



**ACT**  
Government

Chief Minister, Treasury and  
Economic Development

## Freedom of Information Publication Coversheet

The following information is provided pursuant to section 28 of the *Freedom of Information Act 2016*.

FOI Reference: CMTEDDFOI 2019-050

Information to be published	Status
1. Access application	Published
2. Decision notice	Published
3. Documents and schedule	Published
4. Additional information identified	No
5. Fees	N/A
6. Processing time (in working days)	3
7. Decision made by Ombudsman	N/A
8. Additional information identified by Ombudsman	N/A
9. Decision made by ACAT	N/A
10. Additional information identified by ACAT	N/A

**From:** [EPSDFOI](#)  
**To:** [CMTEDD FOI](#)  
**Subject:** Transfer  
**Date:** Monday, 4 March 2019 8:34:49 AM  
**Attachments:** [Request for inspection dates.msg](#)

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Good morning Team,

Please see the attached email, the applicant is requesting information likely to be held by Access Canberra Building Services (see last paragraph)

Kind Regards

**Angelina Aloisi | Freedom of Information and Records Officer**

Environment, Planning and Sustainable Development Directorate | ACT Government

Phone: 02 6207 7912 | Email: [Angelina.Aloisi@act.gov.au](mailto:Angelina.Aloisi@act.gov.au)

Level 2, Dame Pattie Menzies House South Building | GPO Box 158 Canberra ACT 2601 |

[www.environment.act.gov.au](http://www.environment.act.gov.au) | [www.planning.act.gov.au](http://www.planning.act.gov.au)

*Please consider the environment before printing this email*

*This email, and any attachments, may contain confidential information. If you are not the intended recipient please notify the sender and delete all copies of this transmission along with any attachments immediately. You should not copy or use it for any purpose, nor disclose its contents to any other person.*

**From:** [REDACTED]  
**To:** [EESDFCOI](#)  
**Subject:** Request for inspection dates  
**Date:** Friday, 1 March 2019 8:32:53 PM  
**Attachments:** [Block](#), [Section](#), [Wright Occupier.pdf](#)  
**Importance:** High

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We were renting [REDACTED] Wright ACT 2611

We have concerns that the inspections were then carried out without our knowledge or approval whilst we were living in the premises and this FOI request is to request the dates that the building inspections were carried out in order to obtain the COU as we were never asked permission for anyone to attend our premises. I would also like to know the date the COU was granted?

Many thanks




**ACT**  
Government

Chief Minister, Treasury and  
Economic Development

Our ref: CMTEDDFOI 2019-050




via email: 

Dear 

### **FREEDOM OF INFORMATION REQUEST**

I refer to your application under section 30 of the *Freedom of Information Act 2016* (the Act), received by the Chief Minister, Treasury and Economic Development Directorate (CMTEDD) on 4 March 2019.

Specifically, you are seeking in respect of  Wright ACT 2611, the dates that the building inspections were carried out in order to obtain the COU and the date the COU was granted.

### **Authority**

I am an Information Officer appointed by the Director-General under section 18 of the Act to deal with access applications made under Part 5 of the Act.

### **Timeframes**

In accordance with section 40 of the Act, CMTEDD is required to provide a decision on your access application by 2 April 2019.

### **Decision on access**

Searches were completed for relevant documents and three documents were identified that fall within the scope of your request.

I have decided to grant access in full to one document and partial access to the remaining two documents. The information redacted in the documents is information that I consider to be, on balance, contrary to the public interest to disclose under the test set out in section 17 of the Act.

I have included as **Attachment A** to this decision the schedule of relevant documents. This provides a description of each document that falls within the scope of your request and the access decision for each of those documents.

My access decision in respect of each document is detailed further in the following statement of reasons and the documents released to you are provided as **Attachment B** to this letter.

## Material considered

In reaching my access decision, I have taken the following into account:

- the Act;
- the content of the documents that fall within the scope of your request; and
- the *Information Privacy Act 2014*.

## Exemption claimed

My reasons for deciding not to grant access to components of these two documents are as follows:

### Public Interest

The Act has a presumption in favour of disclosure. As a decision maker I am required to decide where, on balance, public interest lies. As part of this process I must consider factors favouring disclosure and non-disclosure.

In *Hogan v Hinch* (2011) 243 CLR 506, [31] French CJ stated that when ‘used in a statute, the term [public interest] derives its content from “the subject matter and the scope and purpose” of the enactment in which it appears’. Section 17(1) of the Act sets out the test, to be applied to determine whether disclosure of information would be contrary to the public interest. These factors are found in subsection 17(2) and Schedule 2 of the Act.

Taking into consideration the information contained in the documents found to be within the scope of your request, I have identified that the following public interest factors are relevant to determine if release of the information contained within these documents is within the ‘public interest’.

### Factors favouring disclosure in the public interest

- (a) disclosure of the information could reasonably be expected to do any of the following:

...

- (xiii) *contribute to the administration of justice generally, including procedural fairness.*

### Factors favouring nondisclosure in the public interest

- (a) disclosure of the information could reasonably be expected to do any of the following:

...

- (ii) *prejudice the protection of an individual’s right to privacy or any other right under the Human rights Act 2004.*

Having considered the factors identified as relevant in this matter, I consider that the release of the information contained in these documents may contribute to the administration of justice generally, including procedural fairness by allowing you to have a copy of the Certificate of Occupancy and Use and other documents which may give you some context around the granting of the certificate.

However, when considering this finding against the factor favouring non-disclosure, I am satisfied that the protection of an individual's right to privacy, especially in the course of dealing with a government agency, is a significant factor as the parties involved have provided their personal information for the purposes of meeting obligations under relevant legislation which, in my opinion, outweighs the benefit which may be derived from releasing the personal information of the individual's involved in this matter. These individuals are entitled to expect that the personal information they have supplied as part of this process will be dealt with in a manner that protects their privacy.

I therefore weigh the factor for non-disclosure more highly than the factor in favour of release in this instance. As a result, I have decided that release of this information (contacts names, email addresses and mobile phone numbers) could prejudice their right to privacy under the *Human Rights Act 2004*.

Having applied the test outlined in section 17 of the Act and deciding that release of personal information contained in the documents is not in the public interest to release, I have chosen to redact this specific information in accordance with section 50(2). Noting the pro-disclosure intent of the Act, I am satisfied that redacting only the information that I believe is not in the public interest to release will ensure that the intent of the Act is met and will provide you with access to the majority of the information held by CMTEDD within the scope of your request.

### **Charges**

Pursuant to *Freedom of Information (Fees) Determination 2017 (No 2)* processing charges are not applicable for this request because the total number of pages to be released to you is below the charging threshold of 50 pages.

### **Online publishing – Disclosure Log**

Under section 28 of the Act, CMTEDD maintains an online record of access applications called a disclosure log. Your original access application, my decision and documents released to you in response to your access application will be published in the CMTEDD disclosure log three days after the date of my decision. Your personal contact details will not be published.

You may view CMTEDD disclosure log at <https://www.cmtedd.act.gov.au/functions/foi/disclosure-log>.

### **Ombudsman Review**

My decision on your access request is a reviewable decision as identified in Schedule 3 of the Act. You have the right to seek an Ombudsman review of this outcome under section 73 of the Act within 20 working days from the day that my decision is published in the CMTEDD disclosure log, or a longer period allowed by the Ombudsman.

If you wish to request a review of my decision you may write to the Ombudsman at:

The ACT Ombudsman  
GPO Box 442  
CANBERRA ACT 2601  
via email: [actfoi@ombudsman.gov.au](mailto:actfoi@ombudsman.gov.au)

**ACT Civil and Administrative Tribunal (ACAT) Review**

Under section 84 of the Act, if a decision is made under section 82(1) by the Ombudsman, you may apply to the ACAT for a review of the Ombudsman decision. Further information may be obtained from the ACAT at:

ACT Civil and Administrative Tribunal  
Level 4, 1 Moore St  
GPO Box 370  
Canberra City ACT 2601  
Telephone: (02) 6207 1740  
<http://www.acat.act.gov.au/>

Should you have any queries in relation to your request please contact me by telephone on 6207 7754 or email [CMTEDDFOI@act.gov.au](mailto:CMTEDDFOI@act.gov.au).

Yours sincerely,



Sarah McBurney  
Information Officer  
Information Access Team  
Chief Minister, Treasury and Economic Development Directorate

7 March 2019



**ACT**  
Government

Chief Minister, Treasury and  
Economic Development

## FREEDOM OF INFORMATION REQUEST SCHEDULE

NAME	WHAT ARE THE PARAMETERS OF THE REQUEST	Reference NO.
[REDACTED]	<b>1 Dot Butler st:</b> <ul style="list-style-type: none"><li>the dates that the building inspections were carried out in order to obtain the Certificate of Occupancy and Use</li><li>the date the Certificate of Occupancy and Use was granted</li></ul>	CMTEDDFOI 2019-050

Ref No	Page number	Description	Date	Status	Reason for Exemption	Online Release Status
1	1	Certificate of Occupancy and Use	12-Dec-2018	Full release	N/A	Yes
2	2-22	Application for Certificate of Occupancy and Use	1-Oct-2014	Partial release	Sch 2 s2.2 (a)(ii)	Yes
3	23	Certificate of Electrical Safety	25-Jul-2013	Partial release	Sch 2 s2.2 (a)(ii)	Yes
<b>Total No of Docs</b>						
3						





# Certificate of Occupancy and Use

Certificate No.: **B20125187C1**

**Access Canberra Building Services**

ABN 16 479 763 216  
8 Darling Street Mitchell  
GPO Box 158 ACT 2601  
www.act.gov.au/accesscbr

This Certificate is issued in accordance with Section 69 (2) of the Building Act 2004.

The building work listed on this certificate has been completed substantially in accordance with the prescribed requirements and is considered fit for occupation and use.

Unit	Block	Section	Division (Suburb)	District	Jurisdiction
			WRIGHT	MOLONGLO VALLEY	Australian Capital Territory

Plans
B20125187/A
B20125187/B

## Building Works

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Const.	Unit	BCN ID	Builder
1a(l)	New	DA EXEMPT-RESIDENCE		NA		B20125187N1	MASTERTON CANBERRA PTY LTD
10a	New	DA EXEMPT-GARAGE		NA		B20125187N1	MASTERTON CANBERRA PTY LTD

## Comments

## Important Note:

1. Statutory warranties and statutory warranty insurance or a statutory warranty fidelity certificate apply in relation to some or all of the building work.
2. The issue of this certificate in respect of a building or a portion of a building does not affect the liability of a person or other entity to comply with the provisions of an ACT law, including the Building Act 2004, relating to the building or portion of the building.

**Issued by:** Anthony Morris

**Issued on:** 12/12/2018

Delegate of the ACT Construction  
Occupations Registrar.



**APPLICATION FOR  
CERTIFICATE OF OCCUPANCY AND USE**

**WARNING TO OWNERS**

It is recommended that owners seek appropriate advice to determine whether the building work and other contract requirements have been completed satisfactorily before signing this form. This form should not be signed before the completion of building work.

**PART A**

**PROJECT DETAILS**

Block/s  Section  Suburb  Unit No.

Street Address

Describe each item of building work to which this application relates: If more than 6 items please attach further details

1.	Residence
2.	Garage
3.	
4.	
5.	
6.	

Name of Certifier:

**PART B**

**OWNER/LESSEE DETAILS**

**FULL NAME OF ALL OWNERS** – All owners must be listed or application will not be processed  
Please Print - Owner 1 will be considered the contact person in relation to this application

Owner 1  Owner 2

Owner 3  Owner 4

Postal Address

Suburb  State  Postcode

Phone Number Business Hours  Mobile

EMAIL ADDRESS

**PART C**

**DECLARATION BY OWNER/S**

I am/we are: the owner(s) of the above described land

I am/we are satisfied that the building work and related requirements have been completed and hereby apply for a Certificate of Occupancy or Use in respect of the above described work to be issued and (select one option only):

- send certificate by post to the owner(s) address     held for collection from the Mitchell Customer Service Centre
- Other email to **Sch 2 2.2(a)(ii)**

**PART D**

**Sch 2 2.2(a)(ii)**

The [redacted] of building work.

1 <sup>st</sup> Owner's Signature	[redacted]	Date	<u>1/10/2014</u>
2 <sup>nd</sup> Owner's Signature	[redacted]	Date	
3 <sup>rd</sup> Owner's Signature		Date	
4 <sup>th</sup> Owner's Signature		Date	

**NOTE:** There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

Once this form has been completed you should either give it to your certifier to lodge or hand deliver to:

**Environment and Planning Directorate  
Mitchell Customer Service Centre,  
8 Darling Street  
Mitchell ACT 2911**

**Privacy Notice**  
The personal information on this form is provided to the Environment and Planning Directorate (EPD) to enable the processing of your application. The collection of personal information is authorised by the *Building Act 2004*. If all or some of the personal information is not collected EPD cannot process your application. The personal information you provide may be disclosed to Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be disclosed where authorised by law or court order, or where the Directorate reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. EPD's Information Privacy Policy contains information about how you may access or seek to correct your personal information held by EPD, and how you may complain about an alleged breach of the Territory Privacy Principles. The EPD Information Privacy Policy can be found at [www.environment@act.gov.au](http://www.environment@act.gov.au)

**Contact Details:**  
Environment and Planning Directorate  
Customer Service Centres  
GPO Box 158, Canberra City 2601  
8 Darling Street Mitchell, ACT 2911  
16 Challis Street Dickson ACT 2602  
Business Hours: 8.30am to 4.30pm weekdays (excluding Public Holidays)  
Phone: (02) 6207 1923    TTY: (02) 6207 2622  
Email: [epdcustomerservices@act.gov.au](mailto:epdcustomerservices@act.gov.au)    Website: [www.environment@act.gov.au](http://www.environment@act.gov.au)



Land and Engineering Surveyors

Proprietor: C.A.D. Surveying Services Pty. Ltd.  
ABN 22 092 136 117  
Limited in Liability under the Professional Surveyors Scheme

41 Lemongrove Road Penrith  
PO Box 259 Penrith NSW 2751

Telephone: (02) 4732 2040  
Fax: (02) 4732 1846

Email: [admin@cadconsulting.com.au](mailto:admin@cadconsulting.com.au)  
Web: [www.cadconsulting.com.au](http://www.cadconsulting.com.au)

Our Ref: 39411

17<sup>th</sup> April, 2013

Masterton Homes Pty Ltd  
PO Box 323  
LIVERPOOL BC NSW 1871

**Re: Display Home - 3000157**

Dear Sir,

Upon your instructions we have made a survey at Block [redacted] Section [redacted] as shown on Deposited Plan 10965 having a frontage of 15 metres to the eastern side of [redacted] and 28 metres to the northern side of [redacted] together with a 7.07 metres splay corner to both in the Division of Wright District of Molonglo Valley Australian Capital Territory and found erected thereon and wholly within the prescribed boundaries a brick dwelling roofed with tile and I have to make the following report.

It is my opinion the dwelling stands in relation to the boundaries as shown in the accompanying sketch.

Levels have been taken as shown on the sketch. **The supplied Building Plan did not indicate the location of a Benchmark or level origin. The Benchmark shown on the accompanying sketch has been determined by field measurement and may not be of the same origin as the levels in the Building Plan supplied.**

Restrictions, Covenants and Easements have not been investigated for the purpose of this survey.

Encroachments have not been investigated for the purpose of this survey.

The subject land is situated at the north eastern corner of the intersection of [redacted] and [redacted]. A brick and rendered dwelling adjoins to the north and the land to the east was found to be vacant.

This report is of an identification survey on the dwelling only and as such is not registered at Land and Property Information. Subsequent registered or other surveys in this area may affect boundary definition shown on the plan. Any differences so caused to the boundary definition shown on this plan are beyond the control of CAD Consulting who can accept no responsibility for such differences. This report cannot be used for any purpose other than for identification.

Yours faithfully,

**Registered Surveyor**

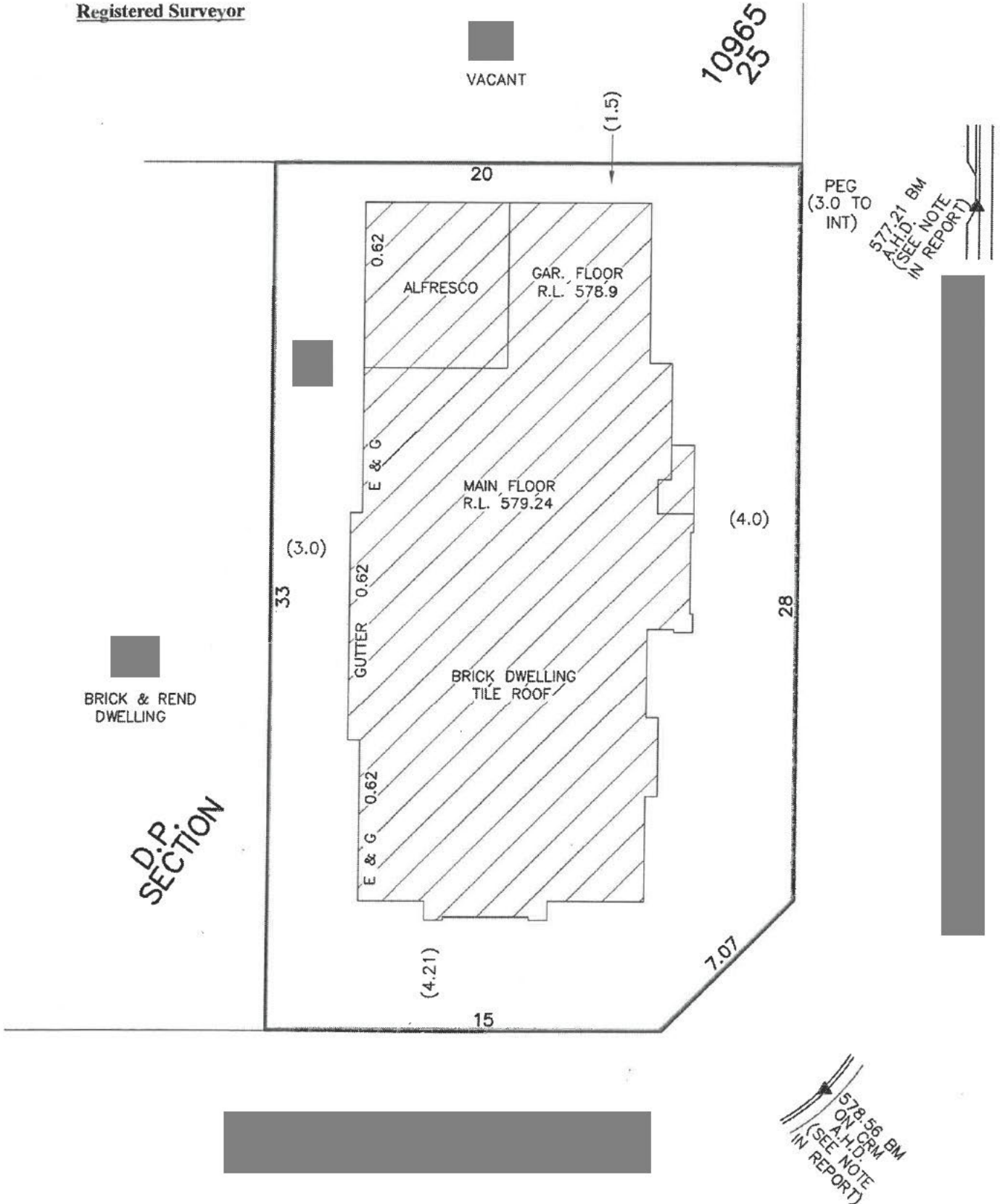
Our Ref: 39411

Masterton Homes Pty Ltd  
PO Box 323  
LIVERPOOL BC NSW 1871



This diagram is to accompany my report dated 17<sup>th</sup> April, 2013

Registered Surveyor





# Double Guarantee

## The Insulation:

It is guaranteed that:

1. PINK BATTS insulation complies with AS/NZS 4859.1
2. PINK BATTS insulation is non-combustible as per Australian Standard AS1530 Part 1.
3. PINK BATTS insulation has the following Early Fire Hazard Performance: Ignitibility 0, Spread of Flame 0, Heat Evolved 0, Smoke developed 0-1, when tested for early Fire Hazard Performance to Australian Standard AS1530 Part 3.
4. PINK BATTS insulation achieve the thermal resistance shown on the packaging when tested at their full required thickness at mean temperature 23°C, within a tolerance of  $\pm 10\%$ .
5. PINK BATTS insulation is dimensionally stable up to a maximum service temperature of 350°C.
6. PINK BATTS insulation is guaranteed to last the lifetime of your home.

## The Installation:

The installer nominated below certifies that the installation of PINK BATTS insulation is consistent with the guidelines laid down by Fletcher Insulation which incorporate Australian Standard AS3999 Part 1 and as per the guidelines laid out by the Federal Government Stimulus package.

It is further guaranteed that in the unlikely event of any damage occurring as a direct result of the installation of PINK BATTS insulation, that the damage will be rectified by the installer.

For more information contact:

[sales@insulation.com.au](mailto:sales@insulation.com.au) 1300 300 249 [www.pinkbatts.com.au](http://www.pinkbatts.com.au)

Your installer:

YPA/B401/APR107

Fletcher Insulation (NSW) Pty Ltd, 161 Arthur Street,  
Homebush, NSW 2140, Australia ABN 72 001 175 355

The colour PINK and PINK BATTS are registered trademarks of  
Owens Corning used under licence by Fletcher Insulation.  
™ Trademarks of Fletcher Insulation

A Fletcher Building Company

**PINK**  
**BATTS**

Comfort for Keeps™

# PINK<sup>TM</sup> BATTS



## *Double Guarantee*

**This is to certify that Pink Batts® have been installed at the following address and are subject to the guarantees listed overleaf.**

Address B15/S25 [REDACTED]

Date of installation 26.4.13 R-Value - Ceiling R4.0 R-Value - Walls R2.0

Installer (company name) Better Insulation

Signed Installer Sch 2 2.2(a)(ii) [REDACTED]



# South Pacific Roof Trusses

ABN:70 100 554 630

YARRAGEE RD  
MORUYA  
NSW 2537  
Ph: 44 742 566  
Fax: 44 743832

MiTek Australia Ltd - MiTek20/20 v4.82 (Build 2148) BCA 2012

## \*\*\* CERTIFICATION FOR ROOF TRUSSES \*\*\*

Date - 29 Jan 2013 14:30:36

Client - Masterton Homes - Cnr Hume H'Way & Sappho Rd , Warwick Farm NSW 2170,

Job Reference - 1155T

Site - Masterton Homes Canberra ( 3000157 ) - Block [REDACTED] Section [REDACTED] Wright ACT ( Masterton Display )

### GENERAL DEFAULTS

Design Wind Speed = 40.0m/s , N2 Wind Classification  
Roof Material : Roof tiles & battens - 60kg/m2  
Ceiling Material : 10mm Plaster/battened  
Top Chord Restraints : 660 mm  
Bottom Chord Restraints : 450 mm  
Truss Spacing : 600 mm  
External Pressure Coefficient: -0.90  
Internal Pressure Coefficient: 0.20  
Timber Description : T2 T/Pine  
Pitch: 20.50 degrees  
Overhang: 610 mm  
Application: Housing

Note: Design data for individual trusses may vary.

The trusses in this project have been designed using MiTek 20/20, a software suite developed by MiTek Australia Ltd. in accordance with the ABCB Protocol For Structural Software incorporating engineering procedures that comply with relevant requirements in BCA 2012 including AS/NZS 1170.0:2002, AS/NZS 1170.1:2002, AS/NZS 1170.2:2011, AS/NZS 1170.3:2003, AS 1720.1:2010 & AS 4055:2006 among its list of documents.

Any truss which falls outside the scope of the software's Compliance Document will be listed in the following page. These trusses should be erected, fixed, and braced in accordance with Australian Standard AS4440, specifications published by MiTek Australia Ltd., and any other requirements supplied by the truss manufacturer.

## South Pacific Roof Trusses

certifies that these trusses are manufactured under licence to and in accordance with specifications published by MiTek Australia Ltd.

Signed : \_\_\_\_\_

Name : Sch 2 2.2(a)(ii)

Position : Detailer





# South Pacific Roof Trusses

ABN:70 100 554 630

YARRAGEE RD  
MORUYA  
NSW 2537  
Ph: 44 742 566  
Fax: 44 743832

MiTek Australia Ltd - MiTek20/20 v4.82 (Build 2148) BCA 2012

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Date - 29 Jan 2013 14:30:36

Client - Masterton Homes - Cnr Hume H'Way & Sappho Rd , Warwick Farm NSW 2170,

Job Reference - 1155T

Site - Masterton Homes Canberra ( 3000157 ) - Block [REDACTED] Section [REDACTED] Wright ACT ( Masterton Display )

### List Of Trusses Beyond Scope Of Compliance Document

Although all trusses have been successfully designed in accordance with the appropriate Australian Standards listed above, some trusses may exceed additional limitations imposed by the Protocol and/or software Compliance Document. The most common reason for this limitation is usually because of the need for engineering verification or supplementary information which is not covered by standard documentation such as the installation procedures.

Any truss which exceeds the scope of the software's Compliance Document in accordance with the ABCB Protocol For Structural Software is listed below alongside the reason for this limitation.

Truss Mark	Reason for Limitation in Protocol or Compliance Document
1-J1E, 1-J1F, 4-J1B, 4-J1C, 5-J4D, 5-J5D	The truss has one or more plated joints that transfer excessive moments which affect truss stability. The truss geometry should be reviewed or have one or more web members inserted into the joint to eliminate the problem.

*Marlyn*  
**WATERPROOFING**  
*All aspects of waterproofing*

Phone:- 02 44 716 961 Mobile:- 0412 351 412

Email:- marlynwaterproofing@bigpond.com

**FLASHING CERTIFICATE:**      14/05/2013

This is to certify that wet area flashings were installed to Australian Standard/3740-2004 at the following address:-

**BUILDER:**                      MASTERTON CANBERRA PTY LIMITED

**JOB NO:**                        3000157

**CLIENT NAME:**                MASTERTON DISPLAY CANBERRA

**ADDRESS:**                      B /S -  
WRIGHT ACT 2611

**MATERIALS USED:**

Tasman resin flow Flowthane 500LM water based polyurethane waterproofing membrane. Evolution, a spunbond polypropylene matting..

**FLASHING DATE:**                09/05/2013

**Please Note:-** This certificate will be need to be produced when the property is sold as verification that waterproofing has been completed.

**PLEASE FILE WITH YOUR RECORDS.**

An administration fee of \$25.00 will be charged if a copy of this certificate is requested. We thank you for your co-operation in this matter.

Yours faithfully,

**MARLYN WATERPROOFING**

Sch 2 2.2(a)(ii)

Director

**PO Box 34  
BATEMANS BAY NSW 2536  
ABN 98 002 637 970  
D.F.T. No. 42808C**



**ENVIROPEST**

- Your trusted name in pest control -

- |  |  |   |
|--|--|---|
| <input type="checkbox"/> SYDNEY - (02) 9709 2011     | <input type="checkbox"/> KARiong - (02) 4340 1270          | <input type="checkbox"/> COFFS HARBOUR - (02) 6651 5533 |
| <input type="checkbox"/> MELBOURNE - (03) 9312 5378  | <input type="checkbox"/> WYONG - (02) 4351 6944            | <input type="checkbox"/> LISMORE - (02) 6624 1519       |
| <input type="checkbox"/> CANBERRA - (02) 6239 2457   | <input type="checkbox"/> NEWCASTLE/HUNTER - (02) 4964 4567 | <input type="checkbox"/> MOLENDINAR - (07) 5564 5441    |
| <input type="checkbox"/> WOLLONGONG - (02) 4272 8385 | <input type="checkbox"/> PORT STEPHENS - (02) 4919 0311    | <input type="checkbox"/> BRISBANE - (07) 3290 1011      |
| <input type="checkbox"/> PRESTONS - (02) 9608 6625   | <input type="checkbox"/> PORT MACQUARIE - (02) 6581 3220   | <input type="checkbox"/> MAROOCHYDORE - (07) 5409 0660  |

## GRANITGARD CERTIFICATE OF INSTALLATION

**Builder:** MASTERTON CANBERRA PTY LIMITED  
PO BOX 4177 KINGSTON 2604

**Date:** 08/03/2013

**Site Address:** [REDACTED] WRIGHT 2611

**Builder Order No:** 3000157/021

**Owner:** TERMGUARD (SYDNEY) PTY LTD  
PO BOX 230 LIDCOMBE 2141

**Our Ref No:** GG300004626

**CERTIFICATION** This document certifies that ENVIROPEST has installed the Granitgard system in accordance with Australian Standards AS 3660.1 - 2000

See Attached Drawing/s

### Legend

#### Reticulation System

Injection Boxes: [X]

Drilled Pipe: ———

End Cap: □

Penetrations: ⊗

#### Physical Barrier

Start / Finish: X

Area Protected: / / / /

Undrilled Pipe: - - - - -

Piers: □

**Granitgard™**  
NON TOXIC TERMITE BARRIER

**50 Year\***

**WARRANTY**

\*Subject to Annual Termite Inspections.  
By a current Granitgard Licence

### Treatment Specifications

Installed By: Sch 2 2.2(a)(ii)

Product(s): GRANITGARD

#### Active Constituent:

Volume:

#### Total of Emulsion:

Length: 77.0 lmt

Area:

Units:

### Additional Notes:

Landscaping Not Done, Please contact us prior to starting landscaping additional treatment may be required.

**Call Enviropest For All Your Pest Control Needs**

targets termites - safeguards you  
**termguard (SYDNEY) PTY LTD**  
 reticulation system

Unit 11, 12-18 Victoria East St Lidcombe NSW 2141

# INSTALLATION SHEET

Builder: MASTERTON HOMES Date: 8.3.13 PER

Site Address: [REDACTED]

Installer: Sch 2 2.2(a)(ii) Lic No.: [REDACTED] Job Sheet No.: 090466

SIGNED: [REDACTED] Ref No.: [REDACTED]

### Environmental Information

**External**  
 Chemical Name .....  
 Vol of Concentration .....  
 Vol of Emulsion .....  
 Equipment:  
 Hand held spray   
 Truck mounted spray   
 Other .....

**Cavity**  
 Chemical Name .....  
 Vol of Concentration .....  
 Vol of Emulsion .....  
 Equipment:  
 Hand held spray   
 Truck mounted spray   
 Other .....

Wind Speed ..... Wind Direction .....

Time Start ..... Time Finish .....

**Construction Type**  
 In-fill slab       Slab on ground  
 B/J Timber floor       Suspended Floor

**Area Protected**  
 Under Slab M2 ..... Perimeter L/m 77  
 Subfloor M2 ..... Penetrations Qty .....  
 Cure M2 ..... C/Joing L/m .....  
 Other .....

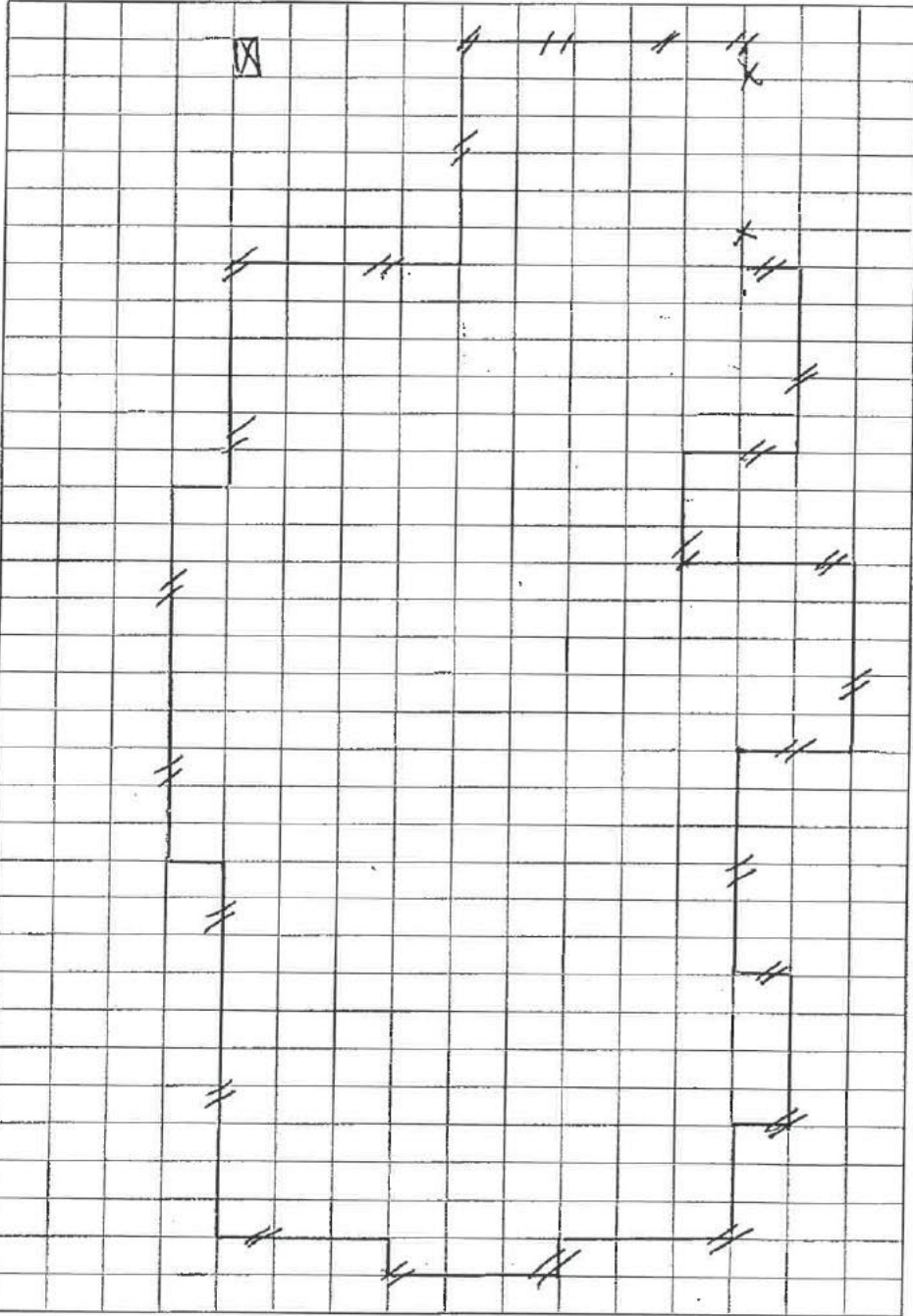
**Method of Protection**  
 Physical Barrier       Chemical Barrier  
 Type GRANZTGARD

**Legend**  
**Reticulation Legend**  
 Path trap       Drilled pipe \_\_\_\_\_  
 Undrilled pipe - - - - -      End cap \_\_\_\_\_

**Physical Barrier Legend**  
 Penetration ⊗      Start / Finish ✕  
 Granitgard //      Trithor / Homeguard #

**Chemical Barrier**  
 Area Protected /

### JOB PLAN



targets termites - safeguards you  
**termguard (SYDNEY) PTY LTD**  
reticulation system

Unit 11, 12-18 Victoria East St Lidcombe NSW 2141

# INSTALLATION SHEET

45117

2074

Builder: MASTERTON HOMES

Date: 11.2.13 PENS  
13.2.13 C/LE

Site Address: LOT [REDACTED]  
WRIGHT ACT

Job Sheet No.: 090457

Installer: Sch 2 2.2(a)(ii) Lic No.: \_\_\_\_\_

SIGNED: \_\_\_\_\_ Ref No.: \_\_\_\_\_

**Environmental Information**

**External**  
 Chemical Name .....  
 Vol of Concentration .....  
 Vol of Emulsion .....  
 Equipment:  
 Hand held spray   
 Truck mounted spray   
 Other .....

**Cavity**  
 Chemical Name .....  
 Vol of Concentration .....  
 Vol of Emulsion .....  
 Equipment:  
 Hand held spray   
 Truck mounted spray   
 Other .....

Wind Speed ..... Wind Direction .....

Time Start ..... Time Finish .....

**Construction Type**

In-fill slab  Slab on ground  
 B/J Timber floor  Suspended Floor

**Area Protected**

Under Slab M2 ..... Perimeter L/m .....

Subfloor M2 ..... Penetrations Qty 23

Cure M2 313.8 C/Joing L/m .....

Other .....

**Method of Protection**

Physical Barrier  Chemical Barrier

Type: Calms/Lure

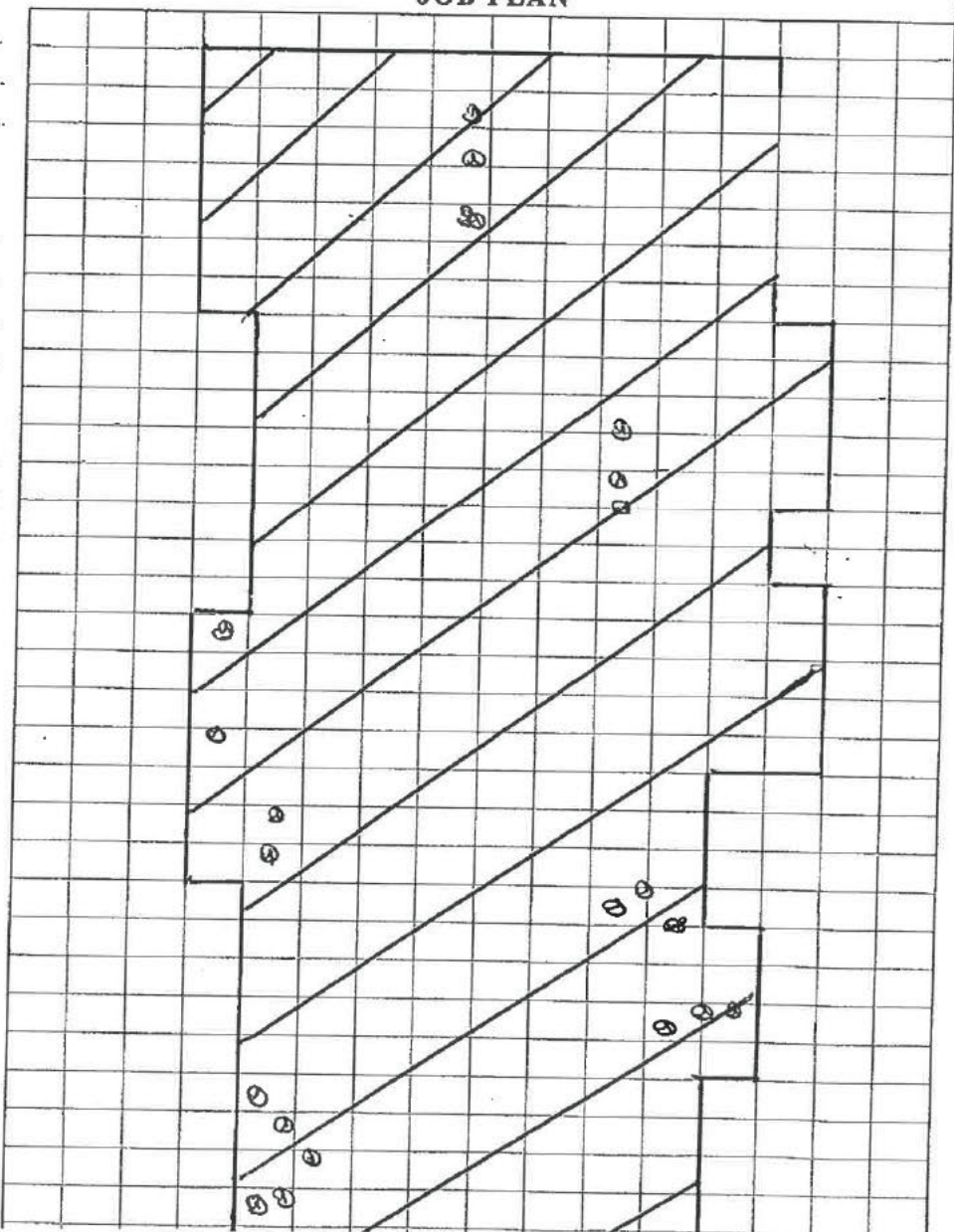
**Legend**

Reticulation Legend  
 Path trap  Drilled pipe \_\_\_\_\_  
 Undrilled pipe - - - - End cap \_\_\_\_\_

**Physical Barrier Legend**

Penetration ⊗ Start / Finish ✕  
 Granitgard // Trithor / Homeguard #

**JOB PLAN**





**ENVIROPEST**

Your trusted name in pest control

- |  |  |   |
|--|--|---|
| <input type="checkbox"/> SYDNEY - (02) 9709 2011     | <input type="checkbox"/> KARIONG - (02) 4340 1270          | <input type="checkbox"/> COFFS HARBOUR - (02) 6651 5533 |
| <input type="checkbox"/> MELBOURNE - (03) 9312 5378  | <input type="checkbox"/> WYONG - (02) 4351 6944            | <input type="checkbox"/> LISMORE - (02) 6624 1519       |
| <input type="checkbox"/> CANBERRA - (02) 6239 2457   | <input type="checkbox"/> NEWCASTLE/HUNTER - (02) 4964 4567 | <input type="checkbox"/> MOLENDINAR - (07) 5564 5441    |
| <input type="checkbox"/> WOLLONGONG - (02) 4272 8385 | <input type="checkbox"/> PORT STEPHENS - (02) 4919 0311    | <input type="checkbox"/> BRISBANE - (07) 3290 1011      |
| <input type="checkbox"/> PRESTONS - (02) 9608 6625   | <input type="checkbox"/> PORT MACQUARIE - (02) 6581 3220   | <input type="checkbox"/> MAROOCHYDRE - (07) 5409 0600   |

## CONCRETE SLAB CURING CERTIFICATE OF INSTALLATION

**Builder:** MASTERTON CANBERRA PTY LIMITED  
PO BOX 4177 KINGSTON 2604

**Date:** 13/02/2013

**Site Address:** [REDACTED] WRIGHT 2611

**Builder Order No:** 3000157/021

**Owner:** TERMGUARD (SYDNEY) PTY LTD  
PO BOX 230 LIDCOMBE 2141

**Our Ref No:** CC300004458

**CERTIFICATION** This document certifies that ENVIROPEST has installed the Concrete Slab Curing system in accordance with Australian Standards AS 3660.1 - 2000

See Attached Drawing/s

### Legend

#### Reticulation System

Injection Boxes: [X]

Drilled Pipe: ———

End Cap: □

Penetrations: ⊗

#### Physical Barrier

Start / Finish: X

Area Protected: // //

Undrilled Pipe: - - - - -

Piers: □



### Treatment Specifications

Installed By: Sch 2 2.2(a)(ii)

Product(s): PVA J51.016

#### Active Constituent:

Volume: 0.0 ltr

#### Total of Emulsion:

Length:

Area: 313.8 sqm

Units:

### Additional Notes:

Landscaping Not Done, Please contact us prior to starting landscaping additional treatment may be required.

Call Enviropest For All Your Pest Control Needs



- |  |  |   |
|--|--|---|
| <input type="checkbox"/> SYDNEY - (02) 9709 2011     | <input type="checkbox"/> KARLONG - (02) 4340 1270          | <input type="checkbox"/> COFFS HARBOUR - (02) 6651 5533 |
| <input type="checkbox"/> MELBOURNE - (03) 9312 5378  | <input type="checkbox"/> WYONG - (02) 4351 6944            | <input type="checkbox"/> LISMORE - (02) 6624 1519       |
| <input type="checkbox"/> CANBERRA - (02) 6239 2457   | <input type="checkbox"/> NEWCASTLE/HUNTER - (02) 4964 4567 | <input type="checkbox"/> MOLENDINAR - (07) 5564 5441    |
| <input type="checkbox"/> WOLLONGONG - (02) 4272 8385 | <input type="checkbox"/> PORT STEPHENS - (02) 4919 0311    | <input type="checkbox"/> BRISBANE - (07) 3290 1011      |
| <input type="checkbox"/> PRESTONS - (02) 9608 6625   | <input type="checkbox"/> PORT MACQUARIE - (02) 6581 3220   | <input type="checkbox"/> MAROCHYDORE - (07) 5409 0600   |

## SLAB PENETRATION CERTIFICATE OF INSTALLATION

**Builder:** MASTERTON CANBERRA PTY LIMITED  
PO BOX 4177 KINGSTON 2604

**Date:** 11/02/2013

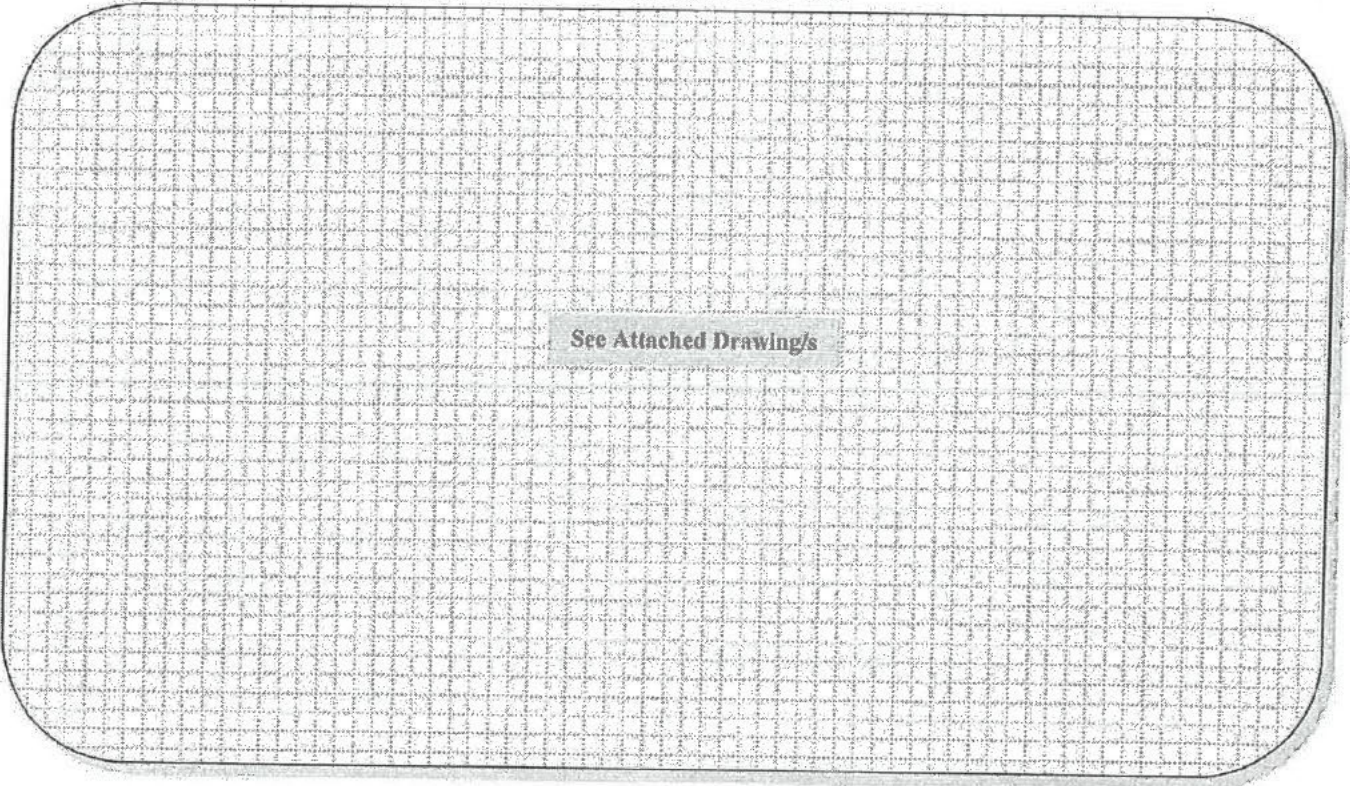
**Site Address:** [REDACTED] WRIGHT 2611

**Builder Order No:**

**Owner:** TERMGUARD (SYDNEY) PTY LTD  
PO BOX 230 LIDCOMBE 2141

**Our Ref No:** SP300004398

**CERTIFICATION** This document certifies that ENVIROPEST has installed the Penetrations in accordance with Australian Standards AS 3660.1 - 2000



**Legend**

**Reticulation System**

Injection Boxes: [X]

Drilled Pipe: \_\_\_\_\_

End Cap: □

Penetrations: ⊗

**Physical Barrier**

Start/ Finish: X

Area Protected: ||||

Undrilled Pipe: - - - - -

Piers: □



**Treatment Specifications**

Installed By: **Sch 2 2.2(a)(ii)**

Product(s): TERMI-COLLAR

**Active Constituent:**

Volume: 0.0 ltr

**Total of Emulsion:**

Length:

Area:

Units: 23.0

**Additional Notes:**

Landscaping Not Done, Please contact us prior to starting landscaping additional treatment may be required.

**Call Enviropest For All Your Pest Control Needs**



BORAL WINDOW SYSTEMS LTD ABN 78 004 069 523  
16 Barbar St  
Queanbeyan NSW 2620  
Telephone (02) 6297 1711  
Facsimile (02) 62971112

**GLAZING CERTIFICATE**

17/07/2013

MASTERTON CANBERRA P/L  
PO BOX 323  
LIVERPOOL  
NSW

Dear Customer,

RE: [REDACTED] WRIGHT  
ZONE 4

Sales Order No: 06527 Customer Order No:3000157/106 Rep No:460

We Confirm that the Dowell Aluminium Windows and doors supplied to the above project were manufactured to conform with the requirements of a**N2** rating and a**BAL-LOW** as specified by the client; glazed and assembled in accordance with the requirements of the following Australian Standards:

AS2047-1999 Windows in Buildings

AS1288-2006 Glass in buildings

AS4055-2006 Wind Loads for Housing.

AS3959-2009 Construction of Buildings in Bushfire Prone Areas

The responsibility for installing windows in the correct manner and position within the structure lies with the purchaser. Further, if the windows have been supplied to comply with a window schedule and not from a take off from a plan, Boral Window Systems Ltd will not accept responsibility for the accuracy of the 'Human Impact' requirements encompassed in AS1288.

Windows have been supplied to meet the requirements of AS3959-2009. In cases where Boral Windows Systems Ltd have not supplied screens, it is the builder's responsibility to ensure that screens have been supplied and certified to comply with the requirements of AS3959-2009.

Restrictor devices or screens have been supplied to comply with the requirements of BCA 2013 Volume 2 Part 3.9 for Fall Prevention, as specified by the client. Boral Windows Systems Ltd will not accept responsibility for devices removed after supply.

Yours Faithfully

Sch 2 2.2(a)(ii)

Branch Manager

Creditor Officer



3000157



ABN 27 110 342 482  
Unit 1, 25-35  
Buckland Street  
MITCHELL ACT 2911  
PO Box 76  
MITCHELL ACT 2911  
Telephone 02 6253  
9911  
Fax 02 6253 9922

# Notification and Compliance Statement

Building Act 2004

**Site details** [REDACTED]

Suburb: *Wright*      Section: [REDACTED]      Block: [REDACTED]

**Inspection Stage (tick the appropriate box)**

<input type="checkbox"/> Footings.	<input type="checkbox"/> Floor framing.
<input type="checkbox"/> Piers / pads.	<input type="checkbox"/> Pre-sheet.
<input type="checkbox"/> Slab.	<input checked="" type="checkbox"/> Final.

**Notification**

I, the licensee, hereby notify that the inspection stage described above will be ready for inspection on *21/11/2013* between *10:30-4:00* if possible.

Today's Date *20/11/2013*

**Compliance**

I, the licensee, hereby advise that the work done for the stage was carried out in accordance with the approved plans.

This form may be provided via email ([REDACTED]@cbscanberra.com.au) or a hardcopy completed at the CBS office or fax 6253 9922.

# CERTIFIED BUILDING SOLUTIONS

INSPECTION REPORT

PO Box 76  
Mitchell ACT 2911

TELEPHONE (02) 6253 9911  
Fax (02) 6253 9922

Suburb <i>Wright</i>	Section	Block	Unit
Builder <i>Maskeston</i>	Inspection Stage <i>FINAL</i>		

An inspection of the building work has been carried out:

As a result of that inspection I hereby certify that the building work complies with section 42 of the Building Act **2004**.

As a result of that inspection I have formed the opinion that the building work is not in compliance with section 42 of the Building Act **2004**. Please re-book this inspection stage when rectified.

~~The following matters require your attention:~~

Work may proceed to the next stage.

Work completed and the registrar would be justified in issuing a Certificate of Occupancy under section *69(2)*

*J. Mihajević*  
.....  
Certified by

Sch 2 2.2(a)(ii)

.....  
Signature

*21/11/13*

# CERTIFIED BUILDING SOLUTIONS

## INSPECTION REPORT

PO Box 76  
Mitchell ACT 2911

TELEPHONE (02) 6253 9911  
Fax (02) 6253 9922

Suburb <i>WRIGHT</i>	Section [REDACTED]	Block [REDACTED]	Unit
Builder <i>MASTERTON</i>		Inspection Stage <i>p/s</i>	

An inspection of the building work has been carried out:

As a result of that inspection I hereby certify that the building work complies with section 42 of the Building Act **2004**.

As a result of that inspection I have formed the opinion that the building work is not in compliance with section 42 of the Building Act **2004**. Please re-book this inspection stage when rectified.

**The following matters require your attention:**

*① Provide amended plan showing revised FFLS*

*Note*

- Treated frames & trusses*
- Soaking to roof.*

Work may proceed to the next stage.

Work completed and the registrar would be justified in issuing a Certificate of Occupancy under section.....

*Daniel Delehan*  
Certified by

Sch 2 2.2(a) [REDACTED]

Signature

*26/4/13*



# CERTIFIED BUILDING SOLUTIONS

INSPECTION REPORT

PO Box 76  
Mitchell ACT 2911

TELEPHONE (02) 6253 9911  
Fax (02) 6253 9922

Suburb <i>WRIGHT</i>	Section	Block	Unit
Builder <i>MASTERTON</i>	Inspection Stage <i>SCAD</i>		

An inspection of the building work has been carried out:

As a result of that inspection I hereby certify that the building work complies with section 42 of the Building Act **2004**.

As a result of that inspection I have formed the opinion that the building work is not in compliance with section 42 of the Building Act **2004**. Please re-book this inspection stage when rectified.

**The following matters require your attention:**

Work may proceed to the next stage.

Work completed and the registrar would be justified in issuing a Certificate of Occupancy under section.....

*C. SOUTHWELL*  
Certified by

**Sch 2 2.2(a)(ii)**

Signature

*8/2/17*



Unit 1, 25-35  
Buckland Street  
MITCHELL ACT 2911  
PO Box 76  
MITCHELL ACT 2911  
Telephone 02 6253 9911  
Fax 02 6253 9922

**Certifiers Declaration – No certificate under Section 47 required  
Regarding Application for COU (Attached project)**

The building or part of the building as erected or altered is structurally sufficient, sound and stable for the purpose for which it is intended to be occupied or used and no certificate under Section 47 is required.

Principal Building Surveyor  
Certified Building Solutions Pty Ltd  
COLA Lic No. 200426203



32.A

New
CERTIFICATE OF ELECTRICAL SAFETY
Electricity Safety Act 1971 Section 6
Phone: (02) 6207 7775 Fax: (02) 6205 4510



Part 1: Installation owner details

Name of installation owner MASTERTON HOMES Phone
Building ID Floor / Level Unit / Shop No.
Street Address Postcode 2611
Suburb WRIGHT Section Block
Is a certificate of occupancy required? [X] No. [ ] Yes. If Yes, building project number must be supplied:

Part 2: Category [X] Residential [ ] Commercial
Please tick one box

Part 3: Type of Work [X] New [ ] Temporary Supply [ ] Repair
[ ] Permanent/Temporary Supply
Please tick one box

Part 4: Installation [X] Normal [ ] Street lights [ ] External lighting [ ] Hazardous location [ ] Swimming pool
[ ] UPS [ ] Traffic lights [ ] Soft wiring [ ] Schools and child care [ ] Spa or hot tub
[ ] Standaone [ ] Public lights [ ] Solar PV [ ] Medical and health care [ ] Safety services
Tick as applicable

Part 5: Work Load Details

Table with 6 columns: Item, QTY, Load KW, Item, QTY, Load KW. Includes rows for Lights, Ceiling fans, 10A single socket-outlets, etc.

Consumer mains mm² Main switchboard Distribution board
Main earth location Equipotential earth bond locations
Other load details (if insufficient space please attach list)

Part 6: Certification

WORK TESTED BY
Unrestricted electrician CHRIS WILSON
COLA licence No. 2013705 Date tested 25-7-13
Signature

INSTALLED BY
(Details of the electrical contractor or unrestricted electrician who installed the electrical installation covered by this CES)
Name CHRIS WILSON
COLA licence No. 2013705
Telephone No. Sch 2 2.2(a)(ii)

To: Construction Occupations Registrar. I hereby notify that the electrical wiring work described in this report has been tested in accordance with AS/NZS 3017 by the following persons and complies with AS/NZS 3000 Wiring Rules (The tester must sign this certification).

OFFICE USE ONLY
E 201313539 INSPH
Defect report / Seal ID No [ ] Reinspection fee required
Inspector remarks:
[ ] Passed Signature Date / /