



**ACT**  
Government

Chief Minister, Treasury and  
Economic Development

## Freedom of Information Disclosure Log Publication Coversheet

The following information is provided pursuant to section 28 of the *Freedom of Information Act 2016*.

Application Details	
Ref. No.	CMTEDDFOI 2024-289
Date of Application	12 September 2024
Date of Decision	15 November 2024
Processing time (in working days)	45
Fees	Waived
Decision on Access	Partial Release
<b>Information Requested (summary)</b>	Documents concerning the approval and compliance actions for demountable classrooms at Brindabella Christian College's Lyneham Campus since 1 April 2024.
Publication Details	
Original application	<input checked="" type="checkbox"/> Published <input type="checkbox"/> N/A
Decision notice	<input checked="" type="checkbox"/> Published <input type="checkbox"/> N/A
Documents and schedule	<input checked="" type="checkbox"/> Published <input type="checkbox"/> N/A
Decision made by Ombudsman	Varied
Additional information identified by Ombudsman	N/A
Decision made by ACAT	N/A
Additional information identified by ACAT	N/A

**From:** [REDACTED]  
**To:** [CMTEDD FOI](#)  
**Subject:** CMTEDDFOI 2024-289 FOI Request - Brindabella Christian College - Lyneham Campus  
**Date:** Thursday, 12 September 2024 1:48:23 PM  
**Attachments:** [Aerial 2024 numbered bldgs.png](#)

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**Caution:** This email originated from outside of the ACT Government. Do not click links or open attachments unless you recognise the sender and know the content is safe.

Good afternoon FOI Team

Under the FOI Act, we are writing to request all documents held by CMTEDD related to the approval status, including any compliance action and/or notices, related to a new block of four demountable classrooms installed along Brigalow St in July 2023, identified as Building 5 in the image below, at Brindabella Christian College's Lyneham campus since 1 April 2024.

We note they have been empty and unfinished since Stop Work Orders were issued in August 2023, lacked any building approval and compliance action was initiated late 2023, some 11 months ago.

Timeline - we note the following:

Inspection 9/8/23 (Case Number 760134)

Following a public complaint, an inspection of the campus on 9 August 2023 by RRRT identified demountables recently installed along Brigalow St and in the vicinity of the ELC without building approvals in breach of the Building Act 2004. We note Stop Work Orders were issued on 10 August 2023 and the matter referred to CMIT.

Inspection 13/2/24 (Case Number 00790256)

Following another complaint and the controlled activity application (CAO) from our Association, another inspection of the campus was conducted on 13 February 2024 by the RRRT and once again reported Building 5 lacked building approval and certificate of occupancy in breach of the Building Act 2004. It was noted by RRRT this could not be addressed by a CAO and compliance action by CMIT was initiated.

Given the length of time that has transpired since Stop Work Orders issued over twelve months ago, we seek to understand the status of approval and certification of Building 5 demountables.

We do not seek drafts or duplicate documents.

with thanks

[REDACTED]



Brindabella Christian College

5

4

3

1

2

Image © 2024 Airbus

Imagery Date: 2/22/2024

35°14'56.69" S

149°07'44.35" E



**ACT**  
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Our ref: CMTEDDFOI 2024-289

## FREEDOM OF INFORMATION REQUEST

I refer to your application under section 30 of the *Freedom of Information Act 2016* (the Act), received by the Chief Minister, Treasury and Economic Development Directorate (CMTEDD) on 12 September 2024.

Specifically, you have sought access to the following information:

*“Under the FOI Act, we are writing to request all documents held by CMTEDD related to the approval status, including any compliance action and/or notices, related to a new block of four demountable classrooms installed along Brigalow St in July 2023, identified as Building 5 in the image below, at Brindabella Christian College's Lyneham campus since 1 April 2024.”*

### Authority

As an appointed Information Officer under section 18 of the Act, I am authorised to make a decision on access or amendment to government information in the possession or control of CMTEDD.

### Timeframes

In accordance with section 40 of the Act, CMTEDD is required to provide a decision on your access application within 30 days.

As this matter required third party consultation, the decision due date was extended by 15 working days, in accordance with section 40(2) of the Act.

Therefore, a decision is due by **15 November 2024**.

### Decision on access

Searches were completed for relevant documents and 41 documents were identified that fall within the scope of your request.

I have included as **Attachment A** to this decision the schedule of relevant documents. This provides a description of the documents that fall within the scope of your request and the access decision for those documents.

I have decided to grant access in full to six documents and partial access to 28 documents. I have decided to refuse access to seven documents as I consider them to be contrary to the public interest information under schedule 2 of the Act to release.

My access decisions are detailed further in the following statement of reasons in accordance with section 54(2) of the Act.

## **Access to documents - deferred**

The information being released to you is provided at **Attachment B**.

Pursuant to section 38(6)(b) of the Act, I have decided to **defer access** to the information identified as of concern to an affected third party. Third parties affected may apply for review of my release decision within 20 working days, or a longer period allowed by the Ombudsman. I will write to you to advise when access is no longer deferred for this information.

## **Statement of Reasons**

In accordance with section 54(2) of the Act a statement of reasons outlining my decisions is below. In reaching my access decisions, I have taken the following into account:

- the Act
- the information that falls within the scope of your request
- third party views
- information that is publicly available
- *Human Rights Act 2004*
- ACT Ombudsman FOI Guidelines

As a decision maker, I am required to determine whether the information within scope is in the public interest to release. To make this decision, I am required to:

- assess whether the information would be contrary to public interest to disclose as per **Schedule 1** of the Act.
- perform the public interest test as set out in section 17 of the Act by balancing the factors favouring disclosure and factors favouring nondisclosure in **Schedule 2** of the Act.

## **Exemptions claimed**

### **Schedule 1: Information taken to be contrary to the public interest.**

My reasons for deciding not to grant access to the identified documents and components of these documents are as follows:

- *No relevant sections identified.*

### **Public Interest Test**

The Act has a presumption in favour of disclosure. As a decision maker I am required to decide where, on balance, public interests lies. As part of this process I must consider factors favouring disclosure and non-disclosure.

In *Hogan v Hinch* (2011) 243 CLR 506, [31] French CJ stated that when 'used in a statute, the term [public interest] derives its content from "the subject matter and the scope and purpose" of the enactment in which it appears'. Section 17(1) of the Act sets out the test, to be applied to determine whether disclosure of information would be contrary to the public interest. These factors are found in subsection 17(2) and Schedule 2 of the Act.

### **Schedule 2: Factors to be considered when deciding the public interest.**

Taking into consideration the information contained in the documents found to be within the scope of your request, I have identified that the following public interest factors are

relevant to determine if release of the information contained within these documents is within the 'public interest'.

**Factors favouring disclosure (Section 2.1)**

- *Section 2.1(a)(ii) - contribute to positive and informed debate on important issues or matters of public interest.*

I consider that release of the information contained in the documents may contribute to debate on this matter and note the recent public interest and discourse on various topics in relation to Brindabella Christian College.

**Factors favouring nondisclosure (Section 2.2)**

- *Section 2.2(a)(ii) - prejudice the protection of an individual's right to privacy or any other right under the Human Rights Act 2004.*
- *Section 2.2(a)(xi) - prejudice trade secrets, business affairs or research of an agency or person.*

Having reviewed the documents, I consider the protection of an individual's right to privacy is a significant factor. I have decided that their right to privacy in relation to their personal information has a higher weighting not to disclose, than the public interest has in disclosing this information. I am of the view that disclosure of personal information such as names and contact details that are not already in the public domain could prejudice their individual rights to privacy under the *Human Rights Act 2004*.

Schedule 2 section 2.2(a)(xi) allows for government information to be withheld from release if disclosure of the information could reasonably be expected to prejudice the trade secrets, business affairs or research of an agency or person.

Businesses undertaking development activities in the ACT may reasonably expect that any sensitive business information they provide to the government will be held in confidence. However, businesses that provide information to government do so with the knowledge that government-held information may be subject to an access application made under Freedom of Information legislation.

Having applied the test outlined in section 17 of the Act and deciding that release of personal information contained in the documents is not in the public interest to release, I have chosen to redact this specific information in accordance with section 50(2). Noting the pro-disclosure intent of the Act, I am satisfied that redacting only the information that I believe is not in the public interest to release will ensure that the intent of the Act is met and will provide you with access to the majority of the information held by CMTEDD within the scope of your request.

**Charges**

Processing charges are applicable for this request because the total number of pages to be released to you exceeds the charging threshold of 50 pages. However, the charges have been waived.

**Online publishing – Disclosure Log**

Under section 28 of the Act, CMTEDD maintains an online record of access applications called a [disclosure log](#).

Your original access application and my decision will be published on the CMTEDD disclosure log. Your personal contact details will not be published.

### **Ombudsman Review**

My decision on your access request is a reviewable decision as identified in Schedule 3 of the Act. You have the right to seek Ombudsman review of this outcome under section 73 of the Act within 20 working days from the day that my decision is provided to you, or a longer period allowed by the Ombudsman.

We recommend using this form [Applying for an Ombudsman Review](#) to ensure you provide all of the required information. Alternatively, you may write to the Ombudsman at:

The ACT Ombudsman  
GPO Box 442  
CANBERRA ACT 2601

Via email: [actfoi@ombudsman.gov.au](mailto:actfoi@ombudsman.gov.au)

### **ACT Civil and Administrative Tribunal (ACAT) Review**

Under section 84 of the Act, if a decision is made under section 82(1) on an Ombudsman review, you may apply to the ACAT for review of the Ombudsman decision. Further information may be obtained from the ACAT at:

ACT Civil and Administrative Tribunal  
GPO Box 370  
Canberra City ACT 2601  
Telephone: (02) 6207 1740

<http://www.acat.act.gov.au/>

Should you have any queries in relation to your request please contact the FOI Team by telephone on 6207 7754 or email [CMTEDDFOI@act.gov.au](mailto:CMTEDDFOI@act.gov.au).

Yours sincerely



Emma Hotham  
Information Officer  
Chief Minister, Treasury and Economic Development Directorate

15 November 2024



**ACT**  
Government

Chief Minister, Treasury and  
Economic Development

## FREEDOM OF INFORMATION REQUEST SCHEDULE

WHAT ARE THE PARAMETERS OF THE REQUEST	Reference NO.
Under the FOI Act, we are writing to request all documents held by CMTEDD related to the approval status, including any compliance action and/or notices, related to a new block of four demountable classrooms installed along Brigalow St in July 2023, identified as Building 5 in the image below, at Brindabella Christian College's Lyneham campus since 1 April 2024.	CMTEDDFOI 2024-289

Ref No	Page number	Description	Date	Status	Reason for Exemption	Online Release Status
<b>Part 1</b>						
1	1-2	20230726 Initial complaint copy	10 August 2023	Full Release		Yes
2	3-6	20230810 - Email to builder and building manager -Stop notice (superseded) copy	10 August 2023	Partial Release	Schedule 2 s2.2 (a)(ii)	Yes
3	7-14	20230810-Preliminary Investigation Report - LYNEHAM - S041 - B0004 - SF Inv 20230802-40198	10 August 2023	Partial Release	Schedule 2 s2.2 (a)(ii)	Yes
4	15-19	20230919 - Email to builder and building manager - Stop Notice issued for the new single storey demountable building copy	18 September 2023	Full Release		Yes
5	20	20231006 - 1.19pm B4 S42 Lyneham - Phone Enquiry from (parent) re the status of the Stop Work copy	18 September 2023	Partial Release	Schedule 2 s2.2 (a)(ii)	Yes
6	21-22	20231006 - 2.57pm B4 S42 Lyneham - FW_ Phone Enquiry copy	6 October 2023	Partial Release	Schedule 2 s2.2 (a)(ii)	Yes
7	23-24	20231006 - 3.01pm B4 S42 Lyneham - RE_ Phone Enquiry copy	6 October 2023	Partial Release	Schedule 2 s2.2 (a)(ii)	Yes
8	25-28	20231006 - 3.43pm B4 S42 Lyneham - RE Phone Enquiry - Stop Notice under 20230802-40198 - B4 S42 Lyneham copy	6 October 2023	Partial Release	Schedule 2 s2.2 (a)(ii)	Yes
9	29-30	20240514 - Inv 20230802-40198 - Salesforce Thread copy	10 August 2023	Full Release		Yes

10	31-32	20240905 - Building Act Stop Work Notice End - S42 B4 Lyneham (Front demountable classrooms)	5 September 2024	Partial Release	Schedule 2 s2.2 (a)(ii)	Yes
11	33	B20242552 - 4_41 Lyneham C240441 - BA Outstanding Items	19 September 2024	Partial Release	Schedule 2 s2.2 (a)(ii)	Yes
12	34-47	B20242552 - maintenance info	Undated	Full Release		Yes
13	48-52	B20242552-Alternative Solution-01.pdf - brigade plan report	3 September 2024	Partial Release	Schedule 2 s2.2 (a)(ii)	Yes
14	53-59	B20242552-Alternative Solution-02.pdf - brigade per sol review	28 August 2024	Partial Release	Schedule 2 s2.2 (a)(ii)	Yes
15	60-108	B20242552-Alternative Solution-03.pdf - FER	20 August 2024	Exempt	Schedule 2 s2.2 (a)(xi) and (a)(ii)	No
16	109-134	B20242552-Approved Plan-01.pdf - arch	4 September 2024	Partial Release	Schedule 2 s2.2 (a)(xi) and (a)(ii)	Yes
17	135-136	B20242552-Approved Plan-02.pdf - elec plans	4 September 2024	Exempt	Schedule 2 s2.2 (a)(xi) and (a)(xiii)	No
18	137	B20242552-Approved Plan-03.pdf -elec design cert	26 August 2024	Partial Release	Schedule 2 s2.2 (a)(ii)	Yes
<b>Part 2</b>						
19	138-143	B20242552-Approved Plan-04.pdf - fire services and arch	4 September 2024	Partial Release	Schedule 2 s2.2 (a)(xi)	Yes
20	144-145	B20242552-Approved Plan-05.pdf - fire services design cert	25 June 2024	Partial Release	Schedule 2 s2.2 (a)(ii)	Yes
21	146	B20242552-Approved Plan-06.pdf - mech plan	4 September 2024	Exempt	Schedule 2 s2.2 (a)(xi) and (a)(ii)	Yes
22	147	B20242552-Approved Plan-07.pdf - mech design cert	8 August 2024	Exempt	Schedule 2 s2.2 (a)(ii)	No
23	148	B20242552-Approved Plan-08.pdf - hydraulic plan	8 August 2024	Exempt	Schedule 2 s2.2 (a)(xi) and (a)(ii)	No
24	149	B20242552-Approved Plan-09.pdf-hydraulic design cert	8 August 2024	Partial Release	Schedule 2 s2.2 (a)(ii)	No
25	150-187	B20242552-Approved Plans - Structural-01	Undated	Partial Release	Schedule 2 s2.2 (a)(xi)	Yes
26	188-189	B20242552-Building Approval Commercial Lodgement Checklist	29 August 2024	Full Release		Yes
27	190	B20242552-Building Approval Invoice-Invoice for Project Id B2-01	4 September 2024	Partial Release	Schedule 2 s2.2 (a)(xi)	Yes

28	191	B20242552-Building Approval-01.pdf - arch design cert	22 May 2024	Partial Release	Schedule 2 s2.2 (a)(ii) and (a)(xi)	Yes
29	192-194	B20242552-Building Approval-02.pdf - structural design certs	26 August 2024	Exempt	Schedule 2 s2.2 (a)(ii) and (a)(xi)	Yes
30	195-208	B20242552-Building Approval-04.pdf - summary sheet and min doc info	22 May 2024	Partial Release	Schedule 2 s2.2 (a)(ii) and (a)(xi)	Yes
31	209-210	B20242552-Building Approval-05.pdf - approval letter	4 September 2024	Partial Release	Schedule 2 s2.2 (a)(ii)	Yes
32	211-212	B20242552-Building Approval-BuildingApproval_B2024255-01	4 September 2024	Full Release		Yes
33	213-215	B20242552-Building Commencement Notice Application-01	7 April 2024	Partial Release	Schedule 2 s2.2 (a)(ii)	Yes
34	216-217	B20242552-Building Commencement Notice Application-Building Commencement Not-01	4 September 2024	Partial Release	Schedule 2 s2.2 (a)(ii)	Yes
35	218-219	B20242552-Building Commencement Notice Application-Building Commencement Not-02	4 September 2024	Partial Release	Schedule 2 s2.2 (a)(ii) and (a)(xi)	Yes
36	220-221	B20242552-Building Commencement Notice -Building Commencement Not-01	4 September 2024	Partial Release	Schedule 2 s2.2 (a)(ii) and (a)(xi)	Yes
37	222-224	B20242552-Certifier Appointment-01	7 April 2024	Partial Release	Schedule 2 s2.2 (a)(ii) and (a)(xi)	Yes
38	225-226	B20242552-Certifier Appointment-Appointment_of_Certifier_-01	Undated	Partial Release	Schedule 2 s2.2 (a)(xi)	Yes
39	227-228	B20242552- Exempt Check List-01	4 September 2024	Partial Release	Schedule 2 s2.2 (a)(ii)	Yes
40	229-251	B20242552-Site Classification-01	Undated	Exempt	Schedule 2 s2.2 (a)(xi) and (a)(ii)	No
41	252-267	B20242552-Statement of Compliance-01.pdf - utilities	30 July 2024	Partial Release	Schedule 2 s2.2 (a)(ii) and(a)(xi)	Yes
<b>Total No of Docs</b>						
41						

Private Note - Mathew Bond

Monday 18 Sept 2023, 08:43 am

Title: No Details of Complainant.

Content:

Details of the complainant have not been provided. No correspondence can be made to the complainant regarding any update of the investigation.

Mat Bond

Access Canberra.

Private Note - Shiwali Mahajan

Thursday 10 Aug 2023, 12:27 pm

Title: Referred to CMIT

Content:

Stop Notice issued 10/08/2023

Section 53 – Stop notices – Building Act 2004:

s53(1)(a) state that carrying out building work without a building approval is a criterion for issuing of a stop notice prohibiting carry out further building work in relation to the development.

Private Note - Access Canberra Site Guest User Wednesday 26 July 2023, 04:29 pm

Title: Customer Entry (Auto Note)

Content:

This is an auto note of the original customer submission.

**Subject:**

Access Canberra Feedback: Building and planning

**Category:**

Complaints and Feedback > Building and planning

**AC Description (forms):**

In regards 136 brigalow st lyneham (Block 4 Sectors 41): no public notification of building works signage regarding construction of a 2-storey classrooms block and covered walkway still under construction since March 2021 NOR any building works notification or signage for new demountable buildings installed the week of 10/7/23. These demountables along Brigalow St boundary are encroaching significantly into ELC mandatory outdoor play designated area in breach of ELC licence cc'd Canberra Times

**Plain Description:**

**Location Data:**

Address: BRINDABELLA CHRISTIAN COLLEGE 136 BRIGALOW ST, LYNEHAM ACT 2602

Latitude: -35.24900319

Longitude: 149.12763934

**From:** [Mahajan, Shiwali](#)  
**To:** [brendonmajor@bcc.act.edu.au](mailto:brendonmajor@bcc.act.edu.au); [phil@vamosgroup.com.au](mailto:phil@vamosgroup.com.au)  
**Subject:** Stop Notice -S41 B4 Lyneham  
**Date:** Thursday, 10 August 2023 12:08:00 PM  
**Attachments:** [Stop Notice - S41 B4 Lyneham.docx.pdf](#)  
[image002.png](#)

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OFFICIAL

Dear Phil and Brendon

Please find attached the Stop Notice for your consideration and necessary action.

Kind regards

Shiwali Mahajan

**Building Inspector and Compliance Regulator | Rapid Regulatory Response Team  
Construction, Environment and Workplace Protection**

Access Canberra | ACT Government

TP – 02 6207 8629 / email: [Shiwali.mahajan@act.gov.au](mailto:Shiwali.mahajan@act.gov.au)

8 Darling Street, Mitchell | GPO Box 158 Canberra City ACT 2601 |

<http://www.act.gov.au/accesscbr>





**ACT**  
Government

Chief Minister, Treasury and  
Economic Development

## Stop Notice

Contact Area	Contact email
Rapid Regulatory Response Team (RRRT)	rrt@act.gov.au

Builder name and license number	Lessee
Phillip Ma; License No. 2014631	Brindabella Christian Education Limited

Suburb	Section	Block	Stage of development
Lyneham	41	4	

I Ajith Buddhadasa, Building Inspector, hereby **prohibit** the carrying out of building work, on the above-mentioned parcel of land pursuant to Section 53(1) of the *Building Act 2004*.

A site inspection was conducted on 09/08/2023 by Rapid Regulatory Response Team (RRRT) Inspectors in relation to the concerned about no public notification of building works signage regarding construction of a 2-storey classrooms block and covered walkway still under construction since March 2021 NOR any building works notification or signage for new demountable buildings installed the week of 10/7/23. These demountable structures along Brigalow St boundary are encroaching significantly into Early Learning Centre (ELC) mandatory outdoor play designated area in breach of ELC licence.

The site inspection was conducted within the Brindabella Christian School (BCC) premise on B4 S41 Lyneham. At the time of inspection RRRT inspectors spoke to the building manager of BCC and he confirmed that builder is in process of obtaining a building approval for the demountable classroom structure. The building manager also confirmed that the Education Directorate officials had already visited the site on 09/08/2023 morning and they were satisfied that the outdoor open area provided to ELC complies with their requirement.

The building is a two storey BCA Class 9b building which is not identified in Schedule 1 of the *Building Act 2004* as an exempt from requiring a building approval (BA). Therefore, the building being constructed required a BA.

### Section 42 - Requirements for carrying out building work:

Section 42(1)(d) of the Building Act state that the building work must be carried out in accordance with the approved plans.

### Section 51 - Carrying out building work in contravention of s 42:

Section 51(1) state that it is an offence for a license builder to carryout building work in contravention of Section 42 of the Building Act - Maximum penalty: 50 penalty units

Therefore, no further building work is to be carried out on site until a building approval for the development has obtained.

### Building work is being carried out:

- (a) without a building approval having been issued for the work.
- (b) otherwise, than in accordance with the approved plans for the building work;
- (c) in accordance with a building approval that is, or part of which is, defective because it contains information that—



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## Stop Notice

- (i) is false, misleading or inaccurate in a material respect; or
- (ii) conflicts with other information in the approval so that carrying out building work, or site work that materially affects the building work, in accordance with the approval or part—
  - (A) is not physically possible; or
  - (B) is unlikely to be physically possible without amending the building approval; or
  - (C) is likely to contravene this Act, another territory law or a condition of a consent that applies to the building work or a lease, licence, permit or other authority that applies to the land where the building work is being carried out; or
- (d) contrary to a provision of this Act relating to the building work; or
- (e) if the building work is being carried out on a parcel of land held under lease from the Commonwealth—contrary to a provision, covenant or condition of the lease; or
- (f) for building work forming part of a development requiring development approval—without development approval; or
- (g) for building work forming part of a development with development approval—contrary to the approval, or a condition of the approval; or
- (h) for building work for an exempt building—so that the building, or part of the building, is or will be on an easement.

**A tick in a box indicates the particular ground on which the notice is issued.**

Ajith Buddhadasa

10/08/2023

Building Inspector

**Sch 2.2(a)(ii)**

### Important Information

Section 142C – Applications for review - See reverse side for advisory information.  
Provided in accordance with s 7 of the *ACT Civil and Administrative Tribunal Regulation 2009*

### REVIEW OF THE DECISION BY THE ACT CIVIL AND ADMINISTRATIVE TRIBUNAL

You may apply to the ACT Civil and Administrative Tribunal (**ACAT**) for administrative review of this decision.

#### CONTACT DETAILS

Location	Contact details
ACT Civil and Administrative Tribunal Level 4, 1 Moore Street CANBERRA CITY ACT 2601	Website: <a href="http://www.acat.act.gov.au">www.acat.act.gov.au</a> Email: <a href="mailto:tribunal@act.gov.au">tribunal@act.gov.au</a> Telephone: (02) 6207 1740 Facsimile: (02) 6205 4855 Post: GPO Box 370, CANBERRA, ACT, 2601



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## Stop Notice

### APPLICATIONS TO THE ACAT

To apply for a review, obtain an application form from the ACAT. You can also download the [Application for review of a decision](#) form from the ACAT website.

### TIME LIMITS FOR APPLICATIONS

The time limit to make a request for a review is 28 days from the date that you receive this Notice of Decision.

### FEES

Applications to the ACAT, including an application to be joined as a party to a proceeding, require payment of a fee. You can apply to have the fee waived on the grounds of hardship, subject to approval (refer to section 22T of the *ACT Civil and Administrative Tribunal Act 2008*).

### TRANSLATION AND INTERPRETER SERVICES

The ACT Government's translation and interpreter service runs 24 hours a day, every day of the week.

ENGLISH	If you need interpreting help, telephone:
ARABIC	: إذا احتجت لمساعدة في الترجمة الشفوية ، إتصل برقم الهاتف :
CHINESE	如果你需要传译员的帮助，请打电话：
CROATIAN	Ako trebate pomoć tumača telefonirajte:
GREEK	Αν χρειάζεστε διερμηνέα τηλεφωνήσετε στο
ITALIAN	Se avete bisogno di un interprete, telefonate al numero:
MALTESE	Jekk għandek bżonn l-għajnuna t'interpretu, ċempel:
PERSIAN	: اگر به ترجمه شفاهی احتیاج دارید به این شماره تلفن کنید:
PORTUGUESE	Se você precisar da ajuda de um intérprete, telefone:
SERBIAN	Ako vam je potrebna pomoć prevodioca telefonirajte:
SPANISH	Si necesita la asistencia de un intérprete, llame al:
TURKISH	Tercümana ihtiyacınız varsa lütfen telefon ediniz:
VIETNAMESE	Nếu bạn cần một người thông-ngôn hãy gọi điện-thoại:

### TRANSLATING AND INTERPRETING SERVICE

**131 450**

Canberra and District - 24 hours a day, seven days a week

Preliminary Investigation Report		
AC Investigation number	20230802-40198	
Block Details	B4 S41	
Street address	136 Brigalow St, Lyneham	
Case number:	760134	
Complainant	Anonymous	
Complainant's contact	Anonymous	
Issue 1	No building work signage for new demountable class rooms installed encroaching the Early Learning Centre (ELC) mandatory outdoor play area.	
Issue 2	No building works notification or signage for two storey building and covered walkway under construction	
Brindabella Christian College contact person details		
Full Name	Sch 2.2(a)(ii)	
Phone number	02 6190 7300	
E-mail address	Sch 2.2(a)(ii)r@bcc.act.edu.au	
Company	Brindabella Christian College	
Related Development Approval/s	DA- no records identified in relation to the new demountable classroom building.	Development is exempt from a DA pursuant to Subdivision 1.3.6A Exemptions – schools, Schedule 1 of P&D Regulation.
Related Building Approval/s	BA- no records identified in relation to the new demountable classroom building.	
Certifier	Name: n/a	Licence No: n/a
Builder	Name: Phillip Ma	Licence No: 2014631
Crown Lease provisions	Phil@vamosgroup.com.au ; Mob - Sch 2.2(a)(ii)	
Other	'3(a) To use the premises only for the purpose of a school and subsidiary thereto school related activities';	
Inspection		
Date and time of the inspection	09/08/2023 at about 3:30pm	
Names of the inspectors	Shiwali Mahajan and Ajith Buddhadasa	
Authority to access leased land	Observed from public domain	X
	Owner's invitation	X
	Consent to entry under Section 389(1)(a) of the Planning and Development Act 2007	
	Consent to entry under Section 389(1)(b) of the Planning and Development Act 2007	



	Consent to entry under Section 391(2) of the Planning and Development Act 2007	
	Section 130 Building Act 2004	
	Section 131 Building Act 2004	<b>X</b>
<b>Evidence collected</b>		
Photos	See Appendix - 1	
Site measurements		
Observations	<p>A site inspection was conducted on 09/08/2023 by Rapid Regulatory Response Team (RRRT) Inspectors in relation to the concerned raised about no public notification of building works signage regarding the construction of two storey classrooms block and covered walkway still under construction since March 2021 NOR any building works notification or signage for new demountable buildings installed the week of 10/7/2023. These demountable structures along Brigalow St boundary are encroaching significantly into Early Learning Centre (ELC) mandatory outdoor play designated area in breach of ELC licence.</p> <p>During the inspection, inspectors observed a demountable type of single storey classroom building installed adjacent to Brigalow Street front boundary (see photos in Appendix 1). The building was resting on concrete blocks, and it was not connected to any utility services.</p> <p>Inspectors spoke to the building manager of BCC and he confirmed that builder is in process of obtaining a building approval for the new demountable classroom structure. The building manager also confirmed that the Education Directorate officials had already visited the site on 09/08/2023 morning and they were satisfied that the outdoor open area provided to ELC complies with their requirement. Building Manager also said that the factory manufactured classroom building just transported to the site from the factory and it is just resting there. Also, the Building Manager opined that no building work in relation to class room building had been carried out to date.</p> <p>Access Canberra records do not have any records of development and building approvals for the development of new demountable building along the Brigalow St.</p> <p>The development is exempt from a development approval (DA) pursuant to Subdivision 1.3.6A Exemptions – schools, Schedule 1 of P&amp;D Regulation.</p>	



	<p>However, the development is not exempt from a building approval (BA).</p> <p>In relation to the construction of two-storey classroom and covered walkway, Building Approval (B2023500) is issued on 15/02/2023 by the private certifier. No breach is identified.</p> <p>The notice about building work for the covered walkway and two-story classroom is affixed on the construction fence. No breach is identified. (See photos – Appendix 1)</p>
Contact interviews	
Subject of interest interviews	
Other	
<b>Issue 1</b>	
	No building work signage for new demountable class rooms installed encroaching the Early Learning Centre (ELC) mandatory outdoor play area.
<b>Legislative requirements</b>	
<b>Planning and Development Act 2007 (P&amp;D Act); Planning and Development Regulation 2008 (P&amp;D Regulation)</b>	
Applicable legislative provision	<p>The school is an “existing school” pursuant to s1.96A of Schedule 1 of the P&amp;D Regulation.</p> <p>School classrooms considered to be BCA Class 9b building (s1.99C of Schedule 1 of P&amp;D Regulation) and therefore exempt from a DA pursuant to s1.99C Schedule 1 of the P&amp;D Regulation.</p>
Breach/No breach	No breach identified.
<b>Building Act 2004 Building (General) Regulation 2008</b>	
Applicable legislative provision	<p>The new demountable development is a single storey BCA Class 9b building which is not identified in Schedule 1 of the Building Act 2004 as an exempt from requiring a BA. Therefore, the building being constructed required a BA.</p> <p><b>Section 42 - Requirements for carrying out building work:</b></p> <p>Section 42(1)(d) of the Building Act state that the building work must be carried out in accordance with the approved plans.</p> <p><b>Section 51 - Carrying out building work in contravention of s 42:</b></p> <p>Section 51(1) state that it is an offence for a license builder to carryout building work in contravention of Section 42 of the Building Act - Maximum penalty: 50 penalty units.</p>
Breach/No breach	At the time of inspection, there was no BA issued for the new development. Breach identified.
<b>Building Code of Australia (BCA or NCC)</b>	
Applicable legislative provision	



<b>Breach/No breach</b>	
<b>Recommendation</b>	
Response to the complainant	Anonymous complainant
Referred to MIT; BIT; CAT etc	Referred to CMIT
Referred to other ACT Govt area	
<b>Actions taken</b>	
	<p>Stop Notice issued.  Section 53 – Stop notices – Building Act 2004:  s53(1)(a) state that carrying out building work without a building approval is a criterion for issuing of a stop notice prohibiting carry out further building work in relation to the development.</p>
<b>Preliminary report approval</b>	
Peer review by	Name: Ajith Buddhadasa
Peer review date	Date: 10/08/2023

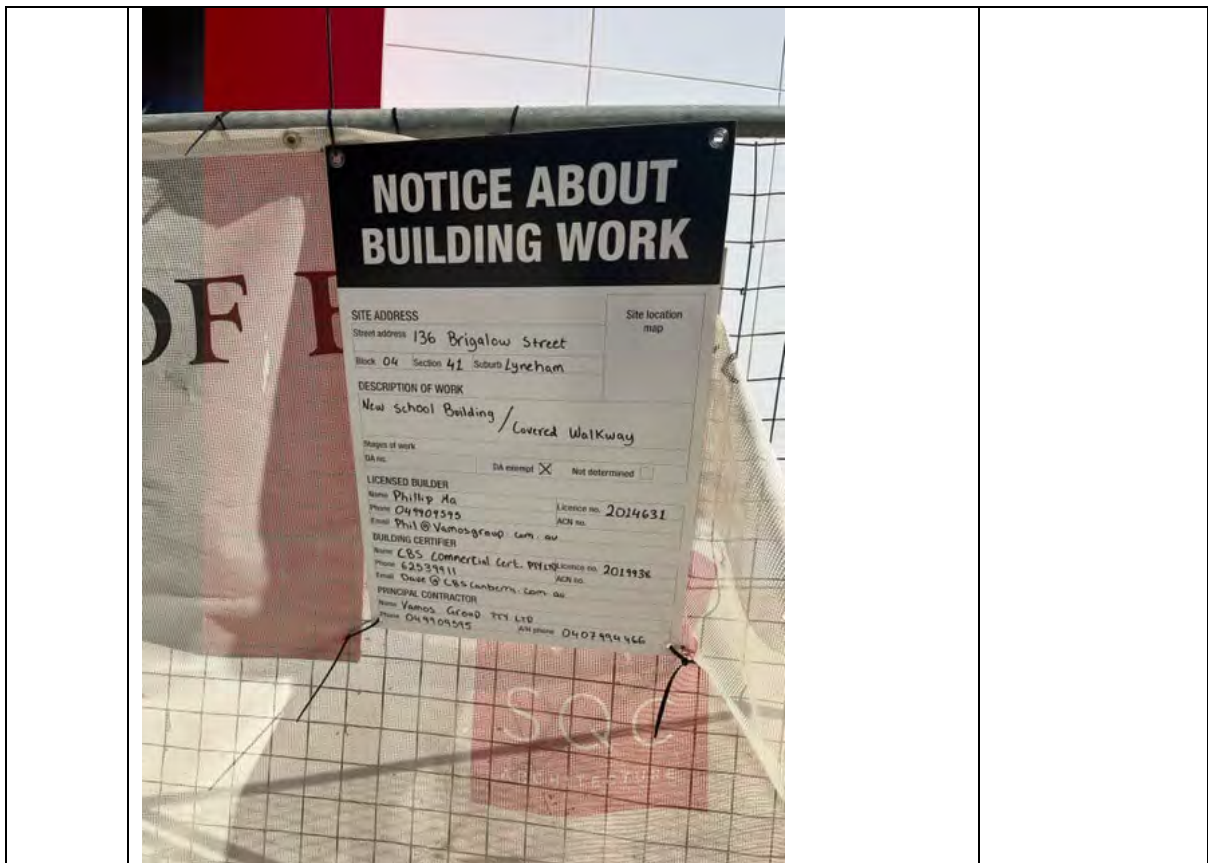
Inspector/s: Shiwali Mahajan  
Date: 10/08/2023

**Appendix -1 – Photos**

Photo No.	Photo Description	Taken From
1		Public domain
2		Public domain

<p>3</p>		<p>Public domain</p>
<p>4</p>		<p>Within the property</p>

<p>5</p>	 A photograph showing a building under construction. The building has a grey metal exterior and a covered porch area. A red and white caution tape is stretched across the foreground. In the immediate foreground, there is a dark, shallow container and some wooden planks. The sky is blue with light clouds. The photo is taken from a slightly elevated position, looking down at the building.	<p>Within the property</p>
<p>6</p>	 A second photograph of the same building under construction, taken from a different angle. It shows the same grey metal building with a covered porch. The red and white caution tape is still present. The foreground shows the same dark container and wooden planks. The sky is blue with light clouds. The photo is taken from a slightly elevated position, looking down at the building.	<p>Within the property</p>



**From:** [Mahajan, Shiwali](#)  
**To:** [brendonmajor@bcc.act.edu.au](mailto:brendonmajor@bcc.act.edu.au); [phil@vamosgroup.com.au](mailto:phil@vamosgroup.com.au)  
**Subject:** Stop Notice issued for the new single storey demountable building on B4 S41 Lyneham  
**Date:** Monday, 18 September 2023 11:13:00 AM  
**Attachments:** [Stop Notice - S41 B4 Lyneham.pdf](#)  
[image001.png](#)

---

OFFICIAL

Dear all,

Please find attached Stop Notice issued for the new single storey demountable building constructed adjacent to Brigalow street front boundary on B4 S41 Lyneham.

Please replace the previous Stop Notice issued in this regards dated 10/08/2023 with this one.

Apologies for any inconvenience caused.

Kind regards

Shiwali Mahajan

**Building Inspector and Compliance Regulator | Rapid Regulatory Response Team**

**Construction, Environment and Workplace Protection**

**Access Canberra | ACT Government**

**TP – 02 6207 8629 / email: [Shiwali.mahajan@act.gov.au](mailto:Shiwali.mahajan@act.gov.au)**

**8 Darling Street, Mitchell | GPO Box 158 Canberra City ACT 2601 |**

**<http://www.act.gov.au/accesscbr>**

*I acknowledge the Ngunnawal people as traditional custodians of the ACT and recognise any other people or families with connection to the lands of the ACT and region. I acknowledge and respect their continuing culture and the contribution they make to the life of this city and this region.*



## Stop Notice

Contact Area	Contact email
Rapid Regulatory Response Team (RRRT)	rrt@act.gov.au

Builder name and license number	Lessee
Phillip Ma; License No. 2014631	Brindabella Christian Education Limited

Suburb	Section	Block	Stage of development
Lyneham	41	4	

I Ajith Buddhadasa, Building Inspector, hereby **prohibit** the carrying out of building work, on the above-mentioned parcel of land pursuant to Section 53(1) of the *Building Act 2004*.

A site inspection was conducted on 09/08/2023 by Rapid Regulatory Response Team (RRRT) Inspectors in relation to the concerned about no public notification of building works signage regarding demountable structures installed adjacent to Brigalow St front boundary of B4 S41 Lyneham.

The building (single storey) is to be used as a BCA Class 9b classroom building, and is of a demountable type structure which is not identified in Schedule 1 of the *Building Act 2004* as an exempt from requiring a building approval (BA). Therefore, the building being constructed required a BA.

### Section 42 - Requirements for carrying out building work:

Section 42(1)(d) of the Building Act state that the building work must be carried out in accordance with the approved plans.

### Section 51 - Carrying out building work in contravention of s 42:

Section 51(1) state that it is an offence for a license builder to carryout building work in contravention of Section 42 of the Building Act - Maximum penalty: 50 penalty units

Therefore, no further building work is to be carried out on site until a building approval for the development has obtained.

### Building work is being carried out:

- (a) without a building approval having been issued for the work.
- (b) otherwise, than in accordance with the approved plans for the building work;
- (c) in accordance with a building approval that is, or part of which is, defective because it contains information that—
- (i) is false, misleading or inaccurate in a material respect; or
  - (ii) conflicts with other information in the approval so that carrying out building work, or site work that materially affects the building work, in accordance with the approval or part—
    - (A) is not physically possible; or
    - (B) is unlikely to be physically possible without amending the building approval; or
    - (C) is likely to contravene this Act, another territory law or a condition of a consent that applies to the building work or a lease, licence, permit or other authority that applies to the land where the building work is being carried out; or;
- (d) contrary to a provision of this Act relating to the building work; or

**ACT**  
GovernmentChief Minister, Treasury and  
Economic Development

## Stop Notice

- (e) if the building work is being carried out on a parcel of land held under lease from the Commonwealth—contrary to a provision, covenant or condition of the lease; or
- (f) for building work forming part of a development requiring development approval—without development approval; or
- (g) for building work forming part of a development with development approval—contrary to the approval, or a condition of the approval; or
- (h) for building work for an exempt building—so that the building, or part of the building, is or will be on an easement.

**A tick in a box indicates the particular ground on which the notice is issued.**

Ajith Buddhadasa

18/09/2023

Building Inspector

### Important Information

Section 142C – Applications for review - See reverse side for advisory information.  
Provided in accordance with s 7 of the *ACT Civil and Administrative Tribunal Regulation 2009*

## Stop Notice

### REVIEW OF THE DECISION BY THE ACT CIVIL AND ADMINISTRATIVE TRIBUNAL

You may apply to the ACT Civil and Administrative Tribunal (**ACAT**) for administrative review of this decision.

#### CONTACT DETAILS

Location	Contact details
ACT Civil and Administrative Tribunal Level 4, 1 Moore Street CANBERRA CITY ACT 2601	Website: <a href="http://www.acat.act.gov.au">www.acat.act.gov.au</a> Email: <a href="mailto:tribunal@act.gov.au">tribunal@act.gov.au</a> Telephone: (02) 6207 1740 Facsimile: (02) 6205 4855 Post: GPO Box 370, CANBERRA, ACT, 2601

#### APPLICATIONS TO THE ACAT

To apply for a review, obtain an application form from the ACAT. You can also download the [Application for review of a decision](#) form from the ACAT website.

#### TIME LIMITS FOR APPLICATIONS

The time limit to make a request for a review is 28 days from the date that you receive this Notice of Decision.

#### FEES

Applications to the ACAT, including an application to be joined as a party to a proceeding, require payment of a fee. You can apply to have the fee waived on the grounds of hardship, subject to approval (refer to section 22T of the *ACT Civil and Administrative Tribunal Act 2008*).

#### TRANSLATION AND INTERPRETER SERVICES

The ACT Government's translation and interpreter service runs 24 hours a day, every day of the week.



**ACT**  
Government

Chief Minister, Treasury and  
Economic Development

## Stop Notice

ENGLISH	If you need interpreting help, telephone:
ARABIC	: إذا احتجت لمساعدة في الترجمة الشفوية ، إتصل برقم الهاتف :
CHINESE	如果你需要传译员的帮助，请打电话：
CROATIAN	Ako trebate pomoć tumača telefonirajte:
GREEK	Αν χρειάζεστε διερμηνέα τηλεφωνήσετε στο
ITALIAN	Se avete bisogno di un interprete, telefonate al numero:
MALTESE	Jekk għandek bżonn l-għajjnuna t'interpretu, ċempel:
PERSIAN	: اگر به ترجمه شفاهی احتیاج دارید به این شماره تلفن کنید:
PORTUGUESE	Se você precisar da ajuda de um intérprete, telefone:
SERBIAN	Ако вам је потребна помоћ преводиоца телефонирајте:
SPANISH	Si necesita la asistencia de un intérprete, llame al:
TURKISH	Tercümana ihtiyacınız varsa lütfen telefon ediniz:
VIETNAMESE	Nếu bạn cần một người thông-ngôn hãy gọi điện-thoại:

**TRANSLATING AND INTERPRETING SERVICE**

**131 450**

Canberra and District - 24 hours a day, seven days a week

**From:** [Redfern, Alison](#)  
**To:** [Regulatory Response Team](#)  
**Subject:** Phone Enquiry  
**Date:** Friday, 6 October 2023 1:19:04 PM  
**Attachments:** [image001.png](#)  
**Importance:** High

---

Good Afternoon,

Received a call from [Sch 2.2\(a\)\(ii\)](#) who was wanting to speak to someone in relation to a stop work notice for a pool at 4/41 Lyneham-Brindabella Christian College.

Can someone please call [Sch 2.2\(a\)\(ii\)](#) .

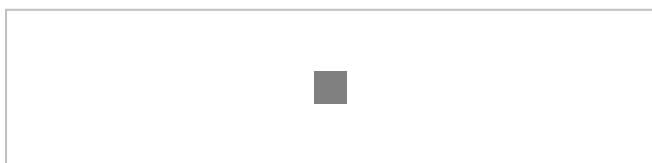
Kind Regards,

Alison Redfern | Customer Service Officer  
Phone 02 6207 1923 | Customer Services

**Access Canberra | Chief Minister Treasury and Economic Development Directorate | ACT Government**

8 Darling Street, Mitchell Act | GPO Box 158, Canberra, ACT, 2601 | [www.act.gov.au/accessCBR](http://www.act.gov.au/accessCBR)

*I acknowledge the Ngunnawal people as traditional custodians of the ACT and recognise any other people or families with connection to the lands of the ACT and region. I acknowledge and respect their continuing culture and the contribution they make to the life of this city and this region.*



**From:** [Cheung, Gary](#)  
**To:** [Buddhadasa, Ajith](#)  
**Subject:** FW: Phone Enquiry  
**Date:** Friday, 6 October 2023 2:57:00 PM  
**Attachments:** [image001.png](#)  
[Stop Notice - S41 B4 Lyneham.obr](#)  
[image002.jpg](#)  
**Importance:** High

---

OFFICIAL

Hi Ajith,

The enquiry is about the Stop Notice dated 18 September 2023 (ONJ link attached), not about a pool.

I told [redacted] that I look into it an [redacted] back to [redacted] on whether the Stop Notice is still active.

Are you ok for me to let the enquirer know, according to the system: the Stop Notice is still active (Status is "Monitoring situation" in SF) and if [redacted] have any further question, I'll refer to Mat, which is the assigned officer in CMIT.

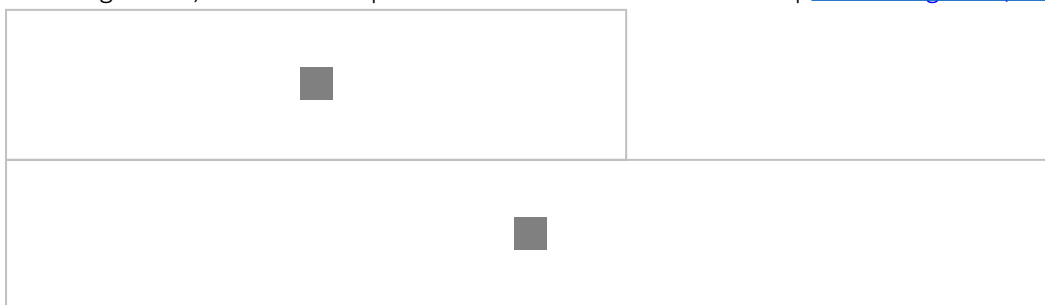
I'll file this interaction in OBJ and SF.

Regards,

**Gary Cheung** | Inspector and Compliance Auditor | Rapid Regulatory Response Team (RRRT)  
Phone: 13 22 81 | Email: [Gary.Cheung@act.gov.au](mailto:Gary.Cheung@act.gov.au)

**Access Canberra** | **Chief Minister Treasury and Economic Development Directorate** | **ACT Government**

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---

**From:** Redfern, Alison <Alison.Redfern@act.gov.au>  
**Sent:** Friday, October 6, 2023 1:19 PM  
**To:** Regulatory Response Team <rrt@act.gov.au>  
**Subject:** Phone Enquiry  
**Importance:** High

Good Afternoon,

Received a call from Sch 2.2(a)(ii) who was wanting to speak to someone in relation to a stop work notice for a pool at 4/41 Lyneham-Brindabella Christian College.

Can someone please call Sch 2.2(a)(ii) .

Kind Regards,

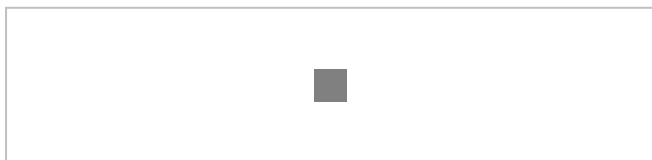
Alison Redfern | Customer Service Officer

Phone 02 6207 1923 | Customer Services

**Access Canberra | Chief Minister Treasury and Economic Development Directorate | ACT Government**

8 Darling Street, Mitchell Act | GPO Box 158, Canberra, ACT, 2601 | [www.act.gov.au/accessCBR](http://www.act.gov.au/accessCBR)

*I acknowledge the Ngunnawal people as traditional custodians of the ACT and recognise any other people or families with connection to the lands of the ACT and region. I acknowledge and respect their continuing culture and the contribution they make to the life of this city and this region.*



**From:** [Buddhadasa, Ajith](#)  
**To:** [Cheung, Gary](#)  
**Subject:** RE: Phone Enquiry  
**Date:** Friday, 6 October 2023 3:01:14 PM  
**Attachments:** [image001.png](#)  
[image002.jpg](#)

---

OFFICIAL

Yes Gary.  
Pls advise the complainant accordingly.  
Ajith

---

**From:** Cheung, Gary <Gary.Cheung@act.gov.au>  
**Sent:** Friday, October 6, 2023 2:57 PM  
**To:** Buddhadasa, Ajith <Ajith.Buddhadasa@act.gov.au>  
**Subject:** FW: Phone Enquiry  
**Importance:** High

OFFICIAL

Hi Ajith,

The enquiry is about the Stop Notice dated 18 September 2023 (ONJ link attached), not about a pool.

I told <sup>Sch 2.2(1)</sup> that I look into it an get back to <sup>Sch 2.2(1)</sup> on whether the Stop Notice is still active.

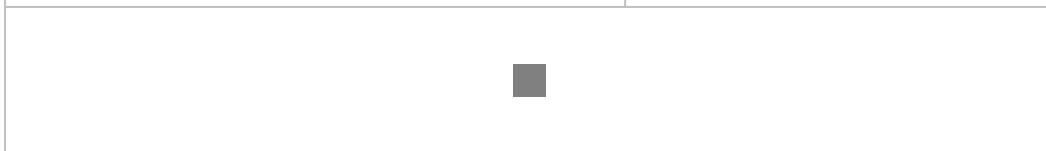
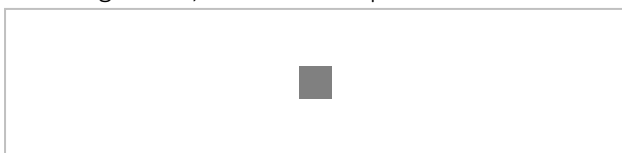
Are you ok for me to let the enquirer know, according to the system: the Stop Notice is still active (Status is "Monitoring situation" in SF) and if <sup>Sch 2.2(1)</sup> have any further question, I'll refer to Mat, which is the assigned officer in CMIT.

I'll file this interaction in OBJ and SF.

Regards,

**Gary Cheung** | Inspector and Compliance Auditor | Rapid Regulatory Response Team (RRRT)  
Phone: 13 22 81 | Email: [Gary.Cheung@act.gov.au](mailto:Gary.Cheung@act.gov.au)  
**Access Canberra** | **Chief Minister Treasury and Economic Development Directorate** | **ACT Government**

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# Duplicate

**From:** [Cheung, Gary](#)  
**To:** [Bond, Mathew](#)  
**Subject:** RE: Phone Enquiry - Stop Notice under 20230802-40198 - B4 S42 Lyneham  
**Date:** Friday, 6 October 2023 3:39:00 PM  
**Attachments:** [image001.png](#)  
[image002.jpg](#)

---

OFFICIAL

Hi Matt,

Just got a call back from [redacted] asking whether the concrete footpath is part of the Stop Notice.

I told [redacted] that I do not know and will refer it to the assigned officer (you) to follow up.

Regards,

**Gary Cheung** | Inspector and Compliance Auditor | Rapid Regulatory Response Team (RRRT)  
Phone: 13 22 81 | Email: [Gary.Cheung@act.gov.au](mailto:Gary.Cheung@act.gov.au)

**Access Canberra** | **Chief Minister Treasury and Economic Development Directorate** | **ACT Government**

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---

**From:** Cheung, Gary  
**Sent:** Friday, October 6, 2023 3:18 PM  
**To:** Bond, Mathew <Mathew.Bond@act.gov.au>  
**Subject:** FYI and no further action is required: Phone Enquiry - Stop Notice under 20230802-40198 - B4 S42 Lyneham

OFFICIAL

Hi Matt,

FYI, I answered an enquiry from [redacted] (Sch 2.2(a)(ii)) asking about the status of the Stop Notice under 20230802-40198:

- Advised [redacted] that the Stop Notice is still active and it has been referred to CMIT to follow up.

I confirmed it is about the single story demountable

- I also gave [redacted] the Investigation number 20230802-40198 for future reference
- [redacted] has no further question, therefore no further response is required.

I have filed all email to OBJ and left a note in SF.

Regards,

**Gary Cheung** | Inspector and Compliance Auditor | Rapid Regulatory Response Team (RRRT)

Phone: 13 22 81 | Email: [Gary.Cheung@act.gov.au](mailto:Gary.Cheung@act.gov.au)

**Access Canberra** | **Chief Minister Treasury and Economic Development Directorate** | **ACT Government**

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---

**From:** Buddhadasa, Ajith <[Ajith.Buddhadasa@act.gov.au](mailto:Ajith.Buddhadasa@act.gov.au)>

**Sent:** Friday, October 6, 2023 3:01 PM

**To:** Cheung, Gary <[Gary.Cheung@act.gov.au](mailto:Gary.Cheung@act.gov.au)>

**Subject:** RE: Phone Enquiry

OFFICIAL

Yes Gary.

Pls advice the complainant accordingly.

Ajith

---

**From:** Cheung, Gary <[Gary.Cheung@act.gov.au](mailto:Gary.Cheung@act.gov.au)>

**Sent:** Friday, October 6, 2023 2:57 PM

**To:** Buddhadasa, Ajith <[Ajith.Buddhadasa@act.gov.au](mailto:Ajith.Buddhadasa@act.gov.au)>

**Subject:** FW: Phone Enquiry

**Importance:** High

OFFICIAL

Hi Ajith,

The enquiry is about the Stop Notice dated 18 September 2023 (ONJ link attached), not about a pool.

I told [redacted] that I look into it and get back to her on whether the Stop Notice is still active.

Are you ok for me to let the enquirer know, according to the system: the Stop Notice is still active (Status is "Monitoring situation" in SF) and if [redacted] have any further question, I'll refer to Mat, which is the assigned officer in CMIT.

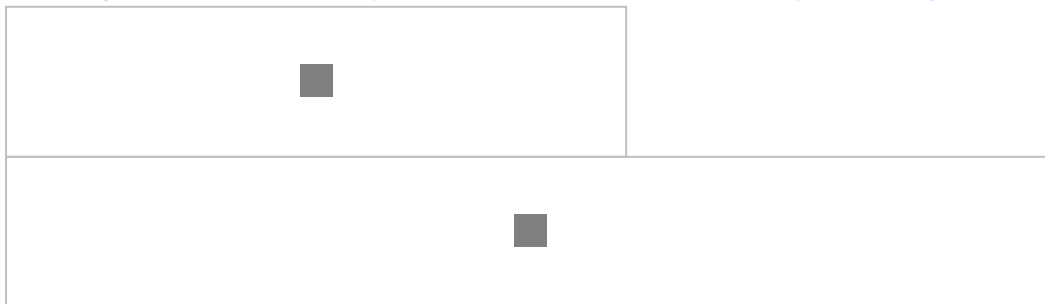
I'll file this interaction in OBJ and SF.

Regards,

**Gary Cheung** | Inspector and Compliance Auditor | Rapid Regulatory Response Team (RRRT)  
Phone: 13 22 81 | Email: [Gary.Cheung@act.gov.au](mailto:Gary.Cheung@act.gov.au)

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# Duplicate

Private Note Mathew Bond

Monday, 18 Sept 2023, 08:43 am

Title: No Details of Complainant.

Content:

Details of the complainant have not been provided. No correspondence can be made to the complainant regarding any update of the investigation.

Mat Bond

Access Canberra.

Private Note Shiwali Mahajan

Thursday, 10 Aug 2023, 12:27 pm

Title: Referred to CMIT

Content:

Stop Notice issued 10/08/2023

Section 53 – Stop notices – Building Act 2004:

s53(1)(a) state that carrying out building work without a building approval is a criterion for issuing of a stop notice prohibiting carry out further building work in relation to the development.

**Private Note - Access Canberra Site Guest User**

Wednesday, 26 July 2023, 04:29 pm

Title: Customer Entry (Auto Note)

Content:

This is an auto note of the original customer submission.

**Subject:**

Access Canberra Feedback: Building and planning

**Category:**

Complaints and Feedback &gt; Building and planning

**AC Description (forms):**

In regards 136 brigalow st lyneham (Block 4 Sectors 41): no public notification of building works signage regarding construction of a 2 storey classrooms block and covered walkway still under construction since March 2021 NOR any building works notification or signage for new demountable buildings installed the week of 10/7/23. These demountables along Brigalow St boundary are encroaching significantly into ELC mandatory outdoor play designated area in breach of ELC licence cc'd Canberra Times

**Plain Description:****Location Data:**

Address: BRINDABELLA CHRISTIAN COLLEGE 136 BRIGALOW ST, LYNEHAM ACT 2602

Latitude: 35.24900319

Longitude: 149.12763934

**From:** [Monitoring and Inspections Team](#)  
**To:** [phil@vamosgroup.com.au](mailto:phil@vamosgroup.com.au)  
**Subject:** 20240905 - Building Act Stop Work Notice End - S42 B4 Lyneham (Front demountable classrooms).  
**Date:** Thursday, 5 September 2024 10:33:00 AM  
**Attachments:** [image001.png](#)  
[20240905 - Building Act Stop Work Notice End - S42 B4 Lyneham \(Front demountable classrooms\)..pdf](#)  
**Importance:** High

---

Good morning Phil,

Thank you for answering my phone call today. I can confirm that building approval has been issued only for the front demountable classrooms. Please see notice advising you that the stop notice has been lifted.

As we discussed, Could you confirm that the demountable structures placed towards south-east corner of the block are being disconnected and are due to be craned out and taking off the property this Saturday coming 7 September 2024?

If you have any questions please feel free to contact me.

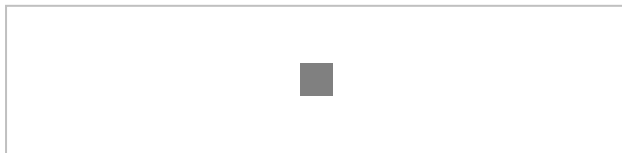
Kind regards

**Mathew Bond | Assistant Director - Compliance, Monitoring and Inspections Team (CMIT)  
Construction and Planning Regulations Branch.**

Phone: 13 22 81 | Mob: 0466 471 218 | Email: [mit@act.gov.au](mailto:mit@act.gov.au)

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VAMOS GROUP AUSTRALIA PTY LTD  
ATTN: Phil Ma  
17/27 YALLOURN ST  
FYSHWICK ACT 2609

Dear Mr Ma,

Ending of Stop Notice Block 4 Section 41 Lyneham - Demountable classrooms along Brigalow Street, Lyneham.

I refer to the stop notice that was served pursuant to Section 53 of the *Building Act 2004* (the Act) on 18 Septmeber 2023

On the evidence available to me, I have decided that the grounds for giving the Stop Notice no longer exist. Building approval B20242552 was issued on 04 September 2024 for the construction of a single storey class 9b.

Therefore, in accordance with Section 53(4) the stop work notice is no longer in force.

Should you require any further information regarding this matter please contact Mathew Bond on 0466 471 218 or via email: [mit@act.gov.au](mailto:mit@act.gov.au)

Yours sincerely

**Sch 2 s 2.2(a)(ii)**

Mathew Bond  
Delegate of the Construction Occupations Registrar

05 September 2024

**From:** [AC, eDevelopmentBA](mailto:AC_eDevelopmentBA@act.gov.au)  
**To:** [sonia21011@cbscanberra.com.au](mailto:sonia21011@cbscanberra.com.au)  
**Subject:** B20242552 - 4/41 Lyneham C240441 - BA Outstanding Items  
**Date:** Thursday, 19 September 2024 3:46:00 PM  
**Attachments:** [image001.png](#)

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Good afternoon,

I have reviewed the application for BA lodgement for the above property and the following items are outstanding:

0. Site plan required ( Plan provided does not show wherethe site is located )

We will revisit this application when we are advised that outstanding items have been rectified.

If there are any queries please contact the Building Registrations team on 62076266.

Kind Regards,

**Bianca Djerke | Building Registrations**

**Phone:** 02 6207 6266 | **Email:** [ACTPLAeDevelopmentBA@act.gov.au](mailto:ACTPLAeDevelopmentBA@act.gov.au)

**Access Canberra | Chief Minister Treasury and Economic Development Directorate | ACT Government**

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## APPENDIX 2

# ESSENTIAL SAFETY MEASURES: MAINTENANCE INFORMATION TEMPLATE

**ALL MAINTENANCE ROUTINES CURRENTLY ESTABLISHED ON THE SCHOOL CAMPUS SHALL APPLY TO THIS NEW BUILDING. THE FOLLOWING ARE GOOD PRACTICES AND GUIDELINES TO BE CONSIDERED AS PART OF THE MAINTENANCE REGIME.**

Emergency Service	Maintenance Standard	Occurrence
<b>Part 1: Building fire integrity</b>		
1 Fire resistant materials applied to building elements, including intumescent paints, fire protective sprays, coatings and boards.	AS1851 – 2012. Check the integrity of fire resistant materials and that there is no damage or deterioration to them.	<b>Annual</b> inspections as prescribed in AS1851 – 2012, Sections 1 and 12.  Refer table 12.4.2 for <b>yearly</b> service schedule for materials protecting structural elements.
2 Fire hazard properties of floor, wall and ceiling linings; floor coverings, air handling ductwork, lift cars, non-required and non-fire isolated stairways or ramps, attachments to internal floors, walls and ceilings, insulation, proscenium curtain and auditorium seating, etc.	AS1851 – 2012. Check that any new or altered linings and finishes have the required fire hazard properties.	<b>Annual</b> inspection to identify any changes to linings and finishes as prescribed in AS1851 – 2012, Sections 1 and 12.  Refer tables 12.4.1.2 and 12.4.1.3 for <b>yearly</b> service schedule for materials protecting structural elements.
3 Compartmentation including bounding construction and service penetrations through fire resistant structures (includes fire walls; smoke walls; fire resistant exits, and fire resistant elements such as walls, floors, ceilings, protective coverings, lift shafts, services shafts/ ducts, access panels and control joints).	AS1851 – 2012. Check integrity of fire and/or smoke barriers, including all joints, junctions, fire-stopped penetrations and smoke seals. Check that any additional penetrations have been adequately fire stopped.  Identify and record any services not permitted in fire-isolated exits (NCC Vol. One – Clause C3.9), that must be removed.	<b>Annual</b> inspections for damage or deterioration; identify and rectify any non-compliance; and as prescribed in AS1851 -2012, Sections 1 and 12 for protection of structural elements.  Refer table 12.4.2 for <b>yearly</b> service schedule for materials protecting structural elements.
4 Fire protection associated with construction joints, spaces and the like in and between building elements required to be fire-resisting with respect to integrity and insulation	AS1851 – 2012.	<b>Annual</b> inspections for damage, deterioration or unauthorized alteration. Refer tables 12.4.1.1 for schedule for walls 12.4.1.2 for floors and 12.4.1.3 for ceilings.

Emergency Service	Maintenance Standard	Occurrence
5 Fire doors (including sliding fire doors and their associated warning systems) and associated self closing, automatic closing and latching mechanisms	AS1851 - 2012 Sections 1 and 12.	Refer table 12.4.3.1 of AS1851 - 2012 for <b>six monthly</b> service schedule for hinged and pivoted fire resistant door-sets.  Refer also to table 12.4.3.2 of AS1851 for <b>three monthly</b> and <b>six monthly</b> service schedules for horizontal sliding fire resistant door-sets.
6 Fire windows (including windows that are automatic or permanently fixed in the closed position)	AS1851 – 2012, Sections 1, 12 and 13 and tables 12.4.6, 13.4.1.13 and 13.4.1.14.	Refer table 12.4.6 of AS1851 - 2012 for <b>yearly</b> service schedule for fire rated glazing.  Refer tables 13.4.1.13 and 13.4.1.14 for <b>six monthly</b> and <b>yearly</b> service schedules for mechanical and motorized operation where relevant.
7 Fire shutters	AS1851 – 2005 Sections 1, 12 and 13 and tables 12.4.5, 13.4.1.13 and 13.4.1.14.	Refer table 12.4.5 of AS1851 - 2012 for <b>yearly</b> service schedule.  Tables 13.4.1.13 and 13.4.1.14 for <b>six monthly</b> and <b>yearly</b> service schedules for mechanical and motorized operation where relevant.
8 Solid core doors (and required life safety doors) and associated self-closing, automatic closing and latching mechanisms	NCC Vol. One, Clause C3.11.	<b>Six monthly</b> inspections for damage, deterioration and check for correct operation of self-closers, latches, handles and any electronic strikes recommended.
9 Smoke doors and associated self-closing, automatic closing and latching mechanisms	AS1851 – 2012, Table 12.4.4 for six monthly service and annual service.	<b>Six monthly</b> service schedules for hinged and pivoted smoke doors or <b>yearly</b> for private residential apartment entrance doors (recommended due to impact on residents).
10 Proscenium walls (including proscenium curtains)	AS1851 – 2012, Sections 1 and 13.  Refer tables 13.4.1.11 and 13.4.1.12 and Manufacturer's Specifications.	<b>Six monthly</b> and <b>yearly</b> routines for mechanical operation of curtains.  <b>Six monthly</b> inspections to check integrity of walls and curtains.
11 Fire and smoke curtains generally (including at atrium roof)	AS 1851 – 2012, Sections 1 and 13.  Refer Tables 13.4.1.11 and 13.4.1.12 for six monthly and yearly routines for mechanical operation of fire curtains and smoke curtains.	<b>Six monthly</b> and <b>yearly</b> routines for mechanical operation of curtains.  <b>Six monthly</b> inspections to check integrity of curtains.
12 Bushfire protection measures	AS 3959 – 2009	<b>Annual</b> inspection.

Emergency Service	Maintenance Standard	Occurrence
<b>Part 2: Means of egress</b>		
<p>1 Paths of travel to exits including exit doors and doorways (other than fire or smoke doors) in a required exit, forming part of a required exit or in a path of travel to a required exit, and any associated self-closing, automatic closing, latching mechanisms, unlocking devices, ramps, stairways and clearance from obstructions and protection of openable windows.</p>	<p>Inspections should include checking the following (as applicable)-</p> <ul style="list-style-type: none"> <li>&gt; exits and paths of travel to exits remain unblocked (including at the point of discharge);</li> <li>&gt; there are no unprotected installations in exits or paths of travel to exits and any protection of openable windows have not been damaged or removed;</li> <li>&gt; slip resistant surfaces of stair treads and nosing's have not been damaged or removed;</li> <li>&gt; tactile ground surface indicators have not been damaged or removed;</li> <li>&gt; exits are not lockable from the inside and are readily openable by a single downward action on a single device without a key from the side that faces a person seeking egress, unless fail-safe devices are fitted and are operational; and</li> <li>&gt; exits and paths of travel to exits remain unblocked (including at the point of discharge);</li> </ul>	<p><b>Three monthly</b> inspections of exits and paths of travel to exits are recommended to ensure doors are intact, operational and fitted with conforming hardware, check their ongoing compliance and ensure there are no impediments that could delay or prevent occupants evacuating to a safe place in an emergency, with no obstructions and no alterations.</p>

Emergency Service	Maintenance Standard	Occurrence
2 Discharge from exits (including paths of travel from open spaces to the public roads to which they are connected)	<p>Inspections should include checking the following (as applicable)-</p> <ul style="list-style-type: none"> <li>&gt; exits are not lockable from the inside and are readily openable by a single downward action on a single device without a key from the side that faces a person seeking egress, unless fail-safe devices are fitted and are operational;</li> <li>&gt; barriers or bollards protecting paths of travel and exits remain in place;</li> <li>&gt; slip resistant surfaces of stair treads and nosings have not been damaged or removed; and</li> <li>&gt; tactile ground surface indicators have not been damaged or removed.</li> </ul>	Inspections every <b>three months</b> are recommended to ensure there are no obstructions and no alterations.

Emergency Service	Maintenance Standard	Occurrence
3 Exits (including fire-isolated stairways and ramps, non-fire-isolated stairways and ramps, stair treads, balustrades and handrails associated with exits, and fire-isolated passageways)	<p>Inspections should include checking the following (as applicable)-</p> <ul style="list-style-type: none"> <li>&gt; separation of rising and descending flights and any associated signage is maintained;</li> <li>&gt; spaces under fire isolated stairs or ramps are not enclosed or used to store goods or materials of any kind unless they are enclosed with fire resistant construction;</li> <li>&gt; spaces under fire isolated stairs or ramps are not enclosed or used to store goods or materials of any kind unless they are enclosed with fire resistant construction;</li> <li>&gt; slip resistant surfaces of stair treads and nosings have not been damaged or removed; and</li> <li>&gt; tactile ground surface indicators have not been damaged or removed.</li> </ul>	Inspection every <b>three months</b> are recommended to ensure there are no obstructions and no alterations.
4 Smoke lobbies to fire-isolated exits		<b>Annual</b> inspections for damage, deterioration or unauthorized alteration are recommended.
5 Balustrades to paths of travel, public areas and fire safety systems		<b>Annual</b> inspections are recommended to ensure there are no weaknesses, damage or alterations.
6 Open access ramps or balconies for fire-isolated exits		<b>Annual</b> inspections are recommended for damage, deterioration or unauthorized alterations.

### Part 3: Signs

Emergency Service	Maintenance Standard	Occurrence
1 Exit signs (including emergency directional signs)	<p>AS2293.2 - 1995 Sections 2 or 3 as relevant to the type of system (central system or a single point).</p> <p>For central systems (system where a number of emergency exit signs are supplied from a common power source), refer Sections 2.1, 2.2 and 2.3 for six monthly and yearly procedures.</p> <p>For single point systems (system employing only self-contained exit lights), refer Sections 3.1, 3.2 and 3.3 for six monthly and yearly procedures.</p> <p>Refer Section 3.4 for battery replacement.</p>	<p><b>Six monthly</b> and <b>annual</b> inspections are required by AS2293.2 – 1995, Sections 2 and 3. <b>Monthly</b> checks that exit signs are not damaged, and continue to be clearly visible to persons approaching the exit are recommended.</p>
2 Signs warning against the use of lifts in the event of fire	<p>Check for damage and visibility. Includes checking that wording and word size still comply.</p>	<p>It is recommended that there be an <b>annual</b> check that warning signs are not damaged, and that they continue to be clearly visible to persons approaching the lift.</p>
3 Warning signs on sliding fire doors and doors to non-required stairways, ramps and escalators		<p>It is recommended that there be an annual inspection to ensure compliant warning signage is in place.</p>
4 Signs, intercommunication systems, or alarm systems on doors of fire-isolated exits stating that re-entry to a storey is available		<p>It is recommended that there be an <b>annual</b> inspection to ensure compliant warning signage is in place.</p>
5 Identification signage on fire doors and smoke doors; signs on egress doors leading from fire-isolated passageways; signs and audible and visual alarms on sliding fire doors; chevron stripes identifying exits		<p>It is recommended that door signage be checked <b>six monthly</b> to ensure signs are not damaged and continue to be clearly visible to persons approaching the doorway or exit.</p>
6 Signs required on doors, in alpine areas, alerting people that they open inwards		<p><b>Annual</b> inspection to ensure compliant warning sign is in place.</p>
7 Fire order notices required in alpine areas		<p><b>Annual</b> inspection to ensure compliant warning sign is in place.</p>

Emergency Service	Maintenance Standard	Occurrence
8 Photo luminescent exit signs	Exit signs are to be clean, not damaged, have sufficient lighting levels in the vicinity of the sign to facilitate 'charging', and continue to be clearly visible to persons approaching the exit.	It is recommended these signs be checked <b>monthly</b> .

#### Part 4: Lighting

1 Emergency Lighting	<p>Refer sections 2.1, 2.2 and 2.3 of AS/NZS 2293.2 – 1995, six monthly and yearly procedures for central systems (system where a number of emergency lighting luminaires are supplied from a common power source).</p> <p>Refer sections 3.1, 3.2 and 3.3 of AS/NZS 2293.2 – 1995, six monthly and yearly procedures for single point systems (system employing only self-contained emergency lighting luminaires).</p>	<p>Every <b>six months</b>.</p> <p>Check power availability <b>monthly</b>.</p> <p>In addition, <b>six monthly</b> and <b>annual</b> procedures as prescribed in AS/NZS 2293.2 sections 2 or 3.</p> <p>For cool rooms and strongrooms, also check that the associated indicator lamp and the alarm positioned outside the chamber are functioning to manufacturer's specifications.</p>
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#### Part 5: Fire-fighting services and equipment

1 On-site fire pump sets	As prescribed in AS 1851 - 2012, Sections 1 and 3.	Refer AS1851 - 2012 tables 3.4.1, 3.4.2, 3.4.3 and 3.4.4 of for <b>monthly, six monthly, annual</b> and <b>five yearly</b> service schedules.
2 Fire hydrant system (including on-site fire mains and fire-service booster assemblies and connections)	AS1851 – 2012 Sections 1 & 4.	Refer AS1851 - 2012 tables 4.4.1, 4.4.2, 4.4.3 and 4.4.4 of for <b>monthly, six monthly, annual</b> and <b>five yearly</b> service schedules.
3 Water storage tanks for fire protection systems	As prescribed in AS1851 - 2012, Sections 1 and 5.	Refer AS1851 - 2012 tables 5.4.1, 5.4.2, 5.4.3, and 5.4.4 of for <b>monthly, six monthly, annual</b> and <b>ten yearly</b> service schedules.
4 Fire hose reel system	Refer AS1851-2012, Sections 1 and 9.	Refer AS1851 – 2012 tables 9.4.1 and 9.4.2 for <b>six monthly</b> and <b>annual</b> service schedules.

Emergency Service	Maintenance Standard	Occurrence
5 Sprinkler system (fire)	As prescribed in AS1851 - 2012, Sections 1 and 2. <i>(Where specialist systems are installed, check the relevant building and occupancy constraints are maintained).</i>	<p><b>FOR WET PIPE SYSTEMS-</b></p> <p>Refer tables 2.4.2.1, 2.4.2.2, 2.4.2.3 and 2.4.2.4 of AS1851 - 2012 for <b>monthly, six monthly, annual, five yearly, ten yearly, twenty five yearly</b> and <b>thirty yearly</b> service schedules.</p> <p><b>FOR DRY PIPE SYSTEMS-</b></p> <p>Refer tables 2.4.3.1, 2.4.3.2, 2.4.3.3 and 2.4.3.4 of AS1851 - 2012 for <b>monthly, six monthly, annual</b> and <b>five yearly</b> service schedules.</p> <p><b>FOR DELUGE AND WATER SPRAY SYSTEMS-</b></p> <p>Refer tables 2.4.4.1, 2.4.4.2, 2.4.4.3 and 2.4.4.4 of AS1851 - 2012 for <b>monthly, six monthly, annual</b> and <b>five yearly</b> service schedules.</p> <p><b>FOR PRE-ACTION SYSTEMS-</b></p> <p>Refer tables 2.4.5.1, 2.4.5.2, 2.4.5.3 and 2.4.5.4 of AS1851 - 2012 for <b>monthly, six monthly, annual</b> and <b>five yearly</b> service schedules.</p>
6 Portable fire extinguishers	Refer AS1851 – 2012, Sections 1 and 10. Also check annually that no additional risks have arisen due to the changed nature or quantity of materials stored, displayed or used in the building.	Refer tables 10.4.1, 10.4.2 and 10.4.3 of AS1851 – 2012, for <b>six monthly, annual</b> and <b>five yearly</b> service schedules.
7 Fire control centers (or rooms)	Check that any additional installations comply and that the ambient sound level within the fire control centre/ room does not exceed the max allowable level when all fire safety equipment is operating.	<b>Annual</b> inspection for ongoing compliance with NCC construction and content requirements.
8 Wall wetting sprinkler systems	AS1851 – 2012 Sections 1 & 2 and tables 2.4.4.1, 2.4.4.2, 2.4.4.3 and 2.4.4.4.	Every <b>six months</b> to ensure compliance, no damage or deterioration and water supply availability.
9 Fire sprinklers for protection of openings	AS1851 – 2012, Sections 1 & 2 and tables 2.4.4.1, 2.4.4.2, 2.4.4.3 and 2.4.4.4.	For <b>monthly, six monthly, annual</b> and <b>five yearly</b> service schedules as per deluge and water spray systems.

Emergency Service	Maintenance Standard	Occurrence
10 Fire sprinklers for protection of curtain or panel walls	AS1851 – 2012, Sections 1 & 2 Sprinklers may be installed as part of a full sprinkler system or form a stand-alone system.	Inspected and maintained to the relevant parts of AS1851 that apply to that system.
11 Proscenium curtain deluge system	AS1851 – 2012 Sections 1, 2 and 6, as relevant.  Control and actuation of deluge system may be via multiple jet control, wet pilot or fire/smoke detectors.	Refer to relevant parts of AS1851 - 2012 for applicable service requirements.
12 Special hazards fire-fighting systems and equipment	For gaseous, aerosol and open nozzle water mist special hazard fire suppression systems as prescribed in AS1851 - 2012, Sections 1 and 7 (and Section 6 if incorporating electrical detection and control systems).	AS1851 – 2012. For special hazard fire suppression systems refer tables 7.4.2, 7.4.3, 7.4.4 and 7.4.5 for <b>monthly, six monthly, annual and ten yearly</b> service schedules.  For detection and control parts of special hazard systems if relevant, refer to tables 6.4.1.2, 6.4.1.3, 6.4.1.4 and 6.4.1.5 for <b>monthly, six monthly, annual and five yearly</b> service schedules.
13 Occupancy hazards in fire compartments with a floor area >2,000m <sup>2</sup> , or a volume >12,000m <sup>3</sup>	In non-sprinklered compartments, <b>annual</b> inspection to ensure that the occupancy has not changed and become one of excessive fire hazard (as defined in NCC Volume One – Table E1.5 and requiring sprinkler protection).  Refer to the note 4 of Table E1.5 of the NCC, Vol. One for examples of occupancies that may have hazardous processes, storage and goods.	If the occupancy becomes one of excessive fire hazard, changes must either be made to the occupancy to reduce the fire hazard, or sprinklers installed to address the increased fire risk.  Occupancies of excessive hazard are buildings that contain-  (i) Hazardous processes or storage, or  (ii) Combustible goods with an aggregate volume exceeding 1,000m <sup>3</sup> and stored to a height greater than 4m.

Emergency Service	Maintenance Standard	Occurrence
<b>Part 6: Air-handling systems</b>		
1 <b>Essential fans and fan motors</b>	As prescribed in AS1851 - 2012, Sections 1 and 13.	AS1851 – 2012. Refer tables 13.4.1.2 and 13.4.1.3 for <b>three monthly</b> and <b>annual</b> service schedules for fans and motors.
2 <b>Smoke detectors for smoke control systems</b>	As prescribed in AS1851 - 2012, Sections 1 and 6.	
3 <b>Fire mode operation</b>		
(i) System changeover in fire mode condition	As prescribed in AS1851 - 2012, Sections 1 and 13.	AS1851 – 2012. Refer tables 13.4.2.4 and 13.4.2.5 for <b>three monthly</b> and <b>annual</b> routine service schedules for system changeover under fire condition.
(ii) Fire shut down of equipment	As prescribed in AS1851 - 2012, Sections 1 and 13.	AS1851 – 2012. Refer tables 13.4.2.4 and 13.4.2.5 for three monthly and annual service schedules for system change-over under fire conditions and 13.4.2.8 for yearly test and records schedule for fire and smoke control features of mechanical services system shutdown.
(iii) Control of supply and/or return air fans or equipment	As prescribed in AS1851 - 2012, Sections 1 and 13.	AS1851 – 2012. Refer tables 13.4.1.2 and 13.4.1.3 for <b>three monthly</b> and <b>annual</b> routine service schedules for fans and motors.
(iv) Fire mode operation of air dampers for outside air, recycle air, relief air, and zone control dampers for supply and return air (including motorized fire and/or smoke and combination dampers).	As prescribed in AS1851 - 2012, Sections 1 and 13.	AS1851 – 2012. Refer tables 13.4.1.5, 13.4.1.6, 13.4.1.7 and 13.4.1.8 for <b>six monthly</b> and <b>annual</b> service schedules for air control dampers.
(v) Fire dampers – mechanical and intumescent.	As prescribed in AS1851 - 2012, Sections 1 and 13.	AS1851 – 2012. Refer table 13.4.1.4 for <b>annual</b> service schedule for fire dampers.
4 <b>Smoke hazard management</b>		
(i) Automatic air pressurization for fire-isolated exits and fire-isolated liftshafts.	As prescribed in AS1851 - 2012, Sections 1 and 13.	AS1851 – 2012. Refer tables 13.4.2.2 and 13.4.2.3 for <b>three monthly</b> and <b>annual</b> tests and records schedule for fire isolated exit pressurization systems.

Emergency Service	Maintenance Standard	Occurrence
(ii) Smoke exhaust system	As prescribed in AS1851 - 2012, Sections 1 and 13.	AS1851 – 2012. Refer tables 13.4.2.6, 3.4.2.7 and 13.4.3.2 for <b>three monthly</b> and <b>annual</b> tests and records schedule for fire and smoke control features of mechanical services for smoke exhaust systems.
(iii) Smoke curtains, baffles or bulkheads (including concealed voids).	As prescribed in AS1851 - 2012, Sections 1 and 13. Annually check curtains and baffles and bulkheads forming smoke reservoirs for damage or deterioration that could compromise its integrity.	AS1851 – 2012. Refer tables 13.4.1.11 and 13.4.1.12 for <b>six monthly</b> and <b>annual</b> routines for fire curtains and smoke curtains and table 13.4.3.4 for yearly check of smoke reservoirs.
(iv) Smoke and heat vents (including automatic vents for atriums)	As prescribed in AS1851 - 2012, Sections 1 and 13 and check activation.	AS1851 – 2012. Refer tables 13.4.1.9 and 13.4.1.10 for <b>six monthly</b> and <b>annual</b> service schedules for automatic smoke and heat vents.
(v) Smoke dampers	As prescribed in AS1851, Sections 1 and 13.	AS1851 – 2012. Refer tables 13.4.1.4 for <b>annual</b> service schedule for smoke dampers and table 13.4.2.9 for <b>annual</b> test and records schedule for fire and smoke control features of mechanical services smoke dampers.
(vi) Make up air provisions, including louvres and automatic doors	As prescribed in AS1851 - 2012, Sections 1 and 13.	AS1851 – 2012. Refer tables 13.4.1.18 and 13.4.1.19 for <b>monthly</b> and <b>annual</b> routine service schedules for outdoor air intakes.
(vii) Provision for special hazards	Check <b>annually</b> for any changes to the type or quantity of materials stored, displayed or used in the building.	Additional smoke hazard management measures may be necessary due to changes to the type or quantity of materials stored, displayed or used in the building.
(viii) Zone smoke control systems	As prescribed in AS1851 - 2012, Sections 1 and 13.	AS1851 – 2012. Refer tables 13.4.2.5 for <b>annual</b> routine service schedules.

Emergency Service	Maintenance Standard	Occurrence
(ix) Miscellaneous air-handling systems serving more than one fire compartment (refer Sections 5 and 6 of AS/NZS1668.1 - 2015 "The use of ventilation and air conditioning in buildings—Part 1: Fire and smoke control in buildings")	As prescribed in AS1851 – 2012.	AS1851 – 2012. Refer all relevant sections.
(x) Car park mechanical ventilation system	As prescribed in AS1851 – 2012.	AS1851 – 2012. Refer all relevant sections.
(xi) Atrium smoke control system	As prescribed in AS1851 – 2012.	AS1851 – 2012. Refer all relevant sections.
5 <b>Kitchen exhaust systems, including grease filters</b>	As prescribed in AS1851, Sections 1 and 13.	Refer AS1851 – 2012, tables 13.4.1.2 and 13.4.1.3 for <b>three monthly</b> and <b>annual</b> routines for associated fans and motors and tables 13.4.1.16 and 13.4.1.17 for <b>monthly</b> and <b>annual</b> routine service schedules for kitchen exhaust systems.

#### Part 7: Automatic fire detection and alarm systems

1 Includes: Smoke and heat alarm system Smoke and heat detection system Atrium fire detection and alarm system	AS1851 – 2012, Sections 1 and 6.	Refer AS1851 – 2012, tables 6.4.1.4, 6.4.3.1, 6.4.2.2, 6.4.2.3, for <b>monthly, six monthly, annual</b> and <b>five yearly</b> routine inspections as necessary.
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#### Part 8: Occupant warning systems

1 Sound system and intercom system for emergency purposes, including Warden Intercom Points (WIPs)	AS1851 – 2012, Sections 1 and 6.	Refer AS1851 – 2012, tables <b>6.4.1.4, 6.4.3.1, 6.4.4.1</b> , for <b>monthly</b> and <b>annual</b> routine inspections as necessary.
2 Building occupant warning system	AS1851 – 2012, Sect. 9.	Refer AS1851 – 2012, tables 6.4.1.2, 6.4.1.4, 6.4.1.5, 6.4.3.1, 6.4.3.2 and 6.4.3.3, for <b>monthly, annual</b> and <b>five yearly</b> routine inspections as necessary.
3 Emergency warning and intercommunication systems	AS1851 – 2012 Sect. 10.	Refer AS1851 – 2012, tables 6.4.1.4, 6.4.3.2, 6.4.3.3, for <b>monthly, annual</b> and <b>five yearly</b> routine inspections as necessary.

#### Part 9: Lifts

1 Stretcher facilities in lifts	As per criteria and dimensions required by NCC – Vol. One – Clause E3.2.	<b>Annual</b> Inspection, to ensure NCC compliance.
2 Emergency lifts	AS1735.	As per manufacturer's specifications but no less than <b>annually</b> .

Emergency Service	Maintenance Standard	Occurrence
3 Passenger lift fire service controls		As per manufacturer's specifications but no less than <b>annually</b> .

#### Part 10: Standby power supply system

1 Emergency and standby power supply systems	<p>Maintenance of specific standby power supply systems should be carried out in accordance with the manufacturer's recommendations for the particular type of system and with consideration to the critical nature of the system. The frequency of maintenance routines and the test loading may need to increase accordingly.</p> <p>Monthly testing of the driver unit should be undertaken under part load for installations deemed to be of a more critical nature. The driver unit should not be run for more than 30 mins under no load as it this can cause glazing of the bores.</p> <p>Particular attention should be given to the battery condition, quality of fuel stored on site, functionality of automatic changeover systems and periodic load testing to confirm output capacity and prevent glazing of the bores.</p> <p>Emergency stand-by power systems for hospital sites may also require more frequent testing under increased loads due to their additional operational requirements.</p>	<p>Maintenance and testing shall extend to both the diesel/gas generating power unit and the alternating unit, including switching equipment, based on the following as a minimum.</p> <p><b>Monthly-</b> Inspect and test batteries for specific gravity, fluid levels, voltage and charging. Inspect coolant and fuel availability.</p> <p>Run driver unit for 30 mins under no load capacity, with assessment of speed governor operation, excess vibration and heat. Inspect after operation. Check alternator and electrical connections.</p> <p><b>Six monthly:</b> Testing to ensure auxiliary power is operable.</p> <p><b>Annually-</b> Inspect and test as per monthly routine above and inspect/test/replace (as appropriate) oil, oil filters, air filters and coolant.</p> <p>Inspect crankcase breathers, condensate traps and exhaust system. Test fuel supply quality and check spare fuel drum capacity.</p> <p>In lieu of running the driver unit under no load as per monthly routines, simulate power failure and run system for not less than 2hrs at full load to verify required system operation and check operation of transfer switching.</p>
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#### Part 11: Building clearance and access for fire appliances

1 Clearance for open space around large isolated buildings	NCC Volume One and Building Approval.	<b>Annual</b> inspection to ensure ongoing compliance of open space and vehicular access provisions, such as fire-fighting facilities.
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Emergency Service	Maintenance Standard	Occurrence
2 Vehicular access for fire appliances, such as around large isolated buildings	NCC Volume One and Building Approval.	<b>Annual</b> inspection to ensure unobstructed access maintained to buildings and fire-fighting facilities are maintained.
<b>Part 12: Other safety measures</b>		
1 Swimming pool fencing	Ensure fencing meets requirements of NCC Vol. One – Clause G1.1 and ACT G1.1(d)-(e) and AS1926 Part 1 – 2012 and Part 2 – 2007	<b>Annual</b> inspection.
2 Refrigerated chambers, strong rooms and vaults	Ensure the doors, internal lighting, switches, indicator lamps and alarms comply with NCC Vol. One – Clause G1.2.	<b>Annual</b> inspection.
3 Performance Solutions applied to building approval	Relevant maintenance standard, including Australian Standards, NCC references if applicable and performance solution requirements, i.e. Fire Engineered Design Report.	As per relevant Australian Standard or performance solution requirements, i.e. Fire Engineered Design Report.



# ACT FIRE & RESCUE PLAN REVIEW REPORT

Fire Safety Section | 9 Amberley Avenue | Fairbairn Business Park | Majura ACT 2609

This plan report provides advice from the ACTF&R following a review of the submitted building design plans referred to ACT Fire & Rescue in accordance with Schedule 2 Part 2.2 Item 7 of the Building (General) Regulation 2008. The plan report is provided in accordance with Section 5.4 of the Emergencies Act 2004.

Date of Report:	<b>03/09/2024</b>
ACTF&R Reference:	<b>2024-457</b>
Building Name and Street Address:	<b>Classrooms x 4 - 136 Brigalow Street, Lyneham</b>
Block, Section & District:	<b>Block 4 Section 41 Lyneham</b>
Scope of Building Works:	<b>Existing</b>
Building Certifier:	<b>CBS Commercial Certifiers - Sch 2.2(a)(ii)</b>
ACTF&R support of building approval application	Yes, see conditions and comments below

## Building classification

BCA Classification:	<b>9b</b>
Rise in Storeys (C2D3):	<b>1</b>
Fire Compartment Size/Volume limitations (Table C3D3):	<b>&lt;500m<sup>2</sup></b>
Type of Construction (C2D2):	<b>Type C</b>
Effective height:	-
Performance Based Solution	<b>Yes, relating to fire separation between buildings</b>

## Required fire appliances

After assessment of the plans referred to ACT Fire & Rescue, the owner of the building, pursuant to Part 5.4 Section 92 of the ACT Emergencies Act (2004), is hereby directed to install the following fire appliances in the building as required by the NCC and relevant referenced documents.

In accordance with the Building (General) Regulation (2008), on completion of building work approval of the installation of any fire appliance is to be obtained from ACTF&R on behalf of the Emergency Services Commissioner.

ACTF&R will require certification of the installation and may perform a functional test of systems prior to approval.

Please note comments and conditions below.

Fire safety appliances	Standard of performance	Comments
Construction of exits	D3D24, D3D25, D3D26 [2019 NCC D2.19, D2.20 & D2.21]	
Fire hydrant System	E1D2, AS2419.1:2021 [2019 NCC E1.3]	<ul style="list-style-type: none"> <li>Baseline data for pressure and flow testing required to be submitted as part of fire appliance approval.</li> </ul> <p>External</p> <ul style="list-style-type: none"> <li>Hydrant locations are to be denoted by a blue hydrant indicator that will be readily visible to responding fire &amp; rescue crews via the principal access route. Feed hydrants marked FH. Attack hydrants marked AH. Hydrants in garden beds to be marked with a blue bollard and FH or AH as applicable.</li> </ul>
Hydrant/Sprinkler Booster	E1D2, AS2419.1:2021 [2019 NCC E1.3]	<ul style="list-style-type: none"> <li>Hydrant Booster assembly's signage and block plan is required as per AS2419.1, 7.10 &amp; 7.11</li> <li>Laminated paper block plans are not considered suitable. An A3 size framed document is required. Adjustments to block plan made with pen are not acceptable.</li> <li>Doors on a fire brigade booster assembly shall be clearly labelled with a fade resistant sign stating 'FIRE HYDRANT BOOSTER', 'FIRE HYDRANT AND SPRINKLER BOOSTER' or 'COMBINED FIRE HYDRANT AND SPRINKLER BOOSTER', as appropriate.</li> <li>Boost and test pressures as determined by hydraulic engineer.</li> </ul>
Fire detection	E2D3, AS 1670.1:2018 [2019 NCC E2.2]	<ul style="list-style-type: none"> <li>Fire services matrix required to be submitted as part of fire appliance approval</li> <li>Laminated paper block plans are not considered suitable. An A3 size framed document is required. Adjustments to block plan made with pen are not acceptable.</li> </ul>

		<ul style="list-style-type: none"> <li>Cupboards with a volume in excess of 1m<sup>3</sup> and containing electrical or electronic equipment having voltages greater than extra low voltage shall be protected internally.</li> </ul>
Building Occupant Warning System	S20C2, AS 1670.1:2018 [2019 NCC Specification E2.2 Clause 6]	
Fire alarm monitoring	S20C2 [2019 NCC Specification E2.2 Clause 7]	
Emergency and exit lighting	E4D5, E4D6, AS 2293.3:2018 [2019 NCC E4.5, E4.6]	<ul style="list-style-type: none"> <li>Emergency lighting is to be provided in all accessible / non ambulatory bathrooms.</li> </ul>

## Performance solution

A Performance Based Solution Report has been issued and assessed by ACTF&R. This report identifies variations from the deemed to satisfy provisions of the NCC and addresses each individually through fire safety assessment. A full description of the variations, and methodologies used to meet the BCA Performance Requirements and Assessment Methods are contained in the Performance Solution Report. At the completion of building works an inspection and inspection report will be required to be completed by the relevant fire safety engineer and submitted to ACTF&R.

## Plan Report Assessment

After assessment of the plans provided against the active and passive fire protection requirements of the Building Code of Australia, the following observations are made:

### SECTION C – FIRE RESISTANCE

#### Part C4 Protection of Openings

##### C4D3 – Protection of Openings in External Walls

Openings in an external wall that is required to have an FRL and are <3m from the side or rear boundary or <6m from the far boundary of a road or other building on the allotment that is not class 10 must be protected in accordance with C4D5.

### SECTION D ACCESS AND EGRESS

#### Part D2 – Provision for Escape

##### D2D3 - Number of Required Exits

- Effective height <25m - One exit from each storey.

##### D2D5 - Exit travel distance.

Class 5, 6, 7, 8 or 9 parts - no point on a floor must be more than 20m from an exit or point of choice where maximum distance of travel must not exceed 40m. (In class 5 or 6, the distance at the level of access to road or open space may be increased to 30m)

##### D2D6 - Distance between alternative exits

Exits required as alternative means of egress are to be distributed as uniformly as practicable around the storey served, not <9m apart, and not >45m apart for class 2, 3, 9a and not >60m apart for all other classes.

##### D2D15 – Discharge from exits.

An exit must not be blocked at the point of discharge, and where necessary, barriers must be provided to prevent vehicles blocking the exit. The path of travel must have an unobstructed width of the minimum width of

the required exit or 1m. If the exit discharges at a level different to the road or open space, the path of travel must be by a ramp not steeper than 1:8 in any part, or 1:14 if required by D4 (disabled access provisions).

### Fire precautions during construction

Please ensure compliance with NCC clause ED16. A construction zone fire safety strategy may be considered by ACTF&R. For further clarification please see the ACTF&R guideline.

### Maintenance of fire protection systems and equipment

From June 21, 2019 the ACT Emergency Act (2004), Part 5.4, Section 95 requires the maintenance of fire protection systems to:

- AS 1851 (Routine service of fire protection systems and equipment) as in force from time to time;
- AS/NZS 2293.2 (Emergency evacuation lighting for buildings Inspection and maintenance) as in force from time to time;
- a standard approved for the fire appliance as part of a building approval issued for the premises under the Building Act 2004, section 28;
- a standard of maintenance prescribed by regulation.

For further information please see the ACTF&R guideline

### ACTF&R policies and guidelines

Please refer to information in the following guideline/s, available on esa.gov.au as ACTF&R have deemed they may be applicable to the proposed development:

- [ACT Fire & Rescue, Fire Safety Guideline FSG-999 Fire & Rescue Access \(in draft\)](#)
- [ACT Fire & Rescue Fire Safety Guideline FSG-05 Maintenance of fire protection systems and equipment in class 2 – 9 buildings.](#)
- [ACT Fire & Rescue Guideline FSG-19 Fire precautions during construction.](#)

### Planning for emergencies in facilities

To further safeguard building occupants from the effects of a fire emergency, it is recommended that an emergency management plan be developed in line with AS3745 Planning for Emergencies in Facilities.

### ACTF&R advice regarding building approval application

In accordance with Part 3 Section 20 of the Building (General) Regulation (2008) ACTF&R support the building approval application. Please ensure any additional conditions and recommendations provided have been met.

**Note:** In accordance with Section 48, Division 3.6 of the ACT Building Act 2004, final approval of the building works is the responsibility of the Building Certifier.

Report Prepared By:	Community Safety Station Officer – Matt Barrett	Sch 2.2(a)(ii)	03/09/2024
Report Verified By:	Manager Fire Safety & Engineered Solutions Commander Chris White 02 6205 0986		03/09/2024





## ACTF&R PERFORMANCE BASED DESIGN REVIEW

### Fire Safety Section | 9 Amberley Avenue | Fairbairn Business Park | Majura ACT 2609

ACT Fire & Rescue (ACTF&R) has reviewed the performance-based design submitted in the form of a Performance-Based Design Report (PBDR) for the building detailed below. The ACTF&R undertakes this review in accordance with Section 5.4 of the Emergencies ACT 2004 and as a "referred entity" in accordance with Item 6 of Part 2.2, Schedule 2 of the ACT Building (General) Regulations 2008 made under the Building ACT 2004.

The evaluation of the Performance-Based Design Report has been undertaken with consideration given to the National Construction Code Series Volume 1 and 2 Building Code of Australia (NCC), the operational requirements of ACTF&R and the Australian Fire Engineering Guidelines.

Project details	
Date:	28 August 2024
ACTF&R reference:	2024-474
Performance-based design report reference:	VFC-220106-02R I01R01
Block, Section & Division:	BLOCK 04 SECTION 41 LYNEHAM
Building name and street address:	136 BRIGALOW STREET
Building Certifier:	Sch 2.2(a)(ii) CBS Building Surveyors
Fire Safety Engineer:	Sch 2.2(a)(ii)
ACTF&R support of Performance-Based Design Report:	Yes, see conditions and comments below

Building Information	
BCA classification:	9b
Rise in storeys (C1.2):	1
Type of construction (C1.1)	C
Effective height:	<5m
Scope of building works:	New

## Performance Solutions

No	Description	Strategy and protective measures *	DTS Provision	Performance Requirement	Method of meeting PR	Assessment method	AFEG sub-system
1	<p>It is proposed for demountable classrooms 1-4 to be considered as a single building. The external walls between demountable classrooms 1-4 (in red) are proposed to achieve no FRL in lieu of an FRL of 90/90/90. The external walls (in blue) of the demountable classrooms 1-4 are not required to achieve an FRL as they are greater than 3 m from a fire source feature.</p> <p>The southern external wall of the Junior School within 6 m of demountable classroom 4 is to achieve an FRL of no less than 60/60/60 from both sides in lieu of 120/30/30</p> <p>It is proposed for the external walls of demountable classroom 5 to have no FRL in lieu of an FRL of 90/90/90 and 60/60/60 from the outside only.</p> <p>It is proposed for the external walls of all proposed demountable classrooms (1-7) to achieve no FRL.</p>	<p>If future construction is proposed within 3 m of the proposed demountable classrooms (1-7), this performance solution is to be reviewed.</p> <p>Openings within the northern wall of the toilet block are to be covered and fire rated to achieve an FRL of no less than 60/60/60.</p> <p>The northern wall of the toilet block is to achieve an FRL of no less than 60/60/60.</p> <p>The eastern external wall of the Middle School building adjoining demountable classroom 5 is to achieve an FRL of no less than 60/60/60.</p> <p>The automatic smoke detection system installed within demountable classrooms 1-4 is to be designated as a single zone and interlinked with the automatic smoke detection system provided to the Junior School building.</p> <p>If the automatic fire detection system is triggered within either the demountable classrooms 1-4 or the Junior School buildings, both buildings are to be evacuated.</p> <p>The automatic smoke detection system installed within demountable classroom 5 is to be provided a separate zone and interlinked with the automatic smoke detection system provided to the Middle School building.</p> <p>If the automatic fire detection system is triggered within either the demountable classroom 5 or Middle School building, both buildings are to be evacuated.</p>	C2D2	C1P1, C1P2	A2G1 (2)	A2G2 (2)(b)(ii)	C

<p>2</p>	<p>It is proposed for the eastern external wall of the Middle School building to achieve an FRL of 60/60/60 in lieu of 90/90/90.</p> <p>It is proposed for the eastern external wall columns of the Sports and Communal Hall building to achieve an FRL of 120/30/- in lieu of 120/30/30.</p> <p>It is proposed for the southern external wall of the Junior School building to achieve an FRL of 60/60/60 in lieu of 120/30/30 as required by the BCA.</p> <p>It is proposed for the demountable classrooms 1-4 and the Junior School building to be considered a united building</p>	<p>It is proposed for the eastern external wall of the Middle School building to achieve an FRL of 60/60/60 in lieu of 90/90/90 from the outside only.</p> <p>It is proposed for the western external wall of the Sports and Communal Hall building to achieve an FRL of 120/30/- in lieu of 120/30/30.</p> <p>It is proposed for the southern external wall of the Junior School building to achieve an FRL of 60/60/60 in lieu of 120/30/30 in accordance with the requirements of Table S5C21a of the BCA.</p> <p>It is proposed for the demountable classrooms 1-4 and the Junior School building to be considered a united building.</p> <p>The automatic smoke detection system installed within demountable classrooms 1-4 is to be designated as a single zone and interlinked with the automatic smoke detection system provided to the Junior School building.</p> <p>If the automatic fire detection system is triggered within either the demountable classrooms 1-4 or the Junior School buildings, both buildings are to be evacuated.</p> <p>The automatic smoke detection system installed within demountable classroom 5 is to be provided a separate zone and interlinked with the automatic smoke detection system provided to the Middle School building.</p> <p>If the automatic fire detection system is triggered within either the demountable classroom 5 or Middle School building, both buildings are to be evacuated.</p>	<p>C2D2</p>	<p>C1P1, C1P2</p>	<p>A2G1 (2)</p>	<p>A2G2 (2)(b)(ii)</p>	<p>C</p>
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3	It is proposed that all building are to be monitored by the existing FDCIE located in the administration building.	<p>All buildings within the school are proposed to be served by a single FDCIE located in the administration building.</p> <p>Updated block plans are to be produced detailing all zones within subject development.</p> <p>Block plans are to be installed adjacent to the FDCIE and MIMIC panels.</p>	E2D9 S20C4	E4P3	A2G1 (2)	A2G2 (2)(b)(ii)	C
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The Performance-Based Design Report identifies departures to the DtS provisions of the NCC and accordingly addresses this through performance solutions. These are summarised above. A full description of the variations, non-compliances, and methodologies used to meet the NCC Performance Requirements and Assessment Methods are contained in the Performance-Based Design Report VFC-220106-02R I01R01 submitted by Vortex Fire.

Sub-system A – Fire Initiation and Development

Sub-system B – Smoke Development and Spread & Control

Sub-system C – Fire Spread and Impact and Control.

Sub-system D – Fire Detection, Warning and Suppression

Sub-system E – Occupant Evacuation and Control

Sub-system F – Fire Brigade Intervention.

\*The information provided is not exhaustive and may not cover all aspects of the submitted performance-based design report.

## Conditions for ACTF&R endorsement of the Performance-Based Design:

### Direction to install fire appliances

After assessment of the Performance-Based Design Report referred to ACT Fire & Rescue, the owner of the building, pursuant to Part 5.4 Section 92 of the ACT Emergencies Act (2004), is hereby directed to install fire appliances in the building as required by the NCC and the Performance-Based Design Report VFC-220106-02R I01R01.

### ACT Fire & Rescue final clearance inspection

Final ACTF&R approval for the performance-based design is dependent on the outcome of a clearance inspection undertaken by the ACTF&R at the completion of building works. The clearance inspection may examine all aspects of the buildings fire safety measures as required by the NCC and the Performance-Based Design Report. Appropriate certification and documentation will be required for all installed fire safety measures.

### Notification of performance solution

A permanent plaque, as shown below, is to be provided at the main entrance, "Fire Indicator Panel" or "Fire Control Centre/Room". The wording "PERFORMANCE SOLUTION" shall be in 20mm high capital letters with other letters at 10mm high. All lettering is to be in a colour contrasting with the background.

#### PERFORMANCE SOLUTION

This building incorporates performance-based designs for the purpose of National Construction Code compliance. These designs may place limits on changes to the building use, elements of the building structure, building services or fire systems within the building. For details, contact ACT Fire & Rescue Community Safety Section or building manager".

### Change in use

This endorsement is limited to the building as described in the Performance-Based Design Report. If the building is subject to change of use, alterations, or additions, including any change to fire hazards or proximity to fire source features a reassessment will be required to ensure consistency with the fire safety measures contained within this proposal and the NCC.

### Handover to building owner

The Building Certifier and/or project manager for the building works are to ensure the owner/manager of the building(s) is aware of the directions and recommendations ACTF&R have set for this approval. A copy of the Performance Based Design Report is to be forwarded to the building owner & building manager for retention on file.

### Maintenance of fire protection systems and equipment

The safety of a building depends in part on how the building and its fire safety systems are maintained. The ACT Emergency Act (2004), Part 5.4, Section 95 requires the maintenance of fire protection systems to:

- AS 1851 (Routine service of fire protection systems and equipment) as in force from time to time;
- AS/NZS 2293.2 (Emergency evacuation lighting for buildings Inspection and maintenance) as in force from time to time;
- a standard approved for the fire appliance as part of a building approval issued for the premises under the Building Act 2004, section 28;
- a standard of maintenance prescribed by regulation.

Records of maintenance as per the Standards must be kept by the building owner or their delegated representative on site. These records including logbooks, summary records and yearly condition reports are to be available for inspection by ACTF&R within 48 hours following request. For further information please see the ACTF&R guideline:

[FSG-05 Maintenance of fire protection systems and equipment in Class 2 – 9 buildings.](#)

## Planning for emergencies in facilities

To further safeguard building occupants from the effects of a fire emergency, it is recommended that a well-managed evacuation management plan and procedures be established, including accredited fire warden training and periodic evacuation drills. (Ref: AS3745 – 2010, Planning for Emergencies in Facilities).

## Electric vehicles (EV) and EV charging equipment

The inclusion of Electric Vehicles and EV Charging Facilities within buildings introduces a new hazard into the built environment. ACTF&R consider the implementation of Clauses E1.10 and E2.3 as appropriate mechanisms by which to document and address requirements for proposed installations of Electric Vehicle charging equipment and Electric Vehicles within the building.

To address clauses E1.10 and E2.3 a Risk Assessment is to be prepared in the form of a Special Hazard Report, identifying the risks, and determining the required safety measures for the subject building.

ACTF&R support the Australasian Fire and Emergency Service Authorities Council Limited (AFAC) Procedural Position for Electric Vehicles and EV charging equipment in the built environment. This has been adopted as Fire Safety Guideline 22 (FSG – 22). FSG-22 can be accessed in the following location - [Fire Safety | ACT Emergency Services Agency](#). The considerations in FSG-22 should be used when preparing a Special Hazard Report.

## Supporting documentation

### Onsite inspection & letter of support

An onsite inspection and associated inspection report from the consulting fire safety engineer will be required at the completion of building works verifying that:

- The construction of the building works is consistent with the approved performance-based design.
- The fire safety features, measures, systems and specifications stipulated in the Performance-Based Design Report have been installed and commissioned satisfactorily.
- Verification that all aspects of the trial design are installed and implemented as per the design detailed in the approved Performance-Based Design Report.
- The management in use and maintenance regimes stipulated in the Performance-Based Design Report are in place and the building owner has been notified.

### Independent Sprinkler System Certification

For any building containing an automatic sprinkler system, a certificate from an independent authorised inspector certifying that the work has been completed in accordance with the relevant standard and regulations is required.

The following documentation may be required upon request:

- Supporting documentation such as an NCC Audit, stating that all aspects of the building comply with the DTS provisions of the NCC other than those that have been addressed and approved in the Performance Based Design Report.
- Independent certification stating that fire safety systems included in the building that are not part of the performance-based design comply with the DTS provisions of the NCC.

## ACTF&amp;R advice regarding building approval application

In accordance with Part 3 Section 20 of the Building (General) Regulation (2008) ACTF&R support the building approval application. Please ensure any additional conditions and recommendations provided have been met.

Report Prepared By:	Fire Safety and Engineered Solutions Station Officer Bill McTernan 02 6207 8372 <a href="mailto:actbfireengineer@act.gov.au">actbfireengineer@act.gov.au</a>	Sch 2.2(a)(ii)	28/08/2024
Report Verified By:	Manager Fire Safety & Engineered Solutions Commander Chris White 02 6205 0986 <a href="mailto:CMDRfiresafety@act.gov.au">CMDRfiresafety@act.gov.au</a>		8/08/2024

For the Chief Officer ACT Fire & Rescue.

Sch 2.2(a)(xi)

Sch 2.2(a)(ii), Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

# Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(ii), Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

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Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

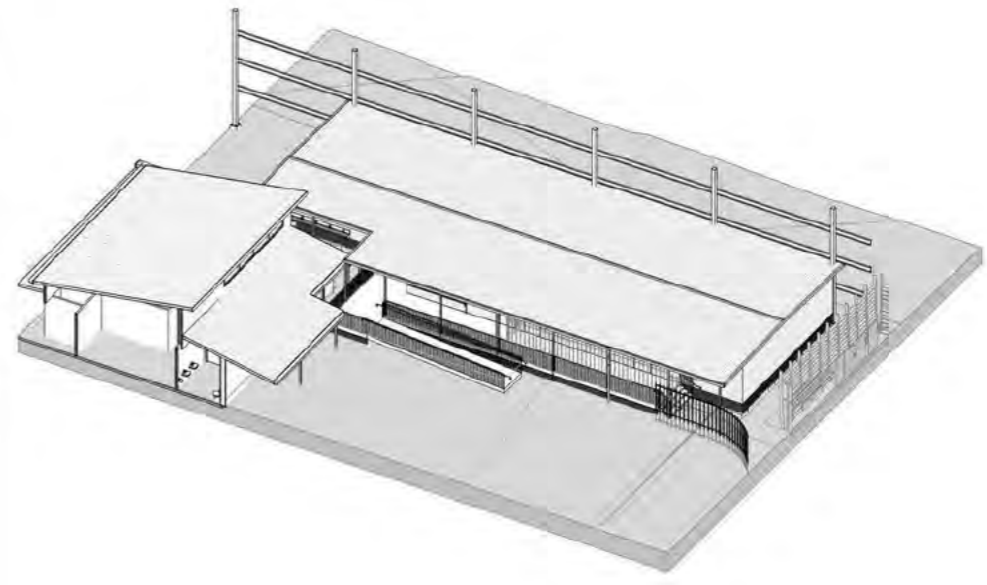
Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

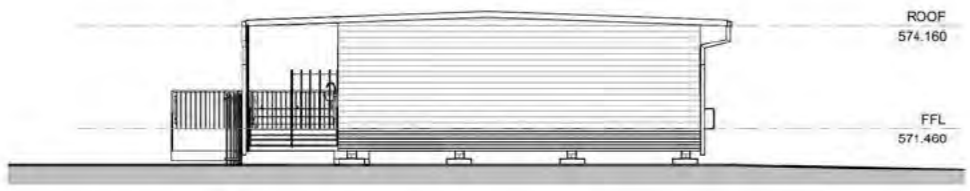
Sch 2.2(a)(xi)

Sch 2.2(a)(xi), Sch 2.2(a)(ii)

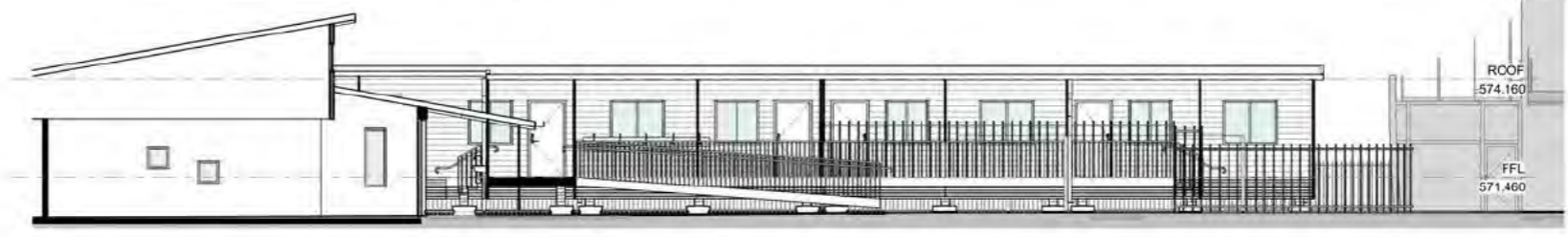
# Sch 2.2(a)(xi)



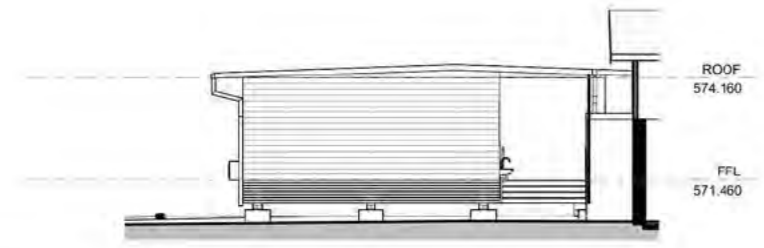
6 DEMOUNTABLE UNIT 4 OFF



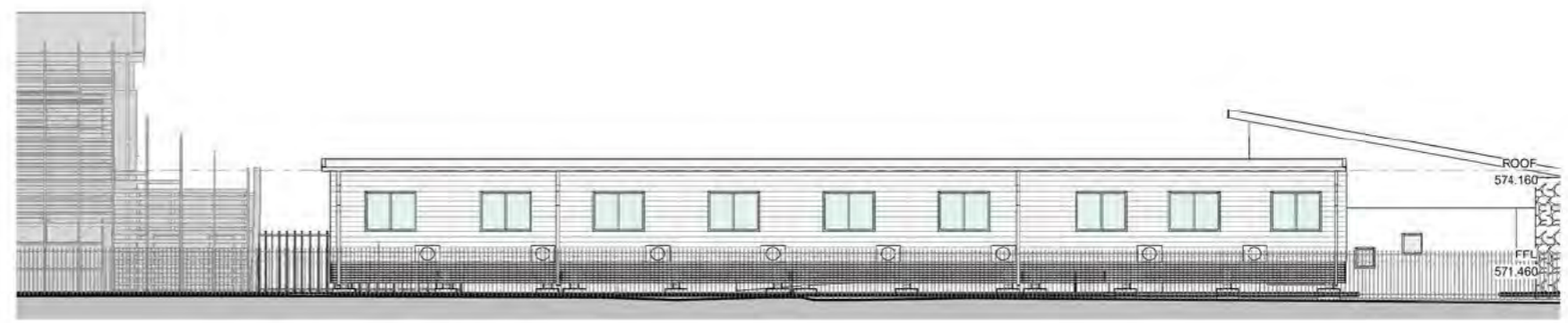
3 4 DEMOUNTABLE UNITS - RIGHT VIEW  
1:100



2 4 DEMOUNTABLE UNITS\_ FRONT VIEW  
1:100



5 4 DEMOUNTABLE UNITS\_ LEFT VIEW  
1:100



4 4 DEMOUNTABLE UNITS\_ REAR VIEW  
1:100

No.	Date	Description
A	23.01.23	FOR REVIEW
B	28.06.23	CUT SECTION OF THE EXISTING ROOF
C	03.04.24	ELECTRICAL INPUT
D	24.06.24	ISSUE FOR BA



Architecture  
Interiors  
Access  
Heritage

Client:  
**BRINDABELLA CHRISTIAN COLLEGE**

Project Title:  
MASTERPLANNING STUDIES

4 41 Lyneham  
136 BRIGALOW STREET, LYNEHAM ACT 2602

Design Project Manager:  
SV

Project Delivery Leader:  
DT

Quality Manager:  
SV

Drawn:

Drawing Title:  
**4 DEMOUNTABLE UNITS PLAN**

Scale:  
1:100

Sheet Size:  
A1

Project No:  
**1506.19**

Sheet No:  
**A110**

Amendment:  
**D**



ISSUE FOR BA

All dimensions in millimetres. Do not scale drawing. All dimensions and levels to be verified on site by contractor before commencing work or preparation of shop drawings. Where provided, drawings must be used in conjunction with schedule of work or specification.





# Sch 2.2(a)(xi)

SYMBOL LEGEND	
	EXIT SIGN
	EMERGENCY BACKUP FLOURESCENT LIGHT
	FLOURESCENT LIGHT
	SINGLE FLOURESCENT LIGHT
	LIGHT SWITCH
	PHOTO ELECTRIC LIGHT SWITCH
	POE - POINT OF ENTRY
	DOUBLE GPO
	DISTRBUTION SWITCHBOARD
	SPEAKER - PA
	OCCUPANCY SENSOR - BSD
	FIRE ALARM
	EXIT SIGN LIGHT - BEM
	SMOKE DETECTORS - OCS

No.	Date	Description
A	03/04/24	ELECTRICAL INPUT
B	22/05/24	REVISED PLANS
C	24/06/24	ISSUE FOR BA

**SQC GROUP**

Architecture  
Interiors  
Access  
Heritage

Client: **BRINDABELLA CHRISTIAN COLLEGE**

Design Project Manager: SV

Project Delivery Leader: DT

Quality Manager: SV

Drawn

Project Title: **MASTERPLANNING STUDIES**

4 41 Lyneham

136 BRIGALOW STREET, LYNEHAM ACT 2602

Drawing Title: **ELECTRICAL + FIRE DETAIL**

Scale: 1 : 50

Project No: **1506.19**

Sheet Size: A1

Sheet No: **A500**

Amendment: **C**

**Building Approval**  
is issued under section 28 of the Building Act 2004  
CBS Commercial Certifiers Pty Ltd

**Sch 2.2(a)(ii)**

4/09/2024 Licence No: 2019938

ISSUE FOR BA

All dimensions in millimetres. Do not scale drawing. All dimensions and levels to be verified on site by contractor before commencing work or preparation of shop drawings, where provided, drawings must be read in conjunction with schedule of work or specification.



# Sch 2.2(a)(xi)



LENGTH OF RAMP AND RLS - TBC

### ROOM SCHEDULE BUILDING 1

ROOM	AREA	FLOOR FINISH	WALL FINISH	CEILING FINISH
GLS 01	62 m <sup>2</sup>	CARPET TILE	POLYPLY IN H-MOULDS	PAINTED VILLABOARD
GLS 02	62 m <sup>2</sup>	CARPET TILE	POLYPLY IN H-MOULDS	PAINTED VILLABOARD
GLS 03	62 m <sup>2</sup>	CARPET TILE	POLYPLY IN H-MOULDS	PAINTED VILLABOARD
GLS 04	62 m <sup>2</sup>	CARPET TILE	POLYPLY IN H-MOULDS	PAINTED VILLABOARD
VERANDA	67 m <sup>2</sup>	MODWOOD	CUSTOM ORB CLADDING	PANELRIB LINING

**NOTE**  
\* ALLOW FOR CONDUIT AND DRAW WIRES FOR SMOKE DETECTORS AND SPEAKERS

No.	Date	Description
A	03.04.24	ELECTRICAL INPUT
B	22.05.24	REVISED PLANS
C	24.06.24	ISSUE FOR BA



Architecture  
Interiors  
Access  
Heritage

Client:  
**BRINDABELLA CHRISTIAN COLLEGE**  
  
Project Title:  
MASTERPLANNING STUDIES  
  
4 41 Lyneham  
  
136 BRIGALOW STREET, LYNEHAM ACT 2602

Design Project Manager:  
SV  
  
Project Delivery Leader:  
DT  
  
Quality Manager:  
SV  
  
Drawn:

Drawing Title:  
**ELECTRICAL DETAIL**  
  
Scale:  
  
Sheet Size:  
A1  
  
Project No:  
**1506.19**  
Sheet No:  
**A501**  
Amendment:  
**C**



ISSUE FOR BA

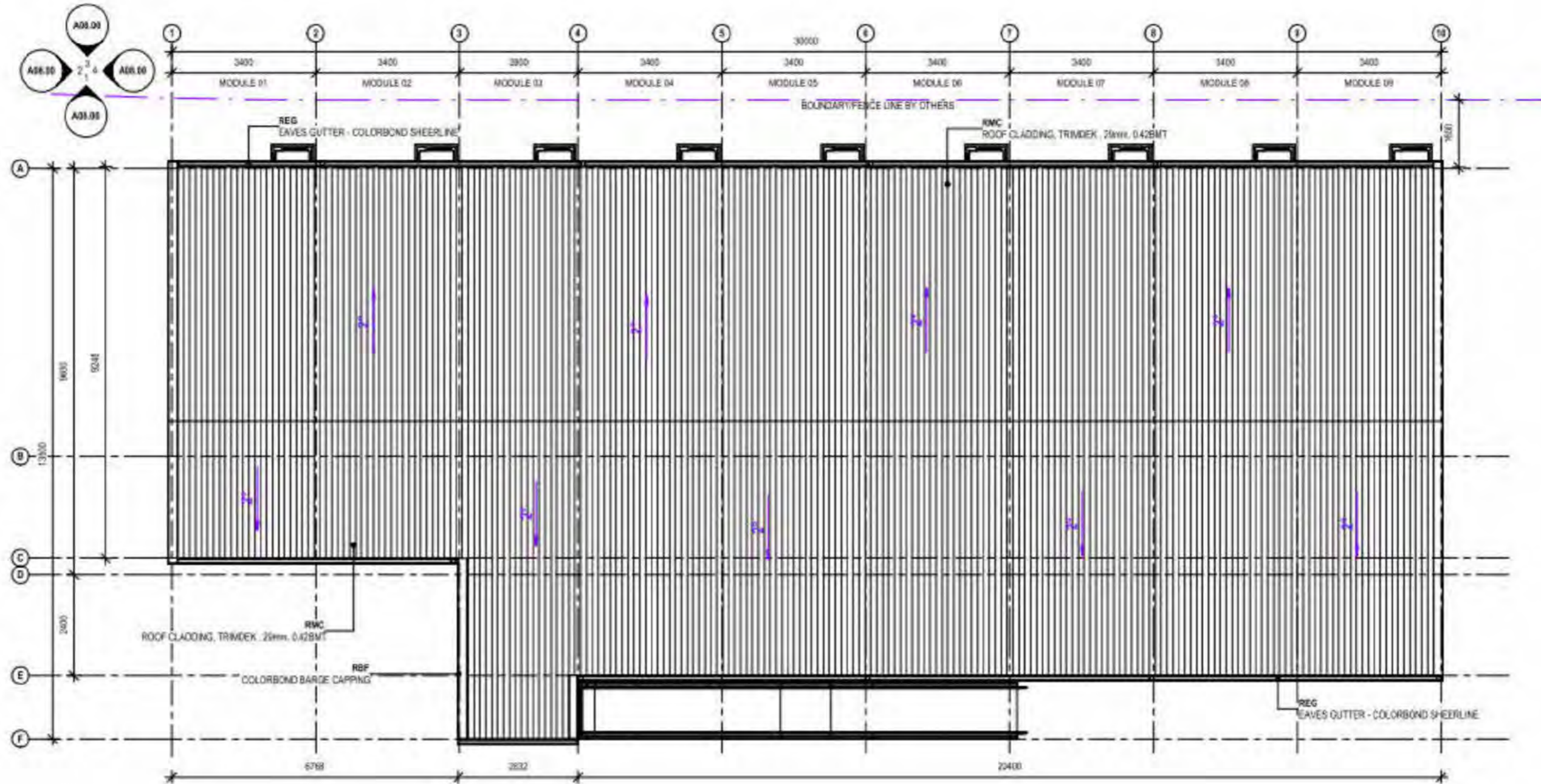
All dimensions in millimetres. Do not scale drawing. All dimensions and levels to be verified on site by contractor before commencing work or preparation of shop drawings. Where provided, drawings must be read in conjunction with schedule of work or specification.

**ROOF NOTES**

ROOF ANCHORS SHOWN ARE INDICATIVE ONLY. ROOF ANCHOR DESIGN TO COMPLY WITH NCC & RELEVANT AUSTRALIAN STANDARDS INCLUDING BUT NOT LIMITED TO AS1891 4 & AS1552  
 METAL SHEET ROOFING TO BE IN ACCORDANCE WITH AS1592 1-1102  
 DOWNPIPES TO SERVE NOT MORE THAN 12M OF ROOF  
 DOWNPIPES TO BE CONNECTED INTO AN IN-GROUND STORMWATER PIPE BY OTHERS.

ROOF SCHEDULE		
TAG	MATERIAL DESCRIPTION	MATERIAL TREATMENT
TRIMDEK ROOFING		
RMC	ROOF CLADDING, TRIMDEK, 28mm, 0.42BMT	SHALE GREY
RM	R1.3 ROOF BLANKET	

GUTTER SCHEDULE		
TAG	DESCRIPTION	COMMENTS
REG	EAVES GUTTER - COLORBOND SHEERLINE	WOODLAND GREY



No.	Date	Description
A	03.04.24	ELECTRICAL INPUT
B	24.06.24	ISSUE FOR BA



Architecture  
 Interiors  
 Access  
 Heritage

Client: BRINDABELLA CHRISTIAN COLLEGE  
 Project Title: MASTERPLANNING STUDIES  
 4 41 Lyneham  
 136 BRIGALOW STREET, LYNEHAM ACT 2602

Design Project Manager: SV  
 Project Delivery Leader: DT  
 Quality Manager: SV  
 Drawn:

Drawing Title: ROOF PLAN BUILDING 1  
 Scale: Sheet Size: A1  
 Project No: 1506.19 Sheet No: A502  
 Amendment: B



ISSUE FOR BA

All dimensions in millimetres. Do not scale drawing. All dimensions and levels to be verified on site by contractor before commencing work or preparation of shop drawings. Where provided, drawings must be read in conjunction with schedule of work or specification.

# Sch 2.2(a)(xi)

No.	Date	Description
A	03.04.24	ELECTRICAL INPUT
B	24.06.24	ISSUE FOR BA



- Architecture
- Interiors
- Access
- Heritage

Client:  
**BRINDABELLA CHRISTIAN COLLEGE**

Project Title:  
MASTERPLANNING STUDIES

4 41 Lyneham

136 BRIGALOW STREET, LYNEHAM ACT 2602

Design Project Manager:  
SV

Project Delivery Leader:  
DT

Quality Manager:  
SV

Drawn

Drawing Title:  
**BUILDING SECTION**

Scale: Sheet Size:  
A1

Project No.: **1506.19** Sheet No.: **A503**

Amendment:  
**B**



ISSUE FOR BA

All dimensions in millimetres. Do not scale drawing. All dimensions and levels to be verified on site by contractor before commencing work or preparation of shop drawings. Where provided, drawings must be read in conjunction with schedule of work or specifications.

SHEET NUMBER	SHEET NAME	CURRENT REVISION	DATE	DRAWN	CHECKED
				Sch 2.2(a)(ii)	
A00.00	COVER PAGE	2	17/05/2023		
A00.10	CODE LEGEND	1	28/04/2023		
A00.20	SAFETY IN DESIGN - DESIGN PHASE	1	28/04/2023		
A00.21	SAFETY IN DESIGN - MANUFACTURE & CONSTRUCTION PHASES	1	28/04/2023		
A00.22	SAFETY IN DESIGN - OPERATIONS, MAINTENANCE & DEMOLITION	1	28/04/2023		
A01.00	SITE PLAN	1	28/04/2023		
A04.00	GENERAL ARRANGEMENT PLAN BUILDING 1	1	28/04/2023		
A04.50	ROOF PLAN BUILDING 1	1	28/04/2023		
A06.20	WALL SECTIONS BUILDING 1	1	28/04/2023		
A07.00	REFLECTED CEILING PLAN BUILDING 1	1	28/04/2023		
A08.00	BUILDING ELEVATIONS - BUILDING 1	1	28/04/2023		
A09.00	BUILDING SECTIONS	2	17/05/2023		
A12.20	JOINERY DETAILS - ARTS & CRAFTS BENCH	1	28/04/2023		
A12.30	SECTION DETAILS - BUILDING 1	2	17/05/2023		
S01.00	FOOTING PLAN BUILDING 1	1	28/04/2023		



# BRINDABELLA CHRISTIAN COLLEGE

PROJECT NO:  
J003639

PROJECT CLIENT  
VAMOS

PROJECT STATUS  
ISSUED FOR CONSTRUCTION

PROJECT ADDRESS:  
136 BRIGALOW STREET, LYNEHAM ACT 2602



# Sch 2.2(a)(xi)

SITE INFORMATION:

ADDRESS: 136 BRIGALOW STREET, LYNEHAM ACT 2602
LOT: LOT 89 ON DP 261088
ZONING: EDUCATION
CYCLONIC REGION CLASSIFICATION: REGION A3, TERRAIN CATEGORY 2
CLIMATE ZONE: ZONE 7

Table with 2 columns: Item, Description. Includes ROOF section with TRIMDEK ROOFING, RMC, RIN.

Table with 2 columns: Item, Description. Includes GUTTER section with REG.

Table with 2 columns: Item, Description. Includes CEILING section with ECL-01, CMC, SCJ, ICL-01, CFC, CIN, SCJ.

Table with 2 columns: Item, Description. Includes FLOOR section with FL01, FL02, FL03 and various sub-items like FCT, FTM, SFJ-01, SSB-15P.

Table with 2 columns: Item, Description. Includes WALL & SKIRTING section with EW02, WMC, WBA, WSI, SMS, WIN, WPY, IW01, WT04.

Table with 2 columns: Item, Description. Includes FASCIA section with RBF.

Table with 2 columns: Item, Description. Includes FITTINGS & FIXTURES section with TGS1.

Table with 2 columns: Item, Description. Includes MECHANICAL FIXTURES section with BAC, BCU, BCU-#.

Table with 2 columns: Item, Description. Includes PLUMBING FIXTURES section with RWP.

Table with 2 columns: Item, Description. Includes LIGHTING FIXTURES section with BBL-01, BBL-02, BEM, BEX, BPE.

Table with 2 columns: Item, Description. Includes ELECTRICAL EQUIPMENT section with BDB.



Table with 12 columns: TYPE, QTY, PANELWIDTH, HEIGHT, DOOR TYPE, FRAME TYPE, FRAME COLOUR, PANEL TYPE, PANEL COLOUR, HARDWARE, CLOSER, COMMENTS. Includes DOOR SCHEDULE with D1.

Table with 10 columns: TYPE, QTY, WIDTH, HEIGHT, HEAD HEIGHT, WINDOW TYPE, FRAME TYPE, FRAME COLOUR, GLAZING, COMMENTS. Includes WINDOW SCHEDULE with W11.

Table with 4 columns: NO., DESCRIPTION, DATE, BY, CHK'D. Includes revision history for Sch 2.2(a)(xi).

Sch 2.2(a)(xi)

PROJECT NO.: 19
PROJECT: BRINDABELLA CHRISTIAN COLLEGE
PROJECT STATUS: ISSUED FOR CONSTRUCTION
PROJECT CLIENT: S

PROJECT ADDRESS: 136 BRIGALOW STREET, LYNEHAM ACT 2602

Sch 2.2(a)(xi)

# Sch 2.2(a)(xi)



NO.	DESCRIPTION	DATE	BY	CHK'D
1	ISSUED FOR CONSTRUCTION	28/04/2023		
E	ISSUED FOR SECTION J	21/04/2023		
D	ISSUED FOR APPROVAL/ CLIENTS COMMENTS INCORPORATED - BUILDING 1	15/02/2023		
C	ISSUE FOR APPROVAL	31/01/2023		
B	ISSUE FOR APPROVAL/ CLIENTS COMMENTS INCORPORATED	30/01/2023		
A	CONCEPT DESIGN	20/10/2022		

## Sch 2.2(a)(xi)

PROJECT NO.:  
J003639

PROJECT:  
BRINDABELLA CHRISTIAN COLLEGE

PROJECT STATUS:  
ISSUED FOR CONSTRUCTION

PROJECT CLIENT:  
VAMOS

PROJECT ADDRESS:  
136 BRIGALOW STREET, LYNEHAM ACT 2602

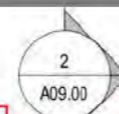
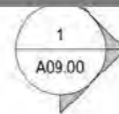
NORTH



## Sch 2.2(a)(xi)

BUILDING CLASSIFICATION:  
 RISE IN STOREY:  
 CONSTRUCTION TYPE:  
 CYCLONIC REGION:  
 CLIMATE ZONE:

# Sch 2.2(a)(xi)



LENGTH OF RAMP AND RL'S - TBC

**Building Approval**  
Is issued under section 28 of the Building Act 2004  
 CBS Commercial Certifiers Pty Ltd  
**Sch 2.2(a)(ii)**  
4/09/2024 Licence No. 2019938

NOTE:  
 ALLOW FOR CONDUIT AND DRAW WIRES FOR SMOKE DETECTORS AND SPEAKERS

**ROOM SCHEDULE BUILDING 1**

ROOM	AREA	FLOOR FINISH	WALL FINISH	CEILING FINISH
GLS 01	62 m <sup>2</sup>	CARPET TILE	POLYPLY IN H-MOULDS	PAINTED VILLABOARD
GLS 02	62 m <sup>2</sup>	CARPET TILE	POLYPLY IN H-MOULDS	PAINTED VILLABOARD
GLS 03	62 m <sup>2</sup>	CARPET TILE	POLYPLY IN H-MOULDS	PAINTED VILLABOARD
GLS 04	62 m <sup>2</sup>	CARPET TILE	POLYPLY IN H-MOULDS	PAINTED VILLABOARD
VERANDA	67 m <sup>2</sup>	MODWOOD	CUSTOM ORB CLADDING	PANELRIB LINING

NO.	DESCRIPTION	DATE
1	ISSUED FOR CONSTRUCTION	28/04/2022
F	ISSUED FOR SECTION J	21/04/2022
E	ISSUED FOR APPROVAL/ CLIENTS COMMENTS INCORPORATED - BUILDING 1	15/02/2022
D	ISSUE FOR APPROVAL	31/01/2022
C	ISSUE FOR APPROVAL/ CLIENTS COMMENTS INCORPORATED	30/01/2022
B	FOR APPROVAL	20/01/2022
A	CONCEPT DESIGN	20/10/2021

# Sch 2.2(a)(xi)

PROJECT:  
 BRINDABELLA CHRISTIAN COLLEGE

PROJECT ADDRESS:  
 136 BRIGALOW STREET, LYNEHAM ACT 2602

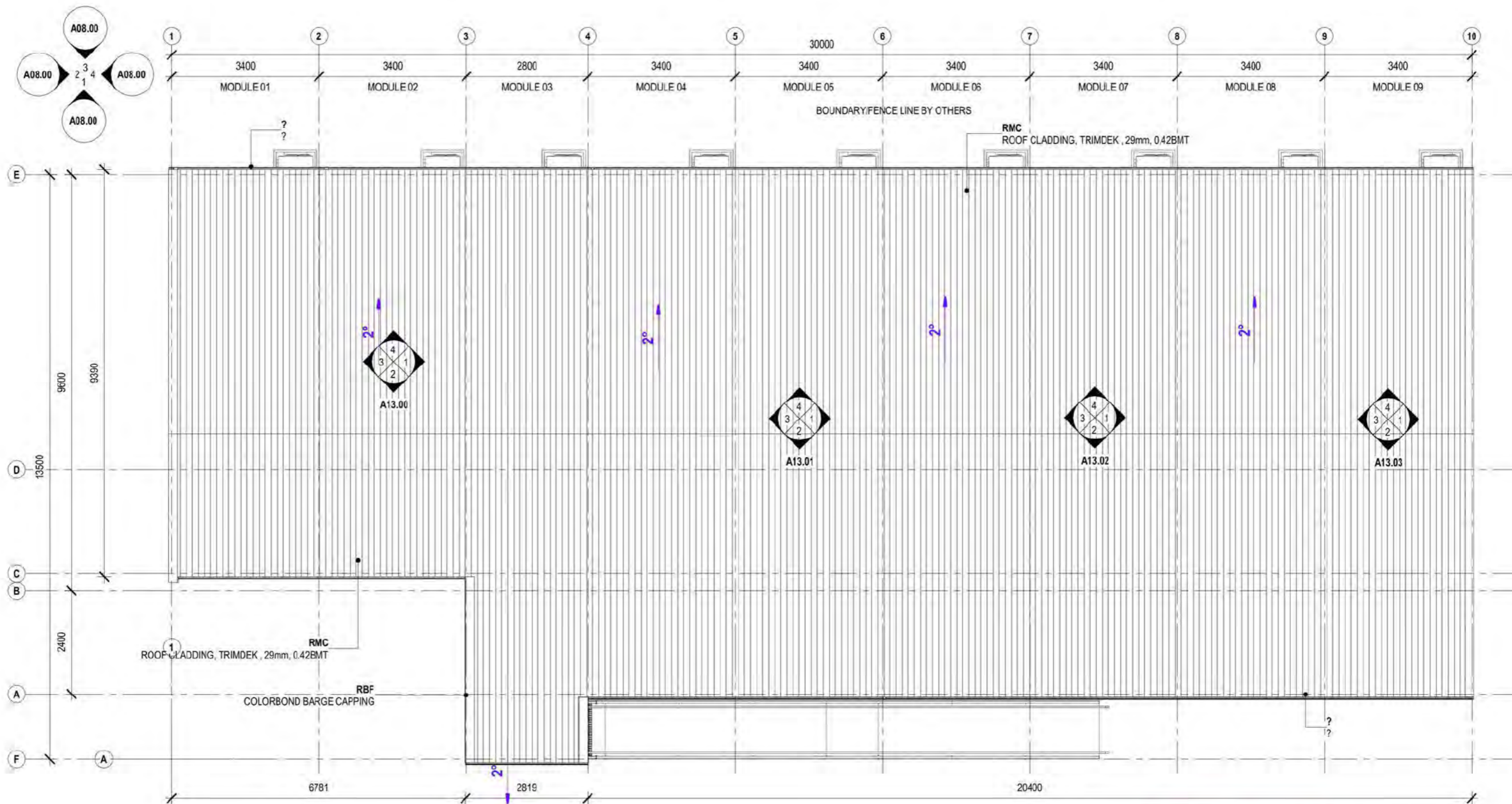
# Sch 2.2(a)(xi)

**ROOF NOTES**

ROOF ANCHORS SHOWN ARE INDICATIVE ONLY. ROOF ANCHOR DESIGN TO COMPLY WITH NCC & RELEVANT AUSTRALIAN STANDARDS INCLUDING BUT NOT LIMITED TO AS1891.4 & AS5532  
 METAL SHEET ROOFING TO BE IN ACCORDANCE WITH AS1562.1-1992  
 DOWNPIPES TO SERVE NOT MORE THAN 12M OF ROOF.  
 DOWNPIPES TO BE CONNECTED INTO AN IN-GROUND STORMWATER PIPE BY OTHERS.

ROOF SCHEDULE		
TAG	MATERIAL: DESCRIPTION	MATERIAL: TREATMENT
TRIMDEK ROOFING		
RMC	ROOF CLADDING, TRIMDEK, 29mm, 0.42BMT	SHALE GREY
RIN	R1.3 ROOF BLANKET	

GUTTER SCHEDULE		
TAG	DESCRIPTION	COMMENTS
REG	EAVES GUTTER - COLORBOND SHEERLINE	WOODLAND GREY



Sch 2.2(a)(xi)

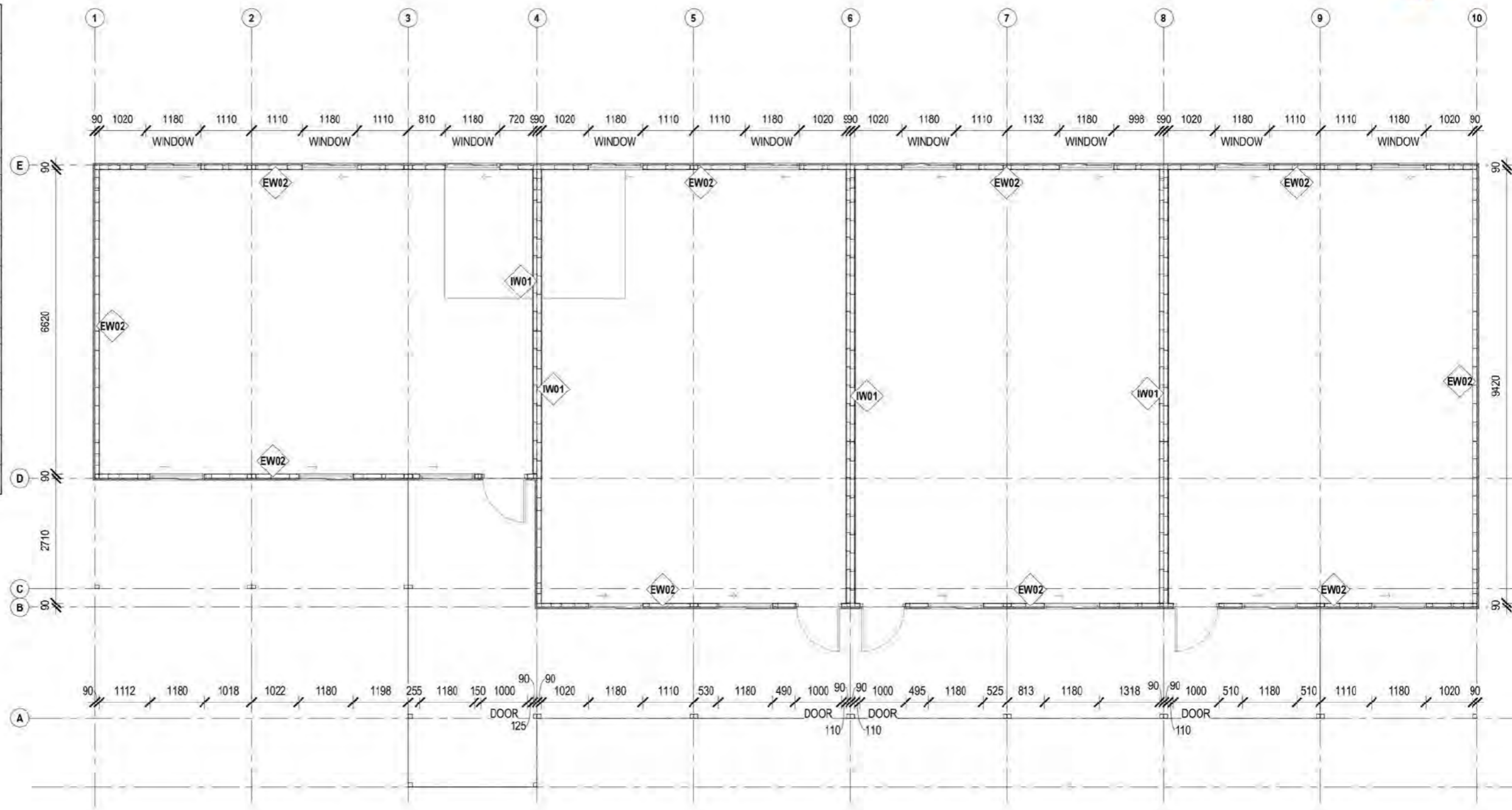
NO.	DESCRIPTION	DATE
1	ISSUED FOR CONSTRUCTION	28/04/2023
F	ISSUED FOR SECTION J	21/04/2023
E	ISSUED FOR APPROVAL/ CLIENTS COMMENTS INCORPORATED - BUILDING 1	15/02/2023
D	ISSUE FOR APPROVAL	31/01/2023
C	ISSUE FOR APPROVAL/ CLIENTS COMMENTS INCORPORATED	30/01/2023
B	FOR APPROVAL	20/01/2023
A	CONCEPT DESIGN	20/10/2022

Sch 2.2(a)(ii) **Sch 2.2(a)(xi)**

PROJECT NO.:  
**J003639**  
 PROJECT STATUS:  
**ISSUED FOR CONSTRUCTION**  
 PROJECT CLIENT:  
**VAMOS**

PROJECT:  
**BRINDABELLA CHRISTIAN COLLEGE**  
 PROJECT ADDRESS:  
**136 BRIGALOW STREET, LYNEHAM ACT 2602**

WALL & SKIRTING SCHEDULE		
TAG	MATERIAL DESCRIPTION	MATERIAL TREATMENT
EW02 CUSTOM ORB EXTERIOR CLADDING (HORIZONTAL) -WOODLAND GREY, 16mm PRE-FINISHED POLYPLY INTERIOR LINING - GREY		
SMS	LIPPED C SECTION, 90mm, 0.95BMT STEEL @ 400 CTS	ALUZINC
WBA	22mm METAL FURRING CHANNEL	
WIN	90mm GLASSWOOL BATTS, R2.7	
WMC	COLORBOND CUSTOM ORB CLADDING, LAID HORIZONTALLY	WOODLAND GREY
WPY	PRE-FINISHED POLYPLY, 3.6mm	GREY EMBOSSED
WSI	KINGSPAN AIRCELL INSULBREAK 90, R0.20, 5mm THICK	NON-REFLECTIVE FACE TO EXTERIOR
IW01 INTERIOR DOUBLE WALL PBD(13)/STUD(90)/AIRGAP(20)/STUD(90)/PBD(13)		
SMS	LIPPED C SECTION, 90mm, 0.95BMT STEEL @ 400 CTS	ALUZINC
WIN	90mm GLASSWOOL BATTS, R2.7	
WPB-F1 3	FIRE RESISTANT PLASTERBOARD, 13mm	
WPY	PRE-FINISHED POLYPLY, 3.6mm	GREY EMBOSSED
IW04 CUSTOM ORB EXTERIOR CLADDING (HORIZONTAL) - WOODLAND GREY, SUBFLOOR		
SMS	LIPPED C SECTION, 90mm, 0.95BMT STEEL @ 400 CTS	ALUZINC
WMC	COLORBOND CUSTOM ORB CLADDING, LAID HORIZONTALLY	WOODLAND GREY



NO.	DESCRIPTION	DATE	BY	CHK'D
1	ISSUED FOR CONSTRUCTION	28/04/2023		

# Sch 2.2(a)(xi)

PROJECT NO.: **J003639**

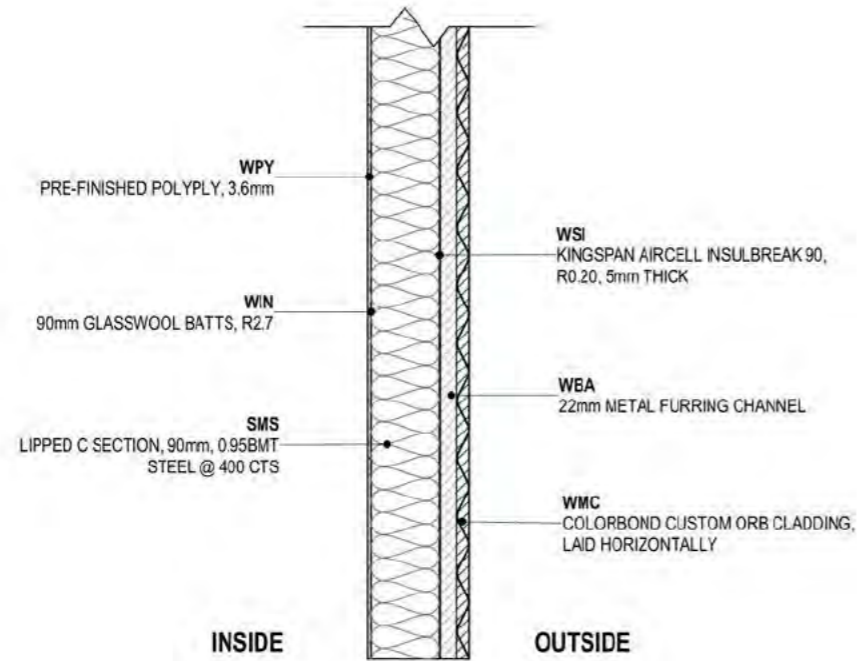
PROJECT STATUS: **ISSUED FOR CONSTRUCTION**

PROJECT CLIENT: **VAMOS**

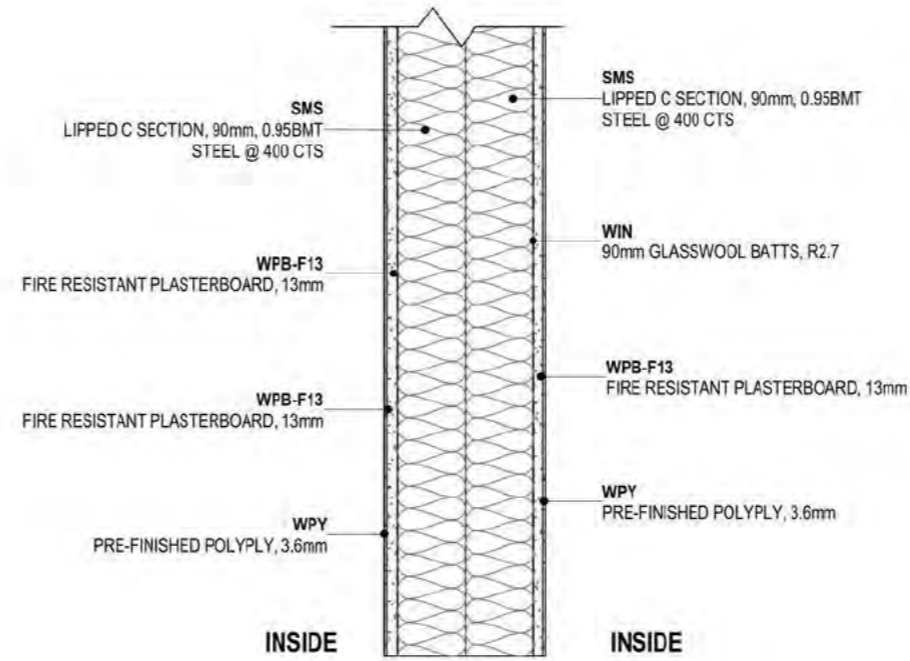
PROJECT: **BRINDABELLA CHRISTIAN COLLEGE**

PROJECT ADDRESS: **136 BRIGALOW STREET, LYNEHAM ACT 2602**

# Sch 2.2(a)(xi)



**EXTERNAL WALL TYPE - EW02**  
**BUILDING-1**



**INTERNAL WALL TYPE - IW01**  
**BUILDING-1**



NO.	DESCRIPTION	DATE	BY	CHK'D
1	ISSUED FOR CONSTRUCTION	28/04/2023		
C	ISSUED FOR SECTION J	21/04/2023		
B	ISSUED FOR APPROVAL - TAGS ADDED	03/04/2023		
A	ISSUED FOR APPROVAL/ CLIENTS COMMENTS INCORPORATED - BUILDING 1	15/02/2023		

**Sch 2.2(a)(xi)**

PROJECT NO.:  
**J003639**

PROJECT STATUS:  
**ISSUED FOR CONSTRUCTION**

PROJECT CLIENT:  
**VAMOS**

PROJECT:  
**BRINDABELLA CHRISTIAN COLLEGE**

PROJECT ADDRESS:  
**136 BRIGALOW STREET, LYNEHAM ACT 2602**

**Sch 2.2(a)(xi)**

# Sch 2.2(a)(xi)

CEILING SCHEDULE		
TAG	MATERIAL: DESCRIPTION	MATERIAL: TREATMENT
ECL-01	EXTERNAL CEILING/SOFFIT - LC90 JOIST WITH 16.0mm CORRUGATED IRON CLADDING	
CMC	COLORBOND PANELRIB CEILING LINING, 3.4mm	SHALE GREY
SCJ	CEILING JOISTS, 90mm LIPPED C SECTION, 0.95BMT ALUZINC G500 @ 400mm CENTRES	ALUZINC
ICL-01	INTERNAL CEILING - LC90 JOIST WITH 6mm VILLABOARD	
CFC	VILLA BOARD LINING, 6mm, H-MOULD JOINERS	PAINTED, DULUX VIVID WHITE PN2E1 FLAT
CIN	90mm GLASSWOOL BATTS, R2.7	
SCJ	CEILING JOISTS, 90mm LIPPED C SECTION, 0.95BMT ALUZINC G500 @ 400mm CENTRES	ALUZINC

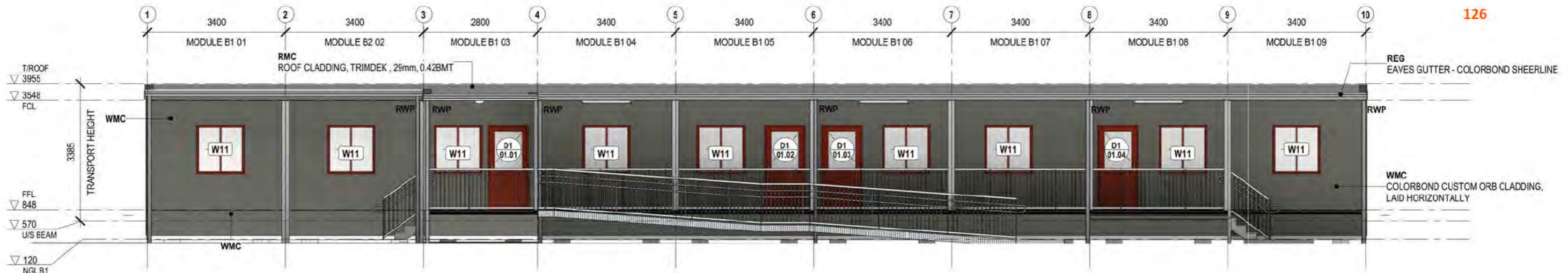


NO.	DESCRIPTION	DATE	BY	CHK'D
1	ISSUED FOR CONSTRUCTION	28/04/2022		
A	ISSUED FOR APPROVAL/ CLIENTS COMMENTS INCORPORATED - BUILDING 1	15/02/2022		

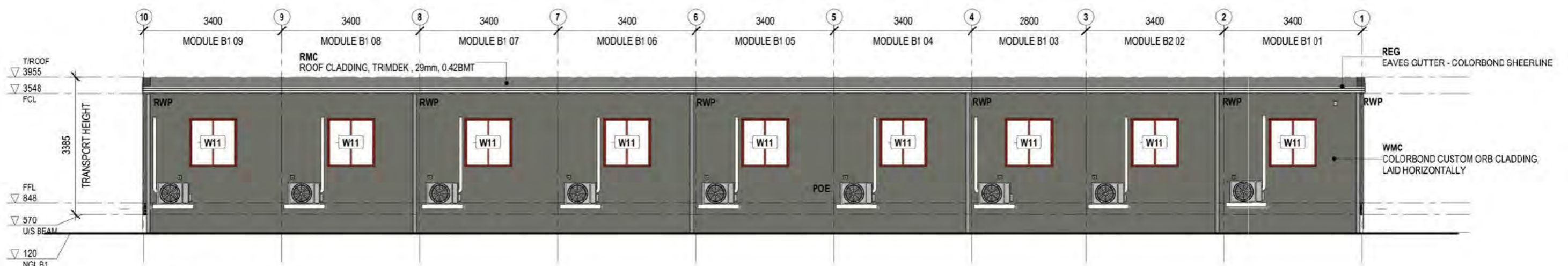
## Sch 2.2(a)(xi)

PROJECT NO.:	J003639	PROJECT:	BRINDABELLA CHRISTIAN COLLEGE
PROJECT STATUS	ISSUED FOR CONSTRUCTION	PROJECT ADDRESS	136 BRIGALOW STREET, LYNEHAM ACT 2602
PROJECT CLIENT	VAMOS		

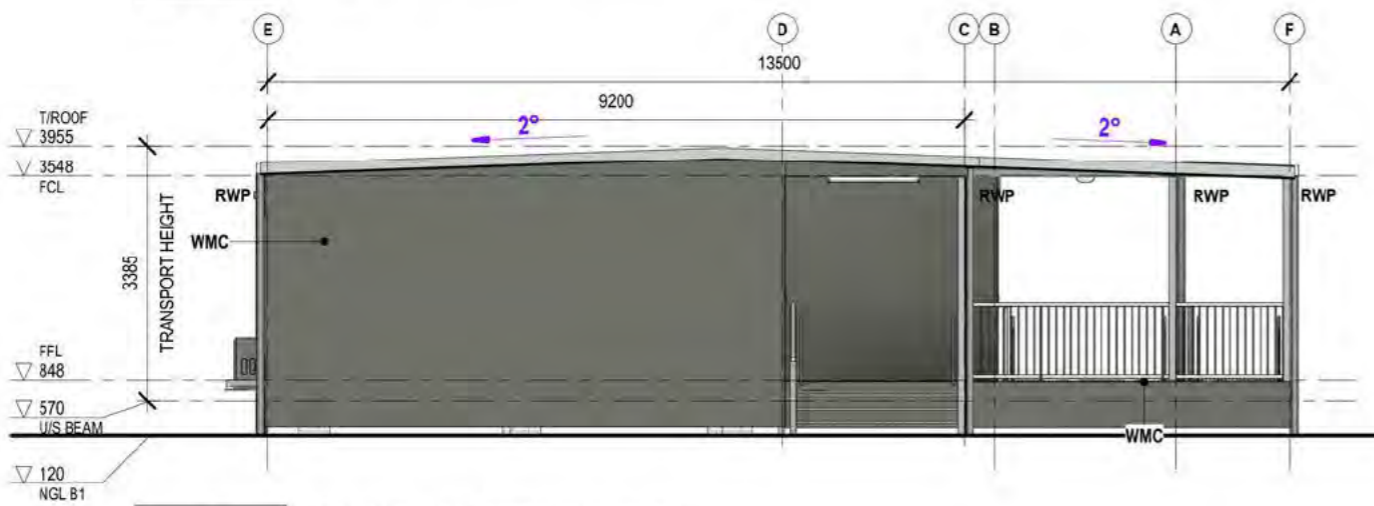
## Sch 2.2(a)(xi)



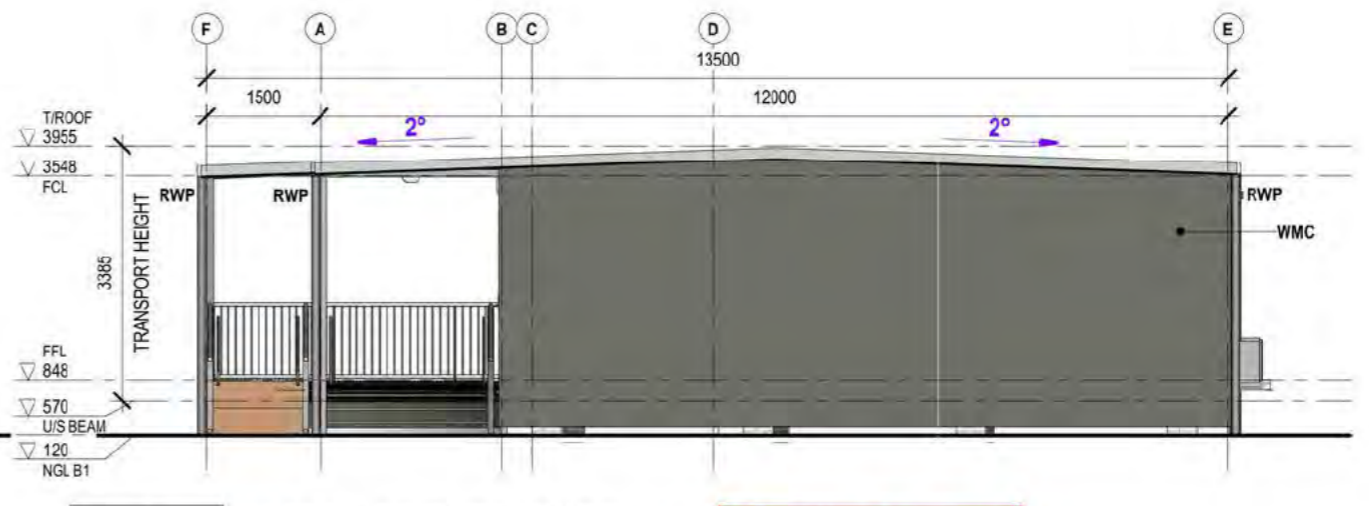
1 BUILDING 1 - FRONT ELEVATION  
A04.00 1:100



3 BUILDING 1 - REAR ELEVATION  
A04.00 1:100



2 BUILDING 1 - LEFT SIDE ELEVATION  
A04.00 1:100



4 BUILDING 1 - RIGHT SIDE ELEVATION  
A04.00 1:100

**Building Approval**  
Is issued under section 28 of the Building Act 2004  
CBS Commercial Certifiers Pty Ltd  
**Sch 2.2(a)(ii)**  
9938

**Sch 2.2(a)(xi)**

**Sch 2.2(a)(xi)**

NO.	DESCRIPTION	DATE
1	ISSUED FOR CONSTRUCTION	28/04/2023
E	ISSUED FOR SECTION J	21/04/2023
D	ISSUED FOR APPROVAL/ CLIENTS COMMENTS INCORPORATED - BUILDING 1	15/02/2023
C	ISSUE FOR APPROVAL/ CLIENTS COMMENTS INCORPORATED	30/01/2023
B	FOR APPROVAL	20/01/2023
A	CONCEPT DESIGN	20/10/2022

Sch 2.2(a)(ii)

PROJECT NO.:  
**J003639**

PROJECT STATUS:  
**ISSUED FOR CONSTRUCTION**

PROJECT CLIENT:  
**VAMOS**

PROJECT:  
**BRINDABELLA CHRISTIAN COLLEGE**

PROJECT ADDRESS:  
**136 BRIGALOW STREET, LYNEHAM ACT 2602**

# Sch 2.2(a)(xi)

E

D

C

B

A

F

5

4

127

2	A04.00
---	--------

**SECTION B-B**  
1:50

150PFC SKID CHASSIS;  
TO ENGINEERS DETAIL

R2.0 UNDERFLOOR INSULATION  
HELD BY PANELRIE

FLOOR JOISTS, 100mm LIPPED C SECTION, 1.55BMT  
TRUECORE G550 @ 480mm CENTRES

**Building Approval**  
Is issued under section 20 of the Building Act 2004  
CBS Commercial Certifiers Pty Ltd  
**Sch 2.2(a)(ii)**  
4/09/2024 Licence No: 2019933

NO.	DESCRIPTION	DATE
2	AMENDED DETAILS AS CLOUDED	17/05/2023
1	ISSUED FOR CONSTRUCTION	28/04/2023
F	ISSUED FOR SECTION J	21/04/2023
E	ISSUED FOR APPROVAL/ CLIENTS COMMENTS INCORPORATED - BUILDING 1	15/02/2023
D	ISSUE FOR APPROVAL	31/01/2023
C	ISSUE FOR APPROVAL/ CLIENTS COMMENTS INCORPORATED	30/01/2023
B	FOR APPROVAL	20/01/2023
A	CONCEPT DESIGN	20/10/2022

## Sch 2.2(a)(xi)

PROJECT NO.:  
**J003639**

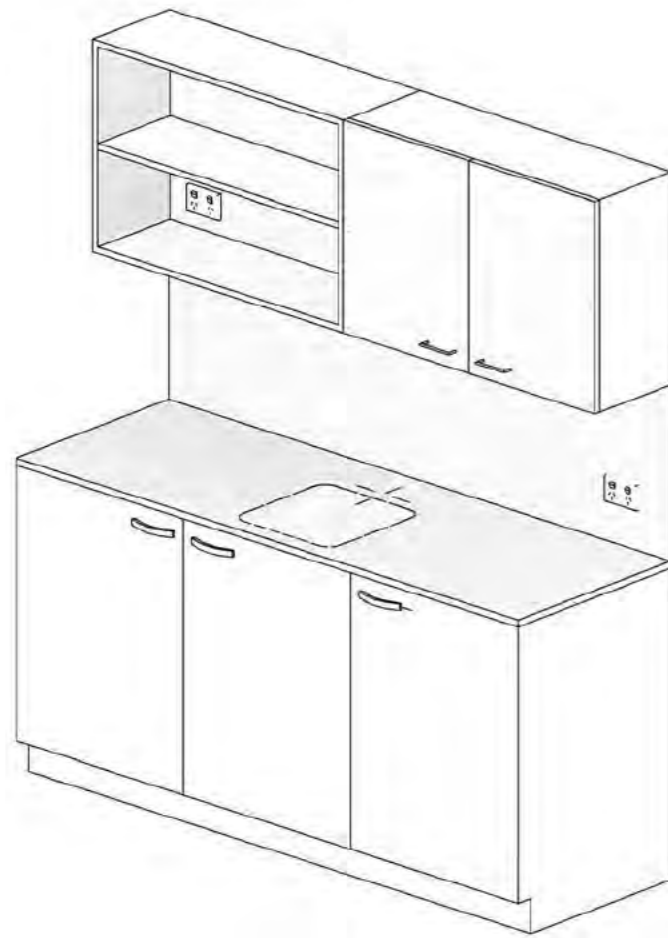
PROJECT:  
**BRINDABELLA CHRISTIAN COLLEGE**

PROJECT STATUS  
**ISSUED FOR CONSTRUCTION**

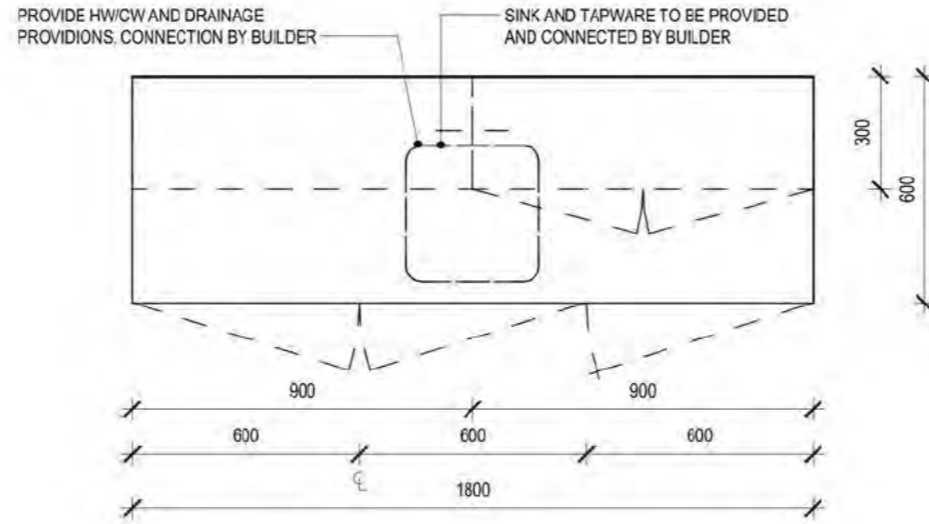
PROJECT CLIENT  
**VAMOS**

PROJECT ADDRESS  
**136 BRIGALOW STREET, LYNEHAM ACT 2602**

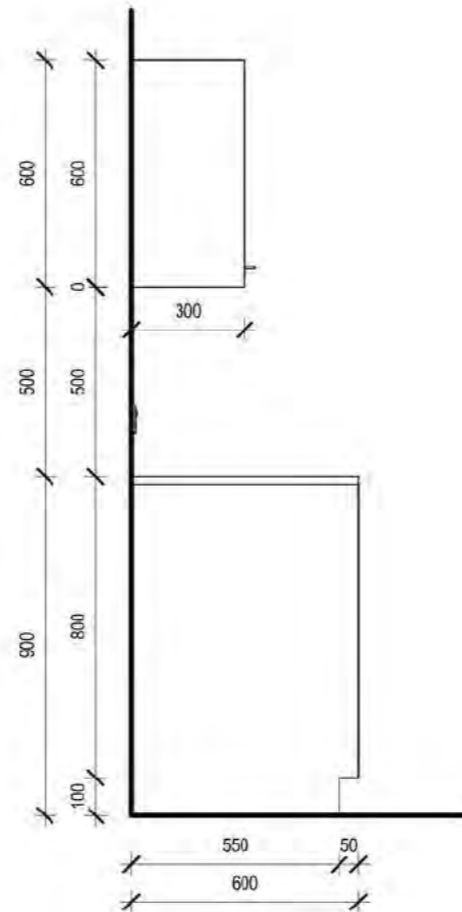
## Sch 2.2(a)(xi)



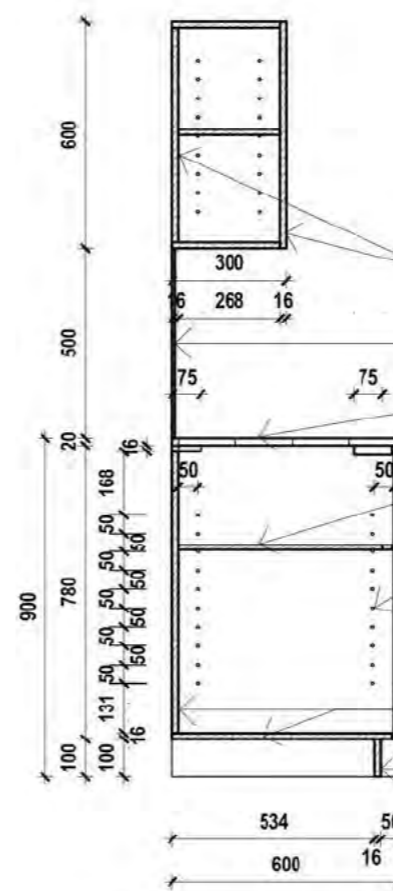
1 JOINERY BENCH



2 JOINERY PLAN  
1:20

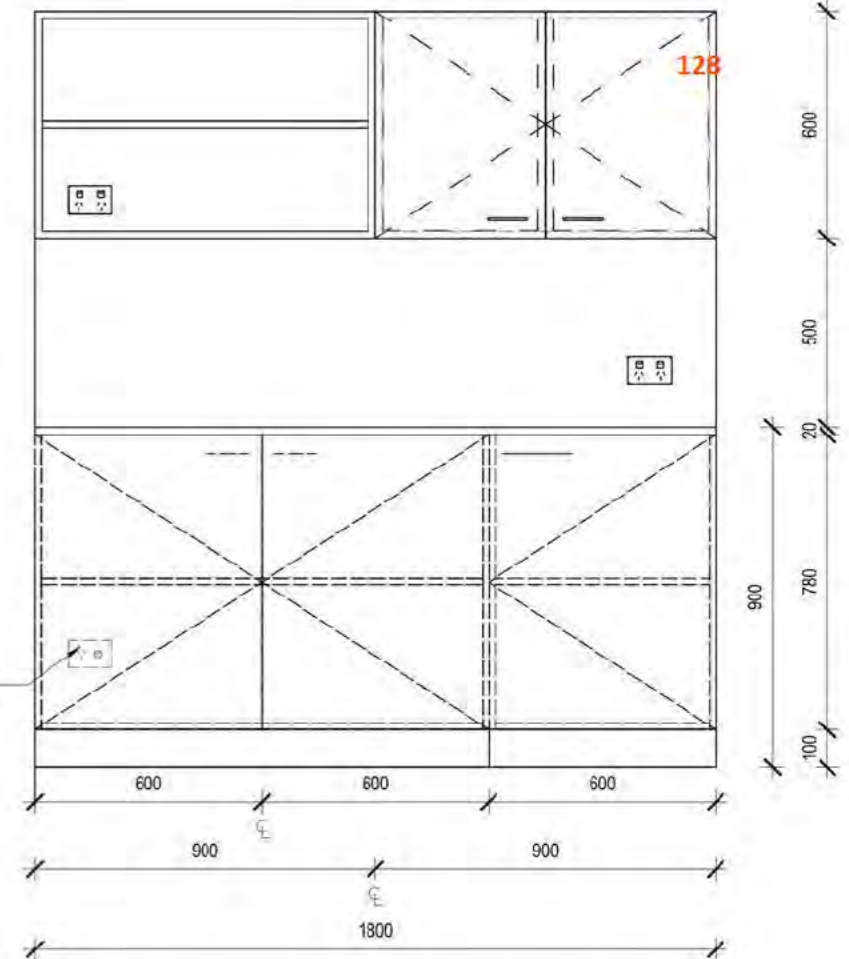


4 JOINERY - SIDE  
1:20



5 JOINERY DETAIL  
1:20

POWER PROVISION FOR 'STIEBEL ELTRON' UNDERBENCH WATER HEATER - BY OTHERS



3 JOINERY - FRONT  
1:20

- 16mm LAMINATED MELAMINE CARCASE & DOORS, IN SELECTED CARCASS COLOUR.
- 500MM HIGH GLASS SPLASHBACK - COLOUR TBD
- 20mm LAMINATED MELAMINE BENCH TOP IN SELECTED COLOUR.
- 16mm LAMINATED MELAMINE ADJUSTABLE SHELF, IN SELECTED CARCASS COLOUR.
- PROVIDE SHELF SUPPORTS & ADJUSTMENT HOLES @ 50mm CENTRES TO EXTENT SHOWN.
- 16mm LAMINATED MELAMINE REAR & BOTTOM, IN SELECTED CARCASS COLOUR.
- 16mm LAMINATED MELAMINE KICKBOARD IN SELECTED DOOR COLOUR.



Sch 2.2(a)(xi)

PROJECT NO.:  
J003639

PROJECT STATUS:  
ISSUED FOR CONSTRUCTION

PROJECT CLIENT:  
VAMOS

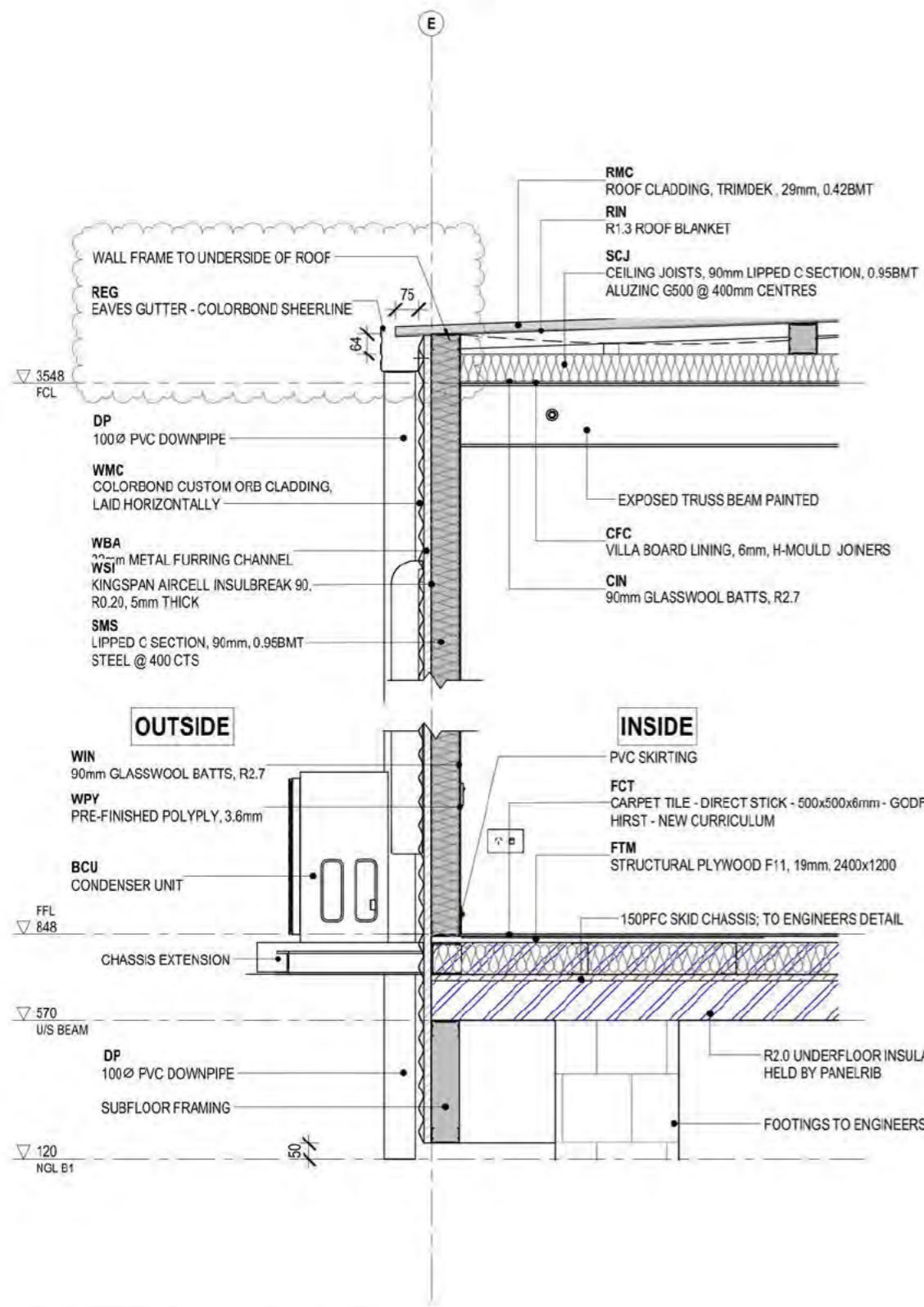
PROJECT:  
BRINDABELLA CHRISTIAN COLLEGE

PROJECT ADDRESS:  
136 BRIGALOW STREET, LYNEHAM ACT 2602

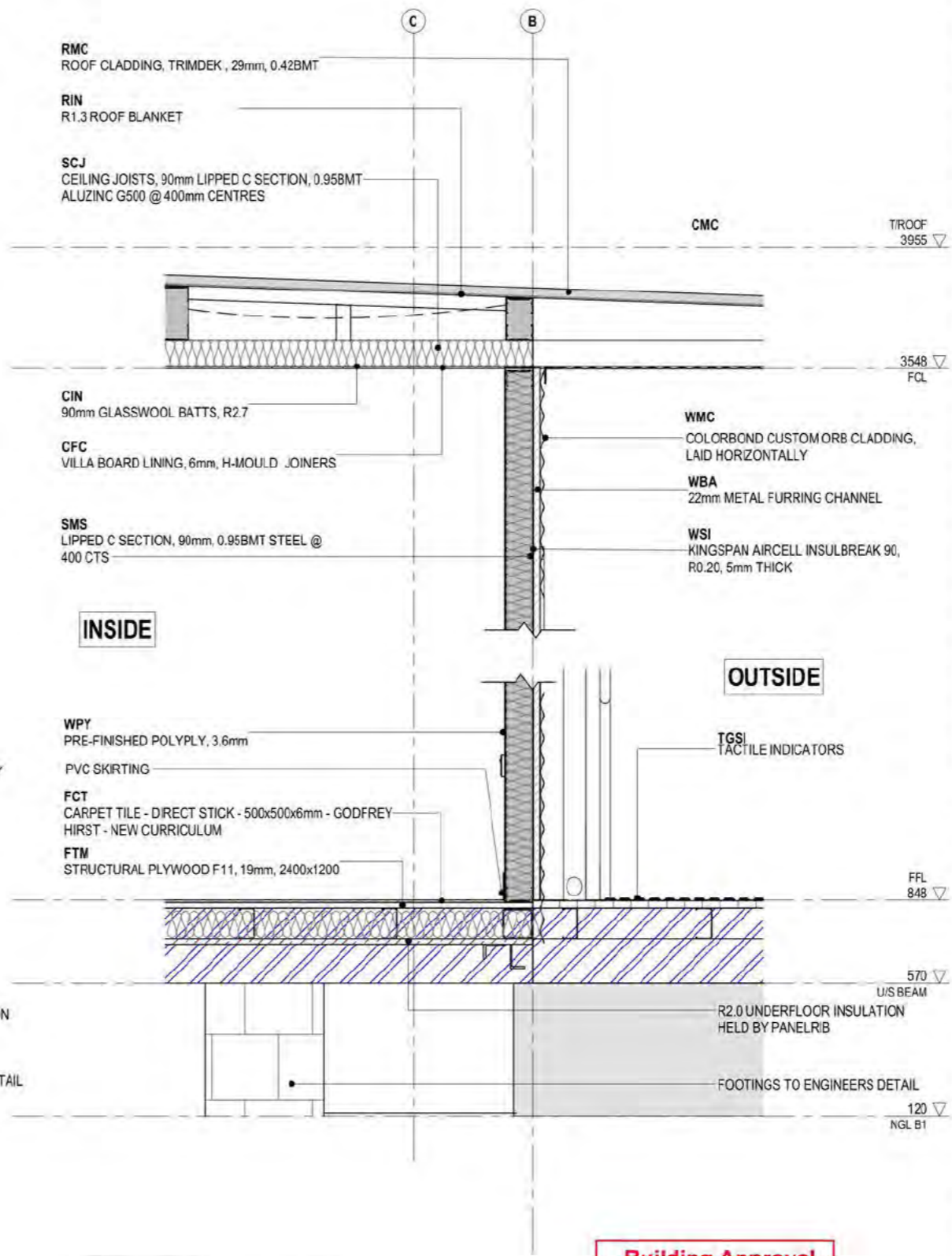
Sch 2.2(a)(xi)

NO.	DESCRIPTION	DATE	BY	CHK
1	ISSUED FOR CONSTRUCTION	28/04/2023		
A	ISSUED FOR APPROVAL/ CLIENTS COMMENTS INCORPORATED - BUILDING 1	15/02/2023		

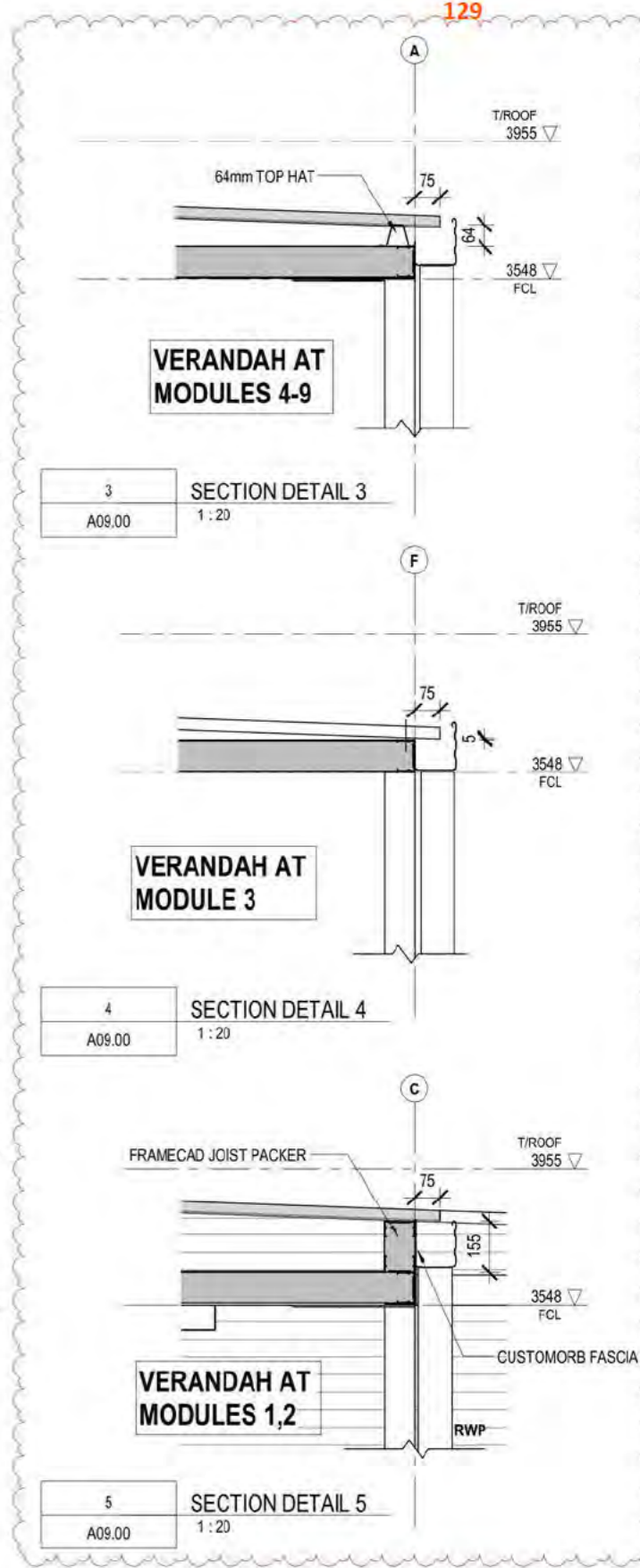
Sch 2.2(a)(ii)



1	SECTION DETAIL 1
A09.00	1:20



2	SECTION DETAIL 2
A09.00	1:20



3	SECTION DETAIL 3
A09.00	1:20

4	SECTION DETAIL 4
A09.00	1:20

5	SECTION DETAIL 5
A09.00	1:20

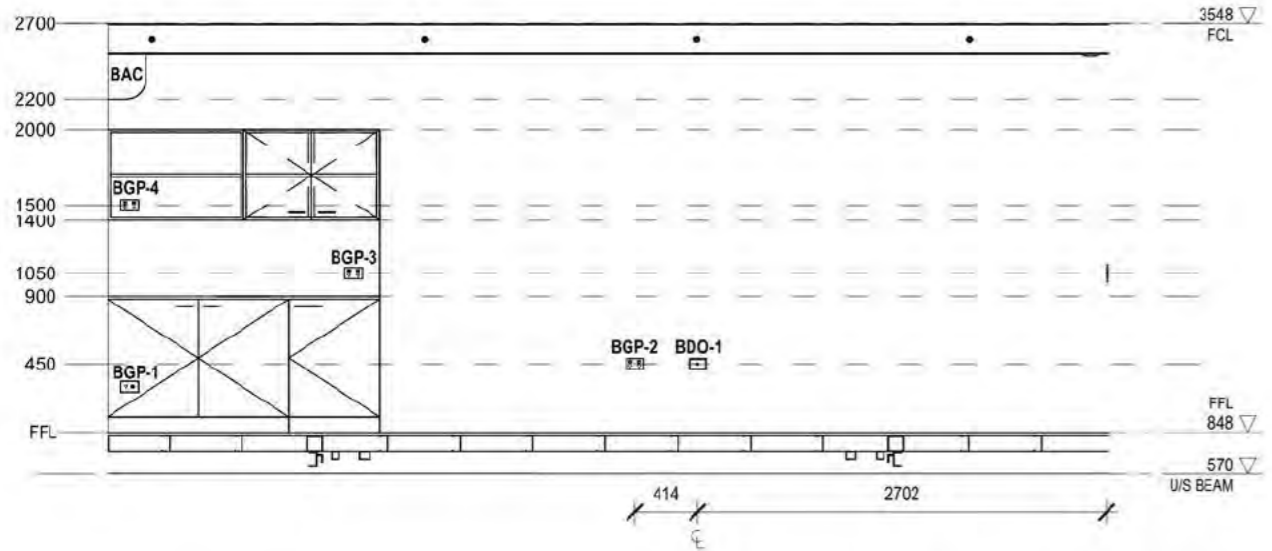


# Sch 2.2(a)(xi)

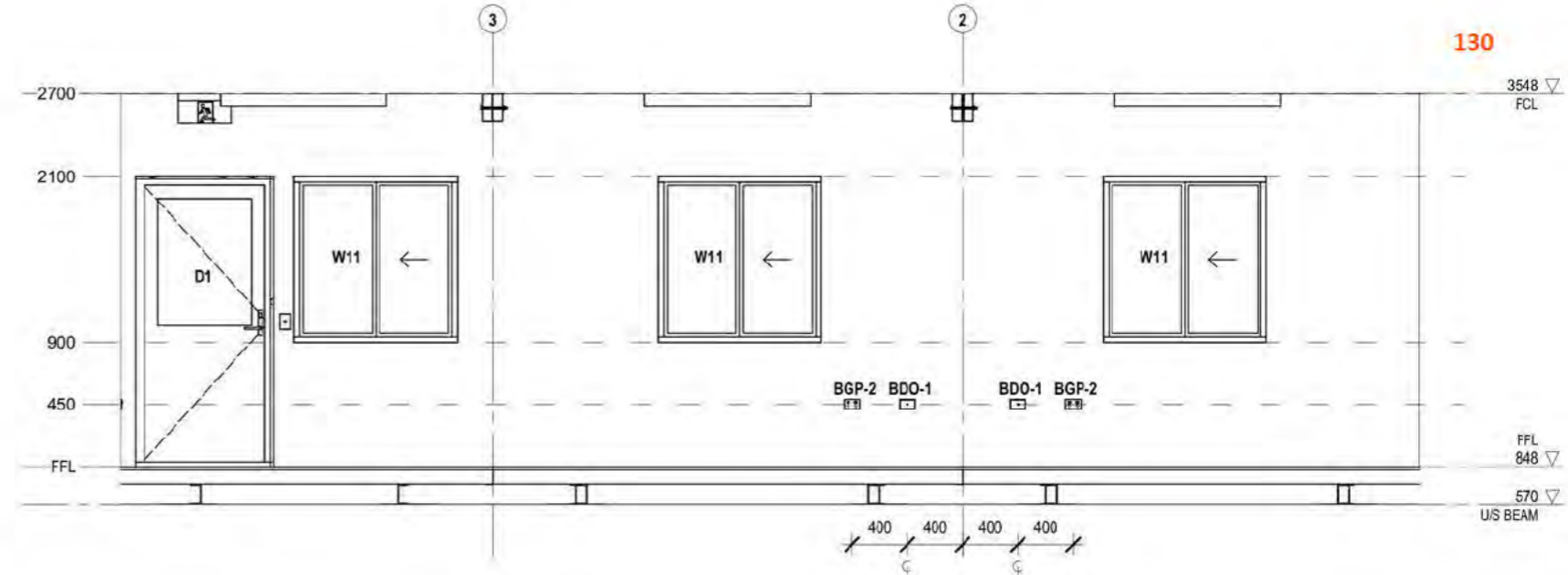
# Sch 2.2(a)(xi)

NO.	DESCRIPTION	DATE
2	AMENDED DETAILS AS CLOUDED	17/05/2023
1	ISSUED FOR CONSTRUCTION	28/04/2023

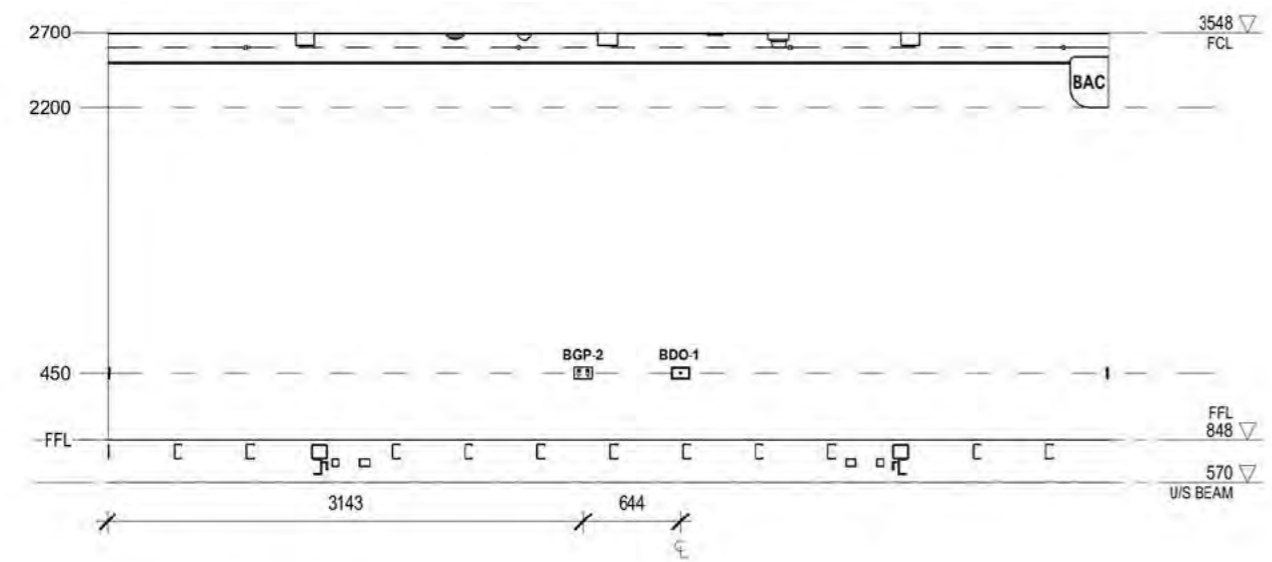
PROJECT NO.: J003639  
 PROJECT STATUS: ISSUED FOR CONSTRUCTION  
 PROJECT CLIENT: VAMOS  
 PROJECT: BRINDABELLA CHRISTIAN COLLEGE  
 PROJECT ADDRESS: 136 BRIGALOW STREET, LYNEHAM ACT 2602



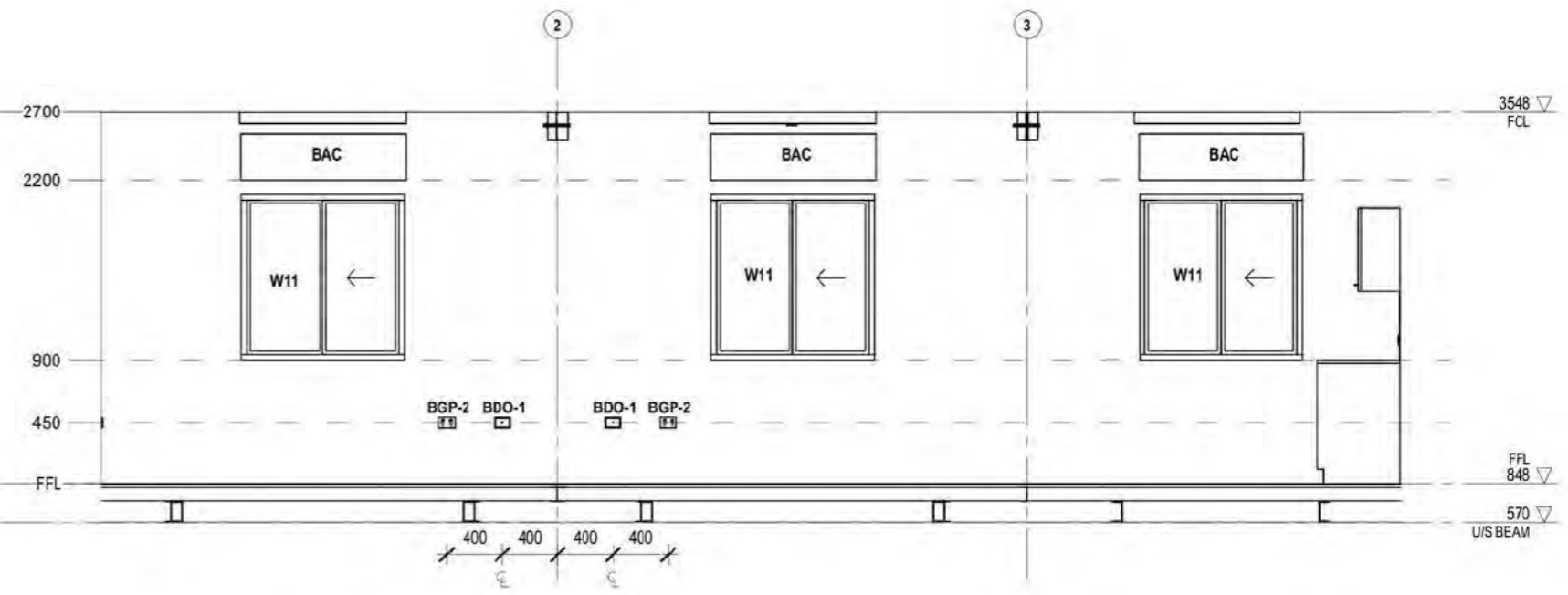
1	Elevation 1 - a
A04.00	1:50



2	Elevation 1 - b
A04.00	1:50



3	Elevation 1 - c
A04.00	1:50



4	Elevation 1 - d
A04.00	1:50

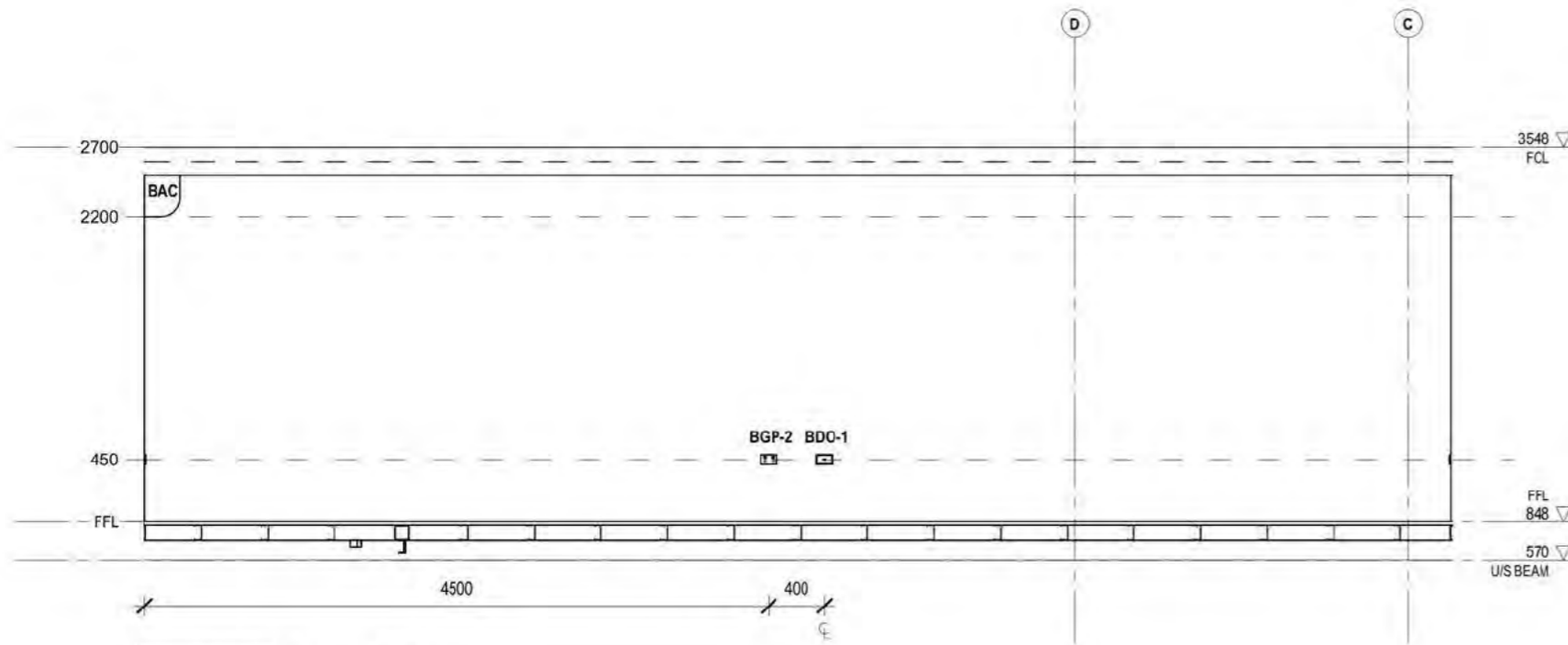


NO.	DESCRIPTION	DATE
1	ISSUED FOR CONSTRUCTION	28/04/2023

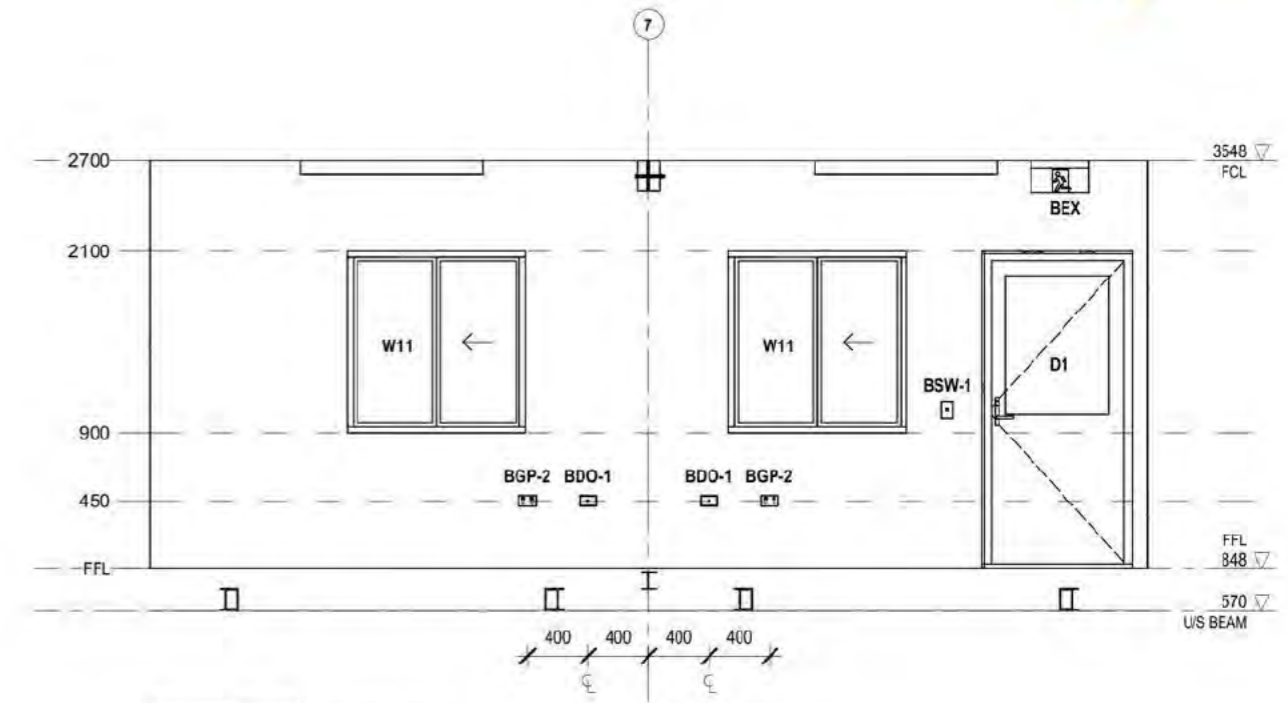
Sch 2.2(a)(xi)

PROJECT NO.: J003639  
 PROJECT STATUS: ISSUED FOR CONSTRUCTION  
 PROJECT CLIENT: VAMOS  
 PROJECT: BRINDABELLA CHRISTIAN COLLEGE  
 PROJECT ADDRESS: 136 BRIGALOW STREET, LYNEHAM ACT 2602

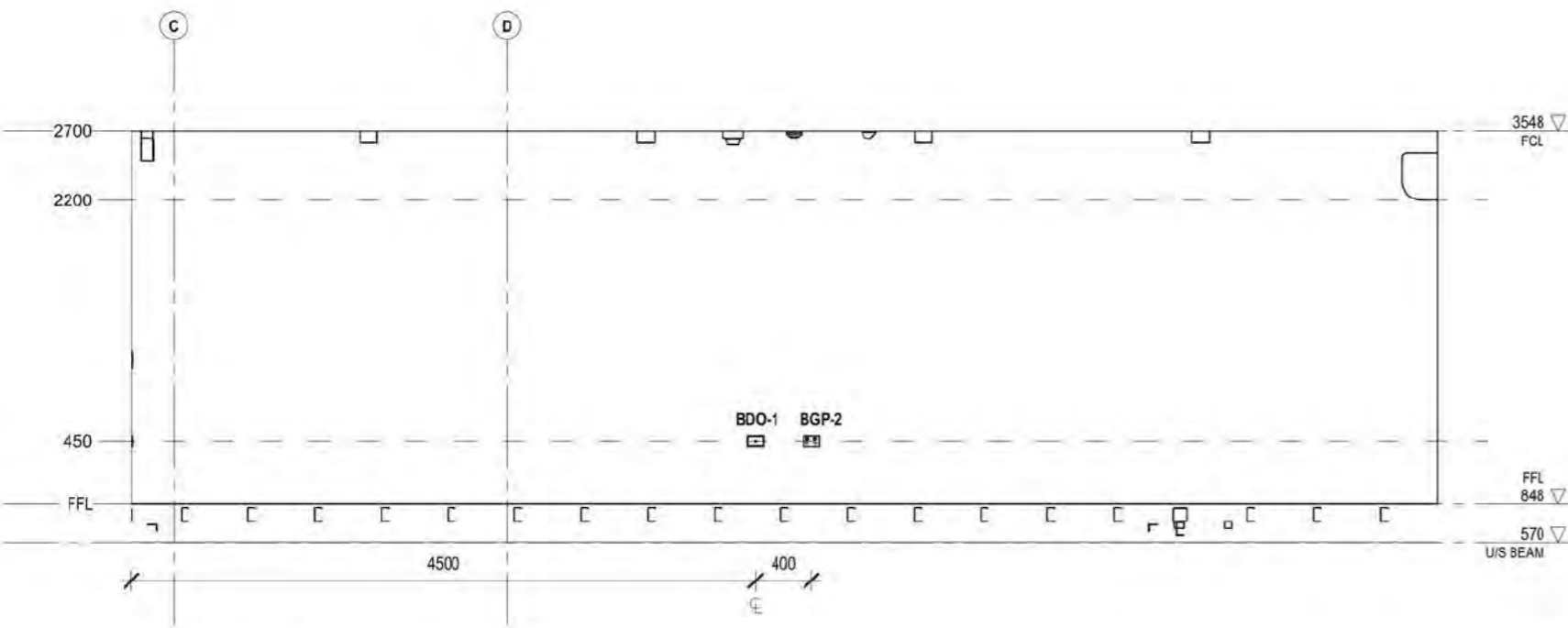
Sch 2.2(a)(xi)



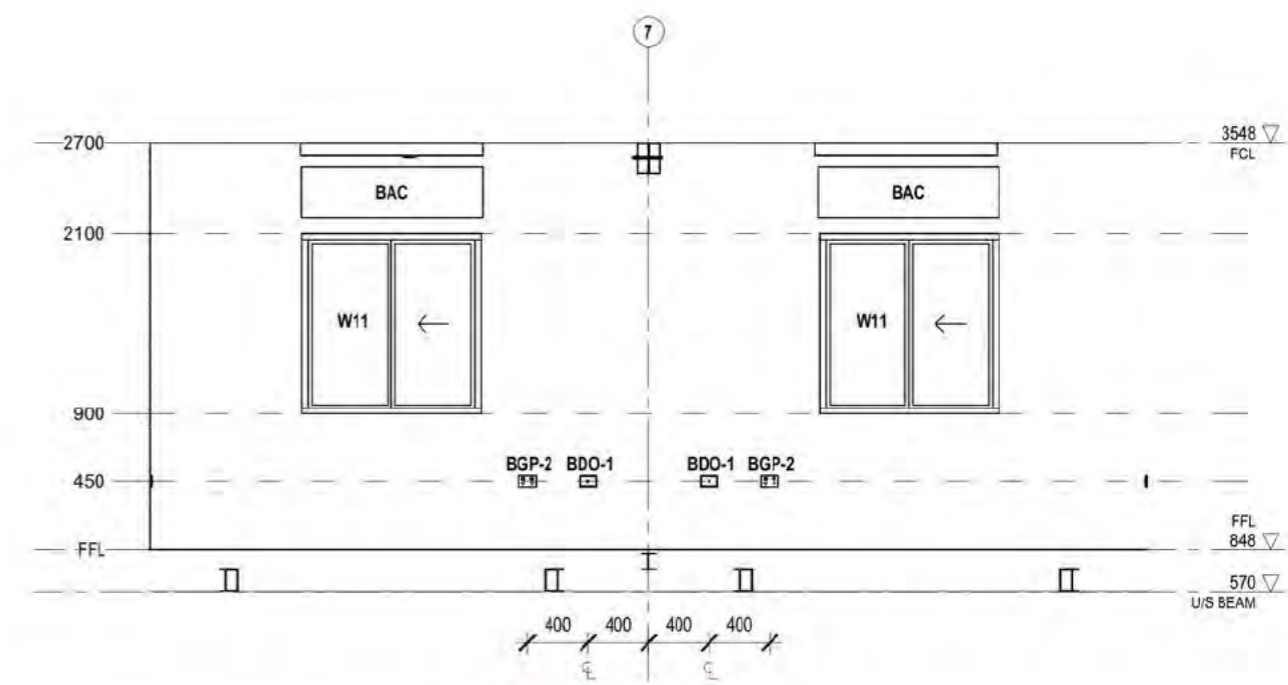
1 Elevation 3 - a  
A04.00 1:50



2 Elevation 3 - b  
A04.00 1:50



3 Elevation 3 - c  
A04.00 1:50



4 Elevation 3 - d  
A04.00 1:50

**Building Approval**  
Is issued under section 28 of the Building Act 2004  
CNS Planning & Construction Pty Ltd  
**Sch 2.2(a)(ii)**

NO.	DESCRIPTION	DATE	BY	CHK'D
1	ISSUED FOR CONSTRUCTION	28		

Sch 2.2(a)(ii)

**Sch 2.2(a)(xi)**

PROJECT NO.:  
**J003639**

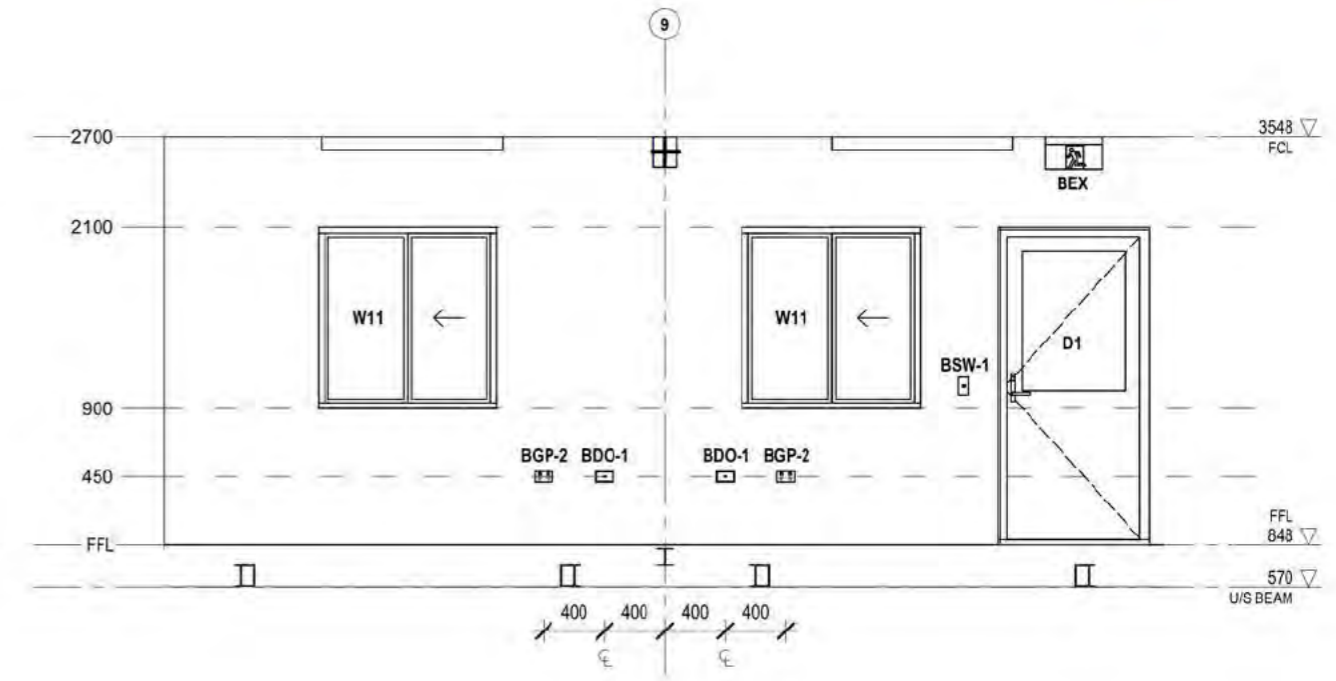
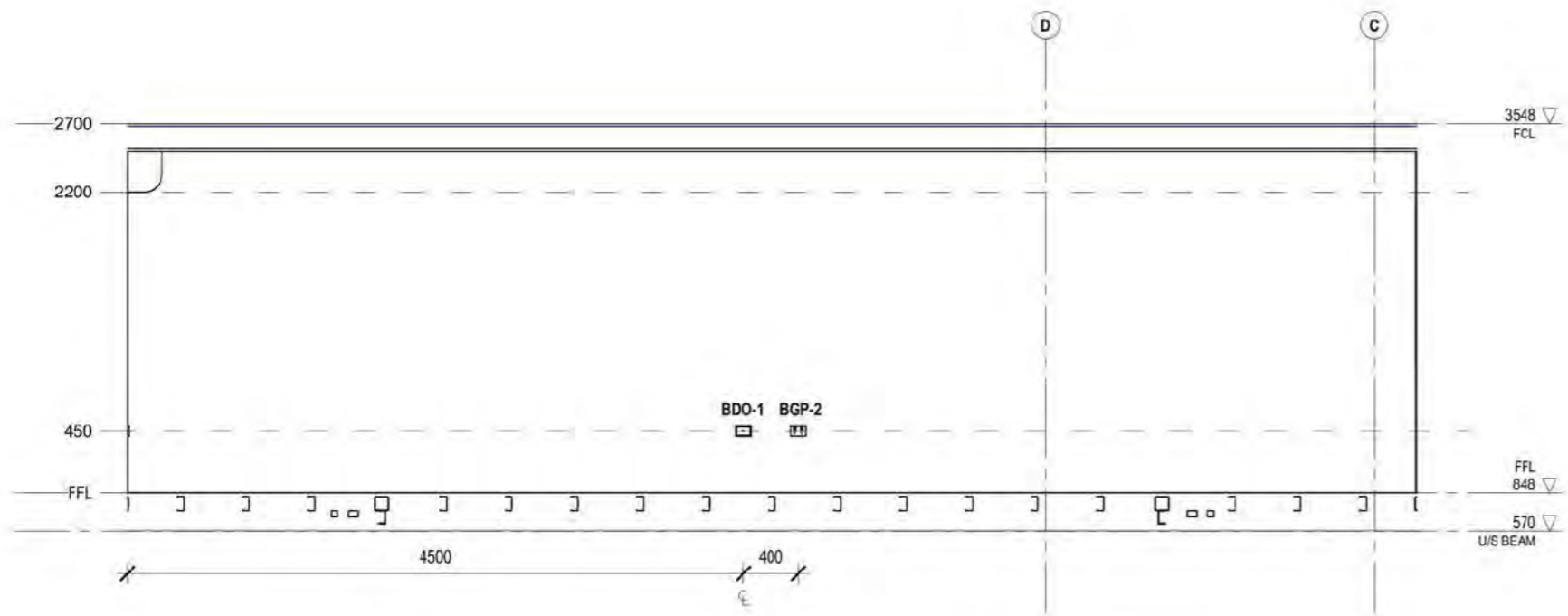
PROJECT STATUS:  
**ISSUED FOR CONSTRUCTION**

PROJECT CLIENT:  
**VAMOS**

PROJECT:  
**BRINDABELLA CHRISTIAN COLLEGE**

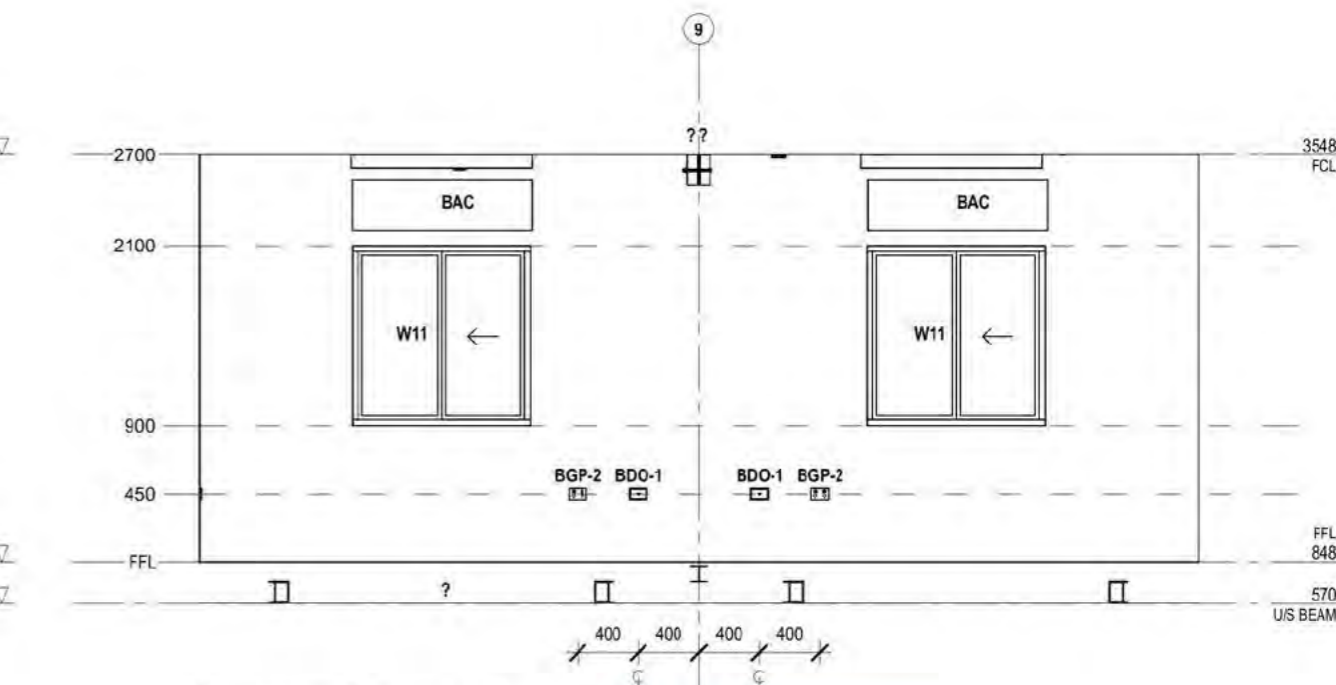
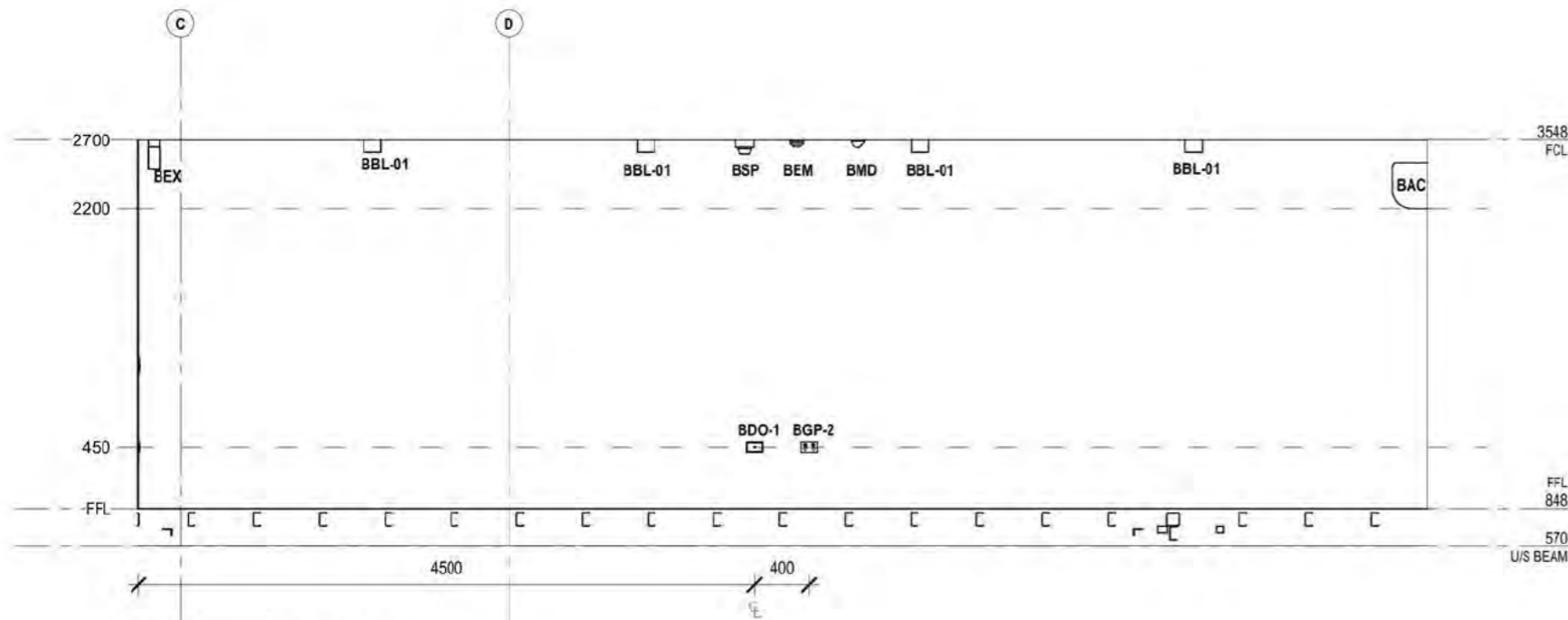
PROJECT ADDRESS:  
**136 BRIGALOW STREET, LYNEHAM ACT 2602**

**Sch 2.2(a)(xi)**



1 Elevation 4 - a  
A04.00 1:50

2 Elevation 4 - b  
A04.00 1:50



3 Elevation 4 - c  
A04.00 1:50

4 Elevation 4 - d  
A04.00 1:50

**Building Approval**  
Is issued under section 23 of the Building Act 2004  
CBE Commercial/Condition/Phy/Lit  
**Sch 2.2(a)(ii)**

NO.	DESCRIPTION	DATE	BY	CHK'D
1	ISSUED FOR CONSTRUCTION			
2	Sch 2.2(a)(ii)			

**Sch 2.2(a)(xi)**

PROJECT NO.:  
**J003639**

PROJECT STATUS:  
**ISSUED FOR CONSTRUCTION**

PROJECT CLIENT:  
**VAMOS**

PROJECT:  
**BRINDABELLA CHRISTIAN COLLEGE**

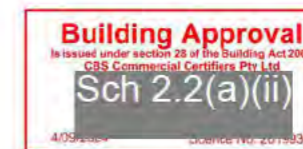
PROJECT ADDRESS:  
**136 BRIGALOW STREET, LYNEHAM ACT 2602**

**Sch 2.2(a)(xi)**

# Sch 2.2(a)(xi)

TAG	DESCRIPTION	QTY
BDO-1	DATA POINT	24
BGP-1	GPO SINGLE	2
BGP-2	GPO DOUBLE	24
BGP-3	GPO DOUBLE	2
BGP-4	GPO DOUBLE	2
BMD	MOTION DETECTOR	4
BPI	ISOLATOR	9

ELECTRICAL FIXTURES SCHEDULE		
TAG	DESCRIPTION	QTY
BSD	SMOKE DETECTOR	4
BSP	PA SPEAKER	4
BSW-1	LIGHT SWITCH	4
POE	ELECTRICAL SUPPLY POINT OF ENTRY	1

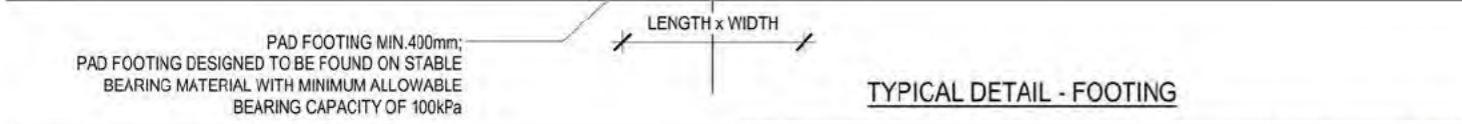
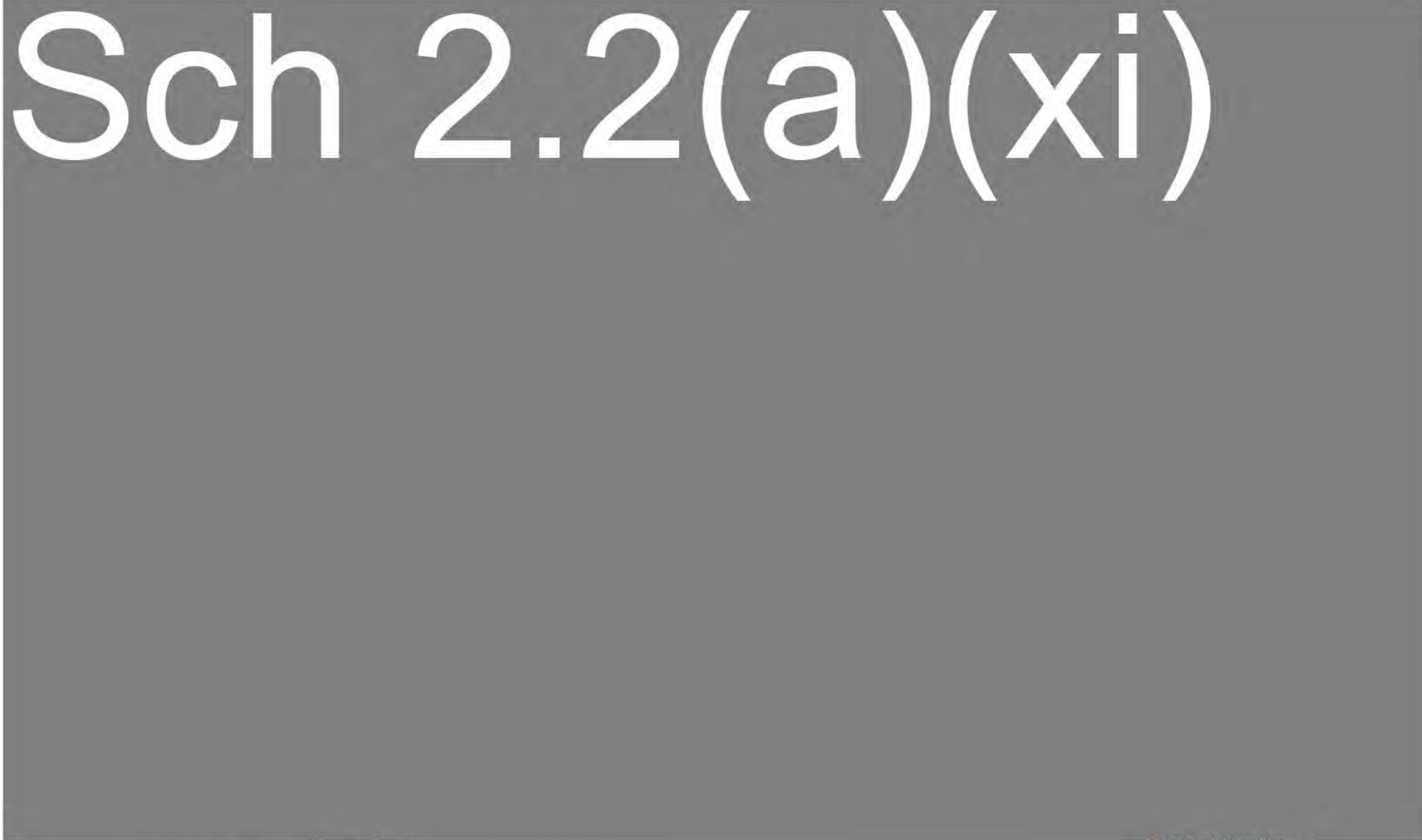


NO.	DESCRIPTION	DATE	BY	CHK'D
1	ISSUED FOR CONSTRUCTION	28/04/2023		

## Sch 2.2(a)(xi)

PROJECT NO.: J003639  
 PROJECT STATUS: ISSUED FOR CONSTRUCTION  
 PROJECT CLIENT: VAMOS  
 PROJECT: BRINDABELLA CHRISTIAN COLLEGE  
 PROJECT ADDRESS: 136 BRIGALOW STREET, LYNEHAM ACT 2602

## Sch 2.2(a)(xi)



Sch 2.2(a)(ii)

Sch 2.2(a)(xi)

NO.	DESCRIPTION	DATE
1	ISSUED FOR CONSTRUCTION	28/04/2023
E	ISSUED FOR SECTION J	21/04/2023
D	ISSUED FOR APPROVAL/ CLIENTS COMMENTS INCORPORATED - BUILDING 1	15/02/2023
C	ISSUE FOR APPROVAL	31/01/2023
B	ISSUE FOR APPROVAL/ CLIENTS COMMENTS INCORPORATED	30/01/2023
A	FOR APPROVAL	20/01/2023

Sch 2.2(a)(xi)

PROJECT NO.:	J003639	PROJECT:	BRINDABELLA CHRISTIAN COLLEGE
PROJECT STATUS	ISSUED FOR CONSTRUCTION	PROJECT ADDRESS	136 BRIGALOW STREET, LYNEHAM ACT 2602
PROJECT CLIENT	VAMOS		

# Sch 2.2(a)(xi)

BBL-01	40W 4K LED BATTEN LIGHT	49
BBL-02	EXTERNAL LED BATTEN LIGHT	5
BEM	EMERGENCY LIGHTING	6
BSD	SMOKE DETECTOR	6
HEX	EXIT SIGN LIGHT	6
OCS	OCCUPANCY SENSOR	6

No.	Date	Description
A	03.04.24	ELECTRICAL INPUT
B	22.05.24	REVISED PLANS



Architecture  
Interiors  
Access  
Heritage

Client:  
**BRINDABELLA CHRISTIAN COLLEGE**

Project Title:  
MASTERPLANNING STUDIES

4 41 Lyneham

136 BRIGALOW STREET, LYNEHAM ACT 2602

Design Project Manager:  
SV

Project Delivery Leader:  
DT

Quality Manager:  
SV

Drawn

Drawing Title:  
**ELECTRICAL SERVICES - LIGHTING LAYOUT**

Scale:  
1 : 50

Project No:  
**1506.19**

Sheet Size:  
A1

Sheet No:  
**A510**

Amendment:  
**A**

**PRELIMINARY**

All dimensions in millimetres. Do not scale drawing. All dimensions and levels to be verified on site by contractor before commencing work or preparation of shop drawings, where provided, drawings must be read in conjunction with schedule of work or specification.

# Sch 2.2(a)(xi)

## ELECTRICAL EQUIPMENT

BDB	DISTRIBUTION BOARD	3
LS	LIGHT SWITCH	
DGPO	DOUBLE GENERAL POWER OUTLET	

No.	Date	Description
A	03.04.24	ELECTRICAL INPUT
B	22.05.24	REVISED PLANS



Architecture  
Interiors  
Access  
Heritage

Client:  
**BRINDABELLA CHRISTIAN COLLEGE**

Project Title:  
MASTERPLANNING STUDIES

4 41 Lyneham

136 BRIGALOW STREET, LYNEHAM ACT 2602

Design Project Manager:  
SV

Project Delivery Leader:  
DT

Quality Manager:  
SV

Drawn

Drawing Title:  
**ELECTRICAL SERVICES - POWER OUTLET**

Scale:  
1 : 50

Sheet Size:  
A1

Project No:  
**1506.19**

Sheet No:  
**A511**

Amendment:  
**A**

**PRELIMINARY**

All dimensions in millimetres. Do not scale drawing. All dimensions and levels to be verified on site by contractor before commencing work or preparation of shop drawings, where provided, drawings must be read in conjunction with schedule of work or specification.



NEXT ELECTRICAL TECHNOLOGIES  
PO Box 4338, Hawker, ACT, 2614  
AUSTRALIA

ABN 14 605 091 709  
[office@next-tech.com.au](mailto:office@next-tech.com.au)

[www.next-tech.com.au](http://www.next-tech.com.au)

## Electrical design statement

Attention: Phil Ma

Location: 136 Brigalow st Lyneham – 4 classroom building

I, Hugh McKenzie hereby certify that Next Electrical Technologies has designed the Electrical at the above-mentioned premises in accordance with the following requirements:

### Electrical and lighting

All works have been designed in accordance with AS/NZS 3000:2018, AS/NZS 3008.1.1:2017, AS/NZS 3017:2017 and the NCC 2022.

26/08/24

**Sch 2 s 2.2(a)(ii)**

Hugh McKenzie

Electrical Licence No: 2008342 Communications Licence: A027438

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

# Lanyon Fire Protection Contracting Pty Ltd

Specialist in all Fire Protection Installation & Maintenance

PO Box 1244  
Tuggeranong DC  
ACT 2901

Mobile: 0412 505 610  
Email: lanyonfire@bigpond.com

---

## Fire Alarm Design Statement

Attention: Phil Ma

Job location: 136 Brigalow St Lyneham, Brindabella Christian College, 4 Classroom Building Section 41 Block 4.

I Stewart Cameron do hereby certify that the design of the fire alarm detection system for 4 Classroom Building at the above location complies with AS 1670.1 2015 ( Fire Alarm System ), AS1670.4 ( OWS ) and NCC 2022.

Regards

**Sch 2 s 2.2(a)(ii)**

Stewart Cameron  
Lanyon Fire Protection Contracting Pty Ltd  
35 Years in the fire protection industry.  
Mob: 0412 505 610  
ABN:49 115 981 461

25 June 2024.

## COMPLIANCE WITH MINIMUM DOCUMENTATION AND INFORMATION FOR BUILDING APPROVAL APPLICATIONS (DI2019-178)

To whom it may concern,

This statement is provided to demonstrate the supplied design documentation (prepared by myself) has been provided in accordance with the *Building (Minimum Documentation and Information for Building Approval Applications – Class 2 to Class 9 Buildings) Guideline (Guideline)*.

I have prepared the following documentation for the identified project.

<i>Project Name</i>	BCC Lyneham – 4 Classroom Building– Demountable Units
<i>Address</i>	136 Brigalow Street
<i>Block &amp; Section</i>	Section 41 Block 4
<i>Suburb</i>	Lyneham

I am a practicing professional in the following discipline (please tick)

- Architectural Drawings
- Structural Design
- Fire Services Design AS1670.1 - 2015 & AS1670.4 - 2015 & NCC 2022
- Mechanical Services Design
- Hydraulic Services Design
- Electrical Services Design
- Passive Fire Design
- Energy Efficiency Design (JV3 etc)
- Other – Please specify .....

<i>Company</i>	Lanyon Fire Protection Contracting Pty Ltd
<i>Author</i>	Stewart Cameron - ABN 49 115 981 461
<i>Experience statement</i>	35 Years Fire Protection Installation and Maintenance
<i>Peer Reviewed (if app)</i>	
<i>Date</i>	25 June 2024
<i>Signature</i>	Sch 2 s 2.2(a)(ii)
<i>Contact Details</i>	Company – Lanyon Fire Protection Contracting Pty Ltd Contact – Stewart Cameron Email – lanyonfire@bigpond.com Phone – 0412 505 610

The guideline is available at <https://www.legislation.act.gov.au/di/2019-178/>

Sch 2.2(a)(xi)

**AIR CONDITIONING**

08<sup>th</sup> August 2024

Project name: BCC Lyneham

Attn: Phil Ma

King Air Pty Ltd  
44 Paterson Parade  
Queanbeyan NSW 2620

ABN 63 008 604 662  
Refrigeration trading  
Authorization AU07681  
Ph: 02 6298 1244

**136 Brigalow Street, Lyneham, ACT 2602**  
**Section 41, Block 4**

**Certificate of**  
**Compliance**  
**Mechanical Services**

King Air Pty Ltd certifies that the Ventilation upgrades system installed at the above premises would comply with the following standards referenced in BCA 2022:

1. AS 1668 Part 2 - 2012 "The use of ventilation and air conditioning in buildings – Mechanical ventilation in buildings."
  - Installation of 14 x air conditioner units (indoor)
  - Installation of 13 AC condenser units

**Reference documents:**

<b>Drawing Number</b>	<b>Revision</b>	<b>Drawing Title</b>
A512	A	MECHANICAL SERVICES & HVAC LAYOUT

Should you require any further information or assistance, please do not hesitate to contact me.

Yours sincerely,

Sch 2 s 2.2(a)(ii)

Project Director  
**King Air Pty Limited**

Sch 2.2(a)(xi)



Ref: 23-810-WP

08 August 2024

**Subject: Brindabella Christian College – 4 Classroom Block Hydraulic Design Certificate**

Attention Phil,

This is to confirm that Custom Plumbing Pty Ltd has carried out the hydraulic design component associated with the above project in accordance with the following Australian Standards, Authority Regulations and supporting documentation.

- The National Construction Code 2022 - Volume One Building Code of Australia Class 2 to Class 9 Buildings.
- AS/NZS 3500.1:2021, National plumbing and drainage Part 1: Water supply;
- AS/NZS 3500.2:2021, National plumbing and drainage Part 2: Sanitary plumbing and drainage.
- AS/NZS 3500.3:2021, National plumbing and drainage Part 3: Stormwater drainage;
- AS/NZS 3500.4:2021, National plumbing and drainage Part 4: Hot Water Supply; and
- Supporting documentation 23/31-H01B – Hydraulic Services, Sanitary Drainage, Water Supply and Stormwater Plan.

In carrying out the design Custom Plumbing Pty Ltd has exercised the degree of skill, care and diligence normally exercised by plumbing consultants and contractors in similar circumstances.

Yours Sincerely,

**Sch 2 s 2.2(a)(ii)**

**Wayne Phipps (Project Director)**  
 (Plumbing Licence # 2008530)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

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Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

**Block:** 4                      **Section:** 41                      **Suburb:** Lyneham                      **Unit number:**  
**Project Number:** B20242552                      **Building Certifier:** CBS

Creating Building Files	
Only complete this section if for a new block where a building file does not exist. Select Y (yes) or N (no) below.	
Is this a new building on a new block?	<input type="checkbox"/>
Has a new building approval been created in Objective?	<input type="checkbox"/>

**DOES THE BA DESCRIPTION HAVE ADEQUATE DETAILS EG. SHOP NAME? YES  NO**   
**(JUST FITOUT NOT ACCEPTABLE)**

**IF NOT PLEASE CONTACT THE CERTIFER TO ADD THESE DETAILS TO THE DESCRIPTION**

Part 1 Administrative Check				
Requirements	Yes	No	N/A	Comments
Has the Building Approval been submitted within 7 days from the date of approval?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Have all relevant plans been stamped and dated by the building certifier and does the date match edevelopment?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
If the Building Approval has a Development Approval is the Development Approval still valid?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	DA NUMBER:
Have all lessee's signed the relevant forms?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Are all relevant documents uploaded & named correctly?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has an insurance certificate been provided if the cost of building work exceeds \$12,000? (Class 1 units only)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Correct cost of building work provided in E-Development – Refer to Government <a href="#">Cost Guide</a> (Class 1-10).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Have statements of compliance from each relevant utility been provided where relevant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/> GAS <input checked="" type="checkbox"/> WATER <input checked="" type="checkbox"/> ELECTRICITY
If BCN has been issued, is the licensee authorised to undertake the work as described? ie: Swimming Pool or Demolition endorsement on licence.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
If there is no exemption D notice has a site work notice been provided?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Is this BA for a commercial Solar over 200Kw	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	If yes, send BA reference to <a href="mailto:Techregulator.Utilities@act.gov.au">Techregulator.Utilities@act.gov.au</a>

**BUILDING APPROVAL COMPLETENESS CHECKLIST  
COMMERCIAL**

<b>Part 2 Documentation Check</b>				
<b>Document</b>	<b>Document Name</b>	<b>Yes</b>	<b>No</b>	<b>N/A</b>
Asbestos Removal Control Plan	Asbestos Removal Control Plan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Development Approval (including amendments)	Approved Plans – Development Approval	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Site Plan	Approved Plans – Site	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Floor Plan	Approved Plans – Floor	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Elevation Plan	Approved Plans – Elevation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Section Details Wall, Floor Ceiling & Roof	Approved Plans – Sections Wall Approved Plans – Sections Floor Approved Plans – Sections Ceiling Approved Plans – Sections Roof	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Demolition Plan	Approved Plans – Demolition	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Swimming Pools and Spas Details (including fencing/barriers)	Details – Pools Spas	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Energy Efficiency Details (Multi Unit Housing Only)	Details – Energy Efficiency	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Customer Service officer name:BD

Date:19/09/2024

Notes: Site plan

<b>Part 4 Audit Team Checklist</b>				
<b>Document</b>	<b>Document Name</b>	<b>Pass</b>	<b>Fail</b>	<b>N/A</b>
Footings and Concrete Slab Details	Details – Footings Concrete Slab	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Retaining Wall Details	Details – Retaining Walls	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Masonry Construction Details	Details – Masonry Construction	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Framing (including trusses) and Construction Details	Details – Framing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Roof Cladding Details	Details – Roof Cladding	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Exterior Cladding & Material Details	Details – Exterior Cladding & Materials	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Wet area details	Details – Wet Area	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Windows and Glazing Details	Details – Windows Glazing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Estimate of the Cost of the Building Work	Details – Cost of Building Work	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Alternative Solutions	Details – Alternative Solutions	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**Checklist review 29/08/2024**



# Building Approval Fees and Levies Tax Invoice

TO THE PAYEE

c/o Brindabella Christian Education Ltd (BCEL)

PO Box 5103, ,

Lyneham ACT 2602

**Access Canberra Land, Planning  
and Building Services**

ABN 16 479 763 216  
8 Darling Street Mitchell  
GPO Box 158 ACT 2601

Access Canberra Homepage: [www.act.gov.au/accesscbr](http://www.act.gov.au/accesscbr)

Invoice Date: 4/09/2024 Time: 3:18:00 PM

Invoice Number: 3100863129

Block - Section - Division - District	Building Levy	Training Levy	Fees Paid	Total
4 - 41 - LYNEHAM - CANBERRA CENTRAL Ref # - C240441				
<b>Total</b>	<b>Sch 2.2(a)(xi)</b>			

No GST applies to these fees and levies.

PAYMENT REQUIRED WITHIN 14 DAYS OF INVOICE ISSUE DATE

## Payment Options



Billers Code: 584508  
Ref: 3100863129

### Telephone & Internet Banking – BPAY®

Call your bank, credit union or building society to make this payment from your cheque, savings or credit card account. More info: [www.bpay.com.au](http://www.bpay.com.au)



Access  
Canberra

### Internet

To pay online by credit card (MasterCard or Visa), click on the "Building and Construction Fees and Levies" online payment form located at  
<https://forms.act.gov.au/smartforms/servlet/SmartForm.html?formCode=1009-actbuilding&tmFormVersion>



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### Phone

Telephone (02) 6207 1923 8.30am - 4.30pm Mon - Fri and have your credit card details handy (MasterCard and Visa).



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Architecture

22/05/2024

InteriorsAccessHeritage

## Design Certificate – Architecture

**Project.**

BCC – 4x Classroom Demountable Building

**Project nr.**

1506.19

**Project address.**

136 Brigalow Street, Lyneham ACT 2602

**Block.**

4

**Section.**

41

**Division.**

Lyneham

**Scope.**

New demountable structure for four new Classrooms.

**Client.**

Brindabella Christian Education Limited

**Client representative.**

Greg Zwajgenberg

### Qualifications and Experience

**Name.**

Sch 2.2(a)(ii)

**Position.**

Registered Architect

**Qualification.**

Master of Architecture

**Association.**

AIA, ACA, LEA

**Experience.**

25 Years of practical experience, 10 Years as registered Architect.

### Statement

In my professional opinion, the Architectural Design for this project has been undertaken in accordance with the relevant requirements of the NCC 2022 Volume 1, which was in force at the time the design was undertaken.

We do not take responsibility for any deviations to our Architectural documentation carried out without our consent.

**Signature**

Sch 2.2(a)(ii)

**Date**

22/05/2024

# Sch 2.2(a)(xi)

Sch 2.2(a)(xi), Sch 2.2(a)(ii)

Sch 2.2(a)(xi)

26 August 2024

13 Guarda Street  
Jacks ACT 2914

## STRUCTURAL CERTIFICATION

Phone: 0435 200 659  
ABN: 45613624129  
Email: [contact@strengdes.com](mailto:contact@strengdes.com)

Phillip Ma  
Founder & CEO  
**Vamos Property Development and Construction**  
17/27 Yallourn Street  
Fyshwick, ACT 2609

### STRUCTURAL CONSULTANCY SERVICES 136 BRIGALOW STREET, LYNEHAM, ACT 2602 DEMOUNTABLE UNITS' FOOTINGS

We have been commissioned to perform structural consultancy services regarding a new demountable building at Brindabella Christian College. The project is located in Lyneham ACT.

The strength and stability design of footings was performed under consideration of relevant Australian codes such as:

- AS/NZS 1170.0-2002 (Structural design actions, General principles)
- AS/NZS 1170.1 (Structural design actions - Permanent imposed and other actions)
- AS/NZS 1170.2-2021 (Structural design actions - Wind actions)
- AS 1170.4-2007 (Structural design actions - Earthquake actions in Australia)
- AS 3600-2018 (Concrete Structures).
- AS 4100-2020 (Steel Structures).
- NCC 2022 (Structure).

Structural design was based on the following assumptions:

- The scope of this design is regarding the concrete footings only.
- Demountable units to be supported by concrete footings are in accordance with relevant Australian standards.
- All materials used during construction met all requirements of relevant Australian standards.
- All structural elements were inspected by a competent engineer during construction.
- All people involved during construction have the appropriate qualifications to perform the work correctly and safely.

I certify, to the best of my knowledge, the concrete footings structurally sufficient to support loads specified on relevant Australian standards.

Please contact the undersigned if you have any further enquiries.

Yours faithfully,

Sch 2 s 2.2(a)(ii)

**MARIO GALVEZ**  
Principal Structural Engineer  
BE(Hons), MEngSc, MIEAust, CPEng (No. 3653103), RPEQ (No 32203), NER

## **Minimum Documentation and Information for Building Approval Applications**

SQC Group Checklist

### **1. Overview of required Information:**

- Project Summary (to comply with Part 2):
  - Includes complete drawing list
  - Includes Design compliance summary (if required)
- Development Statement (in accordance with Part 5).
- Plans, Specifications and other supporting documents (to meet requirements of Part 6).
- Information on Performance solutions, if any (refer to part 7).
- Maintenance information (refer to part 8).
- Information on consultations and referral entity advice (refer to part 9).
- Other supporting documents if applicable (see Part 10).



**2. Project Summary**

**Note:** Certifier may provide their own template.

<b>Project Information (22/05/2024)</b>			
Project Title:	Brindabella Christian College – Demountable Building (4x Classrooms)		
Project number: (for SQCA use)	1506.19		
Brief description of building work:	New demountable structure for four new Classrooms.		
Street Address:	136 Brigalow Street, Lyneham ACT 2602		
Block:	4	Division:	Lyneham
Section:	41	District:	-
<b>Site information:</b>			
Site Area (m <sup>2</sup> ):	18112m <sup>2</sup>	Bushfire zone (Y/N)	N
Site Classification (if known):	Community Facilities	Flood zone (Y/N)	N
<b>Building Information</b>			
Classification (major use):	9b - Education/School Building	Classification (minor use, if any):	N/A
Type of construction:	C	Estimated cost of building works:	TBC by Contractor
Proposed floor area (m <sup>2</sup> ):	4x 61 m <sup>2</sup> (classroom) Total 244m <sup>2</sup>	Number of new dwellings:	0
Number of storeys/levels:	1	United Building (Y/N):	N
Rise in storeys:	0	Performance solution (Y/N):	N
<b>Contact Details:</b>			
Land Owner: (or Tenant/Appointed Agent/Primary Contact)	Name: Greg Zwaigenberg (Chair of the Board)		
	Contact Number: Sch 2.2(a)(ii)		
	Email: Sch 2.2(a)(ii)		
Project Architect:	Name: Sch 2.2(a)(ii)		
	Company: SQC Group		
	Mobile: Sch 2.2(a)(ii)		



	Email: Sch 2.2(a)(ii)
<b>Consultants:</b>	
Structural Designer	Company: Sch 2.2(a)(xi)
	Contact: Sch 2.2(a)(ii)
	Email: Sch 2.2(a)(ii)
	Phone: Sch 2.2(a)(ii)
Fire Engineer	Company: N/A
	Contact:
	Email:
	Phone:
Mechanical Services Designers	Company: Sch 2.2(a)(xi)
	Contact: Sch 2.2(a)(ii)
	Email:
	Phone: Sch 2.2(a)(ii)
Hydraulic Designer	Company: Sch 2.2(a)(xi)
	Contact: Sch 2.2(a)(ii)
	Email: Sch 2.2(a)(ii)
	Phone: Sch 2.2(a)(ii)
Electrical Designer	Company:
	Contact: Sch 2.2(a)(ii)
	Email:
	Phone:
Builder	Company: Vamos Group
	Builder Contact: Phil Ma
	Email: phil@vamosgroup.com.au
	Phone: Sch 2.2(a)(ii)



**3. Drawing list (including reference numbers):**

**Architectural:**

A005 - LOCATION PLAN

A011 - SITE PLAN

A101 - PROPOSED AND DEMOLITION PLAN

A102 - REFLECTED CEILING PLAN

A130 - WALL TYPES PLAN AND DETAILS

A200 - ELEVATIONS

A300 - SECTIONS

**4. Design compliance summary (Pre-DA(?), if required):**

- Note: this is not mandatory, but considered good practice.
- Response to relevant codes
- Example below – to be developed further:

Code:	Requirement:	Response:	Refer:

**5. Development Statement (Post DA(?)) – Refer to Part 5)**

**N/A** → Refer **Planning (Exempt Development) Regulation 2023**  
Subdivision 1.4.8.2 Exemption Schools (page 82)

- Reference to DA or DA Exempt notice
- Any differences between the DA plans and BA plans
- Reasons why there are differences, and reason difference are exempt (if applicable)
- Demonstrate Conditions on DA have been met



## 6. Drawing Checklist (from Part 3 and Part 6)

### General:

- If drawings contain old and new works – ensure they are clearly differentiated with colours, shading, hatching etc.
- Provide clear legends
- All dimension must be finished dimensions
- List of changes from approved plans to proposed amendments (if applicable)

### Information for all sheets (typical title block):

- Cover Sheet (which may include abbreviations, general symbols, material legends, drawing list and General Notes)  
*We have not included a Cover sheet for this project, as the size of the project does not require extensive notations*
- Drawing title
- Drawings Number
- Drawing Revision and Date
- Block, Sections and Division
- Street Address
- Name of Land Owners
- Initials of relevant individuals who undertook the design work and prepared the drawings

### Plans:

#### General:

- Title block with above information
- North point indicating True North (**NOT** Magnetic North)

#### Location Plan:

- Drawn at an appropriate scale to show 'salient information' such as protected tree's, creeks and dams and other waterways, as well as immediate surrounding area.
- Legal boundaries of all land shown on plan.
- Show easements as indicated on certificate of title or deposited plan
- Existing buildings and other site features
- Known Natural obstructions
- Vehicle crossings

#### Site plan (not less than 1:200)

- Adjoining properties and legal title boundaries (including dimensions and bearings)
- Positions and dimension of existing easements as indicated on certificate of title or deposited plan (including depths and services including any existing points of connection to utilities)
- Position of proposed easements (including depths and services including any existing points of connection to utilities)



- Site levels relative to the Australian Height Datum (AHD)
- Contour lines at 0.25m intervals referenced to the AHD
- Finished Floor Levels (FFL), Natural and finished ground levels
- Existing and proposed driveways and vehicle crossovers
- Existing and proposed parking areas including car space dimensions
- Site finishes (hard and soft) with levels and falls
- Position and dimensions of existing and proposed buildings on the land (including excavation walls, retain walls, swimming pools and other non-habitable buildings and structure)
- Dimensions (in meters) indicating the distances between existing and proposed buildings and to the site boundaries
- Current use and classification of existing buildings, if known, or apparent use if unknown.
- Position of buildings on adjoining properties within 3m of the site boundary, and their use and classification, if known;
- Fire sources within 3m of the allotment boundary, or proposed allotment boundary.
- Fire rating of any boundary structure, if known,
- The position of existing and proposed vegetation and trees on the land (Notes: removal may require approval. Location of vegetation is particularly important in bushfire prone areas);
- Excavations or fill levels relative to AHD, compaction details, retaining walls and associated soil and water management strategies during construction
- Area in m<sup>2</sup> of the site, building footprint, site coverage AND floor areas.
- Any other details required to identify the need for protection work for proposed and existing buildings during construction, proper fire separation, site cut and fill, adequate falls for the drainage of the allotment, and site coverage
- Class of building applicable to each section of the proposed works.

Requirements in the Regulation:

- If the building work requires the connect or alternation of a pipe to the sewage system, show the point of connection of the pipe to the sewerage system.
- If the building work requires the connect or alternation of a pipe to a water main, show the point of connection of the pipe to the water main.
- If the building work requires the connect or alternation of a pipe to the storm drain, show the point of connection of the pipe to the stormwater system.
- Existing surface storm water drainage and, if the building work will alter the surface stormwater drainage on the parcel of land where the work is being done – show the proposed storm water drainage

**Construction documents:**  
**Floor plans (not less than 1:100):**  
As per manufacturers details

- Separate plan for each building level
- For substantial alterations, existing and proposed plans must be provided – **N/A**
- Structural grid lines
- Keyed section details referenced to relevant drawings and sheet numbers
- Finished floor level (FFL) referenced to the AHD or project site datum
- Details for each room including:



- Intended use
- Dimensions and rooms areas
- Outline of roof or pergola overhang (if applicable)
- Overall dimensions of wall and other structural elements.
- Internal dimensions of rooms and room identification
- Internal and external wall construction (tag)
- Special wall constructions (i.e. for sound, fire or moisture)
- For bracing layouts, reference to relevant structural drawings.
- For lintels, the lintel sizes or reference to a relevant structural drawing or bracing schedule specification where the information is located.
- Window and Door locations + indication of openable sections and direction of opening (slide/swing etc.)
- Window and Door locations, numbers and plan dimensions, including references to any window/door schedules (note window and glazing requirements)
- Indication of floor coverings (may change, however this is relevant to transitions and accessibility between rooms, slip prevention, trips and falls + other performance requirements)
- Lighting layout
- Air circulation details
- Staircase layouts and details – **N/A**
- Location and position of appliance – **N/A**
- Location fixture or fittings required on to demonstrate compliance with the building code.
- Reference relevant drawings, details, specifications and schedules throughout – **N/A**
- Locations of smoke alarms and fire exits
- Reference details of proposed performance solutions associated with the floor plan – **N/A**
- Identify uses classified as minor uses; and – **N/A**
- Boundaries of united building (if applicable). – **N/A**

**Sections (not less than 1:100):**

As per manufacturers details

- Minimum of two intersecting sections
- Long sections of any basement ramp showing gradients and transition zones – **N/A**
- A section of any staircases showing/referring to details – **N/A**
- Sections of any subfloor areas – **N/A**
- Show structural grid lines
- Natural and finished ground lines
- References to detail drawings
- FFL and FCL
- Floor to ceiling heights
- Wall heights
- Window and Door heights
- Roof and ceiling pitches



- Floor slopes with gradients – **N/A**
- Locations of stairs, decks and balustrades
- Thresholds and wet area and external set downs – **N/A**
- Reference to detail drawings
- Structural supports
- Accurately scaled and coordinated building services including ductwork and fire protection services – **N/A**
- Relevant vertical and horizontal building elements and their relationship to the ground, floors, ceilings and roofs.

**Elevations (not less than 1:100):**

*As per manufacturers details*

- Building Heights relevant to any existing and adjacent buildings
- Structural gridlines
- Dimensioned heights including overall heights
- Proposed external materials referenced to schedules or specification
- Proposed FFL, FCL and floor to floor heights
- Natural and finished ground levels (AHD)
- Wall heights
- Roof pitch
- Location of Roof lights, clerestory windows, doors and windows – **N/A**
- Window Size
- Reference to relevant details

**Detail Drawings (generally not less than 1:50):**

*As per manufacturers details*

- Building heights relevant to any existing and adjacent buildings
- Junction details which show the interface between and withing major building elements and special areas
- Sections and details can be combined on one drawing

Details to include the following:

- FFL and FCL
- Overall dims, heights and levels
- Reference to relative levels
- Reference to detail drawings
- References to structural gridlines
- Annotated falls, slopes and inclines; and
- Coded references to materials or schedules and specifications



**Construction Detail Drawings (generally 1:10 or larger):**

As per manufacturers details

- Structural elements, junctions and fixings.
- Junctions between different materials.
- Penetrations through interior and exterior walls and roofs.
- Window and door heads, sills and jambs.
- Horizontal and vertical cladding junctions.
- Method of attachment for cladding and external materials, including the associated weatherproofing system.
- Expansion and movements joints.
- Wall and roof junctions.
- Bottom plate/cladding overhangs.
- Soffits and parapet details.
- Retaining wall details.
- Tanking and damp proofing, cross sections and details.
- Deck or pergola connections to main structure and associated handrails, layouts and fixings.
- Stairs showing rise, going, pitch, handrails and other fall protection.
- Fire separations junctions and penetration details
- External weatherproofing and internal waterproofing details.

Note: this is a common defect in the ACT and Australia. Waterproofing details need to be carefully considered and clearly detailed.

- Components.
- Assemblies.
- Identify all critical dimensions.

**Foundation, footings and concrete slab plans (1:100) and details (generally 1:10 or larger):**

As per manufacturers details

- Footings including penetrations and stepdown details (balconies and wet areas)
- Slabs including levels, falls or gradients, thickenings (where relevant) and weatherproofing and water proofing systems
- Structural floors, other than slabs, including levels, falls or gradients and weatherproofing and water proofing systems.
- Foundation walls
- Nominated foundation depth and description of founding material
- Finished floor heights in relation to site datum
- Partition layouts indication the size and location of load bearing members (if applicable)

**Wet Area Details (generally 1:10 or larger):**

As per manufacturers details

- Junctions and interfaces between wall and floor linings in kitchens, bathrooms, ensuites and laundries.
- Wall lining joints



- Junctions between bath, basin, tub, sink and shower, including bath and shower screens and installation design information.
- Shower internal corners
- Details of shower floor stepdown or fall for level entry showers
- Plumbing penetrations, such as shower mixers, shower roses and taps
- Type of shower or bath (for example proprietary, steel tray, level entry)
- Specifications of wet area materials of wall linings and systems
- Wet area specification, including the extent of waterproofing and proposed waterproofing system

**Windows and Glazing (info to be shown on plans/details, generally 1:20):**

As per manufacturers details

- Frame material and type of glazing
- Glazing properties including U-value and solar heat gain coefficient, safety requirements, and requirements to meet bushfire protection requirements, if any
- Overhead glazing and roof lights
- Actual glazing area for natural lighting calculation
- Actual opening sizes for ventilation calculation
- Internal glazing specifications including wet area glazing, shower screens, doors, referencing the relevant standards.
- Specification for glazing associated with:
  - Balustrades
  - Smoke curtain
- Indication of glazing that must be marked for safety.

**7. Fire safety details:**

As per manufacturers details

- Passive and active fire safety systems, including fire service details, layouts and schedules
- Full fire separation and compartmentation details including the documentation of proposed fire resistance levels (FRLs)
- Details of elements and applied fire actions required for the construction in a bushfire prone area, if applicable
- Penetration sealing specifications
- Location and specification of materials that require fire hazard properties, and fire-resisting or fire protected elements, or are otherwise required to meet the fire safety performance requirements of the building code
- Provision for fire brigade access
- Location of fire isolated stairways
- Provision for fire fighting series in the building while under construction.
- If demonstrating compliance by use of FPAA 101D, a design compliance statement must be provided by a suitable qualified person.

**8. Movement and access details (including ramps and stairs):**

As per manufacturers details



- Number, location and dimensions of elements for egress for escape, including fire-isolated exits, paths of travel to exits, evacuation lifts and smoke lobbies
- The direction of swing of doors in a pathway for egress for escape in an emergency
- Location and type of required signs on fire and smoke doors and non required stairways, ramps or escalators
- Specification of door latches on doors and required exits
- Method of construction for stairs, ramps, access and egress paths, including any non slip requirements
- For stairs and staircases:
  - Stair riser aperture size
  - Dimensions of landing, thresholds, goings and risers, and widths of stairs
  - Dimension clearance height above stairs
- For ramps, ramp slopes, gradients, transition zones, landing and surface finishes
- Location and requirements for fall prevention barriers and windows requiring fall protection
- Method of balustrade construction, if any proposed, including spacing and handrails
- Identification and dimension of access to and within the building, and carparking, for people with a disability, including all circulation and other relevant details for access in accordance with AS1428 (if using the deemed-to-satisfy solution)
- Location and specification for any communication systems for people with a hearing impairment.

## 9. Health and Amenity:

As per manufacturers details

- Systems for managing rainwater, rising damp and wet area overflows
- Location, number, type and dimension of sanitary facilities and adult accessible change facilities
- Rooms height for all rooms
- Locations and specification of openings for natural light and ventilation
- Lighting information showing required illuminance levels in each area of the building
- Mechanical systems specification
- Identification and specification of elements requiring sound transmission and sound insulation
- Details of building sealing including any expected air permeability rates
- Identification and specification of elements required for condensation management including building vapour permeable membranes, ventilation in roof spaces, water control layers and venting, air-conditioning and exhaust systems
- Location of, and protection of, any minor structures and appliances for G1 and G2 in Volume 1 of the building code.

## 10. Energy efficiency:

As per manufacturers details

- Energy efficiency Certificate (if required)
- Building Fabric Thermal efficiency specification (windows u-value, insulation R-value, sarking, thermal mass, shading etc)
- Details of building sealing including any expected air permeability rates
- Description of any air movement control strategies



- Specification of sealing and insulation to pipes, ducting and services
- Location and properties of equipment listed in Part J provisions including
  - Lighting and power control devices
  - Air-conditioning systems
  - Pumps, boilers, chiller and other plant
- Location of ceiling fans, dampers and flaps on chimneys, flues and evaporative coolers
- Electrical lighting spec + layout with lamp power densities and illumination power densities
- For building complying with building code 2023 Volume 1, Section J:
  - Demonstration of compliance with a performance solution or a verification method, the energy use in kJ/m<sup>2</sup>/hr for the building, or parts of the building
  - If particular air permeability rates are targeted, the details of sealing required to achieve it and any associated mechanical ventilation requirements
  - For sole occupancy units, the heating and cooling load limits.

### 11. Swimming Pools and Spas:

N/A

Note: this information may be captured in other sections and details

Where pools or spas are proposed, the following design information must be provided—

- Construction details, including structural engineer's design and calculations, waterproofing system, drainage, pool water recirculation and filtration systems;
- Swimming pool depth of water i.e. the maximum depth of the water the pool is designed to hold.
- Pool safety barrier details, fencing details and heights
- Openings, gates and latches, including direction of swing of gates.
- Any accessibility requirements.

### 12. Demolition Plans:

N/A

Note: this information may be captured in other sections and details

- Clearly indicating which building or part of the building is to be demolished or removed.
- If only part of a building is to be demolished or removed, calculations or other information in writing to show that the remainder of the building will comply with the Building Act and regulations, both as the building remains and after the proposed demolition or removal takes place, or after other building work is performed.
- Details of the demolition of foundations and relevant structural components such as walls, floors roofs.
- Identification of any disconnection of services from public utilities, or impact on essential services in the building.
- Demolition of various building components (e.g. walls, floors, roofing, cladding).
- Remedial work on site after the demolition, including clearing building material.

Note: This information is not required for demolition of a whole building.

### 13. Engineering Drawings and Details



For information required on engineers' drawings, refer consultants directly to the guideline.

#### 14. Design compliance Statement

As provided by relevant consultants.

#### 15. Design Schedule

N/A

#### 16. Specifications:

In addition to the information above, refer to information required above and ensure information is consistent in all documents.

- General references to Australian Standards should be avoided. References and specifications should be specific to the project (not generic information).
- Include references to documents providing evidence of the compliance of proposed building methods, designs, products and systems with relevant performance standards
- If the specification provides for the use of equivalent products or similar, a clear indication of the performance and properties required to make the product equivalent.
- Indicate whether the materials will be new or second-hand, and demonstrate that materials are fit for purpose and be used in a way that will comply with the Act and building code.

#### 17. Performance solutions (Part 7)

In cases where a Performance Solution has been proposed, documentation must include at a minimum—

- details of the relevant Performance Requirements stating the performance requirements with which the building work purports to comply and how the building work will comply with the performance requirements;
- details of how the performance solution is different from the relevant D-t-S provisions under the building code;
- inspection or test results and other documents or information relied on to prepare the application;
- the Assessment Method or methods used to establish compliance with the relevant Performance Requirements;
- details of any Expert Judgement relied upon including the extent to which the judgement was relied upon and the qualifications and experience of the expert;
- details of any tests or calculations used to determine compliance with the relevant Performance Requirements;
- details of any standards or other information which were relied upon; and
- any conditions, limitations or restrictions on the design in a summary in a prominent place in the document.
- Examples of conditions, limitations or restrictions solution applies only if external materials are non-combustible, solution does not apply to a part of the building

b. For fire engineered designs, including any verification methods, the applicant must also provide:

- A copy of the fire engineering brief (FEB);
- A copy of the relevant version of the fire engineering report (FER); and
- Referral documentation to, and comments made by ACT Fire and Rescue, for the submission, if any at the time of application.

#### 18. Maintenance Information (Part 8)

The maintenance for the relocated demountable building will be as per the current maintenance schedule. No changes to the maintenance schedule are required, nor is there an increase to the waste generation value expected.



- A building approval application must be accompanied by maintenance information for the building's essential safety systems.

Note: The Emergencies Act requires the maintenance of fire appliances.

- The requirement to provide a maintenance information is satisfied by completing and attaching the maintenance information table at Appendix 2 to the application.

**19. Referral Or Consultation Entity Advice (part 9)**

- Entities' advice/consent/approval (utility companies), if required
- Conditions from entities consulted
- Documents provided by entities

**20. Other Supporting Documents**

- Any relevant additional documents such as waste management plans, asbestos removal control plans, asbestos assessments reports, asbestos contamination report and other information in relation to asbestos removal
- Letter of Authorisation by landowner
- Any relevant approvals or authorisations related to building work
- DA conditions in approval
- Detailed method of protection of services and waterproofing
- Evidence that limitation in relation to a performance requirement of the building code is appropriate

Brindabella Christian Education Ltd (BCEL)  
PO Box 5103  
Lyneham ACT 2602

## BUILDING APPROVAL CERTIFICATE

**Location:** Block 4 Section 41 Lyneham

**Description of Building Work:** Demountable Classrooms & Veranda

**BCA Occupancy Class:** 9b

**BCA Construction Type:** C

**Number of Storeys:** 1

### Building Approval.

Your application for building approval satisfies the Building Act 2004. Building approval is issued under s.28 of the Building Act 2004.

All work must comply with the:

1. Building Act 2004; and
2. National Construction Code 2022 Volume 1.

This approval expires three years from the date of this approval or at the expiry of the development approval, whichever occurs first.

### Commencement

Building work may begin on the issue of the Building Commencement Notice.

Sincerely,

Sch 2.2(a)(ii)

Dave Delchau  
Principal Building Surveyor  
CBS Commercial Certifiers Pty Ltd  
04 September 2024

Reference No. C240441

## If a home was built before 1990 it may contain dangerous asbestos material



Identify where asbestos materials might be. Five common places are:



## If a home was built before 1990 it may contain dangerous asbestos material



### Assess the risk

A licensed asbestos assessor can help identify asbestos in your home and its condition.

**Asbestos materials become dangerous when:**



Broken or in poor  
condition



Damaged  
accidentally



Disturbed during  
renovation or repairs



Loose fill asbestos  
insulation



### Manage asbestos safely

- Monitor the condition of asbestos in your home
- Inform tradespeople of locations of asbestos in your home
- Avoid disturbing or damaging asbestos if working on your home
- Engage a licensed asbestos removalist to remove asbestos

If you suspect your home contains loose fill asbestos insulation, contact Access Canberra.

For more information, visit [www.worksafeact.gov.au](http://www.worksafeact.gov.au) or call Access Canberra contact centre – 13 22 81  
If you need interpreting help, telephone the Translating and Interpreting Service on 131 450

\*Advice based on the Asbestos Safety and Eradication Agency's residential asbestos disclosure research



*Building Act 2004, S151*  
**Building Approval**

Project ID: B20242552

**PART A - PROJECT DETAILS**

Unit	Block	Section	Division (Suburb)	District	Jurisdiction
	4	41	LYNEHAM	CANBERRA CENTRAL	Australian Capital Territory

**PART B - WORKS REQUIRING BUILDING APPROVAL**

Item of building work to which this Building Approval relates:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
9b	New	EDUCATIONAL BUILDING	School Building	C	1	260.00	Sch 2.2(a)(xi)
10a	New	DA EXEMPT-PERGOLA	Veranda & Ramp	NA	1	73.00	

**The following work is exempt from development approval:**

- Schools

**PART C - CERTIFIERS DECLARATION**

I declare that in issuing this building approval under section 28 of the Building Act 2004:

- I am satisfied on reasonable grounds that the plans meet each applicable approval requirement under section 29 and is not prevented from being issued under section 30 or section 30A
- I have supplied all documents as required under 3.3 Building Act 2004
- I have prepared a notice (building approval certificate) certifying what approval requirements apply to the application and why the building approval is not prevented from being issued; and
- I have given the building approval certificate to the applicant.

In performing services as a certifier in relation to the work detailed in this application I am not in breach of my entitlement to act as a certifier in accordance with the Building Act 2004.

Full Name	Address	License Number	Expiry Date
CBS COMMERCIAL CERTIFIERS PTY LTD	PO Box 76 MITCHELL ACT 2911	2019938	9/09/2025

**Date Issued :** 4/09/2024

**NOTES**

**Utilities**

This application must also be accompanied by a Statement of Compliance from each relevant utility provider (for water, sewerage, electricity and stormwater) which confirms that the location and nature of earthworks, utility connections, proposed buildings, pavements and landscape features comply with utility standards, access provisions and asset clearance zones.

**Note 1:** If there is no stormwater easement or Territory owned stormwater pipes located within the property boundary, a "Statement of Compliance" for stormwater from TAMS (Asset Acceptance) is not required to be obtained.

**Note 2:** Where there is conflict between planning and utility requirements, the utility requirements take precedence over other codified or merit provisions.

## **Utilities – Demolition Only**

This application must be accompanied by a Statement of Endorsement for utilities (including water, sewerage, electricity and stormwater) stating that:

- all network infrastructure on or immediately adjacent to the site has been identified on the plan
- all potentially hazardous substances and conditions (associated with or resulting from the demolition process) that may constitute a risk to utility services have been identified
- all required network disconnections have been identified and the disconnection works comply with utility requirements
- all works associated with the demolition comply with and are in accordance with utility asset access and protection requirements

**Note: The documentation provided to the utility provider for endorsement must be consistent with the documentation that forms part of a development approval or the documentation verified as exempt from requiring development approval by a licensed certifier.**

## **Asbestos Advice**

If documents accompanying building approval do not include an asbestos assessment report as per the Building Act 2004, the building approval must have an Asbestos Advice attached as per the Act

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.



**APPOINTMENT OF BUILDER &  
APPLICATION FOR  
COMMENCEMENT NOTICE**

*Building Act 2004, 5151*

In completing this form the owner is authorising the builder nominated below to apply to the appointed certifier to issue a Commencement Notice for the works detailed in this application form.

**PART A PROJECT DETAILS**

Block  Section  Suburb  Unit No.

Street Address

Certifier Name

Description of Building Works relevant to this application - *If more than 6 items please attach further details*

- 1
- 2
- 3
- 4

**PART B OWNER DETAILS - Please Print**

All owners must be listed Owner 1 will be considered the contact person in relation to this application

Company Details

Owner 1  Owner 2

Owner 3  Owner 4

Postal Address

Suburb  State  Postcode

Phone Number Business Hours  Mobile

EMAIL ADDRESS

**PART C APPOINTMENT OF BUILDER**

I/we the owner/s have appointed the person whose details appear below as the builder in relation to the building works described in this form

Licence Holders Name as it appears on licence card Vamos Group Australia Pty Ltd

Licence Number 2021830 Class A Expiry Date 18/06/2027

List any conditions or endorsements on licence NIL

EMAIL ADDRESS phil@vamosgroup.com.au

**PART D NOMINEE'S DETAILS**  
If the builder is a company or partnership provide details of the Nominee who will supervise the building

Nominee's Name PHILLIP MA

Licence Number 2014631 Class A Expiry Date 17/07/2026

Signature of Nominee \_\_\_\_\_ Date 7.4.24

Sch 2 s 2.2(a)(ii)

**PART E OWNER SIGNATURE/S - all owners must sign this form**

Owner 1	<u>Greg Zwajgenberg</u>	Signature	DATE: <u>7.4.24</u>
Owner 2	<u>Alyn Doig</u>	Signature	DATE: <u>7.4.24</u>
Owner 3	_____	Signature	DATE: _____
Owner 4	_____	Signature	DATE: _____

Sch 2 s 2.2(a)(ii)

**PART F BUILDER APPLICATION TO CERTIFIER FOR COMMENCEMENT NOTICE**

I hereby apply to the building certifier listed above for a commencement notice for the works detailed in Part A of this form in accordance with the Building Act 2004.

A site sign was **not** required to be displayed prior to making this application.

A site sign was required to be displayed in application and I declare that a compliant sign was erected and displayed

Sch 2 s 2.2(a)(ii)

Signature of Builder \_\_\_\_\_ Date 7.4.24

NOTE: There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

**PART G INSURANCE OR FIDELITY CERTIFICATE**

For residential building work please provide details of insurance where applicable

Insurance Provider QBE Insurance Policy No. AQEB041181SR, & AQEB041181SC Date Issued 1 November 2023

**PLEASE NOTE:**

- ▶ A copy of this notice and where applicable the residential building insurance policy or fidelity certificate must be given to the Construction Occupations Registrar within one (1) week of the issue date.
- ▶ A copy of the Commencement Notice must also be provided to the owner/s.

**Privacy Notice**

The personal information on this form is provided to Access Canberra to enable the processing of your application. The collection of personal information is authorised by the *Building Act 2004*. If all or some of the personal information is not collected Access Canberra cannot process your application. The personal information you provide may be disclosed to Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be disclosed where authorised by law or court order, or where the Directorate reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. Access Canberra's Information Privacy Policy contains information about how you may access or seek to correct your personal information held by Access Canberra, and how you may complain about an alleged breach of the Territory Privacy Principles. Access Canberra Information Privacy Policy can be found at [www.act.gov.au/accessCBR](http://www.act.gov.au/accessCBR)

**CONTACT INFORMATION****Email:**

ACTPLAdevelopmentBA@act.gov.au

**Post:**

Access Canberra  
Building Services  
Shopfront Mitchell  
GPO Box 158  
Canberra, ACT 2601

**In Person:**

Please visit  
[www.act.gov.au/accessCBR](http://www.act.gov.au/accessCBR)  
Or call **132281** to find an  
Access Canberra Shopfront.



## Building Act 2004, S151

### Application for Building Commencement Notice

Project ID: B20242552

Licensed builders must use this form to apply to the building certifier for a commencement notice in accordance with the Building Act 2004. An application can only be made if the building approval has been issued for the building work. A commencement notice must be issued by the building certifier before any building work can commence.

#### PART A - PROJECT DETAILS

**Building approval issue date:** 4/09/2024

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
	4	41	CANBERRA CENTRAL	LYNEHAM	Australian Capital Territory

Full Name	Address	License Number	Expiry Date
CBS COMMERCIAL CERTIFIERS PTY LTD	PO Box 76 MITCHELL ACT 2911	2019938	9/09/2025

Description of work to which application for Commencement Notice relates:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
9b	New	EDUCATIONAL BUILDING	School Building	C	1	260.00	Sch 2.2(a)(xi)
10a	New	DA EXEMPT-PERGOLA	Veranda & Ramp	NA	1	73.00	

**Insurance provider:**

**Policy number:**

**Issue date:** 4/09/2024

#### PART B - BUILDERS DETAILS

**License holder's name:** VAMOS GROUP AUSTRALIA PTY LTD

**License number:** 2021830

**License Expiry Date:** 18/06/2027

**Business Address:** 17/27 YALLOURN ST FYSHWICK ACT 2609

**Phone Number:** Sch 2.2(a)(xi)

**Signature of builder:**

/ /

(Individual, director for company or partner for partnership)

If the builder is a company or partnership provide details of the nominee who will supervise the building work

**Nominee's name:** PHILLIP MA

**License number:** 2014631

**License Expiry Date:** 17/07/2026

**Nominee's signature  
(if different to above):**

/ /

### PART C - OWNER/LESSEE DETAILS

Name	Address
Brindabella Christian Education Ltd (BCEL)	PO Box 5103, Lyneham ACT 2602, AUSTRALIA

ADVISORY NOTE: Owners please ensure you have a written contract with the builder named in this application. For residential building work requiring home owner insurance ensure that the same builders name is shown on the insurance policy.

### PART D - OWNER/S OR AGENT SIGNATURE/S

Name	Signature	Date
Brindabella Christian Education Ltd (BCEL)		

NOTE: You may only make this application as an authorised agent on behalf of the owners of the property if you have appropriate written authorisation from ALL the owners and attach it to this application. This also applies if you are a part owner or joint owner making an application on behalf of the owners.

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.

### PART E - BUILDER APPLICATION TO CERTIFIER FOR COMMENCEMENT NOTICE

I hereby apply to the building certifier listed above for a commencement notice for the works detailed in Part A of this form in accordance with the Building Act 2004.

- A site sign was NOT required to be displayed prior to making this application.
- A site sign WAS required to be displayed prior to making this application and I declare that a compliant sign was erected and displayed for the required period.

**Signature of  
Builder/Nominee:**

/ /

NOTE: There are penalties for deliberately giving false and misleading information. Access Canberra or the Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.



## Building Act 2004, S151

### Application for Building Commencement Notice

Project ID: B20242552

Licensed builders must use this form to apply to the building certifier for a commencement notice in accordance with the Building Act 2004. An application can only be made if the building approval has been issued for the building work. A commencement notice must be issued by the building certifier before any building work can commence.

#### PART A - PROJECT DETAILS

**Building approval issue date:** 4/09/2024

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
	4	41	CANBERRA CENTRAL	LYNEHAM	Australian Capital Territory

Full Name	Address	License Number	Expiry Date
CBS COMMERCIAL CERTIFIERS PTY LTD	PO Box 76 MITCHELL ACT 2911	2019938	9/09/2025

Description of work to which application for Commencement Notice relates:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
9b	New	EDUCATIONAL BUILDING	School Building	C	1	260.00	Sch 2.2(a)(xi)
10a	New	DA EXEMPT-PERGOLA	Veranda & Ramp	NA	1	73.00	

**Insurance provider:**

**Policy number:**

**Issue date:** 4/09/2024

#### PART B - BUILDERS DETAILS

**License holder's name:** VAMOS GROUP AUSTRALIA PTY LTD

**License number:** 2021830

**License Expiry Date:** 18/06/2027

**Business Address:** 17/27 YALLOURN ST FYSHWICK ACT 2609

**Phone Number:** Sch 2.2(a)(ii)

**Builder Applied on:** 4/09/2024 3:19:17 PM

If the builder is a company or partnership provide details of the nominee who will supervise the building work

**Nominee's name:** PHILLIP MA

**License number:** 2014631

**License Expiry Date:** 17/07/2026

**Nominee's signature  
(if different to above):**

/ /

### PART C - OWNER/LESSEE DETAILS

Name	Address
Brindabella Christian Education Ltd (BCEL)	PO Box 5103, Lyneham ACT 2602, AUSTRALIA

ADVISORY NOTE: Owners please ensure you have a written contract with the builder named in this application. For residential building work requiring home owner insurance ensure that the same builders name is shown on the insurance policy.

### PART D - OWNER/S OR AGENT SIGNATURE/S

Name	Signature	Date
Brindabella Christian Education Ltd (BCEL)		

NOTE: You may only make this application as an authorised agent on behalf of the owners of the property if you have appropriate written authorisation from ALL the owners and attach it to this application. This also applies if you are a part owner or joint owner making an application on behalf of the owners.

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.

### PART E - BUILDER APPLICATION TO CERTIFIER FOR COMMENCEMENT NOTICE

I hereby apply to the building certifier listed above for a commencement notice for the works detailed in Part A of this form in accordance with the Building Act 2004.

- A site sign was NOT required to be displayed prior to making this application.
- A site sign WAS required to be displayed prior to making this application and I declare that a compliant sign was erected and displayed for the required period.

**Signature of  
Builder/Nominee:**

/ /

NOTE: There are penalties for deliberately giving false and misleading information. Access Canberra or the Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.



Building Act 2004, S151

## Building Commencement Notice

Project ID: B20242552

### PART A - PROJECT DETAILS

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
	4	41	CANBERRA CENTRAL	LYNEHAM	Australian Capital Territory

#### Certifier's Details

Full Name	Address	License Number	Expiry Date
CBS COMMERCIAL CERTIFIERS PTY LTD	PO Box 76 MITCHELL ACT 2911	2019938	9/09/2025

**Building approval issue date:** 4/09/2024

Building Commencement Notice Required for:

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Area (m2)	Cost of Works (\$)
9b	New	EDUCATIONAL BUILDING	School Building	C	260.00	Sch 2.2(a)(xi)
10a	New	DA EXEMPT-PERGOLA	Veranda & Ramp	NA	73.00	

### PART B - BUILDERS DETAILS

**License holder's name:** VAMOS GROUP AUSTRALIA PTY LTD

**License number:** 2021830

**License Expiry Date:** 18/06/2027

**Business Address:** 17/27 YALLOURN ST FYSHWICK ACT 2609

**Phone Number:** Sch 2.2(a)(ii)

If the builder is a company or partnership provide details of the nominee who will supervise the building work

**Nominee's name:** PHILLIP MA

**License number:** 2014631

**License Expiry Date:** 17/07/2026

### PART C - CERTIFIER'S DECLARATION

**Issue date of commencement notice:** 04/09/2024

**Name of Certifier Issuing Notice:** CBS COMMERCIAL CERTIFIERS PTY LTD

**Declaration:**

This commencement notice is issued in accordance with the Building Act 2004, to the licensed builder stated above authorising the commencement of the stated building work. The issue of this commencement notice indicates that I am satisfied that the builders license authorises the work in the building approval. Where applicable for residential building work, I have been provided with a residential building insurance policy or fidelity certificate.

**PLEASE NOTE:**

A copy of the application for this commencement notice, this notice and where applicable the residential building insurance policy or fidelity certificate, must be given to the construction occupations registrar within one (1) week of the issue date.

This building commencement notice will end if-

- (a) for residential building work- the work is no longer insured; or
- (b) the building approval for the work ends

Privacy Notice: The personal information on this form is being collected to enable processing of your application and to enable auditing and compliance of builders and certifiers by the Government appointed auditor. The information that you provide may be disclosed to the Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be accessed by other government agencies and commercial organisations interested in building information.



## APPOINTMENT OF A CERTIFIER APPLICATION FOR BUILDING APPROVAL

Building Act 2004, S151

This form is to be completed by the Owner/s of the land to which the building work relates.

PART A PROJECT DETAILS							
Block	<input type="text" value="4"/>	Section	<input type="text" value="41"/>	Suburb	<input type="text" value="LYNEHAM"/>	Unit No.	<input type="text"/>
Street Address		<input type="text" value="136 BRIGALOW STREET LYNEHAM ACT 2602"/>					

Description of Building Works relevant to this application - *If more than 4 items please attach further details*

Describe each item of building work in this building approval	BCA Occupancy Class	BCA Construction Type	Area(m <sup>2</sup> )	Number of Storeys	Cost of Works (refer to building cost Sch 2.2(a)(xi))
1 4 x DEMOUNTABLE CLASSROOMS	9b	C	260	1	
2 Veranda & Ramp	10a	NA	73	1	
3					
4					

### Applicable approved requirements and reasons why building approval is not prevented from being issued

Is all work exempt from development approval?

YES Attach assessment for exempt development checklist (if applicable)

NO Provide reason/s or description of work: \_\_\_\_\_

### Description of Attachments compliant with Division 3.3 Building Act 2004 Please attach any additional documentation not listed below

Building Approval Plans

Referrals, consultations & consents outcomes

Asbestos Advice - If documents accompanying building approval do not include an asbestos assessment report as per the Building Act 2004, the building approval must have an AA attached as per the Act

### PART B OWNER'S DETAILS - Please Print

All owners must be listed

Owner 1 will be considered the contact person in relation to this application

Company Details

ACN/ABN Number

Owner 1  Owner 2

Owner 3 \_\_\_\_\_ Owner 4 \_\_\_\_\_

Approved form AF2016-85 approved by David Middlemiss, Construction Occupations Deputy Registrar on 10 August 2016 under section 151 of the Building Act 2004 and revokes AF2016-80.

PART B continued		OWNER/S DETAILS – Please Print			
Postal Address	PO Box 5103				
Suburb	Lyneham	State	ACT	Postcode	2602
Phone Number Business Hours	+61 (2) 6190 7300	Mobile	Sch 2.2(a)(ii)		
EMAIL ADDRESS	johnclarke@bcc.act.edu.au				

PART C		APPOINTMENT OF CERTIFIER			
As required under the Building ACT 2004 I/we hereby advise that I/we the owner/s have appointed the person whose details appear below as the certifier in relation to the building works described in this form.					
Company Details	CBS Commercial Certifiers Pty Ltd				
Name of Certifier		ABN/ ACN	85 635 944 124		
Postal Address	PO Box 146				
Suburb	Jamieson Centre	State	ACT	Postcode	2614
Phone Number Business Hours		Mobile			
EMAIL ADDRESS					

PART D		APPLICATION FOR BUILDING APPROVAL		
I/we the Owner/s of the abovementioned property hereby apply under Section 26 of the <i>Building Act 2004</i> to the certifier named above to issue a building approval for the building work described in this form. I/we have provided the certifier with information and documentation required to issue a building approval as specified in the <i>Building (General) Regulation 2008</i> .				

PART E		AUTHORITY TO ACCESS BUILDING FILE		
I/we hereby authorise the certifier to access the building file for the property which is the subject of this application for the purposes of obtaining information relevant to the issuing of a building approval and associated processes.				

PART F		OWNER/S SIGNATURE/S		
1st Owner's Signature	Sch 2.2(a)(ii)	Date	07/04/2024	
2nd Owner's Signature		Date	07/04/2024	
3rd Owner's Signature		Date		
4th Owner's Signature		Date		

**NOTE:** There are penalties for deliberately giving false and misleading information. The Planning and Land Authority or Minister may revoke an approval if satisfied that the approval was obtained by fraud or misrepresentation.

## APPLICATION FOR BUILDING APPROVAL REQUIREMENTS – Building (General) Regulations 2008

Where relevant the following information MUST be included in either the application or the plans accompanying the application for building approval:

## General Requirements

- ▶ Estimated Cost of Works - as per *Building (General) (Cost of Building Work) Determination 2015*
- ▶ if the proposed building work to be carried out at or near a street or place that is open to or used by the public the application must contain details of the precautions proposed to be taken to protect the safety of people using the street or place while the building work is carried out
- ▶ the area of the parcel of land to which this application relates
- ▶ the class of the building according to the intended use of the building as proposed to be erected or altered;
- ▶ if applicable what fire-resisting construction type (under the building code) the building as proposed to be erected or altered will be  
*Note: Fire-resisting construction type may not be applicable if an alternative solution under the building code is used*
- ▶ for an application relating to the erection of a class 1 building the site classification of the parcel of land
- ▶ for an application relating to the alteration of a class 1 building if the alteration will increase the building load carried by foundation material beyond the building load carried by the foundation before the alteration
- ▶ the site classification of the parcel of land
- ▶ for an application relating to the alteration of a building the class and type of fire-resisting construction of the existing building classified under the building code and the materials used in the existing building  
*Note: Fire-resisting construction type may not be applicable if an alternative solution under the building code is used*
- ▶ the number of storeys of the building as proposed to be erected or altered;
- ▶ the number of new dwellings (if any) created by the proposed building work;
- ▶ the floor area of the proposed building or proposed new part of the building;
- ▶ the materials to be used in the frame, floor, walls and roof of the proposed building or proposed new part of the building
- ▶ if a performance requirement of the building code is to be complied with by use of an alternative solution under the code -
  - (i) the performance requirement; and
  - (ii) the alternative solution; and
  - (iii) each assessment method used to show that the alternative solution complies with the performance requirement;
- ▶ if the building code does not state a standard of work in relation to any part of the proposed building work and it is intended to carry out that part of the proposed building work in accordance with a standard of work stated in another document -
  - (i) the nature of the proposed building work; and
  - (ii) the title of the document; and
  - (iii) each assessment method used to show that the proposed building work complies with the standard of work stated in the document.

## Removal or demolition of building/s

- ▶ Details of the methods to be used in carrying out the proposed building work, including a work plan stated or set out in AS 2501 (Demolition of structures), as in force from time to time;
- ▶ the number of dwellings (if any) to be demolished.

## Asbestos

- ▶ The application must include a description of the method proposed to be used to remove the bonded asbestos sheeting from the building
- ▶ the application must include the following information:
  - (i) the method proposed to be used to remove the asbestos;
  - (ii) the approximate amount and kind of asbestos to be removed;
  - (iii) the equipment proposed to be used to remove the asbestos, including any personal protective equipment;
  - (iv) details of a program, prepared in accordance with the asbestos removal code, for monitoring airborne asbestos to be followed during the removal.

## Privacy Notice

The personal information on this form is provided to Access Canberra to enable the processing of your application. The collection of personal information is authorised by the *Building Act 2004*. If all or some of the personal information is not collected Access Canberra cannot process your application. The personal information you provide may be disclosed to Australian Bureau of Statistics, ACT Revenue Office and the Taxation Office. The information may also be disclosed where authorised by law or court order, or where the Directorate reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. Access Canberra's Information Privacy Policy contains information about how you may access or seek to correct your personal information held by Access Canberra, and how you may complain about an alleged breach of the Territory Privacy Principles. Access Canberra information Privacy Policy can be found at [www.act.gov.au/accessCBR](http://www.act.gov.au/accessCBR)

## CONTACT INFORMATION

## Email:

ACTPLAdevelopmentBA@act.gov.au

## Post:

Access Canberra  
Building Services  
Shopfront Mitchell  
GPO Box 158  
Canberra, ACT 2601

## In Person:

Please visit  
[www.act.gov.au/accessCBR](http://www.act.gov.au/accessCBR)  
Or call 132281 to find an  
Access Canberra Shopfront.



*Building Act 2004, S151*

**Appointment of a Certifier and  
Application for Building Approval**

Project ID: B20242552

This form is to be completed by the Owner/s of the land to which the building work relates

**PART A - PROJECT DETAILS**

Unit	Block	Section	District (Suburb)	Division	Jurisdiction
	4	41	CANBERRA CENTRAL	LYNEHAM	Australian Capital Territory

**PART B - OWNER DETAILS**

Name	Address	Email Address
Brindabella Christian Education Ltd (BCEL)	PO Box 5103, Lyneham ACT 2602, AUSTRALIA	

**PART C - APPOINTMENT OF CERTIFIER**

As required under the Building ACT 2004 I/we hereby advise that I/we the owner/s have appointed the person whose details appear below as the certifier in relation to the building works described in this form

Full Name	Address	License Number	Expiry Date
CBS COMMERCIAL CERTIFIERS PTY LTD	PO Box 76 MITCHELL ACT 2911	2019938	9/09/2025

**PART D - APPLICATION FOR BUILDING APPROVAL**

I/we the owners of the abovementioned property hereby apply to the certifier named above to issue a building approval under Section 26 of the Building Act 2004 for the building works detailed in the following table

Class of Occupancy	Nature of Work	Project Item Description	Other Description	Type Of Construction	Storeys	Area (m2)	Cost of Works (\$)
9b	New	EDUCATIONAL BUILDING	School Building	C	1	260.00	Sch 2.2(a)(xi)
10a	New	DA EXEMPT-PERGOLA	Veranda & Ramp	NA	1	73.00	

I/we have provided the certifier with the information and documentation required to issue a building approval as specified in the Building (General) Regulation 2008.

**PART E - AUTHORITY TO ACCESS BUILDING FILE**

I/we hereby authorise the certifier to access the building file held by Access Canberra for the property which is the subject of this application for the purposes of obtaining information relevant to the issuing of a building approval and associated processes.

**PART F - OWNER/S SIGNATURE/S**

Name	Signature	Date
Brindabella Christian Education Ltd (BCEL)		

**APPLICATION FOR BUILDING APPROVAL REQUIREMENTS**  
Building (General) Regulations 2008

Where relevant the following information **MUST** be included in either the application or the plans accompanying the application for building approval:

### General Requirements

- Estimated Cost of Works -as per Building (General) (Cost of Building Work) Determination 2011
- if the proposed building work to be carried out at or near a street or place that is open to or used by the public the application must contain details of the precautions proposed to be taken to protect the safety of people using the street or place while the building work is carried out
- the area of the parcel of land to which this application relates
- the class of the building according to the intended use of the building as proposed to be erected or altered;
- if applicable what fire-resisting construction type (under the building code) the building as proposed to be erected or altered will be.

Note: Fire-resisting construction type may not be applicable if an alternative solution under the building code is used.

- for an application relating to the erection of a class 1 building the site classification of the parcel of land
  - for an application relating to the alteration of a class 1 building if the alteration will increase the building load carried by foundation material beyond the building load carried by the foundation before the alteration.
  - the site classification of the parcel of land
  - for an application relating to the alteration of a building the class and type of fire-resisting construction of the existing building classified under the building code and the materials used in the existing building
- Note Fire-resisting construction type may not be applicable if an alternative solution under the building code is used.
- the number of storeys of the building as proposed to be erected or altered;
  - the number of new dwellings (if any) created by the proposed building work;
  - the floor area of the proposed building or proposed new part of the building;
  - the materials to be used in the frame, floor, walls and roof of the proposed building or proposed new part of the building
  - if a performance requirement of the building code is to be complied with by use of an alternative solution under the code -

(i) the performance requirement; and

(ii) the alternative solution; and

(iii) each assessment method used to show that the alternative solution complies with the performance requirement;

- if the building code does not state a standard of work in relation to any part of the proposed building work and it is intended to carry out that part of the proposed building work in accordance with a standard of work stated in another document -

(i) the nature of the proposed building work; and

(ii) the title of the document; and

(iii) each assessment method used to show that the proposed building work complies with the standard of work stated in the document.

Removal or demolition of building/s

- Details of the methods to be used in carrying out the proposed building work, including a work plan stated or set out in AS 2601 (Demolition of structures), as in force from time to time;
- the number of dwellings (if any) to be demolished.

Asbestos

- The application must include a description of the method proposed to be used to remove the bonded asbestos sheeting from the building.
- the application must include the following information:
  - (i) the method proposed to be used to remove the asbestos;
  - (ii) the approximate amount and kind of asbestos to be removed;
  - (iii) the equipment proposed to be used to remove the asbestos, including any personal protective equipment;
  - (iv) details of a program, prepared in accordance with the asbestos removal code, for monitoring airborne asbestos to be followed during the removal.

**Lease/Site Details**

Block	4	Section	41	Suburb	Lyneham	Division	
Unit No		Street Address	136 Brigalow Street, Lyneham ACT 2602				

**Building Approval Application and Site Work Details**

This notice is issued in relation to the site work shown in the plans submitted as part of the application for a building approval dated made by the following applicants:

Brindabella Christian Education Ltd (BCEL)

on: date 07/04/2024

This notice applies to all site work in that application for which there is there is no—

- (a) exemption assessment D notice stating that the site work is exempt development issued for the work not more than 3 months before the day the application was made;
- (b) exemption declaration under the *Planning (Exempt Development) Regulation 2023*, schedule 1, section 1.131 made by the Territory Planning Authority; or
- (c) current development approval issued in relation to the site work.

**NOTE:** Site work is development that is—

- (a) building work; and
- (b) work other than building work that—
  - (i) physically affects the place (the building site) where the building work is being carried out; and
  - (ii) if not carried out at the building site, is carried out near, and connected with, the building site.

Examples: putting up temporary fencing, installing measures for erosion control, building a house, damaging or removing a significant tree, laying paving for driveways and parking areas, installing landscaping, site clearing and excavation, erecting site signage, erecting a pergola

**Building Certifier Details** *Please Print*

Surname	Sch 2.2(a)(ii)	First Name	
Company Name	CBS Commercial Certifiers Pty Ltd		
Licence Number	2019938	Contact Number	(02) 62539911
Postal Address	Level 1, 53 Bowman Street		
Suburb	Macquarie	State	ACT
		Postcode	2614

I state that:

- the plans for the building work to which the application for building approval relates show all the information necessary to establish that the site work is exempt development under the *Planning Act 2023*, section 145; and
- the site work is exempt development; and
- I have assessed that the site work is exempt development for the following reasons and in accordance with the following provisions of the *Planning (Exempt Development) Regulation 2023* including any relevant residential zones – single dwelling housing development controls.

Building work(s) are exempt as per the following section of Schedule 1

1.106 School – new Building

Please list any further information that may be relevant in deciding that the works are exempt under Schedule 1

<6.0m in height and further than 6.0m from a residential boundary

Amended Building work(s) are exempt as per the following section of Schedule 1

*Please attach additional information if required*

Building Certifier Signature  
(or nominee)

Sch 2.2(a)(ii)

Date of  
Issue

04/09/2024

s offence

### Privacy Notice

Access Canberra will collect personal and financial information (e.g. postal address and invoice numbers) where you choose to provide this information. The information requested in each case is required to complete the transaction. The information collected through the online version of the transaction is equivalent to the information collected using the alternate channels such as through an [Access Canberra Service Centre](#).

If you choose not to provide personal information when completing one or more of these activities, you may not be able to complete that activity. If you choose not to participate in these activities, your choice will in no way affect your ability to browse these websites and online facilities.

Access Canberra will not share information about you with other government agencies or other organisations without your permission unless:

- it is necessary to provide you with a service that you have requested;
- it is required or authorised by law;
- where permitted general situations exist, such as to lessen or prevent a threat to life, health or safety; to assist with the location of a missing person; or to investigate suspected unlawful activity or serious misconduct relating to our function.

For further information regarding Access Canberra, Chief Minister, Treasury and Economic Development Directorate Privacy policy, please visit:

<https://www.act.gov.au/privacy/full-privacy>

## CONTACT INFORMATION

**Email:**  
ACTPLAdevelopmentBA@act.gov.au

**Post:**  
Access Canberra  
Building Services  
Shopfront Mitchell  
GPO Box 158  
Canberra, ACT 2601

**In Person:**  
Please visit  
[www.act.gov.au/accessCBR](http://www.act.gov.au/accessCBR)  
Or call 132281 to find an  
Access Canberra Service  
Centre.

Sch 2.2(a)(xi), Sch 2.2(a)(ii)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

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Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)



## Electricity Networks

### STATEMENT OF

# CONDITIONAL COMPLIANCE

**Application No:** 219756    **Suburb:** Lyneham    **Block/Section 4 / 41**

**Applcn Type:** Non residential/Addition Inclusions : Other

#### Attached Plans

Building Approval Plans - 4xClass\_4-41 Lyneham.pdf

Lyneham S41 B4 In Principle IWDesAcc.pdf

## This application is approved subject to compliance with the following conditions:

#### Conditions

Development is to comply with minimum 1.5m machinery access clear of obstacles and vegetation to assets within the block.

Development is to comply with minimum clearances to overhead conductors and poles. Ref Evoenergy Drawing 3811-004

Development is to comply with minimum separation requirements to underground assets. Ref Evoenergy Drawing 3832-018

Proposed and existing development is to comply with minimum 1.5m machinery access clear of obstacles and vegetation to assets within or adjacent to the block. The development must maintain existing access arrangements to Evoenergy assets that located within or adjacent to the block at all time.

- No development activity shall be undertaken
  - a) within an electricity easement or,
  - b) that restricts access to Evoenergy asset/s

The location of the proposed or existing Point of Entry/ Meter Box is to comply with Evoenergy's Service and Installation rules.

The proponent is responsible for ensuring that Evoenergy's Design and Siting requirements for substations are met. This includes but not limited to meeting all the requirements of Evoenergy Drawing 3832-018, in particular that no underground uninsulated metal work, metal pipes, metal fencing or metal clad buildings are within 7 meters of any part of a padmount substation. Unhindered direct access to the substation will be required 24/7.

#### Please Note

- **WARNING** Evoenergy underground assets may be in or adjacent to this block. It is your responsibility to ascertain the location of such assets.
- Development and Building Applications will need to include any proposed Evoenergy works
- If Evoenergy approval conditions are not met, a breach of the law may result.
- Separate applications are required for water & sewerage, and communication network services.
- Construction of unapproved works may result in action being taken to require the property owner to remove non-compliant structures and/or the property owner to fund rectification works on Evoenergy 's electricity network.
- Any attached reticulation or servicing plan is preliminary only. Contact Evoenergy for final plans prior to the commencement of any construction activity.
- A failure of this application to show accurately located electricity assets may result in damage and costs for which the proponent will be liable. Damage to network assets must be reported to Evoenergy.

**Comments:****Signed**

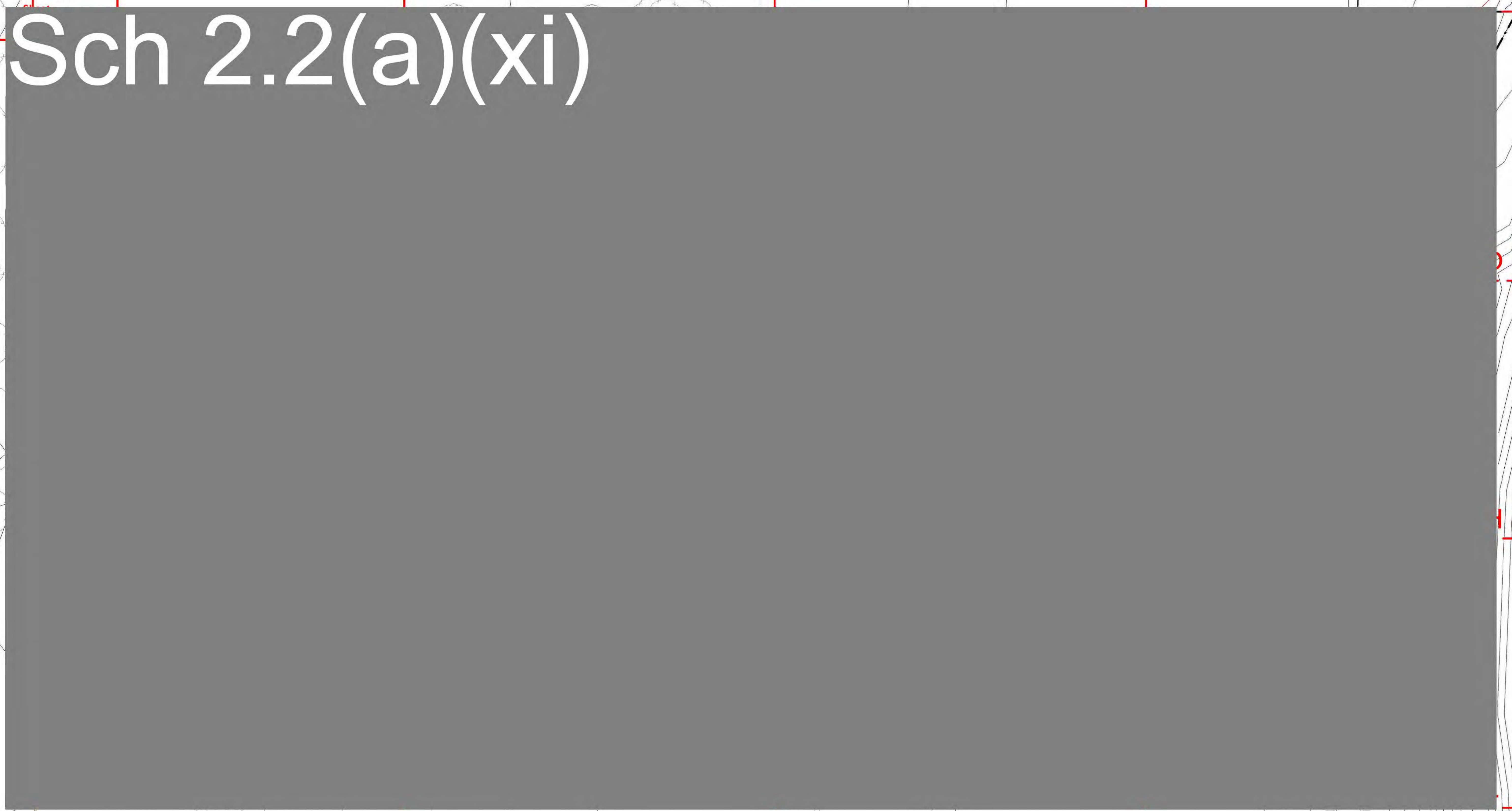
Sch 2.2(a)(ii)

**Date**

30 Jul 2024

*For further information please phone Evoenergy Electricity Networks: 6293 5770**Evoenergy Gas Networks: 6203 0640*

# Sch 2.2(a)(xi)



0 2.5 5 7.5 10 12.5 15 17.5 20 m  
SCALE: 1:250 @ ORIGINAL SCALE  
(WHEN PRINTED IN A1)

No.	Date	Description
A	09.01.23	GROUND WORKS
B	01.05.23	FOR REVIEW



Architecture  
Interiors  
Access  
Heritage

Client:  
BRINDABELLA CHRISTIAN COLLEGE  
  
Project Title:  
MASTERPLANNING STUDIES  
  
4 41 Lyneham  
  
136 BRIGALOW STREET, LYNEHAM ACT 2602

Design Project Manager:  
SV  
  
Project Delivery Leader:  
DT  
  
Quality Manager:  
SV  
  
Drawn:

Drawing Title:  
SITE PLAN - L0  
  
Scale:  
1 : 250  
  
Project No:  
1506.19  
  
Sheet Size:  
A1  
  
Sheet No:  
A001

Amendment:  
B

PRELIMINARY

All dimensions in millimetres. Do not scale drawing. All dimensions and levels to be verified on site by contractor before commencing work or preparation of shop drawings. Where provided, drawings must be read in conjunction with schedule of work or specification.

PROPOSED WALKWAY LIKE COMO STRUCTURE  
WITH SOLAR PANEL

NEW HORIZONTAL CLADDING TO EXISTING BUILDING

1  
A010

PROPOSED DEMOUNTABLE UNIT

CONCRETE PAVING  
BROOM FINISH

TRANSITION  
BETWEEN EXISTING  
AND NEW PAVING

# Sch 2.2(a)(xi)

REARRANGE PAVING TO SUIT  
EXISTING PAVING LAYOUT

NEW SCREEN LOUVRE TO  
MATCH EXISTING

NEW DEMOUNTABLE UNITS

1  
A110

No.	Date	Description
A	09.01.23	GROUND WORKS



Architecture  
Interiors  
Access  
Heritage

Client:  
BRINDABELLA CHRISTIAN COLLEGE

Project Title:  
MASTERPLANNING STUDIES

4 41 Lyneham

136 BRIGALOW STREET, LYNEHAM ACT 2602

Design Project Manager:  
SV

Project Delivery Leader:  
DT

Quality Manager:  
SV

Drawn:  
EJ

Drawing Title:  
**EXTERNAL WORKS**

Scale:  
As indicated

Project No:  
**1506.19**

Sheet Size:  
A1

Sheet No:  
**A008**

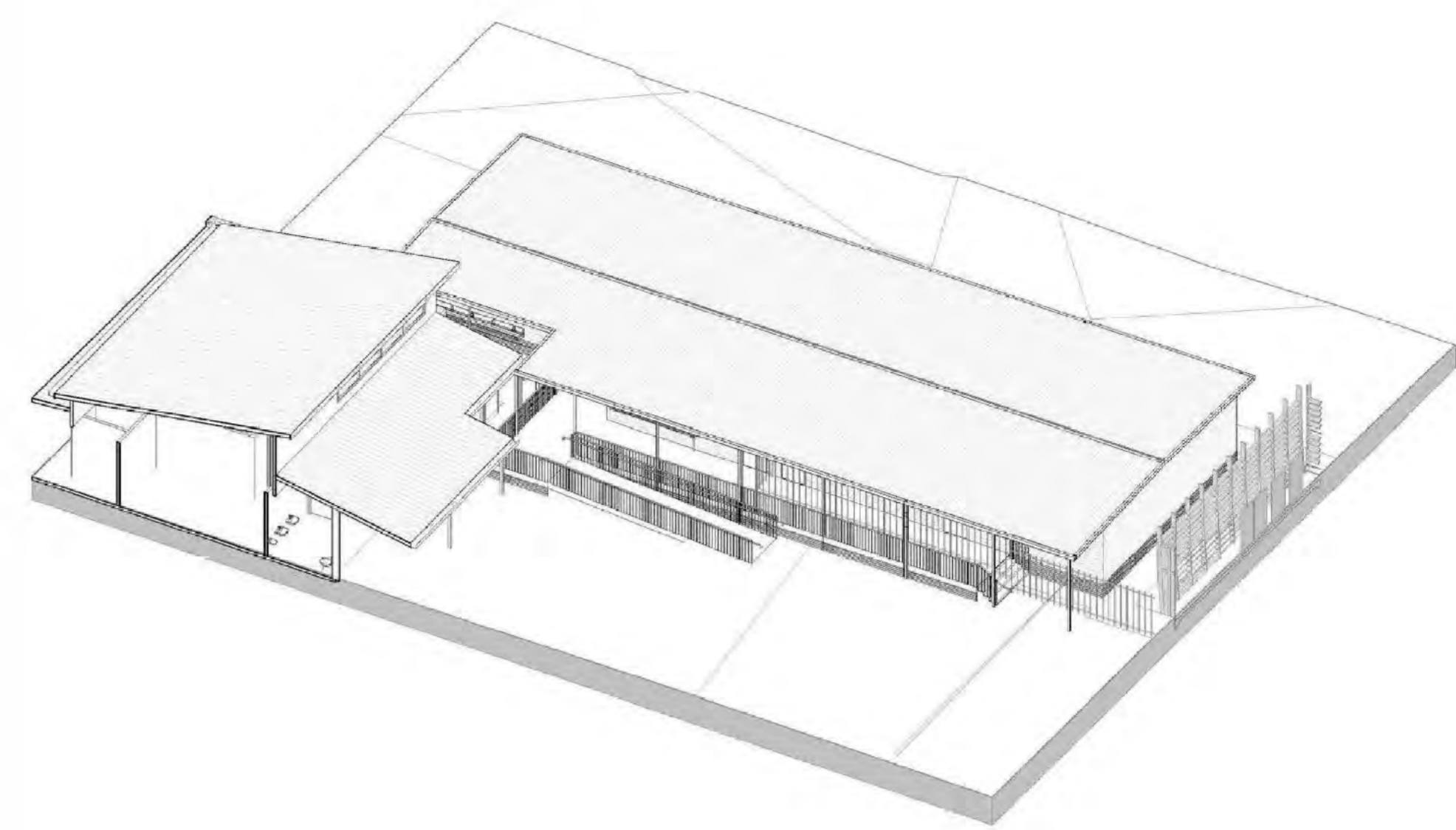
Amendment:  
**A**

PRELIMINARY

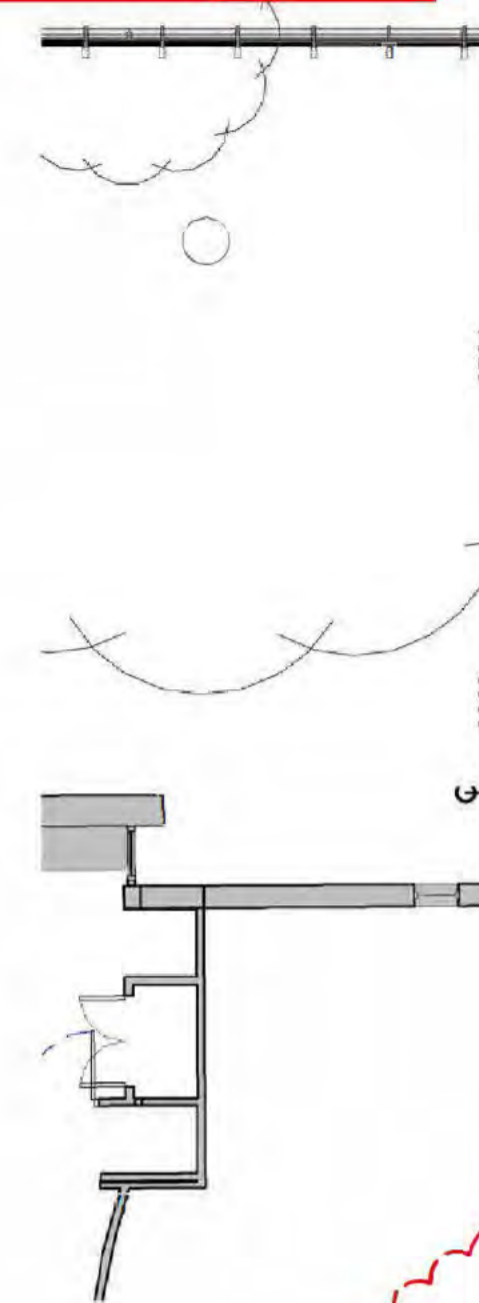
All dimensions in millimetres. Do not scale drawing. All dimensions and levels to be verified on site by contractor before commencing work or preparation of shop drawings. Where provided, drawings must be read in conjunction with schedule of work or specification.

ALIGN NEW DEMOUNTABLE UNITS WITH EXISTING BUILDING LINE

# Sch 2.2(a)(xi)



6 DEMOUNTABLE UNIT 4 OFF



CUT EXISTING ROOF TO AVOID CLUSHING WITH THE NEW ROOF

1658 SETOUT  
 4064 SETOUT

1 2022 4 DEMOUNTABLE UNIT PLAN  
 A008 1:100

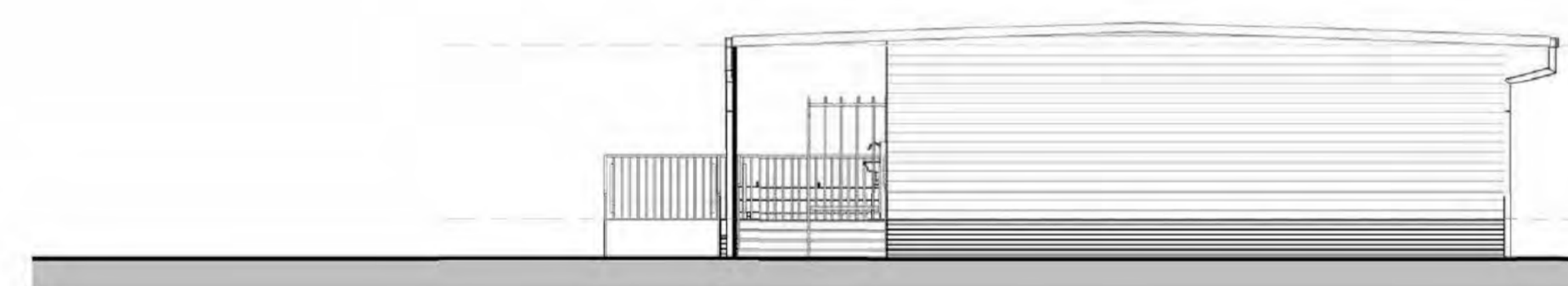
**evoenergy**  
**CONDITIONALLY COMPLIES**

This document has been assessed against legislation protecting Evoenergy's infrastructure and access to it.

The information contained in this application complies with Evoenergy's electricity network protection and access requirements subject to the conditions as listed on the Statement of Conditional Compliance.

Please note: Construction of unapproved works may result in action being taken to require the property owner to remove non-compliant structures and/or the property owner to fund rectification works on Evoenergy's electricity network.

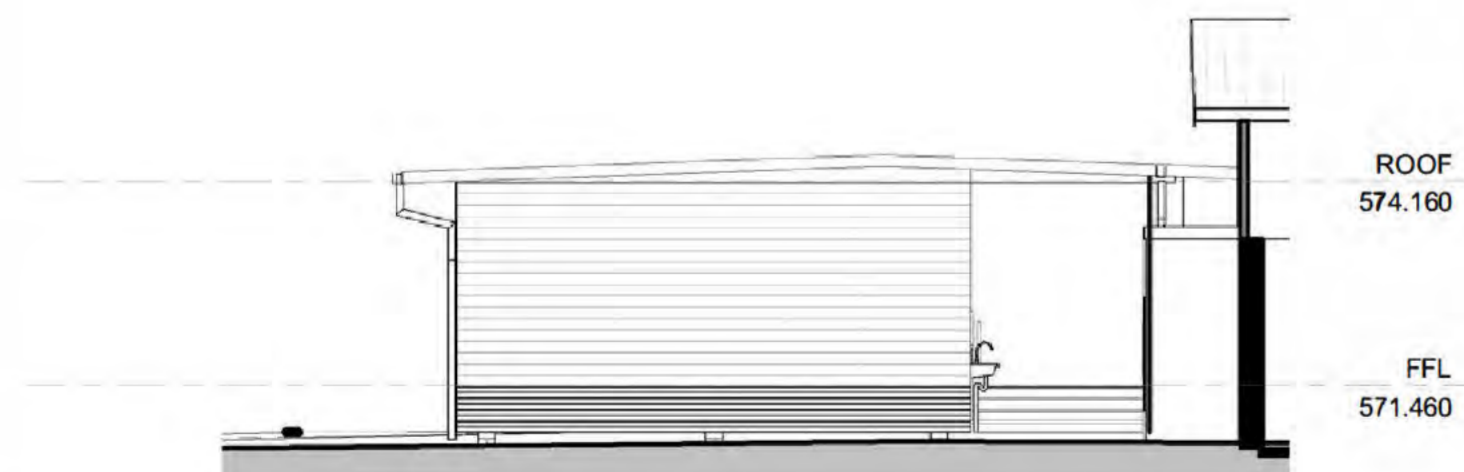
Signed: 571.460  
 Date: 30 Jul 2024  
 Contact Phone: 6293 5770



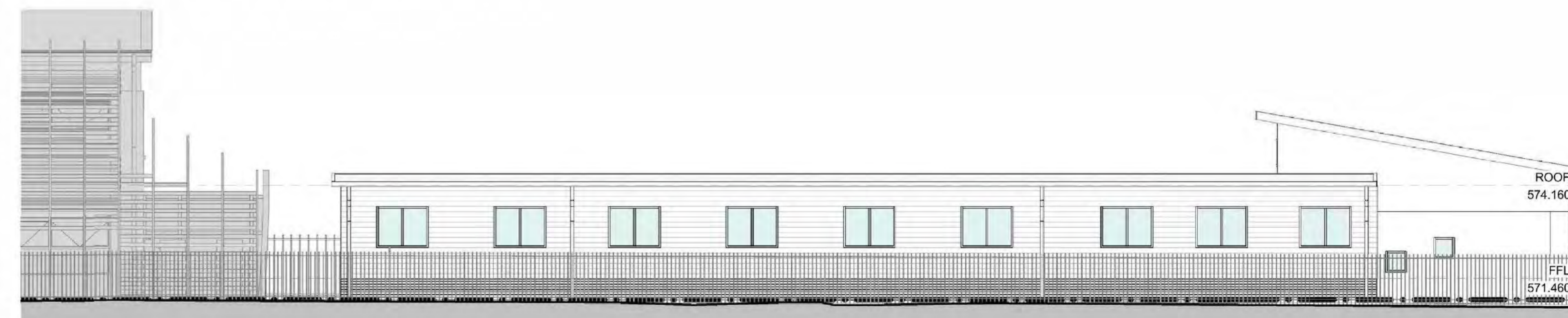
3 4 DEMOUNTABLE UNITS - RIGHT VIEW  
 1:100



2 4 DEMOUNTABLE UNITS\_ FRONT VIEW  
 1:100



5 4 DEMOUNTABLE UNITS\_ LEFT VIEW  
 1:100



4 4 DEMOUNTABLE UNITS\_ REAR VIEW  
 1:100

All dimensions in millimetres. Do not scale drawing. All dimensions and levels to be verified on site by contractor before commencing work or preparation of shop drawings. Where provided, drawings must be read in conjunction with schedule of work or specification.

No.	Date	Description
A	23.01.23	FOR REVIEW
B	28.06.23	CUT SECTION OF THE EXISTING ROOF



Project Title:  
 MASTERPLANNING STUDIES

136 BRIGALOW STREET, LYNEHAM ACT 2602

Client:  
 BRINDABELLA CHRISTIAN COLLEGE

Design Project Manager:  
 SV

Project Delivery leader:  
 DT

Quality Manager:  
 DT

Project Team:  
 SV

Drawing Title:  
**4 DEMOUNTABLE UNITS PLAN**

Scale: 1:100  
 Sheet Size: A1

Project No: 1506.19  
 Drawing: A110  
 Revision: B

**SQC Group**  
 22 Thynne Street  
 Bruce ACT 2617  
 02 6278 8500  
 studio@sqcagroup.com.au  
 www.sqcagroup.com.au

Sch 2.2(a)(ii) CT 858

Application Number  
**219756**  
Sheet  
**5 of 6**

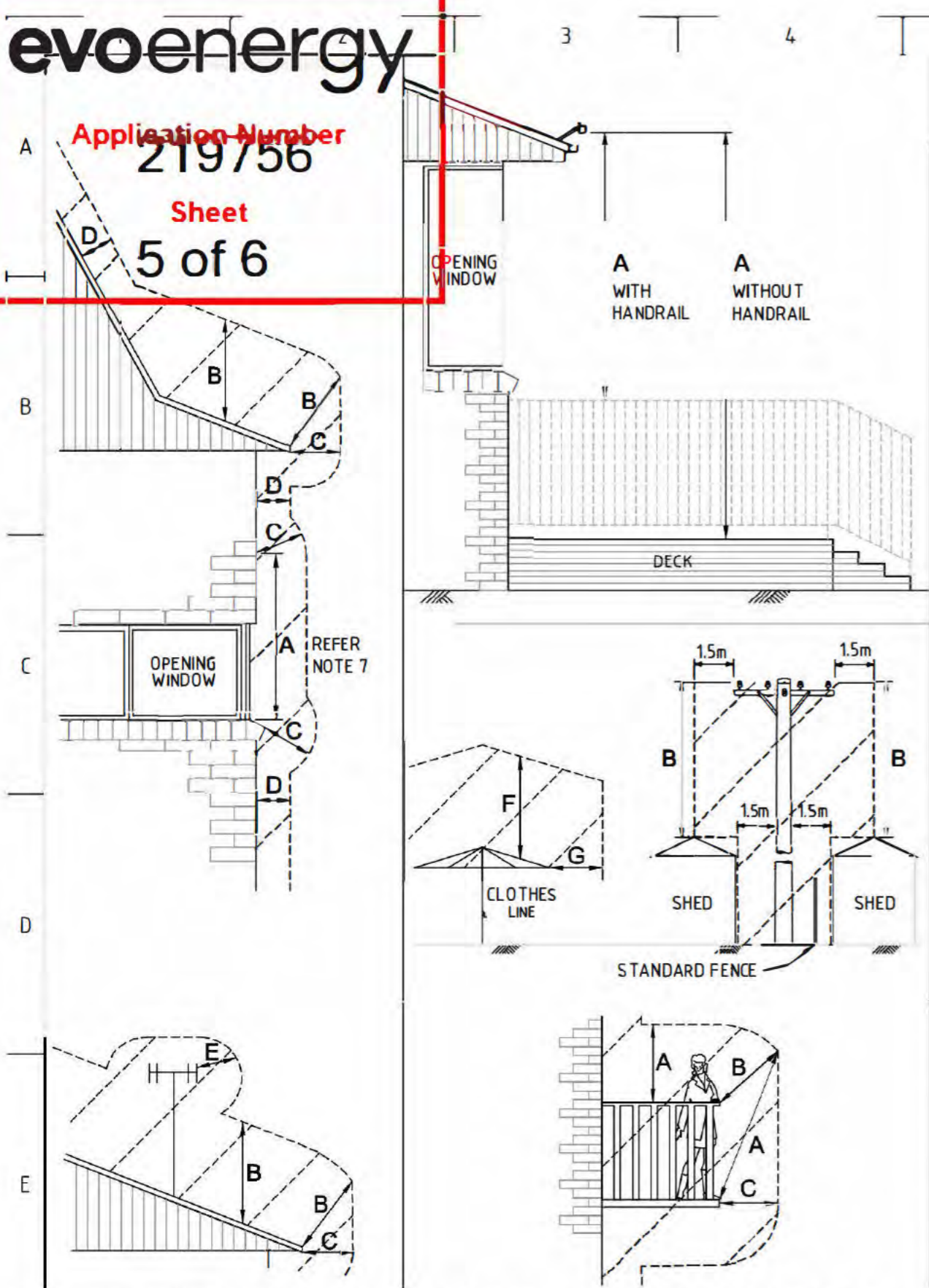


TABLE 1 - GROUND CLEARANCE  
(OTHER THAN INSULATED SERVICE CONDUCTORS)

LOCATION	DISTANCE TO GROUND IN ANY DIRECTION		
	U<1kV	1kV<U<33kV	33kV<U<132kV
OVER LAND WHICH DUE TO ITS STEEPNESS OR SWAMPINESS IS NOT ABLE TO BE TRAVERSED BY VEHICLES.	4.5m	4.5m	5.5m
OVER LAND OTHER THAN THE CARRIAGEWAY OF ROADS.	5.5m (note 4)	5.5m	6.7m
OVER THE CARRIAGEWAY OF MINOR ROADS	6m	6.7m	8m
OVER THE CARRIAGEWAY OF MAJOR ROADS	6.7m (note 5)	6.7m	9m

TABLE 2 - GROUND CLEARANCE  
(INSULATED SERVICE CONDUCTORS)

LOCATION	DISTANCE TO GROUND IN ANY DIRECTION
OVER THE CENTRE OF A ROAD.	5.5m
OVER ANY OTHER PART OF A ROAD.	4.6m
OVER A FOOTWAY OR LAND THAT IS LIKELY TO BE USED BY HEAVY VEHICLES	4.6m
OVER A FOOTWAY OR LAND THAT IS NORMALLY USED ONLY BY MOTOR CARS OR VEHICLES OF SIMILAR HEIGHT	3.0m
ELSEWHERE.	2.7m

TABLE 3 - CLEARANCE FROM STRUCTURES

LOCATION	CONDUCTOR					
	INSULATED U<1kV	BARE U<1kV	INSULATED WITH EARTHED SCREEN U<1kV	INSULATED WITHOUT EARTHED SCREEN U<1kV	BARE or COVERED 1kV<U<33kV	BARE 33kV<U<132kV
<b>A</b> VERTICALLY (AND NEAR VERTICALLY), FROM ANY PART OF THE STRUCTURE NORMALLY ACCESSIBLE TO PEOPLE	2.7m	3.7m	2.7m	3.7m	4.6m	5.0m
<b>B</b> VERTICALLY (AND NEAR VERTICALLY), FROM ANY PART OF THE STRUCTURE NOT NORMALLY ACCESSIBLE TO PEOPLE BUT ON WHICH A PERSON CAN STAND	1.2m	2.7m	2.7m	2.7m	3.7m	4.5m
<b>C</b> ANY DIRECTION (OTHER THAN VERTICALLY), FROM THOSE PARTS OF THE STRUCTURE NORMALLY ACCESSIBLE TO PERSONS, OR FROM ANY PART NOT NORMALLY ACCESSIBLE TO PERSONS BUT ON WHICH A PERSON COULD STAND.	1.5m (note 3)	2.0m	1.5m	1.5m	2.7m	3.0m
<b>D</b> ANY DIRECTION (OTHER THAN VERTICALLY), FROM ANY PART OF THE STRUCTURE NOT NORMALLY ACCESSIBLE TO PERSONS.	0.3m (note 3)	1.5m	0.3m	1.5m	2.7m	2.7m
<b>E</b> ANY DIRECTION, FROM AN OUTDOOR WIRELESS OR TELEVISION AERIAL OR PART OF A STAY WIRE FOR THE AERIAL	1.5m	1.5m	1.5m	1.5m	1.5m	2.7m
<b>F</b> VERTICALLY FROM ANY PART OF A FULLY EXTENDED CLOTHES LINE	1.8m	3.7m	4.6m	4.6m	4.6m	5.5m
<b>G</b> ANY DIRECTION (OTHER THAN VERTICALLY), FROM ANY PART OF A FULLY EXTENDED CLOTHES LINE	1.8m	3.0m	3.0m	3.0m	3.0m	3.0m

GENERAL NOTES:

1. THE MINIMUM DISTANCE FROM ANY PART OF AN AERIAL LINE IS TO BE MEASURED FROM THE NEAREST POINT TO WHICH THE LINE SAGS OR SWINGS. FOR SAG THIS IS AT THE MAXIMUM DESIGN OPERATING TEMPERATURE (NORMALLY 65°C FOR DISTRIBUTION LINES and 120°C FOR TRANSMISSION LINES). FOR SWING THIS IS AT THE MAXIMUM DESIGN WIND LOADING (500Pa WIND)
2. COVERED CONDUCTORS TO BE TREATED AS BARE CONDUCTORS
3. THIS CLEARANCE CAN BE FURTHER REDUCED TO ALLOW FOR TERMINATION AT THE POINT OF ATTACHMENT
4. LOW VOLTAGE CONDUCTORS CONSTRUCTED PRIOR TO 1998 REQUIRE ONLY 4.6m GROUND CLEARANCE OVER LAND OTHER THAN ROADS
5. MAJOR ROADS ARE DEFINED AS ROADS WITH DUAL CARRIAGEWAYS OR 100kph (or GREATER) SPEED LIMIT. ALL OTHER ROADS SHALL BE CONSIDERED AS MINOR ROADS
6. REFER TO DRAWING 3832-020, CLEARANCE REQUIREMENT FOR SWIMMING POOL FROM ELECTRICAL INFRASTRUCTURE.
7. WHERE THERE IS A RISER BRACKET INSTALLED OVER AN EAVES OVERHANG ABOVE WINDOW DIMENSION "A" IS NOT APPLICABLE
8. ELECTRICAL POINT OF ATTACHMENT MUST BE ACCESSIBLE AND FREE OF OBSTRUCTION AT ALL TIMES.

OVERHEAD CONDUCTORS MUST NOT COME WITHIN THE SHADED AREA

No	Revision	Date	Checked	Approved
K	HV CLEARANCE ABOVE MAJOR RD'S REVISED TABLE 1	26/07/2007	GA	GA
J	NOTE 1 AMENDED INCLUDE TRANS. LINE DESIGN TEMP.	13/08/2003	GA	SF
N	LOGO AND REFERENCES UPDATED TO EVOENERGY	8/01/2018	C. Desai	W. Ibrahim
M	DRG APPROVED AS CURRENT	24/04/2015	CD	WC

Drawn:	Designed: A-NNR
Checked:	
Approved: Sch 2.2(a)(ii)	
Project No:	

**evoenergy**  
MINIMUM CLEARANCES  
INSULATED & BARE  
OVERHEAD CONDUCTORS

Scale: Date: Sheet No:  
Work Pack No: File:  
Status: **Current**  
**A3** **3811-004**

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TABLE 1 - MINIMUM SEPARATION REQUIREMENTS

TO NEAREST PART TO:	MIN SEPARATION (mm)
BUILDING	7500 (NOTE 6)
PROPERTY BOUNDARY	1500
ABOVE GROUND OBJECTS	1500 (NOTE 5)
DRIVEWAYS & ROADS	1500
COMMS CABLES, GAS & WATER PIPES, SEWER LINES	1500 (NOTE 5)
BUILDINGS & STRUCTURES	1200 (300-NOTE 2, 6.1)
PROPERTY BOUNDARY	50
ROADS	1200
FOOTPATH	NOTE 10
DRIVEWAYS	1200 (1000- NOTE 2)
SHRUBS AND SMALL TREES	1200 (500- NOTE 2)
TREES THAT CAN GROW >3 M	1500
BUILDINGS & STRUCTURES	1000
PROPERTY BOUNDARY / FOOTPATH / DRIVEWAY	40 (NOTE 14)
ROAD	1200
SHRUBS	1200
WATER PIPES	500 (H) 300 (V) (NOTE 1)
SEWER PIPE LINES & STORMWATER PIPE LINES	600 (H), 300 (V) (NOTE 1)
COMMUNICATIONS CABLES	300
GAS PIPES	IN ACCORDANCE TO P006135 (NOTE 13)
HV CABLES (22kV <U≤132kV)	750 (NOTE 3)
EDGE OF INGROUND SWIMMING POOLS OR SPAS	3500
HV CABLES (1kV <U≤22kV)	250 CENTRE TO CENTRE (NOTE 7)
WATER PIPES	500 (H) 275(V) (NOTE 1)
SEWER PIPE LINES & STORMWATER PIPE LINES	600 (H), 150(V) (NOTE 1)
COMMUNICATIONS CABLES	150
GAS PIPES	IN ACCORDANCE TO P006135 (NOTE 13)
EDGE OF INGROUND SWIMMING POOLS OR SPAS	REFERENCE DRAWING 3832-020
HV CABLES (1kV <U≤22kV)	250 CENTRE TO CENTRE (NOTE 7)
LV CABLES	50 PHYSICAL SEPARATION
PROPERTY BOUNDARY	300- OR AS PER DESIGN VARIATION
BUILDINGS & STRUCTURES	1200 (H) (NOTE 8, 9)
ROAD (SPEED LIMIT < 60 km/hr)	300 (H) (NOTE 11)
ROAD (SPEED LIMIT > 60 km/hr)	1500 (H) (NOTE 11)
EVOENERGY ASSET, TRENCH OR CABLE	ROCK ANCHOR OR SOIL NAIL 1500

Application Number  
219756  
Padmount Substation / Switching Station  
6 of 6  
SEE NOTES 4, 5, 6.

PILLAR

SERVICE PIT

HV CABLES (1kV <U≤22kV)

LV CABLES (≤1kV)  
SERVICE MAINS  
CABLE PITS  
SERVICE PITS

LV & HV CABLES (NOT COVERED BY SHARED TRENCH)

EVOENERGY ASSET, TRENCH OR CABLE

TABLE 1 NOTES:

- (H) - MINIMUM HORIZONTAL CLEARANCE, (V) MINIMUM VERTICAL CLEARANCE AT CROSS OVER POINTS FOR DIRECT BURIED CABLES. THE MINIMUM VERTICAL CLEARANCE CAN BE REDUCED TO 200MM (FOR HV) AND 150MM (FOR LV) FOR CABLE/S IN CONDUIT.
- NO HV/LV CABLES OR EQUIPMENT ARE TO BE INSTALLED WITHIN A SEWER "TIE" PROTECTION ENVELOPE. REFER TO ICON WATER DOCUMENT, "BUILDING REQUIREMENTS FOR ICON WATER APPROVAL".
- THE LOCATION OF EVOENERGY NETWORK CABLES OR POLES WITHIN 5m OF ICON WATER SEWER MAINS WITH A DIAMETER EQUAL TO OR GREATER THAN 300mm MUST BE SPECIFIED IN CONSULTATION WITH ICON WATER.
- HORIZONTAL SEPARATION BETWEEN AN EVOENERGY CABLE(S) AND A SEWER OR STORM WATER MANHOLE, WATER METER PIT, WATER THRUST, VALVE OR HYDRANT SHOULD BE AT LEAST 1.0m (MEASURED FROM NEAREST POINT OF THE THIRD PARTY ASSET TO THE EDGE OF THE CABLE). WHERE THERE IS NO ALTERNATIVE, THIS REQUIREMENT MAYBE REDUCED TO NOT LESS THAN THE SEPARATION REQUIREMENT LISTED IN TABLE ONE IN CONSIDERATION TO AN EVOENERGY CABLE & A WATER OR SEWER PIPE.
- EXCLUDING THE FRONT SIDE OF ASSET- MINIMUM CLEARANCE MAYBE REDUCED TO THE FIGURE STATED ON ONE SIDE ONLY
- NO STRUCTURES OR SERVICES ARE PERMITTED WITHIN 750mm OF THE VERTICAL PROJECTION OF ANY 132KV CABLES. FOR FURTHER DETAILS REFER TO EVOENERGY DOCUMENT "P00718-A GUIDE TO WORKING WITHIN TRANSMISSION LINE RESERVATIONS".
- THE PADMOUNT SUBSTATION & SWITCHING STATION SITING CHECKLIST MUST BE COMPLETED AND APPROVED IN ACCORDANCE WITH THE EVOENERGY DOCUMENT "P007373 - PADMOUNT SUBSTATION & SWITCHING STATION SITING GUIDE".
- MINIMUM SEPARATION CLEARANCES QUOTED DO NOT CONSIDER EVOENERGY NETWORK EARTHING COMPLIANCE, EACH PROPOSED SUBSTATION LOCATION MUST HAVE A SITE SPECIFIC EARTHING DESIGN IN ACCORDANCE WITH EVOENERGY DOCUMENT "P007127-DISTRIBUTION EARTHING DESIGN AND CONSTRUCTION MANUAL".
- THIS DISTANCE MAY BE REDUCED IN ACCORDANCE WITH BOTH:
  - THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA IN CONSIDERATION TO THE EVOENERGY ASSET BEING A FIRE SOURCE FEATURE. APPROPRIATE FRLs TO THE BUILDING OR STRUCTURE MUST BE OBSERVED, AND;
  - AS2067 (SUBSTATIONS AND HIGH VOLTAGE INSTALLATIONS EXCEEDING 1kV a.c), SECTION 6.
- MINIMUM 450mm CENTRE TO CENTRE SEPARATION REQUIRED FOR CABLES INSTALLED IN CONDUIT.
- CABLES THAT SERVICE THE BUILDING OR STRUCTURE MAY ENCROACH THE SPECIFIED MINIMUM REQUIREMENT.
- REQUIREMENT MAYBE REDUCED (THROUGH RISK ANALYSIS), TO ENSURE ENOUGH SEPARATION FOR ASSET MAINTENANCE / REPLACEMENT.
- SEPARATION REQUIREMENTS ARE OUTLINED IN TCCS DOCUMENT "DESIGN STANDARDS FOR URBAN INFRASTRUCTURE" AND TCCS ROAD VERGE DRAWING "DS4-04, FOOTPATHS SERVICE MODULES"
- FIGURES STATED ARE HORIZONTAL CLEARANCE REQUIREMENTS FOR CABLE TRENCHES RUNNING IN PARALLEL TO THE ROAD.
  - ANY VARIATION TO MINIMUM CLEARANCE MUST BE APPROVED BY ROADS ACT.
  - SEPARATION REQUIREMENT IS MEASURED FROM THE OUTER MOST EDGE OF THE FORMED KERB (GUTTER) OR ROAD SURFACE WHERE FORMED KERBS ARE NOT INSTALLED TO THE NEAREST EDGE OF CABLE TRENCH.
- A POWER POLE MUST BE MINIMUM OF 1500mm FROM AN UNDERGROUND GAS MAINS, WATER & SEWER MAINS. ALSO VERIFY THE REQUIREMENT WITH THE RESPECTIVE UTILITIES AND REFER P00793 CIVIL WORKS FIELD MANUAL FOR NO DIG ZONE.
- REFER TO EVOENERGY DOCUMENT P006135 - SAFE WORK AROUND OR NEAR THE ACT GAS NETWORK.
- PITS MAY ONLY BE ADJACENT TO A SINGLE DRIVEWAY AND MUST NOT BE INSTALLED BETWEEN TWO DRIVEWAYS.

TABLE 2 - RECOMMENDED BURIAL DEPTHS FOR UNDERGROUND LINES

TYPE OF UNDERGROUND LINE	DIRECT BURIED AND COVERED WITH A MECHANICAL COVER OR ENCLOSED IN HEAVY DUTY PIPE OR CONDUIT
22kV <U≤132kV	MINIMUM (mm) 1000

TABLE 2 NOTES:

- MAXIMUM TRENCH DEPTH FOR INSTALLATION OF CABLES IS 1.5 METRES
- COVERAGE REQUIREMENTS FOR CABLES UP TO 22kV ARE DEPICTED AND OUTLINED ON:
  - 390-002: CONDUIT INSTALLATION ROADWAYS AND DRIVEWAYS
  - 393-010: UNDERGROUND SERVICES IN A SHARED TRENCH, ELECTRICAL PIT REQUIREMENT UNDERGROUND RESIDENTIAL DISTRIBUTION
  - 393-007: CABLE TRENCH DETAILS FOR CABLE INSTALLATIONS NOT COVERED BY SHARED TRENCH AGREEMENT

MINIMUM SEPARATION REQUIREMENTS TO EVOENERGY EARTHING ASSETS

NOTES:

- EARTHING MUST BE ASSESSED, DESIGNED AND VALIDATED IN ACCORDANCE WITH THE EVOENERGY DOCUMENT "P007127-DISTRIBUTION EARTHING DESIGN AND CONSTRUCTION MANUAL".
- 11kV EARTHING ASSETS INCLUDE GRADING RINGS, DEEP EARTH ELECTRODES, EARTHING GRIDS, 11kV CONDUCTIVE POLES AND COPPER CLAD EARTH STAKES.
- MINIMUM SEPARATION REQUIREMENTS FROM ANY CONDUCTIVE BURIED ITEM OR CONDUCTIVE STRUCTURE ABOVE THE GROUND TO ANY EVOENERGY 11kV NETWORK EARTHING MUST BE DETERMINED ON A CASE BY CASE BASIS BY A DESIGNER OR REPRESENTATIVE OF THE EVOENERGY CUSTOMER ASSET PROTECTION TEAM
- ALL LOW VOLTAGE EARTHING MUST BE POSITIONED IN ACCORDANCE WITH EVOENERGY DOCUMENT "P007127-DISTRIBUTION EARTHING DESIGN AND CONSTRUCTION MANUAL" AND MAINTAIN A MINIMUM 4m SEPARATION TO ANY EVOENERGY 11kV EARTHING INFRASTRUCTURE.

No	Revision	Date	Checked	Approved
S	TABLE 1 & TABLE 1 NOTE 1 AMENDED - KV	26/10/2021	N. Azizi	W. Cleland
T	'WF13143' REPLACED WITH 'P006135' AND NOTE 13 ADDED-KV	12/05/2022	N. Azizi	W. Cleland
U	UPDATED NOTE 12 - MS	3/02/2023	N. Azizi	W. Cleland
V	NOTE 7 AMENDED - KV NOTE 14 ADDED; SERVICE PIT DETAILS AMENDED	22/11/2023	J. Primmer	N. Azizi

Sch 2.2(a)(ii)

SEPARATION AND COVER REQUIREMENTS FOR CABLES AND PLANT

Scale:	Date:	Sheet No:
	12/05/2022	
Work Pack No:	File:	
Status:	Current	
A3	3832-018	Rev V





## STATEMENT OF CONDITIONAL ACCEPTANCE

**Application No:** 219756    **Suburb:** Lyneham    **Block/Section 4 / 41**  
**Applcn Type:** Non residential/Addition Inclusions : Other

### Attached Plans

Building Approval Plans - 4xClass\_4-41 Lyneham.pdf  
 Lyneham S41 B4 In Principle IWDesAcc.pdf

### Conditions of Acceptance

Icon Water assets shall be protected for the duration of the construction works from short term load shedding from construction machinery or vibration and groundwater ingress or infiltration. Any damage to Icon assets resulting from the construction works shall be repaired by Icon Water at the contractors expense. Access to Icon Water's assets including sewer structures, manholes, hydrants and valves is to be maintained for the duration of the construction works.

Non domestic liquid waste agreements are to be entered into with Icon Water where non-domestic liquid waste or increased load is planned to be discharged to the sewer network. To apply for a liquid trade waste agreement please visit [www.iconwater.com.au/Developers-and-Renovators/LiquidTradeWaste.aspx](http://www.iconwater.com.au/Developers-and-Renovators/LiquidTradeWaste.aspx)

Please Note:

- ❖ Separate applications are required for ActewAGL electricity and gas networks.
- ❖ Any failure to accurately show existing or proposed structures may result in damage and costs for which the property owner will be liable. Damage to network assets must be reported to Icon Water.
- ❖ Utility conditions may also apply to minor structures and landscaping works that may not have been depicted in this document. Consultation with Icon Water is advised if such structures and landscaping are planned.
- ❖ Icon Water recommends setbacks provided for equipment access to water or sewerage network assets are kept free of obstruction by the property owner.
- ❖ Construction of works without the approval of Icon Water may result in connection to Icon Water's water and sewerage networks being denied and /or action being taken to require the property owner to remove non-compliant services (e.g. sanitary drains) or structures.

### WARNING

**Failure to comply with these conditions is likely to result in interference with an Icon Water sewer or water asset. Part 5 of the Utilities (Technical Regulation) Act 2014 applies, which indicates a person who interferes with a utility asset may be subject to prosecution. The current maximum penalty is 200 penalty units, imprisonment for two years, or both. In addition the land-holder can be ordered at their expense to stop the interference, which may involve removal of the building work or that part of the building work that is causing, or is likely to cause interference.**

Comments:

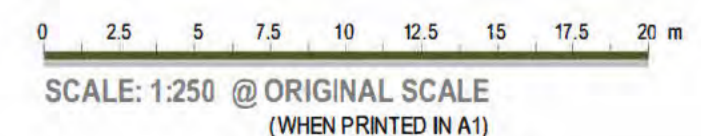
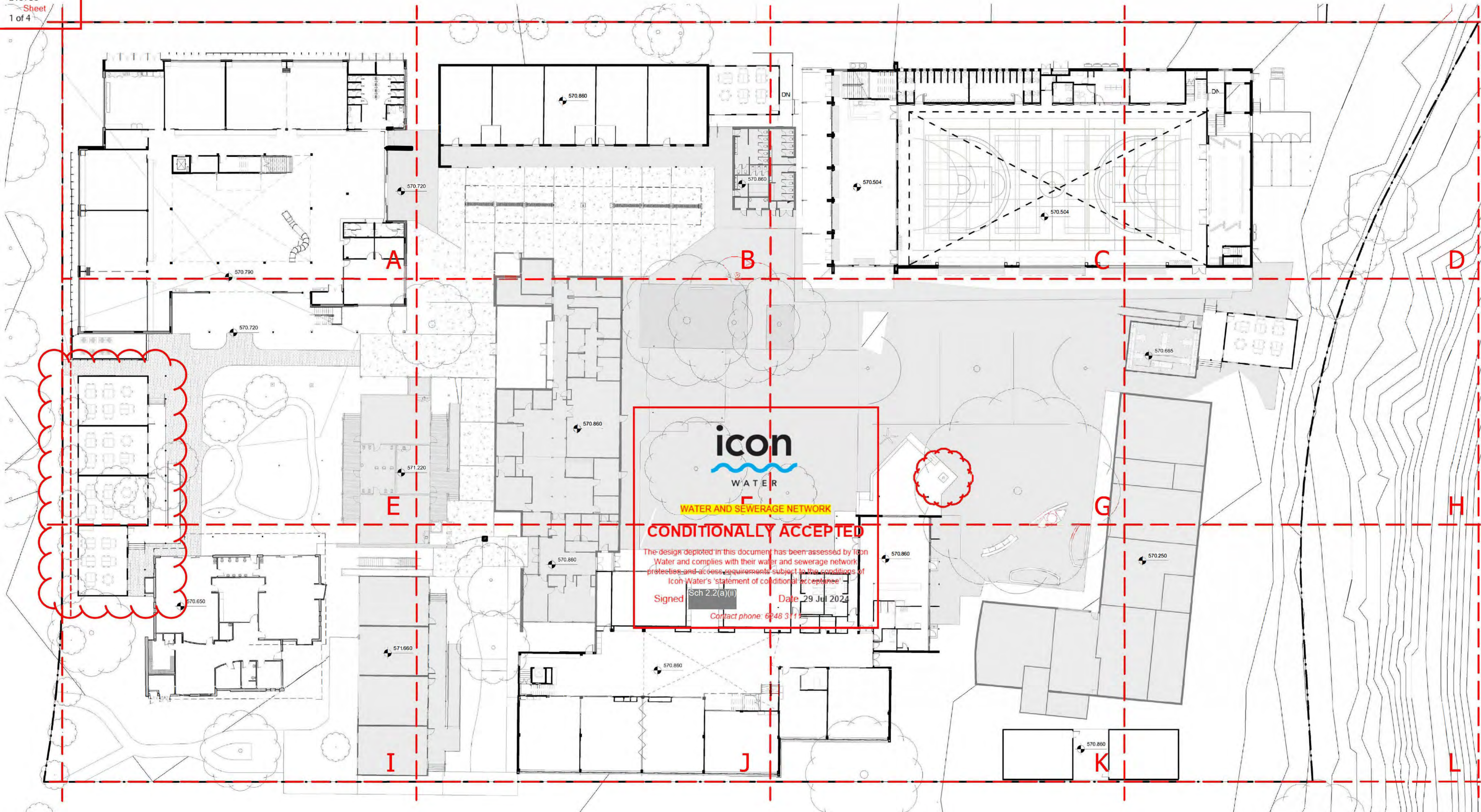
Signed

Sch 2.2(a)(ii)

Date

29 Jul 2024

*For further information please phone Icon Water 6248 3111.*



No.	Date	Description
A	09.01.23	GROUND WORKS
B	01.05.23	FOR REVIEW



- Architecture
- Interiors
- Access
- Heritage

Client:  
**BRINDABELLA CHRISTIAN COLLEGE**

Project Title:  
**MASTERPLANNING STUDIES**

4 41 Lyneham

136 BRIGALOW STREET, LYNEHAM ACT 2602

Design Project Manager:  
SV

Project/Delivery Leader:  
DT

Quality Manager:  
SV

Drawn:

Drawing Title:  
**SITE PLAN - L0**

Scale:  
1 : 250

Project No:  
**1506.19**

Sheet Size:  
A1

Sheet No:  
**A001**

Amendment:  
**B**

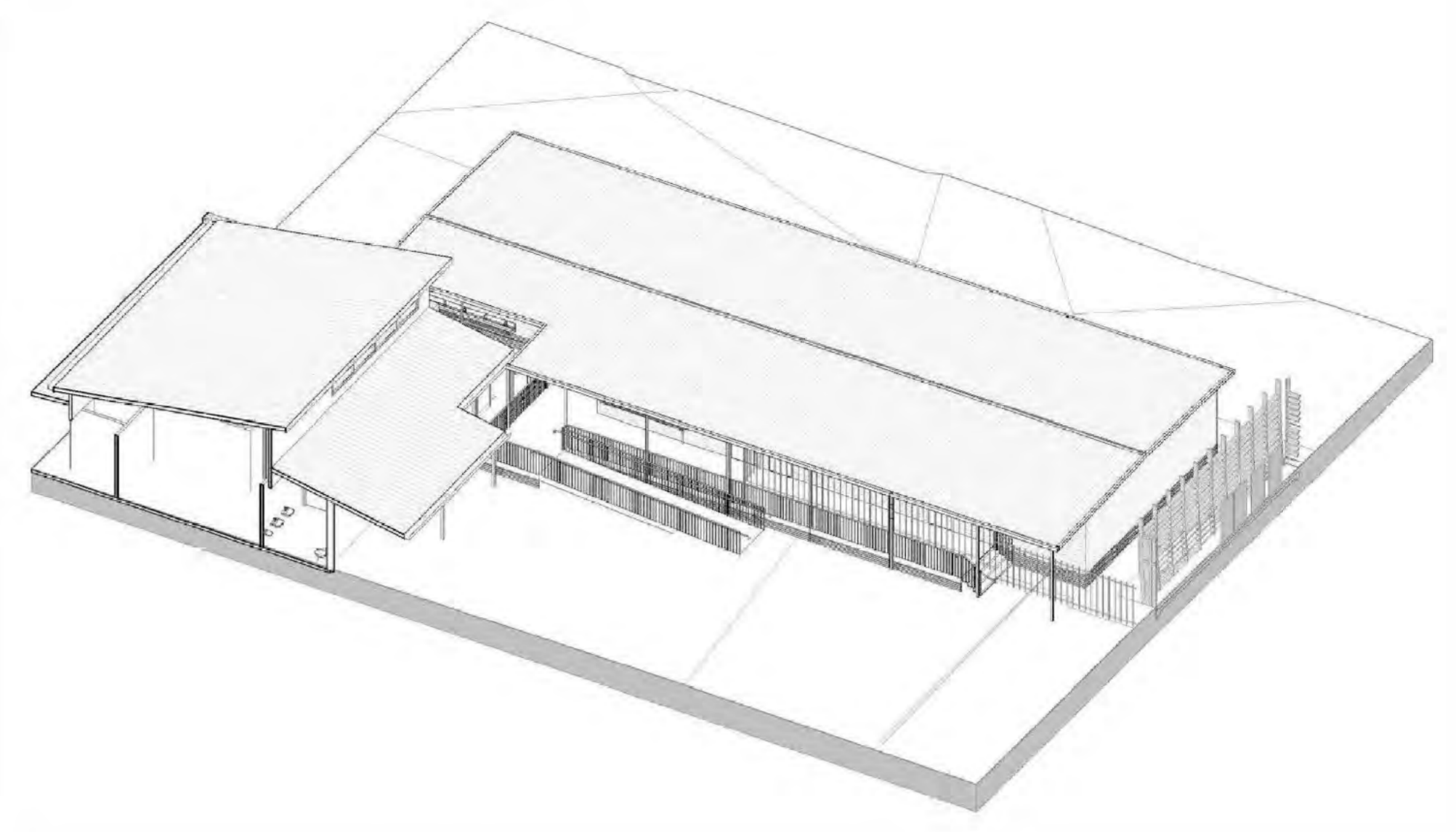
**PRELIMINARY**

All dimensions in millimetres. Do not scale drawing. All dimensions and levels to be verified on site by contractor before commencing work or preparation of shop drawings. Where provided, drawings must be read in conjunction with schedule of work or specification.



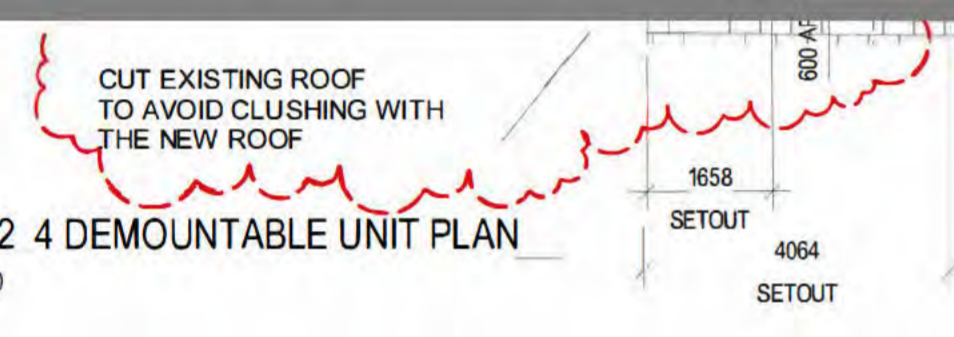
ALIGN NEW DEMOUNTABLE UNITS  
WITH EXISTING BUILDING LINE

# Sch 2.2(a)(xi)



6 DEMOUNTABLE UNIT 4 OFF

1 2022 4 DEMOUNTABLE UNIT PLAN  
A008 1:100



**icon**  
WATER

**WATER AND SEWERAGE NETWORK**

**CONDITIONALLY ACCEPTED**

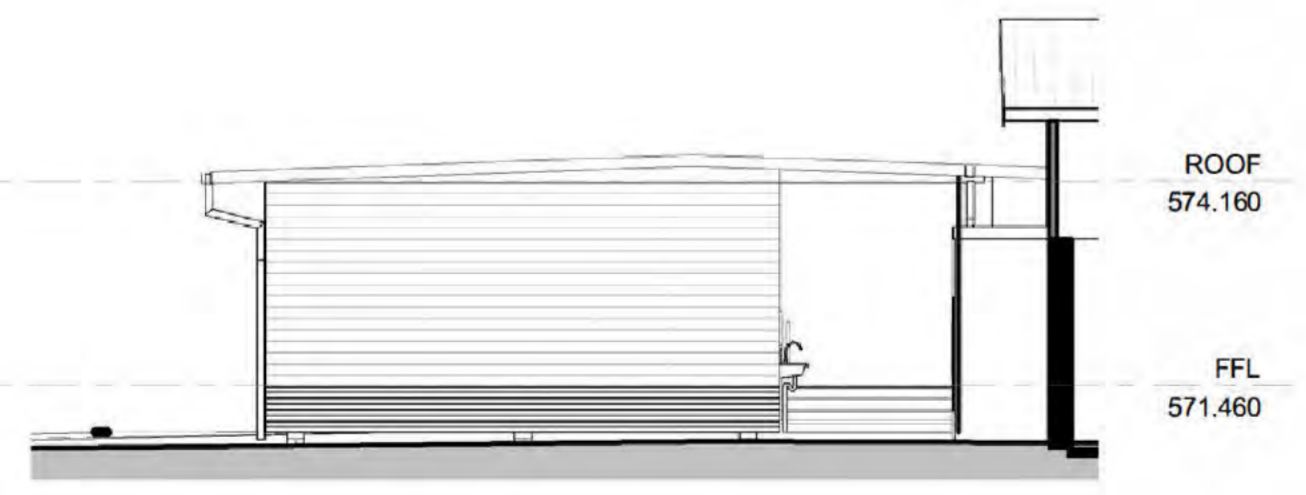
The design depicted in this document has been assessed by icon Water and complies with their water and sewerage network protection and access requirements subject to the conditions of icon Water's 'statement of conditional acceptance'.

Signed Sch 2.2(a)(ii) Date 29 Jul 2024  
DEMONTABLE UNITS\_ FRONT VIEW  
Contact phone: 6248 3111

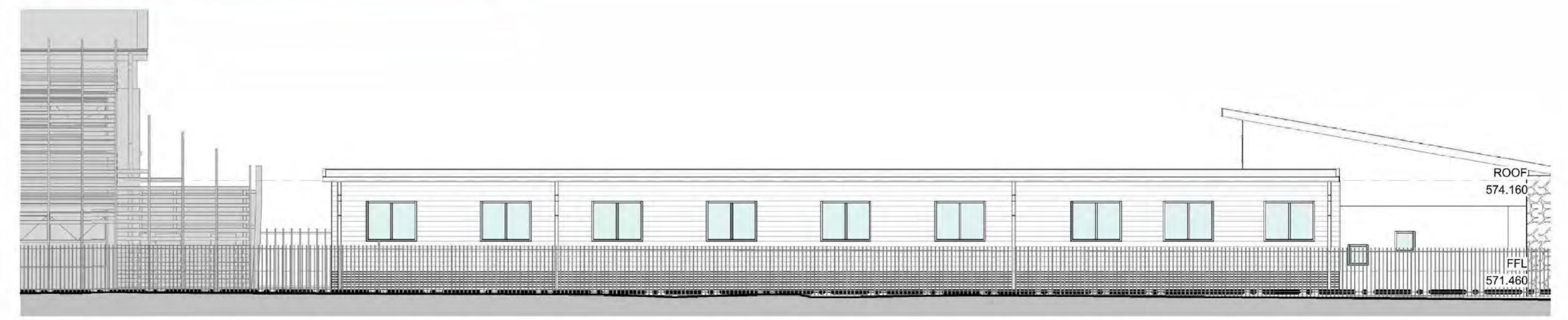
3 4 DEMOUNTABLE UNITS - RIGHT VIEW  
1:100



5 4 DEMOUNTABLE UNITS\_ LEFT VIEW  
1:100



4 4 DEMOUNTABLE UNITS\_ REAR VIEW  
1:100



All dimensions in millimetres. Do not scale drawing. All dimensions and levels to be verified on site by contractor before commencing work or preparation of shop drawings. Where provided, drawings must be read in conjunction with schedule of work or specification.

No.	Date	Description
A	23.01.23	FOR REVIEW
B	28.06.23	CUT SECTION OF THE EXISTING ROOF



Project Title:  
MASTERPLANNING STUDIES

136 BRIGALOW STREET, LYNEHAM ACT 2602

Client:  
BRINDABELLA CHRISTIAN COLLEGE

Design Project Manager:  
SV

Project Delivery leader:  
DT

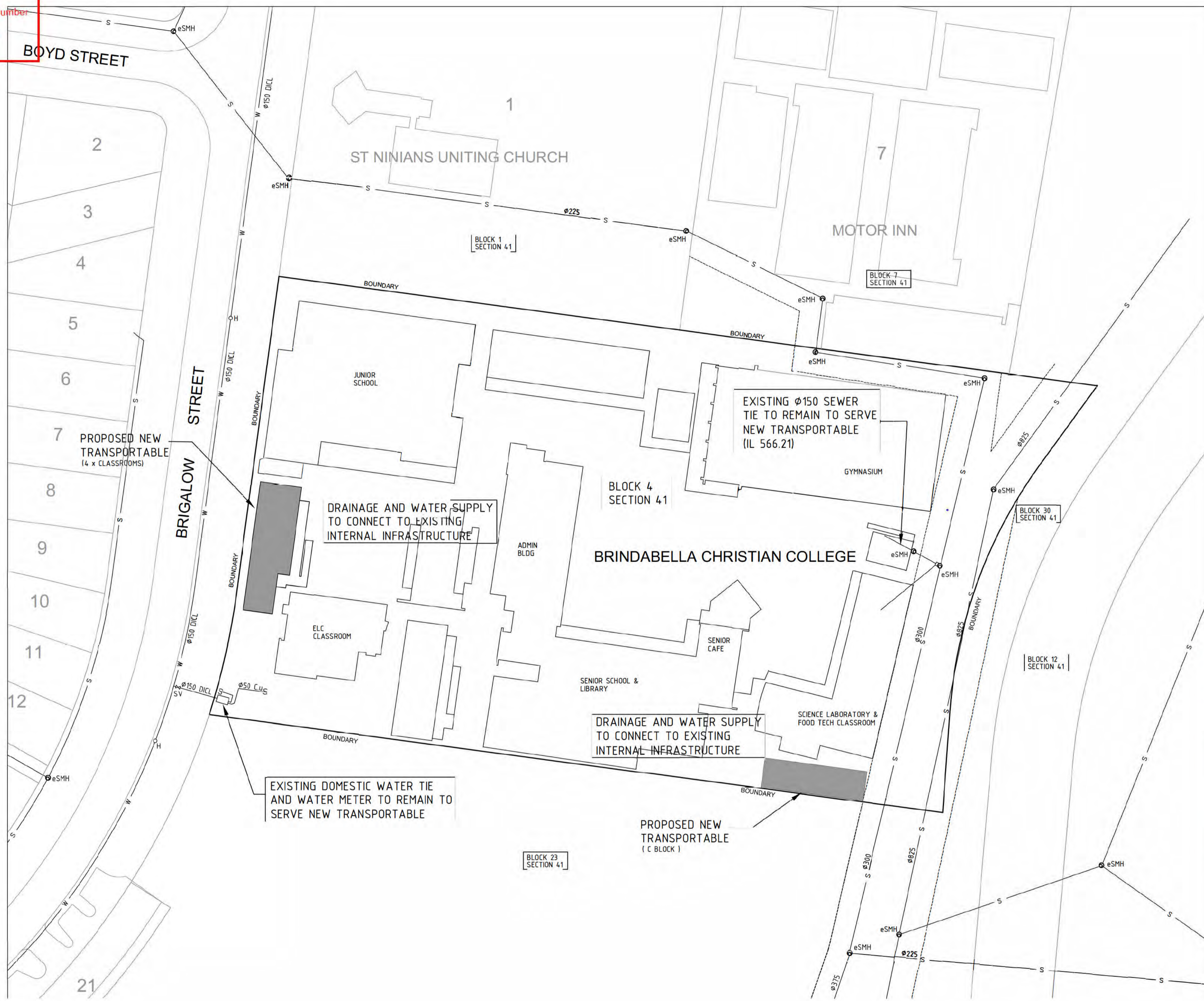
Quality Manager:  
DT

Project Team:  
SV

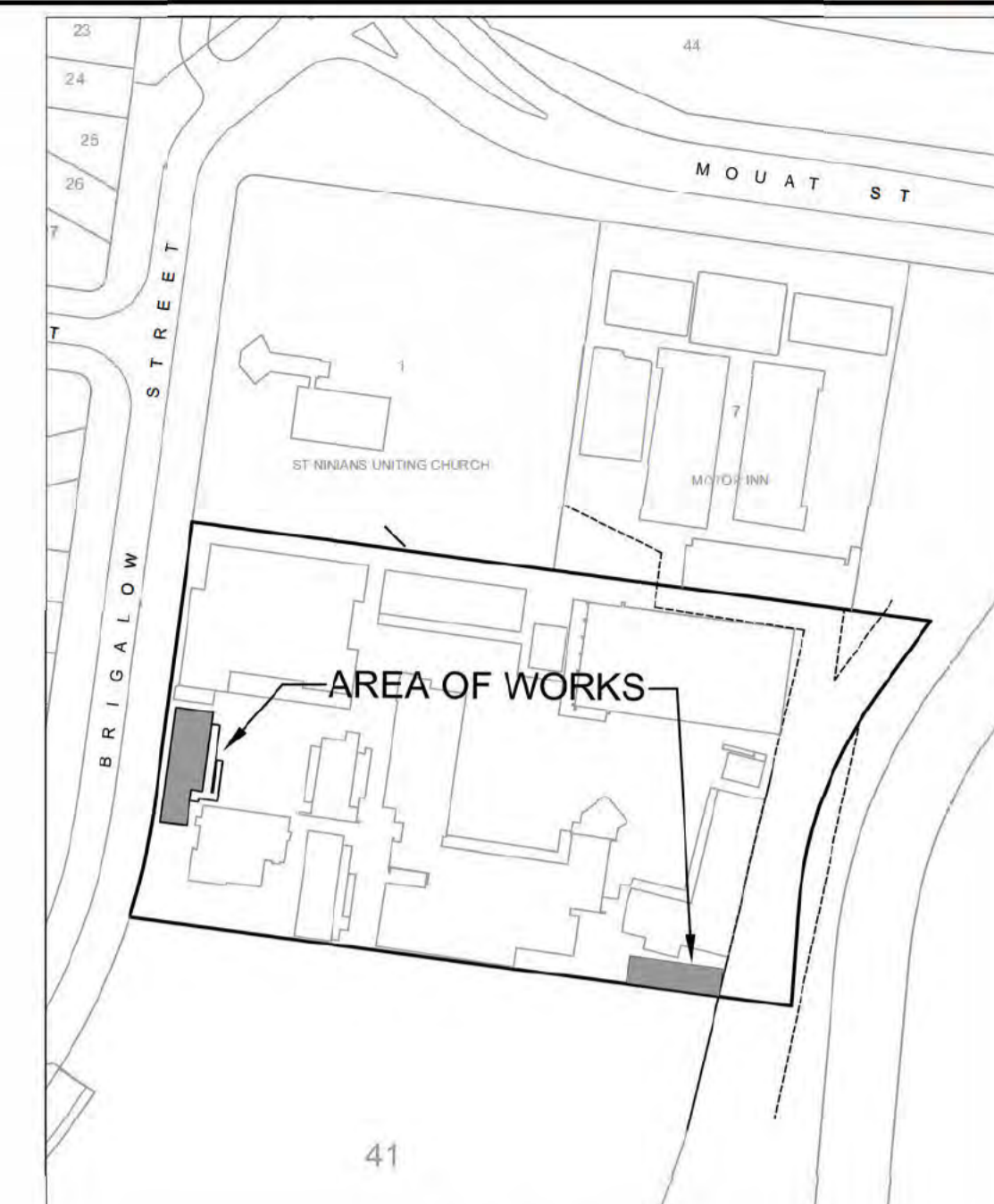
Drawing Title:  
**4 DEMOUNTABLE UNITS PLAN**

Scale: 1:100  
Sheet Size: A1  
Project No: 1506.19  
Drawing: A110  
Revision: B

**SQC Group**  
22 Thynne Street  
Bruce ACT 2617  
02 6278 8500  
studio@sqcagroup.com.au  
[www.sqcagroup.com.au](http://www.sqcagroup.com.au)  
Primary nominee  
Nicholas Goodwin ACT 858



SITE PLAN  
SCALE 1:500



LOCALITY PLAN  
SCALE NTS

EXTERNAL SERVICES LEGEND

- EXISTING SERVICES**
- SEWER: S
  - STORMWATER: SW
  - WATER: W
  - GAS: G
  - TELSTRA/NGN: T
  - ELECTRICAL: E
- EXISTING INFRASTRUCTURE**
- eSMH: EXISTING SEWER MANHOLE
  - H: FIRE HYDRANT (STANDARD CAPACITY)
  - SV: GATE OR SLUICE VALVE OR STOPOCK
  - END CAP
  - TAPER/REDUCER

PROGRESS STAMP (IN PRINCIPLE)

This design has been reviewed against Icon Water's Water Supply and Sewerage Standards and will expire two calendar years from date below unless Detail design is submitted beforehand.

Icon Water confirms this design can proceed to the Development Application / Building Application process. A separate application to Icon Water is required to obtain a Statement of Acceptance (Building Approval)

This stamp is not approval of the design - a separate application for Design Acceptance is required once the DA/BA process is complete. This will require an Estate Services Plan (new developments) or an External Services Plan (existing developments).

This design must be resubmitted to Icon Water if there are any changes to relevant information, including site conditions.

The proposed development may require payment of a charge under the Water and Sewerage Capital

**Sch 2.2(a)(ii)**      26/06/2024      2024-DS-44275

Hydraulic Asset Acceptance Officer      Date      File #

**WSCC CHARGE APPLIES**

FOR APPROVAL

B ADD 4 CLASSROOM BLOCK & RE-ISSUE FOR IN PRINCIPLE APPROVAL A ISSUE FOR IN PRINCIPLE APPROVAL	2.06.24	PW	PW	PW	PW			This Drawing may have been prepared using COLOUR, and may be incomplete if copied to BLACK & WHITE		109 Summerville Cres FLOREY A.C.T. 2615 Mob 0418 416 499	Project BRINDABELLA CHRISTIAN COLLEGE BLOCK C & 4 CLASSROOM TRANSPORTABLES	Drawing Title EXTERNAL SERVICES EXISTING SERVICES PLAN BLOCK 4, Section 41, LYNEHAM
	0.05.24	PW	PW	PW	PW						Client Brindabella Christian College 136 Brigalow Street Lyneham ACT	Drawing No. 24-13-ES-H01
Rev	Amendment / Reason For Issue	Date	Drawing Completed by	Designed & Checked by	Verified by X = Not verified	Issue Authorised (*)					Architect SQC Architects	

# Small water meter installation guide

Application Number  
219841

Sheet  
11 of 11  
Introduction

This guide sets out the minimum requirements that apply for new 20mm meter installations in the ACT.

These minimum requirements include:

- Ensure meter is on correct block and section.
- The water meter must be installed within 14 days of collection from Icon Water.
- Meters and services must not be installed in drive ways, retaining walls or footpaths (unless approval has been obtained from Icon Water - Development Services).
- Pressure reducing valves (PRV) must not be installed in the meter box.
- Risers installed upstream and downstream of the meter must be copper.
- Clearance requirements for the meter and meter box are provided in the diagram below.

Please refer to Icon Water standards for further details:

[iconwater.com.au/Developers-and-Renovators/Water-and-Sewerage-Service-Standards-and-Guidelines](http://iconwater.com.au/Developers-and-Renovators/Water-and-Sewerage-Service-Standards-and-Guidelines)

## Failed installations

Make sure the following does not occur when installing the meter.

All newly installed meters will be inspected by Icon Water.



Incorrect box level



Incorrect meter height



No copper risers



PRV in box



In driveway (unapproved)

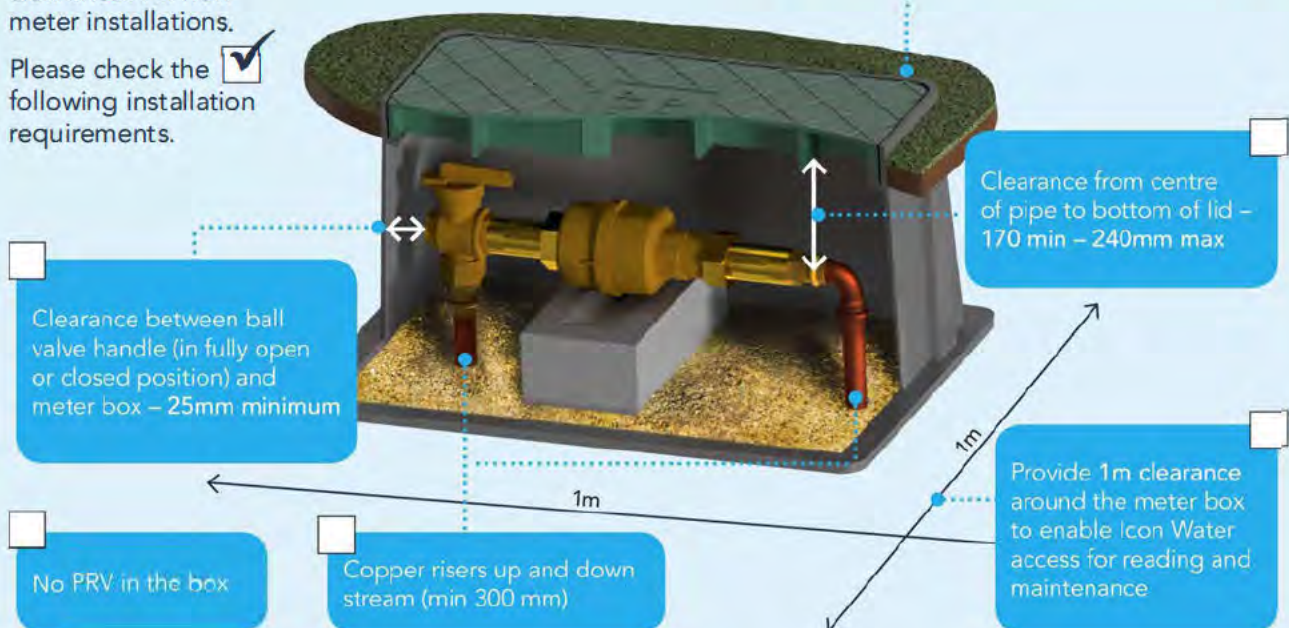


No clearance for Ball valve

## DN20 meter installation

This diagram shows the minimum required clearances for new meter installations.

Please check the  following installation requirements.





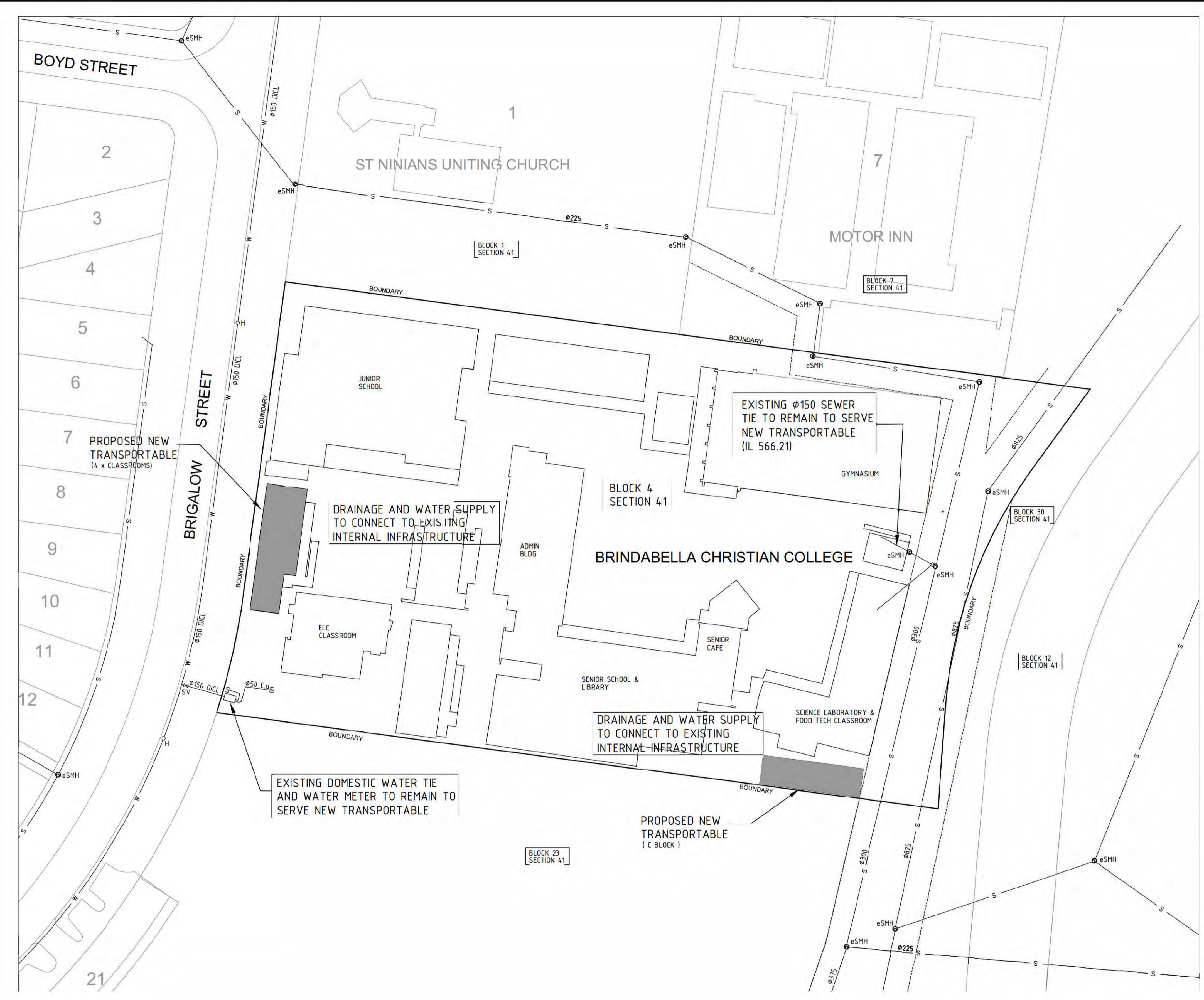
I acknowledge the Traditional Custodians of the A  
people. We acknowledge and respect their contin



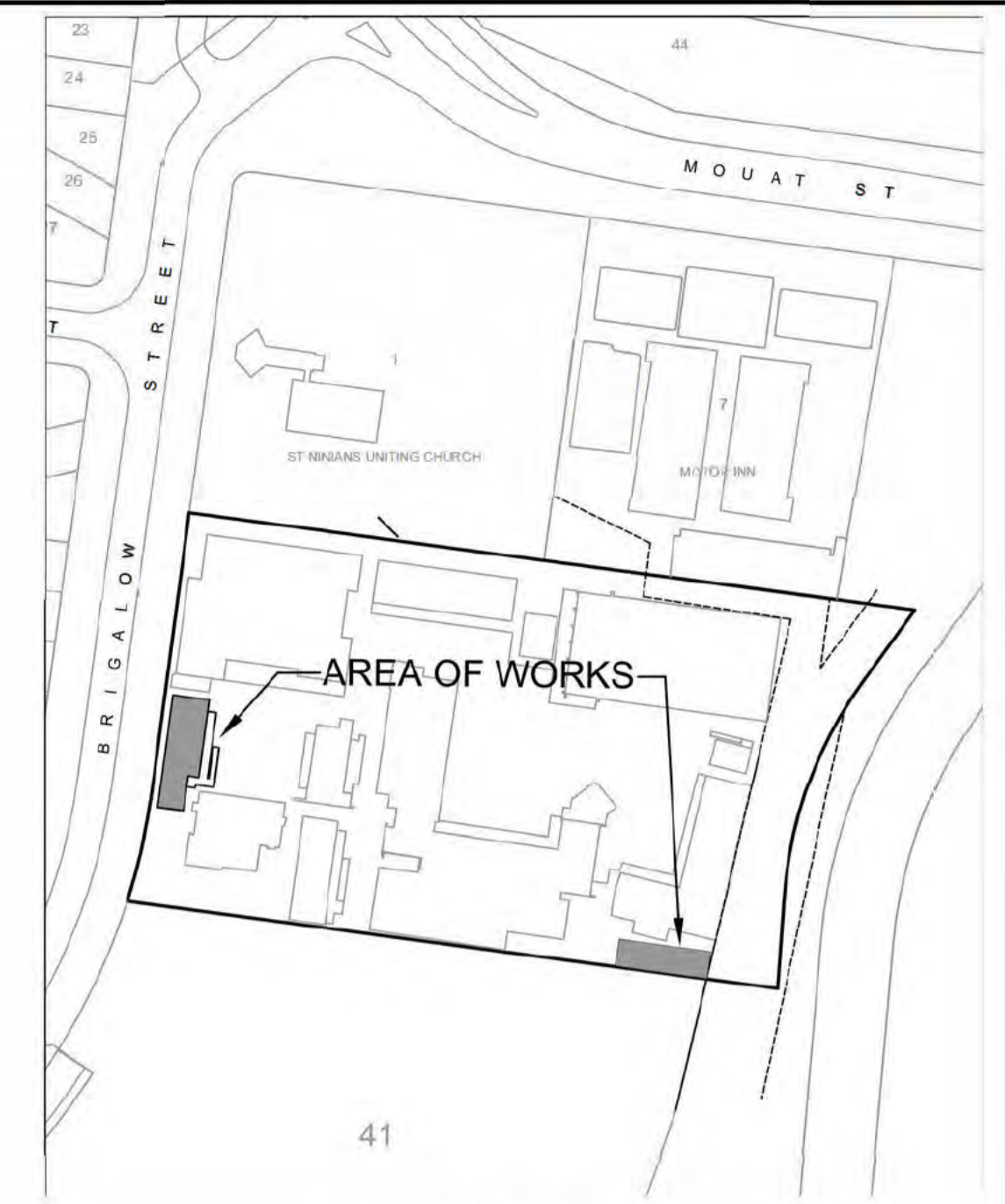
\*\*\*\*\*

This is a confidential message intended for the named recipient(s) only. The contents herein are privileged to the sender and the use thereof is restricted to the intended purpose. If you have received this e-mail in error, please do not use, disclose, distribute, copy, print or relay on this email. If receipt is in error, please advise the sender by reply email. Thank you.

\*\*\*\*\*



SITE PLAN  
SCALE 1:500



LOCALITY PLAN  
SCALE NTS

**EXTERNAL SERVICES LEGEND**

<b>EXISTING SERVICES</b>	
SEWER	S
STORMWATER	SW
WATER	W
GAS	G
TELSTRA/NNN	T
ELECTRICAL	E
<b>EXISTING INFRASTRUCTURE</b>	
eSMH	EXISTING SEWER MANHOLE
H	FIRE HYDRANT (STANDARD CAPACITY)
SV	GATE OR SLUICE VALVE OR STOPOCK
]	END CAP
— —	TAPER/REDUCER

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- This stamp is not approval of the design - a separate application for Design Acceptance is required once the DA/BA process is complete. This will require an Estate Services Plan (new developments) or an External Services Plan (existing developments).
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Sch 2.2(a)(ii)      26/06/2024      2024-DS-44275  
 Hydraulic Asset Acceptance Officer      Date      File #

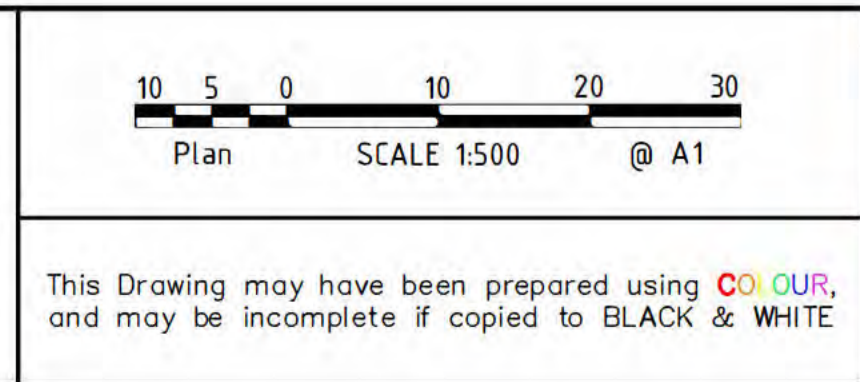
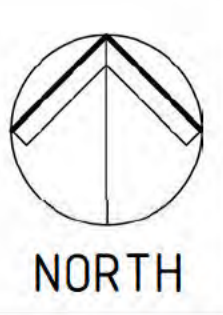
**WSCC CHARGE APPLIES**



**FOR APPROVAL**

B	ADD 4 CLASSROOM BLOCK & RE-ISSUE FOR IN PRINCIPLE APPROVAL	2.0
A	ISSUE FOR IN PRINCIPLE APPROVAL	0.0
Rev	Amendment / Reason For Issue	D

Sch 2.2(a)(ii)



Hydraulic Consultant:

109 Summerville Cres  
 FLOREY  
 A.C.T. 2615  
 Mob 0418 416 499

Project  
 BRINDABELLA CHRISTIAN COLLEGE  
 BLOCK C & 4 CLASSROOM  
 TRANSPORTABLES

Client  
 Brindabella Christian College  
 136 Brigalow Street Lyneham ACT

Architect  
 SQC Architects

Drawing Title EXTERNAL SERVICES EXISTING SERVICES PLAN BLOCK 4, Section 41, LYNEHAM	
Drawing No. 24-13-ES-H01	Sheet 1 of 1
Rev B	