

(advertisement for The Canberra Times)

Fax to: **The Canberra Times (Classifieds) Fax 6280 2119**
Account Name: ACT Planning and Land Authority
Account Number: 1277730
Department's contact: Applications Secretariat 6207 1687
Publication Date: 17 September 2007
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Classification: Development Applications
Order Number: LYNES56B14



The ACT Planning and Land Authority has received the following application/s available for public inspection between 8:30am and 4:30pm weekdays at:

**Applications Secretariat
ACT Planning and Land Authority
Dame Pattie Menzies House
Ground Floor (right hand building)
16 Challis Street
Dickson ACT**

Development Applications are also available on-line at:

http://apps.actpla.act.gov.au/plandev/e-registers/pubnote/pubnoteMaster_new.asp

If you feel the application may affect you in any way and wish to object, you can lodge a written objection clearly stating the grounds for objection. However, you may also provide comments in support of the application. Objections or comments must arrive by close of business **8 October 2007** and may be delivered to the above address, Emailed to app.sec@act.gov.au, or posted to:

**Applications Secretariat
ACT Planning and Land Authority
PO Box 365
Mitchell ACT 2911**

If you need more information, please telephone the Secretariat on 6207 1687.

Development Application 20070078OCT: NONR - NEW BUILDINGS - Final stage of development including a main shrine/communal hall, a library and administration block, a Buddhist College, and World Peace Pagoda including landscaping and driveways and other minor works.

Location: Block: 14 Section: 56 Suburb: LYNEHAM



(W) 1:00 pm 23/8. ~~Act Area~~ Re-submitted 3:30pm W



ACT Planning & Land Authority

Land (Planning and Environment) Act 1991 - Form 1

Development Application

Type of Application (tick relevant box)

- New Application**
If you attended a Pre-lodgement meeting please provide the Proposal Number
- Alteration (S226(7))** - to a current application not yet approved
- More Information (S233)** - providing additional information to a current application which is in response to a written request from the Authority.
- Conditional Approval (S245)** - satisfying conditions of approval
 - Additional information (S245)
- Minor Amendment (S247)** Original proposal No.
An amendment to an application with an approval already in force where a Certificate of Occupancy has not been issued.
Has development commenced on the property? No Yes If yes, date of commencement _____
- Additional Information (S247) in support of current S247 application

OFFICE USE ONLY

Application number
200700780

Technical check
Date

Public notification
 Yes No

Neighbour notification
 Yes No

	Yes	No
Lessee's	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Holding Lease	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Unleased	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Unit Titled	<input type="checkbox"/>	<input checked="" type="checkbox"/>
EER	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Heritage	<input type="checkbox"/>	<input checked="" type="checkbox"/>
NCA	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Compliance	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Pub Reg Exempt	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Part 1: Lease/Site details

If more than one lease/site, attach the following details for each lease/site.

Block
 Section
 Unit (if applicable)
 Suburb
 District
 Street Number
 Street Name

Part 2: Applicant details

Surname
 First Name
 Australian Company Number (ACN)
 Company Name
 If a company, position held within the company
 Postal Address
 Suburb
 State/Territory
 Phone Number (business hours)
 Fax Number
 Email

Fees

D&S	384.50
P/Not	229.70
L/Var	
Dial/S	27.80
	4099

Date received
 Receipt number
 Receiving officer

Unless otherwise specified your plan/s will be returned via email Mail Pick Up
 Did you know? Development applications can be lodged electronically. The steps involved are detailed on our website at: www.actpla.act.gov.au

Part 3: Lessee (Property Owner) details

1st Lessee's details

Or Govt. Land Manager
(unleased land only) Surname

Office Use First Name

Init Company name

Australian Company Number (ACN)

If a company, position held
within the company

Postal Address

Suburb

State/Territory

Phone Number (business hours)

Fax Number

Email

All lessees must sign authorising the lodgement, and in doing so give authority to the applicant to negotiate any dealings with the application through to its determination by the relevant authority, or a Power of Attorney must be attached. If there are more than two lessees, please ensure that details and authorisation are attached to the application for each lessee.

If the lessee is a registered company, organisation or government agency you must execute this application in the proper manner for that company, organisation or government agency. For example, if the lessee is a community organisation, the full name of the community organisation must be stated and the signatory must identify what position of authority he/she holds in the organisation.

* Lessee must sign Part 7 of the application form

Part 3: Lessee (Property Owner) details

2nd Lessee's details

Or Govt. Land Manager
(unleased land only) Surname

Office Use First Name

Init Company name

Australian Company Number (ACN)

If a company, position held
within the company

Postal Address

Suburb

State/Territory

Postcode

Phone Number (business hours)

Fax Number

Email

Any application made over a site which has been Unit Titled will require approval in accordance with the articles of association for that units plan.

* Lessee must sign Part 7 of the application form

Part 4: Fully describe your proposal or list amendments

A proposal for our last / final development stages: A main Shrine / Communal Hall, a Library + Admin bloc, A Buddhist college, and World Peace Pagoda - including landscaping, driveways and other improvements -

Examples: • New 2 storey residence & garage • Addition of bedroom & ensuite to rear of residence

Part 5: Type of Development

Single Dwelling

- New residence
- Addition/alteration to existing
- Demolition/rebuild
- Outbuildings (Such as carports, garages & pergolas)

Multiple Dwelling

(incl Dual Occupancy)

- A10 Core Area or
- Suburban Area

- New development _____ No. of new Dwellings to be constructed
- Addition/alteration to existing _____ Total No. of Dwellings
- Outbuildings (Such as carports, garages & pergolas)

Non-Residential

(incl Commercial, Industrial, Rural, Community, Institutional)

- New building
- Addition/alteration to existing

Mixed Use

(combined Non-Residential & Residential Developments)

- New building _____ No. of Non-Residential Units
- Addition/alteration to existing _____ No. of Residential Dwellings
- _____ Total number of Dwellings

Signage

Lease Variation

- Clause changes
- Consolidation
- Subdivision
- Encroachment
- Land Rent Payout

Home Business (Please complete Form 2 Home Business Checklist in addition to this form)

Estate Development Plan (Please complete Form 3 Estate Development Plan Checklist in addition to this form)

Public Works (incl Roads, Stormwater Drainage, Parks, Electricity, Gas, Telecommunications, Water, Sewerage, Services)

Please note that the estimated cost to be stated here is to include the cost of all associated works such as landscaping, parking, etc. as well as off site works.

The Building Cost Guide can be located on the Authority's website:
www.actpla.act.gov.au

GFA means gross floor area

ENERGY RATING: Was the original dwelling first approved after 30 June 1995? No Yes Date (MMYY) _____

ENVIRONMENTAL IMPACT: Does the Commonwealth Environment Protection and Biodiversity Conservation Act 1999 affect your proposal?
(Please refer to last page of this application form for further information) No Yes

WORKS ON VERGE AND/OR PUBLIC LAND: Are you proposing works or modifications on the verge or public land?

No Yes (If yes please specify)

New or Existing Services No Yes Road Work No Yes Footpaths No Yes Landscaping No Yes

Part 5: Type of Development (continued)

TREES: (For more information see page 19 of application form)

Is there an approved Tree Management Plan for the block where the development is proposed or any of the neighbouring blocks? No Yes

If yes, you will need to lodge the approved Tree Management Plan with your Development Application.

Note: You may apply to Environment and Recreation for approval to replace or amend an existing Tree Management Plan.

Is there a protected tree on the block where the development is proposed? No Yes

If yes, you will need to submit either an approved or draft Tree Management Plan with your development application.

Is there a protected tree on any of the neighbouring blocks? No Yes

If yes, you will need to answer the following questions:

- Is it a Regulated Tree?

If yes, you will need to lodge either an approved or draft Tree Management Plan if the canopy of the tree is within 2m of the block where the development is proposed.

No Yes

- Is it a Registered Tree?

If yes, you will need to lodge either an approved or draft Tree Management Plan with your Development Application.

No Yes

Is there any proposed works within the tree canopy of any tree on public land/verge adjacent to the development site? No Yes

DRIVEWAYS:

For proposals that include construction or modification of driveway/s please indicate works to be undertaken:

Relocation of existing entrance

Construction of additional entrance

Construction of new driveway

Construction other than plain concrete

Other (please specify) _____

OVERHEAD WIRES: Are there any overhead wires over the block? No Yes
If yes, please indicate location of wires on site plan.

STORMWATER: Are there any stormwater easements on the block. No Yes

Part 6: Exempting Parts of Your Application From the Public Register

The Land (Planning and Environment) Act 1991 requires all applications to be placed on a Public Register.

If you meet specific criteria you may apply to exclude parts of your application from the Public Register (refer to section 228 Land (Planning and Environment) Act 1991).

I wish to apply for exemption from the Public Register. No Yes

Information to be excluded from the register

Please give reasons in support of your request for exemption

Part 7: Applicant & Lessee Declaration

I/we the undersigned, hereby apply for approval to carry out the development described on the land specified in this application;

I/we hereby authorise the ACT Planning and Land Authority to erect sign/s on the subject property(s) as required;

I/we hereby authorise ACT Government officers to access the subject property(s) for the purpose of evaluating the proposal (including the inspection of trees);

I/we understand that this application may be electronically scanned and made available for public inspection via the internet;

I/we declare that all the information given on this form and its attachments is true and complete;

I/we understand that the information submitted with this application form will undergo a documentation check prior to the formal lodgement of the application (and payment of fees), and further information may be required prior to the acceptance of the development application by the Authority;

I understand that all costs including the relocation of any engineering services (light poles, stormwater, sumps etc) will be at my expense and that I will indemnify the ACT Government, its servants and agents against any claims arising during construction;

I understand that construction of any driveway associated with this application may not commence until the contractor has received endorsement by Asset Acceptance. I understand that a Certificate of Design Acceptance must be obtained from the Asset Acceptance Section of the Department of Territory and Municipal Services prior to the start of construction works and a Road Opening Permit and Temporary Management Plan obtained from Roads ACT.

I/we the undersigned (lessee) appoint the applicant whose signature appears below to act on my/our behalf in relation to this Development Application. This authorises the applicant to pay all application fees, bonds and securities, liaise with the ACT Planning and Land Authority when required, alter, amend or provide further information as necessary and receive any communications relating to this Development Application.

In addition, if signing on behalf of a company, organisation or Government agency.

I/we the undersigned, declare I/we have the appropriate delegation or authority to sign on behalf of the company, organisation or Government agency.

CONFLICT OF INTEREST DECLARATION: Does the applicant or lessee have any association with ACT Planning and Land Authority staff? No Yes

If yes, please provide details: _____

PLEASE NOTE: There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

Applicant's Sign		23/8/07	Office Use Init <input checked="" type="checkbox"/>
1st Lessee's Sign		23/8/07	Init <input checked="" type="checkbox"/>
2nd Lessee's Sign			Init <input type="checkbox"/>
Govt. Land Manager's Signature <small>(unleased land only)</small>		Date	Init <input type="checkbox"/>
Delegate of ACTPLA Signature <small>(unleased land only)</small>		Date	Init <input type="checkbox"/>

Part 8: Minimum Requirements For Development Applications

A valid development application comprises of a completed development application form accompanied by other documents providing sufficient details, to allow the Authority to properly assess and determine the application.

All plans are to be clear and concise and consistent with Australian Standard 1100.301 - 1985 and Australian Standard 1100.301 supplementary - as updated from time to time.

To assist the applicant, the checklists on the following pages indicate those items that are always required, those that may be required by the Authority as further information, and those items that are optional but strongly recommended, according to the nature and scale of the development.

Summary of Checklists

Checklist 1

Single houses in new estates
Alterations and additions (*not including second storey additions*)
Outbuildings
Swimming pools

Checklist 3

Multi-unit housing (other than dual occupancy housing)
Commercial developments
Industrial developments
Institutional developments

Checklist 5

Estate Development
Home business
Relocatable units
Habitable suites
Signs

Checklist 2

Single houses in established areas
Dual occupancy housing
Second storey additions to houses

Checklist 4

Crown lease variations

All required items **must** be submitted with a completed development application form before the application will be accepted by the Authority. After the documentation has been checked and the appropriate fees have been paid, the application will be assessed and determined by the Authority.

For some proposals more than one checklist may apply. For example, a development application for dual occupancy housing may also require a variation to a Crown lease. In this case the requirements of checklists 2 and 4 are applicable.

Where a proposal is not specifically listed in a checklist, the Authority will, on request, provide a list of required documentation for that proposal. Contact details are provided at the end of this form.

Terms used in the checklists are explained in **Part 9**.

Counter Lodgements on Disk

Applicants are encouraged to lodge plans and associated documents in electronic format on disk. All lodgements on disk must comply with the naming convention as detailed on the ACTPLA website: www.actpla.act.gov.au

Electronic Lodgements

The steps involved in lodging a development application electronically are detailed on the Authority's website: www.actpla.act.gov.au

Changes to a Unit Development

Your building work may have an effect on the Unit Entitlements of the Units Plan. You may require a statement from a certified valuer as to this effect. For further information please contact the Authority.

Further Information

In addition to the items listed in the following checklists, the Authority may request more information from the applicant under section 233 of the Land Act after the lodgement of the development application.

Amendments

Amendment plans must list, number and highlight all amendments. When making an amendment to approved plans you must lodge a copy of the previously approved plans at the time of lodgement particularly if your plans were approved pre-2004.

Attn: Owen Pankhurst,



ACT Planning & Land Authority

OFFICE USE ONLY

Application number

200700780A

Technical check

[]

Public notification

Yes No

Neighbour notification

Yes No

Yes No

Lessee's

Holding Lease

Unleased

Unit Titled

EER

Heritage

NCA

Compliance

Pub Reg

Exempt

Fees

D&S		
P/Not		
L/Var	N/A	
Dial/S		

Date received

14/11/07

Receipt number

[]

Receiving officer

SK

Land (Planning and Environment) Act 1991 - Form 1

Development Application

Type of Application (tick relevant box)

New Application

If you attended a Pre-lodgement meeting please provide the Proposal Number

[]

Alteration (S226(7)) - to a current application not yet approved

More Information (S233) - providing additional information to a current application which is in response to a written request from the Authority.

Conditional Approval (S245) - satisfying conditions of approval

Additional information (S245)

Minor Amendment (S247)

Original proposal No.

200700780

An amendment to an application with an approval already in force where a Certificate of Occupancy has not been issued.

Has development commenced on the property? No Yes If yes, date of commencement

Additional information (S247) in support of current S247 application

Part 1: Lease/Site details

If more than one lease/site, attach the following details for each lease/site.

Block

14

Section

56

Unit (if applicable)

[]

Suburb



District

Street Number

Street Name

Part 2: Applicant details

Surname

First Name

ABN

Australian Company Number (ACN)

Company Name

If a company, position held within the company

Postal Address

Suburb

State/Territory

Phone Number (business hours)

Email

Fax Number

Unless otherwise specified your plan/s will be returned via email

Mail

Pick Up

Did you know? Development applications can be lodged electronically. The steps involved are detailed on our website at: www.actpla.act.gov.au

Part 3: Lessee (Property Owner) details

1st Lessee's details

Or Govt. Land Manager
(unleased land only)

Surname

Office Use

First Name

Init

Company name

Australian Company Number (ACN)

If a company, position held within the company

Postal Address

Suburb

State/Territory Postcode

Phone Number (business hours)

Fax Number

Email

* Lessee must sign Part 7 of the application form

Part 3: Lessee (Property Owner) details

2nd Lessee's details

Or Govt. Land Manager
(unleased land only)

Surname

Office Use

First Name

Init

Company name

Australian Company Number (ACN)

If a company, position held within the company

Postal Address

Suburb

State/Territory Postcode

Phone Number (business hours)

Fax Number

Email

* Lessee must sign Part 7 of the application form

* All lessees must sign authorising the lodgement, and in doing so give authority to the applicant to negotiate any dealings with the application through to its determination by the relevant authority, or a Power of Attorney must be attached, if there are more than two lessees, please ensure that details and authorisation are attached to the application for each lessee.

* If the lessee is a registered company, organisation or government agency you must execute this application in the proper manner for that company, organisation or government agency. For example, if the lessee is a community organisation, the full name of the community organisation must be stated and the signatory must identify what position of authority he/she holds in the organisation.

* Any application made over a site which has been Unit Titled will require approval in accordance with the articles of association for that unit's plan.

Part 4: Fully describe your proposal or list amendments

Examples: ● New 2 storey residence & garage ● Addition of bedroom & ensuite to rear of residence

Part 5: Type of Development

Single Dwelling

- New residence
- Addition/alteration to existing
- Demolition/rebuild
- Outbuildings (Such as carports, garages & pergolas)

Multiple Dwelling

(incl Dual Occupancy)

- A10 Core Area or
- Suburban Area

- New development _____ No. of new Dwellings to be constructed
- _____ Total No. of Dwellings

- Addition/alteration to existing
- Outbuildings (Such as carports, garages & pergolas)

Non-Residential

(incl Commercial, Industrial, Rural, Community, Institutional)

- New building
- Addition/alteration to existing

Mixed Use

(combined Non-Residential & Residential Developments)

- New building _____ No. of Non-Residential Units
- _____ No. of Residential Dwellings
- _____ Total number of Dwellings
- Addition/alteration to existing

Signage

Lease Variation

- Clause changes
- Consolidation
- Subdivision
- Encroachment
- Land Rent Payout

Home Business (Please complete Form 2 Home Business Checklist in addition to this form)

Estate Development Plan (Please complete Form 3 Estate Development Plan Checklist in addition to this form)

Public Works (incl Roads, Stormwater Drainage, Parks, Electricity, Gas, Telecommunications, Water, Sewerage, Services)

Please note that the estimated cost to be stated here is to include the cost of all associated works such as landscaping, parking, etc. as well as off site works.

What is the estimated cost of the development as calculated in accordance with the Building Cost Guide?

\$ - 00

Existing GFA _____ m²
 and/or
 Added GFA _____ m²
 and/or
 GFA to be demolished _____
 Total GFA _____

"GFA" means gross floor area

The Building Cost Guide can be located on the Authority's website:
www.actpla.act.gov.au

ENERGY RATING: Was the original dwelling first approved after 30 June 1995? No Yes Date (MM/YY) _____

ENVIRONMENTAL IMPACT: Does the *Commonwealth Environment Protection and Biodiversity Conservation Act 1999* affect your proposal?
 (Please refer to last page of this application form for further information) No Yes

WORKS ON VERGE AND/OR PUBLIC LAND: Are you proposing works or modifications on the verge or public land?
 No Yes (If yes please specify)

New or Existing Services No Yes Road Work No Yes Footpaths No Yes Landscaping No Yes

Part 5: Type of Development (continued)

TREES: (For more information see page 19 of application form)

Is there an approved Tree Management Plan for the block where the development is proposed or any of the neighbouring blocks? No Yes

If yes, you will need to lodge the approved Tree Management Plan with your Development Application.

Note: You may apply to Environment and Recreation for approval to replace or amend an existing Tree Management Plan.

Is there a protected tree on the block where the development is proposed? No Yes

If yes, you will need to submit either an approved or draft Tree Management Plan with your development application.

Is there a protected tree on any of the neighbouring blocks? No Yes

If yes, you will need to answer the following questions:

● **Is it a Regulated Tree?** No Yes

If yes, you will need to lodge either an approved or draft Tree Management Plan if the canopy of the tree is within 2m of the block where the development is proposed.

● **Is it a Registered Tree?** No Yes

If yes, you will need to lodge either an approved or draft Tree Management Plan with your Development Application.

Is there any proposed works within the tree canopy of any tree on public land/verge adjacent to the development site? No Yes

DRIVEWAYS:

For proposals that include construction or modification of driveway/s please indicate works to be undertaken:

Relocation of existing entrance

Construction of additional entrance

Construction of new driveway

Construction other than plain concrete

Other (please specify) _____

OVERHEAD WIRES: Are there any overhead wires over the block? No Yes

If yes, please indicate location of wires on site plan.

STORMWATER: Are there any stormwater easements on the block. No Yes

Part 6: Exempting Parts of Your Application From the Public Register

The Land (Planning and Environment) Act 1991 requires all applications to be placed on a Public Register.

If you meet specific criteria you may apply to exclude parts of your application from the Public Register (refer to section 228 Land (Planning and Environment) Act 1991).

I wish to apply for exemption from the Public Register. No Yes

Information to be excluded from the register

Please give reasons in support of your request for exemption

Part 7: Applicant & Lessee Declaration

I/we the undersigned, hereby apply for approval to carry out the development described on the land specified in this application;

I/we hereby authorise the ACT Planning and Land Authority to erect sign/s on the subject property(s) as required;

I/we hereby authorise ACT Government officers to access the subject property(s) for the purpose of evaluating the proposal (including the inspection of trees);

I/we understand that this application may be electronically scanned and made available for public inspection via the internet;

I/we declare that all the information given on this form and its attachments is true and complete;

I/we understand that the information submitted with this application form will undergo a documentation check prior to the formal lodgement of the application (and payment of fees), and further information may be required prior to the acceptance of the development application by the Authority;

I understand that all costs including the relocation of any engineering services (light poles, stormwater, sumps etc) will be at my expense and that I will indemnify the ACT Government, its servants and agents against any claims arising during construction;

I understand that construction of any driveway associated with this application may not commence until the contractor has received endorsement by Asset Acceptance. I understand that a Certificate of Design Acceptance must be obtained from the Asset Acceptance Section of the Department of Territory and Municipal Services prior to the start of construction works and a Road Opening Permit and Temporary Management Plan obtained from Roads ACT.

I/we the undersigned (lessee) appoint the applicant whose signature appears below to act on my/our behalf in relation to this Development Application. This authorises the applicant to pay all application fees, bonds and securities, liaise with the ACT Planning and Land Authority when required, alter, amend or provide further information as necessary and receive any communications relating to this Development Application.


In addition, if signing on behalf of a company, organisation or Government agency.

I/we the undersigned, declare I/we have the appropriate delegation or authority to sign on behalf of the company, organisation or Government agency.

CONFLICT OF INTEREST DECLARATION: Does the applicant or lessee have any association with ACT Planning and Land Authority staff? No Yes

If yes, please provide details: _____

PLEASE NOTE: There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

Applicant's Signature(s)		Date	<u>13/11/07</u>	Office Use
1st Lessee's Signature(s)		Date		Init <input type="checkbox"/>
2nd Lessee's Signature(s)		Date		Init <input type="checkbox"/>
Govt. Land Manager's Signature <small>(unleased land only)</small>		Date		Init <input type="checkbox"/>
Delegate of ACTPLA Signature <small>(unleased land only)</small>		Date		Init <input type="checkbox"/>

**Please Note that these comments are preliminary and formal comments may follow.
The formal comments will be saved directly into Objective on receipt.**

Environment ACT

Formal Referral Taken:

Issues: Comments:

Requirements:

Checking Officer: Date:

Asset Acceptance

Formal Referral Taken:

Issues: Comments:

Requirements:

Checking Officer: Date:

Other Agencies Comments

Agency:

Formal Referral Taken:

Issues: Comments:

Requirements:

Contact Officer: Date:

Other Agencies Comments

Agency:

Formal Referral Taken:

Issues: Comments:

Requirements:

Contact Officer: Date:

Decision Advice Checklist

DA Number: 200700780

Block(s): 14 Section: 56 District/Division: LYNEHAM

Case Officer: OWEN Contact Number: 79055 Decision Date: 15-Oct-07

Despatch Plans: **No** Despatch by: **Please Select**

Action Already Taken by Case Officer: **Not Applicable**

Application Type

Design and Siting Lease Variation S247 Amendment S245 Amendment

Type of Decision **Approved With Conditions**

Decision By **Delegate of the Authority**

Return File to Case Officer **Yes**

Submissions

No Objections Objections

Appeal Rights

Applicant: **Yes** Objectors: **Not Applicable**

Agencies to be advised

Agency Referral Required: **Yes (Please Select Below)**

Leasing Referral Required: **No**

<input type="checkbox"/> Land Information	<input type="checkbox"/> Compliance	<input type="checkbox"/> Registrar- Generals
<input type="checkbox"/> Asset Acceptance	<input checked="" type="checkbox"/> Environment ACT	<input type="checkbox"/> Heritage
<input type="checkbox"/> Urban Design & Projects	<input type="checkbox"/> Health Protection	<input type="checkbox"/> ACT Forests
<input type="checkbox"/> N.C.A	<input type="checkbox"/> Dangerous Goods	<input type="checkbox"/> COS
<input type="checkbox"/> Access & Mobility Com.	<input type="checkbox"/> Deed Management	<input type="checkbox"/> ACT Fire Brigade
<input type="checkbox"/> Preliminary Assessment	Other:	Other:

Comments



MINUTE

**SUBJECT: BLOCK 14 SECTION 56 DIVISION:LYNEHAM
DEVELOPMENT APPLICATION NO 200700780
ADVICE OF DECISION**

DEVELOPMENT & BUILDING ADMINISTRATION BRANCH

ACT LAND INFORMATION CENTRE

GOVERNMENT AGENCIES THAT PROVIDED COMMENTS

ENVIRONMENT ACT
LAND INFORMATION CENTRE
LAND REGULATION
ASSET ACCEPTANCE

I refer to the above Development Application dated 31 August 2007.

The application was approved with conditions on . The specific terms and conditions of the approval and the reasons for the delegate's decision are set out in the attached Notice of Decision and Findings on Material Questions of Fact.

If you require any further information in regard to this matter please contact the Application Secretariat on (02) 6207 1687.

Yours faithfully,
Administration Officer.

18 October 2007



NOTICE OF DECISION

UNDER PART 6 OF THE *LAND (PLANNING AND ENVIRONMENT) ACT 1991*

APPLICATION NO: 200700780 DATE LODGED: 31 August 2007

BLOCK : 14 SECTION : 56 SUBURB : LYNEHAM

ADDRESS:

APPLICANT :

LESSEE :

1.0 THE PROPOSAL

The application seeks approval for:

- (a) the erection of a two-storey library and administration building;
- (b) the erection of a two-storey college building;
- (c) the erection of a two-storey temple building;
- (d) the erection of a pagoda; and
- (e) associated landscaping, car parking, paving and other site works.

2.0 THE DECISION

Under section 222 of the *Land (Planning and Environment) Act 1991* ("the Land Act"), the "relevant authority" in relation to this application is the Planning and Land Authority.

I, *OWEN PANKHURST*, delegate of the Planning and Land Authority, pursuant to section 230 of the Act hereby **approve** the application subject to the following conditions imposed pursuant to section 245 of the Act:

General

1. that the development is to be carried out only in accordance with the following:
 - (a) drawings by Ton Design & Constructions:
 - Site Plan, dwg. No. A07//05, Sheet 1 of 24, 1 August 2007;
 - Landscape Plan, dwg. No. A07//01, Sheet 2 of 24, 1 August 2007
 - Revised Master Plan, dwg. No. A07//01, Sheet 03 of 24, 1 August 2007
 - Prajna Temple, Ground floor Plan, dwg. No. A07//05, Sheet 06 of 24, 1 August 2007
 - Prajna Temple, Upper floor Plan, dwg. No. A07//05, Sheet 07 of 24, 1 August 2007
 - Prajna Temple, Elevations, dwg. No. A07//05, Sheet 08 of 24, 1 August 2007
 - Prajna Temple, Elevations, dwg. No. A07//05, Sheet 09 of 24, 1 August 2007
 - Prajna Temple, Section, dwg. No. A07//05, Sheet 10 of 24, 1 August 2007
 - Giac Than Buddhist College, Ground floor Plan, dwg. No. A07//05, Sheet 11 of 24, 1 August 2007
 - Giac Than Buddhist College, Upper floor Plan, dwg. No. A07//05, Sheet 12 of 24, 1 August 2007
 - Giac Than Buddhist College, Elevations, dwg. No. A07//05, Sheet 13 of 24, 1 August 2007
 - Giac Than Buddhist College, Elevations, dwg. No. A07//05, Sheet 14 of 24, 1 August 2007
 - Giac Than Buddhist College, Section, dwg. No. A07//05, Sheet 15 of 24, 1 August 2007
 - Nagarjura Library, Ground floor Plan, dwg. No. A07//05, Sheet 16 of 24, 1 August 2007
 - Nagarjura Library, Upper floor Plan, dwg. No. A07//05, Sheet 17 of 24, 1 August 2007
 - Nagarjura Library, Elevations, dwg. No. A07//05, Sheet 18 of 24, 1 August 2007
 - Nagarjura Library, Elevations, dwg. No. A07//05, Sheet 19 of 24, 1 August 2007
 - Nagarjura Library, Section, dwg. No. A07//05, Sheet 20 of 24, 1 August 2007
 - Peace Pagoda, Ground floor Plan, dwg. No. A07//05, Sheet 21 of 24, 1 August 2007
 - Peace Pagoda, Upper floor Plan, dwg. No. A07//05, Sheet 22 of 24, 1 August 2007
 - Peace Pagoda, Elevation & Section, dwg. No. A07//05, Sheet 23 of 24, 1 August 2007; and

- (b) any amendments to those drawings or other items and additional drawings or other items approved or accepted in accordance with the following conditions;

Where there is an inconsistency between the drawings and items listed above and the following conditions, the conditions shall firstly prevail, then the amended or additional drawings or items, to the extent of that inconsistency;

Further Information Required

2. that within 28 days from the date of this decision, or within such further time as may be approved in writing by the Planning and Land Authority, the applicant shall lodge with the Planning and Land Authority for approval:
 - (a) revised architectural drawings, based on the relevant drawings referred to in the previous condition, showing:
 - (i) the reduced levels relative to Australian High Datum of the finished floor levels of all proposed buildings;
 - (b) an integrated site plan and landscape plan, based on the relevant drawing referred to in the previous condition, showing:
 - (i) the provision of additional car spaces within the site to meet the requirements of the ACT Parking and Vehicular Access Guidelines for the temple building to the satisfaction of the Authority;

Note: *It is considered that the halls within the temple have a capacity of approximately 200 persons and so the development needs a total of 50 car spaces in addition to those that exist.*
 - (ii) two (2) accessible car spaces located in appropriate locations, dimensioned and accessible in accordance with the ACT Planning Guidelines for Access and Mobility and AS1428.1;
 - (iii) a continuous accessible path or paths of travel providing access between all proposed buildings and all relevant facilities and the accessible car parking. Access shall be provided in accordance with AS1428.1;
 - (iv) details all proposed plant materials including: the location, species, stock size and numbers of all proposed plants;
 - (v) the type and finish of the proposed paving to pedestrian areas, driveways and parking areas to the satisfaction of the Authority. Areas for pedestrian access, driveways, and parking should be clearly delineated by differing paving

materials/patterns. Extensive areas of plain white concrete will not be approved; and

- (vi) the impervious paved areas reduced so as to increase the amount of on-site rainwater infiltration;
- (c) details of public area lighting demonstrating that lighting will be provided to public areas in accordance with the relevant Australian Standards and not result in an adverse impact to users of the public realm or the adjoining blocks;

Commencement

- 3. that no part of this development shall commence until the Planning and Land Authority has approved the further information required by the previous condition;

Note: this does not affect the date on which this approval becomes effective (see section 3.0 DATE THAT THIS APPROVAL TAKES EFFECT below). Before commencement this condition and any other conditions related to commencement must be complied with **and** the approval must be effective.

Approval

- 4. that this approval only includes the following works:
 - (a) the erection of a two-storey library and administration building;
 - (b) the erection of a two-storey college building;
 - (c) the erection of a two-storey temple building;
 - (d) the erection of a pagoda; and
 - (e) associated landscaping, car parking, paving and other site works.

Completion

- 5. that the approved development shall be completed within 24 months from the date of this approval or within such further time as may be approved in writing by the Planning and Land Authority;

Notes:

- 1. *Under section 251 of the Land Act this approval will expire if the development is not commenced within two years after the date of approval. There is no provision in the Land Act to extend the period specified for commencement.*
- 2. *Under section 252 the applicant may apply to the Planning and Land Authority for any extension to the period specified for completion, but such an application must be made within the original period specified for completion.*

Traffic Management

6. that at all times during construction the site and surrounds shall be managed in accordance with a Temporary Traffic Management Plan, prepared by a suitably qualified person and approved by the Manager, Asset Acceptance, Asset Management Services Group, TAMS and, where traffic control devices are proposed, the Manager, Asset Use, Roads ACT, City Management, TAMS under the *Road Transport (Safety and Traffic Management) Act 1999*. This plan is to address, as a minimum, measures to be employed during construction to manage all traffic, including construction traffic, in and around the site, provision of safe pedestrian movement around the site, the provision of parking for construction workers, and associated traffic control devices;

Unleased Territory Land

7. that, during construction, all existing vegetation (trees, shrubs and grass) located on the verge and unleased Territory land immediately adjacent to the development shall be managed, protected and maintained in accordance with Landscape Management Plan (LMP) approved by the Manager Asset Acceptance, Asset Management Services Group, TAMS. This plan is to be approved and implemented before the commencement of works, including demolition, on the site and is to be in accordance *City Management Guidelines for the Protection of Public Landscape Assets Adjacent to Development Works-REF-04*; and

Tree Protection

8. that the applicant/lessee shall protect and maintain in accordance with Canberra Landscape Guidelines all existing trees and shrubs located on the subject site, on adjoining blocks overhanging the subject site, on the verge and unleased Territory land immediately adjacent, except for those specifically identified for removal in the approved drawings and/or a Tree Management Plan. Tree protection fencing, if required, shall be erected prior to the commencement of any work on the site;

Note: *A Tree Management Plan is required where it is proposed to undertake groundwork within the tree protection zone of a protected tree or likely to cause damage to, or remove, any trees defined as protected trees under the Tree Protection Act 2005. Appendix 1 contains relevant advice*

3.0 DATE THAT THIS APPROVAL TAKES EFFECT

Unless a condition of approval provides for otherwise this approval is effective from the date of this notice. The effective date could be adjusted if the approval is reconsidered by the Planning and Land Authority or if an application for a review of the decision is made to the ACT Administrative Appeals Tribunal.

4.0 REASONS FOR THE DECISION

The application was approved because, in the form modified by the imposed conditions, it was considered to be consistent with the Territory Plan. Conditions have been imposed to address the key issues and ensure that the proposal is consistent with the Territory Plan.

Owen Pankhurst
Delegate of the Planning and Land Authority

15 October 2007

APPENDIX 1

1. Contact Telephone Numbers – Relevant Government Agencies**ACT PLANNING AND LAND AUTHORITY****Development Assessment**

DA Enquiries Owen Pankhurst	6207 9055
Applications Secretariat	6207 1687

DEPARTMENT OF TERRITORY AND MUNICIPAL SERVICES**Asset Management Services Group**

Asset Acceptance	6207 6594
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Environment Protection and Heritage

Environment Protection Unit	132281
Water Resources Unit	132281
Heritage Unit	132281
Tree Protection Unit	132281

ACT HEALTH

Health Protection Service	6205 1700
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OTHERS**Telstra**

Network Planning Engineer (Ted Murray)	6219 1213
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ActewAGL

Location of assets (Dial Before You Dig)	1100
Electricity reticulation (Doug Malcolm)	6293 5738

TransACT

Networks (Craig Seaton)	6229 8000
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2. Further Approvals

The attached notice of decision grants approval for those items listed at section 1.0. Further approvals from the Territory may be required, as follows:

Works on unleased Territory land - design acceptance

In accordance with the *Roads and Public Places Act 1937* no work is to be undertaken on unleased Territory Land without the approval of the Territory. Such approval is only given by way of a certificate of design acceptance from Asset Acceptance, Asset Management Services Group, TAMS. Unless a certificate of design acceptance is obtained, and the respective work completed in accordance with this certificate, a certificate of compliance under s179 of the Land Act, may not be issued. This applies to works such as the construction or upgrading of driveway verge crossings, the replacement of public foot paths, street lighting and verge landscaping.

Use of verges or other unleased Territory land

In accordance with the *Roads and Public Places Act 1937* road verges and other unleased Territory land shall not be used for the carrying out of works, including the storage of materials or waste, without the prior approval of the Territory through Asset Acceptance, TAMS.

Approval required for "Tree Damaging Activity"

A Tree Management Plan under the Tree Protection Act 2005 is required for approval where it is proposed to undertake groundwork within the tree protection zone of a protected tree or likely to cause damage to, or remove, any trees defined as protected trees by that Act. Consultation with Environment and Recreation is recommended in the preparation of the Tree Management Plan.

3. Conditions of Approval

Please read the conditions of your approval carefully. Some will require attention before the approved drawings will be released by the Authority, others before work commences and still others before the completion of building work.

4. Building Approval

Most building work requires Building Approval. If this applies to your proposal you should engage the services of a private building certifier to assess and approve the building plans. A list of private certifiers is available at the ACT Planning and Land Authority Customer Service Centre, 16 Challis Street Dickson. Office hours are 8.30am to 4.30pm, Monday to Friday. The list is also available on the Authority's website at www.actpla.act.gov.au/bepcon.

5. Other Advice

Environment Protection

All work shall be carried out in accordance with the *Environment Protection Act 1997*, particularly but not exclusively in relation to noise and pollution control. More Information may be obtained from Environment and Recreation.

Water Quality: Two copies of a sediment and erosion control plan must be submitted to EPA for approval prior to any site works commencing. In addition to what was submitted with the Development Application, the EPA requires details of the site contact, destination of any soil removed from the site, site management to avoid dust, dirt on the roadway, stabilised access, silt fencing details, alternatives to using potable water for dust suppression. Contact Steve Thomas on 6207 2142 for more details.

Noise: Noise during Construction that will take longer than 2 weeks:
Building work is permitted above the zone noise standard during the following hours:

Monday to Saturday 7am to 6pm
Sundays and Public Holidays no period specified

All mechanical plant (air conditioning, ventilation systems etc) must comply with the noise zone standard as outlined in the *Environment Protection Act 1997*.

Damage to Public Assets

It is the responsibility of the applicant/lessee to properly repair any damage to ACT Government assets (including footpaths) caused by the development. The applicant is urged to notify Roads ACT of any existing damage to public facilities before work commences, otherwise the applicant/lessee will be held responsible for all damage.

ActewAGL

The lessee should obtain a plant location advice from ActewAGL to avoid conflict with existing plant or electrical easements. The lessee will be responsible for the costs associated with the relocation of assets, if necessary.

The lessee is to ensure that the water service and water meter are retained in position and in good condition. ActewAGL water meters are accountable items and must not be removed from the site or otherwise disposed of.

Drainage

The *Building Code of Australia* contains provisions affecting surface drainage and the height of finished floor levels. These may apply to this proposal.

Demolition and Asbestos Management

Demolition and asbestos management must be undertaken in accordance with relevant Territory laws, namely the Building Act 2004 (including the Building Code of Australia) and the Dangerous Substances Act 2004. Relevant information is contained in the Authority's advisory note titled *Demolition*, November 2000. This document is available from the Planning and Land Authority Customer Service Centre, 16 Challis Street Dickson (Office hours: 8.30am to 4.30pm, Monday to Friday), or from the Authority's website at <http://www.actpla.act.gov.au/actpla/bepcon/build/demolition.pdf>

6. **Reconsideration of the Decision**

If you (the development applicant) are not satisfied with this decision, you are entitled to apply to the Planning and Land Authority for reconsideration within four weeks of the date of this notice.

Application forms are available from the Planning and Land Authority Customer Service Centre, 16 Challis Street, Dickson. The completed application, including grounds for the application and the lodgement fee may be lodged at the Customer Service Centre.

Within four weeks of receiving your application, or within such further time as agreed to by you, the Planning and Land Authority will either make a new decision or confirm the original decision.

An application for reconsideration does not prevent an application for a review of the same decision being made to the ACT Administrative Appeals Tribunal (AAT). You should be aware, however, that a reconsideration of the approval by the Planning and Land Authority will be suspended on the day an application for a review of the same decision is made to the AAT.

7. **Review of decisions by the Administrative Appeals Tribunal**

The following notes are provided in accordance with the ACT Administrative Appeals Tribunal (AAT) Code of Practice.

Reasons

If a decision has been made and you, as the applicant, have not already been given reasons for the decision, you are entitled to apply for a statement of reasons to explain why the decision was made. If you wish to obtain a statement of reasons you must make your request within 28 days of the date of this decision. Applications should be made to the Director, Development Services Branch, GPO Box 1908, CANBERRA ACT 2601.

This provision does not apply to objectors.

Review By The ACT Administrative Appeals Tribunal (AAT)

If your interests are adversely affected by this decision you may apply to the Tribunal for a review.

Decisions that are reviewable by the AAT are identified in Schedule 4 of the *Land (Planning and Environment) Act 1991*.

Contact details for the Tribunal are as follows:

Location:

Tribunals Branch

Magistrates Court

4 Knowles Place

CANBERRA ACT 2601

Postal Address:
GPO Box 370
CANBERRA ACT 2601

Telephone: 02 6217 4261

Facsimile: 02 6217 4505

Document Exchange: DX 5691

Web Address: www.courts.act.gov.au

Email: tribunals@act.gov.au

Powers of the AAT

The Tribunal is an independent body. It can review on their merits a large number of decisions made by ACT Government ministers, officials and statutory authorities.

The Tribunal can agree with; change or reject the original decision; substitute its own decision or send the matter back to the decision maker for reconsideration in accordance with Tribunal recommendations.

How to Apply to the AAT

To apply for a review, simply obtain an application form from the Tribunal or from the web address above. It outlines all the information needed by the Tribunal to process a review promptly.

Generally you should make your request for a review within 28 days of receiving this notice of the decision, but there are some variations to this time limit. The time limit can be extended in some circumstances. Check with the Tribunal Registry for more details.

If you are applying on behalf of an organisation or association of persons, whether incorporated or not, the Tribunal in deciding whether to support this application will consider the effect of the decision being reviewed on the interests of the organisation or association in terms of its objects or purposes. A copy of the relevant documents will be required to be lodged with the Tribunal.

Fees

When lodging an application with the Tribunal you will be required to pay an application fee of not less than \$165 (the Tribunal Registry will advise of the current fee). However, no fee is payable if you are receiving legal or financial assistance from the Attorney-General. If you are unable to pay the application fee you can apply to have the fee waived on the grounds of hardship, subject to approval. Ask at the Tribunal Registry for more details. You may also apply to the ACT Attorney General for financial assistance (refer to section 62 of the *Administrative Appeals Tribunal Act 1989*).

Decisions to grant assistance are made on the grounds of hardship and that it is reasonable, in all the circumstances, for the assistance to be granted. Write to: The Chief Executive, ACT Department of Justice and Community Safety, GPO Box 158, CANBERRA ACT 2601.

You will have to pay any costs involved in preparing or presenting your case.

The ACT Planning and Land Authority will be the Respondent to your case.

Legal Assistance

The following organisations can provide advice and assistance if you are eligible:

The ACT Legal Aid Office: phone 1300 654314

Legal Advice Bureau: phone 02 6247 5700

ACT Council of the Ageing: phone 02 6282 3777

Welfare Rights and Legal Centre: phone 02 6247 177

Access To Documents

You may apply for access to any documents you consider relevant to this decision under the ACT *Freedom of Information Act 1989*. For more information on how you can obtain these documents please send your request to: The Manager, Government and Assembly Relations, ACT Planning and Land Authority, GPO Box 1908, Canberra ACT 2601 or phone the Customer Services Centre 02 6207 1923.

What The AAT Will Do

After an appeal has been lodged, the Tribunal will notify the decision-maker (respondent) and request that he/she provide a statement setting out his/her findings on material questions of fact, referring to the evidence or material on which those findings were based and giving the reasons for the decision. Also he/she will be required to provide copies of all the documents that were considered relevant to the review of the decision. If you are a party to the appeal (AAT applicant or party joined) the Tribunal will provide you with the decision-maker's statement and related documents (Tribunal Documents or 'T-docs') when they have been received.

Party To A Proceeding

The decision-maker, under direction from the Tribunal, may be required to give notice of the appeal to certain persons who will then be given an opportunity to apply to be joined as a party to the proceedings. When lodging an application to be joined as a party to a proceeding you will be required to pay an application fee of not less than \$165 (the Tribunal Registry will advise of the current fee). Check with the Tribunal Registry for more information on whether your interests would be best served by becoming a party to a proceeding or lodging a separate appeal.

If a person whose interests are affected by the decision applies to be joined as a party, the tribunal may, **in its discretion**, by order, make that person a party to the proceeding.

Directions Hearing

Each party to the appeal will be given notice of a directions hearing which they are required to attend personally or to be represented by another person. At the directions hearing, the Tribunal may refer the appeal to a registered mediator. The Tribunal will also give directions to the parties, which are to be followed by them if the matter is not referred to mediation or in the event that mediation is not successful in resolving the appeal. You should be in a position at the directions hearing to inform the Tribunal of any problem with your availability or that of your witnesses to attend the hearing of the appeal. Time limits will be fixed for compliance with the Tribunal's directions. In the event that any party other than the decision-maker fails to comply with the Tribunal's directions that party may be struck out as a party or, in the case of the applicant, the appeal may be dismissed.

Mediation

It is now a requirement that before an appeal is heard the Tribunal must consider whether it is a suitable case for mediation and, if so, refer the appeal to a registered mediator and direct the parties to attend the mediation. You will be requested to indicate on a form provided to you by the Tribunal whether or not you wish to participate in mediation and to provide your reasons.

Mediation is a process by which an independent and neutral person helps you and other parties to identify concerns, evaluate options and reach agreement. The mediator will not make any judgement about who is right or wrong and if the mediation fails will not participate in the Tribunal hearing. If the Tribunal decides to refer your case to a mediator you will be informed of the place and time at which the mediation will be held.

Hearing

The hearing will take place in a hearing room at the Magistrates Court Building.

Prior to the hearing, a direction will have been issued requiring each party to provide to the Tribunal and the other parties a statement of facts and contentions, a copy of the statement of any witness proposed to be called to give evidence and any other material, such as plans and photographs, proposed to be presented to the Tribunal.

The statement of facts and contentions should set out the facts upon which each party relies, the evidence proposed to be presented to support those facts, the issues in the case to be resolved by the Tribunal and the submissions which each party wishes to make in support of the decision which they ask the Tribunal to make.

Ordinarily the person who lodged the appeal ("the applicant") will be asked to present his/her evidence first; then any other party supporting the applicant's case; then any party opposing the applicant's case ("the parties joined"); then the decision-maker ("the respondent"). Witnesses should be present, or by application to the Tribunal, available to give evidence by phone hook up. If

they are not present their evidence cannot be tested by cross-examination and may therefore be excluded.

For more detailed information on the hearing process please refer to the “*Guide to the Hearing*” on the Tribunal’s web site.

Time For Deciding Cases

The Tribunal is required to decide appeals in land and planning and tree protection cases within 120 days after the lodging of the appeal, unless that period is extended by the Tribunal upon it being satisfied that it is in the interests of justice to do so.

The following table will give some guidance to the timeframes for an appeal (days are approximate):

Day 1	Application for review lodged at the AAT
Day 16	T-docs lodged and applications for Parties Joined processed
Day 26	Directions Hearing
Day 33	Mediation session
Day 36	Mediation result
Day 50	Mediation successful – consent agreement lodged, case finalised
	Mediation unsuccessful
Day 57	AAT Applicant, and Parties Joined supporting Applicant, Facts and Contentions to be lodged
Day 78	Respondent, and Parties Joined opposing Applicant, Facts and Contentions to be lodged
Day 85	Parties to lodge material in reply
Day 95	Hearing
Day 120	Delivery of Decision

Costs

The Tribunal also has the power to award costs against a party if the party contravenes a direction of the Tribunal and the Tribunal considers it in the interests of justice to make such an order. This power is in addition to the power of the Tribunal to strike out a party and to dismiss an application for failure to comply with the Tribunal’s directions as outlined above.

8. Translation and Interpretation Service

ENGLISH	If you need interpreting help, telephone:
ARABIC	: إذا احتجت لمساعدة في الترجمة الشفوية ، إتصل برقم الهاتف :
CHINESE	如果你需要传译员的帮助，请打电话：
CROATIAN	Ako trebate pomoć tumača telefonirajte:
GREEK	Αν χρειάζεστε διερμηνέα τηλεφωνήσετε στο
ITALIAN	Se avete bisogno di un interprete, telefonate al numero:
PERSIAN	: اگر به ترجمه شفاهی احتیاج دارید به این شماره تلفن کنید:
PORTUGUESE	Se você precisar da ajuda de um intérprete, telefone:
SERBIAN	Ако вам је потребна помоћ преводиоца телефонирајте:
SPANISH	Si necesita la asistencia de un intérprete, llame al:
TURKISH	Tercümana ihtiyacımız varsa lütfen telefon ediniz:
VIETNAMESE	Nếu bạn cần một người thông-ngôn hãy gọi điện-thoại:

TRANSLATING AND INTERPRETING SERVICE

131 450

Canberra and District - 24 hours a day, 7 days a week



[REDACTED]

Dear Sir / Madam

**BLOCK 14 SECTION 56 - SUBURB: LYNEHAM
Development Application Number: 200700780**

Lessee: [REDACTED]

I refer to plans you submitted in response to condition 2(a) and (b) of the Notice of Decision with respect to the above development application.

The plans now satisfy condition 2(a) and (b) of the decision and have been approved as part of the above Development Application.

Enclosed are copies of the approved plans.

Please note that any other outstanding conditions of approval in the Notice of Decision may need to be addressed prior to development commencing on site.

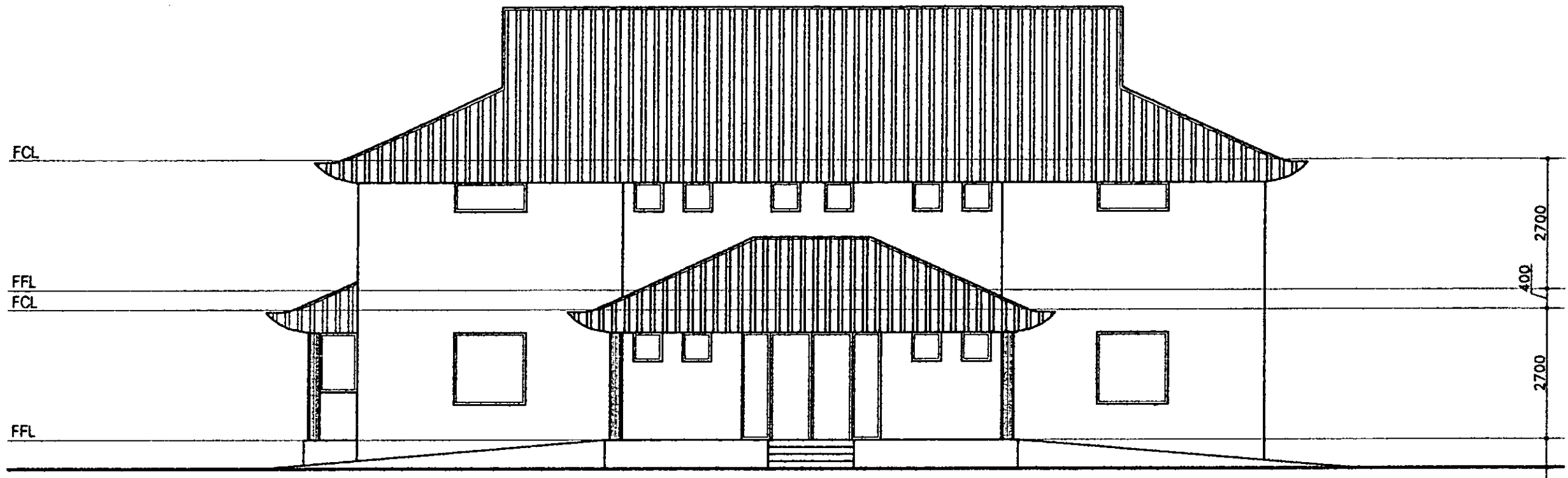
If you would like to discuss this matter further please telephone (02) 6207 9055.

Yours sincerely

[REDACTED]

Owen Pankhurst
Assessment Officer
Development Assessment Section
Development Services Branch

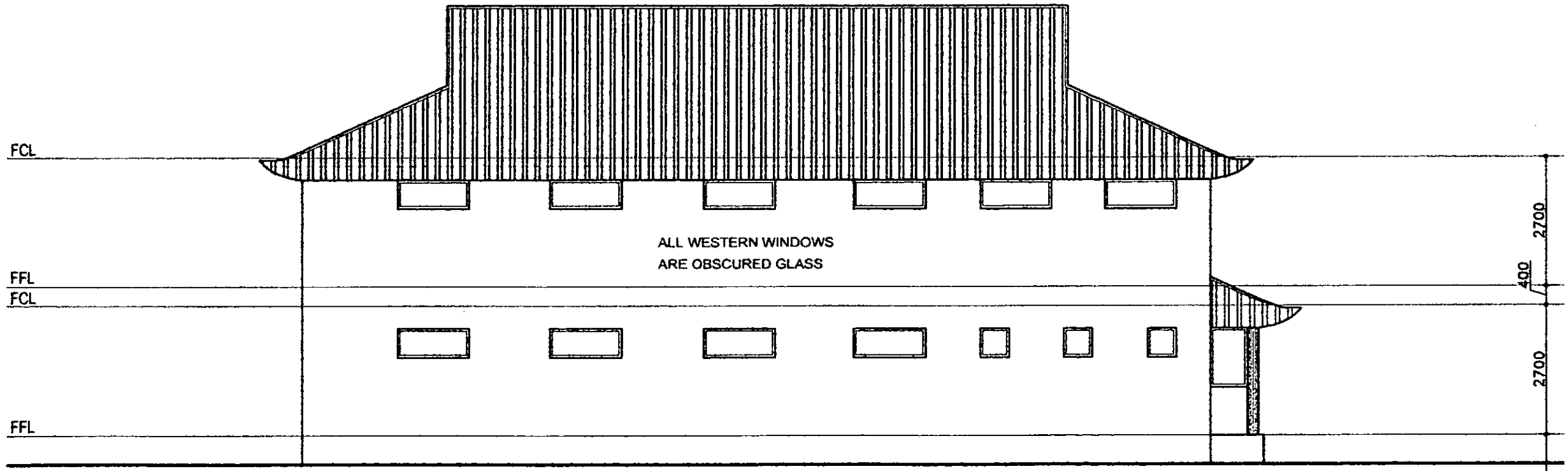
8 May 2008



DISABLE ACCESS RAMP TO COMPLY
IN ACCORDANCE WITH AS1428.1 AND
AS PER BUILDERS SPECIFICATIONS

EAST ELEVATION

DISABLE ACCESS RAMP TO COMPLY
IN ACCORDANCE WITH AS1428.1 AND
AS PER BUILDERS SPECIFICATIONS



ALL WESTERN WINDOWS
ARE OBSCURED GLASS

WEST ELEVATION

FACE BRICKWORK (SMOOTH CREAM)
TO MATCH EXISTING

POWDER COATED ALUMINIUM
WINDOWS TO MATCH EXISTING

TERRACOTTA ROOFTILES TO
MATCH EXISTING (CLARET)
ROOF CONSTRUCTION TO
MANUFACTURERS & BUILDERS SPES.

NAGARJURA LIBRARY - ELEVATIONS

GENERAL NOTES

CARRY OUT ALL WORK IN COMPLIANCE WITH THE RELEVANT
SAA CODES OF PRACTICE IN THE BEST TRADESMAN-LIKE
MANNER TO THE APPROVAL OF THE SUPERINTENDENT AND
AUTHORITIES HAVING JURISDICTION OVER THE WORKS
INCLUDING BUT NOT RESTRICTED TO:

- A) ACT GOVERNMENT
- B) BCA AND THE ACT APPENDIX
- C) ACT ELECTRICITY AND WATER
- D) AS 1684 TIMBER FRAMING CODE AND AS
FURTHER SPECIFIED

ALL DIMENSIONS MUST BE VERIFIED ON SITE BEFORE
COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.
USE FIGURED DIMENSIONS ONLY.
DO NOT SCALE OFF THE DRAWING.

AMENDMENTS:

PROJECT

PROPOSED NEW WORK
NAGARJURA LIBRARY

DRAWING TITLE

ELEVATIONS

CLIENT

SAKYAMUNI BUDDHIST CENTRE

BLOCK / LOT

14

SECTION

56

DIVISION / SUBURB

LYNEHAM

TON DESIGN & CONSTRUCTIONS



24 Skardon Street
Kaleen ACT 2617
Ph/Fax: 6253 8272
Mob: 0412 628 244

SCALE

1 : 100

SHEET No.

18 OF 24

DATE

August 01 2007

DRAWING No.

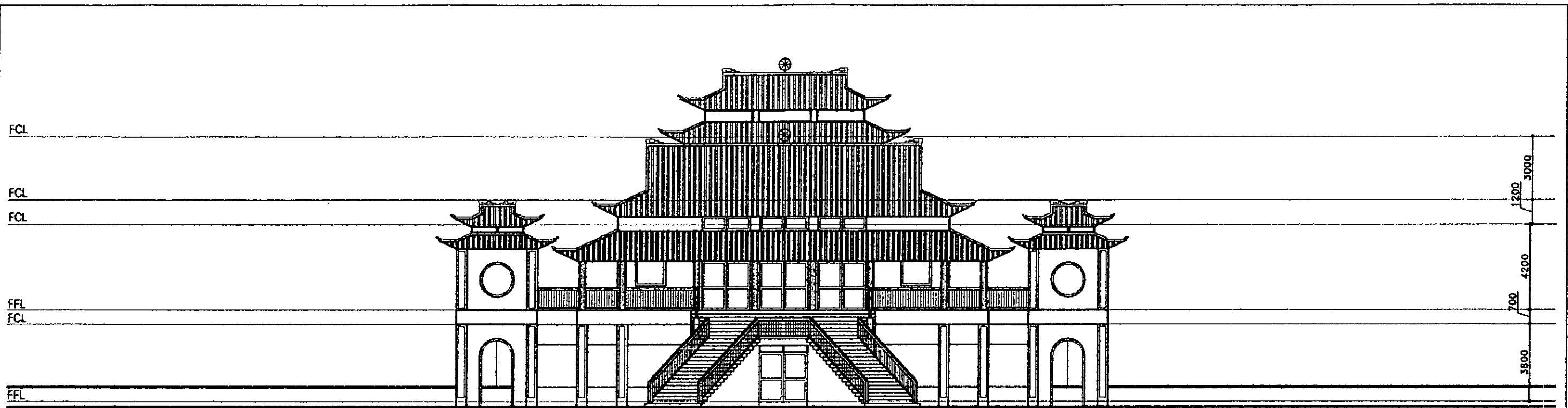
A07/05

CHECKED BY

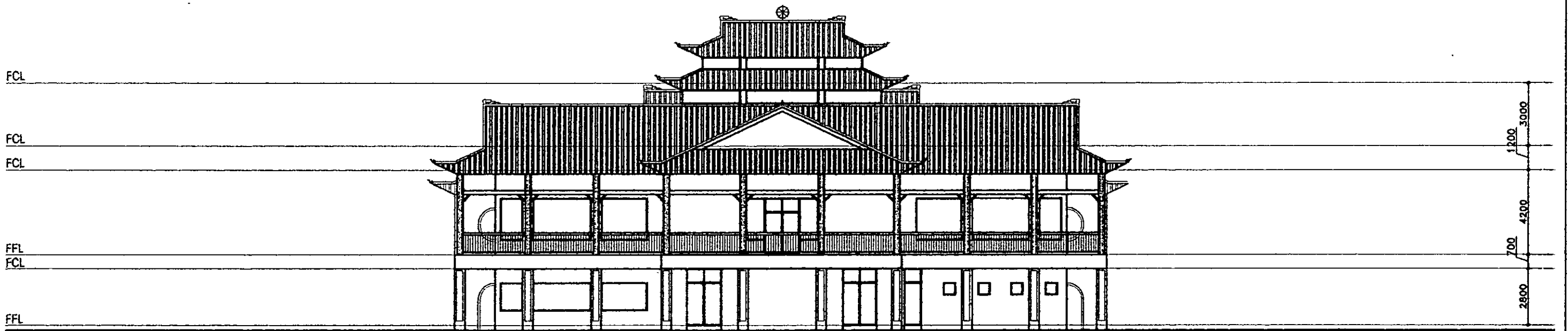
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DRAWN BY

TS



SOUTH ELEVATION



NORTH ELEVATION

FACE BRICKWORK (SMOOTH CREAM)
TO MATCH EXISTING


HANDRAIL CONSTRUCTIONS AS
PER BUILDERS SPECIFICATIONS

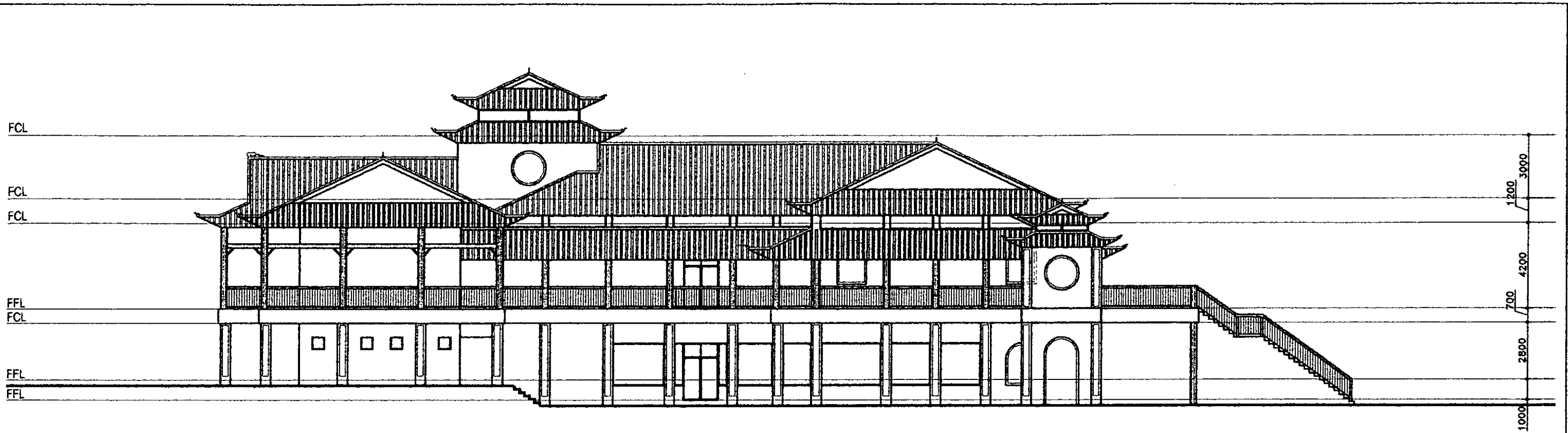
BALCONY CONSTRUCTIONS AS

TERRACOTTA ROOFTILES TO
MATCH EXISTING (CLARET)

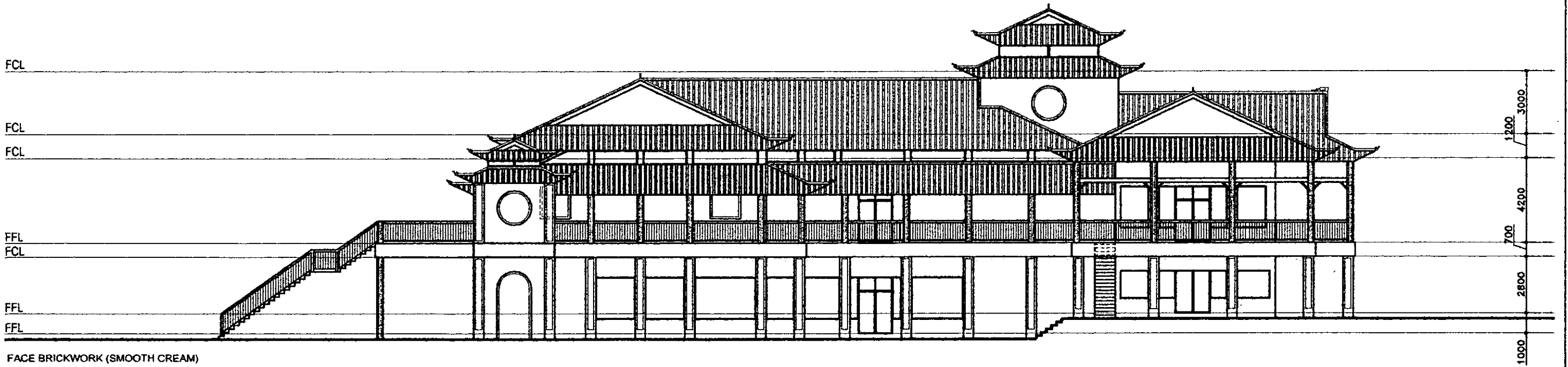
ROOF CONSTRUCTION TO
MANUFACTURERS & BUILDERS SPES.

PRAJNA TEMPLE - ELEVATIONS

GENERAL NOTES CARRY OUT ALL WORK IN COMPLIANCE WITH THE RELEVANT SAA CODES OF PRACTICE IN THE BEST TRADESMAN-LIKE MANNER TO THE APPROVAL OF THE SUPERINTENDENT AND AUTHORITIES HAVING JURISDICTION OVER THE WORKS INCLUDING BUT NOT RESTRICTED TO: A) NSW GOVERNMENT B) DCA AND THE NSW APPENDIX C) NSW ELECTRICITY AND WATER D) AS 1684 TIMBER FRAMING CODE AND AS FURTHER SPECIFIED	AMENDMENTS: 	TON DESIGN & CONSTRUCTIONS  24 Skardon Street Kaleen ACT 2617 Ph/Fax: 6253 8272 Mob: 0412 628 244	PROJECT PROPOSED NEW WORK PRAJNA TEMPLE	CLIENT SAKYAMUNI BUDDHIST CENTRE	SCALE 1 : 200	SHEET No. 08 OF 24
			DRAWING TITLE ELEVATIONS	BLOCK / LOT 14	SECTION 56	DATE August 01 2007



WEST ELEVATION



EAST ELEVATION

FACE BRICKWORK (SMOOTH CREAM)
TO MATCH EXISTING


HANDRAIL CONSTRUCTIONS AS
PER BUILDERS SPECIFICATIONS

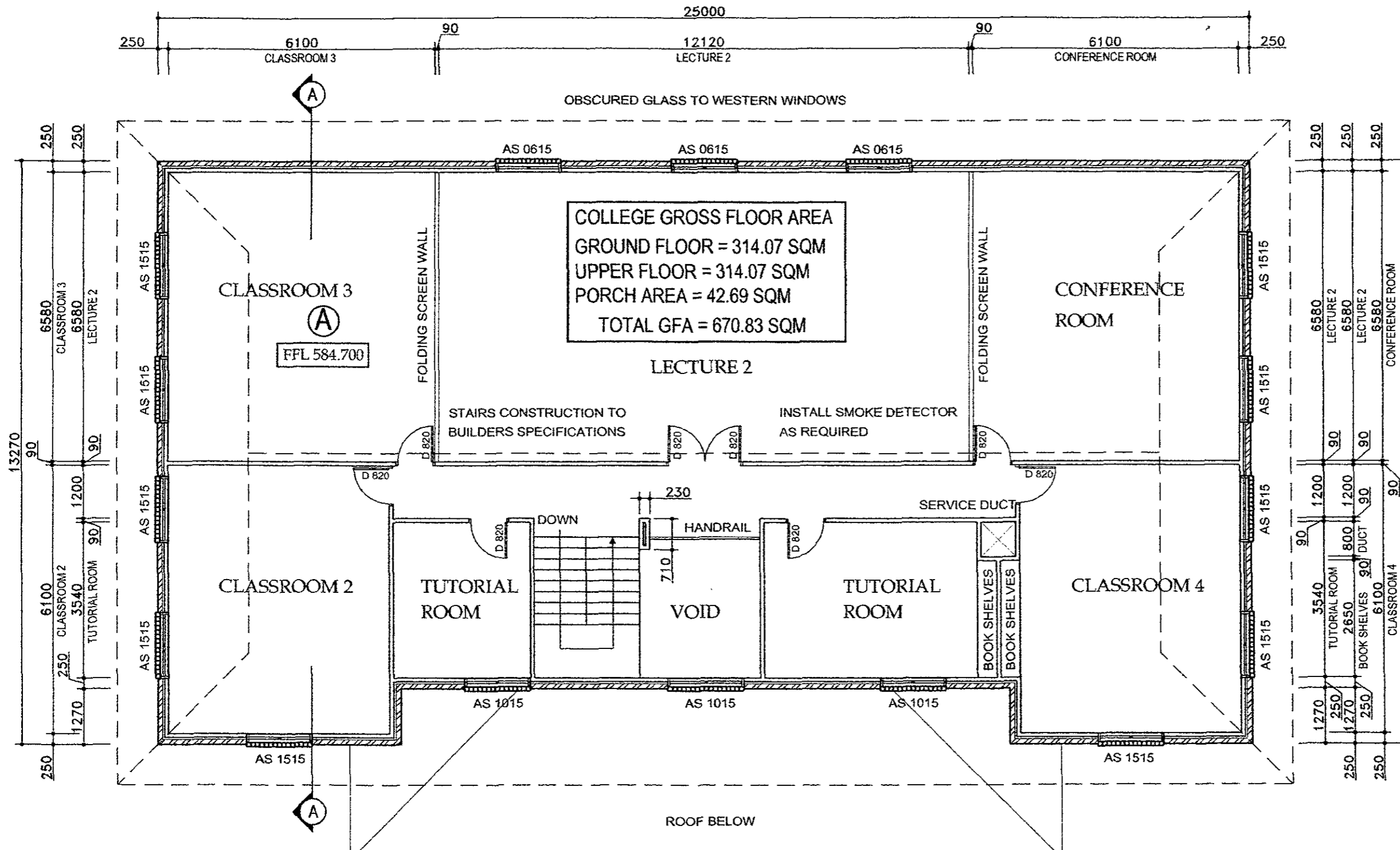
BALCONY CONSTRUCTIONS AS
PER BUILDERS SPECIFICATIONS

TERRACOTTA ROOFTILES TO
MATCH EXISTING (CLARET)

ROOF CONSTRUCTION TO
MANUFACTURERS & BUILDERS SPES.

PRAJNA TEMPLE - ELEVATIONS

GENERAL NOTES CARRY OUT ALL WORK IN COMPLIANCE WITH THE RELEVANT SAA CODES OF PRACTICE IN THE BEST TRADESMAN-LIKE MANNER TO THE APPROVAL OF THE SUPERINTENDENT AND AUTHORITIES HAVING JURISDICTION OVER THE WORKS INCLUDING BUT NOT RESTRICTED TO: A) NSW GOVERNMENT B) BCA AND THE NSW APPENDIX C) NSW ELECTRICITY AND WATER D) AS 1684 TIMBER FRAMING CODE AND AS FURTHER SPECIFIED		AMENDMENTS: 		TON DESIGN & CONSTRUCTIONS  24 Skardon Street Kaleen ACT 2617 Ph/Fax: 6253 8272 Mob: 0412 628 244		PROJECT PROPOSED NEW WORK PRAJNA TEMPLE DRAWING TITLE ELEVATIONS		CLIENT SAKYAMUNI BUDDHIST CENTRE BLOCK / LOT 14		SECTION 56 DIVISION / SUBURB LYNEHAM		SCALE 1 : 200 DATE August 01 2007		SHEET No. 09 OF 24 A07/05	
CHECKED BY TS		DRAWN BY TS													



GENERAL NOTES

CARRY OUT ALL WORK IN COMPLIANCE WITH THE RELEVANT SAA CODES OF PRACTICE IN THE BEST TRADESMAN-LIKE MANNER TO THE APPROVAL OF THE SUPERINTENDENT AND AUTHORITIES HAVING JURISDICTION OVER THE WORKS INCLUDING BUT NOT RESTRICTED TO:

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 B) BCA AND THE ACT APPENDIX
 C) ACT ELECTRICITY AND WATER
 D) AS 1684 TIMBER FRAMING CODE AND AS FURTHER SPECIFIED

ALL DIMENSIONS MUST BE VERIFIED ON SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. USE FIGURED DIMENSIONS ONLY. DO NOT SCALE OFF THE DRAWING.

REVISED PLAN : 10/11/07

A)	ADD REDUCED LEVELS ON PLAN
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PROJECT	PROPOSED NEW WORK GIAC TANH BUDDHIST COLLEGE
---------	---

DRAWING TITLE	UPPER FLOOR PLAN
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CLIENT	SAKYAMUNI BUDDHIST CENTRE
BLOCK / LOT	14
SECTION	56
DIVISION / SUBURB	LYNEHAM

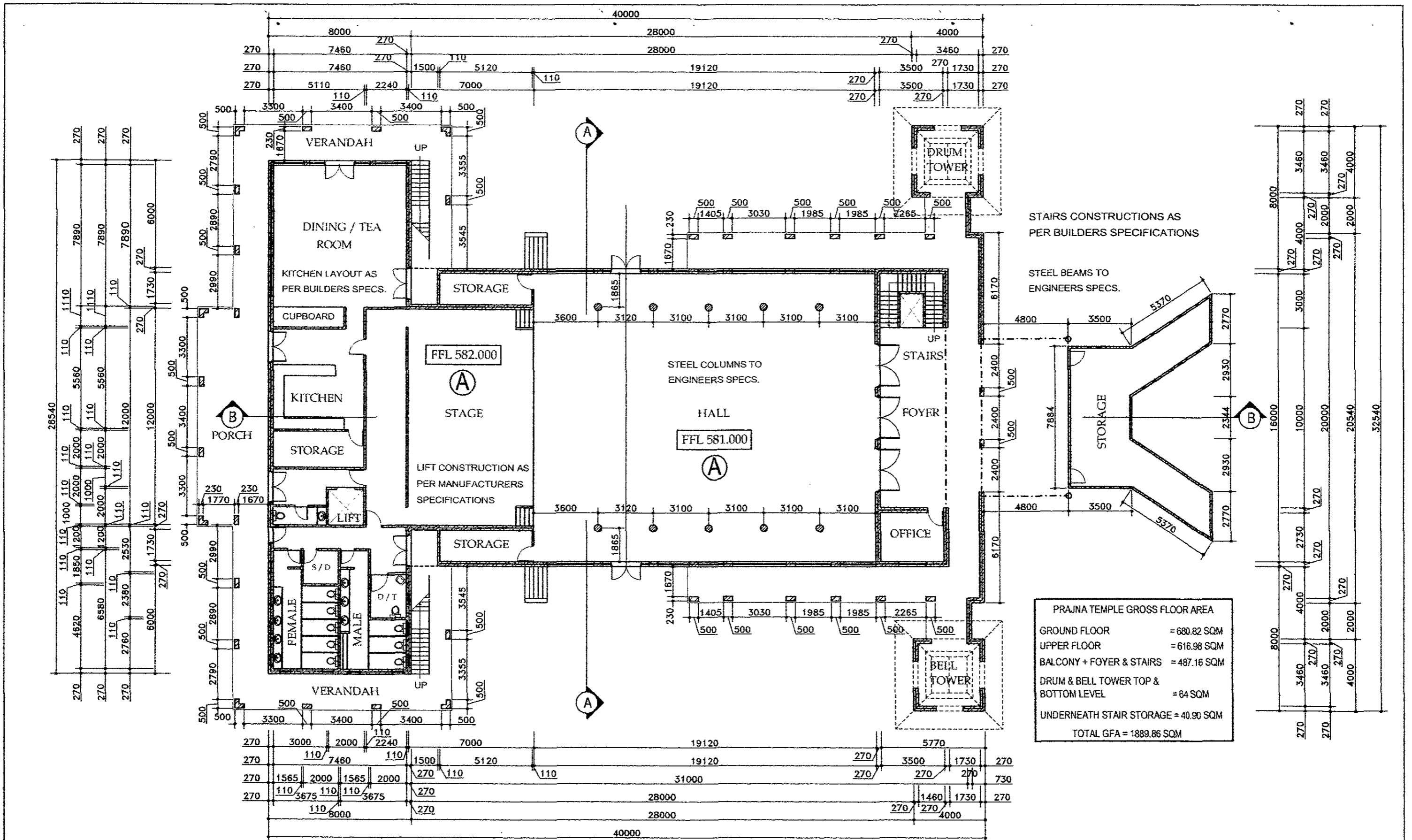
TON DESIGN & CONSTRUCTIONS

24 Skardon Street
 Kaleen ACT 2617
 Ph/Fax: 6253 8272
 Mob: 0412 628 244

TECHNICAL SERVICES

SCALE	1 : 100	SHEET No.	12 OF 24
DATE	August 01 2007	DRAWING No.	A07/05
CHECKED BY	TS	DRAWN BY	TS

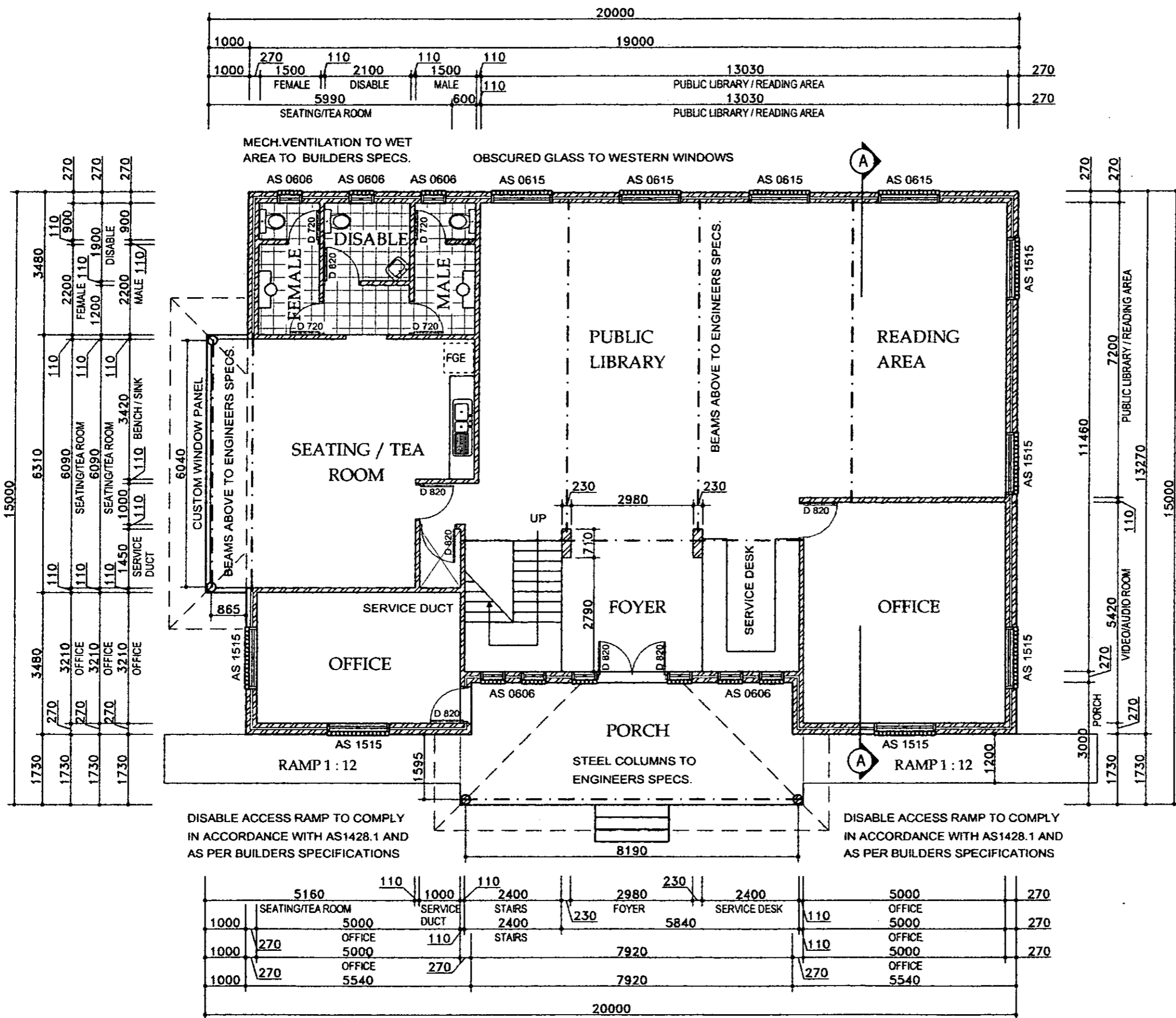
GIAC TANH BUDDHIST COLLEGE - UPPER FLOOR PLAN



PRAJNA TEMPLE GROSS FLOOR AREA	
GROUND FLOOR	= 680.82 SQM
UPPER FLOOR	= 616.98 SQM
BALCONY + FOYER & STAIRS	= 487.16 SQM
DRUM & BELL TOWER TOP & BOTTOM LEVEL	= 84 SQM
UNDERNEATH STAIR STORAGE	= 40.90 SQM
TOTAL GFA	= 1889.86 SQM

PRAJNA TEMPLE - GROUND FLOOR PLAN

<p>GENERAL NOTES</p> <p>CARRY OUT ALL WORK IN COMPLIANCE WITH THE RELEVANT SAA CODES OF PRACTICE IN THE BEST TRADESMAN LIKE MANNER TO THE APPROVAL OF THE SUPERINTENDENT AND AUTHORITIES HAVING JURISDICTION OVER THE WORKS INCLUDING BUT NOT RESTRICTED TO:</p> <p>A) NSW GOVERNMENT B) BCA AND THE NSW APPENDIX C) NSW ELECTRICITY AND WATER D) AS 1684 TIMBER FRAMING CODE AND AS FURTHER SPECIFIED</p> <p>ALL DIMENSIONS MUST BE VERIFIED ON SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. USE FIGURED DIMENSIONS ONLY. DO NOT SCALE OFF THE DRAWING. SURVEYOR TO CONFIRM EASEMENT LOCATIONS PRIOR TO COMMENCEMENT OF ANY WORKS.</p>	<p>REVISED PLAN : 10/11/07</p> <p>ADD REDUCED LEVELS ON PLAN</p>	<p>TON DESIGN & CONSTRUCTIONS</p> <p>24 Skardon Street Kaleen ACT 2617 Ph/Fax: 6253 8272 Mob: 0412 628 244</p> <p>TECHNICAL SERVICES</p>	<p>PROJECT</p> <p>PROPOSED NEW WORK PRAJNA TEMPLE</p> <p>DRAWING TITLE</p> <p>GROUND FLOOR PLAN</p>	<p>CLIENT</p> <p>SAKYAMUNI BUDDHIST CENTRE</p> <p>BLOCK / LOT</p> <p>14</p> <p>SECTION</p> <p>56</p> <p>DIVISION / SUBURB</p> <p>LYNEHAM</p>	<p>SCALE</p> <p>1 : 200</p> <p>DATE</p> <p>August 01 2007</p> <p>CHECKED BY</p> <p>TS</p> <p>DRAWN BY</p> <p>TS</p>	<p>SHEET No.</p> <p>06 OF 24</p> <p>A07/05</p>
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DISABLE ACCESS RAMP TO COMPLY IN ACCORDANCE WITH AS1428.1 AND AS PER BUILDERS SPECIFICATIONS

DISABLE ACCESS RAMP TO COMPLY IN ACCORDANCE WITH AS1428.1 AND AS PER BUILDERS SPECIFICATIONS

	5160	110	1000	110	2400	2980	230	2400	5000	270
1000	SEATING/TEA ROOM		SERVICE DUCT		STAIRS	FOYER		SERVICE DESK	OFFICE	
	5000		110		2400	230	5840		5000	270
1000	OFFICE				STAIRS				OFFICE	
	5000					7920			5000	270
1000	OFFICE		270			7920			OFFICE	
	5540								5540	
						20000				

GENERAL NOTES

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AMENDMENTS:

PROJECT
**PROPOSED NEW WORK
 NAGARJURA LIBRARY**

DRAWING TITLE
GROUND FLOOR PLAN

CLIENT
SAKYAMUNI BUDDHIST CENTRE

BLOCK / LOT
 14 SECTION
 56

DIVISION / SUBURB
LYNEHAM

TON DESIGN & CONSTRUCTIONS



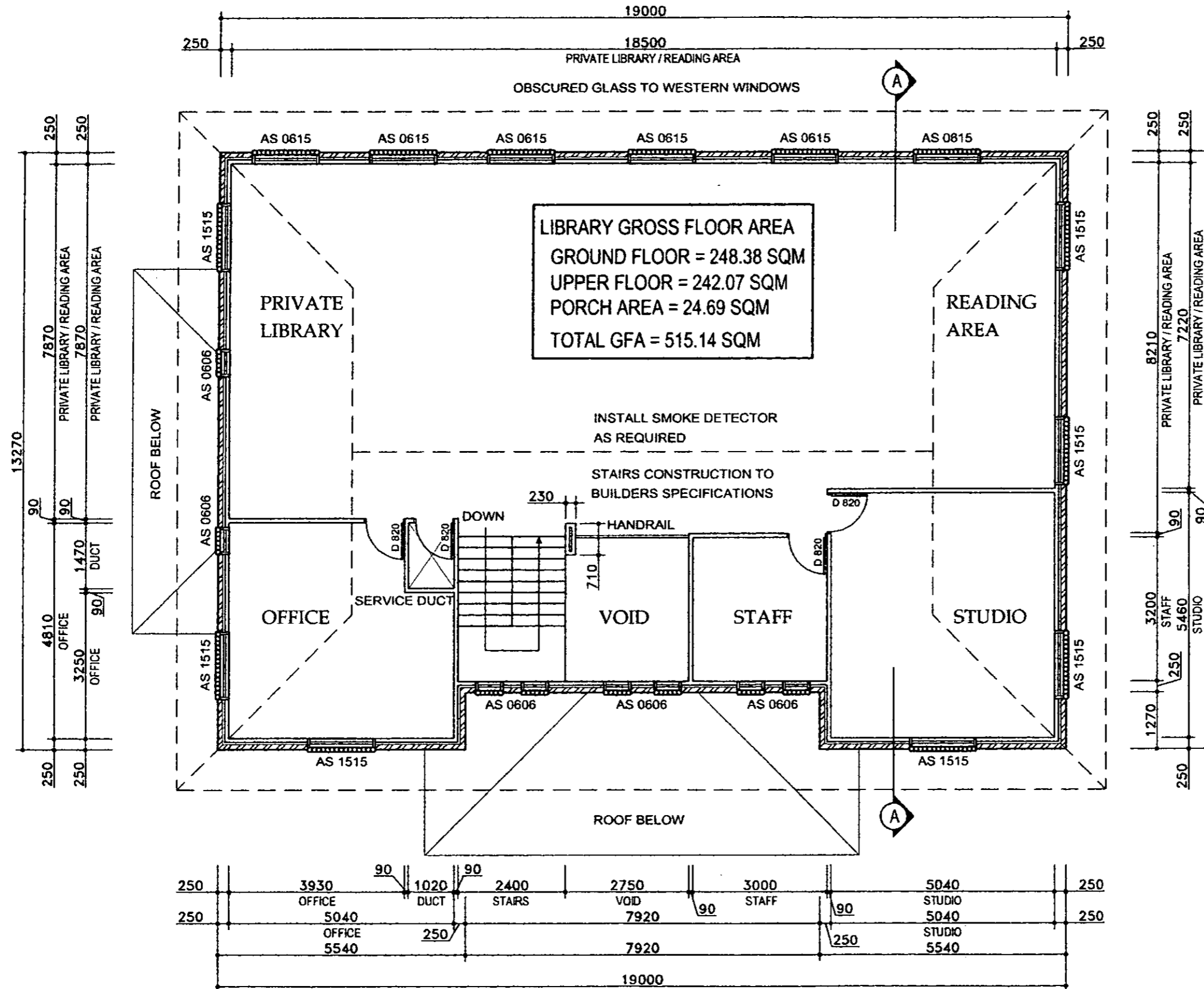
24 Skardon Street
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 Mob: 0412 628 244

SCALE
 1 : 100 SHEET No.
 16 OF 24

DATE
 August 01 2007 DRAWING No.
 A07/05

CHECKED BY
 TS DRAWN BY
 TS

NAGARJURA LIBRARY - GROUND FLOOR PLAN



250	3930	90	1020	90	2400	2750	3000	5040	250
	OFFICE		DUCT		STAIRS	VOID	STAFF	STUDIO	
250	5040					7920	90	5040	250
	OFFICE							STUDIO	
	5540	250				7920	250	5540	
						19000			

GENERAL NOTES

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 B) BCA AND THE ACT APPENDIX
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 USE FIGURED DIMENSIONS ONLY.
 DO NOT SCALE OFF THE DRAWING.

AMENDMENTS:

PROJECT	
PROPOSED NEW WORK NAGARJURA LIBRARY	
DRAWING TITLE	
UPPER FLOOR PLAN	
CLIENT	
SAKYAMUNI BUDDHIST CENTRE	
BLOCK / LOT	SECTION
14	56
DIVISION / SUBURB	
LYNEHAM	

TON DESIGN & CONSTRUCTIONS



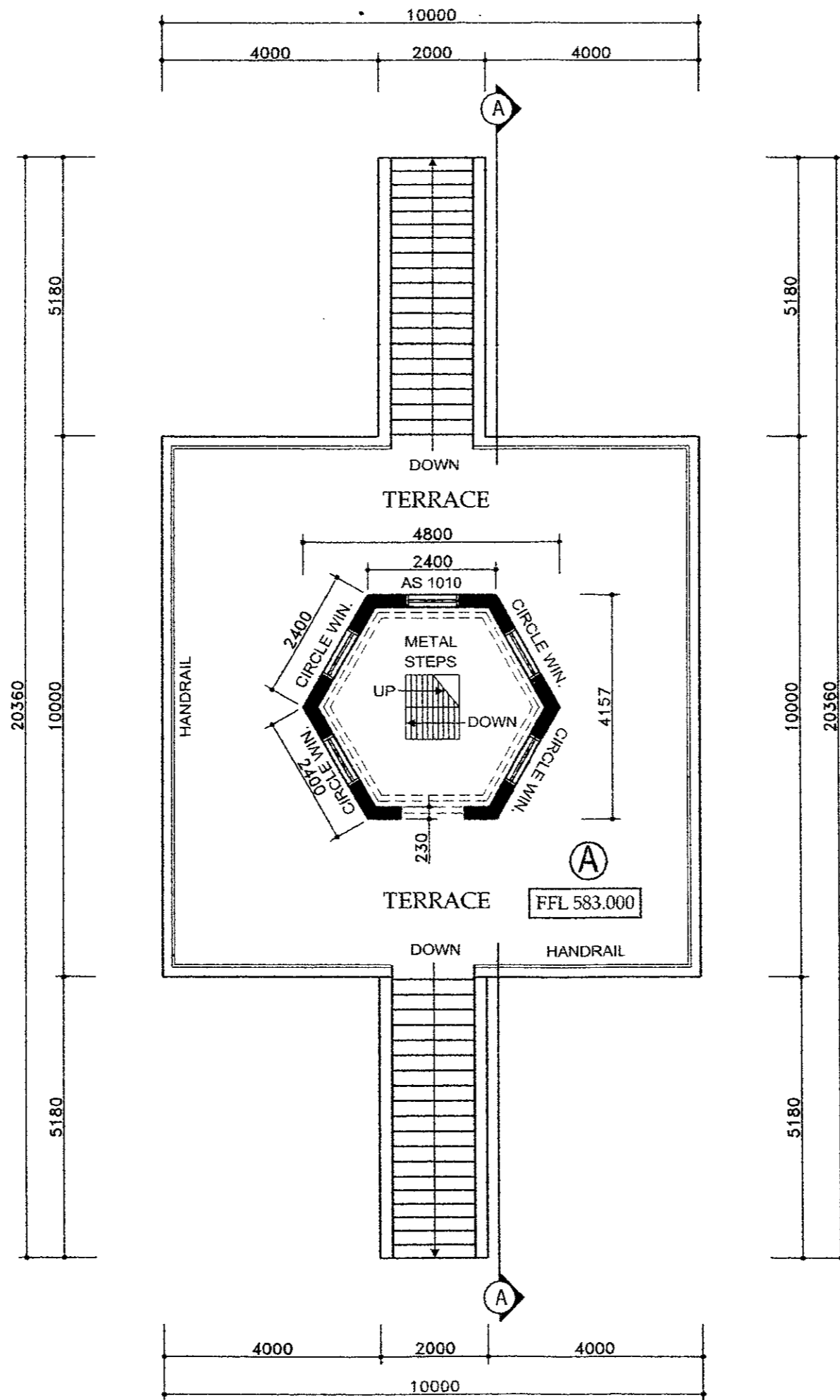
24 Skardon Street
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 Mob: 0412 628 244

SCALE	SHEET No.
1 : 100	17 OF 24
DATE	DRAWING No.
August 01 2007	A07/05
CHECKED BY	DRAWN BY
TS	TS

NAGARJURA LIBRARY - UPPER FLOOR PLAN

PERGODA CONSTRUCTION AS PER ENGINEERS AND BUILDERS SPECS.

HANDRAIL CONSTRUCTION AS PER ENGINEERS AND BUILDERS SPECS.



GROSS FLOOR AREA
 UPPER FLOOR 1 = 14.96 SQM
 UPPER FLOOR 2 = 13.42 SQM
 UPPER FLOOR 3 = 11.96 SQM
 UPPER FLOOR 4 = 10.59 SQM
 UPPER FLOOR 5 = 9.30 SQM
 TERRACE = 85.04 SQM
 TOTAL = 145.27 SQM

GENERAL NOTES

CLARK'S BEST WORK IN COMPLIANCE WITH THE RELEVANT
 BAA CODES OF PRACTICE IN THE BEST TRADESMAN LIKE
 MANNER TO THE APPROVAL OF THE SUPERVISOR AND
 AUTHORITY HAVING JURISDICTION OVER THE WORKS
 INCLUDING BUT NOT RESTRICTED TO:
 A) ACT 40/1984
 B) BGA AND THE ACT THEREBY
 C) ACT ELECTRICITY AND WATER
 D) AS 1504 TENDER TRAINING CODE AND AS
 FURTHER SPECIFIED
 ALL DIMENSIONS MUST BE CHECKED ON SITE BEFORE
 COMMENCING ANY WORK. ON MAKING AND SHOP DRAWINGS
 USE PLUMBING DIMENSIONS ONLY
 DO NOT SCALE OFF THE DRAWING

REVISED PLAN : 10/11/07

Ⓐ ADD REDUCED LEVELS ON PLAN

PROJECT

PROPOSED NEW WORK
 PEACE PAGODA

DRAWING TITLE

UPPER FLOOR PLAN

CLIENT

SAKYAMUNI BUDDHIST CENTRE

BLOCK / LOT SECTION

14 56

DIVISION / SUBURB

LYNEHAM

TON DESIGN & CONSTRUCTIONS



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TECHNICAL SERVICES

SCALE SHEET No.

1 : 100 22 OF 24

DATE DRAWING No.

August 01 2007 A07/05

CHECKED BY DRAWN BY

TS TS

PEACE PAGODA - TYPICAL UPPER FLOOR PLAN

GENERAL NOTES

CARRY OUT ALL WORK IN COMPLIANCE WITH THE RELEVANT SAA CODES OF PRACTICE IN THE BEST TRADESMAN-LIKE MANNER TO THE APPROVAL OF THE SUPERINTENDENT AND AUTHORITIES HAVING JURISDICTION OVER THE WORKS INCLUDING BUT NOT RESTRICTED TO:
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 B) DCA AND THE ACT APPENDIX
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AMENDMENTS:

No.	Description

PROJECT
**PROPOSED NEW WORK
 PEACE PAGODA**

DRAWING TITLE
BASEMENT FLOOR PLAN

CLIENT
SAKYAMUNI BUDDHIST CENTRE

BLOCK / LOT	SECTION
14	56

DIVISION / SUBURB
LYNEHAM

TON DESIGN & CONSTRUCTIONS



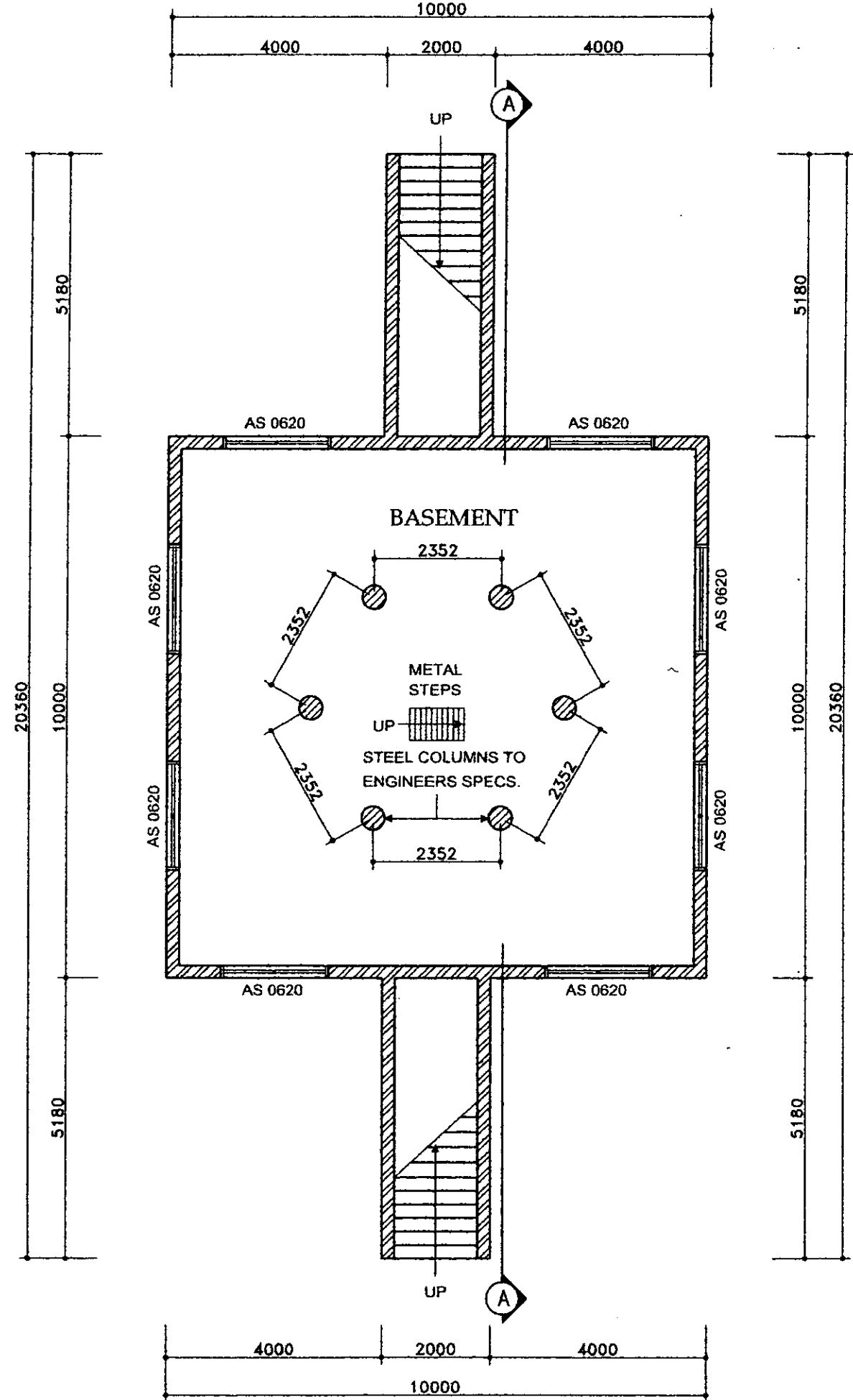
24 Skardon Street
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 Mob: 0412 628 244

SCALE	SHEET No.
1 : 100	21 OF 24

DATE	DRAWING No.
August 01 2007	A07/05

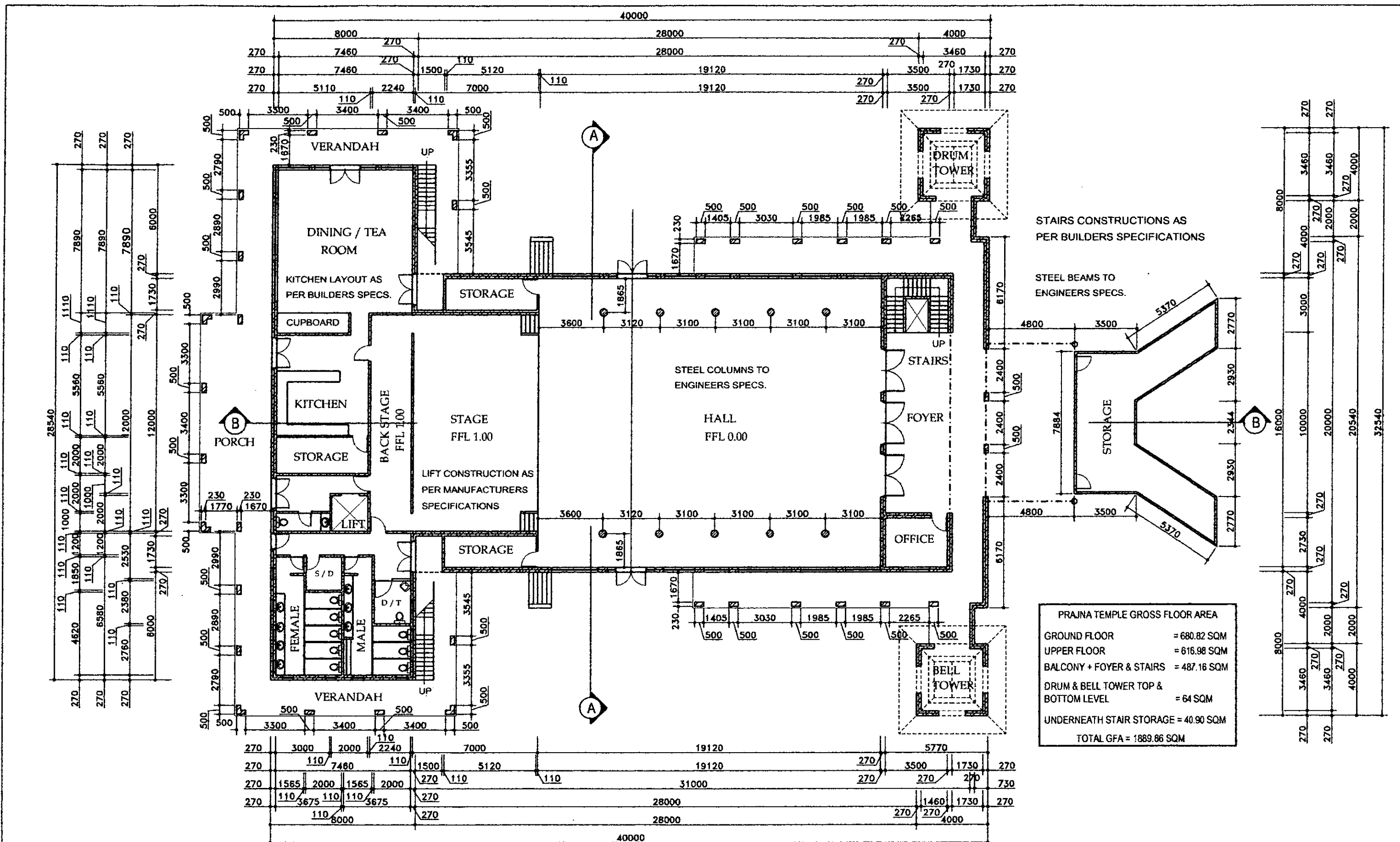
CHECKED BY	DRAWN BY
TS	TS

GROSS FLOOR AREA
 GROUND FLOOR = 100 SQM
 STAIRS = 20.72 SQM
 TOTAL = 120.72 SQM




PERGODA CONSTRUCTION AS PER ENGINEERS AND BUILDERS SPECS.

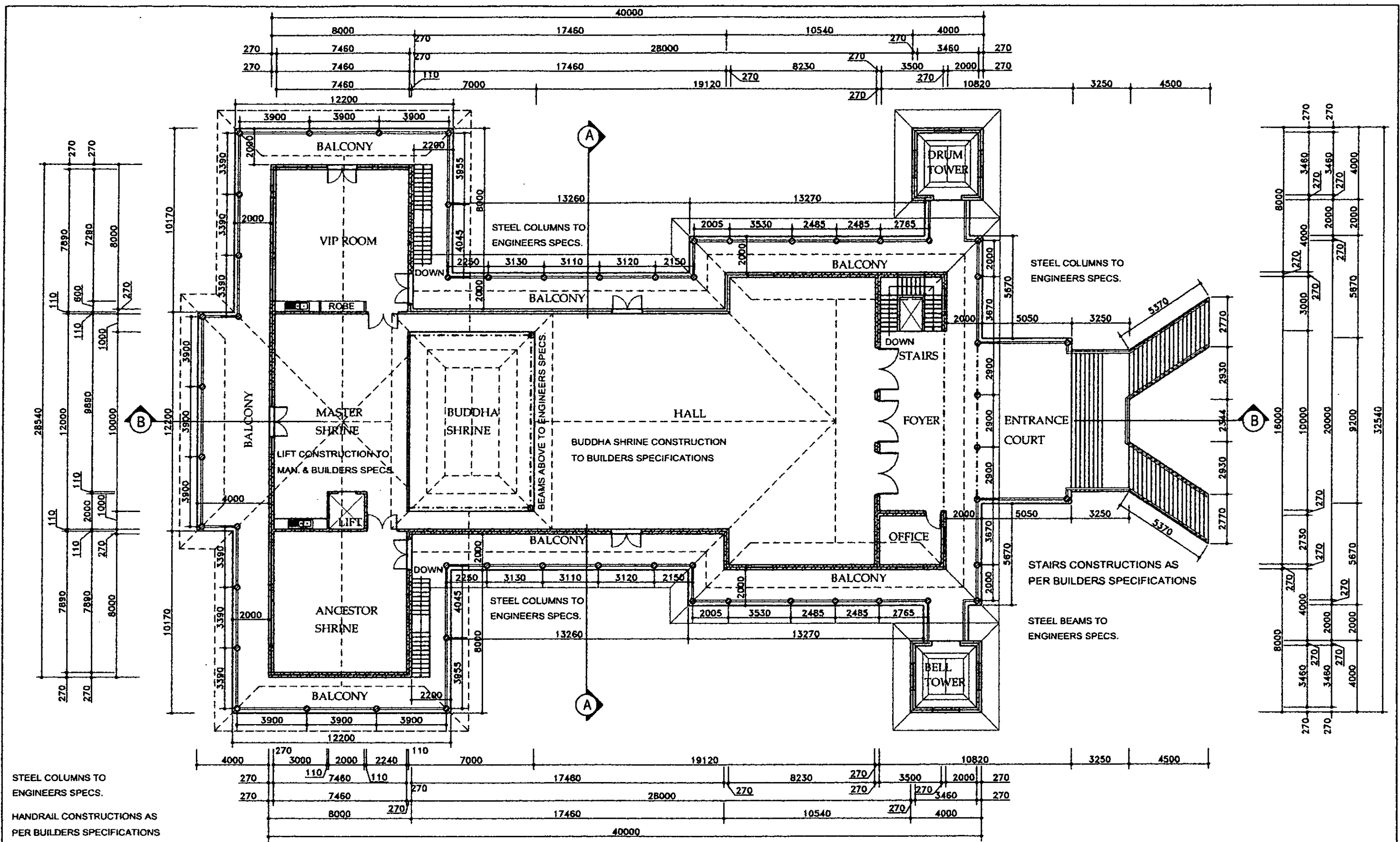
PEACE PAGODA - GROUND FLOOR PLAN




PRAJNA TEMPLE GROSS FLOOR AREA	
GROUND FLOOR	= 680.82 SQM
UPPER FLOOR	= 616.98 SQM
BALCONY + FOYER & STAIRS	= 487.16 SQM
DRUM & BELL TOWER TOP & BOTTOM LEVEL	= 64 SQM
UNDERNEATH STAIR STORAGE	= 40.90 SQM
TOTAL GFA	= 1889.86 SQM

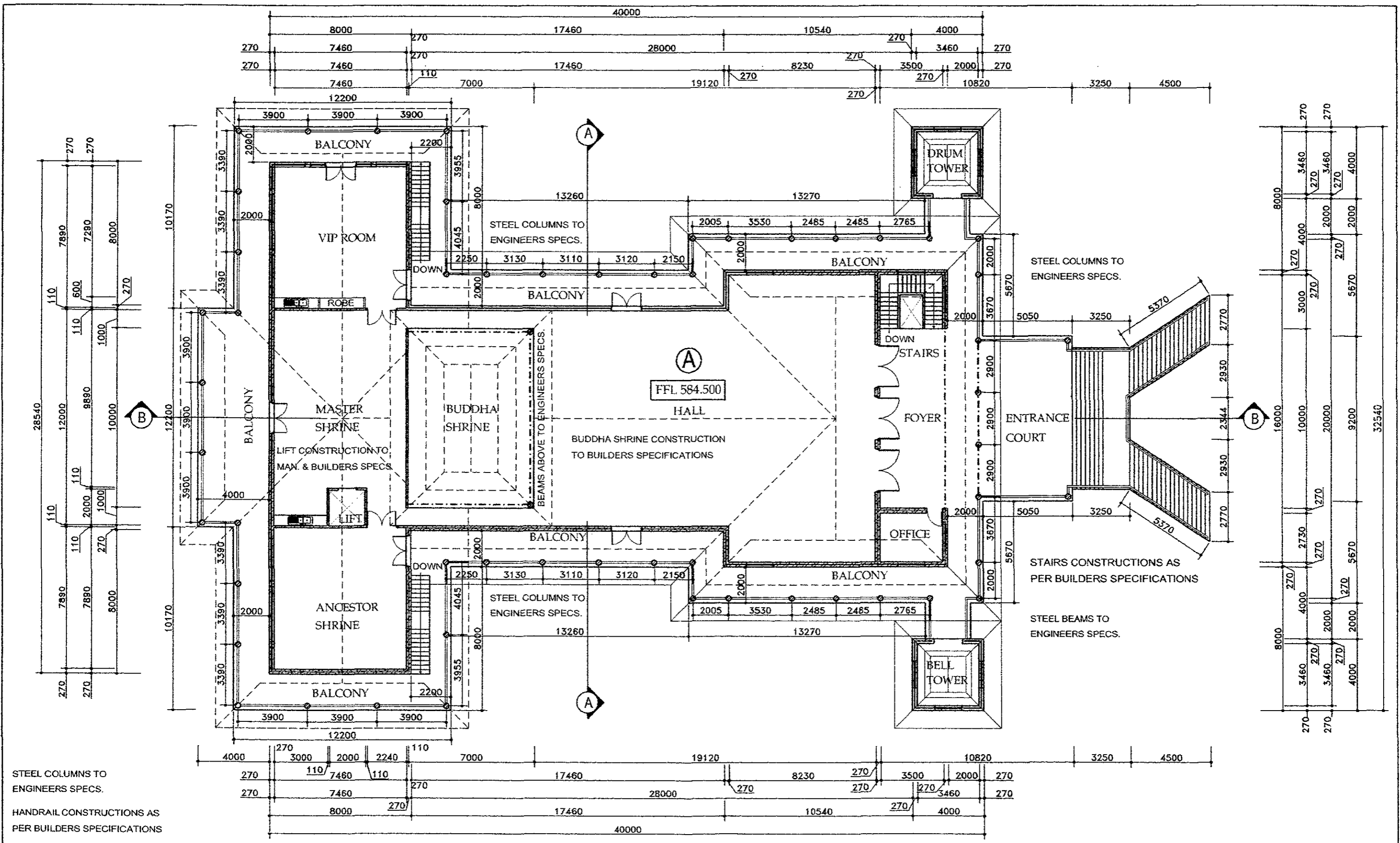
PRAJNA TEMPLE - GROUND FLOOR PLAN

GENERAL NOTES CARRY OUT ALL WORK IN COMPLIANCE WITH THE RELEVANT SAA CODES OF PRACTICE IN THE BEST TRADESMAN-LIKE MANNER TO THE APPROVAL OF THE SUPERINTENDENT AND AUTHORITIES HAVING JURISDICTION OVER THE WORKS INCLUDING BUT NOT RESTRICTED TO: A) NSW GOVERNMENT B) BCA AND THE NSW APPENDIX C) NSW ELECTRICITY AND WATER D) AS 1684 TIMBER FRAMING CODE AND AS FURTHER SPECIFIED	AMENDMENTS: 	TON DESIGN & CONSTRUCTIONS  24 Skardon Street Kaleen ACT 2617 Ph/Fax: 6253 8272 Mob: 0412 628 244	PROJECT PROPOSED NEW WORK PRAJNA TEMPLE	CLIENT SAKYAMUNI BUDDHIST CENTRE	SCALE 1 : 200	SHEET No. 06 OF 24
			DRAWING TITLE GROUND FLOOR PLAN	BLOCK / LOT 14	SECTION 56	DATE August 01 2007



PRAJNA TEMPLE - UPPER FLOOR PLAN

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PRAJNA TEMPLE - UPPER FLOOR PLAN

GENERAL NOTES

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SURVEYOR TO CONFIRM EASEMENT LOCATIONS PRIOR TO COMMENCEMENT OF ANY WORKS.

REVISED PLAN : 10/11/07

ⓐ ADD REDUCED LEVELS ON PLAN

TON DESIGN & CONSTRUCTIONS

TECHNICAL SERVICES

24 Skardon Street
 Kaleen ACT 2617
 Ph/Fax: 6253 8272
 Mob: 0412 628 244

PROJECT
**PROPOSED NEW WORK
 PRAJNA TEMPLE**

DRAWING TITLE
UPPER FLOOR PLAN

CLIENT
SAKYAMUNI BUDDHIST CENTRE

BLOCK / LOT
 14

SECTION
 56

DIVISION / SUBURB
LYNEHAM

SCALE
 1 : 200

DATE
 August 01 2007

CHECKED BY
 TS

DRAWN BY
 TS

SHEET No.
 07 OF 24

A07/05

LIST OF SUBMITTED DRAWINGS AND DOCUMENTS

BLOCK : 14

SECTION : 56

SUBURB : LYNEHAM

SHEET No.	DESCRIPTION	SHEET No.	DESCRIPTION
01	SITE PLAN	13	GIAC TANH BUDDHIST COLLEGE ELEVATIONS
02	LANDSCAPE PLAN	14	GIAC TANH BUDDHIST COLLEGE ELEVATIONS
03	SEDIMENT AND EROSION CONTROL PLAN	15	GIAC TANH BUDDHIST COLLEGE SECTION
04	UTILITIES DIAGRAM	16	NAGARJURA LIBRARY GROUND FLOOR PLAN
05	SITE SURVEY PLAN	17	NAGARJURA LIBRARY UPPER FLOOR PLAN
06	PRAJNA TEMPLE GROUND FLOOR PLAN	18	NAGARJURA LIBRARY ELEVATIONS
07	PRAJNA TEMPLE UPPER FLOOR PLAN	19	NAGARJURA LIBRARY ELEVATIONS
08	PRAJNA TEMPLE ELEVATIONS	20	NAGARJURA LIBRARY SECTION
09	PRAJNA TEMPLE ELEVATIONS	21	PEACE PAGODA GROUND FLOOR PLAN
10	PRAJNA TEMPLE SECTIONS	22	PEACE PAGODA UPPER FLOOR PLAN
11	GIAC TANH BUDDHIST COLLEGE GROUND FLOOR PLAN	23	PEACE PAGODA ELEVATIONS
12	GIAC TANH BUDDHIST COLLEGE UPPER FLOOR PLAN	24	PEACE PAGODA ELEVATION AND SECTION



14 September 2007

NOTE: If you are not the owner of this property please forward this letter to your landlord or managing agent

Dear Property Owner

The ACT Planning & Land Authority has received the following Development Application in relation to [REDACTED] As this property is near yours, you may wish to comment on the application.

Development Application 200700780:

NONR - NEW BUILDINGS - Final stage of development including a main shrine/communal hall, a library and administration block, a Buddhist College, and World Peace Pagoda including landscaping and driveways and other minor works.

Location: **Block: 14 Section: 56 Suburb: LYNEHAM**

You can inspect a copy of the application at the **Applications Secretariat, Dame Pattie Menzies House, Ground Floor South (right hand building), 16 Challis Street Dickson (opposite Motor Vehicle Registry)**. The Secretariat's office is open on weekdays from **8:30am to 4:30pm. (Please bring this letter with you for reference)**.

If you feel the application may affect you in any way and wish to object, you can lodge a written objection clearly stating the grounds for objection. However, you may also provide comments in support of the application. You may deliver your objections or comments to the **Applications Secretariat** at 16 Challis Street Dickson, by Internet Email to app.sec@act.gov.au, or post it to PO Box 365 Mitchell ACT 2911. Objections or comments must arrive by close of business **8 October 2007**.

If you make objections or comments, an acknowledgment will be posted to you and you will be advised when a decision is made on the application. Copies of all correspondence received will be forwarded to the applicant and also made available for public inspection. You may request that your identity be kept confidential, however, in

ACT Planning & Land Authority

Applications Secretariat

16 Challis Street, Dickson

PO Box 365, Mitchell, ACT 2911 • Telephone: (02) 6207 1687 • Email: app.sec@act.gov.au

Authority Website: www.actpla.act.gov.au

doing so you are required under the *Land (Planning and Environment) Act 1991* to clearly state the reasons **why it would not be in the public interest for your identity to be published**. If your application for exemption is approved, the Authority will seek to protect the information from disclosure, however, the Authority cannot guarantee that the information will not have to be disclosed pursuant to a legal obligation.

A complete list of development applications currently open for public comment is available on the Authority's web site at http://apps.actpla.act.gov.au/plandev/e-registers/pubnote/pubnoteMaster_new.asp

If you need more information, please phone the Applications Secretariat on (02) 6207 1687.

Yours faithfully

Applications Secretariat

ACT Planning & Land Authority

Applications Secretariat

16 Challis Street, Dickson

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ACT Planning & Land Authority

Applications Secretariat

16 Challis Street, Dickson

PO Box 365, Mitchell, ACT 2911 • Telephone: (02) 6207 1687 • Email: app.sec@act.gov.au

Authority Website: www.actpla.act.gov.au



14 September 2007

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LIMITED BUNYUNDAH HOMES PTY
STE 1 SCOTT HSE UPPER LVL
BOULEVARDE CAN CITY

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NON SINGLE RESIDENTIAL LODGEMENT SHEET

Block: 14 Section: 56 Division: LYNEHAM

Description of Works: COMMUNITY FACILITY.

DA Number: 20070080 Lodgement Date: 31/8/07

Technical Review Date: _____

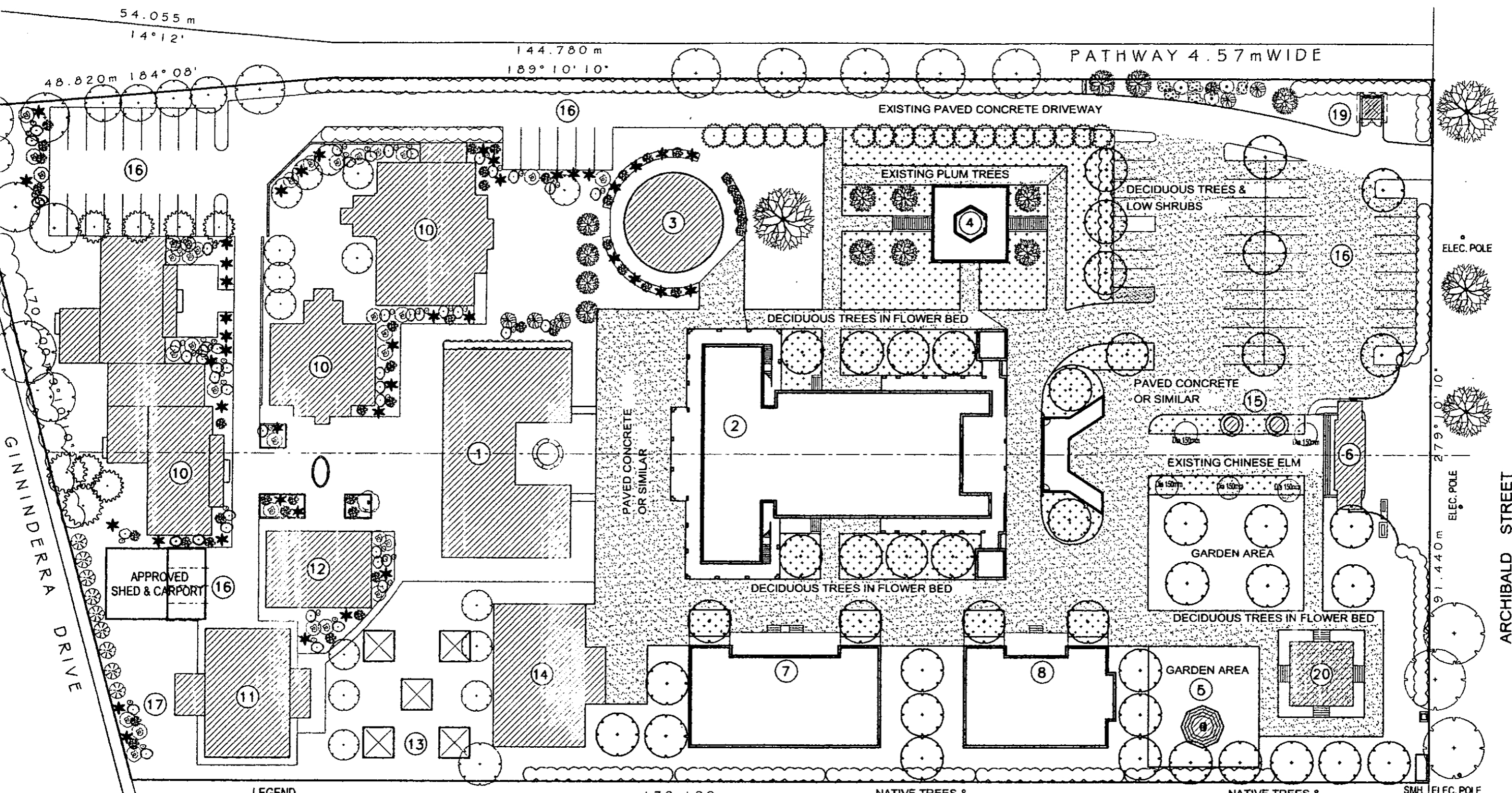
<u>AGENCY REFERRALS REQUIRED</u>	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Date Referred
ENVIRONMENT ACT	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	---/---/---
ASSET ACCEPTANCE	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	---/---/---
HERITAGE	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	---/---/---
TREES	Yes <input checked="" type="checkbox"/>	No <input checked="" type="checkbox"/>	---/---/---
NATIONAL CAPITAL AUTHORITY	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	---/---/---
ACTEWAGL	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	---/---/---
OTHER (please state)	_____		---/---/---
<u>PRELIMINARY ASSESSMENT REQUIRED</u>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	
<u>Queanbeyan City Council Referral Required</u>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	---/---/---
<u>Community Council Referral Required</u>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	---/---/---

- Residential Buildings higher than 3 storeys & of more than 50 dwellings
 - Buildings having a total floor space of more than 7000 square metres
 - Buildings or structures higher than 25 metres
 - Significant community interest

<u>PUBLIC NOTIFICATION REQUIRED</u>	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>
START DATE:	_____	
END DATE:	_____	
DUE DATE:	_____ (note this date will change if objections received)	

Notes:

TECHNICAL CHECK COMPLETED BY: DALE BILLING (Name)



LANDSCAPE PLAN

SCALE 1 : 500

- KEY**
- ① Van Hanh Temple
 - ② Prajna Temple (15 m)
 - ③ One Pillar Temple
 - ④ Peace Pagoda (15 m)
 - ⑤ Buddha Statue
 - ⑥ Triple gates
 - ⑦ Giac Tanh Buddhist College (9 metres)
 - ⑧ Nagarjuna Library
 - ⑨ Bodhi Tree
 - ⑩ Rahula Student Housing
 - ⑪ Nuns Living Quarter (8.5 m)
 - ⑫ Cafeteria
 - ⑬ Retreat Huts (6.5 m)
 - ⑭ Proposed Monks Living Quarter (8.5 metres)
 - ⑮ Flag pole
 - ⑯ ~~Parking~~ Shed & Carport
 - ⑰ Forrest
 - ⑱ Garden
 - ⑲ Garbage Enclosure
 - ⑳ Bell Tower (9 metres)
 - ▨ Developed Building / Structure (hatched)
 - Proposed Building / Structure (un-hatched)

LEGEND
 Existing trees & shrubs

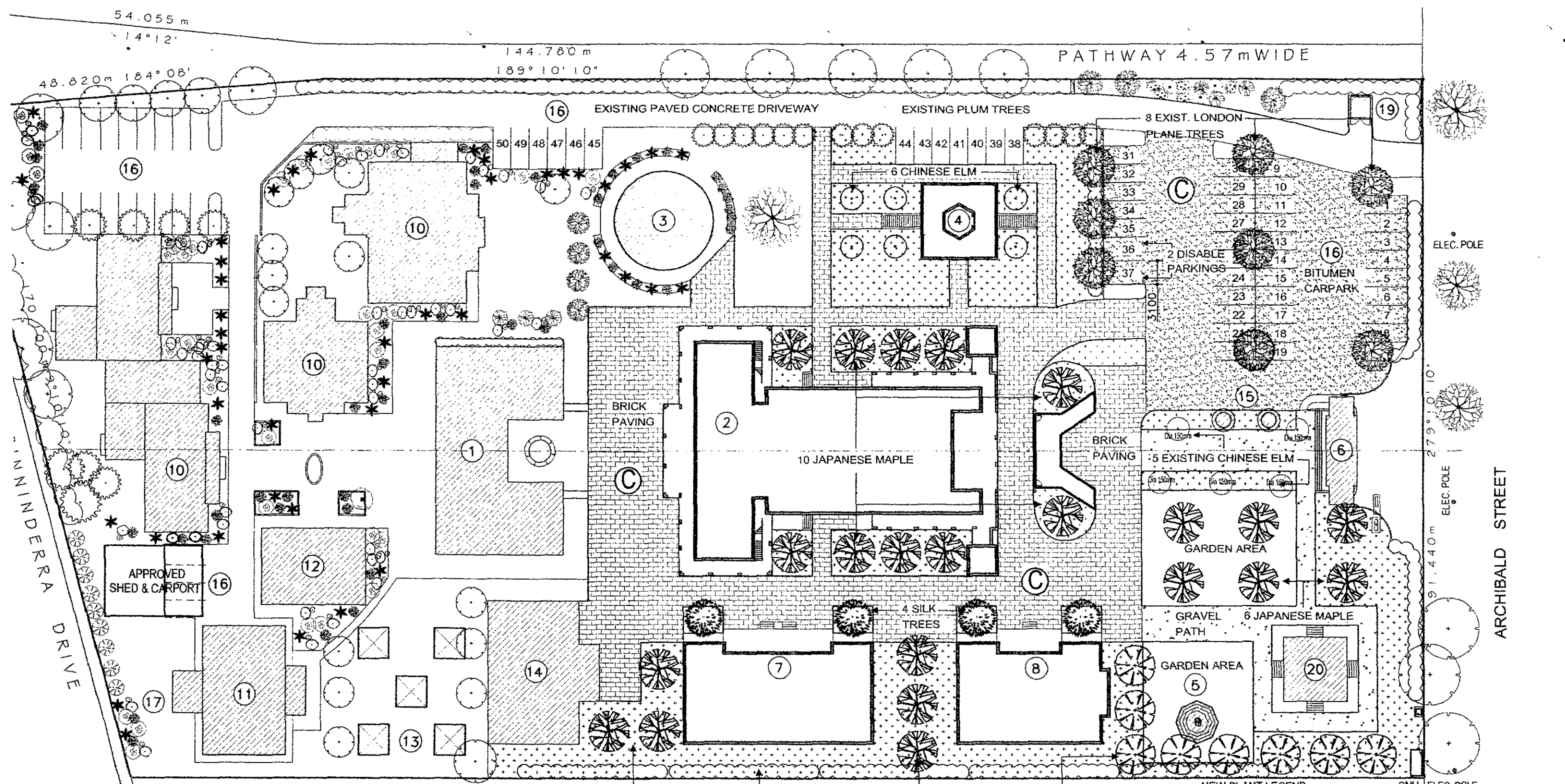
AMENDMENTS:	

GENERAL NOTES
 CARRY OUT ALL WORK IN COMPLIANCE WITH THE RELEVANT SAA CODES OF PRACTICE IN THE BEST TRADESMAN-LIKE MANNER TO THE APPROVAL OF THE SUPERINTENDENT AND AUTHORITIES HAVING JURISDICTION OVER THE WORKS INCLUDING BUT NOT RESTRICTED TO:
 A) ACT GOVERNMENT
 B) BCA AND THE ACT APPENDIX
 ALL DIMENSIONS MUST BE VERIFIED ON SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.
 USE FIGURED DIMENSIONS ONLY. DO NOT SCALE OFF THE DRAWING.
 SURVEYOR TO CONFIRM EASEMENT LOCATIONS PRIOR TO COMMENCEMENT OF ANY WORKS.

CLIENT :
 SAKYAMUNI
 BUDDHIST
 CENTRE

PROJECT :
 PROPOSED NEW WORK
 REVISED MASTER PLAN
BLOCK : 14 **SECTION :** 56
DIVISION : LYNEHAM

DRAWING TITLE : LANDSCAPE PLAN		
SCALE : 1 : 500	DATE : August 01 2007	
DRAWN BY : TS	SHEET No. 02 OF 24	DRAWING No. A07/01
CHECKED BY :	ISSUE No.	



- KEY**
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- LEGEND**
- Existing trees & shrubs

- NEW PLANT LEGEND**
- | NAME | SIZE | GROUND COVER LEGEND |
|----------------|------|---------------------|
| JAPANESE MAPLE | 5 M | MULCH PLANTING BED |
| SILK TREE | 5 M | GRAVEL PATH |
| MANCHURIN PEAR | 7 M | BITUMEN PAVED AREA |
| LONDON PLANE | 20 M | |
| CHINESE ELM | 8 M | |

LANDSCAPE PLAN
SCALE 1 : 500

REVISED PLAN: 10/11/07

Ⓐ ADD REDUCED LEVELS ON PLAN
Ⓑ ADD MORE CAR PARKING SPACES AND PROVIDE DISABLE PARKING SPACES
Ⓒ REVISE LANDSCAPE PLAN WITH PROPER PLANT NAMES AND CHANGE PROPOSED FINISH PAVING AREAS

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SAKYAMUNI BUDDHIST CENTRE

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**PROPOSED NEW WORK
REVISED MASTER PLAN**

BLOCK : 14 SECTION : 56

DIVISION :
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DRAWING TITLE :
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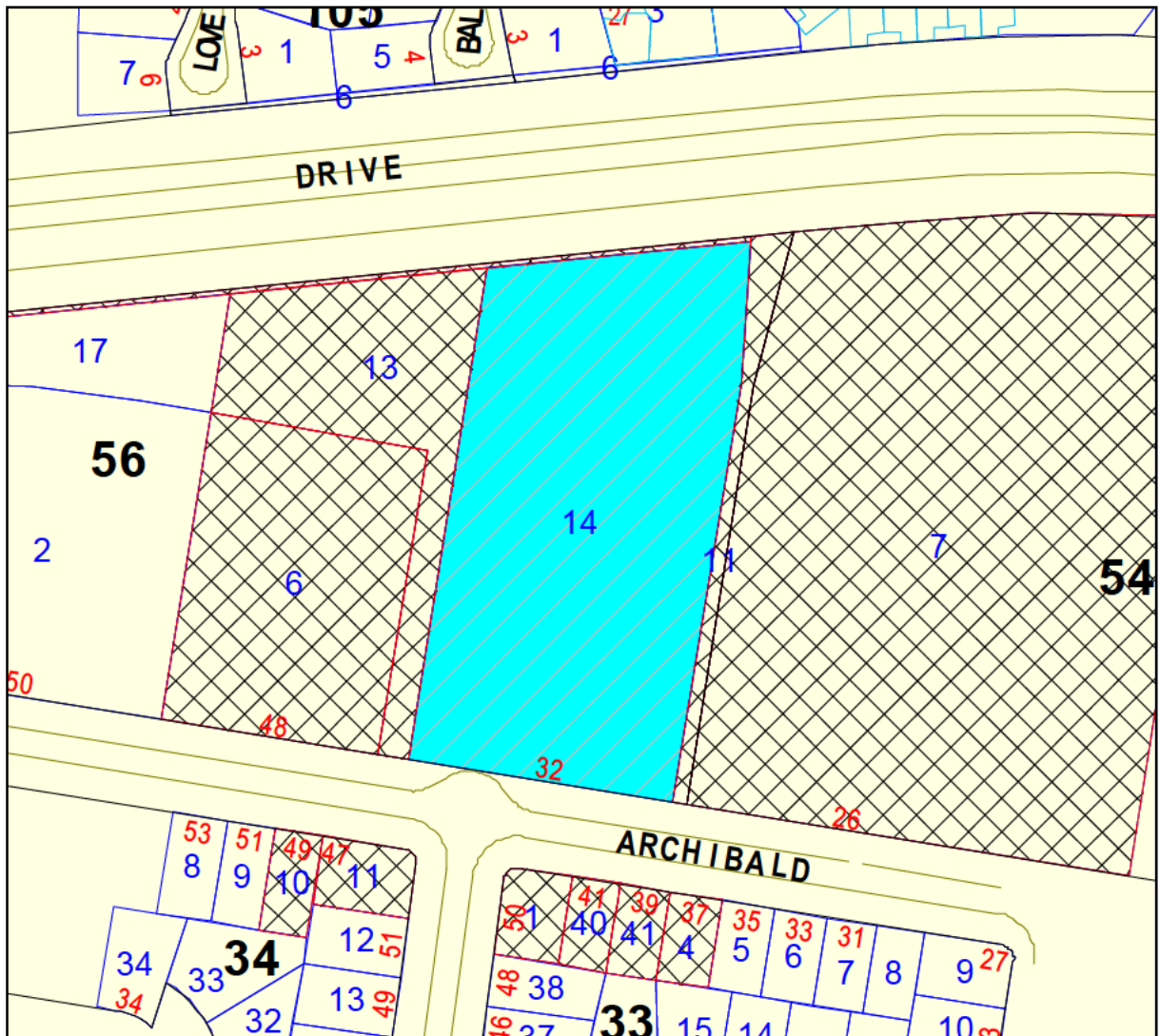
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CHECKED BY :	ISSUE No. :	

LYNEHAM
Block 14 Section 56

17 September 2007 to 8 October 2007

Development Application
200700780



0 25 50 75 100



metres

Name,Address1,Address2,Address3,Address4



Decision Advice Checklist

DA Number: 200700780 - S245A

Block(s): 14 Section: 56 District/Division: LYNEHAM

Case Officer: Contact Number: Decision Date:

Despatch Plans: **Please Select** Despatch by: **Please Select**

Action Already Taken by Case Officer: **Please Select**

Application Type

Design and Siting Lease Variation S247 Amendment S245 Amendment

Type of Decision **Please Select**

Decision By **Please Select**

Return File to Case Officer **Please Select**

Submissions

No Objections Objections

Appeal Rights

Applicant: **Please Select** Objectors: **Please Select**

Agencies to be advised

Agency Referral Required: **Please Select**

Leasing Referral Required: **Please Select**

<input type="checkbox"/> Land Information	<input type="checkbox"/> Compliance	<input type="checkbox"/> Registrar- Generals
<input type="checkbox"/> Asset Acceptance	<input type="checkbox"/> Environment ACT	<input type="checkbox"/> Heritage
<input type="checkbox"/> Urban Design & Projects	<input type="checkbox"/> Health Protection	<input type="checkbox"/> ACT Forests
<input type="checkbox"/> N.C.A	<input type="checkbox"/> Dangerous Goods	<input type="checkbox"/> COS
<input type="checkbox"/> Access & Mobility Com.	<input type="checkbox"/> Deed Management	<input type="checkbox"/> ACT Fire Brigade
<input type="checkbox"/> Preliminary Assessment	Other:	Other:

Comments



NOTICE OF DECISION

UNDER PART 6 OF THE *LAND (PLANNING AND ENVIRONMENT) ACT 1991*

APPLICATION NO: 200700780 DATE LODGED: 31 August 2007

BLOCK : 14
ADDRESS:
APPLICANT :
LESSEE :

SECTION : 56 SUBURB : LYNEHAM

1.0 THE PROPOSAL

The application seeks approval for:

- (a) the erection of a two-storey library and administration building;
- (b) the erection of a two-storey college building;
- (c) the erection of a two-storey temple building;
- (d) the erection of a pagoda; and
- (e) associated landscaping, car parking, paving and other site works.

2.0 THE DECISION

Under section 222 of the *Land (Planning and Environment) Act 1991* ("the Land Act"), the "relevant authority" in relation to this application is the Planning and Land Authority.

I, OWEN PANKHURST, delegate of the Planning and Land Authority, pursuant to section 230 of the Act hereby **approve** the application subject to the following conditions imposed pursuant to section 245 of the Act:

General

1. that the development is to be carried out only in accordance with the following:
 - (a) drawings by Ton Design & Constructions:
 - Site Plan, dwg. No. A07//05, Sheet 1 of 24, 1 August 2007;
 - Landscape Plan, dwg. No. A07//01, Sheet 2 of 24, 1 August 2007
 - Revised Master Plan, dwg. No. A07//01, Sheet 03 of 24, 1 August 2007
 - Prajna Temple, Ground floor Plan, dwg. No. A07//05, Sheet 06 of 24, 1 August 2007
 - Prajna Temple, Upper floor Plan, dwg. No. A07//05, Sheet 07 of 24, 1 August 2007
 - Prajna Temple, Elevations, dwg. No. A07//05, Sheet 08 of 24, 1 August 2007
 - Prajna Temple, Elevations, dwg. No. A07//05, Sheet 09 of 24, 1 August 2007
 - Prajna Temple, Section, dwg. No. A07//05, Sheet 10 of 24, 1 August 2007
 - Giac Than Buddhist College, Ground floor Plan, dwg. No. A07//05, Sheet 11 of 24, 1 August 2007
 - Giac Than Buddhist College, Upper floor Plan, dwg. No. A07//05, Sheet 12 of 24, 1 August 2007
 - Giac Than Buddhist College, Elevations, dwg. No. A07//05, Sheet 13 of 24, 1 August 2007
 - Giac Than Buddhist College, Elevations, dwg. No. A07//05, Sheet 14 of 24, 1 August 2007
 - Giac Than Buddhist College, Section, dwg. No. A07//05, Sheet 15 of 24, 1 August 2007
 - Nagarjura Library, Ground floor Plan, dwg. No. A07//05, Sheet 16 of 24, 1 August 2007
 - Nagarjura Library, Upper floor Plan, dwg. No. A07//05, Sheet 17 of 24, 1 August 2007
 - Nagarjura Library, Elevations, dwg. No. A07//05, Sheet 18 of 24, 1 August 2007
 - Nagarjura Library, Elevations, dwg. No. A07//05, Sheet 19 of 24, 1 August 2007
 - Nagarjura Library, Section, dwg. No. A07//05, Sheet 20 of 24, 1 August 2007
 - Peace Pagoda, Ground floor Plan, dwg. No. A07//05, Sheet 21 of 24, 1 August 2007
 - Peace Pagoda, Upper floor Plan, dwg. No. A07//05, Sheet 22 of 24, 1 August 2007
 - Peace Pagoda, Elevation & Section, dwg. No. A07//05, Sheet 23 of 24, 1 August 2007; and

- (b) any amendments to those drawings or other items and additional drawings or other items approved or accepted in accordance with the following conditions;

Where there is an inconsistency between the drawings and items listed above and the following conditions, the conditions shall firstly prevail, then the amended or additional drawings or items, to the extent of that inconsistency;

Further Information Required

2. that within 28 days from the date of this decision, or within such further time as may be approved in writing by the Planning and Land Authority, the applicant shall lodge with the Planning and Land Authority for approval:

- (a) revised architectural drawings, based on the relevant drawings referred to in the previous condition, showing:
- (i) the reduced levels relative to Australian High Datum of the finished floor levels of all proposed buildings;
- (b) an integrated site plan and landscape plan, based on the relevant drawing referred to in the previous condition, showing:
- (i) the provision of additional car spaces within the site to meet the requirements of the ACT Parking and Vehicular Access Guidelines for the temple building to the satisfaction of the Authority;

Note: *It is considered that the halls within the temple have a capacity of approximately 200 persons and so the development needs a total of 50 car spaces in addition to those that exist.*

- (ii) two (2) accessible car spaces located in appropriate locations, dimensioned and accessible in accordance with the ACT Planning Guidelines for Access and Mobility and AS1428.1;
- (iii) a continuous accessible path or paths of travel providing access between all proposed buildings and all relevant facilities and the accessible car parking. Access shall be provided in accordance with AS1428.1;
- (iv) details all proposed plant materials including: the location, species, stock size and numbers of all proposed plants;
- (v) the type and finish of the proposed paving to pedestrian areas, driveways and parking areas to the satisfaction of the Authority. Areas for pedestrian access, driveways, and parking should be clearly delineated by differing paving

- materials/patterns. Extensive areas of plain white concrete will not be approved; and
- (vi) the impervious paved areas reduced so as to increase the amount of on-site rainwater infiltration;
- (c) details of public area lighting demonstrating that lighting will be provided to public areas in accordance with the relevant Australian Standards and not result in an adverse impact to users of the public realm or the adjoining blocks;

Commencement

3. that no part of this development shall commence until the Planning and Land Authority has approved the further information required by the previous condition;

Note: this does not affect the date on which this approval becomes effective (see section 3.0 DATE THAT THIS APPROVAL TAKES EFFECT below). Before commencement this condition and any other conditions related to commencement must be complied with and the approval must be effective.

Approval

4. that this approval only includes the following works:
 - (a) the erection of a two-storey library and administration building;
 - (b) the erection of a two-storey college building;
 - (c) the erection of a two-storey temple building;
 - (d) the erection of a pagoda; and
 - (e) associated landscaping, car parking, paving and other site works.

Completion

5. that the approved development shall be completed within 24 months from the date of this approval or within such further time as may be approved in writing by the Planning and Land Authority;

Notes:

1. Under section 251 of the Land Act this approval will expire if the development is not commenced within two years after the date of approval. There is no provision in the Land Act to extend the period specified for commencement.
2. Under section 252 the applicant may apply to the Planning and Land Authority for any extension to the period specified for completion, but such an application must be made within the original period specified for completion.

Traffic Management

6. that at all times during construction the site and surrounds shall be managed in accordance with a Temporary Traffic Management Plan, prepared by a suitably qualified person and approved by the Manager, Asset Acceptance, Asset Management Services Group, TAMS and, where traffic control devices are proposed, the Manager, Asset Use, Roads ACT, City Management, TAMS under the *Road Transport (Safety and Traffic Management) Act 1999*. This plan is to address, as a minimum, measures to be employed during construction to manage all traffic, including construction traffic, in and around the site, provision of safe pedestrian movement around the site, the provision of parking for construction workers, and associated traffic control devices;

Unleased Territory Land

7. that, during construction, all existing vegetation (trees, shrubs and grass) located on the verge and unleased Territory land immediately adjacent to the development shall be managed, protected and maintained in accordance with Landscape Management Plan (LMP) approved by the Manager Asset Acceptance, Asset Management Services Group, TAMS. This plan is to be approved and implemented before the commencement of works, including demolition, on the site and is to be in accordance *City Management Guidelines for the Protection of Public Landscape Assets Adjacent to Development Works-REF-04*; and

Tree Protection

8. that the applicant/lessee shall protect and maintain in accordance with Canberra Landscape Guidelines all existing trees and shrubs located on the subject site, on adjoining blocks overhanging the subject site, on the verge and unleased Territory land immediately adjacent, except for those specifically identified for removal in the approved drawings and/or a Tree Management Plan. Tree protection fencing, if required, shall be erected prior to the commencement of any work on the site;

Note: A Tree Management Plan is required where it is proposed to undertake groundwork within the tree protection zone of a protected tree or likely to cause damage to, or remove, any trees defined as protected trees under the *Tree Protection Act 2005*. Appendix 1 contains relevant advice

3.0 DATE THAT THIS APPROVAL TAKES EFFECT

Unless a condition of approval provides for otherwise this approval is effective from the date of this notice. The effective date could be adjusted if the approval is reconsidered by the Planning and Land Authority or if an application for a review of the decision is made to the ACT Administrative Appeals Tribunal.

4.0 REASONS FOR THE DECISION

The application was approved because, in the form modified by the imposed conditions, it was considered to be consistent with the Territory Plan. Conditions have been imposed to address the key issues and ensure that the proposal is consistent with the Territory Plan.

Owen Pankhurst
Delegate of the Planning and Land Authority

15 October 2007

APPENDIX 1

1. Contact Telephone Numbers – Relevant Government Agencies**ACT PLANNING AND LAND AUTHORITY**

Development Assessment	6207 9055
DA Enquiries Owen Pankhurst	6207 1687
Applications Secretariat	

DEPARTMENT OF TERRITORY AND MUNICIPAL SERVICES

Asset Management Services Group	
Asset Acceptance	6207 6594

Environment Protection and Heritage

Environment Protection Unit	132281
Water Resources Unit	132281
Heritage Unit	132281
Tree Protection Unit	132281

ACT HEALTH

Health Protection Service	6205 1700
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OTHERS

Telstra	
Network Planning Engineer (Ted Murray)	6219 1213

ActewAGL

Location of assets (Dial Before You Dig)	1100
Electricity reticulation (Doug Malcolm)	6293 5738

TransACT

Networks (Craig Seaton)	6229 8000
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2. Further Approvals

The attached notice of decision grants approval for those items listed at section 1.0. Further approvals from the Territory may be required, as follows:

Works on unleased Territory land - design acceptance

In accordance with the *Roads and Public Places Act 1937* no work is to be undertaken on unleased Territory Land without the approval of the Territory. Such approval is only given by way of a certificate of design acceptance from Asset Acceptance, Asset Management Services Group, TAMS. Unless a certificate of design acceptance is obtained, and the respective work completed in accordance with this certificate, a certificate of compliance under s179 of the Land Act, may not be issued. This applies to works such as the construction or upgrading of driveway verge crossings, the replacement of public foot paths, street lighting and verge landscaping.

Use of verges or other unleased Territory land

In accordance with the *Roads and Public Places Act 1937* road verges and other unleased Territory land shall not be used for the carrying out of works, including the storage of materials or waste, without the prior approval of the Territory through Asset Acceptance, TAMS.

Approval required for "Tree Damaging Activity"

A Tree Management Plan under the Tree Protection Act 2005 is required for approval where it is proposed to undertake groundwork within the tree protection zone of a protected tree or likely to cause damage to, or remove, any trees defined as protected trees by that Act. Consultation with Environment and Recreation is recommended in the preparation of the Tree Management Plan.

3. Conditions of Approval

Please read the conditions of your approval carefully. Some will require attention before the approved drawings will be released by the Authority, others before work commences and still others before the completion of building work.

4. Building Approval

Most building work requires Building Approval. If this applies to your proposal you should engage the services of a private building certifier to assess and approve the building plans. A list of private certifiers is available at the ACT Planning and Land Authority Customer Service Centre, 16 Challis Street Dickson. Office hours are 8.30am to 4.30pm, Monday to Friday. The list is also available on the Authority's website at www.actpla.act.gov.au/bepcon.

5. Other Advice

Environment Protection

All work shall be carried out in accordance with the *Environment Protection Act 1997*, particularly but not exclusively in relation to noise and pollution control. More Information may be obtained from Environment and Recreation.

Water Quality: Two copies of a sediment and erosion control plan must be submitted to EPA for approval prior to any site works commencing. In addition to what was submitted with the Development Application, the EPA requires details of the site contact, destination of any soil removed from the site, site management to avoid dust, dirt on the roadway, stabilised access, silt fencing details, alternatives to using potable water for dust suppression. Contact Steve Thomas on 6207 2142 for more details.

Noise: Noise during Construction that will take longer than 2 weeks:
Building work is permitted above the zone noise standard during the following hours:

Monday to Saturday 7am to 6pm
Sundays and Public Holidays no period specified

All mechanical plant (air conditioning, ventilation systems etc) must comply with the noise zone standard as outlined in the *Environment Protection Act 1997*.

Damage to Public Assets

It is the responsibility of the applicant/lessee to properly repair any damage to ACT Government assets (including footpaths) caused by the development. The applicant is urged to notify Roads ACT of any existing damage to public facilities before work commences, otherwise the applicant/lessee will be held responsible for all damage.

ActewAGL

The lessee should obtain a plant location advice from ActewAGL to avoid conflict with existing plant or electrical easements. The lessee will be responsible for the costs associated with the relocation of assets, if necessary.

The lessee is to ensure that the water service and water meter are retained in position and in good condition. ActewAGL water meters are accountable items and must not be removed from the site or otherwise disposed of.

Drainage

The *Building Code of Australia* contains provisions affecting surface drainage and the height of finished floor levels. These may apply to this proposal.

Demolition and Asbestos Management

Demolition and asbestos management must be undertaken in accordance with relevant Territory laws, namely the Building Act 2004 (including the Building Code of Australia) and the Dangerous Substances Act 2004. Relevant information is contained in the Authority's advisory note titled *Demolition*, November 2000. This document is available from the Planning and Land Authority Customer Service Centre, 16 Challis Street Dickson (Office hours: 8.30am to 4.30pm, Monday to Friday), or from the Authority's website at <http://www.actpla.act.gov.au/actpla/bepcon/build/demolition.pdf>

6. Reconsideration of the Decision

If you (the development applicant) are not satisfied with this decision, you are entitled to apply to the Planning and Land Authority for reconsideration within four weeks of the date of this notice.

Application forms are available from the Planning and Land Authority Customer Service Centre, 16 Challis Street, Dickson. The completed application, including grounds for the application and the lodgement fee may be lodged at the Customer Service Centre.

Within four weeks of receiving your application, or within such further time as agreed to by you, the Planning and Land Authority will either make a new decision or confirm the original decision.

An application for reconsideration does not prevent an application for a review of the same decision being made to the ACT Administrative Appeals Tribunal (AAT). You should be aware, however, that a reconsideration of the approval by the Planning and Land Authority will be suspended on the day an application for a review of the same decision is made to the AAT.

7. Review of decisions by the Administrative Appeals Tribunal

The following notes are provided in accordance with the ACT Administrative Appeals Tribunal (AAT) Code of Practice.

Reasons

If a decision has been made and you, as the applicant, have not already been given reasons for the decision, you are entitled to apply for a statement of reasons to explain why the decision was made. If you wish to obtain a statement of reasons you must make your request within 28 days of the date of this decision. Applications should be made to the Director, Development Services Branch, GPO Box 1908, CANBERRA ACT 2601.

This provision does not apply to objectors.

Review By The ACT Administrative Appeals Tribunal (AAT)
If your interests are adversely affected by this decision you may apply to the Tribunal for a review.

Decisions that are reviewable by the AAT are identified in Schedule 4 of the *Land (Planning and Environment) Act 1991*.

Contact details for the Tribunal are as follows:

Location:

Tribunals Branch
Magistrates Court
4 Knowles Place
CANBERRA ACT 2601

Postal Address:
GPO Box 370
CANBERRA ACT 2601

Telephone: 02 6217 4261

Facsimile: 02 6217 4505

Document Exchange: DX 5691

Web Address: www.courts.act.gov.au
Email: tribunals@act.gov.au

Powers of the AAT

The Tribunal is an independent body. It can review on their merits a large number of decisions made by ACT Government ministers, officials and statutory authorities.

The Tribunal can agree with; change or reject the original decision; substitute its own decision or send the matter back to the decision maker for reconsideration in accordance with Tribunal recommendations.

How to Apply to the AAT

To apply for a review, simply obtain an application form from the Tribunal or from the web address above. It outlines all the information needed by the Tribunal to process a review promptly.

Generally you should make your request for a review within 28 days of receiving this notice of the decision, but there are some variations to this time limit. The time limit can be extended in some circumstances. Check with the Tribunal Registry for more details.

If you are applying on behalf of an organisation or association of persons, whether incorporated or not, the Tribunal in deciding whether to support this application will consider the effect of the decision being reviewed on the interests of the organisation or association in terms of its objects or purposes. A copy of the relevant documents will be required to be lodged with the Tribunal.

Fees

When lodging an application with the Tribunal you will be required to pay an application fee of not less than \$165 (the Tribunal Registry will advise of the current fee). However, no fee is payable if you are receiving legal or financial assistance from the Attorney-General. If you are unable to pay the application fee you can apply to have the fee waived on the grounds of hardship, subject to approval. Ask at the Tribunal Registry for more details. You may also apply to the ACT Attorney General for financial assistance (refer to section 62 of the *Administrative Appeals Tribunal Act 1989*).

Decisions to grant assistance are made on the grounds of hardship and that it is reasonable, in all the circumstances, for the assistance to be granted. Write to: The Chief Executive, ACT Department of Justice and Community Safety, GPO Box 158, CANBERRA ACT 2601.

You will have to pay any costs involved in preparing or presenting your case.

The ACT Planning and Land Authority will be the Respondent to your case.

Legal Assistance

The following organisations can provide advice and assistance if you are eligible:

The ACT Legal Aid Office: phone 1300 654314

Legal Advice Bureau: phone 02 6247 5700

ACT Council of the Ageing: phone 02 6282 3777

Welfare Rights and Legal Centre: phone 02 6247 177

Access To Documents

You may apply for access to any documents you consider relevant to this decision under the *ACT Freedom of Information Act 1989*. For more information on how you can obtain these documents please send your request to: The Manager, Government and Assembly Relations, ACT Planning and Land Authority, GPO Box 1908, Canberra ACT 2601 or phone the Customer Services Centre 02 6207 1923.

What The AAT Will Do

After an appeal has been lodged, the Tribunal will notify the decision-maker (respondent) and request that he/she provide a statement setting out his/her findings on material questions of fact, referring to the evidence or material on which those findings were based and giving the reasons for the decision. Also he/she will be required to provide copies of all the documents that were considered relevant to the review of the decision. If you are a party to the appeal (AAT applicant or party joined) the Tribunal will provide you with the decision-maker's statement and related documents (Tribunal Documents or 'T-docs') when they have been received.

Party To A Proceeding

The decision-maker, under direction from the Tribunal, may be required to give notice of the appeal to certain persons who will then be given an opportunity to apply to be joined as a party to the proceedings. When lodging an application to be joined as a party to a proceeding you will be required to pay an application fee of not less than \$165 (the Tribunal Registry will advise of the current fee). Check with the Tribunal Registry for more information on whether your interests would be best served by becoming a party to a proceeding or lodging a separate appeal.

If a person whose interests are affected by the decision applies to be joined as a party, the tribunal may, **in its discretion**, by order, make that person a party to the proceeding.

Directions Hearing

Each party to the appeal will be given notice of a directions hearing which they are required to attend personally or to be represented by another person. At the directions hearing, the Tribunal may refer the appeal to a registered mediator. The Tribunal will also give directions to the parties, which are to be followed by them if the matter is not referred to mediation or in the event that mediation is not successful in resolving the appeal. You should be in a position at the directions hearing to inform the Tribunal of any problem with your availability or that of your witnesses to attend the hearing of the appeal. Time limits will be fixed for compliance with the Tribunal's directions. In the event that any party other than the decision-maker fails to comply with the Tribunal's directions that party may be struck out as a party or, in the case of the applicant, the appeal may be dismissed.

Mediation

It is now a requirement that before an appeal is heard the Tribunal must consider whether it is a suitable case for mediation and, if so, refer the appeal to a registered mediator and direct the parties to attend the mediation. You will be requested to indicate on a form provided to you by the Tribunal whether or not you wish to participate in mediation and to provide your reasons.

Mediation is a process by which an independent and neutral person helps you and other parties to identify concerns, evaluate options and reach agreement. The mediator will not make any judgement about who is right or wrong and if the mediation fails will not participate in the Tribunal hearing. If the Tribunal decides to refer your case to a mediator you will be informed of the place and time at which the mediation will be held.

Hearing

The hearing will take place in a hearing room at the Magistrates Court Building.

Prior to the hearing, a direction will have been issued requiring each party to provide to the Tribunal and the other parties a statement of facts and contentions, a copy of the statement of any witness proposed to be called to give evidence and any other material, such as plans and photographs, proposed to be presented to the Tribunal.

The statement of facts and contentions should set out the facts upon which each party relies, the evidence proposed to be presented to support those facts, the issues in the case to be resolved by the Tribunal and the submissions which each party wishes to make in support of the decision which they ask the Tribunal to make.

Ordinarily the person who lodged the appeal ("the applicant") will be asked to present his/her evidence first; then any other party supporting the applicant's case; then any party opposing the applicant's case ("the parties joined"); then the decision-maker ("the respondent"). Witnesses should be present, or by application to the Tribunal, available to give evidence by phone hook up. If

they are not present their evidence cannot be tested by cross-examination and may therefore be excluded.

For more detailed information on the hearing process please refer to the "Guide to the Hearing" on the Tribunal's web site.

Time For Deciding Cases

The Tribunal is required to decide appeals in land and planning and tree protection cases within 120 days after the lodging of the appeal, unless that period is extended by the Tribunal upon it being satisfied that it is in the interests of justice to do so.

The following table will give some guidance to the timeframes for an appeal (days are approximate):

Day 1	Application for review lodged at the AAT
Day 16	T-docs lodged and applications for Parties Joined processed
Day 26	Directions Hearing
Day 33	Mediation session
Day 36	Mediation result
Day 50	Mediation successful – consent agreement lodged, case finalised Mediation unsuccessful
Day 57	AAT Applicant, and Parties Joined supporting Applicant, Facts and Contentions to be lodged
Day 78	Respondent, and Parties Joined opposing Applicant, Facts and Contentions to be lodged
Day 85	Parties to lodge material in reply
Day 95	Hearing
Day 120	Delivery of Decision

Costs

The Tribunal also has the power to award costs against a party if the party contravenes a direction of the Tribunal and the Tribunal considers it in the interests of justice to make such an order. This power is in addition to the power of the Tribunal to strike out a party and to dismiss an application for failure to comply with the Tribunal's directions as outlined above.

8. Translation and Interpretation Service

ENGLISH	If you need interpreting help, telephone:
ARABIC	إذا احتجت لمساعدة في الترجمة الشفوية ، إتصل برقم الهاتف :
CHINESE	如果你需要传译员的帮助，请打电话：
CROATIAN	Ako trebate pomoć tumača telefonirajte:
GREEK	Αν χρειάζεστε διερμηνέα τηλεφωνήσετε στο
ITALIAN	Se avete bisogno di un interprete, telefonate al numero:
PERSIAN	اگر به ترجمه شفاهی احتیاج دارید به این شماره تلفن کنید:
PORTUGUESE	Se você precisar da ajuda de um intérprete, telefone:
SERBIAN	Ako vam je potrebna pomoć prevodioca telefonirajte:
SPANISH	Si necesita la asistencia de un intérprete, llame al:
TURKISH	Tercümana ihtiyacımız varsa lütfen telefon ediniz:
VIETNAMESE	Nếu bạn cần một người thông-ngôn hãy gọi điện-thoại:

TRANSLATING AND INTERPRETING SERVICE

131 450

Canberra and District - 24 hours a day, 7 days a week

RELEVANT CLAUSES FROM TERRITORY PLAN	ASSESSMENT OFFICER COMMENTS
A3 PLAN ADMINISTRATION POLICIES http://www.actpla.act.gov.au/tplan/index.htm	
9. CONSIDERATION OF LAND USE AND DEVELOPMENT PROPOSALS	
9.1 The relevant authority shall not approve a development or a proposal for the use of land that would be inconsistent with:	
a) the applicable land use policy in Part B;	Not inconsistent
b) any relevant overlay provision in Part C;	N/A
c) for a proposal involving the use of water, the relevant Water Use and Catchment Policies at Appendix I;	N/A
d) for proposals in a Residential Area, the relevant provisions of any Residential Code at Appendix III;	N/A
e) for a proposal involving a sign, any relevant provisions of the Signs Policies at Appendix IV;	N/A
f) the relevant provisions of any Heritage Places Register at Appendix V or Interim Heritage Places Register;	N/A
g) for proposals involving a telecommunications facility, any relevant provisions of the Telecommunications Facilities Policies at Appendix VI;	N/A
h) for a proposal within an identified clearance zone, any relevant provisions of the Clearance Zone Policies at Appendix VII;	N/A
i) for Public Land, an approved Plan of Management prepared in accordance with Subdivision D of Division 5 of the Land Act;	N/A
j) for a proposal in respect of a rural lease, an applicable Land Management Agreement;	N/A
k) any relevant provision of the National Capital Plan; and	N/A
l) any applicable draft variation to the Territory Plan.	N/A
9.2 The relevant authority shall, in relation to an application to undertake a development or a proposal to use land, carefully consider the following matters:	
a) any approved Master Plan applying to the land;	Considered
b) any relevant planning guideline or interim guideline contained in the Register of Planning Guidelines ;	Considered – Additional car parking is required.
c) any agreed regional or sub-regional strategy;	Considered

**PART A3 - TERRITORY PLAN
GENERAL PRINCIPLES AND POLICIES
ASSESSMENT REPORT**
ASSESSMENT OFFICER: OWEN PANKHURST

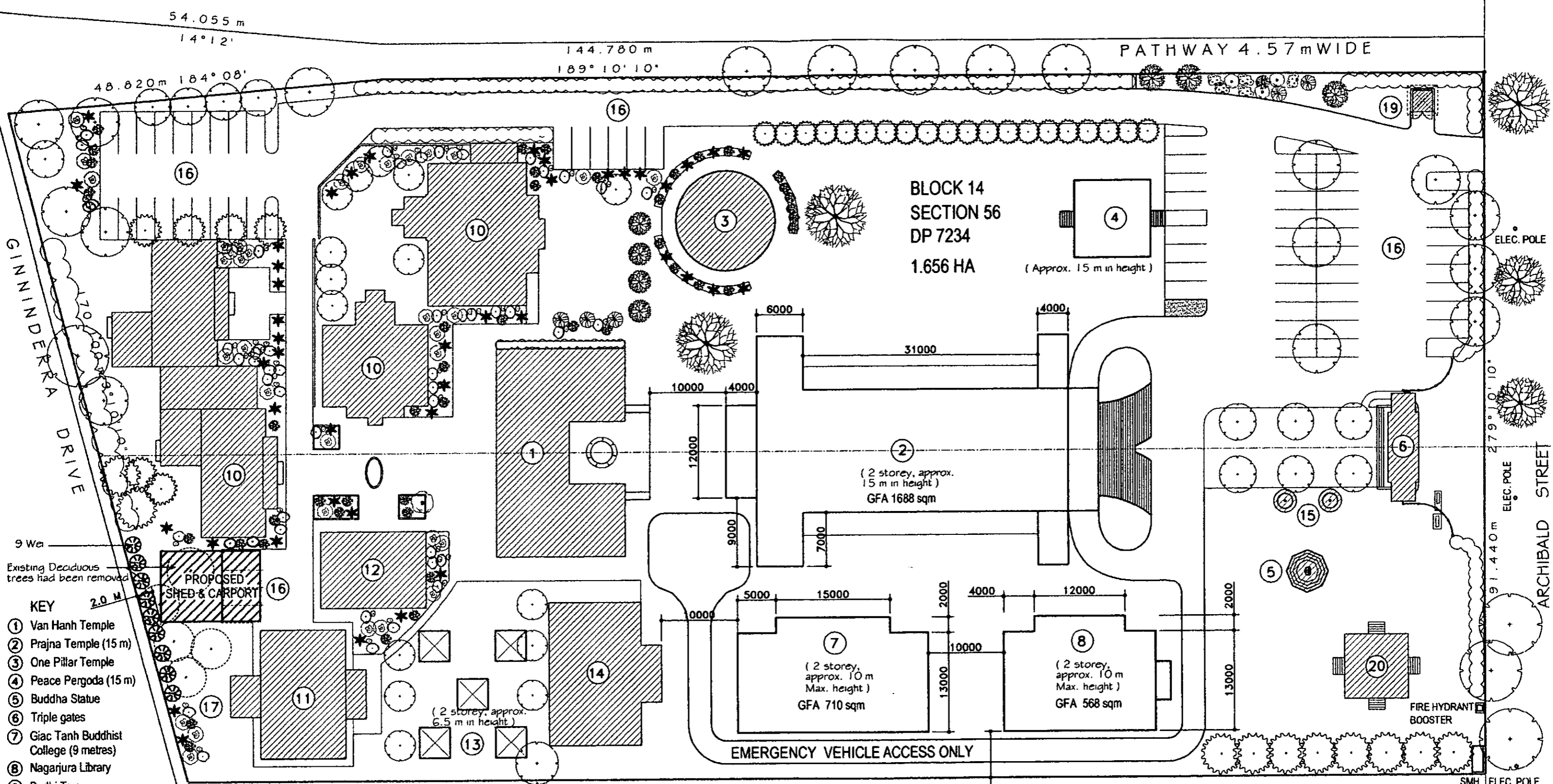
APPLICATION NO: 200700780
UNIT: BLOCK: 14 SECTION: 56
DIVISION: LYNEHAM
TYPE: NONR

RELEVANT CLAUSES FROM TERRITORY PLAN	ASSESSMENT OFFICER COMMENTS
d) any comments of a person or body to which the application has been referred for comment;	Considered
e) each objection or other submission received in relation to the application which has not been withdrawn;	Considered
f) any environmental assessment or the results of any inquiry carried out under the provisions of Part IV of the Land Act;	Considered
g) where the proposal would affect a place of Aboriginal heritage included in the Heritage Places Register, the views of any relevant Aboriginal organisation; and	Considered
h) where the development or proposal would involve a Variation to the Plan, the Strategic Principles set out in Part A2 above.	Considered
9.3 In addition to the matters in paragraph 9.2, the relevant authority shall carefully consider those of the following matters that are of relevance to the proposal:	
a) the suitability of the site for the intended use;	Considered
b) the overall quality of the proposed development, including the extent to which it achieves high standards of urban and environmental design and sustainable development outcomes;	Considered
c) any significant short or long term effect which the relevant authority considers the use or development may have on the environment, including social and economic effects and potential cumulative effects;	Considered
d) impacts on the amenity of surrounding land uses, including impacts on air quality, the level of noise generated, overshadowing, privacy, and the level of wind turbulence generated;	Considered
e) impacts on the visual amenity and landscape or streetscape of the area;	Considered
f) impacts on the character and appearance of any building, area of architectural, historic, aesthetic or scientific interest, or otherwise of special cultural or heritage value;	Considered
g) impacts on the watercourses and drainage characteristics of the area, including water quality;	Considered
h) impacts on soil stability and quality, including the extent of earthworks and stabilisation works required as part of any proposed land use or development;	Considered

**PART A3 - TERRITORY PLAN
GENERAL PRINCIPLES AND POLICIES
ASSESSMENT REPORT**
ASSESSMENT OFFICER: OWEN PANKHURST

APPLICATION NO: 200700780
UNIT: BLOCK: 14 SECTION: 56
DIVISION: LYNEHAM
TYPE: NONR

RELEVANT CLAUSES FROM TERRITORY PLAN	ASSESSMENT OFFICER COMMENTS
i) the degree of fire, flood, erosion or other hazards associated with the location of the land and the use or development of that land;	Considered
j) impacts on flora and wildlife habitats;	Considered
k) the amount of traffic likely to be generated and its impact on the movement of traffic on the road system;	Considered
l) the availability of services including water, electricity, telephone, drainage and sewerage or works for the disposal of stormwater and sewage;	Considered
m) whether public transport services are necessary and, if so, whether they are available and adequate;	Considered
n) provision for the parking and loading of vehicles and access to parking spaces and loading bays;	Considered
o) retention or loss of vegetation and other natural features;	Considered
p) provision of landscaping;	Considered
q) impacts on, and the needs of, cyclists and pedestrians ;	Considered
r) access for people with disabilities;	Considered
s) the adequacy of community facilities and services;	Considered
t) impacts on public health and safety, including crime prevention;	Considered
u) impacts on public infrastructure investment;	Considered
v) impacts on the likely accessibility to facilities and services for users and consumers;	Considered
w) the efficient use of energy (including solar energy) and resources;	Considered
x) the provisions of any Lease or Development Conditions applying to the area; and	Considered
y) the provisions of any relevant draft Plan of Management or Community Value Statement prepared and submitted to the Minister in accordance with clause 13.2.	N/A



- KEY**
- ① Van Hanh Temple
 - ② Prajna Temple (15 m)
 - ③ One Pillar Temple
 - ④ Peace Pergoda (15 m)
 - ⑤ Buddha Statue
 - ⑥ Triple gates
 - ⑦ Giac Tanh Buddhist College (9 metres)
 - ⑧ Nagarjura Library
 - ⑨ Bodhi Tree
 - ⑩ Rahula Student Housing
 - ⑪ Nuns Living Quarter (8.5 m)
 - ⑫ Cafeteria
 - ⑬ Retreat Huts (6.5 m)
 - ⑭ Proposed Monks Living Quarter (8.5 metres)
 - ⑮ Flag pole
 - ⑯ Parking Shed & Carport
 - ⑰ Forrest
 - ⑱ Garden
 - ⑲ Garbage Enclosure
 - ⑳ Bell Tower (9 metres)
- Developed Building / Structure (hatched)
 Proposed Building / Structure (un-hatched)

- LEGEND**
- Existing trees & shrubs
 - ⊗ Westringia Longifolia - 2m h x 1.5m w

SITE PLAN
SCALE : 1 : 500

AMENDMENTS: 20/02/07

②	RE-DESIGN PROPOSED PRAJNA TEMPLE
④	RE-POSITION PROPOSED PEACE PERGODA STATUE
⑦	RE-DESIGN PROPOSED BUDDHIST COLLEGE
⑧	RE-DESIGN PROPOSED NAGARJURA LIBRARY

GENERAL NOTES

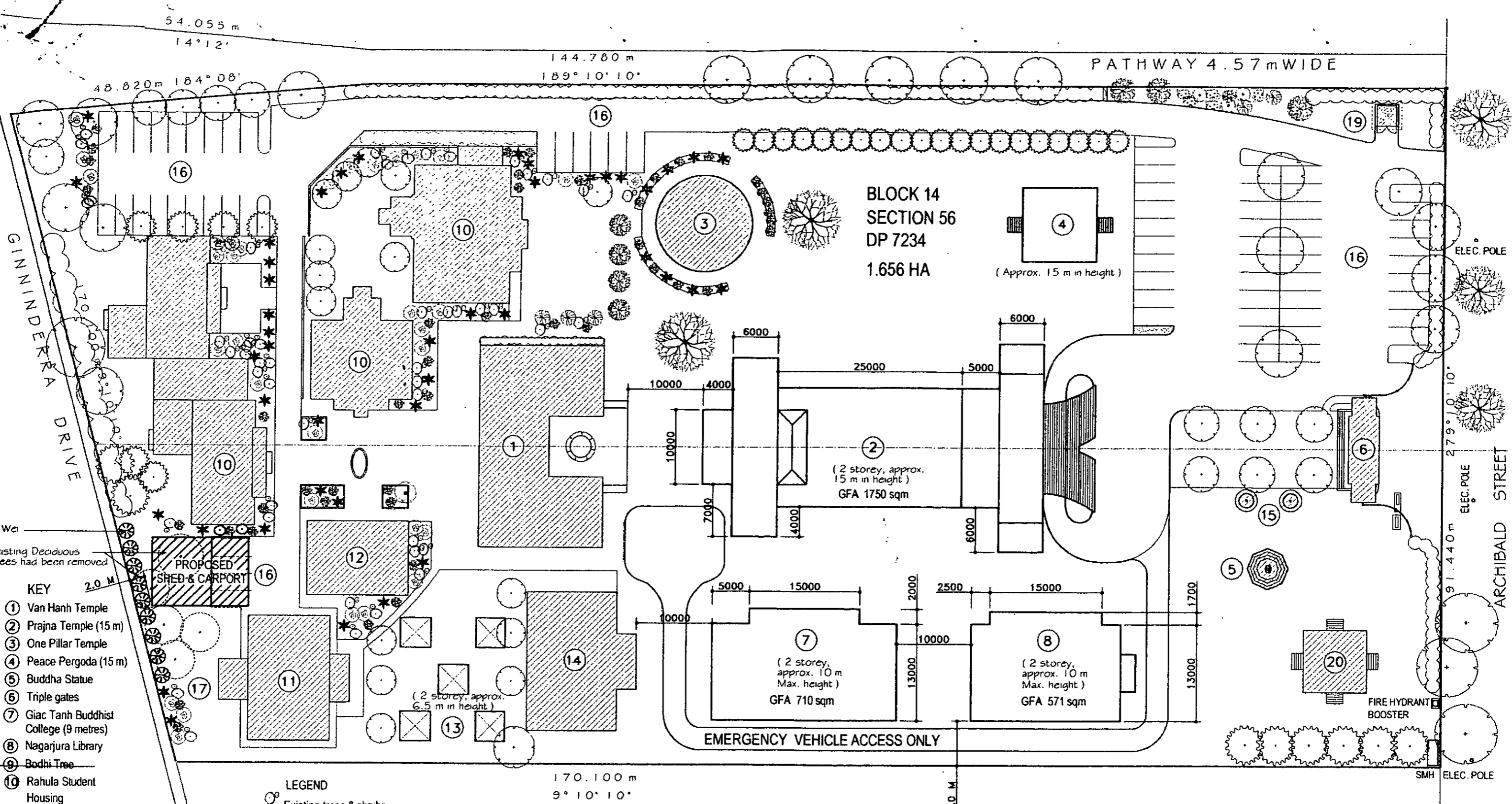
CARRY OUT ALL WORK IN COMPLIANCE WITH THE RELEVANT SAA CODES OF PRACTICE IN THE BEST TRADESMAN-LIKE MANNER TO THE APPROVAL OF THE SUPERINTENDENT AND AUTHORITIES HAVING JURISDICTION OVER THE WORKS INCLUDING BUT NOT RESTRICTED TO:

A) ACT GOVERNMENT
B) BCA AND THE ACT APPENDIX

ALL DIMENSIONS MUST BE VERIFIED ON SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. USE FIGURED DIMENSIONS ONLY. DO NOT SCALE OFF THE DRAWING.

SURVEYOR TO CONFIRM EASEMENT LOCATIONS PRIOR TO COMMENCEMENT OF ANY WORKS.

CLIENT :	PROJECT :	DRAWING TITLE :		
SAKYAMUNI BUDDHIST CENTRE	PROPOSED NEW WORK REVISED MASTER PLAN	AMENDED MASTER PLAN		
		SCALE : 1 : 500	DATE : February 20 2007	
BLOCK : 14	SECTION : 56	DRAWN BY : TS	SHEET No. 1	DRAWING No. A07/01
DIVISION : LYNEHAM		CHECKED BY : ISSUE No.		



- KEY**
- ① Van Hanh Temple
 - ② Prajna Temple (15 m)
 - ③ One Pillar Temple
 - ④ Peace Pergoda (15 m)
 - ⑤ Buddha Statue
 - ⑥ Triple gates
 - ⑦ Giac Tanh Buddhist College (9 metres)
 - ⑧ Nagarjura Library
 - ⑨ Bodhi Tree
 - ⑩ Rahula Student Housing
 - ⑪ Nuns Living Quarter (8.5 m)
 - ⑫ Cafeteria
 - ⑬ Retreat Huts (6.5 m)
 - ⑭ Proposed Monks Living Quarter (8.5 metres)
 - ⑮ Flag pole
 - ⑯ Parking Shed & Carport
 - ⑰ Forrest
 - ⑱ Garden
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- Developed Building / Structure (hatched)
Proposed Building / Structure (un-hatched)

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- Existing trees & shrubs
 - ⊗ Westringia Longifolia - 2m h x 1.5m w

SITE PLAN
SCALE : 1 : 500

AMENDMENTS: 20/02/07

②	RE-DESIGN PROPOSED PRAJNA TEMPLE
④	RE-POSITION PROPOSED PEACE PERGODA STATUE
⑦	RE-DESIGN PROPOSED BUDDHIST COLLEGE
⑧	RE-DESIGN PROPOSED NAGARJURA LIBRARY

GENERAL NOTES

CARRY OUT ALL WORK IN COMPLIANCE WITH THE RELEVANT SAA CODES OF PRACTICE IN THE BEST TRADESMAN-LIKE MANNER TO THE APPROVAL OF THE SUPERINTENDENT AND AUTHORITIES HAVING JURISDICTION OVER THE WORKS INCLUDING BUT NOT RESTRICTED TO:

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CLIENT :

**SAKYAMUNI
BUDDHIST
CENTRE**

PROJECT :

**PROPOSED NEW WORK
REVISED MASTER PLAN**

BLOCK : 14 SECTION : 56

DIVISION : **LYNEHAM**

DRAWING TITLE :

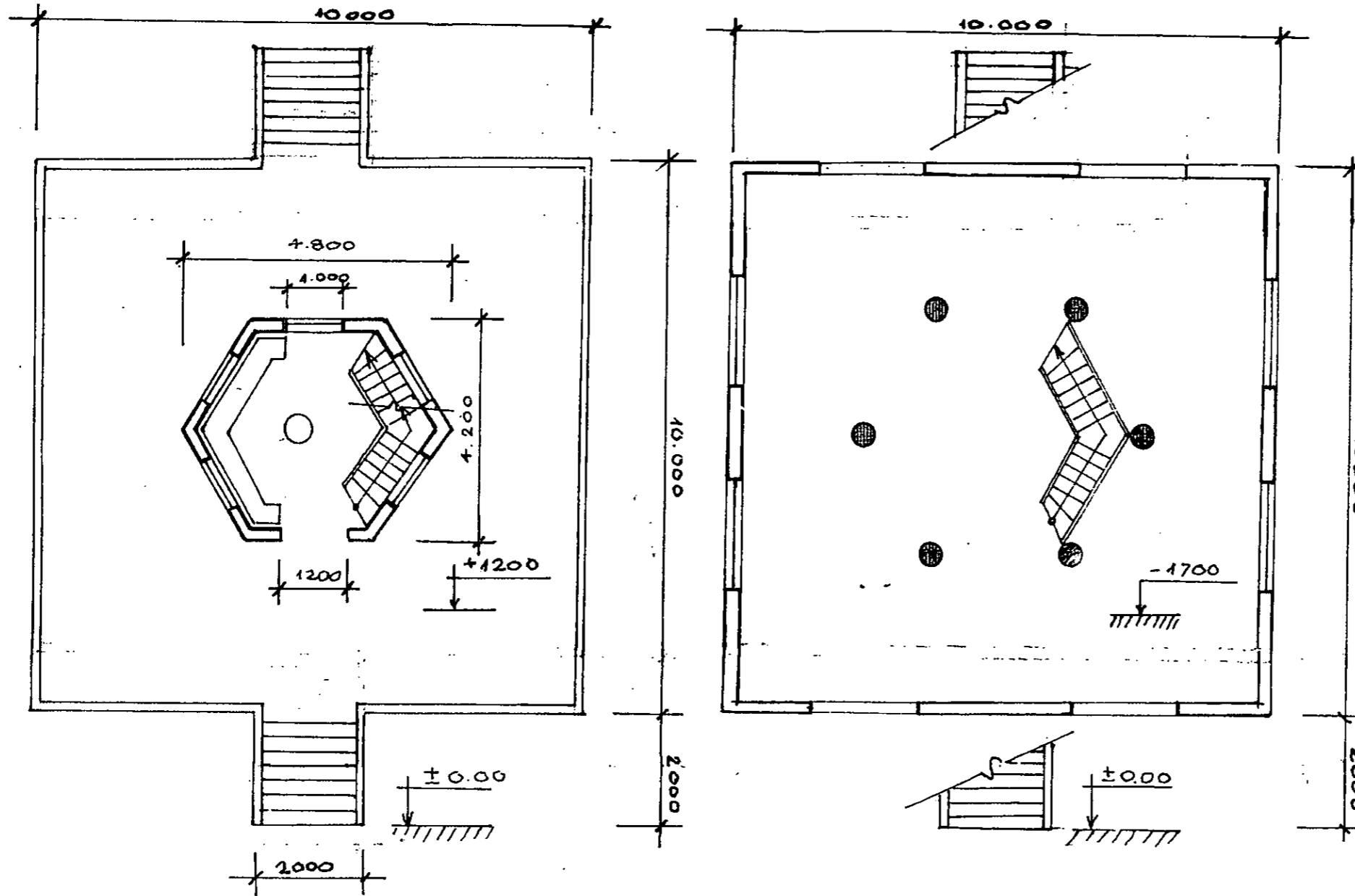
AMENDED MASTER PLAN

SCALE : 1 : 500 DATE : February 20 2007

DRAWN BY : TS SHEET No. 1 DRAWING No. A07/01

CHECKED BY : ISSUE No.

DRAFT WORKING DRAWING ONLY



GROUND PLAN
SCALE 1 : 100

BASEMENT PLAN
SCALE 1 : 100

PEACE PERGODA - FLOOR PLAN

GENERAL NOTES

THIS DRAWING IS TO BE CONSIDERED AS A DRAFT WORKING DRAWING ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. ANY CHANGES TO THIS DRAWING MUST BE APPROVED BY THE ARCHITECT. THIS DRAWING IS NOT TO BE USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

AMENDMENTS:

PROJECT

PROPOSED NEW WORK
PEACE PERGODA

DRAWING TITLE

FLOOR PLAN

CLIENT

SAKYAMUNI BUDDHIST CENTRE

BLOCK / LOT

14

SECTION

56

DIVISION / SUBURBS

LYNEHAM

DESIGNER / ARCHITECT



24 Skardon Street
Kaleen ACT 2617
Ph/Fax: 6253 8272
Mob: 0412 628 244

SCALE

1 : 100

SHEET No.

2 OF 3

DATE

February 20 2007

DRAWING No.

A07/01

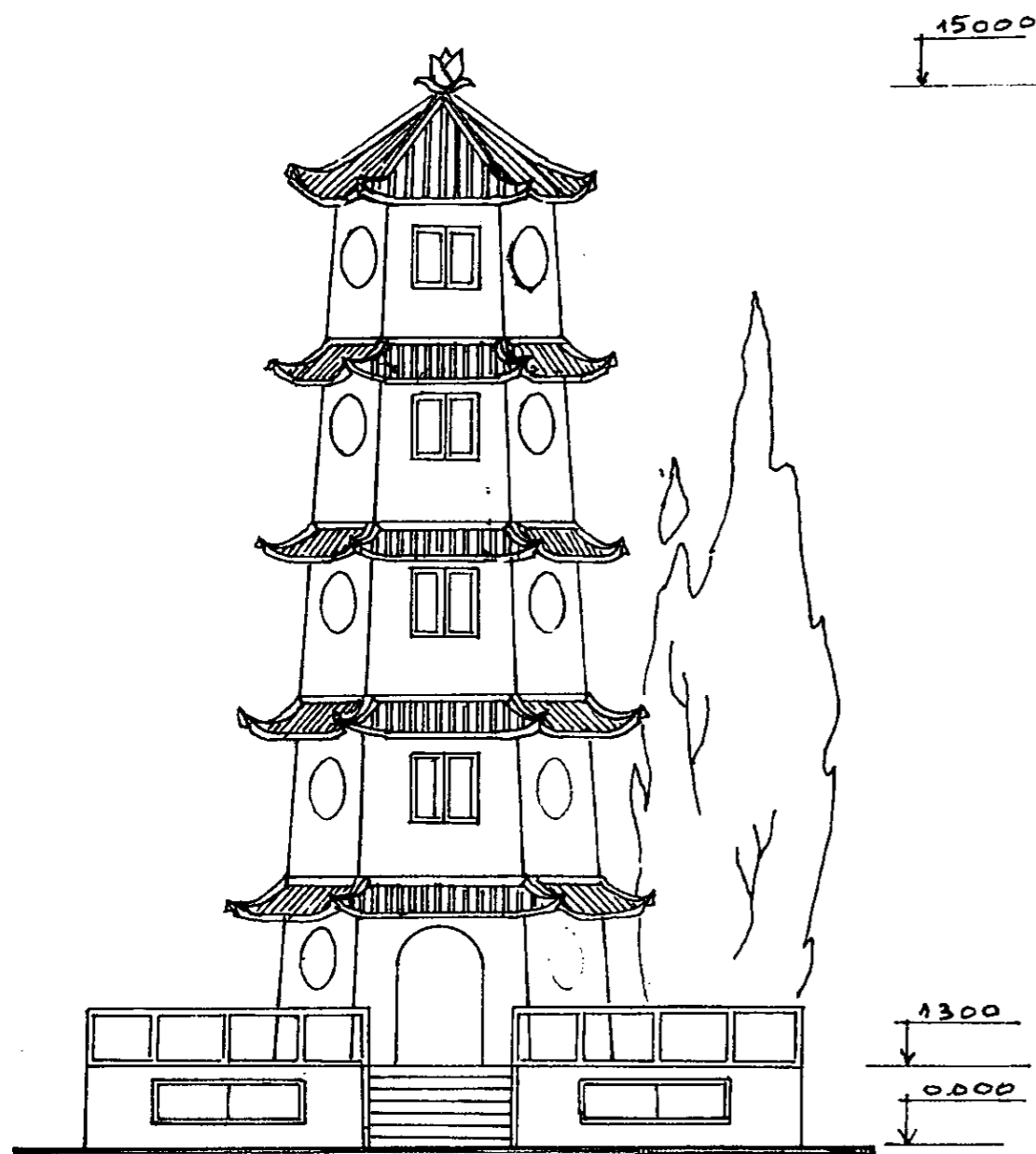
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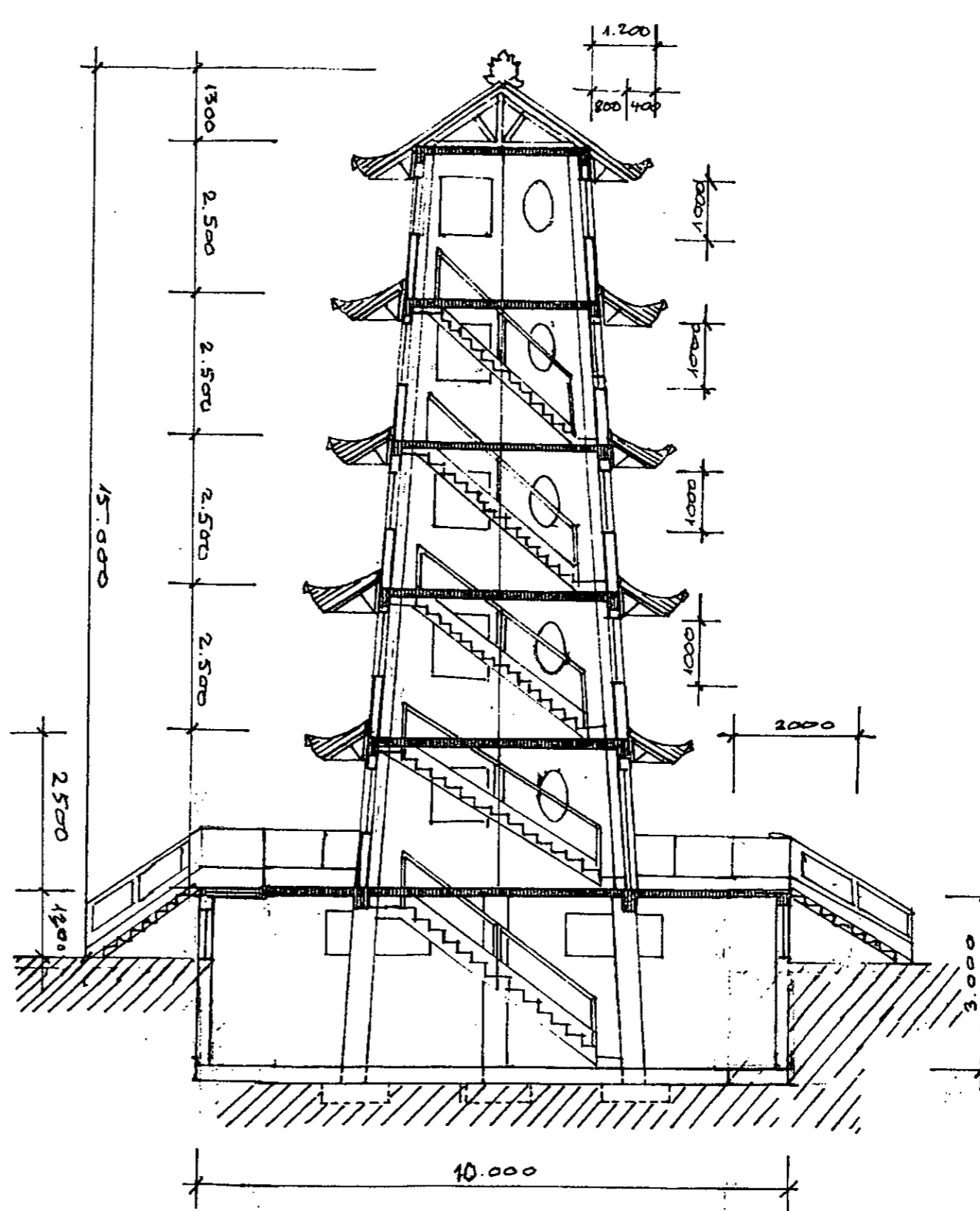
DRAWN BY

TS

DRAFT WORKING DRAWING ONLY



ELEVATION



SECTION

PEACE PERGODA - ELEVATION & SECTION

GENERAL NOTES

1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
 4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
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AMENDMENTS:

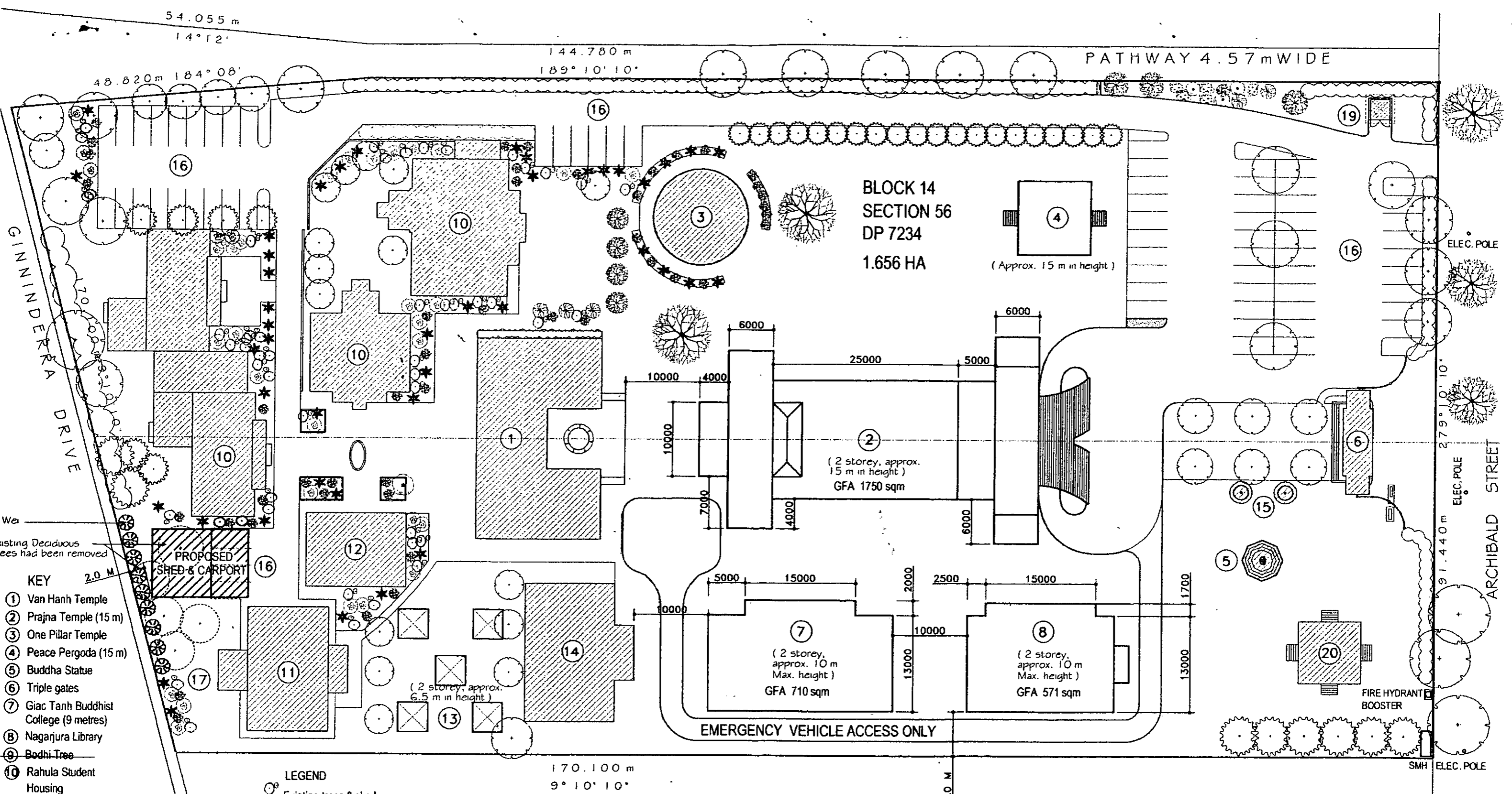
PROJECT	
PROPOSED NEW WORK PEACE PERGODA	
DRAWING TITLE	
ELEVATION & SECTION	
CLIENT	
SAKYAMUNI BUDDHIST CENTRE	
BLOCK / LOT	SECTION
14	56
DIVISION / SUBURB	
LYNEHAM	

TON DESIGN & CONSTRUCTIONS



24 Skardon Street
 Kaleen ACT 2617
 Ph/Fax: 6253 8272
 Mob: 0412 628 244

SCALE	SHEET No.
1 : 100	3 OF 3
DATE	DRAWING No.
February 20 2007	A07/01
CHECKED BY	DRAWN BY
TS	TS



- KEY**
- ① Van Hanh Temple
 - ② Prajna Temple (15 m)
 - ③ One Pillar Temple
 - ④ Peace Pergoda (15 m)
 - ⑤ Buddha Statue
 - ⑥ Triple gates
 - ⑦ Giac Tanh Buddhist College (9 metres)
 - ⑧ Nagarjura Library
 - ⑨ Bodhi Tree
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 - ⑪ Nuns Living Quarter (8.5 m)
 - ⑫ Cafeteria
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- LEGEND**
- Existing trees & shrubs
 - Westringia Longifolia - 2m h x 1.5m w

SITE PLAN
SCALE : 1 : 500



AMENDMENTS: 20/02/07

②	RE-DESIGN PROPOSED PRAJNA TEMPLE
④	RE-POSITION PROPOSED PEACE PERGODA STATUE
⑦	RE-DESIGN PROPOSED BUDDHIST COLLEGE
⑧	RE-DESIGN PROPOSED NAGARJURA LIBRARY

GENERAL NOTES

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CLIENT :
SAKYAMUNI BUDDHIST CENTRE

PROJECT :
**PROPOSED NEW WORK
REVISED MASTER PLAN**

BLOCK : 14 SECTION : 56

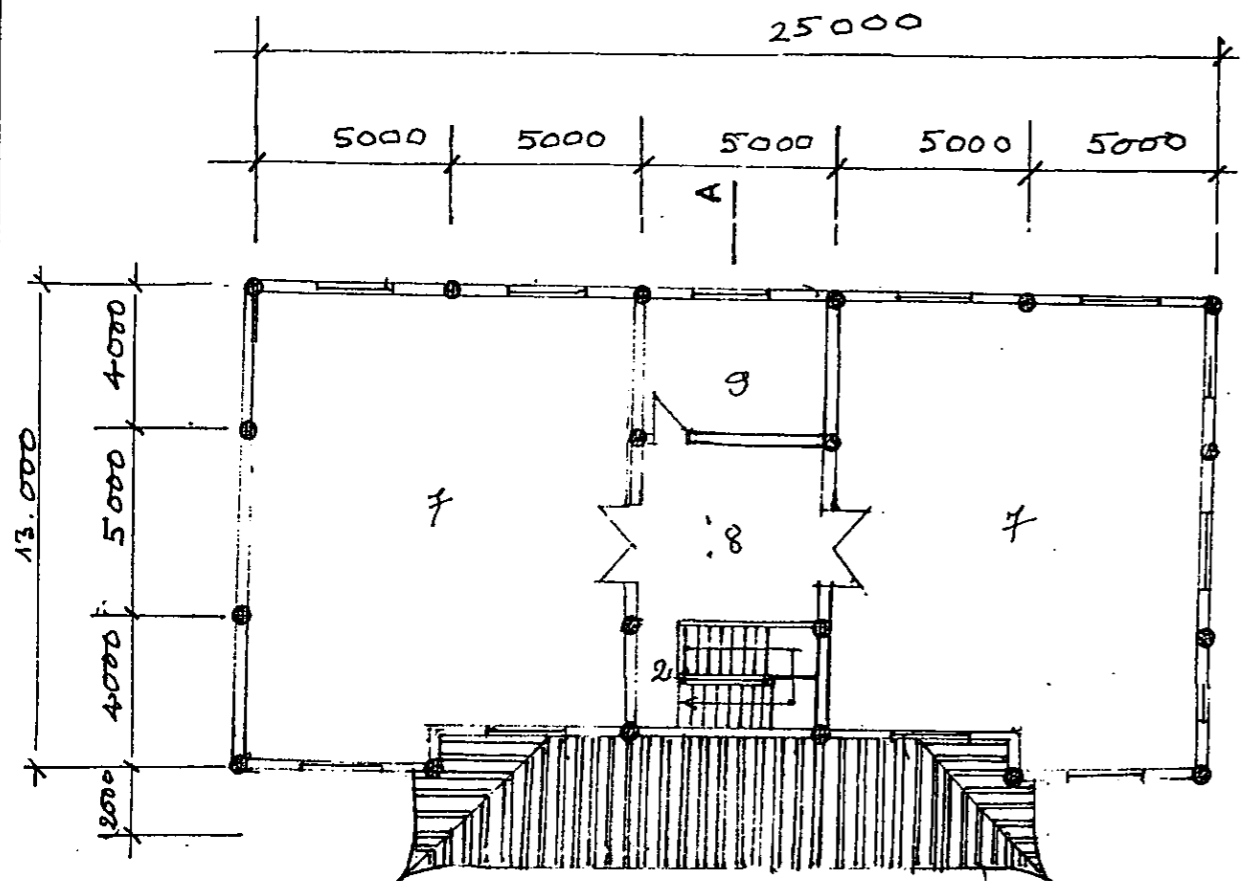
DIVISION :
LYNEHAM

DRAWING TITLE :
AMENDED MASTER PLAN

SCALE : 1 : 500 DATE : February 20 2007

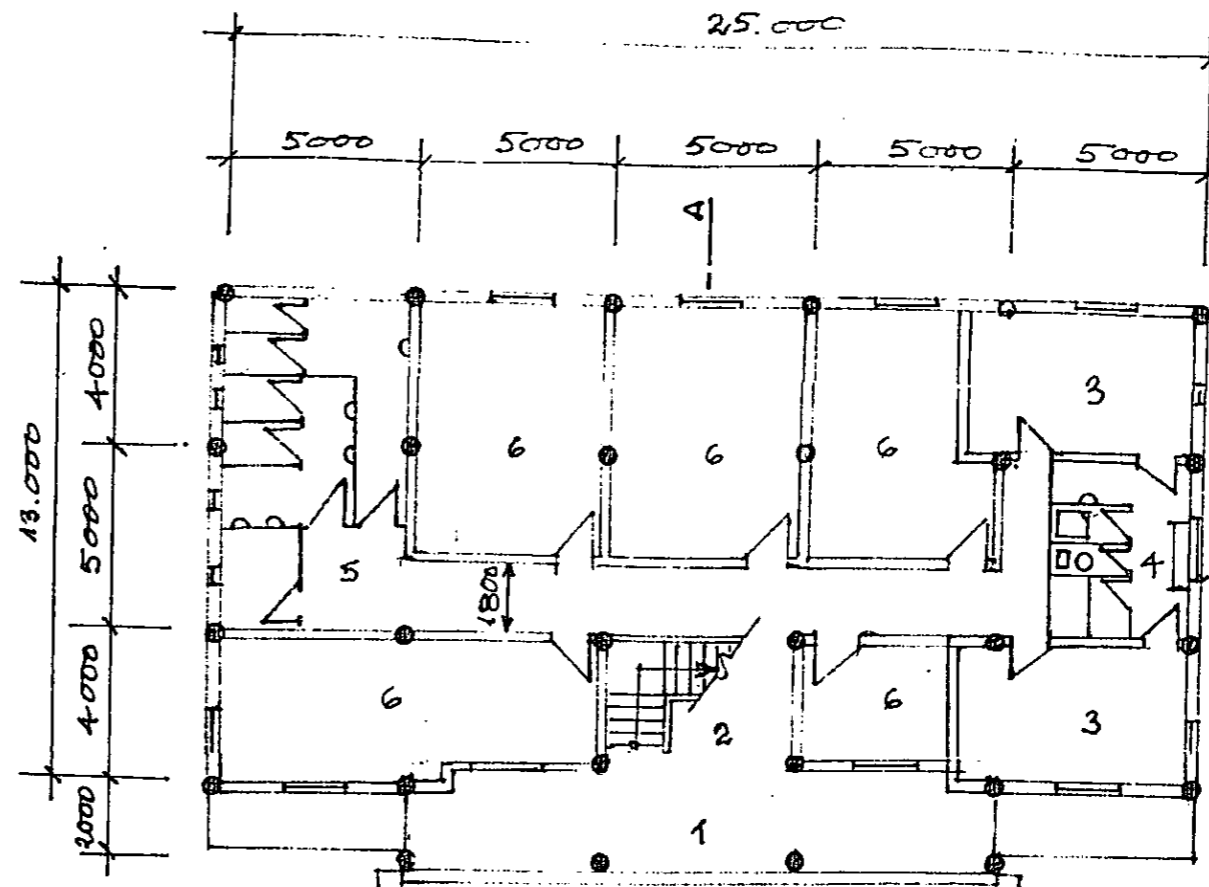
DRAWN BY : TS	SHEET No. 1	DRAWING No. A07/01
CHECKED BY :	ISSUE No.	

DRAFT WORKING DRAWING ONLY



GROUND FLOOR PLAN

SCALE 1 : 200

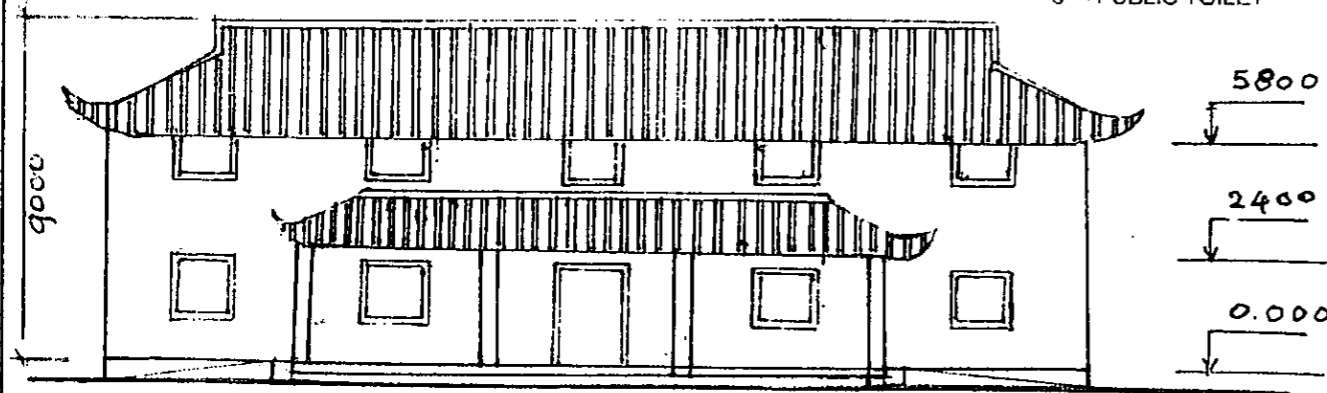


UPPER FLOOR PLAN

SCALE 1 : 200

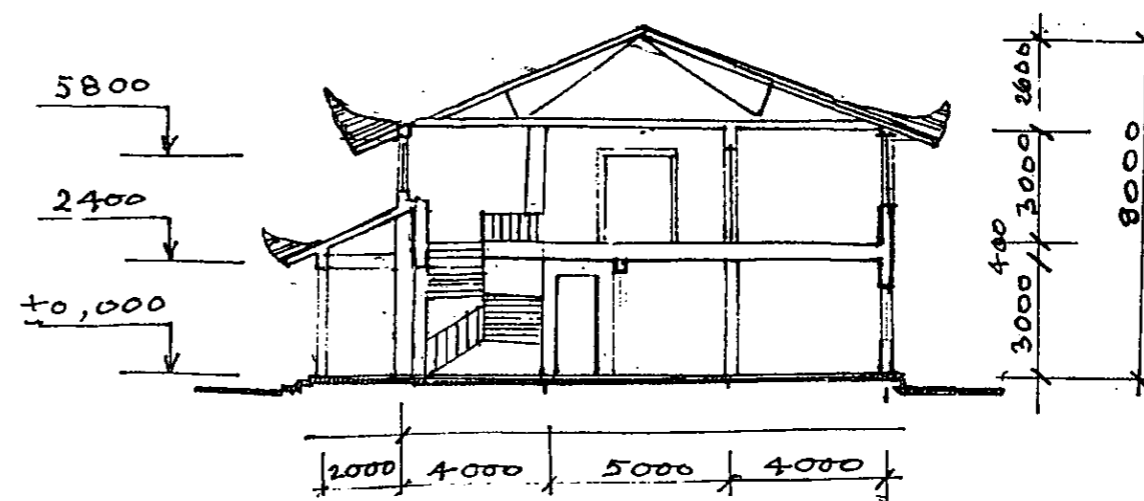
ROOM NAMES

- 1 - ENTRY (PORCH)
- 2 - STAIRS
- 3 - TEACHER ROOM
- 4 - ENSUITE
- 5 - PUBLIC TOILET
- 6 - CLASSROOM
- 7 - LECTURE ROOMS
- 8 - OPEN HALLWAY
- 9 - OFFICE



EAST ELEVATION

SCALE 1 : 200



SECTION A A

SCALE 1 : 200

GIAC TANH BUDDHIST COLLEGE

GENERAL NOTES

CARRY OUT ALL WORK IN CONFORMANCE WITH THE RELEVANT S.A.A. CODES OF PRACTICE IN THE MOST TRADESMAN LIKE MANNER TO THE APPROVAL OF THE SUPERINTENDENT AND ARCHITECT HAVING JURISDICTION OVER THE WORKS. BUILDING NOT BE SUBJECT TO:

- 1. ALL DIMENSIONS MUST BE VERIFIED ON SITE BEFORE COMMENCEMENT OF ANY WORK OR MAKING ANY SKETCH DRAWINGS.
- 2. USE HORIZONTAL DIMENSIONS ONLY.
- 3. DO NOT SCALE OFF THE DRAWING.
- 4. CONSULT TO ARCHITECT/ENGINEER/ARCHITECTS PRIOR TO COMMENCEMENT OF ANY WORKS.

AMENDMENTS:

PROJECT
PROPOSED NEW WORK
GIAC TANH BUDDHIST COLLEGE

DRAWING TITLE
FLOOR PLAN & ELEVATION

CLIENT
SAKYAMUNI BUDDHIST CENTRE

BLOCK / LOT SECTION
 14 56

DIVISION / SUBURB
LYNEHAM

TON DESIGN & CONSTRUCTIONS



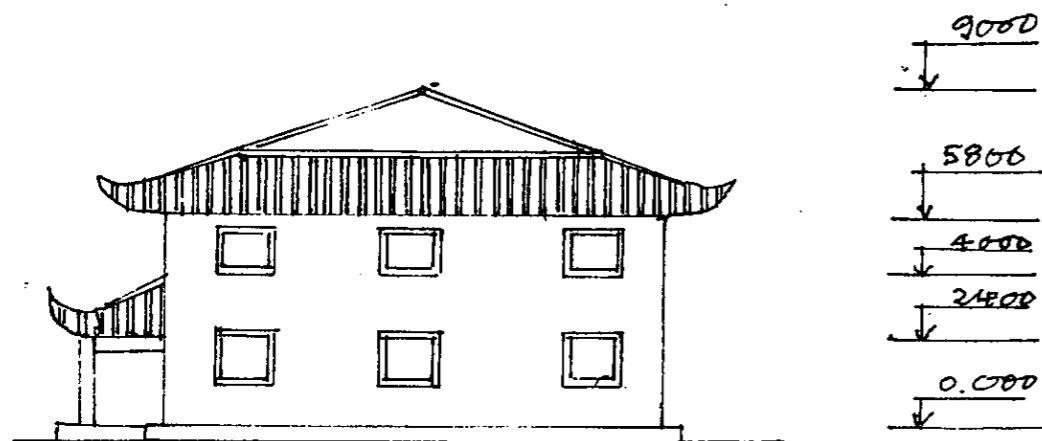
24 Skardon Street
 Kaleen ACT 2617
 Ph/Fax: 6253 8272
 Mob: 0412 628 244

SCALE SHEET No.
 1 : 200 2 OF 3

DATE DRAWING No.
 February 20 2007 A07/01

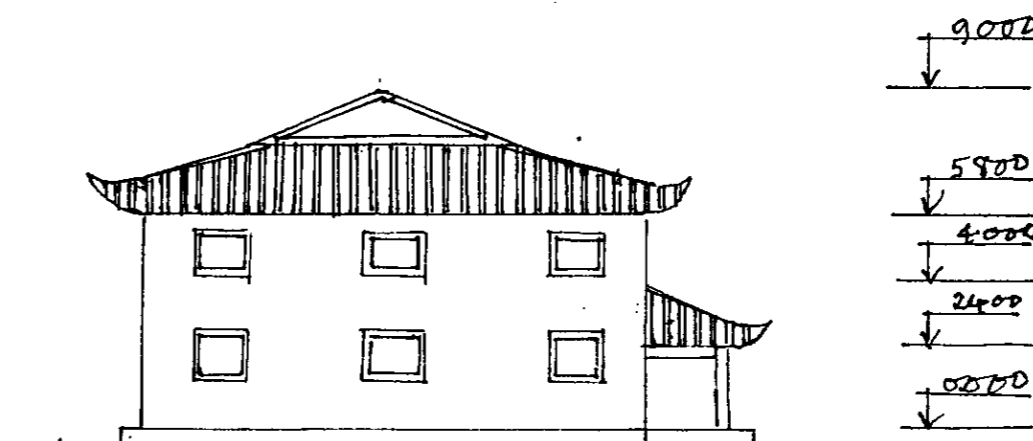
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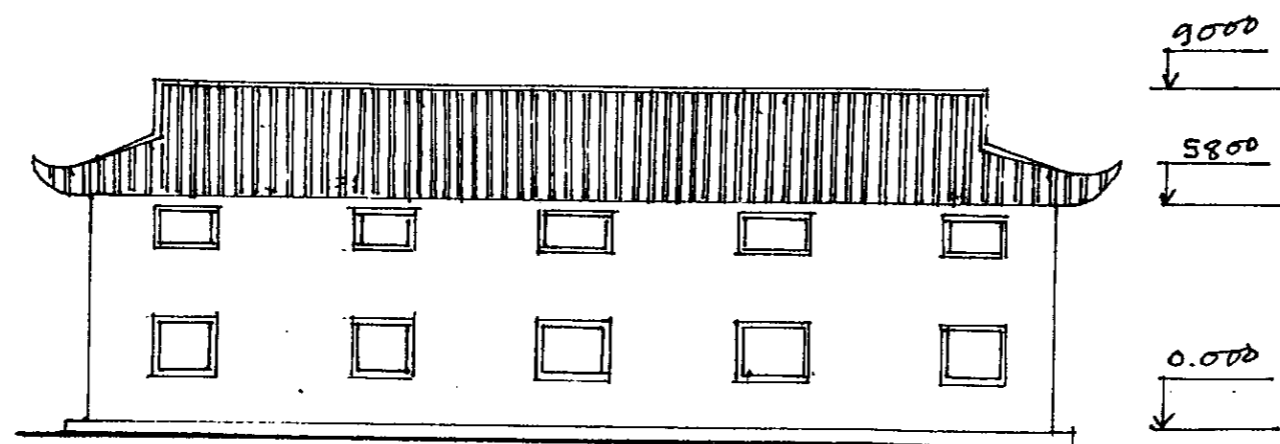
NORTH ELEVATION

SCALE 1:200



SOUTH ELEVATION

SCALE 1:200



WEST ELEVATION

SCALE 1:200

GIAC TANH BUDDHIST COLLEGE

GENERAL NOTES

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- B) BCA AND THE ACT ATTACHED

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SURVEYOR TO CONFIRM EASEMENT LOCATIONS PRIOR TO COMMENCEMENT OF ANY WORKS.

AMENDMENTS:

PROJECT
**PROPOSED NEW WORK
GIAC TANH BUDDHIST COLLEGE**

DRAWING TITLE
ELEVATIONS

CLIENT
SAKYAMUNI BUDDHIST CENTRE

BLOCK / LOT 14	SECTION 56
--------------------------	----------------------

DIVISION / SUBURBS
LYNEHAM

TON DESIGN & CONSTRUCTIONS



24 Skardon Street
Kaleen ACT 2617
Ph/Fax: 6253 8272
Mob: 0412 628 241

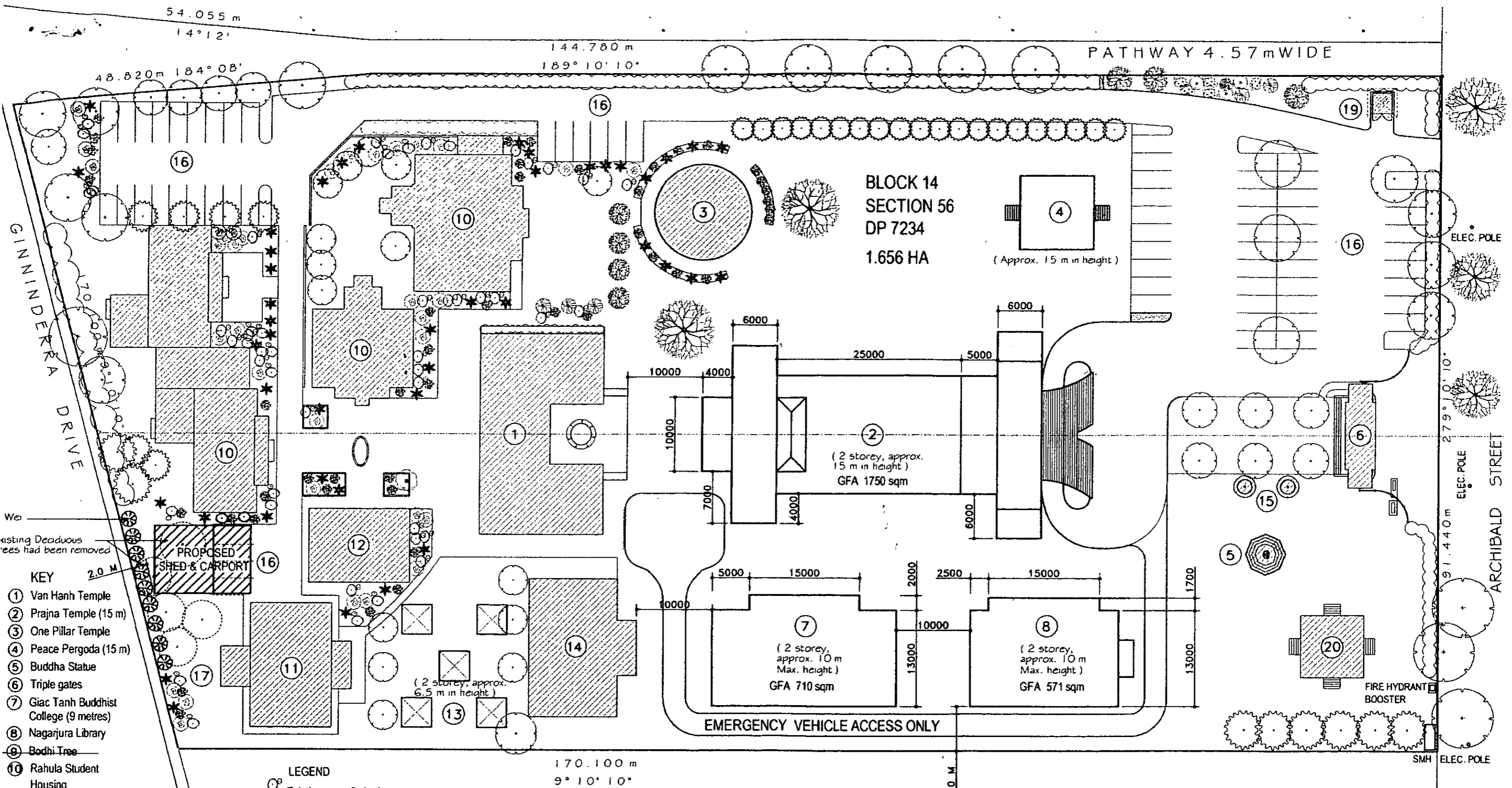
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1:200

SHEET No.
3 OF 3

DATE
February 20 2007

DRAWING No.
A07/01

CHECKED BY TS	DRAWN BY TS
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- KEY**
- ① Van Hanh Temple
 - ② Prajna Temple (15 m)
 - ③ One Pillar Temple
 - ④ Peace Pergoda (15 m)
 - ⑤ Buddha Statue
 - ⑥ Triple gates
 - ⑦ Giac Tanh Buddhist College (9 metres)
 - ⑧ Nagarjura Library
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- Developed Building / Structure (hatched)
Proposed Building / Structure (un-hatched)

- LEGEND**
- Existing trees & shrubs
 - ⊗ Westringia Longifolia - 2m h x 1.5m w

SITE PLAN
SCALE : 1 : 500

AMENDMENTS: 20/02/07

②	RE-DESIGN PROPOSED PRAJNA TEMPLE
④	RE-POSITION PROPOSED PEACE PERGODA STATUE
⑦	RE-DESIGN PROPOSED BUDDHIST COLLEGE
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CLIENT :
SAKYAMUNI BUDDHIST CENTRE

PROJECT :
**PROPOSED NEW WORK
REVISED MASTER PLAN**

BLOCK : 14 SECTION : 56

DIVISION :
LYNEHAM

DRAWING TITLE :
AMENDED MASTER PLAN

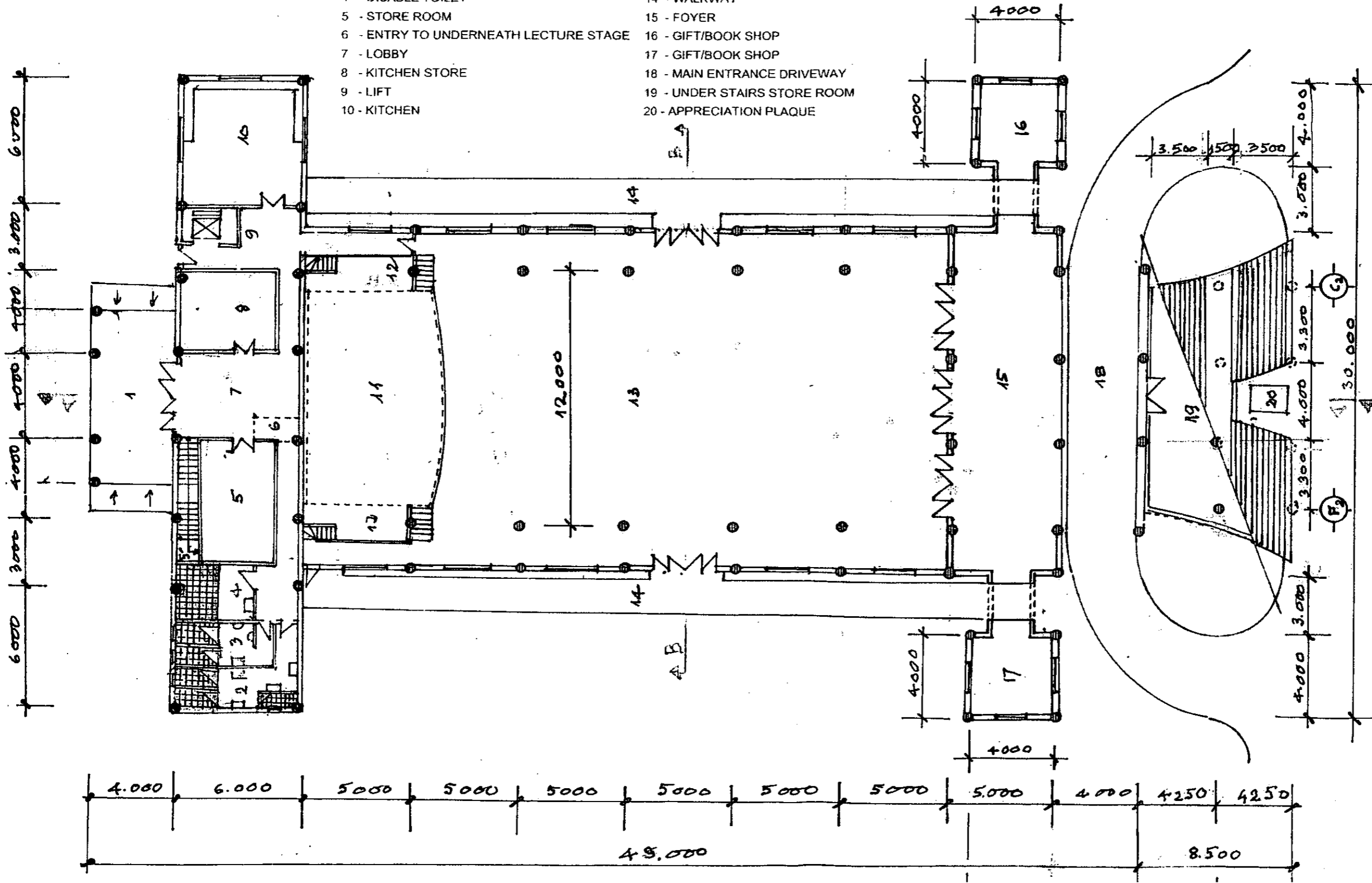
SCALE : 1 : 500 DATE : February 20 2007

DRAWN BY : TS	SHEET No. 1	DRAWING No.
CHECKED BY :	ISSUE No.	A07/01

DRAFT WORKING DRAWING ONLY

ROOM NAMES

- | | |
|---------------------------------------|------------------------------|
| 1 - PORCH | 11 - LECTURE STAGE |
| 2 - FEMALE TOILET | 12 - STAGE PREPARATION ROOM |
| 3 - MALE TOILET | 13 - MAIN COMMUNITY HALL |
| 4 - DISABLE TOILET | 14 - WALKWAY |
| 5 - STORE ROOM | 15 - FOYER |
| 6 - ENTRY TO UNDERNEATH LECTURE STAGE | 16 - GIFT/BOOK SHOP |
| 7 - LOBBY | 17 - GIFT/BOOK SHOP |
| 8 - KITCHEN STORE | 18 - MAIN ENTRANCE DRIVEWAY |
| 9 - LIFT | 19 - UNDER STAIRS STORE ROOM |
| 10 - KITCHEN | 20 - APPRECIATION PLAQUE |



PRAJNA TEMPLE - GROUND FLOOR PLAN

GENERAL NOTES

CARRY OUT ALL WORK IN ACCORDANCE WITH THE RELEVANT SALES COPIES OF SPECIFICATIONS IN THE BEST TRADESMAN LINE. REFER TO THE APPROVAL OF THE SUPERINTENDENT AND AUTHORIZED HAVING JURISDICTION OVER THE WORKS INDICATED AND NOT RESTRICTED TO:
 A) SET OUTWORKING
 B) PLS AND THE ACT ATTACHED
 ALL DIMENSIONS MUST BE VERIFIED ON SITE BEFORE COMMENCING AND WORK. FOR MARKING AND WORK DRAWINGS. DO NOT SCALE OFF THE DRAWING. REFER TO THE GENERAL SPECIFICATIONS FOR ANY OTHER TO BE OBSERVED ON SITE WORKS.

AMENDMENTS:

PROJECT	
PROPOSED NEW WORK PRAJNA TEMPLE	
DRAWING TITLE	
GROUND FLOOR PLAN	
CLIENT	
SAKYAMUNI BUDDHIST CENTRE	
BLOCK / LOT	SECTION
14	56
DIVISION / SUBURB	
LYNEHAM	

TON DESIGN & CONSTRUCTIONS

24 Skardon Street
Kaleen ACT 2617
Ph/Fax: 6253 8272
Mob: 0412 628 244

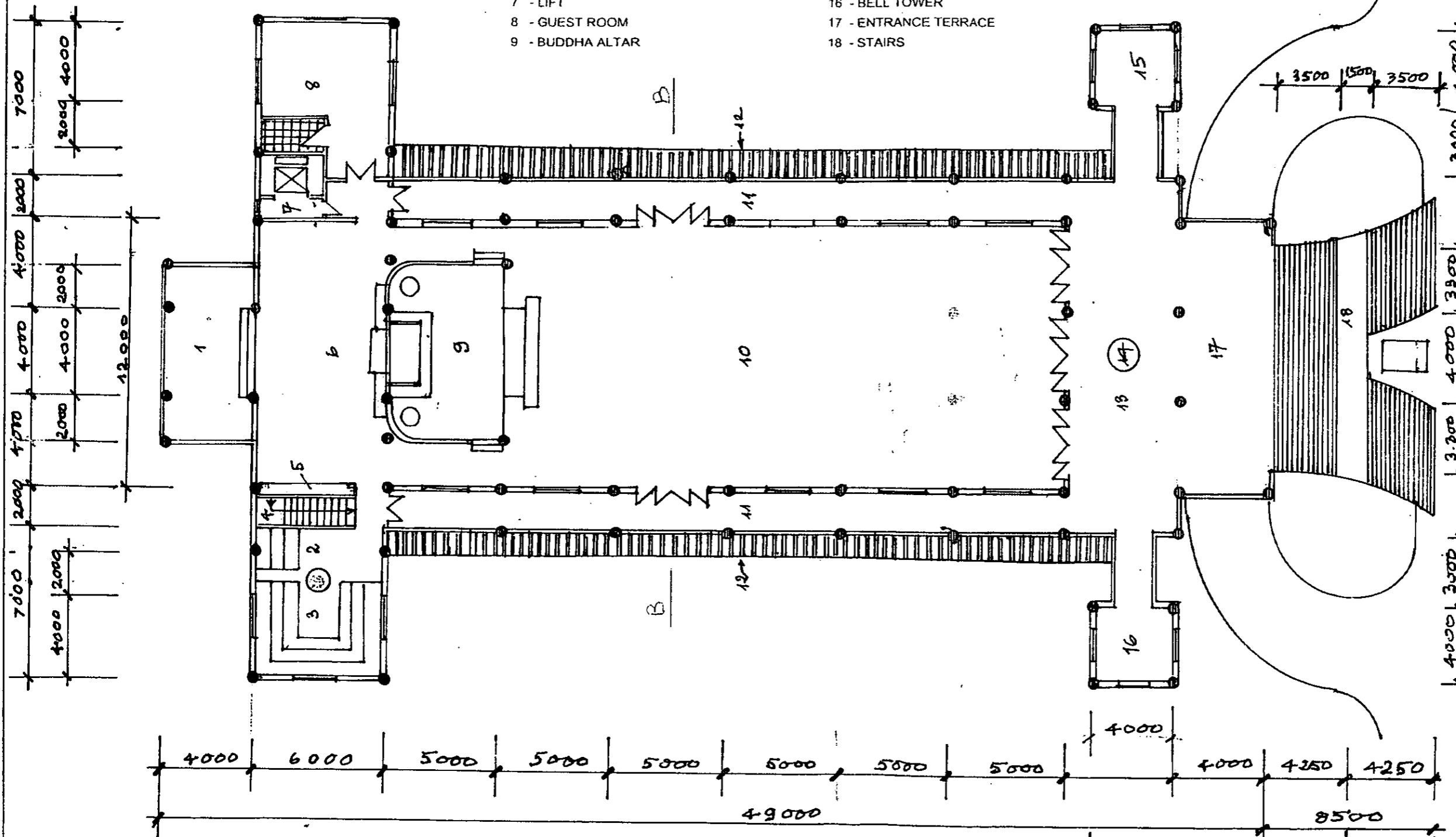
TECHNICAL SERVICES

SCALE	SHEET No.
1:200	2 OF 6
DATE	DRAWING No.
February 20 2007	A07/01
CHECKED BY	DRAWN BY
TS	TS

DRAFT WORKING DRAWING ONLY

ROOM NAMES

- | | |
|------------------|-----------------------|
| 1 - BALCONY | 10 - MEDITATION ROOM |
| 2 - ALTAR ROOM | 11 - VERANDAH |
| 3 - ALTAR ROOM | 12 - WALKWAY COVER |
| 4 - STAIRS | 13 - MAIN ENTRANCE |
| 5 - BENCH / SINK | 14 - BUDDHA STATUE |
| 6 - DISPLAY ROOM | 15 - DRUM TOWER |
| 7 - LIFT | 16 - BELL TOWER |
| 8 - GUEST ROOM | 17 - ENTRANCE TERRACE |
| 9 - BUDDHA ALTAR | 18 - STAIRS |



GENERAL NOTES

CONDUCT ALL WORK IN COMPLIANCE WITH THE RELEVANT
 RULES AND REGULATIONS OF THE BUILDING DEPARTMENT
 AND THE LOCAL AUTHORITY. THE CONTRACTOR SHALL
 BE RESPONSIBLE FOR OBTAINING ALL NECESSARY
 APPROVALS FROM THE LOCAL AUTHORITY AND
 THE RELEVANT DEPARTMENTS.
 ALL DIMENSIONS AND WORK SHALL BE AS SHOWN ON THIS DRAWING
 UNLESS OTHERWISE SPECIFIED.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL
 NECESSARY APPROVALS FROM THE LOCAL AUTHORITY AND
 THE RELEVANT DEPARTMENTS.

AMENOMENTS:

PROJECT	
PROPOSED NEW WORK PRAJNA TEMPLE	
DRAWING TITLE	
UPPER FLOOR PLAN	
CLIENT	
SAKYAMUNI BUDDHIST CENTRE	
BLOCK / LOT	SECTION
14	56
DIVISION / SUBURB	
LYNEHAM	

TON DESIGN & CONSTRUCTIONS

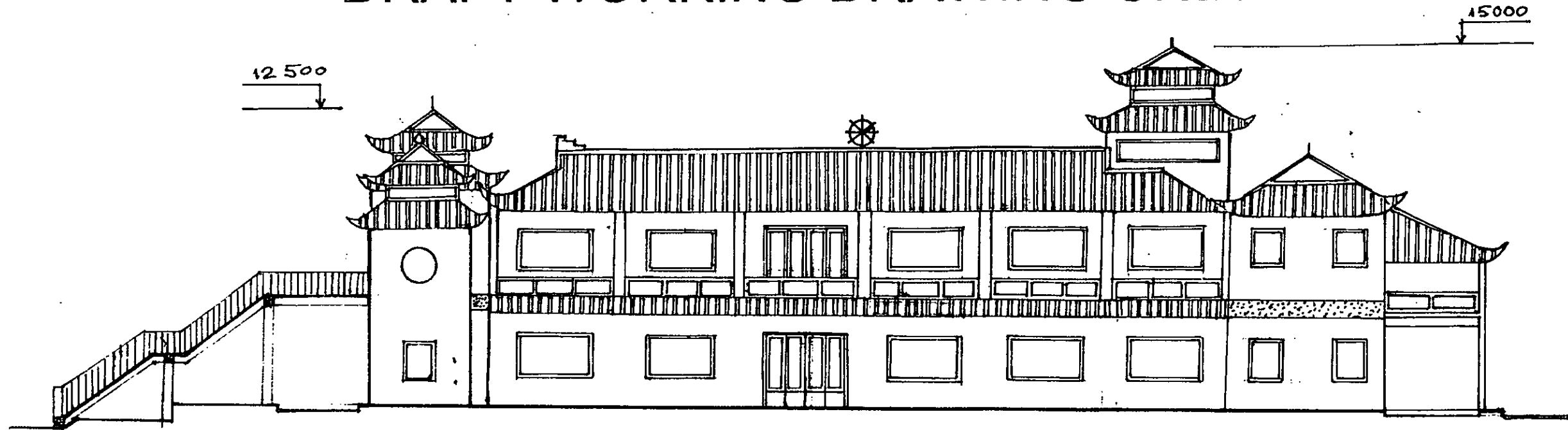
24 Skardon Street
 Kaleen ACT 2617
 Ph/Fax: 6253 8272
 Mob: 0412 628 244

TECHNICAL SERVICES

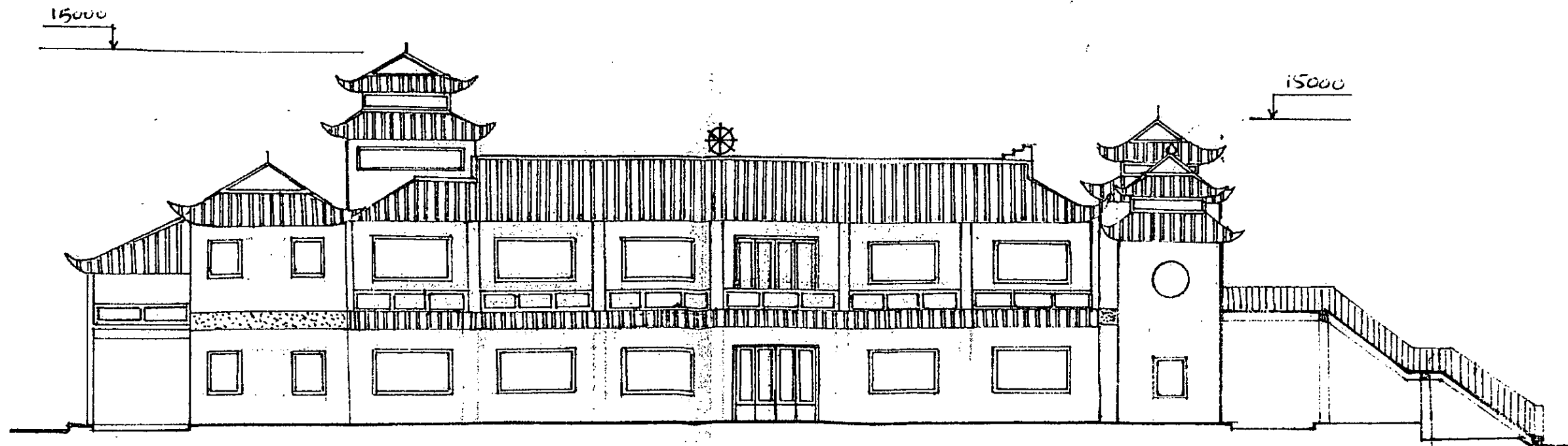
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1 : 200	3 OF 6
DATE	DRAWING No.
February 20 2007	A07/01
CHECKED BY	DRAWN BY
TS	TS

PRAJNA TEMPLE - UPPER FLOOR PLAN

DRAFT WORKING DRAWING ONLY



EAST ELEVATION



WEST ELEVATION

PRAJNA TEMPLE - ELEVATIONS

GENERAL NOTES

1. ALL WORK SHALL BE IN COMPLIANCE WITH THE RELEVANT
 2. ALL WORK SHALL BE IN COMPLIANCE WITH THE RELEVANT
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AMENDMENTS:

PROJECT

PROPOSED NEW WORK
 PRAJNA TEMPLE

DRAWING TITLE

ELEVATIONS

CLIENT

SAKYAMUNI BUDDHIST CENTRE

BLOCK / LOT

14

SECTION

56

DIVISION / SUBURB

LYNEHAM

TON DESIGN & CONSTRUCTIONS



24 Skardon Street
 Kaleen ACT 2617
 Ph/Fax: 6253 8272
 Mob: 0412 628 244

SCALE

1 : 200

SHEET No.

4 OF 6

DATE

February 20 2007

DRAWING No.

A07/01

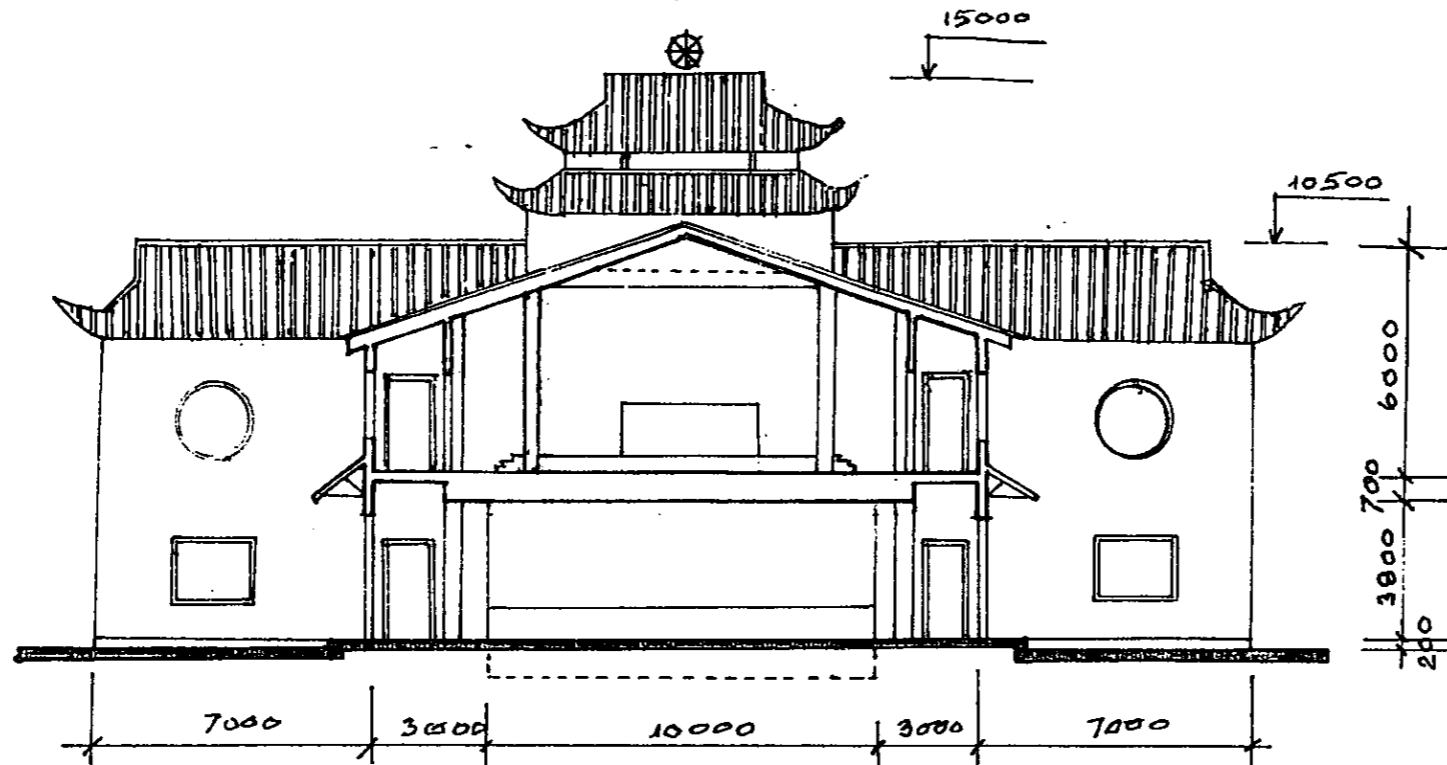
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TS

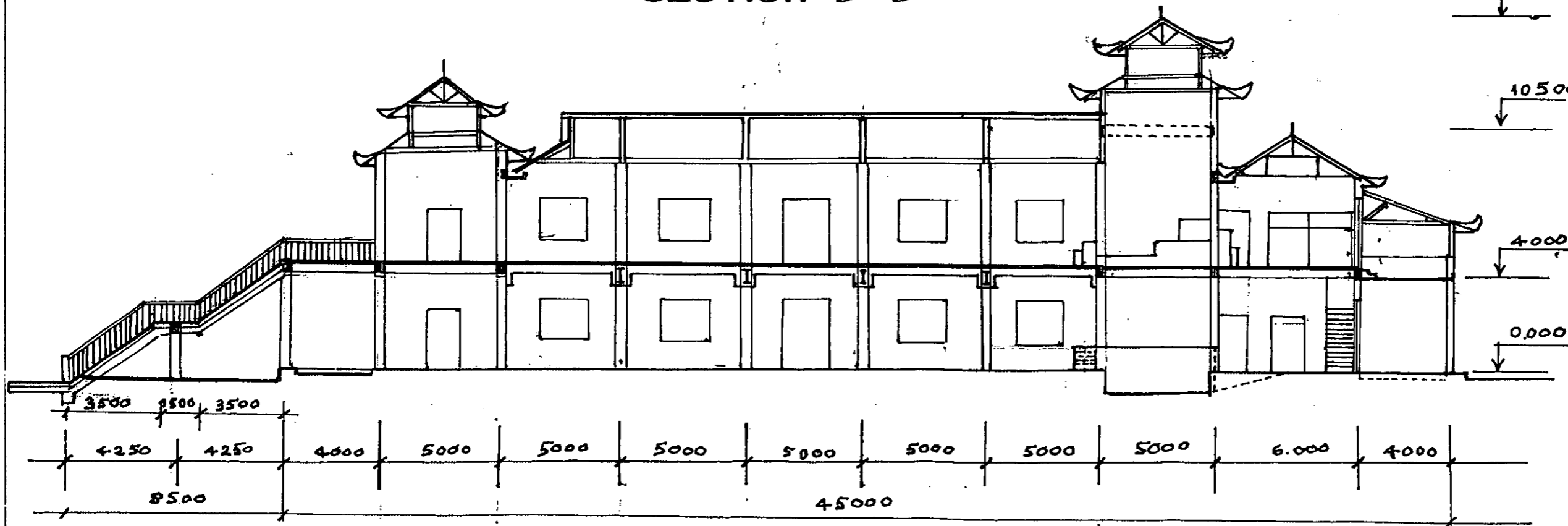
DRAWN BY

TS

DRAFT WORKING DRAWING ONLY



SECTION B B



SECTION A A

PRAJNA TEMPLE - SECTIONS

GENERAL NOTES

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AMENDMENTS:

PROJECT
PROPOSED NEW WORK
PRAJNA TEMPLE

DRAWING TITLE
SECTIONS

CLIENT
SAKYAMUNI BUDDHIST CENTRE

BLOCK / LOT SECTION
14 56

DIVISION / SUBURB
LYNEHAM

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SCALE
1 : 200

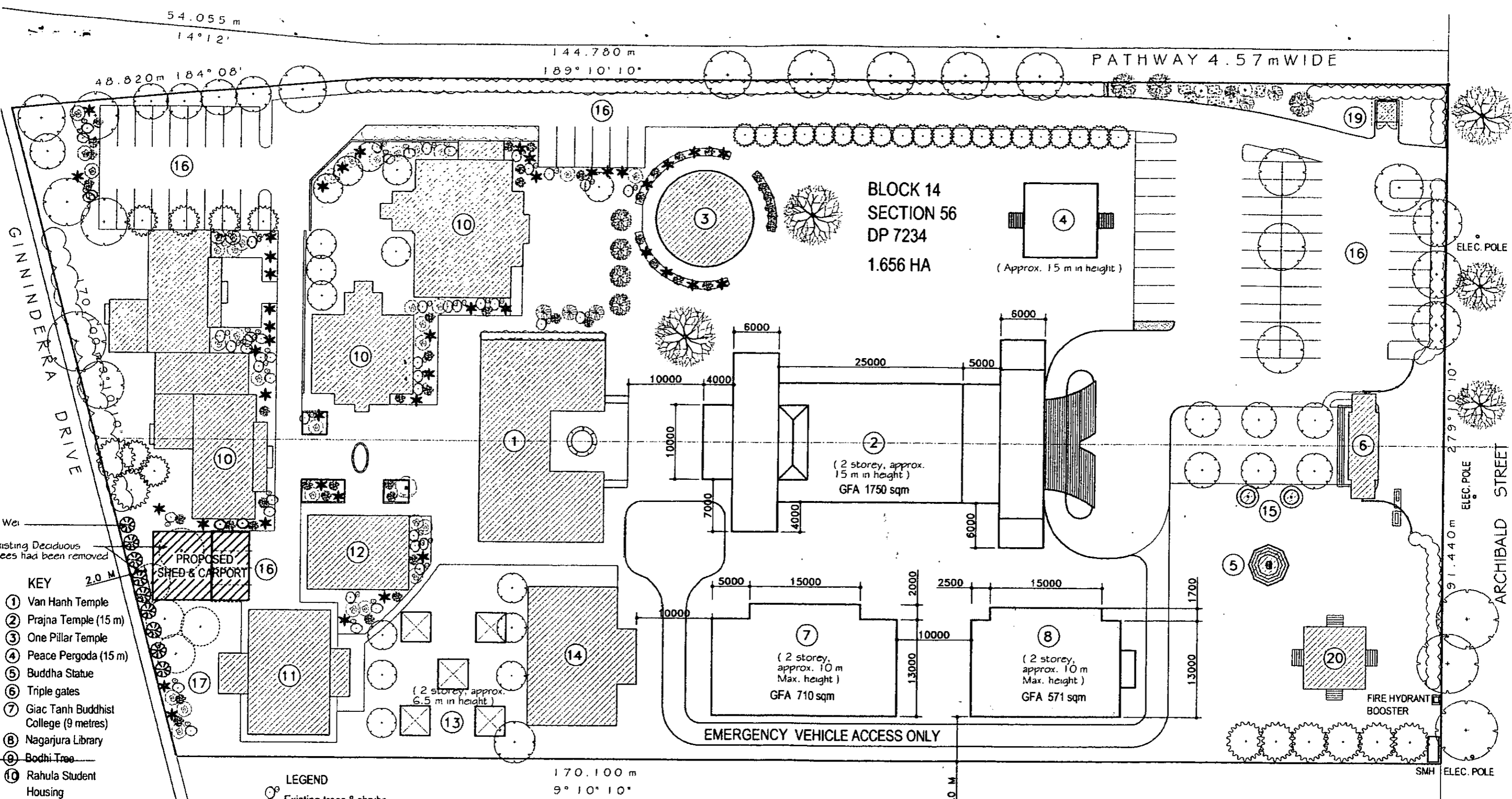
SHEET No.
6 OF 6

DATE
February 20 2007

DRAWING No.
A07/01

CHECKED BY
TS

DRAWN BY
TS



SITE PLAN
SCALE : 1 : 500

- KEY**
- ① Van Hanh Temple
 - ② Prajna Temple (15 m)
 - ③ One Pillar Temple
 - ④ Peace Pergoda (15 m)
 - ⑤ Buddha Statue
 - ⑥ Triple gates
 - ⑦ Giac Tanh Buddhist College (9 metres)
 - ⑧ Nagarjura Library
 - ⑨ Bodhi Tree
 - ⑩ Rahula Student Housing
 - ⑪ Nuns Living Quarter (8.5 m)
 - ⑫ Cafeteria
 - ⑬ Retreat Huts (6.5 m)
 - ⑭ Proposed Monks Living Quarter (8.5 metres)
 - ⑮ Flag pole
 - ⑯ Parking Shed & Carport
 - ⑰ Forrest
 - ⑱ Garden
 - ⑲ Garbage Enclosure
 - ⑳ Bell Tower (9 metres)
- Developed Building / Structure (hatched)
Proposed Building / Structure (un-hatched)

- LEGEND**
- Existing trees & shrubs
 - ⊗ Westringia Longifolia - 2m h x 1.5m w

AMENDMENTS: 20/02/07

②	RE-DESIGN PROPOSED PRAJNA TEMPLE
④	RE-POSITION PROPOSED PEACE PERGODA STATUE
⑦	RE-DESIGN PROPOSED BUDDHIST COLLEGE
⑧	RE-DESIGN PROPOSED NAGARJURA LIBRARY

GENERAL NOTES

CARRY OUT ALL WORK IN COMPLIANCE WITH THE RELEVANT SAA CODES OF PRACTICE IN THE BEST TRADESMAN-LIKE MANNER TO THE APPROVAL OF THE SUPERINTENDENT AND AUTHORITIES HAVING JURISDICTION OVER THE WORKS INCLUDING BUT NOT RESTRICTED TO:

A) ACT GOVERNMENT
B) BCA AND THE ACT APPENDIX

ALL DIMENSIONS MUST BE VERIFIED ON SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. USE FIGURED DIMENSIONS ONLY. DO NOT SCALE OFF THE DRAWING. SUPERVISOR TO CONFIRM EASEMENT LOCATIONS PRIOR TO COMMENCEMENT OF ANY WORKS.

CLIENT :

**SAKYAMUNI
BUDDHIST
CENTRE**

PROJECT :

**PROPOSED NEW WORK
REVISED MASTER PLAN**

BLOCK : 14 SECTION : 56

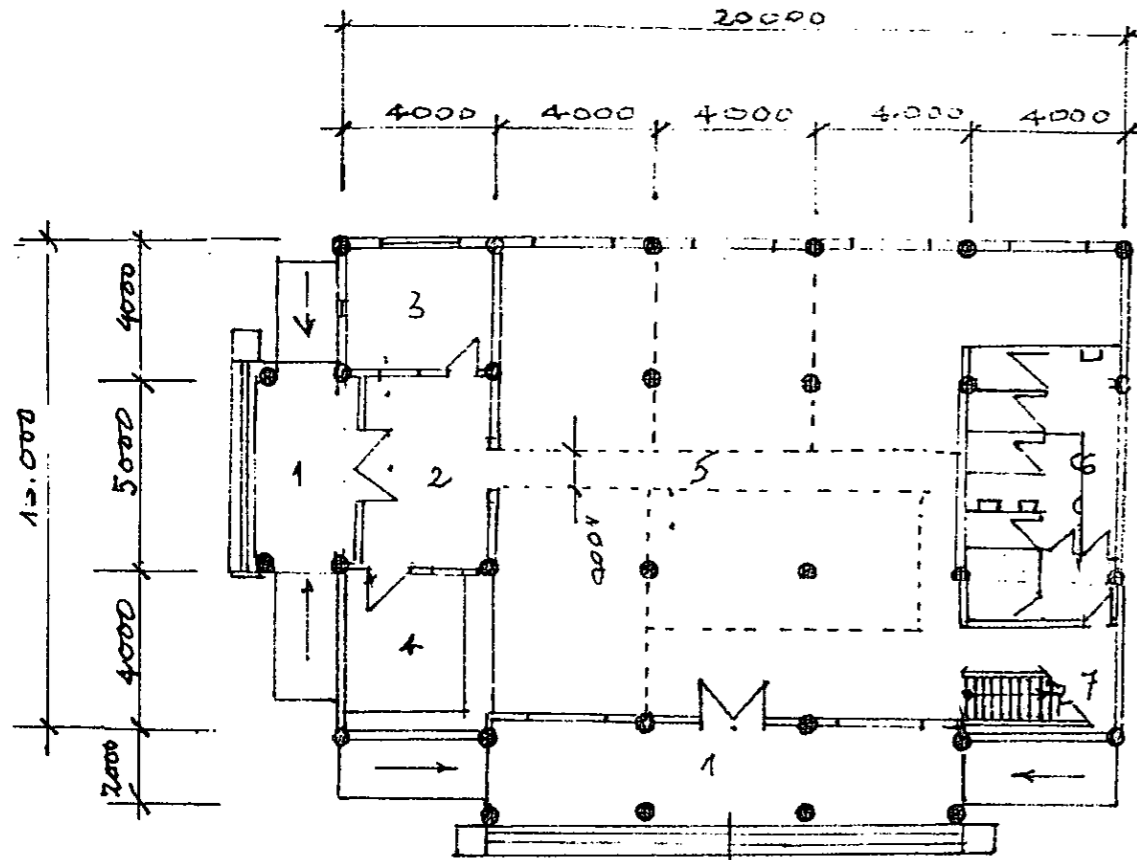
DIVISION : **LYNEHAM**

DRAWING TITLE :

AMENDED MASTER PLAN

SCALE :	DATE :	
1 : 500	February 20 2007	
DRAWN BY :	SHEET No.	DRAWING No.
TS	1	A07/01
CHECKED BY :	ISSUE No.	

DRAFT WORKING DRAWING ONLY

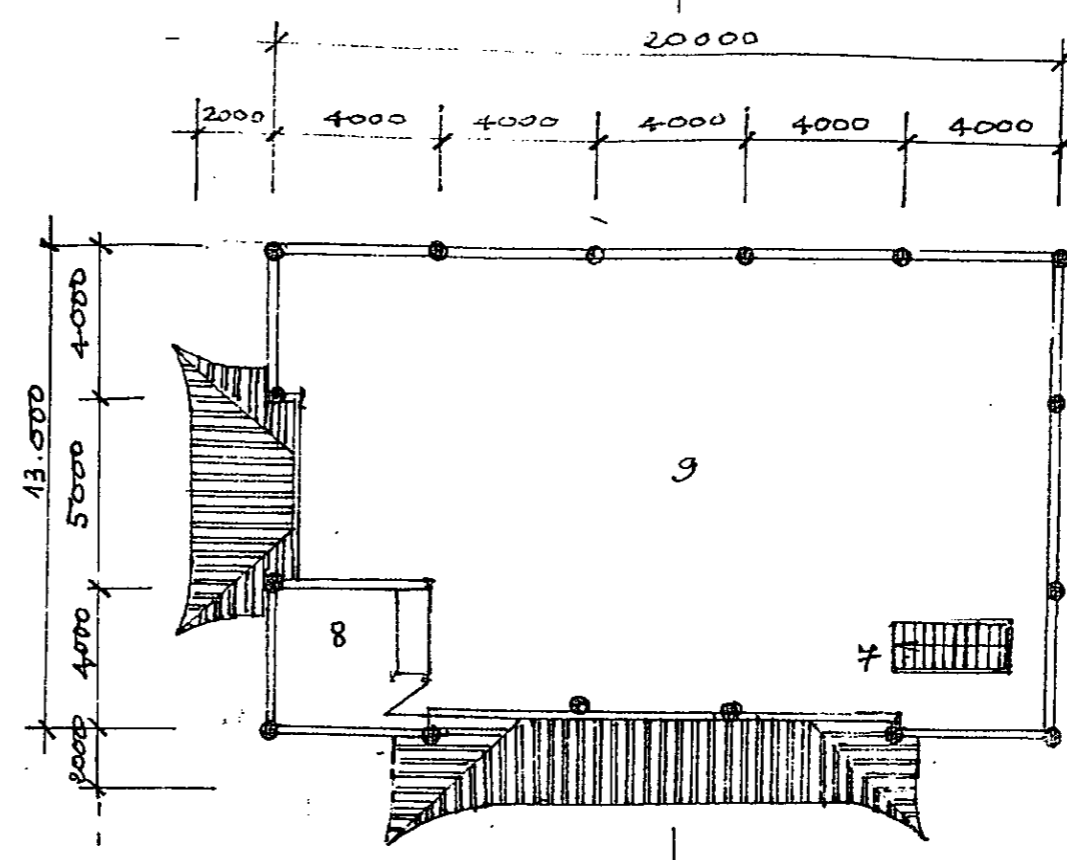


GROUND FLOOR PLAN

SCALE 1:200

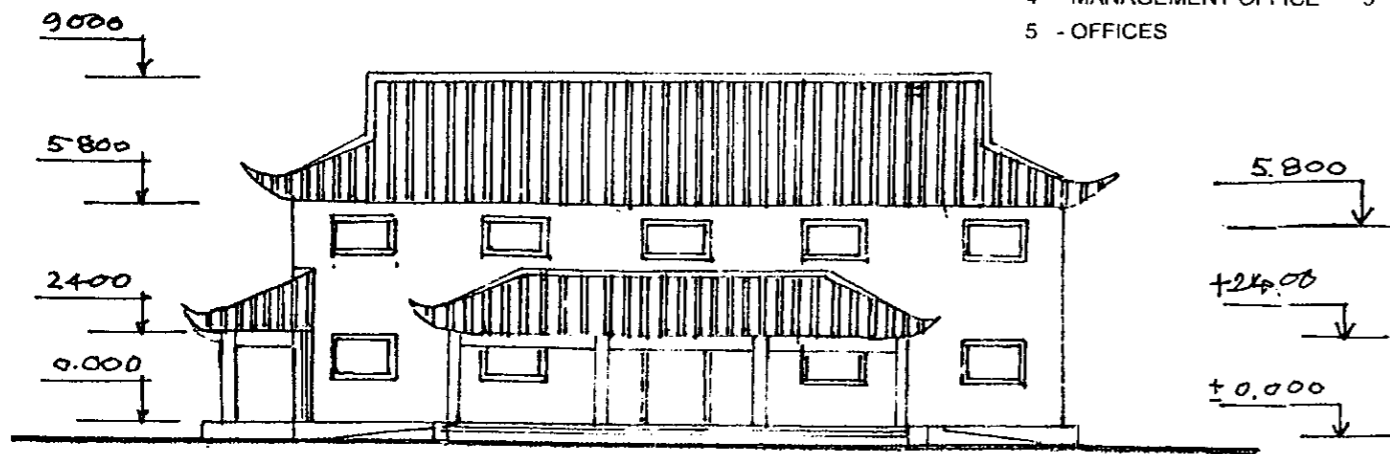
ROOM NAMES

- 1 - ENTRY (PORCH)
- 2 - FOYER
- 3 - VISITOR ROOM
- 4 - MANAGEMENT OFFICE
- 5 - OFFICES
- 6 - PUBLIC TOILET
- 7 - STAIRS
- 8 - LIBRARY OFFICE
- 9 - LIBRARY



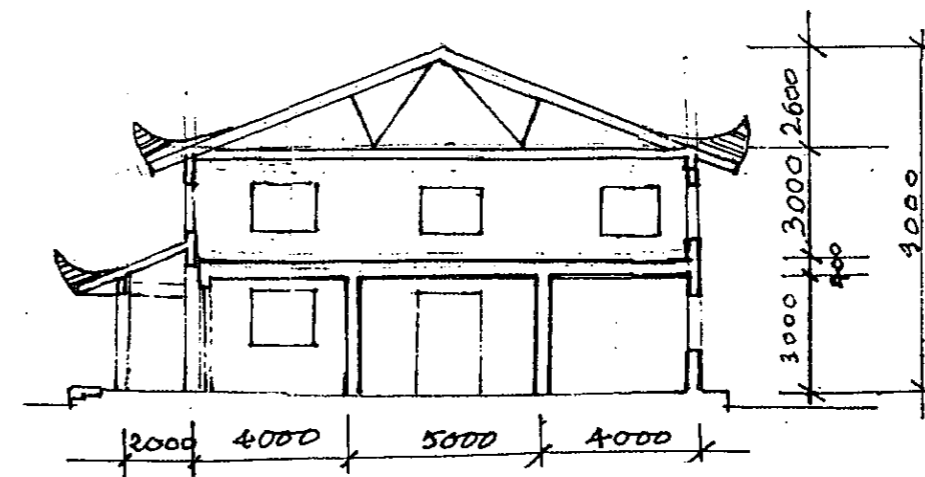
UPPER FLOOR PLAN

SCALE 1:200



EAST ELEVATION

SCALE 1:200



SECTION A A

SCALE 1:200

GENERAL NOTES

CARRY OUT ALL WORK IN ACCORDANCE WITH THE RELEVANT REGULATIONS AND STANDARDS OF THE PROFESSION AND AUTHORITIES HAVING JURISDICTION OVER THE WORKS. NO OTHER WORKS ARE TO BE UNDERTAKEN WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT.

ALL DIMENSIONS MUST BE VERIFIED ON SITE BEFORE COMMENCING ANY WORK. DIMENSIONS ARE GIVEN UNLESS OTHERWISE SPECIFIED.

NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

AMENDMENTS:

PROJECT: PROPOSED NEW WORK
NAGARJURA LIBRARY

DRAWING TITLE: FLOOR PLAN & ELEVATION

CLIENT: SAKYAMUNI BUDDHIST CENTRE

BLOCK / LOT: 14 SECTION: 56

DIVISION / SUBURB: LYNEHAM

TON DESIGN & CONSTRUCTIONS



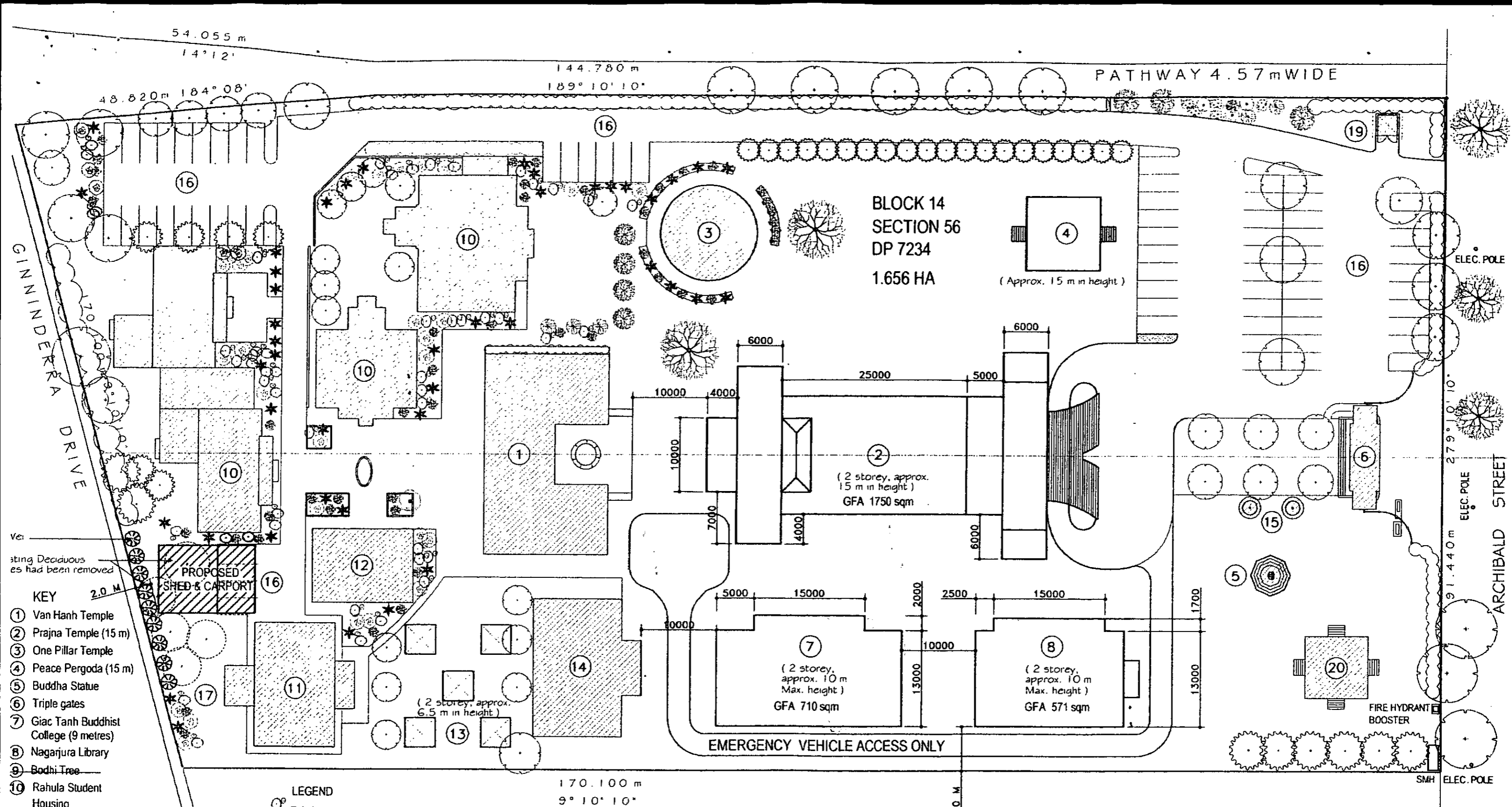
24 Skardon Street
Kalbar ACT 2617
Ph/Fax: 6253 8272
Mob: 0412 628 244

SCALE: 1:200 SHEET No.: 2 OF 3

DATE: February 20 2007 DRAWING No.: A07/01

CHECKED BY: TS DRAWN BY: TS

NAGARJURA LIBRARY & ADMINISTRATION CENTRE



BLOCK 14
SECTION 56
DP 7234
1.656 HA

PATHWAY 4.57m WIDE

GININDERKA DRIVE

ARCHIBALD STREET

- KEY**
- ① Van Hanh Temple
 - ② Prajna Temple (15 m)
 - ③ One Pillar Temple
 - ④ Peace Pergoda (15 m)
 - ⑤ Buddha Statue
 - ⑥ Triple gates
 - ⑦ Giac Tanh Buddhist College (9 metres)
 - ⑧ Nagarjura Library
 - ⑨ Bodhi Tree
 - ⑩ Rahula Student Housing
 - ⑪ Nuns Living Quarter (8.5 m)
 - ⑫ Cafeteria
 - ⑬ Retreat Huts (6.5 m)
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 - ⑮ Flag pole
 - ⑯ Parking Shed & Carport
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 - ⑱ Garden
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 - ⑳ Bell Tower (9 metres)
- Developed Building / Structure (hatched)
Proposed Building / Structure (un-hatched)

- LEGEND**
- Existing trees & shrubs
 - ⊗ Westringia Longifolia - 2m h x 1.5m w

SITE PLAN
SCALE : 1 : 500



AMENDMENTS: 20/02/07

②	RE-DESIGN PROPOSED PRAJNA TEMPLE
④	RE-POSITION PROPOSED PEACE PERGODA STATUE
⑦	RE-DESIGN PROPOSED BUDDHIST COLLEGE
⑧	RE-DESIGN PROPOSED NAGARJURA LIBRARY

GENERAL NOTES

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A) ACT GOVERNMENT
B) BCA AND THE ACT APPENDIX

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CLIENT :

**SAKYAMUNI
BUDDHIST
CENTRE**

PROJECT :

**PROPOSED NEW WORK
REVISED MASTER PLAN**

BLOCK : 14 SECTION : 56

DIVISION : **LYNEHAM**

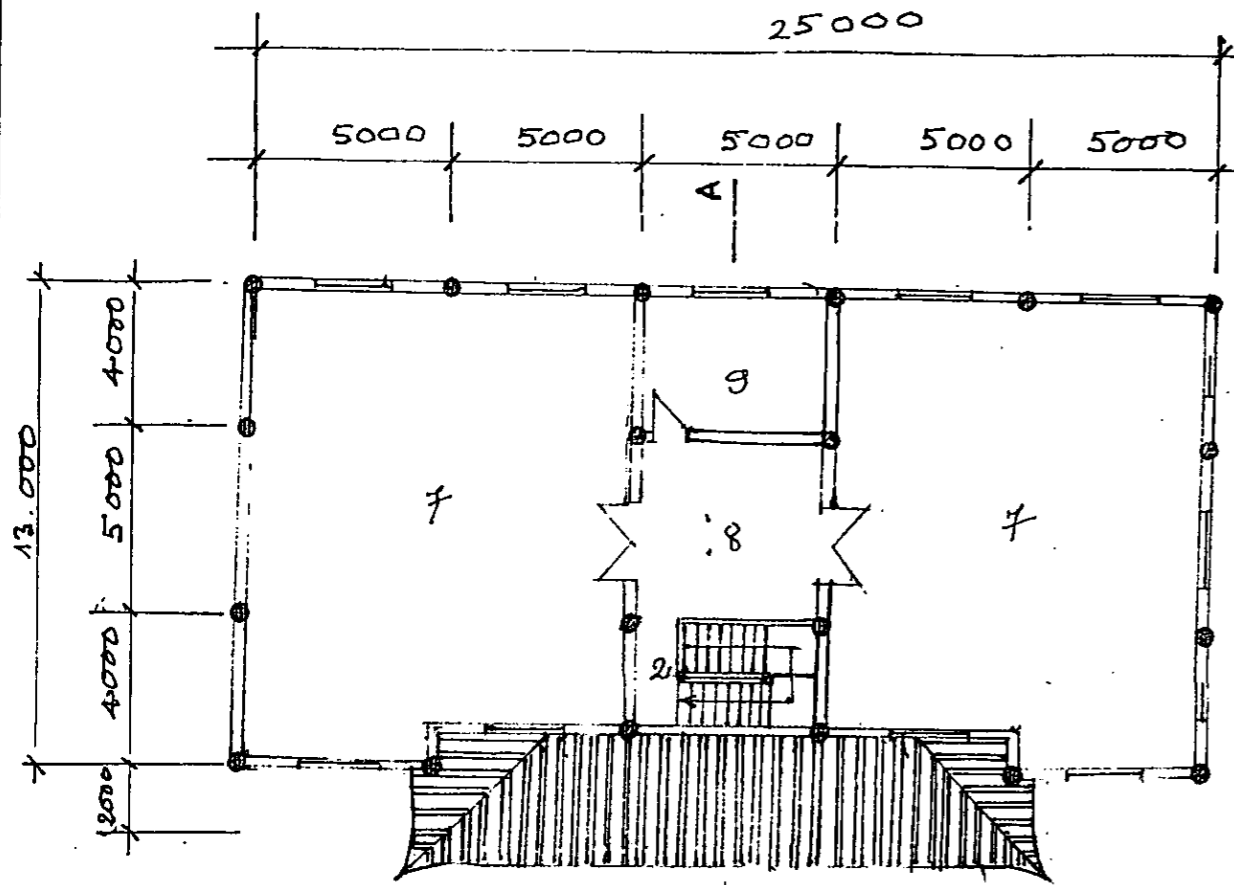
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AMENDED MASTER PLAN

SCALE : 1 : 500 DATE : February 20 2007

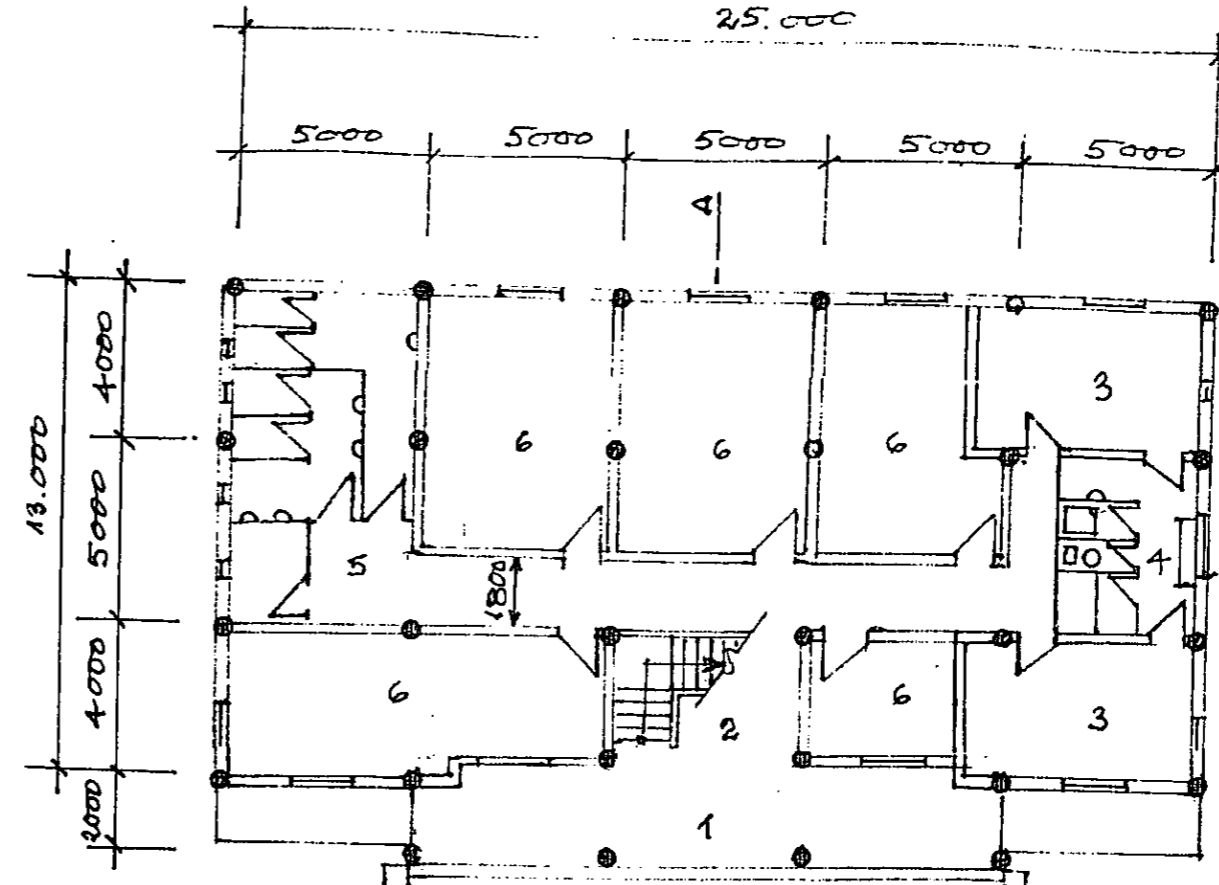
DRAWN BY : TS	SHEET No. 1	DRAWING No. A07/01
CHECKED BY :	ISSUE No.	

DRAFT WORKING DRAWING ONLY



GROUND FLOOR PLAN

SCALE 1:200

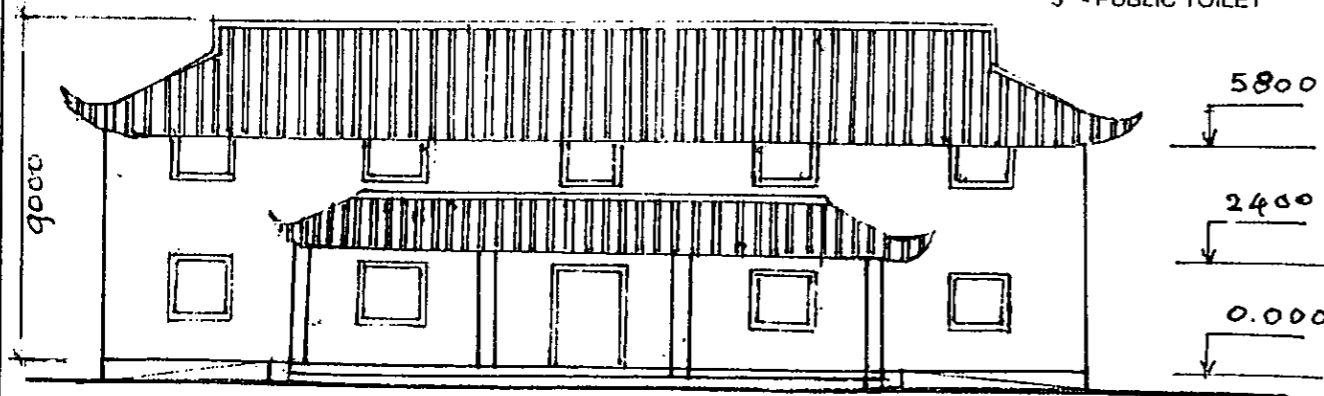


UPPER FLOOR PLAN

SCALE 1:200

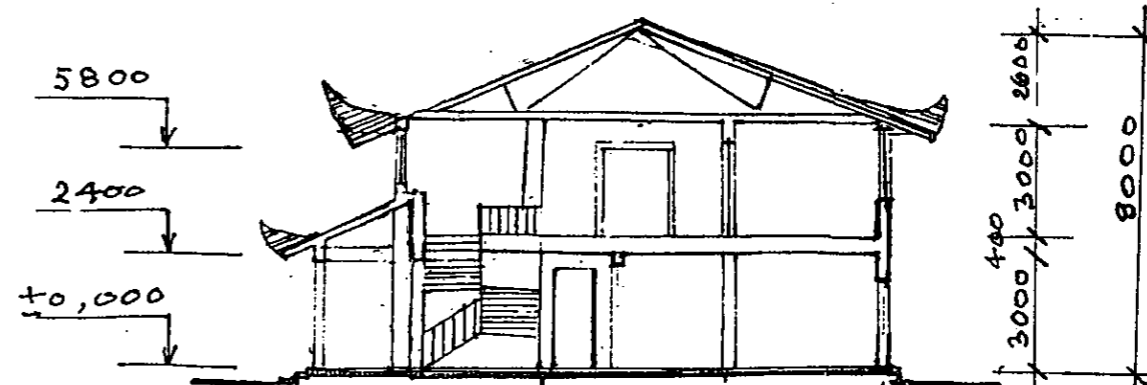
ROOM NAMES

- 1 - ENTRY (PORCH)
- 2 - STAIRS
- 3 - TEACHER ROOM
- 4 - ENSUITE
- 5 - PUBLIC TOILET
- 6 - CLASSROOM
- 7 - LECTURE ROOMS
- 8 - OPEN HALLWAY
- 9 - OFFICE



EAST ELEVATION

SCALE 1:200



SECTION A A

SCALE 1:200

GIAC TANH BUDDHIST COLLEGE

GENERAL NOTES

CARRY OUT ALL WORK IN ACCORDANCE WITH THE RELEVANT SAA CODES OF PRACTICE IN THE BEST TRADESMAN LIKE MANNER TO THE APPROVAL OF THE SUPERINTENDENT AND AUTHORITY HAVING JURISDICTION OVER THE WORKS INCLUDING BUT NOT RESTRICTED TO:

AS 411 COVERED BY THE ACT ATTACHED

ALL DIMENSIONS MUST BE VERIFIED ON SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SUCH DRAWINGS

USE FIGURED DIMENSIONS ONLY

PROJECT SCALE ONLY DRAWING

REFER TO CONTRACT DOCUMENTS ENTERED IN INSTRUMENT OF TENDERS

AMENDMENTS:

PROJECT
PROPOSED NEW WORK
GIAC TANH BUDDHIST COLLEGE

DRAWING TITLE
FLOOR PLAN & ELEVATION

CLIENT
SAKYAMUNI BUDDHIST CENTRE

BLOCK / LOT SECTION
14 56

DIVISION / SUBURB
LYNEHAM

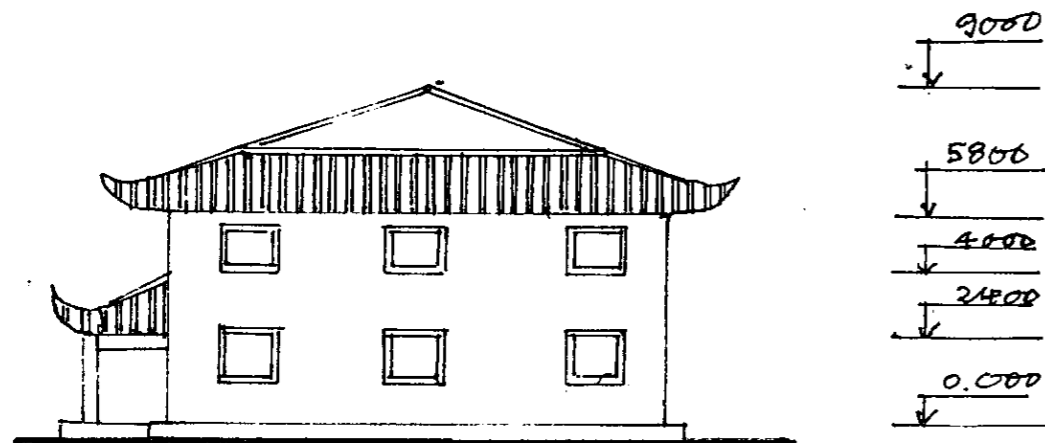
TON DESIGN & CONSTRUCTIONS



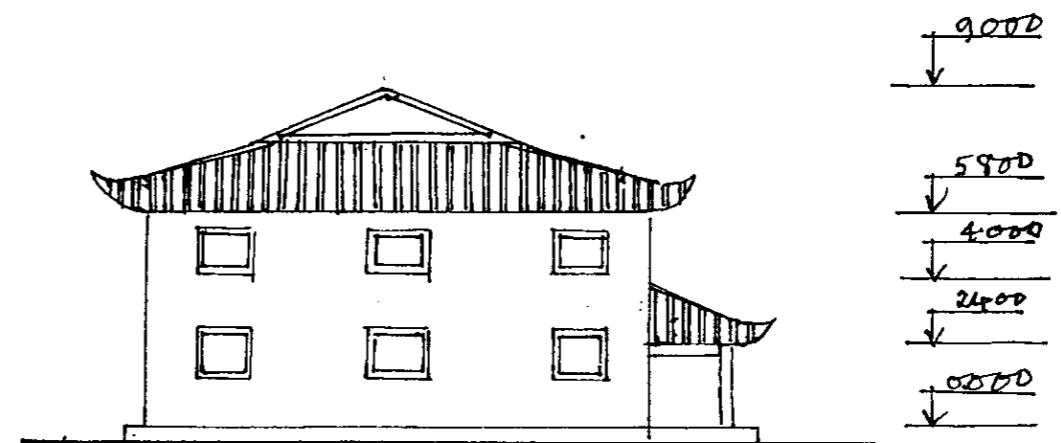
24 Skardon Street
Kaleen ACT 2617
Ph/Fax: 6253 8272
Mob: 0412 828 244

SCALE 1:200	SHEET No. 2 OF 3
DATE February 20 2007	DRAWING No. A07/01
CHECKED BY TS	DRAWN BY TS

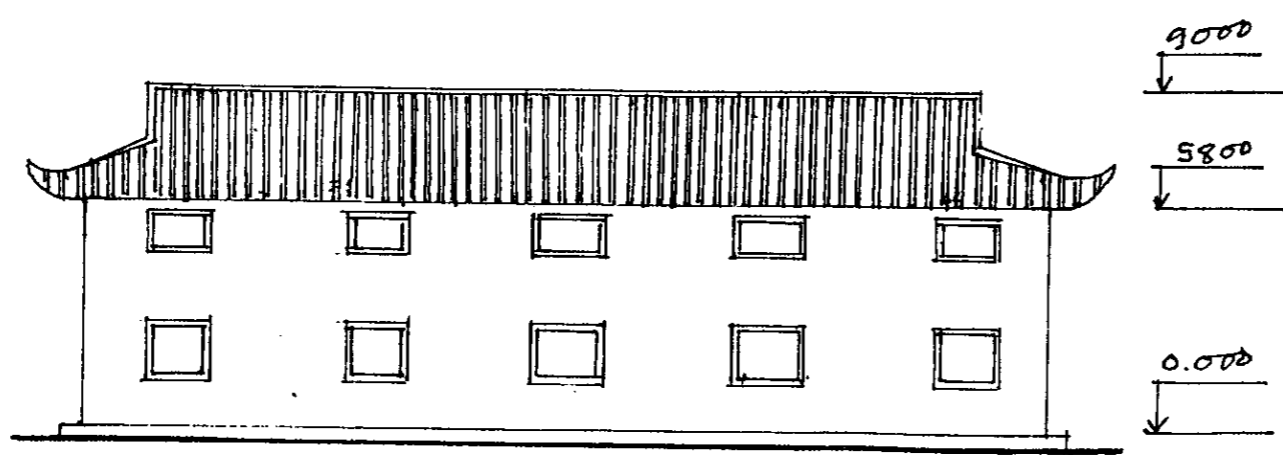
DRAFT WORKING DRAWING ONLY



NORTH ELEVATION
SCALE 1:200



SOUTH ELEVATION
SCALE 1:200



WEST ELEVATION
SCALE 1:200

GIAC TANH BUDDHIST COLLEGE

GENERAL NOTES

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 SURVEYOR TO CONFIRM EASEMENT LOCATIONS PRIOR TO COMMENCEMENT OF ANY WORKS.

AMENDMENTS:

PROJECT

PROPOSED NEW WORK
GIAC TANH BUDDHIST COLLEGE

DRAWING TITLE

ELEVATIONS

CLIENT

SAKYAMUNI BUDDHIST CENTRE

BLOCK / LOT	SECTION
14	56

DIVISION / SUBURBS

LYNEHAM

TON DESIGN & CONSTRUCTIONS



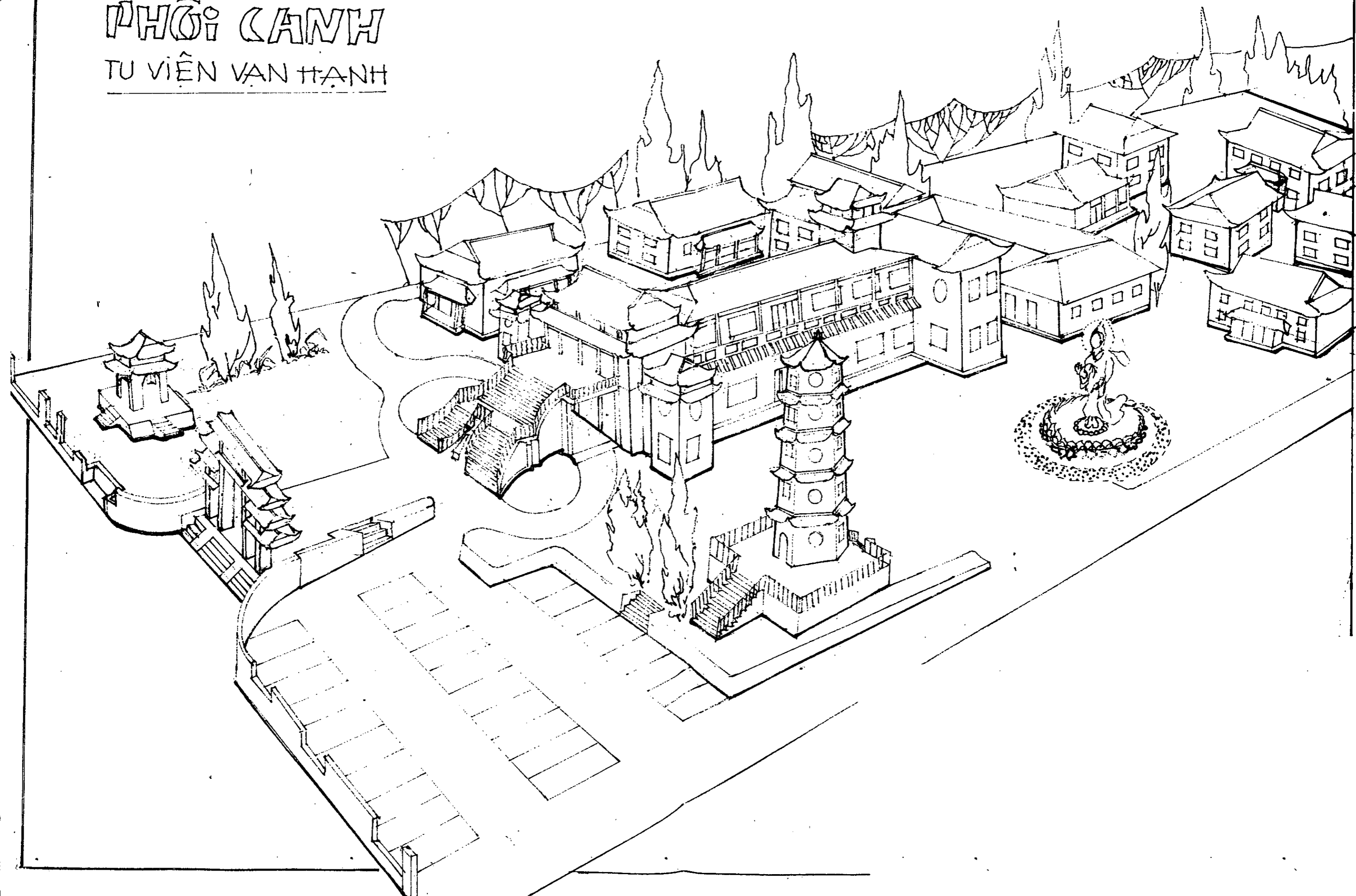
24 Skardon Street
Kaleen ACT 2617
Ph/Fax: 6253 8272
Mob: 0412 628 244

SCALE	SHEET No.
1:200	3 OF 3

DATE	DRAWING No.
February 20 2007	A07/01

CHECKED BY	DRAWN BY
TS	TS

PHỐI CẢNH
TU VIỆN VẠN HẠNH



RECORD OF DISCUSSION

Block: 14	Section: 56	Suburb: LYNEHAM	Proposal Number: 200700780
Meeting: x	Phone call	Date: 14-3-07	Case Officer: Owen Parkhurst

Participants:	Authority	Agencies	Proponent
Owen Parkhurst			
Simon Hawke			

Details of Proposal & Land Use Policy:

Temple, college, library & pagoda on existing site

Community Use DP 7234 1.656 Ha.

PROPONENT - Items for Discussion:

- Master plan approved → minor changes & re-designs of buildings. → 2002 Bell tower & main gate already built.
- Changes include:
 - temple set further back from front boundary to improve sense of space
 - Pagoda moved from south west to south east of site

AUTHORITY- Response to issues raised:

- Approval for Masterplan - development application lodged when funds become available.
- changes will not increase level of parking of original masterplan
- Impact of proposal on adjacent retirement home & residential dwellings across the road will need to be considered.

IMPORTANT NOTE

The advice recorded on this record is based on the information provided by the inquirer at the time of the discussion and on the understanding that Authority's final decision regarding any development proposal can only be made upon the lodgement of a formal Development Application and following a full and proper assessment of that application. It is advised that relevant policies may alter between the time the information on this form is provided and the lodgement of any Development Application. Should matters not addressed on this record/during this discussion arise during the processing of any formal application, you will be duly advised in writing by the Authority.

Proponents Representative Signature:

Authority Representative Signature:

RECORD OF DISCUSSION

AGENCY Issues:

- Existing buildings \approx 7-10m high
- Proponent should check with emergency services on suitability of proposed emergency access lane.
- No significant/regulated trees affected by proposed works.

Follow Up Action Required PROPONENT:

- Landscaping plan required with application to show proposed & existing screen planting.
- Proponent looking to lodge within the next few weeks.
- Existing & proposed gross floor area totals to be provided

Follow Up Action Required AUTHORITY:

- Authority to check on previous approvals, masterplan, & whether use is permitted in lease - including any restrictions

Follow Up Action Required AGENCIES:

GENERAL COMMENTS:

Block/s: Section: Suburb: DA No.



14 September 2007

[REDACTED]

Dear Applicant

**Suburb: LYNEHAM Block: 14 Section: 56
Development Application Number: 200700780**

I am writing to advise you about the public notification of your Development Application.

The public notification period for your application will commence on **17 September 2007** and end at the close of business on **8 October 2007**. If comments or objections are received, I will forward a copy to you after the notification period ends. Please note, you are required to remove the yellow sign from the property on **9 October 2007**.

Your application will then be forwarded to the Development Assessment Unit for a full assessment. We expect to make a decision on your application within 30 business days of its date of lodgement. However, where objections are received, our expected time for making a decision is 45 business days from the date of lodgement. You will be advised when a decision on your application has been made and of any appeal rights that you may have.

If you would like to discuss your development application or any aspect of this letter, please contact the Applications Secretariat on telephone (02) 6207 1687, we will be happy to assist you.

Yours faithfully

Applications Secretariat

ACT Planning & Land Authority

Applications Secretariat

16 Challis Street, Dickson

PO Box 365, Mitchell, ACT 2911 • Telephone: (02) 6207 1687 • Email: app.sec@act.gov.au

Website: www.actpla.act.gov.au

- 7. [Redacted] [Redacted]
- [Redacted] [Redacted]
- [Redacted] [Redacted]
- [Redacted] [Redacted]

APPLICANTS

- 1. NAME(S): [Redacted]

SUMMARY

No of lessee notifications created = 10
No of developer notifications created = 0
No of interested party notifications created = 0
No of advertisement authorisation letters created = 1
No of outdoor signs created = 1
No of letters to Gungahlin Development Authority created = 0
No of letters to applicants created = 1



14 September 2007

Dear Property Owner

**Suburb: LYNEHAM Block: 14 Section: 56
Development Application Number: 200700780**

I am writing to you regarding the Development Application recently lodged on your behalf.

Under the *Land (Planning and Environment) Act 1991*, your application required notification to adjacent lessees prior to a full assessment being made. I have written to the owners of the properties near yours inviting them to inspect a copy of the application to determine if they may be affected by your proposal. The 15 day notification period commences on **17 September 2007** and ends at the close of business on **8 October 2007**. After the notification period, if comments or objections are received, a copy will be sent to the applicant who lodged your application. Your application will then be forwarded to the Development Assessment Unit for a full assessment.

If you would like to know if any submissions have been received after this period or you would like to discuss your application or any aspect of this letter, please contact the consultation officer on telephone (02) 6207 1687, or email app.sec@act.gov.au, we will be happy to assist you.

Yours faithfully

Applications Secretariat

ACT Planning & Land Authority

Applications Secretariat

16 Challis Street, Dickson

PO Box 365, Mitchell, ACT 2911 • Telephone: (02) 6207 1687 • Email: app.sec@act.gov.au

Website: www.actpla.act.gov.au



Dear Sir / Madam

**BLOCK 14 SECTION 56 - SUBURB: LYNEHAM
Development Application Number: 200700780**



I refer to [plans](#) you submitted in response to condition 2(a) and (b) of the Notice of Decision with respect to the above development application.

The [plans](#) now satisfy condition 2(a) and (b) of the decision and have been approved as part of the above Development Application.

Enclosed are copies of the approved plans.

Please note that any other outstanding conditions of approval in the Notice of Decision may need to be addressed prior to development commencing on site.

If you would like to discuss this matter further please telephone (02) 6207 9055.

Yours sincerely



Owen Pankhurst
Assessment Officer
Development Assessment Section
Development Services Branch

8 May 2008



NOTICE OF DEVELOPMENT APPLICATION

The ACT Planning & Land Authority has received the following application and you are invited to make written comments

Development Application 200700780:

NONR - NEW BUILDINGS - Final stage of development including a main shrine/communal hall, a library and administration block, a Buddhist College, and World Peace Pagoda including landscaping and driveways and other minor works.

Location: Block: 14 Section: 56 Suburb: LYNEHAM

You can see a copy of the application at the **Applications Secretariat, Dame Pattie Menzies House, Ground Floor South (right hand building), 16 Challis Street Dickson (opposite Motor Vehicle Registry)**. The Secretariat's office is open on weekdays from **8:30am to 4:30pm**. **(Please record the application number above for reference).**

If you feel the application may affect you in any way and wish to object, you can lodge a written objection clearly stating the grounds for objection. However, you may also provide comments in support of the application. You may deliver your objections or comments to the address above, Internet Email to app.sec@act.gov.au, or post to:

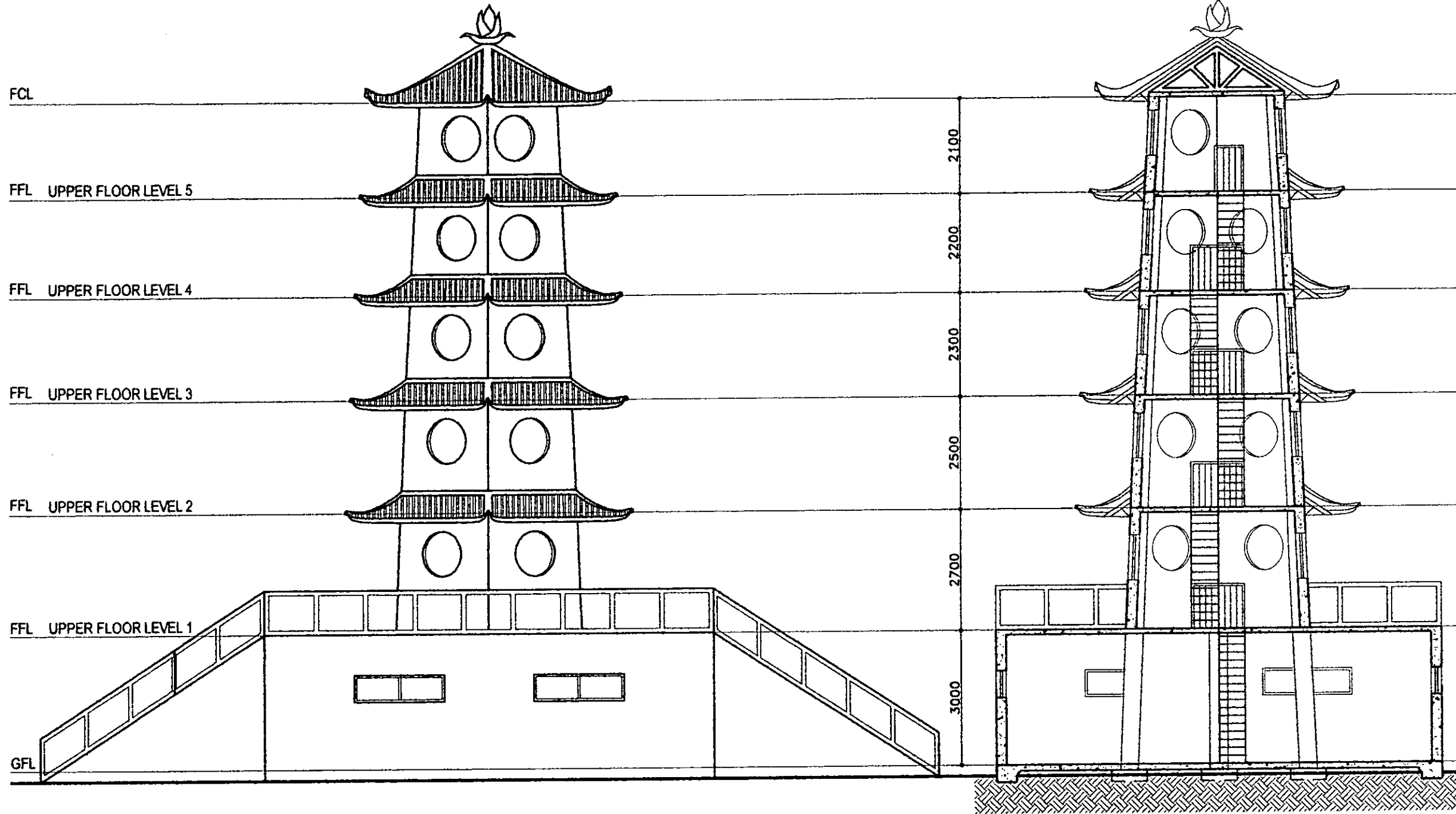
**Applications Secretariat
PO Box 365
Mitchell ACT 2911**

Objections or comments must arrive by close of business **8 October 2007**.

If you make objections or comments, an acknowledgment will be posted to you and you will be advised when a decision is made on the application. Copies of all correspondence received will be forwarded to the applicant and also made available for public inspection. You may request that your identity be kept confidential, however, in doing so you are required under the *Land (Planning and Environment) Act 1991* to clearly state the reasons why it would not be in the public interest for your identity to be published.

A list of Development Applications, other than single dwellings, currently open for public comment are available on the ACT Planning and Land Authority internet site at http://apps.actpla.act.gov.au/plandev/e-registers/pubnote/pubnoteMaster_new.asp

For more information, please phone the Applications Secretariat on 6207 1687



FCL

FFL UPPER FLOOR LEVEL 5

FFL UPPER FLOOR LEVEL 4

FFL UPPER FLOOR LEVEL 3

FFL UPPER FLOOR LEVEL 2

FFL UPPER FLOOR LEVEL 1

GFL

2100

2200

2300

2500

2700

3000

TYPICAL EAST & WEST ELEVATION

**SECTION A A
INDICATIVE ONLY**

EXTERNAL MATERIAL SCHEDULE

WALL	# 'STRETCHER BOND' FACE BRICKWORK. (SMOOTH CREAM)
WINDOW	# POWDER COATED ALUMINIUM WINDOWS. (SMOOTH CREAM)
ROOF	# TERRACOTTA ROOF TILES. (CLARET)
GUTTERS & DOWNPIPES	# COLORBOND FASCIA, GUTTER AND DOWNPIPE IF USED. (SMOOTH CREAM)

TERRACOTTA ROOFTILES TO MATCH EXISTING (CLARET)
ROOF DETAILING AS PER BUILDERS SPECIFICATIONS

ALL CONCRETE FOOTINGS AND SLABS TO BE IN ACCORDANCE WITH S.A.A. CODE 2870.1 AND ENGINEERS SPECIFICATIONS

ALL FOOTINGS DOWN TO SOLID FOUNDATIONS WITH MIN. 150 KPa. OR AS APPROVED BY SITE INSPECTION PRIOR TO CONCRETE POUR

GENERAL NOTES

CARRY OUT ALL WORK IN COMPLIANCE WITH THE RELEVANT SAA CODES OF PRACTICE IN THE BEST TRADESMAN-LIKE MANNER TO THE APPROVAL OF THE SUPERINTENDENT AND AUTHORITIES HAVING JURISDICTION OVER THE WORKS INCLUDING BUT NOT RESTRICTED TO:
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B) BCA AND THE ACT APPENDIX
C) ACT ELECTRICITY AND WATER
D) AS 1684 TIMBER FRAMING CODE AND AS FURTHER SPECIFIED
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AMENDMENTS:

PROJECT
**PROPOSED NEW WORK
PEACE PAGODA**

DRAWING TITLE
ELEVATION & SECTION

CLIENT
SAKYAMUNI BUDDHIST CENTRE

BLOCK / LOT SECTION
14 56

DIVISION / SUBURB
LYNEHAM

TON DESIGN & CONSTRUCTIONS



24 Skardon Street
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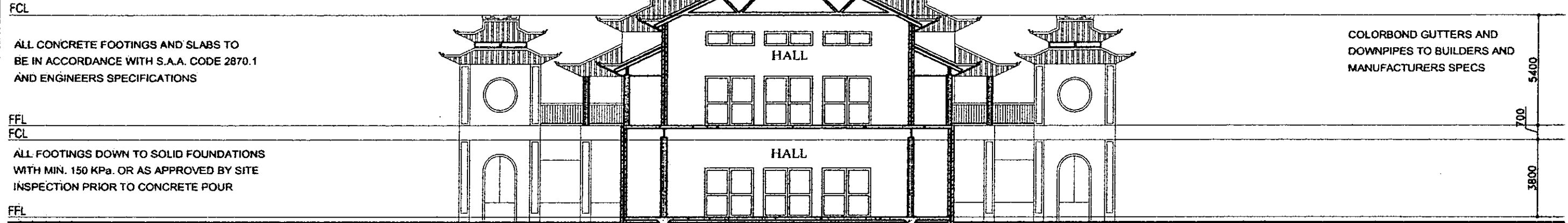
SCALE SHEET No.
1 : 100 24 OF 24

DATE DRAWING No.
August 01 2007 A07/05

CHECKED BY DRAWN BY
TS TS

PEACE PAGODA - ELEVATION & SECTION

CANTILEVER TIMBER ROOF
TO MANUFACTURERS SPECS.
ROOF TRUSSES @ 900 CTS. AND
SELECTED ROOF TILES OVER
TIMBER ROOF BATTENS



ALL CONCRETE FOOTINGS AND SLABS TO
BE IN ACCORDANCE WITH S.A.A. CODE 2870.1
AND ENGINEERS SPECIFICATIONS

COLORBOND GUTTERS AND
DOWNPIPES TO BUILDERS AND
MANUFACTURERS SPECS

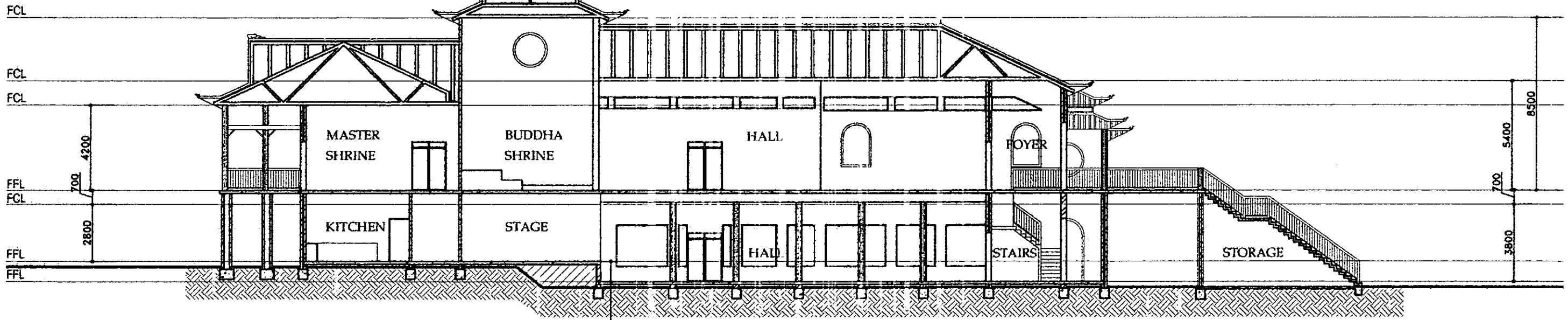
ALL FOOTINGS DOWN TO SOLID FOUNDATIONS
WITH MIN. 150 KPa. OR AS APPROVED BY SITE
INSPECTION PRIOR TO CONCRETE POUR

100MM 25 MPA CONC. SLAB, F72 TOP 25MM COVER.
PROVIDE CONTINUOUS DAMPROOF MEMBRANE
OVER 50MM SAND BLINDING. 150MM HARDCORE FILL.

FINISH FLOOR LEVEL TO BE
CONFIRMED ON SITE BY SURVEYOR

90 X 45 F5 STUDS AND NOGGINGS
STUDS @ 450 CTS. WITH 10 MM
PLASTERBOARD COVERING, AND
VILLBOARD FOR WET AREAS

SECTION A A
(INDICATIVE ONLY)



FACE BRICKWORK (SMOOTH CREAM)
TO MATCH EXISTING

HANDRAIL CONSTRUCTIONS AS
PER BUILDERS SPECIFICATIONS


BALCONY CONSTRUCTIONS AS
PER BUILDERS SPECIFICATIONS

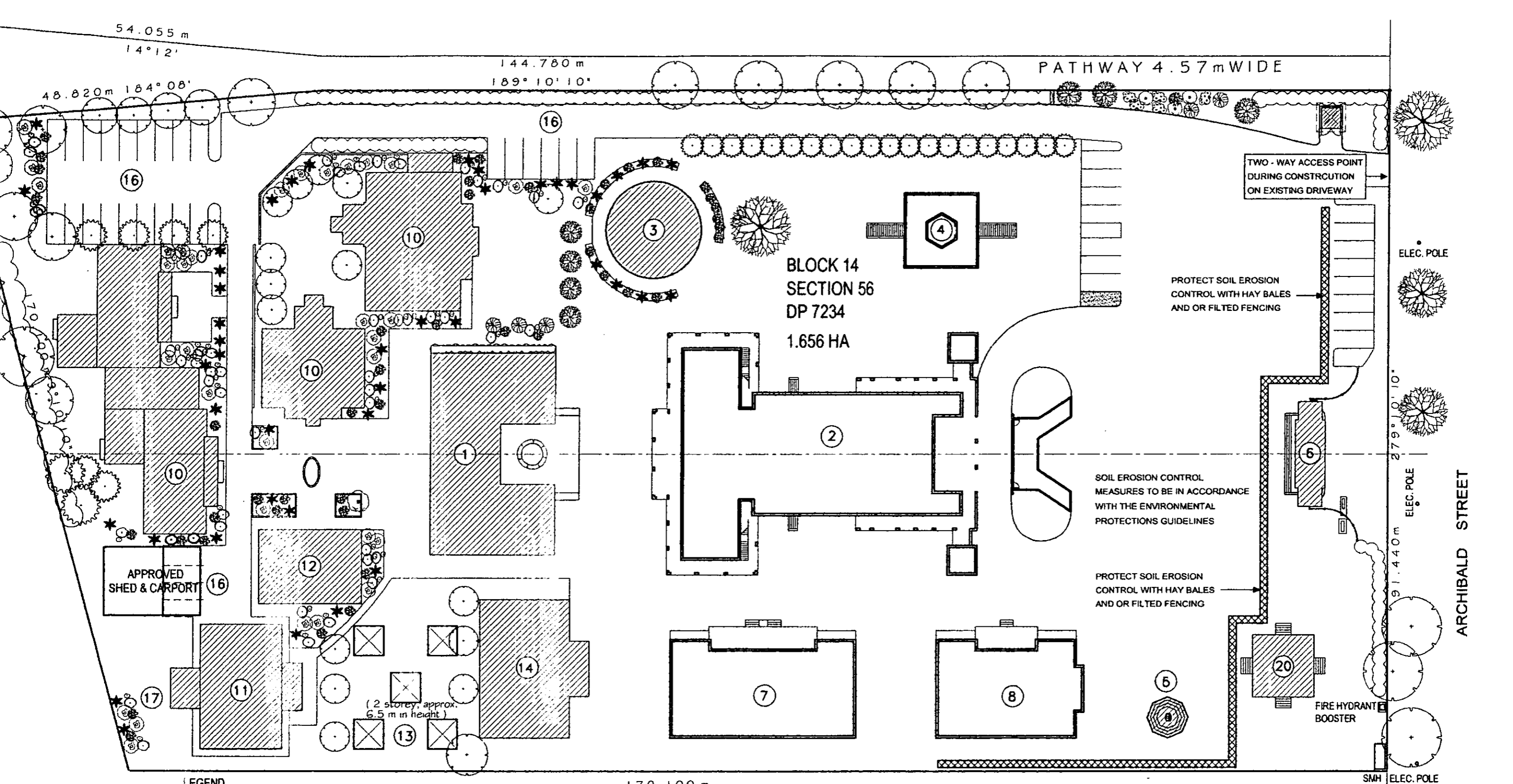
TERRACOTTA ROOFTILES TO
MATCH EXISTING (CLARET)

ROOF CONSTRUCTION TO
MANUFACTURERS & BUILDERS SPES.

SECTION B B
(INDICATIVE ONLY)

PRAJNA TEMPLE - SECTIONS

<p>GENERAL NOTES</p> <p>CARRY OUT ALL WORK IN COMPLIANCE WITH THE RELEVANT SAA CODES OF PRACTICE IN THE BEST TRADESMAN-LIKE MANNER TO THE APPROVAL OF THE SUPERINTENDENT AND AUTHORITIES HAVING JURISDICTION OVER THE WORKS INCLUDING BUT NOT RESTRICTED TO:</p> <p>A) NSW GOVERNMENT B) BCA AND THE NSW APPENDIX C) NSW ELECTRICITY AND WATER D) AS 1684 TIMBER FRAMING CODE AND AS FURTHER SPECIFIED</p>	<p>AMENDMENTS:</p>	<p>TON DESIGN & CONSTRUCTIONS</p>  <p>24 Skardon Street Kaleen ACT 2617 Ph/Fax: 6253 8272 Mob: 0412 628 244</p>	<p>PROJECT</p> <p>PROPOSED NEW WORK</p> <p>PRAJNA TEMPLE</p>	<p>CLIENT</p> <p>SAKYAMUNI BUDDHIST CENTRE</p>	<p>SCALE</p> <p>1 : 200</p>	<p>SHEET No.</p> <p>10 OF 24</p>
			<p>DRAWING TITLE</p> <p>SECTIONS</p>	<p>BLOCK / LOT</p> <p>14</p>	<p>SECTION</p> <p>56</p>	<p>DATE</p> <p>August 01 2007</p>

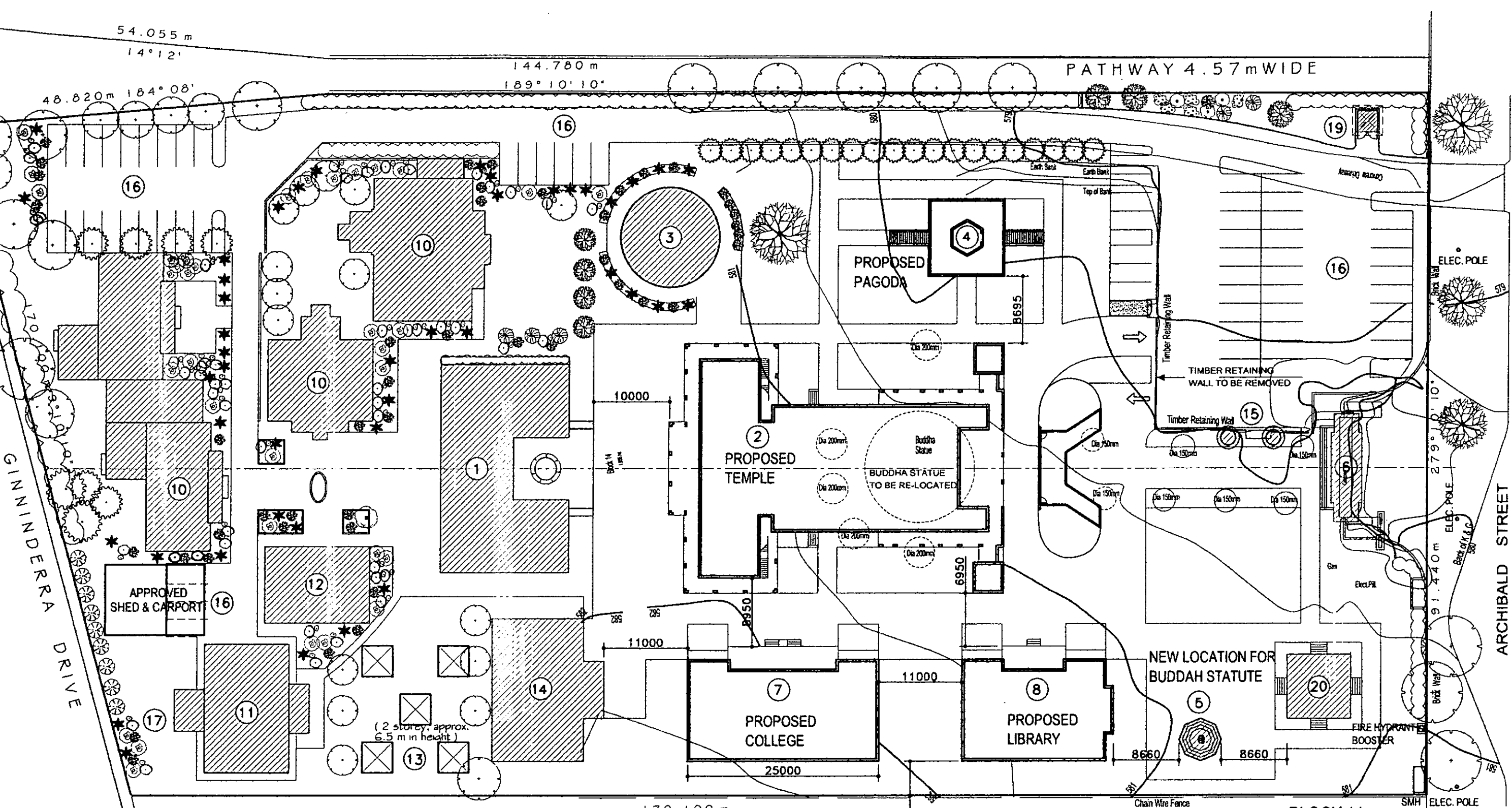


SEDIMENT AND EROSION CONTROL PLAN

SCALE 1 : 500

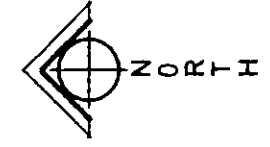
ONE WAY CONSTRUCTION ACCESS POINT FINISHED WITH 150 MM DEEP - 75 DIA NOMINAL RIVER GRAVEL LAID ON HIGH TENSILE STRENGTH GEOTEXTILE FABRIC PLACED ON NATURAL GROUND LEVEL.	PROTECT ROAD SUMPS 175 MM DIA NOMINAL RIVER GRAVEL WRAPPED IN HIGH TENSILE STRENGTH GEOTEXTILE FABRIC. PLACE TWO TO FORM A TRIANGLE IN FRONT OF SUMP.	THE OWNER IS RESPONSIBLE FOR THE REINSTATEMENT OF ALL DAMAGES INCURRED TO LAND, VEGETATION, SERVICES, PATHS AND ROADS AS A RESULT OF THIS CONSTRUCTION WORK.
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AMENDMENTS:	GENERAL NOTES CARRY OUT ALL WORK IN COMPLIANCE WITH THE RELEVANT SAA CODES OF PRACTICE IN THE BEST TRADESMAN-LIKE MANNER TO THE APPROVAL OF THE SUPERINTENDENT AND AUTHORITIES HAVING JURISDICTION OVER THE WORKS INCLUDING BUT NOT RESTRICTED TO: A) ACT GOVERNMENT B) BCA AND THE ACT APPENDIX ALL DIMENSIONS MUST BE VERIFIED ON SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. USE FIGURED DIMENSIONS ONLY. DO NOT SCALE OFF THE DRAWING. SURVEYOR TO CONFIRM EASEMENT LOCATIONS PRIOR TO COMMENCEMENT OF ANY WORKS.	CLIENT : SAKYAMUNI BUDDHIST CENTRE	PROJECT : PROPOSED NEW WORK REVISED MASTER PLAN	DRAWING TITLE : SEDIMENT EROSION CONTROL PLAN		
			BLOCK : 14	SECTION : 56	SCALE : 1 : 500	DATE : August 01 2007
			DIVISION : LYNEHAM	DRAWN BY : TS	SHEET No. 03 OF 24	DRAWING No. A07/01
				CHECKED BY :	ISSUE No.	



SITE PLAN

SCALE 1 : 500

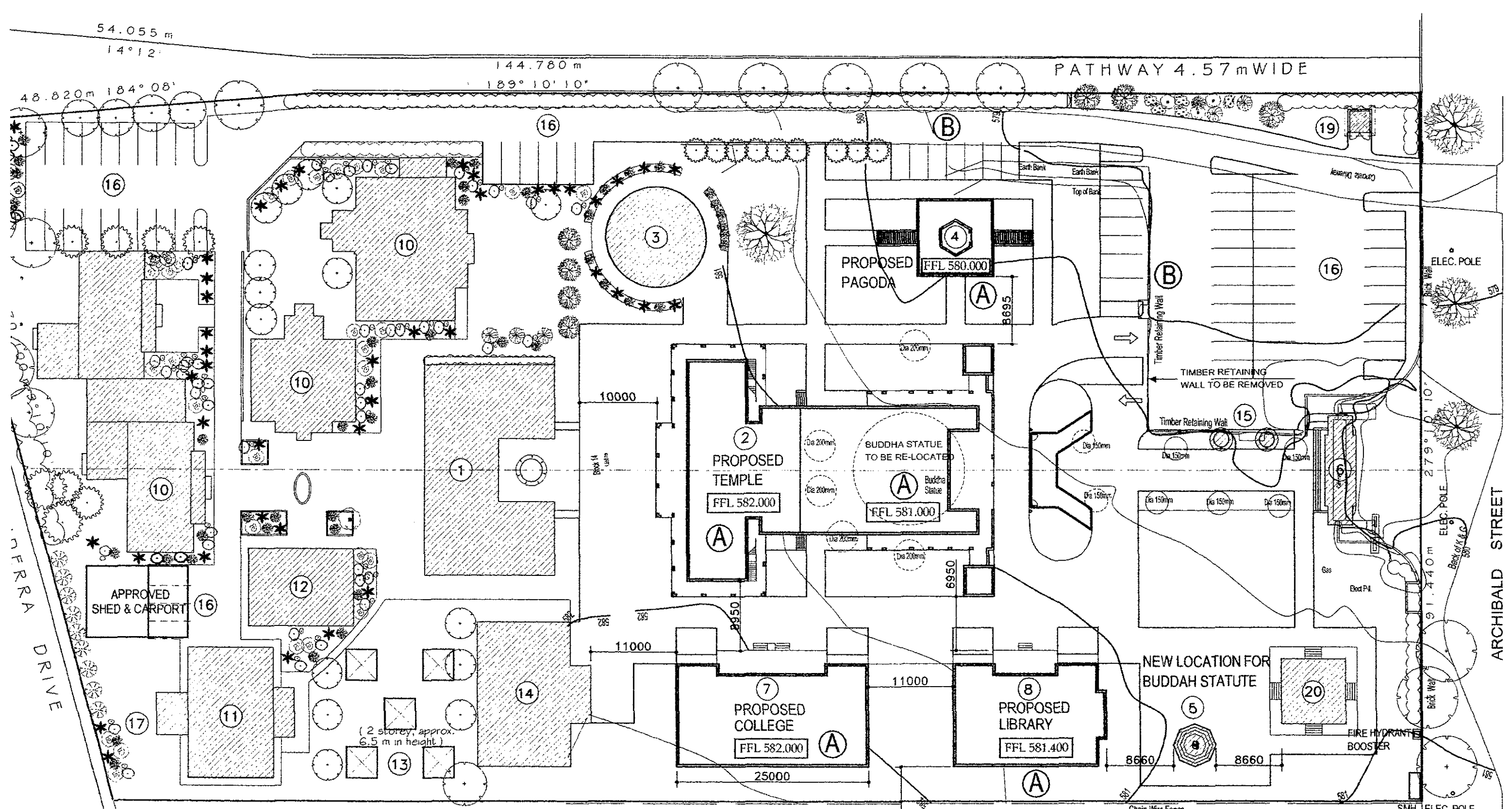


BLOCK 14
SECTION 56
DP 7234
1.656 HA

- KEY**
- ① Van Hanh Temple
 - ② Prajna Temple (15 m)
 - ③ One Pillar Temple
 - ④ Peace Pagoda (15 m)
 - ⑤ Buddha Statue
 - ⑥ Triple gates
 - ⑦ Giac Tanh Buddhist College (9 metres)
 - ⑧ Nagarjuna Library
 - ⑨ Bodhi Tree
 - ⑩ Rahula Student Housing
 - ⑪ Nuns Living Quarter (8.5 m)
 - ⑫ Cafeteria
 - ⑬ Retreat Huts (6.5 m)
 - ⑭ Proposed Monks Living Quarter (8.5 metres)
 - ⑮ Flag pole
 - ⑯ Shed & Carport
 - ⑰ Forrest
 - ⑱ Garden
 - ⑲ Garbage Enclosure
 - ⑳ Bell Tower (9 metres)
 - ▨ Developed Building / Structure (hatched)
 - Proposed Building / Structure (un-hatched)

- LEGEND**
- Existing trees & shrubs
 - Existing trees to be removed

AMENDMENTS:		GENERAL NOTES		CLIENT :		PROJECT :		DRAWING TITLE :		
		CARRY OUT ALL WORK IN COMPLIANCE WITH THE RELEVANT SAA CODES OF PRACTICE IN THE BEST TRADESMAN-LIKE MANNER TO THE APPROVAL OF THE SUPERINTENDENT AND AUTHORITIES HAVING JURISDICTION OVER THE WORKS INCLUDING BUT NOT RESTRICTED TO: A) ACT GOVERNMENT B) DCA AND THE ACT APPENDIX C) ACT ELECTRICITY AND WATER D) AS 1604 TIMBER FRAMING CODE AND AS FURTHER SPECIFIED ALL DIMENSIONS MUST BE VERIFIED ON SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. USE FIGURED DIMENSIONS ONLY. DO NOT SCALE OFF THE DRAWING.		SAKYAMUNI BUDDHIST CENTRE		PROPOSED NEW WORK REVISED MASTER PLAN		SITE PLAN		
				BLOCK : 14 SECTION : 56		SCALE : 1 : 500 DATE : August 01 2007		DRAWN BY : TS SHEET No. 01 of 24 DRAWING No. A07/05		
				DIVISION : LYNEHAM		CHECKED BY :		ISSUE No.		



SITE PLAN
SCALE 1 : 500

BLOCK 14
SECTION 56
DP 7234
1.656 HA

- KEY**
- Van Hanh Temple
 - Prajna Temple (15 m)
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 - Flag pole
 - Shed & Carport
 - Forrest
 - Garden
 - Garbage Enclosure
 - Bell Tower (9 metres)
 - Developed Building / Structure (hatched)
 - Proposed Building / Structure (un-hatched)

REVISED PLAN: 10/11/07	
(A)	ADD REDUCED LEVELS ON PLAN
(B)	ADD MORE CAR PARKING SPACES AND PROVIDE DISABLE PARKING SPACES

GENERAL NOTES

CARE OF ALL WORK IS TO BE DONE WITH THE FOLLOWING SALES CONDITIONS OF PRACTICE IN THE BEST INTERESTS OF THE CLIENT AND TO THE APPROVAL OF THE SUPERVISOR AND AUTHORITY HAVING JURISDICTION OVER THE WORK INCLUDING BUT NOT RESTRICTED TO:

A) ALL CONSTRUCTION SHALL BE TO THE APPROVAL OF THE SUPERVISOR AND AUTHORITY HAVING JURISDICTION OVER THE WORK INCLUDING BUT NOT RESTRICTED TO:

B) ALL DIMENSIONS MUST BE VERIFIED ON SITE BEFORE COMMENCING ANY WORK DRAWING AND NOT DRAWING USE FIGURED DIMENSIONS ONLY DO NOT SCALE OFF THE DRAWING.

CLIENT :

**SAKYAMUNI
BUDDHIST
CENTRE**

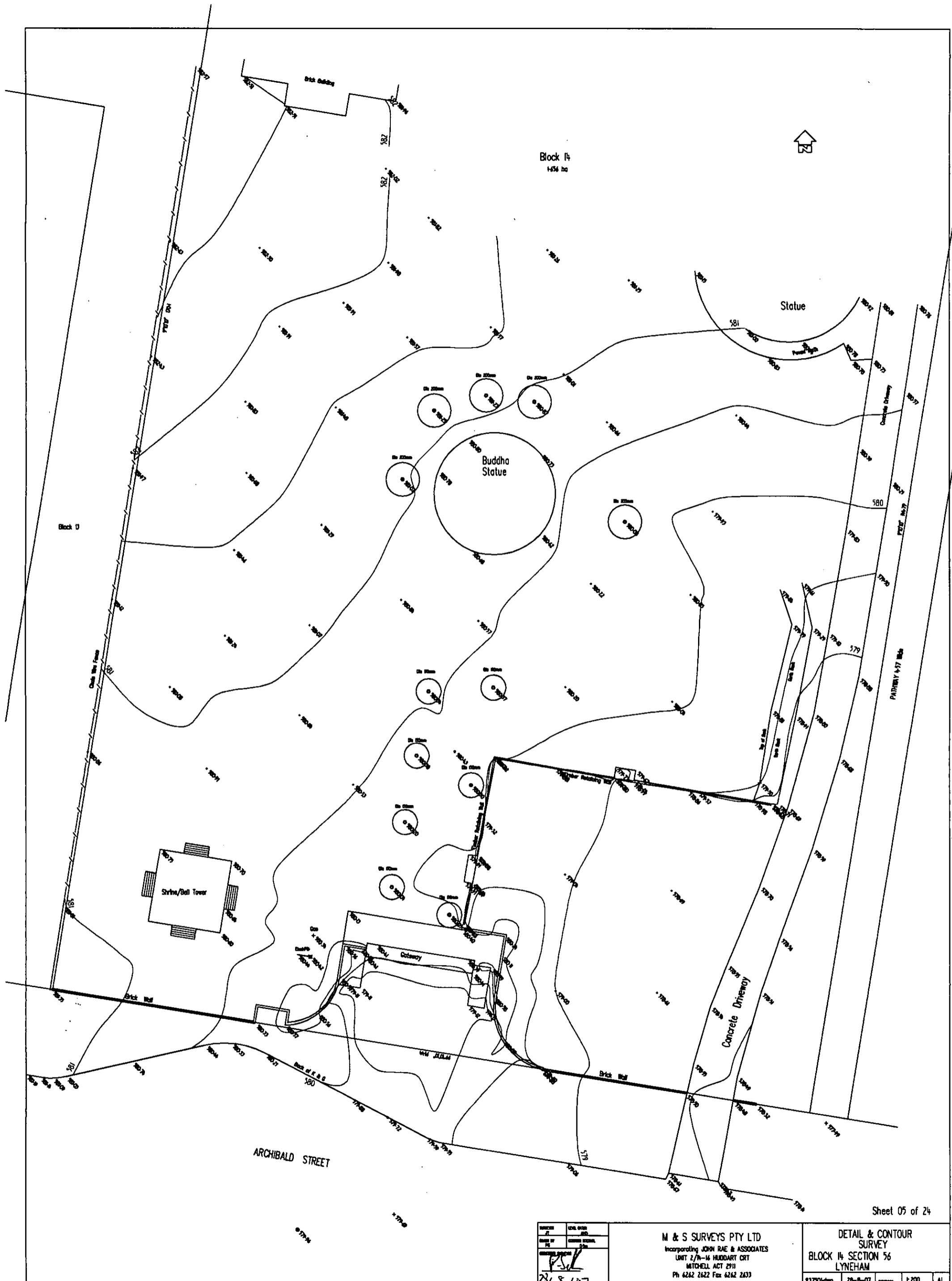
PROJECT :

**PROPOSED NEW WORK
REVISED MASTER PLAN**

BLOCK : 14 SECTION : 56

DIVISION : **LYNEHAM**

DRAWING TITLE :			
SITE PLAN			
SCALE :	DATE :	DRAWING No.	
1 : 500	August 01 2007	A07/05	
DRAWN BY :	SHEET No.	DRAWING No.	
TS	01 of 24	A07/05	
CHECKED BY :	ISSUE No.		



Sheet 05 of 24

DATE OF SURVEY	28/8/07
SCALE	1:200
PROJECT NO.	937901-dwg
DRAWN BY	PSL
CHECKED BY	

M & S SURVEYS PTY LTD
 Incorporating JOHN RAE & ASSOCIATES
 UNIT 2/A-16 HUDDART CRT
 MITCHELL ACT 2911
 Ph 6262 2622 Fax 6262 2633

DETAIL & CONTOUR
 SURVEY
 BLOCK 14 SECTION 56
 LYNEHAM

937901-dwg	28-8-07	097224	1:200	AI
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PSL

~~NOT ACCEPTED FOR DOCUMENTATION~~
 ADDITIONAL INFORMATION REQUIRED

Re-submitted
 CHECKLIST 3B

COMMERCIAL DEVELOPMENT

Checklist to be completed, signed and placed with DA documentation for scanning

Block: 14 Section: 56 Unit No: Suburb: LYNEHAM

- Heritage Bushfire Affected Compliance PA Required
 See reverse for criteria

Is the description of work on the DA form consistent with the proposal?	YES	NO
IS A LEASE VARIATION REQUIRED? If yes - also use LV Checklist	YES	NO
Minimum Requirements DA must contain these documents or will not be accepted.	No	Supplied
<input type="checkbox"/> Design Response Report (except for development with a GFA less than 1000m ² on a site outside a residential LUP area)	2	Required NK
<input type="checkbox"/> List of all submitted drawings and documents	2	Required ✓ OK
<input type="checkbox"/> Drawings (collated in two sets OR 1 collated set and CD)	2	YES
o survey plan	2	Required ✓ OK
o site plan (showing block size, existing GFA and calculations for proposed GFA)	2	YES
o landscape plan	2	Required ✓ OK
o floor plans	2	YES
o elevations (ALL elevations to be shown)	2	YES
o sections	2	YES
o demolition plan (if relevant)	2	N/A
o shadow diagram (for proposals above 1 storey)	2	N/A
o driveway plan (if relevant)	2	N/A
<input type="checkbox"/> Draft or Approved Tree Management Plan (where significant tree is affected on site, verge or neighbouring block)	2	N/A
<input type="checkbox"/> Utilities Diagram	2	Required ✓ OK
<input type="checkbox"/> Land Management and Protection Plan	2	N/A
<input type="checkbox"/> Colour Sample Schedule & Sample Board	2	YES
<input type="checkbox"/> Waste Management Plan (including Spoil Management Plan)	2	N/A
<input type="checkbox"/> Access & Mobility Report	2	N/A
<input type="checkbox"/> Sediment and Erosion Control Plan	2	Required ✓ OK
<input type="checkbox"/> On-Site Stormwater Retention/Re-use Plan	2	N/A
<input type="checkbox"/> Off-Site Works Plan (for works proposed on public land including roads, services, landscape & parking).	2	N/A
Associated Approvals		Supplied
Indicate if these documents have been provided:		
<input type="checkbox"/> ActewAGL and Asset Acceptance clearance (for easement access & clearance)		N/A

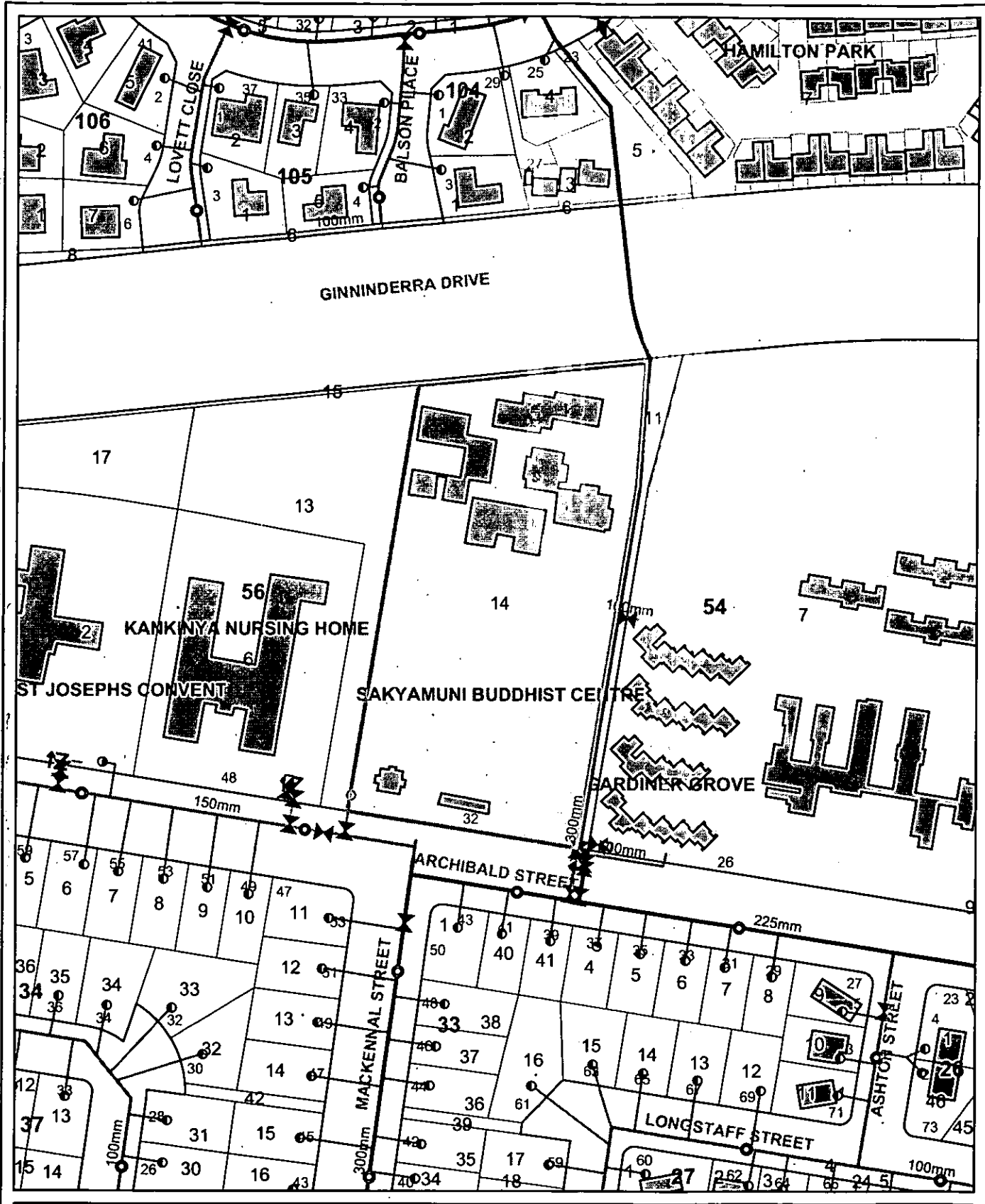
62421164
 Phone
 Ted Mizarack
 -ACTEW 12
 HOSKINS ST
 MITCHELL
 OK

Documentation checked and received b

NAME: JO DUCK Signature: _____

Date: 23/8/07

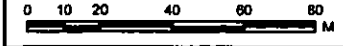
DALE BULLING



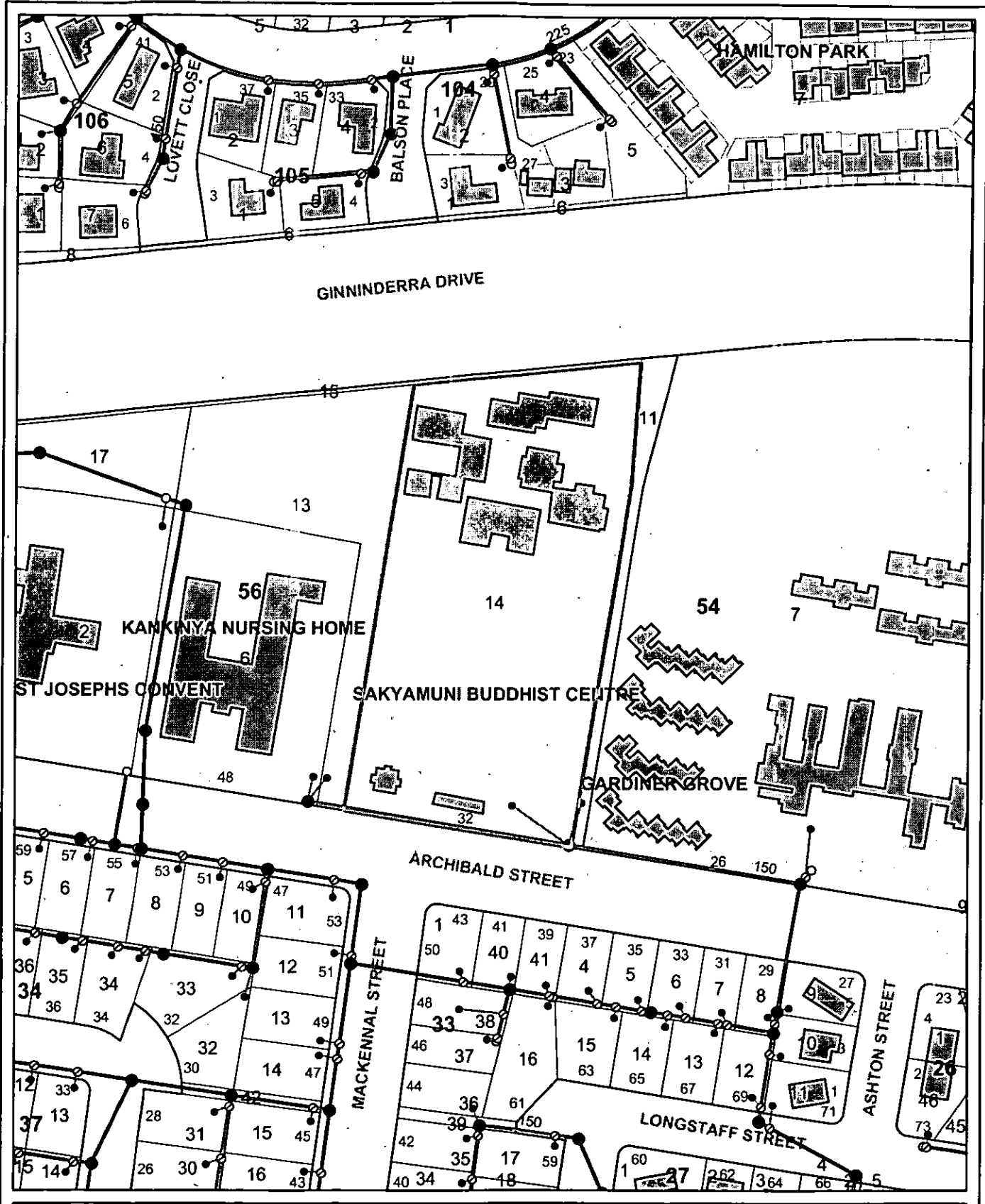
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 Date: 23 Aug 2007

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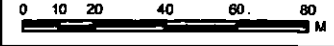
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ArcMap Template: T:\ArcMAP\Templates\Water\WaterA4Portrait.mxd

ArcMap Template: T:\ArcMAP\Templates\Sewer\SewerA4Portrait.mxd

UTILITIES DIAGRAM

BLOCK / LOT	SECTION	DATE	DRAWING No.
14	56	August 01 2007	A07/05
DIVISION / SUBURB		SHEET No.	
LYNEHAM		04 OF 24	