

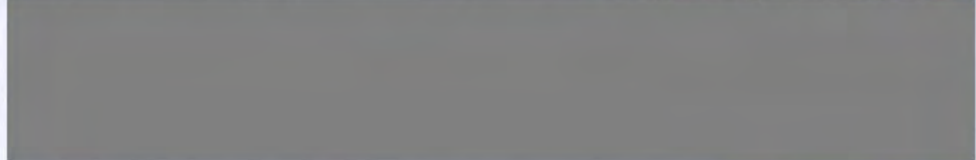
Odds & Ends

Creating a More Comfortable & Smarter Environment



Odds & Ends Home Insulation & Installation Guarantee Certificate

Address:



Forrest Act

Date of Installation:

Ceiling/Roof:

1-7-2018

Walls:

1-7-2018

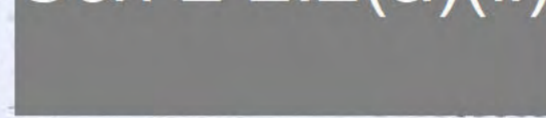
Floor:

8-8-2018

Installed by:

Sch 2 2.2(a)(ii)

Signature:



Product Installed

Bradford Gold Insulation

Bradford SoundScreen

Bradford FireSeal

Pink Batts

Knauf Earth Wool

Polyester

Walls
R-Value

Ceiling/Roof
R-Value

Floor
R-Value

R 2.7
R 2.5

R 6.0

R 2.5

The Insulation & Installation Guarantee

- It is guaranteed that the insulation installed will meet the following conditions when installed in accordance with Australian Standard AS3999 Part 1
- The insulation is guaranteed to last the lifetime of your home.
- The insulation installed complies with and achieves the stated thermal resistances in accordance with Australian Standard AS/NZS4859 Part 1
- The insulation is non-combustible as per Australian Standard AS1530 Part 1
- The insulation achieves the following Simultaneous Determination of Ignitability, Flame Propagation, Heat Release, and Smoke Release Indices when tested in accordance with Australian Standard AS1530 Part 3;

Ignitability:	0-0
Spread of Flame:	0-0
Heat Evolved:	0-0
Smoke Developed:	0-1
- The insulation is dimensionally stable and will not settle.
- The insulation is non-conductive, allergy free, will not rot, mould or otherwise deteriorate under normal household conditions.
- In the unlikely event of any damage occurring as a direct result of the installation of the insulation products, that damage will be rectified by the installer.

Odds & Ends Insulation & Skylights PTY LTD

Unit 1b, 5 Aurora Pl Queanbeyan NSW 2620

ACN: 618 088 001



13 Silva Avenue | PO Box 714 | Queanbeyan NSW 2620
Phone 02 6299 2557 | Fax 02 6299 1837 | Email info@cswindows.com.au

ABN 14 607 420 459

12th February 2019

Preferred Builders
PO Box 5182
GARRAN ACT 2605

Attn: Jodie

Email: jodie@preferredbuilders.com.au

To Whom It May Concern:

Project: [REDACTED] **Forrest ACT**
Forrest ACT

This is to state that all glazing works carried out in the manufacture of windows and doors supplied by COUNTRY STYLE WINDOWS, comply with Australian Standards AS1288-2006.

The window and door frames were manufactured to and comply with AS2047-2014.

Should you have any queries regarding the above matter, please do not hesitate to contact the undersigned.

Yours sincerely,

Sch 2 2.2(a)(ii)





ENERCORP

PO Box 3639 Manuka ACT 2603
P 02 6286 5987 • F 02 6286 5987
E daniel@enercorp.com.au
www.enercorp.com.au
ABN:74 134 032 385

15th February 2019

RE: [REDACTED] Griffith ACT

240v smoke detector certificate

240v hard wired smoke detectors have been installed to the residence as per AS-3786 (interconnected) for a class 1A building at block [REDACTED] section [REDACTED] Griffith ACT

Efstratiou Electrical T/A Enercorp



Signed.....

Tenderer: [REDACTED]

Dated: 15/02/2019



Flick Anticimex Pty Ltd
 Unit 12, 2 Yallourn Street
 ACT
 13-14-40
 canberra@flick-anticimex.com.au

CERTIFICATE OF INSTALLATION

I certify that the installation has been carried in accordance with the requirements of NCC 3.1.3 and relevant Code mark Certificate of Conformity in accordance with the Australian Standards 3660.1.2000/2014.

The installer warrants that this certificate of installation has been issued by a fully licensed installer with all relevant state, territory and government qualifications.

General Details

Service Order ID:	901522920
Location ID:	901059432
Customer Reference number	7518
Client Company Name:	Preferred Builders
Client Contact Name:	..
Technician's Name:	Sch 2 2.2(a)(ii)
Was the Treatment Notice Sticker Installed or Updated:	No
Technician's Signature:	Sch 2 2.2(a)(ii)

Structure Details

Date of report:	14-05-2018
Street Name:	
Suburb:	Forrest
State:	ACT
Post Code:	2603

Installation Details

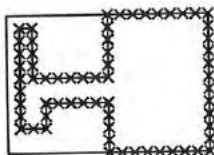
Service Type	System Used	Service Carried Out	Length (m)	Width (mm)	Height (mm)	Qty
New installation	Novithor	Cold Joint - Abutting Building Slab	12m			

Notes and/or Limitations

Nil

Structure Details

Street Name:	
Suburb:	Forrest
State:	ACT
Postcode:	2603
Contact Number:	



Drawing Legend

↑ : North Direction	∇ : Vertical Joint Protection	▣ : AntCapping Protection
● : Collar Protection	◆ : Reticulation Protection	✕ : Cold Joint Protection
⊠ : Pier Protection	⊙ : Zero Lot	⊕ : Strapping
P : Pole Whaling Plate Protection	△ : Foam Feture	N : Novithor
W : Wall Sheeting Protection	■ : Steel Post Protection	▲ : Door Sill Treatment
✂ : Trimming	⊞ : Reticulation Fill Point	E : Patio Tile Extension
# : Under slab Protection	★ : Perimeter Protection	○ : Wraps
⌚ : Sentricon Always Active Bait Station In Hard Ground	☆ : Perimeter Protection (Stage 2)	⊗ : Group Of Wraps
⌚ : Sentricon Always Active Bait Station In Soft Ground	⌚ : Termguard Termination Point	◇ : Reticulation Chemical Application
◇ : Chemical Treated Zone		



CERTIFICATE OF INSTALLATION

I certify that the installation has been carried in accordance with the requirements of NCC 3.1.3 and relevant Code mark Certificate of Conformity in accordance with the Australian Standards 3660.1.2000/2014.

The installer warrants that this certificate of installation has been issued by a fully licensed installer with all relevant state, territory and government qualifications.

General Details	
Service Order ID:	901522433
Location ID:	901059432
Customer Reference number	As above
Client Company Name:	Preferred Builders
Client Contact Name:	
Technician's Name:	Sch 2 2.2(a)(ii)
Was the Treatment Notice Sticker Installed or Updated:	No
Technician's Signature:	Sch 2 2.2(a)(ii)

Structure Details	
Date of report:	09-05-2018
Street Name:	
Suburb:	Forrest
State:	ACT
Post Code:	2603

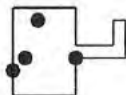
Installation Details						
Service Type	System Used	Service Carried Out	Length (m)	Width (mm)	Height (mm)	Qty
New installation	Flickguard	Collars - Drainage				4

Notes and/or Limitations

Point to be treated

Structure Details

	Forrest
	ACT
	2603
er:	



Drawing Legend

↑ : North Direction	∇ : Vertical Joint Protection	▮ : AntCapping Protection
● : Collar Protection	◆ : Reticulation Protection	✕ : Cold Joint Protection
☒ : Pier Protection	⊙ : Zero Lot	⊕ : Strapping
P : Pole Whaling Plate Protection	△ : Foam Feture	N : Novithor
W : Wall Sheeting Protection	■ : Steel Post Protection	▲ : Door Sill Treatment
✂ : Trimming	⊞ : Reticulation Fill Point	E : Patio Tile Extension
# : Under slab Protection	★ : Perimeter Protection	○ : Wraps
⌋ : Sentricon Always Active Bait Station In Hard Ground	☆ : Perimeter Protection (Stage 2)	⊗ : Group Of Wraps
⌋ : Sentricon Always Active Bait Station	⊙ : Termguard Termination	◇ : Reticulation Chemical



CERTIFICATE OF INSTALLATION

I certify that the installation has been carried in accordance with the requirements of NCC 3.1.3 and relevant Code mark Certificate of Conformity in accordance with the Australian Standards 3660.1.2000/2014.

The installer warrants that this certificate of installation has been issued by a fully licensed installer with all relevant state, territory and government qualifications.

General Details	
Service Order ID:	901495418
Location ID:	901059432
Customer Reference number	8663
Client Company Name:	Preferred Builders
Client Contact Name:	..
Technician's Name:	Sch 2 2.2(a)(ii)
Was the Treatment Notice Sticker Installed or Updated:	No
Technician's Signature:	Sch 2 2.2(a)(ii)

Structure Details	
Date of report:	13-02-2018
Street Name:	
Suburb:	Forrest
State:	ACT
Post Code:	2603

Installation Details						
Service Type	System Used	Service Carried Out	Length (m)	Width (mm)	Height (mm)	Qty
New installation	Flickguard	Perimeter - Brick Veneer	81			
New installation	Blockaid	Cold Joint - Abutting Building Slab	12			



Anticimex

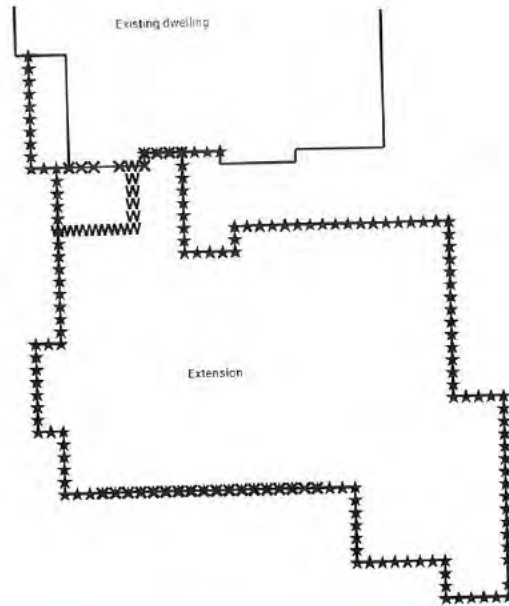
Flick Anticimex Pty Ltd
 Unit 12, 2 Yallourn Street
 ACT
 13-14-40
 canberra@flick-anticimex.com.au

Notes and/or Limitations

Nil

Structure Details

Street Name:	[Redacted]
Suburb:	Forrest
State:	ACT
Postcode:	2603
Contact Number:	[Redacted]



Drawing Legend

↑ : North Direction	⬇ : Vertical Joint Protection	⌚ : AntCapping Protection
● : Collar Protection	◆ : Reticulation Protection	✕ : Cold Joint Protection
⊠ : Pier Protection	⊙ : Zero Lot	⊕ : Strapping
P : Pole Whaling Plate Protection	△ : Foam Feture	N : Novithor
W : Wall Sheeting Protection	■ : Steel Post Protection	▲ : Door Sill Treatment
✕ : Trimming	⊠ : Reticulation Fill Point	E : Patio Tile Extension
# : Under slab Protection	★ : Perimeter Protection	○ : Wraps
⌚ : Sentricon Always Active Bait Station In Hard Ground	☆ : Perimeter Protection (Stage 2)	⊕ : Group Of Wraps
⌚ : Sentricon Always Active Bait Station In Soft Ground	⌚ : Termguard Termination Point	◇ : Reticulation Chemical Application
◇ : Chemical Treated Zone		



CERTIFICATE OF INSTALLATION

I certify that the installation has been carried in accordance with the requirements of NCC 3.1.3 and relevant Code mark Certificate of Conformity in accordance with the Australian Standards 3660.1.2000/2014.

The installer warrants that this certificate of installation has been issued by a fully licensed installer with all relevant state, territory and government qualifications.

General Details	
Service Order ID:	901494169
Location ID:	901059432
Customer Reference number	As above
Client Company Name:	Preferred Builders
Client Contact Name:	
Technician's Name:	Sch 2 2.2(a)(ii)
Was the Treatment Notice Sticker Installed or Updated:	No
Technician's Signature:	Sch 2 2.2(a)(ii)

Structure Details	
Date of report:	05-02-2018
Street Name:	
Suburb:	Forrest
State:	ACT
Post Code:	2603

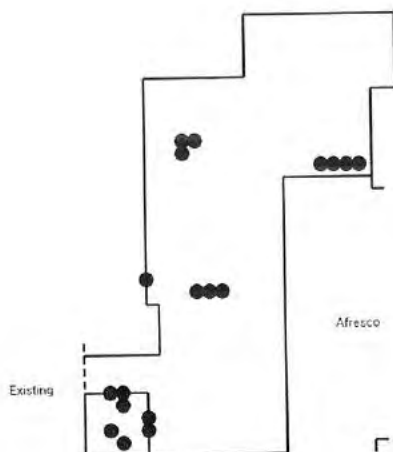
Installation Details						
Service Type	System Used	Service Carried Out	Length (m)	Width (mm)	Height (mm)	Qty
New installation	Termspec	Collars - Drainage				18

Notes and/or Limitations

Nil

Structure Details

Street Name:	
Suburb:	Forrest
State:	ACT
Postcode:	2603
Contact Number:	



Drawing Legend

↑ : North Direction	∇ : Vertical Joint Protection	⌚ : AntCapping Protection
● : Collar Protection	◆ : Reticulation Protection	✕ : Cold Joint Protection
⊠ : Pier Protection	⊙ : Zero Lot	⊕ : Strapping
P : Pole Whaling Plate Protection	△ : Foam Feture	N : Novithor
W : Wall Sheeting Protection	■ : Steel Post Protection	▲ : Door Sill Treatment
✂ : Trimming	⊠ : Reticulation Fill Point	E : Patio Tile Extension
# : Under slab Protection	★ : Perimeter Protection	○ : Wraps
⌚ : Sentricon Always Active Bait Station In Hard Ground	☆ : Perimeter Protection (Stage 2)	⊗ : Group Of Wraps
⌚ : Sentricon Always Active Bait Station In Soft Ground	⌚ : Termguard Termination Point	◇ : Reticulation Chemical Application
◇ : Chemical Treated Zone		

ACT STONE & CERAMICS
APPROVED WATERPROOFING APPLICATOR

ABN: 79 892 568 027
857

TELEPHONE: [REDACTED]

ADDRESS:
31 Kiewa Street Kaleen
Canberra ACT 2617

EMAIL: [REDACTED]

Wet Seal Warranty & Certificate

COMPANY NAME: Preferred Builders

ADDRESS: [REDACTED] Forrest, 2603

PROJECT: Supplied and installed waterproofing to wet areas using *Mapei* waterproofing system.

Wet sealing in accordance with AS 3740: 2010 Waterproofing of Domestic Wet Areas, AS/NZS 4858: 2004 Wet Area Membranes, and the Building Code of Australia.

All fixed to manufacturer's specifications.

Sch 2 2.2(a)(ii)

Date: 15 January 2019



Building Act 2004, S151

Application for Certificate of Occupancy and Use

Project ID: B20173707C1

If this application is incomplete or documentation is inadequate this application may not be accepted for lodgement and the certificate of occupancy and use may not be issued.

WARNING TO OWNERS

It is recommended that owners seek appropriate advice to determine whether the building work and other contract requirements have been completed satisfactorily before signing this form. This form should not be signed before the completion of building work.

PROJECT DETAILS

Unit	Block	Section	Division (Suburb)	District	Jurisdiction
			FORREST	CANBERRA CENTRAL	Australian Capital Territory

Description of Works

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Const.	Unit	BCN ID	Builder
1a	Alterations	DA EXEMPT-RESIDENCE	Alterations and additions	NA		B20173707N1	PREFERRED BUILDERS.COM PTY LTD
10a	New	DA EXEMPT-CARPORT		NA		B20173707N1	PREFERRED BUILDERS.COM PTY LTD

OWNER/LESSEE DETAILS

Name	Address	Email Address
Sch 2 2.2(a)(ii)	Forrest ACT 2603, AUSTRALIA	

DECLARATION BY OWNER

I am/we are:

- the owner(s) of the above described land
- the agent authorised by the owner(s) to apply for a Certificate of Occupancy and Use on their behalf, and I have attached a letter of authority

I am/we are satisfied that the building work and related requirements have been completed and hereby apply for a Certificate of Occupancy and Use in respect of the above described work to be issued and (select one option only):

- sent by post to the owner(s) address
- sent by post to the agent's address; or
- held for collection from the Mitchell Customer Service Centre

This form should not be signed before the completion of building work.

Signature/s of Owners – all owners must sign if agent has not been appointed

Name	Signature	Date
Sch 2 2.2(a)(ii)		

Once complete, you should return this form to your certifier to lodge or return to the Access Canberra Building Services Shopfront, 8 Darling Street, Mitchell ACT 2911.

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.



Certificate of Occupancy and Use

Certificate No.: **B20173707C1**

Access Canberra Building Services

ABN 16 479 763 216
8 Darling Street Mitchell
GPO Box 158 ACT 2601
www.act.gov.au/accesscbr

This Certificate is issued in accordance with Section 69 (2) of the Building Act 2004.

The building work listed on this certificate has been completed substantially in accordance with the prescribed requirements and is considered fit for occupation and use.

Unit	Block	Section	Division (Suburb)	District	Jurisdiction
			FORREST	CANBERRA CENTRAL	Australian Capital Territory

Plans
B20173707/A
B20173707/B

Building Works

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Const.	Unit	BCN ID	Builder
1a	Alterations	DA EXEMPT-RESIDENCE	Alterations and additions	NA		B20173707N1	PREFERRED BUILDERS.COM PTY LTD
10a	New	DA EXEMPT-CARPORT		NA		B20173707N1	PREFERRED BUILDERS.COM PTY LTD

Comments

Important Note:

1. Statutory warranties and statutory warranty insurance or a statutory warranty fidelity certificate apply in relation to some or all of the building work.
2. The issue of this certificate in respect of a building or a portion of a building does not affect the liability of a person or other entity to comply with the provisions of an ACT law, including the Building Act 2004, relating to the building or portion of the building.

Issued by: Kerryn Dobb

Issued on: 20/02/2019

Delegate of the ACT Construction
Occupations Registrar.



APPOINTMENT OF A CERTIFIER APPLICATION FOR BUILDING APPROVAL

Building Act 2004, S151

This form is to be completed by the Owner/s of the land to which the building work relates.

PART A PROJECT DETAILS

Block Section Suburb Unit No.

Street Address

Description of Building Works relevant to this application-*if more than 4 items please attach further details*

Describe each item of building work in this building approval	BCA Occupancy Class	BCA Construction Type	Area (m ²)	Number of Storeys	Cost of Works (refer to building cost)
1 Alterations and additions	1a		188	1	Sch 2 2.2(a)(xi)
2 Carport	10a		36	1	
3					
4					

Applicable approved requirements and reasons why building approval is not prevented from being issued

Is all work exempt from development approval?

- YES Attach assessment for exempt development checklist (if applicable)
- NO Provide reason/s or description of work: _____

Description of Attachments compliant with Division 3.3 Building Act 2004 Please attach any additional documentation not listed below

- Building Approval Plans
- Referrals, consultations & consents outcomes
- Asbestos Advice - If documents accompanying building approval do not include an asbestos assessment report as per the Building Act 2004, the building approval must have an AA attached as per the Act

PART B OWNER'S DETAILS – Please Print

All owners must be listed

Owner 1 will be considered the contact person in relation to this application

Company Details

ACN/ABN Number

* Owner 1 Owner 2

Owner 3 Owner 4

Approved form AF2016-85 approved by David Middlemiss, Construction Occupations Deputy Registrar on 10 August 2016 under section 151 of the Building Act 2004 and revokes AF2016-80.

PART B continued **OWNER/S DETAILS – Please Print**

Postal Address

Suburb State Postcode

Phone Number Business Hours Mobile

EMAIL ADDRESS

PART C **APPOINTMENT OF CERTIFIER**

As required under the Building ACT 2004 I/we hereby advise that I/we the owner/s have appointed the person whose details appear below as the certifier in relation to the building works described in this form

Company Details

Name of Certifier ABN/ACN

Postal Address

Suburb State Postcode

Phone Number Business Hours Mobile

EMAIL ADDRESS

PART D **APPLICATION FOR BUILDING APPROVAL**

I/we the Owner/s of the abovementioned property hereby apply under Section 26 of the *Building Act 2004* to the certifier named above to issue a building approval for the building work described in this form. I/we have provided the certifier with information and documentation required to issue a building approval as specified in the *Building (General) Regulation 2008*.

PART E **AUTHORITY TO ACCESS BUILDING FILE**

I/we hereby authorise the certifier to access the building file for the property which is the subject of this application for the purposes of obtaining information relevant to the issuing of a building approval and associated processes.

PART F **OWNER/S SIGNATURE/S**

* 1st Owner's Signature	<input type="text" value="Sch 2 2.2(a)(ii)"/>	Date	<input type="text" value="8/8/17"/>
2nd Owner's Signature	<input type="text"/>	Date	<input type="text"/>
3rd Owner's Signature	<input type="text"/>	Date	<input type="text"/>
4th Owner's Signature	<input type="text"/>	Date	<input type="text"/>

NOTE: There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

Where relevant the following information **MUST** be included in either the application or the plans accompanying the application for building approval:

General Requirements

- ▶ Estimated Cost of Works -as per *Building (General) (Cost of Building Work) Determination 2015*
- ▶ if the proposed building work to be carried out at or near a street or place that is open to or used by the public the application must contain details of the precautions proposed to be taken to protect the safety of people using the street or place while the building work is carried out
- ▶ the area of the parcel of land to which this application relates
- ▶ the class of the building according to the intended use of the building as proposed to be erected or altered;
- ▶ if applicable what fire-resisting construction type (under the building code) the building as proposed to be erected or altered will be
Note: Fire-resisting construction type may not be applicable if an alternative solution under the building code is used
- ▶ for an application relating to the erection of a class 1 building the site classification of the parcel of land
- ▶ for an application relating to the alteration of a class 1 building if the alteration will increase the building load carried by foundation material beyond the building load carried by the foundation before the alteration
- ▶ the site classification of the parcel of land
- ▶ for an application relating to the alteration of a building the class and type of fire-resisting construction of the existing building classified under the building code and the materials used in the existing building
Note Fire-resisting construction type may not be applicable if an alternative solution under the building code is used
- ▶ the number of storey's of the building as proposed to be erected or altered;
- ▶ the number of new dwellings (if any) created by the proposed building work;
- ▶ the floor area of the proposed building or proposed new part of the building;
- ▶ the materials to be used in the frame, floor, walls and roof of the proposed building or proposed new part of the building
- ▶ if a performance requirement of the building code is to be complied with by use of an alternative solution under the code -
 - (i) the performance requirement; and
 - (ii) the alternative solution; and
 - (iii) each assessment method used to show that the alternative solution complies with the performance requirement;
- ▶ if the building code does not state a standard of work in relation to any part of the proposed building work and it is intended to carry out that part of the proposed building work in accordance with a standard of work stated in another document -
 - (i) the nature of the proposed building work; and
 - (ii) the title of the document; and
 - (iii) each assessment method used to show that the proposed building work complies with the standard of work stated in the document.

Removal or demolition of building/s

- ▶ Details of the methods to be used in carrying out the proposed building work, including a work plan stated or set out in AS 2601 (Demolition of structures), as in force from time to time,
- ▶ the number of dwellings (if any) to be demolished.

Asbestos

- ▶ The application must include a description of the method proposed to be used to remove the bonded asbestos sheeting from the building
- ▶ the application must include the following information:
 - (i) the method proposed to be used to remove the asbestos;
 - (ii) the approximate amount and kind of asbestos to be removed;
 - (iii) the equipment proposed to be used to remove the asbestos, including any personal protective equipment;
 - (iv) details of a program, prepared in accordance with the asbestos removal code, for monitoring airborne asbestos to be followed during the removal.

Privacy Notice

The personal information on this form is provided to Access Canberra to enable the processing of your application. The collection of personal information is authorised by the *Building Act 2004*. If all or some of the personal information is not collected Access Canberra cannot process your application. The personal information you provide may be disclosed to Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be disclosed where authorised by law or court order, or where the Directorate reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. Access Canberra's Information Privacy Policy contains information about how you may access or seek to correct your personal information held by Access Canberra, and how you may complain about an alleged breach of the Territory Privacy Principles. Access Canberra Information Privacy Policy can be found at www.act.gov.au/accessCBR

CONTACT INFORMATION

Email:

ACTPLAdevelopmentBA@act.gov.au

Post:

Access Canberra
Building Services
Shopfront Mitchell
GPO Box 158
Canberra, ACT 2601

In Person:

Please visit
www.act.gov.au/accessCBR
Or call **132281** to find an
Access Canberra Shopfront.



Building Act 2004, S151

Appointment of a Certifier and Application for Building Approval

Project ID: B20173707

This form is to be completed by the Owner/s of the land to which the building work relates

PART A - PROJECT DETAILS

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
			CANBERRA CENTRAL	FORREST	Australian Capital Territory

PART B - OWNER DETAILS

Name	Address	Email Address
Sch 2 2.2(a)(ii)	Forrest ACT 2603, AUSTRALIA	

PART C - APPOINTMENT OF CERTIFIER

As required under the Building ACT 2004 I/we hereby advise that I/we the owner/s have appointed the person whose details appear below as the certifier in relation to the building works described in this form

Full Name	Address	License Number	Expiry Date
ADAM STEPHEN DAVIDSON	Sch 2 2.2(a)(ii)	2010141	1/12/2017

PART D - APPLICATION FOR BUILDING APPROVAL

I/we the owners of the abovementioned property hereby apply to the certifier named above to issue a building approval under Section 26 of the Building Act 2004 for the building works detailed in the following table

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
1a	Alterations	DA EXEMPT-RESIDENCE	Alterations and additions	NA	1	188.00	Sch 2 2.2(a)(xi)
10a	New	DA EXEMPT-CARPORT		NA	1	36.00	

I/we have provided the certifier with the information and documentation required to issue a building approval as specified in the Building (General) Regulation 2008.

PART E - AUTHORITY TO ACCESS BUILDING FILE

I/we hereby authorise the certifier to access the building file held by Access Canberra for the property which is the subject of this application for the purposes of obtaining information relevant to the issuing of a building approval and associated processes.

PART F - OWNER/S SIGNATURE/S

Name	Signature	Date
Sch 2 2.2(a)(ii)		

APPLICATION FOR BUILDING APPROVAL REQUIREMENTS Building (General) Regulations 2008

Where relevant the following information **MUST** be included in either the application or the plans accompanying the application for building approval:

General Requirements

- Estimated Cost of Works -as per Building (General) (Cost of Building Work) Determination 2011
- if the proposed building work to be carried out at or near a street or place that is open to or used by the public the application must contain details of the precautions proposed to be taken to protect the safety of people using the street or place while the building work is carried out
- the area of the parcel of land to which this application relates
- the class of the building according to the intended use of the building as proposed to be erected or altered;
- if applicable what fire-resisting construction type (under the building code) the building as proposed to be erected or altered will be.

Note: Fire-resisting construction type may not be applicable if an alternative solution under the building code is used.

- for an application relating to the erection of a class 1 building the site classification of the parcel of land
 - for an application relating to the alteration of a class 1 building if the alteration will increase the building load carried by foundation material beyond the building load carried by the foundation before the alteration.
 - the site classification of the parcel of land
 - for an application relating to the alteration of a building the class and type of fire-resisting construction of the existing building classified under the building code and the materials used in the existing building
- Note Fire-resisting construction type may not be applicable if an alternative solution under the building code is used.
- the number of storeys of the building as proposed to be erected or altered;
 - the number of new dwellings (if any) created by the proposed building work;
 - the floor area of the proposed building or proposed new part of the building;
 - the materials to be used in the frame, floor, walls and roof of the proposed building or proposed new part of the building
 - if a performance requirement of the building code is to be complied with by use of an alternative solution under the code -
 - (i) the performance requirement; and
 - (ii) the alternative solution; and
 - (iii) each assessment method used to show that the alternative solution complies with the performance requirement;
 - if the building code does not state a standard of work in relation to any part of the proposed building work and it is intended to carry out that part of the proposed building work in accordance with a standard of work stated in another document -
 - (i) the nature of the proposed building work; and
 - (ii) the title of the document; and
 - (iii) each assessment method used to show that the proposed building work complies with the standard of work stated in the document.

Removal or demolition of building/s

- Details of the methods to be used in carrying out the proposed building work, including a work plan stated or set out in AS 2601 (Demolition of structures), as in force from time to time;
- the number of dwellings (if any) to be demolished.

Asbestos

- The application must include a description of the method proposed to be used to remove the bonded asbestos sheeting from the building.
- the application must include the following information:
 - (i) the method proposed to be used to remove the asbestos;
 - (ii) the approximate amount and kind of asbestos to be removed;
 - (iii) the equipment proposed to be used to remove the asbestos, including any personal protective equipment;
 - (iv) details of a program, prepared in accordance with the asbestos removal code, for monitoring airborne asbestos to be followed during the removal.

A/N 162406

Request for electricity service marking RSM

Date lodged / /

Application Number

162406

Electrical contractor details (Items marked with * are mandatory)

*Name **Sheet** *Phone

Fax or email **14 of 16**

*Builder name *Phone

Fax or email

Appointment details (ActewAGL use only)

Time Day Date / /

An appointment cannot be confirmed until the network assets have been inspected and the extent of any augmentation/maintenance determined. Call 6293 5749.

ActewAGL fees (GST incl) \$ **Sch 2 2.2(a)(xi)**

This price and schedule of works will remain valid for sixty days (60) from the date

Location details (Items marked with * are mandatory)

*Suburb **Forrest** *Block *Section

*Street address

Request details* (Select required works. Attach sketch for clarity if necessary)

New underground Change of service - OH to OH OH to UG UG to UG UG to OH Temporary supply

New overhead Temporary change of service Demolition 1ø to 3ø to same POA (provide reason below)

*Reason for request:

Servicing details (ActewAGL use only)

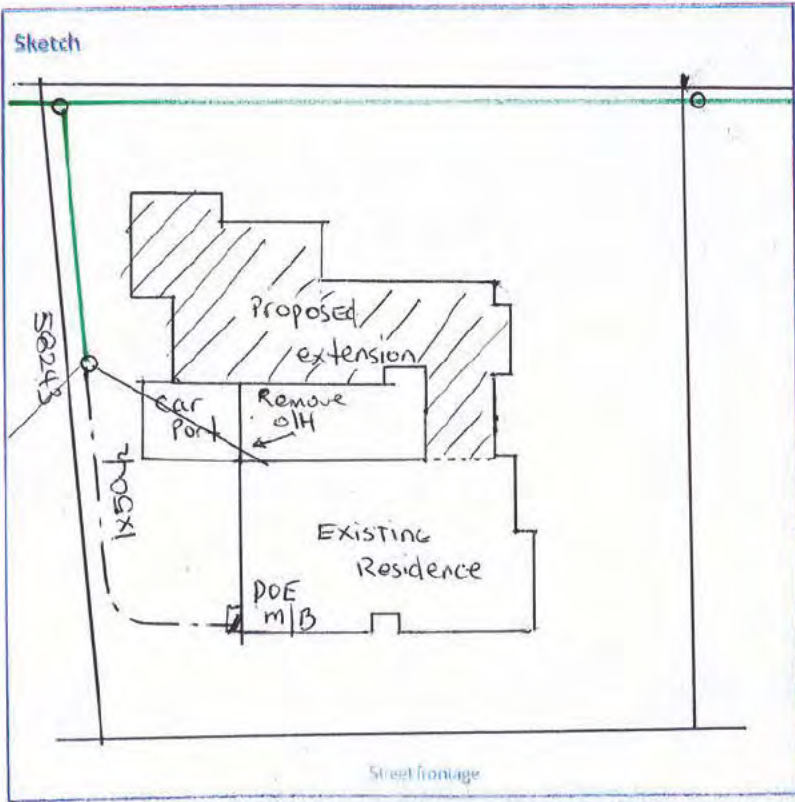
Pole number **50243** Inspection required - Yes No Pole status - CONDEMNED OK Nailed

Pole number Inspection required - Yes No Pole status - CONDEMNED OK Nailed

Service pillar status. Spare fuses available Insufficient fuseways - convert to laneway pillar / project

Site access: Plant access available **YES** Plant type **Leguan** No plant access Number of phases ø on existing service **3ø**

Warning - additional live assets not included in the disconnection request may be present on or adjacent to this site. It is your responsibility to ascertain the location of such assets. Asset plans can be obtained by calling Dial Before You Dig on 1100.



Customer supplied works:

Dig and install a 50mm conduit 600mm deep with a draw wire from pole to POE/Meter Box as shown.

ActewAGL field services works:

Lay 16mm service cable from Pole to the new POE/Meter Box and terminate.
• Remove OH.

ActewAGL civil works contractor required Yes No

Customer service officer

Phone 6293 5770 Date **29/6/17**

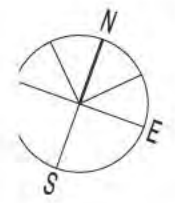
Steel.

Field services use only

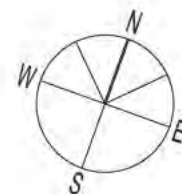
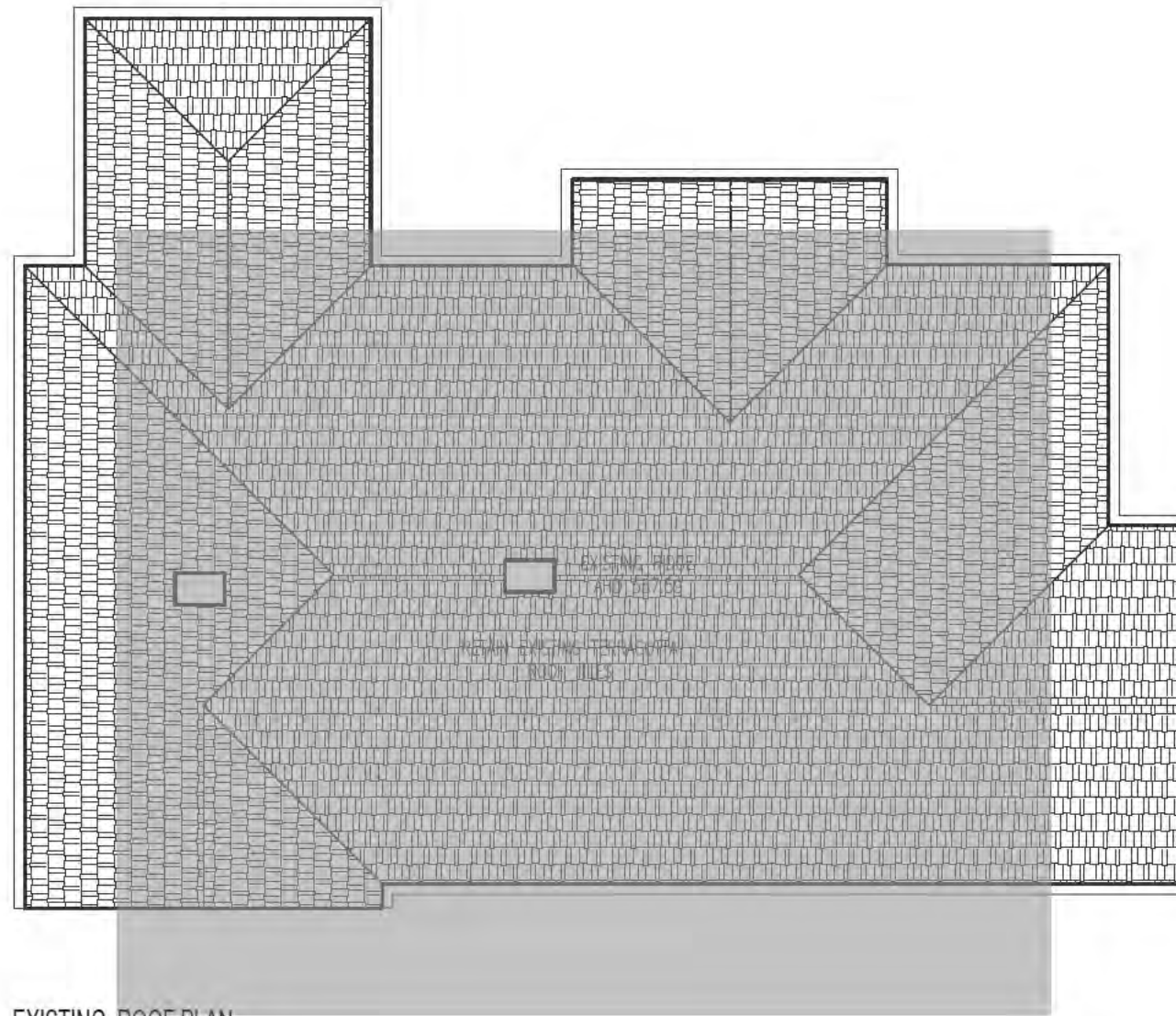
Works / variations recorded First move Second move Completed by Date / /

Sch 2 2.2(a)(ii)

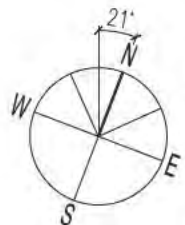
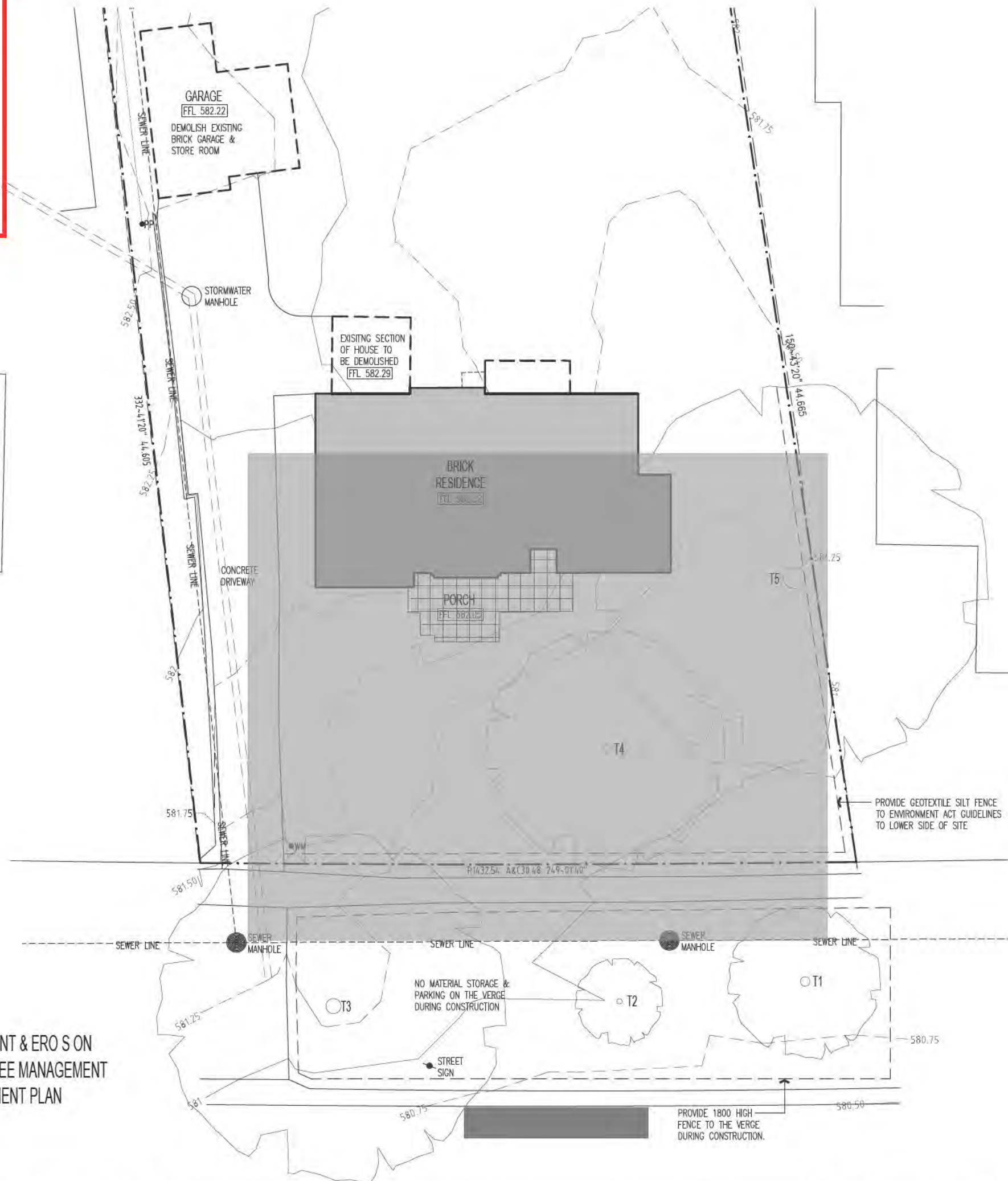
Sch 2 2.2(a)(ii)



EXISTING FLOOR PLAN
SCALE 1:100
SITE AREA 1316.5m²
EXISTING FLOOR AREA - 153.3m²
EXISTING SHED AREA - 39m²
TOTAL 192.3m²



EXISTING ROOF PLAN
SCALE 1:100



PROPOSED SEDIMENT & EROSION CONTROL PLAN, TREE MANAGEMENT & VERGE MANAGEMENT PLAN
 SCALE: 1:200
 SITE AREA: 1316.5m²

DEMOLITION NOTES

UTILITIES

- ALL NETWORK INFRASTRUCTURE ON OR IMMEDIATELY ADJACENT THE SITE HAS BEEN IDENTIFIED ON THE UTILITIES PLAN
- ALL POTENTIALLY DANGEROUS SUBSTANCES AND CONDITIONS (ASSOCIATED WITH OR RESULTING FROM THE DEMOLITION PROCESS) THAT MAY CONSTITUTE A RISK TO UTILITY SERVICES HAVE BEEN IDENTIFIED
- ALL REQUIRED NETWORK DISCONNECTIONS HAVE BEEN IDENTIFIED AND THE DISCONNECTION WORKS COMPLY WITH UTILITY REQUIREMENTS
- ALL WORKS ASSOCIATED WITH THE DEMOLITION COMPLY WITH AND ARE TO BE IN ACCORDANCE WITH UTILITY ASSET ACCESS AND PROTECTION REQUIREMENTS.
- DISCONNECT AND CAP ALL SERVICES TO UTILITY REQUIREMENTS 3.0m FROM THE TIE POINT.
- MAINTAIN EXISTING STORMWATER TIES.

DEMOLITION PROCEDURE

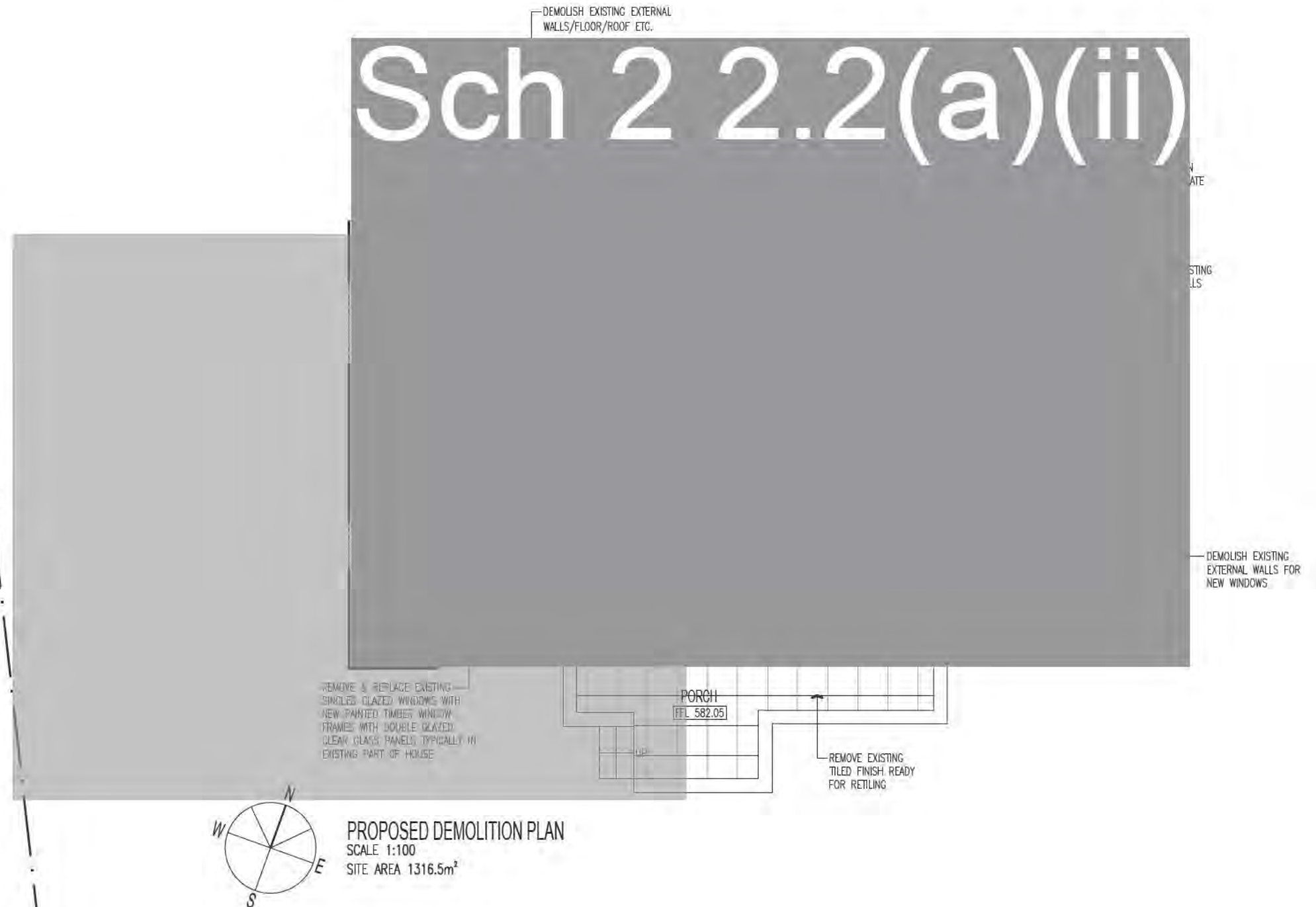
- ASBESTOS FIBRE SHEETING TO BE IDENTIFIED AND REMOVED BY A LICENSED CONTRACTOR PRIOR TO DEMOLITION
- DISMANTLE ROOF TRUSSES AND TIMBER FRAMING AND BEAMS FOR SALVAGE AND REUSE WHERE POSSIBLE.
- REMOVE GLASS AND WINDOWS FOR REUSE
- BRICKS TO BE CLEANED & STACKED FOR REUSED ONSITE & ANY UNUSED BRICKS AT END OF JOB TO BE RECYCLED OR CRUSHED AND RECYCLED
- RECYCLE GYPROCK SHEETING
- CONCRETE (SLABS, VERANDAS, PATHS, DRIVEWAYS ETC) TO BE TAKEN TO AN APPROVED CONCRETE RECYCLER.
- STOCKPILE SITE TOPSOIL FOR REUSE IN THE NEW WORKS WHERE POSSIBLE
- VEGETATION. REMOVE TREES TO BE REMOVED WITHOUT DISTURBANCE TO THOSE TREES TO BE RETAINED. PROTECT ALL VEGETATION TO BE RETAINED FROM DAMAGE DURING DEMOLITION AND SITE CLEARING.
- POLLUTION - AS PER ABOVE AND TO ACT POLLUTION CONTROL LAWS.
- TEMPORARY TRAFFIC MANAGEMENT PLAN TO BE IN PLACE PRIOR TO DEMOLITION
- SITE FENCING AND SEDIMENT AND EROSION CONTROL MEASURES TO BE IN PLACE PRIOR TO DEMOLITION

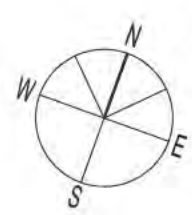
EXISTING SERVICES

- ELECTRICITY TO BE DISCONNECTED AS PER ACTEW REQUIREMENTS AND RECONNECTED WITH A TEMPORARY SUPPLY.
- SEWER AND STORMWATER TO BE CAPPED TO UTILITY REQUIREMENTS.
- TEMPORARY WATER SUPPLY TO BE MAINTAINED.
- TEMPORARY PHONE LINE TO BE MAINTAINED.

- TEMPORARY CONNECTIONS TO BE TO UTILITY REQUIREMENTS.

- DEMOLITION MATERIAL TO BE SEPARATED INTO SEPARATE STREAMS TO ENSURE EASY ACCESS BY RECYCLING ORGANISATIONS, BUILDERS AND SUBCONTRACTORS.





PROPOSED SITE PLAN
 SCALE 1:200
 SITE AREA 1316.5m²
 EXISTING (RETAINED) HOUSE AREA - 138m²
 PROPOSED EXTENSION AREA - 188m²
 CARPORT AREA - 36m²

TOTAL 362m² (362m² ALLOWABLE 27%)
 PROPOSED PLOT RATIO - 27.5%

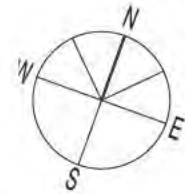
LANDSCAPE AREA - 771m² (58.5%)
 MINIMUM REQUIRED 526.6m² (40%)

FRONT PORCH & PATHWAYS - 41m²
 DRIVEWAY AREA - 82.5m²
 STUDIO PAVED AREA - 7.5m²
 REAR TERRACE AREA - 53m²
 TOTAL HOUSE & CARPORT AREA - 361.5m²

TOTAL NOM-LANDSCAPED AREA - 545.5m²

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Sch 2 2.2(a)(ii)



PROPOSED GROUND FLOOR PLAN

SCALE 1:100

SITE AREA 1316.5m²

EXISTING (RETAINED) HOUSE AREA - 138m²

PROPOSED EXTENSION AREA - 188m²

CARPORT AREA - 36m²

TOTAL 362m² (362m² ALLOWABLE 27%)

PROPOSED PLOT RATIO - 27.5%

LANDSCAPE AREA - 771m² (58.5%)

MINIMUM REQUIRED 526.6m² (40%)

FRONT PORCH & PATHWAYS - 41m²

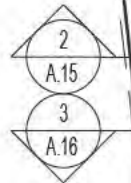
DRIVEWAY AREA - 82.5m²

STUDIO PAVED AREA - 7.5m²

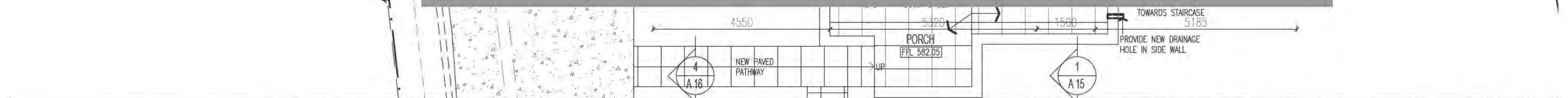
REAR TERRACE AREA - 53m²

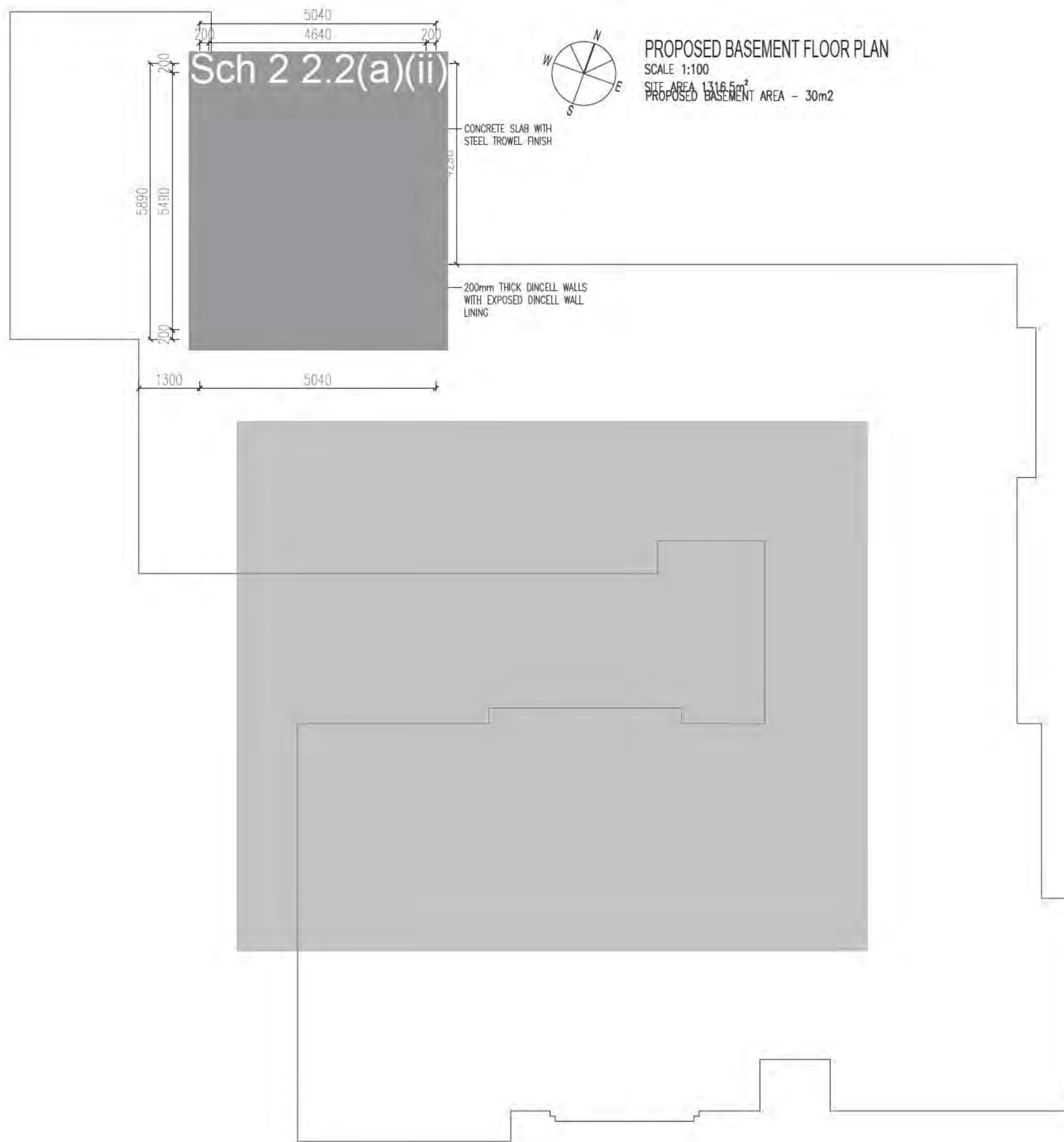
TOTAL HOUSE & CARPORT AREA - 361.5m²

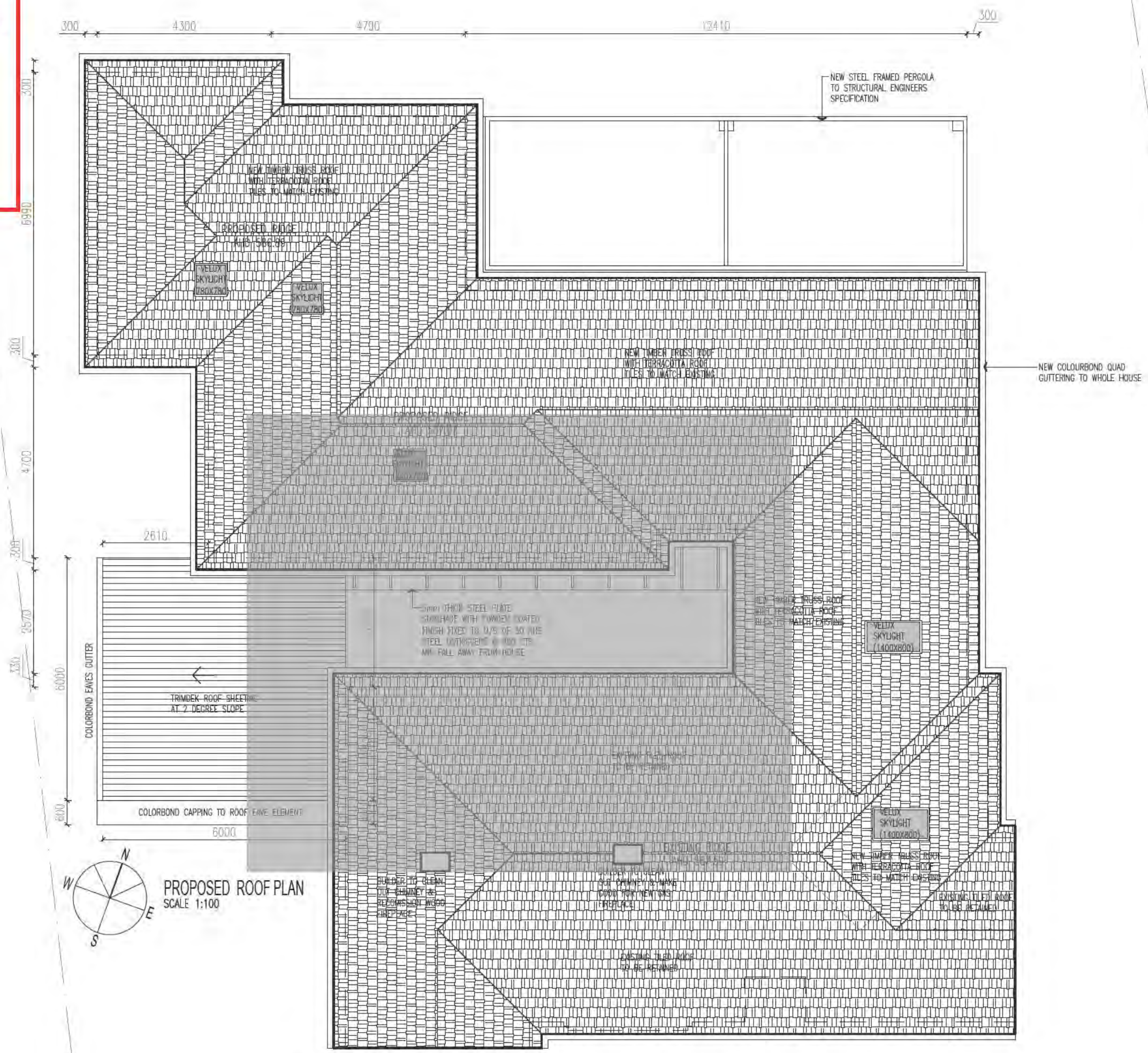
TOTAL NOM-LANDSCAPED AREA - 545.5m²



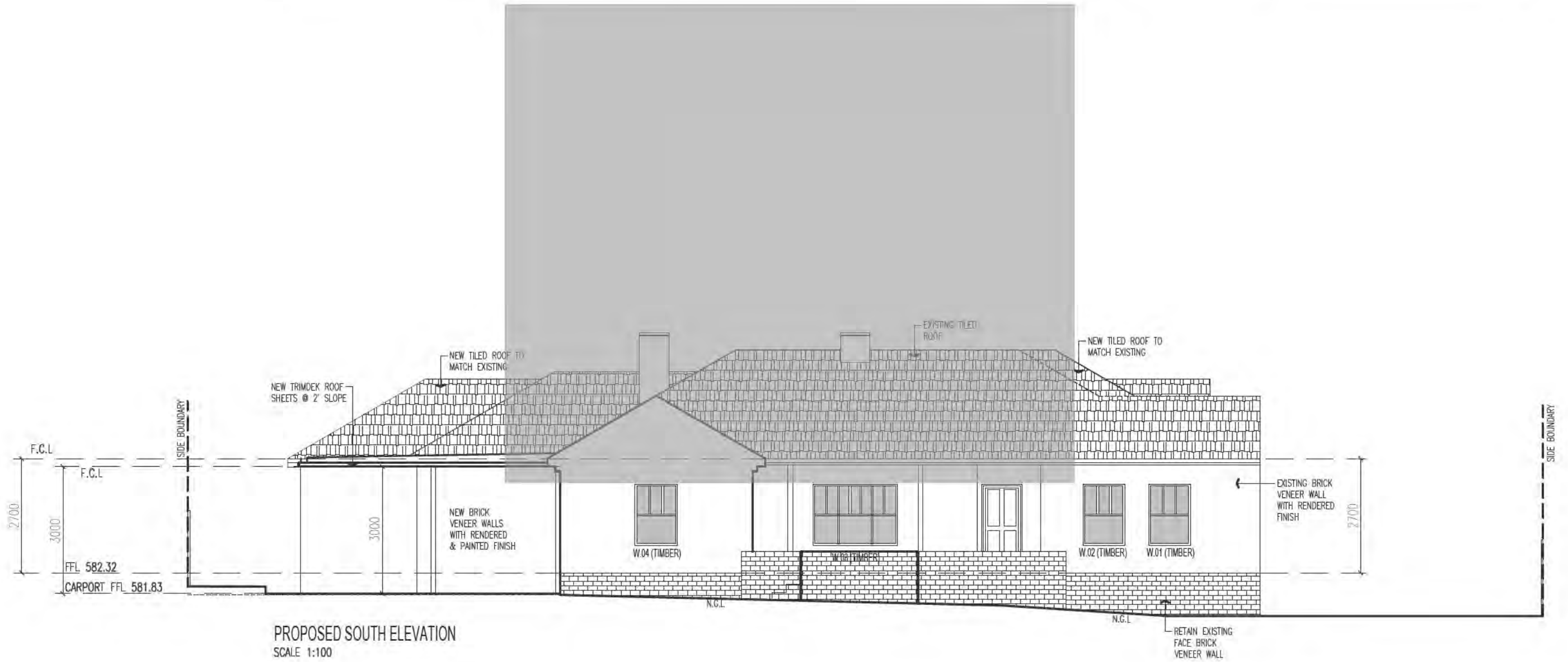
RENDER NOTES:
PROVIDE A TERRAZZO STIPPLED RENDER FINISH TO ALL NEW RENDERED WALLS TO MATCH EXISTING

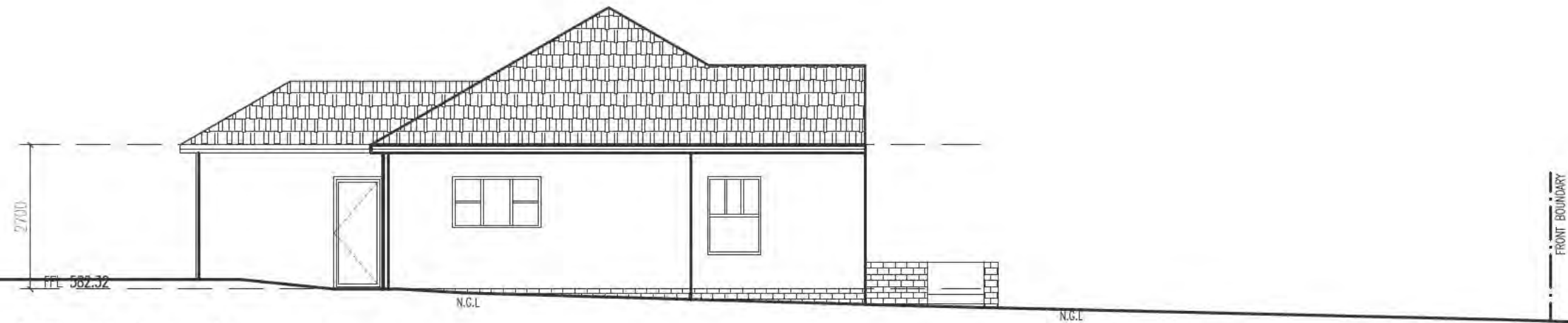




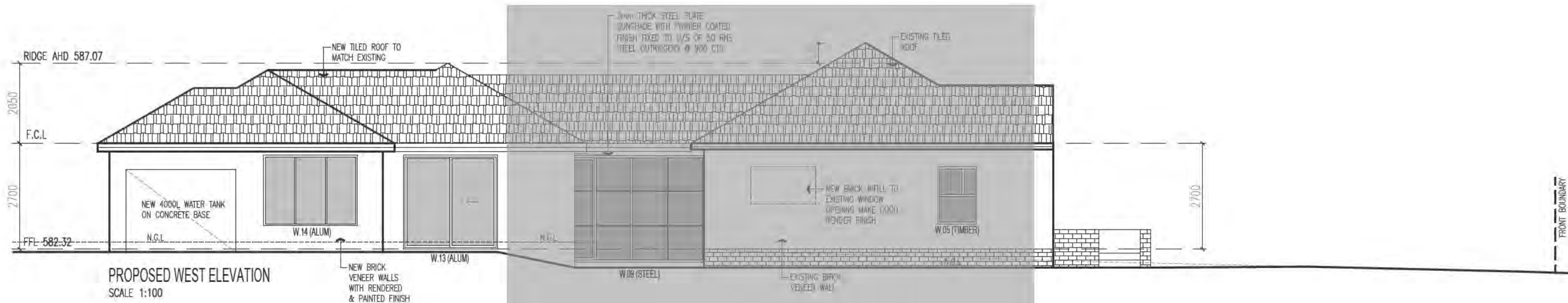


PROPOSED ROOF PLAN
SCALE 1:100

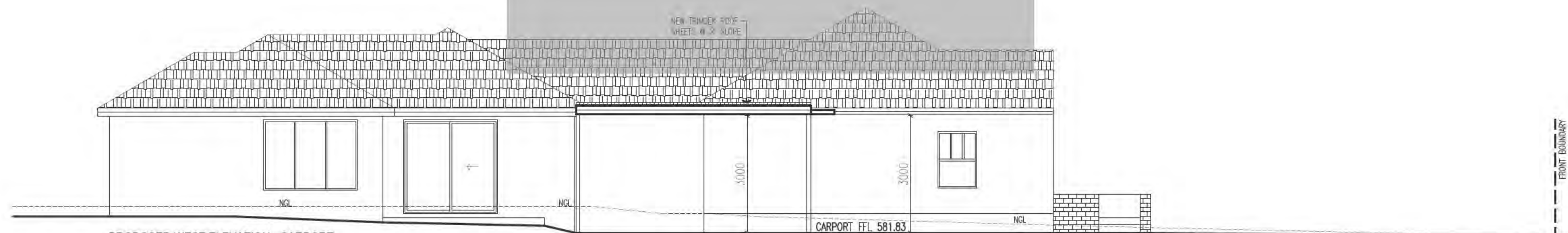




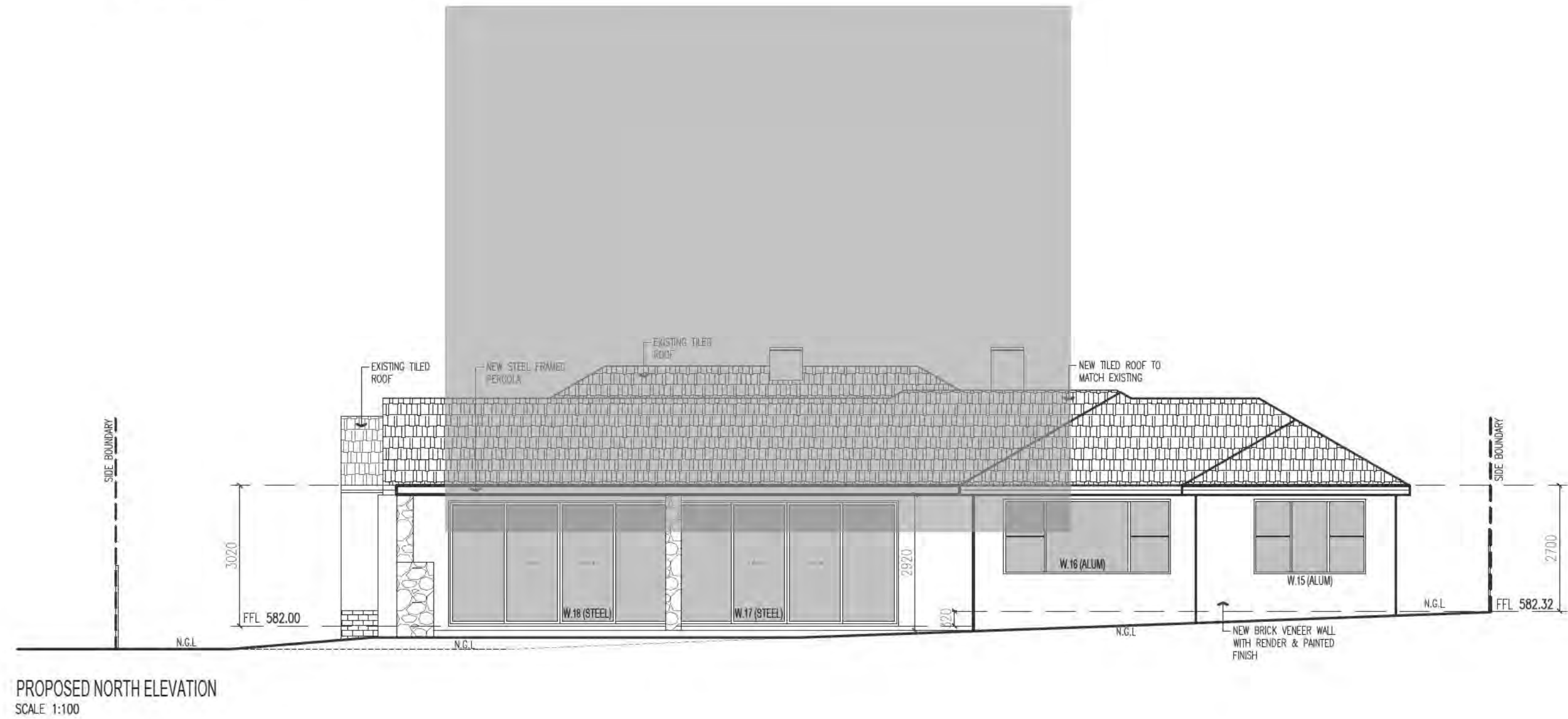
EXISTING WEST ELEVATION
 SCALE 1:100



PROPOSED WEST ELEVATION
 SCALE 1:100

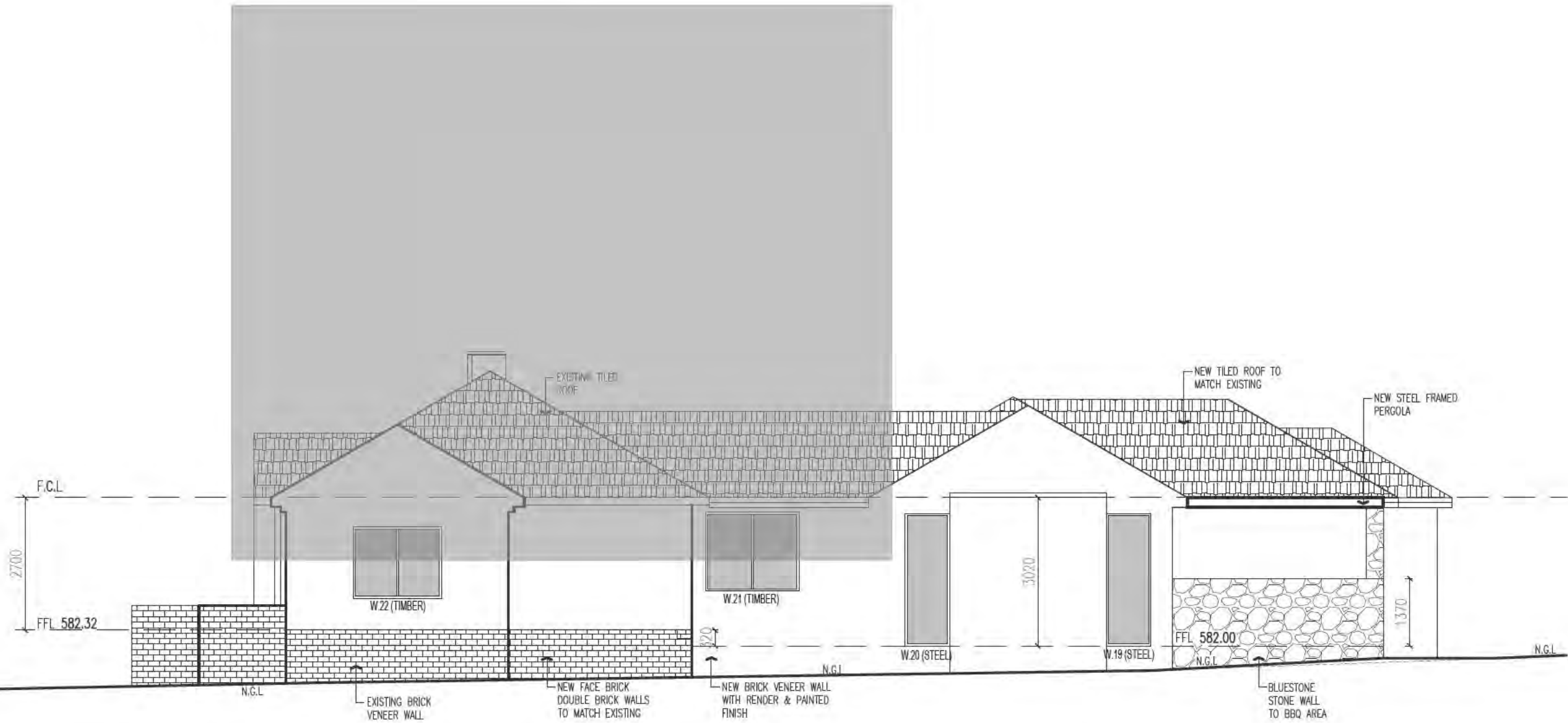


PROPOSED WEST ELEVATION - CARPORT
 SCALE 1:100





EXISTING EAST ELEVATION
 SCALE 1:100



PROPOSED EAST ELEVATION
 SCALE 1:100



Electricity Networks

STATEMENT OF

CONDITIONAL COMPLIANCE

Application No: 162406 **Suburb:** Forrest

Block/Section 9 / 23

Appcn Type: Single residential/Addition Inclusions : Extension, Internal Changes, of Carport, of Water Tank, with Alteration/Addition, with Car Park, with Pergola/Deck or Patio, with Roof

Attached Plans

This application is approved subject to compliance with the following conditions:

Conditions

A Minimum of 1.0M clearance is required within the block boundary for the proposed or existing Meter Box.

A new underground service is required.

Change of service is required. (see attached RSM)

Development is to comply with minimum 1.5m machinery access clear of obstacles and vegetation to assets within the block.

Development is to comply with minimum clearances to overhead conductors and poles. Ref ActewAGL Drawing 3811-004

Development is to comply with minimum separation requirements to underground assets. Ref ActewAGL Drawing 3832-018

Installation of electrical conduits (on or off block) will be the responsibility of the proponent.

See attached site plan indicating mandatory service marking and meter box location.

The location of the proposed or existing Point of Entry/ Meter Box is to comply with ActewAGL's Service and Installation rules.

Please Note

- WARNING ActewAGL underground assets may be in or adjacent to this block. It is your responsibility to ascertain the location of such assets.
- Development and Building Applications will need to include any proposed ActewAGL works.
- If ActewAGL approval conditions are not met, a breach of the law may result.
- Separate applications are required for water & sewerage and communication network services.
- Construction of unapproved works may result in action being taken to require the property owner to remove non-compliant structures and/or the property owner to fund rectification works on ActewAGL's electricity network.
- Any attached reticulation or servicing plan is preliminary only. Contact ActewAGL for final plans prior to the commencement of any construction activity.
- A failure of this application to show accurately located electricity assets may result in damage and costs for which the proponent will be liable. Damage to network assets must be reported to ActewAGL.

Please refer to Info Sheets

Underground service conduit requirements 8912-02.pdf

Comments:

Signed **Sch 2 2.2(a)(ii)**

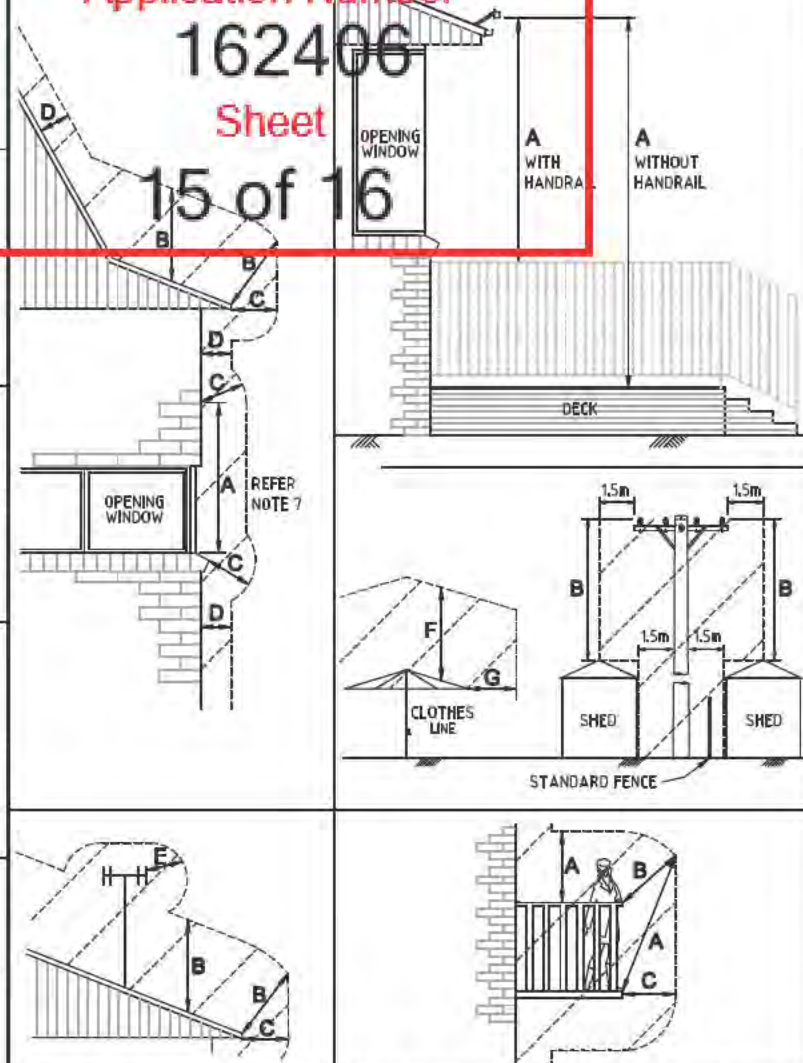
Date 30 Jun 2017

Application Number

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OVERHEAD CONDUCTORS MUST NOT COME WITHIN THE SHADED AREA

TABLE 1 - GROUND CLEARANCE (OTHER THAN INSULATED SERVICE CONDUCTORS)

LOCATION	DISTANCE TO GROUND IN ANY DIRECTION		
	U<1kV	1kV<U<33kV	33kV<U<132kV
OVER LAND WHICH DUE TO ITS STEEPNESS OR SWAMPINESS IS NOT ABLE TO BE TRAVERSED BY VEHICLES.	4.5m	4.5m	5.5m
OVER LAND OTHER THAN THE CARRIAGEWAY OF ROADS.	5.5m (note 4)	5.5m	6.7m
OVER THE CARRIAGEWAY OF MINOR ROADS	6m	6.7m	8m
OVER THE CARRIAGEWAY OF MAJOR ROADS	6.7m (note 5)	6.7m	9m

TABLE 2 - GROUND CLEARANCE (INSULATED SERVICE CONDUCTORS)

LOCATION	DISTANCE TO GROUND IN ANY DIRECTION
OVER THE CENTRE OF A ROAD.	5.5m
OVER ANY OTHER PART OF A ROAD.	4.6m
OVER A FOOTWAY OR LAND THAT IS LIKELY TO BE USED BY HEAVY VEHICLES	4.6m
OVER A FOOTWAY OR LAND THAT IS NORMALLY USED ONLY BY MOTOR CARS OR VEHICLES OF SIMILAR HEIGHT ELSEWHERE.	3.0m
	2.7m

TABLE 3 - CLEARANCE FROM STRUCTURES

LOCATION	CONDUCTOR					
	INSULATED U<1kV	BARE U<1kV	INSULATED WITH EARTHED SCREEN	INSULATED WITHOUT EARTHED SCREEN	BARE or COVERED 1kV<U<33kV	BARE 33kV<U<132kV
A VERTICALLY (AND NEAR VERTICALLY), FROM ANY PART OF THE STRUCTURE NORMALLY ACCESSIBLE TO PEOPLE	2.7m	3.7m	2.7m	3.7m	4.6m	5.0m
B VERTICALLY (AND NEAR VERTICALLY), FROM ANY PART OF THE STRUCTURE NOT NORMALLY ACCESSIBLE TO PEOPLE BUT ON WHICH A PERSON CAN STAND	1.2m	2.7m	2.7m	2.7m	3.7m	4.5m
C ANY DIRECTION (OTHER THAN VERTICALLY), FROM THOSE PARTS OF THE STRUCTURE NORMALLY ACCESSIBLE TO PERSONS, OR FROM ANY PART NOT NORMALLY ACCESSIBLE TO PERSONS BUT ON WHICH A PERSON COULD STAND.	1.5m (note 3)	2.0m	1.5m	1.5m	2.7m	3.0m
D ANY DIRECTION (OTHER THAN VERTICALLY), FROM ANY PART OF THE STRUCTURE NOT NORMALLY ACCESSIBLE TO PERSONS.	0.3m (note 3)	1.5m	0.3m	1.5m	2.7m	2.7m
E ANY DIRECTION, FROM AN OUTDOOR WIRELES OR TELEVISION AERIAL OR PART OF A STAY WIRE FOR THE AERIAL	1.5m	1.5m	1.5m	1.5m	1.5m	2.7m
F VERTICALLY FROM ANY PART OF A FULLY EXTENDED CLOTHES LINE	1.8m	3.7m	4.6m	4.6m	4.6m	5.5m
G ANY DIRECTION (OTHER THAN VERTICALLY), FROM ANY PART OF A FULLY EXTENDED CLOTHES LINE	1.8m	3.0m	3.0m	3.0m	3.0m	3.0m

GENERAL NOTES:

- THE MINIMUM DISTANCE FROM ANY PART OF AN AERIAL LINE IS TO BE MEASURED FROM THE NEAREST POINT TO WHICH THE LINE SAGS OR SWINGS. FOR SAG THIS IS AT THE MAXIMUM DESIGN OPERATING TEMPERATURE (NORMALLY 65°C FOR DISTRIBUTION LINES AND 120°C FOR TRANSMISSION LINES). FOR SWING THIS IS AT THE MAXIMUM DESIGN WIND LOADING (300Pa WIND).
- COVERED CONDUCTORS TO BE TREATED AS BARE CONDUCTORS
- THIS CLEARANCE CAN BE FURTHER REDUCED TO ALLOW FOR TERMINATION AT THE POINT OF ATTACHMENT
- LOW VOLTAGE CONDUCTORS CONSTRUCTED PRIOR TO 1998 REQUIRE ONLY 4.6m GROUND CLEARANCE OVER LAND OTHER THAN ROADS
- MAJOR ROADS ARE DEFINED AS ROADS WITH DUAL CARRIAGEWAYS OR 100kph (or GREATER) SPEED LIMIT. ALL OTHER ROADS SHALL BE CONSIDERED AS MINOR ROADS
- REFER TO DRAWING 3832-020, CLEARANCE REQUIREMENT FOR SWIMMING POOL FROM ELECTRICAL INFRASTRUCTURE.
- WHERE THERE IS A RISER BRACKET INSTALLED OVER AN EYES OVERHANG ABOVE WINDOW DIMENSION "A" IS NOT APPLICABLE
- ELECTRICAL POINT OF ATTACHMENT MUST BE ACCESSIBLE AND FREE OF OBSTRUCTION AT ALL TIMES.

No	REVISION	DATE	CD	AUTH
L	REMOVED POOL REF. ADDED DECK DETAIL	8/4/15	CD	WC
K	11kV CLEARANCE ABOVE MAJOR RD'S REVISED TABLE	26/7/07	GA	GA
J	NOTE 1 AMENDED INCLUDE TRANS. LINE DESIGN TEMP.	9/8/03	GA	SF
H	GENERAL NOTE 3 AND POOL NOTE 5 REVISED.	1/4/03	GA	GA
M	DRG APPROVED AS CURRENT	24/04/15	CD	WC



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Drawn:	
Designed:	A-NNR
Design Approved:	
Branch Engineer:	Sch 22-2(a)(1)
Branch Manager:	

MINIMUM CLEARANCES INSULATED & BARE OVERHEAD CONDUCTORS		Scale: NTS	Date:	Sheet No:
		File:	Transfer No:	
		Status:	Current	
Project No:		A3	3811-004	Rev M
Work Pack No:		CWA Doc No:		

Application Number

162406

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MINIMUM SEPARATION REQUIREMENTS

FROM ANY PART OF:	TO NEAREST PART OF:	SEPARATION (m) SEPARATE EARTHING	SEPARATION (m) OPEN & COMBINED EARTHING SITUATIONS							
PADMOUNT SUBSTATION	- BUILDING	1.5 (NOTE 3)	1.5 (NOTE 3)							
	- PROPERTY BOUNDARY	1.5	1.5							
	- ABOVE GROUND OBJECTS	1.5	1.5							
	- ROADWAYS & ROADS	1.5	1.5							
	- COMMUNICATIONS CABLES, GAS & WATER PIPES, SEWER LINES - DESIGNATED HAZARDOUS	1.5 (NOTE 12) NOTE 5	1.5 (NOTE 12) NOTE 5							
MINI PILLAR	- NON FIRE RATED PARTS OF BUILDINGS	3 (NOTE 3)	3 (NOTE 3)							
	- BUILDINGS & STRUCTURES	1.2 (NOTE 8)	1.2 (NOTE 8)							
	- PROPERTY BOUNDARY	1.2 (NOTE 8)	1.2 (NOTE 8)							
	- ROADS	1.2	1.2							
	- DRIVEWAYS	1.5	1.5							
HV CABLES (1kV < U ≤ 22kV)	- SHRUBS AND SMALL TREES	1.2 (NOTES 8 & 10)	1.2 (NOTES 8 & 10)							
	- WATER PIPES	0.5 (H) (NOTE 12)	0.5 (H) (NOTE 12)							
	- SEWER PIPE LINES & STORMWATER PIPE LINES	0.6 (H), (NOTES 1 & 12)	0.6 (H), (NOTES 1 & 12)							
	- COMMUNICATIONS CABLES	0.3	0.3							
	- GAS PIPES	0.3	0.3							
LV CABLES (≤ 1kV) SERVICE MAINS CABLE PITS	- HV CABLES (22kV < U ≤ 132kV)	0.75 (NOTE 11)	0.75 (NOTE 11)							
	- EDGE OF INGROUND SWIMMING POOLS OR SPAS	3.5 (NOTE 9)	3.5 (NOTE 9)							
	- HV CABLES (1kV < U ≤ 22kV)	0.2 (MIN)	0.2 (MIN)							
	- WATER PIPES	0.5 (H)	0.5 (H)							
	- SEWER PIPE LINES & STORMWATER PIPE LINES	0.6 (H), (NOTES 1 & 12)	0.6 (H), (NOTES 1 & 12)							
HV EARTHING ELECTRODE(S) HV EARTH CONDUCTORS (NOTE 6)	- COMMUNICATIONS CABLES	0.15	0.15							
	- GAS PIPES	0.15	0.15							
	- EDGE OF INGROUND SWIMMING POOLS OR SPAS	3.5 (NOTE 9)	3.5 (NOTE 9)							
	- HV CABLES (1kV < U ≤ 22kV)	0.09	0.09							
	- HV EARTH RESISTANCE (NOTE 14)	<table border="1"> <thead> <tr> <th>30Ω</th> <th>10Ω</th> <th>5Ω</th> <th>3Ω</th> </tr> </thead> <tbody> <tr> <td>30</td> <td>20</td> <td>15</td> <td>12</td> </tr> </tbody> </table>		30Ω	10Ω	5Ω	3Ω	30	20	15
30Ω	10Ω	5Ω	3Ω							
30	20	15	12							
BARE UG LV EARTH CONDUCTORS (INCL. STEEL & CONCRETE POLES) BARE UG LV EARTH CONDUCTORS (NOTE 7)	- IN GROUND SWIMMING POOLS, SPAS & CHILDRENS METAL PLAYGROUND EQUIPMENT (NOTE 4)	4	4							
	- TELECOMMUNICATIONS PITS, PILLARS, JOINTS, EXCHANGES & PABX EQUIPMENT	15	10							
	- UG UNINSULATED METALWORK AND METAL PIPES	4	3							
	- METAL FENCING OR METAL CLAD BUILDINGS	4	3							
	- LV EARTHING ELECTRODE(S)	4	3							
SEPARATION AND COVER REQUIREMENTS FOR CABLES AND PLANT	- BARE UG LV EARTH CONDUCTORS	4	3							
	- UG UNINSULATED METALWORK AND METAL PIPES	2	2							
	- CONCRETE REINFORCING BONDED TO HV EARTH	SEE HV ELECTRODE	N/A							
	- INGROUND SWIMMING POOLS, SPAS & CHILDRENS METAL PLAYGROUND EQUIPMENT	4	4							
	- COMMUNICATIONS EARTH STAKE	0.5	4							

RECOMMENDED BURIAL DEPTHS FOR UNDERGROUND LINES (FROM SURFACE TO THE TOP OF THE CABLE)

TYPE OF UNDERGROUND LINE	DIRECT BURIED WITH NO ADDITIONAL MECHANICAL PROTECTION (NOTE 5) NOMINAL (MINIMUM) (mm)	DIRECT BURIED AND COVERED WITH A MECHANICAL COVER NOMINAL (MINIMUM) (mm)	ENCLOSED IN A HEAVY DUTY PIPE OR CONDUIT (NOTE 4) NOMINAL (MINIMUM) (mm)
LV SERVICE LINE	750 (600)	600 (450)	550 (450)
LV MAINS	750 (600)	750 (600)	750 (600)
1kV < U ≤ 22kV	850 (750)	850 (600)	750 (600)
22kV < U ≤ 132kV	NOT PERMITTED	1000 (1000)	1000 (1000)

BURIAL NOTES:

- FIGURES IN BRACKETS INDICATE MINIMUM REQUIREMENT
- ALL CABLES INSTALLED UNDER ROADWAYS SHALL HAVE A MINIMUM BURIAL DEPTH OF 750mm
- MAXIMUM TRENCH DEPTH FOR INSTALLATION OF CABLES IS 1.5 METRES
- HEAVY DUTY CONDUITS TO AS2053.2 AND CLASS 12 PRESSURE PIPES TO AS1477 MAY BE CONSIDERED SUITABLE FOR THE HEAVY DUTY CATEGORY. (CORFLO TYPES ARE NOT ACCEPTABLE)
- THIS CATEGORY ALSO INCLUDES CABLES INSTALLED IN CONDUITS THAT ARE NOT RATED AS HEAVY DUTY (FOR EXAMPLE CONDUITS INSTALLED BY UNDERGROUND BORING)

SEPARATION NOTES:

- CROSSOVER CLEARANCES: SEWER & STORMWATER PIPE LINES - LV CABLES 150mm
SEWER & STORMWATER PIPE LINES - HV CABLES 300mm
- (H) - HORIZONTAL CLEARANCE REQUIRED.
- ANY PART OF A BUILDING WITHIN 3 METRES OF THE SUBSTATION SHALL HAVE A ONE HOUR FIRE RATING.
- SUBSTATIONS WITH SEPARATE EARTHING SYSTEMS ARE NOT PERMITTED IN SPECIAL LOCATIONS UNLESS DESIGN HAS BEEN ASSESSED FOR EARTH POTENTIAL RISE (EPR). LOCATIONS WITHIN 100m OF SCHOOL GROUNDS, CHILDREN'S PLAYGROUND, SWIMMING POOL OR IN A PUBLIC THOROUGHFARE ARE GENERALLY CLASSIFIED AS SPECIAL LOCATIONS.
- SUBSTATIONS ARE NOT PERMITTED IN HAZARDOUS AREAS. REFER AS2381 OR HB13.
- INCLUDES GRADING RINGS AND EXCLUDES DEEP ELECTRODES.
- BARE UG LV EARTH CONDUCTORS ALSO INCLUDES EARTHS ASSOCIATED WITH MINIPILLARS AND ANY OTHER LV EQUIPMENT THAT IS EARTHED.
- THIS FIGURE CAN BE REDUCED ON ONE SIDE ONLY (NOT THE FRONT) TO 300mm.
- THIS FIGURE CAN BE REDUCED TO 500mm PROVIDED THE CABLE IS INSTALLED IN A HEAVY DUTY PLASTIC NON CONDUCTIVE PIPE AND ANY JOINS IN THE PIPE ARE MADE WATERPROOF WITH A NON CONDUCTIVE ADHESIVE.
- THIS FIGURE SHOULD BE INCREASED FOR TREES THAT WILL GROW TO A HEIGHT IN EXCESS OF THREE METRES AT MATURITY.
- NO STRUCTURES OR SERVICES ARE PERMITTED WITHIN 750mm OF THE VERTICAL PROJECTION OF ANY 132KV CABLES.
- REFER TO THE PROXIMITY GUIDELINES (DM#468024) AS THERE ARE ADDITIONAL REQUIREMENTS FOR WATER, SEWER AND ELECTRICITY ASSETS WITHIN LEASED LAND.
- SUBSTATION EARTHING DESIGN SHALL COMPLY WITH THE ACTEWAGL EARTHING DESIGN AND CONSTRUCTION MANUAL SM1138.
- THESE SEPARATION DISTANCES ARE INDICATIVE ONLY. ACCURATE SEPARATION DISTANCES BETWEEN AN EARTH ELECTRODE AND SURROUNDING CONDUCTIVE OBJECTS SHALL BE CALCULATED BY USING THE EARTH POTENTIAL RISE (EPR) TABLE PROVIDED IN APPENDIX 1 OF THE EARTHING DESIGN AND CONSTRUCTION MANUAL SM1138. FOR DETAILS REFER TO THE SECTION ON "EPR AT DISTANCE FROM EARTH ELECTRODE".

No	REVISION	DATE	CRD	AUTH
K	MINIPILLAR - DRIVEWAY CHANGED TO TAMS DS4-03	08/10/10	AC	BB
J	NOTE 12 ADDED	24/5/10	BA	BA
H	NOTES 4 & 13 AMENDED & NOTE 14 ADDED			
M	NOTE 4 AMENDED	06/07/14	CD	BS
L	HV-HV & HV-LV SEPARATIONS ADDED, NOTES AMENDED	11/04/13	EA	BS

ActewAGL

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Drawn: SC02 2.2.2(a)(ii)

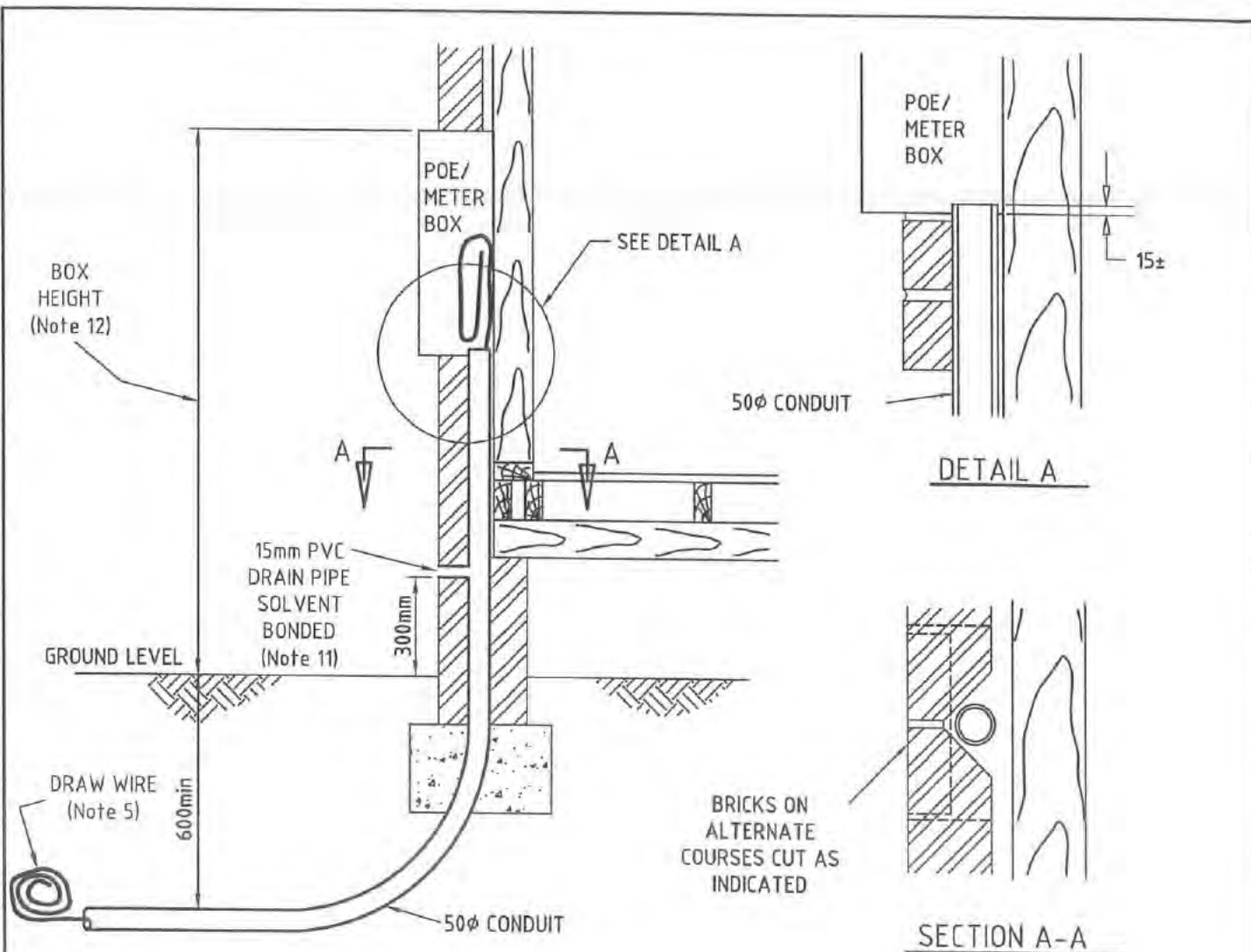
Designed:

Design Approve:

Branch Engineer:

Branch Manager:

Project No:	CWA Doc No:	Scale:	Date:	Sheet No:
Work Pack No:		N/A		
		Rev	Tender No:	
		Status:		
		Current		
		A3	3832-018	N



NOTES:

1. ALL POINTS OF ENTRY & CONDUITS ROUTES SHALL BE DETERMINED BY THE SERVICE MARKER OR BE AS SHOWN ON THE APPROVED BUILDING PLAN OR APPROVED CONDUIT REQUEST DRAWING.
2. A MARKER PEG SHALL BE PROVIDED TO INDICATE THE END OF THE CONDUIT.
3. CONDUIT ENDS SHALL BE PLUGGED OR CAPPED TO PREVENT THE ENTRY OF FOREIGN MATERIAL.
4. THE CONDUIT SHALL ENTER THE POE/METER BOX AS INDICATED ON THIS DRAWING.
5. A CONTINUOUS GALVANISED STEEL DRAW WIRE OF 2.5mm MINIMUM DIAMETER WITH 600mm SPARE AT EACH END SHALL BE PROVIDED IN EACH CONDUIT.
6. THE CONDUIT SHALL NOT CONTAIN ELBOWS AND BENDS SHALL HAVE A MINIMUM BENDING RADIUS OF 450mm.
7. THE SUM OF CONDUIT BEND ANGLES SHALL NOT EXCEED 90° IN A SINGLE RUN.
8. THE POE/METER BOX SHALL HAVE SUFFICIENT SPACE FOR THREE SERVICES FUSES.
9. THE CONDUIT AND POE/METER BOX SHALL BE ISOLATED FROM THE TIMBER FRAME WITH DAMP-PROOF MATERIAL.
10. THE CONDUIT SHALL BE 50mmφ AND SHALL BE CATEGORY "A" HEAVY DUTY RIGID ORANGE CONDUIT TO AS2053.
11. SEE DRAWING 8912-03 AND CLAUSE 3.6 APPENDIX 8 OF THE SERVICE AND INSTALLATION RULES FOR DRAINAGE DETAILS WHERE REQUIRED.
12. INSTALLATION HEIGHT : POE BOX 2300mm - 2800mm TO TOP OF BOX
: METER BOX 1500mm - 2000mm TO TOP OF BOX

ADDITIONAL REFERENCES:

ACTEWAGL SERVICE AND INSTALLATION RULES
ACTEWAGL CONDUIT TECHNICAL STANDARDS (EN 4.4 P4)

K	DRAIN PIPE DETAILS AMENDED	10/04/13	EA	BS
J	NOTE 6 REVISED, DRAW WIRE ADDED TO DRAWING	06-04-09	AC	GA
H	NOTES REVISED	12-01-04	GA	

C A D D	ActewAGL		Drawn:	Date: 16/03/1999
	UNDERGROUND SERVICE CONDUIT REQUIREMENTS		Designed: A - NNR	
			Checked:	
			Branch Engineer: A - NNR Sch 2 2.2(a)(ii) 3/99	
			Branch Manager:	
		A4	8912-02	REV K



EXISTING SITE PLAN
SCALE: 1:200
SITE AREA: 1316.5m²
EXISTING FLOOR AREA: 153.3m²
GARAGE: 39m²
TOTAL: 192.3m²

Sch 2 2.2(a)(ii)

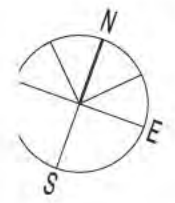
Sch 2 2.2(a)(ii)

EXISTING DRIVEWAY &
STORE ROOM

STORMWATER
MANHOLE

CONCRETE
DRIVEWAY
FFL 581.90

PORCH
FFL 582.05



EXISTING FLOOR PLAN
SCALE 1:100
SITE AREA 1316.5m²
EXISTING FLOOR AREA - 153.3m²
EXISTING SHED AREA - 39m²
TOTAL 192.3m²

582.50

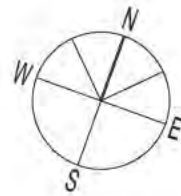
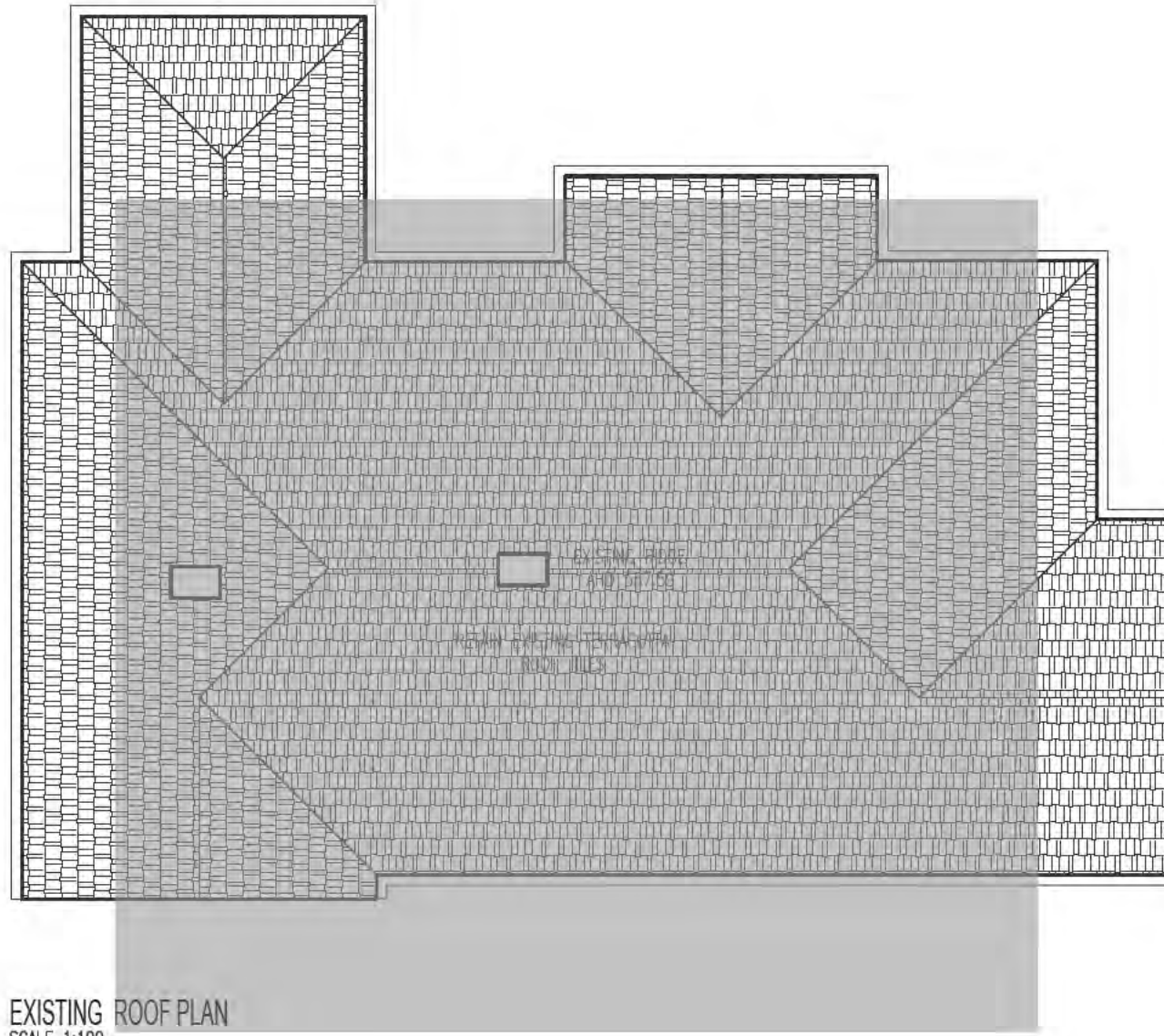
332'4"120" 44.605

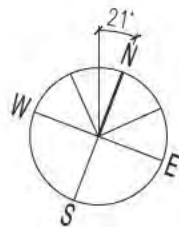
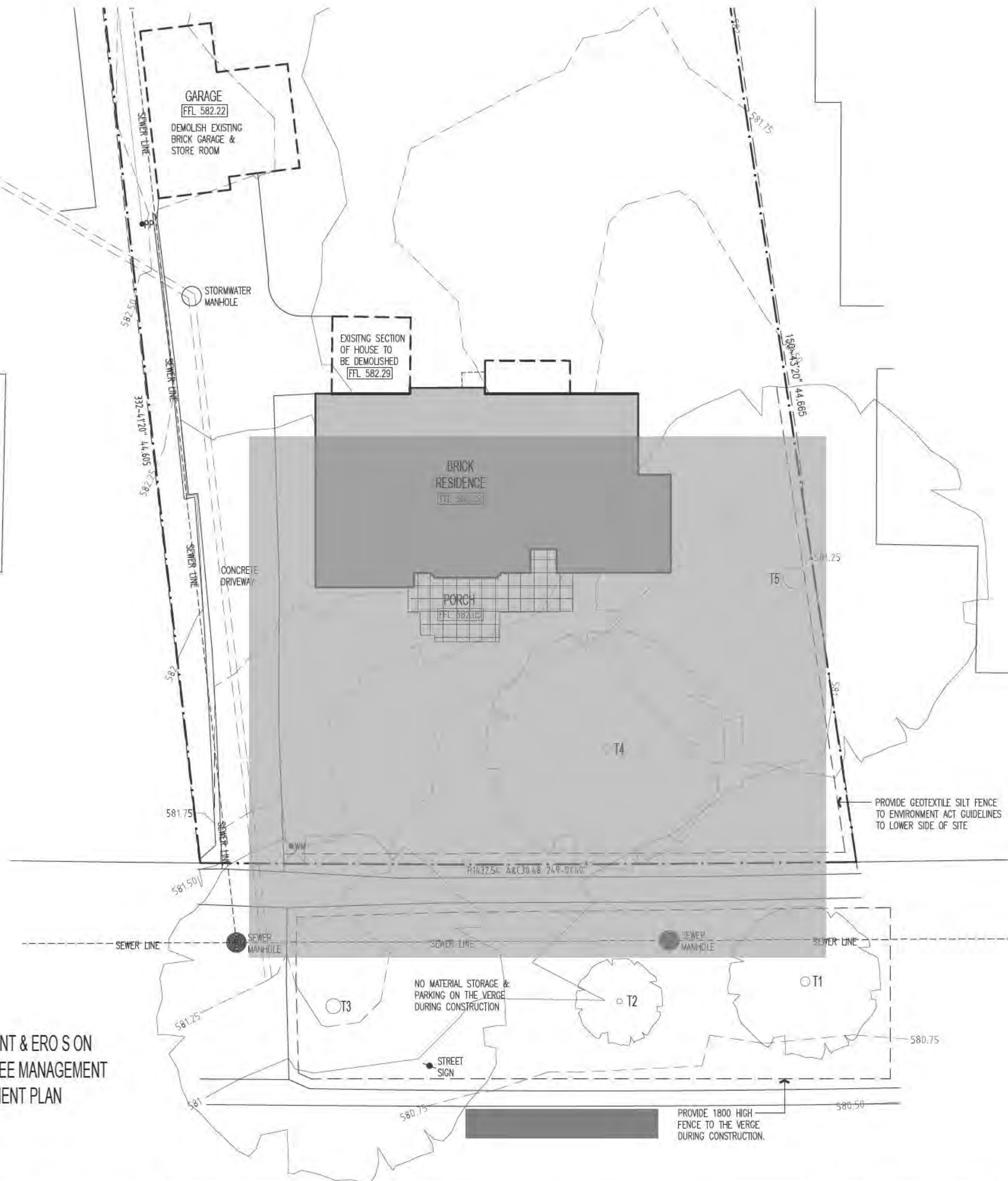
582.25

581.75

150'4"3'20" 44.665

581.25





PROPOSED SEDIMENT & EROSION CONTROL PLAN, TREE MANAGEMENT & VERGE MANAGEMENT PLAN
SCALE: 1:200
SITE AREA: 1316.5m²

DEMOLITION NOTES

UTILITIES

- ALL NETWORK INFRASTRUCTURE ON OR IMMEDIATELY ADJACENT THE SITE HAS BEEN IDENTIFIED ON THE UTILITIES PLAN
- ALL POTENTIALLY DANGEROUS SUBSTANCES AND CONDITIONS (ASSOCIATED WITH OR RESULTING FROM THE DEMOLITION PROCESS) THAT MAY CONSTITUTE A RISK TO UTILITY SERVICES HAVE BEEN IDENTIFIED
- ALL REQUIRED NETWORK DISCONNECTIONS HAVE BEEN IDENTIFIED AND THE DISCONNECTION WORKS COMPLY WITH UTILITY REQUIREMENTS
- ALL WORKS ASSOCIATED WITH THE DEMOLITION COMPLY WITH AND ARE TO BE IN ACCORDANCE WITH UTILITY ASSET ACCESS AND PROTECTION REQUIREMENTS.
- DISCONNECT AND CAP ALL SERVICES TO UTILITY REQUIREMENTS 3.0m FROM THE TIE POINT.
- MAINTAIN EXISTING STORMWATER TIES.

DEMOLITION PROCEDURE

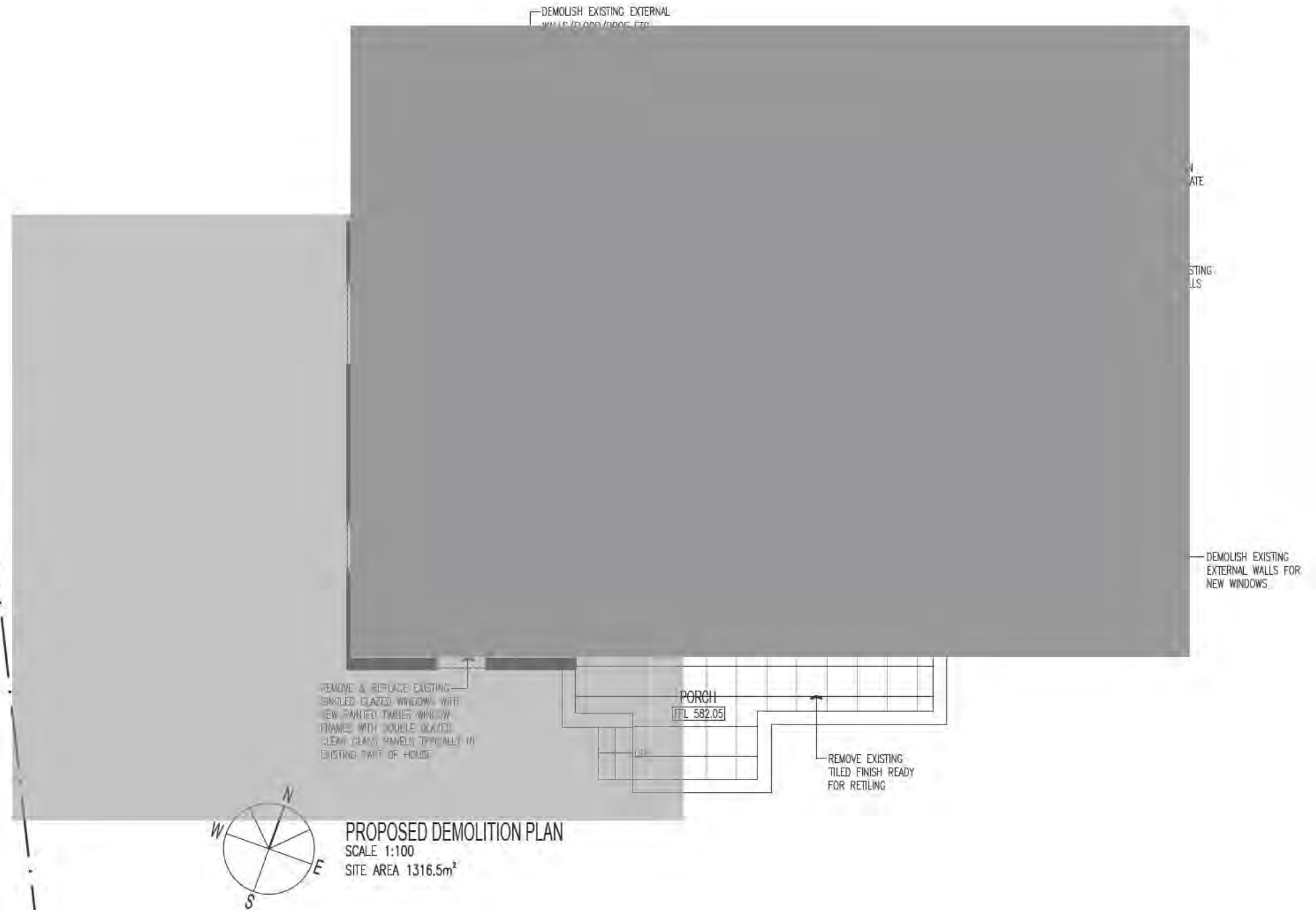
- ASBESTOS FIBRE SHEETING TO BE IDENTIFIED AND REMOVED BY A LICENSED CONTRACTOR PRIOR TO DEMOLITION
- DISMANTLE ROOF TRUSSES AND TIMBER FRAMING AND BEAMS FOR SALVAGE AND REUSE WHERE POSSIBLE.
- REMOVE GLASS AND WINDOWS FOR REUSE
- BRICKS TO BE CLEANED & STACKED FOR REUSED ONSITE & ANY UNUSED BRICKS AT END OF JOB TO BE RECYCLED OR CRUSHED AND RECYCLED
- RECYCLE GYPROCK SHEETING
- CONCRETE (SLABS, VERANDAHs, PATHS, DRIVEWAYS ETC) TO BE TAKEN TO AN APPROVED CONCRETE RECYCLER.
- STOCKPILE SITE TOPSOIL FOR REUSE IN THE NEW WORKS WHERE POSSIBLE
- VEGETATION. REMOVE TREES TO BE REMOVED WITHOUT DISTURBANCE TO THOSE TREES TO BE RETAINED. PROTECT ALL VEGETATION TO BE RETAINED FROM DAMAGE DURING DEMOLITION AND SITE CLEARING.
- POLLUTION - AS PER ABOVE AND TO ACT POLLUTION CONTROL LAWS.
- TEMPORARY TRAFFIC MANAGEMENT PLAN TO BE IN PLACE PRIOR TO DEMOLITION
- SITE FENCING AND SEDIMENT AND EROSION CONTROL MEASURES TO BE IN PLACE PRIOR TO DEMOLITION

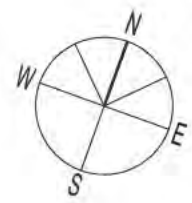
EXISTING SERVICES

- ELECTRICITY TO BE DISCONNECTED AS PER ACTEW REQUIREMENTS AND RECONNECTED WITH A TEMPORARY SUPPLY.
- SEWER AND STORMWATER TO BE CAPPED TO UTILITY REQUIREMENTS.
- TEMPORARY WATER SUPPLY TO BE MAINTAINED.
- TEMPORARY PHONE LINE TO BE MAINTAINED.

- TEMPORARY CONNECTIONS TO BE TO UTILITY REQUIREMENTS.

- DEMOLITION MATERIAL TO BE SEPARATED INTO SEPARATE STREAMS TO ENSURE EASY ACCESS BY RECYCLING ORGANISATIONS, BUILDERS AND SUBCONTRACTORS.





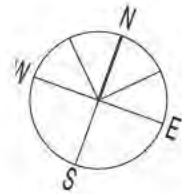
PROPOSED SITE PLAN
SCALE 1:200
SITE AREA 1316.5m²
EXISTING (RETAINED) HOUSE AREA - 138m²
PROPOSED EXTENSION AREA - 188m²
CARPORT AREA - 36m²

TOTAL 362m² (362m² ALLOWABLE 27%)
PROPOSED PLOT RATIO - 27.5%

LANDSCAPE AREA - 771m² (58.5%)
MINIMUM REQUIRED 526.6m² (40%)

FRONT PORCH & PATHWAYS - 41m²
DRIVEWAY AREA - 82.5m²
STUDIO PAVED AREA - 7.5m²
REAR TERRACE AREA - 53m²
TOTAL HOUSE & CARPORT AREA - 361.5m²

TOTAL NOM-LANDSCAPED AREA - 545.5m²



PROPOSED GROUND FLOOR PLAN

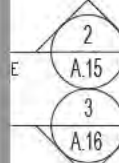
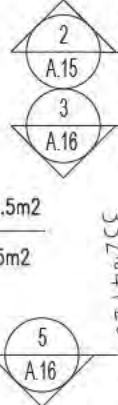
SCALE 1:100
SITE AREA 1316.5m²
EXISTING (RETAINED) HOUSE AREA - 138m²
PROPOSED EXTENSION AREA - 188m²
CARPORT AREA - 36m²
TOTAL 362m² (362m² ALLOWABLE 27%)
PROPOSED PLOT RATIO - 27.5%

LANDSCAPE AREA - 771m² (58.5%)
MINIMUM REQUIRED 526.6m² (40%)

FRONT PORCH & PATHWAYS - 41m²
DRIVEWAY AREA - 82.5m²
STUDIO PAVED AREA - 7.5m²
REAR TERRACE AREA - 53m²
TOTAL HOUSE & CARPORT AREA - 361.5m²

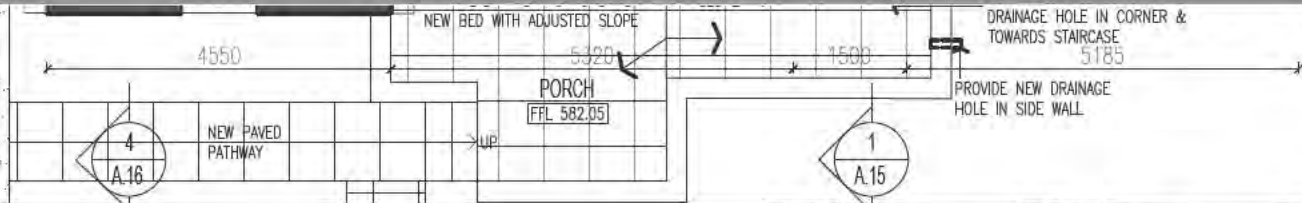
TOTAL NOM-LANDSCAPED AREA - 545.5m²

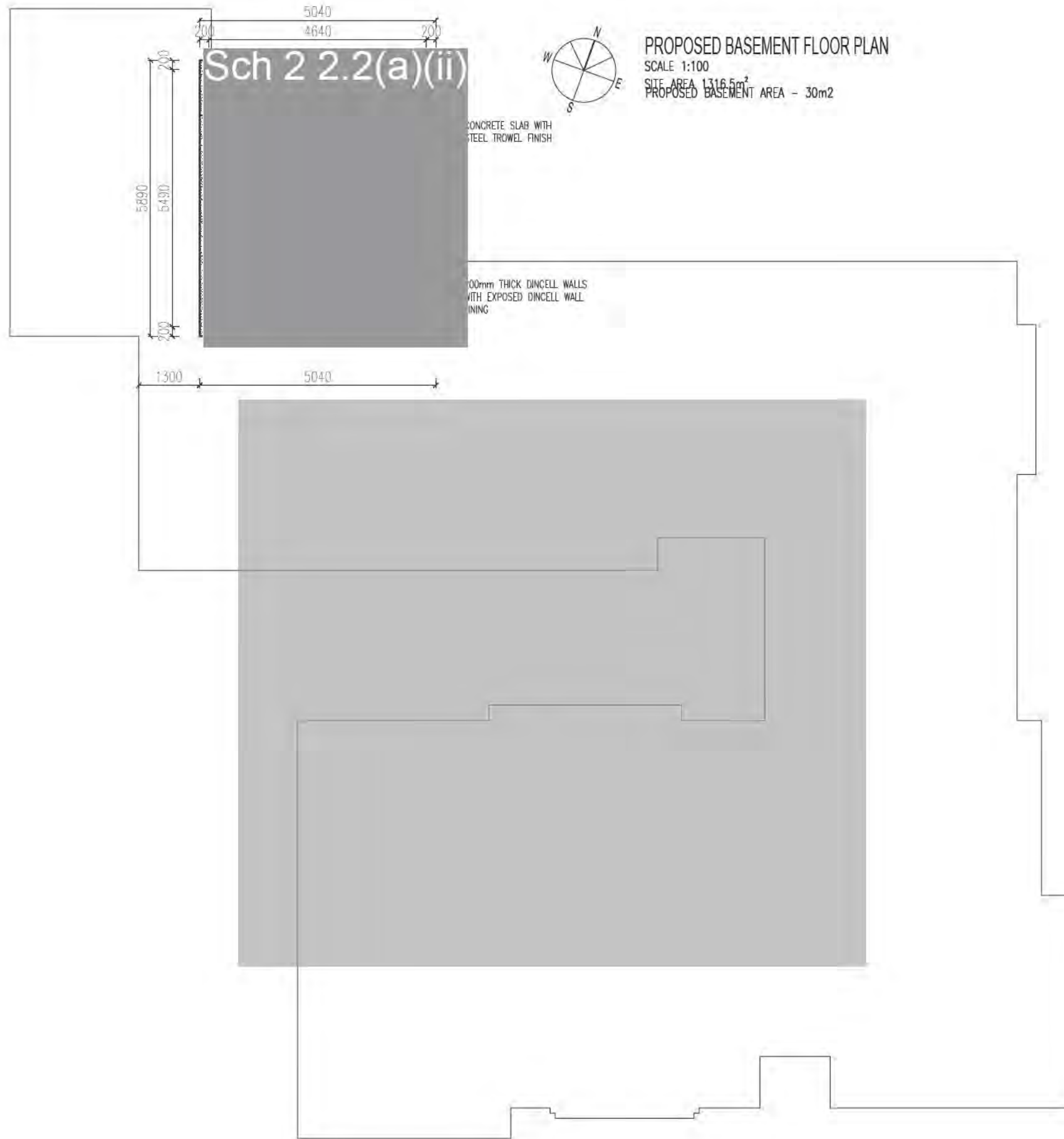
RENDER NOTES:
PROVIDE A TERRALINE STIPLED RENDER FINISH TO ALL NEW RENDERED WALLS TO MATCH EXISTING



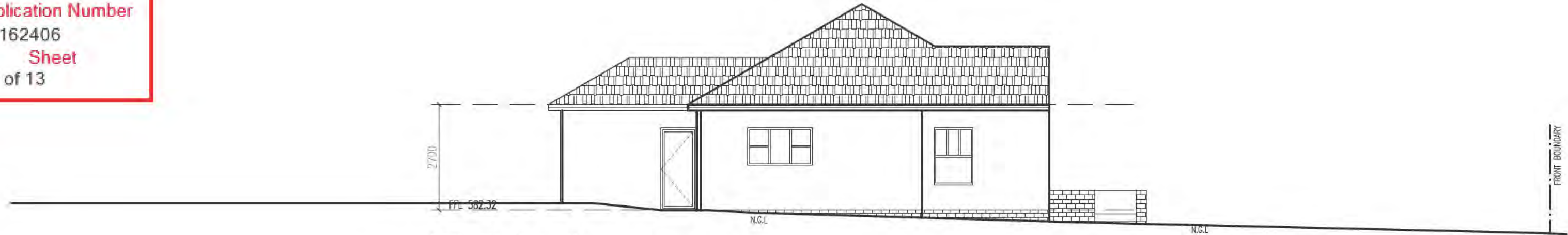
NEW DOUBLE CAVITY BRICK WALL WITH RENDER FINISH EXTERNALLY & HARD PLASTER FINISH TO INTERNAL FACE

BUILDER TO CONSTRUCT NEW STEEL FRAMED TIMBER SLATTED FENCE & GATE TO PROVIDE 3000mm CLEARANCE ACCESS TO STORMWATER EASEMENT AT REAR

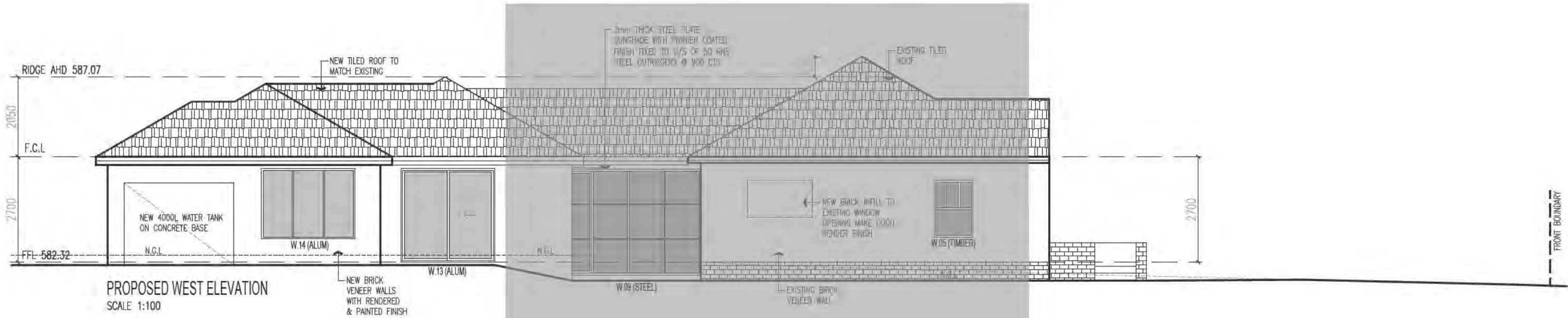




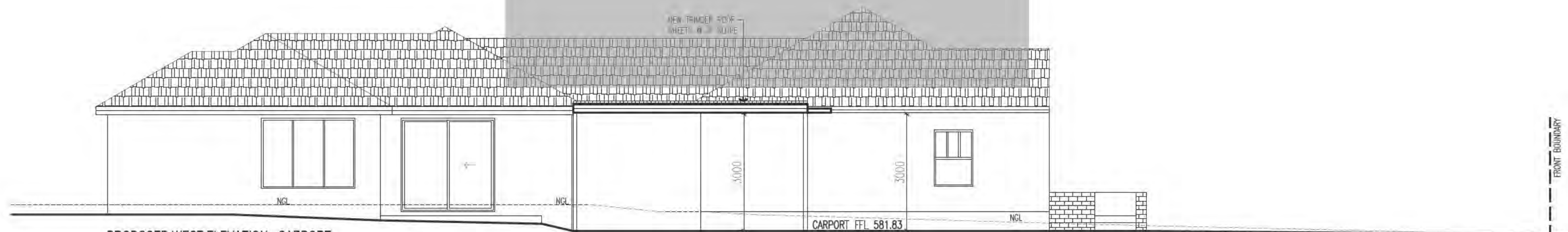




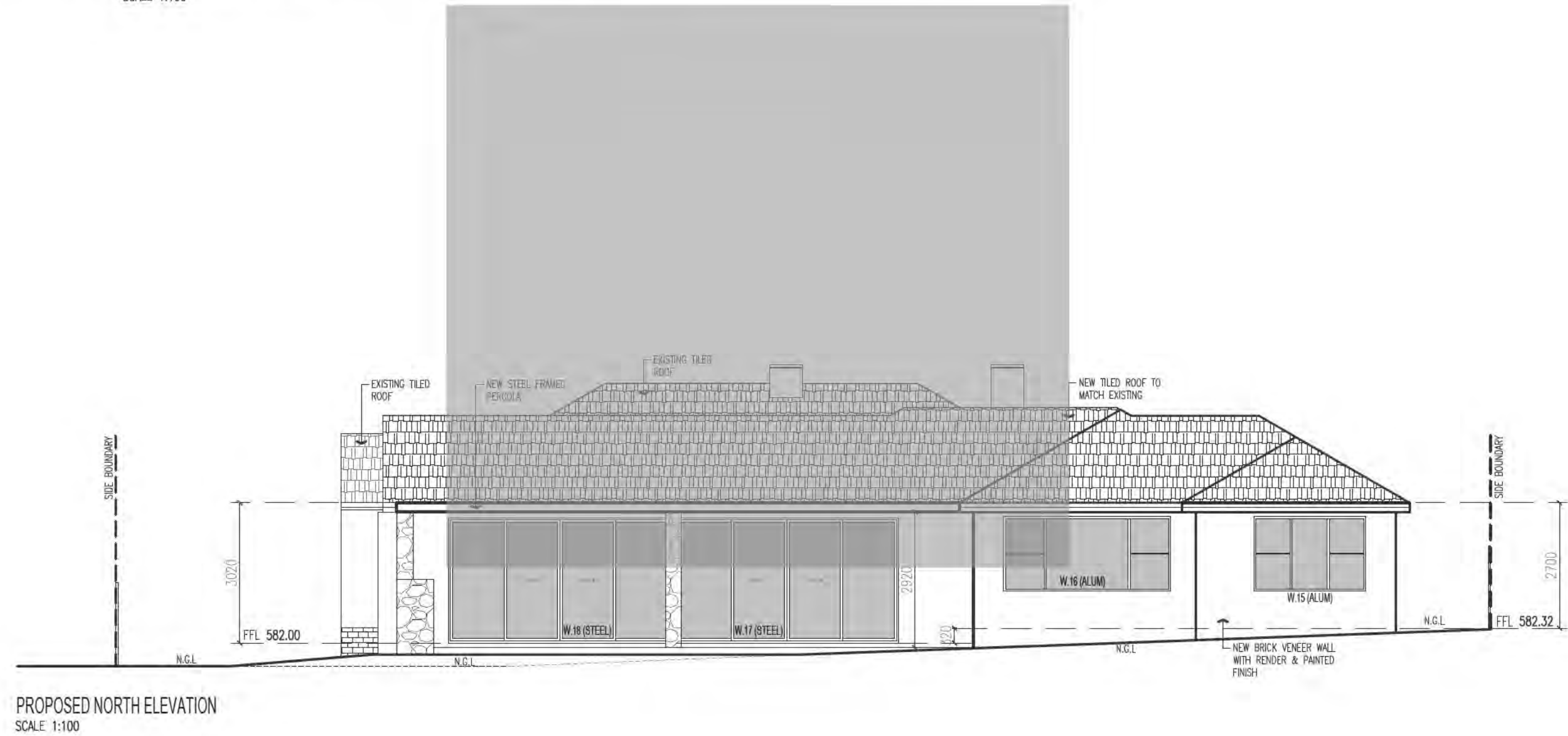
EXISTING WEST ELEVATION
SCALE 1:100

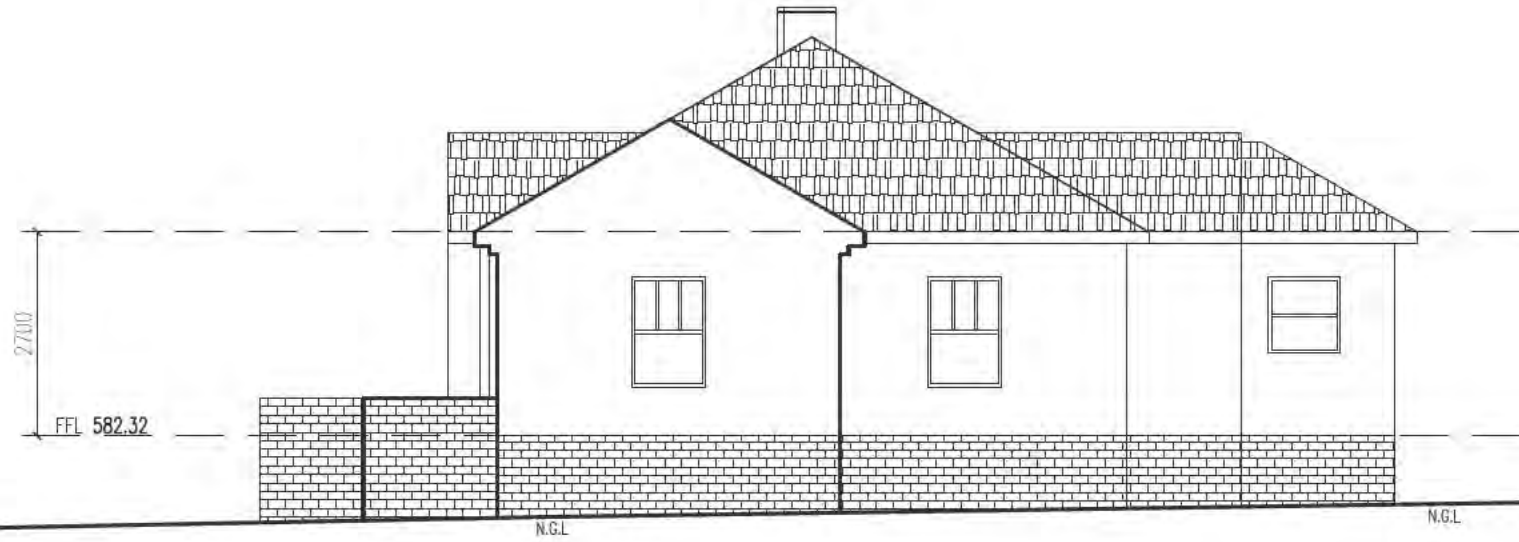


PROPOSED WEST ELEVATION
SCALE 1:100

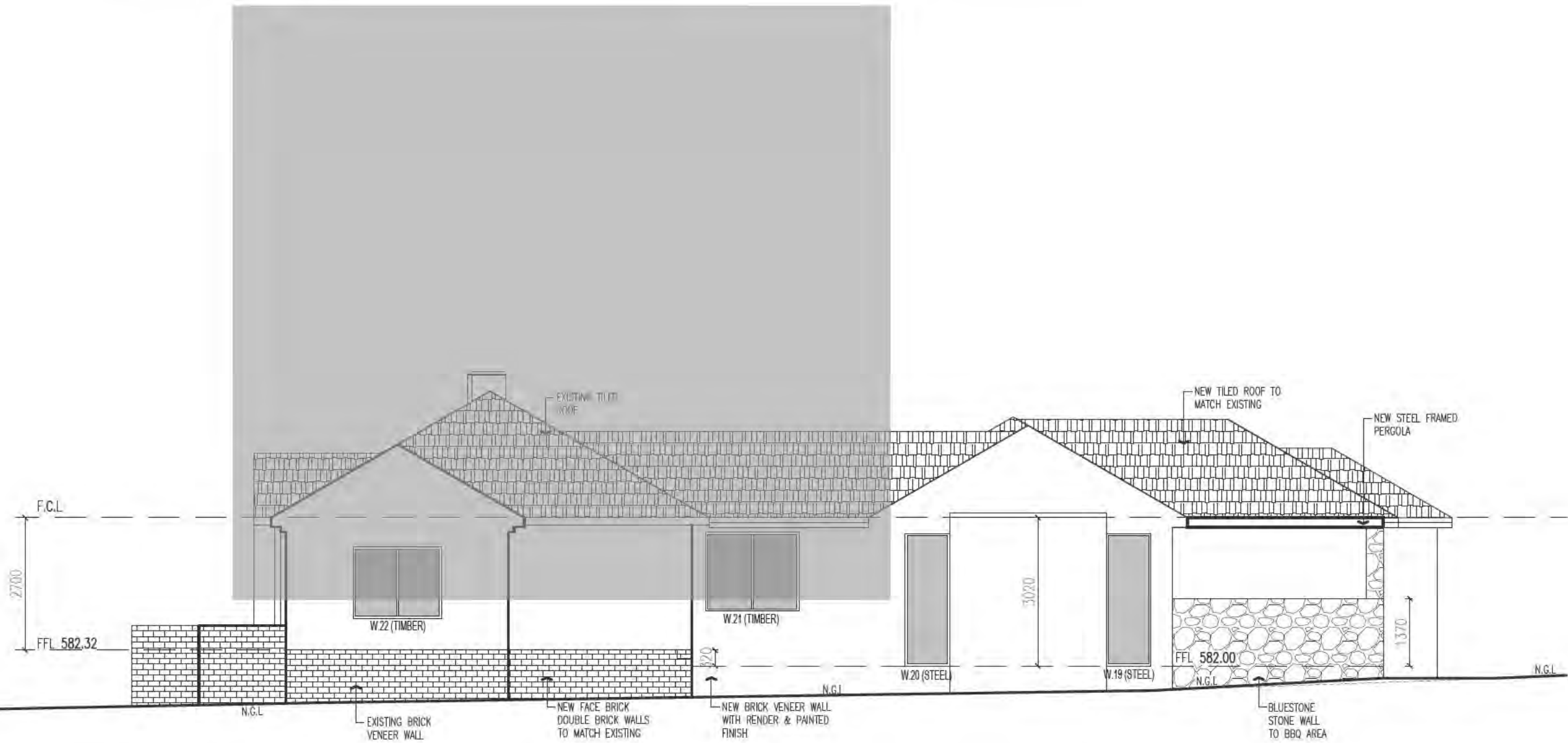


PROPOSED WEST ELEVATION - CARPORT
SCALE 1:100





EXISTING EAST ELEVATION
SCALE 1:100



PROPOSED EAST ELEVATION
SCALE 1:100



STATEMENT OF CONDITIONAL ACCEPTANCE

Application No: 162406 **Suburb:** Forrest

Block/Section [REDACTED]

Applcn Type: Single residential/Addition Inclusions : Extension, Internal Changes, of Carport, of Water Tank, with Alteration/Addition, with Car Park, with Pergola/Deck or Patio, with Roof

Attached Plans

Conditions of Acceptance

A sewer maintenance structure is located on this block. Unobstructed 24 hour - 7 day a week access a minimum 1.5m wide is to be maintained across the land to the asset.

As per Criterion 1 - Easement and other access Clearances of the Planning and Development Regulation 2008. No structures are to be built over Icon Water easements, pipe protection envelopes or access passages without Icon's written approval. In accordance with this provision, access is to be maintained across land in these areas

Icon Water assets shall be protected for the duration of the construction works from short term load shedding from construction machinery or vibration and groundwater ingress or infiltration. Any damage to Icon assets resulting from the construction works shall be repaired by Icon Water at the contractors expense. Access to Icon's assets including sewer structures, manholes, hydrants and valves is to be maintained for the duration of the construction works.

Please Note:

- ❖ Separate applications are required for ActewAGL electricity and gas networks.
- ❖ Any failure to accurately show existing or proposed structures may result in damage and costs for which the property owner will be liable. Damage to network assets must be reported to Icon Water.
- ❖ Utility conditions may also apply to minor structures and landscaping works that may not have been depicted in this document. Consultation with Icon Water is advised if such structures and landscaping are planned.
- ❖ Icon Water recommends setbacks provided for equipment access to water or sewerage network assets are kept free of obstruction by the property owner.
- ❖ Construction of works without the approval of Icon Water may result in connection to Icon Water's water and sewerage networks being denied and /or action being taken to require the property owner to remove non-compliant services (e.g. sanitary drains) or structures.

WARNING

Failure to comply with these conditions is likely to result in interference with an Icon Water sewer or water asset. Part 5 of the Utilities (Technical Regulation) Act 2014 applies, which indicates a person who interferes with a utility asset may be subject to prosecution. The current maximum penalty is 200 penalty units, imprisonment for two years, or both. In addition the land-holder can be ordered at their expense to stop the interference, which may involve removal of the building work or that part of the building work that is causing, or is likely to cause interference.

Comments:

Signed

Sch 2 2.2(a)(ii)

Date

21 Jun 2017

For further information please phone Icon Water 6248 3111.



Policy Number Sch 2 2.2(a)(xi)

Sch 2 2.2(a)(ii)

FORREST 2603

Name of Intermediary

Sch 2 2.2(a)(ii)

Account Number

Sch 2 2.2(a)(ii)

Date Issued

04/09/2017

Policy Schedule Details

Certificate in Respect of Insurance

Residential Building Work by Contractors

A contract of insurance complying with the Building Act 2004 and Regulations have been issued by QBE Insurance (Australia) Limited ABN 78 003 191 035, in respect of Residential Building Work as described in the Schedule herein.

In Respect of

ALTERATIONS AND ADDITIONS STRUCTURAL

At

FORREST ACT 2603

Carried Out By

BUILDER
PREFERRED BUILDERS.COM PTY LTD
ABN: 65 948 256 404

Declared Contract Price

Sch 2 2.2(a)(xi)

Contract Date

04/09/2017

Builders Registration No.

U2007677

Building Owner / Beneficiary

Sch 2 2.2(a)(ii)

Subject to the Building Act 2004 and Regulations and the conditions of the insurance contract, cover will be provided to the Building Owner/ Beneficiary named in the domestic building contract and to the successors in title to the Building Owner/Beneficiary or the immediate successor in title to the contractor or developer who did the work and subsequent successors in title.

For and behalf of

QBE Insurance (Australia) Limited.

IMPORTANT NOTICE:

This certificate must be read in conjunction with the Policy Wording and kept in a safe place.

These documents are very important and must be retained by you and any successive owners of the property for the duration of the statutory period of cover.



Form 7A - Information for adjoining resident about proposed exempt development

- to be completed by the proponent and provided to each adjoining resident

Why are you receiving this information?

The exemption criteria for demolition and development of single dwellings on land that has previously had a house built on it requires that information about the proposed development is provided to you as an adjoining resident. Development can be exempt from the need for a development application (DA) if it meets specified criteria. This type of development is known as 'DA exempt development'.

If you are a tenant please consider forwarding a copy of this information and the plans to the lessee or their managing agent.

What you should receive

1. Information sheet (Form 7A) explaining that development is proposed for the site indicated below; and
2. If the proposed development is a single dwelling a copy of each site plan and elevation plan.
A copy of the floor plan is not required to be provided to you.
If the proposed development is only for the demolition of a single dwelling no plans are required to be provided.

What this means for you

The information sheet and attached plans (if required) have been provided for your **information** only. Prior to any construction commencing, a private building certifier must confirm the development proposal meets the DA exemption criteria.

If the proposal meets all of the DA exemption requirements:

- no DA is required and there is no public notification or right of merit review; and
- a building approval can be granted and work can commence without any further notice.

If you have any questions about the proposed development please contact the nominated person which may be the proponent, builder or building certifier. They can discuss the proposal with you.

Block Section Suburb Unit No.

Street address

Single dwelling Demolition Please tick

Nominated person contact details

Name Phone number

Email Alternative phone number

Role

NOTE: If the building certifier determines the proposed development does not meet the DA exemption requirements a DA will have to be lodged by the proponent and you will be notified during the public consultation phase of the DA process.



Form 7B - Summary of written information for building certifier – compliance with exemption criteria - Planning & Development Regulation - to be completed by the proponent and provided to the building certifier

What this form is for

You should complete this form (Form 7B) if you are proposing to:

- demolish a single residential dwelling (s1.100B); and
- construct a code compliant single residential dwelling on old residential land (s1.100 or s1.100A)

If you are proposing to do this type of development you are required under section 1.19, schedule 1, *Planning and Development Regulation 2008* to give written information about the proposal to each adjoining resident.

Process

1. Complete the form "Information for adjoining resident about proposed exempt development" (Form 7A) and if required attach a copy of the site plan and a copy of elevation plan. Give a copy of the completed form and plans to each adjoining resident. You can do this by placing in the letterbox, by-hand, by email etc.
2. Complete the details below. A copy of Form 7A including any attachments and this form (Form 7B) are required to be included in your application for building approval.

Information for building certifier – compliance with *Planning and Development Regulation 2008*

The information below is provided to demonstrate that s1.19, s1.100, s1.100A and s1.100B (as applicable), schedule 1, *Planning and Development Regulation 2008* has been complied with.

Proponent Name/s: **Sch 2 2.2(a)(ii)**

Block Section Suburb **Forrest** Unit No.

Street address **Forrest ACT** Signature **Sch 2 2.2(a)(ii)** Date **8/8/17** *

Signature _____ Date _____

The following adjoining residences have been provided with a copy of Form 7A and if required the site plan/s and elevation/s plans.

	Adjoining residences Street address – please print	Method and date of delivery			Date
		Letterbox	In person	Other – please state	
1.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
2.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
3.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
4.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
5.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
6.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

If there is insufficient space please attach a separate sheet.

Privacy Notice

The personal information on this form is provided to the Environment and Planning Directorate (EPD) to enable the processing of your application. The collection of personal information is authorised by the *Planning and Development Act 2007*. If all or some of the personal information is not collected EPD cannot process your application. The personal information you provide may be disclosed where the Directorate reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. EPD's Information Privacy Policy contains information about how you may access or seek to correct your personal information held by EPD, and how you may complain about an alleged breach of the Territory Privacy Principles. The EPD Information Privacy Policy can be found at www.environment@act.gov.au

Contact Details:

Environment and Planning Directorate
Customer Service Centres
GPO Box 158, Canberra City 2601
8 Darling Street Mitchell, ACT 2911
16 Challis Street Dickson ACT 2602

Business Hours: 8.30am to 4.30pm weekdays (excluding Public Holidays)
Phone: (02) 6207 1923 TTY: (02) 6207 2622
Email: epdcustomerservices@act.gov.au Website: www.environment@act.gov.au



Form 7B - Summary of written information for building certifier – compliance with exemption criteria - Planning & Development Regulation – to be completed by the proponent and provided to the building certifier

What this form is for

You should complete this form (Form 7B) if you are proposing to:

- demolish a single residential dwelling (s1.100B); and
- construct a code compliant single residential dwelling on old residential land (s1.100 or s1.100A)

If you are proposing to do this type of development you are required under section 1.19, schedule 1, *Planning and Development Regulation 2008* to give written information about the proposal to each adjoining resident.

Process

1. Complete the form "Information for adjoining resident about proposed exempt development" (Form 7A) and if required attach a copy of the site plan and a copy of elevation plan. Give a copy of the completed form and plans to each adjoining resident. You can do this by placing in the letterbox, by-hand, by email etc.
2. Complete the details below. A copy of Form 7A including any attachments and this form (Form 7B) are required to be included in your application for building approval.

Information for building certifier – compliance with *Planning and Development Regulation 2008*

The information below is provided to demonstrate that s1.19, s1.100, s1.100A and s1.100B (as applicable), schedule 1, *Planning and Development Regulation 2008* has been complied with.

Proponent Name/s: **Sch 2 2.2(a)(ii)**

Block Section Suburb **Forrest** Unit No.

Street address **Forrest ACT** Signature **Sch 2 2.2(a)(ii)** Date **8/8/17** *

Signature _____ Date _____

The following adjoining residences have been provided with a copy of Form 7A and if required the site plan/s and elevation/s plans.

	Adjoining residences Street address – please print	Method and date of delivery			Date
		Letterbox	In person	Other – please state	
1.		<input type="checkbox"/>	<input type="checkbox"/>		
2.		<input type="checkbox"/>	<input type="checkbox"/>		
3.		<input type="checkbox"/>	<input type="checkbox"/>		
4.		<input type="checkbox"/>	<input type="checkbox"/>		
5.		<input type="checkbox"/>	<input type="checkbox"/>		
6.		<input type="checkbox"/>	<input type="checkbox"/>		

If there is insufficient space please attach a separate sheet.

Privacy Notice

The personal information on this form is provided to the Environment and Planning Directorate (EPD) to enable the processing of your application. The collection of personal information is authorised by the *Planning and Development Act 2007*. If all or some of the personal information is not collected EPD cannot process your application. The personal information you provide may be disclosed where the Directorate reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. EPD's Information Privacy Policy contains information about how you may access or seek to correct your personal information held by EPD, and how you may complain about an alleged breach of the Territory Privacy Principles. The EPD Information Privacy Policy can be found at www.environment@act.gov.au

Contact Details:

Environment and Planning Directorate
Customer Service Centres
GPO Box 158, Canberra City 2601
8 Darling Street Mitchell, ACT 2911
16 Challis Street Dickson ACT 2602

Business Hours: 8.30am to 4.30pm weekdays (excluding Public Holidays)
Phone: (02) 6207 1923 TTY: (02) 6207 2622
Email: epdcustomerservices@act.gov.au Website: www.environment@act.gov.au



ACT Heritage Council

File ref: Forrest-B9-S23
Contact Officer: Linda Ren
Phone: 6205 3343

Date Received: 10 and 26 June 2017

Paul Tilse
PaulTilse Architects P/L
Paul@ptarchitects.com.au

Dear Mr Tilse

Heritage Advice – Block [REDACTED] Section [REDACTED] Forrest


Please find attached a copy of ACT Heritage Council (Council) advice to the ACT planning and land authority, regarding proposed works at Block [REDACTED] Section [REDACTED] Forrest.

The Council notes that Section 1.14 of the *Planning and Development Regulation 2008* provides the following criteria for exempt development in relation to heritage places:

- 1) A development must not contravene the *Heritage Act 2004*, the *Tree Protection Act 2005*, *Environment Protection Act 1997* and the *Nature Conservation Act 2014* or other applicable laws;
- 2) A development (other than a class 10 building or structure) must not be located at a place or on an object included in the heritage register or under a heritage agreement; or cause any part of a building or structure (other than a class 10 building or structure) to be located at a place or on an object included in the heritage register or under a heritage agreement;
- 3) Subsection (2) does not apply if the Council gives the planning and land authority written advice that, in the Council's opinion, the development:
 - a. will not diminish the heritage significance of the place or object; or
 - b. is in accordance with heritage guidelines, or a conservation management plan approved by the Council under Section 61K the *Heritage Act 2004*; or
 - c. is an activity described in a statement of heritage effect approved by the Council under Section 61H of the *Heritage Act 2004*.

The attached Council advice concludes that the proposed works are unlikely to diminish the heritage significance of the place subject to conditions, however, it is recommended that you also seek advice from the ACT planning and land authority on whether all above and other relevant exemption criteria have been met, or whether a Development Application will be required.

Yours sincerely


Jennifer O'Connell
Secretary (as delegate for),
ACT Heritage Council

26 June 2017



ACT Heritage Council

HERITAGE ADVICE

Under Section 60 of the *Heritage Act 2004*

Heritage Reference:
Contact Officer:
Received by Council:

Forrest-B9-S23
Linda Ren
10 and 26 June
2017

TO: ACT planning and land authority
Environment, Planning and Sustainable Development Directorate
EPDCustomer.Services@act.gov.au

Block:	Section:	Division / District:	Heritage Place:
█	█	Forrest	Blandfordia 5 Housing Precinct

Status of Place: Registered Heritage Place
Description of Works: Residential - single dwelling alts + additions
Council Advice provided by: Secretary / ACT Heritage Manager

Pursuant to Part 10 of the *Heritage Act 2004*, the ACT Heritage Council advises that:

- The proposed development does not contravene the *Heritage Act 2004*, and is **unlikely to diminish the heritage significance** of Blandfordia 5 Housing Precinct, subject to the below conditions.

Background:

The ACT Heritage Council (the Council) received an inquiry on 29 March 2017 in relation to the extension and alteration works at Block █ Section █ Forrest.

Revised plans were submitted to the Council on 10 and 26 June 2017, after the Council provided advice on 19 April 2017.

Block █ Section █ Forrest (█) is located within the Blandfordia 5 Housing Precinct (the Precinct) which is entered to the ACT Heritage Register. Features intrinsic to the heritage significance of the Precinct are the early C20th 'Garden City' planned subdivision characters, the distinct pattern of housing development and landscape, the Federal Capital architectural style, historic remnants of the original street furniture, mature public and private treescape and individual places of specific aesthetic, architectural, historical and social values.

The revised proposal includes an addition to the rear of the existing dwelling to include three bedrooms, a new living area, a new kitchen and a basement cellar. The proposal also includes removal of the existing garage and construction of a new carport between the existing residence and proposed extension. Internal alterations and replacement of all existing windows are also part of the proposal.

Advice and conditions:

The proposed development has been reviewed against the ACT Heritage Register entry for the Precinct, and specifically the 'Specific Requirements for the Conservation of the Precinct' (in the Guidelines) set out in the Register entry.


In particular, the proposed additions to the existing dwelling "*reflect and complement the scale, form and materials of the identified original dwellings in the street*" and most of the proposed addition will not be visible from the street or adjacent public domain.

A key conservation objective for the Precinct is to retain the historical pattern of garages sited towards the rear of the block. Although the proposed carport is not sited at the rear of the block, it is noted that the carport appears to comply with the requirements of 3.2C of the Guidelines, as it is setback from the nearest front face of the dwelling towards the rear of the block, equal to its external width. The elevation plans demonstrate that the flat roof of the carport is "*not visually prominent in the streetscape and the form of original dwelling is not impacted*".

The Council also considers that construction of the proposed basement cellar is unlikely to impact on the structural stability of the original dwelling.

The proposed works are considered consistent with the requirements of the Guidelines and are unlikely to diminish the heritage significance of the Precinct, subject to the below conditions:

- Applied finishes to the roof must retain the original roof colour; and
- Alterations and additions that will be visible from the street must match the original details, materials and finishes for key elements including gutters and downpipes, wall finishes, and windows (materials, details, size, colour, and height-to-width ratio).


Jennifer O'Connell
**Secretary (as delegate for),
ACT Heritage Council**

26 June 2017

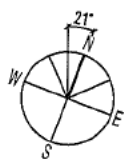
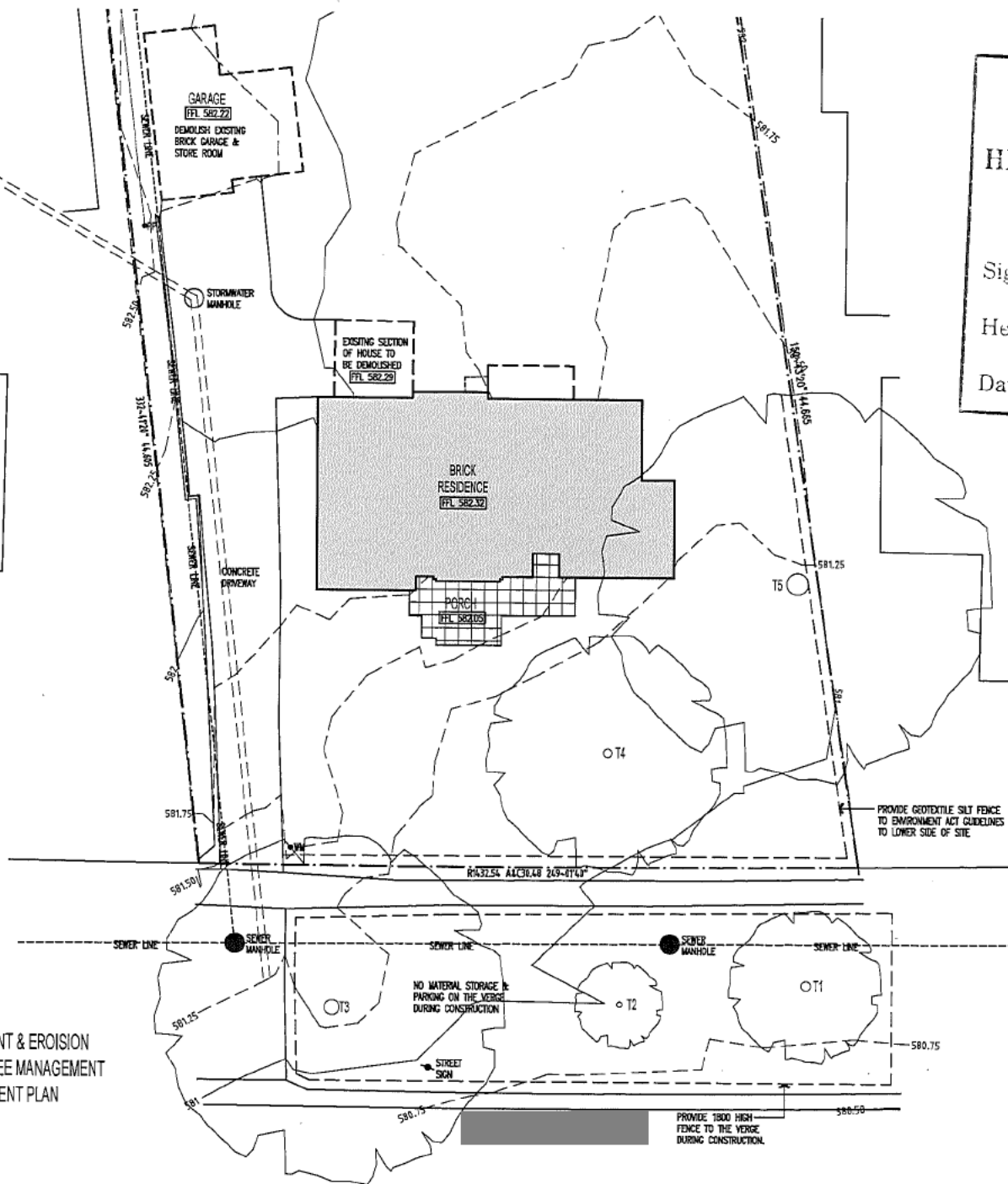
Heritage Act 2004

HERITAGE ADVICE PROVIDED

Signed: *Linda*

Heritage Officer: *Linda REW*

Date: *26/June/2017*



PROPOSED SEDIMENT & EROSION CONTROL PLAN, TREE MANAGEMENT & VERGE MANAGEMENT PLAN
 SCALE: 1:200
 SITE AREA: 1316.5m²

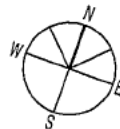
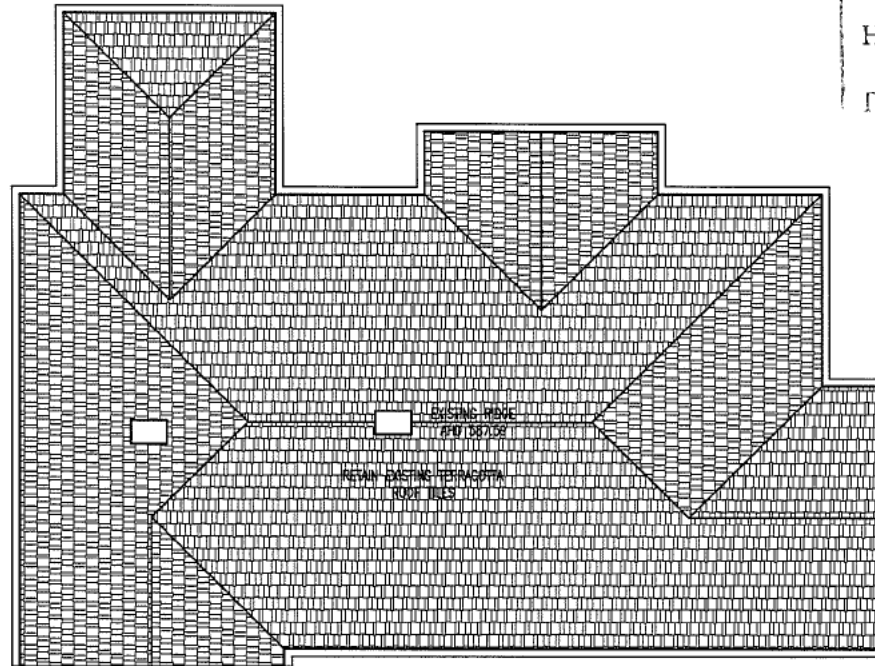
Heritage Act 2004

HERITAGE ADVICE PROVIDED

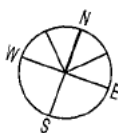
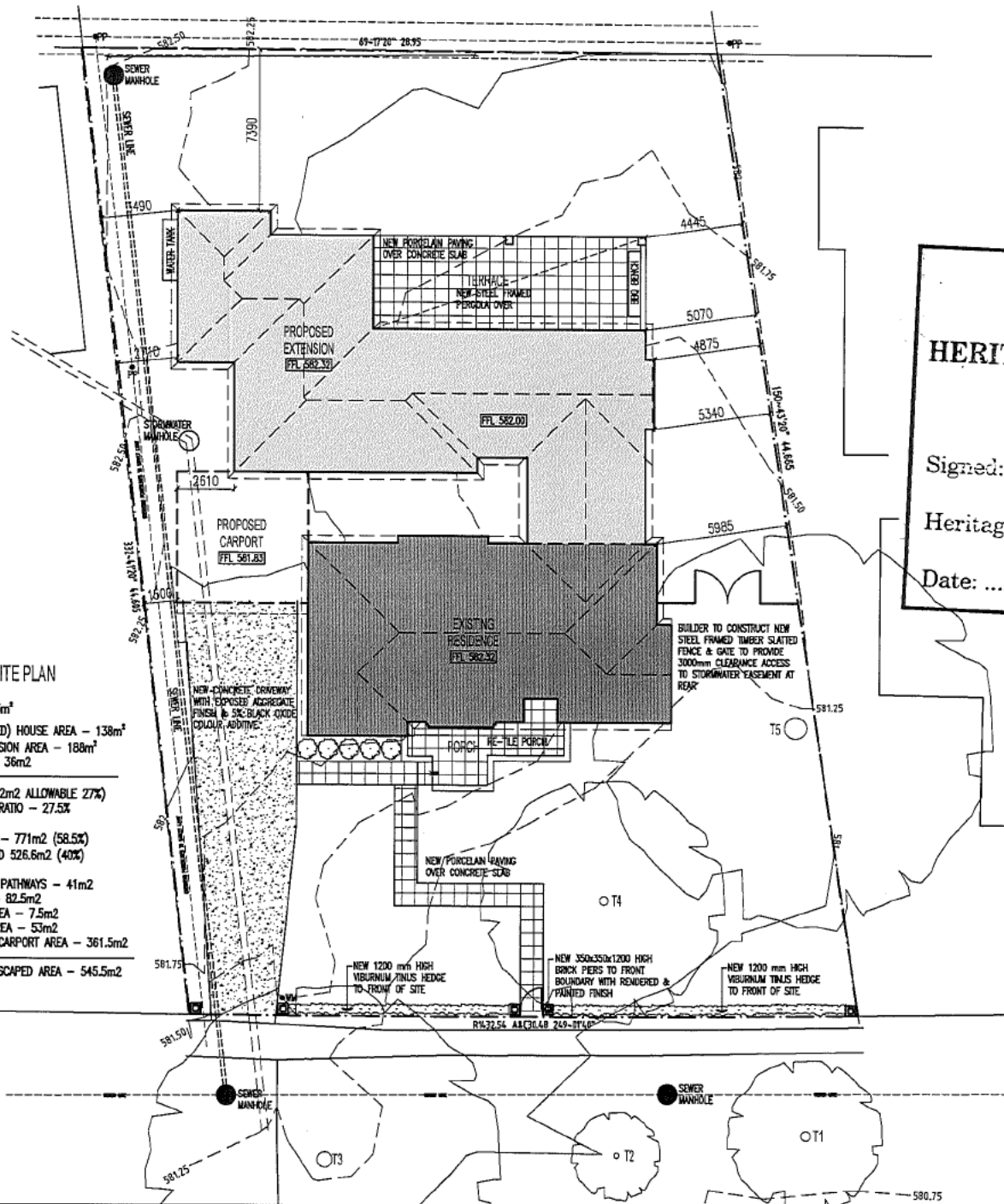
Signed: *Linda*

Heritage Officer: *Linda Rex*

Date: *26/June/2017*



EXISTING ROOF PLAN
SCALE 1:100



PROPOSED SITE PLAN
 SCALE 1:200
 SITE AREA 1316.5m²
 EXISTING (RETAINED) HOUSE AREA - 138m²
 PROPOSED EXTENSION AREA - 188m²
 CARPORT AREA - 36m²

TOTAL 362m² (362m² ALLOWABLE 27%)
 PROPOSED PLOT RATIO - 27.5%

LANDSCAPE AREA - 771m² (58.5%)
 MINIMUM REQUIRED 526.6m² (40%)

FRONT PORCH & PATHWAYS - 41m²
 DRIVEWAY AREA - 82.5m²
 STUDIO PAVED AREA - 7.5m²
 REAR TERRACE AREA - 53m²
 TOTAL HOUSE & CARPORT AREA - 361.5m²

TOTAL NON-LANDSCAPED AREA - 545.5m²

Heritage Act 2004

HERITAGE ADVICE PROVIDED

Signed: *Linda*

Heritage Officer: *Linda RBN*

Date: *26/June/2017*

Heritage Act 2004

HERITAGE ADVICE PROVIDED

Signed: *Linda*

Heritage Officer: *Linda R3*

Date: *2.6/June/2017*

DEMOLISH EXISTING EXTERNAL WALLS/FLOOR/ROOF ETC.

Sch 2 2.2(a)(ii)

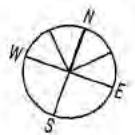
ING 5

DEMOLISH EXISTING EXTERNAL WALLS FOR NEW WINDOWS

REMOVE & REPLACE EXISTING SINGLE GLAZED WINDOWS WITH NEW PAINTED TIMBER WINDOW FRAMES WITH DOUBLE GLAZED CLEAR GLASS PANELS TYPICALLY IN EXISTING PART OF HOUSE

PORCH (FL 58205)

REMOVE EXISTING TILED FINISH READY FOR RETURN



PROPOSED DEMOLITION PLAN
SCALE 1:100
SITE AREA 1316.5m²

DEMOLITION NOTES

- UTILITIES
- ALL NETWORK INFRASTRUCTURE ON OR IMMEDIATELY ADJACENT THE SITE HAS BEEN IDENTIFIED ON THE UTILITIES PLAN
 - ALL POTENTIALLY DANGEROUS SUBSTANCES AND CONDITIONS (ASSOCIATED WITH OR RESULTING FROM THE DEMOLITION PROCESS) THAT MAY CONSTITUTE A RISK TO UTILITY SERVICES HAVE BEEN IDENTIFIED
 - ALL REQUIRED NETWORK DISCONNECTIONS HAVE BEEN IDENTIFIED AND THE DISCONNECTION WORKS COMPLY WITH UTILITY REQUIREMENTS
 - ALL WORKS ASSOCIATED WITH THE DEMOLITION COMPLY WITH AND ARE TO BE IN ACCORDANCE WITH UTILITY ASSET ACCESS AND PROTECTION REQUIREMENTS.
 - DISCONNECT AND CAP ALL SERVICES TO UTILITY REQUIREMENTS 3.0m FROM THE TIE POINT.
 - MAINTAIN EXISTING STORMWATER TIES.

- DEMOLITION PROCEDURE
- ASBESTOS FIBRE SHEETING TO BE IDENTIFIED AND REMOVED BY A LICENSED CONTRACTOR PRIOR TO DEMOLITION
 - DEMANTLE ROOF TRUSSES AND TIMBER FRAMING AND BEAMS FOR SALVAGE AND REUSE WHERE POSSIBLE.
 - REMOVE GLASS AND WINDOWS FOR REUSE
 - BRICKS TO BE CLEANED & STACKED FOR REUSED ONSITE & ANY UNUSED BRICKS AT END OF JOB TO BE RECYCLED OR CRUSHED AND RECYCLED
 - RECYCLE CYROCK SHEETING
 - CONCRETE (SLABS, VERANDAS, PATHS, DRIVEWAYS ETC) TO BE TAKEN TO AN APPROVED CONCRETE RECYCLER
 - STOCKPILE SITE TOPSOIL FOR REUSE IN THE NEW WORKS WHERE POSSIBLE
 - VEGETATION REMOVE TREES TO BE REMOVED WITHOUT DISTURBANCE TO THOSE TREES TO BE RETAINED. PROTECT ALL VEGETATION TO BE RETAINED FROM DAMAGE DURING DEMOLITION AND SITE CLEARING.
 - POLLUTION - AS PER ABOVE AND TO ACT POLLUTION CONTROL LAWS.
 - TEMPORARY TRAFFIC MANAGEMENT PLAN TO BE IN PLACE PRIOR TO DEMOLITION
 - SITE FENCING AND SEDIMENT AND EROSION CONTROL MEASURES TO BE IN PLACE PRIOR TO DEMOLITION

- EXISTING SERVICES
- ELECTRICITY TO BE DISCONNECTED AS PER ACTEW REQUIREMENTS AND RECONNECTED WITH A TEMPORARY SUPPLY.
 - SEWER AND STORMWATER TO BE CAPPED TO UTILITY REQUIREMENTS.
 - TEMPORARY WATER SUPPLY TO BE MAINTAINED.
 - TEMPORARY PHONE LINE TO BE MAINTAINED.
- TEMPORARY CONNECTIONS TO BE TO UTILITY REQUIREMENTS.
- DEMOLITION MATERIAL TO BE SEPARATED INTO SEPARATE STREAMS TO ENSURE EASY ACCESS BY RECYCLING ORGANISATIONS, BUILDERS AND SUBCONTRACTORS.

Heritage Act 2004

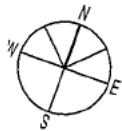
HERITAGE ADVICE PROVIDED

Signed: *high*

Heritage Officer: *Linda R...*

Date: *26/09/2017*

Sch 2 2.2(a)(ii)



PROPOSED GROUND FLOOR PLAN

SCALE 1:100

SITE AREA 1316.5m²

EXISTING (RETAINED) HOUSE AREA - 138m²

PROPOSED EXTENSION AREA - 188m²

CARPORT AREA - 36m²

TOTAL 362m² (362m² ALLOWABLE 27%)

PROPOSED PLOT RATIO - 27.5%

LANDSCAPE AREA - 771m² (58.5%)

MINIMUM REQUIRED 526.6m² (40%)

FRONT PORCH & PATHWAYS - 41m²

DRIVEWAY AREA - 82.5m²

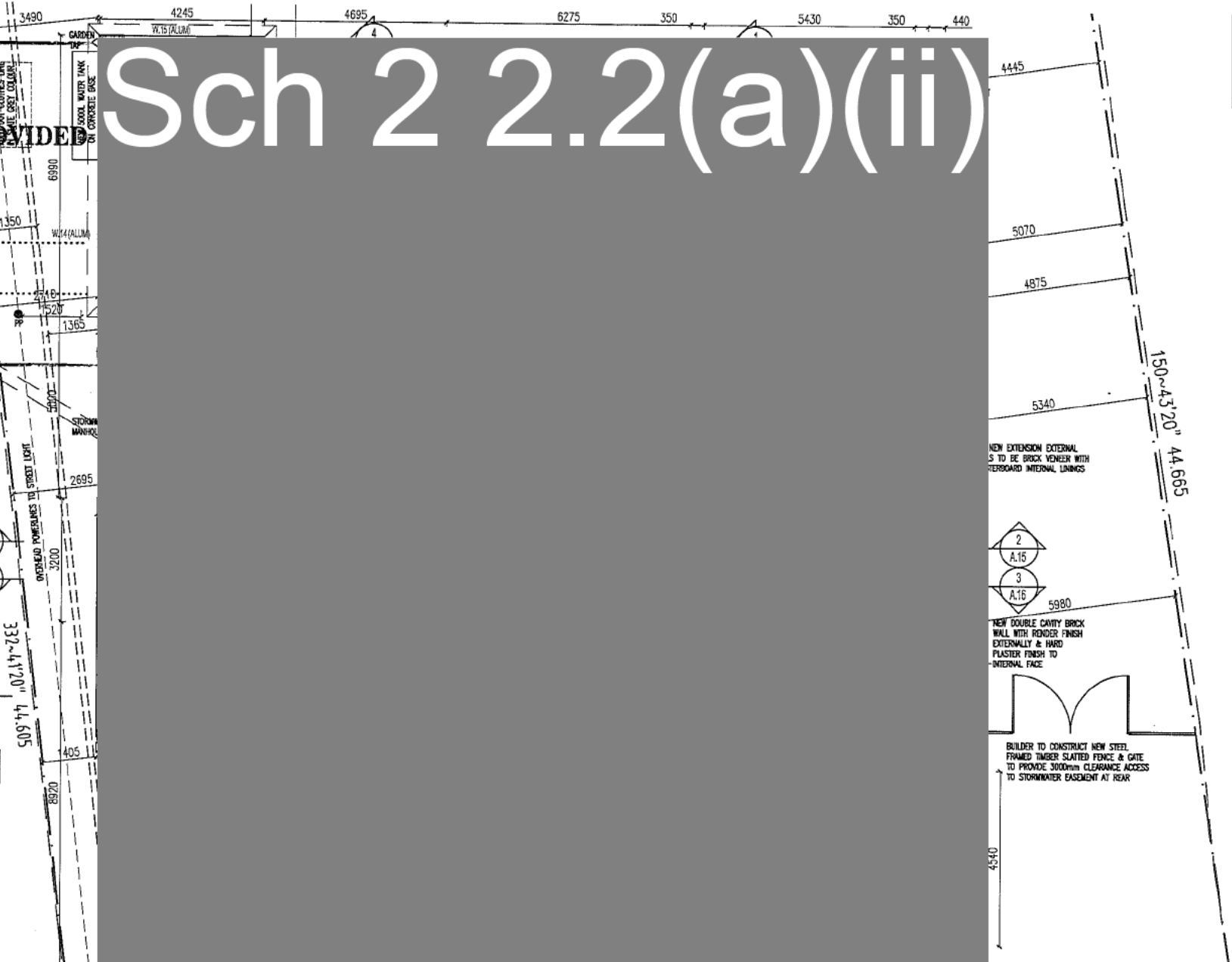
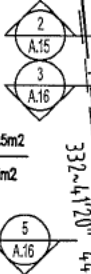
STUDIO PAVED AREA - 7.5m²

REAR TERRACE AREA - 53m²

TOTAL HOUSE & CARPORT AREA - 361.5m²

TOTAL NON-LANDSCAPED AREA - 545.5m²

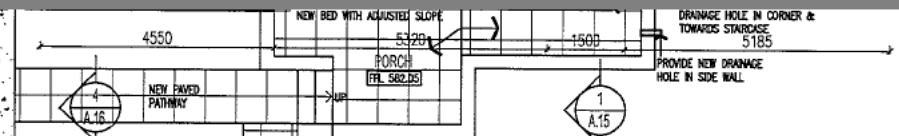
RENDER NOTES:
PROVIDE A TERRAZZED STIPLED RENDER FINISH TO ALL NEW RENDERED WALLS TO MATCH EXISTING

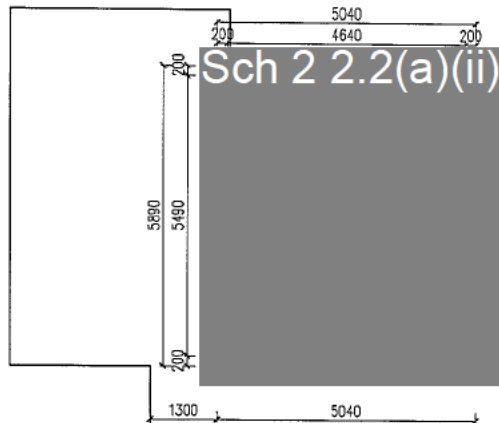


NEW EXTENSION EXTERNAL S TO BE BRICK VENEER WITH TERRAZZED INTERNAL LININGS

NEW DOUBLE CAVITY BRICK WALL WITH RENDER FINISH EXTERNALLY & HARD PLASTER FINISH TO INTERNAL FACE

BUILDER TO CONSTRUCT NEW STEEL FRAMED TIMBER SLATED FENCE & GATE TO PROVIDE 3000mm CLEARANCE ACCESS TO STORMWATER EASEMENT AT REAR





PROPOSED BASEMENT FLOOR PLAN
 SCALE 1:100
 SITE AREA 1316.5m²
 PROPOSED BASEMENT AREA - 30m²

-CONCRETE SLAB WITH
 STEEL TROWEL FINISH

-200mm THICK DENCELL WALLS
 WITH EXPOSED DENCELL WALL
 LINING

Heritage Act 2004
HERITAGE ADVICE PROVIDED
 Signed: *Linda*
 Heritage Officer: *Linda RBW*
 Date: *26/June/2017*



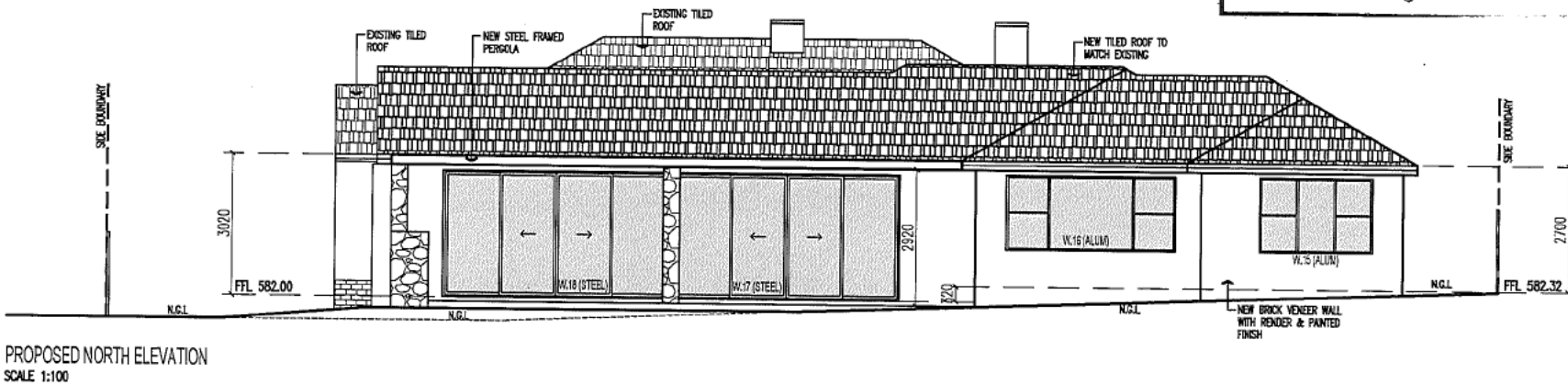
Heritage Act 2004

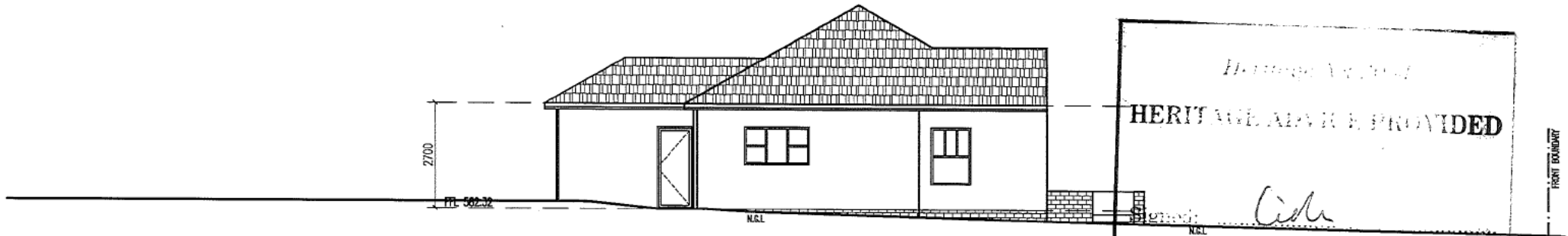
HERITAGE ADVICE PROVIDED

Signed: *Linda*

Heritage Officer: *Linda Row*

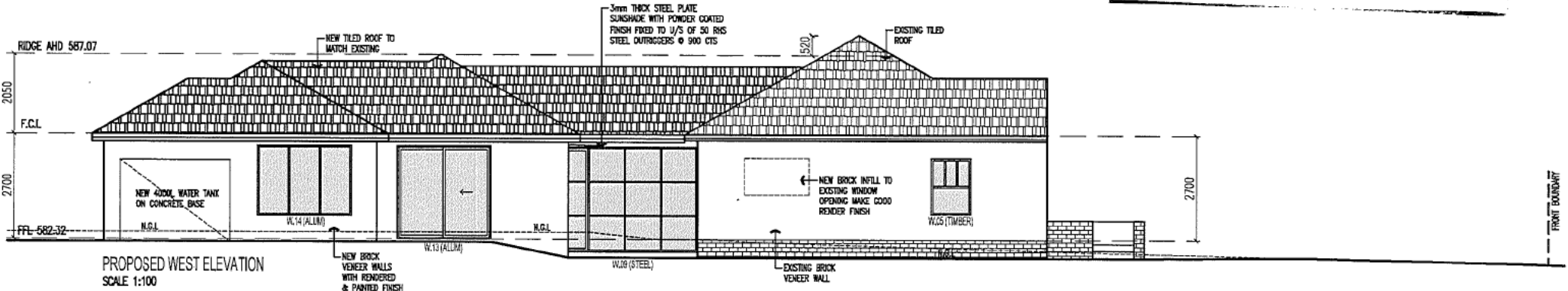
Date: *26 June 2017*



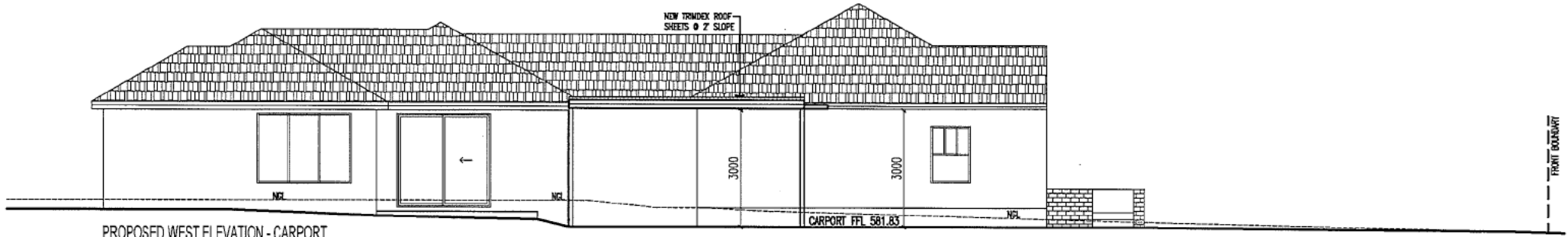


EXISTING WEST ELEVATION
SCALE 1:100

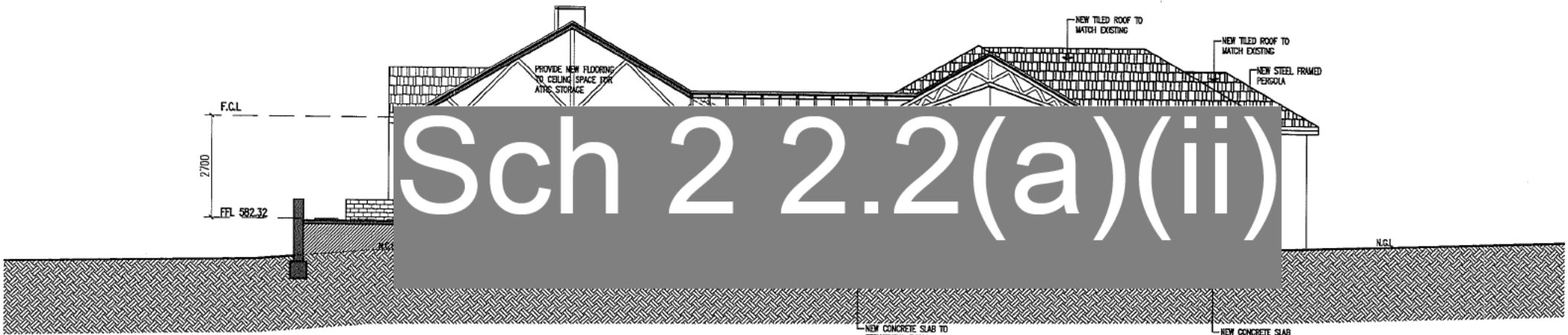
Heritage Act 2017
HERITAGE ADVICE PROVIDED
 Signed: *Linda Row*
 Heritage Officer: *Linda Row*
 Date: *26/June/2017*



PROPOSED WEST ELEVATION
SCALE 1:100



PROPOSED WEST ELEVATION - CARPORT
SCALE 1:100



PROPOSED SECTION 1-1
SCALE 1:100

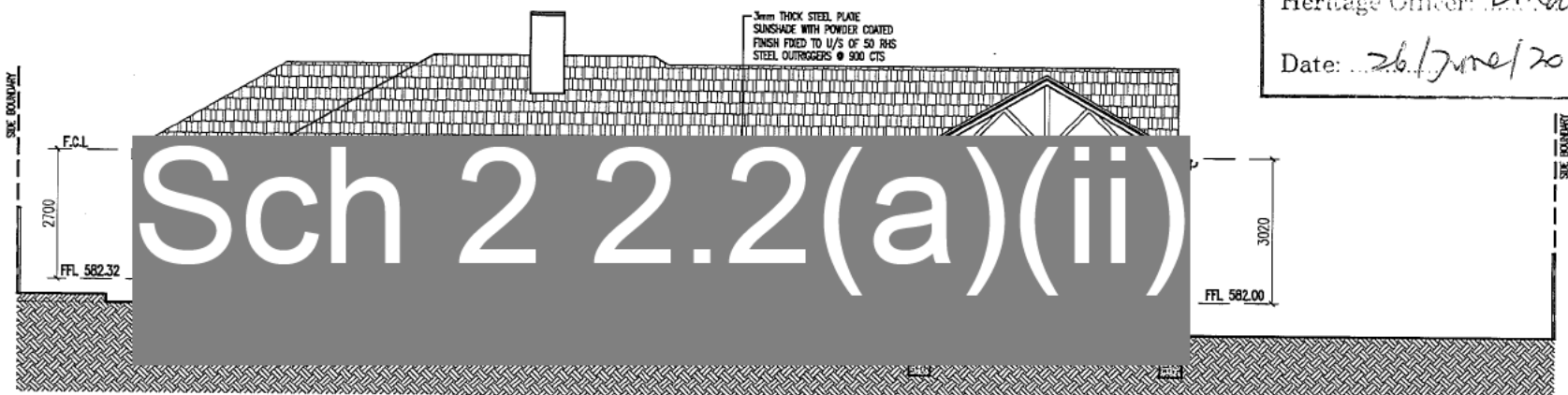
Heritage Act 2017

HERITAGE ADVICE PROVIDED

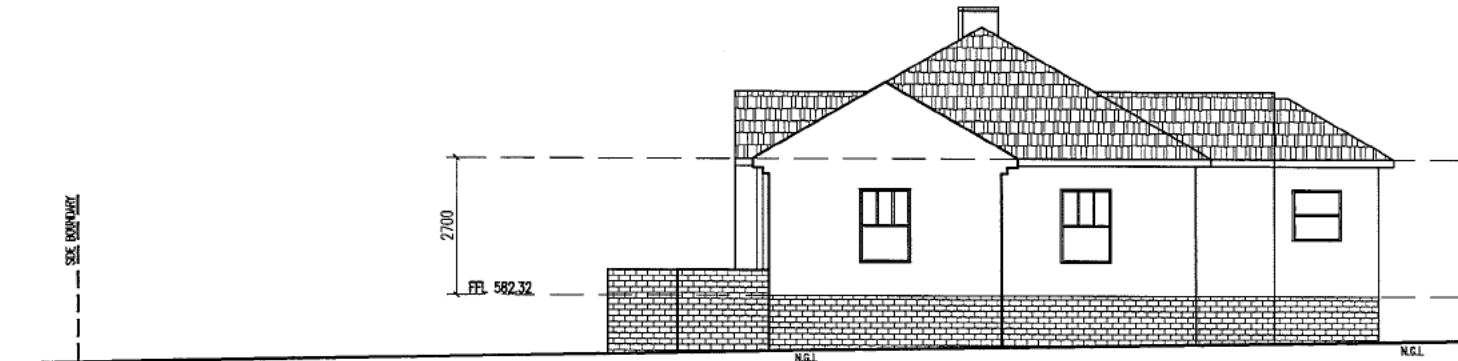
Signed: *Linda*

Heritage Officer: *Linda Row*

Date: *26/June/2017*



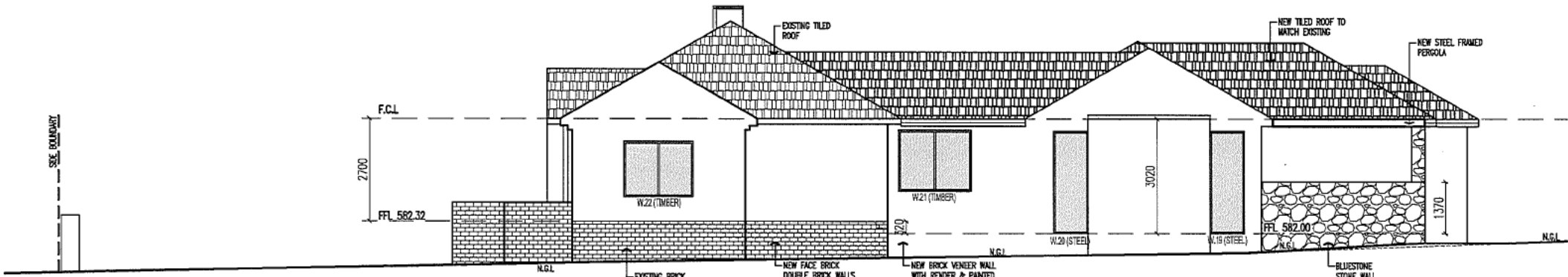
PROPOSED SECTION 2-2
SCALE 1:100



EXISTING EAST ELEVATION
SCALE 1:100

Heritage Act 2004
HERITAGE ADVICE PROVIDED

Signed: *Linda Don*
 Heritage Officer: *Linda Don*
 Date: *25/June/2017*



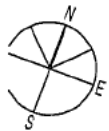
PROPOSED EAST ELEVATION
SCALE 1:100

Sch 2 2.2(a)(ii)

Heritage Act 2004
HERITAGE ADVICE PROVIDED

Signed: *Linda*
Heritage Officer: *Linda Ryan*
Date: *26 June 2017*

Sch 2 2.2(a)(ii)



EXISTING FLOOR PLAN
SCALE 1:100
SITE AREA 1316.5m²
EXISTING FLOOR AREA - 153.3m²
EXISTING SHED AREA - 39m²
TOTAL 192.3m²

STONE ROOM
STORMWATER MANHOLE

CONCRETE DRIVEWAY
PFL 581.90

PORCH
PFL 582.05

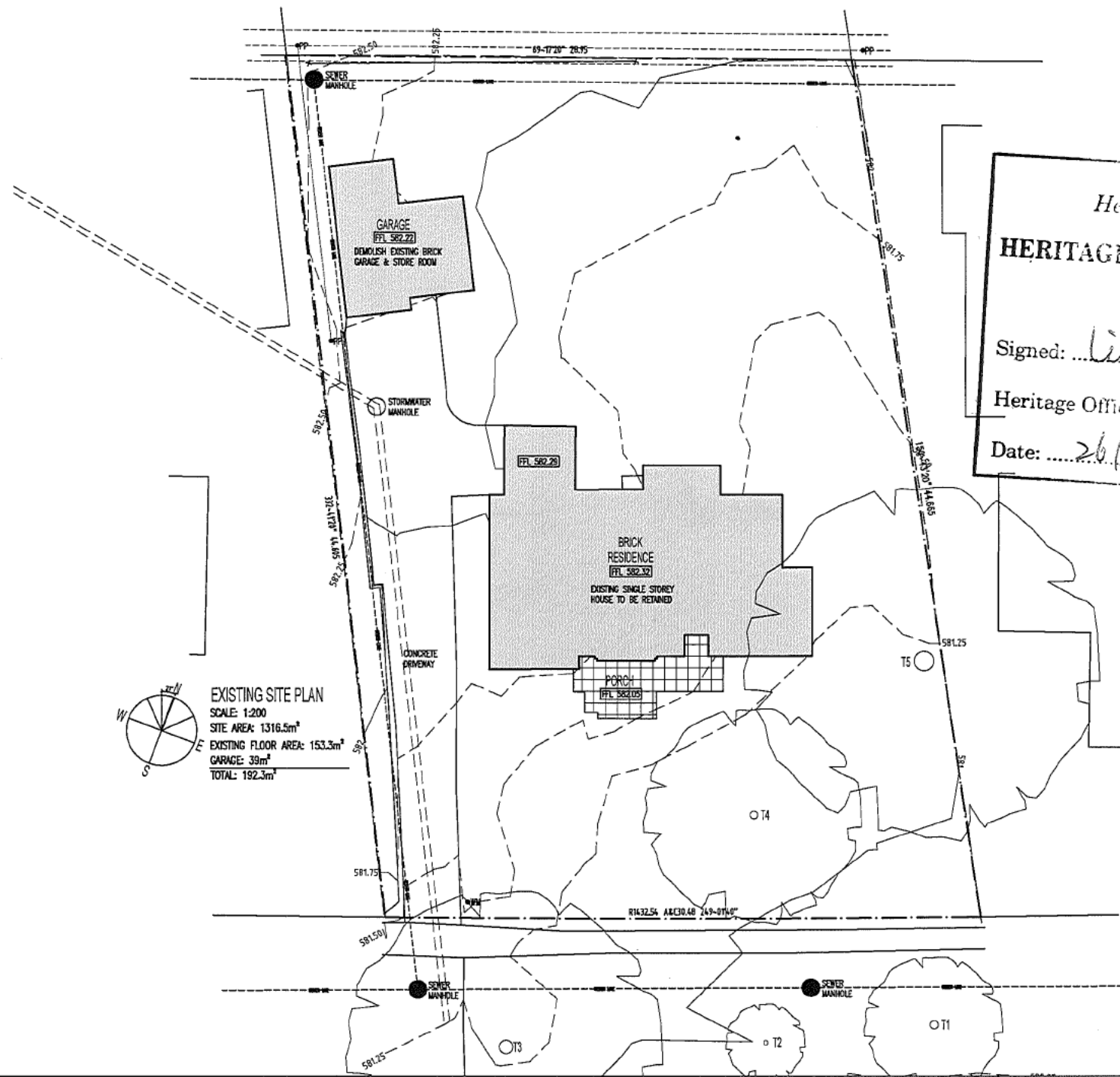
582.50

332'-4"120" 44.605'
582.25

581.75

158'-4"320" 44.665'

581.25



Heritage Act 1974
HERITAGE ADVICE PROVIDED
 Signed: *Linda*
 Heritage Officer: *Linda Row*
 Date: *26 June 2017*

EXISTING SITE PLAN
 SCALE: 1:200
 SITE AREA: 1316.5m²
 EXISTING FLOOR AREA: 153.3m²
 GARAGE: 39m²
 TOTAL: 192.3m²



Heritage Act 2004

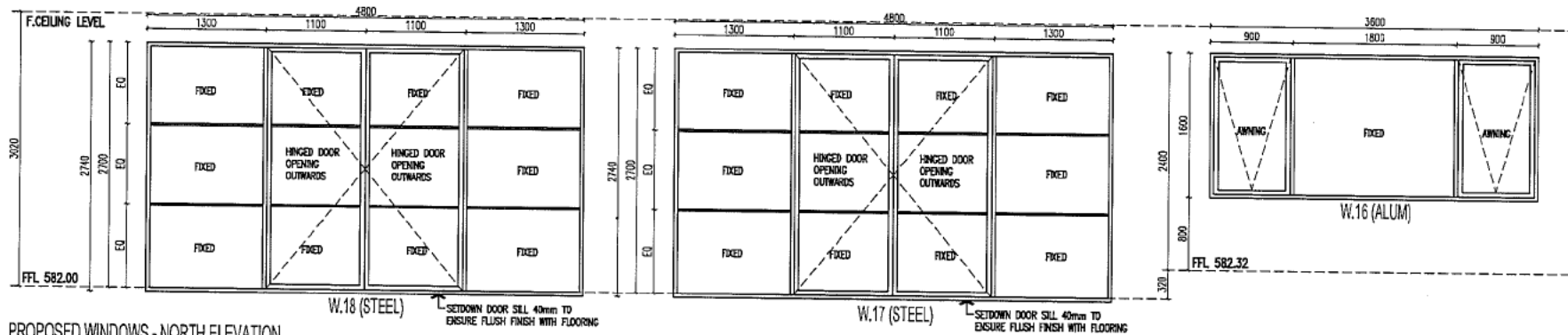
HERITAGE ADVICE PROVIDED

Signed: *Linda*

Heritage Officer: *Linda REN*

Date: *26/June/2017*





PROPOSED WINDOWS - NORTH ELEVATION
SCALE 1:50

W.18 (STEEL)

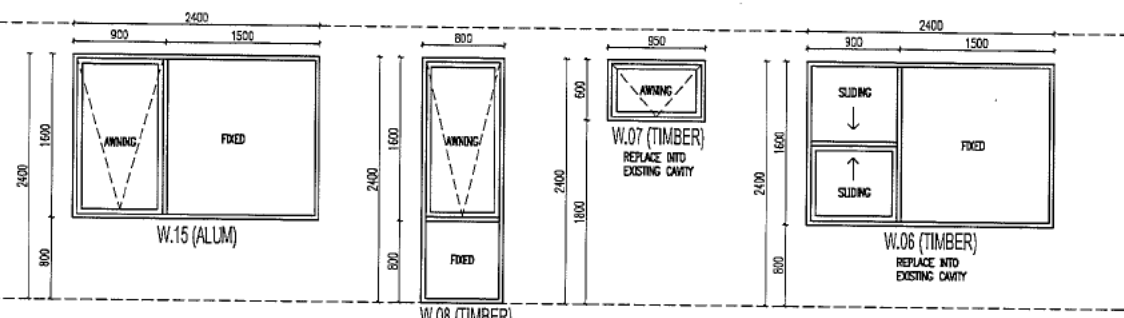
SETDOWN DOOR SILL 40mm TO ENSURE FLUSH FINISH WITH FLOORING

W.17 (STEEL)

SETDOWN DOOR SILL 40mm TO ENSURE FLUSH FINISH WITH FLOORING

W.16 (ALUM)

FFL 582.32



PROPOSED WINDOWS - NORTH ELEVATION
SCALE 1:50

W.08 (TIMBER)

REPLACE INTO EXISTING CAVITY

W.07 (TIMBER)

REPLACE INTO EXISTING CAVITY

W.06 (TIMBER)

REPLACE INTO EXISTING CAVITY

W.15 (ALUM)

WINDOW / DOOR NOTES

- ALL EXISTING WINDOWS TO BE REPLACED. NEW WINDOWS TO BE EITHER STEEL FRAMED, CEDAR FRAMED OR ALUMINUM FRAMED WINDOWS WITH DOUBLED GLAZED PANELS.

ALUMINIUM FRAMED

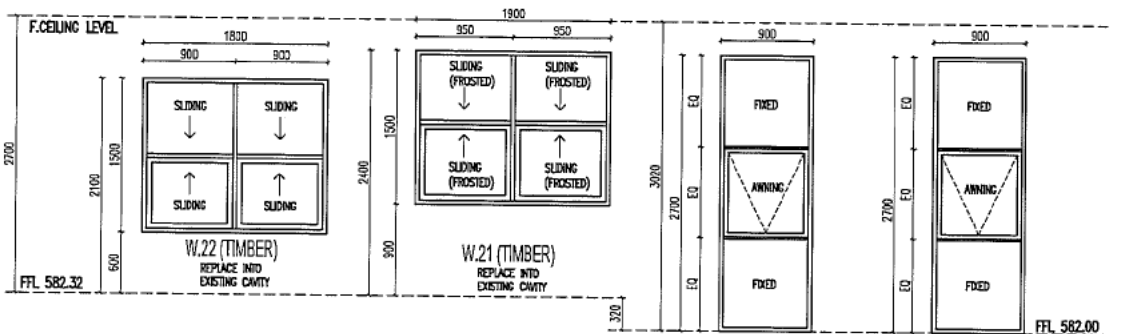
- ALUMINIUM WINDOWS & GLAZED SLIDING DOORS TO BE VANTAGE 'THERMAL HEART' THERMALLY BROKEN WITH DOUBLE GLAZED PANELS. SLIDING DOORS TO HAVE RECESSED BRUSHED STAINLESS STEEL PULL HANDLES. PROVIDE ALUMINIUM FRAMED FLYWIRE SCREENS WITH ALUMINIUM MESH. SUPPLIER - VIEWCO WINDOWS.

TIMBER FRAMED

- TIMBER WINDOWS & GLAZED SLIDING DOORS TO CEDAR FRAMED WITH WITH DOUBLE GLAZED PANELS. SLIDING DOORS TO HAVE VERTICAL SATIN CHROME PULL HANDLES. PROVIDE CEDAR FRAMED FLYWIRE SCREENS WITH ALUMINIUM MESH. SUPPLIER - COUNTY STYLE WINDOWS.

STEEL FRAMED

- STEEL FRAMED WINDOWS & HINGED FRENCH DOORS TO HAVE POWDER COATED FINISH WITH DOUBLE GLAZED PANELS. NO FLYWIRE SCREENS TO WINDOWS OR DOORS. SUPPLIER - LA...



PROPOSED WINDOWS - EAST ELEVATION
SCALE 1:50

W.21 (TIMBER)

REPLACE INTO EXISTING CAVITY

W.22 (TIMBER)

REPLACE INTO EXISTING CAVITY

W.20 (STEEL)

W.19 (STEEL)

FFL 582.00

Heritage Act 2004

HERITAGE ADVICE PROVIDED

Signed: *Linda*

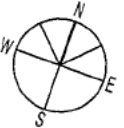
Heritage Officer: *Linda RAN*

Date: *26/June/2017*

Sch 2 2.2(a)(ii)

Heritage Act 2004
HERITAGE ADVICE PROVIDED

Signed: *Linda*
 Heritage Officer: *Linda Rev*
 Date: *26/June/2017*



PROPOSED GROUND FLOOR PLAN
 SCALE 1:100
 SITE AREA 1316.5m²
 EXISTING (RETAINED) HOUSE AREA - 138m²
 PROPOSED EXTENSION AREA - 188m²
 CARPORT AREA - 36m²

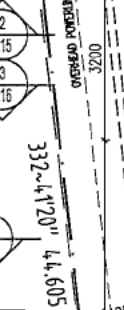
TOTAL 362m² (362m² ALLOWABLE 27%)
 PROPOSED PLOT RATIO - 27.5%

LANDSCAPE AREA - 771m² (58.5%)
 MINIMUM REQUIRED 526.6m² (40%)

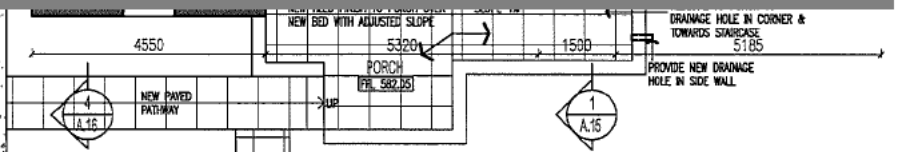
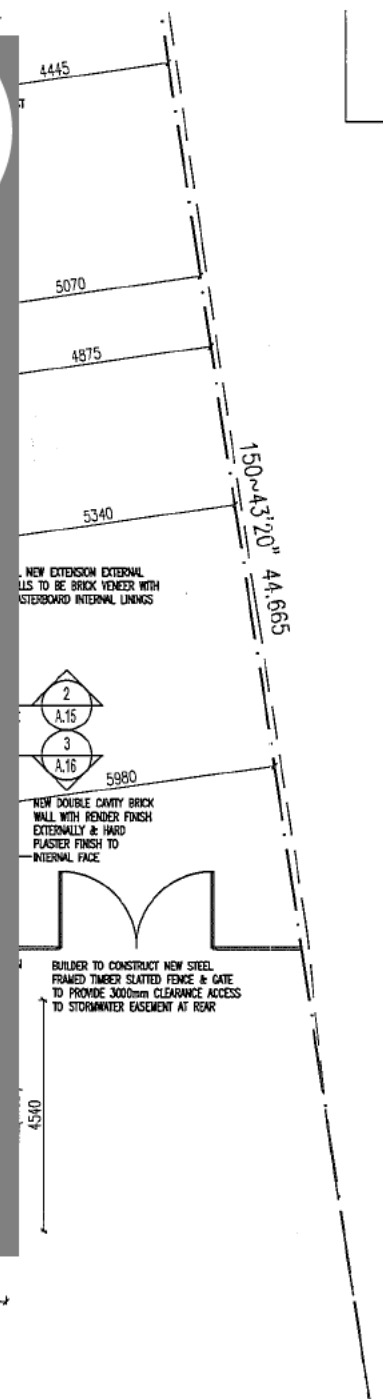
FRONT PORCH & PATHWAYS - 41m²
 DRIVEWAY AREA - 82.5m²
 STUDIO PAVED AREA - 7.5m²
 REAR TERRACE AREA - 53m²
 TOTAL HOUSE & CARPORT AREA - 361.5m²

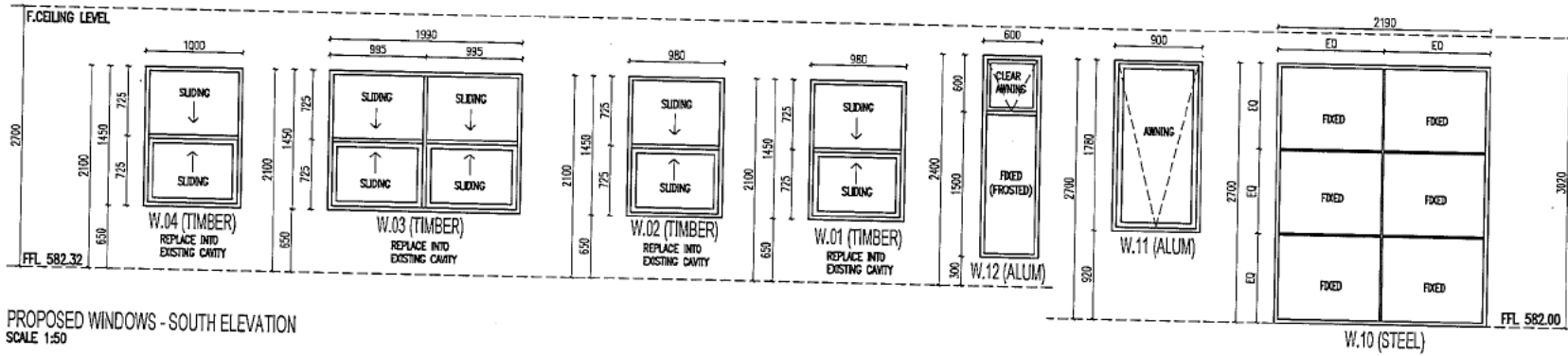
TOTAL NON-LANDSCAPED AREA - 545.5m²

RENDER NOTES:
 PROVIDE A TERRAZINE STIPLED RENDER FINISH TO ALL NEW RENDERED WALLS TO MATCH EXISTING

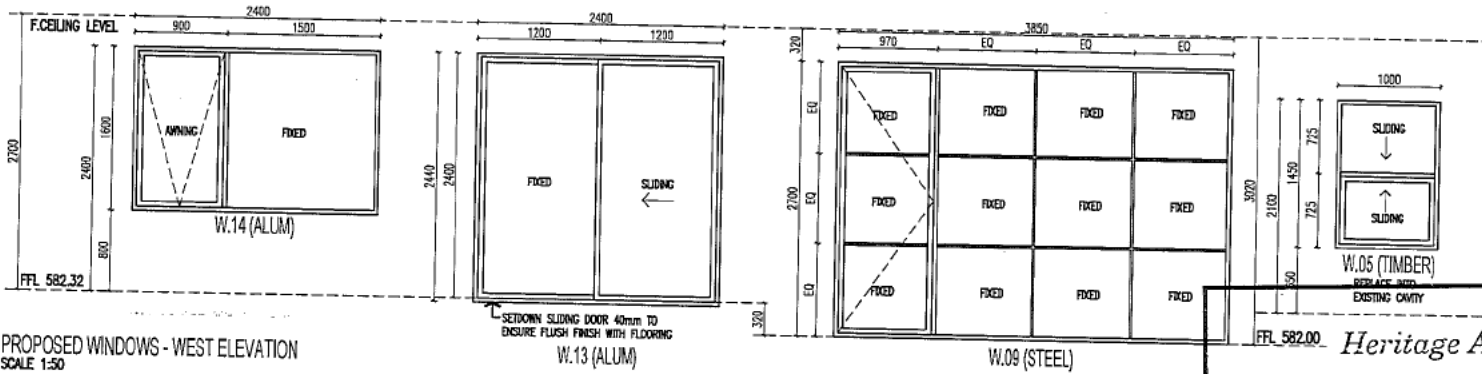


332'4"20" 4,605





PROPOSED WINDOWS - SOUTH ELEVATION
SCALE 1:50



PROPOSED WINDOWS - WEST ELEVATION
SCALE 1:50

WINDOW / DOOR NOTES

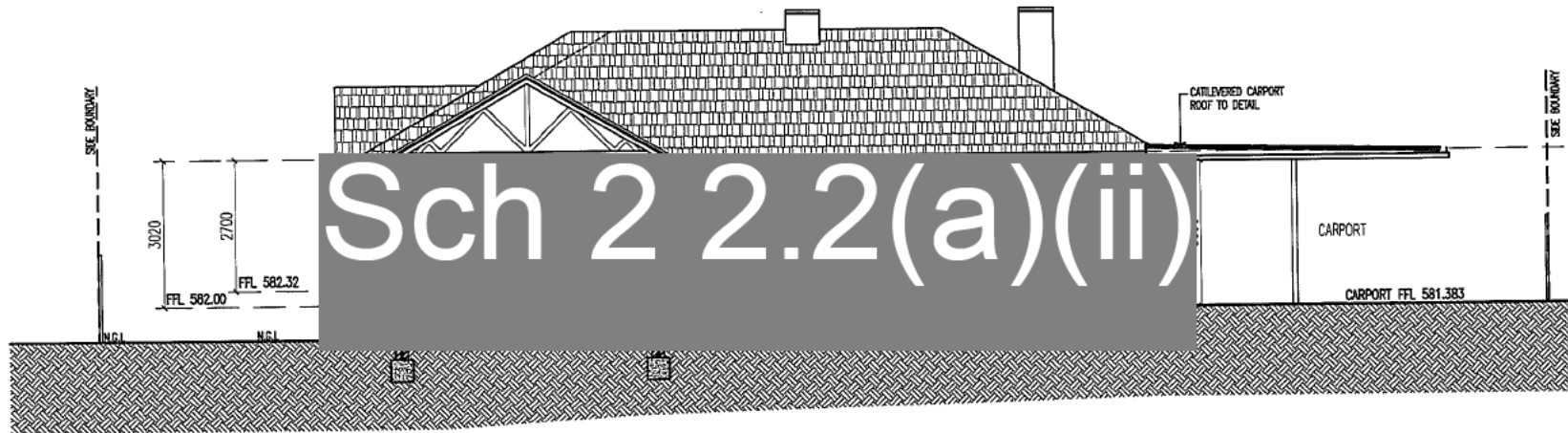
- ALL EXISTING WINDOWS TO BE REPLACED. NEW WINDOWS TO BE EITHER STEEL FRAMED, CEDAR FRAMED OR ALUMINIUM FRAMED WINDOWS WITH DOUBLED GLAZED PANELS.
- ALUMINIUM FRAMED
 - ALUMINIUM WINDOWS & GLAZED SLIDING DOORS TO BE VANTAGE "THERMAL HEART" THERMALLY BROKEN WITH DOUBLE GLAZED PANELS. SLIDING DOORS TO HAVE RECESSED BRUSHED STAINLESS STEEL PULL HANDLES. PROVIDE ALUMINIUM FRAMED FLYWIRE SCREENS WITH ALUMINIUM MESH. SUPPLIER - VIEWCO WINDOWS.
- TIMBER FRAMED
 - TIMBER WINDOWS & GLAZED SLIDING DOORS TO CEDAR FRAMED WITH WITH DOUBLE GLAZED PANELS. SLIDING DOORS TO HAVE VERTICAL SATIN CHROME PULL HANDLES. PROVIDE CEDAR FRAMED FLYWIRE SCREENS WITH ALUMINIUM MESH. SUPPLIER - COUNTY STYLE WINDOWS.
- STEEL FRAMED
 - STEEL FRAMED WINDOWS & HINGED FRENCH DOORS TO HAVE POWDER COATED FINISH WITH DOUBLE GLAZED PANELS. NO FLYWIRE SCREENS TO WINDOWS OR DOORS. SUPPLIER - T.B.A

HERITAGE ADVICE PROVIDED

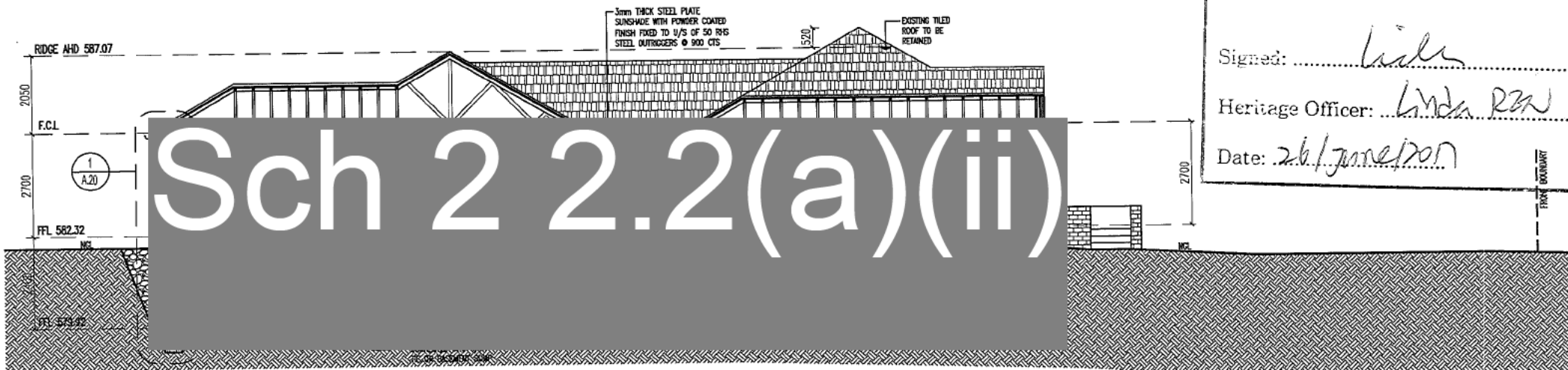
Signed: *Linda*

Heritage Officer: *Linda RBW*

Date: *26/June/2017*



PROPOSED SECTION 3-3
SCALE 1:100



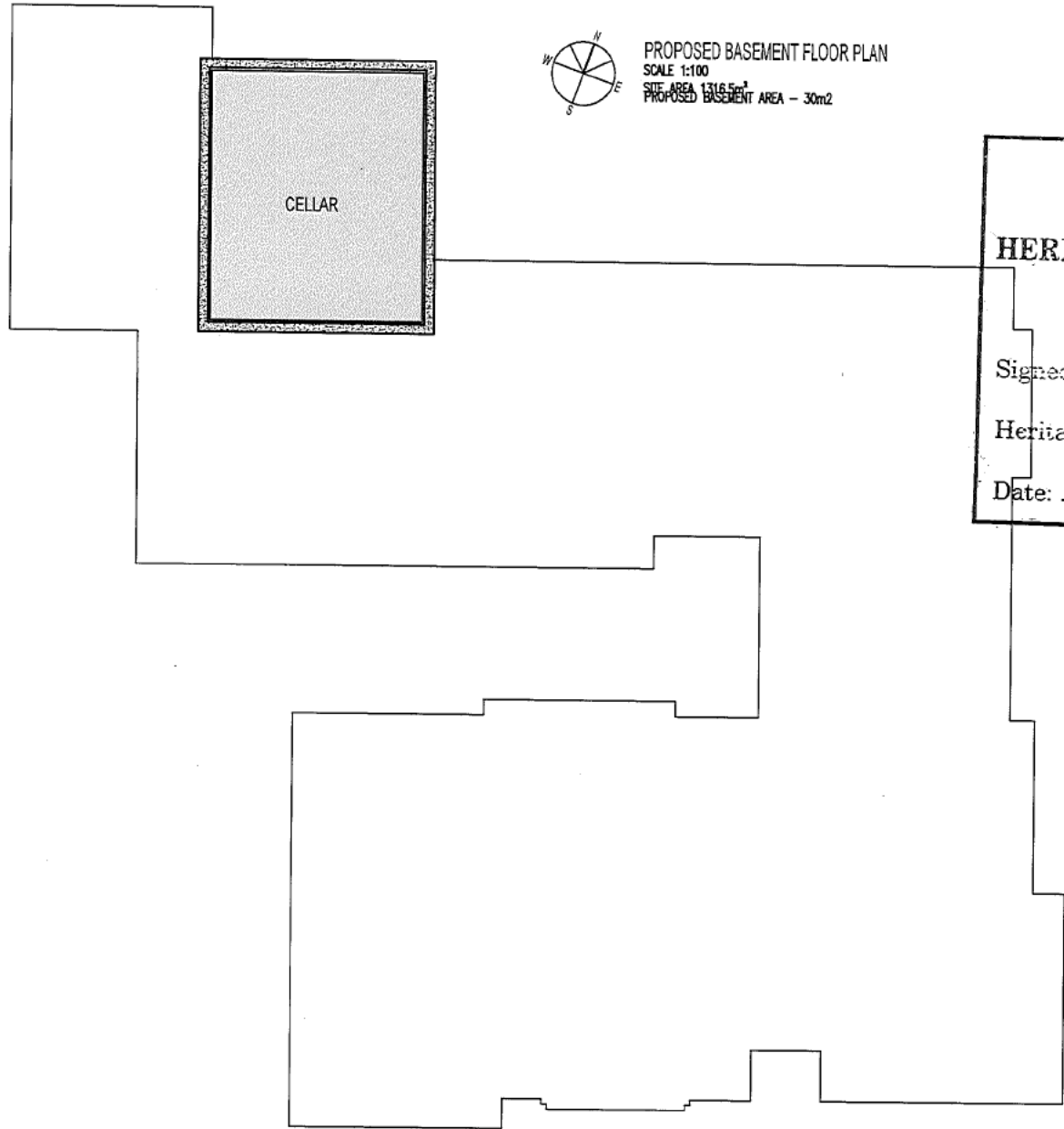
PROPOSED SECTION 4-4
SCALE 1:100

Heritage Act 2004
HERITAGE ADVICE PROVIDED

Signed: *Linda Row*
 Heritage Officer: *Linda Row*
 Date: *26/June/2017*



PROPOSED BASEMENT FLOOR PLAN
 SCALE 1:100
 SITE AREA 1316.5m²
 PROPOSED BASEMENT AREA - 30m²



Heritage Act 2004
HERITAGE ADVICE PROVIDED
 Signed: *Linda*
 Heritage Officer: *Linda REN*
 Date: *26 June 2017*



MINIMUM DOCUMENTATION REQUIREMENTS FOR BUILDING APPROVAL LODGEMENT CLASS 1 AND 10 – RESIDENTIAL CONSTRUCTION

This document outlines the minimum documents the Construction Occupations Registrar (Registrar) expects to receive as part of the lodgement of building approval documents under section 28A of the *Building Act 2004* (the Act). This document also outlines the minimum content of those documents and the naming conventions that must be used to be in an acceptable form for lodgement.

This is not an exhaustive list. Plans, drawings and specifications should not be limited to the items listed below. This does not replace the legislative requirement for plans to comply with Australian Standard (AS) 1100 nor does it replace the requirement to comply with section 26 of the Act and division 3.2 of the *Building (General) Regulation 2008* and all other relevant legislative provisions.

If the building proposal does not require a 'required document' listed below, the building certifier must indicate that on the checklist contained in this document. The checklist must be lodged with the building approval documents.

Where a required detail does not form a stand-alone document the building certifier must indicate on the checklist the document that the detail is contained in. For example if the footing and slab details are on the site plan, the certifier must note on the checklist 'site plan' in the appropriate column.

Failure to submit the required documents will result in a failure of the completeness check with associated fees being charged. These fees are charged to the building certifier who lodges the documents with the Registrar.

Document Naming Conventions

Similar to the Development Approval process for administrative purposes, and to ensure compliance with the Territory Records Act, the building certifier must ensure that the documents are named using the file naming conventions identified in the table below.

The certifier must save each of the plans as separate .pdf documents and where details are provided as a standalone document, rather than on a plan, the conventions as identified in the documents list relating to details must also be utilised.

Please note that this is for administrative purposes only and does not negate the need to name the document, rather than the file, with the appropriate name in accordance with relevant provisions of the *Building Act*, *Building Code* and *AS1100*.

Documents and Details required on plans	File Naming Convention	Classification of Building or Structure			
		New Class 1	New Class 10	Additions & Alterations to existing Class 1	Additions & Alterations to existing Class 10
✓ Required					
◆ Required if relevant to the proposed building work					
Form – Minimum Documentation Requirements for Building Approval Lodgement Checklist	Details – Minimum Documents Checklist	✓	✓	✓	✓
Form – Appointment of Certifier	Appointment of Certifier	✓	✓	✓	✓
Asbestos Removal Control Plan	Asbestos Removal Control Plan	◆	◆	◆	◆
Development Approval (including amendments)	Approved Plans – Development Approval	◆	◆	◆	◆
Estimate of the Cost of the Building Work	Details – Cost of Building Work	✓	✓	✓	✓
Alternative Solutions	Details – Alternative Solutions	◆	◆	◆	◆
Site Plan	Approved Plans – Site	✓	✓	✓	✓
Floor Plan	Approved Plans – Floor	✓	✓	✓	✓
Elevation Plan	Approved Plans – Elevation	✓	✓	✓	✓
Section Details – Wall, Floor Ceiling & Roof	Approved Plans – Sections Wall Approved Plans – Sections Floor Approved Plans – Sections Ceiling Approved Plans – Sections Roof	✓	◆	✓	◆
Demolition Plan	Approved Plans – Demolition	◆	◆	◆	◆
Footings and Concrete Slab Details	Details – Footings Concrete Slab	◆	◆	◆	◆
Retaining Wall Details	Details – Retaining Walls	◆	◆	◆	◆
Masonry Construction Details	Details – Masonry Construction	✓	◆	✓	◆
Framing (including trusses) and Construction Details	Details – Framing	✓	◆	✓	◆
Roof Cladding Details	Details – Roof Cladding	✓	◆	✓	◆
Exterior Cladding & Material Details	Details – Exterior Cladding & Materials	✓	◆	✓	◆
Wet area details	Details – Wet Area	✓	◆	✓	◆
Windows and Glazing Details	Details – Windows Glazing	✓	◆	◆	◆
Fire Safety Details	Details – Fire Safety	✓	◆	◆	◆
Safe Movement and access (including stairs and ramps) Details	Details – Movement Access	◆	◆	◆	◆
Swimming Pools and Spas Details (including fencing/barriers)	Details – Pools Spas	◆	◆	◆	◆
Energy Efficiency Details	Details – Energy Efficiency	✓	◆	◆	◆
Water Supply and Drainage Plan	Details – Water Drainage	✓	◆	◆	◆
Services Plan	Details – Services	✓	◆	◆	◆

Minimum Documentation Requirements Definitions and Checklist

The preferred format of documents and plans is in portable document format (.pdf).

The preferred electronic size of plans is A3 and other documents A4.

Required 'plans' are to be fully dimensioned and to the scales as identified below and must contain a drawing title block which includes the site details, revision number, designers name and correct plan name in accordance with AS1100.

Required 'details' can be included in plans and/or specifications.

Submission Requirement	Required Information	Checklist
<u>Form – Minimum Documentation Requirements for Building Approval Lodgement Checklist</u>	Fully completed form: Minimum Documentation Requirements Definitions and Checklist. (This form)	<input checked="" type="checkbox"/> Supplied as stand alone or in document <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
<u>Form – Appointment of Certifier</u>	Fully completed form: Appointment of a certifier application for building approval.	<input checked="" type="checkbox"/> Supplied as stand alone or in document <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
<u>Asbestos Removal Control Plan</u>	Prepared in accordance with Code of practice for the safe removal of Asbestos National Occupational Health and Safety Commission 2 nd Edition (NOHSC: 2002(2005))	<input checked="" type="checkbox"/> Supplied as stand alone or in document <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
<u>Development Approval</u>	Each Plan, Drawing and document, including the notice of decision, which formed part of the development approval.	<input type="checkbox"/> Supplied as stand alone or in document <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use
<u>Estimate of the Cost of the Building Work</u>	As calculated in accordance with Building (General) (Cost of Building Work) Determination.	<input checked="" type="checkbox"/> Supplied as stand alone or in document <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
<u>Alternative Solutions</u>	All calculations, reports, certificates and manufacturer's information together with a written proposition to support a building solution which is not in accordance with the Deemed-to-Satisfy provisions of the National Construction Code.	<input type="checkbox"/> Supplied as stand alone or in document <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Office Use

<p>Site Plan</p>	<ul style="list-style-type: none"> • Scale not less than 1:200 • the title boundaries, dimensions and directions including the north point, of the land • the position and dimensions of any easement or services on the land • the position and dimensions of the proposed building or structure (retaining walls, swimming pools, garages, etc.) or building work on the land • Driveways and parking areas and crossovers • Finished floor levels relative to site datum • Finished site levels relative to the Australian height datum • The relationship of the proposed building or building work to the boundaries of the land • The position of any buildings on adjoining properties within 3m of the boundary of the land • Detailed contours of the land at 0.25m intervals over the building site referenced to a project site datum • Earthworks (excavations or fill levels relative to the Australian Height datum, and compaction details) and associated soil and water management strategies • The position of any existing building, structure or trees on the land and the purpose for which the building or structure is used • All utility connection points including electrical, stormwater, sewerage, water and telecommunication/data 	<div style="border: 1px solid black; border-radius: 50%; padding: 5px; width: fit-content; margin-bottom: 10px;"> <input checked="" type="checkbox"/> Supplied as stand alone or in document </div> <hr/> <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
<p>Floor Plan</p>	<ul style="list-style-type: none"> • Scale not less than 1:100 • A plan for each floor including any trafficable subfloor areas • Dimensions • Key to sections cross referenced to relevant drawing and sheet number • Finished floor levels related to Australian Height Datum • Identification of the existing building • Identification of all rooms (existing and proposed) 	<div style="border: 1px solid black; border-radius: 50%; padding: 5px; width: fit-content; margin-bottom: 10px;"> <input checked="" type="checkbox"/> Supplied as stand alone or in document </div> <hr/> <input type="checkbox"/> Not required <input type="checkbox"/> Office Use

<p><u>Elevation Plan</u></p>	<ul style="list-style-type: none"> • Scale of not less than 1:100 • Dimensioned heights including overall heights • Proposed external materials referenced to a materials schedule • Finished floor levels and ceiling levels • Natural and finished ground levels related to Australian Height Datum • Floor to ceiling heights 	<p><input checked="" type="checkbox"/> Supplied as stand alone or in document</p> <hr/> <p><input type="checkbox"/> Not required</p> <p><input type="checkbox"/> <i>Office Use</i></p>
<p><u>Section Details – Wall, Floor Ceiling & Roof</u></p>	<ul style="list-style-type: none"> • Scale of not less than 1:100 • Finished floor levels and ceiling levels • Natural and finished ground levels related to Australian Height Datum • Floor to ceiling heights • Long section of any proposed basement ramp showing gradients • Section of any sub floor areas 	<p><input checked="" type="checkbox"/> Supplied as stand alone or in document</p> <hr/> <p><input type="checkbox"/> Not required</p> <p><input type="checkbox"/> <i>Office Use</i></p>
<p><u>Demolition Plan</u></p>	<ul style="list-style-type: none"> • Scale not less than 1:200 • the title boundaries, dimensions and directions including the north point, of the land • the position and dimensions of any easement or utility tie or service points on the land • the position and dimensions of the proposed buildings or structures to be demolished • The relationship of the proposed demolition to the boundaries of the land • The position of any buildings on adjoining properties within 3m of the boundary of the land • The position of any existing building, structure or trees and the purpose for which the building or structure is used • Identification of erosion and sediment control measures 	<p><input checked="" type="checkbox"/> Supplied as stand alone or in document</p> <hr/> <p><input type="checkbox"/> Not required</p> <p><input type="checkbox"/> <i>Office Use</i></p>

<p><u>Footings and Concrete Slab Details</u></p>	<ul style="list-style-type: none"> • Section of any sub floor areas • Dimensioned plan and construction details of footings including penetrations, step down details and placement of reinforcement including cover • Nominated founding depth and description of founding material • Dimensioned plan and construction details of slabs including levels, falls or gradients • Construction details of penetrations, step downs in beams, set downs in slabs and placement details of reinforcement including cover • Slab preparation including materials, thicknesses, compaction requirements, vapour barrier specifications and installation details • Concrete strength, slump, finishing and curing requirements • Specifications and installation details of proprietary and other systems 	<p><input checked="" type="checkbox"/> Supplied as stand alone or in document</p> <hr/> <p><input type="checkbox"/> Not required</p> <p><input type="checkbox"/> Office Use</p>
<p><u>Retaining Wall Details</u></p>	<ul style="list-style-type: none"> • Dimensioned plan showing position of retaining wall, drainage, founding levels and heights • Dimensioned construction details • Drainage, tanking and protection details • Backfill specifications • Concrete mix, slump, reinforcement placement Washout requirements • Specifications and installation details of proprietary and other systems 	<p><input type="checkbox"/> Supplied as stand alone or in document</p> <hr/> <p><input checked="" type="checkbox"/> Not required</p> <p><input type="checkbox"/> Office Use</p>
<p><u>Masonry Construction Details</u></p>	<ul style="list-style-type: none"> • Show unreinforced, reinforced or earthwall construction • Identify structural and non-structural walls • Specify dimensions of engaged and isolated piers • Reinforcing specified for reinforced walls • Identify fire rating requirement • Masonry unit sizes and bond patterns and tooling of joints • Specification of brick ties and anchorages • Mortar specification • Cavity dimension and clean out specification • Knockout blocks for washout • Control joint location and detail • Sub floor vents. Location and Size per metre • Specify lintels and bond beams • Sub floor bracing (masonry shear walls) • Weatherproofing and waterproofing details • Flashings, damp proof course and weep holes • Weephole guards (insects, bushfire prone areas) 	<p><input checked="" type="checkbox"/> Supplied as stand alone or in document</p> <hr/> <p><input type="checkbox"/> Not required</p> <p><input type="checkbox"/> Office Use</p>

Framing (including trusses) and Construction Details	<ul style="list-style-type: none"> • Framing drawings or schedules to indicate each structural member, dimensions, orientation, material, grade and size, spacing and span • Joint, support and bearing details • Show minimum clearances to ground level of flooring system members • Fire rating construction details • Bracing, tie downs and fixings • Roof pitch, eave / overhang details • Show location of roof mounted solar panels, hot water service or air conditioners 	<input checked="" type="checkbox"/> Supplied as stand alone or in document <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
Roof Cladding Details	<ul style="list-style-type: none"> • Sheeting or tile specification including: <ul style="list-style-type: none"> ○ Roof pitch ○ Batten spacing ○ Fixing requirements ○ Flashing details ○ Roof drainage ○ Bushfire sealing requirements • Roof lights • Roof ventilators 	<input checked="" type="checkbox"/> Supplied as stand alone or in document <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
Exterior Cladding and Material Details	<ul style="list-style-type: none"> • Cladding system description, manufacturer, material, pattern and colour, cavity detailing • Fixings, flashings and other details • Sub floor ventilation • Bushfire protection requirements 	<input checked="" type="checkbox"/> Supplied as stand alone or in document <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
Wet area details	<ul style="list-style-type: none"> • Specify material and system • Wet areas specification (extent and system e.g. -membrane, manufacturer and type) • Location and design of wet areas 	<input checked="" type="checkbox"/> Supplied as stand alone or in document <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
Windows and Glazing Details	<ul style="list-style-type: none"> • Window system description, manufacturer, frame material and energy rating • Glazing specification • Bushfire-prone areas requirements • Opening size for ventilation calculation • Other glazing <ul style="list-style-type: none"> ○ Internal glazing specifications including wet area glazing, shower screens, doors ○ Balustrade system specification (glass and fixings) ○ Overhead glazing, roof lights 	<input checked="" type="checkbox"/> Supplied as stand alone or in document <input type="checkbox"/> Not required <input type="checkbox"/> Office Use
Fire Safety Details	<ul style="list-style-type: none"> • Smoke alarms location and type • Bushfire-prone areas specifications • Fire separation details • Penetration sealing specifications (building perimeter) 	<input type="checkbox"/> Supplied as stand alone or in document <input checked="" type="checkbox"/> Not required <input checked="" type="checkbox"/> Office Use

<p>Safe Movement and access (including stairs and ramps) Details</p>	<ul style="list-style-type: none"> • Construction – type, material and proprietary system • Balustrade construction, spacing and handrails • Clearance height above stair nosings • Winders detail • Dimensions of landings, risers and goings • Section through the stairs • Method of construction, including aperture size, non-slip requirements • Ramp slope and surface finish 	<p><input checked="" type="checkbox"/> Supplied as stand alone or in document</p> <hr/> <p><input type="checkbox"/> Not required</p> <p><input type="checkbox"/> Office Use</p>
<p>Swimming Pools and Spas Details (including fencing/barriers)</p>	<ul style="list-style-type: none"> • Construction details, waterproofing, drainage, pool water recirculation and filtration systems • Pool safety barrier details and height • Openings, gates and latches 	<p><input type="checkbox"/> Supplied as stand alone or in document</p> <hr/> <p><input checked="" type="checkbox"/> Not required</p> <p><input type="checkbox"/> Office Use</p>
<p>Energy Efficiency Details</p>	<ul style="list-style-type: none"> • Building fabric thermal efficiency specification <ul style="list-style-type: none"> ○ walls, ceiling, floors and roof ○ Insulation location and R value ○ Sarking vapour permeability • Window energy specification • Energy rating documentation • Building sealing • Air movement control strategies • Pipe and services insulation • Glazing calculator to be supplied if a Deemed-To-Satisfy solution • Under slab or slab edge insulation 	<p><input checked="" type="checkbox"/> Supplied as stand alone or in document</p> <hr/> <p><input type="checkbox"/> Not required</p> <p><input type="checkbox"/> Office Use</p>
<p>Water Supply and Drainage Plan</p>	<ul style="list-style-type: none"> • An interim sanitary drainage plan • A plan that identifies the location of all relevant water supply and drainage points to the building • Surface and sub-surface site drainage including location of on-site waste water management systems including land application area • Levels of overflow relief gully (ORG) rim relative to the lowest sanitary plumbing fixture outlet and the surrounding finished surface level • Levels of inverts to existing and proposed drainage services at point of connection to approved disposal system 	<p><input checked="" type="checkbox"/> Supplied as stand alone or in document</p> <hr/> <p><input type="checkbox"/> Not required</p> <p><input type="checkbox"/> Office Use</p>
<p>Services Plan</p>	<ul style="list-style-type: none"> • A plan that identifies the location of all relevant internal and external electrical points in or on the building, lighting, plant and mechanical, for example air-conditioning, evaporative cooling, exhaust fans, water heaters, fixed appliances and water tanks (including connection) 	<p><input checked="" type="checkbox"/> Supplied as stand alone or in document</p> <hr/> <p><input type="checkbox"/> Not required</p> <p><input type="checkbox"/> Office Use</p>
<p>Building Certifier: <u>AD</u></p> <p>Date: <u>6/9/17</u></p>		<p>Customer Service Officer: _____</p> <p>Date: _____</p>

RESIDENTIAL ASBESTOS INSPECTION & RISK ASSESSMENT REPORT

**Forrest
ACT 2603**

For

Philip Leeson Architects
4/9 McKay Street
Turner
ACT 2612

SURVEYED BY:	Sch 2 2.2(a)(ii) - Licensed Asbestos Assessor #AA00006	DATE:	12/05/2016
REPORT AUTHORISED BY:	Sch 2 2.2(a)(ii) - Licensed Asbestos Assessor #AA00022	DATE:	27/05/2016

Job reference no: H1883



No. 3181

**Accredited for compliance with
ISO/IEC 17020**

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Introduction

Residential properties built in the ACT prior to 1985 are likely to contain some form of Asbestos Containing Material (ACM). Philip Leeson Architects engaged Robson Environmental to undertake an inspection to determine whether any asbestos building materials are present within the property and to risk assess any identified any ACM.

This survey is not intended to determine if loose asbestos “Mr. Fluffy” residue is present in the property. A specific form of inspection is required in this instance.

Survey Methodology

A visual inspection was undertaken of all accessible internal and external areas to determine if ACM is present. Accessible suspect materials were sampled for laboratory analysis to determine if they contain asbestos. Inaccessible materials were presumed to be ACM. An intrusive investigation at a later date would be required to determine the composition of the material. Where ACM was suspected but could not be confirmed by laboratory analysis, they have been deemed as presumed asbestos material. The inspection did not extend to any assessment of soil for fragments or microscopic asbestos dust.

Photographs of ACM are shown in Appendix A.

Fibre Identification Certificate(s) of Analysis are shown in Appendix B.

All site inspections, sampling, laboratory analysis and reporting is performed as per Robson Environmental’s NATA (National Association of Testing Authorities) and ISO9001, ISO14001 and AS4801 accreditations.

The survey was non-destructive in nature and therefore sampling was limited to accessible materials. No determination can be made regarding the possibility of concealed or inaccessible ACM without gaining access to areas that are not readily accessible to allow for inspections.

Risk Assessment

A Risk Assessment was undertaken on all ACM to enable informed management decisions to be made in accordance with current Legislation, Codes of Practice and Best Practice. This Risk Assessment takes into account:

- the type of ACM (non friable or friable)
- the condition and location of the ACM
- whether the ACM is likely to be disturbed due to its condition and location and
- the likelihood of exposure to asbestos fibre

Tables 1A and 1B detail the ratings for the condition and associated risk of each positively identified asbestos material at the time of the assessment. The ratings for each item are shown in Table 2.

Table 1A: ACM Condition Rating

1	Severe	Material in very poor condition
2	Poor	Deteriorated material and considerable damage
3	Fair	Minor damage
4	Good	Well sealed stable material

Table 1B: ACM Risk Rating

A	Very High	Exposure to airborne asbestos likely as a consequence of minor disturbance
B	High	Exposure to airborne asbestos possible as a consequence of minor disturbance
C	Medium	Exposure to airborne asbestos unlikely during normal building use
D	Low	Negligible exposure to airborne asbestos during normal building use

Laboratory Methodology

Sampled material was double-bagged and transported to the Robson NATA accredited laboratory. Samples were delivered with a Chain of Custody (COC) form written by the Assessor which was signed off by a laboratory technician on receipt. The received materials were analysed for asbestos fibre content which is determined by Polarised Light Microscopy (PLM) with dispersion staining techniques. The certificate of analysis is presented in Appendix B.

The samples taken from suspected ACM are representative of the materials sampled, individually identified, transported, analysed and reported in accordance with current legislation, statutory regulations, codes of practice and Robson Environmental In-house Procedures 2 & 3.

Survey Findings

Suspected ACM which was visually assessed by the assessor to be consistent with analysed material is referred to the analysed material (RA). Visually assessed materials suspected of containing asbestos but which could not be referred or was inaccessible for sampling are also presented within the register (VA).

Table 2: Material Register

Sample Number	Item no.	Location description	Material	Type	Risk Rating	Fibrous Content	Required Action
R1735	-	Ceiling space – loose fill	Insulation	-	-	No Asbestos Detected	-
R1736	1	Side entrance hall – backing boards to electrics	Sheet	Non-friable	3D	Chrysotile Asbestos	Maintain
R1737	-	Shower room – wall to bathroom	Sheet	-	-	No Asbestos Detected	-
R1738	-	Laundry - ceiling	Fibrous plaster	-	-	No Asbestos Detected	-
R1739	2	Store room adjacent garage – floor covering	Paper backed vinyl	Friable	3C	Chrysotile Asbestos	Seal exposed edges Maintain
R1740	3	Debris on ground behind garage	Sheet	Non-friable	2C	Chrysotile Asbestos	Remove
R1741	-	Garage – to glass in window	Putty	-	-	No Asbestos Detected	-
R1742	4	Eave soffit to house	Sheet	Non-friable	3C	Chrysotile Asbestos	Encapsulate exposed holes Maintain
R1743	5	Garage/store – eave soffit	Sheet	Non-friable	4D	Crocidolite, Amosite & Chrysotile Asbestos	Maintain

Sample Number	Item no.	Location description	Material	Type	Risk Rating	Fibrous Content	Required Action
RA R1743	6	Garage/store – infill panel above window	Sheet	Non-friable	4D	Sample consistent with R1743	Maintain
R1744	7	Subfloor – packer to brick pier	Sheet	Non-friable	3C	Chrysotile Asbestos	Restrict access Encapsulate
RA R1744	8	Subfloor – debris on ground	Sheet	Non-friable	2C	Sample consistent with R1744	Restrict access Remove
R1745		Exterior – insulation to pipe adjacent laundry	Textile	-	-	No Asbestos Detected	-
Presumed	9	To hot water pipes set into masonry walls throughout	Lagging	Friable	-	Presumed	Further investigation if likely to be disturbed
Presumed	10	Below ceramic floor tiles in wet areas	Sheet	Non-friable	-	Presumed	Further investigation if likely to be disturbed
Presumed	11	Verge undercloaking to roof	Sheet	Non-friable	-	Presumed	Further investigation if likely to be disturbed

Asbestos containing material

Presumed asbestos containing material

Non- asbestos containing material

Discussion & Conclusions

ACM are located to the:

- Eave soffit to house
- Eave soffit and infill above window to garage / store
- Backing boards to electrical boxes
- Packers to brick piers in subfloor
- Debris on ground in subfloor
- Debris on ground in garden behind garage. This survey only inspected the ground surface. It is unknown if any sheet debris is present in soil.
- Friable paper backing to vinyl floor covering in garage store

Presumed Asbestos

Friable pipe lagging is presumed to hot water pipes set into masonry walls throughout. Further intrusive investigation is required if hot water pipes, wall coverings adjacent pipes or tap fittings are likely to be disturbed.

ACM is presumed below ceramic floor tiles in wet areas. Further intrusive investigation required if these areas are likely to be disturbed

ACM sheet verge undercloaking is presumed to roof tiles behind render/cement covering edge tiles. Further investigation is required if the roof is likely to be disturbed.

Note: Limited access into ceiling space due to restricted height and ducting blocking access.

Note: Although window putty was sampled to the garage and found to be non-asbestos, it is recommended that further sampling is conducted if windows/glazing is to be replaced as it was not practical to sample putty from all windows.

Note: It was not possible to inspect all wall sheet between bathroom & shower room as majority of walls were tiled. Further intrusive inspection is required prior to refurbishment works.

Required Actions

- Exposed holes in eave soffit to the house should be encapsulated with paint
- Access into the sub-floor should be restricted until asbestos sheet debris has been removed. It is recommended that sheet packers to piers are encapsulated with paint as part of any remediation works in the area.
- Exposed edges of floor covering in the garage store should be sealed with paint. Consideration should be given to removing this material as a longer term management option.
- Sheet debris on ground behind the garage should be removed. It is recommended that no lawn mowing is carried out in this area until the debris has been removed.
- Tenants must be given a copy of this report and the ACM managed and maintained.
- Any personnel engaged to conduct any building, maintenance, inspection or repair work at the premises must be given a copy of this report before they conduct any work. The above works must be conducted in accordance with all relevant current legislation.
- Any remaining ACM identified in Table 2 were found to be in good/fair condition and may remain in situ.

General Recommendations




Guidance for safe living in properties containing ACM is presented in Appendix C and further information on the requirements for the removal of ACM is detailed in Appendix D.




ACM assessed during the survey as being in good condition may safely remain in-situ providing they are maintained. They should be regularly inspected by the home owner to note any damage or deterioration. Should deterioration be noted a licensed Asbestos Assessor should reinspect and reassess the affected material. ACM likely to be affected by renovation or demolition works must be removed prior by a licensed Asbestos Removalist.




ACM must not be drilled, cut, sanded, damaged or abraded and a good paint finish maintained. Asbestos work on non friable ACM may be undertaken by a licensed Class A or B Asbestos Removalist.


Any works on, or in the vicinity of friable ACM must only be undertaken by a licensed Class A Asbestos Removalist.

APPENDIX A - PHOTOGRAPHS OF ACM

ITEM NO	LOCATION DESCRIPTION	MATERIAL	PHOTOGRAPH
1	Side entrance hall – backing boards to electrics	Sheet	
2	Store room adjacent garage – floor covering	Paper backed vinyl	
3	Debris on ground behind garage	Sheet	

ITEM NO	LOCATION DESCRIPTION	MATERIAL	PHOTOGRAPH
4	Eave soffit to house	Sheet	
5	Garage/store – eave soffit	Sheet	
6	Garage/store – infill panel above window	Sheet	

ITEM NO	LOCATION DESCRIPTION	MATERIAL	PHOTOGRAPH
7	Subfloor – packer to brick pier	Sheet	
8	Subfloor – debris on ground	Sheet	
9	To hot water pipes set into masonry walls throughout	Lagging	 <p data-bbox="746 1935 1433 1984">Example of hot water pipe set into masonry wall</p>

ITEM NO	LOCATION DESCRIPTION	MATERIAL	PHOTOGRAPH
10	Below ceramic floor tiles in wet areas	Sheet	

APPENDIX B - FIBRE IDENTIFICATION CERTIFICATE OF ANALYSIS

Fibre Identification Certificate of Analysis			
Report Number: T-00665 R.E. Job Number: H1883	Date of Report: 18/05/2016	Samples Taken by: [REDACTED]	Page 1 of 2
Client Details		Laboratory Details	
Client: Philip Leeson Architects		Address: 140 Gladstone Street, Fyshwick, Canberra 2609	
Attention: Sch 2.2.2(a)(i)		Manager: Sch 2.2.2(a)(ii)	
Received: 13/05/2016		Telephone: 02 6239 5656	
Client Reference: [REDACTED] Forrest ACT 2603		Fax: 02 6239 5669	
Email: [REDACTED]@philpleeson.com.au		Email: hazmat@robsonenviro.com.au	
Test Specification(s) Employed: AS4964 (2004) & In-House Procedure No.2			
Methodology Summary			
<p>Samples of material are examined to determine the presence of asbestos fibres using AS4964 (2004) & In-House Procedure No.2 i.e. Qualitative identification of chrysotile, amosite and crocidolite in bulk samples by Polarised Light Microscopy (PLM) in conjunction with Dispersion Staining (DS). Unequivocal identification of asbestos minerals present is made by assessing fibre properties to see whether the values are typical and consistent with published data. This provides a reasonable degree of certainty to determine whether a fibre under investigation is asbestiform or not. Careful application of the test procedure provides sufficient diagnostic clues to allow unequivocal identification of asbestos types, and so, to determine whether a sample contains asbestos or not. If sufficient diagnostic clues are absent, then positive identification of fibrous asbestos is not possible.</p>			
Client Supplied Samples			
<p>Robson Environmental is not responsible for the accuracy or competence of sampling carried by third parties. Sample location(s) and/or sample type(s) of third party samples delivered to the laboratory are given by the client at the time of delivery. Under these circumstances, Robson Environmental cannot be held responsible for the interpretation of the results shown. When the test certificate indicates that bulk samples were taken by the client, they are outside the scope of our NATA Accreditation for sampling. Robson Environmental takes responsibility of information reported only when a staff member takes the sample(s).</p>			
Reporting of Results			
<p>'Asbestos Detected': Asbestos detected by Polarised Light Microscopy (PLM), including Dispersion Staining (DS) 'No Asbestos Detected': No Asbestos detected by Polarised Light Microscopy (PLM), including Dispersion Staining (DS) 'UMF Detected': Mineral fibres of unknown type detected by Polarised Light Microscopy (PLM), including Dispersion Staining (DS). Confirmation by another independent analytical technique may be necessary. "Hand-picked" refers to small discrete amounts of asbestos unevenly distributed in a large body of non-asbestos material.</p>			
<p>Limit of Detection & Reporting Limit Known limitations of the test procedure using Polarised Light Microscopy (PLM) are:</p> <ul style="list-style-type: none"> • PLM is a qualitative technique only; • It does not cover identification of airborne or water-borne asbestos; • The less encountered asbestos mineral fibres actinolite, anthophyllite and tremolite exhibit a wide range of optical properties that preclude unequivocal identification by PLM and Dispersion Staining (DS). Thus, the method is used to positively identify the three major asbestos minerals: amosite ("brown"), chrysotile ("white") and crocidolite ("blue"); • Valid identification requires that the sample material contains a sufficient quantity of the unknown fibres in excess of the practical detection limit used (in this case, PLM and Dispersion Staining, which has a calculated practical detection limit of 0.01-0.1% equivalent to 0.1-1g/kg (AS4946-2004:App. A4). <p>Results relate only to the sample(s) submitted for testing. Test report must not be reproduced except in full. Accredited for compliance with ISO/IEC 17025</p>			

Sample No.	Client Ref.	Location	Physical Structure	Sample Description	Analysis of Fibrous Content
R1735		Loose fill - Ceiling space	Insulation	3g	No Asbestos Detected
R1736		Backing board to electrical box - Side entrance hall	Sheet	1g	Chrysotile Asbestos Detected
R1737		Wall to bathroom - Shower room	Sheet	2g	No Asbestos Detected
R1738		Ceiling - Laundry	Fibrous plaster	3g	No Asbestos Detected
R1739		Floor covering - Store room adjacent garage	Paper backed vinyl	3g	Chrysotile Asbestos Detected
R1740		Debris on ground behind garage - Garden	Sheet	10g	Chrysotile Asbestos Detected
R1741		To glass in window - Garage	Putty	4g	No Asbestos Detected

The results of the tests, calibrations and/or measurements included in this document are traceable to Australian/national standards

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 PO Box 112 Fyshwick ACT 2609 - 140 Gladstone Street Fyshwick ACT 2609



Client: Philip Leeson Architects T-00665 [REDACTED] Forrest ACT 2603-Fibre Identification Certificate of Analysis_20160518

Fibre Identification Certificate of Analysis

Laboratory Report Number: T-00665 Analyst: Sch 2 2.2(a)(ii) Page 2 of 2

Sample No.	Client Ref.	Location	Physical Structure	Sample Description	Analysis of Fibrous Content
R1742		Eaves - House	Sheet	2g	Chrysotile Asbestos Detected
R1743		Eave - Store adjacent garage	Sheet	2g	Amosite, Chrysotile, Crocidolite Asbestos Detected
R1744		Packer to pier - Subfloor	Sheet	7g	Chrysotile Asbestos Detected
R1745		To pipe adajcent laundry - Exterior	Textile	2g	No Asbestos Detected

Sch 2 2.2(a)(ii)



No. 3181

Accredited for compliance with ISO/IEC 17025

Sch 2 2.2(a)(ii)

The results of the tests, calibrations and/or measurements included in this document are traceable to Australian/national standards

Client: Philip Leeson Architects T-00665 [redacted] Forrest ACT 2603-Fibre Identification Certificate of Analysis_20160518 Page 2 of 2

APPENDIX C - LIVING SAFELY IN A PROPERTY CONTAINING ACM

The health risks associated with asbestos exposure increase with the fibre type, level and frequency of exposure. Crocidolite (blue asbestos) is the most hazardous type. Amosite (brown asbestos) is not as hazardous as crocidolite but is significantly more hazardous than chrysotile (white asbestos). Exposure to all types of asbestos can result in diseases including asbestosis, lung cancer and mesothelioma. Smoking increases the risk of disease 50 fold. The often heard adage “one fibre can kill you” is overly simplistic. Evidence indicates that risk increases with the level, type and frequency of exposure. Some individuals may be predisposed to disease at low and infrequent exposure, while others suffer no ill effect even after prolonged industrial exposure. We do not know what level can be considered safe nor what level may be considered hazardous. Asbestos may also be naturally present in the environment at very low levels. Therefore controls should be implemented to avoid exposure as far as practicable.

Asbestos is only hazardous if it becomes airborne and inhaled. When it is fully encapsulated within the structure it cannot become airborne. Simple engineering controls can ensure it remains encapsulated. These controls are detailed in the Required Actions and Recommendations detailed in this report.

Provided the home has been inspected by a licensed Asbestos Assessor and their recommendations adopted, normal occupation would not be hazardous. It is vital that any maintenance or renovation be in strict accordance with the Assessor’s recommendations. The owner should inspect the premises (excluding any restricted areas) on a regular basis to identify any deterioration and to ensure any sealing is intact.

Any person employed to undertake any building, maintenance or refurbishment must be informed of the presence of friable and/or non friable asbestos in the premises. The owner must ensure that if planned work may impact on any asbestos materials, the asbestos is removed or remediated by the appropriate class of removalist prior to commencement.

In the event of fire, storm or other damage the emergency services personnel attending must immediately be informed of the presence of asbestos. If it is believed that the damage to the property may have result in an exposure to the asbestos, the premises should be vacated, WorkSafe ACT informed and a licensed Asbestos Assessor should reassess the property.

Tenants and Real Estate leasing agents must be informed of the presence of asbestos. This Report contains information which they need to know.

The owner must disclose the findings of this report to potential purchasers of the property.

APPENDIX D - REQUIREMENTS FOR REMOVING ASBESTOS CONTAINING MATERIALS

Removal of ACM must be undertaken by a licensed Asbestos Removalist in accordance with current legislation. The removal/remediation of friable ACM must be undertaken by a Class A licensed Asbestos Removalist. Removal or remediation of non friable asbestos may be undertaken by either a Class A or B Asbestos Removalist.

Prior to the commencement of any remediation works associated with any amount of friable or non friable asbestos, a building certifier must be engaged and building approval sought. WorkSafe ACT (and Comcare if applicable) must receive an application for intended asbestos work a minimum of 5 days prior to the planned commencement of the work. An asbestos removal contractor must supply an Asbestos Removal Control Plan (ARCP) and a Safe Work Method Statement (SWMS). An independent licensed Asbestos Assessor must be engaged to ensure that the ARCP addresses all safety issues relating to the planned asbestos works.

Air monitoring is mandatory during the removal or remediation of friable asbestos and should be considered during the removal or remediation of non friable asbestos. Air sampling is to be undertaken in accordance with the *Guidance Note on the Membrane Filter Method for Estimating Airborne Asbestos Fibres, 2nd Edition [NOHSC: 3003(2005)]* and test certificates will be NATA endorsed.

An independent licensed Asbestos Assessor must also be employed to undertake a Clearance Inspection of both friable and non friable asbestos removal or remediation works. A satisfactory clearance certificate for the remediated areas must ensure that no visible asbestos or presumed asbestos remains. In the event that inaccessible ACM remains, the Clearance Certificate must state this. Additionally no asbestos fibres should be detected by laboratory analysis if any validation samples are taken. All hard surfaces within the remediated area must be free of general dust and debris.

Prior to any planned demolition, refurbishment or maintenance, its effect upon any in situ asbestos must be established by reference to this document. If the planned works are likely to disturb any asbestos materials a licensed Asbestos Assessor must be engaged to reassess the premises.

The removal of asbestos contaminated waste must be undertaken in accordance with ESDD (2014) *Information Sheet Number 5 - Contaminated Sites - Requirements for Transport* and *Information Sheet Number 6 - Contaminated Sites - Management of Small Scale, Low Risk Soil Asbestos Contamination*.

APPENDIX E - GLOSSARY OF TERMS

Non friable asbestos	Non friable asbestos is material that contains asbestos firmly bound into a matrix. It may consist of cement or various resins/binders and cannot be reduced to a dust by hand pressure. As such it does not present an exposure hazard unless cut, abraded, sanded or otherwise disturbed. Therefore, the exposure risk from non friable ACM is negligible during normal building occupation.
Friable asbestos	Friable asbestos material can be crumbled or reduced to a dust by hand pressure when dry. It can represent a significant exposure hazard as a consequence of minor disturbance. Pipe lagging, loose-fill asbestos, millboard and severely damaged non friable asbestos are examples of friable asbestos.
Chrysotile	White asbestos is the least hazardous but still classified as a Group 1 carcinogen.
Amosite	Grey or brown asbestos
Crocidolite	Blue asbestos. It is the most hazardous asbestos type
ACM	Asbestos containing material. Any material or thing that contains asbestos as part of its design.
ARCP	Asbestos Removal Control Plan. A document detailing the safe methodology for undertaking particular asbestos removal works.
COC	Chain of Custody
SWMS	Safe Work Method Statement. A document detailing the safe methodology for high risk construction work.

APPENDIX F - REGULATIONS AND CODES OF PRACTICE

How to Manage and Control Asbestos in the Workplace Code of Practice

How to Safely Remove Asbestos Code of Practice

Work Health and Safety Regulations 2011

Dangerous Substances Act 2004

Dangerous Substances (General) Regulation 2004

Work Health and Safety Act 2011

Information Sheet No. 5 Requirements for the Transportation and Disposal of Asbestos Containing Wastes ESDD (Feb 2014)

Contaminated Sites Information Sheet No.6 Management of Small Scale, Low Risk Soil Asbestos Contamination ESDD (Feb 2014)

Statement of Limitations

Robson Environmental has taken care to ensure that this report includes the most accurate information available. The material assessments, recommendations and/or conclusions contained in this report must not be used to excuse a person of their responsibility to work in accordance with relevant legislation, statutory requirements, codes of practice, guidelines, Safety Data Sheets, work instructions or reasonable work practices.

The findings contained within this report are the result of the interpretation of discrete/specific sampling methodologies used in accordance with normal practices and standards. To the best of Robson's knowledge, our assessment of the data represents a reasonable interpretation of the general condition of the site.

The survey was non-destructive in nature therefore sampling was limited to accessible materials. No determination can be made regarding the possibility of concealed or inaccessible ACM without gaining access to areas that are not readily accessible to allow for inspections. Unless specifically noted, the survey did not cover exterior ground surfaces and sub-surfaces (e.g. infill/soil).

THIS REPORT MUST NOT BE REPRODUCED EXCEPT IN FULL.



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BDAV Accredited

National Construction Code Volume Two Building Code of Australia Energy Efficiency

Deems to Satisfy Report in accordance with NCC Part 3.12

Proposed alterations & additions

Client: Paul Tilse Architects

Address: [REDACTED], Forrest ACT

Climate Zone: 7



Description:

A Deems to Satisfy assessment has been completed for the above job in accordance with the NCC Volume Two

Acceptable calculations have been made in accordance with NCC to determine the minimum required outcomes to achieve compliance for Part 3.12 Energy Efficiency.

Sources of information:

The following sources of information have been used to complete this assessment:

- Relevant working drawings provided by client
- NCC Vol 2
- Building Commission Practice Notes 2014-55

ENERGY EFFICIENCY REQUIREMENT SUMMARY		
	ADDED INSULATION	DETAIL
FLOOR	N/R	No insulation required under concrete slab on ground for this climate zone.
WALLS	R2.5	Bulk insulation to be fitted snugly between timber stud work & foil wrap fitted to outside of timber stud.
CEILING	R4.5	Bulk insulation to be fitted snugly between ceiling joists
ROOF	None	To be laid over roof purlins and sag in between to create air gap
WINDOW/DOORS		All gaps and cracks sealed, refer to compliance requirement for values required.
Please note all insulation to be installed as per manufacturers details & requirements noted in Part 3.12.1.1 in this report.		

COMPLIANCE ASSESSMENT NCC 3.12 DTS		
	COMPLIES	DETAIL
PART 3.12.1 BUILDING FABRIC	COMPLIES	REFER TO SECTION
PART 3.12.2 GLAZING	COMPLIES	REFER TO SECTION
PART 3.12.3 BUILDING SEALING	COMPLIES	REFER TO SECTION
PART 3.12.4 AIR MOVEMENT	COMPLIES	REFER TO SECTION
PART 3.12.5 SERVICES	COMPLIES	REFER TO SECTION

PART 3.12.1 BUILDING FABRIC

PART 3.12.1.1 INSULATION	REQUIREMENT	COMPLIANCE REQUIREMENT
<p>Where required, insulation must comply with AS/NZS 4859.1 and be installed so that it- Abuts or overlaps adjoining insulation other than at supporting members such as studs, noggings, joists, furring channels and the like where the insulation must be against the member; and Forms a continuous barrier with ceilings, walls, bulkheads, floors and the like that inherently contribute to the thermal barrier; and Does not affect the safe or effective operation of a service or fitting Where required, reflective insulation must be installed with- The necessary airspace to achieve the required R-Value between a reflective side of the insulation and a building lining or cladding; and The reflective insulation closely fitted against any penetration, door or window opening; and The reflective insulation adequately supported by framing members; and Each adjoining sheet of roll membrane being overlapped not less than 150mm or taped together Where required, bulk insulation must be installed so that- It maintains its position and thickness, other than where it is compressed between cladding and supporting members, water pipes, electrical cabling or the like; and In a ceiling, where there is no bulk insulation or reflective insulation in the wall beneath, it overlaps the wall by not less than 50mm.</p>	Yes	Adopt as a report condition

PART 3.12.1 BUILDING FABRIC (cont.)

PART 3.12.1.2 ROOF & CEILING	COVER	SOLAR ABSORBANCE	REQUIRED refer to table 3.12.1.1a	COMPLIANCE REQUIREMENT
Pitch roof w p/board ceiling on flat (unventilated)	Tiled	< 0.4 0.4-0.6 >0.6	R4.6 R5.1 R5.1	Complies Refer to Appendix A
Flat/Skillion/Catherdral with p/ board ceiling on flat				

PART 3.12.1.1b ADJUSTMENT FOR LOSS OF CEILING INSUALTION	REQUIRED	COMPLIANCE REQUIREMENT
Adjusted minimum R-Values required to compensate for loss of ceiling insulation	Refer to NCC Table 3.12.1.1b	No roof insulation adjustment required

PART 3.12.1.3 ROOF LIGHTS	REQUIRED	COMPLIANCE REQUIREMENT
Roof lights serving a habitable room or interconnecting space	Roof lights must have a U & SHGC value in accordance with NCC Table 3.12.1.2	Complies U value 3.4 SHCG: 0.55

PART 3.12.1.4 EXTERNAL WALLS	REQUIRED refer to table 3.12.1.3a	COMPLIANCE REQUIREMENT
External walls that are part of the envelope must achieve a min. system value of R2.8	Total R2.8 Applies to proposed walls only	Complies Refer to Appendix A

PART 3.12.1.5 FLOORS	REQUIRED refer to table 3.12.1.4	COMPLIANCE REQUIREMENT
Slab on ground without an in-slab heating or cooling system	N/R	
Suspended floor that is part of the envelope		

PART 3.12.2 EXTERNAL GLAZING

Part 3.12.2 Glazing	REQUIRED	COMPLIANCE REQUIREMENT
<p>The glazing in each storey, including any mezzanine, of a building must be assessed separately for -</p> <p>Glazing in the external fabric facing each orientation: and</p> <p>Glazing in the internal fabric</p>	<p>Yes</p> <p><u>To proposed glazing only.</u></p>	<p>The DTS glazing analysis was carried out using the NCC glazing calculators.</p> <p>Refer to Appendix B for the NCC glazing calculations</p> <p>Note: All existing window will be fitted with double glazed units which out perform the existing windows. Only the proposed windows and doors have been included in the glazing calculations as the dwelling contain a Kitchen and living area was able to be modelled as a proposed dwelling exc. the existing parts in accordance with NCC2016 Appendix A Part ACT 7.</p> <p>To better reflect the proposed adjustable shading device' W18 has had the 'device removed from the shading section in the glazing calculator.</p> <p>Refer to Appendix B for the NCC glazing calculations</p>

3.12.3 BUILDING SEALING

SECTION	REQUIRED	COMPLIANCE REQUIREMENT
3.12.3.1 Chimneys & Flues	<i>The chimney of flue of an open solid-fuel burning appliance must be provide with a damper or flap that can be closed to seal the chimney of flue</i>	N/A
3.2.3.2 Roof lights	<i>Roof lights must be sealed, or capable of being sealed, when serving a conditioned space or habitable room.</i>	Adopt as a report condition
3.12.3.3 External windows and doors	<i>A seal or restrict air infiltration must be fitted to each edge of an external door, open able window or other such opening when serving a conditioned space.</i>	Complies All doors & windows sealed
3.12.3.4 Exhaust fans	<i>Exhaust fans must be fitted with a sealing device such as a self-closing damper, filter of the like when serving a conditioned space.</i>	Complies All exhaust fans fitted with self-closing damper
3.12.3.5 Construction of roofs, walls and floors	<i>Roofs, external walls, external floors and any opening such as a window frame, door frame, roof light or the like must be constructed to minimise air leakage when forming part of the external fabric of a conditioned space.</i>	Complies New construction gaps & cracks sealed in accordance with part 3.12.3.5
3.12.3.6 Evaporative cooler	<i>An evaporative cooler must be fitted with a self-closing damper or the like when serving a heated space or habitable room.</i>	N/A

3.12.4 AIR MOVEMENT

SECTION	REQUIRED	COMPLIANCE REQUIREMENT
3.12.4.1 Air movement	Air movement must be provided to habitable rooms in accordance with Table 3.12.4.1 & for climate zones 6,7,8 Part 3.8.5	Complies refer to Appendix D
3.12.4.2 Ventilation openings	<p>(a) In climate zones 1,2,3,4 & 5 the total ventilation opening area required by Table 3.12.4.1 to habitable room must</p> <ul style="list-style-type: none"> (i) be connected by a breeze path complying with (b) to another ventilation opening in another room or space or: (ii) be provided by a minimum of two ventilation openings located within the same habitat room, with each ventilation opening having an area of not less than 25% of the area required by Table 3.12.4.1 <p>(b) A breeze path required by(a)(i) must</p> <ul style="list-style-type: none"> (i) pass through not more than two openings in the internal walls with each opening having an area of not less than 1.5m²; and (ii) have a distance along the breeze path between ventilation openings of not more than 20m 	Adopt as a report condition
3.12.4.3 Ceiling fans and evaporative coolers	<p>Ceiling fans or evaporative coolers required to comply with 3.12.0.1, Table 3.12.2.1 or Table 3.12.4.1 must-</p> <ul style="list-style-type: none"> (a) be permanently installed; and (b) have a speed controller; and (c) for ceiling fans, serve the whole room, with floor area that a single fan serves not exceed - <ul style="list-style-type: none"> (i) 15m² if it has a blade rotation diameter of not less than 900mm; and (ii) 25m² if it has a blade rotation diameter of not less than 1200mm 	Adopt as a report condition

3.12.5 SERVICES

SECTION	REQUIRED	COMPLIANCE REQUIREMENT
3.12.5.1 Insulation of services	<i>Thermal insulation for central heating water piping and heating and cooling ductwork must be protected against the effects of weather and sunlight and be able to with stand the temperatures within the piping or ductwork. NCC table's 3.12.5.1 & 3.12.5.2 list the min. R-Values required.</i>	Adopt as a report condition
3.12.5.2 Central Heating water pipe	<i>Central heating water piping that is not within a condition space must be thermally insulated to achieve a minimum R-Value of 0.2 for internal piping and 0.45 for piping located within a ventilated wall space, an enclosed building sub-floor or a roof space or 0.6 if located outside the building or in an unenclosed building subfloor or roof space</i>	Adopt as a report condition
3.12.5.3 Heating and cooling ductwork	<i>Heating and cooling ductwork and fittings must achieve an R-Value of 1.0 for either a heating or cooling only system, 1.5 for a combined heating and refrigerated cooling system and 0.4 for fittings.</i>	Adopt as a report condition
3.12.5.4 Electric resistance space heating	<i>An electric resistance space heating system that serves more than one room must have a separate isolating switched for each room and a separate temperature controller and time switch for each group of rooms with common heating needs and power loads of not more than 110 W/m² for living areas and 150 W/m² for bathrooms.</i>	N/A
3.12.5.5 Artificial lighting	The lamp power density or artificial lighting, excluding heaters that emit light, must not exceed- (i) in a Class 1 building 5W/m ² , (ii) on a verandah or balcony attached to a Class 1 building, 4W/m ² ; and (iii) in a class 10 building, 3W/m ²	Complies The proposed lighting design for the new extension cannot exceed the amount outlined in the table. Refer to Appendix C
3.12.5.7 Heating and pumping of a swimming pool or spa pool	<i>Heating for a swimming pool other than a spa pool must be by solar heater not boosted by electric resistance heating. Heating for a spa pool having a capacity of 680l or more must be by solar heater, gas heater, heat pump or a combination of 2 or more. Where heating is by gas or heat pump, a spa pool must have a cover and a push button and time switch to control the operation of the heater. A time switch must be provide to control the operation of a circulation pump for a swimming pool other than a spa pool with a capacity of less than 680l</i>	N/A

Summary

The proposed works is an approximate 188m² addition.

The extension will increase the integrity of the existing dwelling and ensure an improvement to the energy efficiency.

All parts of the proposed works comply with Part 3.12 of the current NCC

If you have any further questions feel free to contact me.

Sch 2 2.2(a)(ii)



NRG efficient homes
Thermal Performance Assessor
VIC/BDAV/16/1737

DISCLAIMER

Although great care has been taken to prepare this report, NRG efficient homes does not make any representations or give any warranties or assurances as to the accuracy of the information contained in the Report or that the report is free from errors or omissions

NRG efficient homes and its employees and agents shall not be liable for any loss, damage, cost or expense whether direct, indirect or consequential, incurred by, or arising by reason of, any person using or relying on the report and whether caused by reason or error, negligent act, omission or mis representation in the Report or otherwise.

The Report has been prepared by NRG efficient homes based on the information supplied.

APPENDIX A

ROOF/CEILING (FLAT)	
Layer	R-Value
Air Film (Outdoor)	0.04
Tiled Roof	0.10
Sislation/ Blanket	0
Roof Space - reflective	0.54
Bulk Insulation	4.5
10mm Plasterboard	0.08
Air Film (Indoor)	0.11
TOTAL	5.37
NCC required total R-Value	5.1
EXTERNAL WALLS	
Layer	R-Value
Air Film (Outdoor)	0.04
Brick	0.18
Reflective insulation material R value	0
40mm Air gap	0.2
Bulk Insulation	2.5
	0
10mm Plasterboard	0.06
Air Film (Indoor)	0.12
TOTAL	3.1
NCC required total R-Value	2.8
FLOOR	
Layer	R-Value
TOTAL	0
NCC required total R-Value	N/R

Report from 25 FURNEAUX ST

printed 30/08/2017

NCC VOLUME TWO GLAZING CALCULATOR (first issued with NCC 2014)

Building name/description: **PROPOSED ADDITIONS** Climate zone: **7**

Storey: **GROUND** Floor Construction: **Area** Direct contact: **188m²** Wall insulation option chosen for 3.12.1.4

Air Movement: **HIGH** Suspended: **No wall insulation concession used**

Area of storey: **188m²** Area of glazing: **75.0m² (40% of area of storey)**

	C _u	C _{SHGC}
CONSTANTS	5.486	0.208
	C _u (only)	C _{SHGC} x Area
ALLOWANCES	5.5	39.1

Number of rows for table below: **13** (as currently displayed)

GLAZING ELEMENTS, ORIENTATION SECTOR, SIZE and PERFORMANCE CHARACTERISTICS					SHADING		CALCULATION DATA		CALCULATED OUTCOMES OK (if inputs are valid)								
Glazing element		Orientation		Size		Performance		P&H or device		Exposure		Size		Conductance	PASSED	Solar heat gain	PASSED
ID	Description (optional)	Facing sector	Height (m)	Width (m)	Area (m ²)	Total System U Value (AFRC)	Total System SHGC (AFRC)	P (m)	H (m)	P/H	Es	Area used (m ²)	U x area / winter access	Element share of % of allowance used	SHGC x Es x area	Element share of % of allowance used	
1	W19	E	2.70	0.90		2.40	0.44				1.21	2.43	0.13	3% of 80%	1.3	4% of 83%	
2	W20	E	2.70	0.90		2.40	0.44				1.21	2.43	0.13	3% of 80%	1.3	4% of 83%	
3	W21	E	0.60	1.90		3.00	0.61	0.45	1.10	0.41	0.76	1.14	0.08	2% of 80%	0.5	2% of 83%	
4	W15	N	1.80	2.40		2.50	0.52	0.45	1.70	0.26	0.55	4.32	0.24	6% of 80%	1.2	4% of 83%	
5	W16	N	1.80	3.60		2.50	0.52	0.45	1.70	0.26	0.55	6.48	0.37	8% of 80%	1.8	6% of 83%	
6	W17	N	2.70	4.80		2.50	0.67	DEVICE		2.00	0.16	12.96	0.73	17% of 80%	1.4	4% of 83%	
7	W18	N	2.70	4.80		2.50	0.67	DEVICE			0.96	12.96	0.73	17% of 80%	8.3	26% of 83%	
8	W9	W	2.70	3.85		2.50	0.67	0.45	2.80	0.16	0.96	10.40	0.59	13% of 80%	6.7	21% of 83%	
9	W13	W	2.70	3.30		3.00	0.61	0.45	2.50	0.18	0.93	8.91	0.60	14% of 80%	5.1	16% of 83%	
10	W14	W	1.80	2.40		3.00	0.61	0.45	1.70	0.26	0.86	4.32	0.29	7% of 80%	2.3	7% of 83%	
11	W10	S	2.70	2.19		2.50	0.67	0.45	2.80	0.16	0.47	5.91	0.33	6% of 80%	1.9	6% of 83%	
12	W11	S	1.20	1.20		2.40	0.44	0.25	1.30	0.19	0.45	1.44	0.08	2% of 80%	0.3	1% of 83%	
13	W12	S	0.90	1.40		2.40	0.44	0.25	0.70	0.36	0.40	1.26	0.07	2% of 80%	0.2	1% of 83%	

IMPORTANT NOTICE AND DISCLAIMER IN RESPECT OF THE GLAZING CALCULATOR

The Glazing Calculator has been developed by the ABCB to assist in developing a better understanding of glazing energy efficiency parameters. While the ABCB believes that the Glazing Calculator, if used correctly, will produce accurate results, it is provided 'as is' and without any representation or warranty of any kind, including that it is fit for any purpose or of merchantable quality, or functions as intended or at all. Your use of the Glazing Calculator is entirely at your own risk and the ABCB accepts no liability of any kind.

If inputs (including air movement levels) are valid



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APPENDIX C

	AREA M2	WATTAGE PER M2	TOTAL WATTAGE ALLOWED	TOTAL WATTAGE ACHIEVED
Class 1 building 5w/m2	188	5	940	
Verandah, Porch, Alfresco, Balcony connected to a Class 1 building 4w/m2	50	4	200	
Class 10 building 3w/m2	36	3	108	
Note: No wattage details were provided at the time of assessment. Clients must ensure the maximum wattage outlined in the above table is not exceeded.				

APPENDIX D

ROOM NAME	AREA M2	EXTERNAL OPENING SIZE	VENTIATION REQUIRED %	VENTILATION ACHEIVED %
Bed 3	12	0.72	5	6%
Bed 4	12	0.72	5	6%
Rumpus	32	1.44	5	5%
Studio	20	4.28	5	21%
Kit/Liv	75	13.5	5	18%