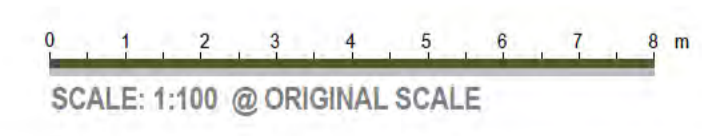


Sch 2.2(a)(xi)



Amendment Register:		
Current Rev	Revision Description	Date
K	SOFTFALL SETOUT	9/11/17



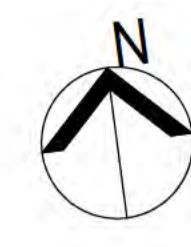
Sch 2.2(a)(xi)

Client: BRINDABELLA CHRISTIAN COLLEGE
Project Title: PROPOSED JUNIOR SCHOOL BUILDING
All dimensions in millimetres. Do not scale drawing. All dimensions and levels to be verified on site by contractor before commencing work or preparation of shop drawings. Where provided, drawings must be read in conjunction with schedule of work or specification.

Project Status: FOR CONSTRUCTION
Project Address: 136 BRIGALOW STREET, LYNEHAM ACT 2602
Block: 4 Section: 41 Divison: LYNEHAM

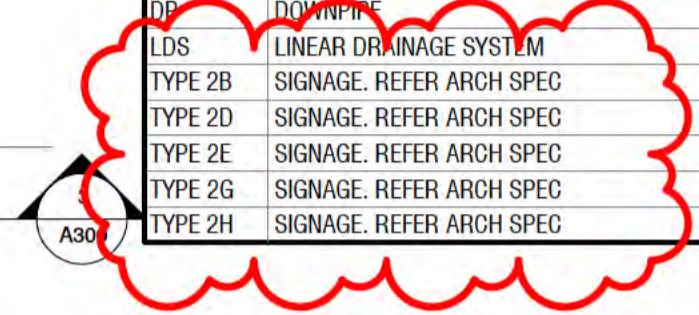
Drawing Title: GRID & SETOUT PLAN			
Project Number: 1506.06	Design Architect: NG	Project Architect: SDV	Design Verifier: RS
Scale: 1 : 100@A1 \\ Half Scale @A3		Drawn: SDV	
QA Ref: 1506.06	Sheet No: A120	Amendment: K	

Sch 2.2(a)(xi)



LEGEND- PROPOSED- FLOOR PLAN	
ABC	ANNOTATION ABBREVIATION. REFER KEYNOTES FOR DESCRIPTION
WALL TAG	WALL TAG & COMMENT BELOW. REFER WALL TYPES DETAILS SHEET
W7	WINDOW NO/TYPE. REFER A700 TYPE DESCRIPTION & A710 FOR WINDOW SCHEDULE
D7	DOOR TAG/TYPE. REFER A700 FOR TYPE DESCRIPTION & A710 FOR DOOR SCHEDULE. BELOW TAG IS THE LOCK TYPE AS PER DOOR SCHEDULE
ROOM NAME ROOM TAG, NUMBER	
MATERIAL KEYNOTE	MATERIAL KEYNOTE. REFER KEYNOTES LEGEND FOR DESCRIPTION
NOTES	
GENERAL	
<ul style="list-style-type: none"> REFER A550 SERIES FOR JOINERY ELEVATIONS & DETAILS REFER A250 SERIES FOR WET AREA ELEVATIONS & DETAILS REFER A700 SERIES FOR WINDOW & DOORS TYPES & SCHEDULES REFER FINISHES PLAN FOR WALL & DOOR SIGNAGE LOCATIONS 	

KEYNOTES LEGEND	
KEYNOTE	DESCRIPTION
DP	DOWNSPIRE
LDS	LINEAR DRAINAGE SYSTEM
TYPE 2B	SIGNAGE. REFER ARCH SPEC
TYPE 2D	SIGNAGE. REFER ARCH SPEC
TYPE 2E	SIGNAGE. REFER ARCH SPEC
TYPE 2G	SIGNAGE. REFER ARCH SPEC
TYPE 2H	SIGNAGE. REFER ARCH SPEC



1
A251

A30

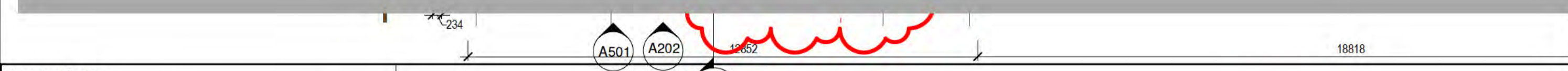
2
A300

2
A200

12
A251

1
A300

Sch 2.2(a)(ii)



Sch 2.2(a)(xi)

Amendment Register:		
Current Rev	Revision Description	Date
P	TOILET CUBICLE SIGNAGE & PLANT ENCLOSURE REVISION	20/12/17



Client: BRINDABELLA CHRISTIAN COLLEGE
Project Title: PROPOSED JUNIOR SCHOOL BUILDING
All dimensions in millimetres. Do not scale drawing. All dimensions and levels to be verified on site by contractor before commencing work or preparation of shop drawings. Where provided, drawings must be read in conjunction with schedule of work or specification.

Project Status: FOR CONSTRUCTION
Project Address: 136 BRIGALOW STREET, LYNEHAM ACT 2602
Block: 4 Section: 41 Division: LYNEHAM

Drawing Title: GENERAL FLOOR PLAN - L0			
Project Number: 1506.06	Design Architect: NG	Project Architect: SDV	Design Verifier: RS
Scale: 1 : 100@A1 \\ Half Scale @A3	Drawn: SDV	Amendment: P	
QA Ref: 1506.06	Sheet No: A123	© Copyright	

Sch 2.2(a)(xi)

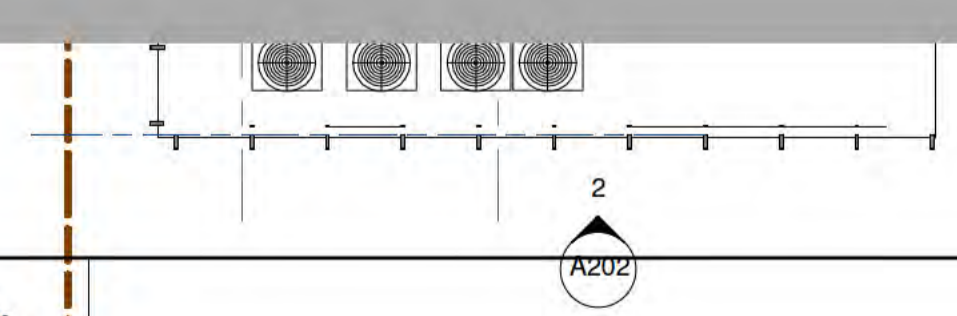


LEGEND- PROPOSED- FLOOR PLAN	
ABC	ANNOTATION ABBREVIATION. REFER KEYNOTES FOR DESCRIPTION
	WALL TAG & COMMENT BELOW. REFER WALL TYPES DETAILS SHEET
	WINDOW NO/TYPE. REFER A700 TYPE DESCRIPTION & A710 FOR WINDOW SCHEDULE
	DOOR TAG/TYPE. REFER A700 FOR TYPE DESCRIPTION & A710 FOR DOOR SCHEDULE. BELOW TAG IS THE LOCK TYPE AS PER DOOR SCHEDULE
ROOM NAME ROOM TAG, NUMBER 150 SF	
	MATERIAL KEYNOTE. REFER KEYNOTES LEGEND FOR DESCRIPTION
NOTES	
GENERAL	
<ul style="list-style-type: none"> REFER A550 SERIES FOR JOINERY ELEVATIONS & DETAILS REFER A250 SERIES FOR WET AREA ELEVATIONS & DETAILS REFER A700 SERIES FOR WINDOW & DOORS TYPES & SCHEDULES REFER FINISHES PLAN FOR WALL & DOOR SIGNAGE LOCATIONS 	

KEYNOTES LEGEND	
KEYNOTE	DESCRIPTION
COL	POWDERCOATED STRUCTURAL COLUMN - POWDERCOAT FINISH 'WOODLAND GREY' TO MATCH EXISTING
DP	DOWNPIPE
DR	INTERNAL DRAINAGE SYSTEM
TYPE 2C	SIGNAGE. REFER ARCH SPEC
TYPE 2D	SIGNAGE. REFER ARCH SPEC
TYPE 2E	SIGNAGE. REFER ARCH SPEC
TYPE 2F	SIGNAGE. REFER ARCH SPEC
TYPE 2G	SIGNAGE. REFER ARCH SPEC
TYPE 2H	SIGNAGE. REFER ARCH SPEC



Sch 2.2(a)(ii)

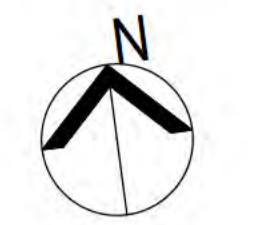
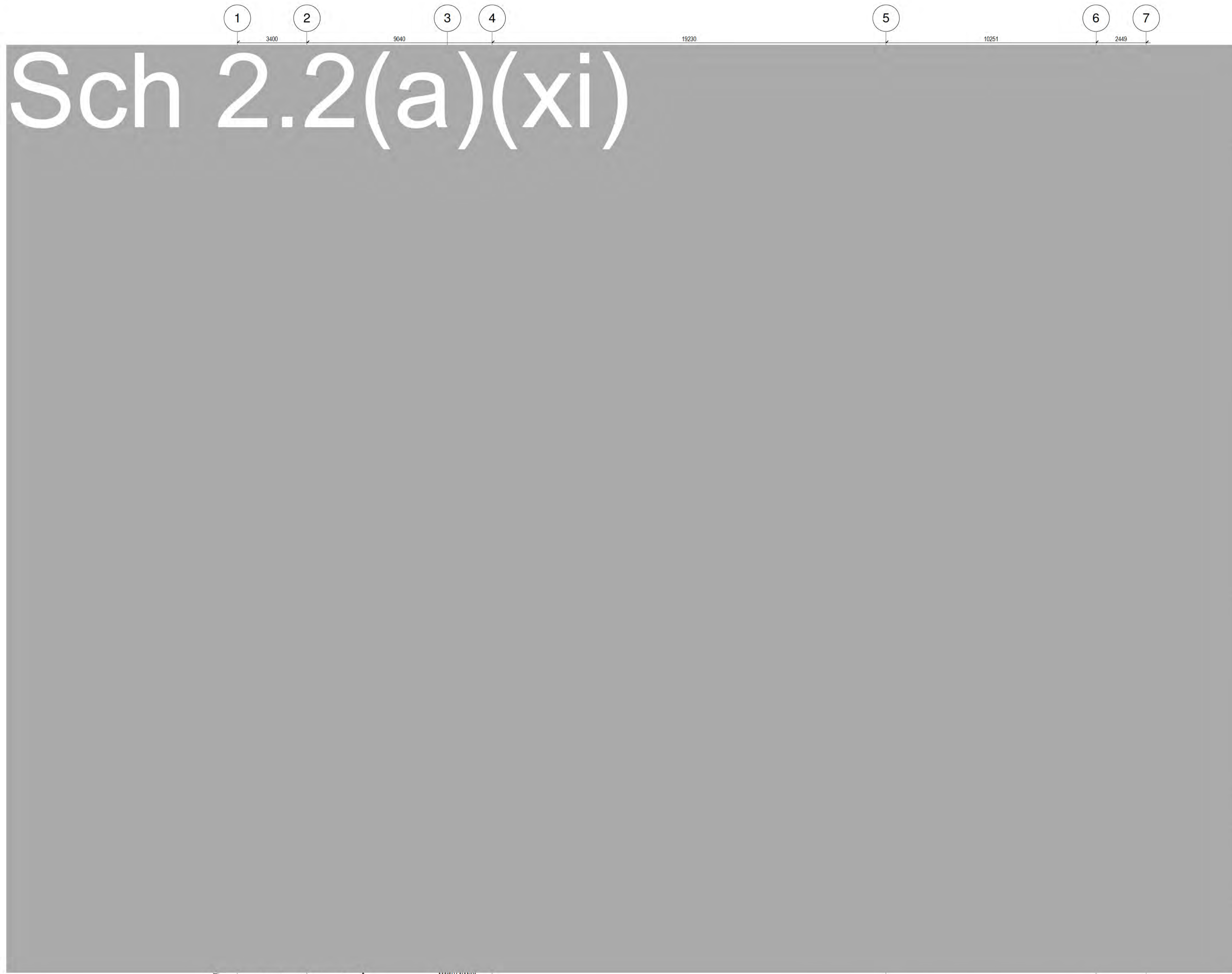


Amendment Register:		
Current Rev	Revision Description	Date
M	TOILET CUBICLE SIGNAGE & PLANT ENCLOSURE REVISION	2012/11

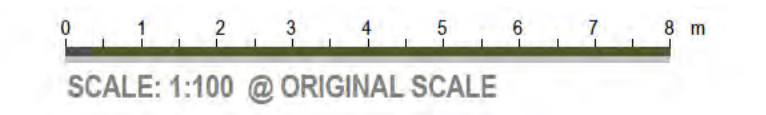


Sch 2.2(a)(xi)

Client: BRINDABELLA CHRISTIAN COLLEGE	Project Status: FOR CONSTRUCTION	Drawing Title: GENERAL FLOOR PLAN - L1	
Project Title: PROPOSED JUNIOR SCHOOL BUILDING	Project Address: 136 BRIGALOW STREET, LYNEHAM ACT 2602	Project Number: 1506.06	Design Architect: NG
All dimensions in millimetres. Do not scale drawing. All dimensions and levels to be verified on site by contractor before commencing work or preparation of shop drawings. Where provided, drawings must be read in conjunction with schedule of work or specification.	Block: 4	Project Architect: SDV	Design Verifier: RS
	Section: 41	Scale: 1 : 100@A1 \\ Half Scale @A3	Drawn: SDV
	Division: LYNEHAM	QA Ref: 1506.06	Sheet No: A124



- EXTERNAL WALL TYPES**
SPECIFIED FROM OUTSIDE TO INSIDE
- WT01 - CURTAIN WALL**
 - ALUMINIUM FRAMING SECTIONS EQUAL TO CAPRAL 600 NARROWLINE
 - DOUBLE GLAZING AND DOUBLE GLAZED SPANDREL PANELS
 - WT02 - BRICK VENEER WALL**
 - BRICK
 - BREATHER MEMBRANE
 - A/R CAVITY
 - VAPOR BARRIER
 - METAL STUD FRAME WITH INSULATION
 - PLASTERBOARD LINING
 - WT03 - LIGHT WEIGHT STONE CLAD**
 - STONE CLADDING
 - BREATHER MEMBRANE
 - SUBFRAME/A/R CAVITY
 - VAPOR BARRIER
 - METAL STUD FRAME WITH INSULATION
 - PLASTERBOARD LINING
 - WT04 - LIGHT WEIGHT METAL CLAD**
 - ALUMINIUM GLAZING
 - BREATHER MEMBRANE
 - SUBFRAME/A/R CAVITY
 - VAPOR BARRIER
 - METAL STUD FRAME WITH INSULATION
 - PLASTERBOARD LINING
 - WT05 - STONE BLADE WALL**
 - STONE CLADDING
 - CONCRETE BLOCK
 - INSULATION WHERE NEEDED
 - WT06 - BRICK VENEER WALL (EXTRA WIDE)**
 - BRICK
 - BREATHER MEMBRANE
 - A/R CAVITY
 - VAPOR BARRIER
 - METAL STUD FRAME WITH INSULATION
 - PLASTERBOARD LINING
- INTERNAL WALL TYPES**
SPECIFIED FROM OUTSIDE TO INSIDE
- WT11 - CURTAIN WALL**
 - ALUMINIUM FRAMING SECTIONS
 - LAMINATE SAFETY GLAZING
 - WT12 - INTERIOR PARTITION**
 - METAL STUD FRAME
 - PLASTERBOARD LINING TO BOTH SIDES
 - REFER SPECIFICATION FOR DETAILS
 - WT13 - EXTRA WIDE INTERIOR PARTITION**
 - METAL STUD FRAME
 - PLASTERBOARD LINING TO BOTH SIDES
 - REFER SPECIFICATION FOR DETAILS
 - CAVITY GLIDER AS PER ARCHITECTURAL
 - WT14 - INTERIOR PARTITION ONE SIDE PB**
 - METAL STUD FRAME
 - PLASTERBOARD LINING TO ONE SIDE
 - REFER DRAWING FOR DETAILS
 - WT15 - TOILET PARTITION**
 - PROPRIETARY TOILET PARTITIONING SYSTEM. REFER SPECIFICATION FOR DETAILS
 - WT16 - BLOCKWORK**
 - 190 BLOCKWORK
 - WT23 - INTERIOR PARTITION WALL**
 - 13mm PLASTERBOARD LINING TO DRY SIDE
 - 2 STAGGERED ROWS 60mm METAL STUD
 - NOMINATED FINISH ON FCLINING
 - WT24 - INTERIOR PARTITION WALL**
 - 13mm PLASTERBOARD LINING TO DRY SIDE
 - 20mm METAL STUD
 - NOMINATED FINISH ON FCLINING



Amendment Register	Current Rev	Revision Description	Date
L	DOOR SCHEDULE & PARTITION SETOUT UPDATE	31/08/17	



Sch 2.2(a)(xi)

Client:
BRINDABELLA CHRISTIAN COLLEGE

Project Title:
PROPOSED JUNIOR SCHOOL BUILDING

All dimensions in millimetres. Do not scale drawing. All dimensions and levels to be verified on site by contractor before commencing work or preparation of shop drawings. Where provided, drawings must be read in conjunction with schedule of work or specification.

Project Status:
FOR CONSTRUCTION

Project Address:
136 BRIGALOW STREET, LYNEHAM ACT 2602

Block: 4 Section: 41 Divison: LYNEHAM

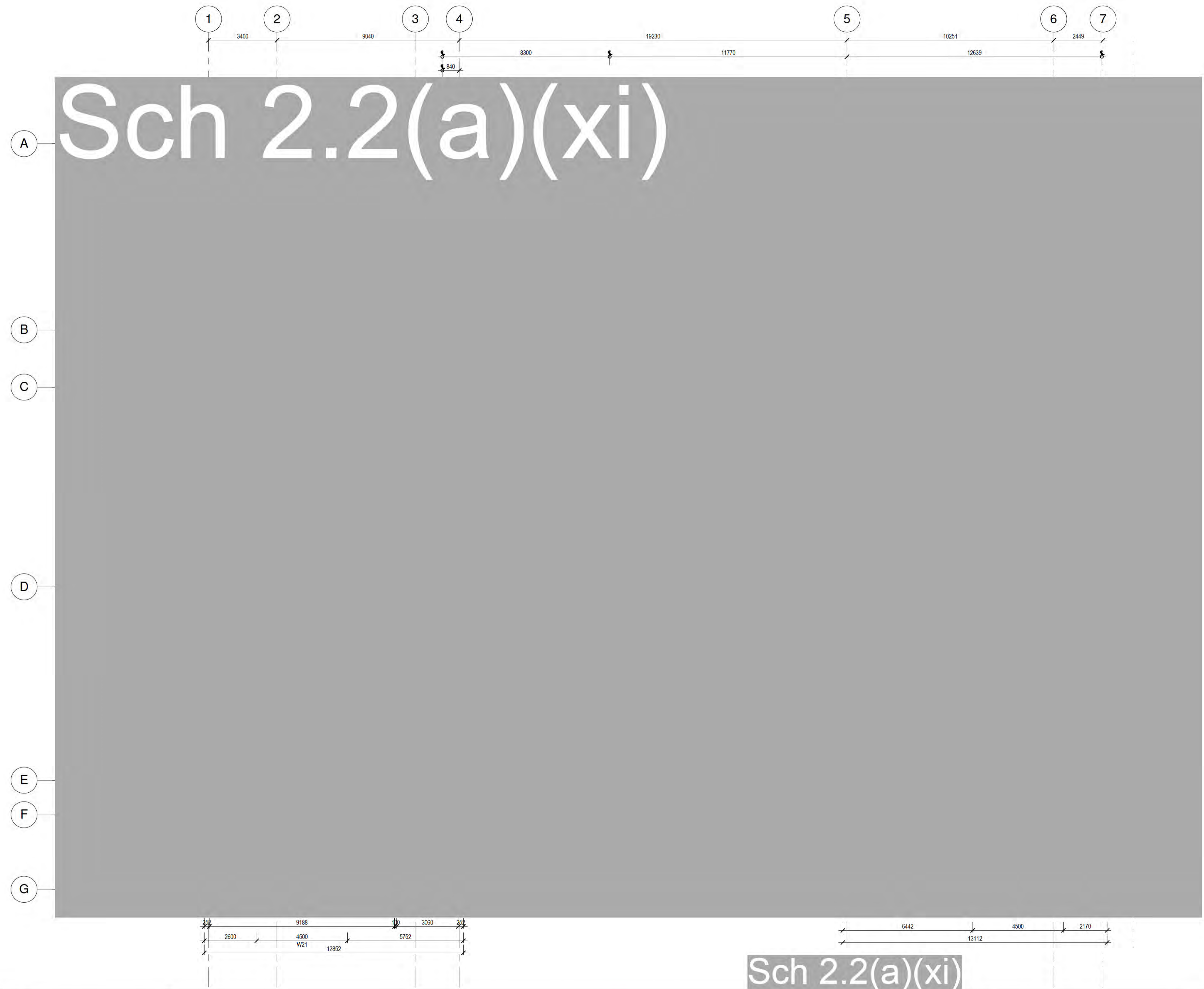
Drawing Title:
PARTITION FLOOR PLAN - L0

Project Number: 1506.06 Design Architect: NG Project Architect: SDV Design Verifier: RS

Scale: 1 : 100@A1 \\ Half Scale @A3 Drawn: SDV

QA Ref: 1506.06 Sheet No: **A126** Amendment: **L**

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- EXTERNAL WALL TYPES**
SPECIFIED FROM OUTS DE TO INSIDE
- WT01 - CURTAIN WALL**
 - ALUMINIUM FRAMING SECTIONS EQUAL TO CAPITAL 600 NARROWLINE
 - DOUBLE GLAZING AND DOUBLE GLAZED SPRINGRILL PANELS
 - WT02 - BRICK VENEER WALL**
 - BRICK
 - BREATHER MEMBRANE
 - AIR CAVITY
 - VAPOR BARRIER
 - METAL STUD FRAME WITH INSULATION
 - PLASTERBOARD LINING
 - WT03 - LIGHT WEIGHT STONE CLAD**
 - STONE CLADDING
 - BREATHER MEMBRANE
 - SUBFRAME/AIR CAVITY
 - VAPOR BARRIER
 - METAL STUD FRAME WITH INSULATION
 - PLASTERBOARD LINING
 - WT04 - LIGHT WEIGHT METAL CLAD**
 - ALUMINIUM CLADDING
 - BREATHER MEMBRANE
 - SUBFRAME/AIR CAVITY
 - VAPOR BARRIER
 - METAL STUD FRAME WITH INSULATION
 - PLASTERBOARD LINING
 - WT05 - STONE BLADE WALL**
 - STONE CLADDING
 - CONCRETE BLOCK
 - INSULATION WHERE NEEDED
 - WT06 - BRICK VENEER WALL (EXTRA WIDE)**
 - BRICK
 - BREATHER MEMBRANE
 - AIR CAVITY
 - VAPOR BARRIER
 - METAL STUD FRAME WITH INSULATION
 - PLASTERBOARD LINING
- INTERNAL WALL TYPES**
SPECIFIED FROM OUTS DE TO INSIDE
- WT11 - CURTAIN WALL**
 - ALUMINIUM FRAMING SECTIONS
 - LAMINATE SAFETY GLAZING
 - WT12 - INTERIOR PARTITION**
 - METAL STUD FRAME
 - PLASTERBOARD LINING TO BOTH SIDES
 - REFER SPECIFICATION FOR DETAILS
 - WT13 - EXTRA WIDE INTERIOR PARTITION**
 - METAL STUD FRAME
 - PLASTERBOARD LINING TO BOTH SIDES
 - REFER SPECIFICATION FOR DETAILS
 - CAVITY SLIDER AS PER ARCHITECTURAL
 - WT14 - INTERIOR PARTITION ONE SIDE PB**
 - METAL STUD FRAME
 - PLASTERBOARD LINING TO ONE SIDE
 - REFER DRAWING FOR DETAILS
 - WT15 - TOILET PARTITION**
 - PROPRIETARY TOILET PARTITIONING SYSTEM
 - REFER SPECIFICATION FOR DETAILS
 - WT16 - BLOCKWORK**
 - 190 BLOCKWORK
 - WT23 - INTERIOR PARTITION WALL**
 - 13mm PLASTERBOARD LINING TO DRY SIDE
 - 2 STAGGERED ROWS 64mm METAL STUD
 - NOMINATED FINISH ON FC LINING
 - WT24 - INTERIOR PARTITION WALL**
 - 13mm PLASTERBOARD LINING TO DRY SIDE
 - 80mm METAL STUD
 - NOMINATED FINISH ON FC LINING

Sch 2.2(a)(ii)



Amendment Register	Current Rev	Revision Description	Date
J	DOOR SCHEDULE & PARTITION SETOUT UPDATE	31/08/17	



Sch 2.2(a)(xi)

Client: BRINDABELLA CHRISTIAN COLLEGE
Project Title: PROPOSED JUNIOR SCHOOL BUILDING
All dimensions in millimetres. Do not scale drawing. All dimensions and levels to be verified on site by contractor before commencing work or preparation of shop drawings. Where provided, drawings must be read in conjunction with schedule of work or specification.

Project Status: FOR CONSTRUCTION
Project Address: 136 BRIGALOW STREET, LYNEHAM ACT 2602
Block: 4 Section: 41 Division: LYNEHAM

Drawing Title: PARTITION FLOOR PLAN - L1
Project Number: 1506.06 Design Architect: NG Project Architect: SDV Design Verifier: RS
Scale: 1 : 100@A1 \\ Half Scale @A3 Drawn: SDV
QA Ref: 1506.06 Sheet No: A127 Amendment: J



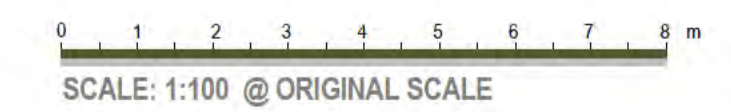
Sch 2.2(a)(xi)

1 2 3 4 5 6 7

KEYNOTES LEGEND	
KEYNOTE	DESCRIPTION
CP01	CARPET TILE REFER TO FINISHES SCHEDULE
CP02	CARPET TILE REFER TO FINISHES SCHEDULE
PNT01	GENERAL WALL PAINT FINISH REFER TO FINISHES SCHEDULE
PNT05	ACCENT WALL PAINT REFER TO FINISHES SCHEDULE
TL01	600x300 CERAMIC TILES REFER TO FINISHES SCHEDULE
TL02	197x97 CERAMIC TILES REFER TO FINISHES SCHEDULE
VL01	VINYL SHEET REFER TO FINISHES SCHEDULE
VL02	VINYL SHEET REFER TO FINISHES SCHEDULE
VL03	VINYL SHEET REFER TO FINISHES SCHEDULE
VL05	VINYL SHEET REFER TO FINISHES SCHEDULE
VL06	VINYL SHEET REFER TO FINISHES SCHEDULE

- NOTE: 1. GENERAL WALL COLOUR TO BE PNT01 UNLESS NOTED OTHERWISE.
 2. SKirting TO BE INSTALLED THROUGHOUT. REFER TO SPECIFICATION. SK01 ALL AREAS EXCEPT TOILETS. SK02 VINYL FLOOR IN TOILETS.
 3. ALLOW ZERO-LIP JUNCTION BETWEEN FLOOR FINISHES.
 4. ALLOW FOR SUITABLE FLOOR TRIMS BETWEEN JUNCTIONS OF TWO DIFFERENT MATERIALS.
 5. ENSURE FEATURE CARPET TILES ALIGN WITH GENERAL CARPET TILE. MINIMIZE CUT OR HALF TILES.

Sch 2.2(a)(ii)



Amendment Register:		
Current Rev	Revision Description	Date
0	SOFTFALL SETOUT	9/11/17



Sch 2.2(a)(xi)

Client: BRINDABELLA CHRISTIAN COLLEGE

Project Title: PROPOSED JUNIOR SCHOOL BUILDING

All dimensions in millimetres. Do not scale drawing. All dimensions and levels to be verified on site by contractor before commencing work or preparation of shop drawings. Where provided, drawings must be read in conjunction with schedule of work or specification.

Project Status: **FOR CONSTRUCTION**

Project Address: 136 BRIGALOW STREET, LYNEHAM ACT 2602

Block: 4 Section: 41 Divison: LYNEHAM

Drawing Title: **FINISHES PLAN - L0**

Project Number: 1506.06	Design Architect: NG	Project Architect: SDV	Design Verifier: RS
Scale: 1 : 100@A1 \\ Half Scale @A3	Drawn: SDV		
QA Ref: 1506.06	Sheet No: A130	Amendment: 0	

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Sch 2.2(a)(xi)



LEGEND- PROPOSED- CEILING PLAN	
ABC	ANNOTATION ABBREVIATION. REFER KEYNOTES FOR DESCRIPTION
TYPE HEIGHT	CEILING TAG. GENERALLY ALL CEILING ARE 2700mm UNLESS OTHERWISE NOTED. REFER CEILING DESCRIPTION BELOW FOR DETAILS
ROOM NAME	ROOM TAG, NUMBER
	SETOUT LOCATION FOR CEILING FIXTURES AS PER A150, A151 & A1502 OR AS PER ENGINEERS DOCUMENTATION CEILING ACCESS PANEL. FINAL LOCATION ON CEILING TO BE CONFIRMED
NOTES	
1. SET OUT SURFACE MOUNTED LIGHT FIXTURES OVER CEILING TILES JOINTS OR NEATLY BETWEEN PERFORATED SQUARES 2. SET OUT AIR CON GRILLES CENTERED ON CEILING TILES 3. DROPPER FOR SUSPENDED LIGHTS AND SPEAKERS AS PER STRUCTURE ENGINEERS DETAIL.	
CEILING AND SOFFIT TYPES	
REFER ARCHITECTURAL SPECIFICATION FOR DETAILS ON CEILING AND SOFFIT TYPES	

CEILING TYPE	
	ADHERE RIGID BOARD STYROFOAM INSULATION TO SLAB SOFFIT OVER
	EXPOSED CONCRETE
	FIBRE CEMENT SHEETING TO SOFFIT
	PLASTERBOARD CEILING
	10mm PB DECOR SYSTEM 1258 17.5% OPEN AREA 6mm DIA HOLES WITH MARTINI ABSORB HD100 ABOVE
	6mm MDF PANEL (2400x1200) 36% PERFORATED-TYPICAL PERFORATIONS TO BE 6mm DIAMETER LOGO AREA NOT PERFORATED - W/BLACK ACOUSTIC MESH MARTINI ABSORB HD100 ABOVE MDF PANELS-
	BULKHEAD PLASTERBOARD
	MOISTURE RESISTANT PLASTERBOARD CEILING
	600x1200mm ACOUSTIC CEILING TILES

SERVICES LEGEND	
	RECESSED LIGHTING
	SMOKE DETECTOR
	600x600 ACCESS PANEL UNLESS NOTED OTHERWISE
	SUPPLY AIR GRILLE
	RETURN AIR GRILLE
	SPEAKER
	EMERGENCY LIGHTING
	DOWNLIGHT
	EXIT SIGN
	DARKON SUSPENDED LIGHT
	DROPPER FOR LIGHT FIXTURES AND SPEAKERS

Sch 2.2(a)(ii)



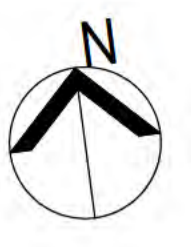
Amendment Register		
Current Rev	Revision Description	Date
Q	ADDED FOLD-DOWN MONITOR DETAIL	15/11/17



Sch 2.2(a)(xi)

Client: BRINDABELLA CHRISTIAN COLLEGE	Project Status: FOR CONSTRUCTION	Drawing Title: REFLECTED CEILING PLAN - L0
Project Title: PROPOSED JUNIOR SCHOOL BUILDING	Project Address: 136 BRIGALOW STREET, LYNEHAM ACT 2602	Project Number: 1506.06
All dimensions in millimetres. Do not scale drawing. All dimensions and levels to be verified on site by contractor before commencing work or preparation of shop drawings. Where provided, drawings must be read in conjunction with schedule of work or specification.	Block: 4	Design Architect: NG
	Section: 41	Project Architect: SDV
	Division: LYNEHAM	Design Verifier: RS
		Scale: 1 : 100@A1 \\ Half Scale @A3
		Drawn: SDV
		QA Ref: 1506.06
		Sheet No: A150
		Amendment: Q

Sch 2.2(a)(xi)



LEGEND- PROPOSED- CEILING PLAN	
ABC	ANNOTATION ABBREVIATION. REFER KEYNOTES FOR DESCRIPTION
TYPE HEIGHT	CEILING TAG. GENERALLY ALL CEILING ARE 2700mm UNLESS OTHERWISE NOTED. REFER CEILING DESCRIPTION BELOW FOR DETAILS
ROOM NAME	ROOM TAG, NUMBER
	SETOUT LOCATION FOR CEILING FIXTURES AS PER A150, A151 & A1502 OR AS PER ENGINEERS DOCUMENTATION. CEILING ACCESS PANEL. FINAL LOCATION ON CEILING TO BE CONFIRMED
NOTES	
<ol style="list-style-type: none"> SET OUT SURFACE MOUNTED LIGHT FIXTURES OVER CEILING TILES JOINTS OR NEATLY BETWEEN PERFORATED SQUARES SET OUT AIR CON GRILLES CENTERED ON CEILING TILES DROPPER FOR SUSPENDED LIGHTS AND SPEAKERS AS PER STRUCTURE ENGINEERS DETAIL. 	
CEILING AND SOFFIT TYPES	
REFER ARCHITECTURAL SPECIFICATION FOR DETAILS ON CEILING AND SOFFIT TYPES	

CEILING TYPE	
	ACHERE RIGID BOARD STYROFOAM INSULATION TO SLAB SOFFIT OVER
	EXPOSED CONCRETE
	FIBRE CEMENT SHEETING TO SOFFIT
	PLASTERBOARD CEILING
	10mm PB DECOR SYSTEM 125% 17.5% OPEN AREA. 6mm DIA HOLES WITH MARTINI ABSORB HD100 ABOVE
	6mm MEF PANEL (2400x1200) 38% PERFORATED TYPICAL. PERFORATIONS TO BE 6mm DIAMETER LOGO AREA NOT PERFORATED. W/BLACK ACOUSTIC MESH MARTINI ABSORB HD100 ABOVE MEF PANELS
	BULKHEAD PLASTERBOARD
	MOISTURE RESISTANT PLASTERBOARD CEILING
	600x1200mm ACOUSTIC CEILING TILES

SERVICES LEGEND	
	RECESSED LIGHTING
	SMOKE DETECTOR
	600x600 ACCESS PANEL UNLESS NOTED OTHERWISE
	SUPPLY AIR GRILLE
	RETURN AIR GRILLE
	SPEAKER
	EMERGENCY LIGHTING
	DOWNLIGHT
	EXIT SIGN
	DARKON SUSPENDED LIGHT
	DROPPER FOR LIGHT FIXTURES AND SPEAKERS

Sch 2.2(a)(ii)



Amendment Register:		
Current Rev	Revision Description	Date
M	ADDED CEILING SETOUT	25/10/17



Sch 2.2(a)(xi)

Client: BRINDABELLA CHRISTIAN COLLEGE

Project Title: PROPOSED JUNIOR SCHOOL BUILDING

All dimensions in millimetres. Do not scale drawing. All dimensions and levels to be verified on site by contractor before commencing work or preparation of shop drawings. Where provided, drawings must be read in conjunction with schedule of work or specification.

Project Status: **FOR CONSTRUCTION**

Project Address: 136 BRIGALOW STREET, LYNEHAM ACT 2602

Block: 4 Section: 41 Division: LYNEHAM

Drawing Title: REFLECTED CEILING PLAN - L1

Project Number: 1506.06 Design Architect: NG Project Architect: SDV Design Verifier: RS

Scale: 1 : 100@A1 \\ Half Scale @A3 Drawn: SDV

QA Ref: 1506.06 Sheet No: A151 Amendment: M

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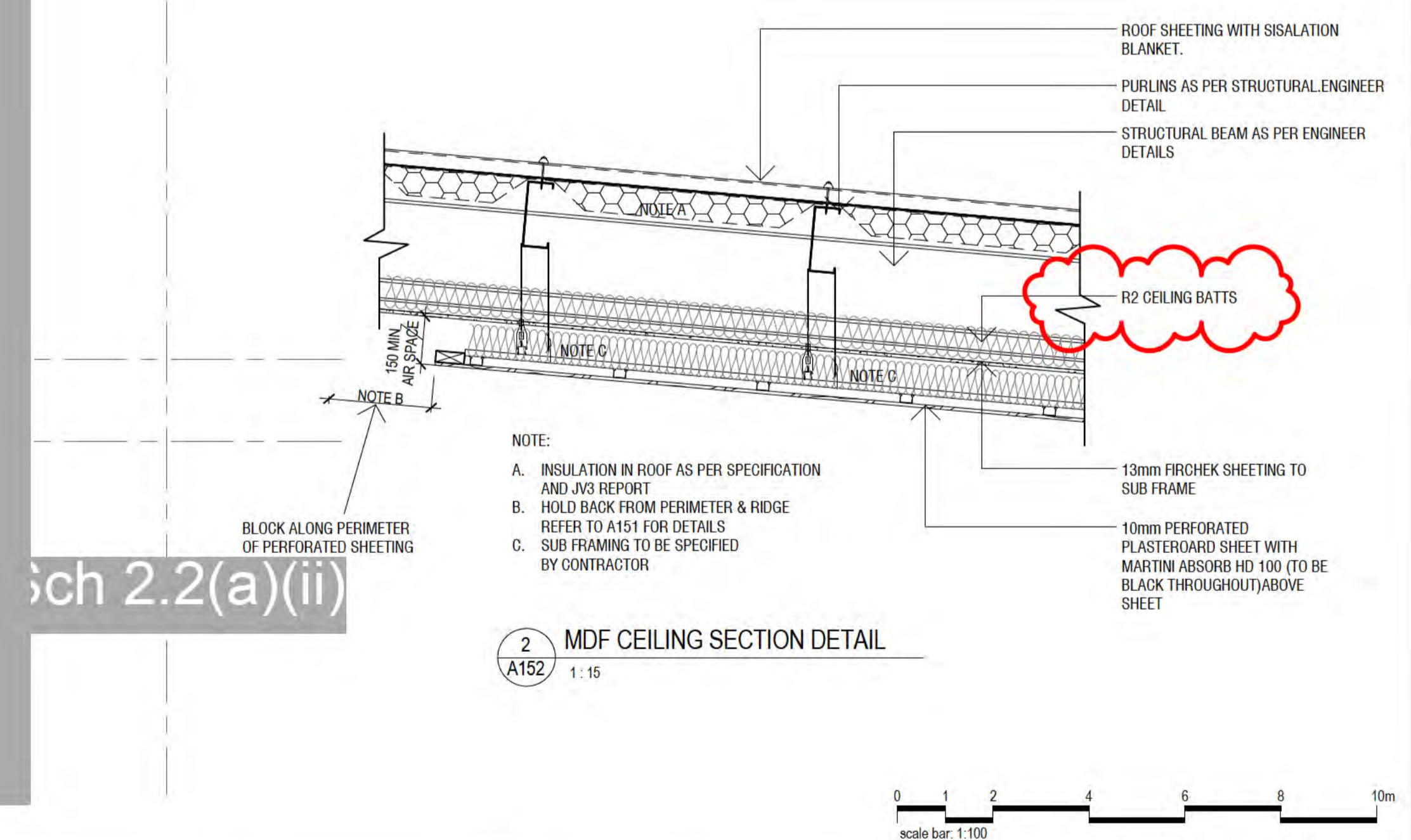
FEATURE LIGHT FITTINGS SCHEDULE		
Type Mark	Mark	LightFittingSuspension
K-1350	1	3765.0
K-1350	2	3875.0
K-1350	3	3875.0
K-1350	4	4385.0
K-1350	5	4085.0
K-800	6	3700.0
K-800	7	3700.0



CEILING TYPE	
SF01	ADHERE RIGID BOARD STYROFOAM INSULATION TO SLAB SOFFIT OVER
SF02	EXPOSED CONCRETE
SF03	FIBRE CEMENT SHEETING TO SOFFIT
PB01	PLASTERBOARD CEILING
PB2	10mm PB DECOR SYSTEM 125x17.5% OPEN AREA, 9mm DIA HOLES WITH MARTINI ABSORB HD100 ABOVE
PB3	9mm MDF PANEL (2400x1200) 38% PERFORATED TYPICAL PERFORATIONS TO BE 9mm DIAMETER LOGO AREA NOT PERFORATED - HIBLACK ACOUSTIC MESH MARTINI ABSORB HD100 ABOVE MDF PANELS
PB4	BULKHEAD PLASTERBOARD
PB5	MOISTURE RESISTANT PLASTERBOARD CEILING
CT01	600x1200mm ACOUSTIC CEILING TILES

LEGEND- PROPOSED- CEILING PLAN	
ABC	ANNOTATION ABBREVIATION. REFER KEYNOTES FOR DESCRIPTION
TYPE HEIGHT	CEILING TAG. GENERALLY ALL CEILING ARE 2700mm UNLESS OTHERWISE NOTED. REFER CEILING DESCRIPTION BELOW FOR DETAILS
ROOM NAME	ROOM TAG, NUMBER
A/P	SET OUT LOCATION FOR CEILING FIXTURES AS PER A150, A151 & A1502 OR AS PER ENGINEERS DOCUMENTATION. CEILING ACCESS PANEL. FINAL LOCATION ON CEILING TO BE CONFIRMED
NOTES	
1. SET OUT SURFACE MOUNTED LIGHT FIXTURES OVER CEILING TILES JOINTS OR NEATLY BETWEEN PERFORATED SQUARES 2. SET OUT AIR CON GRILLES CENTERED ON CEILING TILES 3. DROPPER FOR SUSPENDED LIGHTS AND SPEAKERS AS PER STRUCTURE ENGINEERS DETAIL	
CEILING AND SOFFIT TYPES	
REFER ARCHITECTURAL SPECIFICATION FOR DETAILS ON CEILING AND SOFFIT TYPES	

SERVICES LEGEND	
	RECESSED LIGHTING
	SMOKE DETECTOR
	600x600 ACCESS PANEL UNLESS NOTED OTHERWISE
	SUPPLY AIR GRILLE
	RETURN AIR GRILLE
	SPEAKER
	EMERGENCY LIGHTING
	DOWNLIGHT
	EXIT SIGN
	DARKON SUSPENDED LIGHT
	DROPPER FOR LIGHT FIXTURES AND SPEAKERS



*A921 1:100

Amendment Register	Current Rev	Revision Description	Date
D	1	REVISED CEILING, TERRACE FINISHES, UPDATED EXTERNAL FINISHES SCHEDULE, REVISED EXTERNAL UPPER LEVEL GLAZING	04/10/17



Sch 2.2(a)(xi)

Client: BRINDABELLA CHRISTIAN COLLEGE
Project Title: PROPOSED JUNIOR SCHOOL BUILDING
All dimensions in millimetres. Do not scale drawing. All dimensions and levels to be verified on site by contractor before commencing work or preparation of shop drawings. Where provided, drawings must be read in conjunction with schedule of work or specification.

Project Status: FOR CONSTRUCTION		
Project Address: 136 BRIGALOW STREET, LYNEHAM ACT 2602		
Block: 4	Section: 41	Divison: LYNEHAM

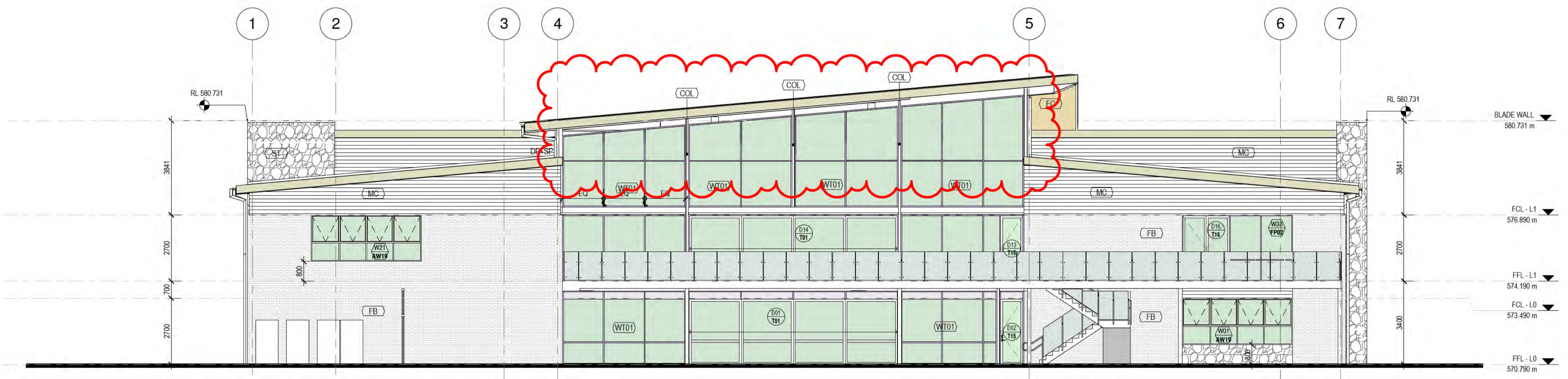
Drawing Title: REFLECTED CEILING PLAN - HIGHER CEILING			
Project Number: 1506.06	Design Architect: NG	Project Architect: SDV	Design Verifier: RS
Scale: As indicated@A1 \\ Half Scale @A3	Drawn: Author	QA Ref: 1506.06	Sheet No: A152
		Amendment: D	

LEGEND-PROPOSED-BUILDING ELEVATIONS	
ABC	ANNOTATION ABBREVIATION. REFER KEYNOTES FOR DESCRIPTION
(7)	MATERIAL ABBREVIATION. REFER KEYNOTES FOR DESCRIPTION
(8/1)	DOOR TAG. REFER DOOR SCHEDULE FOR MORE DETAILS
(8/7)	WINDOW NO/TYPE. REFER A700 TYPE DESCRIPTION & A710 FOR WINDOW SCHEDULE. ALL AWNING WINDOWS TO HAVE BUILT IN MECHANICAL OPENERS, CONNECTED TO BMS
(Grey Box)	EXISTING ELEMENTS
(Red Outline)	PROPOSED ELEMENTS

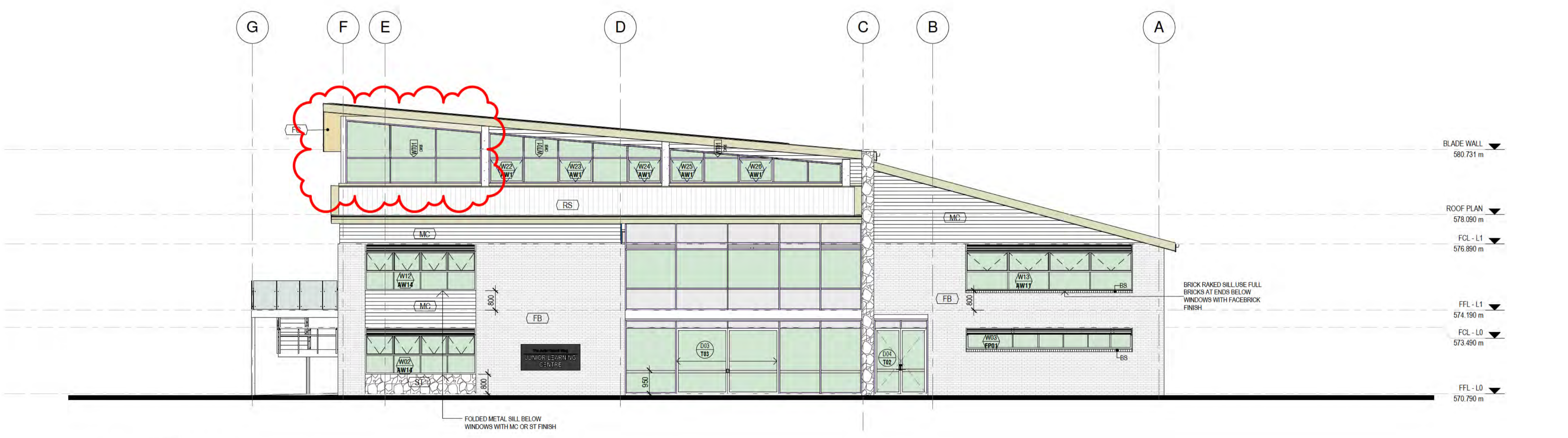
NOTES

- REFER A700 SERIES FOR WINDOW & DOORS TYPES & SCHEDULES
- REFER A900 FOR EXTERNAL FINISHES SCHEDULE

KEYNOTES LEGEND	
KEYNOTE	DESCRIPTION
BS	BRICK RAKED SILL USE FULL BRICKS AT ENDS BELOW WINDOWS WITH FACEBRICK FINISH
COL	POWDERCOATED STRUCTURAL COLUMN - POWDERCOAT FINISH 'WOODLAND GREY' TO MATCH EXISTING
DP+SP	DOWNPIPE AND SPREADER
FB	FACE BRICK 'CANBERRA RED', BORAL SMOOTH FACE OR EQUAL, PRESSED CLAY, RED TO MATCH EXISTING FACE BRICKS ON SITE. GROUT TO MATCH EXISTING
FC	FIBRECEMENT SOFFIT LINING - PAINT FINISH DULUX VIVID WHITE PN2.E1 TO MATCH EXISTING
MC	CORRUGATED METAL GLADDING, CUSTOM ORB, POWDERCOAT FINISH COLORBOND 'WOODLAND GREY' OR EQUAL
RS	METAL ROOF SHEETING, TRIMDEK PROFILE, POWDERCOAT FINISH COLORBOND 'WOODLAND GREY' OR EQUAL
ST	ACT REGION STONE WALL TO MATCH EXISTING STONEMWORK ON SITE, BLUE GREY COLOUR TO MATCH EXISTING
WT01	



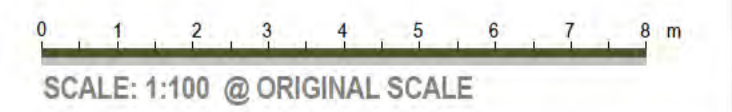
1 SOUTH FACING FACADE
A123 1:100



2 EAST FACING FACADE
A123 1:100

Sch 2.2(a)(ii)

Sch 2.2(a)(xi)



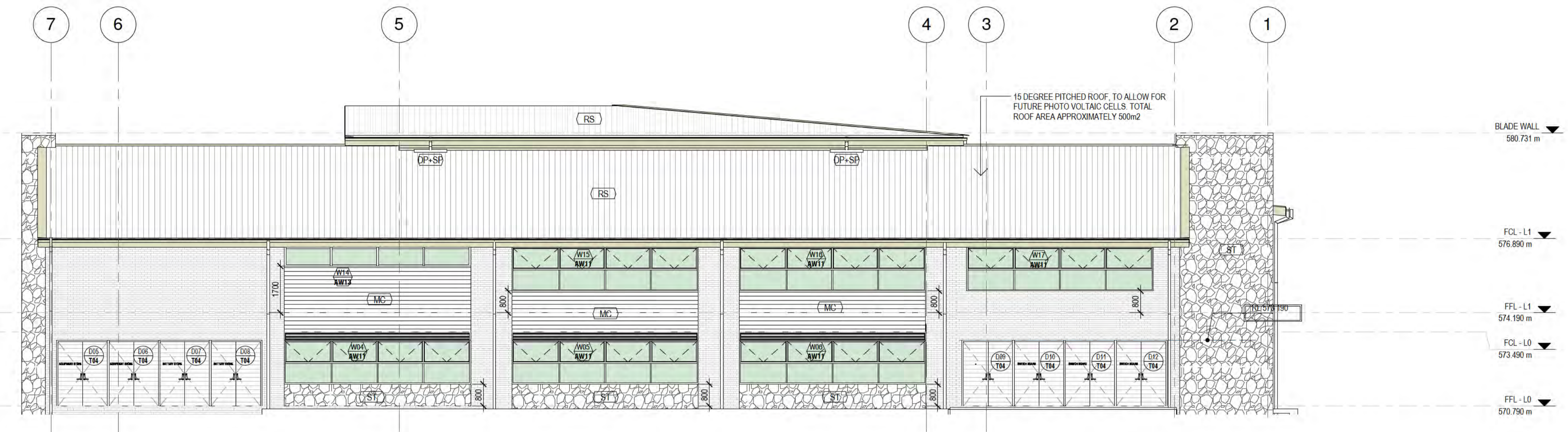
Amendment Register	Current Rev	Revision Description	Date
K		REVISED CEILING, TERRACE FINISHES, UPDATED EXTERNAL FINISHES SCHEDULE, REVISED EXTERNAL UPPER LEVEL GLAZING	04/10/17



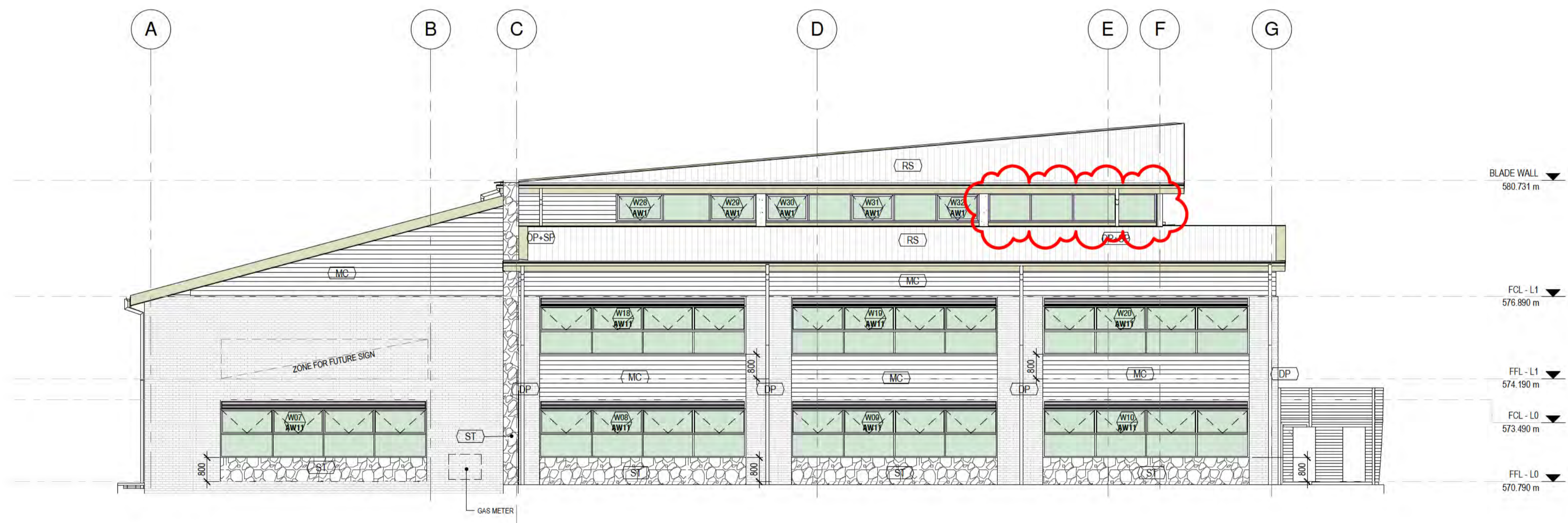
Client: **BRINDABELLA CHRISTIAN COLLEGE**
Project Title: **PROPOSED JUNIOR SCHOOL BUILDING**
All dimensions in millimetres. Do not scale drawing. All dimensions and levels to be verified on site by contractor before commencing work or preparation of shop drawings. Where provided, drawings must be read in conjunction with schedule of work or specification.

Project Status: **FOR CONSTRUCTION**
Project Address: **136 BRIGALOW STREET, LYNEHAM ACT 2602**
Block: 4 Section: 41 Divison: LYNEHAM

Drawing Title: **EXTERNAL ELEVATIONS**
Project Number: 1506.06 Design Architect: NG Project Architect: SDV Design Verifier: RS
Scale: As indicated@A1 \ Half Scale @A3 Drawn: FR
QA Ref: 1506.06 Sheet No: **A200** Amendment: **K**



1 NORTH FACADE
A123 1:100

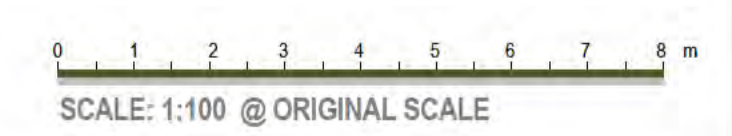


2 WEST FACADE
A123 1:100

LEGEND- PROPOSED- BUILDING ELEVATIONS	
ABC	ANNOTATION ABBREVIATION. REFER KEYNOTES FOR DESCRIPTION
(?)	MATERIAL ABBREVIATION. REFER KEYNOTES FOR DESCRIPTION
(D)	DOOR TAG. REFER DOOR SCHEDULE FOR MORE DETAILS
(W)	WINDOW NO./TYPE. REFER A700 TYPE DESCRIPTION & A710 FOR WINDOW SCHEDULE ALL AWNING WINDOWS TO HAVE BUILT IN MECHANICAL OPENERS, CONNECTED TO BMS
(---)	EXISTING ELEMENTS
(---)	PROPOSED ELEMENTS
NOTES	
<ul style="list-style-type: none"> REFER A700 SERIES FOR WINDOW & DOORS TYPES & SCHEDULES REFER A900 FOR EXTERNAL FINISHES SCHEDULE 	

KEYNOTES LEGEND	
KEYNOTE	DESCRIPTION
BS	BRICK RAKED SILL USE FULL BRICKS AT ENDS BELOW WINDOWS WITH FACEBRICK FINISH
DP	DOWNPIPE
DP+SP	DOWNPIPE AND SPREADER
MC	CORRUGATED METAL CLADDING, CUSTOM ORB, POWDERCOAT FINISH COLORBOND WOODLAND GREY OR EQUAL
RS	METAL ROOF SHEETING, TRIMDEK PROFILE, POWDERCOAT FINISH COLORBOND WOODLAND GREY OR EQUAL
ST	ACT REGION STONE WALL TO MATCH EXISTING STONERWORK ON SITE, BLUE GREY COLOUR TO MATCH EXISTING

Sch 2.2(a)(ii)



Amendment Register	Current Rev	Revision Description	Date
1	1	REVISED CEILING, TERRACE FINISHES, UPDATED EXTERNAL FINISHES SCHEDULE, REVISED EXTERNAL UPPER LEVEL GLAZING	04/10/17

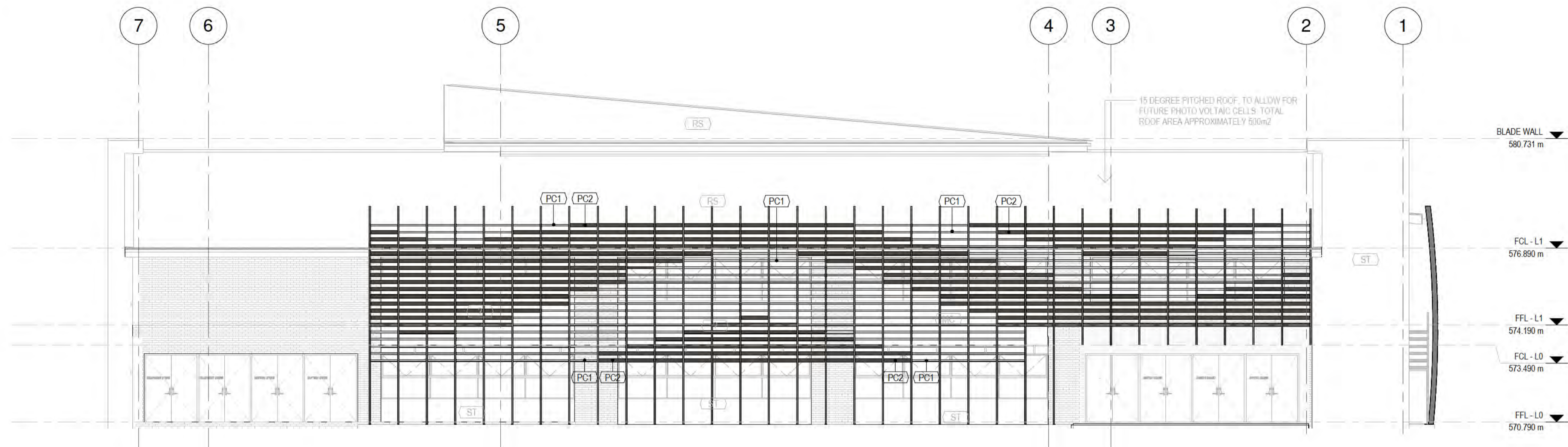


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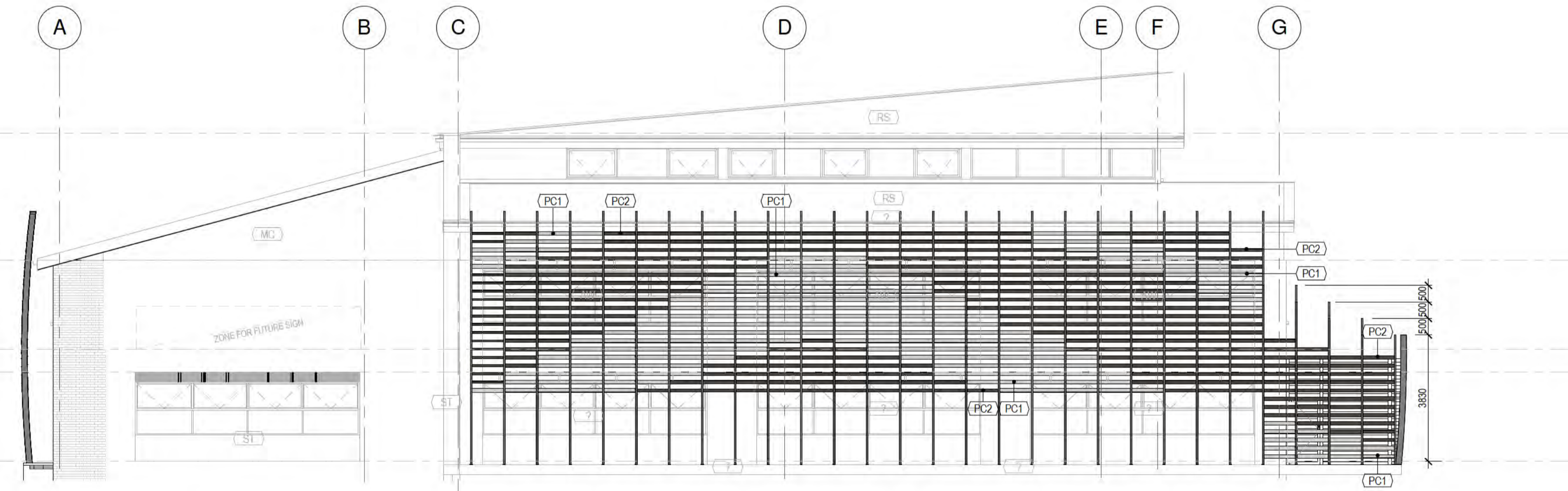
Client:	RINDABELLA CHRISTIAN COLLEGE
Project Title:	ROPOSED JUNIOR SCHOOL BUILDING
All dimensions in millimetres. Do not scale drawing. All dimensions and levels to be verified on site by contractor before commencing work or preparation of shop drawings. Where provided, drawings must be read in conjunction with schedule of work or specification.	

Project Status:	FOR CONSTRUCTION
Project Address:	136 BRIGALOW STREET, LYNEHAM ACT 2602
Block:	4
Section:	41
Divison:	LYNEHAM

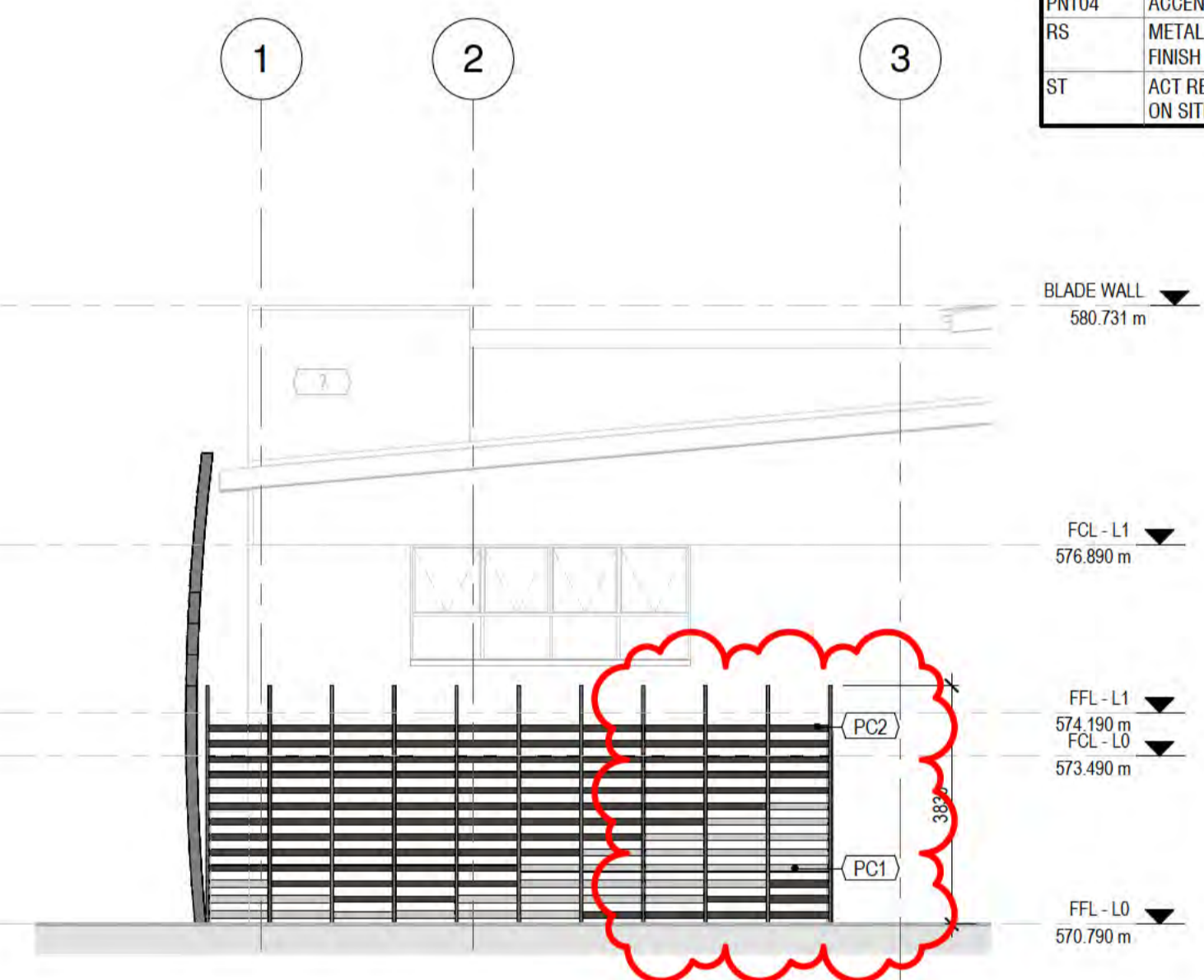
Drawing Title:			
EXTERNAL ELEVATIONS			
Project Number:	Design Architect:	Project Architect:	Design Verifier:
1506.06	NG	SDV	RS
Scale:	As indicated@A1 \\ Half Scale @A3		Drawn:
			SDV
QA Ref:	Sheet No:	Amendment:	
1506.06	A201	I	



1 NORTH FACADE WITH SHADE
A123 1:100



3 WEST FACADE WITH SHADE
A123 1:100



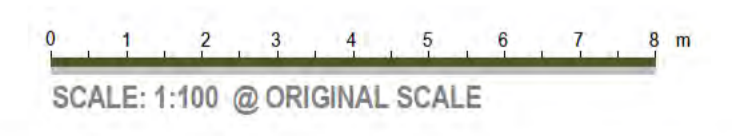
2 SOUTH FACING FACADE WITH SHADE
A123 1:100

LEGEND- PROPOSED- BUILDING ELEVATIONS	
ABC	ANNOTATION ABBREVIATION. REFER KEYNOTES FOR DESCRIPTION
(?)	MATERIAL ABBREVIATION. REFER KEYNOTES FOR DESCRIPTION
(D)	DOOR TAG. REFER DOOR SCHEDULE FOR MORE DETAILS
(W)	WINDOW NO/TYPE. REFER A700 TYPE DESCRIPTION & A710 FOR WINDOW SCHEDULE ALL AWNING WINDOWS TO HAVE BUILT IN MECHANICAL OPENERS, CONNECTED TO BMS
(EXISTING)	EXISTING ELEMENTS
(PROPOSED)	PROPOSED ELEMENTS

NOTES

- REFER A700 SERIES FOR WINDOW & DOORS TYPES & SCHEDULES
- REFER A900 FOR EXTERNAL FINISHES SCHEDULE

KEYNOTES LEGEND	
KEYNOTE	DESCRIPTION
AW	ANODISED ALUMINIUM FRAMED DOUBLE GLAZED WINDOWS, POWDERCOAT FINISH EQUAL TO DULUX DURATEC ETERNITY CHAIN PEARL
DP+SP	DOWNPIPE AND SPREADER
FB	FACE BRICK (CANBERRA RED), BORAL SMOOTH FACE OR EQUAL, PRESSED CLAY, RED TO MATCH EXISTING FACE BRICKS ON SITE. GROUT TO MATCH EXISTING
MC	CORRUGATED METAL CLADDING, CUSTOM ORB, POWDERCOAT FINISH COLORBOND WOODLAND GREY OR EQUAL
PC1	POWDERCOAT FINISH TO ALUMINIUM SURFACE EQUAL TO DULUX DURATEC ETERNITY CHAIN PEARL
PC2	POWDERCOAT FINISH TO ALUMINIUM SURFACE EQUAL TO DULUX DURALLOY WOODLAND GREY
PNT04	ACCENT WALL PAINT REFER TO FINISHES SCHEDULE
RS	METAL ROOF SHEETING, TRIMDEK PROFILE, POWDERCOAT FINISH COLORBOND WOODLAND GREY OR EQUAL
ST	ACT REGION STONE WALL TO MATCH EXISTING STONEMWORK ON SITE, BLUE GREY COLOUR TO MATCH EXISTING



Sch 2.2(a)(ii)

Sch 2.2(a)(xi)

Amendment	Rev	Description	Date
1		TOILET CUBICLE SIGNAGE & PLANT ENCLOSURE REVISION	20/12/17



Client: BRINDABELLA CHRISTIAN COLLEGE	Project Status: FOR CONSTRUCTION	Drawing Title: EXTERNAL LOUVRES ELEVATIONS
Project Title: PROPOSED JUNIOR SCHOOL BUILDING	Project Address: 136 BRIGALOW STREET, LYNEHAM ACT 2602	Project Number: 1506.06
Project Architect: RS	Design Architect: NG	Design Verifier: RS
Scale: As indicated@A1 \ Half Scale @A3	Drawn: SDV	QA Ref: 1506.06
Block: 4	Section: 41	Divison: LYNEHAM
All dimensions in millimetres. Do not scale drawing. All dimensions and levels to be verified on site by contractor before commencing work or preparation of shop drawings. Where provided, drawings must be read in conjunction with schedule of work or specification.		Sheet No: A202
		Amendment: I

PROPOSED JUNIOR SCHOOL BUILDING

OBJECT LOCATION:

BLOCK 4 SECTION 41 LYNEHAM, A.C.T.

JOB NUMBER:

150918

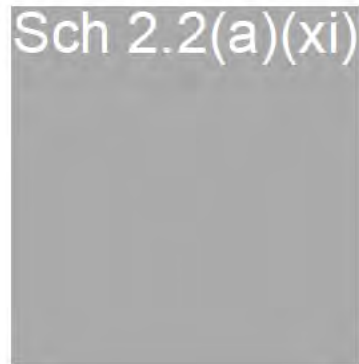
DISCIPLINE:

STRUCTURAL



CHRISTIAN COLLEGE
CANBERRA

Sch 2.2(a)(xi)



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STRUCTURAL CIVIL HYDRAULIC

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REINFORCEMENT

R1. REINFORCEMENT SHALL GENERALLY COMPLY WITH AS3608 CLAUSE 12.2. REINFORCEMENT IS SHOWN DIAGMATICALLY AND NOT NECESSARILY IN TRUE PROJECTION ON STRUCTURAL DRAWINGS...

REINFORCEMENT SYMBOLS:

Table with 2 columns: Symbol and Description. Includes symbols for Grade 500N deformed bar, Grade 250R round bar, Grade 500L rectangular mesh, Grade 500L square mesh, and Grade 500L trench mesh.

THE NUMBER IMMEDIATELY FOLLOWING THE REINFORCEMENT SYMBOL IS THE BAR DIAMETER IN MILLIMETRES, I.E.: R20 IS A #20 BAR GRADE 500N. ALL REINFORCEMENT TO BE LAID WITH TOLERANCE 0 TO 10mm WITH RESPECT TO COVER. MINIMUM COVER TO BE MAINTAINED IN ALL INSTANCES.

R2. CLEAR CONCRETE COVER SHALL BE IN ACCORDANCE WITH THE TABLE BELOW UNLESS NOTED OTHERWISE ON THE STRUCTURAL DRAWINGS:

Table with 4 columns: ELEMENT, GROUND, SURFACE FORMS OR PLASTIC SHEETING, TOP CLEAR. Lists elements like PAD/STRIP FOOTINGS, SLAB ON GROUND, RETAINING WALLS, BAND BEAMS, WALLS, BORED PIERS, and COLUMNS.

Table with 4 columns: ELEMENT, EXPOSURE CLASSIFICATION, BTM CLEAR COVER, TOP CLEAR COVER. Lists elements like SUSPENDED SLABS (A1 INTERNAL, A2 EXTERNAL).

WHERE DRIP GROOVES, REGLETS ETC. OCCUR, COVER TO END OF BARS TO BE 45mm U.L.O. TO MAINTAIN 25mm COVER TO DRIP GROOVE/REGLETS.

R3. ALL REINFORCEMENT SHALL BE FIRMLY SUPPORTED ON PLASTIC TIPPED STEEL, PLASTIC OR CONCRETE CHAIRS GENERALLY AT NOT GREATER THAN 100 CENTRES BOTH WAYS FOR BARS & 600 CENTRES FOR MESH. BARS ARE TO BE TIED AT ALTERNATE INTERSECTIONS WITH WIRE TIES...

R4. SPLICES IN REINFORCEMENT SHALL BE MADE ONLY IN POSITIONS SHOWN OR OTHERWISE APPROVED IN WRITING BY SKELLEN CONSULTANTS. LAPS SHALL BE IN ACCORDANCE WITH THE FOLLOWING:

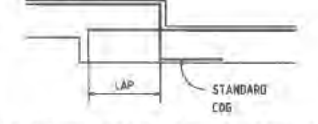
FOR SLABS/BAND BEAMS/WALLS/STAIRS

TENSION LAP LENGTH SCHEDULE table with 3 columns: BAR SIZE, LESS THAN 300mm CONCRETE CAST BELOW BAR OR VERTICAL BAR, MORE THAN 300mm CONCRETE CAST BELOW BAR OR VERTICAL BAR. Lists bar sizes from #12 to #34.

THESE LAPS ARE BASED ON 20mm MINIMUM COVER TO THE BAR AND 32MPa CONCRETE. WHERE LIGHTWEIGHT CONCRETE OR SLIP FORMS ARE USED LAP LENGTHS SHALL BE MULTIPLIED BY 1.3.

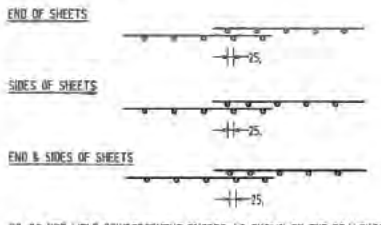
R5. ALL COGS TO BE STANDARD COGS UNLESS NOTED OTHERWISE.

COGGED BAR LAPS U.L.O.



R6. FABRIC END & SIDE LAPS ARE TO BE PLACED STRICTLY IN ACCORDANCE WITH THE MANUFACTURERS REQUIREMENTS TO ACHIEVE A FULL TENSILE LAP. FABRIC SHALL BE LAID SO THAT THERE IS A MAXIMUM OF 3 LAYERS AT ANY LOCATION.

FABRIC LAPS



R7. DO NOT WELD REINFORCEMENT EXCEPT AS SHOWN ON THE DRAWINGS, OR AS APPROVED IN WRITING BY THE ENGINEER. IF APPROVED, SUCH WELDING SHALL COMPLY WITH AS1554.3.

R8. SITE BENDING OF DEFORMED REINFORCING BARS SHALL BE DONE WITHOUT HEATING USING MECHANICAL BENDING TOOLS.

R9. CHEMSET REDS02 OR EQUAL SHALL BE USED FOR ALL CHEMSET ANCHORS DRILLED & EPOXIED U.L.O. ON THE STRUCTURAL DRAWINGS.

STRUCTURAL STEELWORK

S1. DESIGN CONFORMS TO AS4100. FABRICATION AND ERECTION SHALL BE CARRIED OUT IN ACCORDANCE WITH THE PROVISIONS OF AS4100.

S2. UNLESS NOTED OTHERWISE, ALL STEEL SHALL CONFORM TO THE FOLLOWING AUSTRALIAN STANDARDS, IN RESPECT OF GRADE AND CONDITIONS OF SUPPLY.

Table with 3 columns: COMPONENT, STANDARD, GRADE. Lists components like ROLLED SECTIONS, WELDED SECTIONS, FLAT BARS, PLATE/FLOOR PLATE, HOLLOW SECTIONS, and PURLINS/SRITS.

TEST CERTIFICATES CONFIRMING CONFORMANCE ISSUED BY SUPPLIER SHALL BE AVAILABLE FOR INSPECTION.

S3. MEMBER SIZES SHALL BE AS SHOWN ON THE STRUCTURAL DRAWINGS.

S4. THE CONTRACTOR SHALL PREPARE WORKSHOP (SHOP DETAIL) DRAWINGS AND SHALL SUBMIT COPIES OF EACH DRAWING IN PDF FORMAT FOR EXAMINATION OF CONNECTION DETAILS. FABRICATION SHALL NOT COMMENCE UNTIL THE WORKSHOP DRAWINGS HAVE BEEN APPROVED...

DIMENSIONS OF ITEMS, IDENTIFICATION, STEEL GRADE LOCATION, TYPE & SIZE OF WELDS/BOLTS PROCEDURES NECESSARY FOR SHOP & SITE ASSEMBLY, ORIENTATION OF MEMBERS, CAMBER, LOCATION OF TEMPORARY CONNECTIONS AND BRACING SURFACE PREPARATION METHOD AND COATING SYSTEM, WELDING AND BOLTING CATEGORIES, SHOP DETAILS SHALL PROVIDE FOR FIXING OR SUPPORT OF ANY BUILDING ELEMENTS SHOWN ON ARCHITECTURAL DRAWINGS.

S5. ALL WELDING SHALL BE CARRIED OUT IN ACCORDANCE WITH AS1561. ELECTRODES SHALL BE TO AS1553, AS1818, AS2293 OR AS2217 AS APPROPRIATE. WELDS FOR STRUCTURAL CONNECTIONS SHALL BE WELD CATEGORY SP UNLESS NOTED OTHERWISE.

S6. BOLTING CATEGORIES ARE IDENTIFIED ON THE DRAWINGS IN THE FOLLOWING MANNER:

- 4.6/5 COMMERCIAL BOLTS OF GRADE 4.6 SNUG TIGHTENED.
8.8/5 HIGH STRENGTH BOLTS OF GRADE 8.8 SNUG TIGHTENED.
8.8/8 HIGH STRENGTH BOLTS OF GRADE 8.8 FULLY TENSIONED TO AS4100 AS A BEARING TYPE JOINT.
8.8/7F HIGH STRENGTH BOLTS OF GRADE 8.8 FULLY TENSIONED TO AS4100 AS A FRICTION TYPE JOINT WITH FAYING SURFACES LEFT UNCOATED.

S7. UNLESS NOTED OTHERWISE, HOLES SHALL BE 2mm LARGER THAN THE NOMINAL BOLT DIAMETER. WHERE SLOTTED OR OVERSIZE HOLES ARE PERMITTED ON THE STRUCTURAL DRAWINGS, THEY SHALL COMPLY WITH AS4100. HAND FLAME CUTTING OF BOLT HOLES IS NOT PERMITTED.

S8. UNLESS NOTED OTHERWISE, ALL BOLTS AND WASHERS SHALL BE GALVANISED.

S9. FABRICATION TOLERANCES SHALL COMPLY WITH AS4100, SECTION 14 UNLESS NOTED OTHERWISE ON THE STRUCTURAL DRAWINGS.

S10. ALL BEAMS AND RAFTERS SHALL BE FABRICATED AND ERECTED WITH NATURAL CAMBER UP. PROVIDE STRUCTURAL MEMBERS IN SINGLE LENGTHS UNLESS SPLICES ARE SHOWN ON THE STRUCTURAL DRAWINGS.

S11. NON-DESTRUCTIVE WELD EXAMINATION SHALL BE AS FOLLOWS:

NON-DESTRUCTION WELD EXAMINATION INDEX TABLE with 3 columns: TYPE OF WELD & CATEGORY, EXAMINATION METHOD, EXTENT (% OF TOTAL WELD LENGTH). Lists types like FILLET WELDS, BUTT WELDS, SP.

CMP. ALL WELDS FREE OF SLAG. CONTRACTOR TO CONFIRM WITH ARCHITECT AS TO WHERE EXPOSED WELDS ARE TO BE GROUND FLUSH/SMOOTH.

S12. ALL ROD BRACING TO HAVE GRADE 5 (STRUCTURAL) TURNBUCKLES. THE CAPACITY OF THE TURNBUCKLE IS TO EXCEED THE ULTIMATE CAPACITY OF THE ROD.

STRUCTURAL STEELWORK (CONTINUED)

S13. SURFACE TREATMENT AND PAINTING OF STEELWORK TO BE IN ACCORDANCE WITH AS2332 AND AS FOLLOWS:

- ALL STEELWORK NOT ENCASED IN CONCRETE OR 'GALVANISED' SHALL HAVE THE SURFACES CLEANED BY ABRASIVE BLAST CLEANING TO CLASS 2-1/2 STANDARD IN ACCORDANCE WITH AS16274. ALL AREAS INACCESSIBLE AFTER FABRICATION SHALL BE CLEANED AND PAINTED PRIOR TO FABRICATION. UNLESS OTHERWISE NOTED ALL STEEL SURFACES SHALL BE COATED WITH: a) LUXAPRIME ZINC PHOSPHATE, OR APPROVED EQUIVALENT, TO A DRY FILM THICKNESS OF 75 MICRONS AND, b) TOP COATS TO BE IN ACCORDANCE WITH THE ARCHITECTS SPECIFICATION.

WHERE NOTED 'GALVANISED', STEELWORK SHALL BE CHEMICALLY DESCALED AND CLEANED IN ACCORDANCE WITH AS1823 TO REMOVE ALL RUST, MILL SCALE, OIL, GREASE AND FOREIGN MATTER OF ALL DESCRIPTION LEAVING A UNIFORM SURFACE OF CLEAN METAL OR A TIGHTLY ADHERING COATING OF ZINC OR IRON PHOSPHATE. STEELWORK SHALL THEN BE GALVANISED IN ACCORDANCE WITH AS4556 BY IMMERSING IN A BATH OF MOLTEN ZINC TO PROVIDE A ZINC COATING WHICH SOLIDIFIES TO A DRY FILM MASS OF 600g/m2.

ALL TRANSPORT AND ERECTION ABRASIONS, SITE WELDS, ETC. ARE TO BE REINSTATED BY THOROUGHLY WIRE BRUSHING TO AFFECTED AREAS TO ACHIEVE A CLEAN SOUND SUBSTRATE AND PATCH COATED AS FOR PRIMING EXCEPT THAT THE MINIMUM FILM THICKNESS SHALL BE 50% GREATER THAN THE ORIGINAL PRIMER.

ALL LOAD INDICATOR WASHERS SHALL BE SHERARDIZED. PROVIDE SEAL PLATES TO ALL HOLLOW SECTIONS, WITH BREATHER HOLES IF MEMBERS ARE TO BE HOT DIP GALVANISED. ERECTION TOLERANCES SHALL COMPLY WITH AS4100 SECTION 15 UNLESS NOTED OTHERWISE ON THE STRUCTURAL DRAWINGS.

ALL STEELWORK SHALL BE TEMPORARILY BRACED IN A SECURE MANNER IN ORDER TO STABILISE THE STRUCTURE DURING ERECTION. FOR EACH GROUP OF ANCHOR BOLTS PROVIDE A TEMPLATE WITH SETTINGS OUT LINES CLEARLY MARKED FOR POSITIONING THE BOLTS WHEN CASTING IN. GALVANISING SHALL BE TO AS4400 (MEMBERS) OR AS1214 (THREADED FASTENERS). COATING MASS (MEMBERS): AVERAGE = 600g/m2, MINIMUM = 550g/m2. REMOVE ALL TEMPORARY CLEATS ON COMPLETION AND RESTORE THE SURFACE IN AN APPROVED MANNER.

GROUT UNDER ALL BASE PLATES, BEFORE GROUTING, SUPPORT BASE PLATES ON STEEL PACKERS OR WEDGES. GROUT UNDER BASE PLATES AND INTO CORED HOLES WITH COMEXTRA GP NON-SHRINK GROUT OR EQUIVALENT.

MINIMUM COMPRESSIVE STRENGTH = 32MPa, MINIMUM THICKNESS = 15mm, MAXIMUM THICKNESS = 60mm.

S13. ALL STEELWORK CONNECTIONS NOT INDICATED IN THE DOCUMENTATION TO BE ASSUMED TO BE STANDARD CLEAT & END PLATE MEMBER CONNECTIONS IN ACCORDANCE WITH THE AUSTRALIAN STEEL INSTITUTE DESIGN GUIDES FOR SIMPLE CONNECTIONS.

S14. CHEMSET REDS02 OR EQUAL SHALL BE USED FOR ALL CHEMSET ANCHORS DRILLED & EPOXIED U.L.O. ON THE STRUCTURAL DRAWINGS.

S15. ANY LOADS HUNG FROM ROOF PURLINS ARE TO BE HUNG FROM WEB OF PURLIN ONLY. DO NOT HANG LOADS FROM FLANGES OR LIP OF PURLIN.

MASONRY NOTES

M1. BRICKS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH C = 20MPa.

M2. CLAY BRICKS SHALL HAVE A MAXIMUM LONG-TERM EXPANSION (FROM THE TIME OF BEING LAID) OF NOT GREATER THAN 10mm/m OVER 15 YEARS.

M3. BLOCKS SHALL BE GRADE 15 U.L.O. CONFORMING TO AS2739 AND SHALL BE LAID DRY FOR RETAINING WALLS. BLOCKS SHALL BE EQUAL TO MONER 'DOUBLE U' UNITS.

M4. MORTAR SHALL CONSIST OF WELL MIXED CEMENT:LIME:SAND IN THE PROPORTIONS BY VOLUMES AS FOLLOWS: RETAINING WALLS AND BELOW DAMP-PROOF COURSE 1/1/3 ELSEWHERE 1:1/2 AN MIXTURES SHALL NOT BE USED WITHOUT THE APPROVAL OF THE ENGINEER. FOR RETAINING WALLS FULLY BED SHELLS AND PERPENDS.

M5. GALVANISED COURSE REINFORCEMENT EQUAL TO A.R.C. PRODUCT SHALL BE PROVIDED AT VERTICAL SPACINGS OF 600mm TO EACH LEAF AS FOLLOWS:

- 75mm/75mm - HR3550
140mm - HR35100
190mm/230mm - HR35150

COURSE REINFORCEMENT SHALL BE LAPPED 300mm. ONE ADDITIONAL RUN SHALL BE PROVIDED UNDER AND OVER ALL WINDOW AND DOOR OPENINGS BONDED 300mm PAST THE OPENING.

M6. MASONRY SUPPORTING SLABS SHALL HAVE A LAYER OF MORTAR TROWELLED SMOOTH ON TOP. 2 LAYERS OF BITUMINOUS COATED GALVANISED SHEET SHALL BE PLACED TO SEPARATE CONCRETE AND MASONRY U.L.O.

M7. PROVIDE CONTROL JOINTS AT A MAXIMUM 8 METRE CENTRES TYPICALLY AND 4 METRES FROM CORNERS UNLESS OTHERWISE NOTED IN THE SPECIFICATION, FOR ALL MASONRY.

M8. CLEAROUT OPENINGS SHALL BE PROVIDED AT THE BOTTOM OF EACH BLOCK CORNER CONTAINING VERTICAL REINFORCEMENT. REINFORCED CORES SHALL BE CLEANED OF MORTAR PROTRUSIONS BEFORE GROUTING.

M9. ALL LOADBEARING BLOCKWORK CORES SHALL BE FILLED WITH GROUT U.L.O. CORE FILLING GROUT SHALL BE THOROUGHLY COMPACTED BY MECHANICAL VIBRATOR AND/OR RODDING WITH A PLAIN ROUND BAR. GROUT SHALL HAVE THE FOLLOWING CHARACTERISTICS IN ACCORDANCE WITH AS3600:

- CHAR. STRENGTH Fc = 20MPa
SPECIFIED SLUMP = 230mm
MAX. AGG. SIZE = 10mm

M10. NON LOADBEARING BLOCK WALLS ARE NOT CORE FILLED U.L.O.

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Sch 2.2(a)(xi)



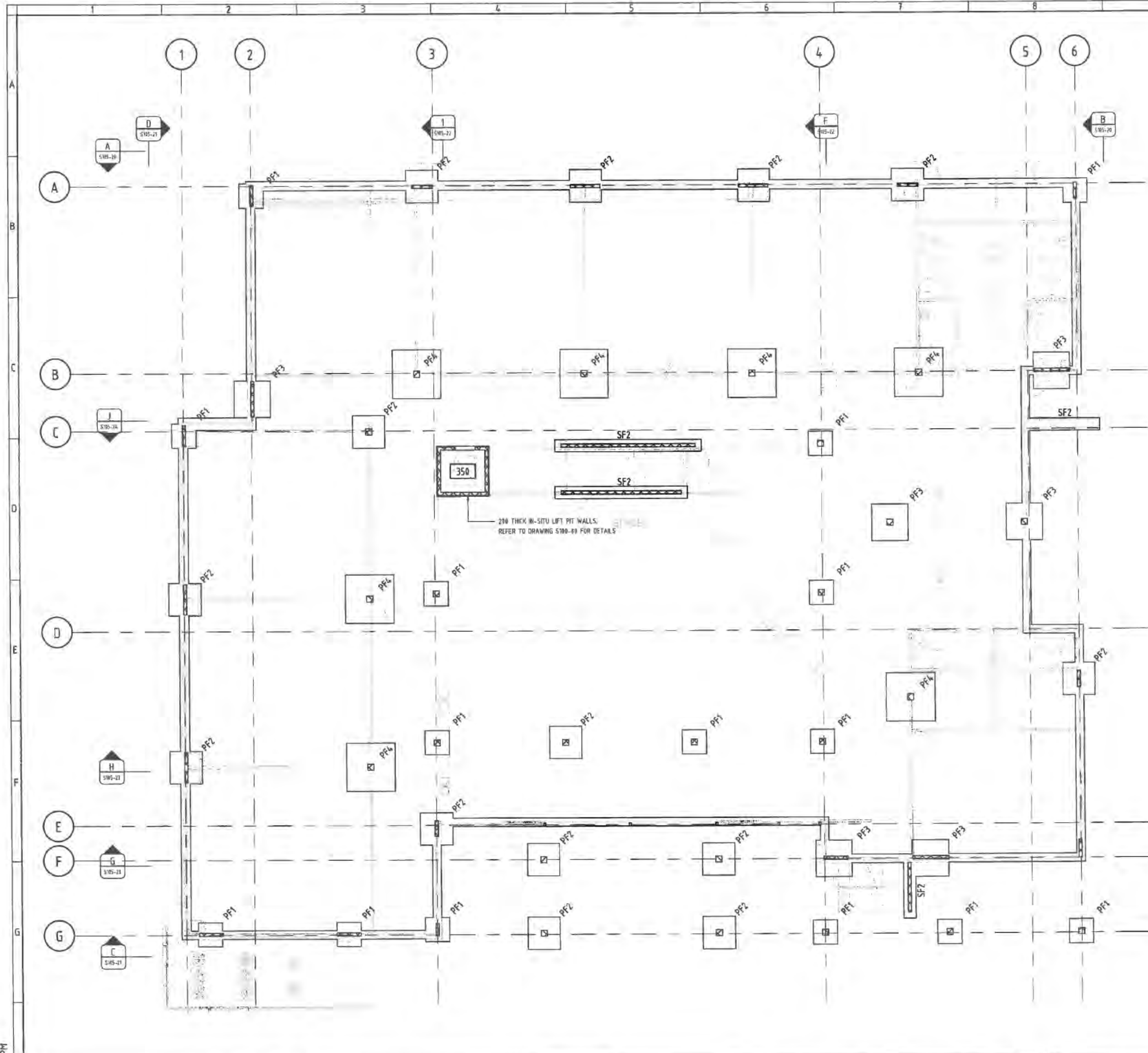
PROJECT TITLE: PROPOSED JUNIOR SCHOOL BUILDING. DO NOT SCALE OFF DRAWINGS. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK.

DESIGNED BY, CHECKED BY, AUTHORISED BY, DATE

DRAWING TITLE: CONSTRUCTION NOTES SHEET 2. PROJECT LOCATION: BLOCK 4, SECTION 41 LYNEHAM A.C.T.

SCALE: 1:1 @ A1. JOB NO: 150918. DRAWING NO: S001-02. REV: A

Table with 4 columns: ISSUE, DESCRIPTION, DATE, DRAWN. Includes issue 1: PRELIMINARY ISSUE.



GENERAL ARRANGEMENT LEGEND

- : INDICATES COLUMN NUMBER
- : INDICATES LOAD BEARING WALL OR COLUMN OVER
- : BH1 INDICATES BOREHOLE NUMBER
(1.2) INDICATES DEPTH TO ?? ROCK BELOW
EXISTING GROUND LEVEL. FOR DETAILS REFER TO ADJACENT
SITE GEOTECHNICAL ENGINEERS REPORT No.
GEOTFYSH09079AA-01 DATED JUNE 2009 BY COFFEY
GEOTECHNICS. ALL GEOTECH PARAMETERS TO BE CONFIRMED
WITH ACTUAL SITE INVESTIGATION BEFORE CONSTRUCTION
- SF1/PF1 : INDICATES FOOTING TYPE. REFER TO SCHEDULE
FOR DETAILS
- P1-A : P1 INDICATES PIER NUMBER
: A INDICATES PIER TYPE. REFER TO SCHEDULE
FOR DETAILS
- : INDICATES BASE OF PAD FOOTING TO BE
LOWERED TO SUIT DEPTH OF ADJACENT FOOTING
EXCAVATION

NOTES:
REFER TO DRAWING No. S001-01 & S001-02 FOR CONSTRUCTION NOTES
SELICK CONSULTANTS TO BE ADVISED IF MINIMUM BEARING CAPACITY
NOT ACHIEVED
ALL FOOTING MATERIAL TO BE INSPECTED BY GEOTECHNICAL ENGINEER
AND BEARING PRESSURE TO BE CONFIRMED

WALL SCHEDULE

MARK	THICKNESS	HORIZ. REINF'T	VERT. REINF'T	CONCRETE STRENGTH
WA1	162mm	N12-400 CENTRAL	N12-400 CENTRAL	32MPa

R = RETAINING U = UPSTAND W = WALL
A = AFS B = BLOCKWORK C = CONCRETE IN-SITU D = DINCEL/RECIWALL P = PRECAST

PAD FOOTING SCHEDULE

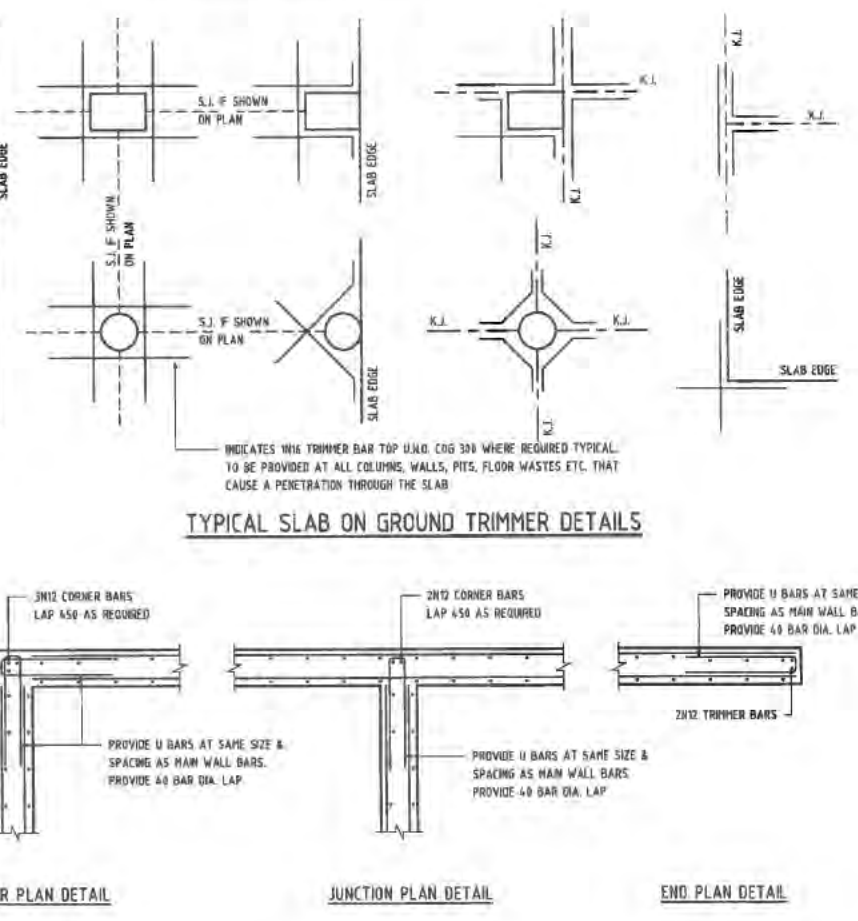
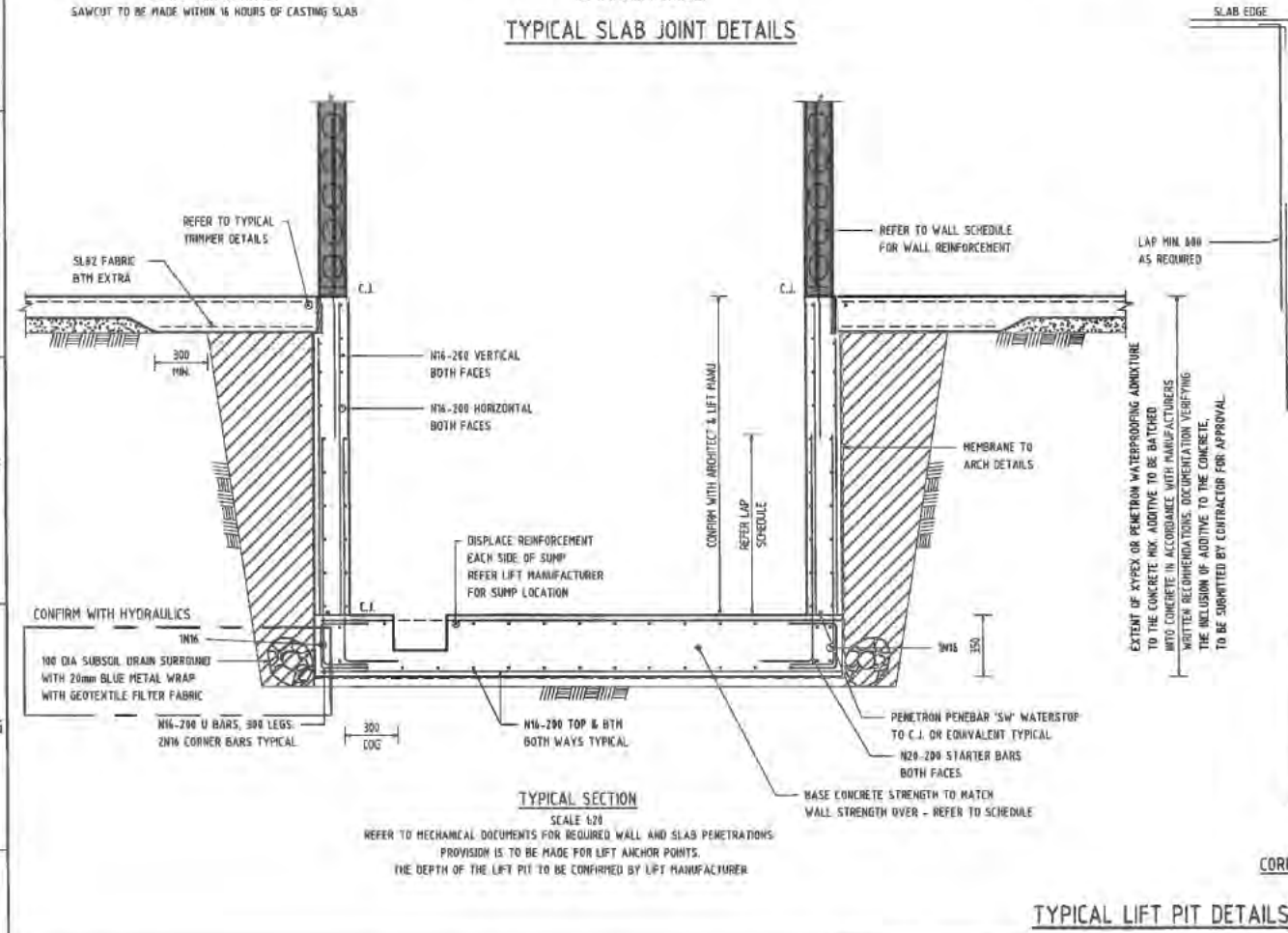
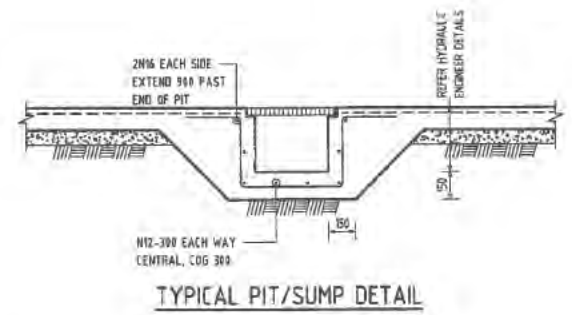
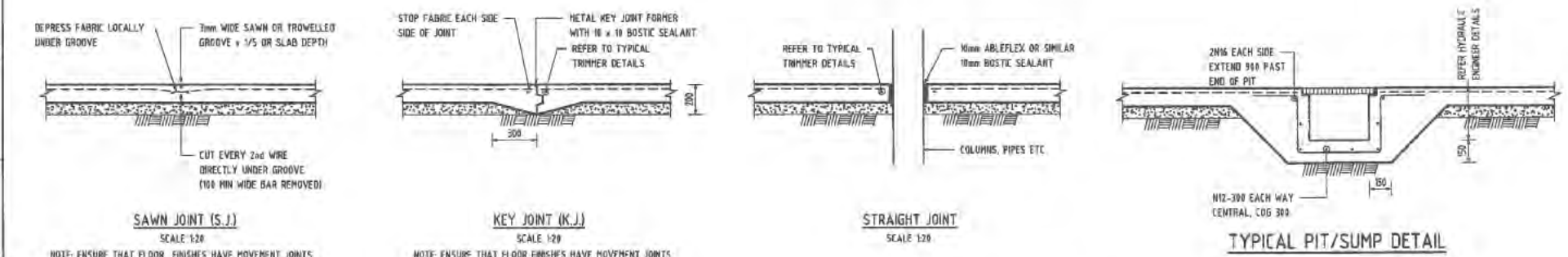
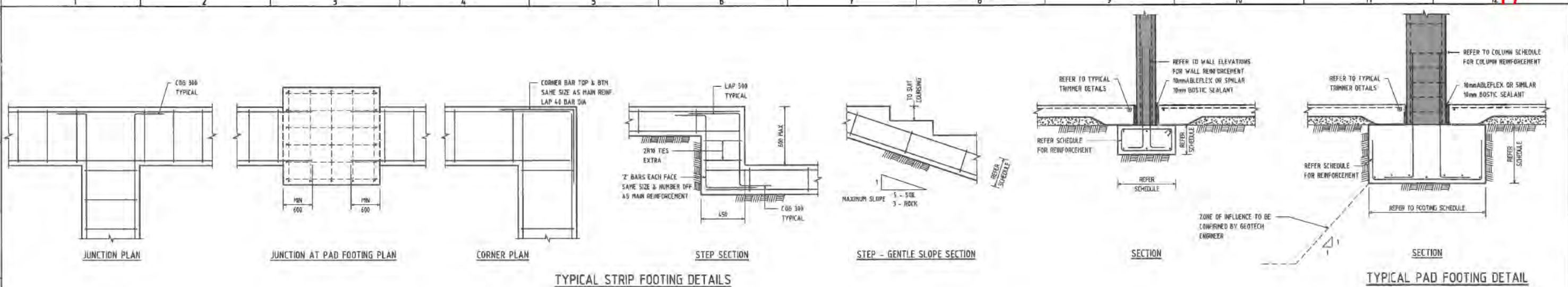
MARK	WIDTH	LENGTH	DEPTH	REINFORCEMENT	CONC STRENGTH	DESIGN LOAD	F'b
PF1	1200	1200	300	6N12 EACH WAY BOTTOM	25MPa	200kN	150kPa
PF2	1600	1600	300	8N16 EACH WAY BOTTOM	25MPa	380kN	150kPa
PF3	1800	1800	300	9N16 EACH WAY BOTTOM	25MPa	460kN	150kPa
PF4	2400	2400	300	12N16 EACH WAY BOTTOM	25MPa	800kN	150kPa

STRIP FOOTING SCHEDULE

MARK	WIDTH	DEPTH	REINFORCEMENT	CONC STRENGTH	DESIGN LOAD	F'b
SF1	44822	300	7N?? TOP & BTM, N??-?? TIES	25MPa	??kN/m	??kPa
SF2	600	300	7N?? TOP & BTM, N??-?? TIES	25MPa	??kN/m	??kPa
SF2	3495	300	7N?? TOP & BTM, N??-?? TIES	25MPa	??kN/m	??kPa

17/08/2016 2:00:02 PM

<p>ISSUE FOR TENDER PRELIMINARY ISSUE</p>	<p>17/08/16 21/07/16</p> <p>RJS GSV</p> <p>DATE DRAWN</p>	<p>CLIENT</p> <p>BRINDABELLA CHRISTIAN COLLEGE CARRERA</p>	<p>ARCHITECT</p> <p>SQC</p>	<p>PROJECT TITLE</p> <p>PROPOSED JUNIOR SCHOOL BUILDING</p> <p>STRUCTURAL CIVIL HYDRAULIC canberra sydney brisbane 02 6201 6200 www.sellickconsultants.com.au</p>	<p>DESIGNED BY</p> <p>CHECKED BY</p> <p>AUTHORISED BY</p> <p>DATE</p>	<p>DRAWING TITLE</p> <p>FOOTING MARKING PLAN</p> <p>PROJECT LOCATION</p> <p>BLOCK 4, SECTION 41 LYNEHAM A.C.T.</p>	<p>SCALE</p> <p>1 : 100 @ A1</p> <p>JOB NO 150918</p> <p>DRAWING NO S100-01</p> <p>REV A</p>
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<p>17/08/2016 2:00:20 PM</p>		<p>CLIENT</p>		<p>Sch 2.2(a)(xi)</p>		<p>sellick consultants STRUCTURAL CIVIL HYDRAULIC canberra sydney brisbane 02 6201 8200 www.sellickconsultants.com.au</p>		<p>PROJECT TITLE PROPOSED JUNIOR SCHOOL BUILDING</p>		<p>DESIGNED BY CHECKED BY AUTHORISED BY DATE</p>		<p>DRAWING TITLE FOOTING & SLAB ON GROUND SECTIONS SHEET 1 PROJECT LOCATION BLOCK 4, SECTION 4.1 LYNEHAM A.C.T.</p>		<p>SCALE 1 : 20 @ A1</p>	
<p>4 ISSUE FOR TENDER</p>		<p>17/08/16</p>		<p>17/08/16</p>		<p>17/08/16</p>		<p>DO NOT SCALE OFF DRAWINGS VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK. Copyright: The concepts and information contained in this document are copyright of Sellick Consultants. Use of copying of this document in whole or in part without written permission constitutes an infringement of copyright.</p>		<p>JOB NO 150918</p>		<p>DRAWING NO S100-80</p>		<p>REV A</p>	
ISSUE	DESCRIPTION	DATE	DRAWN												

Sch 2.2(a)(xi)

GENERAL ARRANGEMENT LEGEND

120 SLAB ON GROUND U.N.O. ON PLAN

$f'c = 25MPa$

- : INDICATES COLUMN NUMBER
- : INDICATES LOADBEARING WALL OR COLUMN OVER
- : INDICATES LOADBEARING WALL OR COLUMN UNDER
- : INDICATES LOADBEARING WALL OR COLUMN UNDER & OVER
- : INDICATES SLAB THICKNESS OVERALL U.N.O.
- : INDICATES STEP IN SLAB
- : INDICATES SAW CUT JOINT
- : INDICATES KEYED JOINT
- : INDICATES FOOTING UNDER

NOTES:

REFER TO DRAWING No. S001-01 & S001-02 FOR CONSTRUCTION NOTES

SLAB TO BE POURED ON 80mm MINIMUM BASECOURSE WITH SAND BLINDING AND VAPOUR BARRIER

REINFORCE SLAB WITH SL62 FABRIC TOP THROUGHOUT (30 COVER) U.N.O. LAP 350 AS REQUIRED

PROVIDE 19mm EXPANDING CORK FILLER AND 12mm DEEP MASTIC SEALANT AROUND ALL COLUMNS AND WALLS. REFER TO TYPICAL STRAIGHT JOINT FOR DETAILS

PROVIDE JOINTS IN FLOOR FINISHES WHERE REQUIRED TO MATCH SLAB JOINTS

REFER TO DRAWING S100-80 FOR SLAB ON GROUND TRIMMER AND JOINT DETAILS

WALL SCHEDULE

MARK	THICKNESS	HORIZ. REINF'T	VERT. REINF'T	CONCRETE STRENGTH
WA1	152mm	N12-400 CENTRAL	N12-400 CENTRAL	32MPa

R = RETAINING U = UPSTAND W = WALL
 A = AFS B = BLOCKWORK C = CONCRETE IN-SITU D = DINCEL/REDIWALL P = PRECAST

17/08/2016 2:00:40 PM

ISSUE	DESCRIPTION	DATE	DRAWN
1	ISSUE FOR TENDER	11.08.14	RIG
2	PRELIMINARY ISSUE	21.07.14	SEV

CLIENT

BRINDABELLA
CHRISTIAN COLLEGE
CANBERRA

Sch 2.2(a)(xi)

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STRUCTURAL CIVIL HYDRAULIC
canberra | sydney | brisbane
02 6201 0200 www.sellickconsultants.com.au

PROJECT TITLE
PROPOSED JUNIOR SCHOOL BUILDING

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DRAWING TITLE
LEVEL 0 MARKING PLAN

PROJECT LOCATION
**BLOCK 4, SECTION 4.1
LYNEHAM A.C.T.**

SCALE
1 : 100 @ A1

JOB NO	DRAWING NO	REV
150918	S101-01	A

Sch 2.2(a)(xi)

GENERAL ARRANGEMENT LEGEND

F'c = 32MPa

- : INDICATES COLUMN NUMBER
- : INDICATES COLUMN NUMBER UNDER
- : INDICATES LOADBEARING WALL OR COLUMN OVER
- : INDICATES LOADBEARING WALL OR COLUMN UNDER
- : INDICATES LOADBEARING WALL OR COLUMN UNDER & OVER
- : INDICATES SLAB/BAND BEAM THICKNESS OVERALL U.N.O.
- : INDICATES STEP IN SLAB
- : INDICATES FLOOR PENETRATION LOCATION IN SLAB
- : INDICATES HYDRAULIC CAST-IN SLEEVE ZONE
- : INDICATES 40MPa CONCRETE HEAD AROUND COLUMN (2400x2400)
- : INDICATES EXTENT AND SPAN DIRECTION OF 0.75BMT BONDEK METAL FORMWORK SHEETING
- : INDICATES ANCON SHEAR CONNECTOR. REFER TO DRAWING S280-01 FOR DETAILS.

NOTES:

- REFER TO DRAWING No. 5001-01 & 5001-02 FOR CONSTRUCTION NOTES
- REFER TO ARCHITECTS DRAWINGS FOR LOCATION & SETOUT OF ALL SLAB EDGES, COLUMNS, WALLS, HOBS, SETDOWNS ETC.

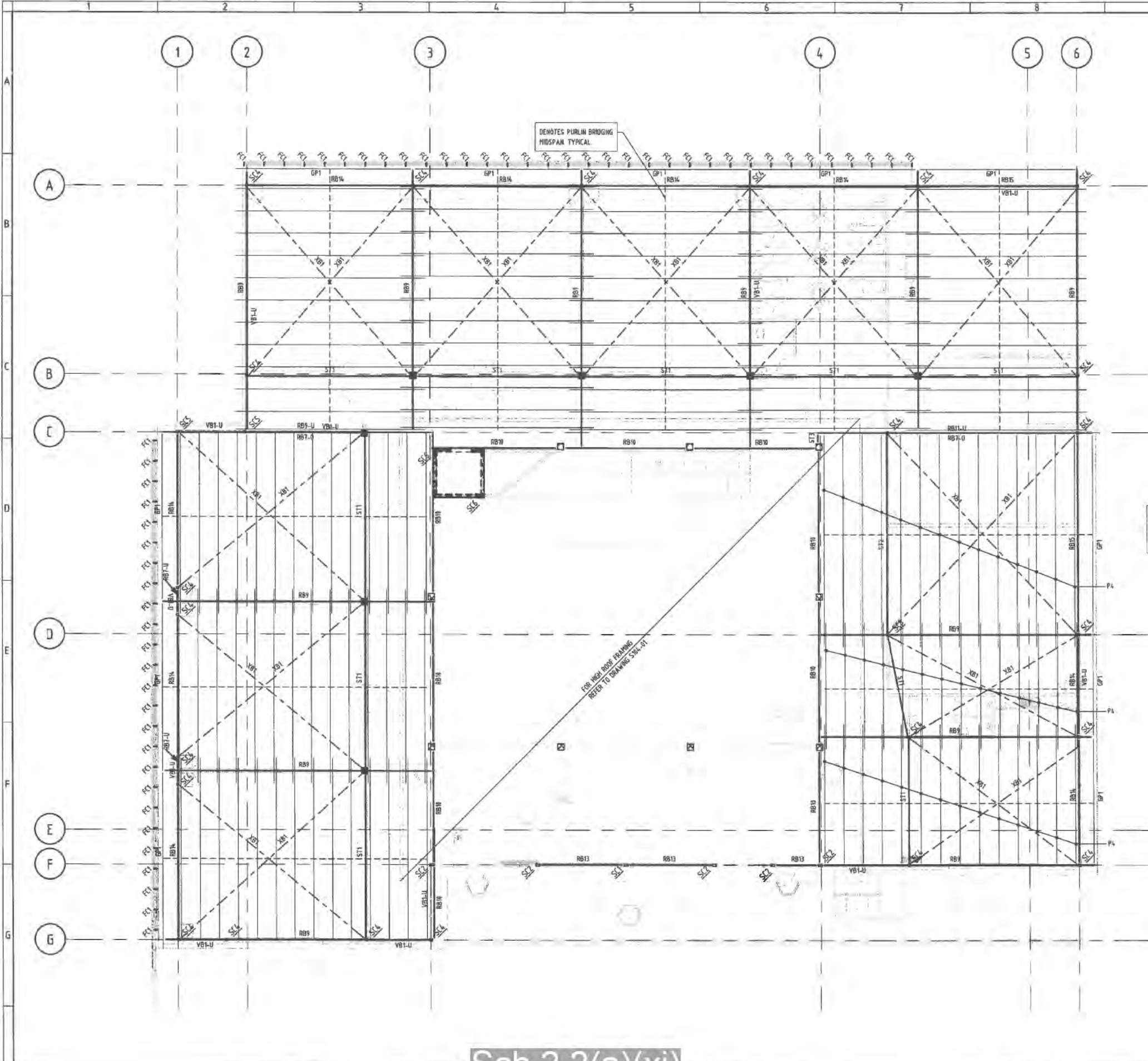
WALL SCHEDULE

MARK	THICKNESS	HORIZ. REINF'T	VERT. REINF'T	CONCRETE STRENGTH
WA1	162mm	N12-400 CENTRAL	N12-400 CENTRAL	32MPa

R = RETAINING U = UPSTAND W = WALL
 A = AFS B = BLOCKWORK C = CONCRETE IN-SITU D = DIMCEL/REDIWALL P = PRECAST

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<p>ISSUE FOR TENDER</p> <p>1 PRELIMINARY ISSUE</p>		<p>17/08/16</p> <p>21/07/16</p>	<p>9/6</p> <p>GSV</p>	<p>CLIENT</p> <p>BRINDABELLA CHRISTIAN COLLEGE CANBERRA</p>	<p>Sch 2.2(a)(xi)</p>	<p>sellick consultants STRUCTURAL CIVIL HYDRAULIC canberra sydney brisbane 02 6201 8200 www.sellickconsultants.com.au</p>	<p>PROJECT TITLE</p> <p>PROPOSED JUNIOR SCHOOL BUILDING</p> <p>DO NOT SCALE OFF DRAWINGS VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK Copyright: The concepts and information contained in this document are copyright of Sellick Consultants. Use or copying of this document in whole or in part without written permission constitutes an infringement of copyright.</p>	<p>DESIGNED BY</p> <p>CHECKED BY</p> <p>AUTHORISED BY</p> <p>DATE</p>	<p>DRAWING TITLE</p> <p>LEVEL 1 MARKING PLAN</p> <p>PROJECT LOCATION</p> <p>BLOCK 4, SECTION 41 LYNEHAM A.C.T.</p>	<p>SCALE</p> <p>1 : 100 @ A1</p>	<p>JOB NO</p> <p>150918</p>	<p>DRAWING NO</p> <p>S102-01</p>	<p>REV</p> <p>A</p>
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GENERAL ARRANGEMENT LEGEND	
	INDICATES COLUMN NUMBER
	INDICATES COLUMN NUMBER UNDER
	INDICATES LOADBEARING WALL OR COLUMN OVER
	INDICATES LOADBEARING WALL OR COLUMN UNDER
	INDICATES LOADBEARING WALL OR COLUMN UNDER & OVER
	INDICATES LOCATION & AMOUNT OF UPWARD PRECAMBER IN MEMBER

NOTES:
REFER TO DRAWING No. 5001-01 & 5001-02 FOR CONSTRUCTION NOTES

WALL SCHEDULE				
MARK	THICKNESS	HORIZ. REINF'T	VERT. REINF'T	CONCRETE STRENGTH
WA1	152mm	N12-400 CENTRAL	N12-400 CENTRAL	32MPa

R = RETAINING U = UPSTAND W = WALL
A = AFS B = BLOCKWORK C = CONCRETE IN-SITU D = DINCEL/REDWALL P = PRECAST

STEEL MEMBER SCHEDULE			
MARK	TYPE	SIZE	REMARKS
FB	FLY BRACE	75 x 75 x 6 EA	
FB1	FACADE BEAM	100 PFC	GALV.
FB2	FACADE BEAM	100 x 100 x 8 EA	GALV.
FC1	FACADE COLUMN	150 x 50 x 5.0 RHS	GALV. CURVED IN ELEVATION
GP1	GUTTER PURLIN	C25024	
GP2	GUTTER PURLIN	C20024	
H1	HANGER	100 x 50 x 6.0 RHS	
L1	LINTEL	150 x 100 x 10.0 UA	
P1	PURLIN	C25019 @ 900 CTRS MAX.	
P2	PURLIN	C20019 @ 900 CTRS MAX.	
P3	PURLIN	C20015 @ 900 CTRS MAX.	
P4	PURLIN	Z25024 @ 900 CTRS MAX. LAPPED 1200	
P5	PURLIN	Z25019 @ 900 CTRS MAX. LAPPED 1200	
RB1	ROOF BEAM	250 UB 31	
RB2	ROOF BEAM	250 UB 26	
RB3	ROOF BEAM	360 UB 57	PRECAMBER +15mm @ MIDSPAN
RB4	ROOF BEAM	310 UB 40	
RB5	ROOF BEAM	530 UB 82	PRECAMBER +25mm @ MIDSPAN
RB6	ROOF BEAM	460 UB 82	
RB7	ROOF BEAM	200 PFC	
RB8	ROOF BEAM	200 UB 22	
RB9	ROOF BEAM	310 UB 46	PRECAMBER +10mm @ MIDSPAN
RB10	ROOF BEAM	250 UB 37	
RB11	ROOF BEAM	360 UB 45	
RB13	ROOF BEAM	150 x 100 x 5.0 RHS	GALV.
RB14	ROOF BEAM	200 x 100 x 9.0 RHS	
RB15	ROOF BEAM	250 x 150 x 5.0 RHS	
SC1	STEEL COLUMN	200 x 100 x 9.0 RHS	GALV.
SC2	STEEL COLUMN	200 x 100 x 6.0 RHS	GALV.
SC3	STEEL COLUMN	150 x 100 x 6.0 RHS	GALV.
SC4	STEEL COLUMN	100 x 100 x 6.0 SHS	
SC5	STEEL COLUMN	100 x 100 x 9.0 SHS	
SC6	STEEL COLUMN	150 x 150 x 6.0 SHS	
ST1	ROOF STRUT	125 x 125 x 9.0 SHS	
ST2	ROOF STRUT	200 x 200 x 6.0 SHS	
ST3	ROOF STRUT	150 x 150 x 6.0 SHS	
VB1	CROSS BRACING	20 DIA ROD	
XB1	CROSS BRACING	20 DIA ROD	

17/08/2016 2:01:36 PM

Sch 2.2(a)(xi)

CLIENT		BRINDABELLA CHRISTIAN COLLEGE	
ISSUE	DESCRIPTION	DATE	DRAWN
A	ISSUE FOR TENDER	17/08/16	RIG
1	PRELIMINARY ISSUE	21/07/16	OSV

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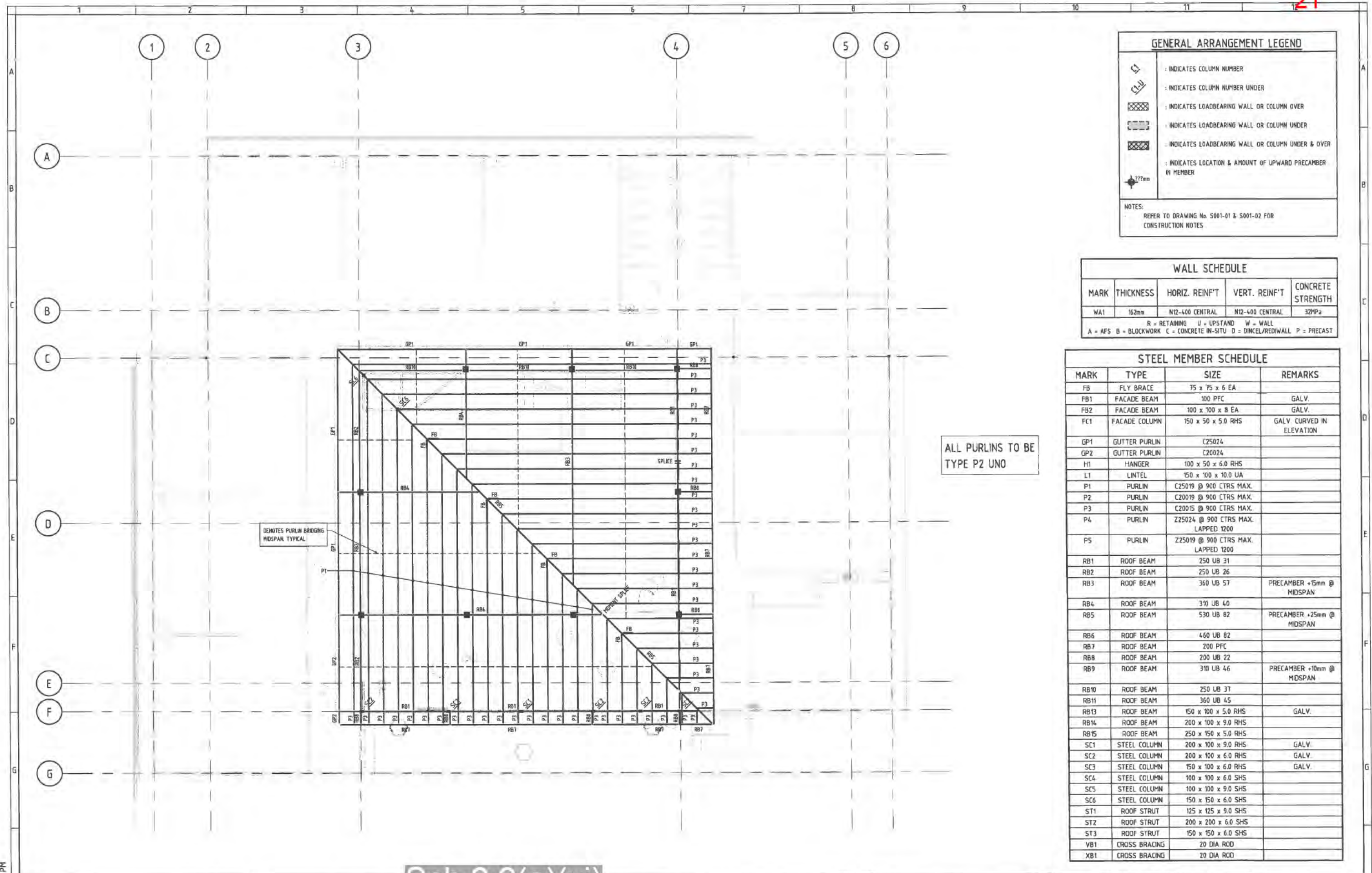
PROJECT TITLE
PROPOSED JUNIOR SCHOOL BUILDING

DESIGNED BY
CHECKED BY
AUTHORISED BY
DATE

DRAWING TITLE
LOWER ROOF MARKING PLAN

PROJECT LOCATION
BLOCK 4, SECTION 41 LYNEHAM A.C.T.

SCALE	1: 100 @ A1
JOB NO	150918
DRAWING NO	S103-01
REV	A



GENERAL ARRANGEMENT LEGEND	
	: INDICATES COLUMN NUMBER
	: INDICATES COLUMN NUMBER UNDER
	: INDICATES LOADBEARING WALL OR COLUMN OVER
	: INDICATES LOADBEARING WALL OR COLUMN UNDER
	: INDICATES LOADBEARING WALL OR COLUMN UNDER & OVER
	: INDICATES LOCATION & AMOUNT OF UPWARD PRECAMBER IN MEMBER

NOTES:
REFER TO DRAWING No. S001-01 & S001-02 FOR CONSTRUCTION NOTES

WALL SCHEDULE				
MARK	THICKNESS	HORIZ. REINF'T	VERT. REINF'T	CONCRETE STRENGTH
WA1	152mm	N12-400 CENTRAL	N12-400 CENTRAL	32MPa

R = RETAINING U = UPSTAND W = WALL
A = AFS B = BLOCKWORK C = CONCRETE IN-SITU D = DINCEL/REDIWALL P = PRECAST

STEEL MEMBER SCHEDULE			
MARK	TYPE	SIZE	REMARKS
FB	FLY BRACE	75 x 75 x 6 EA	
FB1	FACADE BEAM	100 PFC	GALV.
FB2	FACADE BEAM	100 x 100 x 8 EA	GALV.
FC1	FACADE COLUMN	150 x 50 x 5.0 RHS	GALV CURVED IN ELEVATION
GP1	GUTTER PURLIN	C25024	
GP2	GUTTER PURLIN	C20024	
H1	HANGER	100 x 50 x 6.0 RHS	
L1	LINTEL	150 x 100 x 10.0 UA	
P1	PURLIN	C25019 @ 900 CTRS MAX.	
P2	PURLIN	C20019 @ 900 CTRS MAX.	
P3	PURLIN	C20015 @ 900 CTRS MAX.	
P4	PURLIN	Z25024 @ 900 CTRS MAX. LAPPED 1200	
P5	PURLIN	Z25019 @ 900 CTRS MAX. LAPPED 1200	
RB1	ROOF BEAM	250 UB 31	
RB2	ROOF BEAM	250 UB 26	
RB3	ROOF BEAM	360 UB 57	PRECAMBER +15mm @ MIDSPAN
RB4	ROOF BEAM	310 UB 40	
RB5	ROOF BEAM	530 UB 82	PRECAMBER +25mm @ MIDSPAN
RB6	ROOF BEAM	460 UB 82	
RB7	ROOF BEAM	200 PFC	
RB8	ROOF BEAM	200 UB 22	
RB9	ROOF BEAM	310 UB 46	PRECAMBER +10mm @ MIDSPAN
RB10	ROOF BEAM	250 UB 37	
RB11	ROOF BEAM	360 UB 45	
RB13	ROOF BEAM	150 x 100 x 5.0 RHS	GALV.
RB14	ROOF BEAM	200 x 100 x 9.0 RHS	
RB15	ROOF BEAM	250 x 150 x 5.0 RHS	
SC1	STEEL COLUMN	200 x 100 x 9.0 RHS	GALV.
SC2	STEEL COLUMN	200 x 100 x 6.0 RHS	GALV.
SC3	STEEL COLUMN	150 x 100 x 6.0 RHS	GALV.
SC4	STEEL COLUMN	100 x 100 x 6.0 SHS	
SC5	STEEL COLUMN	100 x 100 x 9.0 SHS	
SC6	STEEL COLUMN	150 x 150 x 6.0 SHS	
ST1	ROOF STRUT	125 x 125 x 9.0 SHS	
ST2	ROOF STRUT	200 x 200 x 6.0 SHS	
ST3	ROOF STRUT	150 x 150 x 6.0 SHS	
VB1	CROSS BRACING	20 DIA ROD	
XB1	CROSS BRACING	20 DIA ROD	

17/08/2016 2:02:07 PM

Sch 2.2(a)(xi)

ISSUE	DESCRIPTION	DATE	DRAWN
1	ISSUE FOR TENDER	17/08/16	R/G
2	PRELIMINARY ISSUE	21/07/16	GSY



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PROJECT TITLE
PROPOSED JUNIOR SCHOOL BUILDING

DESIGNED BY
CHECKED BY
AUTHORISED BY
DATE

DRAWING TITLE
UPPER ROOF MARKING PLAN

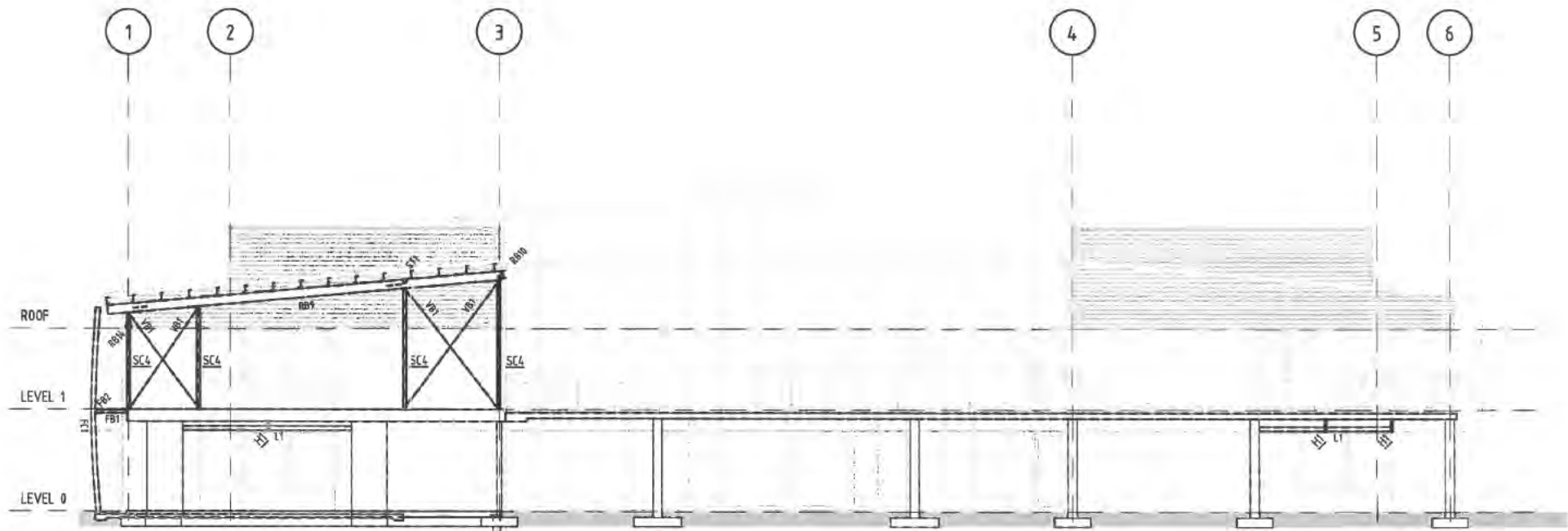
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PROJECT LOCATION
**BLOCK 4, SECTION 41
LYNEHAM A.C.T.**

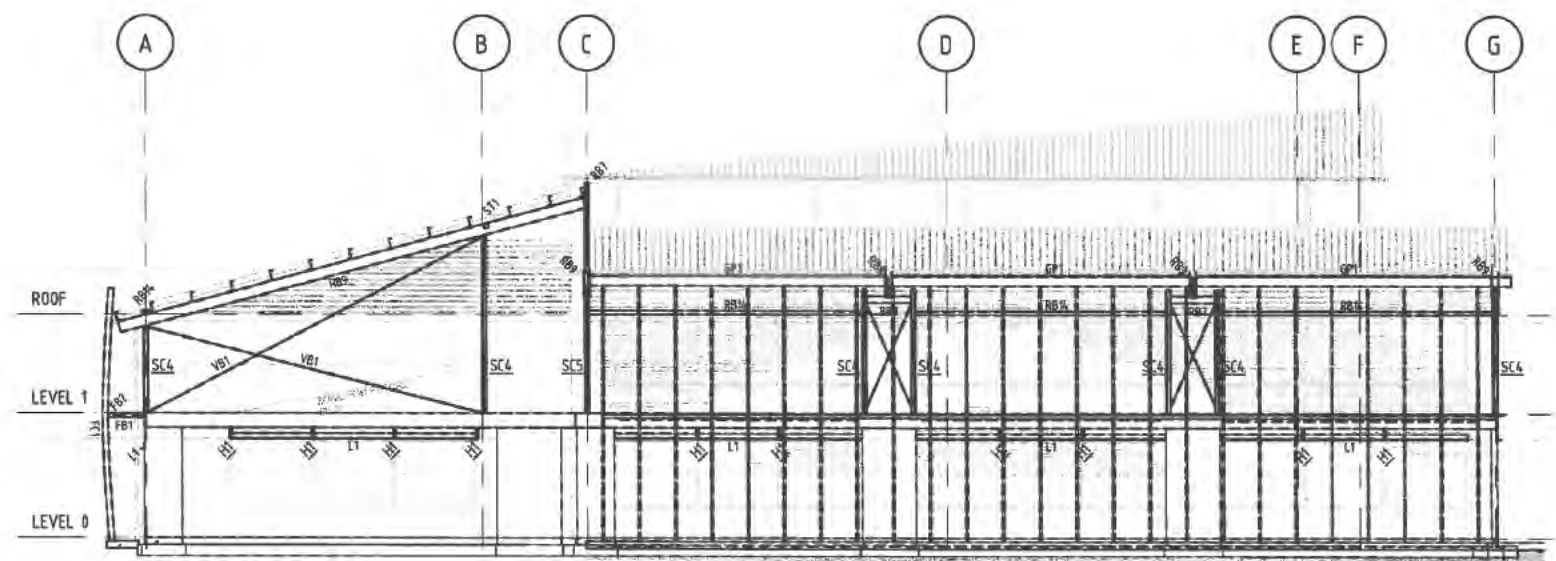
JOB NO
150918

DRAWING NO
S104-01

REV
A



ELEVATION C
1:100
S105-01



ELEVATION D
1:100
S105-01

STEEL MEMBER SCHEDULE			
MARK	TYPE	SIZE	REMARKS
FB	FLY BRACE	75 x 75 x 6 EA	
FB1	FACADE BEAM	100 PFC	GALV.
FB2	FACADE BEAM	100 x 100 x 8 EA	GALV.
FC1	FACADE COLUMN	150 x 50 x 5.0 RHS	GALV. CURVED IN ELEVATION
GP1	GUTTER PURLIN	C25024	
GP2	GUTTER PURLIN	C20024	
H1	HANGER	100 x 50 x 6.0 RHS	
L1	LINTEL	150 x 100 x 10.0 UA	
P1	PURLIN	C25019 @ 900 CTRS MAX.	
P2	PURLIN	C20019 @ 900 CTRS MAX.	
P3	PURLIN	C20015 @ 900 CTRS MAX.	
P4	PURLIN	Z25024 @ 900 CTRS MAX. LAPPED 1200	
P5	PURLIN	Z25019 @ 900 CTRS MAX. LAPPED 1200	
RB1	ROOF BEAM	250 UB 31	
RB2	ROOF BEAM	250 UB 26	
RB3	ROOF BEAM	360 UB 57	PRECAMBER +15mm @ MIDSPAN
RB4	ROOF BEAM	310 UB 40	
RB5	ROOF BEAM	530 UB 82	PRECAMBER +25mm @ MIDSPAN
RB6	ROOF BEAM	450 UB 82	
RB7	ROOF BEAM	200 PFC	
RB8	ROOF BEAM	200 UB 22	
RB9	ROOF BEAM	310 UB 46	PRECAMBER +10mm @ MIDSPAN
RB10	ROOF BEAM	250 UB 37	
RB11	ROOF BEAM	360 UB 45	
RB13	ROOF BEAM	150 x 100 x 5.0 RHS	GALV.
RB14	ROOF BEAM	200 x 100 x 9.0 RHS	
RB15	ROOF BEAM	250 x 150 x 5.0 RHS	
SC1	STEEL COLUMN	200 x 100 x 9.0 RHS	GALV.
SC2	STEEL COLUMN	200 x 100 x 6.0 RHS	GALV.
SC3	STEEL COLUMN	150 x 100 x 6.0 RHS	GALV.
SC4	STEEL COLUMN	100 x 100 x 6.0 SHS	
SC5	STEEL COLUMN	100 x 100 x 9.0 SHS	
SC6	STEEL COLUMN	150 x 150 x 6.0 SHS	
ST1	ROOF STRUT	125 x 125 x 9.0 SHS	
ST2	ROOF STRUT	200 x 200 x 6.0 SHS	
ST3	ROOF STRUT	150 x 150 x 6.0 SHS	
YB1	CROSS BRACING	20 DIA ROD	
XB1	CROSS BRACING	20 DIA ROD	

17/08/2016 2:02:58 PM

Sch 2.2(a)(xi)

ISSUE	DESCRIPTION	DATE	DRAWN
1	ISSUE FOR TENDER	17/08/16	RJG
2	PRELIMINARY ISSUE	21/01/16	CSV



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PROJECT TITLE
PROPOSED JUNIOR SCHOOL BUILDING

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DRAWING TITLE
STEELWORK ELEVATIONS SHEET

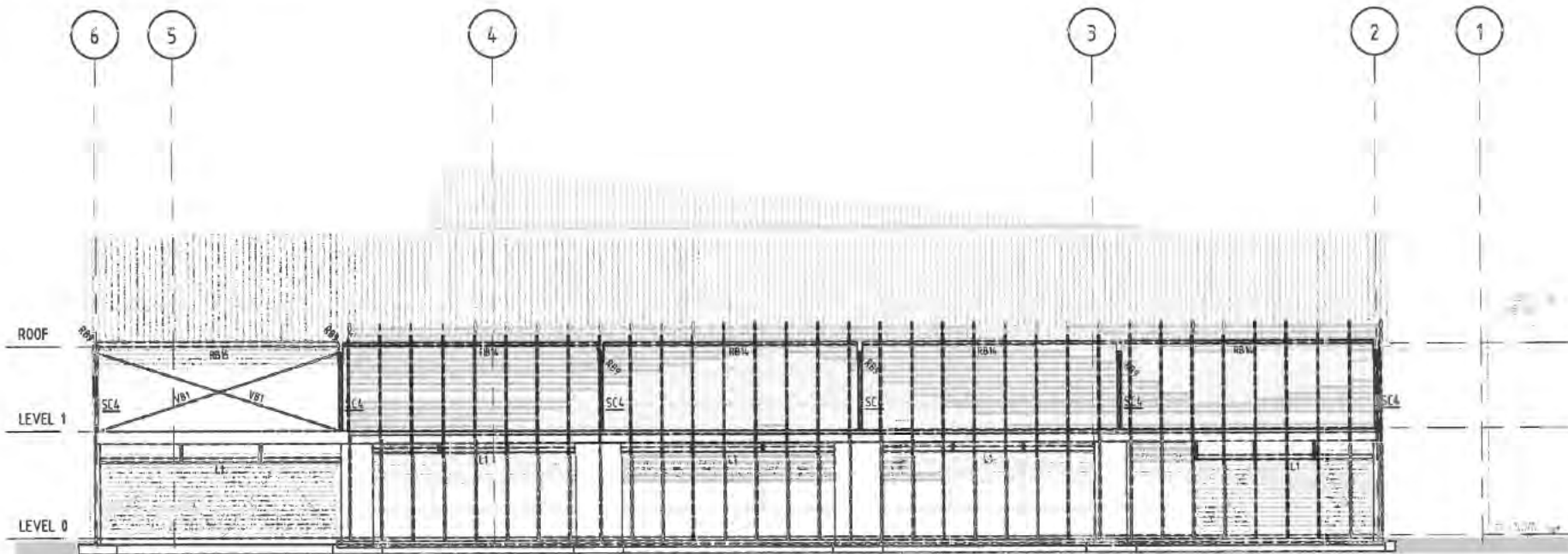
PROJECT LOCATION
BLOCK 4, SECTION 41 LYNEHAM A.C.T.

SCALE
1:100 @ A1

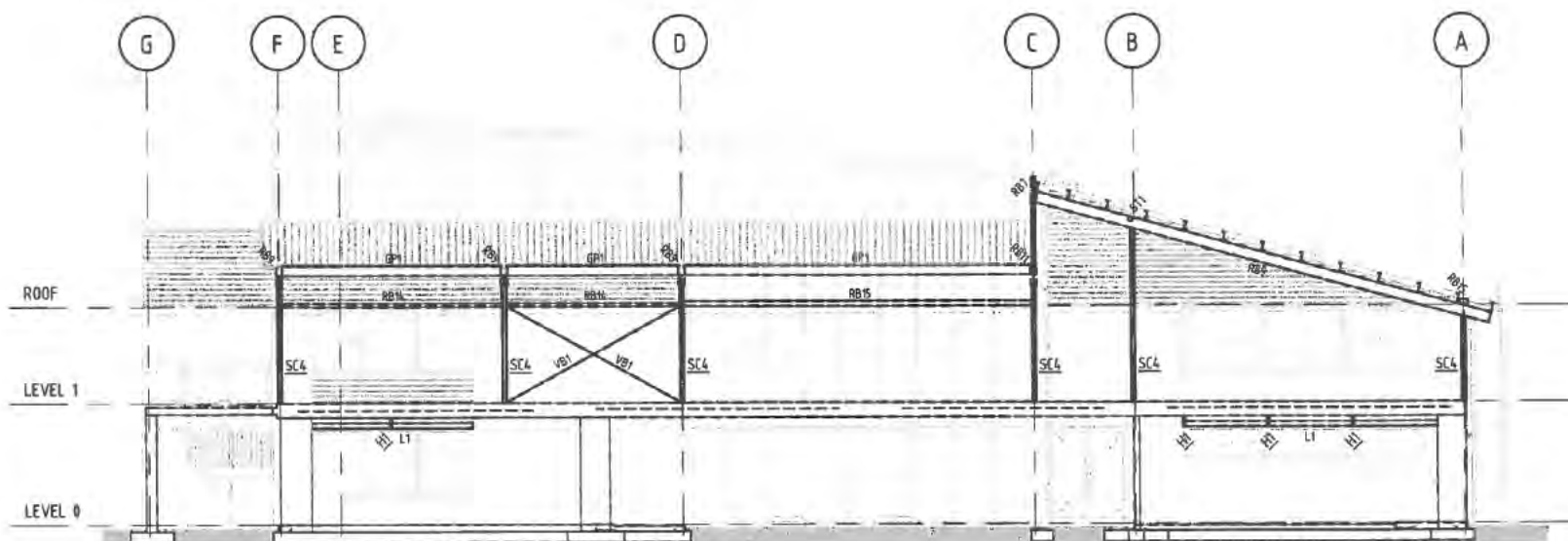
JOB NO
150918

DRAWING NO
S105-21

REV
A



ELEVATION A
1:100
S105-01



ELEVATION B
1:100
S105-01

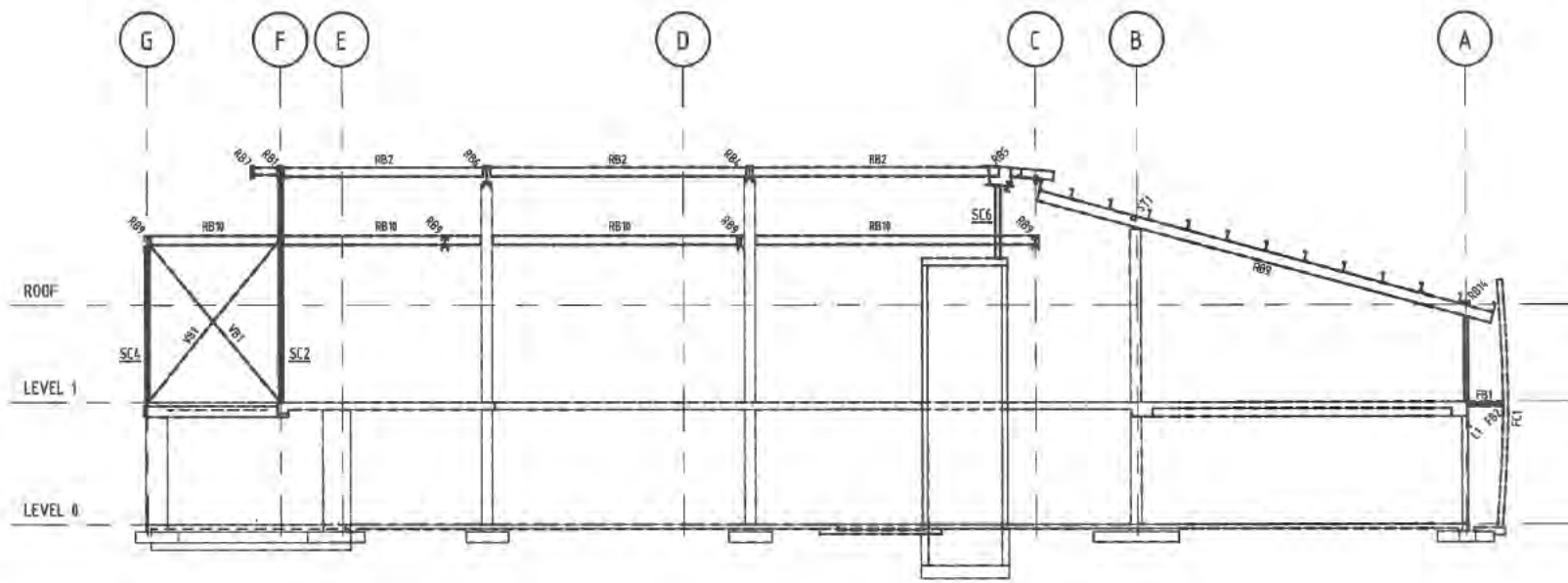
STEEL MEMBER SCHEDULE			
MARK	TYPE	SIZE	REMARKS
FB	FLY BRACE	75 x 75 x 6 EA	
FB1	FACADE BEAM	100 PFC	GALV.
FB2	FACADE BEAM	100 x 100 x 8 EA	GALV.
FC1	FACADE COLUMN	150 x 50 x 5.0 RHS	GALV. CURVED IN ELEVATION
GP1	GUTTER PURLIN	C25024	
GP2	GUTTER PURLIN	C20024	
H1	HANGER	100 x 50 x 6.0 RHS	
L1	LINTEL	150 x 100 x 10.0 UA	
P1	PURLIN	C25019 @ 900 CTRS MAX.	
P2	PURLIN	C20019 @ 900 CTRS MAX.	
P3	PURLIN	C20015 @ 900 CTRS MAX.	
P4	PURLIN	Z25024 @ 900 CTRS MAX. LAPPED 1200	
P5	PURLIN	Z25019 @ 900 CTRS MAX. LAPPED 1200	
RB1	ROOF BEAM	250 UB 31	
RB2	ROOF BEAM	250 UB 26	
RB3	ROOF BEAM	360 UB 57	PRECAMBER +15mm @ MIDSPAN
RB4	ROOF BEAM	310 UB 40	
RB5	ROOF BEAM	530 UB 82	PRECAMBER +25mm @ MIDSPAN
RB6	ROOF BEAM	460 UB 82	
RB7	ROOF BEAM	200 PFC	
RB8	ROOF BEAM	200 UB 22	
RB9	ROOF BEAM	310 UB 46	PRECAMBER +10mm @ MIDSPAN
RB10	ROOF BEAM	250 UB 37	
RB11	ROOF BEAM	360 UB 45	
RB13	ROOF BEAM	150 x 100 x 5.0 RHS	GALV.
RB14	ROOF BEAM	200 x 100 x 9.0 RHS	
RB15	ROOF BEAM	250 x 150 x 5.0 RHS	
SC1	STEEL COLUMN	200 x 100 x 9.0 RHS	GALV.
SC2	STEEL COLUMN	200 x 100 x 6.0 RHS	GALV.
SC3	STEEL COLUMN	150 x 100 x 6.0 RHS	GALV.
SC4	STEEL COLUMN	100 x 100 x 6.0 SHS	
SC5	STEEL COLUMN	100 x 100 x 9.0 SHS	
SC6	STEEL COLUMN	150 x 150 x 6.0 SHS	
ST1	ROOF STRUT	125 x 125 x 9.0 SHS	
ST2	ROOF STRUT	200 x 200 x 6.0 SHS	
ST3	ROOF STRUT	150 x 150 x 6.0 SHS	
VB1	CROSS BRACING	20 DIA ROD	
XB1	CROSS BRACING	20 DIA ROD	

17/08/2016 2:02:38 PM

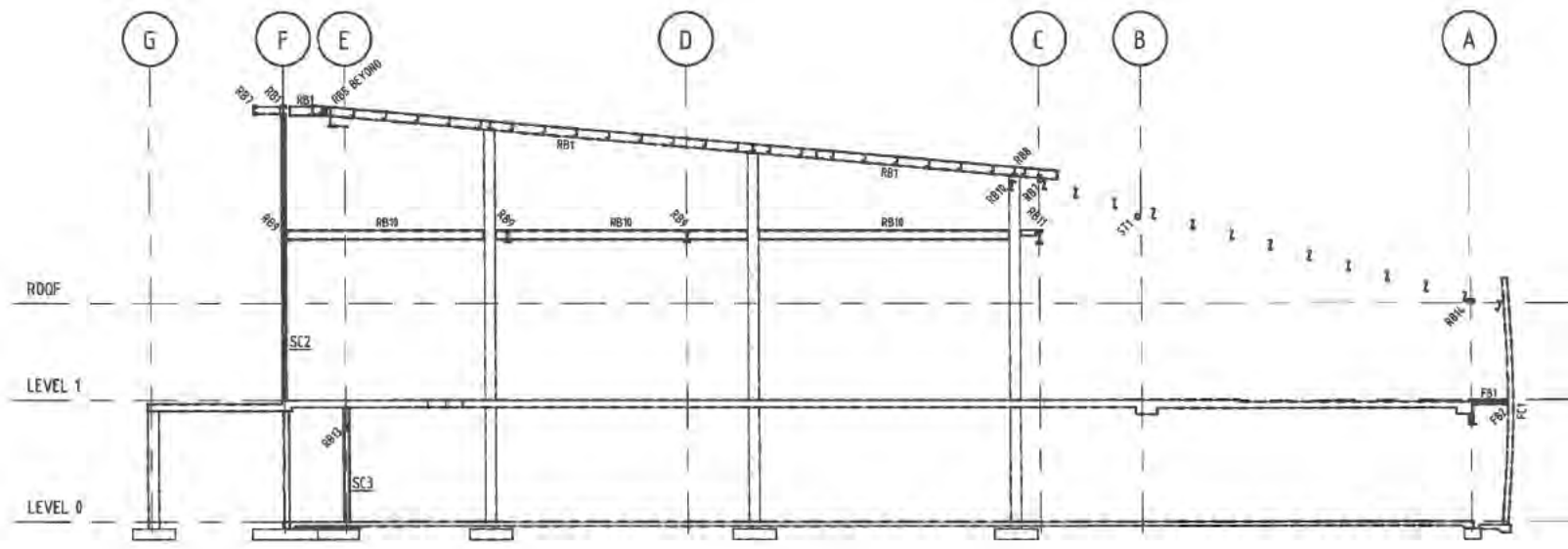
Sch 2.2(a)(xi)

<p>ISSUE FOR TENDER</p> <p>1 PRELIMINARY ISSUE</p>		<p>17.08.16</p> <p>21.07.16</p> <p>DATE</p>	<p>RIG</p> <p>GSY</p> <p>DRAWN</p>	<p>CLIENT</p> <p>BRINDABELLA CHRISTIAN COLLEGE CANNIBRA</p>	<p>sellick consultants STRUCTURAL CIVIL HYDRAULIC canberra sydney brisbane 02 6201 0200 www.sellickconsultants.com.au</p>	<p>PROJECT TITLE</p> <p>PROPOSED JUNIOR SCHOOL BUILDING</p> <p>DO NOT SCALE OFF DRAWINGS VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK Copyright: The concepts and information contained in this document are copyright of Sellick Consultants. Use or copying of this document in whole or in part without written permission constitutes an infringement of copyright.</p>	<p>DESIGNED BY</p> <p>CHECKED BY</p> <p>AUTHORISED BY</p> <p>DATE</p>	<p>DRAWING TITLE</p> <p>STEELWORK ELEVATIONS SHEET</p> <p>1</p> <p>PROJECT LOCATION</p> <p>BLOCK 4, SECTION 41 LYNEHAM A.C.T.</p>	<p>SCALE</p> <p>1:100 @ A1</p> <p>JOB NO</p> <p>150918</p> <p>DRAWING NO</p> <p>S105-20</p> <p>REV</p> <p>A</p>
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STEEL MEMBER SCHEDULE			
MARK	TYPE	SIZE	REMARKS
FB	FLY BRACE	75 x 75 x 6 EA	
FB1	FACADE BEAM	100 PFC	GALV.
FB2	FACADE BEAM	100 x 100 x 8 EA	GALV.
FC1	FACADE COLUMN	150 x 50 x 5.0 RHS	GALV. CURVED IN ELEVATION
GP1	GUTTER PURLIN	C25024	
GP2	GUTTER PURLIN	C20024	
H1	HANGER	100 x 50 x 6.0 RHS	
L1	LINTEL	150 x 100 x 10.0 UA	
P1	PURLIN	C25019 @ 900 CTRS MAX.	
P2	PURLIN	C20019 @ 900 CTRS MAX.	
P3	PURLIN	C20015 @ 900 CTRS MAX.	
P4	PURLIN	Z25024 @ 900 CTRS MAX. LAPPED 1200	
P5	PURLIN	Z25019 @ 900 CTRS MAX. LAPPED 1200	
RB1	ROOF BEAM	250 UB 31	
RB2	ROOF BEAM	250 UB 26	
RB3	ROOF BEAM	360 UB 57	PRECAMBER +15mm @ MIDSPAN
RB4	ROOF BEAM	310 UB 40	
RB5	ROOF BEAM	530 UB 82	PRECAMBER +25mm @ MIDSPAN
RB6	ROOF BEAM	460 UB 82	
RB7	ROOF BEAM	200 PFC	
RB8	ROOF BEAM	200 UB 22	
RB9	ROOF BEAM	310 UB 46	PRECAMBER +10mm @ MIDSPAN
RB10	ROOF BEAM	250 UB 37	
RB11	ROOF BEAM	360 UB 45	
RB13	ROOF BEAM	150 x 100 x 5.0 RHS	GALV.
RB14	ROOF BEAM	200 x 100 x 9.0 RHS	
RB15	ROOF BEAM	250 x 150 x 5.0 RHS	
SC1	STEEL COLUMN	200 x 100 x 9.0 RHS	GALV.
SC2	STEEL COLUMN	200 x 100 x 6.0 RHS	GALV.
SC3	STEEL COLUMN	150 x 100 x 6.0 RHS	GALV.
SC4	STEEL COLUMN	100 x 100 x 6.0 SHS	
SC5	STEEL COLUMN	100 x 100 x 9.0 SHS	
SC6	STEEL COLUMN	150 x 150 x 6.0 SHS	
ST1	ROOF STRUT	125 x 125 x 9.0 SHS	
ST2	ROOF STRUT	200 x 200 x 6.0 SHS	
ST3	ROOF STRUT	150 x 150 x 6.0 SHS	
VB1	CROSS BRACING	20 DIA ROD	
XB1	CROSS BRACING	20 DIA ROD	



SECTION 1
1: 100



SECTION F
1: 100

17/08/2016 2:03:03 PM

Sch 2.2(a)(xi)

ISSUE FOR TENDER	DATE	DRAWN

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CHRISTIAN COLLEGE

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canberra | sydney | brisbane
02 6201 0200 www.sellickconsultants.com.au

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DRAWING TITLE
STEELWORK ELEVATIONS SHEET

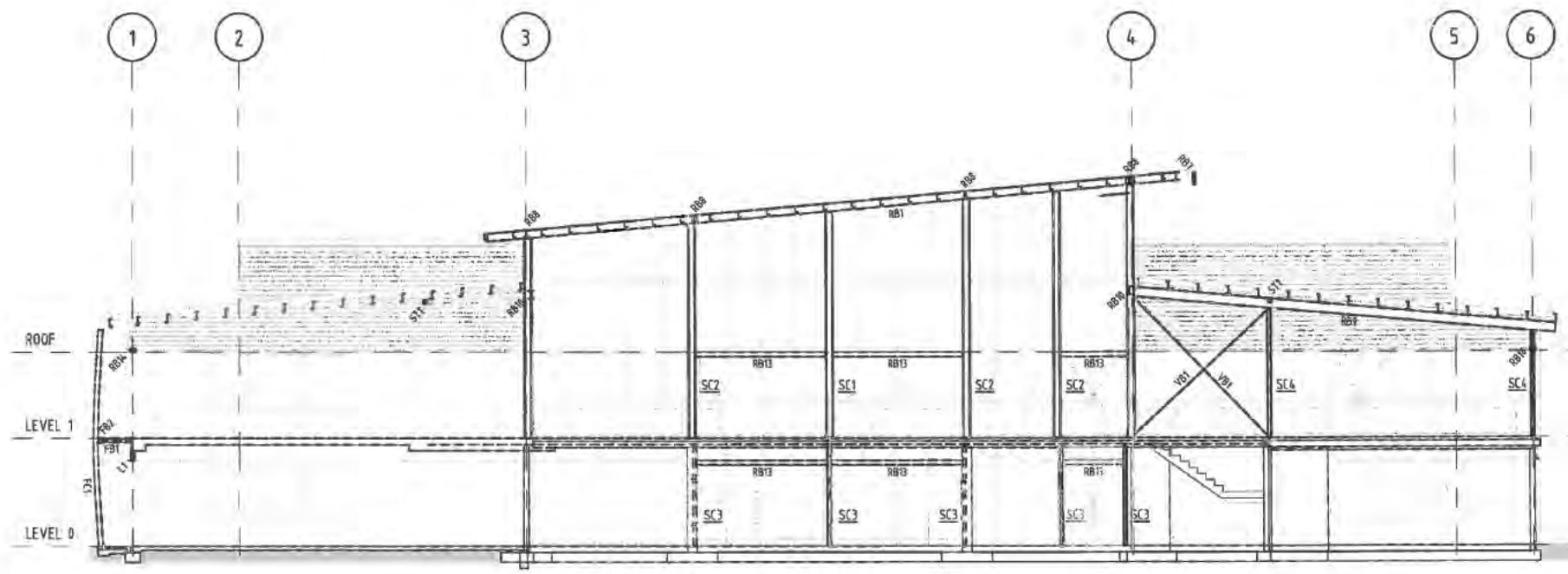
PROJECT LOCATION
**BLOCK 4, SECTION 41
LYNEHAM A.C.T.**

SCALE
1 : 100 @ A1

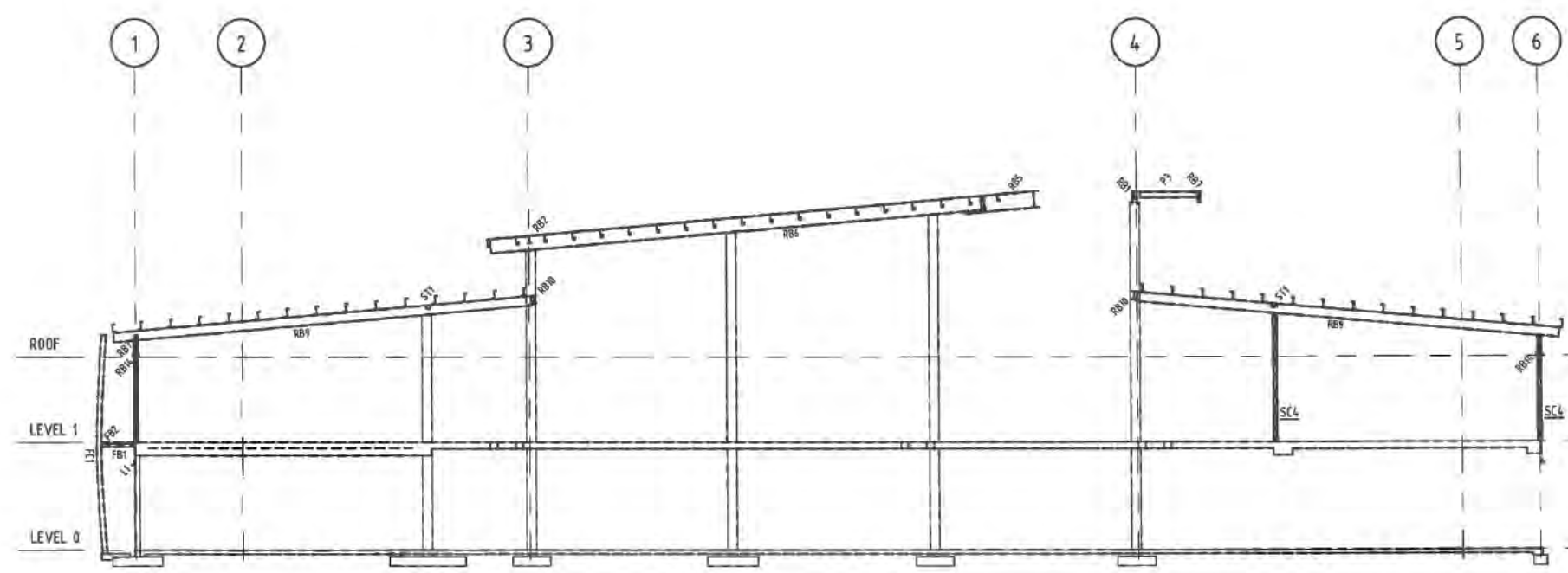
JOB NO
150918

DRAWING NO
S105-22

REV
A



SECTION G
1:100

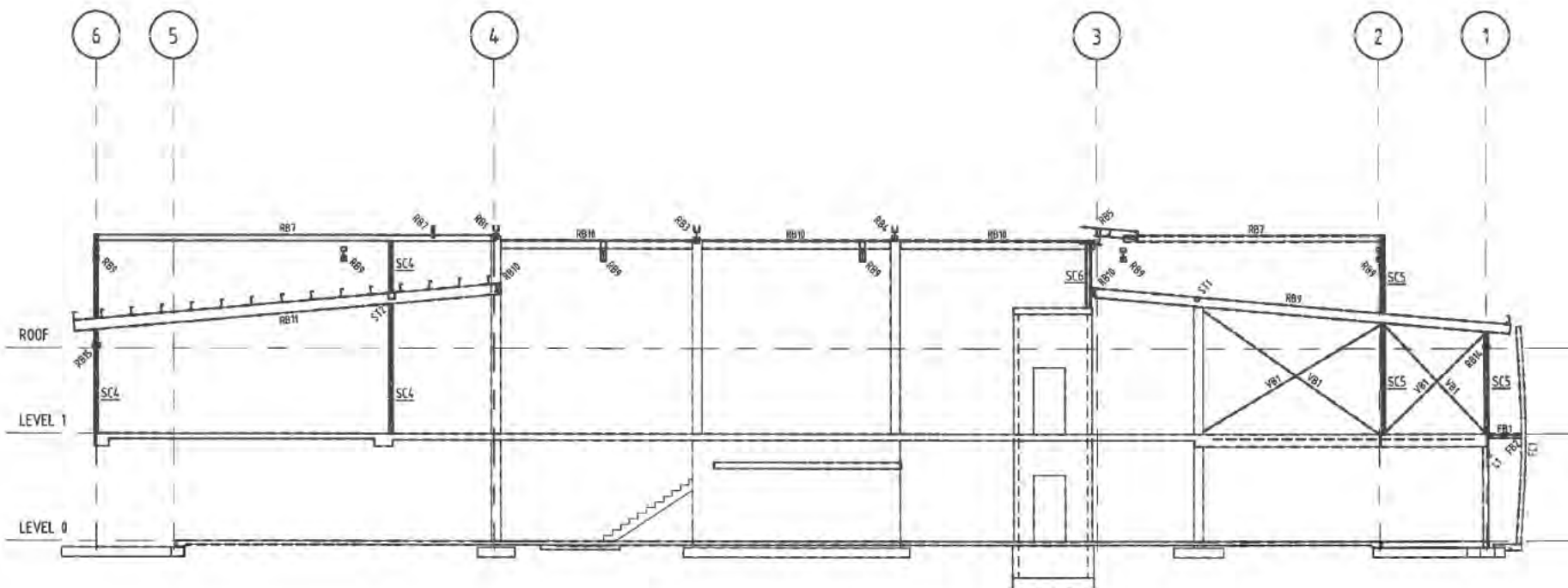


SECTION H
1:100

STEEL MEMBER SCHEDULE			
MARK	TYPE	SIZE	REMARKS
FB	FLY BRACE	75 x 75 x 6 EA	
FB1	FACADE BEAM	100 PFC	GALV.
FB2	FACADE BEAM	100 x 100 x 8 EA	GALV.
FC1	FACADE COLUMN	150 x 50 x 5.0 RHS	GALV. CURVED IN ELEVATION
GP1	GUTTER PURLIN	C25024	
GP2	GUTTER PURLIN	C20024	
H1	HANGER	100 x 50 x 6.0 RHS	
L1	LINTEL	150 x 100 x 10.0 UA	
P1	PURLIN	C25019 @ 900 CTRS MAX.	
P2	PURLIN	C20019 @ 900 CTRS MAX.	
P3	PURLIN	C20015 @ 900 CTRS MAX.	
P4	PURLIN	225024 @ 900 CTRS MAX. LAPPED 1200	
P5	PURLIN	225019 @ 900 CTRS MAX. LAPPED 1200	
RB1	ROOF BEAM	250 UB 31	
RB2	ROOF BEAM	250 UB 26	
RB3	ROOF BEAM	360 UB 57	PRECAMBER +15mm @ MIDSPAN
RB4	ROOF BEAM	310 UB 40	
RB5	ROOF BEAM	530 UB 82	PRECAMBER +25mm @ MIDSPAN
RB6	ROOF BEAM	460 UB 82	
RB7	ROOF BEAM	200 PFC	
RB8	ROOF BEAM	200 UB 22	
RB9	ROOF BEAM	310 UB 46	PRECAMBER +10mm @ MIDSPAN
RB10	ROOF BEAM	250 UB 37	
RB11	ROOF BEAM	360 UB 45	
RB13	ROOF BEAM	150 x 100 x 5.0 RHS	GALV.
RB14	ROOF BEAM	200 x 100 x 9.0 RHS	
RB15	ROOF BEAM	250 x 150 x 5.0 RHS	
SC1	STEEL COLUMN	200 x 100 x 9.0 RHS	GALV.
SC2	STEEL COLUMN	200 x 100 x 6.0 RHS	GALV.
SC3	STEEL COLUMN	150 x 100 x 6.0 RHS	GALV.
SC4	STEEL COLUMN	100 x 100 x 6.0 SHS	
SC5	STEEL COLUMN	100 x 100 x 9.0 SHS	
SC6	STEEL COLUMN	150 x 150 x 6.0 SHS	
ST1	ROOF STRUT	125 x 125 x 9.0 SHS	
ST2	ROOF STRUT	200 x 200 x 6.0 SHS	
ST3	ROOF STRUT	150 x 150 x 6.0 SHS	
VB1	CROSS BRACING	20 DIA ROD	
XB1	CROSS BRACING	20 DIA ROD	

17/08/2016 2:03:10 PM

CLIENT BRINDABELLA CHRISTIAN COLLEGE Canberra		Sch 2.2(a)(xi)	sellick consultants STRUCTURAL CIVIL HYDRAULIC canberra sydney brisbane 02 8297 0200 www.sellickconsultants.com.au	PROJECT TITLE PROPOSED JUNIOR SCHOOL BUILDING <small>DO NOT SCALE OFF DRAWINGS VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK Copyright: The concepts and information contained in this document are copyright of Sellick Consultants. Use or copying of this document in whole or in part without written permission constitutes an infringement of copyright.</small>	DESIGNED BY CHECKED BY AUTHORISED BY DATE	DRAWING TITLE STEELWORK ELEVATIONS SHEET PROJECT LOCATION BLOCK 4, SECTION 41 LYNEHAM A.C.T.	SCALE 1:100 @ A1 JOB NO 150918 DRAWING NO S105-23 REV A
ISSUE FOR TENDER ISSUE DESCRIPTION DATE DRAWN	DATE DRAWN						



SECTION J
1:100

STEEL MEMBER SCHEDULE			
MARK	TYPE	SIZE	REMARKS
FB	FLY BRACE	75 x 75 x 6 EA	
FB1	FACADE BEAM	100 PFC	GALV.
FB2	FACADE BEAM	100 x 100 x 8 EA	GALV.
FC1	FACADE COLUMN	150 x 50 x 5.0 RHS	GALV. CURVED IN ELEVATION
GP1	GUTTER PURLIN	C25024	
GP2	GUTTER PURLIN	C20024	
H1	HANGER	100 x 50 x 6.0 RHS	
L1	LINTEL	150 x 100 x 10.0 UA	
P1	PURLIN	C25019 @ 900 CTRS MAX.	
P2	PURLIN	C20019 @ 900 CTRS MAX.	
P3	PURLIN	C20015 @ 900 CTRS MAX.	
P4	PURLIN	Z25024 @ 900 CTRS MAX. LAPPED 1200	
P5	PURLIN	Z25019 @ 900 CTRS MAX. LAPPED 1200	
RB1	ROOF BEAM	250 UB 31	
RB2	ROOF BEAM	250 UB 26	
RB3	ROOF BEAM	360 UB 57	PRECAMBER -15mm @ MIDSPAN
RB4	ROOF BEAM	310 UB 40	
RB5	ROOF BEAM	530 UB 82	PRECAMBER +25mm @ MIDSPAN
RB6	ROOF BEAM	460 UB 82	
RB7	ROOF BEAM	200 PFC	
RB8	ROOF BEAM	200 UB 22	
RB9	ROOF BEAM	310 UB 46	PRECAMBER -10mm @ MIDSPAN
RB10	ROOF BEAM	250 UB 37	
RB11	ROOF BEAM	360 UB 45	
RB13	ROOF BEAM	150 x 100 x 5.0 RHS	GALV.
RB14	ROOF BEAM	200 x 100 x 9.0 RHS	
RB15	ROOF BEAM	250 x 150 x 5.0 RHS	
SC1	STEEL COLUMN	200 x 100 x 9.0 RHS	GALV.
SC2	STEEL COLUMN	200 x 100 x 6.0 RHS	GALV.
SC3	STEEL COLUMN	150 x 100 x 6.0 RHS	GALV.
SC4	STEEL COLUMN	100 x 100 x 6.0 SHS	
SC5	STEEL COLUMN	100 x 100 x 9.0 SHS	
SC6	STEEL COLUMN	150 x 150 x 6.0 SHS	
ST1	ROOF STRUT	125 x 125 x 9.0 SHS	
ST2	ROOF STRUT	200 x 200 x 6.0 SHS	
ST3	ROOF STRUT	150 x 150 x 6.0 SHS	
V81	CROSS BRACING	20 DIA ROD	
XB1	CROSS BRACING	20 DIA ROD	

17/08/2016 2:03:14 PM

ISSUE FOR TENDER	DATE	DRAWN



Sch 2.2(a)(xi)



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DRAWING TITLE
STEELWORK ELEVATIONS SHEET 5

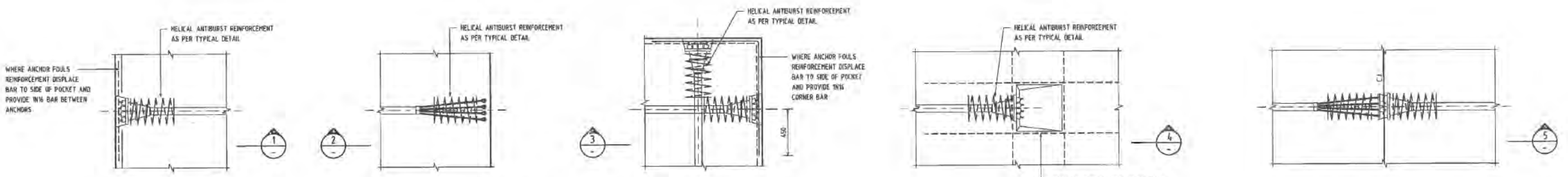
PROJECT LOCATION
BLOCK 4, SECTION 41
LYNEHAM A.C.T.

SCALE
1:100 @ A1

JOB NO
150918

DRAWING NO
S105-24

REV
A



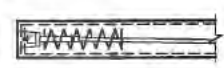
TYPICAL LIVE END ANCHOR PLAN

TYPICAL DEAD END ANCHOR PLAN

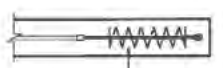
TYPICAL CORNER PLAN
DEAD END SIMILAR

TYPICAL PAN ANCHOR PLAN

COUPLER DETAIL AT CONSTRUCTION JOINT



SECTION 1



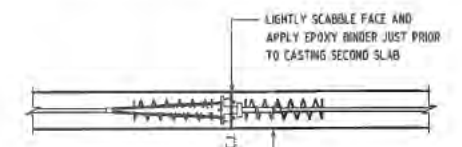
SECTION 2



SECTION 3



SECTION 4



SECTION 5

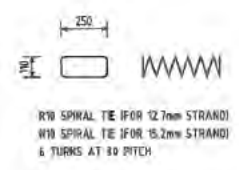
30 MINIMUM COVER TO TIES TOP & BOTTOM REFER TO DRAWING S401-01 FOR ADDITIONAL COVER REQUIREMENTS

DO NOT CUT OFF STRANDS ON COMPLETION OF STRESSING ONLY TRIM AS REQUIRED AFTER EXTENSIONS ARE APPROVED

REINFORCEMENT NOT SHOWN FOR CLARITY

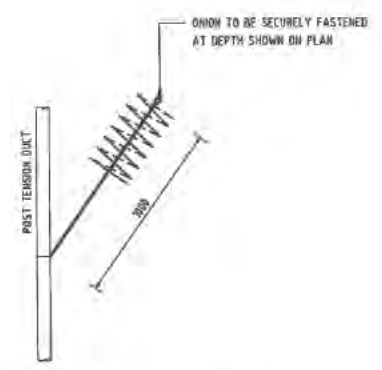
LIGHTLY SCABBLE FACE AND APPLY EPOXY BINDER JUST PRIOR TO CASTING SECOND SLAB

REINFORCEMENT NOT SHOWN FOR CLARITY

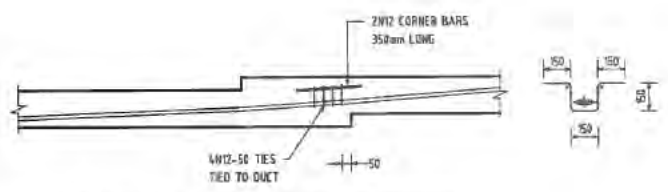


TYPICAL HELICAL ANTI-BURST REINFORCEMENT DETAILS

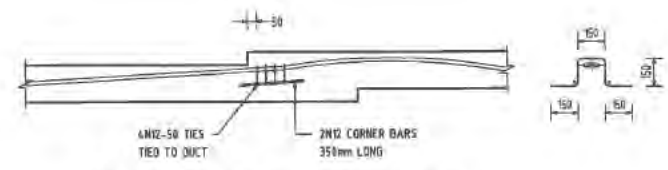
- 1. HELICAL TIES TO BE PLACED CENTRALLY AND SQUARELY ABOUT ANCHOR
- 2. BURSTING REINFORCEMENT SHOWN ON THE DRAWINGS MUST BE CHECKED BY THE STRESSING CONTRACTOR FOR COMPLIANCE WITH THE REQUIREMENTS OF THEIR POST-TENSIONING SYSTEMS



ANTI-BURST REINFORCEMENT FOR TERMINATED STRAND



TYPICAL ANTI-BURST REINFORCEMENT REQUIRED FOR CABLES NEAR SOFFIT STEP



TYPICAL ANTI-BURST REINFORCEMENT FOR CABLES NEAR SLAB STEP

17/08/2016 2:06:55 PM

Sch 2.2(a)(xi)



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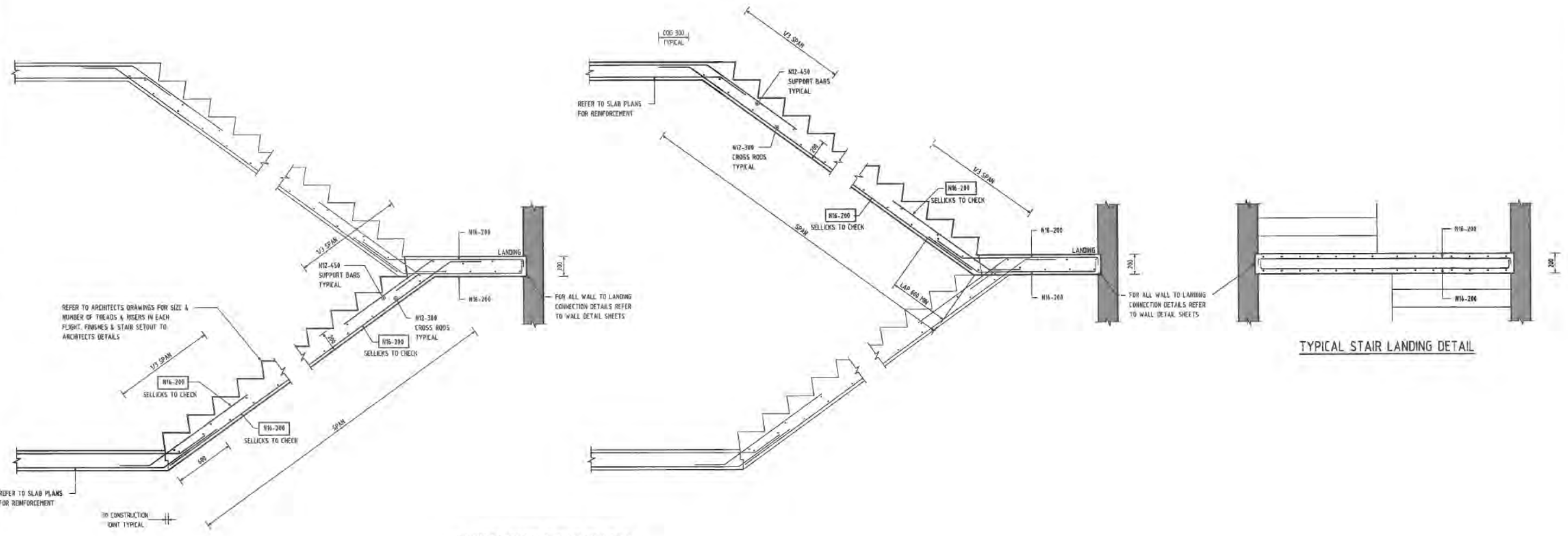
DRAWING TITLE
POST TENSION DETAILS

PROJECT LOCATION
**BLOCK 4, SECTION 41
LYNEHAM A.C.T.**

SCALE
1: 20 @ A1

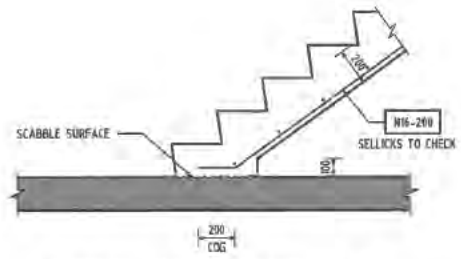
JOB NO.	DRAWING NO.	REV
150918	S290-50	A

ISSUE	DESCRIPTION	DATE	DRAWN
1	ISSUE FOR TENDER	17/08/16	RJS
2	PRELIMINARY ISSUE	21/07/16	SSP



TYPICAL STAIR FLIGHT DETAILS

TYPICAL STAIR LANDING DETAIL



TYPICAL BASE OF STAIR DETAIL

17/08/2016 2:06:35 PM

Sch 2.2(a)(xi)



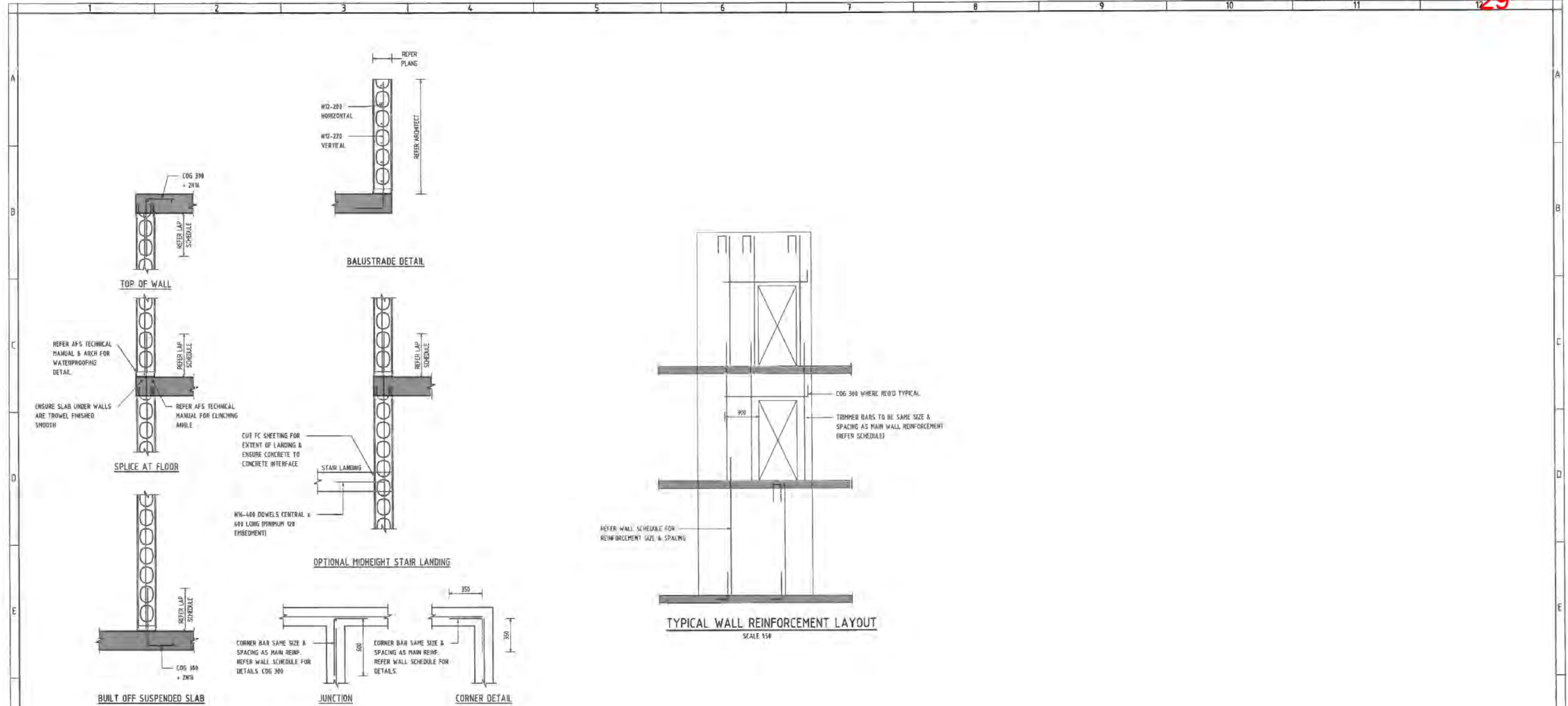
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DRAWING TITLE
STAIR DETAILS SHEET 1
 PROJECT LOCATION
BLOCK 4, SECTION 41 LYNEHAM A.C.T.

SCALE
 1 : 20 @ A1
 JOB NO
 150918
 DRAWING NO
 5270-50
 REV
 A

ISSUE	DESCRIPTION	DATE	DRAWN
A	ISSUE FOR TENDER	11/08/16	JIG
B	PRELIMINARY ISSUE	21/07/16	CSV



TYPICAL AFS WALL DETAILS
 SCALE 1:20

NOTES

- FOR ALL WALLS, MEASURES ARE TO BE TAKEN TO ENSURE THE REINFORCEMENT IS HELD IN THE CORRECT POSITION WITH CORRECT COVER FOR FULL HEIGHT OF WALL.
- WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS. THESE INCLUDE:
 - 7mm-10mm MAX AGGREGATE SIZE
 - 60mm SLUMP PRIOR TO ADDITIVES ADDED
 - SUPER PLASTICISER ADMIXTURE TO INCREASE SLUMP TO 120mm-140mm
 - ADMIXTURES REVISED TO INCREASE SLUMP TO 140mm-160mm
 - DIA. 50 PUMP HOSE
 - 1500mm MAX POUR HEIGHT (CONFIRM FOR EACH CASE WITH AFS)
 - DIA. 40mm NEEDLE VIBRATOR. DO NOT TOUCH THE FIBRE CEMENT SHEETS WITH THE VIBRATION
 - VIBRATORS TO BE PLACED IN THE UPPER 300mm OF THE WALL & "RATTLING" THE STEEL STUDS & REINFORCING BARS. REFER AFS TECHNICAL MANUAL.
- ALL MOVEMENT JOINTS IN AFS WALLS SHALL BE CLEARLY SHOWN ON THE SHOP DRAWINGS.
- ALL AFS WALLS ON SITE TO BE TESTED BY HAMMER TAPPING IN EVERY 600mm TO DETERMINE ANY VOIDS PRESENT & ENSURE THE CONCRETE IS VIBRATED INTO POSITION WITH NO VOIDS. IF ANY VOIDS ARE FOUND, NOTIFY SELICK CONSULTANTS IMMEDIATELY.

17/08/2016 2:06:21 PM

Sch 2.2(a)(xi)



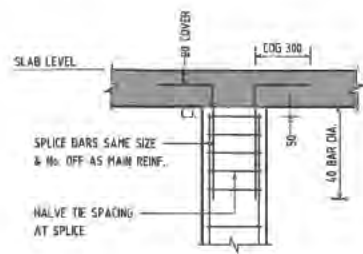
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DRAWING TITLE
AFS WALL DETAILS SHEET 1
 PROJECT LOCATION
BLOCK 4, SECTION 41 LYNEHAM A.C.T.

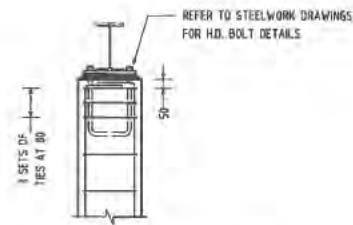
SCALE
 As indicated @ A1
 JOB NO
 150918
 DRAWING NO
 S260-90
 REV
 A

ISSUE	DESCRIPTION	DATE	DRAWN
A	ISSUE FOR TENDER	17.08.16	JUG
1	PRELIMINARY ISSUE	21.01.16	DSV



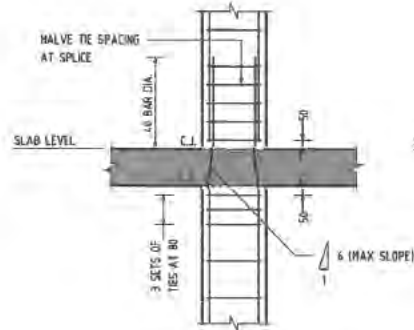
COLUMN TERMINATION TO UNDERSIDE OF SLAB LEVEL

DETAIL 3
SCALE = 1/20
COL SCHED



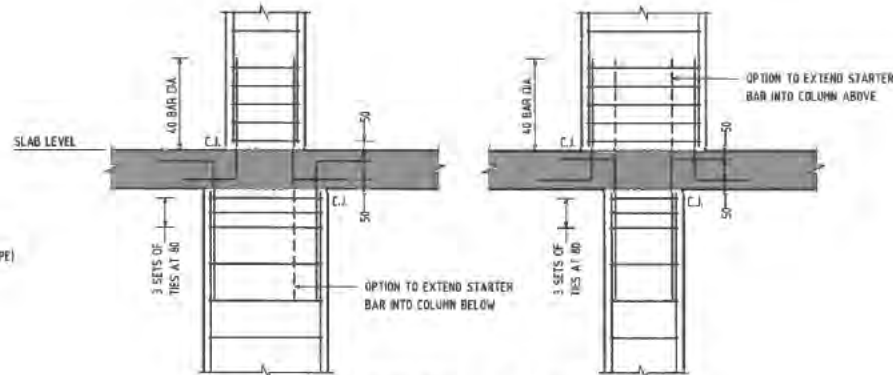
COLUMN TERMINATION TO UNDERSIDE OF STEEL

DETAIL 4
SCALE = 1/20
COL SCHED



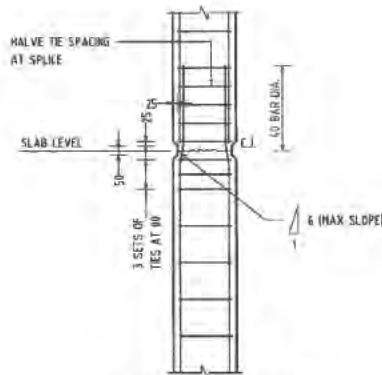
COLUMN SPLICE AT FLOOR

DETAIL 2
SCALE = 1/20
COL SCHED



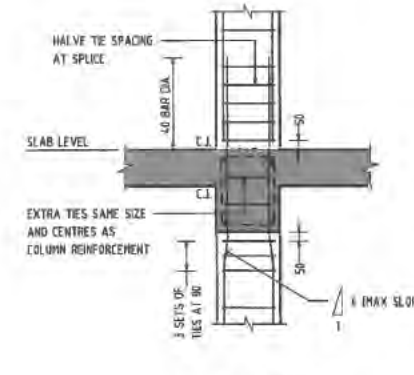
TYPICAL DETAIL AT COLUMN PROFILE CHANGE

DETAIL 5
SCALE = 1/20
COL SCHED



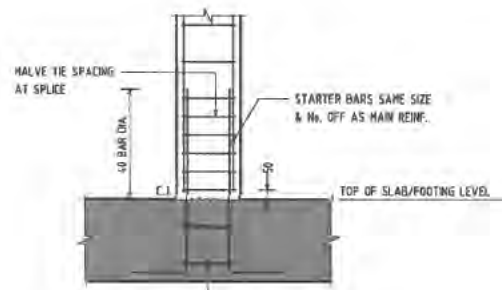
COLUMN SPLICE AT MIDHEIGHT

DETAIL 6
SCALE = 1/20
COL SCHED



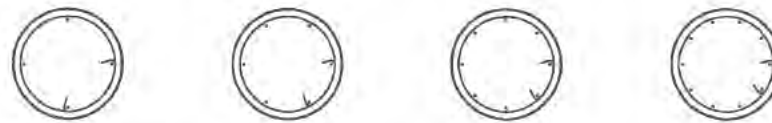
COLUMN SPLICE AT BEAM

DETAIL 7
SCALE = 1/20
COL SCHED

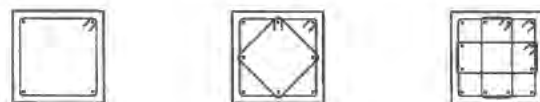


COLUMN OFF SLAB/FOOTING

DETAIL 1
SCALE = 1/20
COL SCHED



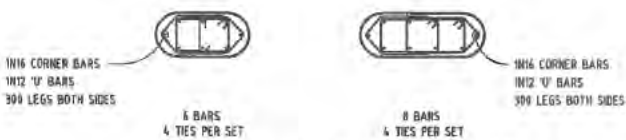
CIRCULAR COLUMN ARRANGEMENT TYPE - C



SQUARE COLUMN ARRANGEMENT TYPE - S



RECTANGULAR COLUMN ARRANGEMENT TYPE - R



OVAL COLUMN ARRANGEMENT TYPE - O

COLUMN REINFORCEMENT COVER SCHEDULE			
LEVEL	FLOOR USE	FRL	COVER TO TIES
LEVEL 1	EDUCATIONAL	2 HOURS	30mm
LEVEL 0	EDUCATIONAL	7 HOURS	30mm

17/08/2016 2:06:00 PM

ISSUE	DESCRIPTION	DATE	DRAWN
1	ISSUE FOR TENDER	12.08.16	R/G
2	PRELIMINARY ISSUE	21.07.16	GGV

CLIENT

BRINDABELLA CHRISTIAN COLLEGE

Sch 2.2(a)(xi)

sellick consultants
STRUCTURAL CIVIL HYDRAULIC
canberra | sydney | brisbane
02 6201 0200 www.sellickconsultants.com.au

PROJECT TITLE
PROPOSED JUNIOR SCHOOL BUILDING

DO NOT SCALE OFF DRAWINGS
VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK
Copyright: The concepts and information contained in this document are copyright of Sellick Consultants. Use or copying of this document in whole or in part without written permission constitutes an infringement of copyright.

DESIGNED BY
CHECKED BY
AUTHORISED BY
DATE

DRAWING TITLE
COLUMN DETAILS SHEET 1

PROJECT LOCATION
**BLOCK 4, SECTION 41
LYNEHAM A.C.T.**

SCALE		
1 : 20 @ A1		
JOB NO	DRAWING NO	REV
150918	5250-50	A



Amendment Plan Tax Invoice

TO THE PAYEE

c/o CERTIFIED BUILDING SOLUTIONS PTY LTD

PO Box 76 MITCHELL ACT 2911

Access Canberra Building Services

ABN 16 479 763 216
8 Darling Street Mitchell
GPO Box 158 ACT 2601
Access Canberra Homepage: www.act.gov.au/accesscbr

Invoice Date:30/01/2018 Time:8:29:53 AM

Invoice Number: 3100455421

Item	Fee
Amendment Fee for B20164644	22.00

No GST applies to these fees and levies.

PAYMENT REQUIRED WITHIN 14 DAYS OF INVOICE ISSUE DATE

Payment Options



Bill Code Sch 2.2(a)(ii)
Ref: Sch 2.2(a)(xi)

Telephone & Internet Banking – BPAY®

Call your bank, credit union or building society to make this payment from your cheque, savings or credit card account. More info: www.bpay.com.au



Access
Canberra

Internet

Visit www.accesscanberra.act.gov.au and search "Building Approvals and Payments" and then follow links to pay by credit card (MasterCard or Visa)



Access
Canberra

Phone

Telephone (02) 6207 1923 8.30am - 4.30pm Mon - Fri and have your credit card details handy (MasterCard and Visa).



Access
Canberra

In Person

Access Canberra Building Services Shopfront Only: 8.30am – 4.30pm Mon – Fri . Cash, Cheque, EFTPOS, Credit card (Mastercard and Visa). CashLink Code – 34 0075



Building Act 2004, S151
Building Approval

Project ID: B20164644

PART A - PROJECT DETAILS

Unit	Block	Section	Division (Suburb)	District	Jurisdiction
	4	41	LYNEHAM	CANBERRA CENTRAL	Australian Capital Territory

PART B - WORKS REQUIRING BUILDING APPROVAL

Item of building work to which this Building Approval relates:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
9b	New	EDUCATIONAL BUILDING		B	2	2803.00	Sch 2.2(a)(xi)

Work relates to the following Development Application(s):

Development Application ID	Description
201629628	Merit -
201629628	Merit -

PART C - CERTIFIERS DECLARATION

I declare that in issuing this building approval under section 28 of the Building Act 2004:

- I am satisfied on reasonable grounds that the plans meet each applicable approval requirement under section 29 and is not prevented from being issued under section 30 or section 30A
- I have supplied all documents as required under 3.3 Building Act 2004
- I have prepared a notice (building approval certificate) certifying what approval requirements apply to the application and why the building approval is not prevented from being issued; and
- I have given the building approval certificate to the applicant.

In performing services as a certifier in relation to the work detailed in this application I am not in breach of my entitlement to act as a certifier in accordance with the Building Act 2004.

Full Name	Address	License Number	Expiry Date
CERTIFIED BUILDING SOLUTIONS PTY LTD	PO Box 76 MITCHELL ACT 2911	Sch 2.2(a)(ii)	1/09/2017

Date Issued : 18/10/2016

NOTES

Utilities

This application must also be accompanied by a Statement of Compliance from each relevant utility provider (for water, sewerage, electricity and stormwater) which confirms that the location and nature of earthworks, utility connections, proposed buildings, pavements and landscape features comply with utility standards, access provisions and asset clearance zones.

Note 1: If there is no stormwater easement or Territory owned stormwater pipes located within the property boundary, a "Statement of Compliance" for stormwater from TAMS (Asset Acceptance) is not required to be obtained.

Note 2: Where there is conflict between planning and utility requirements, the utility requirements take precedence over other codified or merit provisions.

Utilities – Demolition Only

This application must be accompanied by a Statement of Endorsement for utilities (including water, sewerage, electricity and stormwater) stating that:

- all network infrastructure on or immediately adjacent to the site has been identified on the plan
- all potentially hazardous substances and conditions (associated with or resulting from the demolition process) that may constitute a risk to utility services have been identified
- all required network disconnections have been identified and the disconnection works comply with utility requirements
- all works associated with the demolition comply with and are in accordance with utility asset access and protection requirements

Note: The documentation provided to the utility provider for endorsement must be consistent with the documentation that forms part of a development approval or the documentation verified as exempt from requiring development approval by a licensed certifier.

Asbestos Advice

If documents accompanying building approval do not include an asbestos assessment report as per the Building Act 2004, the building approval must have an Asbestos Advice attached as per the Act

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.



Building Act 2004, S151

Application for Building Commencement Notice

Project ID: B20164644

Licensed builders must use this form to apply to the building certifier for a commencement notice in accordance with the Building Act 2004. An application can only be made if the building approval has been issued for the building work. A commencement notice must be issued by the building certifier before any building work can commence.

PART A - PROJECT DETAILS

Building approval issue date: 18/10/2016

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
	4	41	CANBERRA CENTRAL	LYNEHAM	Australian Capital Territory

Full Name	Address	License Number	Expiry Date
CERTIFIED BUILDING SOLUTIONS PTY LTD	PO Box 76 MITCHELL ACT 2911	Sch 2.2(a)(ii)	1/09/2017

Description of work to which application for Commencement Notice relates:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
9b	New	EDUCATIONAL BUILDING		B	2	2803.00	3924200.00

Insurance provider:

Policy number:

Issue date: 18/10/2016

PART B - BUILDERS DETAILS

License holder's name:

License number:

License Expiry Date:

Business Address:

Phone Number:

Signature of builder:

Sch 2.2(a)(xi)

(Individual, director for company or partner for partnership)

If the builder is a company or partnership provide details of the nominee who will supervise the building work

Nominee's name: Sch 2.2(a)(ii)

License number: Sch 2.2(a)(ii)

License Expiry Date: 26/08/2017

Nominee's signature
(if different to above):

_____ / /

PART C - OWNER/LESSEE DETAILS

Name	Address
Brindabella Christian Education Ltd	PO Box 5103, Lyneham ACT 2602, AUSTRALIA

ADVISORY NOTE: Owners please ensure you have a written contract with the builder named in this application. For residential building work requiring home owner insurance ensure that the same builders name is shown on the insurance policy.

PART D - OWNER/S OR AGENT SIGNATURE/S

Name	Signature	Date
Brindabella Christian Education Ltd		

NOTE: You may only make this application as an authorised agent on behalf of the owners of the property if you have appropriate written authorisation from ALL the owners and attach it to this application. This also applies if you are a part owner or joint owner making an application on behalf of the owners.

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.

PART E - BUILDER APPLICATION TO CERTIFIER FOR COMMENCEMENT NOTICE

I hereby apply to the building certifier listed above for a commencement notice for the works detailed in Part A of this form in accordance with the Building Act 2004.

- A site sign was NOT required to be displayed prior to making this application.
- A site sign WAS required to be displayed prior to making this application and I declare that a compliant sign was erected and displayed for the required period.

Signature of
Builder/Nominee:

_____ / /

NOTE: There are penalties for deliberately giving false and misleading information. Access Canberra or the Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.



Building Act 2004, S151

Building Commencement Notice

Project ID: B20164644

PART A - PROJECT DETAILS

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
	4	41	CANBERRA CENTRAL	LYNEHAM	Australian Capital Territory

Certifier's Details

Full Name	Address	License Number	Expiry Date
CERTIFIED BUILDING SOLUTIONS PTY LTD	PO Box 76 MITCHELL ACT 2911	Sch 2.2(a)(ii)	1/09/2017

Building approval issue date: 18/10/2016

Building Commencement Notice Required for:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Area (m2)	Cost of Works (\$)
9b	New	EDUCATIONAL BUILDING		B	2803.00	Sch 2.2(a)(xi)

PART B - BUILDERS DETAILS

License holder's name:

License number:

License Expiry Date:

Business Address:

Phone Number:

Sch 2.2(a)(xi)

If the builder is a company or partnership provide details of the nominee who will supervise the building work

Nominee's name:

License number:

License Expiry Date: 26/08/2017

Sch 2.2(a)(ii)

PART C - CERTIFIER'S DECLARATION

Issue date of

commencement notice: 18/10/2016

Name of Certifier Issuing
Notice:

CERTIFIED BUILDING SOLUTIONS PTY LTD

Declaration:

This commencement notice is issued in accordance with the Building Act 2004, to the licensed builder stated above authorising the commencement of the stated building work. The issue of this commencement notice indicates that I am satisfied that the builders license authorises the work in the building approval. Where applicable for residential building work, I have been provided with a residential building insurance policy or fidelity certificate.

PLEASE NOTE:

A copy of the application for this commencement notice, this notice and where applicable the residential building insurance policy or fidelity certificate, must be given to the construction occupations registrar within one (1) week of the issue date.

This building commencement notice will end if-

- (a) for residential building work- the work is no longer insured; or
- (b) the building approval for the work ends

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.



Building Act 2004, S151

Appointment of a Certifier and Application for Building Approval

Project ID: B20164644

This form is to be completed by the Owner/s of the land to which the building work relates

PART A - PROJECT DETAILS

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
	4	41	CANBERRA CENTRAL	LYNEHAM	Australian Capital Territory

PART B - OWNER DETAILS

Name	Address	Email Address
Brindabella Christian Education Ltd	PO Box 5103, Lyneham ACT 2602, AUSTRALIA	

PART C - APPOINTMENT OF CERTIFIER

As required under the Building ACT 2004 I/we hereby advise that I/we the owner/s have appointed the person whose details appear below as the certifier in relation to the building works described in this form

Full Name	Address	License Number	Expiry Date
CERTIFIED BUILDING SOLUTIONS PTY LTD	PO Box 76 MITCHELL ACT 2911	Sch 2.2(a)(ii)	1/09/2017

PART D - APPLICATION FOR BUILDING APPROVAL

I/we the owners of the abovementioned property hereby apply to the certifier named above to issue a building approval under Section 26 of the Building Act 2004 for the building works detailed in the following table

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
9b	New	EDUCATIONAL BUILDING		B	2	2803.00	Sch 2.2(a)(xi)

I/we have provided the certifier with the information and documentation required to issue a building approval as specified in the Building (General) Regulation 2008.

PART E - AUTHORITY TO ACCESS BUILDING FILE

I/we hereby authorise the certifier to access the building file held by Access Canberra for the property which is the subject of this application for the purposes of obtaining information relevant to the issuing of a building approval and associated processes.

PART F - OWNER/S SIGNATURE/S

Name	Signature	Date
Brindabella Christian Education Ltd		

APPLICATION FOR BUILDING APPROVAL REQUIREMENTS Building (General) Regulations 2008

Where relevant the following information MUST be included in either the application or the plans accompanying the application for building approval:

General Requirements

- Estimated Cost of Works -as per Building (General) (Cost of Building Work) Determination 2011
- if the proposed building work to be carried out at or near a street or place that is open to or used by the public the application must contain details of the precautions proposed to be taken to protect the safety of people using the street or place while the building work is carried out
- the area of the parcel of land to which this application relates
- the class of the building according to the intended use of the building as proposed to be erected or altered;
- if applicable what fire-resisting construction type (under the building code) the building as proposed to be erected or altered will be.

Note: Fire-resisting construction type may not be applicable if an alternative solution under the building code is used.

- for an application relating to the erection of a class 1 building the site classification of the parcel of land
- for an application relating to the alteration of a class 1 building if the alteration will increase the building load carried by foundation material beyond the building load carried by the foundation before the alteration.
- the site classification of the parcel of land

- for an application relating to the alteration of a building the class and type of fire-resisting construction of the existing building classified under the building code and the materials used in the existing building

Note Fire-resisting construction type may not be applicable if an alternative solution under the building code is used.

- the number of storeys of the building as proposed to be erected or altered;
- the number of new dwellings (if any) created by the proposed building work;
- the floor area of the proposed building or proposed new part of the building;
- the materials to be used in the frame, floor, walls and roof of the proposed building or proposed new part of the building
- if a performance requirement of the building code is to be complied with by use of an alternative solution under the code -

(i) the performance requirement; and

(ii) the alternative solution; and

(iii) each assessment method used to show that the alternative solution complies with the performance requirement;

- if the building code does not state a standard of work in relation to any part of the proposed building work and it is intended to carry out that part of the proposed building work in accordance with a standard of work stated in another document -

(i) the nature of the proposed building work; and

(ii) the title of the document; and

(iii) each assessment method used to show that the proposed building work complies with the standard of work stated in the document.

Removal or demolition of building/s

- Details of the methods to be used in carrying out the proposed building work, including a work plan stated or set out in AS 2601 (Demolition of structures), as in force from time to time;
- the number of dwellings (if any) to be demolished.

Asbestos

- The application must include a description of the method proposed to be used to remove the bonded asbestos sheeting from the building.

- the application must include the following information:

(i) the method proposed to be used to remove the asbestos;

(ii) the approximate amount and kind of asbestos to be removed;

(iii) the equipment proposed to be used to remove the asbestos, including any personal protective equipment;

(iv) details of a program, prepared in accordance with the asbestos removal code, for monitoring airborne asbestos to be followed during the removal.

Pay an Account - Tax invoice

This transaction will appear on your credit card statement as ACCESS CANB INTERNET.

Date and time: **01 Feb 2018 8:38:28 AM**
Reference code: **Sch 2.2(a)(xi)**
Payment receipt number: **Sch 2.2(a)(xi)**

Qty	Description of service	Unit value	GST	Total
1	ACT Building and Construction Fees and Levies	\$22.00	\$0.00	\$22.00
			Total amount paid	\$22.00
			Total amount includes GST of	\$0.00

Environment and Planning Directorate
ABN 16 479 763 216

GPO BOX 158
Canberra ACT 2601

13 22 81

Payment 1

Payment type

ACT Building and Construction Fees and Levies

Invoice number

Sch 2.2(a)(xi)

Customer name

Certified Building Solutions Pty Ltd

Payment amount

\$22.00

Total payment amount

\$22.00



Building Act 2004, S151

Certification of Completion of Building Work

Project ID: B20164644/B

If this application is incomplete or documentation is inadequate this application may not be accepted for lodgement and the Certificate of Occupancy and Use may not be issued.

PART A - PROJECT DETAILS

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
	4	41	CANBERRA CENTRAL	LYNEHAM	Australian Capital Territory

Plan Registration Number

B20164644/A

B20164644/B

Description of Works

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Unit	BCN ID	Builder
9b	New	EDUCATIONAL BUILDING		B		Sch 2.2(a)(xi)	

The project involved electrical work

The project involved plumbing and/or sanitary drainage work

The project did not involve gas work

This building work is not subject to an alternative solution under BCA

PART B - CERTIFIERS DECLARATION

I am satisfied that the building work detailed in the application is complete. I hereby certify that:

- I have provided all the relevant documents required by subsection 48(2) of the Building Act 2004 with this application as uploaded;
- the documentation relating to the building approval has been marked in accordance with the requirements of the Building Act 2004;
- The building work has been completed in accordance with the requirements of the Building Act 2004 and substantially in accordance with the approved plans;
- The building or part of the building as erected or altered is structurally sufficient, sound and stable for the purposes for which it is intended to be occupied or used; and
- The Registrar can issue a Certificate of Occupancy and Use

Full Name	Address	License Number	Expiry Date
CERTIFIED BUILDING SOLUTIONS PTY LTD	PO Box 76 MITCHELL ACT 2911	Sch 2.2(a)(ii)	2/09/2018

Date Issued: 1/02/2018 8:48:50 AM

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.



Access
Canberra.

APPLICATION FOR CERTIFICATE OF
OCCUPANCY AND USE

Building Act 2004, 5151

WARNING TO OWNERS

It is recommended that owners seek appropriate advice to determine whether the building work and other contract requirements have been completed satisfactorily before signing this form. This form should not be signed before the completion of building work.

PART A

PROJECT DETAILS

Block/s Section Suburb Unit No.

Street Address

Describe each item of building work to which this application relates: if more than 6 items please attach further details

1.	SCHOOL BUILDINGS
2.	
3.	
4.	

Name of Certifier:

PART B

OWNER/LESSEE DETAILS

FULL NAME OF ALL OWNERS – All owners must be listed or application will not be processed
Please Print - Owner 1 will be considered the contact person in relation to this application

Company Details

Owner 1 Owner 2

Owner 3 Owner 4

Postal Address

Suburb State Postcode

Phone Number Business Hours Mobile

EMAIL ADDRESS

PART C DECLARATION BY OWNER/S

I am/we are: the owner(s) of the above described land

I am/we are satisfied that the building work and related requirements have been completed and hereby apply for a Certificate of Occupancy or Use in respect of the above described work to be issued and (select one option only):

- Email **Sch 2.2(a)(ii)**
- send certificate by post to the owner(s) address held for collection from Building Services Shopfront - Mitchell
- Other _____

PART D SIGNATURE/S OF OWNER/S

This form should **not be signed** before the completion of building work.

1 st Owner's Signature	Sch 2.2(a)(ii)	Date	24/1/2
2 nd Owner's Signature		Date	
3 rd Owner's Signature		Date	
4 th Owner's Signature		Date	

NOTE: There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

Once this form has been completed you should give it to your certifier to lodge or hand deliver to:

**Access Canberra
Building Services Shopfront,
8 Darling Street
Mitchell ACT 2911**

Privacy Notice
The personal information on this form is provided to Access Canberra to enable the processing of your application. The collection of personal information is authorised by the *Building Act 2004*. If all or some of the personal information is not collected Access Canberra cannot process your application. The personal information you provide may be disclosed to Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be disclosed where authorised by law or court order, or where the Directorate reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. Access Canberra's Information Privacy Policy contains information about how you may access or seek to correct your personal information held by Access Canberra, and how you may complain about an alleged breach of the Territory Privacy Principles. Access Canberra Information Privacy Policy can be found at www.act.gov.au/accessCBR

CONTACT INFORMATION

Email:
ACTPLAdevelopmentBA@act.gov.au

Post:
Access Canberra
Building Services
Shopfront Mitchell
GPO Box 158
Canberra, ACT 2601

In Person:
Please visit
www.act.gov.au/accessCBR
Or call 132281 to find an
Access Canberra Shopfront.

CERTIFIED BUILDING SOLUTIONS

INSPECTION REPORT

PO Box 76
Mitchell ACT 2911

TELEPHONE (02) 6253 9911
Fax (02) 6253 9922

Suburb LYNEHAM	Section 41	Block 4	Unit
Builder BUILT		Inspection Stage FINAL	

An inspection of the building work has been carried out:

As a result of that inspection I hereby certify that the building work complies with section 42 of the Building Act **2004**.

As a result of that inspection I have formed the opinion that the building work is not in compliance with section 42 of the Building Act **2004**. Please re-book this inspection stage when rectified.

The following matters require your attention:

.....

.....

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NEW SCHOOL BUILDING

.....

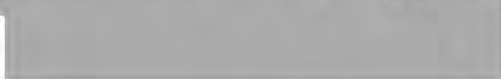
.....

.....

- Work may proceed to the next stage.
- Work completed and the registrar would be justified in issuing a Certificate of Occupancy under section..... **69/21**

Sch 2.2(a)(ii) Sch 2.2(a)(ii)

Certified by



29/1/18



ABN 27 110 110 110

Unit 1, 25-35
Buckland Str
MITCHELL A

PO Box 76
MITCHELL A

Telephone 02
Fax 02

Notification and Compliance Statement

Building Act 2004

Site details:

Suburb: *Lynnton* Section: *41* Block: *4*

Inspection Stages & Notifications (tick the appropriate boxes)

	Inspection booked on	Inspection carried out on
Footings	/ /20	/ /20
Piers / pads	/ /20	/ /20
Slab	/ /20	/ /20
Floor Framing	/ /20	/ /20
Pre-sheet	/ /20	/ /20
Final	<i>29/1/2018</i>	<i>29/1/2018</i>

Notification

I, the licensee, hereby notify that the inspection stages described above have been booked in for inspection as listed.

Compliance

I, the licensee, Hereby certify that the work done for the stages was carried out in accordance with the approved plans.

This form may be provided via email (Sch 2.2(a)(ii)) or a hardcopy completed at the CBS office or fax to 0203 9922



Building Act 2004, S151

Application for Certificate of Occupancy and Use

Project ID: B20164644C1

If this application is incomplete or documentation is inadequate this application may not be accepted for lodgement and the certificate of occupancy and use may not be issued.

WARNING TO OWNERS

It is recommended that owners seek appropriate advice to determine whether the building work and other contract requirements have been completed satisfactorily before signing this form. This form should not be signed before the completion of building work.

PROJECT DETAILS

Unit	Block	Section	Division (Suburb)	District	Jurisdiction
	4	41	LYNEHAM	CANBERRA CENTRAL	Australian Capital Territory

Description of Works

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Const.	Unit	BCN ID	Builder
9b	New	EDUCATIONAL BUILDING		B		Sch 2.2(a)(xi)	

OWNER/LESSEE DETAILS

Name	Address	Email Address
Brindabella Christian Education Ltd	PO Box 5103, Lyneham ACT 2602, AUSTRALIA	

DECLARATION BY OWNER

I am/we are:

- the owner(s) of the above described land
- the agent authorised by the owner(s) to apply for a Certificate of Occupancy and Use on their behalf, and I have attached a letter of authority

I am/we are satisfied that the building work and related requirements have been completed and hereby apply for a Certificate of Occupancy and Use in respect of the above described work to be issued and (select one option only):

- sent by post to the owner(s) address
- sent by post to the agent's address; or
- held for collection from the Mitchell Customer Service Centre

This form should not be signed before the completion of building work.

Signature/s of Owners – all owners must sign if agent has not been appointed

Name	Signature	Date
Brindabella Christian Education Ltd		

Once complete, you should return this form to your certifier to lodge or return to the Access Canberra Building Services Shopfront, 8 Darling Street, Mitchell ACT 2911.

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.



Certificate of Occupancy and Use

Certificate No.: **B20164644C1**

Access Canberra Building Services

ABN 16 479 763 216
8 Darling Street Mitchell
GPO Box 158 ACT 2601
www.act.gov.au/accesscbr

This Certificate is issued in accordance with Section 69 (2) of the Building Act 2004.

The building work listed on this certificate has been completed substantially in accordance with the prescribed requirements and is considered fit for occupation and use.

Unit	Block	Section	Division (Suburb)	District	Jurisdiction
	4	41	LYNEHAM	CANBERRA CENTRAL	Australian Capital Territory

Plans
B20164644/A
B20164644/B

Building Works

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Const.	Unit	BCN ID	Builder
9b	New	EDUCATIONAL BUILDING		B		Sch 2.2(a)(xi)	

Comments

Important Note:

1. Residential building statutory warranties and residential insurance do not apply in relation to building work.
2. The issue, under this Part, of a certificate in respect of a building or portion of a building does not affect the liability of a person to comply with the provisions of a law of the territory (including this Act) relating to the building or portion of the building.

Issued by: Bojan Sekara

Issued on: 02/02/2018

Delegate of the ACT Construction
Occupations Registrar.

Block: 4

Section: 41

Suburb: Lyneham

Unit No

Project Number: B20164644

Certifier: CBS

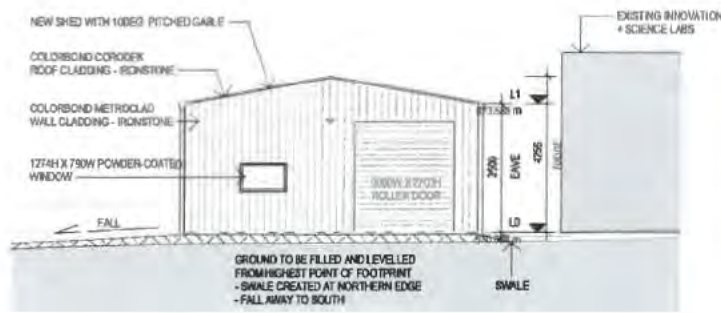
General Documents	Yes	No	Comments
Application For Certificate of Occupancy and Use signed by ALL Lessees	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Government Fees paid	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Certificate of Completion of Building Work	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Has a 69(2B) Completion of Building Work and application for COU been applied for?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	If yes, refer to ESDDCAT Date referred / /20
Has all work described in the BA been applied for	<input checked="" type="checkbox"/>	<input type="checkbox"/>	If no, it may be a partial COU.
Has a 69(3) been applied for?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	If yes, refer to ESDDCAT Date referred / /20
If a Development Application (DA) was relevant, was the work completed within the timeframe specified in the Notice of Decision (NOD)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	N/A – Exempt from DA.
Electrical	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> N/A
Plumbing	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/> N/A Plumbing outstanding - new WAE and Backflows
Gas	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A
Alternative Solution	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A
Certifiers Documents	Yes	No	Comments
Final inspection record stating that the building work is compliant with section 42 of the Building Act 2004	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Alternative Solution	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A
Survey Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> N/A
Insurance Certificate if work incorporates a class 1 or 2 under 3 storeys and cost of works greater than \$12,000	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A
Asbestos clearance certificate if work involves Asbestos Removal	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A

Fire Approval Certificates	<input type="checkbox"/> N/A			
Fire Brigade approval for the erection of a commercial building larger than 500sqm	<input checked="" type="checkbox"/>	<input type="checkbox"/>		This document will have "ACT FIRE & RESCUE FIRE SECTION PLAN REPORT "on the front page.
Fire Brigade approval for the use of an alternative solution regarding fire protection	<input type="checkbox"/>	<input checked="" type="checkbox"/>		This document will have "ACT FIRE & RESCUE ALTERNATIVE SOLUTION REVIEW "on the front page.
Fire compliance/solution certificate	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
Certifiers Documents	<input type="checkbox"/> N/A	Yes	No	Comments
Waterproofing certificates	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> N/A	
Glazing Certificate	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> N/A	
Termite certificates	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A	
Truss certificates	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A Steel structure cert	
Insulation certificate	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> N/A	
Amendments	<input type="checkbox"/> N/A	Yes	No	Comments
Amendments fully described in eDevelopment	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
Amendments clouded & listed on plans	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
Plans stamped with certifier stamp	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
Is work substantially different – not more than 1% change to original proposal	<input type="checkbox"/>	<input checked="" type="checkbox"/>		If yes, refer to ESDDCAT Date referred / /20
Government fees paid	<input checked="" type="checkbox"/>	<input type="checkbox"/>		

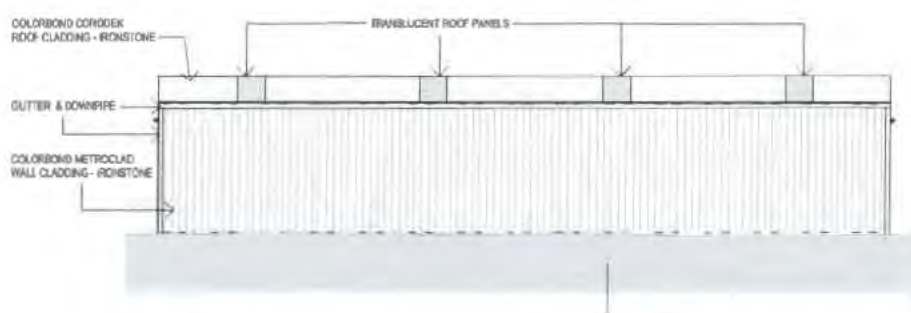
Officer Name: Bojan Sekara

Date: 02.02.2018

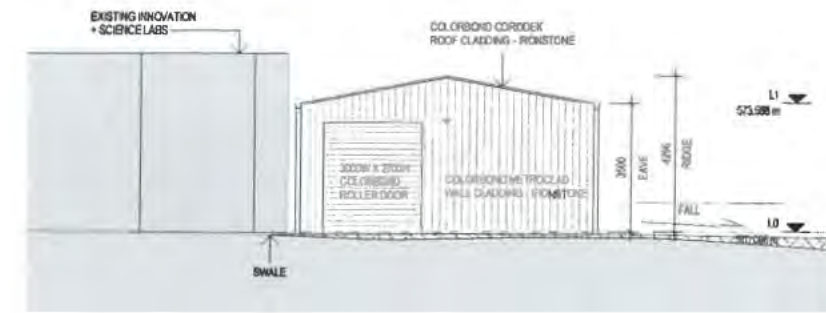
Additional Comment Plumbing outstanding - new WAE and Backflows, amended plan not stamped.



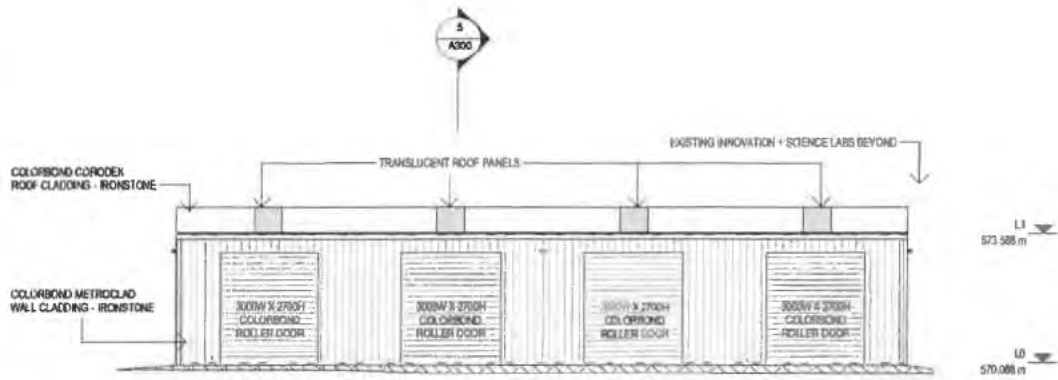
1 EAST ELEVATION
1:100



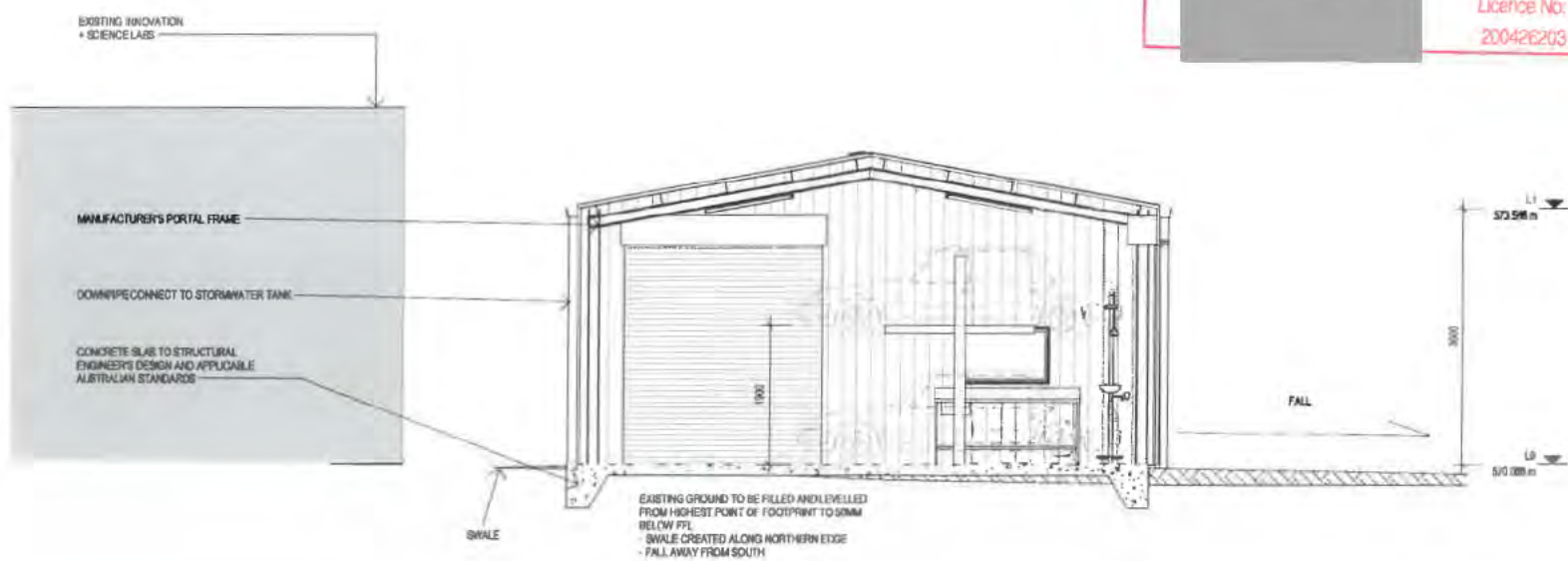
2 NORTH ELEVATION
1:100



3 WEST ELEVATION
1:100



4 SOUTH ELEVATION
1:100



5 BUILDING SECTION
1:50

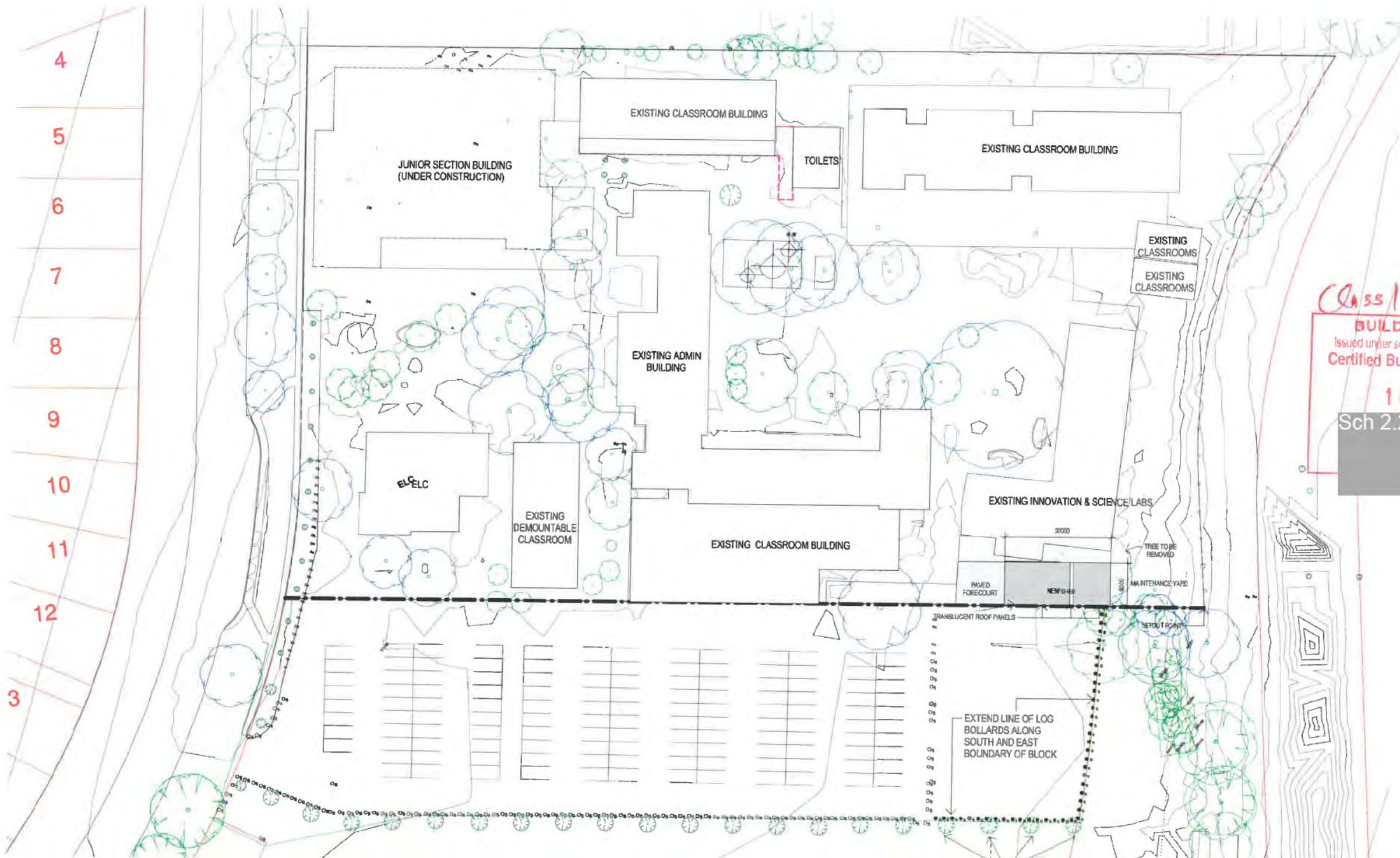
BUILDING APPROVAL
Issued under section 28 of the Building Act 2004
Certified Building Solutions Pty Ltd
18 OCT 2017
Sch 2.2(a)(ii)
Licence No: 200426203



No.	Date	Description
1	14.07.17	ISSUE FOR CLIENT APPROVAL
2	18.10.17	ISSUE FOR BA

Sch 2.2(a)(xi)

Client: BRINDABELLA CHRISTIAN COLLEGE	Project Status: EA	Drawing Title: ELEVATIONS & SECTIONS
Project Title: MAINTENANCE SHED	Project Address: 136 BRIGALOW STREET, LYNEHAM ACT	Design Project Manager: _____ Project Architect: _____ Design Verifier: _____
All dimensions in millimetres. Do not scale drawing. All dimensions and levels to be verified on site by contractor before commencing work or preparation of shop drawings. Where provided, drawings must be read in conjunction with schedule of work or specification.	Block: _____ Section: _____ Division: _____	Scale: As indicated Sheet Size: A1 Project No: 1506.10 Sheet No: A300 Amendment: 2



Class 10 on

BUILDING APPROVAL
 Issued under section 28 of the Building Act 2001
 Certified Building Solutions Pty Ltd

18 OCT 2017
 Sch 2.2(a)(ii)

Licence No:
 200426203

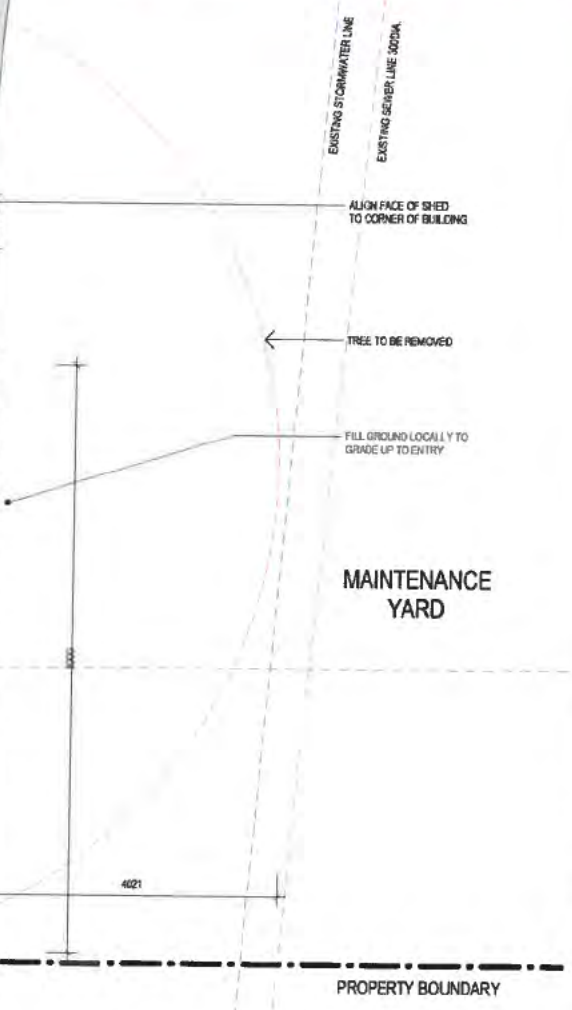
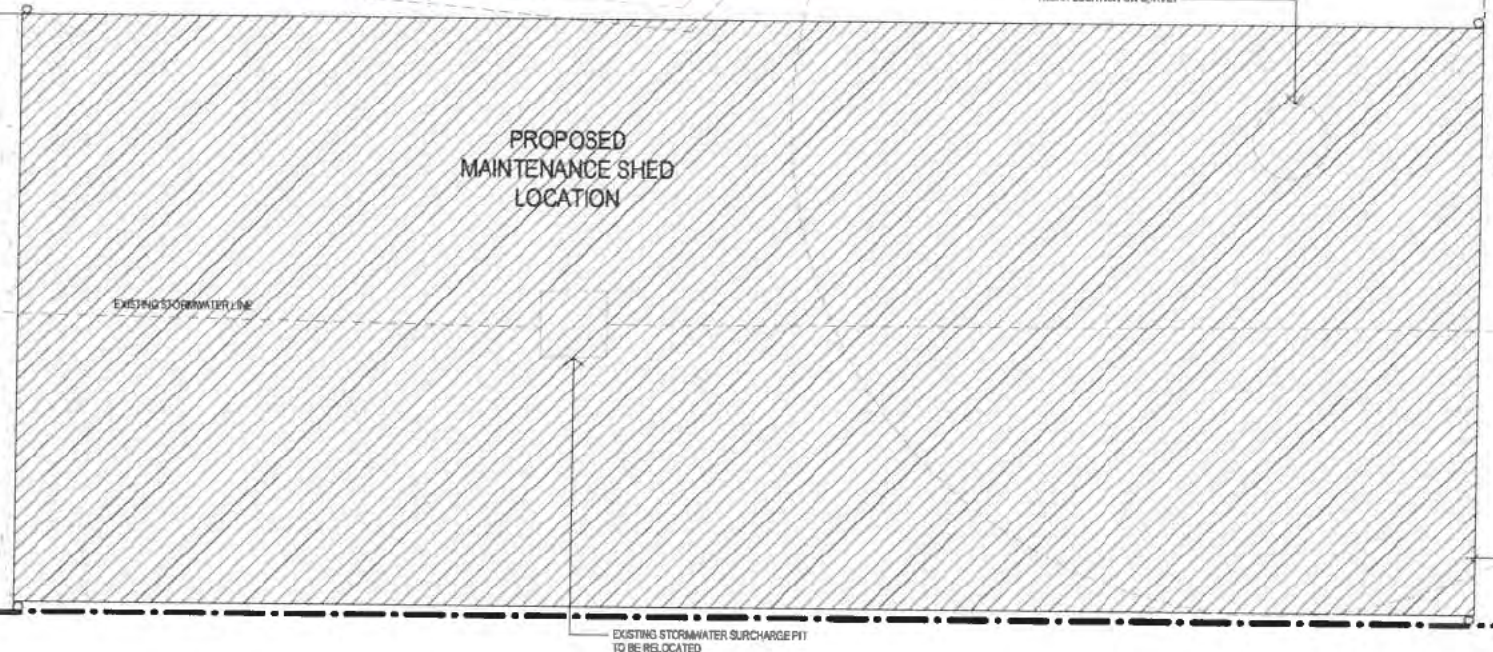
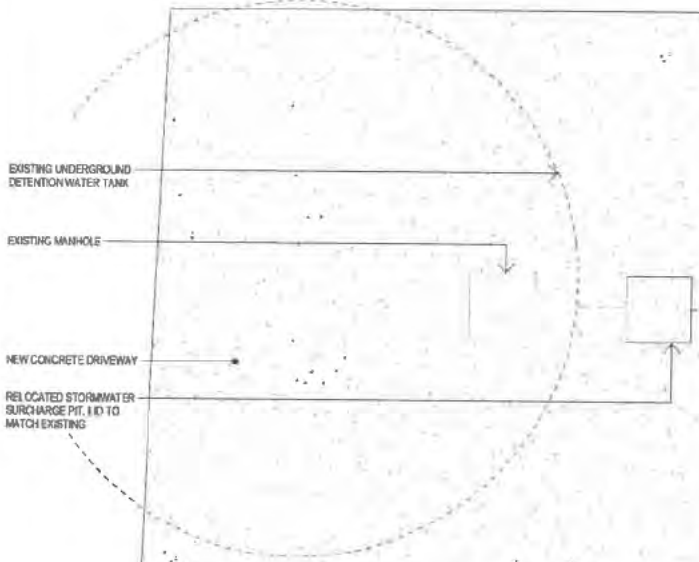
No.	Date	Description
1	18.04.17	DA REVISION
2	18.10.17	ISSUE FOR BA

Sch 2.2(a)(xi)

Project Name: RINDABELLA CHRISTIAN COLLEGE		Project Status: BA		Drawing Title: LOCATION PLAN		
Project Title: MAINTENANCE SHED		Project Address: 136 BRIGALOW STREET, LYNEHAM ACT		Design Project Manager: N.G	Project Architect: N.G	Design Verifier:
All dimensions in millimeters. Do not scale drawing. All dimensions and levels to be verified on site by contractor before commencing work or preparation of shop drawings. Where provided, drawings must be read in conjunction with schedule of work or specifications.		Block: 4	Section: 41	Sheet Size: A1	Sheet No.: A001	Drawn: C.P
		Drawing No.: 101	Project No.: 1506.10		Amendment: 2	

EXISTING TECHNOLOGY & SCIENCE LABS

BUILDING APPROVAL
 Issued under section 28 of the Building Act 2004
 Certified Building Solutions Pty Ltd
18 OCT 2017
 Sch 2.2(a)(ii)
 Licence No: 200426203



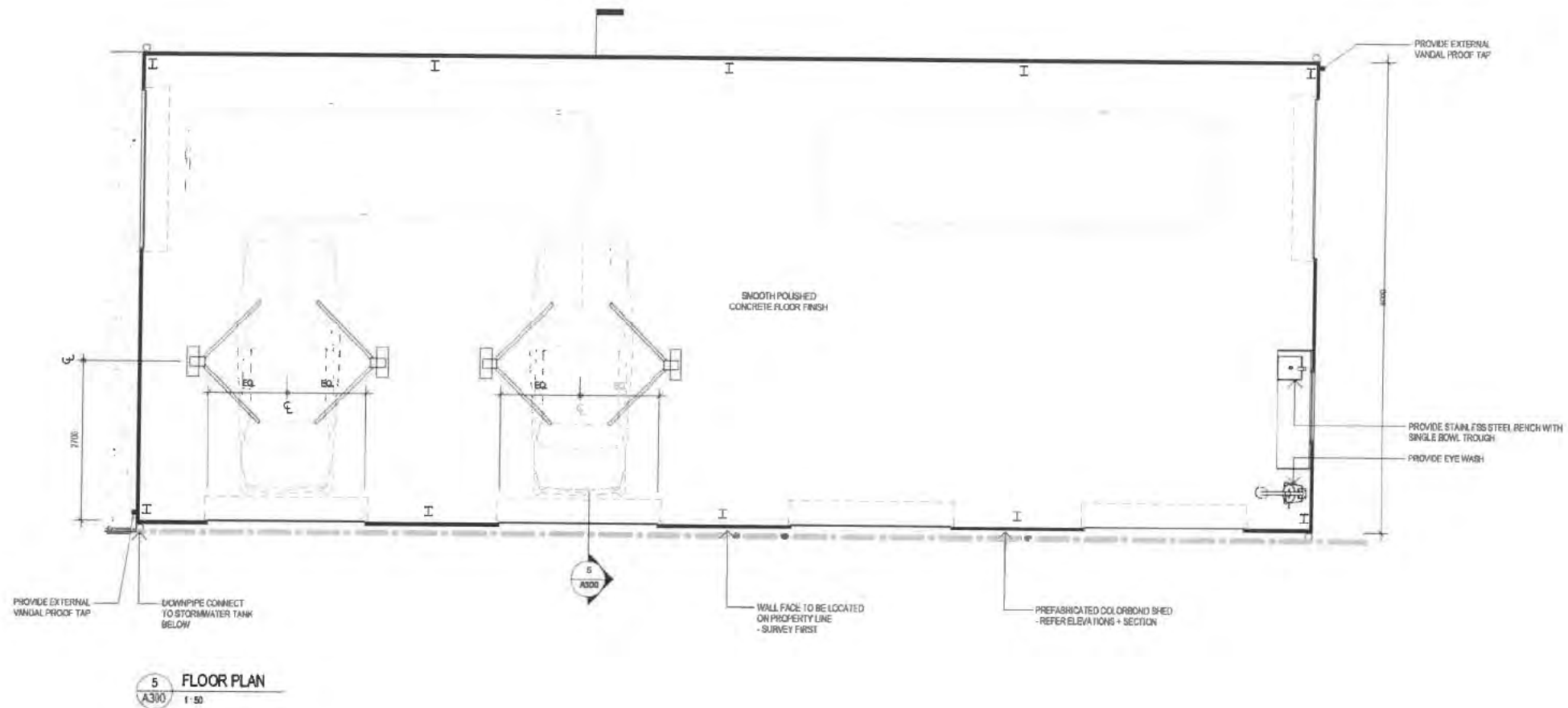
SCALE: 1:50 (MILIMETER SCALE)

No.	Date	Description
1	04.01.17	SEWER SETOUT DIMENSION
2	14.07.17	ISSUE FOR CLIENT APPROVAL
3	18.10.17	ISSUE FOR BA

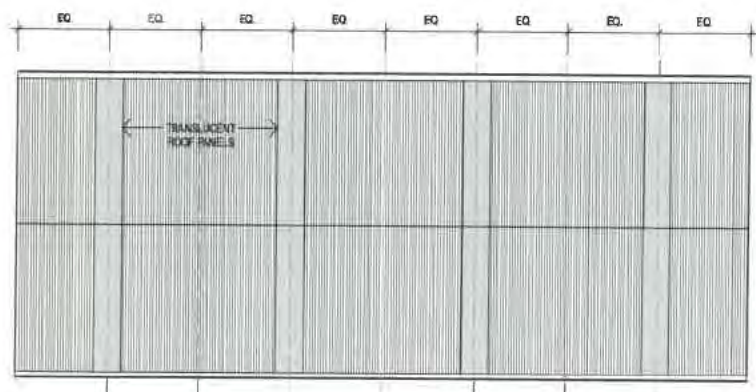
Sch 2.2(a)(xi)

Project Name: ANDABELLA CHRISTIAN COLLEGE		Project Status: BA	Drawing Title: SITING & SERVICES PLAN	
Project Address: 136 BRIGALOW STREET, LYNEHAM ACT		Block: 4	Section: 41	Design Verifier: 3
Project No: 1506.10		Sheet No: A002	Amendment: 3	

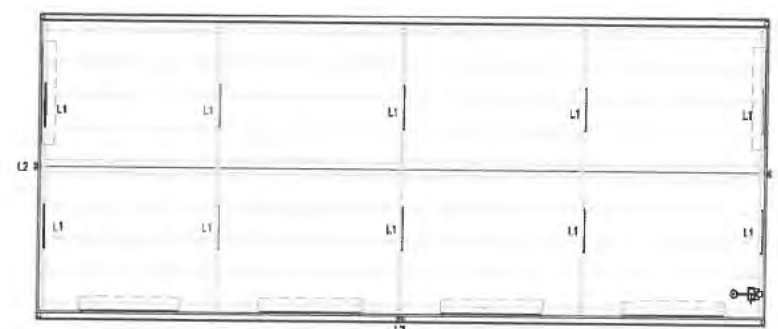
All dimensions in millimetres. Do not scale drawing. All dimensions and levels to be verified on site by contractor before commencing work or preparation of shop drawings. Where provided, drawings must be read in conjunction with schedule of work or specification.



5 FLOOR PLAN
A300 1:50



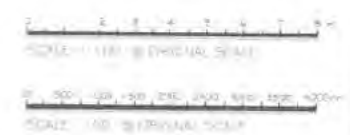
1 ROOF PLAN
A300 1:100



2 REFLECTED CEILING PLAN
A300 1:100

BUILDING APPROVAL
 Issued under section 28 of the Building Act 2004
Certified Building Solutions Pty Ltd
18 OCT 2017
 Sch 2.2(a)(ii)
 Licence No: 200426203

CEILING PLAN NOTES
 L1- LED SURFACE MOUNTED LUMINAIRE
 L2- WALL MOUNTED SECURITY FLOODLIGHT. SENSOR TO BE CONFIRMED BY CLIENT



No.	Date	Description
1	18.06.17	QA REVISION
2	14.07.17	ISSUE FOR CLIENT APPROVAL
3	18.10.17	ISSUE FOR BA

Sch 2.2(a)(xi)

Project Name: MABELLA CHRISTIAN COLLEGE		Project Status: BA	Drawing Title: FLOOR, ROOF, CEILING PLAN	
Project Address: 136 BRIGALOW STREET, LYNEHAM ACT		Design Project Manager:	Project Architect:	Design Verifier:
Scale: As indicated		Sheet Size: A1	Drawn:	
Project No: 1506.10		Sheet No: A100	Amendment: 3	
Block: 4	Section: 41	Date: 101	© Copyright	

Project Approved by Building Solutions Pty Ltd. Design: Certified Building Solutions Pty Ltd. Project No: 1506.10. Drawing Title: FLOOR, ROOF, CEILING PLAN. Scale: As Indicated. Date: 18/10/17.

GENERAL NOTES

1. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE ARCHITECTS DRAWINGS, THE BUILDING CODE OF AUSTRALIA AND ALL RELEVANT AUSTRALIAN STANDARDS. WHERE ANY CONFLICT BECOMES APPARENT IT SHALL BE REFERRED TO THE CONTRACT SUPERINTENDENT FOR RESOLUTION PRIOR TO TENDERING.
2. DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE STRUCTURAL DRAWINGS.
3. LIVE LOADS HAVE BEEN ASSESSED USING AS1170 PARTS 1 AND 2 AND ARE AS FOLLOWS.

FLOOR LOAD 1.5 kPa

4. BUILDER TO ENSURE THAT THE SITE IS DRAINED TO MEET THE REQUIREMENTS OF AS 2870.

FOUNDATION NOTES

1. THIS SITE HAS BEEN CLASSIFIED CLASS # IN ACCORDANCE WITH AS2870 1996 (TO BE CONFIRMED ON SITE)
2. ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH AS2870 1996 (INCLUDING COMPACTION DRAINAGE AND SITE MAINTENANCE)
3. FOUNDING CONDITION TO BE CONFIRMED ON SITE BY A CHARTERED PROFESSIONAL ENGINEER OR GEOTECHNICAL ENGINEER.
4. FOOTINGS AND EDGE BEAMS SHALL BE DEEPEMED TO THE SAME LEVEL AS ANY ADJACENT SERVICES UNLESS SUPPORTED ON PIERS TO SERVICE LEVEL. BUILDER TO INVESTIGATE EXISTING SERVICES. (SEE DETAILS SHEET).

RAFT SLAB.

1. REMOVE TOPSOIL AND SATURATED CLAYS OVER ALL BUILDING FOOTPRINT AND COMPACT SUBGRADE TO 95% MMDD PRIOR TO PLACEMENT OF FILL MATERIALS.
2. FILL TO THE REQUIRED PLATFORM LEVEL WITH APPROVED FILL MATERIAL COMPACTED TO 95%MMDD IN 150 mm LAYERS. (NOTE THAT THE MATERIAL REMOVED IN STEP ONE IS UNSUITABLE FOR USE AS FILL.)
3. FILL SHALL BE GRANULAR AND HAVE A MAXIMUM PARTICLE SIZE NOT EXCEEDING 75 mm.
4. A SAND LEVELING LAYER WITH A MAXIMUM DEPTH OF 20mm SHALL BE PROVIDED TO PROTECT THE MEMBRANE.
5. ALL SLABS UNDER COVERED AREAS SHALL BE PLACED ON PLASTIC MEMBRANE COMPLYING WITH AS2870.
6. MECHANICALLY VIBRATE ALL SLABS. SUPPORT MESH WITH PLASTIC BAR CHAIR AT 800 mm MAXIMUM CENTERS. SUPPLY BEARING PLATES AS DIRECTED. LAP MESH 225mm MIN.
7. BEFORE POURING SLABS CONFIRM ALL FLOOR FINISHES WITH ARCHITECT AND PROVIDE F92 MESH OR 2 LAYERS OF F72 TO ALL AREAS WHERE BRITTLE FLOOR FINISHES SUCH AS SLATE OR TILES ARE PROPOSED.

SLAB ON GROUND.

1. REMOVE TOPSOIL AND SATURATED CLAYS OVER ALL BUILDING FOOTPRINT AND COMPACT SUBGRADE TO 95% MMDD PRIOR TO PLACEMENT OF FILL MATERIALS.
2. FILL TO THE REQUIRED PLATFORM LEVEL WITH APPROVED FILL MATERIAL COMPACTED TO 95% MMDD IN 150 mm LAYERS. (NOTE THAT THE MATERIAL REMOVED IN STEP ONE IS UNSUITABLE FOR USE AS FILL.)
3. FILL SHALL BE GRANULAR AND HAVE A MAXIMUM PARTICLE SIZE NOT EXCEEDING 75 mm.
4. A SAND LEVELING LAYER WITH A MAXIMUM DEPTH OF 20mm SHALL BE PROVIDED TO PROTECT THE MEMBRANE.

5. ALL SLABS UNDER COVERED AREAS SHALL BE PLACED ON PLASTIC MEMBRANE COMPLYING WITH AS2870.
6. MECHANICALLY VIBRATE ALL SLABS.
7. SUPPORT MESH WITH PLASTIC BAR CHAIR AT 800 mm MAXIMUM CENTERS. SUPPLY BEARING PLATES AS DIRECTED. LAP MESH 225mm MIN.
8. BEFORE POURING SLABS CONFIRM ALL FLOOR FINISHES WITH ARCHITECT AND PROVIDE F92 MESH OR 2 LAYERS OF F72 TO ALL AREAS WHERE BRITTLE FLOOR FINISHES SUCH AS SLATE OR TILES ARE PROPOSED.

CONCRETE

1. WORKMANSHIP AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH AS3600.
2. MATERIALS TO BE IN ACCORDANCE WITH AS 3600 AND AS 1379.
3. UNLESS NOTED OTHERWISE ALL CONCRETE

AREA	GRADE	MAX AGG	SLUMP
FOOTINGS AND SLABS ON GROUND	N40	20 mm	80 mm

CONCRETE COVER	
CONCRETE IN GROUND	40 mm
TOP OF CONCRETE SLABS	30 mm

4. ALL SLABS TO BE CURED USING CURECON A (ACRYLIC WATER BASED MEMBRANE CURING COMPOUND) OR APPROVED EQUIVALENT IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS. WHERE COLUMN FORMWORK IS NOT TO REMAIN IN PLACE FOR 7 DAYS ALTERNATIVE METHODS OF CURING THAT MEET REQUIREMENTS OF AS3799 ARE TO BE USED.
5. PROVIDE FLOOR FINISHES AS FOLLOWS: MAXIMUM DEVIATION 6mm FROM 3 m STRAIGHTEDGE.
6. ELECTRICAL CONDUITS IN SLABS SHALL BE LOCATED SO AS TO ENSURE THAT CONCRETE CAN BE ADEQUATELY PLACED AND COMPACTED.
7. CHEMICAL ANCHORS TO USE RAMSET REQ 502 UNLESS NOTED OTHERWISE ON DRAWING OR ALTERNATIVE IS APPROVED IN WRITING.

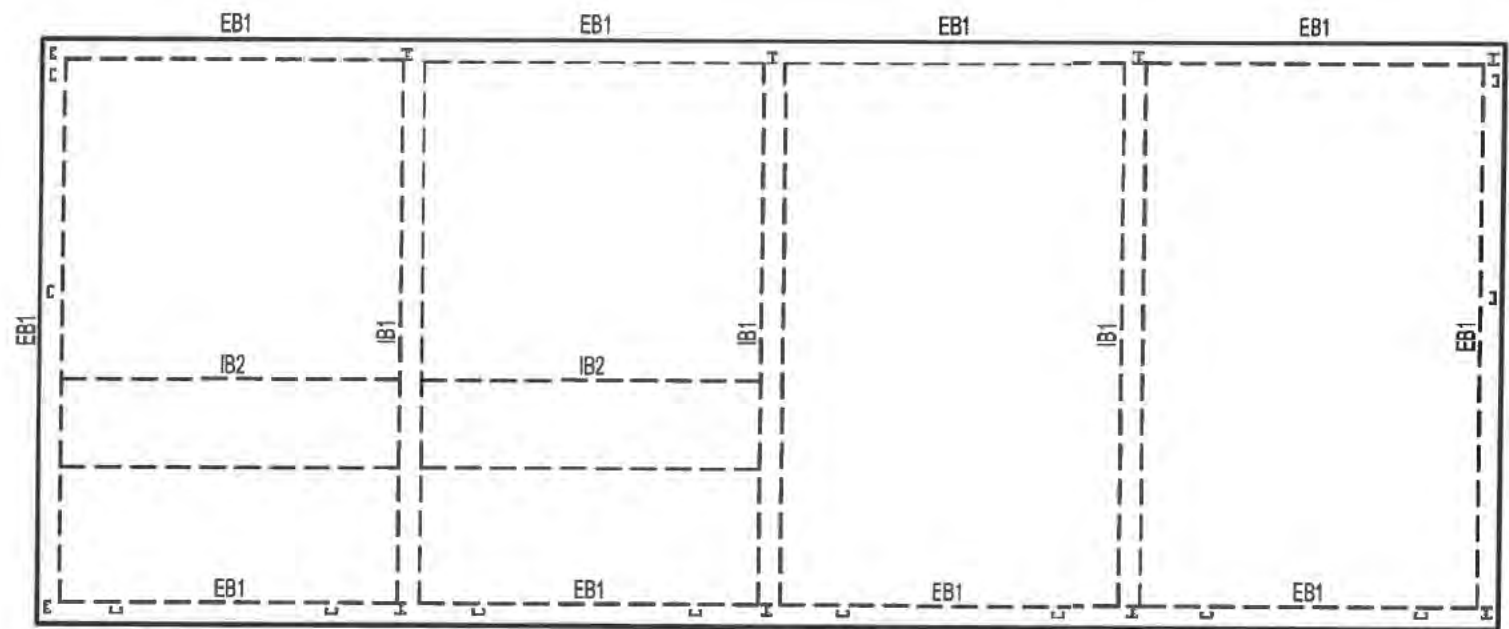
REINFORCEMENT

1. LOW DUCTILITY REINFORCEMENT AS DEFINED IN AS/NZS 4671 IS PERMITTED IN FOOTINGS, SLABS ON GROUND AND FOOTING EDGE BEAMS ONLY.
2. ONLY NORMAL DUCTILITY REINFORCEMENT TO AS/NZS 4671 IS PERMITTED IN SUSPENDED SLABS, BEAMS AND COLUMNS.

NO.	DATE	REVISION	APPRVD	NO.	DATE	REVISION	APPRVD	PROJECT
B	15-08-17	FOR INFORMATION	MKW					BRINDABELLA COLLEGE - MAINTENANCE SHED BLOCK 04 SECTION 41 LYNEHAM
A	17-07-08	FOR INFORMATION	MKW					
I	09-03-17	FOR INFORMATION	MKW					

Sch 2.2(a)(xi)

DATE	24/02/2017	SCALE	AS SHOWN
DRAWN	CBC	DRAWING NO.	17016 S000
CHECKED	MKW	PLOTTED	16/08/2017



MAINTENANCE SHED - FOOTING AND SLAB PLAN

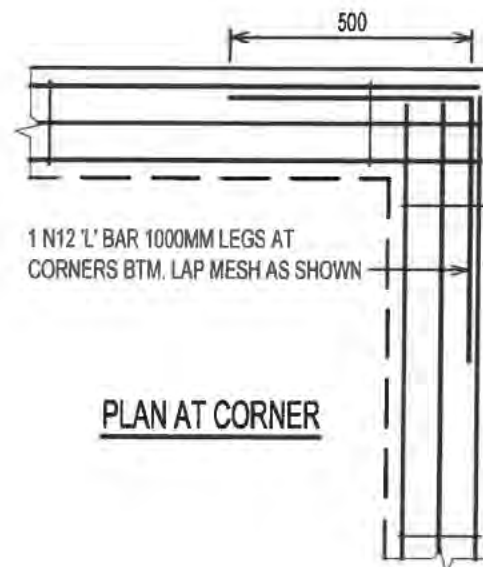
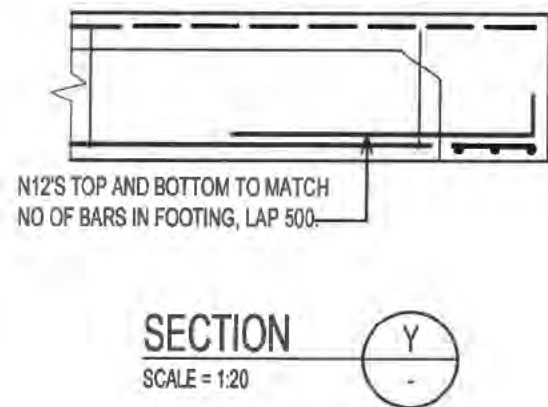
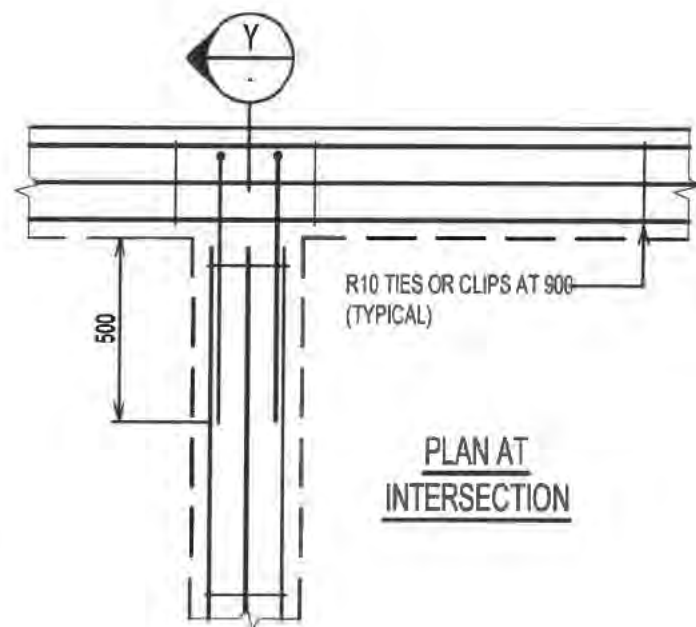
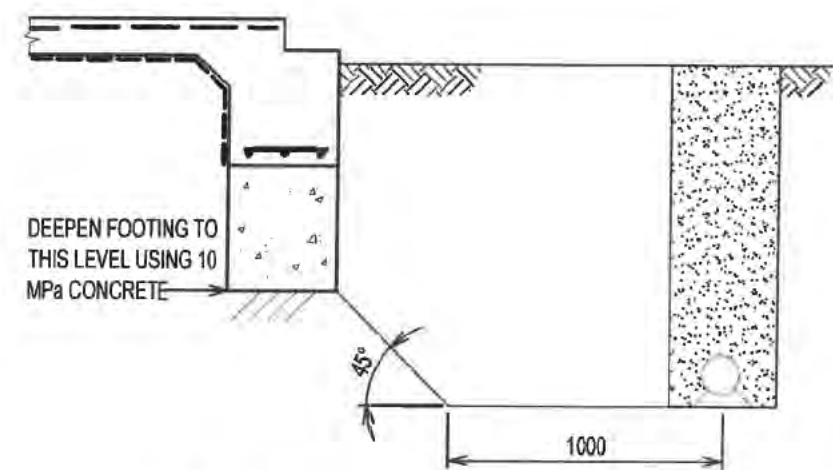
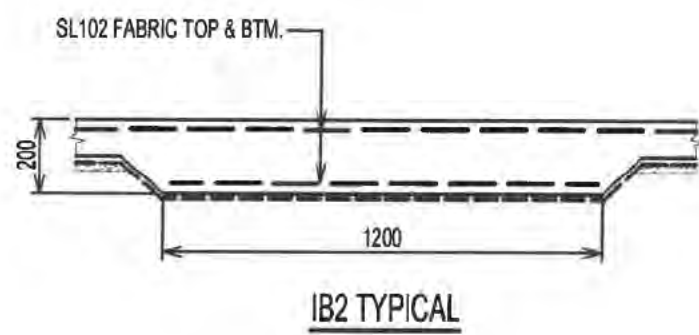
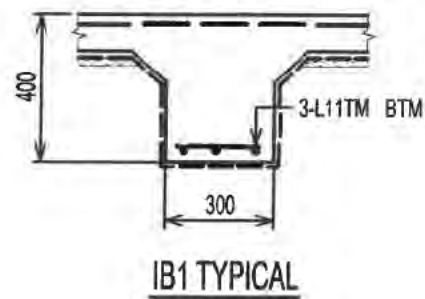
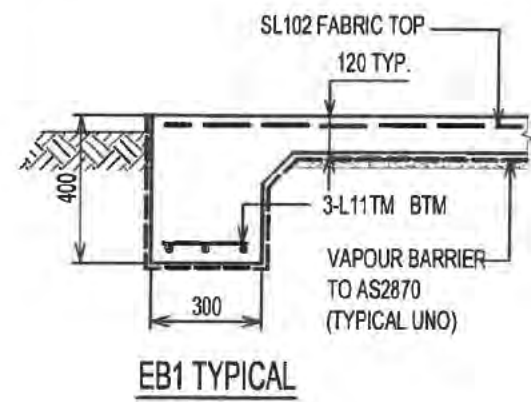
SCALE = 1:100

MARK	DESCRIPTION	COMMENTS
EB1	400 DEEP x 300 (W)	EXTERNAL BEAM
IB1	400 DEEP x 300 (W)	INTERNAL BEAM
IB2	200 DEEP x 1200 (W)	INTERNAL BEAM

NO.	DATE	REVISION	APPRVD	NO.	DATE	REVISION	APPRVD	PROJECT	DRAWING	DATE	SCALE
B	16-08-17	FOR INFORMATION	MKW					BRINDABELLA COLLEGE - MAINTENANCE SHED BLOCK 04 SECTION 41 LYNEHAM	FOOTING AND SLAB PLAN	24/02/2017	AS SHOWN
A	17-07-06	FOR INFORMATION	MKW							CBC	17016 S001
I	09-03-17	FOR INFORMATION	MKW							MKW	16/08/2017

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)



NO.	DATE	REVISION	APPRVD	NO.	DATE	REVISION	APPRVD	PROJECT
B	16-08-17	FOR INFORMATION	MKW					BRINDABELLA COLLEGE - MAINTENANCE SHED BLOCK 04 SECTION 41 LYNEHAM
A	17-07-06	FOR INFORMATION	MKW					
1	09-03-17	FOR INFORMATION	MKW					

Sch 2.2(a)(xi)

24/02/2017	SCALE @ AS	AS SHOWN
CBC	DRAWING No.	17016 S005
ED MKW	PLOTTED	16/08/2017

Block: 4

Section: 41

Suburb: Lyneham

Unit No:

Project Number: B20174355

Building Certifier: Certified Building Solutions

Customer Services Officer Name: Bobolas J Date of completeness check: 27/10/17

Administrative Check and Document check				
Requirements	Yes	No	N/A	Comments
Has the Building Approval been submitted within 7 days from the date of approval?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Does the description of works state the shop/company name if a fitout or tenancy number/ level if alterations.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Have all relevant plans been stamped and dated by the building certifier?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Does the date stamp on the plans match the approval date on eDevelopment?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Building approval stamp and application form text legible?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
If the Building Approval has a Development Approval is the Development Approval still valid?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	DA NUMBER: 201630939
Have all lessee's signed the relevant forms?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Are all relevant documents uploaded & named correctly?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has an insurance certificate been provided if the cost of building work exceeds \$12,000? (Class 1 units only)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Have statements of compliance from each relevant utility been provided where relevant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/> GAS <input checked="" type="checkbox"/> WATER <input checked="" type="checkbox"/> ELECTRICITY
If BCN has been issued, is the licensee authorised to undertake the work as described? ie: Swimming Pool or Demolition endorsement on licence.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
If there is no exemption D notice has a site work notice been provided?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

Document	Document Name	Yes	No	N/A
Asbestos Removal Control Plan	Asbestos Removal Control Plan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Development Approval (including amendments)	Approved Plans – Development Approval	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Site Plan	Approved Plans – Site	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Floor Plan	Approved Plans – Floor	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Elevation Plan	Approved Plans – Elevation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Section Details – Wall, Floor Ceiling & Roof	Approved Plans – Sections Wall Approved Plans – Sections Floor Approved Plans – Sections Ceiling Approved Plans – Sections Roof	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Demolition Plan	Approved Plans – Demolition	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Swimming Pools and Spas Details (including fencing/barriers)	Details – Pools Spas	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Energy Efficiency Details (Multi Unit Housing Only)	Details – Energy Efficiency	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Creating Building Files

Only complete this section if for a new block where a building file does not exist.

Select Y (yes) or N (no) below.

Is this a new building on a new block?

Has a new building approval been created in Objective and I Drive?

Part 4 Audit Team Checklist

Document	Document Name	Pass	Fail	N/A
Footings and Concrete Slab Details	Details – Footings Concrete Slab	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Retaining Wall Details	Details – Retaining Walls	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Masonry Construction Details	Details – Masonry Construction	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Framing (including trusses) and Construction Details	Details – Framing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Roof Cladding Details	Details – Roof Cladding	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Exterior Cladding & Material Details	Details – Exterior Cladding & Materials	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Wet area details	Details – Wet Area	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Windows and Glazing Details	Details – Windows Glazing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Estimate of the Cost of the Building Work	Details – Cost of Building Work	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Alternative Solutions	Details – Alternative Solutions	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



Building Approval Fees and Levies Tax Invoice

TO THE PAYEE

c/o Brindabella Christian Education Ltd
136 Brigalow Street,
Lyneham ACT 2602

Access Canberra Building Services

ABN 16 479 763 216
8 Darling Street Mitchell
GPO Box 158 ACT 2601
Access Canberra Homepage: www.act.gov.au/accesscbr

Invoice Date: 18/10/2017 Time: 3:16:34 PM

Invoice Number: 3100439953

Block - Section - Division - District	Building Levy	Training Levy	Fees Paid	Total
4 - 41 - LYNEHAM - CANBERRA CENTRAL Ref # - 28599				
Total	Sch 2.2(a)(xi)			

No GST applies to these fees and levies.

PAYMENT REQUIRED WITHIN 14 DAYS OF INVOICE ISSUE DATE

Payment Options



Billers Code: Sch 2.2(a)(xi)
Ref: Sch 2.2(a)(xi)

Telephone & Internet Banking – BPAY®

Call your bank, credit union or building society to make this payment from your cheque, savings or credit card account. More info: www.bpay.com.au



Access
Canberra

Internet

Visit www.accesscanberra.act.gov.au and search "Building Approvals and Payments" and then follow links to pay by credit card (MasterCard or Visa)



Access
Canberra

Phone

Telephone (02) 6207 1923 8.30am - 4.30pm Mon - Fri and have your credit card details handy (MasterCard and Visa).



Access
Canberra

In Person

Access Canberra Building Services Shopfront Only: 8.30am – 4.30pm Mon – Fri . Cash, Cheque, EFTPOS, Credit card (Mastercard and Visa). CashLink Code – 34 0075



Building Act 2004, S151
Building Approval

Project ID: B20174355

PART A - PROJECT DETAILS

Unit	Block	Section	Division (Suburb)	District	Jurisdiction
	4	41	LYNEHAM	CANBERRA CENTRAL	Australian Capital Territory

PART B - WORKS REQUIRING BUILDING APPROVAL

Item of building work to which this Building Approval relates:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
10a	New	SHED		NA	1	160.00	Sch 2.2(a)(xi)

Work relates to the following Development Application(s):

Development Application ID	Description
201630939	Merit -
201630939	Merit -

PART C - CERTIFIERS DECLARATION

I declare that in issuing this building approval under section 28 of the Building Act 2004:

- I am satisfied on reasonable grounds that the plans meet each applicable approval requirement under section 29 and is not prevented from being issued under section 30 or section 30A
- I have supplied all documents as required under 3.3 Building Act 2004
- I have prepared a notice (building approval certificate) certifying what approval requirements apply to the application and why the building approval is not prevented from being issued; and
- I have given the building approval certificate to the applicant.

In performing services as a certifier in relation to the work detailed in this application I am not in breach of my entitlement to act as a certifier in accordance with the Building Act 2004.

Full Name	Address	License Number	Expiry Date
CERTIFIED BUILDING SOLUTIONS PTY LTD	PO Box 76 MITCHELL ACT 2911	Sch 2.2(a)(ii)	2/09/2018

Date Issued : 18/10/2017

NOTES

Utilities

This application must also be accompanied by a Statement of Compliance from each relevant utility provider (for water, sewerage, electricity and stormwater) which confirms that the location and nature of earthworks, utility connections, proposed buildings, pavements and landscape features comply with utility standards, access provisions and asset clearance zones.

Note 1: If there is no stormwater easement or Territory owned stormwater pipes located within the property boundary, a "Statement of Compliance" for stormwater from TAMS (Asset Acceptance) is not required to be obtained.

Note 2: Where there is conflict between planning and utility requirements, the utility requirements take precedence over other codified or merit provisions.

Utilities – Demolition Only

This application must be accompanied by a Statement of Endorsement for utilities (including water, sewerage, electricity and stormwater) stating that:

- all network infrastructure on or immediately adjacent to the site has been identified on the plan
- all potentially hazardous substances and conditions (associated with or resulting from the demolition process) that may constitute a risk to utility services have been identified
- all required network disconnections have been identified and the disconnection works comply with utility requirements
- all works associated with the demolition comply with and are in accordance with utility asset access and protection requirements

Note: The documentation provided to the utility provider for endorsement must be consistent with the documentation that forms part of a development approval or the documentation verified as exempt from requiring development approval by a licensed certifier.

Asbestos Advice

If documents accompanying building approval do not include an asbestos assessment report as per the Building Act 2004, the building approval must have an Asbestos Advice attached as per the Act

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.



Access
Canberra.

APPOINTMENT OF A CERTIFIER APPLICATION FOR BUILDING APPROVAL

Building Act 2004, S151

This form is to be completed by the Owner/s of the land to which the building work relates.

PART A

PROJECT DETAILS

Block Section Suburb Unit No.

Street Address

Description of Building Works relevant to this application-*if more than 4 items please attach further details*

Describe each item of building work in this building approval	BCA Occupancy Class	BCA Construction Type	Area (m ²)	Number of Storeys	Cost of Works (refer to building cost)
1 CONSTRUCTION OF A SHED	10A	N/A	160	1	Sch 2.2(a)(xi)
2					
3					
4					

Applicable approved requirements and reasons why building approval is not prevented from being issued

Is all work exempt from development approval?

YES Attach assessment for exempt development checklist (if applicable)

NO Provide reason/s or description of work: DA# 201630939

Description of Attachments compliant with Division 3.3 Building Act 2004

Please attach any additional documentation not listed below

Building Approval Plans

Referrals, consultations & consents outcomes

Asbestos Advice - If documents accompanying building approval do not include an asbestos assessment report as per the Building Act 2004, the building approval must have an AA attached as per the Act

PART B

OWNER'S DETAILS - Please Print

All owners must be listed

Owner 1 will be considered the contact person in relation to this application

Company Details

BRINDABELLA CHRISTIAN EDUCATION LTD

ACN/ABN Number

21 100 229 699

Owner 1 GREG ZWAJGENBERG

Owner 2 _____

Owner 3 _____

Owner 4 _____

Approved form AF2016-85 approved by David Middlemiss, Construction Occupations Deputy Registrar on 10 August 2016 under section 151 of the Building Act 2004 and revokes AF2016-80.

PART B continued		OWNER/S DETAILS -- Please Print	
Postal Address	136 BRIGALOW STREET		
Suburb	LYNEHAM	State	ACT
		Postcode	2602
Phone Number Business Hours	6247 4644	Mobile	Sch 2.2(a)(ii)
EMAIL ADDRESS	Sch 2.2(a)(ii)		

PART C APPOINTMENT OF CERTIFIER

As required under the Building ACT 2004 I/we herby advise that I/we the owner/s have appointed the person whose details appear below as the certifier in relation to the building works described in this form

Company Details	CBS P/L		
Name of Certifier	CBS P/L	ABN/ACN	Sch 2.2(a)(ii)
Postal Address	PO BOX 76		
Suburb	MITCHELL	State	ACT
		Postcode	2911
Phone Number Business Hours	62839111	Mobile	-
EMAIL ADDRESS	Sch 2.2(a)(xi)		

PART D APPLICATION FOR BUILDING APPROVAL

I/we the Owner/s of the abovementioned property hereby apply under Section 26 of the *Building Act 2004* to the certifier named above to issue a building approval for the building work described in this form. I/we have provided the certifier with information and documentation required to issue a building approval as specified in the *Building (General) Regulation 2008*.

PART E AUTHORITY TO ACCESS BUILDING FILE

I/we hereby authorise the certifier to access the building file for the property which is the subject of this application for the purposes of obtaining information relevant to the issuing of a building approval and associated processes.

PART F		Sch 2.2(a)(ii)	
1st Owner's Signature		Date	18.9.17
2nd Owner's Signature		Date	
3rd Owner's Signature		Date	
4th Owner's Signature		Date	

NOTE: There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

APPLICATION FOR BUILDING APPROVAL REQUIREMENTS – Building (General) Regulations 2008

Where relevant the following information **MUST** be included in either the application or the plans accompanying the application for building approval:

General Requirements

- ▶ Estimated Cost of Works –as per *Building (General) (Cost of Building Work) Determination 2015*
- ▶ if the proposed building work to be carried out at or near a street or place that is open to or used by the public the application must contain details of the precautions proposed to be taken to protect the safety of people using the street or place while the building work is carried out
- ▶ the area of the parcel of land to which this application relates
- ▶ the class of the building according to the intended use of the building as proposed to be erected or altered;
- ▶ if applicable what fire-resisting construction type (under the building code) the building as proposed to be erected or altered will be
Note: Fire-resisting construction type may not be applicable if an alternative solution under the building code is used
- ▶ for an application relating to the erection of a class 1 building the site classification of the parcel of land
- ▶ for an application relating to the alteration of a class 1 building if the alteration will increase the building load carried by foundation material beyond the building load carried by the foundation before the alteration
- ▶ the site classification of the parcel of land
- ▶ for an application relating to the alteration of a building the class and type of fire-resisting construction of the existing building classified under the building code and the materials used in the existing building
Note: Fire-resisting construction type may not be applicable if an alternative solution under the building code is used
- ▶ the number of storeys of the building as proposed to be erected or altered;
- ▶ the number of new dwellings (if any) created by the proposed building work;
- ▶ the floor area of the proposed building or proposed new part of the building;
- ▶ the materials to be used in the frame, floor, walls and roof of the proposed building or proposed new part of the building
- ▶ if a performance requirement of the building code is to be complied with by use of an alternative solution under the code -
 - (i) the performance requirement; and
 - (ii) the alternative solution; and
 - (iii) each assessment method used to show that the alternative solution complies with the performance requirement;
- ▶ If the building code does not state a standard of work in relation to any part of the proposed building work and it is intended to carry out that part of the proposed building work in accordance with a standard of work stated in another document -
 - (i) the nature of the proposed building work; and
 - (ii) the title of the document; and
 - (iii) each assessment method used to show that the proposed building work complies with the standard of work stated in the document.

Removal or demolition of building/s

- ▶ Details of the methods to be used in carrying out the proposed building work, including a work plan stated or set out in AS 2601 (Demolition of structures), as in force from time to time;
- ▶ the number of dwellings (if any) to be demolished.

Asbestos

- ▶ The application must include a description of the method proposed to be used to remove the bonded asbestos sheeting from the building
- ▶ the application must include the following information:
 - (i) the method proposed to be used to remove the asbestos;
 - (ii) the approximate amount and kind of asbestos to be removed;
 - (iii) the equipment proposed to be used to remove the asbestos, including any personal protective equipment;
 - (iv) details of a program, prepared in accordance with the asbestos removal code, for monitoring airborne asbestos to be followed during the removal.

Privacy Notice

The personal information on this form is provided to Access Canberra to enable the processing of your application. The collection of personal information is authorised by the *Building Act 2004*. If all or some of the personal information is not collected Access Canberra cannot process your application. The personal information you provide may be disclosed to Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be disclosed where authorised by law or court order, or where the Directorate reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. Access Canberra's Information Privacy Policy contains information about how you may access or seek to correct your personal information held by Access Canberra, and how you may complain about an alleged breach of the Territory Privacy Principles. Access Canberra Information Privacy Policy can be found at www.act.gov.au/accessCBR

CONTACT INFORMATION

Email:
ACTPLAdevelopmentBA@act.gov.au

Post:
Access Canberra
Building Services
Shopfront Mitchell
GPO Box 158
Canberra, ACT 2601

In Person:
Please visit
www.act.gov.au/accessCBR
Or call 132281 to find an
Access Canberra Shopfront.

Brindabella Christian Education Ltd
 136 Brigalow Street
 Lyneham ACT 2602
 Attn: Greg Zwajgenberg

BUILDING APPROVAL CERTIFICATE

Location: Block 4 Section 41 Lyneham

Description of Building Work: Shed

BCA Occupancy Class: 10a

BCA Construction Type: N/A

Rise in Storeys: 1

Building Approval.

Your application for building approval satisfies the Building Act 2004. Building approval is issued under s.28 of the Building Act 2004.

All work must comply with the:

1. Building Act 2004; and
2. National Construction Code 2016 Volume 2.

This approval expires three years from the date of this approval or at the expiry of the development approval, whichever occurs first.

Commencement

Building work may begin on the issue of the Building Commencement Notice.

Sch 2.2(a)(ii)

Principal Building Surveyor
 Certified Building Solutions Pty Ltd
 COLA Lic No. Sch 2.2(a)(ii)

8,10,17.

Reference No. 28599



Access
Canberra.

APPOINTMENT OF BUILDER & APPLICATION FOR COMMENCEMENT NOTICE

Building Act 2004, S151

In completing this form the owner is authorising the builder nominated below to apply to the appointed certifier to issue a Commencement Notice for the works detailed in this application form.

PART A PROJECT DETAILS

Block	<input type="text" value="4"/>	Section	<input type="text" value="41"/>	Suburb	<input type="text" value="LYNEHAM"/>	Unit No.	<input type="text"/>
Street Address	<input type="text" value="136 BRIGALOW STREET"/>						
Certifier Name	<input type="text" value="CERTIFIED BUILDING SOLUTIONS"/>						

Description of Building Works relevant to this application—If more than 6 items please attach further details

1	CONSTRUCTION OF A SHED
2	
3	
4	

PART B OWNER DETAILS — Please Print

All owners must be listed

Owner 1 will be considered the contact person in relation to this application

Company Details

Owner 1 GREG ZWAJGENBURG Owner 2 _____
Owner 3 _____ Owner 4 _____

Postal Address
Suburb State Postcode

Phone Number Business Hours Mobile

EMAIL ADDRESS

Approved form AF2016-79 approved by David Middlemiss, Construction Occupations Deputy Registrar on 02 August 2016 under section 151 of the Building Act 2004. This form repeals AF2014-72

Authorised by the ACT Parliamentary Counsel—also accessible at www.legislation.act.gov.au

PART C APPOINTMENT OF BUILDER

I/we the owner/s have appointed the person whose details appear below as the builder in relation to the building works described in this form

Licence Holders Name as it appears on licence card **Sch 2.2(a)(ii)**

Licence Number **Sch 2.2(a)(ii)** Class **Sch 2.2(a)(ii)** Expiry Date **10/01/18**

List any conditions or endorsements on licence **Sch 2.2(a)(ii)**

EMAIL ADDRESS **Sch 2.2(a)(ii)**

PART D NOMINEE'S DETAILS
If the builder is a company or partnership provide details of the Nominee who will supervise the building

Nominee's Name **Sch 2.2(a)(ii)**

Licence Number **Sch 2.2(a)(ii)** Class **Sch 2.2(a)(ii)** Expiry Date **10/01/18**

Signature of Nominee **Sch 2.2(a)(ii)** Date **12/7/17**

PART E OWNER'S DETAILS

Owner 1 **Sch 2.2(a)(ii)** **Sch 2.2(a)(ii)** **7/17**
 Owner 2 _____
 Owner 3 _____
 Owner 4 _____ Signature _____ DATE: _____

PART F BUILDER APPLICATION TO CERTIFIER FOR COMMENCEMENT NOTICE

I hereby apply to the building certifier listed above for a commencement notice for the works detailed in Part A of this form in accordance with the Building Act 2004.

- A site sign was not required to be displayed prior to making this application.
- A site sign was required to be erected and displayed. **Sch 2.2(a)(ii)** declare that a compliant sign was

Signature of Builder **Sch 2.2(a)(ii)** **12/7/17**

NOTE: There are penalties for deliberately giving false information. The certifier or Minister may revoke an approval if satisfied that the approval was obtained by false information.

PART G INSURANCE OR FIDELITY CERTIFICATE

For residential building work please provide details of insurance where applicable

Insurance Provider _____ Policy No. _____ Date Issued _____

PLEASE NOTE:

- ▶ A copy of this notice and where applicable the residential building insurance policy or fidelity certificate must be given to the Construction Occupations Registrar within one (1) week of the issue date.
- ▶ A copy of the Commencement Notice must also be provided to the owner/s.

Privacy Notice

The personal information on this form is provided to Access Canberra to enable the processing of your application. The collection of personal information is authorised by the *Building Act 2004*. If all or some of the personal information is not collected Access Canberra cannot process your application. The personal information you provide may be disclosed to Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be disclosed where authorised by law or court order, or where the Directorate reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. Access Canberra's Information Privacy Policy contains information about how you may access or seek to correct your personal information held by Access Canberra, and how you may complain about an alleged breach of the Territory Privacy Principles. Access Canberra Information Privacy Policy can be found at www.act.gov.au/accessCBR

CONTACT INFORMATION**Email:**

ACTPLAdevelopmentBA@act.gov.au

Post:

Access Canberra
Building Services
Shopfront Mitchell
GPO Box 158
Canberra, ACT 2601

In Person:

Please visit
www.act.gov.au/accessCBR
Or call **132281** to find an
Access Canberra Shopfront.



Building Act 2004, S151

Application for Building Commencement Notice

Project ID: B20174355

Licensed builders must use this form to apply to the building certifier for a commencement notice in accordance with the Building Act 2004. An application can only be made if the building approval has been issued for the building work. A commencement notice must be issued by the building certifier before any building work can commence.

PART A - PROJECT DETAILS

Building approval issue date: 18/10/2017

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
	4	41	CANBERRA CENTRAL	LYNEHAM	Australian Capital Territory

Full Name	Address	License Number	Expiry Date
CERTIFIED BUILDING SOLUTIONS PTY LTD	PO Box 76 MITCHELL ACT 2911	Sch 2.2(a)(ii)	2/09/2018

Description of work to which application for Commencement Notice relates:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
10a	New	SHED		NA	1	160.00	Sch 2.2(a)(xi)

Insurance provider:

Policy number:

Issue date: 18/10/2017

PART B - BUILDERS DETAILS

License holder's name:

License number:

License Expiry Date:

Business Address:

Phone Number:

Signature of builder:

Sch 2.2(a)(ii)

(Individual, director for company or partner for partnership)

If the builder is a company or partnership provide details of the nominee who will supervise the building work

Nominee's name:

Sch 2.2(a)(ii)

License number: Sch 2.2(a)(ii)

License Expiry Date: 10/01/2018

Nominee's signature
(if different to above):

_____ / /

PART C - OWNER/LESSEE DETAILS

Name	Address
Brindabella Christian Education Ltd	136 Brigalow Street, Lyneham ACT 2602, AUSTRALIA

ADVISORY NOTE: Owners please ensure you have a written contract with the builder named in this application. For residential building work requiring home owner insurance ensure that the same builders name is shown on the insurance policy.

PART D - OWNER/S OR AGENT SIGNATURE/S

Name	Signature	Date
Brindabella Christian Education Ltd		

NOTE: You may only make this application as an authorised agent on behalf of the owners of the property if you have appropriate written authorisation from ALL the owners and attach it to this application. This also applies if you are a part owner or joint owner making an application on behalf of the owners.

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.

PART E - BUILDER APPLICATION TO CERTIFIER FOR COMMENCEMENT NOTICE

I hereby apply to the building certifier listed above for a commencement notice for the works detailed in Part A of this form in accordance with the Building Act 2004.

- A site sign was NOT required to be displayed prior to making this application.
- A site sign WAS required to be displayed prior to making this application and I declare that a compliant sign was erected and displayed for the required period.

Signature of
Builder/Nominee:

_____ / /

NOTE: There are penalties for deliberately giving false and misleading information. Access Canberra or the Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.



Building Act 2004, S151

Building Commencement Notice

Project ID: B20174355

PART A - PROJECT DETAILS

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
	4	41	CANBERRA CENTRAL	LYNEHAM	Australian Capital Territory

Certifier's Details

Full Name	Address	License Number	Expiry Date
CERTIFIED BUILDING SOLUTIONS PTY LTD	PO Box 76 MITCHELL ACT 2911	Sch 2.2(a)(ii)	2/09/2018

Building approval issue date: 18/10/2017

Building Commencement Notice Required for:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Area (m2)	Cost of Works (\$)
10a	New	SHED		NA	160.00	Sch 2.2(a)(xi)

PART B - BUILDERS DETAILS

License holder's name:

License number:

License Expiry Date:

Business Address:

Phone Number:

Sch 2.2(a)(ii)

If the builder is a company or partnership provide details of the nominee who will supervise the building work

Nominee's name:

License number:

License Expiry Date:

Sch 2.2(a)(ii)

PART C - CERTIFIER'S DECLARATION

Issue date of commencement notice: 18/10/2017

Name of Certifier Issuing Notice: CERTIFIED BUILDING SOLUTIONS PTY LTD

Declaration:

This commencement notice is issued in accordance with the Building Act 2004, to the licensed builder stated above authorising the commencement of the stated building work. The issue of this commencement notice indicates that I am satisfied that the builders license authorises the work in the building approval. Where applicable for residential building work, I have been provided with a residential building insurance policy or fidelity certificate.

PLEASE NOTE:

A copy of the application for this commencement notice, this notice and where applicable the residential building insurance policy or fidelity certificate, must be given to the construction occupations registrar within one (1) week of the issue date.

This building commencement notice will end if-

- (a) for residential building work- the work is no longer insured; or
- (b) the building approval for the work ends

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.



Building Act 2004, S151

Appointment of a Certifier and Application for Building Approval

Project ID: B20174355

This form is to be completed by the Owner/s of the land to which the building work relates

PART A - PROJECT DETAILS

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
	4	41	CANBERRA CENTRAL	LYNEHAM	Australian Capital Territory

PART B - OWNER DETAILS

Name	Address	Email Address
Brindabella Christian Education Ltd	136 Brigalow Street, Lyneham ACT 2602, AUSTRALIA	Sch 2.2(a)(ii)

PART C - APPOINTMENT OF CERTIFIER

As required under the Building ACT 2004 I/we hereby advise that I/we the owner/s have appointed the person whose details appear below as the certifier in relation to the building works described in this form

Full Name	Address	License Number	Expiry Date
CERTIFIED BUILDING SOLUTIONS PTY LTD	PO Box 76 MITCHELL ACT 2911	Sch 2.2(a)(ii)	2/09/2018

PART D - APPLICATION FOR BUILDING APPROVAL

I/we the owners of the abovementioned property hereby apply to the certifier named above to issue a building approval under Section 26 of the Building Act 2004 for the building works detailed in the following table

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
10a	New	SHED		NA	1	160.00	112800.00

I/we have provided the certifier with the information and documentation required to issue a building approval as specified in the Building (General) Regulation 2008.

PART E - AUTHORITY TO ACCESS BUILDING FILE

I/we hereby authorise the certifier to access the building file held by Access Canberra for the property which is the subject of this application for the purposes of obtaining information relevant to the issuing of a building approval and associated processes.

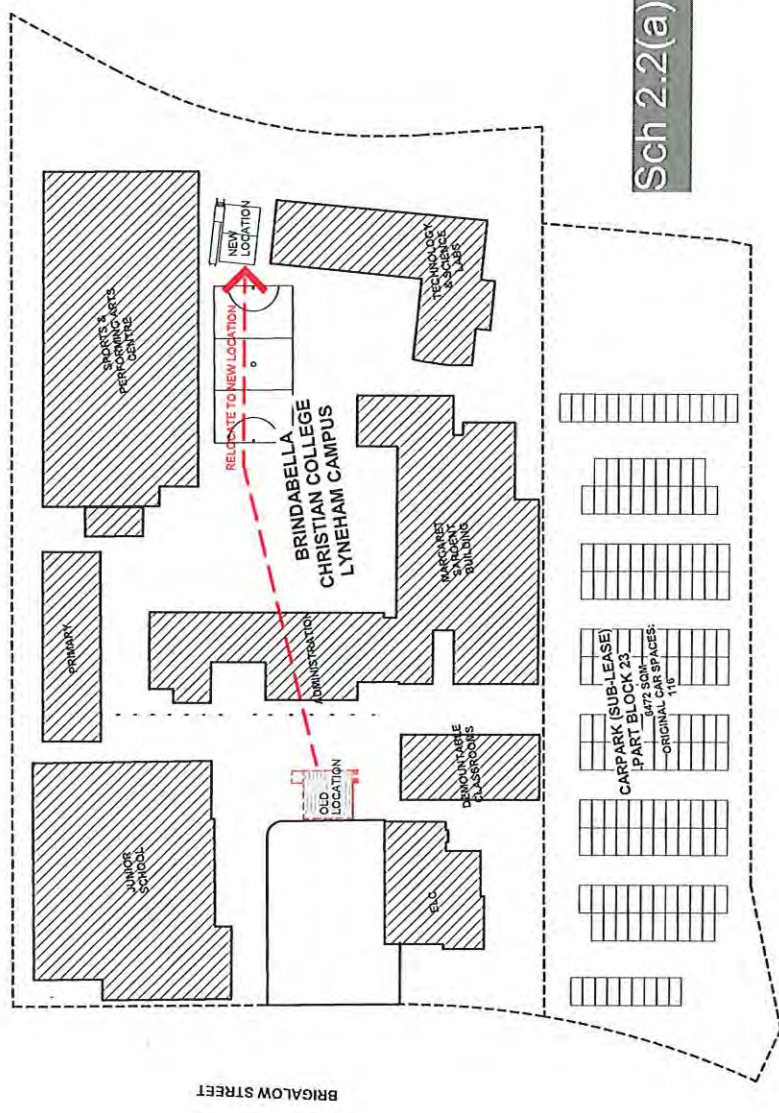
PART F - OWNER/S SIGNATURE/S

Name	Signature	Date
Brindabella Christian Education Ltd		

APPLICATION FOR BUILDING APPROVAL REQUIREMENTS Building (General) Regulations 2008

Where relevant the following information MUST be included in either the application or the plans accompanying the application for building approval:

General Requirements



BLOCK 23
SECTION 41

PROPOSED PLAN - SITE L0
1:500

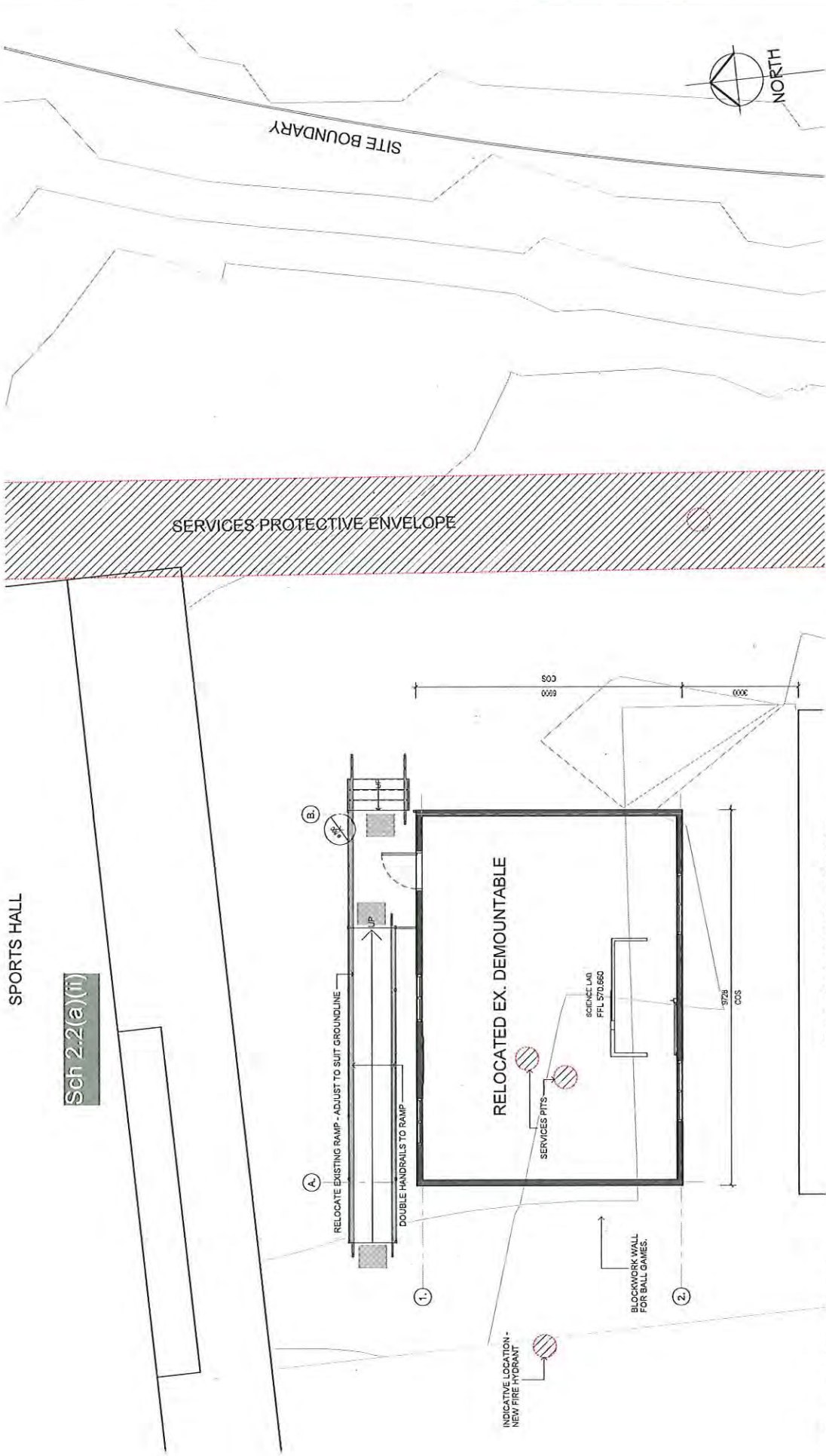
Sch 2.2(a)(xi)

REV	DATE	DESCRIPTION
0	06/20	AMENDMENT FOR CAR

Project Name SITE PLAN	
Design/Project Manager EVA LESQUIE	Project Abstract N/A
Scale 1:500	Sheet No. A1
Project No. 1506.13	Sheet No. A001
Block 4	Section 41
Division LYNEHAM	
Assessment B	

Project Name BRINDABELLA CHRISTIAN COLLEGE	
Project Address 100 BRIGALOW STREET, LYNEHAM ACT 2602	
Project No. UNTABLEV2	

All dimensions in millimeters. Do not scale drawing. All dimensions shown on this drawing are to be used for construction unless otherwise stated. This drawing is for information only and should not be used for construction without the approval of the relevant authority.



1 SITE PLAN - PROPOSED NEW WORKS
1:50

REV	DATE	DESCRIPTION
0	08.23	MAJOR OUT FOR CAD

Sch 2.2(a)(xi)

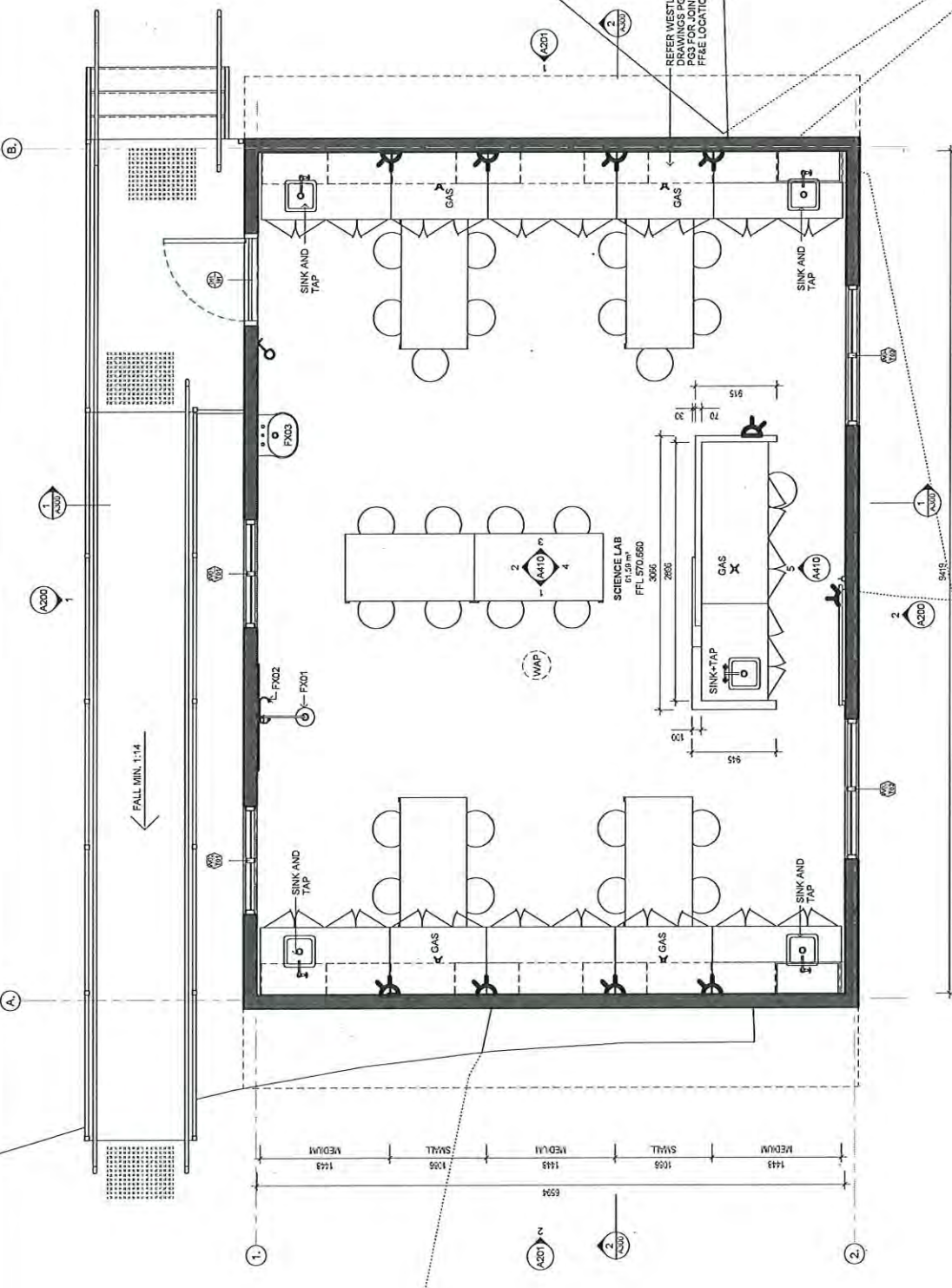
Client: BRUNABELLA CHRISTIAN COLLEGE
 Project Title: DEMOUNTABLE V2
 Project Address: 135 BRIDGLOW STREET LYBENHAM ACT 2022

Drawn for:		Project Name:	
EA SQUJE	135 BRIDGLOW STREET LYBENHAM ACT 2022	RELOCATION - EX. DEMOUNTABLE	Design Number: 2X
Drawn by: 1:50	Scale: A1	Project No: 1506.13	Design Date: CP SE
Checked by: 41	Scale: 41	Project No: 1506.13	Design Date: CP SE
Drawn by: 41	Scale: 41	Project No: 1506.13	Design Date: CP SE
Checked by: 41	Scale: 41	Project No: 1506.13	Design Date: CP SE
Drawn by: 41	Scale: 41	Project No: 1506.13	Design Date: CP SE
Checked by: 41	Scale: 41	Project No: 1506.13	Design Date: CP SE

All dimensions in millimetres. Do not scale drawings. All dimensions and notes to be verified on site by contractor before commencing work. All dimensions are approximate and may vary slightly. All dimensions must be used in conjunction with the plans as shown.

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LEGEND- PROPOSED- FLOOR PLAN	
	NEW DOOR MARK. REFER 710 FOR SCHEDULE
	DOOR TYPE. REFER A700
	LOCK FUNCTION. REFER DOOR SCHEDULE
	NEW WINDOW MARK. REFER A711 FOR SCHEDULE
	WINDOW TYPE. REFER A700
	ROOM TAG. AREA
	EXISTING ELEMENTS
	PROPOSED ELEMENTS
FX01	SHOWER
FX02	EYEWASH
FX03	BASIN AND TAPWARE
	WIRELESS ACCESS POINT
	DOUBLE GENERAL POWER OUTLET
	DOUBLE RJ45 DATA OUTLET
	LIGHT SWITCH
	GAS TURRET
TYPICAL WALL DETAIL	
	<ul style="list-style-type: none"> STEEL CLADDING AIR CAVITY WITH TOPHAT 15mm STUCCO MEMBRANE 15mm STUCCO 12mm PB
NOTES	
BY OTHERS - WESTLABS	
<ul style="list-style-type: none"> JOINERY (BENCH TOPS, CABINERY, BASE FRAMES, SPLASH-BACKS) JOINERY HANDLES SINKS SINKS FAUCETS GAS FAUCETS PLUG WASTE 	
WINDOW T01:	
<ul style="list-style-type: none"> U-VALUE 5.80 AND SHGC 0.81 SIZE AS PER EXISTING 	
WINDOW T02:	
<ul style="list-style-type: none"> U-VALUE 5.80 AND SHGC 0.81 SIZE AS PER EXISTING WINDOW REFER SECTION CAJ ASSESSMENT FOR FIRE SAFETY REQUIREMENTS 	
DOORS T01:	
<ul style="list-style-type: none"> SIZE AS PER EXISTING 	



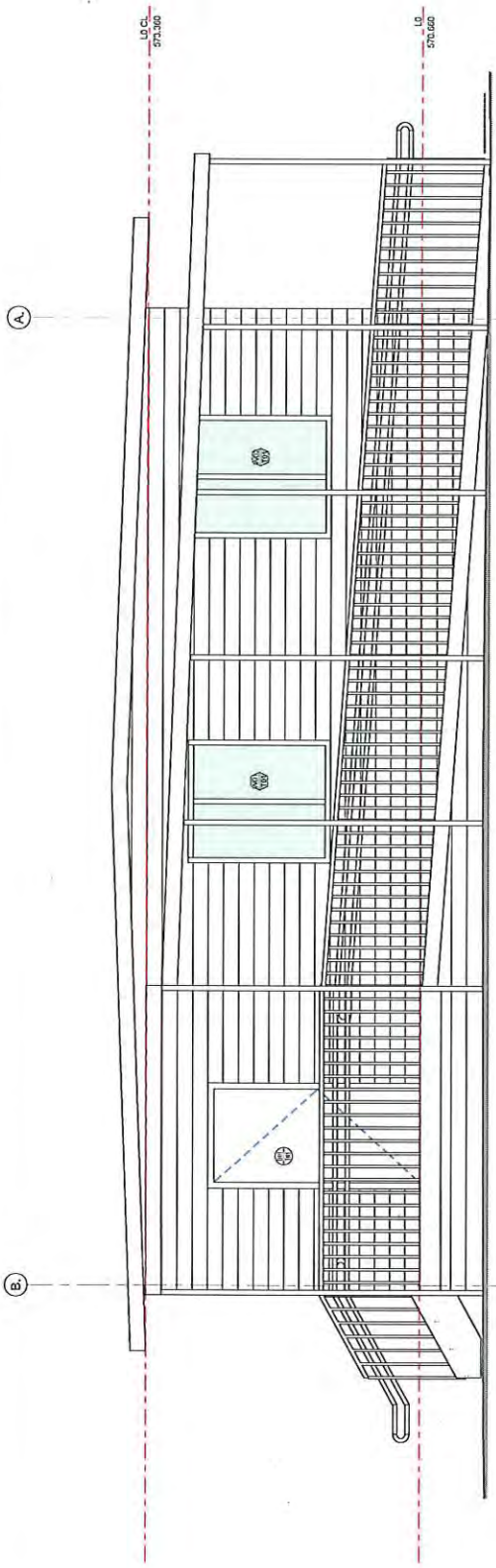
Sch 2.2(a)(ii)

Sch 2.2(a)(xi)

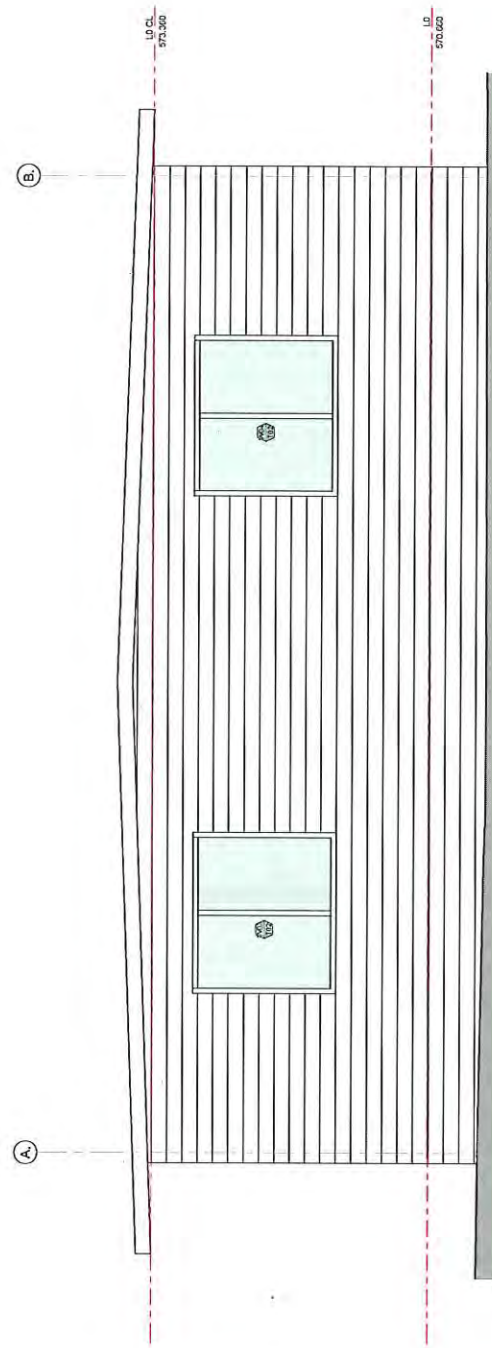
REV	DATE	BY	DESCRIPTION
0	16/03/23	MANUELLY FOR CAD	
<p>Client: BRINDABELLA CHRISTIAN COLLEGE</p> <p>Project Name: DEMOUNTABLE V2</p> <p>Project Address: 138 BRINDALLOW STREET, LYNEDHAM ACT 2602</p> <p>Project No: 1506.13</p> <p>Section: 41</p> <p>Drawn: LYNEHAM</p> <p>Scale: A1</p> <p>Sheet No: A120</p> <p>Project Status: B</p>			
<p>Project Manager: EA ISSUE</p> <p>Project Architect: EA ISSUE</p> <p>Structural Engineer: EA ISSUE</p> <p>Electrical Engineer: EA ISSUE</p> <p>Mechanical Engineer: EA ISSUE</p> <p>Fire Engineer: EA ISSUE</p> <p>Acoustic Engineer: EA ISSUE</p> <p>Energy Auditor: EA ISSUE</p> <p>Interior Designer: EA ISSUE</p> <p>Architectural Photographer: EA ISSUE</p> <p>Project Manager: EA ISSUE</p> <p>Project Architect: EA ISSUE</p> <p>Structural Engineer: EA ISSUE</p> <p>Electrical Engineer: EA ISSUE</p> <p>Mechanical Engineer: EA ISSUE</p> <p>Fire Engineer: EA ISSUE</p> <p>Acoustic Engineer: EA ISSUE</p> <p>Energy Auditor: EA ISSUE</p> <p>Interior Designer: EA ISSUE</p> <p>Architectural Photographer: EA ISSUE</p>			
<p>All dimensions in millimeters. Do not scale drawings. All dimensions are approximate. Dimensions are subject to change without notice. Where provided, drawings must be read in conjunction with schedule of materials or specifications.</p>			

1. PROPOSED WETLAB LAYOUT
1:20

LEGEND - PROPOSED - BUILDING ELEVATIONS	
ANNOTATION ABBREVIATION, REFER KEYNOTES FOR DESCRIPTION	ABC
MATERIAL ABBREVIATION, REFER KEYNOTES FOR DESCRIPTION	ABC
DOOR TAG, REFER DOOR SCHEDULE	⊕
WINDOW TAG, REFER WINDOW SCHEDULE	⊕
EXISTING ELEMENTS SURFACE RETAINED	□



1 NORTH ELEVATION
1:25



2 SOUTH ELEVATION
1:25

Sch 2.2(a)(ii)

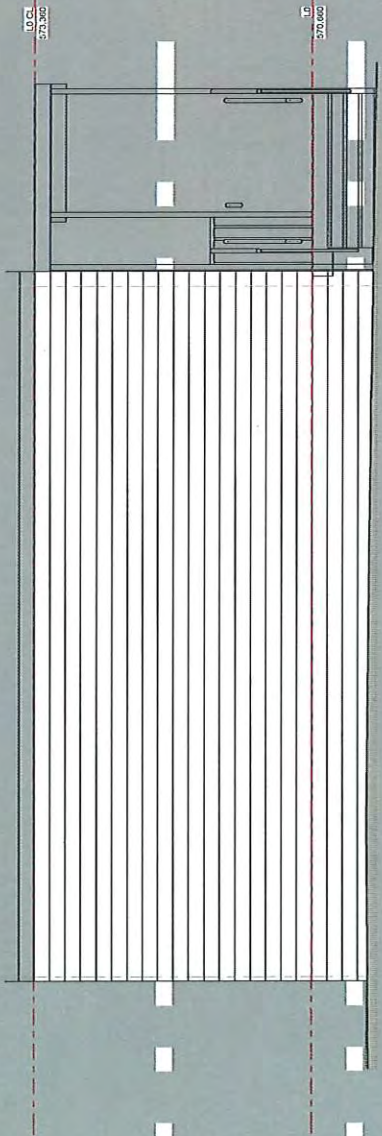
Sch 2.2(a)(xi)

REV	DATE	DESCRIPTION
B	19.06.23	AMENDMENT FOR GMP

Project Name WINDABELLA CHRISTIAN COLLEGE		Project Status EA ISSUE	
Project Address 138 BRIDGLOW STREET, LYNEHAM ACT 2602		Project Manager NI	
Scale A1	Sheet Size A1	Drawn SE	Design Number SV
Plot 4	Section 41	Project No. 1506.13	Drawn By B
<small>All dimensions in millimetres. Do not scale drawings. All dimensions and levels to be verified on site by contractor before commencing work. All dimensions and levels to be verified on site by contractor before commencing work. All dimensions and levels to be verified on site by contractor before commencing work.</small>		<small>© Copyright</small>	

LEGEND- PROPOSED- BUILDING ELEVATIONS	
ANNOTATION ABBREVIATION, REFER KEYNOTES FOR DESCRIPTION	ABC
MATERIAL ABBREVIATION, REFER KEYNOTES FOR DESCRIPTION	6
DOOR TAG, REFER DOOR SCHEDULE FOR MORE DETAILS	7
WINDOW NOTYPE, REFER A710 TYPE DESCRIPTION & A710 FOR WINDOW SCHEDULE	8
EXISTING ELEMENTS SURFACE RETAINED	

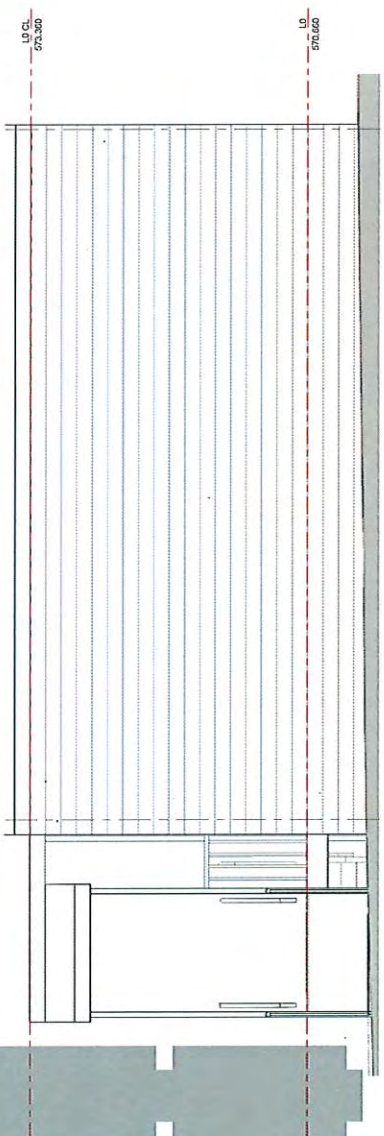
1



1 EAST ELEVATION
A720 1:25

2

1



2 WEST ELEVATION
A720 1:25

Sch 2.2(a)(ii)

Sch 2.2(a)(xi)

REV	DATE	DESCRIPTION
M	04/20	INDICATED FOR ADO

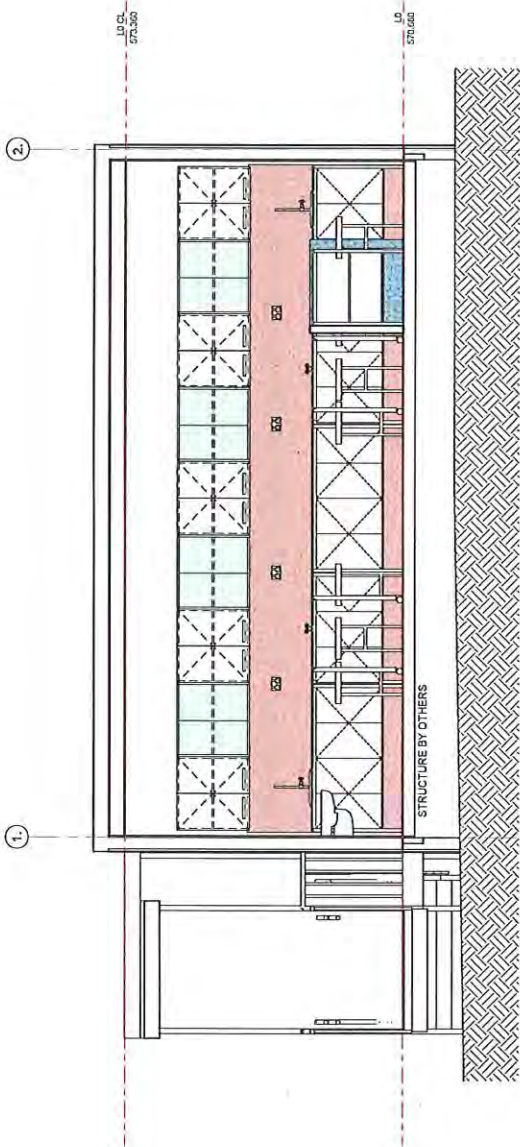
Client: **BRINDABELLA CHRISTIAN COLLEGE**
 Project Name: **DEMOUNTABLE V2**

All dimensions in millimeters. Do not scale drawings. All dimensions shown are approximate. Dimensions are for information only and are not to be used for construction. Where provided, drawings must be read in conjunction with schedule of work or specification.

Project State: **GA ISSUE**
 Project Address: **100 BRIDGLOW STREET, LYNEHAM ACT 2022**
 Block: **4** Section: **41** Division: **LYNEHAM**

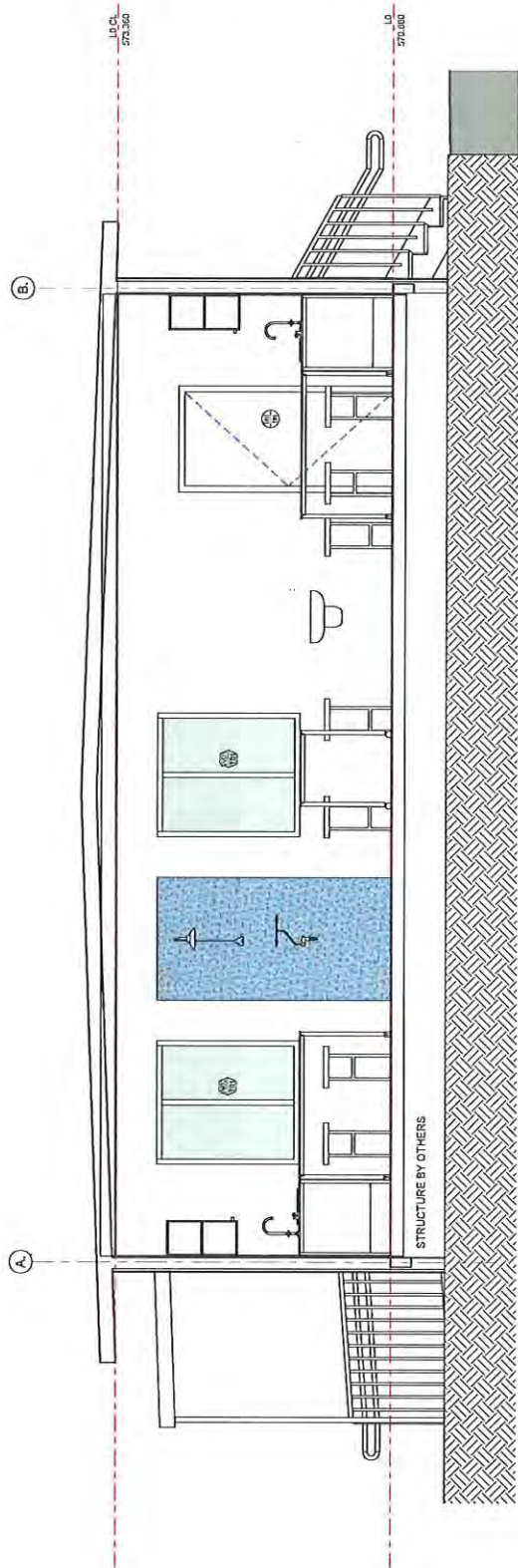
Drawn Title: **WET LAB - EXTERNAL ELEVATIONS**
 Drawn Number: **SV**
 Scale: **1:50**
 Project No: **1506.13**
 Drawing No: **A201**
 Revision: **B**

LEGEND- PROPOSED- BUILDING ELEVATIONS	
ABC	ANNOTATION ABBREVIATION, REFER KEYNOTES FOR DESCRIPTION
	MATERIAL ABBREVIATION, REFER KEYNOTES FOR DESCRIPTION
6/6	DOOR TAG, REFER DOOR SCHEDULE FOR MORE DETAILS
6/7	WINDOW NOTYPE, REFER A700 TYPE DESCRIPTION & A710 FOR WINDOW SCHEDULE
	EXISTING ELEMENT'S SURFACE RETAINED



1 SECTION 01
A130 1:25

Sch 2.2(a)(ii)

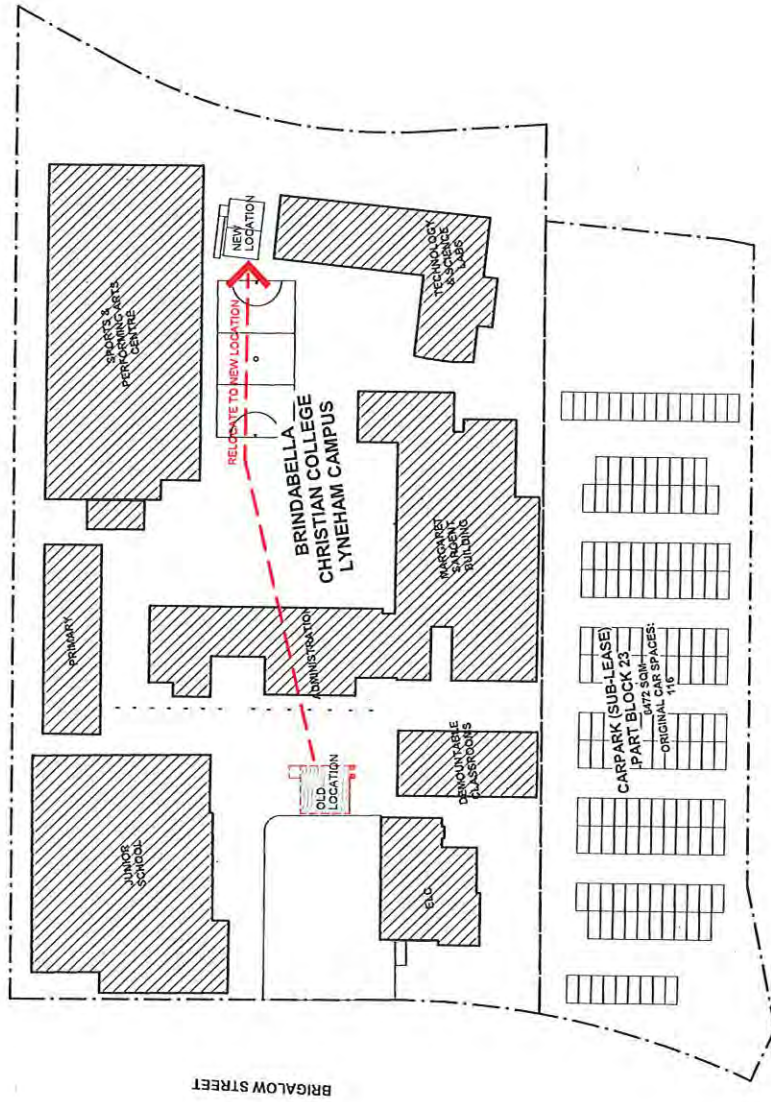


2 SECTION 02
A130 1:25

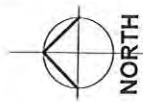
Sch 2.2(a)(xi)

REV A	DATE 08.25	DESCRIPTION AMENDMENT FOR CAD	Project Name BRUNABELLA CHRISTIAN COLLEGE Project Address 138 BRIDGLOW STREET, LYMEHAM ACT 3022 Project No. DEMOUNTABLE V2	Project Name BA ISSUE Project Address 138 BRIDGLOW STREET, LYMEHAM ACT 3022 Project No. 4	Scale 41	Designer LYMEHAM	Sheet Size A1	Sheet No. 1506.13	Amendment A	Drawn SV	Design Checker NI	Project Architect NI	Drawn SV
	Drawn Title WET LAB - SECTIONS												

All dimensions in millimetres. Do not scale. Always refer to drawings and verify to be verified on site by contractor. Verify dimensions and materials to be used at time of construction. Verify materials, methods and construction details with the contractor.



Sch 2.2(a)(ii)



BLOCK 23
SECTION 41

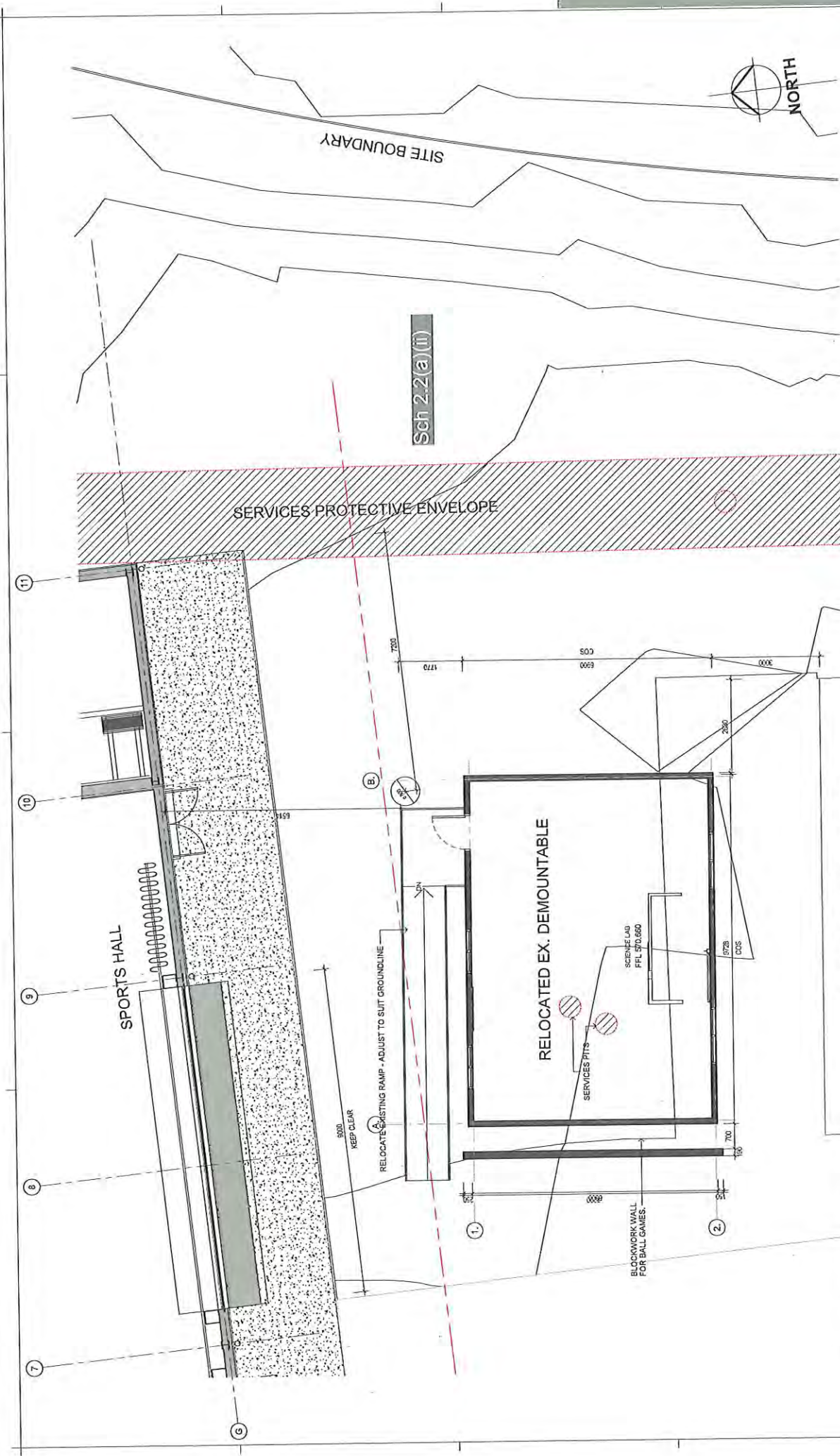
1. PROPOSED PLAN - SITE L1
1:500

REV	DATE	DESCRIPTION
A	07.02.20	ISSUE FOR BUILDING APPROVAL

Sch 2.2(a)(xi)

Client BRINDABELLA CHRISTIAN COLLEGE		Project Title DEMOUNTABLE V2	
Project Address 138 BRIGALOW STREET, LYNEHAM ACT 2902		Project Manager SV	
Scale 1:500	Drawn AT	Check SC	Design Year 2020
Project No. 1506.13	Sheet No. A001	Section 41	Drawn LYNEHAM
Block 4	Section 41	Sheet No. A001	Drawn LYNEHAM

All dimensions in millimetres. Do not scale drawings. All dimensions are approximate. Dimensions are for information only. No warranty is made for use in conjunction with schedules or plans or specifications.



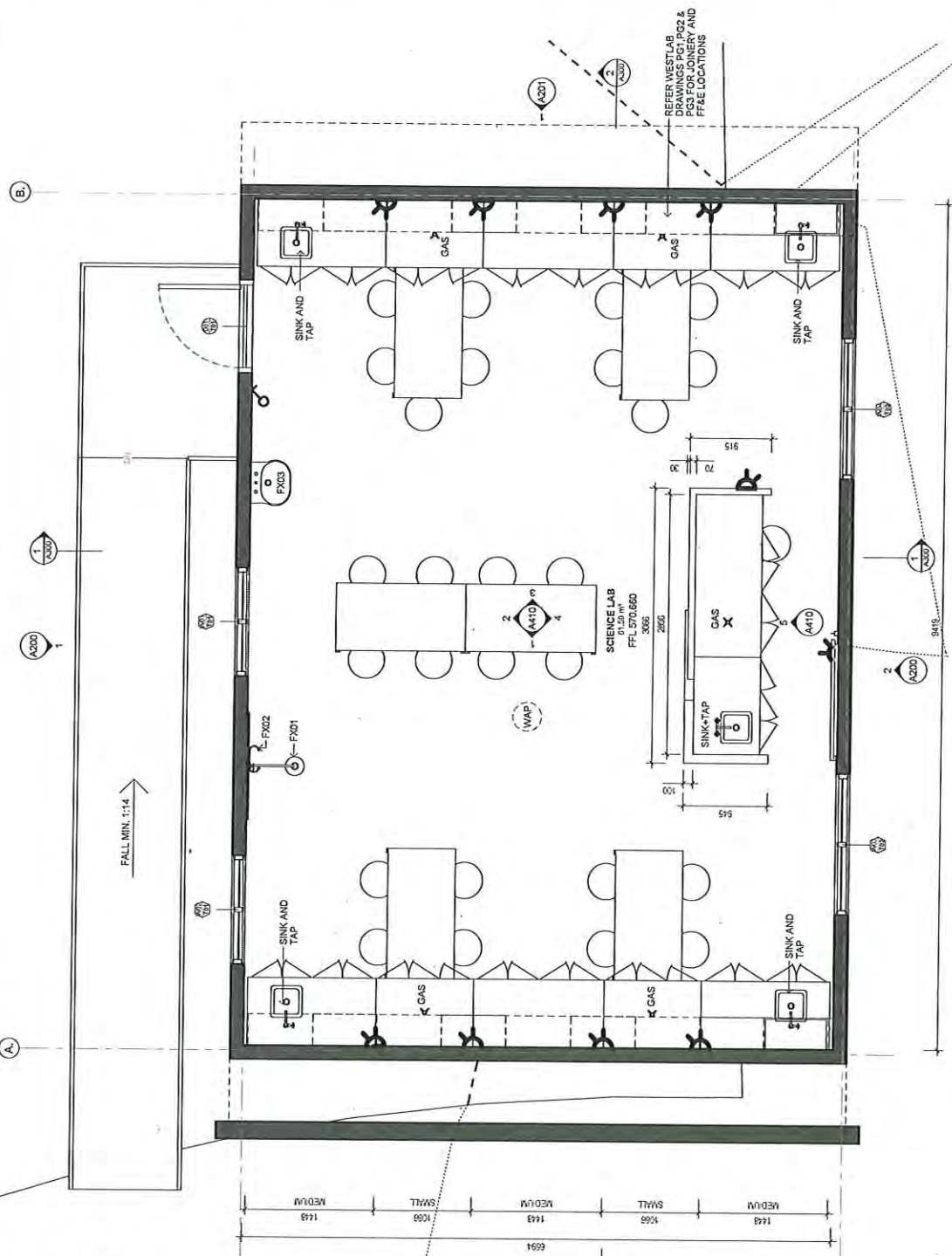
TECHNICAL, ARTS + SCIENCE

1 SITE PLAN - PROPOSED NEW WORKS
1:50

DATE 8/23/23 SCALE FOR BUILDING APPROVAL	DESCRIPTION ISSUE FOR BUILDING APPROVAL	Client BRIDABELLA CHRISTIAN COLLEGE		Project Name DEMOUNTABLE V2	
		Project Status BA ISSUE		Project Address 138 BRIDGLOW STREET, LYNEHAM ACT 2602	
DRG A	PROJECT NO. 1506.13	SHEET NO. A110	DESIGNER SV	CHECKER A1	APPROVED LYNEHAM A
Project Title Sch 2.2(a)(xi)					
Project Manager Design Project Manager Project Reference Project No. SV Issue No. A1 Check No. A110 Assessment CP-SE Assessment A					
All dimensions in millimeters. See technical drawing for details. All measurements are to the centerline of the structure unless otherwise specified. Work is preparatory of final drawings. When provided, drawings made in accordance with the scope of work or specification.					

Sch 2.2(a)(ii)

LEGEND - PROPOSED FLOOR PLAN	
	NEW DOOR MARK. REFER 710 FOR SCHEDULE
	DOOR TYPE. REFER A700 FOR SCHEDULE
	NEW WINDOW MARK. REFER A711 FOR SCHEDULE
	WINDOW TYPE. REFER A700 FOR SCHEDULE
	ROOM TAG AREA
EXISTING ELEMENTS	
	SHOWER
	EYEWASH
	BASIN AND TAPWARE
	WIRELESS ACCESS POINT
	DOUBLE GENERAL POWER OUTLET
	DOUBLE RJ45 DATA OUTLET
	LIGHT SWITCH
	GAS TURRET
TYPICAL WALL DETAIL	
	<ul style="list-style-type: none"> STEEL CLADDING AIR CAVITY WITH TOPHAT ENGINEERED MEMBRANE 13mm PB
NOTES	
BY OTHERS - WESTLABS <ul style="list-style-type: none"> JOINERY (BENCH TOPS, CABINETS, BASE FRAMES, SPLASHBACKS) JOINERY HANDLES WATER FAUCETS GAS FAUCETS PLUG WASTE 	
WINDOW T01: <ul style="list-style-type: none"> U VALUE 5.80 AND SHGC 0.81 SIZE AS PER EXISTING 	
WINDOW T02: <ul style="list-style-type: none"> U VALUE 5.80 AND SHGC 0.81 SIZE AS PER EXISTING REFER SECTION CALL-OUT FOR WINDOW SAFETY REQUIREMENTS REFER SECTION CALL-ASSESSMENT FOR FIRE SAFETY REQUIREMENTS 	
DOORS T01: <ul style="list-style-type: none"> SIZE AS PER EXISTING 	



1 PROPOSED LAYOUT
1.25

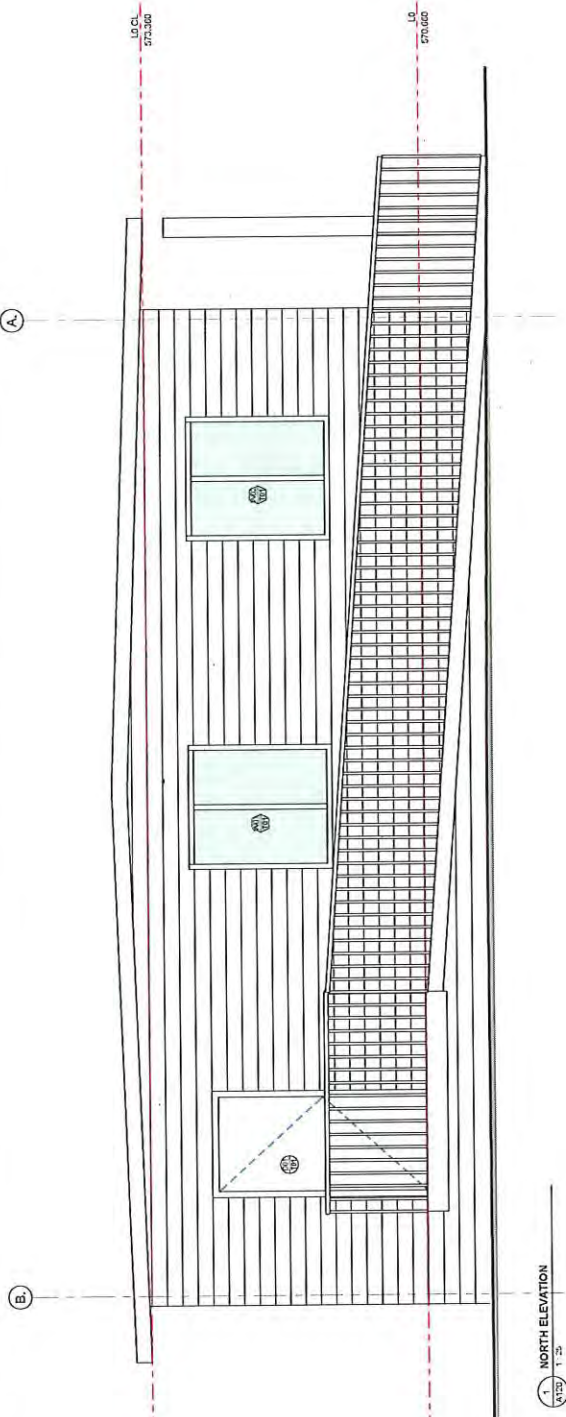
Sch 2.2(a)(xi)

Project Name		WET LAB - PROPOSED LAYOUT	
Client	RINDIBELLA CHRISTIAN COLLEGE	Project Manager	Dispersal
Project Address	138 BRIGALOW STREET, LYNEMHAM ACT 2602	Site	SE
Project No.	1506.13	Sheet No.	A1
Revision	4	Scale	A120
Author	LYNEHAM	Checked	A
Drawn	LYNEHAM	Approved	A

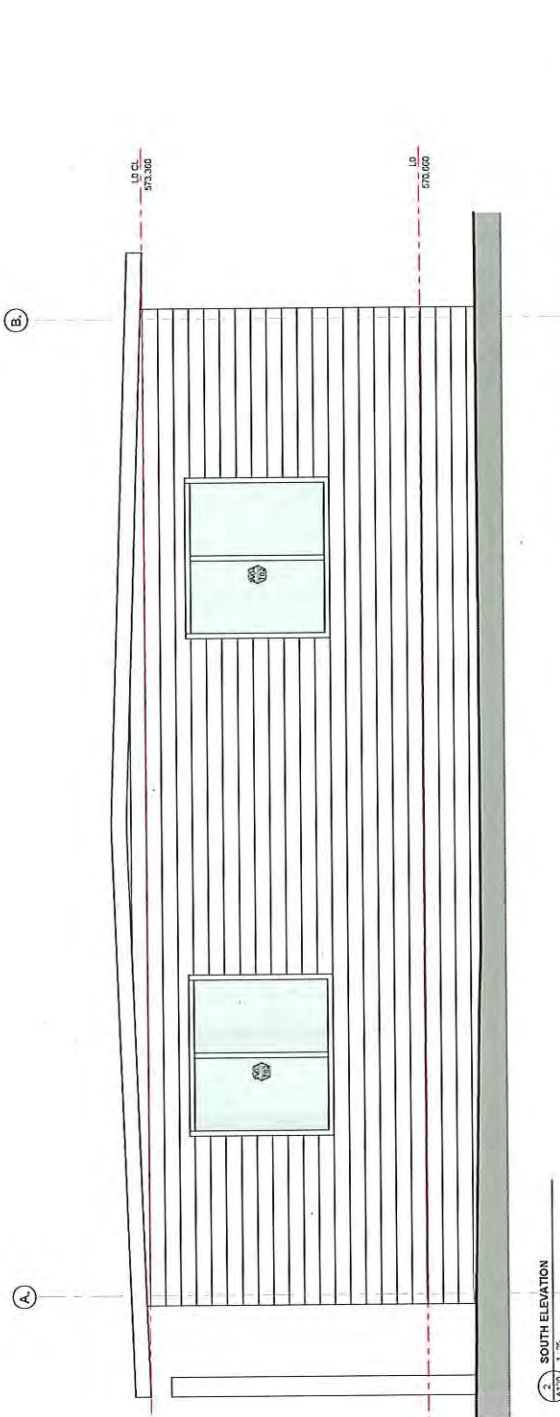
REV	DATE	DESCRIPTION
A	02.25.20	SCALE FOR BUILDING APPROVAL

All dimensions in millimetres. Do not scale drawings. All dimensions are approximate. Work for preparation of shop drawings. Where practical, drawings must be made in consultation with structural engineer or professional.

LEGEND - PROPOSED BUILDING ELEVATIONS	
ABC	ANNOTATION ABBREVIATION. REFER KEYNOTES FOR DESCRIPTION
	MATERIAL ABBREVIATION. REFER KEYNOTES FOR DESCRIPTION
	DOOR TAG. REFER DOOR SCHEDULE FOR MORE DETAILS
	WINDOW TAG. REFER WINDOW SCHEDULE & A710 FOR WINDOW SCHEDULE
	EXISTING ELEMENTS SURFACE RETAINED



1 NORTH ELEVATION
A1152 1/25



2 SOUTH ELEVATION
A1153 1/25

Sch 2.2(a)(ii)

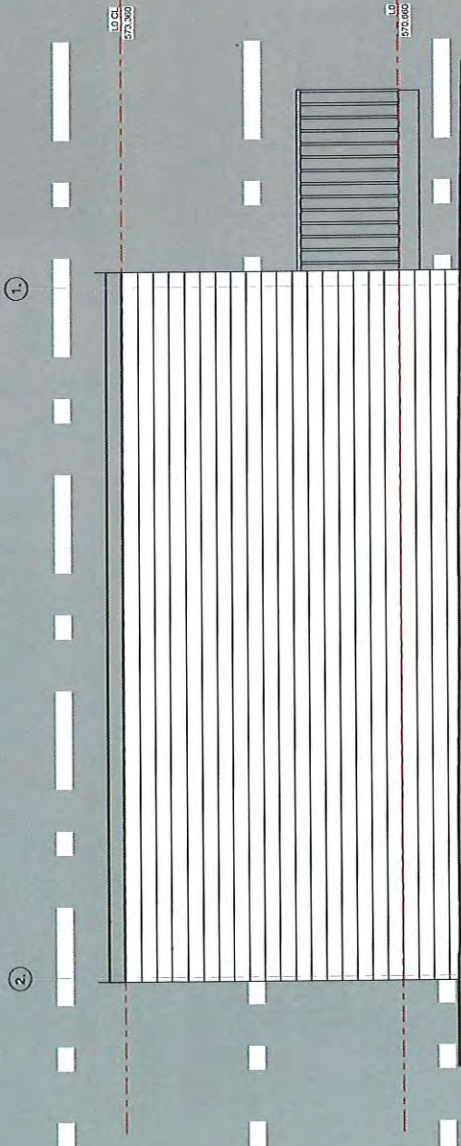
Sch 2.2(a)(xi)

Project Title: BA ISSUE		Project Address: 138 BRIGALOW STREET, LYMEHAM ACT 2622	
Client: RINDABELLA CHRISTIAN COLLEGE		Architect: LIMEHAM	
Sheet Title: ENCOUNTABLE V2		Drawn: 41	
Drawing Title: WET LAB - EXTERNAL ELEVATIONS		Check by: A200	
Design Manager: SV	Project Architect: NI	Scale: As Indicated	Project Number: 1506.13
Author: SE	Client Ref: A200	Revision:	Revision:
Drawn:	Check by:	Scale:	Project No.:
Author:	Client Ref:	Revision:	Revision:
Drawn:	Check by:	Scale:	Project No.:
Author:	Client Ref:	Revision:	Revision:

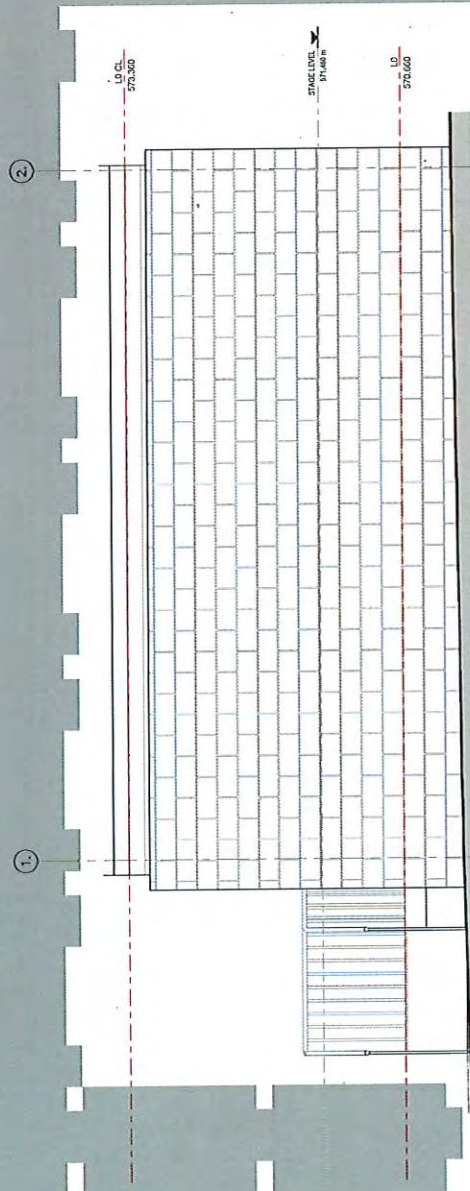
All drawings are preliminary. They are not valid for construction. All dimensions are to be confirmed on site. All dimensions are to be confirmed on site. All dimensions are to be confirmed on site. All dimensions are to be confirmed on site.

REV	DATE	DESCRIPTION
A	07/23/25	ISSUE FOR BUILDING APPROVAL

LEGEND- PROPOSED- BUILDING ELEVATIONS	
ABC	ANNOTATION ABBREVIATION. REFER KEYNOTES FOR DESCRIPTION.
	MATERIAL ABBREVIATION. REFER KEYNOTES FOR DESCRIPTION.
	DOOR TAG. REFER DOOR SCHEDULE FOR MORE DETAILS.
	WINDOW NOTYPE. REFER A200 TYPE DESCRIPTION & A710 FOR WINDOW SCHEDULE.
	EXISTING ELEMENTS: SURFACE RETAINED.



1 EAST ELEVATION
SCALE FOR BUILDING APPROVAL



2 WEST ELEVATION
SCALE FOR BUILDING APPROVAL

Sch 2.2(a)(ii)

Sch 2.2(a)(xi)

REV	DATE	DESCRIPTION	PROJECT NAME	PROJECT ADDRESS	PROJECT NO.	DATE	SCALE	PROJECT NO.	DATE	SCALE	PROJECT NO.	DATE	SCALE
A	15/02/20	SCALE FOR BUILDING APPROVAL	BRANDABELLA-CHRISTIAN COLLEGE	138 BRIDGECLOW STREET, LYNESHAM ACT 2022	1506.13	15/02/20	1:25	1506.13	15/02/20	1:25	1506.13	15/02/20	1:25

Drawn By	Checked By	Project Manager	Design Manager
AG	AG	AG	AG

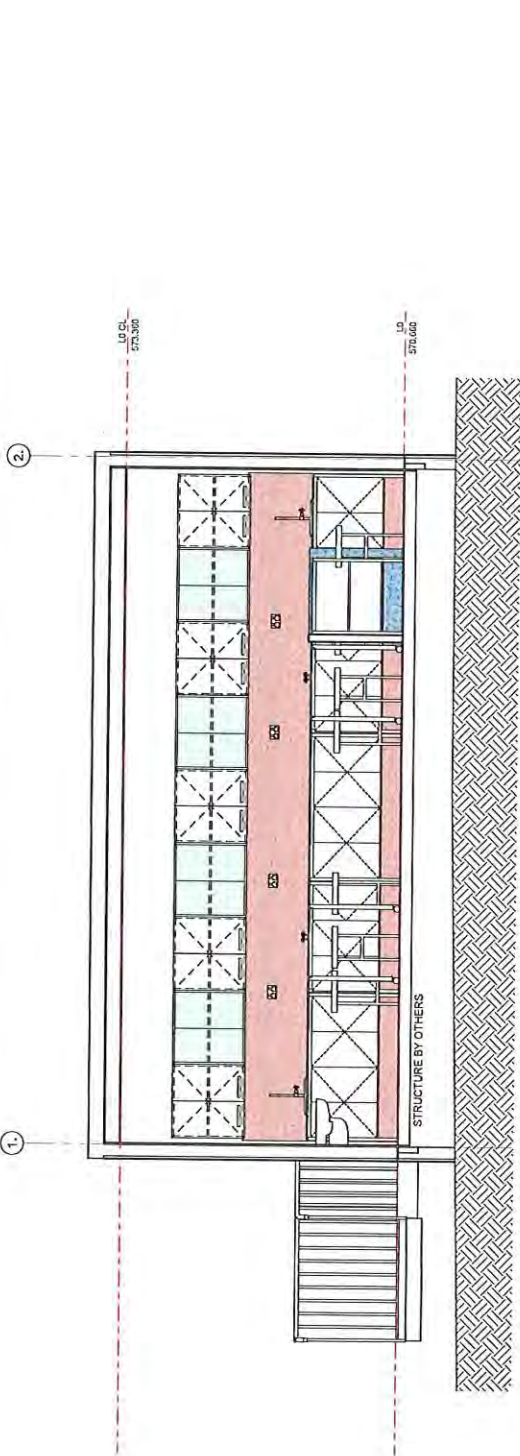
Issue No	Issue Date	Issue Description
1	15/02/20	Initial Issue

Client	Project Name	Project Address	Project No.	Date	Scale
BRANDABELLA-CHRISTIAN COLLEGE	WET LAB - EXTERNAL ELEVATIONS	138 BRIDGECLOW STREET, LYNESHAM ACT 2022	1506.13	15/02/20	1:25

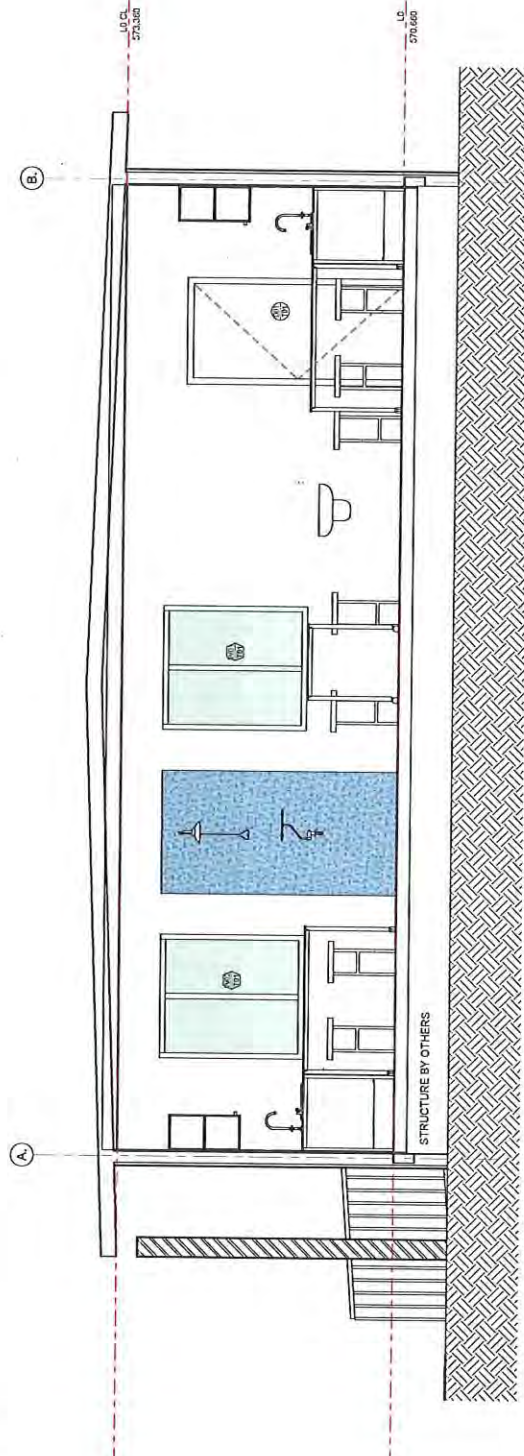
Project No.	Project Name	Project Address	Project No.	Date	Scale
1506.13	WET LAB - EXTERNAL ELEVATIONS	138 BRIDGECLOW STREET, LYNESHAM ACT 2022	1506.13	15/02/20	1:25

All dimensions in millimetres. Do not scale drawings. All dimensions shall be taken from the original drawings. Dimensions shown on drawings must be used in conjunction with schedules of work or specifications.

LEGEND- PROPOSED- BUILDING ELEVATIONS	
ABC	ANNOTATION, ABBREVIATION, REFER KEYNOTES FOR DESCRIPTION
	MATERIAL ABBREVIATION, REFER KEYNOTES FOR DESCRIPTION
	DOOR TAG, REFER DOOR SCHEDULE FOR MORE DETAILS
	WINDOW NO/TYPE, REFER A700 TYPE DESCRIPTION & A710 FOR WINDOW SCHEDULE
	EXISTING ELEMENTS SURFACE RETAINED



1 SECTION 01
A700 1:25

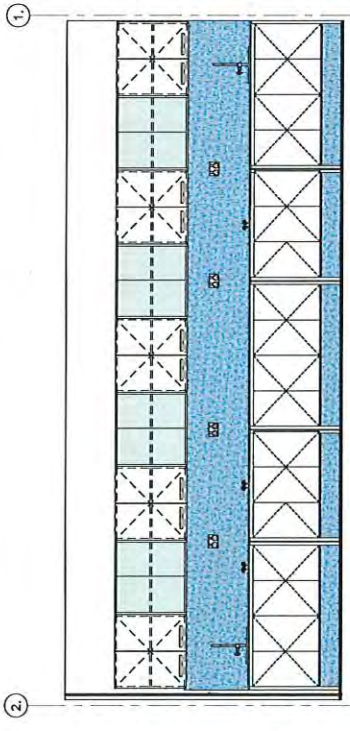


2 SECTION 02
A700 1:25

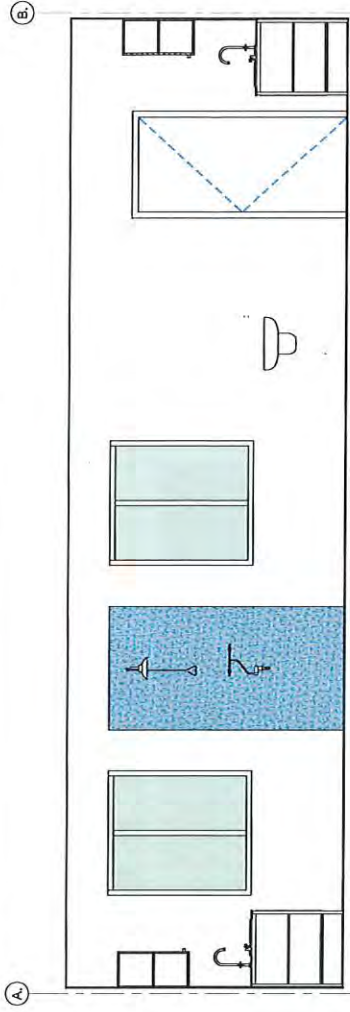
Sch 2.2(a)(ii)

Sch 2.2(a)(xi)

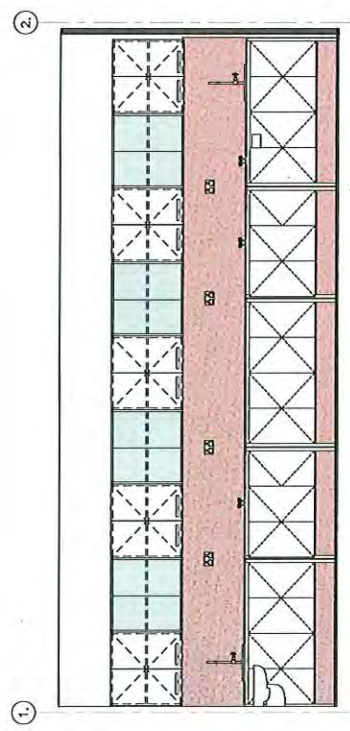
REV	DATE	DESCRIPTION
<p>Project Name: BRINDABELLA CHRISTIAN COLLEGE</p> <p>Project Title: DESIGN/TABLE V2</p> <p>Project Address: 108 BRIDGLOW STREET, LYNEHAM ACT 2622</p> <p>Block: 4 Section: 41 Design: LYNEHAM</p> <p>Scale: A3 Unframed Sheet No: 1506.13 Attachment: A300</p> <p>Design Manager: SV Design Writer: SV</p> <p>Drawn: SV Checked: SV</p>		



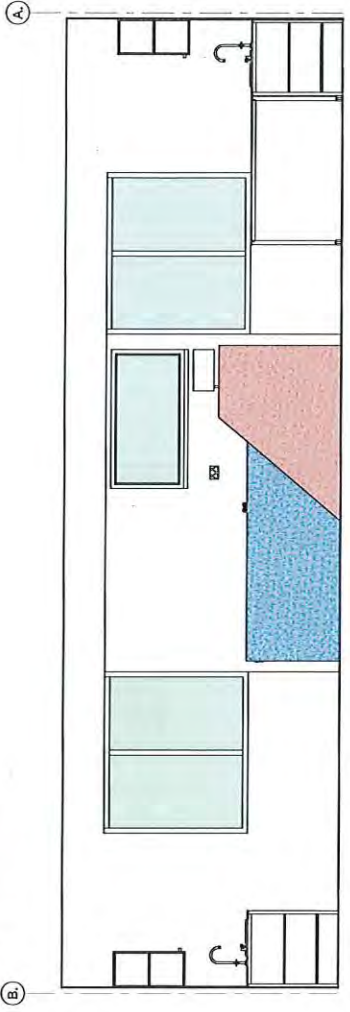
1 INTERNAL ELEVATION A
A1520 1:25



2 INTERNAL ELEVATION B
A1520 1:25

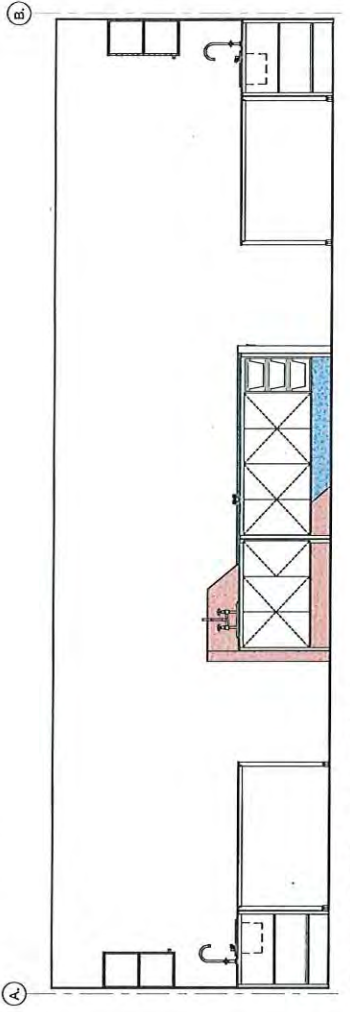


3 INTERNAL ELEVATION C
A1520 1:25



4 INTERNAL ELEVATION D
A1520 1:25

Sch 2.2(a)(ii)



5 INTERNAL ELEVATION E
A1520 1:25

NOTE: REFER WESTLAB DRAWINGS PG1, PG2 & PG3 FOR JOINERY AND FPRE LOCATIONS

INTERNAL ELEVATION - TEACHERS WORKBENCH

Sch 2.2(a)(xi)

REV	DATE	DESCRIPTION
A	07.25.26	ISSUE FOR BUILDING APPROVAL

FOR RINDABELLA CHRISTIAN COLLEGE
ENCOUNTABLE V2

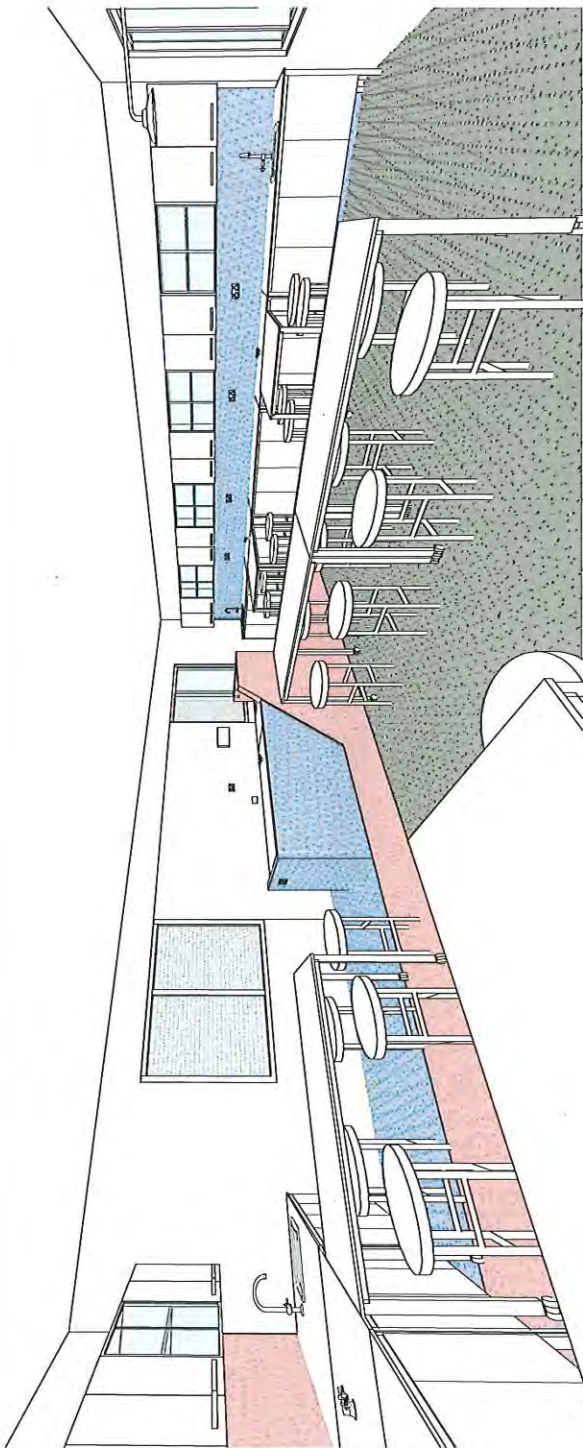
Project Name
BA ISSUE

Project Address
138 BRIGalow STREET, LYNEMAH ACT 2602

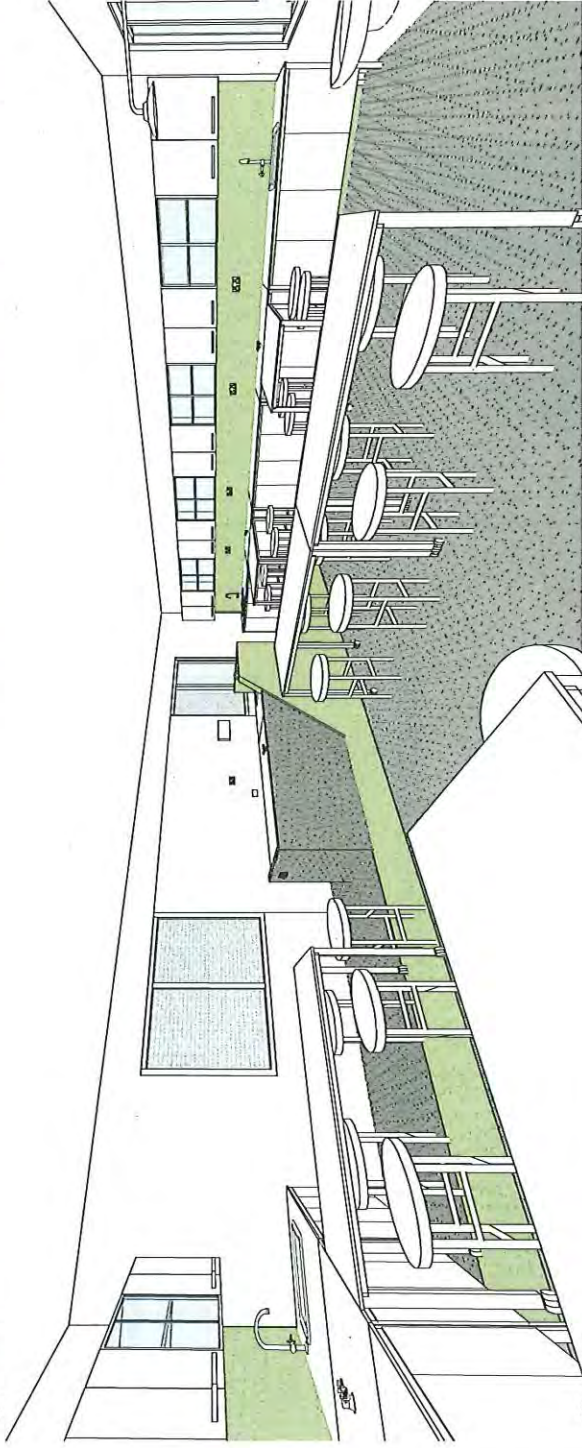
Drawn By
WET LAB - INTERIOR ELEVATIONS

Drawn By	WET LAB - INTERIOR ELEVATIONS
Drawn Date	07/25/26
Drawn Scale	1:25
Drawn Orientation	NI SE
Project No.	1506.13
Project Name	A410
Project Address	L'NYEMAH
Project Location	A

All dimensions in millimeters. Do not scale drawings. All dimensions and levels to be verified on site by competent building surveyors. Must be read in conjunction with schedule of work or specifications.



1 OPTION 1



2 OPTION 2

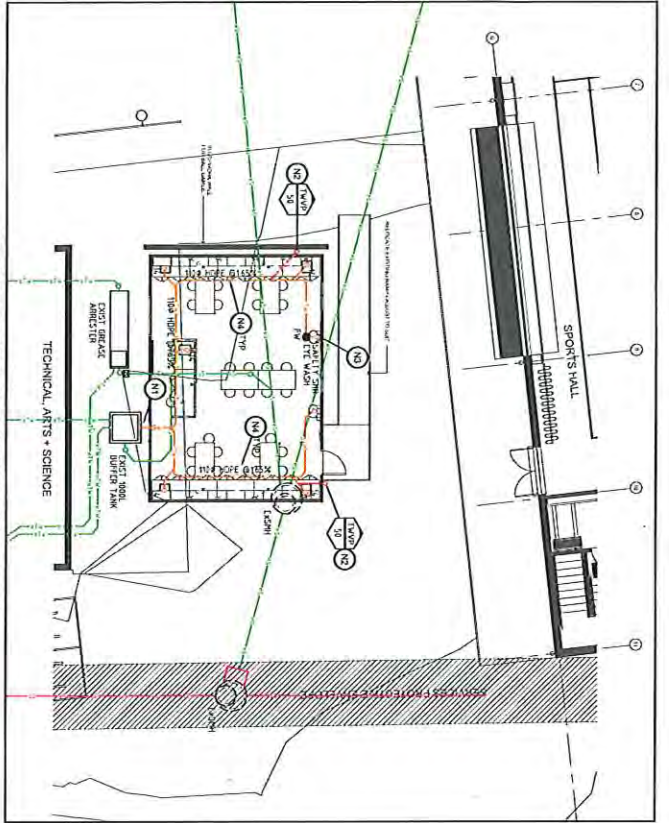
Sch 2.2(a)(xi)

REV	DATE	DESCRIPTION
A	07.29.20	ISSUE FOR BUILDING APPROVAL

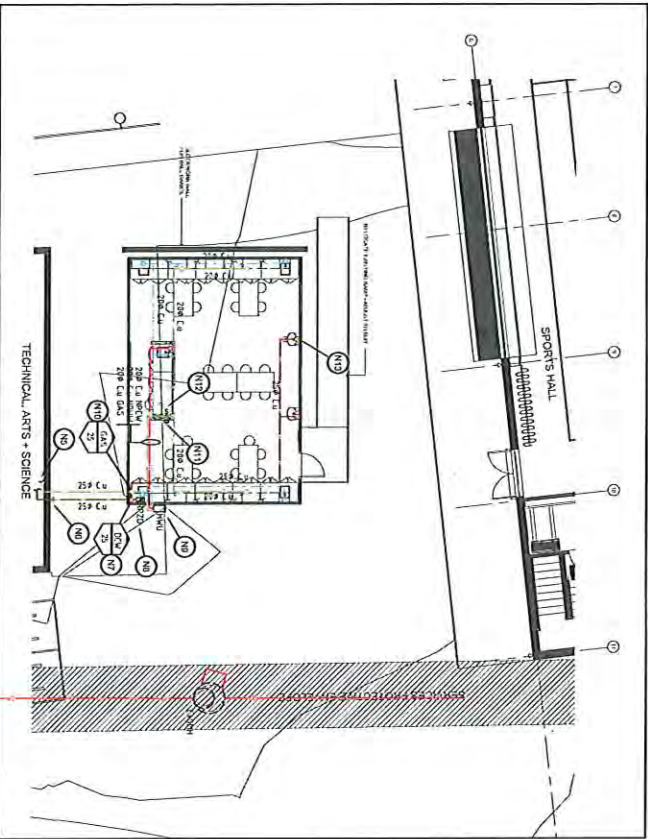
Client: BRINDABELLA CHRISTIAN COLLEGE
 Project Title: DEMOUNTABLE VZ
 All dimensions in millimeters. Do not scale drawings. All annotations and details to be verified on site by contractor before commencing work or preparation of shop drawings. When approved, drawings must be used for construction and related to owner by appropriate means.

Project Name: BA ISSUE
 Project Address: 136 BRIGALOW STREET, LYMEHAM ACT 2602
 Sheet: 4
 Section: 41
 Discipline: LYMEHAM

Drawn By: 3D VIEW - WET LAB
 Design Project Manager: Project Architect
 Scale: A1
 Project No: 1506.13
 Sheet No: A601
 Design: SV
 Drawn: SV
 Admin: SV
 A
 © Copyright



TRADE WASTE DRAINAGE PLAN 1:100



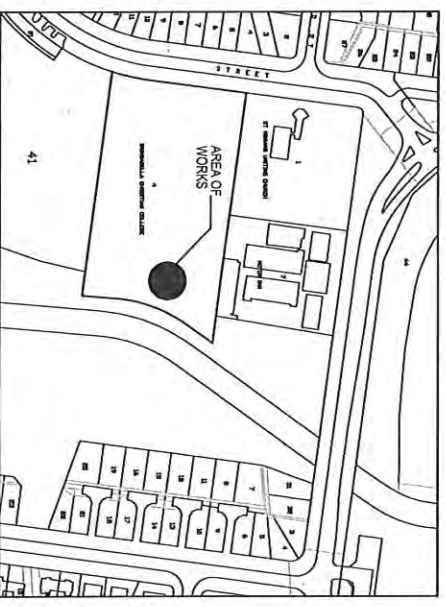
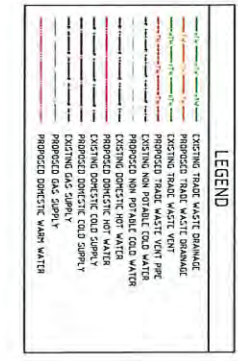
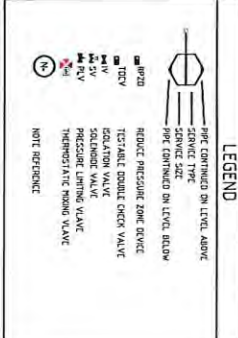
GAS & WATER SUPPLY PLAN 1:100

CONSTRUCTION NOTES:

- N1. BREAK INTO SERVICE ROOM WALL OF HUBBERS TANK AND CONNECT NEW TRADE WASTE DRAINAGE FROM LABORATORY BUFFER ROOM TO EXISTING TANK OF EXISTING TEMPORARY BUILDING.
- N2. PROPOSED NEW TRADE WASTE VENT PIPE TO RUN ON OUTSIDE FACE OF TEMPORARY BUILDING.
- N3. ALLOW TO PLUMB WASTE FROM THE WASH INTO FLOOR WASTE FOR SAFETY SHOWER.
- N4. PROPOSED NEW TRADE WASTE DRAINAGE RUN SUSPENDED UNDER FLOOR OF TEMPORARY LABORATORY.
- N5. LOCATE EXISTING GAS AND WATER SUPPLY WITHIN CEILING OF EXISTING GAS BUILDING, CUT INTO EXISTING SUPPLY AND EXTEND TO SERVICE NEW TEMPORARY LABORATORY.
- N6. PROPOSED NEW SERVICES TO BE ON OUTSIDE OF EXISTING GAS BUILDING AND RUN IN GROUND TO SERVE NEW TEMPORARY LABORATORY.
- N7. PROPOSED NEW DOMESTIC COLD WATER TO BE UP TO UNDERCROFT OF TEMPORARY LABORATORY FLOOR.
- N8. INSTALL NEW RIBD UNDER FLOOR OF TEMPORARY LABORATORY, ALLOW TO PROVIDE ACCESS DOORS TO SERVICE RIBD.
- N9. INSTALL 30MM Ø GAS INLET MANIFOLD HOT WATER ON EXTERNAL FACE OF TEMPORARY LABORATORY, HOT WATER TO SERVICE TROUGH BENCH.
- N10. PROPOSED NEW GAS SUPPLY TO BE UP TO UNDERCROFT OF TEMPORARY LABORATORY FLOOR, GAS SUPPLY TO SERVE HOT WATER UNIT, TROUGH BENCH AND STUDENT BENCHES.
- N11. INSTALL REMOTE EMERGENCY FIGHT BUTTON AND SIGNAL FOR GAS SUPPLY.
- N12. INSTALL MANUAL SHUT OFF VALVE FOR GAS SUPPLY UNDER TROUGH BENCH AND INSTALL SOLENOID VALVE SHUT OFF VALVE WRENCH TO GAS SUPPLY EMERGENCY FIGHT BUTTON.
- N13. ALLOW TO SUPPLY 250 DOMESTIC COLD WATER TO SERVICE SAFETY SHOWER PRIOR TO CONNECTING WATER SUPPLY TO THE WASH ALLOW TO INSTALL PRESSURE LIMITING VALVE.

GENERAL NOTES:

- NOTES
1. REFER TO PART 14 ACCORDING WITH A21 PART 14
 2. REFER TO PART 14 ACCORDING WITH A21 PART 14
 3. POSITION OF MAIN EXISTING WORK TO BE CONSIDERED AND ANY
 4. USE OF EXISTING SERVICES TO BE IN ACCORDANCE WITH
 5. THE MAIN EXISTING SERVICES TO BE IN ACCORDANCE WITH
 6. REFER TO PART 14 ACCORDING WITH A21 PART 14
 7. REFER TO PART 14 ACCORDING WITH A21 PART 14
 8. REFER TO PART 14 ACCORDING WITH A21 PART 14
 9. REFER TO PART 14 ACCORDING WITH A21 PART 14
 10. REFER TO PART 14 ACCORDING WITH A21 PART 14
 11. REFER TO PART 14 ACCORDING WITH A21 PART 14
 12. REFER TO PART 14 ACCORDING WITH A21 PART 14
 13. REFER TO PART 14 ACCORDING WITH A21 PART 14
 14. REFER TO PART 14 ACCORDING WITH A21 PART 14
 15. REFER TO PART 14 ACCORDING WITH A21 PART 14
 16. REFER TO PART 14 ACCORDING WITH A21 PART 14
 17. REFER TO PART 14 ACCORDING WITH A21 PART 14
 18. REFER TO PART 14 ACCORDING WITH A21 PART 14
 19. REFER TO PART 14 ACCORDING WITH A21 PART 14
 20. REFER TO PART 14 ACCORDING WITH A21 PART 14



SITE PLAN n.t.s

ADDITIONAL WORK

Item No.	Description	Quantity	Unit
1	REMOVE EXISTING		
2	INSTALL NEW		
3	REMOVE EXISTING		
4	INSTALL NEW		

Project Title:
**BRUNDELLA CHRISTIAN COLLEGE
 TEMPORARY SCIENCE LABORATORY**

Client:
BRUNDELLA CHRISTIAN COLLEGE

Project Address:
**136 BRIGALOW STREET
 LYNEHAM ACT
 LYNEHAM**

Block: 4
 Site: 41

Drawing Title:
**HYDRAULIC SERVICES
 TRADE WASTE DRAINAGE GAS &
 WATER SUPPLY**

Drawn By: [Name]
 Checked By: [Name]
 Date: [Date]

Sch 2.2(a)(xi)

REVIEW



DRAINAGE PLAN No. [Number]



Construction Progress Certificate

Location: Brindabella Christian College	Suburb: Lyneham
Lessee's or Permit Holders Name: Vamos Property Development and Construction	
Project Name: 9.6 x 6.8m Demountable Classroom	
Sellick Project Reference: 191504	

24 lonsdale street,
suite 122 mode 3,
braddon act 2612
po box 5005
braddon act 2612
p (02) 6201 0200
f (02) 6247 2203

Description of Building Work:

(Please tick appropriate box)

New Work Additions Alterations Other

I certify that:

1. Representatives of Sellick Consultants have inspected the above building and/or the following components of its structural elements:

Bored pier foundations for demountable building

2. This Certificate applies to works documented in the attached structural drawings annotated by Sellick Consultants (drawing MS-103851-140 by Modular Building Systems).
3. In inspecting the building works, we have paid attention to the structural integrity of the structural elements and to the best of our knowledge the works completed comply with:
 - a) The relevant clauses of the BCA.
 - b) Any structural requirements of the project fire engineering report, where applicable.
 - c) Relevant Australian Standards.

Declaration:

I am a professional engineer as defined in Part A1 Clause A1.1 of the Building Code of Australia.
This "Structural Engineers Certificate" is issued pursuant to Section 47 of the ACT Building Act 2004.

Sch 2.2(a)(ii)

Don McInnes
B.E. (Hons), MIE (Aust), CPEng, NPER
Structural Engineer, Director
for Sellick Consultants Pty Ltd

Date: 20/02/2020



NASTASI & ASSOCIATES
Consulting Civil & Structural Engineers

24th November, 2016

Job No. 9950

Modular Building Systems
31 Sturt Street
SMITHFIELD NSW 2164

Attention: Hugh Connor

Re: Brindabella Christian College


This is to certify that we have carried out a design review of the structural elements for the above project as shown on the shop drawings listed in Appendix 1. The design has been in our opinion carried out to conform to the relevant SAA Codes, in particular the following:

AS	1170	<i>Structural Design Actions</i>
		<i>Part 1 Permanent, Imposed and other Actions</i>
		<i>Part 2 Wind Actions</i>
		<i>Part 4 Earthquake Loads</i>
AS	1538	<i>Cold Formed Steel Structures Code</i>
AS	2159	<i>Piling Code</i>
AS	3600	<i>Concrete Structures</i>
AS	3700	<i>Masonry Structures</i>
AS	4100	<i>Steel Structures</i>

This certification shall not be construed as relieving any other party of their responsibilities, liabilities or contractual obligations.

SIGNED

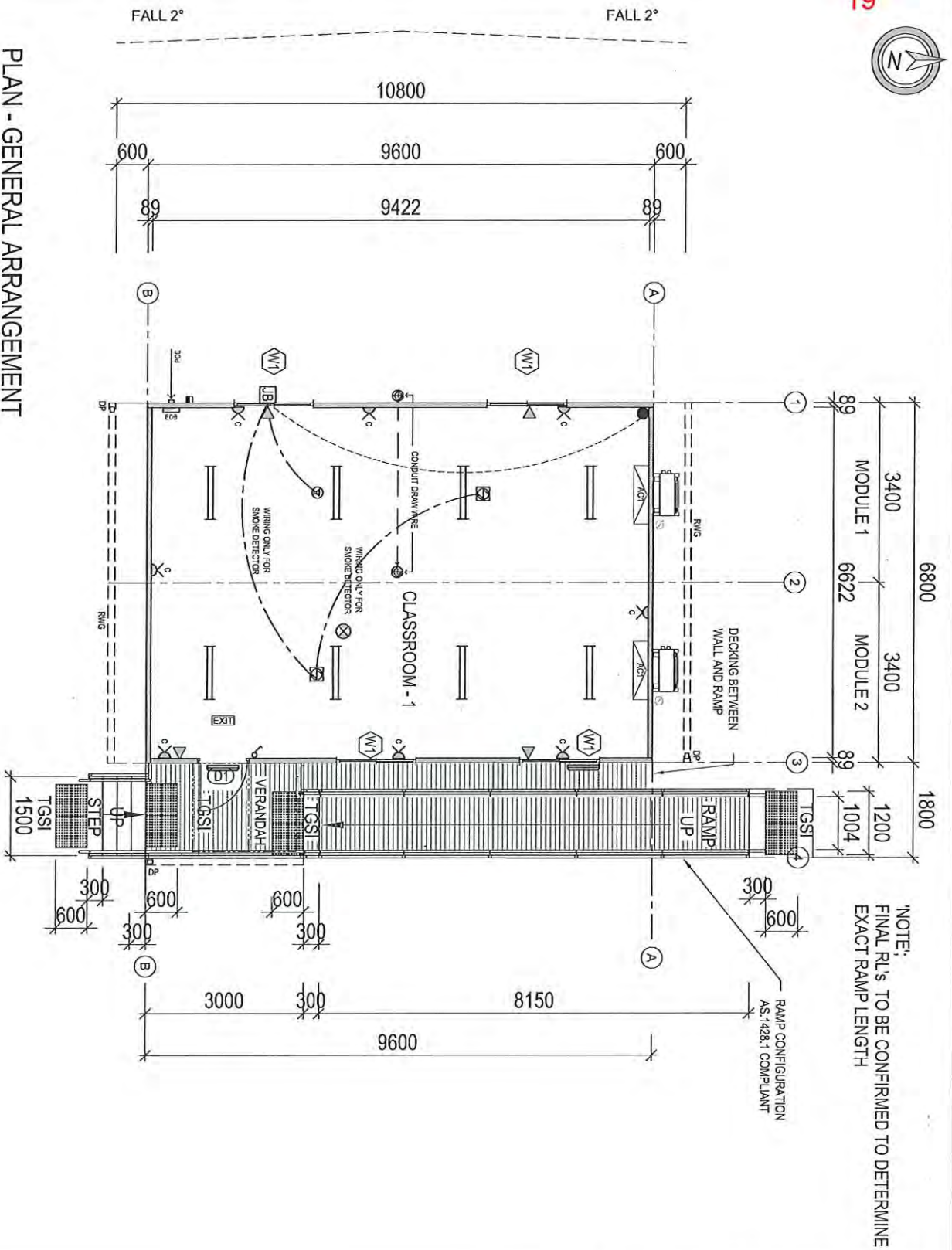
Sch 2.2(a)(ii)



SAM NASTASI – B.E M.I.E AUST CpEng Nper-3
Accredited Certifier (Structural & Civil) No BPB0289

Appendix 1

MS-103851-101 GENERAL ARRANEGMENT-REV 3
MS-103851-201 DETAIL PERIMETER FLOOR FRAME-REV 2
MS-103851-251 TYPICAL DETAIL- PERIMETER FLOOR FRAMES-REV 2
MS-103851-401 DETAIL BEAM LAYOUT -REV 1
MS-103851-402 TYPICAL DETAIL PORTAL BEAM -REV 1
MS-103851-1.FLOOR PLAN – REV B
MS-103851-EX1 – REV B
MS-103851-EX2 – REV B
MS-103851-EX3 – REV B
MS-103851-EX4 – REV B
MS-103851-EX5 – REV B
MS-103851-EX6 – REV B
MS-103851-EX7 – REV B
MS-103851-EX8 – REV B
MS-103851-2.CEILINGS – REV B
MS-103851-CPANEL 1 – REV B
MS-103851-CPANEL 2 – REV B
MS-103851-CPANEL 3 (CPANEL 1) – REV B
MS-103851-CPANEL 4 – REV B
MS-103851-3. ROOF PACKERS – REV B
MS-103851-RP1 – REV B
MS-103851-RP2 – REV B
MS-103851-RP3 (RP2) – REV B
MS-103851-RP4 (RP1) – REV B
MS-103851-RP5 (RP1) – REV B
MS-103851-RP6 (RP2) – REV B
MS-103851-RP7 (RP2) – REV B
MS-103851-RP8 (RP1) – REV B



NOTE:
FINAL R/L'S TO BE CONFIRMED TO DETERMINE
EXACT RAMP LENGTH

ITEM	DESCRIPTION	HEIGHT	QTY
D1	2040H x 920W EXTERNAL DOOR	AFLL	1
W1	1200H x 1500W ALUMINIUM FRAMED SLIDING WINDOW/DOORER SPEC FOR DETAILS	900 AFLL	4
ELECTRICAL			
1	ELECTRICAL DISTRIBUTION BOARD	1800 AFLL	1
2	ELECTRICAL SUPPLY POINT OF ENTRY	1800 AFLL	1
3	2 x 30W FLUORESCENT LIGHT DIFFUSER	CMANTD	8
4	1 x 14W EXT. WEATHERPROOF FLUORESC LIGHT	CMANTD	2
5	LED SPOTLIGHT	CMANTD	1
6	SINGLE LIGHT SWITCH	1000 AFLL	1
7	DOUBLE GPO - 10 AMP	2000 AFLL	8
8	WIRING ONLY FOR 240V SMOKE DETECTOR	CMANTD	2
9	DATA (DBAW WIRE ONLY)	300 AFLL	4
10	EXIT LIGHT	CMANTD	1
11	PE CELL	1800 AFLL	1
12	50W A/C TEGO SPLIT UNIT	2200 AFLL	2
13	A/C EXTERNAL ISOLATOR	AFLL	2
14	SPEAKERS	CMANTD	1

NOTE:-
SMOKE: ----- 2 CORE RED TPS
SPEAKER: --- 2 CORE SPEAKER CABLE

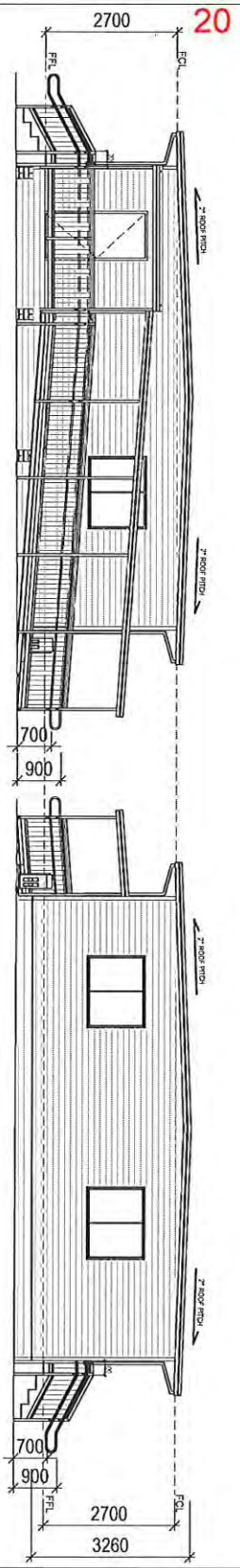
● PIR
FOUR CORE SECURITY -----
- 500mm TAIL FOR EACH END
- PIR TO BE DIAGONALLY OPPOSITE DOOR

NOTE: "CONDUIT DRAW WIRE" LOCATED IN CEILING & DOWN IN WALLS

AS BUILT

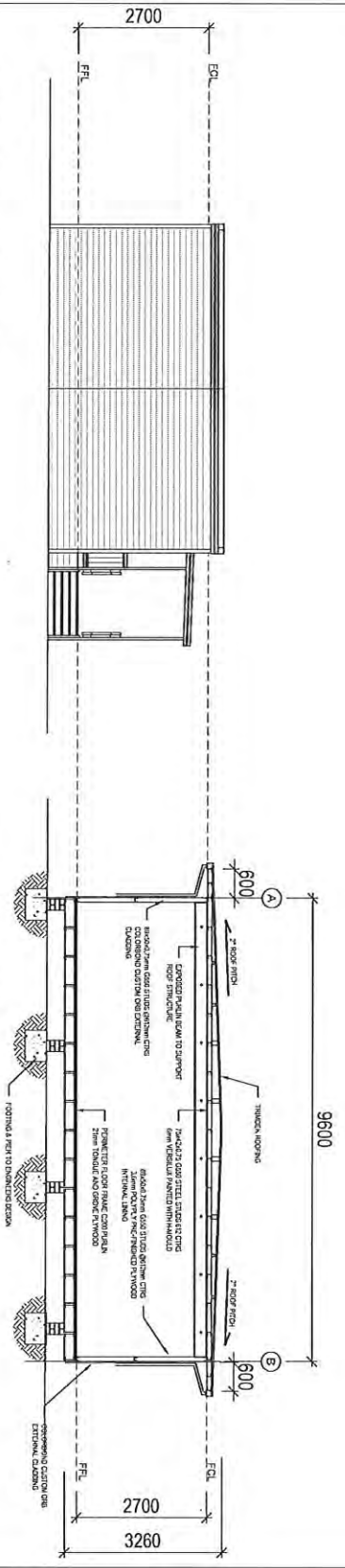
PLAN - GENERAL ARRANGEMENT

CLIENT APPROVAL		PROJECT: BRINDABELLA CHRISTIAN COLLEGE 9.6 X 6.8m CLASSROOM	
SIGNATURE:	DATE:	DATE: 30.09.2015	TITLE: PLAN - GENERAL ARRANGEMENT
DRAWN BY: SN		CHECKED BY: MS-103851-101	BUILDING NUMBER: #3725
SCALE: 1:75		QUOTATION NUMBER: 103851	REV: [8]
SHEET A3		AMENDMENT	



TYPICAL EAST ELEVATION

TYPICAL WEST ELEVATION



TYPICAL SOUTH ELEVATION

TYPICAL SECTIONAL ELEVATION

TYPICAL ELEVATIONS

AS BUILT

LEGEND

CLIENT APPROVAL

PROJECT: BRINDABELLA CHRISTIAN COLLEGE 9.6 x 6.8m CLASSROOM

TITLE: TYPICAL ELEVATIONS

SIGNATURE: _____
NAME: _____
DATE: _____

DATE: 30.09.2015
DRAWN BY: SN
CHECKED BY: _____

DRAWING NUMBER: MS-103851-110
BUILDING NUMBER: #3725
QUOTATION NUMBER: 10351
REV: [3]
SHEET A3

ISSUE	AMENDMENT	BY	DATE
3	AS BUILT	HC	13.12.2016
2	FOR CONSTRUCTION	SN	15.11.2016
1	PRELIMINARY DRAWINGS	SN	10.11.2016

PROJECT: BRINDABELLA CHRISTIAN COLLEGE 9.6 x 6.8m CLASSROOM



Amendment Plan Tax Invoice

TO THE PAYEE

c/o CBS COMMERCIAL CERTIFIERS PTY LTD

1/25-35 BUCKLAND STREET MITCHELL ACT 2911

Access Canberra Building Services

ABN 16 479 763 216
8 Darling Street Mitchell
GPO Box 158 ACT 2601
Access Canberra Homepage: www.act.gov.au/accesscbr

Invoice Date: 23/06/2020 Time: 1:57:59 PM

Invoice Number: 3100604846

Item	Fee
Amendment Fee for B20202370	23.00

No GST applies to these fees and levies.

PAYMENT REQUIRED WITHIN 14 DAYS OF INVOICE ISSUE DATE

Payment Options



Biller Code: 584508
Ref: 3100604846

Telephone & Internet Banking – BPAY®

Call your bank, credit union or building society to make this payment from your cheque, savings or credit card account. More info: www.bpay.com.au



Access
Canberra

Internet

To pay online by credit card (MasterCard or Visa), click on the "Building and Construction Fees and Levies" online payment form located at
<https://www.accesscanberra.act.gov.au/app/answers/payment>



Access
Canberra

Phone

Telephone (02) 6207 1923 8.30am - 4.30pm Mon - Fri and have your credit card details handy (MasterCard and Visa).



Access
Canberra

In Person

Access Canberra Building Services Shopfront Only: 8.30am – 4.30pm Mon – Fri . Cash, Cheque, EFTPOS, Credit card (Mastercard and Visa). CashLink Code – 34 0075

For further information please contact Access Canberra Building Services - 02 6207 1923.



Building Approval Fees and Levies Tax Invoice

TO THE PAYEE

c/o Brindabella Christian College

136 Brigalow Street, ,

Lyneham ACT 2602

Access Canberra Building Services

ABN 16 479 763 216

8 Darling Street Mitchell

GPO Box 158 ACT 2601

Access Canberra Homepage: www.act.gov.au/accesscbr

Invoice Date:26/05/2020 Time:5:00:04 PM

Invoice Number: 3100600133

Block - Section - Division - District

Building
LevyTraining
Levy

Fees Paid

Total

4 - 41 - LYNEHAM - CANBERRA CENTRAL Ref #
- 32080

Total

Sch 2.2(a)(xi)

No GST applies to these fees and levies.

PAYMENT REQUIRED WITHIN 14 DAYS OF INVOICE ISSUE DATE

Payment Options



Biller Code: 584508
Ref: 3100600133

Telephone & Internet Banking – BPAY®

Call your bank, credit union or building society to make this payment from your cheque, savings or credit card account. More info: www.bpay.com.au



Internet

To pay online by credit card (MasterCard or Visa), click on the "Building and Construction Fees and Levies" online payment form located at <https://www.accesscanberra.act.gov.au/app/answers/payment>



Phone

Telephone (02) 6207 1923 8.30am - 4.30pm Mon - Fri and have your credit card details handy (MasterCard and Visa).

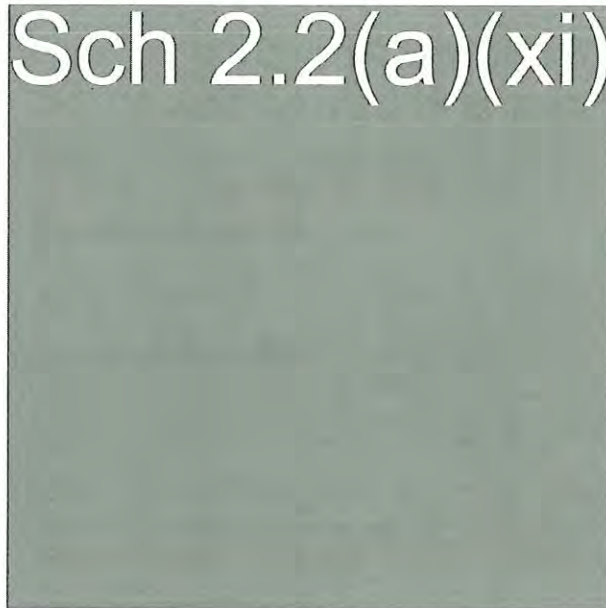


In Person

Access Canberra Building Services Shopfront Only: 8.30am – 4.30pm Mon – Fri . Cash, Cheque, EFTPOS, Credit card (Mastercard and Visa). CashLink Code – 34 0075

For further information please contact Access Canberra Building Services - 02 6207 1923.

Sch 2.2(a)(xi)



Minimum Documentation and Information for Building Approval Applications

Sch 2.2(a)(xi)

1. Overview of required Information:

- ✓ Project Summary (to comply with Part 2):
 - Includes complete drawing list
 - Includes Design compliance summary (if required)
- ✓ Development Statement (in accordance with Part 5).
- ✓ Plans, Specifications and other supporting documents (to meet requirements of Part 6).
- Information on Performance solutions, if any (refer to part 7).
- Maintenance information (refer to part 8).
- Information on consultations and referral entity advice (refer to part 9).
- Other supporting documents if applicable (see Part 10).

Minimum Documentation and Information for Building Approval Applications

Rev. A

2. Project Summary

Note: Certifier may provide their own template.

Project Information (28/01/2020)			
Project Title:	Brindabella Christian College – Demountable		
Project number:	Sch 2.2(a)(xi)		
Brief description of building work:	Relocation of existing demountable structure to new location. Refurbishment of demountable for the purpose of science teaching. Proposed two storey demountable to new location.		
Street Address:	136 Brigalow Street, Lyneham ACT 2602		
Block:	4	Division:	Lyneham
Section:	41	District:	-
Site information:			
Site Area (m ²):	18112m ²	Bushfire zone (Y/N)	N
Site Classification (if known):	Community Facilities	Flood zone (Y/N)	N
Building Information			
Classification (major use):	9b - Education/School Building	Classification (minor use, if any):	
Type of construction:	C	Estimated cost of building works:	T.B.C
Proposed floor area (m ²):	65.47 m ² (wet lab) 91.28 m ² (2 storey)	Number of new dwellings:	-
Number of storeys/levels:	1 (wet lab)	United Building (Y/N):	-
Rise in storeys:	1	Performance solution (Y/N):	N

Minimum Documentation and Information for Building Approval Applications

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Contact Details:	
Land Owner: (or Tenant/Appointed Agent/Primary Contact)	Name: Greg Zwajgenberg
	Contact Number: Sch 2.2(a)(ii)
	Email: Sch 2.2(a)(ii)
Project Architect:	Name: Sch 2.2(a)(ii)
	Company: Sch 2.2(a)(xi)
	Mobile: Sch 2.2(a)(ii)
	Email: Sch 2.2(a)(ii)
Consultants:	
Structural Designer	Company: Sellick Consultants
	Contact: Sch 2.2(a)(ii)
	Email: Sch 2.2(a)(ii)
	Phone: 02 6247 2203
Fire Services Designer	Company:
	Contact:
	Email:
	Phone:
Mechanical Services Designers	Company: King Air
	Contact: Sch 2.2(a)(ii)
	Email:
	Phone: 02 6298 1244
Hydraulic Designer	Company:
	Contact:
	Email:
	Phone:
Electrical Designer	Company:

Minimum Documentation and Information for Building Approval Applications

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	Contact:
	Email:
	Phone:
Builder	Company: Sch 2.2(a)(xi)
	Builder Contact: Sch 2.2(a)(xi)
	Email:
	Phone:
Project Manager –	Company:
	Contact:
	Email:
	Phone:

Minimum Documentation and Information for Building Approval Applications

Rev. A

3. Drawing list (including reference numbers):

Architectural:

A001 - SITE PLAN

A110 – RELOCATION – EX. DEMOUNTABLE

A120 – WET LAB – PROPOSED LAYOUT

A200 – WET LAB – EXTERNAL ELEVATIONS

A201 – WET LAB – EXTERNAL ELEVATIONS

A300 – WET LAB - SECTIONS

A410 – WET LAB – INTERIOR ELEVATIONS

A601 – 3D VIEWS – WET LAB

Joinery:

PG1 - PLAN

PG2 - ELEVATIONS

PG3 – ELEVATIONS & DETAILS

4. Design compliance summary (Pre-DA(?), if required):

- Note: this is not mandatory, but considered good practice.
- Response to relevant codes
- Example below – to be developed further:

Code:	Requirement:	Response:	Refer:
BCA C3.2	Openings in an external wall 6 meters of another building be protected in accordance with C3.4	Two fixed -/60/- fire rated windows on the southside.	A970 – Section C&J Assessment (Part J1-J3) for the relocated demountable building.
BCA C1.1	Building elements listed in Table 5 (refer section J) and any beam or column	We are not required to provide external fire rated walls for this project.	A970 – Section C&J Assessment (Part J1-J3) for the relocated demountable building.

Minimum Documentation and Information for Building Approval Applications

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5.1	incorporated in it, must have an FRL not less than the listed in the Table for the particular Class of building concerned. And to have an FRL need only be tested from the outside to satisfy the requirement.		
BCA J1.5	Refer J1.5 calculator – façade report in addendum	Compliance has been achieved.	Refer J1.5 calculator – façade report in addendum
BCA J1.3	A roof or ceiling must achieve a Total R-Value greater than or equal to R3.7 for an upward direction of heat flow, and the solar absorptance of the upper surface of a roof must be not more than 0.45 for buildings in climate zone 7.	Compliance has been achieved.	A970 – Section C&J Assessment (Part J1-J3) for the relocated demountable building.
BCA J1.5	In climate zone 7 a minimum U-Value of wall-glazing construction where the wall is more than 80% must not be greater than 1.4.	Compliance has been achieved.	A970 – Section C&J Assessment (Part J1-J3) for the relocated demountable building.

Minimum Documentation and Information for Building Approval Applications

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	States in climate zone 7 value of 0.13 solar admittance value.		
BCA J1.6	Total R-Value for a slab on ground in climate zone 7. A floor without in slab heating or cooling system: R2.0	Slab edge is not required, no in-slab or in-screed heating or cooling system is proposed.	A970 – Section C&J Assessment (Part J1-J3) for the relocated demountable building.

5. Development Statement (Post DA(?)) – Refer to Part 5) – N/A

- Reference to DA or DA Exempt notice
- Any differences between the DA plans and BA plans
- Reasons why there are differences, and reason difference are exempt (if applicable)
- Demonstrate Conditions on DA have been met

Minimum Documentation and Information for Building Approval Applications

Rev. A

6. Drawing Checklist (from Part 3 and Part 6)

General:

- If drawings contain old and new works – ensure they are clearly differentiated with colours, shading, hatching etc.
- Provide clear legends
- All dimension must be finished dimensions
- List of changes from approved plans to proposed amendments (if applicable)

Information for all sheets (typical title block):

- Cover Sheet (which may include abbreviations, general symbols, material legends, drawing list and General Notes) **We have not included a Cover sheet for this project, as the size of the project does not require extensive notations**
- ✓ Drawing title
- Drawings Number
- Drawing Revision and Date
- Block, Sections and Division
- Street Address
- Name of Land Owners
- Initials of relevant individuals who undertook the design work and prepared the drawings

Plans:

General:

- ✓ Title block with above information
- ✓ North point indicating True North (**NOT** Magnetic North)

Location Plan:

- Drawn at an appropriate scale to show 'salient information' such as protected tree's, creeks and dams and other waterways, as well as immediate surrounding area.
- Legal boundaries of all land shown on plan.
- Show easements as indicated on certificate of title or deposited plan
- Existing buildings and other site features
- Known Natural obstructions
- Vehicle crossings

Site plan (not less than 1:200)

- Adjoining properties and legal title boundaries** (including dimensions and bearings)
- Positions and dimension of **existing easements** as indicated on certificate of title or deposited plan (including depths and services including any existing points of connection to utilities)

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Position of **proposed easements** (including depths and services including any existing points of connection to utilities)

- Site levels** relative to the Australian Height Datum (AHD)
- Contour lines at 0.25m intervals** referenced to the AHD
- Finished Floor Levels (FFL), Natural and finished **ground levels**
- Existing and proposed **driveways** and vehicle crossovers
- Existing and proposed **parking areas** including **car space dimensions**
- Site **finishes** (hard and soft) **with levels and falls**
- Position and dimensions of **existing and proposed buildings** on the land (including excavation walls, retain walls, swimming pools and other non-habitable buildings and structure)
- Dimensions (in meters) indicating the distances between existing and proposed buildings and to the site boundaries
- Current use and classification of existing buildings, if known, or apparent use if unknown.
- Position of buildings on adjoining properties** within 3m of the site boundary, and their use and classification, if known;
- Fire sources** within 3m of the allotment boundary, or proposed allotment boundary.
- Fire rating** of any boundary structure, if known,
- The position of **existing and proposed vegetation** and trees on the land (Notes: removal may require approval. Location of vegetation is particularly important in bushfire prone areas);
- Excavations or fill levels** relative to AHD, **compaction details, retaining walls** and associated **soil and water management strategies** during construction
- Area in m² of the site, building footprint, site coverage AND floor areas.
- Any other details required to identify the need for protection work for proposed and existing buildings during construction, proper fire separation, site cut and fill, adequate falls for the drainage of the allotment, and site coverage
- Class of building applicable to each section of the proposed works.

Requirements in the Regulation:

- If the building work requires the connect or alternation of a pipe to the **sewage system**, show the **point of connection** of the pipe to the sewerage system.
- If the building work requires the connect or alternation of a pipe to a **water main**, show the **point of connection** of the pipe to the water main.
- If the building work requires the connect or alternation of a pipe to the **storm drain**, show the **point of connection** of the pipe to the stormwater system.
- Existing surface storm water drainage** and, if the building work will alter the surface stormwater drainage on the parcel of land where the work is being done – **show the proposed storm water drainage**

Construction documents:

Floor plans (not less than 1:100):

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Rev. A

Separate plan for each building level

- For substantial alterations, existing and proposed plans must be provided – **N/A**
- Structural grid lines
- Keyed section details referenced to relevant drawings and sheet numbers
- Finished floor level (FFL) referenced to the AHD or project site datum
- Details for each room including:
 - ✓ Intended use
 - ✓ Dimensions and rooms areas
 - ✓ Outline of roof or pergola overhang (if applicable)
 - ✓ Overall dimensions of wall and other structural elements.
 - ✓ Internal dimensions of rooms and room identification
 - ✓ Internal and external wall construction (tag)
 - ✓ Special wall constructions (i.e. for sound, fire or moisture)
- For bracing layouts, reference to relevant structural drawings – **N/A**
- For lintels, the lintel sizes or reference to a relevant structural drawing or bracing schedule specification where the information is located. – **N/A**
- Window and Door locations + indication of openable sections and direction of opening (slide/swing etc.)
- ✓ Window and Door locations, numbers and plan dimensions, including references to any window/door schedules (note window and glazing requirements)
- ✓ Indication of floor coverings (may change, however this is relevant to transitions and accessibility between rooms, slip prevention, trips and falls + other performance requirements)
- Lighting layout – **Electrical to provide**
- Air circulation details
- Staircase layouts and details – **N/A**
- Location and position of appliance
- Location fixture or fittings required on to demonstrate compliance with the building code. (eg bathroom fixtures)
- Reference relevant drawings, details, specifications and schedules throughout
- Locations of smoke alarms and fire exits
- Reference details of proposed performance solutions associated with the floor plan
- Identify uses classified as minor uses; and
- ✓ Boundaries of united building (if applicable).

Sections (not less than 1:100):

- Minimum of two intersecting sections
- Long sections of any basement ramp showing gradients and transition zones
- A section of any staircases showing/referring to details
- Sections of any subfloor areas
- Show structural grid lines

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- Natural and finished ground lines
- References to detail drawings
- FFL and FCL
- Floor to ceiling heights
- Wall heights
- Window and Door heights
- Roof and ceiling pitches
- Floor slopes with gradients
- Locations of stairs, decks and balustrades
- Thresholds and wet area and external set downs
- Reference to detail drawings
- Structural supports
- Accurately scaled and coordinated building services including ductwork and fire protection services
- Relevant vertical and horizontal building elements and their relationship to the ground, floors, ceilings and roofs.

Elevations (not less than 1:100):

- Building Heights relevant to any existing and adjacent buildings
- Structural gridlines
- Dimensioned heights including overall heights
- Proposed external materials referenced to schedules or specification
- Proposed FFL, FCL and floor to floor heights
- Natural and finished ground levels (AHD)
- Wall heights
- Roof pitch
- Location of Roof lights, clerestory windows, doors and windows
- Window Sizes
- Reference to relevant details

Detail Drawings (generally not less than 1:50):

N/A - existing demountable building, will not be reconstructed

- Building heights relevant to any existing and adjacent buildings
- Junction details which show the interface between and withing major building elements and special areas
- Sections and details can be combined on one drawing

Details to include the following:

- FFL and FCL
- Overall dims, heights and levels
- Reference to relative levels
- Reference to detail drawings

Minimum Documentation and Information for Building Approval Applications

Rev. A

- References to structural gridlines
- Annotated falls, slopes and inclines; and
- Coded references to materials or schedules and specifications

Construction Detail Drawings (generally 1:10 or larger):

N/A - existing demountable building, will not be reconstructed

Note: Details must be specific to the building

Note 2: Relevant information may be presented in schedule form.

- Structural elements, junctions and fixings.
- Junctions between different materials.
- Penetrations through interior and exterior walls and roofs.
- Window and door heads, sills and jambs.
- Horizontal and vertical cladding junctions.
- Method of attachment for cladding and external materials, including the associated weatherproofing system.
- Expansion and movements joints.
- Wall and roof junctions.
- Bottom plate/cladding overhangs.
- Soffits and parapet details.
- Retaining wall details.
- Tanking and damp proofing, cross sections and details.
- Deck or pergola connections to main structure and associated handrails, layouts and fixings.
- Stairs showing rise, going, pitch, handrails and other fall protection.
- Fire separations junctions and penetration details
- External weatherproofing and internal waterproofing details.

Note: this is a common defect in the ACT and Australia. Waterproofing details need to be carefully considered and clearly detailed.

- Components.
- Assemblies.
- Identify all critical dimensions.

Foundation, footings and concrete slab plans (1:100) and details (generally 1:10 or larger):

N/A – piers for existing demountable building will be documented by structural engineer

Architectural drawings capturing foundations, footings and slabs need to reflect the structural engineering design in relation to dimensions and variables such as balcony and wet area step-downs and headroom height clearances

Note: this information may be captured in other sections and details

- Footings including penetrations and stepdown details (balconies and wet areas)

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- Slabs including levels, falls or gradients, thickenings (where relevant) and weatherproofing and water proofing systems
- Structural floors, other than slabs, including levels, falls or gradients and weatherproofing and water proofing systems.
- Foundation walls
- Nominated foundation depth and description of founding material
- Finished floor heights in relation to site datum
- Partition layouts indication the size and location of loadbearing members (if applicable)

Wet Area Details (generally 1:10 or larger):

N/A – no wet area proposed

Note: this information may be captured in other sections and details

- Junctions and interfaces between wall and floor linings in kitchens, bathrooms, ensuites and laundries.
- Wall lining joints
- Junctions between bath, basin, tub, sink and shower, including bath and shower screens and installation design information.
- Shower internal corners
- Details of shower floor stepdown or fall for level entry showers
- Plumbing penetrations, such as shower mixers, shower roses and taps
- Type of shower or bath (for example proprietary, steel tray, level entry)
- Specifications of wet area materials of wall linings and systems
- Wet area specification, including the extent of waterproofing and proposed water proofing system

Windows and Glazing (info to be shown on plans/details, generally 1:20):

Provided as part of Façade calculator and Section C & J report

Note: this information may be captured in other sections and details

Note 2: Specification does not need to name proprietary products but the properties that the windows and glazing have in order to meet the building code.

- Frame material and type of glazing
- Glazing properties including U-value and solar heat gain co-efficient, safety requirements, and requirements to meet bushfire protection requirements, if any
- Overhead glazing and roof lights
- Actual glazing area for natural lighting calculation
- Actual opening sizes for ventilation calculation
- Internal glazing specifications including wet area glazing, shower screens, doors, referencing the relevant standards.

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- Specification for glazing associated with:
 - Balustrades
 - Smoke curtain
- Indication of glazing that must be marked for safety.

7. Fire safety details:

Provided as part of Section C & J report

Note: this information may be captured in other sections and details

- Passive and active fire safety systems, including fire service details, layouts and schedules
- Full fire separation and compartmentation details including the documentation of proposed fire resistance levels (FRLs)
- Details of elements and applied fire actions required for the construction in a bushfire prone area, if applicable
- Penetration sealing specifications
- Location and specification of materials that require fire hazard properties, and fire-resisting or fire protected elements, or are otherwise required to meet the fire safety performance requirements of the building code
- Provision for fire brigade access
- Location of fire isolated stairways
- Provision for fire fighting series in the building while under construction.
- If demonstrating compliance by use of FPAA 101D, a design compliance statement must be provided by a suitable qualified person.

8. Movement and access details (including ramps and stairs):

Note: this information may be captured in other sections and details

- Number, location and dimensions of elements for egress for escape, including fire-isolated exits, paths of travel to exits, evacuation lifts and smoke lobbies
- The direction of swing of doors in a pathway for egress for escape in an emergency
- Location and type of required signs on fire and smoke doors and non-required stairways, ramps or escalators
- Specification of door latches on doors and required exits
- Method of construction for stairs, ramps, access and egress paths, including any non-slip requirements
- For stairs and staircases:
 - Stair riser aperture size
 - Dimensions of landing, thresholds, goings and risers, and widths of stairs
 - Dimension clearance height above stairs
- For ramps, ramp slopes, gradients, transition zones, landing and surface finishes
- Location and requirements for fall prevention barriers and windows requiring fall protection
- Method of balustrade construction, if any proposed, including spacing and handrails

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- Identification and dimension of access to and within the building, and carparking, for people with a disability, including all circulation and other relevant details for access in accordance with AS1428 (if using the deemed-to-satisfy solution)
- Location and specification for any communication systems for people with a hearing impairment.

9. Health and Amenity:

Note: this information may be captured in other sections and details

- Systems for managing rainwater, rising damp and wet area overflows
- Location, number, type and dimension of sanitary facilities and adult accessible change facilities
- Rooms height for all rooms
- Locations and specification of openings for natural light and ventilation
- Lighting information showing required illuminance levels in each area of the building
- Mechanical systems specification
- Identification and specification of elements requiring sound transmission and sound insulation
- Details of building sealing including any expected air permeability rates
- Identification and specification of elements required for condensation management including building vapour permeable membranes, ventilation in roof spaces, water control layers and venting, air-conditioning and exhaust systems
- Location of, and protection of, any minor structures and appliances for G1 and G2 in Volume 1 of the building code.

10. Energy efficiency:

Note: this information may be captured in other sections and details

Note 2: It is NOT acceptable to write on the plans that details of building "as per energy rating" or the like. Specifications must be included in drawings and/or supporting documents.

- Energy efficiency Certificate (if required)
- Building Fabric Thermal efficiency specification (windows u-value, insulation R-value, sarking, thermal mass, shading etc)
- Details of building sealing including any expected air permeability rates
- Description of any air movement control strategies
- Specification of sealing and insulation to pipes, ducting and services
- Location and properties of equipment listed in Part J provisions including
 - ✓ Lighting and power control devices
 - Air-conditioning systems
 - Pumps, boilers, chiller and other plant

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- Location of ceiling fans, dampers and flaps on chimneys, flues and evaporative coolers
- Electrical lighting spec + layout with lamp power densities and illumination power densities
- For building complying with building code 2019 Volume 1, Section J:
 - Demonstration of compliance with a performance solution or a verification method, the energy use in kJ/m²/hr for the building, or parts of the building
 - If particular air permeability rates are targeted, the details of sealing required to achieve it and any associated mechanical ventilation requirements
 - For sole occupancy units, the heating and cooling load limits.

11. Swimming Pools and Spas:

N/A

Note: this information may be captured in other sections and details

Where pools or spas are proposed, the following design information must be provided—

- Construction details, including structural engineer's design and calculations, waterproofing system, drainage, pool water recirculation and filtration systems;
- Swimming pool depth of water i.e. the maximum depth of the water the pool is designed to hold.
- Pool safety barrier details, fencing details and heights
- Openings, gates and latches, including direction of swing of gates.
- Any accessibility requirements.

12. Demolition Plans:

N/A

Note: this information may be captured in other sections and details

- Clearly indicating which building or part of the building is to be demolished or removed.
- If only part of a building is to be demolished or removed, calculations or other information in writing to show that the remainder of the building will comply with the Building Act and regulations, both as the building remains and after the proposed demolition or removal takes place, or after other building work is performed.
- Details of the demolition of foundations and relevant structural components such as walls, floors roofs.
- Identification of any disconnection of services from public utilities, or impact on essential services in the building.
- Demolition of various building components (e.g., walls, floors, roofing, cladding).
- Remedial work on site after the demolition, including clearing building material.

Note: This information is not required for demolition of a whole building.

13. Engineering Drawings and Details

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For information required on engineers' drawings, refer consultants directly to the guideline.

14. Design compliance Statement

If requested, refer to Acumen note 'Request for issuing certificates.'

Do not provide a statement which certifies the work of sub-consultants or other parties, and, if required, only supply a statement which refers to the architectural design.

If required, consultants should provide statements for their own respective specialties.

15. Design Schedule

Not mandatory, but good practice: Summary of building code compliance and the location of relevant details in the drawing set, specification or supporting documents. This to assist building certifiers to assess application.

16. Specifications:

In addition to the information above, refer to information required above and ensure information is consistent in all documents.

- General references to Australian Standards should be avoided. References and specifications should be specific to the project (not generic information).
- Include references to documents providing evidence of the compliance of proposed building methods, designs, products and systems with relevant performance standards
- If the specification provides for the use of equivalent products or similar, a clear indication of the performance and properties required to make the product equivalent.
- Indicate whether the materials will be new or second-hand, and demonstrate that materials are fit for purpose and be used in a way that will comply with the Act and building code.

17. Performance solutions (Part 7)

In cases where a Performance Solution has been proposed, documentation must include at a minimum—

- details of the relevant Performance Requirements stating the performance requirements with which the building work purports to comply and how the building work will comply with the performance requirements;
- details of how the performance solution is different from the relevant D-t-S provisions under the building code;
- inspection or test results and other documents or information relied on to prepare the application;
- the Assessment Method or methods used to establish compliance with the relevant Performance Requirements;
- details of any Expert Judgement relied upon including the extent to which the judgement was relied upon and the qualifications and experience of the expert;

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- details of any tests or calculations used to determine compliance with the relevant Performance Requirements;
- details of any standards or other information which were relied upon; and
- any conditions, limitations or restrictions on the design in a summary in a prominent place in the document.
- Examples of conditions, limitations or restrictions solution applies only if external materials are non-combustible, solution does not apply to a part of the building

b. For fire engineered designs, including any verification methods, the applicant must also provide:

- A copy of the fire engineering brief (FEB);
- A copy of the relevant version of the fire engineering report (FER); and
- Referral documentation to, and comments made by ACT Fire and Rescue, for the submission, if any at the time of application.

18. Maintenance Information (Part 8)

The maintenance for the relocated demountable building will be as per the current maintenance schedule. No changes to the maintenance schedule are required, nor is there an increase to the waste generation value expected.

- ✓ A building approval application must be accompanied by maintenance information for the building's essential safety systems.

Note: The Emergencies Act requires the maintenance of fire appliances.

- ✓ The requirement to provide a maintenance information is satisfied by completing and attaching the maintenance information table at Appendix 2 to the application.

19. Referral Or Consultation Entity Advice (part 9)

- Entities' advice/consent/approval (utility companies), if required
- Conditions from entities consulted
- Documents provided by entities

20. Other Supporting Documents

- Any relevant additional documents such as waste management plans, asbestos removal control plans, asbestos assessments reports, asbestos contamination report and other information in relation to asbestos removal.
- Letter of Authorisation by landowner
- Any relevant approvals or authorisations related to building work
- DA conditions in approval
- Detailed method of protection of services and waterproofing
- Evidence that limitation in relation to a performance requirement of the building code is appropriate



Building Act 2004, S151

Building Approval

Project ID: B20202370

PART A - PROJECT DETAILS

Unit	Block	Section	Division (Suburb)	District	Jurisdiction
	4	41	LYNEHAM	CANBERRA CENTRAL	Australian Capital Territory

PART B - WORKS REQUIRING BUILDING APPROVAL

Item of building work to which this Building Approval relates:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
9b	New	EDUCATIONAL BUILDING	Relocation of Demountable Classroom	C	1	68.00	Sch 2.2(a)(8)

The following work is exempt from development approval:

- Schools

PART C - CERTIFIERS DECLARATION

I declare that in issuing this building approval under section 28 of the Building Act 2004:

- I am satisfied on reasonable grounds that the plans meet each applicable approval requirement under section 29 and is not prevented from being issued under section 30 or section 30A
- I have supplied all documents as required under 3.3 Building Act 2004
- I have prepared a notice (building approval certificate) certifying what approval requirements apply to the application and why the building approval is not prevented from being issued; and
- I have given the building approval certificate to the applicant.

In performing services as a certifier in relation to the work detailed in this application I am not in breach of my entitlement to act as a certifier in accordance with the Building Act 2004.

Full Name	Address	License Number	Expiry Date
CBS COMMERCIAL CERTIFIERS PTY LTD	1/25-35 BUCKLAND STREET MITCHELL ACT 2911	2019938	9/09/2020

Date Issued : 26/05/2020

NOTES

Utilities

This application must also be accompanied by a Statement of Compliance from each relevant utility provider (for water, sewerage, electricity and stormwater) which confirms that the location and nature of earthworks, utility connections, proposed buildings, pavements and landscape features comply with utility standards, access provisions and asset clearance zones.

Note 1: If there is no stormwater easement or Territory owned stormwater pipes located within the property boundary, a "Statement of Compliance" for stormwater from TAMS (Asset Acceptance) is not required to be obtained.

Note 2: Where there is conflict between planning and utility requirements, the utility requirements take precedence over other codified or merit provisions.

Utilities – Demolition Only

This application must be accompanied by a Statement of Endorsement for utilities (including water, sewerage, electricity and stormwater) stating that:

- all network infrastructure on or immediately adjacent to the site has been identified on the plan
- all potentially hazardous substances and conditions (associated with or resulting from the demolition process) that may constitute a risk to utility services have been identified
- all required network disconnections have been identified and the disconnection works comply with utility requirements
- all works associated with the demolition comply with and are in accordance with utility asset access and protection requirements

Note: The documentation provided to the utility provider for endorsement must be consistent with the documentation that forms part of a development approval or the documentation verified as exempt from requiring development approval by a licensed certifier.

Asbestos Advice

If documents accompanying building approval do not include an asbestos assessment report as per the Building Act 2004, the building approval must have an Asbestos Advice attached as per the Act

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.



**APPOINTMENT OF BUILDER &
APPLICATION FOR
COMMENCEMENT NOTICE**
Building Act 2004, S151

In completing this form the owner is authorising the builder nominated below to apply to the appointed certifier to issue a Commencement Notice for the works detailed in this application form.

PART A PROJECT DETAILS

Block Section Suburb Unit No.

Street Address

Certifier Name

Description of Building Works relevant to this application-If more than 6 items please attach further details

1	RELOCATION OF PERMANENTABLE CLASSROOMS
2	
3	
4	

PART B OWNER DETAILS - Please Print

All owners must be listed Owner 1 will be considered the contact person in relation to this application

Company Details

Owner 1 Owner 2

Owner 3 Owner 4

Postal Address

Suburb State Postcode

Phone Number Business Hours Mob

EMAIL ADDRESS

PART C **APPOINTMENT OF BUILDER**

I/we the owner/s have appointed the person whose details appear below as the builder in relation to the building works described in this form

Licence Holders Name as it appears on licence card **Sch 2.2(a)(ii)**

Licence Number **Sch 2.2(a)(ii)** Class **A** Expiry Date **15.6.20**

List any conditions or endorsements on licence **NIL**

EMAIL ADDRESS **Sch 2.2(a)(ii)**

PART D **NOMINEE'S DETAILS**
If the builder is a company or partnership provide details of the Nominee who will supervise the building

Nominee's Name

Licence Number Class Expiry Date

Signature of Nominee Date

PART E **OWNER SIGNATURES**

Owner 1 Greg Zwaienberg Signa **Sch 2.2(a)(ii)**
Owner 2 **Sch 2.2(a)(ii)** Signa
Owner 3 Signa
Owner 4 Signa

PART F **BUILDER APPLICATION TO CERTIFIER FOR COMMENCEMENT NOTICE**

I hereby apply to the building certifier listed above for a commencement notice for the works detailed in Part A of this form in accordance with the Building Act 2004.

- A site sign was not required for this application.
- A site sign was required for this application and I declare that a compliant sign was erected and displayed.

Signature of Builder **Sch 2.2(a)(ii)** Date **20.2.20**

NOTE: There are penalties for deliberately providing false information to the Building and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

PART G **INSURANCE OR FIDELITY CERTIFICATE**

For residential building work please provide details of insurance where applicable

Insurance Provider Policy No. Date Issued



Building Act 2004, S151

Application for Building Commencement Notice

Project ID: B20202370

Licensed builders must use this form to apply to the building certifier for a commencement notice in accordance with the Building Act 2004. An application can only be made if the building approval has been issued for the building work. A commencement notice must be issued by the building certifier before any building work can commence.

PART A - PROJECT DETAILS

Building approval issue date: 26/05/2020

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
	4	41	CANBERRA CENTRAL	LYNEHAM	Australian Capital Territory

Full Name	Address	License Number	Expiry Date
CBS COMMERCIAL CERTIFIERS PTY LTD	1/25-35 BUCKLAND STREET MITCHELL ACT 2911	2019938	9/09/2020

Description of work to which application for Commencement Notice relates:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
9b	New	EDUCATIONAL BUILDING	Relocation of Demountable Classroom	C	1	68.00	Sch 2.2(a)(xi)

Insurance provider:

Policy number:

Issue date: 26/05/2020

PART B - BUILDERS DETAILS

License holder's name:

License number:

License Expiry Date:

Business Address:

Phone Number:

Signature of builder:

Sch 2.2(a)(ii)

(Individual, director for company or partner for partnership)

If the builder is a company or partnership provide details of the nominee who will supervise the building work

Nominee's name:

Sch 2.2(a)(ii)

License number:

License Expiry Date:

Nominee's signature
(if different to above):

/ /

PART C - OWNER/LESSEE DETAILS

Name	Address
Brindabella Christian College	136 Brigalow Street, Lyneham ACT 2602, AUSTRALIA

ADVISORY NOTE: Owners please ensure you have a written contract with the builder named in this application. For residential building work requiring home owner insurance ensure that the same builders name is shown on the insurance policy.

PART D - OWNER/S OR AGENT SIGNATURE/S

Name	Signature	Date
Brindabella Christian College		

NOTE: You may only make this application as an authorised agent on behalf of the owners of the property if you have appropriate written authorisation from ALL the owners and attach it to this application. This also applies if you are a part owner or joint owner making an application on behalf of the owners.

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.

PART E - BUILDER APPLICATION TO CERTIFIER FOR COMMENCEMENT NOTICE

I hereby apply to the building certifier listed above for a commencement notice for the works detailed in Part A of this form in accordance with the Building Act 2004.

- A site sign was NOT required to be displayed prior to making this application.
- A site sign WAS required to be displayed prior to making this application and I declare that a compliant sign was erected and displayed for the required period.

Signature of
Builder/Nominee:

/ /

NOTE: There are penalties for deliberately giving false and misleading information. Access Canberra or the Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.



Building Act 2004, S151

Application for Building Commencement Notice

Project ID: B20202370

Licensed builders must use this form to apply to the building certifier for a commencement notice in accordance with the Building Act 2004. An application can only be made if the building approval has been issued for the building work. A commencement notice must be issued by the building certifier before any building work can commence.

PART A - PROJECT DETAILS

Building approval issue date: 26/05/2020

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
	4	41	CANBERRA CENTRAL	LYNEHAM	Australian Capital Territory

Full Name	Address	License Number	Expiry Date
CBS COMMERCIAL CERTIFIERS PTY LTD	1/25-35 BUCKLAND STREET MITCHELL ACT 2911	2019938	9/09/2020

Description of work to which application for Commencement Notice relates:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
9b	New	EDUCATIONAL BUILDING	Relocation of Demountable Classroom	C	1	68.00	Sch 2.0(a)(ii)

Insurance provider:

Policy number:

Issue date: 26/05/2020

PART B - BUILDERS DETAILS

License holder's name:

License number:

License Expiry Date:

Business Address:

Phone Number:

Builder Applied on:

Sch 2.2(a)(ii)

If the builder is a company or partnership provide details of the nominee who will supervise the building work

Nominee's name:

License number:

Sch 2.2(a)(ii)

License Expiry Date: 15/07/2020

Nominee's signature
(if different to above):

/ /

PART C - OWNER/LESSEE DETAILS

Name	Address
Brindabella Christian College	136 Brigalow Street, Lyneham ACT 2602, AUSTRALIA

ADVISORY NOTE: Owners please ensure you have a written contract with the builder named in this application.
For residential building work requiring home owner insurance ensure that the same builders name is shown on the insurance policy.

PART D - OWNER/S OR AGENT SIGNATURE/S

Name	Signature	Date
Brindabella Christian College		

NOTE: You may only make this application as an authorised agent on behalf of the owners of the property if you have appropriate written authorisation from ALL the owners and attach it to this application. This also applies if you are a part owner or joint owner making an application on behalf of the owners.

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PART E - BUILDER APPLICATION TO CERTIFIER FOR COMMENCEMENT NOTICE

I hereby apply to the building certifier listed above for a commencement notice for the works detailed in Part A of this form in accordance with the Building Act 2004.

- A site sign was NOT required to be displayed prior to making this application.
- A site sign WAS required to be displayed prior to making this application and I declare that a compliant sign was erected and displayed for the required period.

Signature of
Builder/Nominee:

/ /

NOTE: There are penalties for deliberately giving false and misleading information. Access Canberra or the Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.



Building Act 2004, S151

Building Commencement Notice

Project ID: B20202370

PART A - PROJECT DETAILS

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
	4	41	CANBERRA CENTRAL	LYNEHAM	Australian Capital Territory

Certifier's Details

Full Name	Address	License Number	Expiry Date
CBS COMMERCIAL CERTIFIERS PTY LTD	1/25-35 BUCKLAND STREET MITCHELL ACT 2911	2019938	9/09/2020

Building approval issue date: 26/05/2020

Building Commencement Notice Required for:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Area (m2)	Cost of Works (\$)
9b	New	EDUCATIONAL BUILDING	Relocation of Demountable Classroom	C	68.00	Sch 2.2(a)(ii)

PART B - BUILDERS DETAILS

License holder's name:

License number:

License Expiry Date:

Business Address:

Phone Number:

Sch 2.2(a)(ii)

If the builder is a company or partnership provide details of the nominee who will supervise the building work

Nominee's name:

License number:

License Expiry Date:

Sch 2.2(a)(ii)

PART C - CERTIFIER'S DECLARATION

Issue date of commencement notice: 26/05/2020

Name of Certifier Issuing Notice: CBS COMMERCIAL CERTIFIERS PTY LTD

Declaration:

This commencement notice is issued in accordance with the Building Act 2004, to the licensed builder stated above authorising the commencement of the stated building work. The issue of this commencement notice indicates that I am satisfied that the builders license authorises the work in the building approval. Where applicable for residential building work, I have been provided with a residential building insurance policy or fidelity certificate.

PLEASE NOTE:

A copy of the application for this commencement notice, this notice and where applicable the residential building insurance policy or fidelity certificate, must be given to the construction occupations registrar within one (1) week of the issue date.

This building commencement notice will end if-

- (a) for residential building work- the work is no longer insured; or
- (b) the building approval for the work ends

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.



**APPOINTMENT OF A CERTIFIER
APPLICATION FOR BUILDING APPROVAL**
Building Act 2004, S151

This form is to be completed by the Owner/s of the land to which the building work relates.

PART A PROJECT DETAILS

Block A Section A1 Suburb LYNEMAM Unit No.

Street Address 136 BRIGALOW Street

Description of Building Works relevant to this application-If more than 4 items please attach further details

Describe each item of building work in this building approval	BCA Occupancy Class	BCA Construction Type	Area (m ²)	Number of Storeys	Cost of Works (refer to building cost)
1 <u>RELOCATION OF REMOUNTABLE CLASSROOM</u>	<u>qb</u>	<u>C</u>	<u>68</u>	<u>1</u>	<u>Sch 2.2(a)(xi)</u>
2					
3					
4					

Applicable approved requirements and reasons why building approval is not prevented from being issued

Is all work exempt from development approval?

YES Attach assessment for exempt development checklist (if applicable)

NO Provide reason/s or description of work: _____

Description of Attachments compliant with Division 3.3 Building Act 2004
Please attach any additional documentation not listed below

Building Approval Plans

Referrals, consultations & consents outcomes

Asbestos Advice - If documents accompanying building approval do not include an asbestos assessment report as per the Building Act 2004, the building approval must have an AA attached as per the Act

PART B OWNER'S DETAILS - Please Print

All owners must be listed

Owner 1 will be considered the contact person in relation to this application

Company Details Brindabella Christian College

ACN/ABN Number 21 100 229 669

Owner 1 Greg Zwajgenberg Owner 2 Sch 2.2(a)(ii)
Owner 3 _____ Owner 4 _____

Approved form AF2016-85 approved by David Middlemiss, Construction Occupations Deputy Registrar on 10 August 2016 under section 151 of the Building Act 2004 and revokes AF2016-80.

PART B continued OWNER/S DETAILS -- Please Print

Postal Address **136 BRIGALOW STREET**

Suburb **LYNEHAM** State **ACT** Postcode **2602**

Phone Number Business Hours **02 6190 7300** Mobile **Sch 2.2(a)(ii)**

EMAIL ADDRESS **bcc@bcc.act.edu.au**

PART C APPOINTMENT OF CERTIFIER

As required under the Building ACT 2004 I/we hereby advise that I/we the owner/s have appointed the person whose details appear below as the certifier in relation to the building works described in this form

Company Details **CBS Commercial Certifiers Pty Ltd**

Name of Certifier ABN/ACN **85635944124**

Postal Address **PO Box 76**

Suburb **Mitchell** State **ACT** Postcode **2911**

Phone Number Business Hours **6253 9911** Mobile

EMAIL ADDRESS **Sch 2.2(a)(ii)**

PART D APPLICATION FOR BUILDING APPROVAL

I/we the Owner/s of the abovementioned property hereby apply under Section 26 of the *Building Act 2004* to the certifier named above to issue a building approval for the building work described in this form. I/we have provided the certifier with information and documentation required to Issue a building approval as specified in the *Building (General) Regulation 2008*.

PART E AUTHORITY TO ACCESS BUILDING FILE

I/we hereby authorise the certifier to access the building file for the property which is the subject of this application for the purposes of obtaining information relevant to the issuing of a building approval and associated processes.

PART F OWNER/S SIGNATURE/S

Sch 2.2(a)(ii) **Sch 2.2(a)(ii)**

Greg Zwaffenberd
3rd Owner's Signature Date **26/2/20**

4th Owner's Signature Date **26/2/20**

Date

Date

NOTE: There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

Approved form AF2016-85 approved by David Middlemiss, Construction Occupations Deputy Registrar on 10 August 2016 under section 151 of the *Building Act 2004* and revokes AF2016-80.



Brindabella Christian College
136 Brigalow Street
Lyneham ACT 2602

BUILDING APPROVAL CERTIFICATE

Location: Block 4 Section 41 Lyneham

Description of Building Work: Relocation of Demountable Classroom

BCA Occupancy Class: 9b

BCA Construction Type: C

Rise in Storeys: 1

Building Approval.

Your application for building approval satisfies the Building Act 2004. Building approval is issued under s.28 of the Building Act 2004.

All work must comply with the:

1. Building Act 2004; and
2. National Construction Code 2019 Volume 1.

This approval expires three years from the date of this approval or at the expiry of the development approval, whichever occurs first.

Commencement

Building work may begin on the issue of the Building Commencement Notice.

Sincerely,

Sch 2.2(a)(ii)

Principal Building Surveyor
CBS Commercial Certifiers Pty Ltd COLA Lic No 2019938

26/5/20

Reference No. 32080



Building Act 2004, S151

**Appointment of a Certifier and
Application for Building Approval**

Project ID: B20202370

This form is to be completed by the Owner/s of the land to which the building work relates

PART A - PROJECT DETAILS

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
	4	41	CANBERRA CENTRAL	LYNEHAM	Australian Capital Territory

PART B - OWNER DETAILS

Name	Address	Email Address
Brindabella Christian College	136 Brigalow Street, Lyneham ACT 2602, AUSTRALIA	

PART C - APPOINTMENT OF CERTIFIER

As required under the Building ACT 2004 I/we hereby advise that I/we the owner/s have appointed the person whose details appear below as the certifier in relation to the building works described in this form

Full Name	Address	License Number	Expiry Date
CBS COMMERCIAL CERTIFIERS PTY LTD	1/25-35 BUCKLAND STREET MITCHELL ACT 2911	2019938	9/09/2020

PART D - APPLICATION FOR BUILDING APPROVAL

I/we the owners of the abovementioned property hereby apply to the certifier named above to issue a building approval under Section 26 of the Building Act 2004 for the building works detailed in the following table

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
9b	New	EDUCATIONAL BUILDING	Relocation of Demountable Classroom	C	1	68.00	Sch 2/2(a)(xi)

I/we have provided the certifier with the information and documentation required to issue a building approval as specified in the Building (General) Regulation 2008.

PART E - AUTHORITY TO ACCESS BUILDING FILE

I/we hereby authorise the certifier to access the building file held by Access Canberra for the property which is the subject of this application for the purposes of obtaining information relevant to the issuing of a building approval and associated processes.

PART F - OWNER/S SIGNATURE/S

Name	Signature	Date
Brindabella Christian College		

**APPLICATION FOR BUILDING APPROVAL REQUIREMENTS
Building (General) Regulations 2008**

Where relevant the following information **MUST** be included in either the application or the plans accompanying the application for building approval:

Block: 4

Section: 41

Suburb: LYNEHAM

Unit No:

Project Number: B20202370

Building Certifier: CBS COMMERCIAL

Customer Services Officer Name: BEC R

Date of completeness check: 24/06/2020

Part 1 Administrative Check				
Requirements	Yes	No	N/A	Comments
Has the Building Approval been submitted within 7 days from the date of approval?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Have all relevant plans been stamped and dated by the building certifier?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Does the date stamp on the plans match the approval date on eDevelopment?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Building approval stamp and application form text legible?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
If the Building Approval has a Development Approval is the Development Approval still valid?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	DA NUMBER:
Have all lessee's signed the relevant forms?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Are all relevant documents uploaded & named correctly?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has an insurance certificate been provided if the cost of building work exceeds \$12,000? (Class 1 units only)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Correct cost of building work provided in E-Development – Refer to Government Cost Guide (Class 1-10).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Have statements of compliance from each relevant utility been provided where relevant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/> GAS <input checked="" type="checkbox"/> WATER <input checked="" type="checkbox"/> ELECTRICITY
If BCN has been issued, is the licensee authorised to undertake the work as described? ie: Swimming Pool or Demolition endorsement on licence.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
If there is no exemption D notice has a site work notice been provided?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Part 2 Documentation Check				
Document	Document Name	Yes	No	N/A
Asbestos Removal Control Plan	Asbestos Removal Control Plan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Development Approval (including amendments)	Approved Plans – Development Approval	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Site Plan	Approved Plans – Site	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Floor Plan	Approved Plans – Floor	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Elevation Plan	Approved Plans – Elevation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Section Details – Wall, Floor Ceiling & Roof	Approved Plans – Sections Wall Approved Plans – Sections Floor Approved Plans – Sections Ceiling Approved Plans – Sections Roof	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Demolition Plan	Approved Plans – Demolition	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Swimming Pools and Spas Details (including fencing/barriers)	Details – Pools Spas	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Energy Efficiency Details (Multi Unit Housing Only)	Details – Energy Efficiency	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
---	-----------------------------	--------------------------	--------------------------	--------------------------

Creating Building Files	
Only complete this section if for a new block where a building file does not exist. Select Y (yes) or N (no) below.	
Is this a new building on a new block?	<input type="checkbox"/>
Has a new building approval been created in Objective and I Drive?	<input type="checkbox"/>

Part 4 Audit Team Checklist				
Document	Document Name	Pass	Fail	N/A
Footings and Concrete Slab Details	Details – Footings Concrete Slab	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Retaining Wall Details	Details – Retaining Walls	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Masonry Construction Details	Details – Masonry Construction	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Framing (including trusses) and Construction Details	Details – Framing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Roof Cladding Details	Details – Roof Cladding	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Exterior Cladding & Material Details	Details – Exterior Cladding & Materials	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Wet area details	Details – Wet Area	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Windows and Glazing Details	Details – Windows Glazing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Estimate of the Cost of the Building Work	Details – Cost of Building Work	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Alternative Solutions	Details – Alternative Solutions	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

From: ACTPLA, eDevelopmentBA
Bcc: Simon Murphy; bcc@bcc.act.edu.au; Sch 2,2(a)(ii)
Subject: 4/41 LYNEHAM - B20202370
Date: Wednesday, 24 June 2020 10:07:00 AM
Attachments: [B20202370-Certificate of Occupancy and Use-Certificate of Occupancy-01.pdf](#)
[image001.png](#)

UNCLASSIFIED

Good morning,

Please see the attached Certificate of Occupancy and Use (COU) for the above property.

Kind Regards

Rebecca

Rebecca Rattenbury | Team Leader Building Registrations

Phone: 02 6207 6266 | Email: Rebecca.Rattenbury@act.gov.au

Access Canberra | Chief Minister Treasury and Economic Development Directorate | ACT Government

8 Darling Street, Mitchell | www.act.gov.au/accessCBR

cid:image014.png@01D5E7ED.6B182EB0



This email and any of its attachments may be confidential. If you are not the intended recipient please notify the sender and delete immediately. You should not copy or use it for any purpose, nor disclose its contents to any other person.



Building Act 2004, S151

Certification of Completion of Building Work

Project ID: B20202370/A

If this application is incomplete or documentation is inadequate this application may not be accepted for lodgement and the Certificate of Occupancy and Use may not be issued.

PART A - PROJECT DETAILS

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
	4	41	CANBERRA CENTRAL	LYNEHAM	Australian Capital Territory

Plan Registration Number

B20202370/A

Description of Works

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Unit	BCN ID	Builder
9b	New	EDUCATIONAL BUILDING	Relocation of Demountable Classroom	C		Sch 2.2(a)(ii)	

The project involved electrical work

The project involved plumbing and/or sanitary drainage work

The project did not involve gas work

This building work is not subject to an alternative solution under BCA

PART B - CERTIFIERS DECLARATION

I am satisfied that the building work detailed in the application is complete. I hereby certify that:

- I have provided all the relevant documents required by subsection 48(2) of the Building Act 2004 with this application as uploaded;
- the documentation relating to the building approval has been marked in accordance with the requirements of the Building Act 2004;
- The building work has been completed in accordance with the requirements of the Building Act 2004 and substantially in accordance with the approved plans;
- The building or part of the building as erected or altered is structurally sufficient, sound and stable for the purposes for which it is intended to be occupied or used; and
- The Registrar can issue a Certificate of Occupancy and Use

Full Name	Address	License Number	Expiry Date
CBS COMMERCIAL CERTIFIERS PTY LTD	1/25-35 BUCKLAND STREET MITCHELL ACT 2911	2019938	9/09/2020

Date Issued: 23/06/2020 1:55:16 PM

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.



APPLICATION FOR CERTIFICATE OF OCCUPANCY AND USE Building Act 2004, S151

WARNING TO OWNERS It is recommended that owners seek appropriate advice to determine whether the building work and other contract requirements have been completed satisfactorily before signing this form. This form should not be signed before the completion of building work.

PART A PROJECT DETAILS

Block/s 4 Section 41 Suburb LYNETHAM Unit No.

Street Address 136 BRIGALOW STREET

Describe each item of building work to which this application relates: If more than 6 items please attach further details

- 1. RELOCATION OF REMOUNTABLE CLASS ROOM
2.
3.
4.

Name of Certifier: CBS COMMERCIAL CERTIFIERS P/L

PART B OWNER/LESSEE DETAILS

FULL NAME OF ALL OWNERS - All owners must be listed or application will not be processed Please Print - Owner 1 will be considered the contact person in relation to this application

Company Details Sch 2.2(a)(ii) KRISTIAN COLLEGE

Owner Owner 2 Owner 4 Sch 2.2(a)(ii)

136 BRIGALOW STREET

Suburb LYNETHAM State ACT Postcode 2602

Phone Number Business Hours 02 6190 7300 Mobil Sch 2.2(a)(ii)

EMAIL ADDRESS bcc@bcc.act.edu.au

PART C **DECLARATION BY OWNER/S**

I am/we are: the owner(s) of the above described land

I am/we are satisfied that the building work and related requirements have been completed and hereby apply for a Certificate of Occupancy or Use in respect of the above described work to be issued and I select one option only:

- Email
- send c
- Other

Sch 2.2(a)(ii)

PART D

This fo Sch 2.2(a)(ii) ding work.

1 st Owner's Signature		Date
		10.6.20
2 nd Owner's Signature		
3 rd Owner's Signature		
4 th Owner's Signature		

NOTE: There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

Once this form has been completed you should give it to your certifier to lodge or hand deliver to:

**Access Canberra
Building Services Shopfront,
8 Darling Street
Mitchell ACT 2911**

Privacy Notice
The personal information on this form is provided to Access Canberra to enable the processing of your application. The collection of personal information is authorised by the *Building Act 2004*. If all or some of the personal information is not collected Access Canberra cannot process your application. The personal information you provide may be disclosed to Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be disclosed where authorised by law or court order, or where the Directorate reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. Access Canberra's Information Privacy Policy contains information about how you may access or seek to correct your personal information held by Access Canberra, and how you may complain about an alleged breach of the Territory Privacy Principles. Access Canberra Information Privacy Policy can be found at www.act.gov.au/accessCBR

CONTACT INFORMATION

<p>Email: ACTPLAdevelopmentBA@act.gov.au</p>	<p>Post: Access Canberra Building Services Shopfront Mitchell GPO Box 158 Canberra, ACT 2601</p>	<p>In Person: Please visit www.act.gov.au/accessCBR Or call 132281 to find an Access Canberra Shopfront.</p>
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CBS

INSPECTION REPORT

PO Box 76
Mitchell ACT 2911

TELEPHONE (02) 6253 9911
Fax (02) 6253 9922

Suburb <i>LYNEMAN</i>	Section <i>41</i>	Block <i>4</i>	Unit
Builder <i>Sch 2.2(a)(ii)</i>		Inspection Stage <i>FINAL</i>	

An inspection of the building work has been carried out:

As a result of that inspection I hereby certify that the building work complies with section 42 of the Building Act 2004.

As a result of that inspection I have formed the opinion that the building work is not in compliance with section 42 of the Building Act 2004. Please re-book this inspection stage when rectified.

The following matters require your attention:

370202370
ALBERTA / PLUMBING

Work may proceed to the next stage.

Work completed and the registrar would be justified in issuing a Certificate of Occupancy under section *69C21*

Sch 2.2(a)(ii)

Sch 2.2(a)(ii)

23/6/20

CBS

INSPECTION REPORT

PO Box 76
Mitchell ACT 2911

TELEPHONE (02) 6253 9911
Fax (02) 6253 9922

Suburb <i>LYNEHAM</i>	Section <i>41</i>	Block <i>4</i>	Unit
Builder Sch 2.2(a)(ii)		Inspection Stage <i>PICE</i>	

An inspection of the building work has been carried out:

As a result of that inspection I hereby certify that the building work complies with section 42 of the Building Act **2004**.

As a result of that inspection I have formed the opinion that the building work is not in compliance with section 42 of the Building Act **2004**. Please re-book this inspection stage when rectified.

The following matters require your attention:

*AS PER ENGINEER CERTIFICATE
DATED 20/2/20.*

Work may proceed to the next stage.

Work completed and the registrar would be justified in issuing a Certificate of Occupancy under section.....

Sch 2.2(a)(ii)
Certified by

Sch 2.2(a)(ii)
Signature

20/2/20



sellick
consultants

Construction Progress Certificate

Location: Brindabella Christian College	Suburb: Lyneham
Lessee's or Permit Holders Name: Vamos Property Development and Construction	
Project Name: 9.6 x 6.8m Demountable Classroom	
Sellick Project Reference: 191504	

24 lonsdale street,
suite 122 mode 3,
braddon act 2612
po box 5005
braddon act 2612
p (02) 6201 0200
f (02) 6247 2203

Description of Building Work: (Please tick appropriate box)

New Work Additions Alterations Other

I certify that:

1. Representatives of Sellick Consultants have inspected the above building and/or the following components of its structural elements:

Bored pier foundations for demountable building

2. This Certificate applies to works documented in the attached structural drawings annotated by Sellick Consultants (drawing MS-103851-140 by Sch 2.2(a)(xi))
3. In inspecting the building works, we have paid attention to the structural integrity of the structural elements and to the best of our knowledge the works completed comply with:
 - a) The relevant clauses of the BCA.
 - b) Any structural requirements of the project fire engineering report, where applicable.
 - c) Relevant Australian Standards.

Declaration:

I am a professional engineer as defined in Part A1 Clause A1.1 of the Building Code of Australia.
This "Structural Engineers Certificate" is issued pursuant to Section 47 of the ACT Building Act 2004.

Sch 2.2(a)(ii)

Date: 20/02/2020

B.E. (Hons), MIE (Aust), CPEng, NPER
Structural Engineer, Director
for Sellick Consultants Pty Ltd

Sch 2.2(a)(ii)

Our Reference: 211167.06

18 June 2020

Sch 2.2(a)(xi)

Dear Sch 2.2(a)(ii)

**IDENTIFICATION SURVEY
BLOCK 4 SECTION 41 LYNEHAM**

As instructed, we have made a survey of land in the Division of Lyneham, District of Canberra Central in the Australian Capital Territory, containing an area of 1.811 hectares having frontage to Brigalow Street being Block 4 of Section 41 as shown on Deposited Plan No 932 and being the land shown by a continuous thick line on the sketch annexed hereto.

The survey represented in this report is for identification purposes of a recently constructed metal building only and information in this report should not be used for any other purpose. Where improvements are proposed to be made to the property, further survey and marking of boundaries may be required.

We find upon the subject land a metal building with a metal and timber ramp, the position of which in relation to the boundaries is as shown on the sketch. The finished floor level of the building is also shown on the sketch.

A proposed electric supply service easement 4 metres wide is noted on the subject Deposited Plan. The easement is not shown on the plan.

Yours faithfully

VERIS AUSTRALIA Pty Limited

Sch 2.2(a)(ii)

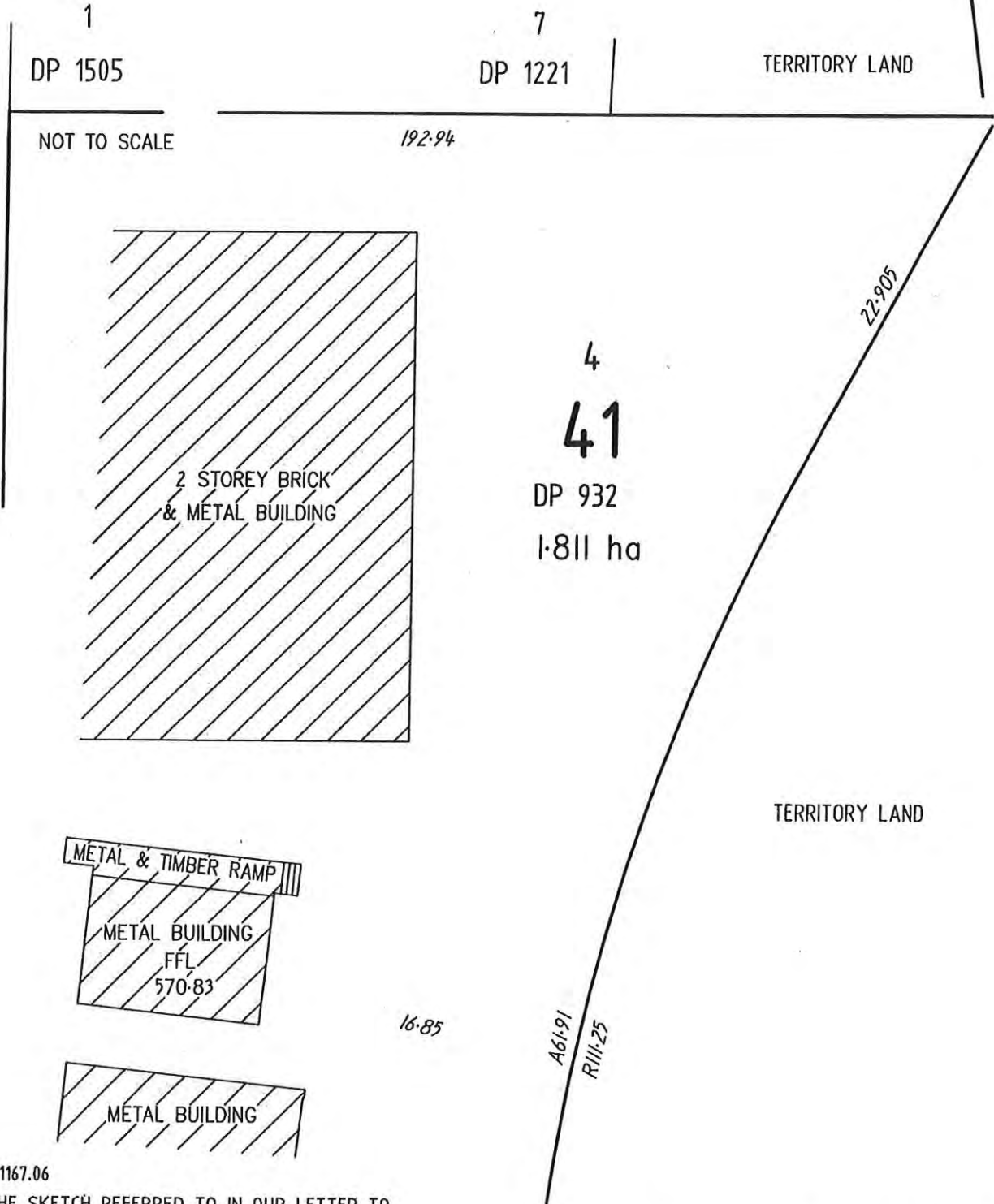
Registered Surveyor

SEE ANNEXED SKETCH

cc: Surveyor General of the ACT

Sch 2.2(a)(xi)

BRIGALOW STREET



Our Ref: 211167.06

THIS IS THE SKETCH REFERRED TO IN OUR LETTER TO

Sch 2.2(a)(xi) DATED 18 JUNE 2020

REGISTERED SURVEYOR

CC-Surveyor General of the ACT

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Essential Services Certificate

Job Number: 30481		Customer: Vamos Group		Site: Brindabella Christian College - Lyneham			
Block/Section:		Address: 136 Brigalow Street		Date: 22/06/2020			
Technician: Andrew Novak							
Statement:							
I, Sch 2.2(a)(xi) can confirm the following statement to be true to the best of my knowledge and abilities.							
(a) A properly qualified person in accordance with the standard referenced in this certificate has installed each of the essential fire safety measures specified in this statement.							
(b) This statement covers the original scope of works ONLY. Variations to the original contracted scope of works are not covered by this statement until they are agreed in value and paid in full.							
List of essential Fire Safety Measures							
Fire Safety Measure	Functions			Work Type			Alternate Solutions Details
	Design	Supply	Install	New	Expand	Modify	
AFDS AS1670.1-2018			✓			✓	
OWS AS1670.1-2018			✓			✓	
Comments:							
Installation as per above Australian standards for the wet lab demountable only.							
Installation of new fire cable for the fire detection from an existing building to the demountable building.							
Installation of new fire cable for the occupant warning system from an existing building to the demountable. Installation of new conduit to house all new cabling.							
Existing devices connected to the new cabling.							
Technician Name: Sch 2.2(a)(ii)							
Technician Signature:							
Sch 2.2(a)(ii)							
Witness Name: Sch 2.2(a)(ii)							
Witness Signature: Sch 2.2(a)(ii)							

CONTROLLED DOCUMENT

Commercial in Confidence

ITR_717_Essential Services Installation Certificate_A (30/04/2018)

1

Sch 2.2(a)(xi)

Electrical and Communications

Attention: Sch 2.2(a)(ii)

Date tested: 29th May 2020

Location: 136 Brigalow st Lyneham ACT 2602- Gymnasium

I, Sch 2.2(a)(ii) hereby certify that Sch 2.2(a)(xi) has installed the Electrical and Communications at the above-mentioned premises in accordance with the following requirements:

Electrical

All works have been carried out and in accordance with AS/NZS 3000:2007, AS/NZS 3008.1.1:2017, AS/NZS 3017:2017, Building Code of Australia 2016 volume 1 and Building Code of Australia Volume 2. (Specifically BCA 2016 F4.4, J6.2, J6.3)

Communications

All works have been carried out and in accordance with AS/CA S008:2010 Requirements for customer cabling products, AS/CA S009:2013 Installation Requirements for Customer Cabling and AS/NZS 3080:2013

Signed

Sch 2.2(a)(ii)

Electrical Licence No: Sch 2.2(a)(ii) Communications Licence: Sch 2.2(a)(ii)

For all electrical maintenance and future works contact Next Electrical Technologies

Email: office@next-tech.com.au

Phone: 0432 260 506

Sch 2.2(a)(xi)

Attention: Sch 2.2(a)(i)

Date tested: 29/05/20

Location: 136 Brigalow st Lyneham ACT 2602 – Wet lab

I Sch 2.2(a)(ii) hereby certify that Sch 2.2(a)(ii) has installed the exit signs and emergency lighting at the abovementioned premises in accordance with the following requirements:

Exits signs

1. All works have been carried out and in accordance with AS2293.1; Part E4.5, E4.6, E4.8 of the Building Code of Australia and AS3000.

Emergency lighting

2. All works have been carried out and in accordance with AS2293.1; Part E4.2, E4.4 of the Building Code of Australia and AS3000.

Signed

Sch 2.2(a)(ii)

Hugh McKenzie

Sch 2.2(a)(ii)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

19th June 2020

To Whom It May Concern

*Brindabella Christian College
Wet Lab*

BLOCK 4, SECTION 41, LYNEHAM

HYDRAULIC SERVICES INSTALLATION

THIS IS TO CERTIFY THAT the Hydraulic Services installation at the above project complies with the requirements of the NCC/BCA 2019 and the hydraulic consultants design, specification and the following relevant Australian Standards. Construction inspections have been carried out during this period by Access Canberra Plumbing Inspectors.

- | | |
|-----------------------------------|-----------------|
| 1. Sanitary Plumbing and Drainage | AS3500.2 : 2018 |
| 2. Domestic Cold Water | AS3500.1 : 2018 |
| 3. Domestic Hot Water | AS3500.4 : 2018 |
| 4. Natural Gas Services | AS5601.1 : 2013 |

Yours faithfully,

Sch 2.2(a)(ii)

Project Director

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Installation Certificate – Insulation (External)

Brindabella Christian College Wet Lab

I hereby certify that:

The works have been inspected during construction and have been completed in accordance with the design, specifications and the nominated Standards of Performance.

Insulation (External)

The insulation located in the external wall throughout the building complies with the following:

- Part J1 of the BCA 2019;
- AS / NZS 4859.1 - 2018;
- AS 3999 - 2015;
- The insulation is 'non-combustible' in accordance with AS1530.1 – 1994.
- Insulation has an 'R-Value' of R3.5 and has been selected and installed in accordance with the requirements of the approved IV3 report / Energy Efficiency Compliance Report (roof/ceiling) prepared by Sch 2.2(a)(xi)
- Insulation has an 'R-Value' of R2.5 and has been selected and installed in accordance with the requirements of the approved IV3 report / Energy Efficiency Compliance Report (external walls) prepared by Sch 2.2(a)(xi)
- Insulation has an 'R-Value' of R2.0 and has been selected and installed in accordance with the requirements of the approved IV3 report / Energy Efficiency Compliance Report (suspended floor) prepared by Sch 2.2(a)(xi)
- The installation has been undertaken in accordance with all manufacturer's recommendations.

I am a properly qualified person and have a good working knowledge of the relevant codes and standards referenced above. (My qualifications and accreditations are listed below)

Relevant qualifications and accreditations:

Certificate 3 in Carpentry;

Class B Builders License; and

Diploma in Building and Construction.

The information contained in this statement is true and accurate to the best of my knowledge.

Name of Certifier:

Sch 2.2(a)(xi), Sch 2.2(a)(ii)

Company:

Address:

Sch 2.2(a)(xi)

Sch 2.2(a)(ii)

Sign

Date: 10/06/2020

**ACT**
Government**Access
Canberra.**

Certificate of Electrical Safety - Submission confirmation

Your submission has been successful. Please keep a copy of this receipt for your records.

Date and time

Reference code

29 May 2020 7:38:04 AM

7BN29W

Access Canberra
ABN 16 479 763 216

GPO Box 158
Canberra ACT 2601

13 22 81

Certificate of Electrical Safety

Customer Details

Organisation

Name

Contact number



Address of Work Site

Suburb/District Section Block Unit Floor or level

Address

Work Details

Work tested by Expiry

Name Contact

Licensed Electrical Contractor Licence number

Expiry date Certificate of Occupancy required?

Building project number Installation type

Category & type of work

Item	QTY	Item	QTY	Load	Item	QTY	Load
Lights	14	Hot plates			Direct heating		
Ceiling fans		Range			Off peak heating		
Single socket-outlets		Wall oven			Air conditioning	2	20
Double socket-outlets	12	Wall oven/hot plates			Air con reverse cycle		
Multiple socket-outlets		Continuous hot water			Spa		
15A socket-outlets		Quick recovery hot water			Sauna		
20A socket-outlets		Off peak hot water			Pool heater		
Smoke detectors		Instantaneous hot water			Motors		
Exhaust fans		Tastics			Renewable energy generation (PV)		
Safety switches	5	Street lights			Battery Storage		
		3 phase socket-outlets					

Consumer mains Main switchboard Distribution board

Earth electrode location

Equipotential bond location

I hereby notify that the installation work described in this certificate has been tested in accordance with AS/NZS 3017 and that the work complies with AS/NZS 3000, SAA Wiring Rules; and that I will send a copy of the Certificate of Electrical Safety to the customer within fourteen days as required by the Electricity Safety Act 1971.

Date tested Submission date

Switchboards

* Please enter the number of units for at least one type.

Class	Item	Value per unit	FM units
Main switchboard	First main switchboard	2X	
	> 3 metres: points per 3 metres	1X	
	> than 1 supply: points per supply	1X	
	MSB with safety services	1X	
	POS incorporated in MSB	0	
	POS separate from MSB	1X	
	Power factor correction	0	
	Metre cubicle / box	1X	
Distribution boards	Distribution board	1X	1
	Split services: per service	1X	
AES	Control distribution boards where it is not part of the main switch board	1X	
	Type of AES x Location of AES	1X	
	Per inverter > 1	1X	
	First mechanical board	2X	
	> 3 metres: points per 3 metres	1X	
	With safety services	1X	
	> than 1 supply: points per supply	1X	
	Distribution board	1X	
Temporary supply	Metre box and MSB	1X	



Building Act 2004, S151

Application for Certificate of Occupancy and Use

Project ID: B20202370C1

If this application is incomplete or documentation is inadequate this application may not be accepted for lodgement and the certificate of occupancy and use may not be issued.

WARNING TO OWNERS

It is recommended that owners seek appropriate advice to determine whether the building work and other contract requirements have been completed satisfactorily before signing this form. This form should not be signed before the completion of building work.

PROJECT DETAILS

Unit	Block	Section	Division (Suburb)	District	Jurisdiction
	4	41	LYNEHAM	CANBERRA CENTRAL	Australian Capital Territory

Description of Works

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Const.	Unit	BCN ID	Builder
9b	New	EDUCATIONAL BUILDING	Relocation of Demountable Classroom	C		Sch 2.2(a)(i)	

OWNER/LESSEE DETAILS

Name	Address	Email Address
Brindabella Christian College	136 Brigalow Street, Lyneham ACT 2602, AUSTRALIA	

DECLARATION BY OWNER

I am/we are:

- the owner(s) of the above described land
- the agent authorised by the owner(s) to apply for a Certificate of Occupancy and Use on their behalf, and I have attached a letter of authority

I am/we are satisfied that the building work and related requirements have been completed and hereby apply for a Certificate of Occupancy and Use in respect of the above described work to be issued and (select one option only):

- sent by post to the owner(s) address
- sent by post to the agent's address; or
- held for collection from the Mitchell Customer Service Centre

This form should not be signed before the completion of building work.

Signature/s of Owners – all owners must sign if agent has not been appointed

Name	Signature	Date
Brindabella Christian College		

Once complete, you should return this form to your certifier to lodge or return to the Access Canberra Building Services Shopfront, 8 Darling Street, Mitchell ACT 2911.

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.



Certificate of Occupancy and Use

Certificate No.: **B20202370C1**

Access Canberra Building Services

ABN 16 479 763 216
8 Darling Street Mitchell
GPO Box 158 ACT 2601
www.act.gov.au/accesscbr

This Certificate is issued in accordance with Section 69 (2) of the Building Act 2004.

The building work listed on this certificate has been completed substantially in accordance with the prescribed requirements and is considered fit for occupation and use.

Unit	Block	Section	Division (Suburb)	District	Jurisdiction
	4	41	LYNEHAM	CANBERRA CENTRAL	Australian Capital Territory

Plans
B20202370/A
B20202370/B

Building Works

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Const.	Unit	BCN ID	Builder
9b	New	EDUCATIONAL BUILDING	Relocation of Demountable Classroom	C		Sch 2.2(a)(ii)	

Comments

Important Note:

--

1. Residential building statutory warranties and residential insurance do not apply in relation to building work.
2. The issue, under this Part, of a certificate in respect of a building or portion of a building does not affect the liability of a person to comply with the provisions of a law of the territory (including this Act) relating to the building or portion of the building.

Issued by: Rebecca Rattenbury

Issued on: 24/06/2020

Delegate of the ACT Construction
Occupations Registrar.

Block 4

Section 41

Suburb LYNEHAM

Unit No

Project Number: B20202370

Certifier: CBS COMMERCIAL

Project Description: RELOCATION OF DEMOUNTABLE CLASSROOM

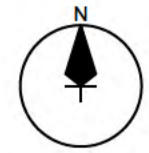
General Documents	Yes	No	Comments
Application For Certificate of Occupancy and Use signed by ALL Lessees	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Government Fees paid	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Certificate of Completion of Building Work	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Has a 69(2B) Completion of Building Work and application for COU been applied for?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	If yes, refer to ESDDCAT Date referred / /20
Has all work described in the BA been applied for	<input checked="" type="checkbox"/>	<input type="checkbox"/>	If no, it may be a partial COU.
Has a 69(3) been applied for?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	If yes, refer to ESDDCAT Date referred / /20
If a Development Application (DA) was relevant, was the work completed within the timeframe specified in the Notice of Decision (NOD)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	N/A – Exempt from DA.
Electrical	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> N/A
Plumbing	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> N/A
Gas	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A
Alternative Solution	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A
Certifiers Documents	Yes	No	Comments
Final Documents uploaded to Objective	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Footing Inspection Record	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A
Slab Inspection Record	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A
Pre-Sheet Inspection Record	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A
Final inspection record stating that the building work is compliant with section 42 of the Building Act 2004	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Alternative Solution	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A
Survey Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> N/A

Insurance Certificate if work incorporates a class 1 or 2 under 3 storeys and cost of works greater than \$12,000	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A
Asbestos clearance certificate if work involves Asbestos Removal	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A
Fire Approval Certificates – <input type="checkbox"/> N/A	Yes	No	Comments
Fire Brigade approval for the erection of a commercial building larger than 500sqm	<input type="checkbox"/>	<input checked="" type="checkbox"/>	This document will have "ACT FIRE & RESCUE FIRE SECTION PLAN REPORT "on the front page.
Fire Brigade approval for the use of an alternative solution regarding fire protection	<input type="checkbox"/>	<input checked="" type="checkbox"/>	This document will have "ACT FIRE & RESCUE ALTERNATIVE SOLUTION REVIEW "on the front page.
Fire Compliance/Solution Certificate	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Certifiers Documents <input type="checkbox"/> N/A	Yes	No	Comments
Waterproofing certificates	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A
Glazing Certificate	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A
Termite certificates	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A
Truss certificates	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A
Insulation certificate	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> N/A
Kitchen Exhaust Hood Certificate from Engineer	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A
Structural Sufficiency	Yes	No	Comments
Structural Engineer's Certificate (SEC)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Statement that no SEC required	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Amendments <input type="checkbox"/> N/A	Yes	No	Comments
Amendments fully described in eDevelopment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Amendments clouded & listed on plans	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Plans stamped with certifier stamp	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Is work substantially different – not more than 1% change to original proposal	<input type="checkbox"/>	<input checked="" type="checkbox"/>	If yes, refer to ESDDCAT Date referred / /20
Government fees paid	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

Officer Name: BEC R
Date: 24/6/20
Additional Comment: OK TO ISSUE

SYSTEM LAYOUT

SCALE 1:200



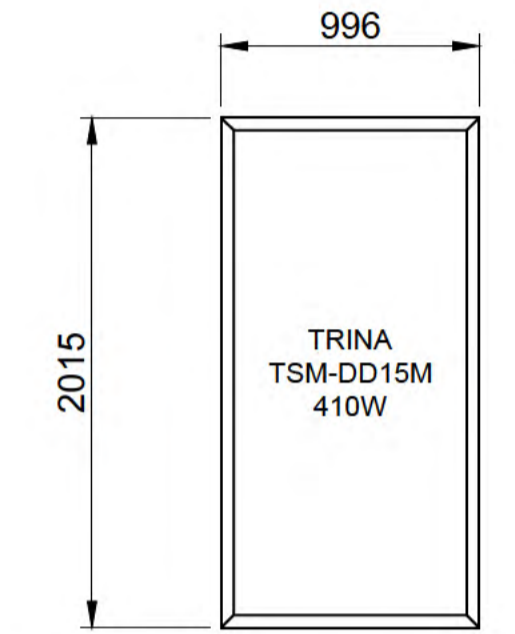
EQUIPMENT LIST		
ITEM	DESCRIPTION	QTY
PANEL	TRINA TSM-DD15M 410W	100
INVERTER	FRONIUS SYMO 17.5-3-M	2

NOTES:

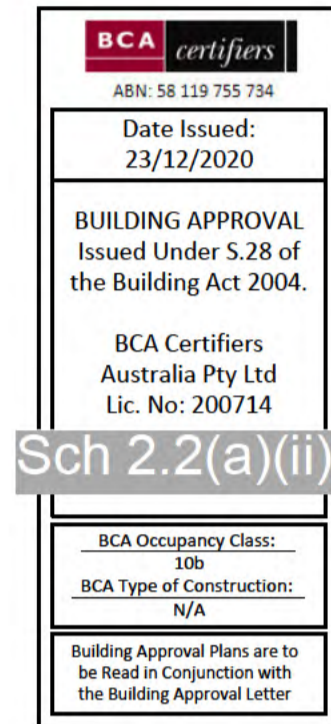
1. THIS DOCUMENT AND ALL SUPPORTING DOCUMENTS ARE THE INTELLECTUAL PROPERTY OF QUADSOL AND MUST NOT BE COPIED WITHOUT THE WRITTEN CONSENT OF QUADSOL.
2. THIS DESIGN IS COMPLIANT WITH THE FOLLOWING AUSTRALIAN STANDARDS:
 A: AS 3000:2018
 B: AS 3008.1:2017
 C: AS 4777.1:2016
 D: AS 4777.2:2015
 E: AS 5033:2014

INSTALLATION NOTES:

1. MODULES TO BE INSTALLED FLUSH TO ROOF.



PANEL DIMENTIONS



Sch 2.2(a)(xi)

1	PRELIMINARY DESIGN	TN	WG	DU	06.10.20
REV No.	REVISION DESCRIPTION	DRAWN BY	CHECKED BY	APPRD BY	DATE

PROJECT:
35 kVA BRINDABELLA CHRISTIAN COLLEGE

CLIENT:
Sch 2.2(a)(ii)

ADDRESS: Block 4 Section 41
BRINDABELLA CHRISTIAN COLLEGE
136 BRIGALOW ST
LYNEHAM, ACT, 2602

DRAWING TITLE: FOR CONSTRUCTION

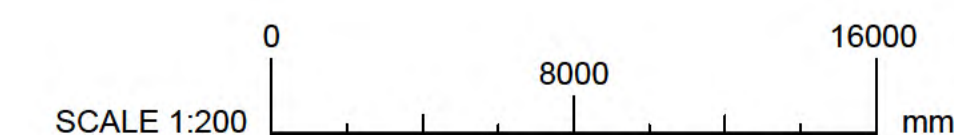
DRAWING NO: QDS20_0198-QUO-LAY-01

STATUS: FOR CONSTRUCTION

DRAWN BY: Sch 2.2(a)(ii)	DATE: 08.10.20	DESIGNED BY: Sch 2.2(a)(ii)	DATE: 08.10.20	SHEET SIZE: A1
DRG. CHECKED BY: W.GHASSANI	DATE: 08.10.20	DES. CHECKED BY: Sch 2.2(a)(ii)	DATE: 08.10.20	SCALE: AS INDICATED
CAD FILE No: QDS20_0198-QUO.dwg	APPROVED: Sch 2.2(a)(ii)	DATE: 08.10.20	REVISION: 1	

LEGEND

■ SOLAR MODULE





Building Approval Fees and Levies Tax Invoice

TO THE PAYEE

c/o BRINDABELLA CHRISTIAN EDUCATION LTD
126 BRIGALOW STREET, ,
LYNEHAM ACT 2602

Access Canberra Building Services

ABN 16 479 763 216
8 Darling Street Mitchell
GPO Box 158 ACT 2601
Access Canberra Homepage: www.act.gov.au/accesscbr

Invoice Date: 23/12/2020 Time: 1:22:46 PM

Invoice Number: 3100642176

Block - Section - Division - District	Building Levy	Training Levy	Fees Paid	Total
4 - 41 - LYNEHAM - CANBERRA CENTRAL Ref # - BCS202082				
Total	Sch 2.2(a)(xi)			

No GST applies to these fees and levies.

PAYMENT REQUIRED WITHIN 14 DAYS OF INVOICE ISSUE DATE

Payment Options



Bill Code: Sch 2.2(a)(xi)
Ref: 3Sch 2.2(a)(xi)

Telephone & Internet Banking – BPAY®

Call your bank, credit union or building society to make this payment from your cheque, savings or credit card account. More info: www.bpay.com.au



Access
Canberra

Internet

To pay online by credit card (MasterCard or Visa), click on the "Building and Construction Fees and Levies" online payment form located at
<https://www.accesscanberra.act.gov.au/app/answers/payment>



Access
Canberra

Phone

Telephone (02) 6207 1923 8.30am - 4.30pm Mon - Fri and have your credit card details handy (MasterCard and Visa).



Access
Canberra

In Person

Access Canberra Building Services Shopfront Only: 8.30am – 4.30pm Mon – Fri. Cash, Cheque, EFTPOS, Credit card (Mastercard and Visa). CashLink Code – 34 0075

Sch 2.2(a)(xi)

202082
23 December 2020

Brindabella Christian Education Ltd
126 Brigalow Street
LYNEHAM ACT 2602

Dear Greg,

Re: Lyneham Block 4 Section 41
Address: 136 Brigalow Street, Lyneham ACT 2602
Owner: Brindabella Christian Education Ltd
Description: Install of PV Solar Panels

Attached is the Building Approval for the building work at the above site to be carried out in accordance with the following conditions of approval. A copy has been forwarded to the Construction Occupations Registrar in accordance with section 28 of the *Building Act*.

Upon completion of the project, certificates as per Schedule B must be submitted in support of an application for a Certificate of Occupancy or Use.

The plans registered by Sch 2.2(a)(xi) have been assessed and approved subject to compliance with the Deemed-to-Satisfy Provisions of the *2019 Building Code of Australia - Volume Two*.

This approval contains drawings numbered 1 to 1 and is subject to the following conditions.

Public Safety

- Owners and persons carrying out building work involving asbestos are duty bound under Section 42A of the Building Act 2004 to make sure all works are carried out in accordance the approved code of practice – Asbestos code
- Ensure adequate public safety is provided at all times. Protection shall be provided to public spaces and footpaths from debris, dropped materials, equipment storage or any other activity associated with construction work on the site.
- Hoisting of building materials or equipment over areas used by the public is not permitted without the prior consent of the relevant Authority.
- All materials and equipment are to be kept to the leased area. Any proposal to use unleased Territory land is to be lodged with ACT Planning & Land Authority (ACTPLA) and include a site plan with proposed safety measures. A license agreement for the use of unleased Territory land must be in place prior to the event and must be continuous for the life of the project.

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Control of Litter on Building Sites

Ensure measures are implemented to prevent building litter from spreading around the site and beyond the site boundary in accordance with ACT 2.2 – Appendix A of the Housing Provisions of the BCA.

Construction

- Building work is to be carried out in accordance with the ACT Building Act, the Building Code of Australia and the approved documents

Note:

Inspections, as per Schedule A are required.

If you have any enquiries I can be contacted on [Sch 2.2\(a\)\(xi\)](#)

Yours faithfully,

Sch 2.2(a)(ii)

Principal Building Certifier

[Sch 2.2\(a\)\(xi\)](#)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Schedule A - Inspections

The builder is to notify BCA Certifiers upon reaching each inspection stage outlined below by telephoning Sch 2.2(a)(xi)

Note: The builder is not to proceed beyond an inspection stage until written approval to proceed has been given by BCA Certifiers. The stages are:

- Inspection at completion of work, prior to occupation prior to scaffolding being removed.

Schedule B - Certificates

Note* All Certificates are required to be presented on the relevant companies letterhead (with company details, including ABN) as well as signed by a suitably qualified person and dated.

- Structural Engineer is to inspect and confirm the installation is consistent with Solar Installation Assessment Certificate.

Note: ALL Plumbing and Electrical work MUST be inspected and cleared by the ACT Planning and Land Authority (ACTPLA). To avoid delays with the issue of the Certificate of Occupancy, please ensure that the Plumbing and Electrical works have been cleared.

ACTPLA can be contacted on the following phone numbers:

- ACTPLA Electrical Section: (02) 6207 7775,
- ACTPLA Plumbing Section: (02) 6207 6907.

Sch 2.2(a)(xi)



Building Act 2004, S151
Building Approval

Project ID: B20206476

PART A - PROJECT DETAILS

Unit	Block	Section	Division (Suburb)	District	Jurisdiction
	4	41	LYNEHAM	CANBERRA CENTRAL	Australian Capital Territory

PART B - WORKS REQUIRING BUILDING APPROVAL

Item of building work to which this Building Approval relates:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
10b	Other	DA EXEMPT- SEE DESCRIPTION	INSTALLATION OF PV SOLAR PANELS	NA	0	195.00	Sch 2.2(a)(xi)

The following work is exempt from development approval:

- Heating and cooling installations

PART C - CERTIFIERS DECLARATION

I declare that in issuing this building approval under section 28 of the Building Act 2004:

- I am satisfied on reasonable grounds that the plans meet each applicable approval requirement under section 29 and is not prevented from being issued under section 30 or section 30A
- I have supplied all documents as required under 3.3 Building Act 2004
- I have prepared a notice (building approval certificate) certifying what approval requirements apply to the application and why the building approval is not prevented from being issued; and
- I have given the building approval certificate to the applicant.

In performing services as a certifier in relation to the work detailed in this application I am not in breach of my entitlement to act as a certifier in accordance with the Building Act 2004.

Full Name	Address	License Number	Expiry Date
Sch 2.2(a)(xi)	Sch 2.2(a)(xi)	Sch 2.2(a)(ii)	30/12/2020

Date Issued : 23/12/2020

NOTES

Utilities

This application must also be accompanied by a Statement of Compliance from each relevant utility provider (for water, sewerage, electricity and stormwater) which confirms that the location and nature of earthworks, utility connections, proposed buildings, pavements and landscape features comply with utility standards, access provisions and asset clearance zones.

Note 1: If there is no stormwater easement or Territory owned stormwater pipes located within the property boundary, a "Statement of Compliance" for stormwater from TAMS (Asset Acceptance) is not required to be obtained.

Note 2: Where there is conflict between planning and utility requirements, the utility requirements take precedence over other codified or merit provisions.

Utilities – Demolition Only

This application must be accompanied by a Statement of Endorsement for utilities (including water, sewerage, electricity and stormwater) stating that:

- all network infrastructure on or immediately adjacent to the site has been identified on the plan
- all potentially hazardous substances and conditions (associated with or resulting from the demolition process) that may constitute a risk to utility services have been identified
- all required network disconnections have been identified and the disconnection works comply with utility requirements
- all works associated with the demolition comply with and are in accordance with utility asset access and protection requirements

Note: The documentation provided to the utility provider for endorsement must be consistent with the documentation that forms part of a development approval or the documentation verified as exempt from requiring development approval by a licensed certifier.

Asbestos Advice

If documents accompanying building approval do not include an asbestos assessment report as per the Building Act 2004, the building approval must have an Asbestos Advice attached as per the Act

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.

Lease/Site Details

Block	<input type="text" value="4"/>	Section	<input type="text" value="41"/>	Suburb	<input type="text" value="Lyneham"/>
Unit No	<input type="text"/>	Street Address	<input type="text" value="136 Brigalow Street"/>		

Building Approval Application and Site Work Details

This notice is issued in relation to the site work shown in the plans submitted as part of the application for a building approval dated made by the following applicants:

Owner 1	<input type="text" value="Brindabella Christian Education Ltd"/>	Owner 2	<input type="text"/>
Owner 3	<input type="text"/>	Owner 4	<input type="text"/>

on: **22 December 2020**

This notice applies to all site works in that application for which there is no—

- (a) exemption assessment D notice stating that the site work is exempt development issued for the work not more than 3 months before the day the application was made;
- (b) exemption declaration under the *Planning and Development Regulation 2008*, schedule 1, section 1.100A (1) (b) or section 1.100AB (1) (b) made by the planning and land authority; or
- (c) current development approval issued in relation to the site work.

NOTE: Site work is development that is—

- (a) building work; and
- (b) work other than building work that—
 - (i) physically affects the place (the building site) where the building work is being carried out; and
 - (ii) if not carried out at the building site, is carried out near, and connected with, the building site.

Examples: putting up temporary fencing, installing measures for erosion control, building a house, damaging or removing a significant tree, laying paving for driveways and parking areas, installing landscaping, site clearing and excavation, erecting site signage and erecting a pergola

Building Certifier Details *Please Print*

Name

Company Name

Licence Number Contact Number

Postal Address

Suburb State Postcode

I state that:

- the plans for the building work to which the application for building approval relates show all the information necessary to establish that the site work is exempt development under the *Planning and Development Act 2007*, section 133; and
- the site work is exempt development; and
- I have assessed that the site work is exempt development for the following reasons and in accordance with the following provisions of the *Planning and Development Regulation 2008* and Territory Plan Codes:

Please include all relevant regulations and codes relied on for your assessment and an outline of your reasoning, such as the assessment you undertook, advice from referral entities, compliance with lease and development conditions etc. You can attach additional information if needed and supporting documents including checklists or your own assessment documents. You do not need to attach a copy of the plans or building approval application.

Exempt Under Schedule 1, s1.27A of the Planning & Development Regulation 2008

Building Certifier Signature
(or nominee)

Sch 2.2(a)(ii)

Date of Issue

23 December 2020

Giving false or misleading information is a serious offence

Privacy Notice

The personal information on this form is provided to the Environment and Planning Directorate (EPD). The collection of personal information is authorised by the *Building Act 2004*. If all or some of the required personal information is not collected this notice is not considered complete. The personal information provided may be disclosed to Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be disclosed where authorised by law or court order, or where the EPD reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. EPD's Information Privacy Policy contains information about how you may access or seek to correct your personal information held by EPD, and how you may complain about an alleged breach of the Territory Privacy Principles. The EPD Information Privacy Policy can be found at www.act.gov.au/accessCBR.

CONTACT INFORMATION

Email:

ACTPLAdevelopmentBA@act.gov.au

Post:

Access Canberra
Building Services
Shopfront Mitchell
GPO Box 158
Canberra, ACT 2601

In Person:

Please visit www.act.gov.au/accessCBR
Or call **132281** to find an
Access Canberra Shopfront.



APPOINTMENT OF BUILDER & APPLICATION FOR COMMENCEMENT NOTICE

Building Act 2004, S151

In completing this form the owner is authorising the builder nominated below to apply to the appointed certifier to issue a Commencement Notice for the works detailed in this application form.

PART A PROJECT DETAILS

Block Section Suburb Unit No.

Street Address

Certifier Name

Description of Building Works relevant to this application - *If more than 6 items please attach further details*

1	Installation of a 40kW solar system
2	
3	
4	

PART B OWNER DETAILS – Please Print

All owners **must** be listed

Owner 1 will be considered the contact person in relation to this application

Company Details

Owner 1 Owner 2

Owner 3 Owner 4

Postal Address

Suburb State Postcode

Phone Number Business Hours Mobile

EMAIL ADDRESS

PART C APPOINTMENT OF BUILDER

I/we the owner/s have appointed the person whose details appear below as the builder in relation to the building works described in this form

Licence Holders Name as it appears on licence card Sch 2.2(a)(ii)

Licence Number Sch 2.2(a)(ii) Class Sch 2.2(a)(ii) Expiry Date 16.7.2023

List any conditions or endorsements on licence Nil

EMAIL ADDRESS Sch 2.2(a)(ii)

PART D NOMINEE'S DETAILS
If the builder is a company or partnership provide details of the Nominee who will supervise the building

Nominee's Name [Redacted]

Licence Number [Redacted] Class [Redacted] Expiry Date [Redacted]

Signature of Nominee [Redacted] Date [Redacted]

PART E OWNER SIGNATURE/S

Owner 1 Greg Zwajgenberg Signature Sch 2.2(a)(ii) DATE: [Redacted]
Owner 2 _____ Signature _____ DATE: _____
Owner 3 _____ Signature _____ DATE: _____
Owner 4 _____ Signature _____ DATE: _____

PART F BUILDER APPLICATION TO CERTIFIER FOR COMMENCEMENT NOTICE

I hereby apply to the building certifier listed above for a commencement notice for the works detailed in Part A of this form in accordance with the Building Act 2004.

- A site sign was **not** required to be displayed prior to making this application.
- A site sign **was** erected and displayed in accordance with the Building Act 2004 and I declare that a compliant sign was

Signature of Builder Sch 2.2(a)(ii) Date 23.2.2020

NOTE: There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

PART G INSURANCE OR FIDELITY CERTIFICATE

For residential building work please provide details of insurance where applicable

Insurance Provider [Redacted] Policy No. [Redacted] Date Issued [Redacted]

PLEASE NOTE:

- ▶ A copy of this notice and where applicable the residential building insurance policy or fidelity certificate must be given to the Construction Occupations Registrar within one (1) week of the issue date.
- ▶ A copy of the Commencement Notice must also be provided to the owner/s.

Privacy Notice

The personal information on this form is provided to Access Canberra to enable the processing of your application. The collection of personal information is authorised by the *Building Act 2004*. If all or some of the personal information is not collected Access Canberra cannot process your application. The personal information you provide may be disclosed to Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be disclosed where authorised by law or court order, or where the Directorate reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. Access Canberra's Information Privacy Policy contains information about how you may access or seek to correct your personal information held by Access Canberra, and how you may complain about an alleged breach of the Territory Privacy Principles. Access Canberra Information Privacy Policy can be found at www.act.gov.au/accessCBB

CONTACT INFORMATION**Email:**

ACTPLAdevelopmentBA@act.gov.au

Post:

Access Canberra
 Building Services
 Shopfront Mitchell
 GPO Box 158
 Canberra, ACT 2601

In Person:

Please visit
www.act.gov.au/accessCBB
 Or call **132281** to find an
 Access Canberra Shopfront.



Building Act 2004, S151

Application for Building Commencement Notice

Project ID: B20206476

Licensed builders must use this form to apply to the building certifier for a commencement notice in accordance with the Building Act 2004. An application can only be made if the building approval has been issued for the building work. A commencement notice must be issued by the building certifier before any building work can commence.

PART A - PROJECT DETAILS

Building approval issue date: 23/12/2020

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
	4	41	CANBERRA CENTRAL	LYNEHAM	Australian Capital Territory

Full Name	Address	License Number	Expiry Date
Sch 2.2(a)(ii)	Sch 2.2(a)(ii)	Sch 2.2(a)(ii)	30/12/2020

Description of work to which application for Commencement Notice relates:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
10b	Other	DA EXEMPT-SEE DESCRIPTION	INSTALLATION OF PV SOLAR PANELS	NA	0	195.00	Sch 2.2(a)(xi)

Insurance provider:

Policy number:

Issue date: 23/12/2020

PART B - BUILDERS DETAILS

License holder's name: Sch 2.2(a)(ii)

License number: Sch 2.2(a)(ii)

License Expiry Date: 16/07/2023

Business Address: Sch 2.2(a)(ii)

Phone Number: Sch 2.2(a)(ii)

Signature of builder:

/ /
(Individual, director for company or partner for partnership)

If the builder is a company or partnership provide details of the nominee who will supervise the building work

Nominee's name: Sch 2.2(a)(ii)

License number:

License Expiry Date:

Nominee's signature
(if different to above):

/ /

PART C - OWNER/LESSEE DETAILS

Name	Address
BRINDABELLA CHRISTIAN EDUCATION LTD	126 BRIGALOW STREET, LYNEHAM ACT 2602, AUSTRALIA

ADVISORY NOTE: Owners please ensure you have a written contract with the builder named in this application. For residential building work requiring home owner insurance ensure that the same builders name is shown on the insurance policy.

PART D - OWNER/S OR AGENT SIGNATURE/S

Name	Signature	Date
BRINDABELLA CHRISTIAN EDUCATION LTD		

NOTE: You may only make this application as an authorised agent on behalf of the owners of the property if you have appropriate written authorisation from ALL the owners and attach it to this application. This also applies if you are a part owner or joint owner making an application on behalf of the owners.

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.

PART E - BUILDER APPLICATION TO CERTIFIER FOR COMMENCEMENT NOTICE

I hereby apply to the building certifier listed above for a commencement notice for the works detailed in Part A of this form in accordance with the Building Act 2004.

- A site sign was NOT required to be displayed prior to making this application.
- A site sign WAS required to be displayed prior to making this application and I declare that a compliant sign was erected and displayed for the required period.

Signature of
Builder/Nominee:

/ /

NOTE: There are penalties for deliberately giving false and misleading information. Access Canberra or the Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.



Building Act 2004, S151

Building Commencement Notice

Project ID: B20206476

PART A - PROJECT DETAILS

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
	4	41	CANBERRA CENTRAL	LYNEHAM	Australian Capital Territory

Certifier's Details

Full Name	Address	License Number	Expiry Date
Sch 2.2(a)(xi)	Sch 2.2(a)(xi)	200714	30/12/2020

Building approval issue date: 23/12/2020

Building Commencement Notice Required for:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Area (m2)	Cost of Works (\$)
10b	Other	DA EXEMPT-SEE DESCRIPTION	INSTALLATION OF PV SOLAR PANELS	NA	195.00	Sch 2.2(a)(ii)

PART B - BUILDERS DETAILS

License holder's name: Sch 2.2(a)(ii)

License number: Sch 2.2(a)(ii)

License Expiry Date: 16/07/2023

Business Address: Sch 2.2(a)(ii)

Phone Number: Sch 2.2(a)(ii)

If the builder is a company or partnership provide details of the nominee who will supervise the building work

Nominee's name: Sch 2.2(a)(ii)

License number: Sch 2.2(a)(ii)

License Expiry Date: 16/07/2023

PART C - CERTIFIER'S DECLARATION

Issue date of commencement notice: 23/12/2020

Name of Certifier Issuing Notice: Sch 2.2(a)(xi)

Declaration:

This commencement notice is issued in accordance with the Building Act 2004, to the licensed builder stated above authorising the commencement of the stated building work. The issue of this commencement notice indicates that I am satisfied that the builders license authorises the work in the building approval. Where applicable for residential building work, I have been provided with a residential building insurance policy or fidelity certificate.

PLEASE NOTE:

A copy of the application for this commencement notice, this notice and where applicable the residential building insurance policy or fidelity certificate, must be given to the construction occupations registrar within one (1) week of the issue date.

This building commencement notice will end if-

- (a) for residential building work- the work is no longer insured; or
- (b) the building approval for the work ends

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.



APPOINTMENT OF A CERTIFIER APPLICATION FOR BUILDING APPROVAL

Building Act 2004, S151

This form is to be completed by the Owner/s of the land to which the building work relates.

PART A PROJECT DETAILS

Block Section Suburb Unit No.

Street Address

Description of Building Works relevant to this application-*If more than 4 items please attach further details*

Describe each item of building work in this building approval	BCA Occupancy Class	BCA Construction Type	Area (m ²)	Number of Storeys	Cost of Works (refer to building cost)
1 Installation of a 40kW solar system	10b	N/A	195	N/A	Sch 2.2(a)(xi)
2					
3					
4					

Applicable approved requirements and reasons why building approval is not prevented from being issued

Is all work exempt from development approval?

- YES Attach assessment for exempt development checklist (if applicable)
- NO Provide reason/s or description of work: _____

Description of Attachments compliant with Division 3.3 Building Act 2004 Please attach any additional documentation not listed below

- Building Approval Plans
- Referrals, consultations & consents outcomes
- Asbestos Advice - If documents accompanying building approval do not include an asbestos assessment report as per the Building Act 2004, the building approval must have an AA attached as per the Act

PART B OWNER'S DETAILS – Please Print

All owners **must** be listed Owner 1 will be considered the contact person in relation to this application

Company Details

ACN/ABN Number

Owner 1 Owner 2

Owner 3 Owner 4

PART B continued

OWNER/S DETAILS – Please Print

Postal Address	126 Brigalow St		
Suburb	Lyneham	State	ACT
		Postcode	2602
Phone Number Business Hours	(02) 6190 7300	Mobile	
EMAIL ADDRESS	Sch 2.2(a)(ii)		

PART C

APPOINTMENT OF CERTIFIER

As required under the Building ACT 2004 I/we hereby advise that I/we the owner/s have appointed the person whose details appear below as the certifier in relation to the building works described in this form

Company Details	Sch 2.2(a)(xi)		
Name of Certifier		ABN/ ACN	Sch 2.2(a)(xi)
Postal Address	Sch 2.2(a)(xi)		
Suburb	Sch 2.2(a)(xi)	State	ACT
		Postcode	Sch 2.2(a)(xi)
Phone Number Business Hours	6173 4600	Mobile	
EMAIL ADDRESS	Sch 2.2(a)(xi)		

PART D

APPLICATION FOR BUILDING APPROVAL

I/we the Owner/s of the abovementioned property hereby apply under Section 26 of the *Building Act 2004* to the certifier named above to issue a building approval for the building work described in this form. I/we have provided the certifier with information and documentation required to issue a building approval as specified in the *Building (General) Regulation 2008*.

PART E

AUTHORITY TO ACCESS BUILDING FILE

I/we hereby authorise the certifier to access the building file for the property which is the subject of this application for the purposes of obtaining information relevant to the issuing of a building approval and associated processes.

PART F

1st Owner's Signature	Sch 2.2(a)(ii)	Date	22.12.2020
2nd Owner's Signature	Sch 2.2(a)(ii)	Date	
3rd Owner's Signature		Date	
4th Owner's Signature		Date	

NOTE: There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

Where relevant the following information MUST be included in either the application or the plans accompanying the application for building approval:

General Requirements

- ▶ Estimated Cost of Works -as per *Building (General) (Cost of Building Work) Determination 2015*
- ▶ if the proposed building work to be carried out at or near a street or place that is open to or used by the public the application must contain details of the precautions proposed to be taken to protect the safety of people using the street or place while the building work is carried out
- ▶ the area of the parcel of land to which this application relates
- ▶ the class of the building according to the intended use of the building as proposed to be erected or altered;
- ▶ if applicable what fire-resisting construction type (under the building code) the building as proposed to be erected or altered will be
Note: Fire-resisting construction type may not be applicable if an alternative solution under the building code is used
- ▶ for an application relating to the erection of a class 1 building the site classification of the parcel of land
- ▶ for an application relating to the alteration of a class 1 building if the alteration will increase the building load carried by foundation material beyond the building load carried by the foundation before the alteration
- ▶ the site classification of the parcel of land
- ▶ for an application relating to the alteration of a building the class and type of fire-resisting construction of the existing building classified under the building code and the materials used in the existing building
Note Fire-resisting construction type may not be applicable if an alternative solution under the building code is used
- ▶ the number of storey's of the building as proposed to be erected or altered;
- ▶ the number of new dwellings (if any) created by the proposed building work;
- ▶ the floor area of the proposed building or proposed new part of the building;
- ▶ the materials to be used in the frame, floor, walls and roof of the proposed building or proposed new part of the building
- ▶ if a performance requirement of the building code is to be complied with by use of an alternative solution under the code -
 - (i) the performance requirement; and
 - (ii) the alternative solution; and
 - (iii) each assessment method used to show that the alternative solution complies with the performance requirement;
- ▶ if the building code does not state a standard of work in relation to any part of the proposed building work and it is intended to carry out that part of the proposed building work in accordance with a standard of work stated in another document -
 - (i) the nature of the proposed building work; and
 - (ii) the title of the document; and
 - (iii) each assessment method used to show that the proposed building work complies with the standard of work stated in the document.

Removal or demolition of building/s

- ▶ Details of the methods to be used in carrying out the proposed building work, including a work plan stated or set out in AS 2601 (Demolition of structures), as in force from time to time;
- ▶ the number of dwellings (if any) to be demolished.

Asbestos

- ▶ The application must include a description of the method proposed to be used to remove the bonded asbestos sheeting from the building
- ▶ the application must include the following information:
 - (i) the method proposed to be used to remove the asbestos;
 - (ii) the approximate amount and kind of asbestos to be removed;
 - (iii) the equipment proposed to be used to remove the asbestos, including any personal protective equipment;
 - (iv) details of a program, prepared in accordance with the asbestos removal code, for monitoring airborne asbestos to be followed during the removal.

Privacy Notice

The personal information on this form is provided to Access Canberra to enable the processing of your application. The collection of personal information is authorised by the *Building Act 2004*. If all or some of the personal information is not collected Access Canberra cannot process your application. The personal information you provide may be disclosed to Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be disclosed where authorised by law or court order, or where the Directorate reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. Access Canberra's Information Privacy Policy contains information about how you may access or seek to correct your personal information held by Access Canberra, and how you may complain about an alleged breach of the Territory Privacy Principles. Access Canberra Information Privacy Policy can be found at www.act.gov.au/accessCBR

CONTACT INFORMATION

Email:

ACTPLAdevelopmentBA@act.gov.au

Post:

Access Canberra
Building Services
Shopfront Mitchell
GPO Box 158
Canberra, ACT 2601

In Person:

Please visit
www.act.gov.au/accessCBR
Or call **132281** to find an
Access Canberra Shopfront.



Building Act 2004, S151

**Appointment of a Certifier and
Application for Building Approval**

Project ID: B20206476

This form is to be completed by the Owner/s of the land to which the building work relates

PART A - PROJECT DETAILS

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
	4	41	CANBERRA CENTRAL	LYNEHAM	Australian Capital Territory

PART B - OWNER DETAILS

Name	Address	Email Address
BRINDABELLA CHRISTIAN EDUCATION LTD	126 BRIGALOW STREET, LYNEHAM ACT 2602, AUSTRALIA	

PART C - APPOINTMENT OF CERTIFIER

As required under the Building ACT 2004 I/we herby advise that I/we the owner/s have appointed the person whose details appear below as the certifier in relation to the building works described in this form

Full Name	Address	License Number	Expiry Date
Sch 2.2(a)(xi)			30/12/2020

PART D - APPLICATION FOR BUILDING APPROVAL

I/we the owners of the abovementioned property hereby apply to the certifier named above to issue a building approval under Section 26 of the Building Act 2004 for the building works detailed in the following table

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
10b	Other	DA EXEMPT- SEE DESCRIPTION	INSTALLATION OF PV SOLAR PANELS	NA	0	195.00	Sch 2.2(a)(xi)

I/we have provided the certifier with the information and documentation required to issue a building approval as specified in the Building (General) Regulation 2008.

PART E - AUTHORITY TO ACCESS BUILDING FILE

I/we hereby authorise the certifier to access the building file held by Access Canberra for the property which is the subject of this application for the purposes of obtaining information relevant to the issuing of a building approval and associated processes.

PART F - OWNER/S SIGNATURE/S

Name	Signature	Date
BRINDABELLA CHRISTIAN EDUCATION LTD		

**APPLICATION FOR BUILDING APPROVAL REQUIREMENTS
Building (General) Regulations 2008**

Where relevant the following information **MUST** be included in either the application or the plans accompanying the application for building approval:

General Requirements

- Estimated Cost of Works -as per Building (General) (Cost of Building Work) Determination 2011
- if the proposed building work to be carried out at or near a street or place that is open to or used by the public the application must contain details of the precautions proposed to be taken to protect the safety of people using the street or place while the building work is carried out
- the area of the parcel of land to which this application relates
- the class of the building according to the intended use of the building as proposed to be erected or altered;
- if applicable what fire-resisting construction type (under the building code) the building as proposed to be erected or altered will be.

Note: Fire-resisting construction type may not be applicable if an alternative solution under the building code is used.

- for an application relating to the erection of a class 1 building the site classification of the parcel of land
- for an application relating to the alteration of a class 1 building if the alteration will increase the building load carried by foundation material beyond the building load carried by the foundation before the alteration.
- the site classification of the parcel of land

- for an application relating to the alteration of a building the class and type of fire-resisting construction of the existing building classified under the building code and the materials used in the existing building

Note Fire-resisting construction type may not be applicable if an alternative solution under the building code is used.

- the number of storeys of the building as proposed to be erected or altered;
- the number of new dwellings (if any) created by the proposed building work;
- the floor area of the proposed building or proposed new part of the building;
- the materials to be used in the frame, floor, walls and roof of the proposed building or proposed new part of the building
- if a performance requirement of the building code is to be complied with by use of an alternative solution under the code -

(i) the performance requirement; and

(ii) the alternative solution; and

(iii) each assessment method used to show that the alternative solution complies with the performance requirement;

- if the building code does not state a standard of work in relation to any part of the proposed building work and it is intended to carry out that part of the proposed building work in accordance with a standard of work stated in another document -

(i) the nature of the proposed building work; and

(ii) the title of the document; and

(iii) each assessment method used to show that the proposed building work complies with the standard of work stated in the document.

Removal or demolition of building/s

- Details of the methods to be used in carrying out the proposed building work, including a work plan stated or set out in AS 2601 (Demolition of structures), as in force from time to time;
- the number of dwellings (if any) to be demolished.

Asbestos

- The application must include a description of the method proposed to be used to remove the bonded asbestos sheeting from the building.

- the application must include the following information:

(i) the method proposed to be used to remove the asbestos;

(ii) the approximate amount and kind of asbestos to be removed;

(iii) the equipment proposed to be used to remove the asbestos, including any personal protective equipment;

(iv) details of a program, prepared in accordance with the asbestos removal code, for monitoring airborne asbestos to be followed during the removal.

Block: 4

Section: 41

Suburb: Lyneham

Unit No:

Project Number: B20206476

Building Certifier: Sch 2.2(3)(a)

Customer Services Officer Name: Chelsea R

Date of completeness check: 03/02/2021

Part 1 Administrative Check					
Requirements	Yes	No	N/A	Comments	
Has the Building Approval been submitted within 7 days from the date of approval?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Have all relevant plans been stamped and dated by the building certifier?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Does the date stamp on the plans match the approval date on eDevelopment?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Building approval stamp and application form text legible?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
If the Building Approval has a Development Approval is the Development Approval still valid?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	DA NUMBER:	
Have all lessee's signed the relevant forms?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Are all relevant documents uploaded & named correctly?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Has an insurance certificate been provided if the cost of building work exceeds \$12,000? (Class 1 units only)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
Correct cost of building work provided in E-Development – Refer to Government Cost Guide (Class 1-10).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Have statements of compliance from each relevant utility been provided where relevant?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/> GAS <input type="checkbox"/> WATER <input type="checkbox"/> ELECTRICITY	
If BCN has been issued, is the licensee authorised to undertake the work as described? ie: Swimming Pool or Demolition endorsement on licence.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
If there is no exemption D notice has a site work notice been provided?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Is this BA for a commercial Solar over 200Kw	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	If yes, send BA reference to Techregulator.Utilities@act.gov.au	
Part 2 Documentation Check					
Document	Document Name		Yes	No	N/A
Asbestos Removal Control Plan	Asbestos Removal Control Plan		<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Development Approval (including amendments)	Approved Plans – Development Approval		<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Site Plan	Approved Plans – Site		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Floor Plan	Approved Plans – Floor		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Elevation Plan	Approved Plans – Elevation		<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Section Details – Wall, Floor Ceiling & Roof	Approved Plans – Sections Wall Approved Plans – Sections Floor Approved Plans – Sections Ceiling Approved Plans – Sections Roof		<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Demolition Plan	Approved Plans – Demolition	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Swimming Pools and Spas Details (including fencing/barriers)	Details – Pools Spas	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Energy Efficiency Details (Multi Unit Housing Only)	Details – Energy Efficiency	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Creating Building Files	
Only complete this section if for a new block where a building file does not exist. Select Y (yes) or N (no) below.	
Is this a new building on a new block?	<input type="checkbox"/>
Has a new building approval been created in Objective and I Drive?	<input type="checkbox"/>

Part 4 Audit Team Checklist				
Document	Document Name	Pass	Fail	N/A
Footings and Concrete Slab Details	Details – Footings Concrete Slab	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Retaining Wall Details	Details – Retaining Walls	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Masonry Construction Details	Details – Masonry Construction	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Framing (including trusses) and Construction Details	Details – Framing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Roof Cladding Details	Details – Roof Cladding	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Exterior Cladding & Material Details	Details – Exterior Cladding & Materials	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Wet area details	Details – Wet Area	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Windows and Glazing Details	Details – Windows Glazing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Estimate of the Cost of the Building Work	Details – Cost of Building Work	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Alternative Solutions	Details – Alternative Solutions	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>