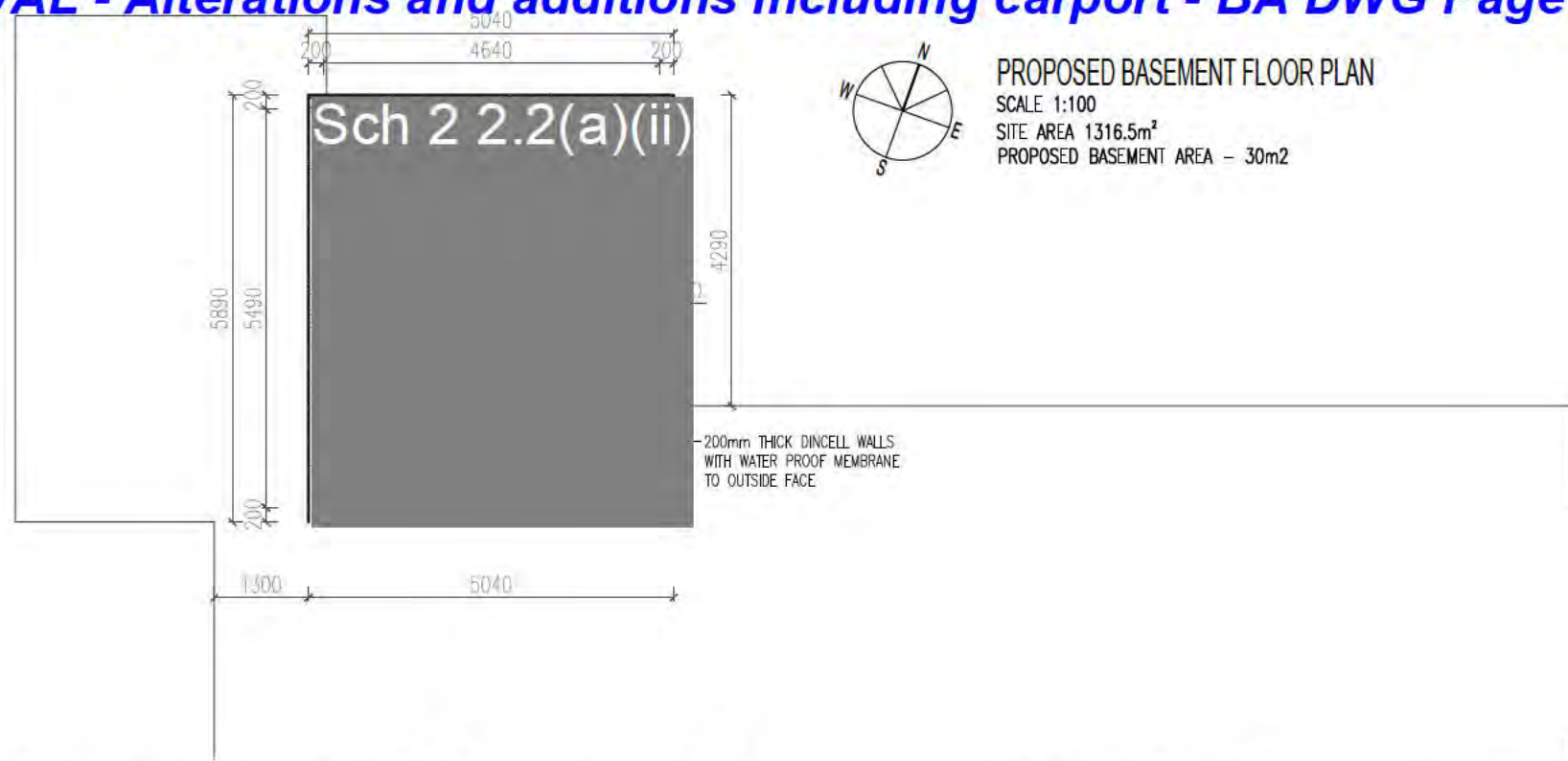
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DRAWING NO.

A.09



BUILDING APPROVAL - Alterations and additions including carport - BA DWG Page 10 of 29



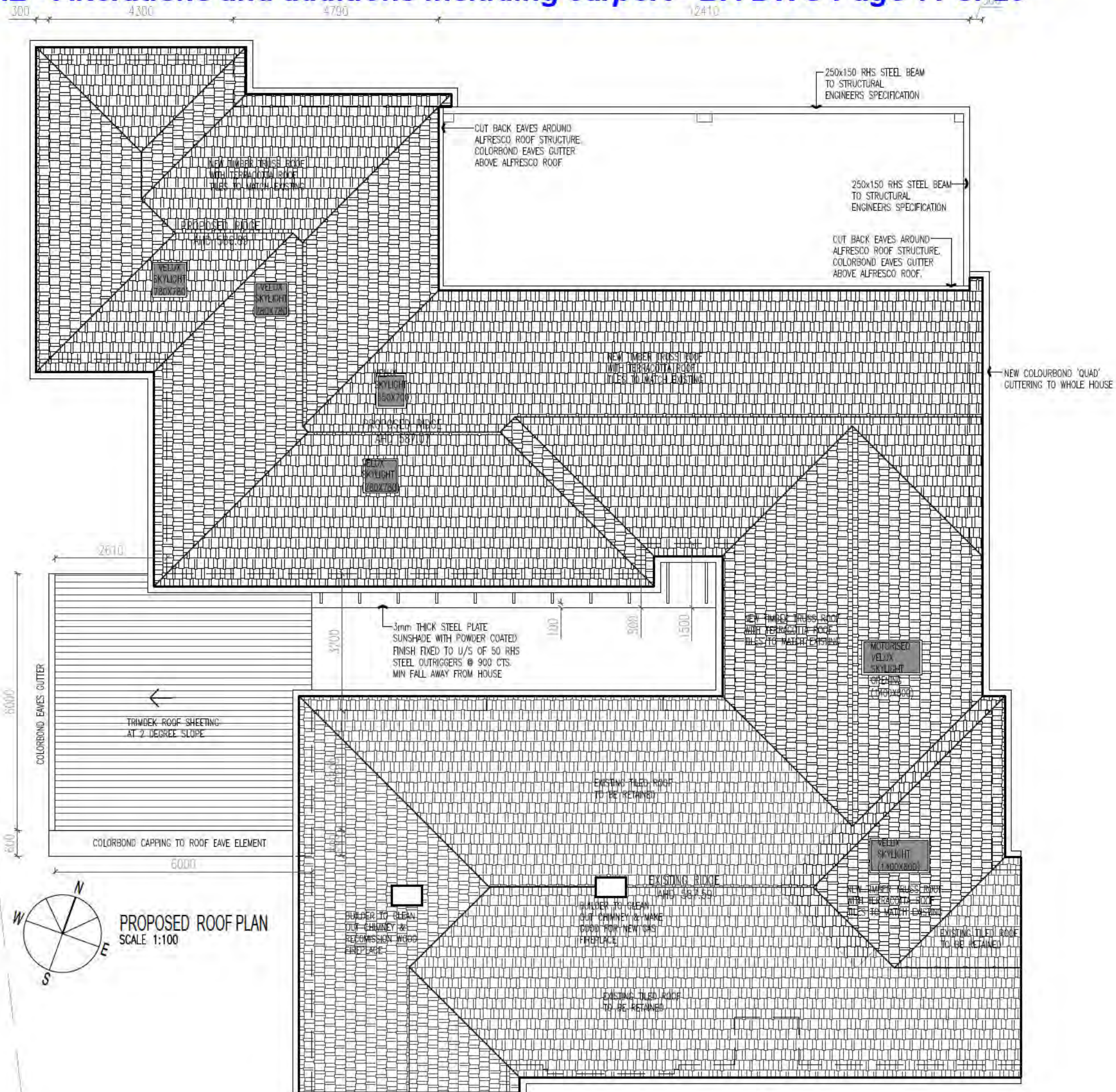
BUILDING APPROVAL
 Issued under S28 of the Building Act 2004

Adam Davidson
 License No. 2010141

Alterations and additions including carport

Issue Date 6/09/2017
 NCC Occupancy Class 1a&10a
 NCC Construction Type n/a

BUILDING APPROVAL - Alterations and additions including carport - BA DWG Page 11 of 29



BUILDING APPROVAL
 Issued under S28 of the Building Act 2004

 Adam Davidson
 License No. 2010141

 Alterations and additions
 including carport

 Issue Date 6/09/2017
 NCC Occupancy Class 1a&10a
 NCC Construction Type n/a

PROPOSED ROOF PLAN
 SCALE 1:100

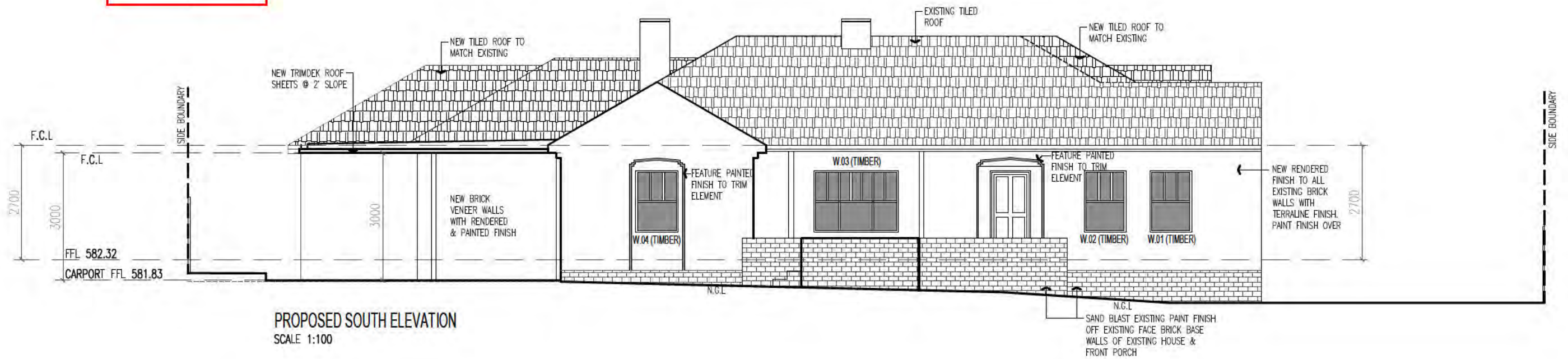


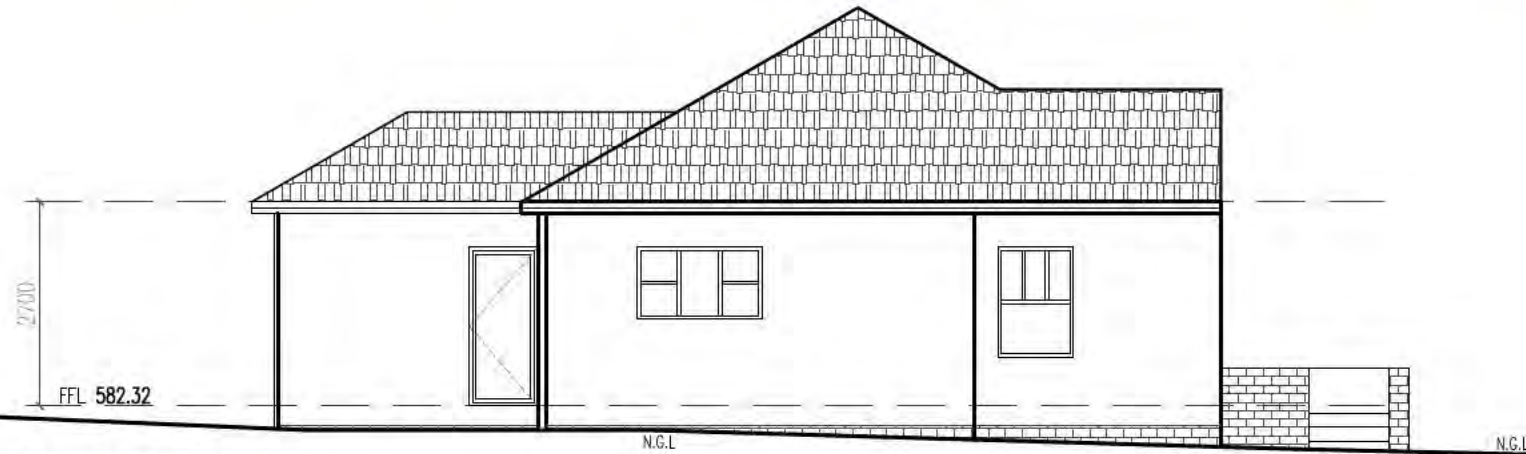
BUILDING APPROVAL
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Adam Davidson
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Alterations and additions including carport

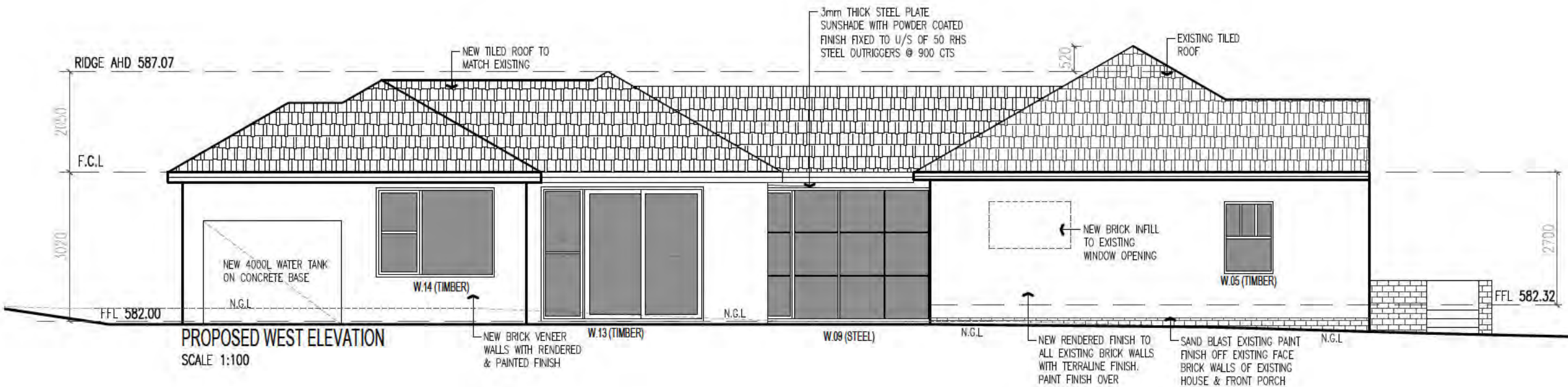
Issue Date 6/09/2017
NCC Occupancy Class 1a&10a
NCC Construction Type n/a





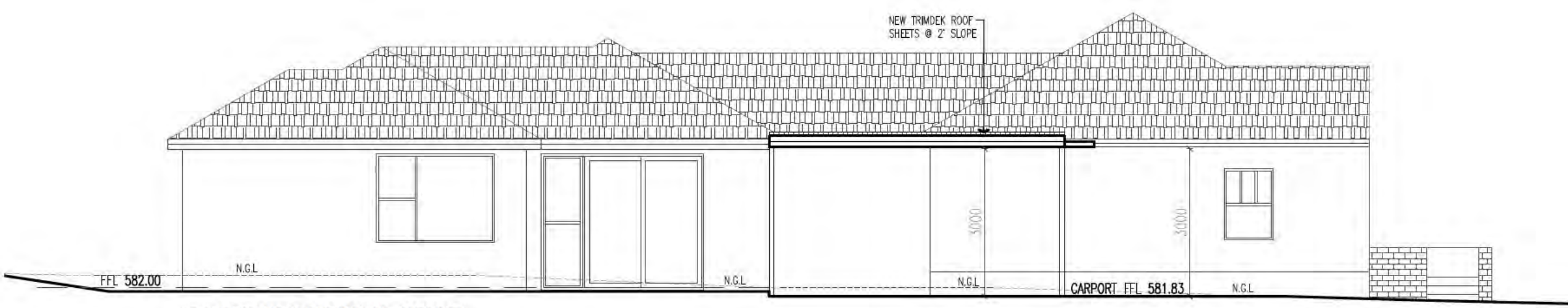
EXISTING WEST ELEVATION
SCALE 1:100

FRONT BOUNDARY



PROPOSED WEST ELEVATION
SCALE 1:100

FRONT BOUNDARY



PROPOSED WEST ELEVATION - CARPORT
SCALE 1:100

FRONT BOUNDARY

BUILDING APPROVAL
Issued under S28 of the Building Act 2004

Adam Davidson
License No. 2010141

Alterations and additions including carport

Issue Date 6/09/2017
NCC Occupancy Class 1a&10a
NCC Construction Type n/a

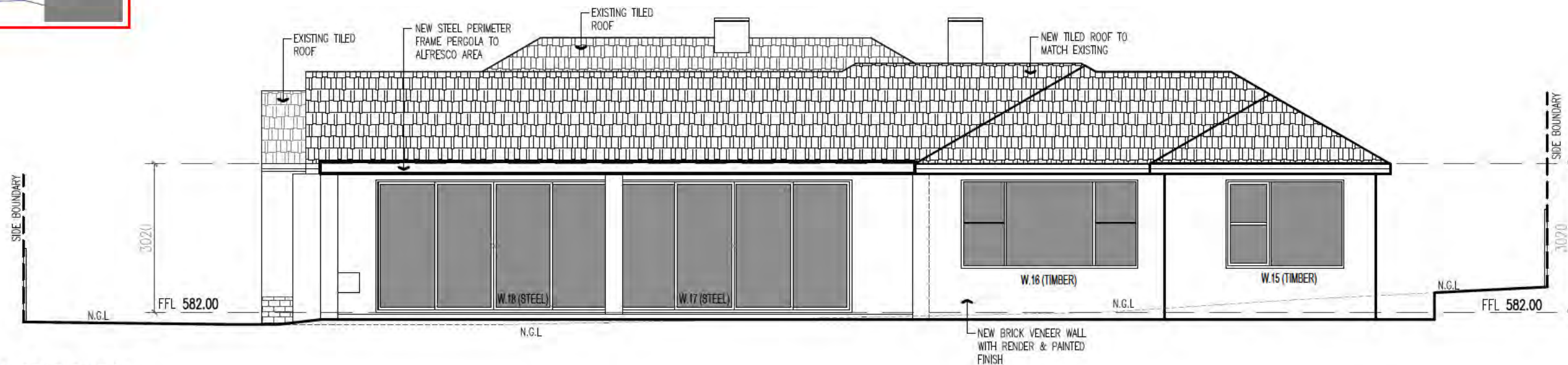


BUILDING APPROVAL
Issued under S28 of the Building Act 2004

Adam Davidson
License No. 2010141

Alterations and additions including carport

Issue Date 6/09/2017
NCC Occupancy Class 1a&10a
NCC Construction Type n/a





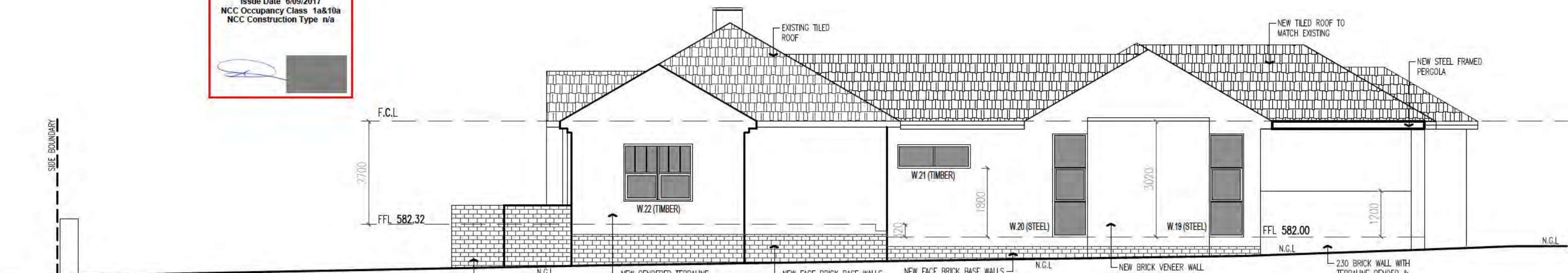
EXISTING EAST ELEVATION
SCALE 1:100

BUILDING APPROVAL
Issued under S28 of the Building Act 2004

Adam Davidson
License No. 2010141

Alterations and additions including carport

Issue Date 6/09/2017
NCC Occupancy Class 1a&10a
NCC Construction Type n/a



PROPOSED EAST ELEVATION
SCALE 1:100



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DRAWING TITLE
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STREET ADDRESS
FORREST ACT

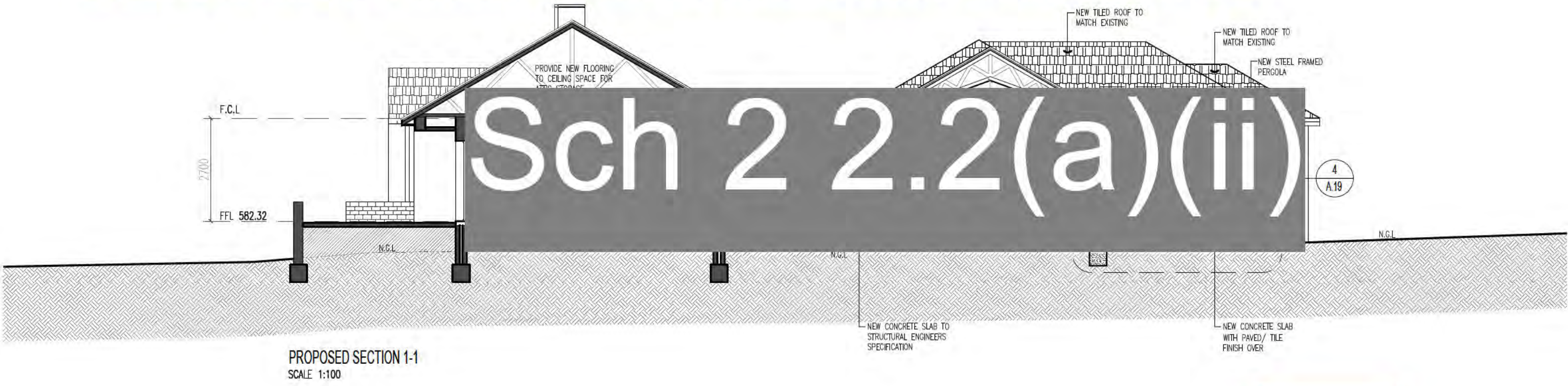
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BLOCK SECTION
FORREST ACT

CLIENT
Sch 2 2.2(a)(ii)

DATE
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SCALE
1:100

DRAWING NO.
A.16



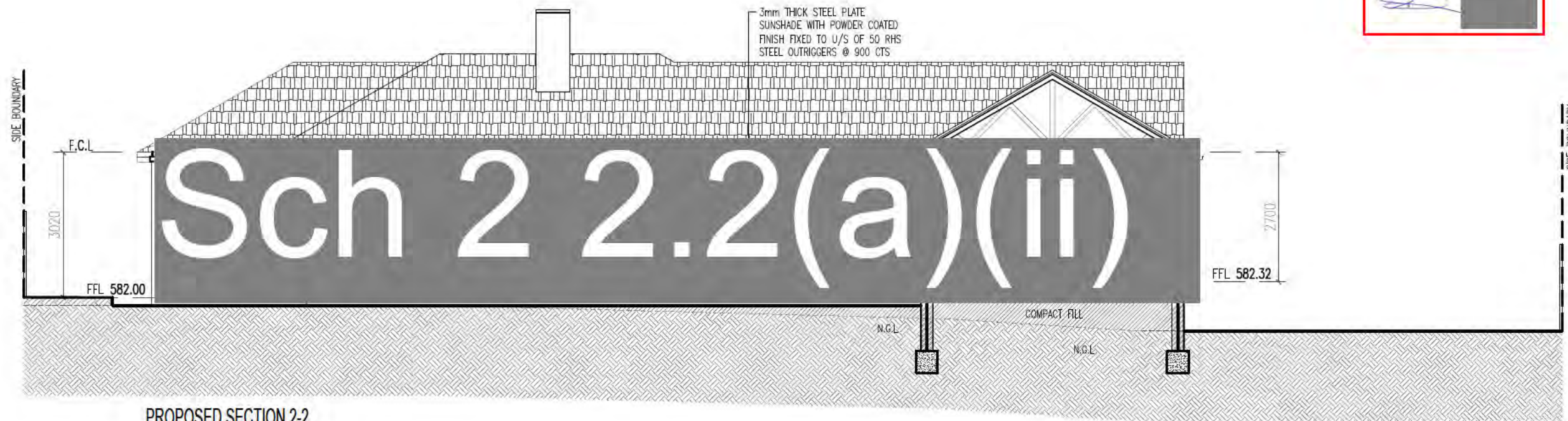
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BUILDING APPROVAL
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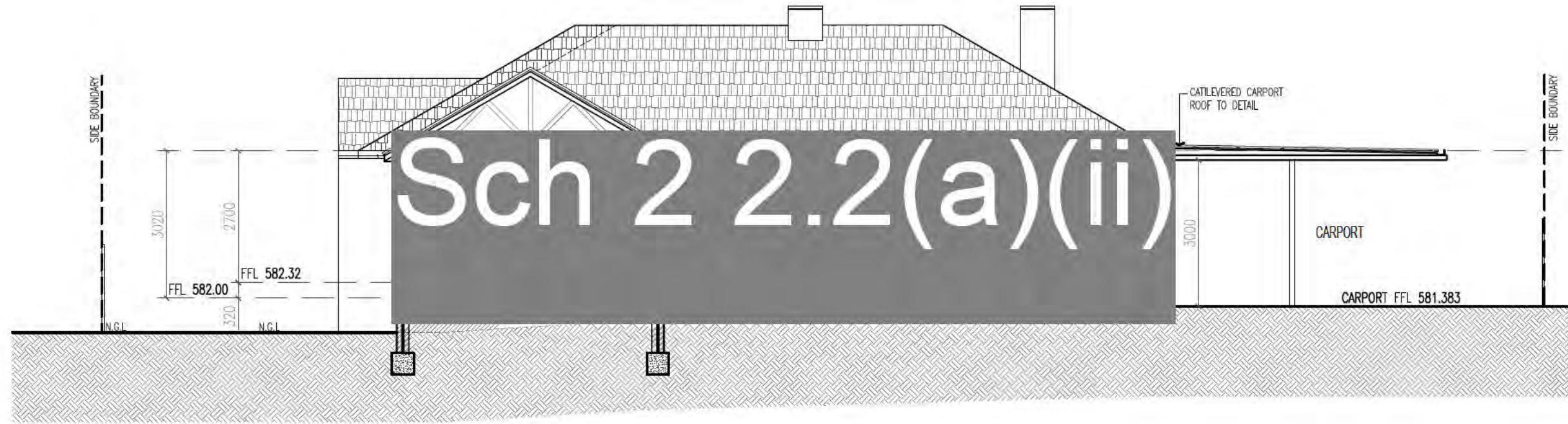
Adam Davidson
 License No. 2010141

Alterations and additions including carport

Issue Date 6/09/2017
 NCC Occupancy Class 1a&10a
 NCC Construction Type n/a



PROPOSED SECTION 2-2
SCALE 1:100



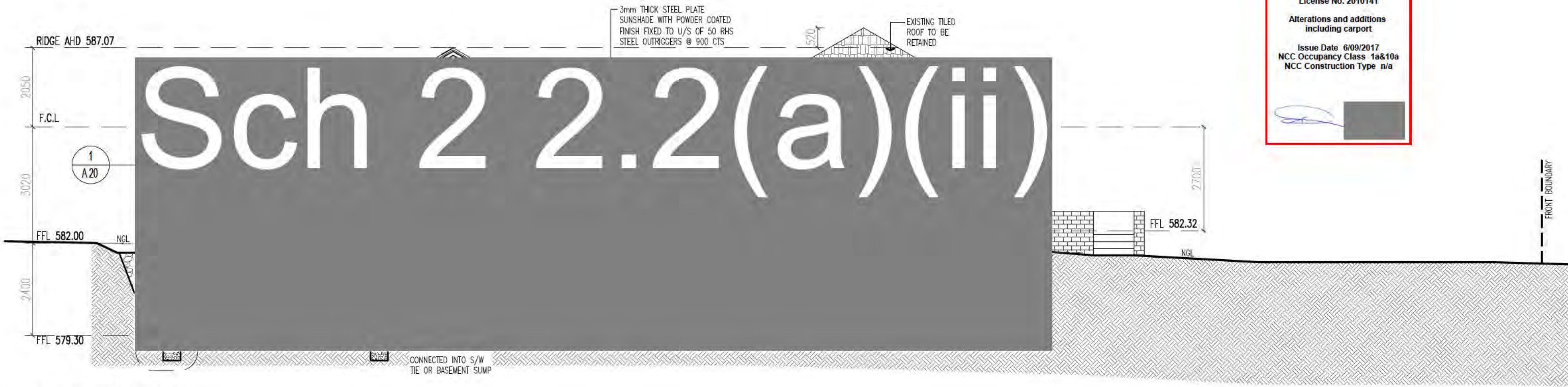
PROPOSED SECTION 3-3
SCALE 1:100

BUILDING APPROVAL
Issued under S28 of the Building Act 2004

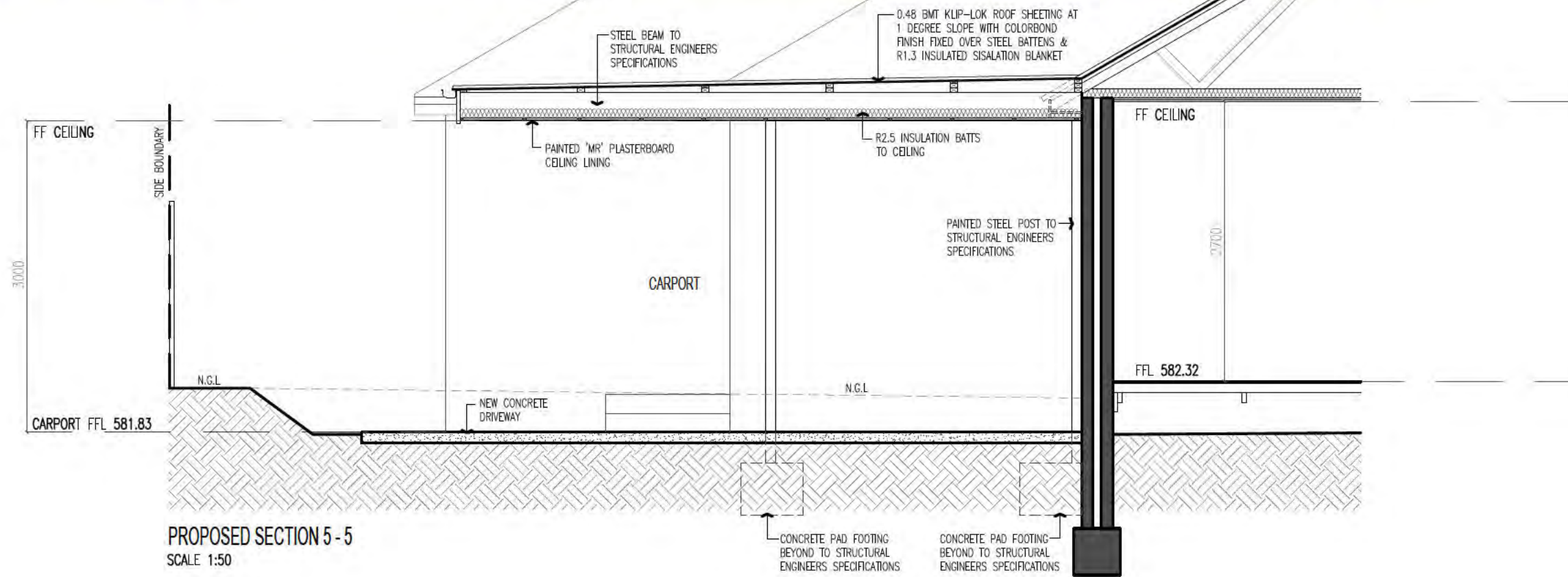
Adam Davidson
License No. 2010141

Alterations and additions including carport

Issue Date 6/09/2017
NCC Occupancy Class 1a&10a
NCC Construction Type n/a



PROPOSED SECTION 4-4
SCALE 1:100



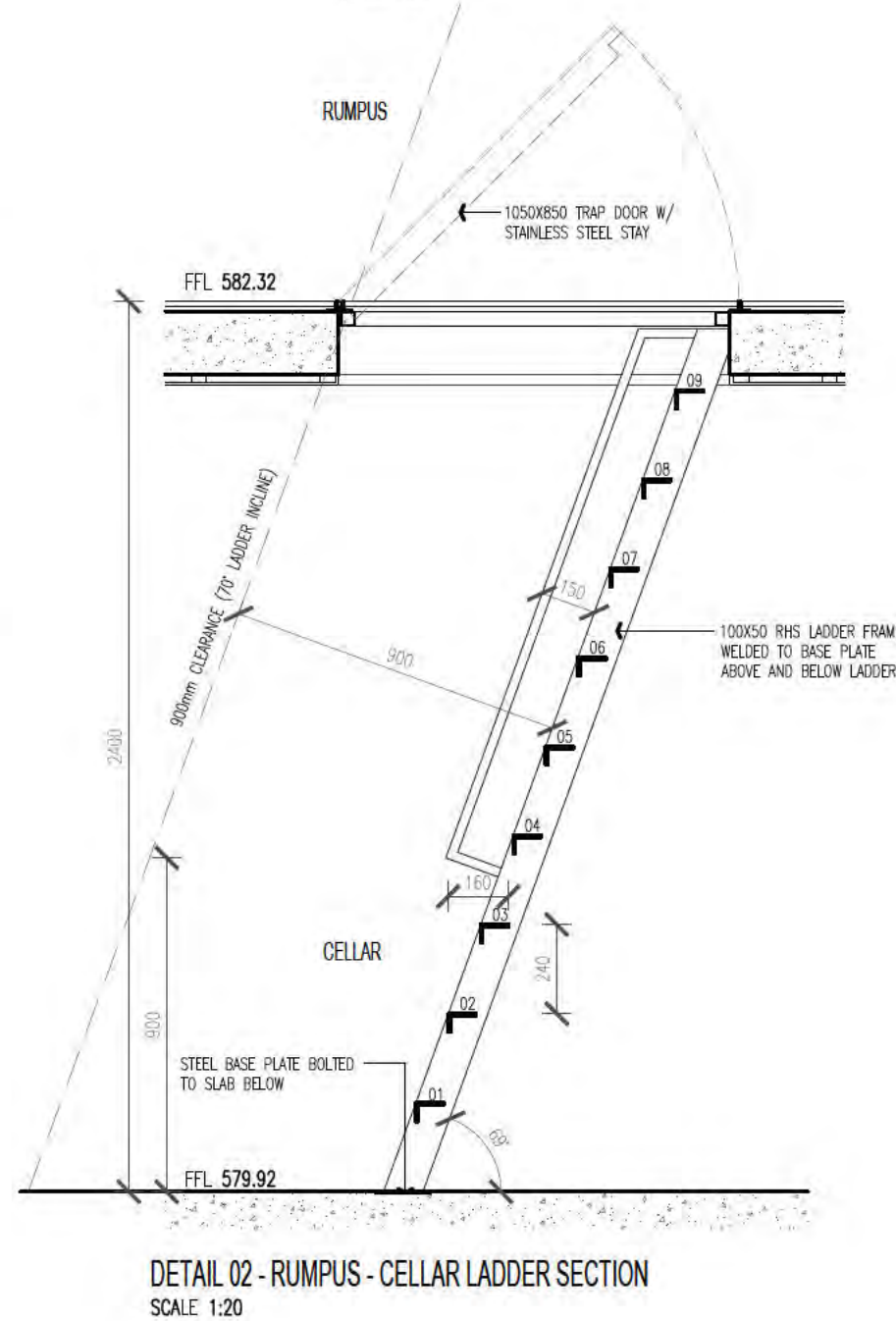
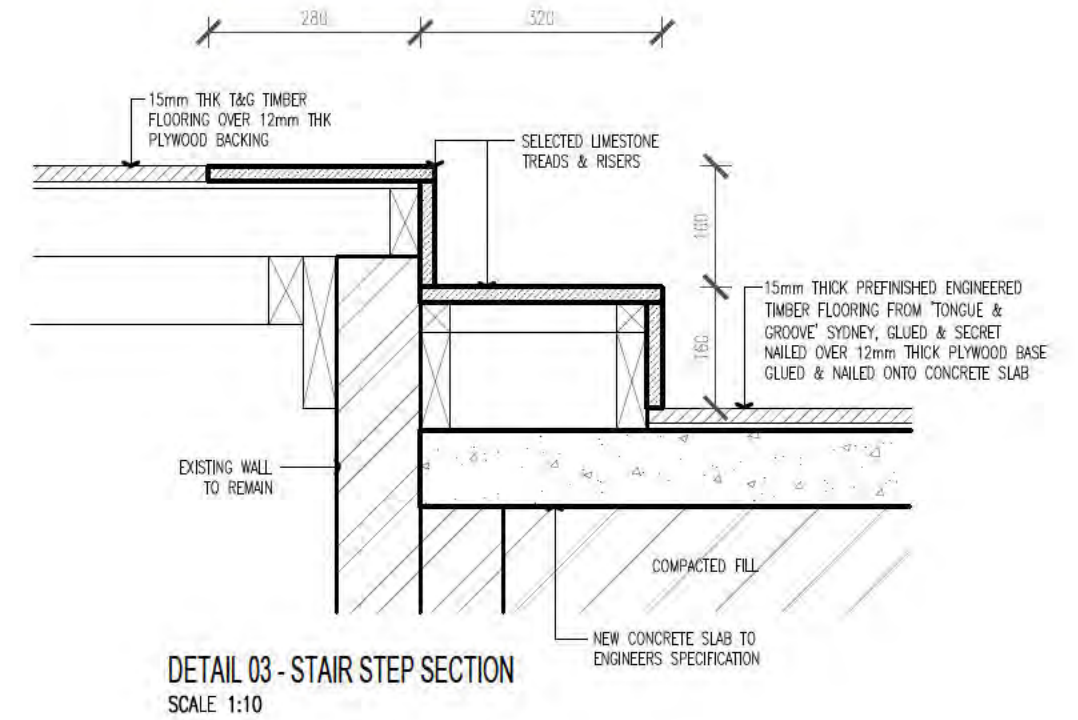
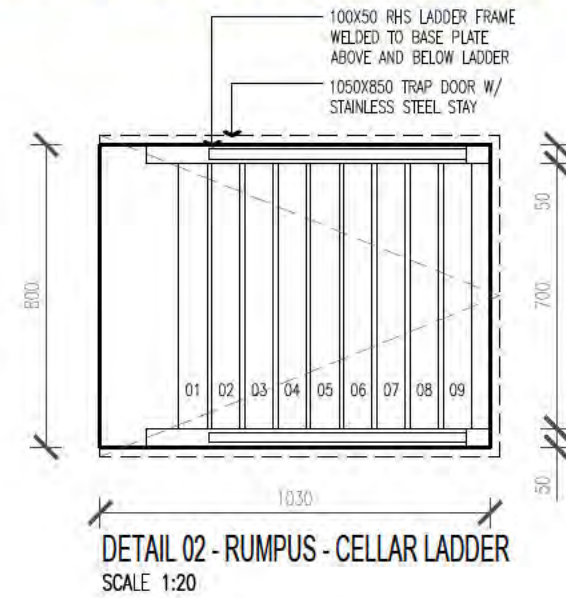
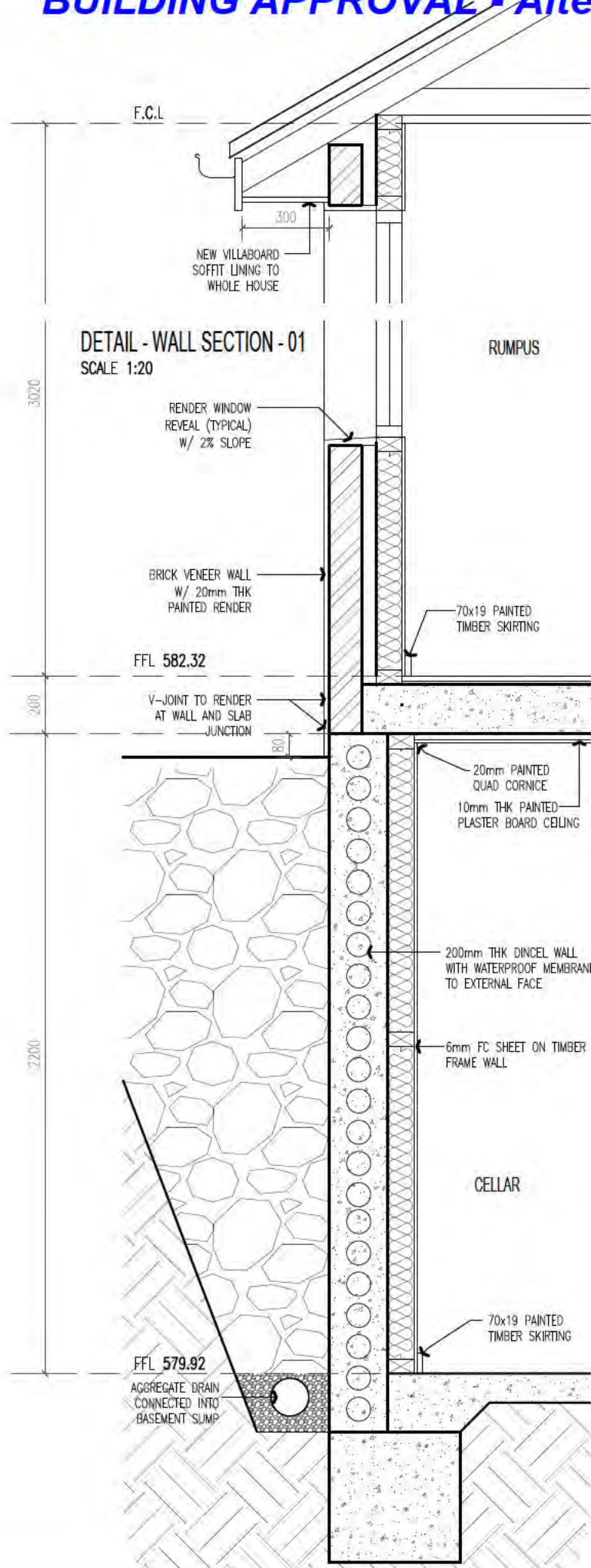
PROPOSED SECTION 5 - 5
SCALE 1:50

BUILDING APPROVAL
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License No. 2010141

Alterations and additions including carport

Issue Date 6/09/2017
NCC Occupancy Class 1a&10a
NCC Construction Type n/a



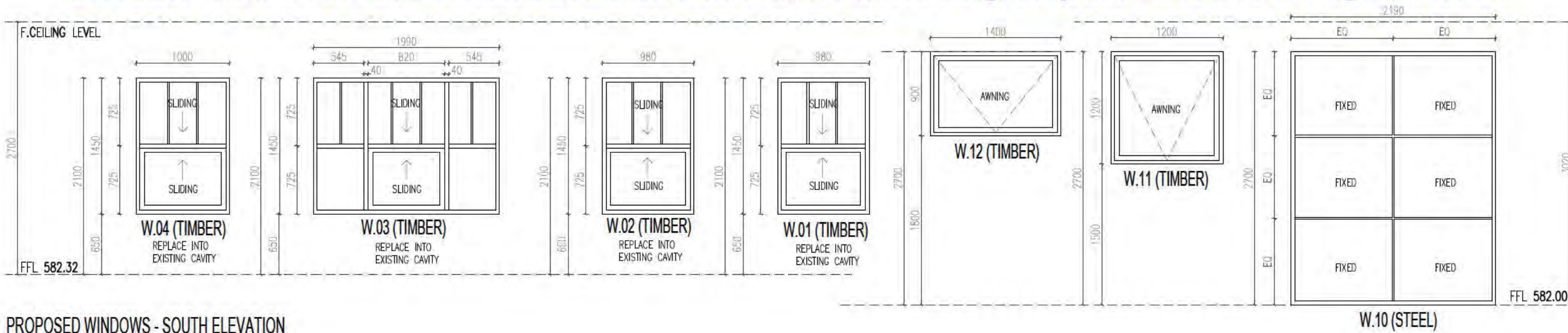
BUILDING APPROVAL
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 License No. 2010141

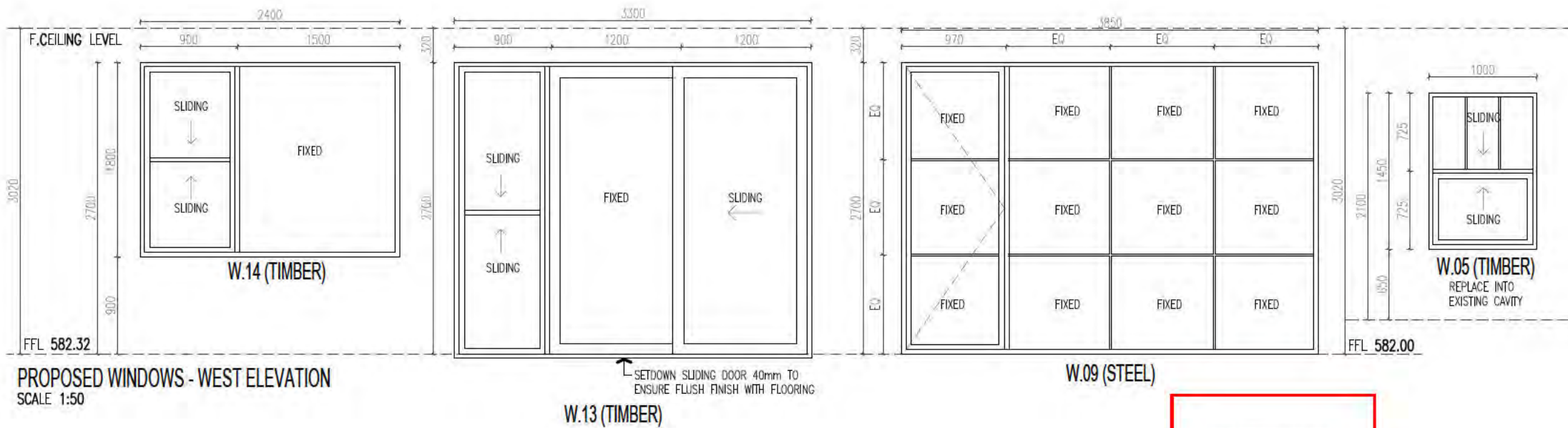
Alterations and additions including carport

Issue Date 6/09/2017
 NCC Occupancy Class 1a&10a
 NCC Construction Type n/a

BUILDING APPROVAL - Alterations and additions including carport - BA DWG Page 21 of 29



PROPOSED WINDOWS - SOUTH ELEVATION
SCALE 1:50




PROPOSED WINDOWS - WEST ELEVATION
SCALE 1:50

BUILDING APPROVAL
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License No. 2010141

Alterations and additions
including carport

Issue Date 6/09/2017
NCC Occupancy Class 1a&10a
NCC Construction Type n/a



WINDOW / DOOR NOTES

- ALL EXISTING WINDOWS TO BE REPLACED. NEW WINDOWS TO BE EITHER STEEL FRAMED, CEDAR FRAMED OR ALUMINIUM FRAMED WINDOWS WITH DOUBLED GLAZED PANELS.

TIMBER FRAMED

- TIMBER WINDOWS & GLAZED SLIDING DOORS TO BE CEDAR FRAMED WITH DOUBLE GLAZED PANELS WITH MINIMUM 12mm AIR SPACE. SLIDING DOORS TO HAVE VERTICAL SATIN CHROME PULL HANDLES. PROVIDE CEDAR FRAMED FLYWIRE SCREENS WITH ALUMINIUM MESH TO ALL OPENING TIMBER WINDOWS & DOORS. SUPPLIER - COUNTY STYLE WINDOWS. ALL TIMBER WINDOWS TO HAVE A SOLID COLOUR PAINTED FINISH INSIDE & OUT.

STEEL FRAMED

- STEEL FRAMED WINDOWS, HINGED FRENCH DOORS & BI-FOLD DOORS TO HAVE POWDER COATED FINISH WITH DOUBLE GLAZED PANELS. BUILDER TO CONTRACT GLAZIER SEPARATELY TO DOUBLE GLAZE ALL STEEL FRAMED WINDOWS. NO FLYWIRE SCREENS TO WINDOWS OR DOORS. SUPPLIER - WINDOWS OF THE WORLD. MELBOURNE TEL: 03 5976 2638.

CEDAR TIMBER WINDOW VALUES

FIXED GLAZED WINDOW
U-VALUE: 3.0 SHGC: 0.61

AWNING WINDOW
U-VALUE: 2.4 SHGC: 0.45

DOUBLE HUNG WINDOW
U-VALUE: 2.5 SHGC: 0.49

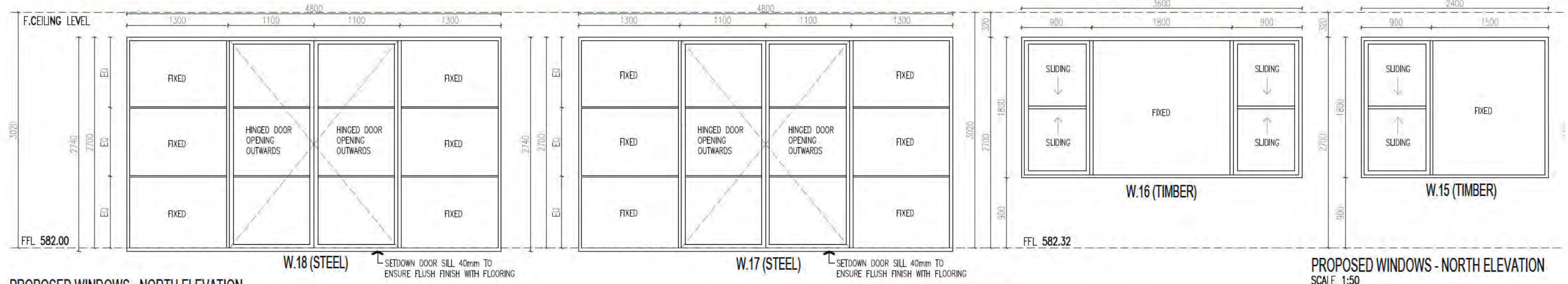
HINGED EXTERNAL DOOR
U-VALUE: 3.0 SHGC: 0.61

SLIDING GLAZED DOOR
U-VALUE: 3.0 SHGC: 0.61

STEEL FRAMED WINDOW/DOOR VALUES

ALL STEEL FRAME WINDOWS & DOORS
U-VALUE: 2.5 SHGC: 0.67

BUILDING APPROVAL - Alterations and additions including carport - BA DWG Page 22 of 29



PROPOSED WINDOWS - NORTH ELEVATION
SCALE 1:50

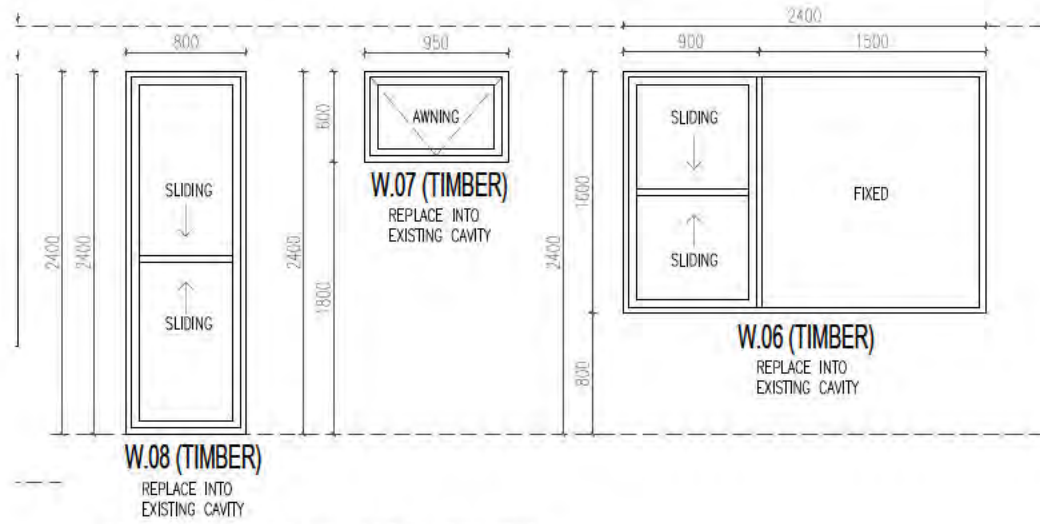
PROPOSED WINDOWS - NORTH ELEVATION
SCALE 1:50

BUILDING APPROVAL
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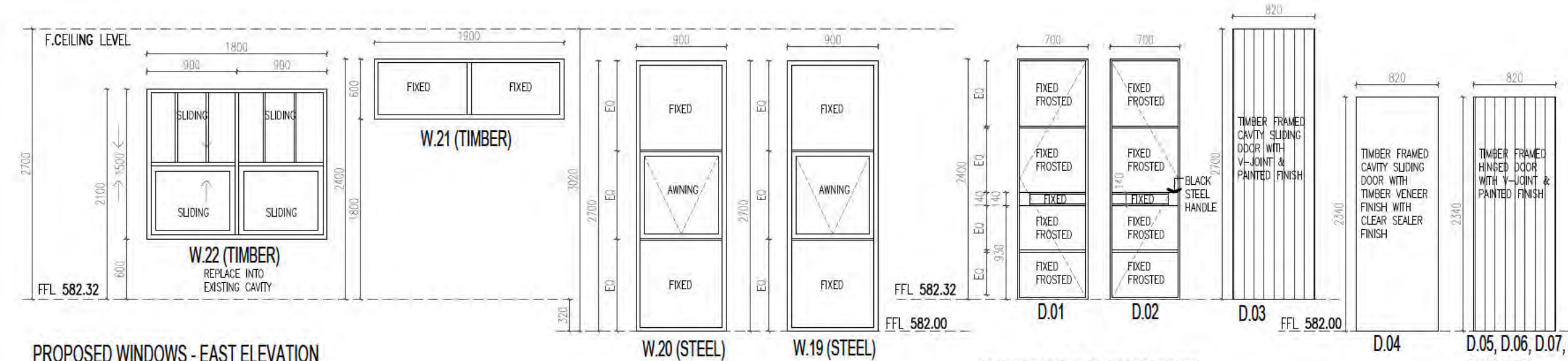
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Alterations and additions including carport

Issue Date 6/09/2017
NCC Occupancy Class 1a&10a
NCC Construction Type n/a

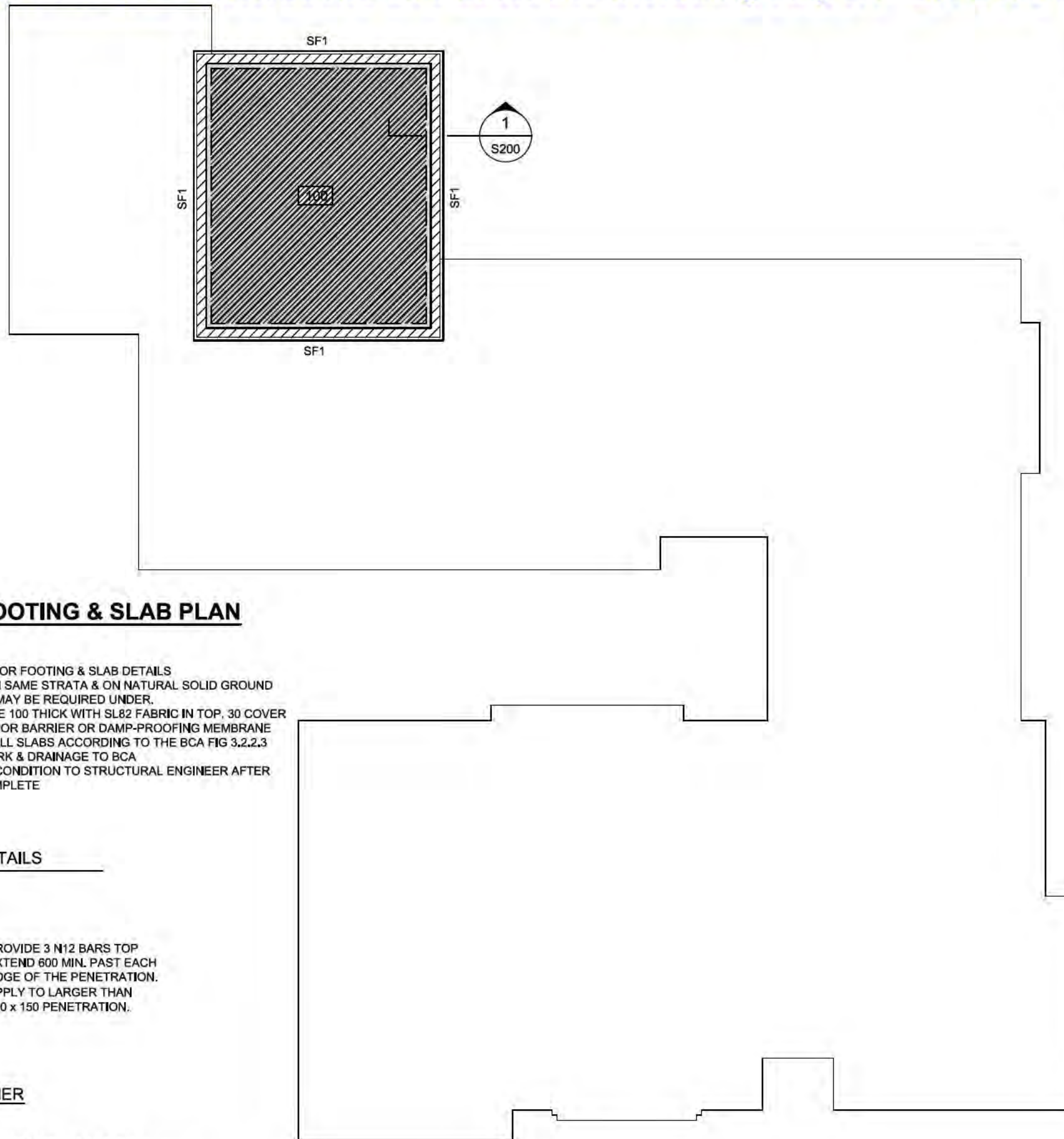


PROPOSED WINDOWS - NORTH ELEVATION
SCALE 1:50



PROPOSED WINDOWS - EAST ELEVATION
SCALE 1:50

ENSUITE WC & SHOWER DOORS
SCALE 1:50



ELEMENT	STRENGTH f _c	MAX SIZE AGG. mm	SLUMP mm	CEMENT TYPE	ADMIXTURE
CONCRETE QUALITY					
FOOTINGS	20	20	80	GP	-
SLAB ON GROUND	25	20	80	GP	-

REFER TO GENERAL NOTES FOR REINFORCEMENT COVER

FOOTING SCHEDULE

MARK	DESCRIPTION	SIZE	COMMENTS
SF1	STRIP FOOTING	500 D x 400 W	L11TM-300 TOP & BTM + 400mm 11TM CLIP SPACER

NOTE:

SITE CLASSIFICATION "M" AS DETERMINED BY ANH CONSULTING ENGINEER. REFER TO SITE CLASSIFICATION PREPARED BY ANH.

SLAB ON GROUND NOTES



DENOTES EXTENT OF 100 THICK SLAB ON 400mm MAXIMUM COMPACTED FILL REINFORCED WITH SL82 MESH TOP CONTINUOUS THROUGHOUT PLUS ANY EXTRAS AS NOTED ON PLAN AND IN DETAILS.

REFER TO TABLE BELOW FOR CONCRETE COVERS

NOTES TO BE READ IN CONJUNCTION WITH PLANS AND TYPICAL DETAILS

REINFORCEMENT COVERS			
SLAB ON GROUND		INTERIOR	EXTERIOR
SLAB	TOP	20mm	45mm
	BTM	30mm	30mm
	SIDES	45mm	45mm

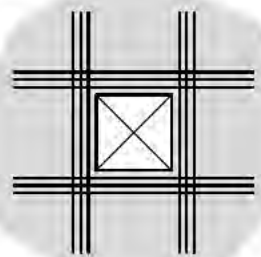
BASEMENT FOOTING & SLAB PLAN

1:100

NOTES:

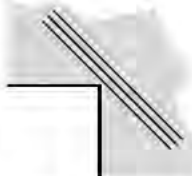
- REFER TO DRAWING S200 FOR FOOTING & SLAB DETAILS
- ALL FOOTINGS TO BEAR ON SAME STRATA & ON NATURAL SOLID GROUND OTHERWISE BORED PIERS MAY BE REQUIRED UNDER.
- ALL EXTERNAL SLABS TO BE 100 THICK WITH SL82 FABRIC IN TOP, 30 COVER
- PROVIDE CONTINUOUS VAPOR BARRIER OR DAMP-PROOFING MEMBRANE OVER 50mm SAND UNDER ALL SLABS ACCORDING TO THE BCA FIG 3.2.2.3
- ARTICULATE ALL BRICKWORK & DRAINAGE TO BCA
- BUILDER TO REPORT SITE CONDITION TO STRUCTURAL ENGINEER AFTER THE SITE CUT & FILL IS COMPLETE

TYPICAL SLAB TRIMMER DETAILS



PROVIDE 3 N12 BARS TOP EXTEND 600 MIN. PAST EACH EDGE OF THE PENETRATION. APPLY TO LARGER THAN 150 x 150 PENETRATION.

SLAB PENETRATION TRIMMER



3 N12-2000 LONG (75 SPACING) TRIMMERS BARS AT ALL RE-ENTRANT CORNERS, TIED TO UNDERSIDE OF TOP REINFORCEMENT.

SLAB RE-ENTRANT CORNER TRIMMER

NOTE: DO NOT SCALE OFF DRAWINGS. REFER TO ARCHITECTURAL PLANS. VERIFY DIMENSIONS ON SITE

REV	DATE	DESCRIPTION	BY
A	15.05.17	ISSUED FOR BA	AJNH

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PROPOSED ADDITION
BLOCK SECTION FORREST
FOR DARREN ROBERTSON

BASEMENT FOOTING & SLAB PLAN

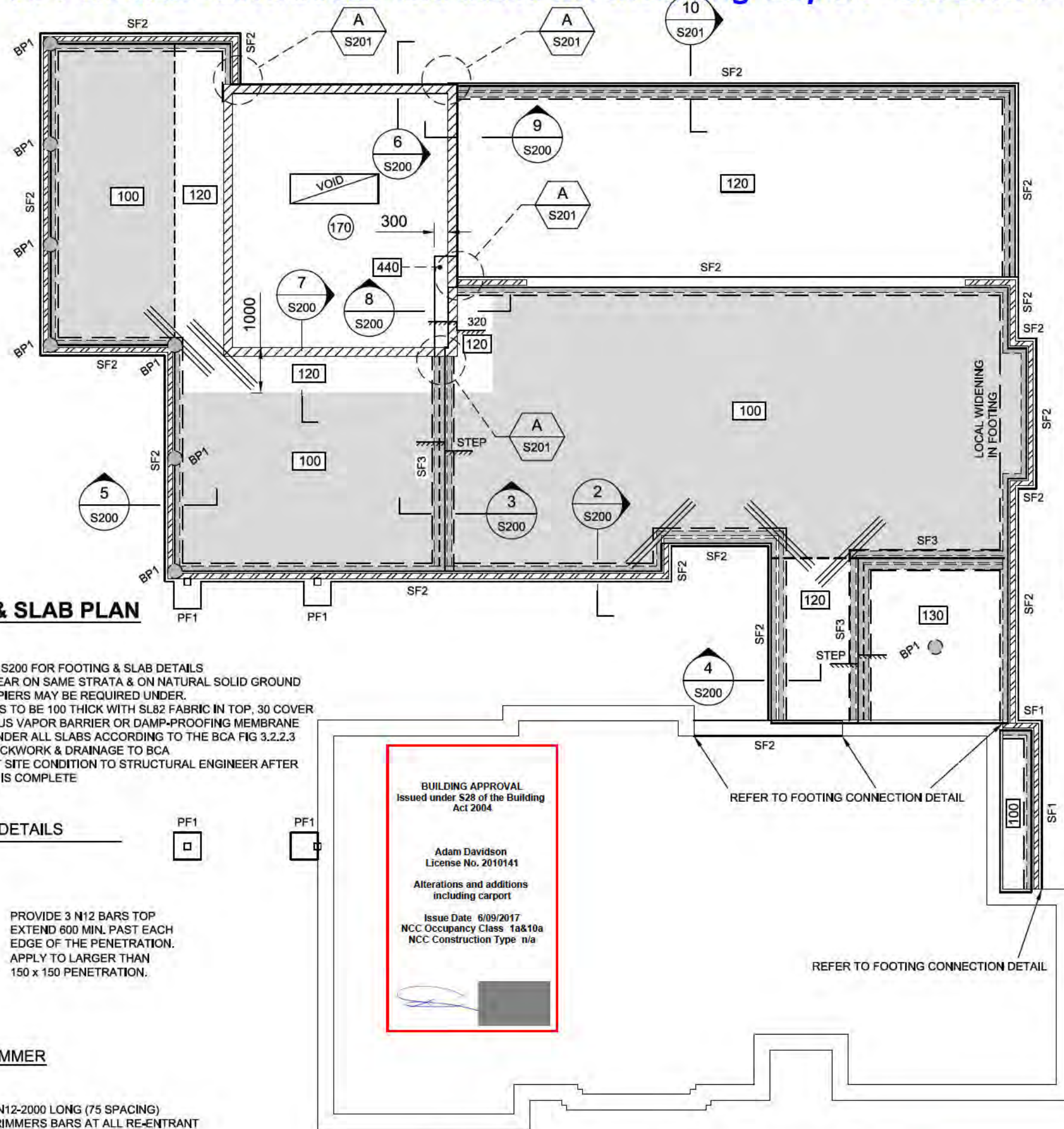
JOB NUMBER:	DWG NUMBER:	ORIGINAL SIZE:
17-231	S100	A3
DESIGNED BY: A.N.H	DATE: 10.06.2017	
DRAWN BY: A.Z	SCALE: 1:100	

BUILDING APPROVAL
Issued under S28 of the Building Act 2004

Adam Davidson
License No. 2010141

Alterations and additions including carport

Issue Date 6/09/2017
NCC Occupancy Class 1a&10a
NCC Construction Type n/a



ELEMENT	STRENGTH f _c	MAX SIZE AGG. mm	SLUMP mm	CEMENT TYPE	ADMIXTURE
CONCRETE QUALITY					
FOOTINGS	20	20	80	GP	-
PIERS	20	20	80	GP	-
SLAB ON GROUND	25	20	80	GP	-

REFER TO GENERAL NOTES FOR REINFORCEMENT COVER

FOOTING SCHEDULE			
MARK	DESCRIPTION	SIZE	COMMENTS
PF1	PAD FOOTING	500 D x 600 x 600 W	MASS CONCRETE
SF2	STRIP FOOTING	500 D x 300 W	L11TM-200 TOP & BTM + 400mm 11TM CLIP SPACER
SF3	STRIP FOOTING	500 D x 400 W	L11TM-300 TOP & BTM + 400mm 11TM CLIP SPACER
BP1	Ø300 MASS CONCRETE PIER TO SEWER INVERT		

NOTE:
SITE CLASSIFICATION "M" AS DETERMINED BY ANH CONSULTING ENGINEER. REFER TO SITE CLASSIFICATION PREPARED BY ANH.

NOTE:
TRUSS LAYOUT TO BE FORWARDED TO ANH CONSULTING ENGINEERS BEFORE COMMENCEMENT OF WORK ON SITE
DO NOT LOAD INTERNAL WALLS WITHOUT PERMISSION OF A STRUCTURAL ENGINEER
TIMBER TRUSSES, ROOF BRACING, WALL FRAMING, LINTELS
WALL BRACING AND EXISTING ROOF SUPPORT TRUSSES BY FRAMING COMPANY.

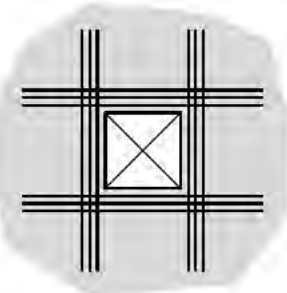
FOOTING & SLAB PLAN

1:100

NOTES:

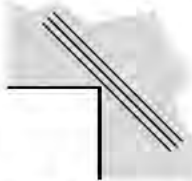
- REFER TO DRAWING S200 FOR FOOTING & SLAB DETAILS
- ALL FOOTINGS TO BEAR ON SAME STRATA & ON NATURAL SOLID GROUND OTHERWISE BORED PIERS MAY BE REQUIRED UNDER.
- ALL EXTERNAL SLABS TO BE 100 THICK WITH SL82 FABRIC IN TOP, 30 COVER
- PROVIDE CONTINUOUS VAPOR BARRIER OR DAMP-PROOFING MEMBRANE OVER 50mm SAND UNDER ALL SLABS ACCORDING TO THE BCA FIG 3.2.2.3
- ARTICULATE ALL BRICKWORK & DRAINAGE TO BCA
- BUILDER TO REPORT SITE CONDITION TO STRUCTURAL ENGINEER AFTER THE SITE CUT & FILL IS COMPLETE

TYPICAL SLAB TRIMMER DETAILS



PROVIDE 3 N12 BARS TOP EXTEND 600 MIN. PAST EACH EDGE OF THE PENETRATION. APPLY TO LARGER THAN 150 x 150 PENETRATION.

SLAB PENETRATION TRIMMER



3 N12-2000 LONG (75 SPACING) TRIMMERS BARS AT ALL RE-ENTRANT CORNERS, TIED TO UNDERSIDE OF TOP REINFORCEMENT.

SLAB RE-ENTRANT CORNER TRIMMER

BUILDING APPROVAL
Issued under S28 of the Building Act 2004

Adam Davidson
License No. 2010141

Alterations and additions including carport

Issue Date 6/09/2017
NCC Occupancy Class 1a&10a
NCC Construction Type n/a

REFER TO FOOTING CONNECTION DETAIL

REFER TO FOOTING CONNECTION DETAIL

SLAB ON GROUND NOTES

- 100** DENOTES EXTENT OF 100 THICK SLAB ON 400mm MAXIMUM COMPACTED FILL REINFORCED WITH SL82 MESH TOP CONTINUOUS THROUGHOUT PLUS ANY EXTRAS AS NOTED ON PLAN AND IN DETAILS.
- 120** DENOTES EXTENT OF 120 THICK SLAB REINFORCED WITH SL82 MESH TOP & SL72 MESH BTM CONTINUOUS THROUGHOUT PLUS ANY EXTRAS AS NOTED ON PLAN AND IN DETAILS.
- 130** DENOTES EXTENT OF 130 THICK SLAB REINFORCED WITH SL82 MESH TOP & BTM CONTINUOUS THROUGHOUT PLUS ANY EXTRAS AS NOTED ON PLAN AND IN DETAILS.

REFER TO TABLE BELOW FOR CONCRETE COVERS

NOTES TO BE READ IN CONJUNCTION WITH PLANS AND TYPICAL DETAILS

REINFORCEMENT COVERS			
SLAB ON GROUND		INTERIOR	EXTERIOR
SLAB	TOP	20mm	45mm
	BTM	30mm	30mm
	SIDES	45mm	45mm

LEGEND

(170) DENOTES 170mm THICK SLAB

NOTE: DO NOT SCALE OFF DRAWINGS. REFER TO ARCHITECTURAL PLANS. VERIFY DIMENSIONS ON SITE


REV	DATE	DESCRIPTION	BY
A	15/06/17	ISSUED FOR BA	AJH

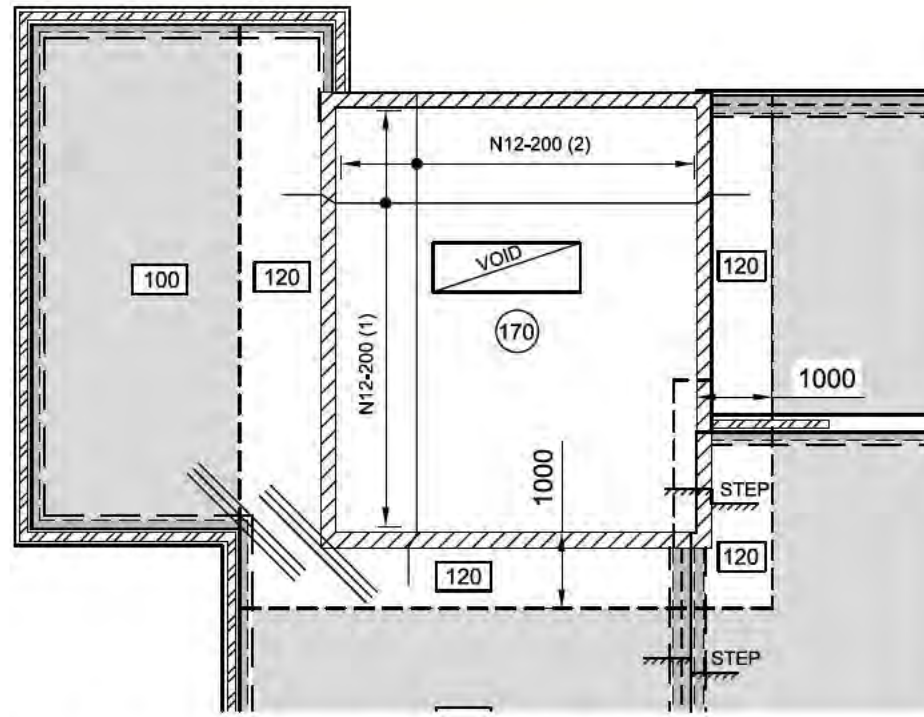
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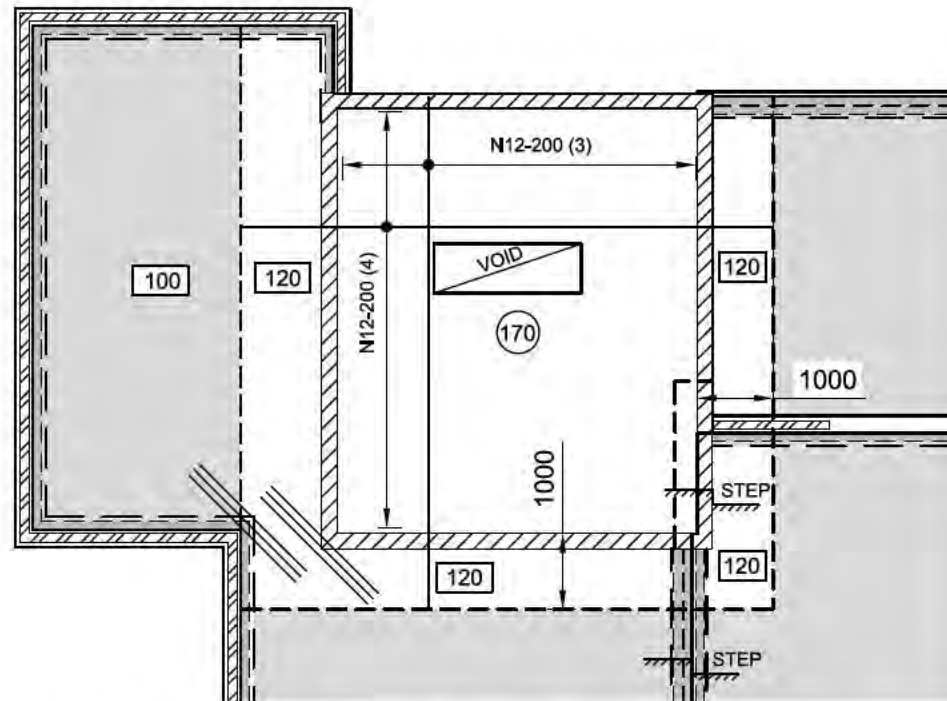
PROPOSED ADDITION
 BLOCK SECTION FORREST
 FOR DARREN ROBERTSON

FOOTING & SLAB PLAN

JOB NUMBER:	DWG NUMBER:	ORIGINAL SIZE:
17-231	S101	A3
DESIGNED BY: A.N.H.	DATE: 10.06.2017	
DRAWN BY: A.Z.	SCALE: 1:100	



BOTTOM REINFORCEMENT PLAN
1:100

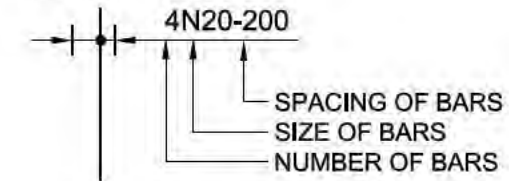


TOP REINFORCEMENT PLAN
1:100

REINFORCEMENT NOTES

- R1. ALL SLABS TO BE REINFORCED AS NOTED ON PLAN U.N.O. IN DETAILS.
- R2. FOR REINFORCEMENT TO HOBS, STAIRS, ETC REFER TO DETAILS.
- R3. REINFORCEMENT CROSSING PENETRATIONS IS TO BE DISPLACED, NOT CUT.

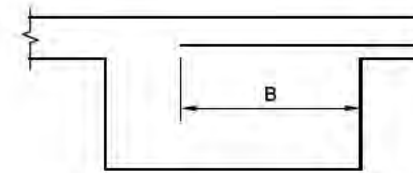
R4. BAR TAG NOTATION:



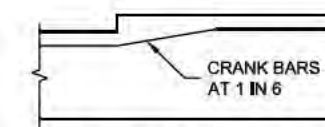
ALL SLAB REINFORCEMENT TO BE LAID IN SEQUENCE INDICATED BELOW:

- LAID FIRST N12-250(1)
- LAID SECOND N12-250(2)
- LAID THIRD N12-250(3)
- LAID FOURTH N12-250(4)

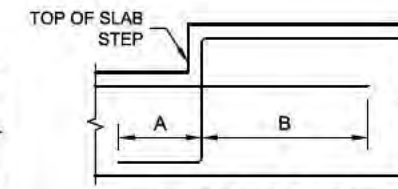
		INTERNAL	EXTERNAL
SLAB	TOP	20mm	45mm
	BTM	30mm	30mm
	SIDES	45mm	45mm



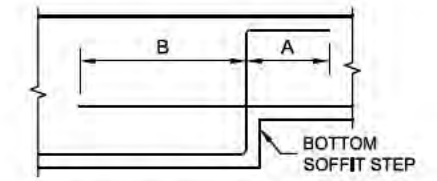
SLAB REO EXTENDING INTO BEAM



WET AREA SETDOWN



TOP OF SLAB STEP



BOTTOM OF SLAB STEP

TYPICAL REINFORCEMENT BAR LAP AT STEPS		
BAR DIA.	A	B
N12	200	600
N16	300	800
N20	400	1000
N24	500	1200
N28	600	1400
N32	700	1600
N36	800	1800

SLAB REINFORCEMENT MIN. SPLICE SCHEDULE	
BAR	LAP (mm)
UP TO N12	480
N16	640
N20	800
N24	960
N28	1120
N32	1280
N36	1440

STANDARD COG SCHEDULE	
BAR	COG (mm)
UP TO N12	200
N16	200
N20	245
N24	295
N28	340
N32	390
N36	440

BUILDING APPROVAL
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Adam Davidson
License No. 2010141

Alterations and additions including carport

Issue Date 6/09/2017
NCC Occupancy Class 1a&10a
NCC Construction Type n/a

NOTE: DO NOT SCALE OFF DRAWINGS. REFER TO ARCHITECTURAL PLANS. VERIFY DIMENSIONS ON SITE

REV	DATE	DESCRIPTION	BY
A	15/06/17	ISSUED FOR BA	AJNH

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E. Info@anh.net.au www.anh.net.au

PROPOSED ADDITION
BLOCK: SECTION FORREST
FOR DARREN ROBERTSON

TOP & BOTTOM REINFORCEMENT PLAN

JOB NUMBER:	DWG NUMBER:	ORIGINAL SIZE:
17-231	S102	A3
DESIGNED BY: A.N.H.	DATE: 10.06.2017	
DRAWN BY: A.Z.	SCALE: 1:100	

Sch 2 2.2(a)(ii)

BUILDING A
Issued under S28
Act 2

Adam Da
License No

Alterations an
including

Issue Date
NCC Occupancy
NCC Construct

SHOP WELD
E.A TO SB1
WELD 200 M

STEEL & TIMBER MEMBER SCHEDULE			
MARK	DESCRIPTION	SIZE	COMMENTS
SC1	STEEL BEAM	90 x 3,5 SHS	
SC2	STEEL BEAM	50 x 50 x 5 SHS	
SC3	STEEL BEAM	100 x 100 x 5 SHS	
SB1	STEEL BEAM	230 PFC + 150 x 8 E.A	
SB2	STEEL BEAM	250 x 150 x 5 RHS	
SB3	STEEL BEAM	250 x 150 x 5 RHS	
RB1	ROOF BEAM	250 PFC	
RB2	ROOF BEAM	250 PFC	
P1	TIMBER PURLIN	250 x 45 LVL @ 600 Ctrs	
OR	OUTRIGGER	65 x 35 x 2 @ 1200 Ctrs	WELDED TO RB1

NOTE:

TRUSS LAYOUT TO BE FORWARDED TO ANH CONSULTING ENGINEERS BEFORE COMMENCEMENT OF WORK ON SITE

DO NOT LOAD INTERNAL WALLS WITHOUT PERMISSION OF A STRUCTURAL ENGINEER

TIMBER TRUSSES, ROOF BRACING, WALL FRAMING, LINTELS
WALL BRACING AND EXISTING ROOF SUPPORT TRUSSES BY FRAMING COMPANY.

NOTE:

ARCHITECT/ BUILDER TO CHECK THE CLEARANCE, LEVELS AND LAYOUT OF STRUCTURAL STEEL MEMBERS BEFORE COMMENCEMENT ON SITE

NOTE:

1- DO NOT DEMOLISH LOAD BEARING WALLS BEFORE CONTACTING OUR OFFICE.
2- BUILDER CAN ENGAGE OUR OFFICE FOR ALTERNATIVE SUPPORT STRUCTURE.

NOTE:

PROVIDE PRYDA FASCIA SUPPORT AT EACH RAFTER WHERE R1 IS SUPPORTED

ROOF SUPPORT STRUCTURE

1:100

NOTE:
ALL LVL BEAMS ARE ASSUMED WEATHER PROTECTED, ADVISE OUR OFFICE OTHERWISE

SECTION 1
1:20 S103

NOTE: DO NOT SCALE OFF DRAWINGS. REFER TO ARCHITECTURAL PLANS. VERIFY DIMENSIONS ON SITE

REV	DATE	DESCRIPTION	BY
A	15/05/17	ISSUED FOR BA	A.J.H

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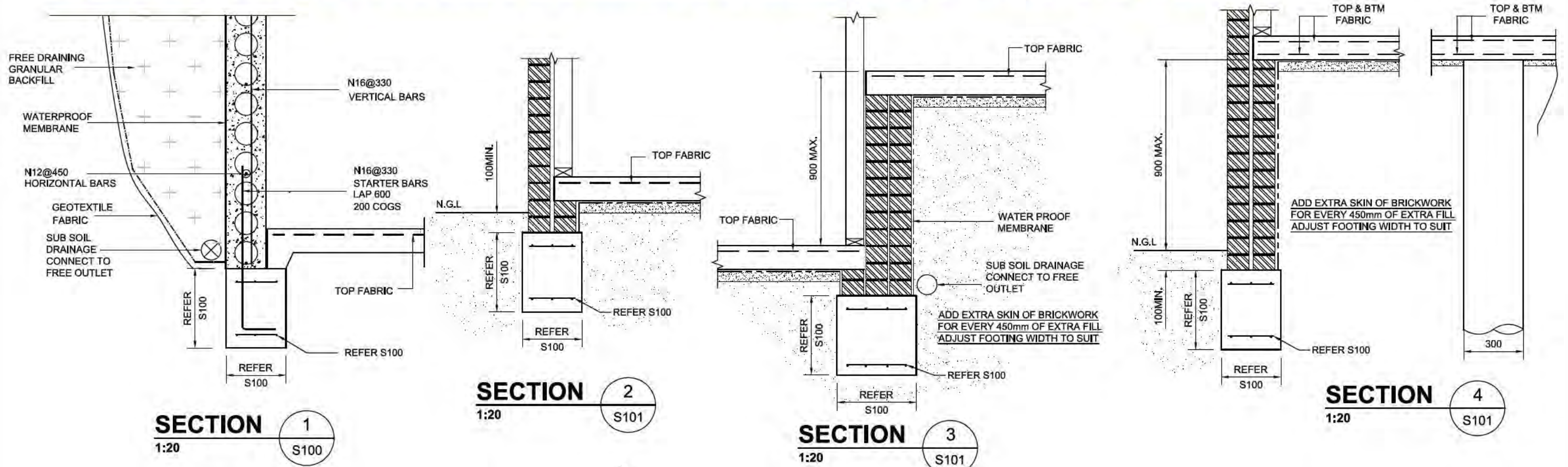
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PROPOSED ADDITION
BLOCK SECTION FORREST
FOR DARREN ROBERTSON

ROOF SUPPORT STRUCTURE

JOB NUMBER:	DWG NUMBER:	ORIGINAL SIZE:
17-231	S102	A3
DESIGNED BY: A.J.H	DATE: 10.06.2017	
DRAWN BY: A.Z	SCALE: 1:100	

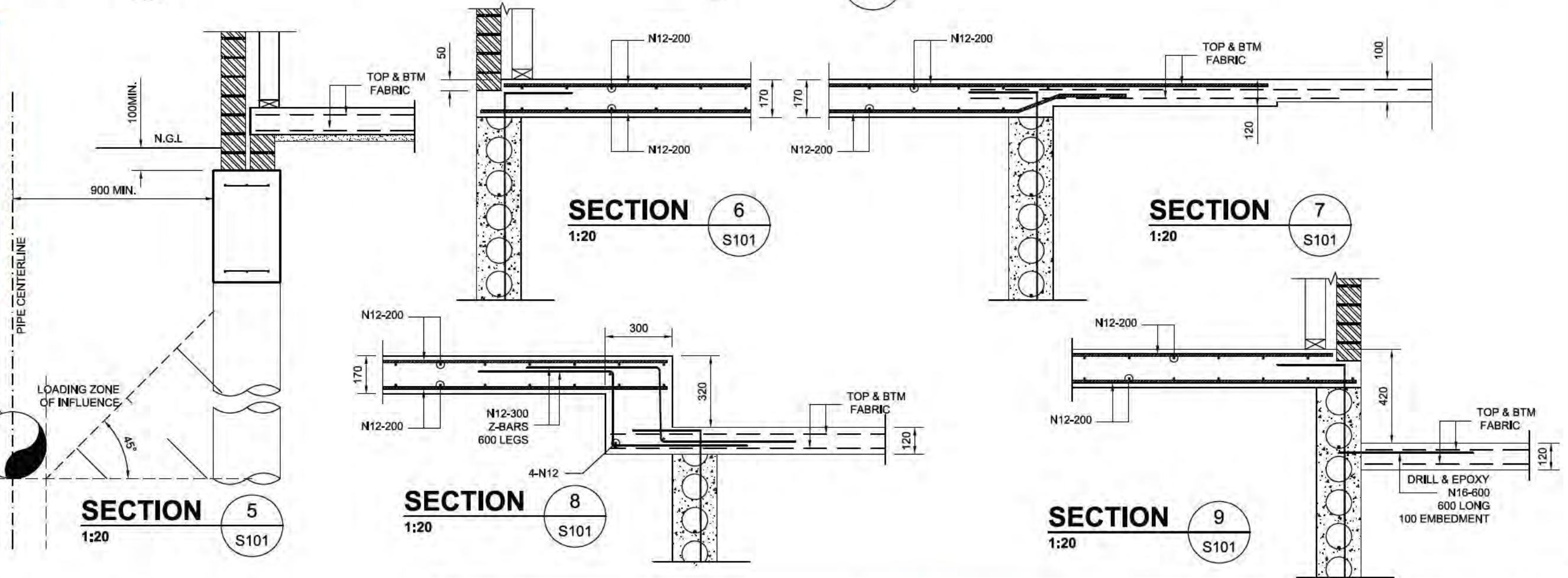


BUILDING APPROVAL
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Adam Davidson
License No. 2010141

Alterations and additions including carport

Issue Date 6/09/2017
NCC Occupancy Class 1a&10a
NCC Construction Type n/a



NOTE: DO NOT SCALE OFF DRAWINGS. REFER TO ARCHITECTURAL PLANS. VERIFY DIMENSIONS ON SITE

REV	DATE	DESCRIPTION	BY
A	15.05.17	ISSUED FOR BA	AJLH

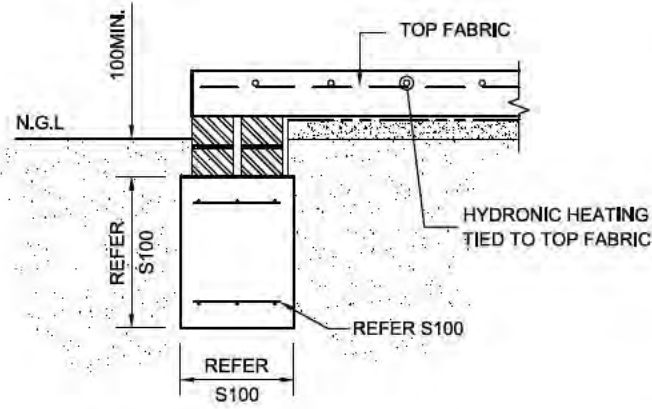
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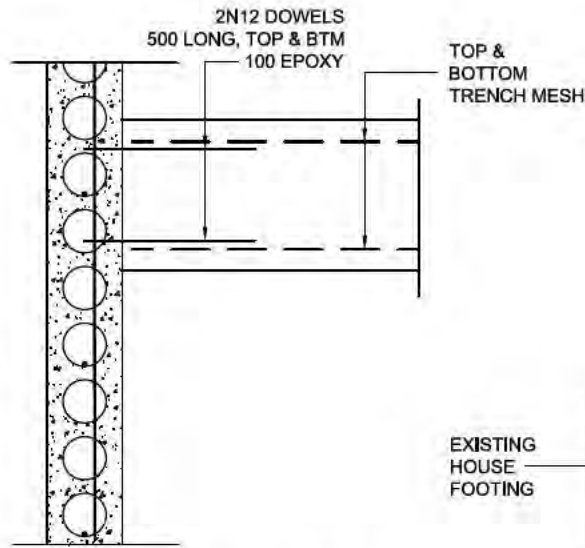
PROPOSED ADDITION
BLOCK SECTION FORREST
FOR DARREN ROBERTSON

FOOTING SLAB DETAILS

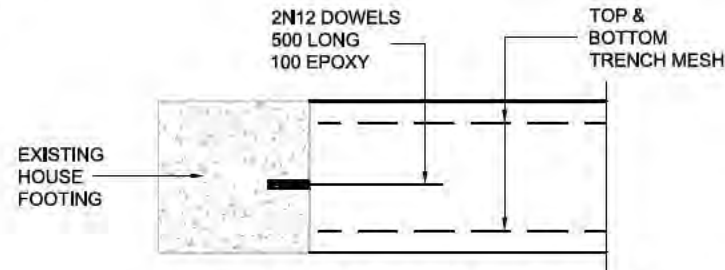
JOB NUMBER:	DWG NUMBER:	ORIGINAL SIZE:
17-231	S200	A3
DESIGNED BY: A.J.L.H.	DATE: 10.06.2017	
DRAWN BY: A.Z.	SCALE: 1:20	



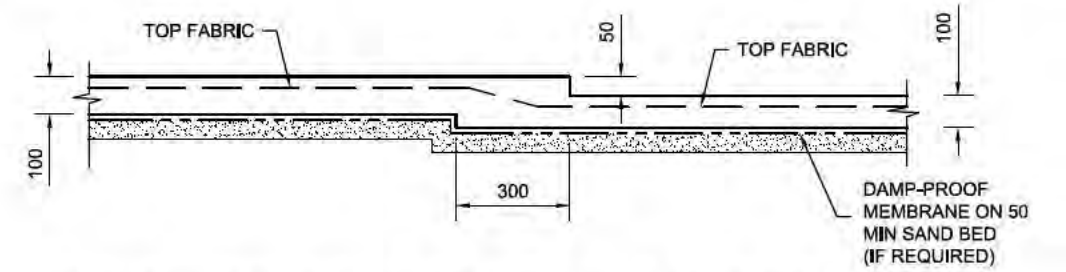
SECTION 10
1:20
S101



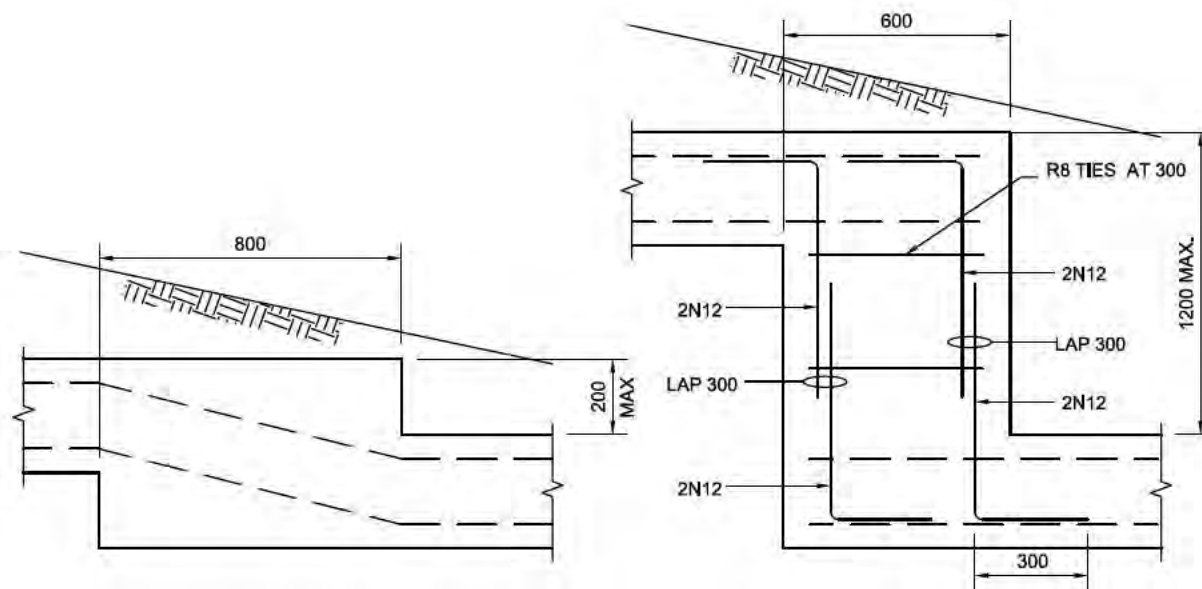
DETAIL A
1:20
S101



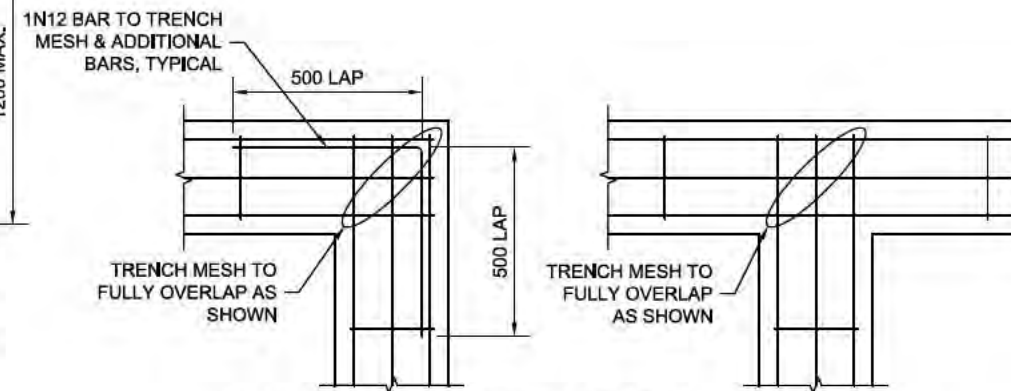
TYPICAL SF1 CONNECTION TO EXISTING FOOTING
SCALE : 1:20



TYPICAL SET DOWN TO WET AREAS IF REQUIRED
1:20



TYPICAL FOOTING STEP DETAIL (ELEVATION)
1:20



TYPICAL FOOTING CORNER DETAILS (PLAN)
1:20

NOTE: DO NOT SCALE OFF DRAWINGS. REFER TO ARCHITECTURAL PLANS. VERIFY DIMENSIONS ON SITE

REV	DATE	DESCRIPTION	BY
A	15.06.17	ISSUED FOR BA	AJNH

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Suite 4, 28 Colle St Fyshwick ACT (HIA Building)
T (02) 6100 0414 M. 0407 777 877

PROPOSED ADDITION
BLOCK SECTION FORREST
FOR DARREN ROBERTSON

JOB NUMBER	DWG NUMBER	ORIGINAL SIZE
17-231	S201	A3
DESIGNED BY: AJNH	DATE: 10.06.2017	
DRAWN BY: A.Z	SCALE: 1:20	

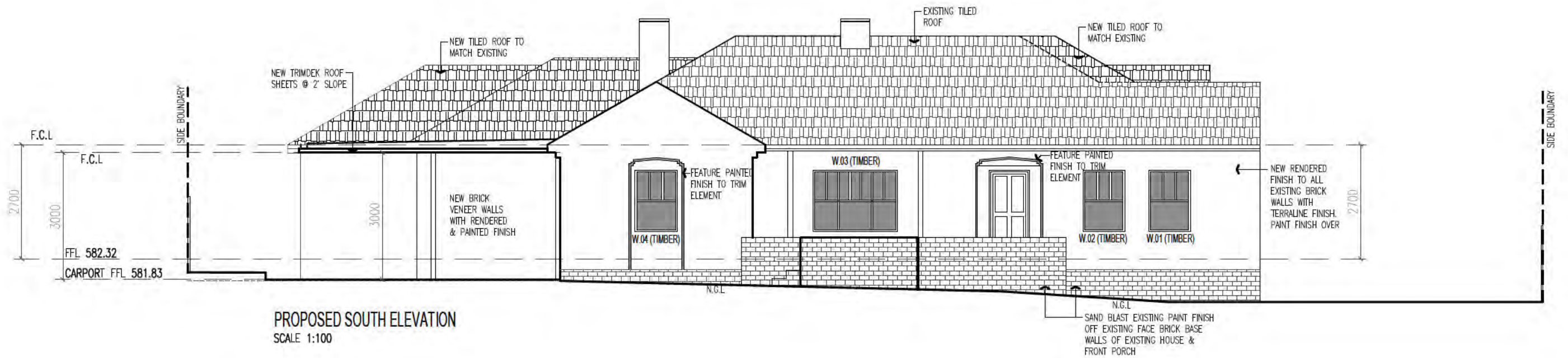


BUILDING APPROVAL
 Issued under S28 of the Building Act 2004

Adam Davidson
 License No. 2010141

Alterations and additions including carport

Issue Date: 6/09/2017
 NCC Occupancy Class: 1a&10a
 NCC Construction Type: n/a


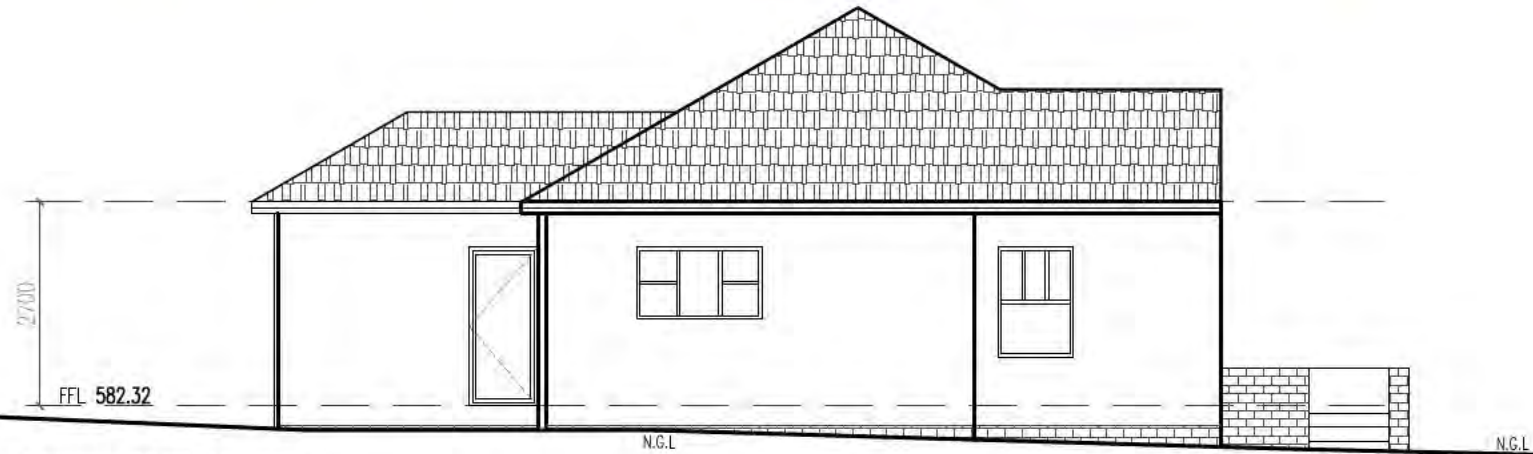


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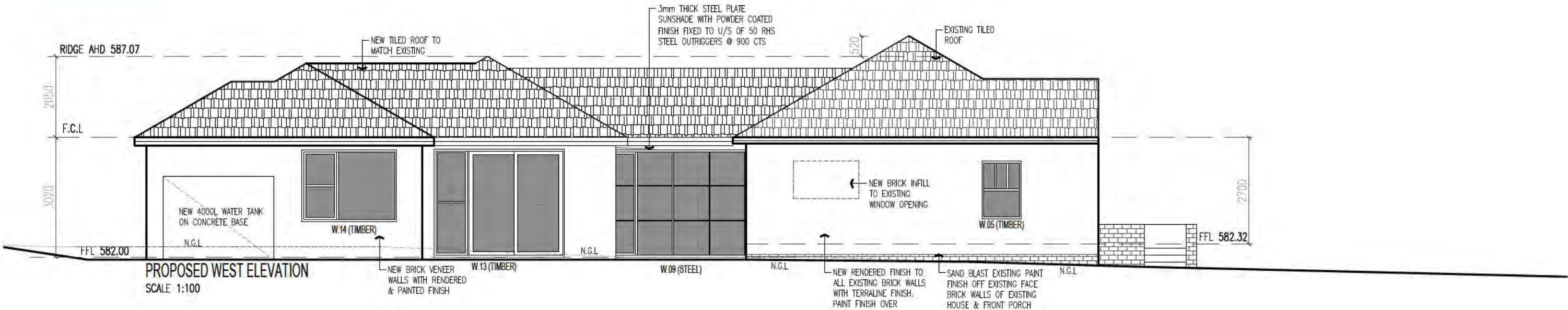
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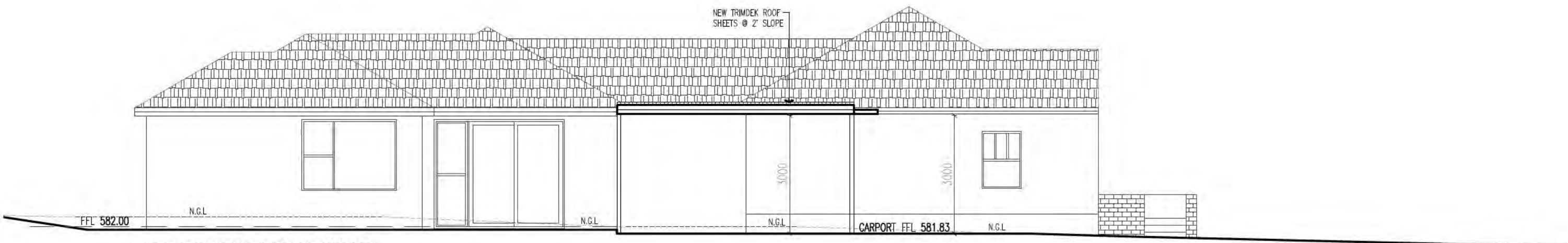
Issue Date: 6/09/2017
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 NCC Construction Type: n/a

EXISTING WEST ELEVATION
 SCALE 1:100



PROPOSED WEST ELEVATION
 SCALE 1:100



PROPOSED WEST ELEVATION - CARPORT
 SCALE 1:100

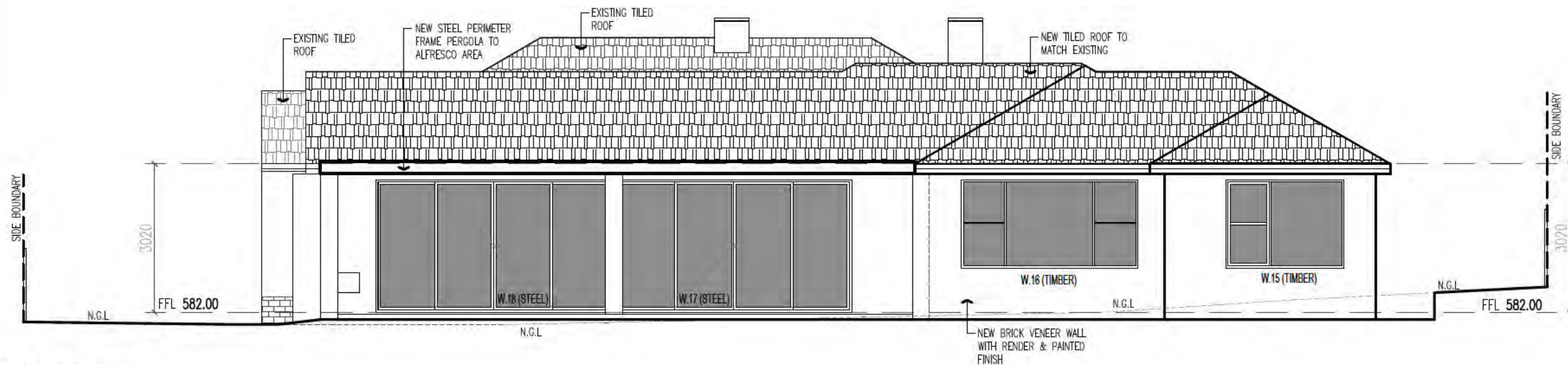


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PROPOSED NORTH ELEVATION
 SCALE 1:100

SIDE BOUNDARY



EXISTING EAST ELEVATION
SCALE 1:100

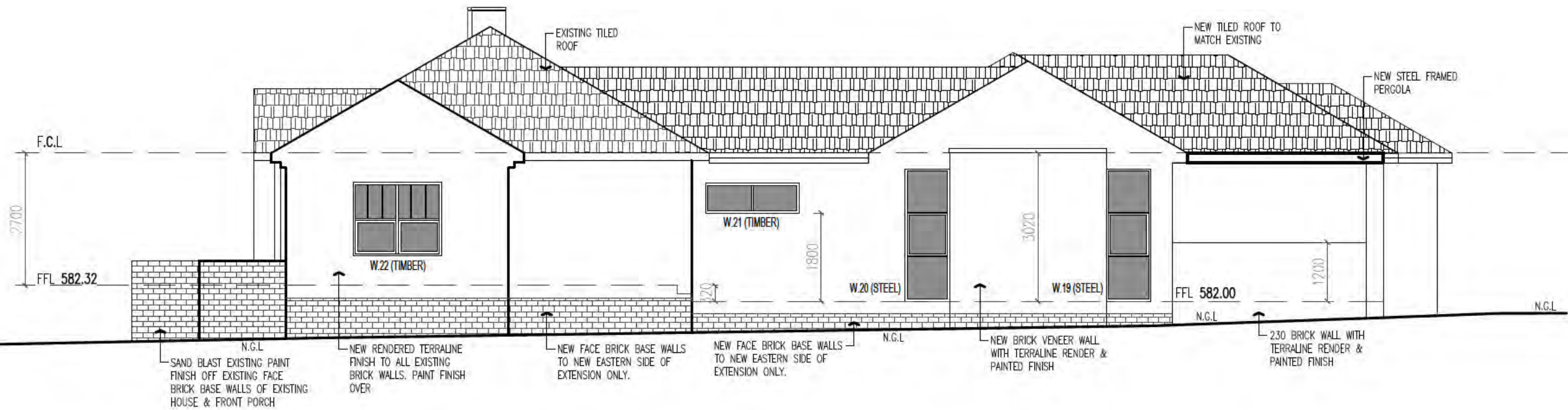
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SIDE BOUNDARY



PROPOSED EAST ELEVATION
SCALE 1:100



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MOB 0410 123 410 paul@plarchitects.com.au
6 / 25 BENTHAM ST YARRALUMLA ACT 2600

DRAWING TITLE
□□□□□□□□

STREET ADDRESS
FORREST ACT

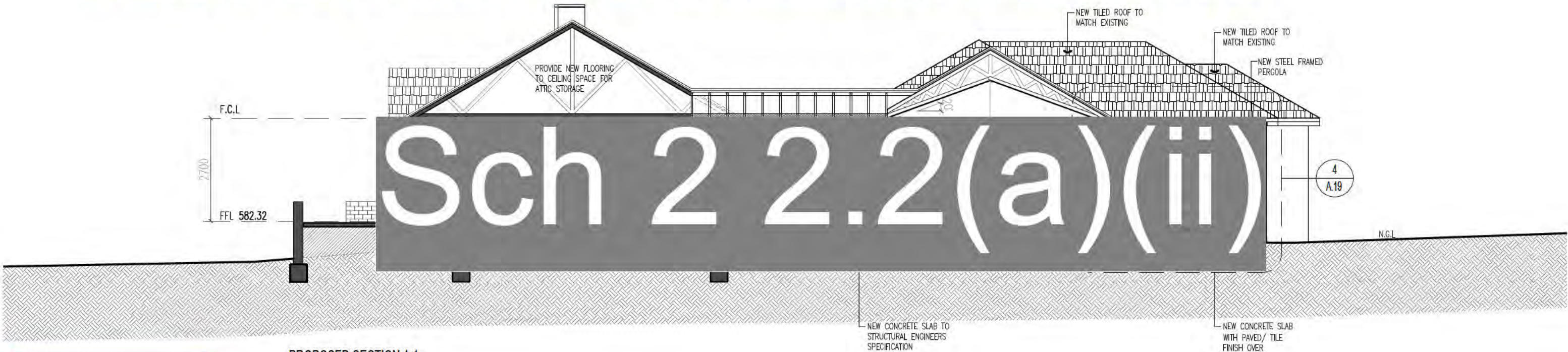
BLOCK/SECTION
FORREST ACT

CLIENT
Sch 2 2.2(a)(ii)

DATE
30.08.17

SCALE
1:100

DRAWING NO.
A.16



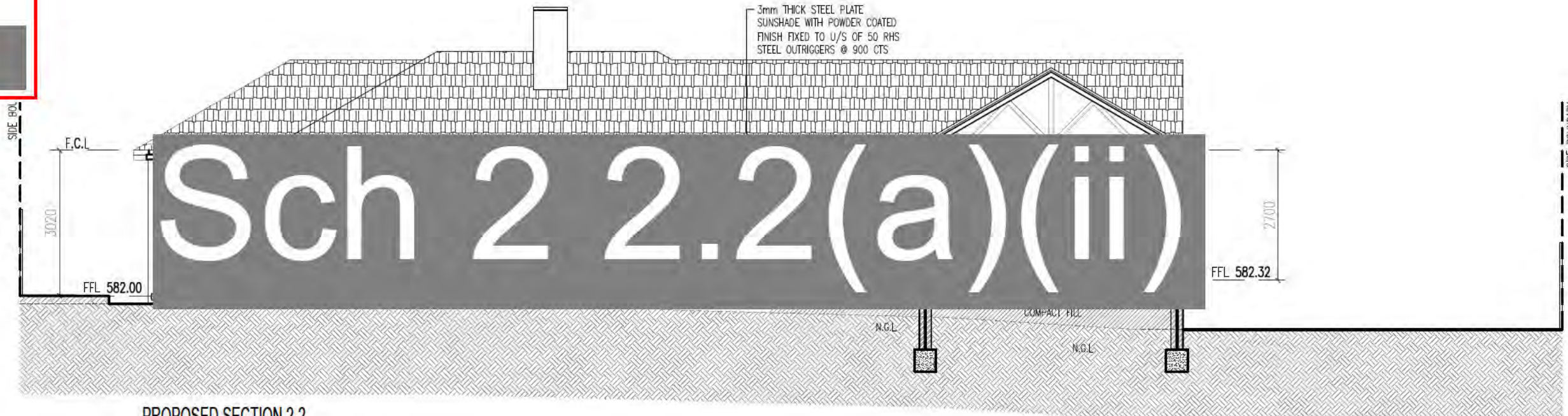
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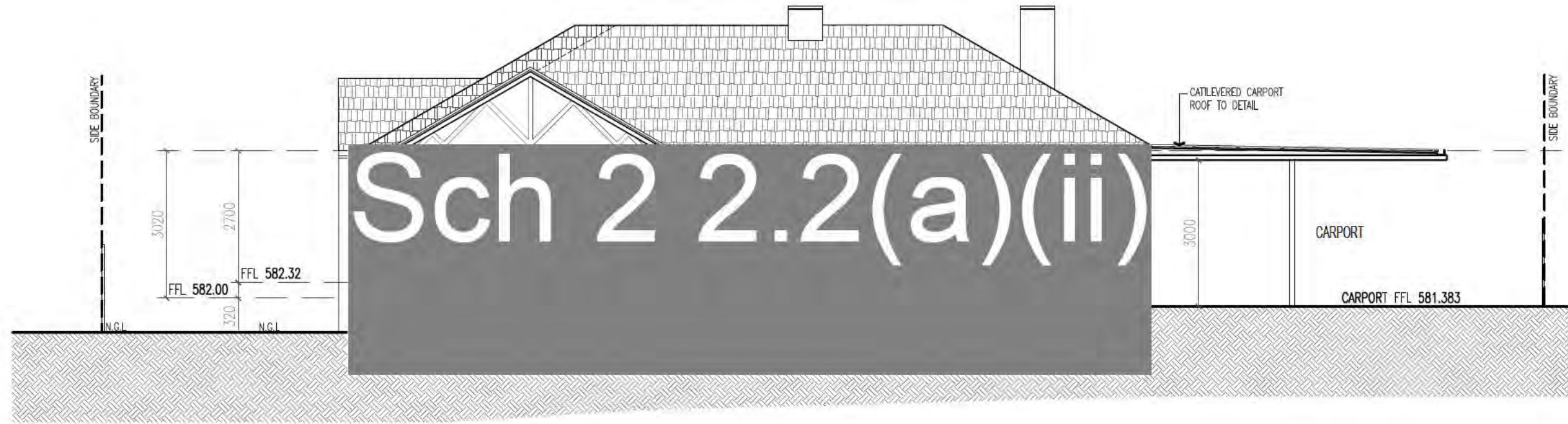
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NCC Construction Type: n/a



PROPOSED SECTION 2-2
SCALE 1:100



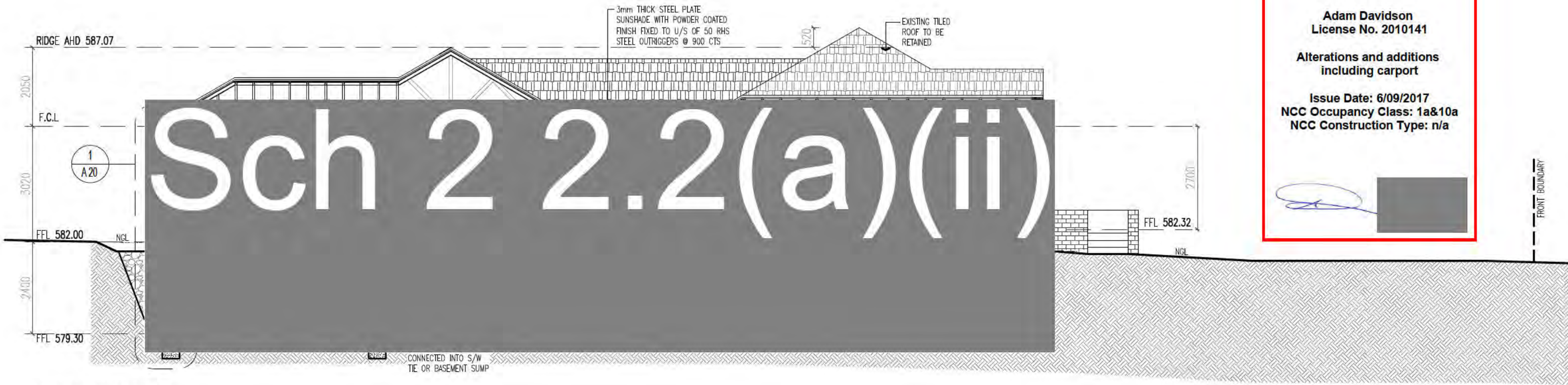
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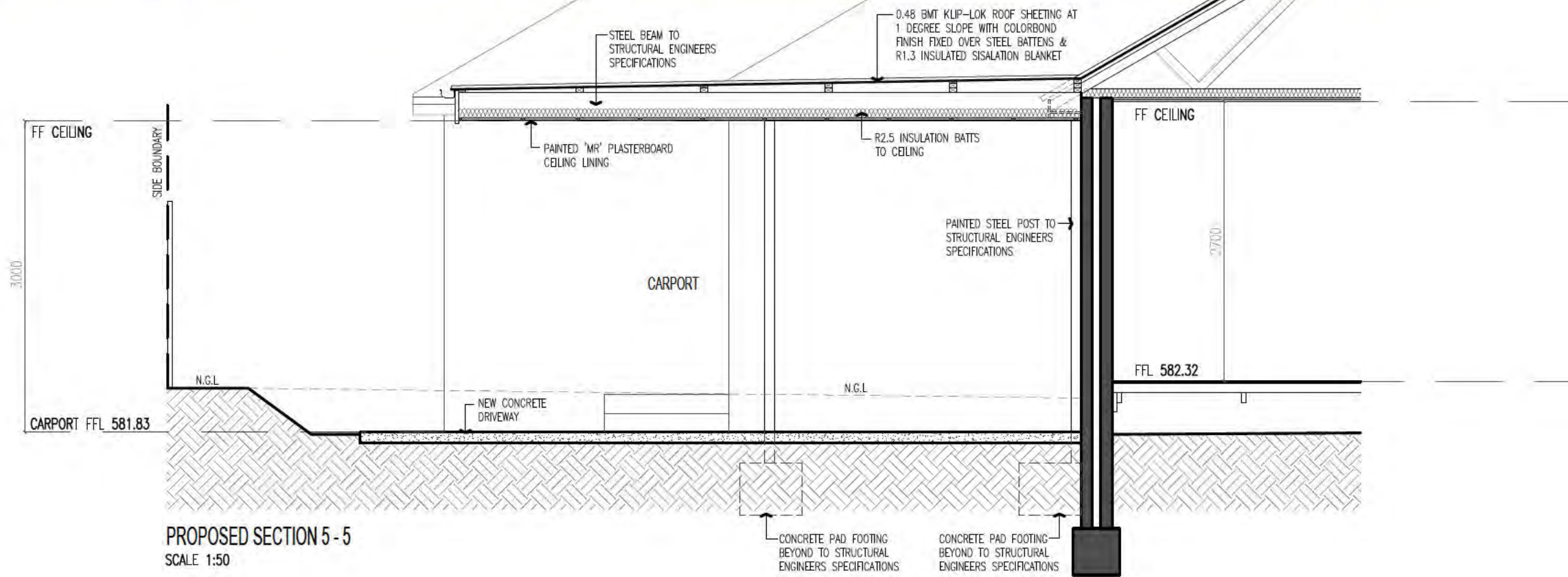
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NCC Construction Type: n/a



PROPOSED SECTION 4-4
SCALE 1:100

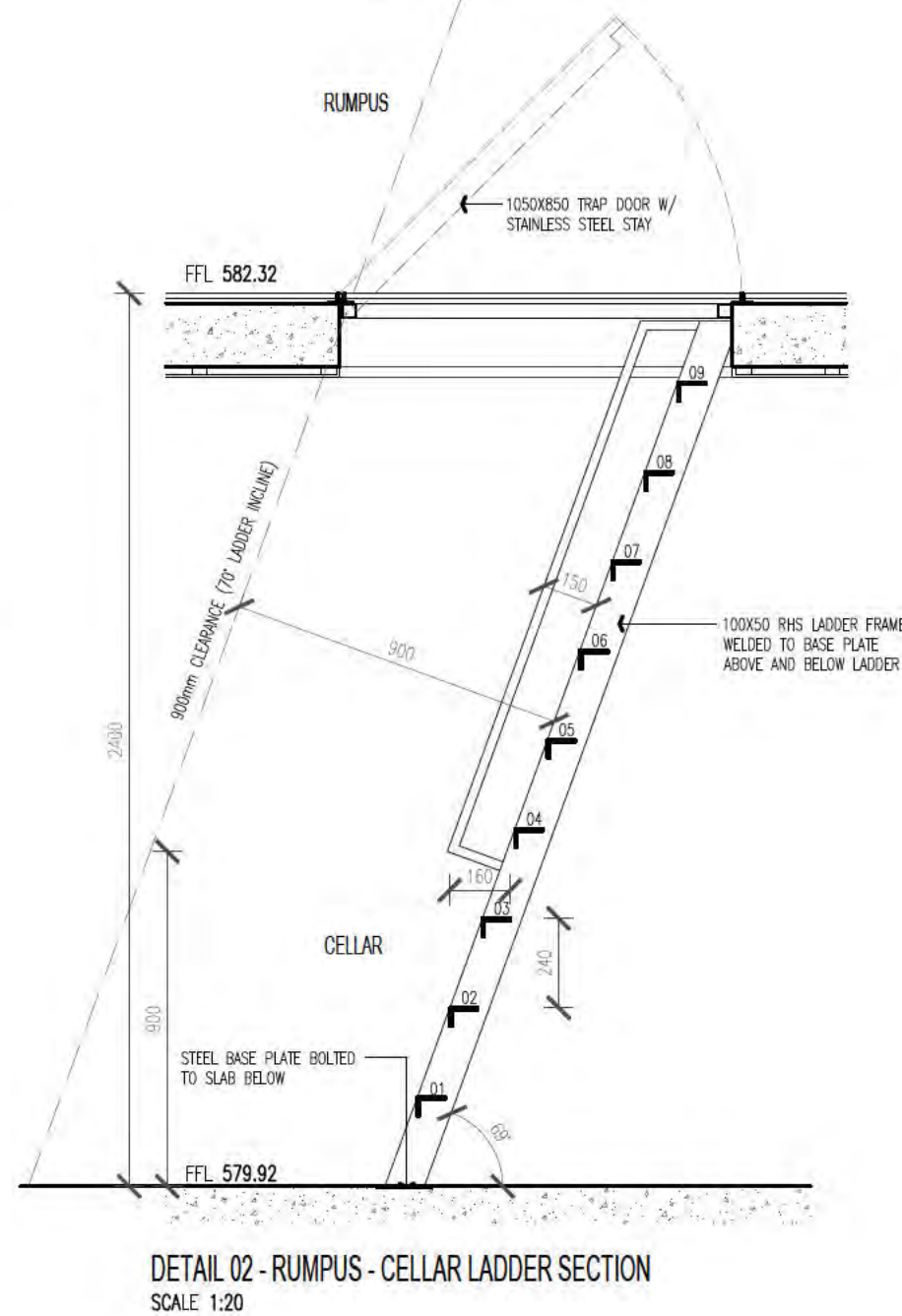
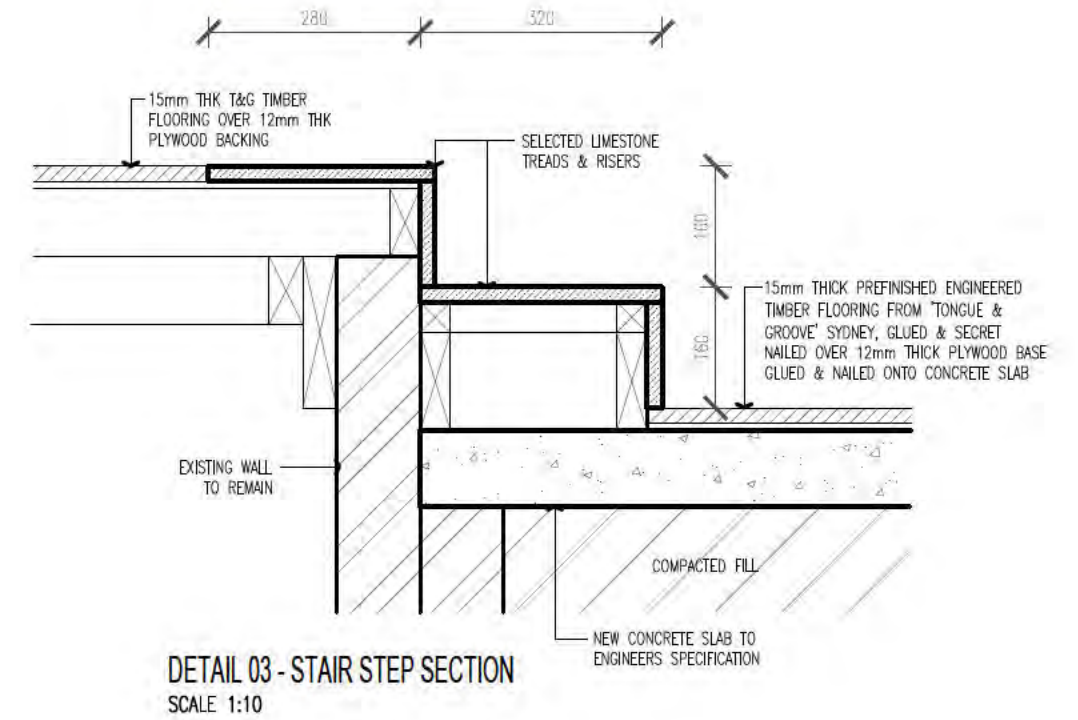
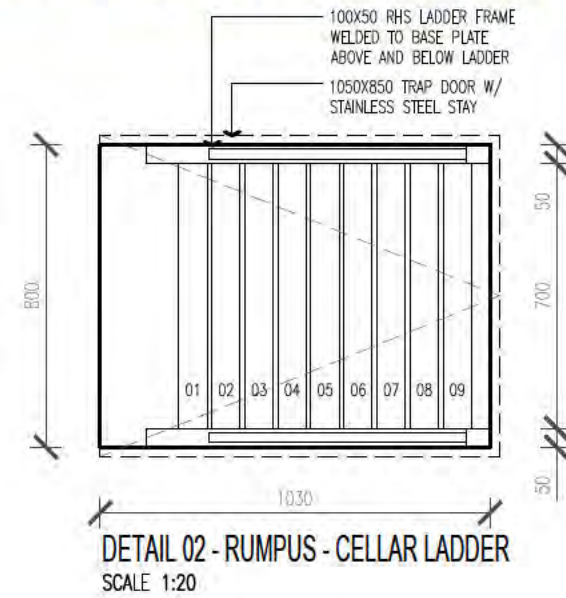
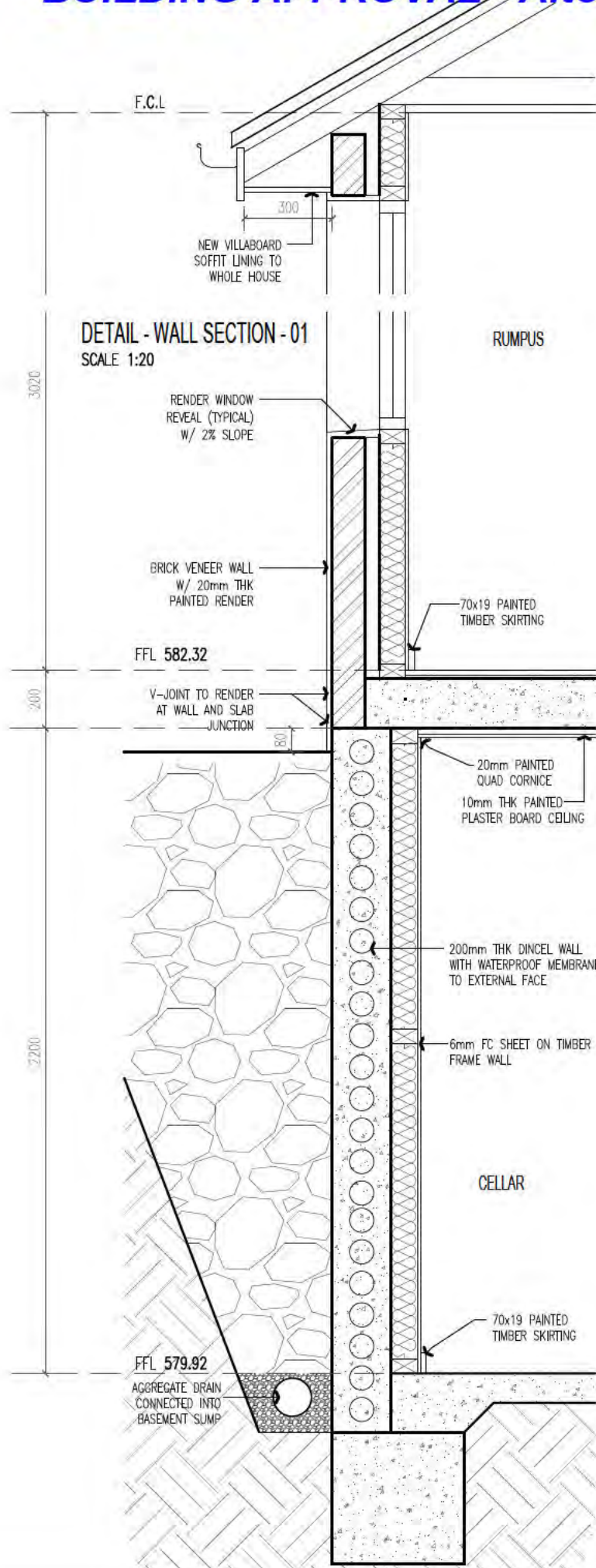


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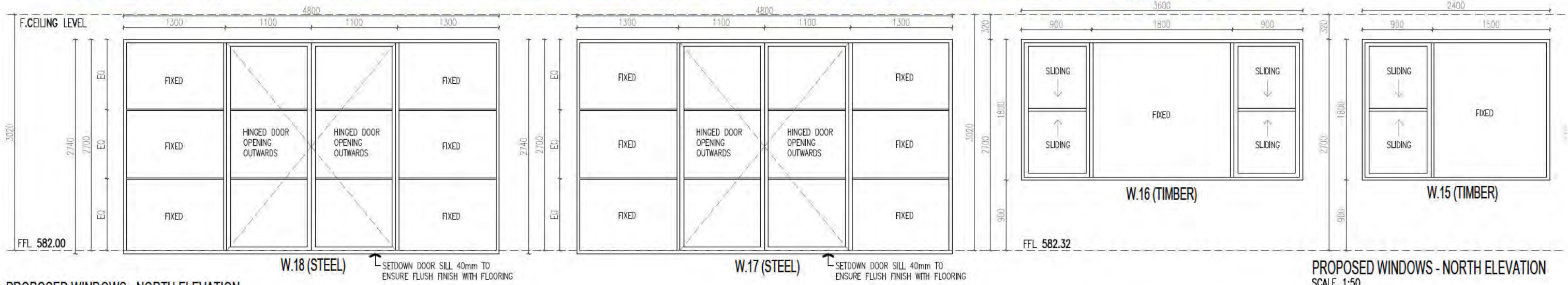
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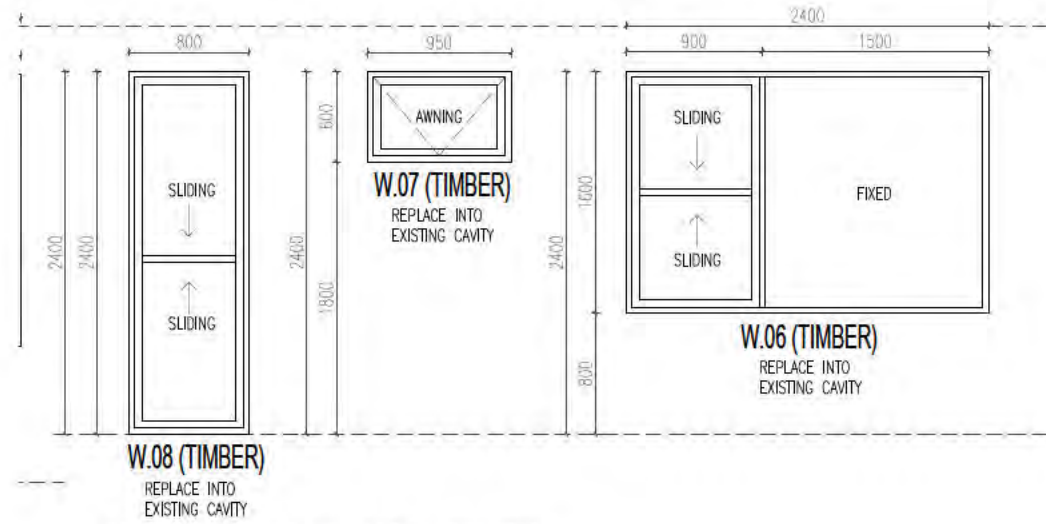
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NCC Construction Type: n/a

BUILDING APPROVAL - Alterations and additions including carport - BA DWG Page 22 of 29



PROPOSED WINDOWS - NORTH ELEVATION
SCALE 1:50

PROPOSED WINDOWS - NORTH ELEVATION
SCALE 1:50



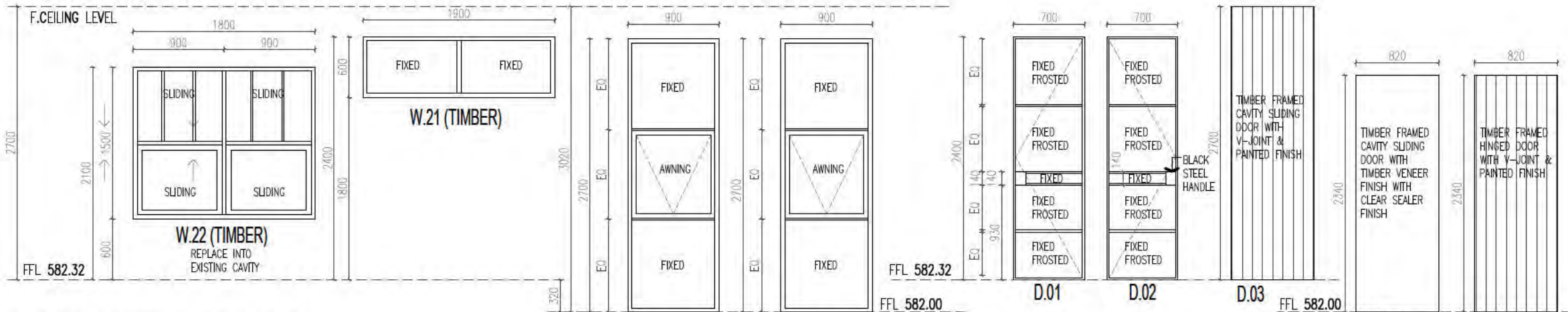
PROPOSED WINDOWS - NORTH ELEVATION
SCALE 1:50

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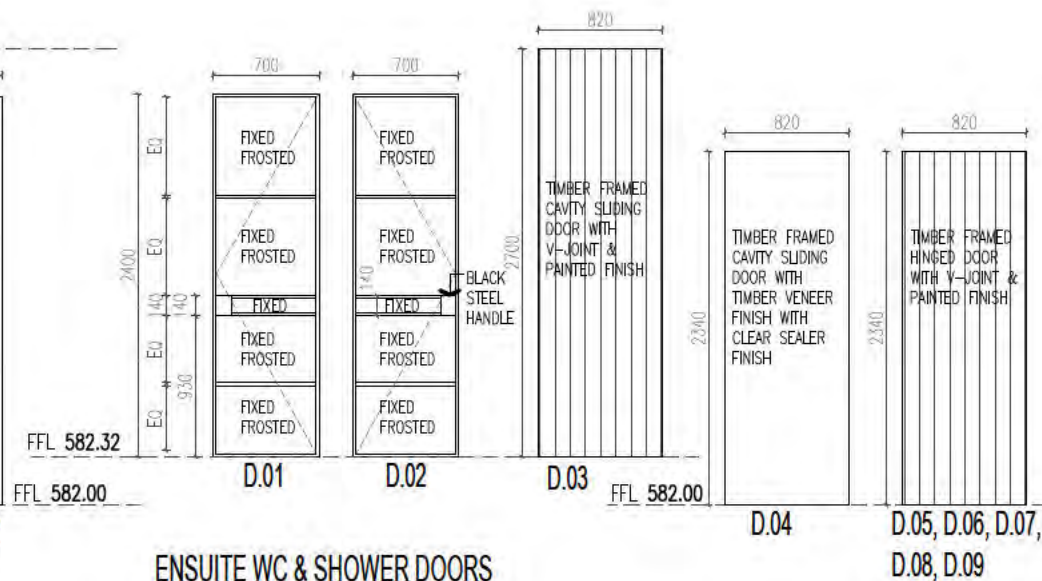
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including carport

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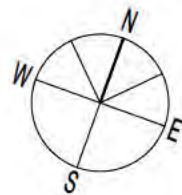


PROPOSED WINDOWS - EAST ELEVATION
SCALE 1:50

ENSUITE WC & SHOWER DOORS
SCALE 1:50



Sch 2 2.2(a)(ii)



PROPOSED GROUND FLOOR PLAN

SCALE 1:100

SITE AREA 1316.5m²

EXISTING (RETAINED) HOUSE AREA - 138m²

PROPOSED EXTENSION AREA - 188m²

CARPORT AREA - 36m²

TOTAL 362m² (362m² ALLOWABLE 27%)

PROPOSED PLOT RATIO - 27.5%

LANDSCAPE AREA - 771m² (58.5%)

MINIMUM REQUIRED 526.6m² (40%)

FRONT PORCH & PATHWAYS - 41m²

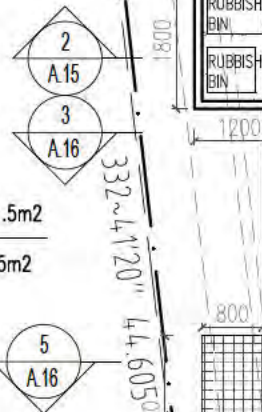
DRIVEWAY AREA - 82.5m²

STUDIO PAVED AREA - 7.5m²

REAR TERRACE AREA - 53m²

TOTAL HOUSE & CARPORT AREA - 361.5m²

TOTAL NOM-LANDSCAPED AREA - 545.5m²



NEW COBBLESTONE PAVING
OVER 100mm THICK
CONCRETE SLAB BASE

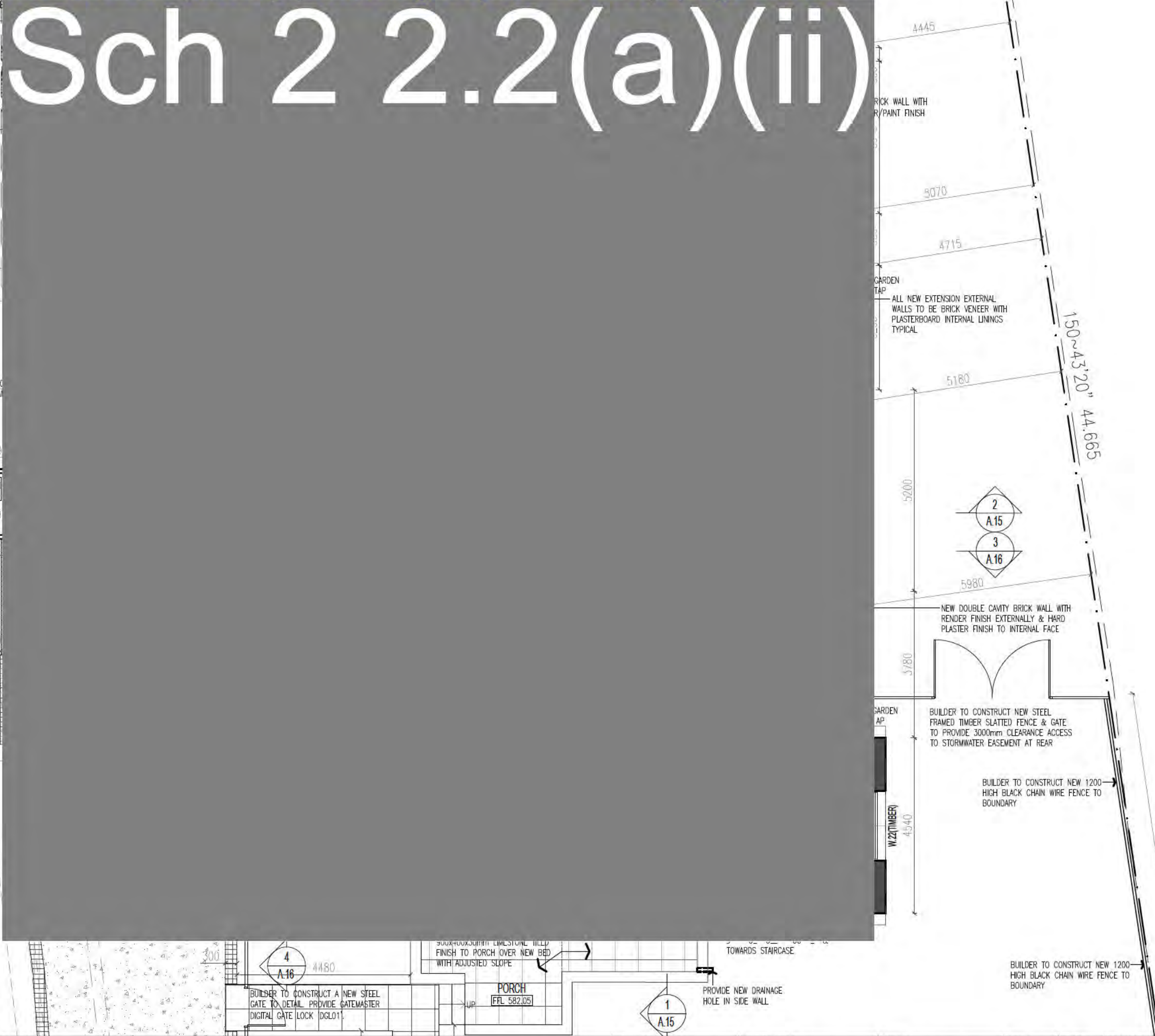
RENDER NOTES:
PROVIDE A TERRAZINE STIPLED RENDER FINISH
TO ALL NEW & EXISTING RENDERED WALLS.

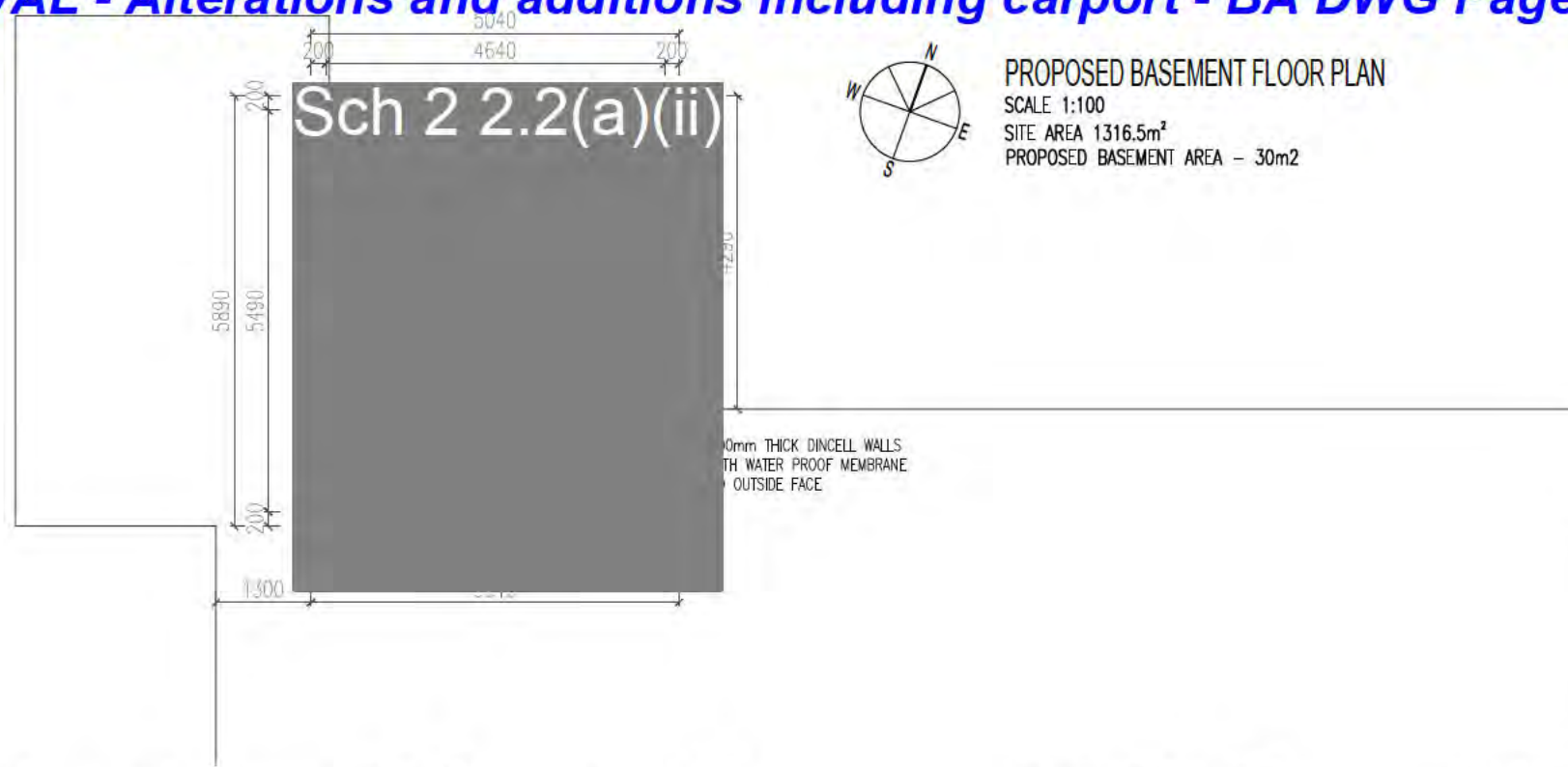
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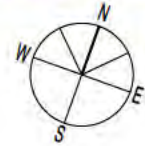
Alterations and additions including carport

Issue Date: 6/09/2017
NCC Occupancy Class: 1a&10a
NCC Construction Type: n/a





PROPOSED BASEMENT FLOOR PLAN
 SCALE 1:100
 SITE AREA 1316.5m²
 PROPOSED BASEMENT AREA - 30m²

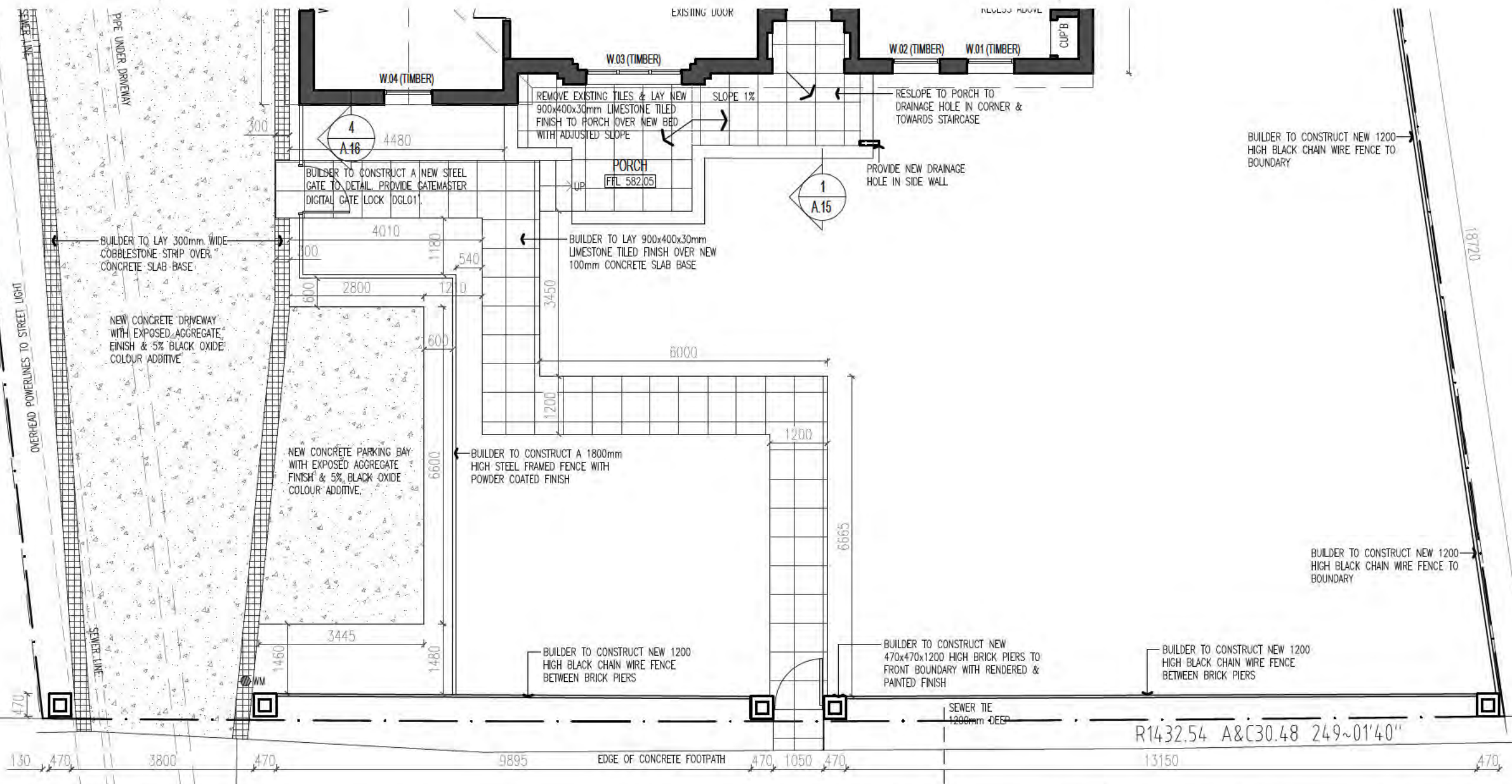


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PROPOSED FRONT LANDSCAPE PLAN
 SCALE 1:100

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REINFORCEMENT

- THE BUILDER IS TO ENSURE THAT ALL CONSTRUCTION WORK COMPLIES WITH ALL THE RELEVANT AUSTRALIAN STANDARDS & THE BUILDING CODE OF AUSTRALIA AND THAT ALL WORK IS CARRIED OUT IN A SAFE MANNER & DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED.
- THE BUILDER IS TO ENSURE THAT PRACTICAL COMPLETION OF THE WORKS IS ACHIEVED BY THE COMPLETION DATE SETOUT IN THE CONTRACT. THE BUILDER SHALL NOTIFY THE ARCHITECT IN WRITING SHOULD THE BUILDER FEEL AT ANY TIME DURING THE PROJECT THAT THE DUE DATE IS NOT ACHIEVABLE. IF WET DAYS ARE TO BE CLAIMED THE BUILDER SHALL INFORM THE ARCHITECT IN WRITING WITHIN 7 DAYS OF ANY DELAY OTHERWISE NO EXTENSION OF TIME SHALL BE PERMITTED.
- THE BUILDER SHALL ENSURE ALL ROOF, WALL & FLOOR FLASHINGS, DAMP PROOF COURSES, TERMITE BARRIERS & WATERPROOF TREATMENTS ARE PROVIDED IN ACCORDANCE WITH THE BCA & AUSTRALIAN STANDARDS.
- ALL MATERIALS SHALL BE NEW & OF THE BEST OF THEIR RESPECTIVE KINDS.
- THE BUILDER SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND SERVICES PRIOR TO EXCAVATION.
- THE BUILDER SHALL PROVIDE ALL PLANT & EQUIPMENT NECESSARY FOR THE EXECUTION OF THE PROJECT.
- THE BUILDER IS RESPONSIBLE FOR KEEPING THE SITE IN A CLEAN STATE AND SHALL REGULARLY REMOVE RUBBISH & DEBRIS.
- THE BUILDER SHALL ENSURE THAT ALL NECESSARY ACTION IS TAKEN TO ENSURE THAT ALL MATERIALS, ITEMS & WORK ARE ORDERED IN ADEQUATE TIME TO ACHIEVE PRACTICAL COMPLETION BY THE DUE DATE.
- THE BUILDER IS RESPONSIBLE FOR ENSURING ALL TESTING OF ALL PLUMBING WORK, AND ANY OTHER REQUIRED ITEMS ARE CARRIED OUT IN ACCORDANCE WITH THE BCA & AUSTRALIAN STANDARDS. TESTING OF ELECTRICAL BY BUILDERS' ELECTRICIAN.
- THE BUILDER SHALL OBTAIN & FURNISH TO THE OWNERS ALL WARRANTIES FOR APPLIANCES, MATERIALS & WORKMANSHIP AS STATED IN THESE NOTES.
- THE BUILDER IS RESPONSIBLE FOR OBTAINING & PAYING FOR ALL STATUTORY PERMITS TO COMPLETE THE WORKS EXCEPT DEVELOPMENT APPLICATION FEES, BEPCON LEVIES & THE CERTIFIERS FEES.

DEMOLITION

- ALL DEMOLITION TO AS2601
- BUILDER TO REMOVE ALL EXISTING ASBESTOS FROM THE HOUSE INSIDE & OUT AS IDENTIFIED IN THE ASBESTOS REPORT.
- BUILDER TO DEMOLISH THE EXISTING GARAGE & PARTS OF THE EXISTING HOUSE STRUCTURE AS REQUIRED TO COMPLETE THE WORKS.
- ALL DEMOLISHED MATERIALS, RUBBISH AND DEBRIS SHALL BE REMOVED FROM THE SITE ON COMPLETION OF DEMOLITION.
- BUILDER TO UNDERTAKE ALL EXCAVATION WORK & ADJUST EXISTING LEVELS ON SITE AS REQUIRED TO COMPLETE THE WORKS.
- BUILDER IS RESPONSIBLE FOR REMOVING FROM SITE ANY FILL CREATED BY EXCAVATION & SITE WORKS UNLESS SOIL CAN BE USED ON-SITE TO ACHIEVE NEW NOMINATED SITE LEVELS SHOWN ON THE DRAWINGS.
- REDIRECTION OF EXISTING SITE UTILITIES / SERVICES AS REQUIRED SHALL BE COMPLETED BY THE BUILDER.
- DURING EXCAVATION THE BUILDER SHALL ENSURE THAT NO DAMAGE OCCURS TO ADJOINING PROPERTIES, FENCES, GARDENS ROADS FOOTPATHS OR VEHICLES. THE BUILDER IS RESPONSIBLE FOR MAKING GOOD ANY DAMAGE THAT MAY OCCUR.
- THE BUILDER SHALL MAKE ADEQUATE EXAMINATION OF THE SITE AND IS RESPONSIBLE FOR CHECKING THE ACTUAL LEVELS AGAINST THE LEVELS SHOWN ON DRAWINGS.
- THE BUILDER IS RESPONSIBLE FOR ENSURING THE NEW BUILDING WORKS ARE SET OUT BY A REGISTERED SURVEYOR IN ACCORDANCE WITH THE DRAWINGS.
- BACKFILL ALL TRENCHES AND OTHER EXCAVATIONS WITH 'B' GRADE CRUSHED ROCK RAMMED & COMPACTED IN LAYERS OF 150mm DEPTH.

REINFORCEMENT

- REINFORCEMENT SHALL BE SUPPLIED, FABRICATED AND PLACED IN ACCORDANCE WITH THE STRUCTURAL ENGINEERS SPECIFICATIONS.
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS3600 AND AS2870
- PROVIDE NOMINATED EXTRUDED INSULATION PANELS UNDER ALL NEW GROUND FLOOR CONCRETE SLABS & TO EDGE OF GROUND FLOOR SLABS. REFER TO INSULATION NOTES ON A.02.
- ALL NEW CONCRETE FLOOR SLABS TO BE CONSTRUCTED TO STRUCTURAL ENGINEERS SPECIFICATIONS.
- NO ADD-MIXTURES INCLUDING FLYASH OR SLAG ARE TO BE USED. EMERSON VIBRATORS SHALL BE USED WHEN PLACING FOOTING CONCRETE
- ALL CONCRETE SLABS TO HOUSE SHALL BE POURED OVER POLYURETHANE MEMBRANE WITH TESA TAPE AT JOINS & UNDERSLAB INSULATION PANELS.
- ALL SERVICES CROSSING THE FOOTING SHALL BE PLACED UNDER THE FOOTINGS AT RIGHT ANGLES OR HORIZONTALLY AND AT RIGHT ANGLES IN THE FOOTING MIDDLE THIRD TO AS2870
- COVER SLABS FOR MIN. 4 DAYS WITH POLYTHENE WITHIN 2 HOURS OF FINISHING
- ALL EXPOSED CORNERS SHALL BE TOOLED
- NO CONCRETE SHALL BE PLACED WHEN THE AIR TEMPERATURE EXCEEDS 32°C OR IS LESS THAN 5°C.
- THE BUILDING CERTIFIER OR STRUCTURAL ENGINEER SHALL APPROVE THE PLACING AND FIXING OF REINFORCEMENT PRIOR TO CONCRETE BEING POURED.
- SUB-BASE TO SLABS ON GROUND, INCLUDING BACK-FILLING OVER FOOTINGS SHALL BE THOROUGHLY COMPACTED IN 150mm LAYERS.
- ALL FORMWORK SHALL CONFORM TO THE REQUIREMENTS OF AS3610.

BRICKWORK

- ALL BRICKWORK SHALL BE SUPPLIED AND LAID TO AS3700 & HAVE A RENDERED & PAINTED FINISH TO MATCH EXISTING.
- MORTAR SHALL BE 1:1:6 CEMENT-LIME-SAND. ALL MATERIALS TO BE CLEAN & FREE OF IMPURITIES. ALL BRICK MORTAR BELOW GROUND LEVEL AND TO 400mm MAX ABOVE GROUND LEVEL TO HAVE XYPEX ADDITIVE AT A RATE OF 150ML MEASURE OF XYPEX POWDER PER TWO CUBIC FT OF MORTAR
- MORTAR SHALL BE MIXED BY MECHANICAL BATCH MIXER NOT ON PATHS. MORTAR SHALL BE USED WITHIN (1) HOUR OF FIRST ADDING WATER
- BRICK TOR SHALL BE LAID IN BED JOINTS EVERY 4TH COURSE GENERALLY AND EVERY 2ND COURSE MAX OVER AND TO 1m EACH SIDE OF WINDOWS, DOORS AND OPENINGS UNO
- THE BUILDER IS RESPONSIBLE FOR PROPPING AND STABILITY OF BLOCKWORK DURING CONSTRUCTION
- THE BUILDER IS RESPONSIBLE FOR THE LOCATION OF VERTICAL EXPANSION CONTROL JOINTS TO SUIT BRICK EXPANSION VALUE 'e' OF BRICKS USED & IN ACCORDANCE WITH AS2733
- BUILD IN ALL NECESSARY FLASHINGS, DAMP PROOF COURSES, REINFORCEMENTS, ARCH BARS, LINTELS, SILLS, WALL TIES, FRAMES, STRAPS, JOISTS AND THE LIKE.
- KEEP BEDS LEVEL, PERPENDS VERTICAL & ALL JAMBS, REVEALS, QUOINS & WALL FACES PLUMB
- CLEAN ALL CONCRETE SURFACES OF DUST & DEBRIS PRIOR TO LAYING OF BRICKWORK.
- REMOVE EXCESS MORTAR BEFORE IT SETS HARD.
- ALL BRICKWORK TO BE LAID IN STRETCHER BOND.
- PROVIDE RENDERED BRICK ON EDGE SILLS TO ALL WINDOWS TO MATCH EXISTING HOUSE SILLS.

REINFORCEMENT

- NEW EXTERNAL WALLS TO BE BRICK VENEER TYPICAL WITH A TERRALINE RENDER & PAINTED FINISH. PROVIDE FACE BRICK BASE WALLS TO EASTERN SIDE OF EXTENSION ONLY.
- ALL EXISTING EXTERNAL BRICK WALLS TO HAVE NEW RENDERED FINISH WITH A TERRALINE FINISH. PAINT FINISH OVER.
- SAND BLAST EXISTING PAINT FINISH OFF EXISTING FACE BRICK BASE WALLS OF EXISTING HOUSE.

FRAMING

- ALL TIMBER FRAMING ELEMENTS (WALLS, TRUSSES ETC) TO BE FULLY TERMITE RESISTANT.
- ROOF TRUSSES AND WALL BRACING SHALL BE DESIGNED TO AS 1684 & FOR WIND CATEGORY AS SPECIFIED BY THE STRUCTURAL ENGINEER.
- ALL TIMBER FRAMING SHALL BE CONSTRUCTED TO AS1684 UNO. TIMBERS SHALL BE STRAIGHT GRAINED SOUND & IN LONG LENGTHS FREE FROM LARGE & LOOSE KNOTS, SHAKES, SAPWOOD, GUM VEINS, WAVY EDGES AND OTHER DEFECTS.
- ALL SEASONED TIMBER SHALL HAVE A MOISTURE CONTENT OF NOT LESS THAN 10% NOR MORE THAN 15% AT THE TIME OF FIXING.
- ANY TIMBERS CONTAINING LIVE BORERS, INSECTS OR PESTS SHALL BE IMMEDIATELY REMOVED FROM THE SITE.
- ALL TIMBERS DELIVERED TO SITE SHALL BE STACKED TO PREVENT TWISTING & WARPING, ALL SEASONED TIMBERS SHALL BE KEPT DRY & COVERED WITH IMPERVIOUS SHEETING.
- MINIMUM STUDWORK TO TIMBER FRAMING CODE.
- WINDOW AND DOOR LINTELS BY TRUSS MANUFACTURER.
- PROVIDE 'ALCOR' BENEATH ALL TIMBERS AT BEARINGS ON BRICKWORK OR CONCRETE.
- FIX NOGGINGS AT 1200mm CENTRES GENERALLY AND ALSO WHERE REQUIRED FOR FIXING OF POWER POINTS, LIGHTS, FITTINGS, PIPING, CISTERNS, TOWEL RAILS & TOILET ROLL HOLDERS ETC.
- PROVIDE DOUBLE STUDS BEHIND ANY FIBRE CEMENT / VILLABOARD SHEET JOINTS.
- ANY EXTERNAL TIMBER SHALL BE DURABILITY CLASS 1 TO AS1684.

ROOFING

- ALL ROOFING AND PLUMBING WORK TO BE IN ACCORDANCE WITH THE RELEVANT CODES.
- ALL ROOFS TO HAVE RECYCLED TERRACOTTA ROOF TILES AT SLOPE TO MATCH EXISTING.
- PROVIDE NEW SLOTTED COLORBOND 'QUAD' GUTTERING TO WHOLE HOUSE.
- PROVIDE 75x100mm COLORBOND DOWN PIPES WITH STAND-OFF BRACKETS TYPICAL UNLESS DRAINING INTO RAIN WATER TANK THEN 90mm ROUND PAINTED PVC DOWNPIPES TO BE USED.
- ON ALL ROOFS THE BUILDER SHALL PROVIDE THE PROPRIETOR WITH A SEVEN YEAR GUARANTEE AGAINST ANY FAILURE OR DEFECT DUE TO FAULTY WORKMANSHIP AND/OR MATERIALS IN THE ROOFING SUCH AS THE ROOF COVERING, FLASHING, ROOF PLUMBING GUTTERING & DOWNPIPES INCLUDING ANY DISLODGE MENT OF TILES, ROOF SHEETING ETC DUE TO WINDLOADS OR FAILURE OF ANY ROOF TO EXCLUDE WATER AND WEATHER FROM ROOF WORK.
- PROVIDE FLASHING OVER ALL WINDOWS, DOORS, UNDER WINDOW SILLS, ACROSS CAVITIES, AT JUNCTIONS, BETWEEN DIFFERENT WALL COVERINGS AND ANY OTHER LOCATIONS AS NECESSARY TO RENDER THE BUILDING WATERTIGHT & PROPERLY FINISHED.
- PROVIDE 'DEK TITE' FLASHING AROUND ANY PENETRATIONS IN ROOF FOR VENTS, PLUMBING PIPES ETC.
- FLASHINGS LET INTO BRICK JOINTS SHALL BE SECURELY FIXED WITH SUITABLE METAL WEDGES OR PLUGS.
- FLASHINGS SHALL BE GENERALLY 0.62mm ZINCALUME FLASHING SHEET, FORMED INTO PROFILES AS DETAILED.
- THE PLUMBER & BUILDER SHALL DETERMINE THE NUMBER & LOCATION OF DOWNPIPES TO ADEQUATELY SERVICE THE ROOF AREA. REFER TO ROOF PLAN & FLOORPLAN FOR PREFERRED DOWNPIPE LOCATIONS.
- PLUMBER TO ALLOW TO VENT KITCHEN EXHAUST INTO ROOF SPACE. ENSUITE & BATHROOM EXHAUSTS TO BE VENTED THRU ROOF TO OUTSIDE AIR.
- CONNECT DOWNPIPES INTO 5000 LITRE RAIN WATER TANK TO ACHIEVE ROOF CATCHMENT OF 125m2 MINIMUM.

DEMOLITION

- BUILDER TO REMOVE ALL EXISTING ASBESTOS EAVE LININGS AND REPLACE WITH NEW VILLABOARD LINING WITH PAINTED FINISH.

STEELWORK

- ALL STEELWORK REQUIRED TO BE IN ACCORDANCE WITH AS1650, AS4100, AS1163, AS1449, AS3679.2
- DIMENSIONS FOR STEELWORK SHALL BE VERIFIED ONSITE BEFORE FABRICATION.
- ALL EXPOSED WELDS TO BE GROUND FLUSH & SMOOTH.
- ALL WELDS TO BE CARRIED OUT IN THE FACTORY TO BE 3mm CONTINUOUS FILLET WELDED MIG WELDS.
- ALL STEELWORK TO BE PRIMED TO COMPLY WITH AS1650.
- ALL EXPOSED STEELWORK TO BE PRIMED & HAVE HAND PAINTED FINISH.
- FABRICATE & INSTALL ALL WALL CAPPINGS & TRIMS AS REQUIRED. CAPPINGS SHALL BE GENERALLY 0.7mm THICK COLORBOND COATED STEEL, PRESSED TO REQUIRED PROFILES.

RAIN WATER TANK

- BUILDER TO INSTALL A 5000 LITRE RAIN WATER TANK. CONNECT DOWNPIPES INTO TANK TO ACHIEVE 125mm AREA OF ROOF CATCHMENT. PROVIDE A RAIN BANK SYSTEM & CONNECT TANK TO GARDEN TAPS & LAUNDRY.

PLUMBING

- THE WORK TO BE PERFORMED INCLUDES ALL WATER SUPPLY AND DRAINAGE, SEWER SERVICES AS REQUIRED.
- ALL PLUMBING & DRAINAGE WORKS TO BE PERFORMED IN ACCORDANCE WITH THE RELEVANT CODES & STANDARDS & SHALL BE TESTED AND APPROVED BY THE RELEVANT AUTHORITY.
- THE BUILDER SHALL PROCURE ALL PERMITS, ISSUE ALL NOTICES & PAY ALL FEES AND CHARGES IN CONNECTION WITH THE WORK.
- ANY PIPE PENETRATIONS THROUGH SLABS TO BE ADEQUATELY INSULATED.
- PROVIDE ALUM. ANGLE TO SETDOWN IN ENSUITE & BATHROOM SHOWER RECESSES.
- FULLY TANK ENSUITE, BATHROOM, POWDER ROOM, DRYING ROOM & LAUNDRY FLOORS WITH WATERPROOF MEMBRANE PRIOR TO TILING & FULLY TANK WALLS AROUND ENSUITE & BATHROOM SHOWERS & BATH TUBS WITH WATERPROOF MEMBRANE OVER FC SHEET IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS. PROVIDE VERTICAL ANGLE FLASHINGS TO ALL CORNERS UNDER FC SHEET.
- PROVIDE NEW PVC SEWER LINES 100mm DIAMETER AT MINIMUM 1:60 GRADIENT AS REQUIRED CONNECTED INTO EXISTING SEWER TIE POINT.
- PROVIDE NEW PVC STORMWATER LINES 90mm DIAMETER AT MINIMUM 1:100 GRADIENT AS REQUIRED CONNECTED INTO EXISTING STORMWATER TIE POINT.
- SUPPLY & INSTALL UPVC PIPING FOR ALL HOT & COLD WATER PIPES TO COMPLY WITH AUTHORITY REGULATIONS & CONCEALED IN STUD WALLS IN POSITIONS TO PREVENT STRESS IN PIPEWORK & ADEQUATELY BRACED TO PREVENT ANY HAMMERING OR NOISE.
- ALL HOT WATER PIPING SHALL BE COMPLETELY INSULATED USING PRE-LAGGED PIPING.
- BUILDER TO ALLOW TO SUPPLY (3) EXTERNAL GARDEN TAPS TO LOCATIONS SHOWN ON PLAN.
- PLUMBER TO INSTALL HOT & COLD TAPS & DRAINAGE WASTE CONNECTION IN CABINETS FOR WASHING MACHINE.
- PROVIDE A MAINS GAS OUTLET FOR BBQ & FIREPLACES. KITCHEN COOKTOP TO BE ELECTIC INDUCTION.

SECURITY

- PROVIDE A 'BACK TO BASE' MOTION SENSOR SECURITY SYSTEM TO WHOLE HOUSE WITH WALL MOUNTED KEYPAD IN ENTRY CORRIDOR & PROVIDE A REMOTE FOB CONTROLLER ON GARAGE OPENER. SYSTEM TO PROVIDE SMART PHONE ALERTS WHEN ACTIVATED.

INTERCOM

- SUPPLY & INSTALL A VIDEO INTERCOM / DOOR BELL BESIDE THE FRONT ENTRY DOOR WITH AN INTERCOM DISPLAY PANEL IN THE KITCHEN AREA.

PIER

- BUILDER TO SUPPLY & INSTALL A NEW 350x350x1200 HIGH BRICK PIER AT FRONT GATE WITH A RENDER & PAINTED FINISH. PROVIDE STAINLESS STEEL LETTERBOX INSERT TO PIER & 100mm HIGH STAINLESS STEEL HOUSE NUMBERS.

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INTERNAL PAINT FINISHES:

- BUILDER TO PROVIDE ONE RINNAI INFINITY 32 GAS INSTANTANEOUS HOT WATER UNIT TO SERVICE KITCHEN, POWDER ROOM, STUDIO ENSUITE, NEW BATHROOM & PANTRY. PROVIDE A SEPERATE RINNAI INFINITY 32 GAS INSTANTANEOUS HOT WATER UNIT TO SERVICE THE MAIN ENSUITE, LAUNDRY & EXISTING BATHROOM. RINNAI UNIT LOCATIONS SHOWN ON FLOOR PLAN. RINNAI UNITS TO REACH 60 DEGREES TEMPERATURE.
- RECESS RINNAI UNITS INTO BRICK WALL WITH A RINNAI 'RBOX2' PAINTED METAL RECESSED BOX.

INTERNAL PAINT FINISHES:

- ALL JOINERY AS PER THE JOINERY DRAWINGS TO BE SUPPLIED & INSTALLED BY BUILDERS JOINER.

INTERNAL PAINT FINISHES:

- OWNER'S CONTRACTOR TO PROVIDE A REVERSE CYCLE A/C SYSTEM TO THE WHOLE HOUSE DUCTED THRU THE ROOF SPACE & LINEAR DIFFUSER AIR SUPPLY & RETURN AIR REGISTERS TYPICALLY. A/C CONTRACTOR - 'GREEN AIR HEATING & COOLING' CONTACT DEAN ABBOTT TEL: 0412 794 558.
- OWNERS CONTRACTOR TO SUPPLY & INSTALL A 2400 WATT NOBO ELECTRIC WALL MOUNTED PANEL HEATER TO THE DRYING ROOM WALL.
- BUILDER TO PROVIDE ELECTRIC UNDER-TILE HEATING TO (2) BATHROOMS, (2) ENSUITES & DRYING ROOM WITH TIMER & THERMOSTAT CONTROLS.
- BUILDER TO PROVIDE GAS FIRED HYDRONIC IN-SLAB HEATING TO THE ALFRESCO FLOOR SLAB.

INTERNAL PAINT FINISHES:

- ALL TAPWARE, TOILETS, BASINS & BATHROOM FIXTURES TO BE SUPPLIED BY OWNERS & INSTALLED BY BUILDER. BUILDER TO SUPPLY GRATE DRAINS TO SHOWERS.
- ALL KITCHEN APPLIANCES, RANGE HOOD, KITCHEN SINK & TAPWARE TO BE SUPPLIED BY OWNERS & INSTALLED BY BUILDER.

INTERNAL PAINT FINISHES:

- ALL SOFT LANDSCAPING; SOIL, PLANTS, MULCH & IRRIGATION BY OWNERS LANDSCAPER.
- BUILDER TO PROVIDE NEW CONCRETE DRIVEWAY WITH AN EXPOSED AGGREGATE FINISH & 5% BLACK COLOUR ADDITIVE WITH 300mm WIDE COBBLESTONE STRIP EACH SIDE.
- BUILDER TO SUPPLY & INSTALL SELECTED 600x600x20mm LIMESTONE PAVERS/TILES OVER 100mm THICK REINFORCED CONCRETE BASE TO ALFRESCO & FRONT PORCH AREAS.
- BUILDER TO PROVIDE SELECTED COBBLESTONE PATHWAYS AS SHOWN ON FLOORPLANS.
- BUILDER TO PROVIDE NEW 350x350x1200 HIGH BRICK PIERS TO THE FRONT BOUNDARY WITH A RENDER & PAINTED FINISH.
- BUILDER TO CONSTRUCT NEW STEEL FRAMED TIMBER CLAD GATES & FENCE TO EASTERN SIDE OF HOUSE & SINGLE GATE TO WESTERN SIDE OF HOUSE ADJACENT CARPORT.
- BUILDER TO CONSTRUCT A NEW BIN ENCLOSURE WITH CONCRETE SLAB & 1200mm HIGH STEEL FRAMED WALLS & GATES WITH 25x35 MIXED HARDWOOD BATTENS SCREW FIXED VERTICALLY OVER.

INTERNAL PAINT FINISHES:

- ALL INTERIOR FLOOR & WALL TILES TO BE SUPPLIED BY BUILDER. ALL TILE SELECTIONS LISTED IN THE FINISHES SCHEDULE.
- ALL TILING TO BE CARRIED OUT BY A QUALIFIED & COMPETENT TILING TRADESMAN.
- GROUING TO ALL JOINTS TO BE SUPERFINE CEMENT BASED COMPRESSIBLE WATERPROOF GROUING MATERIAL INSTALLED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. GROUT COLOUR TO MATCH TILES AS CLOSE AS POSSIBLE & TO BE CONFIRMED WITH ARCHITECT PRIOR TO GROUING.
- ALL TILING SHALL BE FIXED AT LEAST 24 HOURS BEFORE GROUING
- SETOUT TILES IN CONSULTATION WITH THE ARCHITECT TO ACHIEVE MINIMUM CUT TILES.
- PROVIDE 20x20mm MILL FINISHED ALUMINIUM ANGLE TRIMS AT DOOR THRESHOLDS WHERE TRANSITIONING TO OTHER FLOORING MATERIAL.
- BUILDER TO ALLOW FOR FULL HEIGHT WALL TILING TO ENSUITES, BATHROOMS & POWDER ROOM TYPICAL. PROVIDE 100mm HIGH SKIRTING TILE & 600mm HIGH TILED SPLASHBACK TO LAUNDRY. PROVIDE 100mm HIGH SKIRTING TILE TO DRYING ROOM.
- BUILDER TO SETDOWN ENSUITE & BATHROOM FLOORS & FALL TO TROUGH WASTE & FLOOR WASTES. ENSUITE, BATHROOM & POWDER ROOM FLOOR TILES AT DOOR THRESHOLDS TO FINISH FLUSH WITH ADJOINING FLOORING.
- PROVIDE MINIMUM FALLS TO TILED SURFACES AT SPECIFIED ABOVE.
- UNLESS SPECIFIED OTHERWISE AT DOORWAYS DIFFERENT FLOOR FINISHES SHALL TERMINATE UNDER CENTRE LINE OF DOOR.
- THE TILING CONTRACTOR SHALL ENSURE THE SUB-BASE IS TRUE & LEVEL AND FREE OF DEBRIS & DUST PRIOR TO LAYING OF TILES. THE LAYING OF TILES BY THE CONTRACTOR SHALL IMPLY HIS/HER ACCEPTANCE OF THE SUB-BASE.
- ALL EXPOSED TILE EDGES TO BE GROUND POLISHED OR MITRED AT CORNER WITH NO ALUMINIUM STRIP EDGING USED.

INTERNAL PAINT FINISHES:

- RETAIN EXISTING PLASTER CORNIS TO ALL EXISTING PARTS OF HOUSE & MAKE GOOD ANY CORNIS IN ROOM AFFECTED BY THE WORKS.
- ALL NEW AREAS TO HAVE SQUARE SET PLASTERBOARD CEILING INCLUDING ALL NEW & EXISTING ENSUITE, BATHROOMS, LAUNDRY, DRYING ROOM.
- IN ALL NEW EXTENSION AREAS PROVIDE (EASY-JAMB) SQUARE SET PLASTERBOARD REVEALS TO ALL WINDOWS & INTERNAL FACE OF EXTERNAL DOORS.
- PROVIDE 10mm GYPSUM PLASTERBOARD LININGS TO ALL NEW INTERNAL WALLS & CEILINGS (EXCEPT BATHROOM & ENSUITE) INSTALLED IN AN EVEN PLANE FIXED IN ACCORDANCE WITH AS1530.4. PROVIDE MOISTURE RESISTANT PLASTERBOARD TO THE LAUNDRY WALLS.
- PROVIDE 6mm VILLABOARD LININGS TO BATHROOM & ENSUITE WALLS & CEILINGS WITH FLUSH TAPED JOINTS. ANY CRACKED OR DAMAGED SHEETS TO BE REJECTED
- JOINTING AND STOPPING COMPOUNDS FOR PLASTERBOARD SHALL BE AS RECOMMENDED BY THE SHEET MANUFACTURERS AND USED IN ACCORDANCE WITH THEIR INSTRUCTIONS.
- PROVIDE 'EXANGLE' OR SIMILAR GALVANIZED SHEET EXTERNAL BEAD ANGLES TO ALL EXTERNAL PLASTERBOARD CORNERS FIXED WITH 25mm CLOUTS AT 300mm CENTRES OR AS NECESSARY AND FINISH WITH SET PLASTER TO A SMOOTH AND CONTINUOUS LINE.
- ALL LABOUR FOR PLASTER FIXING, STOPPING ETC TO BE BY COMPETENT SHEET PLASTER TRADESMAN.
- STUDS, JOISTS OR BATTENS SHALL BE PROPERLY ALIGNED PACKED STRAIGHTENED ETC AND THE SHEET FIXER SHALL ENSURE THE FIXING SURFACE IS TRUE & EVEN BEFORE FIXING THE SHEETS, AND MIS-ALIGNMENTS IN FRAMEWORK SHALL BE CORRECTED BY THE CARPENTER.
- REINFORCE ALL FLUSH JOINTS WITH AN APPROVED 50mm WIDE COTTON JOINTING TAPE EMBEDDED IN PLASTER STOPPED TO FORM TRUE & EVEN LINES WITHOUT PEAKING. STOP ALL NAIL HOLES, & CLEAN OFF FLUSH WITH SURROUNDING SURFACE
- NAILS FOR SHEET FIXING SHALL BE GALVANISED, OF A LENGTH TO ENTER AT LEAST 20mm INTO SOLID WOOD.
- ALL FINISHED WALLS TO BE WITHIN +/- 2mm OF SIZES SHOWN ON DRAWINGS.
- PROVIDE A P12 PLASTER STOPPING BEAD TO ANY PLASTER SURFACE THAT ABUTS ANOTHER MATERIAL.

MIRRORS

- ALL WALL MIRRORS SHOWN ON JOINERY DRAWINGS TO BE SUPPLIED BY BUILDERS JOINER.
- MIRRORS TO BE FRAMELESS 6mm FLOAT GLASS ELECTRO SILVER BACKED WITH SMOOTH ARISED EDGES FIXED WITH DOUBLE SIDED ADHESIVE TAPE TO 6mm MARINE PLY BACKING. ALL EDGES OF MIRROR TO BE PROPERLY SEALED WITH CLEAR NEUTRAL CURE SILICON
- REMOVE ALL LABELS, EXCESS SILICON, STAINS, SPOTS AND OTHER FOREIGN MATTER FROM ALL GLAZING, FRAMES & MIRRORS IMMEDIATELY UPON COMPLETION OF THE INSTALLATION.

MIRRORS

- BUILDER TO PROVIDE 189x2500x15mm PRE-FINISHED ENGINEERED TIMBER FLOORING TO ALL AREAS EXCEPT WET AREAS. SUPPLIER 'TONGUE & GROOVE' SYDNEY. COLOUR - 'CHEMOISEE'. FLOORING TO BE GLUED & SECRET NAILED DOWN OVER EXISTING TIMBER FLOORING IN EXISTING PARTS OF HOUSE OR DOWN OVER NEW 12mm PLYWOOD BASE BOARD GLUED & NAILED DOWN TO CONCRETE SLAB FLOOR.
- BUILDERS FLOORING CONTRACTOR TO ALLOW FOR A FINAL BUFF OF THE TIMBER FLOOR & COAT WITH A HARD WAX OIL COATING AS RECOMMENDED BY THE FLOORING SUPPLIER.

MIRRORS

- ALL SKIRTINGS IN NEW EXTENSION AREAS TO BE 19x76mm SQUARE EDGE PROFILE TIMBER WITH PAINTED FINISH. ALL SKIRTINGS IN EXISTING PARTS OF HOUSE TO MATCH EXISTING WITH NEW PAINTED FINISH.
- PROVIDE 19x76mm SQUARE EDGE PROFILE TIMBER ARCHITRAVES TO ALL INTERNAL DOORS IN NEW EXTENSION AREAS. ALL EXISTING PARTS OF HOUSE TO MACH PAINTED TIMBER ARCHITRAVES TO DOORS & WINDOWS TO MATCH EXISTING.
- ALL WINDOWS & EXTERNAL DOORS IN NEW EXTENSION TO HAVE SQUARE SET PLASTERBOARD REVEALS.

MIRRORS

- BUILDER TO SUPPLY & INSTALL A NEW PULL DOWN ATTIC LADDER TO THE CORRIDOR CEILING OUTSIDE LAUNDRY. ENSURE ADEQUATE CLEARANCE AROUND EXISTING ROOF STRUCTURAL MEMBERS TO ALLOW ACCESS.
- BUILDER TO CONSTRUCT A NEW FLOOR IN CEILING OF EXISTING HOUSE TO PROVIDE A MINIMUM OF 35m2 OF STORAGE SPACE.

MIRRORS

- BUILDER TO SUPPLY & INSTALL A PAINTED STEEL FRAMED BASEMENT LADDER WITH LIFT UP HATCH WITH TIMBER INSET FLOORING TO BE FLUSH WITH FINISHED TIMBER FLOOR BOARDS IN RUMPUS ROOM. SEE LADDER DETAIL DRAWING.

INTERNAL PAINT FINISHES:

- ALL PAINTING WORK TO BE CARRIED OUT BY A QUALIFIED CONTRACTOR EXPERIENCED IN THE TYPE OF WORK SPECIFIED.
- DULUX PAINTS TO BE USED UNLESS AN ALTERNATIVE IS APPROVED BY THE ARCHITECT PRIOR TO APPLICATION.
- ALL COLOUR SELECTIONS SHOWN ON FINISHES SCHEDULE.

INTERNAL PAINT FINISHES:

- ALLOW TO SEAL / UNDERCOAT & APPLY 2 FINISHED COATS OF DULUX WASH & WEAR ACRYLIC TO ALL NEW & EXISTING INTERNAL WALLS & CEILINGS.
- ALLOW TO SEAL / UNDERCOAT & APPLY 2 FINISHED COATS OF 'GLOSS' ENAMEL TO ALL NEW & EXISTING INTERNAL TIMBER ARCHITRAVES & TRIMS.

EXTERNAL PAINT FINISHES:

- APPLY TWO FINISHED COATS OF DULUX WEATHERSHIELD PAINT TO ALL NEW & EXISTING EXTERNAL RENDERED WALLS.
- APPLY A PRIMER / UNDERCOAT & 2 FINISHED COATS OF ACRYLIC SOLARGUARD TO ALL NEW & EXISTING EXTERNAL TIMBER MEMBERS.
- APPLY COLD GALV. / PRIMER & 2 FINISHED COATS OF 'GLOSS' ENAMEL TO ANY EXPOSED STEELWORK NOT ALREADY POWDERCOATED.

EXTERNAL PAINT FINISHES:

- ALL PAINTING WORK TO COMPLY WITH THE RELEVANT CODES AND STANDARDS.
- ENSURE WALL AND CEILING SURFACES ARE CLEAN & DUST FREE & IN A SUITABLE STATE TO RECEIVE THE APPLIED MATERIAL
- ENSURE ALL INTERNAL & EXTERNAL WALL SURFACES TO BE PAINTED ARE THOROUGHLY SCRUBBED DOWN SO THEY ARE CLEAN, FREE OF DEBRIS & DUST AND IN A SUITABLE STATE TO RECEIVE THE APPLIED MATERIAL.
- USE DUST SHEETS & DROP SHEETS WHEREVER NECESSARY TO PROTECT FINISHED FLOORS, EXTERNAL PATHS & ANY FINISHED WORK.
- ANY DAMAGE OR DEFECTS TO SURFACES TO BE PATCHED, STOPPED & SANDED SMOOTH AS REQUIRED PRIOR TO PAINTING.
- THE BUILDER IS RESPONSIBLE FOR PROVIDING A WARRANTY STATING THAT THE PREPARATION OF SURFACES, MATERIALS AND APPLICATION SHALL SHOW NO DETERIORATION AND REMAIN IN GOOD CONDITION FOR A PERIOD OF SEVEN (7) YEARS FROM THE DATE OF PRACTICAL COMPLETION

DOORS

- PROVIDE 2040x820 RECESSED PANEL DOORS TO ANY NEW INTERNAL DOOR OPENINGS IN EXISTING PARTS OF THE HOUSE AS REQUIRED.
- PROVIDE 2340x820 FLUSH PANEL READY COAT HOLLOW CORE DOORS TO ALL NEW INTERNAL DOOR OPENINGS IN NEW EXTENSION AREA UNLESS NOMINATED OTHERWISE.
- PANTRY SLIDING DOOR TO BE 2340x820 HOLLOW CORE FLUSH PANEL DOOR WITH FLUSH POCKET CAVITY SLIDING UNITS TYPICAL UNLESS NOMINATED OTHERWISE.
- ALL TIMBER DOORS SHALL BE TRUE, STRAIGHT AND WELL FINISHED.
- THE BUILDER SHALL TAKE CARE IN TRANSPORTING, STORING & HANGING DOORS TO PREVENT WARPING.
- PROVIDE & FIX ALL DOOR HARDWARE AS REQUIRED.

DOORS

- BUILDER TO SUPPLY & FIX NOMINATED DOOR HARDWARE TO ALL DOORS: LEVER HANDLES TO ALL HINGED DOORS - NIDAS 'BERLIN 30613' SS LEVER PASSAGE SET IN BRUSHED CHROME.
- FLUSH PULLS TO CAVITY SLIDING PANTRY DOOR - 140mm HIGH RECTANGULAR RECESSED FLUSH PULLS IN BRUSHED CHROME.
- FINGER PULLS TO EDGE OF PANTRY CAVITY SLIDING DOOR - 'BONCO' FINGER PULLS IN BRUSHED CHROME.
- PROVIDE A PRIVACY SNIB TO THE BATHROOM & POWER ROOM DOORS - NIDAS '30PRISS' PRIVACY SNIB IN BRUSHED CHROME TO ACCOMPANY LEVER HANDLES.
- FRONT ENTRY DOOR - 600x40 RECTANGULAR PULL HANDLE IN BRUSHED STAINLESS STEEL TO EACH SIDE OF DOOR LEAF & LOCKWOOD '005BL15C' LOCKING SNIB IN BRUSHED STAINLESS STEEL & BALL CATCH.
- PROVIDE DOOR STOPS TO ALL HINGED DOORS - GAINSBOROUGH '62075C'.
- DOOR HARDWARE TYPICALLY FIXED AT 1050mm ABOVE FINISHED FLOOR LEVEL.

DOORS

- BUILDER TO SUPPLY & INSTALL STEEL FRAMED FIXED GLASS SCREEN PANEL & HINGED GLAZED DOOR TO ENSUITE SHOWER & WC OPENINGS.
- BUILDER TO PROVIDE FRAMELESS GLASS SHOWER SCREENS TO ALL OTHER BATHROOMS.

DOORS

- BUILDER TO THOROUGHLY CLEAN OUT AND RE-COMMISSION EXISTING CHIMNEYS TO BE RE-USED. (LOUNGE FIREPLACE & STUDY FIREPLACE).

DOORS

- BUILDER TO REMOVE ALL EXISTING ASBESTOS NOMINATED IN THE ASBESTOS REPORT FROM THE HOUSE INCLUDING ALL EAVE LININGS, PIPE LAGGING, PACKING AND DEBRIS UNDER THE HOUSE ETC.

INTERNAL PAINT FINISHES:

- ALL ELECTRICAL WORK, TESTING & CERTIFICATES TO BE CARRIED OUT / SUPPLIED BY BUILDERS CONTRACTOR.
- SUPPLY AND INSTALL ALL DATA, TELEPHONE, POWER, INTERCOM AND SECURITY SYSTEM AS NOMINATED.
- BUILDER TO SUPPLY & INSTALL ALL LIGHTING & ELECTRICAL ITEMS AS SHOWN ON THE ELECTRICAL/LIGHTING PLAN. BUILDER TO SUPPLY ALL LIGHT FITTINGS EXCEPT PENDENT LIGHTS OVER KITCHEN ISLAND BENCH TO BE SUPPLIED BY OWNERS & INSTALLED BY BUILDERS ELECTRICIAN.
- ON COMPLETION, TEST ALL ELECTRICAL INSTALLATION AND MAKE GOOD ANY DEFECTS.
- THE ELECTRICAL CONTRACTOR IS TO MAKE ALLOWANCE FOR ALL WIRING AND ELECTRICAL CONNECTIONS TO ALL NEW ELECTRICAL APPLIANCES.
- ALL NEW LIGHTING RUNS IN LVING, DINING, KITCHEN, RUMPUS, LOUNGE, STUDY, ALFRESCO, STUDIO & BEDROOMS TO HAVE DIMMER SWITCHES LOCATED ON LIGHT SWITCH PLATE.
- DIGITAL TV ANTENNA, TELEPHONE SOCKETS & CAT6a ETHERNET DATA CABLING SHOWN ON DRAWINGS TO BE SUPPLIED BY OWNERS CONTRACTOR (BIGMIC)
- BUILDER TO SUPPLY & INSTALL SELECTED EXHAUST FANS TO BATHROOMS & ENSUITE DUCTED INTO ROOF SPACE.
- SUPPLY & INSTALL SMOKE DETECTORS IN ACCORDANCE WITH THE RELEVANT CODES & STANDARDS.
- WIRING SHALL BE INSTALLED ABOVE CEILING AND LEADS TAKEN VERTICALLY TO OUTLETS OR SWITCH POINTS & SECURELY FIXED TO TIMBER FRAMING WITH NON-FERROUS CLIPS.
- ALL POWER POINTS, ELECTRICAL APPLIANCES, & METAL HOT & COLD RETICULATION PIPING SHALL BE EARTHED WITH APPROVED TWISTED COPPER EARTHING WIRE, SECURED AT 300mm CENTRES TO TIMBER FRAMING & CONNECTED TO AN EARTHING STAKE WITH GALVANISED CLIP. EARTHING STAKE SHALL BE LOCATED AS CLOSE TO EXTERNAL WALL AS POSSIBLE AND NOT EXTEND MORE THAN 150mm ABOVE FINISHED GROUND LEVEL.
- ALL LIGHTING SWITCH PLATES TO BE WHITE COLOUR LEGRAND 'LINEA' PLATES. SWITCH PLATES TO BE FIXED AT 1100mm A.F.L. UNLESS NOMINATED OTHERWISE.
- ALL GPO PLATES TO BE WHITE COLOUR DOUBLE LEGRANS 'LINEA' PLATES. SWITCH PLATES TO BE FIXED 300mm ABOVE FINISH FLOOR LEVEL UNLESS NOMINATED OTHERWISE. GPO'S IN KITCHEN TO BE LOCATED 200mm ABOVE BENCHTOPS TYPICALLY UNLESS NOMINATED OTHERWISE.
- PROVIDE GPO'S TO ALL KITCHEN & LAUNDRY APPLIANCES & FIXTURES.
- BUILDER TO ALLOW FOR REDIRECTION OF ELECTRICAL CONNECTION TO HOUSE. ANY AUTHORITY FEES TO BE PAID BY OWNERS.

INTERNAL PAINT FINISHES:

- INSTALL R2.7 90mm BRADFORD INSULATION BATTS BETWEEN STUDS & NOGGINGS TO ALL NEW EXTERNAL STUD WALLS & R0.7 WALL WRAP SARKING TO EXTERNAL FACE OF WALL FRAMES.
- INSTALL R6.0 BRADFORD INSULATION BATTS TO ALL NEW & EXISTING CEILINGS.
- INSTALL R1.3 BRADFORD ANTICON 60 INSULATION BLANKET UNDER NEW CARPORT ROOF SHEETING.
- INSTALL R1.75 50mm XPS INSULATION BOARD TO UNDERSIDE & EDGES OF ALL NEW GROUND FLOOR CONCRETE FLOOR SLAB TO HOUSE.
- INSTALL R2.5 ROCKWOOL SOUNDSCREEN INSULATION BATTS TO INTERNAL STUD WALLS AROUND ENSUITES, BATHROOMS, POWDER ROOM & PANTRY WALLS.
- INSTALL R2.5 ROCKWOOL SOUNDSCREEN INSULATION BATTS TO INTERNAL STUD WALLS TO PERIMETER WALLS OF ALL BEDROOMS.
- INSTALL R2.5 INSULATION BATTS TO UNDERSIDE OF EXISTING FLOOR STRUCTURE
- PROVIDE RAVEN WEATHER SEALS TO ALL EXTERNAL DOORS.

INTERNAL PAINT FINISHES:

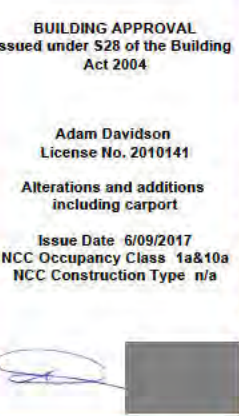
- BUILDER TO PROVIDE ALUMINIUM FRAMED, STEEL FRAMED OR CEDAR FRAMED WINDOWS & GLAZED DOORS WITH DOUBLE GLAZED GLASS PANELS AS NOMINATED ON THE WINDOW SCHEDULE.
- ALL NEW OPENABLE WINDOWS & SLIDING GLAZED DOORS TO HAVE ALUMINIUM MESH SET INTO FRAMES TO MATCH WINDOW OR DOOR MATERIAL.
- ALL GLAZING TO WINDOWS & DOORS SHALL BE SUPPLIED TO AS1288.
- REMOVE ALL LABELS, EXCESS SILICON, STAINS, SPOTS AND OTHER FOREIGN MATTER FROM ALL GLAZING, FRAMES & MIRRORS IMMEDIATELY UPON COMPLETION OF THE INSTALLATION.
- ALL WINDOWS TO BE THOROUGHLY CLEANED AT THE COMPLETION OF THE PROJECT. ANY SCRATCHED GLASS PANES TO BE REPLACED AT BUILDERS EXPENSE

INTERNAL PAINT FINISHES:

- BUILDER TO SUPPLY & INSTALL POLISHED STAINLESS STEEL OR CHROME TROUGH WASTE WITH TILED INSERTS TO ALL NEW SHOWER CUBICLES. TROUGHS CAVITIES TO BE SITE MEASURED PRIOR TO ORDERING.
- BUILDER TO SUPPLY & INSTALL 100x100mm POLISHED STAINLESS STEEL OR CHROME SQUARE WASTES WITH TILED INSERTS TO BED 1 ENSUITE FLOOR.

INTERNAL PAINT FINISHES:

- BUILDER TO ALLOW FOR A THOROUGH COMMERCIAL CLEAN OF THE ENTIRE HOUSE INTERNAL & EXTERNAL AND REMOVE ALL DEBRIS AND WASTE FROM THE SITE. ALL WINDOWS TO BE CLEANED THOROUGHLY REMOVING ANY PAINT AND MARKINGS. EXTREME CARE IS TO BE TAKEN NOT TO SCRATCH THE GLAZING AT ALL.



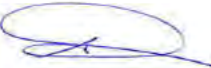
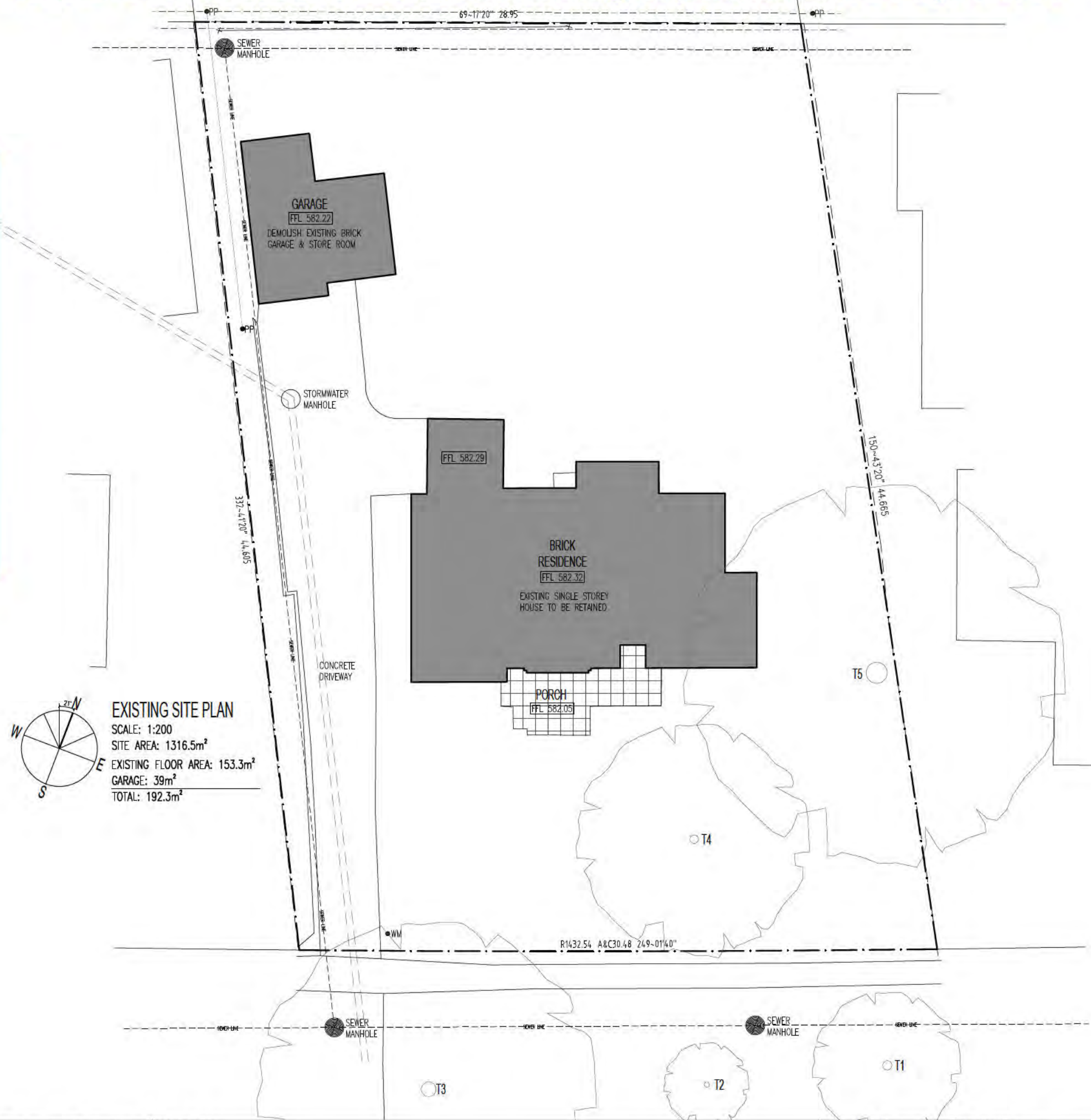
BUILDING APPROVAL - Alterations and additions including carport - BA DWG Page 3 of 29

BUILDING APPROVAL
 Issued under S28 of the Building Act 2004

Adam Davidson
 License No. 2010141

Alterations and additions including carport

Issue Date: 6/09/2017
NCC Occupancy Class: 1a&10a
NCC Construction Type: n/a

Sch 2 2.2(a)(ii)

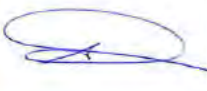

Sch 2 2.2(a)(ii)

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DEMOLISH EXISTING BRICK GARAGE & STORE ROOM

STORMWATER MANHOLE

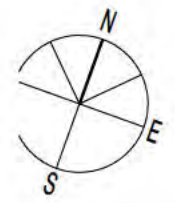
CONCRETE DRIVEWAY
FFL 581.90

PORCH
FFL 582.05

150~43'20" 44.665

509.7

SEWER LINE



EXISTING FLOOR PLAN
 SCALE 1:100
 SITE AREA 1316.5m²
 EXISTING FLOOR AREA - 153.3m²
 EXISTING SHED AREA - 39m²
 TOTAL 192.3m²



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DRAWING TITLE
 Sch 2 2.2(a)(ii)

STREET ADDRESS
 25 FURNEAUX STREET
 FORREST ACT

BLOCK/SECTION
 BLOCK 9 SECTION 23
 FORREST ACT

CLIENT
 Sch 2 2.2(a)(ii)

DATE
 30.08.17

SCALE
 1:100


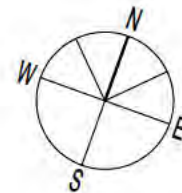
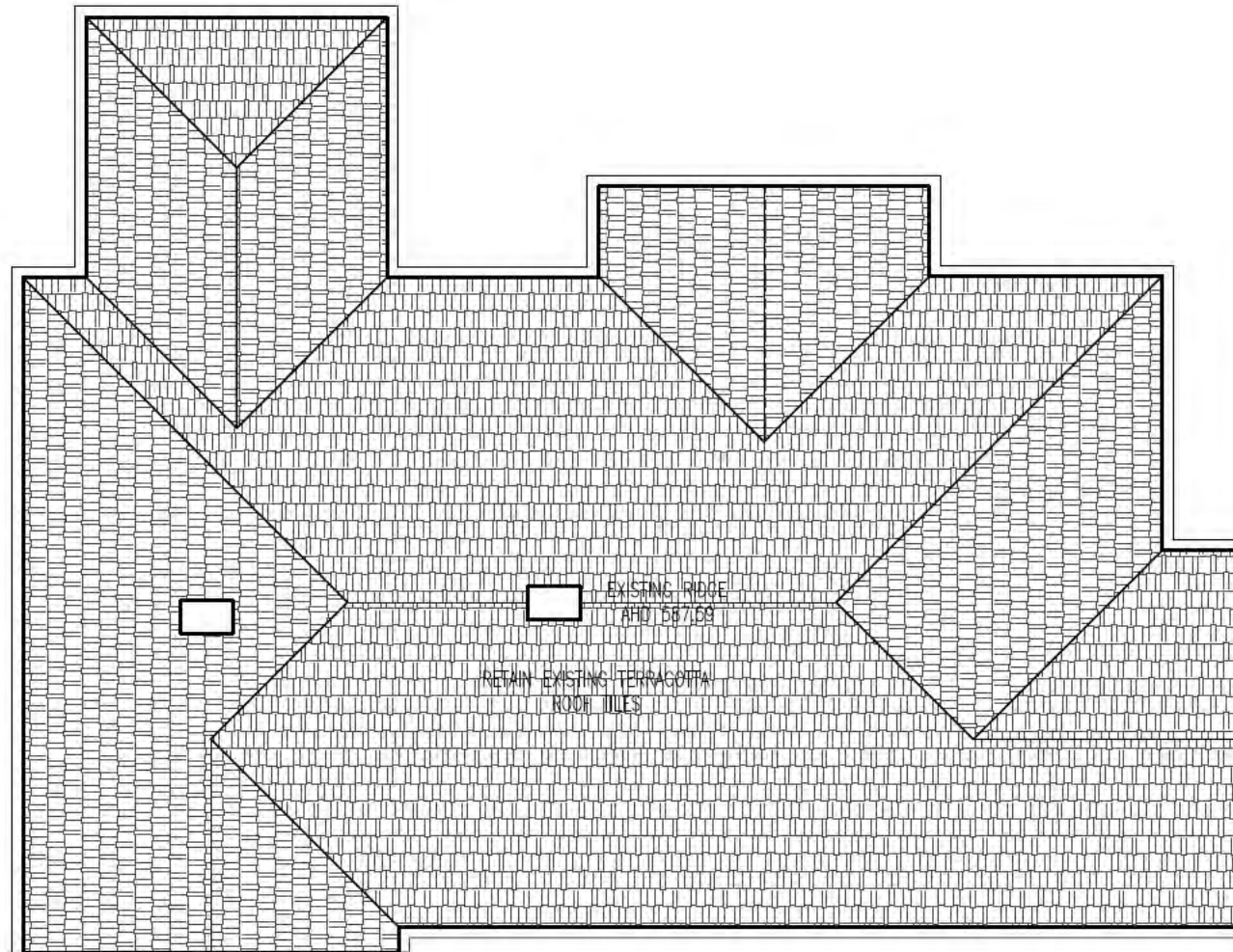
DRAWING NO
 A.04

BUILDING APPROVAL
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Adam Davidson
 License No. 2010141

Alterations and additions including carport

Issue Date: 6/09/2017
 NCC Occupancy Class: 1a&10a
 NCC Construction Type: n/a

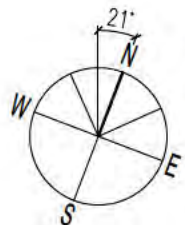
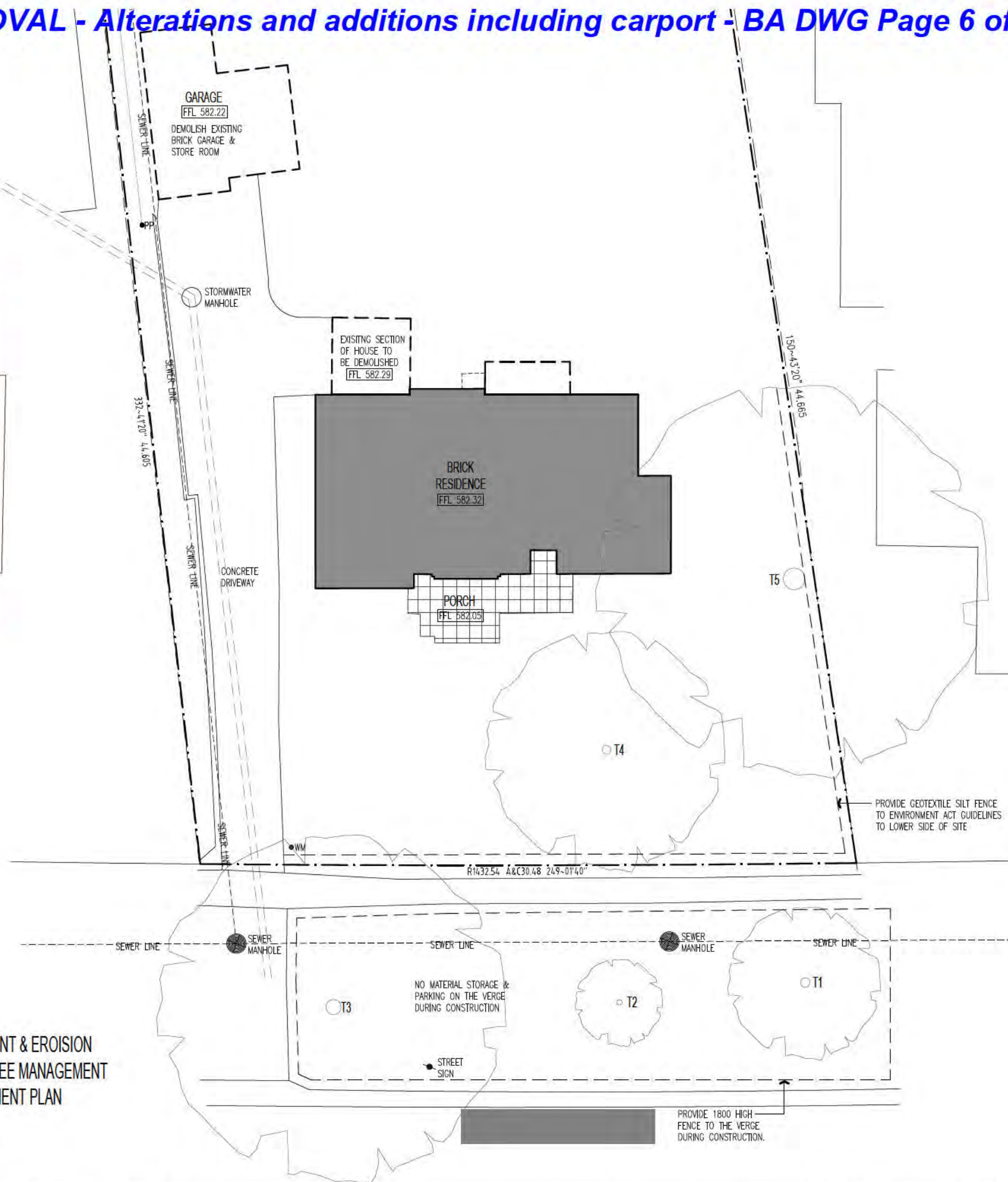
EXISTING ROOF PLAN
 SCALE 1:100

BUILDING APPROVAL
 Issued under S28 of the Building Act 2004

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PROPOSED SEDIMENT & EROSION CONTROL PLAN, TREE MANAGEMENT & VERGE MANAGEMENT PLAN

SCALE: 1:200
 SITE AREA: 1316.5m²



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 6 / 25 BENTHAM ST YARRALUMLA ACT 2600

DRAWING TITLE
PROPOSED SEDIMENT & EROSION CONTROL PLAN, TREE MANAGEMENT & VERGE MANAGEMENT PLAN

STREET ADDRESS
 [REDACTED]
 FORREST ACT

BLOCK/SECTION
 BLOCK [REDACTED] SECTION [REDACTED]
 FORREST ACT

CLIENT
 Sch 2 2.2(a)(ii)

DATE
 30.08.17

SCALE
 1:200

DRAWING NO.
 A.06

DEMOLITION NOTES

- UTILITIES**
- ALL NETWORK INFRASTRUCTURE ON OR IMMEDIATELY ADJACENT THE SITE HAS BEEN IDENTIFIED ON THE UTILITIES PLAN
 - ALL POTENTIALLY DANGEROUS SUBSTANCES AND CONDITIONS (ASSOCIATED WITH OR RESULTING FROM THE DEMOLITION PROCESS) THAT MAY CONSTITUTE A RISK TO UTILITY SERVICES HAVE BEEN IDENTIFIED
 - ALL REQUIRED NETWORK DISCONNECTIONS HAVE BEEN IDENTIFIED AND THE DISCONNECTION WORKS COMPLY WITH UTILITY REQUIREMENTS
 - ALL WORKS ASSOCIATED WITH THE DEMOLITION COMPLY WITH AND ARE TO BE IN ACCORDANCE WITH UTILITY ASSET ACCESS AND PROTECTION REQUIREMENTS.
 - DISCONNECT AND CAP ALL SERVICES TO UTILITY REQUIREMENTS 3.0m FROM THE TIE POINT.
 - MAINTAIN EXISTING STORMWATER TIES.

DEMOLITION PROCEDURE

- ASBESTOS FIBRE SHEETING & ANY OTHER ASBESTOS MATERIAL TO BE IDENTIFIED AND REMOVED BY A LICENSED CONTRACTOR PRIOR TO DEMOLITION.
- DISMANTLE ROOF TRUSSES AND TIMBER FRAMING AND BEAMS FOR SALVAGE AND REUSE WHERE POSSIBLE.
- REMOVE GLASS AND WINDOWS FOR REUSE
- BRICKS TO BE CLEANED & STACKED FOR REUSED ONSITE & ANY UNUSED BRICKS AT END OF JOB TO BE RECYCLED OR CRUSHED AND RECYCLED
- RECYCLE GYPROCK SHEETING
- CONCRETE (SLABS, VERANDAHs, PATHS, DRIVEWAYS ETC) TO BE TAKEN TO AN APPROVED CONCRETE RECYCLER.
- STOCKPILE SITE TOPSOIL FOR REUSE IN THE NEW WORKS WHERE POSSIBLE
- VEGETATION. REMOVE TREES TO BE REMOVED WITHOUT DISTURBANCE TO THOSE TREES TO BE RETAINED. PROTECT ALL VEGETATION TO BE RETAINED FROM DAMAGE DURING DEMOLITION AND SITE CLEARING.
- POLLUTION - AS PER ABOVE AND TO ACT POLLUTION CONTROL LAWS.
- TEMPORARY TRAFFIC MANAGEMENT PLAN TO BE IN PLACE PRIOR TO DEMOLITION
- SITE FENCING AND SEDIMENT AND EROSION CONTROL MEASURES TO BE IN PLACE PRIOR TO DEMOLITION

EXISTING SERVICES


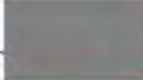
- ELECTRICITY TO BE DISCONNECTED AS PER ACTEW REQUIREMENTS AND RECONNECTED WITH A TEMPORARY SUPPLY.
- SEWER AND STORMWATER TO BE CAPPED TO UTILITY REQUIREMENTS.
- TEMPORARY WATER SUPPLY TO BE MAINTAINED.
- TEMPORARY PHONE LINE TO BE MAINTAINED.
- TEMPORARY CONNECTIONS TO BE TO UTILITY REQUIREMENTS.
- DEMOLITION MATERIAL TO BE SEPARATED INTO SEPARATE STREAMS TO ENSURE EASY ACCESS BY RECYCLING ORGANISATIONS, BUILDERS AND SUBCONTRACTORS.

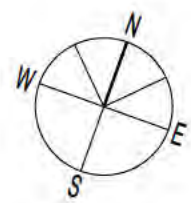
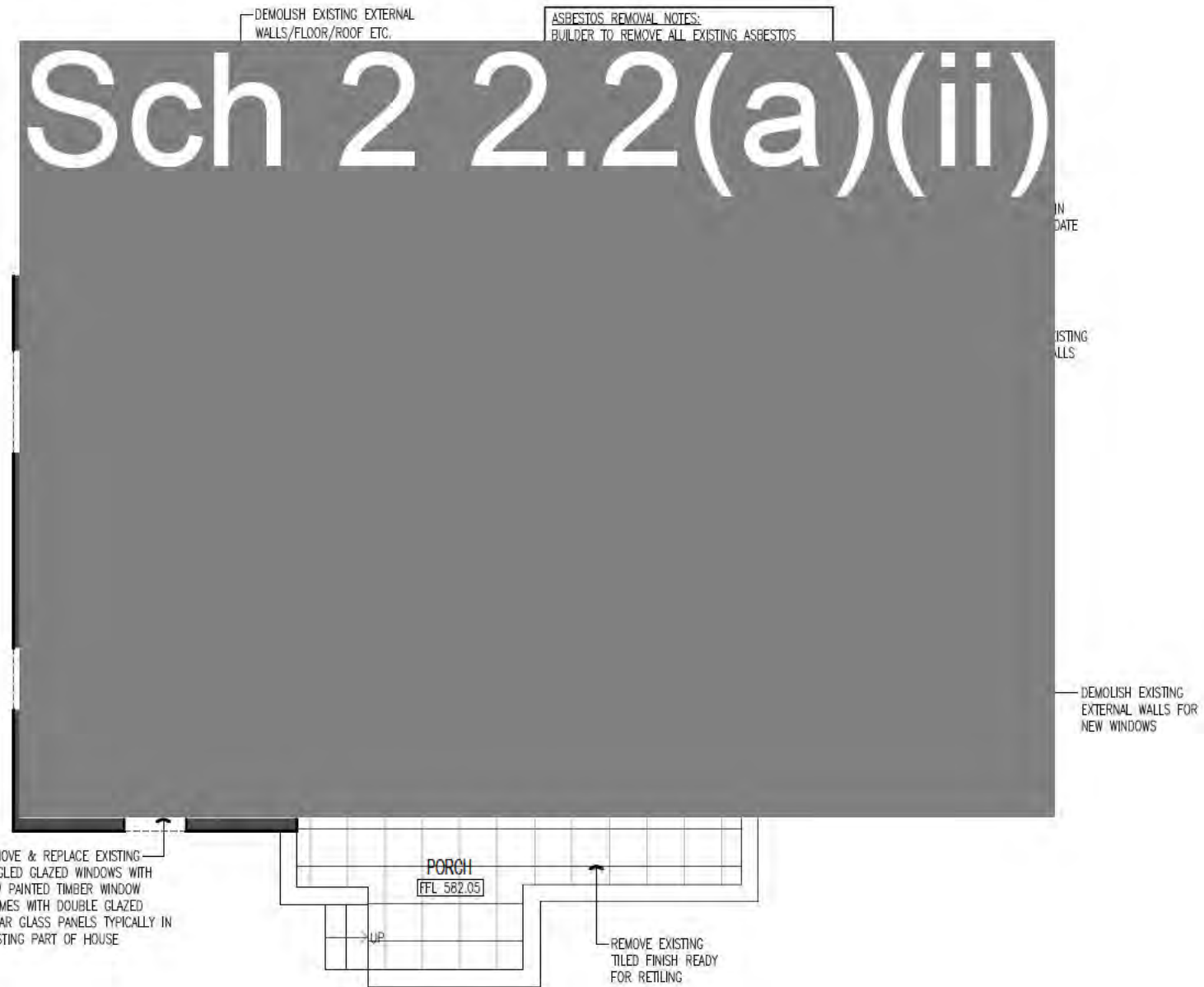
BUILDING APPROVAL
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Issue Date: 6/09/2017
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NCC Construction Type: n/a



PROPOSED DEMOLITION PLAN
SCALE 1:100
SITE AREA 1316.5m²

BLOCK: 9 SECTION 23, FORREST

GENERAL NOTES

- G1 These drawings shall be read in conjunction with other consultants' drawings and specifications and with other such written instructions as may be issued during the course of the Contract. Any discrepancy shall be referred to the Engineer before proceeding with the work.
- G2 All dimensions are in millimetres, U.N.O. (unless noted otherwise).
- G3 No dimension shall be obtained by scaling the drawings.
- G4 All levels and setting out dimensions shown on the drawings shall be checked on site prior to the commencement of the work.
- G5 During construction the structure shall be maintained in a stable condition and no part shall be overstressed.
- G6 Damp-proofing & sealing details shall be in accordance with Architect's details. All joints in concrete elements shall be suitably sealed or damp-proofed.

FOUNDATIONS

- F1 Refer Slab Design Criteria for classification of site.
- F2 Footings have been designed for an allowable bearing pressure of 150 kPa U.N.O. All foundations must be stable and uniform throughout.
- F3 Foundation material shall be inspected and approved for the above site classification and allowable bearing pressure by a Geotechnical Engineer before placing footing reinforcement.
- F4 Footings shall be placed centrally under walls and columns, U.N.O.

LOADING

- L1 Superimposed floor loads are generally in accordance with AS 1170.1 or as noted in Table L4.
- L2 Wind loads are in accordance with AS/NZS 1170.2 as follows:
Region : A Terrain category 3 wind classification N2
- L3 Earthquake loads are in accordance with AS 1170.4 as follows:
a = 0.08 S = 1.0 I = 1.0, U.N.O.
- L4 Live loads & additional dead loads: (to AS/NZS 1170.1)

Area subject to loading	Live Load		Add. Dead Load
	Uniform	Point	
Floors - Internal	1.50 kPa	1.80 kN	0.50 kPa
Floors - External & Garage	3.00 kPa	1.80 kN	1.00 kPa
Roof Areas	0.25 kPa	1.40 kN	0.15 kPa

MASONRY

- M1 All workmanship and materials shall be in accordance with AS 3700.
- M2 Characteristic compressive strength of masonry (f_{uc}) = 24 MPa

Durability Requirements			
Mortar	Salt Attack Resistance Grade	Built In Component	Min. Cover to Reinforcement & Tendons in Grouted Cavities
M2	Protected	R1 (Galv'd 300 g/m ² each side)	5
M3	General Purpose	R3 (Galv'd 470 g/m ² each side)	15
M4	Exposure	R4 (Stainless)	30

- M3 All masonry walls supporting slabs and beams shall have a pre-greased two layer galvanised steel slip joint between concrete and masonry.
- M4 All masonry walls supporting or supported by concrete floors shall be provided with vertical joints to match any control joints in the concrete.
- M5 Non load bearing walls shall be separated from concrete above by 12 mm thick closed cell polyethylene strip.
- M6 Provide vertical control joints at 8 metres maximum centres, and 4 metres maximum from corners in masonry walls, and between new & existing brickwork.
- M7 Masonry retaining walls are to be backfilled with either of the following material:
- Coarse grained soil with low silt content
- Residual soil containing stones
- Fine silty sand
- Granular materials with low clay content

REINFORCED CONCRETE

- C1 All workmanship and materials shall be in accordance with AS 3600 current edition, except where varied by the contract documents.
- C2 Concrete quality shall be as follows (subject to note C4 being satisfied):

Element	Slump mm	Max. Agg. Size mm	Cement Type	f _c at 28 Days MPa
Footings	80	20	Normal	20
Slabs on Ground	80	20	Portland	25
Suspended Floors	80	20	Type A	32

- C3 Engineer to approve any admixtures used in concrete mix.
- C4 Cover to reinforcement shall be obtained by the use of approved bar chairs. All chairs to be placed at 750 maximum centres.
- C5 Minimum clear concrete cover to reinforcement including ties and stirrups (other than residential slabs on ground or footings) shall be as follows:

Exposure Classification	Minimum Cover (mm)				
	Concrete Strength (f _c)				
	20 MPa	25 MPa	32 MPa	40 MPa	>50 MPa
A1	20	20	20	20	20
A2	(50)	30	25	20	20
B1	-	(60)	40	30	25
B2	-	-	(65)	45	35
C	-	-	-	(70)	50

For bracketed figures refer to AS 3600 current edition table 4.10.3.2

- C6 Residential slab on ground and footings cover requirements: (Minimum concrete grade N20)
- Unprotected ground: 40 mm
- External exposure: 40 mm
- Membrane in contact with ground: 30 mm
- Internal surface: 20 mm
- Strip & pad footing: 40 mm
- C7 All concrete shall be mechanically vibrated. Vibrators shall not be used to spread concrete.
- C8 Sizes of concrete elements do not include thickness of applied finishes.
- C9 No holes or chases other than those shown on the structural drawings shall be made in concrete members without the prior approval of the Engineer.
- C10 Construction joints where not shown shall be located to the approval of the Engineer.
- C11 Curing of all concrete is to be achieved by keeping surfaces continuously wet for a period of 3 days, and prevention of loss of moisture for a total of 7 days followed by gradual drying out. Approved sprayed on compounds may be used where no floor finishes are proposed. Polythene sheeting or wet hessian may be used if protected from wind and traffic.
- C12 Construction support propping is to be left in place where needed to avoid over stressing the structure due to construction loading. No masonry or partition walls are to be constructed on suspended levels until all propping is removed and the slab has absorbed its dead load deflection.
- C13 Conduits, pipes, etc. shall only be placed in the middle one third of slab depth and spread at not less than 3 diameters.
- C14 Reinforcement symbols:
N - Denotes deformed grade 500 normal ductility reinforcing bars to AS/NZS 4671.
R - Denotes plain round grade 250 normal ductility reinforcing bars to AS/NZS 4671.
SL - Denotes deformed grade 500 low ductility reinforcing mesh to AS/NZS 4671.
RL - Denotes deformed grade 500 low ductility reinforcing mesh to AS/NZS 4671.
L-TM - Denotes deformed grade 500 low ductility trench mesh to AS/NZS 4671.

- C15 Reinforcement is represented diagrammatically; it is not necessarily shown in true projection.
- C16 Splices in reinforcement shall be made only in positions shown or otherwise approved by the Engineer.
- C17 Fabric reinforcement shall have splices made so that the overlap, measured between the outermost transverse wires of each sheet of fabric, is not less than the spacing of those wires plus 25 mm.
- C18 Welding of reinforcement shall not be permitted unless shown on the structural drawings or approved by the Engineer.

STRUCTURAL STEEL

- S1 All workmanship and materials shall be in accordance with AS 4100, AS 1163, AS 1554.1 and AS/NZS 4600.
- S2 The structural design has been based on the following steel grades, U.N.O:
Hot rolled universal beams, columns, channels & angles: 300PLUS
Circular, square & rectangular hollow sections: C350/C450LO
Cold formed open DuraGal profiles: C400/C450LO
Cold formed lipped Cee & Zed purlins: G550/G500/G450
- S3 The structural design has been based on MBPMA nominal size Cee & Zed lipped purlins. All purlin profiles shall be in accordance with the MBPMA specifications.
- S4 Qualifications of welding procedures and personnel shall conform to Section 4 of AS 1554.1. Non destructive testing of welds shall include 100% visual inspection and additional testing as shown on the drawings.
All welds shall be 6 mm continuous fillet type SP, U.N.O. All butt welds shall be complete penetration in accordance with AS 1554.1, U.N.O.

Commercial bolts to AS 1111, snug tightened
High strength structural bolts to AS 1562, snug tightened
High strength structural bolts to AS 1562, fully tensioned bearing joint to AS 1511
High strength structural bolts to AS 1562, fully tensioned friction joint to AS 1511

- All bolts shall be M16 8.8/S, with a minimum of 2 bolts per connection, U.N.O.
- S7 High strength TF & TB bolts shall be installed using approved load indicator washers, or in accordance with the part turn method nominated in AS 4100.
- S8 Gusset plates shall be 10 mm thick, grade 300PLUS steel, U.N.O.
- S9 Concrete encased steelwork shall be wrapped with SL41 fabric and shall have a minimum of 50 mm cover, U.N.O.
- S10 Steelwork not encased shall have the following surface treatment:

Exposure Classification	Steelwork Protection Required
A1 / A2	Power tool clean to AS1627 Class 1 1 Coat Alkyd Primer (Zinc Phosphate)
B1	Abrasive blast to AS1627 Class 2.5 1 Coat Inorganic Zinc Silicate
B2	Hot Dipped Galvanised to AS4680

- S11 Where sealed tube members are hot dip galvanised, the fabricator shall provide drill holes as necessary.
- S12 All transport and erection damage, site welds etc., shall be reinstated to an equivalent finish to adjacent steelwork.

SITE PREPARATION FOR SLABS ON GROUND

- P1 Strip topsoil containing organic matter. Proof roll fill sub grade and remove any soft zones.
- P2 Where additional fill is required to the underside of slabs on ground, non cohesive materials such as sand and gravel dust shall be placed by "controlled" compaction in horizontal layers of 200 mm (loose) maximum depth. This fill shall be compacted to at least 95% of Standard Maximum Dry Density (SMDD).
- P3 For slabs on ground, sand 50 mm approximate thickness is to be spread as a levelling layer and well watered down.
- P4 Damp-proofing membrane unpunctured and taped at laps, is to be placed over the sand, sufficient membrane being provided at edges to return under brickwork. Where no brickwork, tape membrane to side of footing below ground.

FOUNDATION MAINTENANCE

FOUNDATION SOILS: All soils are affected by water. Silts are weakened by water and some sands can settle if heavily watered, but most problems arise on clay foundations. Clays swell and shrink due to changes in moisture content and the potential amount of the movement is implied in the site classification in Australian Standard AS2870, which is specified as follows:

- A Stable (Non-reactive),
S Slightly Reactive,
M Moderately Reactive,
H Highly Reactive,
E Extremely Reactive.

CLASS A & S SITES: Sands, silts and clays shall be protected from becoming extremely wet by adequate attention to site drainage and prompt repair of plumbing leaks.

CLASS M, H & E SITES: Sites classified as M, H, or E shall be maintained at essentially stable moisture conditions and extremes of wetting and drying prevented. This will require attention to the following:

Drainage of the site: The site shall be graded or drained so that water cannot pond against or near the house. The ground immediately adjacent to the house shall be graded to a uniform fall of 50 mm minimum away from the house over the first metre. The sub floor space for houses with suspended floors shall be graded or drained to prevent ponding where this may affect the performance of the footing system. The site drainage requirements shall be maintained for the economic life of the building.

Limitations on gardens: The development of the gardens shall not interfere with the drainage requirements or the sub floor ventilation and weep hole drainage systems. Garden beds adjacent to the house should be avoided. Care should be taken to avoid over watering of gardens close to the house footings.

Restrictions on trees and shrubs: Planting of trees should be avoided near the foundation of a house or neighbouring house on reactive sites as they can cause damage due to drying of the clay at substantial distances. To reduce, but not eliminate, the possibility of damage, tree planting should be restricted to a distance from the house of:

- 1.50 x mature height for Class E sites
1.00 x mature height for Class H sites
0.75 x mature height for Class M sites

Where rows or groups of trees are involved, the distance from the building should be increased. Removal of trees from the site can also cause similar problems.

Repair of leaks: Leaks in plumbing, including storm water and sewerage drainage should be repaired promptly.

The level to which these measures are implemented depends on the reactivity of the site. The measures apply mainly to masonry houses and masonry veneer houses. For frame houses clad with timber or sheeting, lesser precautions may be appropriate.

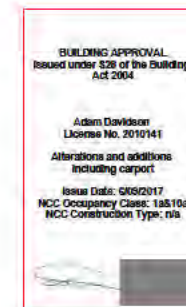
BONDEK/CONDECK FORMWORK

- B1 U.N.O. BONDEK/CONDECK PANELS SHALL BE 1.00Mmm BMT
- B2 PANELS ARE TO BE SECURELY FIXED OR HELD DOWN TO PREVENT DISPLACEMENT DUE TO CONSTRUCTION LOADING OR WIND UPLIFT PRIOR TO CONCRETING
- B3 FIX PANELS TO STEELWORK BY PUDDLE WELDING DRIVE PINS OR OTHER SUITABLE METHODS. SLIP JOINTS SHALL BE LOCATED AS SHOWN
- B4 FIXING TO MASONRY IS NOT NECESSARY PROVIDED CONCRETE IS PLACED IMMEDIATELY AFTER PANELS ARE LAID. TOP COURSE OF BRICKWORK IS TO BE STRAIGHT AND LEVEL. IF REQUIRED, PROVIDE LAYER OF SMOOTH HARD MORTAR SLIP JOINTS SHALL BE PROVIDED AT ALL MASONRY U.N.O.

- B5 BEFORE CONCRETE IS PLACED, ANY ACCUMULATED DEBRIS, GREASE OR ANY OTHER SUBSTANCE WILL NEED TO BE REMOVED TO ENSURE CLEAN BONDING SURFACE. ANY PONDED RAINWATER SHOULD BE REMOVED BY BLOWING OR SWEEPING
- B6 FASTENING OF SIDE LAP JOINTS SHALL BE IN ACCORDANCE WITH LYSAGHT PUBLICATIONS, AND GENERALLY ONE No. 10-24x16mm SELF-DRILLING TAPPING SCREW IS REQUIRED MID-SPAN FOR SUPPORT SPACING OF 2750mm OR GREATER. FOR POINT LOADS RATINGS OR EXPOSED SOFFITS ADDITIONAL FIXING MAY BE REQUIRED
- B7 U.N.O PROPPING SHALL BE IN ACCORDANCE WITH LYSAGHT PUBLICATIONS
- B8 PROPS SHALL NOT BE REMOVED UNTIL CONCRETE HAS REACHED SUFFICIENT STRENGTH

LEGEND

- DENOTES LOAD BEARING BRICK WALL OVER
- DENOTES CORE FILLED BLOCK WALL OVER
- DENOTES NON LOAD BEARING WALL OVER
- DENOTES NON LOAD BEARING WALL UNDER
- DENOTES LOAD BEARING MASONRY WALL UNDER
- DENOTES LOAD BEARING 190 DINCEL WALL
- DENOTES LOAD BEARING STUD WALL OVER
- DENOTES SLAB PENETRATION
- DENOTES SLAB STEP DEPTH
- DENOTES MINIMUM SLAB DEPTH
- DENOTES SLAB DATUM
- DENOTES STEEL BEAM 150mm BELOW SLAB DATUM
- DENOTES SAWN JOINT. REFER TO DETAILS.
- DENOTES KEY JOINT. REFER TO DETAILS.
- DENOTES DOUBLE STUD
- DENOTES TRIPLE STUD
- DENOTES F11x4.5 THICK PLYWOOD SHEET STRUCTURAL BRACING. REFER TO TIMBER FRAMING CODE FOR FIXING.
- DENOTES 30x0.8 METAL STRAP CROSS BRACING. REFER TO TIMBER FRAMING CODE AS1684 FOR FIXING
- DENOTES CONTINUOUS STEEL COLUMN
- DENOTES STEEL COLUMN OVER
- DENOTES STEEL COLUMN UNDER
- DENOTES STEEL COLUMN UNDER & OVER



NOTE: DO NOT SCALE OFF DRAWINGS. REFER TO ARCHITECTURAL PLANS. VERIFY DIMENSIONS ON SITE

REV	DATE	DESCRIPTION	BY
A	15.06.17	ISSUED FOR BA	AZH

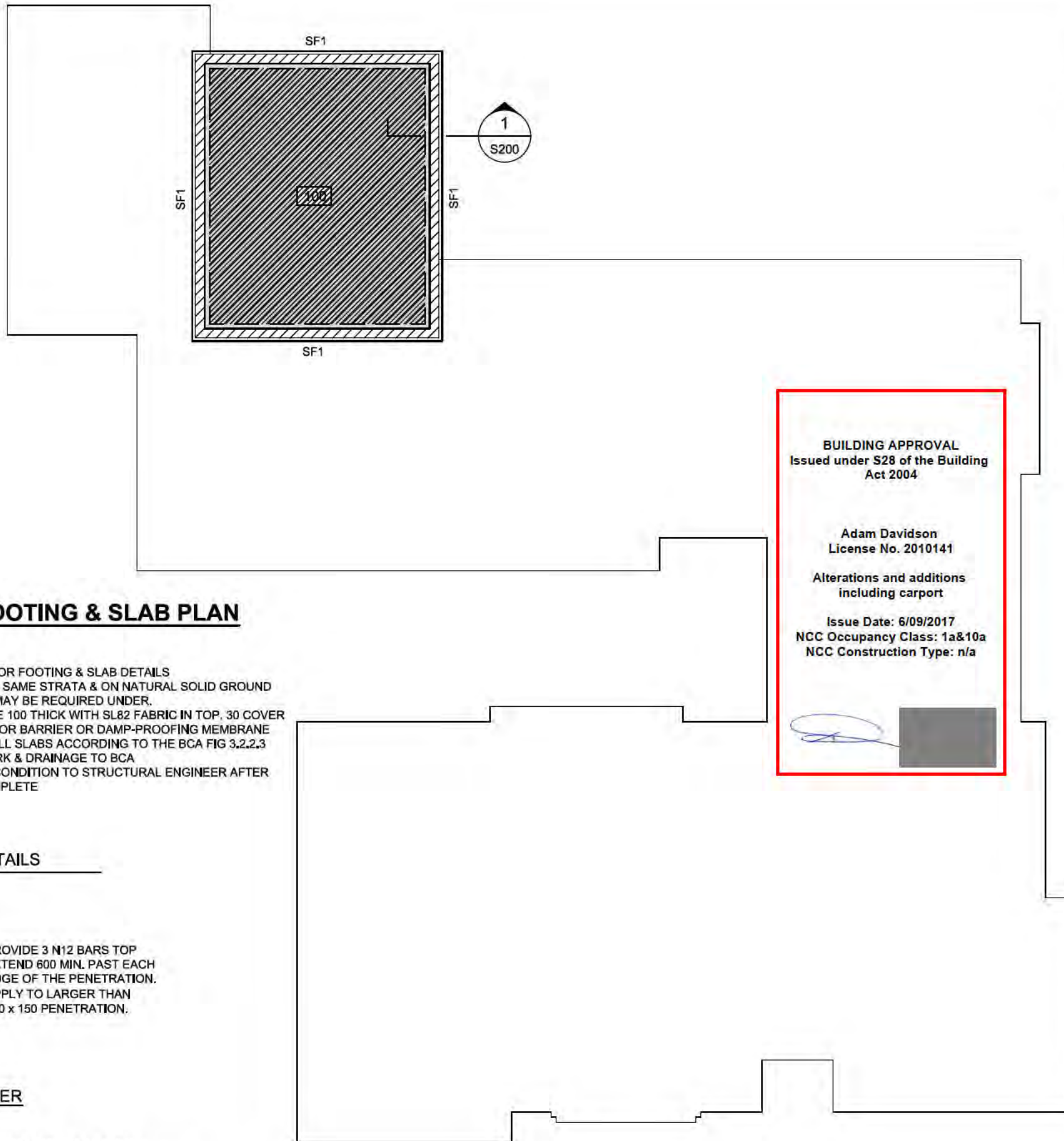
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PROPOSED ADDITION
BLOCK 9 SECTION 23 FORREST
FOR DARREN ROBERTSON

GENERAL NOTES

JOB NUMBER:	DWG NUMBER:	ORIGINAL SIZE:
17-231	S000	A3
DESIGNED BY: A.N.H	DATE: 10.06.2017	
DRAWN BY: A.Z	SCALE: 1:100	



ELEMENT	STRENGTH f _c	MAX SIZE AGG. mm	SLUMP mm	CEMENT TYPE	ADMIXTURE
CONCRETE QUALITY					
FOOTINGS	20	20	80	GP	-
SLAB ON GROUND	25	20	80	GP	-

REFER TO GENERAL NOTES FOR REINFORCEMENT COVER

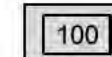
FOOTING SCHEDULE

MARK	DESCRIPTION	SIZE	COMMENTS
SF1	STRIP FOOTING	500 D x 400 W	L11TM-300 TOP & BTM + 400mm 11TM CLIP SPACER

NOTE:

SITE CLASSIFICATION "M" AS DETERMINED BY ANH CONSULTING ENGINEER. REFER TO SITE CLASSIFICATION PREPARED BY ANH.

SLAB ON GROUND NOTES



DENOTES EXTENT OF 100 THICK SLAB ON 400mm MAXIMUM COMPACTED FILL REINFORCED WITH SL82 MESH TOP CONTINUOUS THROUGHOUT PLUS ANY EXTRAS AS NOTED ON PLAN AND IN DETAILS.

REFER TO TABLE BELOW FOR CONCRETE COVERS

NOTES TO BE READ IN CONJUNCTION WITH PLANS AND TYPICAL DETAILS

REINFORCEMENT COVERS			
SLAB ON GROUND		INTERIOR	EXTERIOR
SLAB	TOP	20mm	45mm
	BTM	30mm	30mm
	SIDES	45mm	45mm

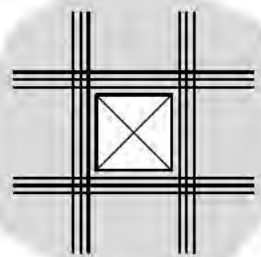
BASEMENT FOOTING & SLAB PLAN

1:100

NOTES:

- REFER TO DRAWING S200 FOR FOOTING & SLAB DETAILS
- ALL FOOTINGS TO BEAR ON SAME STRATA & ON NATURAL SOLID GROUND OTHERWISE BORED PIERS MAY BE REQUIRED UNDER.
- ALL EXTERNAL SLABS TO BE 100 THICK WITH SL82 FABRIC IN TOP, 30 COVER
- PROVIDE CONTINUOUS VAPOR BARRIER OR DAMP-PROOFING MEMBRANE OVER 50mm SAND UNDER ALL SLABS ACCORDING TO THE BCA FIG 3.2.2.3
- ARTICULATE ALL BRICKWORK & DRAINAGE TO BCA
- BUILDER TO REPORT SITE CONDITION TO STRUCTURAL ENGINEER AFTER THE SITE CUT & FILL IS COMPLETE

TYPICAL SLAB TRIMMER DETAILS



PROVIDE 3 N12 BARS TOP EXTEND 600 MIN. PAST EACH EDGE OF THE PENETRATION. APPLY TO LARGER THAN 150 x 150 PENETRATION.

SLAB PENETRATION TRIMMER



3 N12-2000 LONG (75 SPACING) TRIMMERS BARS AT ALL RE-ENTRANT CORNERS, TIED TO UNDERSIDE OF TOP REINFORCEMENT.


SLAB RE-ENTRANT CORNER TRIMMER

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NCC Construction Type: n/a




REV	DATE	DESCRIPTION	BY
A	15.05.17	ISSUED FOR BA	AJH

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PROPOSED ADDITION
BLOCK SECTION FORREST
FOR DARREN ROBERTSON

JOB NUMBER:	DWG NUMBER:	ORIGINAL SIZE:
17-231	S100	A3
DESIGNED BY: A.N.H.	DATE: 10.06.2017	
DRAWN BY: A.Z.	SCALE: 1:100	

NOTE: DO NOT SCALE OFF DRAWINGS. REFER TO ARCHITECTURAL PLANS. VERIFY DIMENSIONS ON SITE

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ELEMENT	STRENGTH f _c	MAX SIZE AGG. mm	SLUMP mm	CEMENT TYPE	ADMIXTURE
CONCRETE QUALITY					
FOOTINGS	20	20	80	GP	-
PIERS	20	20	80	GP	-
SLAB ON GROUND	25	20	80	GP	-

REFER TO GENERAL NOTES FOR REINFORCEMENT COVER

FOOTING SCHEDULE			
MARK	DESCRIPTION	SIZE	COMMENTS
PF1	PAD FOOTING	500 D x 600 x 600 W	MASS CONCRETE
SF2	STRIP FOOTING	500 D x 300 W	L11TM-200 TOP & BTM + 400mm 11TM CLIP SPACER
SF3	STRIP FOOTING	500 D x 400 W	L11TM-300 TOP & BTM + 400mm 11TM CLIP SPACER
BP1	Ø300 MASS CONCRETE PIER TO SEWER INVERT		

NOTE:
 SITE CLASSIFICATION "M" AS DETERMINED BY ANH CONSULTING ENGINEER. REFER TO SITE CLASSIFICATION PREPARED BY ANH.

NOTE:
 TRUSS LAYOUT TO BE FORWARDED TO ANH CONSULTING ENGINEERS BEFORE COMMENCEMENT OF WORK ON SITE
 DO NOT LOAD INTERNAL WALLS WITHOUT PERMISSION OF A STRUCTURAL ENGINEER
 TIMBER TRUSSES, ROOF BRACING, WALL FRAMING, LINTELS
 WALL BRACING AND EXISTING ROOF SUPPORT TRUSSES BY FRAMING COMPANY.

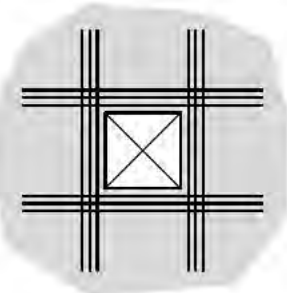
FOOTING & SLAB PLAN

1:100

NOTES:

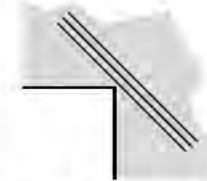
- REFER TO DRAWING S200 FOR FOOTING & SLAB DETAILS
- ALL FOOTINGS TO BEAR ON SAME STRATA & ON NATURAL SOLID GROUND OTHERWISE BORED PIERS MAY BE REQUIRED UNDER.
- ALL EXTERNAL SLABS TO BE 100 THICK WITH SL82 FABRIC IN TOP, 30 COVER
- PROVIDE CONTINUOUS VAPOR BARRIER OR DAMP-PROOFING MEMBRANE OVER 50mm SAND UNDER ALL SLABS ACCORDING TO THE BCA FIG 3.2.2.3
- ARTICULATE ALL BRICKWORK & DRAINAGE TO BCA
- BUILDER TO REPORT SITE CONDITION TO STRUCTURAL ENGINEER AFTER THE SITE CUT & FILL IS COMPLETE

TYPICAL SLAB TRIMMER DETAILS



PROVIDE 3 N12 BARS TOP EXTEND 600 MIN. PAST EACH EDGE OF THE PENETRATION. APPLY TO LARGER THAN 150 x 150 PENETRATION.

SLAB PENETRATION TRIMMER



3 N12-2000 LONG (75 SPACING) TRIMMERS BARS AT ALL RE-ENTRANT CORNERS, TIED TO UNDERSIDE OF TOP REINFORCEMENT.

SLAB RE-ENTRANT CORNER TRIMMER

NOTE: DO NOT SCALE OFF DRAWINGS. REFER TO ARCHITECTURAL PLANS. VERIFY DIMENSIONS ON SITE

REV	DATE	DESCRIPTION	BY
A	15/06/17	ISSUED FOR BA	AJH

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 E. info@anh.net.au www.anh.net.au

PROPOSED ADDITION
 BLOCK SECTION FORREST
 FOR DARREN ROBERTSON

JOB NUMBER:	DWG NUMBER:	ORIGINAL SIZE:
17-231	S101	A3
DESIGNED BY: A.N.H.	DATE: 10.06.2017	
DRAWN BY: A.Z.	SCALE: 1:100	

LEGEND

(170) DENOTES 170mm THICK SLAB

SLAB ON GROUND NOTES

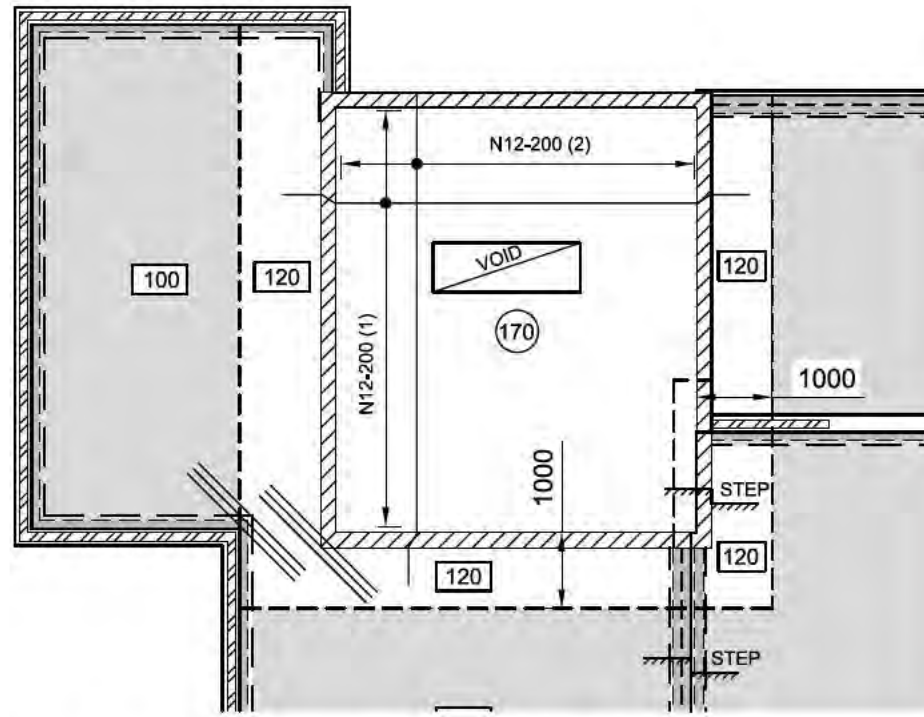
- 100** DENOTES EXTENT OF 100 THICK SLAB ON 400mm MAXIMUM COMPACTED FILL REINFORCED WITH SL82 MESH TOP CONTINUOUS THROUGHOUT PLUS ANY EXTRAS AS NOTED ON PLAN AND IN DETAILS.
- 120** DENOTES EXTENT OF 120 THICK SLAB REINFORCED WITH SL82 MESH TOP & SL72 MESH BTM CONTINUOUS THROUGHOUT PLUS ANY EXTRAS AS NOTED ON PLAN AND IN DETAILS.
- 130** DENOTES EXTENT OF 130 THICK SLAB REINFORCED WITH SL82 MESH TOP & BTM CONTINUOUS THROUGHOUT PLUS ANY EXTRAS AS NOTED ON PLAN AND IN DETAILS.

REFER TO TABLE BELOW FOR CONCRETE COVERS

NOTES TO BE READ IN CONJUNCTION WITH PLANS AND TYPICAL DETAILS

REINFORCEMENT COVERS

SLAB ON GROUND		INTERIOR	EXTERIOR
SLAB	TOP	20mm	45mm
	BTM	30mm	30mm
	SIDES	45mm	45mm



BOTTOM REINFORCEMENT PLAN
1:100

BUILDING APPROVAL
 Issued under S28 of the Building Act 2004

 Adam Davidson
 License No. 2010141

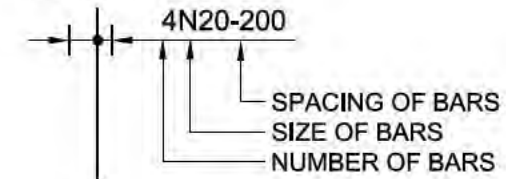
 Alterations and additions including carport

 Issue Date: 6/09/2017
 NCC Occupancy Class: 1a&10a
 NCC Construction Type: n/a

REINFORCEMENT NOTES

- R1. ALL SLABS TO BE REINFORCED AS NOTED ON PLAN U.N.O. IN DETAILS.
- R2. FOR REINFORCEMENT TO HOBS, STAIRS, ETC REFER TO DETAILS.
- R3. REINFORCEMENT CROSSING PENETRATIONS IS TO BE DISPLACED, NOT CUT.

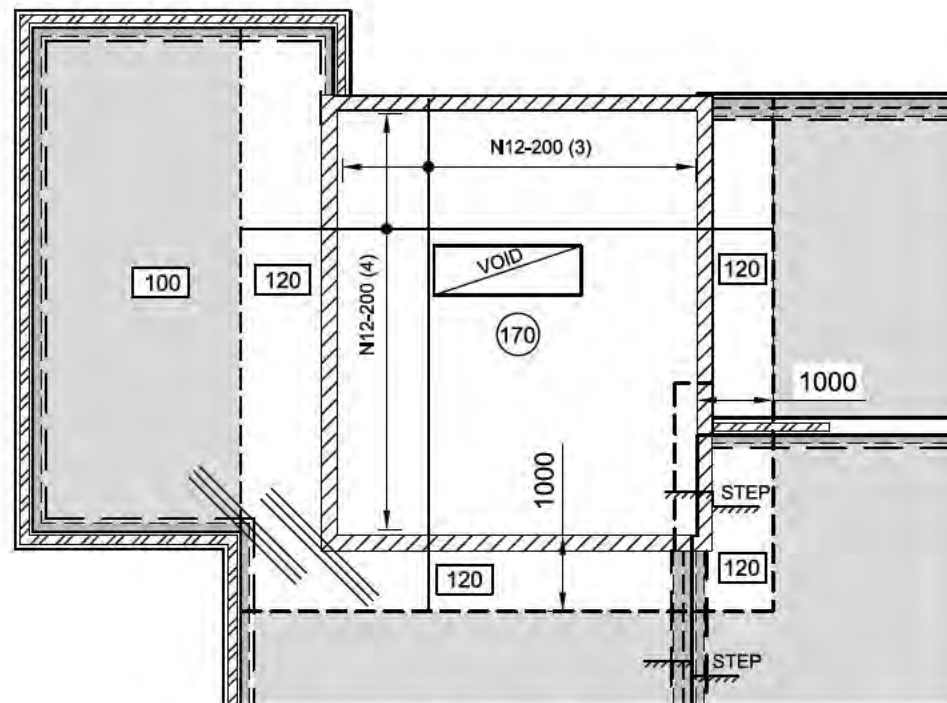
R4. BAR TAG NOTATION:



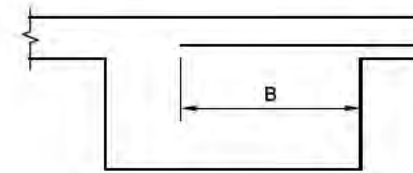
ALL SLAB REINFORCEMENT TO BE LAID IN SEQUENCE INDICATED BELOW:

- LAID FIRST N12-250(1)
- LAID SECOND N12-250(2)
- LAID THIRD N12-250(3)
- LAID FOURTH N12-250(4)

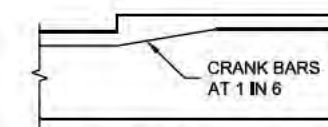
		INTERNAL	EXTERNAL
SLAB	TOP	20mm	45mm
	BTM	30mm	30mm
	SIDES	45mm	45mm



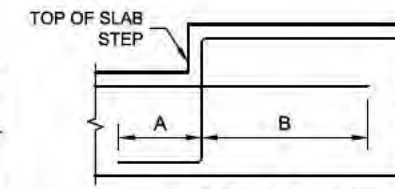
TOP REINFORCEMENT PLAN
1:100



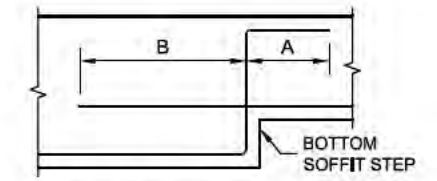
SLAB REO EXTENDING INTO BEAM



WET AREA SETDOWN



TOP OF SLAB STEP



BOTTOM OF SLAB STEP

BAR DIA.	A	B
N12	200	600
N16	300	800
N20	400	1000
N24	500	1200
N28	600	1400
N32	700	1600
N36	800	1800

TYPICAL REINFORCEMENT BAR LAP AT STEPS

BAR	LAP (mm)
UP TO N12	480
N16	640
N20	800
N24	960
N28	1120
N32	1280
N36	1440

SLAB REINFORCEMENT MIN. SPLICE SCHEDULE

BAR	COG (mm)
UP TO N12	200
N16	200
N20	245
N24	295
N28	340
N32	390
N36	440

STANDARD COG SCHEDULE

NOTE: DO NOT SCALE OFF DRAWINGS. REFER TO ARCHITECTURAL PLANS. VERIFY DIMENSIONS ON SITE

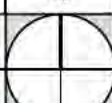
REV	DATE	DESCRIPTION	BY
A	15/06/17	ISSUED FOR BA	AJNH

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PROPOSED ADDITION
 BLOCK SECTION FORREST
 FOR DARREN ROBERTSON

TOP & BOTTOM REINFORCEMENT PLAN

JOB NUMBER:	DWG NUMBER:	ORIGINAL SIZE:
17-231	S102	A3
DESIGNED BY: A.N.H	DATE: 10.06.2017	
DRAWN BY: A.Z	SCALE: 1:100	

Sch 2 2.2(a)(ii)

BUILDING APPROVAL
Issued under S28 of the Building Act 2004

Adam Davidson
License No. 2010141

Alterations and additions
including carport

Issue Date: 6/09/2017
NCC Occupancy Class: 1a&1
NCC Construction Type: n

STEEL & TIMBER MEMBER SCHEDULE			
MARK	DESCRIPTION	SIZE	COMMENTS
SC1	STEEL BEAM	90 x 3,5 SHS	
SC2	STEEL BEAM	50 x 50 x 5 SHS	
SC3	STEEL BEAM	100 x 100 x 5 SHS	
SB1	STEEL BEAM	230 PFC + 150 x 8 E.A	
SB2	STEEL BEAM	250 x 150 x 5 RHS	
SB3	STEEL BEAM	250 x 150 x 5 RHS	
RB1	ROOF BEAM	250 PFC	
RB2	ROOF BEAM	250 PFC	
P1	TIMBER PURLIN	250 x 45 LVL @ 600 Ctrs	
OR	OUTRIGGER	65 x 35 x 2 @ 1200 Ctrs	WELDED TO RB1

NOTE:

TRUSS LAYOUT TO BE FORWARDED TO ANH CONSULTING ENGINEERS BEFORE COMMENCEMENT OF WORK ON SITE

DO NOT LOAD INTERNAL WALLS WITHOUT PERMISSION OF A STRUCTURAL ENGINEER

TIMBER TRUSSES, ROOF BRACING, WALL FRAMING, LINTELS
WALL BRACING AND EXISTING ROOF SUPPORT TRUSSES BY FRAMING COMPANY.

NOTE:

ARCHITECT/ BUILDER TO CHECK THE CLEARANCE, LEVELS AND LAYOUT OF STRUCTURAL STEEL MEMBERS BEFORE COMMENCEMENT ON SITE

NOTE:

- DO NOT DEMOLISH LOAD BEARING WALLS BEFORE CONTACTING OUR OFFICE.
- BUILDER CAN ENGAGE OUR OFFICE FOR ALTERNATIVE SUPPORT STRUCTURE.

NOTE:

PROVIDE PRYDA FASCIA SUPPORT AT EACH RAFTER WHERE R1 IS SUPPORTED

ROOF SUPPORT STRUCTURE

1:100

NOTE:

ALL LVL BEAMS ARE ASSUMED WEATHER PROTECTED, ADVISE OUR OFFICE OTHERWISE

SHOP WELD
E.A TO SB1
WELD 200 M

SECTION

1

1:20

S103

NOTE: DO NOT SCALE OFF DRAWINGS. REFER TO ARCHITECTURAL PLANS. VERIFY DIMENSIONS ON SITE

REV	DATE	DESCRIPTION	BY
A	15/05/17	ISSUED FOR BA	A.N.H.

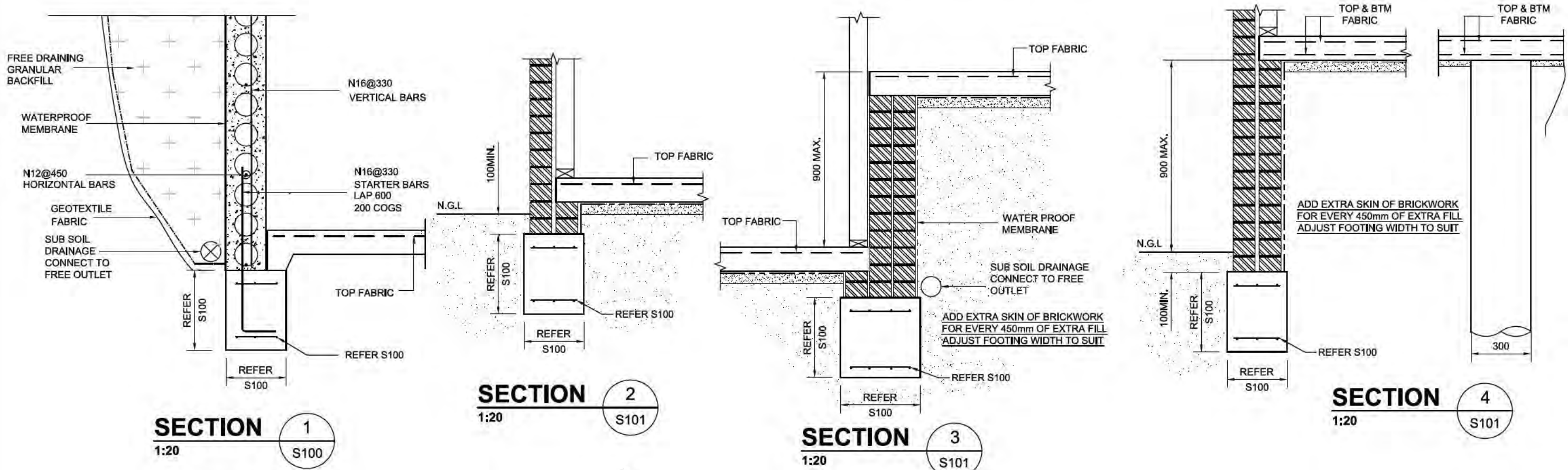
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E. info@anh.net.au www.anh.net.au

PROPOSED ADDITION
BLOCK SECTION FORREST
FOR DARREN ROBERTSON

JOB NUMBER:	DWG NUMBER:	ORIGINAL SIZE:
17-231	S102	A3
DESIGNED BY: A.N.H.	DATE: 10.06.2017	
DRAWN BY: A.Z.	SCALE: 1:100	

ROOF SUPPORT STRUCTURE

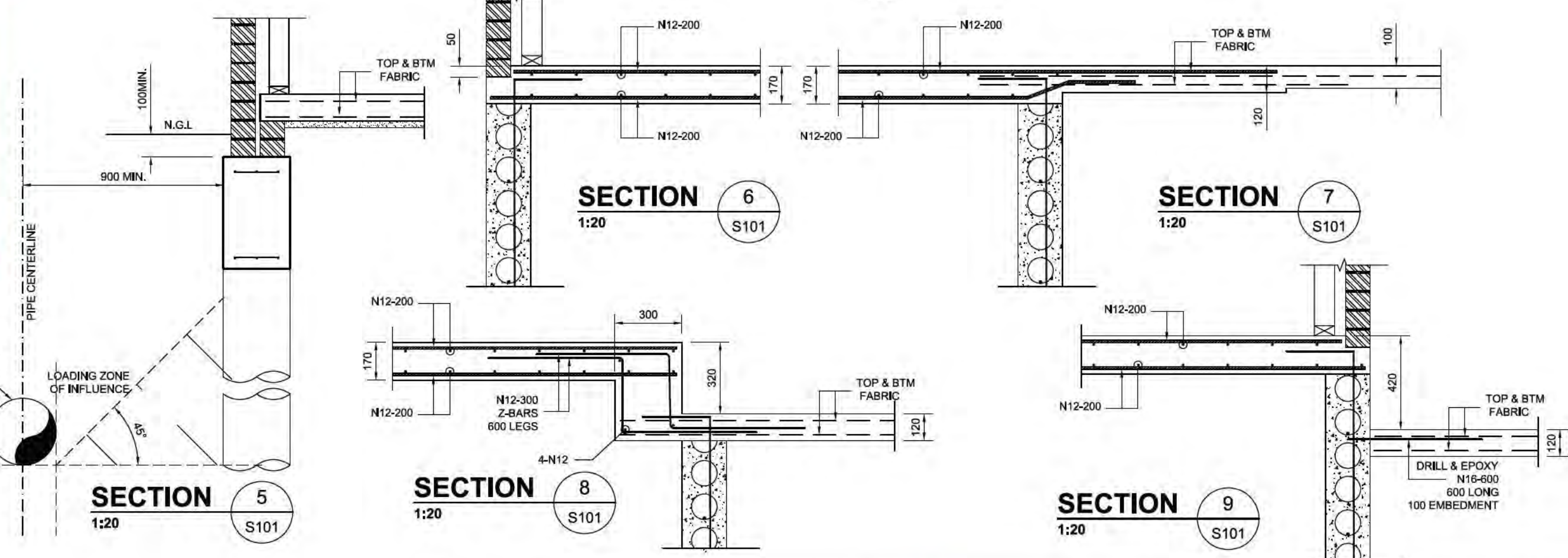


BUILDING APPROVAL
Issued under S28 of the Building Act 2004

Adam Davidson
License No. 2010141

Alterations and additions including carport

Issue Date 6/09/2017
NCC Occupancy Class 1a&10a
NCC Construction Type n/a



NOTE: DO NOT SCALE OFF DRAWINGS. REFER TO ARCHITECTURAL PLANS. VERIFY DIMENSIONS ON SITE

REV	DATE	DESCRIPTION	BY
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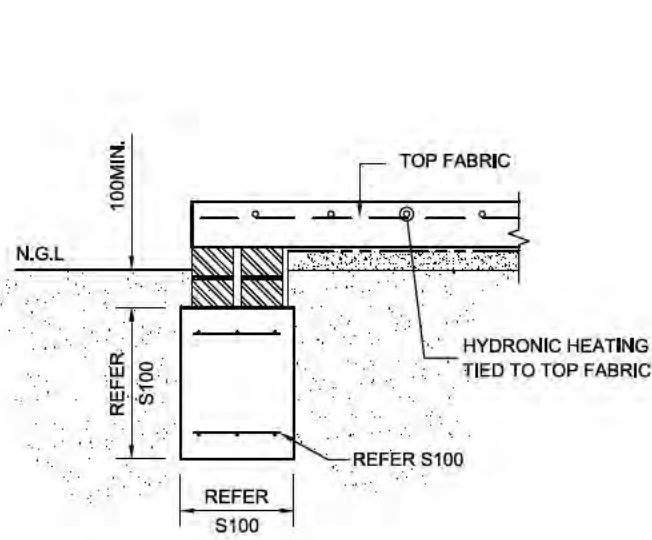
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T (02) 6100 0414 M. 0407 777 877

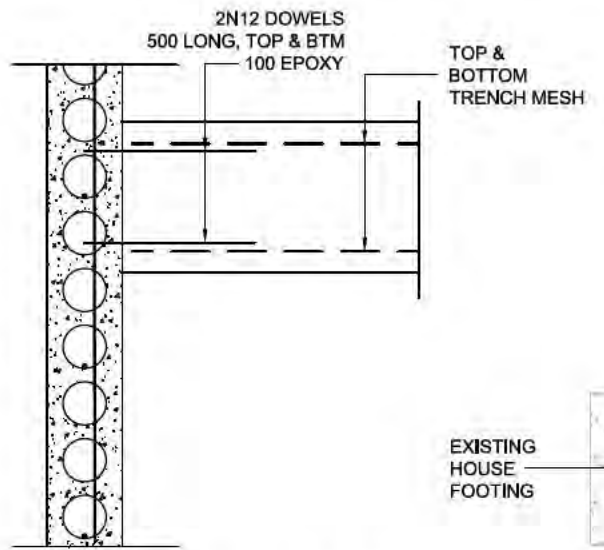
PROPOSED ADDITION
BLOCK: SECTION FORREST
FOR DARREN ROBERTSON

FOOTING SLAB DETAILS

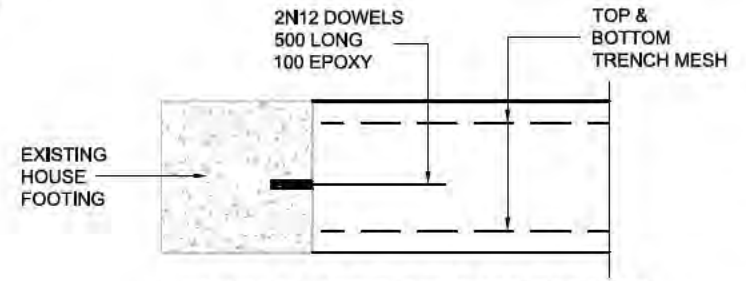
JOB NUMBER:	DWG NUMBER:	ORIGINAL SIZE:
17-231	S200	A3
DESIGNED BY: A.J.L.H.	DATE: 10.06.2017	
DRAWN BY: A.Z.	SCALE: 1:20	



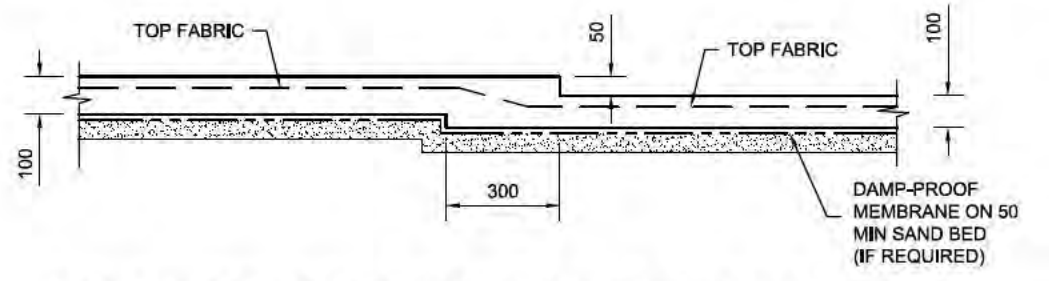
SECTION 10
1:20
S101



DETAIL A
1:20
S101



TYPICAL SF1 CONNECTION TO EXISTING FOOTING
SCALE: 1:20



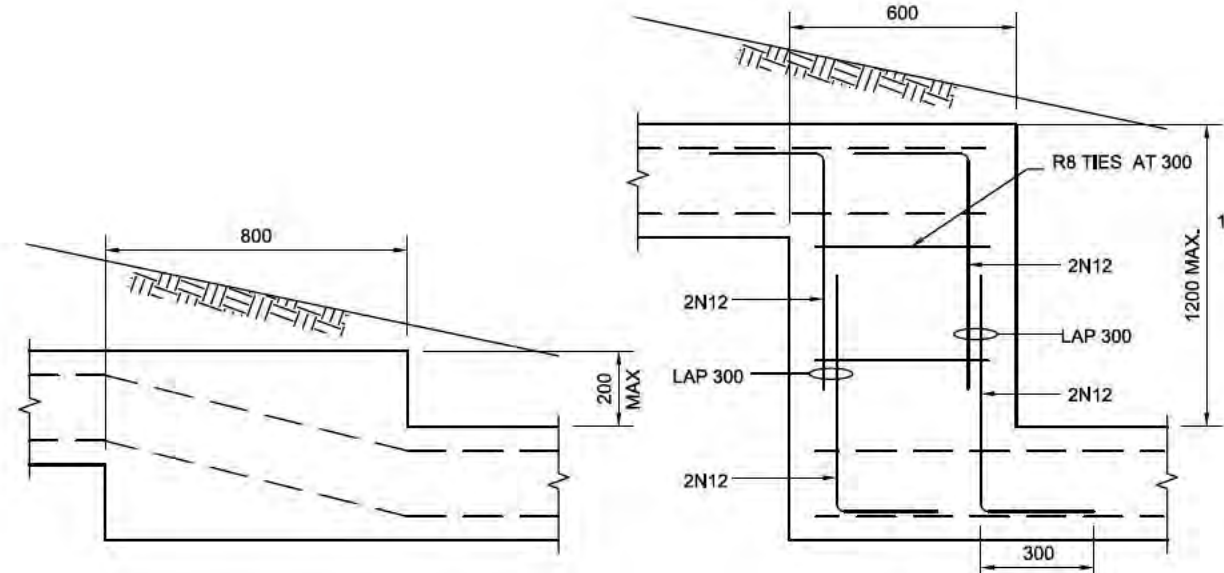
TYPICAL SET DOWN TO WET AREAS IF REQUIRED
1:20

BUILDING APPROVAL
Issued under S28 of the Building Act 2004

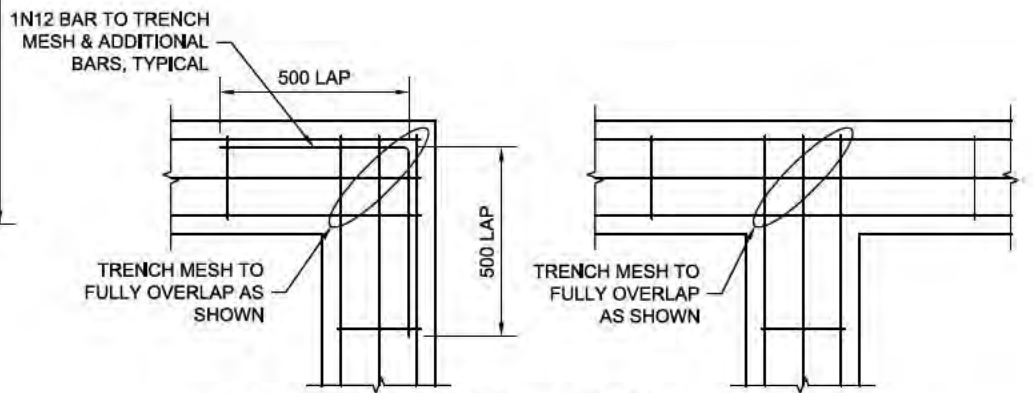
Adam Davidson
License No. 2010141

Alterations and additions including carport

Issue Date 6/09/2017
NCC Occupancy Class 1a&10a
NCC Construction Type n/a



TYPICAL FOOTING STEP DETAIL (ELEVATION)
1:20



TYPICAL FOOTING CORNER DETAILS (PLAN)
1:20

NOTE: DO NOT SCALE OFF DRAWINGS. REFER TO ARCHITECTURAL PLANS. VERIFY DIMENSIONS ON SITE

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PROPOSED ADDITION
BLOCK: SECTION FORREST
FOR DARREN ROBERTSON

FOOTING SLAB DETAILS

JOB NUMBER:	DWG NUMBER:	ORIGINAL SIZE:
17-231	S201	A3
DESIGNED BY: A-JNH	DATE: 10.06.2017	
DRAWN BY: A-Z	SCALE: 1:20	



Amendment Plan Tax Invoice

TO THE PAYEE

Sch 2 2.2(a)(ii)

Access Canberra Building Services

ABN 16 479 763 216
8 Darling Street Mitchell
GPO Box 158 ACT 2601
Access Canberra Homepage: www.act.gov.au/accesscbr

Invoice Date:14/02/2019 Time:10:16:37 AM

Invoice Number: 3100520745

Item	Fee
Amendment Fee for B20173707	23.00

No GST applies to these fees and levies.

PAYMENT REQUIRED WITHIN 14 DAYS OF INVOICE ISSUE DATE

Payment Options



Billers Code: 584508
Ref: 3100520745

Telephone & Internet Banking – BPAY®

Call your bank, credit union or building society to make this payment from your cheque, savings or credit card account. More info: www.bpay.com.au



Access Canberra

Internet

Visit www.accesscanberra.act.gov.au and search "Building Approvals and Payments" and then follow links to pay by credit card (MasterCard or Visa)



Access Canberra

Phone

Telephone (02) 6207 1923 8.30am - 4.30pm Mon - Fri and have your credit card details handy (MasterCard and Visa).



Access Canberra

In Person

Access Canberra Building Services Shopfront Only: 8.30am – 4.30pm Mon – Fri . Cash, Cheque, EFTPOS, Credit card (Mastercard and Visa). CashLink Code – 34 0075

For further information please contact Access Canberra Building Services - 02 6207 1923.



Building Approval Fees and Levies Tax Invoice

TO THE PAYEE

Access Canberra Building Services

Sch 2 2.2(a)(ii)

Forrest ACT 2603

ABN 16 479 763 216
8 Darling Street Mitchell
GPO Box 158 ACT 2601
Access Canberra Homepage: www.act.gov.au/accesscbr

Invoice Date:6/09/2017 Time:4:40:43 PM

Invoice Number: 3100433154

Block - Section - Division - District	Building Lev	Training Lev	Fees Paid	Total
- FORREST - CANBERRA CENTRAL				
Total	Sch 2 2.2(a)(xi)			

No GST applies to these fees and levies.

PAYMENT REQUIRED WITHIN 14 DAYS OF INVOICE ISSUE DATE

Payment Options



Bill Code: 584508
Ref: 3100433154

Telephone & Internet Banking – BPAY®

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Access Canberra.

Internet

Visit www.accesscanberra.act.gov.au and search "Building Approvals and Payments" and then follow links to pay by credit card (MasterCard or Visa)



Access Canberra.

Phone

Telephone (02) 6207 1923 8.30am - 4.30pm Mon - Fri and have your credit card details handy (MasterCard and Visa).



Access Canberra.

In Person

Access Canberra Building Services Shopfront Only: 8.30am – 4.30pm Mon – Fri . Cash, Cheque, EFTPOS, Credit card (Mastercard and Visa). CashLink Code – 34 0075



Building Approval Fees and Levies Receipt



Access Canberra Building Services

ADAM STEPHEN DAVIDSON

Sch 2 2.2(a)(ii)

ABN 16 479 763 216
16 Challis Street Dickson
GPO Box 158 ACT 2601
Access Canberra Homepage: www.act.gov.au/accesscbr

Payment Received: 9/12/2017

Payment for Invoice Number: 3100433154

Block	Section	District	Division	Building Levy	Training Levy	Workcover	Total Levies	Fees Paid
■	■	CANBERRA CENTRAL	FORREST	Sch 2 2.2(a)(xi)				
			Total					

No GST applies to these fees and levies.



Building Act 2004, S151
Building Approval

Project ID: B20173707

PART A - PROJECT DETAILS

Unit	Block	Section	Division (Suburb)	District	Jurisdiction
			FORREST	CANBERRA CENTRAL	Australian Capital Territory

PART B - WORKS REQUIRING BUILDING APPROVAL

Item of building work to which this Building Approval relates:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
1a	Alterations	DA EXEMPT-RESIDENCE	Alterations and additions	NA	1	188.00	Sch 2 2.2(a)(xi)
10a	New	DA EXEMPT-CARPORT		NA	1	36.00	

The following work is exempt from development approval:

- Single residential and extensions in existing areas
- Carports and shade structures

PART C - CERTIFIERS DECLARATION

I declare that in issuing this building approval under section 28 of the Building Act 2004:

- I am satisfied on reasonable grounds that the plans meet each applicable approval requirement under section 29 and is not prevented from being issued under section 30 or section 30A
- I have supplied all documents as required under 3.3 Building Act 2004
- I have prepared a notice (building approval certificate) certifying what approval requirements apply to the application and why the building approval is not prevented from being issued; and
- I have given the building approval certificate to the applicant.

In performing services as a certifier in relation to the work detailed in this application I am not in breach of my entitlement to act as a certifier in accordance with the Building Act 2004.

Full Name	Address	License Number	Expiry Date
ADAM STEPHEN DAVIDSON	Sch 2 2.2(a)(ii)	2010141	1/12/2017

Date Issued : 6/09/2017

NOTES

Utilities

This application must also be accompanied by a Statement of Compliance from each relevant utility provider (for water, sewerage, electricity and stormwater) which confirms that the location and nature of earthworks, utility connections, proposed buildings, pavements and landscape features comply with utility standards, access provisions and asset clearance zones.

Note 1: If there is no stormwater easement or Territory owned stormwater pipes located within the property boundary, a "Statement of Compliance" for stormwater from TAMS (Asset Acceptance) is not required to be obtained.

Note 2: Where there is conflict between planning and utility requirements, the utility requirements take precedence over other codified or merit provisions.

Utilities – Demolition Only

This application must be accompanied by a Statement of Endorsement for utilities (including water, sewerage, electricity and stormwater) stating that:

- all network infrastructure on or immediately adjacent to the site has been identified on the plan
- all potentially hazardous substances and conditions (associated with or resulting from the demolition process) that may constitute a risk to utility services have been identified
- all required network disconnections have been identified and the disconnection works comply with utility requirements
- all works associated with the demolition comply with and are in accordance with utility asset access and protection requirements

Note: The documentation provided to the utility provider for endorsement must be consistent with the documentation that forms part of a development approval or the documentation verified as exempt from requiring development approval by a licensed certifier.

Asbestos Advice

If documents accompanying building approval do not include an asbestos assessment report as per the Building Act 2004, the building approval must have an Asbestos Advice attached as per the Act

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.



APPOINTMENT OF BUILDER & APPLICATION FOR COMMENCEMENT NOTICE

Building Act 2004, S151

In completing this form the owner is authorising the builder nominated below to apply to the appointed certifier to issue a Commencement Notice for the works detailed in this application form.

PART A PROJECT DETAILS

Block Section Suburb Unit No.

Street Address

Certifier Name

Description of Building Works relevant to this application-*If more than 6 items please attach further details*

- 1 Alterations and additions
- 2 carport
- 3
- 4

PART B OWNER DETAILS - Please Print

All owners **must** be listed Owner 1 will be considered the contact person in relation to this application

Company Details

* Owner 1 Owner 2

Owner 3 Owner 4

Postal Address

Suburb State Postcode

Phone Number Business Hours Mobile

EMAIL ADDRESS

PART C APPOINTMENT OF BUILDER

I/we the owner/s have appointed the person whose details appear below as the builder in relation to the building works described in this form

Licence Holders Name as it appears on licence card **PREFERRED BUILDERS.COM.PTY LTD.**

Licence Number **2007 677** Class **B** Expiry Date **8/9/19**

List any conditions or endorsements on licence

EMAIL ADDRESS **Sch 2 2.2(a)(ii)**

PART D NOMINEE'S DETAILS
If the builder is a company or partnership provide details of the Nominee who will supervise the building

Nominee's Name **PAUL KERR.**

Licence Number **19935638** Class **B** Expiry Date **31.1.19**

X Signature of Nominee **Sch 2 2.2(a)(ii)** Date

PART E OWNER SIGNATURE/S- all owners must sign this form

* Owner 1	Sch 2 2.2(a)(ii)	Signature	8/8/17	DATE :
Owner 2		Signature		DATE:
Owner 3		Signature		DATE:
Owner 4		Signature		DATE:

PART F BUILDER APPLICATION TO CERTIFIER FOR COMMENCEMENT NOTICE

I hereby apply to the building certifier listed above for a commencement notice for the works detailed in Part A of this form in accordance with the Building Act 2004.

- A site sign was **not** required to be displayed prior to making this application.
- A site sign **was** required to be displayed prior to making this application and I declare that a compliant sign was erected and displayed for the required period.

X Signature of Builder **Sch 2 2.2(a)(ii)** Date

NOTE: There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

PART G INSURANCE OR FIDELITY CERTIFICATE

For residential building work please provide details of insurance where applicable

Insurance Provider **Sch 2 2.2(a)(xi)** Policy No. **Sch 2 2.2(a)(xi)** Date Issued **4/09/2017**

PLEASE NOTE:

- ▶ A copy of this notice and where applicable the residential building insurance policy or fidelity certificate must be given to the Construction Occupations Registrar within one (1) week of the issue date.
- ▶ A copy of the Commencement Notice must also be provided to the owner/s.

Privacy Notice

The personal information on this form is provided to Access Canberra to enable the processing of your application. The collection of personal information is authorised by the *Building Act 2004*. If all or some of the personal information is not collected Access Canberra cannot process your application. The personal information you provide may be disclosed to Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be disclosed where authorised by law or court order, or where the Directorate reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. Access Canberra's Information Privacy Policy contains information about how you may access or seek to correct your personal information held by Access Canberra, and how you may complain about an alleged breach of the Territory Privacy Principles. Access Canberra Information Privacy Policy can be found at www.act.gov.au/accessCBR

CONTACT INFORMATION

Email:

ACTPLAdevelopmentBA@act.gov.au

Post:

Access Canberra
Building Services
Shopfront Mitchell
GPO Box 158
Canberra, ACT 2601

In Person:

Please visit
www.act.gov.au/accessCBR
Or call **132281** to find an
Access Canberra Shopfront.



Building Act 2004, S151

Application for Building Commencement Notice

Project ID: B20173707

Licensed builders must use this form to apply to the building certifier for a commencement notice in accordance with the Building Act 2004. An application can only be made if the building approval has been issued for the building work. A commencement notice must be issued by the building certifier before any building work can commence.

PART A - PROJECT DETAILS

Building approval issue date: 6/09/2017

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
			CANBERRA CENTRAL	FORREST	Australian Capital Territory

Full Name	Address	License Number	Expiry Date
ADAM STEPHEN DAVIDSON	Sch 2 2.2(a)(ii)	2010141	1/12/2017

Description of work to which application for Commencement Notice relates:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
1a	Alterations	DA EXEMPT-RESIDENCE	Alterations and additions	NA	1	188.00	Sch 2 2.2(a)(xi)
10a	New	DA EXEMPT-CARPORT		NA	1	36.00	

Insurance provider: QBE

Policy number: 14R022361BWI-6

Issue date: 6/09/2017

PART B - BUILDERS DETAILS

License holder's name: PREFERRED BUILDERS.COM PTY LTD

License number: 2007677

License Expiry Date: 8/09/2019

Business Address: PO Box 5182 GARRAN ACT 2605

Phone Number: 0262811181

Signature of builder:

(Individual, director for company or partner for partnership)

If the builder is a company or partnership provide details of the nominee who will supervise the building work

Nominee's name: PAUL LAWRENCE KERR

License number: 19936538

License Expiry Date: 31/01/2019

**Nominee's signature
(if different to above):**

_____ / /

PART C - OWNER/LESSEE DETAILS

Name	Address
Sch 2 2.2(a)(ii)	Forrest ACT 2603, AUSTRALIA

ADVISORY NOTE: Owners please ensure you have a written contract with the builder named in this application. For residential building work requiring home owner insurance ensure that the same builders name is shown on the insurance policy.

PART D - OWNER/S OR AGENT SIGNATURE/S

Name	Signature	Date
Sch 2 2.2(a)(ii)		

NOTE: You may only make this application as an authorised agent on behalf of the owners of the property if you have appropriate written authorisation from ALL the owners and attach it to this application. This also applies if you are a part owner or joint owner making an application on behalf of the owners.

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.

PART E - BUILDER APPLICATION TO CERTIFIER FOR COMMENCEMENT NOTICE

I hereby apply to the building certifier listed above for a commencement notice for the works detailed in Part A of this form in accordance with the Building Act 2004.

- A site sign was NOT required to be displayed prior to making this application.
- A site sign WAS required to be displayed prior to making this application and I declare that a compliant sign was erected and displayed for the required period.

**Signature of
Builder/Nominee:**

_____ / /

NOTE: There are penalties for deliberately giving false and misleading information. Access Canberra or the Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.



Building Act 2004, S151

Application for Building Commencement Notice

Project ID: B20173707

Licensed builders must use this form to apply to the building certifier for a commencement notice in accordance with the Building Act 2004. An application can only be made if the building approval has been issued for the building work. A commencement notice must be issued by the building certifier before any building work can commence.

PART A - PROJECT DETAILS

Building approval issue date: 6/09/2017

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
			CANBERRA CENTRAL	FORREST	Australian Capital Territory

Full Name	Address	License Number	Expiry Date
ADAM STEPHEN DAVIDSON	Sch 2 2.2(a)(ii)	2010141	1/12/2017

Description of work to which application for Commencement Notice relates:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
1a	Alterations	DA EXEMPT-RESIDENCE	Alterations and additions	NA	1	188.00	Sch 2 2.2(a)(xi)
10a	New	DA EXEMPT-CARPORT		NA	1	36.00	

Insurance provider: QBE

Policy number: 14R022361BWI-6

Issue date: 6/09/2017

PART B - BUILDERS DETAILS

License holder's name: PREFERRED BUILDERS.COM PTY LTD

License number: 2007677

License Expiry Date: 8/09/2019

Business Address: PO Box 5182 GARRAN ACT 2605

Phone Number: 0262811181

Signature of builder:

(Individual, director for company or partner for partnership)

If the builder is a company or partnership provide details of the nominee who will supervise the building work

Nominee's name: PAUL LAWRENCE KERR

License number: 19936538

License Expiry Date: 31/01/2019

**Nominee's signature
(if different to above):**

_____ / /

PART C - OWNER/LESSEE DETAILS

Name	Address
Sch 2 2.2(a)(ii)	Forrest ACT 2603, AUSTRALIA

ADVISORY NOTE: Owners please ensure you have a written contract with the builder named in this application. For residential building work requiring home owner insurance ensure that the same builders name is shown on the insurance policy.

PART D - OWNER/S OR AGENT SIGNATURE/S

Name	Signature	Date
Sch 2 2.2(a)(ii)		

NOTE: You may only make this application as an authorised agent on behalf of the owners of the property if you have appropriate written authorisation from ALL the owners and attach it to this application. This also applies if you are a part owner or joint owner making an application on behalf of the owners.

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.

PART E - BUILDER APPLICATION TO CERTIFIER FOR COMMENCEMENT NOTICE

I hereby apply to the building certifier listed above for a commencement notice for the works detailed in Part A of this form in accordance with the Building Act 2004.

- A site sign was NOT required to be displayed prior to making this application.
- A site sign WAS required to be displayed prior to making this application and I declare that a compliant sign was erected and displayed for the required period.

**Signature of
Builder/Nominee:**

_____ / /

NOTE: There are penalties for deliberately giving false and misleading information. Access Canberra or the Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.



Building Act 2004, S151

Building Commencement Notice

Project ID: B20173707

PART A - PROJECT DETAILS

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
			CANBERRA CENTRAL	FORREST	Australian Capital Territory

Certifier's Details

Full Name	Address	License Number	Expiry Date
ADAM STEPHEN DAVIDSON	Sch 2 2.2(a)(ii)	2010141	1/12/2017

Building approval issue date: 6/09/2017

Building Commencement Notice Required for:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Area (m2)	Cost of Works (\$)
1a	Alterations	DA EXEMPT-RESIDENCE	Alterations and additions	NA	188.00	Sch2 2.2(a)(xii)
10a	New	DA EXEMPT-CARPORT		NA	36.00	

PART B - BUILDERS DETAILS

License holder's name: PREFERRED BUILDERS.COM PTY LTD

License number: 2007677

License Expiry Date: 8/09/2019

Business Address: PO Box 5182 GARRAN ACT 2605

Phone Number: 0262811181

If the builder is a company or partnership provide details of the nominee who will supervise the building work

Nominee's name: PAUL LAWRENCE KERR

License number: 19936538

License Expiry Date: 31/01/2019

PART C - CERTIFIER'S DECLARATION

Issue date of commencement notice: 11/09/2017

Name of Certifier Issuing Notice: ADAM STEPHEN DAVIDSON

Declaration:

This commencement notice is issued in accordance with the Building Act 2004, to the licensed builder stated above authorising the commencement of the stated building work. The issue of this commencement notice indicates that I am satisfied that the builders license authorises the work in the building approval. Where applicable for residential building work, I have been provided with a residential building insurance policy or fidelity certificate.

PLEASE NOTE:

A copy of the application for this commencement notice, this notice and where applicable the residential building insurance policy or fidelity certificate, must be given to the construction occupations registrar within one (1) week of the issue date.

This building commencement notice will end if-

- (a) for residential building work- the work is no longer insured; or
- (b) the building approval for the work ends

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.



Building Act 2004, S151

**Certification of
Completion of Building Work**

Project ID: B20173707/B

If this application is incomplete or documentation is inadequate this application may not be accepted for lodgement and the Certificate of Occupancy and Use may not be issued.

PART A - PROJECT DETAILS

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
			CANBERRA CENTRAL	FORREST	Australian Capital Territory

Plan Registration Number
B20173707/A
B20173707/B

Description of Works

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Unit	BCN ID	Builder
1a	Alterations	DA EXEMPT-RESIDENCE	Alterations and additions	NA		B20173707N1	PREFERRED BUILDERS.COM PTY LTD
10a	New	DA EXEMPT-CARPORT		NA		B20173707N1	PREFERRED BUILDERS.COM PTY LTD

The project involved electrical work

The project involved plumbing and/or sanitary drainage work

The project involved gas work

This building work is not subject to an alternative solution under BCA

PART B - CERTIFIERS DECLARATION

I am satisfied that the building work detailed in the application is complete. I hereby certify that:

- (a) I have provided all the relevant documents required by subsection 48(2) of the Building Act 2004 with this application as uploaded;
- (b) the documentation relating to the building approval has been marked in accordance with the requirements of the Building Act 2004;
- (c) The building work has been completed in accordance with the requirements of the Building Act 2004 and substantially in accordance with the approved plans;
- (d) The building or part of the building as erected or altered is structurally sufficient, sound and stable for the purposes for which it is intended to be occupied or used; and
- (e) The Registrar can issue a Certificate of Occupancy and Use

Full Name	Address	License Number	Expiry Date
ADAM STEPHEN DAVIDSON	Sch 2 2.2(a)(ii)	2010141	1/12/2019

Date Issued: 19/02/2019 10:55:32 AM

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.



Access Canberra

APPLICATION FOR CERTIFICATE OF OCCUPANCY AND USE

Building Act 2004, S151

WARNING TO OWNERS

It is recommended that owners seek appropriate advice to determine whether the building work and other contract requirements have been completed satisfactorily before signing this form. This form should not be signed before the completion of building work.

PART A PROJECT DETAILS

Block/s [redacted] Section [redacted] Suburb FORREST Unit No. [redacted] Street Address [redacted]

Describe each item of building work to which this application relates: If more than 6 items please attach further details

- 1. ALTERATIONS AND ADDITIONS
2. NEW CAR PORT
3.
4.

Name of Certifier: ADAM DAVIDSON

PART B OWNER/LESSEE DETAILS

FULL NAME OF ALL OWNERS - All owners must be listed or application will not be processed Please Print - Owner 1 will be considered the contact person in relation to this application

Company Details [redacted]

* Owner 1 Sch 2 2.2(a)(ii) Owner 2
Owner 3
Owner 4

Postal Address [redacted]

Suburb FORREST State ACT Postcode 2603

Phone Number Business Hours Sch 2 2.2(a)(ii) Mobile Sch 2 2.2(a)(ii)

EMAIL ADDRESS Sch 2 2.2(a)(ii)

PART C DECLARATION BY OWNER/S

I am/we are: the owner(s) of the above described land

I am/we are satisfied that the building work and related requirements have been completed and hereby apply for a Certificate of Occupancy or Use in respect of the above described work to be issued and (select one option only):

- Email **Sch 2 2.2(a)(ii)**
- send certificate by post to the owner(s) address
- held for collection from Building Services Shopfront - Mitchell
- Other _____

PART D SIGNATURE/S OF OWNER/S

This form should **not** be signed before the completion of building work.

1 st Owner's Signature	Sch 2 2.2(a)(ii)	Date	<u>11 Feb 2019</u>
2 nd Owner's Signature		Date	
3 rd Owner's Signature		Date	
4 th Owner's Signature		Date	

NOTE: There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

Once this form has been completed you should give it to your certifier to lodge or hand deliver to:

**Access Canberra
Building Services Shopfront,
8 Darling Street
Mitchell ACT 2911**

Privacy Notice

The personal information on this form is provided to Access Canberra to enable the processing of your application. The collection of personal information is authorised by the *Building Act 2004*. If all or some of the personal information is not collected Access Canberra cannot process your application. The personal information you provide may be disclosed to Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be disclosed where authorised by law or court order, or where the Directorate reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. Access Canberra's Information Privacy Policy contains information about how you may access or seek to correct your personal information held by Access Canberra, and how you may complain about an alleged breach of the Territory Privacy Principles. Access Canberra Information Privacy Policy can be found at www.act.gov.au/accessCBR

CONTACT INFORMATION

Email:
ACTPLAdevelopmentBA@act.gov.au

Post:
Access Canberra
Building Services
Shopfront Mitchell
GPO Box 158
Canberra, ACT 2601

In Person:
Please visit
www.act.gov.au/accessCBR
Or call **132281** to find an
Access Canberra Shopfront.

SUBURB Forrest	BLOCK [REDACTED]	SECTION [REDACTED]	ACTPLA Project ID B20173707
DESCRIPTION OF WORKS Alterations and additions –			
BUILDER Preferred Builders			

INSPECTION STAGE:

- Footings
 Floor Slabs
 Structural
 PreSheet
 Final

An inspection of the building work has been carried out:

As a result of that inspection I hereby certify that the building work complies with Section 42 of the Building Act 2004 and I am satisfied the building work has been completed in accordance with this Act and substantially in accordance with the approved plans

Section 48 declaration (SEC)
 The building or part of the building as erected or altered is structurally sufficient, sound and stable for the purpose for which it is intended to be occupied or used and no certificate under section 47 is required

work complete



Adam Davidson
 Principal Building Surveyor
 Certis ACT P/L - 2008957

SUBURB Forrest	BLOCK [REDACTED]	SECTION [REDACTED]	ACTPLA Project ID B20173707
DESCRIPTION OF WORKS Alterations and additions - presheet inspection			
BUILDER Preferred Builders			

INSPECTION STAGE:

Footings Floor Slabs Structural PreSheet Final



An inspection of the building work has been carried out:

As a result of that inspection I hereby certify that the building work complies with Section 42 of the Building Act 2004 and I am satisfied the building work has been completed in accordance with this Act and substantially in accordance with the approved plans

Adam Davidson

Principal Building Surveyor

Certis ACT P/L - 2008957

SUBURB Forrest	BLOCK ■	SECTION ■	ACTPLA Project ID B20173707
DESCRIPTION OF WORKS Alterations and additions –			
BUILDER Preferred Builders			

INSPECTION STAGE:

Footings Floor Slabs Structural PreSheet Final

An inspection of the building work has been carried out:

As a result of that inspection I hereby certify that the building work complies with Section 42 of the Building Act 2004 and I am satisfied the building work has been completed in accordance with this Act and substantially in accordance with the approved plans



Adam Davidson

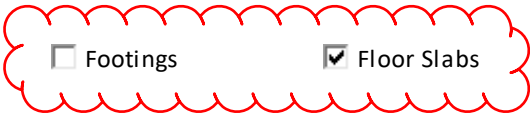
Principal Building Surveyor

Certis ACT P/L - 2008957

INSPECTION REPORT – 29/01/2018

SUBURB Forrest	BLOCK █	SECTION █	ACTPLA Project ID B20173707
DESCRIPTION OF WORKS Alterations and additions – cellar			
BUILDER Preferred Builders			

INSPECTION STAGE:



- Footings Floor Slabs Structural PreSheet Final

An inspection of the building work has been carried out:

As a result of that inspection I hereby certify that the building work complies with Section 42 of the Building Act 2004 and I am satisfied the building work has been completed in accordance with this Act and substantially in accordance with the approved plans



Adam Davidson
Principal Building Surveyor
Certis ACT P/L - 2008957

22 October 2018

Our Ref: 12792_ID01

Preferred Builders
PO Box 5182
Garran ACT 2605



Clarke & Di Pauli
surveyors

providing excellence in surveying since 1956

Level 1, 19 Monaro Street (PO Box 88)

Queanbeyan NSW 2620

p: 02 6299 1836 f: 02 6299 4560

e: info@cdsurveyors.com.au

www.cdsurveyors.com.au

Re: Blk ■, Sec ■, DP16
Property at No. ■■■■■■■■■■, Forrest

Dear Sirs,

As instructed by you, we have made a survey for identification purposes only, of part the land being Block ■ Section ■, in the Division of Forrest, as shown in DP16. The surveyed boundaries are those shown edged red in sketch 12792_ID01 attached.

Brick extensions, located at No. ■■■■■■■■■■, in our opinion stands upon and wholly within the boundaries of the subject land as shown in sketch 12792_ID01.

Survey was of brick extensions only.

In our opinion, distance from walls to boundaries are as shown on the sketch.
The finished floor levels are as shown on sketch 12792_ID01.

Where any additional improvements are to be made to the property further survey may be required.

This survey has not marked the boundaries and does not report on any restrictions, any other encumbrances on the land, nor compliance with any statutory regulations.

The sole purpose of this survey report is to identify the land and improvements thereon. The report must not be used for any form of construction nor for any other purposes, where no responsibility will be accepted what so ever.

This report is for the use only of the party to whom it is addressed and/or their authorised representative and is non-transferable upon change of ownership of the subject land. No authority is given and no responsibility is accepted to any third party that may use or rely on the whole or any part of the content of this survey.

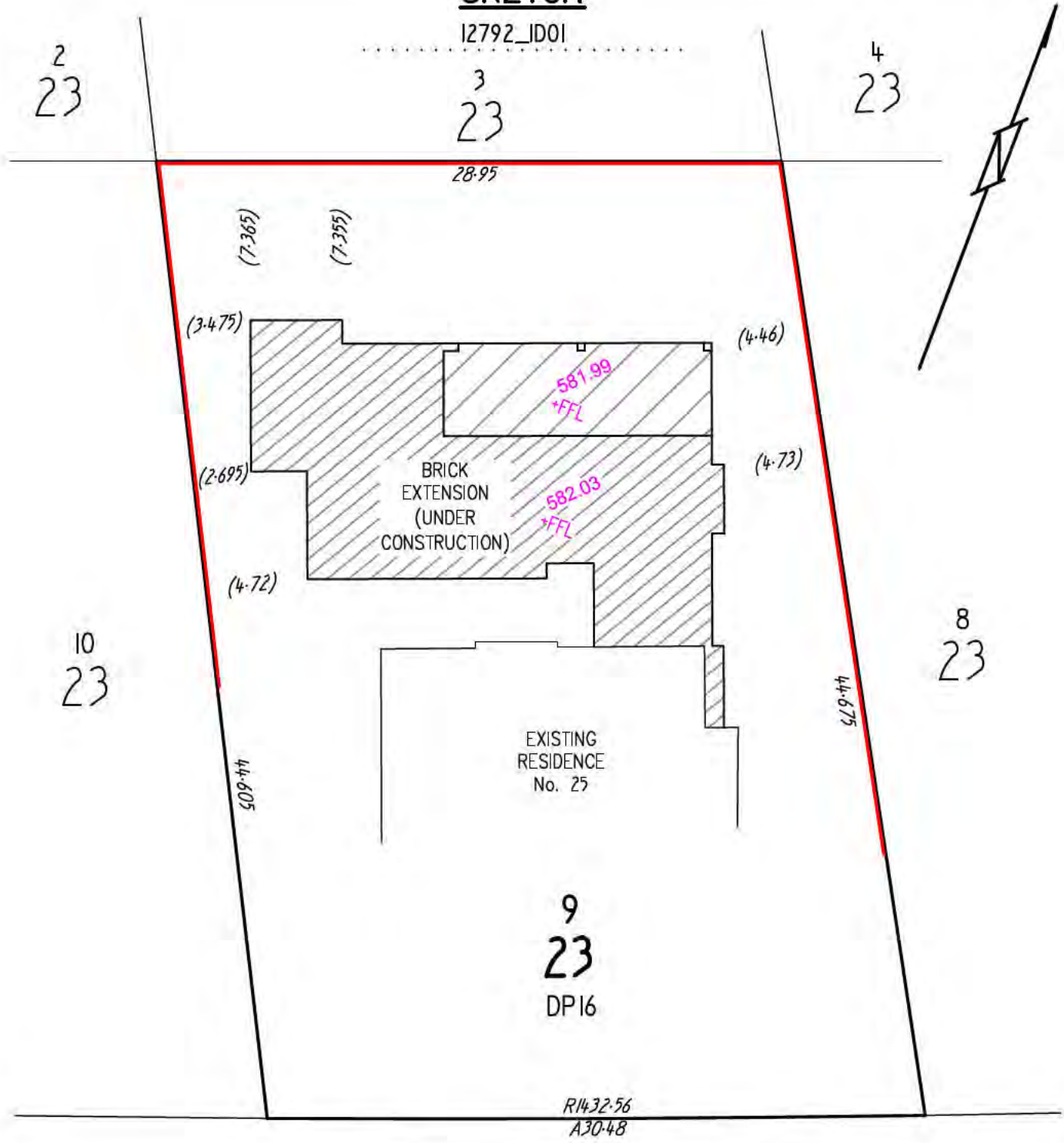
Yours Faithfully
Clarke & Di Pauli Surveyors

Per

Daniel S. Rowsell
*Surveyor Registered under
the Surveyors Act 2007*

SKETCH

12792_ID01



IMPORTANT NOTE

This sketch must be read in conjunction with the accompanying written report, it is of an identification survey only and MUST NOT BE USED FOR ANY OTHER PURPOSE. As such it is not registered by the Land Titles Office. Future registered survey plans, may legally affect the boundaries of this & adjoining parcels. Any differences so caused to the dimensions or position of the boundary shown on this plan are beyond the control of Clarke & Di Pauli who can accept no responsibility for such differences. Boundary dimensions shown are from title diagram only unless shown otherwise.

19 Monaro Street
Queanbeyan NSW 2620



Daniel Rowzell

DANIEL ROWSELL
Registered Surveyor
Survey Date: 20/3/2018

Universal Trusses



MiTek Australia Ltd - MiTek20/20 v4.82 p20 (Build 2377) BCA 2015

54 Sheppard Street
HUME
ACT 2620
Ph: (02) 6260 1436
Fax: (02) 6260 1462
ACN: 093 083 464

*** CERTIFICATION FOR ROOF TRUSSES ***

Date - 19 Mar 2018 05:56:46

Client - Preferred Builders - , ,

Job Reference - 35216TV

Site - [REDACTED] Forrest

GENERAL DEFAULTS

Design Wind Speed = 40.0m/s , N2 Wind Classification

Roof Material : Terracotta tiles

Ceiling Material : 10mm Plaster/battened

Top Chord Restraints : 700 mm

Bottom Chord Restraints : 450 mm

Truss Spacing : 600 mm

External Pressure Coefficient: Varies. Geometry based wind pressure coefficient used in design.

Internal Pressure Coefficient: 0.20

Timber Description : 35mm Trusses

Pitch: 29.80 degrees

Overhang: 0 mm

Application: Housing

Note: Design data for individual trusses may vary.

The trusses in this project have been designed using MiTek 20/20, a software suite developed by MiTek Australia Ltd. in accordance with the ABCB Protocol For Structural Software incorporating engineering procedures that comply with relevant requirements in BCA 2015 including AS/NZS 1170.0:2002, AS/NZS 1170.1:2002, AS/NZS 1170.2:2011, AS/NZS 1170.3:2003, AS 1720.1:2010 & AS 4055:2012 among its list of documents.


These trusses should be erected, fixed, and braced in accordance with Australian Standard AS4440, specifications published by MiTek Australia Ltd., and any other requirements supplied by the truss manufacturer.

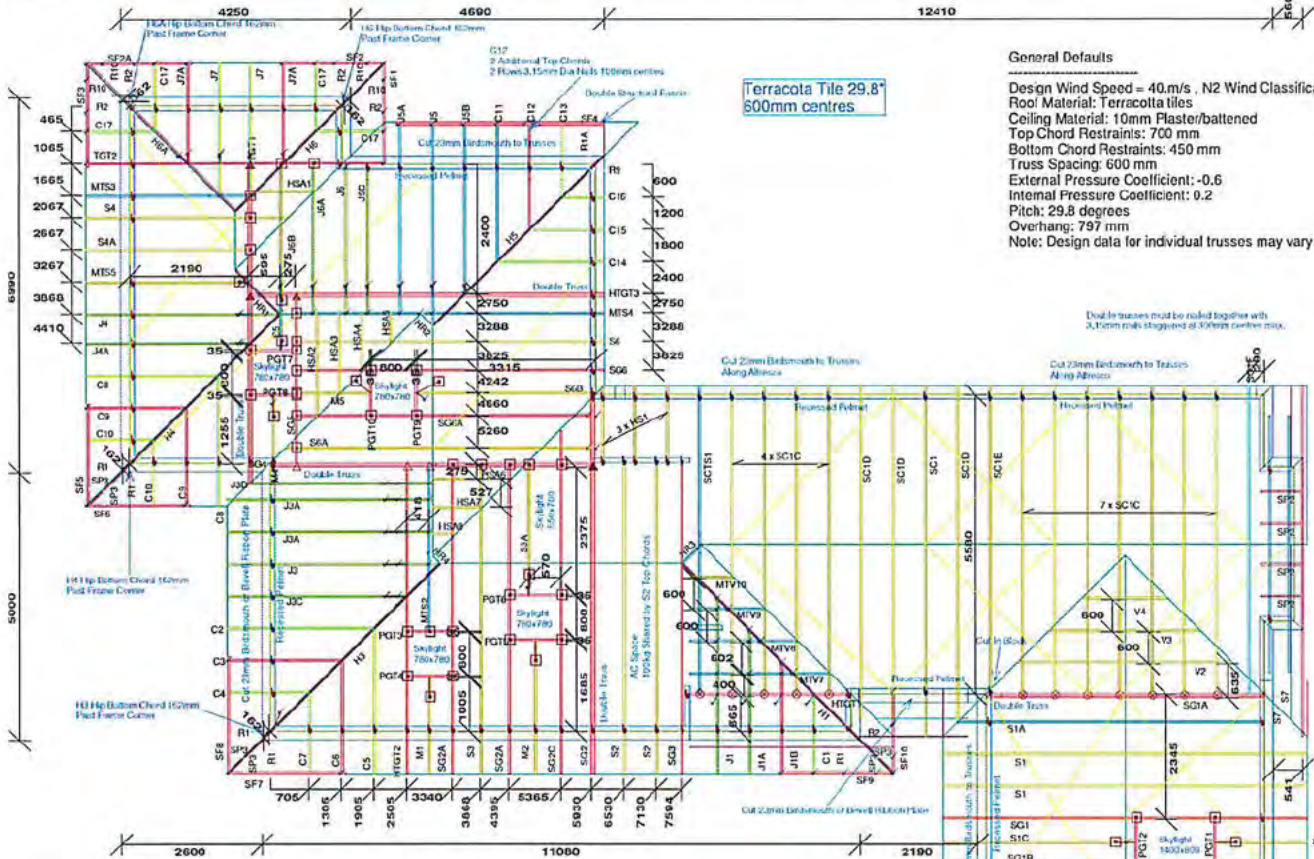
Universal Trusses

certifies that these trusses are manufactured under licence to and in accordance with specifications published by MiTek Australia Ltd.

Signed : 

Name : Colyn Bruce

 Universal Trusses		Client: Preferred Builders Site: XXXXXXXXXX : Forrest :	
52 Sheppard Street HUME ACT 2620 ABN: 86 0846 77190		Job: 35216T	Verified by: _____
		Scale: 1 : 135	Date: 28/02/2018
		Drawn By: Colyn Bruce	



General Defaults

Design Wind Speed = 40.m/s, N2 Wind Classification
 Roof Material: Terracotta tiles
 Ceiling Material: 10mm Plaster/battened
 Top Chord Restraints: 700 mm
 Bottom Chord Restraints: 450 mm
 Truss Spacing: 600 mm
 External Pressure Coefficient: -0.6
 Internal Pressure Coefficient: 0.2
 Pitch: 29.8 degrees
 Overhang: 797 mm
 Note: Design data for individual trusses may vary

Where No Connection Nominated Use 3/3, 15mm Dia Nails
 All Parallel Trusses Have 140mm Bottom Chord

- Symbols**
- Hangers Top:
 ✓ : Universal Trip-L-Grip E
 ✓✓ : Universal Trip-L-Grip Dbl E
- Hangers Bottom:
 ⊙ : To Be Spoc-Hangers
 □ : Joist Hanger 35x120
 ✓✓ : Universal Trip-L-Grip Dbl E
 ▲ : Girder Bracket HI-LOAD Bolt Dbl
 △ : MkIII 40mm G/B Bolt Dbl
 ✓ : Universal Trip-L-Grip E
- Hot-Downs:
 ✓ : Universal Trip-L-Grip A
 ✓ : Universal Trip-L-Grip A
 ↓ : TrussGrip
 ↓ : TrussGrip
 † : Cyclone Tie 600 B Face
 ○ : User



230a Cambridge Rd.
KILSYTH. VIC. 3137
Phone: 9 728 2642
Fax: 9 728 6707
EMAIL : basv@adsdesign.com.au

A.D.S. DESIGN & DRAFTING SERVICES P/L

LETTER OF COMPLIANCE

DATE: 11/2/2019

Attention : Paul Kerr

PREFERRED BUILDERS

Project :  **FORREST. ACT.**

We hereby certify that all glass supplied by A.D.S. Design and installed by Clear View glazing at the above mentioned address, is strictly in accordance with Australian standards A.S. 1288/2006.

Regards,

Sch 2 2.2(a)(ii)

