

From: "Jeffrey, David" <David.Jeffrey@act.gov.au>
Sent: 30/09/2025 5:24 PM
To: "Shaun Young" <shaun.young@eastlakefc.com.au>
Cc: "Halpin, Luke" <Luke.Halpin@act.gov.au>
Subject: FW: CSFP Application - Kingston Oval - Eastlake Football Club

OFFICIAL

Hi Shaun,

As discussed, please refer to below conditional support from Luke Halpin.

Cheers,

David Jeffrey
Senior Director
Sport and Recreation
Economic Development / Chief Minister, Treasury and Economic Development Directorate / ACT
Government
Phone – 02 6207 5815 / Sch 2.2(a)(ii)
<http://www.sport.act.gov.au>

From: Halpin, Luke <Luke.Halpin@act.gov.au>
Sent: Thursday, 25 September 2025 3:55 PM
To: Jeffrey, David <David.Jeffrey@act.gov.au>
Cc: Kelley, Rebecca <Rebecca.Kelley@act.gov.au>
Subject: Re: CSFP Application - Kingston Oval - Eastlake Football Club

OFFICIAL

Hi David

Thanks for the request.

As land custodian/asset owner on behalf of CED – Sport and Recreation Facilities, I can provide conditional support for Eastlake Football Club to submit a CFSP (Community Sport Facilities Program – Sport and Recreation) grant application, subject to the following:

- The final scope aligns with CFSP guidelines and ACT Government strategic objectives for community sport.
- No capital or operating expenditure liability is imposed on CED/SRF beyond what is explicitly agreed in writing in advance.
- All necessary planning, building and development approvals, certifications and inspections are obtained and complied with.
- Designs meet relevant Australian Standards, accessibility (DDA) requirements and SRF technical specifications.
- Clear ownership, maintenance and lifecycle responsibilities are defined; whole-of-life asset and OPEX impacts are acceptable to SRF.
- Community access is protected in line with ACT Sportsgrounds policies (including equitable use and fee structures).
- Appropriate risk management is in place (construction safety, site management, insurances, and contractor compliance).
- Procurement follows applicable ACT Government requirements and Eastlake's obligations under the grant.

- A mutually agreed delivery program is provided, with regular progress reporting to SRF. Any branding/naming rights or sponsorship signage is subject to prior SRF approval.
- If the application is unsuccessful or the project does not proceed, the site is to remain or be reinstated to SRF's satisfaction.

SRF is happy to assist in the review of the draft application, plans and costings before submission so we can confirm alignment with these conditions.

Luke

Luke Halpin | Senior Director

Phone 02 6207 9444 | Email: luke.halpin@act.gov.au

Sport and Recreation Facilities | City Presentation | Transport Canberra and City Services Directorate | ACT Government

480 Northbourne Ave, Dickson ACT 2602 | GPO Box 158 Canberra ACT 2601 | www.act.gov.au

From: Jeffrey, David <David.Jeffrey@act.gov.au>
Sent: Monday, September 22, 2025 12:20:44 PM
To: Halpin, Luke <Luke.Halpin@act.gov.au>
Cc: Kelley, Rebecca <Rebecca.Kelley@act.gov.au>
Subject: FW: CSFP Application - Kingston Oval - Eastlake Football Club

OFFICIAL

Hi Luke,

Can you please review the below and confirm, as the land custodian/asset owner (on behalf of CED – Sport and Recreation Facilities), if you are happy to support the Eastlake Football Club submitting a grant application as under the CFSP ([Community Sport Facilities Program - Sport and Recreation](#)) outlined below.

Your advice via email will be included as part of the grant application to be formally submitted by the Eastlake Football Club.

Kind regards,

David Jeffrey

Senior Director

Sport and Recreation

Economic Development / Chief Minister, Treasury and Economic Development Directorate / ACT Government

Phone – 02 6207 5815 / Sch 2.2(a)(ii)

<http://www.sport.act.gov.au>

From: Shaun Young <shaun.young@eastlakefc.com.au>
Sent: Monday, 22 September 2025 10:21 AM
To: Jeffrey, David <David.Jeffrey@act.gov.au>
Cc: Kelley, Rebecca <Rebecca.Kelley@act.gov.au>
Subject: CSFP Application

Caution: This email originated from outside of the ACT Government. Do not click links or open attachments unless you recognise the sender and know the content is safe.

Hi David,
Part of the

application calls for evidence from the land custodian demonstrating support of this project.

Could you please provide me a letter of support for the proposed projects which includes new lighting (200lux), new irrigation system, change of grass profile from rye grass to santa anna couch and electronic scoreboard?

Please give me a call if you would like to further discuss.

Kind regards,

Shaun Young | General Manager Football

3 Oxley Street, GRIFFITH

PO Box 4167 KINGSTON ACT 2604

P 0438 437 456

<https://www.eastlakedemons.com.au/>

We work flexibly – so whilst it suits me to email now, please understand that I don't expect a response or action outside of your own working hours.

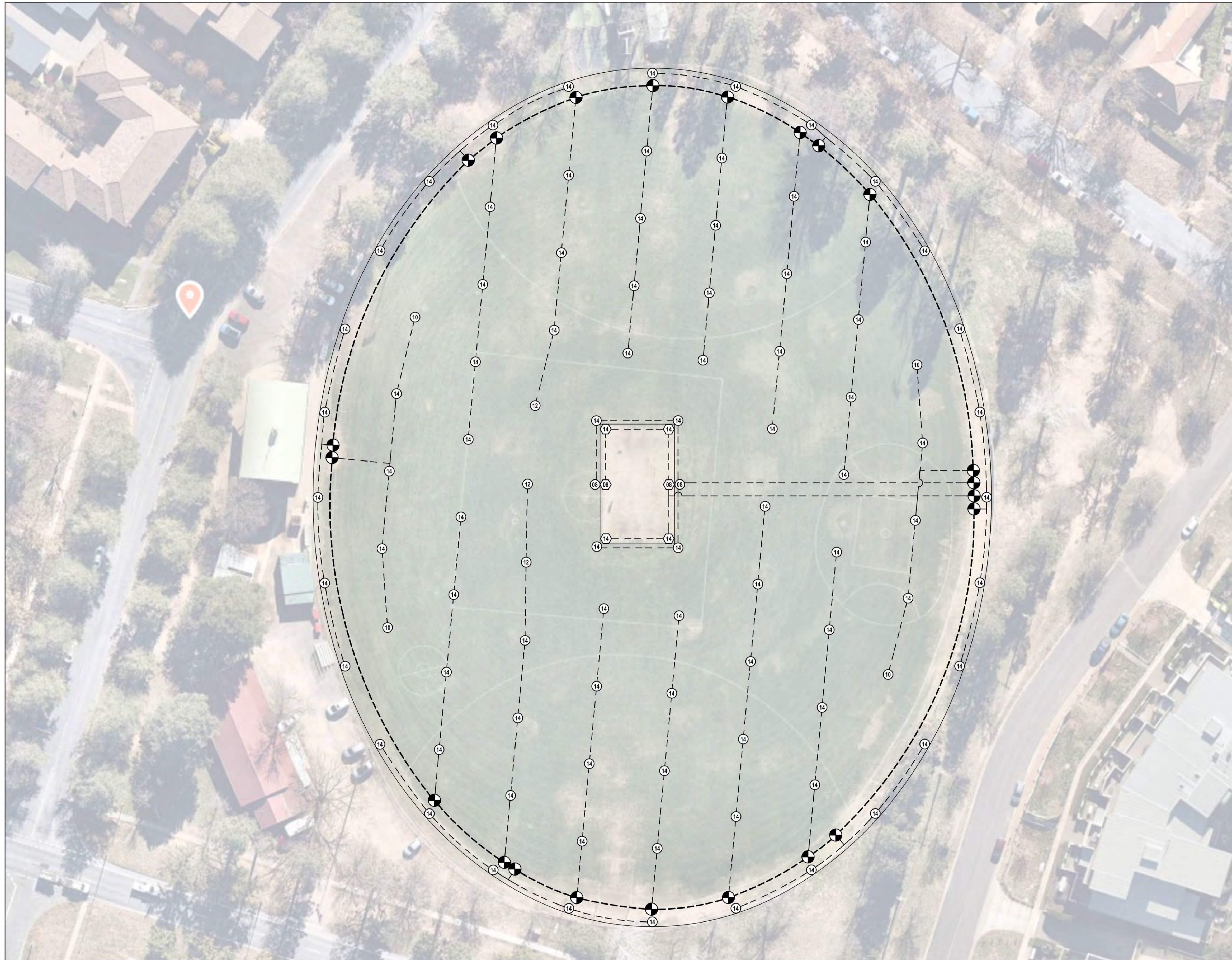


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This message and any attachments may be privileged, confidential or proprietary. If you are not the intended recipient of this email or believe that you have received this correspondence in error, please contact the sender through the information provided above and permanently delete this message.

We acknowledge the Traditional Custodians of the ACT, the Ngunnawal people. We acknowledge and respect their continuing culture and the contribution they make to the life of this city and this region.

This email, and any attachments, may be confidential and also privileged. If you are not the intended recipient, please notify the sender and delete all copies of this transmission along with any attachments immediately. You should not copy or use it for any purpose, nor disclose its contents to any other person.



IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
⊕	RAIN BIRD 8005
⊕	RAIN BIRD 8005 - TURF CRICKET WICKET
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
⊗	IRRIGATION SPRAY CONTROL VALVE - Ø50
---	IRRIGATION LATERAL LINE: PE100 PN 12.5 - Ø75
----	IRRIGATION MAINLINE: PE100 PN 12.5 - Ø110

IRRIGATION SYSTEM DUTY

290 L/MIN @ AN OPERATING PRESSURE OF 470 kPa

NOTE: A FLOW vs PRESSURE TEST MUST BE CONDUCTED PRIOR TO INSTALLATION COMMENCING TO ENSURE ABOVE SYSTEM DUTY IS MET. FAILURE TO DO SO MAY RESULT IN SYSTEM NOT FUNCTIONING AS INTENDED

IRRIGATION NOTES

THIS DRAWING MUST BE READ IN CONJUNCTION WITH THE OTHER CONTRACT DOCUMENTS & ANY INSTRUCTIONS ISSUED DURING THE COURSE OF THE PROJECT. CONTRACTORS SHOULD VERIFY ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO ANY COMMENCEMENT OF IRRIGATION WORKS. IF ANY DISCREPANCIES ARE FOUND, BRING THESE IMMEDIATELY TO THE ATTENTION OF THE IRRIGATION DESIGNER.

PRIOR TO COMMENCEMENT OF IRRIGATION WORKS, A FLOW TEST AND PRESSURE TEST SHOULD BE PERFORMED ON-SITE TO CONFIRM SYSTEM DUTY. IF SYSTEM DUTY IS NOT REACHED, A RE-DESIGN MAY BE REQUIRED.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF ALL UNDERGROUND SERVICES PRIOR TO COMMENCING ANY EXCAVATION WITH ALL RELEVANT AUTHORITIES.

DISTANCES BETWEEN OUTLETS, VALVES, FITTINGS & THE LIKE ARE INDICATIVE ONLY AND MAY BE ALTERED BY THE CONTRACTOR / INSTALLER AT THEIR DISCRETION.

DRAWING: IRRIGATION SYSTEM LAYOUT

STAGE: PRELIMINARY ISSUE


SCALE: 0 5 10 20 30 40
SCALE 1:400

ORIGINAL SIZE: A1

ORIENTATION: NORTH

CUSTOMER: BRINDABELLA IRRIGATION & PLUMBING

PROJECT: KINGSTON OVAL




part of the Reece Group
ACN: 004 097 090 | ABN: 84 004 097 090
www.reece.com.au/irrigation
@@reeceirrigationandpools

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DRAWING NAME: 021412-IR-A

DRAWN BY: BD

CHECKED BY: DC



REV. No: A

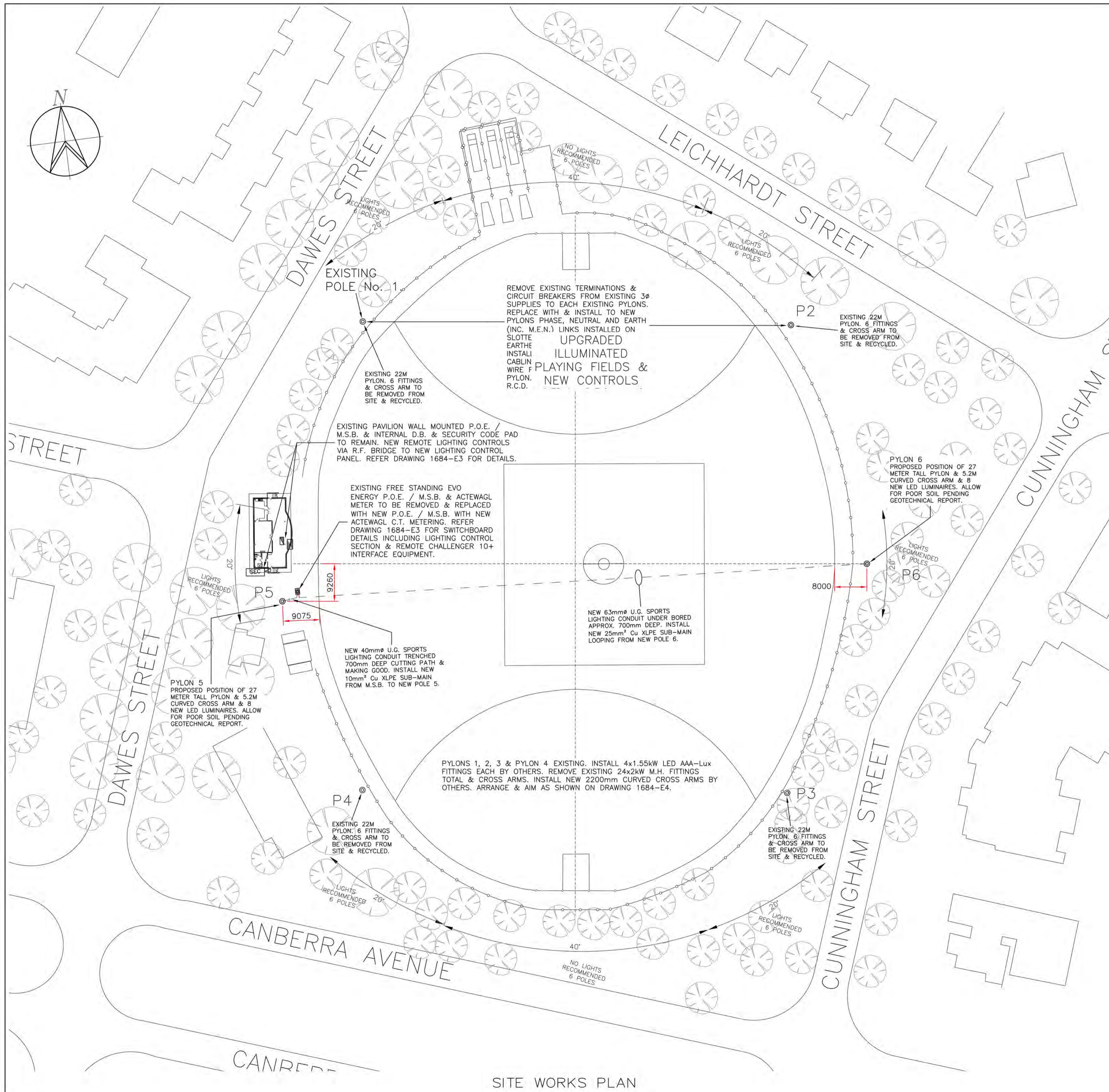
DRAWING No: IR101

DATE: JUN-2021

E			
D			
C			
B			
A	15.06.21	PRELIMINARY DRAWING ISSUED	BD
REV.	DATE	DESCRIPTION	BY

TRADE ACCOUNT CUSTOMERS CAN VIEW THEIR SUPPLY ONLY QUOTATION FOR THIS PROJECT, & OTHER PROJECTS, BY CLICKING THE max APP LOGO or SCANNING THE QR CODE BELOW.



GENERAL NOTES:

ERECT 2 X 27 METER FLOODLIGHT PYLONS PROVIDED TO SITE BY OTHERS TO POSITIONS SHOWN, IN ACCORDANCE WITH THE PILE FOOTING PYLON RATINGS PROVIDED ON THE DRAWINGS. PYLONS TO BE UNLOADED TO SUITABLE LOCATIONS ON-SITE. ALLOW TO UNLOAD FROM TRUCK. ON COMPLETION OF PYLON ERECTION SPOT WELD EACH BASE PLATE NUT (12 PER PYLON) TO ANCHOR BOLTS.

INSTALL ANCHOR BOLTS PROVIDED TO FOUNDATION CAGES USING BASE PLATE TEMPLATE & LEVEL AS SHOWN.

FOR PILE FOOTING REINFORCEMENT REFER TO DRAWING 1684-E2 INCLUDING REINFORCEMENT NOTES & REINFORCEMENT DETAILS. FOOTINGS & REINFORCEMENT DESIGN INSTALLATION BY OTHERS.

TRENCH / UNDER BORE AS SHOWN AND INSTALL 63/40mm DIAMETER UNDERGROUND CONDUITS TO PYLONS FROM THE NEW LIGHTING CONTROL PANEL. BACKFILL AND COMPACT MAKING GOOD CONCRETE PATH & GROUND SURFACE ON COMPLETION.

SUPPLY & INSTALL 1550 WATT L.E.D. FITTINGS TO CROSS BAR ASSEMBLIES AND FIT CROSS BARS TO PYLONS IN ACCORDANCE WITH EQUIPMENT DETAILS ON THE DRAWINGS. FITTINGS EQUAL AAA-Lux WS SERIES BY AREALUX. OBTAIN AIMING APPARATUS FROM SUPPLIER.

INSTALL PHASE LINKS & ISOLATOR EQUIPMENT TO PYLONS AND MAKE ALL TERMINATIONS. ENSURE ALL EQUIPMENT IS ADEQUATELY FUSED/PROTECTED AT PYLONS IN ACCORDANCE WITH MANUFACTURERS' RATINGS.

SUPPLY AND INSTALL NEW MS.B. / P.O.E. WITH FLOODLIGHT CONTROL SECTION & LIGHTING CONTROLS. ENGAGE APPROVED REGISTERED SECURITY CONTRACTOR TO SUPPLY & INSTALL NEW CHALLENGER 10 PLUS CONTROL PANEL, MOBILE ROUTER, & I/O EXPANSION MODULES AND ASSOCIATED POWER SUPPLY. SECURITY CONTRACTOR TO UNDERTAKE REQUIRED PROGRAMING & ARRANGE SYSTEM INCLUSION ON SPORT & RECREATION FACILITIES WEB MANAGEMENT SYSTEM ACCOUNT. ELECTRICAL CONTRACTOR TO PROVIDE ALL OTHER EQUIPMENT CABLING AND TERMINATIONS AS SHOWN ON THE DRAWINGS. REFER DRAWING 1684-E3 FOR SECURITY WORKS & ADDITIONAL DETAILS.

SECURITY CONTRACTOR TO SUPPLY AND INSTALL NEW INTERFACE RELAYS (12V d.c.) & 5 IN 1 ANTENNA TO NEW LIGHTING CONTROL PANEL AS NOTED & TERMINATE AS SPECIFIED.

POSITION FLOODLIGHTS TO NOMINATED AIMING POINTS AND COMMISSION COMPLETE SYSTEM IN ACCORDANCE WITH ENGINEERS' INSTRUCTIONS. A REPRESENTATIVE FROM AEC ENGINEERS CAN ASSIST WITH AIMING TECHNIQUES.

PROVIDE SHOP DRAWINGS DETAILING THE PROPOSED SWITCHBOARD & LIGHTING CONTROL PANELS PHYSICAL AND ELECTRICAL LAYOUT PRIOR TO MANUFACTURE.

ELECTRICAL SPECIFICATION NOTES:

ELECTRICAL CONTRACTOR TO OBTAIN QUOTATION & ENGAGE APPROVED REGISTERED SECURITY CONTRACTOR TO UNDERTAKE THE REMOTE ACCESS & LIGHTING CONTROL WORKS INCLUDING PROVISION OF SYSTEM PROGRAMING & INCLUSION ON SPORT AND RECREATION FACILITIES EXISTING WEB MANAGEMENT ACCOUNT. QUOTATION TO BE OBTAINED & ACCEPTED BY ELECTRICAL CONTRACTOR ON ENGAGEMENT BY THE CLIENT.

REFER TO SPECIFICATION 1684-E51 FOR TECHNICAL DETAILS AND REQUIREMENTS OF INSTALLATION CONTRACT.

GAIN ENGINEERS APPROVAL TO ALTER ANY PART OF THE DOCUMENTED WORKS OR REJECTION & RECTIFICATION WORK WILL BE DONE AT COST TO THE CONTRACTOR.

PROVIDE SHOP DRAWINGS DETAILING THE PROPOSED SWITCHBOARD & LIGHTING CONTROL PANELS PHYSICAL AND ELECTRICAL LAYOUT PRIOR TO MANUFACTURE.

USE BARRIERS AND SIGNAGE TO PROTECT THE PUBLIC FROM INJURY ATTRIBUTED TO THE EXCAVATION OR INCOMPLETE WORKS.

ALL WORKS TO BE IN ACCORDANCE WITH AUSTRALIAN STANDARDS RELEVANT TO THE INSTALLATION, IN PARTICULAR AS 3000, AS 3008, BUILDING CODE OF AUSTRALIA (ACT APPENDIX)

SECURITY REMOTE ACCESS CONTROL NOTES

SUPPLY AND INSTALL TWO NEW LINKED FLOODLIGHT REMOTE CONTROL WIRELESS BRIDGE UNITS & CONTROL / STATUS CABLING IN NEW SPORTS LIGHTING D.B. CONNECT WIRELESS BRIDGE UNITS TO WIFI CONNECTION ON NEW ANTENNA MOUNTED ON TOP OF NEW D.B. INSTALL 240V & 12V D.C. INTERFACE RELAYS WITH 10A 240V RATED CONTACTS & OFF/MANUAL/AUTO/REMOTE SWITCH. REFER DRAWINGS 1642K-E3 FOR DETAILS.

THE FOLLOWING SPECIFIC EQUIPMENT TO BE SUPPLIED DIRECTLY OR AVAILABLE FROM AREALUX:

- TWO LINKED AREALUX I/O WIRELESS BRIDGE 4x4 (4 INPUTS & 4 OUTPUTS) 915MHZ NO: 1/04/9/P COMPLETE WITH 3A, 12V D.C. PLUG IN POWER SUPPLIES.
- "PUCK" TYPE ANTENNA TAOGLAS COLOSSEUM HEAVY DUTY LOW PROFILE 5 IN 1 (2XMOBILE, 2XWIFI & 1XGPS) NO. MA850.A.LBICG.001.

ENGAGE APPROVED REGISTERED SECURITY CONTRACTOR TO SUPPLY & INSTALL NEW CONTROL / STATUS CABLING FROM EXISTING CHALLENGER 10 PLUS CONTROL PANEL, SUPPLY & INSTALL TWO NEW LINKED REMOTE SECURITY LIGHTING INTERFACE I/O WIRELESS BRIDGE UNITS & 3A 12V d.c. POWER SUPPLIES & REQUIRED CHALLENGER I/O EXPANSION MODULES.

THE FOLLOWING SPECIFIC EQUIPMENT TO BE SUPPLIED DIRECTLY OR AVAILABLE FROM AREALUX:

- TWO LINKED AREALUX I/O WIRELESS BRIDGE 4x4 (4 INPUTS & 4 OUTPUTS) 915MHZ NO: 1/04/9/P COMPLETE WITH 3A, 12V d.c. PLUG IN POWER SUPPLY.

CONNECT WIRELESS BRIDGE UNITS TO SECOND WIFI CONNECTION ON EXISTING ANTENNA AT PAVILION.

UNDERTAKE REQUIRED PROGRAMING & ARRANGE ALL SYSTEMS INCLUSION ON SPORT & RECREATION FACILITIES WEB MANAGEMENT SYSTEM ACCOUNT.

PROVIDE USER TRAINING & ASSISTANCE FOR RANGERS TO ACCESS VIA TECOM PLUS MOBILE APPLICATION.

REFER DRAWING 1684-E2 FOR INSTALLATION & EQUIPMENT DETAILS
 REFER DRAWING 1684-E3 FOR SWITCHBOARD DETAILS
 REFER DRAWING 1684-E4 FOR AIMING DETAILS

No.	Date	Description	Init.
B	05/06/24	Approval Issue	A.H.
A	30/4/24	INITIAL SETUP	A.H.



CONSULTING ENGINEERS

SPORTSGROUND LIGHTING UPGRADE WORKS 2024
DAWES STREET, KINGSTON

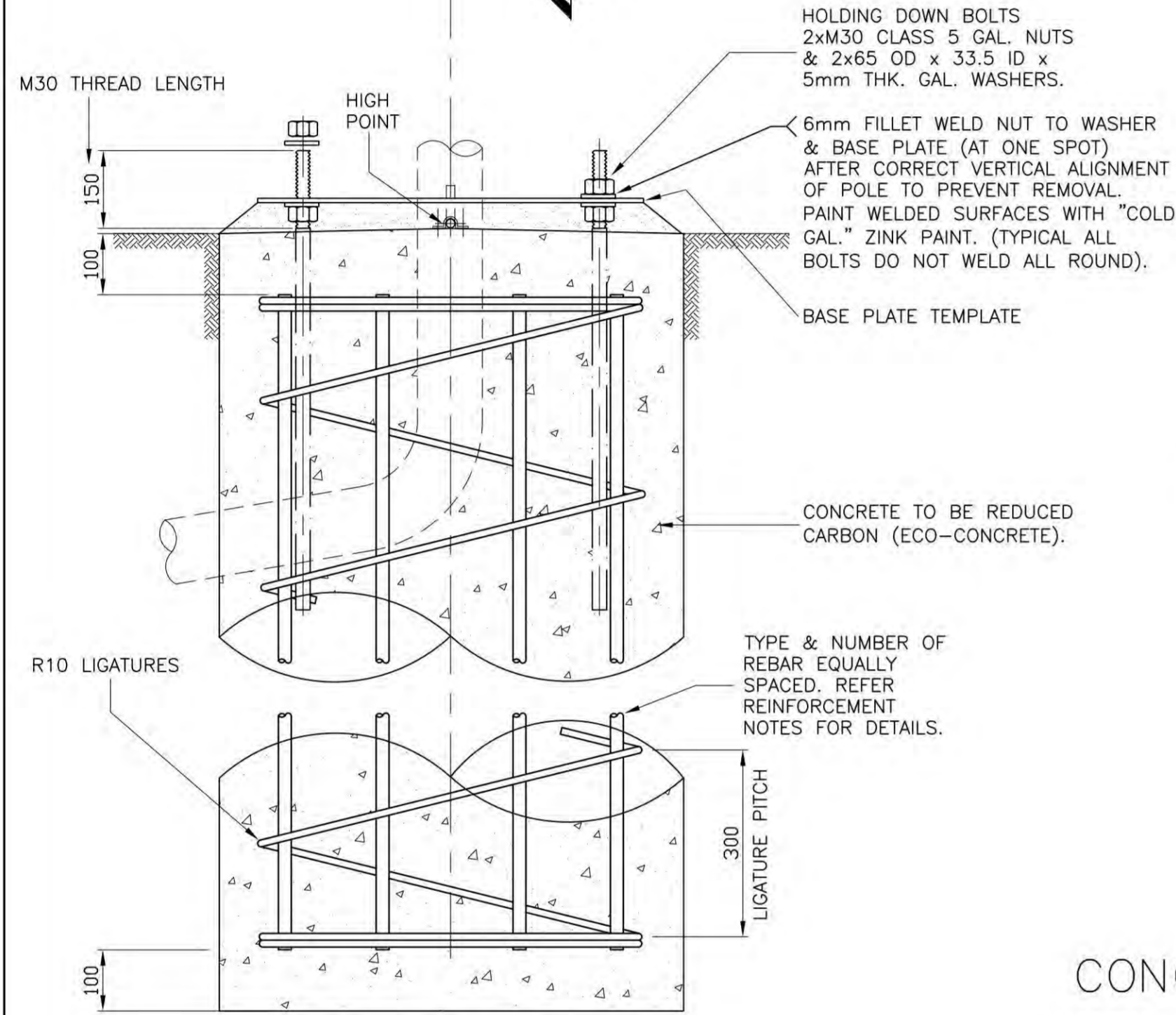
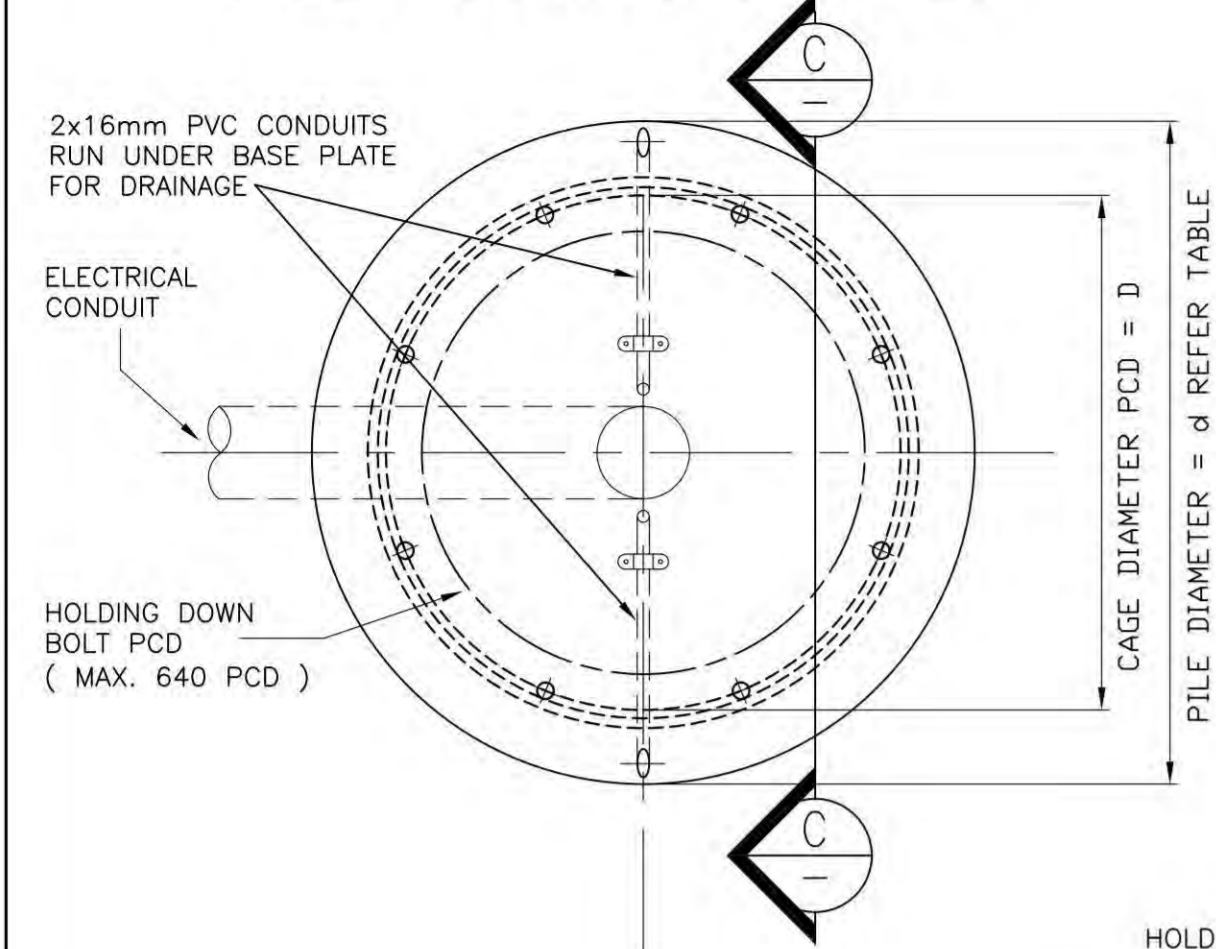
BLOCK 9, SECTION 22
KINGSTON, ACT

KINGSTON OVAL
SPORTS LIGHTING
UPGRADE SITE PLAN

Scale: 1:500	Date: 30th April 2024
Drawn: A. Hill	Checked: --- Approved: ---
CAD File: A1	Sheet 1 of 4
Job No.: 1684	Drawing Number: 1684-E1
	Amtd: B

SITE WORKS PLAN

PILE FOOTING DETAILS



PILE FOOTING NOTES

GENERAL

1. ALL DIMENSIONS RELEVANT TO SETTING OUT AND OFF-SITE WORK SHALL BE VERIFIED BY THE CONTRACTOR BEFORE CONSTRUCTION IS COMMENCED. THE ENGINEERS DRAWINGS SHALL NOT BE SCALED.

2. WORKMANSHIP AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RELEVANT S.A.A. CODES AND THE LOCAL STATUTORY AUTHORITIES REGULATIONS INCLUDING ALL AMENDMENTS, EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.

FOUNDATIONS

SITE SHALL BE STRIPPED OF ALL VEGETATION IN BUILDING AREAS. ENSURE THAT NO VEGETATION OR ORGANIC MATTER EXISTS IN THE SOIL STRATA BELOW THE FOOTINGS OR SLAB ON GROUND FOR A DEPTH OF AT LEAST 1000mm.

IF BASE AT FOOTING EXCAVATIONS BECOMES WET PRIOR TO POURING CONCRETE THEN THE WATER AND ANY SOFTENED MATERIAL SHALL BE REMOVED PRIOR TO POURING THE FOOTINGS.

SOIL RUPTURE INTENSITY (Q kPa/m) THE WORST EXPECTED CONDITIONS SHOULD BE USED WHEN ESTIMATING THE STRENGTH OF PILE FOOTINGS FOR SOILS WHICH ARE DEFINED AS FOLLOWS:

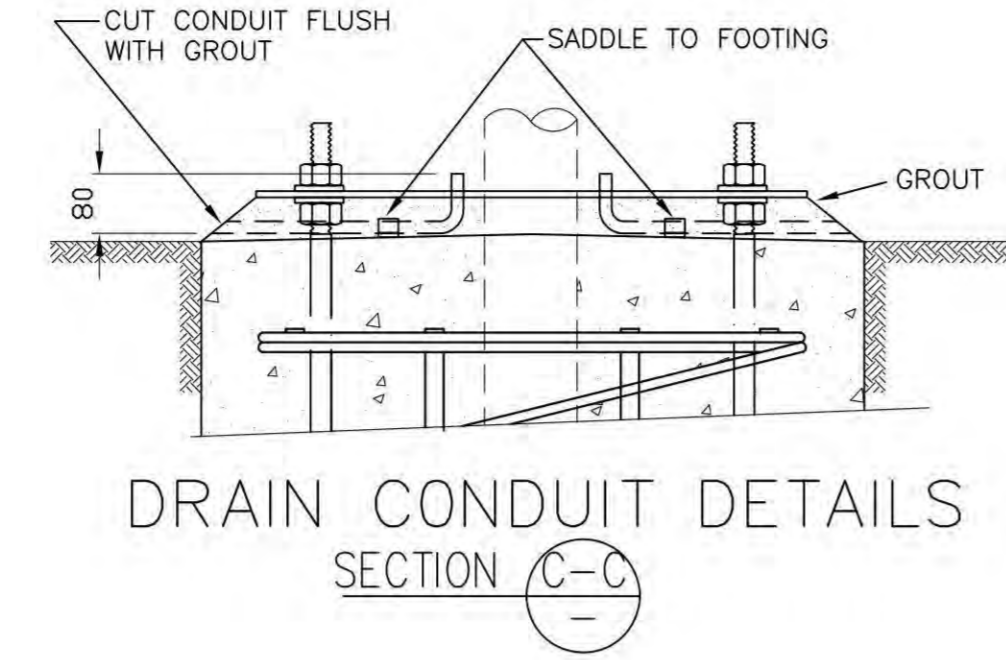
GOOD BEARING (Q = 600 kPa/m)
HARD CLAY AND WELL BONDED SAND AND GRAVEL WITH GOOD SURFACE WATER DRAINAGE AND FOOTING NORMALLY ABOVE WATERTABLE.

MEDIUM BEARING (Q = 300 kPa/m)
BONDED SANDY LOAM, BONDED SAND AND GRAVEL WITH REASONABLE SURFACE WATER DRAINAGE. COMPACT MEDIUM CLAY, WELL

POOR BEARING (Q = 150 kPa/m)
SAND AND SOILS THAT TEND TO ABSORB LARGE AMOUNTS OF WATER PROVIDED THESE DO NOT DEVELOP INTO SLUSH. SOFT CLAY, POORLY COMPACTED

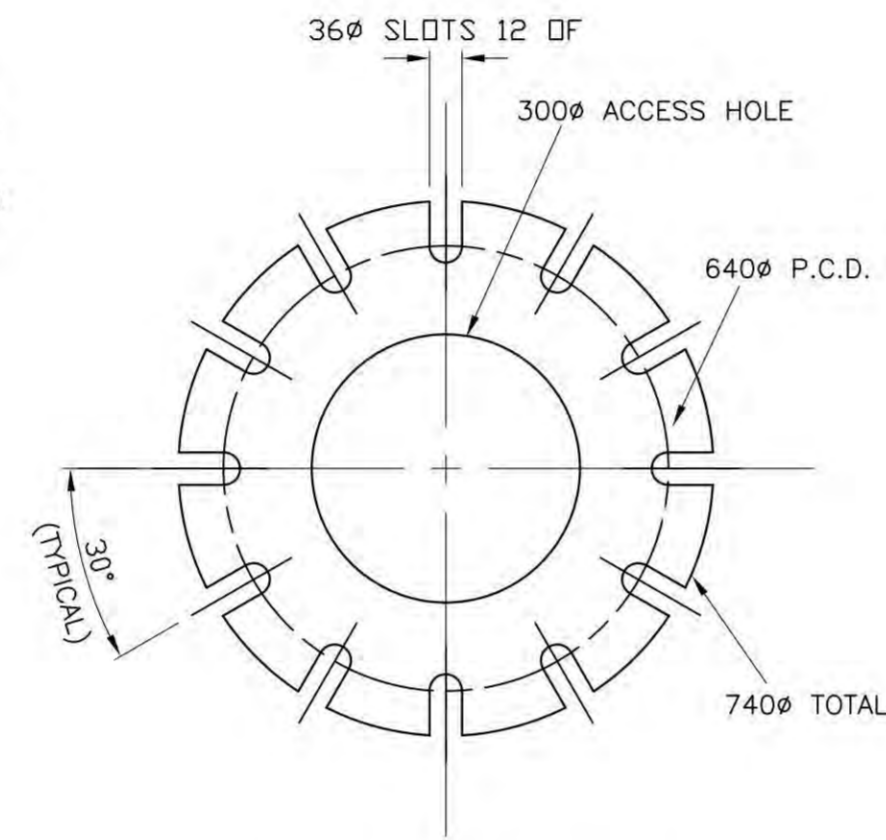
NOTE: THESE VALUES FOR Q ARE A GUIDE ONLY FOR ANY FOUNDATION.

NOTE
FOOTING DESIGN INDICATED ON THIS DRAWING HAS BEEN CHECKED & APPROVED BY A CIVIL ENGINEER ON BEHALF OF AEC. THE CONTRACTOR SHALL OBTAIN THE CIVIL ENGINEERS' INSPECTION & APPROVAL BEFORE PLACING CONCRETE. ENGINEERING LIGHTING COLUMNS: INGAL EPS HAS SUPPLIED THE WORKING BASE MOMENT AND SHEAR FOR THE PARTICULAR LIGHTING COLUMNS TO BE SUPPLIED.



DRAIN CONDUIT DETAILS

SECTION C-C



BASE PLATE DETAILS

CONCRETE POUR NOTES

CONCRETE

1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 3600 - CURRENT EDITION WITH AMENDMENTS, EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.

2. ALL CONCRETE SHALL BE PREMIXED FROM AN APPROVED SUPPLIER. PORTLAND CEMENT TYPE A TO BE USED. BLENDED CEMENT NOT TO BE USED. TABLE BELOW INDICATES STRENGTH GRADES.

3. ALL CONCRETE SHALL BE VIBRATED.

4.

LOCATION	STRENGTH GRADE	AGGREG. SIZE (MAX)	SLUMP NOMINAL (mm)
FOOTING-STANDARD SOILS	N32MPa	20mm	80
FOOTING-AGGRESSIVE SOILS	N40MPa	20mm	80

5. REINFORCEMENT:

M : HOT ROLLED DEFORMED BARS TO AS 4671

F : FABRIC TO AS 4671.

R : STRUCTURAL GRADE PLAIN ROUND BAR TO AS 4671.

6. THE CONTRACTOR SHALL SUPPLY ALL NECESSARY BAR CHAIRS (PLASTIC TIPPED), SUPPORT AND SPACER BARS, AND CONCRETE BLOCKS FOR FOOTING AND SLAB REINFORCEMENT, TO PLACE STEEL IN ITS CORRECT POSITION DURING CONCRETING.

7. COVER TO REINFORCEMENT: 75mm MINIMUM ALL ROUND (CONCRETE WELL LINER INCLUDED).

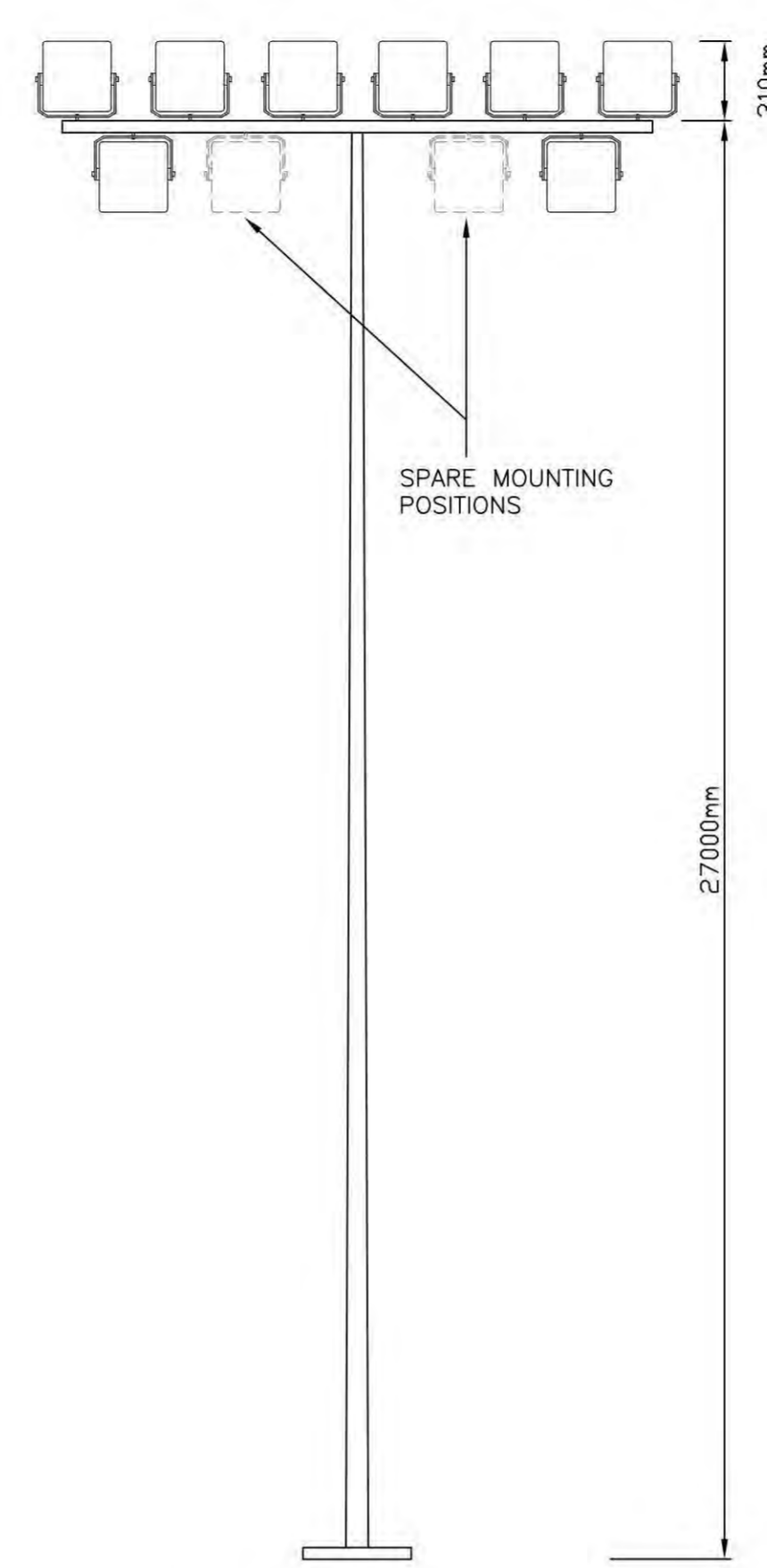
8. SPLICES IN REINFORCEMENT SHALL ONLY AS APPROVED BY THE ENGINEER.

9. CONCRETE SHALL BE CURED FOR A MINIMUM OF 7 DAYS BY ONE OF THE FOLLOWING METHODS:

- AN APPROVED CURING COMPOUND, OR
- CONTINUOUS WATER SPRAYS FOR PERIODS, OR
- THE SURFACE SHALL BE THOROUGHLY MOISTENED AND COVERED COMPLETELY WITH PLASTIC SHEET SECURELY HELD IN POSITION.

10. ENSURE THAT SIDES OF EXCAVATION ARE SUCH THAT SOIL DOES NOT FALL IN DURING PLACEMENT OF CONCRETE.

NEW POLE DETAILS



NEW POLES WITH 8 FITTINGS (2 OF)
POLES WITH 5 FITTINGS (4 OF)

REINFORCEMENT NOTES

REINFORCEMENT

Q = SOIL RUPTURE INTENSITY (kPa/m). ASSUMED 150 (POOR SOIL). REFER FOUNDATION NOTES.

M = MAXIMUM WORKING MOMENT RATED AT TOP OF PILE FOOTINGS 95.3kN-m. CONFIRM VALUE WITH INGAL EPS.

V = MAXIMUM WORKING SHEAR RATED FOR AT TOP OF PILE FOOTING 7.7kN. CONFIRM VALUE WITH INGAL EPS.

D = FOOTING DIAMETER (mm).

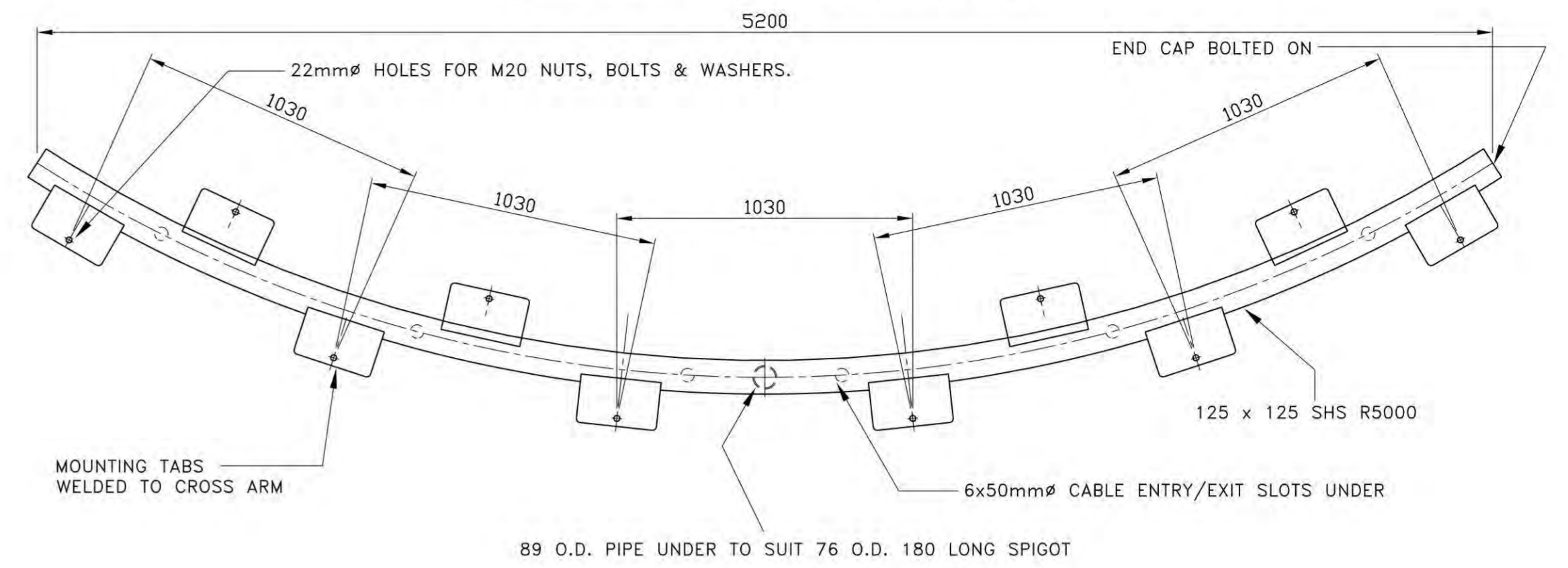
J = FOOTING DEPTH (m).

TABLE HAS BEEN PREPARED FOR A DISTURBED SOIL DEPTH OF UP TO 300mm. THE ANALYSIS IGNORES THIS LAYER OF SOIL IN ASSESSING THE SOIL STRENGTH. FOR DISTURBED SOILS DEPTHS GREATER THAN 300mm, REFER TO THE ENGINEER.

ALTERNATIVE REINFORCEMENT DETAILS:
8-N24 VERTICAL, 750mm PCD;
N12 CIRCULAR TIES @ 300mm SPACING AND 2/N12 RECTANGULAR TIES @ 300mm SPACING. TOP & BOTTOM TIES LOCATED 100mm FROM TOP & BOTTOM OF CONCRETE. ALL REINFORCEMENT TO BE WELDED IN CAGE.

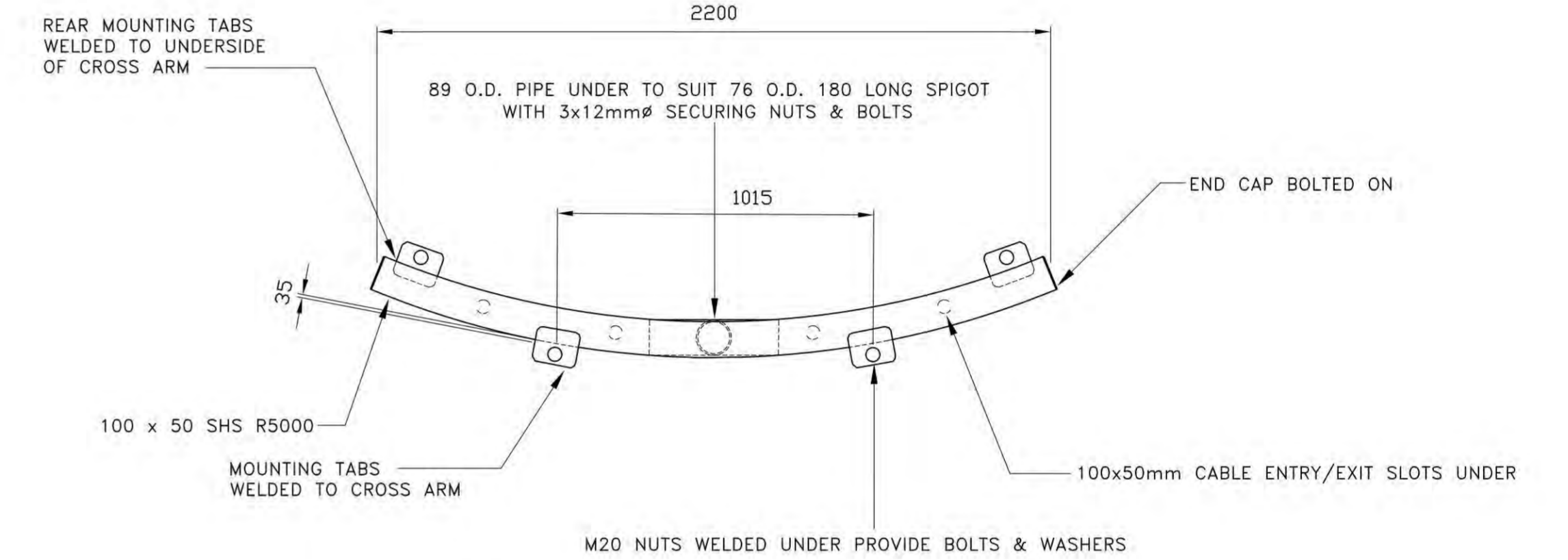
FOOTING DIAMETER (mm)	REINF. PCD (mm)	REINFORCEMENT (BAR SIZE / No DF BARS)
945	735	Y20/24
1028	820	Y24/20
1194	972	Y28/18
1358	1125	Y28/24

CROSSARM ASSEMBLIES



XSP5200 CROSSARMS

TWO (2) REQUIRED FOR NEW POLES.



2200 CURVED - CROSSARMS

FOUR (4) REQUIRED FOR EXISTING POLES.

POLE ASSEMBLY NOTES

SEE SPECIFICATION FOR POLE ASSEMBLY PROCEDURE. ENGINEERS INSPECTION AND "HOLD" POINTS IN ASSEMBLY PROCEDURE.

POLE SECTIONS ARE TO BE ASSEMBLED SO THAT OVERALL DIMENSIONS AND DIMENSIONS AND SLIP DIMENSIONS MATCH THOSE SHOWN ON INGAL EPS DRAWINGS PROVIDED TO TOLERANCE +/- 4%.

ASSEMBLED POLES ARE TO BE ALIGNED ALONG THE CENTRE LINE AND ADJUSTED AT THE MOUNTING SO THE ERECTED POLE SHALL NOTE DEVIATE MORE THAN 5 DEGREES FROM THE VERTICAL AT ANY POINT.

TECHNICAL DETAILS

Pylon Type	Poor Soil (Q = 150)		Average Soil (Q = 300)		Good Soil (Q = 600)	
	d / D	J	d / D	J	d / D	J
Light Duty	945 / 735	3.6	1194 / 972	2.7	1358 / 1125	2.1

NOTE: RECOMMENDATIONS BASED ON INGAL EPS FPL27F PYLON SPECIFICATIONS.

NOTE: FOUNDATION BOLTS ARE AS FOLLOWS (CONFIRM WITH MANUFACTURER)

Light Duty 12xM30 @ 640 PCD 900 EMBEDMENT

UNLESS GEOTECHNICAL REPORT PROVIDED FOR TENDER PURPOSES FOOTING DEPTH

Light Duty J=3.6M

NOTE:
FOOTING AND STEEL DETAILS ARE FOR GUIDANCE ONLY
OBTAIN CIVIL ENGINEER'S INSTRUCTIONS AND APPROVAL
FOR ALL PROPOSED FOOTINGS BEFORE CONSTRUCTION.

REFER DRAWING 1684-E1 FOR SITE PLAN
REFER DRAWING 1684-E3 FOR SWITCHBOARD DETAILS
REFER DRAWING 1684-E4 FOR AIMING DETAILS

No.	Date	Description	Init.
B	05/06/24	Approval Issue	A.H.
A	30/4/24	INITIAL SETUP	A.H.



consulting group
P.O. Box 503 Mawson ACT 2607
Telephone: (02) 6101 4770
Fax: (02) 6161 5344
email: aecengineers@ipg.com.au

CONSULTING ENGINEERS

Project
**SPORTSGROUND LIGHTING
UPGRADE WORKS 2024
DAWES STREET, KINGSTON**

**BLOCK 9, SECTION 22
KINGSTON, ACT**

Title
**KINGSTON A.F.L. FIELD
SPORTS LIGHTING
INSTALLATION DETAILS**

Scale:	Date:	Checked:	Approved:
N.T.S.	30th April 2024	---	---
Drawn: A.Hill	Sheet 2 of 4		
CAD File: A1	Drawing Number		
Job No:	1684-E2		

**SPORTSGROUND ILLUMINATION
KINGSTON OVAL A.F.L. SPORTS FIELD
L.E.D. SPORTS LIGHTING**

SUPPLY AND DELIVERY OF FLOODLIGHTING PYLONS

PROCUREMENT TECHNICAL SPECIFICATION



Consulting Engineers

Prepared By:

P.O. Box 503
Mawson
A.C.T. 2607

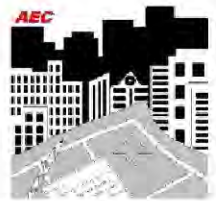
Telephone: 61014770
Email: aecengineers@tpg.com.au



On behalf of:

SPECIFICATION No. 1684-ES2

Rev'n	Date	Details	Auth
A	17/07/24	Client Review Issue	A.H.
B	29/07/24	Tender Issue	A.H.



SUPPLEMENTARY INSTRUCTIONS TO TENDERERS

1. FORM OF TENDER AND SCHEDULES

Tenders to be submitted and addressed to Eastlake Football Club Ltd for the specified works and shall be made as a lump sum on the itemised Tender Schedules and Forms contained at the rear of this Specification. Offers submitted in any other form shall be deemed invalid tenders.

Such tender which shall be for the complete works, to be carried out entirely as specified herein, shall override all other written correspondence and offers and shall exclude any standard conditions of sale appended thereto.

The information contained in the completed Schedules will be used in assessing the merit of the tender and the information contained thereon shall be regarded as defining only the manufacturers and the minimum capacities and shall not override any of the specified requirements except as clearly defined on other papers forming part of the tender.

2. TENDER DOCUMENTS

- a) The tender documents are this specification and associated forms and schedules attached thereto.
- b) Tenderers wishing to view related documents in connection with this work may do so by contacting the Engineer and making arrangements to inspect the documents during normal office hours.
- c) Tenderers finding discrepancies in, or omissions from the specification or other documents, or having any doubt as to the meaning or intent of any part thereof, shall at once notify the Superintendent immediately and before the closing of tenders.
- d) Revision or corrections issued during tender period will be made only by Notice to Tenderers or Addenda duly issued, a copy of which will be provided to each Tenderer. Except for such revision or corrections no one is authorised to amend any contract document during the tender period.
- e) Revisions or corrections issued during the time of tender are to be covered in the Tender and shall become a part of the Contract documents.

3. SUB-CONTRACTED WORK

If the tenderer proposes to employ Sub-contractors for any part or parts of the work they shall submit, with his tender, their names and full details of their experience. They shall clearly define the exact scope of work proposed for sub-contract.

4. TAXES, EXCHANGE PRIMAGE AND CUSTOMS DUTY

Australian sales tax where applicable shall be included in the price tendered.

Exchange, primage and customs duty on all imported items shall be included in the tender price. The tenderer shall show the amounts allowed together with the relevant tariff time or items and rate of duty for the items of major equipment listed in the tendering schedule where applicable. It shall be the Contractor's responsibility to make application for the remission of duty for all imported items under customs By-law where such can be anticipated or if so required by the Principal. If there is any remission of duty or any variation in the rate of these items during the currency of the contract the actual difference between the amounts paid and



the amounts shown in the tender will be added to or deducted from the payments made under the contract.

Should the Contractor fail or neglect to secure any remission of duty to which the Principal might be entitled he shall pay to the principal as Liquidated and Ascertained Damages and not by way of a penalty an amount equal to the amount of remission which he should have secured.

5. DEFINITIONS

Where referenced in this document, the following terms shall have the meanings indicated below:

Principal shall mean an authorized officer of the Eastlake Group / Football Club.

Engineer shall mean the authorized representative of AEC Engineers Pty Ltd.

Superintendent shall mean an authorized representative of AEC Engineers Pty Ltd.

Contractor shall mean the person, company or firm contracted by the Principal to supply, execute or carry out the works specified herein.

Sub-contractor shall mean a person, company or firm contracted by the Contractor to execute any part of the Contractor's obligations under the contract for the works specified herein.

Works shall mean the supply of goods and materials and execution of services specified herein.



SECTION 1 – GENERAL

GENERAL DESCRIPTION OF PROJECT 1.01

As part of the floodlighting project, new Semi-professional Competition level A.F.L. field lighting system to be provided at Kinston Oval Field. To facilitate the installation programme the Superintendent will arrange on behalf of the Principal the advance purchase, supply and delivery of required equipment. Under a separate contract an installation contractor will be engaged and the subject equipment will be handed to the contractor. All materials and equipment supplied under this contract shall be new and free of defect.

Under a separate contract thirty two (32) new sports lighting luminaires will be supplied and installed to new and existing pylon positions by the installation contractor.

SCOPE OF SUPPLY CONTRACT 1.02

The scope of goods and services to be contracted under this specification is as follows.

- a) Supply of curved cross arms, fastenings, flanges etc. as may be required by this specification and necessary for the proposed new lighting arrangement on existing lighting poles and associated mounting arrangements.
- b) Supply of Floodlighting poles as scheduled herein.
- c) Supply of curved cross arms, fastenings, flanges etc. as may be required by this specification and necessary for the complete erection and assembly of the new lighting poles and associated mounting arrangements.
- d) Provision of foundation / footing design data suitable for mounting and support of each type of pole offered with the associated cross arms and mounting gear and with a load of up to six (8) floodlighting luminaires. Pylon and footing design shall be suitable for Canberra design conditions and wind loadings and shall be certified by the supplier's engineer. Provide details of mass loadings and wind loadings so that footing design can be undertaken by the project structural engineer for site conditions prior to installation.

Provision of pile footing foundation cages and design to suit pole location conditions in accordance with poor soil conditions where Geotechnical Report is unavailable. These can be offered as optional materials for early delivery. Associated cost to be listed in the Schedule of Tendered Prices under Optional Additional Foundation Reinforcing Cages. Design of foundations and reinforcement to be provided and certified by supplier's structural engineer

- e) Provision of pylon, cross arm and associated equipment Shop Drawings for engineers approval prior to manufacture.
- f) Packaging-All equipment and components shall be supplied in strong protective packaging which shall protect it from damage of any kind during transit and storage. On delivery the equipment will be stored on site. Any damaged components found on opening the packaging will be returned to the supplier at his expense for immediate replacement at the supplier's expense.
- g) Delivery – Goods supplied under this contract shall be delivered by the Contractor to the Kingston Oval Block 9, Section 22, Dawes Street Griffith, ACT (to be confirmed). On the date of delivery the Superintendent is to be contacted minimum of an hour prior to arrival.



Supply as specified shall be deemed to be achieved when all the specified goods are delivered and unloaded at the above location, inspected and approved by the Engineer.

Alternatively, if an installation contract has been awarded, the successful contractor may take possession of the equipment from a nominated delivery location within Canberra.

TIME FOR DELIVERY 1.03

All goods specified herein shall be delivered to the specified location not later than:

4th November 2024.

Were the delivery date cannot be achieved tenderers are to nominate the earliest delivery date. Foundation bolts, cages (where provided) and base plate template to be provided within 2 weeks of order.

PROPRIETARY BRAND NAMES 1.04

Where mention may be made in this specification of any proprietary brand or item, this shall be taken as an indication of type or standard of quality and performance for that particular brand or item not necessarily an indication of its suitability, performance or capacity. Tenderers may offer equipment of different brand or manufacture which is shown to be at least equal in quality, performance and manufacture and which meets the performance requirements of this specification. Provide full equipment specifications for alternative offers.



SECTION 2 – FLOODLIGHT POLES

GENERAL 2.01

Provide curved cross arms for new and existing pylons to suit 76mmØ O.D. spigots. Existing pylons are Riverton 22m tall light duty tapered octagonal. Foundations 1.2mØ and 8xM30 bolts with the following pole top capacity:

Maximum top weight	= 132kg
Maximum top sail area	= 1.55m ²

New cross arms for the existing 22m tall pylons can mount up to four luminaires and contribute a maximum 40kg and 0.63m² to the top loading allowing available capacity for luminaires.

Provide floodlighting pylons and associated materials and items as listed below to the listed site:

KINGSTON OVAL

- Supply twenty seven (27) meter tall hot dip galvanized pylons meeting the requirements of this specification.
- Supply all supplementary equipment and components required for the mounting of the floodlights.
- Supply six (6) cross arms, fittings and all bolts and fastenings as required for assembly and support of the light fittings (**2x 8 per cross arm new pylons & 4x 4 per cross arm existing pylons top mounted & under slung**).
- Provide drawings, technical details and full instructions for the assembly of all equipment.
- Poles shall incorporate multiple access to an internal compartment suitable for mounting of lighting control equipment. Secure access doors or panels and associated fixings shall be provided.
- Provide internal gear tray mounting brackets suitable for six (8) tray's 520mm (L) x 128 (W) x 130mm deep each. Where proposed pylon dimensions will not allow nominated number of trays mounted internally provide proposed external mounting arrangement.
- Poles shall be of galvanized steel construction and designed for the duty and loads indicated in this specification. They shall be hollow section of a configuration and metal thickness suitable to maintain structural integrity under the expected wind loads in the Canberra area and under the mass loadings of the floodlighting gear and top hamper indicated in this specification. Pole bases and foundation bolt arrangement to be equal to Ingal EPS 27M pylons Cat No. FPL27F.
- Provide foundation bolts, washers and nuts along with base plate template for installation in new pylon foundations.
- Provide foundation cages and certified structural design option for early delivery along with foundation bolts etc.

Australian manufactured items are preferred and foreign manufactured accepted with available cost savings to the discretion of the client. Where both options are available indicate in the Schedule Of Tendered Prices at the rear on the specification.



EQUIPMENT SCHEDULE 2.02

Equipment supplied under this contract shall include as a minimum the following:

KINGSTON OVAL A.F.L. FIELD

Equipment	Qty	Comments
Pylons	2	Minimum 27 metre tall with cross arm mount 27 metres above ground.
Cross Arms	4	2.2 meter long curved with mounting arrangement to suit pylons and fitting arrangement as shown on drawing 1684-E2 to accommodate four fittings.
	2	5.2-metre long curved with mounting arrangement to suit pylons and fitting arrangement shown on drawing 1684-E2 to accommodate eight fittings.
Base Plates	2	Supply base plates to site within two weeks from acceptance of tender offer.
Foundation bolts	To suit Base Plate	Supply proposed foundation bolts to suit base plate arrangement for pylons. Deliver as directed by the Superintendent within two (2) weeks from acceptance of tender offer.
Fixings	As Required	Provide all bolts, nuts, lock nuts, spacers and washers required for all foundation bolts, access panels, cross arm and luminaire fixing.

**Cross arms and luminaire fixings to accommodate 4 and 8 luminaires per cross arm.
Total new pylon loading allowance up to 8 luminaires per pole.**

Refer Site Plan drawing 1684-E1 for location and drawing 1684-E2 Installation Details for indicative pylon, cross arm and foundation arrangements.

The proposed luminaires are equal WS Series Generation 7.1 L.E.D. floodlights. The following technical details to be applied to pylon loading:

AAA-Lux 1550 watt WS series L.E.D.
 Weight = 22kg
 Sail area = 0.23M²



**KINGSTON OVAL A.F.L. FIELD SPORTS LIGHTING ILLUMINATION –
 TECHNICAL SPECIFICATION No 1684-ES2
 SUPPLY & DELIVERY OF FLOODLIGHTING PYLONS**

SCHEDULES OF TENDERED PRICES

Sheet 1 of 1

Name of Tenderer: _____

Contact Name: _____ Telephone No _____

The above named tenderer hereby tenders to supply and deliver the equipment, goods and materials as described in the specification and associated drawings entirely without qualification in consideration of the amounts listed below.

KINGSTON OVAL

Item	Tendered price including GST
Pylons & associated equipment Australian manufacture	\$
Pylons & associated equipment Foreign manufacture	\$
Delivery to site	\$
Provision of manufacturing approval documentation	\$
Other (Specify)	\$
Total Australian Manufacture	\$
Total Foreign Manufacture	\$
Optional Additional Foundation Reinforcing Cages	\$

Provide also, schedule of fixtures and fittings included indicating make, model, materials and technical details for each item..

Proposed delivery date of pylons and fittings

Earliest delivery date of pylon bases _____

Note: Tenderers shall provide complete physical and technical details with tenders.

Total Price tendered including GST \$.....

Optional Price tendered including GST \$.....

Signed by Tenderer _____ Date _____

Signed by Witness _____ Date _____



**KINGSTON OVAL A.F.L. FIELD SPORTS LIGHTING ILLUMINATION –
TECHNICAL SPECIFICATION No 1684-ES2
SUPPLY & DELIVERY OF FLOODLIGHTING PYLONS**

TENDERER'S DETAILS

Sheet 1 of 1

Name of Tendering Company _____

ABN

Address of Tendering Company _____

Name of Tenderer' authorised officer _____

Telephone number

SECTION 1: PROJECT OVERVIEW AND ELIGIBILITY

* indicates a required field

ASSESSMENT TOOL - CSFP PERMITS AND APPROVALS

Is the location of the proposed project zoned appropriately?

- Yes
 No

Is formal consent from the landowner provided to undertake the project at the proposed site?

- Yes
 No

If applicant is owner of land - answer (YES) to this question

Are all permits/approvals (e.g. building or planning) required to commence the project approved?

- Yes
 No

Assessor Comments (as required)

ASSESSMENT TOOL - CSFP (CONSTRUCTION) FUNDING STREAM

What funding stream is the organisation applying for?

- Single year funding: Facility upgrade or development projects that will be complete within 12 months and have a total investment (exclusive of GST) of \$5,000 - \$1,000,000.
 Multi-year funding: Facility upgrade or development projects that require a planning and construction period of two years and have a total investment (exclusive of GST) of up to \$2,000,000 (e.g. an applicant may request up to \$1,000,000 in year one and up to \$1,000,000 in year two - for a total investment of \$2,000,000).

ASSESSMENT TOOL - PROJECT ELIGIBILITY

1. PROJECT ELIGIBILITY: Has the applicant indicated which eligible category / categories the project aligns with?

- Upgrade to existing facilities and/or constructing new facilities
- Facilities and/or infrastructure upgrades that are female friendly (refer [sport.act.gov.au](https://www.sport.act.gov.au))
- A project which encourages flexible, multi-use, shared and integrated facilities and services
- A project which fosters inclusive, diverse, accessible and responsible facility development through universal design, environmental sustainability, and strategically planned facilities
- A project which encourages collaboration with schools, service providers, facility managers and community organisations to deliver participation outcomes
- New playing surfaces
- Development of sport infrastructure to increase the accessibility and diversity

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of organised sport and active recreation activity opportunities and enhances the experience of users

- Change rooms / ablutions
- Sports storage
- An enhancement of ACT Public School facilities that improve access and use by community sport and recreation organisations
- Upgrade to existing facilities that enhances the participation experience and opportunities for social connection in the community sport setting
- Development of facilities which, as a secondary benefit, allow the organisation to diversify its revenue streams and enhance its financial sustainability

Is the project eligible? *

- Yes No

Assessor Comments

2. PROJECT INELIGIBILITY: The applicant has confirmed that the project does not align with any of the ineligible projects listed in the CSFP Funding Guidelines. *

- Yes No

Assessor Comments

ASSESSMENT TOOL - PROJECT OVERVIEW

3. WHY has the proposed project been prioritised? Has a suitable response been provided for this question?

- Yes No

Assessor Comments (as required)

4. WHAT will the CSFP funding specifically be used for? Has a suitable response been provided for this question?

- Yes No

Assessor Comments (as required)

5. WHO will benefit from the proposed project? Has a suitable response been provided for this question?

- Yes No

Assessor Comments (as required)

6. WHO will be responsible for the management of the project? Has a suitable response been provided for this question?

- Yes No

Assessor Comments (as required)

7. HOW you will measure the impact of the project? Has a suitable response been provided for this question?

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Yes No

Assessor Comments (as required)

8. Is the project listed on the ACT infrastructure survey?

Yes
 No

Project Overview and Eligibility - Assessment Summary

All Project Overview and Eligibility Requirements met?

Yes No

Assessor Comments (summary of above assessment)

SECTION 2: PROJECT SPECIFIC EVIDENCE REQUESTS

FOCUS AREA 1: PROJECT NEED

When completing this section of the Assessment Tool, assessors will use the following points system to **assess each assessment criteria** - i.e. in relation to the specific assessment criteria being assessed:

- Is the evidence provided **relevant**? (yes = 1 point / no = 0 points)
- Is the evidence provided **sufficient**? (yes = 1 point / no = 0 points)
- Is the evidence provided **current**? (yes = 1 point / no = 0 points)
- Is the evidence provided **authentic**? (yes = 1 point / no = 0 points)

Question 1.1

What process did the organisation undertake to ensure the proposed project is needed / justified?

Evidence supplied?

Yes No

Assessment Criteria 1.1

A sound process has been used to justify the need associated with the project's implementation, e.g. community consultation, membership and participation data, facility usage data, linkages to the organisation's strategic plan, etc.

Mandatory Evidence: A formalised needs analysis process (e.g. Feasibility Study) is required to have been undertaken for projects over \$500,000.

Relevant Score (0-1)

0.5

Must be a number.

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Sufficient Score (0-1)

0.5

Must be a number.

Current Score (0-1)

0.5

Must be a number.

Authentic Score (0-1)

0.5

Must be a number.

TOTAL Score (0-4)

2

This number/amount is calculated.

Question 1.2

How will the project address an identified need, gap or deficiency in the availability of sport facilities to the ACT community?

Evidence supplied?

Yes

No

Assessment Criteria 1.2

The successful completion of the project will address a specific gap or deficiency in the ACT community's ability to access sport or active recreation offerings delivered by the organisation.

Relevant Score (0-1)

1

Must be a number.

Sufficient Score (0-1)

1

Must be a number.

Current Score (0-1)

1

Must be a number.

Authentic Score (0-1)

1

Must be a number.

TOTAL Score (0-4)

4

This number/amount is calculated.

Question 1.3

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How will the project lead to positive participation and facility utilisation outcomes for sport or active recreation?

Evidence Supplied?

Yes No

Assessment Criteria 1.3

The successful completion of the project will help to maintain or increase organised sport / active recreation participation and facility utilisation.

Relevant Score (0-1)

1
Must be a number.

Sufficient Score (0-1)

1
Must be a number.

Current Score (0-1)

1
Must be a number.

Authentic Score (0-1)

1
Must be a number.

TOTAL Score (0-4)

4
This number/amount is calculated.

Question 1.4

Will the project facilitate improved inclusive access to organised sport or active recreation; and if so, how?

Evidence supplied?

Yes No

Assessment Criteria 1.4

The successful completion of the project will help to increase organised sport / active recreation participation and facility utilisation, by specific target groups, e.g. female; youth; aboriginal; CALD; disabled; aged; LGBTQI+, those not engaged in sport/active recreation.

Relevant Score (0-1)

0.5
Must be a number.

Sufficient Score (0-1)

0.5
Must be a number.

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Current Score (0-1)

0.5

Must be a number.

Authentic Score (0-1)

0.5

Must be a number.

TOTAL Score (0-4)

2

This number/amount is calculated.

Question 1.5

1.5 Will the project improve the quality, safety, or standard of sport / active recreation facilities that are available to the community; and if so, how?

Evidence supplied?

Yes

No

Assessment Criteria 1.5

How the project will improve the quality, safety, or standard of sport / active recreation facilities that are available to the community is clear.

Relevant Score (0-1)

0.5

Must be a number.

Sufficient Score (0-1)

0.5

Must be a number.

Current Score (0-1)

0.5

Must be a number.

Authentic Score (0-1)

0.5

Must be a number.

TOTAL Score (0-4)

2

This number/amount is calculated.

Question 1.6

How does the project align with key priorities within the organisation's strategic plan?

Evidence supplied?

Yes

No

Assessment Criteria 1.6

The project's intended purpose clearly aligns with specific priorities within the organisation's strategic plan.

Mandatory Evidence: *Current organisational strategic plan and current state level organisation strategic plan.*

Relevant Score (0-1)

0.5

Must be a number.

Sufficient Score (0-1)

0.5

Must be a number.

Current Score (0-1)

0.5

Must be a number.

Authentic Score (0-1)

0.5

Must be a number.

TOTAL Score (0-4)

2

This number/amount is calculated.

Question 1.7

Has your project received formal support from your SSO?

Evidence supplied?

Yes

No

Assessment Criteria 1.7

Mandatory Evidence: *For all projects with a total value of over \$250,000, a formal letter of support from the relevant SSO.*

Assessor Note: *If the applicant is an SSO, or the total value of the project is under \$250,000, score this question 4/4.*

Relevant Score (0-1)

1

Must be a number.

Sufficient Score (0-1)

1

Must be a number.

Current Score (0-1)

1

Must be a number.

Authentic Score (0-1)

1

Must be a number.

TOTAL Score (0-4)

4

This number/amount is calculated.

Question 1.8

How does the project align with key priorities within the CBR Next Move Strategic Plan?

Evidence supplied?

Yes

No

Assessment Criteria 1.8

The project's intended purpose clearly aligns with specific priorities within the CBR Next Move Strategic Plan strategic plan.

Relevant Score (0-1)

0.5

Must be a number.

Sufficient Score (0-1)

0.5

Must be a number.

Current Score (0-1)

0.5

Must be a number.

Authentic Score (0-1)

0.5

Must be a number.

TOTAL Score (0-4)

2

This number/amount is calculated.

Question 1.9

Which alternatives to the proposed project were considered and why were they rejected?

Evidence supplied?

Yes

No

Assessment Criteria 1.9

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Relevant alternatives to the proposed project were identified and assessed as not meeting the needs of the organisation.

Relevant Score (0-1)

0.5

Must be a number.

Sufficient Score (0-1)

0.5

Must be a number.

Current Score (0-1)

0.5

Must be a number.

Authentic Score (0-1)

0.5

Must be a number.

TOTAL Score (0-4)

2

This number/amount is calculated.

Project Need Sub-Total

24

This number/amount is calculated.

Assessor Comments (as required)

FOCUS AREA 2: PROJECT FEASIBILITY

Question 2.1

Has the organisation undertaken a feasibility study relating to the project?

Evidence Supplied?

Yes

No

Assessment Criteria 2.1

A project feasibility study is provided which demonstrates the need and viability of the project.

Mandatory Evidence: A project feasibility study must be provided for all projects with a total budget over \$500,000.

Relevant Score (0-1)

1

Must be a number.

Sufficient Score (0-1)

1

Must be a number.

Current Score (0-1)

1

Must be a number.

Authentic Score (0-1)

1

Must be a number.

TOTAL Score (0-4)

4

This number/amount is calculated.

Question 2.2

2.2 Does the facility project involve partnerships which will result in shared use / multi-purpose use of the facility?

Evidence Supplied?

Yes

No

Assessment Criteria 2.2

The project is designed to facilitate shared use of a facility by multiple sport / active recreation organisations.

Mandatory Evidence: A statement from partners regarding the nature of the shared use / multi-purpose facility project agreement is required for all shared use / multi-purpose facility projects.

Relevant Score (0-1)

1

Must be a number.

Sufficient Score (0-1)

1

Must be a number.

Current Score (0-1)

1

Must be a number.

Authentic Score (0-1)

1

Must be a number.

TOTAL Score (0-4)

4

This number/amount is calculated.

Question 2.3

Has the organisation applied a Life Cycle Cost Analysis process to the project?

Evidence supplied?

Yes No

Assessment Criteria 2.3

A life cycle cost analysis process has been undertaken in relation to the project which considers the whole of life implications associated with planning, acquiring, operating and maintaining the facility upgrade or development.

Mandatory Evidence: A lifecycle cost analysis must be provided for all projects with a budget over \$500,000.

Assessor Note: If the applicant is applying for funding to undertake a feasibility study which includes a lifecycle cost analysis, score this question 4/4.

Relevant Score (0-1)

1

Must be a number.

Sufficient Score (0-1)

1

Must be a number.

Current Score (0-1)

1

Must be a number.

Authentic Score (0-1)

1

Must be a number.

TOTAL Score (0-4)

4

This number/amount is calculated.

Project Feasibility Sub-Total

12

This number/amount is calculated.

Assessor Comments (as required)

FOCUS AREA 3: PROJECT PLANNING

Question 3.1

Does the applicant have a clear, detailed, and realistic project plan, which meets CSFP requirements regarding project commencement and completion dates, etc.?

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Evidence Supplied?

Yes No

Assessment Criteria 3.1

A clear, detailed and realistic project plan designed to guide the successful delivery of the project is in place.

Mandatory Evidence: Refer to the Application Form for examples of suitable evidence.

Relevant Score (0-1)

1
Must be a number.

Sufficient Score (0-1)

1
Must be a number.

Current Score (0-1)

1
Must be a number.

Authentic Score (0-1)

1
Must be a number.

TOTAL Score (0-4)

4
This number/amount is calculated.

Question 3.2

Does the applicant have a detailed project budget, which clearly identifies all project components that will be funded by the CSFP investment and any components to be funded by the applicant?

Note: Co-investment from the application organisation towards the project is strongly encouraged and is to be viewed favourably.

Evidence supplied?

Yes No

Assessment Criteria 3.2

A detailed project budget which clearly identifies all project components that will be funded by the CSFP investment and any components to be funded by the applicant is in place.

Mandatory Evidence: Refer to the Application Form for examples of suitable evidence.

Mandatory Evidence: For capital works/construction projects valued at over \$500,000, applicants must provide an independent, detailed costings plan developed by a certified quantity surveyor.

Relevant Score (0-1)

1

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Must be a number.

Sufficient Score (0-1)

1

Must be a number.

Current Score (0-1)

1

Must be a number.

Authentic Score (0-1)

1

Must be a number.

TOTAL Score (0-4)

4

This number/amount is calculated.

Question 3.3

Do all facility related plans meet Australian Design Standards, ACT government facility planning requirements, any sport specific facility standards appropriate to the nature of the facility; and environmentally sustainable design principles?

Evidence supplied?

Yes No

Assessment Criteria 3.3

The applicant has demonstrated that all facility project related plans (e.g. concept designs, architect plans, builder plans, etc.) meet:

- Australian Design Standards;
- ACT government facility planning requirements;
- Any sport specific facility standards appropriate to the nature of the facility; and
- Environmentally sustainable design principles

Mandatory Evidence: Refer to the Application Form for examples of suitable evidence.

Assessor Note: If the applicant is applying for funding to undertake preliminary planning activities such as feasibility studies, options studies, etc., and not building related activities, score this question 4/4.

Relevant Score (0-1)

0.5

Must be a number.

Sufficient Score (0-1)

0.5

Must be a number.

Current Score (0-1)

0.5

Must be a number.

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Authentic Score (0-1)

0.5

Must be a number.

TOTAL Score (0-4)

2

This number/amount is calculated.

Question 3.4

Does the organisation has access to capacity, expertise, and skills needed to deliver the project outcomes successfully, within stated timelines and budgets; and if not, how will the organisation access the required expertise?

Evidence supplied?

Yes

No

Assessment Criteria 3.4

The applicant organisation demonstrates it has the capacity, expertise, and skills needed to deliver the project outcomes successfully, within stated timelines and budgets.

Mandatory Evidence: Refer to the Application Form for examples of suitable evidence.

Relevant Score (0-1)

1

Must be a number.

Sufficient Score (0-1)

1

Must be a number.

Current Score (0-1)

1

Must be a number.

Authentic Score (0-1)

1

Must be a number.

TOTAL Score (0-4)

4

This number/amount is calculated.

Project Planning Sub-Total

14

This number/amount is calculated.

Assessor Comments (as required)

TOTAL SCORE

50

This number/amount is calculated.

SECTION 3: ASSESSMENT CATEGORISATION

This section of the assessment tool allows assessors to provide a very brief summary regarding the amount and quality of the evidence provided by the applicant, as well as providing a **quantitative score** to the application, and preliminary recommendations relating to the prioritisation and potential funding allocation associated with each project application.

Organisation Legal Name

This question is read only.

Project Stream

- Single year funding
- Multi-year funding

Section 1 Assessment Result - Project Overview and Eligibility

All Project Overview and Eligibility requirements contained within Section 1 of the assessment tool are:

- Met in full
- Partially met - additional evidence requested
- Not met

Section 2 Assessment Result - Project Specific Evidence Requests

Overall score for Section 4 Assessment Result - Project Specific Evidence Requests

Total score achieved

50

This number/amount is calculated.

Funding Prioritisation Recommendation

2: Multi-year funding project

Priority A
(41-64pts)

Priority B
(21-40pts)

Priority C
(1-20pts)

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Overall Assessor Comments

Additional detail was sort from the applicant which provided further background detail to the project. The project is the number one priority for AFL and the AFL is providing \$400,000 towards the lighting project. Given cost of the project recommend funding is provided over two years to applicant with second payment pending approved lighting DA. Recommend support.

Funding Recommendation

Must be a dollar amount.

SECTION 1: PROJECT OVERVIEW AND ELIGIBILITY

* indicates a required field

ASSESSMENT TOOL - CSFP PERMITS AND APPROVALS

Is the location of the proposed project zoned appropriately?

- Yes
 No

Is formal consent from the landowner provided to undertake the project at the proposed site?

- Yes
 No

If applicant is owner of land - answer (YES) to this question

Are all permits/approvals (e.g. building or planning) required to commence the project approved?

- Yes
 No

Assessor Comments (as required)

DA required for upgraded floodlighting and most likely for the scoreboard.

ASSESSMENT TOOL - CSFP (CONSTRUCTION) FUNDING STREAM

What funding stream is the organisation applying for?

- Single year funding: Facility upgrade or development projects that will be complete within 12 months and have a total investment (exclusive of GST) of \$5,000 - \$1,000,000.
 Multi-year funding: Facility upgrade or development projects that require a planning and construction period of two years and have a total investment (exclusive of GST) of up to \$2,000,000 (e.g. an applicant may request up to \$1,000,000 in year one and up to \$1,000,000 in year two - for a total investment of \$2,000,000).

ASSESSMENT TOOL - PROJECT ELIGIBILITY

1. PROJECT ELIGIBILITY: Has the applicant indicated which eligible category / categories the project aligns with?

- Upgrade to existing facilities and/or constructing new facilities
- Facilities and/or infrastructure upgrades that are female friendly (refer sport.act.gov.au)
- A project which encourages flexible, multi-use, shared and integrated facilities and services
- A project which fosters inclusive, diverse, accessible and responsible facility development through universal design, environmental sustainability, and strategically planned facilities
- A project which encourages collaboration with schools, service providers, facility managers and community organisations to deliver participation outcomes
- New playing surfaces

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- Development of sport infrastructure to increase the accessibility and diversity of organised sport and active recreation activity opportunities and enhances the experience of users
- Change rooms / ablutions
- Sports storage
- An enhancement of ACT Public School facilities that improve access and use by community sport and recreation organisations
- Upgrade to existing facilities that enhances the participation experience and opportunities for social connection in the community sport setting
- Development of facilities which, as a secondary benefit, allow the organisation to diversify its revenue streams and enhance its financial sustainability

Is the project eligible? *

- Yes No

Assessor Comments

Contribution from AFL of \$400,000 towards the lighting.

2. PROJECT INELIGIBILITY: The applicant has confirmed that the project does not align with any of the ineligible projects listed in the CSFP Funding Guidelines. *

- Yes No

Assessor Comments

ASSESSMENT TOOL - PROJECT OVERVIEW

3. WHY has the proposed project been prioritised? Has a suitable response been provided for this question?

- Yes No

Assessor Comments (as required)

The irrigation and turf profile are in need of an upgrade. The irrigation system is ineffective and unreliable due to age while the turf is not durable and shows significant signs of wear and tear during the winter months. A new scoreboard will provide some modern amenity to the facility.

4. WHAT will the CSFP funding specifically be used for? Has a suitable response been provided for this question?

- Yes No

Assessor Comments (as required)

Installing a new irrigation system, turf conversion to Santa Ana, provision of a new scoreboard and floodlighting upgrade (using funding from the AFL).

5. WHO will benefit from the proposed project? Has a suitable response been provided for this question?

- Yes No

Assessor Comments (as required)

Eastlake Football Club and Eastlake Cricket Club will be the biggest beneficiaries. The oval is also a key community asset in the Inner South so improving the turf profile will offer

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improved amenity for this user group.

6. WHO will be responsible for the management of the project? Has a suitable response been provided for this question?

Yes No

Assessor Comments (as required)

Eastlake Football Club will engage Projex Building Group to manage the project. Projex have significant recent experience delivering sporting infrastructure upgrades, including at Phillip District Enclosed Oval.

7. HOW you will measure the impact of the project? Has a suitable response been provided for this question?

Yes No

Assessor Comments (as required)

User satisfaction levels and the ability to play more games at the venue.

8. Is the project listed on the ACT infrastructure survey?

Yes
 No

Project Overview and Eligibility - Assessment Summary

All Project Overview and Eligibility Requirements met?

Yes No

Assessor Comments (summary of above assessment)

SECTION 2: PROJECT SPECIFIC EVIDENCE REQUESTS

FOCUS AREA 1: PROJECT NEED

When completing this section of the Assessment Tool, assessors will use the following points system to **assess each assessment criteria** - i.e. in relation to the specific assessment criteria being assessed:

- Is the evidence provided **relevant**? (yes = 1 point / no = 0 points)
- Is the evidence provided **sufficient**? (yes = 1 point / no = 0 points)
- Is the evidence provided **current**? (yes = 1 point / no = 0 points)
- Is the evidence provided **authentic**? (yes = 1 point / no = 0 points)

Question 1.1

What process did the organisation undertake to ensure the proposed project is needed / justified?

Evidence supplied?

Yes

No

Assessment Criteria 1.1

A sound process has been used to justify the need associated with the project's implementation, e.g. community consultation, membership and participation data, facility usage data, linkages to the organisation's strategic plan, etc.

Mandatory Evidence: A formalised needs analysis process (e.g. Feasibility Study) is required to have been undertaken for projects over \$500,000.

Relevant Score (0-1)

1

Must be a number.

Sufficient Score (0-1)

0

Must be a number.

Current Score (0-1)

1

Must be a number.

Authentic Score (0-1)

1

Must be a number.

TOTAL Score (0-4)

3

This number/amount is calculated.

Question 1.2

How will the project address an identified need, gap or deficiency in the availability of sport facilities to the ACT community?

Evidence supplied?

Yes

No

Assessment Criteria 1.2

The successful completion of the project will address a specific gap or deficiency in the ACT community's ability to access sport or active recreation offerings delivered by the organisation.

Relevant Score (0-1)

1

Must be a number.

Sufficient Score (0-1)

1

Must be a number.

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Current Score (0-1)

1

Must be a number.

Authentic Score (0-1)

1

Must be a number.

TOTAL Score (0-4)

4

This number/amount is calculated.

Question 1.3

How will the project lead to positive participation and facility utilisation outcomes for sport or active recreation?

Evidence Supplied?

Yes

No

Assessment Criteria 1.3

The successful completion of the project will help to maintain or increase organised sport / active recreation participation and facility utilisation.

Relevant Score (0-1)

1

Must be a number.

Sufficient Score (0-1)

1

Must be a number.

Current Score (0-1)

1

Must be a number.

Authentic Score (0-1)

1

Must be a number.

TOTAL Score (0-4)

4

This number/amount is calculated.

Question 1.4

Will the project facilitate improved inclusive access to organised sport or active recreation; and if so, how?

Evidence supplied?

Yes

No

Assessment Criteria 1.4

The successful completion of the project will help to increase organised sport / active recreation participation and facility utilisation, by specific target groups, e.g. female; youth; aboriginal; CALD; disabled; aged; LGBTQI+, those not engaged in sport/active recreation.

Relevant Score (0-1)

0

Must be a number.

Sufficient Score (0-1)

0

Must be a number.

Current Score (0-1)

0

Must be a number.

Authentic Score (0-1)

0

Must be a number.

TOTAL Score (0-4)

0

This number/amount is calculated.

Question 1.5

1.5 Will the project improve the quality, safety, or standard of sport / active recreation facilities that are available to the community; and if so, how?

Evidence supplied?

Yes

No

Assessment Criteria 1.5

How the project will improve the quality, safety, or standard of sport / active recreation facilities that are available to the community is clear.

Relevant Score (0-1)

1

Must be a number.

Sufficient Score (0-1)

1

Must be a number.

Current Score (0-1)

1

Must be a number.

Authentic Score (0-1)

1
Must be a number.

TOTAL Score (0-4)

4
This number/amount is calculated.

Question 1.6

How does the project align with key priorities within the organisation's strategic plan?

Evidence supplied?

Yes No

Assessment Criteria 1.6

The project's intended purpose clearly aligns with specific priorities within the organisation's strategic plan.

Mandatory Evidence: *Current organisational strategic plan and current state level organisation strategic plan.*

Relevant Score (0-1)

1
Must be a number.

Sufficient Score (0-1)

1
Must be a number.

Current Score (0-1)

1
Must be a number.

Authentic Score (0-1)

1
Must be a number.

TOTAL Score (0-4)

4
This number/amount is calculated.

Question 1.7

Has your project received formal support from your SSO?

Evidence supplied?

Yes No

Assessment Criteria 1.7

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Mandatory Evidence: For all projects with a total value of over \$250,000, a formal letter of support from the relevant SSO.

Assessor Note: If the applicant is an SSO, or the total value of the project is under \$250,000, score this question 4/4.

Relevant Score (0-1)

1

Must be a number.

Sufficient Score (0-1)

1

Must be a number.

Current Score (0-1)

1

Must be a number.

Authentic Score (0-1)

1

Must be a number.

TOTAL Score (0-4)

4

This number/amount is calculated.

Question 1.8

How does the project align with key priorities within the CBR Next Move Strategic Plan?

Evidence supplied?

Yes

No

Assessment Criteria 1.8

The project's intended purpose clearly aligns with specific priorities within the CBR Next Move Strategic Plan strategic plan.

Relevant Score (0-1)

1

Must be a number.

Sufficient Score (0-1)

0

Must be a number.

Current Score (0-1)

1

Must be a number.

Authentic Score (0-1)

0

Must be a number.

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TOTAL Score (0-4)

2

This number/amount is calculated.

Question 1.9

Which alternatives to the proposed project were considered and why were they rejected?

Evidence supplied?

Yes

No

Assessment Criteria 1.9

Relevant alternatives to the proposed project were identified and assessed as not meeting the needs of the organisation.

Relevant Score (0-1)

0

Must be a number.

Sufficient Score (0-1)

0

Must be a number.

Current Score (0-1)

0

Must be a number.

Authentic Score (0-1)

0

Must be a number.

TOTAL Score (0-4)

0

This number/amount is calculated.

Project Need Sub-Total

25

This number/amount is calculated.

Assessor Comments (as required)

FOCUS AREA 2: PROJECT FEASIBILITY

Question 2.1

Has the organisation undertaken a feasibility study relating to the project?

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Evidence Supplied?

Yes No

Assessment Criteria 2.1

A project feasibility study is provided which demonstrates the need and viability of the project.

Mandatory Evidence: A project feasibility study must be provided for all projects with a total budget over \$500,000.

Relevant Score (0-1)

1
Must be a number.

Sufficient Score (0-1)

0
Must be a number.

Current Score (0-1)

1
Must be a number.

Authentic Score (0-1)

0
Must be a number.

TOTAL Score (0-4)

2
This number/amount is calculated.

Question 2.2

2.2 Does the facility project involve partnerships which will result in shared use / multi-purpose use of the facility?

Evidence Supplied?

Yes No

Assessment Criteria 2.2

The project is designed to facilitate shared use of a facility by multiple sport / active recreation organisations.

Mandatory Evidence: A statement from partners regarding the nature of the shared use / multi-purpose facility project agreement is required for all shared use / multi-purpose facility projects.

Relevant Score (0-1)

1
Must be a number.

Sufficient Score (0-1)

1

Must be a number.

Current Score (0-1)

1

Must be a number.

Authentic Score (0-1)

1

Must be a number.

TOTAL Score (0-4)

4

This number/amount is calculated.

Question 2.3

Has the organisation applied a Life Cycle Cost Analysis process to the project?

Evidence supplied?

Yes

No

Assessment Criteria 2.3

A life cycle cost analysis process has been undertaken in relation to the project which considers the whole of life implications associated with planning, acquiring, operating and maintaining the facility upgrade or development.

Mandatory Evidence: A lifecycle cost analysis must be provided for all projects with a budget over \$500,000.

Assessor Note: If the applicant is applying for funding to undertake a feasibility study which includes a lifecycle cost analysis, score this question 4/4.

Relevant Score (0-1)

0

Must be a number.

Sufficient Score (0-1)

0

Must be a number.

Current Score (0-1)

0

Must be a number.

Authentic Score (0-1)

0

Must be a number.

TOTAL Score (0-4)

0

This number/amount is calculated.

Project Feasibility Sub-Total

6

This number/amount is calculated.

Assessor Comments (as required)

Life Cycle Cost Analysis to come.

FOCUS AREA 3: PROJECT PLANNING

Question 3.1

Does the applicant have a clear, detailed, and realistic project plan, which meets CSFP requirements regarding project commencement and completion dates, etc.?

Evidence Supplied?

Yes

No

Assessment Criteria 3.1

A clear, detailed and realistic project plan designed to guide the successful delivery of the project is in place.

Mandatory Evidence: Refer to the Application Form for examples of suitable evidence.

Relevant Score (0-1)

1

Must be a number.

Sufficient Score (0-1)

1

Must be a number.

Current Score (0-1)

1

Must be a number.

Authentic Score (0-1)

1

Must be a number.

TOTAL Score (0-4)

4

This number/amount is calculated.

Question 3.2

Does the applicant have a detailed project budget, which clearly identifies all project components that will be funded by the CSFP investment and any components to be funded by the applicant?

Note: Co-investment from the application organisation towards the project is strongly encouraged and is to be viewed favourably.

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Evidence supplied?

Yes No

Assessment Criteria 3.2

A detailed project budget which clearly identifies all project components that will be funded by the CSFP investment and any components to be funded by the applicant is in place.

Mandatory Evidence: Refer to the Application Form for examples of suitable evidence.

Mandatory Evidence: For capital works/construction projects valued at over \$500,000, applicants must provide an independent, detailed costings plan developed by a certified quantity surveyor.

Relevant Score (0-1)

1
Must be a number.

Sufficient Score (0-1)

1
Must be a number.

Current Score (0-1)

1
Must be a number.

Authentic Score (0-1)

1
Must be a number.

TOTAL Score (0-4)

4
This number/amount is calculated.

Question 3.3

Do all facility related plans meet Australian Design Standards, ACT government facility planning requirements, any sport specific facility standards appropriate to the nature of the facility; and environmentally sustainable design principles?

Evidence supplied?

Yes No

Assessment Criteria 3.3

The applicant has demonstrated that all facility project related plans (e.g. concept designs, architect plans, builder plans, etc.) meet:

- Australian Design Standards;
- ACT government facility planning requirements;
- Any sport specific facility standards appropriate to the nature of the facility; and
- Environmentally sustainable design principles

Mandatory Evidence: Refer to the Application Form for examples of suitable evidence.

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Assessor Note: *If the applicant is applying for funding to undertake preliminary planning activities such as feasibility studies, options studies, etc., and not building related activities, score this question 4/4.*

Relevant Score (0-1)

1

Must be a number.

Sufficient Score (0-1)

1

Must be a number.

Current Score (0-1)

1

Must be a number.

Authentic Score (0-1)

1

Must be a number.

TOTAL Score (0-4)

4

This number/amount is calculated.

Question 3.4

Does the organisation has access to capacity, expertise, and skills needed to deliver the project outcomes successfully, within stated timelines and budgets; and if not, how will the organisation access the required expertise?

Evidence supplied?

Yes

No

Assessment Criteria 3.4

The applicant organisation demonstrates it has the capacity, expertise, and skills needed to deliver the project outcomes successfully, within stated timelines and budgets.

Mandatory Evidence: *Refer to the Application Form for examples of suitable evidence.*

Relevant Score (0-1)

1

Must be a number.

Sufficient Score (0-1)

1

Must be a number.

Current Score (0-1)

1

Must be a number.

Authentic Score (0-1)

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1

Must be a number.

TOTAL Score (0-4)

4

This number/amount is calculated.

Project Planning Sub-Total

16

This number/amount is calculated.

Assessor Comments (as required)

The floodlighting requires a DA and will be funded by the AFL.

TOTAL SCORE

47

This number/amount is calculated.

SECTION 3: ASSESSMENT CATEGORISATION

This section of the assessment tool allows assessors to provide a very brief summary regarding the amount and quality of the evidence provided by the applicant, as well as providing a **quantitative score** to the application, and preliminary recommendations relating to the prioritisation and potential funding allocation associated with each project application.

Organisation Legal Name

This question is read only.

Project Stream

- Single year funding
- Multi-year funding

Section 1 Assessment Result - Project Overview and Eligibility

All Project Overview and Eligibility requirements contained within Section 1 of the assessment tool are:

- Met in full
- Partially met - additional evidence requested
- Not met

Section 2 Assessment Result - Project Specific Evidence Requests

Overall score for Section 4 Assessment Result - Project Specific Evidence Requests

Total score achieved

47

This number/amount is calculated.

Funding Prioritisation Recommendation

1: Single year funding project

Priority A
(41-64pts)

Priority B
(21-40pts)

Priority C
(1-20pts)

2: Multi-year funding project

Priority A
(41-64pts)

Priority B
(21-40pts)

Priority C
(1-20pts)

Overall Assessor Comments

Recommended for funding.

Funding Recommendation

Must be a dollar amount.

2026 Community Sport Facilities Program (CSFP) (Construction)

2026 CSFP Group Assessment

Application No. 2026CSFPc00020 From Eastlake Football Club Limited

Form Submitted 13 Apr 2026, 9:05AM AEST

GROUP ASSESSMENT DECISION

Application Number

2026CSFPc00020

This field is read only.

The identification number or code for this submission.

Organisation Legal Name

Eastlake Football Club

Project Title

Kingston Oval upgrades

Funding Stream

- Facility Planning and Design
- Single year funding
- Multi-year funding

Total Amount Requested

\$1,100,000.00

Must be a dollar amount.

Funding Recommendation

- Fund in full
- Partially Fund
- No Funding

Overall Assessor Comments

The application is the number one infrastructure priority for the peak body for AFL. The peak body is making a strong financial contribution of \$400,000 towards the installation of the upgraded lighting. Support for the requested electronic scoreboard is not recommended as limited detail was included in the application on this item. The project will be funded over two years due to budget restraints - \$615,806 for this year and \$363,194 in 2026/27. A project control group to be established which will include a member of the City and Environment Directorate to ensure all design and planning meets the required industry standards.

Recommended Funding

\$615,806.00

Must be a dollar amount.

Funding Method

- Lumpsum: Payment less than \$25k
- Lumpsum: Project delivery and evaluation has short timeframe and requires funding as soon as possible to fulfil project.

2026 Community Sport Facilities Program (CSFP) (Construction) 2026 CSFP Group Assessment

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Other:

Risk Management Around Payment

- LOW
- MEDIUM
- HIGH

2026 Community Sport Facilities Program (CSFP) (Construction) 2026 Community Sport Facilities Program (CSFP) Construction Application

Application No. 2026CSFPc00020 From Eastlake Football Club Limited

Form Submitted 16 Oct 2025, 10:01AM AEDT

Capital Works / Construction Funding Stream

Application Introduction

Introduction

This site will allow you to apply for Capital Works / Construction Projects for the 2026 calendar year.

Facility planning and design projects must apply through the Planning Stream application form.

Objectives

The objective of the CSFP is to provide financial assistance to not-for-profit sport, recreation and community organisations to develop fit for purpose, sustainable and accessible places and spaces for sport and active recreation.

Completing an application

Before applying, eligible organisations should ensure they have read and understood the [Community Sports Facility Program - Funding Guidelines](#).

Time required to submit the application

This application requires multiple attachments and supporting information to fully complete and submit.

It is expected that the time required to coordinate the quotes, support letters, plans, financial documents and other relevant attachments required can take in excess of **10+ hours**. Sport and Recreation suggest that applicants take this into consideration when planning to submit an application.

Helpful hints and tips:

- Ensure you follow the *HINTS* on each question within the application form.
- Ensure you attach project specific Mandatory Evidence where it is stated in the application form.
- Keep your responses to the questions clear and concise.
- Assume the reader is not familiar with your project.

Submitting your application

- Check that all questions have been answered and all mandatory items are attached.
- Press "submit" once you have completed the application. You will not be able to submit your application until all compulsory questions are completed - **please ensure you leave enough time to review your responses prior to the application closing time!**

Attachments and support documents

The following documents are commonly required for an application to be considered eligible:

- Public Liability Insurance certificate.
- The applicant's most recently certified (signed by the club Treasurer) or audited Statement of Financial Performance (Income and Expenditure Statement) and/or Statement of Financial Position (Balance Sheet) covering a period of 12 months.
- Current organisational strategic plan and current state level organisation strategic plan.

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- Landowner consent (where applicable)
- Permits or approvals required to complete the project including building approvals (where applicable).
- State Sporting Organisation support (where applicable).
- Other user group support (where applicable)
- Current facility usage/bookings data to demonstrate demand.
- Quotes.
- Detailed project budget.
- Detailed project plan.
- Photographs and appropriate evidence of the current state of the facility (where applicable).
- Relevant reports/plans/strategic documents/community consultation that support the project.

For projects valued over \$500,000, the following documents are required:

- A project feasibility study.
- A lifecycle cost analysis.
- Independent detailed costings plan by a certified quantity surveyor.

Contact Information

If you have any questions about the program, please contact Sport and Recreation on (02) 6207 6195 or email: dougal.reed@act.gov.au

Eligibility Requirements

*** indicates a required field**

Please Note:

If you do not comply with the following eligibility requirements, your application will not be assessed for funding.

The following organisations are eligible to complete this survey. Please select your organisation type. *

- ACT State Sport Organisation (SSO)
- National Sporting Organisation where a unitary governance model is in place
- ACT State Active Recreation Organisation
- ACT Sport and Active Recreation club / district association
- Not-for-profit sport, recreation or community organisation operating in the ACT
- ACT Licensed Club
- Other:

Is your organisation a not-for-profit entity? *

- Yes
- No

Is your organisation incorporated in the ACT under either: *

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- the Associations Incorporation Act 1991; or
 the Corporations Act 2001 (Commonwealth)

Which year did your organisation become incorporated? *

2002

Must be no more than 4 characters.

Must be a number

Is your organisation up to date with compliance requirements under the Associations Incorporation Act 1991, or the Corporations Act 2001? *

- Yes
 No

All applicants must have compliance requirements under the relevant Act up to date

Do you have Public Liability Insurance? *

- Yes
 No

Public Liability Insurance coverage to a minimum level of \$10,000,000

Please attach a copy of your current insurance certificate. *

Filename: AFL_COC (2).pdf

File size: 59.8 kB

Are you registered for the Goods and Services Tax (GST)? *

- Yes
 No

Applicable if turnover is greater than \$150,000 per annum

Do you have an ABN or ACN? *

- Australian Business Number (ABN)
 Australian Company Number (ACN)

Please provide your ABN. *

90 099 301 747

Information from the Australian Business Register	
ABN	90 099 301 747
Entity name	EASTLAKE FOOTBALL CLUB LIMITED
ABN status	Active
Entity type	Australian Public Company
Goods & Services Tax (GST)	Yes
DGR Endorsed	No
ATO Charity Type	Not endorsed More information
ACNC Registration	No
Tax Concessions	No tax concessions

2026 Community Sport Facilities Program (CSFP) (Construction) 2026 Community Sport Facilities Program (CSFP) Construction Application

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Main business location 2603 ACT

Information retrieved at 12:34am yesterday

Must be an ABN.

Does your organisation have an administrative structure and physical presence in the ACT? *

- Yes
 No

Do you deliver programs within the ACT for ACT residents? *

- Yes
 No

Is the proposed project being delivered in the ACT? *

- Yes
 No

Please provide a copy of your organisation's most recent certified (signed by the club treasurer) or audited Statements of Financial Performance (Income and Expenditure Statement), and Statement of Financial Position (Balance Sheet). *

Filename: Eastlake Football Club Limited Annual Report 2023.pdf

File size: 9.3 MB

Documents must cover a period of 12 months

Please provide a copy of your organisation's current strategic plan or local operational plan. *

Filename: Eastlake Football Club - Football Strategy 2022 - 2025 Final (1).pdf

File size: 147.2 kB

Do you have any outstanding reporting requirements for any previous Sport and Recreation or ACT Government Grants? *

- Yes
 No

If you have previously received an ACT Government grant and you are unsure if acquittal obligations have been met please check with the ACT Government area you received the funding from.

If yes, please explain why the acquittal and / or reporting requirements have not been met.

Please provide details of any ACT Government grants your organisation has received in the last two (2) years.

Nil

Have you been named in an application to the National Redress Scheme for Institutional Child Sexual Abuse and having been assessed as having the financial capacity to join the Scheme, joined the Scheme? *

- I have been named and joined the Scheme.
 I have been named and NOT joined the Scheme.

2026 Community Sport Facilities Program (CSFP) (Construction) 2026 Community Sport Facilities Program (CSFP) Construction Application

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Form Submitted 16 Oct 2025, 10:01AM AEDT

I have not been named.

Organisation Details

*** indicates a required field**

Contact Details

Organisation Legal Name *	Eastlake Football Club Limited
Organisation Trading Name	Eastlake Football Club Limited
CEO (or equivalent) Name	Mr Craig Goddard
President Name	Mr Lorin Joyce
Project Contact Person *	Mr Shaun Young
Project Contact Position	General Manager Football
Physical Address *	3 Oxley Street Griffith ACT 2603 Australia <small>Address Line 1, Suburb/Town, State/Province, and Postcode are required. Country must be Australia</small>
Is Postal Address same as Physical Address? *	<input type="radio"/> Yes <input checked="" type="radio"/> No
Postal Address	P.O Box 4167 Kingsnton ACT 2604 Australia
Phone Number *	0438 437 456 <small>Must be an Australian phone number.</small>
Organisation Email Address *	shaun.young@eastlakefc.com.au <small>Must be an email address.</small>
Website Address	https://www.eastlakefc.com.au/ <small>Must be a URL.</small>
Social Media	Facebook, Instagram <small>eg. Facebook / Twitter (if applicable)</small>

Please note: that as per the guidelines for this program each project requires a separate application. Bundled or multiple site projects will not be accepted.

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Project Location / Address

Please provide the location of the proposed project.

[ACTmap viewer](#) can assist with location details if not already known.

Block Number *

9

Section Number *

22

Division / Suburb *

Griffith

Address *

21 Dawes St
Kingston ACT 2604 Australia

Address Line 1, Suburb/Town, State/Province, and Postcode are required. Country must be Australia

Is the site zoned appropriately for the proposed use? *

- Yes
- No
- Not sure

Who is the Owner of the Land where the proposed project is to be located? *

- Our Organisation
- ACT Government
- Crown
- Private Owner (Private Property)
- Other:

Do you have landowner formal consent to undertake the project on the proposed site? *

- Yes
- Formal consent pending / in discussion
- No

Please attach evidence from the land custodian (owner of the land) demonstrating support of this project. *

Filename: FW CSFP Application - Kingston Oval - Eastlake Football Club.msg

File size: 848.5 kB

This could be a formal consent from the Government Department that manages your lease, or if on private land, evidence of a legally binding land use or community access agreement.

What is your organisation's tenure over the land? *

- Lease
- Sub-lease
- Licence
- Other:

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What is your Lease / Licence expiry date? *

June 2026

Please provide contact details of the Landowner *

Australian Capital Territory

Phone Number *

(02) 6207 5815

Must be an Australian phone number.

Email *

Luke.Halpin@act.gov.au

Must be an email address.

Permits and Approvals

Please note: that as per the guidelines the status of any permits or approvals (e.g. building or planning approval) required to commence the project are to be approved.

Has your organisation had a Development Application (DA) approved for this proposed project by the ACT Planning and Land Authority (ACTPLA)? *

- Yes - received (attach below)
- No - lodged and awaiting decision (attach lodgement below)
- No - required, but not yet lodged
- No - not required
- Other:

Are any other permits or approvals required before the project can commence? *

- Yes
- No

For example: Building, Planning Heritage, Environmental, Engineer, Design approvals

Type of Permit / Approval	Status of permit / approval	Evidence
For Example: Building, Planning, Heritage, Environmental		
		No files have been uploaded
		No files have been uploaded
		No files have been uploaded
		No files have been uploaded
		No files have been uploaded

Project eligibility and overview

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* indicates a required field

CSFP Funding Stream

Which capital works/ construction stream are you applying for? *

- Single year funding: Facility upgrade or development projects that will be complete within 12 months and have a total investment (exclusive of GST) of \$5,000 - \$1,000,000
- Multi-year funding: Facility upgrade or development projects that require a planning and construction period of two years and have a total investment (exclusive of GST) of up to \$2,000,000 (e.g. an applicant may request up to \$1,000,000 in year one and up to \$1,000,000 in year two – for a total investment of \$2,000,000).

Project Eligibility

PROJECT ELIGIBILITY: Which eligible project category does the project align with?

*

- Upgrade to existing facilities and/or constructing new facilities
- Facilities and/or infrastructure upgrades that are female friendly (refer www.sport.act.gov.au)
- A project which encourages flexible, multi-use, shared and integrated facilities and services
- A project which fosters inclusive, diverse, accessible and responsible facility development through universal design, environmental sustainability, and strategically planned facilities
- A project which encourages collaboration with schools, service providers, facility managers and community organisations to deliver participation outcomes
- New playing surfaces
- Development of sport infrastructure to increase the accessibility and diversity of organised sport and active recreation activity opportunities and enhances the experience of users
- Change rooms / ablutions
- Sports storage
- An enhancement of ACT Public School facilities that improve access and use by community sport and recreation organisations
- Upgrade to existing facilities that enhances the participation experience and opportunities for social connection in the community sport setting

Note: You may indicate more than one if suitable.

Project Ineligibility

Having read the [Community Sport Facilities Program - Funding Guidelines](#), specifically **Section 5.4 Ineligible Projects**, please confirm that the project **does not** align with any of the *ineligible* projects listed in the CSFP Funding Guidelines.

Project ineligibility declaration *

- The project does not align with any of the ineligible projects listed in Section 5.4 of the CSFP Funding Guidelines

Project Overview

Brief Project Title *

Kingston Oval Works

Maximum 10 words

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WHY has the proposed project been prioritised? Within your response, please outline the extent to which the project is intended to improve the quality, safety or/standard of the facility; and how it will maintain, or increase participation? *

The proposed project has a number of components encompassed with upgrade of flood lighting from 100 lux to 200 lux, new irrigation system, change of grass profile from Rye Grass to Santa Anna Couch and a new electronic scoreboard.

The project is intended to improve the current status of all things mentioned above due to the following;

Flood Lighting - this will enable the facility to host night matches to the level that all other AFL Canberra Clubs do, along with creating more opportunities for greater levels of games match play, which in turn will increase participation via additional fixturing opportunities that currently don't exist.

New irrigation system - the current system continues to be ineffective due to age of the system and continually requires fixing. It will play a leading hand in using less water ongoingly which will make it more sustainable in the upkeep of the playing surface particularly in the summer months for cricket as the system will provide greater efficiency.

Change of grass profile - by changing the grass profile it will enable a more durable playing surface for all users along with becoming more drought tolerant which will go hand in hand with the new irrigation system and allow more product to be played at the venue. Rye grass will be over sewn in the winter months.

New electronic Scoreboard - this will bring the venue up to modern day standards for all participants and spectators making the venue a greater match day experience.

Maximum 250 words

WHAT will the CSFP funding specifically be used for? *

The funding will be specifically used for the works and implementation relating to lighting upgrade, new irrigation system, change of grass profile and new electronic scoreboard.

The AFL are partnering with the EFC in regard to the lighting upgrade to the tune of \$400,000.

Maximum 250 words

WHO will benefit from the proposed project? *

Current users in the Eastlake Football Club (EFC) and Eastlake Cricket Club (ECC) by providing a more durable and sustainable playing surface that will have the ability to increase the usage and in turn will enable the opportunity to increase participation of both sporting codes.

The other benefactor will be the broader community in general by not limiting the usage to just the EFC and ECC which is currently in play due to the lack of durability and sustainability of the current surface, and with the addition of upgraded lighting and electronic scoreboard it will attract more sporting bodies and community activities to host events at a venue that they would see / require to host events like National Carnivals etc.

Maximum 250 words

WHO will be responsible for the management of the project? *

Projex Building Group.

Maximum 250 words

HOW will you measure the impact of the project? *

By participation numbers of both EFC and ECC, by increased levels of match play, by the number of other sporting events held at the venue outside of EFC and ECC, and by user satisfaction levels.

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Maximum 250 words

Project Specific Evidence Requests

*** indicates a required field**

Focus area 1: Project Need

Applicant Organisation to respond to the question and include any documentation / booking/ usage data / images which validates or strengthens their response. This supporting evidence may be supplied via weblink/s or attachment/s.

*Note: Where it is **mandatory** to provide evidence in support of a response, this has been stated.*

1.1 What process did the organisation undertake to ensure the proposed facility project is needed / justified? *

The EFC undertook consultation with Sport and Recreation representatives, AFL Canberra, Cricket ACT, ECC and the Kingston Barton Residents Group with all bodies expressing a desire for facility improvements.

Maximum 250 words

Mandatory Evidence for 1.1

No files have been uploaded

MANDATORY EVIDENCE: A formalised needs analysis process (e.g. Feasibility Study) is required to have been undertaken for construction projects over \$500,000.

1.2 How will the project address an identified need, gap or deficiency in the availability of sport facilities in the ACT community? *

It will provide greater access for longer periods of time to the facility for more sports / games to be played at the venue along with adding another suitable venue to the ACT's registers of facilities that can be accessed by sporting groups, National bodies and the community more broadly.

Maximum 250 words

Upload Evidence for 1.2

No files have been uploaded

1.3 How will the project lead to positive participation and facility utilisation outcomes for sport or active recreation? *

By creating a facility that can be promoted to parents and participants as a suitable venue that is fit for purpose, as well as playing a positive role in recruitment and retention of participants and families that may currently see other venues better positioned than Kingston Oval as place that they want their child to be actively participating in sport or recreation activities.

Maximum 250 words

Upload evidence for 1.3

No files have been uploaded

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1.4 Will the project facilitate improved inclusive access to organised sport or active recreation, and if so, how? *

Yes, By allowing new users to access the facility due to improved lighting, surface and scoreboard that wouldn't otherwise be applicable in its current state.

Maximum 250 words

Upload Evidence for 1.4

No files have been uploaded

1.5 Will the project improve the quality, safety, or standard of sport / active recreation facilities available to the community, and if so, how? *

Yes it certainly will by increasing the standard of the facility that is commensurate with key components in quality and safety.

Maximum 250 words

Upload Evidence for 1.5

No files have been uploaded

1.6 How does the facility project align with key priorities within the applicant organisation's strategic plan? *

It aligns with having a quality facility that promotes encouraging more participants to join sport, and with our long-term strategy and vision to return Kingston Oval to the home of the Eastlake Demons.

Maximum 250 words

1.7 Has your project received formal support from the relevant State Sporting or Active Recreation Peak Body? Also consider formal support from other user groups of the facility. *

Yes, please refer attached.

Maximum 250 words

Mandatory Evidence for 1.7

Filename: Kingston Oval letter of support.pdf

File size: 196.9 kB

Filename: Letter of support for Kingston Oval improvements - Eastlake Cricket Club.docx

File size: 1.9 MB

MANDATORY EVIDENCE: For all projects with a total value of over \$250,000, a formal letter of support from the relevant Peak Body (not applicable if the applicant is the SSO).

1.8 How does the facility project align with key priorities within the in CBR Next Move Strategic Plan? *

The facility project aligns with varying key priorities in each of the areas of Capability and Capacity, Places and Spaces, Welcoming and Inclusive Experience and Participation and Performance.

Please visit: <https://www.sport.act.gov.au/about-us/cbr-next-move>. Maximum 250 words

1.9 Which alternatives to the proposed project were considered and why were they rejected? *

There were no alternatives proposed to the project, as the proposed project presented were prioritized in respect to the needs of the venue and broader benefits associated.

Maximum 250 words

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Upload Evidence for 1.9

No files have been uploaded

Focus area 2: Project Feasibility

Applicant Organisation to respond to the question and include any documentation / data / images which validates or strengthens their response. This supporting evidence may be supplied via weblink/s or attachment/s.

*Note: Where it is **mandatory** to provide evidence in support of a response, this has been stated.*

2.1 Has the organisation undertaken a feasibility study relating to the project? *

Yes, we have engaged with Projex Building Group to develop a proposal for facility developments of Kingston Oval and the associated costings as per attached.

Maximum 250 words

Mandatory Evidence for 2.1

Filename: Eastlake Proposal.pdf

File size: 13.4 MB

MANDATORY EVIDENCE: A project feasibility study must be provided for all construction projects with a total budget over \$500,000.

2.2 Does the facility project involve partnerships which will result in shared use / multi-purpose use of the facility? *

Yes, partnering with AFL Canberra, Cricket ACT, Eastlake Cricket Club will ensure the facility is shared and used by multiple sports.

Maximum 250 words

Mandatory Evidence for 2.2

No files have been uploaded

MANDATORY EVIDENCE: A statement attached from partners regarding the nature of the shared use / multi-purpose facility project agreement is required for all shared use / multi-purpose facility projects.

2.3 Has the organisation applied a Life Cycle Cost Analysis process to the project?

Note: Life cycle costing is a key asset management tool that takes into account the whole of life implications of planning, acquiring, operating, maintaining and disposing of a facility related asset. *

Not as yet, this will be something that is developed with Projex Building Group in the event the application is successful.

Maximum 250 words

Mandatory Evidence for 2.3

No files have been uploaded

MANDATORY EVIDENCE: A lifecycle cost analysis must be provided for all construction projects with a budget over \$500,000.

Focus area 3: Project Planning

Applicant Organisation to respond to the question and include any documentation / data / images which validates or strengthens their response. This supporting evidence may be supplied via weblink/s or attachment/s.

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*Note: Where it is **mandatory** to provide evidence in support of a response, this has been stated.*

3.1 Does the applicant have a clear, detailed, and realistic project plan, which meets CSFP requirements regarding project commencement and completion dates, etc.? *

Not as yet, this will be something that we work with Projex Building Group on to develop such notign that works are identified to commence in September 2026 if successful in the application process.

Maximum 250 words

Mandatory Evidence for 3.1

No files have been uploaded

MANDATORY EVIDENCE: Examples could include (but may not be limited to) - feasibility study terms of reference / report, project management plan, design plans, evidence of landowner's consent, planning / building approvals, required statutory approvals, project budget, etc.

3.2 Does the applicant have a detailed project budget, which clearly identifies all project components that will be funded by the CSFP investment and any components to be funded by the applicant or other funding partner? *

Yes, refer attached.

what is not factored into the attached is the \$400,000 funding from the AFL.

Note: Co-investment from the application organisation towards the project is strongly encouraged and will be viewed favourably. Maximum 250 words

Mandatory Evidence for 3.2 (for projects over \$500,000)

Filename: Eastlake Proposal.pdf

File size: 13.4 MB

MANDATORY EVIDENCE: For capital works/construction projects valued at over \$500,000, applicants must provide an independent, detailed costings plan developed by a certified quantity surveyor.

Mandatory Evidence for 3.2 (for projects under \$500,000)

No files have been uploaded

MANDATORY EVIDENCE: For projects valued under \$500,000, applicants could include (but may not be limited to) - Project budget; quotes for all project related work which include the name and description of the item(s) or service(s) to be purchased, the quantity and total cost of item(s) or service(s) to be purchased; and the supplier's business/company details (business name, Australian Business Number or website).

3.3 Do all facility related project plans (e.g. concept designs, architect plans, builder plans, etc.) meet Australian Design Standards, ACT Government facility planning requirements, any sport specific facility standards appropriate to the nature of the facility and environmentally sustainable design principles? *

Yes they do.

Maximum 250 words

Mandatory Evidence for 3.3

No files have been uploaded

MANDATORY EVIDENCE: Examples could include (but may not be limited to) - evidence of the project meeting key design and building standards as appropriate (e.g. Australian Standards for Facility Lighting, Female Friendly Changeroom Guidelines, specific sport design standards, etc).

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3.4 Does the organisation have access to capacity, expertise, and skills needed to deliver the project outcomes successfully, within stated timelines and budgets; and if not, how will the organisation access the required expertise? *

Yes we do with the engagement of Projex Building Group who will manage the project in it's entirety.

Maximum 250 words

Mandatory Evidence for 3.4

No files have been uploaded

MANDATORY EVIDENCE: Examples could include (but may not be limited to) – project management plan (inclusive of roles and responsibilities matrix), list of names, roles and qualifications of key project management personnel, names of firms being targeted to provide specific expertise, etc.

Project Specific Mandatory Evidence Checklist

Have you included the following project specific mandatory evidence items in your application, where relevant? (i.e. via an attachment or weblink)

- Question 1.1 - A formalised needs analysis process (e.g. Feasibility Study) is required to have been undertaken for projects over \$500,000.
- Question 1.6 - Current organisational strategic plan and current state level organisation strategic plan.
- Question 1.7 - For all projects with a total value of over \$250,000, a formal letter of support from the relevant State Sporting or Active Recreation Peak Body (not applicable if the applicant is the SSO).
- Question 2.1 - A project feasibility study must be provided for all projects with a total budget over \$500,000.
- Question 2.2 - A statement from partners regarding the nature of the shared use / multi-purpose facility project agreement is required for all shared use / multi-purpose facility projects.
- Question 2.3 - A lifecycle cost analysis must be provided for all projects with a budget over \$500,000.
- Question 3.1 - Clear, detailed, and realistic project plan.
- Question 3.2 - Detailed project budget.
- Question 3.2 - For capital works/construction projects valued at over \$500,000, applicants must provide an independent, detailed costings plan developed by a certified quantity surveyor
- Question 3.3 - Evidence that all facility related project plans meet Australian Design Standards, ACT Government facility planning requirements, and any sport specific facility standards.
- Question 3.4 - Evidence that the organisation has access to the capacity, expertise, and skills needed to deliver the project outcomes successfully, within stated timelines and budgets.

NOTE: Although an application may meet all of the above criteria, approval will depend on the number of applications received, the relative merit of the application, government priorities and available funds.

Certification and Feedback

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* indicates a required field

Certification

I certify that:

- To the best of my knowledge the statements made within this application and the information provided is true and correct.
- I understand that Sport and Recreation is collecting information on this form and any other information I provide as part of my application to access whether my organisation is eligible to receive funding under the 2026 Community Sport Facilities Program.
- I accept that Sport and Recreation may provide some or all of this information to other ACT Government agencies administering funding programs.
- I understand that information relating but not limited to this application may be used when assessing the eligibility of future investments for which my organisation might apply. If my organisation receives funding, the performance and acquittal of the investment may also be taken into consideration by the ACT Government when assessing future funding applications that are submitted by your organisation.
- I understand and accept that should the application be successful, I will be required to accept the terms and conditions of the investment as outlined in the Program Guidelines and Funding Deed.
- I understand and accept that the applicants contact details will be added to the Sport and Recreation e-newsletter distribution list.
- By submitting this application, I acknowledge that each individual referred to in the application is aware that the information relating to the organisation may be disclosed and used. I give consent for the Chief Minister, Treasury and Economic Development Directorate (CMTEDD) to use and publish photographic images and audio-visual recordings (the Material) of the project in this application for informational and promotional purposes. These include:

1.
 1. CMTEDD promotional material and reports;
 2. External and educational publications;
 3. The Sport and Recreation website; and
 4. Social media.

Certification *

- Yes, I have read and agree to the above conditions.
 No

Name *

Shaun Young

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Position with the organisation * GM Football

Day-time phone number / mobile number * 0438 437 456
Must be an Australian phone number.

Email * shaun.young@eastlakefc.com.au
Must be an email address.

Date * 16/10/2025
Must be a date.

Privacy Notice

In compliance with the *Information Privacy Act 2014 (the Act)*, personal information on this form may be stored in CMTEDD's records database and may also be used for statistical research, information provision and evaluation of services. Your personal information may be disclosed to other agencies and third parties for purposes related to this application and/or monitoring compliance with the Act. Additional requirements outside of the provisions referenced above, personal or commercial information will only be disclosed to third parties with your consent unless otherwise required or authorised by law.

You are now coming to the end of your application process. Please **REVIEW** your application to ensure you have included all the information required and then click **SUBMIT**. Once submitted, it will not be able to be retrieved to edit.

Feedback Please take a few moments to provide some feedback. We value any feedback you may have regarding our online grants application process.

How did you find out about the 2026 Community Sport Facilities Program (CSFP)?

- Social Media i.e Facebook or Twitter
- Word of mouth
- Internet browser
- Email
- Information session
- Website
- Other:

Please indicate how you found the online application process.

- Very easy
- Easy
- Neither
- Difficult
- Very difficult

How much time did it take you to complete this application?

1 hour

Do you have any recommendations and/or advice that could improve the application process?

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2026 Community Sport Facilities Program (CSFP) Construction
Application

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IRRIGATION PROPOSAL:
 THIS PROPOSAL FOR THE REPLACEMENT IRRIGATION IS IN TWO PARTS:
 PART 1: TO REPLACE THE CURRENT IRRIGATION SYSTEM TO THE FIELD TO BE DIRECTLY CONNECTED TO AND FED FROM THE TOWN WATER SUPPLY, TO ENABLE DEMOLITION OF THE CURRENT TANK AND PUMP SYSTEM AND GRANDSTAND - WITH PROVISION FOR FUTURE CONNECTION TO BE RECONNECTED UNDER PART 2.
 PART 2: WHEN THE NEW GRANDSTAND IS COMPLETED THE IRRIGATION TO BE "SWITCHED" FROM POTABLE WATER TO A NEW TANK AND PUMP SYSTEM (PART OF THE GRANDSTAND RECONSTRUCTION WORK) PRIMARILY TO BE SUPPLIED BY THE EXISTING BORE SUPPLY TO A NEW UNDERGROUND 120KL CONCRETE TANK AND THE TANK TO BE BACKED UP BY THE TOWN WATER. A NEW PUMP STATION AND HOUSING PROPOSED TO BE CONSTRUCTED OVER THE TOP OF THE NEW UNDERGROUND TANK. THE NEW PUMP SYSTEM TO BE A MULTI-STAGE, MULTI-PUMP, PUMP SYSTEM TO GCCS CURRENT STANDARDS AND BASED ON MITS18 AND OR MIS09D.

THE IRRIGATION DESIGN AND LATERAL LAYOUT HAS BEEN PURPOSEFULLY DESIGNED TO ACCOMMODATE FOR A FUTURE INTENSIVE DRAINAGE DESIGN WITH MINIMAL CONFLICT - ALTHOUGH ONE HAS NOT BEEN DESIGNED AT THIS STAGE.

GENERAL NOTE:
 THIS PROPOSED IRRIGATION UPGRADE PLAN HAS BEEN DEVELOPED BASED ON THE EXISTING FIELD FENCE AS SURVEYED BY SUB-METER GPS AND REFERENCED AGAINST NEARMAP AERIAL IMAGERY.

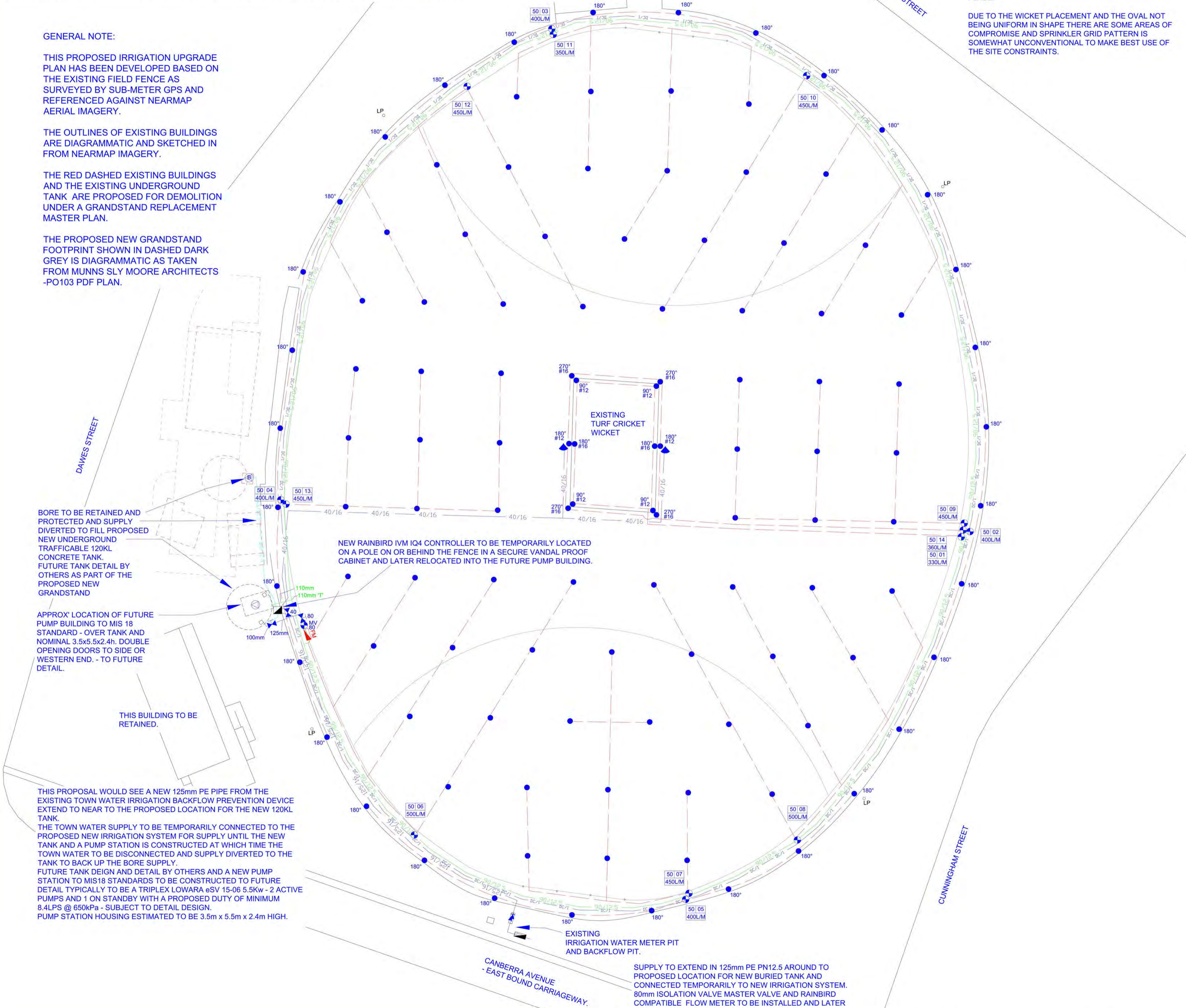
THE OUTLINES OF EXISTING BUILDINGS ARE DIAGRAMMATIC AND SKETCHED IN FROM NEARMAP IMAGERY.

THE RED DASHED EXISTING BUILDINGS AND THE EXISTING UNDERGROUND TANK ARE PROPOSED FOR DEMOLITION UNDER A GRANDSTAND REPLACEMENT MASTER PLAN.

THE PROPOSED NEW GRANDSTAND FOOTPRINT SHOWN IN DASHED DARK GREY IS DIAGRAMMATIC AS TAKEN FROM MUNNS SLY MOORE ARCHITECTS -PO103 PDF PLAN.

NOTE: THE IRRIGATION LATERALS HAVE BEEN DESIGNED BASED ON WHAT IS ASSUMED WOULD LIKELY ACCOMMODATE, WITH MINIMAL CONFLICT AND DAMAGE, THE DESIGN OF AN INTENSIVE DRAINAGE SYSTEM PLAN. THE DESIGN OF DRAINAGE IS ASSUMED IN THE ABSENCE OF A DETAILED SITE SURVEY OF SURFACE LEVELS AND INVERTS OF STORMWATER DRAINS. THIS OUR ASSUMPTION ONLY AND NO GUARANTEE OR INDEMNITY IS ASSUMED OR PROVIDED SHOULD ANY DRAINAGE DESIGN CONFLICT WITH THIS PROPOSAL. IRRIGATION LATERALS SHOULD THEREFORE BE CLOSELY FOLLOWED AND NOT ALTERED WITHOUT APPROVAL OR UNLESS A DETAILED DRAINAGE DESIGN IS FIRST PUT IN PLACE.

DUE TO THE WICKET PLACEMENT AND THE OVAL NOT BEING UNIFORM IN SHAPE THERE ARE SOME AREAS OF COMPROMISE AND SPRINKLER GRID PATTERN IS SOMEWHAT UNCONVENTIONAL TO MAKE BEST USE OF THE SITE CONSTRAINTS.



- LEGEND:**
- SPRINKLER TYPE 1 - RAINBIRD 8005 SS #12 NOZZLE @ 480kPa, MOUNTED TO OORING SWING ARM. (ARC OR SPECIAL NOZZLE AS NOTED)
 - 50/12.5 — IRRIGATION MAINLINE - SIZE AS SHOWN PE 100 PN12.5. MINIMUM COVER 500mm
 - 125/16 — POTABLE MAINLINE TO FUTURE STORAGE TANK AND ON TO POTABLE SUPPLY TO QCV - SIZE AS SHOWN PE 100 PN16. MINIMUM COVER 500mm
 - 40/16 —
 - A3-00.5 — BORE SUPPLY TO PROPOSED FUTURE TANK
 - — PROPOSED LATERAL PE 100 PN 12.5 SIZE TO FUTURE DETAIL OR AS SHOWN, MINIMUM 450mm COVER.
 - I.C — IRRIGATION CONTROL CABLE
 - I.C — IRRIGATION COMM CABLE
 - P2 — CABLE PIT.
 - C — CONDUITS
 - MV 80 — MASTER SOLENOID VALVE & SIZE
 - FM — SYSTEM FLOW METER CONNECTED TO RAINBIRD CONTROLLER.
 - — STATION SOLENOID VALVE - RAINBIRD PEB IC OR HUNTER ICV
 - 50/01 — VALVE SIZE
 - 500/LM — STATION NUMBER
 - — APPROXIMATE ZONE FLOW
 - 40 — ISOLATION BALL VALVE 50mm OR LESS
 - 80 — ISOLATION SLUICE VALVE 80mm & LARGER
 - — QUICK COUPLING VALVE COMPLETE WITHIN VALVE BOX INCLUDING RUBBER BACKED SYNTHETIC TURF COVER AND LOOSE SUPPLY QCV KEY AND HOSE SWIVEL.
 - — EXISTING BORE PUMP SUPPLY
 - — FUTURE PUMP SYSTEM AND PUMP CONTROL PANEL
 - — IRRIGATION CONTROLLER - RAINBIRD IVM STANDARD 60 STATION DECODER WITH IQ4
 - — EXISTING IRRIGATION WATER METER PIT - NOTE PIT REQUIRES RECONSTRUCTION AND NEW PIT COVERS.
 - — BACKFLOW PREVENTION DEVICE (EXISTING) - NOTE METER PIT REQUIRES RECONSTRUCTION AND NEW PIT COVERS.

APPROVED PLAN No. _____
 APPROVED UNDER THE REGULATION 7 OF THE CANBERRA SEWERAGE AND WATER SUPPLY REGULATIONS
 CERTIFIED BY: _____
 (CONSTRUCTION PRACTITIONERS REGISTRATION NUMBER) _____
 (SIGNATURE) _____ (DATE) _____

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GENERAL NOTE:
 ● CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK.
 ● THE CONTRACTOR SHALL BE FULLY SATISFIED WITH THE NATURE AND INTENT OF ALL WORK TO BE PERFORMED AND SHALL GUARANTEE THE FINAL SYSTEM PERFORMANCE AND ALL WORKMANSHIP.
 ● THE CONTRACTOR SHALL NOTIFY THE CLIENT AND/OR THE DESIGNER IN WRITING IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND AND PRIOR TO COMMENCING WORK.
 ● THIS PLAN IS TO BE READ IN CONJUNCTION WITH OTHER LANDSCAPE, SITE AND SERVICES PLANS AS MAY BE AVAILABLE BY THE CLIENT.
 ● THE CONTRACTOR IS TO ALLOW TO COORDINATE ALL WORK WITH ANY OTHER TRADES REQUIRED.
 ● THE CONTRACTOR IS TO RECEIVE WRITTEN APPROVAL FOR ANY VARIATIONS TO BE PERFORMED.
 ● ALL ITEMS OF EQUIPMENT ARE INDICATIVE OF LOCATION AND SHALL BE ADJUSTED AS NECESSARY ACCORDING TO FINAL SITE CONDITIONS.
 ● ANY DRIP LINE ROWS SHOWN ARE FOR DEMONSTRATION ONLY AND ARE INDICATIVE AS TO ROW DIRECTION AND SHALL BE ADJUSTED AS REQUIRED ON SITE.
 ● AS BUILT RECORDS ARE TO BE KEPT AND UPDATED DAILY. FINAL AS BUILT PLANS ARE TO BE SUPPLIED & APPROVED PRIOR TO FINAL COMPLETION.



BORE TO BE RETAINED AND PROTECTED AND SUPPLY DIVERTED TO FILL PROPOSED NEW UNDERGROUND TRAFFICABLE 120KL CONCRETE TANK. FUTURE TANK DETAIL BY OTHERS AS PART OF THE PROPOSED NEW GRANDSTAND

APPROX LOCATION OF FUTURE PUMP BUILDING TO MIS 18 STANDARD - OVER TANK AND NOMINAL 3.5x5.5x2.4h. DOUBLE OPENING DOORS TO SIDE OR WESTERN END. - TO FUTURE DETAIL.

THIS BUILDING TO BE RETAINED.

THIS PROPOSAL WOULD SEE A NEW 125mm PE PIPE FROM THE EXISTING TOWN WATER IRRIGATION BACKFLOW PREVENTION DEVICE EXTEND TO NEAR TO THE PROPOSED LOCATION FOR THE NEW 120KL TANK. THE TOWN WATER SUPPLY TO BE TEMPORARILY CONNECTED TO THE PROPOSED NEW IRRIGATION SYSTEM FOR SUPPLY UNTIL THE NEW TANK AND A PUMP STATION IS CONSTRUCTED AT WHICH TIME THE TOWN WATER TO BE DISCONNECTED AND SUPPLY DIVERTED TO THE TANK TO BACK UP THE BORE SUPPLY. FUTURE TANK DESIGN AND DETAIL BY OTHERS AND A NEW PUMP STATION TO MIS18 STANDARDS TO BE CONSTRUCTED TO FUTURE DETAIL TYPICALLY TO BE A TRIPLEX LOWARA sV 15-06 5.5kw - 2 ACTIVE PUMPS AND 1 ON STANDBY WITH A PROPOSED DUTY OF MINIMUM 8.4LPS @ 650kPa - SUBJECT TO DETAIL DESIGN. PUMP STATION HOUSING ESTIMATED TO BE 3.5m x 5.5m x 2.4m HIGH.

EXISTING TURF CRICKET WICKET

NEW RAINBIRD IVM IQ4 CONTROLLER TO BE TEMPORARILY LOCATED ON A POLE ON OR BEHIND THE FENCE IN A SECURE VANDAL PROOF CABINET AND LATER RELOCATED INTO THE FUTURE PUMP BUILDING.

EXISTING IRRIGATION WATER METER PIT AND BACKFLOW PIT.

SUPPLY TO EXTEND IN 125mm PE PN12.5 AROUND TO PROPOSED LOCATION FOR NEW BURIED TANK AND CONNECTED TEMPORARILY TO NEW IRRIGATION SYSTEM. 80mm ISOLATION VALVE MASTER VALVE AND RAINBIRD COMPATIBLE FLOW METER TO BE INSTALLED AND LATER MOVED INTO THE PROPOSED FUTURE PUMP SHED.



A 24-04-2024 INITIAL CONCEPT FOR COMMENT - PSP MW
 REV. DATE: AMENDMENT: BY:
 CLIENT:

PROJECT:
KINGSTON OVAL IRRIGATION UPGRADE

TITLE:
PROPOSED IRRIGATION LAYOUT

CAD BY: M.W.	DESIGN BY: M.W.	CHECKED BY:
DATE: 15-03-24	DATE: 15-04-24	DATE:
BASE BY: NearMap + GPS.		DATE: 15-03-2024
SHEET: 01 of 01	SCALE: 1:400 @A1	
DRAWING No: 2369-I-01-	REV: A	SHEET No: - 01

TOTAL IRRIGATION DESIGNERS
 P.O. BOX 517
 BATHURST, NSW, 2795
 PH: 0415 672204
 email: asmin@totalirrigationdesign.com.au



KINGSTON OVAL
CONCEPT PRELIMINARY MASTERPLAN

MUNNS SLY MOORE architects



Munns Sly Moore Architects were engaged by Eastlake Football Club to prepare a Concept Preliminary Masterplan for the Kingston Oval. This Masterplan would be used in support of a submission to government, in order to gain support and funding for the development of a formal detailed masterplan and ultimately the necessary upgrade works to the Oval.

A concept Masterplan would not normally go into the detail of developing detailed building layouts and testing them against the site constraints. This level of detail has however been explored within the concept masterplan and has allowed for a more accurate costing analysis to be undertaken of reuse versus rebuild pavilion options.

DESIGN PROCESS

MASTERPLAN



Consultation with stakeholders identified a number of key issues for users.

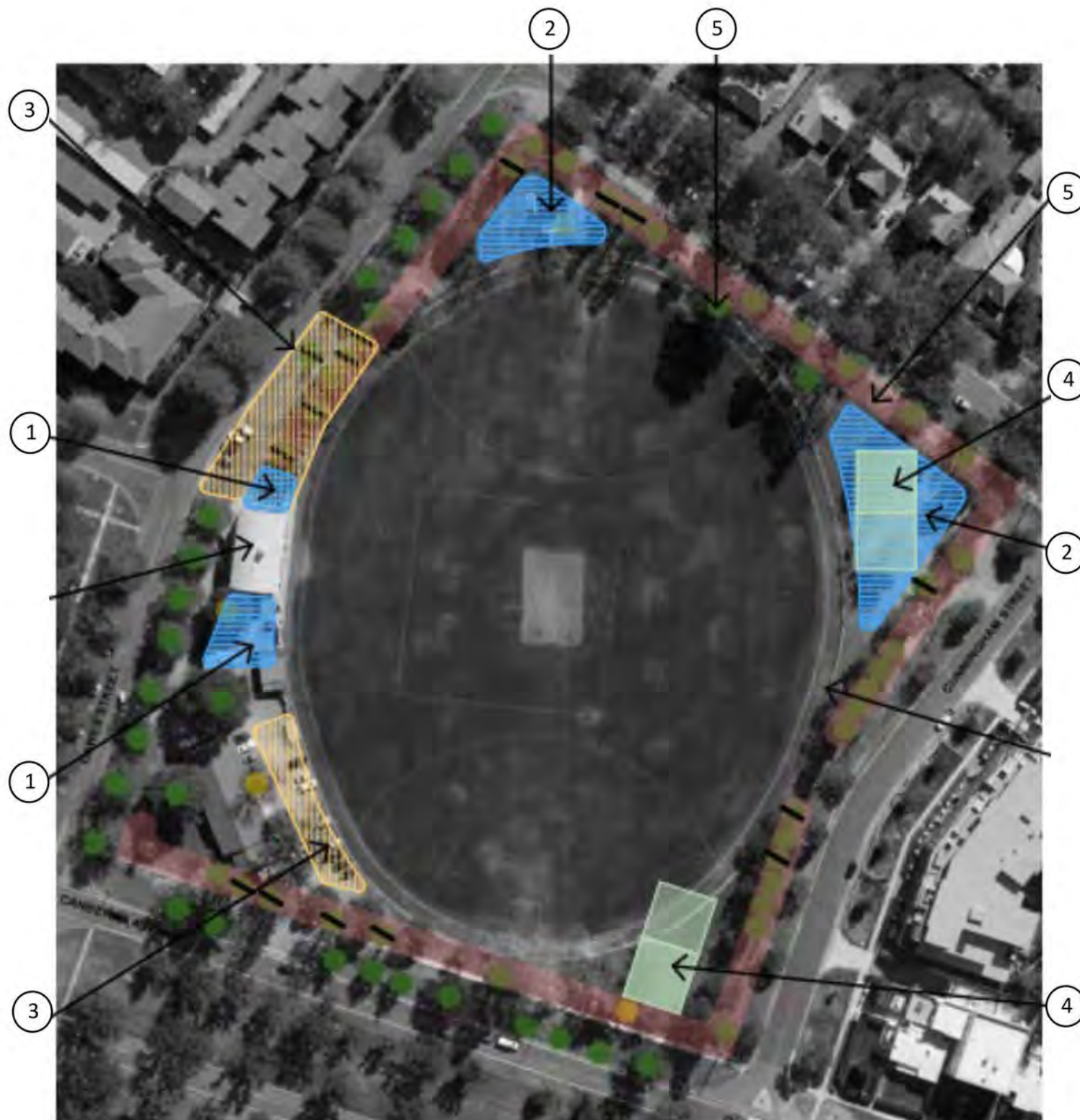
The big ones being the aging infrastructure (**RED**), which has led to ever increasing maintenance costs and inefficiencies, and the lack of formal onsite carparking (**BLUE**).

Existing onsite infrastructure includes:

1. Greg Lord pavilion
2. The toilet block
3. The shipping containers that act as additional storage
4. The storage shed to the north-west of the site and
5. The cricket nets.

Informal carparking is concentrated to the Western-most side of the site. The carparks are gravel in nature and require routine pothole filling - an ongoing maintenance cost. Additionally, with little to no delineation between parking areas on site, a number of significant trees that line the carparks have declined due to root compaction through informal and ad hoc parking.

The masterplan looks to address these major issues as well as proposing options to upgrade the site to make it more appropriate for the level of sport that the stakeholders would like to see played on site. Both now and into the future.



The Kingston Oval is included within the ACT Heritage Register as part of the Kingston/Griffith Housing Precinct. Within the Register Entry there is a mandatory requirement which states that new recreation and community facilities shall only be permitted where they are consistent with a CMP that has been 'endorsed' by the ACT Heritage Council. As such, Sport and Recreation commissioned a Conservation Management Plan (CMP) in 2023 to guide future conservation and management of the Kingston Oval. This CMP has informed the development of this masterplan.

This heritage status does not extend to the buildings and structures on the site which are considered within the CMP to be neutral features and may be retained or removed.

Any works to the site are required to be inline with an endorsed CMP - It is noted that the current CMP is still under final review by the Heritage Council and awaiting endorsement.

The CMP identified a number of opportunities and constraints on the site including;

1. Opportunity to increase the pavilions footprint to accommodate user requirements.
2. Opportunity to consolidate storage.
3. Opportunity to formalize carparking
4. Opportunity to relocate cricket nets to allow for increased size.
5. Opportunity to strengthen the historic perimeter plantings of significant trees to the oval.

This diagram in particular, along with the remainder of the CMP has informed the development of the masterplan.

KEY ISSUES

CONSERVATION MANAGEMENT PLAN

MUNNS **SLY MOORE** architects



Following the identification of key issues from the stakeholders, the masterplan then looked to overlay this information with the 2023 Conservation Management Plan.

A number of key opportunities and constraints were identified.

OPPORTUNITIES

- **(RED)** Increase the pavilion to accommodate current user needs and industry standards.
- **(BLUE)** Provide a new, purpose-built storage shed, in historic alignment, to help consolidate the number of structures on the site.
- **(YELLOW)** Relocate location of cricket practice nets and provide new, full size, fully-enclosed nets to support ongoing sporting activities and provide safety to all oval users.
- **(PURPLE)** Formalize onsite carparking to provide accessible parking, reduce ongoing maintenance costs and protect significant trees.
- **(GREEN)** Strengthen the historic perimeter plantings of significant trees to the perimeter of the oval and remove significant trees that are dead/ in decline and replace in alternate locations to support ongoing sporting uses.

CONSTRAINTS

Increasing the oval to a full size (165x135) was explored however it was found not feasible for a small increase in width.

- Pinch point on the East and pavilion footprint to the West, constrain ovals enlargement.
- Cost associated with reconfiguration unjustifiable.

OPPORTUNITIES AND CONSTRAINTS



These key opportunities and constraints were then refined and developed into 16 Masterplan Initiatives. If indorsed, these initiates are proposed to be undertaken in 4 primary stages, over a period of 5+ years.

Immediate works - 1-2years

(partial funding agreement in place)

- (01) Upgrade playing field lighting to meet current standards
- (02) New electric scoreboard to accommodate existing operation.
- (03) New irrigation to oval

Essential and high priority - 2-4 years

(AFL + Cricket)

- (04) Relocation of existing bore assembly, tank + irrigation pump
- (05) Reroute existing easement
- (06) New pavilion
- (07) New storage shed
- (08) 4x new full size, fully enclosed cricket nets
- (09) Warm up areas for home and away teams + shaded site seating
- (10) Regrade existing oval, irrigation + new wicket

(Heritage + Associated Site Works)

- (11) Removal and replacement of trees
- (12) Site carparking + site footpaths

Medium priority items - 3-5 years

(Heritage + Associated Site Works)

- (13) New site lighting
- (14) Picket fence

Low priority items - 5+ years

(Heritage + Associated Site Works)

- (15) Site bollards to Leichardt street
- (16) Verge parking to Cunningham street

MASTERPLAN INITIATIVES

MUNNS **SLY MOORE** architects

THE PAVILION

DESIGN PROCESS



GREG LORD PAVILION

The existing Greg Lord Pavilion is 35 years old and has had minimal upgrades since it was first completed. The amenity of the facilities provided does not meet contemporary expectations or requirements despite recent 'make-do' upgrades.

One of the main objectives of the masterplan was to consolidate the number of structures/buildings on site to improve the presentation of the open recreation reserve and not detract from the heritage significance of the place.

FUNCTIONAL RELATIONSHIP DIAGRAMS

NEW PAVILION - DESIGN DEVELOPEMNT

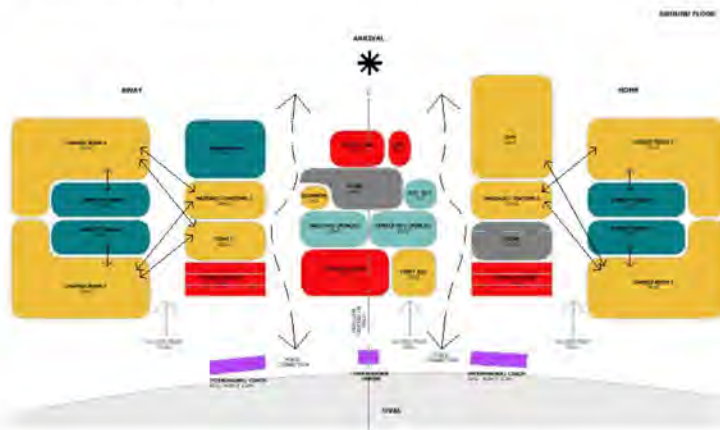
The AFL Guidelines were used as a basis upon which the client brief was built and then later refined.

3 functional relationship diagrams were explored in order to understand the relationship of the spaces to each other and the site.

Functional Relationship Diagram 1

Explored an 'ideal' scenario with no compromise to rooms or room sizes. Additionally, it looked to centralize public uses (public amenities, canteen, vertical circulation) to minimize vertical circulation points and group public amenity. Player functions are then pushed to the outside of the form (Change rooms, massage, amenities) for a clear delineation between the 'Home' and 'Away' private spaces.

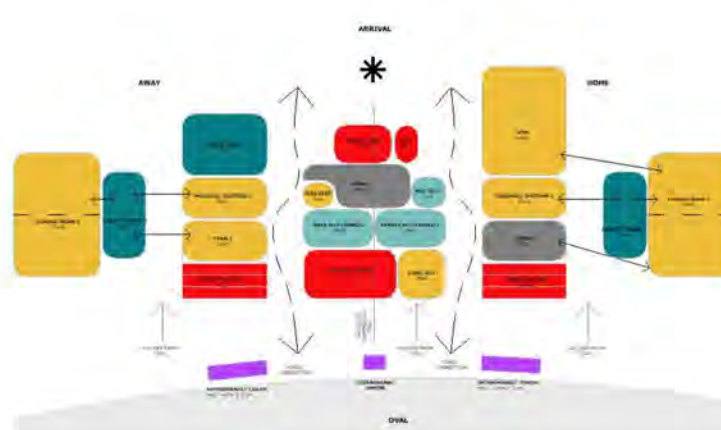
Function Relationship Diagram 1 'Ideal Layout'



Functional Relationship Diagram 2

Functional Relationship Diagram 2 also looks to centralise public services and push private services to the external however diagram 2 also looks to reduce the ideal number of change rooms, and connected amenities, from 4 to 2 in an aim to reduce overall areas.

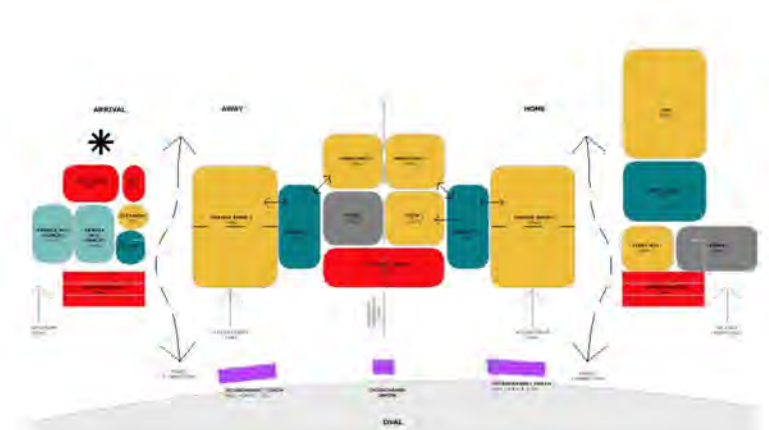
Function Relationship Diagram 2



Functional Relationship Diagram 3

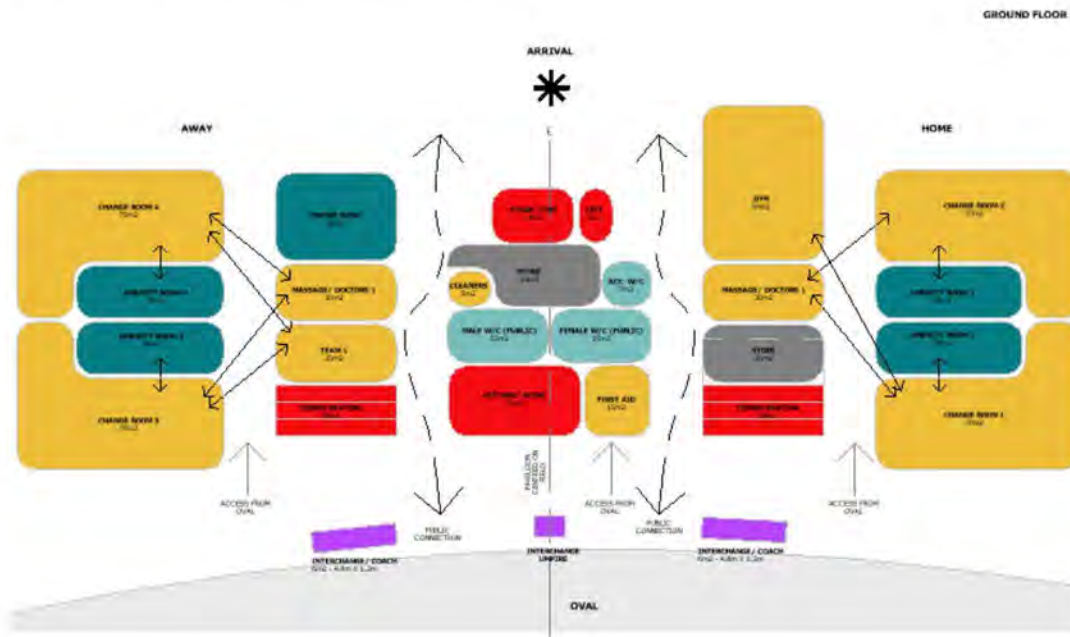
Alternate to the previous two Functional Relationship Diagrams, Functional Relationship Diagram 3 looked to Centralise player functions (change rooms, amenities, massage rooms, gym and umpire spaces), and Push public interface to the perimeter of the diagram including a central core, public amenities and canteen.

Function Relationship Diagram 3



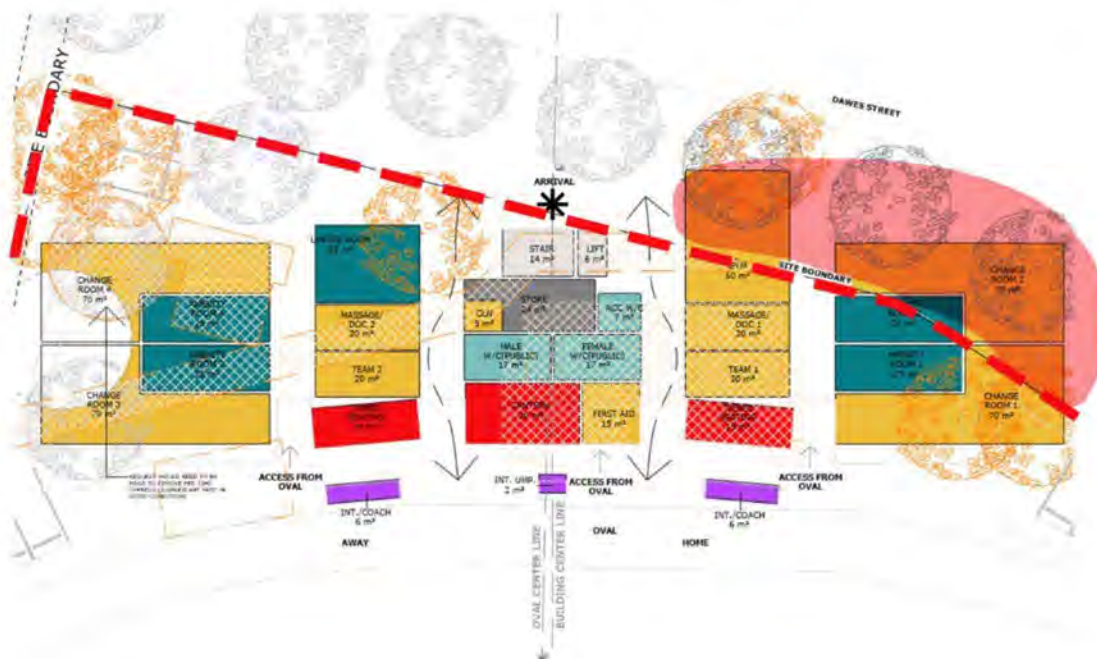
'Ideal Layout'

Function Relationship Diagram



'Ideal Layout'

Function Relationship Diagram Overlaid On Site



IDEAL LAYOUT

The functional relationship diagrams were then applied to the site and further informed by the site boundary and site features including the existing pavilion, significant plantings, oval fence, and buildable area as identified in the CMP.

When the ideal layout (Functional Relationship Diagram 1) was placed on the site, it was found to be ill fitting, being too large a footprint to be accommodated.

ACT Sport and Recreation challenged the need for 4 changerooms and the need for an onsite gymnasium. These issues will likely come up in any further design development.

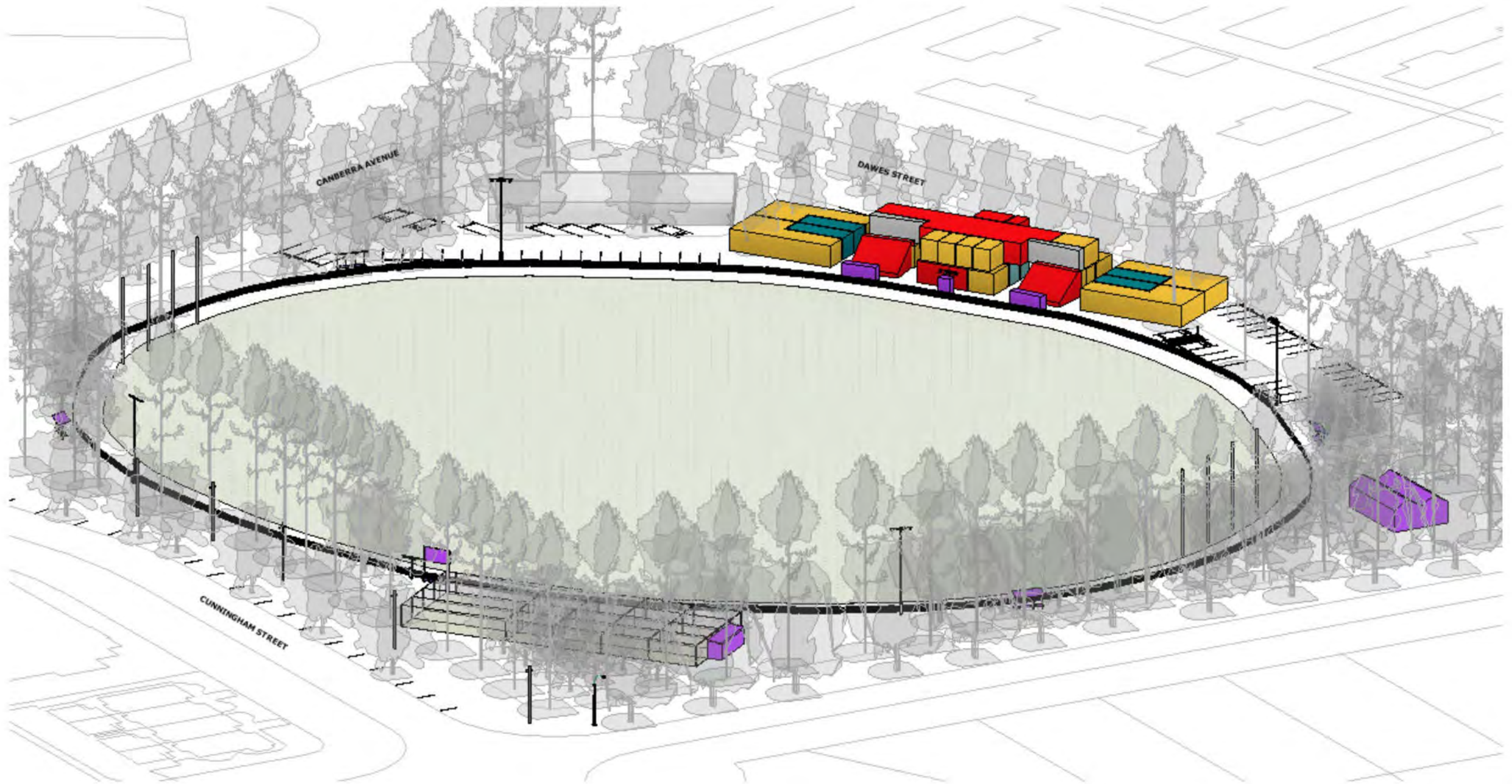
DEVELOPMENT

From this 'ideal layout', the other 2 functional relationship diagrams were explored. A series of alternate design options were tested and presented to the client.

Design options that were developed from Functional Relationship Diagram 2 (Centralised public services and external private services) were considered the most successful. Options 1 (Reuse) + Option 2 (New Build), have both been developed from this functional relationship diagram.

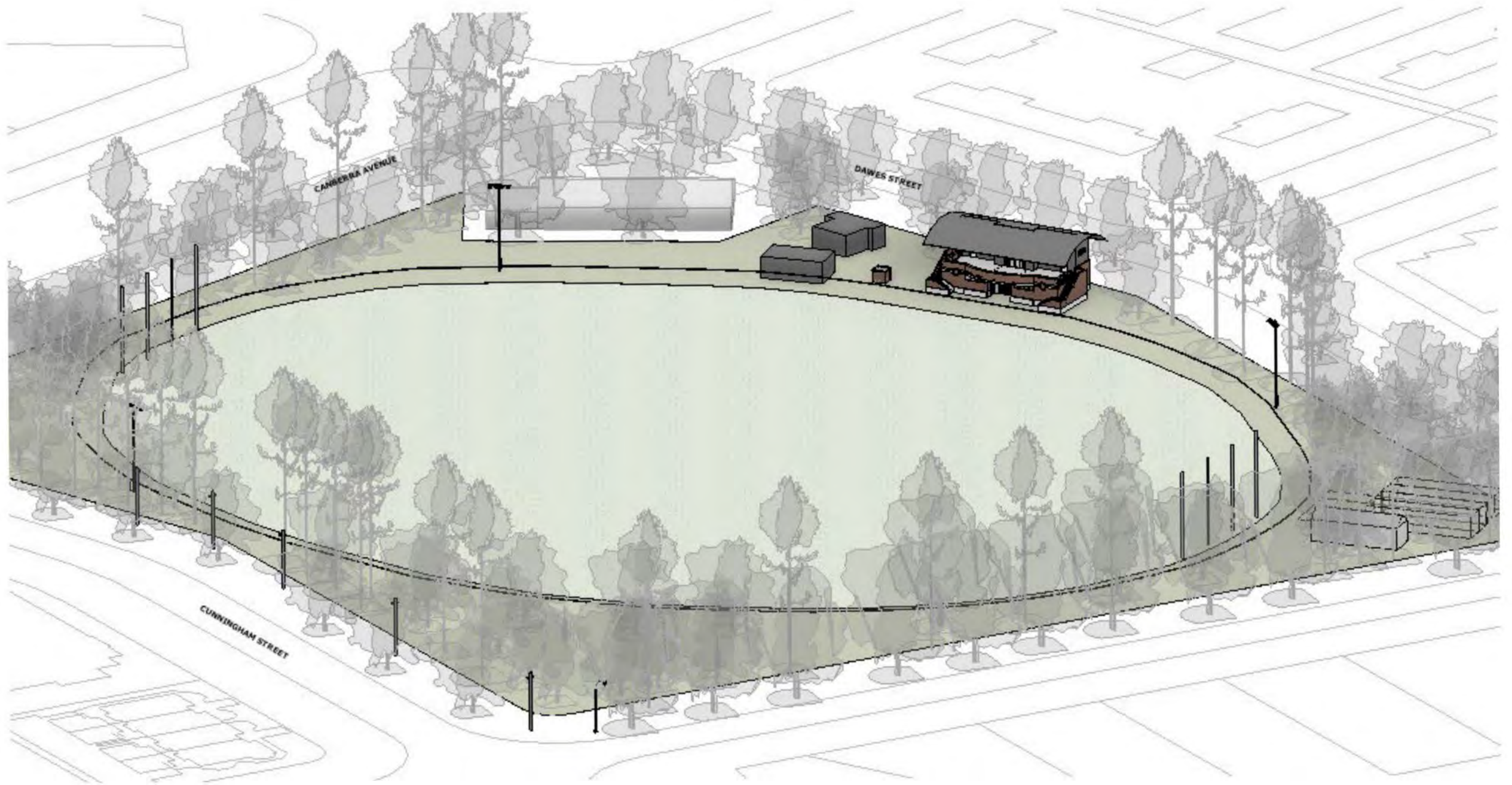
It is noted that all diagramming is for massing purposes only and is not representative of design. This would be explored further in a more detailed masterplan.

'Ideal Layout'
Massed On The Site



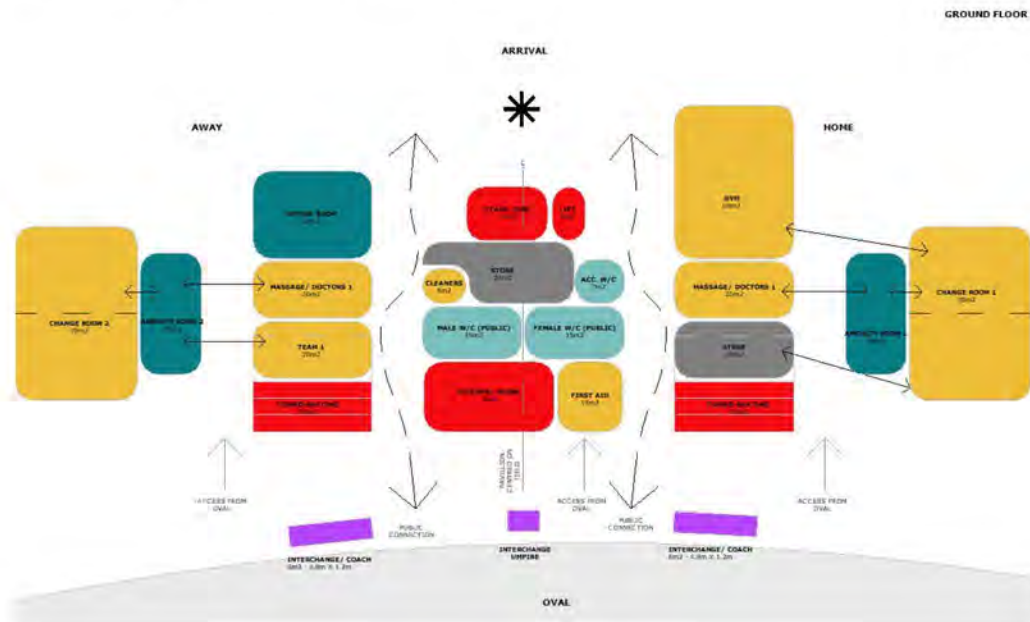
IDEAL LAYOUT 3D

Existing Pavilion Comparison
Massed On The Site



Reuse Layout

Function Relationship Diagram 2



(MP 06) OPTION 1 – Reuse

Option 1 looks to retain the existing Greg Lord Pavilion, demolish the existing toilet block, and extend to meet user requirements.

Advantages

- Re-use existing building
 - Potential reduced cost
 - More sustainable – reusing something that would otherwise go to landfill.

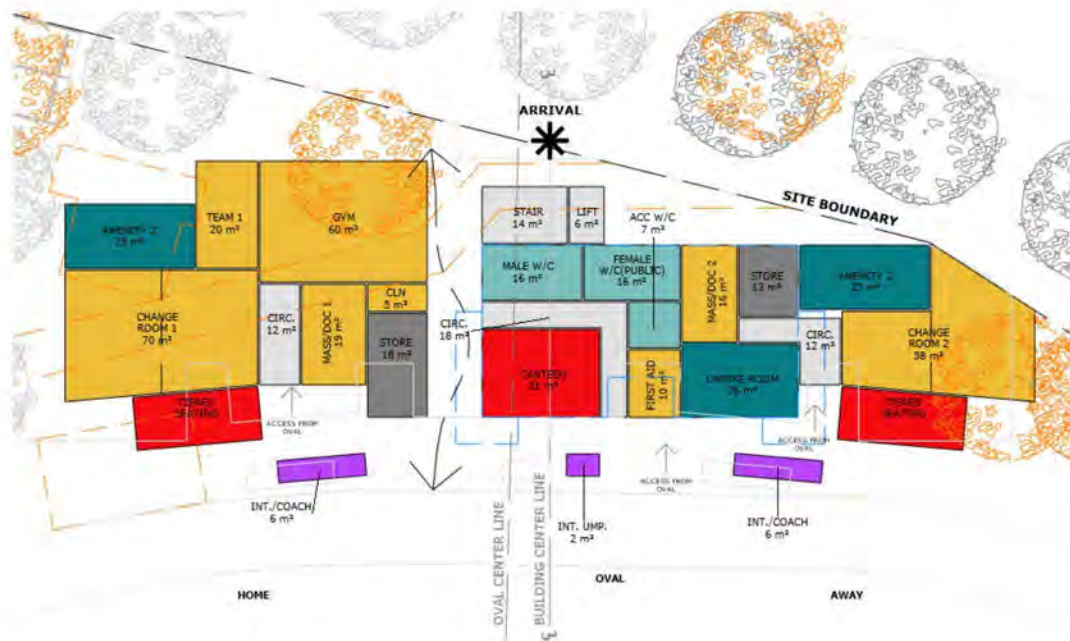
Disadvantages

- The existing building footprint restrains rooms sizes and optimal building layout.

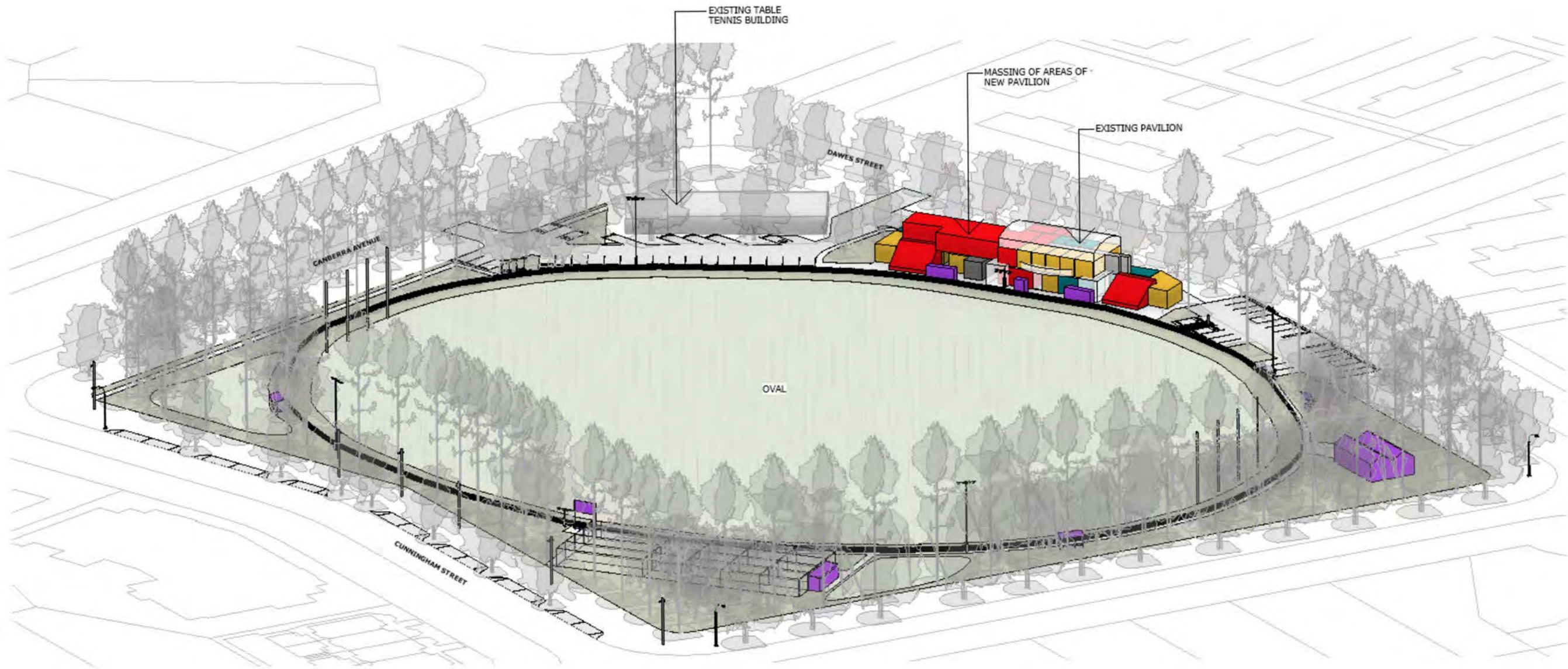
Both option 1 and 2 look to flip the 'Home' and 'Away' team sides of the pavilion to both cater for the increased number of rooms required for the 'Home' team and respond to the natural narrowing of the site.

Reuse Layout

Function Relationship Diagram Overlaid On Site

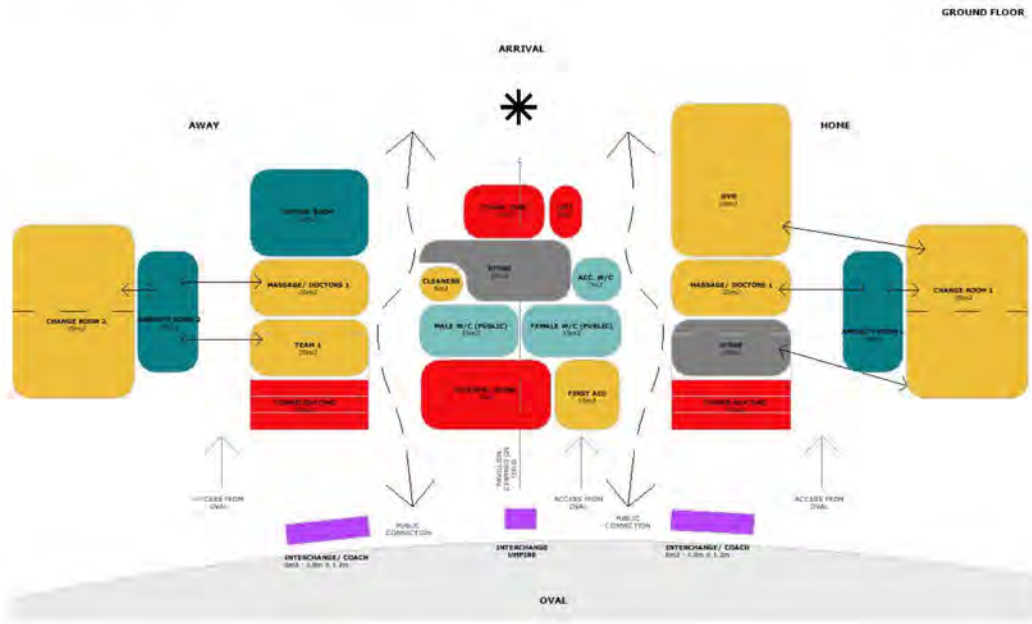


Reuse Layout
Massed On The Site



New Build Layout

Function Relationship Diagram 2



New Build Layout

Function Relationship Diagram Overlaid On Site



(MP 06) OPTION 2 - New Build

Option 2 then looked to knock down the existing Greg Lord Pavilion, and toilet block, and construct a purpose-built structure.

Advantages

- Greater user amenity - although reduced areas in some locations, desired connections are maintained.
- Ideal 4 change rooms - ideal for back-to-back, female/male game scenarios.
- Centralised public approach.
- Building has been shifted to centre on the existing oval for optimal viewing.
- Minimal wasted circulation space - building isn't having to fit an older footprint.
- Allows for dual public connection through to the oval.

Disadvantages

- Upstairs office/ meeting/ admin spaces are not optimal and would require further refinement.
- To achieve the optimal 4 change rooms, the second changeroom in each has been reduced in size. The clubs have advised that this smaller second room is still preferred functionally as opposed to one change room/ one change room with divider.

Both option 1 and 2 look to flip the 'Home' and 'Away' team sides of the pavilion to both cater for the increased number of rooms required for the 'Home' team and respond to the natural narrowing of the site.

New Build
Massed On The Site

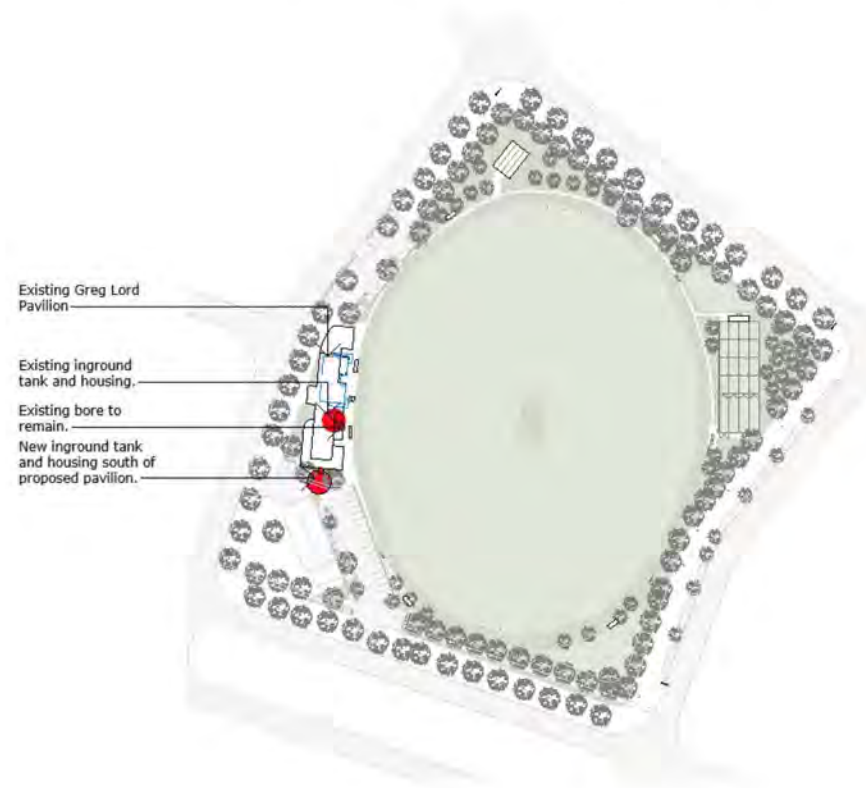


Prior to any expansion of the pavilion, two items would need to be addressed. These include:

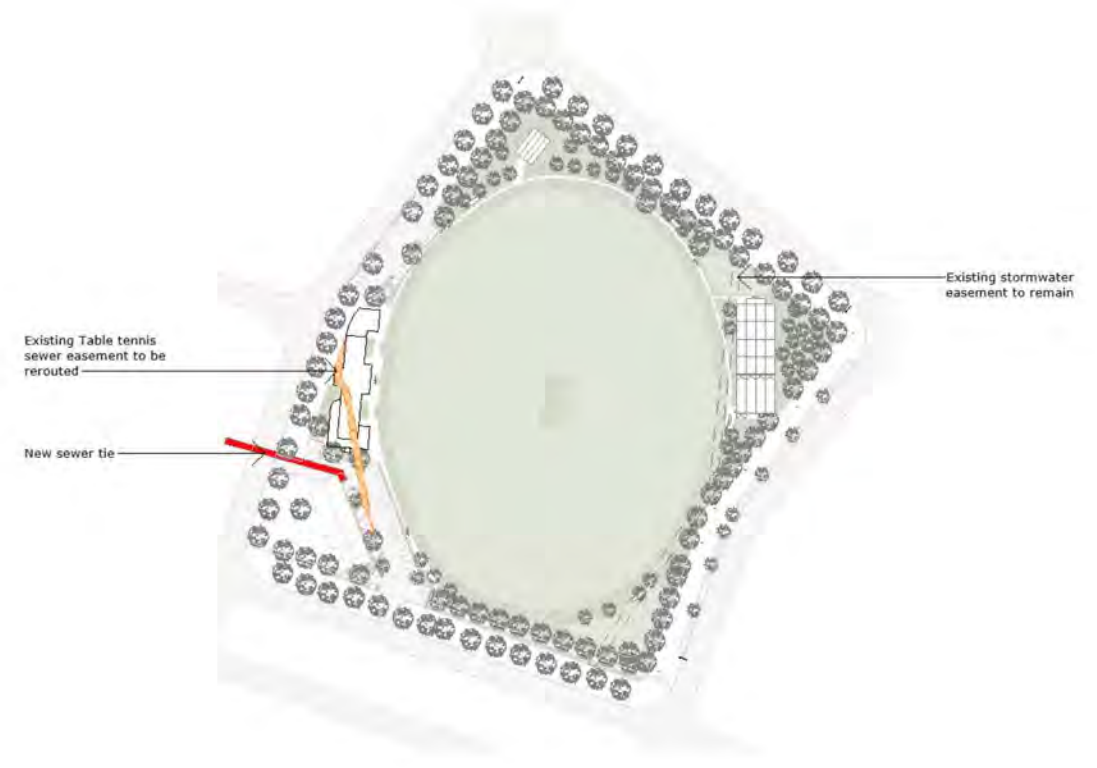
1. Relocate the existing bore, in-ground assembly tank and irrigation pump would require relocation, and
2. Reroute the existing table tennis sewer easement that transverses the site.

These items are explored further in MP initiative 04 + 05.

(MP 04) Relocation Of Existing Bore Assembly, Tank + Irrigation Pump



(MP 05) Reroute Existing Easement



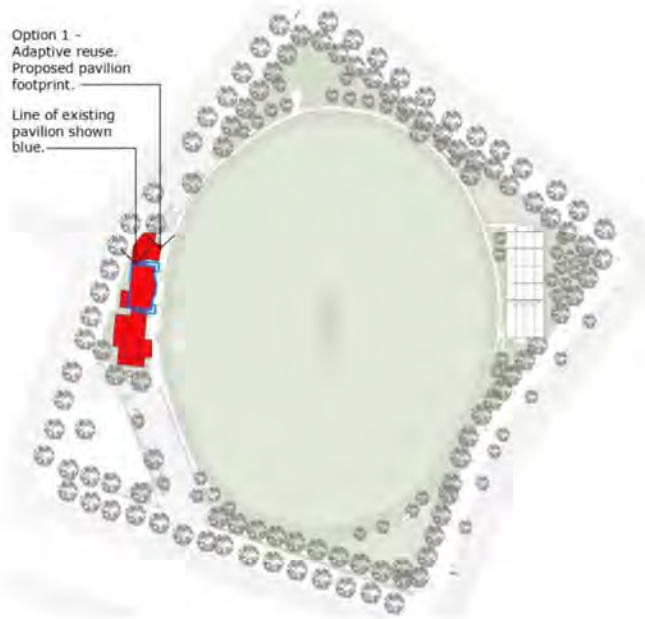
MASTERPLAN COSTINGS

OVERVIEW

MASTERPLAN COSTING SUMMARY

BUILDING OPTIONS 1 + 2

(MP 06) Option 1 – Adaptive-Reuse

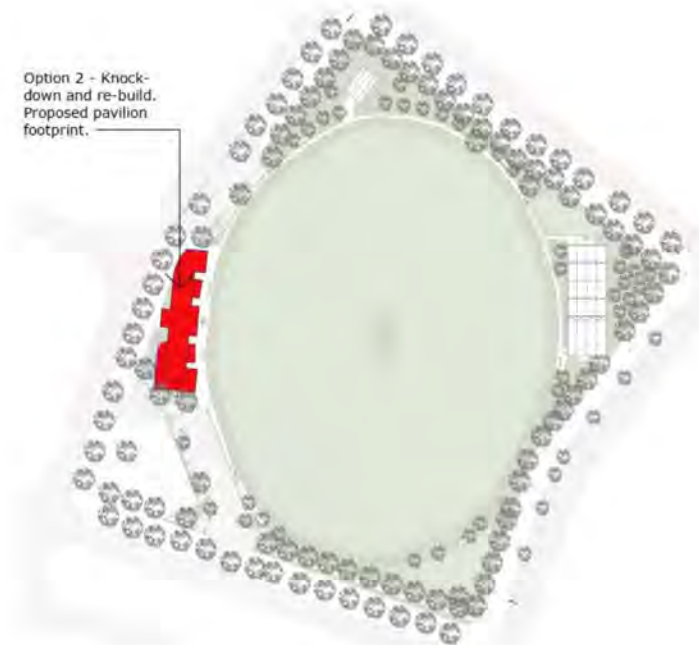


Trade Total	\$3,937,574 + GST
Prelims/ margins	\$826,891
Construction Total	\$4,764,464 + GST
Design Fees – 6%	\$285,868
ACT Pro. Fees – 3.5%	\$166,756
Authority Fees – 2%	\$95,289
Esc. 2026 – 9%	\$478,114
Contingency – 20%	\$1,158,098

Grand Total	\$6,948,590 + GST

MASTERPLAN TOTAL WITH OPTION 1
\$11,922,665 + GST

(MP 06) Knock-Down and Re-Build



Trade Total	\$4,880,498 + GST
Prelims/ margins	\$1,122,515
Construction Total	\$6,003,013 + GST
Design Fees – 6%	\$360,181
ACT Pro. Fees – 3.5%	\$210,105
Authority Fees – 2%	\$120,060
Esc. 2026 – 9%	\$593,617
Contingency – 20%	\$1,457,395

Grand Total	\$8,744,372 + GST

MASTERPLAN TOTAL WITH OPTION 2
\$13,718,447 + GST

MASTERPLAN COSTINGS

BREAKDOWN

IMMEDIATE WORKS – 1-2 YEARS

(PARTIAL FUNDING AGREEMENT IN PLACE)

(MP 01)	Upgraded Playing Field Lighting	\$392,753 + GST
(MP 02)	New Electronic Scoreboard	\$170,416 + GST
(MP 03)	New Irrigation To Oval	\$172,926 + GST

	Total	\$736,095 + GST

	GRAND TOTAL	
	ESSENTIAL + HIGH PRIORITY WORKS	\$736,095 + GST

	Partial Funding	\$400,000

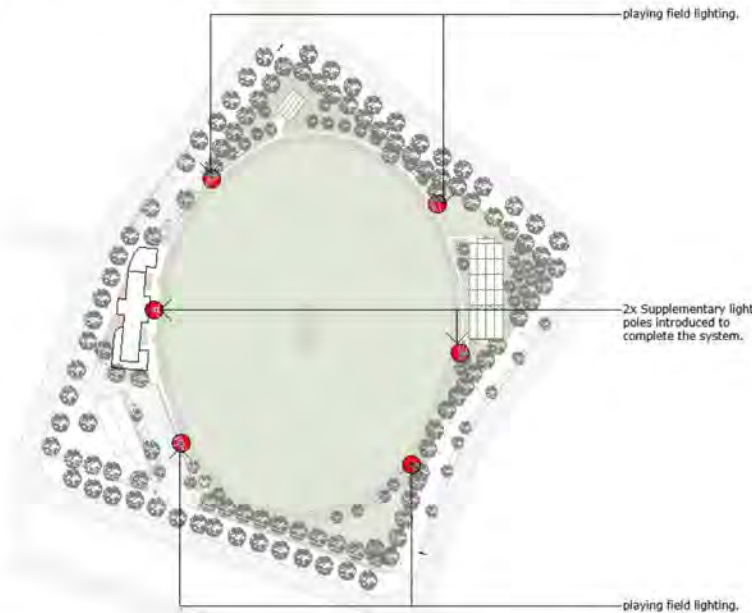
	REMAINING	
	ESSENTIAL + HIGH PRIORITY WORKS	\$336,095 + GST

BREAKDOWN

Partial Funding Agreement In Place

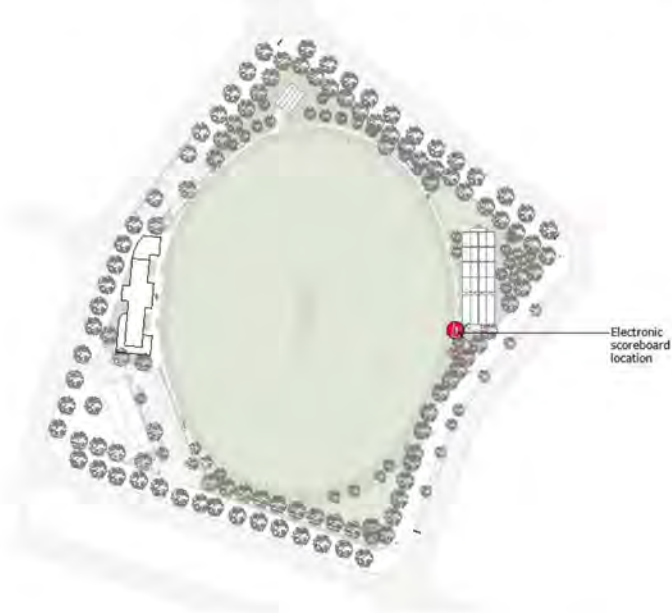
Immediate Works – 1-2 Years

(MP 01) Upgrade Playing Field Lighting To Meet Current Standards



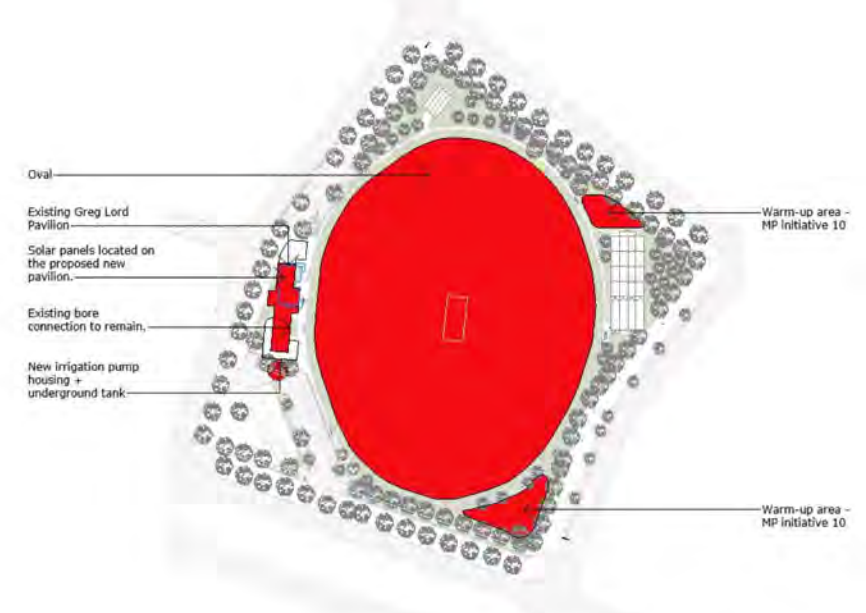
Trade Total	\$269,300 + GST
Prelims/ margins	\$0
Construction Total	\$ 269,300 + GST
Design Fees – 6%	\$16,158
ACT Pro. Fees – 3.5%	\$9,426
Authority Fees – 2%	\$5,386
Esc. 2026 – 9%	\$27,024
Contingency – 20%	\$65,459
<hr/>	
Grand Total	\$392,753 + GST
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Partial Funding	\$280,000
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Remaining	\$112,753 + GST
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(MP 02) New Electric Scoreboard To Accommodate Existing Operation



Trade Total	\$95,000 + GST
Prelims/ margins	\$21,850
Construction Total	\$116,850 + GST
Design Fees – 6%	\$7,011
ACT Pro. Fees – 3.5%	\$4,090
Authority Fees – 2%	\$2,337
Esc. 2026 – 9%	\$11,726
Contingency – 20%	\$28,403
<hr/>	
Grand Total	\$170,416 + GST
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Partial Funding	\$50,000
<hr/>	
Remaining	\$120,416 + GST
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(MP 03) New Irrigation To Oval



Trade Total	\$96,399 + GST
Prelims/ margins	\$22,172
Construction Total	\$118,571 + GST
Design Fees – 6%	\$7,114
ACT Pro. Fees – 3.5%	\$4,150
Authority Fees – 2%	\$2,371
Esc. 2026 – 9%	\$11,899
Contingency – 20%	\$28,821
<hr/>	
Grand Total	\$172,926 + GST
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Partial Funding	\$70,000
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Remaining	\$102,926 + GST
<hr/>	

ESSENTIAL + HIGH PRIORITY WORKS 2-4 YEARS (COSTING SUMMARY)

AFL + Cricket

(MP 06)	New Pavilion – Option 1	\$6,948,590 + GST
(MP 04)	Relocation of Existing Bore, Assembly Tank + Irrigation Pump	\$180,193 + GST
(MP 05)	Reroute Existing Easement	\$348,200 + GST
(MP 07)	New Storage Shed	\$423,910 + GST
(MP 08)	4x New Full Size, Fully Enclosed Cricket Nets	\$638,430 + GST
(MP 09)	Warm Up Areas for Home and Away Teams + Shaded Site Seating	\$316,444 + GST
(MP 10)	Regrade Existing Oval + New Wicket	\$778,261 + GST
----- Total		\$9,634,028 + GST

Heritage + Associated Site Works

(MP11)	Removal and Replacement of Trees	\$190,104 + GST
(MP12)	Site carparking + site footpaths	\$819,838 + GST
----- Total		\$ 1,009,942 + GST

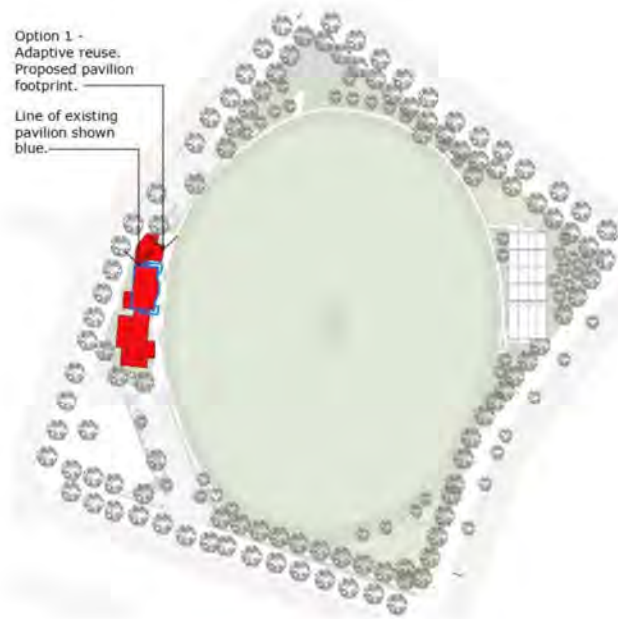
GRAND TOTAL
ESSENTIAL + HIGH PRIORITY WORKS **\$10,643,970 + GST**

BREAKDOWN

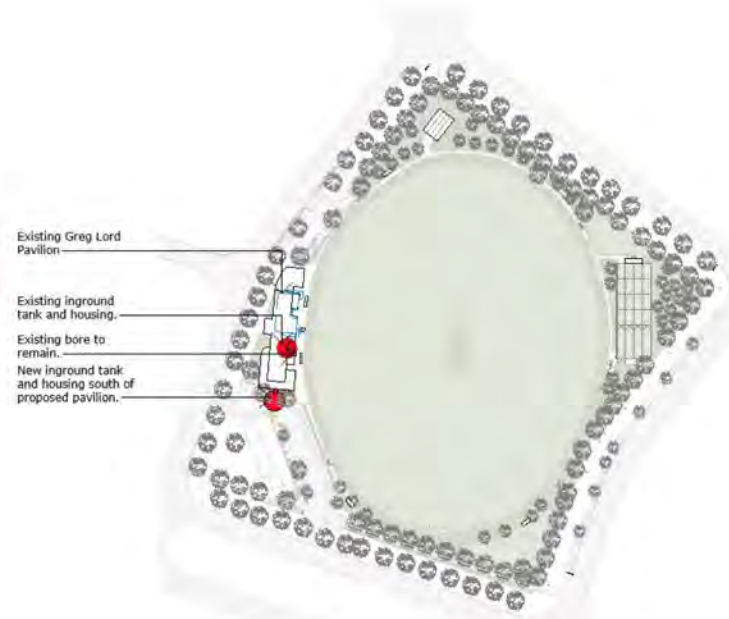
AFL + Cricket

Essential + High Priority Works – 2-4 Years

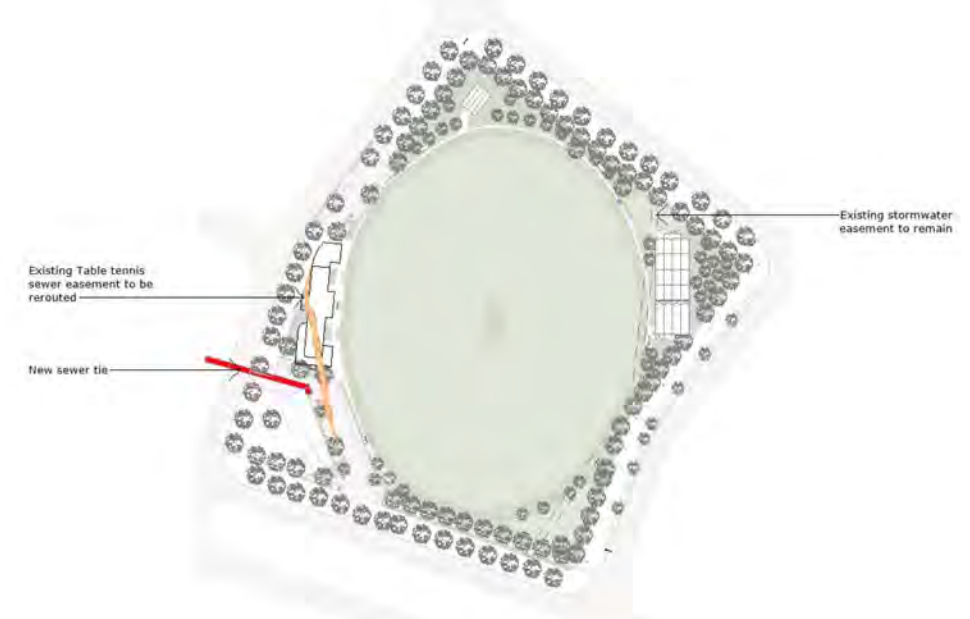
(MP 06) New Pavilion – Option 1



(MP 04) Relocation of Existing Bore, Assembly Tank + Irrigation Pump



(MP 05) Reroute Existing Easement



Trade Total	\$3,937,574 + GST
Prelims/ margins	\$826,891
Construction Total	\$4,764,464 + GST
Design Fees – 6%	\$285,868
ACT Pro. Fees – 3.5%	\$166,756
Authority Fees – 2%	\$95,289
Esc. 2026 – 9%	\$478,114
Contingency – 20%	\$1,158,098

Grand Total	\$6,948,590 + GST

Trade Total	\$100,450 + GST
Prelims/ margins	\$23,104
Construction Total	\$123,554 + GST
Design Fees – 6%	\$7,413
ACT Pro. Fees – 3.5%	\$4,324
Authority Fees – 2%	\$2,471
Esc. 2026 – 9%	\$12,399
Contingency – 20%	\$30,032

Grand Total	\$180,193 + GST

Trade Total	\$202,332 + GST
Prelims/ margins	\$36,420
Construction Total	\$238,752 + GST
Design Fees – 6%	\$14,325
ACT Pro. Fees – 3.5%	\$8,356
Authority Fees – 2%	\$4,775
Esc. 2026 – 9%	\$23,959
Contingency – 20%	\$58,033

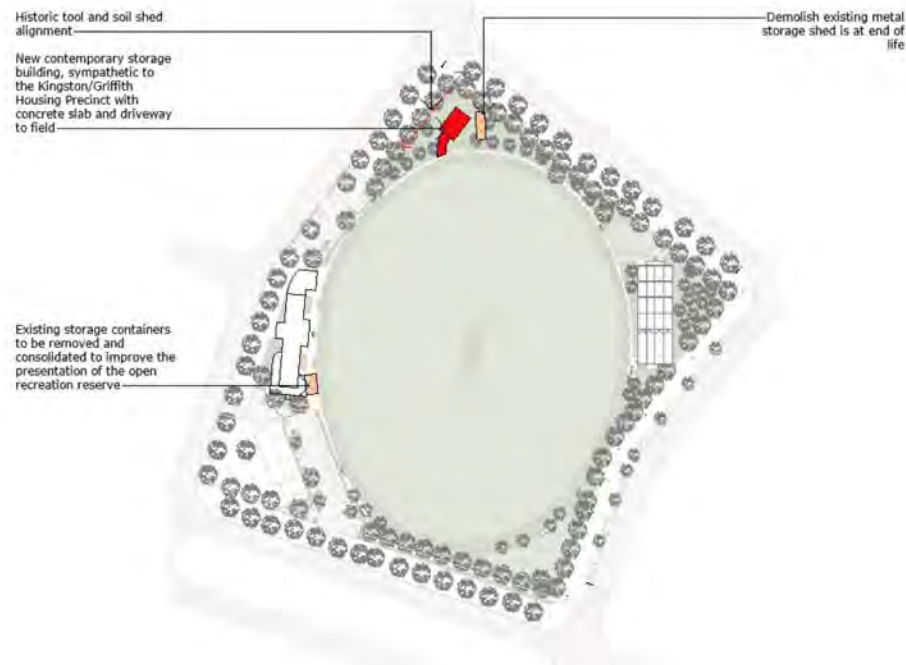
Grand Total	\$348,200 + GST

BREAKDOWN

AFL + Cricket

Essential + High Priority Works – 2-4 Years

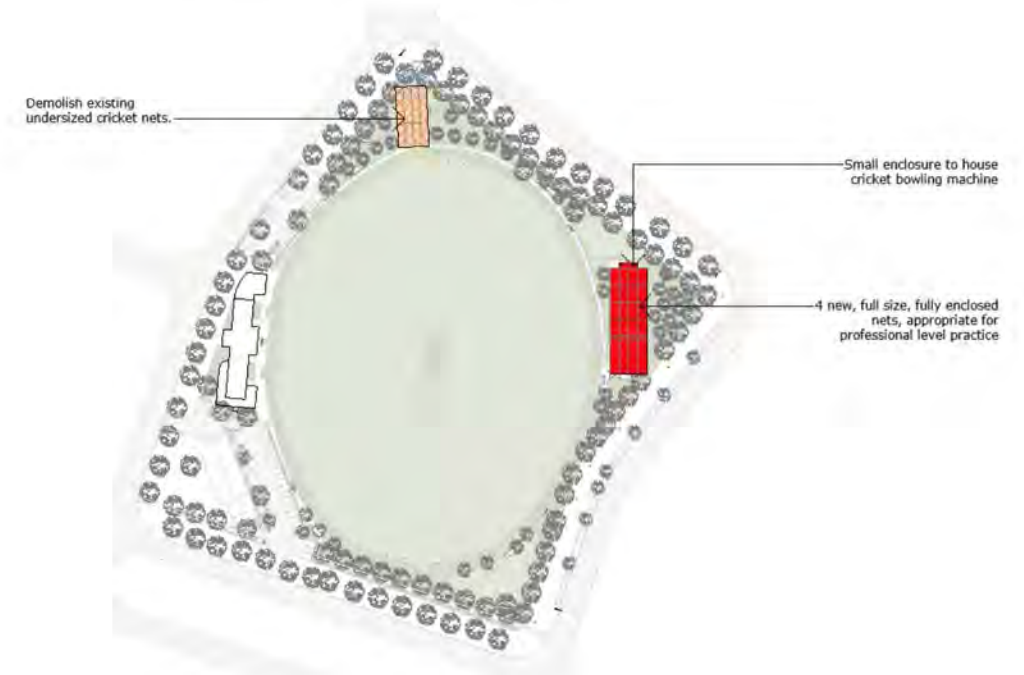
(MP 07) New Storage Shed



Trade Total	\$236,312 + GST
Prelims/ margins	\$54,352
Construction Total	\$290,664 + GST
Design Fees – 6%	\$17,440
ACT Pro. Fees – 3.5%	\$10,173
Authority Fees – 2%	\$5,813
Esc. 2026 – 9%	\$29,168
Contingency – 20%	\$70,652

Grand Total	\$423,910 + GST

(MP 08) 4x New Full Size, Fully Enclosed Cricket Nets



Trade Total	\$355,898 + GST
Prelims/ margins	\$81,857
Construction Total	\$437,755 + GST
Design Fees – 6%	\$26,265
ACT Pro. Fees – 3.5%	\$15,321
Authority Fees – 2%	\$8,755
Esc. 2026 – 9%	\$43,929
Contingency – 20%	\$106,405

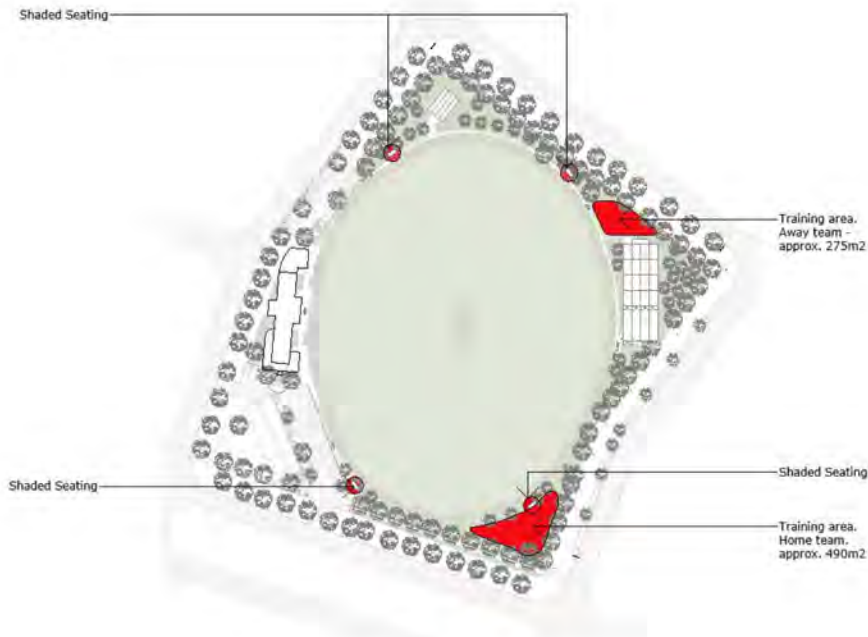
Grand Total	\$638,430 + GST

BREAKDOWN

AFL + Cricket

Essential + High Priority Works – 2-4 Years

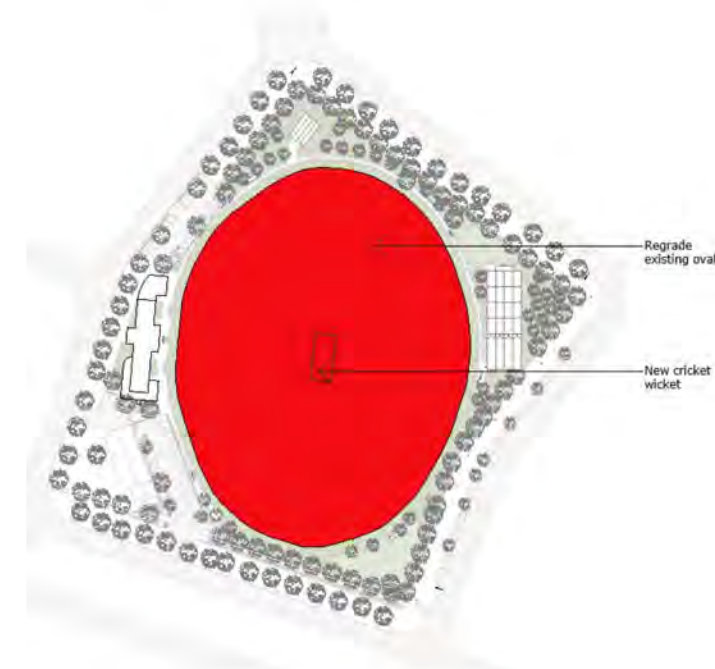
(MP 09) Warm Up Areas for Home and Away Teams + Shaded Site Seating



Trade Total	\$176,404 + GST
Prelims/ margins	\$40,573
Construction Total	\$216,977 + GST
Design Fees – 6%	\$13,019
ACT Pro. Fees – 3.5%	\$7,594
Authority Fees – 2%	\$4,340
Esc. 2026 – 9%	\$21,774
Contingency – 20%	\$52,741

Grand Total	\$316,444 + GST

(MP 10) Regrade Existing Oval + New Wicket



Trade Total	\$433,848 + GST
Prelims/ margins	\$99,785
Construction Total	\$533,633 + GST
Design Fees – 6%	\$32,018
ACT Pro. Fees – 3.5%	\$18,677
Authority Fees – 2%	\$10,673
Esc. 2026 – 9%	\$53,550
Contingency – 20%	\$129,710

Grand Total	\$778,261 + GST

BREAKDOWN

Heritage + Associated Site Works

Essential + High Priority Works – 2-4 Years

(MP 11) Removal and Replacement of Trees



Trade Total	\$105,975 + GST
Prelims/ margins	\$24,374
Construction Total	\$130,349 + GST
Design Fees – 6%	\$7,821
ACT Pro. Fees – 3.5%	\$4,562
Authority Fees – 2%	\$2,607
Esc. 2026 – 9%	\$13,081
Contingency – 20%	\$31,684

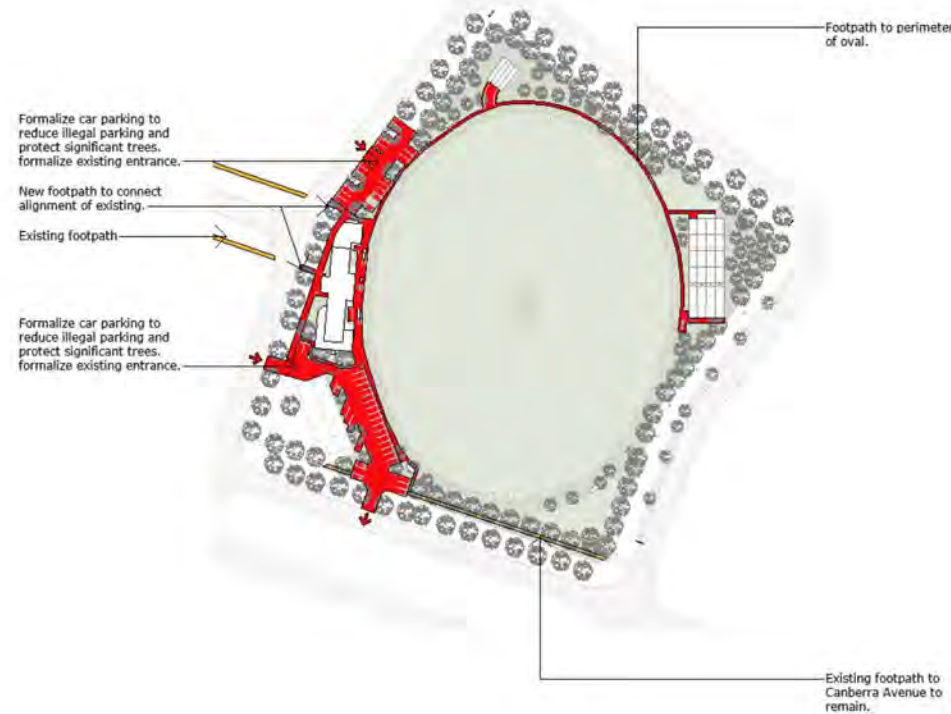
Grand Total	\$190,104 + GST

BREAKDOWN

Heritage + Associated Site Works

Essential + High Priority Works – 2-4 Years

(MP 12) Site Carparking + Site Footpaths



Trade Total	\$457,026 + GST
Prelims/ margins	\$105,116
Construction Total	\$562,141 + GST
Design Fees – 6%	\$33,728
ACT Pro. Fees – 3.5%	\$19,675
Authority Fees – 2%	\$11,243
Esc. 2026 – 9%	\$56,411
Contingency – 20%	\$136,640

Grand Total	\$819,838 + GST

MEDIUM + LOW PRIORITY WORKS

3-5+ YEARS

(COSTING SUMMARY)

Heritage + Associated Site Works

Medium Priority works - 3-5 years

(MP 13)	New Site Lighting	\$182,813 + GST
(MP 14)	Picket Fence	\$142,151 + GST

	Total	\$324,964 + GST

Low Priority works - 5+ years

(MP15)	Site Bollards to Leichardt Street	\$81,763 + GST
(MP16)	Verge Parking to Cunningham Street	\$135,873 + GST

	Total	\$217,636 + GST

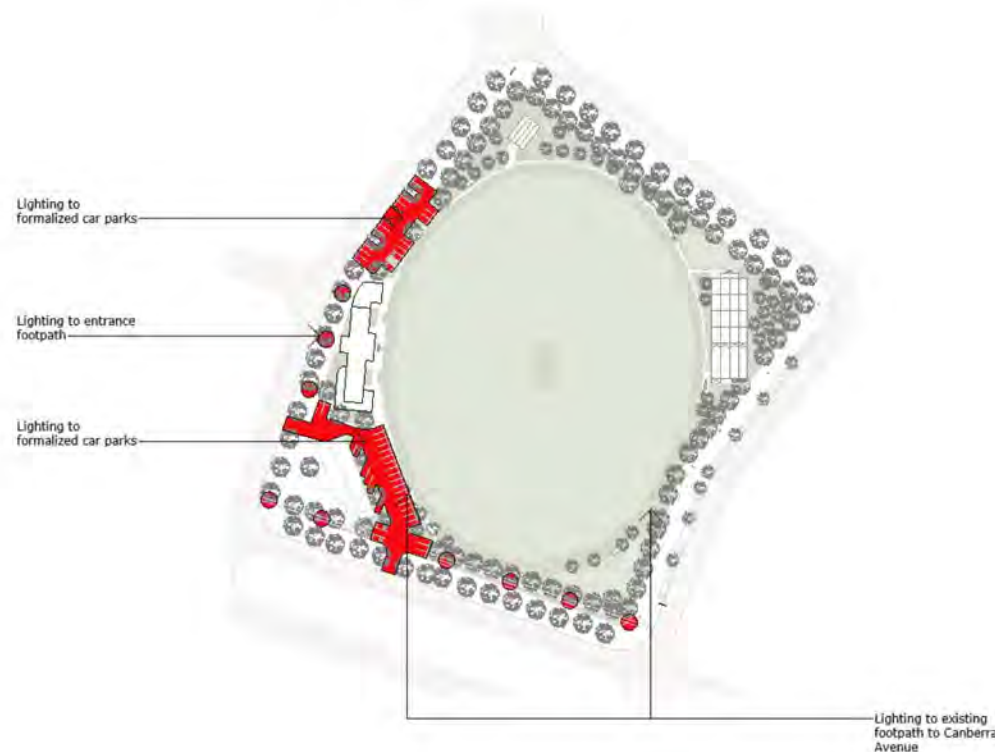
GRAND TOTAL		
MEDIUM + LOW PRIORITY WORKS		\$542,600 + GST

BREAKDOWN

Heritage + Associated Site Works

Medium Priority Works - 3-5 Years

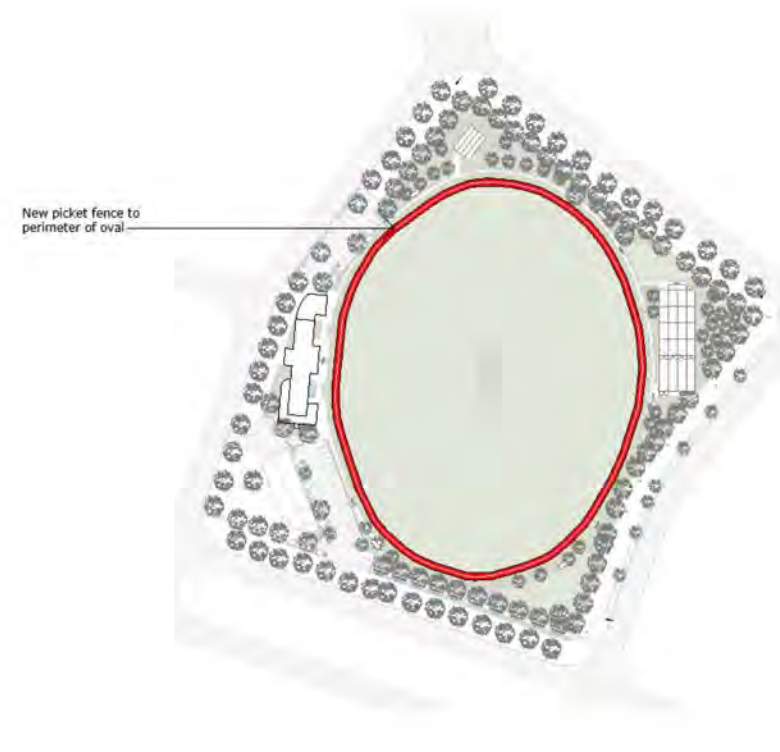
(MP 13) New Site Lighting



Trade Total	\$109,000 + GST
Prelims/ margins	\$16,350
Construction Total	\$125,350 + GST
Design Fees - 6%	\$7,521
ACT Pro. Fees - 3.5%	\$4,387
Authority Fees - 2%	\$2,507
Esc. 2026 - 9%	\$12,579
Contingency - 20%	\$30,469

Grand Total	\$182,813 + GST

(MP 14) Picket Fence



Trade Total	\$84,756 + GST
Prelims/ margins	\$12,713
Construction Total	\$97,469 + GST
Design Fees - 6%	\$5,848
ACT Pro. Fees - 3.5%	\$3,411
Authority Fees - 2%	\$1,949
Esc. 2026 - 9%	\$9,781
Contingency - 20%	\$23,692

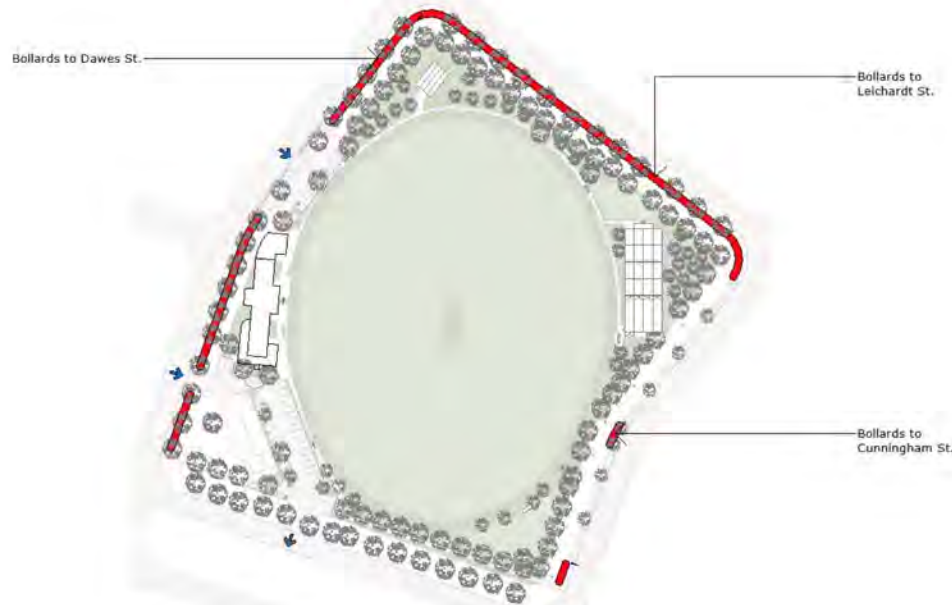
Grand Total	\$142,151 + GST

BREAKDOWN

Heritage + Associated Site Works

Low Priority Works – 5+ Years

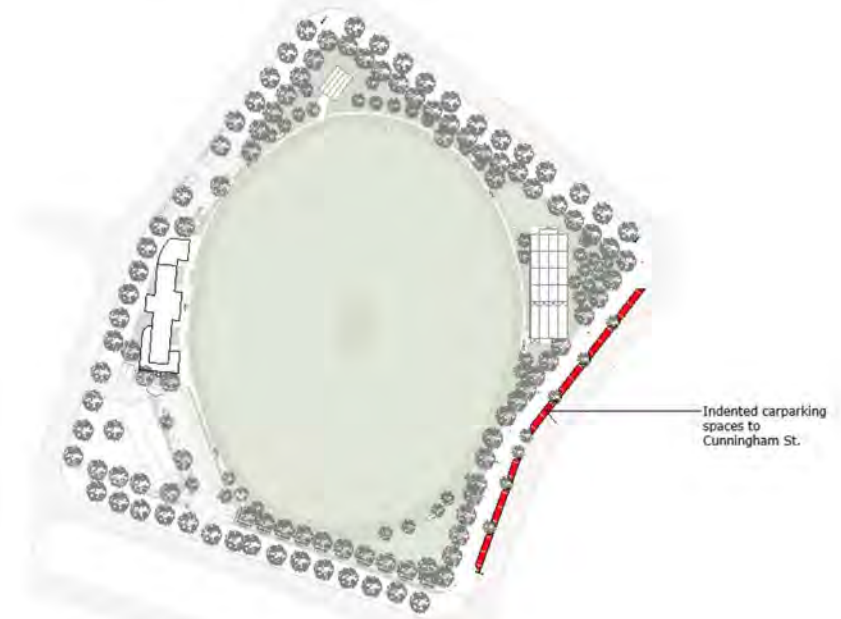
(MP15) Site Bollards to Leichardt Street



Trade Total	\$48,750 + GST
Prelims/ margins	\$7,313
Construction Total	\$56,063 + GST
Design Fees – 6%	\$3,364
ACT Pro. Fees – 3.5%	\$1,962
Authority Fees – 2%	\$1,121
Esc. 2026 – 9%	\$5,626
Contingency – 20%	\$13,,627

Grand Total	\$81,763 + GST

(MP16) Verge Parking to Cunningham Street



Trade Total	\$81,013 + GST
Prelims/ margins	\$12,152
Construction Total	\$93,165 + GST
Design Fees – 6%	\$5,590
ACT Pro. Fees – 3.5%	\$3,261
Authority Fees – 2%	\$1,863
Esc. 2026 – 9%	\$9,349
Contingency – 20%	\$22,646

Grand Total	\$135,873 + GST





ACT Heritage Council

Conservation Management Plan Approval

Under Section 61K of the *Heritage Act 2004*

Heritage Reference: CMP-Kingston Oval

Contact Officer: MSS
Received by: 11 August 2022 and
Council: 29 November 2023

**TO: Sports and Recreation Facilities
Transport Canberra and City Services**
Luke Halpin, Senior Director
luke.halpin@act.gov.au

Block:	Section:	Division / District:	Heritage Place:
5, 8 and 9	22	Canberra Central/ Griffith	Kingston/Griffith Housing Precinct: Kingston Oval

Status of Place: Registered Heritage Place

Report Details: *"Conservation Management Plan, Kingston Oval,
Kingston/Griffith Housing Precinct"* (Philip Leeson
Architects, 2023)

Council Advice provided by: Director, Approvals and Advice

Pursuant to Section 61K of the *Heritage Act 2004*, the ACT Heritage Council advises that:

The Conservation Management Plan is approved, with conditions as set out below, on the basis that it ensures the conservation and responsible management of Kingston Oval.

Background:

On 11 August 2022, Sports and Recreation Facilities, Transport Canberra and City Services (TCCS) made an application to the ACT Heritage Council (the Council) for approval of a Conservation Management Plan (CMP) under Section 69J of the *Heritage Act 2004* (the Heritage Act) for the Kingston Oval (the Oval).

The Oval is registered on the ACT Heritage Register as part of the Kingston /Griffith Housing Precinct (the Precinct). The following features are identified in the Register entry as intrinsic to the significance of the Precinct and are directly applicable to the Oval:

1. An early C20th 'Garden City' planned subdivision including:
 - (i) landscaped recreation area with community facilities;
 - (iii) land use allocated to distinct uses to create an ordered and efficiently planned environment ie. residential, recreational and community uses;

- (iv) generous landscaped verges containing substantial street trees, footpaths and incidental landscaped spaces;
 - (xii) public utility services removed from the streetscape and located underground or at the rear of blocks;
 - (xiii) unified landscape treatments and street furniture including verges, driveway materials, street trees, hedges, fences, street signs and lighting;
4. Historic remnants of the original street furniture including street signs, fire hydrants and footpath lighting and other elements including kerbs and gutters; and
 5. Mature public and private treescape of historic, aesthetic, natural and amenity values.

The CMP is authored by Phillip Leeson Architects and has been prepared to guide the responsible conservation and management of the Oval in accordance with contemporary heritage requirements and the heritage guidelines for the Precinct.

Following review of the CMP, the Council delegate provided advice on 12 July 2023 requesting further information and amendments; and on 29 November 2023 an updated CMP was submitted to the Council.

Decision and Conditions:

Assessment of the updated CMP concludes that it meets the information requirements of the Council's 2015 *CMP Guiding Principles Policy*, includes all the information necessary to inform the management of the place, and it is consistent with *Heritage Act 2004* provisions and professional standards of heritage conservation practice.

On this basis, the Council delegate is satisfied on reasonable grounds that, with conditions, the CMP will ensure the conservation and responsible management of the Oval.

The Council delegate therefore approves the CMP application subject to the following conditions:

1. Within 12 months of this decision, a Tree Management Plan (TMP) is to be submitted to the Council for approval. This TMP must be consistent with heritage guidelines for the place, and consider the management issues discussed in Conservation Policies 21, 22 and 23 of the CMP;
2. Within 12 months of this decision, a Traffic and Parking Assessment for the Oval and immediate surrounds is to be submitted to the Council for approval. This must consider the management issues discussed in Conservation Policy 24 of the CMP, and identify opportunities to provide adequate user parking in ways that avoid and minimise heritage impacts;
3. The diagram "*Aerial showing opportunities and constraints relating to improved facilities*" on Page 67 is not approved by this decision, specifically in relation to additional and formalised parking at the Oval. Any such outcomes will be subject to the above Traffic and Parking Assessment and further Council advice on future work proposals;
4. Implementation of conservation policies and maintenance actions described in this CMP are the responsibility of the owner/manager of the place;

5. The attached Notice of Approval is to be inserted after the cover page of the finalised CMP, and the CMP submitted to the Council, circulated to any user or other interested party, and also submitted to the ACT Heritage Library for public reference; and
6. The CMP is approved for a maximum period of ten years.

Sch 2.2(a)(ii)

Meaghan Russell
**Director, Approvals and Advice (as delegate for),
ACT Heritage Council**

9 August 2024



13 June 2023

Shaun Young
General Manager Football, Eastlake Group
PO Box 4167
Kingston, ACT 2604

BY EMAIL: shaun.young@eastlakefc.com.au

Dear Shaun

RE: ACT Community Football Facilities Fund – Kingston Oval Upgrades

In recognising the current state and issues of facilities within the ACT the AFL National Facilities Panel have allocated an initial \$1M funding in the development of the **ACT Community Football Facilities Fund (ACT CFFF)**.

This is exciting news for community AFL within the ACT and this program will assist local clubs and stakeholders to develop AFL related infrastructure at ACT located venues in order to meet the required needs and have the capacity to grow the game. This program has a particular focus on developing some of the key basic infrastructure required for community football growth, capacity and development such as change rooms and lighting.

Through this program construction projects totalling \$750k will be funded, along with the development of the ACT Facilities - 2030 Planning document (\$50K) and the allocation of a further \$200k for individual venue upgrade plans which clubs can directly apply to. The planning document and individual venue upgrade plans then provides the detail and direction to seek and lobby additional partnership funding through the ACT Government and other partners in the short to medium term.

As part of this commitment \$400,000 has been allocated to the Eastlake Football Club for further development of Kingston Oval inclusive of surface and lighting upgrades to 200 lux.

Your club will need to formally apply through the SmartyGrants portal that has been set up for this funding program which includes the administration and acquittal requirements to receive the funding. Please use the following link to formally apply. [ACT Community Football Facilities Fund - AFL NSW/ACT \(smartygrants.com.au\)](https://smartygrants.com.au)

For further information in relation to this matter including the application process please contact me on [REDACTED]

Sch 2.2(a)(i)

Your sincerely,

Sch 2.2(a)(ii)



Marsh Pty Ltd
ABN 86 004 651 512
727 Collins Street
MELBOURNE VIC 3008

GPO Box 1229
MELBOURNE VIC 3001
Tel 1300 130 373
Email sport@marsh.com
Marsh.com.au

12 November 2024

CERTIFICATE OF CURRENCY

INSURANCE CLASS	General & Products Liability and Umbrella Liability	
INSURED	Eastlake Football Club	
GEOGRAPHICAL SCOPE	Worldwide excluding USA, Canada and their protectorates	
PERIOD OF INSURANCE	From: 01 November 2024 at 4pm Local Time (VIC) To: 01 November 2025 at 4pm Local Time (VIC)	
INTEREST INSURED	Legal liability to third parties for bodily injury and property damage arising out of the activities of the Insured	
LIMITS OF LIABILITY	General Liability	\$20,000,000 any one occurrence
	Products Liability	\$20,000,000 in the aggregate
	Errors & Omissions	\$20,000,000 in the aggregate
DEDUCTIBLE/EXCESS	\$1,000 each and every occurrence (inclusive of Defence Costs)	

INSURER
Lloyd's of London

POLICY NUMBERS
PACEA2250043
PACEA2250046
PACEA2250048

Sch 2.2(a)(ii)

This certificate of currency provides a summary of the policy cover and is current on the date of issue. It is not intended to amend, extend, replace or override the policy terms and conditions contained in the actual policy document. This certificate of currency is issued as a matter of information only and confers no rights upon the certificate holder. We accept no responsibility whatsoever for any inadvertent or negligent act, error or omission on our part in preparing these statements or in transmitting this certificate by email or for any loss, damage or expense thereby occasioned to any recipient of this letter.



EASTLAKE FOOTBALL CLUB

Football Strategy 2022-2025

TO BE THE LEADING AFL CLUB IN THE CANBERRA REGION

Eastlake Football Club has a long and proud history of success both on the football field and as a community of players, coaches, volunteers, and supporters. We want to continue and build on this success.

Strategic Priorities

We will achieve our strategic objective by continuing to build our already successful programs with particular focus over the next three years on the following three pillars:

COMPETITIVE TEAMS

- Recruit, retain and develop high quality players, coaches, and managers.
- Manage effective pathways from junior to senior football with particular emphasis on growing our female participation and progression rates.
- Focus on enhancing our leadership capabilities across all aspects of our football operation
- Put promising individuals through development programs (internal and external) to create future coaches, star players and support staff

STRONG COMMUNITY

- Improve and expand our current football facilities to ensure we provide the optimum environment for players to perform at their best
- Actively seek to expand our sponsor partnerships and effectively manage these arrangements.
- Actively promote the EFC Brand
- Be a strong football community member and good corporate citizen

SUSTAINABLE CLUB

- Foster a culture of inclusiveness, support and respect that encompasses the Eastlake spirit of “one team, one club, one family”.
- Showcase the club’s history.
- Engage with alumni and ensure their continuing involvement with the club.

OPERATIONAL PRIORITIES

Over the next four years, the staff at Eastlake will, with the support of the Board and Football Committee, carry out activities that support each strategic priority and achieve our objective, including:

COMPETITIVE TEAMS

- Develop our junior and local talent to be the best they can be.
- Assess playing lists before the end of the season to determine recruitment needs for senior teams and transition plans for Rising Stars teams and Marist Football Club players.
- Build networks for recruitment in the Riverina, South Coast, Giants and Swans academies.
- Assess the performance of coaches through a formal process before the end of each season.
- Develop a coach accreditation policy and put coaches through relevant courses.
- Grow the Auskick program and field teams in each age group of juniors (boys and girls).
- Work with AFL Canberra on the creation of a local female academy (youth and senior) and the alignment of a reserve grade competitions with existing senior competitions.
- Develop a leadership model and mentoring program for club leaders.
- Promote and prioritise skill development in the Junior programme – this should be the focus in the 10 to 14 age groups.
- Focus on training junior coaches in skill development programmes, engage external expertise to assist (Schmidt etc).
- Promote and prioritise skill development in our women’s programme for those who come to the game as more mature Juniors and as senior women.

STRONG COMMUNITY

- Create an Eastlake Football Club Hall of Fame and add to it regularly.
- Develop a plan to increase engagement between seniors and juniors.
- Work with AFL Canberra to separate senior and junior game days.
- Develop a structured community engagement plan for past players.

- Develop a functions and events plan that engages and captures the Eastlake spirit.
- Obtain ACT Government support, particularly for facilities development.
- Grow the level of volunteers for both junior and senior teams.

SUSTAINABLE CLUB

- Seek to maintain the budget at current level as a minimum and identify and pursue new sources of revenue.
- Grow the level of sponsorship and develop a future growth strategy.

MEASURING SUCCESS

We will consider the strategy to be successful when:

- **Eastlake wins a minimum of 1 Premiership in the men's and women's senior teams.**
- Eastlake wins the club championship.
- We are recognised as a strong corporate citizen. – measured by the number of player led initiatives ie pride round, charity days, sponsor sign up etc.
- Players, coaches, volunteers, and supporters are satisfied with their Eastlake experience. – measured by annual survey
- There are strong ties and pathways between senior and junior teams.
- Facilities are commensurate with sustaining a high-quality football program and that assists with recruitment of players for the men's and women's senior teams.
- There is adequate funding from the Board and growth in sponsorship revenue.
- We have higher levels of engagement by alumni. – Potentially measured through attendance at reunion events, past player involved in volunteer roles etc

MONITORING AND REPORTING

The EFC Football Strategy is supported by a more detailed operating plan which provides more granular measures of success and performance under each of our operational priority areas.

The Football Committee will monitor progress and formally review milestones and key deliverables on a quarterly basis.



Conservation Management Plan
KINGSTON OVAL

KINGSTON/GRIFFITH HOUSING PRECINCT

NOVEMBER 2023
(APPROVED AUGUST 2024)

Prepared for

**Sport and Recreation Facilities,
City Presentation,
Transport Canberra and
City Services Directorate**

Prepared by





ACT Heritage Council

Notice of Approval of Conservation Management Plan under Section 61K of the *Heritage Act 2004*

The ACT Heritage Council (the Council) delegate has approved the “*Conservation Management Plan, Kingston Oval, Kingston/Griffith Housing Precinct*” (Philip Leeson Architects, November 2023) on 9 August 2024.

In approving this Conservation Management Plan, the Council delegate is satisfied on reasonable grounds that the conservation policies and actions contained therein will ensure the conservation and responsible management of the Kingston Oval, subject to the following conditions:

1. Within 12 months of this decision, a Tree Management Plan (TMP) is to be submitted to the Council for approval. This TMP must be consistent with heritage guidelines for the place, and consider the management issues discussed in Conservation Policies 21, 22 and 23 of the CMP;
2. Within 12 months of this decision, a Traffic and Parking Assessment for the Oval and immediate surrounds is to be submitted to the Council for approval. This must consider the management issues discussed in Conservation Policy 24 of the CMP, and identify opportunities to provide adequate user parking in ways that avoid and minimise heritage impacts;
3. The diagram “*Aerial showing opportunities and constrains relating to improved facilities*” on Page 67 is not approved by this decision, specifically in relation to additional and formalised parking at the Oval. Any such outcomes will be subject to the above Traffic and Parking Assessment and further Council advice on future work proposals;
4. Implementation of conservation policies and maintenance actions described in this CMP are the responsibility of the owner/manager of the place; and
5. The CMP is approved for a maximum period of ten years.

Sch 2.2(a)(ii)

Meaghan Russell
**Director, Approvals and Advice (as delegate for),
ACT Heritage Council**

9 August 2024

Report Issue Register

Issue	Date	Issued to
Draft for Client Review	08 February 2022	Sport and Recreation, TCCS
Draft for Stakeholder Review	04 May 2022	Sport and Recreation, TCCS, Eastlake Football Club, Eastlake Cricket Club, ALF Canberra, Cricket ACT, Table Tennis ACT
Client Approval	14 July 2022	Sport and Recreation, TCCS
ACT Heritage Council Approval	11 July 2022	ACT Heritage, Sport and Recreation, TCCS
Client Review	24 October 2023	Sport and Recreation, TCCS
ACT Heritage Council Approval	29 November 2023	ACT Heritage, Sport and Recreation, TCCS
Final CMP	29 August 2024	ACT Heritage, Sport and Recreation, TCCS, ACT Heritage Library

Quality Assurance

This report has been reviewed and approved for issue in accordance with the Philip Leeson Architects Procedures Manual.

Acknowledgement of Country

PLA respect and acknowledge past, present, and future traditional custodians and elders of the lands on which we live and work. We acknowledge and extend our respect to all Australia's Indigenous peoples.

*Cover Image: Aerial of Kingston Oval looking south-west (circa 1951)
(Source: ACT Heritage Library)*

1 Executive Summary

This Conservation Management Plan (CMP) has been prepared to guide future conservation and management of the Kingston Oval which is included on the ACT Heritage Register as part of the Kingston/Griffith Housing Precinct. It has been commissioned by Sport and Recreation which is a sub-unit of Transport Canberra and City Services Directorate and has been developed in consultation with the Eastlake Football Club, Eastlake Cricket Club, Table Tennis ACT, AFL Canberra and Cricket ACT.

This is the first CMP to be prepared for the Kingston Oval. It has been developed in response to the mandatory requirement in the ACT Heritage Register Entry which states that new recreation and community facilities shall only be permitted where they are consistent with a CMP that has been 'endorsed' by the ACT Heritage Council. Whilst there are no current plans to provide new facilities at the Kingston Oval, there are a variety of challenges with the existing infrastructure that impact on the three sporting groups who regularly use the site, these being AFL, cricket and table tennis. Given these challenges, the sporting groups have aspirations for future improvements to be undertaken to ensure the Kingston Oval can continue to meet the ongoing needs of their participants,

1.1 Development of the Kingston Oval

Historical research was undertaken during the preparation of this CMP to inform an understanding of the development of the Kingston Oval and establish the relevant historical context.

The Kingston Oval has been used as a publicly accessible recreation reserve since its establishment in the 1920s and has been a venue for cricket and Australian Rules Football since this time. It has also been the home of ACT Table Tennis since 1972.

The Kingston Oval was established as the adjacent 'Garden City' suburb of Kingston was being developed, at a time of early development in the new Federal Capital. Garden City planning, in combination with American 'City Beautiful' principles, underpinned the initial planning of Canberra by the Federal Capital Commission with the integration of recreation reserves and housing a central tenet of the Garden City planning philosophy.

The sports ground was constructed by the Government at a time when it had control over workers accommodation and the facilities available to them. Opening for the 1926-27 cricket season, the Kingston Oval was located adjacent to the housing erected for workers at the Government Printing Office and was established prior to much of the housing that is now part of the Kingston/Griffith Housing Precinct (1926-27, 1934-35 and 1936).

Limited infrastructure was put in place when the ground was first established and continual campaigning by the sporting clubs has been required over the life of the oval to improve the ground to meet changing requirements and expectations. Early buildings and other facilities provided at the Kingston Oval were modest in nature, reflecting the limited funds that were available. The pre-1940 infrastructure has largely been removed, including the 1920s clubhouse and the early hard (1920s) and turf (1936) wickets which were replaced with more substantial facilities.

Extensive plantings were established at the ground during the 1930s including two rows of plantings around the perimeter of the site (one row was removed as they matured). Street trees to Dawes Street and Canberra Avenue were also established during the 1930s. Other trees have been planted around the Kingston Oval since this time and there are currently about 150 trees to the reserve, including the street trees.

The extant buildings include the 1953 Eastlake Football Club clubhouse, which is now used as the Table Tennis Centre and has been extended and altered on several occasions. The Greg Lord Pavilion to the west side of the ground was opened in 1989 and the nearby toilet block had been at least partially constructed by 1958.

1.2 Heritage Significance

The CMP includes an assessment of the heritage significance of the of the Kingston Oval as part of the Kingston/Griffith Housing precinct against the ACT Heritage Criteria. This is informed by the historical research undertaken in preparing this CMP as well as the physical assessment and a comparative analysis with other contemporaneous sporting grounds located in the ACT.

Consistent with the existing ACT Heritage Register entry, the Kingston Oval is significant to the ACT as part of the Kingston/Griffith Housing Precinct for the following reasons:

- It is historically important as an example of an early recreation reserve that was established during the formative years of the Federal Capital. Its development, including the planting of street and park trees, alongside the contemporaneous 'Garden City' suburb is historically significant as 'Garden City' planning, in combination with American 'City Beautiful' principles, underpinned the initial planning of Canberra. Historically, it is also significant as a reserve that has been used since its establishment in 1926 as a venue for cricket and Australian Rules Football and has continually been accessible to the local community and broader public. (Criterion A)
- It is one of few remaining ovals that continues to demonstrate the principal characteristics of a sports ground established in Canberra during the first few decades of development. It does this through the remaining trees to the perimeter, which are typical of the evergreen plantings at early sports grounds that were introduced to protect the fields from the wind during all seasons. The remaining trees maintain a strong visual relationship with the sports ground and provide aesthetic unity between the oval and the remainder of the Kingston/Griffith Housing Precinct. This cohesive streetscape is valued by the community as is the aesthetic contribution that the largely landscaped reserve makes to the heritage precinct. The reserve and its mature trees also enhance the concept of Canberra being a 'Garden City'. (Criteria D and E)

1.3 Condition and integrity

A review of the extant physical fabric, including an assessment of the mature plantings and the built infrastructure, was undertaken during the preparation of this CMP. This review involved an arboricultural assessment of the trees and consultation with stakeholders, including the various sporting groups, to understand what features of the sports ground are valued and which aspects are problematic. Consultation with these groups demonstrated that there is a need to both improve the facilities located at the oval to allow for significant sporting uses to continue as well as protect significant fabric at the site which includes the formal rows of trees surrounding the oval.

As the structures and buildings at the Kingston Oval are of relatively modern origin, significant physical features are limited to the grassed playing oval and the pre-1940 trees which are individually identified in the Heritage Significance chapter. Whilst these trees are valued by the community and are a significant feature of the Kingston Oval, they limit the potential to undertake changes at the site to facilitate ongoing significant uses. This limits the capacity of sporting groups to adapt their programs to meet the needs of participants. The condition of these trees varies with several identified by the arborist as being either dead or in advanced stages of decline. Where the condition of significant trees has declined, there is an opportunity to replace these specimens with new trees to improve the presentation of the place. The replacement of trees could be co-ordinated with upgrade works, including potential works to the existing carparking area and new building works (such as change rooms, club rooms, consolidated storage) to improve functionality.

1.4 Conservation policy

A series of opportunities and constraints have been examined as a precursor to the ensuing conservation policy section. These relate to the significance of the Kingston Oval, the statutory obligations as well as management context and stakeholder views. A diagram highlighting key opportunities and constraints with regards to the heritage values of the site and the need to provide improved sporting facilities is provided at the end of this section.

The conservation policies have been developed considering both the identified opportunities and constraints and according to the attributed heritage significance of the Kingston Oval as part of the

Kingston/Griffith Housing Precinct. The ongoing management of the Kingston Oval and any proposal for change shall be considered in light of these policies. Policies have been formulated relating to this Conservation Management Plan, management, use, conservation, new development and interpretation.

A key focus of the conservation policy is the management of trees on the site, with specific policy developed to guide the appropriate replacement of trees in order to maintain a sense of enclosure around the perimeter of the oval. Another important focus of the conservation policy is the consolidation of *ad hoc* structures and guidance for new development that seeks to ensure that the park setting of the Kingston Oval is maintained whilst allowing the place to continue to service the sports community in the future.

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3 Introduction

3.1 Background

This Conservation Management Plan (CMP) for the Kingston Oval has been commissioned by Sport and Recreation Facilities which is a sub-unit of Transport Canberra and City Services Directorate (TCCS). Sport and Recreation Facilities are responsible for maintaining and managing the Kingston Oval, including capital works and improvements to the place.

This CMP covers the Kingston Oval (also called the Kingston Sports Ground) and includes the pavilion used by Table Tennis ACT, known as the Kingston Table Tennis Centre. The Kingston Oval is included on the ACT Heritage Register as part of the Kingston/Griffith Housing Precinct, though a CMP has not previously been prepared for the site. It is however a mandatory requirement of the Register Entry that new recreation and community facilities at the Kingston Oval only be permitted where they are consistent with a CMP for the recreation area that has been approved by the ACT Heritage Council.¹

Though there are no current plans to provide new facilities at the Kingston Oval, there are a variety of challenges with the existing infrastructure that impact on the three sporting groups who regularly use the site, these being AFL, cricket and table tennis. Given these challenges, the sporting groups have aspirations to see that the oval is upgraded and additional facilities are provided to meet the contemporary needs of participants. Existing challenges with the Kingston Oval, including ongoing issues with car parking, have been taken into consideration during the preparation of this CMP.

3.2 Subject site

The Kingston Oval is located on Blocks 5, 8 and 9, Section 22 Griffith. Whilst the boundaries of these blocks do not incorporate the street verges, they have been included in the study area for this CMP (subject site) as they contribute to the setting of the oval and because there is no physical delineation between the verge and the reserve (refer to Figure 1). The site is bound by Canberra Avenue (south-west), Dawes Street (north-west), Leichardt Street (north-east) and Cunningham Street (south-east). The verges to each of the streets are included in the heritage precinct.

¹ The Heritage Register entry notes that the recreation area (Sports Ground) at Section 9 shall remain urban open space. The Kingston Oval is located at Section 22, with most of the Section designated as Block 9. It is not clear if the intent is that this requirement only apply to Block 9 (excluding Block 5 and 8) at the south-west corner of the site or if it is meant to apply the full extent of Section 22.



Figure 1: Aerial of the Kingston Oval with the boundaries of the study area indicated (Source: ACTmapi, showing April 2021)

3.3 Heritage Status

The Kingston Oval has been recognised as having heritage value through its inclusion in the Kingston/Griffith Housing Precinct which is included on the ACT Heritage Register. Information on the housing precinct is also held by the National Trust and in the Register of the National Estate as outlined in the table below. There are statutory implications associated with the ACT Heritage Register only.

Listing Type	Organisation	Heritage List	Item	Listing Identification
Statutory	ACT Heritage Council	ACT Heritage Register	Located within the Kingston/Griffith Housing Precinct	H44
Non-statutory	National Trust of Australia (ACT)	Register of Classified Places	Not classified, though a citation was prepared for Kingston/Griffith Housing Precinct	-
Non-statutory (archive)	Australian Heritage Council	Register of the National Estate	Kingston/Griffith Housing Precinct (Indicative Place)	Place ID 19732

Whilst the site is not classified by the National Trust, the organisation supports the heritage protection of the Kingston Oval through its inclusion on the ACT Heritage Register. The Register of the National Estate is maintained as an archive only and 'Indicative Places' are those for which no formal nomination has

been made. A citation prepared by the National Trust for the Precinct is provided in Appendix D. The Register of the National Estate entry has not been appended to this CMP as it contains the same information as the National Trust citation.

3.3.1 ACT Heritage Register

Kingston Oval is identified as a feature intrinsic in the ACT Heritage Register entry for the Kingston/Griffith Housing Precinct (see Figure 2). It is a landscaped recreation area with community facilities in the Precinct which is otherwise dominated by cottages. Other features intrinsic to the Precinct which are relevant to the subject site include:

An early c20th 'Garden City' planned subdivision including;

- iii. land use allocated to distinct uses to create an ordered and efficiently planned environment i.e. residential, recreational and community uses;
 - iv. Generous landscape verges containing substantial trees, footpaths and incidental landscaped spaces;
 - xii. Unified landscape treatments and street furniture including verges, driveway materials, street trees, hedges, fences, street signs and lighting.
4. **Historic remnants of the original street furniture including street signs, fire hydrants and footpath lighting and other elements including kerbs and gutters.**
 5. **Mature public and private treescape of historic, aesthetic, natural and amenity values.**²

The Kingston/Griffith Housing Precinct is shown on the plan below and is bound by Canberra Avenue and Leichardt Street (south-west), Dawes Street (north-west), Howitt and Kennedy streets (north-east), and Cunningham Street and Burke Crescent (south-east).

² The numbering of these features relates to the numbering in the ACT Heritage Register entry for the Precinct.

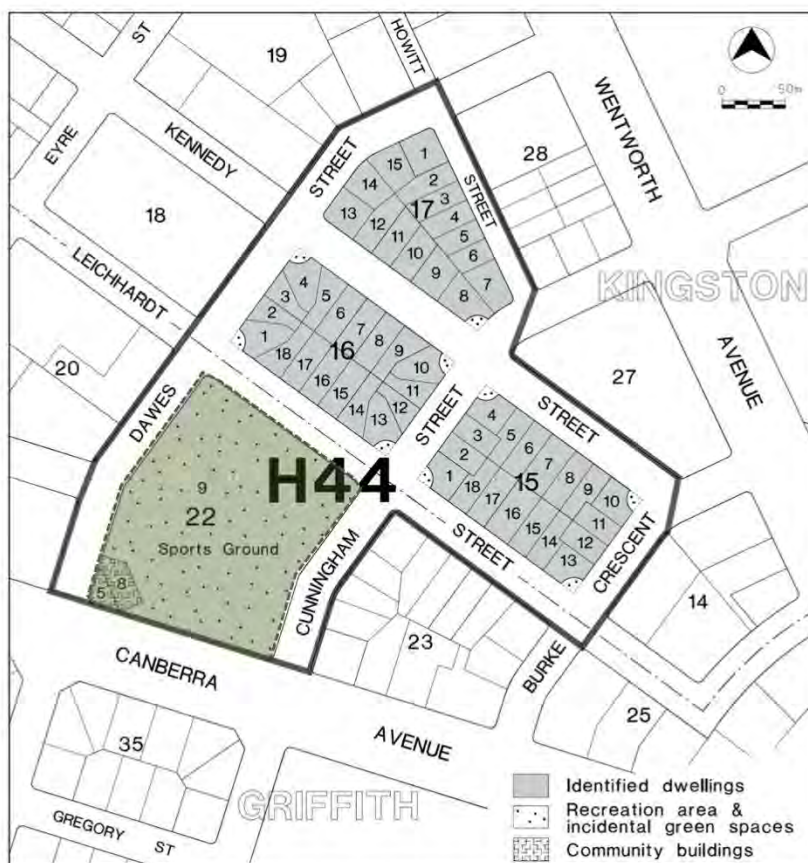


Figure 2: The Kingston/Griffith Housing Precinct with the Kingston Oval indicated (green)
 (Source: ACT Heritage Register entry)

Significance of Precinct

The statement of significance for the Kingston/Griffith Housing Precinct is included in the ACT Heritage Register entry for the site which is included in this CMP at Appendix B. The Precinct is one of the ACT’s Garden City heritage precincts that collectively and individually demonstrate the early principles of ‘Garden City’ planning. The philosophy behind ‘Garden City’ planning was to create healthy working and living environments for urban residents. Key features include the presence of central landscaped reserves overlooked by housing.

The retention and diversity of mature exotic and endemic trees on public and private land within the precincts enhances the concept of Canberra being a Garden City. The public domain landscape is associated with Thomas Charles Weston who was Canberra’s first Superintendent of Parks and Garden. The species used are typical of Weston’s choice of planting for Canberra.

3.4 Methodology

The methodology adopted in formulating this Conservation Management Plan is in accordance with the guide published by the ACT Heritage Council, *Conservation Management Plans – Guiding Principles*, February 2015. It has also been prepared in accordance with the Australian ICOMOS Charter for the Conservation of Places of Cultural Significance, known as the Burra Charter (refer to Appendix A) and informed by James Semple Kerr’s *The Conservation Plan*, 7th ed., 2013.

As part of developing a CMP for the Kingston Oval, it was requested that consultation with several stakeholders be undertaken (see acknowledgements below), including sporting groups and community organisations. The purpose of this consultation was to gain an understanding of the current issues at the site and to obtain some appreciation about what is valued about the Kingston Oval.

In preparing this document, the following has been undertaken:

- A review of existing documentation including the Heritage Register entry;
- Historical research to understand the development of the Kingston Oval and relevant historical context;
- A review of the extant physical fabric, including an assessment of the mature plantings as well as the built infrastructure to reinforce an understanding of intrinsic features. This review included an arboricultural assessment of the trees and a condition assessment of the ACT Table Tennis Centre;
- Consultation with stakeholders;
- An assessment of the heritage significance of the Kingston Oval;
- A review of opportunities and constraints relating to future conservation, management and change;
- Development of conservation policy;
- Preparation of a potential scope of works.

3.5 Authorship

This Conservation Management Plan has been prepared by Philip Leeson Architects (PLA) with input from Canopy Tree Experts. The project team consisted of Katrina Keller (Heritage Architect) and Alanna King (Associate Director) of PLA with Nathanael du Boulay (General Manager) of Canopy Tree Experts who provided an arboricultural assessment of the trees.

3.6 Limitations

Our inspection of items within the place was limited to a visual inspection from ground level. No high level or invasive investigations were undertaken.

A comprehensive social values assessment to reassess if the Kingston Oval as part of the Kingston/Griffith Housing Precinct is valued by the ACT community has not been undertaken during the preparation of this CMP. This includes aspects related to the broader appreciation of the aesthetic characteristics of the heritage place. A review of the site by an archaeologist was also excluded from the scope.

3.7 Acknowledgements

The authors wish to acknowledge the following people and organisations who are collectively responsible for or have an interest in the Kingston Oval:

- Sport and Recreation Facilities, City Presentation, TCCS (Ross Burden and Luke Halpin)
- Sport and Recreation, CMTEDD (David Jeffrey)
- Eastlake Football Club (Shaun Young, Maureen Cahill, Aaron Bruce, Stuart Marshall)
- Eastlake Cricket Club (Damian Eaton)
- Table Tennis ACT (Heather Tomlinson)
- AFL Canberra (Steven Mahar)
- Cricket ACT (Matthew Phelps)
- Kingston and Barton Residents Group (Nick Swain).

4 Historical Overview

4.1 Introduction

A comprehensive historical analysis for the Kingston Oval has not been completed to date, though some information on the sports ground is included in the detailed histories compiled for different organised sports in the ACT as identified below. Given this, it has been necessary to undertake historical research as part of the preparation of this CMP to understand how the Kingston Oval has developed and confirm the context in which it was established. This information has assisted in reviewing heritage significance in the context of the Kingston/Griffith Housing Precinct and subsequently informed the development of conservation policy in this CMP.

4.1.1 Historical Sources

Several different sources provided key information in the development of the historical analysis. This included the following books which contain detailed histories compiled for different organised sports in the ACT:

- Keith Miller, *Kick it long: a history of Eastlake & Manuka Football Clubs 1926-2012*, Canberra, 2013
- Don Selth, *Cricket on the Limestone Plains*, Canberra, 1992
- Arthur Wilks, *Table Tennis in Canberra and Region*, Canberra, 2013

Whilst no original plans for the Kingston Oval have been located to date, newspaper articles and historic photographs provide further information on the development of the sports ground including the planting of trees, which occurred over an extended period of time. Several drawings from the National Archives of Australia also document changes to the early buildings at the Kingston Oval.

4.2 The Federal Capital

The Canberra region has been home to the Ngunnawal, Ngunawal and Ngambri peoples for more the 20,000 years.³ Prior to development of the Kingston area as part of the Federal Capital, two waterways extended to the north, draining into the Molonglo River (see Figure 3).



Figure 3: Overlay of 1915 Federal Territory Feature Map over 2020 aerial photograph
The location of the Kingston Oval is indicated (star) with the streams in the vicinity shown on the map
(Source: ACTmap)

³ National Museum Australia webpage, 'Canberra region', no date, accessed 16 December 2021

In 1908, the Yass-Canberra district was selected as the site for the Federal Capital and in April 1911, the competition to design the Federal Capital was announced. Canberra effectively developed with two town centres in the period following the selection of the Limestone Plains as the site the Federal Capital, one each to the north and south of the Molonglo River floodplain. That to the south was in the locality now known as Kingston. This arrangement was different to the proposal set out in Walter Burley and Marion Mahony Griffins' winning entry for the plan of the national capital which showed that development was to be concentrated around the Civic Centre and extend east along the Municipal Axis (now Constitution Avenue).⁴

In 1912, the Departmental Board tasked with implementing the city structure considered aspects of the Griffin's plan too costly and impractical and instead prepared their own plan. The Griffin's subsequently prepared another plan in 1913 in response to the Departmental Plan (refer Figure 4). A major change in the 1913 plan was the introduction of an 'Initial City' located around the present suburbs of Griffith, Kingston, Forrest and Barton.⁵



Figure 4: Canberra Federal Capital of Australia preliminary plan (Walter Burley Griffin, 1913). The location of the Kingston Oval in the vicinity of the 'Initial City' is indicated (star) (Source: National Library of Australia)

The suburb of Eastlake (now the Kingston area) was one of the areas auctioned in the first sale of city leases in December 1924. The first allotment sold in Canberra was at the designated Eastlake business

⁴ Paul Reid, *Canberra following Griffin, A Design History of Australia's National Capital*, NAA, 2002, pp153-155

⁵ Philip Leeson Architects, *Conservation Management Plan: Northbourne Oval*, 2019, p9

centre which was the first commercial centre in the early capital. The Federal Capital's powerhouse, railway station, fire station and Government Printing Office were all located in Eastlake.⁶

4.2.1 Nomenclature

The early name of the area derived from the Griffins' competition winning plan which included a chain of lakes with the eastern part of the lakes called East Lake. It became customary to call the district in the vicinity of this lake Eastlake. The naming of streets and districts in Canberra was under review in March 1927,⁷ with the official names for divisions and public places published in the Commonwealth of Australia Gazette on 20 September 1928. This included the naming of the Kingston Division which was named after the Right Honourable Charles Kingston KC who was a Legislator, Federalist and one of the founders of the Constitution.⁸

4.3 Residential Development at Kingston

Located opposite the Kingston Oval, the first stage of what is now the Kingston/Griffith Housing Precinct (Block 16) was constructed in 1926-27 to meet the urgent need to provide housing for lower income public servants and workmen prior to the opening of Provisional Parliament House in 1927.⁹ The neighbouring Section 18 had already been developed, providing houses for workers at the nearby Government Printing Office (refer to Figure 5).

Severe housing shortages continued into the 1930s in Canberra and the Department of the Interior were anxious to develop the available land in Eastlake to provide 'relief to the greatest' number of people by constructing as many houses as possible with the limited funds at their disposal.

The houses on Sections 15 and 17 were designed between 1934 and 1936 under the direction of Edwin Hubert Henderson, chief architect of the Works and Services Branch of the Department of the Interior. He designed Section 15 in 1934, and 12 houses, six of which were duplexes, were built during the 1934-35 financial year. Those on Section 17 were constructed by prominent Canberra builders, Alf Stevens and Son, during 1936.

⁶ National Trust Register of Significant Places Citation for Kingston/Griffith Housing Precinct, 2000

⁷ Mrs F J Crouch Inquiry regarding the origin of the name of Eastlake, 1927, National Archives of Australia, A1, 1927/4550

⁸ Commonwealth of Australia Gazette no. 99, 20 September 1928, p2641

⁹ ACT Heritage Register entry for the Kingston/Griffith Housing Precinct



Figure 5: Aerial of Kingston Griffith Area showing Section nos and dates of construction (June 1940)
(Source: National Library of Australia, Run 4W, 14464)

The houses in the Kingston/Griffith Housing Precinct were erected for Government officers and workers. Section 15 for example, was selected by the Property and Survey Branch in July 1933 as a good location for “a number of semi-detached and detached brick or concrete cottages which could be let at a fairly low rental”. The branch was aware of a “particularly heavy demand for worker’s houses in the vicinity of the Government Workshops”.¹⁰

4.4 Kingston Oval

4.4.1 Establishing the Kingston Ground (1920s)

A sportsground appears to have been established at the Kingston Oval as early as October 1926, when it was reported that both Eastlake and South Eastlake in the upcoming cricket season would have grounds located ‘south of Printers’ Quarters, Eastlake’.¹¹ The Federal Territory Cricket Association had been formed four years earlier in September 1922 with founding clubs Eastlake, Hall, Ainslie, Westridge, Canberra, Duntroon and Cadets.¹² It is not apparent where Eastlake played prior to the establishment of the subject oval. Kingston Cricket Club was formed on 6 August 1928, taking over the assets and liabilities of Eastlake and South Eastlake clubs.¹³

The Federal Territory Australian Rules Football League was also established in the early 1920s (1924) with founding teams Acton, Canberra, Federals and Duntroon. Eastlake Football Club entered the League two years later in 1926 and is now the team that has been in the competition for the greatest number of years.¹⁴

The new ground at Kingston opened for the 1926-27 cricket season. Members of the Eastlake Cricket Club reportedly laid down a ‘cement’ wicket and constructed a pavilion on the ground by voluntary labour (see Figure 6).¹⁵

¹⁰ National Trust Register of Significant Places Citation for Kingston/Griffith Housing Precinct, 2000

¹¹ ‘King Cricket Enthroned’, *The Canberra Times*, 1 October 1926, p3

¹² Don Seth, *Cricket on the Limestone Plains*, Canberra, 1992, p5

¹³ Don Seth, p21. Kingston and Manuka amalgamated in 1969 to become East Canberra Cricket Club who later became Eastern Suburbs. In 1989, Eastern Suburbs and Woden Valley amalgamated to become South Canberra Cricket Club which was renamed South Canberra Eastlake Cricket Club in 1998 and Eastlake Cricket Club in 1999.

¹⁴ Queanbeyan is the oldest local football club. Keith Miller, *Kick it long*, Canberra, 2013, p9

¹⁵ *The Canberra Times*, 8 July 1927, p9



Figure 6: Aerial of Kingston with the pavilion indicated (1928)
 (Source: National Archives of Australia, A3560, 7715)

The Eastlake Football Club used the Kingston Oval as their home ground from at least 1928 when it was reported that games were held opposite the Printers' Quarters.¹⁶ Earlier that year, lengthy discussions at the club's AGM took place regarding the best method of moving the authorities in order to secure a suitable sports oval for the district.¹⁷ In March 1928, business people had prepared a petition to the Commission for a new sports ground at Kingston and the existing ground was considered unsuitable.¹⁸ It is assumed that this existing ground was the Kingston Oval and that no change to location of the sports ground was made. In May 1928, it was reported that no charge would be imposed on football clubs for the use of the Kingston grounds.¹⁹

In August 1928, the combined sporting bodies of Kingston requested that the Commission fence the Kingston sports ground and extend water supply to the pavilion. The bodies desiring the improvement to the ground were the Kingston Cricket Club, Eastlake Football Club, and the Kingston Cycling Club.²⁰ The erection of a fence was approved later that year to prevent spectators from encroaching on the playing area while matches were in progress. Construction of the fence was planned to commence in November 1928.²¹ In October 1928, it was also noted that provision would shortly be made for the supply of water at the Kingston sports grounds.²² At this time, there were no trees at the oval, including to the street verges.

Following requests by the Kingston Cycling Club to construct a cycling track at the oval, it was reported in December 1928 that the track would be officially opened early in 1929.²³ The clearing of tussocks of grass for the track was planned to be undertaken whilst the perimeter fence was being constructed. In March 1929 however, a committee representing the Canberra Australian National Football League was set up to investigate possible encroachment of the proposed cycling track on the football ground at Kingston.²⁴ Construction of a cycling track at the Kingston Oval appears not to have eventuated.

¹⁶ *The National Record: The Official Publicity Organ of the Canberra Australian National Football League*, 14 July 1928, n.p.

¹⁷ *The Canberra Times*, 29 February 1928, p5

¹⁸ 'National Rules, The Ground Problem' *The Canberra Times*, 24 March 1928, p2

¹⁹ 'Sports Ovals' *The Canberra Times*, 30 May 1928, p4

²⁰ 'Kingston Sports Ground' *The Canberra Times*, 25 August 1928, p6

²¹ 'Sports Grounds' *The Canberra Times*, 8 November 1928, p1, 'Kingston Oval' *The Canberra Times*, 2 November 1928, p3

²² *The Canberra Times*, 4 October 1928, p5

²³ 'Kingston Oval' *The Canberra Times*, 2 November 1928, p3, *The Canberra Times*, 1 December 1928, p5

²⁴ 'Sports Grounds' *The Canberra Times*, 14 March 1929, p2

4.4.2 Battling for Improvements to the Ground

During the late 1920s, there were inadequate facilities for many sporting codes in Canberra. With existing grounds in high demand from a variety of sports, it was recommended in 1929 that the Kingston Oval be used alternately by the Eastlake and Manuka branches of the National rules.²⁵ By 1933, the outfield at the Kingston Oval was in such a neglected condition that the Kingston Cricket Club had to use the oval at Telopea Park School as its home ground for several years. In the club's 1933 annual report, the authors complained that the oval was "totally unfit for any class of cricket".²⁶

The ground was also considered unfit for AFL. At the opening of the football season in 1934, it was reported that the ground was in unsatisfactory condition "which appeared to have received little attention beyond the line marking and the dumping of a couple of loads of clods of dried mud over and around the concrete wicket infield".²⁷ In that same year, it was also reported that the ground was not considered a well-kept sports facility and that the concrete pitch and hard, virtually grassless oval caused a multitude of injuries.²⁸ Whilst other sources note that the pitch at the Kingston Oval consisted of river gravel, rolled to a virtually solid state and covered with matting, it is clear that the pitch had a very hard surface.²⁹

CS Daley, Assistant Secretary and Civic Representative of the Department of the Interior, regretted that there were insufficient funds to cover the oval with turf. His answer to the request for improvements illustrates the importance that was being placed on physical exercise and the development of community during the 1930s.

You can take it for granted... that there has always been a desire, on the part of whatever authority has been administering Canberra to promote sport, with regulated benefit to the community both physically and socially and the Government, as you know, did carry out quite a lot of development of sporting areas, so that those who were transferred to Canberra from areas like Melbourne and Sydney where they had these facilities should suffer as little loss in that as possible.³⁰

In 1935, the Kingston National Football Club expressed further concern over the Department's failure to effect requested improvements to Kingston Oval. With the support of the Football League, the FCT Cricket Association and the Kingston Cricket Club, "the deplorable condition of the ground was repeatedly brought under the notice of the authorities".³¹ In August, it was reported that the levelling and sowing seed on Kingston Oval had been included on the draft budget for the current financial year.³² The following year, in 1936, a turf pitch was established at Kingston Oval.³³ At this time it was reported that the ground would not be ready for the football season. This frustrated the Eastlake Football Club who felt that the ground was being prepared principally for cricket. In that same year, the buildings were described as palatial by the FCT National Football League secretary.³⁴

In 1937, the Department of the Interior prepared plans for a tool and soil shed at the Kingston Oval (see Figure 7). This was a modification to an existing timber and corrugated metal building. Documented works included enclosing the central porch area and construction of a soil bin. The soil shed depicted in the plans was presumably the building located to the north-west corner of the site (evident in Figure 9) and had been removed by 1945.

²⁵ *The Canberra Times*, 16 April 1929, p3

²⁶ Don Selth, *Cricket on the Limestone Plains*, Canberra, 1992, p38

²⁷ *The Canberra Times*, 6 May 1929, p3

²⁸ National Trust Register of Significant Places Citation for Kingston/Griffith Housing Precinct, 2000

²⁹ Don Selth, p38

³⁰ National Trust Register of Significant Places Citation for Kingston/Griffith Housing Precinct, 2000

³¹ *The Canberra Times*, 1 March 1935, p4

³² *The Canberra Times*, 20 August 1935, p3

³³ Don Selth, p38

³⁴ 'Kingston Oval', *The Canberra Times*, 10 March 1936, p3

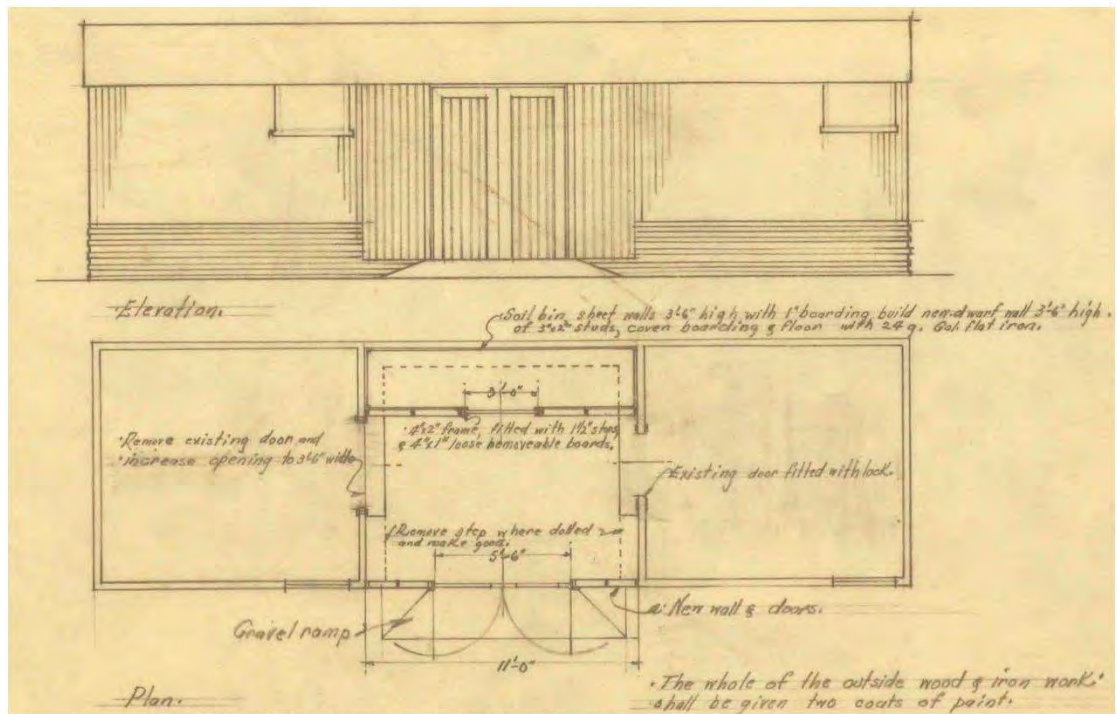


Figure 7: Plans for proposed tool and soil shed, Kingston Oval (1937)
 (Source: National Archives of Australia, A2617, Section 191/7918)

In 1938, the following year, plans were prepared by the same Department to extend the pavilion at the Kingston Oval (refer to Figure 8). At this time, the pavilion consisted of four rooms. Two rooms were accessed via an open space facing the oval and two were accessed via an open space facing Dawes Street. The proposed changes included construction of a verandah and reconfiguration of the plan to create two larger club rooms, each with showers, an umpires' room and a gear store.

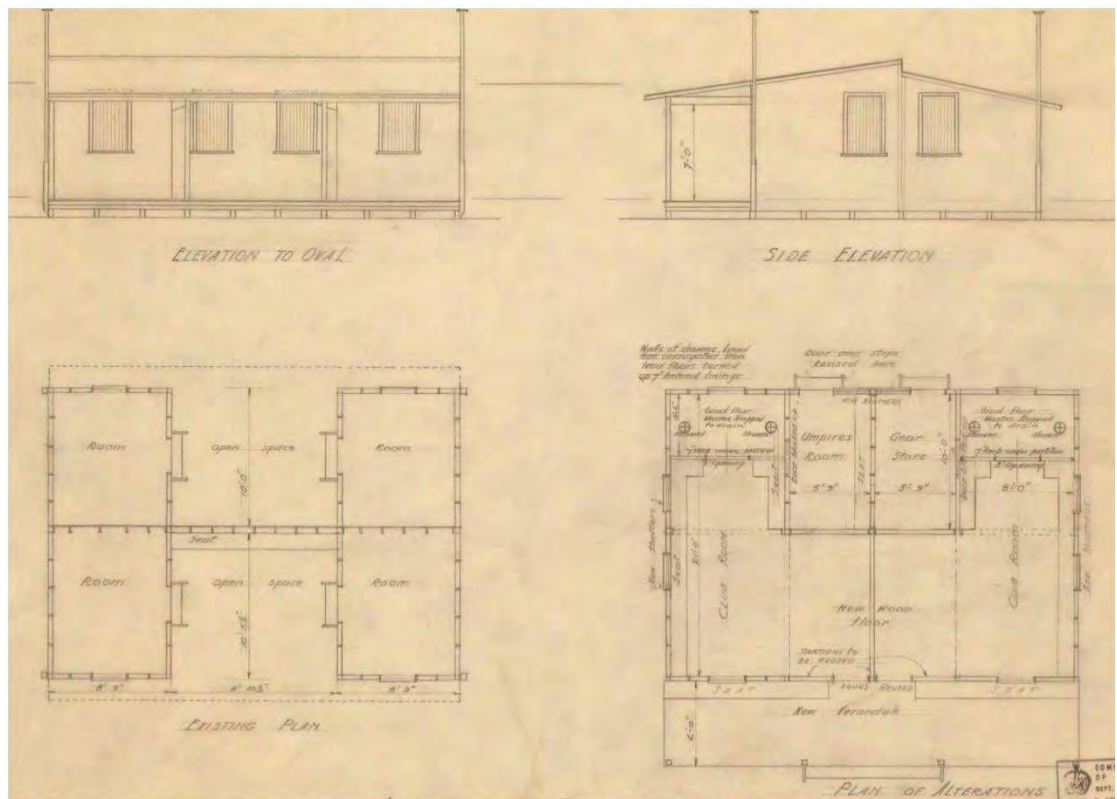


Figure 8: Plans and elevations for alterations to the Pavilion at Kingston Oval (1938)
 The existing plan is on the left and the proposed plan on the right
 (Source: National Archives of Australia, A2617, Section 191/7918)



Figure 9: Aerial of Kingston Oval (June 1940). The pavilion building and soil shed are indicated
(Source: National Library of Australia, Run 4W, 14464)

Despite previous improvements to the playing field, during the 1946-47 cricket season the Kingston Oval was reported to be again not fit for play with the cricket club noted to be playing home games on a ground near the present site of the Fyshwick Markets. At this time, the oval had only one turf pitch which in previous seasons had broken up early in the season as it could not be rested (as can be done when there are multiple wickets).³⁵ The pitch had become so bad that it was dug out by club members in 1953. Following this, the Department of the Interior laid three strips of turf, though this was not available for use until January 1955.³⁶

Sometime between 1945 and 1951, another building was introduced to the south of the pavilion. This building is evident in a 1951 photograph (see Figure 10). A wooden scoreboard was to be installed at the Kingston Oval in 1952, with sufficient room for details of two matches on the oval as well as results from other grounds.³⁷ It is not clear if this was ever erected.

³⁵ Don Selth, p83

³⁶ Don Selth, p84

³⁷ 'New Facilities at Sports Ovals' *The Canberra Times*, 22 April 1952, p5



Figure 10: Kingston Oval with pavilion and separate building to west side of oval (late 1951)
(Source: ACT Heritage Library, 009300)

4.4.3 Plantings at the Kingston Oval

In addition to improving the playing surface and the buildings during the 1930s, extensive plantings were also established at the ground. By 1940, two rows of plantings had been established on the reserve (within the block), parallel with the surrounding streets. There was a break in these rows where the pavilion was located on the west side of the oval, and another break on the east side of the oval (Cunningham Street side). A few larger trees appear to have been incorporated into the rows and may include two of the extant cypress trees. One of these is located to the west and the other to the north-west of the Table Tennis Centre and both have an estimated age of 80-90 years.

By 1940, trees had been planted to both the Dawes Street and Canberra Avenue verges and there were closely spaced plantings to Leichardt Street, although these may have been shrubs. A line of vegetation (possibly shrubs or grasses on an embankment) also extended across the eastern part of the site between Canberra Avenue and Leichardt Street. In a 1945 aerial these appear to be associated with a drainage channel (refer to Figure 11).



Figure 11: Aerial showing the dual row of plantings (1945)
In this aerial the two rows of plantings to the perimeter of the oval appear to be different species
(Source: Geoscience Australia, Map 1537, frame 97)

One of the two rows of plantings surrounding the Kingston Oval was removed during the late 1940s (see Figure 12) and deciduous trees had been planted to the Leichardt Street verge by 1951. The Leichardt Street trees appear to have been removed by 1958 as they are not evident in either the 1958 or 1968 aerial photographs.



Figure 12: Aerial of Kingston looking east with the oval indicated (1940s)
(Source: Archives ACT)

In 1949, it was reported that a line of trees was being planted within 12 feet of the boundary fence and that this left little room for spectators who take their cars to the matches, due to a lack of other shelter.³⁸ These trees may not have lasted long as they are not evident in 1951 photographs of the site (refer to Figure 13).



Figure 13: Aerial of Kingston Oval looking south-west (circa 1951)
(Source: ACT Heritage Library)

Two trees were planted in front (north-east) of the 1953 clubhouse not long after its construction, one of which may be the extant Green Ash. Trees had been planted to Cunningham Street by 1961 and additional trees had also been established in the four corners of the ground by this time and may have included the extant Nettle trees.³⁹

4.4.4 A new Clubhouse and Other Facilities

In addition to the planting of a three wicket pitch in the mid-1950s, a new clubhouse was erected at the Kingston Oval in 1953 (see Figure 14). Funds for the new clubhouse were being raised as early as 1951, when it was reported that the Ladies' Auxiliary of the Eastlake Football Club was to run a cake stall at Kingston shopping centre with proceeds to go to the building fund.⁴⁰ The club rooms were opened by Prime Minister R G Menzies in August 1953. Sir Robert Menzies had been patron of the club for several years and had taken a keen interest in club matches during his stays in Canberra. It was the fourth premises opened by the National Football clubs in Canberra. The club rooms were reported to be erected almost entirely by voluntary effort and donations with a substantial grant from the National Fitness Council.⁴¹

³⁸ 'Inadequate Accommodation for Footballers' *The Canberra Times*, 23 Augusts 1949, p4

³⁹ NSW Government Historical Imagery, 5 November 1961, Run R2C, frame 5098

⁴⁰ *The Canberra Times*, 3 October 1951, p6

⁴¹ 'Mr Menzies to open Eastlake Club Rooms' *The Canberra Times*, 14 August 1953, p7



Figure 14: The 1953 club rooms (no date)
 (Source: *The Canberra Times*, 16 July 1992, p17)

In 1955, only two years after the opening of the new club rooms, an amenities addition (including toilets) was erected at the south end of the clubhouse. Two years later, in 1957, further additions were erected to the north to accommodate a new lounge, bar and storeroom. Only two years after the second addition, the building was again extended at the south end.⁴² A building had also been constructed to the eastern corner of the site by 1958, though it is not clear what this building was used for and it appears that it had been removed by 1959 (see Figures 15 and 16).



Figure 15: Aerial showing the Kingston Oval with a gable building to the east corner (1958)
 An area which may have been used as cricket nets is indicated
 (Source: *Geoscience Australia*, CA145, frame 5118)

⁴² Arthur Wilks, *Table Tennis in Canberra and Region: A history (and a story or two)*, Canberra, 2013, p54



Figure 16: Aerial showing the Kingston Oval (8 April 1959)
(Source: Archives ACT)

In 1960, changing rooms were reportedly erected for cricketers at Kingston.⁴³ These changerooms may have been the building evident in a 1968 photograph (refer Figure 17) which was located opposite the end of Oxley Street in the same location as both the extant Pavilion and the earlier 1920s pavilion. This building was a single storey structure with a broad gable roof and had been removed by 1968.

There were some reports that the cricket nets at the Kingston Oval were located adjacent to Canberra Avenue during the mid-20th century. These may have been located on the oval where there are two rectangular areas of evident in the 1958 aerial photograph. It was reported that the location of the nets on the main road meant that when a bowler beat a batsman practicing in the nets, he “often had to watch the ball disappear through the holes in the netting behind the stumps and cross Canberra Avenue to retrieve the ball”. This problem was solved in 1954 by installing Cyclone wire on the nets.⁴⁴



Figure 17: Aerial of the Kingston Oval from the Causeway (1968). From left to right: the 1953 clubhouse has been extended, part of the extant toilet block has been erected and another building (possibly the cricketers' changerooms) is located where the original pavilion was situated
(Source: Archives ACT)

⁴³ Don Selth, p132

⁴⁴ Don Selth, p85

4.4.5 The Table Tennis Centre

Only 12 years after the opening of the club rooms, in 1965, Eastlake Football Club erected considerably more substantial premises in nearby Oxley Street (the extant Eastlake Football Club).⁴⁵ In 1968, the clubhouse building located at the Kingston Oval was sold to the Government,⁴⁶ and in 1972, the ACT Table Tennis Centre opened in this building. At this time, the Table Tennis Association (now TTACT) took out a three year lease on the premises, during which time it was proposed that the first stage of the National Table Tennis Centre should reach fruition.⁴⁷ In 1987 however, TTACT signed another lease for the Kingston Oval building for 20 years from October 1986.⁴⁸ TTACT continue to occupy the building and regularly undertake upgrades to allow the facility to continue to be used as a centre for table tennis.

In 1975, East Canberra Cricket Club became the first sporting club in Canberra to lease its own ground from the Department and became responsible for the preparation of the centre wicket and the practice wicket while the Department continued to mow the outfield and to provide the necessary equipment for preparing the pitches. This allowed the club to have access to practice wickets and the pavilion at any time.⁴⁹ It also led to a better pitch at ground.⁵⁰

In June 1979, it was advised that Kingston Oval would not be available for the upcoming cricket season as renovation of the irrigation system was to be undertaken. East Canberra Cricket Club suggested that this would be an ideal time to level and re-lay the pitch table. Following the works, the Kingston Oval became the best ground in Canberra, save for Manuka Oval, for some years.⁵¹

4.4.6 A New Lease of Life

In the 1988-89 ACT budget, \$700,000 funding was committed to the Kingston Oval Pavilion redevelopment.⁵² The pavilion was completed in 1989 and was named the Greg Lord Pavilion in memory of the former Executive Director of the Association and a former captain and president of the East Canberra Cricket Club who had died the previous year.⁵³ It was designed by Colin Stewart Urban Design and won the commercial award in the national Dulux colour awards. A painted finish was used in lieu of exposed brick to allow the building to be easily maintained as graffiti could be simply painted over.⁵⁴

In 1993, it was proposed to relocate the practice nets to the far side of the oval under the trees, closer to the storage shed and shifting the pipe fence back to the line of the trees. The changes were proposed to allow cricketers to use rope boundaries and allow football to be played on a proper-size ground.⁵⁵

A plan was prepared for possible additions to the Table Tennis Centre in 1995. This was to include a small addition to the centre of the east side and enlargement of the southern end. The planned works did not come to fruition, though considerable repairs, including to the roof, were required.

⁴⁵ 'The clubhouse beside the oval' *The Canberra Times*, 20 April 1980, p28

⁴⁶ Arthur Wilks, p54

⁴⁷ 'Centre for table tennis opens' *The Canberra Times*, 21 April 1972, p16

⁴⁸ Arthur Wilks, p54

⁴⁹ 'Cricket Ground Lease Expect to Continue' *The Canberra Times*, 4 September 1975, p26

⁵⁰ Don Selth, p176

⁵¹ Don Selth, p209

⁵² Australian Capital Territory Budget 1988-89, p12, National Library of Australia

⁵³ Eastlake Cricket Club webpage, 'Eastlake Cricket Club History', <http://www.eastlakecc.act.cricket.com.au/History.aspx?nw=c>, accessed 2 September 2021

⁵⁴ 'Colourful clubhouse scores first for Canberra architect', *The Canberra Times*, 19 September 1990, p2

⁵⁵ 'Upgrading Kingston Oval imperative to advancement of cricket' *The Canberra Times*, 3 March 1993, p41

4.5 Summary History of Key Events

The following table summarises key events and changes that have occurred at the Kingston Oval since its establishment in the mid-1920s.

Date	Details
December 1924	Blocks in the suburb of Eastlake (now Kingston) were one of the first in Canberra to be auctioned.
1926-27	Houses were erected on Section 16 which is located within the Kingston/Griffith Housing Precinct.
October 1926	A sportsground had been established at the subject site by this time. It was described as being located south of the Printers' Quarters, Eastlake. The Eastlake Cricket Club used the ground for the 1926-27 cricket season.
1927	A hard wicket had been laid down by this time.
1928	The Eastlake Football Club were using the Kingston ground as their home ground by this time. A pavilion had also been constructed at the site by this time and was located on the west side of the ground opposite the end of Oxley Street.
circa 1934-36	Houses were erected on Sections 15 and 17 which are part of the Kingston/Griffith Housing Precinct.
1936	A single turf pitch was established at the Kingston Oval.
1937	Plans were prepared for a tool and soil shed which involved modifications to an existing building.
1938	Plans were prepared to extend the first pavilion.
By 1940	Two rows of trees had been planted by this time, parallel with the surrounding streets on the inside of the Block boundary. Street trees had also been planted to Dawes Street and Canberra Avenue by this time.
1940s	One of the two rows of trees to the perimeter of the site were removed during this period.
Mid-1950s	A three wicket grass pitch was established at the Kingston Oval.
1953	A clubhouse (now the Table Tennis Building) was erected for the Eastlake Football Club close to the intersection of Dawes Street and Canberra Avenue.
1955 and 1957	Additions were erected to the end of the Eastlake Football Club clubhouse.
1960	Changing rooms were erected for cricketers. These appear to have been located opposite the end of Oxley Street where the first pavilion was located.
By 1961	Trees had been planted to Cunningham Street and additional trees had been planted to the four corners of the ground.
1965	Eastlake Football Club erected more substantial premises nearby on Oxley Street.
1968	The 1953 clubhouse was sold to the Government. By this time part of the extant toilet block had been constructed.
1972	The ACT Table Tennis Centre opened in the 1953 clubhouse building.
1989	The Greg Lord Pavilion opened.

5 Physical Assessment

5.1 Introduction

This chapter provides a contemporary physical description of the extant fabric at the Kingston Oval, including the tree plantings and all buildings located on the site. Photographs included in this section were taken by Philip Leeson Architects in September-November 2021 unless noted otherwise.

Canopy Tree Experts were engaged to carry out a preliminary arboricultural assessment of trees located on the site, including an appraisal of the likely age of each and provision of recommendations relating to suitable replacement species for pest species. The full report is provided at Appendix B. A condition assessment of the built structures was also undertaken as part of the preparation of this CMP. A list of all identified defects and recommended conservation works is provided in the Implementation Chapter.

5.2 Overview

The Kingston Oval is bound on all sides by streets, two of which incorporate a bend that give the oval reserve an irregular shape. The oval is surrounded by trees of a variety of ages and species. A concrete footpath is located to Canberra Avenue, though otherwise the boundary between the oval site and the road reserves are unmarked. There are several buildings on the Kingston Oval site including the Table Tennis Centre to the south-west corner, the Greg Lord Pavillion (referred to as the pavilion) and toilet block located to the west and a storage shed to the northern corner of the site. This shed is located adjacent to a bank of four cricket nets (see Figure 18).



Figure 18: Aerial of the Kingston Oval
(Source: ACTmap, showing April 2021)

5.3 The Oval

The Kingston Oval is oriented in a north-south direction with the current length of the oval being just short of 163 metres long (between goal posts) and 125 metres wide. The oval is surrounded by pipe rail fence and has a central grass wicket. The oval also has a grass playing surface, though there is artificial turf adjacent to the boundary in high traffic areas (the cricket nets and player interchange). Further detail on the infrastructure associated with the oval is provided below.



5.4 Plantings



This CMP includes an assessment of both the trees located on the oval reserve as well as those to the adjoining street verges (the street trees). As noted in the Introduction Chapter, the street trees have been included in the study area for this CMP as they contribute to the setting of the oval and because there is no physical delineation between the verge and the reserve. Given that future works on the Kingston Oval have the potential to impact on the street trees, it is considered essential that the CMP include information on both their significance and appropriate conservation policy.

5.4.1 Street Trees

Including street trees, there are almost 150 trees at the Kingston Oval. These have been planted over an extended period of time and include trees from the first decades of it being used as an oval through to the past few decades. A more detailed description of those that were planted prior to 1940 is provided as this is the period of significance identified in ACT Heritage Register entry for the Kingston/Griffith Housing Precinct.

Each of the four streets surrounding the Kingston Oval have a different species planted to the street reserve. These are Himalayan Cedars to Dawes Street which had been planted by 1940, Pin Oaks to Leichardt Street, Nettle Trees to Cunningham Street and English Oaks (a mix of old trees and younger specimens) to Canberra Avenue. Further detail on the street trees is provided in the table below which summaries the information contained in the Preliminary Arboricultural Report (Appendix B).

Street	Tree species	Details	Photo
Dawes Street	Himalayan Cedars	<ul style="list-style-type: none"> • Had been planted prior to 1940 • Originally had been approximately 15 trees • Currently 14 trees • 3 are in poor or very poor condition 	 <p><i>Figure 19: Himalayan Cedars to Dawes Street</i></p>
Leichardt Street	Pin Oaks	<ul style="list-style-type: none"> • Planted sometime after 1968 • Currently 11 trees 	 <p><i>Figure 20: Pin Oaks to Leichardt Street</i></p>

Street	Tree species	Details	Photo
Canberra Avenue	English Oaks	<ul style="list-style-type: none"> • Trees had been planted to the verge by 1940. The oldest specimens however only appear to be 30-50 years old. • Currently 10 trees, 3 of which are 5-10 years old 	 <p data-bbox="879 562 1278 589"><i>Figure 21: English Oaks to Canberra Avenue</i></p>
Cunningham Street	Nettle Trees	<ul style="list-style-type: none"> • Appear to have been planted between 1958 and 1968 • Currently 7 street trees that are 30-50 years old • Pest plant 	 <p data-bbox="879 909 1286 934"><i>Figure 22: Nettle Trees to Cunningham Street</i></p>

5.4.2 Reserve Trees





There are 37 Canary Island Pine trees to the perimeter of the oval which had been part of a more densely planted row that had been established by 1940 and was one of two rows of plantings within the oval reserve which were parallel with the surrounding streets (refer to Figure 23). Each of the Canary Island Pines has been assessed by the arborist to be 70-90 years old (supporting the historical evidence). There are now considerably fewer trees to the perimeter compared with what is evident in the 1940s aerial and it is possible that the plantings were thinned out as the trees increased in size. Of the remaining Canary Island Pines, two are dead and about half are either in poor health (8) or very poor health (7).






Figure 23: Row of Canary Island Pines to east and south sides of oval. The pines are taller than the surrounding deciduous trees

Details on other trees located within the oval reserve are summarised in the table below, with those planted prior to 1940 consisting of two cypress trees located to the west and north-west of the Table

Tennis Centre and possibly two Pin Oaks located to the north side of the oval which may have been incorporated in the 1930s plantings and have an estimated age of 70-90 years.

Tree species	Location	Details	Photo
Cypress (<i>Cupressus</i> sp.)	West and north-west of the table tennis centre	<ul style="list-style-type: none"> • 4 trees • 2 trees have an estimated age of 80-90 years and are in good condition • 2 trees have an estimated age of 30-40 years 	 <p data-bbox="879 712 1209 741">Figure 24: Circa 1930s Cypress trees</p>
Pin Oaks	North of the oval	<ul style="list-style-type: none"> • 2 trees • Estimated age of 70-90 years • Trees in good health 	 <p data-bbox="879 1057 1262 1086">Figure 25: One of the circa 1930s Pin Oaks</p>
Nettle Trees	On all sides of the oval	<ul style="list-style-type: none"> • 34 trees on the reserve • Generally have an estimated age of 30-50 years • Pest plant 	 <p data-bbox="879 1404 1187 1433">Figure 26: Nettle trees to west side</p>
Green Ash	Four corners of the reserve	<ul style="list-style-type: none"> • 15 trees • A mix of trees with an estimated age of either 20-40 or 10-20 years 	 <p data-bbox="879 1751 1337 1800">Figure 27: A Green Ash tree adjacent to the table tennis centre</p>

Tree species	Location	Details	Photo
River Oak	South corner of the reserve	<ul style="list-style-type: none"> • 6 trees • All less than 20 years old 	 <p data-bbox="879 595 1244 622"><i>Figure 28: River oaks to the south corner</i></p>
Silver Poplar	East and south corner of the reserve	<ul style="list-style-type: none"> • 4 trees • Pest plant 	 <p data-bbox="879 940 1270 967"><i>Figure 29: A Silver Poplar to the east corner</i></p>
Elm (<i>Ulmus sp.</i>)	Adjacent to table tennis centre	<ul style="list-style-type: none"> • 1 tree • Whilst the arborist has estimated an age of 70-90 years, the tree is not evident in 1945 and circa 1951 photographs 	 <p data-bbox="879 1285 1294 1339"><i>Figure 30: The Elm adjacent to the table tennis centre</i></p>

5.5 Buildings

5.5.1 Greg Lord Pavilion

The 1989 Greg Lord Pavilion is a two storey building with covered (flat) viewing area to the first floor (see Figures 31-33). The brick building is designed in a Postmodern mode and has curved roof clad in corrugated metal sheeting. The format, proportions and some of the detailing reference historic pavilions/grandstands erected elsewhere in the early 20th century. This includes the central clock ‘tower’ and flag motif perched above the roof as well as the symmetrical format with stairs located at either end.



Figure 31: East side of Greg Lord Pavilion

The lower level is constructed of brick with a rendered plinth. The brickwork extends up to the first-floor level to form the balustrade of the viewing area and is capped by a face brick header course. The remainder of the masonry is painted. The prominent curved roof is supported on round steel columns and there is a substantial half round gutter to either side. The upper-level walls are clad in smooth sheeting with expressed joints.



Figure 32: North end of Greg Lord Pavilion



Figure 33: View of Greg Lord Pavilion from the south-west

The ground floor contains a central storage area which is now used as a medical room. This room has a roller door to both the east and west sides. Either side of this is a changeroom which consists of an open plan change area and a separate space containing toilets and open showers. There are also small storerooms located below the stairs to the north and south ends. Behind (west) the viewing area, the first floor consists of a central meeting room, a kitchen at the north end and a small umpires' room, including toilets to the south end.

5.5.2 Table Tennis Centre

The Table Tennis Centre is a timber framed building with gable roof and has been extended on multiple occasions (see Figure 34-39). The roof is now clad in corrugated Colorbond sheeting and has pre-formed flashings that extend over the plain timber bargeboards. The building is clad in a variety of shiplap weatherboards and horizontal fibre cement boards and there are numerous metal patches fixed over the weatherboards. All windows are sheeted over internally with most also covered externally.⁵⁶ The building has a low face brick plinth (now painted) and there are low concrete brick planter beds to the north end.

⁵⁶ The covering of windows is required for Table Tennis to both block light and prevent air movement.

Eaves are lined in battened sheeting whilst gutters are a quad type and downpipes are rectangular in profile. These downpipes generally discharge onto the ground.



Figure 34: View of Table Tennis Centre from oval, east elevation

The building retains a brick chimney breast to the south-west side of the original 1953 part, though the upper part of the chimney has been removed (refer to Figure 35). A partially enclosed entry porch/deck has been constructed to the east of the original part and is clad in corrugated plastic sheeting.



Figure 35: West elevation, south end with brick chimney breast (indicated)

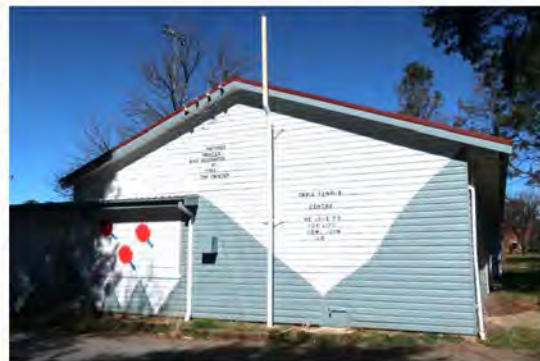


Figure 36: North elevation

The 1957 addition to the north end of the building has the same gable format as the original part and both sections have a low-pitch roof to the east clad in profiled metal sheeting. This eastern section was a verandah on the original 1953 building which incorporated enclosed rooms at either end. The low pitch roof partly returns around the north elevation of the 1957 addition. Tall, steel-framed windows have been installed on the east side and the 1957 portion of the skillion section is clad with weatherboards to dado height and fibre cement boards to the upper part. A doorway with red brick steps remains to the north end of this part whilst another set of steps to the south end of the east elevation indicates the location of a former door.

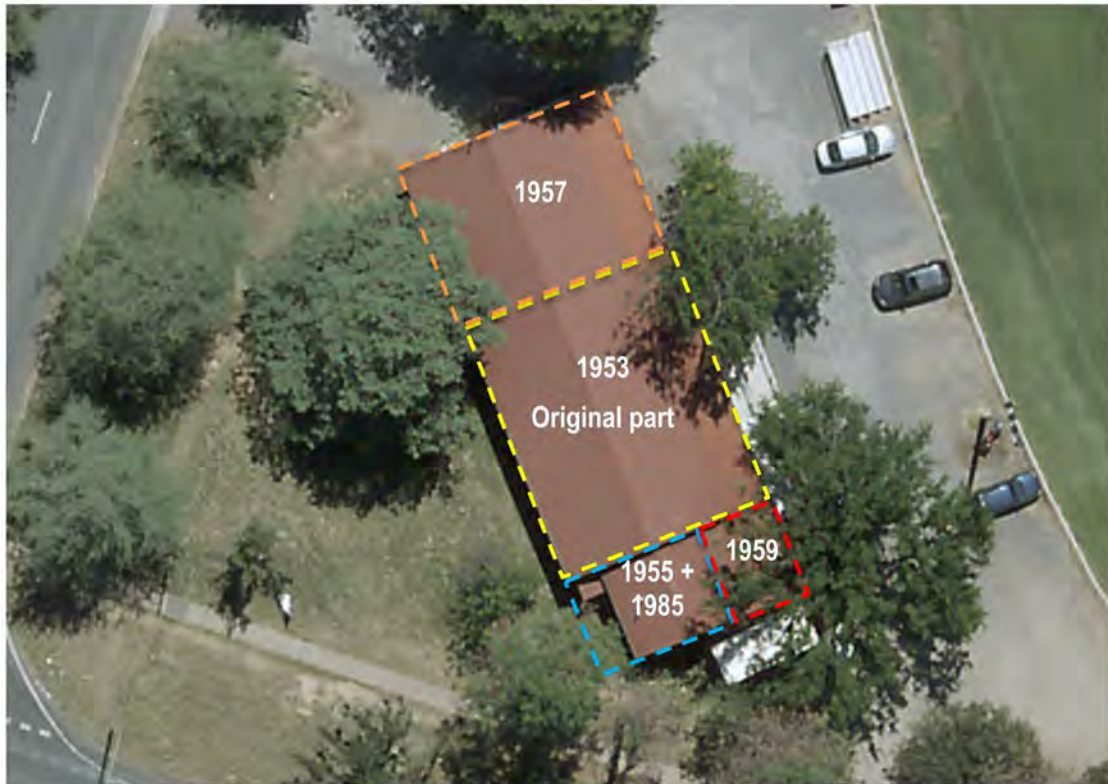


Figure 37: Aerial of Table Tennis Centre showing the original Eastlake Football Club building (yellow) and later additions (Source: ACTmapi, February 2021 aerial)

The 1955 addition to the south end has been partly subsumed into the later 1985 part which has a lower gable roof. The small skillion section to the west side of this is part of the 1955 addition (see Figure 38). The larger skillion section to the east side was constructed in 1959 (see Figure 39).



Figure 38: South-west corner, with 1955 skillion section (centre) and gable addition (1955 and 1985) in foreground



Figure 39: Part north elevation with skillion roof returning partway across the gable end

The interior of the building is now largely an open plan space that is divided into the playing area under the main gable roof (refer to Figure 40) and spectator area (to the east skillion roofed section). The toilets are located in the 1955/1985 section whilst a small office and kitchenette are located in the 1959 section. An early timber door constructed with V-jointed boards remains to the south-west corner of the playing area. A few early wall and ceiling linings appear to remain and consist of smooth sheeting with timber battens/strapping (see Figure 41). Many of the linings however appear to be of more recent origin.



Figure 40: Playing area with early timber door to the left of the photo



Figure 41: Battered ceiling and walls to 1955/1985 section

5.5.3 Toilet Block

Part of the extant toilet block had been erected at the site by 1958 (it is not evident in 1951 aerial). A 1958 aerial photograph suggests that the structure was originally rectangular in plan. The toilet block is now 'T' shaped in plan and incorporates a centrally located open lightwell to the eastern part. The masonry building has been painted with a textured paint and incorporates decorative open blockwork to the west side (see Figure 42). It is now has a low-pitch metal roof with large metal flashing extending over the fascias to the east and west sides. There are high level windows to the east side with a protective mesh cover externally (refer to Figure 43). The doors to the exterior of the toilet block are a flush panel steel type. Gutters have a quad profile and downpipes are rectangular.



Figure 42: West part of toilet block with open blockwork



Figure 43: East part of toilet block

The building is in poor condition with numerous large cracks to the masonry walls and evidence of damp (salt efflorescence) in several locations. There is also considerable vegetation and debris in the gutters and the doors have badly corroded. The amenities don't appear to have been updated for several decades with fixtures continuously leaking and the whole structure presents poorly.

5.5.4 Shed and Cricket Nets

A 2001 metal storage shed and a group of four cricket nets are located to the north-west corner of the oval ⁵⁷ The shed has a simple gable form with roof clad in corrugated metal sheeting and the walls are clad in a wide profile/tray deck sheeting (see Figure 44).

⁵⁷ Development Application form for construction of a maintenance shed, safety fencing and promotional signs, supplied by ACT Sport and Recreation Facilities



Figure 44: West part of toilet block with open blockwork



Figure 45: Cricket nets with storage shed in background

The cricket nets have an artificial turf surface and are surrounded by a tall cyclone mesh fence (refer to Figure 45). The approach to the nets is located in very close proximity to the boundary of the oval and is finished with wide rubber belting/matting.

5.6 Infrastructure

5.6.1 Oval Infrastructure

The galvanised pipe rail fence surrounding the playing oval presents poorly with several sections missing and most parts damaged. Part of the fence has been removed in the vicinity of the pavilion and where a net has been installed at the Canberra Avenue (south) end of the field (see Figure 47). On the eastern side of the oval, opposite the pavilion, signage has been installed on the inner side of the fence (see Figure 46). A net is located at the southern end of the oval to prevent balls from reaching Canberra Avenue. It consists of a pipe frame supporting plastic coated steel mesh.



Figure 46: Pipe rail fence with advertising signage to east side



Figure 47: Net to south end of oval

The oval has four lights for illumination of the oval during the night. An advertising sign with timber seat is located behind the perimeter fence on the north-east side of the oval and may have previously been a scoreboard. Two player shelters are located to the west side of the oval, one to each side of the pavilion. These are clad in Perspex and have an aluminium bench seat. There is no permanent scoreboard and both AFL and Cricket use small, manual scoreboards that are stored inside the pavilion outside of match times.

Two shipping containers, with a roofed area between, have been installed on a temporary basis to the west side of the oval to provide additional storage space and a covered gym area. An underground water tank is located south of the Greg Lord Pavilion and is used for irrigating the sports ground.

5.6.2 Street Infrastructure

A Canberra Tracks sign is located to the north-east corner of the site and provides information on the construction of housing in Canberra by the FCAC and FCC. Overhead powerlines run parallel with

Cunningham Street and are supported on a mix of timber and concrete posts. There are four remaining concrete light posts to Canberra Avenue, with one on the corner of Dawes Street having been replaced with a steel alternative. Gutters to the streets are an upright concrete type consistent with the remainder of the heritage precinct.

A stormwater easement is located to the eastern part of the site and extends between Canberra Avenue and Leichardt Street. A sewer easement extends from the rear (south-west) of the Table Tennis building to Dawes Street, opposite Oxley Street.

6 Analysis and Statement of Significance

6.1 Introduction

This chapter includes both a comparative analysis to confirm the significance of the Kingston Oval as part of the Kingston/Griffith Housing precinct and an assessment of the significance of the place against the ACT Heritage Criteria as part of the broader precinct. This assessment is informed by both the Historical Overview and the Physical Assessment included in the preceding chapters as well as the Preliminary Arboricultural Report included at Appendix B.

6.2 Comparative Analysis

This section includes an overview of the development of parks and reserves within the Federal Capital during its formative decades as part of the broader ethos adopted in the planning of the new 'Garden City'. It also includes a comparison with other contemporaneous sporting grounds located in the inner north and inner south, including others that are similarly part of 'Garden City' housing precincts included on the ACT Heritage Register.

6.2.1 The 'Garden City'

'Garden City' planning in combination with American 'City Beautiful' principles underpinned the initial planning of the Canberra by the Federal Capital Advisory Committee (FCAC), Federal Capital Commission (FCC) and the Department of the Interior (DOI) from the 1920s up until World War II. Both planning ideals typically adopted broad avenues terminated by strategically located buildings, monuments, and natural features.

Another planning objective of the FCAC was to establish a physical identity for various locations within the new Federal Capital. This was achieved in many ways, but a fundamental technique adopted was the orientation of neighbourhoods about public gardens and the separation of neighbourhoods by reservations that accommodated community activities and created distinct residential enclaves. The reserves established in Canberra were not internal (surrounded by houses) as per imported 'Garden City' ideals but adopted an 'external reserve form' under the guidance of John Sulman, chair of the FCAC (1921-24). This meant that they were surrounded by streets and could be accessed by all, with many now containing community buildings/facilities. Previous studies have found that the external nature of Kingston Oval is not a notable or typical example of the external type of residential reserve as it was/is a place that is used by a broader group than just the local community.⁵⁸

Extensive tree planting early in Canberra's development was another key aspect of beautifying the city and creating the 'Garden City'. The Canberra area was transformed over several decades from a relatively bare pastoral and farming landscape into a well-vegetated landscape. Trees were planted for both aesthetic purposes and to act as windbreaks or shelterbelts.⁵⁹

As Superintendent of the Parks and Gardens Branch of the Federal Capital Commission (FCC), Charles Weston was responsible for the afforestation of recreation grounds, reserves parks and boulevards in the newly established Federal Capital.⁶⁰ Whilst the trees at Kingston Oval were planted following the departure of Weston, they share similarities with plantings established by him, including those to Northbourne Oval (1921) which consisted of pines to the perimeter of the site with poplars, oaks and elms inside the line of pines. This approach was also adopted at Manuka Oval under Weston's guidance (1924). Weston was also an advocate of the principles of the Garden City movement. Public open spaces and private gardens were intended to collectively contribute to the health and welfare of residents.⁶¹

⁵⁸ Andrew Ward, Assessment of Garden City Planning Principles in the ACT, September 2000



⁵⁹ Navin Officer Heritage Consultants, Haig Park: Conservation Management Plan, 2020, p40

⁶⁰ Manuka Oval, Heritage Register Entry

⁶¹ Paul Reid, 2002, p360

6.2.2 Contemporaneous Reserves

The following table provides an overview of other sports or recreation grounds located in inner Canberra which were established during the first few decades of the new Federal Capital. A few larger reserves located in other ‘Garden City’ suburbs are also included. There are numerous other reserves in these suburbs (not included in the table), though these are generally much smaller than the Kingston Oval and many are small pocket parks.

Reserve/ ground	Image	Overview and Heritage Status
Reid Park Sports Ground	 <p data-bbox="405 842 901 898"><i>Figure 48: Reid Park Sports Ground with depot building to right</i></p>	<p data-bbox="938 548 1342 674">The sports ground may have been established by 1928, when it was reported that it was the home ground for the Northbourne Cricket Club.⁶²</p> <p data-bbox="938 689 1342 815">The Oval was used for AFL from about 1931 when it was reported that the Ainslie Football Club were temporarily relocating to Reid Park.⁶³</p> <p data-bbox="938 831 1342 981">It is included on the ACT Heritage Register as part of the Reid Housing Precinct. Like the Kingston Oval, it is located on a main boulevard (Limestone Avenue) that separates different suburbs.</p>
Manuka Oval	 <p data-bbox="405 1368 901 1424"><i>Figure 49: Aerial view of Manuka Oval (Source: Manuka Oval webpage)</i></p>	<p data-bbox="938 1041 1342 1290">Established in the 1920s as an open field. In 1929, a turf pitch was laid and a wire mesh fence erected around the perimeter. Whilst the ground has mature perimeter plantings, it now has relatively substantial buildings and grandstands that have compromised the relationship between the trees and the oval.</p> <p data-bbox="938 1305 1342 1456">It has been used by both Rugby League and Union, though AFL and cricket have become the major tenants and both host important games at the ground. It is Canberra’s premier AFL/Cricket ground.</p> <p data-bbox="938 1471 1342 1563">Manuka Oval and Caretaker’s Cottage are included on the ACT Heritage Register.⁶⁴</p>

⁶² *The Canberra Times*, 5 October 1928, p5

⁶³ *The Canberra Times*, 10 March 1931, p3



⁶⁴ ACT Heritage Register entry for Manuka Oval and Caretaker’s Cottage

Reserve/ ground	Image	Overview and Heritage Status
Northbourne Oval	 <p data-bbox="405 568 783 622"><i>Figure 50: Aerial view of Northbourne Oval (Source: ACT Heritage Library)</i></p>	<p data-bbox="935 286 1342 439">Planting commenced in 1921 and the ground was formally opened in 1925. It was used for cricket, Rugby League, AFL and Rugby Union, though is now one of the premier venues for Rugby League.</p> <p data-bbox="935 456 1342 696">Located near the Braddon Housing Precinct, its development occurred alongside the provision of housing and schools in the area. Early buildings have been removed and the south part of the ground has been redeveloped. A few early trees remain from the once densely planted perimeter.⁶⁵</p> <p data-bbox="935 714 1299 745">Listed on the ACT Heritage Register.</p>
Griffith Oval No. 1	 <p data-bbox="405 1099 820 1153"><i>Figure 51: Griffith Oval (Source: Canberra Dog Walks Facebook page)</i></p>	<p data-bbox="935 808 1342 960">Established by 1933 it was one of the few early public ovals (another was at Turner). It was not until the mid-late 1940s that an attempt was made to formalise it as a sporting field.</p> <p data-bbox="935 978 1334 1160">The Oval is surrounded by mature plantings (largely intact) which were sequentially planted from the 1940s and give the oval a landscape character which has been noted to be unparalleled at other early ovals in the ACT.</p> <p data-bbox="935 1178 1334 1267">It is associated with the Eastern Suburbs Rugby Union Club and was their home ground from 1952.⁶⁶</p> <p data-bbox="935 1285 1321 1317">Included on the ACT Heritage Register.</p>
Ainslie Football Oval	 <p data-bbox="405 1704 767 1758"><i>Figure 52: Ainslie Oval (Source: Scoreboard pressure webpage)</i></p>	<p data-bbox="935 1377 1342 1529">The Ainslie Football Club transferred to Ainslie Oval and began constructing its clubrooms in 1952. The Club was formed in 1927 and its first home ground was Northbourne Oval.⁶⁷</p> <p data-bbox="935 1547 1342 1700">The oval is now enclosed by a fence that restricts public use of the ground. Like the Kingston Oval, it is located on a main boulevard (Limestone Avenue) that separates different suburbs.</p> <p data-bbox="935 1718 1267 1771">Not included on the ACT Heritage Register.</p>

⁶⁵ Northbourne Oval Conservation Management Plan, Philip Leeson Architects, 2019

⁶⁶ ACT Heritage Register entry for Griffith Oval No. 1

⁶⁷ 'Short History of the Ainslie Football Club', Ainslie Football Club webpage, accessed 4 November 2021

Reserve/ ground	Image	Overview and Heritage Status
Corroboree Park	 <p data-bbox="405 638 663 689"><i>Figure 53: Corroboree Park (Source: DestiMap webpage)</i></p>	<p data-bbox="938 286 1318 499">Corroboree Park is a public reserve rather than a sporting field, though incorporates tennis courts and a tennis pavilion (established in 1927). It also includes the Ainslie Hall (1927) and a 1920s school building relocated from Russell.</p> <p data-bbox="938 517 1302 633">500 trees were planted in the reserve during the 1930s. There is no formal planting arrangement and trees are natives.</p> <p data-bbox="938 656 1326 745">It is included on the ACT Heritage Register as part of the Corroboree Park Housing Precinct.⁶⁸</p>
Wakefield Gardens Park	 <p data-bbox="405 1090 724 1142"><i>Figure 54: Wakefield Gardens (Source: Top-rated online webpage)</i></p>	<p data-bbox="938 808 1342 1021">Wakefield Gardens Park is a public reserve rather than a sporting field and includes a community building (vacant) to the north side of the park. It is located behind the Ainslie shops and includes mature tree plantings throughout which are generally arranged in formal rows.</p> <p data-bbox="938 1043 1270 1133">It is included on the ACT Heritage Register as part of the Wakefield Gardens Housing Precinct.</p>

Of the examples of other sports ovals/reserves included in the table above, Kingston Oval could be said to be most comparable with the Reid Park sports ground, which was established within about a year of the Kingston Oval. Both grounds were part of ‘Garden City’ suburbs established in the formative years of the Federal Capital. They both also largely retain mature plantings to the perimeter which give a sense of enclosure, and both remain open to informal community use. This is unlike other early ovals at Manuka, Ainslie, Northbourne and Duntroon which were enclosed for senior sport and were generally not available for public recreational use.

Sportsgrounds such as Northbourne Oval and Manuka Oval have also been subject to more intensive development and have lost many of the mature plantings to the perimeter. Another example that is surrounded by mature plantings is Griffith No. 1 Oval. These trees have been noted to give the Oval a landscape character that is unparalleled by other early ovals in the ACT.

Of the reserves included in the early ‘Garden City’ suburbs, that at Kingston and Reid are atypical in that they are much larger reserves that were established as sporting grounds regularly used by a wider group when compared to smaller reserves and pocket parks. Reserves including Wakefield Gardens and Corroboree Park are amongst some of the larger parks in ‘Garden City’ suburbs.

⁶⁸ ACT Heritage Register Entry for the Corroboree Park Housing Precinct

6.3 Assessment Against ACT Heritage Significance Criteria

In this section the significance of the Kingston Oval as part of the Kingston/Griffith Housing Precinct has been assessed against the current ACT Heritage Significance Criteria. Where relevant, this information derives from the ACT Heritage Register entry for the Precinct, whilst other, more specific information is informed by the work of this CMP.

(a) importance to the course or pattern of the ACT's cultural or natural history;

As part of the Kingston/Griffith Housing Precinct, the Kingston Oval is important as an example of an early recreation ground that was established as the adjacent 'Garden City' suburb was being developed. Garden City planning, in combination with American 'City Beautiful' principles, underpinned the initial planning of Canberra by the Federal Capital Commission. The integration of recreation and housing areas was a central tenet of the Garden City planning philosophy.

Historically, the Kingston Oval has been used since its establishment in the 1920s as a venue for cricket and Australian Rules Football. It has also been the home of ACT Table Tennis since 1972. Throughout this time the sports ground has remained accessible to the local community and broader public.

The formation of the Kingston Oval was contemporary with the early development in the new Federal Capital, part of which was centred around the industrial and commercial centre of Eastlake (now Kingston). It was constructed by the Government at a time when it had control over workers accommodation and the facilities available to them. The Kingston Oval was located adjacent to the housing erected for workers at the Government Printing Office and was established prior to much of the housing that is now part of the Kingston/Griffith Housing Precinct. The three residential sections that are part of the Precinct were developed in three phases: 1926-27, 1934-35 and in 1936.

Limited infrastructure was put in place when the ground was first established and continual campaigning by the sporting clubs has been required over the life of the oval to improve the ground in an attempt at meeting changing requirements and expectations. Early buildings and other facilities provided at the Kingston Oval were modest in nature, reflecting the limited funds that were available. A modest fence was erected around the oval in circa 1929 and the pre-1940 infrastructure has largely been removed including the 1920s clubhouse and the early hard (1920s) and turf (1936) wickets as these have been replaced with more substantial facilities. Extensive plantings were established at the ground during the 1930s including two rows of plantings around the perimeter of the site (one row was removed as they matured) and street trees to Dawes Street and Canberra Avenue.

Elements that contribute to understanding the early format include the grassed oval as well as the pre-1940 trees to both the perimeter of the oval and the street verges.

As part of the Kingston/Griffith Housing Precinct, the Kingston Oval meets this criterion.

(b) has uncommon, rare or endangered aspects of the ACT's cultural or natural history;

The Kingston Oval is not the earliest sportsground established in Canberra with both Northbourne Oval and Manuka Oval predating that at Kingston. No uncommon or rare aspects of the ground have been uncovered to date. Other sports grounds were similarly surrounded by dense tree plantings and those such as Griffith Oval and the ovals at Reid Park also retain tree plantings to the perimeter that provide a sense of enclosure. Like Kingston, that at Reid is also contemporary with the residential development of the adjacent 'Garden City' suburb.

The ground is somewhat atypical of recreation reserves in 'Garden City' suburbs of Canberra due to its large size and because it has been used by a broader section of the community (not just local residents). There are however other grounds that share these characteristics including the ovals at Reid Park as well as Northbourne Oval which was established alongside the adjacent residential development in Braddon.

The Kingston Oval does not meet this criterion.

(c) potential to yield important information that will contribute to an understanding of the ACT's cultural or natural history;

Whilst there were two streams located in close proximity to the Kingston Oval, a delegate for the ACT Heritage Council has advised that Aboriginal places are unlikely to be located at the subject site. Though it is acknowledged that rivers and creeks were important food sources and were often used as pathways by Indigenous people, past activities at the Kingston Oval are likely to have disturbed the site.

The Kingston Oval does not meet this criterion.

(d) importance in demonstrating the principal characteristics of a class of cultural or natural places or objects;

The Kingston Oval demonstrates the principal characteristics of a sports ground established in Canberra during the first few decades of development. Like other sports grounds established during this time, the reserve is surrounded by a row of evergreen Cypress trees to protect the field from the wind during all seasons. At the Kingston Oval, Canary Island Pines were densely planted in rows and created a sense of enclosure for the ground. The remaining trees maintain a strong visual relationship with the sports ground and provide aesthetic unity between the oval and the remainder of the Kingston/Griffith Housing Precinct which includes mature trees in generous landscape settings.

Other examples in Canberra that retain perimeter plantings are Reid Park sports ground and Griffith No. 1 Oval, though these are mostly deciduous plantings. Other grounds, including Northbourne Oval and Manuka Oval, have been partially redeveloped and have lost most of their perimeter plantings. The development at these grounds has diminished the relationship between the trees and the sports ground.

Whilst the Kingston Oval is part of a 'Garden City' suburb established in the formative years of the Federal Capital and is representative of the Government's commitment to provide recreation facilities in early Canberra, it is not a typical 'Garden City' reserve as it was/is a larger reserve with broader purpose that sees it utilised by a wider group of people than just the immediate local community. The reserve and its mature trees do however enhance the concept of Canberra being a 'Garden City'.

The Kingston Oval meets this criterion.

(e) importance in exhibiting particular aesthetic characteristics valued by the ACT community or a cultural group in the ACT;

The ACT Heritage Register statement of significance for the Kingston/Griffith Housing Precinct notes that "the resultant composition of architectural and landscape elements form a cohesive streetscape that the community values". This is based on consultation workshops held during October 2000 with industry representatives, precinct residents and the general community to discuss proposed revisions to the conservation objective and development controls for the 'Garden City' precincts. During these workshops all participants agreed that the precincts had special values that should be conserved, with the aesthetic unity a valued attribute. This emanates from Garden City characteristics commonly employed in early Canberra including generous garden settings as well as grassed verges, hedges and street trees.

Whilst detailed research to substantiate the above has not been undertaken during the preparation of this CMP, representatives from the Kingston and Barton Residents Group have noted that they value the green space that the sports ground provides and that they believe that the trees around the oval make a significant contribution to its heritage character and that of the broader Kingston/Griffith Housing Precinct.

As part of the Kingston/Griffith Housing Precinct, the Kingston Oval meets this criterion.

(f) importance in demonstrating a high degree of creative or technical achievement for a particular period;

The Kingston Oval, including the plantings, is typical of sports grounds established in Canberra during the 1920s and 1930s. It does not demonstrate any notable creative or technical achievement.

The Kingston Oval does not meet this criterion.

(g) has a strong or special association with the ACT community, or a cultural group in the ACT for social, cultural or spiritual reasons;

As an early sports ground in the Federal Capital that has been continuously open to the local community since 1926, the Kingston Oval has, and continues to be, an important place for nearby residents. Members of the Kingston and Barton Residents Group have indicated that the Kingston Oval is an important community open space that is valued for its accessibility to the public and have noted that it is used for exercise, playing with children and dog walking. Whilst this suggests that the Kingston Oval has a special association with the local community, a comprehensive assessment of the social values of the Kingston Oval was not undertaken to ascertain its value to the broader ACT community.

The research has confirmed that the Kingston Oval has a strong association with the Eastlake Football Club and the Eastlake Cricket Club, though this association has been assessed under Criterion H as these groups are not considered to be a cultural group as defined in the ACT Heritage Council Heritage Assessment Policy.

The place currently does not meet the threshold for a strong or special association, which is difficult to demonstrate on available evidence. However, this does not preclude future reassessment based on new information.

(h) has a special association with the life or work of a person, or people, important to the history of the ACT.

The Kingston Oval has a special association with both the Eastlake Football Club and East Lake Cricket Club with earlier iterations of both clubs having used the Kingston Oval for almost 100 years since its establishment in 1926. Both clubs continue to use the oval as one of their home grounds, though it is noted that senior AFL games are currently held at other grounds. Whilst these clubs have amalgamated with other clubs since this time, the Kingston Oval remains the home ground of the Eastlake Cricket Club and a key ground for the Eastlake Football Club whose main premises are located in close proximity to the Oval (on Oxley Street).

The use of the ground for Cricket and AFL is evident in the physical fabric, including the oval sports ground and associated infrastructure. The trees that shelter the ground are indicative of an early sports ground in Canberra more broadly and not specifically cricket or AFL.

Eastlake Football Club was one of the earliest members of the ACTAFL and is understood to be the team that has been in the competition for the greatest number of years, having entered the league in 1926.⁶⁹ Eastlake Cricket Club was one of seven founding clubs that formed The Federal Territory Cricket Association in 1922 and is the only one remaining in the ACT cricket competition. The considerable length of time for which both clubs have utilised the oval makes the association between them and the sports ground special. Whilst there is also little doubt of the importance of both of these clubs at a local level, the prominence of the clubs with regards to shaping the history of the broader ACT is not strong.

The ACT Heritage Register entry for the Kingston/Griffith Housing Precinct identifies that the public domain landscape is associated with Thomas Charles Weston who was Canberra's first Superintendent of Parks and Gardens. Whilst the 1930s trees (on the reserve and street verges) are significant and are typical of Weston's choice of planting for Canberra, they were established after Weston left the Parkes and Gardens Branch of the Federal Capital Commission in 1926. No plans of the plantings have been located to date to confirm who was responsible for the design of plantings at the Kingston Oval. Further, no information has come to light to suggest that the association between the designer and the plantings is strong or special.

The place does not meet the threshold for special association, which is difficult to demonstrate on available evidence. However, this does not preclude future reassessment based on new information.

⁶⁹ Queanbeyan is the oldest local football club. Keith Miller, *Kick it long*, Canberra, 2013, p9

6.4 Statement of Heritage Significance

The statement of significance for the Kingston/Griffith Housing Precinct, which provides a broad overview of the significance of the whole heritage precinct, is reproduced in Appendix C. A specific summary statement of significance for the Kingston Oval has been prepared below to provide more detailed guidance on conserving the heritage values of the Kingston Oval as part of the broader heritage precinct. This summary statement is consistent with the values identified in the Kingston/Griffith Housing Precinct Statement of Significance.

6.4.1 Kingston Oval Summary Statement of Significance

As part of the Kingston/Griffith Housing Precinct, the Kingston Oval is of historic and representative significance to the Australian Capital Territory. It also has aesthetic characteristics that are valued by the ACT community.

The Kingston Oval, as part of the Kingston/Griffith Housing Precinct, is historically important as an example of an early recreation reserve that was established during the formative years of the Federal Capital. Its development, including the planting of street and park trees, alongside contemporaneous government housing in a 'Garden City' suburb is historically significant as 'Garden City' planning, in combination with American 'City Beautiful' principles, underpinned the initial planning of Canberra. Historically, the Kingston Oval is also significant as a reserve that has been used since its establishment in 1926 as a venue for cricket and Australian Rules Football and has also continually been accessible to the local community and broader public. (Criterion A)

The Kingston Oval is one of few remaining ovals that continues to demonstrate the principal characteristics of a sports ground established in Canberra during the first few decades of development. It does this through the remaining trees to the perimeter, which are typical of the evergreen plantings at early sports grounds that were introduced to protect the fields from the wind during all seasons. The remaining trees at Kingston maintain a strong visual relationship with the sports ground and provide aesthetic unity between the oval and the remainder of the Kingston/Griffith Housing Precinct which includes mature trees in generous landscape settings. This cohesive streetscape is valued by the community as is the aesthetic contribution that the largely landscaped reserve makes to the heritage precinct. The reserve and its mature trees also enhance the concept of Canberra being a 'Garden City'. (Criteria D and E)

6.5 Features Intrinsic

As identified in the Introduction, the landscaped recreation area with community facilities, known as the Kingston Oval, is identified as a feature intrinsic in the Kingston/Griffith Housing Precinct which is listed on the ACT Heritage Register. Other features intrinsic identified in the Heritage Register entry which are relevant to the subject site include:

An early c20th 'Garden City' planned subdivision including;

- i. landscaped recreation area with community facilities;
 - iii. land use allocated to distinct uses to create and ordered and efficiently planned environment i.e. residential, recreational and community uses;
 - iv. Generous landscape verges containing substantial trees, footpaths and incidental landscaped spaces;
 - xii. public utility services removed from the streetscape and located underground or at the rear of blocks [it is noted that there are currently overhead powerlines to the south-east side of the oval and that powerlines have existed in this location since at least the 1940s];
 - xiii. Unified landscape treatments and street furniture including verges, driveway materials, street trees, hedges, fences, street signs and lighting.
4. **Historic remnants of the original street furniture including street signs, fire hydrants and footpath lighting and other elements including kerbs and gutters.**
 5. **Mature public and private treescape of historic, aesthetic, natural and amenity values.**

To provide further guidance, a list of significant, neutral and intrusive features has been developed below. In accordance with the Burra Charter process, this has been informed by the historical and comparative analyses, as well as the physical assessment undertaken during the preparation of this CMP.

6.5.1 Significant Features

The attributes listed below are significant features of the Kingston Oval as part of the Kingston/Griffith Housing Precinct and require conservation. These elements or features predate 1940 which is the period of significance for the 'Garden City' suburb.

- Grassed oval playing field historically used for cricket and AFL and also accessible to the public;
- Pre-1940 trees that provide a sense of enclosure to the Kingston Oval including:
 - The row of Canary Island Pines surrounding the sports oval;
 - Himalayan Cedars (*Cedrus deodara*) to Dawes Street;
 - English Oaks (*Quercus robur*) to Canberra Avenue, though the extant trees are of more recent origin;
 - Two Pin Oaks (*Quercus palustris*) to the north of the oval;
 - Two Cypress trees (*Cupressus sp.*) to the south-west corner of the site.

These trees are identified in Figure 55 below.

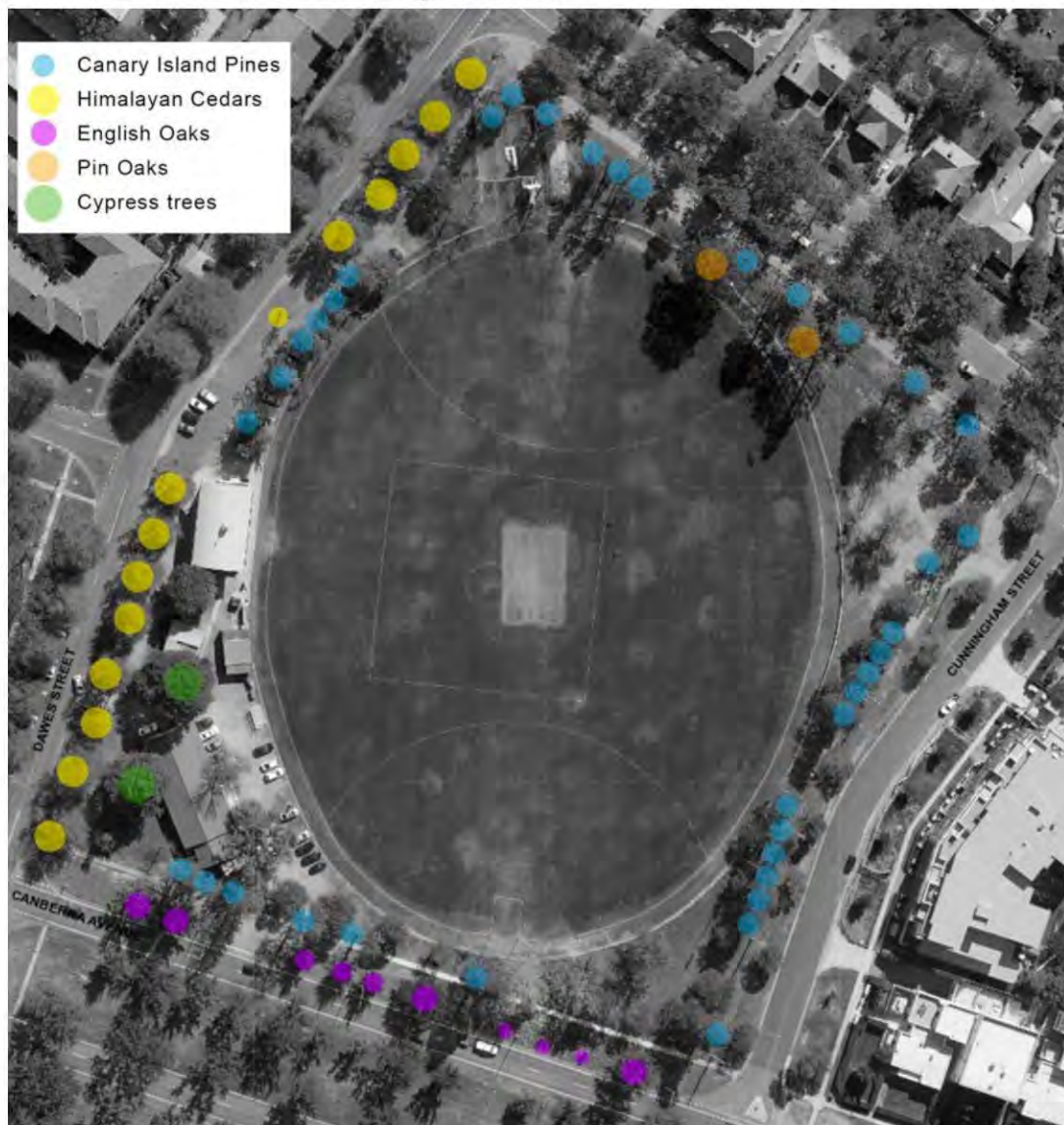


Figure 55: Aerial of the Kingston Oval showing the location of significant trees
(Source – base image: ACTmapi, showing April 2021)

6.5.2 Neutral Features

The elements listed below are considered to be neutral features within the Kingston/Griffith Housing Precinct. It is noted that the ACT Table Tennis Centre has some historic value due to its long-term use for sports, though it has been subject to considerable alteration over an extended period of time. Other buildings included in this list also support significant sporting uses whilst the post-1940 trees make a contribution to the canopy cover and appeal of the 'Garden City' suburb.

- 1953 ACT Table Tennis Centre Building with multiple additions
- circa 1950s/60s public toilets
- 1989 Greg Lord Pavilion
- 2001 storage shed
- Cricket nets
- Post-1940 trees that were planted to supplement the pre-1940 trees.

6.5.3 Intrusive Features

Intrusive features are those which have a negative impact on the heritage significance of the Kingston Oval as part of the Kingston/Griffith Housing Precinct. Intrusive features at the Kingston Oval include:

- Shipping container storage units.

7 Opportunities and Constraints

This section explores a range of opportunities and constraints relating to the significance of the site, statutory obligations, management context and stakeholder views. These opportunities and constraints have been considered together with evidence of significance in the development of conservation policies.

7.1 Heritage Significance

There are both opportunities and constraints arising from the need to conserve and enhance appreciation of the significant features of the place (listed in the preceding chapter). Some of the main challenges and opportunities are discussed below.

7.1.1 Significant Trees

The planting of dense rows of trees to the perimeter of sporting grounds was common practice during the first few decades of the newly established Federal Capital. These plantings have largely been removed at other contemporaneous grounds including Manuka and Northbourne ovals, with those at the Kingston Oval being much more intact. As with other pine plantings from this time, those at Kingston have declined in recent years and there are now numerous dead trees/trees in poor health (see Figure 56). These are identified on the diagram contained in Section 7.4 of this CMP.



Figure 56: Row of Canary Island Pines to west side of oval. Some are dead and others are in very poor health. The Himalayan Cedar in the centre of the photo is also in very poor health

Whilst the sense of enclosure afforded by mature trees is a significant feature of the Kingston Oval that should be maintained, this impacts on opportunities to undertake changes at the site to facilitate ongoing significant uses (discussed below). Where the condition of significant trees has declined, there is an opportunity to replace these specimens with new trees to improve the presentation of the place. There may be an opportunity to plant replacement trees in a slightly different location to improve the usability of the Kingston Oval for significant uses and improve canopy cover in the reserve. To limit impacts on significance, trees would need to be located to the perimeter of the site in a formal arrangement that reflects the early format (excluding the second row of plantings to the reserve which was removed in the 1940s). The plantings would need to maintain a sense of enclosure and retain a visual relationship with the sports oval.

The mature street trees to the Kingston Oval are important features in the Kingston/Griffith Housing Precinct. The trees to Leichardt Street, Dawes Street and Canberra Avenue are the same species as other trees along the length of the respective streets. These trees would preferably be replaced with the same species to maintain consistency in each street, particularly those to Leichardt Street where the other verge trees are similarly located within the heritage precinct. There would be greater flexibility in replacing

trees (weed species) to Cunningham Street as these differ to the other trees on the street. Whilst the trees to Dawes Street and Canberra Avenue are consistent with other plantings to the respective streets, the other trees are located outside the heritage precinct.

7.1.2 Significant Uses

The Kingston Oval has been used for cricket (see Figure 57) and Australian Rules Football matches since it was established and has also been open throughout its history for the local community to use outside of match times. The longstanding association of the Kingston Oval with cricket and AFL are of significance as is the open nature of the ground which allows for informal community use. With the increasing density of residential development in Kingston, community use of the grassed oval is likely to grow. Each of these three significant uses should be both permitted and encouraged to continue.



Figure 57: The wicket at the Kingston Oval being prepared for cricket. The AFL goal posts have been stored behind the boundary fence

The provision of spaces for recreation and community use close to residential development was an important principle in early Canberra. Whilst the building to the south-west of the site was constructed as a clubhouse for AFL, it has mostly been used by Table Tennis ACT since it was erected. Whilst this use and the building itself post-dates the period of significance for the Kingston/Griffith Housing Precinct, both the modest weatherboard building and the current use are compatible with the heritage values of the precinct. As such, this use, or other similar compatible uses that are sympathetic with the heritage significance of the place, should continue to be facilitated.

7.1.3 Part of a Garden City Housing Precinct

The location of the Kingston Oval in a 'Garden' City residential heritage precinct necessarily restricts the scale and extent of any potential new development and provides cues for the character of new structures. Whilst other individual sports grounds that are included on the ACT Heritage Register, such as Manuka Oval and Northbourne Oval, need to be sympathetic with the heritage values of the sports ground, there are additional requirements at the Kingston Oval as there is a need for development to also be sympathetic with the heritage values and character of the housing precinct.

The existing two storey Greg Lord Pavilion, which is a well-regarded building, demonstrates that new development need not be single storey or directly adopt the materials and detailing of significant housing stock to be considered sympathetic with the precinct. It demonstrates that there is an opportunity to subtly use contemporary design in a manner that appropriately references historic forms.

7.2 Statutory Obligations

The statutory items that pertain to the Kingston Oval as part of the Kingston/Griffith Housing Precinct include:

- *Australian Capital Territory (Planning and Land Management) Act 1988*
- National Capital Plan (Commonwealth)
- Territory Plan 2023 (ACT)
- *Planning Act 2023 (ACT)*
- *Heritage Act 2004 (ACT)*
- National Construction Code
- *Trespass on Territory Land Act 1932 (ACT)*
- Urban Forrest Bill 2022 (ACT)

It is noted that the *Tree Protection Act 2005* protects both Registered Trees (those identified as being exceptional) as well as Regulated Trees which are those that meet specific criteria and located on leased land. This legislation has not been covered in this CMP as these categories do not apply to trees located at the Kingston Oval.

7.2.1 National Capital Plan

The *Australian Capital Territory (Planning and Land Management) Act 1988* established the National Capital Planning Authority, who were required to prepare a National Capital Plan (NCP). The purpose of the Plan is to ensure that the ACT is planned and developed in accordance with its national significance with detailed provisions provided for Designated Areas. These areas are deemed to have 'the special characteristics of the National Capital'. Whilst the Kingston Oval is not located within a Designated Area, Canberra Avenue (to Hume Circle) is a Main Avenue in the NCP (see Figure 58) and is covered by the Main Avenues and Approach Routes Precinct Code.

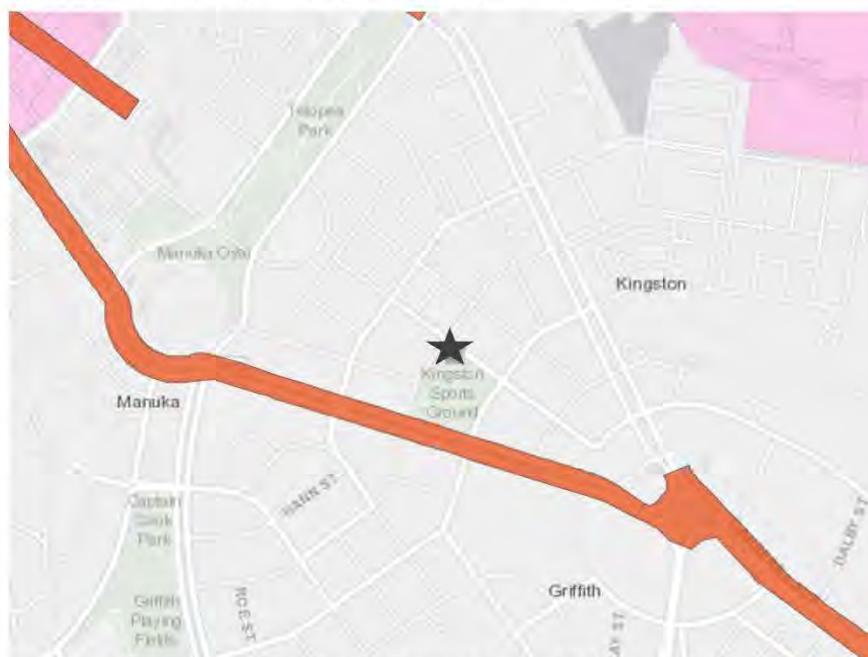


Figure 58: Plan showing Main Avenues and Approach Routes (MAAR) in red which applies to Canberra Avenue. The location of the Kingston Oval is indicated (star).
(Source: National Capital Authority)

The objective for Main Avenues and Approach Routes are:

1. Establish and enhance the identity of the approaches to the Central National Areas as roads of national significance and, where relevant, as frontage roads for buildings which enhance the National Capital function and as corridors for a possible future inter-town public transport system.

2. *Ensure that works within road reservations are carried out to the highest standards, by maintaining and enhancing landscaping, and by facilitating the flow of traffic as far as possible.*
3. *Reinforce and, where possible, express the integrity of the Griffin Plan's visual structure by strengthening the geometry and form of main avenues, vistas and public spaces.*
4. *Improve the urban design and streetscape qualities of the Main Avenues as approaches to the Central National Area.*

Detailed conditions of planning, design, and development that may apply to the Kingston Oval include:

Landscaping

The main Avenues and Approach Routes will be developed and maintained as high quality landscaped corridors. In built-up areas, the established design theme of verges and medians and formal tree plantings will be maintained. In areas of intensive pedestrian use, high quality paving is to be used.

Signs

Signs will generally comprise traffic, directional and visitor information signs, and unnecessary repetition will be avoided. Commercial roadside signs are not permitted in road reservations, except on bus shelters. Non-commercial signs may be permitted where they comply with the requirements for signs set out in the Signs General Code.

Streetscape design

A streetscape hierarchy, that complements the road hierarchy, should be established. This hierarchy should give primacy to main avenues, emphasise continuity along their length through avenues of appropriately scaled trees, consistent pedestrian pavement materials, street furniture and lighting.

A limited palette of high quality pedestrian pavement materials, street furniture and lighting will be used. Pavement and landscape design should have an elegant, simple and bold design emphasising the geometry and formality of the main avenues.

Streetscapes are to be well lit for pedestrians and optimise security and safety for night time use.

The requirements above are generally considered compatible with the heritage significance of the Kingston Oval as part of the Kingston/Griffith Housing Precinct, particularly the requirement to maintain high quality landscape corridors and avenues of appropriately scaled trees.

Under the NCP, there are also Special Requirements for development flanking Main Avenues, including Canberra Avenue, between Hume Circle and the Central National Area. This principally relates to Development Control Plans and new development, with no specific requirements for reserves.

7.2.2 Territory Plan and Planning Act 2023

The *Australian Capital Territory (Planning and Land Management) Act 1988* also required the preparation of a Territory Plan consistent with the NCP. The Territory Plan informs and guides planning and development in the ACT with the exception of Designated Areas in the NCP. The new Territory Plan is administered by the Territory Planning Authority as required by the *Planning Act 2023*.

Two zones apply to the Kingston Oval; the Urban Open Space Zone to the main oval and the Community Facility Zone to a small parcel of land at the western corner where the Table tennis Centre is located (see Figure 59).

Development proposal in parks and recreation zones will be assessed having regard to the policy outcomes to be achieved for the relevant zone. For the Urban Open Space Zone (PRZ1), these policy outcomes are:

1. *Provide an appropriate quality, quantity and distribution of parks and open spaces that will contribute to the recreational and social needs of the community.*
2. *Establish a variety of settings that will support a range of recreational and leisure activities as well as protect flora and fauna habitats and ecological corridors, natural and cultural features, healthy natural waterways and landscape character.*

3. Allow for stormwater drainage and the protection of water quality, stream, flows and stream environs in a sustainable, environmentally responsible manner and which provides opportunities for the community to interact with in a safe manner and interpret the natural environment.
4. Allow for ancillary uses that support the care, management and enjoyment of these open spaces including park maintenance depots, small-scale community activity centres.
5. Promote development that does not unacceptably affect the landscape or scenic quality, ecological connectivity or cultural values of the area, adequacy of open space for other purposes, or users, access to open space, or amenity of adjoining residents.
6. Provide for integrated land and water planning and management.
7. Provide safe and convenient pedestrian and cycling access to urban open space to promote active living.

Development proposals in a Community Facility Zone will be assessed having regard to the policy outcomes to be achieved for the zone. These policy outcomes are:

1. Facilitate social sustainability and inclusion through providing accessible sites for key government and non-government facilities and services for individuals, families and communities.
2. Provide accessible sites for civic life and allow community organisations to meet the needs of the Territory's various forms of community.
3. Protect social and community uses from competition from other uses.
4. Enable the efficient use of land through facilitating the co-location and multi-use of community facilities, generally near public transport routes and convenience services appropriate to the use.
5. Encourage adaptable and affordable housing for persons in need of residential support or care.
6. Safeguard the amenity of surrounding residential areas against unacceptable adverse impacts including from traffic, parking, noise or loss of privacy.
7. Promote active living and active travel.
8. Provide safe pedestrian and cycling access to community facilities to promote active living.

Each of the policy outcomes for both zones are compatible with the identified heritage significance of the Kingston Oval and will likely serve to protect the heritage values of the place.



Figure 59: Plan showing Urban Parks and Recreation – PRZ1 Urban Open Spaces Zone to Blocks 5 and 22 (green) and Community Facilities Zone to Block 8 – CFZ (yellow)
(Source: ACTmap)

A range of permitted uses are permitted under the Community Facility Zone including a cultural facility, indoor recreation facility, public agency and ancillary use. Under the Parks and Recreation Zones Policy, permitted uses included a carpark, community activity centre, indoor and outdoor recreation facility, parkland, playing field, ancillary use and complimentary use.

Approvals

Under the *Planning Act 2023*, there are three main types of development as follows:

- a) *Assessable development* needs development approval and includes significant development under chapter 6;
- b) *Prohibited development* is unlawful unless development approval is allowed for under 7.3.1
- c) *Exempt development* does not need development approval.

The *Planning Act 2023* defines development as:

- a) *Building, altering, or demolishing a building or structure on the land*
- b) *Carrying out earthworks or other construction work on or under the land*
- c) *Carrying out work that would affect the landscape of the land*
- d) *Use of land, or a building or other structure on the land*
- e) *Subdividing or consolidating the land*
- f) *Varying a lease relating to the land (other than a variation that reduces the rent payable to a nominal rent)*
- g) *Putting up, attaching, or displaying a sign or advertising material other than in accordance with –*
 - i. *a licence issued under this Act,*
 - ii. *a sign approval under the Public Unleased Land Act 2013, section 25 (Approval to place a sign on public unleased land); or*
 - iii. *a public unleased land permit under the Public Unleased Land Act 2013, part 3.*

Development that is exempt includes an authorised use (refer to section 147 of the Act) and development outlined in the *Planning (Exempt Development) Regulation 2023*.

7.2.3 ACT Heritage Register Listing

As the Kingston Oval is included within the Kingston/Griffith Housing Precinct, which is registered under the *Heritage Act 2004*, any development must not contravene the Act and ACT Heritage Council advice must be obtained prior to proceeding with works. This applies even where works do not require Development Approval or Building Approval.

The *Planning (General) Regulation 2023* identifies the Heritage Council as a referral entity for development applications that relate to a registered heritage place. Under these regulations, the Territory Planning Authority must provide relevant entities a written notice inviting them to make written comments within 15 working days. Under section 186 of the *Planning Act*, any advice given by an entity must be considered by the Territory Planning Authority in deciding a Development Application.

Under the *Heritage Act 2004*, the only provisions for legally sanctioned disturbance to a heritage place or object, or the diminution of the heritage value of a Heritage Place is to conform to one of the exceptions listed in section 76 of the Act. According to this section, the offence provisions of the Act (section 74 and section 75) do not apply if conduct is engaged in accordance with the following:

- (i) *a heritage guideline*
- (ii) *a heritage direction*
- (iii) *a heritage agreement*
- (iv) *a conservation management plan approved by the council*
- (v) *development approval under the Planning and Development Act 2007, chapter 7*
- (vi) *an excavation permit*
- (vii) *a Statement of Heritage Effect approved by the ACT Heritage Council.*

Under Section 74 of the *Heritage Act 2003*, a person commits an offence if they engage in conduct that diminishes the heritage significance of a place or object and is either reckless or negligent about whether the conduct would diminish the heritage significance of the place or object. Where a person commits an offence by engaging in conduct that diminishes the heritage significance of a place or object this is a strict liability offence.

Where development or an activity is likely to diminish the heritage significance of the Precinct, a Statement of Heritage Effect (SHE) application must be made to the Heritage Council in writing. Council may direct a person or entity to make an application for approval of a SHE and the person or entity may only start the activity if the Council approved the SHE for the activity. The requirements for a SHE are set out in section 61G of the Act. Under section 61H, the Heritage Council must approve the SHE if satisfied on reasonable grounds that the proposed activity is justifiable, that there are no reasonably practicable alternative ways to carry out the proposed activity and that the applicant has identified reasonable steps to reduce the risk of diminishing the heritage significance, or damage to, the heritage site.

Specific Requirements

The Specific Requirements included in the ACT Heritage Register Entry for the heritage precinct are taken to be Heritage Guidelines under the *Heritage Act 2004*. The intent of these requirements for the Kingston/Griffith Housing Precinct is:

To retain and conserve the intrinsic features of the precinct:

- *For their ability to demonstrate historical values including ‘Garden City’ planning principles and architectural and landscape design from the initial period of urban development within Canberra*
- *For the aesthetic unity of the streetscapes arising from the harmonious integration of low-density built forms within a mature landscape setting, and high proportion of landscape space and trees; and*
- *For the social values associated with the retention of communal landscaped reserves and community facilities*

Whilst managing change to meet the contemporary requirement of residential usage.

Specific Requirements that are relevant to the Kingston Oval are reproduced in the table below.

1.0	Conservation of the ‘Garden City’ subdivision and urban infrastructure
	Objective 1.1 – road and subdivision patterns: To conserve the existing road hierarchy and layout, pedestrian circulation patterns and subdivision layout.
	Requirements subject to the discretion of the Authority 1.1b Roads should retain their current alignments and widths and should remain bitumen or asphalt sealed. Kerbs should remain of ‘upright’ design. Kerbs and gutters should retain their current alignments and should be concrete. 1.1d Original footpath alignments and widths should be retained. Surfacing treatments should be consistent throughout the precinct.
	Objective 1.2 – Recreation Area, Incidental Green Spaces and Street Trees: To conserve the landscaped reserve and incidental green spaces, and to conserve and reinforce the historical pattern of street trees consistent with early Garden City principles and contemporary social values.
	Mandatory Requirements 1.2a The recreation area (Sports Ground) at Section 9 shall remain urban open space. New recreation and community facilities shall only be permitted where they are consistent with a Conservation Management Plan for the recreation area that has been endorsed by the ACT Heritage Council.

	<p>1.2c Trees shall be protected during development. Vehicles, equipment, and material shall not be parked or stored within the drip line of trees or on the reserve.</p>
	<p>Requirements subject to the discretion of the Authority</p> <p>1.2d Where trees occur in an historical formal arrangement, the original alignments, spacings and species (including patterns of species variation) should be retained, with trees being replaced where missing or in a declining or hazardous condition.</p> <p>1.2e Where trees occur without a definable arrangement or pattern, the general character of the planting should be conserved where it enhances the landscape character of the precinct.</p> <p>1.2f 'Environmental Weeds' or pre-1940 trees where the species has not proved suited to the location may be replaced with an alternate species. Replacement species should, at maturity, be of similar size, shape and habit to the original.</p> <p>1.2g Non-original trees that do not complement the pre-1940 species or patterns should be removed.</p>
	<p>Original Street Furniture and Utility Services</p>
	<p>Objective 1.4 – New Street Furniture and Utility Services</p> <p>To ensure that the design of new street furniture and utility services is complementary with remaining examples of street furniture from the period 1920-1940, and that it is of a uniform appearance that is sympathetic to the streetscape character of the precinct.</p>
	<p>Requirements subject to the discretion of the Authority</p> <p>1.4a The design, scale and location of new or replacement street signs and footpath lighting should complement the design, scale and location of original street furniture and the streetscape character.</p> <p>1.4b The design and location of new fire hydrants, road lighting or any other new street furniture should complement the streetscape character.</p> <p>1.4c Traffic signage should be kept to an essential minimum.</p> <p>1.4d New street furniture or utility services should not require the removal or detrimental pruning of trees within verges, parkland and reserves.</p> <p>1.4e New utility services should be incorporated along existing overhead routes or be routed underground in a manner that does not impact on built or major landscape elements.</p>
4.0	<p>Additional requirements for identified dwellings</p>
	<p>Objective 4.3 – Community Buildings</p> <p>To ensure community facilities are consistent with the streetscape character of the precinct.</p>
	<p>Mandatory Requirements</p> <p>4.3a Alterations and additions to community buildings identified on Figure 2 shall be sympathetic to the streetscape character of the precinct and the form and scale of the existing buildings.</p>
	<p>Requirements subject to the discretion of the Authority</p> <p>4.3b The landscape setting of the identified community buildings, including spatial relationships between the built form and the landscape, and formal patterns of hard landscaping that contribute to the streetscape and landscape character of the precinct should be conserved.</p>

Both the above requirements and the conservation policy in an approved CMP will be considered by the ACT Heritage Council when assessing applications for works at the Kingston Oval. The table below provides some guidance on the types of activities for which approval from the ACT Heritage Council will be required.

Area of activity	When to seek ACT Heritage Council advice	When approval of a Statement of Heritage Effect (SHE) is required	When approval is not required
Generally	When changes are proposed to existing buildings	When new development or alterations to existing structures are proposed and these are likely to diminish or damage the heritage significance	When undertaking works scheduled in an approved CMP
Signage	Modifying/replacement of existing signage	Installation of new signage	Removal of existing signage
Trees	When pruning trees or removing trees identified as neutral features in this CMP	When proposing tree removal or replacement of trees identified as significant features in this CMP	Replacing trees identified as dead or in advanced stages of decline in this CMP with new trees as outlined in the conservation policy

7.2.4 National Construction Code

The National Construction Code (NCC) provides the minimum necessary requirements for the safety, health, amenity, accessibility and sustainability for the design, construction, and performance of structures throughout Australia. Compliance with the NCC is typically required where substantial alterations (refer to *Building [General] Regulations 2008* for definitions) are proposed. Where major works are proposed to the existing buildings (such as the Greg Lord Pavilion and the ACT Table Tennis Centre) a whole of building upgrade to meet the NCC is likely to be required. The application of substantial alteration is triggered for activities such as change of function (change of classification under the NCC) and an increase in gross floor area exceeding 50% of the existing floor area.

Aspects of the existing facilities that are unlikely to comply with contemporary standards include issues associated with accessibility (access to public areas and amenities) and amenity. Further discussion on some of these issues is included below.

7.2.5 Disability Discrimination Acts

Disability discrimination legislation is in force at both the Territory (*Discrimination Act 1991*) and Commonwealth (*Disability Discrimination Act 1992*) levels. Where there is a clash between state or territory laws and Federal laws, Federal law overrides the former.

The *Discrimination Act 1991* (ACT) aims to protect the rights of people in the ACT. It makes it unlawful for a person to be treated unfavourably because of specified attributes, including disability, in a range of areas, including access to premises. Section 19 of the Act deals specifically with access and states that it is unlawful for a person to discriminate against another person –

- a) *By refusing to allow the other person access to, or the use of, any premises (public premises) that the public or section of the public is entitled or allowed to enter or use (whether for payment or not); or*
- b) *In the terms or conditions on which the discriminator is prepared to allow the other person access to, or the use of, public premises; or*
- c) *In relation to the provision of means of access to such premises; or*
- d) *By refusing to allow the other person use of any facilities (public facilities) in public premises that the public or a section of the public is entitled or allowed to use (whether for payment or not); or*
- e) *In the terms or conditions on which the discriminator is prepared to allow the other person the use of any such facilities; or*
- f) *By requiring the other person to leave public premises or cease to use such facilities.*

The *Commonwealth Disability Discrimination Act 1992* (DDA) aims to eliminate discrimination against persons on the ground of disability in various areas including work, accommodation, and access to premises. The Act also seeks to ensure as far as practicable that persons with disabilities have the same

right to equality before the law as the rest of the community. The Act says that it is unlawful to discriminate against another person on the grounds of disability.

The Greg Lord Pavilion is one building at the Kingston Oval that does not currently meet contemporary accessibility standards. In particular, the first floor viewing area, meeting room and kitchen can currently only be accessed via stairs. The installation of a lift, amongst other changes, would be required to make these areas accessible. Such changes could readily be achieved without impacting on the significance of the Kingston Oval, though may not necessarily meet the requirements of the users.

7.2.6 Trespass on Territory Land Act 1932

The *Trespass on Territory Land Act 1932* applies to trees on unleased Territory Land and land occupied by the Territory. Section 7 of the Act covers damaging trees and states:

A person shall not, without reasonable excuse, damage or destroy trees, plant, garden, plantation or afforestation area on unleased Territory land or land occupied by the Territory.

It is possible that damage caused to trees by the parking of vehicles beneath the canopy could be considered an offence under this Act.

7.2.7 Urban Forrest Bill 2022

The Urban Forrest Bill will commence on 1 January 2024 and will protect all trees on public land regardless of their size and location. The Bill defines the protection zone for protected trees as:

- a) *The area under the canopy of the tree;*
- b) *The 2m wide area surrounding the vertical projection of the canopy; and*
- c) *The 4m wide area surrounding the trunk as measured at 1m above natural ground level.*

The Bill also sets out prohibited groundwork in the protection zone of a protected tree. Under the legislation, a person does prohibited groundwork in the protection zone for a protected tree if the person:

- a) *Contaminates the soil in the protection zone with something that is poisonous to trees; or*
- b) *Damages the tree's root system in the protection zone; or*
- c) *Engages in conduct that would compact the soil in at least 10% of the protection zone; or⁷⁰*
- d) *Excavates to a depth greater than 100mm over an area of 4m² or larger, other than in cultivating the soil for horticultural purposes; or*
- e) *Raises the soil level by more than 100mm above the natural ground level over an area 4m² or larger, other than in cultivating the soil for horticultural purposes; or*
- f) *Does anything else prescribed by regulation that -*
 - i. *Is likely to cause the tree to die; or*
 - ii. *Significantly reduces the tree's life expectancy; or*
 - iii. *Significant and adversely affects the tree's health, stability or general appearance.*

7.3 Management Context and Stakeholder Views

The three organised sporting groups that use the Kingston Oval are the Eastlake Football Club, the Eastlake Cricket Club and Table Tennis ACT. The oval is also used by the local community for leisure activities and has always been open to the public. The cricket and football clubs have been a fixture of the Kingston Oval since the 1920s. These clubs share use of the pavilion, amenities block and storage facilities. Both clubs coordinate efforts in relation to ground maintenance and general upkeep. The clubs also work cooperatively in managing access to the ground during periods of cross over training and pitch maintenance.

⁷⁰ Conduct that would compact soil includes parking a heavy vehicle, storing of heavy materials, placement of a shipping container

In addition to these organisations, the local community has considerable interest in the Kingston Oval. During the preparation of this CMP, the authors consulted with the Kingston and Barton Residents Group to gain an understanding of local sentiments towards the recreation reserve.

Details on each of the stakeholders and each of their specific requirements are provided below. This discussion identifies where the need for improvements would be consistent with the heritage significance of the Kingston Oval and those that have the potential to impact on this significance.

7.3.1 Sport and Recreation Facilities

Sport and Recreation Facilities is part of the City Presentation section of Transport Canberra and City Services Directorate. The organisation is responsible for maintaining and managing ACT Government sportsgrounds and associated facilities, including improving or refurbishing existing facilities.

Car parking

One of the key challenges identified by Sport and Recreation Facilities at the Kingston Oval are the conflicting requirements to formalise car parking arrangements for safety and management reasons, and the need to conserve the heritage values of the site, including the early trees. This is a complex issue as much of the area that has been used for parking for an extended period of time is located within the root zones of both street trees and trees within the recreation reserve (refer to Figure 60).



Figure 60: Aerial of the Kingston Oval. The shaded area covers the street verge
Cars currently park on both the verge and within the reserve
(Source: ACTmapi, showing April 2021)

Currently, parking is located on both the street verge and within the grounds of the recreation reserve which prevents enforcement action being taken. Whilst car parking is generally concentrated on the western side of the oval, vehicle crossovers to three of the four streets allow people to park around most

of the perimeter of the ground. In recent times, this has resulted in an increasing number of vehicles, (many associated with nearby construction sites) parking in inappropriate locations. Consideration has been given to placing log barriers around the site perimeter, though this would be costly and would have an undesirable visual impact.

Trees

Trees on public land are managed and maintained by City Services who inspect and prune trees as well as remove dead, damaged or hazardous trees. City Services are also responsible for the replacement of dead, missing or aging trees. Sport and Recreation acknowledge that one of the key heritage challenges is the need to conserve significant trees, particularly where these impact on the functionality of the sports ground which was originally established as a recreation reserve for cricket and football and was used for these purposes prior to the planting of any of the street trees or the rows of shelter trees. Whilst these pose challenges to the use of the oval, it is noted that the vegetation on the reserve contributes to the canopy cover in the Kingston and Griffith area.

Trees that currently impact on the oval include those close to the boundary fence on the north-east side. These impact on the use of the oval as they overshadow the playing field creating challenging lighting conditions as well as act as a physical obstruction with branches extending over the boundary. These trees will continue to impact on significant sporting uses. Trees that overshadow the cricket nets also create challenging lighting conditions for cricket practice which is an important part of the Kingston Oval. Sport and Recreation acknowledge that the location of these practice nets is problematic and that ideally these would be oriented in a north-south direction and should be located in full sun.

Facilities

Whilst various upgrade works have been implemented at the oval over the last 100 years, there is growing pressure on improving the supporting infrastructure as the level of professionalism in sports increases. This includes requirements for more storage which has led to the placement of shipping containers on the reserve as a 'stop gap' measure and does not allow for the storage of the essential machinery. The existing shed is currently used to store the tractor and mower, though there is also a need to have somewhere to store the pug (cricket wicket soil) which needs to be kept dry, as well as the wicket roller and hand mowers.

Sport and Recreation support the removal of the shipping containers, though acknowledge that to provide sufficient space it would be necessary to expand the facilities (including a larger storage facility) whilst being cognisant of potential impacts on the character of the oval and surrounds. Specific storage needs for each sport are discussed in the sections below. The provision of additional facilities would need to be undertaken in a considered manner in order to avoid heritage impacts.

The continued use of sportsground lighting is supported by Sport and Recreation and upgrades to the lighting as well as the introduction of a permanent electronic scoreboard are desirable where they support better use of the Kingston Oval. Any new lighting system would need to adhere to the relevant Australia Standards in relation to light spill, whilst a permanent scoreboard would likely need to be positioned opposite the main spectator area for functional reasons. These elements could be introduced/upgraded in a way that is sympathetic with the Kingston/Griffith Housing Precinct. This would need to be undertaken in a manner that limits visual clutter and would preferably use materials and colours that are sympathetic with the houses in the Housing Precinct.

The ACT Government is committed to supporting women and girls to participate in sport at all levels and ensuring that sports facilities are designed appropriately is an important part of that commitment. It is acknowledged that the current facilities at the Kingston Oval, particularly the existing changerooms, are not inclusive or comfortable for all to use. The ACT Government has published guidelines for female friendly changerooms at sporting facilities (September 2017) that would need to be complied with when constructing new sporting infrastructure.

Continued community access to the Kingston Oval is also supported by Sport and Recreation. A campaign to provide better education on laws referring to the use of publicly accessible ovals is in development, with plans to provide QR codes at the ground so that the public can access the relevant information.

7.3.2 Eastlake Football Club

The Eastlake Football Club (EFC) has been a leading AFL club in the region for over 90 years with one of the most successful and long-standing programs. They are responsible for the maintenance of the Kingston Oval, excluding the Table Tennis Centre. This includes maintenance and cleaning of the buildings on the site, irrigation, mowing and landscaping.

The club appreciates the location and historical links with the Kingston Oval. They hope that the facility will continue to be the focal point of their inner south presence given that the ground is located close to the main Eastlake Football Club and because it is situated within their recruitment catchment area.

The EFC would like to see the oval upgraded to a fit-for purpose facility for the inner south region. The Club is committed to developing the Kingston Oval for football, cricket and other social activities. The EFC is mindful that the Kingston Oval is a community recreation asset and engages with local community groups in relation to the placement of temporary structures.

As the infrastructure at the site has not been subject to any major upgrades in recent times, various improvements are required across the reserve to make it fit-for purpose. Whilst the EFC has undertaken minor upgrades over time, they feel that the ground is rundown, and the aging infrastructure has led to ever increasing maintenance costs and inefficiencies in regards to energy and water use (particularly for the irrigation system and lighting).

AFL Preferred Facility Guidelines (AFL, 2019) are used by State and Territory Australian Football Controlling Bodies to inform the provision and development of appropriate facilities for community level Australian Football venues. Whilst these guidelines are not intended to be used as a basis for assessing the suitability of existing facilities, where upgrades are being considered, the Guidelines can be used to inform change. These guidelines classify facilities depending on the required use and location. The EFC would like to see the Kingston Oval be a ground that is commensurate with a Regional level facility (requirements for this are set out in the Guidelines). Grounds at this level ideally have a perimeter fence to restrict vehicle and pedestrian access, amenities with the capacity to host finals and the surface of the oval should be maintained to a high standard.

To make the ground fit for purpose, EFC have long-term aspirations to improve the following aspects of the site:

- Upgrades or replacement of the changerooms which are outdated and do not meet minimum requirements for either male participants or the increasingly large number of female participants. There is also a desire to be able to accommodate multiple teams (four would be ideal) as the existing facility can only accommodate two teams which is problematic at the change of games. Additional space is also required by the club for treatment rooms, storage and gym facilities, the latter being currently located in the temporary shipping containers which present poorly and are not fit-for purpose (see Figure 61). The introduction of additional indoor space would need to be undertaken in a considered and coordinated manner to limit the proliferation of structures and minimise heritage impacts.
- Provision of additional space for a canteen and meeting room that is accessible on the ground level. The location of the existing kitchen on the first floor of the Pavilion combined with the age of the fit-out mean that EFC do not use this space and that the club organises for a food van to be onsite when they wish to make food available.
- Enlarge the size of the oval to make it suitable for use by first grade AFL teams. Whilst the ground is the main training oval for senior teams, it is only used for junior matches. EFC would like the oval to be extended by about 20 metres. This would likely have a heritage impact as it would likely require the removal of significant trees. EFC would also like to see the cricket nets relocated to the north-east corner of the site to allow for a 5 metre runoff area at each end.
- Removal of the existing, aged public toilet block and provision of new public toilets to meet contemporary requirements. This building currently presents poorly and its replacement with a more sympathetic alternative would be a positive heritage outcome.
- Upgrade the lighting to a level that is suitable for match play. This would be brighter, more focused lighting.

- Provision of an electronic scoreboard, in lieu of the temporary manual scoreboards that are used by AFL and cricket (see Figure 62).
- Replacement of the existing rail fence with a new fence that is safer for players and better contains balls. As the existing fence is not an early feature, its replacement with a sympathetic type could be undertaken without impacting on the heritage significance of the Kingston Oval.
- Overhaul the irrigation system to install a more reliable and efficient watering system and implement solar and other appropriate renewable power solutions. These upgrades could also be undertaken in a manner which has limited heritage impacts if new services are installed in discrete locations concealed from views (either by locating underground or installing in a suitable location within/on buildings). Physical impacts on significant trees would also need to be avoided in order to prevent heritage impacts.
- Improvements to the car parking area to alleviate the need for the routine filling of potholes.
- Improvements to enhance the presentation of the oval, including replacement of dead trees and the provision of alternate spectator setting with more aesthetically pleasing alternatives. Spectator seating would ideally be covered and allow for disabled access (the spectator area in the Pavilion is not accessible). EFC would ideally like to provide undercover seating for 200-250 people. Whilst many of these improvements would likely enhance the presentation of the Kingston Oval the design of a sizable undercover seating area would require careful consideration in order to minimise potential heritage impacts.
- Provision of a warmup area that is external to the playing surface. This could also be provided without heritage impact as long as there is no physical impacts on significant trees.

More specific details on many of the elements discussed above is provided in the AFL Preferred Facility Guidelines.



Figure 61: Temporary storage and gym area to right side



Figure 62: Manual AFL scoreboard currently used by EFC

7.3.3 Eastlake Cricket Club

The Kingston Oval has been home to the Eastlake Cricket Club from the time that the oval was established, and the Club celebrated its centenary in 2022. The Kingston Oval is the home ground for the Club with their number two and three ovals located at Deakin and West Oval, Yarralumla. The Eastlake Cricket Club value the ambience of Kingston Oval, its location, and its history.

At the Kingston Oval, the Cricket Club make use of the Greg Lord Pavilion, the cricket nets and part of the storage shed. Both the pavilion and cricket nets are essential elements for training and playing cricket at the Oval. The Club is assisted by Cricket ACT, the peak body for all forms of cricket in the ACT and region. Cricket ACT are responsible for the management of the ACT Premier Cricket competition.

The Eastlake Cricket Club are responsible for the irrigation and mowing of the centre wicket table as well as turf wicket preparation. The Club's primary concerns with the playing oval are that it is no longer level and that the irrigation system is unreliable. There is currently a depression to the north-west part of the oval that collects water when it rains, leaving a wet outfield. The aging irrigation system is increasing unreliable and has caused disruptions to matches due to leaks.

The pipe boundary fence that surrounds the Oval is in poor condition and is seen as an element that detracts from the ambience of the Oval. Replacement of the fence with a type that will more readily contain a cricket ball is desirable as this will limit the extent to which players need to run across the car park or surrounding streets to retrieve the ball. The Club would like to see this replaced with a fence line more appropriate for a cricket ground (such as a white picket fence) and the car park upgraded to support recreational use.

As with the Football Club, Eastlake Cricket Club see the aging infrastructure, including the Pavilion, as problematic. The buildings are no longer considered fit-for purpose and do not meet requirements for female players. The plumbing in both the toilets and the Pavilion is also problematic. The separate toilet block is opened by the Cricket Club on game days for public use, though most spectators tend to make use of the toilets in the changerooms which are in better condition.

The Greg Lord Pavilion is used by the Club throughout the cricket season, save for the treatment room which is used solely by the Football Club. Cricketers use the changerooms (at ground level) as well as the umpires' room, the covered spectator area (for lunches as well as spectators) and the meeting room. The kitchen is used only on occasions. Whilst upgrades to all of these spaces is desired, the changerooms are the most inadequate from the perspective of the Cricket Club as they are not suited to use for female teams (there are no doors on the showers and there are urinals in the toilets).

Whilst the Cricket Club maintains the central wicket table during the cricket season, the Football Club maintain the outfield throughout the year. Storage of groundskeeper equipment for the respective parties is problematic as there is only one vehicle door to the storage shed. The roller door end of the shed is currently used to store the outfield mower. Whilst the Cricket Club have access to the rear portion of this shed, they cannot use this to store the roller as there is only a narrow pedestrian door to this part.

Both the roller and wicket covers are currently stored in the cricket nets and must be moved by players each time they are used. As the roller is a relatively expensive piece of equipment, it would be preferable if this could be stored undercover. The cricket nets have been upgraded over the years, though there are trip hazards where the artificial surface abuts the turf on the run up to the nets (see Figure 63). The soil/turf levels can be filled periodically to reduce the trip hazard. Ideally a more durable surface would be installed in this area, though this is restricted by the close proximity of the AFL boundary line. The close proximity of the trees is also an issue as they cast shadows over the nets.



Figure 63: Cricket nets with stored covers and roller. There is rubber matting leading to the nets with wear and tear evident to the adjacent turf

The Cricket Club is also supportive of the installation of an electronic scoreboard at the Kingston Oval and upgrades to the lighting which would allow for matches to be held in the evening/night.

7.3.4 Table Tennis ACT

Table Tennis ACT (TTACT) has been operating since the 1950s and is affiliated with Table Tennis Australia and the International Table Tennis Federation. The Kingston Table Tennis Centre at the Kingston Oval is permanently setup for member use. The club also use the indoor Archery Centre in Greenway (Tuggeranong venue) and St John Paul II college in Nicholls (Gungahlin venue) for a limited amount of time on the weekends.

TTACT occupy and are responsible for the management of the Kingston Table Tennis Centre, including both maintenance and capital work. Members of TTACT use the car park on the reserve which is maintained by the Eastlake Football Club. Volunteers from TTACT maintain the buildings and recently, the club replaced the floor structure and installed a table tennis floor finish after a player fell through the floor. Volunteers also regularly repair the adjacent section of gravel carpark.

The existing building provides space for five table tennis tables, though there are several aspects of the facility that do not meet contemporary requirements, including the height of the ceiling which is lower than that required by current regulations. The building also has no accessible toilet despite the Kingston facility being used for Para Table Tennis (for players with a disability).

There are also some challenges for the club with the existing car parking arrangement, including shortages in parking when multiple sports are using the Kingston Oval and the lack of dedicated accessible parking close to the table tennis building. TTACT have suggested that better co-ordination between sporting groups, including the more strategic storage of temporary grandstands and rubbish bins, could assist with freeing up space for much needed parking. TTACT would also support paving of the carpark to reduce maintenance requirements. As previously noted, the provision of car parking has the potential to have an adverse heritage impact notwithstanding that it supports significant uses.

The major challenge for TTACT however, is the lack of space to permanently set up enough tables to meet current demand. As the other two venues accessed by the organisation are used on a temporary basis, it was hoped that the size of the Kingston facility could be increased. This would however require a large increase in the size of the building and would likely need to be a two storey structure if it were to fit on the current block. An increase in the size of the facility could be undertaken in a manner that is sympathetic with the Kingston Oval, though a substantial increase in the number/size of buildings on the site has the potential to have a negative heritage impact.

If major additions to the Table Tennis Centre are not possible, TTACT would welcome interim upgrades to the toilets, including the provision of facilities for athletes with a disability. As the limited size of the space has been a longstanding issue for the club, they would also be willing to relocate to another part of the Kingston Oval or to larger premises at an alternate site. It is noted that both additions to the existing table tennis centre (where these extend onto a different block) or construction of a new centre on an alternate part of the site would require a variation to the Territory Plan.

TTACT acknowledge that shipping containers at the Kingston Oval are unsightly. The organisation is planning to remove a shipping container from the south-east end of the Table Tennis Centre to improve its presentation, though this will mean that the organisation no longer has surplus space for storage. The organisation would also like to see permanent, fixed gym equipment installed on the reserve for use by both athletes and the public.

Member survey

At the time of drafting this CMP, TTACT was in the process of undertaking a survey of its members. The opportunity was taken to ask members how much they valued aspects of the Kingston Table Tennis Centre. The results are summarised in the table below with 98 responses received.

How much are the following valued?	Very Highly	Highly	Some	Not at all
The location	44	26	20	3
The building	19	33	29	10
The park setting	14	33	33	10
The history	20	27	31	10
The community feel	31	33	21	2
The link to other sports	4	17	30	31
Overall	26	43	17	0

The survey indicated that the most highly valued aspect was the location followed by the community feel. The link to other sports at the Kingston Oval was the least valued aspect of the Centre. The building was valued at a higher level by slightly more people than the park setting and the majority of respondents placed at least some value on the history of the site.

7.3.5 Kingston and Barton Residents Group

Prior to commencing this CMP, it was noted by Sport and Recreation that the Kingston Oval is a place valued by the local community and that consultation with relevant community organisations should be undertaken to ensure that their views are taken into account. Initially it was proposed that the Inner South Canberra Community Council (ISCCC) should be approached, and members be given the opportunity to share their views. When the ISCCC were approached about the project, they noted that specific resident groups within the ISCCC have a closer interest in the Kingston Oval. These groups were identified as the Kingston and Barton Residents Group (KBRG) and the Griffith Narrabundah Community Association (GNCA). As a result, contact was made with Nick Swain of KBRG who in turn contacted David Denham of the GNCA. Following this, posts were made on social media (including the KBRG Facebook page) inviting comment.

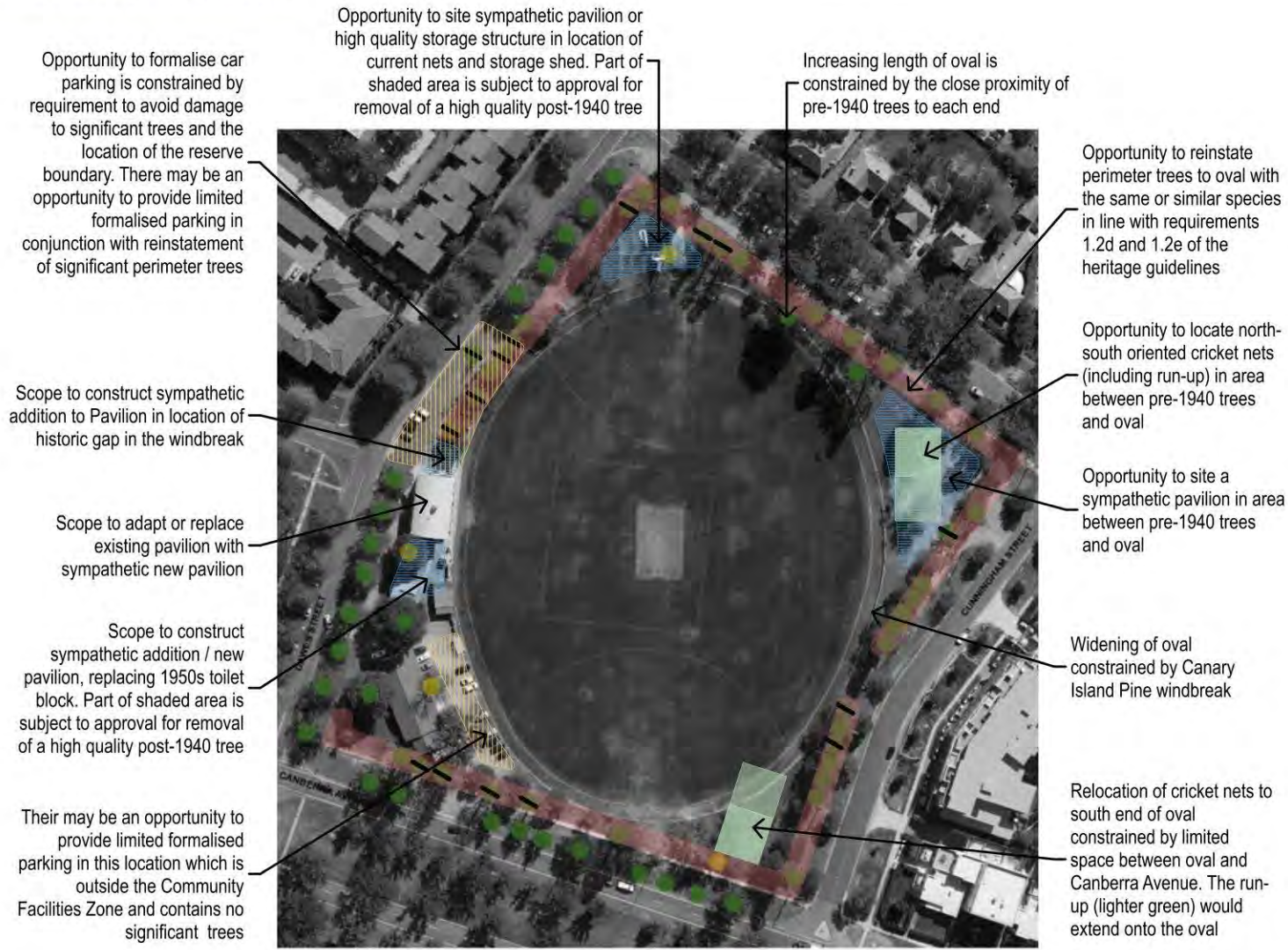
Commentary received via this channel indicated that the oval is an important community space that is valued for its accessibility to the general public. Their uses include daily general exercise (individual and group), playing with children, socialising and dog walking as an off-leash area for exercise. Residents surrounding the Kingston Oval were also noted to value it as a green open space. With a large proportion of people living in the area residing in apartments, the oval is seen as an essential open space and has been heavily used by local residents during recent lockdowns due to the COVID-19 Pandemic. Given its accessibility to the public, the Kingston Oval is viewed as a truly community oval unlike the nearby Manuka Oval.

Local residents also indicated that they feel that the trees around the oval make a significant contribution to its heritage character and have noted that they provide useful shade for spectators and contribute to the canopy cover of the area. A current concern of local residents is the poor condition of the trees at the Kingston Oval and the proliferation of parking around the base of these trees which is likely accelerating their decline. Residents would like to see that the trees around the oval be protected from further damage and that the conservator of trees be consulted to inform proper protection. More broadly, residents would like the CMP to contain provisions for the protection and conservation of the trees surrounding the oval, including the street trees.

7.4 Opportunities for Improved Facilities

The preceding sections highlight a range of opportunities and constraints related to the heritage significance of the site as well as statutory requirements and key stakeholder views. Consultation with the various stakeholders has demonstrated that there is a need to both improve the facilities located at the oval to allow for significant sporting uses to continue as well as protect significant fabric at the site which include the formal rows of trees surrounding the oval.

The diagram below highlights key opportunities and constrains with regards to the heritage values of the site and the need to provide improved sporting facilities. This supplements the previous section which identifies requirements for improvements and identifies where this is consistent with the heritage values of the site or where this is likely to have negative heritage impact. The success of any proposal would depend upon the use of a sympathetic scale, form and materiality as well as limiting impacts on the park setting.



Legend

- Pre-1940 / significant trees
- Post-1940 high quality trees
- Dead trees or trees in advanced stages of decline

Aerial showing opportunities and constrains relating to improved facilities

Note: Whilst the above diagram includes potential areas where there may be scope to construct new structures, building on all of the identified parcels is constrained by the need to maintain the park setting of the Kingston Oval reserve. The diagram identifies key heritage opportunities and constraints, though other requirements, including planning regulations, may impact on opportunities to improve the Kingston Oval facilities.

8 Conservation Policy

The conservation policies set out in this section are a guide for the maintenance of, and future change to, the Kingston Oval. They have been developed considering the significance of the place and after consideration of the known opportunities and constraints. The conservation policy is intended as a framework by which the Kingston Oval should be managed to maintain significant features and significant sporting uses. It has been developed to guide any future change and conserve the heritage significance of the place.

The approach taken in formulating the policy is based on the ACT Heritage Council guiding principles and the processes outlined within the Australia ICOMOS Charter for Place of Cultural Significance, known as the Burra Charter (reproduced in Appendix A). Use of the term '**shall**' in this chapter means that the policy or action is imperative whereas the term '**should**' has been used where there is some discretion in the application of the policy. This is in line with the ACT Heritage Council's guiding principles.

8.1 Guiding Conservation Objective

The identified heritage significance of the Kingston Oval as part of the Kingston/Griffith Housing Precinct shall be conserved and change shall be carefully managed such that negative impact on heritage significance is avoided. In general, this significance relates to the place as an open recreation reserve and features of the Kingston Oval, including trees, that were established prior to 1940. The longstanding association between the place and AFL, Cricket and other community uses is also significant.

8.2 Policies Related to this Conservation Management Plan

1.	Ownership and distribution	<p>This CMP is owned by Sport and Recreation Facilities (City Presentation, Transport Canberra and City Services) but should be made available to the public and relevant stakeholders including all asset managers.</p> <p>The CMP should be distributed to key stakeholders who are responsible for the management of buildings and other parts of the Kingston Oval.</p> <p>It is recommended that access to this document, once approved, is provided on the ACT Heritage Register webpage.</p>
2.	Heritage Council Approval of CMP	<p>This CMP should be submitted to the ACT Heritage Council for approval under Section 61J of the <i>Heritage Act 2004</i>. Upon approval, the CMP will become the guiding document for the conservation and management of the Kingston Oval.</p>
3.	Statement of significance	<p>The statement of significance in this CMP should be adopted as the basis for guiding the ongoing management of the heritage significance of the Kingston Oval.</p>
4.	Conservation policies	<p>The policies included in the CMP should be the primary guide for management and future works at the Kingston Oval. Asset management policies for the place should be in accordance with the policies included in this CMP.</p>
5.	Review	<p>This CMP shall be reviewed and updated as applicable at 10 year intervals. A review shall be conducted prior to this if there are major changes in circumstances/management or following substantial changes to features of the site. Review of the CMP may involve an assessment of the effectiveness of the existing policy and development of new policy.</p>

8.3 Policies Relating to Statutory Requirements

6.	Compliance with legislation	<p>All stakeholders must comply with all relevant legislation including the:</p> <ul style="list-style-type: none"> • <i>Planning and Development Act 2007</i> (ACT) • National Capital Plan (Commonwealth) • National Construction Code • Disability Discrimination acts. • <i>ACT Heritage Act 2004</i>. <p>This includes the need to seek relevant planning approval for changes at the Kingston Oval from the ACT planning authority, the National Capital Authority and the ACT Heritage Council.</p>
7.	ACT Heritage Council Guidelines	<p>Specific requirements for the Kingston Oval are provided in the ACT Heritage Register citation for the site (reproduced in Appendix C). Under the <i>Heritage Act 2004</i>, they are taken to be Heritage Guidelines and have statutory effect. This includes that mandatory requirement to retain the 'Sports Ground' as urban open space and a discretionary policy to retain the historical alignments of tree plantings in the broader heritage precinct. These requirements have been reproduced in the Opportunities and Constraints chapter.</p>
8.	ACT Heritage Council approvals	<p>A Statement of Heritage Effect (SHE) will be required to be approved by the ACT Heritage Council for works that diminish or damage the heritage significance of the Kingston Oval as part of the broader Kingston/Griffith Housing Precinct.</p> <p>Formal heritage advice shall be obtained from the ACT Heritage Council for all new building works, external modification of existing buildings and works (pruning, removal and replacement) of trees at the Kingston Oval.</p>
9.	Unexpected Discovery Protocol	<p>Where any unforeseen Aboriginal heritage discovery (such as Aboriginal places or objects and archaeological finds) is made, works at the discovery must cease immediately until such time as ACT Heritage Council advice and approval is obtained.</p> <p>Any heritage discoveries must be reported within five working days (in accordance with Section 51 of the <i>Heritage Act 2004</i>), and the discovery is to be managed in accordance with any further Council advice.</p>

8.4 Policies Relating to Management

10.	Temporary works	<p>Temporary infrastructure and amenities shall be installed in a manner that has no permanent impact on significant features, including significant trees. This includes temporary furniture, such as seating, for sporting events as well as items such as temporary signage/advertising, marquee and temporary parking/traffic measures.</p>
11.	Burra Charter	<p>All works that could impact on the heritage significance of the place should be undertaken in accordance with the principles of Australia ICOMOS including the Charter for the Conservation of Places of Cultural Significance (Burra Charter). This includes changes to the park setting and changes that may impact on significant uses (by both organised sport and the public).</p>

12.	Sound advice	<p>Any new works at the site, including the design of new structures, should be guided by advice from a suitably experienced heritage consultant.</p> <p>Advice should be sought from an experienced arborists on any works or practices that have the potential to impact on significant trees.</p>
13.	Co-ordinated approach	<p>Works to the Kingston Oval shall be planned and implemented in a co-ordinated manner to limit the proliferation of built form and provide some consistency across the Oval.</p> <p>A master plan should be developed to guide future change across the Kingston Oval and reduce the need for <i>ad hoc</i> changes.</p>

8.5 Policies Relating to Use

14.	Sports field	<p>The recreation area (Kingston Oval) at Section 9 shall remain urban open space and should be maintained as a venue for spectator field sports.</p> <p>It should continue to operate as a ground for cricket and AFL.</p> <p><i>Rationale: These sports have been played at the Kingston Oval since its establishment during the 1920s. Former iterations of the original clubs, the Eastlake Football Club and the Eastlake Cricket Club, continue to have ongoing association with the sports field.</i></p>
15.	Public access	<p>The Kingston Oval should continue to be a public accessible space that can be used for sympathetic recreation when not in use for formal cricket and AFL activities.</p>
16.	Community buildings	<p>Existing community use buildings/infrastructure could be expanded provided it does not impact the significant elements of the place including the open park setting and perimeter trees.</p>
17.	Ancillary uses	<p>Commercial or residential development on the site shall not be permitted. Ancillary uses that are compatible with the existing uses, such as a canteen related to sporting events, could be considered.</p> <p>Other sporting uses, including Table Tennis, should continue to be permitted, provided that these allow the open park setting surrounding the playing field to be maintained.</p>

8.6 Policies Relating to Conservation

18.	Significant features	<p>Significant features shall be conserved, maintained and interpreted. Significant features include:</p> <ul style="list-style-type: none"> • Grassed oval playing field used for cricket and AFL that is also accessible to the public; • Pre-1940 trees that provide a sense of enclosure to the Kingston Oval including: <ul style="list-style-type: none"> ○ The row of Canary Island Pines surrounding the sports oval; ○ Himalayan Cedars (<i>Cedrus deodara</i>) to Dawes Street;
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		<ul style="list-style-type: none"> ○ English Oaks (<i>Quercus robur</i>) to Canberra Avenue, though not the extant specimens; ○ Two Pin Oaks (<i>Quercus palustris</i>) to the north of the oval; ○ Two Cypress trees (<i>Cupressus sp.</i>) to the south-west corner of the site.
19.	Neutral features	<p>Neutral features could be removed or retained.</p> <p>Neutral features are listed in the Significance chapter and include the buildings at the Kingston Oval, the cricket nets and post-1940 trees.</p>
20.	Intrusive features	<p>Intrusive features would preferably be removed from the Kingston Oval, and if necessary, replaced with alternate solutions that are more sympathetic to the character of the Kingston/Griffith Housing Precinct.</p> <p>Intrusive features include the shipping containers used for storage.</p>
21.	Tree management plan	<p>A tree management plan shall be prepared by a qualified arborist to guide appropriate management and maintenance activities for significant trees. The tree management plan should outline an end of life replacement program for trees that are in poor health.</p> <p>Management of trees should take into account the effects of future climate change. Where replacement is required due to the poor health of the tree, the plan should set out a regime and timeframe for replacement (i.e and end of life replacement program).</p>
22.	Works to trees	<p>Routine maintenance activities to significant trees identified in the tree management plan shall be implemented (subject to approvals) to maintain the health of the trees.</p> <p>All works to trees shall be carried out by appropriately qualified people with experience in working in the context of heritage listed landscapes and tree management.</p>
23.	Tree replacement	<p>Apart from the replacement of trees identified in this CMP as dead or in advanced stages of decline, all proposals for tree replacement shall be submitted to ACT Heritage for approval prior to proceeding with the works. The removal and replacement of trees could also be undertaken in accordance with a Tree Management Plan once it has been approved by the ACT Heritage Council.</p> <p>Where the condition of trees does not allow for their retention, significant trees, including Canary Island Pines, Himalayan Cedars and English Oaks, shall be replaced with the same species of tree. Where an alternate species is proposed, prior Council approval will be required to ensure that this change does not diminish the heritage values of the Kingston Oval. Replacement species should, at maturity, be of a similar size, shape and habit to the original.</p> <p>In any replacement program, the spacing/location of trees within the perimeter row of Canary Island Pines could be altered slightly, provided this does not further diminish the significance of the plantation which sheltered/enclosed the sports ground. Replacement trees shall be located to the perimeter of the site in a formal arrangement that reflects the original and shall maintain a sense of enclosure and a visual relationship with the sports oval.</p> <p>Where evidence is available that significant trees have been removed for any reason, such as the gaps in the perimeter planting (with exception of</p>

		<p>the second row of planting from the 1940's which was removed in the 1940s itself) it is recommended that they be reinstated with the same or similar species in line with requirements 1.2d and 1.2e of the heritage guidelines. Planting of new street trees and Canary Island Pines on the Reserve is encouraged where this reinstates the historic format that consisted of a continuous row of trees to the road reserve and a densely planted row around the perimeter of the oval.</p> <p>Replacement of post-1940 street trees, which complement the pattern of trees in the Kingston/Griffith Housing Precinct, should use species consistent with others in the street. The Nettle Trees to Cunningham Street are a pest species and could be replaced with trees to match those further north on Cunningham Street (within the heritage precinct) or a species that has similar visual characteristics.</p>
24.	Car parking and equipment storage	<p>A review of car parking and storage arrangements at the Kingston Oval shall be undertaken and changes shall be implemented to protect significant trees. Car parking shall be rationalised and appropriately controlled to prevent damage to significant trees and improve safety. ACT Heritage Council approval will be required for new storage arrangements and changes to car parking.</p> <p><i>Rationale: Whilst the ACT Heritage Register entry for the Kingston/Griffith Housing Precinct has a mandatory requirement that vehicles, equipment and materials shall not be parked or stored within the drip line of trees or on the reserve, it is noted that cars have parked on the west side of the reserve since at least the 1940s. Car parking is also an important functional requirement of the sports ground. There may be an opportunity to formalise limited car parking on site in ways that would not damage significant trees or diminish the heritage significance of the Oval. However, the review of car parking arrangements must also consider off site solutions for parking.</i></p>
25.	Street infrastructure	<p>Roads surrounding the Kingston Oval should retain their current alignments and should remain bitumen or asphalt sealed. Kerbs should remain of 'upright' design. Kerbs and gutters should retain their current alignments and should be concrete.</p>
26.	Recording	<p>The removal of significant features and other substantive works which are approved by the ACT Heritage Council shall be photographed prior to the commencement of works, and images shall be submitted to ACT Heritage with relevant information for archival purposes.</p>

8.7 Policies for New Development

27.	Oval	<p>The grassed playing field shall remain an oval shape.</p> <p>The size/location of the existing boundary of the grassed oval need not be retained exactly if change is required for its ongoing use for cricket and AFL games. Alteration to its footprint should only be undertaken where this will not diminish the heritage significance of the Kingston Oval as part of the Kingston/Griffith Housing Precinct. This includes the need to conserve significant trees which are located close to the current boundary fence.</p>
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28.	Tree protection	<p>Trees shall be protected during development.</p> <p>If new development or the installation of new features is proposed within the vicinity of trees at the Kingston Oval, an assessment of the impact on significant trees should be undertaken by a qualified arborist. If the proposed works (including any excavation) have the potential to damage tree health, approval must be obtained from the ACT Heritage Council prior to proceeding with the works.</p>
29.	Consolidation of existing <i>ad hoc</i> structures	<p>The number of structures/buildings on site would preferably be consolidated to improve the presentation of the open recreation reserve. In particular, the temporary storage containers should be removed. Where replacement of these is required, purpose-built storage could be constructed where this will not have a detrimental impact on the heritage significance of the place (refer to new development below).</p>
30.	Table Tennis Centre	<p>Alterations and additions to the existing Table Tennis Centre shall be sympathetic to the streetscape character of the Kingston/Griffith Housing Precinct.</p>
31.	New development	<p>New recreation and community facilities shall only be permitted where they are consistent with the approved CMP, including the conservation policies related to use.</p> <p>Additional structures or landscape elements should be carefully designed to ensure that the heritage significance of the place is not diminished. The form and materials adopted for new structures shall be sympathetic with the residential heritage precinct, though should be recognisable as contemporary development. This should be achieved in a subtle manner, rather than by way of dramatic juxtaposition with the Interwar period housing.</p> <p>New buildings should not dominate the Kingston Oval and should have a maximum height of two stories. The height of the Greg Lord Pavilion, which is a two storey structure, is considered appropriate in its location. All new buildings will require approval from the ACT Heritage Council. An application for approval of a Statement of Heritage Effects would be required if the new building is likely to diminish the significance of the Kingston Oval as part of the Kingston/Griffith Housing Precinct (refer to Policy 8).</p> <p>Proposals for new development, including master planning for the site, should be prepared with the early and ongoing involvement of suitably experienced heritage specialists.</p>
32.	Location of new buildings	<p>New buildings and spectator areas should be concentrated on the western side of the Oval, reflecting the historical pattern of development. Supplementary structures may also be possible to the north-east corner of the oval where a building appears to have been located during the 1950s. Buildings shall be located to avoid impacts on significant trees.</p>
33.	Infrastructure and Services	<p>Upgrades to existing infrastructure and services, including lighting and scoreboards, may be undertaken where it supports ongoing significant uses and is carefully designed to avoid impacts on the heritage significance of the place.</p> <p>New services should be introduced in a considered manner and all redundant services should be removed to limit visual clutter. New utility services should be incorporated along existing overhead routes or be</p>

		<p>routed underground in a manner that does not impact on built or major landscape elements. New utility services should not require the removal or detrimental pruning of significant trees to the verge or within the oval reserve.</p> <p>Where practicable, existing installations of overhead utility services within verges or forward of average building lines should progressively be removed.</p>
34.	Park setting	<p>The open landscape setting of the parkland surrounding the sports oval and buildings, with mature trees, shall be retained. This includes the spatial relationship between built form and the landscape where buildings overlook the sports oval.</p> <p>New buildings at the Kingston Oval shall be limited in extent in order to maintain a sense of open space around the perimeter of the playing field.</p>

8.8 Policies Relating to Interpretation

35.	Interpretation Strategy	<p>An interpretation strategy shall be prepared and implemented as part of any potential future development at the Kingston Oval. Interpretation should enhance understanding of, and engagement with, the heritage significance of the Kingston Oval.</p> <p>The placement of interpretative elements should be developed in consultation with the stakeholders recorded in this CMP.</p> <p>Continued use of the Kingston Oval by AFL and cricket, along with maintaining public access, would serve to facilitate ongoing interpretation of important historical associations.</p> <p><i>Rationale: Whilst there is an interpretative sign to the north-east corner, this principally relates to the development of housing in Canberra, with no specific information provided about the Kingston Oval.</i></p>
36.	Pre-1940 trees	<p>Replacement of pre-1940 trees in poor health as well as those that have been removed in recent years would facilitate interpretation of the heritage significance of the Kingston Oval. This would assist in an understanding of the format of plantings in 'Garden City' suburbs (street trees) as well as the role that plantations (Canary Island Pines) played in controlling the effects of the climate in the first few decades of the Federal Capital.</p>

9 Implementation

This section outlines a potential scope of prioritised works and includes recommendations for further investigations to address issues and defects that were identified during site inspections undertaken in October and November 2021.

9.1 Works Prioritisation

Each of the recommended works have been assigned a priority level. These levels are defined in the table below.

Priority	Time frame	Details
Urgent	Within 12 months	These works are required to stabilise the rapid deterioration of fabric. They typically relate to areas where deterioration has progressed to a considerable degree.
Essential	1-3 years	These works are required to stabilise the ongoing deterioration of fabric. They typically relate to areas which are beginning to deteriorate.
Desirable	>5 years	This category of works is not crucial to the ongoing preservation of the place and typically relates to reinstating original details or features. These works are not considered essential though would serve to improve the presentation or functionality.
Investigate	-	Further investigation is required to determine the extent and cause of the defect or if the identified defect may have further implications.

9.2 Potential Scope of Works

The condition audit below provides an overview of defects/items that were identified during inspections of the Kingston Table Tennis Centre. Whilst this building is not a significant feature of the Kingston Oval (as part of the Kingston/Griffith Housing Precinct), it does have some historical value as a long-term sporting facility used for Table Tennis and as a building that was initially constructed and extended for the Eastlake Football Club. Significant trees are also included in the schedule, with information on the condition derived from the tree assessment prepared by Canopy Tree Experts (Appendix B).

Prior to proceeding with works included in the schedule below, confirm if hazardous materials (such as lead in paint, asbestos sheeting and services) are present.

Location	Issue/defect	Recommended works	Priority
Kingston Table Tennis Centre			
1. Ground levels	The ground surface levels surrounding the building appear to be relatively high compared to the floor level, particularly on the south-west side.	Reduce height of soil to south-west side to prevent potential damp issues with new timber floor.	Essential
2. Downpipes	There is rust to a few downpipes (such as that to the north corner) which suggests that they may leak. The downpipe to the north corner also has a large dent and	Replace damaged and leaking downpipes with new to match existing.	Essential

Location	Issue/defect	Recommended works	Priority
	two downpipes to the north-east elevation have a loose foot.		
3. Eaves lining	A section of timber strapping to the north-east side has come loose.	Refix loose strapping.	Essential
4. Downpipes	All downpipes discharge onto the ground adjacent to the building.	Investigate if water is ponding adjacent to the structure and determine means of diverting water away from the building where required.	Investigate (essential)
5. Eaves lining	There is a large section of peeling paint to the south-west side.	Confirm that the adjacent section of roof and guttering is not leaking. Safely remove loose paint and repaint.	Investigate (urgent)
Significant Trees			
6. Himalayan Cedars, Dawes Street	Of the 14 street trees, 1 is in very poor health, 2 are in poor health, 2 are fair and the remaining 9 are in good health. Those to the north end, where cars frequently park and there is soil compaction, are in poorer condition than those to the south. The tree in the poorest condition is entirely surrounded by gravel for vehicle access.	Engage an arborist to advise on the condition of trees and identify appropriate tree protection zones so that these areas can be excluded from parking to prevent further damage. The tree management plan should also include a replacement strategy prepared by an arborist for trees in poor condition, and for significant trees removed in the past.	Investigate (essential)
7. English Oaks, Canberra Avenue	The English Oaks to Canberra Avenue are in good condition with several of these trees having been replaced in recent years.	Maintain these trees in accordance with a tree management plan.	-
8. Row of Canary Island Pines to the perimeter of the ground	Of the 37 remaining Canary Island Pine trees, 2 are dead, 7 are in very poor health, 8 are in poor health, 16 are fair and 4 are in good health. Whilst the dead trees are located on the west side adjacent to the car park, trees that are in very poor and poor health are distributed around the ground. Several to the west side have compacted soil whilst several to the east side have been pruned to clear the power lines.	Engage an arborist to advise on the condition of trees and identify appropriate tree protection zones so that these areas can be excluded from parking to prevent further damage. The tree management plan should also include a replacement strategy prepared by an arborist for trees in poor condition, and for significant trees removed in the past. Some minor modification to the location of replacement trees	Investigate (essential)

Location	Issue/defect	Recommended works	Priority
		could be considered to meet important functional requirements.	
9. Cypress trees	The two high quality Cypress trees located to the south-west corner of the site are in good health, though one has a broken branch.	Maintain these trees in accordance with a tree management plan.	Investigate (essential)
10. Pin Oaks	One of the two circa 1930s Pin Oaks is in good health, though is mildly suppressed by the Canary Island Pine to the north. The other is in poor health.	Maintain these trees in accordance with a tree management plan.	Investigate (essential)

10 References

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ACT Heritage Register

Canberra Dog Walks

DestiMap

Eastlake Cricket Club

National Museum of Australia

Manuka Oval

Scoreboard Pressure

Top-rated

Appendix A: The Burra Charter

THE BURRA CHARTER

The Australia ICOMOS Charter for
Places of Cultural Significance 2013



Australia ICOMOS Incorporated
International Council on Monuments and Sites

ICOMOS

ICOMOS (International Council on Monuments and Sites) is a non-governmental professional organisation formed in 1965, with headquarters in Paris. ICOMOS is primarily concerned with the philosophy, terminology, methodology and techniques of cultural heritage conservation. It is closely linked to UNESCO, particularly in its role under the World Heritage Convention 1972 as UNESCO's principal adviser on cultural matters related to World Heritage. The 11,000 members of ICOMOS include architects, town planners, demographers, archaeologists, geographers, historians, conservators, anthropologists, scientists, engineers and heritage administrators. Members in the 103 countries belonging to ICOMOS are formed into National Committees and participate in a range of conservation projects, research work, intercultural exchanges and cooperative activities. ICOMOS also has 27 International Scientific Committees that focus on particular aspects of the conservation field. ICOMOS members meet triennially in a General Assembly.

Australia ICOMOS

The Australian National Committee of ICOMOS (Australia ICOMOS) was formed in 1976. It elects an Executive Committee of 15 members, which is responsible for carrying out national programs and participating in decisions of ICOMOS as an international organisation. It provides expert advice as required by ICOMOS, especially in its relationship with the World Heritage Committee. Australia ICOMOS acts as a national and international link between public authorities, institutions and individuals involved in the study and conservation of all places of cultural significance. Australia ICOMOS members participate in a range of conservation activities including site visits, training, conferences and meetings.

Revision of the Burra Charter

The Burra Charter was first adopted in 1979 at the historic South Australian mining town of Burra. Minor revisions were made in 1981 and 1988, with more substantial changes in 1999.

Following a review this version was adopted by Australia ICOMOS in October 2013.

The review process included replacement of the 1988 Guidelines to the Burra Charter with Practice Notes which are available at: australia.icomos.org

Australia ICOMOS documents are periodically reviewed and we welcome any comments.

Citing the Burra Charter

The full reference is *The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance, 2013*. Initial textual references should be in the form of the *Australia ICOMOS Burra Charter, 2013* and later references in the short form (*Burra Charter*).

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The Burra Charter consists of the Preamble, Articles, Explanatory Notes and the flow chart.

This publication may be reproduced, but only in its entirety including the front cover and this page. Formatting must remain unaltered. Parts of the Burra Charter may be quoted with appropriate citing and acknowledgement.

Cover photograph by Ian Stapleton.

Australia ICOMOS Incorporated [ARBN 155 731 025]
Secretariat: c/o Faculty of Arts
Deakin University
Burwood, VIC 3125
Australia

<http://australia.icomos.org/>

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The Burra Charter

(The Australia ICOMOS Charter for Places of Cultural Significance, 2013)

Preamble

Considering the International Charter for the Conservation and Restoration of Monuments and Sites (Venice 1964), and the Resolutions of the 5th General Assembly of the International Council on Monuments and Sites (ICOMOS) (Moscow 1978), the Burra Charter was adopted by Australia ICOMOS (the Australian National Committee of ICOMOS) on 19 August 1979 at Burra, South Australia. Revisions were adopted on 23 February 1981, 23 April 1988, 26 November 1999 and 31 October 2013.

The Burra Charter provides guidance for the conservation and management of places of cultural significance (cultural heritage places), and is based on the knowledge and experience of Australia ICOMOS members.

Conservation is an integral part of the management of places of cultural significance and is an ongoing responsibility.

Who is the Charter for?

The Charter sets a standard of practice for those who provide advice, make decisions about, or undertake works to places of cultural significance, including owners, managers and custodians.

Using the Charter

The Charter should be read as a whole. Many articles are interdependent.

The Charter consists of:

- Definitions Article 1
- Conservation Principles Articles 2–13
- Conservation Processes Articles 14–25
- Conservation Practices Articles 26–34
- The Burra Charter Process flow chart.

The key concepts are included in the Conservation Principles section and these are further developed in the Conservation Processes and Conservation Practice sections. The flow chart explains the Burra Charter Process (Article 6) and is an integral part of

the Charter. Explanatory Notes also form part of the Charter.

The Charter is self-contained, but aspects of its use and application are further explained, in a series of Australia ICOMOS Practice Notes, in *The Illustrated Burra Charter*, and in other guiding documents available from the Australia ICOMOS web site: australia.icomos.org.

What places does the Charter apply to?

The Charter can be applied to all types of places of cultural significance including natural, Indigenous and historic places with cultural values.

The standards of other organisations may also be relevant. These include the *Australian Natural Heritage Charter*, *Ask First: a guide to respecting Indigenous heritage places and values* and *Significance 2.0: a guide to assessing the significance of collections*.

National and international charters and other doctrine may be relevant. See australia.icomos.org.

Why conserve?

Places of cultural significance enrich people's lives, often providing a deep and inspirational sense of connection to community and landscape, to the past and to lived experiences. They are historical records, that are important expressions of Australian identity and experience. Places of cultural significance reflect the diversity of our communities, telling us about who we are and the past that has formed us and the Australian landscape. They are irreplaceable and precious.

These places of cultural significance must be conserved for present and future generations in accordance with the principle of inter-generational equity.

The Burra Charter advocates a cautious approach to change: do as much as necessary to care for the place and to make it useable, but otherwise change it as little as possible so that its cultural significance is retained.

Articles

Article 1. Definitions

For the purposes of this Charter:

- 1.1 *Place* means a geographically defined area. It may include elements, objects, spaces and views. Place may have tangible and intangible dimensions.
- 1.2 *Cultural significance* means aesthetic, historic, scientific, social or spiritual value for past, present or future generations.

Cultural significance is embodied in the *place* itself, its *fabric*, *setting*, *use*, *associations*, *meanings*, *records*, *related places* and *related objects*.

Places may have a range of values for different individuals or groups.
- 1.3 *Fabric* means all the physical material of the *place* including elements, fixtures, contents and objects.
- 1.4 *Conservation* means all the processes of looking after a *place* so as to retain its *cultural significance*.
- 1.5 *Maintenance* means the continuous protective care of a *place*, and its *setting*.

Maintenance is to be distinguished from repair which involves *restoration* or *reconstruction*.
- 1.6 *Preservation* means maintaining a *place* in its existing state and retarding deterioration.
- 1.7 *Restoration* means returning a *place* to a known earlier state by removing accretions or by reassembling existing elements without the introduction of new material.
- 1.8 *Reconstruction* means returning a *place* to a known earlier state and is distinguished from *restoration* by the introduction of new material.
- 1.9 *Adaptation* means changing a *place* to suit the existing *use* or a proposed use.
- 1.10 *Use* means the functions of a *place*, including the activities and traditional and customary practices that may occur at the place or are dependent on the place.

Explanatory Notes

Place has a broad scope and includes natural and cultural features. Place can be large or small: for example, a memorial, a tree, an individual building or group of buildings, the location of an historical event, an urban area or town, a cultural landscape, a garden, an industrial plant, a shipwreck, a site with in situ remains, a stone arrangement, a road or travel route, a community meeting place, a site with spiritual or religious connections.

The term cultural significance is synonymous with cultural heritage significance and cultural heritage value.

Cultural significance may change over time and with use.

Understanding of cultural significance may change as a result of new information.

Fabric includes building interiors and sub-surface remains, as well as excavated material.

Natural elements of a place may also constitute fabric. For example the rocks that signify a Dreaming place.

Fabric may define spaces and views and these may be part of the significance of the place.

See also Article 14.

Examples of protective care include:

- maintenance – regular inspection and cleaning of a place, e.g. mowing and pruning in a garden;
- repair involving restoration – returning dislodged or relocated fabric to its original location e.g. loose roof gutters on a building or displaced rocks in a stone bora ring;
- repair involving reconstruction – replacing decayed fabric with new fabric

It is recognised that all places and their elements change over time at varying rates.

New material may include recycled material salvaged from other places. This should not be to the detriment of any place of cultural significance.

Use includes for example cultural practices commonly associated with Indigenous peoples such as ceremonies, hunting and fishing, and fulfillment of traditional obligations. Exercising a right of access may be a use.

Articles

- 1.11 *Compatible use* means a *use* which respects the *cultural significance* of a *place*. Such a use involves no, or minimal, impact on cultural significance.
- 1.12 *Setting* means the immediate and extended environment of a *place* that is part of or contributes to its *cultural significance* and distinctive character.
- 1.13 *Related place* means a *place* that contributes to the *cultural significance* of another place.
- 1.14 *Related object* means an object that contributes to the *cultural significance* of a *place* but is not at the place.
- 1.15 *Associations* mean the connections that exist between people and a *place*.
- 1.16 *Meanings* denote what a *place* signifies, indicates, evokes or expresses to people.
- 1.17 *Interpretation* means all the ways of presenting the *cultural significance* of a *place*.

Conservation Principles

Article 2. Conservation and management

- 2.1 *Places of cultural significance* should be conserved.
- 2.2 The aim of *conservation* is to retain the *cultural significance* of a *place*.
- 2.3 *Conservation* is an integral part of good management of *places of cultural significance*.
- 2.4 *Places of cultural significance* should be safeguarded and not put at risk or left in a vulnerable state.

Article 3. Cautious approach

- 3.1 *Conservation* is based on a respect for the existing *fabric, use, associations* and *meanings*. It requires a cautious approach of changing as much as necessary but as little as possible.
- 3.2 Changes to a *place* should not distort the physical or other evidence it provides, nor be based on conjecture.

Article 4. Knowledge, skills and techniques

- 4.1 *Conservation* should make use of all the knowledge, skills and disciplines which can contribute to the study and care of the *place*.

Explanatory Notes

Setting may include: structures, spaces, land, water and sky; the visual setting including views to and from the place, and along a cultural route; and other sensory aspects of the setting such as smells and sounds. Setting may also include historical and contemporary relationships, such as use and activities, social and spiritual practices, and relationships with other places, both tangible and intangible.

Objects at a place are encompassed by the definition of place, and may or may not contribute to its cultural significance.

Associations may include social or spiritual values and cultural responsibilities for a place.

Meanings generally relate to intangible dimensions such as symbolic qualities and memories.

Interpretation may be a combination of the treatment of the fabric (e.g. maintenance, restoration, reconstruction); the use of and activities at the place; and the use of introduced explanatory material.

The traces of additions, alterations and earlier treatments to the fabric of a place are evidence of its history and uses which may be part of its significance. Conservation action should assist and not impede their understanding.

Articles

- 4.2 Traditional techniques and materials are preferred for the *conservation* of significant *fabric*. In some circumstances modern techniques and materials which offer substantial conservation benefits may be appropriate.

Article 5. Values

- 5.1 *Conservation* of a *place* should identify and take into consideration all aspects of cultural and natural significance without unwarranted emphasis on any one value at the expense of others.
- 5.2 Relative degrees of *cultural significance* may lead to different *conservation* actions at a place.

Article 6. Burra Charter Process

- 6.1 The *cultural significance* of a *place* and other issues affecting its future are best understood by a sequence of collecting and analysing information before making decisions. Understanding cultural significance comes first, then development of policy and finally management of the place in accordance with the policy. This is the Burra Charter Process.
- 6.2 Policy for managing a *place* must be based on an understanding of its *cultural significance*.
- 6.3 Policy development should also include consideration of other factors affecting the future of a *place* such as the owner's needs, resources, external constraints and its physical condition.
- 6.4 In developing an effective policy, different ways to retain *cultural significance* and address other factors may need to be explored.
- 6.5 Changes in circumstances, or new information or perspectives, may require reiteration of part or all of the Burra Charter Process.

Article 7. Use

- 7.1 Where the *use* of a *place* is of *cultural significance* it should be retained.
- 7.2 A *place* should have a *compatible use*.

Explanatory Notes

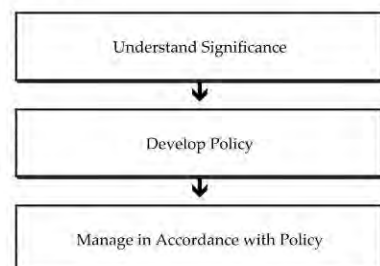
The use of modern materials and techniques must be supported by firm scientific evidence or by a body of experience.

Conservation of places with natural significance is explained in the Australian Natural Heritage Charter. This Charter defines natural significance to mean the importance of ecosystems, biodiversity and geodiversity for their existence value or for present or future generations, in terms of their scientific, social, aesthetic and life-support value.

In some cultures, natural and cultural values are indivisible.

A cautious approach is needed, as understanding of cultural significance may change. This article should not be used to justify actions which do not retain cultural significance.

The Burra Charter Process, or sequence of investigations, decisions and actions, is illustrated below and in more detail in the accompanying flow chart which forms part of the Charter.



Options considered may include a range of uses and changes (e.g. adaptation) to a place.

The policy should identify a use or combination of uses or constraints on uses that retain the cultural significance of the place. New use of a place should involve minimal change to significant fabric and use; should respect associations and meanings; and where appropriate should provide for continuation of activities and practices which contribute to the cultural significance of the place.

Articles

Article 8. Setting

Conservation requires the retention of an appropriate *setting*. This includes retention of the visual and sensory setting, as well as the retention of spiritual and other cultural relationships that contribute to the *cultural significance* of the *place*.

New construction, demolition, intrusions or other changes which would adversely affect the setting or relationships are not appropriate.

Article 9. Location

- 9.1 The physical location of a *place* is part of its *cultural significance*. A building, work or other element of a place should remain in its historical location. Relocation is generally unacceptable unless this is the sole practical means of ensuring its survival.
- 9.2 Some buildings, works or other elements of *places* were designed to be readily removable or already have a history of relocation. Provided such buildings, works or other elements do not have significant links with their present location, removal may be appropriate.
- 9.3 If any building, work or other element is moved, it should be moved to an appropriate location and given an appropriate *use*. Such action should not be to the detriment of any *place* of *cultural significance*.

Article 10. Contents

Contents, fixtures and objects which contribute to the *cultural significance* of a *place* should be retained at that place. Their removal is unacceptable unless it is: the sole means of ensuring their security and *preservation*; on a temporary basis for treatment or exhibition; for cultural reasons; for health and safety; or to protect the place. Such contents, fixtures and objects should be returned where circumstances permit and it is culturally appropriate.

Article 11. Related places and objects

The contribution which *related places* and *related objects* make to the *cultural significance* of the *place* should be retained.

Article 12. Participation

Conservation, *interpretation* and management of a *place* should provide for the participation of people for whom the place has significant *associations* and *meanings*, or who have social, spiritual or other cultural responsibilities for the place.

Article 13. Co-existence of cultural values

Co-existence of cultural values should always be recognised, respected and encouraged. This is especially important in cases where they conflict.

Explanatory Notes

Setting is explained in Article 1.12.

For example, the repatriation (returning) of an object or element to a place may be important to Indigenous cultures, and may be essential to the retention of its cultural significance.

Article 28 covers the circumstances where significant fabric might be disturbed, for example, during archaeological excavation.

Article 33 deals with significant fabric that has been removed from a place.

For some places, conflicting cultural values may affect policy development and management decisions. In Article 13, the term cultural values refers to those beliefs which are important to a cultural group, including but not limited to political, religious, spiritual and moral beliefs. This is broader than values associated with cultural significance.

Conservation Processes

Article 14. Conservation processes

Conservation may, according to circumstance, include the processes of: retention or reintroduction of a *use*; retention of *associations* and *meanings*; *maintenance*, *preservation*, *restoration*, *reconstruction*, *adaptation* and *interpretation*; and will commonly include a combination of more than one of these. Conservation may also include retention of the contribution that *related places* and *related objects* make to the *cultural significance* of a *place*.

Article 15. Change

15.1 Change may be necessary to retain *cultural significance*, but is undesirable where it reduces cultural significance. The amount of change to a *place* and its *use* should be guided by the *cultural significance* of the *place* and its appropriate *interpretation*.

15.2 Changes which reduce *cultural significance* should be reversible, and be reversed when circumstances permit.

15.3 Demolition of significant *fabric* of a *place* is generally not acceptable. However, in some cases minor demolition may be appropriate as part of *conservation*. Removed significant fabric should be reinstated when circumstances permit.

15.4 The contributions of all aspects of *cultural significance* of a *place* should be respected. If a *place* includes *fabric*, *uses*, *associations* or *meanings* of different periods, or different aspects of cultural significance, emphasising or interpreting one period or aspect at the expense of another can only be justified when what is left out, removed or diminished is of slight cultural significance and that which is emphasised or interpreted is of much greater cultural significance.

Article 16. Maintenance

Maintenance is fundamental to *conservation*. Maintenance should be undertaken where *fabric* is of *cultural significance* and its maintenance is necessary to retain that *cultural significance*.

Article 17. Preservation

Preservation is appropriate where the existing *fabric* or its condition constitutes evidence of *cultural significance*, or where insufficient evidence is available to allow other *conservation* processes to be carried out.

Conservation normally seeks to slow deterioration unless the significance of the place dictates otherwise. There may be circumstances where no action is required to achieve conservation.

When change is being considered, including for a temporary use, a range of options should be explored to seek the option which minimises any reduction to its cultural significance.

It may be appropriate to change a place where this reflects a change in cultural meanings or practices at the place, but the significance of the place should always be respected.

Reversible changes should be considered temporary. Non-reversible change should only be used as a last resort and should not prevent future conservation action.

Maintaining a place may be important to the fulfilment of traditional laws and customs in some Indigenous communities and other cultural groups.

Preservation protects fabric without obscuring evidence of its construction and use. The process should always be applied:

- where the evidence of the fabric is of such significance that it should not be altered; or
- where insufficient investigation has been carried out to permit policy decisions to be taken in accord with Articles 26 to 28.

New work (e.g. stabilisation) may be carried out in association with preservation when its purpose is the physical protection of the fabric and when it is consistent with Article 22.

Articles

Article 18. Restoration and reconstruction

Restoration and *reconstruction* should reveal culturally significant aspects of the *place*.

Article 19. Restoration

Restoration is appropriate only if there is sufficient evidence of an earlier state of the *fabric*.

Article 20. Reconstruction

20.1 *Reconstruction* is appropriate only where a *place* is incomplete through damage or alteration, and only where there is sufficient evidence to reproduce an earlier state of the *fabric*. In some cases, reconstruction may also be appropriate as part of a *use* or practice that retains the *cultural significance* of the place.

20.2 *Reconstruction* should be identifiable on close inspection or through additional *interpretation*.

Article 21. Adaptation

21.1 *Adaptation* is acceptable only where the adaptation has minimal impact on the *cultural significance* of the *place*.

21.2 *Adaptation* should involve minimal change to significant *fabric*, achieved only after considering alternatives.

Article 22. New work

22.1 New work such as additions or other changes to the *place* may be acceptable where it respects and does not distort or obscure the *cultural significance* of the place, or detract from its *interpretation* and appreciation.

22.2 New work should be readily identifiable as such, but must respect and have minimal impact on the *cultural significance* of the *place*.

Article 23. Retaining or reintroducing use

Retaining, modifying or reintroducing a significant *use* may be appropriate and preferred forms of *conservation*.

Article 24. Retaining associations and meanings

24.1 Significant *associations* between people and a *place* should be respected, retained and not obscured. Opportunities for the *interpretation*, commemoration and celebration of these associations should be investigated and implemented.

24.2 Significant *meanings*, including spiritual values, of a *place* should be respected. Opportunities for the continuation or revival of these meanings should be investigated and implemented.

Explanatory Notes

Places with social or spiritual value may warrant reconstruction, even though very little may remain (e.g. only building footings or tree stumps following fire, flood or storm). The requirement for sufficient evidence to reproduce an earlier state still applies.

Adaptation may involve additions to the place, the introduction of new services, or a new use, or changes to safeguard the place. Adaptation of a place for a new use is often referred to as 'adaptive re-use' and should be consistent with Article 7.2.

New work should respect the significance of a place through consideration of its siting, bulk, form, scale, character, colour, texture and material. Imitation should generally be avoided.

New work should be consistent with Articles 3, 5, 8, 15, 21 and 22.1.

These may require changes to significant fabric but they should be minimised. In some cases, continuing a significant use, activity or practice may involve substantial new work.

For many places associations will be linked to aspects of use, including activities and practices.

Some associations and meanings may not be apparent and will require research.

Articles

Article 25. Interpretation

The *cultural significance* of many *places* is not readily apparent, and should be explained by *interpretation*. Interpretation should enhance understanding and engagement, and be culturally appropriate.

Conservation Practice

Article 26. Applying the Burra Charter Process

26.1 Work on a *place* should be preceded by studies to understand the place which should include analysis of physical, documentary, oral and other evidence, drawing on appropriate knowledge, skills and disciplines.

26.2 Written statements of *cultural significance* and policy for the *place* should be prepared, justified and accompanied by supporting evidence. The statements of significance and policy should be incorporated into a management plan for the place.

26.3 Groups and individuals with *associations* with the *place* as well as those involved in its management should be provided with opportunities to contribute to and participate in identifying and understanding the *cultural significance* of the *place*. Where appropriate they should also have opportunities to participate in its *conservation* and management.

26.4 Statements of *cultural significance* and policy for the *place* should be periodically reviewed, and actions and their consequences monitored to ensure continuing appropriateness and effectiveness.

Article 27. Managing change

27.1 The impact of proposed changes, including incremental changes, on the *cultural significance* of a *place* should be assessed with reference to the statement of significance and the policy for managing the place. It may be necessary to modify proposed changes to better retain cultural significance.

27.2 Existing *fabric*, *use*, *associations* and *meanings* should be adequately recorded before and after any changes are made to the *place*.

Article 28. Disturbance of fabric

28.1 Disturbance of significant *fabric* for study, or to obtain evidence, should be minimised. Study of a *place* by any disturbance of the fabric, including archaeological excavation, should only be undertaken to provide data essential for decisions on the *conservation* of the place, or to obtain important evidence about to be lost or made inaccessible.

Explanatory Notes

In some circumstances any form of interpretation may be culturally inappropriate.

The results of studies should be kept up to date, regularly reviewed and revised as necessary.

Policy should address all relevant issues, e.g. use, interpretation, management and change.

A management plan is a useful document for recording the Burra Charter Process, i.e. the steps in planning for and managing a place of cultural significance (Article 6.1 and flow chart). Such plans are often called conservation management plans and sometimes have other names.

The management plan may deal with other matters related to the management of the place.

Monitor actions taken in case there are also unintended consequences.

Articles

Explanatory Notes

28.2 Investigation of a *place* which requires disturbance of the *fabric*, apart from that necessary to make decisions, may be appropriate provided that it is consistent with the policy for the place. Such investigation should be based on important research questions which have potential to substantially add to knowledge, which cannot be answered in other ways and which minimises disturbance of significant fabric.

Article 29. Responsibility

The organisations and individuals responsible for management and decisions should be named and specific responsibility taken for each decision.

Article 30. Direction, supervision and implementation

Competent direction and supervision should be maintained at all stages, and any changes should be implemented by people with appropriate knowledge and skills.

Article 31. Keeping a log

New evidence may come to light while implementing policy or a plan for a *place*. Other factors may arise and require new decisions. A log of new evidence and additional decisions should be kept.

New decisions should respect and have minimal impact on the cultural significance of the place.

Article 32. Records

32.1 The records associated with the *conservation* of a *place* should be placed in a permanent archive and made publicly available, subject to requirements of security and privacy, and where this is culturally appropriate.

32.2 Records about the history of a *place* should be protected and made publicly available, subject to requirements of security and privacy, and where this is culturally appropriate.

Article 33. Removed fabric

Significant *fabric* which has been removed from a *place* including contents, fixtures and objects, should be catalogued, and protected in accordance with its *cultural significance*.

Where possible and culturally appropriate, removed significant fabric including contents, fixtures and objects, should be kept at the place.

Article 34. Resources

Adequate resources should be provided for *conservation*.

The best conservation often involves the least work and can be inexpensive.

Words in italics are defined in Article 1.

The Burra Charter Process

Steps in planning for and managing a place of cultural significance

The Burra Charter should be read as a whole.

Key articles relevant to each step are shown in the boxes. Article 6 summarises the Burra Charter Process.



Appendix B: Tree Assessment



24 September 2021

Reference No. 8381

Kingston Oval Tree Assessment

Preliminary Arboricultural Report

Block 9, Section 22 | 8 Dawes St, Griffith ACT 2603

Prepared for

Ross Burden
Senior Director
Sport and Recreation Facilities, City Presentation
Transport Canberra and City Services Directorate

Prepared by

Nathanael du Boulay
AQF 5 Consulting Arborist
Canopy the Tree Experts Pty Ltd

Assessment Dates

9th, 13th & 14th September 2021

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3 SUMMARY OF ASSESSMENT

Park Trees	105
Street Trees	40
Total	145

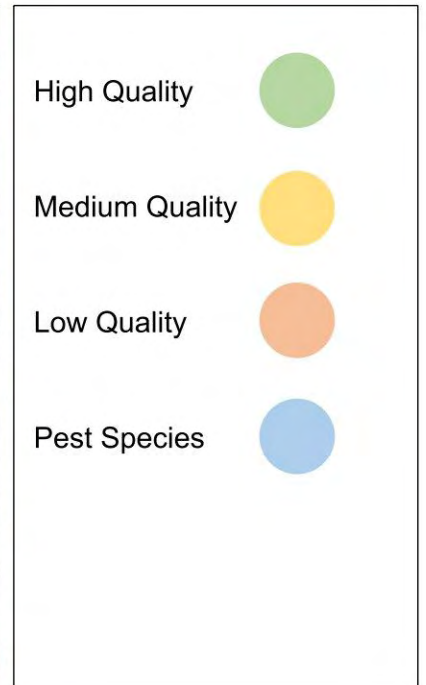
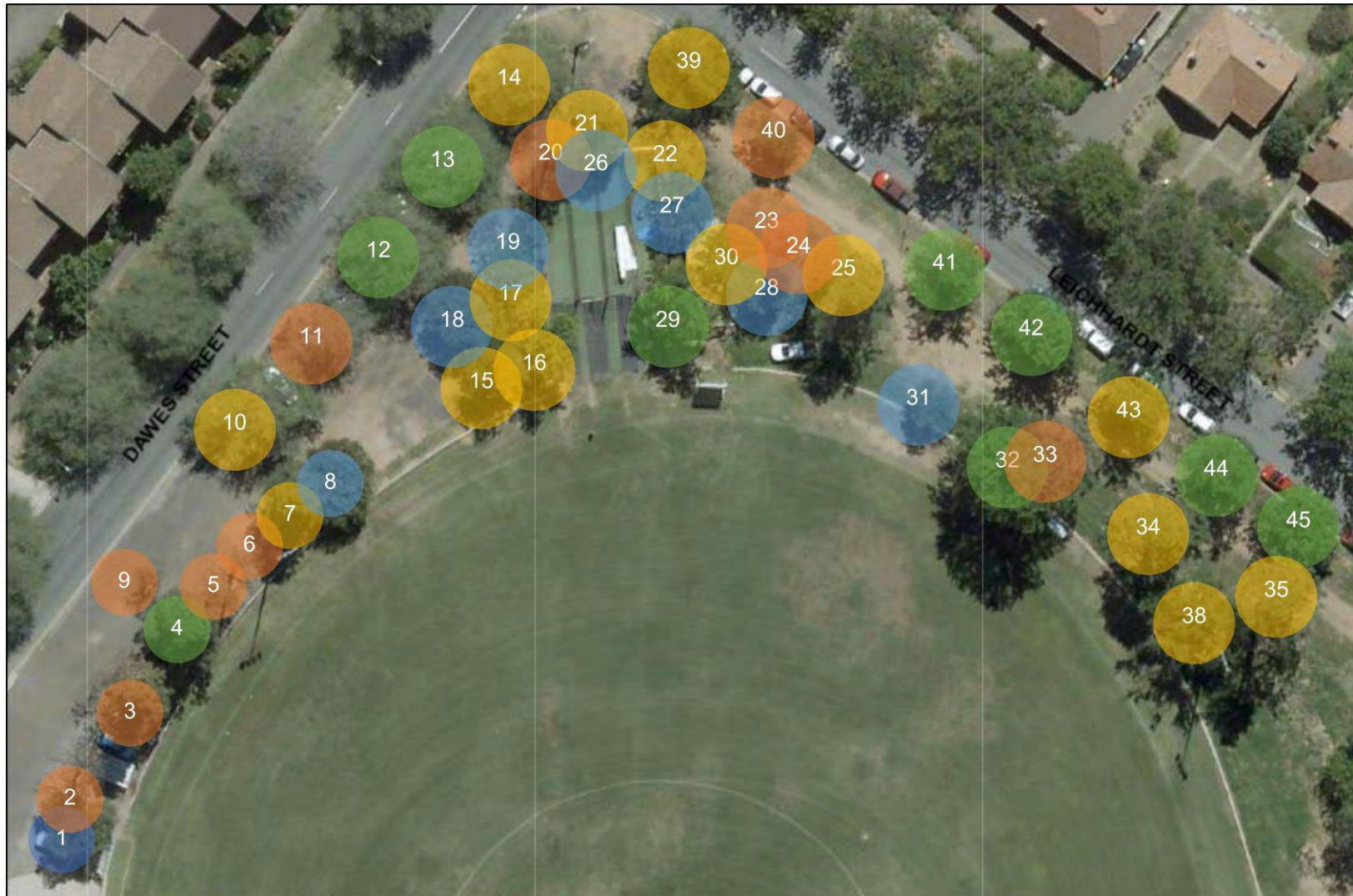
Tree Quality Rating	Quantity
Low	35
Medium	33
High	34
Pest species ¹	43
Total	145

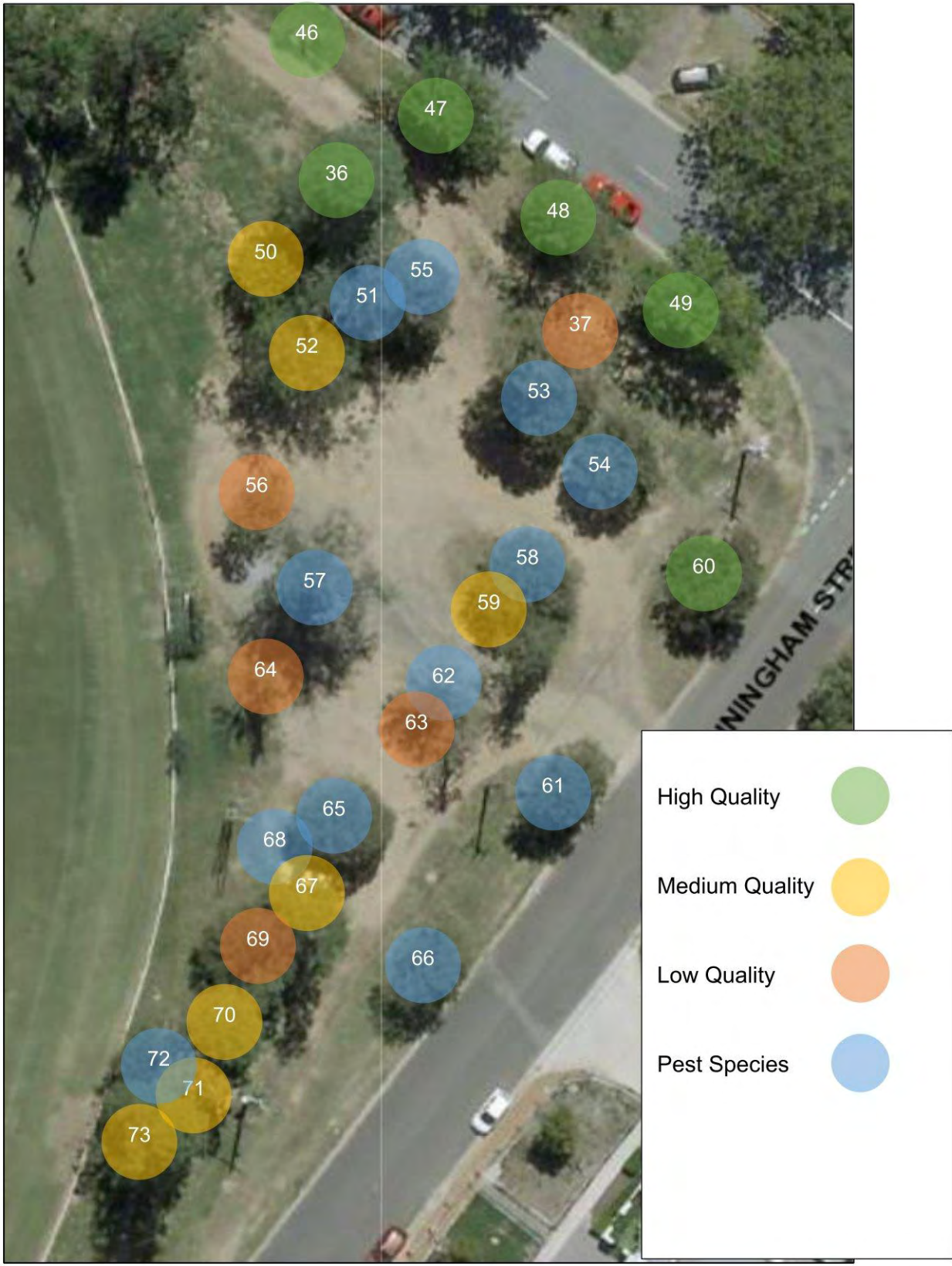
Species on the site (including Street Trees)	Quantity	Recommended Replacement Species ²
<i>Celtis australis</i> - Nettle Tree (<i>Pest Species</i>)	41	<i>Zelkova serrata</i> – Japanese Elm and/or <i>Brachychiton populneus</i> - Kurrajong
<i>Pinus canariensis</i> - Canary Island Pine	37	<i>Pinus pinea</i> – Stone Pine (Avoid planting where pinecone drop may cause issues)
<i>Fraxinus pennsylvanica</i> - Green Ash	15	
<i>Cedrus deodara</i> - Deodar/ Himalayan Cedar	14	
<i>Quercus palustris</i> - Pin Oak	13	
<i>Quercus robur</i> - English Oak	10	
<i>Casuarina cunninghamiana</i> - River Oak	6	
<i>Cupressus sp.</i> - Cypress	4	
<i>Populus alba</i> - Silver Poplar (<i>Pest Species</i>)	4	<i>Populus deltoides</i> 'Weetangera' - Weetangera eastern cottonwood
<i>Ulmus sp.</i> – Elm (species not identified)	1	

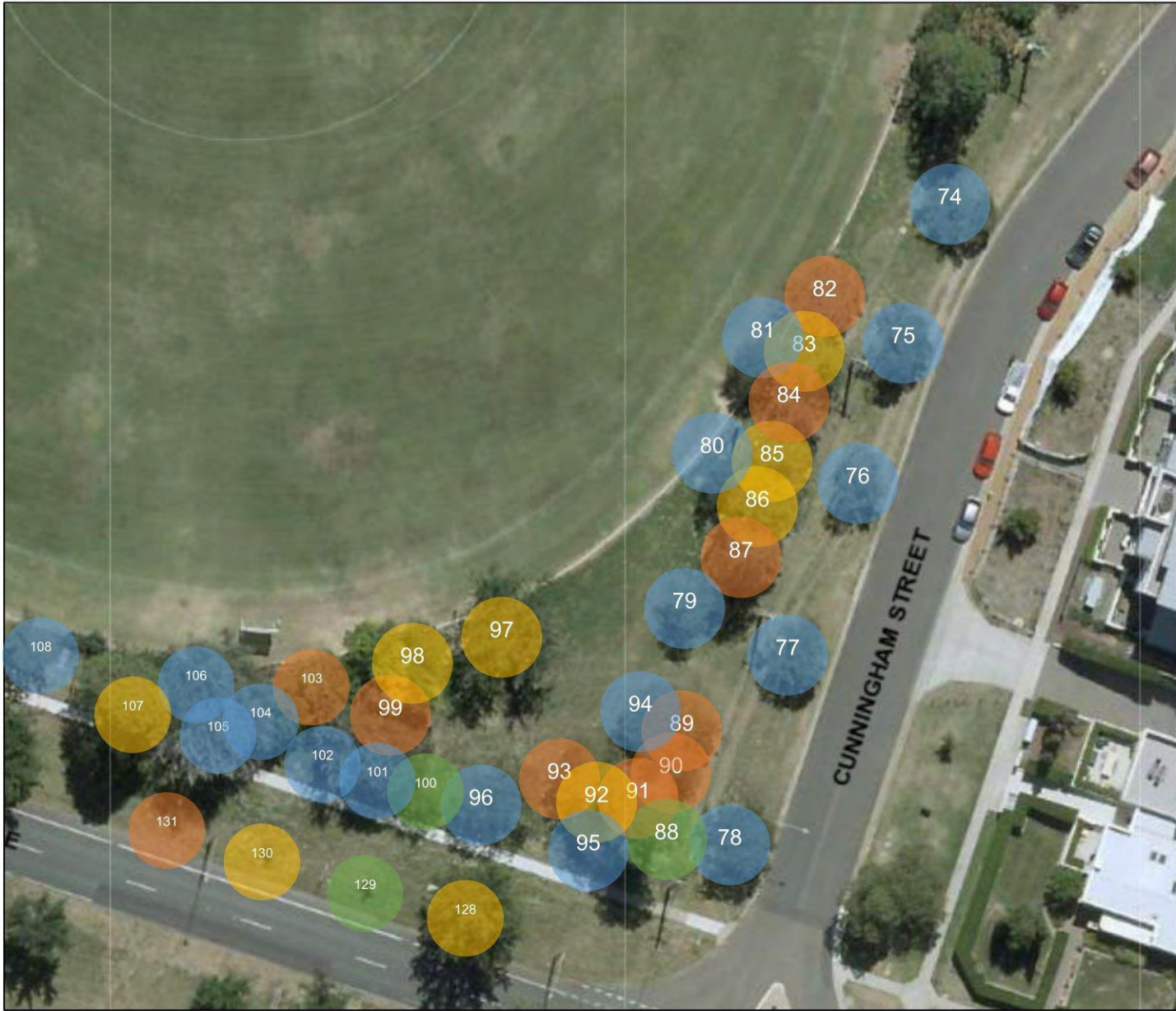
¹ As listed in 'Pest Plants and Animals (Pest Plants) 2015 No. 1'

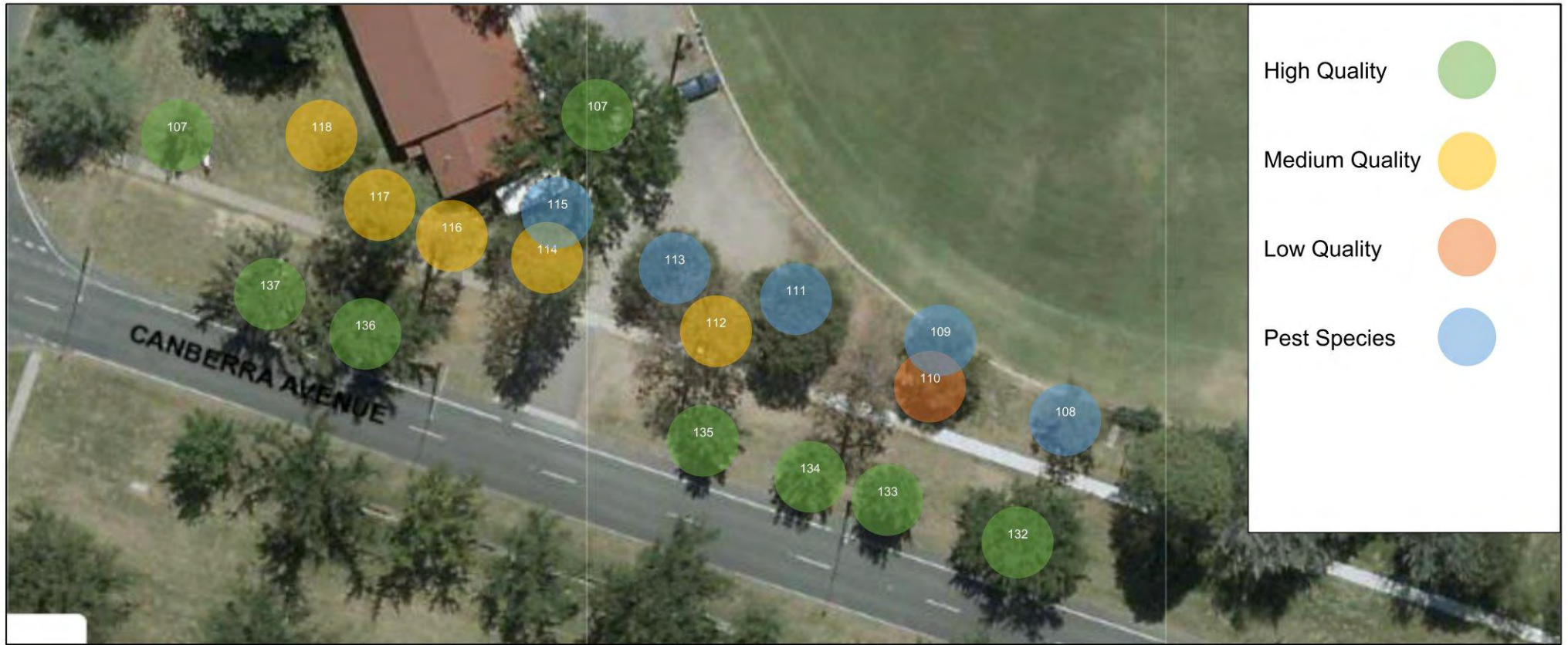
² These recommendations are an initial guide only. Tree selection and new designs need to consider together for the best outcome

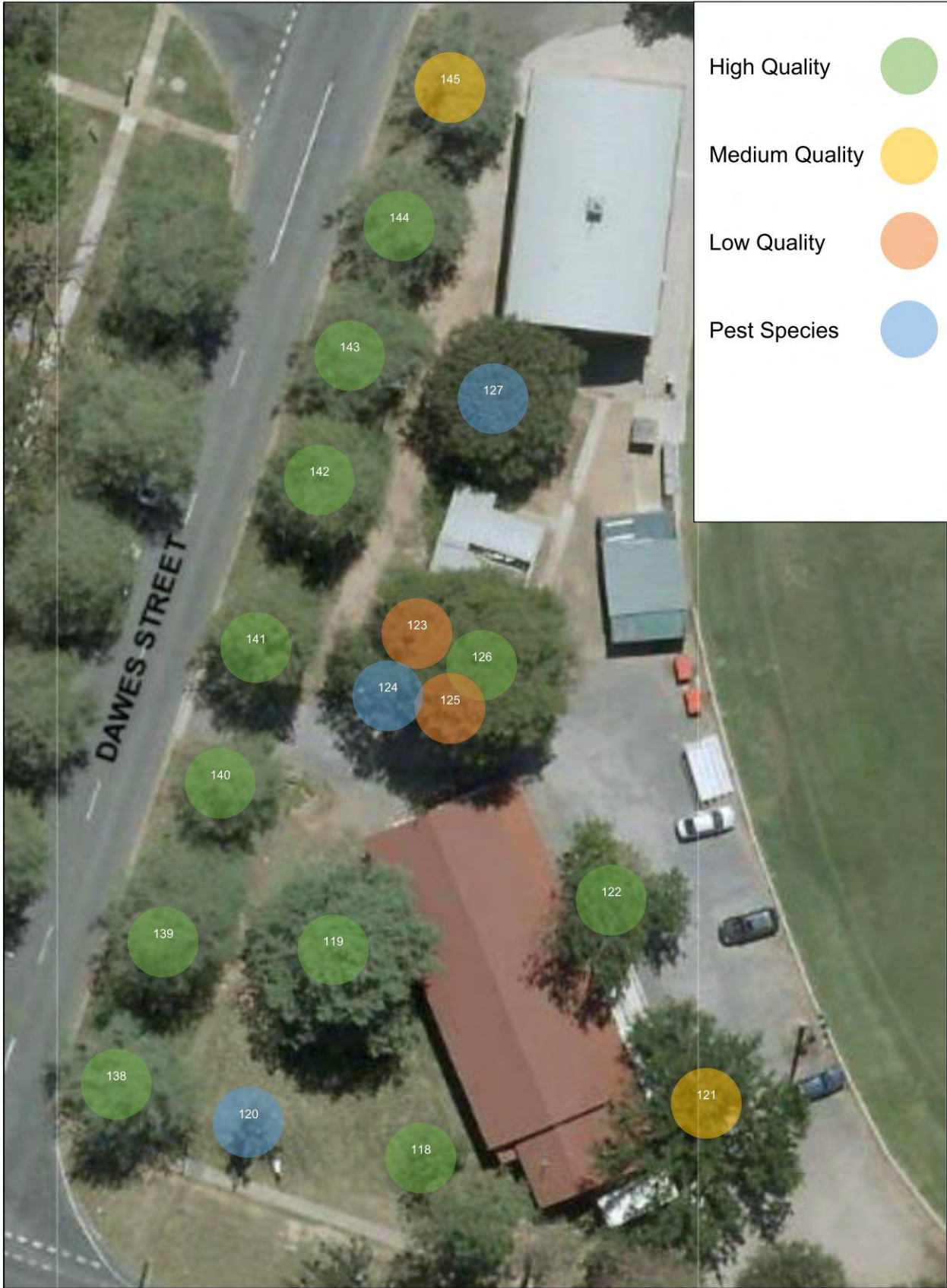
4 TREE LOCATIONS











5 TREE SCHEDULE

Tree No.	Species	Street Tree (ST) Park Tree (PT)	Height	Canopy Spread				Health	Structure	Life Stage	Tree Protection Status	Tree Quality Classification	Comments	DBH	Radius TPZ ⁴⁹⁷⁰	Radius SRZ ⁴⁹⁷⁰
1	Celtis australis - Nettle Tree	PT								30 - 50	Pest Plant (Weed)	Pest species	Park Tree	0.0	0.0	0.0
2	Pinus canariensis - Canary Island Pine	PT	16									Low	Tree is dead	0.0	0.0	0.0
3	Pinus canariensis - Canary Island Pine	PT	24	6	4	7	6	Very Poor	Fair	70 - 90	Park Tree	Low	Soil compaction	0.7	8.4	3.1
4	Pinus canariensis - Canary Island Pine	PT	21	6	4	7	7	Good	Good	70 - 90	Park Tree	High	Soil compaction	0.6	6.9	2.8
5	Pinus canariensis - Canary Island Pine	PT	15	3	3	2	2	Very Poor	Good	70 - 90	Park Tree	Low	Soil compaction	0.4	5.4	2.5
6	Pinus canariensis - Canary Island Pine	PT										Low	Tree is dead	0.0	0.0	0.0
7	Pinus canariensis - Canary Island Pine	PT	16	5	4	5	4	Fair	Good	70 - 90	Park Tree	Medium	Soil compaction	0.7	8.4	3.1
8	Celtis australis - Nettle Tree	PT								30 - 50	Pest Plant (Weed)	Pest species	Park Tree	0.0	0.0	0.0
9	Cedrus deodara - Deodar/ Himalayan Cedar	ST	9	2	2	2	2	Very Poor	Fair	60 - 80	Street Tree	Low		0.0	0.0	0.0
10	Cedrus deodara - Deodar/ Himalayan Cedar	ST	14	7	8	7	10	Fair		60 - 80	Street Tree	Medium	Early stages of decline. Soil compaction	0.6	7.3	2.9
11	Cedrus deodara - Deodar/ Himalayan Cedar	ST	14	7	5	6	7	Poor	Good	60 - 80	Street Tree	Low	Early stages of decline. Soil compaction	0.5	6.1	2.7
12	Cedrus deodara - Deodar/ Himalayan Cedar	ST	16	8	8	8	8	Good	Good	60 - 80	Street Tree	High	Soil compaction	0.7	8.0	3.0
13	Cedrus deodara - Deodar/ Himalayan Cedar	ST	16	8	8	8	8	Good	Good	60 - 80	Street Tree	High	Soil compaction	0.6	7.6	3.0
14	Cedrus deodara - Deodar/ Himalayan Cedar	ST	16	8	8	8	8	Fair	Good	60 - 80	Street Tree	Medium	Soil compaction. Early stages of decline	0.6	7.3	2.9
15	Fraxinus pennsylvanica - Green Ash	PT	14	3	4	5	4	Fair	Good	20 - 40	Park Tree	Medium	Soil compaction. Early stages of decline	0.4	4.6	2.4
16	Fraxinus pennsylvanica - Green Ash	PT	12	6	6	3	4	Fair	Good	20 - 40	Park Tree	Medium	Soil compaction	0.4	4.2	2.3
17	Fraxinus pennsylvanica - Green Ash	PT	11	4	4	4	4	Fair	Good	20 - 40	Park Tree	Medium	Soil compaction	0.3	3.8	2.2
18	Celtis australis - Nettle Tree	PT								30 - 50	Pest Plant (Weed)	Pest species	Park Tree	0.0	0.0	0.0
19	Celtis australis - Nettle Tree	PT								30 - 50	Pest Plant (Weed)	Pest species	Park Tree	0.0	0.0	0.0
20	Pinus canariensis - Canary Island Pine	PT	21	3	3	4	3	Poor	Good	70 - 90	Park Tree	Low	Soil compaction. Advanced stages of decline	0.5	5.7	2.6

Tree No.	Species	Street Tree (ST) Park Tree (PT)	Height	Canopy Spread				Health	Structure	Life Stage	Tree Protection Status	Tree Quality Classification	Comments	DBH	Radius TPZ ⁴⁹⁷⁰	Radius SRZ ⁴⁹⁷⁰
21	Pinus canariensis - Canary Island Pine	PT	18	5	3	3	3	Fair	Good	70 - 90	Park Tree	Medium	Soil compaction. Intermediate stages of decline	0.6	7.3	2.9
22	Pinus canariensis - Canary Island Pine	PT	13	6	5	5	3	Fair	Good	70 - 90	Park Tree	Medium	Pruned to clear HV lines to north. Intermediate stages of decline	0.7	8.0	3.0
23	Pinus canariensis - Canary Island Pine	PT	20					Fair	Good	70 - 90	Park Tree	Low	Pruned to clear HV lines to north. Advanced stages of decline	0.6	7.6	3.0
24	Pinus canariensis - Canary Island Pine	PT	20					Fair	Good	70 - 90	Park Tree	Low	Pruned to clear HV lines to north. Advanced stages of decline	0.6	7.6	3.0
25	Pinus canariensis - Canary Island Pine	PT	20					Fair	Good	70 - 90	Park Tree	Medium	Pruned to clear HV lines to north. Intermediate stages of decline	0.6	7.6	3.0
26	Celtis australis - Nettle Tree	PT								30 - 50	Pest Plant (Weed)	Pest species	Park Tree	0.0	0.0	0.0
27	Celtis australis - Nettle Tree	PT								30 - 50	Pest Plant (Weed)	Pest species	Park Tree	0.0	0.0	0.0
28	Celtis australis - Nettle Tree	PT								30 - 50	Pest Plant (Weed)	Pest species	Park Tree	0.0	0.0	0.0
29	Fraxinus pennsylvanica - Green Ash	PT	16	7	7	5	7	Good	Good	20 - 40	Park Tree	High	Cricket pitch and shed within TPZ	0.5	5.7	2.6
30	Fraxinus pennsylvanica - Green Ash	PT	11	6	3	5	6	Fair	Good	20 - 40	Park Tree	Medium	Shed within TPZ	0.3	3.2	2.1
31	Celtis australis - Nettle Tree	PT								30 - 50	Pest Plant (Weed)	Pest species	Park Tree	0.0	0.0	0.0
32	Quercus palustris - Pin Oak		25	7	8	9	9	Good	Good	70 - 90	Park Tree	High	Mildly suppressed by tree to north	0.6	7.6	3.0
33	Pinus canariensis - Canary Island Pine	PT	24	5	6	6	4	Poor	Good	70 - 90	Park Tree	Low	Pruned to clear HV lines to north. Intermediate stages of decline	0.7	8.8	3.1
34	Pinus canariensis - Canary Island Pine	PT	24	5	5	6	5	Fair	Good	70 - 90	Park Tree	Medium	Pruned to clear HV lines to north. Intermediate stages of decline	0.8	9.2	3.2
35	Pinus canariensis - Canary Island Pine	PT	30	7	5	4	6	Fair	Good	70 - 90	Park Tree	Medium	Pruned to clear HV lines to north. Intermediate stages of decline	0.9	10.3	3.4
36	Pinus canariensis - Canary Island Pine	PT	25	6	5	7	5	Good	Good	70 - 90	Park Tree	High	Pruned to clear HV lines to north. Intermediate stages of decline	0.8	9.2	3.2
37	Pinus canariensis - Canary Island Pine	PT	16	2	5	5	3	Poor	Good	70 - 90	Park Tree	Low	Pruned to clear HV lines to north. Intermediate stages of decline	0.6	7.6	3.0
38	Quercus palustris - Pin Oak	PT	20	7	4	6	8	Poor	Good	70 - 90	Park Tree	Medium	No leaves	0.6	7.3	2.9
39	Quercus palustris - Pin Oak	ST	12	7	6	6	6	Good	Fair	30 - 50	Street Tree	Medium	Apex may be dying back	0.4	5.0	2.5
40	Quercus palustris - Pin Oak	ST	9	4	4	2	4	Fair	Fair	10 - 15	Street Tree	Low	Pruned to clear HV lines to north. Canopy will always be asymmetric	0.2	2.9	2.0

Tree No.	Species	Street Tree (ST) Park Tree (PT)	Height	Canopy Spread				Health	Structure	Life Stage	Tree Protection Status	Tree Quality Classification	Comments	DBH	Radius TPZ ⁴⁹⁷⁰	Radius SRZ ⁴⁹⁷⁰
41	Quercus palustris - Pin Oak	ST	12	6	6	6	6	Good	Fair	10 - 15	Street Tree	High	Pruned to clear HV lines to north. Canopy will always be asymmetric	0.4	4.2	2.3
42	Quercus palustris - Pin Oak	ST	15	6	6	3	6	Good	Fair	30 - 50	Street Tree	High	Pruned to clear HV lines to north. Canopy will always be asymmetric	0.5	5.7	2.6
43	Quercus palustris - Pin Oak	ST	15	7	5	3	3	Good	Fair	30 - 50	Street Tree	Medium	Pruned to clear HV lines to north. Canopy will always be asymmetric	0.4	4.6	2.4
44	Quercus palustris - Pin Oak	ST	15	7	5	3	5	Good	Fair	30 - 50	Street Tree	High	Pruned to clear HV lines to north. Canopy will always be asymmetric	0.4	4.6	2.4
45	Quercus palustris - Pin Oak	ST	15	7	6	1	7	Good	Fair	30 - 50	Street Tree	High	Pruned to clear HV lines to north. Canopy will always be asymmetric	0.4	4.6	2.4
46	Quercus palustris - Pin Oak	ST	15					Good	Fair	5 - 10	Street Tree	High	Support stakes need to be removed	0.0	0.0	0.0
47	Quercus palustris - Pin Oak	ST	15	7	6	1	6	Good	Fair	30 - 50	Street Tree	High	Obstructing the street light. Pruned to clear HV lines to north. Canopy will always be asymmetric	0.4	4.6	2.4
48	Quercus palustris - Pin Oak	ST	15	7	5	3	6	Good	Fair	30 - 50	Street Tree	High	Pruned to clear HV lines to north. Canopy will always be asymmetric	0.4	4.6	2.4
49	Quercus palustris - Pin Oak	ST	15	7	6	2	5	Good	Fair	30 - 50	Street Tree	High	Pruned to clear HV lines to north. Canopy will always be asymmetric	0.4	4.6	2.4
50	Fraxinus pennsylvanica - Green Ash	PT	10	3	4	5	4	Good	Fair	10 - 20	Park Tree	Medium		0.0	0.0	0.0
51	Populus alba - Silver Poplar										Pest Plant (Weed)	Pest species	Park Tree	0.0	0.0	0.0
52	Fraxinus pennsylvanica - Green Ash	PT	15	4	6	6	6	Fair	Good	20 - 40	Park Tree	Medium		0.0	0.0	0.0
53	Celtis australis - Nettle Tree	PT								30 - 50	Pest Plant (Weed)	Pest species	Park Tree	0.0	0.0	0.0
54	Celtis australis - Nettle Tree	PT								30 - 50	Pest Plant (Weed)	Pest species	Park Tree	0.0	0.0	0.0
55	Celtis australis - Nettle Tree	PT								30 - 50	Pest Plant (Weed)	Pest species	Park Tree	0.0	0.0	0.0
56	Fraxinus pennsylvanica - Green Ash	PT	8	4	3	4	2	Poor	Fair	10 - 20	Park Tree	Low	Advanced stages of decline. Soil compaction	0.3	3.2	2.1
57	Populus alba - Silver Poplar	PT									Pest Plant (Weed)	Low	Park Tree	0.0	0.0	0.0
58	Celtis australis - Nettle Tree	PT								30 - 50	Pest Plant (Weed)	Pest species	Park Tree	0.0	0.0	0.0
59	Pinus canariensis - Canary Island Pine	PT	16	4	2	4	3	Poor	Good	70 - 90	Park Tree	Medium	Intermediate stages of decline. Soil compaction	0.5	5.7	2.6
60	Celtis australis - Nettle Tree	PT								30 - 50	Pest Plant (Weed)	Pest species	Pest plant	0.0	0.0	0.0
61	Celtis australis - Nettle Tree	PT								30 - 50	Pest Plant (Weed)	Pest species	Pest plant	0.0	0.0	0.0
62	Celtis australis - Nettle Tree	PT								30 - 50	Pest Plant (Weed)	Pest species	Park Tree	0.0	0.0	0.0
63	Pinus canariensis - Canary Island Pine	PT	10	3	2	3	3	Very Poor	Poor		Park Tree	Low	Tree is dead	0.0	0.0	0.0

Tree No.	Species	Street Tree (ST) Park Tree (PT)	Height	Canopy Spread				Health	Structure	Life Stage	Tree Protection Status	Tree Quality Classification	Comments	DBH	Radius TPZ ⁴⁹⁷⁰	Radius SRZ ⁴⁹⁷⁰
64	Fraxinus pennsylvanica - Green Ash	PT	8	2	1	4	3	Very Poor	Fair	10 - 20	Park Tree	Low	Advanced stages of decline. Soil compaction	0.3	3.2	2.1
65	Celtis australis - Nettle Tree	PT								30 - 50	Pest Plant (Weed)	Pest species	Park Tree	0.0	0.0	0.0
66	Celtis australis - Nettle Tree	PT								30 - 50	Pest Plant (Weed)	Pest species	Street Tree	0.0	0.0	0.0
67	Pinus canariensis - Canary Island Pine	PT	18	5	2	4	4	Fair	Poor	70 - 90	Park Tree	Medium		0.6	7.6	3.0
68	Celtis australis - Nettle Tree	PT								30 - 50	Pest Plant (Weed)	Pest species	Park Tree	0.0	0.0	0.0
69	Pinus canariensis - Canary Island Pine	PT	12	1	2	1	2	Fair	Poor	70 - 90	Park Tree	Low		0.4	4.2	2.3
70	Pinus canariensis - Canary Island Pine	PT	17	5	1	2	5	Fair	Fair	70 - 90	Park Tree	Medium		0.5	6.1	2.7
71	Pinus canariensis - Canary Island Pine	PT	16	4	3	2	3	Fair	Fair	70 - 90	Park Tree	Medium		0.4	5.4	2.5
72	Celtis australis - Nettle Tree	PT								30 - 50	Pest Plant (Weed)	Pest species	Park Tree	0.0	0.0	0.0
73	Pinus canariensis - Canary Island Pine	PT	18	5	3	5	5	Fair	Fair	70 - 90	Park Tree	Medium		0.7	8.0	3.0
74	Celtis australis - Nettle Tree	ST								30 - 50	Pest Plant (Weed)	Pest species	Pest plant. Disfigured from pruning away from powerlines	0.0	0.0	0.0
75	Celtis australis - Nettle Tree	ST								30 - 50	Pest Plant (Weed)	Pest species	Pest plant. Disfigured from pruning away from powerlines	0.0	0.0	0.0
76	Celtis australis - Nettle Tree	ST								30 - 50	Pest Plant (Weed)	Pest species	Pest plant. Disfigured from pruning away from powerlines	0.0	0.0	0.0
77	Celtis australis - Nettle Tree	ST								30 - 50	Pest Plant (Weed)	Pest species	Pest plant. Disfigured from pruning away from powerlines	0.0	0.0	0.0
78	Celtis australis - Nettle Tree	ST								30 - 50	Pest Plant (Weed)	Pest species	Pest plant. Disfigured from pruning away from power lines	0.0	0.0	0.0
79	Celtis australis - Nettle Tree	PT								30 - 50	Pest Plant (Weed)	Pest species	Park Tree	0.0	0.0	0.0
80	Celtis australis - Nettle Tree	PT								30 - 50	Pest Plant (Weed)	Pest species	Park Tree	0.0	0.0	0.0
81	Celtis australis - Nettle Tree	PT								30 - 50	Pest Plant (Weed)	Pest species	Park Tree	0.0	0.0	0.0
82	Pinus canariensis - Canary Island Pine	PT	18	7	3	3	6	Very Poor	Poor	70 - 90	Park Tree	Low	Advanced stages of decline	0.8	9.2	3.2
83	Pinus canariensis - Canary Island Pine	PT	23	3	2	5	5	Fair	Fair	70 - 90	Park Tree	Medium	Intermediate stages of decline	0.6	7.6	3.0
84	Pinus canariensis - Canary Island Pine	PT	17	2	3	3	4	Poor	Fair	70 - 90	Park Tree	Low	Advanced stages of decline	0.5	6.5	2.8
85	Pinus canariensis - Canary Island Pine	PT	16	4	3	3	4	Poor	Fair	70 - 90	Park Tree	Medium	Intermediate stages of decline	0.5	6.5	2.8
86	Pinus canariensis - Canary Island Pine	PT	19	4	3	4	5	Fair	Fair	70 - 90	Park Tree	Medium	Early stages of decline	0.5	6.5	2.8
87	Pinus canariensis - Canary Island Pine	PT	18	2	4	5	5	Poor	Fair	70 - 90	Park Tree	Low	Intermediate stages of decline	0.6	7.3	2.9

Tree No.	Species	Street Tree (ST) Park Tree (PT)	Height	Canopy Spread				Health	Structure	Life Stage	Tree Protection Status	Tree Quality Classification	Comments	DBH	Radius TPZ ⁴⁹⁷⁰	Radius SRZ ⁴⁹⁷⁰
88	Pinus canariensis - Canary Island Pine	PT	19	5	2	5	5	Good	Fair	70 - 90	Park Tree	High		0.7	8.4	3.1
89	Casuarina cunninghamiana - River Oak	PT	6	3	3	2	1	Fair	Poor	10 - 20	Park Tree	Low	Intermediate stages of decline. Disfigured from pruning away from power lines	0.5	6.3	2.7
90	Casuarina cunninghamiana - River Oak	PT	13	3	4	3	5	Fair	Poor	10 - 20	Park Tree	Low		0.3	4.0	2.3
91	Casuarina cunninghamiana - River Oak	PT										Low	Tree is dead	0.0	0.0	0.0
92	Casuarina cunninghamiana - River Oak	PT	17	4	3	3	4	Good	Good	10 - 20	Park Tree	Medium	Early stages of decline	0.3	3.6	2.2
93	Casuarina cunninghamiana - River Oak	PT	8	5	1	3	3	Poor	Fair	10 - 20	Park Tree	Low	Advanced stages of decline	0.2	2.3	1.8
94	Celtis australis - Nettle Tree	PT								30 - 50	Pest Plant (Weed)	Pest species	Park Tree	0.0	0.0	0.0
95	Celtis australis - Nettle Tree	PT								30 - 50	Pest Plant (Weed)	Pest species	Park Tree	0.0	0.0	0.0
96	Celtis australis - Nettle Tree	PT								30 - 50	Pest Plant (Weed)	Pest species	Park Tree	0.0	0.0	0.0
97	Fraxinus pennsylvanica - Green Ash	PT	16	8	6	6	4	Fair	Good	20 - 40	Park Tree	Medium		0.5	5.7	2.6
98	Fraxinus pennsylvanica - Green Ash	PT	10	3	4	7	7	Good	Good	10 - 20	Park Tree	Medium		0.4	4.6	2.4
99	Fraxinus pennsylvanica - Green Ash	PT	9	1	3	3	4	Fair	Poor	10 - 20	Park Tree	Low	Centre has been pruned out	0.2	2.4	1.8
100	Casuarina cunninghamiana - River Oak	PT								5 - 10	Park Tree	High		0.0	0.0	0.0
101	Celtis australis - Nettle Tree	PT								30 - 50	Pest Plant (Weed)	Pest species	Park Tree	0.0	0.0	0.0
102	Populus alba - Silver Poplar										Pest Plant (Weed)	Pest species	Park Tree	0.0	0.0	0.0
103	Fraxinus pennsylvanica - Green Ash	PT	10	1	3	3	4	Fair	Poor	10 - 20	Park Tree	Low		0.2	2.9	2.0
104	Celtis australis - Nettle Tree	PT								30 - 50	Pest Plant (Weed)	Pest species	Park Tree	0.0	0.0	0.0
105	Populus alba - Silver Poplar										Pest Plant (Weed)	Pest species	Park Tree	0.0	0.0	0.0
106	Celtis australis - Nettle Tree	PT								30 - 50	Pest Plant (Weed)	Pest species	Park Tree	0.0	0.0	0.0
107	Pinus canariensis - Canary Island Pine	PT	22	6	6	5	6	Good	Good	70 - 90	Park Tree	Medium	Early stages of decline	0.7	8.0	3.0
108	Celtis australis - Nettle Tree	PT								30 - 50	Pest Plant (Weed)	Pest species	Park Tree	0.0	0.0	0.0
109	Celtis australis - Nettle Tree	PT								30 - 50	Pest Plant (Weed)	Pest species	Park Tree	0.0	0.0	0.0
110	Pinus canariensis - Canary Island Pine	PT						Very Poor	Fair			Low	Tree is dead	0.0	0.0	0.0
111	Celtis australis - Nettle Tree	PT								30 - 50	Pest Plant (Weed)	Pest species	Park Tree	0.0	0.0	0.0
112	Pinus canariensis - Canary Island Pine	PT	20	5	5	5	5	Poor	Good	70 - 90	Park Tree	Low	Advanced stages of decline	0.7	8.0	3.0
113	Celtis australis - Nettle Tree	PT								30 - 50	Pest Plant (Weed)	Pest species	Park Tree	0.0	0.0	0.0
114	Pinus canariensis - Canary Island Pine	PT	20	3	5	5	4	Very Poor	Good	70 - 90	Park Tree	Low	Advanced stages of decline	0.6	7.6	3.0
115	Celtis australis - Nettle Tree	PT								30 - 50	Pest Plant (Weed)	Pest species	Park Tree	0.0	0.0	0.0

Tree No.	Species	Street Tree (ST) Park Tree (PT)	Height	Canopy Spread				Health	Structure	Life Stage	Tree Protection Status	Tree Quality Classification	Comments	DBH	Radius TPZ ⁴⁹⁷⁰	Radius SRZ ⁴⁹⁷⁰
116	Pinus canariensis - Canary Island Pine	PT	20	4	2	3	2	Very Poor	Good	70 - 90	Park Tree	Low	Advanced stages of decline	0.5	6.5	2.8
117	Pinus canariensis - Canary Island Pine	PT	20	5	3	5	5	Fair	Good	70 - 90	Park Tree	Medium	Early stages of decline	0.6	7.6	3.0
118	Fraxinus pennsylvanica - Green Ash	PT	9	3	3	3	3	Poor	Fair	10 - 20	Park Tree	Low	Intermediate stages of decline	0.2	2.8	1.9
119	Cupressus sp.- Cypress			7	7	8	9	Good	Good	80 - 90	Park Tree	High		1.1	13.0	3.7
120	Celtis australis - Nettle Tree	PT								30 - 50	Pest Plant (Weed)	Pest species	Park Tree	0.0	0.0	0.0
121	Ulmus sp. - Elm		18	10	10	10	10	Fair	Good	70 - 90	Park Tree	Medium	Intermediate stages of decline. Soil compaction	0.7	8.8	3.1
122	Fraxinus pennsylvanica - Green Ash	PT	18	7	3	5	5	Good	Good	20 - 40	Park Tree	High	Soil compaction	0.6	7.6	3.0
123	Cupressus sp.- Cypress		12	2	1	3	6	Fair	Fair	30 - 40	Park Tree	Low	South leader has died	0.5	5.7	2.6
124	Celtis australis - Nettle Tree	PT								30 - 50	Pest Plant (Weed)	Pest species	Park Tree	0.0	0.0	0.0
125	Cupressus sp.- Cypress	PT	9	1	0	4	8	Poor	Poor	30 - 40	Park Tree	Low	Northern leader is being supported by Tree 124	0.3	4.0	2.3
126	Cupressus sp.- Cypress	PT	22	9	7	7	7	Good	Fair	80 - 90	Park Tree	High	NE and SW sides of the tree have separated some time ago. Appears to have structurally self optimised since. Broken/hanging branch on east side	1.1	13.7	3.8
127	Celtis australis - Nettle Tree	PT	12	7	7	7	7	Good	Good	50 - 90	Pest Plant (Weed)	High	Consider retaining	0.0	0.0	0.0
128	Quercus robur - English Oak	ST	16	5	5	5	5	Good	Good	30 - 50	Street Tree	Medium	Dead branches >100mm dia.	0.5	5.7	2.6
129	Quercus robur - English Oak	ST	2.5	1	1	1	1	Good	Good	5 - 10	Street Tree	High	Epicormic shoots from base	0.0	0.0	0.0
130	Quercus robur - English Oak	ST	2.5	1	1	1	1	Good	Fair	5 - 10	Street Tree	Medium	Root ball moves when trunk pushed. Epicormic shoots from base	0.0	0.0	0.0
131	Quercus robur - English Oak	ST	2.5	1	1	1	1			5 - 10	Street Tree	Low	Root ball moves when trunk pushed. Epicormic shoots from base	0.0	0.0	0.0
132	Quercus robur - English Oak	ST	10	6	7	6	6	Good	Good	30 - 50	Street Tree	High	Dead branches >30mm dia.	0.5	5.6	2.6
133	Quercus robur - English Oak	ST	10	3	3	3	3	Good	Good	15 - 20	Street Tree	High		0.3	3.1	2.0
134	Quercus robur - English Oak	ST	8	3	3	3	3	Good	Good	15 - 20	Street Tree	High		0.2	2.3	1.8
135	Quercus robur - English Oak	ST	8	3	3	3	3	Good	Good	15 - 20	Street Tree	High		0.2	2.3	1.8
136	Quercus robur - English Oak	ST	11	4	6	5	6	Good	Good	30 - 50	Street Tree	High		0.4	5.4	2.5
137	Quercus robur - English Oak	ST	11	7	6	7	7	Good	Good	30 - 50	Street Tree	High		0.4	5.0	2.5
138	Cedrus deodara - Deodar/ Himalayan Cedar	ST	15	6	6	7	7	Good	Good	60 - 80	Street Tree	High	Canopy density and dead branches indicate past stress. Current vigour is medium	0.6	6.7	2.8
139	Cedrus deodara - Deodar/ Himalayan Cedar	ST	17	7	6	8	7	Good	Good	60 - 80	Street Tree	High	Canopy density and dead branches indicate past stress. Current vigour is medium	0.6	6.9	2.8

Tree No.	Species	Street Tree (ST) Park Tree (PT)	Height	Canopy Spread				Health	Structure	Life Stage	Tree Protection Status	Tree Quality Classification	Comments	DBH	Radius TPZ ⁴⁹⁷⁰	Radius SRZ ⁴⁹⁷⁰
140	Cedrus deodara - Deodar/ Himalayan Cedar	ST	15	7	6	6	7	Good	Good	60 - 80	Street Tree	High	Canopy density and dead branches indicate past stress. Current vigour is medium	0.4	5.0	2.5
141	Cedrus deodara - Deodar/ Himalayan Cedar	ST	16	5	6	6	7	Good	Good	60 - 80	Street Tree	High	Canopy density and dead branches indicate past stress. Current vigour is medium	0.6	7.3	2.9
142	Cedrus deodara - Deodar/ Himalayan Cedar	ST	16	7	6	7	7	Good	Good	60 - 80	Street Tree	High	Canopy density and dead branches indicate past stress. Current vigour is medium	0.5	6.3	2.7
143	Cedrus deodara - Deodar/ Himalayan Cedar	ST	15	7	6	5	7	Good	Good	60 - 80	Street Tree	High	Canopy density and dead branches indicate past stress. Current vigour is medium	0.4	5.4	2.5
144	Cedrus deodara - Deodar/ Himalayan Cedar	ST	15	6	6	6	7	Good	Good	60 - 80	Street Tree	High	Canopy density and dead branches indicate past stress. Current vigour is medium	0.4	4.6	2.4
145	Cedrus deodara - Deodar/ Himalayan Cedar	ST	15	7	6	6	7	Poor	Fair	60 - 80	Street Tree	Low	Canopy density and dead branches indicate past stress. Current vigour is very low	0.5	5.9	2.7

6 METHODS AND LIMITATIONS

Methods

The inspection of the trees was limited to a visual examination from ground level without the use of boring or testing devices. Defects were identified and evaluated along with the tree's health and vigour to produce an understanding of the tree's quality.

Limitations

Age Class

This has been determined based on a combination of the visible appearance the trees and the likely year of planting. The oldest trees on the site may be originals from between 1926 and 1930.

Aerial Images

While obvious changes to the landscape can often be seen using aerial imagery from ACTmapi.act.gov, care has been taken not to make firm conclusions about details that are unable to be verified during the site visit. Refer to ACTmapi.act.gov [Terms of Use](#).

Covers only those trees listed

The information in this report covers only those trees listed and reflects the condition of those trees at the time of the inspection.

Natural variability of trees and their environment

Canopy Tree Experts' arborists conscientiously apply their knowledge in assessing trees and recommending treatments with the aim of achieving the best outcomes for their clients' trees. However, given the natural variability of trees, the arborist may not be able to detect every possible way a tree, or part of a tree, may fail above or below ground. The arborist may not be able to predict when a tree may fail, but the arborist will be able to identify most problems, and the risk of failure

will be reduced by having your trees inspected and carrying out of the arborist's recommendations.

Verbal Advice

Caution should be taken in interpreting advice given verbally as understanding and recollection may be unreliable.

Further studies that may be required

No heritage, ecological or habitat assessments were carried out for this site by Canopy Tree Expert's arborists or their agents.

No assessment of the benefits of these trees was made.

Tree Risk Assessment

Although the arborist is qualified and authorised to assess risk by both the QTRA and TRAQ methods of assessment, neither method was carried out for this report. However, the training for these authorisations will have influenced the way in which the assessor views the risk associated with trees. A QTRA assessment can be carried out if requested. (www.qtra.co.uk, www.isa-arbor.com)

7 EXPLANATIONS OF TERMS

This Assessment form has been developed to conform to the requirements of 'Notifiable Instrument NI2007- 422', and The AS4970-2009 'Protection of trees on development sites.

Tree Number

This is a unique sequential identification number allocated to each tree located on the block and verges.

Species

The binomial species name is given.

Height

The tree height was estimated except where the height was determined to be near 12m in which case it was measured using a clinometer from a measured offset. Heights of between 11 and 12 metres are recorded as 11metres.

Directional Canopy Radii'

Canopy radii were measured at 90 intervals starting at north by stepping. Where it is indicated that a more accurate radius may be important, it was measured by tape measure.

The four radial canopy diameters are shown (in meters) in the 'table. Where measurement of these would require entry onto neighbouring blocks or access was difficult, the measurements have been estimated. If required, the broadest canopy diameter is also measured to determine if a tree is regulated.

Health

Health is an indication of the tree's health and vigour. It has been judged against the following range:

Very Good (VG), Good (G), Fair (F), Poor (P), or Very Poor (VP)

General comments on the tree's health and vigour, and specific comments on evidence of insect infestation or disease presence in the tree are included in the Comments Column if significant.

Structure

The structural integrity of the tree has been judged against the following range:

Very Good (VG), Good (G), Fair (F), Poor (P), or Very Poor (VP)

General comments on the tree's structure and specific comments on evidence of Root Zone Disturbance and Structural Damage to the tree are included in the Comments Column if significant.

Tree Quality Classification

These classifications are based on the guidelines in the 'Draft Guidelines for the Preparation of Tree Management Reports for Development on unleased Territory Land 2004 Draft'.

- **Poor** – A poor quality tree is of poor form, structure or health or is likely to represent a significant safety hazard.
- **Low** - A tree that does not have significant amenity value.
- **Low Quality** - has been added (by Canopy Tree Experts) to this classification to indicate a tree that has no formal reason for removal other than is lack of significance in the landscape. Some of these trees may have potential to become significant, in which case this is indicated in the 'comments' column.
- **Medium** - A medium quality tree is one of reasonable form, structure and health and is not likely to represent a significant safety hazard.
- **High** – A high quality tree is one that is of good form and condition and without structural defect. It should not represent a significant hazard.

- **Exceptional** - A tree may be considered exceptional on the basis that it is an important part of the landscape due to factors such as prominence of location, contribution to the surrounding landscape and its general appearance. An exceptional tree should be free of any defects that cannot be addressed by remedial treatment. A tree may also be assessed as being exceptional for its botanic/scientific, cultural and natural heritage values. Trees with significant botanic/scientific, cultural and natural heritage values may not be ruled out of the exceptional classification due to health, structure or safety concerns.

Circumference4970

Trunk Circumference for the calculation of the Tree Protection Zone as per Australian Standard AS4970-2009 (TPZ4970) is the trunk circumference at 1.4m above ground level. It is expressed in metres and lists the individual trunk circumferences if there are more than 1 trunk at that height. These are used to calculate the DBH and subsequently the Radius TPZ4970. Where there is more than one trunk at 1.4 m AGL then the DBH is calculated by the formula presented in AS4970-2009. (Branches, c.f. trunks, are not included).

Radius TPZ4970

The radius of the Root Protection Zone component of the Tree Protection Zone is calculated from the trunk diameter at 1.4m AGL as recommended by the AS4970-2009. Note the final TPZ4970 may need to be extended to include crown protection.

D10 TPZ

This is a construct of Canopy Tree Experts. It is the distance from the centre of the trunk to a straight-line excavation past the trunk that would excise 10% of the area of the TPZ4970. This measurement has no regulatory standing. It is only an indication how much root loss may occur with such an excavation but should be interpreted in conjunction with on-site observations as to where active absorptive roots are likely to be, species knowledge and water availability. It is presented here as one example of how a 10% loss of TPZ4970 area could occur.

Radius SRZ4970

The figure given here approximates the Structural Root Zone diameter as proposed in AS4970-2009. It is approximate as it is calculated from the circumference at 1.4m AGL + 20%, instead of the measurement at the root buttress. It is an indication only of the size of root ball required for tree stability. Accurate calculation of the SRZ may be required if a major encroachment into the TPZ4970 is envisaged.

Appendix C: ACT Heritage Register Entry



ACT Heritage Council

Entry to the ACT Heritage Register

Heritage Act 2004

20044. Kingston /Griffith Housing Precinct

Section 22 Blocks all and adjacent road easements as identified as part of H44

GRIFFITH

Sections 15, 16, 17 (Blocks all) and adjacent road easements as identified as part of H44

KINGSTON

This document has been prepared by the ACT Heritage Council.

This entry which was previously part of the old heritage places or the old heritage objects registers (as defined in the *Heritage Act 2004*), as the case may be, is taken to be registered under the *Heritage Act 2004*.

Conservation Requirements (including Specific Requirements), as defined under the *Heritage Act 2004*, that are contained within this document are taken to be Heritage Guidelines applying to this place or object, as the case may be.

Information restricted under *the old heritage places register or old heritage objects register* is restricted under the *Heritage Act 2004*.

Contact: ACT Heritage Council c/o Secretary PO Box 144 Lyneham ACT 2602
Enquiries: phone 02 6207 7378 fax 02 6207 5715 e-mail heritage@act.gov.au



environment ACT

Canberra Connect: 13 22 81
Website : www.cmd.act.gov.au

44. KINGSTON/GRIFFITH GARDEN CITY HERITAGE PRECINCT

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LOCATION:

District of Canberra Central, Division of Kingston, Sections 15, 16 & 17, Division of Griffith, Section 22 and adjacent road easements as identified in Figure 44 and indicated on the Territory Plan Map by the Heritage Places Register Overlay H44.

FEATURES INTRINSIC TO THE HERITAGE SIGNIFICANCE OF THE PLACE

The features intrinsic to the heritage significance of the place and requiring conservation comprise:

- (1) An early C20th 'Garden City' planned subdivision including:**
 - (i) landscaped recreation area with community facilities;
 - (ii) symmetrical subdivision of blocks generated from the road pattern including examples of tapered triangular blocks;
 - (iii) land use allocated to distinct uses to create an ordered and efficiently planned environment ie. residential, recreational and community uses;
 - (iv) generous landscaped verges containing substantial street trees, footpaths and incidental landscaped spaces;
 - (v) patterns of modest dwellings in a generous garden setting whereby the gardens enhance the streetscape and form a buffer of landscaped open space between adjacent dwellings;
 - (vi) single storey detached dwellings and semi-detached dwellings. Semi-detached dwellings sited symmetrically across adjoining pairs of blocks creating the appearance of a single building in a garden setting;
 - (vii) generally uniform front setbacks with occasional variations where one or two houses have an increased setback to break the unity and create visual interest in the streetscape;
 - (viii) highly-ordered composition of dwellings, driveways and public space including dwellings sited centrally on blocks, parallel to the street and with entrance doorways facing the street. At street corners, dwellings are aligned to face the intersection point;
 - (ix) dwellings with unifying architectural style, scale and materials;
 - (x) garages sited towards the rear of the block to deliberately down play the presence of a utilitarian structure in the streetscape and to give emphasis to the garden setting of each dwelling;
 - (xi) driveways along side boundaries generally sharing or 'pairing' the verge crossing with the neighbouring block;
 - (xii) public utility services removed from the streetscape and located underground or at the rear of blocks;
 - (xiii) unified landscape treatments and street furniture including verges, driveway materials, street trees, hedges, fences, street signs and lighting.

- (2) A distinct pattern of housing development and landscape demonstrating early Federal Capital planning philosophy for the provision of low-density public housing:**
 - (i) blocks and original cottage forms of equivalent size to accommodate a single socio-economic group of government employees - originally planned to provide low cost rental accommodation for government trades staff and workmen.

- (3) The Federal Capital architectural style/character of the original public housing.**
 - (i) Federal Capital Commission (FCC) designs reflecting a mix of international styles and subtle variations of roof forms, rendered masonry construction with prominent gables and terracotta roofing;

- (ii) Department of the Interior designs utilising pitched roof forms and red face brick exteriors;
 - (iii) Use of repetitive elements and designs across the precinct including rendered walls, terracotta tiling, symmetry and shard design details and colouring;
 - (iv) Each section is unified by repeated design elements. Section 16 features arches over doorways to porches and forming the shape of a gable's timber vent. Section 15 features a right angle triangle motif emphasising gables and peaked details above windows. In Section 17 the emphasis is on rectangular lines with vent slots, doorways and minimal window bays.
- (4) **Historic remnants of the original street furniture including street signs, fire hydrants and footpath lighting and other elements including kerbs and gutters.**
- (5) **Mature public and private treescape of historic, aesthetic, natural and amenity values.**

STATEMENT OF SIGNIFICANCE

The Garden City heritage precincts of Alt Crescent, Barton, Blandfordia 5, Braddon, Corroboree Park, Forrest, Kingston/Griffith, Reid and Wakefield Gardens collectively and individually demonstrate the early principles of Garden City planning.

'Garden City' planning, in combination with American 'City Beautiful' principles, underpinned the initial planning of Canberra by the Federal Capital Advisory Committee (FCAC), Federal Capital Commission (FCC) and the Department of Interior (DOI) between 1920 and the Second World War.

The philosophy behind Garden City planning was to create healthy working and living environments for urban residents. It developed internationally through the 1900s and many of the principles were integral to Walter Burley Griffin's winning design for the new Federal Capital of Australia.

Garden City planning has evolved to become the basis of professional town planning practice, and Canberra as a whole reflects this progressive evolution. The key significance of the heritage precincts is their demonstration of Garden City characteristics that reflect aspects of the original Garden City philosophy.

Since the Second World War, Garden City planning has followed a continuous process of rationalisation to suit changing lifestyles. Key features such as the presence of central landscaped reserves overlooked by housing, the generous verge widths, generous block sizes and front setbacks and government supplied and maintained hedges have been lost or diminished.

The heritage precincts also demonstrate historical and social aspects of the detailed planning and construction of early Canberra by the FCAC, FCC and DOI. The delineation of suburbs/precincts into segregated socio-economic classes was a departure from the Garden City ideology of combining social classes together. As the date for the opening of the provisional parliament house was set for 1928, there was an urgent need to accommodate both government staff and workmen engaged in building city infrastructure and administrative facilities. A lack of private-sector interest and capability forced the government to construct the major portion of new housing within Canberra throughout the 1920-40 period.

The influences of early planning philosophy, including social segregation, and the urgent need for large public housing estates are reflected in the highly-ordered layout and aesthetic unity of the precincts. Blocks and dwellings within each precinct are of comparable size to accommodate government employees of a similar class and the dwellings are repetitions of a limited number of designs. In many instances the layout of buildings, fences and public landscaping for entire sections was planned and constructed as a single project. Large rear gardens reflect the planners' intention to provide opportunities for residents to grow fruit and vegetables in the face of critical shortages of locally available fresh produce.

The precincts demonstrate a mix of international architectural styles including 'Arts & Crafts', 'Federation', 'Interwar Californian Bungalow' and 'Interwar Georgian Revival', whilst reflecting the trend of the interwar period towards the subtle or minimal decoration as a precursor to Modernism and in contrast to the ornamentation of the previous Victorian and Federation periods.

The architectural character of the precincts is also valued for its high degree of aesthetic unity and demonstration of technical innovation in the design of low-density public housing subdivisions for the period. This includes the use of alternate exterior elevations on the same floor plan, the mirror reversing of floor plans, and the recurring use of architectural elements such as recessed porches or chimneys centrally located on a gable facade.

The limited number of remaining examples of privately-built housing from the original construction period are valued for their ability to reflect the comparable architectural and social values of the private sector or specific individuals during the period 1920-1940.

The landscape treatment of the precincts is also valued for its aesthetic unity. This emanates from the spatial treatment of landscape including setbacks providing for a generous garden setting and separation between dwellings, with garages at the rear of the block, and the unity in the existing grassed verges, hedges, and street trees.

The resultant composition of architectural and landscape elements form a cohesive streetscape that the community values.¹

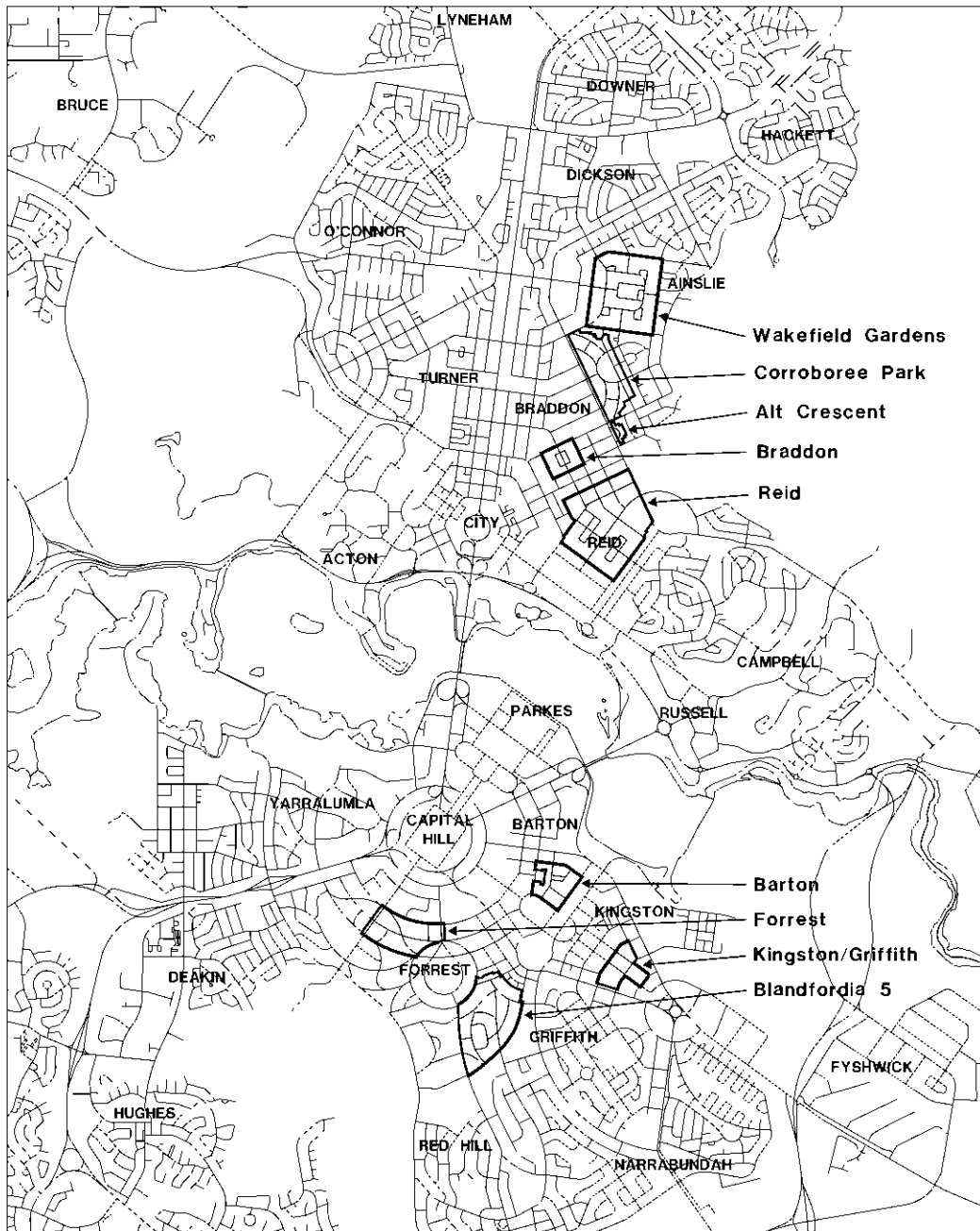
The retention and diversity of mature exotic and endemic trees on public and private land within the precincts enhances the concept of Canberra being a Garden City.

Additional values specific to the Kingston/Griffith Garden City heritage precinct are:

- ∞ The first stage of the precinct was constructed in 1926 – 27 to meet the urgent need to provide housing for lower income public servants and workmen prior to the opening of the provisional Parliament House in 1927.
- ∞ The name for the Kingston area and the street layout is derived from Walter Burley Griffin's original plan for Canberra. The street layout reflects the influence of City Beautiful planning upon Griffin through the radiating grid and co-centric cross streets.
- ∞ The public domain landscape is associated with Thomas Charles Weston who was Canberra's first Superintendent of Parks and Gardens. The species used are typical of Weston's choice of planting for Canberra.

¹Industry Representatives, precinct residents and the general community were invited to attend one of a series of consultation workshops held during October 2000 to discuss proposed revisions to the conservation objectives and development controls for the Precincts. During these workshops all participants agreed that the Precincts had special values that should be conserved.

Figure 1: Canberra's Early Garden City Planned Precincts



SPECIFIC REQUIREMENTS FOR THE CONSERVATION OF THE PRECINCT

In accordance with s54(1) of the *Land (Planning and Environment) Act 1991*, a series of specific requirements have been identified to implement conservation objectives to ensure the retention of the heritage significance of the place.

Intent:

To retain and conserve the intrinsic features of the precinct:

- ∞ for their ability to demonstrate historical values including 'Garden City' planning principles and architectural and landscape design from the initial period of urban development within Canberra;
 - ∞ for the aesthetic unity of the streetscapes arising from the harmonious integration of low-density built forms within a mature landscape setting, and high proportion of landscape space and trees; and
 - ∞ for the social values associated with the retention of communal landscaped reserves and community facilities,
- whilst managing change to meet the contemporary requirements of residential usage.

The following interpretations shall apply in respect of the inclusion of 'shall' and 'should' within these Specific Requirements:

- 'shall' the requirement is mandatory and must be complied with in any development or action post-dating gazettal of this Register.
- 'should'
- the requirement represents the Heritage Council's interpretation of how a development may fulfil the relevant objective in a manner that is consistent with the conservation of the heritage values identified in the statement of significance and intrinsic features. The Authority shall have discretion to accept an alternate solution subject to the applicant demonstrating to the satisfaction of the Authority that:
- ∞ the alternative solution fulfils the relevant conservation objective without risk of adverse impact upon the heritage values, and
 - ∞ the alternative solution provides a high quality outcome which is comparable to the outcome that would be achieved by directly complying with the relevant requirement, or
 - ∞ the alternative is necessary to address public health and safety concerns.

1.0 CONSERVATION OF THE 'GARDEN CITY' SUBDIVISION AND URBAN INFRASTRUCTURE

Objective 1.1 - Road and Subdivision Patterns:

To conserve the existing original road hierarchy and layout, pedestrian circulation patterns and subdivision layout.

Mandatory Requirements

1.1a Blocks shall retain the visual characteristics of the original development when viewed from the street or adjacent public domain ie. a single detached dwelling or duplex.

Requirements subject to the discretion of the Authority

1.1b Roads should retain their current alignments and widths and should remain bitumen or asphalt sealed. Kerbs should remain of 'upright' design. Kerbs and gutters should retain their current alignments and should be concrete.

1.1c New traffic calming and other road and traffic control devices should be designed to minimise disruption to the original street pattern, and the installation of raised humps or islands should be avoided.

1.1d Original footpath alignments and widths should be retained. Surfacing treatments should be consistent throughout the precinct.

Objective 1.2 – Recreation Area, Incidental Green Spaces and Street Trees:

To conserve the landscaped reserve and incidental green spaces, and to conserve and reinforce the historical pattern of street trees consistent with early Garden City principles and contemporary social values.

Mandatory Requirements

1.2a The recreation area (Sports Ground) at Section 9 shall remain urban open space. New recreation and community facilities shall only be permitted where they are consistent with a Conservation Management Plan for the recreation area that has been endorsed by the ACT Heritage Council.

1.2b The incidental green spaces as identified at Figure 2 shall remain landscaped urban open space.

1.2c Trees shall be protected during development. Vehicles, equipment and materials shall not be parked or stored within the drip line of trees or on the reserve.

Requirements subject to the discretion of the Authority

1.2d Where trees occur in an historical formal arrangement, the original alignments, spacings and species (including patterns of species variation) should be retained, with trees being replaced where missing or in a declining or hazardous condition.

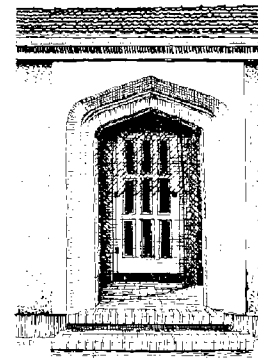
1.2e Where trees occur without a definable arrangement or pattern, the general character of the planting should be conserved where it enhances the landscape character of the precinct.

<p>1.2f</p>	<p>'Environmental Weeds' or pre-1940 trees where the species has not proven suited to the location may be replaced with an alternate species. Replacement species should, at maturity, be of similar size, shape and habit to the original.</p>
<p>1.2g</p>	<p>Non-original trees that do not complement the pre-1940 species or patterns should be removed.</p>
<p>Objective 1.3 – Original Street Furniture and Utility Services: To ensure that remaining examples of street furniture (including street signs and fire hydrants) dating from the period 1920 - 1940 are retained and conserved <i>in situ</i>.</p>	
<p>Requirements subject to the discretion of the Authority 1.3a Remaining examples of street furniture from the period 1920-1940 should be retained and conserved <i>in situ</i>. Modifications to retain ongoing functional use, eg: the inclusion of reflective street nameplates on original precast signposts, may be permitted.</p>	
<p>Objective 1.4 – New Street Furniture and Utility Services: To ensure that the design of new street furniture and utility services is complementary with remaining examples of street furniture from the period 1920-1940, and that it is of a uniform appearance that is sympathetic to the streetscape character of the precinct.</p>	
<p>Requirements subject to the discretion of the Authority 1.4a The design, scale and location of new or replacement street signs and footpath lighting should complement the design, scale and location of original street furniture and the streetscape character. 1.4b The design and location of new fire hydrants, road lighting or any other new street furniture should complement the streetscape character. 1.4c Traffic signage should be kept to an essential minimum. 1.4d New street furniture or utility services should not require the removal or detrimental pruning of trees within verges, parkland and reserves. 1.4e New utility services should be incorporated along existing overhead routes or be routed underground in a manner that does not impact on built or major landscape elements. 1.4f Existing installations of overhead utility services within verges or forward of average building lines should progressively be removed.</p>	
<p>2.0 CONSERVING LANDSCAPE AND STREETScape VALUES</p>	
<p>Objective 2.1 - Siting, Setbacks and Garden Settings for all dwellings: To conserve and reinstate the historical arrangement of dwellings across the precinct and the provision of a generous garden setting for each dwelling.</p>	
<p>Mandatory Requirements 2.1a Development shall not preclude any current or future provision of vehicle accommodation behind the building line. 2.1b Additions to dwellings or the construction of new dwellings, buildings or structures shall not be permitted closer to a front boundary than the original building line, irrespective of existing encroachments.</p>	

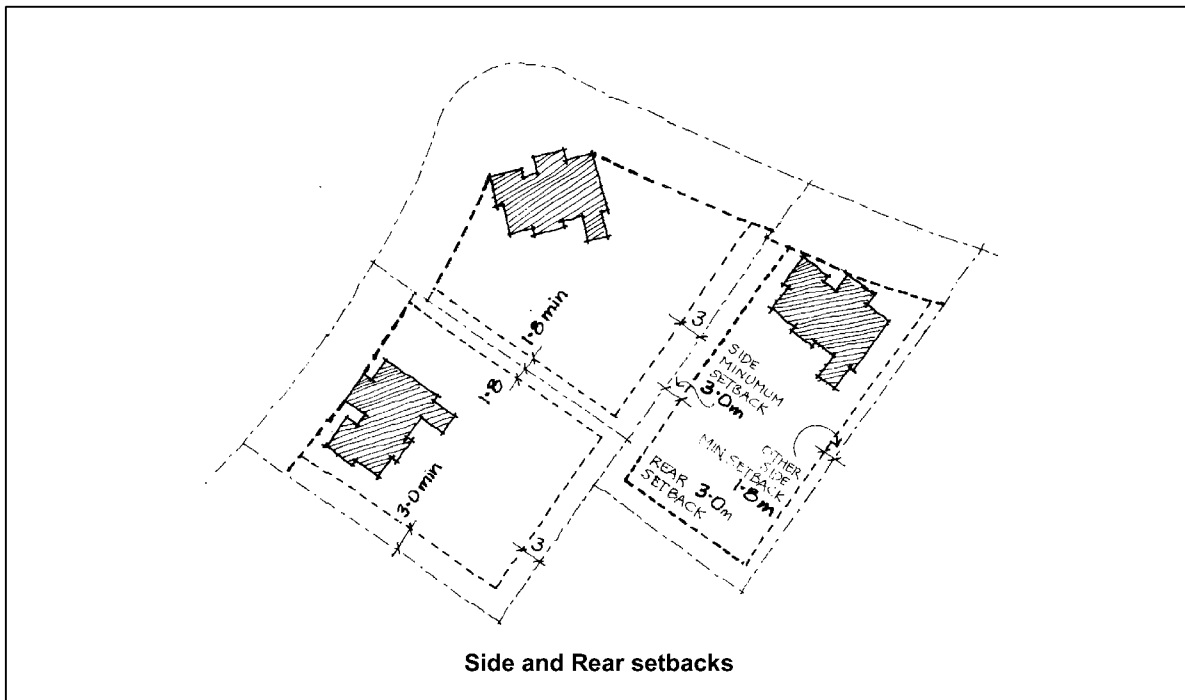
- 2.1c** Side setbacks for dwellings shall be not less than 1.8 metres and at least 4.8 metres in combined total. For semi-detached dwellings having a shared party wall on a side boundary (eg. a duplex), the side setback to the other side boundary shall be a minimum of 3 metres.
- 2.1d** Site coverage of built development (including the area of any dwelling, garage, carport, outbuilding or other roofed area but excluding driveways and unroofed paved areas) on a residential block with an area less than or equal to 850m² shall not exceed 30% of the area of the block.
- 2.1e** Site coverage of built development (including the area of any dwelling, garage, carport, outbuilding or other roofed area but excluding driveways and unroofed paved areas) on a residential block with an area greater than 850m² shall not exceed 27.5% of the area of the block.
- 2.1f** Not less than 40% of the area of a residential block shall be retained as planting area. Planting area means an area of land within a block that is not covered by buildings, vehicle parking and manoeuvring areas of any other form of impermeable surface and that is available for landscape planting.

Requirements subject to the discretion of the Authority

- 2.1g** The original alignment of each dwelling should be retained (eg: main elevation parallel or perpendicular to the street, or angled across the block to face an intersection).
- 2.1h** The original attributes of the point of entry to the original dwelling should be retained (eg: entry facing the street, entry integrated within a central covered porch).
- 2.1i** For blocks adjacent to a public reserve or public pedestrian way, the building line along that boundary should be not less than 4 metres from the boundary.



Examples of original entry attributes



Objective 2.2 – Trees on Private Land:

To perpetuate the long term retention of trees on private land to complement tree management on public land within the precinct. (Requirements for the conservation of trees on public land can be found at 1.2).

Mandatory Requirements

2.2a Trees or shrubs over 6 metres tall shall not be removed from leased land without the consent of the Authority and only where in accordance with approval criteria included in relevant tree protection legislation operating in the Territory.

Requirements subject to the discretion of the Authority

2.2b Where the removal of a tree is approved a replacement tree, of stock and species common or sympathetic to the precinct, should be introduced at an approved location within the block, unless existing planting is considered to be adequate in terms of its quantity and location.

Objective 2.3 – Verges:

To retain the broad grassed verges that are complemented by the patterns of street trees, and form a landscaped foreground to the precinct subdivision.

Mandatory Requirements

2.3a Verges shall be retained at their current widths and remain grassed.

2.3b The introduction of new paving shall not be permitted unless, in the opinion of the Authority, the paving is essential for pedestrian or vehicular safety, public transport, or to restore or maintain an original pathway or driveway.

2.3c The introduction of trees or shrubs or any form of planting that detract from the open character of the verge shall not be permitted, excluding approved street trees.

2.3d Verges shall not be used for the long term parking of vehicles, trailers or other equipment or for the storage of building and landscaping materials or garden refuse.

Objective 2.4 - Verge Crossings and Driveways:

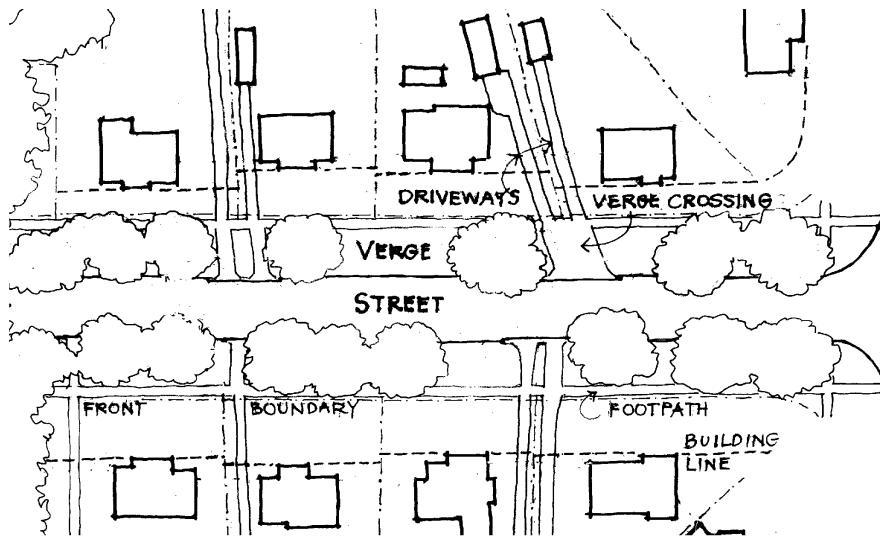
To retain the original pattern and appearance of verge crossings, and minimise the visual prominence of driveways within the streetscape.

Mandatory Requirements

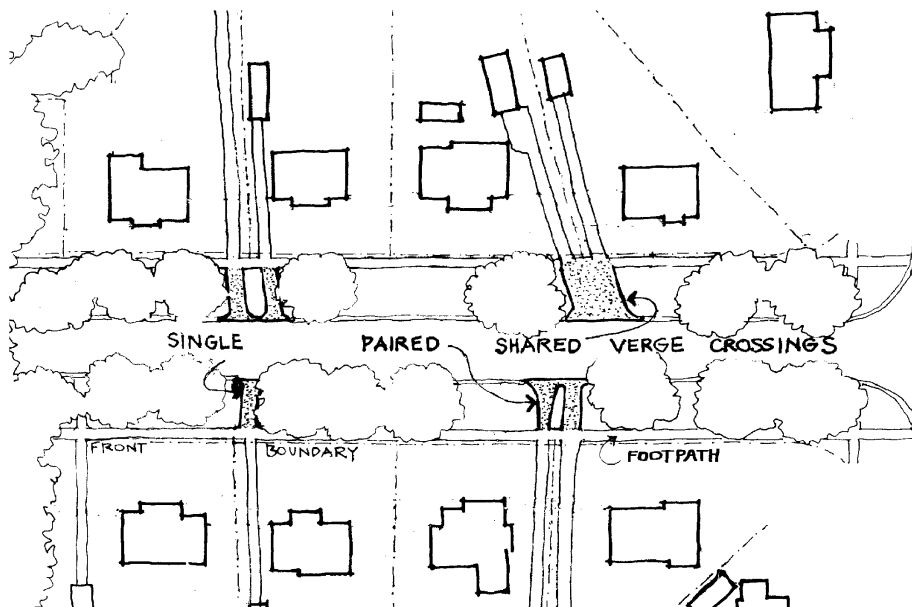
- 2.4a** Shared or paired verge crossings shall be conserved in their original locations and width.
- 2.4b** Not more than one verge crossing shall be permitted where blocks have a single frontage.
- 2.4c** Driveways shall conform to the verge crossing location with an alignment close to the nearest side boundary.
- 2.4d** Strong textures including stamped concrete, and bright colours including bare or exposed aggregate concrete shall not be permitted on driveways or verge crossings.

Requirements subject to the discretion of the Authority

- 2.4e** Single verge crossings may be relocated where :
- ∞ the existing verge crossing is to be reinstated to its original location, or
 - ∞ in the opinion of the Authority, the street on which the verge crossing is located does not have a prevailing pattern that will be adversely affected by the relocation, and
 - ∞ the relocated verge crossing will not have an adverse impact on street trees, and
 - ∞ the relocated verge crossing will retain the original width, kerb detailing and proximity to a side boundary of the original, and
 - ∞ the original verge crossing location will be planted with grass and the kerb reinstated.
- 2.4f** For blocks with two street frontages a second verge crossing may be permitted where:
- ∞ the new verge crossing will not have an adverse impact on street trees, and
 - ∞ the new verge crossing will retain the original width, kerb detailing and proximity to a side boundary of the original, and
 - ∞ any driveway connecting the two verge crossings is screened by planting.
- 2.4g** Driveways should integrate with front garden planting to reduce the visibility of the driveway from the street.
- 2.4h** Driveways should be a single-vehicle width (<3.6m) between the front boundary and building line and have a uniform surface of subdued charcoal or earthen tones. Gravel, brick, clay or concrete pavers or bitumen are preferred surface finishes.
- 2.4i** Verge crossings should have a bitumen surface. Where existing verge crossings are surfaced in a material other than bitumen opportunities for replacement should be sought. Where required, the replacement of existing bitumen verge crossings with new bitumen is encouraged.



Verges, verge crossings and driveways



Single, shared and paired verge crossings

Objective 2.5 – Hedges and Front Gardens:

To conserve the original hedge patterns separating public from private domain and 'framing' the view of each dwelling and its front garden.

Mandatory Requirements

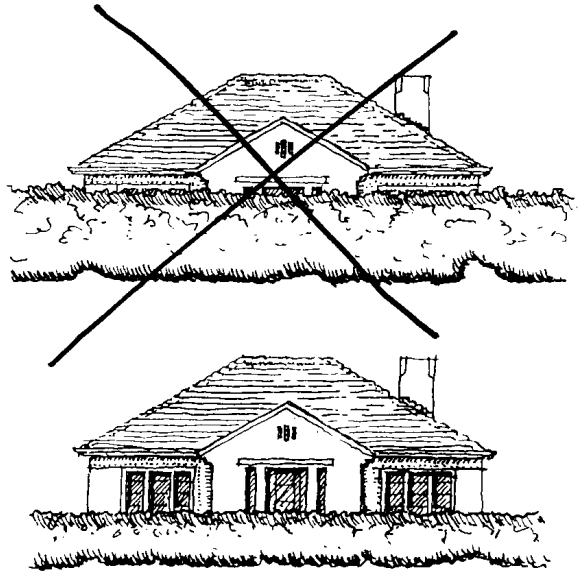
2.5a Hedges shall be retained at existing locations.

Requirements subject to the discretion of the Authority

2.5b The planting of hedges along front boundaries and along side boundaries forward of the building line, and the maintenance of hedges to heights of not more than 1200mm is encouraged.

2.5c Replacement or new hedge species should be evergreen and of appropriate scale and shape to form a border of typically not more than 1200mm in height.

- 2.5d** Existing hedges of species that are 'Environmental Weeds' should be replaced.
- 2.5e** A composition of soft landscaping should be retained between the building line and the front boundary. Soft landscaping may include trees, shrubs, grass and garden beds. Hard surfacing, other than for pathways and driveways, should be avoided.
- 2.5f** Retaining walls or earth mounding visible to the street should only occur where they will not have an adverse impact on the streetscape character.



Hedges should not hide the contribution of the dwelling to the streetscape

Objective 2.6 – Fences:

To re-establish unified fence patterns including heights, locations and materials.

Mandatory Requirements

- 2.6a** Fences, courtyard walls and vehicular gates shall not be permitted closer to the street than the building line.
- 2.6b** Colour bonded steel and other sheet metal fencing and masonry walls shall not be approved for fences and gates between buildings and side boundaries or at any location visible to the street or adjacent public domain, except where a masonry fence will reinstate the original masonry fence pattern in the street.

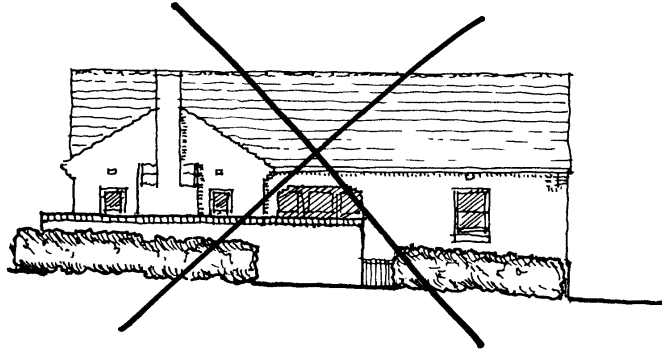
Requirements subject to the discretion of the Authority

- 2.6c** Pedestrian gates or driveway pillars forward of the building line should only be permitted where they are integrated with hedge planting and are less than 1200mm in height above natural ground level.
- 2.6d** The original masonry fences between dwellings and side boundaries should be conserved at their original locations, height and detailing. New fences and gates between buildings and side boundaries should reinstate the pattern of original masonry fences in the street;
- OR**
- ∞ be set at least 0.6m behind the building line; and
 - ∞ be less than or equal to 1.8m in height above natural ground level; and
 - ∞ be timber paling, timber lattice, brush, open mesh or metal railing.

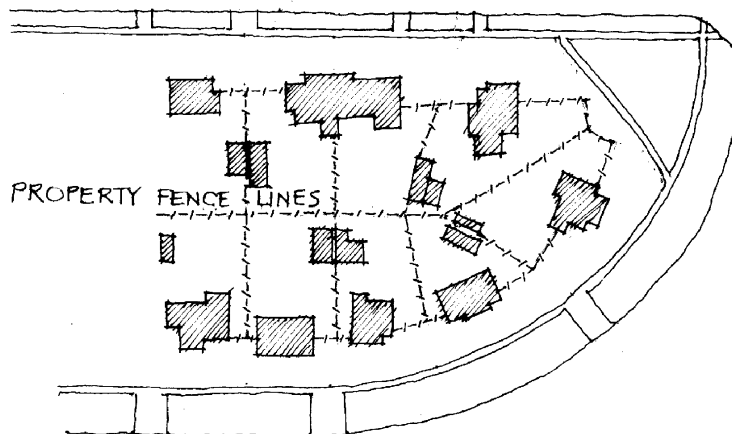
2.6e

Side and rear boundary fences and gates should:

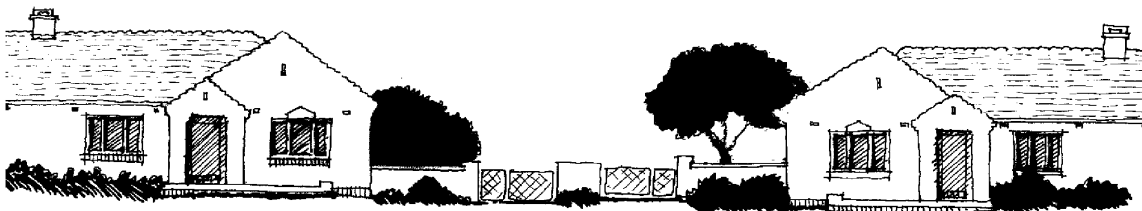
- ∞ not extend forward of the building line;
- ∞ be less than or equal to 1.8metres above ground level; and
- ∞ be timber paling, timber lattice, brush or open mesh metal railing.



Courtyard walls obscure the contribution of the dwelling to the streetscape



Examples of original fence lines



Original linking masonry fences are a strong unifying element in the streetscape

3.0 CONSERVING THE UNITY OF BUILT FORM WITHIN THE STREETScape

Objective 3.1 - Unity of Built Form for all Dwellings:

To conserve the unity of built form within the streetscape by ensuring that additions to existing dwellings and new dwellings that are visible from the street or adjacent public domain, reflect and complement the scale, form, and materials of the identified original dwellings in the street.

Mandatory Requirements

- 3.1a** Two-storey development shall not be approved.
- 3.1b** The level (RL) of the ridgeline or highest roof point of any development shall not exceed the level of the ridgeline or highest roof point of the original dwelling.
- 3.1c** Additions shall have a finished floor level not in excess of 1.8 metres above natural ground level.
- 3.1d** The roof form, roof pitch, wall and roof materials, eaves overhang and height-to-width ratio of windows within any new construction visible from the street or adjacent public domain shall complement the architectural character of the original dwellings in the street. Applied finishes to the roof of the dwellings shall complement the roof colours of original dwellings in the street.
- 3.1e** The form of any roof projection or opening, where permitted, shall complement the original roof form and architectural character of the dwelling.

Requirements subject to the discretion of the Authority

- 3.1f** Dwellings may include attics provided they will not be apparent from the street or adjacent public domain.
- 3.1g** Alterations and additions should be sited to retain the visual characteristics of the original development when viewed from the street or adjacent public domain ie. single detached dwelling or duplex.

Objective 3.2 - Garages and Carports for all residential blocks:

To retain the historical pattern of garages sited towards the rear of the block, where they are not visually prominent in the streetscape and the form of the original dwelling is not impacted by the inclusion of a garage under the dwelling roof form.

Mandatory Requirements

- 3.2a** Entries to basement parking shall only be permitted where the structural stability of the dwelling is assured, the entry and ramp are not prominent in the streetscape, and the top of a decline does not come forward of the dwelling.
- 3.2b** No more than the equivalent of a double garage or a double width carport shall be visible to the street. Garage doors visible to the street shall be of a single car width.

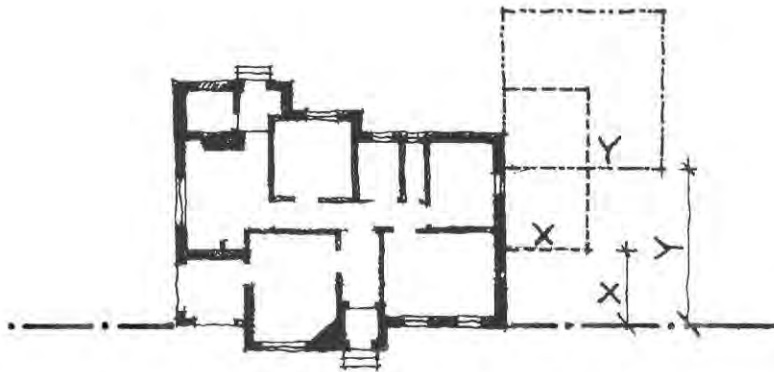
Requirements subject to the discretion of the Authority

- 3.2c** New garages or carports should be sited on or adjacent to the site of the original garage, otherwise new garages or carports should:
- ∞ utilise the original driveway, and
 - ∞ retain a setback from a side boundary not less than the original garage and be no closer than 1.5 metres to a garage, carport or outbuilding on an adjacent block, and

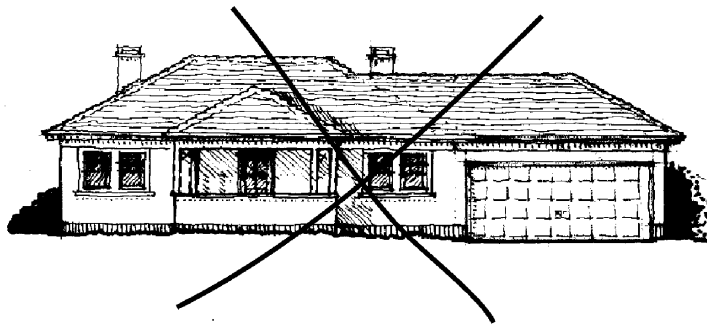
- ∞ where located within 2 metres of a side boundary, have a wall height along the side closest to the boundary that is less than 3 metres above natural ground, and
- ∞ be set back from the nearest front face of the dwelling toward the rear of the block a minimum distance equal to the external width of the proposed garage or carport (refer XY diagram), and
- ∞ have a ridge height lower than the existing dwelling and a roof form that appears separate from the main form of the dwelling; and
- ∞ utilise scale, form, details and materials that complement the original dwelling.

3.2d Where a block has two street frontages, the setback of the new garage or carport from the front face of the dwelling may be reduced provided:

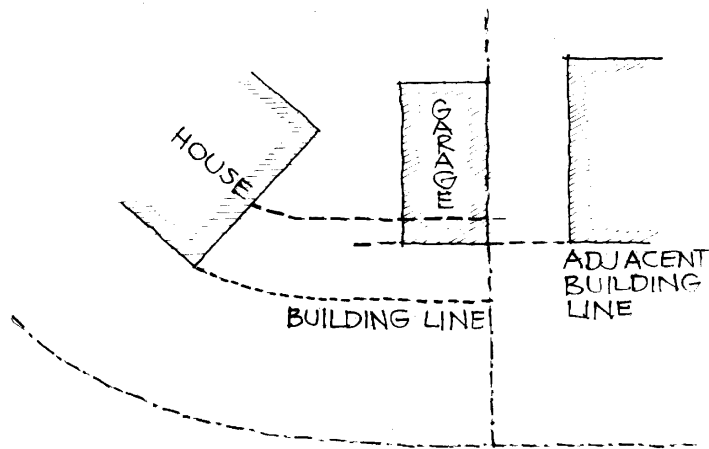
- ∞ the roof form of the garage or carport remains separate from that of the main dwelling,
- ∞ the garage or carport is not to extend forward of the front face of the dwelling, and
- ∞ the garage or carport is not to conflict visually with the alignment of the buildings on adjoining properties.



New garages and carports should be set back a minimum distance equal to their width from the nearest front face of the dwelling



Incorporating a garage under the roof line alters the form and scale of the dwelling



Where a block has two street frontages the setback from the front face of the dwelling may be reduced. The garage or carport should not extend forward of the front face of the dwelling and should respect the building line of the adjacent dwelling.

Objective 3.3 - New Architecture:

To enable contemporary architectural expression where additions are not visible from the street or adjacent public domain.

Requirements subject to the discretion of the Authority

- 3.3a** Additions that vary in architectural style to that of the original dwelling may be permitted on individual merit only where:
- ∞ the additions are detached or have minimal attachment to the original dwelling; and
 - ∞ the design, scale and materials of the additions are subordinate to the form of the original dwelling, and
 - ∞ the additions are not visible when viewed from the street or adjacent public domain; and
 - ∞ the design is of high quality and complements the architectural character of the precinct.

**4.0 ADDITIONAL REQUIREMENTS FOR IDENTIFIED DWELLINGS –
See Figure 2**

Objective 4.1 – Form and Scale of Identified Dwellings:

To maintain the form of the identified dwelling as the dominant built form on the block when viewed from the street or adjacent public domain.

Mandatory Requirements

4.1a External alterations and additions shall only be permitted to the front of a dwelling where:

- ∞ the alterations or additions will reinstate the original façade and details thereof, and/or,
- ∞ the alteration is to a previous unsympathetic addition and will enhance the streetscape character.

4.1b Subject to 4.1e below, additions to a side of a dwelling shall be set at least 1.8 metres toward the rear of the block from the nearest front face of the original dwelling.

4.1c The enclosure of original unenclosed front porches or verandahs shall not be permitted.

4.1d The original roof shall not be replaced with an alternate form.

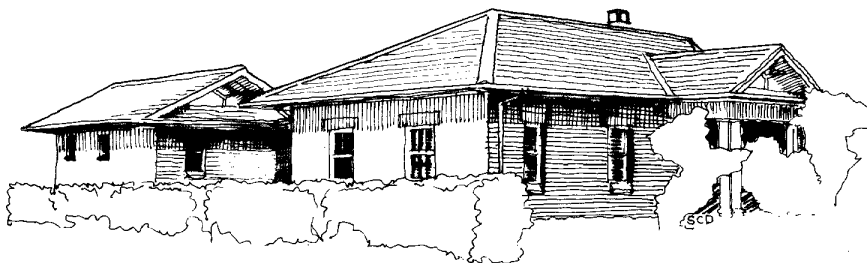
Requirements subject to the discretion of the Authority

4.1e For blocks with two street frontages or a front boundary adjoining a public reserve or pedestrian way, additions to one side elevation may occur with a reduced setback provided the apparent form of the original dwelling is retained.

4.1f Additions to dwellings should be designed to minimise disturbance to the form of the identified dwelling. Wall articulation and roof form should complement the identified dwelling. The addition of singular roof forms larger than the original roof should be avoided.

4.1g The restoration of any enclosed porches and verandahs to their original open design should be encouraged.

4.1h The restoration of non-original roofs to their original form should be encouraged.



Additions should minimise the disturbance to the roof form of the dwelling.

<p>Objective 4.2 – Architectural Character of Identified Dwellings: To retain the architectural character of identified dwellings.</p>	
<p>Mandatory Requirements.</p>	
4.2a	The painting or rendering of face brick dwellings shall not be permitted. The removal of render from dwellings that were originally rendered shall not be permitted other than where render is being repaired.
4.2b	Applied finishes to the tiled roof of an identified dwelling shall retain the original roof colour.
4.2c	Roof elements such as skylights, solar hot water heaters, air-conditioners and telecommunications masts or dishes shall be sited to minimise visibility from the street or adjacent public domain.
<p>Requirements subject to the discretion of the Authority</p>	
4.2d	Alterations and additions that will be visible from the street or adjacent public domain should match the original details, materials and finishes for key elements including roofing and ridge capping; gutters and downpipes; fascias and eaves; wall finishes and decorative treatments; windows including fenestration patterns; entrance doors; and verandah joinery. Details, materials and finishes at locations not visible to the adjacent public domain should complement the original.
4.2e	Applied finishes to external walls should be coloured off-white or be of subtle, earthy tones that complement the streetscape.
4.2f	Chimneys visible from the street or adjacent public domain should be retained. New chimneys visible from the street or public domain should match the original proportions, finishes and capping detail.
<p>Objective 4.3 – Community Buildings To ensure community facilities are consistent with the streetscape character of the precinct.</p>	
<p>Mandatory Requirements</p>	
4.3a	Alterations and additions to community buildings identified on Figure 2 shall be sympathetic to the streetscape character of the precinct and the form and scale of the existing buildings.
<p>Requirements subject to the discretion of the Authority</p>	
4.3b	The landscape setting of the identified community buildings, including spatial relationships between the built form and the landscape, and formal patterns of hard landscaping that contribute to the streetscape and landscape character of the precinct should be conserved.
<p>5.0 DEMOLITION</p>	
<p>Objective 5.1 – Preserving the Historical Integrity of the Precinct: To retain original dwellings.</p>	
<p>Mandatory Requirements</p>	
5.1a	The total demolition of identified dwellings shall not be permitted except in exceptional circumstances, including: <ul style="list-style-type: none"> ∞ the dwelling is so structurally unsound as to be beyond reasonable economic repair. The application must include a professional structural assessment in support of demolition; or

- ∞ the existing condition poses a significant health or safety risk that is beyond reasonable economic repair. The application must include a professional structural or health assessment in support of demolition; or
- ∞ where, in the opinion of the Authority, the integrity of the built form and street elevations of an original dwelling has been extensively and irreversibly diminished by unsympathetic alterations and additions.

AND any replacement construction conforms to all provisions applicable to non-original dwellings.

5.1b Except where a dwelling presents an immediate threat to public safety, the total demolition of an identified dwelling shall not be permitted unless an application for a replacement dwelling within a garden setting is approved.

5.1c Where in the opinion of the Authority, neglect of an identified dwelling has contributed to the dwelling becoming structurally unsound so as to necessitate total demolition, redevelopment of the site shall not exceed the gross floor area of the identified dwelling.

Additions to a replacement dwelling shall not be permitted within 3 years of completion of the replacement dwelling.

5.1d The partial demolition of original external building fabric of identified dwellings shall only be permitted in the context of permitted alteration or additions.

Requirements subject to the discretion of the Authority

5.1e Alteration to, or demolition of, internal building fabric of identified dwellings may be permitted provided the external building fabric of the dwelling is not adversely affected.

FIGURE 2: IDENTIFIED DWELLINGS, COMMUNITY BUILDINGS, RECREATION AREA AND INCIDENTAL GREEN SPACES

Appendix D: National Trust Register of Significant Places Citation

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NATIONAL TRUST REGISTER OF SIGNIFICANT PLACES

CITATION

NAME OF PLACE:

Kingston/Griffith Housing Precinct'

LOCATION OF PLACE:

Area bounded by Dawes Street to the west, Howitt and Kennedy Streets to the north-east, Burke Crescent and Cunningham Street to the east and Canberra Avenue to the south.
Blocks 1 - 18 Section 15 Kingston; Blocks 1 - 18 Section 16 Kingston. Blocks 1 15 Section 17 Kingston; Blocks 5, 8 (sports facilities) and 9 (sportsground)
Section 22 Griffith.
ACT leased and unleased Territory land

FEATURES INTRINSIC TO THE HERITAGE SIGNIFICANCE OF THE PLACE:

The features intrinsic to the heritage significance of the place are:

STATEMENT OF SIGNIFICANCE:

The Griffith/Kingston housing precinct clearly demonstrates the philosophy of Garden City planning which underpinned the early planning of Canberra by the Federal Capital Commission and the Department of the Interior. Within this context, the Kingston Sportsground is an excellent example of the deliberate integration of recreation and residential uses. Clever use of strong symmetrical patterns of subdivision planning and house placement are components of this town planning approach exemplified by this precinct.

The architecture of the precinct is an exemplar of the evolving Federal Capital architectural style, as practiced by the architects of the Commission and the Department. This is reinforced by the largely unaltered and intact housing which is rare from this period.

Complementing the architecture the combined effect of the existing hedges, street trees and street furniture present a cohesive streetscape of distinctive character.

This precinct also demonstrates the philosophy of past land use planning and a system of values which are no longer prevalent. Housing was planned for different socioeconomic groups within the community, which reflected the social conventions and mores of the time.

SPECIFIC REQUIREMENTS:

The following requirements are identified as essential to the conservation of the heritage significance of this place. These requirements are prepared to implement the following conservation policy for the place:

In accordance with S. 54(1) of the Land (Planning and Environment) Act 1991 the following requirements are identified as essential to conservation of the heritage significance of this place as part of the interim Heritage Places Register. Any action relating to these requirements is deemed to be a 'controlled -activity' and will require approval prior to undertaking the activity. It is an offence to undertake these activities without such approval.

1. Streetscape

Existing street trees, remaining street hedges and original street furniture, including streetlights, signs and bus shelters and seats, shall be conserved and appropriately maintained. New street furniture to be sympathetic to the original design.

Driveways are to remain in original size, quantity and location at street frontage in order to preserve the streetscape values of the precinct.

2. Street pattern and layout

1. Requirements Relating to the Building

1.1 Not applicable

1.2

2. Requirements Relating to the Setting

2.1

2.2

CONSERVATION POLICY:

The precinct to be conserved as a low density residential and landscape area consistent with its heritage significance.

MANAGEMENT RECOMMENDATIONS:

In proposing this place for the interim Heritage Places Register the Heritage Council considers that the following matters also require attention in order to ensure the conservation of the heritage significance of the place.

A Conservation Plan be prepared for the precinct to provide a strategy for the long term retention of the heritage values of all elements of the precinct.

DOCUMENT HISTORY

1. date Draft citation considered by Council at Meeting (number)
2. date Revised citation for Council Meeting (number).....APPROVED/NOT APPROVED
3. date Submitted for inclusion in interim Heritage Places Register

BACKGROUND INFORMATION

1. DESCRIPTION OF PLACE:

The precinct encompasses three well-preserved residential sections. The Kingston Sports Ground and its accompanying club house (now occupied by the ACT Table Tennis Association), a modern grand stand, practice nets, and various other facilities, complete the precinct. The area, now described as the suburbs of Kingston and Griffith, was previously known as Eastlake.

The Federal Capital Commission (FCC) houses of the late 1920s and the houses designed in the 1930s by the Department of the Interior form a visually cohesive group within the precinct. Thickly-rendered walls, set with small casement windows, terracotta tiling, symmetry and shared design details and colouring all create a uniform style for the precinct.

The designers for the precinct established symmetrical arrangements of houses along the frontages of the irregularly shaped Section 17, and a completely symmetrical design for the rectangular Sections 15 and 16. There is a symmetrical placement of each house on its block as well as an overall symmetrical pattern of houses, outbuildings, trees, and paths over these two Sections.

In architectural terms, each area is unified by repeated design elements. Arches are the feature of Section 16, appearing on the doorways to porches, inset above forming the shape of a gable's timber vent. The architects of Section 15 employed a right-angle triangle motif, emphasising gables and peaked details above windows, not just on the houses, but on matching garages. In Section 17, the emphasis is on more rectangular lines: vent slots, doorways, and minimal window bays.

The houses of a Section have often been given the same rendering. If not plain red brick, the cement render on the walls will have been applied in the same manner, creating a rough, pebble-like appearance in Sections 16 and 17, and a trowelled, Mediterranean look in Section 15. The houses in each section tend to share a common colour scheme. Cream or white is the most common base with apricot on some houses in Section 15 and pale green on two in Section 16. Some of the duplex occupants have unified the colour scheme across the two halves. The layout of their gardens unifies the halves further - hedges or low stone walls running across most of the front boundaries.

Garden trees in the Eastlake precinct are predominantly deciduous European varieties, interspersed with wattles, eucalypts, grevilleas, banksias, and other natives. Many of the gardens retain the trees established 60 to 70 years ago.

The pines, English oaks, cedars, and silver birches around the perimeter of the sportsground are well-established and impressive. They shelter the sports ground and provide a contrast to the field's level turf. The trees on the nature strips are largely deciduous plantings. Many of the original 1930s road reserve elements, hedges, driveways, guttering and street signs are still present.

The street plantings are itemised as follows:

Burke Crescent	Southern Nettle tree (<i>Celtis australis</i>)
Cunningham Street	Liquidambar (<i>Liquidambar styraciflua</i>) White Poplar (<i>Populus alba</i>) Southern Nettle trees (<i>Celtis australis</i>)
Dawes Street	Southern Nettle tree (<i>Celtis australis</i>) Deodar Cedar (<i>Cedrus deodara</i>)
Howitt Street	Pin oak (<i>Quercus palustris</i>)

Leichhardt Street Pin oak (*Quercus palustris*)
Hedges generally *Pyracantha* and *Photinia*

2. **BACKGROUND:**

The suburb of Eastlake (or Kingston as it is now known) was one of the areas auctioned in December 1924 in the first sale of city leases. The first business allotment sold in Canberra (to a Queanbeyan store, JB Young Ltd) was at the designated Eastlake business centre. It was the first, and later one of the few, commercial centres in the early capital. Canberra's Power House, the railway station, the Fire Station, and the Government Printing Office were all located in Eastlake. Residents of Acton, Ainslie, Braddon and Reid would cross the Molonglo River to work or shop at Eastlake. Disruptions to Canberra life were substantial when the river flooded.

There was a severe housing shortage in Canberra in 1933 and the Department of the Interior was anxious to develop the available Eastlake sections in order to provide 'relief to the greatest number' by providing as many houses as possible with the limited funds at their disposal.

By 1933, eighteen houses had already been built on Section 16. The neighbouring Section 18 housed workers at the nearby Government Printing Office. The houses on Sections 15 and 17 were designed between 1934 and 1936 under the direction of Edwin Hubert Henderson (1885-1939), chief architect of the Works and Services Branch of the Department of the Interior. E H Henderson was the architect who superintended much of the Department's work and who designed the remodelling of Government House in 1938. He designed Section 15 in 1934, and the twelve houses, six of which were duplexes, were built during the 1934-35 financial year. Those on Section 17 were constructed by prominent Canberra builders, Alf Stevens and Son, during 1936.

The houses in the precinct were for Government officers and workers, a typical function for Canberra developments at that early stage of Canberra's development. Section 15, for instance, was selected by the Property and Survey Branch in July 1933 as a good location for 'a number of semi-detached and -detached brick or concrete cottages which could be let at a fairly low rental'. The branch was aware of a 'Particularly heavy demand for worker's houses in the vicinity of the Government Workshops' (Wigmore L, 1972 p 90). The resulting collection of houses aimed at meeting the accommodation needs of an unspecified group of 'public servants and workmen', primarily locals, rather than those who were to be transferred to Canberra (Wigmore L, 1972:90).

In the early 1930s a sportsground was levelled alongside Leichhardt Street, opposite Section 16. A sportsground was considered a necessary part of the facilities provided to the large residential population at Kingston and the integration of sports facilities into the housing pattern was central to the 'garden city' ethos. 'The provision of recreation', said a member of the Kingston Cricket Club 'is a good thing for the morale of the community it makes for contentment of the community' (Wigmore L, 1972.90). He felt it was the duty of the government to assist in the provision of a well-kept sports facility, which, in 1934, the Kingston ground was not. The concrete pitch and hard, virtually grassless, oval caused a multitude of injuries.

C S Daley, Assistant Secretary and Civic Representative of the Department of the Interior, regretted that there were insufficient funds to cover the oval with turf. His answer to the requests for improvements is illustrative of the social importance that was being placed on physical exercise both in the 1930s and as part of the Garden City concept:

"You can take it for granted ... that there has always been a desire, on the part of whatever authority has been administering Canberra to promote sport, with regulated benefit to the community both physically and socially and the Government, as you know, did carry out quite a lot of development of sporting areas, so that those who were transferred to Canberra from areas like Melbourne and Sydney, where they had these facilities, should suffer as little loss in that as possible."

The area surrounding the precinct, was, by the early 1930s, well-endowed with facilities and industry. Along with the Government Printing Office there was Canberra's Power Station, railway station, bus depot and fire station. There were recreation halls, a Baptist Church, public baths nearby, and in the

heart the suburb, a shopping complex. By 1934 Kingston could be referred to as 'undoubtedly one of the main business centres in the Territory' and as one of its most thickly populated areas. Kingston has remained an important centre with a strong residential basis. The recent development of northern Kingston has, however, radically changed the fabric and social structure of the area, and the only intact remnant of early 20th century housing in the suburb can be seen at South Kingston.

4. STATUS OF PLACE AT NOMINATION DATE:

NCDC, Sites of Significance in the ACT, Volume No. 2, pages 232-233, site no 28 (Sections 15 & 16).

5. RELEVANT PRINCIPAL NATIONAL HISTORIC THEMES:

6. ANALYSIS AGAINST THE CRITERIA SPECIFIED IN SCHEDULE 2 OF THE LAND (PLANNING AND ENVIRONMENT) ACT 1991

Under Section 56 the criteria for the assessment of the heritage significance of places are:

- (i) **a place which demonstrates a high degree of technical and/or creative achievement, by showing qualities of innovation or departure, or representing a new achievement of its time;**

The Kingston/Griffith precinct is one of the few examples in Australia of the clear application of garden city planning during the early decades of the twentieth century. Based on the FCC's gazetted 1925 plan, the precinct demonstrates the Commission's vision of development in the Federal Capital. The dual axes symmetrical planning principle is rare in Australia.

- (ii): **a place which exhibits outstanding design or aesthetic qualities valued by the community or a cultural group;**
- (iii) **a place which demonstrates a distinctive way of life, taste, tradition, religion, land use, custom, process, design or function which is no longer practised, is in danger of being lost, or is of exceptional interest;**

This precinct demonstrates many interesting aspects of Canberra's early history. The distinctive approach and style of design employed in the area was to the late 1920s and the 1930s. Demonstrated in the area is the concern of the FCC and the Department of the Interior to achieve unified, ordered streetscapes in Kingston/Griffith while allowing variety to add interest to the view. The symmetrical placement of elements along two axes in the rectangular Sections 15 and 16 forms an unusual and striking design. Not just houses but garages, driveways, lawns, and trees, are ordered symmetrically, achieving a well integrated spatial pattern.

The architecture of this precinct shows the prevalence of contemporary domestic architectural styles. There are various discernible architectural trends common to each section. The economic depression had an influence on the availability of materials and on style and there is an overall minimalism in the precinct as a result. There is a blend of Greek and Roman inspired order and symmetry, Spanish Mission rough, cement rendering, terracotta tiles and arch motifs.

The creation of the Kingston Sportsground on Section 22 demonstrates a common belief about effective recreational land use and demonstrates the high degree of responsibility the government assumed for the well being of those under its jurisdiction. The integration of recreation and housing areas was a central tenet of the Garden City planning philosophy.

This precinct demonstrates the philosophy of past land use planning and a system of values which are no longer prevalent. Housing was planned for different socioeconomic groups within the community, which reflected the social conventions and mores of the time.

- (iv): **a place which is highly valued by the community or a cultural group for reasons of strong or special religious, spiritual, cultural, educational or social associations;**
- (v) **a place which is the only known or only comparatively intact example of its type;**

The precinct is one of the few areas in Canberra that has relatively intact 1930s streetscapes. Most of the house facades have been retained as first constructed. While some houses have been extended, this has usually been to the rear of the building. Many original hedges and street trees remain. With the exception of one driveway on Dawes street, the kerbs and gutters are original. An original street sign still stands on the corner of Dawes and Kennedy Streets.

Sections 15, 16 and 17 Kingston are rare examples of complete sections of intact Federal Capital Commission and Department of the Interior housing types. There are, in Section 16, Federal Capital Commission three-bedroom house types 31, 32, 33, 35, and 36. The Department of the Interior types still extant, are the C, D, E, F, U, V, W, W7, and X Housing types. Type C houses, on Leichhardt and Kennedy Streets, have two bedrooms, a third room to be either a bed or breakfast room, an inglenook off the living room, and that fashionable 1930s feature, a sleep-out, with wider windows than usual, admitting more light and fresh air. Types E, F, W and X are symmetrical duplexes, each with paired gables (either set next to each other or at opposite ends of the facade) to mark the symmetry more strongly. Type D is the distinctive corner house of Section 15 which is the shape of a shallow 'u', the only type in the precinct that departs from the basic rectangle in plan.

(vii): a place which has strong or special associations with a person, group, event, development or cultural phase which played a significant part in local or national history;

The precinct has particularly clear associations with the early Federal Capital and the late 1920s and 1930s phase of government development.

The precinct was built by the government at a time when it had control over the type and location of their worker's accommodation and the facilities and services available to them. The Federal Capital Commission and the Department of the Interior planned the location of houses for particular classes of workers, selected the house types, their placement on the blocks, the lay-out of garages, paths and fixtures, and of the trees and hedges on each block. The Commission officials were even reluctant to let residents choose their own letterboxes. The planning of these sections likewise demonstrates the high degree of government management of workers and their living environment.

As an example of the concept and implementation of a planned garden city, the precinct has value of This innovative planning stimulated much interest in Australia and overseas.

- (vi) a place which is a notable example of a class of natural or cultural places or landscapes**
- (viii) a place which represents the evolution of a natural landscape, including significant geological features, landforms, biota or natural processes;**
- (ix) a place which is a significant habitat or locality for the life cycle of native species; for rare, endangered or uncommon species; for species at the limits of their natural range; or for district occurrences of species;**
- (x) a place which exhibits unusual richness, diversity or significant transitions of flora, fauna or natural landscapes and their elements; or**
- (xi) a place which demonstrates a likelihood of providing information which will contribute significantly to a wider understanding of natural or cultural history, by virtue of its use as a research site, teaching site, type locality or benchmark site.**

The precinct, as a relatively intact 1930s suburban precinct, is potentially a useful research and research and teaching site, which contributes to an understanding of the cultural history of Australia's capital.

The overall planning layout of the precinct is an integral part of its significance and these components are to be conserved. The existing street pattern is to be retained as is the strong symmetrical layout within sections.

3. Alterations and additions

Alterations and additions to the existing buildings must reflect and complement the architectural style of the original houses including alterations to external finishes, changes including painting and adding or removing rendering. No buildings or structures shall be erected between the existing building and the front property boundary. Additions and alterations may be permitted only to the sides and rear of houses and only if the additions are set back from the existing front of the building. The original building form is to remain dominant. The roof pitch, walls, materials, window types and materials, shall be as similar to the existing houses as is feasible.

4. Demolition

Demolition of original houses shall not be permitted, and the demolition of original housing fabric shall only be allowed in the context of sympathetic alteration and additions.

5. Multi-dwelling development

Multi-dwelling developments shall not be permitted unless it can be demonstrated that the proposed additional dwellings do not affect the character of the street or are not visible from the public domain.

6. Two storey additions

Generally two storey additions shall not be permitted except where it can be demonstrated that the addition will have minimal impact on the characteristics of the streetscapes in the precinct.

7. Sportsground

The sporting function of Section 22 Griffith -within the precinct shall be retained with no development other than that directly related to sporting activities permitted in the Section.

7. REFERENCES:

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'Notes of Deputation... the 1st October, 1934, in regard to the Kingston Sports Ground p6

'Notes of Deputation... 11 October, 1934, in regard to the

Kingston Sports Ground', p 6-7.

'Notes of Deputation which waited on Mr C S Daley

(Assistant Secretary - civic Representative), Department of the Interior, Acton, at 9 am on Thursday, 11 October 1934, in regard to the Kingston Sports Ground', Department of the Interior, Australian Archives CP487/711 Item 19, p 6.

Prop and Survey' Branch memo *Cottage Construction*, 12 July 1933 Australian Archives, A29211 C4244.

Strine Design 1989 *Canberra Central Streetscape Study*, Canberra.

Wigmore L. 1972 *Canberra; History of Australia's National Capital*, Canberra, P.90.



October 9, 2025

To whom it may concern,

RE: Kingston Oval – AFL Support for Eastlake Football Club- ACT Government Community Facility Fund

The AFL provides this letter of support to Eastlake Football Club for their application for funding under the ACT Government Community Sport Facility Fund, relating to lighting upgrade, new irrigation system, change of grass profile and electronic scoreboard.

Eastlake Football Club has 283 Junior and 247 Senior male and female players that train and play within the AFL Canberra competition. Kingston Oval is an integral part of their football program where males and females utilise the facility to train and play.

The AFL has communicated to the ACT Government that Kingston Oval is our number one facility priority and have made a significant financial commitment to this project. We are hoping that by partnering with the club and ACT Government, we can see Kingston Oval return as one of the premier ovals in Canberra for both AFL and cricket.

We see this project the first stage of many for Kingston Oval. Having a great surface, match play lighting and a scoreboard will ensure that Kingston Oval can be used for all levels of AFL and support our players, officials and volunteers have a positive match day experience.

Should you have any further questions, please don't hesitate to contact me or Sch 2.2(a)(ii) or Sch 2.2(a)(ii)

Kind regards,

Sch 2.2(a)(ii)



8 October 2025

Ms Rebecca Kelley
Executive Branch Manager – Sport and Recreation
Chief Minister, Treasury and Economic Development Directorate
GPO Box 158
CANBERRA ACT 2601
By email: Rebecca.Kelley@act.gov.au

Dear Ms Kelley

I am writing to formally outline the support of the Eastlake Cricket Club (ECC) for initiatives which are designed to improve the playing surface and facilities at Kingston Oval.

As you may be aware, the ECC (www.eastlakeecc.com.au) is the oldest sporting club in Canberra (having been established in 1922) and for almost the entire time of our existence, Kingston Oval has been our primary home ground. The ECC fields teams in Cricket ACT's senior men's, women's, junior and veterans competitions.

The playing surface at Kingston has progressively degenerated over the past few years and issues identified last month have led to the ECC being unable to use Kingston Oval at the commencement of the forthcoming summer cricket season (the season commences this weekend).

The degeneration may be partly due to issues with the irrigation system which, we understand, has reached the end of its useful life and needs to be replaced.

Lifting the standard of the playing surface, as well as replacing the irrigation system at Kingston would lead to a much safer playing environment for cricketers and spectators alike. In addition, if a more modern scoreboard was to be installed, this would also represent a significant improvement and bring Kingston into line with other top-level sporting grounds in the ACT.

For reference, through funding from the Australian Cricket Infrastructure Fund, donations to the ECC's Australian Sports Foundation fundraising project and the ACT Government, the ECC is in the process of arranging to replace the centre wicket square at Kingston. To help with ensuring that the amount of time that cricket cannot be played at Kingston, it would be preferable for all major works at the ground to occur concurrently.

If you would like to meet with the ECC to discuss these issues further, we would be pleased to do this. If you would like to take up this opportunity, please arrange for your office to contact me via email or mobile –

████████████████████ or on Sch 2.2(a)(ii).

Thank you for your consideration.

Yours sincerely

A handwritten signature in black ink, appearing to read 'Gary Goodman', with a long horizontal flourish extending to the right.

Gary Goodman
Senior Vice President – Eastlake Cricket Club



ANNUAL REPORT 2023





ANNUAL REPORT

FY 2023

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Eastlake Football Club Limited and Controlled Entity

ABN: 90 099 301 747

President & Chief Executive's Report 2023

2023 proved to be another tough year for the Company. While our Eastlake and Calwell venues both traded quite well, Gungahlin was disappointing to say the least. This was a direct result of the Sierra development on the adjoining property which was reported last year as having only minor disruptions to the Club. I can report this was not the case as the Club has endured more than 12 months of road closures associated with these works. This along with the cost-of-living pressure had a significant impact on Gungahlin's trade.

Overall total Company income for 2023 was up \$246,195 which was the result of a government grant for solar installation plus profit on sale of assets. Bistro and bar sales were up 3.8% on 2022 results which was pleasing, however, gaming revenue was down 6.87%. This along with increased expenses led to an overall trading loss of \$820,000 for the year.

During the year the Club had its Eastlake and Calwell properties re-valued for audit compliance purposes. It was pleasing to see that both properties increased in value lending itself to a \$3.8m gain on the revaluation of land and buildings.

As reported last year the Club submitted a development application for a Lease Variation (LVC) for our Kaleen site in March 2022. The Club finally received the LVC in September 2023 some 18 months after commencing the process. We have no words to describe our frustration at the delay in this process, despite concerted efforts to seek ministerial intervention to no avail. With a new Planning Minister at the helm things can only get better.

As reported last year the Company entered into an informal agreement with a reputable property developer. At this point in time, we are still finalising details of the formal contract which should be signed in the coming weeks. This process became somewhat more complicated with the introduction of the proposed Property Developers Bill 2023 which captures the Club as the landowner and treats it as a property developer.

There are numerous implications for the Club and the Board personally as the Bill is broad in its terms and sets to hold property developers accountable for any building defects up to 10 years, retrospectively. We are hoping common sense prevails and not for profit entities such as ours are exempt from the definition of a property developer.

With the assistance of the ACT Government through the Diversification and Sustainability Support Fund, installation of solar across all three venues was completed in May 2023. To date the Company has reduced its energy bill by just over 30% (May -Jan) which is a saving of \$102,000. This is a significant saving, and the Club sincerely thanks the ACT Government for its support and financial contribution of \$150,000 to the project cost which was just over \$400,000.

2023 saw the revision of the ACT Territory Plan and new District Strategies Policy to improve the planning framework for the growth of Canberra. Eastlake participated in the consultation process, particularly in relation to our Calwell site whereby we sought to have the two-story building height limit removed. The Club was successful in achieving this outcome which will be beneficial for any possible future development of the site if and when the time comes.

In the later half of last year, the refurbishment of Eastlake Calwell finally got under way which included new carpets, paint, furniture throughout, upgraded toilets facilities plus new gaming fit out. We are extremely pleased with the finished look and feel of the Club and thank everyone involved particularly Capezio Copeland the architects and Fore Group who undertook the construction. To date the increase in total revenue has been in the order of 20% across all areas of the business which has been an excellent endorsement by our valued Calwell members.

As mentioned earlier in this report, the Sierra development has impacted trade at Gungahlin, however at the time of writing this report the development is coming to completion which should see the new residents start to move into the complex over the coming months. We are pleased to see the end of the construction process and hope to see a significant improvement in trade with traffic flow returning to normal as well as looking forward to welcoming the residents of the 152-apartment complex.

Like all mortgage owners, the increase in interest rates has put the Club under financial pressure with significantly increased interest repayments. The Club has been carefully managing this situation and to date has controlled this well. However, the Club did seek to improve its financial position with our bank by seeking a reduction in principle repayments. Unfortunately, this was not forthcoming.

In 2023 the Club was the recipient of The Chief Minister's Inclusion Award for Inclusion in Employment. This recognition is testament to the supportive and caring work environment we wish to create to support people from a diverse range of backgrounds and skill levels. I would like to take this opportunity to recognise our HR Manager, Jenni Dowling as Jenni is the driving force behind these initiatives which demands her recognition in this space.

Lastly, we would like to acknowledge the hard work of all the staff and management of the Eastlake Group. They play an integral role in ensuring we provide first class facilities and services in a difficult and unpredictable trading environment. Of course, it would be remiss not to acknowledge the unpaid work of the directors who give their time freely to guide the business with great success.



Lorin Joyce
President



Anthony Ratcliffe
Chief Executive



22nd Annual General Meeting 2024

The twenty-second Annual General Meeting of Eastlake Football Club Limited will be held on Monday 20 May 2024 at 7:00pm in the Macdonald Room at Eastlake Football Club, 3 Oxley Street, Griffith, ACT.

The order of business will be as follows:

1. Confirmation of the minutes from the twenty-first AGM
2. Presentation of the Annual Report
3. Presentation of the Financial Report
4. Election of Directors
5. Confirmation of an Auditor
6. General Business
7. Close Meeting

Board of Management 2023

President	L. Joyce
Senior Vice President	J. Dowse
Vice President - Finance	B. Clark
Vice President - Football	M. Cahill
Directors	A. Bruce M. Copley S. Jerga D. Fraser J. McEwan
Chief Executive	A. Ratcliffe

Development Committee

Chair	L. Joyce
Members	A. Bruce J. Dowse A. Ratcliffe

Football Committee

Chair	M. Cahill
Members	A. Bruce J. McEwan M. Copley D. Fraser
General Manager	S. Young
Junior Football Coordinator	JD. Munian

Ninety-seventh Annual General Meeting of the Eastlake Football Club since inception.

2023 Awards



Eastlake Financial Statements

Financial Statements

For the Year Ended 31 December 2023

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Directors' Report

For the Year Ended 31 December 2023

The directors present their report on Eastlake Football Club Limited (the Club) and its Controlled Entities (the Group) for the financial year ended 31 December 2023.

Directors

The names, qualifications, experience and special responsibilities of each person who has been a director of the Club during the year and to the date of this report are:

Director	Years of service	Occupation
Lorin Joyce	20	Accountant
Stefan Jerga	20	Lawyer
John Dowse	11	Business Owner
Maureen Cahill	5	Retired Public Servant
Mark Copley	5	Retired Business Owner
Brad Clark	4	Consultant
Aaron Bruce	4	Director
David Fraser	4	Manager
Jodie McEwan	4	Executive Officer

The directors have been in office since the start of the financial year to the date of this report unless otherwise stated below:

Information on Directors

Lorin Joyce Experience	President (appointed to the Board in 2004) Mr. Joyce is Founding Partner of MGI Joyce Dickson and is a Fellow of the Institute of Chartered Accountants Australia and New Zealand. Mr Joyce specialises in providing taxation advice and consulting to business clients throughout the local region. Mr Joyce is Chairman of MGI Australasia which is a leading participant in the Australasian accounting industry. He is also a former Chairman of the ACT & Region Chamber of Commerce and has previously served as a Board member for ClubsACT and Canberra PCYC.
Stefan Jerga Experience	(appointed to the Board in 2004) Mr. Jerga is a Senior Executive within an organisation, having practised as a lawyer for over two decades, including as the Chief Legal Counsel of a large organisation. Mr. Jerga is a Member of the Australian Institute of Company Directors as well as a Life Member of the Club. Mr. Jerga played 160 first-grade games for the Club from 1993-2006.
John Dowse Experience	(appointed to the Board in 2013) Mr. Dowse is the Managing Director of Dowse Projects, who specialise in strategic property advisory and project management services to both private and public sector. Previously John worked for Cofey International for 4 years as their General Manager ACT, having sold his business to this public company in 2006. He has also worked for a number of years in the Commonwealth Public Service in executive and senior management positions.

Information on Directors (continued)

Mark Copley Experience	(appointed to the Board on 21 October 2019) Mr. Copley is a retired businessman formally founder and owner of Toscan Dinn Funerals and Simple Goodbyes Funerals. Mark spent 15 years playing for the Club before taking on the role as Football Manager for seven years overseeing the Club's last senior premiership in 2001. Mark has been the Club's representative on the Board of ClubsACT for the past three years.
Maureen Cahill Experience	(appointed to the Board on 20 May 2019) Ms Cahill had a long and successful career in the Australian Public Service culminating in a range of Senior Executive Services positions in the Communications portfolio. Her roles included several key positions in which she represented and led Australian delegations to United Nations Treaty level meetings. Ms Cahill has an extensive managerial, operational and regulatory background. She holds a Bachelor Degree from the Australian National University and a Diploma in Management. Ms Cahill is also a member of the Yowani Country Club board.
Brad Clark Experience	(appointed to the Board in 2013) Mr Clark is a Consultant and Fellow of the Australian Society of Certified Practising Accountants. Prior to moving to the private sector Mr Clark had over 25 years' experience in the Australian Public Service, with 15 of those at the Senior Executive Service level, predominantly in financial roles including Deputy CFO and CFO roles but also encompassing Project Management and Property Services roles.
Aaron Bruce Experience	(appointed to the Board on 15 June 2020) Mr. Bruce is currently a National Director at Colliers International ACT, responsible for leading and the day to day operation of the ACT commercial Leasing team. Aaron is also the current Senior Men's First Grade games record holder finishing the 2023 season on 283 games and counting. Following graduation from St Edmunds College in 2007, Aaron was drafted via the rookie list to the Sydney Swans, where he was a member of their 2008 ACTAFL premiership winning team.
David Fraser Experience	(appointed to the Board on 20 July 2020) Mr. Fraser is a Managing Director of DFPG Pty Ltd, a Canberra based company that has been operating in the Canberra region for over 20 years. DFPG specialises in plumbing and gas fitting services for commercial and residential markets. David is a former player at Eastlake who has been affiliated with the Club since 1991 and has played 124 senior games for the Club.
Jodie McEwan Experience	(appointed to the Board on 19 June 2020) Ms McEwan is an Executive Level officer in the public sector with a career focused on project and stakeholder management. In addition to her managerial positions, Jodie has broad experience undertaking roles in administration, training, and international relations both in Australia and overseas. Jodie is the daughter of Eastlake Premiership winning player Peter McEwan, who played 148 senior games for the Club.

Auditor's Independence Declaration

A copy of the auditor's independence declaration as required under section 307C of the Corporations Act 2001 follows this Director's Report.

Signed in accordance with a resolution of the Board of Directors:

Director



Director



Dated 18 March 2024

Principal Activities

The principal activities of the Group during the financial year were the provision of support for the Club's Australian Rules football teams by operating licensed clubs, and sponsorship of various community groups.

No significant change in the nature of these activities occurred during the year.

Objectives

The Group's objectives are to:

Foster and promote the game of Australian rules football in the community; promote enjoyment of Australian culture and to foster friendship among members; to provide a range of social and recreational amenities for members and their guests; and to support sporting, cultural, charitable and other community groups in their contributions to society.

To achieve the objectives, the Group has adopted the following strategies:

- Provide significant funding to various senior and junior AFL programs;
- Provide four modern premises for social enjoyment; and
- Support over 100 community groups in their contribution to society.

Key Performance Measures

The Group measures its own performance through the use of both quantitative and qualitative benchmarks. The benchmarks are used by the directors to assess the financial sustainability of the Group and whether the Group's objectives are being achieved.

Result

The Group's operating loss for the financial year was \$820,566, before a gain on revaluation of land and buildings of \$3,823,932 (2022: operating profit of \$93,082).

Company Limited by Guarantee

The Club is incorporated under the Corporations Act 2001 and is a company limited by guarantee. If the Club is wound up, the constitution states that each member is required to contribute a maximum of \$10 each towards meeting any outstanding obligations of the Club. As at 31 December 2023 there were 28,296 (2022: 28,776) members guaranteeing to contribute \$10 each in the event of the Club being wound up.

Meetings of Directors

During the financial year, 13 meetings of directors were held. Attendances by each director during the year were as follows:

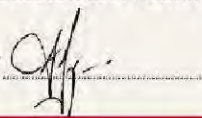
	Directors' Meetings	
	Number eligible to attend	Number attended
Lorin Joyce	13	11
Stefan Jerga	13	11
John Dowse	13	12
Maureen Cahill	13	10
Mark Copley	13	12
Brad Clark	13	13
Aaron Bruce	13	12
David Fraser	13	12
Jodie McEwan	13	9

Auditor's Independence Declaration

A copy of the auditor's independence declaration as required under section 307C of the Corporations Act 2001 follows this Director's Report.

Signed in accordance with a resolution of the Board of Directors:

Director



Director

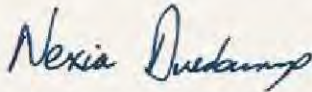


Dated 18 March 2024

Auditor's Independence Declaration under Section 307C of the Corporations Act 2001

I declare that, to the best of my knowledge and belief, during the year ended 31 December 2023 there have been:

- i.i. no contraventions of the independence requirements of the Corporations Act in relation to the audit; and
- ii. no contraventions of any applicable code of professional conduct in relation to the audit.



Nexia Duesburys (Audit)
Canberra, 18 March 2024



RC Scott
Partner

Audit. Tax. Advisory.

Nexia Duesburys (Audit) (ABN 21 841 510 270) is a firm of Chartered Accountants. It is affiliated with, but independent from Nexia Australia Pty Ltd. Nexia Australia Pty Ltd is a member of Nexia International, a leading, global network of independent accounting and consulting firms. For more information please see www.nexia.com.au/legal. Neither Nexia International nor Nexia Australia Pty Ltd provide services to clients Liability limited under a scheme approved under Professional Standards Legislation.

Consolidated Statement of Profit or Loss and Other Comprehensive Income

For the Year Ended 31 December 2023

	Note	2023 \$	2022 \$
Revenue			
Revenue from contracts with customers	3(a)	16,966,969	17,690,175
Cost of sales		(2,561,310)	(2,558,032)
Gross profit			
Other income	3(b)	1,724,420	751,741
		16,130,079	15,883,884
Expenses			
Administration and management fees		560,318	514,824
Amortisation of lease assets		8,931	1,698
Bad and doubtful debts		-	153,140
Cleaning		398,930	377,582
Depreciation and amortisation		2,231,304	2,056,155
Donations		3,003	-
Electricity		406,876	505,048
Employee benefit expenses		5,847,826	5,365,099
Finance costs		827,482	542,919
Insurance		443,642	355,668
Occupancy costs		305,174	235,096
Other		406,526	542,659
Poker machine levies		2,240,981	2,409,414
Promotion		1,211,290	982,514
Repairs and maintenance		468,892	490,594
Security costs		369,387	354,457
Sponsorship		104,673	58,315
Sporting activities and facilities	4	548,053	373,031
Superannuation		567,357	472,589
		16,950,645	15,790,802
Operating profit/(loss) before income tax		(820,566)	93,082
Income tax expense	1(b)	-	-
Operating profit/(loss) after income tax		(820,566)	93,082
Other comprehensive income:			
Items that will not be reclassified subsequently to profit or loss			
Gain on revaluation of land and buildings		3,823,932	
Total comprehensive income/(loss) for the year		3,003,366	93,082

Consolidated Statement of Financial Position

	Note	2023 \$	2022 \$
Assets			
Current Assets			
Cash and cash equivalents	5	1,337,100	2,310,459
Trade and other receivables	6	276,297	513,201
Inventories	7	172,750	179,861
Other assets	8	414,734	342,137
Total Current Assets		2,200,881	3,345,658
Non-current Assets			
Property, plant and equipment	9	42,050,387	36,322,577
Right-of-use assets	13	34,981	43,912
Total Non-current Assets		42,085,368	36,366,489
Total Assets		44,286,249	39,712,147
Liabilities			
Current Liabilities			
Trade and other payables	10	1,412,600	1,267,144
Financial liabilities	11	11,074,064	11,174,064
Employee benefits	12	537,809	494,094
Lease liabilities	13	8,438	7,961
Other liabilities	14	171,486	162,937
Total Current Liabilities		13,204,397	13,106,200
Non-current Liabilities			
Employee Benefits	12	47,309	19,862
Lease Liabilities	13	27,614	36,052
Other Liabilities	14	1,453,530	-
Total Non-current Liabilities		1,528,453	55,914
Total Liabilities		14,732,850	13,162,114
Net Assets		29,553,399	26,550,033
Equity			
Reserves		9,500,557	5,676,625
Retained Earnings		20,052,842	20,873,408
Total Equity		29,553,399	26,550,033

Consolidated Statement of Changes in Equity

	Retained Earnings \$	Asset Revaluation Reserve \$	Total \$
2023			
Balance at 1 January 2023	20,873,408	5,676,625	26,550,033
Profit/(loss) for the year	(820,566)	-	(820,566)
Other comprehensive income/(loss)	-	3,823,932	3,823,932
Balance at 31 December 2023	20,052,842	9,500,557	29,553,399
2022			
Balance at 1 January 2022	20,780,326	5,676,625	26,456,951
Profit/(loss) for the year	93,082	-	93,082
Balance at 31 December 2022	20,873,408	5,676,625	26,550,033

Consolidated Statement of Cash Flows

	Note	2023 \$	2022 \$
Cash Flows From Operating Activities			
Receipt from customers		22,290,794	20,265,319
Government assistance received		178,299	-
Interest received		13,700	7,008
Payments to suppliers and employees		(18,543,481)	(18,119,671)
Interest paid		(769,018)	(510,239)
Net cash provided by/(used in) operating activities		3,170,294	1,642,417
Cash Flows From Investing Activities			
Payments for property, plant and equipment		(4,074,483)	(1,104,344)
Proceeds from sale of property, plant and equipment		38,791	140,300
Net cash provided by/(used in) investing activities		(4,035,692)	(964,044)
Cash Flows From Financing Activities			
Receipts from borrowings		1,000,000	-
Repayment of borrowings		(1,100,000)	(931,497)
Repayment of lease liabilities		(7,961)	(1,688)
Net cash provided by/(used in) financing activities		(107,961)	(933,185)
Net increase/(decrease) in cash and cash equivalents held		(973,359)	(254,812)
Cash and cash equivalents at beginning of year		2,310,459	2,565,271
Cash and cash equivalents at end of financial year	5	1,337,100	2,310,459

Notes to the Consolidated Financial Statements

1. Material Accounting Policy Information

These consolidated financial statements and notes represent those of Eastlake Football Club Limited (the Club) and its controlled entities EFC 1926 Pty Ltd and Kaleen Landowner Pty Ltd (jointly referred to as the Group).

The separate financial statements of the parent entity, Eastlake Football Club Limited have not been presented within this financial report as permitted by amendments made to the Corporations Act 2001.

Basis of Preparation

The financial statements are general purpose financial statements that have been prepared in accordance with Australian Accounting Standards - Simplified Disclosures, Interpretations of the Australian Accounting Standards Board and the Corporations Act 2001.

The Club is a not-for-profit company limited by guarantee, incorporated and domiciled in Australia.

The financial statements are presented in Australian dollars which is the entity's functional and presentation currency. The amounts presented in the financial statements have been rounded to the nearest dollar.

The financial statements have been prepared on an accrual basis and are based on historical costs modified, where applicable, by the measurement at fair value of selected non-current assets, financial assets and financial liabilities.

A number of new or revised Australian Accounting Standards are effective for the first time in the current financial year. These standards have had no material impact on the Club.

Going Concern

The directors have prepared these financial statements on a going concern basis which contemplates continuity of normal business activities and that the realisation of assets and settlement of liabilities will occur in the normal course of business. The Group has a deficiency in net current assets of \$11,003,516 at 31 December 2023.

The Directors consider the going concern basis to be appropriate on the following basis:

- The Group has met all contractual repayment and interest obligations during the year ended and up to the date of these financial statements.
- The Group expects to be able to manage its cash balances and flows and pay its debts as and when they fall due.
- The Group had a positive net operating cash flow for the year ended of \$3,170,294 (2022: net inflow of \$1,642,417).
- The majority of the net asset deficiency is due to an accounting treatment disclosed in Note 11. The Club has breached loan covenants resulting in a \$10,624,064 loan being classified as a current liability despite the continued support of the bank. The Club does not expect to be required to repay this loan in the short term.

The ability of the Group to continue as a going concern is dependent on the Group's ability to meet its debts as and when they become due and payable.

Material accounting policies adopted in the preparation of these financial statements are presented below and have been consistently applied unless otherwise stated.

1. Material Accounting Policy Information

Accounting Policies

(a) Principles of Consolidation

The consolidated financial statements incorporate the assets, liabilities and results of entities controlled by the Club at reporting date. A controlled entity is any entity over which the Club has the power to govern the financial and operating policies so as to obtain benefits from its activities. Control will generally exist when the parent owns, directly or indirectly through subsidiaries, more than half of the voting power of an entity. In assessing the power to govern, the existence and effect of holdings of actual and potential voting rights are also considered.

In preparing the consolidated financial statements, all inter-group balances and transactions between entities in the Group have been eliminated on consolidation. Accounting policies of subsidiaries have been changed where necessary to ensure consistency with those adopted by the parent entity.

(b) Income Tax

The Group is exempt from Income Tax pursuant to section 50-45 of the Income Tax Assessment Act 1997 as a non-profit sporting club.

(c) Inventories

Inventories are measured at the lower of cost and net realisable value. Costs include direct costs and appropriate overheads, if any. Costs are assigned on the basis of weighted average costs.

(d) Property, Plant and Equipment

Each class of property, plant and equipment is carried at cost or fair value less, where applicable, any accumulated depreciation and impairment.

Where a revaluation has been performed, any accumulated depreciation at the date of the revaluation is eliminated against the gross carrying amount of the asset and the net amount is restated to the revalued amount of the asset.

The carrying amount of property, plant and equipment is reviewed at the end of the reporting period to ensure it is not in excess of the recoverable amount from these assets. The recoverable amount is assessed on the basis of expected net cash flows that will be received from the assets' employment and subsequent disposal. The expected net cash flows have been discounted to their present values in determining recoverable amounts.

An asset's carrying amount is written down immediately to its recoverable amount if the asset's carrying amount is greater than its estimated recoverable amount.

Subsequent costs are included in the asset's carrying amount or recognised as a separate asset, as appropriate, only when it is probable that future economic benefits associated with the item will flow to the entity and the cost of the item can be measured reliably. All other costs (e.g. repairs and maintenance) are charged to the statement of profit or loss and other comprehensive income during the financial period in which they are incurred.

Increases in the carrying amount arising on revaluation of assets are credited to a revaluation reserve and recognised in other comprehensive income. Decreases that offset previous increases of the same asset are charged against fair value reserves and recognised in other comprehensive income. All other decreases are charged to the profit or loss.

Gains and losses on disposals are determined by comparing proceeds with the carrying amount. These gains and losses are included in the profit or loss. When revalued assets are sold, amounts included in the revaluation reserve relating to that asset are transferred to retained earnings

1. Material Accounting Policy Information

Depreciation

The depreciable amount of all property, plant and equipment, except for land, is depreciated on a straight-line basis or diminishing balance basis from the time the asset is available for use. Leasehold improvements are depreciated over the shorter of the term of the lease and the asset's useful life.

(d) Property, Plant and Equipment (continued)

The depreciation rates used for each class of depreciable asset are:

Fixed asset class	Depreciation rate and basis
Buildings	2.5%-25% Straight Line
Kingston oval	10% Straight Line or 10% Diminishing Balance basis
Poker machines	20% Straight Line
Motor vehicles	25% Straight Line
Plant, furniture and fittings	10%-50% Straight Line or 10%-25% Diminishing Balance basis
Software	15 years Straight Line

(e) Financial Instruments

Initial recognition and measurement

Financial assets and financial liabilities are recognised when the Group becomes a party to the contractual provisions to the instrument. For financial assets, this is the date that the Group commits itself to either the purchase or sale of the asset (ie trade date accounting is adopted).

Financial instruments (except for trade receivables) are initially measured at fair value plus transaction costs, except where the instrument is classified "at fair value through profit or loss", in which case transaction costs are expensed to profit or loss immediately. In most circumstances trade receivables are initially measured at the transaction price.

Classification and subsequent measurement

Financial instruments are subsequently measured at either fair value or amortised cost using the effective interest rate method. The subsequent measurement depends on the classification of the financial instrument as described below.

Fair value represents the amount for which an asset could be exchanged or a liability settled, between knowledgeable, willing parties in an arm's length transaction. Where available, quoted prices in an active market are used to determine fair value. In other circumstances, valuation techniques are adopted.

The effective interest method is used to allocate interest income or interest expense over the relevant period.

Financial assets

All recognised financial assets are subsequently measured in their entirety at either amortised cost or fair value, depending on the classification of the financial assets.

- the financial asset is held within a business model whose objective is to hold financial assets in order to collect contractual cash flows; and
- the contractual terms of the financial asset give rise on specified dates to cash flows that are solely payments of principals and interest on the principal amount outstanding.

Financial assets that meet the following conditions are subsequently measured at fair value through other comprehensive income (FVTOCI);

- the financial asset is held within a business model whose objective is achieved by both collecting contractual cash flows and selling the financial assets; and
- the contractual terms of the financial asset give rise on specified dates to cash flows that are solely payments of principal and interest on the principal amount outstanding.

1. Material Accounting Policy Information

(e) Financial Instruments (continued)

By default, all other financial assets are subsequently measured at fair value through profit or loss (FVTPL).

Despite the above, the Group may make the following irrevocable election/designation at initial recognition of a financial asset:

- the Group may irrevocably elect to present subsequent changes in fair value of an equity instrument in other comprehensive income if certain criteria are met; and
- the Group may irrevocably designate a financial asset that meets the amortised cost or FVTOCI criteria as measured at FVTPL if doing so eliminates or significantly reduces an accounting mismatch.

Financial liabilities

All financial liabilities are subsequently measured at amortised cost using the effective interest method or at FVTPL.

Impairment of financial assets

The Group recognises a loss allowance for expected credit losses on financial assets that are measured at amortised cost or at FVTOCI. No impairment loss is recognised for investments in equity instruments. The amount of expected credit losses is updated at each reporting date to reflect changes in credit risk since initial recognition of the respective financial asset.

The Group recognises lifetime expected credit losses for trade receivables. The expected credit losses on these financial assets are estimated based on the Group's historical credit loss experience adjusted for factors that are specific to the debtors, general economic conditions and an assessment of both the current as well as the future direction of conditions at the reporting date, including time value of money where appropriate instruments are recognised initially on the date that the Group becomes party to the contractual provisions of the instrument.

(f) Impairment of Non-Financial Assets

At the end of the reporting period, the Group reviews the carrying values of its tangible and intangible assets to determine whether there is any indication that those assets have been impaired. If such an indication exists, the recoverable amount of the asset, being the higher of the asset's fair value less costs to sell and value in use, is compared to the asset's carrying value. Value in use is either the discounted cash flows relating to the asset or depreciated replacement cost if the criteria in AASB 136 'Impairment of Assets' are met. Any excess of the asset's carrying value over its recoverable amount is expensed to the profit or loss.

Where it is not possible to estimate the recoverable amount of an individual asset, the recoverable amount of the cash generating unit to which the asset belongs is estimated.

(g) Leases

At inception of a contract, the Group assesses whether a contract is, or contains, a lease. A contract is considered to contain a lease if it allows the Group the right to control the use of an identified asset over a period of time in return for consideration.

Where a contract or arrangement contains a lease, the Group recognises a right-of-use asset and a lease liability at the commencement date of the lease.

A right-of-use asset is initially measured at cost, which is the present value of future lease payments adjusted for any lease payments made at or before the commencement date, plus any make-good obligations and initial direct costs incurred. Lease assets are depreciated using the straight-line method over the shorter of their useful life and the lease term. Periodic adjustments are made for any re-measurements of the lease liabilities and for impairment losses.

1. Material Accounting Policy Information

(g) Leases (continued)

Lease liabilities are initially measured at the present value of future minimum lease payments, discounted using the Group's incremental borrowing rate if the rate implicit in the lease cannot be readily determined, and are subsequently measured at amortised cost using the effective interest rate. Minimum lease payments include fixed payments, amounts expected to be paid under a residual value guarantee, the exercise price of purchase options for which the Group is reasonably certain to exercise and incorporate the Group's expectations of lease extension options.

The lease liability is remeasured when there are changes in future lease payments arising from a change in rates, index or lease terms from exercising an extension or termination option. A corresponding adjustment is made to the carrying amount of the lease assets.

Short term leases (lease term of 12 months or less) and leases of low value assets (\$10,000 or less) are recognised as incurred as an expense in the consolidated statement of profit or loss and other comprehensive income.

(h) Cash and Cash Equivalents

Cash and cash equivalents include cash on hand, deposits held at call with banks, other short-term highly liquid investments with original maturities of three months or less which are convertible to a known amount of cash and subject to an insignificant risk of change in value, and bank overdrafts. Bank overdrafts are shown within short-term borrowings in current liabilities on the statement of financial position.

(i) Employee Benefits

Provision is made for the Group's liability for employee benefits arising from services rendered by employees to the end of the reporting period. Employee benefits that are expected to be settled within one year have been measured at the amounts expected to be paid when the liability is settled plus related on-costs are disclosed as current liabilities. Employee benefits expected to be settled more than twelve months after the end of the reporting period have been measured at the present value of the estimated future cash outflows to be made for those benefits. In calculating the present value of future cash flows in respect of long service leave, the probability of long service leave being taken is based upon historical data.

Contributions are made by the Group to an employee superannuation fund and are charged as expenses when incurred.

(j) Provisions

Provisions are recognised when the Group has a legal or constructive obligation, as a result of past events, for which it is probable that an outflow of economic benefits will result and that outflow can be reliably measured.

(k) Revenue and Other Income

Revenue is measured at the amount which the Group expects to receive in consideration for satisfying performance obligations to a customer. A performance obligation is the distinct good or service defined within the contract with a customer. The transaction price is allocated to one or more performance obligations contained within the contract, with revenue being recognised as or when the performance obligation is satisfied.

Where consideration comprises variable components, the amount recognised as revenue is constrained to that amount that would not result in a significant reversal of the cumulative revenue recognised when that uncertainty is resolved.

1. Material Accounting Policy Information

(k) Revenue and Other Income (continued)

Timing of Revenue Recognition

Revenue is recognised either at a point in time or over time, when (or as) the Group satisfies performance obligations by transferring the promised goods or services to its customers.

If the Group satisfies a performance obligation before it receives the consideration, the Group recognises either a contract asset or a receivable in its statement of financial position, depending on whether something other than the passage of time is required before the consideration is due.

Revenue from poker machine clearances is the amount of monies collected from the poker machine, net of the amount paid out as winnings to the customers.

Revenue from the rendering of a service is recognised upon the delivery of goods to customers.

Revenue from the sale of goods is recognised upon the delivery of goods to customers.

Government assistance has been received during the year under the Boosting Apprenticeship program. Payments under this program is recognised as revenue once the Club is entitled to receive the payments. A receivable is recognised at year end for any payments that the Club is entitled to that had not been received. Payments received are included as part of 'Other income' in Note 3 Revenue and Other Income.

Interest income is recognised on an accruals basis using the effective interest rate method.

All revenue is stated net of the amount of goods and services tax (GST).

(l) Goods and Services Tax (GST)

Revenue, expenses and assets are recognised net of the amount of goods and services tax (GST), except where the amount of GST incurred is not recoverable from the Australian Taxation Office. In these circumstances the GST is recognised as part of the cost of acquisition of the asset or as part of an item of the expense. Receivables and payables in the statement of financial position are stated inclusive GST.

Cash flows in the statement of cash flows are included on a gross basis, except for the GST component of investing and financing activities, which are disclosed as operating cash flows.

(m) Comparative Amounts

Comparative figures have been adjusted, where necessary to conform to changes in presentation for the current financial year.

1. Material Accounting Policy Information (continued)

Critical Accounting Estimates and Judgements

The directors evaluate estimates and judgements incorporated into the financial statements based on historical knowledge and best available current information. Estimates assume a reasonable expectation of future events and are based on current trends and economic data, obtained both externally and within the Group.

The directors do not believe that there were any key estimates or key judgements used in the development of the financial statements that give rise to a significant risk of material adjustment in the future.

2. Parent Information

The following information has been extracted from the books and records of the parent entity and has been prepared in accordance with the accounting standards.

	2023 \$	2022 \$
Statement Of Financial Position		
Assets		
Current Assets	2,118,980	3,197,269
Total Assets	44,201,842	39,563,758
Liabilities		
Current Liabilities	13,197,313	13,084,856
Total Liabilities	13,272,236	13,140,770
Equity		
Retained Earnings	19,915,126	20,769,968
Total Equity	29,415,683	26,446,593
Statement Of Comprehensive Income		
Total profit/(loss) for the year	(854,842)	29,928
Total comprehensive income/(loss) for the year	2,969,090	29,928

Contingent Liabilities and Contingent Assets

The Club did not have any contingent liabilities and contingent assets at 31 December 2023.

Guarantees

The Club had not entered into any guarantees, in the current or previous financial year, in relations to any debts of its subsidiaries.

	2023	2022
	\$	\$
3. Revenue and Other Income		
(a) Revenue from contracts with customers		
Bar and bistro sales	6,474,906	6,234,110
Gaming revenue	9,832,770	10,557,977
Commissions	197,195	168,471
Corporate sponsorship	111,022	375,080
Function/room hire	110,281	139,416
Memberships	74,336	111,419
Raffle income	166,459	103,702
	<u>16,966,969</u>	<u>17,690,175</u>
Represented by:		
Revenue recognised at a point in time	16,671,330	17,064,260
Revenue recognised over time	295,369	625,915
	<u>16,966,699</u>	<u>17,690,175</u>
(b) Other income		
ATM rebate	36,988	41,641
Government assistance	28,299	-
Government grant	150,000	-
Interest income	13,700	7,008
Other	228,161	30,942
Gain/(loss) on disposal of assets	863,858	140,300
Rental income	402,778	531,059
Vending machine income	636	791
	<u>1,724,420</u>	<u>751,741</u>
4. Sporting Activities and Facilities		
Football income	240,655	204,003
Football expenses	(704,444)	(528,090)
Junior football income	100,937	127,239
Junior football expenses	(147,496)	(131,093)
Kingston oval income	29,459	17,290
Kingston oval expenses	(67,164)	(62,380)
	<u>(548,053)</u>	<u>(373,031)</u>

	2023	2022
	\$	\$
5. Cash and Cash Equivalents		
Cash at bank	633,935	1,607,294
Cash on hand	703,165	703,165
	<u>1,337,100</u>	<u>2,310,459</u>
6. Trade and Other Receivables		
Current		
Trade receivables	219,301	746,398
Provision for expected credit losses	(39,969)	(250,000)
Other receivables	96,965	16,803
	<u>276,297</u>	<u>513,201</u>
7. Inventories		
Inventories	172,750	179,861
8. Other Assets		
Prepayments	414,734	342,137
9. Property, Plant and Equipment		
Land, buildings and improvements - at valuation	42,605,162	39,699,122
Less accumulated depreciation	(2,401,991)	(4,699,098)
Provision for impairment	(2,512,605)	(2,512,605)
	<u>37,690,566</u>	<u>32,487,419</u>
Kingston oval - at cost	208,055	209,178
Less accumulated depreciation	(175,863)	(155,697)
	<u>32,192</u>	<u>53,481</u>
Poker machine - at cost	7,537,214	7,975,731
Less accumulated depreciation	(5,834,735)	(6,845,031)
	<u>1,702,479</u>	<u>1,130,700</u>
Plant, furniture and fittings - at cost	6,484,971	6,556,405
Less accumulated depreciation	(4,479,050)	(4,447,734)
	<u>2,005,921</u>	<u>2,108,671</u>
Motor vehicles - at cost	82,187	49,538
Less accumulated depreciation	(5,178)	(39,343)
	<u>77,009</u>	<u>10,195</u>
Software - at cost	1,179,548	1,063,406
Less accumulated depreciation	(637,328)	(531,295)
	<u>542,220</u>	<u>532,111</u>
	<u>42,050,387</u>	<u>36,322,577</u>

9. Property, Plant and Equipment (continued)

Movements in Carrying Amount

Movement in the carrying amounts for each class of property, plant and equipment between the beginning and the end of the current financial year:

Year ended 31 December 2023	Land, buildings and improvements \$	Kingston oval \$	Poker machines \$	Motor vehicles \$	Plant, furniture and fittings \$	Software \$	Total \$
Balance at the beginning of the year	32,487,419	53,481	1,130,700	10,195	2,108,671	532,111	36,322,577
Additions	2,191,744	-	830,144	82,187	863,134	107,274	4,074,483
Disposals	(16,055)	-	(29,060)	(8,499)	(55,289)	-	(108,903)
Depreciation	(878,201)	(21,510)	(607,311)	(6,874)	(623,958)	(93,450)	(2,231,304)
Revaluation increase	3,823,932	-	-	-	-	-	3,823,932
Adjustments	81,727	221	378,006	-	(286,637)	(3,715)	169,602
Balance at the end of the year	37,690,566	32,192	1,702,479	77,009	2,005,921	542,220	42,050,387

The revaluations of land, buildings and improvements were conducted in accordance with Australian Accounting Standard AASB 116 Property, Plant and Equipment. The independent valuation was carried out by Knight Frank on 5 February 2020 for Gungahlin and by MMJ Canberra on 18 January 2022 for Kaleen. Two separate valuations were carried out by Manuka Realty Pty Ltd trading as MMJ Canberra on 31 December 2023 for Calwell and Griffith.

10. Trade and Other Payables

Current

	2023 \$	2022 \$
Trade payables	1,061,004	832,527
Accrued expenses	351,596	434,617
	<u>1,412,600</u>	<u>1,267,144</u>

11. Financial Liabilities

Current

Construction loan	10,574,064	11,774,064
Refurbishment loan	500,000	-
	<u>11,074,064</u>	<u>11,774,064</u>

The construction loan is secured by registered mortgages over the properties situated at Efkarpidis Street Gungahlin ACT, Eyre Street Griffith ACT, and Were Street Calwell ACT. Standard covenants and undertakings have also been agreed to in relation financial reporting to the bank and financial ratios.

The refurbishment loan is secured by registered mortgages over the properties situated at Georgina Crescent Kaleen ACT.

Financial and other facilities

As at 31 December 2023 the following facilities were in place:

Loan facility: \$11,074,064 (2022: \$11,174,064)

Business credit card: \$250,000 (2022: \$250,000)

The loan facility is made up of two NAB Business Market Loans. One loan facility of \$10,624,064 is for the Gungahlin building construction, with a variable interest rate of 7.480% (2022: 6.118%) maturing on 31 March 2027. Another loan facility of \$1,000,000 for the Calwell refurbishment, with a variable interest rate of 7.475% maturing on 28 March 2024. A number of covenants have been imposed by the bank including EBITDA as a percentage of revenue to exceed 15%, debt service ratio to exceed 1.25 times, and leverage ratio to be less than 4 times.

11. Financial Liabilities (continued)

The Club did not meet the leverage ratio and EBITDA as a percentage of revenue covenants at year end (2022: leverage and EBITDA ratio). The breach had not been remedied before these financial statements were authorised for issue. The bank is aware of this technical breach and has continued to support the Club by providing ongoing lending facilities, however, as a result of the breach, the construction loan has been classified as a current liability, in accordance with Accounting Standards. The Club also holds a business credit card facility with a limit of \$250,000 of which \$229,208 was unused as at 31 December 2023 (2022: \$240,106).

12. Employee Benefits

Current

	2023 \$	2022 \$
Provision for annual leave	308,237	315,271
Provision for long service leave	229,572	178,823
	<u>537,809</u>	<u>494,094</u>

Non-Current

Provision for long service leave	47,309	19,862
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13. Lease Assets and Liabilities

Right-of-use asset

Balance at the beginning of the year	44,656	35,283
Additions in the year	-	44,656
Less disposal on expiry	-	(35,283)
Balance at the end of the year	<u>44,656</u>	<u>44,656</u>

Accumulated amortisation

Balance at the beginning of the year	(744)	(34,329)
Amortisation for the year	(8,931)	(1,698)
Add write back on expiry	-	35,283
Balance at the end of the year	<u>(9,675)</u>	<u>(744)</u>

Net book value - right of use assets	<u>34,981</u>	<u>43,912</u>
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Lease liabilities

Current	8,438	7,961
Non-current	27,614	36,052
	<u>36,052</u>	<u>44,013</u>

The future minimum lease payments arising under the Club's lease contracts at the end of the reporting period are as follows:

	2023 \$	2022 \$
Future lease payments		
Not later than one year	10,320	10,320
Later than one year but not later than five years	30,100	40,420
	<u>40,420</u>	<u>50,740</u>

The Club's lease relates to a printer.

14. Other Liabilities

Current

Provision for poker machine bonus points	171,486	18,445
Provision for poker machine jackpots	-	144,492
	<u>171,486</u>	<u>162,937</u>

Non-Current

Deferred revenue	<u>1,453,530</u>	<u>-</u>
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15. Key Management Personnel Disclosures

Key management personnel is defined by AASB 124 "Related Party Disclosures" as those persons having authority and responsibility for planning, directing and controlling the activities of the entity, directly or indirectly, including any director of the entity.

The totals of remuneration paid to the key management personnel of the Group during the year is:

	2023	2022
	\$	\$
Total key management personnel compensation	421,268	582,869

16. Auditors' Remuneration

Audit of the financial statements	34,250	31,140
Other audit and accounting related services	16,068	4,370
	<u>50,318</u>	<u>35,510</u>

17. Financial Risk Management

The Group's financial instruments consist mainly of deposits with banks, short-term investments, and accounts receivable and payable.

The carrying amounts for each category of financial instruments, measured in accordance with AASB 9: Financial Instruments as detailed in the accounting policies to these financial statements, are as follows:

Financial assets	Note	2023	2022
		\$	\$
<i>Financial assets at amortised cost:</i>			
Cash and cash equivalents	5	1,337,100	2,310,459
Loans and receivables	6	276,297	513,201
Total financial assets		<u>1,613,397</u>	<u>2,823,660</u>
Financial liabilities			
<i>Financial liabilities at amortised cost:</i>			
Trade and other payables	10	1,412,600	1,267,144
Financial liabilities	11	11,074,064	11,174,064
Total financial liabilities		<u>12,486,664</u>	<u>12,441,208</u>

18. Members' Guarantee

The Company is incorporated under the Corporations Act 2001 and is a Company limited by guarantee. If the Company is wound up, the constitution states that each member is required to contribute a maximum of \$10 each towards meeting any outstanding obligations of the Company. At 31 December 2023 the number of members was 28,296 (2022: 28,776).

19. Related Party Transactions

Key management personnel transact with the Group from time to time on normal terms and conditions that are no more favourable than those available to others members of the Group. The types of transactions involved include the purchase of food, beverages and membership. The transactions are settled at the time of the transaction, and no amounts are owing to the Group at year end in respect of these transactions. The total value of these transactions is low and is considered by the Group to be immaterial.

With the exception of compensation of key management personnel, which is separately disclosed in these statements, the only other related party transaction that took place with director related entities during the year related to payments totalling \$22,660 to DFPG Pty Ltd (2022: \$24,895), where David Fraser is the Director, for plumbing and facility maintenance services.

The directors of the Group did not receive any direct compensation for their services. During the year the Group paid \$11,610 to insure the directors and officers of the Group.

20. Controlled Entity

Key management personnel is defined by AASB 124 "Related Party Disclosures" as those persons having authority and responsibility for planning, directing and controlling the activities of the entity, directly or indirectly, including any director of the entity.

The totals of remuneration paid to the key management personnel of the Group during the year is:

	2023	2022
	\$	\$
Total key management personnel compensation	421,268	582,869

Name of Entity	Country of Incorporation	Ownership Interest (%) 2023	Ownership Interest (%) 2022
<i>Parent Entity</i>			
Eastlake Football Club Limited	Australia	-	-
<i>Consolidated Entity</i>			
EFC 1926 Pty Ltd	Australia	100	100
Kaleen Landowner Pty Ltd	Australia	100	-

21. Contingent Liabilities and Contingent Assets

In the opinion of the Directors, the Group did not have any contingent liabilities or contingent assets at 31 December 2023 (31 December 2022: None).

22. Events After the Reporting Period

The financial report was authorised for issue by the Board of Directors, on the date of signing the attached Directors' Declaration. The directors have the right to amend the financial statements after they are issued.

The Club is currently in advanced stages of negotiations with a reputable Canberra developer for the redevelopment of its Kaleen site.

No other matters or circumstances have arisen since the end of the financial year which significantly affected or may significantly affect the operations of the Group, the results of those operations or the state of affairs of the Group in future financial years.

23. Entity Details

The registered office of the entity is:

Eastlake Football Club Limited
3 Oxley Street, Griffith ACT 2603

The principal places of business are:

Eastlake Football Club
3 Oxley Street, Griffith ACT 2603
Eastlake Football Club
16 Georgina Crescent, Kaleen ACT 2617
Eastlake Calwell Club
1 Were Street, Calwell ACT 2900
Eastlake Gungahlin Club
51 Hinder Street, Gungahlin ACT 2912

24. Information to be provided under the Gaming Machine Act 2004 (ACT) for the Year Ended 31 December 2023

Key management personnel is defined by AASB 124 "Related Party Disclosures" as those persons having authority and responsibility for planning, directing and controlling the activities of the entity, directly or indirectly, including any director of the entity.

The totals of remuneration paid to the key management personnel of the Group during the year is:

(a) **Arrangements with influential persons**

There were no arrangements in place during the year with "influential persons":

The number of employees who received remuneration in excess of \$150,000 during the year was one.

(b) **Contractual arrangements or consultancies over \$99,999**

The Club has such contractual arrangements with the following:

Contracting Party	Nature	Amount
ACT Gambling & Racing Commission	Gaming	\$2,151,183
ACT Revenue Office	Payroll tax	\$296,024
Actew AGL	Electricity, Gas and Retail	\$867,979
Ainsworth Game Technology Limited	Gaming	\$110,968
Andrews Meat Industries	Catering Purchases	\$186,686
Aristocrat Technologies Australia Pty Ltd	Gaming	\$480,315
Australian Liquor Marketers Pty Ltd	Liquor & Non-Liquor Purchases	\$240,212
Australian Taxation Office	Payroll Tax, Rates and Land Tax	\$1,957,295
Bidfood Canberra A Division of Cold Seas	Catering Purchases	\$232,463
Carlton & United Breweries Pty Ltd	Liquor & Non-Liquor Purchases	\$195,485
Coca-Cola Amatil Pty Ltd	Non-Liquor Purchases	\$166,305
Code Protection Group	Security Services	\$404,524
Cool Chilli Pty Ltd	IT Services and Hardware	\$157,658
Colliers International Holdings Australia Ltd	Real estate services	\$125,400
Design Group Pty Ltd	Gaming services	\$209,580
Encore Cleaning Services	Cleaning Services	\$334,544
Farmer Joe's Chicken	Catering Purchases	\$129,076
Fore Group Pty Ltd	Renovation Services	\$687,407
IGT Australia Pty Ltd	Gaming	\$532,451
Lion Pty Ltd	Liquor Purchases	\$551,980
IA P/L Trust Account	Insurance	\$611,956
Quick Super	Payroll	\$720,754
Nufurn Pty Ltd	Furniture	\$200,153
Regional Fruit Markets	Catering Purchases	\$147,751
Unique Meats	Catering Purchases	\$174,150
PFD Food Services	Catering Purchases	\$233,929

(c) **Staff Benefits**

During the relevant financial period the Club and the Group did not fund any staff benefits (2022: Nil).

(d) **Gross Gaming Machine Revenue**

The Club's gross gaming revenue for the financial year ended as defined in the Gaming Machine Act 2004 was as follows:

Club	2023	2022
	\$	\$
Eastlake	3,926,926	4,048,324
Calwell	2,985,603	3,200,999
Gungahlin	2,920,241	3,308,654
	<u>9,832,770</u>	<u>10,557,977</u>

Directors' Declaration

The directors of Eastlake Football Club Limited and its controlled entities (the Group) declare that:

1. The financial statements and notes, as set out on pages 6 to 26, are in accordance with the Corporations Act 2001 and the Gaming Machine Act 2004 (ACT), and:
 - a. comply with Australian Accounting Standards - Simplified Disclosures and Corporations Regulations 2001; and
 - b. give a true and fair view of the financial position as at 31 December 2023 and of the performance for the year ended on that date of the Group.
2. In the directors' opinion, there are reasonable grounds to believe that the Group will be able to pay its debts as and when they become due and payable.

This declaration is made in accordance with a resolution of the Board of Directors.

Director 

Director 

Dated 18 March 2024

Independent Auditor's Report to the Members of Eastlake Football Club Limited and Controlled Entities

Report on the Audit of the Financial Statements

Opinion

We have audited the financial statements of Eastlake Football Club Limited (the company) and Eastlake Football Club Limited and Controlled Entities (the consolidated entity), which comprises the consolidated statement of financial position as at 31 December 2023, the consolidated statement of profit or loss and other comprehensive income, consolidated statement of changes in equity and consolidated statement of cash flows for the year then ended, and notes to the financial statements, including material accounting policy information, and the directors' declaration.

In our opinion, the accompanying financial statements of Eastlake Football Club Limited and Controlled Entities are in accordance with the Corporations Act 2001, including:

- i. giving a true and fair view of the company's and consolidated entity's financial position as at 31 December 2023 and of their financial performance for the year then ended; and
- ii. complying with Australian Accounting Standards - Simplified Disclosures and the Corporations Regulations 2001.

Basis for opinion

We conducted our audit in accordance with Australian Auditing Standards. Our responsibilities under those standards are further described in the Auditor's Responsibilities for the Audit of the Financial Statements section of our report. We are independent of the consolidated entity in accordance with the auditor independence requirements of the Corporations Act 2001 and the ethical requirements of the Accounting Professional and Ethical Standards Board's APES 110 Code of Ethics for Professional

Accountants (including Independence Standards) (the Code) that are relevant to our audit of the financial statements in Australia. We have also fulfilled our other ethical responsibilities in accordance with the Code.

We believe that the audit evidence we have obtained is sufficient and appropriate to provide a basis for our opinion.

Other information

The directors are responsible for the other information. The other information comprises the information in the consolidated entity's annual report for the year ended 31 December 2023, but does not include the financial statements and the auditor's report thereon.

Our opinion on the financial statements does not cover the other information and we do not express any form of assurance conclusion thereon.

In connection with our audit of the financial statements, our responsibility is to read the other information and, in doing so, consider whether the other information is materially inconsistent with the financial statements or our knowledge obtained in the audit or otherwise appears to be materially misstated.

If, based on the work we have performed, we conclude that there is a material misstatement of the other information we are required to report that fact. We have nothing to report in this regard.



Directors' responsibility for the financial statements

The directors of the company are responsible for the preparation of the financial statements that give a true and fair view in accordance with Australian Accounting Standards - Simplified Disclosures and the Corporations Act 2001 and for such internal control as the directors determine is necessary to enable the preparation of the financial statements that give a true and fair view and is free from material misstatement, whether due to fraud or error.

In preparing the financial statements, the directors are responsible for assessing the company's ability to continue as a going concern, disclosing, as applicable, matters related to going concern and using the going concern basis of accounting unless the directors either intend to liquidate the consolidated entity or to cease operations, or have no realistic alternative but to do so.

Auditor's responsibility for the audit of the financial statements

Our objectives are to obtain reasonable assurance about whether the financial statements as a whole are free from material misstatement, whether due to fraud or error, and to issue an auditor's report that includes our opinion. Reasonable assurance is a high level of assurance, but is not a guarantee that an audit conducted in accordance with the Australian Auditing Standards will always detect a material misstatement when it exists. Misstatements can arise from fraud or error and are considered material if, individually or in the aggregate, they could reasonably be expected to influence the economic decisions of users taken on the basis of this financial statements.

A further description of our responsibilities for the audit of the financial statements is located at The Australian Auditing and Assurance Standards Board website at: http://www.auasb.gov.au/auditors_responsibilities/ar4.pdf. This description forms part of our auditor's report.

Report on Other Legal and Regulatory Requirements

Opinion on the Community Purpose Contribution Statement

We have audited the attached Community Purpose Contribution Statement as required under Section 172 of the Gaming Machine Act 2004 and Section 74A of the Gaming Machine Regulation 2004.

In our opinion, the accompanying Community Purpose Contribution Statement at Appendix A of the annual report, is in accordance with the Gaming Machine Act 2004, including:

- i. giving a true and fair view of the Club's Community Purpose Contributions for the period from 1 January 2023 to 31 December 2023; and
- ii. complying with Section 172 of the Gaming Machine Act 2004 and Section 74A of the Gaming Machine Regulation 2004.

Directors' responsibility for the Community Purpose Contribution Statement

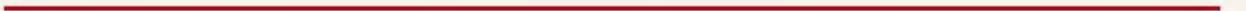
The directors are responsible for compliance as required under Section 172 of the Gaming Machine Act 2004 and Section 74A of the Gaming Machine Regulation 2004.

Our responsibility is to express an opinion based on our audit conducted in accordance with Australian Auditing Standards. Because of the inherent limitations of any assurance engagement, it is possible that fraud or error or non-compliance may occur and not be detected. An audit is not designed to detect all instances of on-compliance with the requirements of the above mention Act or Regulation as an audit is not performed continuously throughout the period and the audit procedures performed in respect of compliance with these requirements are undertaken on a test basis. The audit opinion expressed in this report has been formed on the above basis.

Nexia Duesburys (Audit)
Canberra, 18 March 2024

RC Scott
Partner

Community Purpose Contribution Photos



Community Purpose Contribution Statement

The Eastlake Group acknowledges our role as a key part of the social fabric of Canberra. Formed in a small shed at Kingston Oval in 1926 to support Australian Rules, the Group is now supporting the Canberra community with locations in Griffith, Calwell, and Gungahlin.

We work closely within these local communities and the wider Canberra community to provide a range of support to a diverse selection of community groups and organisations.

Connection with our community is a priority for the Eastlake Group and this is done effectively through a variety of channels including our direct correspondence with our membership, community engagement through our website and social media channels, and networking and communication approaches with local community groups.

Our website enables the broader Community to approach the Eastlake Group directly should they wish to apply for financial and/or in-kind support.

The Eastlake Group enters a Memorandum of Understanding (MoU) with all community organisations that are recipients of financial support from our organisation. These agreements outline the recipient of the funding, the purpose of the funding and the reporting requirements for each organisation. All organisations receiving a financial contribution from the Eastlake Group are asked to submit details of expenditure when issuing the first instalment invoice and commit through the MoU to conduct at least two meetings with the Eastlake Group throughout the period of the agreement to assist with its management.

Recipients of in-kind support are required to provide the details of the organisation and acquit their use of the sponsorship in writing.

Recipients of in-kind support of a significant value are required to enter into an MoU similar to those community organisations receiving cash.

This commitment and our processes and procedures are reviewed by the Board of the Eastlake Group on an annual basis.

EASTLAKE FOOTBALL CLUB LTD

Club Gaming Revenue

Gross Gaming Machine Revenue (GGMR)	Total (\$)
[Total After Deducting Players' Winnings (Excluding Linked Jackpots) And Any Amount Set Aside Under A Linked-Jackpot Arrangement For The Payment Of Jackpot Pay-outs]	10,813,044
24% Of GGMR	2,595,131
Gaming Machine Tax Liability (Tax Payable Under Section 159 Of The Act)	2,045,739
Total Net Gaming Machine Revenue (NGMR)	6,172,174

COMMUNITY PURPOSE CONTRIBUTIONS (CPCs) BY CATEGORY	Monetary \$	In-Kind \$	Total \$	(%) of NGMR
Value Of Payments To Gambling Harm Prevention And Mitigation Fund (GHPMF) (0.75% Of GGMR)	81,098	-	81,098	1.31%
Value Of Chief Minister's Charitable Fund Payments (0.4% Of NGMR)	24,689	-	24,689	0.40%
Value Of Gambling Harm Prevention And Mitigation Fund Payments (0.4% Of NGMR)	24,689	-	24,689	0.40%
Supporting A Charitable Cause	15,921	9,386	25,307	0.41%
Providing Recreation Opportunities	1,500	27,953	29,453	0.48%
Providing Education Opportunities	100	1,145	1,245	0.02%
Improving Social Inclusion, Equality Or Cultural Diversity	-	38,117	38,117	0.62%
Benefitting Or Increasing Participation In Community Sport	546,830	42,729	589,559	9.55%
Preventing Or Mitigating Harm Caused By Drug Or Alcohol Misuse Or Dependence	-	-	-	0.00%
Benefitting Or Increasing Participation In Womens Sport (Adjusted)	519,423	24,365	43,788	8.81%
Providing Relief Or Assistance To People Living In Australia Following A Natural Disaster	-	-	-	0.00%
Emergency Community Purpose Contributions - Club Employees	-	-	-	0.00%
Total Value Of Eligible Community Purpose Contributions	1,214,250	143,695	1,357,945	22.00%
As a % of each monetary and in-kind contribution of NGMR	19.67%	2.33%		
Value of claimed CPS other than contribution of 0.75% of GGMR to the GHPMF			1,308,567	21.20%
Required community purpose contribution (8% of NGMR)			493,774	8.00%
Excess/(deficit) of claimed community contributions compared to required contributions			814,793	13.20%
Value of contributions to registered political parties and their associated political entities			-	0.00%

EASTLAKE FOOTBALL CLUB LTD

CATEGORY - SUPPORTING A CHARITABLE CAUSE

DATE	RECIPIENT	PURPOSE	AMOUNT MONETARY \$	Amount In-Kind \$
11/08 ~ 18/08/2023	ACT Down Syndrome Association	Donation	15,571	-
22/11/2023	ACT TPI Association	Donation	50	-
23/02/2023	Gungahlin SES	Room hire X 1 event(s)	-	118
06/02 ~ 22/11/2023	Lions Club of Canberra	Room hire X 22 event(s)	-	5,295
30/01 ~ 23/11/2023	Pegasus	Room hire X 1 event(s)	-	845
20/09/2023	R U OK Day	Donation	300	-
19/01 ~ 16/11/2023	Yerrabi View Club	Room hire X 1 event(s)	-	3,128
Sub Total for Supporting a Charitable Cause: Total			15,921	9,386
For Supporting A Charitable Cause:				25,307



CATEGORY - PROVIDING RECREATION OPPORTUNITIES

DATE	RECIPIENT	PURPOSE	AMOUNT MONETARY \$	Amount In-Kind \$
14/02 ~ 14/11/2023	ACT 4WD Club	Room hire X 8 event(s)	-	2,025
11/01 ~ 06/12/2023	ACT Motorcycle Club	Room hire X 12 event(s)	-	1,740
18/07/2023	ACT Walking for Pleasure	Room hire X 1 event(s)	-	245
04/05/2023	ArtSound FM	Room hire X 1 event(s)	-	545
17/1 ~ 21/11/2023	BMW Car Club	Room hire X 12 event(s)	-	1,615
06/02 ~ 06/11/2023	Canberra Model Vehicle Collectors Club	Room hire X 10 event(s)	-	1,275
11/01 ~ 13/12/2023	Canberra Railway Museum	Room hire X 15 event(s)	-	2,445
12/02 ~ 10/12/2023	Canberra Ukulele Band	Room hire X 16 event(s)	-	4,745
01/02 ~ 16/12/2023	Ford Performance Club of ACT	Room hire X 14 event(s)	-	3,263
26/06/2023	Ford Performance Club of ACT	Sponsorship	1,500	-
07/02 ~ 05/12/2023	Jaguar Drivers' Club of Canberra	Room hire X 11 event(s)	-	2,995
06/02 ~ 20/11/2023	Land Rover Club ACT	Room hire X 18 event(s)	-	4,915
06/02 ~ 04/12/2023	Namadgi Sports Flyers Club	Room hire X 8 event(s)	-	860
16/013 ~ 18/12/2023	Traditional Boat Squadron	Room hire X 9 event(s)	-	1,285
Sub Total For Providing Recreation Opportunities:			1,500	27,953
Total For Providing Recreation Opportunities:				29,453

CATEGORY - PROVIDING EDUCATION OPPORTUNITIES

DATE	RECIPIENT	PURPOSE	AMOUNT MONETARY \$	Amount In-Kind \$
02/03 ~ 07/06/2023	Australian Society Sports History	Room hire X 2 event(s)	-	545
20/06/2023	Australian Technical Analysts Association	Room hire X 1 event(s)	-	300
21/06/2023	Forrest School P&C Association	Room hire X 1 event(s)	-	300
03/07/2023	Tharwa Preschool	Donation	100	-
Sub Total For Providing Education Opportunities:			100	1,145
Total For Providing Education Opportunities:				1,245

CATEGORY - IMPROVING SOCIAL INCLUSION, EQUALITY OR CULTURAL DIVERSITY

DATE	RECIPIENT	PURPOSE	AMOUNT MONETARY \$	Amount In-Kind \$
08/02 ~ 08/11/2023	Gungahlin Community Council	Room hire X 17 event(s)	-	3,364
25/04 ~ 02/08/2023	Gungahlin RSL	Room hire X 2 event(s)	-	515
07/02 ~ 05/12/2023	HMAS Sydney Association (ACT)	Room hire X 7 event(s)	-	1,780
04/02 ~ 12/12/2023	ISCCC	Room hire X 9 event(s)	-	2,645
02/02 ~ 02/11/2023	Kingston & Barton Residents Group	Room hire X 8 event(s)	-	1,110
04/07 ~ 15/11/2023	Liberal Party Yerrabi Branch	Room hire X 4 event(s)	-	1,110
10/01 ~ 12/12/2023	Men's Table	Room hire X 24 event(s)	-	6,094
02/02 ~ 07/12/2023	Naval Association	Room hire X 11 event(s)	-	2,937
05/06 ~ 04/12/2023	Probus Club Gold Creek	Room hire X 8 event(s)	-	1,622
13/02 ~ 10/07/2023	Probus Club Tuggeranong	Room hire X 2 event(s)	-	210
09/01 ~ 12/12/2023	Rotary Club of Gungahlin	Room hire X 63 event(s)	-	16,730
Sub Total For Improving Social Inclusion, Equality or Cultural Diversity:			-	38,117
Total For Improving Social Inclusion, Equality or Cultural Diversity:				38,117

CATEGORY - BENEFITTING OR INCREASING PARTICIPATION IN COMMUNITY SPORT

DATE	RECIPIENT	PURPOSE	AMOUNT MONETARY \$	Amount In-Kind \$
04/06/2023	ACT Brumbies	Room hire X 1 event(s)	-	245
23/01 ~ 13/10/2023	Brindabella Blues Football Club	Room hire X 8 event(s)	-	3,515
23/01 ~ 29/06/2023	Brindabella Blues Football Club	Sponsorship	4,750	-
29/04 ~ 01/07/2023	Canberra Workers Redbacks Cricket Club	Room hire X 2 event(s)	-	761
23/01 ~ 08/5/2023	Canberra Workers Redbacks Cricket Club	Sponsorship	1,500	-
20/02 ~ 11/12/2023	Capital Tigers	Room hire X 12 event(s)	-	3,625
13/08/2023	Capital Tigers	Donation	100	-
05/04 ~ 04/10/2023	CORC	Room hire X 3 event(s)	-	485
17/01 ~ 10/11/2023	East Gungahlin Netball Club	Room hire X 8 event(s)	-	2,782
31/03 ~ 31/10/2023	Eastlake Cricket Club	Room hire X 8 event(s)	-	1,609
31/03 ~ 13/11/2023	Eastlake Cricket Club	Sponsorship	15,840	-
24/01 ~ 18/12/2023	Eastlake Gungahlin Chess Club	Room hire X 47 event(s)	-	5,932
08/05 ~ 14/09/2023	Eastlake Social Golf Club	Sponsorship	6,000	-
07/02 ~ 18/12/2023	Gungahlin Bulls	Room hire X 31 event(s)	-	8,612
24/05 ~ 30/11/2023	Gungahlin Bulls	Sponsorship	14,346	-
16/05/2023	Gungahlin Eagles Juniors	Room hire X 1 event(s)	-	491
08/02 ~ 08/12/2023	Gungahlin Jets AFL & Netball Club	Room hire X 15 event(s)	-	2,181
28/06 ~ 18/08/2023	Gungahlin Jets AFL & Netball Club	Sponsorship	3,220	-
18/01 ~ 11/12/2023	Gungahlin United Football Club	Room hire X 8 event(s)	-	2,452
16/01 ~ 11/12/2023	Little Athletics	Room hire X 6 event(s)	-	640
19/04 ~ 14/10/2023	Old Canberrans Hockey Club	Room hire X 7 event(s)	-	1,070
31/03 ~ 04/07/2023	Old Canberrans Hockey Club	Sponsorship	2,750	-
08/02 ~ 01/08/2023	South Tuggeranong Knights Football Club	Room hire X 8 event(s)	-	870
24/01 ~ 05/12/2023	Table Tennis ACT	Room hire X 17 event(s)	-	2,275
01/02 ~ 13/12/2023	Tuggeranong Bushrangers	Room hire X 12 event(s)	-	2,080
02/04 ~ 30/10/2023	Tuggeranong Bushrangers	Sponsorship	8,663	-
27/02 ~ 23/10/2023	Valley Dragons	Room hire X 2 event(s)	-	220
16/01 ~ 31/12/2023	Western District Cricket Club	Room hire X 11 event(s)	-	2,884
07/02 ~ 12/12/2023	Western District Cricket Club	Sponsorship	9,570	-
01/01 ~ 31/12/2023	Eastlakes Football Club Ltd	- Administration Expenses	24,004	-
		- Administrator Wages	156,442	-
		- Awards and Trophies	29,623	-
		- Coaching Payments	50,371	-
		- Equipment & Facilities Expenses	38,276	-
		- Insurance	12,663	-
		- Medical & Player Wellbeing	4,717	-
		- Oval - Maintenance	16,564	-
		- Oval - Utilities	12,013	-
		- Player Payments	53,063	-
		- Support Staff Payments	23,235	-
		- Training Expenses	2,125	-
		- Umpires	12,799	-
		- Uniforms	44,196	-
			480,091	-
			<hr/>	
		Sub Total For Benefitting or Increasing Participation in Community Sport:	546,830	42,729
		Total For Benefitting or Increasing Participation in Community Sport:	<hr/>	<hr/>
				589,559



CATEGORY - BENEFITTING OR INCREASING PARTICIPATION IN WOMENS SPORT (ADJUSTED)

DATE	RECIPIENT	PURPOSE	AMOUNT	Amount	AMOUNT	Amount
			MONETARY	In-Kind	MONETARY	In-Kind
			\$	\$	\$ at 4/3	\$ at 4/3
10/05/2023	BellaMonaro Women's Football Club	Room hire X 1 event(s)	-	110	-	147
23/01 ~ 13/10/2023	Brindabella Blues Football Club	Room hire X 8 event(s)	-	160	-	213
23/01 ~ 29/06/2023	Brindabella Blues Football Club	Sponsorship	250	-	333	-
30/05/2023	Canberra Dance Collective	Sponsorship	1,000	-	1,333	-
31/03 ~ 31/10/2023	Eastlake Cricket Club	Room hire X 8 event(s)	-	219	-	293
03/11 ~ 13/11/2023	Eastlake Cricket Club	Sponsorship	2,160	-	2,880	-
07/02 ~ 18/12/2023	Gungahlin Bulls	Room hire X 31 event(s)	-	957	-	1,276
24/05 ~ 30/11/2023	Gungahlin Bulls	Sponsorship	1,594	-	2,125	-
08/02 ~ 08/12/2023	Gungahlin Jets AFL & Netball Club	Room hire X 15 event(s)	-	2,560	-	3,413
28/06 ~ 18/08/2023	Gungahlin Jets AFL & Netball Club	Sponsorship	3,780	-	5,040	-
18/01 ~ 11/12/2023	Gungahlin United Football Club	Room hire X 43 event(s)	-	12,375	-	16,500
15/03 ~ 22/12/2023	Gungahlin United Football Club	Sponsorship	16,000	-	21,333	-
19/04 ~ 14/10/2023	Old Canberrans Hockey Club	Room hire X 7 event(s)	-	810	-	1,080
31/03 ~ 04/07/2023	Old Canberrans Hockey Club	Sponsorship	2,250	-	3,000	-
01/02 ~ 13/12/2023	Tuggeranong Bushrangers	Room hire X 12 event(s)	-	707	-	943
02/04 ~ 30/10/2023	Tuggeranong Bushrangers	Sponsorship	2,945	-	3,927	-
16/01 ~ 31/12/2023	Western District Cricket Club	Room hire X 11 event(s)	-	375	-	500
07/02 ~ 12/12/2023	Western District Cricket Club	Sponsorship	1,430	-	1,907	-
07/06/2023	Womens Boxing Australia	Sponsorship	1,000	-	1,333	-
01/01 ~ 31/12/2023	Eastlake Football Club Ltd	- Administration Expenses	19,979	-	26,638	-
		- Administrator Wages	117,480	-	156,639	-
		- Awards and Trophies	20,911	-	27,881	-
		- Coaching Payments	34,360	-	45,814	-
		- Equipment & Facilities Expenses	26,993	-	35,991	-
		- Insurance	9,499	-	12,665	-
		- Medical & Player Wellbeing	4,214	-	5,619	-
		- Oval - Maintenance	16,564	-	22,085	-
		- Oval - Utilities	12,013	-	16,017	-
		- Player Payments	35,375	-	47,167	-
		- Support Staff Payments	15,490	-	20,653	-
		- Training Expenses	2,125	-	2,833	-
		- Umpires	9,071	-	12,095	-
		- Uniforms	33,086	-	44,115	-
			357,160	-	476,212	-
		Sub Total For Benefitting or Increasing Participation in Community Sport:	389,569	18,273	519,423	476,212
		Total For Benefitting or Increasing Participation in Community Sport:				543,788



Life Member Recipients

Eastlake

T. Booth
A. Bruce
L. Bush
G. Canon
M. Cannon
J. Cassell
C. Chandler
J. Chandler
R. Curran
S. Dee
R. Dickinson
B. Dorman
A. Duffy
R. Duffy
J. Duley
D. Elliman
R. Garth
P. Gaynor
G. Glenn
R. Gowan
N. Graham
K. Hill
D. Hourigan
F. Irby
S. Jerga
L. Joyce
C. Kaylock
K. King
R. Kirby
J. Macafee
K. Macdonald
P. Macdonald
R. Maginness
C. Maher
N. Malone
A. McGuffin
R. McGuffin
R. McLeod
A. Mellor
B. Mickelson
K. Miller
C. Mitchell
W. Moore
A. Morcombe

Manuka

R. Blair
W. Boyd
R. Brophy
P. Brown
A. Brown
C. Cole
D. Cooper
F. J Dorman
F. W Dorman
L. Dorman
D. Droop
W. Farmer-Whyte
J. Flaherty
R. Franklin
T. Gallagher
K. Griff
D. Hayes
J. Hickey
J. Hurley
R. Kapler
M. King
R. Leonard
R. Mair
H. McArthur
A. McClure
P. McGregor
L. McPhan
J. Moroney
P. Moroney
F. Nelson
R. Newcombe
J. O'Dwyer
L. Pini
J. Pini
G. Pini
M. Robertson
G. Smith
T. Snowdon
N. Taylor
A. Ware
F. Watters
W. Wilde
D. Wood
S. Yandell

Eastlake Demons

Report 2023

There were several changes implemented to the personnel leading our Men's and Women's senior programs prior to the 2023 season commencing, namely Damian Carmichael taking over the Head Coaching reigns of the Men's program from John Harper, and former Eastlake player, coach and Director Chris Maher taking over the reigns of the Women's programs from Jackson Nugent.

The club would like to extend it's appreciation to John and Jackson for their commitment, passion and energy during their tenure as Head Coaches of the respective senior programs.

There was an air of excitement around the club leading into the 2023 season and across all senior programs we managed to participate in finals (with the exception being the Women's Rising Stars) but unfortunately bowed out early with Men's First Grade losing to Queanbeyan in the first final (two years in a row), Women's First Grade losing to Queanbeyan in the first final (two years in a row) and the Men's Second Grade losing to Queanbeyan in the first final.

However, the shining lights were the Women's Second Grade who once again continued their progression as a football team by reaching finals for the 4th consecutive season and going on to play in the Grand Final, and the Men's Rising Stars who after a sluggish start went on to play on Grand Final, but unfortunately both teams coming up agonisingly short by 9 and 21 points respectively.



Furthermore, to reaffirm the outstanding achievement by the Women's Second Grade they had a change of coach's mid-way through the year with Damian Eaton stepping down and Kasie Nugent and Kristen Wilson taking over, which makes the achievement of playing off in a Grand Final even more of an outstanding effort.

Our junior programs had a successful season with all teams except the 15's and 17's boys participating in junior finals. The U11's and U12's mixed teams both took out the premiership in their respective age groups, and the U12 Girls also played off in the Grand Final.

There was an influx of numbers in the Club's Auskick program with numbers doubling on the previous year thanks to the hard work of our Junior Coordinator in JD, which will hold the club in good stead in years to come.

A big thank you goes to all the volunteer coaches, managers, and the parents of the juniors for their tireless work in making our junior programs a place of destination for young footballers.

In 2023 the club implemented Alan Hasler as a game day volunteer and operations manager to assist with the running of our senior football programs with outstanding results being achieved.

Alan engaged with the disability sector with 6 individuals coming on board in a voluntary capacity in roles ranging from cooking the bbq, running water and time keeping.

The Eastlake Demons are extremely proud of being a club that embraces everyone, and to play a key role in society that everyone feels welcomed with a sense of community and home.

To all our valued sponsors, the support and commitment you have provided to our football programs we sincerely thank you for allowing the Eastlake Demons to partner with you and we hope that we can continue the partnerships that are currently in place going forward.

Maureen Cahill
Vice President Football

Shaun Young
General Manager Football









Eastlake Demons

Award **Winners** 2023

Congratulations to all award winners, in particular to the following players that won their respective team best & fairest;

Eastlake Demons Men's First Grade (Keith Miller Medal)

Nick Kelly

Eastlake Demons Men's Second Grade (John 'Jacko' Pini Medal)

Perry Cole

Eastlake Demons Men's Third Grade

Isaac Egan

Eastlake Demons Men's Rising Stars (Guy Cannon Medal)

Keanan Patron

Men's First Grade Best First Year Player – (Greg Pini Memorial Award) –

Nick Kelly

Eastlake Demons Women's First Grade (Backhouse/Diprose Medal)

Kate Greenacre

Women's First Grade Best First Year Player – (Rohana Prince Perpetual Trophy) –

Imogen Chambers

Eastlake Demons Women's Second Grade

Kelarnie Whalen

Eastlake Demons Women's Rising Stars

Ava Mooney

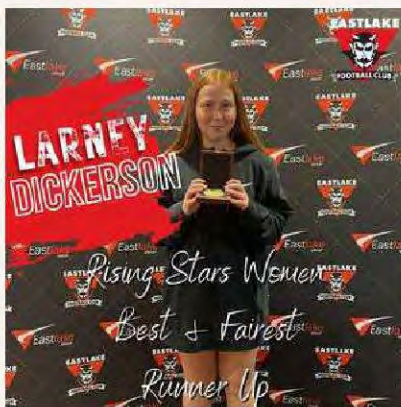
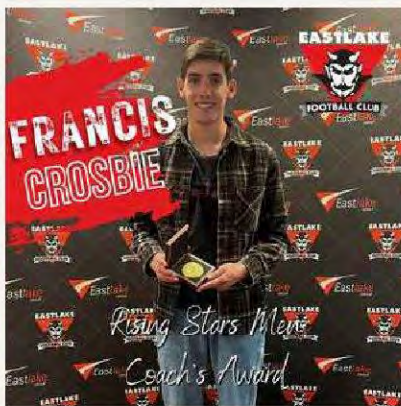
AFL Canberra Women's Coach of the Year

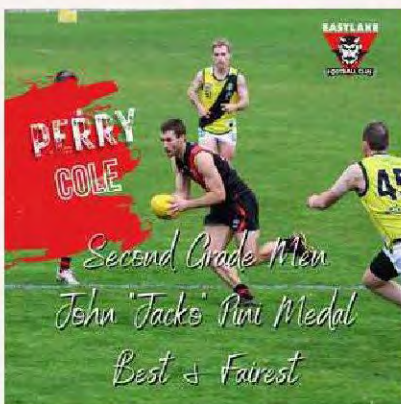
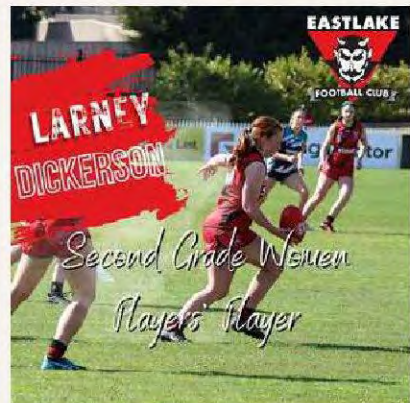
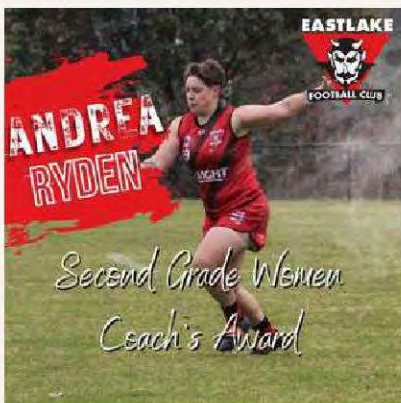
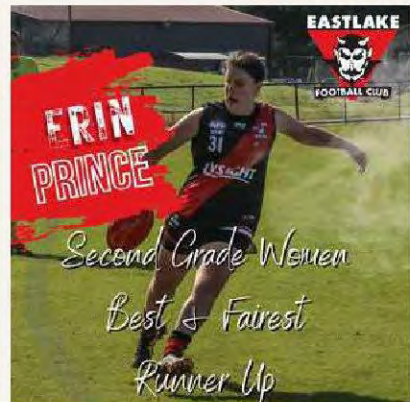
Chris Maher

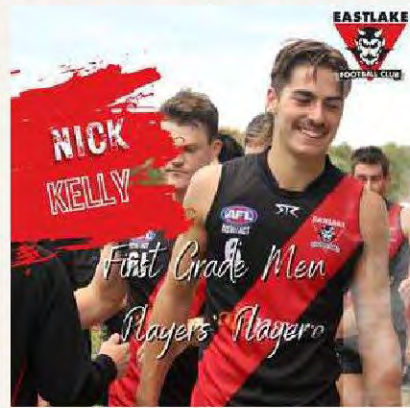
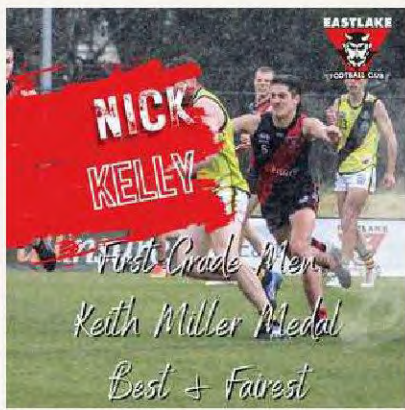
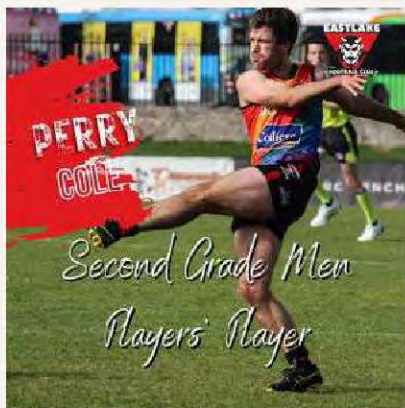
AFL Canberra Bainrot Medal Runner Up

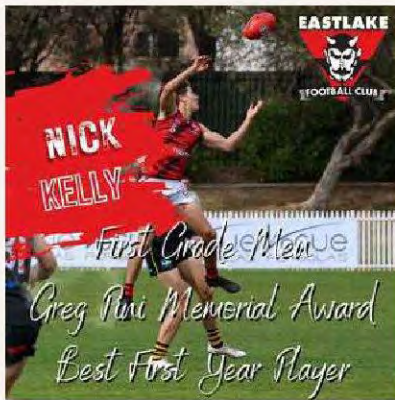
Kate Greenacre

Finally, we would like to thank the Eastlake Board for both supporting and allowing the Football Committee and Management to implement strategies and protocols that enables the Eastlake Demons to facilitate our senior and junior male and female programs.









2023 EFC Games Played

Men's First Grade

James	Andric	8
Toby	Bartrop	1
Spencer	Bassett	7
Harry	Block	5
Aaron	Bruce	15
Jack	Castles	12
Matthew	Clark	12
Perry	Cole	3
Dylan	Craven	12
Josh	Dowse	15
Lewis	Evans	12
Jack	Evesson Larsen	12
Jordan	Gilbert	15
Will	Green	8
Jake	Gunning	10
Nicholas	Hamilton	1
Arran	Harsdorf	1
Patrick	Hillan	2
Rohan	Hosking	10
Nick	Kelly	14
Noah	Le Lievre	4
Sam	Manton	2
Patrick	McCarthy	9
Ben	McGinness	15
Tom	Millington	4
Mitchell	Mooney	6
Logan	Muir	14
Ciaran	O'Rourke	4
Jackson	Richman	13
Samuel	Roberts	1
Hamish	Roberts	12
Thomas	Robertson	15
Ethan	Rosin	11
Jesse	Sands	16
Alex	Smout	4
Liam	Thompson	11
Marcus	Unger	15
Alex	Wilson	11

Women's First Grade

Kahli	Abbott	6
Nicola	Aumont	16
Mimi	Barnes	5
Julia	Bassett	14
Brigi	Batagol	1
Jasmine	Betts	2
Lauren	Bird	7
Bridget	Carroll	5
Imogen	Chambers	14
Karina	Demant	15
Makaela	Egan	9
Helene	Ellwood	3
Isobel	English	3
Ryeli	Fleming	14
Poppy	Gevorgian	1
Kate	Greenacre	15
Skye	Hamblin	10
Emily	Honeyman	14
Neve	James	14
Kath	Johnson	15
Chantel	Jones	13
Laura	Kearney	14
Hannah	Kearney	10
Madeleine	Kelly	15
Grace	Kemp	1
Olivia	Kirkcaldie	6
Cecilia	Maher	14
Charlotte	Marshall	16
Maddie	McGinness	7
Julia	Millburn	4
Joetta	Nowlan	8
Erin	Prince	1
Jaija	Rangiah	1
Julie	Stabler	9
Tanya	Taylor	1
Abby	Thompson	10
Kate	Thornton	14
Rachel	Waters	8
Brianna	Williams	1

100 Games Played

Eastlake

B.	Mickelson	240
A.	Duffy	239
K.	King	227
P.	Macdonald	206
W.	Moore	181
M.	Briant	170
G.	Richardson	169
L.	Drayton	163
B.	Robbie	161
G.	McEwan	160
S.	Hutchinson	159
A.	McGuffin	159
N.	Graham	159
A.	King	158
D.	Grubb	157
R.	Dickinson	152
P.	McEwan	148
T.	Robbie	147
R.	Smorhun	146
K.	Hill	144
A.	Bradley	144
B.	Dickerson	140
D.	Farrell	138
K.	Miller	137
M.	Southwell	137
R.	Bowe	136
J.	Macafee	134
A.	Drayton	131
P.	Gowing	126
J.	Stewart	125
J.	McEwan	122
G.	Werner	120
J.	Burnden	120
H.	Edlington	118
D.	Lyll	116
H.	Cotterill	115
C.	Robbie	115
N.	Malone	114
M.	Webb	114
S.	Overland	113

R.	Dale	112
H.	Woods	108
K.	Stewart	107
D.	Elliman	106
P.	Ash	106
R.	Duncan	104
G.	Samios	104
W.	McKinstry	103
A.	Morcombe	103
H.	Jenkins	102
R.	Noonan	101
A.	McEwan	100

Manuka

R.	Franklin	256
K.	Grigg	234
T.	Gallagher	219
J.	Dorman	216
R.	Maiden	187
N.	Taylor	179
A.	Flaherty	178
N.	McArthur	177
D.	Wood	175
R.	Brophy	170
L.	Dorman	168
D.	Harriss	166
E.	Blackaby	164
C.	Dorman	160
P.	Dale	159
A.	Ware	158
G.	Ghirardello	151
G.	Apps	150
L.	Pini	150
S.	Guest	146
T.	Kimball	146
M.	Gaughwin	139
B.	McElhinney	135
J.	Hurley	134
J.	Brinkman	128

P.	Lush	128
L.	McPhan	128
W.	Ghirardello s	127
W.	Vaughan	127
S.	Yandell	127
G.	Neeson	121
W.	Ghirardello j	120
P.	Brown	114
P.	Moroney	112
J.	Flaherty	111
D.	Weise	111
G.	Pini	109
R.	Newcombe	108
N.	Custance	107
F.	Breglec	105
D.	Droop	104
B.	Pini	103
R.	Whatman	102

100 Games Played

Manuka/Eastlake Demons

A.	Bruce	283*	T.	Gray	106
G.	Cannon	262	G.	Lonsdale	105
A.	Mellor	200	D.	Lewis	104
M.	Backhouse	176	P.	McGrath	104
T.	Brown	172	M.	Johnston	104
R.	Prince	168	N.	Vozella	103
A.	Wilson	164*	J.	Turner	103
D.	Roulstone	163	M.	Frail	103
S.	Jerga	160	M.	Gallagher	103
B.	Collins	158	A.	Forbes-Shepard	102
R.	Hall	153	G.	Walker	100
S.	Fellows	148	A.	Short	100
L.	McMahon	148	M.	Divett	100
K.	Nugent	146			
S.	Clarke	143			
B.	Maiden	140			
S.	Wilson	135			
D.	Adams	132			
K.	Demant	129			
A.	Whalen	125			
D.	Fraser	124			
M.	Swan	123			
S.	Rose	122			
T.	Gray	121			
K.	Castle	121			
L.	Cannon	120			
E.	Diprose	120			
J.	Gumley	120			
L.	Winter (Castle)	119			
S.	Darcy	116*			
S.	DeSousa	116			
J.	Hancock	116			
M.	Monagle	114			
J.	Duce	114			
N.	Clarke	113			
M.	Trew	113			
B.	McGinness	111			
D.	Ryall	109			
J.	Mesman	108			
C.	Maher	107			

* Currently still playing

2023 Eastlake Demons Teams

2023 First Grade Men



Back Row (Left to Right) – Damian Carmichael (Head Coach), Jackosn Richman, Patrick McCarthy, Joshua Dowse, Tom Millington, Aaron Bruce, Hamish Roberts, Jake Gunning, Tom Robertson, Nick Kelly, Logan Muir, Arran Harsdorf, Ethan Rosin, James Andric, Kieran Norcott (S&C).

Front Row (Left to Right) – Jack Evesson-Larsen, Lewis Evans, Jesse Sands, Rohan Hosking, Jordan Gilbert, Sam Roberts, Ben McGinness (Captain), Marcus Unger, Mitchell Mooney, Jack Castles.

Absent – Phil Gaynor (Team Manager).

2023 Eastlake Demons Teams

2023 First Grade Women



Back Row (Left to Right) – Justine Cain (Assistant Coach), Ryan Kearney (Assistant Coach), Helene Ellwood, Kate Thornton, Laura Kearney, Maddie McGinness, Madeleine Kelly, Olivia Kirkcaldie, Abby Thompson, Skye Hamblin, Chantel Jones, Ryeli Fleming, Hannah Kearney, Julie Stabler, Margot McGinness (Team Manager), Chris Maher (Head Coach), Amanda Divett (Assistant Coach).

Front Row (Left to Right) – Kelvin Mok (Physio), Karina Demant, Imogen Chambers, Khali Abbott, Charlotte Marshall, Cecilia Maher, Kate Greenacre (Captain), Nicola Aumont, Julia Bassett, Kathleen Johnson, Makaela Egan, Laura Allardyce (Runner), Amelie Allen (Trainer).

2023 Eastlake Demons Teams

2023 Second Grade Men



Back Row (Left to Right) – Daniel Kneebone (Team Manager),
Anthony Watt (Co Coach), Matthew Smith, Jack Applebee, Jack Divett, Pat Hillan,
Liam Fardy, Cameron Bokenham, Kieran Douglas, Brett Reid, Stephen James,
Noah LeLievre, Joshua Vines, Huon Apps, Spencer Bassett,
Ben Lepoidevin (Co Coach).

Front Row (Left to Right) – Harvey Warr, Sam Patron, Rhys Curran, Toby Bartrop,
Jono Painting, Jasper Kidd (Captain), Harry Block, Perry Cole, Sam Manton.

2023 Eastlake Demons Teams

2023 Second Grade Women



Back Row (Left to Right) – Kristen Wilson (Co Coach), Zalee Agnew, Helene Ellwood, Brianna Williams, Julia Millburn, Bridget Carroll, Tayla Delmenico, Olivia Kirkcaldie, Maddie McGinness, Poppy Gevorgian, Amber Heslop, Kelarnie Whalen, Larney Dickerson, Lauren Williams, Michelle Wells (Team Manager), Kasie Nugent (Co Coach), Julie Stabler.

Front Row (Left to Right) – Maegan Lee, Isabella Armstrong, Makaela Egan, Andrea Ryden, Carli Eaton (Captain), Tanya Taylor, Charlee Bradley, Larissa Barrett, Kaylee Gregory, Jaija Rangiah, Madeleine Kelly, Kiara Keane, Erin Prince.

2023 Eastlake Demons Teams

2023 Rising Stars Men



Back Row: Travis Hicks (Assistant Coach), Darryl Hoffman (Head Coach), Andrew Traviss, Griffin Hazell, James Crosbie, Joshua Kearney, Tom Briody, Xander Tuan, Matthew Harmer, George Dutton, Harrison Baker, Austin Pearce, Chase Muir, Michael Rangiah, Harry Sly, Marlo Chapple, Hamish Roberts.

Front Row: Seth Darnbrough, Francis Crosbie, Ty Shephard, Ryan Ellis, Christian Greer, Felix Moore, Liam Greer, Callum Hicks, Keanan Patron, Oliver Price (Captain), Owen Smith, Harvey Shepherd, Hamish McWhirter.

2023 Eastlake Demons Teams

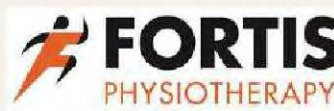
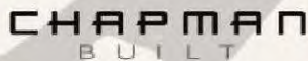
2023 Rising Stars Women



Back Row (Left to Right) – Glen Dickerson (Head Coach), Chloe Brennan, Mia Archibald, Gianna Ghiradello, Ava Ghenossis, Jasmine Byrne, Tilly Hislop, Macy Strickland, Megan Duquette, Georgia Mertz, Ava Mooney, Gemma Kopievsky, Jemma Thompson, Madeline Beesley, Jamie Kemp (Assistant Coach).

Front Row (Left to Right) – Lauren Dixon, Lily Brittle, Larney Dickerson, Aaliah Battison, Adelaide Crosbie, Grace Kemp (Captain), Patrice Parker, Anica Kraljevic, Nicoleann Wanjiru, Jemma Thompson, Poppy Ritchard, Polly Jean-Eve.

2023 Sponsors





Eastlake
GROUP

EASTLAKE



15.10.2025

PROJEX[®]

Build Better.

**KINGSTON OVAL PROPOSAL
SPORTSGROUND IMPROVEMENTS**

EASTLAKE FOOTBALL CLUB

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BUDGET PROPOSAL

ATTENTION: SHAUN YOUNG

EASTLAKE FOOTBALL CLUB

3 OXLEY STREET, GRIFFITH
PO BOX 4167 KINGSTON ACT 2604

15.10.2025

Regarding Kingston Oval Proposal

Dear Shaun,

We are pleased to submit our budget proposal for the Kingston Oval / Eastlake Football Club sportsground improvements in response to your invitation. We have reviewed the documentation provided and confirm our appreciation of the following tasks.

1. Sportsground lighting
2. Playing field irrigation
3. Sprigging of Santa Ana Couch grass
4. Electronic scoreboard

We thank you for the opportunity to provide a proposal for these works and trust the enclosed meets with your approval. We look forward to future discussions with you.

Yours Sincerely,

Projex Building Group Pty Ltd

Sch 2.2(a)(ii)

Managing Director

Budget Proposal

Sch 2.2(a)(xi)

Item
Admin, Supervision & Overheads
Preliminaries
Consultants
Sportslighting
Irrigation
Santa Ana Grass (sprigging)
Electronic Scoreboard
Profit
Contingency
Total Inc GST



EOI SUBMISSION:
COMPANY PROFILE

Company Profile and Organisational Structure

Projex Building Group is an award-winning ACT builder, delivering high-quality commercial construction, fit-out, and refurbishment projects to the nation's capital since 2006. We have consistently showcased our ability to meet project requirements, adhere to timeframes and budgets, and effectively manage relationships with local authorities, service providers, and subcontractors.

Projex employs a team of over 60 staff, with personnel split between on-site and off-site roles. We have included the Projex Building Group Organisational Chart below to illustrate our company structure and the depth of our internal resourcing. Resource allocation is a key strength at Projex, with a team comprising of highly experienced professionals adept in construction management. Each team member brings a wealth of knowledge and skills essential for the successful execution of projects.

Projex Building maintains strong connections with local consultants, subcontractors, and suppliers, fostering lasting partnerships that support the regional economy. We leverage a locally hosted, cloud-based platform to efficiently communicate and distribute drawings and specifications, ensuring a streamlined and transparent pricing process.

Sch 2.2(a)(xi), Sch 2.2(a)(ii)

EOI SUBMISSION: PREVIOUS EXPERIENCE





PHILLIP ENCLOSED OVAL SPORTS PAVILION

OVERVIEW

After a competitive tender process, Projex were awarded the Phillip Oval Sports Pavilion in Q1 2024 for the ACT Government and Infrastructure Canberra.

The new pavilion building comprises players and officials changerooms, amenities, storage and public bathrooms on the lower level. A clubhouse, function area, open kitchen/bar, coaches' boxes and scorers' rooms included in the top floor. These floors were connected via an elevator and internal stairs. The building is surrounded by a grandstand seating area facing the playing surface, various soft and landscaped areas to provide accessible spectator movements and a disabled carpark located on the southern side of the building.

The construction involved a semi-inground lower level with concrete slab on ground and a mix of dintel and blockwork retaining walls and internal columns. A concrete suspended slab was poured with structural steel and purlins to support the lightweight metal roof. The building was clad in pre-finished CFC vertical sheeting, aluminium framed glazing and lightweight aluminium cladding.

This sports field is home to several sporting teams of various codes including:

- Royals Rugby Union Club
- Woden Valley Rams Rugby League Club
- Weston Creek Cricket Club

These clubs along with ACT Sports and Recreation were heavily involved throughout the design and construction phase of the project.

Construction was complete and authority certificates were achieved in early May 2025.

PROJECT DELIVERABLES

CLIENT
ACT Government

ARCHITECT/REFEREE
ck architecture

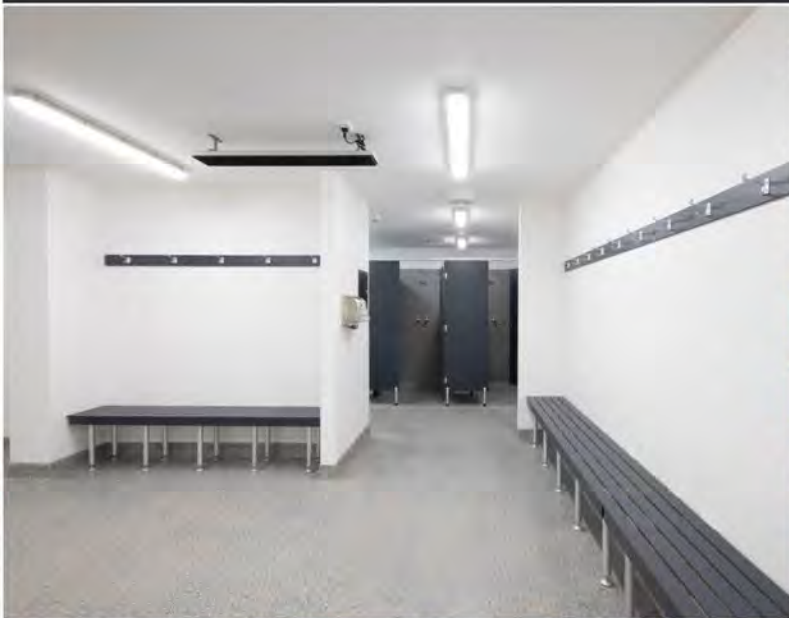
DELIVERY MODEL
GC21 Construct Only Lump Sum

PROJECT SECTOR
Government

KEY CHALLENGES

Projex were engaged to complete the project in Q1 2024. However, this project had been in the planning stages for several years which included multiple design teams, drawing revisions and proposed contract amendments. These ongoing amendments and team changes created several detail ambiguities throughout the drawing set which Projex actively managed throughout the construction phase.

The building was designed to be founded on 500Kpa bearing pressures in its entirety which required some deep excavations to achieve appropriate soil conditions. This deep excavation encroached below the water table of the area leading to consistent ground water being present throughout the early structural stages. Projex actively managed these water ingress and hydrostatic water pressure issues by implementing a temporary stormwater pump to help lower the hydrostatic water pressure in the area.





LRCI NGUNNAWAL OVAL TOILET BLOCK

NEW CONSTRUCTION

OVERVIEW

Projex Building Group were engaged to deliver the upgrade works at Ngunnawal Oval as part of the Local Roads and Community Infrastructure (LRCI) Program for the ACT Government and Transport Canberra & City Services.

Ngunnawal Oval is a popular community sports field supporting various recreational users, local sporting teams, and nearby schools. The project was delivered in close coordination with Sport and Recreation and ACT Government stakeholders to ensure the new infrastructure met community needs and aligned with long-term precinct planning.

The works involved the construction of a new public amenities block, a 21-space car park, and new sports field lighting infrastructure to service the oval.

The amenities building included two unisex ambulant toilets and one accessible (DDA-compliant) bathroom. Construction of the toilet block consisted of a concrete slab, structural steel framing, and a lightweight metal roof. External walls were sheathed in fibre cement (FC) cladding and finished with a combination of exterior vinyl wrap artwork, painted surfaces, epoxy flooring, and perforated metal sheet screening. The extended roof overhang provides a sheltered entry zone in front of each bathroom, incorporating a filtered drinking fountain accessible to field users and spectators.

Projex delivered the works in close consultation with the client and local stakeholders, ensuring minimal disruption to community use of the oval throughout construction. The project was completed in July 2024.

PROJECT DELIVERABLES

CLIENT
ACT Government

ARCHITECT/REFEREE
Our Architect

DELIVERY MODEL
Management Agreement (PMA)

PROJECT SECTOR
Government

KEY CHALLENGES

Key challenges to the project included budget constraints, site accessibility and working in a sensitive environment, and lead times for finishing materials.

During the tender phase the project was over budget. Projex were able to provide multiple cost saving and alternative options to enable the project to proceed with a small contingency. During construction, latent conditions were overcome within budget and some client additions were able to be facilitated with the balance of funds available.

Site accessibility was difficult for this project. Access via the lift was only available through the artwork exhibition space, and alternate access was through the staff office space and multiple staircases. Projex were able to successfully deliver the project by timing deliveries and materials handing outside of the gallery opening times, conducting vibrating and noisy works in a controlled manner, and maintaining close coordination with the Gallery facilities team.

Lead times of critical finishing elements such as flooring, lighting and joinery condensed majority of the works into the final 2 weeks of the program. Projex were able to manage the delivery of these trades concurrently through detailed on site coordination.

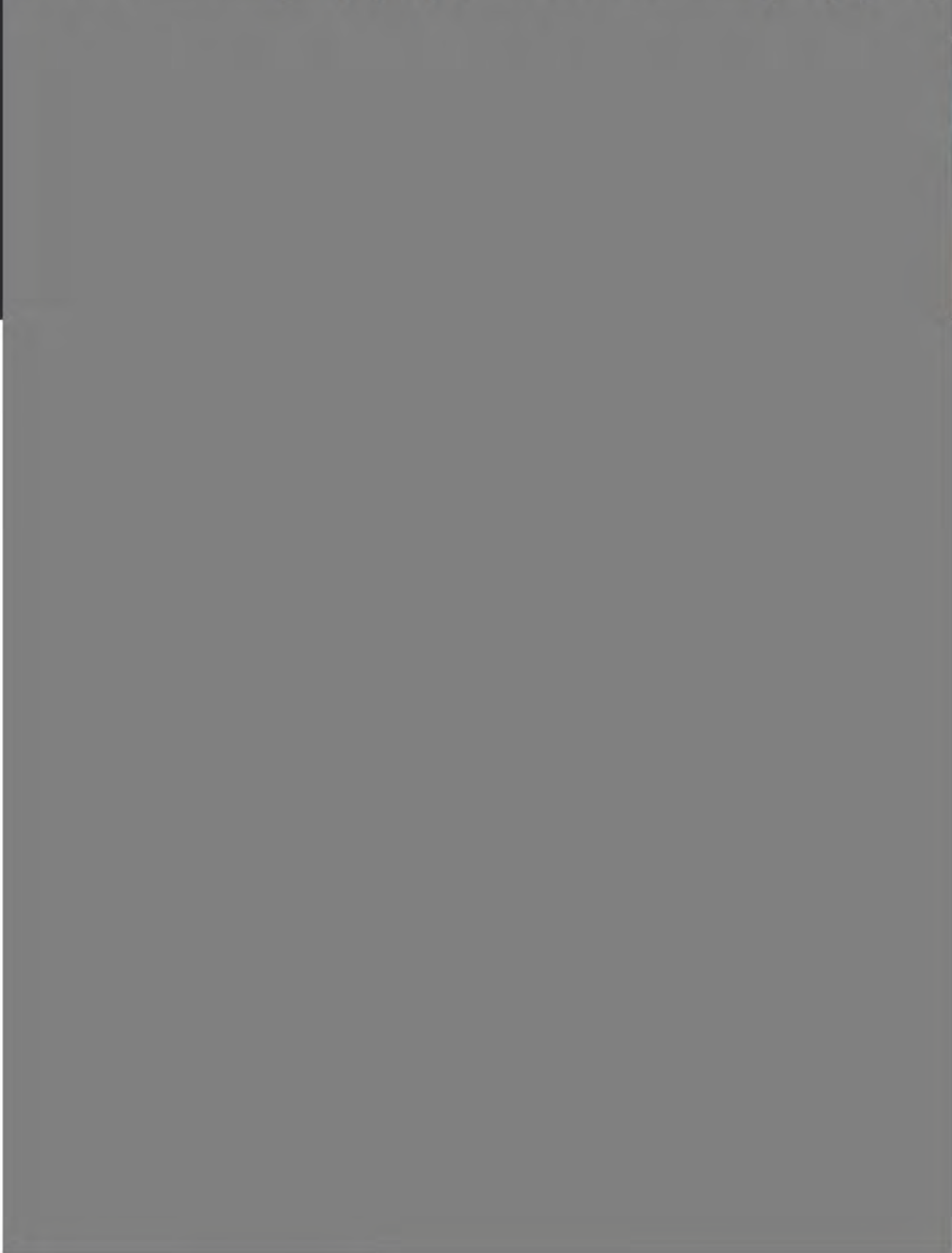
EOI SUBMISSION: KEY PERSONNEL AND QUALIFICATIONS



Sch 2.2(a)(ii), Sch 2.2(a)(xi)

Sch 2.2(a)(ii)

Sch 2.2(a)(ii), Sch 2.2(a)(xi)



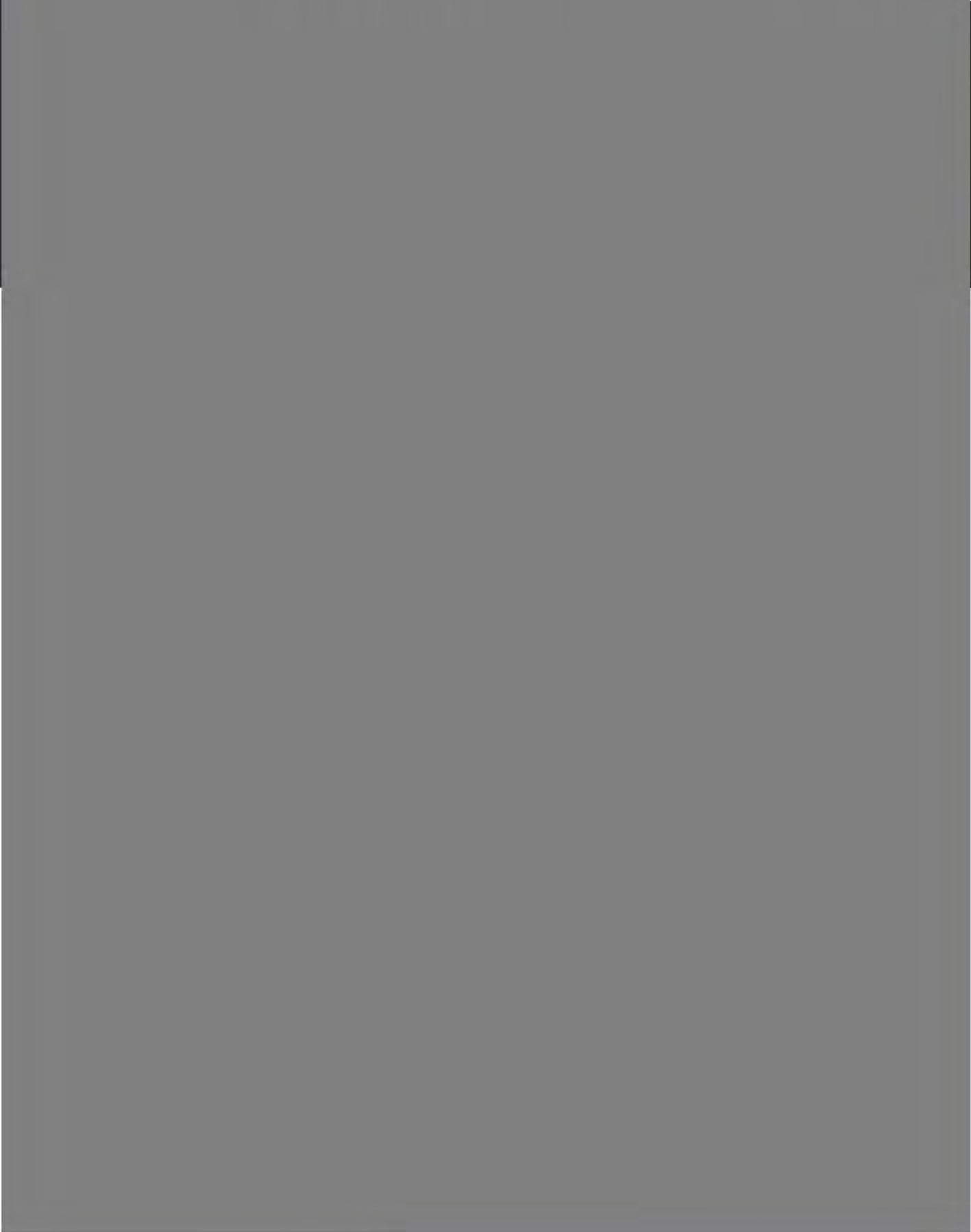
Sch 2.2(a)(ii), Sch 2.2(a)(xi)

Sch 2.2(a)(ii), Sch 2.2(a)(xi)

Sch 2.2(a)(ii), Sch 2.2(a)(xi)

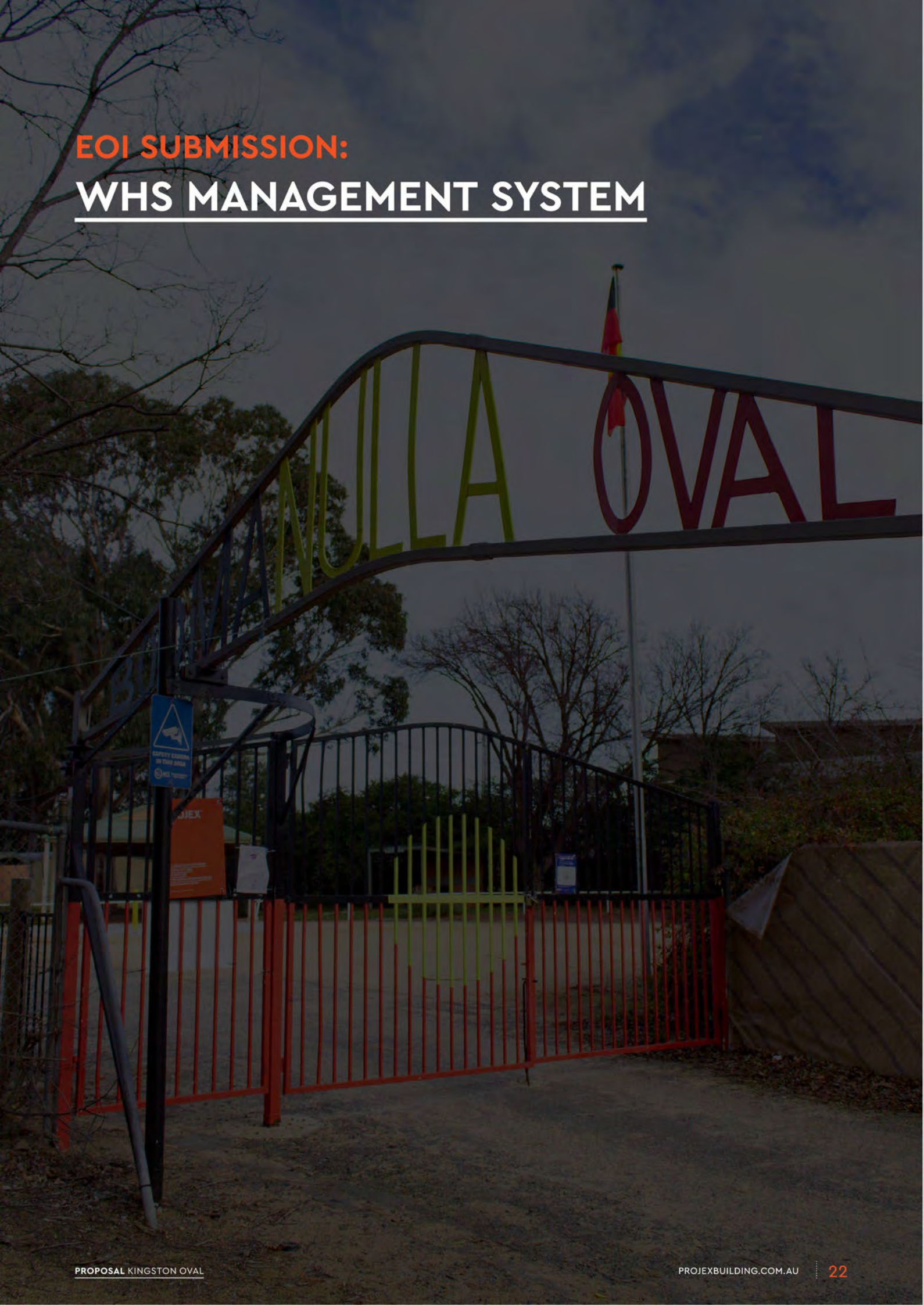
Sch 2.2(a)(ii), Sch 2.2(a)(xi)

Sch 2.2(a)(ii), Sch 2.2(a)(xi)



Sch 2.2(a)(ii), Sch 2.2(a)(xi)

EOI SUBMISSION: WHS MANAGEMENT SYSTEM



Projex WHS Management System

Projex have a strong Work Health and Safety culture lead by our in-house full-time WHS Manager, who brings a vast knowledge base and experience to our organisation. All employees are trained through their induction process and are able to consult the WHS Manager as needed. We have a strong track record of complying with all regulatory requirements on our projects and strive to be a leading example in our industry of maintaining healthy and happy work environment both on and off site.

WHS Management

Projex Building Group's Work, Health and Safety system maintains accreditation under the Office of Federal Safety Accreditation (OFSC) scheme. We are rated as low risk and have been granted, without request, the maximum period of 6 years re-accreditation as of 2023. Our Safety Management System is also certified under the ISO System (ISO9001, ISO14001 and ISO45001). Our system is also subject to regular Active Audits for ACT Government projects.

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Accreditations

Projex Building is committed to providing safe working environment for all workers. Projex maintain an accredited system through the management and implementation of our Project Management Plan (PMP). Projex integrated PMP is aligned to the requirements of:

- AS4801:2001 Workplace Health and Safety Management Systems;
- ISO14001:2015 Environmental Management Systems;
- ISO9001:2015 Quality Management Systems;
- ISO31000:2009 Risk Management - Principles and Guidelines
- HB240-2004 Guidelines for Managing Risk in Outsourcing
- OFSC The Australian Government Building and Construction OHS Accreditation Scheme.

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

EOI SUBMISSION: QUALITY MANAGEMENT SYSTEM



Quality Management

To ensure high-quality service delivery while managing multiple projects simultaneously, Projex Building Group follows a comprehensive and structured approach utilising industry leading systems. From the outset, we implement a project-specific Quality Plan aligned with ISO 9001 and ISO 9002 standards to clearly define roles, responsibilities, and critical quality areas. This includes detailing project requirements, quality procedures, and verification methods, ensuring that each project meets or exceeds expectations.

Sch 2.2(a)(xi)

APPENDIX

- A. REFERENCES
- B. ACCREDITATIONS
- C. INSURANCES
- D. BUILDERS LICENSE



Sch 2.2(a)(ii)

Referee Name
Housing ACT

Referee Name
Housing ACT

Referee Name
AF Projects

Referee Name
Infrastructure Canberra

Referee Name
Infrastructure Canberra

Referee Name
Infrastructure Canberra

Referee Name
Vikings Group

Referee Name
Clarke Keller

Referee Name
Canberra Southern Cross
Club

Referee Name
The Henry

Referee Name
TSA Management

Referee Name
TSA Management

Referee Name
AMC Architecture

B. ACCREDITATIONS



Australian Government

Department of Employment and Workplace Relations
Office of the Federal Safety Commissioner

The Federal Safety Commissioner certifies that

Projex Building Group Pty Ltd

having met the requirements of the
Australian Government building and
construction WHS Accreditation Scheme,
is hereby awarded accreditation from
1 July 2023 until 30 June 2029.

David Denney
Federal Safety Commissioner



Accreditation number: 596

CERTIFICATE OF CONFIDENCE

This is to certify that

Projex Building Group Pty Ltd

Unit G09/50 Eastlake Parade, Kingston ACT 2604, Australia

conforms to the requirements of

ISO 14001:2015

Environmental management systems

The provision of project management and construction management services.

Certificate number: PBGQ01-CCEE03 **Certified date:** 28 September 2023

Original date: 7 December 2017 **Expiry date:** 7 October 2026

Terry Dold
BScBA DipEnvSc AdvDipMgt
Assurance Manager
Equal Assurance



JAS-ANZ



Equal Assurance Pty Ltd as trustee for The Equal Assurance Trust.
21/44 Kings Park Road, West Perth WA 6005, AUSTRALIA

Certificate validity and ownership as per arrangements between the client organization and Equal Assurance partner.
Certificate status can be verified via the QR code or at <https://qdos.equalassurance.com/certificates/PBGQ01>.
Equal Assurance partners are accredited by members of the International Accreditation Forum. Details at www.iaf.nu.
Certificate accredited by Joint Accreditation System of Australia & New Zealand. Details at www.jas-anz.org/register.
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CERTIFICATE OF CONFIDENCE

This is to certify that

Projex Building Group Pty Ltd

Unit G09/50 Eastlake Parade, Kingston ACT 2604, Australia

conforms to the requirements of

ISO 45001:2018

Occupational health and safety management systems

The provision of project management and construction management services.

Certificate number: PBGQ01-CCWW02 **Certified date:** 28 September 2023

Original date: 7 September 2021 **Expiry date:** 7 October 2026

Terry Dold
BScBA DipEnvSc AdvDipMgt
Assurance Manager
Equal Assurance



JAS-ANZ



Equal Assurance Pty Ltd as trustee for The Equal Assurance Trust.

21/44 Kings Park Road, West Perth WA 6005, AUSTRALIA

Certificate validity and ownership as per arrangements between the client organization and Equal Assurance partner.

Certificate status can be verified via the QR code or at <https://qdos.equalassurance.com/certificates/PBGQ01>.

Equal Assurance partners are accredited by members of the International Accreditation Forum. Details at www.iaf.nu

Certificate accredited by Joint Accreditation System of Australia & New Zealand. Details at www.jas-anz.org/register.

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CERTIFICATE OF CONFIDENCE

This is to certify that

Projex Building Group Pty Ltd

Unit G09/50 Eastlake Parade, Kingston ACT 2604, Australia

conforms to the requirements of

ISO 9001:2015

Quality management systems

The provision of project management and construction management services.

Certificate number: PBGQ01-CCCQ03

Certified date: 28 September 2023

Original date: 7 December 2017

Expiry date: 7 October 2026

Terry Dold
BScBA DipEnvSc AdvDipMgt
Assurance Manager
Equal Assurance



JAS-ANZ



Equal Assurance Pty Ltd as trustee for The Equal Assurance Trust.

21/44 Kings Park Road, West Perth WA 6005, AUSTRALIA

Certificate validity and ownership as per arrangements between the client organization and Equal Assurance partner.

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Certificate accredited by Joint Accreditation System of Australia & New Zealand. Details at www.jas-anz.org/register.

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C. INSURANCES

Sch 2.2(a)(xi)

Information Security Classification **PROTECTED** Limited ABN 11 000 016 722 AFSL 227681

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Policy No: CWT0039402

Sch 2.2(a)(xi)

D. BUILDERS LICENSE



PROJEX BUILDING GROUP PTY LTD
 Po Box 5205
 Kingston ACT 2604

**Issue of licence under the
 Construction Occupations (Licensing) Act 2004**

Dear Projex Building Group Pty Ltd,

Enclosed is your Australian Capital Territory Construction Occupation Licence issued under the *Construction Occupations (Licensing) Act 2004* (COLA). Your licence number is **2007904**.

In order to maintain your licence you will need to renew before it expires. Should any of your details change you will need to advise Construction Occupations Licensing Team of those changes in writing.

For more details on the COLA you can visit www.legislation.act.gov.au or www.planning.act.gov.au/topics/hiring_licensing

Please note: It is an offence under Section 83 of COLA to advertise that you can or will provide a construction service without including in the advertisement: your name as shown on the licence, the licence number and if a corporation the ACN.

September 28, 2022

Construction Occupations Licensing Team



Contact Construction Occupations Section on 02974022

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Unit G09 50 Eastlake Parade
Kingston ACT 2604

t 02 6239 2569
e info@projexbuilding.com.au

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